



BRAMPTON

Special Meeting Agenda

Brampton Heritage Board

The Corporation of the City of Brampton

Date: Wednesday, October 2, 2024
Time: 7:00 p.m.
Location: Hybrid Meeting - Virtual Option & In-Person in 4th Floor Boardroom – City Hall
Members: Stephen Collie (Co-Chair)
Douglas McLeod (Co-Chair)
Nick Craniotis
Roy de Lima
Prianka Garg
Sharron Goodfellow
Hunyah Irfan
Dian Landurie
Christiana Nuamah
Naveed Suleman
Rajesh Vashisth
Paul Willoughby
Regional Councillor P. Vicente - Wards 1 and 5

For inquiries about this agenda, or to make arrangements for accessibility accommodations for persons attending (some advance notice may be required), please contact:

Chandra Urquhart, Legislative Coordinator, Telephone 905.874.2114, TTY 905.874.2130 cityclerksoffice@brampton.ca

Note: Meeting information is also available in alternate formats upon request.

1. Call to Order
2. Approval of Agenda
3. Declarations of Interest under the Municipal Conflict of Interest Act
4. Previous Minutes

4.1 Minutes - Brampton Heritage Board - July 23, 2024

The minutes were considered by Planning and Development Committee on August 12, 2024 and approved at a Special meeting of Council on August 12, 2024. The minutes are provided for the Board's information.

5. Consent

There are no items under Consent.

6. Presentations\Delegations

7. Sub-Committees

8. Designation Program

9. Heritage Impact Assessment (HIA)

9.1 Report by Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment, 18 River Road – Ward 6

Recommendation

9.2 Report by Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment, 12 Rosegarden Drive - Ward 10

Recommendation

9.3 Report by Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment Report for Proposed Development at 8525 Mississauga

Road - Ward 4

Recommendation

- 9.4 Report by Tom Tran, Heritage Planner, re: Heritage Impact Assessment and Addendum - 11185 Airport Road – Ward 10

Recommendation

10. Correspondence

11. Other New Business

- 11.1 Report by Arpita Jambekar, Heritage Planner, re: Heritage Permit Application for 7 & 9 Wellington Street East, Peel Art Gallery Museum and Archives (PAMA)

Recommendation

- 11.2 Report by Arpita Jambekar, Heritage Planner, re: Repeal of Heritage Designation for 8990 McLaughlin Road South – Ward 4

Recommendation

- 11.3 Verbal update by City Clerk's Office, re: Termination of Appointment of Board Members

12. Current Heritage Issues

- 12.1 Verbal update by Charlton Carscallen, Principal Planner/Supervisor, re: Current Heritage Issues

13. Referred/Deferred Items

14. Information Items

15. Question Period

16. Public Question Period

15 Minute Limit (regarding any decision made at this meeting)

17. Closed Session

18. Adjournment

Next meeting: Tuesday, October 15, 2024 at 7:00 p.m.



Minutes

Brampton Heritage Board

The Corporation of the City of Brampton

Tuesday, July 23, 2024

Clerical Correction: (August 13, 2024) In accordance with Section 2.11 (7) (a) of Procedure By-law 160-2004, as amended, a clerical correction was made by the City Clerk's Office to Recommendation HB028-2024 (Item 9.2) to correctly reflect the motion as approved by Brampton Heritage Board.

Members Present: Stephen Collie (Co-Chair)
Douglas McLeod (Co-Chair)
Nick Craniotis
Prianka Garg
Sharron Goodfellow
Hunyah Irfan
Dian Landurie
Christiana Nuamah
Rajesh Vashisth
Paul Willoughby
Regional Councillor P. Vicente - Wards 1 and 5

Members Absent: Surinder Ahuja
Roy de Lima
Nicardo Francis
Naveed Suleman

Staff Present: Charlton Carscallen, Principal Planner/Supervisor
Arpita Jambekar, Heritage Planner
Chandra Urquhart, Legislative Coordinator

1. Call to Order

The meeting was called to order at 7:12 p.m. and adjourned at 8:49 p.m.

2. Approval of Agenda

HB026-2024

That the agenda for the Brampton Heritage Board meeting of July 23, 2024 be approved as published and circulated.

Carried

3. Declarations of Interest under the Municipal Conflict of Interest Act

Nil

4. Previous Minutes

4.1 Minutes - Brampton Heritage Board - May 21, 2024

The minutes were considered by Planning and Development Committee on June 17, 2024 and approved by Council on June 26, 2024. The minutes were provided for information.

5. Consent

Nil

6. Presentations\Delegations

Nil

7. Sub-Committees

Nil

8. Designation Program

Nil

9. Heritage Impact Assessment (HIA)

9.1 Report by Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment - 14 River Road - Ward 6

Arpita Jambekar, Heritage Planner, provided an overview of the Heritage Impact Assessment for the property located at 14 River Road. The property is listed in Brampton's Municipal Register as a Cultural Heritage Resource due to its cultural heritage landscape features. The construction of an addition to the existing single

detached home was approved through the approval of a Minor Variance application.

Board discussion took place on the proposed addition. Staff provided clarification as follows:

- The proposed addition to house is not designated and its footprint remains unchanged
- Landscape features of the property are considered a heritage resource and staff have recommended that mitigation measures be undertaken to maintain the cultural landscape
 - this includes the setbacks, driveway and berms and natural vegetation
- Impact to drainage and water runoff will be addressed through the development application process

The following motion was considered:

HB027-2024

1. That the report from Arpita Jambekar, Heritage Planner, to the Brampton Heritage Board meeting of July 23, 2024, re: **Heritage Impact Assessment, 14 River Road – Ward 6**, be received;
2. That the following recommendations as per the Heritage Impact Assessment by Vincent J. Santamaura, Architect Inc. be followed:
 - a. With respect to the proposed construction of additions and renovations to the existing buildings at 14 River Road, it is recommended that:
 - i. The design of the renovations and additions to the existing single detached residence and the existing garage implements Heritage design strategies to make its design sympathetic to the River Road Cultural Heritage Landscape;
 - ii. The design of the proposed renovations and additions to the existing single detached residence and renovations to the existing garage be approved;
3. That the design approach and components of the proposed renovations and addition, which are adjacent to existing Listed and Designated Heritage resources, be sympathetic to the existing Heritage value and thereby seek to reduce any impacts to the adjacent heritage resources; and,
4. That the following mitigation measures be followed:

- i. The front yard setback and driveway width be maintained.
- ii. The existing screening consisting of the berm and mature trees along River Road also be maintained and must not be altered or affected during the construction on the property.

Carried

9.2 Report by Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment Addendum - 69 Elliott Street - Ward 3

Item 11.2 was brought forward and dealt with together with Item 9.2

Arpita Jambekar, Heritage Planner, provided an overview of the Heritage Impact Assessment Addendum and Heritage Permit Conservation Plan for the property located at 69 Elliot Street which is owned by the City of Brampton and known as Memorial Park Arena. A Heritage Permit application was submitted for a one-storey addition on the property adjoining the western elevation of the existing heritage building.

Board discussion took place and included questions and comments regarding access to the original building and the secondary building, and whether any mature trees will be destroyed.

Staff advised of the following:

- Access to the original building remains the same and a secondary entrance will be provided for the proposed additional building that would lead to the amenities
- Some small trees will be removed from the site, however several more will be planted to replace those that will be lost
- Name of the pavilion remains unchanged
- Presently there were no plans to close off the original main entrance to the building
- Maintaining the present esthetics of the external facade of the building given its heritage and historical significance is intended

Staff advised that report 9.2 was to be received and that report and recommendations for report 11.2 were before the Board for consideration.

The following motion was considered:

HB028-2024

1. That the report from Arpita Jambekar, Heritage Planner, to the Brampton Heritage Board meeting of July 23, 2024, re: Heritage Permit and Heritage Conservation Plan, 69 Elliott St – Ward 3, be received;
2. That the Heritage Conservation Plan, prepared by VG Architects, dated July 12, 2024, be received;
3. That the Heritage Permit application for 69 Elliott Street for the construction of one storey addition to the west of Memorial Arena be approved; and
4. That the report from Arpita Jambekar, Heritage Planner, to the Brampton Heritage Board meeting of July 23, 2024, re: Heritage Impact Assessment Addendum, 69 Elliott St – Ward 3, be received.

Carried

9.3 Report by Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment - 30-46 and 54-60 Main Street North - Ward 1

Charlton Carscallen, Principal Planner, provided an overview of the Heritage Impact Assessment (HIA) on the subject properties noting that they are all owned by the City. Properties located at 48-52 Main Street North are privately owned. Demolition of the City-owned buildings were approved by Council on February 2024. The demolition of these buildings will result in the destruction of all heritage attributes of these building. The HIA outlines mitigation measures and design alternatives that are intended to guide the design of future development and help to mitigate impacts to the properties' heritage attributes. Four options are provided for consideration, however staff were not recommending a preferred option.

Board discussion took place and included questions and comments. Staff advised of the following:

- Buildings will be demolished and the RFP and other processes will follow as approved by Council
- The City and all others involved in demolition and other processes are aware that the buildings were built on floating foundations
- The City has no authority to mandate the demolition of privately owned buildings

- Timelines for the demolition project are not available at this time
- Council is eager to see development to these sites in conjunction with the Center for Innovation (CFI)
- The City has deemed that the buildings are uninhabitable in its current state
- A documentation salvage record will be prepared and there will be an opportunity prior to and during the demolition phase to ensure through photos, video and story telling so that the engineering creativity of that period will be captured

The Board put forward a motion to amend Clause 2 (ii) of the staff recommendation to add, 'and that a photo and film documentation of the foundation structure for the buildings be incorporated in the report'

The following motion was considered:

HB029-2024

1. That the report from Arpita Jambekar, Heritage Planner, to the Brampton Heritage Board Meeting of July 23, 2024, re: **Heritage Impact Assessment, 30-46 and 54-60 Main Street North - Ward 1** be received; and,
2. That the following recommendations as per the Heritage Impact Assessment by LHC Heritage Planning & Archaeology Inc. be followed:
 - i. Provisional proposed development alternatives and mitigation measures are presented in the HIA report. They are intended to inform the design of the forthcoming development and should be considered to help mitigate possible impacts to the properties' heritage attributes. Detailed mitigation strategies shall be developed upon finalization of the design for the proposed development;
 - ii. That the report provides a series of four development alternatives relative to the demolition of the of the City-owned buildings and that, regardless of which option is selected, a documentary record of the buildings on the properties should be prepared. This being the case a Documentation and Salvage report is to be prepared for the buildings that are demolished, and that a photo and film documentation of the foundation structure for the buildings be incorporated in the report;
 - iii. That, should Option 2, Option 3 or Option 4 be the selected alternative, it is recommended that a Conservation Plan be prepared by a qualified Heritage Professional to include guidance for any immediate intervention

required prior to removals and construction, stabilization during construction, and guidance for repairs and long-term maintenance following construction and new development;

- iv. That, should demolition be the selected alternative, salvage that considers the properties' heritage attributes and other salvageable materials should be conducted and commemoration – through the City's plaque program – should be prepared, with incorporation of any salvaged features from the buildings in a commemorative element, for the new development.
- v. That when the design of the proposed development is finalized, an addendum to this HIA should be prepared to address any additional impacts and to clarify proposed alternatives, mitigation, and next steps.

Carried

9.4 Report by Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment - 8990 McLaughlin Road South - Ward 1

Arpita Jambekar, Heritage Planner, provided an overview of the subject report, noting that the property located at 8990 McLaughlin Road South was the former Ontario Provincial Police Administration Building. The building was designated in 2006, and due to its deteriorated condition was approved for demolition to allow for the design of the Brampton Arts and Culture Centre.

In response to comments and questions, staff advised of the following:

- Confirmation that the building is designated
- The report provides a series of options as determined by the Heritage Impact Assessment to guide the design process
- The options should be considered for reincorporation as the design is prepared for the proposed development
- A report on the de-designation of the building will be brought to the Board at a future date
- Every effort will be made to retain and salvage the heritage elements of the building such as the entranceway rotunda

The following motion was considered:

HB030-2024

1. That the report from Arpita Jambekar, Heritage Planner, to the Brampton Heritage Board meeting of July 23, 2024, re: **Heritage Impact Assessment, 8990 McLaughlin Road South - Ward 4** be received;
2. That the Heritage Impact Assessment Report for 8990 McLaughlin Road, prepared by LHC Heritage Planning & Archaeology Inc., dated June 17, 2024 be deemed complete;
3. That the following recommendations from the Heritage Impact Assessment by LHC Heritage Planning & Archaeology Inc. be followed:
 - a. Options 1 through 8, are recommended in the HIA for proposed development while retaining the heritage attributes to the greatest extent possible. The preferred option from a heritage conservation perspective is Option 2 (retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade). In the event retention as per Option 2 is not possible, then Options 3 through 7, in that order of preference, should be pursued;
 - b. Option 8 (Demolition, commemoration, and interpretation) should only be considered as an option of last resort if all other options are demonstrated not to be viable;
 - c. As design of the Brampton Arts and Culture Centre progresses, the project team should consider the relevant Standards outlined in HIA section 9.3. New elements should be designed to be physically and visually compatible with, subordinate to, and distinguishable from the retained portions of the building. Reintegration of salvaged elements must also be guided by the standards and guidelines identified in Table 4 of the HIA (Attachment 1);
 - d. The design should also be informed by the existing building. Design elements such as those listed below should all be considered for re-incorporation or to guide the design of the forthcoming building:
 - i. The patterns and colour palette of the terrazzo floor in the building's lobby and hallway
 - ii. Polished chrome air vent grilles
 - iii. Polished chrome handrail and door hardware
 - iv. And acoustic ceiling tiles in the rotunda;

4. That a Conservation Plan/ Heritage Building Protection Plan be prepared by a qualified heritage professional to guide any retention *in situ* of portions of the building and their re-integration into a new development;
5. That prior to any changes to the building, a Salvage and Documentation Plan is to be prepared in order to identify materials to be salvaged and to outline measures to conserve materials being stored for reuse;
6. That a Commemoration and Interpretation Plan be prepared for the new development regardless of the option selected. It is recommended that the Commemoration Strategy make use of salvaged materials; and,
7. That an addendum to this scoped HIA will be required once a proposed development for the property has been prepared.

Carried

10. Correspondence

Nil

11. Other/New Business

11.1 Report by Charlton Carscallen, Principal Planner, re: Implementation of Heritage Easement Agreement - 10900 Coleraine Drive - Ward 10

Charlton Carscallen, Principal Planner, provided an overview of the subject report regarding the implementation of the Heritage Easement Agreement for 10900 Coleraine Drive, where the property was relocated. The home has been standing on stilts since its relocation and the owners are now ready to complete the relocation with its new foundation. Completion of the Heritage Easement Agreement will provide the City and owner a clear understanding of their responsibilities through this process.

The following motion was considered:

HB031-2024

1. That the report from Charlton Carscallen, Principal Planner, to the Brampton Heritage Board meeting of July 23, 2024, re: **Implementation of Heritage Easement Agreement for the Property at 10900 Coleraine Drive, Ward 10**, be received; and,
2. That the Commissioner of Planning, Building and Growth Management be authorized to enter into a Heritage Easement Agreement with the Owner for the

property at 10900 Coleraine Drive in accordance with Part IV, section 37 of the Ontario Heritage Act, as amended (the “Act”).

Carried

- 11.2 Report by Arpita Jambekar, Heritage Planner Heritage Permit and Heritage Conservation Plan - 69 Elliott Street - Ward 3

Dealt with under Item 9.2 Recommendation HB028-2024

12. Current Heritage Issues

- 12.1 Charlton Carscallen, Principal Planner/Supervisor, re: Heritage Related Updates
Charlton Carscallen, Principal Planner, provided an update on heritage matters which included the following:

- Hiring of a new Heritage Planner, Otmar Melhado
- City of Brampton 50th Anniversary Celebrations at Chinguacousy Park
 - Heritage Division arranged a booth at the site and forty to fifty people expressed interest
- Plaque unveiling ceremony for Marysfield Community Cooperative Housing took place in June 2024 and approximately fifty people attended

The Board suggested that they be advised of events related to Heritage Board events.

13. Referred/Deferred Items

Nil

14. Information Items

Nil

15. Question Period

Nil

16. Public Question Period

Nil

17. Closed Session

Nil

18. **Adjournment**

HB032-2024

That Brampton Heritage Board do now adjourn to meet again on September 17, 2024 at 7:00 p.m.

Carried

Douglas McLeod (Co-Chair)

Stephen Collie (Co-Chair)



Report
Staff Report
 The Corporation of the City of Brampton
 9/17/2024

Date: 2024-08-23

Subject: **Heritage Impact Assessment, 18 River Road – Ward 6**

Contact: Arpita Jambekar, Heritage Planner, Integrated City Planning

Report number: Planning, Bld & Growth Mgt-2024-689

RECOMMENDATIONS:

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, to the Brampton Heritage Board Meeting of September 17, 2024, re: **Heritage Impact Assessment, 18 River Road – Ward 6**, be received;
2. That the Heritage Impact Assessment Report for 18 River Road, prepared by LHC Heritage Planning & Archaeology Inc, dated October, 2023 be deemed complete;
3. That, based on the recommendation of the HIA, Option 1 for the proposed severance (as described in this report) be selected as the preferred alternative; and
4. That staff initiate the Heritage Designation process for the property, per HIA finding that it meets criteria 1 and 4 of the Ontario Regulation 9/06 and is eligible for designation under Section 29 Part IV of the Ontario Heritage Act.

OVERVIEW:

- A Heritage Impact Assessment was requested by staff pursuant to a Consent to Sever application for 18 River Road.
- The subject property was listed on Brampton's Municipal Register of Cultural Heritage Resources in 2009.
- The HIA demonstrated that the subject property meets Criteria 1 and 4 of Ontario Regulation 9/06 and is eligible for designation under Section 29, Part IV of the Ontario Heritage Act.
- The HIA concluded that the proposed severance will not have an adverse impact on the cultural heritage value or interest of the subject property or the adjacent heritage properties.

- **Of two proposed severance options for the subject land, the HIA recommends that “Option 1” maintains the property’s relationship with the creek and should be the preferred alternative.**
- **The HIA is considered complete per the City’s Terms of Reference.**
- **There are no financial implications as a result of this report.**

BACKGROUND:

The property owners of 18 River Road made an inquiry to City Planning staff regarding the requirements for a consent for a proposed severance at 18 River Road. Planning staff recommended completion of an HIA prior to submitting a formal application for the severance. This was requested to better understand the impact of severance on the on the River Road Cultural Heritage Landscape and the subject property, which is a Listed Heritage property. The HIA report provides details of the Cultural Heritage Value or Interest of the property, identifies the nature of the impacts to those values, for both the CHL and the property, that would result from the severance, and assesses options for the severance.

Property Description

The property at 18 River Road was listed as a cultural heritage resource in the City’s Municipal Register of Cultural Heritage Resources in 2009.

The property is comprised of a one-and-a-half storey residential building on an irregularly shaped lot with an area of approximately 0.66 hectares that also includes three rear cottages, and a series of sheds and accessory buildings. The property is located on the south-east side of River Road between the intersection with Mississauga Road and River Road’s curve to the south and west to follow the river westward. The property is adjacent to two heritage properties:

- 2100 Embleton Road (the McMurchy Powerhouse and Mill), which is designated under Section 29 of Part IV of the Ontario Heritage Act, and
- The River Road Cultural Heritage Landscape, which is listed in the Municipal Register.

Structure Description

The house, which was built in the early 20th Century, is a representative example of the Craftsman Bungalow style.

The attributes contributing to the design and physical values of the house include:

- it’s one and a half storey height,
- broad, low pitched roof with a blanket-like appearance;
- overhanging eaves;

- ample exterior set-backs
- residential use;
- General lack of ornamentation;
- chimney;
- dormers;
- large bay or picture windows;
- covered porch and rustic materials reflecting the Craftsman Bungalow style.

The property has historical and associative value because of its direct association with the McMurchy family and Darius McClure, both of whom were prominent in the community and made significant contributions to the development of Huttonville and Brampton.

CURRENT SITUATION:

The HIA concludes that the property meets Criteria i for design value or physical value because it is a representative example of a Craftsman Style Bungalow and Criteria iv for its historical and associative value. The property is eligible for designation under Section 29 Part IV of the Ontario Heritage Act as it meets two of the criteria under Ontario Regulation 9/06.

The HIA also evaluated the two options being considered for the severance in terms of their impact on the identified heritage attributes of the property:

- Option 1 retains 0.40 hectares (ha) surrounding the three one-storey cottages and severs the 0.25ha surrounding the house, accessory buildings, and the east side of the creek (Attachment 1, Figure 9).
- Option 2 retains the 0.49 hectares (ha) surrounding the three one-storey detached cottages and severs the 0.16ha surrounding the house and accessory buildings (Attachment 1, Figure 10).

The HIA demonstrates that there will be no direct or indirect impacts to the identified heritage attributes of the property at 18 River Road as a result of the severance. Additionally, the HIA also identifies that there will be no potential impacts to the adjacent Cultural Heritage resources at 2100 Embleton Road or to the River Road Cultural Heritage Landscape. The HIA recommends Option 1 for the proposed severance to best maintain the Property's relationship to the creek on the south side of the property boundary.

Although a formal application for the proposed severance has not been submitted, the heritage staff are in support of the severance Option 1, with the condition that the property at 18 River Road with the existing Craftsman style Bungalow, identified to be eligible for designation as part of the HIA, be designated under Section 29, Part IV of the Ontario Heritage Act. As part of the next steps, Heritage staff recommend that the Heritage Designation process for the property at 18 River Road be initiated.

CORPORATE IMPLICATIONS:

Financial Implications:

None

STRATEGIC FOCUS AREA:

The approval of the Heritage Impact Assessment noted within this report supports the Culture & Diversity Focus Area. The recommendations therein, support retention of a rare and unique cultural heritage resource within its context of the Credit view River Road Cultural Heritage Landscape, that contributes to the understanding of Brampton's early history, and help maintain a sense of place, belonging and community identity.

CONCLUSION:

It is recommended that the Heritage Impact Assessment, 18 River Road– Ward 6 be received by the Brampton Heritage Board as being complete and that the heritage designation process for the property at 18 River Road, under Section 29 Part IV of the Ontario Heritage Act, be commenced.

Authored by:

Reviewed by:

Arpita Jambekar
Heritage Planner,
Integrated City Planning

Jeffrey Humble, RPP, MCIP
Manager
Policy Programs and Implementation

Reviewed by:

Reviewed by:

Henrik Zbogor, RPP, MCIP
Director
Integrated City Planning

Steve Ganesh, RPP, MCIP
Commissioner
Planning, Building and Growth Management

Attachments:

- Attachment 1 - Heritage Impact Assessment Report for 18 River Road prepared by LHC Heritage Planning & Archaeology Inc., dated October 2023

FINAL REPORT:

Heritage Impact Assessment

18 River Road, Brampton, Ontario



**LHC Heritage
Planning &
Archaeology Inc.**

Kingston | Toronto
Ottawa

837 Princess Street, Suite 400
Kingston, ON
K7L 1G8

Phone: 613-507-7817
Toll Free: 1-833-210-7817
E-mail: info@lhcheritage.com

30 October 2023

Project # LHC0385

LHC

This page has been left blank deliberately

Report prepared for: Renji Abraham and Sudha Renji Abraham
Owners
18 River Road,
Brampton, ON
L6X 0A6

Report prepared by: Lisa Coles, MPI, CAHP-Intern

Graphics prepared by: Jordan Greene, BA (Hons)

Reviewed by: Christienne Uchiyama, MA, CAHP

RIGHT OF USE

The information, recommendations and opinions expressed in this report are for the sole benefit of the 'Owners'. Any other use of this report by others without permission is prohibited and is without responsibility to LHC. The report, all plans, data, drawings and other documents as well as all electronic media prepared by LHC are considered its professional work product and shall remain the copyright property of LHC, who authorizes only the Owners and approved users (including municipal review and approval bodies) to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of Owners and approved users.

REPORT LIMITATIONS

The qualifications of the heritage consultants who authored this report are provided in Appendix A. All comments regarding the condition of any buildings on the Property are based on a superficial visual inspection and are not a structural engineering assessment of the buildings unless directly quoted from an engineering report. The findings of this report do not address any structural or physical condition related issues associated with any buildings on the property or the condition of any heritage attributes.

Concerning historical research, the purpose of this report is to evaluate the property for cultural heritage value or interest and to assess potential impacts related to the proposed severance. The authors are fully aware that there may be additional historical information that has not been included. Nevertheless, the information collected, reviewed, and analyzed is sufficient to conduct an evaluation using *Ontario Regulation 9/06 Criteria for Determining Cultural Heritage Value or Interest* and to assess potential impacts related to the proposed severance. This report reflects the professional opinion of the authors and the requirements of their membership in various professional and licensing bodies.

The review of policy and legislation was limited to that information directly related to cultural heritage management and is not a comprehensive planning review. Additionally, soundscapes, cultural identity, and sense of place analyses were not integrated into this report.

Archaeological potential has not been assessed as part of this HIA. A separate archaeological assessment may be required as part of a complete application.

EXECUTIVE SUMMARY

The Executive Summary only provides key points from the report. The reader should examine the complete report including background, results as well as limitations.

LHC was retained on 12 June 2023 by Renji Abraham and Sudha Renji Abraham to undertake a Heritage Impact Assessment for the Property located at 18 River Road in the City of Brampton, Ontario.

This HIA is being prepared as part of the Consent to Sever application for 18 River Road. The owners are proposing to sever a portion of the Property using one of two options. It has been prepared to evaluate the cultural heritage value or interest of the Property, to advise on severance options, and to assess potential adverse impacts on the cultural heritage value and heritage attributes of the Property. This HIA was undertaken in accordance with the recommended methodology outlines within the *Ontario Heritage Toolkit*.

The Property is listed under Section 27 Part IV of the *Ontario Heritage Act*. It is adjacent to the River Road Cultural Heritage Landscape (listed under Section 27 Part IV of the *OHA*) and 2100 Embleton Road (designated under Section 29 Part IV of the *OHA*).

In LHC's professional opinion, the Property meets criteria 1 and 4 of *O. Reg. 9/06*. Heritage attributes of the Property are associated with house. LHC finds that the proposed severance will not have an adverse impact on the cultural heritage value or interest of the Property or the adjacent heritage property. Alternatives and mitigation measures to lessen or avoid these potential adverse impacts were not explored.

LHC recommends the selection of option 1 for the proposed severance to maintain the Property's relationship with the creek.

Table of Contents

Right of Use	iv
Report Limitations.....	iv
Executive Summary.....	v
1 Introduction.....	1
1.1 Property Owner.....	1
1.2 Property Location.....	1
1.3 Property Description	1
1.4 Property Heritage Status.....	1
1.5 Adjacent Properties.....	1
2 Study Approach	6
2.1 City of Brampton Heritage Impact Assessment Terms of Reference	6
2.2 Legislation and Policy Review	15
2.3 Historical Research	15
2.4 Site Visit.....	16
2.5 Impact Assessment	16
3 Policy and Legislation COntext	17
3.1 Provincial Context	17
3.1.1 <i>Planning Act</i> , R.S.O. 1990.....	17
3.1.2 Provincial Policy Statement (2020).....	17
3.1.3 Ontario Heritage Act, R.S.O. 1990, c. O. 18.....	18
3.1.4 Places to Grow Act, 2005 S.O. 2005	18
3.1.5 Provincial Planning Context Summary.....	20
3.2 Local Framework	20
3.2.1 Region of Peel Official Plan (2022)	20
3.2.2 City of Brampton Official Plan (2006, consolidated 2020).....	20
3.2.3 Local Planning Context Summary	21
4 Research and Analysis	22
4.1 Early Indigenous History.....	22
4.1.1 Paleo Period (9500 – 8000 BCE)	22
4.1.2 Archaic Period (8000 – 1000 BCE)	22
4.1.3 Woodland Period (1000 BCE – CE 1650).....	22

4.2	Seventeenth- and Eighteenth-Century Historic Context	23
4.3	Survey and Early Euro-Canadian Settlement	24
4.4	Chinguacousy Township and Peel County	25
4.5	City of Brampton	27
4.6	Property History	29
4.7	Significant Person History	35
4.7.1	Darius McClure	35
4.7.2	McMurchy Family	36
5	Existing Conditions	38
5.1	Surrounding Context	38
5.2	Adjacent Heritage Properties	43
5.3	18 River Road	44
5.3.1	Exterior	44
5.3.2	Interior	47
5.3.3	Accessory Buildings	60
5.4	24 River Road	63
5.5	26 River Road	66
5.6	28 River Road	68
5.7	Craftsman Bungalow Style	69
6	Understanding of Cultural Heritage Value or Interest	71
6.1	<i>Ontario Regulation 9/06 Evaluation</i>	71
6.1.1	Summary of Evaluation	74
6.2	Proposed Statement of Cultural Heritage Value or Interest	74
6.2.1	Description of Property	74
6.2.2	Statement of Cultural Heritage Value or Interest	74
6.2.3	List of Heritage Attributes	75
7	Description of Proposed Alteration	76
8	Impact of Development On Heritage Attributes	80
8.1	Summary of Potential Impacts	84
9	Conclusion and Recommendations	85
	Signatures	86
10	References	87

Appendix A Qualifications.....	92
Appendix B Glossary	95
Appendix C Review of Relevant OP Policies	100
Appendix D Land Registry Records for 18 River Road	106
Appendix E Designation By-Laws 60-83 and 264-83	111

List of Figures

Figure 1: Location Plan.....	3
Figure 2: Current Conditions.....	4
Figure 3: Cultural Heritage Resources Map	5
Figure 4: Ajetance Treaty, No. 19 Map	25
Figure 5: 1918, 1851, 1859, and 1877 Historic Maps Showing the Property.....	32
Figure 6: 1909, 1918, 1933, 1942, 1964, 1973, 1979, and 1994 Topographic Maps Showing the Property	33
Figure 7: 1954, 1969, 1994, and 2000 Aerial Photographs Showing the Property	34
Figure 8: Area of Cultural Heritage Value or Interest Site Plan	76
Figure 9: Severance Proposal SP-1 (Option 1)	78
Figure 10: Severance Proposal Sp-2 (Option 2)	79

List of Tables

Table 1: City of Brampton's Heritage Impact Assessment Requirements	7
Table 2: <i>Ontario Regulation 9/06</i> Evaluation for 18 River Road	71
Table 3: Potential Impacts of Severance at 18 River Road	80
Table 4: Impact assessment of adjacent properties.....	84
Table 5: Land Registry and Title Search Records for 18 River Road	107

List of Photographs

Photo 1: View of the house in 2011.....	31
Photo 2: View of the house in 2014.....	31
Photo 3: Photograph of the Victoria Hotel, c. 1936-1940	36
Photo 4: View northwest along River Road from the Property	39
Photo 5: View southeast along River Road from the Property	39
Photo 6: View southwest along River Road from 24 River Road	40
Photo 7: View northeast along River Road from 24 River Road	40
Photo 8: View northwest along Mississauga Road from north of the Property	41
Photo 9: View southeast along Mississauga Road from north of the Property	41
Photo 10: View west along Duke Creek	42

Photo 11: View east along Duke Creek	42
Photo 12: Photograph of the McMurchy Woollen Mill	43
Photo 13: Photograph of the McMurchy Powerhouse.....	44
Photo 14: View southwest of the north elevation	45
Photo 15: View northeast of the west elevation.....	46
Photo 16: View northeast of the south elevation	46
Photo 17: View northwest of the east elevation.....	47
Photo 18: View north of the sitting / dining room	48
Photo 19: View south of the dining room and staircase.....	48
Photo 20: View north of the kitchenette and staircase.....	49
Photo 21: View south of the mudroom	49
Photo 22: View north of the hallway	50
Photo 23: View south of the hallway.....	50
Photo 24: View of the laundry room	51
Photo 25: View south of the living room	51
Photo 26: View west of the bathroom.....	52
Photo 27: View of the north side of the entryway / sitting room.....	53
Photo 28: View of the south side of the entryway / sitting area	54
Photo 29: View of the northeast bedroom	54
Photo 30: View of the northwest bedroom	55
Photo 31: View of the bathroom	56
Photo 32: View of the kitchen	56
Photo 33: View of the dining area	57
Photo 34: View of the living room	57
Photo 35: View of the south side.....	58
Photo 36: View of the north side.....	59
Photo 37: View of the bathroom	60
Photo 38: View northeast of an exterior amenity area and garage.....	61
Photo 39: View southwest of additional accessory buildings.....	61
Photo 40: View north across the creek to the shed	62
Photo 41: View east of the bridge over Duke Creek from the main house to the cottages.....	62
Photo 42: View of the Duke's Creek sign and bridge.....	63
Photo 43: View of the south elevation	64
Photo 44: View of the east elevation.....	64
Photo 45: View of the north elevation.....	65
Photo 46: View of the west elevation.....	65
Photo 47: View of the south and east elevations.....	66
Photo 48: View of the east elevation.....	67
Photo 49: View of the east and north elevations	67
Photo 50: View of the west elevation.....	68
Photo 51: View of the east elevation.....	69
Photo 52: View of the north and west elevations	69

1 INTRODUCTION

LHC Heritage Planning & Archaeology Inc. (LHC) was retained on 12 June 2023 by Renji Abraham and Sudha Renji Abraham (**the “Owners”**) to undertake a Heritage Impact Assessment (**HIA**) for the Property located at 18 River Road (**the “Property”**) in the City of Brampton (**the “City”**), Ontario.

This HIA is being prepared as part of the Consent to Sever application for 18 River Road. The owners are proposing to sever a portion of the Property using one of two options (detailed in Section 7). This HIA was undertaken in accordance with the recommended methodology outlined within the *Ontario Heritage Toolkit* and the City of Brampton’s *Heritage Impact Assessment Terms of Reference*.

1.1 Property Owner

The Property is owned by Renji Abraham and Sudha Renji Abraham of 18 River Road, Brampton, Ontario.

1.2 Property Location

The Property is located on the south side of River Road between the intersection with Mississauga Road and River Road’s curve south to follow the river in the City of Brampton, Ontario (Figure 1).

1.3 Property Description

The Property is situated on an irregularly shaped lot with an area of approximately 0.66-hectares (ha). It comprises several buildings including a one-and-a-half storey residential building; three, detached one-storey cottages; a one-storey bunk house; a one-storey car port; and a detached one-storey shed. The house and accessory buildings are municipally known as 18 River Road. Each of the cottages has their own associated addresses of 24, 26, and 28 River Road. A driveway extends from the south side of River Road along the east side of the house. A second driveway extends from the north side - creek facing section - of River Road along the south side of two of the cottages then into the centre of the three cottages (Figure 2).

1.4 Property Heritage Status

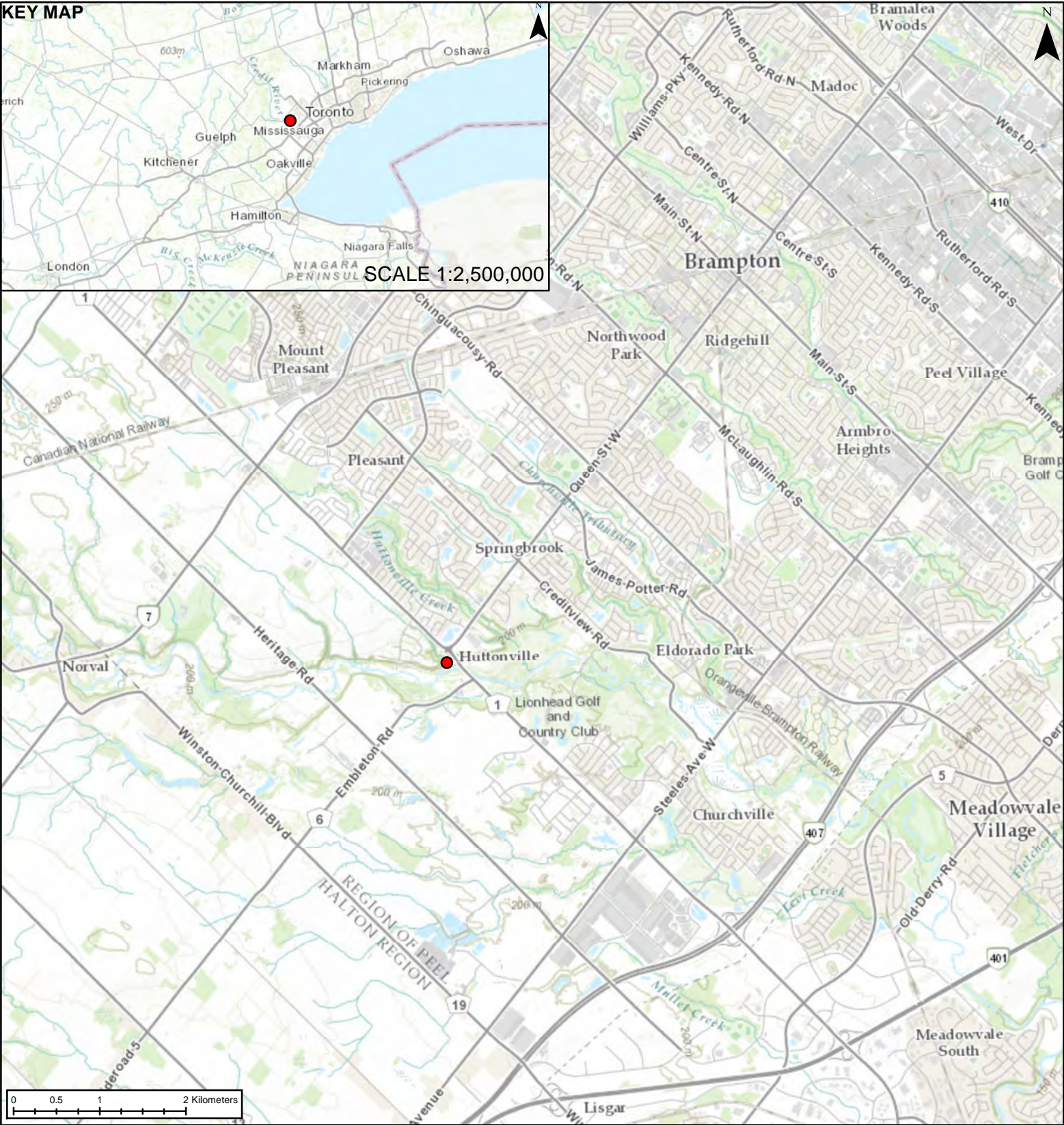
The Property is listed under *Section 29 Part IV* of the *Ontario Heritage Act (OHA)*. It is not designated under Part IV or Part V of the *OHA*.

1.5 Adjacent Properties

The *Provincial Policy Statement (PPS)* defines adjacency for cultural heritage resources as “those lands contiguous to a protected heritage property or as otherwise defined in the


municipal official plan.”¹ The City of Brampton *Official Plan* does not define adjacent. The Property is adjacent to 2100 Embleton Road, which is designated under Section 29 Part IV of the *OHA*. The Property is also adjacent to the River Road Cultural Heritage Landscape, which is listed under *Section 27 Part IV* of the *OHA*.

¹ Province of Ontario, “Provincial Policy Statement, 2020: Under the Planning Act,” last modified 1 May 2020, accessed 25 September 2023, <https://files.ontario.ca/mmah-provincial-policy-statement-2020-accessible-final-en-2020-02-14.pdf>, 39.



<div>Legend</div> <div><div><div></div></div>Property</div> <div><div>NOTE(S) 1. All locations are approximate.</div><div>REFERENCE(S) 1. Service Layer Credits: Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.</div></div>	TITLE Location of the Property	
	CLIENT Renji Abraham and Sudha Renji Abraham	
	PROJECT Heritage Impact Assessment, 18 River Road, Brampton, Ontario	
	PROJECT NO. LHC0385	
	CONSULTANT	YYYY-MM-DD
<div>LHC</div>	PREPARED	LHC
	DESIGNED	JG
	FIGURE #	1




<div>Legend</div> <div><div></div>Property</div> <div></div> <div>NOTE(S) 1. All locations are approximate. REFERENCE(S) 1. Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.</div>	TITLE Current Conditions	
	CLIENT Renji Abraham and Sudha Renji Abraham	
	PROJECT Heritage Impact Assessment, 18 River Road, Brampton, Ontario	
	PROJECT NO. LHC0385	
	CONSULTANT	YYYY-MM-DD
<div></div>	PREPARED	LHC
	DESIGNED	JG
	FIGURE #	2



- Legend**
- Property
 - 2100 Embleton Rd,
Designated under the *Ontario Heritage Act*
 - River Road Cultural Heritage Landscape

NOTE(S) 1. All locations are approximate.

REFERENCE(S)
1. Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
Portions of this document include intellectual property of Esri and its licensors and are used under license.
Copyright (c) Esri and its licensors. All rights reserved.

TITLE Cultural Heritage Resources Map		
CLIENT Renji Abraham and Sudha Renji Abraham		
PROJECT Heritage Impact Assessment, 18 River Road, Brampton, Ontario		PROJECT NO. LHC0385
CONSULTANT	YYYY-MM-DD	2023-09-28
	PREPARED	LHC
	DESIGNED	JG
	FIGURE #	3

2 STUDY APPROACH

LHC follows a three-step approach to understanding and planning for cultural heritage resources based on the understanding, planning and intervening guidance from Canada's Historic Places' *Standards and Guidelines for the Conservation of Historic Places in Canada* and the *Ontario Heritage Tool Kit*.² Understanding the cultural heritage resource involves:

- Understanding the significance of the cultural heritage resource (known and potential) through research, consultation and evaluation—when necessary.
- Understanding the setting, context and condition of the cultural heritage resource through research, site visit and analysis.
- Understanding the heritage planning regulatory framework around the cultural heritage resource.

The impact assessment is guided by the *Ontario Heritage Tool Kit, Heritage Resources in the Land Use Planning Process, Information Sheet #5, Heritage Impact Assessments and Conservation Plans* and the City of Brampton's *Heritage Impact Assessment Terms of Reference*. A description of the proposed development or site alteration, measurement of development or site impact and consideration of alternatives, mitigation and conservation methods are included as part of planning for the cultural heritage resource.

2.1 City of Brampton Heritage Impact Assessment Terms of Reference

The City has developed guidelines for HIAs produced for properties within the City. The HIA Guidelines require an HIA for a development or redevelopment of a property proposed:

- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is subject to land use planning applications;
- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is facing possible demolition; or
- Any property that is subject to land use planning applications and is adjacent to a property designated in the municipal heritage register, pursuant to Section 27 (1.1) of the *Ontario Heritage Act*.³

The Property meets this criterion as part of the Property is listed (not designated) under Section 27 Part IV of the *OHA*.

² Parks Canada, "Standards and Guidelines for the Conservation of Historic Places in Canada," *Canada's Historic Places*, last modified 2010, accessed 6 February 2023, <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>, 3.; Ministry of Citizenship and Multiculturalism, "Heritage Property Evaluation," in the *Ontario Heritage Toolkit* (Toronto: Queen's Printer for Ontario, 2006), 18.

³ City of Brampton, "Heritage Impact Assessment Terms of Reference," 2.

The requirements outlined in the City of Brampton's Heritage Impact Assessment Terms of Reference include:

Table 1: City of Brampton's Heritage Impact Assessment Requirements

Requirement	Location
Background Provide a background on the purpose of the HIA by outlining why it was undertaken, by whom, and the date(s) the evaluation took place.	Section 1
Background Briefly outline the methodology used to prepare the assessment.	Section 2
Introduction to the Subject Property Provide a location plan specifying the subject property, including a site map and aerial photograph at an appropriate scale that indicates the context in which the property and heritage resource is situated.	Figure 1 and Figure 2
Introduction to the Subject Property Briefly document and describe the subject property, identifying all significant features, buildings, landscape, and vistas.	Section 1 and Section 5
Introduction to the Subject Property Indicate whether the property is part of any heritage register (e.g., Municipal Register of Cultural Heritage Resources Designated under the Ontario Heritage Act, or Municipal Register of Cultural Heritage Resources.	Section 1
Introduction to the Subject Property Document and describe the context including adjacent properties, land uses, etc.	Sections 1 and 5
Introduction to the Subject Property Document, describe, and assess the apparent physical condition, security, and critical maintenance concerns as well as the integrity of standing buildings, and structures found on the subject property.	Section 5

Requirement	Location
<p>Introduction to the Subject Property</p> <p>If the structural integrity of existing structures appears to be a concern, recommend the undertaking of a follow-up structural and engineering assessment to confirm if conservation, rehabilitation and/or restoration are feasible. Assessments must be conducted by qualified professionals with heritage property experience.</p>	N/A
<p>Evaluation of Cultural Heritage Value or Interest</p> <p>Thoroughly document and describe all heritage resources within the subject property, including cultural heritage landscapes, structures, buildings, building elements, building materials, architectural features, interior finishes, natural elements, vistas, landscaping and potential archaeological resources</p>	Section 5
<p>Evaluation of Cultural Heritage Value or Interest</p> <p>Provide a chronological history of the site and all structure(s), including additions, deletions, conversions, etc.</p>	Section 4
<p>Evaluation of Cultural Heritage Value or Interest</p> <p>Provide a list of owners from the Land Registry office and other resources, as well as a history of the site use(s) to identify, describe, and evaluate the significance of any persons, groups, trends, themes, and/or events that are historically or culturally associated with the subject property.</p>	Appendix D
<p>Evaluation of Cultural Heritage Value or Interest</p> <p>Document heritage resource(s) using current photographs of each elevation, and/or measured drawings, floor plans, and a site map at an appropriate scale for the given application (i.e., site plan as opposed to subdivision). Also include historical photos, drawings or other archival material is available and relevant.</p>	Section 5

Requirement	Location
<p>Evaluation of Cultural Heritage Value or Interest</p> <p>Using Regulation 9/06 of the <i>Ontario Heritage Act</i> (Criteria for Determining Cultural Heritage Value or Interest), identify, describe, and evaluate the cultural heritage value or interest of the subject property as a whole, outlining in detail all significant heritage attributes and other heritage elements.</p>	Section 6
<p>Evaluation of Cultural Heritage Value or Interest</p> <p>Provide a summary of the evaluation in the form of a table (see Appendix 1) outlining each criterion (design or physical value; historical or associative value; contextual value), the conclusion for each criterion, and a brief explanation for each conclusion.</p>	Section 6
<p>Description and Examination of Proposed Development / Site Alterations</p> <p>Provide a description of the proposed development or site alteration in relation to the heritage resource.</p>	Section 7
<p>Description of Examination of Proposed Development / Site Alterations</p> <p>Indicate how the proposed development or site alteration will impact the heritage resource(s) and neighbouring properties. These may include:</p> <ul style="list-style-type: none"> • Destruction of any, or part of any, significant heritage attributes or features; • Alteration to the historic fabric and appearance; • Shadow impacts on the appearance of a heritage attribute or an associated natural feature or plantings, such as a garden; • Isolation of a heritage attribute from its surrounding environment, context or a significant relationship; • Impact on significant views or vistas within, from, or of built and natural features; • A change in land use where the change in use may impact the property's cultural heritage value or interest; • Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource. 	Section 8

Requirement	Location
<p>Description and Examination of Proposed Development / Site Alterations</p> <p>Submit a drawing indicating the subject property streetscape and properties to either side of the subject lands, if applicable. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and how it integrates with the adjacent properties from a streetscape perspective. Thus, the drawing must show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees and/or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.</p>	Figure 7 and Figure 8
<p>Mitigation Options, Conservation Methods, and Proposed Alternatives</p> <p>Provide mitigation measures, conservation methods, and / or alternative development options that avoid or limit the direct and indirect impacts to the heritage resource</p>	N/A
<p>Mitigation Options, Conservation Methods, and Proposed Alternatives</p> <p>Provide mitigation measures, conservation methods, and/or alternative development options that avoid or limit the direct and indirect impacts to the heritage resource.</p>	N/A

Requirement	Location
<p>Mitigation Options, Conservation Methods, and Proposed Alternatives</p> <p>Evaluate the advantages and disadvantages (pros and cons) of each proposed mitigation measure / option. The mitigation options may include, but are not limited to:</p> <ul style="list-style-type: none"> • Alternative development approaches; • Appropriate setbacks between the proposed development and the heritage resources; • Design guidelines that harmonize mass, setback, setting, and materials; • Limiting height and density; • Compatible infill and additions; • Refer to Appendix 2 for additional mitigation strategies. 	N/A
<p>Mitigation Options, Conservation Methods, and Proposed Alternatives</p> <p>Identify any site planning and landscaping measures that may ensure significant heritage resources are protected and / or enhanced by the development or redevelopment.</p>	
<p>Mitigation Options, Conservation Methods, and Proposed Alternatives</p> <p>If relocation, removal, demolition or other significant alteration to a heritage resource is proposed by the landowner and is supported by the heritage consultant, provide clear rationale and justification for such recommendations.</p>	N/A
<p>Mitigation Options, Conservation Methods, and Proposed Alternatives</p> <p>If relocation is recommended, outline short-term site maintenance, conservation, and critical building stabilization measures.</p>	N/A

Requirement	Location
Mitigation Options, Conservation Methods, and Proposed Alternatives Provide recommendations for follow-up site-specific heritage strategies or plans such as a Conservation Plan, Adaptive Reuse Plan, and/or Structural/Engineering Assessment.	N/A
Mitigation Options, Conservation Methods, and Proposed Alternatives If a heritage property of cultural heritage value or interests cannot be retained in its original location, consider providing a recommendation for relocation by the owner to a suitable location in reasonable proximity to its original siting.	N/A
Mitigation Options, Conservation Methods, and Proposed Alternatives If no mitigation option allows for the retention of the building in its original location or in a suitable location within reasonable proximity to its original siting, consider providing a recommendation for relocation to a more distant location.	N/A
Mitigation Options, Conservation Methods, and Proposed Alternatives Provide recommendations for advertising the sale of the heritage resource. For example, this could include listing the property on the Architectural Conservancy of Ontario (AOO) website in order to allow interested parties to propose the relocation of the heritage resource. Acceptable timelines and any other requirements will be determined in consultation with City staff.	N/A

Requirement	Location
<p>Mitigation Options, Conservation Methods, and Proposed Alternatives</p> <p>If a property cannot be retained or relocated, alternatives will be considered for salvage and mitigation. Only when other options can be demonstrated not to be viable will options such as ruinification or symbolic conservations be considered. Detailed documentation and commemoration (e.g., a heritage interpretive plaque) may also be required. Salvage of material must also occur, and a heritage consultant may need to provide a list of features of value to be salvaged. Materials may be required to be offered to heritage-related projects prior to exploring other salvage options.</p> <p>Ruinification allows for only the exterior of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.</p>	N/A
<p>Mitigation Options, Conservation Methods, and Proposed Alternatives</p> <p>If the subject property abuts to one or more listed or designated heritage properties, identify development impacts and provide recommended mitigation strategies to ensure the heritage resources on the adjacent properties are not negatively impacted. Mitigation strategies include, but are not limited to:</p> <ul style="list-style-type: none"> • Vegetation screening; • Fencing; • Buffers; • Site lines; • An architectural design concept for the massing and façade treatment of proposed buildings to ensure compatibility with the adjoining property and the like. 	Section 8

Requirement	Location
Mitigation Options, Conservation Methods, and Proposed Alternatives An implementation schedule and reporting / monitoring system for implementation of the recommended conservation or mitigation strategies may be required.	N/A
Recommendations Provide clear recommendations for the most appropriate course of action for the subject property and any heritage resources within it.	Section 9
Recommendations Clearly state whether the subject property is worthy of heritage designation under the <i>Ontario Heritage Act</i> .	Section 9
Recommendations The following questions must be answered in the final recommendation of the report: <ul style="list-style-type: none"> Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, <i>Ontario Heritage Act</i>? Why or why not does the subject property meet the criteria for heritage designation? Regardless of the failure to meet criteria for heritage designation, can the structure or landscape be feasible integrated into the alteration / development? 	Section 9
Recommendations Failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.	Section 9
Executive Summary Provide an executive summary of the assessment findings at the beginning of the report	Page v

Requirement	Location
Executive Summary Outline and summarize all recommendations including mitigation strategies, need for the preparation of follow-up plans such as conservation and adaptive reuse plans and other requirements as warranted. Please rank mitigation options from most preferred to least.	Page v
Other Requirements Provide a bibliography listing all sources used in preparing the HIA.	Section 10
Other Requirements Provide proper referencing within the HIA, including images, maps, etc.	Throughout

The HIA must be prepared by qualified heritage professionals (qualifications provided in Appendix A).

2.2 Legislation and Policy Review

The HIA includes a review of provincial legislation, plans and cultural heritage guidance, and relevant municipal policy and plans. This review outlines the cultural heritage legislative and policy framework that applies to the Property. The impact assessment considers the proposed project against this framework.

2.3 Historical Research

Historical research was undertaken to outline the history and development of the Property and its broader community context. Primary historic material, including air photos and mapping, were obtained from:

- The Ontario Council of University Libraries, Historical Topographic Map Digitization Project;
- The Canadian County Atlas Digital Project;
- University of Toronto;
- National Air Photo Library; and,
- The Region of Peel Archives.

Secondary research was compiled from sources such as: historical atlases, local histories, architectural reference texts, available online sources, and previous assessments. All sources

and persons contacted in the preparation of this report are listed as footnotes and in the report's reference list.

2.4 Site Visit

A site visit was undertaken by Cultural Heritage Specialist Colin Yu on 6 July 2023. The primary objective of the site visit was to document and gain an understanding of the Property and its surrounding context. The site visit included documentation of the surrounding area, exterior, and interior views of the structure. Access to the interior was granted by the Property owners.

2.5 Impact Assessment

*Information Sheet #5: Heritage Impact Assessments and Conservation Plans*⁴ and the City's HIA guidelines outline seven potential negative impacts to be considered with any proposed development or property alteration. The impacts include, but are not limited to:

- 1) **Destruction** of any part of any significant heritage attribute or features;
- 2) **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
- 3) **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
- 4) **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
- 5) **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
- 6) **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- 7) **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.

The HIA includes a consideration of direct and indirect adverse impacts on adjacent properties with known or potential cultural heritage value or interest. One adjacent heritage property and one adjacent cultural heritage landscape have been identified.

⁴ Ministry of Citizenship and Multiculturalism, "Info Sheet #5: Heritage Impact Assessments and Conservation Plans," in *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement* (Toronto: Queen's Printer for Ontario, 2006), 1-4.

3 POLICY AND LEGISLATION CONTEXT

3.1 Provincial Context

In Ontario, cultural heritage is established as a matter of provincial interest directly through the provisions of the *Planning Act*, the Provincial Policy Statement (**PPS**) and the *Ontario Heritage Act* (**OHA**). Cultural heritage resources are managed under Provincial legislation, policy, regulations, and guidelines. Other provincial legislation deals with cultural heritage indirectly or in specific cases. These various acts and the policies under these acts indicate broad support for the protection of cultural heritage by the Province. They also provide a legal framework through which minimum standards for heritage evaluation are established. What follows is an analysis of the applicable legislation and policy regarding the identification and evaluation of cultural heritage.

3.1.1 *Planning Act*, R.S.O. 1990

The *Planning Act* is the primary document for municipal and provincial land use planning in Ontario and was consolidated on 8 June 2023. This Act sets the context for provincial interest in heritage. It states under Part I (2, d):

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as...the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.⁵

Details about provincial interest as it relates to land use planning and development in the province are outlined in the *PPS*, which is used under the authority of Part 1 (3).

3.1.2 Provincial Policy Statement (2020)

The *PPS* provides further direction for municipalities regarding provincial requirements. The *PPS* addresses cultural heritage in Sections 1.7.1d and 2.6. Section 1.7 of the *PPS* on long-term economic prosperity encourages cultural heritage as a tool for economic prosperity by “encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including *Built Heritage Resources* and *cultural heritage landscapes* (Section 1.7.1d).”

Section 2.6 of the *PPS* articulates provincial policy regarding cultural heritage and archaeology. The subsections state:

2.6.1 *Significant Built Heritage Resources* and *significant cultural heritage landscapes* shall be *conserved*.

⁵ Province of Ontario, “Planning Act, R.S.O. 1990, c. P.13,” last modified 8 June 2023, accessed 25 September 2023, <https://www.ontario.ca/laws/statute/90p13>, Part I (2, d).

2.6.2 Development and site alteration shall not be permitted on lands containing Archaeological Resources or Areas of Archaeological Potential unless significant Archaeological Resources have been conserved.

2.6.3 Planning authorities shall not permit development and site *alteration* on *adjacent lands* to protected heritage property except where the proposed development and site *alteration* has been evaluated and it has been demonstrated that the *heritage attributes* of the protected heritage property will be *conserved*.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.⁶

Land use planning decisions made by municipalities, planning boards, the Province, or a commission or agency of the government must be consistent with the *PPS*. The *PPS* makes the consideration of cultural heritage equal to all other considerations in relation to planning and development within the province.

A HIA may be required by a municipality in response to Section 2.6.1 and 2.6.3 to conserve built heritage resources, cultural heritage landscapes, and the heritage attributes of a protected heritage property. A HIA is one tool to conserve or demonstrate conservation of a cultural heritage resource.

3.1.3 Ontario Heritage Act, R.S.O. 1990, c. O. 18

The *OHA* (consolidated 1 July 2023) and associated regulations establish the protection of cultural heritage resources as a key consideration in the land-use planning process, set minimum standards for the evaluation of heritage resources in the province, and give municipalities power to identify and conserve individual properties, districts, or landscapes of cultural heritage value or interest. An *OHA* designation applies to real property rather than individual structures. The Property has not been designated under the *OHA*.

3.1.4 Places to Grow Act, 2005 S.O. 2005

The *Places to Grow Act* guides growth in the province and enables the *Growth Plan* (described below). It was consolidated 1 June 2021 and is intended:

- a) to enable decisions about growth to be made in ways that sustain a robust economy, build strong communities and promote a healthy environment and a culture of conservation;

⁶ Province of Ontario, "Provincial Policy Statement," 29.

- b) to promote a rational and balanced approach to decisions about growth that builds on community priorities, strengths and opportunities and makes efficient use of infrastructure;
- c) to enable planning for growth in a manner that reflects a broad geographical perspective and is integrated across natural and municipal boundaries;
- d) to ensure that a long-term vision and long-term goals guide decision-making about growth and provide for the co-ordination of growth policies among all levels of government. *A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020).*

The Property is located within the area regulated by *A Place to Grow: Growth Plan for the Greater Golden Horseshoe (the Growth Plan)*, which came into effect on 16 May 2019 and was consolidated on 28 August 2020.

In Section 1.2.1, the *Growth Plan* states that its policies are based on key principles, which includes:

Conserve and promote cultural heritage resources to support the social, economic, and cultural well-being of all communities, including First Nations and Métis communities.⁷

It describes cultural heritage resources as:

The *Growth Plan* also contains important cultural heritage resources that contribute to a sense of identity, support a vibrant tourism industry, and attract investment based on cultural amenities. Accommodating growth can put pressure on these resources through development and site alteration. It is necessary to plan in a way that protects and maximizes the benefits of these resources that make our communities unique and attractive places to live.⁸

Policies specific to cultural heritage resources are outlined in Section 4.2.7, as follows:

- i. Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas;
- ii. Municipalities will work with stakeholders, as well as First Nations and Métis communities, in developing and implementing official plan policies and strategies for the identification, wise use and management of cultural heritage resources; and,
- iii. Municipalities are encouraged to prepare archaeological management plans and municipal cultural plans and consider them in their decision-making.⁹

⁷ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," last modified 28 August 2020, accessed 25 September 2023, <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>, 6.

⁸ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 39.

⁹ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 47.

Amendment 1 to *A Place to Grow* aligns the definitions of *A Place to Grow* with the PPS 2020.

3.1.5 Provincial Planning Context Summary

In summary, cultural heritage resources are considered an essential part of the land use planning process with their own unique considerations. As the province, these policies and guidelines must be considered by the local planning context. In general, the province requires significant cultural heritage resources to be conserved.

Multiple layers of municipal legislation enable a municipality to require a HIA for alterations, demolition, or removal of a building or structure from a listed or designated heritage property. These requirements support the conservation of cultural heritage resources in Ontario following provincial policy direction. The application of these policies to this specific project are discussed in Section 3 of this report.

3.2 Local Framework

3.2.1 Region of Peel Official Plan (2022)

The *Region of Peel Official Plan (ROP)* was adopted by Regional Council on 28 April 2022 - through By-law 20-2022 - and was approved with modifications by the Ministry of Municipal Affairs and Housing on 4 November 2022.

The *ROP's* purpose is to guide land use planning policies and “provide a holistic approach to planning through an overarching sustainable development framework that integrates environmental, social, economic and cultural imperatives.”¹⁰ The *ROP* recognizes the importance of cultural heritage for the region to develop healthy and sustainable communities and recognizes its role “in establishing a shared sense of place, contributing to environmental sustainability and developing the overall quality of life for residents and visitors.”¹¹ Region of Peel policies and objectives outline their commitment to the conservation of cultural heritage resources and their encouragement and support of municipal policies to further this goal. The Region requires that municipalities implement policies requiring heritage impact assessments for development proposals that impact cultural heritage resources. A review of relevant *ROP* policies can be found in Appendix C. This HIA meets the requirements set out by the Region for conservation and sufficient documentation.

3.2.2 City of Brampton Official Plan (2006, consolidated 2020)

The *City of Brampton Official Plan (OP)* was adopted on 11 October 2006, partially approved by the Region of Peel on 24 January 2008 and partially approved by the Ontario Municipal Board on 7 October 2008. The City has been developing a new *OP* since 2019 which will plan for 2040. The most recent consolidation dates to September 2020.

¹⁰ Region of Peel, “Region of Peel Official Plan,” last modified 4 November 2022, accessed 25 September 2023, https://www.peelregion.ca/officialplan/download/_media/region-of-peel-official-plan-approved-final.pdf.

¹¹ Region of Peel, “Region of Peel Official Plan,” 110.

The *OP*'s purpose is to guide land use planning decisions until 2031 with clear guidelines for how land use should be directed, and which ensures that "cultural heritage will be preserved and forms part of the functional components of the daily life."¹² The City recognizes that cultural heritage is comprised of both tangible and intangible resources that have significance or interest to the community and contribute "to the identity, character, vitality, economic prosperity, quality of life and sustainability of the community as a whole."¹³ The *OP* also identifies that identifies the conservation of heritage resources as providing a "vital link with the past and a foundation for planning the future..." and highlights the importance of cultural heritage landscapes, intangible heritage, and maintaining of context.¹⁴ A review of relevant *OP* policies can be found in Appendix C.

3.2.3 Local Planning Context Summary

The Region of Peel and the City of Brampton consider cultural heritage resources to be of value to the community and values them in the land use planning process. Through their *OP* policies, the Region and the City have committed to identifying and conserving cultural heritage resources.

¹² City of Brampton, "Official Plan," last modified September 2020, accessed 21 September 2023, https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf, 1.

¹³ City of Brampton, "Official Plan," 2-4.

¹⁴ City of Brampton, "Official Plan," 4.9 -1.

4 RESEARCH AND ANALYSIS

4.1 Early Indigenous History

4.1.1 Paleo Period (9500 – 8000 BCE)

The cultural history of southern Ontario began around 11,000 years ago following the retreat of the Wisconsin glacier.¹⁵ During this archaeological period, known as the Paleo period (9500-8000 BCE), the climate was similar to the present-day sub-arctic and vegetation was largely spruce and pine forests.¹⁶ The initial occupants of the province had distinctive stone tools. They were nomadic big-game hunters (i.e., caribou, mastodon, and mammoth) who lived in small groups and travelled over vast areas, possibly migrating hundreds of kilometres in a single year.¹⁷

4.1.2 Archaic Period (8000 – 1000 BCE)

During the Archaic archaeological period (8000-1000 BCE) the occupants of southern Ontario continued their migratory lifestyles, although living in larger groups and transitioning towards a preference for smaller territories of land – possibly remaining within specific watersheds. People refined their stone tools during this period and developed polished or ground stone tool technologies. Evidence of long-distance trade has been found on archaeological sites from the Middle and Later Archaic times; including items such as copper from Lake Superior, and marine shells from the Gulf of Mexico.¹⁸

4.1.3 Woodland Period (1000 BCE – CE 1650)

The Woodland archaeological period in southern Ontario (1000 BCE – CE 1650) represents a marked change in subsistence patterns, burial customs, and tool technologies, as well as the introduction of pottery making. The Woodland period is sub-divided into the Early Woodland (1000–400 BCE), Middle Woodland (400 BCE – CE 500) and Late Woodland (CE 500 - 1650).¹⁹ The Early Woodland is defined by the introduction of clay pots which allowed for preservation and easier cooking.²⁰ During the Early and Middle Woodland, communities grew and were organized at a band level. Peoples continued to follow subsistence patterns focused on foraging and hunting.

Woodland populations transitioned from a foraging subsistence strategy towards a preference for agricultural village-based communities around during the Late Woodland. During this period people began cultivating maize in southern Ontario. The Late Woodland period is divided into

¹⁵ Christopher Ellis and D. Brian Deller, "Paleo-Indians," in *The Archaeology of Southern Ontario to A.D. 1650*, ed. Christopher Ellis and Neal Ferris (London, ON: Ontario Archaeological Society, London Chapter, 1990), 37.

¹⁶ Toronto Region Conservation Authority, "Chapter 3: First Nations," in *Greening Our Watersheds: Revitalization Strategies for Etobicoke and Mimico Creeks*, prepared by the Toronto Region Conservation Authority (Toronto, ON, 2001).

¹⁷ Toronto Region Conservation Authority, "Chapter 3: First Nations."

¹⁸ Toronto Region Conservation Authority, "Chapter 3: First Nations."

¹⁹ Toronto Region Conservation Authority, "Chapter 3: First Nations."

²⁰ Toronto Region Conservation Authority, "Chapter 3: First Nations."

three distinct stages: Early Iroquoian (CE 1000–1300); Middle Iroquoian (CE 1300–1400); and Late Iroquoian (CE 1400–1650).²¹ The Late Woodland is generally characterised by an increased reliance on cultivation of domesticated crop plants, such as corn, squash, and beans, and a development of palisaded village sites which included more and larger longhouses. By the 1500s, Iroquoian communities in southern Ontario – and more widely across northeastern North America – organized themselves politically into tribal confederacies. South of Lake Ontario, the Haudenosaunee Confederacy comprised the Mohawks, Oneidas, Onondagas, Cayugas, and Senecas, while Iroquoian communities in southern Ontario included the Petun, Huron, and Neutral Confederacies.²²

4.2 Seventeenth- and Eighteenth-Century Historic Context

French explorers and missionaries began arriving in southern Ontario during the first half of the 17th century bringing with them diseases for which the Indigenous peoples had no immunity and contributing to the collapse of the three southern Ontario Iroquoian confederacies. The movement of the Haudenosaunee Confederacy from south of Lake Ontario also contributed to the collapse and eventual dispersal of the Huron, Petun, and Attiwandaron. Between 1649 and 1655, the Haudenosaunee Confederacy waged war on the Huron, Petun, and Attiwandaron, pushing them out of their villages and the general area.²³

As the Haudenosaunee Confederacy moved across a large hunting territory in southern Ontario, they began to threaten communities further from Lake Ontario, specifically the Ojibway (Anishinaabe). The Anishinaabe had occasionally engaged in conflict with the Haudenosaunee Confederacy over territories rich in resources and furs, as well as access to fur trade routes. However, in the early 1690s, the Ojibway, Odawa and Patawatomi - allied as the Three Fires - initiated a series of offensive attacks on the Haudenosaunee Confederacy, eventually forcing them back to the south of Lake Ontario.²⁴ Oral tradition indicates that the Mississauga played an important role in the Anishinaabe attacks against the Haudenosaunee.²⁵ A large group of Mississauga established themselves in the area between present-day Toronto and Lake Erie around 1695. Their descendants are the Mississaugas of the Credit.²⁶ Artifacts from all major Indigenous communities have been discovered in the Greater Toronto Area at over 300 archaeological sites.²⁷

²¹ Toronto Region Conservation Authority, "Chapter 3: First Nations."

²² Toronto Region Conservation Authority, "Chapter 3: First Nations."; Haudenosaunee Confederacy, "Who Are We," accessed 9 February 2023, <https://www.haudenosauneeconfederacy.com/who-we-are/>.

²³ Mississaugas of the Credit First Nation, "Community Profile," accessed 21 September 2023, <https://mncfn.ca/about-mncfn/community-profile/>.

²⁴ Mississaugas of the Credit First Nation, "Community Profile."

²⁵ Mississaugas of the Credit First Nation, "Community Profile."

²⁶ Mississaugas of the Credit First Nation, "Community Profile."

²⁷ Toronto Region Conservation Authority, "Archaeology Opens a Window on the History of Indigenous Peoples in the GTA," last modified 21 June 2018, accessed 21 September 2023, <https://trca.ca/news/archaeology-indigenous-peoples-gta/>.

4.3 Survey and Early Euro-Canadian Settlement

The Seven Years War (1756-1763) between Great Britain and France and the American Revolution (1775-1783) lead to a push by the British Crown for greater British settlement in Canada leading to treaties.²⁸ The Property is located within the Treaty Lands and Territory of the Mississaugas of the Credit First Nation and the Ajetance, Treaty No. 19 (1818) which expanded on the Head of the Lake, Treaty No. 14 (1806) along Lake Ontario (Figure 3).²⁹

As the Mississaugas of the Credit First Nation write:

In addition to their three small reserves located on the Lake Ontario shoreline, the Mississaugas of the Credit held 648,000 acres of land north of the Head of the Lake Purchase lands and extending to the unceded territory of the Chippewa of Lakes Huron and Simcoe. In mid-October 1818, the Chippewa ceded their land to the Crown in the Lake Simcoe-Nottawasaga Treaty and, by the end of October, the Crown sought to purchase the adjacent lands of the Mississaugas of the Credit.

The Deputy Superintendent of the Indian Department, William Claus, met with the Mississaugas from October 27-29, 1818, and proposed that the Mississaugas sell their 648,000 acres of land in exchange for an annual amount of goods. The continuous inflow of settlers into their lands and fisheries had weakened the Mississaugas' traditional economy and had left them in a state of impoverishment and a rapidly declining population. In their enfeebled state, Chief Ajetance, on behalf of the assembled people, readily agreed to the sale of their lands for £522.10 of goods paid annually.³⁰

The Property is also within the traditional territory of the Haudenosaunee and Huron Wendat.

²⁸ Peel Art Gallery, Museum, and Archives, "About Peel," *Peeling the Past*, accessed 21 September 2023, <https://peelarchivesblog.com/about-peel/>.

²⁹ Donna Duric, "Ajetance Treaty, No. 19 (1818)," *Mississaugas of the Credit First Nations*, last modified 4 November 2020, accessed 21 September 2023, <https://mncfn.ca/ajetance-treaty-no-19-1818/>; Peel Art Gallery, Museum, and Archives, "About Peel."

³⁰ Duric, "Ajetance Treaty, No. 19 (1818)."

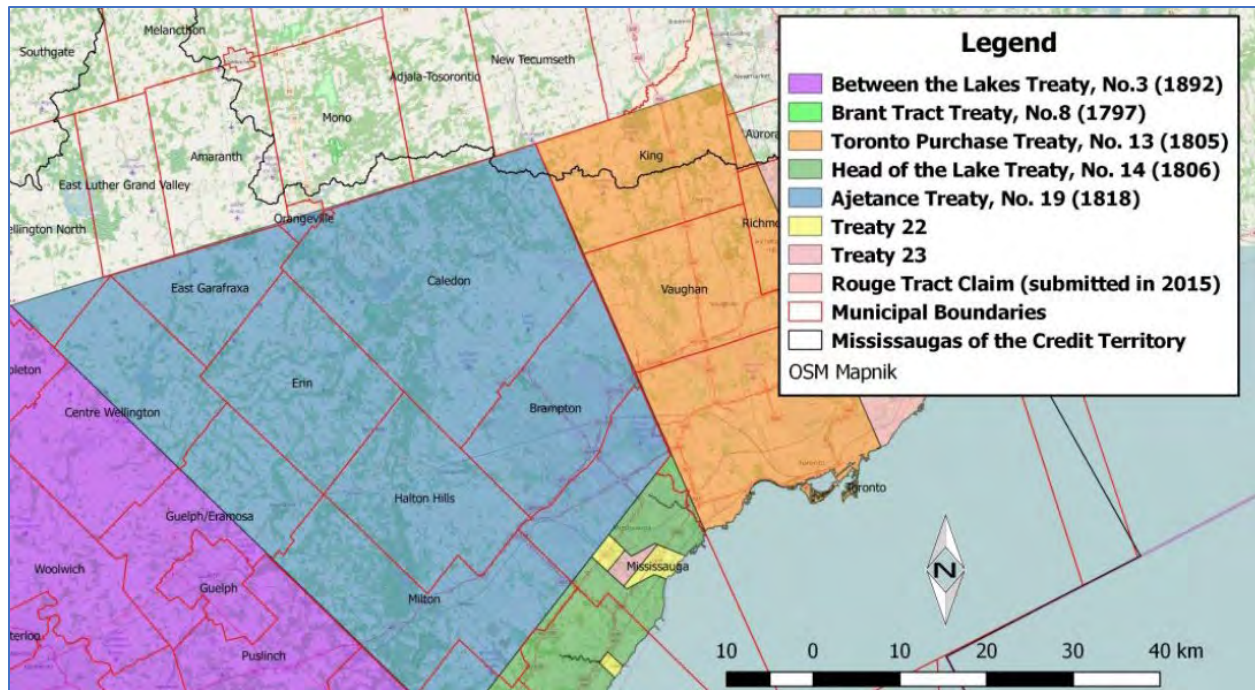


Figure 4: Ajetance Treaty, No. 19 Map³¹

4.4 Chinguacousy Township and Peel County

In 1788, the Province of Quebec's government created districts and counties to serve as administrative bodies from the local level.³² The first Districts were Hesse, Nassau, Mecklenburg, and Lunenburg. These four Districts would be renamed Western, Home, Midland, and Eastern, respectively, in 1792.³³ The Property is located in the former Nassau or Home district.

Until the signing of the Ajetance Treaty, the land that would become Chinguacousy Township and Peel County was owned and occupied by Indigenous groups. The Ajetance Treaty was signed in 1818. In 1819, the Townships of Albion, Caledon, and Chinguacousy were surveyed by Richard Bristol and Timothy Street on the newly acquired Ajetance Treaty lands.³⁴ They described the land as "low, swampy and covered with dense hardwood".³⁵ Chinguacousy Township was named by Lieutenant Governor Sir Peregrine Maitland for the Mississauga

³¹ Mississaugas of the Credit First Nation, "Community Profile."

³² Archives of Ontario, "The Changing Shape of Ontario: Early Districts and Counties 1788-1899," *Government of Ontario*, accessed 21 September 2023, <http://www.archives.gov.on.ca/en/maps/ontario-districts.aspx>.

³³ Archives of Ontario, "The Changing Shape of Ontario."

³⁴ Town of Caledon, "Arts, Culture, and Heritage," accessed 21 September 2023, <https://www.caledon.ca/en/living-here/arts-culture-and-heritage.aspx#:~:text=Originally%20surveyed%20in%201818%20and,rivers%20and%20at%20various%20crossroad> S.

³⁵ Tourism Brampton, "Brampton History," *City of Brampton*, accessed 21 September 2023, <https://www.brampton.ca/en/Arts-Culture-Tourism/Tourism-Brampton/Visitors/Pages/BramptonHistory.aspx>.

designation for the Credit River which means “young pine”. The name also resembles the name of Ottawa chief Shingacouse, but this is believed to be a coincidence.³⁶

A “New Survey” method was used in the creation of smaller Townships within the County of Peel. Traditionally, 200 acre lots were the preferred method of surveying a town. However, these townships granted 100-acre square lots in order to provide everyone with access to a transportation route and ease of farming.³⁷ They also used the ‘double-front’ system and established concession numbers running east (E.H.S) and west (W.H.S) from a baseline laid through the centre of the township (today Hurontario Street/Main Street). Lot numbers were assigned running south to north. The first township in Peel was Toronto Township.³⁸ The name Peel was given in honour of Sir Robert Peel, who held many senior British government posts.³⁹

Many early settlers to Chinguacousy Township came from New Brunswick, parts of Upper Canada including the Niagara region, and the United States as descendants of United Empire Loyalists.⁴⁰ Chinguacousy and Toronto Gore Township operated together until the latter separated in 1831.⁴¹ Chinguacousy Township would reach a population peak of 7,469 inhabitants, a figure that was not reached by other townships until the 1870s.⁴²

The Townships were initially run by the elected Home District Council for York County which was dissolved in 1850 in favour of smaller counties.⁴³ The authority of self-governance before the dissolution of the Home District Council was minor.⁴⁴ The County of Peel was established in 1851 as a subsection of the United Counties of York, Ontario, and Peel, and included Toronto, Toronto Gore, Chinguacousy, Caledon, and Albion Townships.⁴⁵ In 1854, Ontario County separated from the United Counties. In 1866, Peel became an independent county, with the village of Brampton chosen as the County seat in 1867.⁴⁶ Peel quickly grew and by the late 19th century a shift from small self-sustaining family farms to larger business/export-oriented farms contributed to its growth. By 1873, the construction of the Toronto Grey & Bruce, Hamilton &

³⁶ Alan Rayburn, *Place Names of Ontario* (Toronto, ON: University of Toronto Press, 1997), <https://archive.org/details/placenamesofonta0000rayb>, 68.

³⁷ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867,” last modified 25 April 2017, accessed 21 September 2023, <https://peelarchivesblog.com/2017/04/25/the-creation-of-the-county-of-peel-1851-1867/>.

³⁸ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867.”

³⁹ Alan Rayburn, *Place Names of Ontario*, 266.

⁴⁰ J.H. Pope, *Illustrated Historical Atlas of the County of Peel* (Toronto, ON: Walker and Miles, 1877), 64.

⁴¹ Corporation of the County of Peel, *A History of Peel County to Mark its Centenary* (Peel, ON: Charters Publishing Company, 1967).

⁴² Corporation of the County of Peel, *A History of Peel County to Mark its Centenary*, 249.

⁴³ Peel Art Gallery, Museum, and Archives, “About Peel.”

⁴⁴ Peel Art Gallery, Museum, and Archives, “About Peel.”

⁴⁵ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867.”

⁴⁶ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953* (Toronto, ON: Charters Publishing Company Limited, 1953), <https://archive.org/details/brampton-centennial-souvenir/page/n15/mode/2up>, 29.

Northwestern, and Credit Valley rails throughout Peel County allowed the county to prosper and local products were shipped to other parts of Ontario.⁴⁷

Growth following World War II led to the creation of the Regional Municipality of Peel in 1974.⁴⁸ Caledon, Brampton, and Mississauga became the three lower tier municipalities and Peel Region became the Upper Tier. Responsibility of the Upper Tier was for many over arching services, such as: public health, utility services, and policing.⁴⁹ Lower Tier municipalities were responsible for local matters and included: property assessment, tax collection, public transit, and libraries. In 1974, Peel Region had a total population of 334,750⁵⁰ and by 2021, it had a total population of 1,451,022.⁵¹

4.5 City of Brampton

Between 1827 and 1832, the only building in the area was a small tavern and inn at Salisbury, on Concession 1, Lot 8, E.H.S., operated by Martin Salisbury. The 1827 assessment roll indicates Salisbury only had one horse and one cow but assessed him as having £211.⁵² Soon after, William Buffy constructed a tavern at the Four Corners (now the intersection of Main Street and Queen Street). John Scott, a magistrate, built a small store, a potashery, a distillery, and a mill.⁵³ By 1834, the first lots in the settlement were surveyed out by John Elliott, who also gave the settlement the name of Brampton, in homage to his hometown of Brampton, Cumberland, England. He and another settler named William Lawson were staunch members of the Primitive Methodist movement and they established a strong Methodist presence in the area.⁵⁴ According to the 1837 *Toronto and Home District Directory*, there were 18 inhabitants.⁵⁵

The village began to grow from the intersection of Hurontario and Queen Streets, on a floodplain of the Etobicoke Creek. By 1846, the village had two stores, a tavern, tannery, cabinetmaker, two blacksmiths and two tailors and the population had reached 150 people. In 1853, Brampton was officially incorporated as a village with a population of over 500 inhabitants. Several churches were built, along with a grammar school, distilleries, several

⁴⁷ Town of Caledon, "Arts, Culture and Heritage."

⁴⁸ Peel Art Gallery, Museum, and Archives, "About Peel."

⁴⁹ Peel Art Gallery, Museum, and Archives, "About Peel."

⁵⁰ Peel Art Gallery, Museum, and Archives, "About Peel."

⁵¹ Statistics Canada, "Census Profile, 2021 Census of Population, Profile Table," accessed 21 September 2023, <https://www12.statcan.gc.ca/census-recensement/2021/dp-pd/prof/details/page.cfm?Lang=E&SearchText=Peel&DGUIDlist=2021A00033521&GENDERlist=1,2,3&STATISTIClist=1&HEADERlist=0>.

⁵² Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 13.

⁵³ Brampton Historical Society, "A Tavern in the Town," *Buffy's Corner* 3, No. 1 (2001): 6, accessed 21 September 2023, <http://nebula.wsimg.com/ab724bf29292825400659426003351b8?AccessKeyId=B6A04BC97236A848A092&disposition=0&alloworigin=1>.

⁵⁴ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 13.

⁵⁵ George Walton, *The City of Toronto and the Home District Commercial Directory and Register with Almanack and Calendar for 1837* (Toronto: T. Dalton & W.J. Coates, 1837).

stores and John Haggert's agricultural implements factory. The local economy was growing, and the village supported the surrounding farms and rural hamlets in the township.⁵⁶

The village of Brampton was chosen as the County seat in 1867 and government buildings were built at a cost of \$40,000.⁵⁷ In 1873, Brampton was incorporated as a town with John Haggert elected as the first mayor. By 1877, there were 2,551 inhabitants and the town had two bank branches, two telegraph offices, five hotels, a curling and skating rink, several mills, and carriage factories.⁵⁸

A new industry was emerging in Brampton by the mid-Victorian era. In 1863, Edward Dale and his young family arrived in Brampton from England, where Edward had struggled through hard economic times as a market gardener.⁵⁹ Within a few short years, Brampton became known as the "Flowertown of Canada" and soon Dale's Nursery was Brampton's largest employer. By the turn of the century, hundreds of acres of land were filled with greenhouses growing prize orchids, hybrid roses and many other quality flowers. Most of these flowers were grown for export around the world.⁶⁰

The twentieth century brought new industries to the town, mostly along the railway line, including the Williams Shoe factory, the Copeland-Chatterton Loose-Leaf Binder company and the Hewetson Shoe factory. Major banks established branches on the Four Corners.⁶¹ In 1907, American industrialist Andrew Carnegie's Andrew Carnegie Foundation donated \$12,500 to construct a library in Brampton⁶² and the population reached 4,000 people by 1910.⁶³ Brampton's citizens endured two world wars and the Great Depression during the first half of the twentieth century. These major world events took their toll on the local economy. Some factories closed and the flower industry began a slow but steady decline.

The City slowly transformed after the Second World War. In the late 1940s and 1950s, the automobile began to change the landscape, as did rapid urban growth in the Toronto area as new subdivisions began to develop. In 1959, Bramalea was created and touted as "Canada's first satellite city". Bramalea was a planned community built to accommodate 50,000 people by integrating houses, shopping centres, parks, commercial business and industry.⁶⁴

The Province of Ontario began reviewing various municipalities in the mid-1960s. Peel County was facing increasing growth and urbanization. The abilities of its ten municipal governments

⁵⁶ Tourism Brampton, "Brampton History."

⁵⁷ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*.

⁵⁸ Pope, *The Illustrated Atlas of the County of Peel, Ont.*, 87-88.

⁵⁹ Thomas H.B. Symons, "Brampton's Dale Estate," *Ontario Heritage Trust*, accessed 21 September 2023, <https://www.heritagetrust.on.ca/en/pages/programs/education-and-outreach/presentations/brampton-dale-estate>.

⁶⁰ Tourism Brampton, "Brampton History."

⁶¹ Tourism Brampton, "Brampton History."

⁶² Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 57.

⁶³ Tourism Brampton, "Brampton History."

⁶⁴ Nick Moreau, "Brampton," *The Canadian Encyclopedia*, last modified 28 November 2022, accessed 21 September 2023, <https://www.thecanadianencyclopedia.ca/en/article/brampton>.

varied greatly. By combining them into three municipalities, each could better react to and plan for the complex needs of residents at a regional level. In 1974, the provincial government created Caledon, Mississauga, and Brampton. The City of Brampton was created from the combination of the Town of Brampton, Toronto Gore Township, the southern half of Chinguacousy Township, and a portion of the Town of Mississauga.⁶⁵ Brampton is now Canada's ninth-largest municipality with a population of 656,480 according to the 2021 Census.⁶⁶

4.6 Property History

The Property, municipally known as 18 River Road, is located on Lot 5 Concession 5 West of Centre Road / Hurontario Street (W.H.S.). According to the land registry documents, the patent was granted to Robert Arthurs by the Crown in 1858.⁶⁷ The succession of transactions becomes jumbled after the patent due to a series of quit claims, bonds, and litigation.⁶⁸ Arthurs sold the lot to John Blain only fourteen days following the patent.⁶⁹ Power of Attorney granted the property to Mary Ferrie in 1860.⁷⁰ About a month later, Robert Rolston purchased the lot from Mary Ferrie.⁷¹ Two years later, Rolston granted the lot to James Ritchie.⁷² The transaction record proceeded to restart itself with the grant from the Crown to Robert Arthurs then continued to additional quit claims and releases culminating in the lot's ownership by Maitland Young in the late 1860s.⁷³

In 1869, Maitland Young sold the lot to William Hughes for \$1350.⁷⁴ Nine months later, Hughes – through his assignee John Kerr - sold and mortgaged the lot to Thomas Black for \$1620.⁷⁵ Thomas Black was a schoolteacher and a surveyor who also operated the American Hotel in Brampton for a time.⁷⁶ In 1894, Black sold the lot to Darius McClure for \$7650.⁷⁷ The 1819 and 1851 historic maps for the area do not depict buildings. The 1859 and 1877 historic maps depict some buildings but not within the property boundary (Figure 4). However, the significant increase in value suggests that at least one building was located on the lot. The 1909 topographic map confirms the presence of a building that is in the same location as the existing

⁶⁵ Moreau, "Brampton."

⁶⁶ Moreau, "Brampton."

⁶⁷ Land Registry Ontario, Peel County (43), Chinguacousy, Book A: West Hurontario Street, Concession 3 to 6; Salmonville; Tullamore; Victoria; Chetenham, accessed 21 September 2023, <https://www.onland.ca/ui/43/books/501866/viewer/950141849?page=80>, Patent.

⁶⁸ LRO, Peel County (43), Chinguacousy, Book A, Instrument No. 28134, 36795, 39354, and 4809.

⁶⁹ LRO, Peel County (43), Chinguacousy, Book A, Instrument No. 4810.

⁷⁰ LRO, Peel County (43), Chinguacousy, Book A, Instrument No. 8270.

⁷¹ LRO, Peel County (43), Chinguacousy, Book A, Instrument No. 8271.

⁷² Land Registry Ontario, Peel County (43), Chinguacousy, Book B; West Hurontario Street; Concession 4 to 6, accessed 21 September 2023, <https://www.onland.ca/ui/43/books/501832/viewer/967905674?page=55>, Instrument No. 10166.

⁷³ LRO, Peel County (43), Chinguacousy, Book B, Instrument No. 10340, 15461, 216, 217, and 218.

⁷⁴ LRO, Peel County (43), Chinguacousy, Book B, Instrument No. 391.

⁷⁵ LRO, Peel County (43), Chinguacousy, Book B, Instrument No. 489.

⁷⁶ Peel Art Gallery, Museum, and Archives, "Black Family Fonds #10," *William Perkins Fonds*.

⁷⁷ LRO, Peel County (43), Chinguacousy, Book B, Instrument No. 7351.

house. The cottages to the rear of the house are not depicted. Few buildings are located in the area at the time (Figure 5).

Fred C. Brown purchased the west half of the lot in 1919 for \$22,000.⁷⁸ Four years later, he sold part of the west half to Marguerite Cheeney for \$1.⁷⁹ Only a few days later, John McMurphy purchased the property.⁸⁰ In 1925, John McMurphy granted the property to Huttonville Park Limited, who proceeded to establish a plan of subdivision in 1940 then granted the property to Angus McMurphy in 1942.⁸¹ The 1918 and 1933 topographic maps depict little change in the area and no change on the Property. By 1942, the dam for the McMurphy mill was added to the map and some development had occurred along Mississauga Road and River Road (Figure 5). The 1954 aerial is the first instance in which the cottages to the rear of the house are depicted (Figure 6). The 1964 topographic map indicates a building in the location of the cottages; however, it is unclear if this is intended to represent all three or if only one was present at the time. Additional development has occurred along Mississauga Street and Queen Street West (Figure 5). By 1969, all three cottages are present (Figure 6).

Through the estate of Mary McMurphy, the property was granted to Walter and Alice Watson in 1971.⁸² In 1973, the Watsons granted the property to the Director of the Veterans' Affairs Land Act.⁸³ By 1973, the dam had been removed but the area had otherwise stabilized. An additional cottage had also been added to the topographic map. The 1979 topographic map indicates some additional development along Mississauga Street and immediately southwest of the Property (Figure 5). The Director of the Veterans' Affairs Land Act granted it back to the Watsons in 1990 with the Watsons transferring ownership to Clarence Bootsma in 1993.⁸⁴

By 1994, a small subdivision was added west of the Property and the intersection of Mississauga Street and Queen Street West (Figure 5). All three cottages are present; however, the roof and footprint of the house appears to be different suggesting that the original building may have been replaced or the roofline altered and a rear addition added. Only one accessory building is depicted (Figure 6). In 2011, the house was red brick with a hip roof and dormer, a gravel driveway east of the house leading to the rear shed, a retaining wall along the west side of the driveway, and the Property surrounded by mature trees (Photo 1). By 2014, the house had been reclad in stucco that had been painted yellow. The detached patio, carport, and bunkhouse were added sometime after 2014 (Photo 2). The stone well, bridge, and stone platform are not depicted in any of the maps meaning that their date of construction is unclear.

⁷⁸ Land Registry Ontario, Peel County (43), Chinguacousy, Concession 5; West Hurontario Street, accessed 21 September 2023, <https://www.onland.ca/ui/43/books/42292/viewer/967905704?page=1>, Instrument No. 13467.

⁷⁹ LRO, Peel County (43), Chinguacousy, Concession 5, Instrument No. 14802.

⁸⁰ LRO, Peel County (43), Chinguacousy, Concession 5, Instrument No. 14803.

⁸¹ LRO, Peel County (43), Chinguacousy, Concession 5, Instrument No. 15295 and 311.; Land Registry Ontario, Peel County (43), Plan 311, accessed 21 September 2023, <https://www.onland.ca/ui/43/books/41535/viewer/983630520?page=1>, Instrument No. 18514.

⁸² LRO, Peel County (43), Plan 311, Instrument No. 164126VS.

⁸³ LRO, Peel County (43), Plan 311, Instrument No. 262943VS.

⁸⁴ LRO, Peel County (43), Plan 311, Instrument No. 929223 and R01046449.



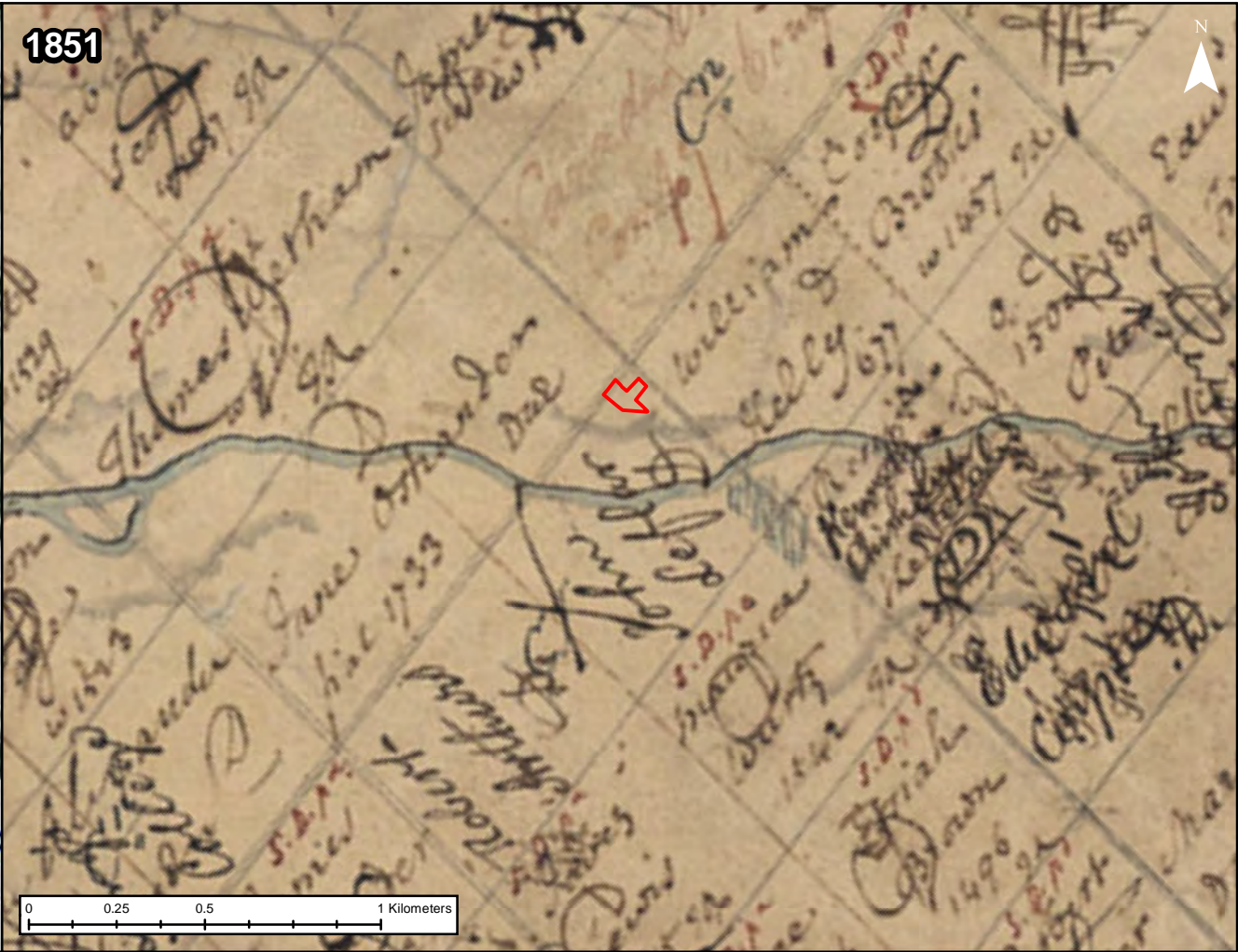
Photo 1: View of the house in 2011⁸⁵



Photo 2: View of the house in 2014⁸⁶

⁸⁵ Google Streetview, September 2011.

⁸⁶ Google Streetview, September 2014.



TITLE
1819, 1851, 1859, and 1877 Historic Maps Showing the Property

CLIENT
Renji Abraham and Sudha Renji Abraham

PROJECT
Heritage Impact Assessment, 18 River Road, Brampton, Ontario

PROJECT NO. LHC0385

Legend

Property

NOTE(S) 1. All locations are approximate.

REFERENCE(S)


1. Bristol, R., "A.30 Map of the Northern Part of the Township of Toronto", scale unknown, n.p.: The Crown, 1819.

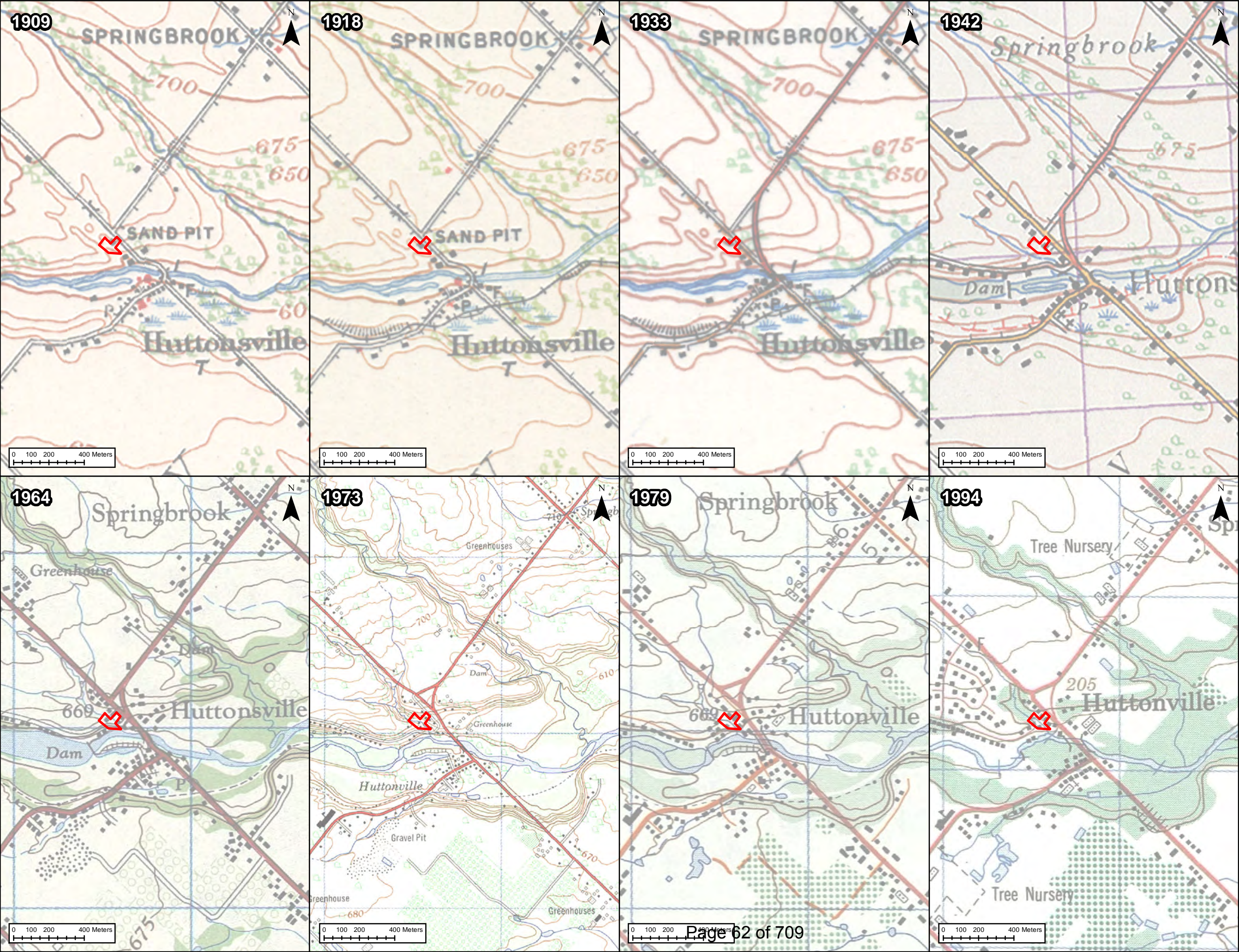
2. Archives of Ontario, "Chinguacousy Township, Map #51", 10044609, 1851.

3. Tremaigne, Geo. R., "Tremaigne's Map of the County of Peel, Canada West", (<https://www.arcgis.com/apps/webappviewer/index.html?id=8cc6be34f6b54992b27da17467492d2f>: accessed 28 July, 2023), scale 1:3,960, Toronto: G.R. & G.M. Tremaigne, 1859.

4. Pope, J.H., "Southern Part of Chinguacousy", In: "Illustrated Historical Atlas of the County Peel Ont", (<https://digital.library.mcgill.ca/countyatlas/searchmapframes.php>: accessed 28 July, 2023), Toronto: Walker & Miles, 1877.


Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.

CONSULTANT	YYYY-MM-DD	2023-09-07
	PREPARED	LHC
	DESIGNED	JG
	FIGURE #	5



TITLE 1909, 1918, 1933, 1942, 1964, 1973, 1979, and 1994 Topographic Maps Showing the Property		
CLIENT Renji Abraham and Sudha Renji Abraham		
PROJECT Heritage Impact Assessment, 18 River Road, Brampton, Ontario	PROJECT NO. LHC0385	
Legend <div><div></div>Property</div>		
NOTE(S) 1. All locations are approximate.		
REFERENCE(S) 1. Department of Militia and Defence, "Topographic Map, Ontario, Brampton Sheet", (https://geo.scholarsportal.info/#/details/_uri@=HTDP63360K030M12_1909TIFF&_add:true_nozoom:true : accessed 7 September, 2023), scale 1:63,360, sheet 30 M/12, edition 2, Ottawa: Department of Militia and Defence, 1909. 2. Department of Militia and Defence, "Topographic Map, Ontario, Brampton Sheet", (https://geo.scholarsportal.info/#/details/_uri@=HTDP63360K030M12_1918TIFF&_add:true_nozoom:true : accessed 7 September, 2023), scale 1:63,360, sheet 30 M/12, edition 3, Ottawa: Department of Militia and Defence, 1918. 3. Department of National Defence, "Topographic Map, Ontario, Brampton Sheet" (https://geo.scholarsportal.info/#/details/_uri@=HTDP63360K030M12_1933TIFF&_add:true_nozoom:true : accessed 7 September, 2023), scale 1:63,360, sheet 30 M/12, edition 7, Ottawa: Department of National Defence, 1933. 4. Department of National Defence, "Brampton, Ontario", (https://geo.scholarsportal.info/#/details/_uri@=HTDP63360K030M12_1942_MBTIFF&_add:true_nozoom:true : accessed 7 September, 2023), scale 1:63,360, sheet 30 M/12, edition 9, Ottawa: Department of National Defence, 1942. 5. Army Survey Establishment, R.C.E., "Brampton, Ontario", (https://geo.scholarsportal.info/#/details/_uri@=NTS50K030M12_1964ed4aseWTIFF&_add:true_nozoom:true : accessed 7 September, 2023), scale 1:50,000, sheet 30 M/12, edition 4, Ottawa: Army Survey Establishment, R.C.E., 1964. 6. Department of Energy, Mines, and Resources, "Brampton, Ontario", (https://geo.scholarsportal.info/#/details/_uri@=HTDP25K030M12f_1973TIFF&_add:true_nozoom:true : accessed 7 September, 2023), scale 1:25,000, sheet 30 M/12f, edition 2, Ottawa: Department of Energy, Mines, and Resources, 1973. 7. Department of Energy, Mines, and Resources, "Brampton, Ontario", (https://geo.scholarsportal.info/#/details/_uri@=NTS50K030M12_1979ed5mceTIFF&_add:true_nozoom:true : accessed 7 September, 2023), scale 1:50,000, sheet 30 M/12, edition 5, Ottawa: Department of Energy, Mines, and Resources, 1979. 8. Department of Energy, Mines, and Resources, "Brampton, Ontario", (https://geo.scholarsportal.info/#/details/_uri@=NTS50K030M12_1994ed7TIFF&_add:true_nozoom:true : accessed 7 September, 2023), scale 1:50,000, sheet 30 M/12, edition 7, Ottawa: Department of Energy, Mines, and Resources, 1994. Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.		
CONSULTANT <div>LHC</div>	YYYY-MM-DD PREPARED DESIGNED FIGURE #	2023-09-07 LHC JG 6



TITLE 1954, 1969, 1994, and 2000 Aerial Photographs Showing the Property		
CLIENT Renji Abraham and Sudha Renji Abraham		
PROJECT Heritage Impact Assessment, 18 River Road, Brampton, Ontario		PROJECT NO. LHC0385
<div>Legend</div> <div><div></div>Property</div>		
<div>NOTE(S) 1. All locations are approximate.</div> <div>REFERENCE(S) 1. University of Toronto, "1954 Air Photos of Southern Ontario", (https://mdl.library.utoronto.ca/collections/airphotos/1954-air-photos-southern-ontario/index: accessed 31 July, 2023), photo 436.794, 1954. 2. National Air Photo Library, "A19505-080", (https://madgic.trentu.ca/airphoto/: accessed 31 July, 2023), scanned and georeferenced by the Maps, Data and Government Information Centre at Trent University, roll A19505 line 23E photo 80, scale 1:30,000, 1969. 3. City of Brampton, "1994 Spring Orthophoto", 1994. 4. City of Brampton, "2000 Spring Orthophoto", 2000. Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.</div>		
CONSULTANT	YYYY-MM-DD	2023-09-07
	PREPARED	LHC
	DESIGNED	JG
	FIGURE #	7

4.7 Significant Person History

4.7.1 Darius McClure

Darius McClure was born on 30 May 1863 in Chinguacousy Township to Samuel McClure and Mary Smith. He married Sarah Hassard on 21 February 1889, and they had six children.⁸⁷ Darius was a farmer in Huttonville until his retirement when he moved to Toronto then to Brampton. In 1924, he purchased the Victoria Hotel and became its operator until his death in 1930.⁸⁸ In addition to his role as the proprietor of the Victoria Hotel – formerly the Revere House Hotel, McClure's other roles included being a member of the 'Excelsiors' Lacross team; a member of the Brampton School Board; treasurer of the Peel County Conservative Association; member of the Board of Managers for the Norval Presbyterian Church; President of the Peel County Agricultural Society; a member of the Board of Managers for the Parkdale Presbyterian Church; a member of the Board of Managers for a Presbyterian Church in Brampton; the chairman of the Huttonville Conservatives Association; treasurer of the Peel Liberal-Conservative Association; and a member of the Ionic Lodge.⁸⁹ His funeral was considered "one of the largest funerals ever held in this town" with over 80 cars in the procession.⁹⁰

⁸⁷ J. Brian Gilchrist, Marlene Sharp and Robert A. McClure, *The "Clan" McClure: Historical Highlights* (Halton, ON: McClure Clan Family Executive, 2009), 35-36.

⁸⁸ Find a Grave, "Darius McClure," accessed 21 September 2023, [The Conservator Brampton, published 12 June 1930, accessed 21 September 2023, <https://archive.org/details/the-conservator-brampton-1930-06/page/n20/mode/1up?q=darius>, 5.](https://www.findagrave.com/memorial/159531723/darius-mcclure?_gl=1*1pc6wx5*_gcl_au*NjAxNTc2NzAyLjE2ODk2MDUyODk.*_ga*MTI1NzE0NDQxNy4xNjU3NzUwMzIx*_ga_4QT8FMEX30*NjZjODFkMmQtYjdmZC00MDAyLTNmMTMTYzM0M2U0ZmMzMmNhLjlxLjEuMTY5MTU5Njk3OS42MC4wLjA.; Charters Publishing Company,)

⁸⁹ Gilchrist, Sharp, and McClure, *The "Clan" McClure*, 36.; Charters Publishing Company, "Darius McClure," in *The Conservator Brampton*, published 19 June 1930, accessed 21 September 2023, <https://archive.org/details/the-conservator-brampton-1930-06/page/n36/mode/1up?q=darius>, 5.

⁹⁰ Charters Publishing Company, "Darius McClure," 5.; Find a Grave, "Darius McClure."



Photo 3: Photograph of the Victoria Hotel, c. 1936-1940⁹¹

4.7.2 McMurchy Family

The McMurchy family immigrated from Scotland and established themselves throughout Peel County.⁹² Archibald McMurchy settled in Huttonville in 1886 and operated the Huttonville Woollen Mills. John McMurchy and Angus McMurchy - Archibald's sons – continued operation of the Woollen Mills. John also built upon the family's holdings and reputation within the community through his other endeavours. In 1903, John McMurchy purchased the Huttonville Electric Power Company that was established by J.P. Hutton in 1885. During his ownership, he enlarged the power plant, increased street lighting, supplied power to local businesses, and increased the residential customer base from 43 to 500.⁹³ In 1909, he was described as "a popular citizen of Brampton" with an increase in popularity predicted for his purchase of an electric car from Indianapolis for the city.⁹⁴ In 1910, the city decided to utilize a provincial source of power for their hydro requirements. However, McMurchy's power company continued to supply some industrial customers and his own industries until 1950.⁹⁵ The Huttonville power station was also used during power outages. The Woollen Mill was sold to a Toronto businessman in 1925.⁹⁶

⁹¹ Peel Art Gallery, Museum, and Archives, "Victoria Hotel, Main St North, Brampton," in *Thomas O. Dolson Family Fonds*.

⁹² Golder, "Heritage Impact Assessment: 5916 Trafalgar Road North, Town of Erin, part of Lot 26, Concession 7, former Township of Erin, Wellington County, Ontario," last modified 17 November 2021, accessed 21 September 2023, <https://www.wellington.ca/en/resident-services/resources/Planning/Development-Applications/Active-Applications/23T-21002/13-Heritage-Impact-Assessment-Golder-Nov-2021.pdf>, 16-17.; Peel Art Gallery, Museum, and Archives, "McMurchy Family Fonds," *William Perkins Fonds*.

⁹³ Corporation of the Town of Brampton, *Brampton Centennial Souvenir*, 99.

⁹⁴ Peel Art Gallery, Museum and Archives, "McMurchy Family Fonds," *William Perkins Fonds*.

⁹⁵ Corporation of the Town of Brampton, *Brampton Centennial Souvenir*, 99.; Corporation of the County of Peel, *A History of Peel County*, 203.

⁹⁶ Peel Art Gallery, Museum and Archives, "McMurchy Family Fonds," *William Perkins Fonds*.

5 EXISTING CONDITIONS

5.1 Surrounding Context

The Property is in Southwestern Ontario in the City of Brampton. It is approximately 20.5 kilometres (km) northwest from the northern shore of Lake Ontario and approximately 6.4 km south of downtown Brampton.

The topography of the area is comprised of a slope ascending to the west and descending to the east along River Road, a steep slope ascending north towards Mississauga Road, and a steep slope descending south to Duke's Creek (Photo 4 to Photo 11). The vegetation of the area consists of mature deciduous and coniferous trees and manicured landscaped yards fronting residential properties.

The Property is bounded by River Road to the north with Mississauga Road running parallel further north, residential properties to the east and west, and Duke Creek's to the south. River Road is a municipally maintained local road running northwest to southeast before curving southwest to follow Duke Creek for approximately 200 metres (m) then returning to its northwest to southeast orientation. It starts at Mississauga Road, northwest of the Property, and ends before the subdivision located to the northwest. It is a two-lane road flanked by rolling curbs. Streetlights and sidewalks are not present (Photo 4 to Photo 7). Mississauga Road is a regionally maintained road running northwest to southeast from Highway 11 to Lake Ontario. It is a six-lane road to the northwest and a four-lane road to the southeast flanked by curbs and streetlights. A sidewalk is located along the south side of the street (Photo 8 and Photo 9).

The surrounding area includes residential properties mainly comprised of one to two storeys in height with setbacks ranging from 5 m to 65 m. Building materials primarily consist of a combination of traditional materials like brick and stucco and contemporary materials like vinyl siding.



Photo 4: View northwest along River Road from the Property



Photo 5: View southeast along River Road from the Property



Photo 6: View southwest along River Road from 24 River Road



Photo 7: View northeast along River Road from 24 River Road



Photo 8: View northwest along Mississauga Road from north of the Property



Photo 9: View southeast along Mississauga Road from north of the Property



Photo 10: View west along Duke Creek



Photo 11: View east along Duke Creek

5.2 Adjacent Heritage Properties

The City of Brampton Official Plan does not provide a definition as related to heritage properties. The Region of Peel Official Plan and the *PPS*, however, define adjacent as “those lands contiguous to a protected heritage property.”⁹⁷ Using this definition, there is one adjacent heritage property at 2100 Embleton Road – locally known as the McMurchy Woollen Mill and Pumphouse - which is designated under Section 29 Part IV of the *OHA* and one adjacent cultural heritage landscape along River Road, which is listed under Section 27 Part IV of the *OHA*. The Property is not included in the River Road Cultural Heritage Landscape.



Photo 12: Photograph of the McMurchy Woollen Mill⁹⁸

⁹⁷ Province of Ontario, “Provincial Policy Statement,” 39.; Region of Peel, “Region of Peel Official Plan,” 261.

⁹⁸ Brampton Historical Society, “McMurchy Woollen Mills,” *Facebook*, published 23 January 2015, accessed 21 September 2023, <https://www.facebook.com/234182563312371/photos/a.258573367539957/843635245700430/?type=3>.



Photo 13: Photograph of the McMurchy Powerhouse⁹⁹

5.3 18 River Road

5.3.1 Exterior

The Property is situated on a 0.66-ha irregularly shaped lot. The house is located on the north side of the lot fronting onto River Road with a setback of approximately 15.5 m. The house has a rectangular plan with a hip roof, a hipped roof dormer on the north, east, and west elevations, a gabled dormer on the south elevation, and a stuccoed chimney on the west elevation (Figure 2). It is a one-and-a-half storey building in the Craftsman Bungalow architectural style with stucco panels cladding the north elevation and the majority of the east and west elevations. The south elevation and the south side of the east and west elevations are cut stone. The Property is accessed from a paved driveway on the east side of the house and another paved driveway on the west side of the house (Photo 14 to Photo 17). Since the house is situated on the rise of a slope, the east driveway has a stone block retaining wall on the west side to create a level front yard (Photo 17).

The main entrance of the house is a flat-headed, single door offset to the north side of the east elevation with a shed-roofed covered porch (Photo 14 and Photo 17). The porch is almost enclosed with an arched doorway on the north elevation, and arched openings on the south and east elevations. The house also has a flat-headed single door offset to the south side of the east elevation with a shed roof covered porch supported by wood beams (Photo 17) and a flat-

⁹⁹ Hiking the GTA, "McMurchy Woolen Mills – Huttonville," last modified 18 April 2015, accessed 21 September 2023, <https://hikingthegta.com/tag/mcmurchy-woolen-mills/>.

headed single door offset to the east side of the south elevation on the basement level (Photo 16). Windows are found on all elevations.

The north elevation of the house consists of a three-faced projecting bay with two flat-headed one-over-two windows with a continuous sill on the first storey of the centre facing, a flat-headed one-over-two window with a lug sill on the first storey of each of the side facings, and a flat-headed sliding window on the basement storey of each of the side facings. The northern dormer has a flat-headed sliding window (Photo 14). The west elevation features four flat-headed sliding windows on the basement storey (a cut stone voussoir accompanies the one offset to the south side); four flat-headed one-over-one windows with lug sills offset to the north side of the first storey; a single square window with a cut stone voussoir offset to the south side of the first storey; and paired flat-headed one-over-one windows in the dormer (Photo 15).

The south elevation of the house is comprised of a three-faced projecting bay with a flat-headed sliding window on the basement storey of the west face; a flat-headed one-over-one window with a cut stone lug sill on the first storey of each of the side facings; and a central, flat-headed picture window on the first storey of the centre facing. The dormer has a flat-headed sliding window (Photo 16). The east elevation features a small rectangular picture window with a lug sill offset to the north side of the first storey; two paired flat-headed sliding windows with lug sills on the first storey between the two entrances; and a flat-headed sliding window in the dormer (Photo 17).



Photo 14: View southwest of the north elevation



Photo 15: View northeast of the west elevation



Photo 16: View northeast of the south elevation



Photo 17: View northwest of the east elevation

5.3.2 Interior

5.3.2.1 Basement

The finished basement is accessed through an enclosed staircase located in the centre and offset to the east side of the house. This floor consists of nine rooms. North of the staircase is the sitting room / dining room. The sitting / dining room has a wood floor and plain moulded baseboards (Photo 18 and Photo 19). South of the staircase is a kitchenette. It has wood floors and plain moulded baseboards. A small projecting closet with sliding doors is located in the southeast corner. Another small projecting closet is situated on the south side of the enclosed staircase (Photo 20). South of the kitchen through a small hallway is the mudroom. It has a tile floor and plain moulded baseboards. In the southeast corner is an angled wall with a flat-headed single door that opens to the rear of the house (Photo 21).

The west side of the basement has a hallway running the length of the floor from north to south. It has a wood floor and plain moulded baseboards (Photo 22 and Photo 23). The north end of the hallway has a laundry room. It has a linoleum tile floor and plain moulded baseboards (Photo 22 and Photo 24). The west wall of the hallway has four doors leading to four small rooms (Photo 23). The northern door leads to the utility room, which is an unfinished room with mechanical equipment. The second door leads to the bathroom. It has a linoleum tile floor and plain moulded baseboards (Photo 26). The two remaining doors lead to storage areas.



Photo 18: View north of the sitting / dining room

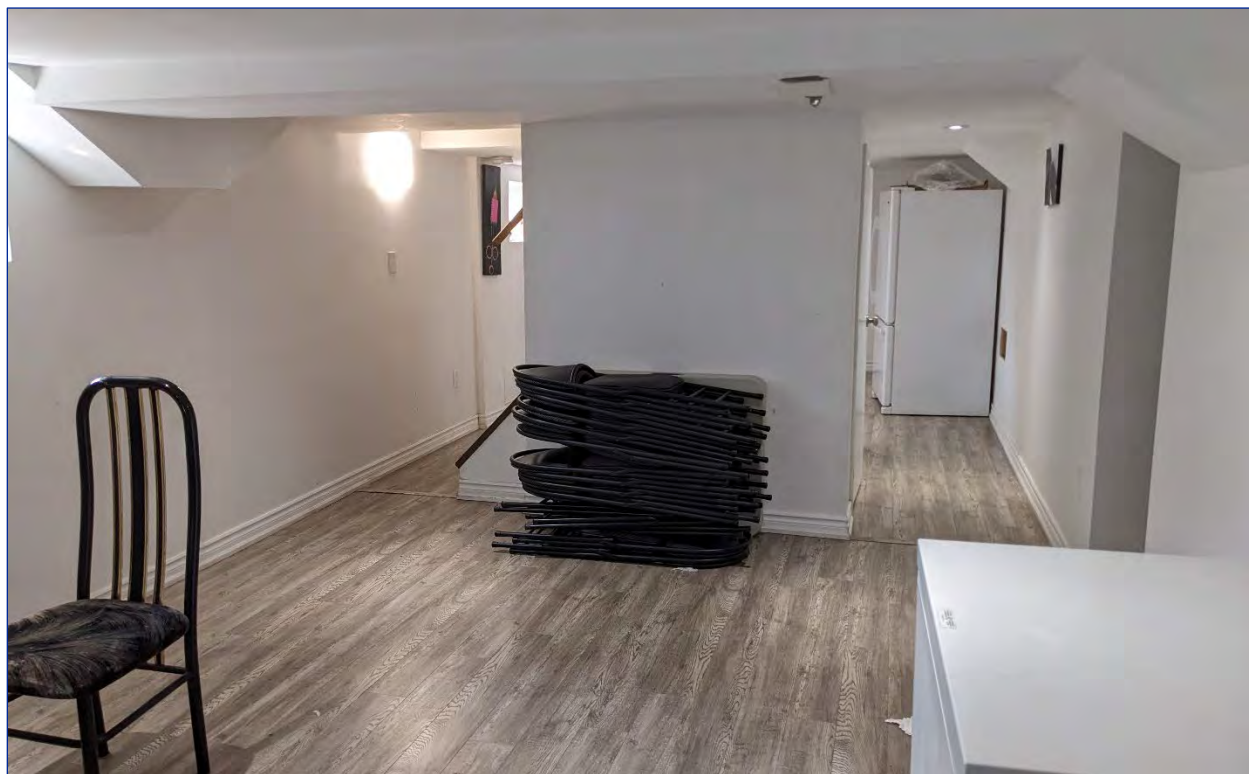


Photo 19: View south of the dining room and staircase



Photo 20: View north of the kitchenette and staircase

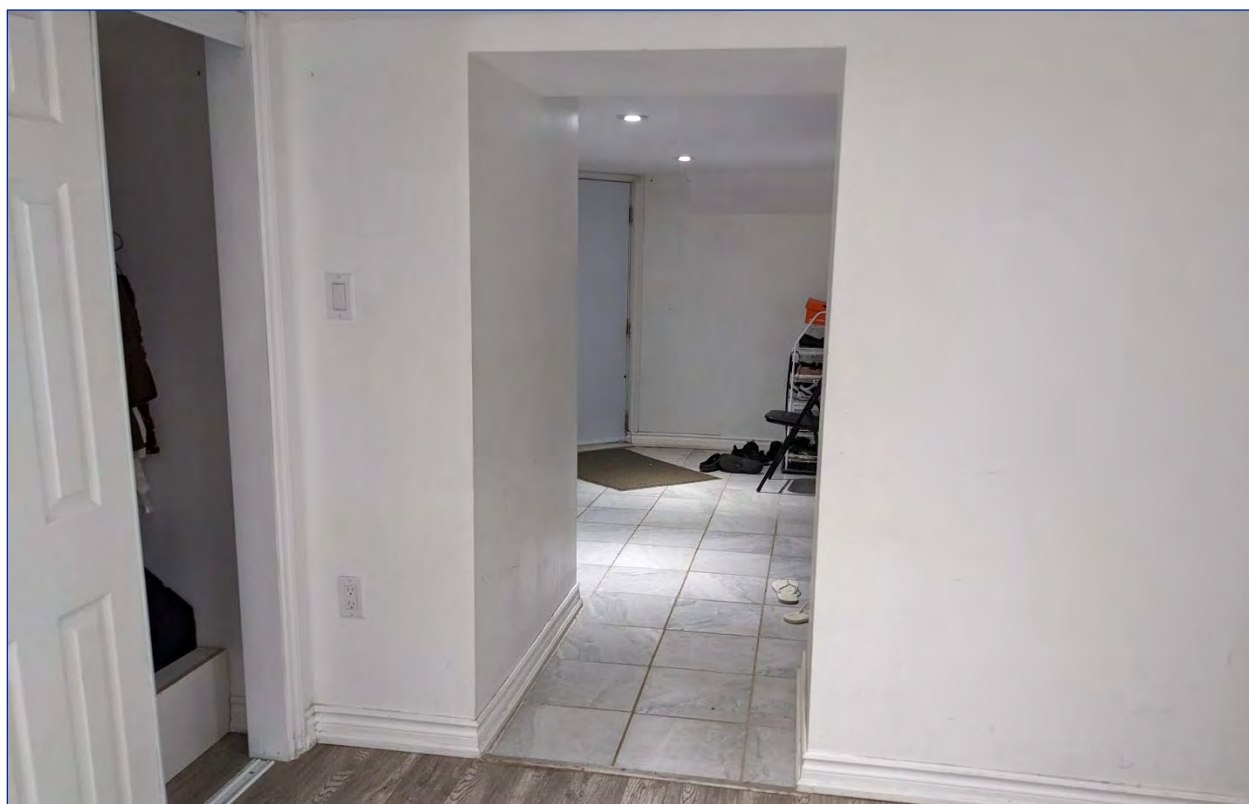


Photo 21: View south of the mudroom

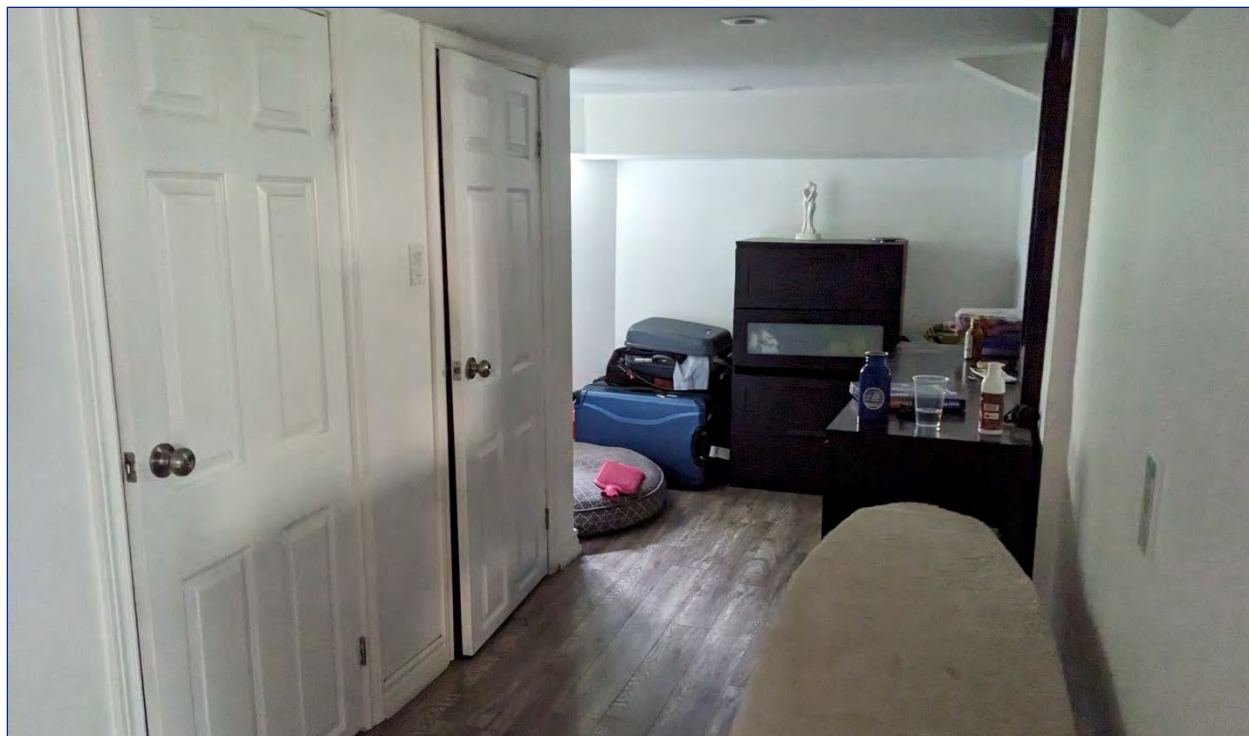


Photo 22: View north of the hallway

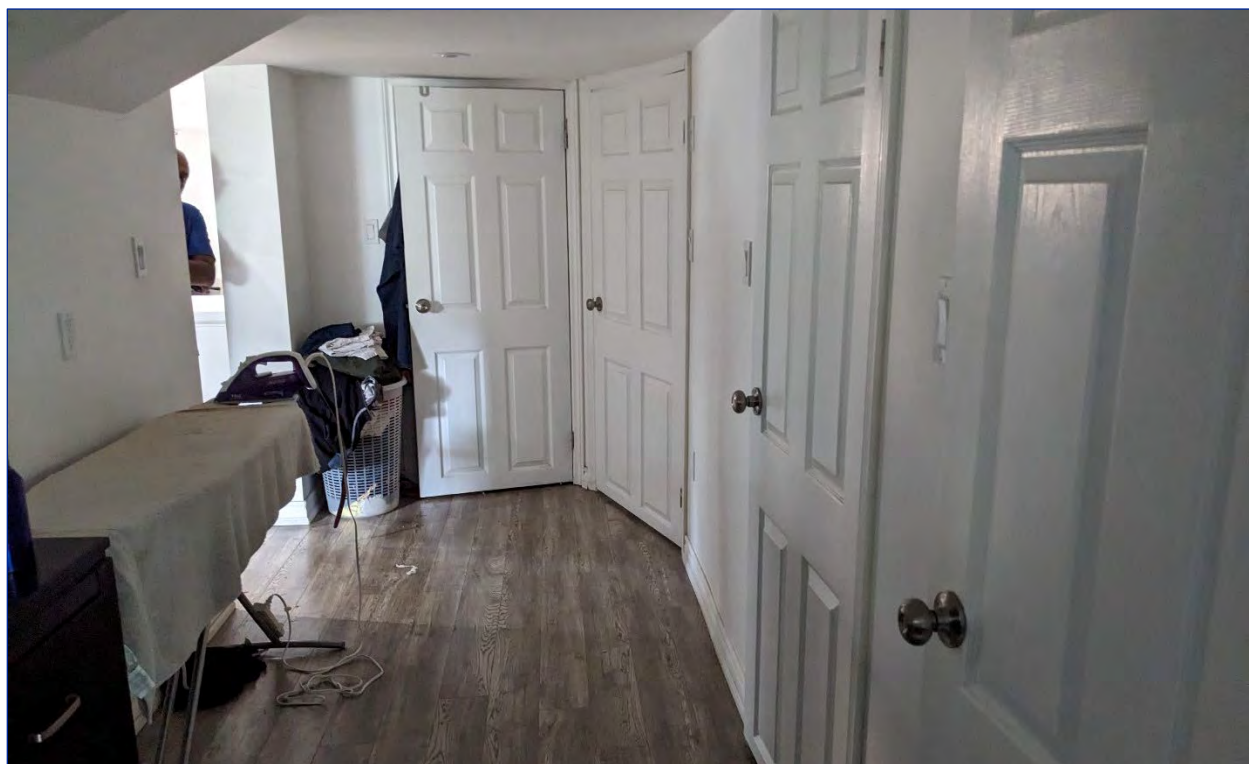


Photo 23: View south of the hallway



Photo 24: View of the laundry room

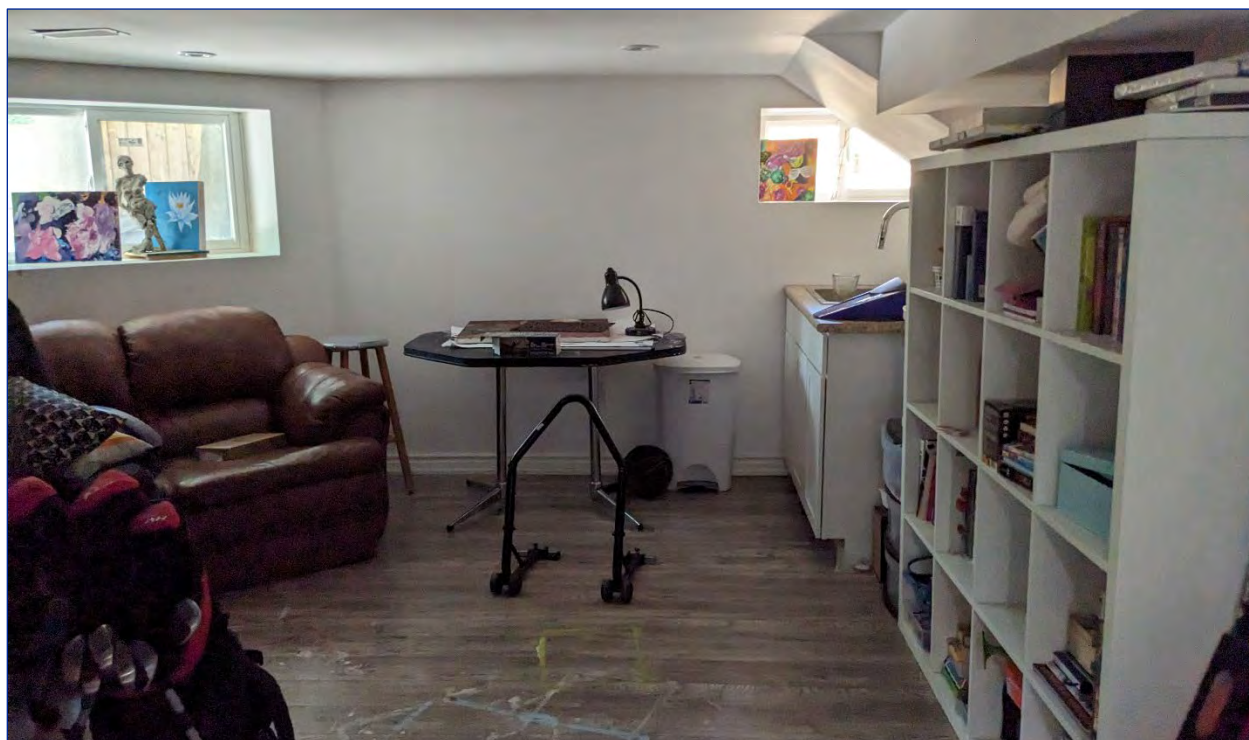


Photo 25: View south of the living room



Photo 26: View west of the bathroom

5.3.2.2 First Storey

The main floor of the house consists of six rooms. Through the main entrance is the entryway / sitting room. Situated in the southeast corner of the sitting room is the staircase to the attic. The stairs are wood and mostly enclosed with an opening along the north wall above the railing that looks into the sitting room. The entryway / sitting room has a wood floor and tall, plain, moulded baseboards. The main entrance is located in the northeast corner of the room with a flat-headed window with decorative interior shutters located between the entrance and the staircase on the east wall (Photo 27 and Photo 28).

A bedroom is located north of the entryway / sitting room. It has a wood floor, plain moulded window surrounds, and tall, plain, moulded baseboards (Photo 29). Similarly, the northwest bedroom has a wood floor, plain moulded window surrounds, and tall, plain, moulded, baseboards (Photo 30). South of the northwest bedroom is the bathroom. The walls and floor of the bathroom are clad in white ceramic tiles with a marble pattern. The shower area is clad in black ceramic tiles with a marble pattern (Photo 31).

South of the entryway / sitting room is the combined kitchen and dining room. It is a single room that has been visually but not physically divided into two uses. The east side of the room is the kitchen. It has a wood floor and tall, plain, moulded baseboards. Cabinets line the bottom half of the east wall with a slight extension followed by an oven and range hood on the south

wall. Hanging cabinets are found in the corner of the east and south walls. Acrylic tiles line the area behind the oven and between the two sets of cabinets in the southeast corner (Photo 32). The west side of the room is the dining area. It has a wood floor, a chandelier above the dining table, and tall, plain, moulded baseboards. The south wall of the kitchen / dining room has two central door openings separated by a plain square column (Photo 33).

South of the kitchen / dining room is the living room. It has a wood floor and tall, plain, moulded baseboards. A large flat-headed picture window with a plain moulded surround and decorative interior shutters is situated in the centre of the south wall. Flanking the picture window are two flat-headed, one-over-one windows with plain moulded surrounds and decorative interior shutters. In the centre of the ceiling is a circular ceiling moulding with a chandelier hanging from the centre (Photo 34).



Photo 27: View of the north side of the entryway / sitting room



Photo 28: View of the south side of the entryway / sitting area



Photo 29: View of the northeast bedroom



Photo 30: View of the northwest bedroom

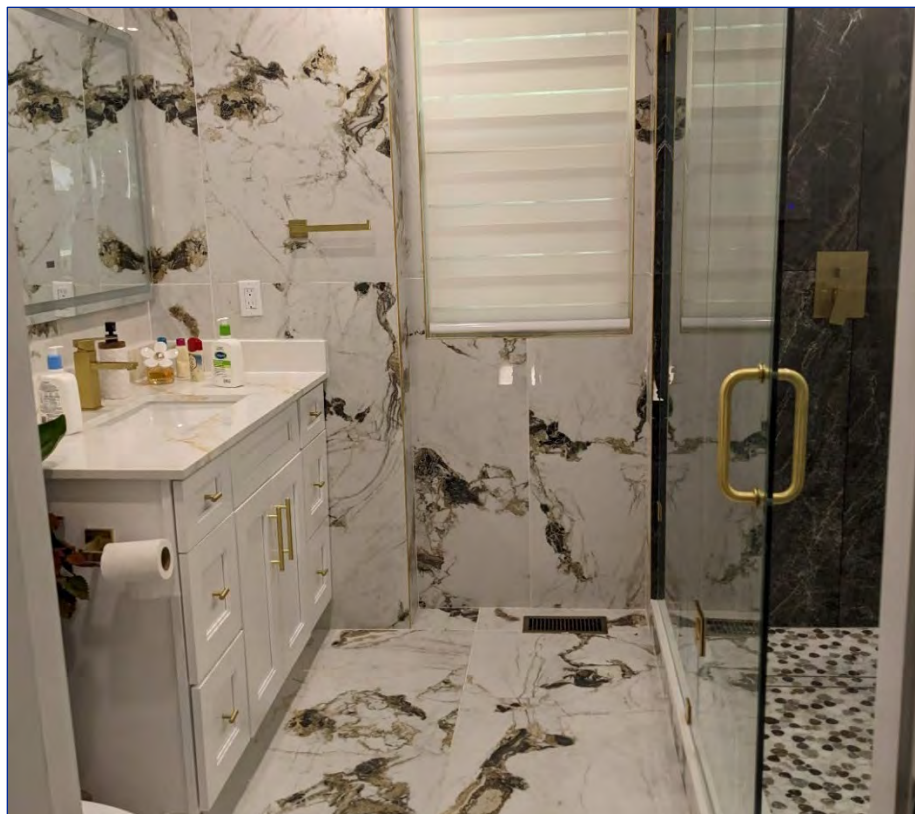


Photo 31: View of the bathroom

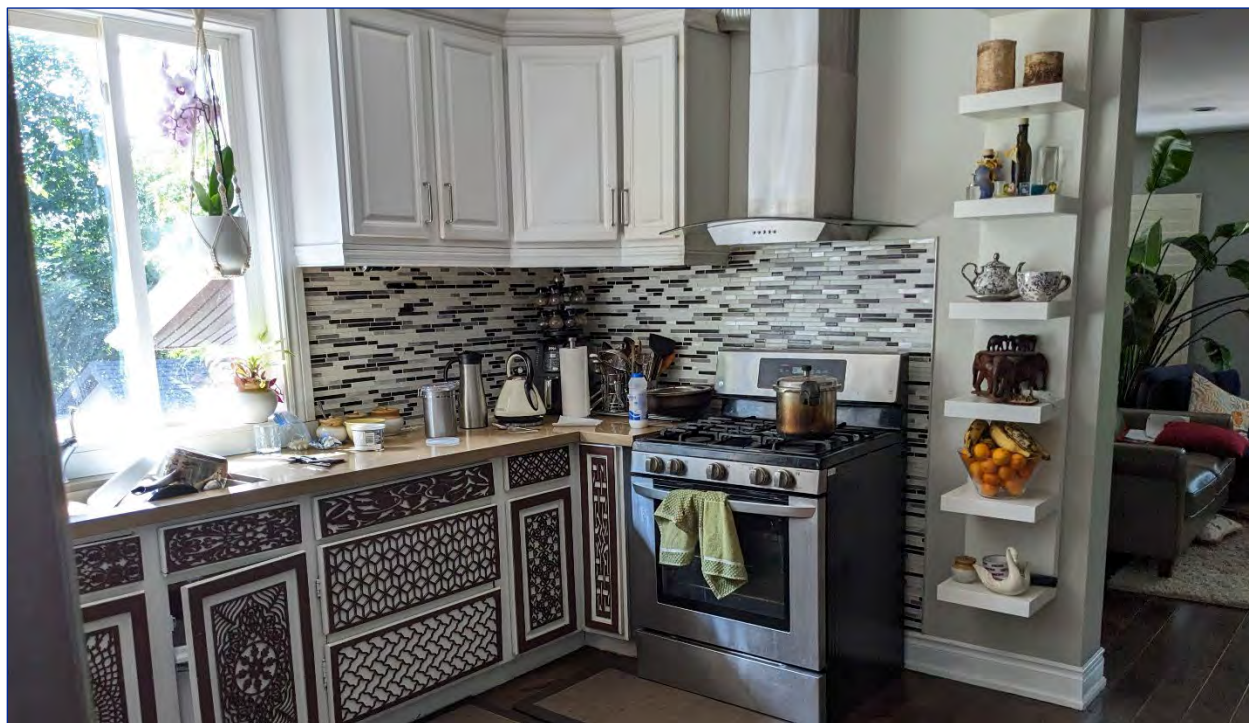


Photo 32: View of the kitchen

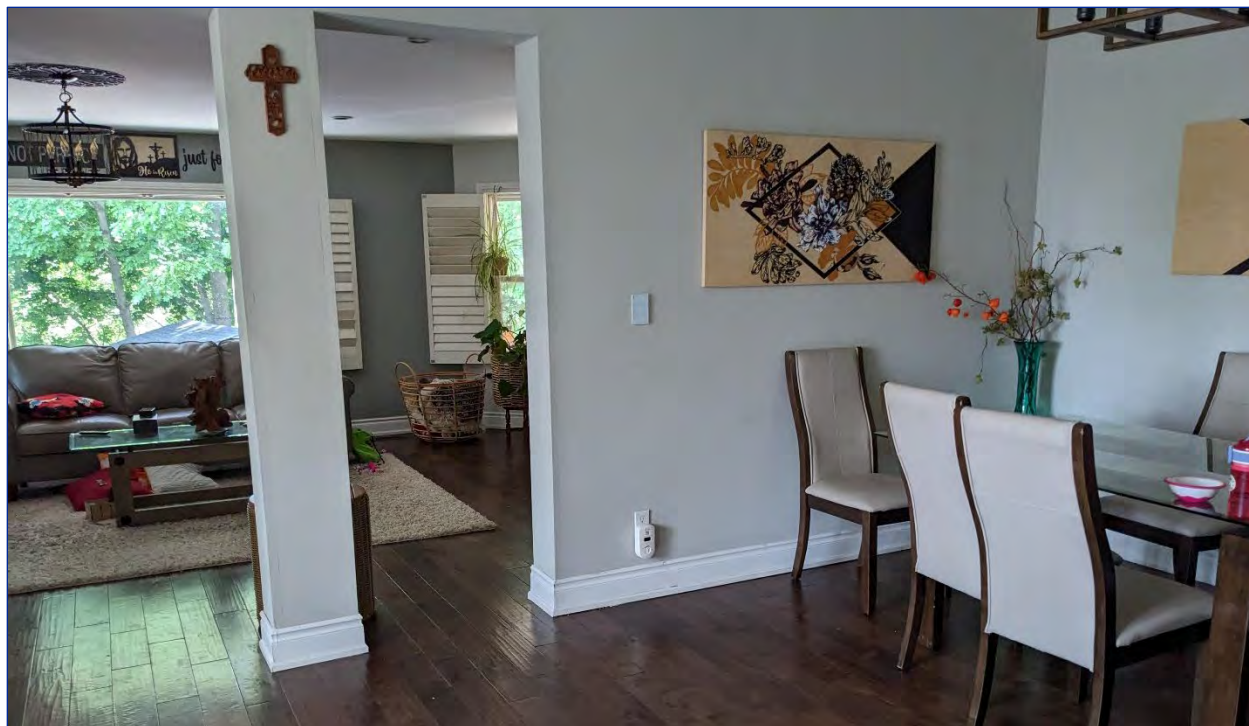


Photo 33: View of the dining area



Photo 34: View of the living room

5.3.2.3 Attic

The attic floor of the house consists of two rooms. The staircase down to the first floor is situated in the centre of the attic and enters into a large room that spans the length of the house. The sloped ceilings meet at a central flat ceiling that runs the length of the attic. The whole room has a wood floor and plain moulded baseboards (Photo 35 and Photo 36). The bathroom is located in the east dormer. It has a green tile floor with black and grey mosaic tiles cladding the bottom three-quarters of all walls (Photo 37).



Photo 35: View of the south side



Photo 36: View of the north side

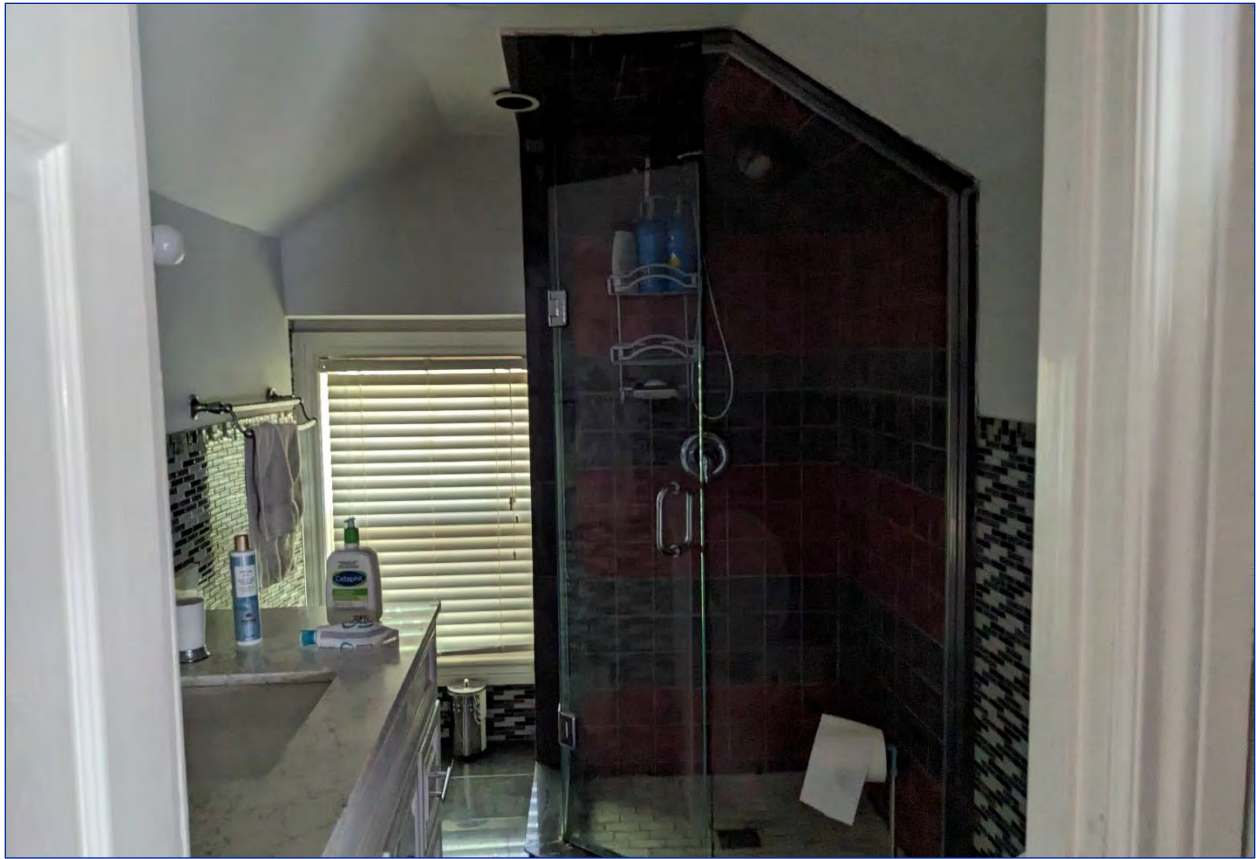


Photo 37: View of the bathroom

5.3.3 Accessory Buildings

The area surrounding the house consists of several accessory buildings and amenity areas. Southwest of the house is a wood carport clad with horizontal board and open on the south side. East of the car port is a patio with a stone block west wall, stone block posts flanking the opening, metal frame with glass panel walls on the north, south, and east walls, and a wood floor (Photo 38). Southeast of the house is a one-storey shed with a front gable roof and a double sliding garage door offset to the west side of the north elevation. East of the house is a one-storey bunk house with a front gable roof, a full-length porch on the west elevation, and a flat-headed sliding window on the north elevation (Photo 39).

South of the patio and shed is a steep slope descending down to Duke's Creek. A path leads from the southwest corner of the shed to the southwest then curves southeast to the creek where there is a small bridge and a path leading to the cottages to the southwest (Photo 40). Alongside the north bank of the creek west of the bridge is a wood plank topped rubble stone platform with a stone fireplace. The bridge has a metal frame with a poured concrete top and metal tube railings (Photo 40 and Photo 41). West of the bridge and in the centre of the creek is a rubble stone well with a sign on the south elevation that reads "Duke's Creek" (Photo 42).

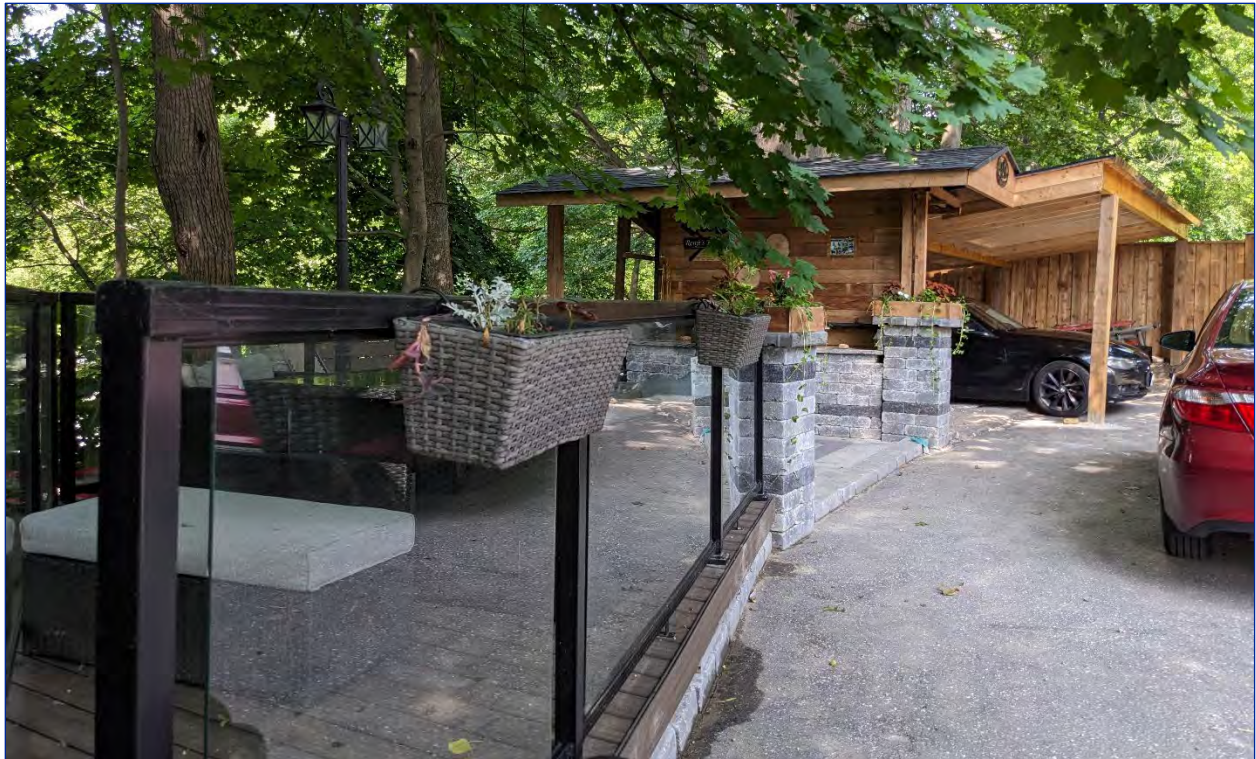


Photo 38: View northeast of an exterior amenity area and garage



Photo 39: View southwest of additional accessory buildings



Photo 40: View north across the creek to the shed



Photo 41: View east of the bridge over Duke Creek from the main house to the cottages



Photo 42: View of the Duke's Creek sign and bridge

5.4 24 River Road

The cottages are situated around a central driveway – separate from the house's driveway - located at the rear of the parcel. This cottage is situated on the north side of the rear driveway before the driveway's north curve. The cottage has a square plan with a small addition to the north side of the west elevation. It is a one-storey vinyl siding clad building with a hip roof, a concrete foundation, hipped dormers on the north and south elevations, and a red brick chimney on the east elevation (Photo 43 to Photo 46). The front entrance is a flat-headed single door with a porch roof offset to the south side of the east elevation (Photo 44). The cottage also has a flat-headed single door offset to the west side of the north elevation, and a flat-headed single door offset to the east side of the north elevation that fronts onto the deck (Photo 45). Windows are found on all elevations.

The south elevation of the cottage has a picture window in the dormer, a tall flat-headed one-over-one sash window offset to the west side, a short flat-headed one-over-one sash window offset to the east side, and a small sliding window in the centre (Photo 43). The east elevation has two flat-headed one-over-one sash windows: one tall and one short (Photo 44). The north elevation has a flat-headed one-over-one sash window between the two entrances (Photo 45). The west elevation features a short flat-headed one-over-one sash window offset to the north side (Photo 46).



Photo 43: View of the south elevation



Photo 44: View of the east elevation



Photo 45: View of the north elevation



Photo 46: View of the west elevation

5.5 26 River Road

This cottage is situated west of 24 River Road across the driveway and just north of the curve. The cottage has an irregular plan and a cross gable roof. It is a one-storey vinyl siding clad building and a concrete foundation (Photo 47 to Photo 50). The cottage is accessed from a gravel parking area immediately south of the cottage. The front entrance is a flat-headed single door with a small wood porch and a small awning offset to the east side of the south elevation (Photo 47). The cottage also has a flat-headed single door near the centre of the west elevation (Photo 50). Windows are found on all elevations.

The south elevation of the cottage has a flat-headed fixed window offset to the west side (Photo 47). The east elevation has a flat-headed double casement window and a flat-headed sliding window beneath the side gable offset to the south side and a flat-headed fixed window offset to the north end (Photo 47 and Photo 48). The north elevation has one flat-headed fixed window offset to the east end and one flat-headed fixed window offset to the west side (Photo 49). The west elevation has a flat-headed fixed window north of the side entrance (Photo 50).



Photo 47: View of the south and east elevations



Photo 48: View of the east elevation



Photo 49: View of the east and north elevations



Photo 50: View of the west elevation

5.6 28 River Road

The cottage is situated north of 26 River Road and west of the driveway. It is a one-storey vinyl siding clad building with a square plan, hip roof, a concrete foundation, and a red brick chimney on the west elevation (Photo 51 and Photo 52). The cottage is accessed from a short walkway to the driveway on the east elevation. A small wood platform topped with mechanical equipment is located on the west elevation offset to the north side. The front entrance is a flat-headed single door with a small concrete porch and awning offset to the south side (Photo 51). Windows are found on all elevations.

The east elevation of the cottage has a flat-headed fixed window with a plain surround offset to the north side and a flat-headed fixed window flanked by two casement windows with a plain surround in the centre (Photo 51). The north elevation has two flat-headed windows with plain surrounds (Photo 52). The west elevation has a flat-headed double casement window with a plain surround offset to the south side (Photo 52).



Photo 51: View of the east elevation



Photo 52: View of the north and west elevations

5.7 Craftsman Bungalow Style

The word Bungalow means “any one-storey dwelling built for seasonal or temporary use.”¹⁰⁰ However, the Bungalow style refers to “a permanent home maintaining in many instances the appearance of a one-storey house.”¹⁰¹ The style originated in the United States as an

¹⁰⁰ John Blumenson, *Ontario Architecture: A Guide to Styles and Building Terms 1784 to the Present* (Toronto: Fitzhenry & Whiteside, 1990), 176.

¹⁰¹ Blumenson, *Ontario Architecture*, 176.

adaptation of the banglas (Bengali) style that was brought to the United Kingdom by the British to imitate the low one-storey houses surrounded by a verandah that were used as inns in India.¹⁰² It was popularized in the early 20th century and brought to Canada in the 1910s. Craftsman Magazine promoted the style in the United States resulting in its alternate name of Craftsman Bungalow.

Key characteristics of the Bungalow style include a one to one-and-a-half storey height; broad, low-pitched roofs with a 'blanket-like' appearance; large porches or verandahs; overhanging eaves; ample exterior space; residential; no ornamentation; exposed structural framing; at least one chimney in stone or brick that is usually large; windows often grouped in twos or threes that can be either single or multipaned; and rustic materials such as stone and brick.¹⁰³ Other common features include prominent gabled or shed roof dormers and large bay or picture windows.¹⁰⁴ The house exhibits the one-and-a-half storey height; broad, low pitched roof with a 'blanket-like' appearance; overhanging eaves; ample exterior space; residential use; lack of ornamentation; a chimney; dormers; large bay or picture windows; covered porch; and rustic materials.

¹⁰² Shannon Kyles, "Bungalow (1900-1945)," accessed 22 September 2023, <http://www.ontarioarchitecture.com/bungalow.html>; Blumenson, *Ontario Architecture*, 176.

¹⁰³ Shannon Kyles, "Bungalow (1900-1945)."; Blumenson, *Ontario Architecture*, 176-177.

¹⁰⁴ Pennsylvania Historical & Museum Commission, "Bungalow / Craftsman Style 1900-1930," accessed 22 September 2023, <http://www.phmc.state.pa.us/portal/communities/architecture/styles/bungalow.html>; Kristin Hohenadel, "What is a Craftsman House?," *The Spruce*, last modified 1 February 2022, accessed 22 September 2023, <https://www.thespruce.com/craftsman-homes-5070211#toc-key-characteristics-of-craftsman-houses>.

6 UNDERSTANDING OF CULTURAL HERITAGE VALUE OR INTEREST

6.1 Ontario Regulation 9/06 Evaluation

The Property at 18 River Road was evaluated against *O. Reg. 9/06* as amended by *O. Reg. 569/22*. This evaluation (see Table 2) was informed by the research and analysis presented in Sections 4 and 5 of this HIA. The purpose of this evaluation is to consider the cultural heritage value or interest of the Property and to identify potential heritage attributes.

Table 2: Ontario Regulation 9/06 Evaluation for 18 River Road

Criteria	Criteria Met	Justification
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	Y	<p>The shed and cottages are not rare, unique, representative, or early examples of a style, type, expression, material, or construction method. These are utilitarian and vernacular structures that are common.</p> <p>The house is a representative example of the Craftsman Bungalow style. It is not an early example as the precise date of construction is unknown. As discussed in Section 5.7, the house exhibits the one-and-a-half storey height; broad, low pitched roof with a 'blanket-like' appearance; overhanging eaves; ample exterior space; residential use; lack of ornamentation; a chimney; dormers; large bay or picture windows; and rustic materials.</p>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N	<p>There is no evidence to suggest that the house, shed, or cottages were constructed with a high degree of craftsmanship or artistic merit. The house is a vernacular construction and is generally plain and simple. The shed is a utilitarian structure that is generally plain and simple. Therefore, the house and shed do not meet this criterion.</p>

Criteria	Criteria Met	Justification
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.	N	The house, shed, and cottages do not demonstrate a high degree of technical or scientific achievement. There is no evidence to suggest that the house or shed were constructed with a higher degree of technical or scientific achievement than a standard house or shed at the time.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	Y	The house has direct associations with a prominent local family (McMurchy) and a prominent local individual (Darius McClure). As discussed in Section 4.7.2, the McMurchy family operated the Huttonville Woollen Mill, furthered electric power in Brampton, and introduced the first electric car to the area. Section 4.7.1 discusses Darius McClure, who was a farmer in Huttonville that went on to be the proprietor of the Victoria Hotel in Brampton and was involved in a number of local organizations. His funeral was one of the largest in Brampton indicating his prominence in the community.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	N	The house, shed, and cottages do not yield or have potential to yield information that contributes to an understanding of a community or culture. The history of Brampton, the woollen mill, and the development of the area is well documented and understood.

Criteria	Criteria Met	Justification
6. The property has historical or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	N	The house, shed, and cottages do not demonstrate or reflect the work or ideas of an architect, artist, builder, designer, or theorist. There is no evidence to suggest that the Property reflects the work of an architect, artist, designer, or theorist. The builder is unknown.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	N	<p>The house, shed, and cottages are not important in defining, maintaining, or supporting the character of the area.</p> <p>As discussed in Section 5.1, the surrounding area is generally residential properties with heights ranging from one to two storeys. There is no evidence to suggest that this area has a significant heritage character.</p> <p>Furthermore, the trees obscure the view of the house, shed, and cottages. The trees are mature; however, they do not support a defined character.</p>
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	N	The house, shed, and cottages are not physically, functionally, visually, or historically linked to its surroundings. There is no evidence to suggest that this Property has any significant links to its surroundings.

Criteria	Criteria Met	Justification
9. The property has contextual value because it is a landmark.	N	The Property is not a landmark, which is “a recognizable natural or human-made feature used for a point of reference that helps orienting in a familiar or unfamiliar environment; it may mark an event or development; it may be conspicuous.” ¹⁰⁵ The deep setback of the shed and cottages on the Property separates them from the roadway. The house is surrounded by trees that obscure the house from view.

6.1.1 Summary of Evaluation

In LHC’s professional opinion, the Property meets criteria 1 and 4 of *O. Reg. 9/06*. As the Property meets two of the criteria of *O. Reg. 9/06*, it is eligible for designation under Section 29 Part IV of the *OHA*.

6.2 Proposed Statement of Cultural Heritage Value or Interest

6.2.1 Description of Property

The Property is an irregularly shaped parcel on the south side of River Road between the intersection with Mississauga Road and River Road’s curve south to follow the river in the City of Brampton, Ontario. The approximately 0.66-hectare lot comprises a 20th century residential building, three rear cottages, and a series of sheds and accessory buildings. The house is a one-and-a-half storey stucco clad building.

6.2.2 Statement of Cultural Heritage Value or Interest

The Property has design and physical value for its house which is a representative example of the Craftsman Bungalow architectural style. Elements including its one-and-a-half storey height; broad, low pitched roof with a ‘blanket-like’ appearance; overhanging eaves; ample exterior space; residential use; lack of ornamentation; a chimney; dormers; large bay or picture windows; covered porch; and rustic materials reflect the Craftsman Bungalow style.

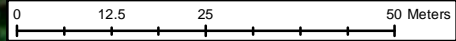
The Property has historical and associative value because it has a direct association with people that are significant to the community. The Property is directly associated with the McMurchy family and Darius McClure, both of which were prominent in the community and made significant contributions to the development of Huttonville and Brampton.

¹⁰⁵ MCM, “Standards & Guidelines for Conservation of Provincial Heritage properties, Heritage Identification & Evaluation Process.”



6.2.3 List of Heritage Attributes

Key heritage attributes of the Property are centred around the house (Figure 8). They include:

- The orientation of the house fronting onto the road (*O. Reg. 9/06*, criteria 1 and 4);
- Relationship of the house to the Creek (*O. Reg. 9/06*, criteria 4);
- The scale and massing of the building (*O. Reg. 9/06*, criteria 1);
- Symmetrical proportions (*O. Reg. 9/06*, criteria 1);
- Lack of ornamentation (*O. Reg. 9/06*, criteria 1);
- One-and-a-half storey height (*O. Reg. 9/06*, criteria 1);
- Rectangular plan with a bay window on each of the north and south elevations (*O. Reg. 9/06*, criteria 1);
- Broad, low-pitch hip roof with a 'blanket-like' appearance (*O. Reg. 9/06*, criteria 1);
- Hip roofed dormers on the north, east, and west elevations (*O. Reg. 9/06*, criteria 1);
- Overhanging eaves (*O. Reg. 9/06*, criteria 1);
- Stucco clad chimney with red brick underneath (*O. Reg. 9/06*, criteria 1);
- Stucco clad exterior with red brick underneath (*O. Reg. 9/06*, criteria 1);
- Covered porch at the northeast corner (*O. Reg. 9/06*, criteria 1).



Legend


-  Property
-  Area of Cultural Heritage Value or Interest

NOTE(S) 1. All locations are approximate.

REFERENCE(S)

1. Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

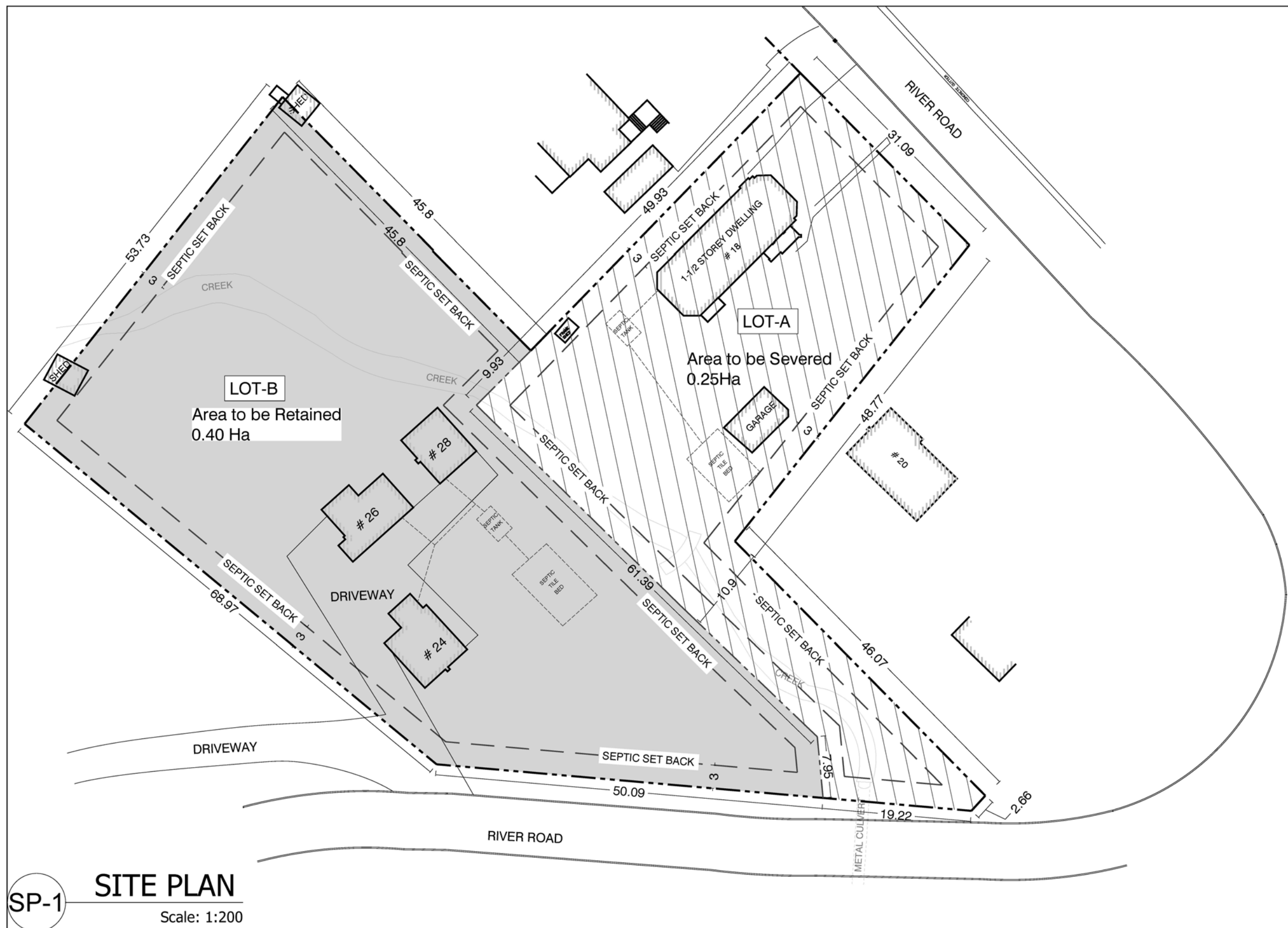
Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.

TITLE Area of Cultural Heritage Value or Interest Site Plan		
CLIENT Renji Abraham and Sudha Renji Abraham		
PROJECT Heritage Impact Assessment, 18 River Road, Brampton, Ontario		PROJECT NO. LHC0385
CONSULTANT	YYYY-MM-DD	2023-10-04
	PREPARED	LHC
	DESIGNED	JG
	FIGURE #	8

7 DESCRIPTION OF PROPOSED ALTERATION

This HIA is being prepared as part of a Consent to Sever application for 18 River Road and to assess options for the severance. Two options are currently being considered. Option 1 is to retain 0.40 hectares (ha) surrounding the three one-storey cottages and sever the 0.25ha surrounding the house, accessory buildings, and the east side of the creek (Figure 9). Option 2 is to retain the 0.49ha surrounding the three one-storey detached cottages and sever the 0.16ha surrounding the house and accessory buildings (Figure 10).

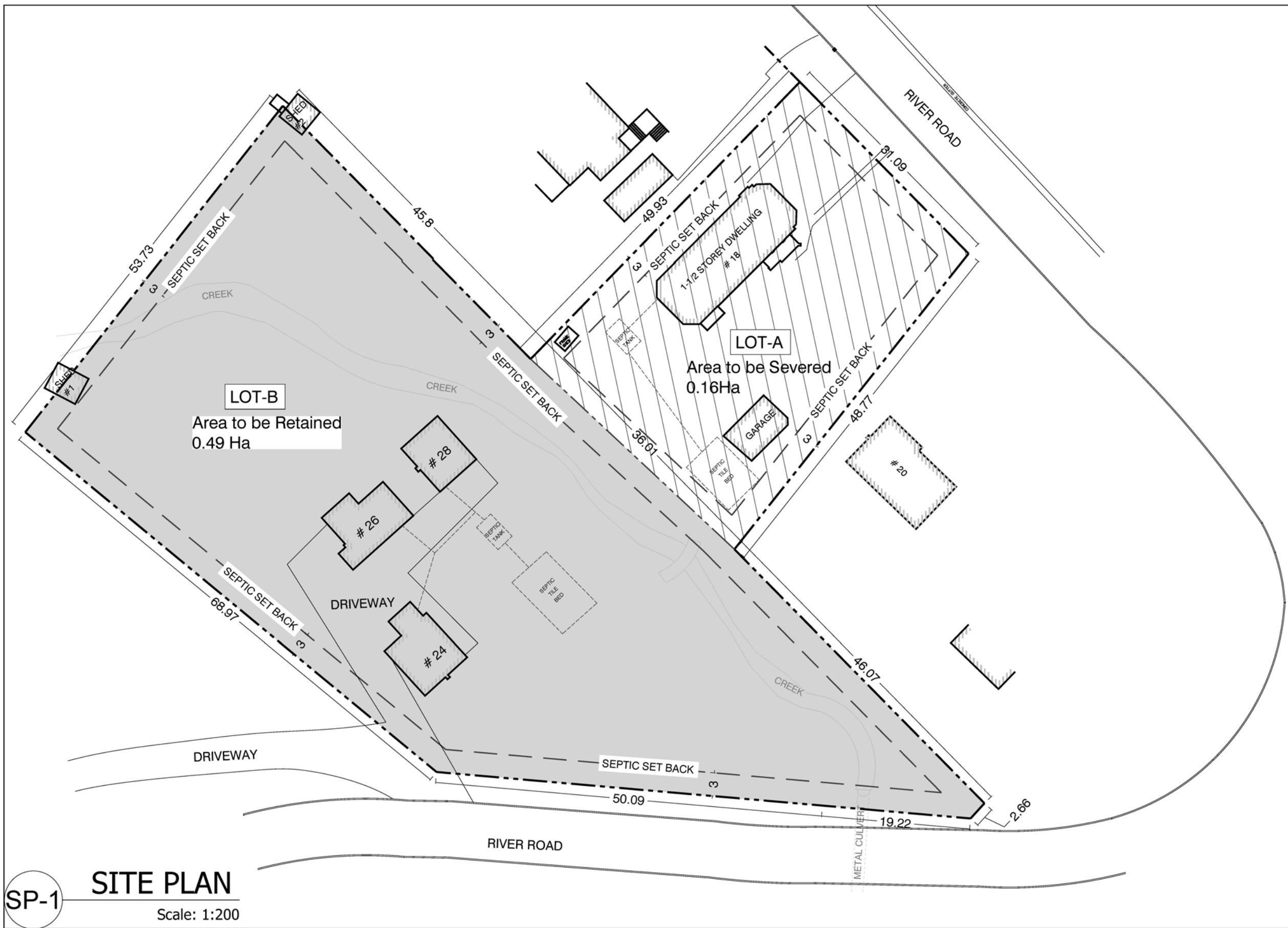
Figure 9



SP-1 SITE PLAN
Scale: 1:200

LEGEND	
	TO BE RETAINED
	TO BE SEVERED
SITE STATISTICS	
LOT-A AREA(SEVERED)	= 2500 M ²
LOT-B COVERAGE	= 200.54 M ² (10.02%)
LOT-B AREA(RETAINED)	= 4081.62 M ²
LOT-B COVERAGE	= 180.71 M ² (4.42%)
TOTAL LOT AREA (A+B)	= 6581.62 M ²
TOTAL LOT COVERAGE	= 391.25 M ² (5.79%)
AREA OF STRUCTURE(S) ON LOT-A	
1 ½-STOREY DWELLING	Unknown
GARAGE	35.50 M ²
FRAME SHED	4.71 M ²
AREA OF STRUCTURE(S) ON LOT-B	
BUILDING #24	67.01 M ²
BUILDING #26	65.9 M ²
BUILDING #28	47.71 M ²
SHED #1	Unknown
SHED #2	Unknown

Figure 10



SP-1 SITE PLAN
Scale: 1:200

LEGEND	
<div></div>	TO BE RETAINED
<div></div>	TO BE SEVERED
SITE STATISTICS	
LOT-A AREA(SEVERED) = 1651.98 M ²	
LOT-B COVERAGE = 200.54 M ² (12.13%)	
LOT-B AREA(RETAINED) = 4929.88 M ²	
LOT-B COVERAGE = 180.71 M ² (3.66%)	
TOTAL LOT AREA (A+B) = 6581.62 M ²	
TOTAL LOT COVERAGE = 391.25 M ² (5.79%)	
AREA OF STRUCTURE(S) ON LOT-A	
1 ½ -STOREY DWELLING	Unknown
GARAGE	35.50 M ²
FRAME SHED	4.71 M ²
AREA OF STRUCTURE(S) ON LOT-B	
BUILDING #24	67.01 M ²
BUILDING #26	65.9 M ²
BUILDING #28	47.71 M ²
SHED #1	Unknown
SHED #2	Unknown

8 IMPACT OF DEVELOPMENT ON HERITAGE ATTRIBUTES

The Ontario Heritage Toolkit's *Info Sheet #5 Heritage Impact Assessments and Conservation Plans* outlines seven potential negative impacts to be considered with any proposed development or site alteration. The impacts include:

1. **Destruction** of any part of any significant heritage attribute or features;
2. **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
3. **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
4. **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
5. **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
6. **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
7. **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.

The Property, municipally known as 18 River Road, was found to meet *O. Reg. 9/06* and a list of heritage attributes was prepared for this property. Given that the Property has cultural heritage value or interest, the table below considers potential adverse impacts of the proposed severance. Table 3 addresses potential impacts identified by the Toolkit in relation to the identified heritage attributes.

Table 3: Potential Impacts of Severance at 18 River Road

Heritage Attributes	Potential Impact	Type of Impact	Discussion
Orientation of the house fronting onto the road	No	None	The proposed severance does not include changes to the orientation of the building. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.

Heritage Attributes	Potential Impact	Type of Impact	Discussion
Relationship of the house to the Creek	No	None	<p>Option 1 for the proposed severance does not include a change in the house's relationship to the Creek. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.</p> <p>Option 2 would sever the house's connection with the creek.</p>
Scale and massing of the building	No	None	<p>The proposed severance does not include changes to the scale and massing of the building. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.</p>
Symmetrical proportions	No	None	<p>The proposed severance does not include changes to the proportions of the building. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.</p>
Lack of ornamentation	No	None	<p>The proposed severance does not include changes to the ornamentation of the building. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.</p>

Heritage Attributes	Potential Impact	Type of Impact	Discussion
One-and-a-half storey height	No	None	The proposed severance does not include changes to the height of the building. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.
Rectangular plan with a bay window on each of the north and south elevations	No	None	The proposed severance does not include changes to the plan of the building or the bay windows. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.
Broad, low-pitch hip roof with a 'blanket-like' appearance	No	None	The proposed severance does not include changes to the roof of the building. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.
Hip roofed dormers on the north, east, and west elevations	No	None	The proposed severance does not include changes to the dormers. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.

Heritage Attributes	Potential Impact	Type of Impact	Discussion
Overhanging eaves	No	None	The proposed severance does not include changes to the overhanging eaves. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.
Stucco clad chimney with red brick underneath	No	None	The proposed severance does not include changes to the chimney. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.
Stucco clad exterior with red brick underneath	No	None	The proposed severance does not include changes to the cladding of the building. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.
Covered porch at the northwest corner	No	None	The proposed severance does not include changes to the covered porch. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate this heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.

As described in Section 5.2, there is one adjacent property designated under Section 29, Part IV of the *OHA* and one cultural heritage landscape listed under Section 27 Part IV of the *OHA*. Table 4 addresses potential impacts to these adjacent cultural heritage resources.

Table 4: Impact assessment of adjacent properties

Cultural Heritage Resource	Impacts (Yes/No)	Discussion
2100 Embleton Road	No	The proposed severance will be restricted to the subject property. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate a heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.
River Road Cultural Heritage Landscape	No	The proposed severance will be restricted to the subject property. The severance will not create shadows, will not cause direct or indirect obstruction of a significant view or vista, will not isolate a heritage attribute, will not result in a change in land use, and will not result in land disturbance. Therefore, adverse impacts are not anticipated.

8.1 Summary of Potential Impacts

Potential impacts related to severance of the Property was explored in Table 3 and Table 4. No potential adverse impacts were identified.

9 CONCLUSION AND RECOMMENDATIONS

LHC was retained on 12 June 2023 by Renji Abraham and Sudha Renji Abraham to undertake a Heritage Impact Assessment for the Property located at 18 River Road in the City of Brampton, Ontario.

This HIA is being prepared as part of the Consent to Sever application for 18 River Road. The owners are proposing to sever a portion of the Property using one of two options. It has been prepared to evaluate the cultural heritage value or interest of the Property, to advise on severance options, and to assess potential adverse impacts on the cultural heritage value and heritage attributes of the Property. This HIA was undertaken in accordance with the recommended methodology outlines within the *Ontario Heritage Toolkit*.

In LHC's professional opinion, the Property meets criteria 1 and 4 of *O. Reg. 9/06*. Heritage attributes of the Property are associated with house. LHC finds that the proposed severance will not have an adverse impact on the cultural heritage value or interest of the Property or the adjacent heritage property. Alternatives and mitigation measures to lessen or avoid these potential adverse impacts were not explored.

LHC recommends the selection of option 1 for the proposed severance to maintain the Property's relationship with the creek.

SIGNATURES



Christienne Uchiyama, MA, CAHP
Principal, Manager Heritage Consulting
Services



Lisa Coles, MPI, CAHP-Intern
Intermediate Heritage Planner

10 REFERENCES

- Archives of Ontario. "The Changing Shape of Ontario: Early Districts and Counties 1788-1899." *Government of Ontario*. Accessed 21 September 2023.
<http://www.archives.gov.on.ca/en/maps/ontario-districts.aspx>.
- Blumenson, John. *Ontario Architecture: A Guide to Styles and Building Terms 1784 to the Present*. Toronto: Fitzhenry & Whiteside, 1990.
- Brampton Historical Society. "McMurchy Woollen Mills." *Facebook*. Published 23 January 2015. Accessed 21 September 2023
<https://www.facebook.com/234182563312371/photos/a.258573367539957/843635245700430/?type=3>.
- Brampton Historical Society. "A Tavern in the Town." *Buffy's Corner* 3, No. 1 (2001): 6. Accessed 21 September 2023.
<http://nebula.wsimg.com/ab724bf29292825400659426003351b8?AccessKeyId=B6A04BC97236A848A092&disposition=0&alloworigin=1>.
- Charters Publishing Company. "Darius McClure." In *The Conservator Brampton*. Published 19 June 1930. Accessed 21 September 2023. <https://archive.org/details/the-conservator-brampton-1930-06/page/n36/mode/1up?q=darius>.
- Charters Publishing Company. "Prominent Citizen Passes Suddenly." In *The Conservator Brampton*. Published 12 June 1930. Accessed 21 September 2023.
<https://archive.org/details/the-conservator-brampton-1930-06/page/n20/mode/1up?q=darius>.
- City of Brampton. "Heritage Impact Assessment Terms of Reference." Accessed 25 September 2023. https://www1.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Heritage/Documents/HIA_ToR.pdf.
- City of Brampton. "Official Plan." Last modified September 2020. Accessed 25 September 2023. https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf.
- Corporation of the County of Peel. *A History of Peel County to Mark its Centenary*. Peel, ON: Charters Publishing Company, 1967.
- Corporation of the Town of Brampton. *Brampton Centennial Souvenir 1853-1953*. Toronto, ON: Charters Publishing Company Limited, 1953. <https://archive.org/details/brampton-centennial-souvenir/page/n15/mode/2up>.
- Duric, Donna. "Ajetance Treaty, No. 19 (1818)." *Mississaugas of the Credit First Nations*. Last

- modified 4 November 2020. Accessed 21 September 2023. <https://mncfn.ca/ajetance-treaty-no-19-1818/>.
- Ellis, Christopher and D. Brian Deller. "Paleo-Indians." In *The Archaeology of Southern Ontario to A.D. 1650*, ed. Christopher Ellis and Neal Ferris. London, ON: Ontario Archaeological Society, London Chapter, 1990.
- Find a Grave. "Darius McClure." Accessed 21 September 2023. https://www.findagrave.com/memorial/159531723/darius-mcclure?_gl=1*1pc6wx5*_gcl_au*NjAxNTc2NzAyLjE2ODk2MDUyODk.*_ga*MTI1NzE0NDQxNy4xNjU3NzUwMzkx*_ga_4QT8FMEX30*NjZjODFkMmQtYjdmZC00MDAyLTNmMTMtYzM0M2U0ZmMzMmNmNhLjlxLjEuMTY5MTU5Njk3OS42MC4wLjA.
- Gilchrist, J. Brian, Marlene Sharp and Robert A. McClure. *The "Clan" McClure: Historical Highlights*. Halton, ON: McClure Clan Family Executive, 2009.
- Golder. "Heritage Impact Assessment: 5916 Trafalgar Road North, Town of Erin, part of Lot 26, Concession 7, former Township of Erin, Wellington County, Ontario." Last modified 17 November 2021. Accessed 21 September 2023. <https://www.wellington.ca/en/resident-services/resources/Planning/Development-Applications/Active-Applications/23T-21002/13-Heritage-Impact-Assessment-Golder-Nov-2021.pdf>.
- Haudenosaunee Confederacy. "Who Are We." Accessed 21 September 2023. <https://www.haudenosauneeconfederacy.com/who-we-are/>.
- Hiking the GTA. "McMurchy Woolen Mills – Huttonville." Last modified 18 April 2015. Accessed 21 September 2023. <https://hikingthegta.com/tag/mcmurchy-woolen-mills/>.
- Hohenadel, Kristin. "What is a Craftsman House?." *The Spruce*. Last modified 1 February 2022. Accessed 22 September 2023. <https://www.thespruce.com/craftsman-homes-5070211#toc-key-characteristics-of-craftsman-houses>.
- Kyles, Shannon. "Bungalow (1900-1945)." Accessed 22 September 2023. <http://www.ontarioarchitecture.com/bungalow.html>.
- Land Registry Ontario. Peel County (43), Chinguacousy, Book A: West Hurontario Street, Concession 3 to 6; Salmonville; Tullamore; Victoria; Chetenham. Accessed 21 September 2023. <https://www.onland.ca/ui/43/books/501866/viewer/950141849?page=80>.
- Land Registry Ontario. Peel County (43), Chinguacousy, Book B; West Hurontario Street; Concession 4 to 6. Accessed 2 August 2023. <https://www.onland.ca/ui/43/books/501832/viewer/967905674?page=55>, Instrument No. 10166.

- Land Registry Ontario. Peel County (43), Chinguacousy, Concession 5; West Hurontario Street. Accessed 21 September 2023.
<https://www.onland.ca/ui/43/books/42292/viewer/967905704?page=1>, Instrument No. 13467.
- Land Registry Ontario. Peel County (43), Plan 311. Accessed 21 September 2023.
<https://www.onland.ca/ui/43/books/41535/viewer/983630520?page=1>.
- Ministry of Citizenship and Multiculturalism. "Heritage Property Evaluation." In the *Ontario Heritage Toolkit*. Toronto: Queen's Printer for Ontario, 2006.
- Ministry of Citizenship and Multiculturalism. "Info Sheet #5: Heritage Impact Assessments and Conservation Plans." In *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement*. Toronto: Queen's Printer for Ontario, 2006.
- Mississaugas of the Credit First Nation. "Community Profile." Accessed 21 September 2023.
<https://mncfn.ca/about-mncfn/community-profile/>.
- Moreau, Nick. "Brampton." *The Canadian Encyclopedia*. Last modified 28 November 2022. Accessed 21 September 2023.
<https://www.thecanadianencyclopedia.ca/en/article/brampton>.
- Parks Canada. "Standards and Guidelines for the Conservation of Historic Places in Canada." *Canada's Historic Places*. Last modified 2010. Accessed 6 February 2023.
<https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>.
- Peel Art Gallery, Museum, and Archives. "About Peel." *Peeling the Past*. Accessed 21 September 2023. <https://peelarchivesblog.com/about-peel/>.
- Peel Art Gallery, Museum, and Archives. "Black Family Fonds #10." *William Perkins Fonds*.
- Peel Art Gallery, Museum, and Archives. "The Creation of the County of Peel, 1851-1867." Last modified 25 April 2017. Accessed 21 September 2023.
<https://peelarchivesblog.com/2017/04/25/the-creation-of-the-county-of-peel-1851-1867/>.
- Peel Art Gallery, Museum, and Archives. "McMurchy Family Fonds." *William Perkins Fonds*.
- Peel Art Gallery, Museum, and Archives. "Victoria Hotel, Main St North, Brampton." In *Thomas O. Dolson Family Fonds*.
- Pennsylvania Historical & Museum Commission. "Bungalow / Craftsman Style 1900-1930." Accessed 22 September 2023.
<http://www.phmc.state.pa.us/portal/communities/architecture/styles/bungalow.html>.

- Pope, J.H. *Illustrated Historical Atlas of the County of Peel*. Toronto, ON: Walker and Miles, 1877.
- Province of Ontario. "A Place to Grow: Growth Plan for the Greater Golden Horseshoe." Last modified 28 August 2020. Accessed 25 September 2023. <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>.
- Province of Ontario. "Planning Act, R.S.O. 1990, c. P.13." Last modified 8 June 2023. Accessed 25 September 2023. <https://www.ontario.ca/laws/statute/90p13>.
- Province of Ontario. "Provincial Policy Statement, 2020: Under the Planning Act." Last modified 1 May 2020. Accessed 25 June 2023. <https://files.ontario.ca/mmah-provincial-policy-statement-2020-accessible-final-en-2020-02-14.pdf>.
- Rayburn, Alan. *Place Names of Ontario*. Toronto, ON: University of Toronto Press, 1997. <https://archive.org/details/placenamesofonta0000rayb>.
- Region of Peel. "Region of Peel Official Plan." Last modified 4 November 2022. Accessed 25 September 2023. https://www.peelregion.ca/officialplan/download/_media/region-of-peel-official-plan-approved-final.pdf.
- Statistics Canada. "Census Profile, 2021 Census of Population, Profile Table." Accessed 21 September 2023. <https://www12.statcan.gc.ca/census-recensement/2021/dp-pd/prof/details/page.cfm?Lang=E&SearchText=Peel&DGUIDlist=2021A00033521&GENDERlist=1,2,3&STATISTIClist=1&HEADERlist=0>.
- Symons, Thomas H.B. "Brampton's Dale Estate." *Ontario Heritage Trust*. Accessed 21 September 2023. <https://www.heritagetrust.on.ca/en/pages/programs/education-and-outreach/presentations/bramptons-dale-estate>.
- Toronto Region Conservation Authority. "Archaeology Opens a Window on the History of Indigenous Peoples in the GTA." Last modified 21 June 2018. Accessed 21 September 2023, <https://trca.ca/news/archaeology-indigenous-peoples-gta/>.
- Toronto Region Conservation Authority. "Chapter 3: First Nations." In *Greening Our Watersheds: Revitalization Strategies for Etobicoke and Mimico Creeks*. Prepared by the Toronto Region Conservation Authority. Toronto, ON, 2001.
- Tourism Brampton. "Brampton History." *City of Brampton*. Accessed 21 September 2023. <https://www.brampton.ca/en/Arts-Culture-Tourism/Tourism-Brampton/Visitors/Pages/BramptonHistory.aspx>.
- Town of Caledon. "Arts, Culture, and Heritage." Accessed 21 September 2023. <https://www.caledon.ca/en/living-here/arts-culture-and-heritage.aspx#:~:text=Originally%20surveyed%20in%201818%20and,rivers%20and%20at%20various%20crossroads>.

Walton, George. *The City of Toronto and the Home District Commercial Directory and Register with Almanack and Calendar for 1837*. Toronto: T. Dalton & W.J. Coates, 1837.

APPENDIX A Qualifications

Lisa Coles, MPL, CAHP-Intern – Intermediate Heritage Planner

Lisa Coles is an Intermediate Heritage Planner with LHC. She holds a Master of Arts in Planning from the University of Waterloo, a Graduate Certificate in Museum Management & Curatorship from Fleming College, and a B.A. (Hons) in History and French from the University of Windsor.

Lisa has worked in the heritage industry for over five years. She has gained experience through various positions in museums and public sector heritage planning. Lisa is an intern member of the Canadian Association of Heritage Professionals (CAHP) and a candidate member with the Ontario Professional Planning Institute (OPPI).

At LHC, Lisa has worked on numerous projects dealing with all aspects of Ontario's cultural heritage. She has been lead author or co-author of over twenty-five cultural heritage technical reports including Cultural Heritage Evaluation Reports, Heritage Impact Assessments, Environmental Assessments, and Interpretation and Commemoration Plans. Lisa has also provided heritage planning support to municipalities including work on heritage permit applications and work with municipal heritage committees. Her work has involved a wide range of cultural heritage resources including institutional, industrial, and residential sites in urban, suburban, and rural settings.

Colin Yu, MA, CAHP – Cultural Heritage Specialist and Archaeologist

Colin Yu is a Cultural Heritage Specialist and Archaeologist with LHC. He holds a BSc with a specialist in Anthropology from the University of Toronto and a M.A. in Heritage and Archaeology from the University of Leicester. He has a special interest in identifying socioeconomic factors of 19th century Euro-Canadian settlers through quantitative and qualitative ceramic analysis.

Colin has worked in the heritage industry for over eight years, starting out as an archaeological field technician in 2013. He currently holds an active research license (R1104) with the Province of Ontario. Colin is a professional member of the Canadian Association of Heritage Professionals (CAHP) and member of the Board of Directors for the Ontario Association of Heritage Professionals (OAHP).

At LHC, Colin has worked on numerous projects dealing with all aspects of Ontario's cultural heritage. He has completed over thirty cultural heritage technical reports for development proposals and include Cultural Heritage Evaluation Reports, Heritage Impact Statements, Environmental Assessments, and Archaeological Assessments. Colin has worked on a wide range of cultural heritage resources including; cultural landscapes, institutions, commercial and residential sites as well as infrastructure such as bridges, dams, and highways.

Jordan Greene, B.A. (Hons) – Mapping Technician

Jordan Greene, B.A., joined LHC as a mapping technician following the completion of her undergraduate degree. In addition to completing her B.A. in Geography at Queen's University,

Jordan also completed certificates in Geographic Information Science and Urban Planning Studies. During her work with LHC Jordan has been able to transition her academic training into professional experience and has deepened her understanding of the applications of GIS in the fields of heritage planning and archaeology. Jordan has contributed to over 100 technical studies and has completed mapping for projects including, but not limited to, cultural heritage assessments and evaluations, archaeological assessments, environmental assessments, hearings, and conservation studies. In addition to GIS work she has completed for studies Jordan has begun developing interactive maps and online tools that contribute to LHC's internal data management. In 2021 Jordan began acting as the health and safety representative for LHC.

Christienne Uchiyama, MA CAHP - Principal, LHC

Christienne Uchiyama MA CAHP is Principal and Manager - Heritage Consulting Services with LHC. She is a Heritage Consultant and Professional Archaeologist (P376) with two decades of experience working on heritage aspects of planning and development projects. She is currently Past President of the Board of Directors of the Canadian Association of Heritage Professionals and received her MA in Heritage Conservation from Carleton University School of Canadian Studies. Her thesis examined the identification and assessment of impacts on cultural heritage resources in the context of Environmental Assessment.

Chris has provided archaeological and heritage conservation advice, support and expertise as a member of numerous multi-disciplinary project teams for projects across Ontario, including such major projects as: all phases of archaeological assessment at the Canadian War Museum site at LeBreton Flats, Ottawa; renewable energy projects; natural gas pipeline routes; railway lines; hydro powerline corridors; and highway/road realignments. She has completed more than 300 cultural heritage technical reports for development proposals at all levels of government, including cultural heritage evaluation reports, heritage impact assessments, and archaeological licence reports and has a great deal of experience undertaking peer reviews. Her specialties include the development of Cultural Heritage Evaluation Reports, under both O. Reg. 9/06 and 10/06, and Heritage Impact Assessments.

APPENDIX B Glossary

Definitions are based on those provided in the *Provincial Policy Statement (PPS)*, *Ontario Heritage Act (OHA)*, the *Region of Peel Official Plan (ROP)*, and the *City of Brampton Official Plan (OP)*. In some instances, documents have different definitions for the same term, all definitions have been included and should be considered.

Adjacent Lands means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (*PPS*).

Adjacent Lands means lands that are:

- a) contiguous to a specific natural heritage feature or area where it is likely that development or site alteration would have a negative impact on the feature or area. The extent of the adjacent lands may be recommended by the Province or based on municipal approaches which achieve the same objectives; and
- b) contiguous to a protected heritage property or as otherwise defined in a local municipal official plan (*ROP*).

Adjacent Lands means lands that are contiguous to a specific natural heritage feature or area where it is likely that development or site alteration would have a negative impact on the feature, or area. The extent of the adjacent lands to specific natural heritage features or areas are provided in Ontario Ministry of Natural Resources' Natural Heritage Reference Manual (*OP*).

Alter means to change in any manner and includes to restore, renovate, repair, or disturb and "alteration" has a corresponding meaning ("transformer", "transformation") (*OHA*).

Archaeological Resources include artifacts, archaeological sites and marine archaeological sites. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the *Ontario Heritage Act (PPS)*.

Archaeological Resources includes artifacts, archaeological sites and marine archaeological sites, as defined under the Ontario Heritage Act. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the Ontario Heritage Act. Archaeological resources may include the remains of a building, structure, activity or cultural feature or object which, because of the passage of time, is on or below the surface of land or water and is of significance to the understanding of the history of a people or place (*ROP*).

Area of Archaeological Potential means areas with the likelihood to contain archaeological resources. Criteria to identify archaeological potential are established by the Province. The Ontario Heritage Act requires archaeological potential to be confirmed by a licensed archaeologist (*PPS*).

Area of Archaeological Potential means areas with the likelihood to contain archaeological resources. Criteria to identify archaeological potential are established by the Province. The

Ontario Heritage Act requires archaeological potential to be confirmed by a licensed archaeologist (*ROP*).

Built Heritage Resource means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers (*PPS*).

Built Heritage Resource means one or more buildings, structures, monuments, installations, or any manufactured or constructed part of remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on a property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included in local, provincial, federal and/or international registers (*ROP*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*PPS*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*ROP*).

Cultural Heritage Landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms (*PPS*).

Cultural Heritage Resources means built heritage resources, cultural heritage landscapes and archaeological resources that have been determined to have cultural heritage value or interest

for the important contribution they make to our understanding of the history of a place, an event, or a people. While some cultural heritage resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation (*ROP*).

Development means the creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the Planning Act, but does not include:

- c) activities that create or maintain infrastructure authorized under an environmental assessment process;
- d) works subject to the Drainage Act; or
- e) for the purposes of policy 2.1.4(a), underground or surface mining of minerals or advanced exploration on mining lands in significant areas of mineral potential in Ecoregion 5E, where advanced exploration has the same meaning as under the Mining Act. Instead, those matters shall be subject to policy 2.1.5(a) (*PPS*).

Development means the creation of a new lot, a change in land use or construction of buildings and structures, requiring approval under the Planning Act but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the Drainage Act (*ROP*).

Development means the subdivision of land, or construction of buildings and structures, requiring approval under the Planning Act but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the Drainage Act (*OP*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., significant views or vistas to or from a protected heritage property) (*PPS*).

Heritage Attributes means in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest; ("attributs patrimoniaux") (*OHA*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., views or vistas to or from a protected heritage property) (*ROP*).

Property means real property and includes all buildings and structures thereon (*OHA*).

Protected Heritage Property means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*PPS*).

Protected Heritage Property means property listed by council resolution on a heritage register or designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*ROP*).

Significant in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act (*PPS*).

Significant in regard to cultural heritage and archaeology, resources that are valued for the important contribution they make to our understanding of the history of a place, an event, or a people (*OP*).

Appendix C Review of Relevant OP Policies

The Region of Peel's policies were adopted by Regional Council on 28 April 2022, approved by the Minister on 4 November 2022.

Policy	Policy Content	Applicability to the Property
Objectives 3.6.1	To identify, conserve and promote Peel's non-renewable cultural heritage resources, including but not limited to built heritage resources, cultural heritage landscapes and archaeological resources for the well-being of present and future generations.	This policy applies as the proposed severance needs to demonstrate that it conserves cultural heritage resources. This HIA demonstrates that the proposed severance will conserve the cultural heritage value of the Property.
Objectives 3.6.2	To encourage stewardship of Peel's built heritage resources and cultural heritage landscapes and promote well-designed built form to support a sense of place, help define community character, and contribute to Peel's environmental sustainability goals.	This policy applies as the proposed severance needs to demonstrate that it conserves cultural heritage resources. This HIA demonstrates that the proposed severance will conserve the cultural heritage value of the Property.
Objectives 3.6.4	To support the heritage policies and programs of the local municipalities.	This policy applies as the proposed severance needs to demonstrate that it is in compliance with municipal heritage policy. This HIA demonstrates that the proposed severance is in compliance with local policy.
Policies 3.6.6	Direct the local municipalities to include policies in their official plans for the identification, conservation and protection of significant cultural heritage resources, including significant built heritage resources and significant cultural heritage landscapes as required in cooperation with the Region, the conservation authorities, other agencies and Indigenous communities, as appropriate.	This policy applies as the proposed severance needs to demonstrate that it is in compliance with municipal heritage policy. This HIA demonstrates that the proposed severance is in compliance with local policy.

Policy	Policy Content	Applicability to the Property
Policies 3.6.8	Require cultural heritage resource impact assessments, where appropriate for infrastructure projects, including Region of Peel projects and ensure that recommended conservation outcomes resulting from the impact assessment are considered.	This HIA is in compliance with this policy.
Policies 3.6.10	Require local municipal official plans to include policies where the proponents of development proposals affecting cultural heritage resources provide sufficient documentation to meet provincial requirements and address the Region's objectives with respect to cultural heritage resources.	This HIA is in compliance with this policy.
Policies 3.6.11	Direct the local municipalities to only permit development and site alteration on adjacent lands to protected heritage property where the proposed property has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.	This HIA is in compliance with this policy.

The City of Brampton's policies were adopted by Council on 11 October 2006, partially approved by the Region of Peel on 24 January 2008, partially approved by the Ontario Municipal Board on 7 October 2008, and consolidated in September 2020.

Policy	Policy Content	Applicability to the Property
Objectives	<p>It is the objective of the cultural heritage resource policies to:</p> <ul style="list-style-type: none"> a) Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations; b) Preserve, restore and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and preserve cultural heritage landscapes; including significant public views; 	<p>This policy applies as the proposed severance needs to demonstrate that it conserves cultural heritage resources.</p> <p>This HIA demonstrates that the proposed severance will conserve the cultural heritage value of the Property.</p>

Policy	Policy Content	Applicability to the Property
4.10.1.4	<p>Criteria for assessing the heritage significance of cultural heritage resources shall be developed. Heritage significance refers to the aesthetic, historic, scientific, cultural, social or spiritual importance or significance of a resource for past, present or future generations. The significance of a cultural heritage resource is embodied in its heritage attributes and other character defining elements including: materials, forms, location, spatial configurations, uses and cultural associations or meanings. Assessment criteria may include one or more of the following core values:</p> <ul style="list-style-type: none"> • Aesthetic, Design or Physical Value; • Historical or Associative Value; and/or, • Contextual Value. 	<p>The criteria for determining cultural heritage value or interest are outlined in <i>Ontario Regulation 9/06</i>. These criteria are used to evaluate the Property in Section 6 of this HIA. Therefore, this HIA is in compliance with this policy.</p>
4.10.1.6	<p>The City will give immediate consideration to the designation of any heritage resource under the Ontario Heritage Act if that resource is threatened with demolition, significant alterations or other potentially adverse impacts.</p>	<p>Section 6 of this HIA demonstrates that the Property has cultural heritage value or interest and is eligible for designation under the <i>Ontario Heritage Act</i>. The City may choose to designate the Property. However, this HIA demonstrates that the Property will not experience adverse impacts from the proposed severance.</p>
4.10.1.10	<p>A Heritage Impact Assessment, prepared by qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused</p>	<p>This HIA is in compliance with this policy.</p>

Policy	Policy Content	Applicability to the Property
	<p>to the designated heritage resources and their heritage attributes. Due consideration will be given to the following factors in reviewing such applications:</p> <ul style="list-style-type: none"> (i) The cultural heritage values of the property and the specific heritage attributes that contribute to this value as described in the register; (ii) (ii) The current condition and use of the building or structure and its potential for future adaptive re-use; (iii) The property owner's economic circumstances and ways in which financial impacts of the decision could be mitigated; (iv) Demonstrations of the community's interest and investment (e.g., past grants); (v) Assessment of the impact of loss of the building or structure on the property's cultural heritage value, as well as on the character of the area and environment; and, (vi) Planning and other land use considerations. 	
4.10.1.11	A Heritage Impact Assessment may also be required for any proposed alteration work or development activities involving or adjacent to heritage resources to ensure that there will be no adverse impacts caused to the resources and their heritage attributes. Mitigation measures shall be imposed as a condition of approval of such applications.	This HIA is in compliance with this policy.
4.10.2.1	The City shall identify and maintain an inventory of cultural heritage landscapes as part of the City's Cultural Heritage	The Property is part of the River Road Cultural Heritage Landscape, which is listed as a non-

Policy	Policy Content	Applicability to the Property
	Register to ensure that they are accorded with the same attention and protection as the other types of cultural heritage resources.	designated property on the City's Heritage Register. This HIA takes this into consideration.
4.10.2.2	Significant cultural heritage landscapes shall be designated under either Part IV or Part V of the Ontario Heritage Act, or established as Areas of Cultural Heritage Character as appropriate.	The River Road Cultural Heritage Landscape has not been designated under Part IV or Part V of the <i>OHA</i> . The City may choose to do so.

Appendix D Land Registry Records for 18 River Road

Table 5: Land Registry and Title Search Records for 18 River Road¹⁰⁶

No.	Inst.	ITS Date	Date of Registry	Grantor	Grantee	Consideration	Remarks
	Patent	12 Jan 1858		The Crown	Robert Arthurs		100 acres
28134	Q.C.	3 Mar 1846	4 Jan 1847	Robert Arthurs	James Black	£22	All
36795	Bond	4 Mar 1850	11 Apr 1850	Robert Arthurs	John Simpson	£48.10	Pine Timber
39354		9 Jan 1851	5 Feb 1851	John Seflar Sen.	Robert Arthurs	£100	Pt.
4809	Q.C.	2 Feb 1858	11 Feb 1858	James Nixon et al	Robert Arthurs	£42	Pt. W ½
4810	B+S	26 Jan 1858	11 Feb 1858	Robert Arthurs et ux	John Blain	£1400	All
8270	P. of Attorney	11 Apr 1860	22 June 1860	Mary Ferrie	Maitland Young Jun.		
8271	B+S	13 May 1860	22 June 1860	Mary Ferrie et al	Robert Rolston	£3000	All
10166	Grant	11 Feb 1862	4 Apr 1862	Robert Rolston	James Ritchie	£3000	All

¹⁰⁶ Land Registry Ontario, Peel County (43), Chinguacousy, Book A: West Hurontario Street; Concession 3 to 6; Salmonville; Tullamore; Victoria; Chetenham, accessed 2 August 2023, <https://www.onland.ca/ui/43/books/501866/viewer/950141849?page=80>.; Land Registry Ontario, Peel County (43), Chinguacousy, Book B: West Hurontario Street; Concession 4 to 6, accessed 2 August 2023, <https://www.onland.ca/ui/43/books/501832/viewer/981532858?page=56>.; Land Registry Ontario, Peel County (43) Chinguacousy, Concession 5; West Hurontario Street, accessed 2 August 2023, <https://www.onland.ca/ui/43/books/42292/viewer/966795962?page=1>.; Land Registry Ontario, Peel County (43), Plan 311, accessed 2 August 2023, <https://www.onland.ca/ui/43/books/41535/viewer/983630520?page=1>.

No.	Inst.	ITS Date	Date of Registry	Grantor	Grantee	Consideration	Remarks
10340	Ind.	17 June 1862	20 June 1862	Robert Rolston	Maitland Young	£2950	All
15461	Grant	12 Jan 1858	18 Apr 1867	The Crown	Robert Arthurs	\$400	All
216	Q.C.	15 May 1868	28 Dec 1868	Charles Quinlin et al	Maitland Young Jr.	\$1	All 100
217	Release	29 Nov 1867	28 Dec 1868	Thomas Black et ux	Maitland Young Jr.	\$1	Pt. 20 acres
218	Q.C.	25 Nov 1867	28 Dec 1868	John Gartshore	Maitland Young Jr.	\$1	All 100
391	B+S	13 Feb 1869	28 May 1869	Maitland Young et al	William Hughes	\$1350	All 100
489	B+S and M	8 Nov 1869	31 Dec 1869	John Kerr (assignee of William Hughes)	Thomas Black	\$1610	All 100
7351	B+S	1 Feb 1894	5 Feb 1894	Thomas Black et ux	Darius McClure	7650	100 ac Pts;
13467	B+S	1 Apr 1919	2 Apr 1919	Darius McClure et ux	Fred C. Brown	22,000	W ½
14802	B+S	1 Apr 1923	18 Apr 23	Fred C. Brown	Marguerite Cheeney	1.00	Part E ½

No.	Inst.	ITS Date	Date of Registry	Grantor	Grantee	Consideration	Remarks
14803	B+S	3 Apr 1923	18 Apr 1923	Marguerite Cheeney	John McMurchy	1.00	Part E ½
15295	Grant	1 Jan 1925	26 Jan 1925	John McMurchy et ux	Huttonville Park Limited	1.00 & c	13 4/10 acres; Part E ½
311	Plan	10 Dec 1935	14 July 1936	Huttonville Park Limited	A Subdivision of Part		(Part adjoining road allowance between lots 5 & 6)
18514	Grant	10 Jan 1940		Huttonville Park Ltd.	Angus McMurchy	\$1.00 & c	All & O.L.
18874	Grant	24 Jan 1942		Angus McMurchy	Mary E. McMurchy & Angus McMurchy, as joint tenants	\$1.00 & N.L.A.	All & O.L.
7208 GR	Consent	31 May 1949		Consent of Treasurer	Re: Angus McMurchy Estate		All & O.L.
161729VS	Consent	3 Feb 1971		Re: estate tax act	Mary E. McMurchy Estate		Re: No. 18874

No.	Inst.	ITS Date	Date of Registry	Grantor	Grantee	Consideration	Remarks
164124VS	Q.C.	5 Mar 1971		Gordon McMurchy et ux; Joan I. Taylor & Donald G. Taylor	Isabel Burke, Executrix for Mary E. McMurchy, estate	1.00	All & O.L.
GR164125vs	Cert.	5 Mar 1971		Treasurers' Consent	Mary E. McMurchy Estate		Re: No. 18874
164126VS	Grant	5 Mar 1971		Isabel Burke, executrix for Mary E. McMurchy, Estate	Walter R. Watson & Alice J. Watson as joint tenants	1.00	All & O.L. Sketch attached
262943VS	Grant	30 May 1973		Walter R. Watson & Alice J. Watson	The Director, The Veterans' Land Act	2.00 & c	All & O.L. Sketch attached
929223	Grant	26 Feb 1990		The Director, The Veterans' Land Act	Walter Robert Watson	2.00	All & O.L.
R01046449	Transfer	30 Aug 1993		Walter Robert Watson	Clarence Bootsma	\$300,000	All & O.L.

APPENDIX E Designation By-Laws 60-83 and 264-83



Report
Staff Report
 The Corporation of the City of Brampton
 9/17/2024

Date: 2024-08-23

Subject: **Heritage Impact Assessment, 12 Rosegarden Drive – Ward 10**

Contact: Arpita Jambekar, Heritage Planner, Integrated City Planning

Report number: Planning, Bld & Growth Mgt-2024-688

RECOMMENDATIONS:

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning to the Brampton Heritage Board Meeting of September 17th, 2024, re: **Heritage Impact Assessment, 12 Rosegarden Drive Ward-10**, dated January 2024 be received;
2. That the Heritage Impact Assessment Report for 12 Rosegarden Drive, prepared by ATA Architects Inc., dated January 2024 be deemed complete; and
3. That the following recommendations as per the Heritage Impact Assessment by ATA Architects Inc. be followed:
 - I. As a result of a fire at 12 Rosegarden Drive in 2023, which has rendered the building unsafe and made it impossible to salvage or restore, the building must be demolished;
 - II. A Commemoration of the property should be erected and placed in Gladstone Shaw Park, immediately west of the property. A Commemoration Plan to guide the commemorative strategy is required to be submitted and must adhere to the city's new Terms of Reference for Commemoration Plans.

OVERVIEW:

- 12 Rosegarden Drive was added to the Municipal Heritage Register in 2016 as a "Listed" cultural heritage resource for its design/physical value, historical/associative value, and contextual value.
- An initial Heritage Impact Assessment was prepared in 2021 as part of an application for the construction of a new custom home on the property. The assessment identified that the property meets the requirements for "Designation" under Ontario Heritage Act.

- In response to staff's recommendation that the property owner consider design options for the new home that would allow for retention of the heritage house, a second HIA was prepared in early 2023 to respond to changes in the proposed design.
- A house fire in June 2023 destroyed the original heritage structure, and a third version of the HIA was prepared to make recommendations to address the loss of the building and the heritage attributes of the property
- This HIA has confirmed that the existing property met the minimum criteria for Designation under Part IV of the Ontario Heritage Act, and that the heritage attributes that were identified to meet those criteria have been lost as a result of the fire.
- The HIA recommends that a Commemoration Plan be prepared following the city's Terms of Reference, and that a commemorative plaque be installed in the adjacent, City-owned Gladstone-Shaw Park. The plaque will describe the historical and contextual value that the house and former farm property have to the community.
- The HIA is considered complete, per the City's Terms of Reference.
- There are no financial implications as a result of this report.

BACKGROUND:

Property Description

The property at 12 Rosegarden Drive is situated east of Goreway Drive, north of Castlemore Road, west of McVean Drive and south of Countryside Drive, within the former township of Toronto Gore. The remnants of the historic village of Castlemore lie to the southeast of the subject property. Although the subdivision was constructed around it, the house at 12 Rosegarden remained in its original location on an individual, severed lot as a reminder of the area's rural and agricultural heritage.

The property was listed as a cultural heritage resource in the City's Municipal Heritage register in 2016, for its design/physical value, historical/associative value, and contextual value.

Structure Description

The structure at 12 Rosegarden is a one and a half storey, Late Victorian version of Gothic Revival style farmhouse. The significant heritage attributes include:

- Dichromatic brick,
- Beige brick base with beveled cap,
- Quoins,

- Steeply-pitched gables,
- Lancet windows and,
- Arched-brick window hoods.

The property has high architectural value as the home was owned by a single family for over 100 years. The additions to the structure were sympathetic and the integrity of the heritage attributes was retained. However, the fire of June 2023 has resulted in a loss of the heritage attributes of the farmhouse.

The subject property has high historical/associative value as the land was owned by for 124 years by five generations of the Shaw family. The various members of the Shaw family who operated the Farm were active members in the community involved in religious, social, political and agricultural organizations. In 1967, the farmstead was designated as a Century Farm. As a farmhouse situated in a rural estate setting, it contributed to the understanding of the agricultural history of the city and has the potential to yield information on the importance of the Shaw family to various organizations in the history of Brampton's Toronto Gore.

Although the house was located in a rural estate subdivision, the large lot where it was situated helped to reflect the rural agricultural past of the Toronto Gore and thus the City of Brampton and gave the property a high contextual value.

CURRENT SITUATION:

An initial Heritage Impact Assessment that was prepared for the property by ATA Architects Inc. in 2021 as part of an application for the construction of a new custom home on the property, identified that the property met the requirements for "Designation" under Regulation 9/06 of the Ontario Heritage Act. Based on this result, staff recommended that the property owner consider design options for the new home that would allow for retention of the heritage house.

A subsequent draft of the HIA was prepared in early 2023 to respond to changes in the proposed design.

A house fire in June 2023, resulted in the destruction of the original 1½ storey farmhouse. A third version of the HIA was then prepared (by ATA Architects Inc., dated January 2024) to address the loss of the building and make recommendations to address the loss of the heritage attributes of the property.

The HIA confirmed that the former building met three of the minimum criteria under Ontario Regulation 9/06 and was therefore eligible for Heritage Designation under Section 29 under Part IV of the Ontario Heritage Act.

The HIA also documented that the fire resulted in substantial and irreparable damage to the building and the heritage attributes that were previously identified in the criteria for Designation. The part of the structure that remains has evidence of severe smoke and

fire damage, making it unsafe and unfit for any purposes. Since the building's instability makes it impossible to salvage or restore the remainder of the house, the HIA concluded that it must be demolished.

Recommendation and Mitigation measures

The revised Heritage Impact Assessment determined that removal of the farmhouse, due to the fire, will negatively impact the cultural heritage resource. Without the house present on the property, the expression of its architectural and contextual values are lost. The HIA recommends mitigation through Commemoration of the building through signage/plaque/marker as a viable course of action. Formal commemoration should be provided on the adjacent site (Gladstone-Shaw Park) to reference the building and site and describe the historical and contextual value they have to the community.

A Commemoration Plan, based on the City of Brampton's Terms of reference, should be presented to guide the commemorative strategy.

CORPORATE IMPLICATIONS:

Financial Implications:

None.

STRATEGIC FOCUS AREA:

The approval of the Heritage Impact Assessment noted within this report supports the Culture & Diversity Focus Area. The recommendations therein, facilitate commemoration of a rare and unique cultural heritage resource that contributes to the understanding of Brampton's early history, and help maintain a sense of place, belonging and community identity.

CONCLUSION:

It is recommended that the Heritage Impact Assessment for 12 Rosegarden Drive be received by the Brampton Heritage Board as being complete and the recommendation therein be endorsed.

Authored by:

Reviewed by:

Arpita Jambekar
Heritage Planner,
Integrated City Planning

Jeffrey Humble, RPP, MCIP
Manager
Policy Programs and Implementation

Reviewed by:

Reviewed by:

Henrik Zbogar, RPP, MCIP
Director
Integrated City Planning

Steve Ganesh, RPP, MCIP
Commissioner
Planning, Building and Growth Management

Attachments:

- Attachment 1 - Heritage Impact Assessment Report, ATA Architects Inc., Jan. 2024.



12 ROSEGARDEN DRIVE

HERITAGE IMPACT ASSESSMENT

REVISED: JANUARY 2024

PREPARED BY:
ATA Architects Inc.

3221 North Service Road, Suite 101
Burlington, Ontario
L7N3G2

T. (905) 849 6986



Aerial View of 12 Rosegarden Road (property outlined in red)
Source: Google Maps (2021)

6

1.0 INTRODUCTION	6
1.1 METHODOLOGY	8
1.3 STUDY AREA LOCATION	10

12

2.0 POLICY CONTEXT	12
2.1 THE PLANNING ACT	13
2.2 PPS	14
2.3 ONTARIO HERITAGE ACT	16
2.4 PEEL REGION OFFICIAL PLAN	20
2.5 BRAMPTON OFFICIAL PLAN	22

28

3.0 HISTORICAL VALUE	28
3.1 EARLY & INDIGENOUS HISTORY	29
3.2 PEEL COUNTY	34
3.3 CITY OF BRAMPTON	35
3.4 SUBJECT SITE OWNERSHIPS	38
3.5 HISTORICAL SIGNIFICANCE	62

64

4.0 SUBJECT SITE AND CONTEXT	64
4.1 DESC. OF SUBJECT PROPERTY	65
4.2 ZONING REGULATION	66
4.3 SURROUNDING CONTEXT	68

76

5.0 CONTEXTUAL VALUE	76
5.1 CONTEXT PHOTOS	77
5.2 CONTEXTUAL SIGNIFICANCE	82

84

6.0 ARCHITECTURAL VALUE	84
6.1 ARCHITECTURAL SIGNIFICANCE	85
6.2 AFTER FIRE DOCUMENTATION	106
6.3 EVALUATION OF HERITAGE ARCHITECTURAL AND CONTEXTUAL VALUE	108
6.4 SUMMARY STATEMENT	110

112

7.0 PROPOSED DEVELOPMENT	112
8.0 MITIGATING MEASURES	113
9.0 CONCLUSION	114

117

APPENDIX	
BIBLIOGRAPHY	
SUPPORTING DOCUMENTS	
ALEXANDER TEMPORALE CV	
RYAN LEE CV	

Prepared for:

PermitGuys

City of Brampton:

City Heritage Planning

Charlton Carscallen, Principal Planner, B. Sci., M. Arts.

Prepared by:

ATA Architects Inc.

3221 North Service Road, Suite 101

Burlington Ontario L7N 3G2

Project Team:

Alexander Temporale, B. Arch. OAA., FRAIC, CAHP

Principal Emeritus

Ryan Lee, B. Arch Sci., M. Arch., OAA, MRAIC, CAHP

Associate Architect

Alexandra Hucik, M. Arch., BAS (Hon)

Intern Architect & Heritage Specialist

0.0 EXECUTIVE SUMMARY

The Executive Summary only provides key points from the report. The reader should examine the complete report, including background, results, and limitations.

ATA Architects Inc. (ATA) was retained by PermitGuys (the Owners) to undertake a Cultural Heritage Assessment and Heritage Impact Assessment (HIA) for the properties at 12 Rosegarden Drive, Brampton, Ontario. It is ATA's professional opinion that the Property has cultural heritage significance, and that should be designated. 12 Rosegarden Drive met Ontario Regulation 9/06.

The subject property is currently listed on the Municipal Heritage Register of Cultural Heritage Resources with the City of Brampton.

In the summer of 2023, a fire broke out at 12 Rosegarden Drive and damaged and destroyed part of the Cultural Heritage Resource. Due to the fire, the building is not safe, and it would be impossible to salvage or restore the remainder of the house. It has been concluded that it must be demolished.

As a result of the fire and proposed demolition, this HIA is being prepared as part of the submission to the City. The purpose of the HIA is to:

- Review the heritage attributes of the Properties
- Review the proposed development and identify any adverse impact on the heritage attributes and;
- To identify alternative and mitigation measures to lessen or avoid identified impacts.

ATA recommends that a Commemoration of the building should be erected and it is recommended that it should be in the City's park adjacent to the property. The Commemoration should be the Standard City Plaque. A commemoration plan is also required and must follow the City's new Terms of Reference for Commemoration Plan.

1.0 INTRODUCTION



Southwest facade exterior; the original farmhouse
Source: ATA, 2021

1.0 INTRODUCTION

ATA Architects Inc. ("ATA") was retained by the property owner PermitGuys on behalf of the Owners, to undertake a Heritage Impact Assessment ("HIA") of 12 Rosegarden Drive, located within the Municipality of Brampton, Ontario. It is hereinafter referred to as the "subject property." The subject property is listed on the heritage register but not designated.

The Owner is seeking to demolish the existing structure on the subject property due to a fire that significantly damaged the heritage attributes of the building. ATA did prepare a Cultural Heritage Assessment and deemed that it met Ontario Regulation 9/06.

An HIA is required to assess the impact of the demolition of the existing structure and is required to support a Building Permit Application to allow the demolition of the existing structure. This report was prepared in accordance with the City of Brampton Heritage Impact Assessments Terms of Reference

12 Rosegarden Drive is listed (non-designated) on the Municipal Heritage Register of the City of Brampton. The subject property is not part of a cultural heritage landscape. As the property is listed on the City's Municipal Heritage Register, an HIA is required in accordance with the Town's Official Plan.

The Brampton Official Plan identifies that the City will require an HIA when an alternation, construction or development involves or is adjacent to a designated or listed heritage resource. The HIA will follow the guidelines in the City of Brampton Heritage Impact Assessment Terms of Reference and guidelines provided by the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI) Ontario Heritage Toolkit: Heritage Resources in Land Use Planning Process (2006) and Canada's Historic Places Standards and Guidelines for the Conservation of Historic Places in Canada (2010).

1.1 METHODOLOGY

ATA has prepared this HIA report in order to:

- Review the relevant legislation and policy applicable to the subject property;
- Provide a summary of the subject property's context and history;
- Provide a summary of the built heritage, surrounding landscape features, and adjacent properties;
- Assess the Cultural Heritage Resources;
- Determine the potential adverse impact of the demolition of the Existing Structure;
- Analysis of mitigation measures.

ATA undertook the following process in completing this report:

- Review the heritage planning regulatory framework.

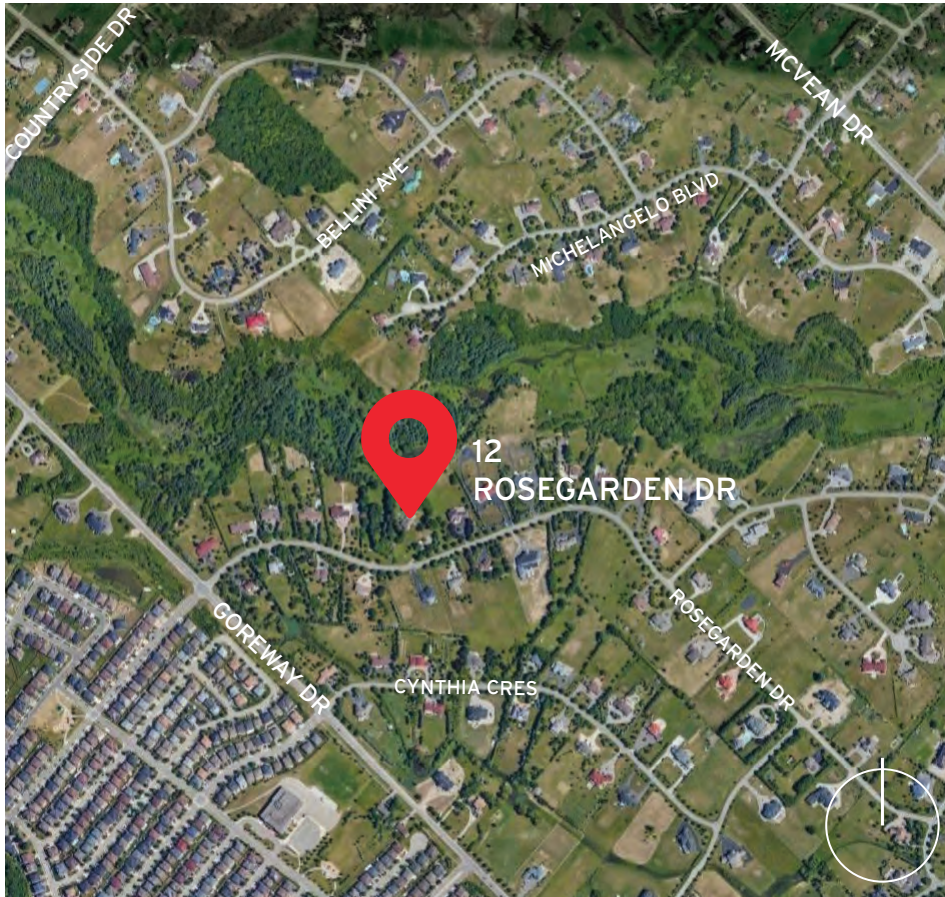
Legislation and policy were undertaken for a provincial, regional and municipal regulatory framework where cultural heritage value or interest were preserved by O. Reg. 9/06 of the OHA.

- Review the significance of the heritage resource through research and analysis of the architectural, historical and contextual background.

Historical research was undertaken to outline the history and create a timeline of the subject properties. The research included archival research, historical maps, aerial photography, historical photographs, land registry data, research articles, etc.

- Review and document the existing condition of the subject properties and surrounding context, adjacent properties and connection to the neighbourhood.

1.2 STUDY AREA LOCATION



Key plan showing location of property
Source: Google Maps (2021)



Aerial View of 12 Rosegarden Drive
Source: Google Maps (2021)

1.2 STUDY AREA LOCATION

Municipal Address:

12 Rosegarden Drive

Legal Description:

PCL 9-1, SEC M350; LT 9, PL M350;
S/T Right as in LT374475; S/T
LT304937, LT373803 Brampton

Lot area:

4096.54m²

12 Rosegarden Drive is located in the northeast part of Brampton (formerly the Township of Toronto Gore) in the Regional Municipality (former County) of Peel. The property is part of Lot 14, Concession 8 North Division (N.D.). The property is on a small residential street accessed from Goreway Drive. Rosegarden Drive is situated east of Goreway Drive, north of Castlemore Road, west of McVean Drive, and south of Countryside Drive. Remnants of the historic village of Castlemore lie to the southeast of the subject property. The Salt Creek is to the immediate north of the property.

2.0 POLICY CONTEXT

In Ontario, cultural heritage is a provincial priority and cultural heritage resources are managed through legislation, policies, regulations and guidelines. The OHA, Planning Act, and PPS directly establish provisions for cultural heritage resources and indicate them as important. These laws and policies demonstrate broad provincial support for protecting cultural heritage and establish minimum standards for heritage evaluation.

The subject property at 12 Rosegarden Drive is subject to several provincial and municipal planning policies. In Ontario, criteria to determine cultural heritage value or interest are prescribed by O. Reg. 9/06 of the Ontario Heritage Act.

There are several Provincial, Regional, and municipal regulations and policies that apply to properties of cultural heritage value or interest. The following were reviewed in preparing this report:

- Ontario Planning Act;
- Ontario's Provincial Policy Statement;
- Ontario Heritage Act;
- Standards and Guidelines for the Conservation of Historic Places in Canada, 2010;
- Growth Plan for the Greater Golden Horseshoe, 2017;
- Ontario Heritage Toolkit, 2006;
- Peel Region Official Plan;
- City of Brampton Official Plan

2.1 PLANNING ACT

The Planning Act is the primary legislation that establishes the “parameters” for land use planning in Ontario. It enables municipalities to control land use and provides for the mechanisms through which this control is exercised.

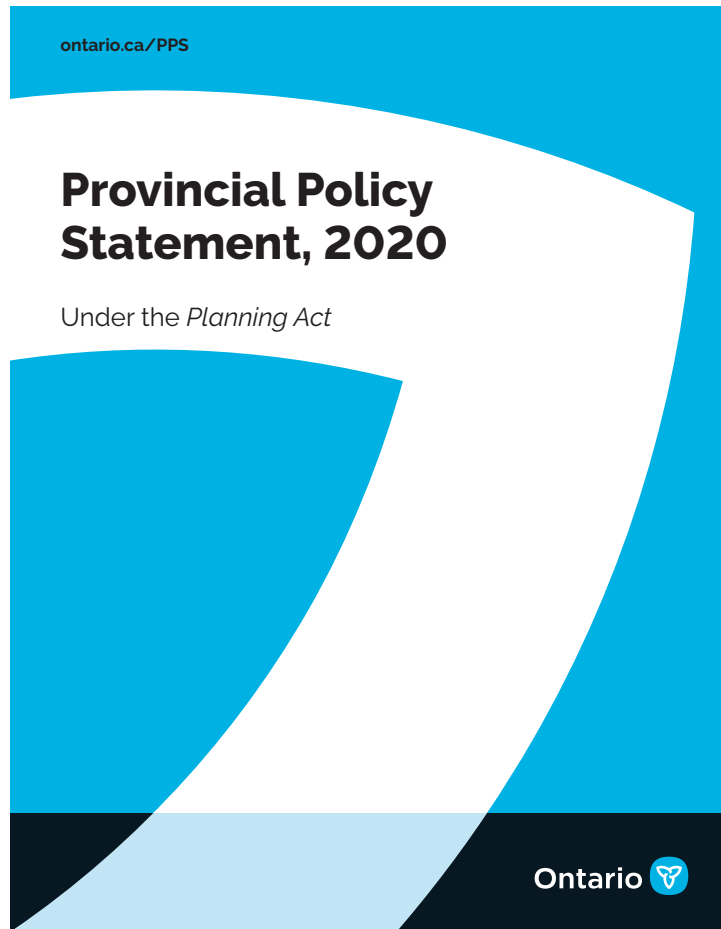
In Part 1, Section 2, provincial interest outlines 19 areas of interest that must be considered by the Minister, Municipal Council, local boards, planning boards and Tribunals. The Planning Act sets the context for provincial interest in heritage and identifies several provisions for Cultural Heritage. Part 1, Section 2(d) states:

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as, ...

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

Under the Planning Act, Section 5 details provincial interest as it relates to land use planning and development in the province are outlined in the PPS. The PPS must guide decisions made by municipalities.

2.2 PROVINCIAL POLICY STATEMENT



Provincial Policy Statement, 2020
Source: Government of Ontario (2020)

The *Provincial Policy Statement* (PPS) was updated in 2020 and is intended to provide policy direction for land use planning and development regarding matters of provincial interest in addition to the *Planning Act*. The PPS is issued under the authority of Section 3 of the *Planning Act*. The PPS sets the policy foundation for regulating the development and use of land in Ontario. Land use planning decisions made by municipalities, planning boards, the Province, or a commission or agency of the government must be consistent with the PPS. The Province deems cultural heritage and archaeological resources to provide important environmental, economic and social benefits.

Municipalities implement the PPS through an “*Official Plan*,” which further outlines their cultural heritage policies. Cultural heritage is one of many interests contained within the PPS.

Cultural heritage resources can be a tool for economic prosperity. Section 1.7 of the PPS regards cultural heritage resources as long-term economic resources. It states the following:

1.7.1e

encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.

When addressing cultural heritage planning, *Section 2.6. Cultural Heritage and Archaeology* of the PPS states:

2.6.1

Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

**2.2 PROVINCIAL POLICY
STATEMENT**

2.6.2

Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

2.6.3

Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4

Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5

Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.

The PPS treats cultural heritage as equal to other planning and development factors in Ontario. All policies within the PPS hold equal importance and should be given equal consideration.

The *Provincial Policy Statement*, further defined the following:

Built heritage resource: means a building, structure, monument, installation or any manufactured or constructed part or remnant

ONTARIO HERITAGE ACT

ONTARIO REGULATION 9/06

CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

CRITERIA

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act.
- (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
 1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
 2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

CRITERIA (CONTINUED)

3. The property has contextual value because it,
- i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings,
 - iii. is a landmark.

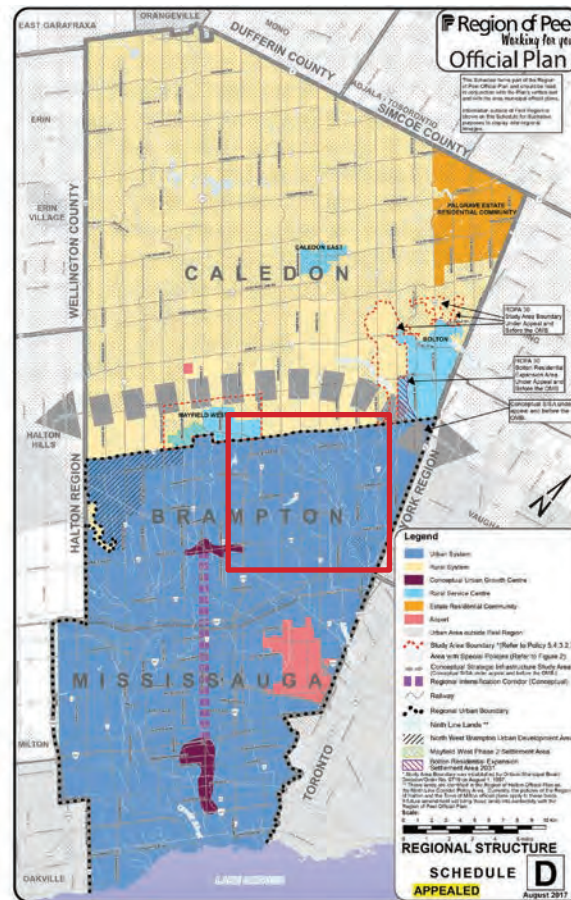
TRANSITION

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006.

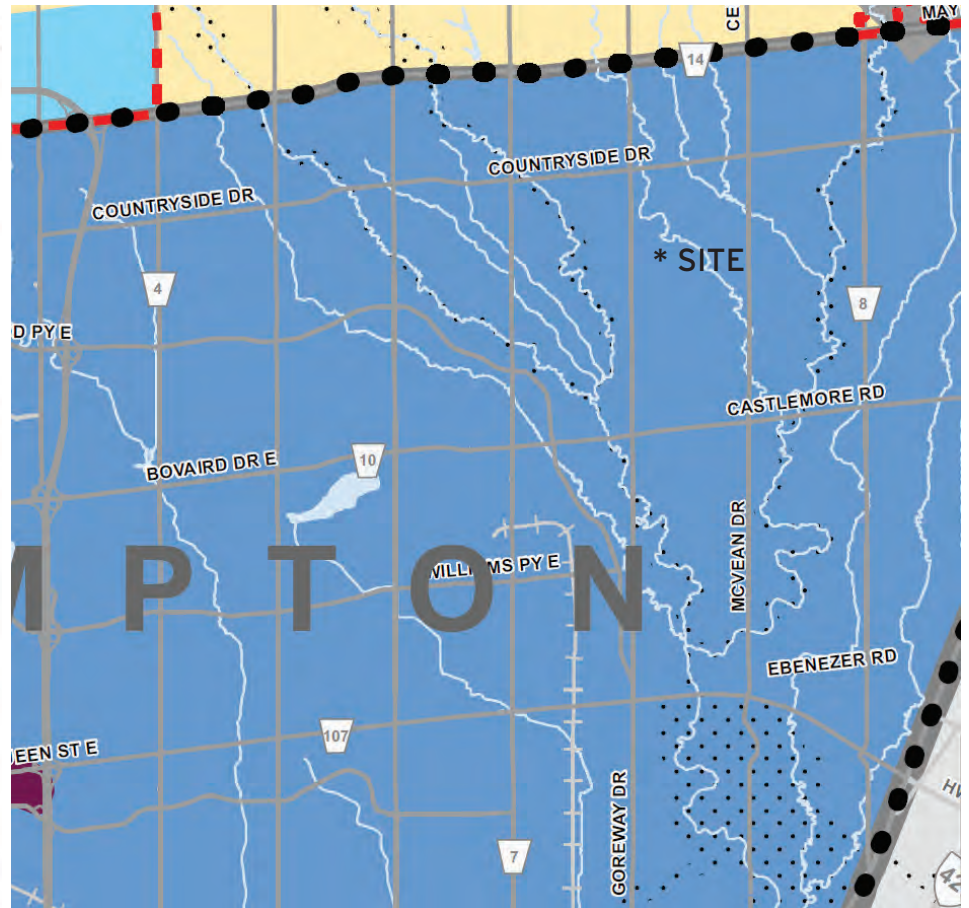
NOTE:

The designation of properties of heritage value by municipalities in Ontario is based on the above criteria evaluated in the context of that municipality's jurisdiction. Buildings need not be of provincial or national importance to be worthy of designation and preservation.

2.4 PEEL REGION OFFICIAL PLAN



Region of Peel Official Plan - Schedule D Regional Structure
Source: Region of Peel Official Plan (2018)



Schedule D of the 2018 Region of Peel Official Plan notes the subject property to be part of the Urban System, and as such it is subject to Region's policies.

Part 3.6 of the Region of Peel Official Plan contains the following cultural heritage policies and objectives relevant to the site:

3.6 CULTURAL HERITAGE

The Region of Peel encourages and supports heritage preservation and interpretation of the cultural heritage features, structures, archaeological resources, and cultural heritage landscapes in Peel (including properties owned by the Region), according to the criteria and guidelines established by the Province.

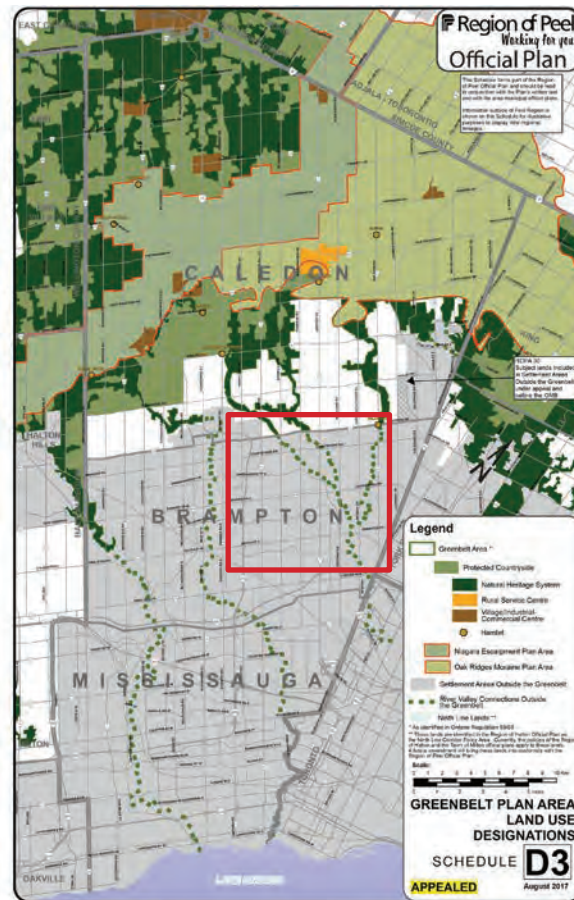
3.6.1 OBJECTIVES

- 3.6.1.1 To identify, preserve and promote *cultural heritage resources*, including the material, cultural, archaeological and *built heritage* of the region for present and future generations.
- 3.6.1.2 To promote awareness and appreciation, and encourage public and private stewardship of Peel's heritage.
- 3.6.1.4 To support the heritage policies and programs of the area municipalities

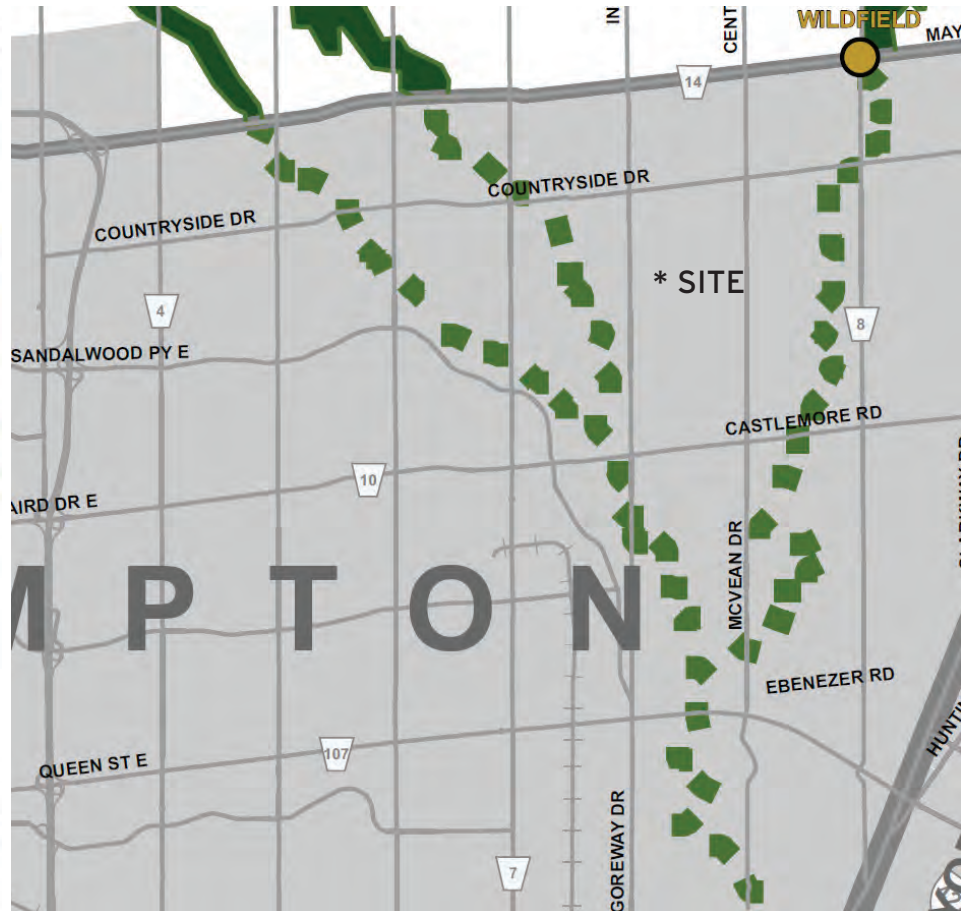
3.6.2 POLICIES

- 3.6.2.3. Ensure that there is adequate assessment, preservation, interpretation and/or rescue excavation of cultural heritage resources in Peel, as prescribed by the Ministry of Tourism, Culture and Sport's archaeological assessment and mitigation guidelines, in cooperation with the area municipalities.

2.4 PEEL REGION OFFICIAL PLAN



Region of Peel Official Plan - Schedule D3 Greenbelt Plan Area, Land Use Designations
Source: Region of Peel Official Plan (2018)



3.6.2 POLICIES (CONTINUED)

3.6.2.5. Direct the area municipalities to require, in their official plans, that the proponents of development proposals affecting heritage resources provide for sufficient documentation to meet Provincial requirements and address the Region's objectives with respect to cultural heritage resources.

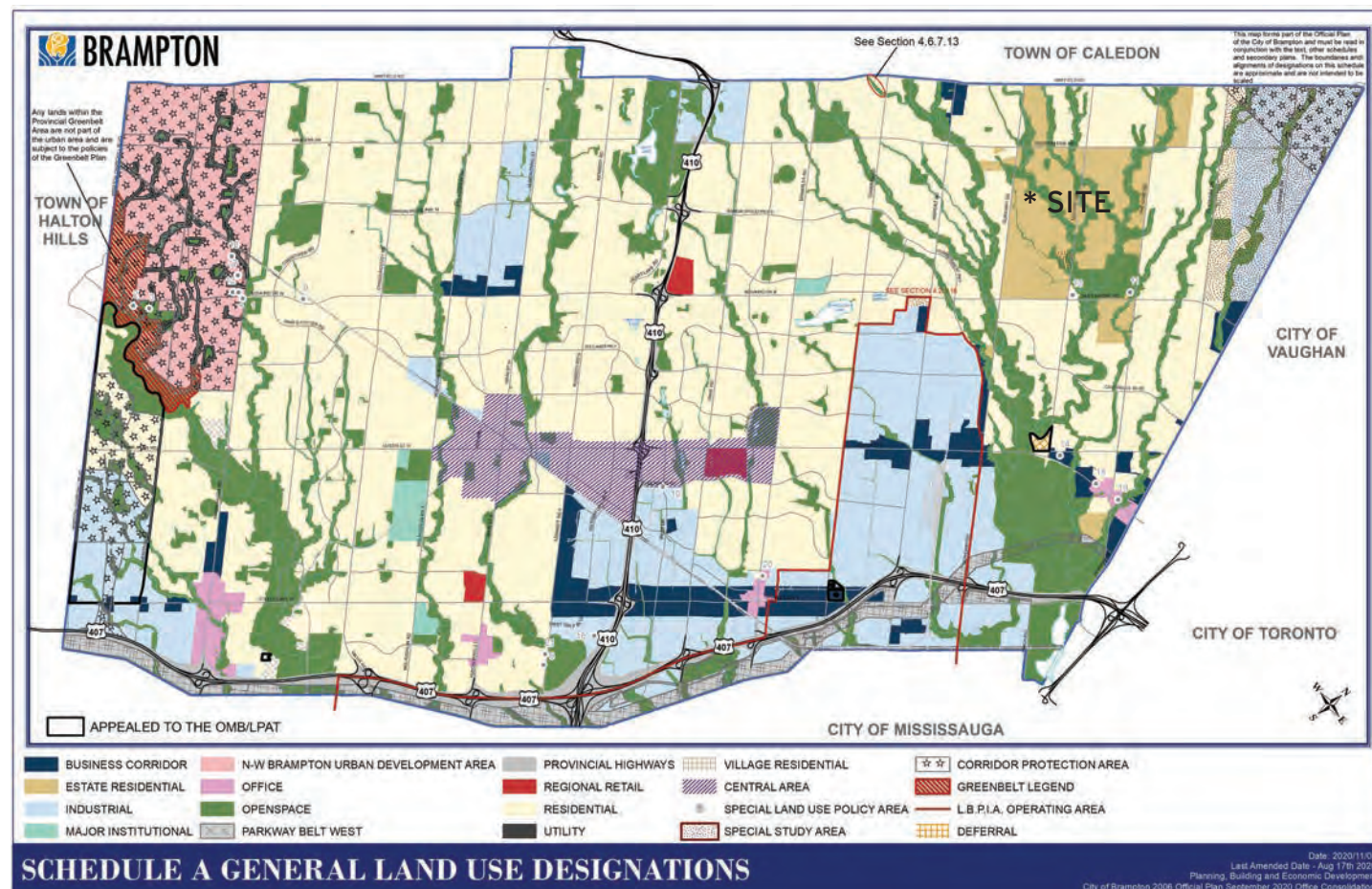
3.6.2.8 Direct the area municipalities to only permit development and site alteration on adjacent lands to protected heritage property where the proposed property has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

In the Official Plan, the following are terms are defined as:

Cultural heritage resources: within a land use context, cultural heritage resources include archaeological sites, built resources, traditional use areas, cultural landscapes and shipwreck sites. More broadly, cultural heritage resources include everything produced and left by the people of a given geographic area, the sum of which represents their cultural identity. This means their handicrafts, tools, equipment, buildings, furnishings, folklore rituals, art, transportation, communications and places of dwelling, play, worship, and commercial and industrial activity.

Built heritage: one or more buildings, structures, monuments, installations, or remains associated with architectural, cultural, social, political, economic, or military history, and identified as being important to a community.

2.5 CITY OF BRAMPTON OFFICIAL PLAN



City of Brampton Official Plan - Schedule A General Land Use Designations
 Source: City of Brampton Official Plan (2020). Brampton Maps, <https://geohub-brampton.opendata.arcgis.com/datasets/official-plan-schedule-a-general-land-use-designations>

The City of Brampton Official Plan addresses the management of cultural heritage resources within its Flower City Strategy and in Section 4.10 of Official Plan which outlines its policies.

Section 4.10 of the Official Plan is concerned specifically with cultural heritage resources with "Policies aimed at preserving heritage resources are consistent with the City's 'Six Pillars' Strategic Plan that forms the underlying foundation of this Plan, in particular Pillar Three: 'Protecting Our Environment, Enhancing Our Community' and Pillar Five: 'Community Lifestyle and Participation.'" The objectives are as follows (taken from Section 4.10 of the Plan).

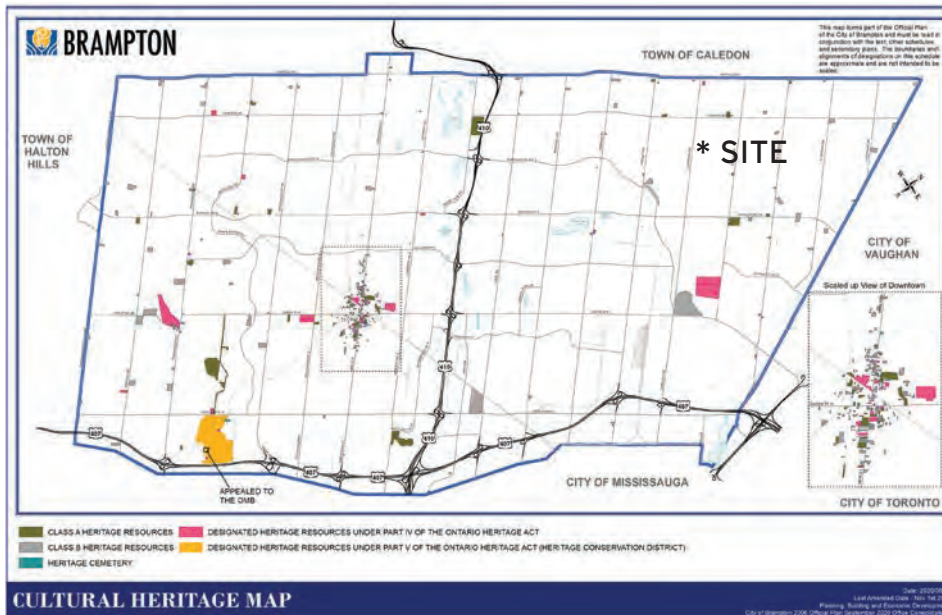
OBJECTIVES

It is the objective of the cultural heritage resource policies to:

- a) Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations;
- b) Preserve, restore and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and, preserve cultural heritage landscapes; including significant public views; and,
- c) Promote public awareness of Brampton's heritage and involve the public in heritage resource decisions affecting the municipality.

The following policies from Section 4.10.1 Built Heritage are relevant to the subject site, which is listed on the municipal register of cultural resources:

2.5 CITY OF BRAMPTON OFFICIAL PLAN



City of Brampton Official Plan - Cultural Heritage Map
Source: City of Brampton (2020). <https://www.brampton.ca/en/Business/planning-development/Documents/CD/UD/OP/Cultural%20Heritage%20Map.pdf>

4.10.1 BUILT HERITAGE - POLICIES

4.10.1.1 The City shall compile a Cultural Heritage Resources Register to include designated heritage resources as well as those listed as being of significant cultural heritage value or interest including built heritage resources, cultural heritage landscapes, heritage conservation districts, areas with cultural heritage character and heritage cemeteries.

4.10.1.3 All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the Ontario Heritage Act to help ensure effective protection and their continuing maintenance, conservation and restoration.

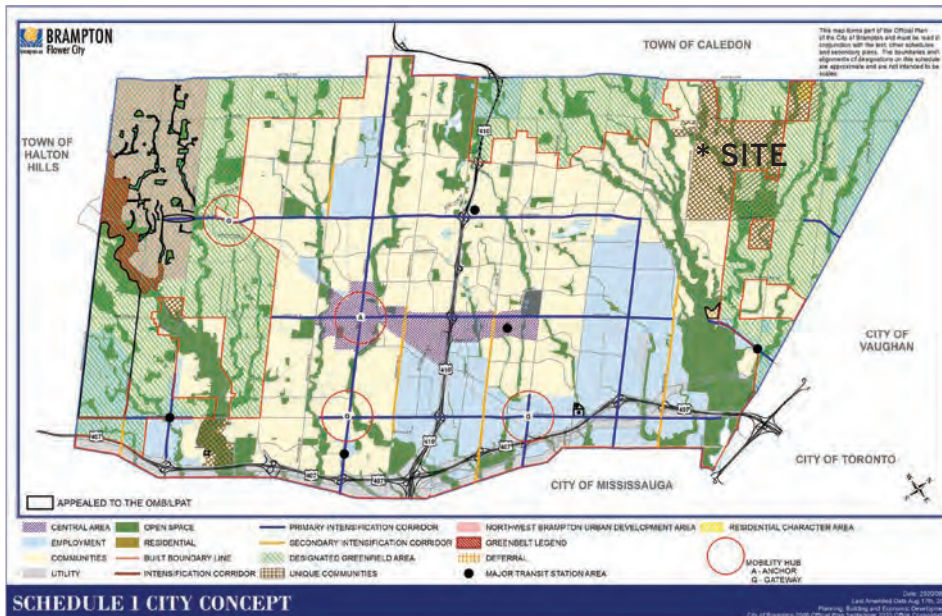
4.10.1.4 Criteria for assessing the heritage significance of cultural heritage resources shall be developed. Heritage significance refers to the aesthetic, historic, scientific, cultural, social or spiritual importance or significance of a resource for past, present or future generations. The significance of a cultural heritage resource is embodied in its heritage attributes and other character defining elements including: materials, forms, location, spatial configurations, uses and cultural associations or meanings. Assessment criteria may include one or more of the following core values:

- Aesthetic, Design or Physical Value;
- Historical or Associative Value; and/or,
- Contextual Value.

4.10.1.6 The City will give immediate consideration to the designation of any heritage resource under the Ontario Heritage Act if that resource is threatened with demolition, significant alterations or other potentially adverse impacts.

- 4.10.1.7 Designated and significant cultural heritage resources in the City are shown in the Cultural Heritage Map. The Map will be updated regularly without the need for an Official Plan amendment.
- 4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.
- 4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.
- 4.10.1.10 A Heritage Impact Assessment, prepared by qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes. Due consideration will be given to the following factors in reviewing such applications:

2.5 CITY OF BRAMPTON OFFICIAL PLAN



City of Brampton Official Plan - Schedule 1 City Concept
Source: City of Brampton Official Plan (2020). <https://www.brampton.ca/en/Business/planning-development/Documents/CD/UD/OP/Schedule%201.pdf>

- (i) The cultural heritage values of the property and the specific heritage attributes that contribute to this value as described in the register;
- (ii) The current condition and use of the building or structure and its potential for future adaptive re-use;
- (iii) The property owner's economic circumstances and ways in which financial impacts of the decision could be mitigated;
- (iv) Demonstrations of the community's interest and investment (e.g. past grants);
- (v) Assessment of the impact of loss of the building or structure on the property's cultural heritage value, as well as on the character of the area and environment; and,
- (vi) Planning and other land use considerations.

4.10.1.11 A Heritage Impact Assessment may also be required for any proposed alteration work or development activities involving or adjacent to heritage resources to ensure that there will be no adverse impacts caused to the resources and their heritage attributes. Mitigation measures shall be imposed as a condition of approval of such applications.

4.10.9 IMPLEMENTATION - POLICIES

4.10.9.1 Heritage planning is the responsibility of the Provincial Government and the municipality. A citizen advisory committee, known as the Brampton Heritage Board has been established to provide advice to the City Council on all matters pertaining to heritage.

4.10.9.2 The City shall use the power and tools provided by the enabling legislation, policies and programs, particularly the Ontario Heritage Act, the Planning Act, the Environmental Assessment Act and the Municipal Act in implementing and enforcing the policies of this section. These shall include but not be limited to the following:

- (i) The power to stop demolition and alteration of designated heritage properties and resources provided under the Ontario Heritage Act and as set out in Section 4.10.1 of this policy;
- (ii) Requiring the preparation of a Heritage Impact Assessment for development proposals and other land use planning proposals that may potentially affect a designated or significant heritage resource or Heritage Conservation District;
- (iii) Using zoning by-law provisions to protect heritage resources by regulating such matters as use, bulk, form, location and setbacks;
- (iv) Using the site plan control by-law to ensure that new development is compatible with heritage resources;
- (vii) Identifying, documenting and designating cultural heritage resources as appropriate in the secondary and block plans and including measures to protect and enhance any significant heritage resources identified as part of the approval conditions;

4.10.9.15 Impact on the significant heritage elements of designated and other heritage resources shall be avoided through the requirements of the City's sign permit application system and the heritage permit under the Ontario Heritage Act.

3.0 HISTORICAL VALUE

DATE	PERIOD	SUB-PERIOD	LIFE STYLE CHARACTERISTICS	MATERIAL CULTURE
9000	Paleo-Indians	Early Paleo-Indians (9000-8500 BC)	Hunting	Projectile Points: Fluted Points Hi-Lo and Holcombe Point Types
8000		Late Paleo-Indians (8500-7500 BC)	Small Migratory Bands	
7000	Archaic	Early Archaic (7500-6000 BC)	Hunting & Gathering Seasonal Subsistence Migratory Patterns	Introduction of Polished and Groundstone Tools
6000		Middle Archaic (6000-2500 BC)		Earliest Use of Copper
5000				
4000				
3000		Late Archaic (2500-6000 BC)		Exotic Items Linked to Trade Networks
2000				
1000 BC 0 AD 1000	Woodland	Early Woodland (1000-400 BC)	Continuation of Hunting & Gathering Complex Burial Ceremonialism	Early Pottery
		Middle Woodland (400 BC-AD 500)		Decorative Pottery Elements
		Early-Late Woodland (AD 500-1000)	Introduction of Crop Cultivation Emergence of Village Life Tribal Confederacies	Bow & Arrow Ceramic Pipes
		Late Woodland: Ontario Iroquoian (AD 1000-1600)		
1600	Post-Contact	Late Ontario Iroquoian (1600-1650)	Tribal Warfare Fur Trade	Spread of European Goods
2000		Mississaugas (Ojibwa) (1690-1800s)	Hunters & Gatherers with Fisheries Trade Along Waterways	

Chronological Summary of Indigenous History in Southern Ontario
Source: Developed from information from summaries of Ontario Archaeology (refer to Bibliography)

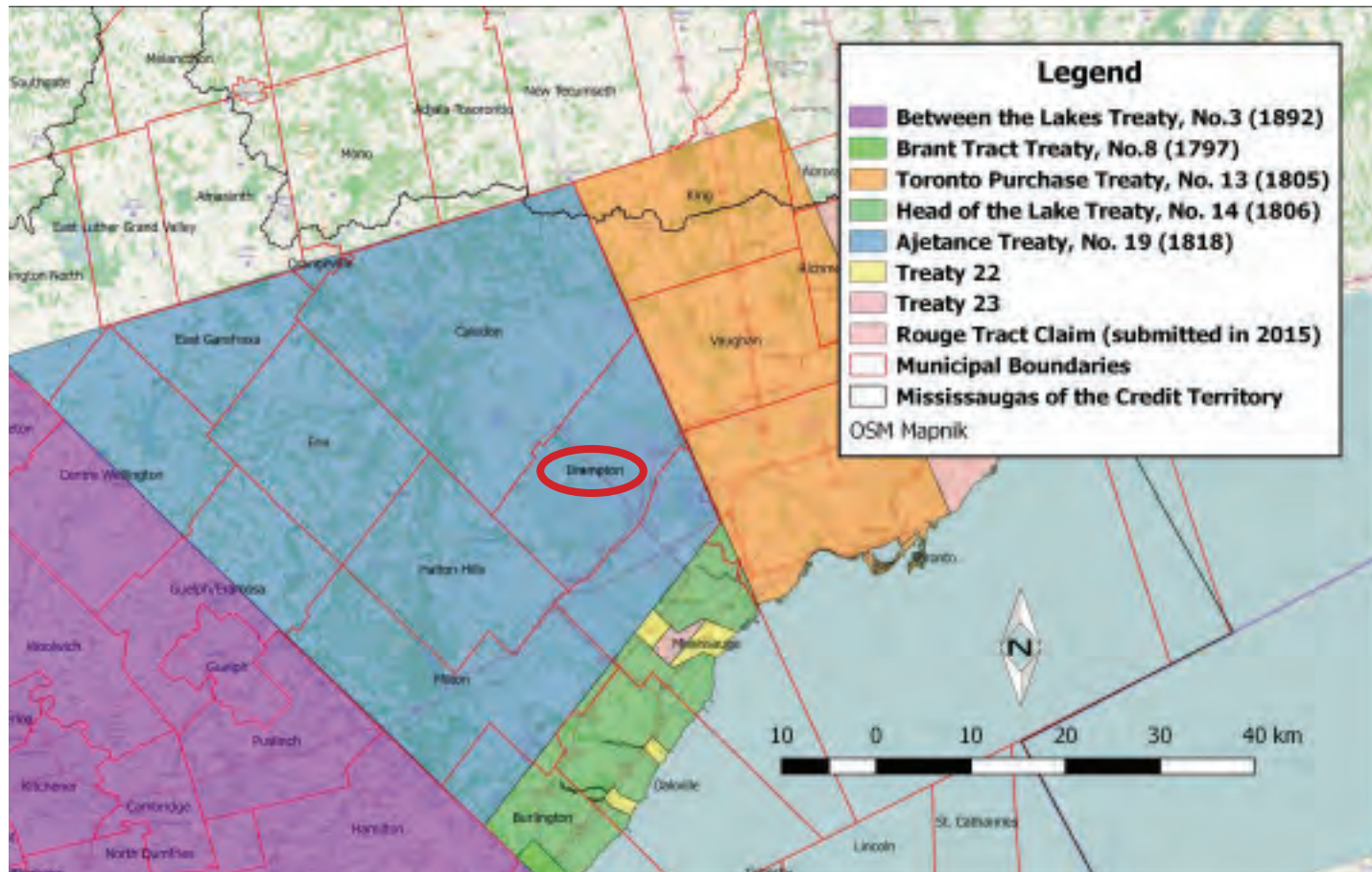
3.1 EARLY & INDIGENOUS HISTORY

Southern Ontario has a long history of human settlement that can be traced back approximately 11,000 years ago. The cultural history of the area covered by the Peel Region began at least 10,000 years ago, first occupied by diverse groups of aboriginal North Americans prior to the arrival of European settlers. This period is referred to as the Pre-Contact period and can be divided into distinct periods based on changes in lifestyles and material culture.

The earliest known inhabitants are from the Paleo-Indian Period that lasted between 9000 to 7500 BC. The melting of the glacial ice sheet that covered the region exposed a tundra-like landscape that was settled by small bands of nomadic hunters. These groups primarily relied on the hunting of large animals such as caribou, mastodon and mammoths for sustenance, traveling with the migratory animals. Their settlements would have been temporary camps, as they covered huge areas over the annual cycle of movement. They can be identified based on distinct projectile point forms: fluted points utilized by the Early Paleo-Indians, and the lanceolate Hi-Lo point type or the unfluted Holcombe of the Late Paleo-Indians. There have been three sites found within the Peel region that indicate presence of the late Paleo-Indian Hi-Lo tradition.

The Archaic Period in Southern Ontario spanned between 7500 to 1000 BC, during which the culture evolved in response to the transition of biotic communities into the mixed-coniferous and deciduous forests of today. The emergence of temperate forests led to the adoption of a hunting and gathering lifestyle that became less focused on big game hunting, and increasingly on relied on fishing and foraging for plants. Seasonal sustenance patterns emerged. During the spring and summer, larger bands would assemble along the shorelines of lakes and rivers where fish would be plentiful during spawning runs, hunting along the waterways and gathering nuts, berries, and roots in the surrounding forests. For the fall and winter, the bands broke into small family groups and moved inland where efforts were focused on hunting. Seasonal migration patterns were a continued feature of the Archaic culture, though constrained within the extents of

3.1 EARLY & INDIGENOUS HISTORY



Map depicting the boundaries of the Ajetance Treaty and several neighbouring treaties. Brampton was part of the land sold under the Ajetance Treaty.

Source: Mississaugas of the Credit First Nation, Ajetance Treaty, No. 19 (1818), Map of Municipal Boundaries Related to the Ajetance Treaty, No. 19 (1818), <http://mncfn.ca/treaty19/>

3.1 EARLY & INDIGENOUS HISTORY

smaller areas. It is believed they lived in some form of wigwam structures that were easy to erect and disassemble. Political organization into band groups was maintained, albeit ones of larger size. Archaic settlements have been discovered across the Peel Region, mostly along the Credit River and Cooksville Creek, waterways which would have likely been areas of intense activity during the warmer months.

The following period which lasted between 1000 BC and AD 1650 is referred to as the Woodland Period and can be broken down into distinct stages throughout which there were considerable changes to subsistence practices, settlements patterns, and political organization. The Early Woodland (1000 - 400 BC) and Middle Woodland (400 BC - AD 500) periods experienced little change in regards to the hunting and gathering subsistence pattern of the previous period, band level organization continued, and groups grew larger in size. Rather the transition to this period is marked by the introduction of pottery to Southern Ontario as well as changes to economic and social aspects of the culture. During the Middle Archaic period there was evidence that an extensive trade network had emerged bringing with it the earliest use of copper (sourced from northern Ontario), which continued into the Woodland period introducing increasingly exotic artifacts into the region. There was also an increase in consideration around burial practices and ceremonialism. The Early Woodland period saw the use of exotic artifacts within graves as a means of status differentiation. Burial ceremonialism became more elaborate into the Middle Woodland Period during which it reached its climax. Pottery also became more detailed and widespread over time.

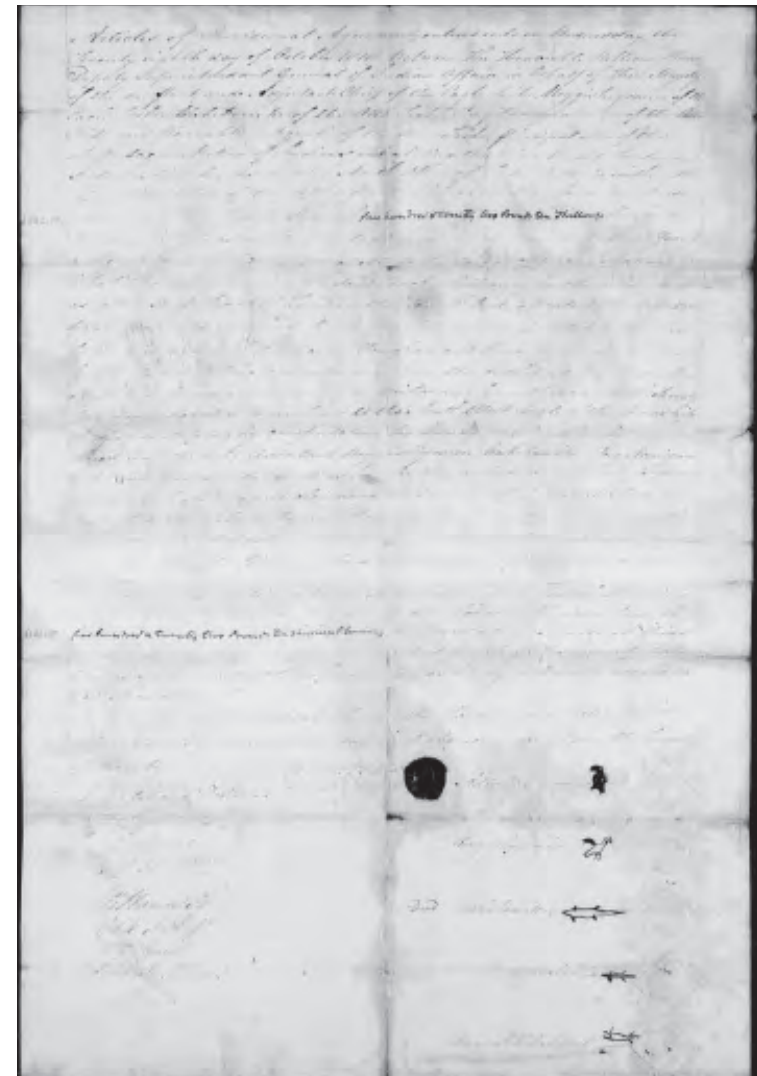
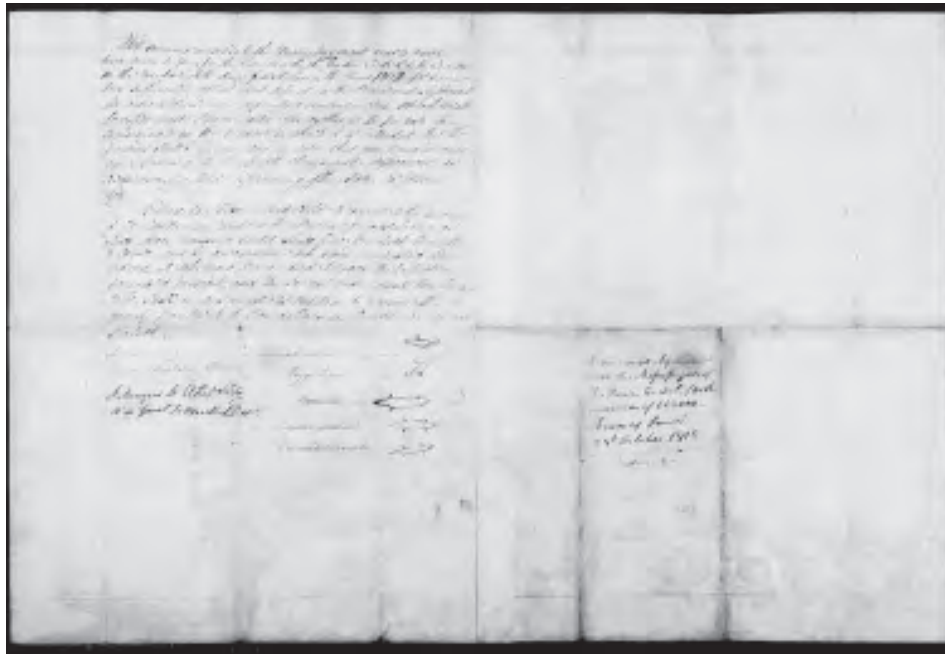
The beginning of the Late Woodland period starting in AD 500 to 1000 marked the beginning of the transition to primarily agricultural communities. This transition period is referred to as the Princess Point culture and is attributed to the introduction of corn (maize) horticulture into southern Ontario. The practice of foraging of previous periods continued alongside experimentation with early agriculture and led to the establishment of communities which were occupied for increasingly greater

periods of the year.

The Ontario Iroquoian tradition (AD 1000 to 1650) of the Late Woodland period marked the full cultural transition from migratory camps to long-term village settlements. The adoption of agriculture as the primary food source necessitated Iroquois groups to form semi-permanent sites to tend to crops. An Iroquoian village was generally made up of longhouses which were occupied by extended families, and often protected by palisade walls. Crops such as corns, beans, and squash, were grown on fields encircling the village. The village sites were occupied until the soil was depleted of nutrients, upon which the community would relocate to a fresh site a short distance away and establish a new settlement. The political organization of the Ontario Iroquoians was at a tribal level, where the tribe had formal leaders. By the Late Iroquoian period (AD 1400 to 1650) villages had grown to their largest size and distinct tribal groups emerged within the region. The Iroquoian groups in southern Ontario were split into three tribe confederacies: the Hurons, Petuns and Neutrals. This was accompanied by widespread warfare between the tribes which included large-scale raids from more distant tribes such as the Iroquoian confederacies in New York. Evidence of the presence of the cultures of the Woodland Period in the Peel Region has been well-represented, with majority of the sites concentrated along the Credit River watershed. Archaeological evidence of the Ontario Iroquoian tradition has been discovered within the village of Churchville on the Pengilley farm (7522 Creditview Road).

It was sometime between AD 1600 and 1650 that the Ontario Iroquoians would have been brought into contact with early European settlers. Visits from the French fur traders and explorers soon led to the participation of all three Ontario tribes (Hurons, Neutrals, and Petuns) in the fur trade, trading furs and extra crops such as corn for European goods. However, the fur trades also caused the warfare between the tribes to escalate, particularly that between the Hurons and the New York Iroquoians (Five Nations Confederacy), who came into conflict for areas rich in fur bearing animals and fur trade routes. By 1650 it grew into open war with the Five

3.1 EARLY & INDIGENOUS HISTORY



Ajetance Purchase Treaty, a provisional agreement with the Mississaugas of the Credit for the purchase of approximately 648,000 acres.

Source: Library and Archives Canada, https://collectionscanada.gc.ca/pam_archives/index.php?fuseaction=genitem.displayItem&lang=eng&rec_nbr=3951604

3.1 EARLY & INDIGENOUS HISTORY

Nations Iroquois controlling southern Ontario and leading to the collapse of the Huron confederacy in 1649, closely followed by that of the Petuns and Neutrals. This led to the dispersal of the Ontario Iroquoians from southern Ontario into other distant areas.

Having gained control of the area, the League of Five Nations began threatening the more distant Anishinabe such as the Ojibway of Lake Huron. A concerted effort by the Ojibway, Odawa and Potawatomi in the 1690s resulted in the Iroquois being pushed back south of Lake Ontario. The Mississaugas also participated in this conflict and once the Iroquois were forced from the region and peace had been negotiated with the Mohawk, the Mississaugas began to settle the area in approximately 1695. One large group settled in the Trent River valley, along Lake Ontario and the St. Lawrence to Brockville. A second group settled in the area between Toronto and Lake Erie.

The Mississaugas of the Credit, members of the Ojibway (Anishinabe) Nation, originally hailed from further north and relied primarily on a hunter-gatherer subsistence strategy supplemented with agriculture, in contrast to the Ontario Iroquoians. They settled near the Credit River, utilizing the waterway for fishing, transportation and trade, and hunting and building shelters along the shores. Their lifestyles and society were greatly impacted by the seasons. During the spring and summer they would move to their fisheries (semi-permanent villages along the river) where they also participated in agriculture with the cultivation of small gardens on the river flats, breaking up into smaller family groups for the winter to hunt and fish. In the early spring they would relocate to maple sugar grounds for the harvest, before recongregating again at the fisheries. In the early 1700s, the Mississaugas participated in fur trade with the French who established trade posts along on the west end of Lake Ontario. In fact, the Credit River got its name partly because of the trading that took place at the mouth of the river, where the river became acted as a marketplace.

In 1818, the Mississaugas of the Credit sold approximately 648,000 acres

of land to the Crown. By this point the Mississaugas were under increasing pressure from the ever increasing number of settlers and their fisheries. They were creating a significant negative impact on the traditional economy of the Mississaugas which in turn left their people impoverished. The treaty was called the "Ajetance Purchase Treaty No. 19" named after the Chief of the Mississaugas of the Credit. The sale of the land was negotiated from October 27-29, 1818, and the final agreed upon amount was the annual exchange of goods in the amount of £522.10. Preceding the sale of the Mississaugas lands was first the sale of the lands to the immediate south in the "Head of the Lake Treaty, No.14" circa 1806, during which the Mississaugas sold 74,000 acres of land from the north shore of Lake Ontario up to present-day Eglinton Drive to the Crown. They retained only 1 mile on either side of the Credit River which became the Credit Indian Reserve, but this land was eventually surrendered in 1820.

The subject property is west of Edoopikaag-ziibi, the Anishinaabemowin word for the Etobicoke Creek. Indigenous peoples canoed the Etobicoke Creek to travel between Lake Ontario and Georgian Bay.

3.2 PEEL COUNTY

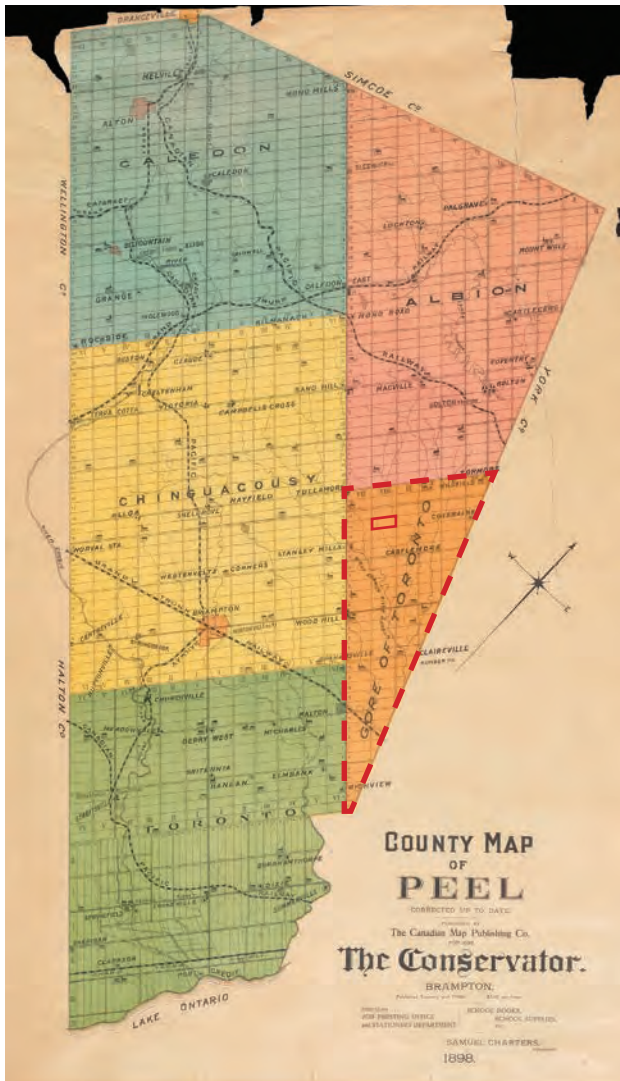


Tremaine's Map of the County of Halton, Canada West, Tremaine, George R. 1858
Source: Halton Information Network (2022)



Map of Township of Toronto Gore, Historical Atlas of Peel County by Walker & Miles, 1877
Source: McGill University Library, The Canadian County Digital Atlas Project, <https://digital.library.mcgill.ca/CountyAtlas/Images/Maps/TownshipMaps/pee-m-torontoGore.jpg>

3.3 CITY OF BRAMPTON



1898 Map of Peel County
Source: Region of Peel Archives,
Region of Peel Archives Map
and Plan Collection, [https://
peelarchivesblog.com/about-peel/](https://peelarchivesblog.com/about-peel/)

Peel County, initially celebrated for its lush forests of white oaks and towering pines, takes its name from the English statesman, Sir Robert Peel. The county's inception dates back to 1852 when it was established by the Legislative Assembly of the Province of Canada, forming part of the United Counties of York, Peel, and Ontario. Peel County was initially comprised of the Townships of Toronto, Chinguacousy, Toronto Gore, Albion, and Caledon.

In 1805, the British negotiated with the Mississaugas to acquire their land stretching from Burlington Bay to Etobicoke Creek. Following the Toronto Purchase, the Mississaugas of the Credit ceded another land parcel to the British. On August 2, 1805, a treaty, known as Treaty 13A, was inked, transferring 70,784 acres to the British. This region, bounded by the 1787 Toronto Purchase to the east and the Brant Tract to the west, was mapped out in 1806 as the Toronto Township or the "Old Survey" and subsequently settled.

Later, additional treaties were signed with the British Crown's acquisition of Mississauga lands. The 1818 Treaty 19, known as the "Second Purchase," resulted in the surrender of over 600,000 acres, forming a large part of today's Region of Peel. This region was developed in 1819 and labeled the "New Survey," which was sectioned into townships. By 1820, the Mississaugas, under treaties 22 and 23 (the "Credit Treaties"), relinquished most of the Credit Indian Reserve lands preserved in 1805 and relocated near Brantford by 1847.

Originally a farming community, Peel County transitioned as settlements like Port Credit, Streetsville, and Malton emerged. The introduction of mills and rail connections to places like Guelph and Barrie fostered growth and transitioned the economy from agrarian to industrial.

In 1851, the Legislative Assembly separated the County of York, creating "Peel" and "Ontario". They, alongside York, formed the United Counties of York, Ontario, and Peel. By 1854, Ontario County became independent, and in 1867, after deliberation, Peel officially separated from York. This structure persisted until 1973 when the County of Peel transitioned to the Regional Municipality of Peel, which still exists today.

3.3 CITY OF BRAMPTON



Brampton Grand Trunk Railway in 1890s
Source: Archives of Ontario, <https://www.trha.ca/trha/history/stations/brampton-station-grand-trunk-railway/>



Claireville Spring Fair Early 1900s
Source: George Tavender, "From This Year Hence: A History of the Township of Toronto Gore" (1983), 18.

In the early 1800s the area now known as the City of Brampton was still a wilderness consisting of low-lying swamps and thick forests. While other parts of Ontario were being settled by Europeans who arrived from the early 1700s onwards, Brampton remained part of the Mississaugas of the Credit territory. The valleys surrounding the upper parts of the Humber and Credit River had primarily been used by the Mississaugas as seasonal hunting and fishing grounds. In late October 1818, the Crown purchased the land upon which Brampton was established from the Mississaugas, and with the purchase the new townships of the County of Peel were created.

Historically, the Peel County consisted of five townships named Caledon, Albion, Chinguacousy, Toronto Gore and Toronto. The Peel County encompassed the same area of land that is now the Region of Peel, which today consists of the three municipalities Mississauga, Brampton, and Caledon. The subject property lies within the area that was historically the Toronto Gore Township and would have been part of the 1818 land purchase. The name of the township was given to it most likely due to the unusual triangular wedge shape of the boundaries.

With the New Survey, the first survey for Toronto Gore was completed in 1819, dividing up the land into 200 acres lots. Settlers began to arrive in 1820 soon after its completion. Archibald McVean and his family are believed to be the first settlers of the Toronto Gore. They arrived in 1819, travelling north from Lake Ontario via the Old Indian trail which was the only trail known to exist at the time into the township. The Toronto Gore was slow to be settled due to a variety of factors such as its land being comparatively expensive to that of neighbouring townships where land was often free, as well as the slow speed at which roads into it were built. While the heavy clay soils were ideal for farming and what attracted settlers to develop them, this same quality made the construction of roads a challenging task.

for farming and what attracted settlers to develop them, this same quality made the construction of roads a challenging task. This changed with the

3.3 CITY OF BRAMPTON

construction of the first road, the Gore Road in 1822, and soon after Sixth Line, and Indian Line. Despite the slow start, from 1825 to 1840 settlers began to pour in and purchase up the land. Toronto Gore was joined with Chinguacousy until 1831, when it separated to form its own municipal government. By 1841, the population of the Toronto Gore Township had grown to 1145. The township was mainly settled by Irish and Scottish immigrants.

Much of the rich soiled land within the Toronto Gore was used for cultivation, with flax and wheat being significant early crops. The Humber River and its tributary creeks which flow through the township were harnessed to power the first grist mills. The first grist mill within the township was built in 1834 by Alexander McVean on Concession 8, Lot 5. Another early mill was built on the creek in the village of Stanley's Mill in 1840. While early farming efforts were mainly a means of self-sufficiency rather than a commercial practice, grain and wheat production was the primary agricultural industry in the area from 1830 to 1880. In the 1880s, farmers' focus in the Peel County shifted to raising livestock, and its beef and dairy industry grew significantly.

In the 1877 Atlas of the County of Peel, the Toronto Gore Township was described as not having any significantly large villages. The largest village was Malton which sat on the boundary line between the Toronto Gore and Toronto townships. The Grand Trunk Railway which was built in 1865 was Brampton's first railway, and travelled through the southern corner of the Toronto Gore township, with a railway station in Malton. Other villages within the township included Grahamsville, Claireville, Woodhill, Tormore, Coleraine, Tullamore, Stanley's Mills, Wildfield, Castlemore and Ebenezer. In the 1860s, one could find small village settlements about every few miles; they generally contained a post office, a general store, a blacksmith shop, a hotel or inn, and some of them a church or schoolhouse. These villages often held agricultural fairs which served as both a social event for the community as well as a marketplace. Within the Toronto Gore, these fairs were usually held in Grahamsville, Castlemore, and Claireville. In 1882 the

first Township Council Chambers were set up in a former Grange Hall in the village of Ebenezer.

The beginning of the 20th century marked the beginning of many changes to the quiet, rural township, as more people came to settle there, and industrial machinery was developed. Following WWII, the area surrounding Malton in the southern half of the Toronto Gore township, became the centre of an expanding aeronautical industry with the construction of the Malton Airport (now Toronto Pearson International Airport).

In 1952, the Township of Toronto annexed the southern division, reducing the Toronto Gore township significantly in size. Before the annexation the population was 2,013. Afterwards it was down to 665 citizens. It grew again to 1,185 by 1966. In 1962, the Toronto Township Council set up a new council chamber on the site of the former schoolhouse at Ebenezer village, replacing the council chamber in the old location. In 1974, the City of Brampton was formed, and the Township of Toronto Gore was amalgamated into it.

The desire of the growing community for large, "dream homes," led to the creation of the Toronto-Gore Rural Estate neighbourhood. Starting in 1975, the farmland formerly belonging to the Ezard, Martyniuk and Shaw family (the subject property) was sold and the land began to be developed into residential subdivision. The creation of the subdivisions was accompanied by improvements to municipal services such as the paving of roads and a new waterline brought in from downtown Brampton.

3.4 SUBJECT SITE OWNERSHIPS

83								
LOT No. 14				8 CONCESSION N.D.				
No. of INSTRUMENT	INSTRUMENT	ITS DATE	DATE OF REGISTRY	GRANTOR	GRANTEE	QUANTITY OF LAND	CONSIDERATION OR AMOUNT OF MORTGAGE	REMARKS
	Patent	Oct 31. 1828		Crown ✓	Rev John Strachan	200 a	£ 8	
17880	B & S	3 Dec 1840	5 Dec 1840	Rev J. Strachan et ux	Thomas Burrill	200 a	200.00	
23875	B & S	7 Dec 1844	13 Jan 1845	Thomas Burrill et ux	Robert Shaw	100 E 1/2	100.15/8	
24582	M	10 Jan 1845	10 May 1845	Robert Shaw et ux	Robt Geo Turner	100 E 1/2	200.00	Pat
28963	Ass	10 Mar 1847	3 Apr 1847	Robt J Turner	J C P. Easton	2 1/2	132.00	
34834	B & L	12 July 1849	16 July 1849	James C. P. Easton	George Wightman	2 1/2	105.00	
36804	M	11 Apr 1850	12 Apr 1850	Thomas Burrill et ux	William Cawthra	10 1/2	800.00	Pat
38318	B & L	4 Oct 1850	23 Oct 1850	George Wightman	Robert Shaw	2 1/2	245.82	
47554	M	29 Jan 1853	10 Feb 1853	Thomas Burrill et ux	Edw H Rutherford	10 1/2	375.14/10	Pat
47680	B & L	11 Feb 1853	16 Feb 1853	Thomas Burrill et ux	William Cawthra	10 1/2	800.00	
47771	O M	16 Feb 1853	21 Feb 1853	Ed H Rutherford	Thomas Burrill	10 1/2	475.54	Pat
47852	M	23 Feb 1853	24 Feb 1853	Robert Shaw et ux	William Cawthra	all	1000.00	
47853	B & L	23 Feb 1853	24 Feb 1853	William Cawthra et ux	Robert Shaw	10 1/2	1000.00	
452	B & L	2 Mar 1854	18 Mar 1854	Robert Shaw et ux	James Shaw	10 1/2	600.00	
8891	Ind	16 Feb 1861	24 Feb 1861	Robert Shaw et al	Wm Cawthra	M	723.00	
12075	Release	20 Feb 1864	23 Feb 1864	William Cawthra	Robert Shaw	N 1/2 of E 1/2	54	
12076	B & L	12 Feb 1864	23 Feb 1864	Robert Shaw et ux	Samuel Shaw	N W 1/2 of E 1/2	1200 \$	
12077	M	12 Feb 1864	23 Feb 1864	Samuel Shaw et ux	Francis Jackson	N W 1/2 of E 1/2	1200 \$	

First Owners of Concession 8 Lot 14, Toronto Gore N.D., Peel County Land Registry

Source: Peel County Land Registry, Abstract/Parcel Register Book for Toronto Gore: Concession 8; North Dundas Street; Road

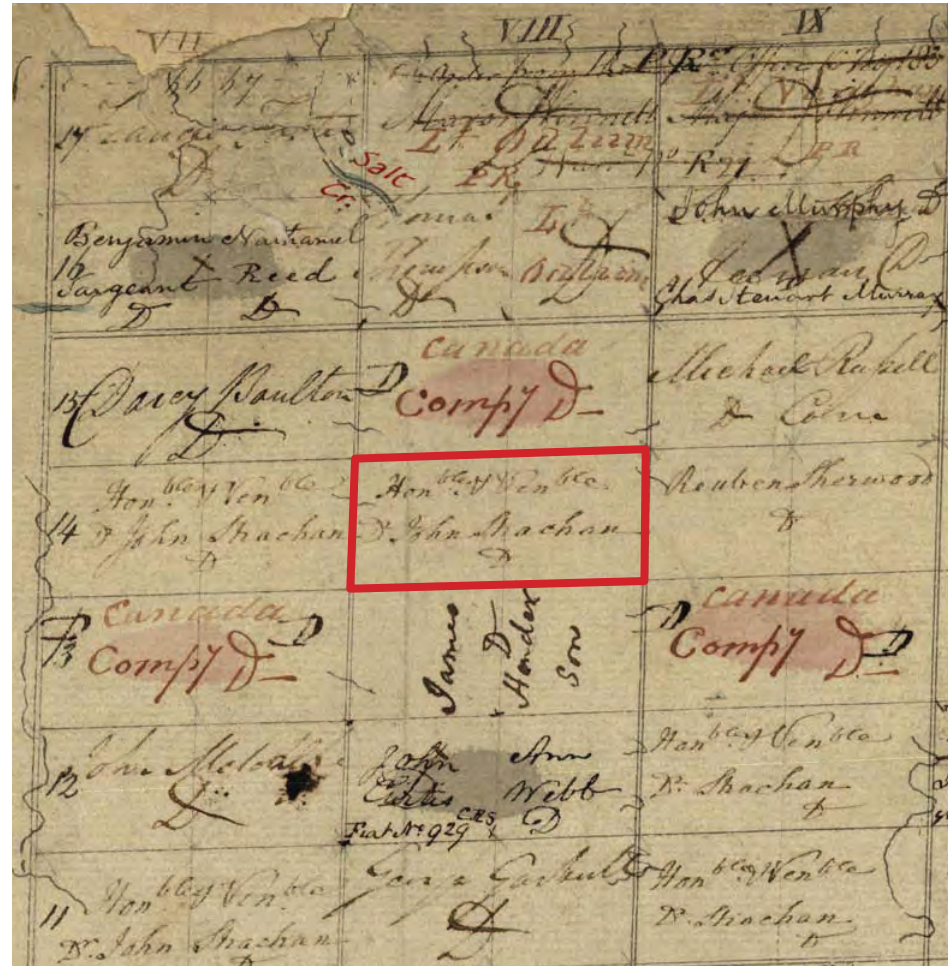
3.4 SUBJECT SITE OWNERSHIPS

Historically, the subject property lies on what was Lot 14, Concession 8 in the Township of Toronto Gore North Division (N.D.) of the Peel County. Through research at the Peel Land Registry Office, the Region of Peel Archives, and information provided by Brampton's Heritage Services a chain of title was able to be developed.

REVERAND JOHN STRACHAN (1828-1840)

The earliest recorded ownership of the property Lot 14, Concession 8 is to Reverend John Strachan. The entire 200 acre lot was granted to him in 1828 as a Crown Patent from the government. Rev. John Strachan was an important religious leader in Upper Canada and became the first Anglican Bishop of Toronto in 1839, in addition to founding Trinity College at the University of Toronto. This land was issued to him as part of the Clergy Reserves, which were introduced with the 1791 Constitutional Act of Canada, setting aside one-seventh of the Crown lands in Upper and Lower Canada for the clergy of the Church of England. This was a means of generating an income for the Church through the leasing of land to settlers. On this note, Rev. John Strachan himself never lived on the property, and instead would have rented it out to one of the early settlers of the Toronto Gore. He held several other lots within the township, as can be determined from the 1828 early survey map.

3.4 SUBJECT SITE OWNERSHIPS



1828 Early Survey Map of Gore of Toronto Township.

The map shows the names of the original patent holders. Concession 8, Lot 14 where subject property is located is outlined.

Source: Archives of Ontario [I0051348] Accessed from http://ao.minisisinc.com/FS_IMAGES/I0051348.jpg

3.4 SUBJECT SITE OWNERSHIPS

THOMAS BURRELL (1840-1853)

Rev. John Strachan retained the property for 12 years before selling it in its entirety in 1840 to Thomas Burrell for £200. Thomas Burrell was born in Horncastle, England in 1782 and immigrated to Upper Canada in either 1814 or 1819. He and his family first settled on a farm in York (present-day Toronto), later moving to the Peel County in 1824 and subsequently settling on a piece of land near Sixth Line and Castlemore Drive that sat on the border between the Chinguacousy and Toronto Gore townships. On this land a small settlement grew that later became the village of Stanley's Mill. He was known throughout the area as "Squire Burrell, of the Hollow," a nickname likely given to him due to his appointment as the Justice of Peace for the district.

Burrell is described in the Perkins Bull family fond to have been a prosperous man, and with his wealth had purchased many plots of land throughout the area. No record has been found of Thomas Burrell having ever lived on the subject property at Lot 14, Concession 8 in the Toronto Gore, so it was likely one of the many lots he owned and leased to other settlers. Four years after purchasing the lot, Burrell sold the east half of Lot 14, an area of 100 acres, to Robert Shaw in 1844 for £100. In 1853 he sold the western half to William Cawthra for £800, who resold it two weeks later to Robert Shaw for £1000. The property however had been mortgaged to Cawthra since 1850.

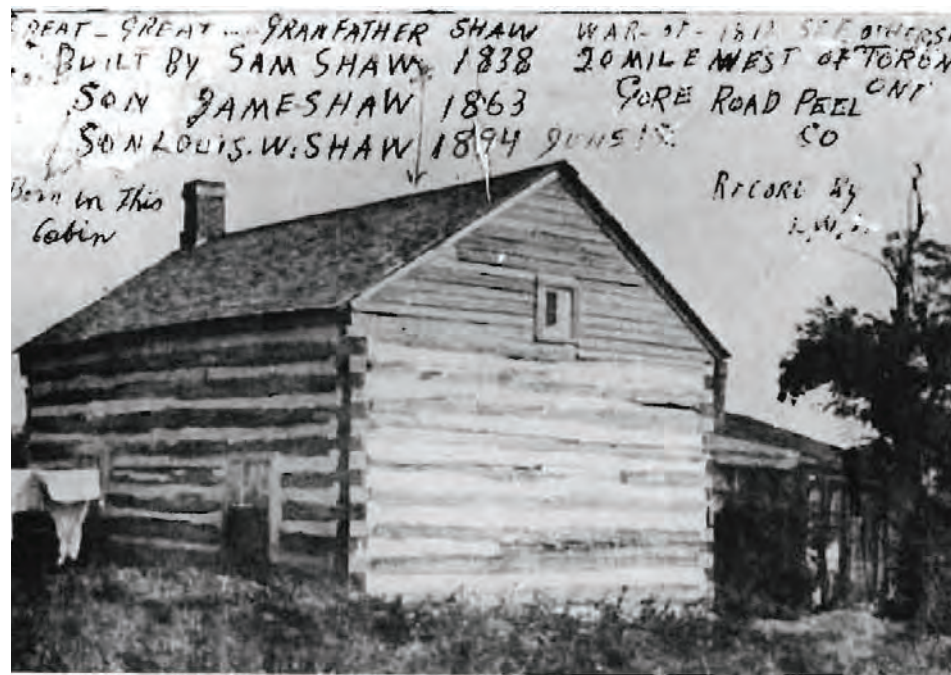
3.4 SUBJECT SITE OWNERSHIPS SHAW FAMILY (1853-1977)



Photograph of Eliza Shaw, daughter of Robert Shaw
Source: George Tavender, "From This Year Hence: A History of the Township of Toronto Gore" (1983), 181.



Photograph of Samuel Shaw, son of Robert Shaw
Source: George Tavender, "From This Year Hence: A History of the Township of Toronto Gore" (1983), 181.



The Original Shaw Log Cabin; Built in 1838.
Source: George Tavender, "From This Year Hence: A History of the Township of Toronto Gore" (1983), 180.

3.4 SUBJECT SITE OWNERSHIPS

SHAW FAMILY (1853-1977)



Photograph of Robert Shaw, in his later years.
Source: John Wilson, 2019, Ancestry.ca.

ROBERT SHAW (1844-1864)

By 1853, both the east and west half of the property was in the possession of Robert Shaw. The patriarch of the Shaw family, he was among the stream of pioneer settlers from Ireland who immigrated to the Peel County after the first township surveys were completed. Robert Shaw was born in the County of Sligo, Ireland in 1804, and both he and his wife Alice Lockhart left their native country in 1827 in search of opportunity in North America. They first settled in the United States in New York, where their son James was born in 1828. Three years later, they left the USA for Canada and settled in the Township of Toronto Gore in 1830. Various sources including the Perkins Bull family fond and the Castlemore Women's Institute Tweedsmuir, have noted that Robert Shaw and his family were settled on the farm on Lot 14, Concession 8 since their arrival in 1830. This suggests that he was renting the land from both Rev. Strachan and Thomas Burrell, before purchasing the east half in 1844 and the western half in 1853.

In the 1851 Census, Robert Shaw and his family are listed as living in a 1-storey log home. The household in 1851 consisted of Robert, his wife Alice, and their children James, age 25; Samuel, 20; Margaret, 20; Mary, 17; and Thomas, 5. All children besides James were born in Canada on the family farm on Lot 14, Concession 8. There is a surviving photo (opposite page) of the Shaw family log home on which it is noted that it was built in 1838 by Samuel Shaw, but rather it was most likely built by Robert Shaw as his son would have been age seven at the time. Robert Shaw's house is said to have burned down twice. It had probably been rebuilt as another log cabin at least once, as in the 1861 Census, Robert is still recorded to be living in a 1-storey log home.

3.4 SUBJECT SITE OWNERSHIPS
SHAW FAMILY (1853-1977)



Photograph of Tullamore L.O.L. No. 61 of which Robert Shaw was likely a member.
Source: William Perkins Bull, "From Boyne to Brampton," (1936), 304.
Accessed from Brampton Public Library.

3.4 SUBJECT SITE OWNERSHIPS

SHAW FAMILY (1853-1977)

In his later years, he took an active role in the local municipal government that was the Township Council, holding several offices. In 1858 he was elected as the Pathmaster, overseeing the maintenance of the roads running between lots 11 to 14 in the Northern Division of the Township of Toronto Gore, and the sidelines of lots 10 and 11 in the Southern Division. He served as the Tax Collector in 1859, 1860, 1864, and 1867 to 1870. He held the office of Township Assessor in 1860, and from 1862 to 1864. In 1858, his house was used to host activities related to the township election.

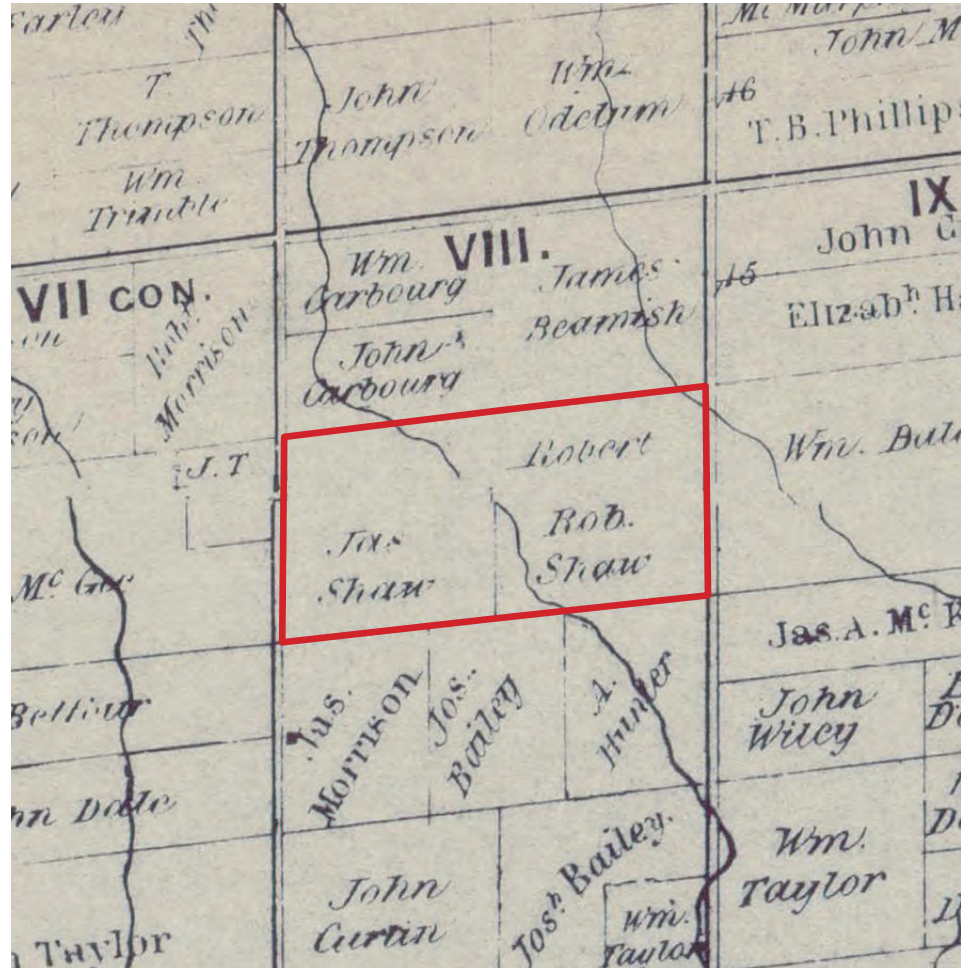
Robert Shaw is listed in 1851 Census for Toronto Gore as being of Primitive Methodist faith. Within the region of Brampton, Primitive Methodism had developed a widespread presence in the early settler community. Robert took a leadership role within his religious community. He was one of the first trustees of the Malton Primitive Methodist church, which was built in 1854, and held an official role on the Etobicoke Primitive Methodist Circuit. Robert Shaw also belonged to the Orange Order, a Protestant fraternal organization concerned with defending the values of Protestant Ascendancy. There were several local Loyal Orange Lodges (L.O.L.) within the Peel County during his time, where members regularly held meetings, and celebrated Orangeman's Day on July 12th with a marching parade through the villages. In the Perkins Bull Shaw family files, a Robert Shaw (likely this Robert) is recorded as being at 63, the oldest member of L.O.L. #61 in the nearby village of Tullamore.

Robert Shaw farmed and lived on the property until his death in 1881. He passed on the farming duties to his sons by 1861, when his occupation is recorded in the 1861 Census as "Gentleman."

3.4 SUBJECT SITE OWNERSHIPS SHAW FAMILY (1853-1977)



Historical Map of County of Peel by Tremain, 1859.
Source: Tremain (1859). Accessed from Ontario Historical County Map Project,
University of Toronto Map and Data Library.



Closeup of 1859 Map of County of Peel by Tremain. Concession 8, Lot 14 where subject property is located is outlined.

3.4 SUBJECT SITE OWNERSHIPS SHAW FAMILY (1853-1977)

JAMES SHAW (1854-1880)

Robert Shaw divided the 200 acre property in half between his two eldest sons James Shaw and Samuel Shaw. In 1854, James bought the west half of Lot 14, consisting of 100 acres, from his father for £600. In 1864, Samuel purchased the east half from Robert for \$1200.

In the 1861 Census, three households are listed as living on the property. The first household is that of James Shaw, age 35 at the time, and working as a farmer. The household consisted of his wife Jane Shaw, whom he married in 1852 and was a native of Ireland, and their eldest four children Robert Andrew, age 8; Charlotte, 6; Alice, 4; and Mary, 1. The second household is that of his brother Samuel Shaw, age 29 at the time, and a farmer. His household at the time consisted of his wife Ann Hunter, a native of Ireland, and their eldest two children Robert, age 4; and Margaret, 2. The third household was that of Robert Shaw Sr, living with his wife Alice and two youngest children Mary and Thomas. All three households are listed as residing in a 1-storey log home with one family in each house. As all three Shaw households were living in 1861 in log homes on the property, the current brick house would not have been built until after 1861.

There is some disagreement as to which half of Lot 14, Concession 8, the current house at 12 Rosegarden Drive is situated. In the Heritage Listing Report prepared in Fall 2016 for the property, the Brampton Heritage Board states that the current house stands on the east half which Samuel acquired. Through investigation of maps, aerial photography, and written accounts of the history of the property, the author has formed the conclusion that the current house actually stands on the west half of the lot, which James Shaw owned.

3.4 SUBJECT SITE OWNERSHIPS SHAW FAMILY (1853-1977)

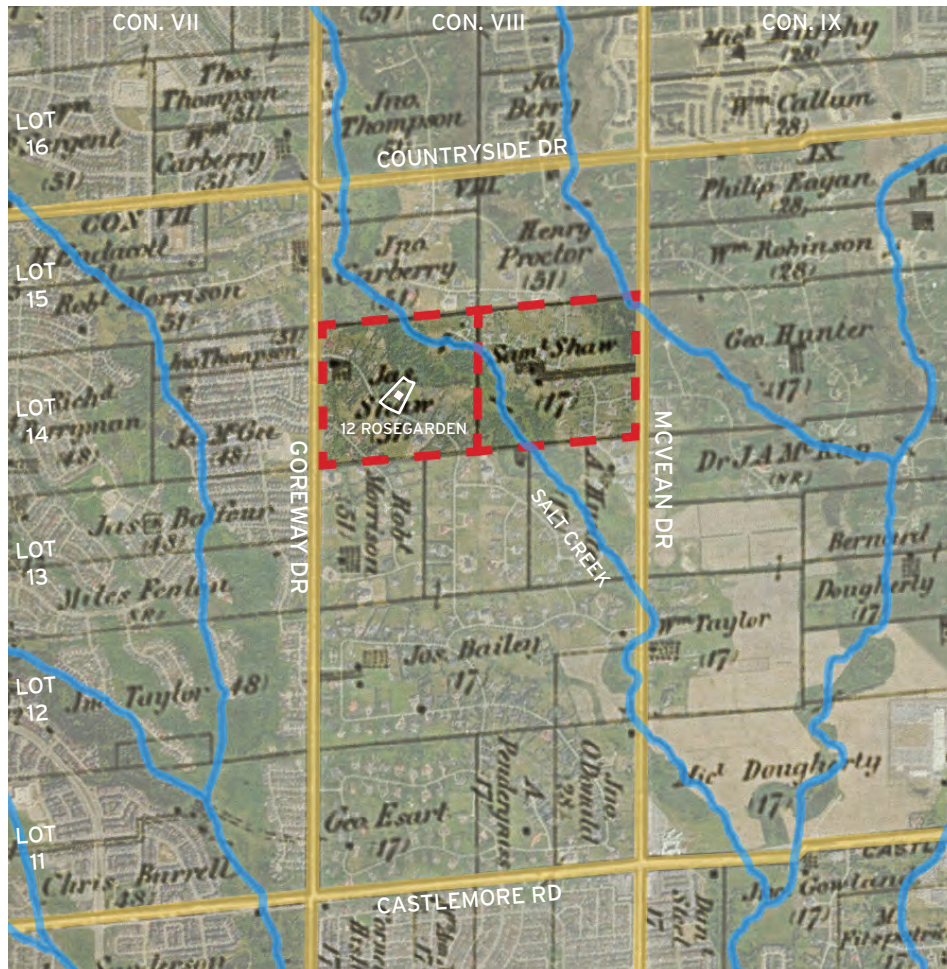
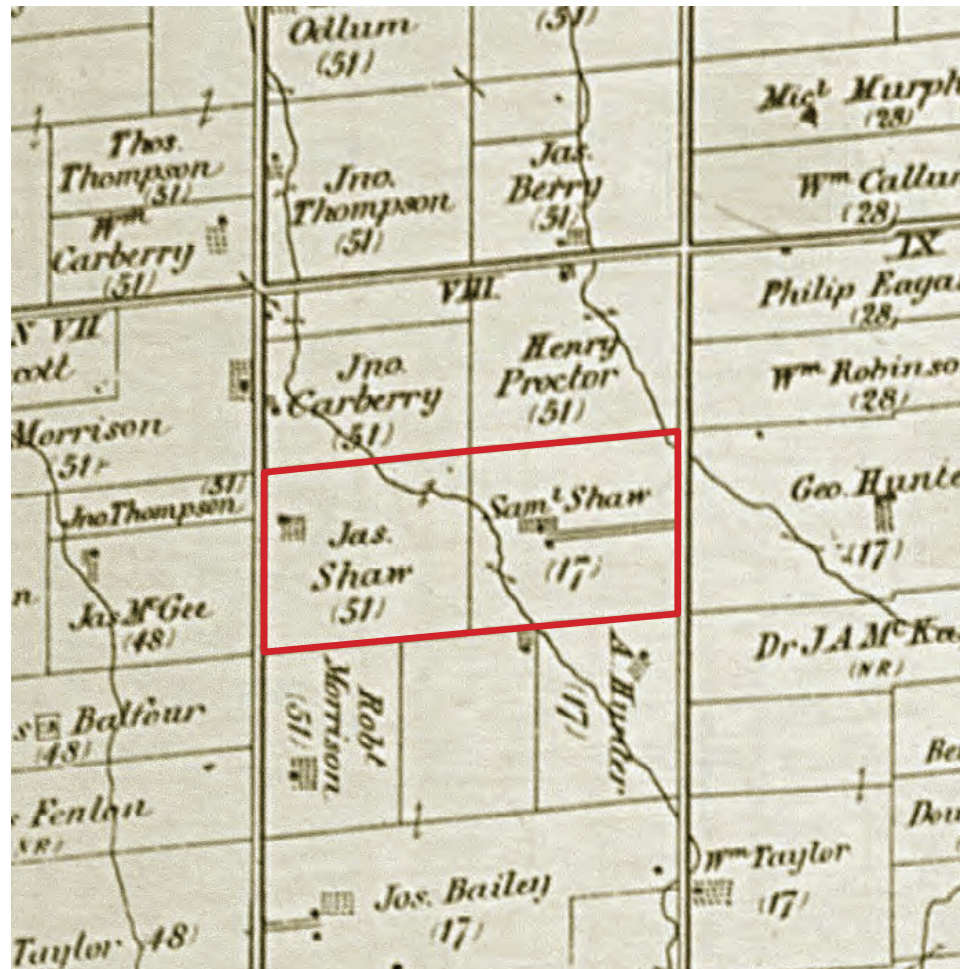


Diagram of the present-day house at 12 Rosegarden Drive, in relationship to the houses that were on the property (Lot 14, Con. 8) in 1877. Diagram shows the property in relationship to major features on the site; major arterial roads (yellow) and the creek (blue). Source: Diagram by ATA (2021). Base aerial photograph from Google Maps (2021); and overtop, 1877 Map of Township of Toronto Gore by Walker & Miles.



Closeup of 1877 Map of Township of Toronto Gore by Walker & Miles. Concession 8, Lot 14 where subject property is located is outlined. Robert Shaw divided the 200 acre lot in half between his two sons James Shaw and Samuel Shaw. Source: McGill University Library, The Canadian County Digital Atlas Project

3.4 SUBJECT SITE OWNERSHIPS SHAW FAMILY (1853-1977)

The 1877 map of Toronto Gore from the Walker & Miles County of Peel Atlas, plots James Shaw on the west half of Lot 14, and Samuel Shaw on the east half. On James's half of the property there is a house and orchard visible in the approximate location of the subject property. On Samuel's east half, there are two dwellings visible as well as an orchard and long lane connecting the dwellings to the main road. However, these two dwellings do not match the location of the current house, as they are further east. The major features on the map in relationship to the house also correspond in position with their present-day location. The dwelling on James's half of the 1877 map is plotted west of Salt Creek, as is the present-day home. James's dwelling is depicted as fronting the road running between Concessions 7 and 8, which is now present-day Goreway Drive, while Samuel's dwelling connects with a lane to the road between Concessions 8 and 9, present-day McVean Drive.

Based on a discussion with a former resident who grew up in the house, the building on the 1877 map is an earlier house that existed on the property. According to this person, the original portion of the present-day house was built in the late 1880s, south of the earlier house and set further back from Goreway Drive. This is later than the estimated construction date - between 1861 and 1877 - provided in the Heritage Listing Report.

Matching what is indicated on the 1877 map, that the current house stands on the west half of the property, is a farm history from the Castlemore Women's Institute Tweedsmuir scrapbook written by later owners, Gladstone and Janet Shaw. In the history they refer to themselves as the owners and as occupying the farm. Gladstone Shaw was the grandson of James Shaw, thus indicating that the current house was passed down to James's descendants, and providing further evidence that the house stands on the west half of Lot 14, Concession 8. Based on this information, the owners in the chain of titles for the west half of the property were researched.

3.4 SUBJECT SITE OWNERSHIPS

SHAW FAMILY (1853-1977)



Photo of the James and Jane Shaw and their children.

Front row, left to right: Jane Shaw, Marjory (Mrs. John Julian), Sarah (Mrs. Hugh McCort), James Shaw (1827-1894).

Back row, left to right: Mary Rebecca (Mrs. J. Nixon), Robert Andrew Shaw, Eliza Jane (Mrs. John Lindsay), Alice Jane (Mrs. Walker Wiley).

Source: Region of Peel Archives, Region of Peel Archives Photograph Collection (date unknown)

3.4 SUBJECT SITE OWNERSHIPS

SHAW FAMILY (1853-1977)

James Shaw farmed and lived on the west half of the property until his death in 1894. He and his wife Jane had one son and 6 daughters, all born on the farm. Robert Andrew stayed on the farm, while his five sisters - Alice, Eliza, Mary, Sarah, and Marjory - married local men and settled on nearby farms in the townships within Peel County or Toronto.

Like his father Robert, James was involved in the both the local political and religious sphere. Within the Toronto Gore's Township Council he held the offices of Pathmaster and Collector of Taxes. Also of Primitive Methodist faith, he held several positions in the same religious associations that his father had been involved in. He was on the camp meeting committee of the Etobicoke Primitive Methodist Circuit, a trustee of the Providence Primitive Methodist Church, and a class leader of the Malton Primitive Methodist Church. James was also a member of the Orange Order, and is recorded in Perkin Bull's book on the Orangemen as belonging to L.O.L. #148, in the nearby village of Castlemore, where he served as master of the lodge at one point in time.

3.4 SUBJECT SITE OWNERSHIPS
SHAW FAMILY (1853-1977)



Photograph of Robert Andrew Shaw's Son Everard.
Source: John Wilson, 2019, Ancestry.ca.



Photograph of Robert Andrew Shaw.
Source: John Wilson, 2019, Ancestry.ca.

3.4 SUBJECT SITE OWNERSHIPS SHAW FAMILY (1853-1977)

ROBERT A. SHAW (1880-1911)

In 1880, Robert Andrew Shaw purchased 50 acres of the southwestern quarter of Lot 14, from his father James for \$5. He worked as farmer on the land just as his father and grandfather had before him. In the year 1882, Robert A. married Anne Lougheed (of the Township of Albion) with whom he had two children Everard and Edith, before her early passing in 1890. Shortly after his first wife's death, the 1891 Census shows Robert A. as a widower and living with his two children in the same household as his parents James and Jane Shaw. The household also included Robert Andrew's two youngest sisters Sarah and Marjorie who were still living at home at the time, and two farm labourers - John Bradner and Thomas Caswell - who are also listed as employed by James. By the 1891 Census, James Shaw and his household are listed as living in a 1-1/2 storey brick house, confirming in writing the existence of the current Gothic Revival building on the subject property. On December 31st, 1891, Robert A. purchased the 50 acres of the northwestern lot from his father for \$4000, at which point he was in possession of the entire west half of the property. When he came into possession of the farm, it had grown to 133 acres as 33 acres of Lot 13, Concession 8 just south of the property had been purchased by the Shaws in previous years from their neighbour. In 1892, Robert A. remarried to Jemima Hewson (born in nearby Tullamore) and they had two sons, Wilfred Gladstone and Melville.

Robert Andrew was involved in the introduction of alfalfa to the Peel County, which flourished on the clay soils of the Toronto Gore. The story goes that Robert A. bought samples of alfalfa seeds in 1904 during a visit to "Rennie's Seed House" in Toronto with his neighbours Thomas Thompson and William Wilson. Each man bought a sample of seeds to cover up to four acres of land. The alfalfa grew very well and quickly on the clay land, much to everyone's surprise.

3.4 SUBJECT SITE OWNERSHIPS SHAW FAMILY (1853-1977)

[1916] RENNIE'S SEED ANNUAL 51



RENNIE'S EARLY YIELDER WHITE OATS

THE GREATEST OF ALL YIELDERS. This superb variety is undoubtedly the heaviest cropping White Oat ever offered. It is practically immune from rust, is the earliest and most beautiful cropper of the heavy-growing sorts. One of the largest and most experienced Oat growers in Ontario says: "In wonderful productiveness is far beyond what the most enthusiastic farmers ever expected to realize." One of the fields after threshing and cleaning of seed the yield was 109 bushels per acre of large, plump, handsome, round, white grain, weighing 44 pounds to the measured bushel. The yield of other varieties on neighboring farms was from 25 to 50 bushels per acre, or less than one-half that of Rennie's Early Yields. Being a very deep rooter, it resists drought more easily than others. The grains are absolutely white, thick and plump, and have a very thin hull, making them most valuable as a feeding Oat. The straw is long, stout, and consequently stands up well, and does not lodge or twist. The Early Yields Oat is very remarkable for its heavy storing property, and for this reason 6 pecks (2½ bush.) is sufficient to seed an acre. Lb. 25c. by mail. Peck and bushel prices on page 53.

DODD'S WHITE OATS STANDS UP DURING THE HEAVIEST STORMS. Originated with a Scotch farmer, who selected it on account of its wonderful size. Has been thoroughly tested and approved for the North and North-West. Has yielded 4,732 lbs. of cleaned seed per acre. This is 108 bushels of 44 lbs. each, or nearly 140 bushels of 34 lbs. each. The large white grains are immense, plump and handsome. The straw is very strong, and, consequently, during the heaviest storms, stands up well, and does not lodge or twist readily. Lb. 25c. by mail. Bushel prices, see page 53.

SPELTZ OR EMMER Has given splendid good results in the North-West. For fattening cattle, poultry, horses, sheep, pigs, etc., it is claimed to be ahead of other grains. Yields well and makes excellent pasture. Sown at the rate of 50 to 60 lbs. per acre. Lb. 25c. by mail. Bushel prices, see 53.

ALFALFA OR LUCERNE CLOVER THE FARMER'S MONEY MAKER (Lucerne Clover) (MEDITERRANEAN SATIVA).—Sow with oats at the rate of 15 lbs. per acre. The first season the growth will be very light, but the next season you will probably get from 2 to 5 tons per acre, and it increases for several years producing very large yields. Can be cut three or four times in one season. Unequalled for sowing on side hills or dry soils. As Alfalfa is a warm-weather plant, do not sow until ground has become warm. May or June are best months when sown alone. Not adapted to low, wet soils. To Pasture Alfalfa.—Sow 5 lbs. Orchard Grass with 15 lbs. of Alfalfa. The Orchard Grass will protect the crown of the Alfalfa roots so that mowing will not injure it to such a great extent.

RENNIE'S XXX ALFALFA SEED Northern Growth.—Lb. 45c. by mail.

TURKISTAN ALFALFA—Claimed to yield far heavier crops than ordinary Alfalfa or Lucerne. Has withstood the severest winters—40 degrees below zero when the ground was bare. Lb. 45c. by mail.

CANADIAN VARIETATED ALFALFA—The Hardest Alfalfa Clover grown and especially recommended by the Agricultural Department at Ottawa and Guelph. A selection of northern grown Alfalfa claimed to be superior to others, both as to productive-ness and extra hardiness, surviving severe winters where other varieties killed out. The seed we offer is Canadian origin, the finest exception, the finest obtainable. Stock limited. Lb. 80c. by mail. For quantity prices, see page 53.

NITRO-CULTURE—Only one seed culture is prepared, each one containing ample bacteria to inoculate one bushel of seed, the equivalent, in the case of alfalfa, of three acres. The entire culture may be used on less than a bushel of seed without harm. The cultures are good for six months after being made. They are sent by mail with full directions for inoculating the seed. Price, \$1.50 per culture to purchasers of Alfalfa Clover.



(Treated) (Untreated)
ALFALFA CLOVER
INCREASED RETURNS BY USE OF NITRO-CULTURE

ASK FOR LEAFLET ON ALFALFA CULTURE—FREE WITH AN ORDER.

Rennie's Seed House 1916 Annual Catalogue, Alfalfa Seed Page
Source: Wm. Rennie Co. Accessed digitally via Toronto Public Library.

"Robert, that alfalfa is the worst weed that ever came into Peel County, and we brought it in. We should dig out every root."

Thomas Thompson to Robert A. Shaw. From "A History of Peel County to Mark its Centenary," 1967.

While likened to a weed at first for how well it took to the soils of the area, the introduction of the alfalfa crop to the Peel townships farms allowed for the successful development of the cattle livestock industry that the Peel County was later well-recognized for. Robert Andrew's son Everard Shaw followed his father's lead in contributing to the successful development of alfalfa in the region, serving on agricultural associations dedicated to it. Evarard was the Director of the Peel Alfalfa Growers Association in 1923, and President of the Peel Seed Growers in 1927. He was also a Holstein cattle breeder who would have likely produced alfalfa as feed for his cattle. While there is no record of the livestock Robert A. Shaw kept, it is likely that he too bred livestock for which he grew the alfalfa as feed.

Robert Andrew Shaw was involved in the local politics and was a member of the Toronto Gore Township Council, serving as Councillor from 1902 to 1907, as well as the Overseer of Highways. He also belonged to the Jasper Royal Black Preceptory a fraternal Protestant society related to the Orange Order.

1911-1928

When Robert Andrew purchased the northwestern part of the lot in 1891, part of the agreement was that he would pay an annuity of \$300 dollars to James for the remainder of his life. In his father James's will, it is stated that the annuity would continue to be paid to his wife Jane for the remainder of her life, and that she was to remain living in the house for the term of her natural life. Robert A. passed away in 1911, his cause of death listed as Pernicious Anemia. His mother Jane survived him, living in the current house until her death in 1928, upon which the house was transferred by his wife Jemima to their son W. Gladstone.

3.4 SUBJECT SITE OWNERSHIPS
SHAW FAMILY (1853-1977)



1960s Photo of the house on 12 Rosegarden Drive, taken by Gladstone/Janet Shaw.
Source: Castlemore Women's Institute Tweedsmuir. Courtesy of Peel Region Archives.



Photo of W. Gladstone Shaw from the 1960s
Source: George Tavender, "From This Year Hence: A History of the Township of Toronto Gore" (1983), 4.

3.4 SUBJECT SITE OWNERSHIPS

SHAW FAMILY (1853-1977)

WILFRED GLADSTONE SHAW (1928-1971)

Wilfred Gladstone Shaw came into possession of the of the subject property in 1928, seventeen years after his father Robert Andrew's death. Taking over the farm, he and his family lived in the current house and continued the farming tradition. In 1928, Gladstone married Janet Standing, a local school teacher, and they had two children: Ronald William who was born in 1934, and Barbara.

Throughout his life, Gladstone Shaw was an active politician in the Toronto Gore Township Council. He served as Councillor from 1952 to 1957, and in 1958 was elected as Reeve, an office which he held until 1965. During his term he oversaw the post-WW2 growth of the township, as well as establishing the new council chambers and a community hall in the Ebenezer village. He was also Chairman of the Planning Board and Committee of Adjustment between 1967 and 1974. Furthermore, he was a member of the Toronto Gore Historical Committee and assisted in the writing of a book on the history of the township as part of the 1967 Centennial Project.

3.4 SUBJECT SITE OWNERSHIPS SHAW FAMILY (1853-1977)



Plowing Match Contestant and Judges, 1916.
Source: Reuben R. Sallows (Photographer), Archives of Ontario, <http://www.archives.gov.on.ca/en/explore/online/agriculture/strength.aspx>

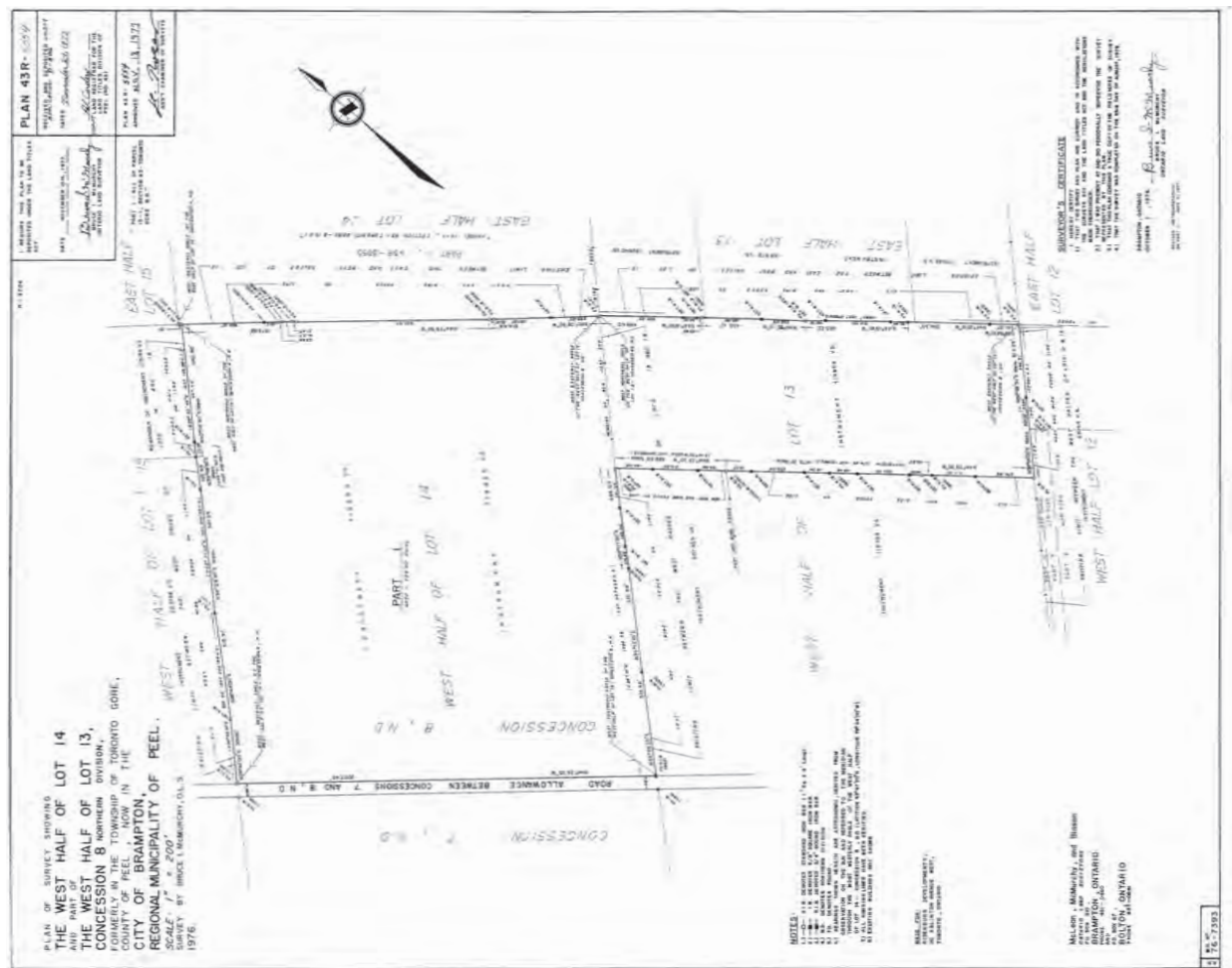


Example of a 1967 Ontario Century Farm Plaque.
Source: Geocaching "GC6WHP3: Century Farm 1967," April 11, 2016, https://www.geocaching.com/geocache/GC6WHP3_century-farm-1967.

3.4 SUBJECT SITE OWNERSHIPS

SHAW FAMILY (1853-1977)

Gladstone continued to farm his family's land on the subject property. He took an interest in farming since an early age and competed in local plowing matches as a youth. According to Tavender's "From this Year Hence," he won the 1924 Ontario Match for the over 18 class for Peel County, for which he was awarded the Hon. Samuel Charters Trophy. According to a former resident, Gladstone was a member of an association for ploughing and viewed matches up until the end of his life. It is believed that he was a dairy farmer, though he also bred sheep as an early experiment. It is noted in the Perkins Bull family fond that he had raised a pure-bred flock of sheep of the Shopshire breed, which was uncommon for the area as Peel County at the time was known for its successful dairy farms, and not many farmers kept sheep. Gladstone also owned one Clydesdale horse by the name of Barney of Mont-Airy, which he was kept from 1927 to 1935. The long line of Shaws who farmed the subject property, was officially recognized with the "Century Farm" program in 1967, led by the Peel Junior Farmer Association. Along with 106 other properties in the Peel County, plaques were mounted at the identified farms to indicate that the farm had been continuously owned by the same family (by direct descendants) for 100 years or more. Gladstone Shaw received a plaque indicating that his family had owned the land since 1853.



Plan 43R-5554, Survey of Lots 14 and 13 in Instrument #455464
Source: Peel County Land Registry (No.43)

3.4 SUBJECT SITE OWNERSHIPS SHAW FAMILY (1853-1977)

RONALD W. SHAW (1971-1977)

In 1971, Ronald W. Shaw was granted the entire west half of the subject property by his father Gladstone. Ronald worked on the family farm as well, and also primarily raised cattle. Six years later he sold all 133 acres of the farm which included the 100 acre west half of Lot 14, and the 33 acres on Lot 13 to Bonry Farms Limited for \$1,214,460. On the opposite page is the survey plan that was attached with Bonry Farms Ltd. Application for First Registration of Owner, showing the property that was transferred. The subject dwelling at 12 Rosegarden is not drawn but would have been part of the sale. With this transaction, the long line of ownership of the property by the Shaw family, officially came to an end.

SUBSEQUENT OWNERS

Sometime after the sale of the land to Bonry Farms Limited in 1977, the former farm along with other neighbouring farms would have been developed into residential subdivisions, on which the present-day Estate Homes surrounding the subject property at 12 Rosegarden Drive were built. There is no owner recorded for the subject property in the Land Registry records until November 2006, when it was purchased by Robert and Lynn Jane Cranch for \$625,000. The property was sold by the Cranches in February 2017 to the current owners.

3.5 HISTORICAL SIGNIFICANCE

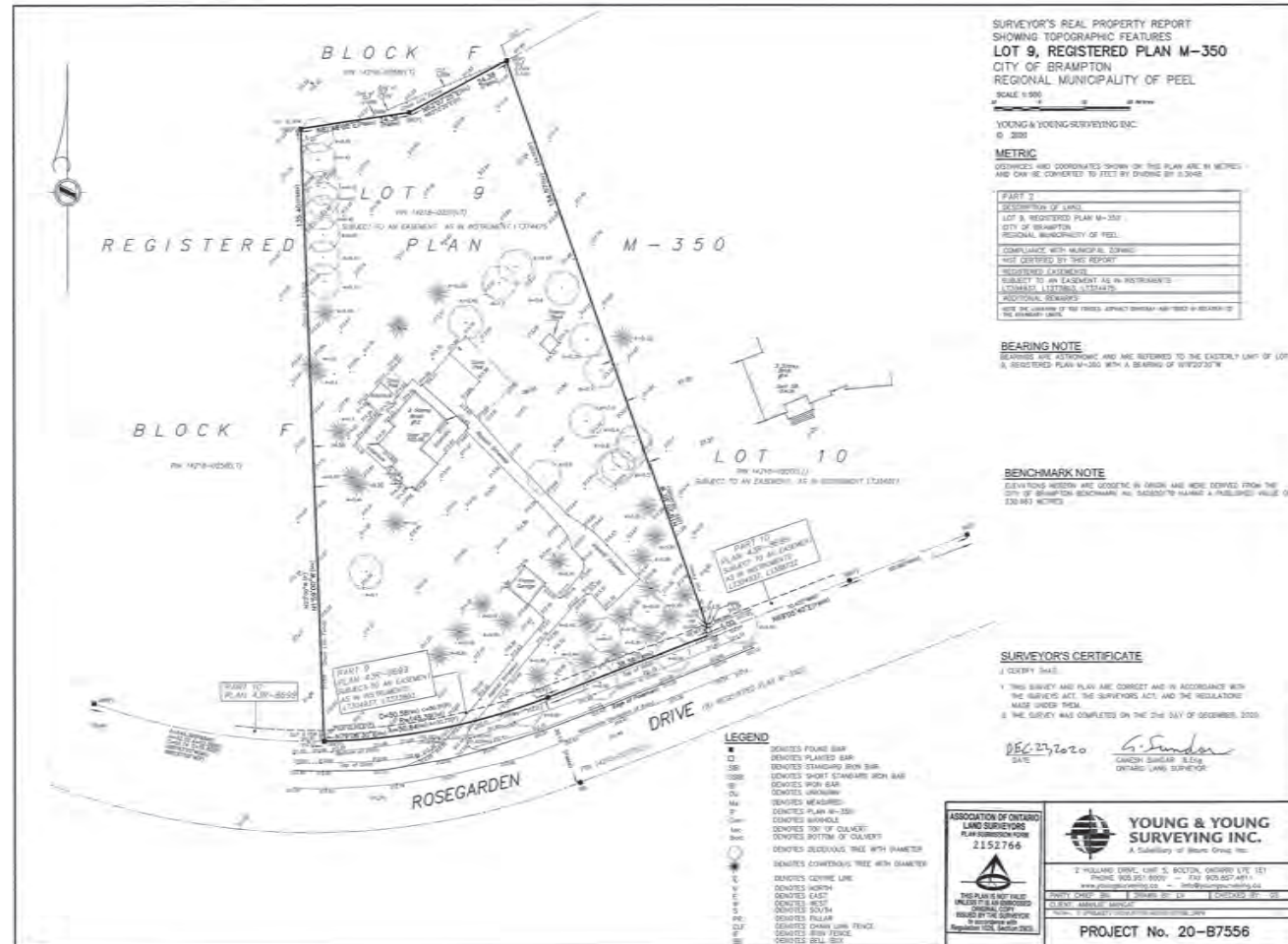
INSTRUMENT	DATE OF INSTRUMENT	QUANTITY OF LAND	GRANTOR	GRANTEE
Patent	31 Oct, 1828	200 ac.	Crown	Rev. John Strachan
Bargain & Sale	3 Dec, 1840	200 ac.	Rev. John Strachan	Thomas Burrell
Bargain & Sale	7 Dec, 1844	E 1/2 (100 ac.)	Thomas Burrell	Robert Shaw
Bargain & Sale	11 Feb, 1853	W 1/2 (100 ac.)	Thomas Burrell	William Cawthra
Bargain & Sale	23 Feb, 1853	W 1/2 (100 ac.)	William Cawthra	Robert Shaw
Bargain & Sale	2 Mar, 1854	W 1/2 (100 ac.)	Robert Shaw	James Shaw
Bargain & Sale	26 Feb, 1880	SW 1/4 (50 ac.)	James Shaw	Robert A. Shaw
Bargain & Sale Annuity Deed	31 Dec, 1890	NW 1/4 (50 ac.)	James Shaw	Robert A. Shaw
Will	5 Aug, 1893	NW 1/4 (50 ac.)	James Shaw	Jane Shaw
Grant	28 Feb, 1928	W 1/2 (100 ac.)	Jemima Shaw et al Extrs. of Robert A. Shaw	Wilfred Gladstone Shaw
Grant	22 July, 1971	W 1/2 (100 ac.)	Wilfred Gladstone Shaw & Janet Shaw	Ronald W. Shaw
Grant	4 Jan, 1977	W 1/2 (100 ac.)	Ronald W. Shaw	Bonry Farms Limited
Transfer	22 Nov, 2006	(1 ac.)	Robert Cranch & Lynn Jane Cranch	unknown
Transfer	24 Feb, 2017	(1 ac.)	Manpreet Mangat & Amanjit Kaur	Robert Cranch & Lynn Jane Cranch

Ownership of 12 Rosegarden Dr (Part of West 1/2 of Lot 14, Concession 8 Toronto Gore N.D.)
Source: Developed from information gathered from the Peel Land Registry

3.5 HISTORICAL SIGNIFICANCE

The subject property was initially purchased by the British Government from the Mississauga Peoples in the year 1818. The first settlers on the land were the Shaw family who came from Ireland in 1830. Recognized as one of the pioneer settler families of the Toronto Gore, patriarch Robert Shaw was the first Shaw to farm the land. He officially purchased the west half of the lot on which the subject property is located on in 1853, passing it down to his son James. The current brick house was likely built for James belonging to the second generation of Shaws and replaced the 1-storey log home that first stood on the property. The property was passed down through five generations of Shaws, who lived and worked on the farm for approximately 124 years.

The Shaw family contributed to the municipal government, local religious organizations, and the farming community of the Toronto Gore area. The Shaws were active members of the Township Council, with every single head of household holding an office during their life. W. Gladstone Shaw of the fourth generation was the most significantly involved in local politics, serving as both a Councillor and Reeve of Toronto Gore in the 1950s and 1960s. The first three generations of Shaw men were members of local Protestant societies such as the Orange Order as well as taking on leadership roles within the local Primitive Methodist church congregations. Furthermore, the Shaws ran a successful farm operation, representative of the primarily agricultural area that the Toronto Gore Township once was. A notable contribution to the local farming community is that of Robert A. Shaw who is one of the first farmers to introduce alfalfa to the Peel County in the early 1900s. It is remarkable that the farm remained in possession of the family for 124 years, which was recognized by the Century Farm designation W. Gladstone Shaw received in 1967 from the Peel Junior Farmers Association.



Existing Survey Drawing
Source: Completed by Young & Young Surveying Inc. Provided by Owner.

4.1 DESCRIPTION OF THE SUBJECT PROPERTY



445 Hazelhurst Road.
Source: ATA Architects Inc. (2023)

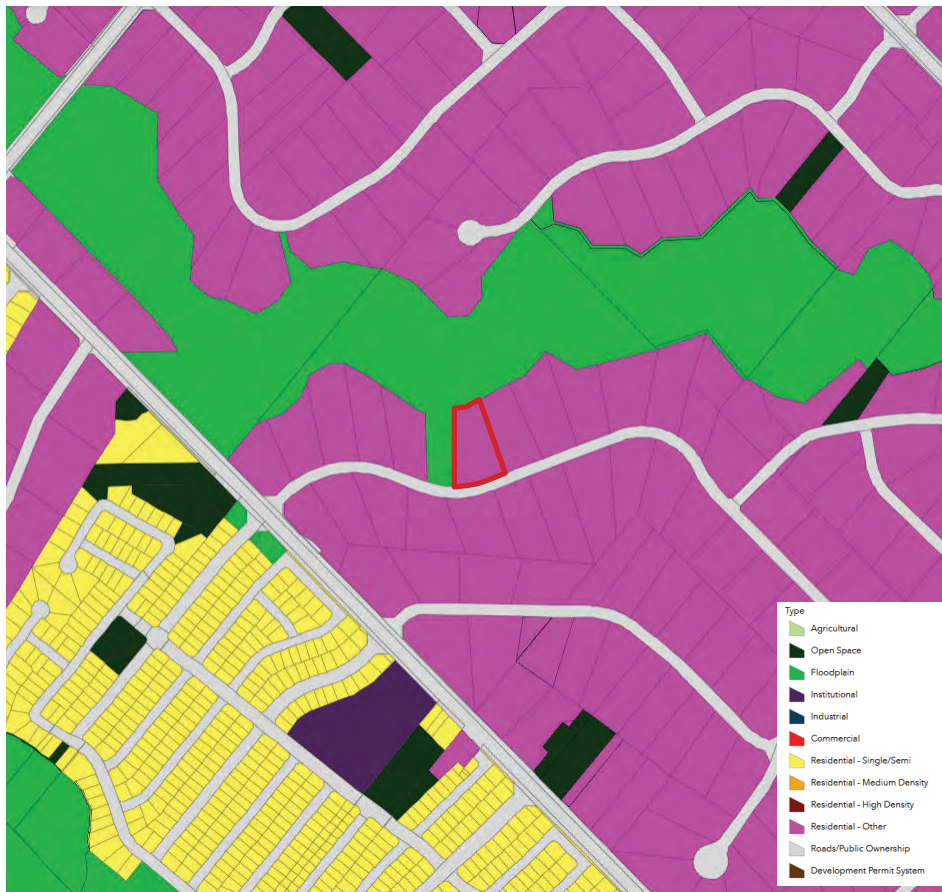
Municipal Address:
12 Rosegarden Drive, Brampton,
Ontario

Legal Description:
Part 2, Lot 9, Registered Plan
M-350, City of Brampton, Regional
Municipality of Peel
LT304937, LT373803, LT374475

The subject property's municipal address is 12 Rosegarden Drive, Brampton, Ontario.

The subject property is located within the City of Brampton, in the Regional Municipality of Peel. The property is located in the RE2 Zone (Residential Rural Estate 2 Zone), and has a special sectional provision (1500).

4.2 MUNICIPAL ZONING REGULATION



Key plan showing location of property
Source: City of Brampton. PlanningViewer (2021)

Zoning

Address: 12 Rosegarden Drive

Zoning Code: RE2-1500

Category: Residential

Type: RE2

Special Section: 1500

Secondary Plan Area: 26- Toronto Gore Rural Estate

The following regulations, which are outlined in Section 11.2 of the City of Brampton Zoning By-Law apply to RE2 Zones:

SECTION 11.2 RESIDENTIAL RURAL ESTATE TWO - RE2 ZONE

The lands zoned RE2 on Schedule A to this by-law:

11.2.1 shall only be used for the following purposes:

a) Residential:

- (1) a single detached dwelling*
- (2) a group home type 1*
- (3) an auxiliary group home*

b) Non-residential:

- (1) purposes accessory to the other permitted purposes*

11.2.2 shall be subject to the following requirements and restrictions:

- a) Minimum Lot Area: 0.8 hectares*
- b) Minimum Lot Width: 45 metres*
- c) Minimum Lot Depth: No requirement*
- d) Minimum Front Yard Depth: 12 metres*
- e) Minimum Interior Side Yard Width: 7.5 metres*
- f) Minimum Exterior Side Yard Width: 7.5 metres*

4.2 MUNICIPAL ZONING REGULATION

- g) Minimum Rear Yard Depth: 15 metres*
- h) Maximum Building Height: 10.6 metres*
- i) Maximum Lot Coverage: No requirement*
- j) Minimum Landscaped Open Space: 70% of the front yard*
- k) Minimum Ground Floor Area for Main Building:*
 - One storey: 170 square metres*
 - More than one storey: 115 square metres*

The following regulations outlined in Special Sectional Provision 1500 of the City of Brampton Zoning By-Law apply:

1500 The lands designated RE2 - SECTION 500 on Schedule A (Sheet 8 & 9) to this by-law:

1500.1 shall only be used for those purposes permitted in the RE2 Zone.

1500.2 shall be subject to the following requirements and restrictions:

- (a) Minimum Lot Width: 60 metres.*

1500.3 shall also be subject to the requirements and restrictions relating to the RE2 Zone which are not in conflict with the ones set out in section 1500.2.

177-2010 Section to be re-numbered

1500 The lands designated R1F(H)- 15.1 - 1500 on Schedule A to this by-law shall be subject to the following requirement and restrictions:

- i) Unenclosed porches and balconies, with or without foundations and a cold cellar may project a maximum of 1.8 metres into the front yard, exterior side yard or rear yard;*

- ii) Bay windows with or without foundation, to a maximum width of 3 metres, chimney elements, projecting cornices and roof eaves, may project a maximum of 1.0 metre into any front yard, exterior side yard or rear yard;*

- iii) The Holding (H) symbol shall not be removed until the lands can be serviced with permanent sanitary services to the satisfaction of the City of Brampton and the Region of Peel and no buildings or structures shall be permitted while the (H) is in place;*

- iv) Notwithstanding, section 1500(iii), a dwelling unit for display purposes, with or without a sales office, shall be permitted until May 12, 2015*

4.3 SURROUNDING CONTEXT



Aerial View of 12 Rosegarden Drive (property outlined in red) and its surrounding context.
Source: Google Maps (2021)

4.3 SURROUNDING CONTEXT

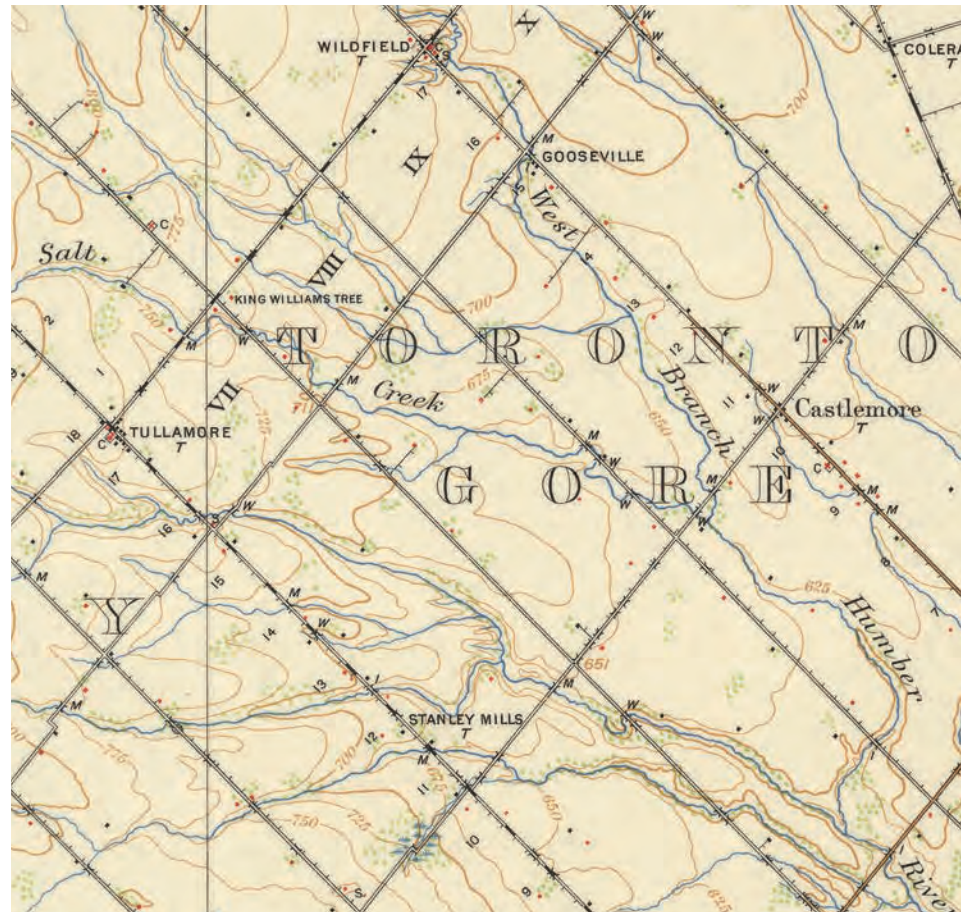
The property is relatively flat across the whole lot. It backs directly onto the edge of the Salt Creek valley that is north of the property. The Salt Creek is a tributary of the Humber River and takes a natural meandering path diagonally across the concession block bounded by Goreway Drive and McVean Drive. The valley slopes gently towards the creek, and forms a small riparian zone consisting of forest cover, open meadows, and wetlands. To the west of the property is Gladstone-Shaw Park which contains a small woodland and open play area.

The subject property is located within an estate residential subdivision that was developed in the mid-1980s to 1990s. The subdivision assumption date for the property is February 1986. The surrounding land use is also residential, with the exception of small pockets of undeveloped land, that is open fields that are remnants of the former rural area and scattered between the homes. The neighbourhood west of Goreway Drive, is a more densified residential subdivision consisting of newer homes built in the mid-2000s to 2010s.

The 1919 Topographical Map, and 1854 and 1967 Aerial Photographs show the former rural character of the area, back when its primary use was agricultural. Little development occurred within the area until the mid-1970s to mid-1980s when much of the farmland was sold and began to be developed into the present-day residential subdivision. The 1985 Aerial Photograph shows the subject property and the surrounding context which had at this time begun to be prepared for the construction of new homes. The 2006 Aerial shows the completed development of the subdivision which the property is now part of. Further development since the new rural estate homes were built has been limited within the immediate area of the property, and mainly concentrated to the west of Goreway Drive, and south of Castlemore Road.

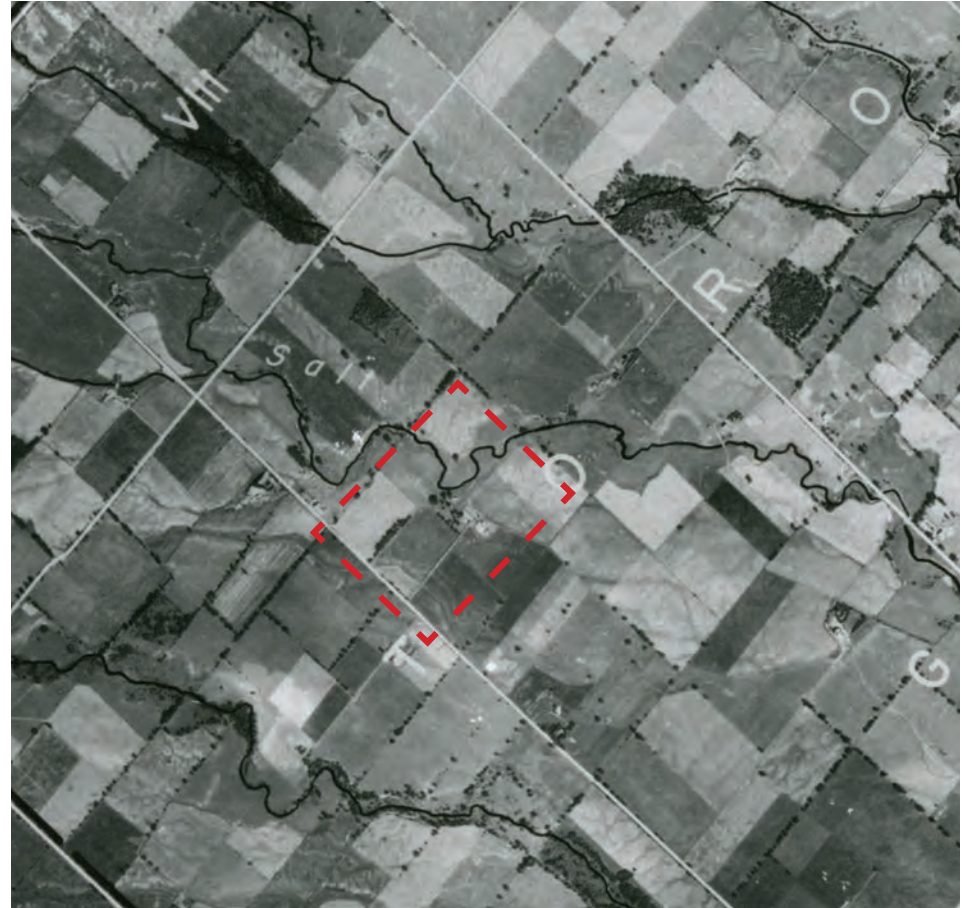


*Enlargement of 1919 Topographic Survey.
Outline of subject property.
Red represents a brick house.*



1919 Topographic Survey
Source: Canada Survey Division, Department of Militia and Defence (1919).
Accessed from McMaster University Digital Archive.

4.3 SURROUNDING CONTEXT



1954 Aerial Photograph of Area at Goreway Drive below Countryside Road
Source: Ontario Department of Lands and Forests. [Southern Ontario, 1954] : [Photo 437793], 1954.
Accessed from McMaster University Library.

4.3 SURROUNDING CONTEXT

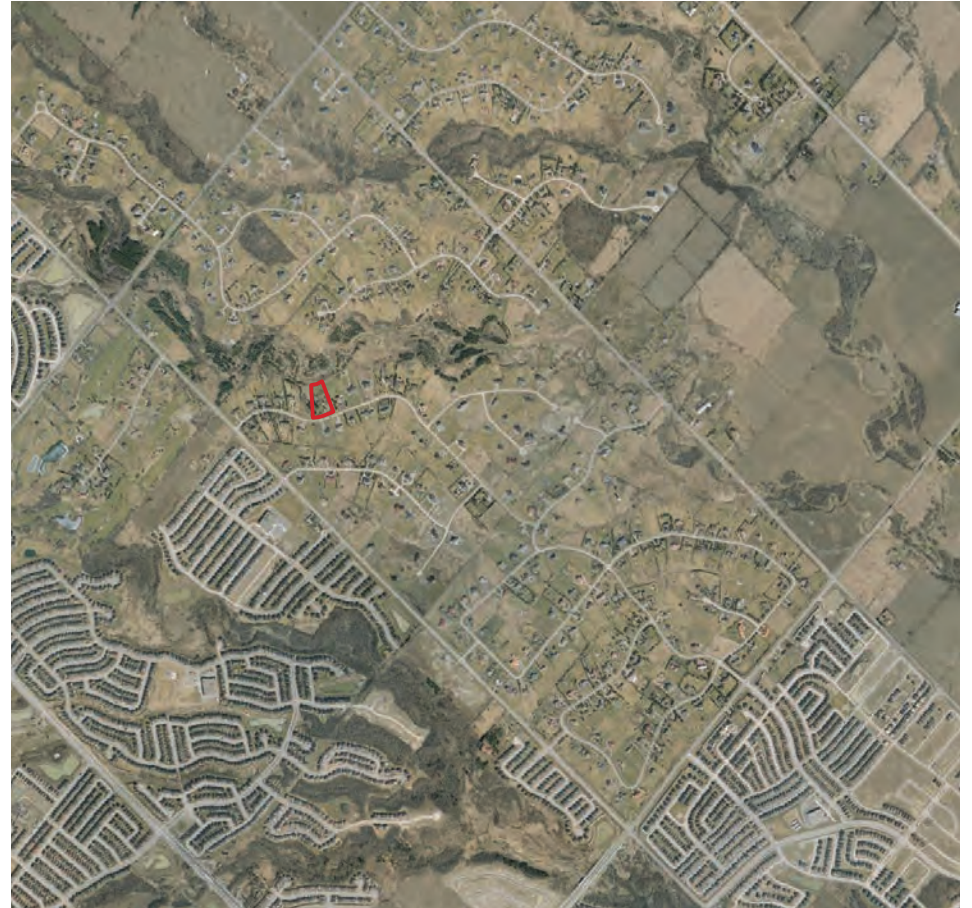


1967 Aerial Photograph of the Gore of Toronto Township
Source: Courtesy of Region of Peel Archives (1967)

4.3 SURROUNDING CONTEXT

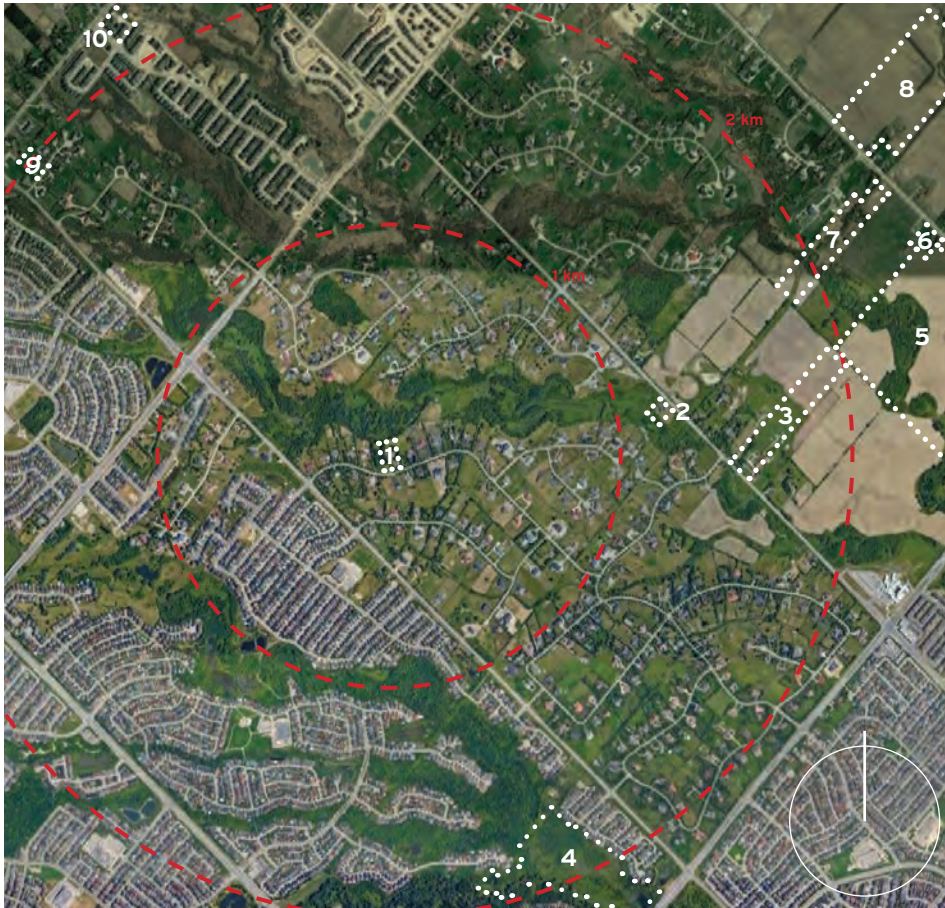


1985 Aerial Photograph of Area at Goreway Drive below Countryside Road.
Residential subdivision site preparation and construction work is pictured having begun.
Source: Google Earth Pro (1985)



2006 Aerial Photograph of Area at Goreway Drive below Countryside Road.
Source: MyBrampton Maps, [Spring 2006 Airphoto], City of Brampton Geohub.

4.4 SURROUNDING HERITAGE PROPERTIES



Aerial photo noting nearby heritage properties
Source: Google Maps (2021)

1. 12 Rosegarden Dr. - Robert Shaw Farmhouse

Year Built: 1861-1877

Status: Listed

2. 10450 McVean Dr. - Harrison Farm House (Relocation)

Year Built: 1855

Status: Listed

3. 10309 McVean Dr. - Taylor House

Year Built: Mid-19th Century

Status: Listed

4. 3448 Castlemore Rd. - Squire Thomas Burrell Grist Mill Site

Year Built: 1842

Status: Designation in Progress

5. 10100 The Gore Rd. - Dougherty/Johnson Farm

Year Built: c.1850

Status: Listed

6. 10300 The Gore Rd. - Castlemore Schoolhouse (Former)

Year Built: 1873

Status: Designated

7. 10398 The Gore Rd - Cottage

Year Built: Mid-19th Century

Status: Listed

8. 10431 The Gore Rd

Year Built: unknown

Status: Listed

9. 6791 Mayfield Rd.

Year Built: c.1870s

Status: Listed

10. 4 Lucinda Crt. - Odium House

Year Built: Mid-19th Century


Status: Designated

4.4 SURROUNDING HERITAGE PROPERTIES

The 12 Rosegarden Road property is listed on the City of Brampton's Municipal Register of Cultural Resources. In consultation with the Brampton Heritage Board, properties are placed on the Register by City Council because they are believed to be of cultural heritage value or interest.

A quick review of the City of Brampton's Heritage Property Register revealed that there a no properties that are either listed as being of heritage interest or designated in the immediate vicinity (1 km radius of the site). However, there are several properties that are either listed or designated in the broader area surrounding 12 Rosegarden Drive.

Municipal Register of Cultural Heritage Resources
Property Addresses A – Z



Address	Property Name (Where Applicable)	Ward	Additional Info
Rosegarden Drive, 12		10	

City of Brampton Municipal Register of Cultural Heritage Resources
Source: City of Brampton (2020),https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Heritage/Documents/1/1isted_Register.pdf

5.0 CONTEXTUAL VALUE



Aerial Photograph of Properties Along Rosegarden Drive

Source: Realmedia for Mike Donia, RE/MAX Realty Specialists Inc., <https://mediatours.ca/property/16-rosegarden-drive-brampton/#agent>

5.1 CONTEXT PHOTOS

12 Rosegarden Drive is situated on a large 1.41 hectares of land. The current house is small compared to many of the newer estate homes. Many of the newer houses, however, are traditional in style and are simplification or what might be considered contemporary interpretations of the Italianate style that was popular during the Victorian era. They are much larger in size.

Directly West of the site is Gladstone-Shaw Park, where a playground and open field are located.

5.1 CONTEXT PHOTOS



Exterior View of 9 Rosegarden Drive.



Exterior View of 14 Rosegarden Drive.



Key Plan

5.1 CONTEXT PHOTOS



Exterior View of 16 Rosegarden.



Exterior View of 15 Rosegarden.

Photographs of Neighbouring Houses on Rosegarden Drive (Source: ATA, 2021)

5.1 CONTEXT PHOTOS



Exterior View of 13 Rosegarden Drive.



Exterior View of 7 Rosegarden Drive.



Key Plan

Photographs of Neighbouring Houses on Rosegarden Drive (Source: ATA, 2021)

5.1 CONTEXT PHOTOS



Exterior View of 11 Rosegarden Drive



Gladstone-Shaw Park

Photographs of Neighbouring Houses on Rosegarden Drive (Source: ATA, 2021)
Photograph of 11 Rosegarden Drive (Source: Mike Donia, RE/MAX Realty Specialists Inc.)
Photograph of Gladstone-Shaw Park (Source: phraseography, via Google Maps, Aug 2017)

5.2 CONTEXTUAL SIGNIFICANCE



Aerial Photograph of Properties Along Rosegarden Drive

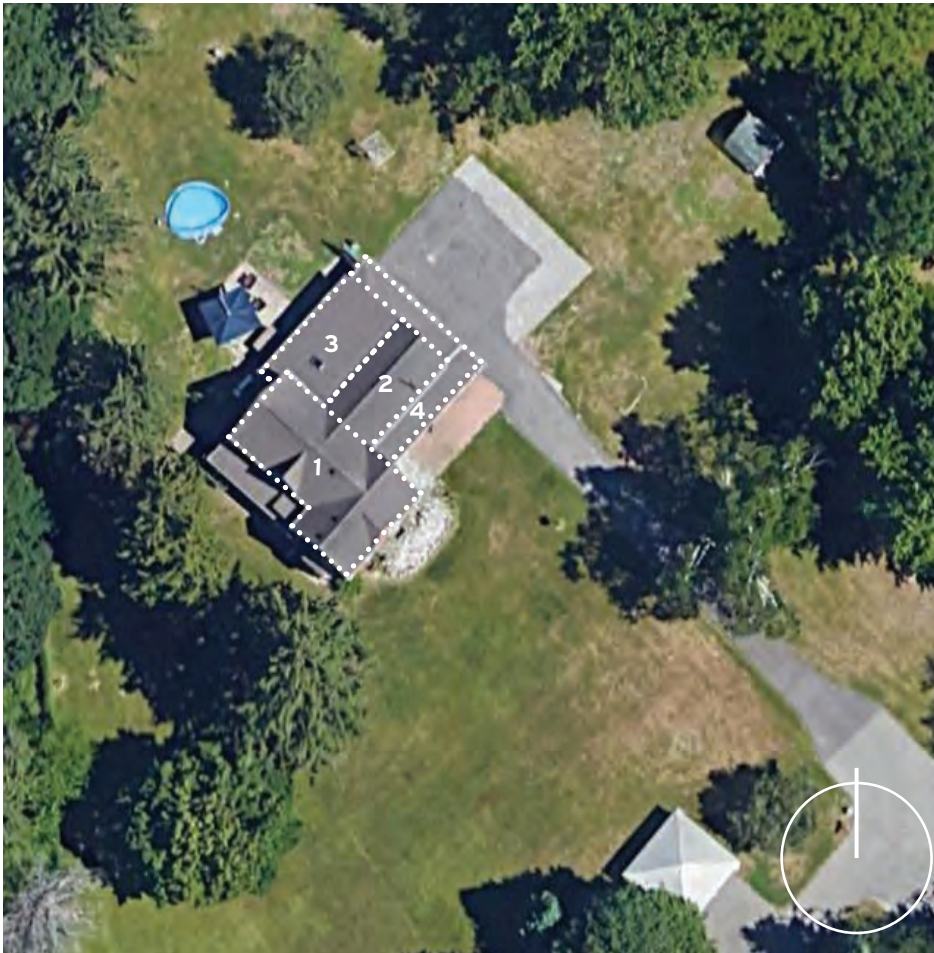
Source: Realmedia for Mike Donia, RE/MAX Realty Specialists Inc., <https://mediatours.ca/property/16-rosegarden-drive-brampton/#agent>

5.2 CONTEXTUAL SIGNIFICANCE

The house at 12 Rosegarden is representative of Brampton's and Peel Region's agricultural past. The Gothic Revival farmhouse is symbolic of the Victorian period up to 1900, constructed across Ontario. The area has since been developed into large estate properties as can be found in other Peel communities in their suburban or rural areas. The site that is occupied by 12 Rosegarden is large, 0.41 hectares. The house is small in comparison to many of the newer estate homes. Many of the newer houses, however, are traditional in style and are simplification or what might be considered contemporary interpretations of the Italianate style that was popular during the Victorian era. Examples include 13, 14, and 7 Rosegarden Drive. The house at 31 Rosegarden, for example, has a number of features of the style including a decorative balustrade, red brick, centre gable, contrasting precast quoins at the corners, and lintels over the windows. There are homes in fact of many styles along Rosegarden Drive.

The property line to the east is not defined by a fence or barrier and to the west is the Gladstone-Shaw Park. Gladstone-Shaw Park holds a playground, small open field area, and clusters of trees on the west end, on the side bordering the property at 12 Rosegarden Drive. Within this wooded area in the park, there are two linear rows of trees on either side of each other, standing as if they had once lined an old farm laneway, possibly a remnant from the site's agricultural past. This context provides a broad open space for the heritage house that is appropriate to its original space farm context. The surrounding residential uses are compatible with its continuing use as a residence.

6.0 ARCHITECTURAL VALUE



Phasing of construction - 1) Original 1-1/2 storey house, 2) First addition, 3) Second, most recent addition, 4) Porch is likely new, timing in relationship to prior additions is unknown. Source: Google Maps (2021)

12 Rosegarden Drive is a one and a half storey, Late Victorian version of the Gothic Revival style. The “L” shaped plan of the house is a common design that is typically seen throughout Ontario. The form involves two intersecting roof gables resulting in a front gable and a side gable. The “L” was frequently filled in with a porch. Generally close to the intersection of the two forms, the entrance door was usually located and directly above at the roof line a Gothic feature – a lancet window in a pointed gable dormer. In the instance of 12 Rosegarden there is an additional lancet window centred in the south east wall with a similar gable dormer. Currently the main entrance door is not oriented to the road, but inward toward the porch. This location on the side is unusual. The projection of this entrance square into the porch is likely an early addition, possibly done at the time of the first brick addition to the rear of the house. The large window facing the road where normally a door would be (in the wall behind) is not original, nor is the current front door. Other than this change to the house, the form of the original house is intact and the exterior has not been altered to an extent that the original appearance could not be restored.

There have been two major additions to the original farmhouse. The first was a tail section to the rear of the house. The brick masonry is similar to the original brick. A more recent addition is a shed form attached to the northwest side of the gable. The brick of the major second addition is compatible with the brick of the original addition and the original house. At close examination of the junction points between the recent addition and either the house or the original addition, the difference in brick is clearly visible.

6.1 ARCHITECTURAL SIGNIFICANCE

The porch that runs the length of the original addition and wraps around the end is likely new, but compatible with the original heritage house. Larger posts and additional detailing of the porch would further add to its character. Based on the length and prominence of the porch the posts appear undersized and spindly. Similarly, the posts for the front porch have been replaced and any vergeboard or brackets have been lost, both at the porch and in the gables.

Along the southeast side of the house there is evidence that trees and bushes that may have matured as foundation plantings have been removed. Likely this was done to protect the foundation from damage. The original house is visible on both its southernly and western facades; however, the westerly view is somewhat screened by tall mature evergreens. The view from the rear of the house is of a broad undefined open space combined with that of the adjacent neighbours to the east.

The exterior features of the heritage house include:

- Dichromatic brick
- Beige brick base courses topped with a bevelled brick cap
- Beige brick quoins
- Arched beige brick window hoods
- Curved window openings
- Beige brick sills
- High pitched gables
- Two lancet windows
- "L" shaped plan
- Front bay window
- 1 1/2 storey massing
- Stone foundation

6.1 ARCHITECTURAL SIGNIFICANCE

There have been changes that have occurred, that affect the appearance, but which can be replaced by more appropriate and sympathetic materials and products over time.

- Square contemporary windows in the arched top window openings
- Aluminum fascias
- Porch posts
- Exposed pressure treated wood framing of basement windows

There are as well some maintenance issues around the house and its additions to be addressed in the future. These are minor in nature and largely related to more recent interventions.

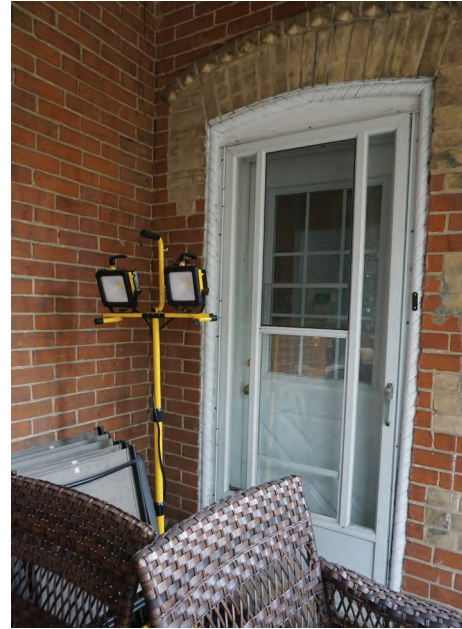
- Patios and paving adjacent the house to have positive draining away from the house
- Pointing of weathered brick and mortar joints with lime based mortar and not Portland cement
- Repointing of mortar joints, where Portland cement was used

The interior of the house has been updated over time. There are a limited number of heritage features intact. The key feature of the interior is the original staircase. Scattered through the house in some locations is the original trim, original doors and the original pine flooring (exposed and refinished). A substantial amount of work has occurred in the basement to create a new crawl space under the two additions. The crawl space has a concrete floor. Under the original house there is a full basement with adequate ceiling height. It contains an updated heating system, the hot water tank and the electrical service. The basement has not been developed into living space, but is used for services, storage and as a workshop.

**6.1 ARCHITECTURAL
SIGNIFICANCE**



Front Facade, Victorian style farmhouse.



View of Front Entrance, accessed inwards from porch.



Detail view of Front Facade gable end.

**6.1 ARCHITECTURAL
SIGNIFICANCE**



Detail view of deterioration, weathered brick at window edge.



Latest 2nd addition to the house.



Gable end to porch wing.

Original House and 2nd Addition Exterior Facade Photographs (Source: ATA, 2021)

**6.1 ARCHITECTURAL
SIGNIFICANCE**



Asphalt single apron and precast curb.



Latest addition, masonry repair visible on the brick gable.



Junction visible between the 1st and 2nd additions.



View of side door in 1st addition; located to the left of the junction between the 1st and 2nd additions.

**6.1 ARCHITECTURAL
SIGNIFICANCE**



Side door entry to second addition (porch likely added).



Brick damage along window

Exterior Facade Detail Photographs of Additions to Original House (Source: ATA, 2021)

**6.1 ARCHITECTURAL
SIGNIFICANCE**



Driveway view of the house from Rosegarden Drive



Southeast facade, original house

**6.1 ARCHITECTURAL
SIGNIFICANCE**



View towards neighbouring house



View from house towards Rosegarden Drive. Tall mature evergreen plantings stand along the west.

Surrounding View and Original House Exterior Facade Photographs (Source: ATA, 2021)

**6.1 ARCHITECTURAL
SIGNIFICANCE**



New basement window and wood lintel.



Trees located near the foundations have been removed.

**6.1 ARCHITECTURAL
SIGNIFICANCE**



Pressure treated wood framing / drystone light well.

Exterior Foundation Detail Photographs (Source: ATA, 2021)

**6.1 ARCHITECTURAL
SIGNIFICANCE**



Detailed view of the entrance.



Square centre window with arched Gothic trim.

**6.1 ARCHITECTURAL
SIGNIFICANCE**



View towards the north corner of facade. The connection between the 1st and 2nd addition are visible to the left. The gable end of the original farmhouse is at the right.



View into the open yards

Exterior House Facade and Detail Photographs (Source: ATA, 2021)

**6.1 ARCHITECTURAL
SIGNIFICANCE**



2nd (recent) addition is open games room / fitness space.



View from french doors in 2nd (recent) addition out into the backyard.

**6.1 ARCHITECTURAL
SIGNIFICANCE**



View from the 2nd (recent) addition of kitchen (1st addition).



View of the updated kitchen.

2nd Addition and 1st Addition Interior Ground Floor Photographs (Source: ATA, 2021)

**6.1 ARCHITECTURAL
SIGNIFICANCE**



View of the family room (north east corner of the house).



View of the family room.

**6.1 ARCHITECTURAL
SIGNIFICANCE**



View of Hall, Living room in the distance.



View of Living Room

Interior Ground Floor Photographs (Source: ATA, 2021)

**6.1 ARCHITECTURAL
SIGNIFICANCE**



Centre original staircase



Front entrance (new door).



View of original door..

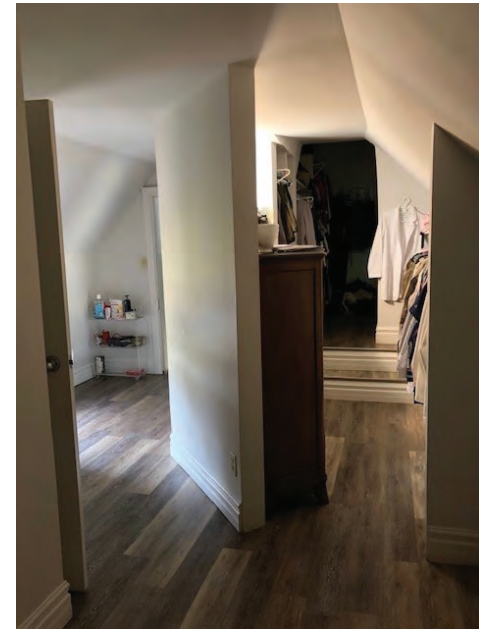
**6.1 ARCHITECTURAL
SIGNIFICANCE**



View from second floor landing
Source: ATA Architects Inc. 2021



View of staircase from top of second floor landing
Source: ATA Architects Inc. 2021



Bath / Closet area, 2nd floor, 1st addition.
Source: ATA Architects Inc. 2021

6.1 ARCHITECTURAL SIGNIFICANCE



View of Bedroom
Source: ATA Architects Inc. 2021



View of Bedroom
Source: ATA Architects Inc. 2021



View of Bedroom
Source: ATA Architects Inc. 2021

6.1 ARCHITECTURAL SIGNIFICANCE



Crawl space 2nd addition
Source: ATA Architects Inc. 2021



Crawl space 1st and 2nd addition
Source: ATA Architects Inc. 2021

6.1 ARCHITECTURAL SIGNIFICANCE



View of furnace and boiler, located in basement
Source: ATA Architects Inc. 2021



Basement, original house
Source: ATA Architects Inc. 2021



Basement, original house
Source: ATA Architects Inc. 2021

6.2 ARCHITECTURAL VALUE AFTER FIRE DOCUMENTATION



Photo of the exterior view
Source: Client. (2023)



Photo of the exterior view
Source: Client. (2023)

6.2 ARCHITECTURAL VALUE AFTER FIRE DOCUMENTATION



Photo of the exterior view
Source: Client. (2023)



Photo of the exterior view
Source: Client. (2023)



Photo of the interior view
Source: Client. (2023)

6.3 EVALUATION OF HERITAGE, ARCHITECTURAL AND CONTEXTUAL VALUE

Address: 12 Rosegarden Drive, Brampton, ON

Date: April 28, 2021

| Evaluator: Alexander Temporale B.Arch, O.A.A., F.R.A.I.C., C.A.H.P.

HISTORICAL OR ASSOCIATIVE VALUE	GRADE					RATIONALE
Has direct associations with a person, organization, or institution that is significant to a community.	E	VG	G	F	L	The property and the heritage house has a direct association with the Shaw family who owned the property for over 100 years. In 1967, the farmstead was designated as a Century Farm. The various members of the Shaw family who operated the Farm were active members in the community involved in religious, social, political and agricultural organizations.
Has direct associations with an event or activity that is significant to a community.	E	VG	G	F	L	The strongest association is with agriculture, introduction of alfalfa, sheep, cattle and milk production, and plowing competitions in the farming community. The role of the Township Council affected the community, and the role of such members as the Pathmaster and Collector of Taxes provide historical insight into the political concerns of the early period of settlement and development.
Has direct associations with a theme or belief that is significant to a community.	E	VG	G	F	L	Through the Shaw family there is an association with the role of religion in early rural communities. In the Shaw family the association is with the Protestant faith through the Primitive Methodist Church and the Orange Order.
Yields, or has the potential to yield, information that contributes to an understanding of a community.	E	VG	G	F	L	As a farmhouse in a rural estate setting, it contributes to the understanding of the agricultural history of the City and has the potential to yield information on the importance of the Shaw family to various organizations in the history of Brampton's Toronto Gore.
Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist.	E	VG	G	F	L	Builder and designer are not known.

Rating system:

E - Excellent

VG- Very Good

G - Good

F - Fair

L - Low

6.3 EVALUATION OF HERITAGE, ARCHITECTURAL AND CONTEXTUAL VALUE

ARCHITECTURAL VALUE	GRADE					RATIONALE
Is a rare, unique, representative, or early example of a style, type, expression, material, or construction method.	E	VG	G	F	L	<p>12 Rosegarden Drive is a good example of the Gothic Revival style and has many features of the style: dichromatic brick, beige brick base with bevelled cap, quoins, high pitched gables, lancet windows and arched brick window hoods. Because the home was in one family for over 100 years, the additions to the house are sympathetic and the form of the original house remains largely intact.</p> <p>As a result of the fire, the original 1 and 1/2 storey farmhouse, built in the Gothic Revival Style, was destroyed. This has resulted in the loss of many of the main heritage attributes that were previously identified.</p>
Displays a high degree of craftsmanship or artistic merit.	E	VG	G	F	L	<p>A list of all the features is in the report. The only aspects missing on the exterior is the bargeboard that may have been in the gables and porches. Inside the house, the central stair is noteworthy.</p> <p>Due to the fire, the original farmhouse in the Gothic Revival Style was destroyed, resulting in the loss of several heritage attributes.</p>
Demonstrates a high degree of technical or scientific achievement.	E	VG	G	F	L	<p>Standard construction for the period, soundly built and maintained.</p> <p>Due to the fire, the original farmhouse in the Gothic Revival Style was destroyed, resulting in the loss of several heritage attributes.</p>
CONTEXTUAL VALUE						
Is important in defining, maintaining, or supporting the character of an area.	E	VG	G	F	L	<p>The house is located in a rural estate on a lot that is large enough to reflect the rural agricultural past of the Toronto Gore and thus the City of Brampton. It is appropriately sited currently in a residential context that is sympathetic to its ongoing use as a residence.</p>
Is physically, functionally, visually, or historically linked to its surroundings.	E	VG	G	F	L	<p>In all four ways the house is linked to its residential use in a rural context and its physical appearance links it to its historic past as a farmhouse. It is also part of a collection of remaining structures in the surrounding area representative of the rural history of Brampton.</p>
Is a landmark.	E	VG	G	F	L	<p>The house is located on a curving section of Rosegarden Drive and both its south and west elevations can be seen from the road. The house is in a unique situation, in that it is located adjacent the Gladstone-Shaw Park.</p>

6.4 SUMMARY STATEMENT

In the opinion of the author, 12 Rosegarden Drive is worthy of designation under Part IV of the Ontario Heritage Act. It meets the criteria under the three categories of architectural, historical and contextual value. It would be the recommendation of the author that the building be conserved. The house and two major additions have been updated over time. Based on discussions with a former resident of the residence, neither of the two existing additions is recent. Given the size of the site future additions and outbuildings are possible. In order of importance would be the retention of the original house and secondly the long "tail" addition to the house. The shed addition to the tail of the house is of the least importance in any expansion of the current home. Of key importance would be to retain the visibility of the "L" shaped plan and form of the heritage house with its high pitched gables and gabled dormers. It is also the original house that exhibits the Gothic Revival architectural details that contribute to the historic value of the home.

In September 2023, there was a fire at 12 Rosegarden Drive that resulted in the destruction of the original 1 and 1/2 storey farmhouse. Sadly, due to the fire, many of the main heritage attributes that were previously identified have been lost.

7.0	PROPOSED DEVELOPMENT
8.0	MITIGATING MEASURES
9.0	CONCLUSIONS

7.0 PROPOSED SCOPE OF WORK

In September 2023, a severe fire broke out and destroyed the original 1 and 1/2 storey farmhouse. The farmhouse, which was built in the Gothic Revival Style, was a significant heritage structure of the area. Unfortunately, the fire resulted in the loss of most of the main heritage attributes that were previously identified. The remaining part of the house has evidence of severe smoke and fire damage, making it unsafe and unfit for any purpose.

The building's instability makes it impossible to salvage or restore the remainder of the house, and it has been concluded that it must be demolished. The demolition process must take every precaution to ensure the safety of any surrounding structures, and the work must be carried out in compliance with all relevant safety regulations.

8.0 MITIGATION STRATEGY

The proposed removal of the cultural heritage resource, due to the fire that damaged and lost its heritage attributes, will negatively impact the cultural heritage resource. The building is unstable, making it impossible to salvage or restore the remaining home. Therefore, it is recommended to implement the following mitigation strategy.

- Commemoration of the building through signage/plaque/marker is recommended as the only viable course of action as a result of the fire. A signage or plaque should be provided on the adjacent site (Gladstone-Shaw Park) to reference the building and site, outlining the historical and contextual value they have to the community. The commemoration plan should be based off of City of Brampton's new Terms of Reference for a Commemoration Plan

9.0 CONCLUSION

12 Rosegarden Drive is proposed to be demolished due to a fire over the summer that damaged the original 1 and 1/2 storey house. Many of the main heritage attributes were lost. The existing building however, did meet Ontario Regulation 9/06, and was recommended by ATA that the building was worthy of designation.

Due to the fire, the building is not safe and it would be impossible to salvage or restore the remainder of the house, and it has been concluded that it must be demolished.

ATA recommends that a Commemoration of the building should be erected and it is recommended that it should be in the City's park adjacent to the property. The Commemoration should be the Standard City Plaque. A commemoration plan is also required and must follow the City's new Terms of Reference for Commemoration Plan.

9.0 CONCLUSION

NOTES:

1. ENGINEERING CERTIFICATION REQUIRED FOR ALL FOOTINGS AND FOUNDATIONS SPECIFIC TO EACH LOCATION WHERE SIGNAGE IS TO BE ERECTED. FOOTINGS AND FOUNDATIONS ILLUSTRATED ARE RECOMMENDATIONS ONLY.

2. THIS DETAIL IS TO BE READ IN COLOUR. PDF COPIES ARE AVAILABLE FROM PLANNING & INFRASTRUCTURE SERVICES, PARKS PLANNING & DEVELOPMENT, CITY OF BRAMPTON.

3. ARTWORK IS AVAILABLE FROM STRATEGIC COMMUNICATIONS, OFFICE OF THE COO, CITY OF BRAMPTON.

4. FOR ALL SIGNS SITE SPECIFIC DRAWINGS ARE REQUIRED PRIOR TO INSTALLATION. DRAWINGS MUST SHOW: MESSAGING DIRECTIONS AND LAYOUT, SIGN LOCATION AND CONTEXT REFERENCE, AND FOOTING / FOUNDATION ENGINEERING CERTIFICATION.

5. MAROON COLOUR SCHEMES TO BE USED IN DOWNTOWN AREA ONLY, BLUE COLOUR SCHEME TO BE USED CITY WIDE.

6. ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS STATED OTHERWISE.

FINISHES:

PAINT MATTEWS:

BLACK METALLIC: MP19962 SATIN FINISH

BLUE METALLIC: MP22028 SATIN FINISH

YELLOW SOLID: MP07681 SATIN FINISH

PALE BLUE SOLID: MP07490 SATIN FINISH

WHITE SOLID: WHITE SATIN FINISH

MAROON METALLIC: MP22297 SATIN FINISH

PALE MAROON SOLID: MP00984 SATIN FINISH

VINYL:

BLUE: AVERY ROYAL DARK BLUE METALLIC A7753-M

(OPAQUE VINYL)

LIGHT MAROON: 3M FROSTED ROSE CRYSTAL

(TRANSLUCENT VINYL)

LIGHT BLUE: 3M FROSTED BLUE MIST CRYSTAL

(TRANSLUCENT VINYL)

BLUE: AVERY TWILIGHT BLUE A9591-T

(TRANSLUCENT VINYL)

YELLOW: 3M SCOTCHCAL MARIGOLD

(TRANSLUCENT VINYL)

GREEN: AVERY ARMY GREEN A9676-T

(TRANSLUCENT VINYL)

WHITE: 3M SCOTCHLITE ENGINEER GRADE WHITE

(REFLECTIVE VINYL)

BLUE: 3M SCOTCHLITE ENGINEER GRADE BLUE

(REFLECTIVE VINYL)

MAROON: AVERY BURGUNDY A7819-R

(REFLECTIVE VINYL)

YELLOW: 3M SCOTCHLITE ENGINEER GRADE YELLOW

(REFLECTIVE VINYL)

ACRYLIC:

WHITE: MLK-WHITE ACRYLIC

MESSAGE: 50 MM HT.
WHITE REFLECTIVE VINYL
FONT: ITC GARAMOND LIGHT
CONDENSED
FINAL TEXT, FONTS AND SIZES FOR
WHITE HEADER MESSAGES TO BE
CONFIRMED PRIOR TO
MANUFACTURE

POST & BASE:
PAINTED BLACK

1 of 2
L820a
N.T.S

NX-1b INTERPRETIVE SIGN
SMALL ANGLE MOUNT -
POST & PANEL
SITE AMENITIES - SERIES 800
SEPTEMBER 2014

BRAMPTON
Flower City
brampton.ca

[THIS PAGE INTENTIONALLY LEFT BLANK]

APPENDIX

BIBLIOGRAPHY

SUPPORTING DOCUMENTS

ALEXANDER TEMPORALE CV

RYAN LEE CV

APPENDIX

BIBLIOGRAPHY

A History of Peel County to Mark its Centenary.

Corporation of the County of Peel: 1967. Accessed from <https://archive.org/details/AHistoryOfPeelCountyToMarkItsCentenary/page/n3/mode/2up>

Archives of Ontario

Birth, Death and Marriage Registrations. Accessed from Ancestry.ca

Photographer Unknown. Brampton Grand Trunk Railway in 1890s. Accessed from <https://www.trha.ca/trha/history/stations/brampton-station-grand-trunk-railway/>

Reuben R. Sallows. Ploughing match contestant with judges., 1916. [I0002277]. <http://www.archives.gov.on.ca/en/explore/online/agriculture/strength.aspx>

Summary and Index to Early Patent Maps: Toronto Township [I0051348]. Accessed from http://ao.minisisinc.com/FS_IMAGES/I0051348.jpg

Brampton Heritage Board. Municipal Register of Cultural Heritage Resources. Listing Candidate Summary Report: 12 Rosegarden Drive. 2016.

City of Brampton

Brampton History. <https://www.brampton.ca/en/Arts-Culture-Tourism/Tourism-Brampton/Visitors/Pages/BramptonHistory.aspx>

McVean - Castlemore North. NAI, Site Summary. August 2013. https://www.brampton.ca/EN/residents/GrowGreen/Documents/NAI_Site_Summaries/1135_2273_2555_2564_McVean_Castlemore_North.pdf

Municipal Register of Cultural Heritage Resources Designated Under the Ontario Heritage Act. 2019. https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Heritage/Documents1/Designation_Register.pdf

City of Brampton

Municipal Register of Cultural Heritage Resources 'Listed' Heritage Properties. 2019. https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Heritage/Documents1/Listed_Register.pdf

MyBrampton Interactive Maps. 2021. <https://maps1.brampton.ca/mybrampton/?find=12%20Rosegarden%20rd>

Planning Viewer. Brampton GeoHub. 2021 <https://maps1.brampton.ca/PlanningViewer/?config=zoningsearch.json>

2006 Official Plan. Consolidated September 2015. https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2015_Consolidated_OP.pdf

Zoning By-law, Section 11.2. https://www.brampton.ca/EN/BUSINESS/PLANNING-DEVELOPMENT/ZONING/COB%20ZONING/TYPE/SECTION11.2_RE2.PDF

Donia, Mike. RE/MAX Realty Specialists Inc. <https://mediatours.ca/property/16-rosegarden-drive-brampton/#agent>

Ebenezer, Toronto Gore Historical Foundation. History of Toronto Gore. <https://www.oldebenezerchapel.com/history>

Fahey, Curtis. Clergy Reserves. The Canadian Encyclopedia, February 6, 2006. <https://www.thecanadianencyclopedia.ca/en/article/clergy-reserves>

Geocaching. GC6WHP3: Century Farm 1967. April 11, 2016. https://www.geocaching.com/geocache/GC6WHP3_century-farm-1967

Hicks, Kathleen. Malton: Farms to Flying. Mississauga Library System. 2006. https://www.mississauga.ca/file/COM/9634_MaltonBook_PartFour.pdf

APPENDIX

BIBLIOGRAPHY

Library and Archives of Canada.

1851 Census of Canada West. Peel, Township of Toronto Gore.
<https://www.bac-lac.gc.ca/eng/census/1851/Pages/about-census.aspx>

Census of Canada, 1861, 1871, 1881, 1891. Peel, Township of Toronto Gore, Personal Census.
<https://www.bac-lac.gc.ca/eng/census/pages/census.aspx>

Census of Canada, 1861. Peel, Township of Toronto Gore, Agricultural Census. https://central.bac-lac.gc.ca/item/?app=Census1861&op=&img&id=4391951_00039

Treaties and surrenders [textual record, object] (R216-79-6-E). Provisional Agreement with the Mississaugas of the River Credit, for the surrender of 648,000 Acres of Land - IT 059.
https://collectionsCanada.gc.ca/pam_archives/index.php?fuseaction=genitem.displayItem&lang=eng&rec_nbr=3951604

Mississaugas of the Credit First Nation. Ajetance Treaty, No. 19 (1818).
<http://mncfn.ca/treaty19/>

McGill University Library Digital Exhibitions & Collections.

The Canadian County Atlas Digital Project.
Illustrated Historical Atlas of the County of Peel. Walker & Miles, 1877. Map of Gore of Toronto. <https://digital.library.mcgill.ca/CountyAtlas/Images/Maps/TownshipMaps/pee-m-torontoGore.jpg>

McGrade, Niall. "Who Are the Orangemen and What Is the Orange Order?" The Culture Trip. June 16, 2017. <https://theculturetrip.com/europe/united-kingdom/northern-ireland/articles/who-are-the-orangemen-and-what-is-the-orange-order/>

McMaster University Library & Digital Archive

1919 Topographic Survey. Department of Militia and Defence. Canada, Survey Division, 1919.

1954 Aerial Photography. Ontario Department of Lands and Forests. [Southern Ontario, 1954]: [Photo 437793], 1954.

Moir, John. "John Strachan. Canada's Christian Heritage. 1998. <http://www.ccheritage.ca/biographies/johnstrachan>

Ontario.ca. Map of Ontario treaties and reserves, Treaties in Ontario, Ajetance Purchase: Treaty 19 <https://www.ontario.ca/page/map-ontario-treaties-and-reserves>

Peel County Land Registry (No.43). Abstract/Parcel Register Book for Toronto Gore: Concession 8; North Dundas Street; Road. <https://www.onland.ca>

Perkins Bull, William. From Boyne to Brampton: or, John the Orangeman at home and abroad. Toronto: The Perkins Bull Foundation, George J. McLeod Ltd., 1936. Accessed from <https://images.ourontario.ca/brampton/details.asp?ID=3085832>

Pope, J. H. Illustrated Historical Atlas of County of Peel. Toronto: Walker & Miles, 1877. Accessed from: <https://archive.org/details/illustratedhisto00popeuoft/page/n103/mode/2up>

Region of Peel Archives (PAMA)

1967 Aerial Photograph. Ontario Department of Lands and Forests, Division of Surveys and Engineering.

Castlemore Women's Institute Tweedsmuir.

APPENDIX

BIBLIOGRAPHY

Region of Peel Archives (PAMA)

Property Research: A How-To Guide. <http://pama.peelregion.ca/en/pamascollection/resources/Heritage%20Property%20Research%20Guide%20-%20Draft%2019%20-%20Final.pdf>

Region of Peel Archives Map and Plan Collection. <https://peelarchivesblog.com/about-peel/>.

William Perkins Bull Fonds. Family Files: Burrell Family File.

William Perkins Bull Fonds. Family Files: Shaw Family Files 2 & 3.

Region of Peel.

Region of Peel Official Plan. December 2018. https://www.peelregion.ca/planning/officialplan/pdfs/ropdec18/ROPConsolidationDec2018_TextSchedules_Final_TEXT.pdf

Region of Peel Official Plan: Schedules & Figures. December 2018. https://www.peelregion.ca/planning/officialplan/pdfs/ropdec18/ROPConsolidationDec2018_TextSchedules_Final_SCHEDULES.pdf

Tavender, George. From this Year Hence: A History of the Township of Toronto Gore. City of Brampton: 1983.

Toronto Public Library. Wm. Rennie Co. 1916 Rennie's Seed Annual Catalogue. 1916. <https://archive.org/details/rennieseedann00rennuoft/mode/2up>

University of Toronto. Ontario Historical County Map Project
Tremaine, George R. Historical County Map of Peel County. Tremaine, 1859.
<https://utoronto.maps.arcgis.com/apps/webappviewer/index.html?id=8cc6be34f6b54992b27da17467492d2f>

RESOURCES:

Ancestry.ca Library Edition

Accessed remotely from Brampton Public Library.

Brampton Public Library - Digital Library

Accessed ProQuest Historical Newspapers and PressReader

<https://www.bramptonlibrary.ca/index.php/digitallibrary/emagazines-newspapers>

Ebenezer, Toronto Gore Historical Foundation.

8999 The Gore Road, Brampton ON, L6P 2P7

Land Registry Records. Peel Land Registry Office (No. 43)

Accessed from OnLand. <https://www.onland.ca>

Peel Art Gallery, Museum and Archives (PAMA)

9 Wellington Street East, Brampton, Ontario, L6W 1Y1

The assistance of Samantha Thompson, Archivist at the Region of Peel Archives is appreciated.

Phone interview with former resident who grew up in the house.

April 27, 2021.

APPENDIX
SUPPORTING DOCUMENTS

83

LOT No. 14

8 CONCESSION N.D.

No. of INSTRUMENT.	INSTRUMENT.	ITS DATE.	DATE OF REGISTRY.	GRANTOR.	GRANTEE.	QUANTITY OF LAND.	CONSIDERATION OR AMOUNT OF MORTGAGE.	REMARKS.
	Patent	Oct 31. 1828		Crown ✓	Rev John Strachan	200 a	£ 8	
17880	B & S	3 Dec 1840	5 Dec 1840	Rev J. Strachan et ux	Thomas Burrill	200 a	200. 0	
23875	B & S	7 Dec 1844	13 Jan 1845	Thomas Burrill et ux	Robert Shaw	100 E ½	100. 15/8	
24521	M	10 Jan 1845	10 May 1845	Robert Shaw et ux	Robt Jas Turner	100 E ½	200. 0	200
28763	Ass.	10 Mar 1847	3 Apr 1847	Robt J. Turner	J. C. P. Easton	E ½	132. 0	
34834	B & S	12 July 1849	16 July 1849	James C. P. Easton	George Wrightman	E ½	105. 0	
36804	M	11 Apr 1850	12 Apr 1850	Thomas Burrill et ux	William Cawthra	W ½	800. 0	24582
38318	B & M	14 Oct 1850	25 Oct 1850	George Wrightman	Robert Shaw	E ½	24582	24582
47554	M	29 Jan 1853	10 Feb 1853	Thomas Burrill et ux	Edw H Rutherford	W ½	375. 12/10	47554
47680	B & S	11 Feb 1853	16 Feb 1853	Thomas Burrill et ux	William Cawthra	W ½	800. 0-0	47554
47771	O M	16 Feb 1853	21 Feb 1853	Ed H Rutherford	Thomas Burrill	W ½	47554	47554
47852	M	23 Feb 1853	24 Feb 1853	Robert Shaw et ux	William Cawthra	all	1000. 0	47554
47853	B & S	23 Feb 1853	24 Feb 1853	William Cawthra et ux	Robert Shaw	W ½	1000. 0	47554
452	B & S	2 Mar 1854	18 Mar 1854	Robert Shaw et ux	James Shaw	W ½	600. 0	
8891	Ind.	16 Feb 1861	26 Feb 1861	Robert Shaw et al	Willm Cawthra	All	723. 0	
12075	Release	20 Feb 1864	23 Feb 1864	William Cawthra	Robert Shaw	N ½ of E ½	5/	
12076	B & S	12 Feb 1864	23 Feb 1864	Robert Shaw et ux	Samuel Shaw	N W ½ of E ½	1200 \$	
12077	M	12 Feb 1864	23 Feb 1864	Samuel Shaw et ux	Francis Jackson	N W ½ of E ½	1200 \$	

Land Registry Records for 12 Rosegarden Dr. (Lot 14, Con. 8 Township of Toronto Gore N.D.)
Source: Peel Land Registry (No.43)

APPENDIX SUPPORTING DOCUMENTS

SHEET NO. 1
LOT NO. 14
CON. NO. 8
RANGE NO.

TOWNSHIP OF TORONTO CORE

SHEET NO. 1
LOT NO. 14
CON. NO. 8
RANGE NO.

EXEMPTED FROM
LAND TAX
1971

F.I.J.

F.I.J.

F.I.J.

F.I.J.

F.I.J.

F.I.J.

A.O.

A.O.

A.O.

A.O.

A.O.

A.O.

A.O.

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
289	D.M.	16 Nov. 1913	8 Oct. 1913	William Cantline	Robert Shaw			discharge's No. 47052
284	D.M.	10 Jan. 1914	23 Jan. 1914	Pyralis Jackson	Samuel Shaw			discharge's No. 18077
616	MORTGAGE	10 Nov. 1911	10 Nov. 1911	Samuel Shaw, et ux	Alban Dowdfield	50	2,000.00	sq. of 24 June 18, 1929
606	D.M.	26 Feb. 1890	10 Apr. 1890	James Shaw	Robert A. Shaw	50	5.00	sq.
727	Will	27 Dec. 1881	22 Jan. 1882	Robert Shaw	Samuel Shaw, et al	50		sq.
1099	MORTGAGE	13 Feb. 1888	13 Feb. 1888	Samuel Shaw, et ux	Alban Dowdfield	50	1,000.00	sq. of 24 June 18, 1929
1296	D.M.	31 Dec. 1891	8 Jan. 1892	James Shaw, et ux	Robert A. Shaw	50	4,000.00	sq.
1297	Ann. Deed	31 Dec. 1891	8 Jan. 1892	Robert A. Shaw	James Shaw		300.00	per ann. sq.
1402	Will	5 Aug. 1893	6 Apr. 1894	James Shaw	James Shaw, et al			sq. & 0.1.
1704	MORTGAGE	6 Jan. 1904	7 Jan. 1904	Samuel Shaw & George Shaw & Samuel Shaw	Samuel Shaw	100	2,000.00	sq. June 18, 1929
1796	D.M.	6 Jan. 1904	7 Jan. 1904	Alban Dowdfield	Samuel Shaw	50		discharge's No. 4744 June 18, 1929
1796	D.M.	6 Jan. 1904	7 Jan. 1904	Alban Dowdfield	Samuel Shaw			discharge's No. 4099 June 18, 1929
1789	Ann. Deed	8 June 1906	17 Jan. 1907	Samuel Shaw & Ann Shaw	George Shaw	100	1,000.00	sq.
1821	Q.C.	26 Dec. 1902	30 Dec. 1902	John W. Wiley, Adm. of Alice J. Wiley Est., Mary E. Hinn, Elias J. Lindsey & Sarah McCort & Marjory Shaw	Robert A. Shaw	50	300.00	sq.
1884	D.M.	7 Apr. 1918	10 Apr. 1918	Samuel Shaw	Samuel Shaw			discharge's No. 2704 June 18, 1929
2899	Grant	28 Feb. 1928	1 Mar. 1928	James Shaw, et al Exrs. of Robert A. Shaw Est., et al	Wilfred G. Shaw		1.00	sq. 50m & sq. 50m.
2900	MORTGAGE	1 Mar. 1928	1 Mar. 1928	Wilfred G. Shaw	Wilfrid Shaw		6,000.00	sq. 50m & sq. 50m Dec. 31, 1939
2975	MORTGAGE	11 Nov. 1929	25 Nov. 1929	Wilfred G. Shaw, et ux	Agricultural Development Board		6,000.00	sq. 50m & sq. 50m Dec. 31, 1939
2984	D.M.	1 Dec. 1929	3 Dec. 1929	Wilfrid Shaw	Wilfred G. Shaw			discharge's No. 2900 Dec. 31, 1939
3009	Grant	29 May 1930	4 June 1930	George Shaw, et ux	Wilfred J. Wilson		1.00	sq.
								See Deposit No. 418
3021	Grant	30 Aug. 1930	26 Sep. 1930	Wilfred J. Wilson, et ux	George M. Lindsey	100	1,000.00	sq.
3022	MORTGAGE	25 Sep. 1930	26 Sep. 1930	George M. Lindsey, et ux	The Agricultural Development Board	200	2,000.00	sq. Apr. 6, 1943
3098	MORTGAGE	20 Dec. 1932	27 Dec. 1932	George M. Lindsey, et ux	The Agricultural Development Board	200	2,700.00	sq. 8/1/43
3108	D.M.	18 Dec. 1932	4 Jan. 1933	Agricultural Development Board	George M. Lindsey			discharge's No. 3098 Apr. 6, 1943
3076	MORTGAGE	1 Nov. 1938	3 Nov. 1938	Wilfred G. Shaw, et ux	John Beard		6,000.00	sq. 50m & sq. 50m 8/1/43
3077	D.M.	1 Nov. 1938	4 Nov. 1938	Commission of Agricultural Loans	Wilfred G. Shaw			discharge's No. 3076 8/1/43
3342	Notice	3 June 1940	7 June 1940	Hydro-Electric Power Com.	George M. Lindsey		200.00	sq.
3347	Notice	23 Aug. 1940	6 Sep. 1940	Hydro-Electric Power Com.	George M. Lindsey			discharge's No. 3342
3506	D.M.	15 Feb. 1946	14 Mar. 1946	Commission of Agricultural Loans	George M. Lindsey			discharge's No. 3506 8/1/43

Continued

Land Registry Records for 12 Rosegarden Dr. (Lot 14, Con. 8 Township of Toronto Gore N.D.)
Source: Peel Land Registry (No.43)

APPENDIX

SUPPORTING DOCUMENTS

SHEET NO. 14
 LOT NO. 14
 CON. NO. 8
 RANGE NO.

TOWNSHIP OF TORONTO CORP.

SHEET NO. 14
 LOT NO. 14
 CON. NO. 8
 RANGE NO.

*Land Registry Records for 12 Rosegarden Dr. (Lot 14, Con. 8 Township of Toronto Gore N.D.)
Source: Peel Land Registry (No.43)*

APPENDIX SUPPORTING DOCUMENTS

SHEET NO. 2
LOT NO. 14
CON. NO. 8
RANGE NO.

TOWNSHIP OF TORONTO GORE

SHEET NO. 2
LOT NO. 14
CON. NO. 8
RANGE NO.

EXAMINER
NO. 303

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
395517	Set of First Registration	22 April 1976	22 April 1976	To certify that Steve Martyniuk was on 22 April 1976 Registered as owner under the Land Titles Act and entered as Parcel 14 in the Register for Section 43, Toronto Gore - B (N.D.)				Part 1/4 lot 14 Con 8 Northern Division designated as part 1 on attached print 43R-3765
410667	Set of First Registration	4 Aug 1976	24 Sep 1976	John W. Lundy give of Great lot 9 Jan 1976 Ronald W. Shaw (Shaw) and Lundy Investments Co. Limited effecting @ (50 acs) Lundy @ (50 acs) Lundy @ 28%.				
410667	Set of First Registration	7 Jan 1977	3 Jan 1977	John W. Lundy	Ronald W. Shaw			Discharging No. 410667
419585	Set of First Registration	4 Jan 1977	3 Jan 1977	Ronald W. Shaw	Bonny Farms Limited			Firstly: 50 1/4 (50 acres), Secondly: 17 1/4 (50 acres) @ 0.1%.
419585	Set of First Registration	6 Jan 1977	3 Jan 1977	Lundy Investments Co. Limited	Bonny Farms Limited			Firstly: 50 1/4 (50 acres), Secondly: 17 1/4 (50 acres) @ 0.1%.
419585	MORTGAGE	5 Jan 1977	3 Jan 1977	Bonny Farms Limited	Ronald W. Shaw			Firstly: 50 1/4 (50 acres), Secondly: 17 1/4 (50 acres) @ 0.1%.
425742	Set of First Registration	31 May 1977	25 May 1977	Bonny Farms Limited	The Toronto Dominion Bank			1.00 1/4 (50 acres) 1/4 (50 acres) @ 0.1%
425742	MORTGAGE	31 May 1977	25 May 1977	Bonny Farms Limited	The Toronto Dominion Bank			1.00 1/4 (50 acres) 1/4 (50 acres) @ 0.1%
425742	Set of First Registration	9 June 1977	18 June 1977	To take notice that Bonny Farms Limited has made application to be Registered under the Land Titles Act as owner in fee simple with an absolute title of part of lot 14 Con 8 Toronto Gore designated as part 1 on attached print and map file H-3706.				
455464	Set of First Registration	22 Nov 1977	24 Nov 1977	To certify that Bonny Farms Limited was on 24 Nov 1977 Registered as owner under the Land Titles Act and entered as parcel 13-1 in the Register for Section 43 - Toronto Gore N.D.				Part 1/2 of lot 13-1 Con. 8 N.D. Toronto Gore designated as part 1 on attached plan 43R-5554

Land Registry Records for 12 Rosegarden Dr. (Lot 14, Con. 8 Township of Toronto Gore N.D.)
Source: Peel Land Registry (No.43)

APPENDIX
SUPPORTING DOCUMENTS

LAND
REGISTRY
OFFICE #43

PARCEL REGISTER (ABBREVIATED) FOR PROPERTY IDENTIFIER

14218-0251 (LT)

PAGE 1 OF 1
PREPARED FOR Jason
ON 2021/04/01 AT 11:25:30

ONLAND

PROPERTY DESCRIPTION: PCL 9-1, SEC M350 & LT 5, PL M350 ; S/T RIGHT AG IN LT374475 ; S/T LT304937,LT373803 BRAMPTON

PROPERTY REMARKS:
ESTATE/QUALIFIER: FEE SIMPLE
ABSOLUTE
RECENTLY: FIRST CONVERSION FROM BOOK
BIN CREATION DATE: 1996/05/07
OWNERS' NAMES: MANGAT, MANPREET
KAUR, AMANJIT
CAPACITY SHARE: JTEN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/CHKD
EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1996/05/07 ON THIS PIN						
WAS REPLACED WITH THE "PIN CREATION DATE" OF 1996/05/07						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **						
LT193174	1978/10/23	NOTICE AGREEMENT			THE CORPORATION OF THE CITY OF BRAMPTON THE REGIONAL MUNICIPALITY OF PEEL	C
438659	1981/01/22	PLAN REFERENCE				C
LT304937	1981/02/19	TRANSFER EASEMENT			BELL CANADA	C
LT3498562	1981/11/04	APL ANNEX REST COV				C
LT373564	1982/04/27	NOTICE AGREEMENT			THE CORPORATION OF THE CITY OF BRAMPTON THE REGIONAL MUNICIPALITY OF PEEL	C
LT373803	1982/04/29	TRANSFER EASEMENT			THE CORPORATION OF THE CITY OF BRAMPTON BRAMPTON HYDRO-ELECTRIC COMMISSION	C
CORRECTIONS: 'TRANSFEREE: BRAMPTON HYDRO-ELECTRIC BRAMPTON' DELETED ON 2004/09/16 BY MARY JUDGE, 'TRANSFEREE: BRAMPTON HYDRO-ELECTRIC COMMISSION' ADDED ON 2004/09/16 BY MARY JUDGE.						
PR1172448	2006/11/22	CHARGE	\$625,000	CRANCH, LYNN JANE CRANCH, ROBERT	NATIONAL BANK OF CANADA	C
PR3085161	2017/02/24	TRANSFER	\$1,393,000	CRANCH, LYNN JANE CRANCH, ROBERT	MANGAT, MANPREET KAUR, AMANJIT	C
PR3085162	2017/02/24	CHARGE	\$1,114,400	MANGAT, MANPREET KAUR, AMANJIT	SCOTIA MORTGAGE CORPORATION	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

Land Registry Records for 12 Rosegarden Dr.
Source: Peel Land Registry (No.43). Accessed through OnLand.

APPENDIX

SUPPORTING DOCUMENTS

This is the last will and testament of me James Shaw of the Town of Brampton in the County of Peel, gentleman, I revoke all former wills and testamentary dispositions by me at any time made. I direct that my executors hereinafter appointed shall so soon as may be convenient after my decease pay all my just debts funeral and testamentary expenses I give and devise unto my wife Jane during the term of her natural life the house

lot to be sold by public auction or private sale and the proceeds after payment of expenses of the sale I direct them to divide equally among my five daughters Alice, Mary, Rebecca, Eliza Jane, Sarah, and Marjory. I give and bequeath unto my wife for the support of herself and my daughter Marjory while she remains with her unmarried as aforesaid, the annuity of three hundred dollars payable during my life and the life of my wife by my son Robert A Shaw and charged upon the north westerly quarter of lot number fourteen in the eighth concession of the northern division of the Township of Toronto Gore in the County of Peel, and I also direct my executors to pay unto my said wife the yearly interest or profit of the rest and residue of my personal estate.

*Last Will of James Shaw (1893) - Instrument TG1402
Source: Peel Land Registry (No.43)*

APPENDIX

SUPPORTING DOCUMENTS

TAKEN UNDER ACT 14th & 15th Vict. Chap. 49.

ENUMERATOR.

Information as to Mills, Factories, &c., their cost, power, produce, &c.

Number of
persons usual-
ly employed
therein.

General Remarks of the Enumerator.

39

41

PERSONAL CENSUS—ENUMERATION DISTRICT, No. 2

414
OF

Names of Inmates.	Profession, Trade or Occupation.	Place of Birth.	Religion.	Residence if out of limits.	Age next birth day.	Sex. Male. Female.
1	2	3	4	5	6	7
1. <i>Amel Morrison</i>		Canada	C. of England		11	1
2. <i>Amel Morrison</i>		"	"		11	1
3. <i>Amel Morrison</i>		"	"		15	1
4. <i>Amel Morrison</i>		"	"		4	1
5. <i>Amel Morrison</i>		"	"		2	1
6. <i>Charles Douglas</i>	Farmer	Canada	Catholic	X	28	1
7. <i>Charles Douglas</i>		Ireland	"	X	24	1
8. <i>Charles Douglas</i>		"	"		2	1
9. <i>Charles Douglas</i>		"	"		1	1
10. <i>Charles Douglas</i>	Farmer	"	P. Methodist	X	25	1
11. <i>Charles Douglas</i>		"	"	X	25	1
12. <i>Charles Douglas</i>		Canada	"		12	1
13. <i>Charles Douglas</i>		"	"		7	1
14. <i>Charles Douglas</i>		"	"		5	1
15. <i>Charles Douglas</i>		"	"		3	1
16. <i>Charles Douglas</i>		"	"		2	1
17. <i>Charles Douglas</i>		Ireland	"		16	1
18. <i>Charles Douglas</i>	Farmer	"	P. Methodist	X	28	1
19. <i>Charles Douglas</i>		New York	"	X	25	1
20. <i>Charles Douglas</i>		Canada	"		5	1
21. <i>Charles Douglas</i>		"	"		4	1
22. <i>Charles Douglas</i>		"	"		2	1
23. <i>Charles Douglas</i>	Farmer	Ireland	"		16	1
24. <i>Charles Douglas</i>	Farmer	Ireland	P. Methodist	X	21	1
25. <i>Charles Douglas</i>	Farmer	Ireland & P. Methodist		X	22	1
26. <i>Charles Douglas</i>		"	"	X	25	1
27. <i>Charles Douglas</i>		New York	"		25	1
28. <i>Charles Douglas</i>		Canada	"		20	1
29. <i>Charles Douglas</i>		"	"		11	1
30. <i>Charles Douglas</i>		"	"		14	1
31. <i>Charles Douglas</i>		"	"		5	1
32. <i>Charles Douglas</i>	Farmer	Ireland	C. of England		15	1
33. <i>Charles Douglas</i>	Farmer	"	"		26	1
34. <i>Charles Douglas</i>	Farmer	"	"	X	20	1
35. <i>Charles Douglas</i>		"	"	X	27	1
36. <i>Charles Douglas</i>		Canada	"		51	1
37. <i>Charles Douglas</i>		"	"		19	1
38. <i>Charles Douglas</i>	Farmer	Ireland	Catholic		15	1
39. <i>Charles Douglas</i>	Farmer	England	P. Methodist	X	51	1
40. <i>Charles Douglas</i>		"	"	X	25	1
41. <i>Charles Douglas</i>		Canada	"		2	1

1851 Personal Census for Household of Robert Shaw
Source: 1851 Census of Canada West, Library and Archives of Canada

1851 Personal Census for Household of Robert Shaw
Source: 1851 Census of Canada West, Library and Archives of Canada

APPENDIX

SUPPORTING DOCUMENTS

PUBLIC ARCHIVES OF CANADA MICROFILMED 1955

1861 Personal Census for Household of Robert Shaw, James Shaw and Samuel Shaw
Source: 1861 Census of Canada, Library and Archives of Canada

APPENDIX

SUPPORTING DOCUMENTS

PUBLIC ARCHIVES OF CANADA MICROFILMED 1955

1861 Agricultural Census for James Shaw
Source: 1861 Census of Canada, Library and Archives of Canada

APPENDIX

SUPPORTING DOCUMENTS

Page 26 Province of *Ontario* District No. 38 *Peel* Sub-District *C. L. Grant & Co. Division* { page 26 }
 Census of 1871 Schedule No. 1.—Nominal Return of the Living, *Shaw's household* { Census of 1871 }

Residence in the City of Toronto										Residence in the Country										Residence in the City of Toronto										Residence in the Country									
Name										Age										Sex										Occupation									
1										2										3										4									
John Shaw										42										M										Farmer									
Mary Shaw										38										F										Housewife									
Elizabeth Shaw										15										F										School Teacher									
John Shaw										12										M										Farmer									
Mary Shaw										10										F										Housewife									
Elizabeth Shaw										8										F										School Teacher									
John Shaw										6										M										Farmer									
Mary Shaw										4										F										Housewife									
Elizabeth Shaw										2										F										School Teacher									
John Shaw										1										M										Farmer									
Mary Shaw										1										F										Housewife									
Elizabeth Shaw										1										F										School Teacher									

Page 27 Province of *Ontario* District No. 38 *Peel* Sub-District *C. L. Grant & Co. Division* { page 27 }
 Census of 1871 Schedule No. 1.—Nominal Return of the Living, *John Johnston* { Census of 1871 }

Residence in the City of Toronto										Residence in the Country										Residence in the City of Toronto										Residence in the Country									
Name										Age										Sex										Occupation									
1										2										3										4									
John Johnston										42										M										Farmer									
Mary Johnston										38										F										Housewife									
Elizabeth Johnston										15										F										School Teacher									
John Johnston										12										M										Farmer									
Mary Johnston										10										F										Housewife									
Elizabeth Johnston										8										F										School Teacher									
John Johnston										6										M										Farmer									
Mary Johnston										4										F										Housewife									
Elizabeth Johnston										2										F										School Teacher									
John Johnston										1										M										Farmer									
Mary Johnston										1										F										Housewife									
Elizabeth Johnston										1										F										School Teacher									

1871 Personal Census for Household of James Shaw
 Source: 1871 Census of Canada, Library and Archives of Canada

Page 28 Province of *Ontario* District No. 38 *Peel* Sub-District *C. L. Grant & Co. Division* { page 28 }
 Census of 1871 Schedule No. 1.—Nominal Return of the Living, *John Johnston* { Census of 1871 }

Residence in the City of Toronto										Residence in the Country										Residence in the City of Toronto										Residence in the Country									
Name										Age										Sex										Occupation									
1										2										3										4									
John Johnston										42										M										Farmer									
Mary Johnston										38										F										Housewife									
Elizabeth Johnston										15										F										School Teacher									
John Johnston										12										M										Farmer									
Mary Johnston										10										F										Housewife									
Elizabeth Johnston										8										F										School Teacher									
John Johnston										6										M										Farmer									
Mary Johnston										4										F										Housewife									
Elizabeth Johnston										2										F										School Teacher									
John Johnston										1										M										Farmer									
Mary Johnston										1										F										Housewife									
Elizabeth Johnston										1										F										School Teacher									

Page 29 Province of *Ontario* District No. 38 *Peel* Sub-District *C. L. Grant & Co. Division* { page 29 }
 Census of 1871 Schedule No. 1.—Nominal Return of the Living, *John Johnston* { Census of 1871 }

Residence in the City of Toronto										Residence in the Country										Residence in the City of Toronto										Residence in the Country									
Name										Age										Sex										Occupation									
1										2										3										4									
John Johnston										42										M										Farmer									
Mary Johnston										38										F										Housewife									
Elizabeth Johnston										15										F										School Teacher									
John Johnston										12										M										Farmer									
Mary Johnston										10										F										Housewife									
Elizabeth Johnston										8										F										School Teacher									
John Johnston										6										M										Farmer									
Mary Johnston										4										F										Housewife									
Elizabeth Johnston										2										F										School Teacher									
John Johnston										1										M										Farmer									
Mary Johnston										1										F										Housewife									
Elizabeth Johnston										1										F										School Teacher									

1881 Personal Census for Household of James Shaw
 Source: 1881 Census of Canada, Library and Archives of Canada

APPENDIX
SUPPORTING DOCUMENTS

CENSUS OF CANADA, 1891. Province Ont District No. 106 S. District E. Toronto Gore RECENSEMENT DU CANADA, 1891.

PAGE 17 SCHEDULE No. 1.-Nominal Return of the Living. Enumerated by me on the 1891 day of 1891. Enumerator. 17

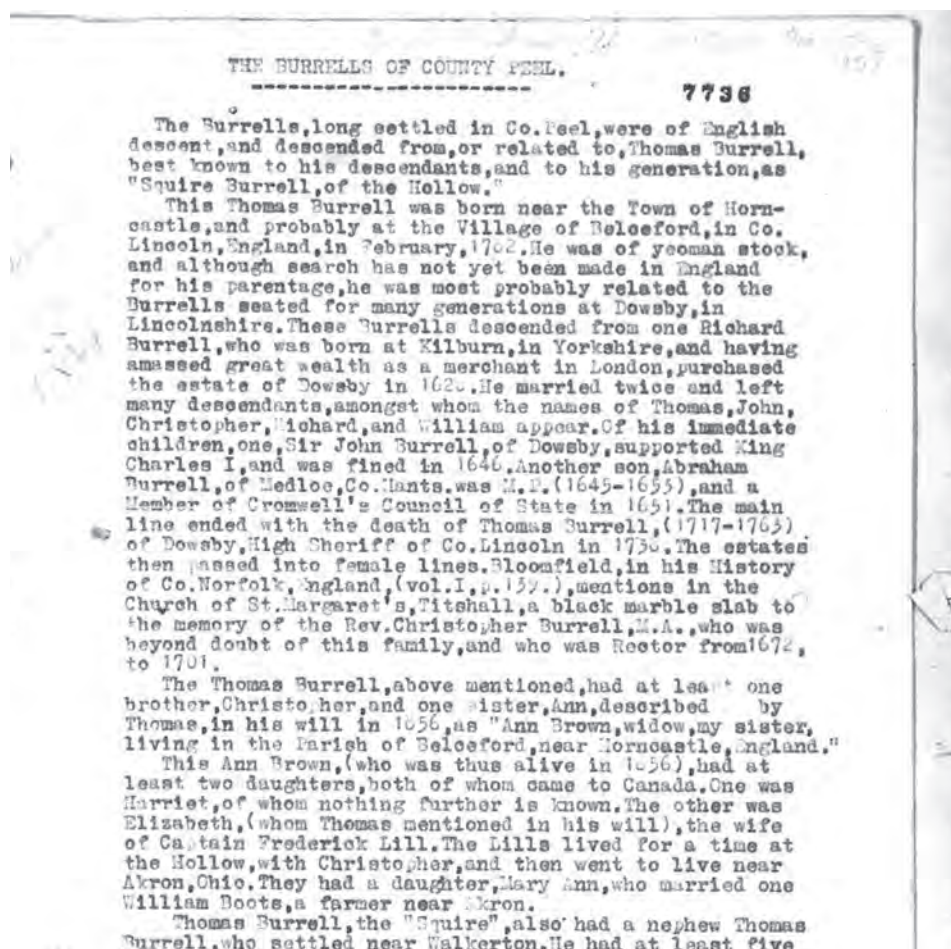
TABLEAU No. 1.-Dénombrement des Vivants. Enuméré par moi ce 1891 jour de 1891.

Screened in the Census of Vancouver					FAMES.		Sex.	Age.	Married	Religion	Country or Province of Birth.	French Canadian.	Place of Birth of Father.	Place of Birth of Mother.	RELIGION.	Profession, Occupation or Trade.	Employment.	Wage.	Completed during year preceding Census.	Employed in same occupation during year.	Immigration.	Language.	Other.	Other.	Other.	Other.
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	
					Bailey Wilfred	M	6		S	ont			ont	ont	E.C.											1
					" Robert	M	3																			2
					Humphrey Hugh	M	14		Don	Ireland			Ireland	Ireland	R.C.	Labourer		1			1	1				3
					" Jane	F	23		Don	ont					M.C.	Servant		1			1	1				4
					" John	M	7		Do				ont	ont												5
					" Morrison John	M	35		M				Ireland	Ireland	E.C.	Farmer	1				1	1				6
					" Elizabeth	F	30		W												1	1				7
					" Mary Ann	M	12		S				ont	ont							1	1				8
					" Robert	M	9		S												1	1				9
					" Shaw James	M	63		M	Ud			Ireland	Ireland	M.C.	Farmer	1		2		1	1				10
					" Jane	F	66		W	Ireland											1	1				11
					" Robert d	M	37		S	ont			Ud			Farmer					1	1				12
					" Larrach	F	26		S												1	1				13
					" Margery	M	25														1	1				14
					" Edward	M	8		S				ont	ont							1	1				15
					" Edith	F	5		S												1	1				16
					" Bradner John	M	20		Don							Labourer		1			1	1				17
					" Lawrence Thomas	M	17														1	1				18
					" Corley John	M	55		M				Ireland	Ireland		Farmer	1				1	1				19
					" Alice	F	50		W	Ireland											1	1				20
					" James H	M	26		S	ont											1	1				21
					" Larrach	F	24		S												1	1				22
					" William J	M	21		S												1	1				23
					" Robert d	M	14														1	1				24
					" Alexander	M	11														1	1				25

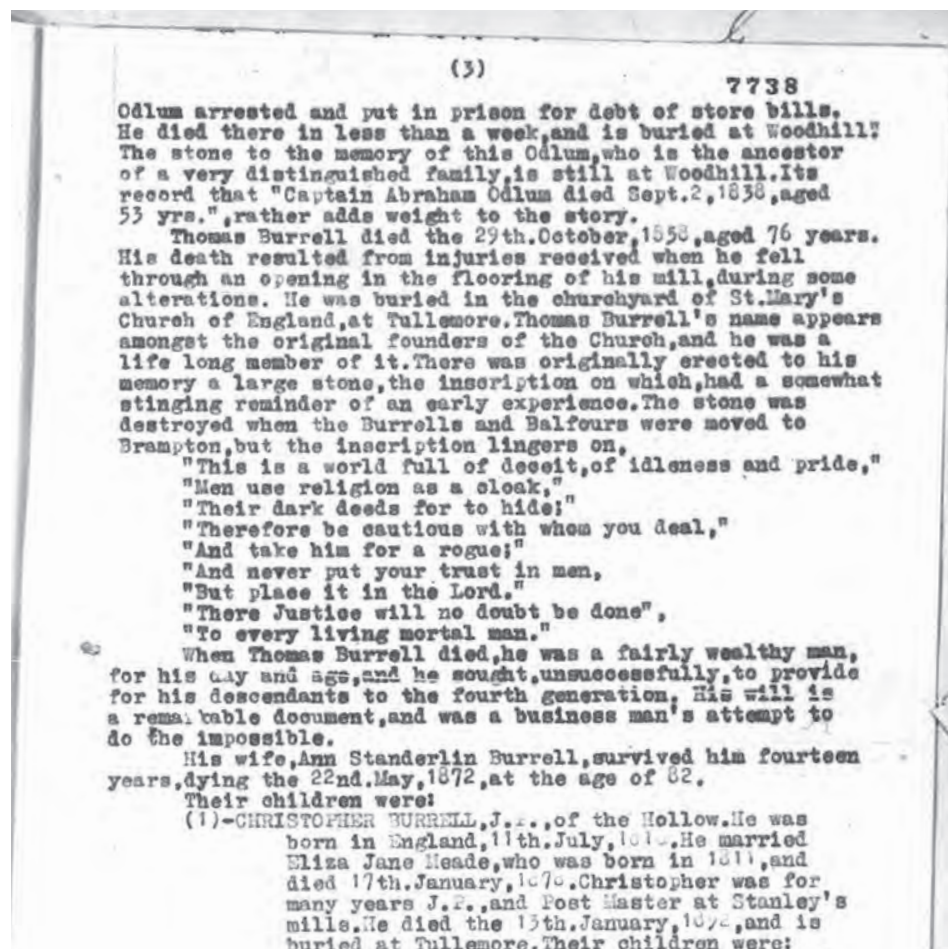
1891 Personal Census for Household of James Shaw
Source: 1891 Census of Canada, Library and Archives of Canada

APPENDIX

SUPPORTING DOCUMENTS



Information from the Burrell Family File
Source: William Perkins Bull Fonds, Region of Peel Archives



Information from the Burrell Family File
Source: William Perkins Bull Fonds, Region of Peel Archives

APPENDIX

SUPPORTING DOCUMENTS

There is some doubt in the family as to when the Burrells came out to Upper Canada, but it was in the spring, either of 1814, or 1819.

They settled first on a little farm in York, (now Toronto) which Thomas purchased from the Rev. John Strachan, later Bishop Strachan. Just where this was descendants differ, but a Granddaughter tells me that at one corner was a Church of England, on another the old Parliament Buildings, on a third a hotel, and on the fourth the Burrell farmhouse. About 1824 Thomas Burrell had a disagreement with Bishop Strachan over the farm he had purchased, and out of this probably grew his otherwise unexpected friendship with the celebrated Reformer, William Lyon Mackenzie, and the very puzzling epitaph he had placed on his tombstone.

In the fall of 1824, the Burrells moved onto a farm at King's Corners, on the Derry West side-road, at the Third line East, but shortly afterwards Thomas Burrell acquired a tract of land on the Sixth line East, at a place which was known in his lifetime as Burrell's Hollow, and afterwards as Stanley's Mills, and the family soon moved here.

Just how much land the Burrells held at the Hollow is uncertain, but it must have been quite a lot. In the years following say 1830, the little settlement prospered, and with the years there grew up a village with its store, hotel, saw mill, grist and flour mill, brewery, blacksmith shop, a wholesale and storage for grain, wool, and hides, and several houses.

With the years, local influence, and a little money, seem to come to the Burrells; Thomas was appointed a Justice of the Peace for the district, and from his picture I have no doubt but that he was the "Squire" in the real sense.

The Rebellion of 1837 does not seem to have affected the Burrells much. Thomas' daughter, who was about thirteen at the time, remembered the circumstances well, and jotted them

Information from the Burrell Family File
Source: William Perkins Bull Fonds, Region of Peel Archives

APPENDIX

SUPPORTING DOCUMENTS

①

Grace of Toronto N. D. O.S. Henderson
Con. 8. Lot 14. Aug. 11.
60450

7 Dec. 1844 $8\frac{1}{2}$ 100 ac. bought for £100. 15:8. 4
by
Robert Shaw

b. d.
Came from U.S.A 1830 and settled on
above lot.

3.
m. Jane

Family:
James Shaw
Samuel Shaw
Robert Andrew Shaw

Information on Robert Shaw from the Shaw Family File 2
Source: William Perkins Bull Fonds, Region of Peel Archives

APPENDIX

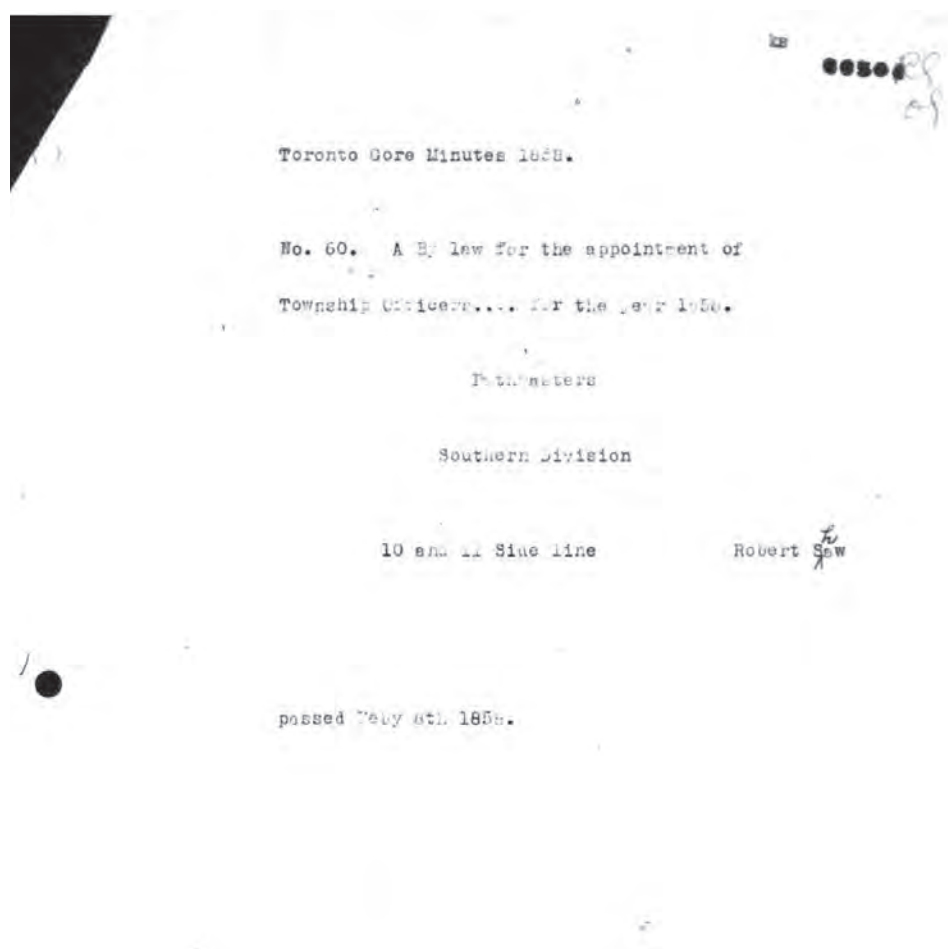
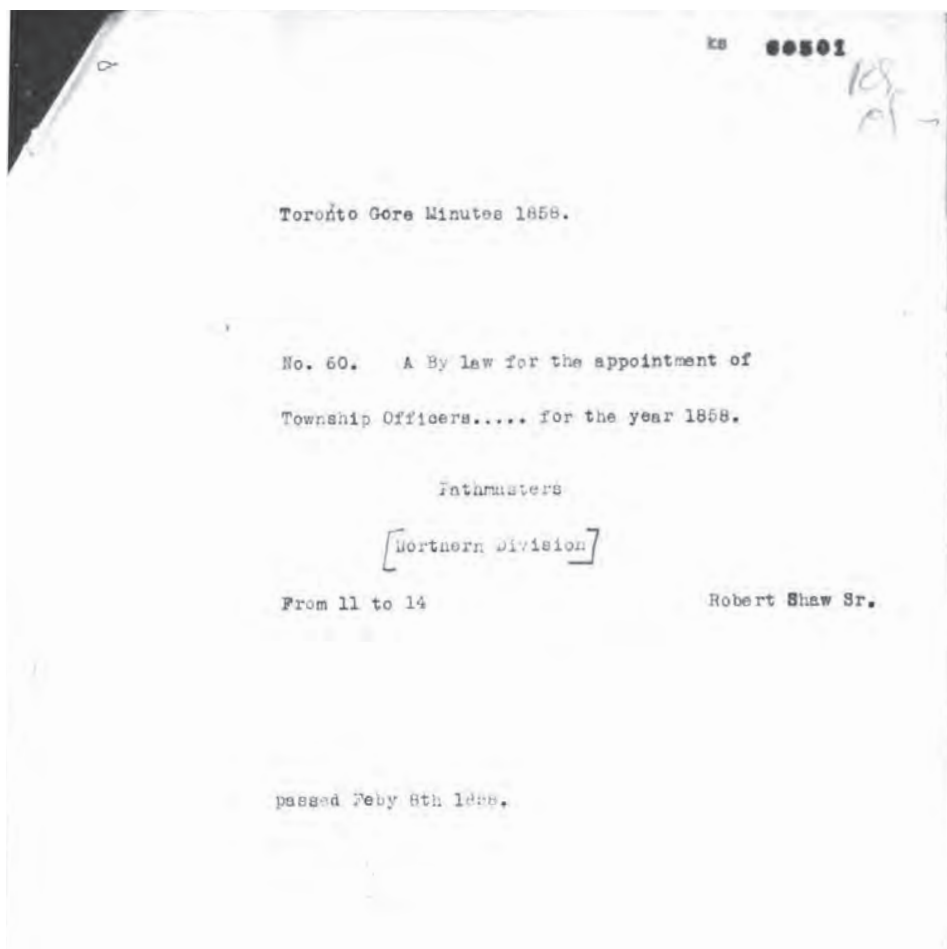
SUPPORTING DOCUMENTS

Robert Andrew Shaw
Sarah Jane b. 1854 d. 1926. Buried Salem
Collector Rd. & 9. for services m. Robt. Laughheed Albion
con. 2. Lot 7.
Rd. 8 for use of his house for election purposes.
Twp. assessor
Police-keeper
Sachmaster
Official on the Etobicoke Town Meet. Vicar.
One of first trustees of Etobicoke Town Meet.
House burnt down twice

Also owned:
see also below
Gore of Toronto N.D.
Con. 8 Lot 16, 81 ac. 1883
see also below

Information on positions/offices held by Robert Shaw from the Shaw Family File 2
Source: William Perkins Bull Fonds, Region of Peel Archives

APPENDIX SUPPORTING DOCUMENTS



Information on Township offices held by Robert Shaw from the Shaw Family File 2
Source: William Perkins Bull Fonds, Region of Peel Archives

SUPPORTING DOCUMENTS

Jan 13 1978 - 1st - 10000 \$4000.00

Information on Robert Shaw from the Shaw Family File 3
Source: William Perkins Bull Fonds, Region of Peel Archives

APPENDIX

SUPPORTING DOCUMENTS

60352

Robert Shaw - aged 68, is the oldest member of
the F.S. L. Tullamore L.O.L. No. 61.

AND ONE IN 1912.



Courtesy Robert Shaw

TULLAMORE L.O.L. No. 61

Back row: —, John Carberry, Wm. Carberry, Robt. Shaw Sr., Hy. Strong, Jos. Hall, Irwin Little Jr., Robt. Shaw Jr., Ed. Carberry, David Craig Sr., Sam Cook; middle row: —, Jos. Longbeed, Hy. Parr, Geo. Fleming, Wilson Fleming, Thos. Burrell, Fred Fleming, Thos. Smith; front row: —, Sandy Carberry, John H. Fleming, —, —, Geo. Strong, Jas. Carberry, Irwin Little Sr.

Information on Robert Shaw from the Shaw Family File 2
Source: William Perkins Bull Fonds, Region of Peel Archives

Photograph of Tullamore L.O.L. No. 61.
Source: William Perkins-Bull, "From Boyne to Brampton," (1936), 304.
Accessed digitally from Brampton Public Library.

APPENDIX

SUPPORTING DOCUMENTS

school superintendent, and guessing his duncuity passed on, with a bland smile, to the next part of the oath. This tactful diplomat was succeeded, for several years beginning in 1890, by Alexander Walker.

It has been suggested sometimes that this lodge might economically unite with Palgrave, but the old rivalry seems not to have been forgotten and more than one of the Enniskillen Orangemen has been heard to declare that he "would rather go all the way over to Mono Mills".

After the Black Horse lodge surrendered warrant No. 613 this was taken up by a Toronto lodge organized on 30th April, 1877, and named in honour of Hillyard Cameron. Robert Birmingham, son-in-law of Cameron's friend, campaign organizer and Grand Secretary, was its first master; D. Bowes, late district master of Montreal, was first treasurer, and J. B. Fleming, Birmingham's brother-in-law, was first secretary.

Not far south of Enniskillen, at Palgrave, John Rutledge comes upon a lodge representing a long Orange tradition. The surviving members of two or three defunct lodges have turned in their papers here.

Among these was Victoria L.O.L. No. 148 which first met at Castlemore. William Carfoot, as master, represented it at county lodge in 1834. William Hassard took out its parchment warrant in 1845, and Carfoots, Parris, Fullertons, McLroys or McElroys, and McCombs, kept it going until the early fifties.

In 1855, James Harkins became worshipful master, holding office for three years. His appointment may coincide with a move northward. When Albion district was "divided into 3 sections for funeral purposes", No. 148 was grouped with two Bolton lodges and Black Horse, rather

MACVILLE

101

than with Tullamore. For some years after Harkins's retirement, James Shaw and David Loughed alternated as masters, and representatives to Grand Lodge included William Strachan and William Sparrow of Albion and Macville.

Certainly by 1866, it is confirmed by the Doupe directory that Macville was the place of meeting. Robert Henry Booth, proprietor of Macville inn and future Fenian Raid veteran, who, in 1854, 1856-7, and 1859-61, headed up L.O.L. No. 455, doubtless joined No. 148 soon after it

320

FROM THE BOYNE TO BRAMPTON

to be sold and divided among members in good standing. A few months later, the minutes of this meeting were fortunately rescinded, the mover being Robert Shaw, Jr., later county master, the first to receive a county master's jewel on his retirement. In the following year, the hall was cleaned, papered and painted, and the lodge started out on a new lease of life. The membership, which in 1899 had fallen to fourteen, rose to the thirties, and the danger was past.

It is pleasant to the visitor to find a lodge in the history of which, if there are few high lights, there are few very heavy shadows. James L. Hughes L.O.L. No. 61 is a striking example of the truth of that old saying, "Happy the man who has no history". Its progress has been quiet but sure and it still prospers with some forty members, little less than its maximum membership.

Further south again John lingers at Grahamsville to recall old days that are unforgotten and unforgettable. There stood the tavern, now the United Church parsonage; there the shop; yonder was where he first paused after that long pull up the stump road from York a century ago. But Grahamsville L.O.L. No. 142, that first offshoot of his own old lodge, has disappeared.

The visitor from the past is naturally disappointed, although even in his lifetime this lodge had belonged more to The Gore of Toronto than to Toronto township. There were Grahams among the membership, of course, including in 1836 two Thomases, one treasurer and the other first committeeman. Thomas Brown Phillips also represented this lodge in 1840 and it is possible that Edward Watkins, the treasurer in 1841, was related to Benjamin Watkins who married Phillips's daughter Mary Ann. Nevertheless, a majority of officers came from The Gore. Joseph, Henry, Robert, William, and John Bell were from Malton, as was Henry Cole, although on the Toronto township side. Others from The Gore were John McDonald, Samuel Shaw, Richard Cook, Andrew Nixon, and John Harper.

Still, these were all good men. Robert Bell, keeper of the Magnet hotel, Grand Committee-man in 1857, was later to serve as clerk and as township treasurer for a number of years, and at the time of Confederation was appointed captain of the Grahamsville Militia Company. Robert's

Mentions of members of Shaw family in Perkins Bull book on the Orangemen.
Source: William Perkins Bull, "From Boyne to Brampton," (1936), 302, 303 and 320.
Accessed digitally from Brampton Public Library.

APPENDIX

SUPPORTING DOCUMENTS

60314

Sent to Mrs. J. G. Julian,
MALTON R. R. 3,
Ontario.

FAMILY HISTORY

Name? *My parents, James Shaw & Jane Shaw (no relation)*

Lot and Concession? *Lot 14 Sec 8, V. 2, Gore & Toronto*

Date of birth? *1827 in New York* Date of death? *1894 & 1902*

Place of burial? *Salem Cemetery, Alliston Township*

Parents? *Robert Shaw & Alice Lockhart (his second marriage)*

Where did they live? *Lot 14 Sec 8 Gore & Toronto*

From where did they come and when? *Sligo Ireland 1823*

Wife's name? *Alice Lockhart*

Wife's father's name? *Lockhart*

Wife's father's place of residence? *Sligo Ireland*

Robert Shaw b. 1800 Robert Shaw death 1880

Date of wife's birth? *1800* Date of wife's death? *1891*

Place Date of wife's burial? *Harrison Sligo Ireland*

What was Robert Shaw's Occupation? *Farmer*

Religion? *Methodist*

Politics? *Conservative*

What offices did he hold in the Community, Township, County, Province, School and Church? *Collector of Taxes.*

His Grandson R. A. Shaw was councillor for

Wentworth Gore or in 1880

To what Societies or Military Organizations did he belong?

Information from the Shaw Family File 2
Source: William Perkins Bull Fonds, Region of Peel Archives



Gravestone of Robert Shaw and Alice Lockhart at Harrison United Cemetery, Brampton
Source: John Wilson, <https://www.findagrave.com/memorial/180549949/robert-shaw>



Gravestone of James and Jane Shaw at Salem United Primitive Methodist Cemetery, Brampton
Source: SD Cowan, <https://www.findagrave.com/memorial/179676918/james-shaw>

APPENDIX
SUPPORTING DOCUMENTS

166

SCHEDULE C.—DEATHS.

County of No. 7 Division of No. 1

Name and Surname of Deceased.	Robert Shaw		
When Died.	20th December 1881		
Sex—Male or Female.	M		
Age.	78 years		
Rank or Profession.	Farmer		
Where Born.	Ireland		
Certified cause of Death, and duration of Illness.	Pleurisy 7 days		
Name of Physician, if any.	Dr Glendinning		
Signature, Description and Residence of Informant.	Dr Glendinning Sullamora		
When Registered.	20th December 1881		
Religious Denomination of Deceased.	Methodist		
Signature of Registrar.	W. Harrison		

Robert Shaw Death Certificate - 1881
Source: Archives of Ontario. Registrations of Deaths, 1869-1948. Accessed from Ancestry.ca

[illegible]

2120 arrived:-
 Gave of Toronto N. P.
 Can. & Nat. 13 etc. 1875.

1000 km orange rot 7. Cat. 202 ac. 1850.

Page 287 of 709
12 ROSEGARC

APPENDIX

SUPPORTING DOCUMENTS

NAME? *James Shaw* -2- LOT & CON.? *Lot 14 Con 8 N.D. 2nd* 00515

CHILDREN? (IF ANY) Please list as follows:

(1) Name	(2) Date of birth	(3) Place of residence	(4) Date of death	(5) Place of burial	(6) To whom married
(1) Robert Andrew	(2) 1853	(3) Lot 14 Con 8	(4) 1911		
(5) Salmon		(6) Annie Longhead 1882			Jessie Hamilton 1892
(1) Alice Jane	(2) 1857	(3) Toronto	(4) 1901		
(5) Prospect Cemetery		(6) J. Walker Hiley			
(1) Charlotte Ann	(2) 1855	(3) Lot 14 Con 8	(4) 1877		
(5) Salmon		(6) Not married			
(1) Mary Rebecca	(2) 1860	(3) Malton	(4) 1915		
(5) Brookmanville		(6) John Lusk Hixon			
(1) Eliza Jane	(2) 1862	(3) Toronto	(4) 1915		
(5) Prospect Cemetery		(6) Joseph Lusk Hixon			
(1) Sarah	(2) 1864	(3) Bolton	(4) +		
(5) Lusk Hixon		(6) Harriet James M. Lusk			
(1) Mary Jane	(2) 1865	(3) Lot 14 Con 8	(4) +		
(5) Prospect Cemetery		(6) J. Lusk Hixon			

ALSO OWNED:

ANY FURTHER INFORMATION:

These are the children of my father and mother. All are now deceased.

List of James Shaw's Children. Information from the Shaw Family File 2
Source: William Perkins Bull Fonds, Region of Peel Archives

APPENDIX SUPPORTING DOCUMENTS

TOWNSHIP OF GORE OF TORONTO. 60505			
NAME	DATE OF BIRTH	NATIVITY	OCCUPATION.
Shaw, Jas.	1830.	United States	Farmer.

Was son of Robt. Shaw, who settled on lot 14, Con. 8, 1830 and later owned the farm. His house was twice burnt down. Mrs. J. C. Julian has a photo of Robt. Shaw and his wife, taken 63 yrs. ago, also James Shaw taken the same date - taken in Brampton.

Information from the Shaw Family File 3
Source: William Perkins Bull Fonds, Region of Peel Archives

"The Conservator." Aug. 22nd, 1912. 60353

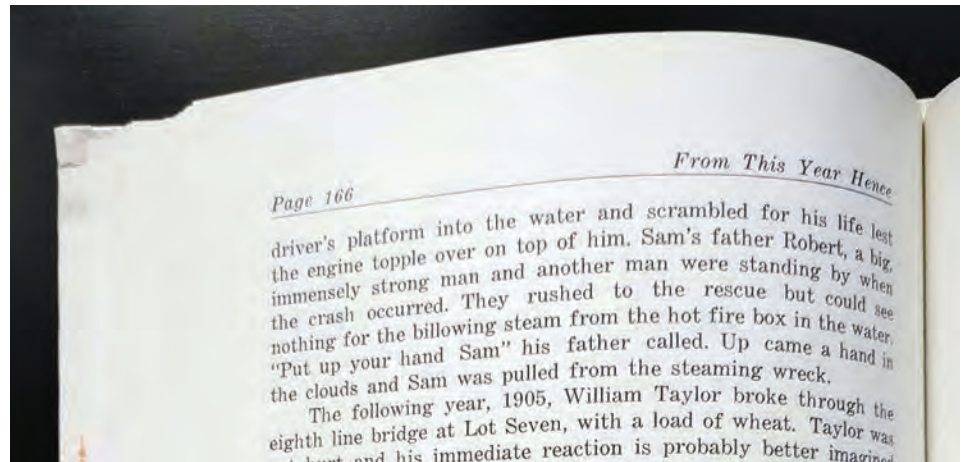
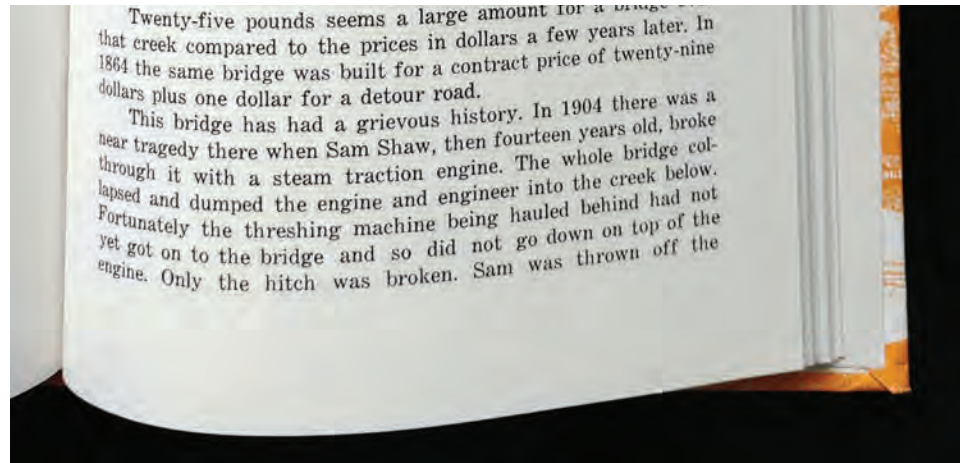
Samuel Shaw.

To live for eighty years on the farm where he was born was the unusual experience of Samuel Shaw, a well-known farmer of Toronto Gore, who passed peacefully away on Friday of last week. Mr. Shaw was born on lot 14, con. 8, Toronto Gore and spent his long and useful life there honored and esteemed by a host of neighbors and friends. His father had a crown deed of the farm, and there the son grew to manhood, was married and brought up a family of five sons and one daughter. The latter is Mrs. T. Brown, whose husband was killed about a year ago and the sons are Messrs. Robert and George Shaw, of the Gore, James and Andrew, of Calgary and Wm. who resides near Winnipeg. Mr. Shaw was a member of the Methodist Church and in politics was a Conservative. The funeral took place on Sunday afternoon, Rev. Philip Jones of Long Beach, having charge of the services. A large number of friends and relatives attended the funeral.

Obituary of Samuel Shaw from the Shaw Family File 2
Source: William Perkins Bull Fonds, Region of Peel Archives

APPENDIX

SUPPORTING DOCUMENTS



Story of accident at the bridge over Salt Creek
Source: George Tavender, "From This Year Hence: A History of the Township of Toronto Gore"
(1983), 165-166.

APPENDIX
SUPPORTING DOCUMENTS

Sale of Toronto - N. D. S. S. Henderson
 Can. 8 Lot 14 60484
 26 Feb. 1880, 50 ac. acquired for \$5.00
 by
 Robert Andrew Shaw
 b. 1846 - - - - - Buried Salem Cem.
 s. of Robert and Jane Shaw
 m. 1st Mary ^{as above}
 dau. of Robert Longhead, Buried Salem
 Cem. ^{action and 2. Lot 7.} Jane Lindsey
 m. 2nd ⁽¹⁸⁶⁵⁻¹⁹²⁸⁾ Buried
 Gemina Hewson ^{Salem Cem.}
 John & Jane Hewson, Chingachewy &
 Family: ^{Can. 5. Lot 16.}
 E.

Information on Robert A. Shaw from the Shaw Family File 2
 Source: William Perkins Bull Fonds, Region of Peel Archives

APPENDIX

SUPPORTING DOCUMENTS

Anna Newson, ^{com.} day. 7
 John & Jane Newson, Chingacumung &
 Can. 5. Lot 16.
 Family:
 Edward
 Gladstone)
 Melville)
 Mrs. Edith Kellam Woodbridge.
 P. O. P. of Casper Royal Black Preceptory.
 Overseer Highways
 Councilor
 U. C. & L.
 Also owned:
 See also below.
 Town of Toronto N. D.
 Can. 9. Lot 19 66 a.s. 1883

Information on positions/offices held by Robert A. Shaw from the Shaw Family File 2
 Source: William Perkins Bull Fonds, Region of Peel Archives

SUPPORTING DOCUMENTS

SCHEDULE B.—MARRIAGES.			
County of <i>Cal</i>		Division of <i>Brampton</i>	
<i>50100163</i>	<i>50100163</i>	<i>50100163</i>	<i>50100163</i>
His Name.	<i>Robert and Shaw</i>	<i>Mr. Beathurst</i>	<i>Chas. Hill</i>
Age.	<i>29 yrs</i>	<i>27 yrs</i>	<i>24</i>
Residence when Married.	<i>Leeds Grove</i>	<i>Calburn</i>	<i>Orangeville</i>
Place of Birth.	<i>Leeds Grove</i>	<i>Albion Ontario</i>	<i>Orangeville</i>
Residence in Ontario (i. e. in N. S.)	<i>13</i>	<i>13</i>	<i>13</i>
Rank or Profession.	<i>Farmer</i>	<i>Farmer</i>	<i>Wentworth</i>
Name of Parents.	<i>James Shaw</i> <i>James Shaw</i>	<i>Wm. Beathurst</i> <i>Eliza Beathurst</i>	<i>George Hill</i> <i>Lucy Hill</i>
Her Name.	<i>George and George</i>	<i>Eliza Beathurst</i>	<i>Eliza Beathurst</i>
Age.	<i>24 yrs</i>	<i>22 yrs</i>	<i>24 yrs</i>
Residence when Married.	<i>Albion</i>	<i>Calburn Ont</i>	<i>Brampton</i>
Place of Birth.	<i>Albion</i>	<i>Calburn Ont</i>	<i>Hamilton</i>
Signature or Mark (i. e. in N. S.)	<i>S.</i>	<i>S.</i>	<i>S.</i>
Name of Parents.	<i>Robert and George</i> <i>Leeds Grove</i>	<i>Wm. Beathurst</i> <i>Eliza Beathurst</i>	<i>George Hill</i> <i>Lucy Hill</i>
Name and Residences of Witnesses.	<i>Wm. Taylor</i> <i>Leeds Grove</i> <i>Eliza M. Thompson</i>	<i>Wm. Beathurst</i> <i>Calburn</i> <i>Wm. Beathurst</i> <i>Calburn</i>	<i>Wm. Beathurst</i> <i>Calburn</i> <i>Wm. Beathurst</i> <i>Calburn</i>
Date and Place of Marriage.	<i>Albion</i> <i>May 17th 1882</i>	<i>24 May 1882</i> <i>Brampton</i>	<i>24 May 1882</i> <i>at Brampton</i>
Religious Denomination of Bridegroom.	<i>D. Methodist</i>	<i>Methodist</i>	<i>Methodist</i>
Religious Denomination of Bride.	<i>P. Methodist</i>	<i>Methodist</i>	<i>C. Methodist</i>

Certificate of Marriage between Robert A. Shaw and Mary Anne Lougheed
Source: Archives of Ontario. Registrations of Marriages, 1869-1928.
Accessed from Ancestry.ca

388

DEATHS

DEATHS

County of *Del*

Division of *San Antonio*

FULL NAME of the deceased		Residence at date of death	Residence at date of birth	Residence at date of death
1	2	3	4	5
6	7	8	9	10
11	12	13	14	15
16	17	18	19	20
21	22	23	24	25
26	27	28	29	30
31	32	33	34	35
36	37	38	39	40
41	42	43	44	45
46	47	48	49	50
51	52	53	54	55
56	57	58	59	60
61	62	63	64	65
66	67	68	69	70
71	72	73	74	75
76	77	78	79	80
81	82	83	84	85
86	87	88	89	90
91	92	93	94	95
96	97	98	99	100

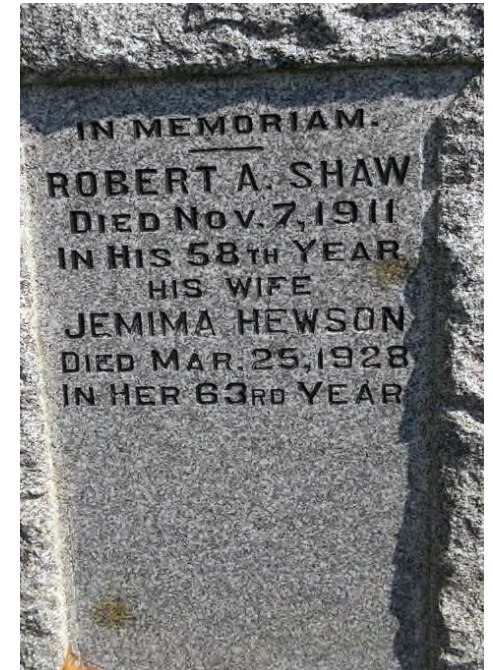
Medical Certificate of Death.
I hereby certify that I attended the deceased.

Medical Certificate of Death.
I hereby certify that I attended the deceased.

Medical Certificate of Death.
I hereby certify that I attended the deceased.

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200

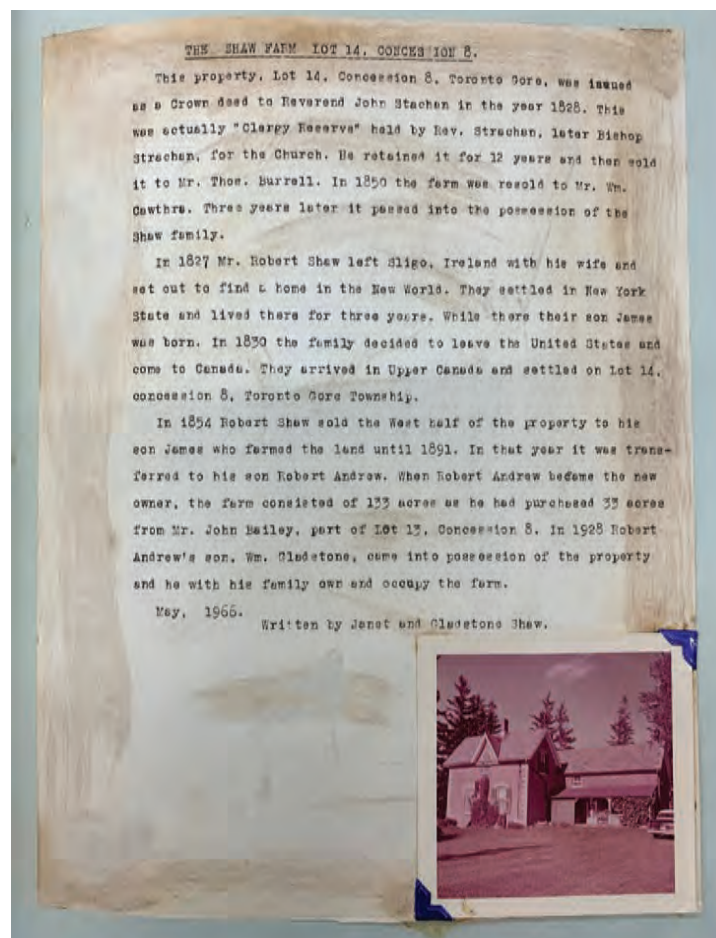
Robert A. Shaw Death Certificate - 1911
Source: Archives of Ontario. Registrations of Deaths, 1869-1948.
Accessed from Ancestry.ca



Gravestone of Robert A. Shaw and Jemima Hewson at Salem
United Primitive Methodist Cemetery, Brampton
Source: SD Cowan, [https://www.findagrave.com/
memorial/179676803/robert-a-shaw](https://www.findagrave.com/memorial/179676803/robert-a-shaw)

APPENDIX

SUPPORTING DOCUMENTS



Tweedsmuir History of the Shaw Farm
Source: Castlemore Women's Institute Tweedsmuir. Courtesy of Peel Region Archives.

APPENDIX

SUPPORTING DOCUMENTS

60362

E. Shaw was appointed as one of the Directors for Albion Twp. of the "Peel County Alfalfa Seed Producers' Assoc.", when the Assoc. was organized April 6th, 1923--according to THE CONSERVATOR, April 12th, 1923. (See CROP file, under Alfalfa).

E. Shaw, Mono Road, was elected President of the Peel Seed Growers Co-Operative, Limited, when it was organized in July 1927 -- See copy of article from THE CONSERVATOR, July 14th, 1927, which is filed in CROP file.

E. J. Shaw was appointed Manager of the Peel Seed Growers Co-Operative Limited for the year 1931, according to the 1931 list of officers (filed in CROP file).

E.J. Shaw. Mono Road,

Holstein cattle breeder, according to List in Holstein file.

Albion
Con. 3 Cat 7
1 Pk. 1920 w $\frac{1}{2}$ 10000 caught for \$500.00
by
Everard J. Shaw
b.
s. of Robert A. Shaw
Gore of Toronto A.D. Con. 8, Cat 14.
M. Mabel Amoskang

S.P. Henderson
Aug. 22. 60457

Information on Everard Shaw from the Shaw Family File 2
Source: William Perkins Bull Fonds, Region of Peel Archives

APPENDIX
SUPPORTING DOCUMENTS

FROM Livestock File

60387
Like most counties where dairy farming is a feature there are not many sheep raised. There might be a good many more of them profitably produced on the higher land about the Caledon hills. There are a few pure bred flocks. George Downey and Norman Campbell of Bolton and W.G. Shaw of Mono Road breed Shropshires, and Wm. Tilt of Brampton and Geo. Cameron of Alton, have Oxfords.

60404
(100)
Stallion Owners in Peel County - continued

<u>Owner</u>	<u>Address</u>
W.G. Shaw,	Mono Road,

<u>Year</u>	<u>Breed</u>
1927	1 Clyde.
1928	1 Clyde.
1929	1 Clyde.
1930	1 Clyde.
1931	1 Clyde.
1932	1 Clyde.

Barney of Mont
Airy
Clydesdale W.G.Shaw
Mono Road 1932

Information on livestock kept by Gladstone Shaw from the Shaw Family File 2
Source: William Perkins Bull Fonds, Region of Peel Archives

APPENDIX SUPPORTING DOCUMENTS

Instructions to Person Solemnizing Marriage:

SPECIAL ATTENTION IS DIRECTED TO THE EXCERPTS FROM THE MARRIAGE ACT SET FORTH AT THE RIGHT OF AFFIDAVIT HEREIN.

EXCEPT as in The Marriage Act provided, any person who solemnizes a marriage earlier than the third day after the day of the date of this License shall be guilty of an offence and shall incur a penalty of not more than \$100.

After solemnizing the marriage, fill in all the blank spaces below and forward this LICENSE FORTHWITH to the REGISTRAR-GENERAL, TORONTO.

18878

I Certify that I solemnized the marriage of—

Bridegroom Wilfred Gladstone Shaw

Bride Janet Bell Standing

in the presence of

Witness Vera Watson

Address Albion St. (Moss Road RR.)

Witness Melville Shaw

Address Moss Road RR. (Toronto Gore.)

in the Township of Caledon in the County of Peel ONTARIO

on the 3rd day of March 1928.

Name of Bridegroom's Father Robert Andrew Shaw

Maiden Name of Bridegroom's Mother Jessima Hudson

Name of Bride's Father Robert Standing

Maiden Name of Bride's Mother Margaret Bell

REGISTRATION NO. 2680 William Smider Ison

Address Moss Road, Ont.

Denomination United Church of Canada

For statistical purposes, please furnish the following information:—

Birthplace of Bridegroom's Father Toronto Gore

Birthplace of Bride's Father Inglewood

Can Bridegroom read? Yes write Yes

Can Bride read? Yes write Yes

Affidavit required by provision of The Marriage Act before License is granted.

(a) Janet Bell Standing Wife Inglewood
Wilfred Gladstone Shaw husband Toronto Gore

in the County of Peel in the Province of Ontario

make oath and say as follows:—

That, for the space of fifteen days*** immediately preceding the date of this affidavit, Wilfred Gladstone Shaw husband Inglewood Peel Ontario was in full of deposit of the other contracting party.

THAT, I believe there is no affinity, consanguinity, prior marriage or other lawful cause or legal impediment to bar or hinder the solemnization of the marriage, and

THAT the contents set forth herein are to the best of my knowledge, information and belief, true in every particular.

NAMES in full	WILFRED GLADSTONE SHAW	JANET BELL STANDING
OCCUPATION	Farmer	School teacher
AGE AND CONDITION IN LIFE	30 Bachelor	27 Spinster
RELIGIOUS DENOMINATION	United Church	United Church
RESIDENCE WHEN MARRIED	Toronto Gore	Toronto Gore
PLACE OF BIRTH	Toronto Gore	Inglewood
INTENDED PLACE OF MARRIAGE	Moss Road	County of Peel

Sworn before me at the Town of Brampton Janet Bell Standing Wilfred Gladstone Shaw (Signatures of Deponent)

in the County of Peel this 29 day of February 1928

Chas. C. Kitch Issued of Marriage Licenses at Brampton

(a) If the affidavit is made by both parties, insert here the name, address and occupation of the other party. Where both the parties to the intended marriage attend before the issuer and each of them makes the affidavit required by sub-section 1, the issuer may in his discretion dispense with the proof required by sub-section 5.

***If either of the parties is under the age of 18 years, the consent in writing of the person whose consent is required must be produced and attached to the above affidavit. (The Marriage Act, Sec. 10.) (S. 10, c. 10, s. 2.)

***If neither of the parties has resided in Ontario for 15 days immediately preceding the date of this affidavit and the intention has not been advertised, a Permit to issue must be obtained from the Provincial Secretary. A fee of \$5.00 is charged for such permit. (See Sec. 15, s. 1, amended.)

EXCERPTS FROM THE MARRIAGE ACT

2. (1) The Provincial Secretary shall from time to time, on application made to him according to forms prescribed by the Lieutenant-Governor in Council, or to the like effect, which application may be made by the ecclesiastical authority or authorities of the church, religious denomination or congregation to which he belongs, register such person as authorized to solemnize marriage and may issue one or more certificates of such registration to any person so registered or otherwise and may include therein the name of any number of persons so registered.

18. If any person not registered with and certified by the Provincial Secretary, as hereinbefore provided, solemnizes or undertakes to solemnize any marriage, he shall incur a penalty of \$500 and shall also be liable to imprisonment for any term not exceeding twelve months, but such penalties shall be recoverable or imposed only by action at the suit of the Crown.

Certificate of Marriage between Wilfred Gladstone Shaw and Janet Bell Standing
Source: Archives of Ontario. Registrations of Marriages, 1869-1928.
Accessed from Ancestry.ca

APPENDIX

SUPPORTING DOCUMENTS

SHAW, Wilfred Gladstone — At Peel Memorial Hospital, Brampton, on Tuesday, August 21, 1990. W. Gladstone, in his 93rd year. Beloved husband of Janet B. Standing. Dear father of Barbara and her husband Hugh H. Miles and Ronald W. Shaw. Dear brother of Melville Shaw. Predeceased by his brother Everard J. Shaw and sister Edith J. Kellam. Friends will be received at the Archdekin Funeral Home, 289 Main Street North (Hwy. 10), Brampton on Wednesday 2-4:30 and 7-9 p.m. Funeral service will be held in the chapel on Thursday, August 23, 1990 at 2:00 p.m. Interment Brampton Cemetery. If desired remembrances may be made to the charity of choice.

Obituary of Wilfred Gladstone Shaw
Source: *The Globe & Mail*, August 22, 1990. ProQuest Historical Newspapers.
Accessed via Brampton Library Digital Resources.

APPENDIX

ALEXANDER TEMPORALE CV

Alexander Louis Temporale, B.Arch., O.A.A., F.R.A.I.C

Education

University of Toronto, B.Arch.

Background

Alexander Temporale has had a long history of involvement in heritage conservation, downtown revitalization, and urban design. As a founding partner of Stark Temporale Architects, Mr. Temporale was involved in a variety of restoration projects and heritage conservation studies, including: the Peel County Courthouse and Jail Feasibility Study, the Brampton Four Corners Study and the Meadowvale Village Heritage District Study. The study led to the creation of the first heritage district in Ontario.

His involvement and interest in history and conservation resulted in a long association with the heritage conservation movement, as a lecturer, resource consultant, and heritage planner. He was a member of the Brampton Local Architectural Conservation Advisory Committee, a director of the Mississauga Heritage Foundation, and chairman of the Mississauga LACAC Committee. As a member of LACAC, Alex Temporale was also a member of the Architectural Review Committee for Meadowvale Village. He is also a former Director of the Columbus Centre, Toronto and Visual Arts Ontario. Mr. Temporale has been a lecturer for the Ontario Historical Society on Urban Revitalization and a consultant to Heritage Canada as part of their "Main Street" program.

In 1982, Alexander Temporale formed his own architectural firm and under his direction the nature and scope of commissions continued to grow with several major urban revitalization studies as well as specialized Heritage Conservation District Studies. His work in this field has led to numerous success stories. The Oakville Urban Design and Streetscape Guidelines was reprinted and used for approximately 20 years. The study of the Alexander Homestead (Halton Region Museum Site) led to the Museum's rehabilitation and a significant increase in revenue. The Master Plan reorganized the site and its uses, as well as facilitating future growth. During this time, Alex received numerous awards and his contribution to architecture was recognized in 2007 in

becoming a Fellow of the Royal Architectural Institute of Canada. Many projects have become community landmarks, received awards or been published. These include Lionhead Golf Clubhouse, Brampton; the Emerald Centre, Mississauga; St. David's Church, Maple; Gutowski Residence, Shelburne; Martin Residence, Mississauga and Stormy Point, Muskoka, to name a few.

Mr. Temporale is recognized at the OMB as an expert in urban design and restoration architecture. He is a member of the advisory committee of Perspectives, a journal published by the Ontario Association of Architects. He is a frequent author on design issues. He has also authored numerous urban design studies and heritage studies for a variety of municipalities i.e. Brantford, Grimsby, Brampton, Flamborough and Burlington. The firm has been a recent recipient of the Lieutenant Governor's Award for Excellence in Conservation and the National Heritage Trust's Award for Heritage Rehabilitation of Oakville's historic Bank of Montreal Building. Below are other previous offices held:

Past Offices

- > Jurist, 2010 Mississauga Urban Design Awards
- > Chairman, Mississauga Local Architectural Conservation Advisory Committee
- > Director, Visual Arts Ontario
- > President, Port Credit Business Association
- > Director, Brampton Heritage Board
- > Director, Mississauga Heritage Foundation
- > Director, Columbus Centre
- > Director, Villa Columbo, Toronto
- > Resource Consultant, Heritage Canada

APPENDIX

ALEXANDER TEMPORALE CV

Heritage Assessment and Urban Design Studies

- › High Park Forest School Retrofit Feasibility Study, Toronto
- › 2494 Mississauga Road Heritage Impact Assessment, Mississauga
- › 1187 Burnhamthorpe Road East Heritage Assessment, Oakville
- › 103 Dundas Street Heritage Assessment, Oakville
- › 3060 Seneca Drive Heritage Assessment, Oakville
- › 491 Lakeshore Road (Captain Morden Residence) Heritage Assessment, Oakville
- › 2347 Royal Windsor Drive Heritage Assessment, Oakville
- › 107 Main St. E. Heritage Assessment, Grimsby
- › 74 & 76 Trafalgar Road Heritage Assessment and Urban Design Brief, Oakville
- › 7005 Pond Street Heritage Assessment, Meadowvale
- › 7015 Pond Street (Hill House) Heritage Assessment, Meadowvale
- › 44 and 46 Queen Street South Heritage Assessment, Streetsville
- › 264 Queen Street South (Bowie Medical Hall) Heritage Assessment, Streetsville
- › Fred C. Cook Public School Heritage Assessment, Bradford West Gwillimbury
- › Harris Farm Feasibility Study, City of Mississauga
- › Benares Condition Assessment Report, City of Mississauga
- › Lyon Log Cabin Relocation, Oakville, Ontario
- › 42 Park Avenue Heritage Assessment, Oakville, Ontario
- › The Old Springer House Heritage Assessment, Burlington, Ontario
- › 2625 Hammond Road Heritage Impact Study, Mississauga, Ontario
- › 153 King Street West Heritage Assessment, Dundas, Ontario
- › Brampton Civic Centre Study, Brampton, Ontario
- › 139 Thomas Street Heritage Impact Study, Oakville, Ontario
- › Historic Alderlea Adaptive Reuse and Business Case Study, Brampton, Ontario
- › Trafalgar Terrace Heritage Impact Study, Oakville, Ontario
- › Binbrook Heritage Assessment, Glanbrook, Ontario
- › Fergusson Residence, 380 Mountainbrow Road, Burlington, Ontario, Heritage Assessment
- › Canadian Tire Gas Bar, 1212 Southdown Road, Mississauga, Ontario, Heritage
- › Donald Smith Residence, 520 Hazelhurst Road, Mississauga, Ontario, Heritage Assessment
- › Hannon Residence, 484 Brant Street, Burlington, Ontario, Heritage Assessment
- › Bodkin Residence, 490 Brant Street, Burlington, Ontario, Heritage Assessment
- › Fuller Residence, 8472 Mississauga Road, Brampton, Ontario, Heritage Assessment
- › 1953 Creditview Road, Chinguacousy Township, Brampton, Ontario Assessment
- › Historic Meadowvale Village Inventory/Heritage Assessment Study (Stark Temporale)
- › Brampton Four Corners Urban Design Study (Stark Temporale)
- › Erindale Village Urban Design Study (Stark Temporale)
- › Oakville Downtown Urban Design and Site Plan Guidelines Study
- › Burlington Downtown, Urban Design and Façade Improvement Study
- › Burlington East Waterfront Study
- › Victoria Park Square Heritage District Study, Brantford
- › Bullock's Corners Heritage Conservation District Study, Town of Flamborough
- › Brant Avenue Heritage Conservation District Study, Brantford
- › Urban Design Guidelines for Infill Development, Town of Oakville
- › 111 Forsythe, OMB Urban Design Consultant, Town of Oakville
- › Trafalgar Village Redevelopment, Urban Design Consultant, Town of Oakville
- › Eagle Ridge (Three Condominium Towers) Development, Urban Design Consultant
- › Trafalgar Market Redevelopment, Urban Design Consultant, Town of Oakville
- › St. Mildred Lightbourne Private School Expansion, Urban Design Consultant, Town of Oakville
- › OPP Academy (Art Deco Heritage Building), Feasibility Study, City of Brampton
- › Kennedy Road, Victorian Farmhouse Study, City of Brampton
- › Chisholm Estate Feasibility Study, City of Brampton
- › Urban Design Guidelines, Hurontario and 403, Housing for Ontario Realty Corporation, Mississauga
- › Urban Design Study Canadian General Tower Site, Oakville
- › Port Credit Storefront Urban Design Study (Townpride)
- › Port Credit Streetlighting Phases I and II, Lakeshore Road
- › Urban Design Study for the Town of Grimsby Downtown Area
- › Clarkson Village Community Improvement Study as a member of the Townpride Consortium

APPENDIX

ALEXANDER TEMPORALE CV

- › Richmond Hill Downtown Study, as a member of the Woods Gordon Consortium
- › Heritage Building, 108 - 116 Sparks Street, Ottawa, Feasibility Study for National Capital Commission
- › Niagara Galleries Project, Niagara-on-the-Lake, Design Concept/Feasibility Study
- › Aurora Library/Public Square Study (Townpride)
- › Oakville Dorval Glen Abbey Study of High Density Residential
- › Halton Regional Museum (Feasibility Study and Master Plan) Phase I construction including conversion of the Alexander Barn to Museum and Exhibits Building to Visitor Centre.

Partial List of Heritage Restoration Projects

- › St Mark's Church Restoration/Rehabilitation, Hamilton
- › Pinchin Barn Foundation Repairs & Landscape Improvements, Mississauga
- › Stewart Memorial Church Heritage Grant Application Package, Hamilton
- › 126-128 Lakeshore Road East Façade Restoration, Oakville
- › Oakville Radial Railway Station, Contract Drawings, May construction start, Oakville
- › Old Springer House, Addition Design, Burlington
- › 505 Church and Wellesley, Schematic Design, Rehabilitation and Addition, Toronto
- › Adamson House Roof Repair, Mississauga
- › Restoration/Maintenance of 4 City of Mississauga Properties, Adamson Estate, Restoration Benares Historic House, Derry House and Chappell Estate
- › The Old Springer House Renovation and Replacement of Existing Banquet Hall, Burlington, Ontario
- › Historic Bank of Montreal Building, Restoration and Addition, Oakville, Ontario
- › Fergusson House Restoration, Burlington, Ontario
- › Bovaird House Window Restoration, Brampton, Ontario
- › Vickerman Residence Renovations Design, Oakville, Ontario
- › Ontario Agricultural Museum, Master Plan Revisions (Stark Temporale with Prof. Anthony Adamson)
- › Restoration of Lucas Farmhouse and Women's Institute (Stark Temporale with Prof. Anthony Adamson).
- › Backus Conservation Area, Master Plan of Historical Museum (Stark Temporale)
- › Peel County Courthouse & Jail Feasibility Study (Stark Temporale)
- › Port Credit Streetscape Improvements (Stark Temporale)
- › Miller Residence, Stone Farmhouse, Brampton (Stark Temporale)
- › Salkeld Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- › Bridges Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- › Graff Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- › Sheridan Day Care Centre, Late Victorian Farmhouse (Stark Temporale)
- › St. Paul's Church Renovation/Restoration, Brampton (Stark Temporale)
- › McInnis Residence, Second Empire Style Renovation/Addition, Brampton (Stark Temporale)
- › Shore Residence, Main Street, Victorian Addition/Renovation Brampton (Stark Temporale)
- › Watts Residence, Late Victorian, Renovation and Addition, Brampton
- › Faculty Club Renovations and Interiors, Heritage Building, University of Toronto
- › Cawthra Elliot Estate Conference Centre (Feasibility Study; Restoration and Renovations), Mississauga
- › Springbank Centre for the Visual Arts, Renovation Phases I-IV, Mississauga
- › Wilcox Inn Renovations and Restoration, Mississauga
- › Chappel Riverwood Estate, Restoration and Alterations Concepts for residential use
- › Thomas Street Mews, Streetsville, conversion of existing heritage residence to shops
- › Owens-Baylay House, Mississauga, relocation and renovation to designated Century Farmhouse
- › Queen Street Store, Streetsville, exterior restoration and renovations/addition
- › Atchinson Residence, Brick Late Victorian, Brampton
- › Cameron Residence, Design Victorian, Brampton
- › Reid Residence, Victorian Farmhouse, Caledon
- › Stonehaven Farm, restoration of stone heritage building, Ajax
- › National Competition: Spark Street Mall (Honourable Mention)
- › Strathrobyn Feasibility Study and Restoration Project, Defence Canada, Toronto
- › Medical Arts Building, Toronto, Feasibility Study and Restoration of Art Deco Lobby
- › Heritage Strategy for City of Brampton re Municipality owned heritage buildings.

APPENDIX

RYAN LEE CV

Ryan C. Lee, M. Arch, B. Arch Sci. OAA, MRAIC, CAHP
Associate Architect

Education

Master of Architecture/Toronto Metropolitan University / Toronto, Ontario/
2013-2016

Bachelor of Architectural Science/ Toronto Metropolitan University/ Toronto,
Ontario/ 2009-2013

Associations

- > Architect OAA (Ontario Association of Architects)
- > Member RAIC (Royal Architect Institute of Canada)
- > Member CAHP (Canadian Association of Heritage Professional)
- > Member TSA (Toronto Society of Architects)
- > Member ACO (Architectural Conservancy Ontario)

Heritage Assessment/Impact Study

- > 789-795 Brant Street | Heritage Impact Assessment | Burlington, Ontario
- > 22,24,26,28,32 John Street | Heritage Impact Assessment | Mississauga, Ontario
- > 6181 Major Mackenzie Dr | Cultural Heritage Assessment | Vaughan, Ontario
- > Brampton Memorial Arena, 69 Elliot St | Heritage Impact Assessment/ Heritage Conservation Plan | Brampton, Ontario
- > 7593 Creditview Rd | Cultural Heritage Assessment/ Heritage Impact Assessment | Brampton, Ontario
- > 7605 Creditview Rd | Cultural Heritage Assessment/ Heritage Impact Assessment | Brampton, Ontario
- > 12 Rosegarden Dr | Cultural Heritage Assessment | Mississauga, Ontario
- > 181 Main St. Interpretation Plan | Georgetown, Ontario | Interpretation Plan
- > 181 Main St. Heritage Assessment | Georgetown, Ontario | Heritage

Assessment

- > 66 Queen St S | Cultural Heritage Assessment/ Heritage Impact Assessment | Mississauga, Ontario
- > Cedarvale Park, 181 Main St | Heritage Interpretation Plan/ Heritage > Implementation Plan | Georgetown, Ontario
- > 8331 Heritage Rd | Heritage Conservation Plan | Mississauga, Ontario
- > Cedarvale Community Centre Heritage Assessment and Heritage Impact Assessment
- > 181 Main St | Cultural Heritage Assessment and Heritage Impact Assessment | Georgetown, Ontario
- > Lowville Schoolhouse, 6207 Guelph Line | Heritage Impact Assessment | Burlington, Ontario
- > 5780 Cedar Springs Rd | Cultural Heritage Assessment | Burlington, Ontario
- > James McClure Farm | Cultural Heritage Assessment and Heritage Impact Assessment | Mississauga, Ontario
- > 7891 Churchville Road | Heritage Impact Assessment | Mississauga, Ontario
- > 36 Lake St | Heritage Impact Assessment | Mississauga, Ontario

Heritage Restoration

- > TDSB Rosedale Height School of Arts Entrance Gate Restoration | Restoration | Toronto, Ontario
- > Amos Wright House (Richmond Hill Heritage Centre), 19 Church St N | Restoration | Richmond Hill, Ontario
- > Shaw House (Robert Holland Interpretive Centre), 11715 Leslie St | Restoration | Richmond Hill, Ontario
- > Boynton House, 1300 Elgin Miss Rd E | Restoration | Richmond Hill, Ontario
- > 314 Mill St | Restoration | Richmond Hill, Ontario
- > Vanderburge House, 32 Hillview Ave | Restoration | Richmond Hill, Ontario
- > Richmond Hill Railway Station, 1378 Elgin Mills Rd E | Restoration | Richmond Hill, Ontario

APPENDIX

RYAN LEE CV

- > Guelph Bible Conference Centre, 485 Waterloo Ave | Renovation/Restoration | Guelph, Ontario
 - > Auchmar Estate Coach House, 88 Fennell Ave W | Renovation/ Restoration | Hamilton, Ontario
 - > Lowville Schoolhouse, 6207 Guelph Line | New Addition/ Restoration | Burlington, Ontario
 - > SMCD SB St. Monica Daycare Addition | New Construction Addition | Barrie, Ontario
 - > Appleby Collage Interior Renovation Residential Construction Colley House | Renovation | Oakville, Ontario
 - > Appleby Collage Interior Renovation Residential Construction Ballie House | Renovation | Oakville, Ontario
 - > Appleby Collage Interior Renovation Changeroom and Laundry | Renovation | Oakville, Ontario
 - > TDSB Indian Road Crest Public School Window Replacement | Exterior Renovation | Toronto, Ontario
 - > TDSB Knob Hill Public School Window and Door Replacement | Exterior Renovation | Toronto, Ontario
 - > TDSB Old Orchard Public School Storage Reconstruction | New Construction | Toronto, Ontario
 - > TDSB Wellsworth Public School Window and Door Replacement | Exterior Renovation | Toronto, Ontario
 - > TDSB Etobicoke CI Ceiling and Roof Reconstruction | Reconstruction | Toronto, Ontario
 - > TCDSB Nativity of Our Lord Window Replacement | Exterior Renovation | Toronto, Ontario
 - > TDSB Steelsview Gym Floor Refinish | Interior Renovation | Toronto, Ontario
 - > TDSB Lucy McCormick Ps Gym Floor Replacement | Interior Renovation | Toronto, Ontario
 - > TDSB RH McGregory Secondary School Gym Floor Renovation | Interior Renovation | Toronto, Ontario
 - > TDSB Roseland Jr Ps Portable Relocation | Relocation | Toronto, Ontario
 - > TDSB Knob Hill Public School Gym Floor Replacement | Interior Renovation | Toronto, Ontario
 - > TDSB Eastview Public School Gym Floor Replacement | Interior Renovation | Toronto, Ontario
- Projects: ATA Architects Inc. Heritage Conservation Review
- > Richmond Hill High School/ Old Town Hall at Richmond Hill Theatre 10268 Yonge St | Building Assessment Report | Richmond Hill, Ontario
- Projects: ATA Architects Inc. Heritage Reconstruction
- > Robinson Barn, 563 Bovaird Dr | Reconstruction | Brampton, Ontario
 - > Heritage Log House, 12259 Chinguacousy Rd | Reconstruction | Caledon, Ontario
- Projects: ATA Architects Inc. Heritage
- > Hamilton City Hall Plaza Security Renovation, 71 Main St W | Renovation | Hamilton, Ontario
 - > 129 Thomas St (Masonic Temple) | Residential New Construction/ Restoration | Oakville, Ontario
 - > 347 Queen St S New Residential | New Construction | Brampton, Ontario
 - > 273 Main St N New Daycare | New Construction | Brampton, Ontario
- Projects: ATA Architects Inc. Educational
- > TDSB St. Florance New Daycare | New Construction Addition | Toronto, Ontario
 - > TDSB St. Malachy New Daycare | New Construction Addition | Toronto, Ontario
 - > SMCD SB Our Lady of Lourdes Daycare Addition | New Construction Addition | Toronto, Ontario

APPENDIX

RYAN LEE CV

- | Toronto, Ontario
- > TDSB White Haven Public School Gym Floor Replacement | Interior Renovation | Toronto, Ontario
- > TDSB Grey Owl Public School Gym Floor Replacement | Interior Renovation | Toronto, Ontario
- > TDSB Downsview Secondary School Gym Floor Refinish | Interior Renovation | Toronto, Ontario
- > TDSB Willowdale Middle School Gym Floor Refinish | Interior Renovation | Toronto, Ontario
- > TDSB Calico Public School Gym Floor Refinish | Interior Renovation | Toronto, Ontario
- > Seneca School Gym Floor Replacement TDSB | Interior Renovation | Toronto, Ontario
- > Mill Valley Junior School Gym Floor Replacement TDSB | Interior Renovation | Toronto, Ontario
- > North Preparatory Junior Public School TDSB | Exterior Renovation | Toronto, Ontario
- > York University Department of Economics Office Renovation and New Addition | Renovation/ New Addition | Toronto, Ontario
- > York University Atkinson Building Student Lounge | Interior Renovation | Toronto, Ontario
- > TDSB Etienne Brule FDK Renovation | Renovation | Toronto, Ontario
- > TDSB Rosethorn Jr School FDK Renovation | Renovation | Toronto, Ontario
- > TDSB Carleton Village JSSWA FDK Renovation | Renovation | Toronto, Ontario
- > TDSB Carleton Village JSSWA Music Room Renovation | Renovation | Toronto, Ontario
- > TDSB Adam Beck Jr School FDK Renovation | Renovation | Toronto, Ontario
- > TDSB Keele Street Public School Classroom Acoustic Upgrade | Renovation | Toronto, Ontario
- > TDSB Fern Avenue Public School Music Room Renovation | Renovation | Toronto, Ontario
- > York University Housing Department Renovation | Interior Renovation | Toronto, Ontario
- > TCDSB St. Bridgit Interior Renovation | Renovation | Toronto, Ontario
- > TCDSB James Culnan Secondary School Interior Renovation | Renovation | Toronto, Ontario
- > TCDSB Madonna Secondary School Interior Renovation | Renovation | Toronto, Ontario
- > McMaster University Office Renovation Gilmour Hall Rm 231 | Renovation | Hamilton, Ontario
- > McMaster University Door Replacement Chester New Hall Rm B101 | Renovation | Hamilton, Ontario
- > TCDSB St. Stephen Child Care Retrofit | Renovation | Toronto, Ontario
- > TCDSB St. Maurice Child Care Retrofit | Renovation | Toronto, Ontario
- Projects: ATA Architects Inc. Municipal
- > Civic Centre Arts Hub, 150 Central Park Drive | Interior Renovation | Brampton, Ontario
- > Brampton Provincial Offences Court Appearance Admin Renovation, 5 Ray Lawson Blvd | Brampton, Ontario
- > Earnscliffe Recreation Centre Pool Changeroom Renovation, 44 Eastbourne Dr | Interior Renovation | Brampton, Ontario
- > Chinguacousy Wellness Centre Interior Fitness & Pool Changeroom Renovation and Exterior Improvements, 995 Peter Robertson Blvd | Interior and Exterior Renovation | Brampton, Ontario
- > Maple Community Centre Fitness Changeroom Renovation, 10190 Keele St | Interior Renovation | Maple, Ontario
- > Maple Library Interior Renovation, 10190 Keele St | Interior Renovation | Maple, Ontario

APPENDIX

RYAN LEE CV

- > Acton Youth Centre, 19 Willow St. N | New Construction | Acton, Ontario
- > St. Mark's Community Centre Phase I & II | Heritage Restoration/ New Addition Hamilton, Ontario
- > Jim Archdekin Recreation Centre Interior Renovation, 292 Conestoga Dr | Interior Renovation | Brampton, Ontario

Projects: ATA Architects Inc. Sacred Spaces

- > St. Catherine of Siena Catholic Church | New Construction | Hamilton, Ontario
- > St. James Roman Catholic Church | Interior Renovation/ New Addition | Oakville, Ontario
- > The Church of the Virgin Mary and St. Athanasius Church Addition | New Construction | Mississauga, Ontario

Projects: ATA Architects Inc. Commercial Feasibility Study

- > 320 Matheson Ave. Maple Reiner - Starlight, Mississauga, ON, Feasibility Study
- > 6865 Century Ave. Maple Reiner - Starlight, Mississauga, ON, Feasibility Study
- > 2370 S. Sheridan Way MPI Group, Mississauga, ON, Feasibility Study

Projects: ATA Architects Inc. Commercial

- > Bronte Rd. & Wyecroft Rd Office Development | New Construction | Oakville, Ontario
- > 250,260 & 270 Queens Quay Promenade Façade Replacement | Exterior Renovation| Toronto, Ontario

Projects: ATA Architects Inc. Mix-Use Commercial/Residential

- > Trafalgar Rd & Dundas St Mix-Use Commercial and Residential Feasibility Study | New Construction Feasibility Study | Oakville, Ontario

- > 215 Burnhamthorpe Rd Mid-Rise Condominium | New Construction | Oakville, Ontario
- > 220 Burnhamthorpe Rd Mid-Rise Condominium | New Construction | Oakville, Ontario
- > Trafalgar Rd and Burnhamthorpe Rd Feasibility Study | Feasibility Study | Oakville, Ontario
- > Lot 1 Trafalgar Rd & Dundas St Mix-Use Commercial and Residential Feasibility Study | New Construction Feasibility Study | Oakville, Ontario
- > Brant St. & Plains Rd. Mix- Use Commercial and Residential Feasibility Study | New Construction Feasibility Study | Burlington, Ontario
- > Dundas & Burnhamthorpe Mix-Use Commercial and Residential, Oakville, New Construction

Projects: ATA Architects Inc. Urban Design Study

- > Urban Design Master Plan for S/E Quadrant Trafalgar Road and Dundas | Urban Design Master Plan | Oakville, Ontario
- > Urban Design Master Plan Brant Street and Plains Rd E | Urban Design Master Plan | Burlington, Ontario

Projects: ATA Architects Inc. Retail

- > Little Kitchen Academy, 511 Maple Grove Dr | Interior Construction | Oakville, Ontario
- > Cocoon Furniture, 2695 Bristol Circle | Interior Renovation | Oakville, Ontario

Projects: ATA Architects Inc. Recreational

- > Streetsville Glen Golf Club Kaneff, Brampton, ON, New Construction

Projects: ATA Architects Inc. Residential

- > 36 Lake St | New Addition/ Renovation | Mississauga, Ontario

APPENDIX

RYAN LEE CV

- › 12259 Chinguacousy Rd | New Addition | Caledon, Ontario
- › 915 North Service Rd Addition | New Construction | Mississauga, Ontario
- › Spence Residence, 63 Cranbrook Ave | New Addition/ Renovation | Toronto, Ontario
- › Baker Residence, 21 Thomas St | New Addition | Oakville, Ontario

Publications

- › The Future of the Past: Toronto's Palimpsest Thesis publication and presentation at Ryerson University in Toronto, Canada| Winter 2016
- › Inundation 3 - Design research presentation at Cilwung Merdeka in Jakarta, Indonesia and exhibition at Ryerson University in Toronto, Canada| Summer 2015
- › Siloe Playground and Community Centre: A Public Intervention Design publication in Una Nueva Luz: A New Light Architectural Intervention in Cali's Comuna 20 at Ryerson University in Toronto, Canada| Fall 2013
- › Water Science Centre - Design Presentation at China Three Gorges University in Yi Chang, Hubei, China | Summer 2012

Speaking Engagements

- (2023) - CAHP Workroom: AI and Heritage Conservation
- (2018) - National Trust Conference: Opportunity Knocks - National Trust for Canada - The Future of the Past: The Story of Toronto's Palimpsest



Report
Staff Report
 The Corporation of the City of Brampton
 9/17/2024

Date: 2024-08-27

Subject: **Heritage Impact Assessment Report for proposed development at 8525 Mississauga Rd – Ward 4**

Contact: Arpita Jambekar, Heritage Planner, Integrated City Planning

Report number: Planning, Bld & Growth Mgt-2024-697

RECOMMENDATIONS:

1. That the report from Arpita Jambekar Heritage Planner, Integrated City Planning, to the Brampton Heritage Board Meeting of September 17, 2024, re: **Heritage Impact Assessment for proposed development at 8525 Mississauga Road– Ward 4**, be received;
2. That the Heritage Impact Assessment Report for the proposed Kaneff Subdivision on Part of the Lionhead Golf Club & Conference Centre Lands, 8525 Mississauga Road, prepared by Paul Dilse, Heritage Planning Consultant, dated 28 June 2023 be deemed complete;
3. That the following recommendations per the Heritage Impact Assessment be included in 2023 Kaneff's Draft Plan of Subdivision:
 - I. Measures including natural or human-made deterrents to movement of people from the proposed park in Block 72 across the buffer and up the hill into the camp should be explored. A Landscape architect should be involved to choose the planting of native thorny shrub roses along the southern edge of the buffer to impede movement and design an eight-foot high chain link fence on which native Ontario vines can be grown where the turning circle and eventual alignment of Street A come close to the camp's southwest corner. Under the direction of a landscape architect, the buffer itself should be planted with native species to the southern latitudes of the Province to develop into a screen of vegetation as dense as the forest behind.
 - II. For apartment buildings rising above the highest point of land in Camp Naivelt, measures should be explored to soften the impression of their height on the skyline. Opportunities like green roofs, terraced elevations and curvilinear profiles should be explored to design cluster of point towers that would have lesser effect on the skyline than slab towers with larger floor plates. Floors

above the camp's highest elevation could be clad in bird-friendly materials that resemble in color the pale blue or light gray shades of typical southern Ontario sky. Nighttime illumination of mechanical penthouses should be minimized;

4. That a historical interpretation on-site is recommended which involves following implementation recommendations:
 - I. Mounting site interpretation map of Eldorado Park and vicinity
 - II. Creation of a web page and an app on the cultural history of the Credit River Valley at Eldorado; and

OVERVIEW:

- A Heritage Impact Assessment was required as part of the development application for 8525 Mississauga Road, that includes a proposal to build a residential subdivision on part of the former Lionhead golf course, as the proposed development is adjacent to a designated heritage property of 8596 Camp Naivelt.
- The proposed development is adjacent to the designated cultural heritage resource of Camp Naivelt which is adjacent to Eldorado Park.
- Camp Naivelt at 8596 Creditview Road was designated under the Ontario Heritage Act under By-Law 290-2010 in 2010. Eldorado Park, a municipal park with functional and historical links to Camp Naivelt, is listed in Brampton's Municipal Heritage register as a cultural heritage resource.
- The HIA demonstrated that the proposed subdivision with an engineered landscape will have a remarkably different character from the camp and will have a visual impact on the skyline and an impact the security of the camp due to the proximity of the proposed subdivision.
- The HIA provides guidance for landscape measures to maintain an appropriate buffer between the camp and the proposed subdivision, and to enhance the security of the camp. The HIA also recommends design guidelines for the proposed high-density apartments in future development blocks with close proximity to the camp.
- The HIA is considered to be complete as per the City's Terms of Reference.
- There are no financial implications as a result of this report.

BACKGROUND:

A development application was submitted in 2017 to City Planning staff for creation of a subdivision on the lands at 8525 Mississauga Road under application number C04W02.006. The HIA was required as part of the application, as the proposed development is adjacent to the designated heritage property at 8956 Creditview Road, Camp Naivelt.

Camp Naivelt, located at 8956 Creditview Road, was designated under Section 29 Part IV of the Ontario Heritage Act in 2010. The Land parcel of approximately 50 acres is situated in the heart of the Credit River valley with a portion of Credit River running through the property. Much of the landscape is defined by gently rolling hills with some steep slopes and gullies dropping down towards the Credit River. It is dominated by forest with some open space areas for gathering and recreation and fenced by mature hedge grows and page wire fences. Camp Naivelt is physically, visually and historically linked to its surroundings.

Used as a summer campground since 1935, the camp consists of small, one-storey, rustic wood-frame cottages built in the 1940's and 1950's and that are spread across the landscape. The property landscape can be divided into three components, namely: Hill 1, Hill 2 and Hill 3. Hill One is reached from Creditview Road and has 35 cottages. Hills 2 and 3 are accessed through Eldorado Park. Hill 2 has 35 cottages and a clubhouse on a lower portion of the hillside. Hill 3 has some 40 cottages. With the exception of a few relatively small clearings that front the cottages and some unpaved laneways, the property is generally defined by dense woodland cover. The cottages, site plan characteristics and natural, rural setting at Camp Naivelt are among the attributes that form a significant and unique cultural heritage landscape and contribute to the design/physical values of the property.

CURRENT SITUATION:

HIA Outcomes

The proposed subdivision is immediately adjacent to the camp on the subdivision's southern, unfenced boundary. This area is forested.

The draft plan of subdivision has been updated and modified since 2015, including 2017, 2020 and 2023 and these iterations have responded positively to the heritage recommendations that were made in assessing the impact of the proposed development. However, based on the 2023 draft plan of sub-division, the HIA demonstrates that there will be a visual contrast between the camp's wooded slope and subdivision's single-detached house yards with manicured lawns. The two impacts on Camp Naivelt from the 2023 draft plan of subdivision are identified as:

1. Although the turning circle is set back from the camp's southern lot line, the eventual continuation of Street A to the Phase 2 lands comes very close to the camp's southwest corner.
2. The future development of Blocks 68, 69 and 70 with apartment buildings as tall as 16 storeys will have an effect on the skyline as viewed from Camp Naivelt. Block 68 which abuts the buffer in Block 80 likely has the greatest visual impact because of its proximity to the camp.

Mitigation and Recommendations

The HIA provides mitigation measures to address the impacts of the proposed subdivision, and to create a Site Interpretation strategy for the History of Credit River valley at Eldorado.

Recommendations for mitigating impacts form 2023 Draft plan of subdivision

1. Measures including natural or human-made deterrents to the movement of people from the proposed park in Block 72 across the property set-back buffer and up the hill into the camp should be explored. A landscape architect should be involved for recommending planting of native thorny shrub roses along the southern edge of the buffer, which would impede movement by trespassers. The landscape plan should also include an eight-foot-high chain link fence on which vines native to Ontario are grown. this should be done where the turning circle and eventual alignment of Street A come close to the camp's southwest corner. The planting should develop into a screen of vegetation as dense as the forest behind.
2. For apartment buildings rising above the highest point of land in Camp Naivelt, measures should be explored to soften the impression of their height on the skyline. A cluster of point towers like that envisaged in the Bramwest Secondary Plan Sub Area 40-1 Block Concept would have a lesser effect on the skyline than slab towers with their larger floor plates. Floors above the camp's highest elevation could be clad in bird-friendly materials that resemble in colour the pale blue or light gray shades of the typical Southern Ontario sky. Nighttime illumination of mechanical penthouses should be minimized. If slab towers are preferred, green roofs, terraced elevations and curvilinear profiles are ways to reduce their presence on the skyline.

Additional Recommendations:

Beyond the immediate property under consideration for redevelopment, an additional recommendation was brough forward in the report that addresses opportunities to commemorate the History of Credit River Valley at Eldorado, To further understanding of the area's history, the following recommendations may be considered for implementation at the appropriate time.

1. In addition to the Stage 2 archaeological assessment recommended for the golf course's fairways, archaeological assessment on the west half of Lot 2 in Concession 3, W.H.S. where the Eldorado Mills complex was located may be worthy of government or corporate sponsorship. The Peel District School Board could be invited to have its students join in the dig under the supervision of an archaeologist.
2. A site interpretation map of Eldorado Park and vicinity could be mounted either at the park entrance circle or beside the front parking lot, whichever is the safer for viewing. The map could mark and briefly describe park and vicinity locations with stories to tell. The map should be accessible to all park visitors and be designed to deter vandalism.
3. A web page and an app on the cultural history of the Credit River Valley at Eldorado could be created as another way of engaging the public. The audio-visual history should cover all the historical themes discussed in the heritage impact assessment. The site interpretation map at Eldorado Park could include instructions for further information available on the web page or the app.

CORPORATE IMPLICATIONS:

Financial Implications:

None.

Other Implications:

None.

STRATEGIC FOCUS AREA:

The approval of the Heritage Impact Assessment noted within this report supports the Growing Urban Centres & Neighbourhood Focus Area. The recommendations therein, facilitate creation of new neighborhoods while conserving and commemorating the existing cultural heritage resource within its immediate context to help maintain a sense of place, belonging and community identity.

CONCLUSION:

It is recommended that the **Heritage Impact Assessment, 8525 Mississauga Road** be received by the Brampton Heritage Board as being complete.

Authored by:

Reviewed by:

Arpita Jambekar
Heritage Planner,
Integrated City Planning

Jeffrey Humble, RPP, MCIP
Manager,
Policy Programs and Implementation

Approved by:

Approved by:

Henrik Zbogar, RPP, MCIP
Director,
Integrated City Planning

Steve Ganesh, RPP, MCIP
Commissioner,
Planning, Building and Growth Management

Attachments:

- Attachment 1 – Heritage Impact Assessment Report 8525 Mississauga

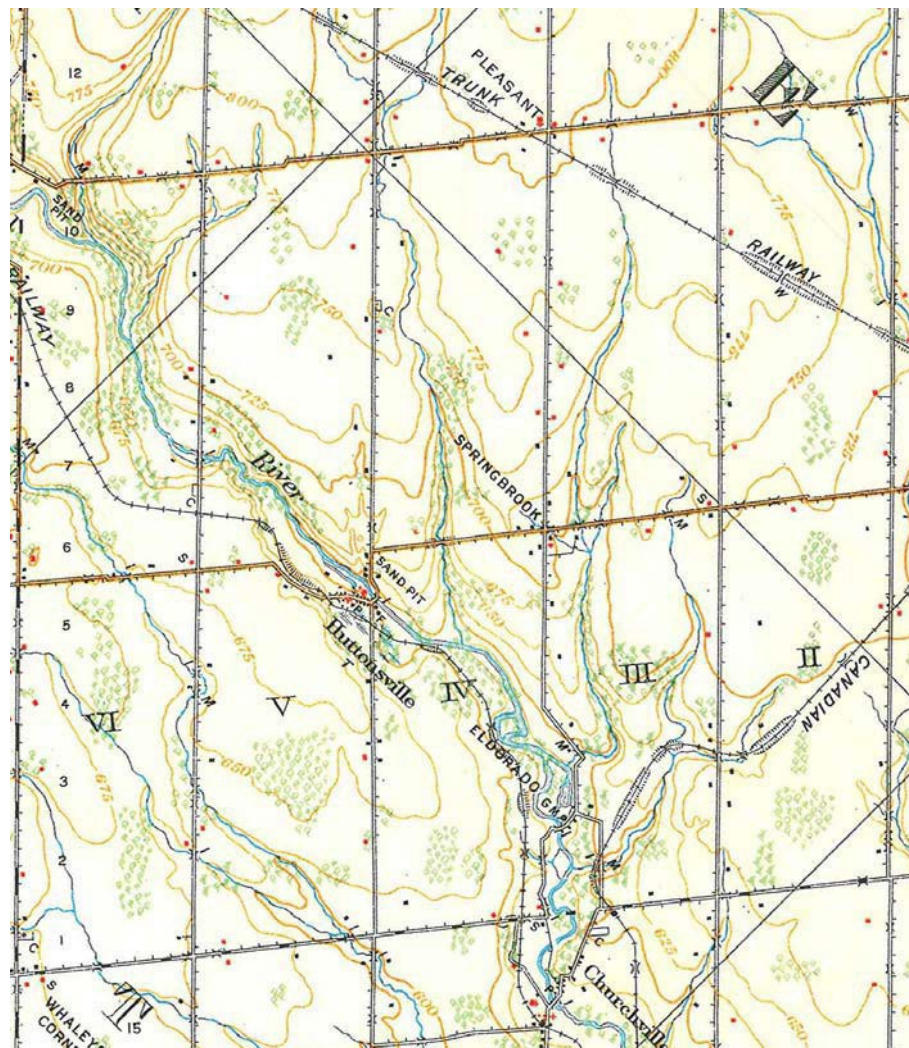
Heritage Impact Assessment for the Proposed Kaneff Subdivision
on Part of the Lionhead Golf Club & Conference Centre Lands
8525 Mississauga Road, Brampton, Ontario

by Paul Dilse, Heritage Planning Consultant

with As-found Photography by Paul Till

for Kaneff Group of Companies

on July 13, 2017; revised July 13, 2020; and further revised on June 28, 2023



Detail from Canada Dept. of Militia and Defence, "Brampton Sheet No. 35 – 30M/12," 1922, Toronto Reference Library. The topographical plan shows the vicinity around Eldorado, the mill site near the present-day Lionhead golf course. The initials, G M, denotes a grist or flour mill; and the initial, M, indicates a masonry bridge.

Heritage Impact Assessment for the Proposed Kaneff Subdivision
on Part of the Lionhead Golf Club & Conference Centre Lands
8525 Mississauga Road, Brampton, Ontario

Executive Summary

The heritage impact assessment serves three purposes:

- 1) to consider how the heritage attributes of Camp Naivelt, which is designated under the *Ontario Heritage Act*, will be conserved in the context of the residential subdivision the Kaneff Group of Companies proposes to build on part of the Lionhead golf course;
- 2) to discuss measures for improving firefighting capacity at the camp, which has experienced a dramatic increase in off-season vandalism; and,
- 3) to explore opportunities for historical interpretation of the Credit River Valley at this point in its course – in the vicinity of the historical mill site of Eldorado. Eldorado Park – a municipal park with functional and historical links to the camp – is listed in the Municipal Register of Cultural Heritage Resources. The remains of the Eldorado dam and sluice way located south of the park are also listed.

First, the report describes the as-found appearance of 1) Camp Naivelt, 2) Eldorado Park and 3) the Lionhead golf course. Second, the report provides a narrative cultural history of the Credit River at Eldorado. Third, an assessment is made of impacts on Camp Naivelt from the 2015 draft plan of subdivision and from the succeeding plans issued in 2017, 2020 and 2023. Last, the report makes recommendations – 1) for mitigating impacts from iterations of the plan of subdivision, 2) for improving firefighting capacity at the camp, and 3) for interpreting the history of the Credit River at Eldorado.

Recommendations updated to apply to the 2023 draft plan of subdivision include:

1. Measures including natural or human-made deterrents to movement of people from the proposed park in Block 72 across the buffer and up the hill into the camp should be explored. A planting of native thorny shrub roses along the southern edge of the buffer would impede movement. An eight-foot high chain link fence on which vines native to Ontario are grown may be advisable where the turning circle and eventual alignment of Street A come close to the camp's southwest corner. A landscape architect should choose the shrub roses best suited for the conditions and for the purpose of deterring trespassers into the camp, and a landscape architect should also choose the vines. Under the

direction of a landscape architect, the buffer itself should be planted with species native to the southerly latitudes of the province. The planting should develop into a screen of vegetation as dense as the forest behind.

2. For apartment buildings rising above the highest point of land in Camp Naivelt, measures should be explored to soften the impression of their height on the skyline. A cluster of point towers like that envisaged in the Bramwest Secondary Plan Sub Area 40-1 Block Concept would have a lesser effect on the skyline than slab towers with their larger floor plates. Floors above the camp's highest elevation could be clad in bird-friendly materials that resemble in colour the pale blue or light gray shades of the typical Southern Ontario sky. Nighttime illumination of mechanical penthouses should be minimized. If slab towers are preferred, green roofs, terraced elevations and curvilinear profiles are ways to reduce their presence on the skyline.

Recommendations concerning improvement of the camp's firefighting capacity during the camp's off-season include providing 1) year-round municipal water service to the camp, and 2) a watermain connection accessible to the camp's westernmost cottages. Kaneff should extend servicing on its lands to a point accessible to the camp. A civil engineer engaged by the camp should evaluate two options for a watermain connection: 1) at the current draft plan's turning circle or, 2) on the golf course's tableland west of the camp whenever the tableland is proposed for development at a future time.

The report ends with three recommendations for historical interpretation to be considered for implementation at the appropriate time. The first recommendation pertains to archaeological assessment on the west half of Lot 2 in Concession 3, W.H.S. where the Eldorado Mills complex was located. The second recommendation concerns mounting a site interpretation map of Eldorado Park and vicinity. The third recommendation discusses creating a web page and an app on the cultural history of the Credit River Valley at Eldorado.

Background

The Kaneff Group of Companies proposes to build a residential subdivision on part of the Lionhead golf course, which is owned and operated by Kaneff. The golf course abuts Camp Naivelt. Camp Naivelt is adjacent to Eldorado Park, a municipal park with functional and historical links to Camp Naivelt. The relationships among the three properties are discussed in the heritage impact assessment. Figure 1 in Appendix A shows the location of the Lionhead golf course, Camp Naivelt and Eldorado Park.

In 2009, the City of Brampton approved a conceptual plan for developing the lands in the Bramwest Secondary Plan Sub Area 40-1 (Fig. 2). The portion of the Lionhead golf

course which Kaneff proposes to develop is included in the block concept. It envisaged low-density residential land use primarily for the Kaneff lands under consideration as well as a cluster of high-density residential land use near the lands' northeast corner.

In 2010, the City of Brampton protected Camp Naivelt through designation under Part IV of the *Ontario Heritage Act*. The reasons for designation are given in By-law Number 290-2010, which is presented in Appendix B. The by-law's statement of cultural heritage value or interest suggests that Camp Naivelt may qualify for designation as a national historic site by the Historic Sites and Monuments Board of Canada.

Eldorado Park and the remains of the Eldorado dam and sluice way located south of the park are listed in the Municipal Register of Cultural Heritage Resources.

The *Provincial Policy Statement*, issued under Section 3 of the *Planning Act*, directs that:

“Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.”

Accordingly, the heritage impact assessment serves to consider how the heritage attributes of Camp Naivelt will be conserved in the context of the proposed development on the golf course. In addition, the report discusses measures for improving firefighting capacity at the camp. It also aims to explore opportunities for historical interpretation of the Credit River Valley at this point in its course – in the vicinity of the historical mill site of Eldorado.

On June 3, 2016, Paul Dilse, heritage planner and historian, accompanied the photographer Paul Till in documenting Hill 3 in Camp Naivelt, the portion of the Lionhead golf course where development is proposed and Eldorado Park. As-found photographs date from the site visits on June 3.

On July 12, representatives of Camp Naivelt, planner Carl Brawley representing Kaneff, Antonietta Minichillo and Cassandra Jasinski from the City of Brampton heritage unit, and Paul Dilse met at Camp Naivelt to hear the camp's concerns and discuss ways of mitigating impacts from the proposed subdivision.

In May, June and October, Paul Dilse conducted historical research at the Toronto Reference Library, Peel Region Archives, Peel Land Registry Office and on-line. He also contacted Ted Baker, who had designed the Lionhead golf course in 1988. As well, he read Rick Sutton's Stage 1 archaeological assessment of the portion of the Lionhead golf course where the subdivision is proposed.

A first draft of the heritage impact assessment was written, which included recommendations for mitigating impacts from the 2015 draft plan of subdivision. A significantly revised draft plan of subdivision, prepared in 2017, addressed a key recommendation contained in the first draft of the heritage impact assessment. Adjustments were made to the 2017 plan in the draft plan of subdivision from 2020, including removal of cul-de-sacs.

In the July 13, 2020 revision of the heritage impact assessment, the 2015, 2017 and 2020 plans were compared.

On November 24, 2021, the Minister of Municipal Affairs and Housing issued a zoning order for the lands the Kaneff Group of Companies proposes to develop. In the zoning order's urban residential zone, a wide variety of dwellings are permitted – single-detached houses, townhouses, rear-lane townhouses, back-to-back townhouses, stacked townhouses and apartments in buildings as tall as 16 storeys. The draft plan of subdivision proposed in 2023 is a reflection of the zoning order's permitted land uses. Impacts from the new draft plan of subdivision on Camp Naivelt are discussed in the latest version of the heritage impact assessment following the comparison of the 2015, 2017 and 2020 plans.

As-found Appearance of Camp Naivelt, Lionhead Golf Course and Eldorado Park

Camp Naivelt, a summer campground, consists of three clusters of cottages identified as Hill One, Hill Two and Hill Three. Hill One, which is closest to Creditview Road, is reached from Creditview Road. Hills Two and Three are accessed through Eldorado Park. Hill Three lies adjacent to the proposed subdivision.

A locked gate across the lane into Hills Two and Three separates Eldorado Park from Camp Naivelt (Fig. 3). The camp's unpaved lane climbs the steep topography above the Credit River. The lane ends in an open, mowed area of rolling hills. A clubhouse occupies a lower hillside, and a row of cottages is arranged along the summit (Fig. 4-6). The southernmost cottage is typical of the row. The small frame dwelling's sylvan setting contributes to its rustic charm (Fig. 7). A chain-link fence divides the cottage's west-facing backyard from the Lionhead golf course (Fig. 8 & 9).

The camp's unfenced southern boundary where it meets the proposed subdivision is forested. The camp's densely wooded hillside contrasts with the golf course's manicured lawns. A stand of black cherry – a prized hardwood that occurs infrequently in Southern Ontario forests – grows near the boundary line (Fig. 10-15).

A glimpse of the Credit River can be seen over a plank fence where the golf course meets the steep riverbank (Fig. 16-20). The riverbank supports a stand of hemlocks, considered the province's most graceful evergreen.

The golf course's eastern grounds also approach dense forest (Fig. 21 & 22).

Features of the golf course's southeastern grounds include a pond in a ravine and a shagbark hickory – an uncommon tree – standing alone (Fig. 23 & 24).

At the golf course's southern boundary, a housing subdivision under construction comes up to the fence line (Fig. 25). Vegetation partially conceals the new subdivision.

A washroom is the only structure on the golf course where the Kaneff subdivision is proposed (Fig. 26).

There is a tall Kaneff mast sign near the golf course's clubhouse (Fig. 27). The mast sign can be viewed as far away as the entrance to Eldorado Park on Creditview Road (Fig. 28).

A few structures dot the park, which straddles the Credit River (Fig. 29). The largest, on the river's east side, is a masonry pavilion with washrooms (Fig. 30). A steeply inclined bridge crosses the river (Fig. 31). An outdoor swimming pool with a change room is found on the river's west side (Fig. 32). None of the structures has historic interest.

Behind the swimming pool is an unmarked trail (Fig. 33). It goes through forest (Fig. 34). Built on an old rail bed, the trail follows the route of the Guelph branch of the Toronto Suburban Railway.

Cultural History of the Credit River Valley at Eldorado

The names, Credit and Eldorado

Credit is the English translation of the river's name which appears on French maps in the mid-eighteenth century. It refers to the exchange between the French and Mississauga of European-made goods for fur pelts. If the Mississauga did not have enough furs to trade for the manufactured products, they could take the goods on credit.

The name, Eldorado, which was given to the Credit River mill site in the early nineteenth century, is perpetuated in the existing municipal park, Eldorado Park. The name recalls the mythical South American city of El Dorado, mistakenly believed in the sixteenth, seventeenth and eighteenth centuries to hold an immense wealth of gold and precious gems. With this association of abundant fortune, various places in North America were

given the anglicized name of Eldorado.

Landform and Vegetation at Eldorado

At Eldorado, the Credit River runs through a sandy plain, which contrasts with the clay of the surrounding Peel Plain (Fig. 35). The river valley walls are steep here. Dense forest, often hardwood trees, covers most slopes and the top of bank on the river's west side; but the wide river flats appear as an open landscape.

Indigenous Use of the Land

Rick Sutton's Stage 1 archaeological assessment conducted in spring 2016 for the lands where Kaneff proposes subdivision states that the small pocket of well-drained, sandy loam soils near the Credit River would have made the area attractive to the Indigenous horticulturalists who are known to have lived in the vicinity from c. 900-1550 A.D. Well-drained, sandy soil, especially beside heavier clay soil, lent itself to cultivation; and the Credit River offered both potable water and a primary transportation route.

Before the start of European settlement on the land, the Credit River watershed belonged in the territory of the Mississague (Mississauga) people (Fig. 36). The Mississauga, Ojibway-speaking Anishinaabeg, had lived around the Mississagi River, which empties into the North Channel of Lake Huron. In the early 1700s, they drifted into Southern Ontario, made uninhabited after warfare's dispersal of the Haudenosaunee (Iroquois) and Huron-Wendat.

The relocated Mississauga moved around the land to fish, hunt and trap game, harvest wild plants, and trade pelts with European fur traders in exchange for guns, iron axes, brass kettles, woven fabrics and other European products. In addition to their economic ties, intermarriage between Anishinaabe women and European fur traders who lived with their wives and children in Anishinaabe camps cemented bonds between Indigenous and European cultures.

Following the American revolutionary war which had uprooted Americans who were supporters of the British Crown (United Empire Loyalists), the British government needed to resettle the refugees in British North America and wanted to increase population in their remaining land holdings. This meant dispossessing the Mississauga (and other Native people near the American border) of their fishing, hunting and harvesting grounds which were held in common. In 1818, the representative of the British government negotiated Treaty No. 19 (Ajetance Treaty) with representatives of the Mississague Nation for surrender of the interior of the Mississague Tract (the upper parts of what became Peel and Halton Counties, comprising 648,000 acres). The government offered the Mississauga an annual payment of money for title to their lands.

This permitted the Crown to survey the tract and release lots into the private real estate market.

Milling in the Pioneer Era

Just as Chinguacousy Township was opening for settlement, Timothy Street in 1821 bought 100 acres in the west half of Lot 2, Concession 3, west of the township's centre road (Hurontario Street) from Robert Copeland, the Crown patent holder who resided in Etobicoke Township. Street was a tanner from St. David's in Niagara Township; and in the same year that he had acquired the spot in Chinguacousy, he built a grist mill on the Credit River in Toronto Township – the beginnings of Streetsville (a community in Mississauga today).

By 1830, Street had amassed a 400-acre farm and built a mill complex in Chinguacousy – the west halves of Lots 2 and 3 in Concession 3 and all of Lot 2 in Concession 4. His advertisement in *The Colonial Advocate* on June 10, 1830 was transcribed in the William Perkins Bull Collection:

“For Sale, That Valuable Farm, containing 400 acres, being composed of the West Halves of lots 2 and 3 in the 3rd Con. and Lot 2 in 4th Concess. Chinguacousy – Through it the River Credit runs, and on which there is a most excellent SAW MILL That runs the whole year on these lands. There is a large supply of PINE TIMBER – there is also a good FRAMED DISTILLERY, 30 feet by 50 feet, with a complete Sett of Tools – there is 10 acres cleared, and about 15 acres chopped, and a good FRAME HOUSE, With some other buildings. This farm and mill has been rented at £100 per year; the land is of the first quality, there is about 100 acres of flats or cleared soil, and abounds with Springs. For particulars apply to Wm. King, York; or to the subscriber who will give a good Title.
April 20th, 1830. Timothy Street.”

In 1834, Street, who was then recorded in the land title as living in Streetsville, sold the operation to Jacob Snure, described as a mechanic from Louth Township (Jordan village specifically as written in later documents). A mechanic in this sense was someone skilled in the use of tools and machinery. Louth Township was quite close to Niagara Township where Street had first lived in Upper Canada, and the possibility that they knew each other prior to the sale is plausible.

A history of the area around Twenty Mile Creek in the Niagara Peninsula adds to the possibility that Street and Snure were acquainted with each other in Niagara. Barbara Coffman and others who wrote *Tales of the Twenty* described Jacob Snure as a tanner among other lines of work:

“A leading figure in the development of this village on the Twenty [Jordan] was Jacob Snure. Born in 1800, Jacob was very young when his father, John Snure, decided to join the Loyalist trek from Pennsylvania to the new country the enterprising young

Snure saw commercial advantages in owning property along the little river [Twenty Mile Creek] and was soon engaged in the shipping business. He also erected tanneries in the flats and was one of the first real estate [sic] men in the district, subdividing his property and selling lots for houses and business concerns in the future village. He also entered the business life of the village when he erected a store on the property which later became a residence and then a post office

On the Chinguacousy Township property, a bond agreement was made between Jacob Snure and Joseph Bradt in 1836 and registered in 1842. Snure was described as a clothier living in Louth Township. Although the agreement neglected to describe Bradt, notes in the William Perkins Bull Collection named Jacob Snure's wife as Rebecca Bradt. The agreement gave Bradt a half interest in the water flowing from the dam, the saw mill and distillery, indicating that Bradt was running the mills. According to notes taken in the 1930s for the William Perkins Bull project, a carding mill (woollen mill) was added during the Snure/Bradt years – about 1847, the earliest date in the mills' accounts ledger. (In the 1930s, Jacob Wismer Snure Hall, Jacob Snure's grandson, kept the ledger in his Churchville home.)

In 1858, Bradt, who had moved to the State of Indiana, released Snure (still in Louth Township) from his bond obligation. The releasing document implied that the milling operation occupied three and two-fifths acres on the west half of Lot 2 in Concession 3.

George Tremaine marked Jacob Snure's mill complex on his map published in 1859 and listed him as a subscriber to the map as follows: "Jacob Snure, Proprietor of Grist, Saw and Woollen Mills, Lumber Dealer, &c., Lot 2, Con. 3, West." Tremaine labelled the site Eldorado Mills, the first known instance of the name. To get around Snure's mill pond, the road between Concessions 3 and 4 (Creditview Road) bent eastward from the surveyed road allowance. Figure 37 is a detail from the map.

Notes in the William Perkins Bull Collection credited Snure with building the grist mill which followed the saw mill and carding mill (a construction date of 1856 for the grist mill is inferred from the notes).

The 1861 Personal Census of Canada enumerated Jacob Snure's household in Chinguacousy. He was described as a 60-year-old miller living in a three-storey frame house (could the unusual height be the enumerator's confusion with a mill at the site?). George Snure, 31, and J.B. Snure, 27, were both listed as labourers. Jacob's family also included Matilda Snure and Emily Snure, 20 and 18 respectively. The Agricultural Census recorded Jacob Snure's farm in Lot 2, Concession 4 (adjacent to the mill complex in Lot 2, Concession 3). Of the farm's 200 acres, half was under cultivation and half was still wooded.

At the Census taking, all was not well at Eldorado Mills. Notes in the William Perkins

Bull Collection stated that Snure had been financially ruined on account of the Crimean War. He was caught with 10,000 bushels of wheat, which he had bought at \$2.25 per bushel. It dropped in price to 90 cents per bushel. Corroborating the story is the land title's documentation of the Snure family's default on their mortgage.

To explain the background to the Snures' troubles: The Crimean War of 1853-56 had inflated the price of wheat. Britain cancelled all imports of Russian wheat, buying Canadian wheat instead at higher wartime prices. The period of prosperity encouraged risky investments, for example, Jacob Snure's construction of a grist mill in 1856 to process the Chinguacousy farmers' wheat harvest for the overseas market. At war's end, the price of wheat fell dramatically. The severe drop in wheat prices and overspeculation in railways and real estate contributed to the Panic of 1857, the world's first worldwide economic crisis. The Great Lakes region of North America was profoundly affected by the panic, and economic recovery was slow.

Flour Milling in the Late Nineteenth Century

In 1866, Kenneth Chisholm acquired Snure's Eldorado Mills under power of sale. Kenneth Chisholm, a general merchant and grain handler in partnership with his brother-in-law Matthew Elliott, was able to expand his grain-handling business from his base in Brampton to Eldorado Mills. Chisholm's entry transcribed from *The Canadian Biographical Dictionary* (1880-81) in the William Perkins Bull Collection described his company's flour mill at Eldorado: "They have also a flouring mill, with four run of stone, on the Credit river, four miles from town [Brampton], and in connection with it a farm of five hundred acres; and they deal heavily in grain, flour and provision; as well as in general merchandise."

In the mid- and late-nineteenth century, Chisholm matched his entrepreneurship with public service – reeve of Brampton, warden of Peel County and Member of Provincial Parliament for Peel. His Italianate residence on the terraced bank of Etobicoke Creek in Brampton, Alderlea, still stands as testament to his status (Fig. 38). *The Canadian Biographical Dictionary* wrote: "The residence of Mr. Chisholm – "ALDERLEA" – on South Main Street, Brampton, is the finest in the County of Peel; and shows that he has good taste as well as business talent."

J.H. Pope mapped Chisholm's land holdings at Eldorado Mills in 1877 (Fig. 39). He owned 200 acres in Lot 4, Concession 4 where there were houses, a barn, an orchard and a private road between the river and the surveyed road (Creditview Road). He owned a hundred acres in the east half of Lot 3, Concession 4 where there were more houses and a barn. He also owned the 100 acres in the east half of Lot 2, Concession 4. In addition, Chisholm owned the 100 acres in the west half of Lot 2, Concession 3 – the site of the mill complex. This lot contained two mills, likely a row of workers' housing, two houses with orchards, an internal road system that connected the

buildings, and the right-of-way of the Credit Valley Railway (of which Chisholm was a promoter). Last, his holdings included six and three-quarters acres near the railway in the east half of Lot 2, Concession 3.

In 1887, Chisholm sold land to the Smiths: William Binkley Smith, a grocer in the City of Toronto, and Chinguacousy Township farmers David Edwin Smith and George Wallace Smith. Chisholm reserved the mill, machinery and water privilege for his use. The Smiths bred horses and cattle on their purchase of land, and Chisholm carried on the milling business.

Like Snure before him, Chisholm fell on hard times. He defaulted on a \$60,000 mortgage he and Matthew Elliott had taken on the mill and water privilege. In 1890, the mill and water privilege were offered for sale at public auction. As a sufficient bid was not received, the mill and water privilege were sold by private contract to Walter Ward and Amos Ward, Toronto Township millers, in 1891. Their purchase included the benefit of “seven feet head and full” at the dam.

The End of Milling and the Beginning of Recreational Use

Coincident with the milling operation, Eldorado was serving as an informal summer picnic ground for Sunday Schools during the late nineteenth and early twentieth centuries. It was not unusual to share with the public on a limited basis pretty places like the mill pond setting at Eldorado. The Lord’s Day observance left the Sunday of each week for church going and quiet pastimes, such as reading, strolling and church picnics.

According to a Perkins Bull transcript of a (Toronto) *Telegram* article published on January 23, 1930, the flour mill had reached the end of its activity about 1918. Capitalizing on the property’s popularity as a picnic spot on the Credit River, miller Walter Ward formalized the spot as Eldorado Park. An undated photograph in the Peel Region Archives identified Ward as the park’s proprietor (Fig. 40). Another transcript credited Thomas O’Neil of Dixie (a Toronto Township village on Dundas Street) as the manager who was largely responsible for turning the picnic spot into a park. He stumped 300 acres for the park. A photograph that may date to the 1920s captured the popularity of Eldorado Park for picnicking (Fig. 41).

In 1917, the Guelph line of the Toronto Suburban Railway opened between Keele and Dundas Streets in Toronto and the Grand Trunk Railway station in Guelph. This electrified radial (or interurban) line, which passed by Eldorado, was a project of the Canadian Northern Railway. It was heavily indebted to the Canadian government and could not keep up with interest charges on borrowed capital. After the government had nationalized the Canadian Northern Railway into Canadian National Railways (CNR), the CNR created Canadian National Electric Railways in 1923 to operate the electric

lines it had absorbed. The line thereafter operated as the Toronto Suburban District of the Canadian National Electric Railways.

The railway company figured it could spur Sunday ridership by developing a recreational destination about midway on the line, and Eldorado Park at Mile 20.4 on the 49-mile route was already known as a popular spot on the Credit River. The Eldorado Suburban Park Company Limited (probably a shell for the railway and likely represented by James Martin and William Young – a relationship that might be confirmed through a search of the corporation records at the Archives of Ontario), bought the mill and water privilege from Walter Ward at the end of 1924. The company restored the dam that had been washed out by a freshet and made other improvements to create an attractive picnic grounds offering boating and swimming. Unfortunately for Walter Ward and following in the footsteps of Snure and Chisholm, the deal he had with the company resulted in his financial loss. William Young mortgaged the property held in the name of the Eldorado Suburban Park Company to himself and Emma Maison of Los Angeles. The company defaulted on a mortgage payment. Through assignment of the mortgage, Young and Maison were able to sell the property to Canadian National Electric Railways in 1928. A March 15, 1928 article in *The (Brampton) Conservator*, transcribed in the William Perkins Bull Collection, explained Mr. Ward's failed attempt at redress:

"Eldorado Park, the amusement centre near Brampton, has proved itself anything but an eldorado for its former owner, Walter Ward.

"In 1924, Mr. Ward sold his land to the Eldorado Park Suburban Company for \$25,000, receiving \$1,000 in cash and 2,700 shares in the amusement venture. Later he took a mortgage of \$22,000 in exchange for the shares.

"Yesterday he learned that his mortgage is only a second mortgage on the property and is worthless. Emma Matson [Maison] and William Young hold a first mortgage for \$17,000 in satisfaction of which the property was sold to the C.N.R. for a price understood to be \$20,000.

"Mr. Ward owned the mill property for 35 years and level land for 15 years. The company was to have paid him \$15. a week to explain the workings of the dam, but the agreement had not been carried out.

"'You got into a mess with a company which did not carry out an agreement,' said Mr. Justice Middleton. 'I am sorry, Mr. Ward, but I can't see the light of day for you.'

"The first mortgagees were within their rights in selling the property, His Lordship ruled."

On a brighter note, another article in *The Conservator* published on August 16, 1928 gave a sense of the park's attractions:

"Brampton boys and girls and their mothers are saying a great big 'Thank You!' to the management of Eldorado Park to-day, for the delightful outing that was given the little people of the town and their parents yesterday afternoon.

"The day was the sort to make every one wish that they had a place like Eldorado to go to. Hot, stuffy and sticky! It was a wonderful thought to plan such an outing for Brampton, and still more wonderful that the weatherman, instead of playing some funny stunt, sent a fine day!

"Great big buses were chartered by the management, and getting aboard at Main and Queen was just like taking a b-i-g city bus for a long journey some place.

"The passengers went and kept on going out west on Queen Street, until something like a thousand mothers and children were enjoying the sweet summer breeze that swept down from the hills, watching the river purling and wrinkling in the sun, and wondering what one of the many pleasures to try first.

"For that was the secret of the huge success of the outing – the ride to and from the park was free, the merry-go-round was yours for saying you wanted a ride, the swing whirling its passengers ever and ever so high in the air, was ready to whirl once more, should you signify that you wanted to have a seat.

"Every boy and every girl who took the trip to the park secured all the other good things that were to be had for the asking, you may be sure....."

Eldorado Park's popularity extended to day trippers of all ages, who boarded the train in Toronto and were returned there the same day (Fig. 42).

On January 16, 1930, *The (Brampton) Conservator* announced a tender call for the removal of the old (flour) mill at Eldorado. The Perkins Bull transcript recorded:

"Tenders are being asked for the removal of the old mill at Eldorado. In days gone by this was one of the busy mills of the County of Peel. It was owned by the late K. Chisholm, afterwards purchased by Walter Ward, who in turn sold it, with what is now the Eldorado Park property, to the park company, and is now owned by the Canadian National Railways. Fifteen years ago Mr. Ward installed new machinery to the value of \$6,000. This was purchased quite recently for \$50. Now the building is to be taken down and the oldest landmark of the district removed."

Sometime prior to demolition, two photographs estimated to date from about 1930 showed the mill and dam and one of the houses at Eldorado (Fig. 43 & 44). A topographical plan from 1922 marked the location of the mill (Fig. 45).

A Secular Jewish Summer Camp

On account of declining ridership, the rail line declared bankruptcy. In 1935, in the depths of the Great Depression, Eldorado Camp and Amusements Limited bought Eldorado Park from Canadian National Electric Railways.

Eldorado Camp and Amusements Limited was a holding company which facilitated the purchase for the Jewish Workers Women's League and the all-male Labour League. They wished to establish a summer camp for working-class Jewish families, who were employed largely in the needle-trade and who shared a socialist perspective on political economy.

According to a report by Jim Leonard, Camp Naivelt – Yiddish for New World – officially opened on June 28, 1936 (Fig. 46). In the 1930s through to the 1950s, the camp hosted picnics and rallies for the labour movement and Leftist causes. It also provided a venue for folk singers, becoming a crucible for folk music in Canada; and it helped sustain blacklisted American singers such as Pete Seeger and Paul Robeson in the 50s. Furthermore, it fostered artistic talent among its youth well into the 1970s. Zalman Yanovsky went on to co-found the band, Lovin' Spoonful. Sharon Trostin later became a member of the children's group, Sharon, Lois and Bram. In adult life, Eddie Schwartz composed the pop song, "Hit Me With Your Best Shot." Ben Mink as an adult co-authored and produced songs with k.d. Lang. Estelle Klein later served as the first artistic director of the Mariposa Folk Festival. Dusty Cohl co-founded the Toronto International Film Festival, and Ted Kotcheff directed "The Apprenticeship of Duddy Kravitz" – both of whom had stayed at Camp Naivelt.

Jim Leonard described the structures at Camp Naivelt:

"In the early years of Camp Naivelt only tents were available to campers. Starting in the 1940s permanent, one-storey wood-frame cottages, clad in either clapboard or insulbrick, were constructed. By the 1950s the UJPO [United Jewish People's Order who had taken over ownership and operations at Camp Naivelt] had also built a band shell, boathouse, swimming pool and two bridges over the Credit River.

"At its peak of operations, Camp Naivelt had some 90 cottages, a communal dining hall, dance hall, youth recreation hall, grocery store and a camp office. There was a camp directors cabin, arts and crafts cabin, infirmary, and a communal washroom and shower area known as, 'The Ritz'."

The cottages were captured in a photograph taken in 1945 (Fig. 47).

Part of the camp site was open to the public as parkland, which retained the Eldorado Park name. James V. Salmon photographed a view of Eldorado Park in 1954 (Fig. 48). *The Credit Valley Conservation Report 1957: Summary* gave a description of it:

“Located on the main Credit River midway between Huttonsville [sic] and Churchville, this is one of the oldest parks on the watershed, having been developed before the first war [sic]. It was originally served by a railway line and for many years was operated by the railway interests as a park and amusement centre. In 1936 the property was purchased by the United Jewish People’s Order Mutual Benefit Society and Camp Naivelt was developed on the site. However, approximately 25 acres of the property are open to the public as parkland.

“The admission charge is 50 cents per car and this includes the use of the swimming pool. The annual attendance at this park for picnic purposes is approximately 7,500. There have been up to 10,000 people in attendance on particular conventions. A holiday crowd of 500 is not uncommon.”

A Municipal Park

Membership in Camp Naivelt declined following the death of Soviet Union General Secretary Joseph Stalin in 1953 when his far-reaching atrocities and oppression of Soviet Jews were revealed.

According to a Peel Region paper on Eldorado Park and area, about half of the camp’s lands was sold in 1970 to the Township of Chinguacousy on the condition that it be maintained as parkland.

Eldorado Park, owned and managed by the successor to Chinguacousy Township – the City of Brampton, remains functionally tied to Camp Naivelt to this day.

A Golf Course

In 1988, landscape architect, Ted Baker, laid out the Lionhead Golf & Country Club for Kaneff Properties Ltd. on 520 acres of land adjacent to Camp Naivelt (Fig. 49).

Currently, a housing subdivision is proposed for a portion of the golf course.

Impacts from the 2015 Draft Plan of Subdivision on Camp Naivelt

Camp Naivelt retains its pastoral qualities amid urbanizing surroundings. The hilly campground consists of clearings in dense forest cover where small frame cottages dot the open spaces. An unpaved lane climbs the sandy slopes up from the Credit River flats in Eldorado Park to clusters of cottages perched on hilltops. Little has changed to the landscape since the 1940s.

The proposed subdivision on part of the Lionhead golf course will have a remarkably different character from the camp (Fig. 50). The subdivision will be an engineered

landscape. In the 2015 draft plan of subdivision, a stormwater management pond would hold run-off across the artificially graded land surface. Two drainage channels would cross the subdivision in a southeasterly direction. Paved and curbed streets with boulevards would provide road access to compact rows and blocks of single-detached houses and townhouse units. Two linked parks and a number of open space buffers would complete the landscape.

The 2015 draft plan of subdivision incorporates an open space buffer, generally about 20 metres (66 feet) wide, around the subdivision's northern and eastern perimeters. The buffer on the northern perimeter shelters Camp Naivelt from a row of single-detached houses along Tilsonburg Avenue, but stops before it reaches the subdivision's northwest corner; exposing the camp to two house lots (Lots 1 and 13) and the radius of Street 'E'.

In addition to the visual contrast between the camp's wooded slope and the subdivision's single-detached house yards and the Street 'E' cul-de-sac, there is some threat of trespass into the camp by reason of their proximity. The camp has already experienced a dramatic increase in off-season vandalism. One cottage was entirely lost in the 2015-16 fall and winter off-season due to a fire set in it. Although the culprit was not found, it was presumed a young person had hung out in what appeared to be an abandoned cottage (in fact, a summer cottage boarded up for the winter) and had lit a fire. With the increasing urban population around Camp Naivelt, the chances of further vandalism are expected to rise.

Recommendations for Mitigating Impacts from the 2015 Draft Plan of Subdivision

The following recommendations made to the Kaneff Group of Companies serve to enhance visual separation between the camp and subdivision and to deter trespass into the camp.

1. Pull back the Street 'E' radius and eliminate Lots 1 and 13 so as to extend the open space buffer to the southwest corner of Camp Naivelt (the northwest corner of the subdivision).
2. Under the direction of a landscape architect, plant the buffer with species native to southerly latitudes of the province, such as Hemlock (*Tsuga canadensis* (L.) Carr.), Eastern White Pine (*Pinus strobus* L.), Eastern Red Cedar (*Juniperus virginiana* L.), Honey Locust (*Gleditsia triacanthos* L.), Service-Berry (*Amelanchier arborea* (Michx. f.) Fern.), Eastern Flowering Dogwood (*Cornus florida* L.) and Witch-Hazel (*Hamamelis virginiana* L.).
3. Erect an eight-foot high chain link fence identical to the fence between the golf

course and the camp's western property line all along the camp's southern property line. Under the direction of a landscape architect, plant vines native to Ontario to climb up the fence. These could include, for example, Wild Cucumber (*Echinocystis lobata*), Riverbank Grape (*Vitis riparia*), Virginia Clematis/Virgin's Bower (*Clematis virginiana*), Dutchman's Pipe (*Aristolochia macrophylla*), and Virginia Creeper (*Parthenocissus quinquefolia*).

Comparison between the 2015, 2017 and 2020 Draft Plans of Subdivision

The draft plan of subdivision prepared in 2017 differs significantly from the 2015 layout of the subdivision. In particular, the 2017 draft plan positively responds to the first recommendation made in assessing impacts from the 2015 draft plan. In the 2017 draft plan of subdivision, the cul-de-sac which had abutted the southern lot line of Camp Naivelt would be drawn back and the open space buffer would be extended to the camp's southwest corner (Fig. 51). The 2020 plan continues to maintain an open space buffer between the planned subdivision and Camp Naivelt (Fig. 52). In the 2020 iteration of the draft plan of subdivision, the cul-de-sac proposed in 2017 at the subdivision's northwest corner has been eliminated; which further enhances the security of the camp.

When the detailed design of the subdivision proceeds, the second recommendation about planting the buffer should be considered.

As the proposed location of the buffer is farther away from the camp's southern property line, fencing may be less crucial as a measure for separating the camp from the subdivision. At the detailed design stage, fencing should be considered if and where appropriate.

An alternative to a fence could be a planting of thorny shrub roses along the southern edge of the buffer. A landscape architect should advise on the choice of a native shrub rose best suited for the conditions and for the purpose of deterring trespassers into the camp.

Impacts from the 2023 Draft Plan of Subdivision on Camp Naivelt

Planning consultants Malone Given Parsons have reconfigured the lands Kaneff proposes to develop, making Street A (the extension of Sacramento Road) an organizing feature of the subdivision (Fig. 53). Street A would arc through the lands, ending temporarily at a turning circle near the subdivision's northwest corner. When the Phase 2 lands are proposed for development, the turning circle would be eliminated and Street A realigned so that it could continue in a northwesterly direction. Malone Given Parsons have laid out many of the lots to the west of Street A, leaving Blocks 67, 68, 69 and 70 for layout at a later time.

Two impacts on Camp Naivelt from the 2023 draft plan of subdivision are identified:

1. Although the turning circle is set back from the camp's southern lot line, the eventual continuation of Street A to the Phase 2 lands comes very close to the camp's southwest corner.
2. The future development of Blocks 68, 69 and 70 with apartment buildings as tall as 16 storeys will have an effect on the skyline as viewed from Camp Naivelt. Block 68 which abuts the buffer in Block 80 likely has the greatest visual impact because of its proximity to the camp.

Recommendations for Mitigating Impacts from the 2023 Draft Plan of Subdivision

The following recommendations are intended to mitigate impacts from the latest iteration of the draft plan of subdivision on Camp Naivelt.

1. Measures including natural or human-made deterrents to movement of people from the proposed park in Block 72 across the buffer and up the hill into the camp should be explored. A planting of native thorny shrub roses along the southern edge of the buffer would impede movement. An eight-foot high chain link fence on which vines native to Ontario are grown may be advisable where the turning circle and eventual alignment of Street A come close to the camp's southwest corner. A landscape architect should choose the shrub roses best suited for the conditions and for the purpose of deterring trespassers into the camp, and a landscape architect should also choose the vines. Under the direction of a landscape architect, the buffer itself should be planted with species native to the southerly latitudes of the province. The planting should develop into a screen of vegetation as dense as the forest behind.
2. For apartment buildings rising above the highest point of land in Camp Naivelt, measures should be explored to soften the impression of their height on the skyline. A cluster of point towers like that envisaged in the Bramwest Secondary Plan Sub Area 40-1 Block Concept would have a lesser effect on the skyline than slab towers with their larger floor plates. Floors above the camp's highest elevation could be clad in bird-friendly materials that resemble in colour the pale blue or light gray shades of the typical Southern Ontario sky. Nighttime illumination of mechanical penthouses should be minimized. If slab towers are preferred, green roofs, terraced elevations and curvilinear profiles are ways to reduce their presence on the skyline.

Recommendations for Improving Firefighting Capacity at Camp Naivelt

Currently, the westernmost cottages at Camp Naivelt are without municipal water in wintertime. Municipal water via an exposed pipe from Eldorado Park is only available before freeze-up. To enhance firefighting capacity during the camp's off-season, the City should provide year-round municipal water service to the camp.

Two options exist for a watermain connection accessible to the camp's westernmost cottages:

1. A watermain connection could be installed at the turning circle so that the camp, at its cost, would be able to extend pipe from the turning circle, across the Block 72 park and Block 80 buffer, and to the camp's southern lot line. The pipe would then continue up the camp's forested hillside.
2. A watermain connection could be provided on the golf course's tableland west of Camp Naivelt whenever the tableland is proposed for Phase 2 development in the future.

A civil engineer engaged by the camp should evaluate the two options through a feasibility study. Regardless of the outcome of the evaluation, Kaneff should extend servicing on its lands to a point accessible to the camp.

Recommendations for Interpreting the History of the Credit River Valley at Eldorado

Site interpretation of the history of the Credit River at Eldorado is entirely lacking. As well, there is virtually nothing published about Eldorado Mills.

To further understanding of the area's history, the following recommendations may be considered for implementation at the appropriate time.

1. In addition to the Stage 2 archaeological assessment recommended for the golf course's fairways, archaeological assessment on the west half of Lot 2 in Concession 3, W.H.S. where the Eldorado Mills complex was located may be worthy of government or corporate sponsorship. The Peel District School Board could be invited to have its students join in the dig under the supervision of an archaeologist.
2. A site interpretation map of Eldorado Park and vicinity could be mounted either at the park entrance circle or beside the front parking lot, whichever is the safer for viewing. The map could mark and briefly describe park and vicinity locations with

stories to tell. The map should be accessible to all park visitors and be designed to deter vandalism.

3. A web page and an app on the cultural history of the Credit River Valley at Eldorado could be created as another way of engaging the public. The audio-visual history should cover all the historical themes discussed in the heritage impact assessment. The site interpretation map at Eldorado Park could include instructions for further information available on the web page or the app.

Bibliography

Baker Salmona Associates Ltd. et al. "Lionhead Golf & Country Club." (site plan). Nov. 1988, Baker Turner Inc.

Bull, William Perkins. William Perkins Bull Collection, Series 2 – Buildings, photographs and research files, File 35 – Eldorado Mills, Box 85, Peel Region Archives.

-----. William Perkins Bull Collection, Series 5 – Families research files, Reel 12, pp. 10854-58 and Reel 69, pp. 63677-78, 63680-81, 63686-89, 63691 & 63693, Peel Region Archives.

-----. William Perkins Bull Collection, Series 7 – Land registry transcription files, File 59 – Chinguacousy West con. 3 lot 2 W ½, pp. 10-12, Box 102, Peel Region Archives.

-----. William Perkins Bull Collection, Unnumbered Series – Industry series, File 5 – Eldorado Mills, Box 1, Peel Region Archives.

Canada. "Ajetance Treaty No. (Number) 19." 28 Oct. 1818. Treaty Texts – Upper Canada Land Surrenders. www.aadnc-aandc.gc.ca/eng/1370372152585/1370372222.

-----. "Census of Canada. Personal Census. Enumeration District, No. 2 of the Township of Chinguacousy in the County of Peel." 1861. p. 27.

-----. "Census of Canada. Agricultural Census. Enumeration District No. 2 of the Township of Chinguacousy, County of Peel." 1861. p. 42.

-----. Dept. of Militia and Defence. "Brampton Sheet No. 35 – 30M/12." 1922. Toronto Reference Library.

-----. Library and Archives Canada. "Crimean War." 2 May 2005. www.collectionscanada.gc.ca/confederation/023001-3010.18_e.html.

Chapman, L.J. and Putnam, D.F. *The Physiography of Southern Ontario*. Toronto: Ontario Ministry of Natural Resources, 1984.

Coffman, Barbara F. et al. *Tales of the Twenty*. n.p.: Pennsylvania German Folklore Society of Ontario, 1979.

Comeau-Vasilopoulos, Gayle M. "Chisholm, Kenneth." *Dictionary of Canadian Biography*. [Toronto]: University of Toronto/Université Laval, 1994-2016. www.biographi.ca/en/bio/chisholm_kenneth_13E.html.

Dilse, Paul, Henderson, Heather et al. "Heritage Conservation Feasibility Study of Old Port Credit Village: Stage 1 Report." [Toronto]: George Robb Architect, 28 Nov. 2003.

Dilse, Paul. Land title search of the West Half of Lot 2, Concession 3, West of Hurontario Street, Chinguacousy Township. 7 & 25 Oct. 2016. Peel Land Registry Office.

Encyclopaedia Britannica. "Crimean War." www.britannica.com/event/Crimean-War.

Heritage Mississauga. "Aboriginal Culture." 2009.
www.heritagemississauga.com/page/Aboriginal-Culture.

----- "Streetsville." 2009. www.heritagemississauga.com/page/Streetsville.

Historic Box, The. "The Panic of 1857." 24 Feb. 2012.
www.thehistorybox.com/ny_city/panics/panics_article7a.htm.

Kennedy, Raymond L. "Toronto Suburban Railway/Guelph Radial Line." *Old Time Trains*. 2009/2014. www.trainweb.org/oldtimetrains/TSR/guelph_radial.htm.

"Kids' Day a Big Day at Eldorado Park." *The Conservator* (Brampton). 16 Aug. 1928, p. 6.

LaForme, A. "Mississaugas of the Credit – Past and Present." New Credit Research Dept., 1976.

Leonard, Jim. "Draft Heritage Report: Reasons for Heritage Designation: Camp Naivelt, 8596 Creditview Road." May 2010. City of Brampton.

n.a. "Sundays. Lord's Day observance."
www.individual.utoronto.ca/hayes/Canada/sundays.htm.

Ontario. Dept. of Planning and Development. *Credit Valley Conservation Report 1957: Summary*. Toronto: Dept. of Planning and Development, 1957.

Peel, Regional Municipality of. "Eldorado Park and Area." Oct. 2011.
www.peelregion.ca/planning-maps/NAI/site_summaries/Eldorado_Park_and_Area.pdf.

----- Peel Region Archives. Photographs of Eldorado Dam, Mills and Park.

Pope, J.H. *Illustrated Historical Atlas of the County of Peel, Ont.* Toronto: Walker & Miles, 1877.

Sutton, Rick. "The Stage 1 Archaeological Assessment of the Havenwood Properties (Central) Limited Subdivision Development, Part of the East Half of Lot 2, Concession 4 W.H.S., Geographic Township of Chinguacousy, City of Brampton, Regional Municipality of Peel." Oakville, Ont.: Archeological Assessments Ltd., 14 Jun. 2016.

Tremaine, George R. "Tremaine's Map of the County of Peel, Canada West." Toronto: G.R. & G.M. Tremaine, 1859.

White, J.H. and Hosie, R.C. *The Forest Trees of Ontario and the More Commonly Planted Foreign Trees: A guide to their identification with illustrations: Fifth Edition.* [Toronto]: Ontario Ministry of Natural Resources, 1973.

Wikipedia. "El Dorado." 30 Sept. 2016. www.en.wikipedia.org/wiki/El_Dorado.

-----, "Panic of 1857." 22 Jan. 2012. www.en.wikipedia.org/wiki/Panic_of_1857.

-----, "Toronto Suburban Railway." 27 Apr. 2016.
www.en.wikipedia.org/wiki/Toronto_Suburban_Railway.

Author's Qualifications

Paul Dilse has specialized in heritage planning and historical study since his graduation from the professional planning school at the University of Waterloo in 1979.

He has written official plan policies on heritage conservation for the former Municipality of Metropolitan Toronto and for the City of Cambridge (his related official plan background study, in which he delineated the boundaries of prospective heritage conservation districts, has remained a reference document there for three decades). He has surveyed the entire rural and exurban municipality of the Town of Caledon to compile a comprehensive inventory of built heritage resources located on 1,643 properties. He has assessed the cultural heritage value of two French Canadian Roman Catholic churches in rural Essex County as well as the cultural heritage landscape of the David Dunlap Observatory in Richmond Hill, and successfully defended their designation under the *Ontario Heritage Act* at Conservation Review Board hearings. He has also provided expert witness testimony at the Ontario Municipal Board, successfully defending the designation of the first heritage conservation district in the Town of Markham and contributing to the positive outcome in favour of retaining a complex of rare garden apartments in the Leaside neighbourhood of Toronto.

In addition to the Thornhill-Markham heritage conservation district, he has produced heritage conservation district plans for Old Port Credit Village in Mississauga, the MacGregor/Albert Neighbourhood in Waterloo, Lower Main Street South in Newmarket and Werden's Plan Neighbourhood in Whitby. Another study of his – pertaining to the George Street and Area Neighbourhood in Cobourg – has supported its designation as a heritage conservation district. He is also the author of a report on the feasibility of establishing heritage conservation districts in downtown Brampton. As well, he has prepared conservation-based design guidelines for the historic commercial centres of Alliston, Beeton, Tottenham and Picton.

Since 2004 when municipalities in Central and Southwestern Ontario started requesting heritage impact assessments from him, he has completed 63 such reports – twelve of these for properties in Brampton. Besides the heritage impact assessments, he has described and evaluated many other historic properties, for instance, Delta Collegiate Institute in Hamilton. Its 2014 designation under the *Ontario Heritage Act* was the first in Hamilton in five years.

He has written text for commemorative plaques, including several for the Ontario Heritage Trust, and has planned an extensive program to interpret the history of the Freeport Sanatorium at the Grand River Hospital in Kitchener. His major work in 2011, a history of the Legislative Building in Queen's Park and a statement on its cultural heritage value, forms part of an historic structure report commissioned by the Legislative Assembly of

Ontario. In 2016, he prepared a strategic conservation plan for the Hamilton GO Centre Station, formerly, the Toronto, Hamilton & Buffalo Railway Station. Its historic significance is recognized in the station property's designation under the *Ontario Heritage Act* by the City of Hamilton, a rating as a Provincial Heritage Property of Provincial Significance and designation under the *Heritage Railway Stations Protection Act* by the Historic Sites and Monuments Board of Canada. In 2017, he finished a report in support of the designation of Belfountain Conservation Area under the *Ontario Heritage Act*.

Paul Dilse is qualified as a planner and historian by the Canadian Association of Heritage Professionals, of which he is a founding member.

Appendix A: Illustrations

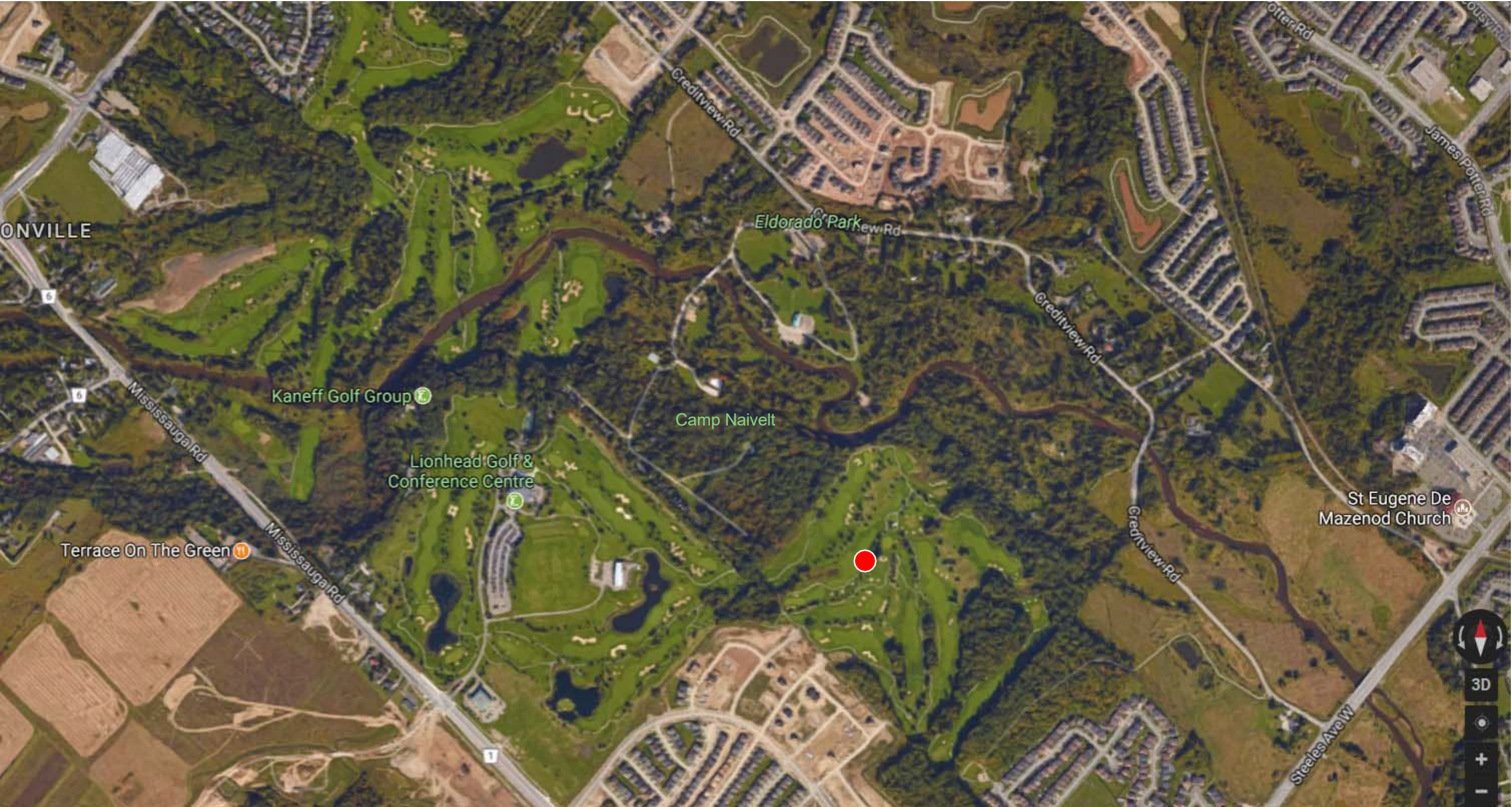


Fig. 1 The Lionhead golf course is accessed from Mississauga Road. Camp Naivelt and Eldorado Park are reached from Creditview Road. The red dot placed on the 2017 Google aerial photograph signifies the location of the golf course lands where the housing subdivision is proposed.

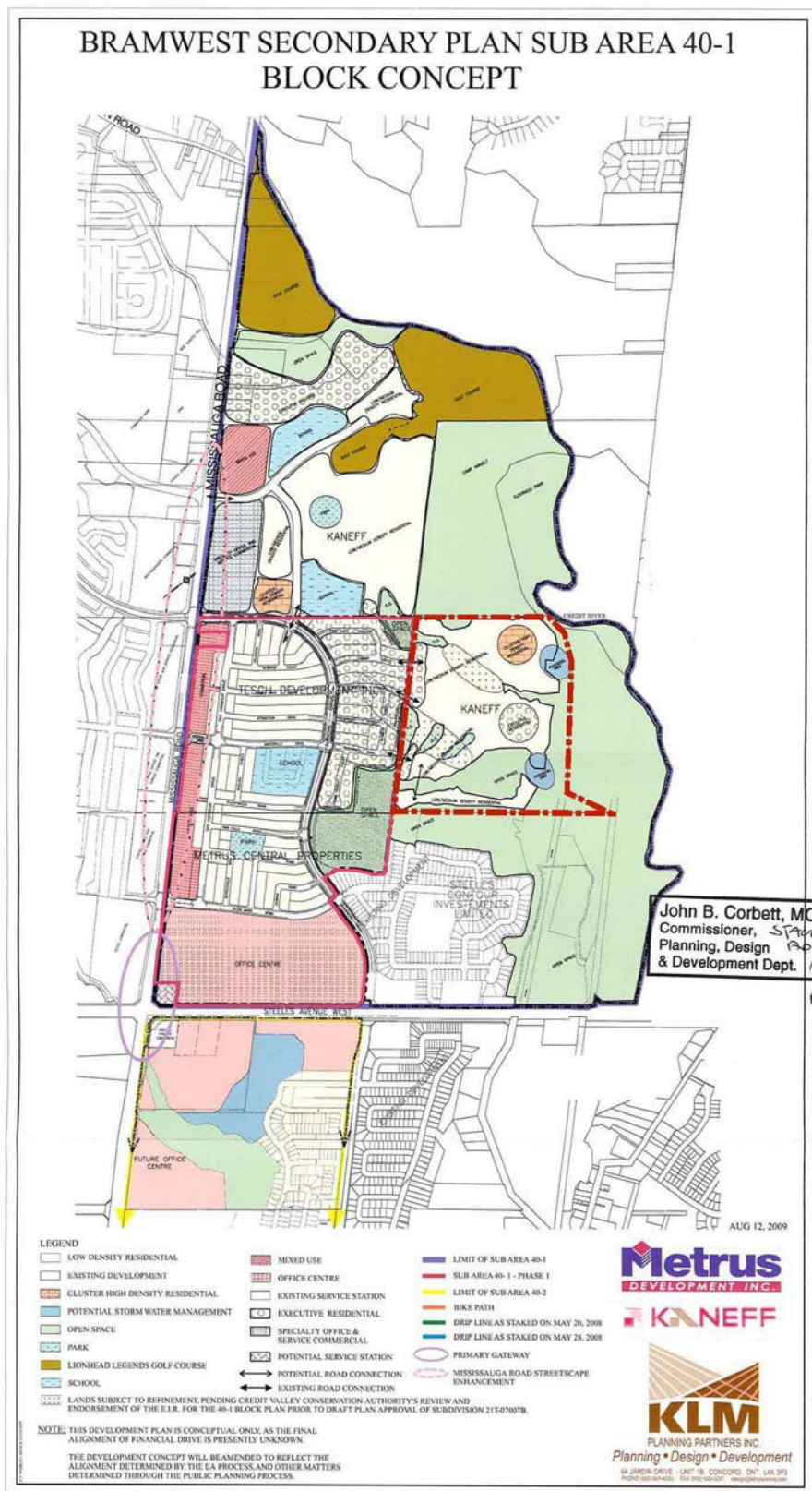


Fig. 2 The City of Brampton has approved a conceptual plan for developing lands which include that portion of the Lionhead golf course which Kaneff proposes to develop. The red dotted line added to the plan delineates the area Kaneff proposes to subdivide.



Fig. 3 The gate across the unpaved lane into Camp Naivelt separates the camp from Eldorado Park.



Fig. 4 The clubhouse occupies a lower hillside on Hill 3.



Fig. 5 The open, mowed area shows the camp's hilly topography.



Fig. 6 The Hill 3 cottages are arranged in a row at the hill's summit.



Fig. 7 The southernmost cottage in the row of Hill 3 cottages is nestled in the woods.

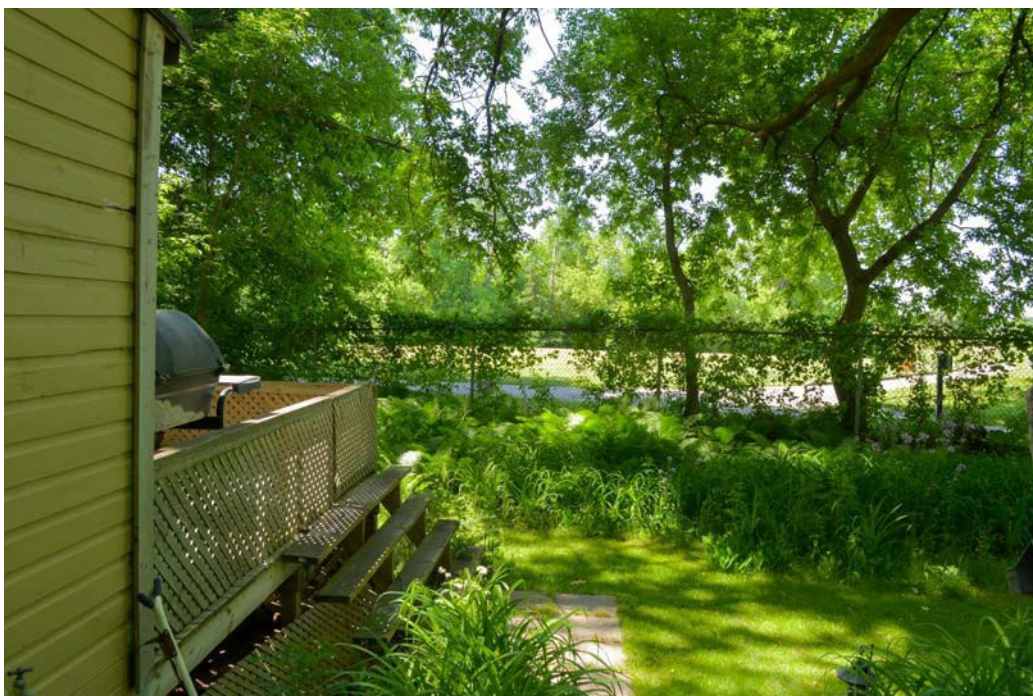


Fig. 8 The west-facing backyard of the southernmost cottage is separated from the Lionhead golf course by a vine-covered chain-link fence.



Fig. 9 The leafy vegetation growing up and beside the fence partially hides the back of the southernmost cottage as viewed from the golf course.



Fig. 10 The camp's dense forest contrasts with the golf course's manicured lawns at the northwest corner of the proposed subdivision.



Fig. 11 The golf course slopes upward to the woods at the proposed subdivision's northwest corner.



Fig. 12 The boundary line between the camp and golf course on the camp's south side is unfenced.

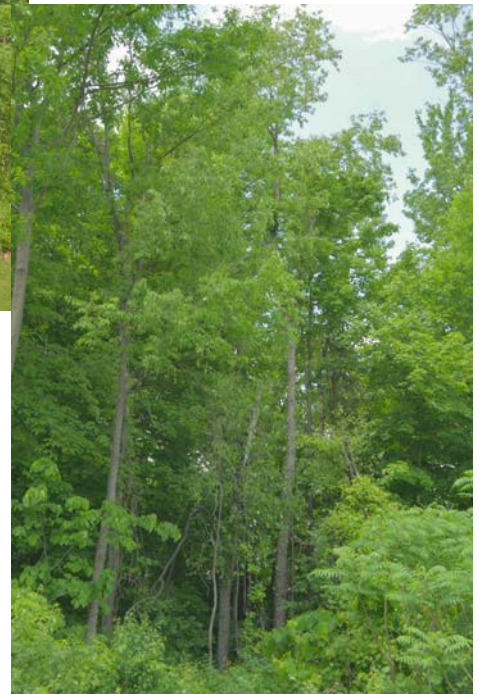


Fig. 13, 14 & 15 The mostly deciduous forest includes a stand of black cherry trees.



Fig. 16 The forest reaches the steep bank of the Credit River at the northeast corner of the proposed subdivision.



Fig. 17 A glimpse of the river can be seen over the golf course's plank fence, which is located at the northeast corner of the proposed subdivision.

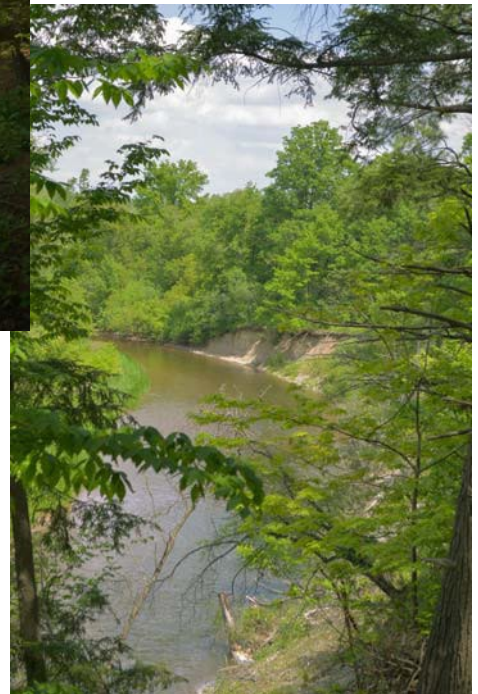
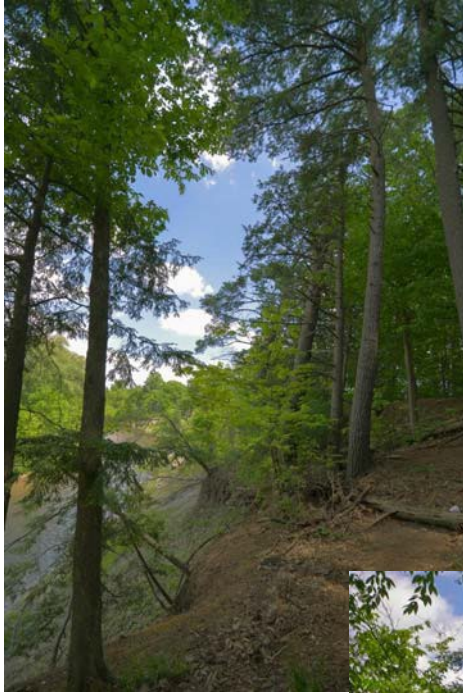


Fig. 18, 19 & 20 The steep riverbank, seen outside the golf course's plank fence, supports a stand of graceful hemlock trees among other species.



Fig. 21 & 22 The golf course's eastern grounds approach dense hardwood forest.

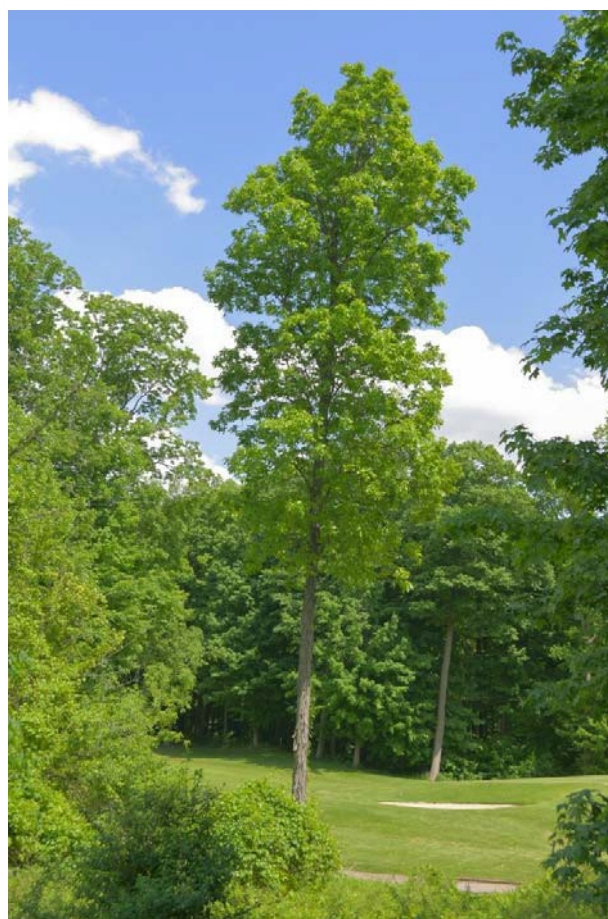


Fig. 23 & 24 The golf course's southeastern grounds contain a pond in a ravine and an uncommon shagbark hickory.



Fig. 25 A housing subdivision under construction is seen over the golf course's southern lot line.



Fig. 26 The only structure where the golf course subdivision is proposed is a washroom.



Fig. 27 & 28 The Kaneff mast sign near the golf course's clubhouse stands on lands not proposed for subdivision at this time. The sign can be viewed as far away as the entrance to Eldorado Park on Creditview Road.



Fig. 29 Eldorado Park straddles the Credit River, seen here near the park pavilion.



Fig. 30 The masonry pavilion with washrooms is located on the river's east side.



Fig. 31 A steeply inclined bridge crosses the river.



Fig. 32 On the river's west side is an outdoor swimming pool with change room.

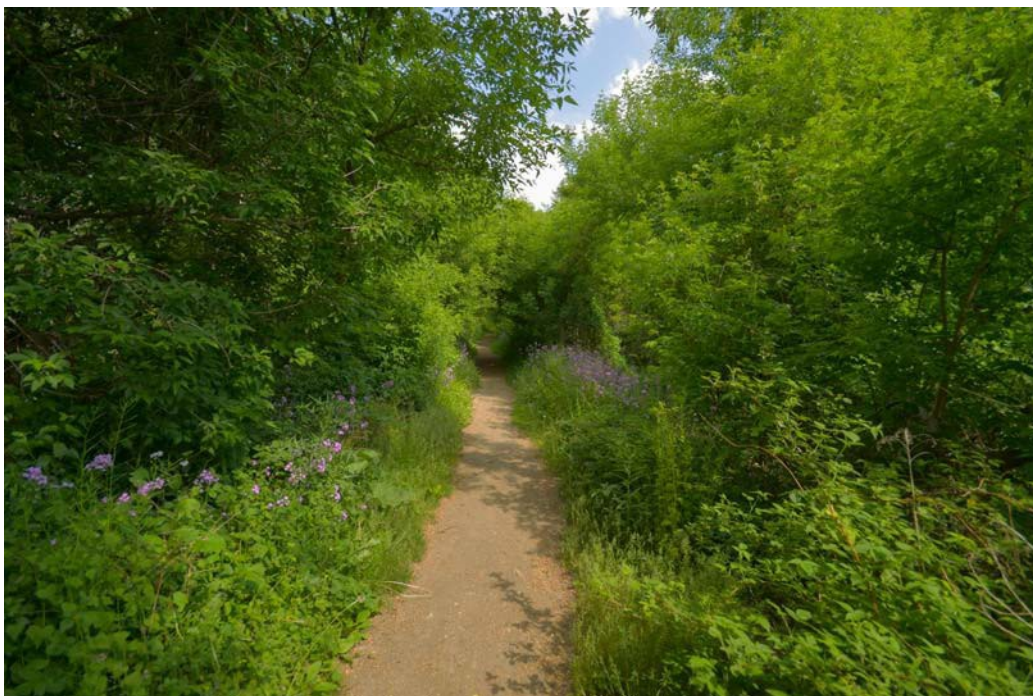


Fig. 33 Behind the swimming pool is an unmarked trail built on an old rail bed.



Fig. 34 Views of forest are seen along the trail.

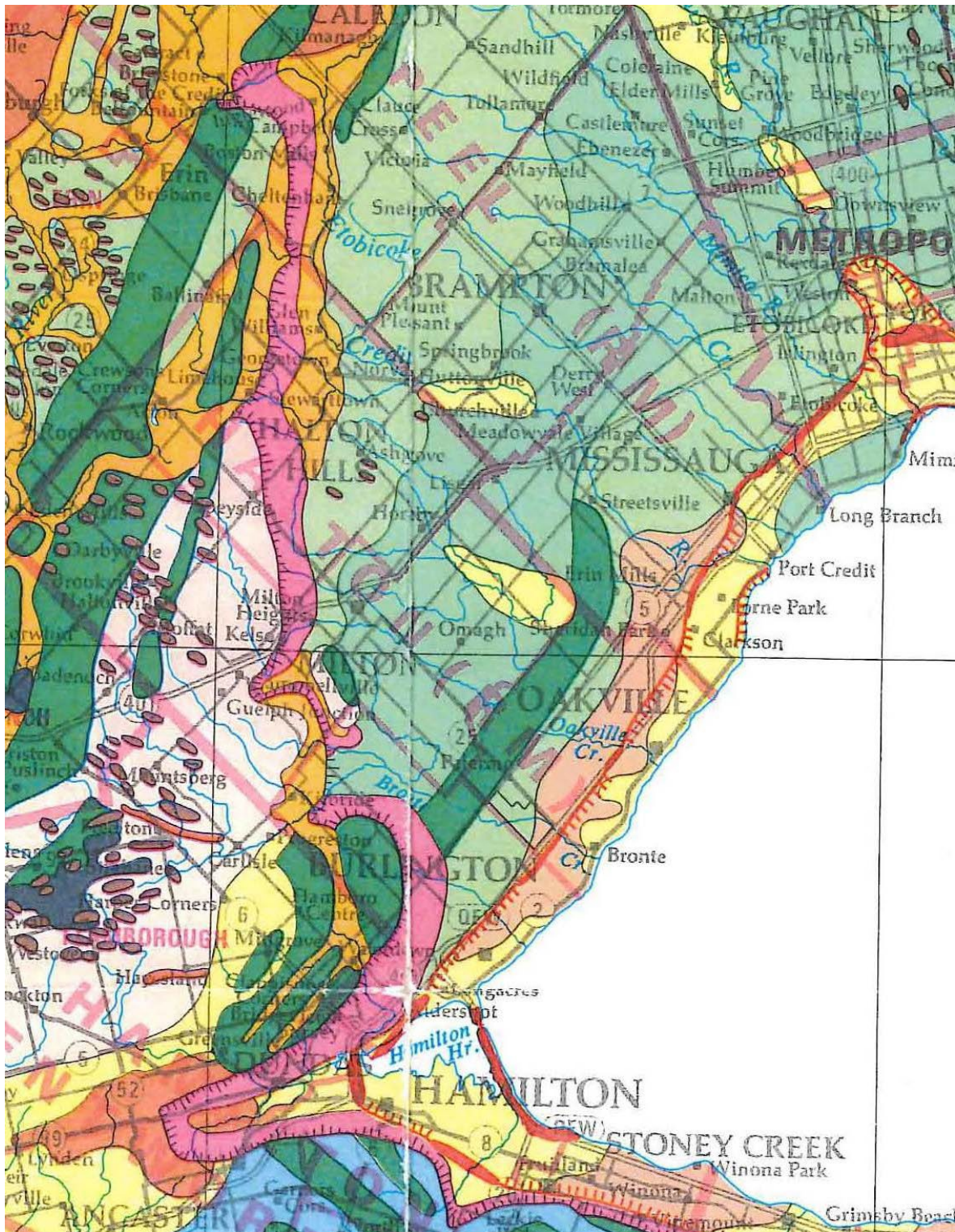


Fig. 35 Detail from L.J. Chapman and D.F. Putnam, "Map P.2715," in *The Physiography of Southern Ontario* (Toronto: Ontario Ministry of Natural Resources, 1984). The yellow patch along the Credit River between Norval and Churchville signifies a sand plain.



Fig. 36 Detail from D.W. Smyth, "A Map of the Province of Upper Canada" (London: W. Faden, 1813), National Map Collection # 15294. Note the lands belonging to the Mississaugas.

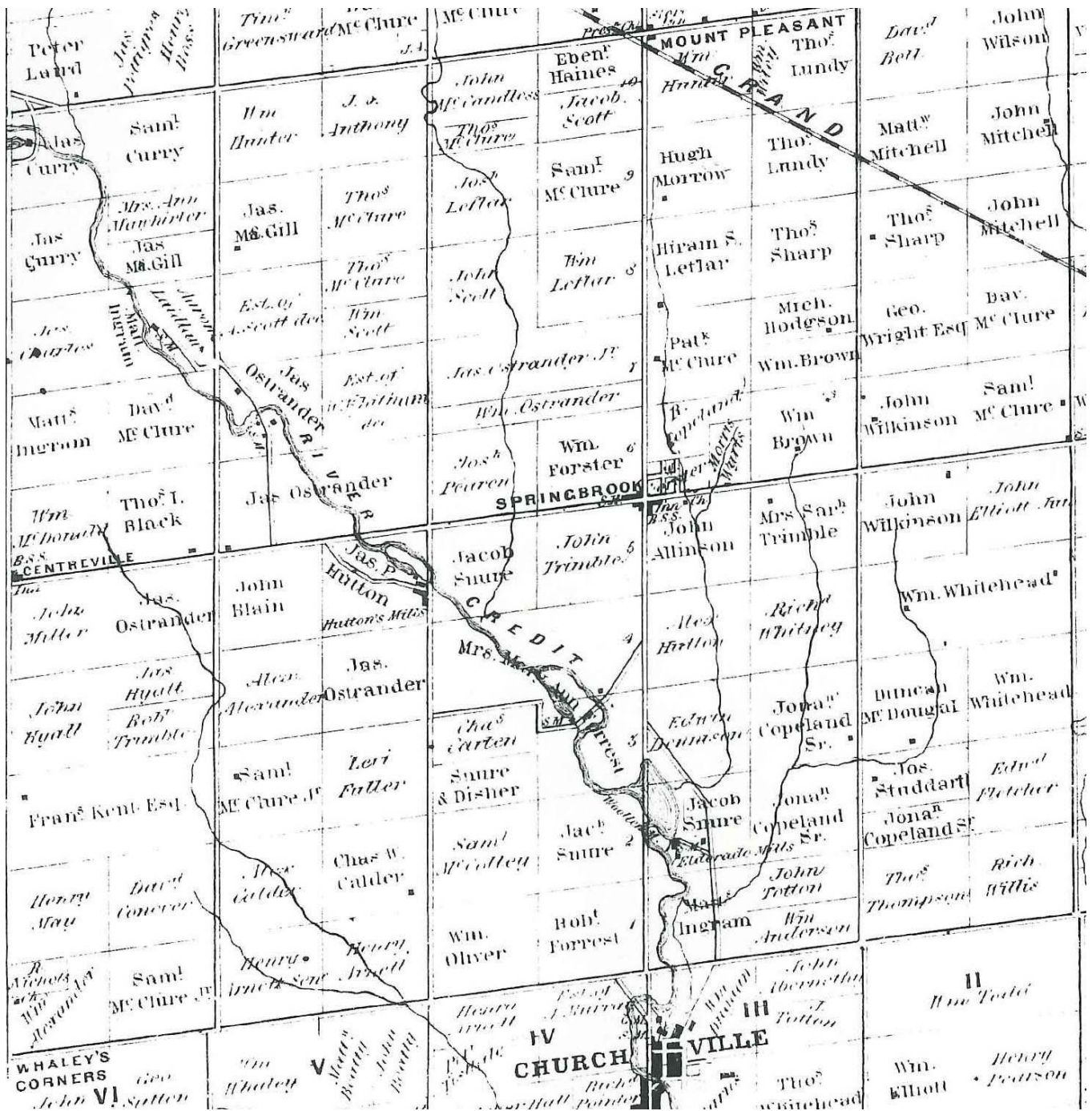


Fig. 37 Detail from George R. Tremaine, "Tremaine's Map of the County of Peel, Canada West" (Toronto: G.R. & G.M. Tremaine, 1859).

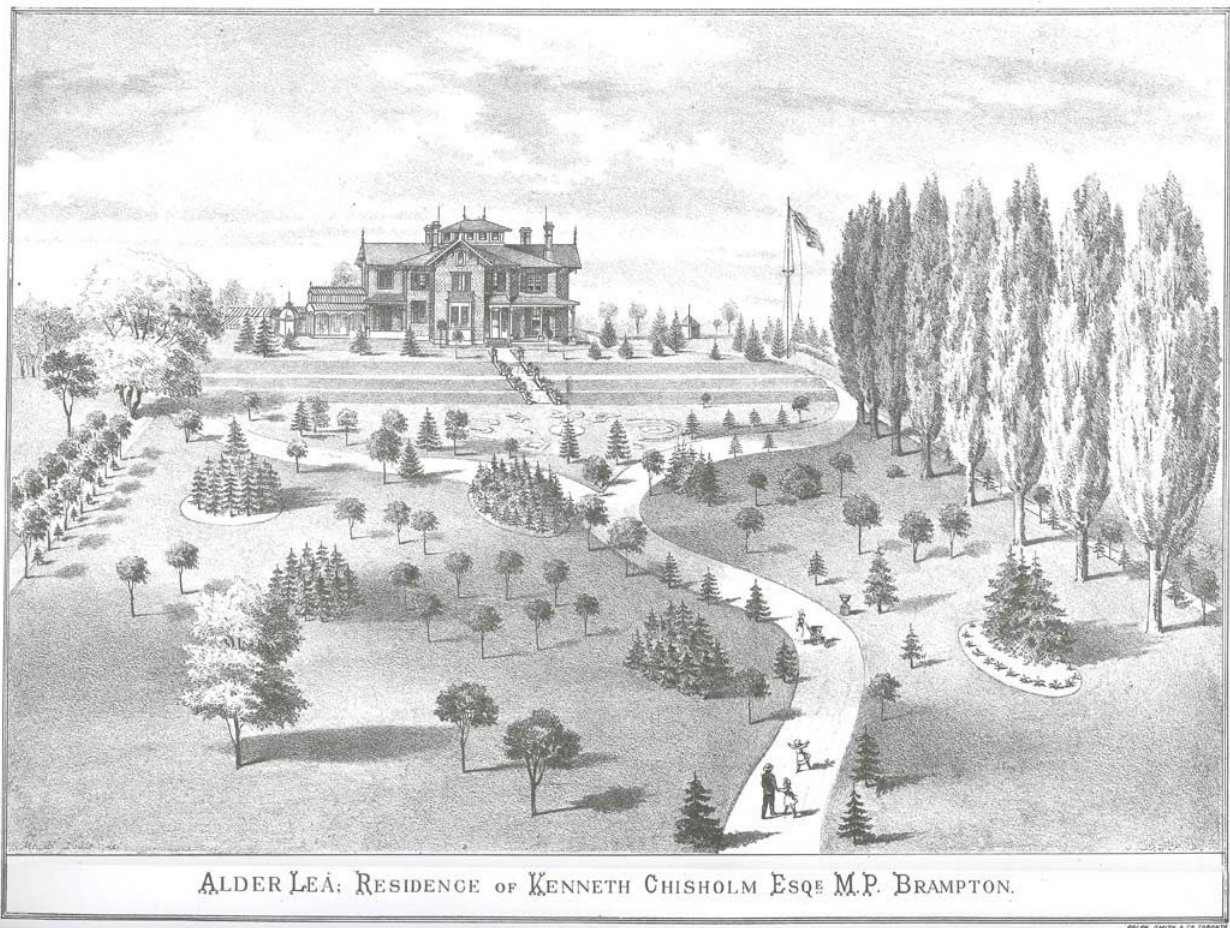


Fig. 38 Kenneth Chisholm's Brampton residence, depicted in J.H. Pope, *Illustrated Historical Atlas of the County of Peel, Ont.* (Toronto: Walker & Miles, 1877), p. 38.

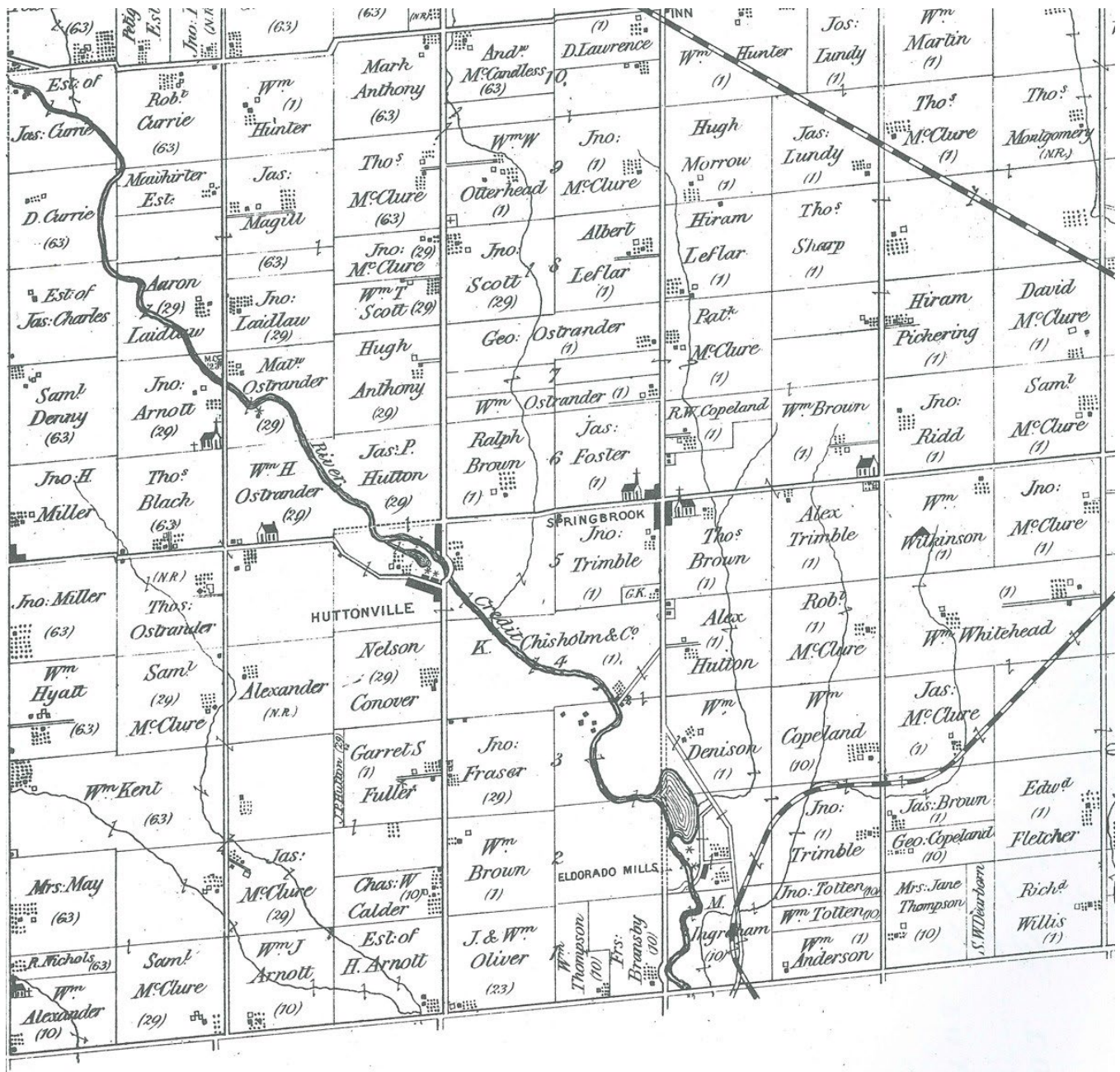


Fig. 39 Detail from "Southern Part of Chinguacousy" in J.H. Pope, *Illustrated Historical Atlas of the County of Peel, Ont.* (Toronto: Walker & Miles, 1877), p. 16.

Picnic tables at Eldorado Park



File Picnic tables at Eldorado Park
Name:

Description Frost postcard collection.

Date 1: 1915 C

Coverage: Eldorado Park (Ont.)

Fig. 40 "Picnic tables at Eldorado Park" or "Sectional View/ Eldorado Park, W. Ward. Prop./ Churchville. Ont." n.d., Frost Post Card Collection, Peel Region Archives.

Picnickers at Eldorado Park



File Picnickers at Eldorado Park
Name:

Description Ken Harrison postcard collection.

Date 1: 1900-1925 C

Coverage: Eldorado Park (Ont.)

Fig. 41 "Picnickers at Eldorado Park or "Eldorado Park," n.d., Ken Harrison Post Card Collection. Peel Region Archives.

ELDORADO PARK





**SERVED ONLY BY THE
CANADIAN NATIONAL ELECTRIC RAILWAYS**

1500 VOLT HIGH SPEED ELECTRIC TRAINS

From Corner of KEELE & ST. CLAIR, TORONTO, and from C.N.R. STATION IN THE HEART OF GUELPH
Passing Through the Business Centres of ACTON and GEORGETOWN

THOUSANDS OF DELIGHTED PICNICKERS LAST YEAR

Some Volunteered the Trouble to Write the Railway. Original Letters on File in Superintendent's Office.
Here's What They Say.

Imperial Life Insurance Company:—"Allow me to express to you my personal thanks and also the thanks of the Staff for the very courteous and efficient manner in which the Excursion was handled. The ride to Eldorado was delightful and the Park itself is an ideal spot for a picnic."

United Press Limited:—"In view of the entire satisfaction of our party with the excellent service rendered by your railway, we are pleased to convey knowledge of this to you and to all whom it may concern. Those who accompanied us to the picnic offer much praise for both the system itself and the courtesy of its employees."

Runnymede Baptist Church:—"The unanimous opinion of our teachers and officers is that everything in connection with the transportation of our picnic was carried out in a very satisfactory manner by your Conductors and Inspectors. We as a Church will not hesitate to recommend others."

Consumers Congasco Club:—"I wish to say that the "National Way" apart from being the way to travel is evidently the fair way. Your treatment to us in matters pertaining to our excursion to Eldorado Park has certainly been of the fairest and we assure you of our patronage in the future. We found Eldorado Park an ideal picnic grounds, and all who travelled with us are very enthusiastic about the place."

Manufacturers' Life Insurance Company:—"May we take this opportunity of saying how much the good service rendered by your railway contributed to the enjoyment of those who participated in the picnic. The satisfactory service rendered by the company was very much appreciated indeed."

Annette Street Baptist S.S.:—"I wish to express our deep appreciation of the service rendered to us and the courtesy of the officials handling the cars on the day of our picnic. Our entire party were well pleased with the arrangement and they all spent a very enjoyable day at Eldorado Park."



VIEW OF SMALL PART OF ELDORADO ALL READY FOR THE DAY'S PICNICS

Fig. 42 A handbill extolling Eldorado Park as a picnic destination by train, c. 1930, reproduced in Jim Leonard, "Draft Heritage Report: Reasons for Heritage Designation: Camp Naivelt, 8596 Creditview Road," May 2010.

Eldorado Dam



File Name: Eldorado Dam

Description William Perkins Bull collection, industry photographs, Eldorado. Photograph of Eldorado Dam, showing original pavilion at Eldorado Park.

Churchville area

Date 1: 1930 C

Coverage: Eldorado Park (Ont.)

Fig. 43 "Eldorado Dam," c. 1930. William Perkins Bull Collection, industry photographs, Peel Region Archives.

Residence of Eldorado Mills owner Walter Ward



File Name: Residence of Eldorado Mills owner Walter Ward

Description William Perkins Bull - Industry Photographs

One of oldest houses in Eldorado. Gentleman out front is Mr. Walter Ward, a stone dresser and owner of Eldorado Mills, 1880-1926. Original caption: "One of

Date 1: 1930 C

Coverage: Eldorado Park (Ont.)

Fig. 44 "Residence of Eldorado Mills owner, Walter Ward," c. 1930. William Perkins Bull Collection, industry photographs, Peel Region Archives. The original caption reads: "One of the oldest houses in Eldorado. Gentleman is Mr Walter Ward – stone dresser and owner of Eldorado Mills, 1880 [sic] – 1926."

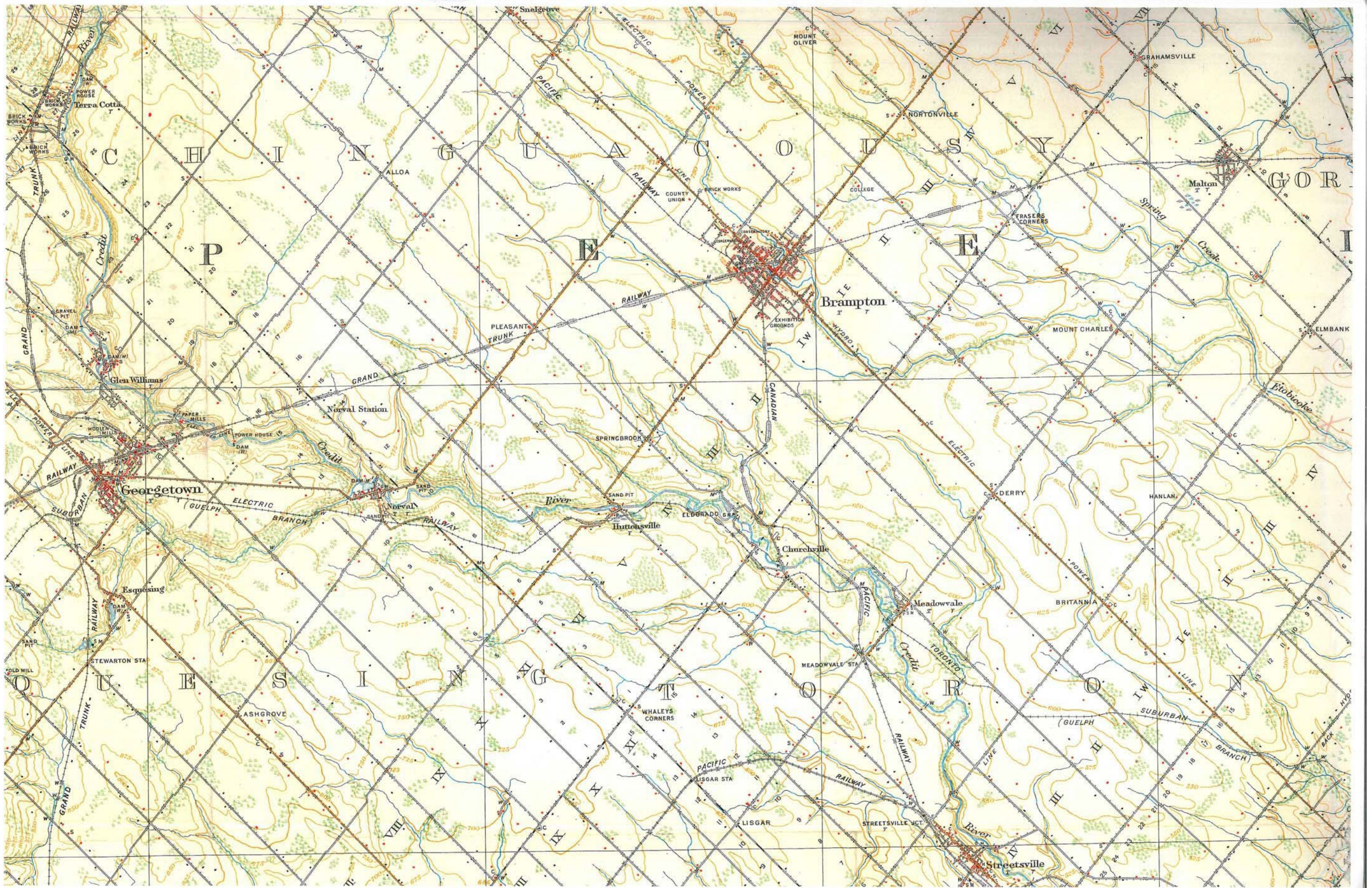


Fig. 45 Detail from Canada Dept. of Militia and Defence, "Brampton Sheet No. 35 – 30M/12, 1922, Toronto Reference Library. "G M" signifies a grist or flour mill. "M" refers to a masonry bridge.



Fig. 46 Opening of Camp Naivelt, June 28, 1936, reproduced in Jim Leonard's report from the Sam and Manya Lipshitz Fonds at York University Archives. Sam Lipshitz is at the microphone, standing possibly on the Eldorado Park dance pavilion's porch.

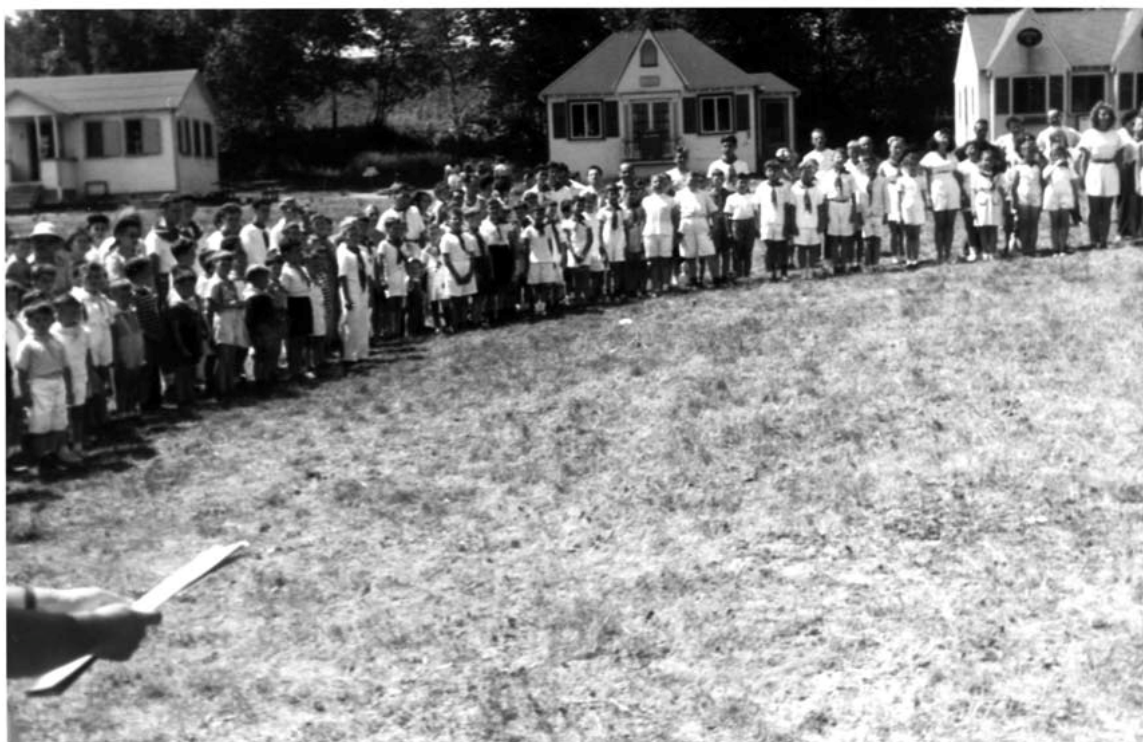


Fig. 47 Children at Camp Naivelt with cottages in the background, 1945, reproduced in Jim Leonard's report from the Sam and Manya Lipshitz Fonds.



Fig. 48 View of Eldorado Park by James Victor Salmon, Oct. 1954, Toronto Reference Library, S 1-2076.

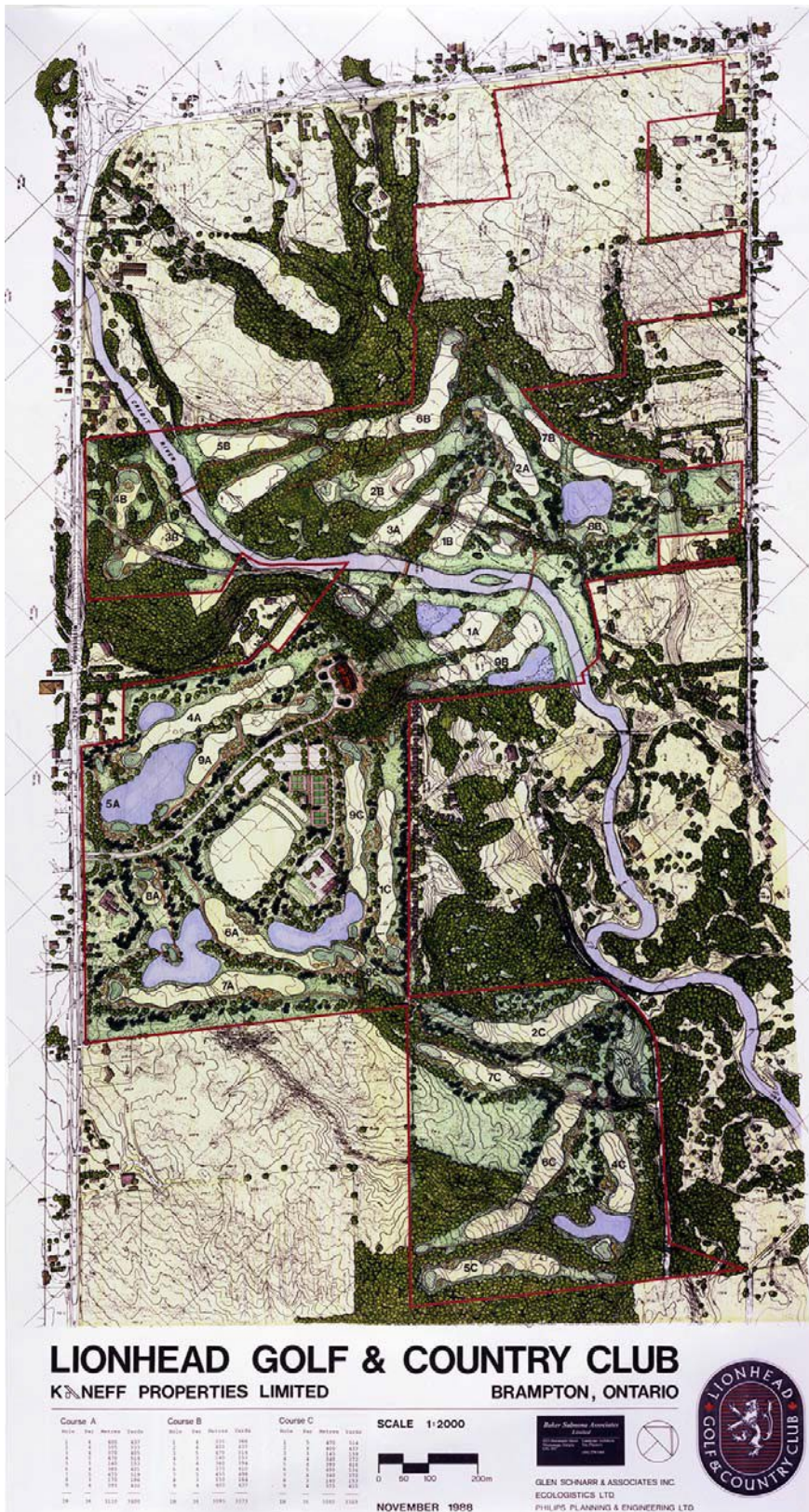


Fig. 49 Baker Salmons Associates Ltd. et al, "Lionhead Golf & Country Club," Nov. 1988, Baker Turner Inc.

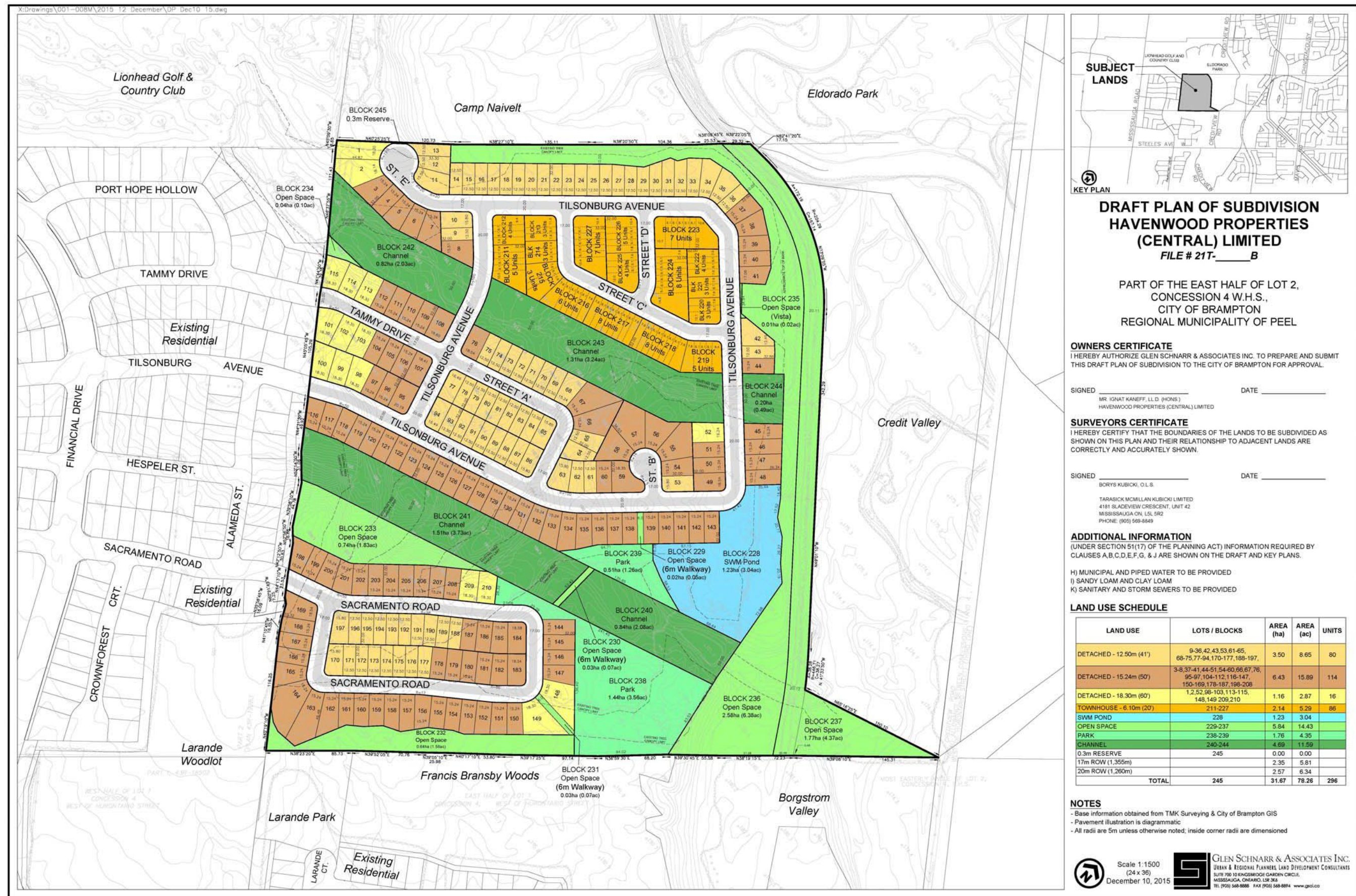


Fig. 50 Glen Schnarr & Associates Inc., "Draft Plan of Subdivision, Havenwood Properties (Central) Limited," 10 Dec. 2015.

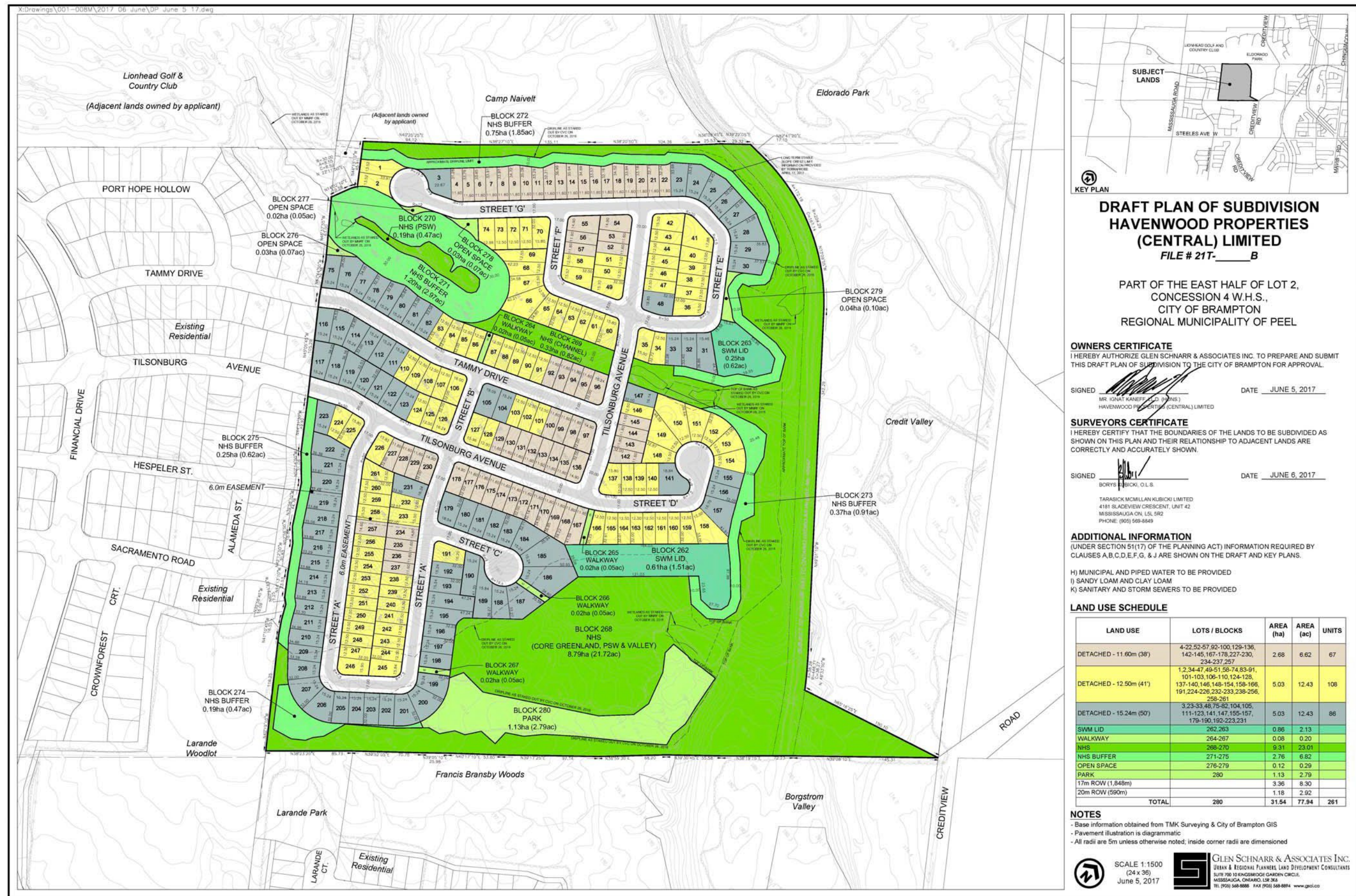


Fig. 51 Glen Schnarr & Associates Inc., “Draft Plan of Subdivision, Havenwood Properties (Central) Limited,” 5 Jun. 2017.

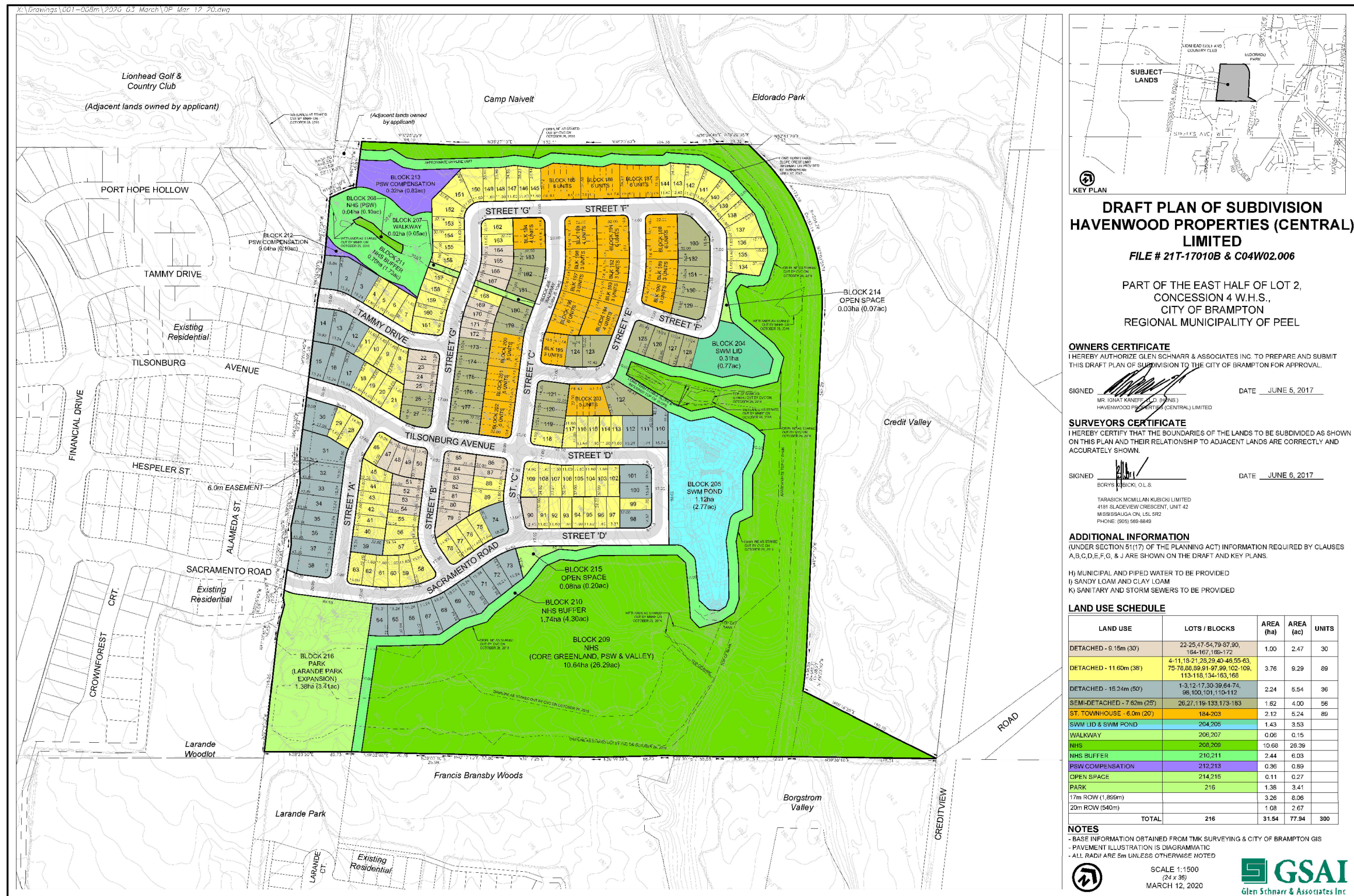
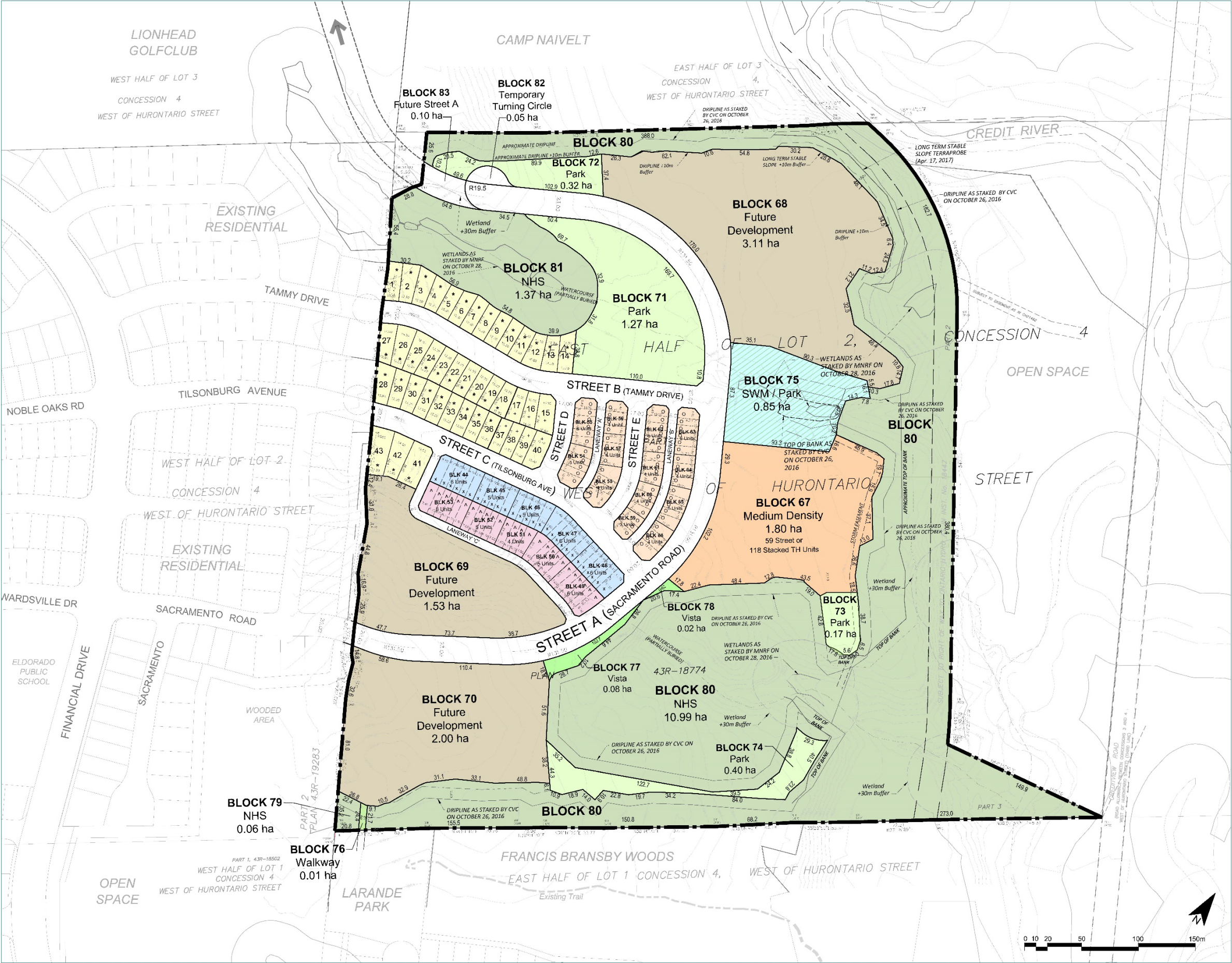


Fig. 52 Glen Schnarr & Associates Inc., “Draft Plan of Subdivision, Havenwood Properties (Central) Limited,” 12 Mar. 2020.



DRAFT PLAN OF SUBDIVISION
21T-17010B
Part of Lot 2
Concession 4 West of Hurontario Street
City of Brampton
Regional Municipality of Peel

KEY PLAN

SUBJECT PROPERTY

OTHER LANDS OWNED BY APPLICANT

SCHEDULE OF LAND USE

LOT/BLOCK	LAND USE	UNITS	AREA (ha)
1-43	Single Detached Min. 12.20m	★	36 1.59
	Single Detached Min. 11.60m	+	7 0.28
Blks 44-48	Street Townhouse 6.10m	x	28 0.52
Blks 49-53	Lane Townhouse 6.10m	△	26 0.50
Blks 54-56	Rear Access Townhouse 6.10m	○	59 0.85
Blk 67	Medium Density	TBD	1.80
Blks 68-70	High Density / Apartments	TBD	6.64
Blks 71-74	Public Park		2.16
Blk 75	Storm Water Management Facility / Park		0.85
Blk 76	Walkway		0.01
Blks 77-78	Vista		0.10
Blks 79-81	Natural Heritage System		12.42
Blks 82	Temporary Turning Circle		0.05
Blk 83	Future Street A		0.10
Street A	23.0m Right of Way - 794m		1.81
Streets B-C	20.0m Right of Way - 570m		1.14
Streets D-E	17.0m Right of Way - 178m		0.38
LaneWAY A-B	8.0m Right of Way - 445m		0.29
TOTAL		156	31.49

OWNER'S AUTHORIZATION

I hereby authorize Malone Given Parsons Ltd. to prepare and submit this Draft Plan of Subdivision to the City of Brampton.

Kristina Kaneff
Vice President and General Counsel,
Kaneff Group

Date

SURVEYOR'S CERTIFICATE

I hereby certify that the boundaries of the lands to be subdivided as shown on this Plan and their relationship to the adjacent lands are accurately and correctly shown.

Borys Kubicki, O.L.S.
Tarasick McMillan Kubicki Limited

Date

ADDITIONAL INFORMATION

AS REQUIRED UNDER SECTION 51(17) OF THE PLANNING ACT, CHAPTER P.13(R.S.O. 1990).

(a),(e),(f),(g),(j),(l) - As shown of the Draft Plan.
(b),(c) - As shown on the Draft and Key Plan.
(d) - Land to be used in accordance with the Schedule of Land Use.
(i) - Soil is sandy loam and clay loam.
(h),(k) - Full municipal services to be provided.

Prepared For:

Kaneff Group of Companies
Lions Head

MGP File No: 22-3135
Date: June 9, 2023

MGP

Malone Given Parsons

140 Dundas Street East, Suite 751, Markham, ON L3R 9P9
416.325.0717 • mgp.ca

Fig. 53 Malone Given Parsons, “Draft Plan of Subdivision 21T-17010B, Part of Lot 2, Concession 4, West of Hurontario Street, City of Brampton, Regional Municipality of Peel,” 9 Jun. 2023.

Page 370 of 709

58

Appendix B: City of Brampton By-law Number 290-2010



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 290-2010

To designate the property known as Camp Naivelt at 8596 Creditview Road as being of cultural heritage value or interest.

WHEREAS Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O. 18 (as amended) authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;

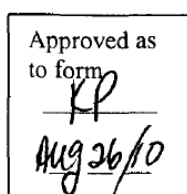
WHEREAS the Brampton Heritage Board supports the designation of the properties described herein;


WHEREAS a Notice of Intention to Designate has been published and served in accordance with the Act, and there has been no Notice of Objection served on the Clerk;


NOW THEREFORE the Council of the Corporation of the City of Brampton HEREBY ENACTS as follows:

1. The property known as Camp Naivelt at 8596 Creditview Road more particularly described in Schedule "A" is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the *Ontario Heritage Act*.
2. The City Clerk shall cause a copy of this by-law to be registered against the property described in Schedule "A" to this by-law in the proper Land Registry Office.
3. The City Clerk shall cause a copy of this by-law to be served upon the owners of the property known as Camp Naivelt at 8596 Creditview Road and upon the Ontario Heritage Trust and to cause notice of this by-law to be published to the City's website in accordance with Council's Procedure By-law.
4. The City Clerk shall serve and provide notice of this by-law in accordance with the Act.
5. The short statement of the reason for the designation of the property, including a description of the heritage attributes are set out in Schedule "B" to this by-law.
6. The affidavit of Peter Fay attached, as Schedule "C" hereto shall form part of this by-law.


READ A FIRST, SECOND AND THIRD TIME AND PASSED IN OPEN COUNCIL THIS 15 DAY OF September, 2010.




SUSAN FENNELL - MAYOR


PETER FAY - CLERK

Approved as to Content:



Karl Walsh, Director, Community Design, Parks Planning and Development

SCHEDULE "A" TO BY-LAW *290-2010*

LEGAL DESCRIPTION

PIN: 14087-0045 (LT)

PT LT 3 CON 4 WHS CHINGUACOUSY AS IN CH1 7746 (FIRSTLY) & CH18846
EXCEPT VS149781 ; BRAMPTON

SCHEDULE "B" TO BY-LAW *290-2010*

STATEMENT OF THE REASON FOR THE DESIGNATION OF CAMP NAIVELT, 8596 CREDITVIEW ROAD, CITY OF BRAMPTON

GENERAL PROPERTY DESCRIPTION

The property known as Camp Naivelt falls within a portion of Lots 2 and 3 in Concession 4, WHS (former township of Chinguacousy). The area was surveyed in 1819.

Camp Naivelt is situated in the heart of the Credit Valley. A portion of the Credit River runs through the property. The overall shape of the parcel is an irregular L-shape that comprises almost 50 acres. Much of the landscape is defined by gently rolling hills with some steep slopes and gullies dropping down toward the Credit River valley. Overall Camp Naivelt is dominated by forest with some open space areas for gatherings and recreation. Property lines are defined by mature hedgerows and page wire fences in some areas.

The subject property as it is today, can be divided into three components. 'Hill 1' is a triangular parcel located on the west side of Creditview Road and linked to the road by an unpaved laneway. In the 1940s and 1950s rudimentary one-room wood frame cottages were built in two converging rows, surrounding a large central open space that serves as a common area.

Hill 1 comprises 24 cottages. The main entrance into Camp Naivelt is situated here, leading in from the west side of Creditview Road. The entrance is partially screened by a hedgerow of cedars and shrubs.

A portion of the Credit River creates a natural divide between Hills 1 and 2. A footbridge, connects the two hills. It was built in recent years by the City of Brampton, replacing an earlier bridge constructed in the 1950s by Camp Naivelt.

Hill 2 is situated on the west side of the Credit River, deeper within the subject property. Some 35 cottages are found on Hill 2. A long row of frame cottages flanks the western property line along its length. The open space fronting Hill 2 contains a circular arrangement of cottages and is known as "the Hill 2 Circle". At one time there was also a row of cottages on the face of Hill 2 known as "King's Row".

The "Lasowsky Centre" is located at the base of Hill 2, just inside the entrance to Camp Naivelt from Eldorado Park. The simple cinder block facility is used for meetings, dances and other larger scale events. It replaces an earlier wood frame dining hall built originally when the property was owned by the Canadian National Railway (CNR). It was lost to fire some years ago.

A private laneway bi-sects Hill 2 and 3. The original children's camp (Camp Kindervelt) was located in this general area, along a slope dropping down toward what is the site of

the Eldorado Pool. Most of the children's camp area is now overgrown with small trees and vegetation. A topographical map created in 1960 indicates that the children's cottages were laid out in a U-shaped plan facing east. Some ruins of these cottages survive but most structures appear to have been removed from the area.

Some 40 cottages populate Hill 3. Hill 3 is generally laid out in the same fashion as Hill 2, with a long relatively straight row of frame cottages along the western property line. A camp facility known as "The Ritz" is located at the base of the Hill 3 area. Two vacant buildings that originally functioned as the children's camp Infirmary and were later occupied as regular cottages, are located just west of "The Ritz". A frame shed located directly adjacent to the "The Ritz" houses a boiler.

The sloping ravine that drops down toward the Credit River is heavily wooded.

With the exception of a few relatively small clearings that front the cottages and some unpaved laneways, the property is generally defined by dense woodland cover.

STATEMENT EXPLAINING THE CULTURAL HERITAGE VALUE OR INTEREST OF THE PROPERTY

Camp Naivelt is located at 8596 Creditview Road north of Steeles Avenue. Camp Naivelt is a significant cultural heritage landscape. It is worthy of designation under Part IV of the Ontario Heritage Act for its cultural heritage value or interest. The property meets the criteria for designation prescribed by the Province of Ontario under the three categories of design or physical value, historical value and/or contextual value. Historical and contextual value criteria elements are especially significant.

Historical / Associative Value

Camp Naivelt (Yiddish word for "New World") has direct associations with a range of important historical and cultural themes.

Eldorado Area

Camp Naivelt contributes much to our understanding of the historical and physical evolution of the Eldorado area within the Credit River valley.

The subject lands were first settled by the Mary Ann Forrest on Lot 3 (sawmill owner) and Jacob Snure on Lot 2, (owner of Eldorado Mills). Creditview Road was surveyed and in place before 1859. The 1877 Atlas identifies Kenneth Chisholm as owner of the subject property. Chisholm purchased the Eldorado Mill site from Jacob Snure prior to 1877. Mapping indicates that the general area remained sparsely populated until after the 1940s.

Originally the property was part of the mill operations along the Credit River but was never seen as either an ideal farming site or suitable for milling.

By the early 1900s the property became part of a large private recreational area known as Eldorado Park. In 1925 the Canadian National Railway (CNR) purchased these lands to establish a full-scale amusement park. The CNR equipped the facility with a merry-go-round, Ferris wheel, a dance hall and other amenities. The CNR's strategy was to use the park attraction as a means to draw families into the area - ideally using the struggling suburban radial railway line, which the CNR had purchased in 1918. The line ran through Eldorado and Camp Naivelt in a north-westerly direction, on the west side of the Credit River bank. The rail bed remains intact along a portion of the river bank, just outside Camp Naivelt near the Eldorado Park swimming pool. A segment of railway track survives inside Camp Naivelt itself.

During the depths of the Great Depression the CNR determined that Eldorado Park was too much of a financial burden. The CNR elected to sell the Eldorado Park attraction. On September 20, 1935 a holding company accepted title to the lands at Eldorado for Camp Naivelt.

In the 1930s the secular Jewish organization that founded Camp Naivelt identified Eldorado Park as an ideal location for a permanent camping facility. A holding company was formed called, "Eldorado Camp & Amusements Limited" to purchase the property from the Canadian National Railway, because the CNR evidently would not sell the land to a Jewish organization. Early campers recall a hateful sign that had once been posted at the main entrance to Eldorado Park that warned, *"No Jews or Dogs Allowed"*.

In the 1960s, membership at Camp Naivelt declined for a period of time. Approximately 52 acres of Camp Naivelt, containing many camp facilities, were sold to the Township of Chinguacousy (now City of Brampton).

Although almost half of the original Camp Naivelt site was sold the general area retains a rural and undisturbed pastoral quality, partly because the land sold off is still used as parkland and open space (Eldorado Park), also because Camp Naivelt itself has changed little since its inception in the 1930s and because it retains its original, generally passive recreational use.

"Summer Camp" Movement

Camp Naivelt is important in helping to define the importance of the "summer camp" movement that only really took root after World War One. With urbanization many parents started looking for places to take their children that could offer fresh air, open spaces, fun and escape from crime and other problems of the inner-city. It also offered an escape from the risk of polio which always emerged in the summer months. Summer camps were established across North America.

According to Nancy Mykoff of the Jewish Women Encyclopedia, the summer camp concept was especially popular with Jewish organizations, in part because anti-

Semitism barred Jewish youth from other more established camps. Jewish summer camps of every political and cultural stripe were formed throughout the continent.

Camp Naivelt had strong connections with similar camps in the Laurentians of Quebec and on Sylvan Lake in Hopewell Junction, NY, just outside New York City.

Women's History

The site also has meaningful associations with women's history. The origins of Camp Naivelt rest with the Jewish Women's Labour League (Yiddisher Arbeter Froyen Farein). In 1925, a group of these women, including Rae Watson, Becky Lapedes, Leah Linzon, Bella Goodis, Gertie Blugerman, Ethel Temkin and Tillie Chikovsky, founded Camp Kindervelt, the precursor of Camp Naivelt. The following is excerpted from Becky Lapedes's 1975 article in the Vochenblatt (newspaper):

Virtually all the 35 members of the Jewish Women's Labour League helped - by working two week shifts and contributing \$3.00 a week as well. Notable amongst them were Rachel Watson, Manya Shur, Becky Lapedes, Gertie Blugerman, Lily Krakauer, Ida Nepom, Sarah Sheiner, Ida Milton, Tillie Chikovsky, Mrs. Blum and Pearlstein, Leah Lindzon, Ethel Temkin. (from *Fifty Years of Kinder/and and Naivelt*, Becky Lapedes, Vochenblatt, July 9, 1975)

At first, the camp was located in Long Branch, and in 1926 it moved to the Rouge Hills northeast of Toronto. Initially the property was leased. As the camp grew in popularity, the Women's League partnered with the all-male Labour League in order to purchase a larger and better equipped camp site at Eldorado Park, which became Camp Naivelt.

One of their objectives with Camp Naivelt, and its earlier incarnations, was forcefully described by the Women's League:

"We will explore all avenues in order to create a summer home for workers' children so that they don't have to go to the rich charity institutions who with one hand take the skin from our bodies, and with the other throw us a bone and humiliate".

These women were from poor working families, where the husbands and wife had no choice but to work. They often had no safe places to leave their children in the City so the workers' camp concept was embraced. It served both a pragmatic aim (caring for the children) and a means to foster a sense of communal living, along with certain cultural and political ideals in their children. As Ester Reiter (historian and sociologist) writes,

"... camp [Naivelt] was designed by and for people with very little money, and it was organized by women. Although the leadership

after its inception reverted to the men, women are credited with maintaining the community. For the children who attended camp, those summers were a powerful experience and a sense of identity was forged that remained central over the years... The motto for the camp was "fun kemp tsu shule, fun shule tsu kemp" (from camp to school, from school to camp). The zomer haim (summer home) was a continuation and extension of the political, cultural and educational activities that went on all winter long in the city... [and] a community where Yiddishkeit, radical politics, socialist values and visions mixed comfortably with the pleasures of being in the country. The camp was a working-class camp created by workers, and was also a place to transmit socialist values to the next generation." (from Marlene Epp and Franca Iacovetta (eds). (1995). *Sisters and Strangers*. Toronto: University of Toronto Press)

Camp Naivelt was officially opened on June 28, 1936 (see figure one). The children's camp operated under the name Camp Kinderland. The adult portion was known as Naivelt. After the children's camp closed in the 1960's, the focus shifted to families in general. Very few remnants of Camp Kinderland survive.

Secular Jewish Culture in Canada

In addition to offering relief from the crowding and heat of inner city life, Camp Naivelt was used to promote secular Jewish cultural traditions. A key element of the Camp Naivelt mission has been to foster a deep and meaningful understanding of secular Jewish culture and folklore, the Yiddish language, music, folk art and dance.

The administration of Camp was overseen by the United Jewish People's Order, when they became a national organization in 1945. The UJPO describes itself as: "... an independent, socialist-oriented, secular cultural and educational organization" with branches in Toronto, Winnipeg and Vancouver, and members in Montreal and other Canadian centres.

From its beginnings in 1926 as the Labour League, the UJPO has always had a socially progressive outlook, consistently promoting labour unionization, peace, and social justice in Canada and the world. All of these ideals were woven into the operational mandate of Camp Naivelt.

Political History

The Camp helps interpret an interesting period in Canada's political history when idealistic leftist movements were contributing to social reforms that shaped the evolution and character of this country.

Political and social activism was a significant part of Camp Naivelt. Its mission was to promote progressive socialist philosophy, tightly integrated with secular Jewish and Yiddish cultural traditions.

As Elsie Suller, who for many years was the director of New York's camp Kinderland, characterizes it,

"Kinderland was born in response to a particular need. No other children's camps reflected the rich cultural life, secular lifestyle and social values of the progressive Jewish movement. Members of this movement were involved in social protest; they were activists in the growing labor movement, creators of Yiddish schools, theatre and choral groups and fraternal societies... the cultural program of the camp reflected its own particular values... "

When Camp Naivelt was officially opened on June 26, 1936, several prominent local Leftists made speeches, including Sam Lipshitz, an activist who had started working for the Canadian Communist party in the early 1930s. His wife Manya taught Yiddish and Jewish history at the Winchevsky Centre for twenty-five years. Sam and Manya Lipshitz and their daughter May (later a prominent Toronto physician and professor of medicine) had a cottage at Camp Naivelt. (*Figure six*) There is a snapshot of Sam Lipshitz speaking at the opening of the Camp, among his personal papers in the York University Archives (*Figure one*).

The Lipshitz family were Naivelt attendees along with other prominent Toronto activists, including Morris Biderman and his family.

When the veterans from the Mackenzie-Papineau Battalion returned from fighting Franco's dictatorship in Spain, they came to Camp Naivelt. The camp constructed trenches so that the campers would better understand the conditions of fighting as Republicans in the Spanish Civil War. As a Jewish and Left community, the camp identified with the urgent need to stop Hitler and Mussolini. Both of these dictators were actively supporting Fascist Spain.

Canadian Communist Party leader Tim Buck sometimes spoke at Camp Naivelt. The Multicultural History Society of Ontario has film footage in their collection of a labour picnic at Camp Naivelt, (about 1948), which includes footage of Buck delivering a speech. There are also photographs of Tim Buck at Camp Naivelt in 1945 in the York University Archives (*Figure four*).

Camp Naivelt also helps explore how fears of Soviet expansion during the mid and late 20th century triggered a wave of anti-Communist hysteria known as the "Red Scare" in North America. Camp Naivelt flourished for many years, even during much of the Cold War era when terms like McCarthyism, "Red Menace" and blacklisting became part of popular culture. During the height of the so called, "Red Scare" of the 1950s Camp

Naivelt was a refuge of sorts for many prominent American performers who had been blacklisted in the US and banned from performing in many places.

The property was rather secluded when first established. Surrounding lands were either undeveloped or used as farmland. The nearest populated centres were the small rural hamlets of Churchville and Huttonville. During the height of anti-Communist hysteria in the late 1950s, one wonders how many people living nearby or in the town of Brampton were aware that a workers camp with Communist leanings was flourishing in their part of so called, "conservative small town Ontario".

The RCMP was aware of Camp Naivelt however. Many visitors recall the RCMP monitoring activities and goings-on there from time to time through the late 1940s and 1950s. The RCMP would periodically 'stake out' the park entrance, recording license plate numbers and photographing anyone visiting during public events.

Atrocities and widespread anti-Semitism associated with Stalinist Russia were exposed after the death of Joseph Stalin in 1953. These revelations, along with anti-Communist fervor during the Cold War eventually impacted the mission of Camp Naivelt. Social Scientist Ester Reiter documents how membership at Camp Naivelt went through a temporary period of decline in the late 1950s and 1960s, finally resulting in the closure of the children's camp and the sale of 50 acres of the property to the Township of Chinguacousy, with the understanding that it be permanently used as public parkland (now Eldorado Park).

The History of Music and the Arts in Canada

A very significant part of Camp Naivelt's historical value is its rich and direct associations with Canada's musical and artistic heritage. Camp Naivelt was clearly a crucible, gathering together and nurturing young, creative minds. The mission of the Camp helped these people tap into and develop their musical, artistic and literary talent. The long list of Naivelt alumni who went on to forge distinguished careers in music, film, literature, journalism and the arts is astounding.

This well spring of creativity is particularly evident with regard to folk music, a musical genre that focused on the struggles of the working class, the poor and new immigrants; all matters of concern to the founders of Camp Naivelt. The Morris Biderman book, *A Life on the Jewish Left*, records the following:

Long before its general popularity, folk music was prominent at Naivelt, and major artists, such as Pete Seeger, frequently came to perform there... The intensity which grew out of the concentration of so many young, dedicated, energetic and enthusiastic people... was remarkable... Camp Naivelt was a vibrant and important place. (pg. 71-72)

Folk music was an integral part of Camp Naivelt's activities and children's programming. The United Jewish People's Order, owners of Camp Naivelt, established the UJPO Youth Singers in the early 1950s. Groups toured the country singing folk songs, Yiddish music and political anthems. Many Camp Naivelt attendees participated in these national tours.

Gillian Mitchell's book, "North American Folk Music Revival: Nation and Identity in the United States and Canada, 1945-1980" states that "one of the crucial centres for early Jewish-Canadian folk music was a summer camp for Jewish families named Camp Naivelt" and that "Camp Naivelt and the Toronto Jewish community were instrumental in promoting folk music in Canada".

The founding members of Canada's first and best known folk music group, *The Travellers*, met as youth at Camp Naivelt and formed the group while there. In the summer of 1953 at Naivelt, Jerry Gray, Simone Johnston, Sid Dolgoy and Jerry Goodis became friends after watching American folk music legend, Pete Seeger perform there (Figures 8 and 9). Seeger visited Camp several times during the 1950s. Seeger acted as a mentor to the fledgling folk group and encouraged them to form essentially a Canadian version of his own folk group, "The Weavers".

In 1955, *The Traveller's* adapted Woody Guthrie's "This Land Is Your Land" with Canadian place references. Their version of this iconic folk anthem became a nation- wide hit record and remains their signature song. *The Travellers* also have the distinction of being the first Canadian musical group to gain international fame.

The CBC Archives holds a July 1960 recording from a summer evening concert at Camp Naivelt. It features the teenage voice of camp member Zalman Yanovsky. As a youth, Zal Yanovsky spent most of his summers at Camp Naivelt. In the early 1960s Yanovsky relocated to New York City. He became a member of a group called the *Mugwumps* with friends John Sebastian, Mama Cass Elliott and Denny Doherty (later members of *The Mamas and The Papas*). In 1964 Yanovsky and John Sebastian co- founded the rock band, *Lovin' Spoonful*. Yanovsky was lead guitarist. *Lovin' Spoonful's* hits include "Summer in the City" and "Do You Believe in Magic". He left the group in 1967 for a solo career.

The tape mentioned above, also features the voice of another Naivelt camper, Sharon Trostin. She would later become a member of the children's group *Sharon, Lois and Bram*. *Sharon, Lois and Bram* became very popular in the 1980s with their CBC television programs, "The Elephant Show" and "Skinsamarink TV". The Juno Award winning trio sold millions of albums, performed at the Clinton White House in 1994 and were awarded the Order of Canada in 2002. Sharon Trostin married Joe Hampson, who joined *The Travellers* in 1965.

Juno Award winning singer, songwriter, Eddie Schwartz, is also a Camp Naivelt alumnus. He spent a great deal of time there in the 1970s. Schwartz is perhaps best known as the composer of the 1980 pop song "Hit Me With Your Best Shot" which

became a hit for rock star Pat Benatar. He was also a music producer for numerous artists including, The Doobie Brothers, Donna Summer and Rita Coolidge.

Ben Mink is another Camp Naivelt attendee who has had a distinguished music career. Mink has collaborated with such stars as k.d. Lang, together producing some of her best albums and co-authoring many of her hit songs. In 1993 he and Lang won a Juno for Best Songwriter. They were also nominated for a Grammy Award. Mink has also produced work for the *Barenaked Ladies* and has performed with a Winnipeg-based Klezmer group, the North End Project.

Estelle Klein, the first artistic director of the *Mariposa Folk Festival* was another alumnus of Camp Naivelt. An obituary describes her as the "Queen Mother of Canadian folk music". She was artistic director of the Mariposa Folk Festival for 20 years beginning in 1964. As director she innovated the "standard" format of Canadian folk festival as day long events with workshops, arts and crafts and public interaction with artists. The Ontario Council of Folk Festivals created a prestigious award named in her honour. Estelle Klein developed her deep and life-long love for folk music while at Camp Naivelt, according to her obituary.

Camp Naivelt influences extended beyond folk music to the arts in general. Another significant Camp Naivelt alumnus was Dusty Cohl, co-founder of the Toronto International Film Festival (TIFF). Cohl was a camp counselor in the 1940s.

A close friend of Cohl's was Hollywood film director, Ted Kotcheff. The two met at Camp Naivelt in the 1940s. Kotcheff is best known as director of "The Apprenticeship of Duddy Kravitz", "Uncommon Valour", "First Blood", "Weekend at Bernie's" and several other Hollywood feature films. He has also directed several American television series, including "Law and Order: SVU".

Toronto Star columnist David Lewis Stein and well known author James Laxer were long time visitors to Camp Naivelt as children. Stein recalls how desperate his parents were to get him out of the crowded city so as to avoid the dreaded polio epidemics that hit Toronto every summer. James Laxer details his Camp Naivelt memories in his autobiographical book, "Red Diaper Baby: A Boyhood in the Age of McCarthyism".

Jerry Goodis, a long time Naivelt attendee and founding member of *The Travellers*, left the folk group in 1960. He formed what would become Canada's largest advertising agency. His firm created such phrases as, "At Speedy You're a Somebody" and "Harvey's makes your hamburger a beautiful thing." Goodis also worked as a publicist for Prime Minister Pierre Trudeau.

Henry Orenstein, who became a prominent painter and graphic artist and whose work reflected the lives of working people in Canada, had his beginnings as head of Arts and Crafts at Camp Naivelt. Joan Orenstein, celebrated actress in Ottawa, Montreal, Toronto and Halifax, also attended Camp Naivelt, as did the dancer Marcel Chojnicki.

Yet another prominent Naivelt figure was Avrom Yanovsky (1911-1979), father of rock performer Zal Yanovsky. Avrom Yanovsky was a noted political cartoonist and artist, who studied with members of the Group of Seven. Yanovsky's cartoons were featured in the Toronto Tribune newspaper and in several left-wing magazines and newspapers.

Camp Naivelt was visited regularly by a range of prominent American folk singers, authors and artists between the 1940s and 1960s. Deeply admired at Camp Naivelt was legendary American folk singer Pete Seeger. Seeger performed there starting in the mid 1950s after he was 'blacklisted' by the US House Un-American Activities Committee (HUAC). As 'red baiting' intensified in the 1950s Seeger could only make a regular living on the college campus circuit and at "Left summer camps" according to a biography by Richard Taskin.

David Lewis Stein recalls that on sunny days Pete Seeger would just sit on a picnic table at Camp Naivelt and start strumming his banjo. Soon he was giving impromptu concerts for anyone that gathered around him.

Pete Seeger either wrote or adapted several of the most important folk songs of the 20th century including: "Where Have All The Flowers Gone", "If I Had A Hammer", the civil rights anthem, "We Shall Overcome" and "Turn, Turn, Turn", which became a huge hit for the folk rock band, "The Byrds" in 1965. Seeger also co-founded the legendary folk group, "The Weavers". Their rendition of "Goodnight Irene" was a #1 pop hit in 1950.

Camp Naivelt Cultural Committee minutes for a meeting held on April 18, 1955 suggests that well known performers and authors were actively sought out and paid to visit Camp Naivelt. The April 1955 minutes record that Pete Seeger would be visiting in the summer.

The same Cultural Committee minute book records that Canadian folklorist Ruth Rubin was booked to visit in July, presumably for lectures on Yiddish music and folklore, which she devoted her life to studying.

The minutes also record that American author Bernard Malamud was "prepared to spend 10 days in camp for \$100 which includes travelling expenses". Malamud is a Pulitzer Prize winning author perhaps best remembered as author of "The Natural" about a fictional baseball player.

Earl Robinson, an American born songwriter, musician and leftist political activist, was "prepared to come to Camp Naivelt's opening weekend for \$100 plus expenses". Robinson composed the folk song, "Joe Hill", also, "The House I Live In" for a short film on anti-Semitism starring Frank Sinatra. The song was a hit record for Sinatra in 1945 and the film later won an Academy Award. Robinson was blacklisted in the McCarthy era.

Paul Robeson (1898-1976), the great American baritone, stage and film actor and political activist, performed with the UJPO Toronto Jewish Folk Choir at Massey Hall

many times during the 1940's and 1950s and was a close friend of the Folk Choir's long-time conductor Emil Gartner, who had a cabin at Camp Naivelt. Adored by Naivelters, his songs were often performed at Camp. Like Seeger and Earl Robinson, he too faced blacklisting during the McCarthy era for his leftist politics. Robeson is best known for his performances in the musical, *Show Boat* and Shakespeare's *Othello*. James Laxer, cited above, recalls in his autobiography how enthralled he was hearing Robeson sing with the Folk Choir, marveling at the sheer power and, as he put it, "velocity" of his famous baritone voice.

American folk singer Phil Ochs, best known for the 'protest song' "I Ain't A March'n Anymore" visited and performed several times at Camp Naivelt in the 1960s. Ochs is fondly remembered by many Camp Naivelt attendees.

Camp Naivelt clearly served as a crucible allowing a great many gifted young people to hone their talents, and in its heyday, was also a destination for prominent folk singers and other performers. It can certainly be argued that the musical and cultural associations alone, give Camp Naivelt national heritage significance.

Contextual Value

Camp Naivelt is physically, visually and historically linked to its surroundings. It is a key component within the Eldorado area, a large, complex and interwoven cultural landscape, nestled within a few hundred acres of the Credit Valley.

It is most directly historically and physically associated with the modern day Eldorado Park. Originally Eldorado Park was part of Camp Naivelt. It is now owned by the City of Brampton. Eldorado Park once contained many of the key recreational facilities either constructed by Camp Naivelt or taken over when the property was purchased from the CNR in 1936. These facilities included the Dance Pavilion, amusement rides, fire pit, swimming holes and in-ground swimming pool (originally one of the largest pools in Southern Ontario).

Another compelling contextual association is the now abandoned electric radial railway line. The Guelph leg of the Toronto Suburban Street Railway ran through Camp Naivelt on its way to Huttonville, Norval and finally Guelph. A visible portion of the original rail bed survives along the eastern property line between Camp Naivelt and Eldorado Park. The surviving portion of the rail bed closely follows the bank of the Credit River in a southerly direction, starting at the Eldorado Park swimming pool, extending southward for about one quarter of a kilometer.

A surviving portion of iron railway track from the radial line is situated inside Camp Naivelt. The rails extend over a narrow gully. Concrete piers and planks rest in a pile at the base of the gully just below the tracks, suggesting that this feature was once a small railway bridge.

Camp Naivelt is also associated with other discrete and important historical properties and features such as the Credit River, the nearby Bonnie Braes farmstead, Creditdale Farm, the Bowstring Bridge, the site of Eldorado Mills, the nearby hamlets of Huttonville and Churchville, the former Credit Valley Railway line (later the CPR line).

The site is also linked physically and contextually to Creditview Road, which in this area, remains one of Brampton's scenic, rural roadscapes. The main entrance into Camp Naivelt is off Creditview Road. The frontage of Camp Naivelt, facing Creditview Road, is screened by vegetation and is defined by a rural road cross-section with swale. The only signage is a hand painted wooden "Camp Naivelt" sign posted at the road. These attributes contribute to the prevailing rural character of the property.

Camp Naivelt is important in defining and maintaining the rural character that still prevails in the Eldorado / Credit Valley area. Overall the property is dominated by rolling hills, dense forest and ribbons of sodded open space areas fronting cottages and surrounding general purpose buildings such as "The Ritz", the now abandoned children's camp infirmary and "Lasowsky Centre". These common spaces are used for meetings, recreation, laundry and showering.

Camp Naivelt contains remnants of the Carolinian forest zone of southern Peel Region. Much of the property is defined by mostly deciduous forest, particularly along the sloping hillsides and ravines that drop down toward the Credit River. Several tall white pines (some likely as old as 150-200 years), along with beech, shagbark hickory, maple, black walnut and oak are found. A variety of shrubs, ground covers and clusters of trillium plants dot the forest floor and grounds near many of the cottages. Preservation of this woodland area contributes to the overall ecological health of the Credit Valley. Large weeping willows are located near some cottages.

Property lines are generally defined by mature hedgerows, page wire fences and vegetation which help screen Camp Naivelt from neighbouring properties. The property is also defined by a series of unpaved laneways, footpaths, grassed clearings and open areas for recreational activities and social gatherings.

Design / Physical Value

The cottages, site plan characteristics and natural, rural setting at Camp Naivelt form a significant and utterly unique cultural heritage landscape in the City of Brampton.

In the early years of Camp Naivelt only tents were available to adult campers. Starting in the 1940s permanent, one-storey wood-frame cottages, clad in either clapboard or insulbrick, were constructed. By the 1950s the UJPO had also built a band shell, boathouse, swimming pool and two bridges over the Credit River.

At its peak of operations, Camp Naivelt had some 90 cottages, a communal dining hall, dance hall, youth recreation hall, grocery store and a camp office. There was a camp

directors cabin, arts and crafts cabin, infirmary, and a communal washroom and shower area known as, "The Ritz".

Several dozen rustic frame cottages remain standing throughout the site; arranged in rows surrounding or fronted by large, open common areas. The site plan characteristics of Camp Naivelt remain intact.

The cottage structures retain most of their original character-defining elements such as either low hip or front gable roofs (many with exposed rafter tails), original wooden sash windows and wood storm shutters, doors and cladding (e.g. clapboard, insulbrick and shiplap siding). Some cottages have small open porches (with or without low wood railings), and wood screen doors, other have screened-in sunrooms. Trim, doors and shutters of many of the cottages are accented with bright and vibrant paint treatments or small hand-painted decorative murals.

Also of note is the camp building known as "The Ritz". It was erected in the late 1940's and coincided with the introduction of running water at Camp Naivelt. It still houses working showers for the general use of current Naivelt campers. The rectangular wood frame building with exhibits characteristics of a 1940s era camp 'canteen' with a hipped roof, exposed trusses and rafter tails, large screened-in verandahs with a tongue-in-groove wood ceiling and two decorative, boxed roof vents. The small adjacent frame shed houses a large boiler.

Some 300 children would attend camp during the summer and, at its height during the 1940's and 50's, as many as 5000 people would fill Camp Naivelt on a summer weekend.

The original children's camp infirmary buildings (now abandoned) are still standing, just west of "The Ritz". These structures, along with remains of an abandoned cabin inside the site of the former children's camp help tell the Camp Naivelt story. These structures may be beyond salvage, but their locations are of significance.

Also of note is a surviving section of iron railway line that crosses over a gully inside Camp Naivelt. This is possibly one of the only surviving remnants of railway track from the abandoned Toronto Suburban Radial Railway. Presumably the tracks are all that remains of a small bridge that once crossed the gully as the line made its way through Eldorado Park.

The statement explaining the cultural heritage value or interest of the subject property, including a description of the heritage attributes of the property along with all other components of the Heritage Report: Statement of Reasons for Heritage Designation, constitute the "reason for heritage designation" required under the *Ontario Heritage Act*.

DESCRIPTION OF THE HERITAGE ATTRIBUTES OF THE PROPERTY:

Unless otherwise indicated, the reasons for designation apply generally to the exterior massing, built-form, facades, finishes and details of all cottages, all mature trees, groupings of mature trees, hedgerows, other significant vegetation, the pattern, arrangement and site plan characteristics of cottages on the property, along with open spaces, site and setting, grounds, landscapes and vistas generally.

To ensure that the cultural heritage value of this property is conserved, certain heritage attributes that contribute to its value have been identified specifically and they include:

Historical/ Associative Value:

- Direct associations with the history and development of Canadian folk music;
- Contributes to the understanding of Canada in the Cold War era, Canadian political history, history of music and the arts in Canada, secular Jewish cultural and political history and Canadian women's history;
- Direct historical associations with prominent folk singers, artists and musicians, including: Pete Seeger, Paul Robeson, Zal Yanovsky, Sharon Hampson of *Sharon, Lois and Bram*, Eddie Schwartz, Ben Mink, Marcel Chojnicki, Joan Orenstein, Emil and Fagel Gartner, *The Travellers* and Phil Ochs;
- Direct historical associations with prominent figures in film, literature and the arts, including: Avrom Yanovsky, Estelle Klein, James Laxer, David Lewis Stein, Dusty Cohl, Ted Kotcheff, and Jerry Goodis;
- Historical associations with Bernard Malamud, Ruth Rubin and Earl Robinson;
- Historical associations with the Mackenzie-Papineau Battalion, a Canadian battalion that fought against the Fascists in the Spanish Civil War (1937-1938);
- Direct historical associations with left-wing politicians and organizations: Tim Buck, Sam Lipshitz, J. B. Salzberg, Morris Biderman, Label Basman, Manya Lipshitz, Ben Shek, United Jewish People's Order (UJPO), the Labour League, Jewish Women's Labour League (Yiddisher Arbeter Froyen Farein);
- Direct historical associations with the development of the 'summer camp' movement starting in the early 20th century;
- Direct historical associations with the history and development of Eldorado Park and the Credit Valley;

Contextual Value:

- Visually, physically and historically linked to its surroundings particularly Eldorado Park;
- Key component with Credit Valley and Eldorado cultural landscape;
- Linked to Creditview Road as a scenic roadscape;
- Frontage of Camp Naivelt facing Creditview Road screened by vegetation and is defined by rural road cross-section;
- Property lines defined by mature hedgerows of mixed vegetation;
- Property is important in defining and maintaining the rural, pastoral and scenic character of the area;
- Rolling hills, dense woodland areas, mature trees, possible old growth white pine and other conifers, mature hedgerows, steep hillsides and ravines, gullies and Credit River define the landform and topography;
- A significant Carolinian woodland area and dense groupings of mature trees contribute to the cultural landscape formed by Camp Naivelt. Species include: old growth white pine, oak, shagbark hickory, beech and maple species, along with dense hedgerows, mature willow trees, ground covers and other vegetation;
- Property is predominately woodland with small open space clearings fronting cottages and surrounding camp facilities;
- Landscape patterns and site characteristics have changed very little since Camp Naivelt was established in the 1930s.
- Internal road and path system of unpaved laneways, footbridge over Credit River and footpaths;
- Page wire fences marking property boundary lines;
- Simple, rustic cottages, natural heritage elements, rolling hills, gullies and rural character at Camp Naivelt form a significant and unique cultural heritage landscape in the City;

Design / Physical Value:

- Series of small, rustic one-storey wood-frame cottages;

- Low hip or gable roofs (many with exposed rafter tails); wood sash windows; wood board siding or "Insulbrick" siding, screened sun-porches or small open porches (some with wood railings); wood shutters;
- Many cottages are accented with vibrant paint colours on doors, shutters and trim;
- Original road pattern and site plan comprising cottages arranged around an open common area (Hill 1) or in long rows (Hills 2 and 3);
- Wooden "Camp Naivelt" sign posted at entrance into Hill One of Camp Naivelt, off Creditview Road;
- Camp Naivelt buildings known as "The Ritz";
- Site locations of certain abandoned elements or ruins such as: original Camp Kindervelt (children's camp) infirmary (just west of "The Ritz"); other abandoned cabins
- Surviving section of iron railway track from the Toronto Suburban Radial Railway line, that crosses over a gully inside the subject property;

SCHEDULE "C" TO BY-LAW 290-2010

AFFIDAVIT OF PETER FAY

I, **PETER FAY**, of the City of Mississauga in the Region of Peel, **MAKE OATH AND SAY:**

1. I am the Clerk for the Corporation of the City of Brampton and as such I have knowledge of the facts herein contained.
2. In accordance with Part IV of the Ontario Heritage Act subsection 29 (3), the public notice of intention to designate the property known as Camp Naivelt, 8596 Creditview Road was served on the owner of the property and the Ontario Heritage Trust and was advertised, in the form attached as Exhibit A to this my affidavit, on the City's website in accordance with Council's Procedure By-law.
3. The by-law to designate the property known as Camp Naivelt, 8596 Creditview Road came before City Council at a Council meeting on September 15, 2010 and was approved.

SWORN before me at the City)
of Brampton, in the Region)
of Peel, this 11th day of)
day of September 2010)



A Commissioner for Taking Affidavits, etc.

EARL EVANS, Deputy City Clerk
The Corporation of The City of Brampton
2 Wellington Street West
Brampton, Ontario L6Y 4R2
A Commissioner, etc.,
in the Regional Municipality of Peel



Appendix C: Summary of Selected Land Title Instruments for the West Half of Lot 2, Concession 3, West of Hurontario Street, Chinguacousy Township, 7 & 25 Oct. 2016,
Peel Land Registry Office

Instrument #	Date	Transaction	Grantor	Grantee	Consideration	Remarks
Patent	13 Mar. 1821		The Crown	Robert Copeland		100 acres
4024	23 May 1821	B. & S.	Robert Copeland of Etobicoke Township, yeoman et ux	Timothy Street of Niagara Township, tanner	£100	All
11203	30 Aug. 1834	B. & S.	Timothy Street of Streetsville, tanner	Jacob Snure of Louth Township, mechanic	£300	All & O.L.
13845	15 Sept. 1836	B. & S.	Jacob Snure	Joseph Bradt	£20	Pt. W ½, 3 2/5 a.
19217	6 Jan. 1842	Bond re. 13 Feb. 1836 agreement	Jacob Snure of Louth Township, clothier	Joseph Bradt	£900	One-half of water privilege flowing from Snure's dam on Lot 2, Con. 3 & Lot 2, Con. 4; one-half of saw mill & distillery
20408	20 Apr. 1844	B. & S.	Joseph Bradt et ux	Jacob Snure	£300	3 2/5 a.
5804	27 Jul. 1858	D.Poll	Joseph Bradt of State of Indiana	Jacob Snure of Louth Township, clothier	5/ –	As above & O.L.
5889	21 Oct. 1858	D.Poll	Abigail Street	Jacob Snure	£3	W ½ & O.L.
6003	7 Nov. 1858	Ind.	Robert Copeland	Jacob Snure	5/ –	W ½
6004	18 Nov. 1858	G.	Jacob Snure of Jordan village et ux	George W. Snure of Brampton village, yeoman	£500	W ½, 100 a.
7663?	17 Dec. 1859	G.	George W. Snure	Wesley Todd		W ½
9589	10 Dec. 1861	Ind.	Wesley Todd	George W. Snure		W ½
9613	16 Dec. 1861	M.	George W. Snure	Edinburgh Life Ass. Co.	£500	W ½
9632	26 Dec. 1861	G.	George W. Snure	Jacob Snure	\$1	W ½
11645	30 Oct. 1863	G.	George W. Snure et al	Quebec Bank		W ½
14884	12 Oct. 1866	Ind.	James B. Snure et al	Edinburgh Life Ass. Co.	\$1	Water privilege
14904	19 Oct. 1866	Ind. under power of sale	Edinburgh Life Ass. Co.	Noah Barnhart of Collingwood, miller & Kenneth Chisholm of Brampton, gentleman	\$9,171.46 & \$2,171	W ½ & machinery in mills or factory

14905	10 Nov. 1866	Ind.	Noah Barnhart et ux	Kenneth Chisholm	\$1	W ½
5622	9 Apr. 1887	B. & S.	K. Chisholm of Brampton, merchant et ux	Ontario & Quebec Railway Co.	\$1,000	1 85/100 a. & O.L.
5703	1 Oct. 1887	B. & S.	K. Chisholm of Brampton, merchant et ux	William Binkley Smith of Toronto, grocer, David Edwin Smith of Chinguacousy, farmer & George Wallace Smith of Chinguacousy, farmer	\$20,000	E ½ of Lot 2, Con. 4; W ½ of Lot 4, Con. 4; Pt. E ½ of Lot 2, Con. 3; E ½ of Lots 3 & 4, Con. 4; W ½ of Lot 2, Con. 3; reserving mill & water privilege; except CVR R.O.W.; 506 3/4 a.
8915	27 Nov. 1891; registered 6 Aug. 1900	B. & S. under M.	Canada Permanent Loan & Savings Co. calling in \$60,000 M. in 1883 by Kenneth Chisholm & Matthew Elliott of Brampton, merchants	Walter Ward of Toronto Township, miller & Amos Ward of Toronto Township, miller, who assigns title to Walter	\$2,100	28 a. in Pt. W ½ of Lot 2, Con. 3 & E ½ of Lots 2 & 3, Con. 4, being the mill & water privilege: 7 feet head at dam
15286	- - Dec. 1924	G.	Walter Ward of Chinguacousy, miller et ux	Eldorado Suburban Park Co. Ltd.	\$1	100 a. in E ½ of Lot 3, Con. 4 & 28 a. in Pt. W ½ of Lot 2, Con. 3 and in E ½ of Lots 2 & 3, Con. 4, being the mill & water privilege
16222	14 Mar. 1928	G.	Edward B. Graham & Charles H. Bowyer under power of sale from mortgage between Eldorado Suburban Park Co. Ltd. & Emma Maison & William M. Young	Canadian National Electric Railways	\$20,000	101.47 a. in Pt. E ½ of Lot 3, Con. 4 except for Toronto & Suburban Railway Co. & 25.45 a. in Pt. W ½ of Lot 2, Con. 3 & Pt. of road allowance & Pt. E ½ of Lot 2, Con. 4
17746	16 Sept. 1935	G.	Canadian National Electric Railways	Eldorado Camp & Amusements Ltd.	\$1	101.47 a. minus 3.23 a. for railway & 25.45 a. for a total of 123.69 a.
17747	15 Sept. 1935	G.	Eldorado Camp & Amusements Ltd.	Carl Langbord of Toronto	\$1	Pt. W ½ & O.L.: 25.45 a.
184852 VS	23 Sept. 1971	M. Lien on construction of recreation centre	Whitney Maintenance Ltd. of Brampton	Eldorado Camp & Amusements Ltd. of Toronto	\$5,443.20	123.69 a.



Report
Staff Report
 The Corporation of the City of Brampton
 9/17/2024

Date: 2024-08-24

Subject: **Heritage Impact Assessment and Addendum, 11185 Airport Road – Ward 10**

Contact: Tom Tran, Heritage Planner, Integrated City Planning

Report number: Planning, Bld & Growth Mgt-2024-700

RECOMMENDATIONS:

1. That the report from Tom Tran, Heritage Planner, Integrated City Planning to the Brampton Heritage Board Meeting of September 17th, 2024, re: **Heritage Impact Assessment and Addendum, 11185 Airport Road – Ward 10**, be received;
2. That the following recommendations of the Heritage Impact Assessment prepared by Golder Associates dated October 21st be received:
 - I. The property is determined to have met four of nine criteria of O. Reg. 9/06 in design/physical value, historical/associative and contextual value, and therefore has cultural heritage value or interest (CHVI) and is worthy of Designation under Part IV of the Ontario Heritage Act;
3. That the following recommendation from the HIA addendum dated August 2024 be received:
 - I. The preferred option to facilitate relocation and rehabilitation of the Sargent Farmhouse as a residence on a new lot in the subdivision is Option 2;
4. That the following recommendation as per the Heritage Impact Assessment Addendum by WSP dated August 8th 2024 be received and followed:

Option 2: Disassembly of the Sargent Farmhouse and recreation of the front façade and west façade using salvaged brick as a cladding on a new larger dwelling;

5. That a Heritage Conservation Plan, Documentation & Salvage Report and Commemoration Plan be prepared according to the City's Terms of Reference as conditions of the Draft Plan Approval and prior to issuance of the Demolition Permit; and
6. That a Heritage Delisting Report be presented for the Board's acceptance prior to the issuance of the Demolition Permit for 11185 Airport Road.

OVERVIEW:

- **11185 Airport Rd was listed on Brampton's Municipal Register of Cultural Heritage Resources in 2001.**
- **The 2021 Heritage Impact Assessment Report determined that the property meets four criteria under O. Reg 9/06 and is worthy of Designation under the Ontario Heritage Act. The report further recommends that the main portion of the property be relocated within the subdivision with new additions built on 2 sides.**
- **Following the completion of the 2021 HIA, Tacoma Engineers were retained by the new owners to complete a structural evaluation of the house to determine if the structure is suitable for relocation. The report concluded that the house is unsuitable for relocation due to significant structural deficiencies**
- **In response to the engineering report, an HIA Addendum was prepared in August 2024 and detailed 4 options to mitigate the impact of the house being unsuitable for relocation.**
- **The Addendum report demonstrated that even though Option 1 is preferred from a cultural heritage perspective, Option 2 which proposes a partial reassembly of 2 facades would be more viable based on the engineering report's finding.**
- **The HIA Addendum is considered to be complete as per the City's Terms of Reference.**

BACKGROUND:

Property Description

The property at 11185 Airport Road has been the subject of two Heritage Impact Assessments. The first was completed in response to an application for redevelopment of the subject property as a residential subdivision. The second was completed after the ownership of the lands changed and a review was completed for the condition of the house for relocation. As they were completed at different times, both reports are presented here to provide a complete understanding of the heritage review process.

The HIAs address impacts to the Sargent Farmhouse, which is a 1 1/2 storey farmhouse built around 1870 on a fieldstone foundation and located at the intersection of Countryside Drive and Airport Road, in the former Township of Toronto Gore. The property is Listed Heritage property in the City of Brampton Register. Built around 1870, the Sargent Farmhouse was built on a fieldstone foundation

For clarity, the following is the relevant sequence of events for the property:

- 1) In 2021 an HIA was prepared that evaluated the property under Ontario Regulation 9/06 and addressed the impacts of the proposed redevelopment of the property on the heritage character and attributes of the property.
- 2) Following completion of the original HIA, but prior to its presentation to the Heritage Board, the property was sold to new owners.
- 3) Following the sale, the new property owners had an engineering assessment completed for the Sargeant farmhouse to confirm its stability for relocation. The assessment determined that the house was not a good candidate for relocation.
- 4) Following the engineering evaluation, the property owners considered alternatives to relocation and recommended that the house be disassembled and partially re-assembled as part of the larger new house.
- 5) The HIA addendum was prepared to document the change in plan and design for the reconstructed house.

.Heritage Evaluation

A 2021 Heritage Impact Assessment evaluated the property in accordance with Ontario Regulation 9/06 and it is found to meet four O. Reg 9/06 criteria for Design/Physical, Historical/Associative and Contextual Value:

The heritage attributes of the Sargent Farmhouse are identified as follows:

- Load-bearing double wythe brick masonry on a fieldstone foundation built in stretcher course on the principal façade and the other walls are one-in-five American or common bond.
- Side gable main block with asymmetrical fenestration with a recessed main entrance with moulded architrave, sidelights, fanlight, Doric pilasters, and entablature marked by six-over-six windows with buff brick voussoirs and quoins.
- Buff brick architectural detailing, including quoins, gauged or rubbed brick voussoirs, a frieze with circular forms below the eaves, and a diamond pattern below the gables.
- Projecting eaves and verges with plain soffit, fascia, and frieze with return eaves on the gable ends, and a single-stack brick chimney (south end wall).
- Rear wing extending from the east wall of the main block with asymmetrical fenestration, open verandah along south façade, one-in-five American or common bond masonry on all walls, and gable roof with plain soffit, fascia, and frieze.

The Sargent Farmhouse is representative of a late 19th century Neoclassical rural farmhouse executed with a high degree of craftsmanship in its detail and overall composition. The original owner, William Sargent, was a very successful farmer in Toronto Gore during the 19th century and played a leading role in the community's social development as the warden for Tullamore's St. Mary's Church. Contextually, the massing with dichromatic brick hues and setting at the crest of the valley land and proximity to Airport Road contribute to the visual prominence of the Sargent Farmhouse as a local landmark.

The Heritage Impact Assessment recommended that the main portion of the property be relocated to a newly created lot within the subdivision with additions built on 2 sides.

CURRENT SITUATION:

As noted, following a change in ownership, an engineering report was prepared by Tacoma Engineers in April 2024 that revealed significant structural issues with the property, requiring extensive stabilization and brick replacement before relocation. Due to high costs, risks, and significant loss of historic fabric, relocation of the complete structure, without disassembly, was deemed unsuitable. Heritage Staff requested an Addendum from the proponent exploring alternatives, leading to four options:

- Option 1: Complete disassembly and reassembly on Lot 8.
- Option 2: Partially recreate 2 façades of the Farmhouse using salvaged bricks as cladding as part of a new larger dwelling.
- Option 3: Demolish and replicate the farmhouse with new materials.

- Option 4: Demolish and build a new house with no historic references.

Option 1 was recommended conditional upon the availability of the salvaged bricks. However, an updated engineering assessment estimated that salvage rate is approximately 60-70% which renders Option 1 unfeasible.

Option 2 is the next preferred option which involves incorporating the salvaged bricks into a new design reflecting the original farmhouse. The main façade of the original farmhouse will be faithfully reconstructed and placed at a highly visible location close to Airport Road. The final design has received input from Heritage Staff to ensure that it is sympathetic to the original Sargent Farmhouse while addressing the development context and structural challenges of this building. A Commemoration Plan will be implemented that speak to the history, heritage value and reconstructed design of the Sargent Farmhouse.

Option 3 and Option 4 are not recommended by the Addendum.

CORPORATE IMPLICATIONS:

Financial Implications:

There are no financial implications.

Other Implications:

There are no other corporate implications associated with the recommendations in this report.

STRATEGIC FOCUS AREA:

The approval of the Heritage Impact Assessment Addendum noted within this report supports the Culture & diversity Focus Area and Growing Urban Centres & Neighbourhood Focus Area. The recommendations therein facilitate adaptive reuse and progressive conservation of a rare and unique heritage resource that contributes to the understanding of Brampton's early history, as well as facilitate the creation of new residential community while helping to maintain a sense of place, belonging and identity.

CONCLUSION:

It is recommended that the Heritage Impact Assessment and Heritage Impact Assessment Addendum, 11185 Airport Road be received by the Brampton Heritage Board as being complete.

Authored by:

Reviewed by:

Tom Tran
Heritage Planner
Integrated City Planning

Jeffrey Humble, RPP, MCIP
Manager
Policy Programs and Implementation

Approved by:

Approved by:

Henrik Zbogor, RPP, MCIP
Director
Integrated City Planning

Steve Ganesh, RPP, MCIP
Commissioner
Planning, Building and Growth
Management

Attachments:

- Attachment 1 – Heritage Impact Assessment - 11185 Airport Rd, Golder Associates Ltd., Oct 2021
- Attachment 2 – 11185 Airport Road Heritage Impact Assessment Addendum, WSP Canada Inc., August 8, 2024

REVISED REPORT

Heritage Impact Assessment

11185 Airport Road, City of Brampton, Regional Municipality of Peel, part of Lot 16, Concession 7 Northeastern Division, former Township of Toronto Gore, County of Peel, Ontario

Submitted to:

Bramcon Engineering Limited

2 Automatic Road
Brampton, ON
L6S 6K8

Submitted by:

Golder Associates Ltd.

100 Scotia Court, Whitby, Ontario, L1N 8Y6, Canada

+1 905 723 2727

21466860-1000-R01-Rev1

21 October 2021

Distribution List

1 e-copy: Bramcon Engineering Ltd.

1 e-copy: Golder Associates Ltd.

Personnel

Project Director	Michael Teal, MA, Associate, Senior Archaeologist
Project Manager	Ragavan Nithiyanantham, MA, CAHP, Cultural Heritage Specialist/ Archaeologist
Research	Alisha Mohamed, MA, Cultural Heritage Specialist
Field Investigations	Ragavan Nithiyanantham, MA, CAHP
Report Production	Ragavan Nithiyanantham, MA, CAHP Alisha Mohamed, MA
Maps & Illustrations	Dave Hoskings, Senior Draftsperson, CAD/GIS
Administration	Liz Yildiz, Environmental Group Administrator Courtney Adey, Environmental Group Administrator
Senior Review	Henry Cary, PhD, CAHP, RPA, Senior Cultural Heritage Specialist/ Senior Archaeologist Michael Teal, MA

Acknowledgements

City of Brampton	Shelby Swinfield, Development Planner
	Pascal Doucet, MCIP, RPP, Heritage Planner

Executive Summary

The Executive Summary highlights key points from the report only; for complete information and findings, as well as the limitations, the reader should examine the complete report.

In May 2021, Bramcon Engineering Limited (Bramcon) retained Golder Associates Ltd. (Golder) to conduct a Heritage Impact Assessment (HIA) for 11185 Airport Road (the property) in the City of Brampton, Regional Municipality of Peel, Ontario. Covering 1.09-hectares, the property is listed (not designated) on the City of Brampton *Municipal Register of Cultural Heritage Resources*. The property includes a late 19th century storey-and-a-half dichromatic brick farmhouse with fieldstone foundation and rear wing, known locally as “Sargent Farmhouse”. The property also includes a wooden driveshed and a metal grain bin.

Bramcon intends to develop the property for a residential subdivision and to enable this design is proposing to demolish the wooden driveshed and outbuilding and move the Sargent Farmhouse to Lot 8 of the draft plan, adjacent to Airport Road, and rehabilitate it as a residence. Since the property is listed under Section 27 of the *Ontario Heritage Act*, the City of Brampton (the City) requires an HIA as a condition of site plan approval.

Following guidelines provided by the Ministry of Heritage, Sport, Tourism, and Culture Industries (MHSTCI), the City *Official Plan* and *Heritage Impact Assessment Terms of Reference* (2019), as well as the Canada’s Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010), this HIA identifies the heritage policies applicable to new development, describes the property’s geographic and historical context, inventories the property’s built and landscape features, and evaluates the property using the criteria prescribed in *Ontario Regulation 9/06*. Based on this understanding of the property, it assesses the potential impacts of the proposed development and recommends future action.

From the results of historical research, field investigations, comparative and architectural analysis, Golder concluded that:

- the Sargent Farmhouse was built between 1861 and 1877 in a Neoclassical style; the rear wing was added in the late 19th century
- the barn was built in timber-frame with salvaged members on a concrete and fieldstone foundation, probably in the first to second decade of the 20th century
- the driveshed built in timber-frame was likely brought to the property by the Carberry family from their 50-acre property at the southeastern quarter of Lot 16 and reconstructed between 1904 and 1919
- the grain bin was built in the late 20th century (1972)

From these results and detailed evaluation, Golder determined that the property:

- **Meets four of nine criteria of *Ontario Regulation 9/06* and therefore has cultural heritage value or interest (CHVI)**

Impact assessment then determined that without mitigation the proposed development will result in:

- potential major negative impact to the Sargent Farmhouse from incompatible alteration and land disturbances
- potential moderate negative impact to the Sargent Farmhouse through dismantling the rear wing.

Based on this assessment, Golder conducted a rigorous options analysis and recommends that Bramcon consider the following option and mitigation measures, which will serve to substantially reduce or remove the identified adverse impacts:

Option 3: Relocate and rehabilitate the Sargent Farmhouse as a residence on a new lot in the subdivision.

To achieve this option will require the following short-term, medium-term, and long-term actions:

Short-term Conservation Actions (Planning & Pre-construction Phase)

- compile a Heritage Building Protection Plan (HBBP) to stabilize and conserve the Sargent Farmhouse in its current location until the proposed development is initiated
- continue use of the Sargent Farmhouse as a rental unit until the proposed development is initiated; if this is not feasible, include measures in the HBBP to mothball the structure until the relocation effort can begin
- Establish a regular inspection and monitoring protocol until the proposed development is initiated
- Prepare a Heritage Conservation Plan (HCP) detailing the conservation approach (i.e., preservation, rehabilitation, or restoration), the required actions and trades depending on approach, and an implementation schedule to conserve the Sargent Farmhouse prior to, during, and after the relocation effort

Medium-term Conservation Actions (Construction Phase)

- Implement site control and communication
 - Clearly mark on project mapping the location of the Sargent Farmhouse and communicate this to project personnel prior to mobilization.
 - Where possible prevent heavy equipment traffic from being routed in the vicinity of the Sargent Farmhouse to minimize potential effects from vibration.
- Create physical buffers
 - Erect temporary fencing or physical barriers around the Sargent Farmhouse to prevent accidental collision with the structure
- Manage fugitive dust emissions
 - Draft a fugitive dust emissions plan following practices outlined in the *Ontario Standards Development Branch Technical Bulletin: Management Approaches for Industrial Fugitive Dust Sources* (2017).
- Monitor construction within a 10-m zone around the Sargent Farmhouse for vibration exceedance. This monitoring zone should be communicated to all site personnel.
 - Continuous ground vibration monitoring should be carried out near the foundation of the Sargent Farmhouse prior to relocation using a digital seismograph. The instrument should also be equipped with a wireless cellular modem for remote access and transmission of data. The installed instrument should be programmed to record continuously, providing peak ground vibration levels at a specified time interval (i.e., 5 minutes) as well as waveform signatures of any ground vibrations exceeding a threshold level that would be determined during monitoring. The instrument should be programmed to provide a warning should the peak ground vibration level exceed the guideline limits specified. In the event of either a threshold trigger or exceedance warning, data would be retrieved remotely and forwarded to designated recipients.

Long-term Conservation Actions

- Designate the Sargent Farmhouse and its new curtilage under Part IV of the *Ontario Heritage Act*,
- Officially name the building “The Sargent Farmhouse” and install a commemorative plaque on the new parcel in a location and manner that will be visible from public rights of way but will not impact any heritage attributes of the building

If Bramcon commits to implement these mitigation strategies, Golder recommends that the City:

- ***approve the development as currently proposed***

Study Limitations

Golder has prepared this report in a manner consistent with the guidelines developed by the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI) and the City of Brampton, subject to the time limits and physical constraints applicable to this report.

This report has been prepared for the specific site, design objective, developments, and purpose described to Golder by Bramcon Engineering Ltd. (the Client). The factual data, interpretations and recommendations pertain to a specific project as described in this report and are not applicable to any other project or site location.

The information, recommendations and opinions expressed in this report are for the sole benefit of the Client. No other party may use or rely on this report or any portion thereof without Golder Associates Ltd.'s express written consent. If the report was prepared to be included for a specific permit application process, then upon the reasonable request of the Client, Golder Associates Ltd. may authorize in writing the use of this report by the regulatory agency as an Approved User for the specific and identified purpose of the applicable permit review process. Any other use of this report by others is prohibited and is without responsibility to Golder Associates Ltd. The report, all plans, data, drawings and other documents as well as electronic media prepared by Golder Associates Ltd. are considered its professional work product and shall remain the copyright property of Golder Associates Ltd., who authorizes only the Client and Approved Users to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. The Client and Approved Users may not give, lend, sell, or otherwise make available the report or any portion thereof to any other party without the express written permissions of Golder Associates Ltd. The Client acknowledges the electronic media is susceptible to unauthorized modification, deterioration and incompatibility and therefore the Client cannot rely upon the electronic media versions of Golder Associates Ltd.'s report or other work products.

Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of the Client in the design of the specific project.

Table of Contents

EXECUTIVE SUMMARY.....	i
STUDY LIMITATIONS.....	iv
1.0 INTRODUCTION	1
2.0 OBJECTIVES, SCOPE, AND METHOD.....	3
2.1 Record of Engagement	6
3.0 POLICY FRAMEWORK.....	6
3.1 International & Federal Heritage Policies.....	6
3.2 Provincial Heritage Policies.....	7
3.2.1 <i>Planning Act and Provincial Policy Statement</i>	7
3.2.2 <i>Ontario Heritage Act and Ontario Regulation 9/06</i>	8
3.2.3 Provincial Heritage Guidance	9
3.3 Municipal Heritage Policies.....	11
3.3.1 Region of Peel.....	11
3.3.2 City of Brampton	11
3.3.2.1 Official Plan	11
3.3.2.2 Secondary Plan Area 49 (Vales of Castlemore North)	12
3.3.2.3 Heritage Impact Assessment: Terms of Reference	13
4.0 GEOGRAPHIC & HISTORICAL CONTEXT	13
4.1 Geographic Context	13
4.2 Historical Context	14
4.2.1 Indigenous Regional History	14
4.2.2 Toronto Gore Township	15
4.2.3 Property History	15
4.2.4 Summary of Key Findings.....	17
5.0 EXISTING CONDITIONS	21
5.1 Setting	21
5.2 Built Environment	25

5.2.1	Sargent Farmhouse	25
5.2.1.1	Main Block.....	30
5.2.1.1.1	Exterior.....	30
5.2.1.1.2	Interior	33
5.2.1.1.2.1	First Level	33
5.2.1.1.2.2	Second Level	41
5.2.1.1.2.3	Basement.....	48
5.2.1.2	Rear Wing	51
5.2.2	Driveshed	55
5.2.3	Grain Bin	58
5.3	Structural History & Analysis.....	60
5.3.1	Phase 1: Sargent Family, 1846 to 1904	60
5.3.2	Phase 2: Carberry Family, 1904 to c. 2019	60
5.4	Physical Condition.....	61
5.5	Integrity.....	64
5.5.1	Results	67
6.0	EVALUATION OF CULTURAL HERITAGE VALUE OR INTEREST	67
6.1	Design Value or Physical Value	68
6.2	Historical Value or Associative Value	69
6.3	Contextual Value	70
6.4	Evaluation Results	70
6.5	Statement of Cultural Heritage Value or Interest	71
7.0	IMPACT ASSESSMENT	72
7.1	Proposed Works.....	72
7.2	Impact Assessment.....	72
7.2.1	Results of Impact Assessment.....	77
7.3	Consideration of Alternatives and Mitigation and Conservation Recommendations	77
7.3.1	Options Analysis	77

7.3.1.1	Option 1: “Do Nothing” - Preserve and retain the property in its current form and continue the current and historic land use.....	77
7.3.1.2	Option 2: Rehabilitate the Sargent Farmhouse for adaptive re-use on a reduced lot within the new development.....	78
7.3.1.3	Option 3: Relocate the Sargent Farmhouse to new residential lot and rehabilitate for a new residential use	78
7.4	Results of Options Analysis & Recommendations.....	79
8.0	SUMMARY STATEMENT	80
9.0	REFERENCES	81

TABLES

Table 1: Results of engagement.....	6
Table 2: Physical Condition Assessment	61
Table 3: Heritage Integrity Analysis for the Property	64
Table 4: Impact assessment of the proposed development of the property	75

FIGURES

Figure 1: Location Plan.....	2
Figure 2: Typical process to investigate a property, evaluate its significance, assess impacts to its CHVI and heritage attributes, and mitigate any adverse effects.	5
Figure 3: Subject property overlaid on 19th century historical maps	18
Figure 4: Subject property overlaid on 20th century topographic maps.....	19
Figure 5: Subject property overlaid on 20th century aerial photographs.....	20
Figure 6: View facing northeast from Airport Road showing the property to the north and residential development to its immediate east.....	21
Figure 7: View facing north from Airport Road showing residential development to the north of the property	22
Figure 8: View facing south from Airport Road showing commercial development to the south of the property	22
Figure 9: View facing east from Airport Road of the property's driveway, front lawn, and farmhouse.....	23
Figure 10: View facing northeast from the southwest portion of the property	23
Figure 11: View facing west from the centre of the property looking at the driveshed (foreground) and Sargent Farmhouse (background)	24
Figure 12: View facing southeast from the northwest of the property	24
Figure 13: Front or west façade of the Sargent Farmhouse.....	25

Figure 14: West façade and south end wall of the Sargent Farmhouse	26
Figure 15: South end wall of the main block and south façade of the rear wing.....	26
Figure 16: South façade and east end wall of the rear wing	27
Figure 17: North façade of the rear wing and east façade and north end wall of the main block	27
Figure 18: North end wall of the main block	28
Figure 19: Floor plan (Dilse <i>et al.</i> 2008: 25)	29
Figure 20: Coursed split fieldstone foundation	31
Figure 21: Projecting eaves and verges of the main block with cornice return, moulded frieze and soffit, plain fascia, prefabricated rainwater leader, and tie rod	31
Figure 22: Cornice returns and single-stack brick chimney.....	32
Figure 23: Recessed main entrance with transom, sidelights, pilasters, and entablature	32
Figure 24: Six-over-six window with wood storm, buff gauged or rubbed brick voussoirs and quoins, and a lug sill with aluminum covering.....	33
Figure 25: Vestibule with main entrance (centre), living room (right) and office (left), facing east	34
Figure 26: Vestibule with living room (left), stairs to second level (centre-left), dining room (centre-right), and office (right), facing west	35
Figure 27: Living room, facing west.....	35
Figure 28: Living room with fireplace with Neoclassical features, facing north	36
Figure 29: Living room with access to kitchen, facing east	36
Figure 30: High moulded baseboards within living room.....	37
Figure 32: Kitchen, facing south	38
Figure 33: Kitchen with basement access (left) and rear wing access (right), facing north	38
Figure 34: Dining room with access to rear wing on east wall, facing east.....	39
Figure 35: Dining room, facing south.....	39
Figure 36: Dining room with access to office (west wall, centre) and vestibule (west wall, right), facing west.....	40
Figure 37: Office room, facing southwest	40
Figure 38: Office room, facing northeast	41
Figure 39: Stairs to second level, facing east.....	42
Figure 40: Second level landing hall, facing east	42
Figure 41: Second level hall, facing west	43
Figure 42: Bathroom, facing west.....	43
Figure 43: Bathroom, facing southeast.....	44
Figure 44: Storage room (northeast room), facing north	44

Figure 45: Storage room (northeast room), facing east	45
Figure 46: Southeast room, facing south.....	45
Figure 47: Southeast room with tie rod along east and south walls, facing east	46
Figure 48: Southwest room with tie rod along south and west walls, facing south	46
Figure 49: Southwest room with tie rod along south and west walls, facing northwest	47
Figure 50: Northwest room, facing north	47
Figure 51: Northwest room, facing south.....	48
Figure 52: Basement with straight wood stairs, facing east	49
Figure 53: Basement, facing north	49
Figure 54: Basement, facing south.....	50
Figure 55: Basement with coursed fieldstone foundation, facing west	50
Figure 56: Exposed floor joists left in the rough in the south half of the main block	51
Figure 57: South façade of the rear wing with open verandah.....	52
Figure 58: Doorway, window and turned wood post supporting verandah's roof, facing north.....	52
Figure 59: West half of the rear wing, facing south	53
Figure 60: West half of the rear wing, facing north.....	53
Figure 61: East half of the rear wing, facing north.....	54
Figure 62: East half of the rear wing, facing south	54
Figure 63: East end wall of the rear wing showing evidence of soot under the gable	55
Figure 64: South façade of the driveshed with large slight doors, facing north.....	56
Figure 65: North façade and east wall of the driveshed, facing southwest.....	56
Figure 66: Interior of driveshed, facing west.....	57
Figure 67: Interior of the driveshed with drop tie-beam, hand-hewn posts and plates and east doorway, facing east	57
Figure 68: Dimensional cut rafters.....	58
Figure 69: Exterior of metal grain bin, facing southwest	59
Figure 70: Interior of metal grain bin, facing southwest.....	59
Figure 71: Evidence of cracks radiating from the first level window on the north end wall.	62
Figure 72: Evidence of cracks on the east facade of the main block.	62
Figure 73: Settlement and movement of load-bearing brick masonry on south end wall	63
Figure 74: Examples of negative impacts.....	73

APPENDICES

APPENDIX A

Archival Records

APPENDIX B

Draft Plan of Subdivision (Candevcon Limited, 13 January 2020)

APPENDIX C

Preliminary Design Concept Site Plan & Elevations for Sargent House.

1.0 INTRODUCTION

In May 2021, Bramcon Engineering Limited (Bramcon) retained Golder Associates Ltd. (Golder) to conduct a Heritage Impact Assessment (HIA) for 11185 Airport Road (the property) in the City of Brampton, Regional Municipality of Peel, Ontario (Figure 1). Covering 1.09-hectares, the property is listed (not designated) on the City of Brampton *Municipal Register of Cultural Heritage Resources*. The property includes a late 19th century storey-and-a-half dichromatic brick farmhouse with fieldstone foundation and rear wing, known locally as “Sargent Farmhouse”. The property also includes a wooden driveshed and a metal grain bin.

Bramcon intends to develop the property for a residential subdivision and to enable this design is proposing to demolish the wooden driveshed and outbuilding and move the Sargent Farmhouse to Lot 8 of the draft plan, adjacent to Airport Road, and rehabilitate it as a residence. Since the property is listed under Section 27 of the *Ontario Heritage Act*, the City of Brampton (the City) requires an HIA as a condition of site plan approval.

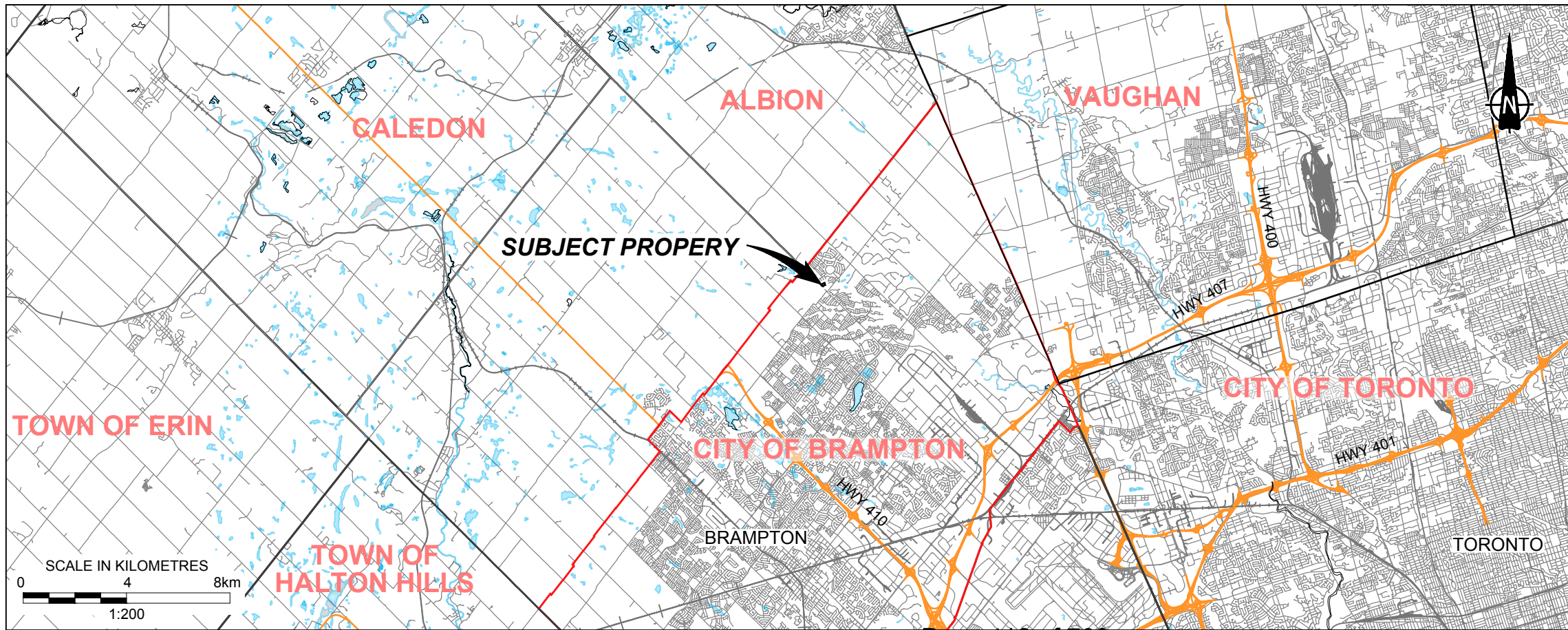
Following guidelines provided by the Ministry of Heritage, Sport, Tourism, and Culture Industries (MHSTCI), the City *Official Plan* and *Heritage Impact Assessment Terms of Reference* (2019), as well as the Canada’s Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010), this HIA:

- outlines the study’s objectives and scope, and the methods used to investigate and evaluate cultural heritage resources on the property
- summarizes the international, federal, provincial, and municipal heritage policies relevant to integrating new development with built heritage resources and cultural heritage landscapes
- describes the property’s geographic and historical context
- inventories the built elements and setting of the property, and discusses the structural history, architectural influences, integrity, and the physical conditions
- evaluates the property using the criteria for cultural heritage value or interest prescribed in *Ontario Regulation 9/06 (O. Reg. 9/06)*
- describes the proposed works and assesses potential negative direct and indirect impacts, and
- recommends future action.

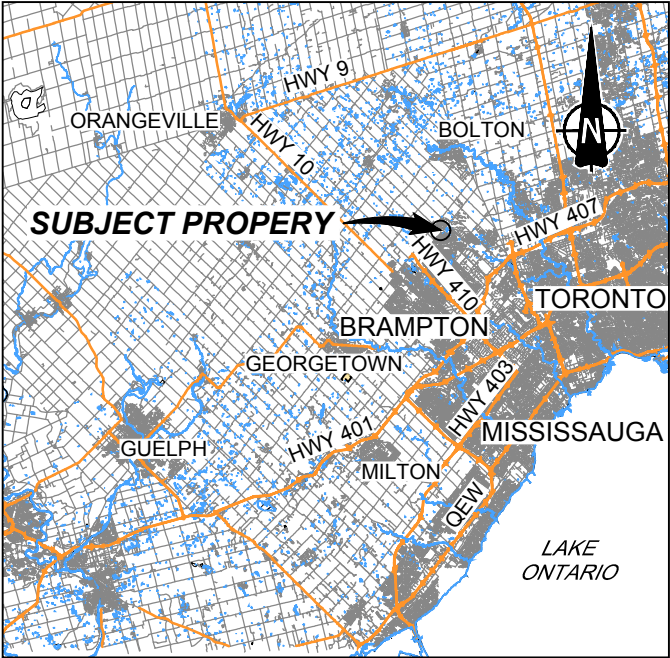
Client: Apoca Carpentry Ltd.
Drawing file: 21466860-1000-R01001.dwg
Jul 28, 2021 - 4:05pm
25mm
Original Format is Tabloid 279mm x 432mm



AERIAL IMAGERY and OBM MAPPING



REGIONAL MAP



KEY PLAN

LEGEND

- APPROXIMATE SUBJECT PROPERTY
- CITY OF BRAMPTON BOUNDARY
- TOWNSHIP/MUNICIPALITY BOUNDARY
- BRAMPTON TOWNSHIP/MUNICIPALITY

REFERENCE

DRAWING BASED ON MNR LIO, OBTAINED 2021,
PRODUCED BY GOLDER ASSOCIATES LTD UNDER
LICENCE FROM ONTARIO MINISTRY OF NATURAL
RESOURCES, © QUEENS PRINTER 2021;
AERIAL IMAGERY PROVIDED BY THE CITY OF
BRAMPTON, "MYBRAMPTON" INTERACTIVE WEB SITE;
AND
CANMAP STREETFILES V2008.4.

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ
IN CONJUNCTION WITH ACCOMPANYING TEXT.
ALL LOCATIONS ARE APPROXIMATE.

PROJECT	HERITAGE IMPACT ASSESSMENT 11185 AIRPORT ROAD, CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL			
TITLE	LOCATION PLAN			
 GOLDER MEMBER OF WSP	PROJECT No.	21466860	FILE No.	21466860-1000-R01001
	CADD	DCH	SCALE	NTS
	CHECK		REV.	0
			FIGURE 1	

2.0 OBJECTIVES, SCOPE, AND METHOD

The objectives of this HIA were to:

- understand the property's land use history, construction and architectural types, and degree of change through time
- determine if the property meets the criteria for cultural heritage value or interest (CHVI) prescribed in *O. Reg. 9/06*
- determine if the proposed development will negatively impact the property's CHVI and heritage attributes, if identified
- consider alternatives to avoid or reduce the identified impacts
- recommend mitigation or conservation measures, if required

To meet these objectives, Golder followed the typical process to investigate a property, evaluate its significance, assess impacts to the properties' CHVI and heritage attributes, and mitigate any adverse effects (Figure 2). This included the tasks to:

- consult municipal heritage staff (Section 2.1)
- review applicable international, provincial and municipal heritage policies and guidance (Section 3.0)
- trace the property's history through documentary records and mapping (Section 4.2.3)
- conduct field investigations to document existing conditions on the property (Section 5.0)
- analyse the structural history, integrity, and described the overall physical condition of the property's built elements (Sections 5.3, 0, and 5.5)
- evaluate the property using the criteria prescribed in *O. Reg. 9/06* in combination with provincial and municipal guidance (Section 6.0).
 - This included review of an HIA completed for the property by Dilse *et al.* in 2008. This report determined the property to have CHVI for its "representative farmhouse", its "association with farming in the pioneer period" and its "prominence at the crest of a hill" (Dilse et al. 2008:6). The report recommended the "demolition of the outbuildings", "designation under Part IV of the Ontario Heritage Act", and commemoration (Dilse et al. 2008:8).
- assess the impacts from the proposed development using international, provincial, and municipal guidance (Section 7.0)
- develop recommendations for future action based on provincial guidance (Section 7.4).

Due to access restrictions resulting from the COVID-19 pandemic, all information was compiled from online sources, Golder's reference library and previous reports, and reports and other data provided by the City of Brampton. This included primary and secondary sources such as historical county and topographical maps, aerial imagery, Abstract Index Books, Census records, historical directories, and data uploaded to Ancestry.ca (APPENDIX A).

Cultural Heritage Specialist Ragavan Nithiyanantham conducted field investigations of the property on 18 May 2021, which included accessing the interior of the farmhouse and taking digital photographs using a Samsung Galaxy Note20 5G digital camera. The property was also documented using the *Canadian Inventory of Historic Buildings* (Parks Canada 1980) recording form.

Several widely recognized manuals related to determining impacts and conservation approaches to built heritage resources and cultural heritage landscapes were also consulted, including:

- *Ontario Heritage Tool Kit* (5 volumes) and *Standards and Guidelines for the Conservation of Provincial Heritage Properties - Heritage Identification & Evaluation Process* (MHSTCI 2006; 2014)
- *The Evaluation of Historic Buildings and Heritage Planning: Principles and Process* (Kalman 1979; Kalman & Létourneau 2020)
- *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010)
- *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation* (Fram 2003)
- *Informed Conservation: Understanding Historic Buildings and their Landscapes for Conservation* (Clark 2001)

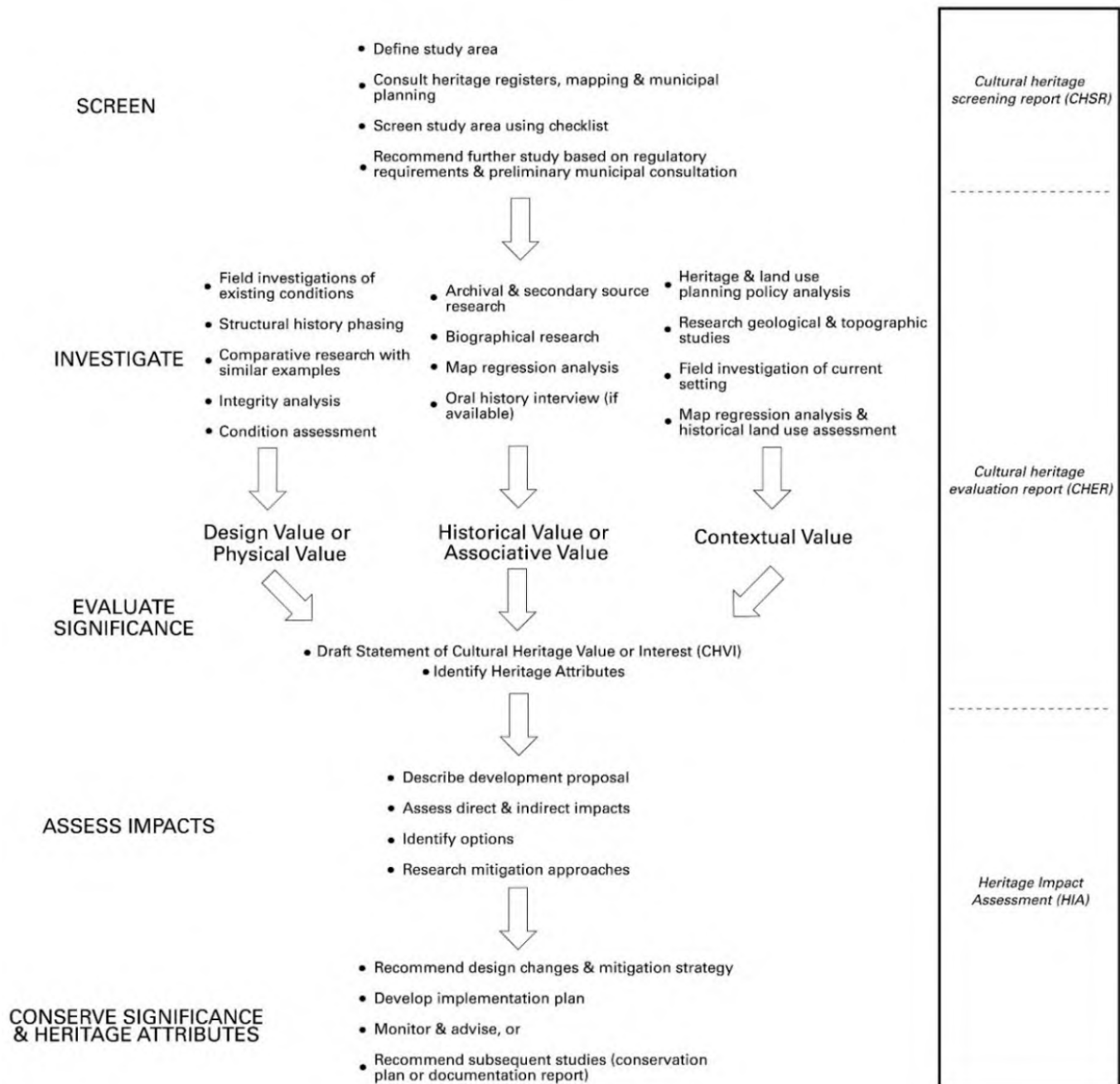


Figure 2: Typical process to investigate a property, evaluate its significance, assess impacts to its CHVI and heritage attributes, and mitigate any adverse effects.

2.1 Record of Engagement

Table 1 summarizes the results of engagement undertaken for this HIA.

Table 1: Results of engagement

Contact	Date & Type of Communication	Response
Pascal Doucet, MCIP, RPP, Heritage Planner, City Planning & Design Planning, Building and Economic Development Shelby Swinfield, Development Planner Andrea Barreira, Information Management Clerk	Email request 23 April 2021 seeking a copy of a previous 2008 HIA for the property.	Email reply 23 April 2021 providing a copy of the 2008 HIA for the property.
	Email request 25 June 2021 seeking an inventory of architecturally comparable building in the City.	Email reply 25 June 2021 providing a list of comparable buildings.
	Email 23 July 2021 seeking input on any information the City may have on file for the property, and a copy of the Cultural Heritage Study for the Secondary Plan Area 49 (Vales of Castlemore North)	Email reply on 3 August 2021 providing: <ul style="list-style-type: none"> ■ No additional information available to share about the property ■ No identified specific concern ■ Contact for Records and Information Clerk to request Cultural Heritage Study
	Email 3 August 2021 requesting a copy of the Cultural Heritage Study for the Secondary Plan Area 49 (Vales of Castlemore North)	No response at time of submission.

3.0 POLICY FRAMEWORK

Management of cultural heritage is guided by provincial and municipal legislation and planning policy regimes, as well as advice developed at the federal and international levels. These policies have varying levels of authority at the local level, though generally are all considered when making decisions about heritage assets.

3.1 International & Federal Heritage Policies

No federal heritage policies apply to the property, although many of the provincial and municipal policies detailed below align in approach to that of Canada's Historic Places (CHP) *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010; CHP *Standards and Guidelines*). This document was drafted in response to international and national agreements such as which was drafted in response to international and national agreements such as the 1964 *International Charter for the Conservation and Restoration of Monuments and Sites* (Venice Charter), 1983 Canadian *Appleton Charter for the Protection and Enhancement of the Built Environment*, and Australia ICOMOS *Charter for Places of Cultural Significance* (Burra Charter, updated 2013). The latter is important for pioneering "values based" evaluation and management, an approach central to Canadian federal, and provincial and territorial legislation and policies for identifying and conserving cultural heritage. The CHP *Standards and Guidelines* define three conservation treatments — preservation, rehabilitation, and restoration— and outline the process and required and best practice actions relevant to each treatment.

At the international level, the International Council on Monuments and Sites (ICOMOS) has developed guidance on heritage impact assessments for world heritage properties, which also provide “best practice” approaches for all historic assets (ICOMOS 2011).

3.2 Provincial Heritage Policies

3.2.1 Planning Act and Provincial Policy Statement

The Ontario *Planning Act* (1990) and associated *Provincial Policy Statement 2020* (PPS 2020) mandate heritage conservation in land use planning. Under the *Planning Act*, conservation of “features of significant architectural, cultural, historical, archaeological or scientific interest” are a “matter of provincial interest” and integrates this at the provincial and municipal levels through the PPS 2020. Issued under Section 3 of the *Planning Act*, PPS 2020 recognizes that cultural heritage and archaeological resources “provide important environmental, economic, and social benefits”, and that “encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including *built heritage resources* and *cultural heritage landscapes*” supports long-term economic prosperity (PPS 2020:6,22).

The importance of identifying and evaluating built heritage and cultural heritage landscapes is recognized in two policies of PPS 2020:

- Section 2.6.1 – *Significant built heritage resources* and *significant cultural heritage landscapes* shall be conserved.
- Section 2.6.3 – Planning authorities shall not permit *development* and *site alteration* on *adjacent lands* to *protected heritage property* except where the proposed *development* and *site alteration* has been evaluated and it has been demonstrated that the *heritage attributes* of the *protected heritage property* will be conserved.

Each of the italicised terms is defined in Section 6.0 of PPS 2020, and those relevant to this report are provided below:

- **Adjacent lands:** for the purposes of policy 2.6.3, those lands contiguous to a *protected heritage property* or as otherwise defined in the municipal official plan.
- **Built heritage resource:** means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community. *Built heritage resources* are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers.
- **Conserved:** means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

- **Cultural heritage landscape:** means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the *Ontario Heritage Act*; or have been included in on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.
- **Development:** means the creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the Planning Act.
- **Heritage attributes:** the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., significant views or vistas to or from a protected heritage property).
- **Protected heritage property:** property designated under Parts IV, V or VI of the *Ontario Heritage Act*; property subject to a heritage conservation easement under Parts II or IV of the *Ontario Heritage Act*; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.
- **Significant:** means, in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.

Importantly, the definition for *significant* includes a caveat that “criteria for determining significance...are established by the Province”, and that “while some significant resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation.” The criteria for significance established by the Province as well as the need for evaluation is outlined in the following section.

3.2.2 Ontario Heritage Act and Ontario Regulation 9/06

The *Ontario Heritage Act* (OHA) enables the Province and municipalities to conserve significant individual properties and areas. For Provincially owned and administered heritage properties, compliance with the *Standards and Guidelines for the Conservation of Provincial Heritage Properties* is mandatory under Part III of the OHA and holds the same authority for ministries and prescribed public bodies as a Management Board or Cabinet directive.

For municipalities, Part IV and Part V of the OHA enables council to “designate” individual properties (Part IV), or properties within a heritage conservation district (HCD) (Part V), as being of “cultural heritage value or interest” (CHVI). Evaluation for CHVI under the OHA (or *significance* under PPS 2020) is guided by *Ontario Regulation 9/06* (O. Reg. 9/06), which prescribes the *criteria for determining cultural heritage value or interest*. O. Reg. 9/06 has three categories of absolute or non-ranked criteria, each with three sub-criteria:

- 1) The property has **design value or physical value** because it:
 - i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method;
 - ii) Displays a high degree of craftsmanship or artistic merit; or
 - iii) Demonstrates a high degree of technical or scientific achievement.

- 2) The property has **historic value or associative value** because it:
- i) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;
 - ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or
 - iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.
- 3) The property has **contextual value** because it:
- i) Is important in defining, maintaining or supporting the character of an area;
 - ii) Is physically, functionally, visually or historically linked to its surroundings; or
 - iii) Is a landmark.

A property needs to meet only one criterion of *O. Reg. 9/06* to be considered for designation under Part IV of the *OHA*. If found to meet one or more criterion, the property's CHVI is then described with a Statement of Cultural Heritage Value or Interest (SCHVI) that includes a brief property description, a succinct statement of the property's cultural heritage significance, and a list of its heritage attributes. In the *OHA* heritage attributes are defined slightly differently to the PPS 2020 and directly linked to real property¹; therefore, in most cases a property's CHVI applies to the entire land parcel, not just individual buildings or structures.

Once a municipal council decides to designate a property, it is recognized through by-law and added to a "Register" maintained by the municipal clerk (*OHA*, Section 27[1]). Under Section 27 (1.2) of the *OHA*, a municipality may also "list" a property on the Register if "the municipality believes [it] to be of cultural heritage value or interest". Once listed, a property owner "shall not demolish or remove a building or structure on the property or permit the demolition or removal of the building or structure unless the owner gives the council of the municipality at least 60 days notice" (*OHA*, Section 27[3]).

The Town has listed the subject property under Section 27(1.2).

3.2.3 Provincial Heritage Guidance

For provincial properties, heritage planning must comply with the MHSTCI *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (MHSTCI *Standards and Guidelines*). Though not applicable to private or municipal projects, the MHSTCI *Standards and Guidelines* provides "best practice" approaches for evaluating cultural heritage resources and assessing impacts not under provincial jurisdiction. For heritage impact assessments, *Information Bulletin 3: Heritage Impact Assessments for Provincial Heritage Properties* (MHSTCI *Info Bulletin 3*, 2017) of the *Standards and Guidelines for the Conservation of Provincial Heritage Properties* advises on the contents and possible strategies.

¹ The *OHA* definition "heritage attributes means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest."

To advise municipalities, organizations, and individuals on heritage protection and conservation, the Province, through the MHSTCI, has developed a series of guidance products. One used primarily for EAs is the MHSTCI *Criteria for Evaluating Potential for Built Heritage Resources and Cultural Heritage Landscapes: A Checklist for the Non-Specialist* (2016). This checklist provides a screening tool for a study area to identify all the known or recognized cultural heritage resources, commemorative plaques, cemeteries, Canadian Heritage River watersheds, properties with structures 40 or more years old, or potential cultural heritage landscapes. If known or potential cultural heritage resources are identified, the MHSTCI *Checklist* then advises whether further investigation as part of a Cultural Heritage Evaluation Report (CHER) or Heritage Impact Assessment (HIA) is necessary.

Further guidance on identifying, evaluating, and assessing impact to built heritage resources and cultural heritage landscapes is provided in the *Ontario Heritage Tool Kit* series. Of these, *Heritage Resources in the Land Use Planning Process* (MHSTCI 2006) provides an outline for the contents of an HIA, which it defines as:

is a study to determine if any cultural heritage resources (including those previously identified and those found as part of the site assessment) ...are impacted by a specific proposed development or site alteration. It can also demonstrate how the cultural heritage resource will be conserved in the context of redevelopment or site alteration. Mitigative or avoidance measures or alternative development or site alteration approaches may be recommended.

Heritage Resources in the Land Use Planning Process also provides advice on how to organize the sections of an HIA, although municipalities may draft their own terms of reference.

The City of Brampton prepared the *Heritage Impact Assessment: Terms of Reference* (n.d.), (see Section 3.3.2.3).

Determining the optimal conservation strategy where an impact is identified is further guided by the MHSTCI *Eight Guiding Principles in the Conservation of Historic Properties* (2007):

- 1) **Documentary evidence** – restoration should not be based on conjecture
- 2) **Original location** – do not move buildings unless there is no other means to save them since any change in site diminishes heritage value considerably
- 3) **Historic material** – follow “minimal intervention” and repair or conserve building materials rather than replace them
- 4) **Original fabric** – repair with like materials
- 5) **Building history** – do not destroy later additions to reproduce a single period
- 6) **Reversibility** – any alterations should be reversible
- 7) **Legibility** – new work should be distinguishable from old
- 8) **Maintenance** – historic places should be continually maintained

The *Ontario Heritage Tool Kit* partially, but not entirely, supersedes earlier MHSTCI advice. Criteria to identify cultural landscapes is provided in greater detail in the *Guidelines on the Man-Made Heritage Component of Environmental Assessments* (1980:7), while recording and documentation procedures are outlined in the *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (1992:3-7).

3.3 Municipal Heritage Policies

3.3.1 Region of Peel

Consolidated in 2018, the Region of Peel *Regional Official Plan* (ROP) was developed with the objective to provide the Regional Council with “a long-term policy framework for decision making” that “sets the Regional context for more detailed planning by protecting the environment, managing resources and directing growth”. It was drafted in response to the high level of population and employment growth in the Region, which is putting pressure on the ability to provide Regional services, the natural landscape and cultural heritage. Its goals include “to create healthy and sustainable regional communities for those living and working in *Peel* which is characterized by...a recognition and preservation of the *region’s* natural and cultural heritage” (1.3.6.1) and “to support growth and *development* which takes place in a sustainable manner and which integrates the environmental, social, economic and cultural responsibilities of the *Region* and the Province” (1.3.6.4).

In the ROP’s “Chapter 2: The Natural Environment” both natural and cultural heritage are considered, recognizing “there is an important interrelationship between these resources illustrating the historic link between the area municipal *community* and its surrounding environment” (2.1.1). Reference to cultural heritage resources is made throughout this chapter then more specifically addressed in Section 3.6 of “Chapter 3: Resources”. Here the Region “*supports* identification, preservation and interpretation of cultural heritage features, structures, archaeological resources, and *cultural heritage landscapes* in *Peel*...according to the criteria and guidelines established by the Province”. The objectives for cultural heritage are listed as subsections of Section 3.6.1:

- 3.6.1.1 - To identify, preserve and promote *cultural heritage resources*, including the material, cultural, archaeological and *built heritage* of the *region*, for present and future generations.
- 3.6.1.2 - To promote awareness and appreciation, and encourage public and private stewardship of *Peel’s* heritage.
- 3.6.1.3 - To encourage cooperation among the area municipalities, when a matter having inter-municipal cultural heritage significance is involved.
- 3.6.1.4 - To *support* the heritage policies and programs of the area municipalities.

These objectives are then to be realized through eight policies that direct municipalities to include policies addressing cultural heritage in their respective official plans (see next section).

3.3.2 City of Brampton

3.3.2.1 Official Plan

The City’s *Official Plan*, last consolidated in 2015, informs decisions on issues such as future land use, transportation, infrastructure and community improvement within the City’s limits. Section 4.10 of the *Official Plan* outlines the goal and policies for cultural heritage resources, with the latter defined as:

Structures, sites, environments, artefacts and traditions which are of historical, architectural, archaeological, cultural and contextual values, significance or interest. These include, but are not necessarily restricted to, structures such as buildings, groups of buildings, monuments, bridges, fences and gates; sites associated with a historic event; natural heritage features such as landscapes, woodlots, and valleys, streetscapes, flora and fauna within a defined area, parks, scenic roadways and historic corridors; artefacts and assemblages from an archaeological site or a museum; and traditions reflecting the social, cultural or ethnic heritage of the community.

The City's three objectives for cultural heritage policies include:

- conserve the cultural heritage resources of the City for the enjoyment of existing and future generations;
- preserve, restore and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and, preserve cultural heritage landscapes; including significant public views; and,
- promote public awareness of Brampton's heritage and involve the public in heritage resource decisions affecting the municipality.

For built heritage (Section 4.10.1), the *Official Plan* states that “retention, integration and adaptive reuse...are the overriding objectives in heritage planning” and, importantly, that the “immediate environs including roads, vegetation, and landscape that are an integral part of the main constituent building or of significant contextual value or interest should be provided with the same attention or protection”. To conserve built heritage the City references the *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010) as well as the *Appleton Charter* (Section 4.10.1.8). Additionally, “Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects” and “alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided” (Section 4.10.1.9). Sections 4.10.1.15 through 4.10.1.18 address maintenance and minimum standards for heritage properties.

3.3.2.2 Secondary Plan Area 49 (Vales of Castlemore North)

The Secondary Plan Area 49 (Vales of Vales of Castlemore North) was developed in 2019 to provide policy guidelines for the development of approximately 189 ha in North East Brampton and is generally bound by Mayfield Road (the Brampton/Caledon municipal boundary) to the north, Countryside Drive to the south, the Salt Creek Valley to the east, and a valley west of Airport Road. The Vales of Castlemore North Secondary Plan proposes residential land uses throughout most of the Secondary Plan Area, with an emphasis on upscale executive housing in the eastern and southeastern areas closest to Countryside Drive and Goreway Drive (City of Brampton 2019). The lands located at the intersection of Airport Road and Mayfield Road and extending south along the Airport Road Corridor are proposed to be developed for an appropriate mix of commercial, employment, limited residential and institutional uses to serve the area residents and businesses in addition to serving passing vehicular traffic (City of Brampton 2019).

Development guidelines are provided in Section 6.1 in relation to cultural heritage, and are summarized here:

- Section 6.1.1, Heritage resource management activities within the Vales of Castlemore North Secondary Plan Area shall be undertaken in accordance with the relevant policies of the *Official Plan*. For the purposes of this Plan, heritage resources shall include structures, sites, environments and artifacts which are of historical, architectural or archaeological value, significance or interest.
- Section 6.1.2, Proponents of development are encouraged to retain and conserve buildings of architectural or historical merit on their original site, where possible, and to promote the integration of these resources into any plans which may be prepared for such development.
- Section 6.1.3, Appendix C to this Plan identifies those heritage resources identified as “Recommended for Designation under the Ontario Heritage Act” by the Cultural Heritage Analysis Study completed by Archaeological Services Inc. for the Secondary Plan. These structures are considered to be of architectural and historic merit and recommended to be retained and conserved on their original sites.

- Section 6.1.4, Where a development proposal will impact a heritage resource identified on Appendix C, the City shall require the preparation of a Heritage Resource Impact Assessment prior to development approval, to the satisfaction of the City, for the purpose of providing information and presenting recommendations about how to mitigate the development impacts on the identified heritage resources, including alternative development in order to retain the structure on site.

3.3.2.3 *Heritage Impact Assessment: Terms of Reference*

The City of Brampton developed the *Heritage Impact Assessment: Terms of Reference* (n.d.) to identify when a HIA is required and the format. A HIA is required for the following:

- any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is subject to land use planning applications
- any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is facing possible demolition
- any property that is subject to land use planning applications and is adjacent to a property designated in the municipal heritage register, pursuant to Section 27 (1.1) of the *Ontario Heritage Act* (City of Brampton n.d.: 2)

A HIA may also be required for any property that is subject to land use planning applications and is adjacent to a property listed in the municipal heritage register, pursuant to Section 27 (1.2) of the *Ontario Heritage Act*.

HIAs must include: executive summary; background; introduction to the subject property; evaluation of cultural heritage value or interest; description and examination of proposed development/ site alterations; mitigation options, conservation methods, and proposed alternatives; and recommendations. This HIA was organized to comply with the requirements of the *Heritage Impact Assessment: Terms of Reference*.

4.0 GEOGRAPHIC & HISTORICAL CONTEXT

4.1 Geographic Context

The property is situated within the Peel Plain physiographic region near its western boundary with the South Slope physiographic region. Chapman and Putnam (1984:174) describe the Peel Plain as:

... a level-to-undulating tract of clay soils covering 300 square miles across the central portions of the Regional Municipalities of York, Peel, and Halton. The general elevation is from 500 to 750 feet a.s.l. and there is a gradual and fairly uniform slope toward Lake Ontario. Across this plain the Credit, Humber, Don, and Rouge Rivers have cut deep valleys, as have other streams such as the Bronte, Oakville, and Etobicoke Creeks

Encompassing over 775 square kilometres of York, Peel and Halton regions, the Peel Plain is mainly flat except for some rolling hills and a steady slope towards Lake Ontario. Originally the Peel Plain had extensive hardwood forest of sugar maple, beech, white oak, hickory, basswood and white pine (Chapman and Putnam 1984).

Soils of the Peel Plain are categorized as Class 1 and considered some of the best in the province for agriculture though the lack of aquifers in the area and rapid evaporation of the clay have often been problematic for farmers managing their water supplies (Town of Caledon 2003). On the property the soil is primarily Chinguacousy clay loam, which originated from till containing large amounts of shale and limestone and often modified by clay lenses.

The west branch of the West Humber River runs approximately 110 m southeast of the property and 115 m southwest of the property. The West Humber River itself is located approximately 6 km southeast of the property. Other water features in the area include a storm water management pond north of the property that was constructed c. 2001 when the surrounding subdivision was developed.

In reference to political boundaries, the property is in Ward 10 in the north-west portion of the City of Brampton, approximately 940 m south of the community of Tullamore, and 4.1 km northwest of the community of Castlemore. It is in the south-west portion of a former rural block bounded on the north by Mayfield Road, on the south by Countryside Drive, on the east by Goreway Drive, and on the west by Airport Road. The property is located along Airport Road approximately 315 m north of Countryside Road and 950 m south of Mayfield Road.

4.2 Historical Context

4.2.1 Indigenous Regional History

The earliest evidence of human activity in the Great Lakes area can be traced back approximately 11,000 years. These first arrivals, known as Paleo People, moved into Ontario as the last of the glaciers retreated northward (10,950 to 9,950 B.P.). The limited available evidence suggests that Paleo People were highly mobile hunters and gatherers relying on migratory caribou, small game, fish and wild plants found in the sub-arctic environment. Their sites have been located along the former shores of glacial lakes such as Lake Algonquin and along the north shore of present-day Lake Ontario. The end of the Paleo Period was heralded by numerous technological and cultural innovations that appeared throughout the subsequent Archaic Period. These innovations may be best explained in relation to the dynamic nature of the post-glacial environment and region-wide population increases.

During the succeeding Archaic Period (9,950 to 2,900 B.P.), the environment of southern Ontario became more temperate, yielding larger areas suitable for human inhabitation. Archaic groups were also hunter-gatherers, yet their tool kit was more varied, reflecting a greater reliance on local food resources instead of high mobility. In the Middle to Late Archaic Periods, extensive trade networks developed and included copper from the north shore of Lake Superior among other exotic items.

The appearance of cemeteries during the Late Archaic Period has been interpreted as a response to increased population densities and competition between local groups for access to resources. These cemeteries are often located on heights of well-drained sandy/gravel soils adjacent to major watercourses.

The Woodland Period (2,900 to 350 B.P.) is distinguished by the introduction of ceramics into southern Ontario. Extensive trade networks continued through the early part of this period and Early Woodland populations in Ontario appear to have been heavily influenced by groups to the south, particularly the Adena people of the Ohio Valley. The Late Woodland Period is widely accepted as the beginning of agricultural life ways in south-central Ontario. Researchers have suggested that a warming trend during this time may have encouraged the spread of maize into southern Ontario, providing a greater number of frost-free days (Stothers and Yarnell 1977). The first agricultural villages in southern Ontario date to the 10th century C.E. and, unlike the riverine base camps of previous periods, were located upland on well-drained sandy soils.

The property is located within part of the Mississauga Tract which was ceded to the British by the Mississaugas on the 28th of October 1818, under Treaty 19, for £522 and 10 shillings annually. Treaty 19 was the “Second Purchase” involving the Tract of which the “First Purchase” or “Mississauga Purchase” of 1805 allowed the British Crown to acquire over 74,000 acres of land in southern Peel County. Treaty 19 transferred an additional 648,000 acres of the Tract to the British who in 1819 surveyed the area and divided it into the townships of Toronto, Chinguacousy, Caledon, Albion and Toronto Gore (PAMA 2014).

4.2.2 Toronto Gore Township

The property is within the former Toronto Gore Township of Peel County, originally between the Townships of Chinguacousy, Toronto, Vaughan and Etobicoke. Active settlement of the area by emigrants commenced prior to the Crown Survey of Toronto Gore Township in 1819 (Tavender 1984:8). One of the earliest settler families to the township were the McVeans, Scottish immigrants who arrived in New York in 1817 and proceeded to Glengarry in Upper Canada a year later. In 1819, Alexander McVean, his wife, four sons and daughter arrived in York County with a grant for six hundred acres in the northern portion of Toronto Gore Township. Following the township's separation from Chinguacousy Township in 1831, McVean erected a grist mill on Lot 5, Concession 8, using trees sawn at his son John's sawmill (Tavender 1984:11). The following year, Simon Grant and his family settled on Lot 15, Concession 9 and established an inn. Other pioneer families began to settle in the area including the Grahams, Bells, Lawrences, Bowmans and Dobsons (Walker and Miles 1877:63).

By 1840, most of the lots in the township had been sold and the population continued to rise; the 1841 census enumerated 1145 settlers, and the 1851 census recorded 1820 inhabitants (Tavender 1984:8; Smith *et al.* 1977:28). In 1835, a trimmed log structure served as the first Protestant school in Toronto Gore Township (Tavender 1984:8) but by 1849, the number of pupils had outgrown the original schoolhouse and they moved into new frame building. This was replaced by a brick schoolhouse in 1890 (Tavender 1984:15).

Wheat farming brought enough prosperity in the mid-1800s for many Peel County farmers to build larger farmhouses. These were often made of red brick with buff brick detailing and became an architectural characteristic of the area (Town of Caledon 2003). After the Reciprocity Treaty with the United States between 1854 and 1865 and arrival of the Grand Trunk Railway (1858) and later Credit Valley Railway (Pope 1877), farmers diversified their crops beyond wheat and increase their livestock herds (Town of Caledon 2003).

4.2.3 Property History

The property was originally within Lot 16, Concession 7 Northeastern Division of Toronto Gore Township. The 1837 *The City of Toronto and the Home District Commercial Directory and Register* by George Walton indicates that the property was initially occupied by both Michael Dixon and Nathaniel Reed (the exact portions/ halves of the lot are not specified). Just under a decade later, the 1846 *Toronto City and the Home District Directory* by George Brown lists Patrick Brophy, Samuel Hamilton, Benjamin Sargent and once again Nathaniel Reid [sic] as the occupants of the lot. In 1849 that Benjamin Sargeant [sic] received a Crown patent for all 100 acres of the west half (Dilse *et al.* 2008) and by the time of the 1850 *City of Toronto and County of York Directory* by Henry Roswell, only Nathaniel Reid and William Serjeant [sic], presumed son of Benjamin Sargent, are included as residents of Lot 16 (west or east halves).

William Serjeant's occupation of the property is corroborated by the 1859 *Tremaine's Map of the County of Peel* by George R. Tremaine, which labels William Sargent [sic] as the owner of the west half of Lot 16, Concession 7 Northeastern Division (Figure 3). This map also depicts a tributary of the West Humber River as traversing through the southwest corner of Lot 16, similar to its present-day alignment. To the north, the village of Tullamore is shown at the present-day crossroads of Airport Road and Mayfield Road. No structures are illustrated within the subject property on the 1859 map, although only the buildings of subscribers to Tremaine's maps were usually included.

The 1851 Census of Canada West lists William Sargent as a 41-year-old Irish farmer and member of the Church of England residing in Toronto Gore Township with his 26-year-old wife Fanny Ray, three children ages 1 to 4, and his 68-year-old father Benjamin Sargent. By the time of the 1861 Census, William's family grew by four more children (ages 2 to 7), and he was recorded as residing in a one-storey log house; the same year the census recorded the death of his father at age 75 due to "decay of nature" (natural causes). The Agricultural Census for 1861 stated that William Sargeant [sic] cultivated 70 acres, of which 50 acres were cropland, 19 acres were pasture, one acre was orchard and 39 (error, previously written as 29) acres were wooded. The cash value of the farm in 1861 was recorded at \$6,400.00 while the farm machinery was valued at \$120.00. The census stated that the yield for the Sargent farm included 100 bushels of fall wheat, 200 bushels of spring wheat, 200 bushels of peas, 150 bushels of oats, 150 bushels of potatoes, five bushels of carrots and 12 bundles of hay.

In the 1866 *General Directory for the City of Toronto and Gazetteer of the Counties of York and Peel* by Mitchell & Co., William Sargent is listing as freeholder (rather than householder or tenant) of the property. By 1870, the Abstract Index Books for Peel County (LRO 43) lists William Cawthra releasing a one-acre part to William Sargent. Also in 1870, Sargent and his wife transferred, via Bargain and Sale, the one-acre part to the "School Trustees" for a \$160.00 consideration. As the subject property is located within the west half of Lot 16, only the Sargent family's portion of the lot was examined in the subsequent historical records for the late 19th and early 20th centuries.

The 1874 *Directory of the County of Peel* by John Lynch did not include a listing for the property but the earlier 1871 Census suggested that William and Fanny Sargent were still residing in the Township and had nine children, ages 7 to 22. Four of the Sargent children would leave the household as they were not included in the 1881 Census. Sargent served as warden for Tullamore's St. Mary's Church (Dilse *et al.* 2008) which is no longer extant.

Sargent's occupation of the subject property is confirmed by the 1877 *Illustrated Historical Atlas of the County of Peel* by J.H. Pope which labels William Sargent as the owner for the west half of Lot 16 as well as a southwest portion of the adjacent Lot 17 (Figure 3). The 1877 map also illustrates a structure on the south bank of the tributary of the West Humber River and this may be related to the one-acre part sold to the School Trustees by Sargent. On the north side of the tributary, a structure and small orchard are depicted in approximately the same location as the house that stands on the property today.

William's grave marker at the nearby St. Mary's Anglican Cemetery (Lot 17, Concession 6 East of Centre Road, Chinguacousy Township) indicates that he died in 1886. The Abstract indicates that William transferred all 100 acres of the west half of Lot 16 to "Frances Sargent et al." (his wife and presumably his children). The 1891 Census did not include any information on the Sargent family in Peel County, however, the 1901 Census did include Frances Sargent as a 73-year-old widow and "Sewing[...]"] residing in the Town of Brampton. "Frances Wray" died in 1904 and is buried with her husband William at St. Mary's Anglican. In 1908, four years after Frances' passing, her executors sold the west half of Lot 16, Concession 7 to Edward Carberry for \$4,300.00 (amount may contain additional chattel included in estate). The Carberrys were another early pioneering family to the township and were neighbours of the Sargents since the late 19th century as indicated by their residence in the southeastern quarter of Lot 16 in the 1877 map. The 1911 Census provides information for a number of individuals with the surname Carberry residing in Brampton, however, Edward Carberry is not listed.

The 1914 and 1919 versions of the *Topographic Map Ontario – Bolton Sheet* by the former Department of Militia of Defence indicate that the structure on Edward Carberry's property, which is situated in the approximate location of the present-day residence, had been built in masonry (Figure 4). The maps further denote the structure south of the tributary on the lot as a brick schoolhouse. The 1926 to 1940 versions of the *Bolton Sheet* (now published by the Department of National Defence) also show the Carberry structure but its building material is no longer specified. A 1954 aerial photograph shows the house and outbuildings on the property in the same layout as today (Figure 5).

The Carberry family appears to have maintained ownership of the subject property throughout the remainder of the 20th century and into the 21st century, parceling out parts of Lot 16 as the surrounding residential and urban development encroached and replaced the former rural agricultural landscape. Notable transactions in the Abstract Index Books include Edward Carberry's 1935 annuity deed to his son Edward S. Carberry for all 100 acres as well as the County of Peel's 1960 expropriation of 0.95 acres of Edward S. Carberry's property.

In 2001, subdivisions were constructed to the north and east of the subject property. In 2007 the barn on the property was dismantled (Dilse *et al.* 2008), and the Carberry family owned the property until 2019 when it was transferred to Massi Homes Inc.

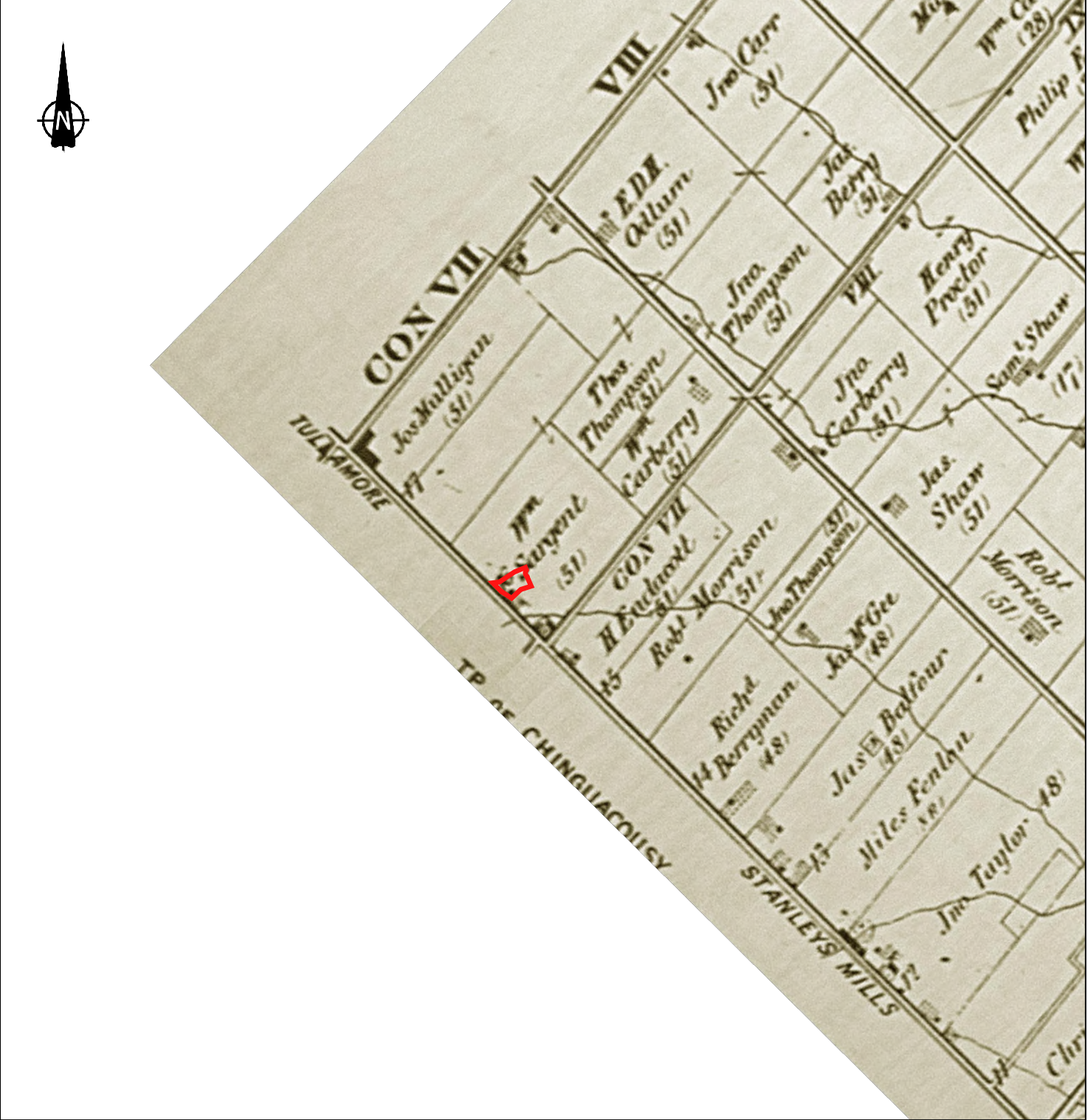
4.2.4 Summary of Key Findings

- The Sargent family occupied the property from c. 1846 to 1904
 - The 1861 Census indicates that William Sargent and family were residing in a one-storey log house in Toronto Gore Township
 - The 1877 map portrayed a farmstead and possible orchard on William Sargent's property of which the farmhouse is situated in the approximate location of the present-day residence
- The Carberry family occupied the property 1908 to 2019
 - Edward Carberry purchased the property in 1908 for \$4,300
 - The 1914 to 1919 topographic map suggests a brick structure in the approximate location of the present-day residence
 - The 1926 to 1940 topographical map suggests a structure in the approximate location of the present-day residence
 - 1954 aerial photograph depicts the farmhouse and outbuildings
 - The barn on the property was dismantled in 2007, and reconstructed in Wellington County

1859



1877



LEGEND

APPROXIMATE SUBJECT PROPERTY

REFERENCE


DRAWING BASED ON

1858 TREMAINE'S MAP OF THE COUNTY OF PEEL, CANADA WEST, COMPILED & DRAWING BY GEO. R. TREMAINE, PUBLISHED BY G.R. & G.M. TREMAINE, TORONTO;

1877 ILLUSTRATED HISTORICAL ATLAS OF THE COUNTY OF PEEL, ONTARIO, COMPILED AND DRAWN BY J.H. POPE, ESQ., PUBLISHED BY WALKER & MILES, TORONTO.

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ IN CONJUNCTION WITH ACCOMPANYING TEXT.
ALL LOCATIONS ARE APPROXIMATE.

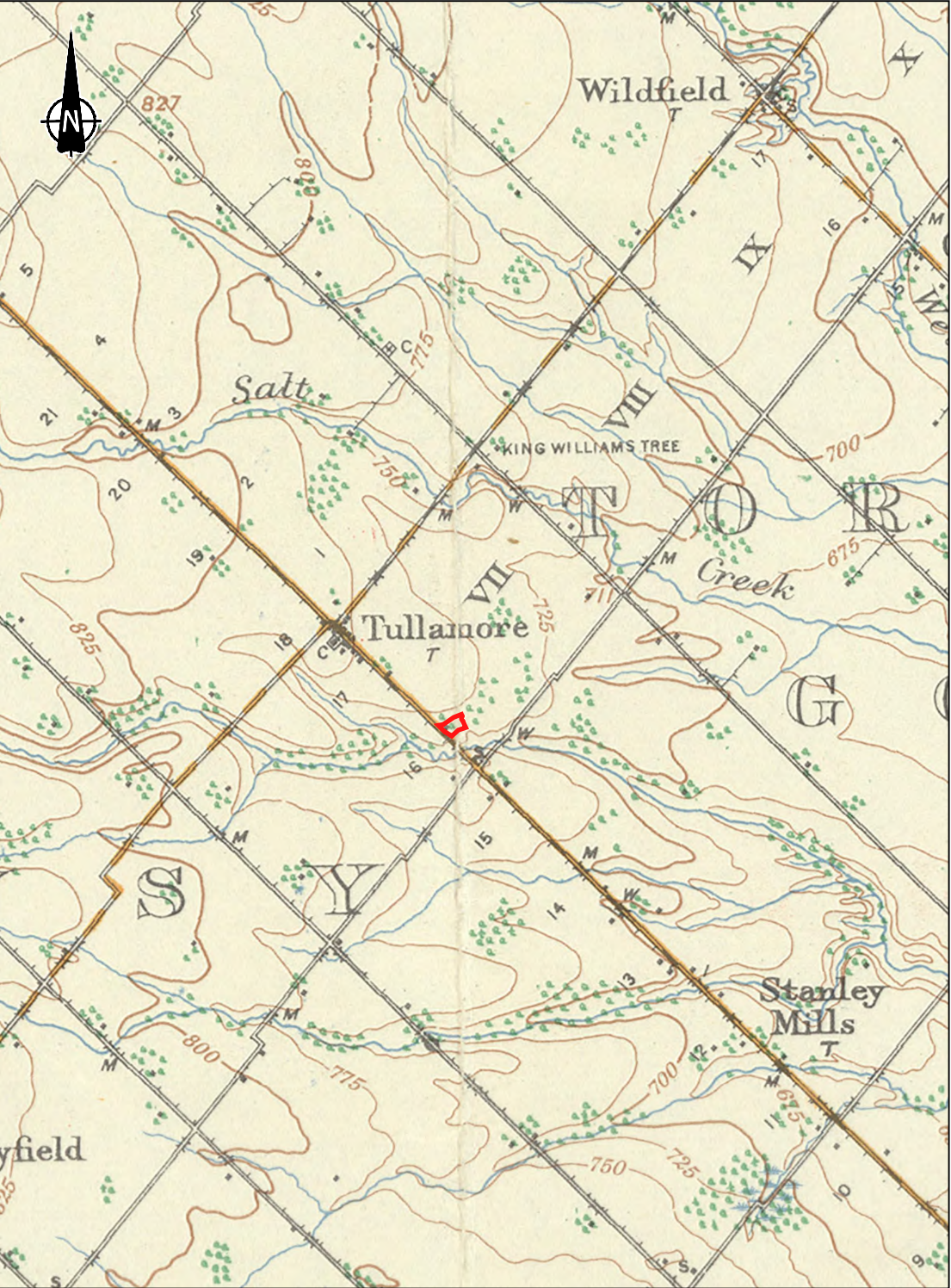
PROJECT		HERITAGE IMPACT ASSESSMENT 11185 AIRPORT ROAD, CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL			
TITLE		SUBJECT PROPERTY OVERLAID ON 19th CENTURY HISTORICAL MAPS			
 GOLDER MEMBER OF WSP	PROJECT No.		21466860	FILE No. 21466860-1000-R01003	
	SCALE		NTS	REV. 0	
	CADD	DCH	July 29/21	FIGURE 3	
	CHECK				

Client: Apoca Carpentry Ltd.
Drawing file: 21466860-1000-R01004.dwg
Jul 29, 2021 - 4:19pm
25mm
Original Format is Tabloid 279mm x 432mm

1914



1940



LEGEND

— APPROXIMATE SUBJECT PROPERTY

REFERENCE

DRAWING BASED ON
1914, BOLTON, ONTARIO, MAP SHEET 030M13, [ED. 1],
SURVEY DIVISION, DEPARTMENT OF MILITIA AND
DEFENCE;

1940, BOLTON, ONTARIO. 1:63,360, MAP SHEET 030M13,
[ED. 7], GEOGRAPHICAL SECTION, GENERAL STAFF,
DEPARTMENT OF NATIONAL DEFENCE;

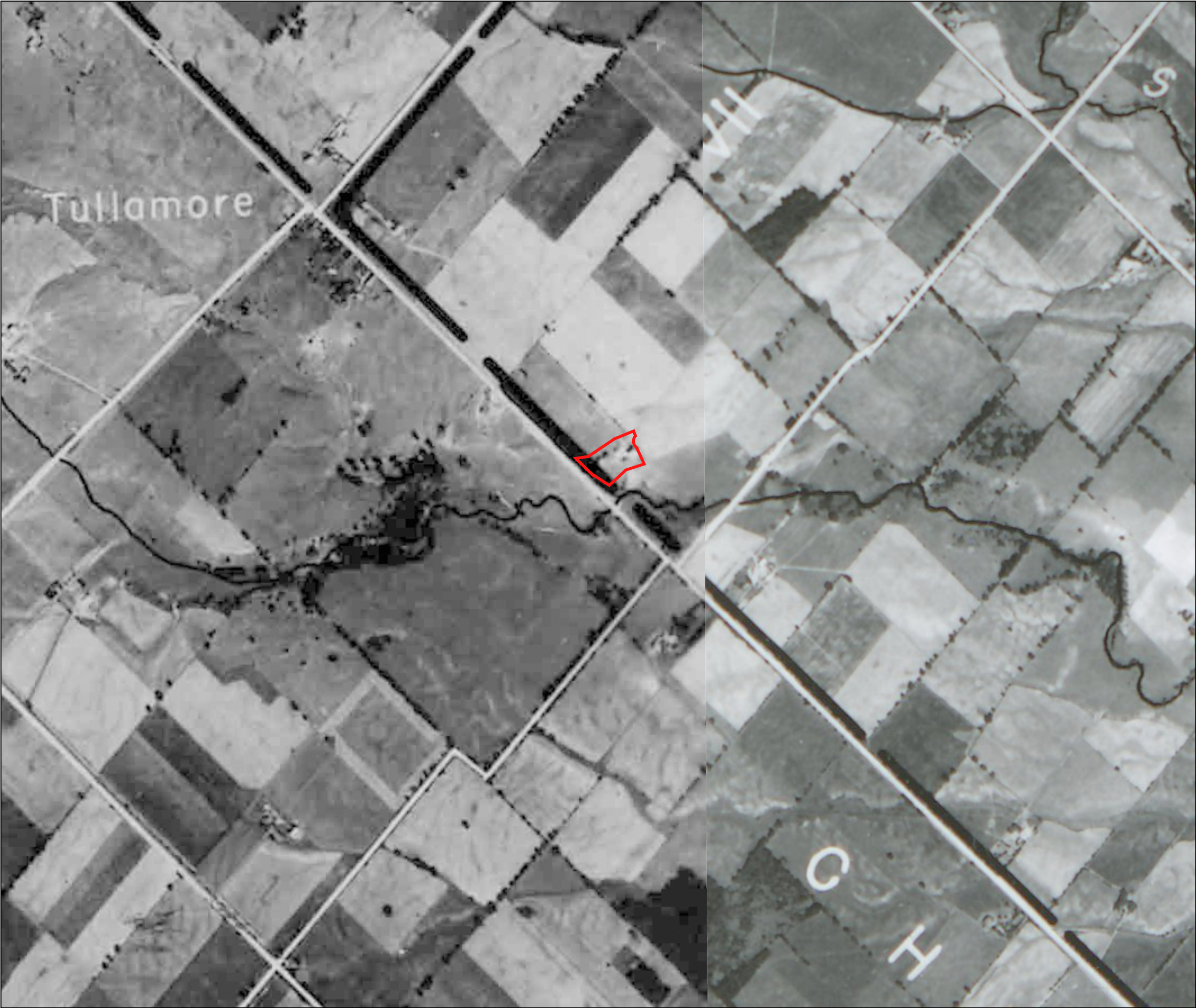
NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ
IN CONJUNCTION WITH ACCOMPANYING TEXT.
ALL LOCATIONS ARE APPROXIMATE.

SCALE IN KILOMETRES
0 0.5 1km
1:40

PROJECT			
HERITAGE IMPACT ASSESSMENT 11185 AIRPORT ROAD, CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL			
TITLE			
SUBJECT PROPERTY OVERLAID ON 20th CENTURY TOPOGRAPHIC MAPS			
PROJECT No. 21466860		FILE No. 21466860-1000-R01004	
CADD	DCH	July 29/21	SCALE NTS REV. 0
CHECK			
GOLDER MEMBER OF WSP			FIGURE 4

1954



LEGEND

APPROXIMATE SUBJECT PROPERTY

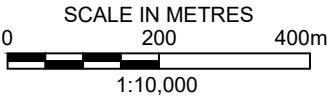
REFERENCE


DRAWING BASED ON

1954 IMAGE PROVIDED BY THE UNIVERSITY OF TORONTO LIBRARIES, MAP AND DATA LIBRARY
"https://mdl.library.utoronto.ca/collections/air-photos/1954-air-photos-southern-ontario/index" as of JUNE 23 - 2021.

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ IN CONJUNCTION WITH ACCOMPANYING TEXT.
ALL LOCATIONS ARE APPROXIMATE.



PROJECT		HERITAGE IMPACT ASSESSMENT 11185 AIRPORT ROAD, CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL			
TITLE		SUBJECT PROPERTY OVERLAID ON 20th CENTURY AERIALS			
 GOLDER MEMBER OF WSP	PROJECT No.		21466860	FILE No. 21466860-1000-R01004	
				SCALE NTS REV. 0	
	CADD	DCH	July 28/21	FIGURE 5	
	CHECK				

5.0 EXISTING CONDITIONS

5.1 Setting

The general character of the property's surroundings is varied. To north, east, and south, it is urban with low to medium density residential and commercial, while to the west is rural agricultural (Figure 6 to Figure 12). To the immediate north, there is a stormwater management pond tied to the residential development to the north and east. There is also a riverine environment associated with the west branch of the West Humber River to the south of the property.

Overall, the topography is generally flat at approximately 226 m above-sea-level and rises gradually to the northwest, while within the property the ground slopes toward the valley to the south. Trees on the property are primarily of deciduous but there are no mature plants. Most of the trees are north of the Sargent Farmhouse and driveshed, with a stand to east and south portions of the property. A major water feature adjacent to the property is the river, which passes under Airport Road south of the Sargent Farmhouse via a concrete bridge.

The property fronts Airport Road along of its western boundary and is situated approximately 315 m north of Countryside Road and 950 m south of Mayfield Road. The long axis of Sargent Farmhouse is oriented parallel to Airport Road on the crest of a hill overlooking the valley lands of the West Humber River tributary. It is set back approximately 35 m from Airport Road and 35 m west from the driveshed.

Land use on the property is residential and the Sargent Farmhouse is occupied by a tenant. Airport Road is four lane (two in each direction) with a wide median and boulevards with sidewalks on either side. The road was widened and improved between 2006 and 2007 and continues to follow the alignment of the original survey. Access to the property is via a straight driveway that extends east from Airport Road approximately 95 m. Views into and from the property are clear and open from the south, but hindered by vegetation from the north.



Figure 6: View facing northeast from Airport Road showing the property to the north and residential development to its immediate east



Figure 7: View facing north from Airport Road showing residential development to the north of the property



Figure 8: View facing south from Airport Road showing commercial development to the south of the property



Figure 9: View facing east from Airport Road of the property's driveway, front lawn, and farmhouse



Figure 10: View facing northeast from the southwest portion of the property



Figure 11: View facing west from the centre of the property looking at the driveshed (foreground) and Sargent Farmhouse (background)



Figure 12: View facing southeast from the northwest of the property

5.2 Built Environment

The built environment includes the Sargent Farmhouse, driveshed, and an outbuilding. Each structure on the property is described in the following subsections.

5.2.1 Sargent Farmhouse

The Sargent Farmhouse is a single detached, three-bay and storey-and-a-half farmhouse with T-shaped plan built in load-bearing brick masonry in the Neoclassical style. It is composed a side gable main block and a single-storey rear wing extending from the main block's east wall (Figure 13 to Figure 18). Floor plans for Sargent Farmhouse are provided in Figure 19. The main block and rear wing are described individually in the following subsections.



Figure 13: Front or west façade of the Sargent Farmhouse



Figure 14: West façade and south end wall of the Sargent Farmhouse



Figure 15: South end wall of the main block and south façade of the rear wing



Figure 16: South façade and east end wall of the rear wing



Figure 17: North façade of the rear wing and east façade and north end wall of the main block



Figure 18: North end wall of the main block

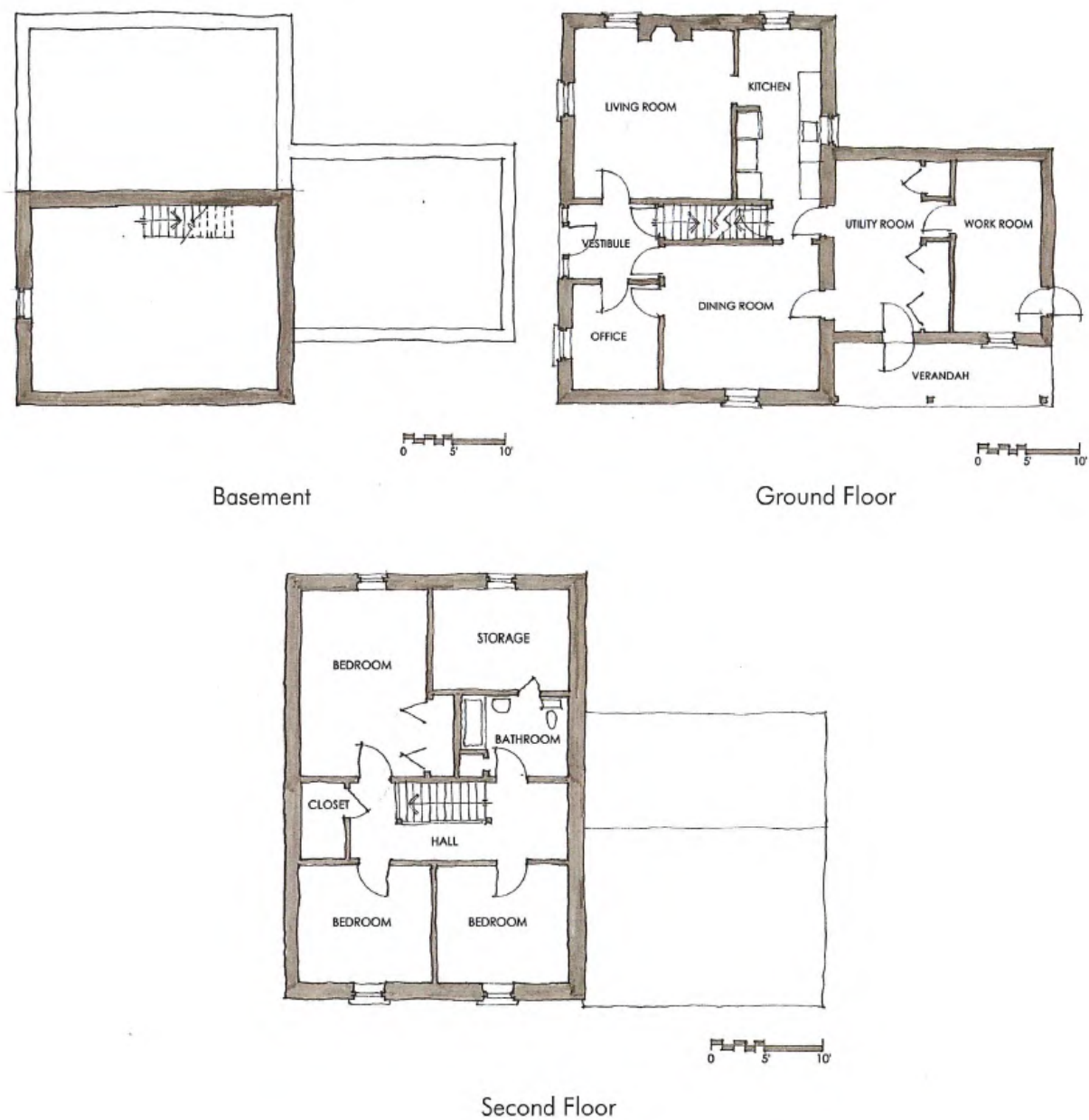


Figure 19: Floor plan (Dilse *et al.* 2008: 25)

5.2.1.1 *Main Block*

5.2.1.1.1 Exterior

The three-bay and storey-and-a-half main block has a rectangular plan oriented north-south and measures approximately 11.5 m on its long axis, 8.2 m on its east-west axis (Figure 13 to Figure 18). Its foundation is coursed rubble of large split fieldstone (Figure 20), and its load-bearing walls are at least double wythe brick laid in stretcher bond on the west (front) façade, with the other walls in one-in-five American or common bond. It has a full below ground basement under the south half and a crawl space under the north half. Buff brick quoining is at all corners as well as a buff brick decorative band below the eaves of the west façade. On the north and south walls are buff brick decorative diamonds below the gable. Tie-rods secure the walls of the main block (Figure 21).

The medium gable roof is covered in asphalt shingle and the projecting eaves and verges have a moulded soffit, plain fascia, and moulded frieze with prefabricated aluminium gutters and rainwater leaders (Figure 21). On the gable ends are eave or cornice returns. A single-stack brick chimney is set to the side right centre (south end wall) (Figure 22). A second chimney, now removed, was located to the side left centre (north end wall).

Fenestration is asymmetrical on all facades. On the west façade, the main entrance is slightly off-centred to the right with six-over-six, single hung windows on the either side (Figure 13 and Figure 23). The single leaf recessed main entrance is marked by side lights, a flat transom, and moulded trim within the structural opening, while outside of the structural opening, Doric capital pilasters support a two-part (cornice and frieze) entablature. The main entrance contains a five-panel door with a wood screen door and narrow wood strip landing, which is accessed by straight concrete steps. The entrance is painted in traditional colors of dark green and white.

The first level window openings on the west façade are flat with wide voussoirs and quoins formed in buff brick (Figure 24). Each window has a two-over-two storm and a plain lug sill. The basement level windows are flat with red brick voussoirs and dark green painted trim.

On the south wall is a flat arch opening on the first level with one-over-one, single-hung window (an alteration of the original sash) and stone lintel and lug sill (covered in aluminum). The second level has two flat window openings with six-over-six, single hung windows with flat arch headers formed in buff brick and plain wood lug sills. Window openings on the north façade, except for one on the first level, are six-over-six, single-hung. The first level window openings are flat arch with plain trim, wide buff brick voussoirs and stone lug sills, while the second level openings have plain trim, flat arch buff brick headers and plain lug sills. On the east wall, there a window opening with plain trim, flat arch red brick header and plain lug sill that is fitted with a one-by-one horizontal sliding window.



Figure 20: Coursed split fieldstone foundation



Figure 21: Projecting eaves and verges of the main block with cornice return, moulded frieze and soffit, plain fascia, prefabricated rainwater leader, and tie rod



Figure 22: Cornice returns and single-stack brick chimney



Figure 23: Recessed main entrance with transom, sidelights, pilasters, and entablature



Figure 24: Six-over-six window with wood storm, buff gauged or rubbed brick voussoirs and quoins, and a lug sill with aluminum covering

5.2.1.1.2 Interior

Overall, the Sargent Farmhouse is single-pile (one room deep) with a central passage floor plan and has first, second, and basement levels

5.2.1.1.2.1 First Level

The first level is divided into four spaces with a central passage (vestibule): a living room and kitchen to the north and office and dining room to the south. The main entrance opens into wood strip floored vestibule, which provides access to the living room to the north, a small room to the south – now used as office, and the dining room and stairway to the second level to the east (Figure 25 and Figure 26). The walls of the vestibule are wallpapered.

The living room is accessed via a single-leaf four-panel door from the vestibule. The walls of the living room are wallpapered with moulded architraves and high baseboards while the flooring is hardwood strip (Figure 27 to Figure 30). On the north wall is a large brick fireplace with Neoclassical trim and window, as well as a window on the west wall. Trim around the openings is wide and moulded. An opening on the east wall provides access to the kitchen.

The walls of the kitchen are covered in painted plasterboard and have a thin architraves and baseboards, while the flooring is a vinyl (Figure 31 and Figure 32). On the north wall is a small window with plain trim. North of the kitchen is a doorway leading to the dining room as well as a single-leaf doorway to the basement on the west and another on the east that provides access to the wing (Figure 32 and Figure 33).

The dining room is also wallpapered with thin plain architraves and high moulded baseboards (Figure 34 to Figure 36). The room has a drop ceiling and faux-wood laminate. On the west wall is a single-leaf, four-panel door to the office and a five-panel door to the vestibule. A single-leaf four-panel door on the east wall provides access to the rear wing. The south wall features a central window and to the west of the window was a woodstove, now removed.

The office room south of the vestibule and west of the dining room is a small room with wallpapered walls and faux-wood laminate with high baseboards (Figure 37 and Figure 38). Trim around the openings is wide and moulded.



Figure 25: Vestibule with main entrance (centre), living room (right) and office (left), facing east



Figure 26: Vestibule with living room (left), stairs to second level (centre-left), dining room (centre-right), and office (right), facing west



Figure 27: Living room, facing west



Figure 28: Living room with fireplace with Neoclassical features, facing north



Figure 29: Living room with access to kitchen, facing east



Figure 30: High moulded baseboards within living room



Figure 31: Kitchen, facing north



Figure 32: Kitchen, facing south



Figure 33: Kitchen with basement access (left) and rear wing access (right), facing north



Figure 34: Dining room with access to rear wing on east wall, facing east



Figure 35: Dining room, facing south



Figure 36: Dining room with access to office (west wall, centre) and vestibule (west wall, right), facing west



Figure 37: Office room, facing southwest



Figure 38: Office room, facing northeast

5.2.1.1.2.2 Second Level

Access to the second level is via a single flight of straight stairs (Figure 39). The stairway from the first level hall opens to landing hall at the second level with two doors on the north and south as well as one on the west (Figure 40 to Figure 41).

On the north wall of the landing is a single-leaf five-panel door that opens to a three-piece bathroom with wallpapered walls, vinyl flooring, built-in cabinets on the east and west walls, and a single-leaf door on the north wall (Figure 42 and Figure 43). The door provides access to a small, carpeted room with white painted plasterboard walls, now used as storage (Figure 44 and Figure 45). The room has a six-over-six single-hung window on its north wall and an opening in the ceiling that provides access to the attic.

Perpendicular to the landing balustrade is a hallway that terminates at a closet at the western end. Single-leaf doorways open to two bedrooms on the south side of the hallway and one bedroom on the north. The southeastern bedroom has wallpaper, tall plain white painted skirting, carpeted floors and a tall window on the south wall (Figure 46 and Figure 47).

Flanking the closet at the western end of the second-floor hall are single-leaf doorways for the southwestern and northwestern bedrooms. Both bedrooms are painted plasterboard and have carpeted floors (Figure 48 to Figure 51). The southwest bedroom has tall plain skirting board while the northwest bedroom has short plain skirting board. On the east wall of the northeastern bedroom is a double-leaf door which opens a narrow closet.



Figure 39: Stairs to second level, facing east



Figure 40: Second level landing hall, facing east



Figure 41: Second level hall, facing west



Figure 42: Bathroom, facing west



Figure 43: Bathroom, facing southeast



Figure 44: Storage room (northeast room), facing north



Figure 45: Storage room (northeast room), facing east



Figure 46: Southeast room, facing south



Figure 47: Southeast room with tie rod along east and south walls, facing east



Figure 48: Southwest room with tie rod along south and west walls, facing south



Figure 49: Southwest room with tie rod along south and west walls, facing northwest



Figure 50: Northwest room, facing north



Figure 51: Northwest room, facing south

5.2.1.1.2.3 *Basement*

Entrance to the basement beneath the south half of the main block is a single-flight of wood straight stairs from a doorway in the kitchen (Figure 52). The basement is unfinished with exposed floor joists and poured concrete floor which is broken in several areas (Figure 52 to Figure 56). Tongue-and-groove floorboards of the main floor are visible from the basement.



Figure 52: Basement with straight wood stairs, facing east



Figure 53: Basement, facing north



Figure 54: Basement, facing south



Figure 55: Basement with coursed fieldstone foundation, facing west



Figure 56: Exposed floor joists left in the rough in the south half of the main block

5.2.1.2 Rear Wing

The two-bay one storey rear wing has a rectangular plan oriented east-west and measures approximately 6.5 m on its long axis and 5.9 m on its north-south axis (Figure 15 to Figure 17). It extends from the centre-south of the main block's east facade. While its foundation appears to be rubble fieldstone, it is shallow as there is no interior basement or crawl space. The load bearing walls are double-wythe red brick laid in one-in-five American or common bond on all walls. Buff brick quoining at the northeast corner continues the pattern seen on the east façade of the main block, but at the southwest corner there is a mix of dark red and buff brick quoins. The walls of the wing also abut—but are not keyed into—the main block east façade. This is evident in the difference in coursing levels between the wing and main block, as well as slight difference in brick colour between the two structures.

Over the walls is a medium gable roof with projecting eaves and verge that have a plain soffit, fascia, and frieze with prefabricated aluminium gutters and rainwater leaders. Like the main block, there are eave or cornice returns on the gable end. A low, shed roof verandah spans the length of the wing on the south elevation. Three turned wood posts support the verandah's roof that slopes continuously from the wing's gable roof (Figure 57 to Figure 58). There are two single-leaf entrances, each with a four-panel wood door with metal screen on the south and east elevations (Figure 16 and Figure 58). The south entrance has a wood deck covered by the verandah while the east entrance is at grade with Neoclassical trim.

The interior is divided into two sections. The west half is accessed via the south entrance and contains vinyl flooring, vertical siding walls, a drop ceiling; it provides access into the kitchen and dining room of the main block, as well as the east half of the rear wing (Figure 59 and Figure 60). The east half is accessed via a doorway from the west half as well as via the east entrance and has wood strip flooring and white painted walls (Figure 61 and Figure 62). The rear wing was likely used as a summer kitchen (Figure 63).



Figure 57: South façade of the rear wing with open verandah



Figure 58: Doorway, window and turned wood post supporting verandah's roof, facing north



Figure 59: West half of the rear wing, facing south



Figure 60: West half of the rear wing, facing north



Figure 61: East half of the rear wing, facing north



Figure 62: East half of the rear wing, facing south



Figure 63: East end wall of the rear wing showing evidence of soot under the gable

5.2.2 Driveshed

Measuring approximately 10.5 m by 6.7 m, the green-painted single storey two-bay driveshed is currently being used as storage space (Figure 64 and Figure 65). It has board-and-batten walls on timber-frame construction with a metal-clad medium gable roof. On the south façade are two large vertical board sliding doors that provides access to each bay, as well as a smaller double-leaf doorway on the east wall with vertical board doors.

The framing involves squared log posts capped by a top plate with drop tie-beams morticed to the posts and pinned with treenails to form the end wall and bent which, like the plates, are supported by cross-braces (Figure 66 to Figure 67). The posts, end girts, and plates do not show evidence of reuse and redundant mortices. The rafters are constructed with dimensional cut lumber (Figure 68).



Figure 64: South façade of the driveshed with large slight doors, facing north.



Figure 65: North façade and east wall of the driveshed, facing southwest



Figure 66: Interior of driveshed, facing west



Figure 67: Interior of the driveshed with drop tie-beam, hand-hewn posts and plates and east doorway, facing east



Figure 68: Dimensional cut rafters

5.2.3 Grain Bin

The grain bin is a single-storey and circular and metal-clad. It has single-leaf entrance with a metal door (Figure 69 and Figure 70). There are no windows. It measures approximately 5.7 m in diameter.



Figure 69: Exterior of metal grain bin, facing southwest



Figure 70: Interior of metal grain bin, facing southwest

5.3 Structural History & Analysis

Two development phases could be identified from the property's structural evidence. Each phase is described below with an architectural analysis of the fabric representing each phase.

5.3.1 Phase 1: Sargent Family, 1846 to 1904

This phase represents the construction of the Sargent Farmhouse, including the later rear wing.

The Sargent Farmhouse is constructed in the Neoclassical architectural style, dated in Ontario to between 1800 and 1860 (Blumenson 1990). The style is characterized by a more refined and lighter version of Classical architecture. Stylized Classical elements, such as columns, pilasters and moulding are thin in proportion, appearing elongated or attenuated, and the spacing between columns is often not in strict accordance with academic prototypes (Blumenson 1990:13). Facades are highlighted with arcades, monumental pilaster strips, decorative friezes, large windows, fanlights, stringcourses, antique orders, pilaster orders, and wide entrances (Blumenson 1990). These characteristics are seen on the west, front façade of the Sargent Farmhouse, specifically its main entrance doorway which is slightly off-centre and marked by sidelights, a fanlight, pilasters, and an entablature.

The rear wing also features Neoclassical elements in its return gable and east entrance trim; however, given the difference in brick and slight misalignment of its coursing from the main block, it is a later construction.

The main block is known to have been constructed after 1861, as the Census for that year states that William Sargent and his family were living not in a brick building like the one that stands today but a one-storey log house. However, the main block can be confirmed to be older than 1877, when the historical atlas illustrates structure in the approximate location of the Sargent Farmhouse. Furthermore, the 1914 topographic map depicts a brick structure in the location of the Sargent Farmhouse.

Dimensional lumber like the material used in the floor joists had been widely available since the late 19th century but was most often left in the rough with clear evidence of the vertical or circular saw marks used in its milling. Planing too had become more widely used in the late 19th century though was primarily used for doors and mouldings, and it was not until the 1920s that lumber sizes were standardized, which required planing to meet these requirements (Gottfried 1995; US Department of Agriculture 1964:6).

Based on this information, the main block of the Sargent Farmhouse was likely constructed between 1861 and 1877 and the rear wing added some time after the main block construction period (c. 1861-1877) and before 1904.

5.3.2 Phase 2: Carberry Family, 1904 to c. 2019

This phase includes construction of the driveshed, metal grain bin, and removal of outbuildings.

Determining the date of construction for the driveshed is difficult. The driveshed features drop tie-beams, which are tie-beams that are mortised into the posts below the plates, and these have been documented in Pennsylvania barns dating to after 1870-80 (Figure 67) (Huber 2017:162). Another post-1880 construction feature are the dimensional cut rafters. The lack of redundant mortices in all visible hand-hewn components indicates the driveshed was likely not composed of salvaged material, such as an earlier 19th century outbuilding. It is probable based on the combination of original hand-hewn components and dimensional cut rafters that the driveshed was originally from the Carberry's 50-acre property in the southeastern quarter of Lot 16 and it was reconstructed with dimensional cut rafters following the 1904 purchase of the property (west half of Lot 16).

The only solid date for the driveshed is that it is pre-1954, when it appears on the aerial imagery from that year; however, it is most likely to have been erected on the property between 1904 and 1919, when the Carberry family sold the 50-acre property. The driveshed is not depicted on the historical atlases or topographic series, although this is not unusual since outbuildings were frequently omitted in these maps.

The metal grain bin was erected on the property in 1972; this date is painted on the interior of the structure. A gable-roofed barn and a shed, assumed to have been constructed during the Carberry occupation, were removed by 2007.

5.4 Physical Condition

The condition assessment presented for the property in Table 2 summarizes an extensive checklist developed by Historic England (Watt 2010: 356-361). Please note that these observations are based solely on superficial visual inspection and should not be considered a structural engineering assessment.

Table 2: Physical Condition Assessment

Element	Observed Conditions
General structure	■ All structures in good condition
Roof	■ Roofing is in good condition for all structures
Rainwater disposal	■ Sargent Farmhouse: all gutters and rainwater leaders in good condition ■ Driveshed and grain bin: n/a
Walls, foundations & chimneys, exterior features	Sargent Farmhouse: <ul style="list-style-type: none"> ■ movement, settlement, and cracking of walls (Figure 71 to Figure 73) ■ improper repointing and parging on some walls ■ chimney deteriorating (i.e., bricks flaking/ breaking) ■ shallow foundation of the rear wing Driveshed and grain bin are in good condition
Windows & doors	■ Sargent Farmhouse: windows and doors are in good condition ■ Driveshed and grain bin: doors are in good condition
Internal roof structure/ceilings	■ Internal roof structure/ ceilings of all structures in good condition
Floors	■ Sargent Farmhouse: The floors appear to be in overall good condition ■ Driveshed and grain bin: not applicable
Stairways, galleries, and balconies	■ Sargent Farmhouse: Stairway in good condition. Veranda is in good condition. ■ Driveshed and grain bin: not applicable
Interior decorations/finishes	■ Sargent Farmhouse: Plasterboard, wood trim, wallpaper, paints are in overall good condition ■ Driveshed and grain bin: not applicable
Fixtures & fittings	■ Sargent Farmhouse: Fixtures and fittings appear to be in good working condition ■ Driveshed and grain bin: not applicable
Building Services	■ Sargent Farmhouse and driveshed: Services are active ■ Grain bin: not applicable
Site & environment	■ The property is well maintained and landscaped with no areas of standing water.
General environment	■ Overall good condition



Figure 71: Evidence of cracks radiating from the first level window on the north end wall.



Figure 72: Evidence of cracks on the east facade of the main block.



Figure 73: Settlement and movement of load-bearing brick masonry on south end wall

5.5 Integrity

In a heritage conservation context, the concept of integrity is linked not with structural condition, but rather to the literal definition of “wholeness” or “honesty” of a place. The MHSTCI *Heritage Identification & Evaluation Process* (2014:13) and *Ontario Heritage Tool Kit: Heritage Property Evaluation* (2006:26) both stress the importance of assessing the heritage integrity in conjunction with evaluation under *O. Reg. 9/06* yet provide no guidelines for how this should be carried out beyond referencing the *US National Park Service Bulletin 8: How to Evaluate the Integrity of a Property* (US NPS n.d.). In this latter document, integrity is defined as ‘the ability of a property to convey its significance’, so can only be judged once the significance of a place is known.

Other guidance suggests that integrity instead be measured by understanding how much of the asset is “complete” or changed from its original or “valued subsequent configuration” (English Heritage 2008:45; Kalman 2014:203). Kalman’s *Evaluation of Historic Buildings*, for example, includes a category for “Integrity” with sub-elements of “Site”, “Alterations”, and “Condition” to be determined and weighted independently from other criteria such as historical value, rather than linking them to the known significance of a place.

Kalman’s approach is selected here and combined with research commissioned by Historic England (The Conservation Studio 2004), which proposed a method for determining levels of change in conservation areas that also has utility for evaluating the integrity of individual structures. The results for the property are presented in Table 3, and are considered when determining the CHVI of the property (see Section 6.0).

Table 3: Heritage Integrity Analysis for the Property

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Setting	Rural with two lane (one in each direction) roads and farmhouses, outbuilding complexes, and agricultural lands on larger lots	Urbanization to the immediate north, east and south. Original lot severed for medium density residential and commercial land use.	0	Poor	There has been significant urban development to the north, east and south. Lands to the west remain primarily under agricultural use. Although there are remaining agricultural properties to the immediate west, the property has been subdivided and is now zoned for development.
Site location	Set back and facing the nearest road	Sargent Farmhouse: no alterations	100	Very good	Driveshed reconstructed on property between 1904 and 1919. Gable barn and shed (likely constructed during the Carberry occupation) removed after 2007.
Footprint	Sargent Farmhouse: rectangular Driveshed: rectangular	Sargent Farmhouse: rear (east) wing Driveshed: no change	90	Very good	The wing was likely an early addition based on the similar masonry work.

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Wall	Sargent Farmhouse: brick load bearing Driveshed: timber and dimensional frame	Sargent Farmhouse: no change Driveshed: no known alterations	100	Very good	No additional comment
Foundation	Sargent Farmhouse: coursed rubble Driveshed: not applicable	Sargent Farmhouse: no change	100	Very good	Note that this rating refers to heritage integrity, not structural integrity
Exterior doors	Sargent Farmhouse: panelled wood Driveshed: vertical board	Sargent Farmhouse: likely original Driveshed: some boards appear to be replaced	95	Very good	No additional comment
Windows	Sargent Farmhouse: Wood Driveshed: not applicable	Sargent Farmhouse: some windows retain original frames while others have been replaced in synthetic materials	60	Fair	No additional comment
Roof	Sargent Farmhouse: possibly wood shingle Driveshed: possibly wood shingle	Sargent Farmhouse: original replaced in asphalt shingle Driveshed: reclad in metal	0	Poor	No additional comment
Chimneys	Sargent Farmhouse: one inside each end wall Driveshed: n/a	Sargent Farmhouse: north end wall chimney removed	50	Fair	No additional comment

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Water systems	Sargent Farmhouse: unknown, possibly copper Driveshed: none	Sargent Farmhouse: all water systems replaced Driveshed: no changes	20	Poor	No additional comment
Exterior decoration	Sargent Farmhouse: dichromatic brickwork (quoin, band, diamond, window trim; red-brick common bond on all sides Driveshed: board and batten	Sargent Farmhouse: some trim around window head replaced Driveshed: no changes	90	Very good	No additional comment
Exterior additions	Sargent Farmhouse: rear wing Driveshed: no known additions	Sargent Farmhouse: no changes Driveshed: no changes	100	Very good	The rear wing was likely a late 19th century addition
Interior plan	Sargent Farmhouse: single-pile with a central passage floor plan Driveshed: two-bay	Sargent Farmhouse: rear wing Driveshed: no changes	100	Very good	The rear wing was likely an early addition.
Interior walls and floors	Sargent Farmhouse: unknown, probably lathe-and-plaster walls and wood strip flooring Driveshed: n/a	Sargent Farmhouse: no changes Driveshed: n/a	100	Very good	No additional comment

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Interior trim	Sargent Farmhouse: tall baseboard with decorative trim around openings Driveshed: n/a	Sargent Farmhouse: some interior trim replaced Driveshed: n/a	85	Very good	No additional comment
Interior features (e.g., stairs, doors)	Sargent Farmhouse: wood stairs, doors, fireplace on end walls	Sargent Farmhouse: some interior doors have been replaced and fireplace on south end wall removed	70	Good	No additional comments
Landscape features	Domestic yard and farmyard features such as gardens and fencing and surrounding fields	No significant alterations to domestic yard, but farmyard features removed, and all fields have been severed and most developed	10	Poor	The property's landscape features have not been significantly altered through the 21st century
AVERAGE OF RATE OF CHANGE/HERITAGE INTEGRITY			68.8	Good	Rating of Good is based on original element survival rate of between 51 to 75%

5.5.1 Results

Overall, the property has a good level of integrity since its structures have experienced minor to moderate change since their original configuration.

6.0 EVALUATION OF CULTURAL HERITAGE VALUE OR INTEREST

In 2008, an HIA was completed for the property by Dilse *et al.* This report determined the property to have CHVI for its representative farmhouse, its “association with farming in the pioneer period” and its “prominence at the crest of a hill” (Dilse *et al.* 2008:6). The report recommended the “demolition of the outbuildings”, “designation under Part IV of the *Ontario Heritage Act*” and commemoration (Dilse *et al.* 2008:8).

The following evaluation provides an independent evaluation using the criteria prescribed in *O. Reg. 9/06* based on the field investigations, research, and analysis conducted as part of this HIA.

6.1 Design Value or Physical Value

Criteria	Meets criterion (Yes/No)
<i>(i) Is a rare, unique, representative, or early example of a style, type, expression, material or construction method.</i>	Yes
<p>Rationale:</p> <p>The Sargent Farmhouse on the property has a high level of heritage integrity that is virtually unchanged from its original construction approximately 150 years ago and making it a representative example of a late 19th century rural residence built in the Neoclassical style. It can also be considered a relatively rare example of the Neoclassical style; although there are several farmhouses in the municipality with similar architectural features and Neoclassical components, there is only one Neoclassical style farmhouse (8028 Creditview Road – Creditdale Farm) designated in the municipality.</p> <p>Due to their 20th century construction, the wood driveshed and grain bin are not rare, unique, representative, or early examples of a style, type, expression, material or construction. As a whole, the property is not a rare or unique example of a farmstead, nor is it a representative one since it lacks several typical features. Using as a model the “Historic Ontario Farmstead Typology” developed by ERA Architects (2020), the property lacks typical features including a complex of outbuildings, an entrance driveway framed by vegetation, and a woodlot.</p>	

Criteria	Meets criterion (Yes/No)
<i>(ii) Displays a high degree of craftsmanship or artistic merit.</i>	Yes
<p>Rationale:</p> <p>In its overall composition, extensive dichromatic masonry decoration, gauged or rubbed brick voussoirs, and recessed Neoclassical main entrance with sidelights, fanlight, Doric pilasters and entablature, the main block displays a high degree of craftsmanship.</p> <p>The driveshed does not display a high degree of craftsmanship or artistic merit. The framing is executed to a competent, but not high degree, of workmanship with no foundation.</p>	

Criteria	Meets criterion (Yes/No)
<i>(iii) Demonstrates a high degree of technical or scientific achievement.</i>	No
<p>Rationale:</p> <p>As late 19th century and 20th century residential and agricultural structures erected on flat, well-drained terrain, none of the property's buildings demonstrate a high degree of technical or scientific achievement.</p>	

6.2 Historical Value or Associative Value

Criteria	Meets criterion (Yes/No)
<i>(i) Has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</i>	Yes
Rationale: <p>The property and the Sargent Farmhouse, including the rear wing is directly associated with William Sargent (c. 1846-1904), a member of an early pioneering family to the township of Toronto Gore and significant to the Tullamore community in his role as warden for the Tullamore's St. Mary's Church. The craftsmanship of the Sargent Farmhouse in its rural setting is also indicative of William Sargent's success as a farmer, and therefore can be directly associated with the theme of mixed farming that was significant to the community's development during the 19th century. As recorded in the 1861 Agricultural Census, the property yielding high quantities of wheat, oats, peas, carrots, and potatoes as well as pasturage.</p> <p>However, unlike a typical farm complex, which in addition to the principal residence and barn includes fenced yards and a range of outbuildings and lanes, at this property only the farmhouse, which dates to the late decades of the 19th century as well as an assumed reconstructed driveshed remains. For this reason, as well as due to the urbanization of the surrounding lands, the property does not contribute to the theme of "farming in the pioneering period" presented by Dilse <i>et al.</i> (2008: 6).</p>	

Criteria	Meets criterion (Yes/No)
<i>(ii) Yields or has the potential to yield information that contributes to an understanding of a community or culture.</i>	No
Rationale <p>As the property's building fabric primarily dates to the late decades of the 19th century, further study of the property is unlikely to yield information that contributes to an understanding of Toronto Gore's pioneer settlement or farming industry.</p>	

Criteria	Meets criterion (Yes/No)
<i>(iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</i>	No
Rationale: <p>While it is unknown who was responsible for drafting and executing the form of the Sargent Farmhouse, it is in a vernacular form that is unlikely to represents the ideas of an architect, artist, builder, designer, or theorist who is significant to the community.</p>	

6.3 Contextual Value

Criteria	Meets criterion (Yes/No)
(i) <i>Is important in defining, maintaining or supporting the character of an area.</i>	No
Rationale: The character of the surrounding area has experienced significant urbanization with low to medium density residential and commercial development to the immediate north, east, and south of the property. Although the rural character is maintained to the west of the property, most of the properties do not retain intact farm complexes and are likely rented out for cultivation. With only its 19th century farmhouse and 20th century driveshed remaining, the property is not <i>important</i> in defining, maintaining or supporting the character of the surrounding area.	

Criteria	Meets criterion (Yes/No)
(ii) <i>Is physically, functionally, visually or historically linked to its surroundings.</i>	No
Rationale: The property is not physically linked to its surroundings in that it does not have a “material connection between the property and its surroundings” (MHSTCI 2014:17), nor are there important visual relationships between the property and any features in the wider context. The Sargent Farmhouse and driveshed no longer has a functional relationship to the property’s use for agriculture.	

Criteria	Meets criterion (Yes/No)
(iii) <i>Is a landmark.</i>	Yes
Rationale: The storey-and-a-half massing with dichromatic brick hues and setting at the crest of the valley land and proximity to Airport Road, all contribute to the visual prominence of the Sargent Farmhouse; it can therefore be considered a local landmark.	

6.4 Evaluation Results

The preceding evaluation has determined that the property:

- **Meets four of nine criteria of O. Reg. 9/06 and therefore has cultural heritage value or interest (CHVI)**

Based on this evaluation, a Statement of CHVI is proposed in the following section.

6.5 Statement of Cultural Heritage Value or Interest

Description of Property – 11185 Airport Road, City of Brampton

The property is located at 11185 Airport Road in the City of Brampton, Peel Region, formerly within the east half of Lot 16, Concession 7 NERV DIV, in the Township of Toronto Gore, County of Peel. The 1.09-hectare property includes the Sargent Farmhouse, a brick farmhouse built between 1861 and 1877, and associated driveshed and grain bin.

Statement of Cultural Heritage Value or Interest

The property has cultural heritage value or interest for its design or physical value, its historical or associative value, and for its contextual value. The property's design or physical value is linked to its storey-and-a-half farmhouse, known locally as the Sargent Farmhouse. Built after 1861 but before 1877, the Sargent Farmhouse was built on a fieldstone foundation in red brick with buff brick detailing and decoration, including quoins, gauged or rubbed brick voussoirs, a frieze of circular forms, and diamond patterns below the gables. It has a T-shaped plan with a rectangular main block and rear wing off the east end wall. The main block has asymmetrical fenestration with a slightly off-centre recessed main entrance with a moulded architrave, sidelights, fanlight, Doric pilasters, and entablature marked by two large six-by-six flat windows on either side. It has a gable roof with return eaves and a single chimney on its south end wall. Its double-wythe masonry on the principal façade is entirely in stretcher bond and the other walls are one-in-five American or common bond. Like the main block, it has asymmetrical fenestration with an open verandah along the length its south façade. The Sargent Farmhouse has a good level of heritage integrity as a representative example of a late 19th century Neoclassical rural farmhouse executed with a high degree of craftsmanship in its detail and overall composition.

The property's historical or associative value lies in its direction association with William Sargent, who was not only successful in the mixed farming that was central to the area's economy during the 19th century, but also played a leading role in the community's social development as the warden for Tullamore's St. Mary's Church. William inherited the farm from his father Benjamin Sargent, an early 19th century settler of Toronto Gore township, and the Sargent family were recognized as a pioneering family of the area.

For its extensive decoration and location at the crest of the valley land and in proximity to Airport Road, the Sargent Farmhouse has contextual value as a local landmark.

Heritage Attributes

The heritage attributes demonstrating the property's cultural heritage value or interest are its:

- Sargent Farmhouse in Neoclassical style with:
 - Load-bearing double wythe brick masonry on a fieldstone foundation built in stretcher course on the principal façade and the other walls are one-in-five American or common bond
 - Side gable main block with asymmetrical fenestration with a recessed main entrance with moulded architrave, sidelights, fanlight, Doric pilasters, and entablature marked by six-over-six windows with buff brick voussoirs and quoins on either side
 - Buff brick architectural detailing, including quoins, gauged or rubbed brick voussoirs, a frieze with circular forms below the eaves, and a diamond pattern below the gables
 - Projecting eaves and verges with plain soffit, fascia, and frieze with return eaves on the gable ends, and a single-stack brick chimney (south end wall)
 - Rear wing extending from the east wall of the main block with asymmetrical fenestration, open verandah along south façade, one-in-five American or common bond masonry on all walls, and gable roof with plain soffit, fascia, and frieze

7.0 IMPACT ASSESSMENT

7.1 Proposed Works

Bramcon is proposing to develop the property for single detached residential homes (APPENDIX B). To enable this design, Bramcon intends to:

- remove the driveshed and grain bin
- dismantle the rear wing and relocate the main block to a residential lot adjacent to Airport Road on Lot 8 of the draft plan and rehabilitate it as a residence with side additions and rear wing (APPENDIX C). Brick from the rear wing will be salvaged to create the breezeway or hyphen connecting the main block to a new rear wing

Work to complete the development will also require:

- clearing, grubbing, levelling, and excavation
- heavy equipment operation
- site servicing

Temporary workspaces and laydown areas may also be required to facilitate the movement and storage of equipment necessary for construction.

7.2 Impact Assessment

When determining the effects a development or site alteration may have on known or identified built heritage resources or cultural heritage landscapes, the MHSTCI *Heritage Resources in the Land Use Planning Process* advises that the following “negative impacts” be considered:

- *Destruction* of any, or part of any, significant heritage attributes, or features²
- *Alteration* that is not sympathetic, or is incompatible, with the historic fabric and appearance³
- *Shadows* created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden⁴
- *Isolation* of a heritage attribute from its surrounding environment, context or a significant relationship⁵
- *Direct or indirect obstruction* of significant views or vistas within, from, or of built and natural features⁶
- *A change in land use* such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces⁷
- *Land disturbances* such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource⁸

² This is used as an example of a *direct* impact in the MHSTCI *Info Bulletin 3*.

³ A *direct* impact in the MHSTCI *Info Bulletin 3*.

⁴ An *indirect* impact in the MHSTCI *Info Bulletin 3*.

⁵ An *indirect* impact in the MHSTCI *Info Bulletin 3*.

⁶ An example of a *direct* and *indirect* impact in the MHSTCI *Info Bulletin 3*. It is a *direct* impact when significant views or vistas within, from or of built and natural features are obstructed, and an *indirect* impact when “a significant view of or from the property from a key vantage point is obstructed”.

⁷ A *direct* impact in the MHSTCI *Info Bulletin 3*.

⁸ In the MHSTCI *Heritage Resources in the Land Use Planning Process* this refers only to archaeological resources but in the MHSTCI *Info Bulletin 3* this is an example of a *direct* impact to “provincial heritage property, including archaeological resources”.

Other potential impacts may also be considered such as encroachment or construction vibration (Figure 74). Historic structures, particularly those built in masonry, are susceptible to damage from vibration caused by pavement breakers, plate compactors, utility excavations, and increased heavy vehicle travel in the immediate vicinity. Like any structure, they are also threatened by collisions with heavy machinery, subsidence from utility line failures, or excessive dust (Randl 2001:3-6).

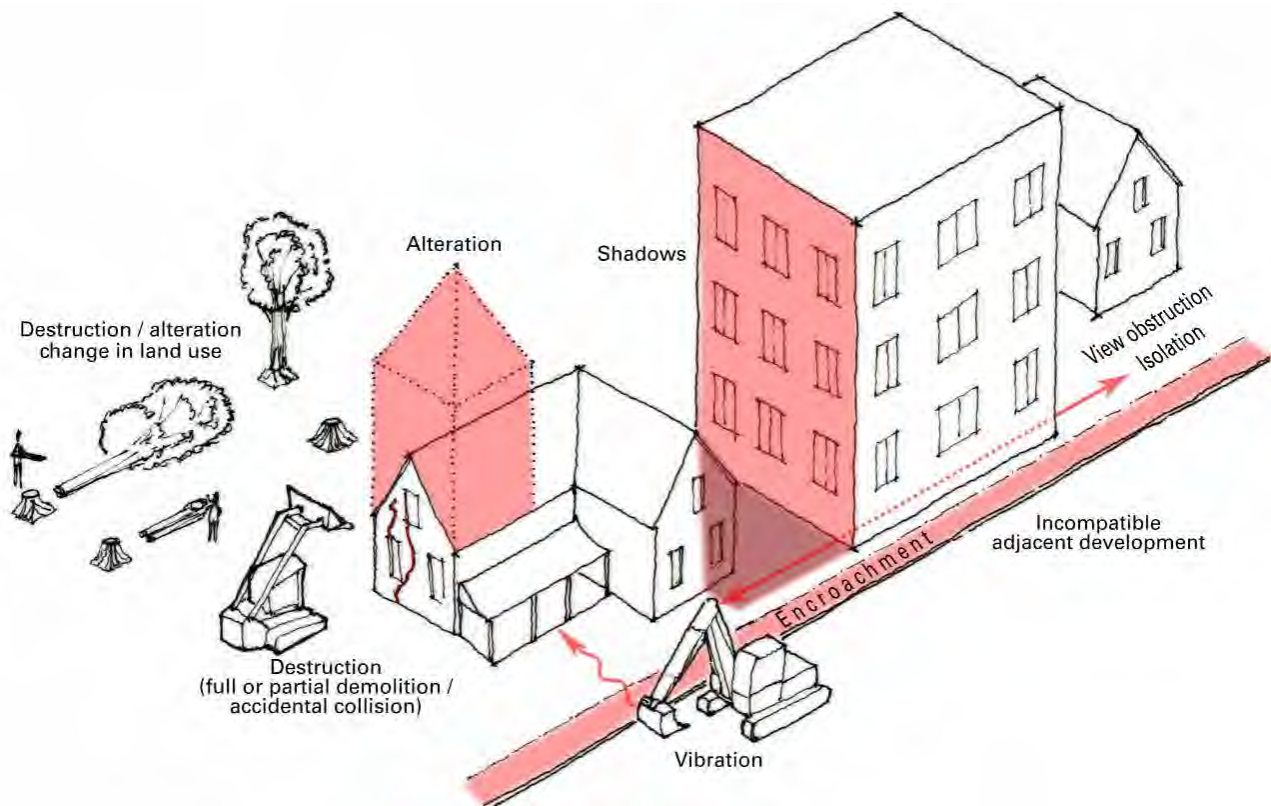


Figure 74: Examples of negative impacts.

Although the MHSTCI *Heritage Resources in the Land Use Planning Process* identifies types of impact, it does not advise on how to describe its nature or extent. For this the MHSTCI *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (1990:8) provides criteria of:

- **Magnitude** - amount of physical alteration or destruction that can be expected
- **Severity** - the irreversibility or reversibility of an impact
- **Duration** - the length of time an adverse impact persists
- **Frequency** - the number of times an impact can be expected
- **Range** - the spatial distribution, widespread or site specific, of an adverse impact
- **Diversity** - the number of different kinds of activities to affect a heritage resource

Since advice to describe magnitude is not included in the MHSTCI *Guideline* or any other Canadian guidance, the ranking provided in the ICOMOS *Guidance on Heritage Impact Assessments for Cultural World Heritage Properties* (ICOMOS 2011: Appendix 3B) is adapted here. While developed specifically for World Heritage Sites, it is based on a general methodology for measuring the nature and extent of impact to cultural resources in urban and rural contexts developed for the UK Highways Agency *Design Manual for Roads and Bridges* [DMRB]: *Volume 11*, HA 208/07 (2007: A6/11) (Bond & Worthing 2016:166-167) and aligns with approaches developed by other national agencies such as the Irish Environmental Protection Agency (reproduced in Kalman & Létourneau 2020:390) and New Zealand Transport Agency (2015).

The ICOMOS impact assessment ranking is:

- Major
 - Change to key historic building elements, such that the resource is totally altered. Comprehensive changes to the setting.
- Moderate
 - Change to many key historic building elements, such that the resource is significantly modified.
 - Changes to the setting of an historic building, such that it is significantly modified.
- Minor
 - Change to key historic building elements, such that the asset is slightly different.
 - Change to the setting of an historic building, such that it is noticeably changed.
- Negligible
 - Slight changes to historic building elements or setting that hardly affect it.
- No impact
 - No change to fabric or setting.

An assessment of potential impacts resulting from the proposed development on the property's CHVI and heritage attributes is presented in Table 4.

Table 4: Impact assessment of the proposed development of the property

Potential negative impact	Analysis of potential impact	Summary of potential impact <i>without</i> mitigation	Summary of impact <i>with</i> mitigation
<i>Destruction of any, or part of any, significant heritage attributes, or features</i>	<p>As currently proposed, the development includes dismantling the rear wing, which is identified as a heritage attribute. Without mitigation, this will result in destruction of a significant heritage attribute, a direct and moderate impact that is irreversible, site-specific, and will occur once over a short period of time. With mitigation, the impact on the CHVI and heritage attributes of the Sargent Farmhouse to enable adaptive reuse will be reduced to a minor impact that is irreversible, site-specific, and will occur once over a short period of time.</p> <p>The proposed development will also include demolition or dismantling and removal of the driveshed and grain bin. Destruction of these buildings will have no impact on the property's CHVI as they are not considered heritage attributes.</p>	<p>Moderate impact from dismantling the rear wing that is irreversible, site-specific, and will occur once over a short period of time</p> <p>No impact from demolition or dismantling and removal of the driveshed and grain bin.</p>	<p>By implementing the mitigation measures recommended in Section 7.4, the potential direct impact from destruction of the rear wing will be reduced to a minor, irreversible, and site-specific impact that will occur once over a short period of time.</p>
<i>Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance</i>	<p>Without mitigation, relocating the Sargent Farmhouse and adding a new rear wing and additions will potentially result in alteration that is not sympathetic, or is incompatible, with historic fabric or appearance of the building. This could range in magnitude from negligible to major impact, from reversible to irreversible, and site-specific to widespread change that will occur once over a short period of time. However, with mitigation, the impact on the CHVI and heritage attributes of the Sargent Farmhouse to enable adaptive reuse will be reduced to negligible and reversible changes to the building.</p>	<p>At worst case the development will result in major impact to the Sargent Farmhouse from incompatible alteration that is irreversible and widespread and will occur once over a short period of time.</p>	<p>By implementing the mitigation measures recommended in Section 7.4, the potential direct impact from alteration to the Sargent Farmhouse will be reduced to negligible, reversible, and site-specific change over a short period of time.</p>
<i>Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden</i>	<p>As currently proposed, the Sargent Farmhouse will be relocated to Lot 8 of the draft plan with Airport Road to its west, a stormwater management pond (Proudfoot Pond) to its north, a single detached low-rise residential lot to its east, and Lauderhill Road to its south. Therefore, the proposed development will not create any shadows that will alter the appearance of the Sargent Farmhouse.</p> <p>No natural features or planting were identified as heritage attributes of the property.</p>	No impact	No mitigation required

Potential negative impact	Analysis of potential impact	Summary of potential impact <i>without</i> mitigation	Summary of impact <i>with</i> mitigation
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	As described above in Section 0, there is no recognized connection between the Sargent Farmhouse and surrounding properties or environment beyond its proximity to the Tullamore community. As proposed the Sargent Farmhouse will remain within the lot boundaries of the former Sargent property. For these reasons, the proposed development will not isolate the heritage attributes of the Sargent Farmhouse from its surrounding environment, context or a significant relationship.	No Impact	No mitigation required
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	The proposed relocation of the Sargent Farmhouse closer to Airport Road will enhance the views of the building from Airport Road.	No impact	No mitigation required
A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces	The proposed development will result in a change in land use, but this has been approved as part of the Secondary Plan Area 49. As proposed, the development will adaptively reuse the Sargent Farmhouse as a residence, which is in accordance with the designated land use of the property.	No impact	No mitigation required
Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource.	Without mitigation, the proposed development to relocate the Sargent Farmhouse will potentially result in land disturbances such as excessive vibration or dust that may negatively affect the building. This could range in magnitude from negligible to major impact, from reversible to irreversible, and site-specific to widespread change that will occur continually over a short period of time. However, with mitigation, the impact on the CHVI and heritage attributes of the Sargent Farmhouse from land disturbances will be avoided, resulting in no impact.	At worst case the development will result in major impact to the Sargent Farmhouse from land disturbances that is irreversible and widespread and will occur continually over a short period of time.	By implementing the mitigation measures recommended in Section 7.4, the potential indirect impact to the Sargent Farmhouse from land disturbances will be avoided.

7.2.1 Results of Impact Assessment

The preceding assessment concludes that without mitigation the proposed development of the property will result in:

- potential major negative impact to the Sargent Farmhouse from incompatible alteration and land disturbances.
- potential moderate negative impact to the Sargent Farmhouse through dismantling the rear wing

7.3 Consideration of Alternatives and Mitigation and Conservation Recommendations

Since the property was evaluated to have CHVI and will be impacted by the proposed development, Golder has identified four possible options to reduce or avoid the negative effects. These are informed by the objectives included in Section 4.10 of the City's *Official Plan* and Section 6.1 of the Secondary Plan Area 49 (Vales of Castlemore North) and are:

- 1) "Do Nothing": preserve and retain the property in its current form and continue the current and historic land use
- 2) Rehabilitate the Sargent Farmhouse for a new residential use on a reduced lot within the new development.
- 3) Relocate the Sargent Farmhouse to new residential lot and rehabilitate for a new residential use

The advantages and disadvantages of each option are presented in the following subsections, then analysed for feasibility. It is only after an option is determined to be not feasible that the next preferred approach is considered.

7.3.1 Options Analysis

7.3.1.1 Option 1: "Do Nothing" - Preserve and retain the property in its current form and continue the current and historic land use

Under this option, the Sargent Farmhouse, driveshed and grain bin would be preserved and retained unaltered in their original location within the current parcel and continue their current and historic use.

Advantages: This is generally the most preferred of conservation options since —through the principle of minimal intervention— it has the highest potential for retaining all the structure's heritage attributes and retains evidence from all phases in the history of the property. This option also involves the least amount of planning investment, while at the same time preserving the property's high level of heritage integrity.

Disadvantages: Preservation is not a "do nothing" approach: to ensure the buildings do not suffer from rapid deterioration, repairs must be carried out and a systematic monitoring and repair program will be required for all exteriors and interiors. As identified in the MTCS *Eight Guiding Principles* (2007), maintenance is required to avoid costly conservation projects in the future. Development surrounding the property would be significantly constrained and it would be difficult to attract a future buyer for the property. The property is also not considered a cultural heritage landscape and has been zoned for development.

Feasibility: This option is not feasible because:

- High expense to stabilize, preserve and maintain the Sargent Farmhouse, driveshed and grain bin
- Challenges to long-term sustainability since potential buyers would have to invest extensive funds to preserve and maintain all buildings on the property
- The property has been approved for new development

7.3.1.2 **Option 2: Rehabilitate the Sargent Farmhouse for adaptive re-use on a reduced lot within the new development**

Under this option, the driveshed and grain bin would be demolished, and the Sargent Farmhouse would be retained in its current form (i.e., main block and rear wing) and rehabilitated on a reduced lot surrounded by the new development.

Advantages: This option would conserve all the property's identified heritage attributes in their original location, while rehabilitation would enable adaptive re-use of the Sargent Farmhouse. As outlined in the Canada's Historic Places *Standards and Guidelines*, rehabilitation and re-use can "revitalize" a historic place. Not only are structures repaired and some cases restored when adapted for new uses, they are regularly maintained and protected, and heritage attributes understood, recognized and celebrated. Rehabilitation projects are generally more cost-effective, socially beneficial and environmentally sustainable than new builds, even though they may require more specialized planning and trades to undertake.

Disadvantages: Reducing the lot size would constrain the surrounding development, requiring substantial change to the proposed plan. Retaining the Sargent Farmhouse on a reduced lot within the new development could potentially impact its visibility from Airport Road and its contextual value as a local landmark should changes to the proposed plan include construction between the Sargent Farmhouse and Airport Road. This would not be in keeping with the objectives of the City's *Official Plan*, which encourages the public awareness of Brampton's heritage and conservation of cultural heritage resources for the enjoyment of existing and future generations.

Feasibility: This option is not feasible because:

- Substantial change to the proposed plan
- Potential impacts to visibility of Sargent Farmhouse from Airport Road and its contextual value as a local landmark
- Reduced area that can be developed

7.3.1.3 **Option 3: Relocate the Sargent Farmhouse to new residential lot and rehabilitate for a new residential use**

Under this option, the driveshed and grain bin would be demolished, the rear wing dismantled to salvage its brick, and the main block of the Sargent Farmhouse moved to a lot at the northwest corner of the proposed subdivision (Lot 8 on the draft plan) and rehabilitated for residential use with a new wing and side additions (APPENDIX B and APPENDIX C).

Advantages: While its legibility as a farmhouse would be reduced, a rehabilitated Sargent Farmhouse relocated to a new lot within the development would have a "progressive authenticity" (Jerome 2008:4) where its key heritage attributes (i.e., main block) are conserved, it retains a physical connection with its original parcel, and it is

visible to the public and provides an opportunity to increase understanding and appreciation of the Town's architectural heritage. It would also enable the property to be fully developed as a new community, sustainably integrating the Sargent Farmhouse through retention of its "embodied energy". While it would involve loss of the rear wing, this feature would be partially reconstituted as a breezeway or hyphen with salvaged brick. Additionally, though a heritage attribute, the construction of the rear wing is not reflective of the craftsmanship of the main block, and stands on a minimal foundation.

Disadvantages: Relocating the Sargent Farmhouse would involve dismantling and only partially reconstituting a heritage attribute (the rear wing), and places the main block at risk of accidental damage during the relocation operation, or total loss due to accident or unforeseen structural issues discovered during the relocation process. It is also in direct opposition to the MHSTCI *Guiding Principle* for "original location" which states that buildings should not be moved "unless there is no other means to save them since any change in site diminishes heritage value considerably".

Feasibility: This option is feasible because:

- It sustainably conserves the CHVI and key heritage attributes of the Sargent Farmhouse (the main block), while also enabling full development of the property
- It retains most of the building's embodied energy and encourage public understanding and appreciation of the Sargent Farmhouse within a contemporary setting
- Despite the MHSTCI *Guiding Principle* for "original location", significant structures across North America have been frequently relocated, both historically and in the contemporary period, and under the US National Register for Historic Places this is acceptable when "a building or structure removed from its original location but which is primarily significant for architectural value, or which is the surviving structure most importantly associated with a historic person or event" (Sprinkle 2014:174). As outlined in the SCHVI above, this applies to the Sargent House.

7.4 Results of Options Analysis & Recommendations

The option that best balances the economic viability of the property and heritage conservation, as well as the long-term sustainability of the Sargent Farmhouse as a valued historic structure with intact heritage attributes is:

Option 3: Relocate and rehabilitate the Sargent Farmhouse as a residence on a new lot in the subdivision.

To achieve this option will require the following short-term, medium-term, and long-term actions:

Short-term Conservation Actions (Planning & Pre-construction Phase)

- compile a Heritage Building Protection Plan (HBBP) to stabilize and conserve the Sargent Farmhouse in its current location until the proposed development is initiated
- continue use of the Sargent Farmhouse as a rental unit until the proposed development is initiated; if this is not feasible, include measures in the HBBP to mothball the structure until the relocation effort can begin
- Establish a regular inspection and monitoring protocol until the proposed development is initiated
- Prepare a Heritage Conservation Plan (HCP) detailing the conservation approach (i.e., preservation, rehabilitation, or restoration), the required actions and trades depending on approach, and an implementation schedule to conserve the Sargent Farmhouse prior to, during, and after the relocation effort

Medium-term Conservation Actions (Construction Phase)

- Implement site control and communication
 - Clearly mark on project mapping the location of the Sargent Farmhouse and communicate this to project personnel prior to mobilization.
 - Where possible prevent heavy equipment traffic from being routed in the vicinity of the Sargent Farmhouse to minimize potential effects from vibration.
- Create physical buffers
 - Erect temporary fencing or physical barriers around the Sargent Farmhouse to prevent accidental collision with the structure
- Manage fugitive dust emissions
 - Draft a fugitive dust emissions plan following practices outlined in the *Ontario Standards Development Branch Technical Bulletin: Management Approaches for Industrial Fugitive Dust Sources* (2017).
- Monitor construction within a 10-m zone around the Sargent Farmhouse for vibration exceedance. This monitoring zone should be communicated to all site personnel.
 - Continuous ground vibration monitoring should be carried out near the foundation of the Sargent Farmhouse prior to relocation using a digital seismograph. The instrument should also be equipped with a wireless cellular modem for remote access and transmission of data. The installed instrument should be programmed to record continuously, providing peak ground vibration levels at a specified time interval (i.e., 5 minutes) as well as waveform signatures of any ground vibrations exceeding a threshold level that would be determined during monitoring. The instrument should be programmed to provide a warning should the peak ground vibration level exceed the guideline limits specified. In the event of either a threshold trigger or exceedance warning, data would be retrieved remotely and forwarded to designated recipients.

Long-term Conservation Actions

- Designate the Sargent Farmhouse and its new curtilage under Part IV of the *Ontario Heritage Act*;
- Officially name the building “The Sargent Farmhouse” and install a commemorative plaque on the new parcel in a location and manner that will be visible from public rights of way but will not impact any heritage attributes of the building

8.0 SUMMARY STATEMENT

Following applicable federal, provincial, and municipal guidance combined with analysis of research sources and field investigations, this HIA has assessed the potential impacts of the proposed development on the property. It has determined that without mitigation the proposed development will potentially result in a variety of adverse impacts ranging in magnitude from negligible to major, which are summarized in Section 7.2.1. To avoid or reduce these adverse effects, Golder has recommended that Bramcon implement the conservation or mitigation strategies, outlined in Section 7.4.

If Bramcon commits to implement these mitigation strategies, Golder recommends that the City:

- ***approve the development as currently proposed.***

9.0 REFERENCES

Blumenson, John

- 1981 *Identifying American Architecture: A Pictorial Guide to Styles and Terms, 1600-1945*. Norton, New York.
 1990 *Ontario Architecture: A Guide to Styles and Building Terms, 1784 to Present*. Fitzhenry & Whiteside, Toronto.

Bond, Stephen and Derek Worthing

- 2016 *Managing Built Heritage: The Role of Cultural Heritage Values and Significance*. Wiley Blackwell, Chichester, UK.

Brown, George

- 1846 Toronto City and the Home District Directory 1846-7. Toronto, ON: George Brown. [accessed 11 February 2021]. <http://static.torontopubliclibrary.ca/da/pdfs/541681.pdf>

Brosseau, Mathilde

- 1980 *Gothic Revival in Canadian Architecture*. Canadian Historic Sites: Occasional Papers in Archaeology and History, No. 25. Parks Canada, Ottawa.

Canada's Historic Places

- 2010 *Standards and Guidelines for the Conservation of Historic Places in Canada*. Second Edition. Canada's Historic Places, Ottawa.

Chapman, Lyman John and Donald F. Putnam

- 1984 *The Physiography of Southern Ontario*. 3rd ed. Ontario Geological Survey Special Volume 2. Ontario Ministry of Natural Resources, Toronto.

Clark, Kate

- 2001 *Informed Conservation: Understanding Historic Buildings and their Landscapes for Conservation*. English Heritage, London.

City of Brampton

- 2006 Official Plan. [accessed 9 July 2021]. https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf
 2020 Chapter 47, Highway 427 Industrial Secondary Plan. [accessed 9 July 2021]. <https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA47%20Highway%20427%20Industrial%20-%20Partially%20In%20Effect.pdf>

Dilse, P, Stewart P, Robb G.

- 2008 Heritage Impact Assessment of William and Frances Sargeant Farmstead, 11185 Airport Road, Brampton, Ontario (Part of Lot 16, Concession 7, Northern Division, Toronto Gore Township). Prepared for Care Carberry, Monarch Corporation and the City of Brampton.

Downing, A.J.

- 1969 The Architecture of Country Houses. Dover Publications, Inc., New York.

Ennals, Peter

- 1968 The Development of Farm Barn Types in Southern Ontario During the Nineteenth Century. Unpublished MA dissertation, University of Toronto, Toronto.
 1972 Nineteenth-Century Barns in Southern Ontario. *Canadian Geographer* 16(3): 256-270.

ERA Architects

- 2020 Historic Farmsteads Drive a New Rural Cultural Economy. <http://www.eraarch.ca/2020/historic-farmsteads-drive-a-new-rural-cultural-economy/>

Fram, Mark

1993 *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation*. Third edition. Boston Mills Press, Erin, Ontario.

Gentilcore, R. Louis

1969 Lines on the land-crown surveys and settlement in Upper Canada. *Ontario History* 61.1:57-73.

Gentilcore, R. Louis, and Kate Donkin

1973 *Land surveys of southern Ontario: an introduction and index to the field notebooks of the Ontario land surveyors 1784-1859*. Cartographica Monograph No. 8. BV Gutsell, Department of Geography, York University, Toronto.

Government of Ontario

2020 *Provincial Policy Statement* (2020). Ministry of Municipal Affairs and Housing, Toronto. [accessed 7 May 2020] <https://www.ontario.ca/page/provincial-policy-statement-2020>

1990 *The Planning Act* R.S.O. 1990, c. P.13. [accessed 2 June 2020].
<https://www.ontario.ca/laws/statute/90p13>

1990b *Ontario Heritage Act*, R.S.O. 1990, c. O.18. [accessed 2 June 2020].
<https://www.ontario.ca/laws/statute/90o18>

Glassie, Henry

1974 Barn Building in Otsego County, New York. *Geoscience and Man* V(10):177-235.

Historic England

2016 *Understanding Historic Buildings: A Guide to Good Recording Practice*. English Heritage, Swindon, UK.
Historic England

Hoskins, W.G.

2013 *The Making of the English Landscape*. Little Toller Books, Toller Fratrum, Dorset UK.

Huber, Gregory D.

2017 *The Historic Barns of Southeastern Pennsylvania: Architecture & Preservation, Built 1750-1900*. Schiffer Books, Atglen, PA.

Hubka, Thomas C.

2013 *Houses without Names: Architectural Nomenclature and the Classification of America's Common Houses*. University of Tennessee Press, Knoxville.

International Council on Monuments and Sites (ICOMOS)

1999 *Charter on the Built Vernacular Heritage*. Accessed online, 10 June 2020:
https://www.icomos.org/images/DOCUMENTS/Charters/vernacular_e.pdf

1965 *International Charter for the Conservation and Restoration of Monuments and Sites (The Venice Charter 1964)*. ICOMOS, Charenton-le-Point, France.

International Council on Monuments and Sites (ICOMOS) Australia

2013 Australia ICOMOS Charter for Places of Cultural Significance, The Burra Charter. Accessed online, January 2020: <https://australia.icomos.org/publications/charters/>

International Council on Monuments and Sites (ICOMOS) Canada

1983 Appleton Charter for the Protection and Enhancement of the Built Environment. ICOMOS Canada, Ottawa.

Kalman, Harold

2014 *Heritage Planning: Principles and Process*. Routledge, New York.

1979 *The Evaluation of Historic Buildings*. Parks Canada.

Kalman, Harold and Marcus Létourneau

2020 *Heritage Planning: Principles and Process*. Routledge, New York.

Library and Archives Canada

2021 Canadian Censuses. [accessed 2 July 2021]. <https://www.bac-lac.gc.ca/eng/census/Pages/census.aspx>

Linley, Stokes and Smith

1967 Early Architecture of the Town and Township of Niagara. The Niagara Foundation: Niagara-on-the-lake.

Lynch, John

1874 Directory of the County of Peel for 1873-74. Brampton ON: Brampton Progress Chromatic Print House. [accessed 11 February 2021]. <https://static.torontopubliclibrary.ca/da/pdfs/37131055372924d.pdf>

McGill University

n.d. County Atlas Project: Peel County Map. [accessed 02 July 2021]. <https://digital.library.mcgill.ca/Countyatlas/searchmapframes.php>

McIlwraith, Thomas F.

1999 Looking for Old Ontario: Two Centuries of Landscape Change. University of Toronto Press, Toronto.

Ministry of Heritage, Sport, Tourism and Culture Industries (Ontario)

2010 Standards and Guidelines for the Conservation of Provincial Heritage Properties – Standards & Guidelines. Ministry of Heritage, Sport, Tourism and Culture Industries, Toronto.

2014 Standards and Guidelines for the Conservation of Provincial Heritage Properties: Heritage Identification & Evaluation Process. Ministry of Heritage, Sport, Tourism and Culture Industries, Toronto.

2007 InfoSheet: Eight Guiding Principles in the Conservation of Built Heritage Properties. Ministry of Heritage, Sport, Tourism and Culture Industries, Queen's Printer for Ontario.

2006 Ontario Heritage Tool Kit: Heritage Property Evaluation – A Guide to Listing, Researching, and Evaluating Cultural Heritage Property in Ontario Communities. Ministry of Heritage, Sport, Tourism and Culture Industries, Toronto.

Ontario Heritage Tool Kit: Heritage Resources in the Land Use Planning Process. Ministry of Heritage, Sport, Tourism and Culture Industries, Toronto.

Ontario Heritage Tool Kit: Designating Heritage Properties: A Guide to Municipal Designation of Individual Properties Under the Ontario Heritage Act. Ministry of Heritage, Sport, Tourism and Culture Industries, Toronto.

Ontario Heritage Tool Kit: Heritage Conservation Districts: A Guide to Designation Under the Ontario Heritage Act Ministry of Heritage, Sport, Tourism and Culture Industries, Toronto.

Mitchell & Co.

1866 *General Directory for the City of Toronto and Gazetteer of the Counties of York and Peel for 1866*. Toronto, ON: Mitchell & Co. [accessed 11 February 2021]. <http://static.torontopubliclibrary.ca/da/pdfs/1616141.pdf>

New Zealand Transport Agency

2015 *Historic Heritage Impact Assessment Guide for State Highway Projects*. New Zealand Government, Wellington.

Ontario Council of University Libraries

n.d. Historical Topographic Map Digitization Project: Bolton Sheets. [accessed 2 July 2021]. <https://ocul.on.ca/topomaps/collection/>

Ontario Land Registry Access

2021 Abstract Index Books, Land Registry Office 43 (Peel). [accessed 21 June 2021].
<https://www.onland.ca/ui/43/books/42317/viewer/705313593?page=1>

Parks Canada Agency

1980 *Canadian Inventory of Historic Building Exterior Recording Training Manual*. Parks Canada, Ottawa.

Peel Art Gallery, Museum and Archives (PAMA)

2014 Heritage Property Research Guide. [accessed 1 February 2021].
<https://pama.peelregion.ca/en/pamascollection/resources/Heritage%20Property%20Research%20Guide%20-%20Draft%2019%20-%20Final.pdf>

Pope, J.H.

1877 *Illustrated Historical Atlas of the County of Peel*. Walker & Miles, Toronto.

Randl, Chad

2001 Temporary Protection No. 3: Protecting a Historic Structure during Adjacent Construction. U.S. Department of the Interior National Parks Service Cultural Resources Tech Notes.
<http://www.nps.gov/tps/how-to-preserve/tech-notes/Tech-Notes-Protection03.pdf>. Last Accessed: 20 November 2015.

Rayburn, Alan.

1997 *Place Names of Ontario*. University of Toronto Press, Toronto.

Roswell, Henry

1850 *City of Toronto and County of York Directory*. Roswell & Thompson Printers, Toronto [accessed 11 February 2021]. <https://static.torontopubliclibrary.ca/da/pdfs/1643688.pdf>

Simpson, Pamela

1989 Cheap, Quick, and Easy: The Early History of Rockfaced Concrete Block Building. *Perspectives in Vernacular Architecture* 3:108-118.

Sprinkle, John R.

2014 *Crafting Preservation Criteria: The National Register of Historic Places and American Historic Preservation*. Routledge, New York.

Stothers, David and Richard Yarnell

1977 An agricultural revolution in the lower Great Lakes. In *Geobotany*, R. C. Romans (ed.), pp. 209-232. Plenum, New York.

Tavender, GS

1984 *From This Year Hence: A History of the Township of Toronto Gore, 1818-1982*. Brampton ON: The Bryant Press.

The Conservation Studio

2004 *Measuring change in conservation areas: A research report for English Heritage*. The Conservation Studio, Cirencester, UK. Available online: <https://goo.gl/MXTqaK>.

Town of Caledon

2003 *Criteria for the Identification of Cultural Heritage Landscapes*. [accessed 11 February 2021].
https://www.caledon.ca/en/living-here/resources/Documents/recreation-leisure/Criteria_for_the_ID-of_Cultural_Heritage_Landscapes.pdf

Tremaine, George

1859 *Tremaine's Map of the County of Peel, Canada West*. George R. and George M. Tremaine, Toronto

UK Highways Agency

2007 Design Manual for Roads and Bridges: Volume 11, HA 208/07. The Stationary Office, London.

University of Toronto Ontario Historical County Maps Project

n.d. Peel County Map. [accessed 02 July 2021].

<https://utoronto.maps.arcgis.com/apps/webappviewer/index.html?id=8cc6be34f6b54992b27da17467492d2f>

US Department of Agriculture

1964 History of Yard Lumber Size Standards. Forest Products Laboratory, Forest Service, Madison Wisconsin
https://www.fpl.fs.fed.us/documnts/misc/miscpub_6409.pdf

Visser, Thomas Durant

1997 Field Guide to New England Barns and Farm Buildings. University Press of New England, Hanover.

Vlach, John Michael

2003 Barns: Norton/Library of Congress Visual Sourcebooks in Architecture, Design and Engineering. WW Norton & Company, New York.

Walton, George

1837 The City of Toronto and the Home District Commercial Directory and Register with Almanack and Calendar for 1837. Toronto, Upper Canada: T. Dalton and W.J. Coates. [accessed 11 February 2021].
<https://static.torontopubliclibrary.ca/da/pdfs/706129.pdf>

Watt, David

2010 *Surveying Historic Buildings*. Second Edition. Donhead, Shaftsbury, UK.

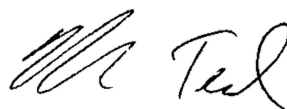
Signature Page

We trust that this report meets your current needs. If you have any questions, or if we may be of further assistance, please contact the undersigned.

Golder Associates Ltd.



Ragavan Nithiyanantham, MA, CAHP
Cultural Heritage Specialist/ Archaeologist



Michael Teal, MA
Associate/ Senior Archaeologist

RN/HC/MT/AM/ly/ca

[https://golderassociates.sharepoint.com/sites/146406/project files/6 deliverables/21466860-1000-r01-rev1 oct 20 2021-bramcon 11185 airportrd hia.docx](https://golderassociates.sharepoint.com/sites/146406/project%20files/6%20deliverables/21466860-1000-r01-rev1%20oct%202021-bramcon%2011185%20airportrd%20hia.docx)

Golder and the G logo are trademarks of Golder Associates Corporation

APPENDIX A

Archival Records

SHEET NO. 1
 LOT NO. 16
 CON. NO. 7
 RANGE NO.

TOWNSHIP OF TORONTO CORP.

SHEET NO. 1
 LOT NO. 16
 CON. NO. 7
 RANGE NO.

PLANS	WATERSHED	DATE OF SURRENDER	DATE OF ASSIGNMENT	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
2455	WATERSHED	17 May 1866	18 May 1866	William Sargent, et ux	William Carberry		1,750.00	Wg
58	Rebate	22 Feb. 1870	26 Feb. 1870	William Carberry	William Sargent	1AC		Part
89	S.E.S.	21 Feb. 1870	26 Feb. 1870	William Sargent, et ux	School Trustees	1AC	160.00	Part
118	Will	20 Mar. 1871	10 May 1871	Thomas Thompson	Frances Thompson, et al			Part of O.L.
328	S.W.	15 Feb. 1875	15 Mar. 1875	William Sargent	William Sargent			Discharge No. 9121 11/2/18
336	S.W.	26 May 1875	7 June 1875	William Sargent	William Sargent			Discharge No. 11532 11/2/18
371	Will	28 June 1886	25 Sep. 1886	William Sargent	Frances Sargent, et al	100ac		Wg & O.L.
1180	Deed	15 Apr. 1897	15 Apr. 1897	Edney N. Thompson	Thomas Thompson		1,000.00	Wg of 3/4 & O.L.
1336	WATERSHED	13 Apr. 1897	9 May 1897	Thomas Thompson, et ux	George Corbett	50	600.00	Wg of 5/8 & O.L.
1678	Pro. Will	20 Sep. 1899	31 Oct. 1899	Thomas Thompson	Margaret J. Thompson, for Life Thru to be sold.			
1704	WATERSHED	24 Mar. 1900	24 Mar. 1900	George Workall	William Wilson, et al Exors. of Thomas Thompson Est.	50ac	500.00	Discharge No. 11384
1857	S.E.S.	10 Nov. 1903	27 Nov. 1903	William Carberry, et ux	Edward G. Carberry	50	1.00	3/4 of 3/4
2047	WATERSHED	16 Apr. 1908	16 Apr. 1908	Edward Carberry, et ux	William Carberry	50	1,500.00	Wg June 10, 1929
2069	WATERSHED	16 Apr. 1908	16 Apr. 1908	Edward Carberry, et ux	Agnes M. Macdonald	100	2,000.00	Wg June 10, 1929
2070	S.E.S.	17 Mar. 1908	18 Apr. 1908	Ans J. Gray, et al Exors. of Frances Sargent Est.	Edward Carberry	100	4,300.00	Wg
2281	S.W.	6 Apr. 1910	6 Apr. 1910	Agnes M. Macdonald	Edward Carberry			Discharge No. 13668 June 10, 1929
2377	S.W.	25 Apr. 1910	25 Apr. 1910	William Carberry	Edward Carberry			Discharge No. 2369 June 10, 1929
2536	WATERSHED	1 Apr. 1915	1 Apr. 1915	William G. Sanderson, et ux	John Macdonald		2,000.00	3/4 of 3/4 Sep. 6, 1934
2597	WATERSHED	1 Apr. 1915	1 Apr. 1915	William G. Sanderson, et ux	John Macdonald		300.00	3/4 of 3/4 Apr. 24, 1935
2538	S.E.S.	1 Apr. 1915	1 Apr. 1915	Edward G. Carberry, et ux	William G. Sanderson		3,800.00	3/4 of 3/4
2797	S.W.	25 Mar. 1924	25 Mar. 1924	John Macdonald	William G. Sanderson			Discharge No. 2356 Sep. 6, 1934
2798	S.W.	2 Apr. 1924	6 Apr. 1924	John Macdonald	William G. Sanderson			Discharge No. 2357 Apr. 24, 1935
3154	Annuity Deed	9 Apr. 1925	10 Apr. 1925	Edward Carberry	Edward S. Carberry	100ac	1,000.00	Wg \$250 yrlly annuity to Grantor
3248	WATERSHED	25 Nov. 1927	9 Dec. 1927	Klein I. Boyd & James Boyd	Katherine Wilson & Ella M. Macdonald	50ac	1,500.00	3/4 of 3/4 11/7/18
3253	Grant	25 Nov. 1927	3 Feb. 1928	William G. Sanderson, et ux	Klein I. Boyd & James Boyd, as Joint Tenants	50ac	1,000.00	3/4 of 3/4
3433	WATERSHED	25 Nov. 1927	26 Feb. 1928	Klein I. Boyd, et ux	John S. Macdonald	50ac	100.00	3/4 of 3/4 11/2/18
3438	WATERSHED	13 Feb. 1928	4 Mar. 1928	James Boyd, et ux	Samuel Macdonald	50ac	711.00	3/4 of 3/4 11/2/18
3491	WATERSHED	1 Apr. 1929	15 Apr. 1929	Mary E. Macdonald, et al	Klein I. Boyd, et ux	50ac	300.00	3/4 of 3/4 11/2/18
3292	Grant	1 Apr. 1929	15 Apr. 1929	Klein I. Boyd, et ux	Mary E. Macdonald & John Macdonald, as Joint Tenants	50ac	6,000.00	3/4 of 3/4
3571	S.W.	29 Mar. 1930	15 Apr. 1929	Samuel Macdonald	John S. Macdonald & Klein I. Boyd			Discharge No. 3450 11/2/18
3581	S.W.	15 Mar. 1930	15 Apr. 1929	John S. Macdonald	Klein I. Boyd & James Boyd			Discharge No. 3555 11/2/18

NUMBER	INSTRUMENT	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
4346	D.M.	20 May 1940	Oct. 1940	Elise L. Boyd, James Boyd	Mary E. McFerron, John McFerron			discharge No. 3291 4/10
3367	Grant	6 June 1941	11 June 1941	John McFerron	Lee Shortall	50ac	1.00	sq. of 24
3368	Grant	21 July 1941	5 Sept. 1941	Lee Shortall, et al.	John McFerron	50ac	1.00	sq. of 24
362	By-Law (1941)	15 Nov. 1940	18 Dec. 1940	Township of Toronto Corp. re: Urban Development area under Planning Act 1946	all & O.L.			
4033		12 May 1950	9 June 1950	Edward S. Carberry, et al.	Sarah J. Lyons et al. 1949. et	100ac	7,000.00	sq. & Ch. 4/10/53
					James Lyons Estate; Sarah J. Lyons & William J. B. Lyons, personally			
4305		1 May 1952	29 May 1952	Mary E. Arnott Exrx. of Elizabeth M. Hunter Est.	Mary E. Arnott		1,000.00	assigning All interest of Elizabeth M. Hunter in No. 2248, Consents (O.G.) attached.
4308		12 June 1952	18 June 1952	Edward S. Carberry	Sarah J. Lyons & William J. B. Lyons Personally & heirs of James Lyons Est.	100ac	12,000.00	sq. & Ch. 10/1/54
4310	D.M.	12 June 1952	18 June 1952	Sarah J. Lyons, et al.	Edward S. Carberry			discharge No. 1033 4/10/53
4326	Grant	14 May 1955	4 July 1955	John J. McFerron	William B. Ball & Leslie J. Ball, as Joint Tenants	1,000.00		Part 24, Cons at S. angle of sq. of 24 Thence N24° 15' 30" E x 324.21' x 324.21' x 10.60' to 3300' Thence S85° 50' E to 3300'
4728	D.M.	20 Nov. 1952	7 June 1953	Elise L. Boyd & Mary E. Arnott	John McFerron			discharge No. 1248 10/8/78
4729		1 June 1951	7 June 1951	John McFerron	William McDonnell	1,000.00		sq. of 24 except No. 4506 11/12/79
104750.1	Cert.	18 June 1957	20 June 1957	Treasurer's Consent	Mary McFerron Est.			sq. of 24 except Part 1248 12/1/95
4731		1 June 1951	20 June 1951	William B. Ball & Leslie J. Ball	George S. Hutchinson	2,000.00		sq. of 24 except No. 4506 11/12/79
4776	MORTGAGE	12/1/57	25/1/57	John J. McFerron	Heirs of John J. McFerron	1,900.00		sq. of 24 except No. 4506 11/12/79
5077	Notice of Expropriation	27/1/57	23/1/57	Edward S. Carberry	Edward S. Carberry	0.95/100		Trusted of Union School - 0.03/100 11/1/57
5368	Grant	22 Nov 1962	14 Dec 1962	The Public School Board of the Township of Toronto	William W. Bellard & Violet M. Bellard as joint tenants	0.95/100		Part 1/2 - sketched attached - 1000m. intersection of road & 1/2 mile from Union School & 1/2 mile from 1000m. line 15016 Thence 165° 15' 49" E x 243.56' x 352.94' 10/1/79
					William W. Bellard & Violet M. Bellard			10/1/79 14/1/79
					William W. Bellard & Violet M. Bellard			10/1/79 14/1/79

[illegible]

SHEET NO. 2
 LOT NO. 16
 CON. NO. 7
 RANGE NO.

TOWNSHIP OF TORONTO CORP.

SHEET NO. 2
 LOT NO. 16
 CON. NO. 7
 RANGE NO.

NUMBER	INTEREST	DATE OF INSTRUMENT	DATE OF REGISTRATION	GRANTOR	GRANTEE	AREA	CONSIDERATION	REMARKS
1462985	Grant	21 Apr 1940	28 May 1940	John H. Thomas	John H. Thomas & Marie J. Thomas, as joint tenants	0.152	2.00	Re No 5248
1518415	MORTGAGE	24 Aug 1940	30 Oct 1940	John J. Bell & Thero O. Bell	The Bank of Montreal	2.100	Re No 5248	holder
1520210	Grant	5 Oct 1940	7 Oct 1940	Anders Hilberg	Anders Hilberg	2.000	Re No 5248	holder
1521025	Grant	11 Apr 1940	16 Oct 1940	John F. V. Thomas	John F. V. Thomas	2.000	Re No 5248	holder
1541615	Grant	5 June 1941	4 June 1941	John T. McFarlane	Peter Guarnodolati, Michel Guarnodolati, Francesco Guarnodolati	2.000	Re No 5248	holder
438-1604	(Refugee Plan)			Part 1, (25.00 ac)	6678			
438-1603	(Refugee Plan)			Part 1, (0.3 ac)	6678			
3406100	MORTGAGE	24 Apr 1943	21 Apr 1943	John H. Thomas	Shoppers Holdings	2.000	Re No 5248	holder
3406100	MORTGAGE	24 Apr 1943	21 Apr 1943	John T. Thomas	Tombs Limited	2.000	Re No 5248	holder
3406100	MORTGAGE	24 Apr 1943	21 Apr 1943	Shoppers Holdings	Victoria and Gay	2.000	Re No 5248	holder
3406100	MORTGAGE	24 Apr 1943	21 Apr 1943	Tombs Limited	Food Company	2.000	Re No 5248	holder
3444100	Grant	5 Nov 1946	30 Nov 1946	The Bank of Nova Scotia	Leslie J. Bell	2.000	Re No 5248	holder
423789	Grant	16 Feb 1947	17 Apr 1947	Victoria and Mary Church	John H. Thomas	2.000	Re No 5248	holder
425676	Grant	25 Mar 1977	4 April 1977	Canada Tax Act	Donald C. W. Donald	2.000	Re No 5248	holder
468087	MORTGAGE	30 Dec 1977	24 Jan 1978	John J. Thomas, and John J. Thomas	The Royal Bank of Canada	2.000	Re No 5248	holder
538492	MORTGAGE	4 Dec 1977	21 Dec 1977	John H. Thomas, and John J. Thomas	The Royal Bank of Canada	2.000	Re No 5248	holder

Toronto One

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION \$/C	LAND AND REMARKS
587616	Grant	21-08-81	21-08-81	THOMAS John W. THOMAS Eric J.	THE Royal Bank of Canada	150000	Part 1/2 (0.95 acres) corner 146288 except p.p. in Comm. 10.00' N.E. of sly. l. ph 1/2. Comm. 10.57.46 N.E. of sly. l. Thru N.E. 300' N.W. 181.80' N.E.W. 300' N.E. 121.80' 16 p.p. sketched attached.
Discharged by # 250046	ASL Dep. Land Reg. 145						
608524	Grant	05-05-82	05-05-82	CARBERRY Edward S. CARBERRY Hattie J. 2nd part	CARBERRY Edward S. CARBERRY Hattie J. IT.	2.0000	ph 1/2. Comm. 10.57.46 N.E. of sly. l. Thru N.E. 300' N.W. 181.80' N.E.W. 300' N.E. 121.80' 16 p.p. sketched attached.
401988	Grant	19-10-82	19-10-82	CARBERRY Jane E. CARBERRY Margaret E. E. J. 2nd part	MARTIN Jack K.	2.0000	Ph designated as ph 2 on 4371623. Toq with Ref. W over ph 1, cap A enclosed
621989	Grant	19-10-82	19-10-82	MARTIN Jack K.	CARBERRY Margaret E. E. J.	2.0000	part + Toq with Ref. W as in 621988
623387	Grant	02-11-82	02-11-82	THOMAS John W. THOMAS Eric J.	WATKINS, Albert E.	150000	Part 1/2 corner 146288 except p.p. in Comm. 10.00' N.E. of sly. l. Thru N.E. 300' N.W. 181.80' N.E.W. 300' N.E. 121.80' 16 p.p. sketched attached.
				Discharged by # 250046	149543... Dep. Land Reg. CR		
6971513	Bylaw #130-89	31-10-84	31-10-84	REGIONAL Municipality of Peel			To accept, assume and dedicate lands for public highway purposes. Pt. + 0.2. as described in no. 5017 + 0.2.
109195	Grant	26-03-85	26-03-85	CARBERRY, Jane E.	SANDERSON, J. Ralph		Part 1/2 designated as Part 1 on 134-1634. Cap. enclosed
711426	Grant	13-04-85	13-04-85	CARBERRY Margaret E. E. J.	ANDERSON, Stephen & ANDERSON, Paul J. T.		Part 1/2 re. 134006 VS (1.00 acre +)

REGISTRATION NUMBER	INSTRUMENT	DATE OF INSTRUMENT	REGISTRATION DATE	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
744125	Mort	25 02 86		THOMAS, John H. THOMAS, Lina T.	THE Royal Bank of Canada	29000.00	Pt. W 1/2 as in no. 146288 vs. (0.956 ac.)
80775	Mort	26 11 85	27 01 86	THOMAS, John Harold THOMAS, Lina T.	THE ROYAL BANK OF CANADA Discharged by #13997	29000.00	Part of pt. W 1/2 as in no. 146288 vs. 01/12/88.
833456	Grant	27 01 88		THOMAS, John Harold THOMAS, Lina Theodore	MANIAS, Fiorella MANIAS, Modesta S.T.		As in no. 744125 Pt comm. S. L. Thence NE 10.06' X NW 165' X NE 154.94' X NE 243.56' X SW 352.94' to pole
833457	Mort	27 01 88	27 01 88	MANIAS, Fiorella MANIAS, Modesta	THOMAS, John Harold THOMAS, Lina Theodore Discharged with right of ownership	29,000.00	As in 744125 833456 192236 Asst. Dep. Land Reg. no. 146288
856175	Deposit	28 07 88					Re: 3154
856176	Grant	28 07 88		SANDERSON, J. Ralph	VILLANI, Pat VILLANI, Clara as to 20% int. as JT VILLANI, Frank VILLANI, Rosilda as to 20% int. as JT SAVERINO, Steve SAVERINO, Anna Maria as to 20% int. as JT DE SANTIS, Lino DE SANTIS, Lucilia as to 20% int. as JT ARQUINI, Americo as to 20% int. as JT	Part designated as pt. 1 on 438-1624	

Page 503 of 709

ABSTRACT INDEX

PAGE NO.

LOT ¹⁶ 26

CONCESSION

7 N.D.

OFFICE
1/3/1978

896178

INSTRUMENT NUMBER	INSTRUMENT	REGISTRATION DATE DAY MONTH YEAR	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
866155	Mort	28-07-88	VILLANI, Del VILLANI, Elora as to 20% Int. VILLANI, Frank VILLANI, Romilda as to 20% Int. ZAVIERINO, Elvira ZAVIERINO, Anna Maria as to 20% Int. DE SANTIS, Lina DE SANTIS, Laila as to 20% Int. ARQUINI, Antonio ARQUINI, Rosalia as to 20% Int.	CARDONE, Elvira Edward	395,000.00	Part designated as at 1 on 438 1624
				Discharged by #468679 Asst. Dep. Land Reg.		12/8/80
869462	Grant	28-10-88	ANDERSON, Stephen ANDERSON, Gail	WELLMOOD, Gary Earl CAMPBELL, Diane Lorraine as JT		Part W & as in 134005ys
868478	Mort	28-10-88	WELLMOOD, Gary Earl CAMPBELL, Diane Lorraine	Canada Mortgage Companies Limited	625,000.00	Part W & as in 134005ys
				Discharged by #468664 Asst. Dep. Land Reg.		12/12/85
876779	Grant	21-12-88	BELL, Leslie James BELL, Helen Dorothy	CLARKWAY Construction Company Limited		Part E1 as in 4526
830534	Mortgage	YH MTH DAY 20-06-10	WELLMOOD, Gary Earl CAMPBELL, Diane Lorraine	THE BANK OF NOVA SCOTIA	625,000.00	Part as in 134005ys 134005ys
				Discharged by #477352 Asst. Dep. Land Reg.		12/12/81
944392	Grant	20-07-17	ANDERSON, Stephen ANDERSON, Gail	WELLMOOD, GARY EARL CAMPBELL, DIANE LORRAINE as JT	NIL	Part of W & as in 134005ys



ABSTRACT INDEX

LOT 16

CONCESSION 7 H.O.

REGISTRATION NUMBER	INSTRUMENT	REGISTRATION DATE DAY MONTH YEAR	GRANTOR	GRANTEE	CONSIDERATION ETC.	LAND AND REMARKS
979172	Grant	91 08 02	WELLWOOD Gary Earl CAMPBELL Donna Lorraine	GRIMWOOD Donald William GRIMWOOD Jo-Ellen Margaret as "JOINT TENANTS"	353,000.00	Pt Wj as in NO. 134006VS
979173	Mort	91 08 02	GRIMWOOD Donald William GRIMWOOD Jo-Ellen Margaret	The Mutual Trust Co.	189,000.00	Pt Wj as in NO. 134006VS
RO 1009871	Grant	92 06 26	SHAW, John Matthew	SHAW, John Matthew SHAW, Anne Catherine as JT	N/A	2ndly: N/A of Elys metes and bounds attached D.W.
RO 1017006	Mort	92 09 09	CLARKWAY Construction Co. Ltd.	CANADIAN Imperial Bank of Commerce	\$130,000.00	Part E1 as in 876779
43R-21273	R-Plan	95 10 17		<p>NOTICE</p> <p>The land in this plan is registered as of</p> <p>MAY 07 1996</p> <p>Under the provisions of the L.R.S.S., 1990 (S. 3) of the Land Transfer Act, the land in this plan is registered as of MAY 07 1996. As registered under the L.R.S.S., 1990 (S. 3) of the Land Transfer Act.</p>		<p>Pt 5 ---- 621989</p> <p>Pts 6-8 ---- 6078</p> <p>Pts 9, 10 ----- 833458 S. N.</p>



AGRICULTURAL CENSUS, Enumeration District No.

One

of the Township of One of Ontario

County of

Peel

15

NAME OF OCCUPYER.		Census or Range.	Lot or part of Lot.	NUMBER OF ACRES OF LAND.						Cash value of Farm, Dollars.	Cash value of Farm, including implements or machinery, Dollars.	FALL WHEAT.		SPRING WHEAT.		BARNY.		RYS.	PEAS.		OATS.		BUCK WHEAT.		INDIAN CORN.		POTATOES.		TURNIPS.		MANUEL WEATERS.		Carrots, bushels.	Beets, bushels.	Hops, lbs.	Hay, acres of 2000 ft. in 10 ft. squares.	Clover, acres of 2000 ft. in 10 ft. squares.
				Total held by each Person or Family.	Under Cultivation.	Under Crops in 1860.	Under Pasture in 1860.	Under Orchards or Gardens.	Under Wood or Wild.			Acres.	Produce in Bushels.	Acres.	Produce in Bushels.	Acres.	Produce in Bushels.		Acres.	Produce in Bushels.	Acres.	Produce in Bushels.	Acres.	Produce in Bushels.	Acres.	Produce in Bushels.	Acres.	Produce in Bushels.	Acres.	Produce in Bushels.	Acres.	Produce in Bushels.					
1	William Dalton	7	1	107	60	58	2		47	7000	115	15	225	15	70	15	375		6	110	7	250															
2	Thomas & Phillips	7	1	93	60	37	23		33	6500	140	20	120		11	350		4	80	2	100																
3	Stephen Bant	7	2	100	70	25	25		30	8000	135	22	300		9	210		3	75	10	300																
4	Samuel Gilbert	7	3	100	66	60	6		34	8000	180	24	110	6	90	20	250		5	75	4	120															
5	Watson Gardiner	7	3	100	75	60	14		25	8000	190	24	230		12	250		4	50	20	700																
6	John Rinn	7	4	200	140	111	29	1	59	16000	112	40	240	11	15	24	900		9	180	25	1000															
7	Thomas Ward	7	5	100	75	62	12		25	8000	260	28	250	4	12	10	400		7	200	7	250	4	60													
8	John Wardell	7	6	25	70	9			15	2000	119	4	50	2	20				2	65																	
9	William Pearson	7	6	175	112	109	18		62	24000	200	33	200	31	775	11	350		21	630	9	180															
10	Robert Ward	7	7	100	85	60	24		15	8000	350	33	450	2	15	6	200		8	280	10	300															
11	John Dale	7	7	99	74	55	17	1	25	7000	130	26	140	4	30	7	210		10	250	7	225															
12	Joseph Figg	7	8	97	79	57	20		18	8000	240	32	250	4	25	9	500		6	160	5	100															
13	John Pearson	7	8	103	80	54	25	1	23	8200	250	34	200		6	200		7	200	5	200																
14	George Robinson	7	9	285	200	154	44	2	85	23000	590	100	600	5	50	24	700		5	150	15	550															
15	Gordon Tucker	7	11	195	155	154		1	40	20000	840	80	600	10	100	25	750		20	400	16	480															
16	John Taylor	7	12	187	97	61	35	1	90	12000	860	37	300		8	250		12	480	2	60																
17	John Dale	7	15	99	69	54	14		50	6400	220	32	240	2	30	10	300		4	140	6	180															
18	James Delfour	7	13	96	72	52	19	1	24	6200	110	33	200	10	120	3	55		3	70	2	60															
19	James McE	7	14	100	85	48	36	1	15	6000	340	37	350	10	200																						
20	James McE	7	14	75	60	51	8		15	4500	100	19	180		6	240		10	300	15	600																
21	Dennis Manning	7	15	66	46	37	9		20	4000	75	12		8	160	8	240		4	60	4	160															
22	James Morrison	7	15	66	56	26	29	1	10	4000	130	7		4	80				4	60	10	200															
23	William Sargent	7	16	100	70	50	19	1	39	6400	120	25	100	10	200				9	200	5	150															
24	William Farley	7	17	74	55	54		1	19	6200	186	45	400	3	60	5	150																				
25	Joseph Mulligan	7	17	75	65	28	36	1	10	3000	300	26	450																								
26	Thomas Thompson	7	17	100	80	63	16	1	20	6500	400	40	500	6	200	3	100		6	100	7	100															
27	James Morwood	7	16	82	40	39	1		42	4600	160	20	80	5	40	2	30		7	210	9	150															
28	William Carby	8	15	100	75	50	25		25	4000	126	32	200	5	50	4	100		6	120	2	150															
29	John Carby	8	15	100	75	50	25		25	4000	126	32	200	5	50	4	100		6	120	2	150															
30	William Potter	8	17	70	70	35	35			4000	170	5	10	100	6	120		10	200	3	100																
31	Edward Odium	8	17	118	93	68	24	1	25	6400	340	35	300	6	150	5	150		10	200	10	150															
32	John Thompson	8	16	125	100	68	35	1	25	8000	270	30	340	7	190				6	150	6	200															
33	William Trumble	7	16	50	40	20	19		10	3000	105	11	120	4	80				3	75	2	60															
34	Robert Morrison	7	15	66	57	47	3	1	15	4000	120	24	150	3	120	3	80		8	100	6	100															
35	James Shaw	8	14	100	91	63	27	1	9	7000	200	42	350	5	100				7	150	6	160															
36	Samuel Shaw	8	14	100	82	47	34	1	12	7000	200	30	350			8	240		6	120	1	40															
37	James Morrison	8	13	66	61	53	27	1	5	4000	74	13	100	3	60	2	60		7	160	7	280															
38	Ann Curran	8	12	100	75	52	22	1	25	7000	112	29	250			4	120		11	275	7	280															
39	Arthur Dorrill	8	11	100	100	48	51			6500	70	27	140	7	85	5	150		4	100	5	150															
40	John Shanahan	8	10	60	40	31	8		20	3000	70	7	10	8	1																						

Joseph Figg Enumerator

Joseph Pegg Enumerator

Numbered in the order of visitation.						Names.	Sex.	Age.	Born within last twelve months.	Country or Province of Birth.	Religion.	Origin.	Profession, Occupation or Trade.	Married or widowed.	Married within last twelve months.	Instruction.			Infirmities.			Dates of Operations and Remarks.
Vessels.	Shrines.	Dwelling houses in construction.	Dwelling houses uninhabited.	Dwelling houses inhabited.	Families.											Going to school.	Over 20 unable to read.	Over 20 unable to write.	Deaf and Dumb.	Blind.	Unsound mind.	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23
						2077	Murphy Sarah	F	54	—	Ireland	English Church	Irish	—	W	—	—	—	—	—	—	—
							" Matthew	F	18	—	Ontario	"	"	—	—	—	—	—	—	—	—	—
							" Elizabeth	F	15	—	"	"	"	—	—	—	1	—	—	—	—	—
							Murphy Sarah	F	24	—	"	"	"	—	—	—	—	—	—	—	—	—
						29 79	Sargent William	M	60	—	Ireland	"	"	Farmer	M	—	—	—	—	—	—	—
							" Francis	F	43	—	"	"	"	—	M	—	—	—	—	—	—	—
							" Margaret	F	32	—	Ontario	"	"	—	—	—	—	—	—	—	—	—
							" Robert	M	21	—	"	"	"	Farmer	—	—	—	—	—	—	—	—
							" Ann Jane	F	19	—	"	"	"	—	—	—	—	—	—	—	—	—
							" Sarah	F	14	—	"	"	"	—	—	—	1	—	—	—	—	—
							" Francis	F	13	—	"	"	"	—	—	—	1	—	—	—	—	—
							" William	M	13	—	"	"	"	—	—	—	1	—	—	—	—	—
							" John	M	11	—	"	"	"	—	—	—	1	—	—	—	—	—
							" Eliza	F	9	—	"	"	"	—	—	—	1	—	—	—	—	—
							" Myriah	F	4	—	"	"	"	—	—	—	1	—	—	—	—	—
						11 20 20	Jordan William	M	35	—	Unit	Prim Meth	English Wagon Maker	M	—	—	—	—	—	—	—	—
							" Elizabeth	F	29	—	"	"	"	—	M	—	—	—	—	—	—	—
							" Cornelia	F	10	—	"	"	"	—	—	—	1	—	—	—	—	—
							" Wm. Alfred	M	8	—	"	"	"	—	—	—	1	—	—	—	—	—
							" Albert C.	M	5	—	"	"	"	—	—	—	1	—	—	—	—	—

Numbered in the order of visitation.						Names.	Sex.	Age.	Born within last twelve months.	Country or Province of Birth.	Religion.	Origin.	Profession, Occupation or Trade.	Married or widowed.	Married within last twelve months.	Instruction.			Infirmities.			Dates of Operations and Remarks.
Vessels.	Ships.	Dwell- ing houses in con- struction.	Dwell- ing houses unin- habited.	Dwell- ing houses inhab- ited.	Fa- milies.											Going to school.	Over 20 unable to read.	Over 20 un- able to write.	Deaf and Dumb.	Blind.	Un- sound mind.	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23
						Jordan Henrietta	F	2	—	Ontario	Prim Meth	English	—									
						Blair Alfred	M	21	—	"	English Chur	Scotch	Wagon Maker									
			81	81		Dynes Richard	M	31	—	Ireland	Prim Meth	Irish	Cabinet Maker	M								
						Eliza	F	26	—	Ontario	"	"		M								
						William A.	M	4	—	"	"	"										
						Sarah Ann	F	2	—	"	"	"										
						Fleming Dennis	F	17	—	"	"	"										
						Cobburn George	M	19	—	"	W. Meth	English	Labourer									
			82	82		Chapin Isaac	M	32	—	"	Church of Eng	Irish	Gent	M								
						Francis	F	38	—	"	"	"		M								
						Alex B.	M	21	—	"	"	"	Student									
						Charles W.	M	15	—	"	"	"	—									
						Mary H.	F	18	—	"	"	"	—									
						Francis L.	F	11	—	"	"	"	—									
						Charlotte	F	6	—	"	"	"	—									
			83	83		Corins John	M	60	—	England	"	English	Taylor									
			84	84		Andrew Henry	M	53	—	"	"	"	Saddler	M								
						Finah	F	30	—	"	"	"	—	M								
						Jane	F	15	—	Ontario	"	"	—									
			85	85		Abernethy Robt	M	34	—	"	"	Irish	Labourer	M								
								17					11									

NUMERICAL IN THE ORDER OF VENTATION.						NAMES.	SEX.	AGE.	Born within last year or month.	Country or Province of Birth.	RELIGION.	ORIGIN.	Profession, Occupation or Trade.	Married or Widowed.	EDUCATION.					Date of Immigration and Residence.
Vessels.	Shanties.	Houses in construction.	Houses in habitation.	Houses in habitation.	Families.										Reading School.	Writing School.	Trade School.	College.	University.	
NUMERICAL IN THE ORDER OF VENTATION.						NAMES.	SEX.	AGE.	Born within last year or month.	Country or Province of Birth.	RELIGION.	ORIGIN.	Profession, Occupation or Trade.	Married or Widowed.	EDUCATION.					Date of Immigration and Residence.
Vessels.	Shanties.	Houses in construction.	Houses in habitation.	Houses in habitation.	Families.										Reading School.	Writing School.	Trade School.	College.	University.	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	
1						McL. Mary	F	14	-	0	Presb	Scotch	-	-	1	-	-	-	-	
2						" Emily	F	8	-	"	"	"	-	-	1	-	-	-	-	
3						" Maggie	F	3	-	"	"	"	-	-	-	-	-	-	-	
4				32	33	Berryman Richard	M	42	-	Ireland	C. Meth	Irish	Farmer	M	✓	-	-	-	-	
5						" Annie	F	31	-	0	"	"	-	-	M	✓	-	-	-	
6						" Henry	F	35	-	Ireland	"	"	-	-	-	-	-	-	-	
7						" Eli B.	F	10	-	0	"	"	-	-	1	-	-	-	-	
8				33	34	Endacott Henry	M	64	-	England	Ch of Eng	English	Farmer	M	✓	-	-	-	-	
9						" Dinah	F	60	-	"	"	"	-	-	M	✓	-	-	-	
10						" Jane M.	F	23	-	0	"	"	-	-	-	-	-	-	-	
11				34	35	Sargent William	M	70	-	Ireland	Ch of Eng	Irish	Farmer	M	✓	-	-	-	-	
12						" Francis	F	55	-	"	"	"	-	-	M	✓	-	-	-	
13						" Margaret	F	30	-	0	"	"	-	-	-	-	-	-	-	
14						" Robert J.	M	28	-	"	"	"	Farmer	✓	-	-	-	-	-	
15						" William	M	25	-	"	"	"	"	✓	-	-	-	-	-	
16						" Ann J.	F	26	-	"	"	"	-	-	-	-	-	-	-	
17						" Maria	F	16	-	"	"	"	-	-	-	-	-	-	-	
18				35	36	Mundy Sarah	F	63	-	Ireland	Ch of Eng	Irish	-	-	W	✓	-	-	-	
19						" Morrison Sarah	F	35	-	0	"	"	Servant	✓	-	-	-	-	-	
20				36	37	Crofters Martha	F	56	-	Ireland	Presb	Irish	-	-	W	✓	-	-	-	
21						" Long William	M	7	-	England	English	English	-	-	1	-	-	-	-	
22				37	38	Hoag George	M	55	-	Ireland	Ch of Eng	Irish	Shoemaker	M	✓	-	-	-	-	
23						" Mary	F	49	-	0	"	English	"	M	✓	-	-	-	-	
24						" William	M	27	-	"	"	Irish	Shoemaker	-	-	-	-	-	-	
25						" Edwin	M	22	-	"	"	"	Shoemaker	-	-	-	-	-	-	

9-16

20

4-4-2

NUMERICAL IN THE ORDER OF VENTATION						NAMES	SEX	AGE	Born within last year or month	Country or Province of Birth	RELIGION	ORIGIN	Profession, Occupation or Trade	Married or Widowed	EDUCATION					Date of Immigration and Residence
Vessels	Shanties	Houses in construction	Houses in habitation	Houses in habitation	Families										Reading School	Writing School	Trade School	College	University	
NUMERICAL IN THE ORDER OF VENTATION						NAMES	SEX	AGE	Born within last year or month	Country or Province of Birth	RELIGION	ORIGIN	Profession, Occupation or Trade	Married or Widowed	EDUCATION					Date of Immigration and Residence
Vessels	Shanties	Houses in construction	Houses in habitation	Houses in habitation	Families										Reading School	Writing School	Trade School	College	University	
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	
1						Hogg Alice J.	F	9	-	0	Ch of Eng	Irish	-	-	1	-	-	-	-	
2					38 39	Healy James	M	48	-	Ireland	Ch of Eng	Irish	Farmer	M	✓	-	-	-	-	
3			1			" Catherine	F	46	-	"	"	"	-	-	M	✓	-	-	-	
4						" William	M	16	-	0	"	"	Farmer	✓	-	1	-	-	-	
5						" George	M	20	-	Ireland	"	"	Farmer	✓	-	-	-	-	CPM transferred to Comm	
6			1	39	40	Thompson Thomas	M	25	-	0	Meth	English	Farmer	M	✓	-	-	-	-	
7						" Margaret J.	F	25	-	"	"	Irish	-	-	M	✓	-	-	-	
8						" Alice G.	M	0	Mar	"	"	English	-	-	-	-	-	-	-	
9						" Sidney M.	M	21	-	"	"	"	Farmer	✓	-	-	-	-	-	
10			1			" Robert	M	31	-	"	"	"	Merchant	M	✓	-	-	-	-	
11					40 41	McCarthy James	M	38	-	U.S.	Catholic	Irish	Farmer	M	✓	-	-	-	-	
12						" Sarah	F	37	-	England	"	English	-	-	M	✓	-	-	-	
13						Leggett William L.	M	18	-	0	"	Irish	Farmer	✓	-	-	-	-	-	
14						Leggett Mary E.	F	16	-	"	"	"	Dressmaker	✓	-	-	-	-	-	
15						Watson James K.	M	13	-	"	"	Scotch	-	-	1	-	-	-	-	
16						McCarthy John	M	10	-	"	"	Irish	-	-	1	-	-	-	-	
17						" Edward P.	M	6	-	"	"	"	-	-	1	-	-	-	-	
18						" Janet L.	F	5	-	"	"	"	-	-	-	-	-	-	-	
19						" Albert J.	M	1	-	"	"	"	-	-	-	-	-	-	-	
20	1				41 42	Odham Edward D.	M	58	-	England	Presb Meth	Irish	Farmer	M	✓	-	-	-	-	
21						" Sarah	F	62	-	"	"	English	-	-	M	✓	-	-	-	
22						" Leonard	M	27	-	0	"	Irish	Farmer	M	✓	-	-	-	-	
23						" Lacie	F	25	-	Ireland	"	"	-	-	M	✓	-	-	-	
24						" Edward	M	12	May	0	"	"	-	-	-	-	-	-	-	
25						" Isaac	M	25	-	"	"	"	Farmer	✓	-	-	-	-	-	

17-8

41/27

6-5

(City, town, village, township or parish)
(State, village, section or nation)

Equation:
Estimate value:

Page 511 of 709

APPENDIX B

**Draft Plan of Subdivision (Candevcon
Limited, 13 January 2020)**

APPENDIX C

**Preliminary Design Concept Site
Plan & Elevations for Sargent
House.**

BLOCK 147
(PLAN 43M-1654)

LOT 9

22.66m

- GARAGE -
- ADDITION -

NEW
VERANDA

EXISTING
FOYER

 PROPOSED
EXPANDED
VFRANDA

Diagram of a house with a lean-to addition. The main house is a rectangle with a gabled roof. A smaller rectangular addition is attached to the side of the main house, sharing its roofline. The addition has a flat roof. The main house is labeled "HOUSE" and the addition is labeled "LEAN-TO ADDITION".

EXISTING
2 STOREY
HOUSE

LOT 8

52.78m

-4.50 LANDSCAPE BUFFER

N45°23'20"W (P&M)

56.31m

AIRPORT-ROAD

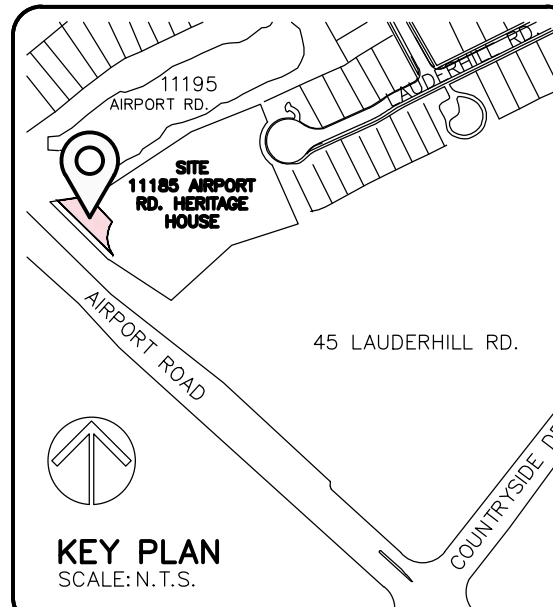
(ROAD ALLOWANCE BETWEEN TOWNSHIP OF TORONTO GORE AND
TOWNSHIP OF CHINGUACOUSY)

EXIST. ASPHALT DRIVEWAY

1 SITE PLAN
A1 SCALE 1/8"=1'-0"

Page 515 of 709

NOTE:
1. THE CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE ENGINEER OF ANY VARIATIONS AND/OR DISCREPANCIES FROM THE DRAWINGS.
2. THE CONTRACTOR SHALL NOTIFY THE DESIGNER, ARCHITECT, ENGINEER, CITY OF BRAMPTON, AND/OR RELEVANT REGULATING AUTHORITIES, FOR INSPECTION OF ALL WORK AS REQUIRED BY ANY OR ALL OF THE ABOVE PARTIES.
3. ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE APPROVED BUILDING PERMIT DRAWING SET.
4. CONTRACTORS ARE TO REFER TO LATEST EDITIONS OF ALL DRAWINGS PRIOR TO COMMENCING WORK.



0	ISSUED FOR REVIEW	02/JUNE/2020	
No.	DESCRIPTION	DATE	BY

REVISIONS

THESE DRAWINGS ARE
PROPERTY OF
BRAMCON
ENGINEERING LIMITED
AND SHALL NOT BE
COPIED OR
DISTRIBUTED WITHOUT
THE WRITTEN
CONSENT OF
BRAMCON
ENGINEERING LIMITED.

HOUSE OWNERS:



BRANCON ENGINEERING LIMITED
2 AUTOMATIC ROAD, UNIT 123
BRAMPTON, ONTARIO L6S 6K8
PHONE: (905)794-0896
FAX: (905)794-1945
WWW.BRANCON.COM

PROJECT:
**PROPOSED HERITAGE HOUSE
RELOCATION**

SHEET TITLE:
SITE PLAN

DRAWN BY:	CHECKED BY:	DRAWING No:
SCALE: AS SHOWN	DATE: 02-06-20	A1

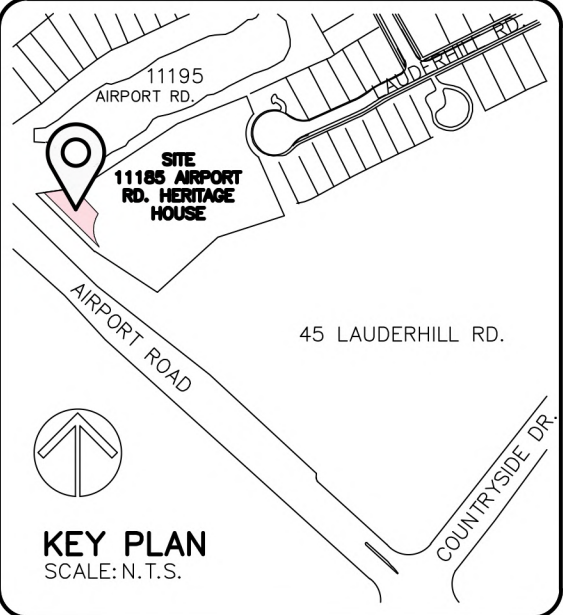


2 SOUTH-WEST ELEVATION
A2 SCALE N.T.S.



1 SOUTH-EAST ELEVATION
A2 SCALE N.T.S.

NOTE:
1. THE CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE ENGINEER OF ANY VARIATIONS AND/OR DISCREPANCIES FROM THE DRAWINGS.
2. THE CONTRACTOR SHALL NOTIFY THE DESIGNER, ARCHITECT, ENGINEER, CITY OF BRAMPTON, AND/OR RELEVANT REGULATING AUTHORITIES, FOR INSPECTION OF ALL WORK AS REQUIRED BY ANY OR ALL OF THE ABOVE PARTIES.
3. ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE APPROVED BUILDING PERMIT DRAWING SET.
4. CONTRACTORS ARE TO REFER TO LATEST REVISIONS OF ALL DRAWINGS PRIOR TO COMMENCING WORK.



0	ISSUED FOR REVIEW	02/JUNE/2020	
No.	DESCRIPTION	DATE	BY

REVISIONS

THESE DRAWINGS ARE PROPERTY OF BRAMCON ENGINEERING LIMITED AND SHALL NOT BE COPIED OR DISTRIBUTED WITHOUT THE WRITTEN CONCENT OF BRAMCON ENGINEERING LIMITED.

HOUSE OWNERS:

bramcon
DESIGN • BUILD • LEASE

BRANCON ENGINEERING LIMITED
2 AUTOMATIC ROAD, UNIT 123
BRAMPTON, ONTARIO L6S 6K8
PHONE: (905) 794-0896
FAX: (905) 794-1945
WWW.BRAMCON.COM

PROJECT:
**PROPOSED HERITAGE HOUSE
RELOCATION**

SHEET TITLE:
ELEVATIONS

DRAWN BY:	CHECKED BY:	DRAWING No:
SCALE: AS SHOWN	DATE: 02-06-20	A2



golder.com



MEMO

TO: Opal Valley Developments, c/o Tony Priori
FROM: Chelsey Collins (Tyers), Cultural Heritage Specialist, WSP Canada Inc.
Heidy Schopf, Cultural Heritage Lead, WSP Canada Inc.
SUBJECT: 11185 Airport Road Heritage Impact Assessment Addendum
DATE: August 8, 2024

1 BACKGROUND

In May 2024, WSP Canada Inc. (WSP) was retained by Opal Valley Developments to prepare an addendum to the Heritage Impact Assessment (HIA) for 11185 Airport Road (Sargent Farmhouse), City of Brampton produced by WSP in January 2024. In May 2021, Bramcon Engineering Limited retained Golder Associates Ltd. (Golder), now WSP to conduct an HIA for a listed heritage property at 11185 Airport Road in the City of Brampton, Ontario. WSP determined the property to be of cultural heritage value or interest and recommended that the Sargent Farmhouse be relocated to Lot 8 within the subdivision.

The property and development application has since been transferred to Opal Valley Developments (the client). A Structural Condition Assessment was completed by Tacoma Engineers in March 2024 and concluded that the building at 11185 Airport Road is not a good candidate for relocation (Appendix A). This addendum has been prepared in response to the City of Brampton's request for a revised HIA to address the revised development proposal and additional alternative and mitigation options. The additional alternative options WSP was tasked with reviewing included:

- **Option 1:** Complete disassembly and reassembly of the Sargent Farmhouse on Lot 8;
- **Option 2:** Disassembly and reassembly of two of the Sargent Farmhouse facades on Lot 8 with a large addition and new floor plan;
- **Option 3:** Demolition of the Sargent Farmhouse and replication of the Farmhouse using new materials, with a large addition and a new floor plan on Lot 8; and,
- **Option 4:** Demolition of the Sargent Farmhouse and construction of a new house with no reference to the design of the Farmhouse, nor any salvaged materials on Lot 8.

The client conducted meetings and email correspondence with the City of Brampton's Heritage Staff to develop the current plans for a dwelling at Lot 8. At a meeting on May 29, 2024, with City of Brampton Heritage Staff, the client, their planning consultants and WSP, there was direction to amend alternative Option #2 to reflect the client's current development plans for Lot 8. A detailed description of the proposed development on Lot 8 is provided under the 'Proposed Works' section of this addendum.

In email correspondence dated July 16, 2024, Tacoma's Structural Engineer, Will Teron, estimated that approximately 60-70% of the brick was in sufficient condition for salvage and reuse on a new structure based on their site visit conducted in March 2024 and their review of the exterior bricks (Appendix B). Teron noted that interior bricks are often not treated such that they are suitable for exterior use. As such, the definitive amount of salvageable and reusable bricks will not be known until the farmhouse is disassembled.



The recommendations in this addendum are provided upon the presumption that the City of Brampton is satisfied with the findings of the Structural Assessment completed by Tacoma Engineering in March 2024.

2 STATEMENT OF CULTURAL HERITAGE VALUE OF INTEREST

The following statement of cultural heritage value or interest is reproduced from the HIA for 11185 Airport Road, January 2024.

2.1 DESCRIPTION OF PROPERTY – 11185 AIRPORT ROAD, CITY OF BRAMPTON

The property is located at 11185 Airport Road in the City of Brampton, Peel Region, formerly within the east half of Lot 16, Concession 7 NERV DIV, in the Township of Toronto Gore, County of Peel. The property is legally described as PT LT 16 CON 7 ND (TOR. GORE) DES PT 1 PL 43R-31731; BRAMPTON. The 1.09-hectare property includes the Sargent Farmhouse, a brick farmhouse built between 1861 and 1877, and associated driveshed and grain bin.

2.2 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The property has cultural heritage value or interest for its design or physical value, its historical or associative value, and for its contextual value. The property's design or physical value is linked to its storey-and-a-half farmhouse, known locally as the Sargent Farmhouse. Built after 1861 but before 1877, the Sargent Farmhouse was built on a fieldstone foundation in red brick with buff brick detailing and decoration, including quoins, gauged or rubbed brick voussoirs, a frieze of circular forms, and diamond patterns below the gables. It has a T-shaped plan with a rectangular main block and rear wing off the east end wall. The main block has asymmetrical fenestration with a slightly off-centre recessed main entrance with a moulded architrave, sidelights, fanlight, Doric pilasters, and entablature marked by two large six-by-six flat windows on either side. It has a gable roof with return eaves and a single chimney on its south end wall. Its double-wythe masonry on the principal façade is entirely in stretcher bond and the other walls are one-in-five American or common bond. Like the main block, it has asymmetrical fenestration with an open verandah along the length its south façade. The Sargent Farmhouse has a good level of heritage integrity as a representative example of a late 19th century Neoclassical rural farmhouse executed with a high degree of craftsmanship in its detail and overall composition.

The property's historical or associative value lies in its direct association with William Sargent, who was not only successful in the mixed farming that was central to the area's economy during the 19th century, but also played a leading role in the community's social development as the warden for Tullamore's St. Mary's Church. William inherited the farm from his father Benjamin Sargent, an early 19th century settler of Toronto Gore township, and the Sargent family were recognized as a pioneering family of the area.

For its extensive decoration and location at the crest of the valley land and in proximity to Airport Road, the Sargent Farmhouse has contextual value as a local landmark.

2.3 HERITAGE ATTRIBUTES

The heritage attributes demonstrating the property's cultural heritage value or interest are its:

- Sargent Farmhouse in Neoclassical style with:
 - Load-bearing double wythe brick masonry on a fieldstone foundation built in stretcher course on the principal façade and the other walls are one-in-five American or common bond
 - Side gable main block with asymmetrical fenestration with a recessed main entrance with moulded architrave, sidelights, fanlight, Doric pilasters, and entablature marked by six-over-six windows with buff brick voussoirs and quoins on either side
 - Buff brick architectural detailing, including quoins, gauged or rubbed brick voussoirs, a frieze with circular forms below the eaves, and a diamond pattern below the gables
 - Projecting eaves and verges with plain soffit, fascia, and frieze with return eaves on the gable ends, and a single-stack brick chimney (south end wall)
 - Rear wing extending from the east wall of the main block with asymmetrical fenestration, open verandah along south façade, one-in-five American or common bond masonry on all walls, and gable roof with plain soffit, fascia, and frieze

3 DESCRIPTION OF PROPOSED DEVELOPMENT/SITE ALTERATIONS

In light of the results of the Structural Assessment completed by Tacoma Engineers, the client is now proposing to disassemble the Sargent Farmhouse and to build a new dwelling on Lot 8 of the draft plan of subdivision (as-found plans for the Sargent Farmhouse are located in Appendix C and development plans for Lot 8 are located in Appendix D).

The client has relayed that the current plans for Lot 8, reflect an attempt to use as much salvaged brick on the west section of the dwelling with a design that is inspired by the Sargent Farmhouse, but does not replicate it, to allow for a large house on the Lot in keeping with the design of the other proposed dwellings in the subdivision. The plans are also the result of the client's ongoing consultation with the City of Brampton's Heritage staff. In various email correspondence from May 2024, City of Brampton Heritage Staff requested that the client consider changes to the roof profile of the two-storey part of the house, as well as disconnecting the roofs of the west section and the two-storey part of the house, including a chimney (however it was added to a side elevation rather than the roof as it is on the Sargent Farmhouse), and to amend the large picture window on the south elevation of the west section to two smaller windows. The current proposed development drawings revised June 13, 2024 (Appendix D) reflect and incorporate these Staff comments.

3.1 WEST SECTION

The new dwelling will include a west section fronting onto Airport Road which will include the reuse of as many reclaimed bricks from the Sargent Farmhouse as possible. The west elevation of the west section does not replicate the front façade of the Sargent Farmhouse but is influenced by it in the use of a three-bay width, with a slightly off-centre front entry, a buff brick band detail under the eaves and quoin detail modeled on the design of the Sargent Farmhouse. The side (north and south) elevations of the west section do not replicate the design of the Sargent Farmhouse but take inspiration from it in the use of buff brick quoin details, diamond brick detail and return eaves.

3.2 EAST SECTION

The east section of the dwelling is located behind the west section, fronting onto Lauderhill Road within the new subdivision and consists of a two-storey section that reflects a design in keeping with the remainder of the proposed subdivision. It includes a cross hipped roof, vertically oriented rectangular windows, a double front door with transom light and a three-car garage. This section of the dwelling will be constructed entirely of new materials but continues use of some of the design features inspired by the Sargent Farmhouse including the red-brick with buff-brick detailing in the quoining and window surrounds. The east section of the proposed dwelling also includes the dining room at the main level and bedrooms on the upper level. The east elevation drawing was not available at the time of this review.

4 IMPACT ASSESSMENT

When determining the effects a development or site alteration may have on known or identified built heritage resources or cultural heritage landscapes, the MCM *Heritage Resources in the Land Use Planning Process* advises that the following “negative impacts” be considered:

- Destruction of any, or part of any, significant heritage attributes, or features¹
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance²
- Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden³
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship⁴
- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features⁵
- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces⁶
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource⁷

Other potential impacts may also be considered such as encroachment or construction vibration (Figure 1). Historic structures, particularly those built in masonry, are susceptible to damage from vibration caused by pavement breakers, plate compactors, utility excavations, and increased heavy vehicle travel in the immediate vicinity. Like any structure, they are also threatened by collisions with heavy machinery, subsidence from utility line failures, or excessive dust (Randl 2001:3-6).

¹ This is used as an example of a *direct* impact in the MHSCTI *Info Bulletin* 3.

² A *direct* impact in the MHSCTI *Info Bulletin* 3.

³ An *indirect* impact in the MHSCTI *Info Bulletin* 3.

⁴ An *indirect* impact in the MHSCTI *Info Bulletin* 3.

⁵ An example of a *direct* and *indirect* impact in the MHSCTI *Info Bulletin* 3. It is a *direct* impact when significant views or vistas within, from or of built and natural features are obstructed, and an *indirect* impact when “a significant view of or from the property from a key vantage point is obstructed”.

⁶ A *direct* impact in the MHSCTI *Info Bulletin* 3.

⁷ In the MHSCTI *Heritage Resources in the Land Use Planning Process* this refers only to archaeological resources but in the MHSCTI *Info Bulletin* 3 this is an example of a *direct* impact to “provincial heritage property, including archaeological resources”.

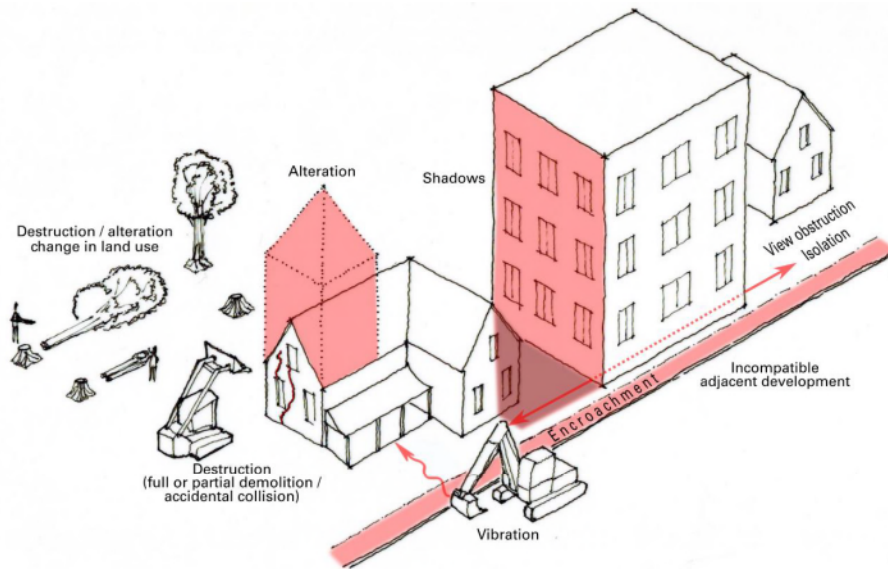


Figure 1: Examples of negative impacts.

Although the MCM Heritage Resources in the Land Use Planning Process identifies types of impact, it does not advise on how to describe its nature or extent. For this the MCM Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments (1990:8) provides criteria of:

- **Magnitude** - amount of physical alteration or destruction that can be expected
- **Severity** - the irreversibility or reversibility of an impact
- **Duration** - the length of time an adverse impact persists
- **Frequency** - the number of times an impact can be expected
- **Range** - the spatial distribution, widespread or site specific, of an adverse impact
- **Diversity** - the number of different kinds of activities to affect a heritage resource

Since advice to describe magnitude is not included in the MCM *Guideline* or any other Canadian guidance, the ranking provided in the ICOMOS *Guidance on Heritage Impact Assessments for Cultural World Heritage Properties* (ICOMOS 2011: Appendix 3B) is adapted here. While developed specifically for World Heritage Sites, it is based on a general methodology for measuring the nature and extent of impact to cultural resources in urban and rural contexts developed for the UK Highways Agency *Design Manual for Roads and Bridges* [DMRB]: *Volume 11*, HA 208/07 (2007: A6/11) (Bond & Worthing 2016:166-167) and aligns with approaches developed by other national agencies such as the Irish Environmental Protection Agency (reproduced in Kalman & Létourneau 2020:390) and New Zealand Transport Agency (2015).

The ICOMOS impact assessment ranking is:

- Major
 - Change to key historic building elements, such that the resource is totally altered. Comprehensive changes to the setting.



- Moderate
 - Change to many key historic building elements, such that the resource is significantly modified.
 - Changes to the setting of an historic building, such that it is significantly modified.
- Minor
 - Change to key historic building elements, such that the asset is slightly different.
 - Change to the setting of an historic building, such that it is noticeably changed.
- Negligible
 - Slight changes to historic building elements or setting that hardly affect it.
- No impact
 - No change to fabric or setting.

An assessment of potential impacts resulting from the proposed development on the Sargent Farmhouse's CHVI and heritage attributes is presented in Table 1.

Table 1: Impact Assessment of the Proposed Development of the Property

POTENTIAL IMPACT	ANALYSIS OF POTENTIAL IMPACT	IMPACT WITHOUT MITIGATION	IMPACT WITH MITIGATION
Destruction of any, or part of any, significant heritage attributes, or features	As currently proposed, the development includes dismantling the Sargent Farmhouse, reclaiming the brick and reusing the brick on the west section of a new dwelling. Without mitigation this could result in destruction of the identified heritage attributes, a direct and major impact that is irreversible, site specific, and will occur once over a short period of time.	Major impact from dismantling the Sargent Farmhouse that is irreversible, site-specific, and will occur once over a short period of time.	By implementing the recommendations in 'Results of Options Analysis and Recommendations' section 5, the potential direct impact from dismantling the farmhouse will be reduced to a moderate, irreversible, and site-specific impact that will occur once over a short period of time.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance	The current plans consist of reusing salvaged brick on the west section of a new dwelling on Lot 8, in a design influenced by the Sargent Farmhouse. While the design will be influenced by the Sargent Farmhouse, it will not accurately reflect the design of the Farmhouse which is inconsistent with guiding heritage principles. Furthermore, it will be moved from its current location to a much smaller lot and will be part of a much larger dwelling reflecting a similar design to other dwellings in the proposed subdivision. This will result in major, irreversible and site-specific change that will occur once over a short period of time.	The development will result in major impact to the Sargent Farmhouse from loss of the design of the original farmhouse, its change in location and its attachment to a much larger dwelling, resulting in irreversible and site-specific impacts will occur once over a short period of time.	While implementing the recommendations in 'Results of Options Analysis and Recommendations' section 5 may help with some of the interpretation issues resulting from a lack of accuracy in the reconstruction, the direct impact from alteration of the Sargent Farmhouse remains major, irreversible and a site-specific change over a short period of time.

POTENTIAL IMPACT	ANALYSIS OF POTENTIAL IMPACT	IMPACT WITHOUT MITIGATION	IMPACT WITH MITIGATION
Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden	As currently proposed, the Sargent Farmhouse will be disassembled and reclaimed brick will be used on the west section of a new dwelling on Lot 8. While the proposed new dwelling will be one-storey taller than the Sargent Farmhouse, no significant shadows are anticipated that will alter the appearance of the recreated facades of the Sargent Farmhouse. No natural features or planting were identified as heritage attributes of the property.	No impact	No mitigation required
Isolation of a heritage attribute from its surrounding environment, context or a significant relationship	As described in Section 6.3 of the Heritage Impact Assessment (January 12, 2024), there is no recognized connection between the Sargent Farmhouse and surrounding properties or environment.	No Impact	No mitigation required
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	No significant views or vistas were identified in the Statement of Cultural Heritage Value or Interest and list of heritage attributes in the Heritage Impact Assessment (January 12, 2024).	No impact	No mitigation required
A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces	The proposed development will result in a change in land use, but this has been approved as part of the Secondary Plan Area 49. As proposed, the development will reuse bricks from the Sargent Farmhouse for cladding the west section of a new residence, which is in accordance with the designated land use of the property.	No impact	No mitigation required

POTENTIAL IMPACT	ANALYSIS OF POTENTIAL IMPACT	IMPACT WITHOUT MITIGATION	IMPACT WITH MITIGATION
<p>Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource.</p>	<p>As proposed, the Sargent Farmhouse will be disassembled and reclaimed brick will be used on the west section of a new dwelling on Lot 8. Land disturbances such as excessive vibration or dust will be negligible if the farmhouse is disassembled before land disturbances occur. If land disturbances are undertaken around the farmhouse before it is demolished, potential impacts range from major to negligible, irreversible and/or reversible and site-specific change that will occur over a short period of time.</p>	<p>At worst case the development will result in major impact to the Sargent Farmhouse from land disturbances that is irreversible, site specific and will occur over a short period of time.</p>	<p>By implementing the recommendations in <i>Results of Options Analysis and Recommendations</i> (Section 5), the potential direct impact from land disturbances to the Sargent Farmhouse will be reduced to No impact or negligible.</p>

4.1 RESULT OF IMPACT ASSESSMENT

The preceding assessment concludes that without mitigation the proposed development of the property will result in:

- Potential major negative impact to the Sargent Farmhouse from destruction, alteration and land disturbances.

5 CONSIDERATION OF ADDITIONAL ALTERNATIVES AND MITIGATION OPTIONS

Further to the Heritage Impact Assessment (January 12, 2024) and in light of the March 2024 Structural Assessment completed by Tacoma Engineers, WSP has been tasked with reviewing four additional options to reduce or avoid the negative effects. These have been informed by the City of Brampton's Heritage Planning staff and are:

- **Option 1:** Complete disassembly and reassembly of the Sargent Farmhouse on Lot 8;
- **Option 2:** Disassembly of the Sargent Farmhouse and construction of a new dwelling on Lot 8, the west section of which will include a design influenced by the Sargent Farmhouse clad in salvaged brick (currently proposed, Appendix D).
- **Option 3:** Demolition of the Sargent Farmhouse and replication of the Farmhouse using new materials, with a large addition and a new floor plan on Lot 8; and
- **Option 4:** Demolition of the Sargent Farmhouse and construction of a new house with no reference to the design of the farmhouse, nor any salvaged materials on Lot 8.

The advantages and disadvantages of each option are presented in the following subsections, then analysed for feasibility. It is only after an option is determined to be not feasible that the next preferred approach is considered.

5.1 OPTION 1: COMPLETE DISASSEMBLY AND REASSEMBLY OF THE SARGENT FARMHOUSE ON LOT 8

Under this option, the Sargent Farmhouse would be disassembled and reconstructed with the original bricks as much as possible on Lot 8. There could be a new layout inside the dwelling, but the exterior would reflect the current exterior of the Sargent Farmhouse.

Advantages: While relocation and dismantling of an existing heritage resource should be employed as a last resort, it is appropriate where protection cannot be achieved by any other means. Relocation would also mean its legibility as a farmhouse would be reduced, but the reconstructed Sargent Farmhouse relocated to a new lot within the development would have a "progressive authenticity" (Jerome 2008: 4) where its heritage attributes are conserved, it retains a physical connection with its original parcel, it is visible to the public and provides an opportunity to increase understanding of the City's architectural heritage. It would also enable the property to be fully developed as a new community, sustainably integrating the Sargent Farmhouse through retention of its "embodied energy". As outlined in Section 5.1 of the Heritage Impact Assessment (January 12, 2024) there are structural concerns with the foundation of the house which relocation would assist to resolve. Additionally, the rear wing (a heritage attribute) would be disassembled and reconstructed. This option is also consistent with the City of Brampton's Official Plan policy 4.10.1.8 that expresses heritage resources will be protected and conserved in accordance with the *Standards and Guidelines for the Conservation of Historic Places in Canada* and the

Appleton Charter for the Protection and Enhancement of the Built Environment that both speak to dismantling and rebuilding being appropriate when overall condition requires more than repair or limited replacement.

Disadvantages: There is a risk of accidental damage to the bricks, windows and doors during the dismantling process. Challenges also exist with the conditions of some of the bricks and the wood windows and doors. Tacoma Engineer's structural engineer estimates 60-70% of the brick may be in sufficient condition to allow for salvage and reuse. Interior bricks may not be suitable for exterior application, given they were often fired at a lower temperature as they were not meant to be exposed to the elements. While it is reasonable to expect that reconstruction of a heritage structure will require replacement of deteriorated elements, finding appropriate replacement materials can be a challenge. The client would need to procure 30-40% of bricks that match the existing in size, colour, material and texture to complete a full construction (applying triple wythe construction). Even reconstruction of the farmhouse using the brick as cladding on a new underlying structure may require procuring 30-40% of replacement bricks given it is unknown if the interior bricks are suitable for exterior application. Sometimes bricks from heritage buildings can be replaced with bricks salvaged from other heritage buildings, however, it may be difficult to source enough brick, in good condition that match the colour, size, texture and material of the farmhouse. Bricks can be replaced with new bricks, but there is a limited number of suppliers that make historical Ontario size clay bricks.

Reconstruction of Sargent Farmhouse would also incur a high expense, given the required specialized professionals to complete the work, and the time-consuming nature of careful dismantling and reconstruction.

Lastly, it is also in direct opposition to the MCM *Guiding Principle* for "original location" which states that buildings should not be moved "unless there is no other means to save them since any change in site diminishes heritage value considerably".

Feasibility: This option may not be feasible because:

- High expense to disassemble the Sargent Farmhouse and accurately reassembly it brick by brick.
- It is currently estimated that 60-70% of the bricks could be salvaged for reuse, but the accurate rate of salvage will not be known until the farmhouse is disassembled.
- It may be challenging to find a sufficient amount of bricks salvaged from other heritage buildings that match the size, colour, texture and material or new bricks given the limited number of suppliers that make heritage Ontario size bricks.

5.2 OPTION 2: DISASSEMBLY OF THE SARGENT FARMHOUSE AND CONSTRUCTION OF A NEW DWELLING ON LOT 8, THE WEST SECTION OF WHICH WILL INCLUDE A DESIGN INFLUENCED BY THE SARGENT FARMHOUSE CLAD IN SALVAGED BRICK

As previously noted, Option 2 reflects the current development plans for Lot 8 which reflect the result of consultation with the City of Brampton's Heritage Staff (see Appendix D). This option consists of dismantling the Sargent Farmhouse and salvaging the bricks for reuse in a new structure on Lot 8. The west wing of the new dwelling would include a one-storey gable roofed portion where the salvaged bricks would be reused in a design influenced by the Sargent Farmhouse. The bricks would be the only salvaged materials reused on the new dwelling; all other materials would be new. Access to the new dwelling would be from Lauderhill Road, but the recreated Sargent Farmhouse front façade would be visible and prominent from Airport Road. While this option reflects a similar design to the Sargent Farmhouse, it differs from the original design on the west/left side elevation of the west section in the proportions of the elevation, on the south/front elevation in the proportion of

the elevation and configuration of windows, and on the north/rear elevation in the proportions of the elevation, configuration of windows and inclusion of a side chimney.

Advantages: The legibility of the Sargent farmhouse as a former farmhouse and authenticity of the re-envisioned Sargent Farmhouse would be reduced but the use of salvaged brick in a design that is influenced by the Sargent Farmhouse provides some visual continuity to the Sargent Farmhouse and the property's rural history. Using the salvaged brick as cladding on a new structure would also satisfy the structural deficiencies noted in the Structural Assessment. The west elevation draws inspiration from the Sargent Farmhouse while responding to the needs of a new homeowner. The east portion of the dwelling is consistent with the *Appleton Charter for the Protection and Enhancement of the Built Environment* and one of the MCM *Guiding Principles* that speaks to additions reflecting contemporary ideas while respecting and enhancing the spirit of the original structure.

Disadvantages: This option would result in irreversible loss of the Sargent Farmhouse. Although the design of the west section of the new dwelling draws inspiration from the Sargent Farmhouse using reclaimed bricks and architectural style detailing, the lack of authenticity in recreating the design may raise concerns in terms of adhering to heritage principles as there is potential for the re-envisioned Sargent Farmhouse to create the false impression that it reflects the original design of the Farmhouse. The *Standards and Guidelines for Historic Places in Canada* address the appropriateness of dismantling and rebuilding structures where necessary, but also to the importance of relying on photographic and physical evidence. Similarly, the first of the MCM *Eight Guiding Principles in the Conservation of Built Heritage Properties* speaks to respect for documentary evidence, that "conservation work should be based on historic documentation such as historic photographs, drawings and physical evidence" (MCM 2022). This disadvantage could be mitigated in part through an interpretive plan as part of a commemoration plan (see 'Result of the Option Analysis & Recommendation' section 5 for more details). It is also in direct opposition to several of the other MCM *Guiding Principles* including "respect for historical materials" as only the brick will be salvaged, "respect for original fabric" as this principle speaks to "repair[s] to return a resource to its prior condition, without altering its integrity", and "reversibility" as the proposed alterations will never allow the Sargent Farmhouse to be returned to its original condition, nor a facsimile of that original condition.

Feasibility: This option is feasible because:

- It achieves a balance between a new development that takes cues from the existing heritage farmhouse, supports housing objectives and reflects conservation of some of the heritage attributes of the Sargent Farmhouse.
- It would conserve original bricks and recreate some of the features that are identified as heritage attributes such as the buff brick details.
- The new proposed house will be compatible with the proposed fabric, massing and scale of the surrounding subdivision.
- It retains some of the building's embodied energy and would encourage public understanding of the Sargent Farmhouse within a contemporary setting.
- Despite the MCM *Guiding Principle* for "original location", significant structures across North America have been frequently relocated, both historically and in the contemporary period, and under the US National Register for Historic Places this is acceptable when "a building or structure removed from its original location but which is primarily significant for architectural value, or which is the surviving structure most importantly associated with a historic person or event" (Sprinkle 2014:174).

- Interpretative challenges stemming from the re-envisioned Sargent Farmhouse creating a false impression that it reflects the original design of the Farmhouse may be addressed by including recommendations to guide appropriate interpretation in a commemorative plan.

5.3 OPTION 3: DEMOLITION OF THE SARGENT FARMHOUSE AND REPLICATION OF THE FARMHOUSE USING NEW MATERIALS, WITH A LARGE ADDITION AND A NEW FLOOR PLAN ON LOT 8

This option would consist of complete demolition of the Sargent Farmhouse without salvaging any materials. A new, larger dwelling would be constructed on Lot 8, a portion of which would include replication of the Sargent Farmhouse using new materials.

Advantages: While the replicated Sargent Farmhouse would lack authenticity due to use of new materials, the new structure would serve as a physical reminder of the former Sargent Farmhouse for the community.

Disadvantages: This would result in the irreversible loss of all the identified heritage attributes and construction of new dwelling that lacks authenticity. Replication of a building using new materials is not considered best heritage practice unless a building no longer exists and there are no original materials to accurately replicate the building, such is not the case here. It is also in direct opposition to several of the MCM *Guiding Principle* including, “historic material” which encourages “repair/conserv[ation] rather than replace[ment of] building materials and finishes except where absolutely necessary”, “reversibility” which states, “alterations should be able to be returned to original conditions” and “legibility” which states “new work should be distinguishable from old”.

Feasibility: This option is not feasible because:

- It would result in an inauthentic recreation of the Sargent Farmhouse.
- It would result in irreversible loss of CHVI and heritage attributes as well as historic material.
- It would retain none of the farmhouse’s embodied energy, resulting in usable materials wasted.
- There are no mitigation measures that would help satisfy any of the MCM *Guiding Principles*.

5.4 OPTION 4: DEMOLITION OF THE SARGENT FARMHOUSE AND CONSTRUCTION OF A NEW HOUSE WITH NO REFERENCE TO THE DESIGN OF THE FARMHOUSE, NOR ANY SALVAGED MATERIALS ON LOT 8

This option would include demolition of the Sargent Farmhouse with no use of salvaged materials. A new dwelling would be constructed on Lot 8 with no reference to the design of the Sargent Farmhouse nor use of any salvaged materials.

Advantages: This option would result in a dwelling in keeping with the surrounding subdivision but would include no advantages from a heritage perspective.

Disadvantages: This would include the irreversible loss of all the identified heritage attributes resulting in a significant loss to the historic fabric of the City. It is inconsistent with the MCM *Guiding Principles*, the *Standards and Guidelines for Historic Places in Canada*, the *Appleton Charter for the Protection and Enhancement of the Built Environment* and best practices for heritage conservation.

Feasibility: This option is not feasible because:

- It would result in irreversible loss of CHVI and heritage attributes as well as historic material.

- It would retain none of the farmhouse's embodied energy, resulting in usable materials wasted.
- There are no mitigation measures that would help satisfy any of the MCM *Guiding Principles, Standards and Guidelines for Historic Places in Canada* and the *Appleton Charter for the Protection and Enhancement of the Built Environment*.

6 RESULTS OF THE OPTION ANALYSIS AND RECOMMENDATIONS

From a cultural heritage perspective, the below options are ranked from most to least preferred:

- **Option 1:** Complete disassembly and reassembly of the Sargent Farmhouse on Lot 8;
- **Option 2:** Disassembly of the Sargent Farmhouse and recreation of the front façade and west façade using salvaged brick as a cladding on a new larger dwelling on Lot 8 (preferred by the client);
- **Option 3:** Demolition of the Sargent Farmhouse and replication of the Farmhouse using new materials, with a large addition and a new floor plan on Lot 8; and
- **Option 4:** Demolition of the Sargent Farmhouse and construction of a new house with no reference to the design of the farmhouse, nor any salvaged materials on Lot 8.

However, it was determined that **Option 1** may not be feasible given the high expense to disassemble and reassemble the farmhouse and the challenges finding a sufficient amount of replacement bricks to match the existing in colour, size, shape and texture. **Option 2** is the next preferred option. The following short-term, medium-term and long-term actions should be implemented to achieve Option 1 or Option 2.

SHORT-TERM CONSERVATION ACTIONS (PRIOR TO CONSTRUCTION START):

1 Maintenance and Monitoring

- It is recommended to install or maintain security through perimeter fencing to protect from vandalism, fire and break-ins. Should the property not be disassembled before the heating season, minimal heat should be supplied to prevent the building from deterioration and weather conditions. If the farmhouse is not disassembled in the short-term, compile a Heritage Building Protection Plan (HBPP) in accordance with the *Heritage Building Protection Plan: Terms of Reference* (Brampton, n.d.(b)) to stabilize and conserve the Sargent Farmhouse in its current location until the proposed development is initiated.

2 Heritage Conservation Plan (HCP)

- Prepare a Heritage Conservation Plan (HCP) detailing how the heritage attributes of the farmhouse will be conserved, protected, and enhanced, and how the preferred conservation approach will be implemented (i.e. dismantling and reconstruction, or dismantling and reuse), that balances the objectives of heritage conservation with economic and social sustainability.
- The HCP should also include required actions and trades depending on approach, and an implementation schedule to conserve the farmhouse prior to, during, and after the dismantling and reconstruction effort.

3 Documentation and Salvage Report

- Document the farmhouse through a Documentation and Salvage Report in accordance with the *Brampton Documentation and Salvage Plan Terms of Reference* (Brampton, n.d. (a)) including measured drawings, rectified photography, and written notes prior to undertaking any intervention beyond minor stabilization or maintenance.

- Prepare a Commemoration Plan in accordance with *Brampton Heritage Commemoration Plan Terms of Reference* (Brampton, 2022) including recommendation to address interpretative challenges with the re-envisioned Sargent Farmhouse.

MEDIUM-TERM CONSERVATION ACTIONS (CONSTRUCTION PHASE):

- If the farmhouse is not disassembled at the initiation of the construction phase, manage fugitive dust emissions
 - Draft a fugitive dust emissions plan following practices outlined in the *Ontario Standards Development Branch Technical Bulletin: Management Approaches for Industrial Fugitive Dust Sources* (2017).
- If the farmhouse is not disassembled at the initiation of the construction phase, engage a qualified vibration specialist to determine if the Sargent Farmhouse will be impacted by vibrations and whether any mitigation measures are necessary.

LONG-TERM CONSERVATION ACTIONS

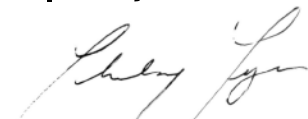
- Implement the commemorative plan which could include a commemorative plaque on the new parcel in a location and manner that will be visible from public rights of way but will not impact the reconsolidated heritage attributes of the building.

7 CLOSURE

We trust that the information presented in this memo meets your current requirements. Should you have any questions, or concerns, please do not hesitate to contact the undersigned.

WSP Canada Inc.

Prepared by:

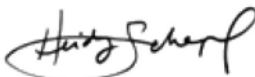


Chelsey Collins (Tyers), BES, MCIP, RPP
Cultural Heritage Specialist
chelsey.tyers@wsp.com

Reviewed by:



Kanika Kaushal, B.Arch., M.Arch., CAHP, APT, Intern
Architect, MRAIC
Senior Cultural Heritage Specialist
kanika.kaushal@wsp.com



Heidi Schopf, MES, CAHP
Cultural Heritage Team Lead
heidi.schopf@wsp.com

8 SOURCES CITED

Brampton, City of, 2022. Brampton Heritage Commemoration Plan Terms of Reference. Retrieved from: <https://pub-brampton.escribemeetings.com/filestream.ashx?DocumentId=69660>

Brampton, City of, 2000. City of Brampton Official Plan 2006. September 2020 Consolidation. Retrieved from: https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf

Brampton, City of, n.d. (a). Brampton Documentation and Salvage Plan Terms of Reference. Retrieved from: <https://pub-brampton.escribemeetings.com/filestream.ashx?DocumentId=93138>

Brampton, City of, n.d. (b). Heritage Building Protection Plan: Terms of Reference. Retrieved from: https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Heritage/Documents/HBPP_Terms_of_Reference_FINAL.pdf

ICOMOS Canada. Appleton Charter for the Protection and Enhancement of the Built Environment. <https://www.icomos.org/images/DOCUMENTS/Charters/appleton.pdf>

Jerome, Pamela, 2008. An Introduction to Authenticity in Preservation. *APT Bulletin: Journal of Preservation Technology*. 39:2-3. Retrieved from: <https://www.apti.org/assets/docs/JeromePamela-39-2-3.pdf>

Kalman, Harold and Marcus Létourneau, 2020. Heritage Planning: Principles and Process. Routledge, New York.

Ministry of Multiculturalism and Citizenship (MCM), 2022. Eight guiding principles in the conservation of built heritage properties. Retrieved from: <https://www.ontario.ca/page/eight-guiding-principles-conservation-built-heritage-properties>

New Zealand Transport Agency, 2015. Historic Heritage Impact Assessment Guide for State Highway Projects. New Zealand Government, Wellington.

Ontario Standards Development Branch, 2017. Technical Bulletin: Management Approaches for Industrial Fugitive Dust Sources. <https://files.ontario.ca/management-approaches-for-industrial-fugitive-dust-sources.pdf>

Parks Canada Agency, 2010. Standards and Guidelines for Historic Places In Canada. <https://www.historicplaces.ca/en/pages/standards-normes>

Sprinkle, John R., 2014 Crafting Preservation Criteria: The National Register of Historic Places and American Historic Preservation. Routledge, New York.



Appendix A

11185 Airport Road, Structural Condition Assessment,
Tacoma Engineers, March 21, 2024

11185 Airport Road Structural Condition Assessment

11185 Airport Road
Brampton Ontario



Prepared by:



176 Speedvale Avenue West
Guelph, ON
TE-43401-24

March 21, 2024

Table of Contents

1. Introduction	1
2. Background and Building History	1
3. Scope and Methods	1
4. Definitions	2
5. General Structural Conditions	3
5.1. Second Floor	3
5.2. Ground Floor	4
5.3. Basement	5
5.4. Summer Kitchen	6
5.5. Exterior	8
6. Relocation Feasibility	11
7. Conclusions	11

List of Photographs

Photograph 1a & b: Relative deflection of wall based on offset from tension rod	3
Photograph 2: Section of removed ceiling finishes at the middle of the south wall	4
Photograph 3: Notched joist behind furnace	5
Photograph 4: Undermined section of foundation wall	6
Photograph 5: Water damage to ceiling finishes	7
Photograph 6: Water damage to floor finishes	7
Photograph 7: Cracks and displacement at accent masonry	8
Photograph 8: Typical condition of exterior walls	9
Photograph 9: Inconsistent coursing	9
Photograph 10: Repair of past holes	10
Photograph 11: Condition of chimney	10

1. Introduction

Tacoma Engineers has been retained by Opal Valley Developments Inc. to carry out a structural condition assessment of an existing two-storey residential building located at 11185 Airport Road in Brampton. The undersigned attended the site on March 4th, 2024, accompanied by representatives of Opal Valley Developments.

This report includes a summary of the following items for the building:

- major structural systems;
- existing structural conditions and areas of potential concern; and
- structural commentary and recommendations related to future development plans.

2. Background and Building History

This assessment is being undertaken for Opal Valley Developments Inc. and is intended to form part of the preparation work for a new development on the property. It is understood that the building cannot remain in its current location due to interference with the proposed development layout. The primary purpose of this assessment is to review the structural condition of the building as it relates to the feasibility of relocation.

The two-storey residential dwelling at 11185 Airport Road is constructed of multi-wythe brick, complete with wood-framed roof, floors, and partition walls. The building is constructed on rubble-stone foundations, with triple-wythe ground floor walls and double-wythe second floor walls. It measures approximately 88m² in building area with a summer kitchen on the rear, measuring approximately 34m² in building area (122m² total). For the purpose of this report, the west elevation of the building is assumed to face Airport Road.

No previous work has been completed by Tacoma Engineers on this building for this or any other owner.

3. Scope and Methods

This report is based on a visual inspection only and does not include any destructive testing. Where no concerns were noted, the structure is assumed to be performing adequately. No further structural analysis or building code analysis has been carried out as part of this report unless specifically noted.

Note that most of the spaces in the building have applied finishes that preclude a direct visual assessment of the structural systems. Limited areas are unfinished, and a review of the primary structure was possible in these areas.

A visual review of all accessible spaces was completed on March 4th, 2024, and photographs were taken of all noted deficiencies.

4. Definitions

The following is a summary of definitions of terms used in this report describing the condition of the structure as well as recommended remedial actions.

- **Condition States¹:**

1. Excellent – Element(s) in “new” condition. No visible deterioration type defects present, and remedial action is not required.
2. Good – Element(s) where the first signs of minor defects are visible. These types of defects would not normally trigger remedial action since the overall performance is not affected.
3. Fair – Element(s) where medium defects are visible. These types of defects may trigger a “preventative maintenance” type of remedial action where it is economical to do so.
4. Poor – Element(s) where severe or very severe defects are visible. These types of defects would normally trigger rehabilitation or replacement if the extent and location affect the overall performance of that element.

In addition to the definitions listed above, it should be noted that the building in question is listed on the municipal heritage register. The Standards and Guidelines for the Conservation of Historic Places in Canada provide direction when a structural system is identified as a character-defining element of an historic place. They also provide direction on maintaining, repairing, and replacing structural components or systems². Refer to the General Guidelines for Preservation, Rehabilitation, and Restoration to further inform the development of more detailed remedial actions.

¹ Adapted from “Structural Condition Assessment”, 2005, American Society of Civil Engineers/Structural Engineering Institute

² “Standards and Guidelines for the Conservation of Historic Places in Canada”, 2nd Edition, 2010, www.historicplaces.ca

5. General Structural Conditions

The building is constructed as a one and a half-storey masonry and wood-framed structure. Exterior walls are constructed with multi-wythe brick, and the roof, floors, and partition walls are constructed with wood framing.

For clarity, this report has been arranged by floor, with specific attention called to rooms or areas where deficiencies were noted.

5.1. Second Floor

Construction

The construction of the second floor consists of:

- 4"x6" roof rafters at 16" on centre spanning east-west between exterior walls.
- 2"x6" raised ceiling joists at 16" on centre spanning east-west, hung from the rafters at the ridgeline by 1"x3" boards.
- Wood framed partition walls with lathe and plaster finish.
- Double-wythe brick exterior walls with direct applied plaster finish.

Steel tension rods are present approximately 8-10" above finished floor elevation spanning between plates on the outside of the exterior walls.

Conditions

The second floor and attic were generally in fair condition, with damage to localized areas of finishes on the walls.

The exception was a significant horizontal (out of plane) deflection in the south wall, both along the height and length of the wall. A deflection of approximately 2-3" was measured at mid-length of the wall near the finished floor elevation. Refer to Photograph 1a and 1b for the relative deflection based on the offset of the wall to the tension rod.



Photograph 1a & b: Relative deflection of wall based on offset from tension rod

Refer to Section 5.2 Ground Floor and Section 5.5 Exterior for further discussion on the condition of the south wall.

5.2. Ground Floor

Construction

The construction of the ground floor consists of:

- 2-1/2"x10" floor joists at 16" on centre spanning north-south between exterior walls and interior loadbearing walls.
- Wood framed partition walls with lathe and plaster finish.
- Triple-wythe brick exterior walls with direct applied plaster finish.

Conditions

The ground floor was generally in fair condition, with damage to localized areas of finishes and separation of joints in the trim around select wall openings.

A section of ceiling finishes was removed at the southwest corner of the building and approximately at the middle of the south wall (refer to Photograph 2). Due to the absence of damage or evidence of movement, it is unlikely that the deflection on the second floor was caused by an outward movement of the wall after construction. It is assumed that the wall was built out of plumb. Refer to Section 5.5 Exterior for further discussion on the condition of the south wall.



Photograph 2: Section of removed ceiling finishes at the middle of the south wall

A significant slope of the ground floor structure was also noted throughout. The slope is indicative of differential settlement between the interior and exterior bearing walls.

5.3. Basement

Construction

The basement is located below the south half of the home. Its construction consists of:

- 4"x10" floor joists at 24" on centre spanning north-south between exterior foundation walls and an interior foundation wall.
- 16" thick rubble stone foundation walls with localized areas covered in parging.
- Dirt floor with areas of roughly poured concrete.

Wood shoring posts had been installed in localized areas below individual floor joists.

The north half of the home and summer kitchen are built above shallow crawl spaces with joists spanning in the north-south direction.

Conditions

The basement was generally in fair condition. A notched joist was noted behind the furnace (Photograph 3), and the foundation wall was undermined in a localized area where a water supply pipe enters the building on the west wall (Photograph 4). The foundation walls also exhibit signs of deterioration due to moisture.

One shoring post was installed to support a cut joist, and others to support other localized areas of floor. It is unlikely that the shoring posts bear on footings.



Photograph 3: Notched joist behind furnace



Photograph 4: Undermined section of foundation wall

5.4. Summer Kitchen

Construction

The construction of the summer kitchen consists of:

- 4"x6" roof rafters at 36" on centre spanning north-south between exterior walls.
- 2"x6" ceiling joists at 16" on centre spanning north-south between exterior walls.
- 8" round heavy timber floor joists spanning north-south.
- Multi-wythe brick exterior walls.

Conditions

The finishes in the summer kitchen were generally of poor quality and/or in poor condition. Water damage was noted to the ceiling and floor finishes, as seen in Photograph 5 and 6, which could pose a larger concern to the underlying structure.



Photograph 5: Water damage to ceiling finishes



Photograph 6: Water damage to floor finishes

5.5. Exterior

Construction

The exterior of the building is constructed of multi-wythe brick. The bricks of the main portion of the building are not cut where the summer kitchen connects; however, the walls do terminate, suggesting that the summer kitchen may be original to the home. The summer kitchen walls are inserted into the main building walls; however, they are not keyed in nor do the courses align.

Steel tension rods are installed below the soffit height at each corner in the main portion of the building. The tension rods are oriented in both directions.

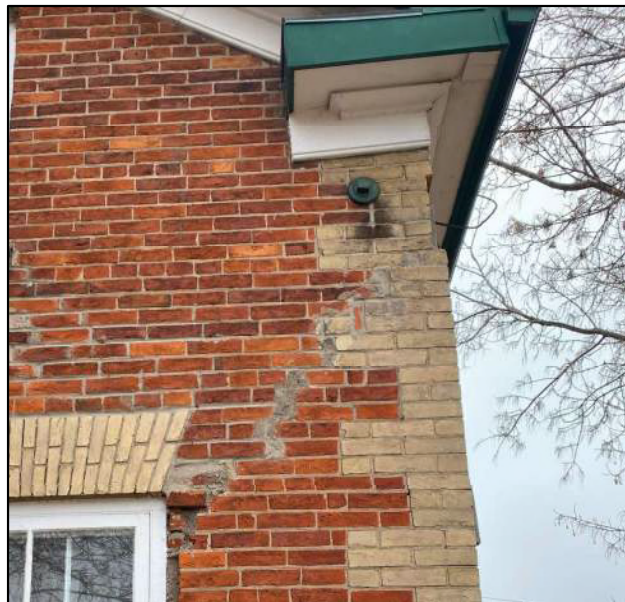
Conditions

The deflection noted on the interior of the south wall was also apparent from the exterior, along with deflections to the west and north elevations. Cracks and displacement of bricks were also visible at the corners of each wall where the accent masonry had pulled away from the surrounding masonry, as seen in Photograph 7. Some cracks extended well into the surrounding masonry. The tension rods appeared to be installed to restrain this outward movement; however, their effectiveness is unclear.

Deterioration was noted on each elevation below windows, consistent with damage from water ingress. Diagonal cracks were also noted extending upward from the top corners of windows. Loose or damaged bricks were present in the jack arches above windows at several locations. Several failed repairs were evident, many with non-compatible materials. The typical condition of the walls can be seen in Photograph 8. Inconsistent coursing was also noted on the south elevation, as seen in Photograph 9, which does not appear to be due to movement, rather it appears to have been constructed this way.

Areas were noted throughout the walls where past repairs had been made to larger openings by filling the holes with large amounts of mortar and cutoffs from brick (Photograph 10).

The roof rafters had notable deflections, and the chimney above the roof line had several loose and spalled bricks, as visible in Photograph 11. The loose bricks at the chimney and jack arches pose a safety concern from falling material.



Photograph 7: Cracks and displacement at accent masonry



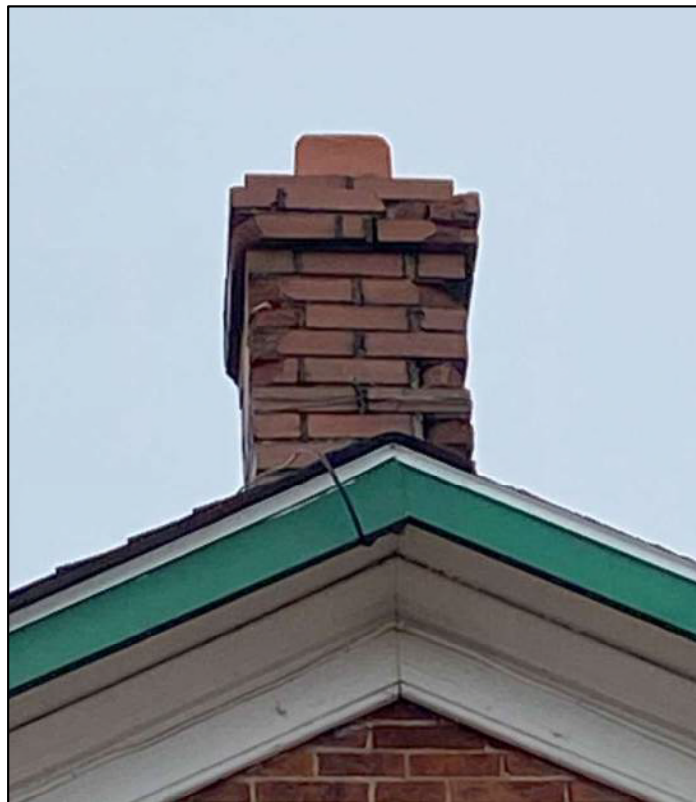
Photograph 8: Typical condition of exterior walls



Photograph 9: Inconsistent coursing



Photograph 10: Repair of past holes



Photograph 11: Condition of chimney

6. Relocation Feasibility

Tacoma Engineers was asked to review the relocation feasibility of the house at 11185 Airport Road with respect to the suitability of the structural elements only.

The summer kitchen walls are not suitably tied-in to the main portion of the building. This creates a weak point during relocation which could result in differential movement or separation of the two parts of the building.

The irregular and out of plane masonry walls – in combination with the displaced bricks, cracked joints at the corners of the building, and the inconsistent coursing – creates an unstable condition under the loads from relocation which the building is not typically subjected to. The south wall would likely require a full replacement, and the step cracks on the north and east walls would require extensive restoration before the structure would be in suitable condition to relocate, including rebedding a large number of the bricks.

Loose material at the jack arches and chimney, along with several cracks and poor repairs increase the risk of instability during a relocation attempt. The extent of restoration required would adversely affect a significant volume of the historic fabric. These repairs would be in addition to the bracing and stabilization work required during a relocation attempt.

The sloping floor is indicative of differential settlement between the interior and exterior bearing walls. By relocating the building to a new foundation, only partial recovery of the slope could be achieved. Constructing the new foundations with a varying height is impractical and would pose a challenge to relocating the building.

Due to the instability of the building and the extent of repair required, the building at 11185 Airport Road is not a good candidate for relocation.

7. Conclusions

In general, the interior of the building is in fair condition. The exterior of the building is generally in poor condition. Due to the deficiencies noted, the additional loads and deflections imposed during a relocation attempt would have critical impacts to the overall stability of the structure. The extent of repair required to stabilize the structure would be both uneconomical and adversely affect a significant volume of the historic fabric of the building. The building at 11185 Airport Road is not a good candidate for relocation.

Please contact the undersigned with any further questions or comments.

Per



Andrew Watson, EIT
Structural Designer
Tacoma Engineers

Will Teron, P.Eng., CAHP
Director – Heritage & Investigation, Principal
Tacoma Engineers





Appendix B

**Email Correspondence from Tacoma Engineers
regarding brick salvage**

From: Will Teron <willt@tacomaengineers.com>

Sent: Tuesday, July 16, 2024 9:35 AM

To: Tony Priori <tonyp@northstarhomesinc.com>

Cc: Collins, Chelsey <Chelsey.Tyers@wsp.com>; Maria Jones <maria@candevcon.com>; Frank <frankd@northstarhomesinc.com>; Daniel <danielt@northstarhomesinc.com>

Subject: RE: Opal Valley Developments 11185 Airport Road HIA Addendum

Based on our review in March, we would estimate a salvage rate between 60-70%. This is based on the condition of the exterior wythe brick. We could not assess the interior wythe brick – condition nor suitability for exterior exposure. Not all interior brick was fired such that it can be used as exterior brick. To further compound the challenge of re-bricking the house is the two colours. The interior brick is likely red so in the end you may have a shortage of yellow brick. As you suggest, you will only know the final quantity of brick available after deconstruction and salvage work is complete.

Will Teron, P.Eng., FEC, CAHP

Director - Heritage & Investigation, Principal

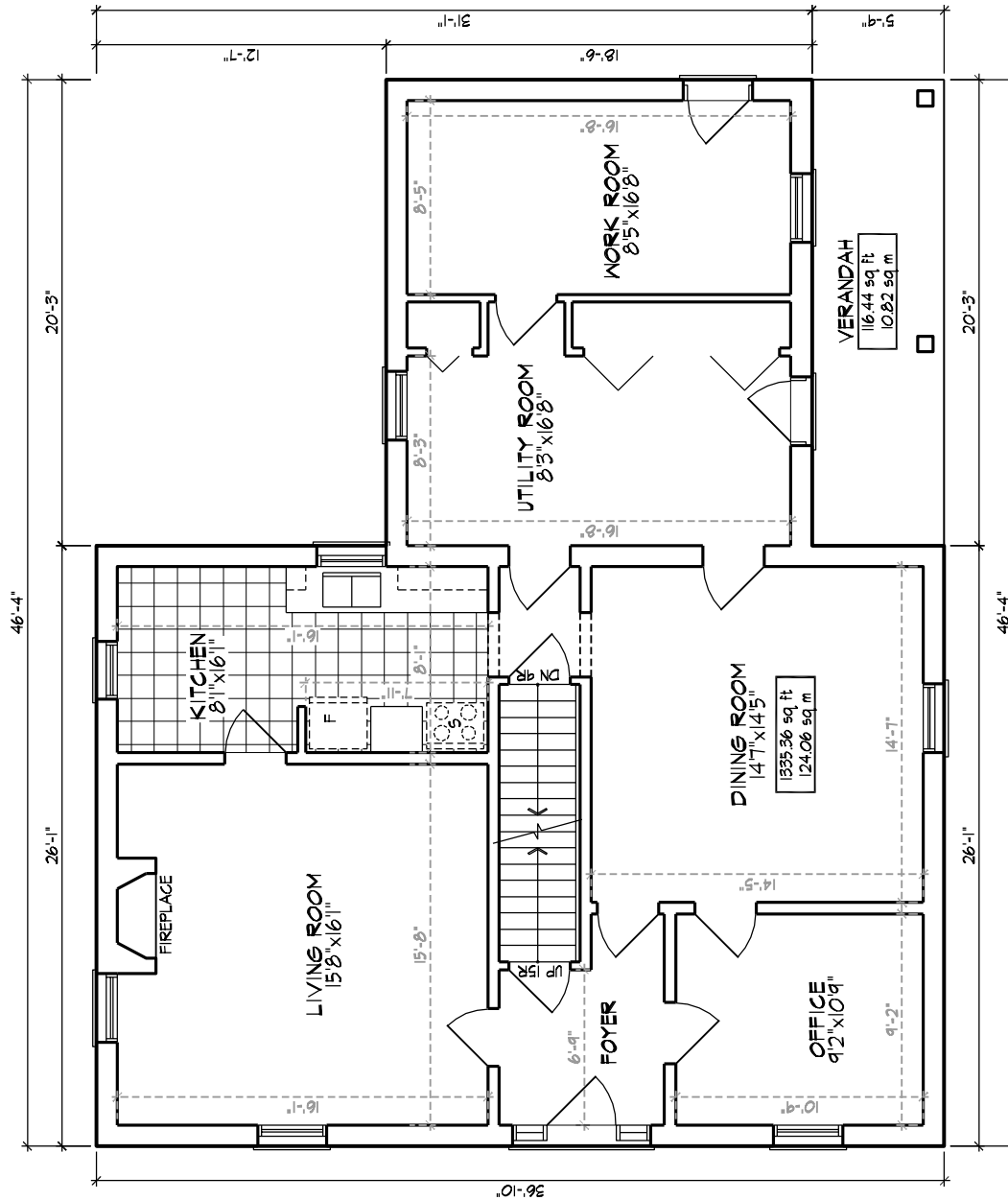
TACOMA ENGINEERS EXPERIENCE TRUST

[519-763-2000 x219](tel:519-763-2000) | [519-837-5910 \(mobile\)](tel:519-837-5910)



Appendix C

**Existing Floor Plans and
Elevations for the Sargent Farmhouse**



1335 sq ft
COVERAGE W/O PORCH
1335 sq ft
COVERAGE W/ PORCH
1452 sq ft



OPAL VALLEY DEVELOPMENTS #224002

11185 AIRPORT ROAD, BRAMPTON, ON

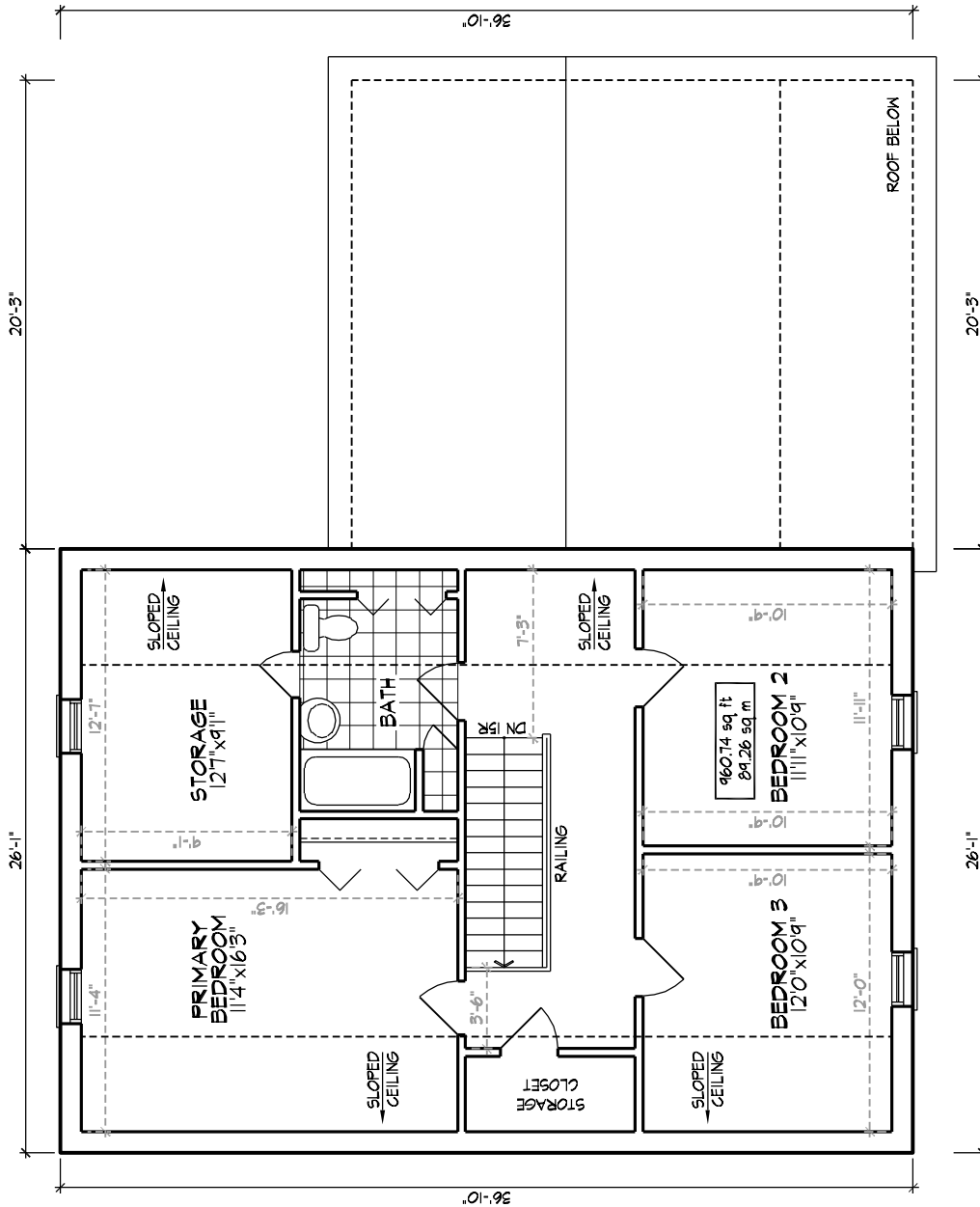
8966 Woodbine Ave, Markham, ON L3R 0J7 ■ T 905.737.5133

APR. 2024

MA

All drawings specifications, related documents and design are the copyright property of Hunt Design Associates (H.D.A). Reproduction of this property in whole or in part is strictly prohibited.

VERIFICATIONS MUST BE VERIFIED BY THE BUILDER (TYP)



EXISTING SECOND FLOOR PLAN

461 sq ft	461 sq ft
GROSS FLOOR AREA	461 sq ft
DEDUCT OPEN AREAS	0 sq ft
NET AREA	461 sq ft



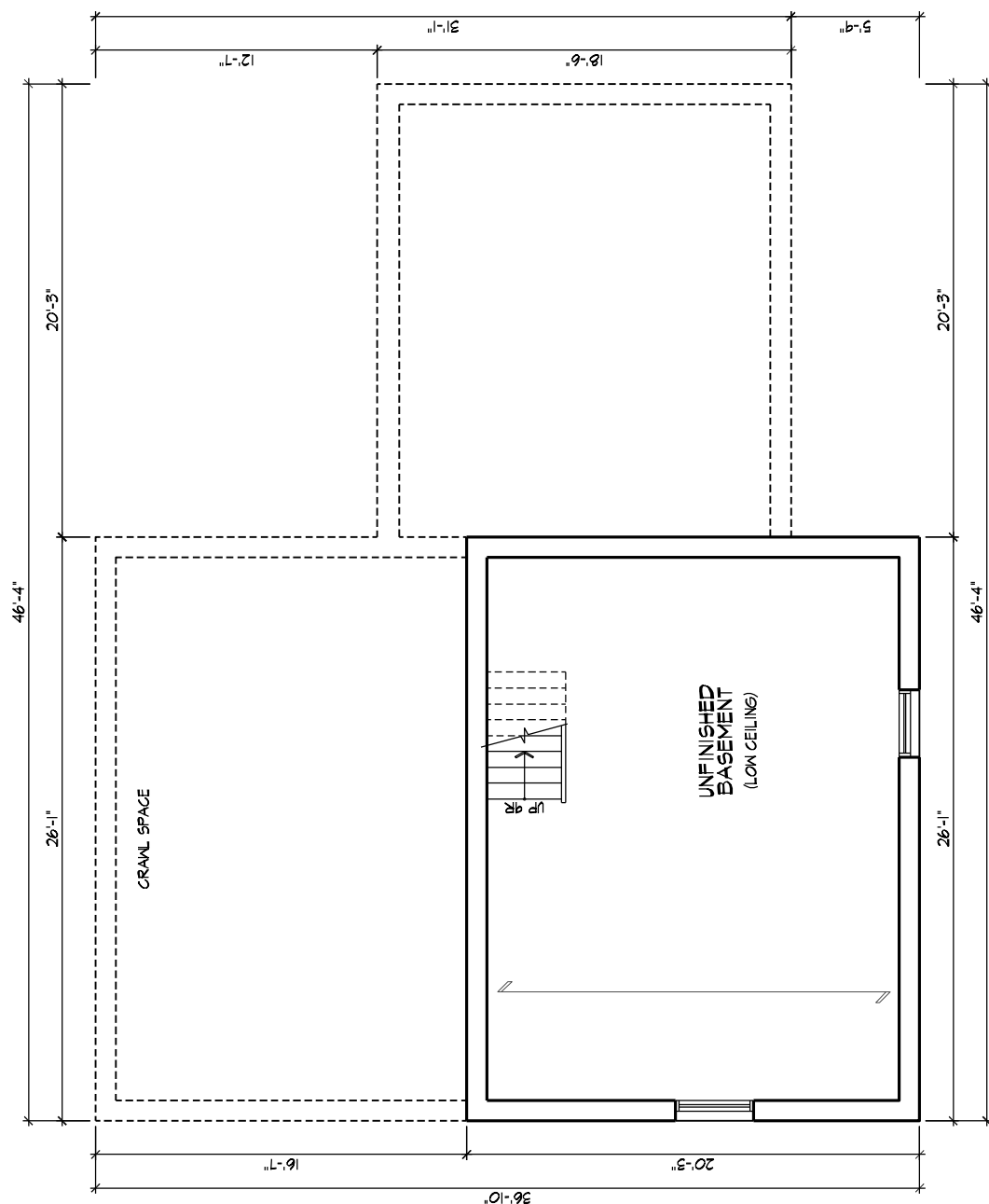
OPAL VALLEY DEVELOPMENTS #224002

11185 AIRPORT ROAD, BRAMPTON, ON

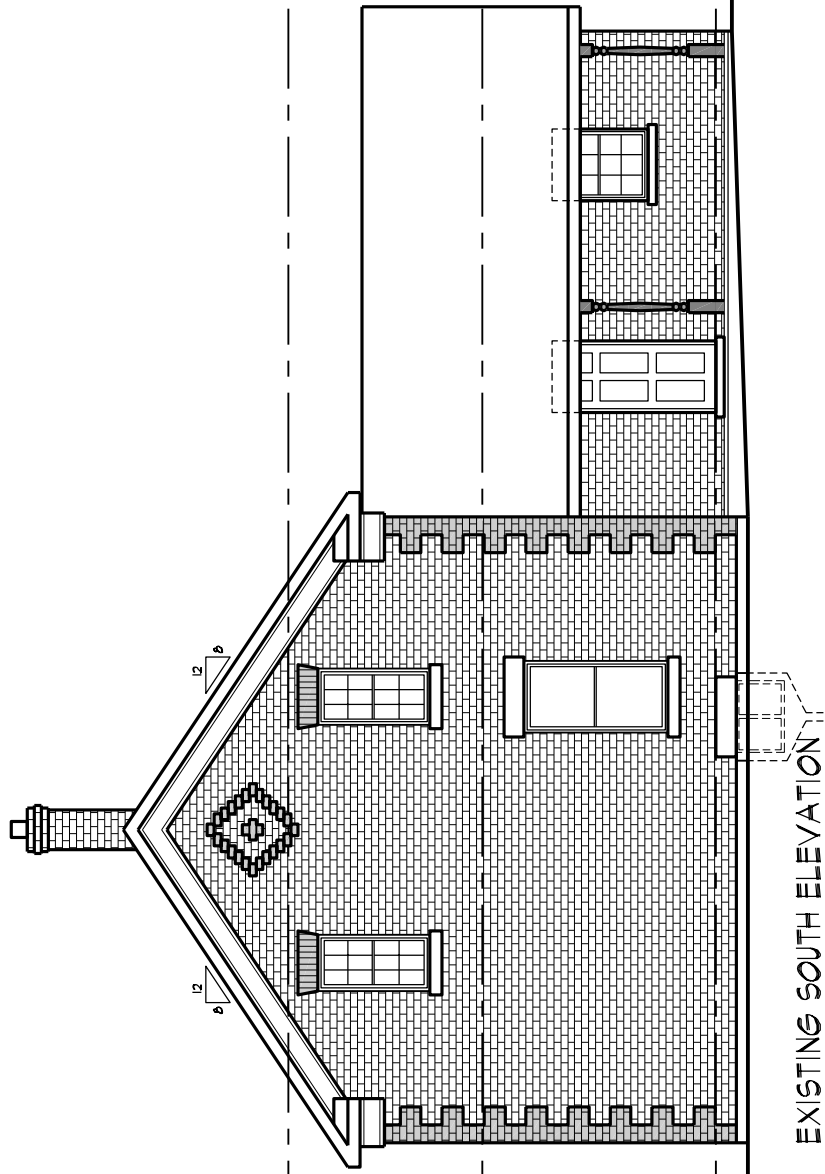
8966 Woodbine Ave, Markham, ON L3R 0J7 ■ T 905.737.5133 ■

APR. 2024 ■ MA ■

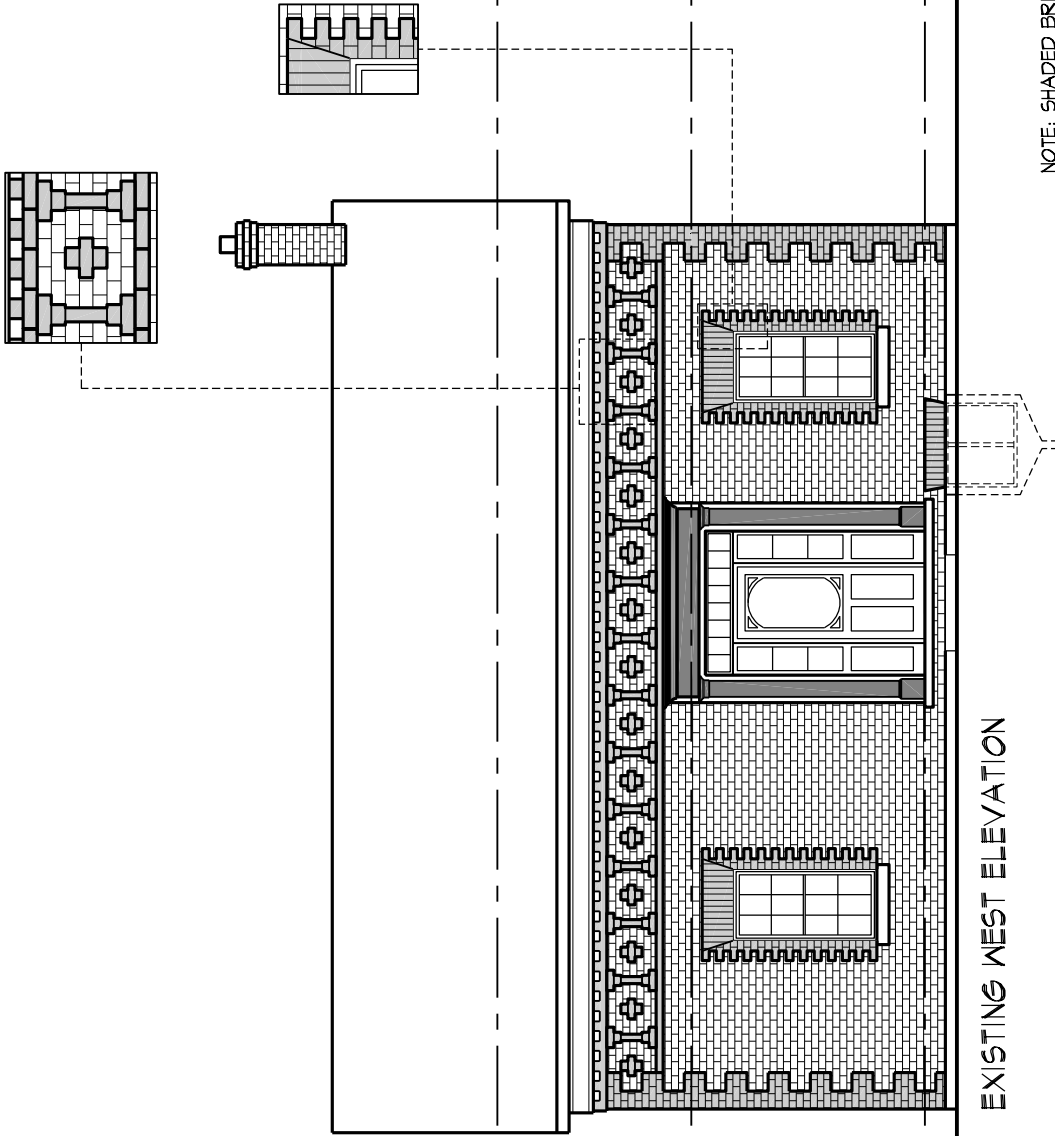
All drawings specifications, related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited.



EXISTING BASEMENT PLAN
0 sq ft



EXISTING SOUTH ELEVATION



EXISTING WEST ELEVATION

NOTE: SHADED BRICKS SHOWN ARE THE BUFF COLOURED BRICKS. THE REST ARE THE RED BRICKS

BRICK COUNT
(APPROXIMATE)

	BUFF BRICK	RED
EXISTING NORTH ELEV.	57.09 S.F.	585.88 S.F.
EXISTING EAST ELEV.	43.44 S.F.	428.71 S.F.
EXISTING WEST ELEV.	108.21 S.F.	343.56 S.F.
EXISTING SOUTH ELEV.	40.85 S.F.	584.14 S.F.
TOTAL	249.59 S.F.	1942.09 S.F.

OPAL VALLEY DEVELOPMENTS #224002

11185 AIRPORT ROAD, BRAMPTON, ON

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

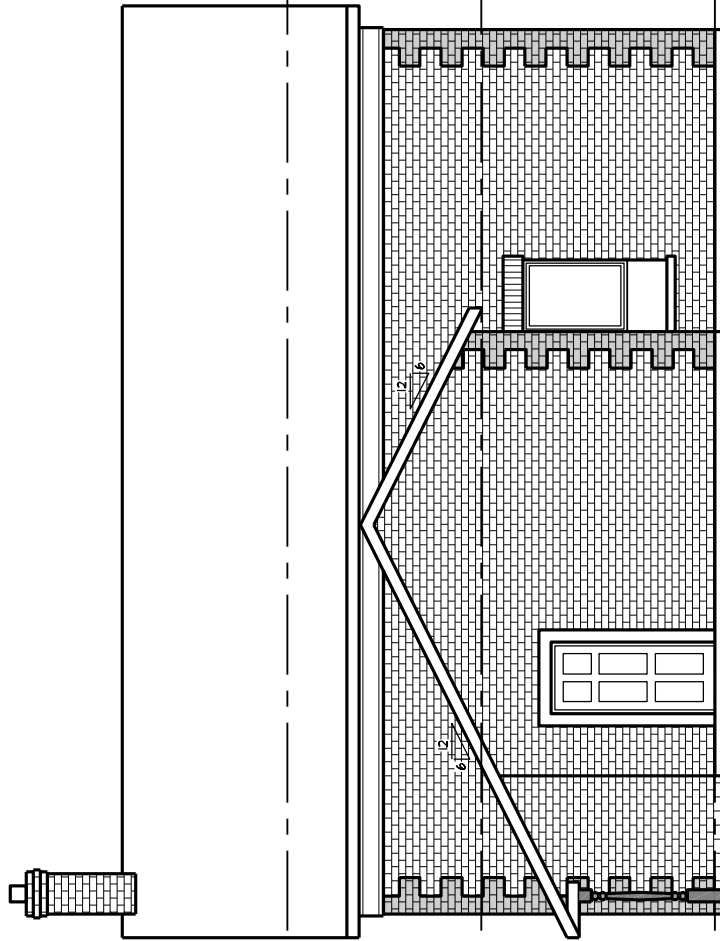
8966 Woodbine Ave, Markham, ON L3R 0J7 ■ T 905.737.5133 ■

APR. 2024

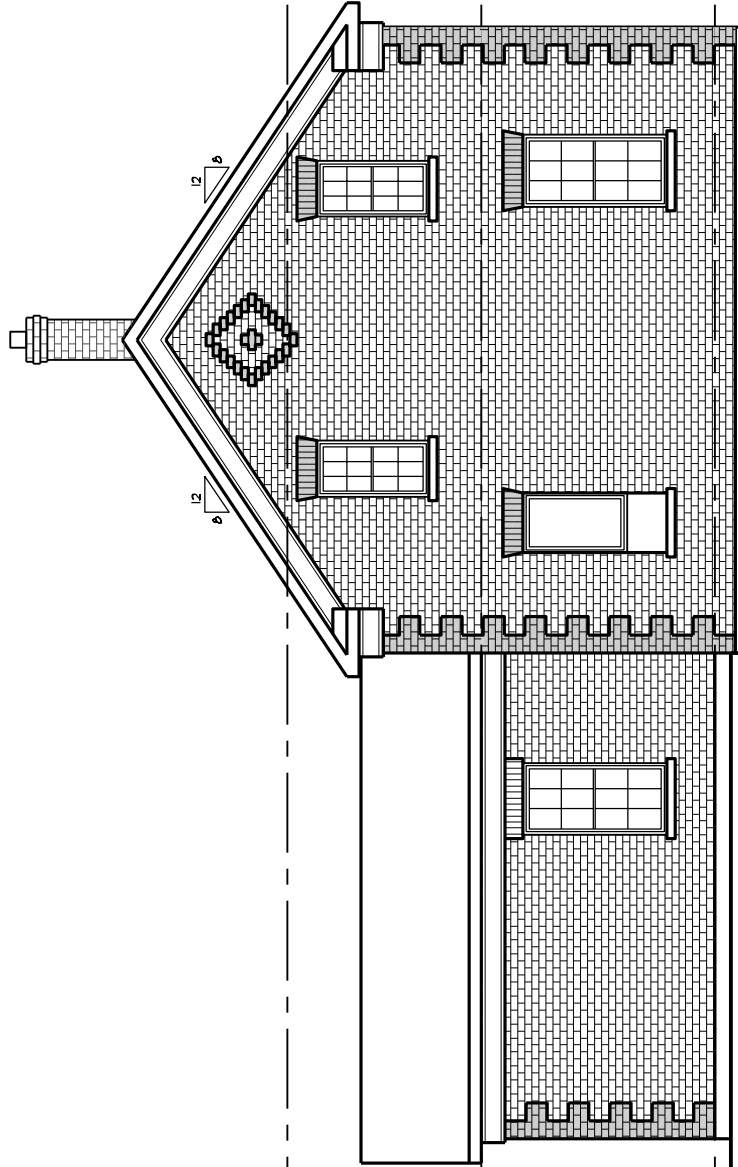
MA

■

All drawings specifications, related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited.



EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION



Appendix D

**Site Plan, Floor Plan and Elevations
for Proposed Dwelling on Lot 8**

56.31m

4.50

West Section - only this section to receive salvaged bricks

salvaged
brick
storage

21.4m

new brick -
Ontario size

new brick -
Ontario size

8107

37.12m(P)
37.19m(M)

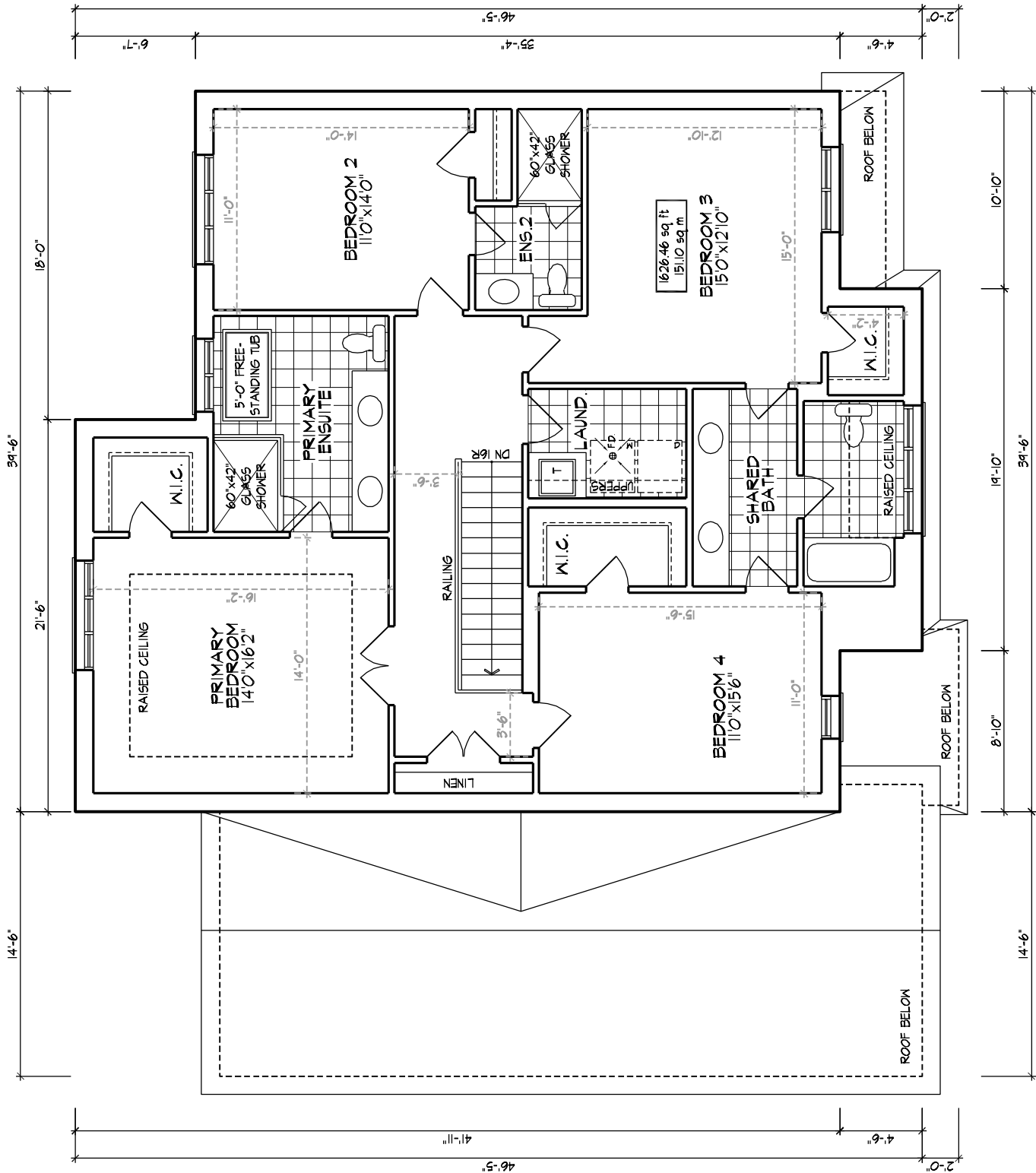
N81°45'50"E (P)
N82°04'35"E (M)

LAUDERHILL ROAD

Page 559 of 709



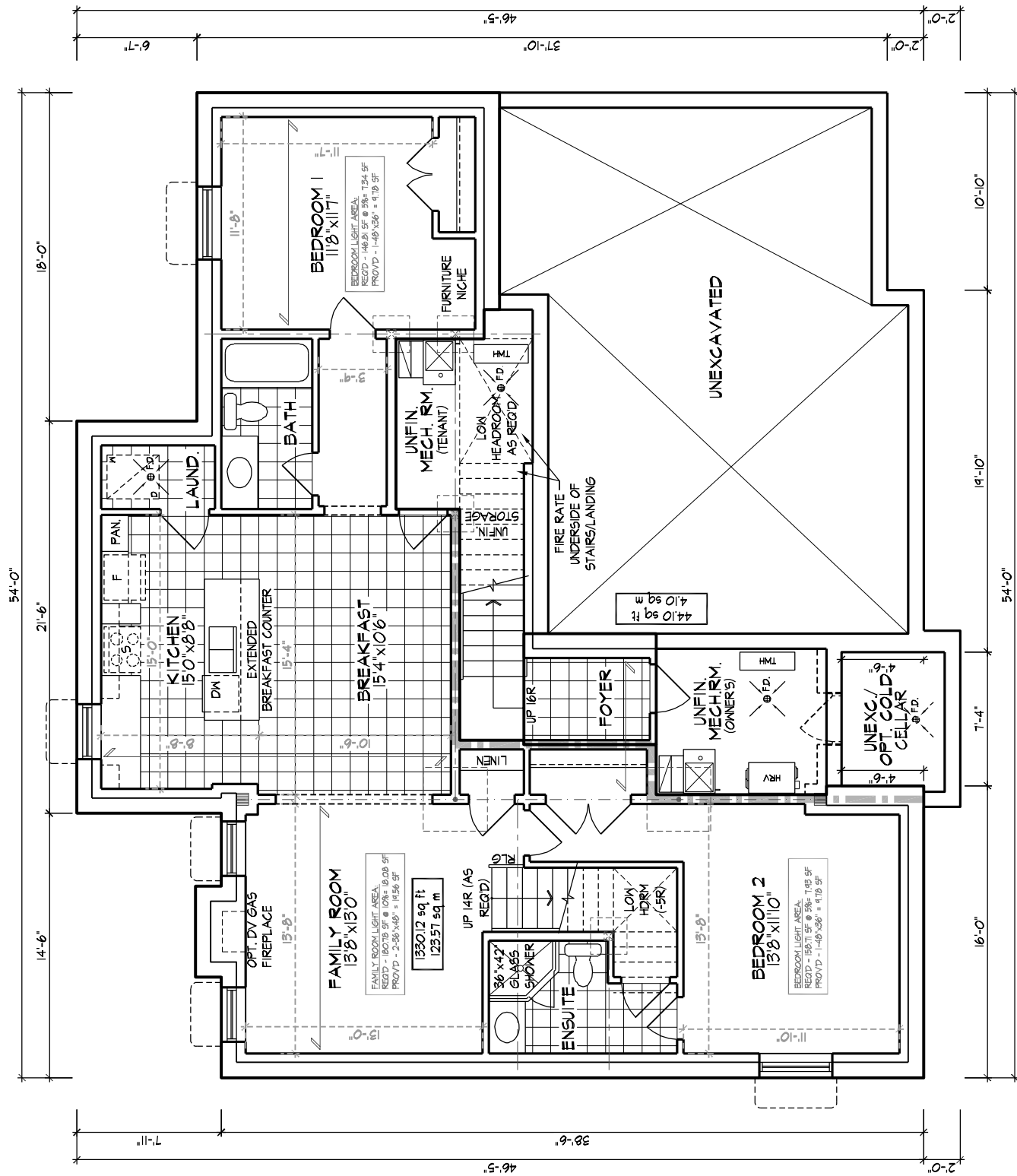




SECOND FLOOR PLAN
1626 sq ft
GROSS FLOOR AREA
DEDUCT OPEN AREAS
NET AREA

9'-0" CEILING





BASEMENT PLAN	
MAIN SUITE	BSMT. SUITE
EL. 'A'	44 S.F.
	1330 S.F.

BASEMENT PLAN, E
 1574 sq ft

OPAL VALLEY DEVELOPMENTS - 224002

BRAMPTON, ON.

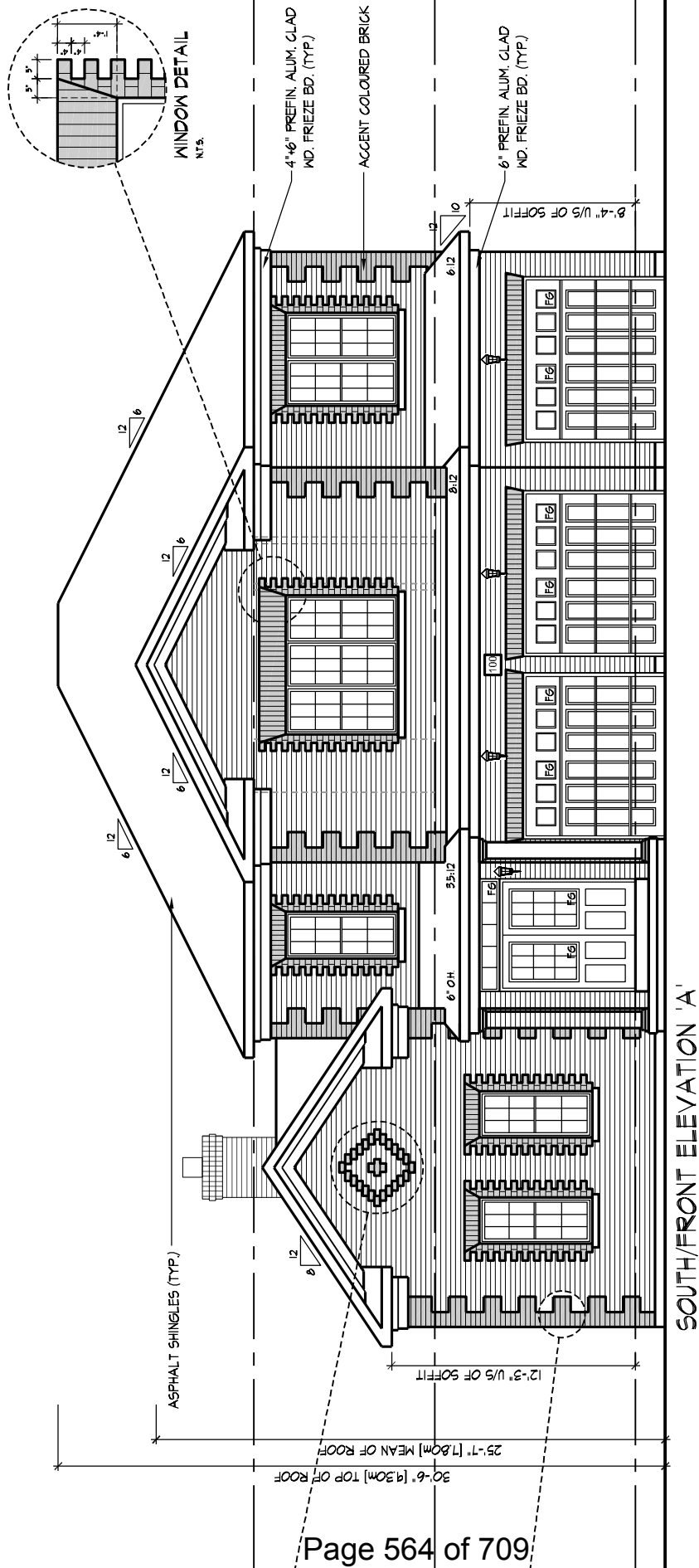
8966 Woodbine Ave, Markham, ON L3R 0J7 ■ T 905.737.5133 ■

HUNT
 DESIGN ASSOCIATES INC.

www.huntdesign.ca

JAN. 2024 ■ MA

All drawings specifications, related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited.



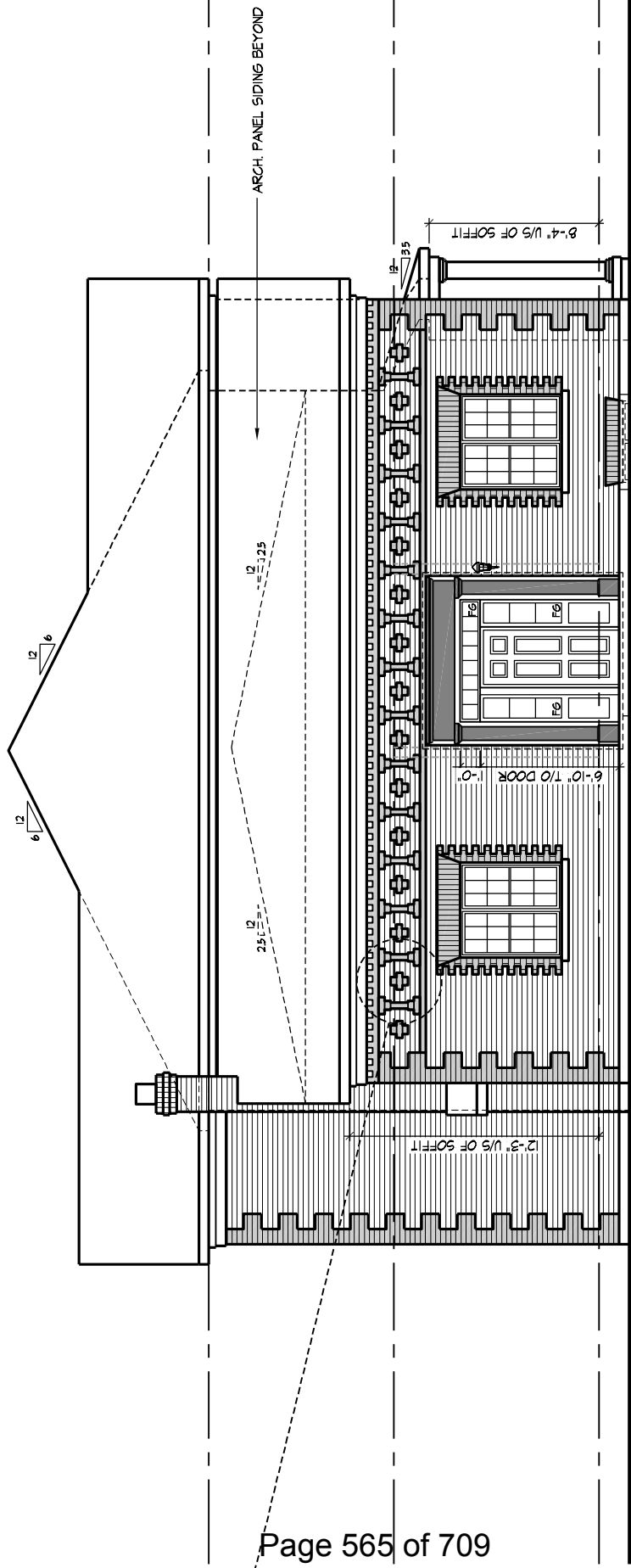
Item	manufacturer	product	colour
New Brick	Brampton Brick	Arch.Series Modular	Red & Buff (Velour)
Shingles	IKO Cambridge	Lifetime laminated	Harvard Slate
Aluminum Goods	Kaycan	Trough/facia/dwnpipe	White
Window Frames	Jeldwen	Vinyl	White
Painted elements	Benjamin Moore	Exterior semi-gloss	Cloud White OC-130

BUFF' COLOUR MAS

RED' COLOUR MAS

NOTE: REISE AS MANY EX
KING OF THE PROPOSED N
VERIFIED AND AP
MORTAR TO I

SP/	LT	MA
EXPOS	FAC	
PORTION		
LIMITING		
MAX. %		
QUAN.	2	
	1	
	0	
	0	
	0	
	1	
	2	
OPENING		
OPENING		
GLAZED		
MINU		



WEST/LEFT SIDE ELEVATION 'A'

EXTENTS OF SPATIAL
CALCULATIONS.
REFER TO WINDOW SUMMARY FOR
ADDITIONAL INFORMATION

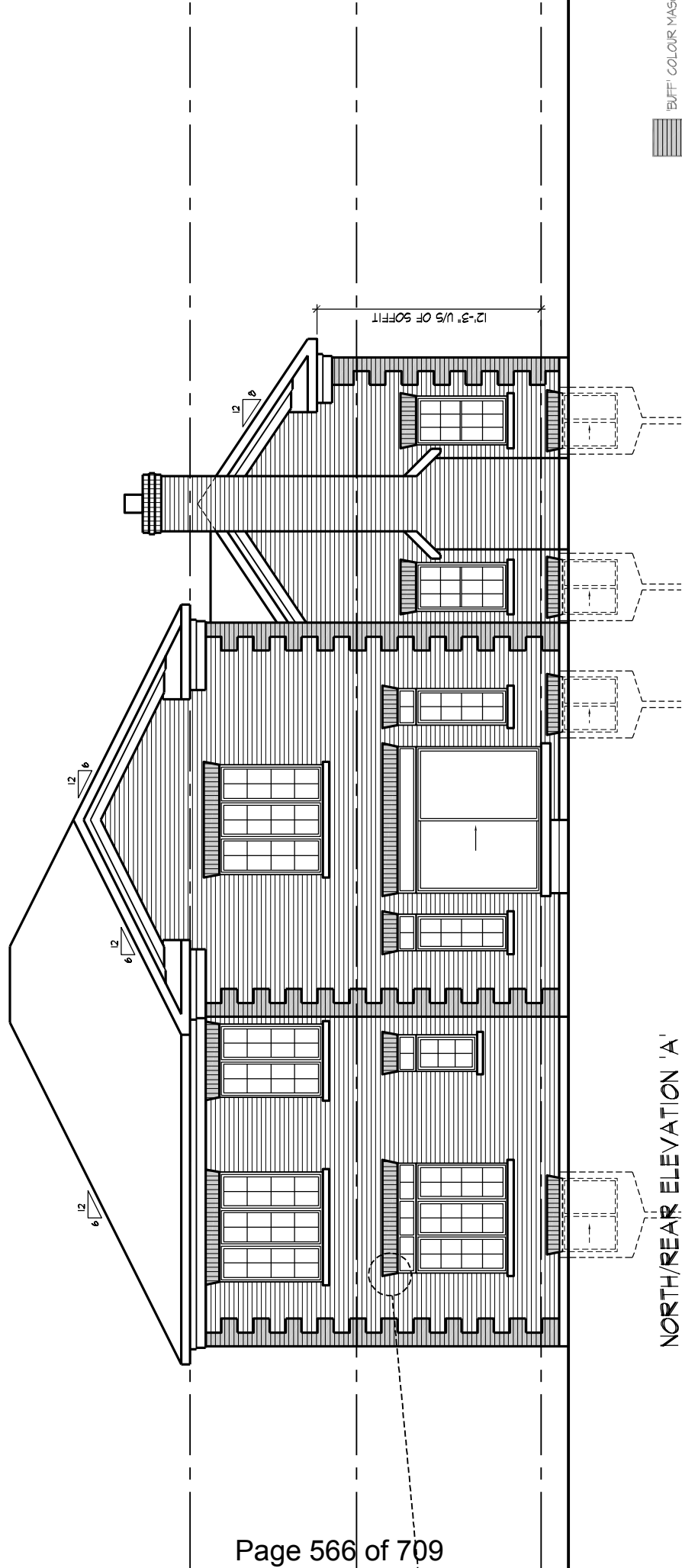
NOTE: REUSE AS MANY EX
KING OF THE PROPOSED N
VERIFIED AND AP
MORTAR TO I

OPAL VALLEY DEVELOPMENTS - 224002

HUNT
DESIGN ASSOCIATES INC.
www.huntdesign.ca

BRAMPTON, ON.
8966 Woodbine Ave, Markham, ON L3R 0J7 ■ T 905.737.5133 ■
All drawings specifications, related documents and design are the copyright property of Hunt Design Associates (H.D.A.). Reproduction of this property in whole or in part is strictly prohibited.

JAN. 2024 ■ MA



NORTH/REAR ELEVATION 'A'

■ BUFF COLOUR MASS
■ RED COLOUR MASS

NOTE: REUSE AS MANY EXISTING ELEMENTS AS POSSIBLE TO MINIMIZE THE AMOUNT OF NEW CONSTRUCTION. REUSE OF THE PROPOSED MATERIALS IS VERIFIED AND APPROVED BY THE ENGINEER. MORTAR TO MATCH EXISTING.



Report
Staff Report
 The Corporation of the City of Brampton
 9/17/2024

Date: 2024-08-23

Subject: **Heritage Permit Application for 7 & 9 Wellington Street E (PAMA) –Ward 3**

Contact: Arpita Jambekar, Heritage Planner, Integrated City Planning

Report number: Planning, Bld & Growth Mgt-2024-693

RECOMMENDATIONS:

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, to the Brampton Heritage Board Meeting of September 17th 2024, re: **Heritage Permit Application for 7 & 9 Wellington Street E –Ward 3**, be received; and
2. That the Heritage Permit application for 7 & 9 Wellington Street E for repairs to the heritage stone wall, Building 9 (Jail) window replacement and other miscellaneous site improvements at Peel Art Gallery, Museum and Archives, be approved.

OVERVIEW:

- The structure at 7 & 9 Wellington Street East was Designated under Section 29 of Part IV of the Ontario Heritage Act as part of “The Peel County Court House, the Old Brampton Jail and the Old Peel Registry Office, Wellington Street East” in 1978 through City of Brampton By-Law 38-78.
- In accordance with Section 33 of the Ontario Heritage Act, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.
- The owner of 7& 9 Wellington St E submitted a Heritage Permit Application for Heritage Stone wall repairs, Jail Building window replacement, and miscellaneous improvements.
- This report recommends approval of the Heritage Permit subject to the condition that if any heritage attribute is damaged beyond repair, it will be replaced in-kind.

BACKGROUND:

The buildings at 7 & 9 Wellington St E, also known as the Old Peel Registry Office (7 Wellington) and Old Brampton Jail (9 Wellington) were designated under Section 29 of Part IV of the *Ontario Heritage Act* in 1978 through By-Law 38/78. The Heritage attributes for the property include all of the buildings and structures thereon and identifies that they are all of historic, contextual and architectural value or interest.

In accordance with Section 33 of the *Ontario Heritage Act*, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.

The Old Brampton Jail is designated for its architectural style, which is considered representative of the of the 1860's and was designed by notable architect Willian Kaffman of Toronto. The stone construction of the building is a considered a significant heritage attribute as it presents an image of how the law was seen in the middle of 19th century.

CURRENT SITUATION:

The Old Brampton Jail building is proposed to undergo repairs and improvements as part of the Heritage Permit application submitted on 12 July 2024 (see Attachment 1). The scope of work involves masonry repairs to the existing jail rubble stone wall, replacement of the existing building windows, and minor exterior improvements including relocation of a metal service access ladder.

The project scope primarily includes state of good repair conservation activities, which will contribute to the longevity and ongoing maintenance of the heritage asset. The limestone rubble masonry wall repair will include conservation works such as re-pointing with lime-based mortar, removal of previous incompatible mortar repairs, and cleaning the heritage masonry wall per standard conservation best practices, without damage to the heritage masonry wall. The proposed scope also includes like-to-like window replacement in the existing Jail Building, to provide increased thermal and acoustic performance and increase occupant comfort in offices. The installation will be done from the interior to ensure no damage to the existing jail bars and heritage masonry. The existing perimeter wood fence repairs and ladder relocation are proposed to address existing structural or code deficiencies which need to be rectified.

The proposal is sympathetic to the cultural heritage resource and does not negatively impact its heritage attributes. It is recommended that the Heritage Permit application be approved.

CORPORATE IMPLICATIONS:

Financial Implications:

None.

STRATEGIC FOCUS AREA:

The approval of the Heritage Permit noted within this report supports the supports the Culture & Diversity focus Area. The recommendations therein facilitate the conservation of a rare and unique heritage resource that contributes to the understanding of Brampton's early history.

CONCLUSION:

It is recommended that the Heritage Permit Application for 7-9 Wellington Street E be received and approved.

Authored by:

Reviewed by:

Arpita Jambekar
Heritage Planner,
Integrated City Planning

Jeffrey Humble, RPP, MCIP
Manager,
Policy Programs and Implementation

Approved by:

Approved by:

Henrik Zbogor, RPP, MCIP
Director,
Integrated City Planning

Steve Ganesh, RPP, MCIP
Commissioner,
Planning, Building and Growth Management

Attachments:

- Attachment 1 – Heritage Permit Application
- Attachment 2 – Architectural Drawings
- Attachment 3 – 1-9 Wellington Street Designation By-Law 38/78

PART TWO - HERITAGE PERMIT APPLICATION:

HERITAGE PERMIT APPLICATION FORM

In accordance with the Ontario Heritage Act a heritage permit must be issued by City Council for all proposals to erect, remove or alter the exterior of buildings, structures or other features described as heritage attributes within the scope of a heritage designation by-law.

City staff and the Brampton Heritage Board review all applications and then submit them to City Council for approval.

City Council has the authority under the Ontario Heritage Act to approve any heritage application either with or without conditions or to refuse the permit application entirely.

Please provide the following information (type or print)

A. REGISTERED OWNER

NAME OF REGISTERED OWNER(S) Region of Peel - Veronica Leal Marques

TELEPHONE NO. HOME (416) 277 9805 BUSINESS: 905 791 7800 FAX: ()

E-MAIL ADDRESS: veronica.lealmarques@peelregion.ca

MAILING ADDRESS: 10 Peel Centre Drive, Suite B, Brampton, L6T 4B9

B. AGENT

(Note: Full name & address of agent acting on behalf of applicant; e.g. architect, consultant, contractor, etc)

Lead Consultant: Vincent Monaco , Moon Matz Engineers

NAME OF AGENT(S) *Heritage Consultant: Derek Quilliam CAHP, +VG Architects*

TELEPHONE NO. HOME (647) 458 4357 BUSINESS: (416) 588 6370 FAX: ()

E-MAIL ADDRESS: dquilliam@plusvg.com

MAILING ADDRESS: +VG Architects (The Ventin Group Toronto Ltd) 52 Scarsdale Road, Suite 212, Toronto, Ontario M3B 2R7

Note: Unless otherwise requested, all communications will be sent to the registered owner of the property.

C. LOCATION / LEGAL DESCRIPTION OF SUBJECT PROPERTY

7 & 9 Wellington St. E, Brampton, L6W 1Y1	
LOTS(S) / BLOCK(S)	
CONCESSION NO.	REGISTERED PLAN NO.
PART(S) NO.(S)	REFERENCE PLAN NO.
ROLL NUMBER:	
PIN (PROPERTY IDENTIFICATION NO.)	

D. OVERALL PROJECT DESCRIPTION / SUMMARY OF PROPOSAL

Heritage Jail Stone Wall Conservation, Building 9 window replacement, miscellaneous site improvements including wood fence repairs, service access ladder and HVAC screening relocation, all at Peel Museum & Archives, 7-9 Wellington Street East, Brampton ON L6W 1Y1

(Refer to attached Heritage Memo and project documents incl . drawings and specifications, for full detail of the proposals)

E. DESCRIPTION OF WORKS

(Please briefly describe the proposed works as they fit within one or more of the categories below; note the specific features that would be affected. Use separate sheets as required; attach appropriate supporting documentation; point form is acceptable):

Rehabilitation and/or Preventative Conservation Measures (e.g. repointing masonry; note which heritage attributes and features would be impacted and where, materials to be used, specifications and techniques):

Repointing of Historic Jail Masonry wall- Selective removal of crumbled, failed, or inappropriate previous repair mortars. Replacement with colour-matched lime rich conservation mortar. (See Heritage Specification Sections 04 03 05; 04 05 12)

Replacement of Jail Building 9 windows- Replacement of obsolete (c. 1985) double-glazed casement windows with new improved-performance double glazed wood casement windows. The design of the new windows in terms of proportion, dividing lights and general appearance shall be compatible with the style and character of the historic place - (See drawing HC-04). New windows are required to improve occupant comfort, and thermal efficiency and maintain & improve building envelope performance.

~~Major Alterations, Additions and/or~~ **New Construction** (note which attributes to be impacted, location of work, materials to be used, specifications and techniques):

New replacement Wood fence at Parking Lot (Proposed Wood fence is in the same location as the existing, is of similar height and finish, and does not directly impact any heritage fabric)

Relocation of existing metal service access ladder and HVAC screening. (Relocate existing service infrastructure to correct health & safety issue at roof)

Restoration (i.e. replicating or revealing lost elements and features; note which attributes to be impacted and where, materials to be used, specifications and techniques):

None proposed

F. SCOPE OF WORK IMPACTING HERITAGE PROPERTY

(Check all that apply)

NEW CONSTRUCTION IS PROPOSED ☒ New replacement wood boundary fence

DEMOLISH ☐

ALTER ☐

EXPAND ☐

RELOCATE ☒ Relocate existing service access ladder to similar location on wall

G. SITE STATISTICS (For addition and construction of new structures)

LOT DIMENSIONS FRONTAGE _____ DEPTH _____

LOT AREA _____ m²

EXISTING BUILDING COVERAGE _____ %

BUILDING HEIGHT EXISTING _____ m

PROPOSED _____ m

BUILDING WIDTH EXISTING _____ m

PROPOSED _____ m

ZONING DESIGNATION _____

OTHER APPROVALS REQUIRED: (Check off only if required)

MINOR VARIANCE (COA) _____

SITE PLAN APPROVAL _____

BUILDING PERMIT ☒

CONSERVATION AUTHORITY _____

SIGN BYLAW APPROVAL _____

(Note: IF YES, other approvals should be scheduled after the Heritage Permit has been approved by City Council)

H. CHECKLIST OF REQUIRED INFORMATION SUBMITTED

(Check all that apply)

- ☐ REGISTERED SURVEY
- ☒ SITE PLAN (showing all buildings and vegetation on the property)
- ☒ EXISTING PLANS & ELEVATIONS - AS BUILT
- ☐ PROPOSED PLANS & ELEVATIONS
- ☒ PHOTOGRAPHS
- ☐ MATERIAL SAMPLES, BROCHURES, ETC
- ☒ CONSTRUCTION SPECIFICATION DETAILS

I. AUTHORIZATION / DECLARATION

I HEREBY DECLARE THAT THE STATEMENTS MADE HEREIN ARE, TO THE BEST OF MY BELIEF AND KNOWLEDGE, A TRUE AND COMPLETE PRESENTATION OF THE PROPOSED APPLICATION.

I UNDERSTAND THAT THIS HERITAGE PERMIT DOES NOT CONSTITUTE A BUILDING PERMIT PURSUANT TO THE ONTARIO BUILDING CODE.

I ALSO HEREBY AGREE TO ALLOW THE APPROPRIATE STAFF OF THE CITY OF BRAMPTON TO ENTER THE SUBJECT PROPERTY IN ORDER TO FULLY ASSESS THE SCOPE AND MERITS OF THE APPLICATION.

(Property entry, if required, will be organized with the applicant or agent prior to entry)



Derek Quilliam CAHP, +VG Architects

Signature of Applicant or Authorized Agent

Date of Submission

Heritage Permit applications are submitted to the Planning, Design and Development Department, 3rd Floor Counter, Brampton City Hall,

The personal information on this form is collected under the authority of the *Ontario Heritage Act*, RSO 1990. The information will be used to process the Heritage Permit Application. Questions about the collection of personal information should be directed to the Heritage Coordinator, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, 905-874-3825.

J. APPROVAL CHECKLIST
(Internal use only)

Authority:	Date:	Resolution:
Brampton Heritage Board	_____	_____
Planning Committee (PDD)	_____	_____
City Council	_____	_____

9 WELLINGTON STREET EAST, BRAMPTON, ON
HERITAGE CONSULTANT: +VG ARCHITECTS

- DIMENSIONS/AREAS/QUANTITIES SHOWN ARE APPROXIMATE
- ELEVATION DRAWINGS ARE TWO-DIMENSIONAL REPRESENTATIONS OF THE FACADE. CONSERVATION ACTIVITIES SHALL BE APPLIED TO ALL MASONRY SURFACES NOT CAPTURED ON THE ELEVATION DRAWINGS E.G. INNER FACE OF JAMBS, REVERSES, UNDERSIDES OF PROJECTING FEATURES AND DETAILS, WHETHER OR NOT SHOWN IN FULL ON THE DRAWINGS.
- PRESERVE WHEREVER POSSIBLE THE CHARACTER AND MATERIALS OF THE BUILDINGS AND NOT TO RESTORE THE BUILDING FACADES TO THEIR ORIGINAL PRISTINE AS BUILT CONDITION
- REFER TO ARCHITECTURAL DRAWINGS FOR THE COMPLETE SCOPE OF WORK & FULLY CO-ORDINATE ALL CONSERVATION WORK WITH THAT OF OTHER TRADES.
- CONDITIONS SHOWN ON DRAWINGS ARE BASED ON OBSERVED CONDITIONS FROM GRADE
- A PRE CONSTRUCTION REVIEW WILL BE CONDUCTED FROM SCAFFOLDING TO AGREE AND DETERMINE THE EXACT LOCATION AND TYPE OF CONSERVATION TREATMENTS TO BE EMPLOYED AT EACH LOCATION.
- PREPARE MOCK-UPS OF THE FOLLOWING ITEMS OF WORK:
 - REPAIRING 2 SQ.M/HORIZONTAL & VERTICAL Joints
 - 2 MOCK UP AREAS PER ELEVATION
 - REPOINTING MORTAR - COLOUR MATCHED SAMPLE(S) TO LINEAR METRE PER ELEVATION
 - ALL CLEANING METHODS, [APPROX. 10 SQUARE FEET PER PROCEDURE]
 - REBUILDING
- MOCK-UPS SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED TO THE SATISFACTION OF THE HERITAGE CONSULTANT. APPROVED MOCK-UPS SHALL FORM THE STANDARD FOR THE METHOD AND QUALITY OF WORK TO BE PERFORMED THROUGHOUT THE PROJECT.
- THE MASON/SUBCONTRACTOR/ OR CONSERVATOR SHALL HAVE EXTENSIVE EXPERIENCE IN THE APPLICATION OF SIMILAR CONSERVATION TREATMENTS AND SHALL SUBMIT A LIST OF PROJECTS AND REFERENCES WITH THE NAMES OF THE INDIVIDUALS IN A TEAM CONCERNED. THE CONSERVATOR SHOULD BE OF RECOGNIZED STANDING IN THE FIELD OF STONE CONSERVATION WITH A MINIMUM OF 10 YEARS RELATED EXPERIENCE IN THE DAY-TO-DAY PRACTICAL CONSERVATION OF TRADITIONAL RUBBLE STONE MASONRY.

EXISTING LIMESTONE RUBBLE WALL TO BE CONSERVED. GENERAL STEAM CLEANING USING JOS OR ROTEC PROPRIETARY SYSTEM, HEAVY ENVIRONMENTAL STAINING TO BE CLEANED USING ADDITIONAL TREATMENTS. REMOVE DETERIORATED MORTAR AND REPOINT. REPAIR DETERIORATED OR CRACKING MASONRY. REPLACE DETERIORATED UNITS. RESET CAPSTONES AND SECURE USING STAINLESS STEEL PINS, INSTALL NEW THROUGH WALL FLASHING WITH DRIP

JOINTS OF THE MASONRY WALL TO BE RETAINED SHALL BE CLEANED.

GENERALLY, THE GENTLEST CLEANING METHOD POSSIBLE SHALL BE USED TO ACHIEVE THE AGREED LEVEL OF CLEAN WITHOUT DAMAGE TO SUBSTRATE

THE ENTIRE WALL TO BE RETAINED SHALL BE CLEANED USING A PROPRIETARY, LOW PRESSURE FINE AGGREGATE MICRO ABRASIVE ROTATING VORTEX CLEANING SYSTEM (E.G. JOS/TORC; ROTEC; OR EQUIVALENT)

NOTE: ATMOSPHERIC STAINING IS PRESENT ON ALL STONES. LOSS OF CRUST & DAMAGE TO STONE IS TO BE AVOIDED. REVIEW WITH ARCHITECT ON SITE PRIOR TO FURTHER CLEANING. REPAIRS TO CORROSION, CRACKS, AND OTHER DEFECTS ARE AREAS OF HEAVY ENVIRONMENTAL STAINING ALLOW FOR ADDITIONAL APPLICATION OF CHEMICAL CLEANER OR POLISHING CLEANING METHOD. APPROPRIATE TO THE SOILING AND TO BE DETERMINED BY TRIALS ON SITE.

HEAVY ENVIRONMENTAL STAINING.

ADDITIONAL CLEANING REQUIRED. ALLOW CHEMICAL CLEANING PRODUCT SUCH AS PROSOCCO SURFACLEAN OR SIMILAR APPROVED

EFFLORESCENCE: REMOVE USING ATPANTIGUIC CLAY POLYMER MEDIUM TO DRAW OUT SALTS. ALLOW FOR 24 REPEAT APPLICATIONS IN SEVERELY AFFECTED LOCATIONS

BIOLOGICAL STAINING - ADDITIONAL CLEANING REQUIRED - ALLOW APPLICATION OF D/2 OR SIMILAR APPROVED BIOCIDE

WALL CLIMBING CREEPER PLANTS/ IVY - CUT AWAY GROWTH AND REMOVE ROOTS WITH STIFF BRISTLE BRUSHES AND DETERGENT

GUANO (PIGEON STAINS) - TO BE REMOVED

DAMAGED OR UNSOUND MASONRY AREA - MASONRY REBUILD REQUIRED.
 REPAIR THE EXISTING MASONRY AND RETURN IT TO A SOUND, DURABLE CONDITION IT IS NOT INTENDED THAT ALL MISSING OR DAMAGED FACES AND PROFILES SHOULD BE MADE PERFECT BUT THAT THE BUILDING SHOULD STILL SHOW ITS AGE AND CHARACTER.

WORK IS TO BE COMPLETED BY TAKING DOWN AREAS OF SEVERELY DAMAGED STONE WORK IN MAXIMUM 1000 MM WIDE SECTIONS WHERE LOAD BEARING REMOVED OLD MORTAR AND CLEAN ALL ARE TO BE RE-INCORPORATED INTO THE WORK.

DETERRITION -
 STONE TO BE CONSERVED, SCALE OR RUB BACK, OR WHERE MISSING, BLOWN APART OR FAILED, REPLACE WITH SALVAGED STONE TO MATCH SURROUNDING EXISTING

CRACKING MASONRY WALL - REBUILD WALL USING EXISTING STONE, NEW BEDDING AND REPOINTING MORTAR, UTILIZING EMBEDDED HEUCALITE ANCHORS AND/OR THREADED ROD REPAIR SEE DETAIL 04/H C 03

EXISTING ANCHOR - TO BE REMOVED

EXISTING VOID - TO BE FILLED

EXISTING COPING STONES TO BE REMOVED AND RE-SET WITH NEW EMBEDDED S/5 DOWELS AND NEW LEAD FLASHING WITH DRIP EDGE. REPAIR TO DETAIL 03/H C-03

MISSING OR FAILED MASONRY UNIT - REPLACE USING MATCHING OR SALVAGED MATERIAL

DISPLACED OR MISALIGNED STONE UNIT - REBUILD LOCALIZED AREA AND REALIGN WITH SURROUNDING WALL

CAPSTONES GENERALLY, REMOVE EXISTING STONES AND EXISTING FLASHING BELOW, INSTALL NEW LEAD THROUGHOUT, FLASHING, REFINISH AND SECURE NEW STONE IN PLACE USING STAINLESS STEEL DOWELS. REPAIR TO DETAIL 04/H C 03

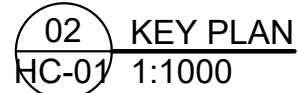
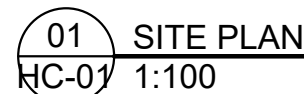
CAREFULLY RAKE OUT AND REPOINT ALL CRACKED, SPALLED, CHALKED, DUSTED OR OTHERWISE CRUMBING AND EXCESSIVELY WEATHERED BACK POINTING MORTAR, AND INAPPROPRIATE CEMENTITIOUS MORTAR FROM PREVIOUS REPAIR CAMPAIGNS.

RESTORATION REPOINTING MORTAR IS TO BE LIME-BASED AND SOFTER THAN THE SURROUNDING MATERIAL. ALLOW A PRE-MIXED, PREBAGGED PRODUCT - EXACT COLOUR, SPECIFICATIONS & MATCHING TO EXISTING MORTAR. ALLOW 28 DAYS TO CURE. EXISTING HERITAGE MASONRY, ALLOW FOR SEE DRAWING HC-03 DETAIL .03 FOR TYPICAL REPOINTING PROCEDURE

THE EXISTING MORTAR TO BE RAKED OUT VARIES IN HARDNESS CONSISTENCY, CONDITION AND TYPE. REFER TO EXISTING MORTAR SURVEY AND ANALYSIS REPORT DATED 26 MAY 2023

LOCATIONS INDICATED ON THE DRAWINGS ARE APPROXIMATE AND THE EXACT LOCATION AND EXTENT OF REPOINTING SHALL BE DETERMINED AND AGREED ON SITE

00	CONSERVATION LEGEND & NOTES
HC-01	N/A



HC 01 - SITE PLAN & LANDSCAPE DETAILS
HC 02 - WALL ELEVATIONS - MASONRY CONSERVATION SCOPE
HC 03 - TYPICAL MASONRY CONSERVATION DETAILS
HC 04 - BUILDING 9 (JAIL) WINDOW REPLACEMENT

04 DRAWING LIST
HC-01 N.T.S.

OWNER:

PEEL ART GALLERY MUSEUM + ARCHIVES

THE REGION OF PEEL

10 PEEL CENTRE DRIVE,
SUITE B
BRAMPTON, ON L6T 4B9

CONSULTING ENGINEER :


MOON-MATZ LTD.
Consulting Engineers

MOON-MATZ LTD.
2902 SOUTH SHERIDAN WAY,
SUITE 300,
OAKVILLE, ON L6J 7L6

HERITAGE CONSULTANT:
 **ARCHITECTS**
 THE VENTIN GROUP LTD
+VG ARCHITECTS
 52 SCARSDALE ROAD,
 SUITE 212,
 TORONTO, ON. M3B 2R7


NOTES:

MOON-MATZ LTD.
2902 SOUTH SHERIDAN WAY, SUITE 300
OAKVILLE, ON
L6J 7L6

22298

HERITAGE REPAIRS & JAIL WINDOW REPLACEMENT

PAMA - PEEL MUSEUM AND ARCHIVES
7 & 9 WELLINGTON ST E
BRAMPTON, ON - L6W 1Y1

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
 A - DETAIL NO.
B - DETAIL NO. ORIGIN

ARCHITECTS
THE VENTIN GROUP LTD



ONTARIO ASSOCIATION
OF
ARCHITECTS
DAVID ECCLESTONE
LICENCE
5944

Reproduction of drawings and related documents in whole or in part is forbidden without written permission of The Ventin Group.

SITE PLAN & LANDSCAPE DETAIL

HC-01

DRAWN BY: DG

CHECKED BY: DG



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 38-78

To designate "The Peel County Court House", "The Old Brampton Jail", and "The Old Peel Registry Office", Wellington Street, East, of architectural value and of historic interest.

WHEREAS the Ontario Heritage Act, S.O. 1974, Chapter 122, Section 29 (6), authorizes the council of a municipality to enact by-laws to designate real property including all the buildings and structures thereon, to be of historic or architectural value or interest; and

WHEREAS notice of intention to so designate, "The Peel County Court House", Wellington Street, East, "The Old Brampton Jail", Wellington Street, East, and "The Old Peel Registry Office", Wellington Street, East, having been duly published and served and no notice of objection to such designations having been received by the Council of The Corporation of the City of Brampton.

WHEREAS the reasons for the said designations are set out as Schedule "A" hereto;

THEREFORE the Council of the Corporation of the City of Brampton enacts as follows:

1. That the real properties, more particularly described in Schedule "B" hereto, known as "The Peel County Court House", Wellington Street, East, "The Old Brampton Jail", Wellington Street, East, and "The Old Peel Registry Office", Wellington Street, East, be designated as being of architectural and historic value or interest.
2. That the City Clerk is hereby authorized to cause a copy of this by-law to be served upon the owner of the aforesaid properties and upon the Ontario Heritage Foundation and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Brampton.

SCHEDULE 'A'

1. Reasons for the designation of "The Peel County Court House", Wellington Street, East.

"The Peel County Court House" is an object being the direct result of the formation of Peel as an independent County. The facility was built by John Kestevan and Thomas Storey in 1865 and 1866, with the first meeting in the Council Chambers on January 11th, 1867. The building is symmetrical and sited on a small knoll which combined with the heavily rusticated limestone base and tall windows give the building a deceptively large scale. The facility has received brick detailing which reflects the sensitivity and skill of the architect. Historically the building symbolized the inception of Peel as an autonomous county and architecturally it represents the work of one of Canada's more significant designers of the mid-nineteenth century. It was used continually until 1973 when the Corporation of the City of Brampton opened some of their offices in the facility.

2. Reasons for the designation of "The Old Brampton Jail" Wellington Street, East.

"The Old Brampton Jail" is recommended for designation on the architectural grounds that the facility represents the architectural taste of the 1860's. It was designed by William Kauffman of Toronto and constructed by Messrs. Kestevan and Storey, Contractors. The facility is of stone-work and presents an image of the law as it was seen in the middle of the 19th century. The architect, William Kauffman had a thriving practice in the mid-nineteenth century and it is believed the Brampton Jail and Courthouse represents the only two remaining buildings of his design. This building was used from 1867 to 1977 as the Peel County Jail.

3. Reasons for the designation of "The Old Peel Registry Office", Wellington Street, East.

"The Old Peel Registry Office" is recommended for designation to preserve a grouping of early county buildings on the original county grounds. The building was constructed in late 1890 by the Messrs. R. Alexander and W. G. Congdom of Streetsville with additions in late 1920 and again in the 1940's. The facility is set upon a foundation of heavy river stone and is constructed of a variety of brick types. This building was used as the County of Peel Registry Office from 1890 until recent years. Today it houses the Peel Museum and Art Gallery.

SCHEDULE 'B'

ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the City of Brampton in The Regional Municipality of Peel (formerly in the Town of Brampton in the County of Peel), and being Part of Lot Number Five, First Concession, East of Hurontario Street, and more particularly described as follows:

COMMENCING at the intersection of the southerly side of Wellington Street with the easterly side of Hurontario Street;


THENCE north $37^{\circ} 46'$ east along the southerly side of Wellington Street, 418.44 feet (6 chains and 34 links);


THENCE south $52^{\circ} 14'$ east, 170.50 feet (2 chains and 75 links);

THENCE about south $32^{\circ} 16'$ west, 448.14 feet (6 chains and 79 links) more or less to a point on the easterly side of Hurontario Street at a distance of 224.40 feet (3 chains and 40 links) from the place of beginning;

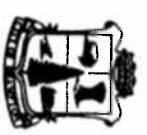
THENCE north $45^{\circ} 11'$ west, 224.40 feet (3 chains and 40 links) to the place of beginning.

READ a FIRST, SECOND and THIRD TIME and PASSED in
Open Council this 20th day of February, 1978.


James E. Archdekin, Mayor


Kenneth R. Richardson, Clerk

PASSED February 20 19 78



BY-LAW

No. 38-78

To designate "The Peel County Court House",
"The Old Brampton Jail", and "The Old Peel
Registry Office", Wellington Street, East,
of architectural value and of historic
interest.

NUMBER OF DESIGNATION

1

NAME OF PROPERTY

Peel County Court House

MUNICIPAL ADDRESS OR LOCATION

Wellington Street East

LEGAL DESCRIPTION

All and singular that certain parcel or tract of land and premises situate, lying and being in the City of Brampton, Regional Municipality of Peel (formerly in the Town of Brampton, County of Peel), Province of Ontario, and being composed of parts of Lot 5 in the First Concession, East of Hurontario Street in the said City.

NAME AND ADDRESS OF OWNER

Regional Municipality of Peel
10 Peel Centre Drive, Brampton

REASONS FOR DESIGNATION

"The Peel County Court House" is an object being the direct result of the formation of Peel as an independent County. The facility was built by John Kesteven and Thomas Storey in 1865 and 1866, with the first meeting in the Council Chambers on January 11th 1867. The building is symmetrical and sited on a small knoll which combined with heavily rusticated limestone base and tall windows give the building a deceptively large scale. The facility has received brick detailing which reflects the sensitivity and skill of the architect. Historically the building symbolized the inception of Peel as an autonomous county and architecturally it represents the work of one of Canada's more significant designers of the mid-nineteenth century. It was used continually until 1973 when the Corporation of the City of Brampton opened some of their offices in the facility.

NUMBER AND DATE OF PASSAGE OF BY-LAW
DESIGNATING PROPERTY

By-law 38-78
Date of Passage - February 20, 1978

REGISTRATION NUMBER AND REGISTRATION
DATE OF DESIGNATING BY-LAW

ATTN: Heritage Officer - City of Brampton
Planning & Development
2 Wellington Street West
Brampton, ON L6Y 4R2

DATE: 17 June 2024

RE: HERITAGE MEMO -PERMIT APPLICATION FOR HERITAGE STONE WALL REPAIRS, BUILDING 9 (JAIL) WINDOW REPLACEMENT, MISCELLANEOUS SITE IMPROVEMENTS INCL. WOOD FENCE REPAIRS, ACCESS LADDER AND HVAC SCREENING RELOCATION at PEEL MUSEUM & ARCHIVES 7-9 WELLINGTON ST E, BRAMPTON, ON, L6W 1Y1

DOCUMENTS REFERRED TO: PROJECT DRAWINGS HC SERIES HC 01-HC 04; STRUCTURAL PERMIT DRAWINGS S01-S03; HERITAGE SPECIFICATION SECTIONS

To Whom it may Concern:

We have been engaged by Moon Matz Ltd Engineers as Consultant Heritage Architects for the work at Peel Museum and Archives PAMA for the above project on behalf of The Region Of Peel. The Scope of work involves Masonry repairs to the existing jail rubble stone wall, replacement of the existing building 9 (Old Brampton Jail) windows, and minor exterior improvements including relocation of metal service access ladder. Please see an explanation and rationale for the proposed works, and comment on their impact on the overall Heritage Character and attributes of the site (which, based on our review is projected to be minimal). I have made initial efforts to contact the Heritage Coordinator for a preliminary consultation ahead of submitting the permit application but have not yet received a response. This report assumes some familiarity with the PAMA site and buildings. Please do not hesitate to reach out with any questions or comments you may have, or if you require any further details, information or materials to assist in your review.



Building 9 (The Old Brampton jail)

Heritage Status

The collection of buildings at 7-9 Wellington St West, Brampton, known as "The Peel County Court House", "The Old Brampton Jail", and "The Old Peel Registry Office", at 7-9 Wellington Street are

designated under the THE CORPORATION OF THE CITY OF BRAMPTON BY-LAW Number 38/78. Heritage Easements are in place.

Cultural Heritage Evaluation

Not part of this memo.

Description of the Work

Heritage Rubble stone wall repairs, Window replacement, miscellaneous Site Improvements as shown on the drawings and described in the specifications.

Heritage impact:

No change of use or new physical additions or finishes are proposed. The project scope primarily includes state of good repair conservation activities, which will contribute to the longevity and ongoing maintenance of the Heritage Asset. In the case of the perimeter wood fence repairs and ladder relocation, these are required to address existing structural or code deficiencies which need to be rectified. Their impact on the heritage attributes is minimal. Where any potential risk to the heritage fabric is envisaged, mitigation measures are described in the outline Conservation Plan below.

Conservation Plan:

Refer to the project drawings and specifications for precise extents, locations, and detailed information on the procedures and conservation methodology that will form part of the building contract for the work. In summary, the following standards and parameters for protection of the Heritage fabric have been established in the Contract Documents.

Heritage Experience of Contractors:

A pre-qualification procedure has just been completed by the Region, which will ensure that only qualified heritage contractors with the necessary experience, qualifications (e.g. CAHP membership) and resources can be engaged on the work.

Masonry Wall Repairs:

The primary material of the wall is limestone rubble, with some cut stone units framing the opening at the southwest. Parts of the wall have been incorporated into the recent contemporary additions. During the investigations phase of the project, a field and laboratory test was carried out in to determine the hardness and general composition of the existing mortar (Report available upon request). Further to this information, the specified repointing mortar mixes shall be a lime-based mortar, weaker than the existing masonry units. Replacement bedding mortars shall meet structural requirements.

It is likely that previous mortar repair campaigns have occurred and not all of these have been using compatible material. Where found, these incompatible materials will be removed as per the procedures outlined on the drawings to minimise damage to the heritage material and replaced with the specified restoration mortar.

The cleaning of the Heritage Masonry wall shall be by the gentlest means possible and specified to be executed without damage to the substrate. Cleaning shall achieve an agreed 'level of clean' to be

determined by initial trials and to the acceptance of the Heritage Architect. Portable steam cleaning equipment, e.g. the Doff “Integra®” cleaning system (or approved equivalent) system capable of delivering super heated water up to 150°C at low volume and low pressure through fine nozzles shall be used. Cleaning shall include removal of atmospheric staining, soluble salts (efflorescence), organic and biological staining metallic stains including copper (cupric) iron (ferrous) staining, residual paints, bitumens and tars, and other localized soiling e.g. pigeon droppings/ guano, wasp nests, limescale, graffiti etc. Aggressive abrasive cleaning systems e.g. high-pressure sand or grit blasting equipment are not acceptable and shall be rejected

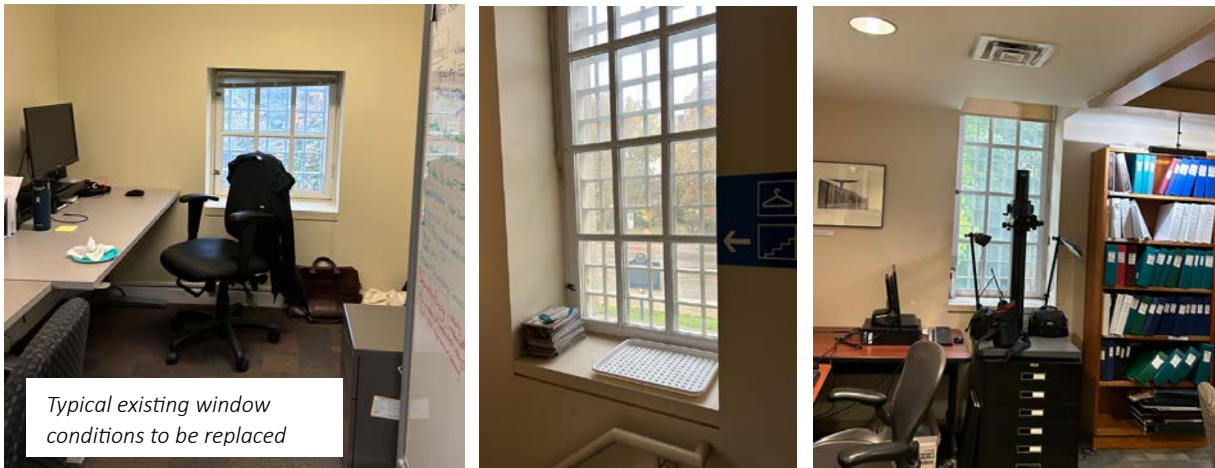


Masonry units shall be repaired and retained, unless where damaged beyond repair or if structural integrity is severely compromised. If replacement materials are required, suitable replacements will need to be sourced based on analysis and sampling of the existing brick and stone. The use of salvaged material from elsewhere on the building is an option and can be considered if clean, usable stock is available without compromising the heritage attributes of any other part of the building. At the upper wall cornice stones, a through wall flashing will be introduced to address an ongoing cause of deterioration to the upper-level masonry joints.

All masonry procedures and techniques are fully described and detailed on the project drawings and specifications.

Window Replacement

The existing jail building windows date from approximately the mid 1980s. It is not known whether the inward opening side hung casement configuration is original. What is currently proposed is a like-for-like replacement of the existing windows which date back to the mid 1980s. The existing windows are 10-15 years beyond their serviceable life and are in typically worn or tired condition, with failing coatings, evidence of water ingress, deteriorated components, expired gaskets and IGUs and poor operability.



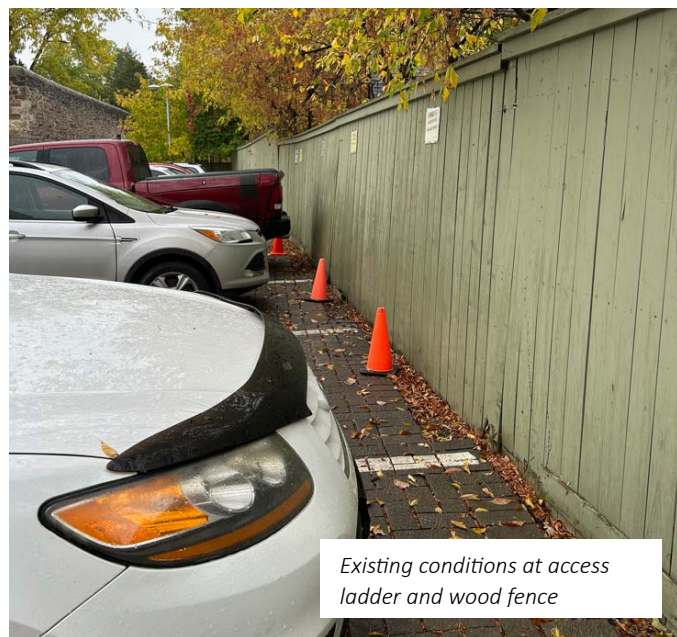
Typical existing window conditions to be replaced

Based on the scope of research activities it could not be determined whether the original configuration was sash, casement or fixed windows. A sliding sash window configuration was considered, however the preferred operation of the windows, given the current occupancy of the building is to have the widest opening area available for occupant comfort and ventilation. The buildings' original use as a jail would obviously suggest that the operation of the windows was restricted, and sliding sash windows would be typical of the period. However, lacking the definitive documented evidence it is beyond the reach of the current project to undertake a historical *restoration* scope.

The proposed Heritage Style replacement windows are of high quality, thermally broken wood construction with double glazed insulated glass units. They will offer substantially increased thermal and

acoustic performance and increase occupant comfort in the offices. The design and proportions of the windows in terms of profiles, glazing dividers and paint colours are consistent with and complementary to the Heritage proportions. Installation of the windows will be done from the interior of the space, eliminating the need to remove the exterior jail bars and impact the heritage masonry. Interior finishes will be impacted, however these are all recently installed and of modern materials. See typical interior photos above. To anticipate any unforeseen deterioration that may be revealed during the window replacement, structural repairs have been detailed in the project drawings. These repairs will not be carried out unless deemed necessary during structural engineers review on site.

The specified product (Norwood / Ridley) has been used in several recent Heritage projects by +VG Architects and others throughout the GTA with excellent results and numerous awards and recognitions



Roof Screen & Access Ladder Relocation

This part of the scope is required to address code and health and safety concerns at the existing and previously permitted HVAC screening and roofing access ladder. Refer to Engineers drawing S03 for full details of the work. No additional visual impact (greater than the existing) is foreseen on the Heritage fabric. Where masonry is impacted by the ladder relocation, repair of the existing anchor bolt holes will be done using in-kind materials and compatible mortars. Where the ladder is to be connected to the existing wall, connection and anchoring will be determined by the structural requirements. Mitigating steps to minimise damage will be taken

Wood Fence Repair

The existing fence is in poor condition and structurally compromised in the proposed area of work. Repairs are required to stabilize the assembly. The improvements will help secure the site and upgrade the appearance of the parking lot area. No impacts on Heritage fabric are envisaged.

Statement of Professional Qualifications

This Heritage Memo has been prepared by:



Derek Quilliam

Dip. Arch, B Arch Sc., MRAI, CAHP
+VG The Ventin Group Architects

After over 50 years of practice, +VG (The Ventin Group) Architects have extensive experience with all aspects of Architectural Heritage Conservation including- condition assessments of heritage structures, preparation of heritage conservation plans, Heritage Impact Assessments, and approval processes with Authorities Having Jurisdiction. We are experts in heritage building technology and construction techniques, and as firm maintain active participation in the following organizations:

- *Ontario Association of Architects*
- *Canadian Association of Heritage Professionals (CAHP)*
- *Architectural Conservancy of Ontario (ACO)*
- *Association for Preservation Technology (APT)*

Our work is guided by the Standards and Guidelines for the Conservation of Historic Places in Canada, and we are fully conversant with established municipal, provincial, and federal standards for conservation of built heritage in Ontario and beyond. We are committed to guiding and assisting our clients in their custodianship of some of Canada's most important Heritage buildings and have numerous recognitions and awards for our work. Some of our recent notable projects include:

- *Union Station, Toronto*
- *St. Michael's Cathedral Basilica, Toronto*
- *Niagara Parks Power Station, Niagara Falls*
- *Legislative Assembly of Ontario, Queen's Park, Toronto*

We trust this Heritage Impact Assessment memo is to your satisfaction, and should you require any further information please contact the undersigned.

Yours Sincerely,

A handwritten signature in blue ink, appearing to read 'D. Quilliam'.

Derek Quilliam

Dip. Arch, B Arch Sc., MRAI, CAHP
+VG The Ventin Group Architects
c. (+1) 647.458.4357

CC: Vincent Monaco; Moon Matz Ltd. Veronica Leal Marquez Region of Peel; David Ecclestone +VG Architects



Report
Staff Report
 The Corporation of the City of Brampton
 9/17/2024

Date: 2024-08-23

Subject: **Repeal of Heritage Designation for 8990 McLaughlin Road South – Ward 4**

Contact: Arpita Jambekar, Heritage Planner, Integrated City Planning

Report number: Planning, Bld & Growth Mgt-2024-694

RECOMMENDATIONS:

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, to the Brampton Heritage Board Meeting of September 17th, 2024, re: **Repeal of Heritage Designation for 8990 McLaughlin Road South- Ward 4**, be received;
2. That the recommendation to begin the process to repeal the designation by-law for the property be approved;
3. That the staff be authorized to publish and serve the Notice of Intention to repeal the designation by-law for the property at 8990 McLaughlin Road S in accordance with the requirements of the Ontario Heritage Act;
4. That, if no objections to the repeal of the designation by-law are received, a repeal of the designation by-law be passed to de-designate the subject property; and
5. That, following the repeal of the designation by-law, staff be authorized to serve a notice of intention to demolish portions of the existing building, following the recommendations from the recently approved Heritage Impact Assessment for the property.

OVERVIEW:

- **8990 McLaughlin Road was designated under the Ontario Heritage Act under By-Law 57- 2006 in 2006.**
- **A resolution to de-designate the Property to allow for the demolition of portions of the building was introduced during the City of Brampton's Budget Committee meeting on 27 February 2023. Demolition of the building on the Property – while retaining heritage attributes to the greatest extent**

possible – has been deemed necessary by City Council to allow for the development of the Brampton Arts and Culture Centre.

- As part of pre-design review of the property, the City retained a qualified heritage consultant to complete a Heritage Impact Assessment for the proposed demolition and de-designation of the property, as required by Regulation 385/21, Section 6(1) under the Ontario Heritage Act for required material to accompany the application for repeal of designation.
- The HIA report, presented and approved by the Brampton Heritage Board meeting of 23rd July 2023, recommended proposed alternative development options for the building while considering conservation of specific portions of the building with high concentration of heritage attributes.
- The Ontario Heritage Act, Section 31(2) or 32(5) and 34(4.2), requires that a Municipal Council shall consult with their appointed heritage committee prior to repeal of a designation by-law or demolition of the designated heritage property respectively.

BACKGROUND:

The property at 8990 McLaughlin Road (former Ontario Provincial Police Building) is designated under Section 29, Part IV of the Ontario Heritage Act under the City of Brampton by-law 57-2006.

On 27 February 2023, the City's Budget Committee resolved that the City de-designate and demolish the former Ontario Provincial Police Administration Building at 8990 McLaughlin Road South to allow for design of an Arts and Culture Centre. The resolution stated:

...Whereas the heritage-designated former OPP Administration building at Flower City Community campus, with a civic address of 8990 McLaughlin Road, Brampton, Ontario, is beyond the reasonable state of repair and not economical to remediate;

Therefore, Be It Resolved That:

- 1. The City de-designate the heritage property located at 8990 McLaughlin Road, Brampton, Ontario, to allow for demolition of the existing heritage building while retaining heritage elements to the greatest extent possible;*

The Heritage Impact Assessment (HIA) report (refer to Attachment 3) submitted as part of the application for the proposed development, presented to the Brampton Heritage Board (BHB) meeting HB030-2024 held on 23rd July 2024 (refer to Attachment 1), included options for degrees of retention of the existing building and re-incorporation in the proposed Arts and Culture Centre.

Following the Heritage Board's approval of the HIA, the Building, Design and Construction department in consultation with the CAO's office, have selected Option 4 that includes "retaining the central section of the north facade, the lobby, and the rotunda" as an inclusive option for preserving the building's heritage elements and incorporating them into the new design. The HIA recommendations also include a requirement for additional documentation prior to approval of demolition permit.

CURRENT SITUATION:

Heritage Staff have brought this recommendation report forward for the consideration of the Brampton Heritage Board in accordance with the requirements of the Ontario Heritage Act, S. 27(4).

It is the recommendation of staff that the process for repeal of the designation by-law be initiated and the notice of intention to demolish be served on the property.

The submission of this report will assist the City in providing comprehensive public information related to the property.

CORPORATE IMPLICATIONS:

Financial Implications:

None.

STRATEGIC FOCUS AREA:

The approval of the Heritage Impact Assessment noted in this report supports the Culture & diversity Focus Area and Growing Urban Centres & Neighbourhood Focus Area. The recommendations therein, facilitate partial retention, adaptive reuse and conservation of a rare and unique heritage resource that contributes to the understanding of Brampton's history, as well as facilitate creation of public amenities in the neighbourhood to help maintain a sense of place, belonging and community identity.

CONCLUSION:

The information within this report is provided for the consideration of the Brampton Heritage Board in accordance with the requirements in the Ontario Heritage Act, S. 27(4) and City's Budget Committee on 27 February 2023.

Authored by:

Reviewed by:

Arpita Jambekar
Heritage Planner,
Integrated City Planning

Jeffrey Humble, RPP, MCIP
Manager
Policy Programs and Implementation

Reviewed by:

Reviewed by:

Henrik Zbogar, RPP, MCIP
Director
Integrated City Planning

Steve Ganesh, RPP, MCIP
Commissioner
Planning, Building and Growth Management

Attachments:

- Attachment 1 – Brampton Heritage Board meeting 23 July 2024 minutes HB030-2024
- Attachment 2 – Designation By-Law for former OPP Building 057-2006
- Attachment 3 – Heritage Impact Assessment Report, LHC, dated 17 June, 2024

August 14, 2024

Re: **Heritage Impact Assessment, 8990 McLaughlin Road South - Ward 4**

The following recommendation from the Brampton Heritage Board Meeting of July 23, 2024, was considered by Planning and Development Committee on August 12, 2024 and approved at a Special Meeting of Council on August 12, 2024:

HB030-2024

1. That the report from Arpita Jambekar, Heritage Planner, to the Brampton Heritage Board meeting of July 23, 2024, re: **Heritage Impact Assessment, 8990 McLaughlin Road South - Ward 4** be received;
2. That the Heritage Impact Assessment Report for 8990 McLaughlin Road, prepared by LHC Heritage Planning & Archaeology Inc., dated June 17, 2024 be deemed complete;
3. That the following recommendations from the Heritage Impact Assessment by LHC Heritage Planning & Archaeology Inc. be followed:
 - a. Options 1 through 8, are recommended in the HIA for proposed development while retaining the heritage attributes to the greatest extent possible. The preferred option from a heritage conservation perspective is Option 2 (retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade). In the event retention as per Option 2 is not possible, then Options 3 through 7, in that order of preference, should be pursued;
 - b. Option 8 (Demolition, commemoration, and interpretation) should only be considered as an option of last resort if all other options are demonstrated not to be viable;
 - c. As design of the Brampton Arts and Culture Centre progresses, the project team should consider the relevant Standards outlined in HIA section 9.3. New elements should be designed to be physically and visually compatible with, subordinate to, and distinguishable from the retained portions of the building. Reintegration of salvaged elements must also be guided by the standards and guidelines identified in Table 4 of the HIA (Attachment 1);

- d. The design should also be informed by the existing building. Design elements such as those listed below should all be considered for re-incorporation or to guide the design of the forthcoming building:
 - i. The patterns and colour palette of the terrazzo floor in the building's lobby and hallway
 - ii. Polished chrome air vent grilles
 - iii. Polished chrome handrail and door hardware
 - iv. And acoustic ceiling tiles in the rotunda;
4. That a Conservation Plan/ Heritage Building Protection Plan be prepared by a qualified heritage professional to guide any retention *in situ* of portions of the building and their re-integration into a new development;
5. That prior to any changes to the building, a Salvage and Documentation Plan is to be prepared in order to identify materials to be salvaged and to outline measures to conserve materials being stored for reuse;
6. That a Commemoration and Interpretation Plan be prepared for the new development regardless of the option selected. It is recommended that the Commemoration Strategy make use of salvaged materials; and,
7. That an addendum to this scoped HIA will be required once a proposed development for the property has been prepared.

Yours truly,

Chandra Urquhart

Legislative Coordinator, City Clerk's Office

City of Brampton

T: 905.874.2114

Chandra.urquhart@brampton.ca



(HB-9.4)

cc: J. Humble, Manager, Policy, Program and Implementation
C. Carscallen, Principal Planner/Supervisor
T. Tran, Heritage Planner
A. Jambekar, Heritage Planner
O. Melhado, Heritage Planner



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 57-2006

To designate the property at 8870 McLaughlin Road South ("Ontario Mental Tubercular Hospital Administration Building - Former OPP Administration Building) as being of cultural heritage value or interest.

WHEREAS Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O. 18 (as amended) authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;

WHEREAS the Brampton Heritage Board supports the designation of the properties described herein;

WHEREAS a Notice of Intention to Designate has been published and served in accordance with the Act, and there has been no Notice of Objection served on the Clerk;

NOW THEREFORE the Council of the Corporation of the City of Brampton HEREBY ENACTS as follows:

1. The property at 8870 McLaughlin Road South ("Ontario Mental Tubercular Hospital Administration Building - Former OPP Administration Building) more particularly described in Schedule "A" is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the *Ontario Heritage Act*.
2. The City Clerk shall cause a copy of this by-law to be registered against the property described in Schedule "A" to this by-law in the proper Land Registry Office.
3. The City Clerk shall cause a copy of this by-law to be served upon the owners of the property at 8870 McLaughlin Road South ("Ontario Mental Tubercular Hospital Administration Building - Former OPP Administration Building) and upon the Ontario Heritage Trust and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Brampton as required by the *Ontario Heritage Act*.
4. The City Clerk shall serve and provide notice of this by-law in accordance with the Act.
5. The short statement of the reason for the designation of the property, including a description of the heritage attributes are set out in Schedule "B" to this by-law.
6. The affidavit of Leonard J. Mikulich attached, as Schedule "C" hereto shall form part of this by-law.

READ A FIRST, SECOND AND THIRD TIME AND PASSED IN OPEN COUNCIL
THIS 27 DAY OF February 2006.

Approved as
to form

C. Murphy
02 10 06

Susan D. Fennell
SUSAN FENNELL - MAYOR

Leonard J. Mikulich
LEONARD JOSEPH MIKULICH - CLERK

Approved as to Content:

Karl Walsh

Karl Walsh, Director, Community Design, Parks Planning and Development

SCHEDULE "A" TO BY-LAW *57-2006*

LEGAL DESCRIPTION

Part of Lots 4 and 5, Concession 2 WHS, designated as Parts 1, 2, 3 and 4 on Plan 43R-23285.

PIN 14071-2580

SCHEDULE "B" TO BY-LAW 57-2006

SHORT STATEMENT OF THE REASON FOR THE DESIGNATION OF "8870 MCCLAUGHLIN ROAD SOUTH ("ONTARIO MENTAL TUBERCULAR HOSPITAL ADMINISTRATION BUILDING - FORMER OPP ADMINISTRATION BUILDING)"

The former Administration Building of the "Ontario Mental Tubercular Hospital" is a noteworthy landmark located at McLaughlin Road South and Queen Street West. The building is a remarkably well-preserved example of civic architecture in the early modernist form. It was built in 1938 for the Government of Ontario, and was to be the first phase of a large hospital complex that was to occupy almost 100 acres of land in the former Chinguacousy Township.

The exterior of the building exhibits the distinctive architectural design elements of Modern Classicism, a variant of Art Deco, favoured by government for public building projects in the Great Depression era. The Brampton building is highly illustrative of this important architectural form. Art Deco and its variants such as Art Moderne and Modern Classicism are quite rare in the City of Brampton.

The one storey hospital administration building retains most of its original exterior detailing such as: buff brick masonry walls trimmed with coursed ashlar stone, stepped-back symmetrical profile, flat roof and metal industrial casement windows in steel frames.

The interior rotunda of the building stands as one of the best-preserved Art Deco / Art Moderne interiors in the Greater Toronto Area (outside of Toronto itself).

The building was designed by prominent Canadian architect, James Henry Craig (1889-1954). Craig's works include several well-known Toronto landmarks: Connaught Laboratory in Downsview Park (1917), Earl Haig High School (1929), the Dominion Public Building on Front Street (1935) and the "Hollywood Bowl" band shell on the CNE grounds (1936). Craig also designed the Thomas Foster Memorial in Uxbridge (1936). The Brampton Administration building is a good example of the work of this noted architect.

The site is directly associated with a variety of historical themes and events. It has many tangible links to the history of medicine through the "Ontario Hospital" program, social and penal reform through its use as an Adult Training Centre or "Training School". It also has important links to Canada's participation in the Second World War.

The Ontario Mental Tubercular Hospital Administration Building (Former OPP Administration Building) possesses considerable cultural heritage value. Heritage designation under Part IV of the Ontario Heritage Act is recommended for architectural, historical and contextual reasons.

Certain attributes contribute to the cultural heritage significance of the subject property and should be preserved. They include the following:

Architectural Heritage Attributes:

Exterior architectural elements include: symmetrical, stepped-back front façade; central pavilion where the main entrance is situated; abstracted fluted pilasters flanking the recessed entrance; large, square transom topping double leaf wooden doors; Coat of Arms for the Province of Ontario rendered in cast concrete over main entrance; central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory); cut stone knee wall, with gently angled Rama limestone coping which lends additional distinction to the central pavilion; buff masonry smoke stack at central portion of rear elevation; coursed ashlar Rama limestone dressing; basement windows with metal railings.

Interior architectural elements include: Art Deco/Art Moderne design elements in octagonal rotunda and main hallways; terrazzo flooring with colours rendered in emerald green, burgundy red and speckled beige; polished chrome grilles over air vents; chrome hand rails and other original door hardware; lobby reception wickets with stone surrounds; marble wainscoting; acoustical tiles on rotunda ceiling in repeating geometric motif of diamond lozenges and squares; clerestory glass block windows in rotunda ceiling; a scalloped stone frieze band and early "sea foam" green walls in rotunda; concrete block construction designed to enhance its fireproofing properties.

Historical Heritage Attributes:

The site is directly associated with a variety of historical themes and events. It has many tangible links to the history of medicine through the "Ontario Hospital" program, social and penal reform through its use as an Adult Training Centre or "Training School". It also has important links to Canada's participation in the Second World War.

The lands that the Administration Building occupies are located in the former Township of Chinguacousy. As early as 1859 settler John Elliott has title to the land. By 1877 it was owned by John McClure. McClure had structures on the property. As recently as the mid 1930's foundations of an earlier structure were noted on the property directly adjacent to the present location of the Administration Building. The McClure family sold the property to Robert Sterritt in June 1926. The Province of Ontario purchased the entire 300-acre property in August 1937.

In 1937 the Ontario Government launched an expansion and reform program of its psychiatric healthcare facilities. In Brampton the Government planned a large scale "Ontario Hospital" complex specializing in the treatment of mentally ill patients suffering from tuberculosis. Construction began in the winter of 1938 and was near completion by June 1938. According to the Toronto Star (March 19, 1938) the Brampton facility would be "the first hospital of its kind on this continent". It was to be known as the "Ontario Mental Tubercular Hospital". The subject building was to serve as the Administration Building for the new healthcare facility. It was to provide office space for doctors and administrators, outpatient facilities, the admissions centre and a pre-admission screening centre. Full-scale construction of the hospital was halted however with the outbreak of the Second World War in September 1939.

In 1939 the entire 300-acre site was loaned to the Department of National Defense and used as a basic training centre (#24 Basic Training Centre) for the Royal Canadian Army. The Army erected barracks, drill halls and other support buildings. The administration building served as a 'detention facility'. The basic training centre opened in June 1942 and was designed to accommodate 1200 soldiers. R.V. Conover was the first commanding officer. After the War the lands reverted to the Government of Ontario.

In January 1947 the property was incorporated into a new provincial minimum-security reformatory or "training school". The government of Ontario had established an operational blueprint for penal reform known as "the Ontario Plan" that promoted education over incarceration. This site became the first such facility in Ontario. It was built as an "open facility" - where inmates were not under constant supervision. By 1967 there were five similar "Training School" correctional facilities operating in Ontario. There were no security fences or other barriers. The facility operated from 1947 to 1979.

In the summer of 1981 the Ontario Provincial Police (OPP) converted the property into the Ontario Provincial Police Training and Development Centre. Premier William Davis officially opened the facility on October 16, 1981. The OPP intended to use the property on a temporary basis of no longer than five years. However their occupancy extended over fifteen years. They relocated to a permanent training academy in Orillia in May 1997.

In August 1997 the City of Brampton acquired the entire property including the Administration Building.

Early in the 20th century the Government of Ontario acquired the property. The City of Brampton assumed ownership in the 1990s.

Contextual Heritage Attributes - Cultural Heritage Landscape:

The administration building and grounds form an important cultural landscape in the City. The building has always been the physical and architectural focal point of the entire 300-acre property. Symmetrical, stepped-back massing, sweeping setback, long laneway or "Grand Avenue", a circular driveway with various mixed plantings intended to create an ordered setting for the building. The setting is integral to the cultural heritage significance of this property as a whole.

The short statement of reason for the designation, including a description of the heritage attributes along with all other components of the full Heritage Report: Statement of Reason for Heritage Designation, constitute the "reason for heritage designation" required under the Ontario Heritage Act. The full Heritage Report is available for viewing in the City Clerk's office at City Hall, during regular business hours.

Unless otherwise indicated, the reason for designation apply generally to the central pavilion and wings, all other elevations, roof and roof trim, all entrances, windows, structural openings and associated trim, all architectural detailing, all

interior stylistic elements of the Art Moderne, construction materials of wood, stone, brick, plaster parging, metal and glazing and their related building techniques.

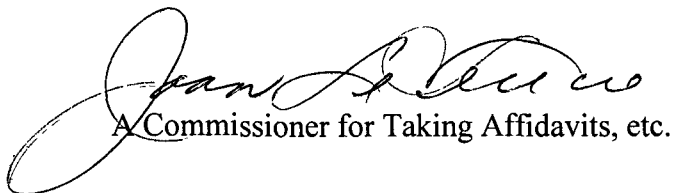
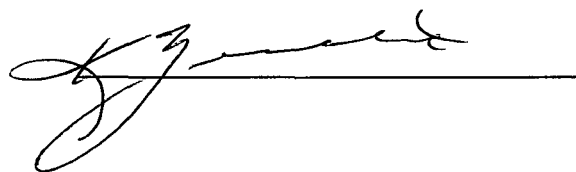
SCHEDULE "C" TO BY-LAW 57-2006

AFFIDAVIT OF KATHRYN ZAMMIT

I, KATHRYN ZAMMIT, of the Town of Caledon in the Region of Peel, MAKE OATH AND SAY:

1. I am the ~~Acting~~ Clerk for the Corporation of the City of Brampton and as such I have knowledge of the facts therein contained.
2. The public notice of intention to designate "Ontario Mental Tubercular Hospital Administration Building - Former OPP Administration Building, 8870 McLaughlin Road South" was served on the owner of the property and was advertised, in the form attached as Exhibit A to this my affidavit, in the Brampton Guardian, a newspaper having general circulation in the City of Brampton, on January 18, 2006.
3. No notice of objection was served upon the Clerk.
4. The by-law to designate the "Ontario Mental Tubercular Hospital Administration Building - Former OPP Administration Building, 8870 McLaughlin Road South" was passed by City Council at its meeting on February 27, 2006.
5. A copy of the by-law, including a short statement of the reason for the designation has been served upon the owner of the property and the Ontario Heritage Trust and notice of such by-law was published in the Brampton Guardian on **March 3,** 2006.

SWORN before me at the City)
of Brampton, in the Region)
of Peel, this *TH*)
day of *March 2006*)



A Commissioner for Taking Affidavits, etc.



Brampton

PUBLIC NOTICE

IN THE MATTER OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER O. 18, AND THE MATTER OF THE LANDS AND PREMISES KNOWN AS "ONTARIO MENTAL TUBERCULAR HOSPITAL ADMINISTRATION BUILDING" (FORMER OPP ADMINISTRATION BUILDING) AT 8870 MCLAUGHLIN ROAD SOUTH IN THE CITY OF BRAMPTON, IN THE PROVINCE OF ONTARIO:

NOTICE OF INTENTION TO DESIGNATE

TAKE NOTICE that the Council of the City of Brampton intends to designate property, being the "Ontario Mental Tubercular Hospital Administration Building" (Former OPP Administration Building) at 8870 McLaughlin Road South and lands upon which the building is situated, in the City of Brampton, in the Province of Ontario, as a property of cultural heritage value or interest under Part IV of the Ontario Heritage Act, R.S.O. c. O. 18.

SHORT STATEMENT OF THE REASON FOR THE DESIGNATION

The former administration building of the "Ontario Mental Tubercular Hospital" is a noteworthy landmark located at McLaughlin Road South and Queen Street West. The building is a remarkably well-preserved example of civic architecture in the early modernist form. It was built in 1938 for the Government of Ontario, and was to be the first phase of a large hospital complex that was to occupy almost 100 acres of land in the former Chinguacousy Township.

The exterior of the building exhibits the distinctive architectural design elements of Modern Classicism, a variant of Art Deco, favoured by government for public building projects in the Great Depression era. The Brampton building is highly illustrative of this important architectural form. Art Deco and its variants such as Art Moderne and Modern Classicism are quite rare in the City of Brampton.

The one storey hospital administration building retains most of its original exterior detailing such as: buff brick masonry walls trimmed with coursed ashlar stone, stepped-back symmetrical profile, flat roof and metal industrial casement windows in steel frames. The interior rotunda of the building stands as one of the best-preserved Art Deco / Art Moderne interiors in the Greater Toronto Area (outside of Toronto itself).

The building was designed by prominent Canadian architect, James Henry Craig (1889-1954). The Brampton Administration building is a good example of the work of this noted architect.

The site is directly associated with a variety of historical themes and events. It has many tangible links to the history of medicine through the "Ontario Hospital" program, social and penal reform through its use as an Adult Training Centre or "Training School". It also has important links to Canada's participation in the Second World War.

DESCRIPTION OF HERITAGE ATTRIBUTES:

To ensure that the cultural heritage significance of this property remains intact, certain heritage attributes are to be conserved, and they include:

Architectural Heritage Attributes:

Exterior architectural elements include: symmetrical, stepped-back front façade; central pavilion where the main entrance is situated; abstracted fluted pilasters flanking the recessed entrance; large, square transom topping double leaf wooden doors; Coat of Arms for the Province of Ontario rendered in cast concrete over main entrance; central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory); cut stone knee wall, with gently angled Rama limestone coping which lends additional distinction to the central pavilion; buff masonry smoke stack at central portion of rear elevation; coursed ashlar Rama limestone dressing; basement windows with metal railings.

Interior architectural elements include: Art Deco/Art Moderne design elements in octagonal rotunda and main hallways; terrazzo flooring with colours rendered in emerald green, burgundy red and speckled beige; polished chrome grilles over air vents; chrome hand rails and other original door hardware; lobby reception wickets with stone surrounds; marble wainscoting; acoustical tiles on rotunda ceiling in repeating geometric motif of diamond lozenges and squares; clerestory glass block windows in rotunda ceiling; a scalloped stone frieze band and early "sea foam" green walls in rotunda; concrete block construction designed to enhance its fireproofing properties.

Historical Heritage Attributes:

In 1937 the Ontario Government launched an expansion and reform program of its psychiatric healthcare facilities; Brampton was to be center of large scale "Ontario Hospital" complex specializing in the treatment of mentally ill patients suffering from tuberculosis; construction began in the winter of 1938; subject building was to serve as the Administration Building for the new healthcare facility.

In 1939 the entire 300-acre site was loaned to the Department of National Defense and used as a basic training centre (#24 Basic Training Centre) for the Royal Canadian Army. The administration building served as a "detention facility".

In January 1947 the property was incorporated into a new provincial minimum-security reformatory or "training school"; facility operated from 1947 to 1979. In summer of 1981 the Ontario Provincial Police (OPP) converted the property into the Ontario Provincial Police Training and Development Centre. Premier William Davis officially opened the facility on October 16, 1981. OPP relocated to a permanent training academy in Orillia in May 1997. In August 1997 the City of Brampton acquired the entire property including the Administration Building.

Contextual Heritage Attributes:

Subject property forms an important cultural heritage landscape in the City; building has been the focal point of the entire property that once spanned over 300 acres.

The short statement of reason for the designation, including a description of the heritage attributes along with all other components of the detailed Heritage Report: Statement of Reason for Heritage Designation, constitute the "reason for heritage designation" required under the Ontario Heritage Act.

Please contact Jim Leonard, Heritage Coordinator in Urban Design Section, Planning, Design and Development Department at (905) 874-3825 to view this document, and for further information.

Notice of objections to the proposed designation may be served on the Clerk no later than 4:30 p.m. on Monday, February 20th, 2006 (within 30 days of the publication of this notice).

Dated at the City of Brampton on this 18th day of January, 2006.

L. J. Mikulich, City Clerk, City of Brampton.

THIS IS EXHIBIT A TO THE AFFIDAVIT
OF Kathryn Tennant SWORN BEFORE
ME THIS 18th DAY OF March 2006
Paul S. Bruce
A COMMISSIONER, ETC.

FINAL REPORT:

Scoped Heritage Impact Assessment

8990 McLaughlin Road South, City of Brampton,
Ontario



**LHC Heritage
Planning &
Archaeology Inc.**

Kingston | Toronto | Ottawa

837 Princess Street, Suite 400
Kingston, ON
K7L 1G8

Phone: 613-507-7817
Toll Free: 1-833-210-7817
E-mail: info@lhcheritage.com
www.lhcheritage.com

17 June 2024

Project # LHC0443

LHC

This page has been left blank deliberately

Report prepared for: Kaushal Patel
New Facilities Development Services
2 Wellington Street West
City of Brampton, Ontario
L6Y 4R2

Report prepared by: Ben Daub, MA (Plan), CAHP Intern

Graphics prepared by: Jordan Greene, BA

Reviewed by: Christienne Uchiyama, MA, CAHP
Benjamin Holthof, MPI, MMA, MCIP, RPP, CAHP

RIGHT OF USE

The information, recommendations and opinions expressed in this report are for the sole benefit of the 'Owners'. Any other use of this report by others without permission is prohibited and is without responsibility to LHC. The report, all plans, data, drawings and other documents as well as all electronic media prepared by LHC are considered its professional work product and shall remain the copyright property of LHC, who authorizes only the Owners and approved users (including municipal review and approval bodies) to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of Owners and approved users.

REPORT LIMITATIONS

The qualifications of the heritage consultants who authored this report are provided in Appendix A Qualifications.

All comments regarding the condition of any buildings on the Property are based on a superficial visual inspection and are not a structural engineering assessment of the buildings unless directly quoted from an engineering report. The findings of this report do not address any structural or physical condition related issues associated with any buildings on the property or the condition of any heritage attributes.

The purpose of this report is to assess different options for the retention of heritage attributes for the building on the Property. This assessment uses previous heritage building assessment reports, designated substance reports, and heritage impact assessments to frame possible options. The authors are fully aware that there may be additional information that has not been included. This report reflects the professional opinion of the authors and the requirements of their membership in various professional and licensing bodies.

The review of policy and legislation was limited to that information directly related to cultural heritage management and is not a comprehensive planning review. Additionally, soundscapes, cultural identity, and sense of place analyses were not integrated into this report.

EXECUTIVE SUMMARY

The Executive Summary only provides key points from the report. The reader should examine the complete report including background, results as well as limitations.

LHC Heritage Planning & Archaeology Inc. (**LHC**) was retained on 30 April 2024 by the Public Works and Engineering Department at the City of Brampton (the '**Owner**') to prepare a Scoped Heritage Impact Assessment (**Scoped HIA**) for the former Ontario Provincial Police Administration building (the '**Property**') located at 8990 McLaughlin Road South in the City of Brampton, Ontario (the '**City**').

The Property is currently designated under Section 29, Part IV of the *Ontario Heritage Act* (**OHA**) under City of Brampton by-law 57-2006. A motion and resolution to de-designate the Property to allow for the demolition of the building was introduced during the City of Brampton's Budget Committee meeting on 27 February 2023. Demolition of the building on the Property – while retaining heritage attributes to the greatest extent possible – has been deemed necessary by City Council to allow for the development of the Brampton Arts and Culture Centre. At the time of writing, the building remains designated under Section 29, Part IV of the *OHA*. This Scoped HIA considered the following options to retain heritage attributes to the greatest extent possible:

- Option 1. Retention *in situ* and reuse;
- Option 2. Retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade;
- Option 3. Retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby;
- Option 4. Retention of central section of north façade, lobby, and rotunda;
- Option 5. Façade retention of only the building's primary, north elevation;
- Option 6. Façade retention of only part of the building's primary, north elevation;
- Option 7. Demolition, salvage, and reintegration into new development; and,
- Option 8. Demolition, commemoration, and interpretation.

The preferred option from a heritage conservation perspective is Option 2, retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade. This option is preferred because it allows for the retention of the highest number of heritage attributes and presents an opportunity for the salvage and reuse of materials from other areas of the building for selected repair/replacement. Since this option retains many of the building on the Property's heritage attributes, direction for refurbishing, maintaining, repairing, and replacing materials is provided in Table 4 of this report. This table identifies recommendations from ERA

Architects Inc.'s *Heritage Building Assessment Report* and includes supplemental direction from Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*.

In the event that retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade are not possible within the development of the Brampton Arts and Culture Centre, the following options should be pursued –in order of preference:

- Option 3. Retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby
- Option 4. Retention of central section of north façade, lobby, and rotunda
- Option 5. Façade retention of only the building's primary, north elevation
- Option 6. Façade retention of only part of the building's primary, north elevation
- Option 7. Demolition, salvage, and reintegration into new development

Option 8, demolition, commemoration, and interpretation should only be considered as an option of last resort if all other options are demonstrated not to be viable.

The following mitigation measures are recommended to be implemented (as relevant) regardless of the option chosen by the City:

- As design of the Brampton Arts and Culture Centre progresses, the project team should consider the relevant Standards outlined in Section 9.3. New elements should be designed to be physically and visually compatible with, subordinate to, and distinguishable from the retained portions of the building. Reintegration of salvaged elements must also be guided by the standards and guidelines identified in Table 4. The design should also be informed by the existing building. Design elements such as the pattern and colour palette of the terrazzo floor in the building's lobby and hallway, polished chrome air vent grilles, polished chrome handrails and door hardware, and acoustic ceiling tiles in the rotunda, should all be considered for reincorporation or to guide the design of the forthcoming development.
- A Conservation Plan/Heritage Building Protection Plan is recommended to be prepared by a qualified heritage professional to guide any retention in situ of portions of the building and their re-integration into a new development.
- Prior to any changes to the building, a Salvage and Documentation Plan is recommended to be prepared in order to identify materials to be salvaged and to outline measures to conserve materials being stored for reuse.
- Regardless of the option selected, a Commemoration and Interpretation Plan is recommended to be prepared for the new development. It is recommended that the Commemoration Strategy make use of salvaged materials.

An addendum to this Scoped HIA will be required once a proposed development for the Property has been prepared.

TABLE OF CONTENTS

Right of Use	iv
Report Limitations.....	iv
Executive Summary.....	v
1. Background and Introduction to the Subject Property	1
1.1 Background.....	1
1.2 Property Location	1
1.3 Property Heritage Status.....	1
2 Study Approach	4
2.1 City of Brampton Scoped Heritage Impact Assessment Terms of Reference.....	4
2.2 Legislation and Policy Review	4
2.3 Site Visit.....	4
2.4 Impact Assessment	4
3 Policy and Legislation Context.....	6
3.1 Ontario Heritage Act, R.S.O 1990, c. O.18.....	6
3.2 Region of Peel Official Plan (2022)	7
3.3 Brampton Plan: Your Vision Our Future (2023)	7
3.4 City of Brampton Official Plan (2006, consolidated 2020).....	8
3.5 City of Brampton Culture Master Plan (2018)	9
3.6 City of Brampton: Budget Committee Decision Regarding the Former	9
Ontario Provincial Police Administration Building.....	9
4 Findings from Previous Relevant Reports	11
4.1 City of Brampton Heritage Designation Report (2006).....	11
4.1.1 Statement of Reason for Heritage Designation	11
4.1.2 Description of Heritage Attributes.....	11
4.1.3 Heritage Evaluation Note.....	14
4.1.4 Alterations and Physical Integrity Note	14
4.1.5 Rarity Note	14
4.2 ERA Architects Inc. Heritage Building Assessment Report (2024)	15
4.2.1 OHE Consultants Hazardous Building Materials Survey (2020).....	18
4.2.2 GBCA Architects Existing Conditions Drawings (2005)	18

4.2.3	GBCA Architects Renovation Drawings (2006)	19
4.3	ECOH Management Inc. Pre-Demolition Designated Substances and Hazardous Materials Survey (2023).....	19
4.4	GBCA Architects Heritage Impact Assessment for 8950 McLaughlin Road South (2022) .	21
5	Existing Conditions	22
5.1	Surrounding Context	22
5.2	Adjacent Heritage Properties.....	23
5.3	The Property.....	24
5.3.1	Ontario Provincial Police Administration Building.....	24
6	Cultural Heritage Value or Interest	37
7	Description and Examination of Proposed Development /Site Alteration	40
8	Impact Assessment.....	41
9	Mitigation Options, Conservation Methods, and Proposed Alternatives.....	42
9.1	Concentrations of Heritage Attributes (High Priority Areas).....	42
9.1.1	Central Section of the Building's North Façade.....	42
9.1.2	Main Entrance, Stairway, and Lobby	42
9.1.3	Rotunda.....	43
9.2	Proposed Alternatives and Options	43
9.3	Building Attribute Management Through Redevelopment.....	51
9.4	Preferred Option	69
9.5	Mitigation Measures and Next Steps.....	69
10	Conclusion and Recommendations	70
	Signatures	72
	References	73
	Appendix A Qualifications.....	75
	Appendix B Glossary	78
	Appendix C Scoped Heritage Impact Assessment Terms of Reference.....	82
	Appendix D Comparable Projects to the Proposed Options for 8990 McLaughlin Road South ..	83
	Option 1: 150 Symes Road, Toronto, Ontario.....	83
	Option 2: 234 Bay Street, Toronto, Ontario.....	84
	Option 3 and Option 4: 545 Lake Shore Boulevard West, Toronto, Ontario.....	85
	Option 5 and Option 6: 180 Metcalfe Street, Ottawa, Ontario	86

Option 7: 484 Spadina Avenue, Toronto, Ontario	87
--	----

LIST OF FIGURES

Figure 1: Location of the Property	2
Figure 2: Current Conditions of the Property	3
Figure 3: Diagram showing retained sections of the building for Option 1 ‘retention <i>in situ</i> and reuse’	43
Figure 4: Diagram showing retained sections of the building for Option 2 ‘retention of north façade, lobby, rotunda, hallways, and rooms along the building’s north façade’	44
Figure 5: Diagram showing retained sections of the building for Option 3 ‘retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby’	44
Figure 6: Diagram showing retained sections of the building for Option 4 ‘retention of central section of north façade, lobby and rotunda’	45
Figure 7: Diagram showing retained sections of the building for Option 5 ‘façade retention of only the building’s primary, north elevation’	45
Figure 8: Diagram showing retained sections of the building for Option 6 ‘façade retention of only part of the building’s primary, north elevation’	46
Figure 9: Photograph showing a section of the former Symes Road Incinerator building	83
Figure 10: Photograph showing the integration of the former Toronto Stock Exchange building into a new development	84
Figure 11: Rendering of the proposed redevelopment of 545 Lake Shore Boulevard West	85
Figure 12: Rendering of the proposed redevelopment of 180 Metcalfe Street.....	86
Figure 13: Photograph showing the redeveloped interior of the “Silver Dollar Room”	88

LIST OF PHOTOS

Photo 1: View southeast showing part of the building's primary, north elevation	25
Photo 2: View southwest showing the building's external materials	26
Photo 3: View south and showing the Coat of Arms above the building's main entrance	26
Photo 4: View southwest and shows the building’s datestone.....	27
Photo 5: View southeast showing the building's main entrance and pavilion.....	28
Photo 6: View southeast showing the building's lobby and rotunda.....	30
Photo 7: View of a section of the lobby's terrazzo floor	30
Photo 8: View south showing a tiled wall section in the building's lobby.....	31
Photo 9: View north showing a typical metal grate in the lobby	31
Photo 10: View northwest showing the material use in the rotunda	32

Photo 11: View of the ceiling in the rotunda.....	32
Photo 12: View east showing openings on the lobby's northeast (left; nondescript room), east (centre; hallway), and southeast (right; wicket) walls	33
Photo 13: View west showing the east hallway	33
Photo 14: View northwest of a typical first storey room	34
Photo 15: View north showing the basement stairway	34
Photo 16: View west showing the basement hallway	35
Photo 17: View east showing an open room in the east side of the basement.....	35
Photo 18: View south showing the furnace in the building's basement.....	36
Photo 19: View east showing an angled wall section that aligns with the lobby and rotunda....	36

LIST OF TABLES

Table 1: ERA Architects Inc. Condition Assessment.....	16
Table 2: Impact Assessment for 8990 McLaughlin Road South's Heritage Attributes that are Not Embodied within the Building.....	41
Table 3: Mitigation Measures and Options for the building on the Property at 8990 McLaughlin Road South	47
Table 4: Building Attribute Management	53

1. BACKGROUND AND INTRODUCTION TO THE SUBJECT PROPERTY

1.1 Background

LHC Heritage Planning & Archaeology Inc. (**LHC**) was retained on 30 April 2024 by the Public Works and Engineering Department at the City of Brampton (the '**Owner**') to prepare a Scoped Heritage Impact Assessment (**Scoped HIA**) for the former Ontario Provincial Police Administration building (the '**Property**') located at 8990 McLaughlin Road South in the City of Brampton, Ontario (the '**City**').

The Property is currently designated under Section 29, Part IV of the *OHA* under City of Brampton by-law 57-2006. A motion and resolution to de-designate the Property to allow for the demolition of the building was introduced during the City of Brampton's Budget Committee meeting on 27 February 2023. Demolition of the building on the Property – while retaining heritage attributes to the greatest extent possible – has been deemed necessary by City Council to allow for the development of the Brampton Arts and Culture Centre. At the time of writing, the building remains designated under Section 29, Part IV of the *OHA*.

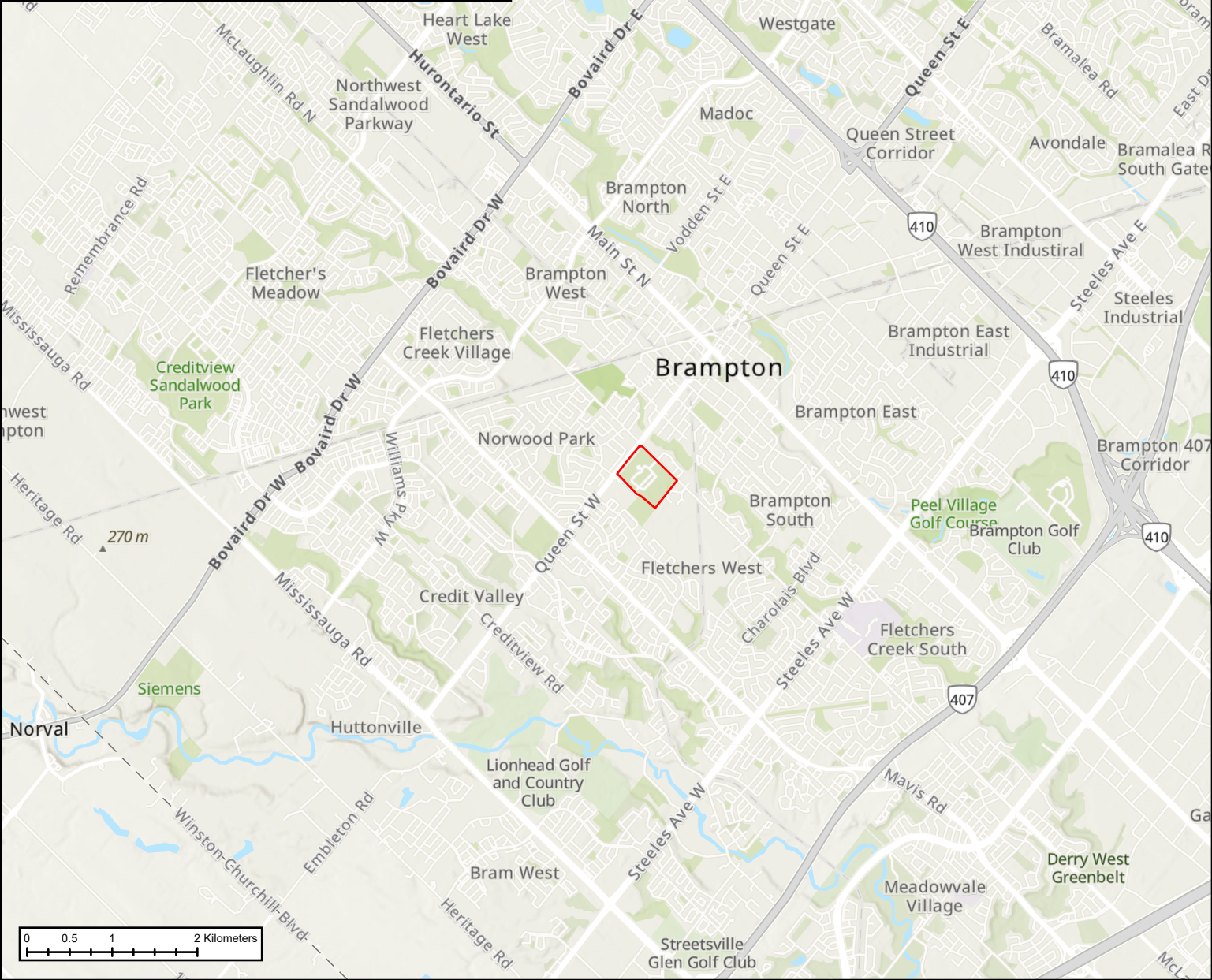
To support the preparation of this Scoped HIA, City staff provided a scoped version of the City's *Heritage Impact Assessment Terms of Reference*. City staff also provided the City's '*Heritage Report: Statement of Reason for Heritage Designation*' prepared in January 2006 and a '*Heritage Building Assessment Report*' prepared by ERA Architects Inc. in February 2024. Using these documents, as well as several others found in the public domain, this Scoped HIA evaluates the advantages and disadvantages of proposed mitigation measures/options for the Property and identifies salvageable materials that can be used as part of the Brampton Arts and Culture Centre or for other future development.

1.2 Property Location

The Property is located to the south of the intersection of McLaughlin Road North/McLaughlin Road South and Queen Street West (Figure 1 and Figure 2). The Property is legally described as Part of Lots 4 and 5, Concession 2 WHS, designated as Parts 1,2,3 and 4 on Plan 43R-23285.

1.3 Property Heritage Status


The Property is designated under Section 29, Part IV of the *OHA* under City of Brampton by-law 57-2006.



Legend

Property

NOTE(S) 1. All locations are approximate.
REFERENCE(S) 1. Esri, NASA, NGA, USGS, FEMA, Esri, CGIAR, USGS, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA, NRCAN, Parks Canada, City of Toronto, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, FAO, METI/NASA, USGS, EPA, NPS, NRCAN, Parks Canada
Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.

TITLE Location of the Property	
CLIENT City of Brampton	
PROJECT Scoped Heritage Impact Assessment 8990 McLaughlin Road South, City of Brampton, Ontario	
PROJECT NO. LHC0443	
	5/30/2024
FIGURE #	1



Legend

- Property
- 8990 McLaughlin Rd S, Building Footprint

TITLE Current Conditions of the Property	
CLIENT City of Brampton	
PROJECT Scoped Heritage Impact Assessment 8990 McLaughlin Road South, City of Brampton, Ontario	PROJECT NO. LHC0443
<div><div><div>LHC</div></div></div>	5/30/2024
FIGURE #	2

2 STUDY APPROACH

LHC follows a three-step approach to understanding and planning for cultural heritage resources based on the understanding, planning, and intervening guidance from the Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* (S&Gs) and the MCM's *Ontario Heritage Tool Kit*.¹ Understanding the cultural heritage resource involves:

- Understanding the significance of the cultural heritage resource (known and potential) through research, consultation and evaluation—when necessary.
- Understanding the setting, context and condition of the cultural heritage resource through research, site visit and analysis.
- Understanding the heritage planning regulatory framework around the cultural heritage resource.

2.1 City of Brampton Scoped Heritage Impact Assessment Terms of Reference

This Scoped HIA has been completed using a scoped version of the *City's Heritage Impact Assessment Terms of Reference*. The requirements of this Scoped HIA are included in Appendix C.

2.2 Legislation and Policy Review

This Scoped HIA includes a review of provincial and municipal policy that is directly related to the Property. The legislation and policy review also identifies city council decisions regarding the future use of the Property.

2.3 Site Visit

A site visit was conducted on 9 May 2024 by Principal and Manager of Heritage Consulting Services Christienne Uchiyama and Heritage Planner Ben Daub. Access to the Property was granted by the Owner. The purpose of this site visit was to document and gain an understanding of the Property and its surrounding context. Unless otherwise attributed all photographs in this Scoped HIA were taken during the site visit. A selection of photographs from the site visit that document the Property are included in Section 5.

2.4 Impact Assessment

The impact assessment considers the proposed site alteration in relation to the heritage resource and identifies possible impacts. The *City's Heritage Impact Assessment Terms of*

¹ Canada's Historic Places. "Standards and Guidelines for the Conservation of Historic Places in Canada." 2010. Accessed 19 December 2023. <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>. 3; and Ministry of Citizenship and Multiculturalism. "Heritage Property Evaluation." Ontario Heritage Tool Kit." 2006. Accessed 19 December 2023. <https://www.publications.gov.on.ca/heritage-property-evaluation-a-guide-to-listing-researching-and-evaluating-cultural-heritage-property-in-ontario-communities>. 18.

Reference identifies seven potential negative impacts to be considered with any proposed development or site alteration – in line with those identified in the Ministry of Citizenship and Multiculturalism’s *Info Sheet #5 Heritage Impact Assessments and Conservation Plans*.

Per the Scoped HIA requirements prepared for this project, the Scoped HIA focuses on the following impacts:

- **Destruction** of any part of any significant heritage attribute or features;
- **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
- **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship; and,
- **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features.

3 POLICY AND LEGISLATION CONTEXT

3.1 Ontario Heritage Act, R.S.O 1990, c. O.18

The *Ontario Heritage Act, R.S.O. 1990, c O.18* (*Ontario Heritage Act* or *OHA*) enables the provincial government and municipalities powers to conserve, protect, and preserve the heritage of Ontario.² The *OHA* (consolidated on 4 December 2023) and associated regulations establish the protection of cultural heritage resources as a key consideration in the land-use planning process, set minimum standards for the evaluation of heritage resources in the province, and give municipalities power to identify and conserve individual properties, districts, or landscapes of cultural heritage value or interest. Individual heritage properties are designated by municipalities under Part IV, Section 29 of the *OHA*. Generally, an *OHA* designation applies to real property rather than individual structures.³

Under Section 31 of the *OHA*, municipal council may repeal a designation by-law (de-designate) for a property designated under Section 29, Part IV of the *OHA*.

Section 33 (1) of the *OHA* prohibits the owner of a property designated under Section 29, Part IV of the *OHA* from altering, or permitting the alteration of, the property if the alterations is likely to affect heritage attributes unless the owner applies to municipal council and receives written consent. Section 34 (1) of the *OHA* prohibits the owner of a property designated under Section 29, Part IV of the *OHA* from demolishing or removing, or permitting the demolition or removal of, any of the property's heritage attributes. Section 34 (1) also prohibits the removal of a building or structure on a property designated under Section 29, Part IV of the *OHA* regardless of the removal's impact to any of the property's heritage attributes. A property owner must apply and receive consent from council before any demolition or removal.

² Since 1975 the Ontario ministry responsible for culture and heritage has included several different portfolios and had several different names and may be referred to by any of these names or acronyms based on them:

- Ministry of Culture and Recreation (1975-1982),
- Ministry of Citizenship and Culture (1982-1987),
- Ministry of Culture and Communications (1987-1993),
- Ministry of Culture, Tourism and Recreation (1993-1995),
- Ministry of Citizenship, Culture and Recreation (1995-2001),
- Ministry of Tourism, Culture and Recreation (2001-2002),
- Ministry of Culture (2002-2010),
- Ministry of Tourism, Culture and Sport (2011-2019),
- Ministry of Heritage, Sport, Tourism and Culture Industries (2019-2022),
- Ministry of Tourism, Culture and Sport (2022),
- Ministry of Citizenship and Multiculturalism (2022-present).

³ Province of Ontario. "Ontario Heritage Act R.S.O. 1990, c. O. 18." Last Modified 4 December 2023. Accessed 6 May 2024. <https://www.ontario.ca/laws/statute/90o18>.

3.2 Region of Peel Official Plan (2022)

The *Region of Peel Official Plan (ROP)* was adopted by Regional Council on 28 April 2022 through By-law 20-2022 and was approved with modifications by the Ministry of Municipal Affairs and Housing on 4 November 2022.

The *ROP*'s purpose is to guide land use planning policies and “provide a holistic approach to planning through an overarching sustainable development framework that integrates environmental, social, economic and cultural imperatives.”⁴ The *ROP* recognizes the importance of cultural heritage for the region to develop healthy and sustainable communities. Section 3.6 of the *ROP* establishes policies surrounding the identification and management of cultural heritage resources, the lower tier municipalities' ability to require a HIA when an infrastructure project is proposed, and the requirement of lower tier municipalities to adopt official plan policies requiring sufficient documentation for projects affecting cultural heritage resources.⁵

3.3 Brampton Plan: Your Vision Our Future (2023)

The *Brampton Plan: Our Vision Your Future (BP)* was adopted by City Council on 1 November 2023 under By-law 195-2023 and is currently pending approval from the Region of Peel. The *BP* will guide growth and development in the City until 2051. Policies pertaining to cultural heritage are in Section 3.6.3 of the *BP*. The following policies are identified:

3.6.3.5 Retention, integration, and adaptive reuse of heritage resources will be the overriding objectives in cultural heritage resource planning while insensitive alteration, removal and demolition will be avoided.

3.6.3.6 Cultural heritage conservation is a form of environmental sustainability, and the City encourages conservation, adaptive reuse, material salvage, and repurposing as contributing toward climate change mitigation.

3.6.3.25 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment, the Ontario Heritage Toolkit, applicable City Property Standards By-laws, other recognized heritage protocols and standards, and any recommendations within an approved Heritage Building Protection Plan or Heritage Conservation Plan.⁶

⁴ Region of Peel. “*Region of Peel Official Plan*,” Last modified 4 November 2022. Accessed 20 November 2023. https://www.peelregion.ca/officialplan/download/_media/region-of-peel-official-plan-approved-final.pdf.

⁵ Region of Peel. “*Region of Peel Official Plan*.”

⁶ City of Brampton. “*Brampton Plan: Our Vision Your Future*.” Last Consolidated 2022. Accessed 6 May 2024.

This Scoped HIA has been prepared in accordance with these three policies. Mitigation measures and options, as well as the identification of salvageable materials, have been prepared to help mitigate the effects of forthcoming development on the cultural heritage value or interest of the Property.

3.4 City of Brampton Official Plan (2006, consolidated 2020)

The *City of Brampton Official Plan (OP)* was adopted on 11 October 2006, partially approved by the Region of Peel on 24 January 2008 and partially approved by the Ontario Municipal Board on 7 October 2008. The City has been developing a new *OP* since 2019 which will plan for 2040. The most recent consolidation dates to September 2020. Policies pertaining to cultural heritage are in Section 4.10 of the *OP*. Section 4.10.1 includes the following policies regarding built heritage:

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

4.10.8.3 City-owned heritage resources shall be integrated into the community and put to adaptive reuse, where feasible.

4.10.8.5 When the potential re-use or a change in function of a City-owned heritage resource is being contemplated, the potential adverse impacts to the heritage attributes and significance shall be carefully considered and mitigated..⁷

This Scoped HIA has been prepared in accordance with these policies. Mitigation measures and options, as well as the identification of salvageable materials, have been prepared to help

<https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA7%20Downtown%20Brampton.pdf>. 3-148; 3-152.

⁷ City of Brampton. "City of Brampton Official Plan." Last Consolidated September 2020. Accessed 6 May 2024. https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf. 4.10-3; 4.10-12.

mitigate the effects of forthcoming development on the cultural heritage value or interest of the Property.

3.5 City of Brampton Culture Master Plan (2018)

The *City of Brampton Culture Master Plan (CMP)* was adopted by City Council in 2018 for the purposes of strengthening the City's arts and culture sector to help improve the quality of life for inhabitants and support economic development. The *CMP* identifies goals, themes, and strategies/actions to support growth of the arts and culture sector. Relevant strategies and actions include:

Space, Strategy 3: Explore new opportunities to adaptively reuse City-owned spaces for cultural purposes and identify spaces to be leveraged for the co-location of stakeholders and multi-purposes use (i.e. performance, display, rehearsal, administrative). Identify appropriate operating models and develop formal management agreements. Consider the repositioning of the Bramalea Civic Centre as a cultural hub.⁸

3.6 City of Brampton: Budget Committee Decision Regarding the Former Ontario Provincial Police Administration Building

On 27 February 2023, the City's Budget Committee resolved that the City de-designate the former Ontario Provincial Police Administration Building at 8990 McLaughlin Road South to allow for the demolition of the building while retaining heritage attributes to the greatest extent possible. The resolution stated:

Whereas Brampton City Council recognizes the benefits of Arts and Culture to the City of Brampton and the valuable contributions of the local creative community;

Whereas Council approved the City's first Culture Master Plan in 2018, which identified a critical need to expand spaces for Creative Production and Presentation in Brampton;

Whereas staff were directed to identify municipally-owned properties to expand dedicated cultural space in the City;

Whereas the heritage-designated former OPP Administration building at Flower City Community campus, with a civic address of 8990 McLaughlin Road, Brampton, Ontario, is beyond the reasonable state of repair and not economical to remediate;

Whereas the boarded building referenced above is impacted by mold, asbestos and other hazardous substances, and was estimated in 2020 to require a minimum of \$1,000,000 to establish safe access to the facility;

⁸ City of Brampton. "Culture Master Plan." Dated June 2018. Accessed 30 May 2024. <https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Services/documents/cultural-master-plan/city%20of%20brampton%20-final%20culture%20master%20plan.pdf>. 33.

Therefore, Be It Resolved That:

1. The City de-designate the heritage property located at 8990 McLaughlin Road, Brampton, Ontario, to allow for demolition of the existing heritage building while retaining heritage elements to the greatest extent possible;
2. That a new capital project be included in the 2023 Capital Budget in the amount of \$2,600,000 for the demolition of the building identified above and the design of an Arts and Culture Centre, including accommodations for community space, to be funded from Reserve #4 – Repair and Replacement;
3. That Capital Project #236811-001 - Brampton Arts and Culture Hub Feasibility Study currently included in the Proposed 2023 Capital Budget in the amount of \$60,000 with funding from Reserve #4 – Repair and Replacement, be removed;
4. Council delegate authority to the CAO or his designate to expedite the actions necessary to prepare the site, issue an RFP to solicit consulting services and evaluate the needs of the arts and cultural sectors in the community and determine the size, scope and funding strategy for a purpose-built Arts & Culture Centre, including accommodations for community space, at 8990 McLaughlin Road, Brampton.⁹

⁹ City of Brampton Budget Committee. "Minutes, Budget Committee, The Corporation of the City of Brampton." Dated 27 February 2023. Accessed 6 May 2024. <https://pub-brampton.escribemeetings.com/Meeting.aspx?Id=8c0f8096-9093-4217-9a43-ad12ac6dc563&Agenda=PostMinutes&lang=English>.

4 FINDINGS FROM PREVIOUS RELEVANT REPORTS

4.1 City of Brampton Heritage Designation Report (2006)

A *Heritage Report: Statement of Reason for Heritage Designation (Heritage Report)* dated 10 January 2006 was prepared by Jim Leonard of the City's Planning, Design and Development Department. This report included a Statement of Reason for Heritage Designation, Description of Cultural Heritage Attributes, Heritage Evaluation Note, Alterations and Physical Integrity Note, Rarity Note, and Recommendations.¹⁰

4.1.1 Statement of Reason for Heritage Designation

The first section of the *Heritage Report* is the statement of reason for heritage designation. This section of the *Heritage Report* forms the statement regarding the reason for designation of the Property and heritage attributes as adopted under City of Brampton By-law 57-2006 (see Section 6).

4.1.2 Description of Heritage Attributes

The second section of the *Heritage Report* details the Property's cultural heritage attributes connected with its design value or physical value, historical value, and contextual value. The attributes described in this section generally match those from section 1 of the *Heritage Report*. This section provides additional justification for the inclusion of each heritage attribute.

Section 2.1 describes the building's Modern Classicism design. It suggests that the Modern Classicism style was favoured by all levels of government around the Great Depression era because it allowed for a balance of modern aesthetics, frugality, and tradition. It further identifies architectural details common of the Modern Classicism style, including symmetrical, rectangular massing; incorporation of pilasters, entablatures, columns, and plinths; brick and ashlar exterior walls; and the presence of towers or rotundas. Architectural characteristics of the Art Deco and Art Moderne styles is also provided, including a stepped or setback massing; flat, uninterrupted roofline; steel industrial windows (that can wrap around corners); glass block windows; and use of relief panels. Using these descriptions, the following list of attributes was generated:

- Stepped-back profile to main façade;
- symmetrical, rectangular massing;
- footprint of building on diagonal facing street corner;

¹⁰ City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." Dated 10 January 2006. Provided by the Owner.

- flat roof punctuated only by large, central rotunda;
- central pavilion where the main entrance and rotunda is situated;
- abstracted fluted pilasters flank a slightly recessed entrance;
- large, square transom topping double leaf wooden doors;
- slender fixed windows on either side of the doorway provide additional light into interior vestibule;
- Coat of Arms of the Province of Ontario rendered in cast concrete;
- pavilion section capped with two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory);
- cut stone knee wall, with gently angled Rama limestone coping and U-shaped stone drainage spout on each side of wall, plus coursed Rama ashlar stone dressing throughout;
- basement windows with metal railings;
- Unadorned metal "industrial" casement windows in steel framing, including some corner windows;
- masonry walls laid in Fleming bond;
- coursed ashlar stone water table around entire building; plain stone cornice capping the roofline;
- glass block window at rear;
- rear basement window wells with metal railings.¹¹

Section 2.1 also identifies internal attributes characteristic of the Art Deco and Art Moderns architectural styles, including:

- metal staircase railings in main entrance vestibule;
- double leaf glass doors in vestibule and lobby area;
- air vents covered with decorative chrome grilles;
- emerald green, burgundy red and speckled beige terrazzo flooring;

¹¹ City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." 5-6.

- terrazzo follows simple geometric motif of uniformly intersecting lines and circles through lobby and main hallways;
- red terrazzo serves as baseboard through lobby;
- terrazzo baseboard in hallways gently curve up from floor;
- stone dado and some sections of lobby walls dressed in polished marble;
- interior doors with large transoms, stone surrounds;
- all interior door surrounds are terrazzo and repeat green and red colour scheme;
- all interior doors in lobby area that retain original hardware;
- two storey rotunda lit with glass block windows (clerestory);
- rotunda ceiling with what appears to be applied acoustical tiles with repeating geometric motif of diamond lozenges and squares arranged in a tight grid pattern;
- walls of rotunda which appear to retain original sea foam green paint colour;
- frieze band of repeating scalloped stone blocks delineate the bottom edges of rotunda ceiling;
- scalloped stone pattern under sill of lobby reception wickets and in the horizontal section of main door architrave leading into vestibule;
- metal "industrial" windows and window hardware;
- all curved metal handrails on staircases, all glass block walls and windows.¹²

Section 2.2 describes the building's historical value, discussing its links to the history of medicine through the "Ontario Hospital" program, social and penal reform through its use as an Adult Training Centre or "Training School", and Canada's participation in the Second World War. This section also recognizes the building's architect, James Henry Craig, who was known for his use of the Art Moderne, International, and Georgian/Colonial Revival architectural styles. No specific, tangible components of the building are identified as attributes within this section.

Section 2.3 describes the building's contextual value, articulating that the building has constantly been the focal point of the 300-acre property. The following contextual attributes are defined:

- The original site plan provided a long sweeping setback;

¹² City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." 11.

- building, with its narrow, rectangular, stepped-back profile was set on a diagonal facing corner of Queen Street and McLaughlin Road;
- access to building was up a long, tree-lined laneway intersecting with a circular driveway in front of building - forming a "Grand Avenue";
- remnants of stone bases for light standards are still present on the front façade.¹³

Section 1 of the Heritage Report and the Property's designation by-law do not include an identical list of heritage attributes to this section.

4.1.3 Heritage Evaluation Note

The third section of the *Heritage Report* comments on previous assessments for cultural heritage value or interest that have been prepared for the Property. It reports that the Property was assessed in 2001 by Unterman-McPhail Associates and in 2004 by City staff. Both reports determined the Property to be a 'Class A' resource worthy of heritage designation.

4.1.4 Alterations and Physical Integrity Note

The fourth section of the *Heritage Report* comments on the building on the Property's integrity. It was found that the building is well preserved overall. It is reported that the:

[V]estibule, lobby, rotunda and main hallways retain virtually all Art Moderne decorative elements; upper walls of rotunda appear to retain an original or early 'sea foam' green paint colour scheme; glass block windows, industrial metal windows and related hardware are intact and in good working order.¹⁴

It was also reported that the basement has flooded, leading to mould growth; several windows have been damaged; masonry and stone required repointing and repair; and external lights have been removed from the Property and building.

4.1.5 Rarity Note

The fifth section of the *Heritage Report* comments on the building on the Property's rarity. It identifies that the building on the Property is "...the only academically pure example of Modern Classicism in the City"¹⁵ and one of few buildings designed in a modernist architectural style. It further describes that the building on the Property has one of the better-preserved Art Deco interiors in the Greater Toronto Area.

¹³ City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." 22.

¹⁴ City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." 23.

¹⁵ City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." 24.

4.2 ERA Architects Inc. Heritage Building Assessment Report (2024)

ERA Architects Inc. prepared a *Heritage Building Assessment Report* that focused on the building on the Property's heritage attributes, as identified in City of Brampton by-law 57-2006. In their assessment, they used the following description of observed conditions:

- **Good:** functioning as intended, normal deterioration observed, no maintenance anticipated within the next 5 years.
- **Fair:** functioning as intended, moderate deterioration observed, maintenance will be required within the next 5 years.
- **Poor:** not functioning as intended, deterioration and distress observed, maintenance and some repairs required in the next 1 or 2 years.
- **Defective:** not functioning as intended; significant deterioration and major distress observed, with possible damage to support structure; may present a risk, must be dealt with promptly.¹⁶

These descriptions were applied to the building on the Property's stone, brick, doors, glass block windows, and steel windows on its external elevations and its glass block partitions, paint, plaster, ceiling, metalwork, terrazzo floor, and terrazzo wall elements within the building. A description of the condition of these attributes, as well as their condition, required level of intervention, and a description of the required remediation measures, are presented in Table 1. These descriptions are in verbatim from ERA Architects Inc.'s report.

¹⁶ ERA Architects Inc. "Heritage Building Assessment Report." Dated 3 May 2024. Provided by the Owner. 11.

Table 1: ERA Architects Inc. Condition Assessment¹⁷

Heritage Attribute	Description of Attribute Condition	Conditions	Level of Intervention	Description of Required Remediation Measures
Stone	<p>The exterior stone elements, including the parapet copings, door surrounds, window sills, and base banding, were found in poor condition with varying levels of discolouration and detachment.</p> <p>Throughout the stone base, significant delamination was observed on the upper banding where the bedding layers of the stone were exposed on the ledge. As a result, the upper courses of stone have visible cracks and spalled faces. Efflorescence, organic growth and carbon staining were observed throughout.</p> <p>The stone copings and window sills were exposed without cap flashings. Discolouration was observed in moist areas that are not protected from water runoff. Rust stains were located near the railings at the east porch and at the basement windows. Graffiti was observed on the north and south walls.</p> <p>The north porch had stone steps and a knee wall with discolouration, cracks and detached units.</p>	Poor	High	Extensive repairs and replacement
Brick	<p>The exterior brick wall was found in fair condition, with varying levels of discolouration, cracks, and detachment.</p> <p>Black stains and hairline cracks were observed on the bricks located below the stone window sills. The sills were flushed with the adjacent bricks and included a curved metal drip edge below. The sill detail did not provide an effective way to shed water, given the condition of the bricks at these locations.</p> <p>Stains were evident around the rusting elements, including the window grates on the south wall.</p> <p>Efflorescence was also observed near the parapet.</p> <p>Spalling bricks were observed near the stone copings and window sills, where the fireskin of the brick has spalled off.</p>	Fair	Medium	Selective repairs and replacement
Doors	<p>The main door was in poor condition. It was difficult to operate, had alignment issues, broken glass and rusting hinges. On the exterior, the door pulls were missing, and new locks were installed. On the interior, the door handles remain, and new top strike locks were installed. The perimeter weather sealing systems, including the gaskets around the jambs and the door thresholds were deformed. The door transoms had missing glass panes. The paint around the door was peeling.</p>	Poor	High	Extensive repairs and replacement
Steel Windows	<p>In the rotunda, the clerestory glass block windows were found in poor condition. Two were defective, with only one row of glass block remaining. On the south wall, there was a clerestory glass block window above an exit door opening. This was found defective and had six missing units.</p>	Poor	High	Extensive repairs and replacement
Glass Block Windows	<p>The steel windows were found in poor condition. There were missing sashes, missing and broken panes, as well as deteriorated glazing putty. Paint was peeling on the frames, and the sealant around the windows were mostly missing. The window hardware was rusting or painted shut. In the rotunda, there was two clerestory steel windows with no glass panes.</p> <p>Previous modifications were found, especially at the rear. Some were infilled with brick, converted into doors, or modified to incorporate mechanical vents or fans.</p>	Poor	High	Extensive repairs and replacement

¹⁷ ERA Architects Inc. "Heritage Building Assessment Report." Dated 3 May 2024. Provided by the Owner. 15-29.

Heritage Attribute	Description of Attribute Condition	Conditions	Level of Intervention	Description of Required Remediation Measures
Glass Block Partitions	Glass block partitions were found in the hallways, and were in fair condition, with minor deterioration. There were scratches, adhesive residue and missing units.	Fair	Medium	Selective repairs and replacement
Paint	The paint was in defective condition. In the rotunda, almost the entire painted surface was already peeling. The outermost paint film already separated from the previous coat.	Defective	High	Full replacement
Plaster	The plaster was in defective condition. Detachment, cracks, disintegration were observed. Large sections of plaster were missing on areas in the south vestibule, washrooms, and in some areas around the windows.	Defective	High	Full replacement
Ceiling	<p>The acoustical ceiling tiles in the north vestibule and rotunda were found to be intact and in fair condition. Only a few tiles were missing.</p> <p>The acoustical ceiling tiles were rendered in burgundy and had repeating geometric motifs of diamond lozenges and squares.</p> <p>ERA did not provide a close inspection and could not describe their surface conditions. While the acoustical ceiling tiles appeared intact, they were previously identified to contain asbestos.</p>	Fair	Medium	Selective repairs and replacement
Metalwork	<p>The interior metal elements were mostly found in good condition, however, there were a few defective units.</p> <p>The polished chrome grilles in the rotunda and north vestibule were in good condition, however there were two defective units that were detached and deformed.</p> <p>The metal handrails in the north vestibule were in good condition.</p> <p>The door hardware, including the pulls and handles in the rotunda were in good condition, however, the hinges and kickplates were rusting.</p>	Good	Low	Refurbish and maintain
Terrazzo Floor	<p>The terrazzo flooring and baseboards in the rotunda and hallways, as well as the terrazzo stairs in the north vestibule, were found in fair condition.</p> <p>The terrazzo floor surface in the heritage building had a smooth and polished appearance and appeared cast-in-place. Terrazzo is a very durable material. Normal forms of deterioration would be limited to discolouration (staining or pigment fading) and some material loss (abrasion, chipping and cracks).</p> <p>At the time of review, the terrazzo floor surface was covered with debris. It was difficult to identify any surface deterioration. However, they appeared levelled and stable with only minor deterioration. In select locations, the emerald green and burgundy rendering can still be clearly distinguished.</p>	Fair	Medium	Selective repairs and replacement
Terrazzo Wall Elements	The terrazzo wall trims and panels were mostly found in the rotunda and were in fair condition. These include the beige-speckled wainscotting, the emerald green and burgundy door trims, and window trims. However, those on the east, west and south walls exhibited cracks and water damage. Above these walls, there were unprotected clerestory steel windows.	Fair	Medium	Selective repairs and replacement

4.2.1 OHE Consultants Hazardous Building Materials Survey (2020)

Section 2.1 of ERA Architects Inc. includes a brief review of OHE Consultants *Hazardous Building Materials Survey*. The following findings are presented:

- Asbestos-Containing Materials (“ACMs”) were identified in plaster and window putty and may be present in refractory materials. Overall, the ACMs were noted to be in good to poor condition.
- Lead-containing paint was identified at the heritage building and may be present in wiring connectors, electrical cable sheathing, and solder joints on copper piping. Lead may be present in ceramic building products like floor and wall tiles.
- Three mercury-containing thermostats were observed in the boiler room, and mercury was also present as a vapour and in the fluorescent light bulbs. It may be present in other electrical equipment.
- Silica may be present in materials like fillers for paints and mastic, and in bricks, ceramics, masonry, concrete and mortar.
- Fluorescent light fixtures were observed with manufacturing labels indicating “No PCBs”.
- Water damage and mould growth was observed on the walls and the ceilings throughout the Site and additional water damage and mould impacted materials are likely present in wall cavities, under flooring.
- Man-made mineral fibres were observed.
- Equipment containing ozone depleting substances and above ground/underground storage tanks were not observed. Urea formaldehyde foam insulation was not observed, however may be present in the wall cavities.¹⁸

4.2.2 GBCA Architects Existing Conditions Drawings (2005)

Section 2.2 of ERA Architects Inc. includes a brief review of GBCA’s *Existing Condition Drawings*. The following findings are presented:

¹⁸ OHE Consultants. “Hazardous Building Materials Survey.” as discussed in ERA Architects Inc. “Heritage Building Assessment Report.” Dated November 2020. Provided by the Owner. 9.

- various forms of masonry deterioration were identified, including the presence of water/moisture at the parapet and stone base, cracks below the window sills, incompatible brick repairs above the windows, and efflorescence and spalling.¹⁹

4.2.3 GBCA Architects Renovation Drawings (2006)

Section 2.3 of ERA Architects Inc. includes a brief review of GBCA's *Renovation Drawings* for the building on the Property. The following recommendations are presented:

- removing efflorescence/staining at various locations including the stone base and the facade;
- replacing and/or reinstate damaged stone units to match existing at areas of bulging/spalling;
- remove electrical fixture and patch masonry; rebuild the existing brick with salvaged or new brick units; and,
- cleaning rust stains.²⁰

4.3 ECOH Management Inc. Pre-Demolition Designated Substances and Hazardous Materials Survey (2023)

ECOH Management Inc. prepared a *Pre-Demolition Designated Substances and Hazardous Materials Survey*. The following substances were found in the building:

- Asbestos
 - Plaster observed on the walls and ceilings throughout the interior of the Project Area is confirmed to be asbestos-containing (0.5% Chrysotile) (friable) (approximately 20,000 SF).
 - Boiler Insulation observed on the Boiler within the Basement Boiler Room (Loc. 0-04) is confirmed to be asbestos-containing (60% Chrysotile) (friable) (approximately 15 SF).
 - Refractory brick within the interior of the Boiler within the Basement Boiler Room (Loc. 0-04) is presumed to be asbestos-containing (friable).

¹⁹ GBCA Architects. "Existing Condition Drawings." As discussed in ERA Architects Inc. "Heritage Building Assessment Report." Dated 2005. Provided by the Owner. 10.

²⁰ GBCA Architects. "Renovation Drawings." As discussed in ERA Architects Inc. "Heritage Building Assessment Report." Dated 2006. Provided by the Owner. 10.

- Off-white caulking observed on exterior windows throughout the Project Area is confirmed to be asbestos-containing (8% Chrysotile) (non-friable) (approximately 300 LF).
 - Grey putty observed on exterior windows throughout the Project Area is confirmed to be asbestos-containing (3% Chrysotile) (non-friable) (approximately 200 LF).
 - Bell and spigot joint packing throughout the Project Area is presumed to be asbestos-containing (non-friable) (approximately 165 units).
 - Roofing materials within the Project Area is presumed to be asbestos-containing (non-friable) (approximately 8000 SF).
 - Lead
 - Brown paint on door frames (>1.0 mg/cm²).
 - Grey paint on walls (>1.0 mg/cm²).
 - Red paint on handrails (>1.0 mg/cm²).
 - Red paint on the boiler in the Basement Boiler Room (Loc. 0-04) (>1.0 mg/cm²).
 - White paint on windows (>1.0 mg/cm²).
 - Ceramic tile (>1.0 mg/cm²).
 - Red paint on floors (3.0% wt).
 - Biocontamination Hazard
 - Animal droppings were observed throughout the Project Area. Contaminated surfaces include floors, within wall cavities, and other concealed locations.
 - Mould
 - Extensive mould was observed throughout the Project Area.
 - Polychlorinated Biphenyls
 - Approximately fifty (50) fluorescent light fixtures were observed within the Project Area. Two (2) light ballasts were previously inspected. These ballasts had labels stating to be manufactured by Ultra Miser and Advance Transformer Co. and do not contain PCBs.
 - Transformers were observed in the Project Area. Based upon transformer nameplates, it was determined that the transformers do not contain PCBs.
-

- Mercury
 - The presence of mercury within assembled units (e.g. thermostat bulbs and fluorescent light tubes) should not be considered a hazard provided that the assembled units remain sealed and intact. Avoid direct skin contact with mercury and avoid inhalation of mercury vapour. Dispose of mercury following applicable legislative requirements.
- Silica
 - Free crystalline silica, in the form of common construction sand, is present in all concrete and masonry products within the Project Area. Silica is also present within foam glass insulation.
- Ozone Depleting Substances
 - Ozone depleting substances are assumed to be present in all refrigeration/freezer units and cooling equipment throughout the Project Area.
- Other Designated Substances and Hazardous Materials
 - Other DSHM that were identified in insignificant quantities or forms, if at all, include the following; Acrylonitrile, Arsenic, Benzene, Coke Oven Emissions, Ethylene Oxide, Isocyanates, Radioactive materials, Urea Formaldehyde Foam Insulation (UFFI) and Vinyl Chloride Monomer.²¹

4.4 GBCA Architects Heritage Impact Assessment for 8950 McLaughlin Road South (2022)

GBCA prepared a *Heritage Impact Assessment* for the former Ontario Provincial Policy Administration Building on the Property in support of a site plan application for the property at 8950 McLaughlin Road South. The report reviewed the Property's historical and cultural and architectural background. The report discusses the Property's historic uses including its initial development and use as the 'Ontario Mental Tubercular Hospital', its use as the #24 Basic Training Centre for the Royal Canadian Army, its use as the Ontario Reformatory, Brampton/ Brampton Adult Training Centre, and its use as the Ontario Provincial Police Administration Building. The report then discusses the building on the Property's architectural value, citing it as a Modern Classicism structure.²²

²¹ ECOH Management Inc. "Pre-Demolition Designated Substances and Hazardous Materials Survey." Dated 24 July 2023. Provided by the Owner. i-iii.

²² GBCA Architects. "Heritage Impact Assessment for 8950 McLaughlin Road South". Dated 31 August 2022.

5 EXISTING CONDITIONS

5.1 Surrounding Context

The Property is located in the City of Brampton, in Peel County, in the Greater Toronto Region. The building on the Property is approximately 0.4 kilometres northwest of the Ontario Correctional Institute and 1.5 metres southwest of Brampton City Hall. The Property is east of the City of Brampton's downtown core and is south of the intersection of McLaughlin Road South and Queen Street West.

The area surrounding the Property is composed of a mix of land uses. To the northeast, Service Commercial (SC), Residential Holding (RH), Residential Single Detached B (R1B), and Residential Detached D (R1D) zones are present. To the northwest, Commercial 3 (C3) and Residential Single Detached B (R1B) zones are present. Buildings on the commercial properties to the northeast and northwest of the Property are generally one-storey in height and deeply setback from the street. Buildings are separated from the street by a concrete sidewalk, boulevard with manicured grass and mature deciduous and coniferous trees, and parking lots with asphalt surfaces. Buildings are typically rectangular in shape, have a flat roof, and are clad in brick, metal siding, stone veneer, or tile. To the southeast and southwest, several properties zoned Institutional 2 zone are present. Two schools, Queen Street Public School and Sir William Gage Middle School, and a prison, the Ontario Correctional Institute are in this area. Both schools are two storey and moderately setback from the street. They are separated by the street by a concrete sidewalk, boulevard with manicured grass and mature deciduous and coniferous trees, and parking lots/drop-off lanes with asphalt surfaces. The McCleave Forest Conservation Area is also located to the southwest of the Property and is zoned Institutional 2. It is a woodlot measuring approximately 275 metres by 275 metres that is densely populated with mature deciduous and coniferous trees.

The Property is bounded by McLaughlin Road South to the northeast, the Ontario Correctional Institute to the southeast, the McCleave Forest Conservation Area and Academic Drive to the southwest, and Queen Street West to the northwest.

McLaughlin Road South is approximately 195 metres northeast of the former Ontario Provincial Police Administration Building on the Property. It is a minor arterial road that extends between the City's northern border with the Town of Caledon and the City's southern border with the City of Mississauga. Near the Property, McLaughlin Road South has two northwest-bound and two southeast-bound lanes. At its intersection with Bufford Drive and Queen Street West, right-hand and left-hand turning lanes are present. The road has an asphalt driving surface. At its intersection with Bufford Drive, a narrow concrete median is present. A concrete curb, concrete sidewalk, and streetlight are present on the northeast side of the road. A narrow boulevard

with manicured grass is present to the southeast of McLaughlin Road South's intersection with Bufford Drive. The boulevard also continues approximately 50 metres to the northeast of this intersection. A concrete curb, asphalt strip, boulevard with manicured grass, concrete sidewalk and electrical poles are present on the southwest side of the road to the northwest of McLaughlin Road South's intersection with Bufford Drive. To the southeast of McLaughlin Road South's intersection with Bufford Drive, there is no sidewalk.

Academic Drive is approximately 195 metres northwest of the former Ontario Provincial Police Administration Building on the Property. It is a local road providing access between Queen Street West and the Property's driveway. Near the Property, Academic Drive has one northwest-bound and one southeast-bound lane. It has an asphalt driving surface, concrete curb, and concrete sidewalk on both sides. A narrow boulevard with manicured grass extends the length of the road's northeast side. A boulevard is also present on the southwest side of the road, but only for a stretch of approximately 110 metres along the southmost section of the road. Streetlights are on the southwest side of the road.

Queen Street West is approximately 155 metres northwest of the former Ontario Provincial Police Administration Building on the Property. It is a major arterial road that extends between the City's eastern border with the City of Vaughan and the City's western border with the Town of Halton Hills. Near the Property, Queen Street West has two northeast-bound lanes and two southwest-bound lanes. The road has an asphalt driving surface. At its intersections with McLaughlin Road North and Academic Drive, turning lanes are present and the road is divided by narrow concrete medians, concrete curbs, stamped concrete strip, and boulevard with manicured grass.

The Ontario Correctional Institute is a prison. It is on an approximately 110-acre parcel of land.

5.2 Adjacent Heritage Properties

The City's Municipal Register of Cultural Heritage Resources Designated Under the Ontario Heritage Act, Municipal Register of Cultural Heritage Resources, and Brampton Planning Viewer were reviewed for adjacent heritage properties.

The City's *Official Plan* does not define 'adjacent'. Accordingly, the definitions from the *PPS* and the *Region of Peel Official Plan* were used to inform the search. In the context of cultural heritage, the *PPS* defines 'adjacent as': "...lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan" and the *Region of Peel Official Plan* defines 'adjacent' as land "contiguous to a protected heritage property or as otherwise defined in a local municipal official plan." Using these definitions, no adjacent heritage properties are present.

5.3 The Property

The Property at 8990 McLaughlin Road South comprises a section of the property municipally known as the 'Flower City Community Campus' at 8850-8990 McLaughlin Road South. The 'Flower City Community Campus' is a rectangular lot with an approximate area of 26.0 hectares occupied by eight buildings, numerous outdoor sports facilities, open space, and numerous parking areas and driveways. Following buildings occupy the property:

- Former Ontario Provincial Police Administration Building (northmost building on the campus; see Section 5.3.1).
- Three sports administration buildings (middle of the campus).
- Lawn bowling facility (southwest-most building on the campus).
- Vehicle inspection facility (between the lawn bowling facility and the Bob Callahan Flower City Seniors Centre).
- Bob Callahan Flower City Seniors Centre (northeast of the lawn bowling facility, southwest of the Enforcement and By-Law Services and Building Division building).
- Enforcement and By-Law Services and Building Division building (northeast of the Bob Callahan Flower City Seniors Centre).

Sports facilities are located around the property's perimeter. A baseball diamond, cricket pitch, lawn bowling green, and several soccer fields are present. Parking and green space is generally interspersed throughout the middle of the property between the buildings.

5.3.1 Ontario Provincial Police Administration Building

Exterior

The former Ontario Provincial Police Administration Building on the Property is a single detached, one-storey rectangular building with a full below grade basement. The building's primary, north elevation has a symmetrical, stepped back massing divided into eleven bays (Photo 1). The main exterior wall is composed of coursed Rama limestone and buff brick set in Flemish bond (Photo 2). Decorative elements on the building's north elevation include a Coat of Arms for the Province of Ontario rendered in cast concrete is situated above the building's primary entrance and a datestone reading '1937' located on the north elevation to the east of the main entrance (Photo 3 and Photo 4). The building has a flat roof with a stone parapet. An octagonal rotunda composed of stone is centrally located on the building's roof. The rotunda is composed of stone, has a flat roof with stone parapet, and has glass block windows in each of its eight sides. A large, buff brick chimney is centrally located on the building's south elevation. Only the base of the chimney remains.

First storey and rotunda windows have a flatheaded opening and plain stone slip sill. Basement windows are set into flatheaded opening and have no trim (Photo 1 and Photo 2).

The building's main entrance is centrally located on its north elevation. The doorway is narrowly recessed from the façade, has a flatheaded opening, a flatheaded transom, and abstracted fluted pilasters on both sides. The doorway has a solid two-leaf, metal door. The main entrance is accessed from a pavilion. The pavilion has a cut stone knee wall and stone deck (Photo 5).



Photo 1: View southeast showing part of the building's primary, north elevation



Photo 2: View southwest showing the building's external materials



Photo 3: View south showing the Coat of Arms above the building's main entrance



Photo 4: View southwest showing the building's datestone



Photo 5: View southeast showing the building's main entrance and pavilion

Interior

The building's primary entrance provides access to a vestibule and staircase that leads to the lobby. The vestibule and staircase have a terrazzo floor, painted walls with speckled beige terrazzo wainscotting, and a smooth painted ceiling. The interior side of the main entrance has an emerald green and burgundy red terrazzo surround. The lobby is accessed from a door at the top of the vestibule's stairs. The doorway has a flatheaded opening, a flatheaded transom, and emerald green and burgundy red terrazzo surround. The doorway has a two-leaf, metal door with central lights and chrome door pulls. The building's lobby is octagonal in shape and directly aligns with rotunda (Photo 6). It has a terrazzo floor rendered in emerald green, burgundy red, and speckled beige (Photo 7) and burgundy red terrazzo baseboard. Walls typically have speckled beige terrazzo wainscotting and smooth paint. One area on the south wall is clad in beige tile (Photo 8). Four metal grates are located on the north wall (Photo 9). The interior walls of the rotunda have a scalloped stone frieze band and walls painted sea foam green (Photo 10). The lobby's ceiling has acoustical tiles in repeating geometric motif of diamond lozenges and squares (Photo 11).

Each of the lobby's eight walls have an opening. The north wall leads to the main entrance and the south opening leads to a nondescript back room. The east and west openings lead to

hallways that extend the length of the building. Each of these four openings have a door with an emerald green and burgundy red terrazzo surround and a single leaf door with central light and chrome door pulls (Photo 12). The northeast and northwest walls have doorways that lead to nondescript rooms. These opening have a door with a burgundy red terrazzo surround and a single leaf door with central light and chrome door pulls (Photo 12). The southeast and southwest walls have wickets with burgundy red terrazzo surrounds (Photo 12).

The east and west hallways share the same general configuration. They have a terrazzo floor rendered in emerald green, burgundy red, and speckled beige; burgundy red terrazzo baseboard; and painted wall and ceiling. Select wall sections on the south wall are composed of glass blocks (Photo 13). Nondescript rooms are located on both sides of the hallways. Rooms typically have concrete floor, painted concrete baseboards, painted walls, and concrete ceiling clad in acoustic paneling (Photo 14).

The building's basement is accessed from a stairway near the terminus of the west hallway on its south side. The stairway is "U" shaped and is composed of concrete. It has tiled walls with speckled beige terrazzo wainscoting, and a smooth painted ceiling (Photo 15). The stairway leads to a central hallway in the basement. The hallway has a concrete floor and painted concrete baseboards, walls, and ceiling (Photo 16). The basement's ceiling is unfinished, and mechanical and electrical equipment is visible in several locations. The basement is typically composed of large, open rooms with nondescript uses. Basement rooms share the same material configuration as the basement hallway (Photo 17). The building's mechanical room is centrally located on the south wall of the basement. Mechanical and electrical equipment is located in this room including a furnace and water heaters (Photo 18). The walls in the centre of the basement are octagonal in shape and align with the building's lobby and rotunda (Photo 19).



Photo 6: View southeast showing the building's lobby and rotunda



Photo 7: View of a section of the lobby's terrazzo floor



Photo 8: View south showing a tiled wall section in the building's lobby



Photo 9: View north showing a typical metal grate in the lobby



Photo 10: View northwest showing the material use in the rotunda

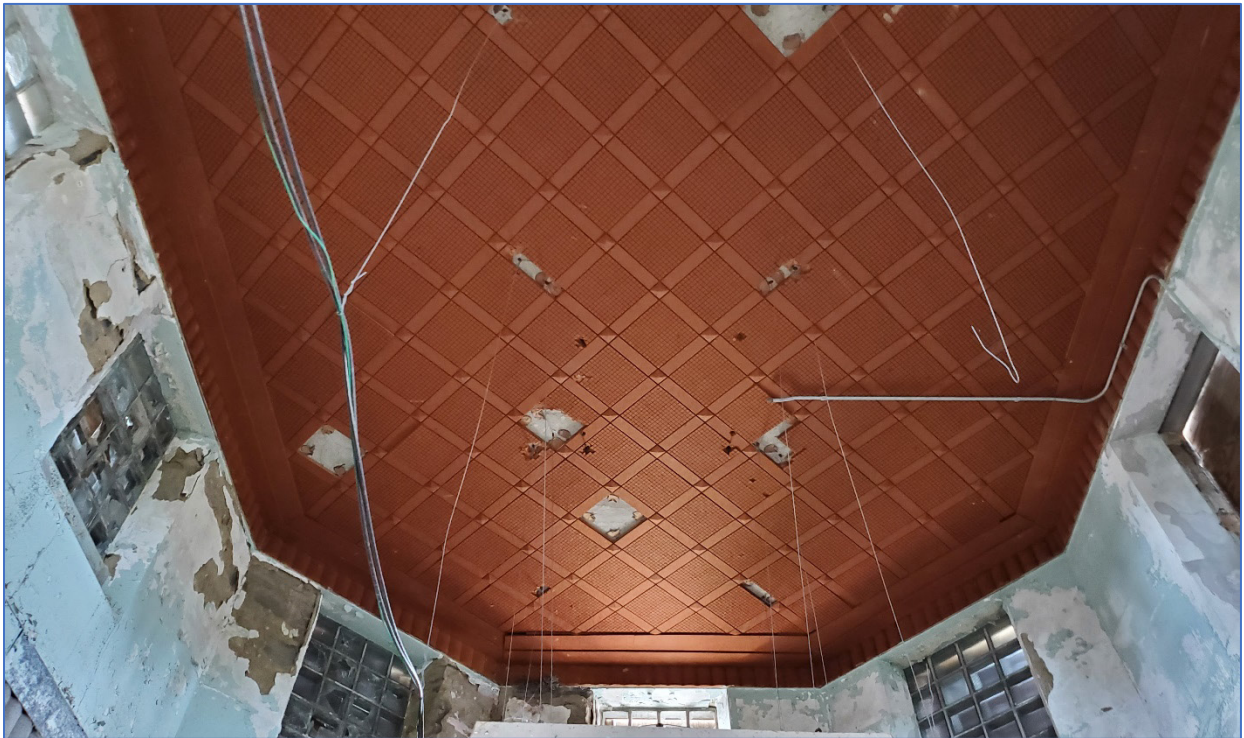


Photo 11: View of the ceiling in the rotunda



Photo 12: View east showing openings on the lobby's northeast (left; nondescript room), east (centre; hallway), and southeast (right; wicket) walls



Photo 13: View west showing the east hallway



Photo 14: View northwest of a typical first storey room



Photo 15: View north showing the basement stairway



Photo 16: View west showing the basement hallway



Photo 17: View east showing an open room in the east side of the basement



Photo 18: View south showing the furnace in the building's basement



Photo 19: View east showing an angled wall section that aligns with the lobby and rotunda

6 CULTURAL HERITAGE VALUE OR INTEREST

Heritage designation By-law 57-2006 has the following statement regarding the reason for designation of the Property and heritage attributes.

The former Administration Building of the "Ontario Mental Tubercular Hospital" is a noteworthy landmark located at McLaughlin Road South and Queen Street West. The building is a remarkably well-preserved example of civic architecture in the early modernist form. It was built in 1938 for the Government of Ontario, and was to be the first phase of a large hospital complex that was to occupy almost 100 acres of land in the former Chinguacousy Township.

The exterior of the building exhibits the distinctive architectural design elements of Modern Classicism, a variant of Art Deco, favoured by government for public building projects in the Great Depression era. The Brampton building is highly illustrative of this important architectural form. Art Deco and its variants such as Art Moderne and Modern Classicism are quite rare in the City of Brampton.

The one storey hospital administration building retains most of its original exterior detailing such as: buff brick masonry walls trimmed with coursed ashlar stone, stepped-back symmetrical profile, flat roof and metal industrial casement windows in steel frames.

The interior rotunda of the building stands as one of the best-preserved Art Deco/Art Moderne interiors in the Greater Toronto Area (outside of Toronto itself).

The building was designed by prominent Canadian architect, James Henry Craig (1889-1954). Craig's works include several well-known Toronto landmarks: Connaught Laboratory in Downsview Park (1917), Earl Haig High School (1929), the Dominion Public Building on Front Street (1935) and the "Hollywood Bowl" band shell on the CNE grounds (1936). Craig also designed the Thomas Foster Memorial in Uxbridge (1936). The Brampton Administration building is a good example of the work of this noted architect.

The site is directly associated with a variety of historical themes and events. It has many tangible links to the history of medicine through the "Ontario Hospital" program, social and penal reform through its use as an Adult Training Centre or "Training School". It also has important links to Canada's Participation in the Second World War.

The Ontario Mental Tubercular Hospital Administration Building (Former OPP Administration Building) possesses considerable cultural heritage value. Heritage designation under Part IV of the Ontario Heritage Act is recommended for architectural, historical and contextual reasons.

Certain attributes contribute to the cultural heritage significance of the subject property and should be preserved. They include the following:

Architectural Heritage Attributes:

Exterior architectural elements include: symmetrical, stepped-back front facade; central pavilion where the main entrance is situated; abstracted fluted pilasters flanking the recessed entrance; large, square transom topping double leaf wooden doors; Coat of Arms for the Province of Ontario rendered in cast concrete over main entrance; central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory); cut stone knee wall, with gently angled Rama limestone coping which lends additional distinction to the central pavilion; buff masonry smoke stack at central portion of rear elevation; coursed ashlar Rama limestone dressing; basement windows with metal railings.

Interior architectural elements include: Art Deco/Art Moderne design elements in octagonal rotunda and main hallways; terrazzo flooring with colours rendered in emerald green, burgundy red and speckled beige; polished chrome grilles over air vents; chrome hand rails and other original door hardware; lobby reception wickets with stone surrounds; marble wainscoting; acoustical tiles on rotunda ceiling in repeating geometric motif of diamond lozenges and squares; clerestory glass block windows in rotunda ceiling; a scalloped stone frieze band and early "sea foam" green walls in rotunda; concrete block construction designed to enhance its fireproofing properties.

Historical Heritage Attributes:

The site is directly associated with a variety of historical themes and events. It has many tangible links to the history of medicine through the "Ontario Hospital" program, social and penal reform through its use as an Adult Training Centre or "Training School". It also has important links to Canada's participation in the Second World War.

The lands that the Administration Building occupies are located in the former Township of Chinguacousy. As early as 1859 settler John Elliott has title to the land. By 1877 it was owned by John McClure. McClure had structures on the property. As recently as the mid 1930's foundations of an earlier structure were noted on the property directly adjacent to the present location of the Administration Building. The McClure family sold the property to Robert Sterritt in June 1926. The Province of Ontario purchased the entire 300-acre property in August 1937.

In 1937 the Ontario Government launched an expansion and reform program of its psychiatric healthcare facilities. In Brampton, the Government planned a large scale "Ontario Hospital" complex specializing in the treatment of mentally ill patients suffering from tuberculosis. Construction began in the winter of 1938 and was near completion by June 1938. According to the Toronto Star (March 19, 1938) the Brampton facility would be "the first hospital of its kind on this continent". It was to be known as the "Ontario Mental Tubercular Hospital". The subject building was to serve as the Administration Building for the new healthcare facility. It was to

provide office space for doctors and administrators, outpatient facilities, the admissions centre and a pre-admission screening centre. Full-scale construction of the hospital was halted however with the outbreak of the Second World War in September 1939.

In 1939 the entire 300-acre site was loaned to the Department of National Defense and used as a basic training centre (#24 Basic Training Centre) for the Royal Canadian Army. The Army erected barracks, drill halls and other support buildings. The administration building served as a 'detention facility'. The basic training centre opened in June 1942 and was designed to accommodate 1200 soldiers. R.V. Conover was the first commanding officer. After the War the lands reverted to the Government of Ontario.

In January 1947 the property was incorporated into a new provincial minimum-security reformatory or "training school". The government of Ontario had established an operational blueprint for penal reform known as "the Ontario Plan" that promoted education over incarceration. This site became the first such facility in Ontario. It was built as an "open facility" where inmates were not under constant supervision. By 1967 there were five similar "Training School" correctional facilities operating in Ontario. There were no security fences or other barriers. The facility operated from 1947 to 1979.

In the summer of 1981, the Ontario Provincial Police (OPP) converted the property into the Ontario Provincial Police Training and Development Centre. Premier William Davis officially opened the facility on October 16, 1981. The OPP intended to use the property on a temporary basis of no longer than five years. However, their occupancy extended over fifteen years. They relocated to a permanent training academy in Orillia in May 1997.

In August 1997 the City of Brampton acquired the entire property including the Administration Building.

Early in the 20th century the Government of Ontario acquired the property. The City of Brampton assumed ownership in the 1990s.

Contextual Heritage Attributes - Cultural Heritage Landscape:

The administration building and grounds form an important cultural landscape in the City. The building has always been the physical and architectural focal point of the entire 300-acre property. Symmetrical, stepped-back massing, sweeping setback, long laneway or "Grand Avenue", a circular driveway with various mixed plantings intended to create an ordered setting for the building. The setting is integral to the cultural heritage significance of this property as a whole.²³

²³ City of Brampton. "By-law 57-2006." Dated 27 February 2006. Accessed 6 May 2024. <https://www.heritagetrust.on.ca/oha/details/file?id=12028>.

7 DESCRIPTION AND EXAMINATION OF PROPOSED DEVELOPMENT /SITE ALTERATION

A proposed development has not yet been prepared for the Property. As described in Section 3.5, however, demolition of the building on the Property – while retaining heritage attributes to the greatest extent possible – has been deemed necessary to allow for the development of the Brampton Arts and Cultural Hub. To retain heritage attributes to the greatest extent possible, the following list of options has been considered:

- Option 1. Retention *in situ* and reuse;
- Option 2. Retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade;
- Option 3. Retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby;
- Option 4. Retention of central section of north façade, lobby, and rotunda;
- Option 5. Façade retention of only the building's primary, north elevation;
- Option 6. Façade retention of only part of the building's primary, north elevation;
- Option 7. Demolition, salvage, and reintegration into new development; and,
- Option 8. Demolition, commemoration, and interpretation.

8 IMPACT ASSESSMENT

LHC finds that the proposed demolition of the building on the Property will result in the destruction and complete loss of all heritage attributes embodied within the building. Impacts for the remaining attributes are considered in Table 2 below.

Table 2: Impact Assessment for 8990 McLaughlin Road South's Heritage Attributes that are Not Embodied within the Building

Heritage Attribute	Potential Impact	Type of Impact	Discussion
Sweeping setback	Unknown, possible depending on design of forthcoming building(s) and site plan	Destruction, alteration, isolation, and/or direct or indirect obstruction possible	Negative impacts to this heritage attribute are possible but cannot be determined with available information. Potential impacts will need to be reassessed when a proposed building and site plan have been prepared.
Long laneway or "Grand Avenue"	Unknown, possible depending on design of forthcoming building(s) and site plan	Destruction, alteration, isolation, and/or direct or indirect obstruction possible	Negative impacts to this heritage attribute are possible but cannot be determined with available information. Potential impacts will need to be reassessed when a proposed building and site plan have been prepared.
Circular driveway with various mixed plantings intended to create an ordered setting for the building	Unknown, possible depending on design of forthcoming building(s) and site plan	Destruction, alteration, isolation, and/or direct or indirect obstruction possible	Negative impacts to this heritage attribute are possible but cannot be determined with available information. Potential impacts will need to be reassessed when a proposed building and site plan have been prepared.

9 MITIGATION OPTIONS, CONSERVATION METHODS, AND PROPOSED ALTERNATIVES

The proposed options for the building on the Property identified in Section 7 were considered. All options have been considered in relation to the applicable planning framework outlined in Section 3 and the results of other planning reports prepared for the Property outlined in Section 4.

9.1 Concentrations of Heritage Attributes (High Priority Areas)

When considering proposed alternatives and options for the building on the Property, the location and concentration of heritage attributes was considered. Three specific areas of the building including the central section of the building's north façade; the building main entrance, stairway, and lobby; and the building's rotunda are notable areas with a high concentration of heritage attributes (see Section 9.1.1, Section 9.1.2, and Section 9.1.3). The conservation of these three areas has guided the proposed alternatives and options identified in Section 9.2.

9.1.1 Central Section of the Building's North Façade

Heritage attributes located in the central section of the building's north façade include:

- Symmetrical, stepped-back front façade (in part);
- Central pavilion where the main entrance is situated;
- Abstracted fluted pilasters flanking the recessed entrance;
- Large, square transom topping double leaf wooden doors;
- Coat of Arms for the Province of Ontario rendered in cast concrete over main entrance;
- Central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory); and,
- Cut stone knee wall, with gently angled Rama limestone coping which lends additional distinction to the central pavilion.

9.1.2 Main Entrance, Stairway, and Lobby

Heritage attributes located in the building's main entrance, stairway, and lobby include:

- Large, square transom topping double leaf wooden doors;
- Terrazzo flooring with colours rendered in emerald green, burgundy red and speckled beige (in part);
- Polished chrome grilles over air vents;

- Chrome hand rails and other original door hardware; and,
- Lobby reception wickets with stone surrounds.

9.1.3 Rotunda

Heritage attributes located in the building's rotunda include:

- Central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory);
- Acoustical tiles on rotunda ceiling in repeating geometric motif of diamond lozenges and squares;
- Clerestory glass block windows in rotunda ceiling; and,
- Scalloped stone frieze band and early "sea foam" green walls in rotunda.

9.2 Proposed Alternatives and Options

Table 3 identifies the advantages and disadvantages of each option, identifies which heritage attributes would be retained with each option, and provides a brief description of the condition and presence of designated substances for retained heritage attributes for each of the options. The proposed options are identified in order of preference, from a purely heritage conservation perspective. To supplement Table 3, Figure 3 through Figure 8 visually display sections of the building that would be retained in four of the proposed options. Each diagram shows section to be retained in yellow and sections to be demolished in red.

Mitigation measures and next steps –regardless of the option selected –are outlined in Section 9.5. Comparable projects that illustrate the use of these options are presented in Appendix D Comparable Projects to the Proposed Options for 8990 McLaughlin Road South.

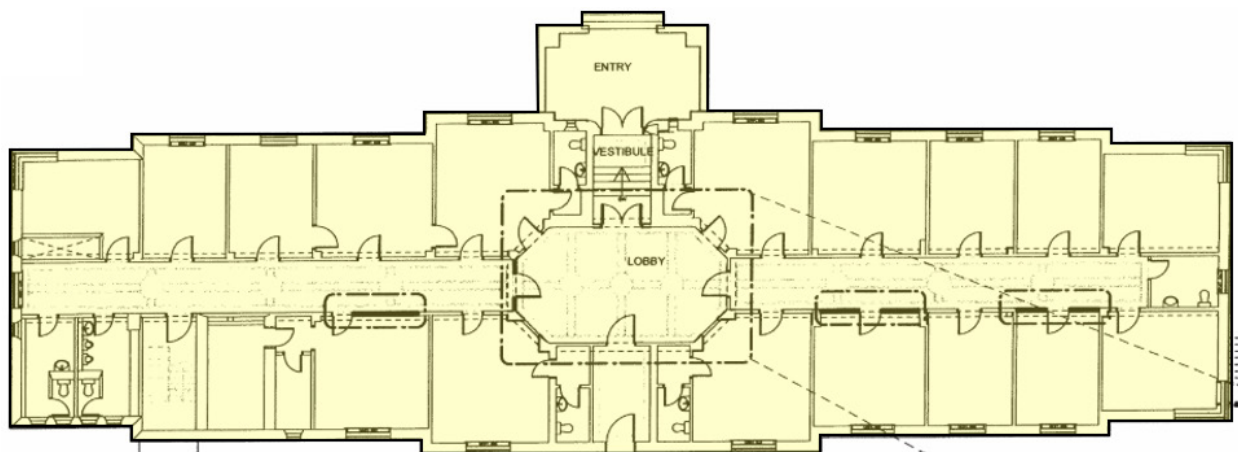


Figure 3: Diagram showing retained sections of the building for Option 1 'retention *in situ* and reuse'

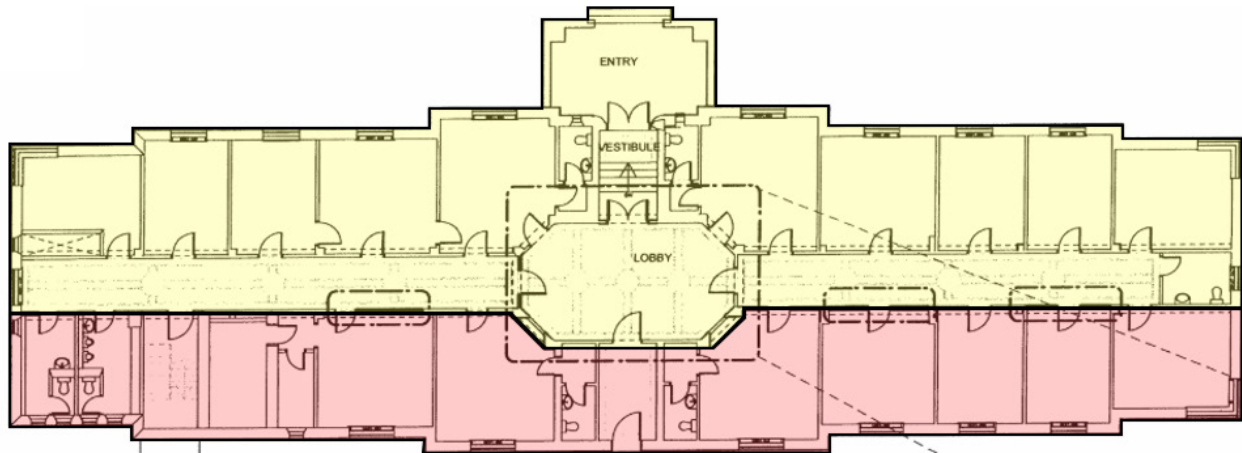


Figure 4: Diagram showing retained sections of the building for Option 2 'retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade'

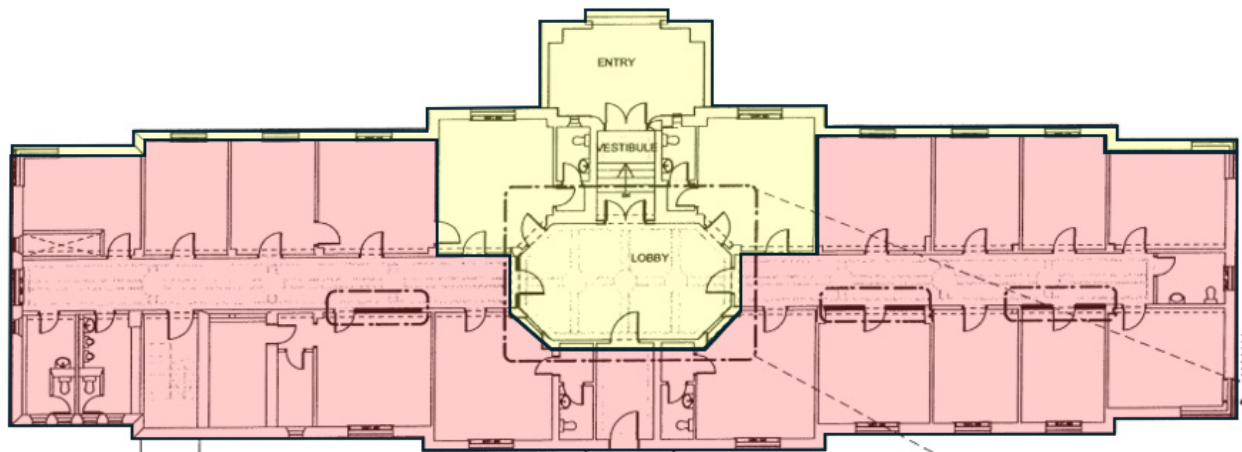


Figure 5: Diagram showing retained sections of the building for Option 3 'retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby'

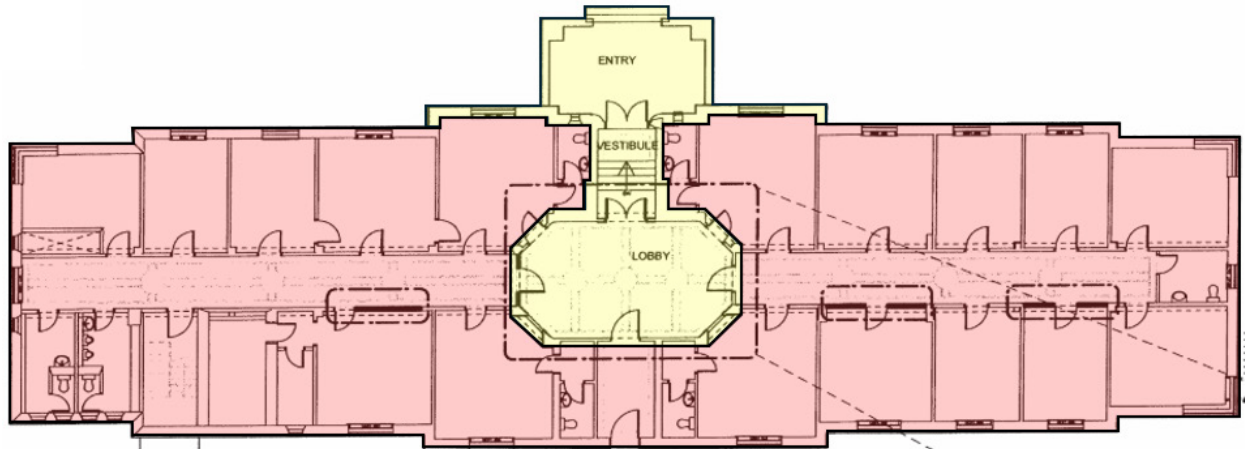


Figure 6: Diagram showing retained sections of the building for Option 4 'retention of central section of north façade, lobby and rotunda'

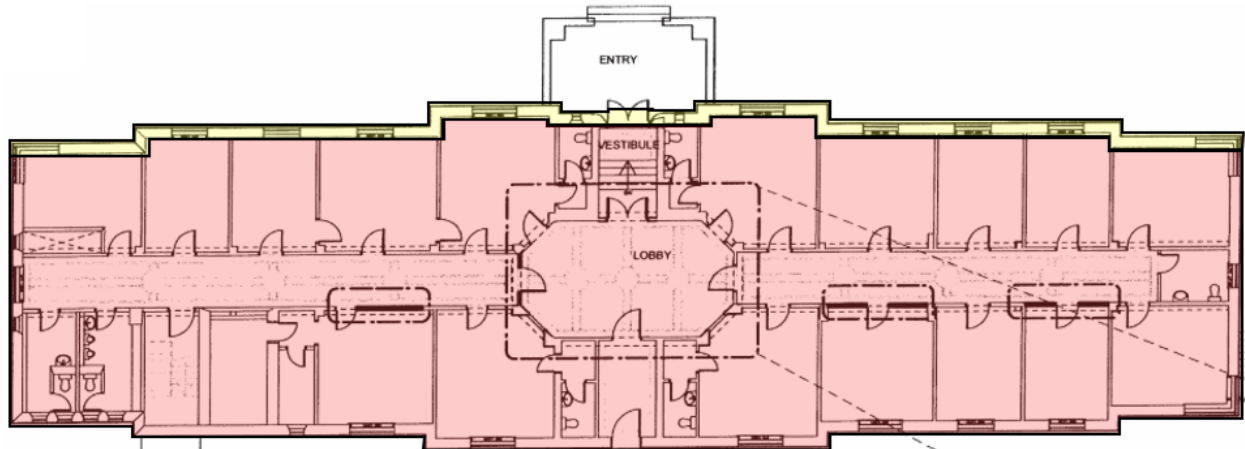


Figure 7: Diagram showing retained sections of the building for Option 5 'façade retention of only the building's primary, north elevation'

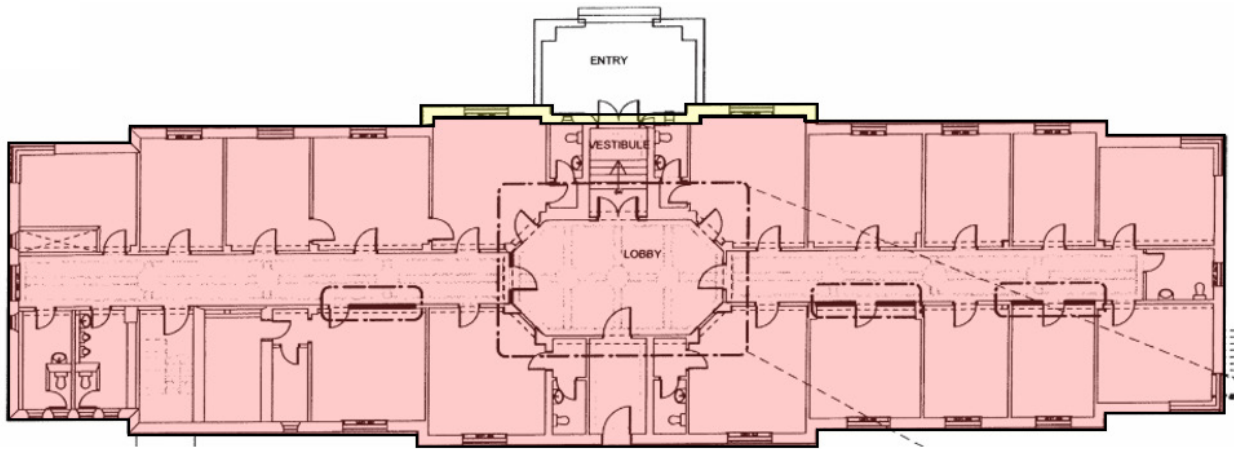


Figure 8: Diagram showing retained sections of the building for Option 6 'façade retention of only part of the building's primary, north elevation'

Table 3: Mitigation Measures and Options for the building on the Property at 8990 McLaughlin Road South

Option (corresponding figure)	Advantages	Disadvantages	Retained Attributes	Material Condition and Designated Substance Considerations	Eligibility in the Context of the Forthcoming Development
1. Retention <i>in situ</i> and reuse (see Figure 3)	Allows for the retention of all heritage attributes and allows the building to function as is.	Significant intervention to improve the building would be required to enable the building’s ongoing function. Repair and replacement of exterior and interior building materials would be required, as described in ERA Architects Inc.’s <i>HBAR</i> . Complete abatement of designated substances would also be required. This option may affect the ability of the site to support the planned Brampton Arts and Culture Centre.	All heritage attributes would be retained.	All repair, replacement, and refurbishment identified by ERA Architects Inc. would be required. All designated substances identified by ECOH Management Inc. would require abatement.	The building has been determined to be beyond the reasonable state of repair and not economical to remediate. In the context of the forthcoming development, this option has been determined not to be viable.
2. Retention of north façade, lobby, rotunda, hallways, and rooms along the building’s north façade (see Figure 4)	Allows for the retention of many of the building’s attributes including building’s north façade; the building’s main entrance, stairway, and lobby; and the building’s rotunda. Also maximizes retention of internal heritage attributes, including the terrazzo floor. Allows for a significant section of the existing building to be retained and incorporated into the forthcoming development on the property. Reduces the presence of designated substances on the Property. This option also allows for the salvage of materials from the remainder of the building for selective replacement.	Several heritage attributes on the building’s east, west, and south elevations would be negatively affected, including the coursed ashlar Rama limestone dressing and basement windows with metal railings. This option may also prove to be prohibitively costly within the context of the new development as it seeks to retain a substantial portion of the building.	All attributes included in the central section of the building’s north façade; the building’s main entrance, stairway, and lobby; and the building’s rotunda would be retained. The building’s symmetrical, stepped-back front façade and symmetrical, stepped-back massing would be retained. Sections of the coursed ashlar Rama limestone dressing and basement windows with metal railings on the building’s north elevation would be retained. Basement windows on the building’s east and west elevations may also be retained, in part.	Extensive repair and/or replacement of stone and selective repair and/or replacement of brick on the building’s north, east, and west elevations would be required. Extensive repair and/or replacement of the building’s primary entrance, steel windows, and glass block windows would be required. Retained glass block partitions, ceiling, terrazzo floor, and terrazzo wall elements would require selective repair and/or replacement. Retained metalwork would require refurbishment and maintenance. Retained areas with paint and plaster would require full replacement. They contain designated substances.	In the context of the forthcoming development, this option is preferred because it retains most of the Property’s heritage attributes while allowing for the proposed development to proceed.

Option (corresponding figure)	Advantages	Disadvantages	Retained Attributes	Material Condition and Designated Substance Considerations	Eligibility in the Context of the Forthcoming Development
3. Retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby (see Figure 5)	<p>Allows for the retention of many of the building’s attributes including building’s north façade; the building’s main entrance, stairway, and lobby; and the building’s rotunda.</p> <p>Allows for a legible section of the existing building to be retained and incorporated into the forthcoming development on the property.</p> <p>Reduces the presence of designated substances on the Property.</p> <p>This option also allows for the salvage of materials from the remainder of the building for selective replacement.</p>	<p>Several heritage attributes on the building’s east, west, and south elevations would be negatively affected, including the coursed ashlar Rama limestone dressing and basement windows with metal railings. Internal attributes, including the terrazzo floor in the hallways, would also be negatively affected.</p> <p>This option may also prove to be prohibitively costly within the context of the new development as it seeks to retain a substantial portion of the building.</p>	<p>All attributes included in the central section of the building’s north façade; the building’s main entrance, stairway, and lobby; and the building’s rotunda would be retained.</p> <p>The building’s symmetrical, stepped-back front façade and symmetrical, stepped-back massing would be retained.</p> <p>Sections of the coursed ashlar Rama limestone dressing and basement windows with metal railings on the building’s north elevation would be retained. Basement windows on the building’s east and west elevations may also be retained, in part.</p>	<p>Extensive repair and/or replacement of stone and selective repair and/or replacement of brick on the building’s north, east, and west elevations would be required.</p> <p>Extensive repair and/or replacement of the building’s primary entrance, steel windows, and glass block windows would be required.</p> <p>Retained glass block partitions, ceiling, terrazzo floor, and terrazzo wall elements would require selective repair and/or replacement.</p> <p>Retained metalwork would require refurbishment and maintenance.</p> <p>Retained areas with paint and plaster would require full replacement. They contain designated substances.</p>	<p>In the context of the forthcoming development, if Option 2 is not possible, this option is preferred because it retains the sections of highest concentration of the Property’s heritage attributes in a legible manner while allowing for the proposed development to proceed.</p>
4. Retention of central section of north façade, lobby, and rotunda (see Figure 6)	<p>Allows for the retention of many of the building’s attributes including the central section of the building’s north façade; the building’s main entrance, stairway, and lobby; and the building’s rotunda.</p> <p>Allows for a legible section of the existing building to be retained and incorporated into the forthcoming development on the property.</p> <p>Reduces the presence of designated substances on the Property.</p>	<p>Several heritage attributes on the building’s east, west, and south elevations would be negatively affected, including the coursed ashlar Rama limestone dressing and basement windows with metal railings. Internal attributes, including the terrazzo floor in the hallways, would also be negatively affected.</p>	<p>All attributes included in the central section of the building’s north façade; the building’s main entrance, stairway, and lobby; and the building’s rotunda would be retained.</p> <p>The building’s symmetrical, stepped-back front façade and symmetrical, stepped-back massing would be retained.</p> <p>Sections of the coursed ashlar Rama limestone dressing and basement windows with metal railings on the</p>	<p>Extensive repair and/or replacement of stone and selective repair and/or replacement of brick on the building’s north, east, and west elevations would be required.</p> <p>Extensive repair and/or replacement of the building’s primary entrance, steel windows, and glass block windows would be required.</p> <p>Retained glass block partitions, ceiling, terrazzo floor, and terrazzo wall</p>	<p>In the context of the forthcoming development, if Option 3 is not possible, this option is preferred because it retains the sections of highest concentration of the Property’s heritage attributes in a legible manner while allowing for the proposed</p>

Option (corresponding figure)	Advantages	Disadvantages	Retained Attributes	Material Condition and Designated Substance Considerations	Eligibility in the Context of the Forthcoming Development
	This option also allows for the salvage of materials from the remainder of the building for selective replacement.		building's north elevation would be retained. Basement windows on the building's east and west elevations may also be retained, in part.	elements would require selective repair and/or replacement. Retained metalwork would require refurbishment and maintenance. Retained areas with paint and plaster would require full replacement. They contain designated substances.	development to proceed.
5. Façade retention of only the building's primary, north elevation (see Figure 7)	Allows for the retention of the heritage attributes located on the building's primary, north elevation. Allows for some of the existing building to be retained and incorporated into the forthcoming development on the property. Eliminates the presence of designated substances on the Property.	Only heritage attributes on the building's primary, north elevation would be retained. All internal attributes and attributes on the building's east, west, and south elevations would be removed. The building's rotunda would also be removed.	All attributes included in the central section of the building's north façade would be retained. The building's symmetrical, stepped-back front façade and symmetrical, stepped-back massing would be retained. Coursed ashlar Rama limestone dressing and basement windows with metal railings on the building's north elevation would be retained.	Extensive repair and/or replacement of stone and selective repair and/or replacement of brick on the building's north, east, and west elevations would be required. Extensive repair and/or replacement of the building's primary entrance and steel windows on its north elevation would be required.	This option is not preferred unless Option 4 is determined to be impractical or unfeasible.
6. Façade retention of only part of the building's primary, north elevation (see Figure 8)	Allows for the retention of the heritage attributes located in the central section of the building's north façade. Allows for some of the existing building to be retained and incorporated into the forthcoming development on the property. Eliminates the presence of designated substances on the Property.	Only heritage attributes located in the central section of the building's north façade would be retained. All internal attributes and attributes on the building's east, west, and south elevations would be removed. Attributes on the north elevation that are not in its central section would be removed. The building's rotunda would be removed.	All attributes included in the central section of the building's north façade would be retained.	Extensive repair and/or replacement of stone would be required. Extensive repair and/or replacement of the building's primary entrance would be required.	This option is not preferred unless Option 5 is determined to be impractical or unfeasible.

Option (corresponding figure)	Advantages	Disadvantages	Retained Attributes	Material Condition and Designated Substance Considerations	Eligibility in the Context of the Forthcoming Development
7. Demolition, salvage, and reintegration into new development	<p>Allows for the salvage of select materials and heritage attributes into the proposed new development.</p> <p>Offers increased flexibility in determining which attributes to retain.</p> <p>Offers increased flexibility in the design of the proposed new development.</p> <p>Can reduce or eliminate the presence of designated substances on the Property.</p>	<p>Depending on the extent of material salvage and reintegration, the Property’s heritage integrity may be affected.</p> <p>Abatement of designated substances would also be required, depending on which heritage attributes are salvaged.</p>	<p>Salvage and reintegration are best suited to materials in fair or good condition. Internal glass block partitions, ceiling, metalwork, terrazzo floor, and terrazzo wall elements are all in fair to good condition and could be salvaged.</p> <p>Other materials including stone, brick, doors, steel windows, and glass block windows could also be salvaged and reintegrated; however, extensive repair would be required. Specific stone elements including the fluted pilasters and Coat of Arms should be salvaged.</p> <p>All or part of the building’s primary, north elevation could be retained as a monument or landscaped feature.</p>	<p>Depending on which attributes are salvaged repair, replacement, and refurbishment identified by ERA Architects Inc. would be required.</p> <p>Salvaged elements that contain designated substances identified by ECOH Management Inc. would require abatement.</p>	<p>This option can be used alongside any of the façade retention options to further mitigate impacts to the property’s heritage attributes and cultural heritage value or interest.</p>
8. Demolition, commemoration, and interpretation	<p>Allows for the greatest flexibility regarding the forthcoming development.</p> <p>Eliminates the presence of designated substances on the Property.</p>	<p>All heritage attributes would be destroyed.</p>	<p>No heritage attributes would be retained.</p>	<p>All materials would be destroyed and removed from the Property.</p>	<p>This option is not preferred. It is an option of last resort.</p>

9.3 Building Attribute Management Through Redevelopment

Direction on the management of the building on the Property's heritage attributes is considered in Table 4. This direction has been informed by ERA Architects Inc.'s *Heritage Building Assessment Report* and ECOH Management Inc.'s *Pre-Demolition Designated Substances and Hazardous Materials Survey*.

The management of attributes has been informed by the *Standards and Guidelines for the Conservation of Historic Places in Canada*. Relevant Standards referenced in Table 4 include:

1. (a) Conserve the heritage value of an historic place. (b) Do not remove, replace or substantially alter its intact or repairable character-defining elements. (c) Do not move a part of an historic place if its current location is a character-defining element.
3. Conserve heritage value by adopting an approach calling for minimal intervention.
5. Find a use for an historic place that requires minimal or no change to its character-defining elements.
7. (a) Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. (b) Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
8. (a) Maintain character-defining elements on an ongoing basis. (b) Repair character-defining elements by reinforcing their materials using recognized conservation methods. (c) Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
9. (a) Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. (b) Document any intervention for future reference.
10. (a) Repair rather than replace character-defining elements. (b) Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. (c) Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
11. (a) Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. (b) Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.

12. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.
13. (a) Repair rather than replace character-defining elements from the restoration period.
(b) Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.
14. Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.

Table 4: Building Attribute Management²⁴

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada <i>Standards</i>	Relevant Parks Canada <i>Guidelines</i> (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Abstracted fluted pilasters flanking the recessed entrance	Stone	<p>The exterior stone elements were found to be in poor condition with varying levels of deterioration.</p> <p>Gentle cleaning methods should be administered in order to remove areas of soiling, discolouration and biological growth on the stone elements found on all facades of the building. Low-pressure water washing or specialized stone cleaners may be used for larger, more stubborn stains.</p> <p>Stone units that show a large amount of spalling and delamination will need to be repaired. Carefully remove loose or spalled stone sections before repairing the damaged surfaces. Re-dress the damaged stone units using compatible mortars or fillers.</p> <p>Employing patch repairs or dutchman repairs may be required for larger spalled units. Some damage stone units may need to be replaced completely with new stone units to match.</p>	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.6, 4.5.1, 4.5.3	Conserve the abstracted fluted pilasters flanking the recessed entrance by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	Yes	Yes	Yes*	No

²⁴ Parks Canada. "Standards and Guidelines for the Conservation of Historic Places in Canada." Second Addition. 2010. Accessed 6 May 2024. <https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>.
²⁵ Asterisk identifies that the retention on an attribute is possible.

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada Standards and Guidelines	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
		Areas where water tends to collect should be identified, and proper flashing should be installed in these areas. Drip edges on the stone sills, stone band, and stone coping should be repaired or replaced to prevent further moisture damage to the stone.											
Coat of Arms for the Province of Ontario rendered in cast concrete over main entrance	Stone	Same as above.	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.6, 4.5.1, 4.5.3	Conserve the Coat of Arms for the Province of Ontario rendered in cast concrete over main entrance by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	Yes	Yes	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada Standards and Guidelines	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Cut stone knee wall, with gently angled Rama limestone coping which lends additional distinction to the central pavilion	Stone	Same as above.	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.4, 4.3.6, 4.5.1, 4.5.3	Conserve the cut stone knee wall, with gently angled Rama limestone coping which lends additional distinction to the central pavilion by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	Yes	Yes	Yes*	No
Coursed ashlar Rama limestone dressing	Stone	Same as above.	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.4, 4.5.1, 4.5.3	Conserve the coursed ashlar Rama limestone dressing by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the	Yes	Yes	Yes	Yes	Yes	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada Standards and Guidelines	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
					accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Buff masonry smokestack at central portion of rear elevation	Brick	<p>The exterior brick walls were found to be in fair condition. The goal of this preservation effort is to repair the exterior brick. This involves addressing specific issues such as efflorescence, discolouration, spalling bricks, and cracks along the mortar joints. The objective is to achieve a natural and uniform finish without damaging the surface of the bricks or removing the inherent patina that contributes to the masonry's historic character.</p> <p>Efflorescence and organic soiling and atmospheric soiling can be cleaned using low-pressure water washing or gentle cleaning agents that do not cause damage to the surface of the brick.</p> <p>Spalling bricks, which have surface flaking or chipping, can be restored using mortars or fillers that match the</p>	7, 9, 10, 13, 14	4.5.1, 4.5.3	Conserve the buff masonry smokestack at central portion of rear elevation by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	No	No	No	No	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada Standards and Guidelines	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
		original brick material's texture, colour, and porosity. Areas where damage to the brick is worse can be addressed by carefully replacing the damaged bricks with compatible new ones to maintain uniformity. Cracks along mortar joints should be repointed using compatible mortar materials											
Large, square transom topping double leaf wooden doors	Windows	<p>The existing windows were found in poor condition and the intent of the repairs is to improve the soundness and stability of the metal elements, while conserving the maximum amount of existing fabric and its existing character.</p> <p>Replace any damaged or missing glass panes as needed on the windows. Allow for replacement windows, as needed, to be consistent and compatible with the original windows.</p>	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.5, 4.3.6, 4.5.1, 4.5.6	Conserve the large, square transom topping double leaf wooden doors by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	Yes	Yes	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada <i>Standards</i>	Relevant Parks Canada <i>Guidelines</i> (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Basement windows with metal railings	Windows	Same as above.	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.5, 4.5.1, 4.5.6	Conserve the basement windows with metal railings by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	Yes	No	Yes*	No
Clerestory glass block windows in Rotunda ceiling	Glass Blocks	The glass blocks were found in fair condition. Clean the existing glass blocks using a specialized glass cleaner and a soft cloth. Avoid using abrasive cleaners or materials that might scratch the glass. If the grout between the glass blocks is damaged or worn out, carefully remove the old grout using a scraper. Apply new grout according to the manufacturer's instructions. Ensure the grout matches the existing colour and texture for a	1, 3, 7, 8, 9, 10, 11, 12, 13, 14	4.3.5, 4.5.1, 4.5.6	Conserve the clerestory glass block windows in rotunda ceiling by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind,	Yes	Yes	Yes	Yes	No	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada Standards and Guidelines	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
		seamless finish. Minor scratches on glass blocks might be buffed out by polishing. Allow for replacement of severely damaged glass blocks as needed.			and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Terrazzo flooring with colours rendered in emerald green, burgundy red and speckled beige	Terrazzo	The terrazzo elements were generally found in good condition. Conduct a thorough cleaning of the terrazzo flooring, trims and baseboards in the rotunda and hallways to assess its true condition and restore its aesthetic appeal. Allow for crack repairs, patch repairs, and polishing. Address visible cracks, staining, and discolouration on the terrazzo wainscoting in the rotunda. Polish the terrazzo to its original sheen through cleaning and repair processes tailored for terrazzo materials.	1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14	4.3.2, 4.3.7, 4.5.1, 4.5.4	Conserve the terrazzo flooring with colours rendered in emerald green, burgundy red and speckled beige by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	No	No	Yes*	No
Lobby reception wickets with stone surrounds	Terrazzo	Same as above.	1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14	4.3.7, 4.5.1	Conserve the lobby reception wickets with stone surrounds by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized	Yes	Yes	Yes	Yes	No	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada Standards and Guidelines	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
					maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Polished chrome grilles over air vents	Metalwork	Repair or replace deteriorated metal grilles covering air vents. Repair or replace missing or damaged door hardware, including handrails and kickplates, to maintain historical authenticity. New metalwork should match existing in size, colour and profile.	1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14	4.3.7, 4.5.1, 4.5.5	Conserve the polished chrome grilles over air vents by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	No	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada <i>Standards</i>	Relevant Parks Canada <i>Guidelines</i> (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Chrome handrails and other original door hardware	Metalwork	Same as above.	1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14	4.3.7, 4.5.1, 4.5.5	Conserve the chrome hand rails and other original door hardware by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	No	No	Yes*	No
Acoustical tiles on rotunda ceiling in repeating geometric motif of diamond lozenges and squares	Ceiling	Replace any damaged or missing acoustic ceiling tiles in the rotunda to preserve the overall aesthetic of the ceiling.	1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14	4.3.7, 4.5.1	Conserve the acoustical tiles on rotunda ceiling in repeating geometric motif of diamond lozenges and squares by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair	Yes	Yes	Yes	Yes	No	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
					next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Scalloped stone frieze band and early "sea foam" green walls in rotunda	Ceiling	Same as above.	1, 3, 5, 7, 8, 9, 10, 11, 12, 13, 14	4.3.7, 4.5.1	Conserve the scalloped stone frieze band and early "sea foam" green walls in rotunda by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	No	No	Yes*	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada Standards and Guidelines	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Symmetrical, stepped-back front façade	n/a – attribute related to the building's massing	n/a	1, 3, 5, 6, 7, 11, 12	4.5.1	Conserve the symmetrical, stepped-back front façade by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	Yes	No	No	No
Central pavilion where the main entrance is situated	n/a – attribute related to the building's massing	n/a	1, 3, 5, 6, 7, 11, 12	4.3.1, 4.3.6, 4.5.1	Conserve the central pavilion where the main entrance is situated by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind,	Yes	Yes	Yes	Yes	Yes	Yes	No	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada Standards and Guidelines	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
					and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory)	n/a – attribute related to the building's massing	n/a	1, 3, 5, 6, 7, 11, 12	4.3.1, 4.3.6, 4.5.1	Conserve the central pavilion capped with a two-storey octagonal shaped rotunda lit with a series of glass block windows (clerestory) by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	No	No	No	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s <i>Heritage Building Assessment Report</i>	Relevant Parks Canada <i>Standards</i>	Relevant Parks Canada <i>Guidelines</i> (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Art Deco/Art Moderne design elements in octagonal rotunda and main hallways	n/a – general description	n/a	1, 3, 5, 6, 7, 11, 12	4.3.1, 4.5.1	Conserve the Art Deco/Art Moderne design elements in octagonal rotunda and main hallways by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	Yes	Yes	Yes	Yes*	No
Concrete block construction designed to enhance its fireproofing properties	Concrete (structure)	n/a	1, 3, 5, 6, 7, 9, 10, 11, 12	4.3.8, 4.5.1	Conserve the concrete block construction designed to enhance its fireproofing properties by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted	Yes	Yes	Yes	No	No	No	No	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada <i>Standards and Guidelines</i>	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
					heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Symmetrical, stepped-back massing	n/a – attribute related to the building's massing	n/a	1, 3, 5, 6, 7, 11, 12	4.3.1, 4.3.6, 4.5.1	Conserve the symmetrical, stepped-back massing by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's <i>Standards and Guidelines</i> . Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes	Yes	Yes	No	Yes	No	No	No

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada Standards and Guidelines	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
Sweeping setback	n/a – attribute related to the building's massing	n/a	1, 3, 5, 6, 7, 11, 12	4.3.1, 4.3.6, 4.5.1	Conserve the sweeping setback by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes*	Yes*	Yes*	Yes*	Yes*	Yes*	Yes*	Yes*
Long laneway or "Grand Avenue"	n/a – siting and landscaping attribute	n/a	1, 3, 5, 6, 7, 11, 12		Conserve the long laneway or "Grand Avenue" by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and	Yes*	Yes*	Yes*	Yes*	Yes*	Yes*	Yes*	Yes*

Heritage Attributes	Material	Direction from ERA Architects Inc.'s Heritage Building Assessment Report	Relevant Parks Canada Standards	Relevant Parks Canada Guidelines (Sections)	Summary of Parks Canada Standards and Guidelines	Applicable w/ Option 1 (Yes/No) ²⁵	Applicable w/ Option 2 (Yes/No) ²⁵	Applicable w/ Option 3 (Yes/No) ²⁵	Applicable w/ Option 4 (Yes/No) ²⁵	Applicable w/ Option 5 (Yes/No) ²⁵	Applicable w/ Option 6 (Yes/No) ²⁵	Applicable w/ Option 7 (Yes/No) ²⁵	Applicable w/ Option 8 (Yes/No) ²⁵
					must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.								
Circular driveway with various mixed plantings intended to create an ordered setting for the building	n/a – siting and landscaping attribute	n/a	1, 3, 5, 6, 7, 11, 12		Conserve the circular driveway with various mixed plantings intended to create an ordered setting for the building by adopting an approach of minimal intervention and adhering to a schedule of regular preventative maintenance. When necessary, stabilize its heritage attributes until such time as the best industry-recognized maintenance, restoration, repair, or replacement methods have been determined. Alterations and additions must conform to all applicable Parks Canada's Standards and Guidelines. Follow the accepted heritage practice of restore first, repair next, replace last. Replacement must be in-kind, and must be compatible, distinguishable, based on sufficient physical evidence, and documented. Where insufficient physical evidence exists, replace missing heritage attributes based upon reputable oral evidence.	Yes*	Yes*	Yes*	Yes*	Yes*	Yes*	Yes*	Yes*

9.4 Preferred Option

Option 2 is the preferred option, from a heritage conservation perspective. Should Option 2 be determined not to be viable within the context of the Brampton Arts and Culture Centre project, Options 3 through 7 –listed in order of preference –should be considered. Option 8, demolition, commemoration, and interpretation should only be considered as an option of last resort if all other options are demonstrated not to be viable.

9.5 Mitigation Measures and Next Steps

As design of the Brampton Arts and Culture Centre progresses, the project team should consider the Standards outlined, above, in Section 9.3. New elements should be designed to be physically and visually compatible with, subordinate to, and distinguishable from the retained portions of the building. Reintegration of salvaged elements must also be guided by the standards and guidelines identified in Table 4. The design should also be informed by the existing building. Design elements such as the pattern and colour palette of the terrazzo floor in the building's lobby and hallway, polished chrome air vent grilles, polished chrome handrails and door hardware, and acoustic ceiling tiles in the rotunda, should all be considered for reincorporation or to guide the design of the forthcoming development.

A Conservation Plan/Heritage Building Protection Plan is recommended to be prepared by a qualified heritage professional to guide any retention in situ of portions of the building and their re-integration into a new development.

Prior to any changes to the building, a Salvage and Documentation Plan is recommended to be prepared in order to identify materials to be salvaged and to outline measures to conserve materials being stored for reuse.

Regardless of the option selected, a Commemoration and Interpretation Plan is recommended to be prepared for the new development. It is recommended that the Commemoration Strategy make use of salvaged materials.

10 CONCLUSION AND RECOMMENDATIONS

LHC was retained on 30 April 2024 by Kaushal Patel on behalf of the Public Works and Engineering Department at the City of Brampton to prepare a Scoped HIA for the former Ontario Provincial Police Administration building located at 8990 McLaughlin Road South in the City of Brampton, Ontario.

The Property is currently designated under Section 29, Part IV of the *OHA* under City of Brampton by-law 57-2006. A motion and resolution to de-designate the Property to allow for the demolition of the building was introduced during the City of Brampton's Budget Committee meeting on 27 February 2023. Demolition of the building on the Property – while retaining heritage attributes to the greatest extent possible – has been deemed necessary by City Council to allow for the development of the Brampton Arts and Culture Centre. At the time of writing, the building remains designated under Section 29, Part IV of the *OHA*. This Scoped HIA considered the following options to retain heritage attributes to the greatest extent possible:

- Option 1. Retention *in situ* and reuse;
- Option 2. Retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade;
- Option 3. Retention of north façade, lobby, rotunda, and rooms to accessed from the north wall of the lobby;
- Option 4. Retention of central section of north façade, lobby, and rotunda;
- Option 5. Façade retention of only the building's primary, north elevation;
- Option 6. Façade retention of only part of the building's primary, north elevation;
- Option 7. Demolition, salvage, and reintegration into new development; and,
- Option 8. Demolition, commemoration, and interpretation.

The preferred option from a heritage conservation perspective is Option 2, retention of north façade, lobby, rotunda, hallways, and rooms along the building's north façade. This option is preferred because it allows for the retention of the highest number of heritage attributes. Since this option retains many of the building on the Property's heritage attributes, direction for refurbishing, maintaining, repairing, and replacing materials is provided in Table 4 of this report. This table identifies recommendations from ERA Architects Inc.'s *Heritage Building Assessment Report* and includes supplemental direction from Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*.

Should Option 2 be determined not to be viable within the context of the Brampton Arts and Culture Centre project, Options 3 through 7 –listed in order of preference –should be considered. Option 8, demolition, commemoration, and interpretation should only be considered as an option of last resort if all other options are demonstrated not to be viable.

As design of the Brampton Arts and Culture Centre progresses, the project team should consider the Standards outlined, above, in Section 9.3. New elements should be designed to be physically and visually compatible with, subordinate to, and distinguishable from the retained portions of the building. Reintegration of salvaged elements must also be guided by the standards and guidelines identified in Table 4. The design should also be informed by the existing building. Design elements such as the pattern and colour palette of the terrazzo floor in the building's lobby and hallway, polished chrome air vent grilles, polished chrome handrails and door hardware, and acoustic ceiling tiles in the rotunda, should all be considered for reincorporation or to guide the design of the forthcoming development.

A Conservation Plan/Heritage Building Protection Plan is recommended to be prepared by a qualified heritage professional to guide any retention in situ of portions of the building and their re-integration into a new development.

Prior to any changes to the building, a Salvage and Documentation Plan is recommended to be prepared in order to identify materials to be salvaged and to outline measures to conserve materials being stored for reuse.

Regardless of the option selected, a Commemoration and Interpretation Plan is recommended to be prepared for the new development. It is recommended that the Commemoration Strategy make use of salvaged materials.

An addendum to this Scoped HIA will be required once a proposed development for the Property has been prepared.

SIGNATURES

A handwritten signature in black ink, appearing to read "Ben Daub".

Ben Daub, MA (Plan), CAHP Intern
Heritage Planner

A handwritten signature in black ink, appearing to read "Christienne Uchiyama".

Christienne Uchiyama, MA, CAHP
Principal, Manager Heritage Consulting
Services

REFERENCES

- Architectural Conservancy of Ontario. "Symes Road Incinerator." 2024. Accessed 16 May 2024. <https://www.acotoronto.ca/building.php?ID=10711>.
- City of Brampton Budget Committee. "Minutes, Budget Committee, The Corporation of the City of Brampton." Dated 27 February 2023. Accessed 6 May 2024. <https://pub-brampton.escibemeetings.com/Meeting.aspx?Id=8c0f8096-9093-4217-9a43-ad12ac6dc563&Agenda=PostMinutes&lang=English>.
- City of Brampton. "Brampton Plan: Our Vision Your Future." Last Consolidated 2022. Accessed 6 May 2024.
- City of Brampton. "By-law 57-2006." Dated 27 February 2006. Accessed 6 May 2024. <https://www.heritagetrust.on.ca/oha/details/file?id=12028>.
- City of Brampton. "City of Brampton Official Plan." Last Consolidated September 2020. Accessed 6 May 2024. https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf.
- City of Brampton. "Culture Master Plan." Dated June 2018. Accessed 30 May 2024. <https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Services/documents/cultural-master-plan/city%20of%20brampton%20final%20culture%20master%20plan.pdf>.
- City of Brampton. "Heritage Report: Statement of Reason for Heritage Designation – Ontario Mental Tubercular Hospital Administration Building." Dated 10 January 2006. Provided by the Owner.
- City of Toronto. "Alterations to a Heritage Property and Authority to Enter into a Heritage Easement Agreement - 545 Lake Shore Boulevard West." Dated 4 January 2022. Accessed 16 May 2024. <https://www.toronto.ca/legdocs/mmis/2022/te/bgrd/backgroundfile-176348.pdf>
- City of Toronto. "Demolition and Reconstruction of a Designated Heritage Property - 484 Spadina Avenue (The Silver Dollar Room)." Dated 9 February 2017. Accessed 16 May 2024. <https://www.toronto.ca/legdocs/mmis/2017/te/bgrd/backgroundfile-101946.pdf>

ECOH Management Inc. "Pre-Demolition Designated Substances and Hazardous Materials Survey." Dated 24 July 2023. Provided by the Owner.

ERA Architects Inc. "Heritage Building Assessment Report." Dated 3 May 2024. Provided by the Owner.

Esri, NASA, NGA, USGS, FEMA, Esri, CGIAR, USGS, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA, NRCan, Parks Canada, City of Toronto, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, FAO, METI/NASA, USGS, EPA, NPS, NRCan, Parks Canada.

GBCA Architects. "Existing Condition Drawings." As discussed in ERA Architects Inc. "Heritage Building Assessment Report." Dated 2005. Provided by the Owner.

GBCA Architects. "Heritage Impact Assessment for 8950 McLaughlin Road South". Dated 31 August 2022.

GBCA Architects. "Renovation Drawings." As discussed in ERA Architects Inc. "Heritage Building Assessment Report." Dated 2006. Provided by the Owner.

<https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA7%20Downtown%20Brampton.pdf>.

OHE Consultants. "Hazardous Building Materials Survey." as discussed in ERA Architects Inc. "Heritage Building Assessment Report." Dated November 2020. Provided by the Owner.

Parks Canada. "Standards and Guidelines for the Conservation of Historic Places in Canada." Second Addition. 2010. Accessed 6 May 2024.
<https://www.historicplaces.ca/media/18072/81468-parks-s+g-eng-web2.pdf>.

Peel Region, Town of Oakville, Maxar Portions of this document include intellectual property of Esri and its licensors and are used under license.

Province of Ontario. "Ontario Heritage Act R.S.O. 1990, c. O. 18." Last Modified 4 December 2023. Accessed 6 May 2024. <https://www.ontario.ca/laws/statute/90o18>.

Region of Peel. "Region of Peel Official Plan," Last modified 4 November 2022. Accessed 20 November 2023.
https://www.peelregion.ca/officialplan/download/_media/region-of-peel-official-plan-approved-final.pdf.

Robertson Martin Architects. "CULTURAL HERITAGE IMPACT STATEMENT R2 & CONSERVATION PLAN: MEDICAL ARTS BUILDING DEVELOPMENT." Dated 27 July 2018.

Accessed 16 May 2024. [https://pub-](https://pub-ottawa.escribemeetings.com/filestream.ashx?documentid=58111)

[ottawa.escribemeetings.com/filestream.ashx?documentid=58111](https://pub-ottawa.escribemeetings.com/filestream.ashx?documentid=58111).

Wikipedia. "Toronto Stock Exchange." Last updated 16 February 2024. Accessed 16 May 2024.

https://en.wikipedia.org/wiki/Toronto_Stock_Exchange.

APPENDIX A QUALIFICATIONS

Ben Daub, MA (Plan), CAHP Intern – Heritage Planner

Ben Daub is a heritage planner with LHC. He holds a Bachelor of Applied Technology in Architecture – Project and Facility Management from Conestoga College and a Master of Arts in Planning from the University of Waterloo. His master's thesis analyzed the relationship between urban intensification and the ongoing management of built heritage resources using both qualitative and quantitative methods.

During his academic career, Ben gained a detailed understanding of the built environment through exposure to architectural, engineering, and urban planning processes. His understanding of the built environment ranges from building specific materials and methods to large scale planning initiatives.

Ben has been the primary or contributing author of over 45 technical cultural heritage reports with LHC. He has worked on Heritage Impact Assessments, Cultural Heritage Evaluation Reports, Environmental Assessments, Heritage Conservation District Studies, Municipal Heritage Register Reviews, and Official Plan Amendments. He has worked with properties with cultural heritage value recognized at the municipal, regional, provincial, and federal levels and has prepared reports for urban, suburban, and rural sites.

In addition to his work at LHC, Ben instructs the Urban and Community Planning course in Conestoga College's Architecture – Project and Facility Management degree program and has presented his master's thesis research to ICOMOS Canada. Ben is an intern member of the Canadian Association of Heritage Professionals and a candidate member with the Ontario Professional Planners Institute.

Christienne Uchiyama, MA CAHP - Principal, LHC

Christienne Uchiyama MA CAHP is Principal and Manager - Heritage Consulting Services with LHC. She is a Heritage Consultant and Professional Archaeologist (P376) with two decades of experience working on heritage aspects of planning and development projects. She is currently Past President of the Board of Directors of the Canadian Association of Heritage Professionals and received her MA in Heritage Conservation from Carleton University School of Canadian Studies. Her thesis examined the identification and assessment of impacts on cultural heritage resources in the context of Environmental Assessment.

Chris has provided archaeological and heritage conservation advice, support and expertise as a member of numerous multi-disciplinary project teams for projects across Ontario, including such major projects as: all phases of archaeological assessment at the Canadian War Museum site at LeBreton Flats, Ottawa; renewable energy projects; natural gas pipeline routes; railway lines; hydro powerline corridors; and highway/road realignments.

She has completed more than 300 cultural heritage technical reports for development proposals at all levels of government, including cultural heritage evaluation reports, heritage impact assessments, and archaeological licence reports and has a great deal of experience undertaking peer reviews. Her specialties include the development of Cultural Heritage Evaluation Reports, under both O. Reg. 9/06 and 10/06, and Heritage Impact Assessments.

Benjamin Holthof, M.Pl., M.M.A., MCIP, RPP, CAHP – Senior Heritage Planner

Ben Holthof is a heritage consultant, planner and marine archaeologist with experience working in heritage consulting, archaeology and not-for-profit museum sectors. He holds a Master of Urban and Regional Planning degree from Queens University; a Master of Maritime Archaeology degree from Flinders University of South Australia; a Bachelor of Arts degree in Archaeology from Wilfrid Laurier University; and a certificate in Museum Management and Curatorship from Fleming College.

Ben has consulting experience in heritage planning, cultural heritage screening, evaluation, heritage impact assessment, cultural strategic planning, cultural heritage policy review, historic research and interpretive planning. He has been a project manager for heritage consulting projects including archaeological management plans and heritage conservation district studies. Ben has also provided heritage planning support to municipalities including work on heritage permit applications, work with municipal heritage committees, along with review and advice on municipal cultural heritage policy and process. His work has involved a wide range of cultural heritage resources including on cultural landscapes, institutional, industrial, commercial, and residential sites as well as infrastructure such as wharves, bridges and dams. Ben was previously a Cultural Heritage Specialist with Golder Associates Ltd. from 2014-2020.

Ben is experienced in museum and archive collections management, policy development, exhibit development and public interpretation. He has written museum policy, strategic plans, interpretive plans and disaster management plans. He has been curator at the Marine Museum of the Great Lakes at Kingston, the Billy Bishop Home and Museum, and the Owen Sound Marine and Rail Museum. These sites are in historic buildings and he is knowledgeable with extensive collections that include large artifacts including, ships, boats, railway cars, and large artifacts in unique conditions with specialized conservation concerns.

Ben is also a maritime archaeologist having worked on terrestrial and underwater sites in Ontario and Australia. He has an Applied Research archaeology license from the Government of Ontario (R1062). He is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Jordan Greene, B.A. (Hons) – Mapping Technician

Jordan Greene, B.A., joined LHC as a mapping technician following the completion of her undergraduate degree. In addition to completing her B.A. in Geography at Queen's University, Jordan also completed certificates in Geographic Information Science and Urban Planning Studies. During her work with LHC Jordan has been able to transition her academic training into professional experience and has deepened her understanding of the applications of GIS in the fields of heritage planning and archaeology. Jordan has contributed to over 100 technical studies and has completed mapping for projects including, but not limited to, cultural heritage assessments and evaluations, archaeological assessments, environmental assessments, hearings, and conservation studies. In addition to GIS work she has completed for studies Jordan has begun developing interactive maps and online tools that contribute to LHC's internal data management. In 2021 Jordan began acting as the health and safety representative for LHC.

APPENDIX B GLOSSARY

Definitions are based on those provided in the *Provincial Policy Statement (PPS)*, *Ontario Heritage Act (OHA)*, the *Region of Peel Official Plan (ROP)*, and the *City of Brampton Official Plan (OP)*. In some instances, documents have different definitions for the same term, all definitions have been included and should be considered.

Adjacent Lands means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (*PPS*).

Adjacent Lands means lands that are:

- a) contiguous to a specific natural heritage feature or area where it is likely that development or site alteration would have a negative impact on the feature or area. The extent of the adjacent lands may be recommended by the Province or based on municipal approaches which achieve the same objectives; and
- b) contiguous to a protected heritage property or as otherwise defined in a local municipal official plan (*ROP*).

Adjacent Lands means lands that are contiguous to a specific natural heritage feature or area where it is likely that development or site alteration would have a negative impact on the feature, or area. The extent of the adjacent lands to specific natural heritage features or areas are provided in Ontario Ministry of Natural Resources' Natural Heritage Reference Manual (*OP*).

Alter means to change in any manner and includes to restore, renovate, repair, or disturb and "alteration" has a corresponding meaning ("transformer", "transformation") (*OHA*).

Archaeological Resources include artifacts, archaeological sites and marine archaeological sites. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the *Ontario Heritage Act (PPS)*.

Archaeological Resources includes artifacts, archaeological sites and marine archaeological sites, as defined under the Ontario Heritage Act. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the Ontario Heritage Act. Archaeological resources may include the remains of a building, structure, activity or cultural feature or object which, because of the passage of time, is on or below the surface of land or water and is of significance to the understanding of the history of a people or place (*ROP*).

Area of Archaeological Potential means areas with the likelihood to contain archaeological resources. Criteria to identify archaeological potential are established by the Province. The Ontario Heritage Act requires archaeological potential to be confirmed by a licensed archaeologist (*PPS*).

Area of Archaeological Potential means areas with the likelihood to contain archaeological resources. Criteria to identify archaeological potential are established by the Province. The Ontario Heritage Act requires archaeological potential to be confirmed by a licensed archaeologist (*ROP*).

Built Heritage Resource means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers (*PPS*).

Built Heritage Resource means one or more buildings, structures, monuments, installations, or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on a property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included in local, provincial, federal and/or international registers (*ROP*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*PPS*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*ROP*).

Cultural Heritage Landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms (*PPS*).

Cultural Heritage Resources means built heritage resources, cultural heritage landscapes and archaeological resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people. While some cultural heritage resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation (*ROP*).

Development means the creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the Planning Act, but does not include:

- c) activities that create or maintain infrastructure authorized under an environmental assessment process;
- d) works subject to the Drainage Act; or
- e) for the purposes of policy 2.1.4(a), underground or surface mining of minerals or advanced exploration on mining lands in significant areas of mineral potential in Ecoregion 5E, where advanced exploration has the same meaning as under the Mining Act. Instead, those matters shall be subject to policy 2.1.5(a) (*PPS*).

Development means the creation of a new lot, a change in land use or construction of buildings and structures, requiring approval under the Planning Act but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the Drainage Act (*ROP*).

Development means the subdivision of land, or construction of buildings and structures, requiring approval under the Planning Act but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the Drainage Act (*OP*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., significant views or vistas to or from a protected heritage property) (*PPS*).

Heritage Attributes means in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest; ("attributs patrimoniaux") (*OHA*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., views or vistas to or from a protected heritage property) (*ROP*).

Property means real property and includes all buildings and structures thereon (*OHA*).

Protected Heritage Property means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*PPS*).

Protected Heritage Property means property listed by council resolution on a heritage register or designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*ROP*).

Significant in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act (*PPS*).

Significant in regard to cultural heritage and archaeology, resources that are valued for the important contribution they make to our understanding of the history of a place, an event, or a people (*OP*).

APPENDIX C

SCOPED HERITAGE IMPACT ASSESSMENT

TERMS OF REFERENCE

TERMS OF REFERENCE - SCOPED HERITAGE IMPACT ASSESEMENT (HIA)

8990 MCLAUGHLIN (FORMER OPP BUILDING), BRAMPTON

A scoped heritage impact assessment is required for the subject property at 8990 McLaughlin. The contents for the scoped heritage impact assessment are recommended as per the scoped Terms of Reference below:

3. Content of Heritage Impact Assessments

3.1 Background (REQUIRED)

3.1.1 Provide a brief background on the purpose of the HIA by outlining why it was undertaken, by whom, and the date(s) the evaluation took place.

3.1.2 Briefly outline the methodology used to prepare the assessment.

3.2 Introduction to the Subject Property (PARTIALLY REQUIRED)

3.2.1 Provide a location plan specifying the subject property, including a site map and aerial photograph at an appropriate scale that indicates the context in which the property and heritage resource is situated. **(REQUIRED)**

3.2.2 Briefly document and describe the subject property, identifying all significant features, buildings, landscapes, and vistas. **(n/a)**

3.2.3 Indicate whether the property is part of any heritage register (e.g. Municipal Register of Cultural Heritage Resources Designated under the Ontario Heritage Act, or Municipal Register of Cultural Heritage Resources) **(REQUIRED)**

3.2.4 Document and describe the context including adjacent properties, land uses, etc. **(n/a)**

3.2.5 Document, describe, and assess the apparent physical condition, security, and critical maintenance concerns, as well as the integrity of standing buildings and structures found on the subject property. **(n/a)**

3.2.6 If the structural integrity of existing structures appears to be a concern, recommend the undertaking of a follow-up structural and engineering assessment to confirm if conservation, rehabilitation and/or restoration are feasible. Assessments must be conducted by qualified professionals with heritage property experience. **(n/a)**

3.3 Evaluation of Cultural Heritage Value or Interest (NOT REQUIRED)

3.3.1 Thoroughly document and describe all heritage resources within the subject property, including cultural heritage landscapes, structures, buildings, building elements, building materials, architectural features, interior finishes, natural elements, vistas, landscaping and potential archaeological resources.

3.3.2 Provide a chronological history of the site and all structure(s), including additions, deletions, conversions, etc.

3.3.3 Provide a list of owners from the Land Registry office and other resources, as well as a history of the site use(s) to identify, describe, and evaluate the significance of any persons, groups, trends, themes, and/or events that are historically or culturally associated with the subject property.

3.3.4 Document heritage resource(s) using current photographs of each elevation, and/or measured drawings, floor plans, and a site map at an appropriate scale for the given application (i.e. site plan as opposed to subdivision). Also include historical photos, drawings, or other archival material that is available and relevant.

3.3.5 Using Regulation 9/06 of the Ontario Heritage Act (Criteria for Determining Cultural Heritage Value or Interest), identify, describe, and evaluate the cultural heritage value or interest of the subject property as a whole, outlining in detail all significant heritage attributes and other heritage elements.

3.3.6 Provide a summary of the evaluation in the form of a table (see Appendix 1) outlining each criterion (design or physical value; historical or associative value; contextual value), the conclusion for each criterion, and a brief explanation for each conclusion.

3.4 Description and Examination of Proposed Development/Site Alterations (PARTIALLY REQUIRED)

3.4.1 Provide a description of the proposed site alteration in relation to the heritage resource.

3.4.2 Indicate how the proposed site alteration will impact the heritage resource(s) and neighbouring properties. These may include:

- Destruction of any, or part of any, significant heritage attributes or features;
- Alteration to the historic fabric and appearance;
- ~~Shadow impacts on the appearance of a heritage attribute or an associated natural feature or plantings, such as a garden;~~
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;
- Impact on significant views or vistas within, from, or of built and natural features;
- ~~A change in land use where the change in use may impact the property's cultural heritage value or interest;~~
- ~~Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource.~~

3.4.3 Submit a drawing indicating the subject property streetscape and properties to either side of the subject lands, if applicable. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and how it integrates with the adjacent properties from a streetscape perspective. Thus, the drawing must show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees and/or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in. (n/a)

3.5 Mitigation Options, Conservation Methods, and Proposed Alternatives (PARTIALLY REQUIRED)

3.5.1 Provide mitigation measures, conservation methods, and/or alternative development options that avoid or limit the direct and indirect impacts to the heritage resource. (n/a)

3.5.2 Evaluate the advantages and disadvantages (pros and cons) of each proposed mitigation measure/option. The mitigation options may include, but are not limited to: **(PARTIALLY REQUIRED)**

- ~~Alternative development approaches;~~
- ~~Appropriate setbacks between the proposed development and the heritage resources;~~
- ~~Design guidelines that harmonize mass, setback, setting, and materials;~~
- Limiting height and density;
- Compatible infill and additions;
- Refer to Appendix 2 for additional mitigation strategies.

3.5.3 Identify any site planning and landscaping measures that may ensure significant heritage resources are protected and/or enhanced by the development or redevelopment. **(n/a)**

3.5.4 If relocation, removal, demolition or other significant alteration to a heritage resource is proposed by the landowner and is supported by the heritage consultant, provide clear rationale and justification for such recommendations. **(n/a)**

3.5.5 If retention is recommended, outline short-term site maintenance, conservation, and critical building stabilization measures. **(n/a)**

3.5.6 Provide recommendations for follow-up site-specific heritage strategies or plans such as a Conservation Plan, Adaptive Reuse Plan, and/or Structural/Engineering Assessment. **(n/a)**

3.5.7 If a heritage property of cultural heritage value or interest cannot be retained in its original location, consider providing a recommendation for relocation by the owner to a suitable location in reasonable proximity to its original siting. **(n/a)**

3.5.8 If no mitigation option allows for the retention of the building in its original location or in a suitable location within reasonable proximity to its original siting, consider providing a recommendation for relocation to a more distant location. **(n/a)**

3.5.9 Provide recommendations for advertising the sale of the heritage resource. For example, this could include listing the property on the Architectural Conservancy of Ontario (ACO) website in order to allow interested parties to propose the relocation of the heritage resource. Acceptable timelines and any other requirements will be determined in consultation with City staff. The link to the ACO's Historic Architectural Linking Program is provided below:

http://www.arconserv.ca/buildings_at_risk_for_sale.cfm **(n/a)**

3.5.10 If a property cannot be retained or relocated, alternatives will be considered for salvage and mitigation. Only when other options can be demonstrated not to be viable will options such as reunification or symbolic conservation be considered. Detailed documentation and commemoration (e.g. a heritage interpretative plaque) may also be required. Salvage of material must also occur, and a heritage consultant may need to provide a list of features of value to be salvaged. Materials may be required to be offered to heritage-related projects prior to exploring other salvage options. Ruinification allows for only the exterior of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development or using a symbolic design method to depict a theme or remembrance of the past. **(REQUIRED)**

3.5.11 If the subject property abuts to one or more listed or designated heritage properties, identify development impacts and provide recommended mitigation strategies to ensure the heritage resources on the adjacent properties are not negatively impacted. Mitigation strategies include, but are not limited to: **(n/a)**

- vegetation screening;
- fencing;
- buffers;
- site lines;
- an architectural design concept for the massing and façade treatment of proposed buildings to ensure compatibility with the adjoining property and the like.

3.5.12 An implementation schedule and reporting/monitoring system for implementation of the recommended conservation or mitigation strategies may be required. (n/a)

3.6 Recommendations (PARTIALLY REQUIRED)

3.6.1 Provide clear recommendations for the most appropriate course of action for the subject property and any heritage resources within it. (REQUIRED)

3.6.2 Clearly state whether the subject property is worthy of heritage designation under the Ontario Heritage Act. (n/a)

3.6.3 The following questions must be answered in the final recommendation of the report: (n/a)

- Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, Ontario Heritage Act?
- Why or why not does the subject property meet the criteria for heritage designation?
- Regardless of the failure to meet criteria for heritage designation, can the structure or landscape be feasible integrated into the alteration/development?

3.6.4 Failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.

3.7 Executive Summary (REQUIRED)

3.7.1 Provide an executive summary of the assessment findings at the beginning of the report.

3.7.2 Outline and summarize all recommendations including mitigation strategies, need for the preparation of follow-up plans such as conservation and adaptive reuse plans and other requirements as warranted. Please rank mitigation options from most preferred to least.

*** All other sections shall be followed unless otherwise indicated***

APPENDIX D COMPARABLE PROJECTS TO THE PROPOSED OPTIONS FOR 8990 MCLAUGHLIN ROAD SOUTH

Option 1: 150 Symes Road, Toronto, Ontario

The building on the property at 150 Symes Road, also known as the former “Symes Road Incinerator” building, was retained *in situ* and adaptively reused as commercial space. This property is designated under Section 29, Part IV of the *OHA* and has external heritage attributes. The building on the property was retained *in situ* and was rehabilitated. Few external modifications have been made to the building and its heritage attributes (Figure 9).



Figure 9: Photograph showing a section of the former Symes Road Incinerator building²⁶

²⁶ Architectural Conservancy of Ontario. “Symes Road Incinerator.” 2024. Accessed 16 May 2024. <https://www.acotoronto.ca/building.php?ID=10711>.

Option 2: 234 Bay Street, Toronto, Ontario

The building on the property at 234 Bay Street, also known as the former “Toronto Stock Exchange Building” and the “Toronto Design Exchange”, was included as part of the property’s redevelopment. This property is designated under Section 29, Part IV of the *OHA* and has internal and external heritage attributes.

The building on the property was retained *in situ* and its primary elevation was retained as a prominent characteristic of the redeveloped property. Its side elevations and interior were also kept through the property’s redevelopment (Figure 10). This approach retained the buildings external and internal heritage attributes.



Figure 10: Photograph showing the integration of the former Toronto Stock Exchange building into a new development.²⁷

²⁷ Wikipedia. “Toronto Stock Exchange.” Last updated 16 February 2024. Accessed 16 May 2024. https://en.wikipedia.org/wiki/Toronto_Stock_Exchange.

Option 3 and Option 4: 545 Lake Shore Boulevard West, Toronto, Ontario

The building on the property at 545 Lake Shore Boulevard West, also known as the “Crosse and Blackwell Building”, was included as part of a redevelopment proposal. This property is listed under Section 27, Part IV of the *OHA* and has external heritage attributes. The project included the use of the building as part of a mixed-use redevelopment.

A high concentration of the building’s heritage attributes are located on an enclosed, hexagonal pavilion at the main entrance. The proposed redevelopment retains the pavilion *in situ* and focuses new construction towards the rear of the property (Figure 11).



Figure 11: Rendering of the proposed redevelopment of 545 Lake Shore Boulevard West²⁸

²⁸ City of Toronto. “Alterations to a Heritage Property and Authority to Enter into a Heritage Easement Agreement - 545 Lake Shore Boulevard West.” Dated 4 January 2022. Accessed 16 May 2024. <https://www.toronto.ca/legdocs/mmis/2022/te/bgrd/backgroundfile-176348.pdf>.

Option 5 and Option 6: 180 Metcalfe Street, Ottawa, Ontario

The building on the property at 180 Metcalfe Street, also known as the former “Medical Arts Building”, was included as part of a redevelopment proposal for a mixed-use development. This property is designated under Section 29, Part IV of the *OHA* and has external attributes.

The property’s redevelopment retains the building’s primary elevation and sections of its side elevations (Figure 12). The retained sections of the external wall will be rehabilitated and most of the building’s internals will be demolished.



Figure 12: Rendering of the proposed redevelopment of 180 Metcalfe Street.²⁹

²⁹ Robertson Martin Architects. “CULTURAL HERITAGE IMPACT STATEMENT R2 & CONSERVATION PLAN: MEDICAL ARTS BUILDING DEVELOPMENT.” Dated 27 July 2018. Accessed 16 May 2024. <https://pub-ottawa.escribemeetings.com/filestream.ashx?documentid=58111>.

Option 7: 484 Spadina Avenue, Toronto, Ontario

The property at 484 Spadina Avenue, also known as the “Silver Dollar Room”, was included as part of a 15-storey mixed-use development. This property is designated under Section 29, Part IV of the *OHA* and has internal and external heritage attributes. The project included the demolition and reconstruction of the heritage building (Figure 13).

The properties external attributes, including its location on Spadina Avenue; scale, form, and massing of the building; flat roof; circular lit sign with the words “The Silver Dollar Room”; and the original location of the entrance were each generally retained. Internal attributes, including the open volume of the performance and bar space at the east end of the building including the bar, the stage and the terrazzo floor with raised areas, was also retained. Per a staff report prepared by City of Toronto Planning staff:

On the interior the heritage attributes of the Silver Dollar Room are the open volume of the performance and bar space including the bar, the stage and the terrazzo floor with raised areas. The coved ceiling and original ceiling height of the Silver Dollar Room are important features that help define the volume of the performance and bar space). The interior dimensions and configuration of the original Silver Dollar Room have been closely replicated in the new ground floor entertainment space (Attachment No.3).

In the context of the major redevelopment of this property, temporary removal of the interior attributes off-site is essential to their conservation. The painted murals will be carefully removed in as large pieces as possible, using methods specific to their material composition (glass vs plaster), size (vertical panels) and method of attachment. They will be restored off-site and reinstated on the new interior space to replicate their existing location and spatial arrangement.

The bar will be preserved with minimal intervention to the millwork. Original fabric will be reupholstered with material to match the original as closely as possible. Missing wood moulding will be replaced. The bar and the stainless steel footrest (to be cleaned) will be reinstated in their original location.³⁰

³⁰ City of Toronto. “Demolition and Reconstruction of a Designated Heritage Property - 484 Spadina Avenue (The Silver Dollar Room).” Dated 9 February 2017. Accessed 16 May 2024.
<https://www.toronto.ca/legdocs/mmis/2017/te/bgrd/backgroundfile-101946.pdf>.



Figure 13: Photograph showing the redeveloped interior of the “Silver Dollar Room”.³¹

³¹ Tangerine, S. in Trapunski, R. “A first look inside the rebuilt Silver Dollar Room.” Dated 18 September 2021. Accessed 16 May 2024. <https://nowtoronto.com/music/a-first-look-inside-the-rebuilt-silver-dollar-room/>.