



## Agenda

Brampton Heritage Board

The Corporation of the City of Brampton

**Date:** Tuesday, October 15, 2024  
**Time:** 7:00 p.m.  
**Location:** Hybrid Meeting - Virtual Option & In-Person in Council Chambers – 4th Floor – City Hall  
**Members:** Stephen Collie (Co-Chair)  
Douglas McLeod (Co-Chair)  
Nick Craniotis  
Roy de Lima  
Prianka Garg  
Sharron Goodfellow  
Hunyah Irfan  
Dian Landurie  
Christiana Nuamah  
Naveed Suleman  
Rajesh Vashisth  
Paul Willoughby  
Regional Councillor P. Vicente - Wards 1 and 5

For inquiries about this agenda, or to make arrangements for accessibility accommodations for persons attending (some advance notice may be required), please contact:

Chandra Urquhart, Legislative Coordinator, Telephone 905.874.2114, TTY 905.874.2130 [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca)

Note: Meeting information is also available in alternate formats upon request.

1. Call to Order
2. Approval of Agenda
3. Declarations of Interest under the Municipal Conflict of Interest Act
4. Previous Minutes

- 4.1 Summary of Recommendations - Special Brampton Heritage Board - October 2, 2024

The Summary of Recommendations is listed for consideration by Planning and Development Committee on October 21, 2024 and approval by Council on October 30, 2024. The summary is provided for information.

5. Consent

There are no items under Consent

6. Presentations\Delegations

7. Sub-Committees

8. Designation Program

- 8.1 Report by Otmar Melhado, Heritage Planner, re: Thomas Burrell Grist Mill - 3448 Castlemore Road - Ward 10

*To be distributed prior to the meeting*

9. Heritage Impact Assessment (HIA)

- 9.1 Report by Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment and Heritage Permit for 55 Queen Street East – Ward 3

*Recommendations*

- 9.2 Report from Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment and Heritage Permit Application for 10254 Hurontario Street – Ward 2

*To be distributed prior to the meeting*

10. Correspondence

11. Other/New Business

12. Current Heritage Issues

- 12.1 Charlton Carscallen, Principal Planner/Supervisor, re: Update on Current Heritage Issues

13. Referred/Deferred Items

14. Information Items

15. Question Period

16. Public Question Period

**15 Minute Limit (regarding any decision made at this meeting)**

17. Closed Session

18. Adjournment

Next meeting: Thursday, November 19, 2024 at 7:00 p.m.



# BRAMPTON

## Summary of Recommendations Brampton Heritage Board - Special Meeting The Corporation of the City of Brampton

Wednesday, October 2, 2024

### 2. Approval of Agenda

#### HB033-2024

That the agenda for the Special Brampton Heritage Board meeting of October 2, 2024 be approved as published and circulated.

Carried

### 9. Heritage Impact Assessment (HIA)

#### 9.1 HB034-2024

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, to the Special Brampton Heritage Board meeting of October 2, 2024, re: **Heritage Impact Assessment, 18 River Road – Ward 6**, be received;
2. That the Heritage Impact Assessment Report for 18 River Road, prepared by LHC Heritage Planning & Archaeology Inc, dated October, 2023 be deemed complete;
3. That, based on the recommendation of the HIA, Option 1 for the proposed severance (as described in this report) be selected as the preferred alternative; and,
4. That staff initiate the Heritage Designation process for the property, per HIA finding that it meets criteria 1 and 4 of the Ontario Regulation 9/06 and is eligible for designation under Section 29 Part IV of the Ontario Heritage Act.

Carried



## 9.2 HB035-2024

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning to the Special Brampton Heritage Board meeting of October 2, 2024, re: **Heritage Impact Assessment, 12 Rosegarden Drive Ward-10**, dated January 2024 be received;
2. That the Heritage Impact Assessment Report for 12 Rosegarden Drive, prepared by ATA Architects Inc., dated January 2024 be deemed complete; and,
3. That the following recommendations as per the Heritage Impact Assessment by ATA Architects Inc. be followed:
  - I. As a result of a fire at 12 Rosegarden Drive in 2023, which has rendered the building unsafe and made it impossible to salvage or restore, the building must be demolished;
  - II. A Commemoration of the property should be erected and placed in Gladstone Shaw Park, immediately west of the property. A Commemoration Plan to guide the commemorative strategy is required to be submitted and must adhere to the city's new Terms of Reference for Commemoration Plans.

Carried

## 9.3 HB036-2024

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, to the Special Brampton Heritage Board meeting of October 2, 2024, re: **Heritage Impact Assessment for proposed development at 8525 Mississauga Road– Ward 4**, be received;
2. That the Heritage Impact Assessment Report for the proposed Kaneff Subdivision on Part of the Lionhead Golf Club & Conference Centre Lands, 8525 Mississauga Road, prepared by Paul Dilse, Heritage Planning Consultant, dated June 28, 2023 be deemed complete;
3. That the following recommendations per the Heritage Impact Assessment be included in 2023 Kaneff's Draft Plan of Subdivision:
  - I. Measures including natural or human-made deterrents to movement of people from the proposed park in Block 72 across the buffer and up the hill into the camp should be explored. A Landscape architect should be involved to choose the planting of native thorny shrub roses along the southern edge of the buffer to impede movement and design an eight-foot

high chain link fence on which native Ontario vines can be grown where the turning circle and eventual alignment of Street A come close to the camp's southwest corner. Under the direction of a landscape architect, the buffer itself should be planted with native species to the southern latitudes of the Province to develop into a screen of vegetation as dense as the forest behind.

II. For apartment buildings rising above the highest point of land in Camp Naivelt, measures should be explored to soften the impression of their height on the skyline. Opportunities like green roofs, terraced elevations and curvilinear profiles should be explored to design cluster of point towers that would have lesser effect on the skyline than slab towers with larger floor plates. Floors above the camp's highest elevation could be clad in bird-friendly materials that resemble in color the pale blue or light gray shades of typical southern Ontario sky. Nighttime illumination of mechanical penthouses should be minimized; and,

4. That a historical interpretation on-site is recommended which involves following implementation recommendations:

I. Mounting site interpretation map of Eldorado Park and vicinity

II. Creation of a web page and an app on the cultural history of the Credit River Valley at Eldorado Park.

Carried

#### 9.4 HB037-2024

1. That the report from Tom Tran, Heritage Planner, Integrated City Planning to the Special Brampton Heritage Board meeting of October 2, 2024, re: **Heritage Impact Assessment and Addendum, 11185 Airport Road – Ward 10**, be received;

2. That the following recommendations of the Heritage Impact Assessment prepared by Golder Associates dated October 21, 2021 be received:

I. The property is determined to have met four of nine criteria of O. Reg. 9/06 in design/physical value, historical/associative and contextual value, and therefore has cultural heritage value or interest (CHVI) and is worthy of Designation under Part IV of the Ontario Heritage Act;

3. That the following recommendation from the HIA addendum dated August 2024 be received:

- I. The preferred option to facilitate relocation and rehabilitation of the Sargent Farmhouse as a residence on a new lot in the subdivision is Option 2;
4. That the following recommendation as per the Heritage Impact Assessment Addendum by WSP dated August 8, 2024 be received and followed:
  - Option 2: Disassembly of the Sargent Farmhouse and recreation of the front façade and west façade using salvaged brick as a cladding on a new larger dwelling;
5. That a Heritage Conservation Plan, Documentation & Salvage Report and Commemoration Plan be prepared according to the City's Terms of Reference as conditions of the Draft Plan Approval and prior to issuance of the Demolition Permit; and,
6. That a Heritage Delisting Report be presented for the Board's acceptance prior to the issuance of the Demolition Permit for 11185 Airport Road.

Carried

## **11. Other New Business**

### **11.1 HB038-2024**

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, to the Special Brampton Heritage Board meeting of October 2, 2024, re: **Heritage Permit Application for 7 & 9 Wellington Street E –Ward 3**, be received; and,
2. That the Heritage Permit application for 7 & 9 Wellington Street E for repairs to the heritage stone wall, Building 9 (Jail) window replacement and other miscellaneous site improvements at Peel Museum & Archives, be approved.

Carried

### **11.2 HB039-2024**

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, to the Special Brampton Heritage Board Meeting of October 2, 2024, re: **Repeal of Heritage Designation for 8990 McLaughlin Road South- Ward 4**, be received;
2. That the recommendation to begin the process to repeal the designation by-law for the property be approved;

3. That the staff be authorized to publish and serve the Notice of Intention to repeal the designation by-law for the property at 8990 McLaughlin Road S in accordance with the requirements of the Ontario Heritage Act;
4. That if no objections to the repeal of the designation by-law are received, a repeal of the designation by-law be passed to de-designate the subject property; and
5. That following the repeal of the designation by-law, staff be authorized to serve a notice of intention to demolish portions of the existing building, following the recommendations from the recently approved Heritage Impact Assessment for the property.

Carried

**18. Adjournment**

**HB040-2024**

That the Brampton Heritage Board do now adjourn to meet again for a regular meeting on Tuesday, October 15, 2024 at 7:00 p.m.

Carried



**Report**  
**Staff Report**  
 The Corporation of the City of Brampton  
 10/15/2024

**Date:** 2024-09-23

**Subject:** **Recommendation Report for Heritage Impact Assessment and Heritage Permit for 55 Queen St E – Ward 3**

**Contact:** Arpita Jambekar, Heritage Planner, Integrated City Planning

**Report number:** Planning, Bld & Growth Mgt-2024-770

**RECOMMENDATIONS:**

1. That the report from Arpita Jambekar, Heritage Planner to the Brampton Heritage Board Meeting of October 15, 2024, re: **Recommendation Report for Heritage Impact Assessment and Heritage Permit for 55 Queen St E – Ward 3**, be received;
2. That the Heritage Impact Assessment for 55 Queen St E prepared by Megan Hobson, dated September 11, 2024 be received; and
3. That the Heritage Permit application, for accessibility upgrades to the front entrance and lower-level washroom at 55 Queen St E, be approved as recommended in the Heritage Impact Assessment, subject to the following conditions:
  - I. that the architect provide detailed drawings & specifications for the replicated glazed partition wall and wheelchair ramp railings to heritage staff for final review, prior to the issue of building permits;
  - II. that the architect and/or heritage consultant monitors demolition and construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing; and
  - III. that the arborist monitors tree protection during construction of the wheelchair ramp.

**OVERVIEW:**

- 55 Queen St E was designated under the Ontario Heritage Act under By-Law 9-82 in 1982.
- In accordance with Section 33 of the Ontario Heritage Act, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.
- A Heritage Impact Assessment was requested to provide details of the proposed changes to the building, to elaborate on how those changes affect its heritage attributes, and to provide mitigation measures for those impacts.
- The HIA demonstrated that the proposed accessibility upgrades to the building will have minimal impacts on the heritage attributes, are compatible with the architectural character of the building, and will improve access to all levels of the building through its primary entrance.
- The HIA recommends mitigation strategies and conditions for the Heritage Permit to ensure that the approach is generally consistent with the Standards and Guidelines for Conservation for Historic places in Canada.
- The HIA is considered to be complete as per the City's Terms of Reference.

**BACKGROUND:**

The Heritage Impact Assessment Report along with the Heritage Permit application were required for proposed accessibility upgrades to the former Carnegie Library building. In accordance with Section 33 of the Ontario Heritage Act, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.

Lorne Scots Regimental Museum at 55 Queen St E, also known as the former Brampton Carnegie Library, was designated under Part IV of the Ontario Heritage Act in 1982 for its architectural and historical significance.

The heritage attributes as referenced in the By-law include:

- Beaux-Arts Classical details
- brick exterior walls including the running frieze and attic
- rusticated stone foundation
- main entrance including the brick pilasters, portico, circular arch, running frieze, and recessed pediment
- large windows framed with "basket handle" arches
- mansard roof

The former Carnegie Library was constructed in 1906-07 in the Beaux-Arts style. It was designed by prominent Toronto architects Wickson & Gress and funded by the Carnegie foundation. An addition was constructed on the east side of the library in 1930s, and new public library was built next door in 1974. However, the Old Library was closed in 1974 and, since then, the building has been repurposed for uses by several non-profit organizations. It currently houses the Lorne Scots Regimental Museum. The interior, except for the front entrance vestibule, has been extensively altered. The exterior is well preserved.

## **CURRENT SITUATION:**

Heritage Consultant Megan Hobson and Architects Lebel & Boulaine, were retained by the City of Brampton to complete the Heritage Impact Assessment and the Heritage Permit application received on September 12, 2024. (See Attachments 1 and 2).

The proposed accessibility upgrades are to facilitate accessibility for the exhibition gallery on the main floor and washrooms on the lower level as follows:

- i. construction of a wheelchair ramp at the front entrance on Queen Street;
- ii. modifications to the central and left side stairs inside the front vestibule to accommodate a wheelchair lift to serve the main floor, vestibule, and lower level; and
- iii. renovation of an existing washroom on the main level to create an accessible washroom.

The HIA identified the following impacts and recommended mitigation strategies for impacts to the interior and exterior heritage attributes:

- i. To minimize impacts to the roots of the existing trees on the Queen Street frontage from the foundations of the proposed wheelchair ramp, a tree protection zone has been determined and below-grade disturbances in the area must be limited by using helical piles for the wheelchair ramp foundation.
- ii. Impacts are identified to the left side of the entry steps where the proposed wheelchair ramp will connect with the existing stairs and landing.
- iii. The proposed ramp is located away from the existing above-grade basement window openings to mitigate impact on the rusticated stone foundation wall.
- iv. Impacts from modifications to stairs inside the entrance vestibule and removal of the glazed partition wall at the top of the stairs shall be minimized by re-using the salvaged oak railings and newel posts on the rebuilt stairs and partially replicating the glazed partition wall to match existing.

The proposed changes represent an approach that will have the least impact on heritage features, is compatible with the architectural character of the building, and will improve access to all levels of the building through its primary entrance. The HIA recommends approval of the Heritage Permit application, subject to the following conditions:

1. that the architect provide detailed drawings and specifications for the replicated glazed partition wall and wheelchair ramp railings to heritage staff for final review, prior to the issue of building permits;
2. that the architect and/or heritage consultant monitors demolition and construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing; and
3. that the arborist monitor tree protection during construction of the wheelchair ramp.

## **CORPORATE IMPLICATIONS:**

### **Financial Implications:**

The maintenance, and renovations of City owned properties has been budgeted for, and no additional expenses have been accrued.

### **Other Implications:**

The City is maintaining and upgrading their recreation and heritage properties for public use and enjoyment.

## **STRATEGIC FOCUS AREA:**

The approval of Heritage Impact Assessment and Heritage Permit Application within this report supports the Culture and Diversity Focus Area. The recommendations therein facilitate the conservation and necessary upgrades of a rare and unique heritage resource that is an example of the short-lived Beaux Arts style in the City and contributes to the understanding of Brampton's early history.

## **CONCLUSION:**

It is recommended that the Heritage Impact Assessment for 55 Queen St E – Ward 3 be received by the Brampton Heritage Board as being complete and the Heritage Permit Application be approved.



Authored by:

Reviewed by:

---

Arpita Jambekar  
Heritage Planner  
Integrated City Planning

---

Jeffrey Humble, RPP, MCIP  
Manager  
Integrated City Planning

Approved by:

Approved by:

---

Henrik Zbogar, RPP, MCIP  
Director  
Integrated City Planning

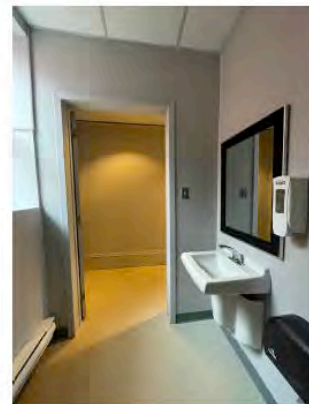
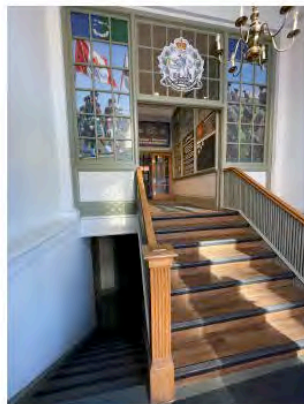
---

Steve Ganesh, RPP, MCIP  
Commission  
Planning, Building and Growth Management

**Attachments:**

- Attachment 1 – Heritage Impact Assessment report by Megan Hobson, dated September 11, 2024
- Attachment 2 – Heritage Permit Application

# HERITAGE IMPACT ASSESSMENT



LORNE SCOTS REGIMENTAL MUSEUM (FORMER CARNEGIE LIBRARY)  
55 QUEEN STREET EAST, BRAMPTON

ACCESSIBILITY UPGRADES\_11 SEP 2024

**MEGAN HOBSON** CAHP  
M.A. DIPL. HERITAGE CONSERVATION  
Built Heritage Consultant  
[mhobson@bell.net](mailto:mhobson@bell.net)

## TABLE OF CONTENTS

|   |                              |          |
|---|------------------------------|----------|
| EXECUTIVE SUMMARY                                     |                              |          |
| 1.0   | INTRODUCTION                 | 2        |
| 2.0   | LOCATION & SITE DESCRIPTION  | 2        |
| 3.0   | HERITAGE PLANNING CONTEXT    | 3        |
| 4.0   | CULTURAL HERITAGE VALUE      | 3        |
| 5.0   | PROPOSED ALTERATIONS         | 5        |
| 6.0   | HERITAGE IMPACT ASSESSMENT   | 7        |
| 7.0   | RECOMMENDATIONS              | 9        |
| 8.0   | SOURCES                      | 11       |
| 9.0   | QUALIFICATIONS OF THE AUTHOR | 11       |
| 10.0  | APPENDICES                   | ATTACHED |
| APPENDIX A: PHOTO DOCUMENTATION                       |                              |          |
| APPENDIX B: HISTORIC DOCUMENTATION                    |                              |          |
| APPENDIX C: <i>DESIGNATION BY-LAW NO. 9-82</i>        |                              |          |
| APPENDIX D: ARCHITECTURAL DRAWINGS (LEBEL & BOULIANE) |                              |          |

## EXECUTIVE SUMMARY

Hobson Heritage Consulting was retained by the City of Brampton to provide a *Heritage Impact Assessment* (HIA) for proposed accessibility upgrades to the former Brampton Carnegie Library at 55 Queen Street East. The subject property is a City-owned Designated heritage building that is currently occupied by the Lorne Scots Regimental Museum.

The proposed accessibility upgrades include the following:

- construction of an exterior wheelchair ramp at the front entrance on Queen Street
- interior alterations to the stairs inside the front entrance to accommodate a wheelchair lift
- interior alterations to an existing washroom on the lower level to create a barrier free washroom

Accessibility upgrades are beneficial because they support continued use of the heritage building as a public building. The building was constructed in 1907 and has a raised foundation. Existing access to the building through the main entrance on Queen Street therefore presents accessibility challenges including exterior steps up to the front door and interior stairs inside the entrance vestibule up to the main floor where the exhibition space is and down to the lower level where the washrooms are.

The impacts are identified as:

- impacts to the roots of existing trees on the Queen Street frontage from the foundations of the wheelchair ramp
- impacts to the left side of the entry steps where the proposed wheelchair ramp will connect with the existing stairs and landing
- impacts to the stairs inside the entrance vestibule and glazed partition wall at the top of the stairs

Appropriate mitigation strategies have been proposed to minimize adverse impacts including:

- a tree protection zone has been determined and below-grade disturbances in this area will be limited by using helical piles for the wheelchair ramp foundation
- the oak railings and newel posts that must be removed to accommodate the passenger lift will be salvaged and reused on the rebuilt stairs
- the glazed partition wall that must be removed to accommodate the passenger lift will be partially replicated to match the existing

Therefore, it is recommended that the Heritage Permit Application be approved, subject to the following conditions:

1. that the architect provides detailed drawings & specifications for the replicated glazed partition wall and wheelchair ramp railings to heritage staff for final review, prior to the issue of building permits
2. that the architect and/or heritage consultant monitors demolition and construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing
3. that the arborist monitors tree protection during construction of the wheelchair ramp

## 1.0 INTRODUCTION

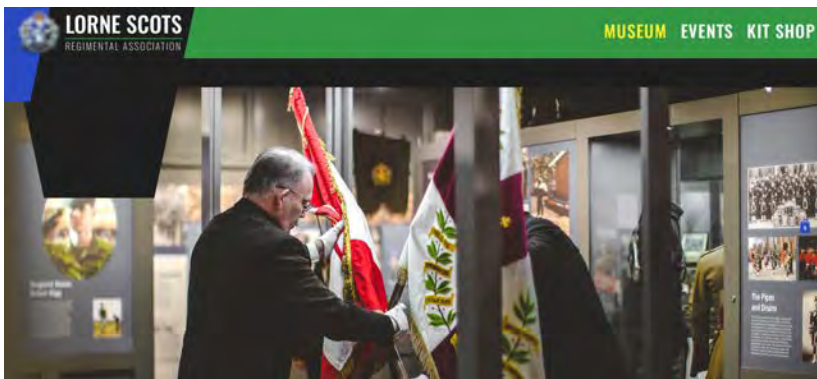
Preparation of this report included site investigation carried out by Lebel & Boulaire, a review of relevant heritage policies and applicable legislation, historical research, and consultation with heritage staff at the City of Brampton. Research assistance was provided by Nick Moreau, Archivist at the Region of Peel Archives.

## 2.0 LOCATION & SITE DESCRIPTION



FRONT ENTRANCE ON QUEEN STREET – accessibility upgrades are proposed for the main entrance to the building

The subject property is situated in Downtown Brampton at the corner of Queen Street East and Chapel Street. The subject building is the former Brampton Carnegie Library that has been adaptively reused as a City-owned facility. The main floor of the building has recently opened to the public as the new location of the Lorne Scots Regimental Museum.



LORNE SCOTS REGIMENTAL MUSEUM – relocated to the Old Library in May 2024





### 3.0 HERITAGE PLANNING CONTEXT

The subject property was Designated under Part IV of the *Ontario Heritage Act* in 1982 for its architectural and historical significance as the former Brampton Carnegie Library. It was designed by Wickson & Gregg Architects in 1906 and constructed in 1907.

The *Designation By-law* is attached as an appendix to this report. Typical of some older by-laws enacted prior to the 2005 changes to the *Ontario Heritage Act*, it has a very brief Statement of Significance and does not have a list of heritage attributes. For the purposes of this *Heritage Impact Assessment*, potential heritage attributes are understood to be original exterior and interior features.

In 2013, Steven Burgess Architects prepared a *Conservation Plan* for the building. The report recommended minor repairs be carried out over the next five years. A *Heritage Permit* was issued in 2017 and the recommended conservation work appears to have been undertaken. The building appears to be in very good condition.

The subject building is adjacent to the Old Brampton Fire Hall and Armouries. This cluster of built heritage resources occupies a prominent corner and is adjacent to the Brampton Public Library.



CORNER OF QUEEN STREET & CHAPEL STREET – Old Carnegie Library, Fire Hall & Armouries

### 4.0 CULTURAL HERITAGE VALUE

The subject property is the former Brampton Carnegie Library constructed in 1906-07 in a Beaux-Arts style. It was designed by prominent Toronto architects Wickson & Gregg and funded by the Carnegie Foundation. The Carnegie foundation was established by the American businessman and philanthropist Andrew Carnegie and provided funds for construction of 111 public libraries across Ontario in the early 20<sup>th</sup> century. Wickson & Gregg designed three Carnegie Libraries in Ontario in Paris, Brampton, and Toronto (with Alfred Chapman).<sup>1</sup>

In the 1930s an addition was built on the east side of the library in a similar style. In 1974 a new public library was built next door and the Old Library was closed and the building re-purposed for municipal uses. Since 1974 it has housed several different non-profit organizations. The interior, except for the front entrance vestibule, has been extensively altered. The exterior is well preserved.

---

<sup>1</sup> Robert Hill, entry for Alfred Frank Wickson in the *Biographical Dictionary of Architects in Canada 1800-1950*.



HISTORIC PHOTOS SHOWING THE ORIGINAL EXTERIOR AND INTERIOR – exterior features remain intact but the interior has been extensively altered. The glazed partition wall visible in the 1911 photo of the interior remains and will be impacted by the proposed changes. [Region of Peel Archives]

The reasons for Designation statement included in the *Designation By-law* is provided below:

#### REASONS FOR DESIGNATION

Built in 1906, this building was constructed in the Beaux Arts style, similar to its sibling in Toronto. This style exhibits classical features such as a rusticated basement level, constructed of large stone. A main living storey which is constructed of bricks is divided above by a running frieze, creating the appearance of a third level, or attic. These three divisions are traditional and it is intriguing to see the practice carried out on a small scale. The most interesting feature is the main entrance which illustrates the

architectural plasticity of the Beaux Arts style. Brick simulated pilasters create a porch-like entrance area. It is topped with a circular arch, than branches from the running frieze. But ironically it recedes back instead of projecting forward as most pediments do. Large windows framed with "basket-handle" arches adequately light the reading areas. The slanting Mansard roof is of a French origin. The Old Carnegie Library is a rare example of the short lived Beaux Art Style in Brampton.

Heritage Attributes referenced in the 1982 Designation By-law:

- Beaux-Arts Classical details
- brick exterior walls including the running frieze and attic
- rusticated stone foundation
- main entrance including the brick pilasters, portico, circular arch, running frieze, recessed pediment
- large windows framed with "basket handle" arches
- mansard roof

It should be noted that no interior elements are mentioned in the Reasons for Designation. Most likely because interior alterations were anticipated so that the building could be rehabilitated for other uses.

## 5.0 PROPOSED ALTERATIONS

The proposed accessibility upgrades include changes to the main entrance so that the exhibition gallery on the main floor and the washrooms on the lower level will be fully accessible.

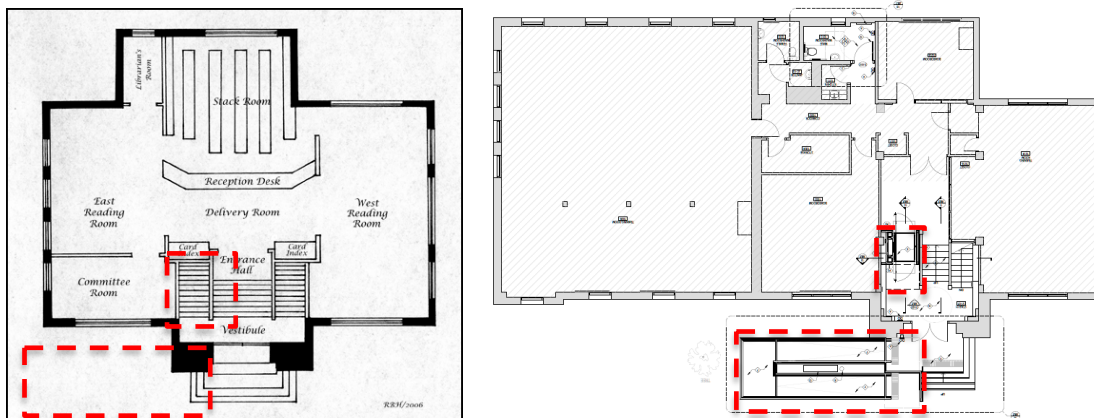
The proposed changes include the following:

- construction of a wheelchair ramp at the front entrance on Queen Street
- modifications to the stairs inside the front vestibule to accommodate a wheelchair lift to serve the main floor, vestibule, and lower level
- renovation of an existing washroom on the lower level to create an accessible washroom.

Drawings and renderings for the proposed changes have been prepared by Lebel & Boulaine and are included in the appendix of this report.

### Exterior Wheelchair Ramp

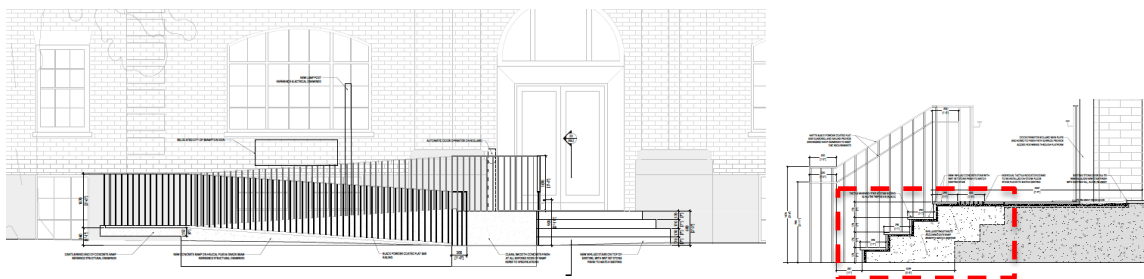
A new concrete wheelchair ramp will be installed to provide access to the front entrance. The top of the ramp will match the level the vestibule floor level, eliminating the step at the exterior door threshold. The foundation for the ramp has been designed so that it will not impact any of the existing trees in front of the building. A simple black steel railing is proposed.



PROPOSED EXTERIOR WHEELCHAIR RAMP & INTERIOR LIFT

Left: Sketch of the original interior 1<sup>st</sup> floor layout by Hulley – annotated to show the impacted areas

Right: Proposed alterations by Lebel & Boulaine – annotated to show the proposed exterior ramp and interior lift

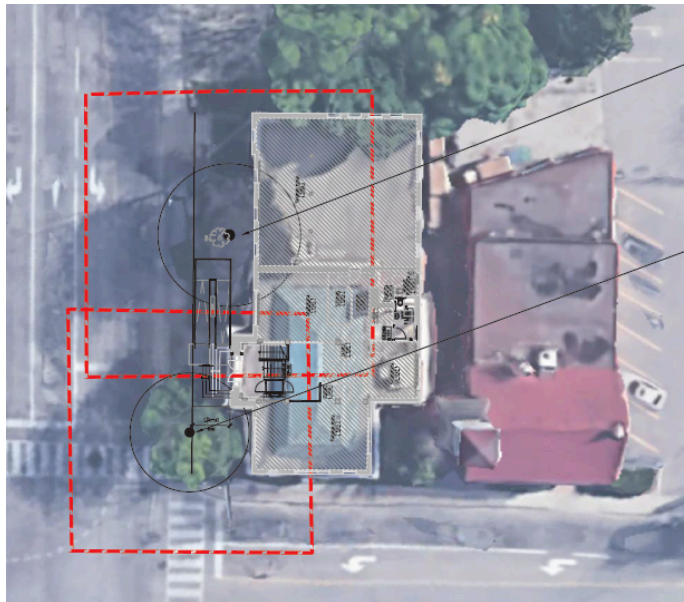


PROPOSED EXTERIOR WHEELCHAIR RAMP ON THE QUEEN STREET ELEVATION

Left: a simple black steel railing is proposed to match existing railings  
the top of the existing landing will be raised to meet the floor level at the interior  
the door opener will be installed on a bollard (not affixed to the building)  
the existing sign and lamppost will be relocated

Right: detail showing the new concrete extension on the left side of the landing to accommodate the new ramp





1 European Beech  
Diameter at Breast Height: 940 MM  
Spread: 12M  
Height: 14M  
Trunk Integrity: Good  
Status: Retain

2 Honey Locust  
Diameter at Breast Height: 400 MM  
Spread: 10M  
Height: 15M  
Trunk Integrity: Good  
Status: Retain

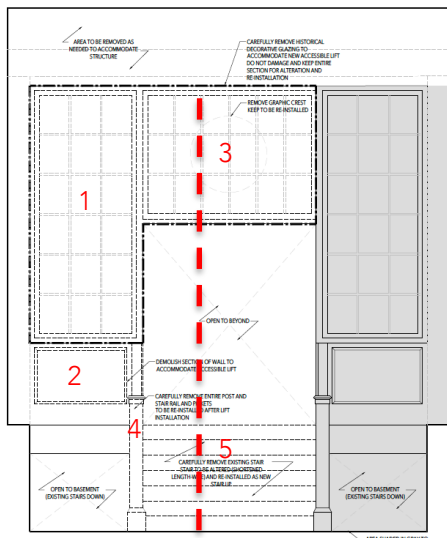
Tree Protection zone as required by the City of Brampton

Tree can support minor injury however, helical piers instead of full footings would be best solution

TREE PROTECTION ZONE – the foundation has been designed so that it will not damage trees in front of the building

## Interior Wheelchair Lift

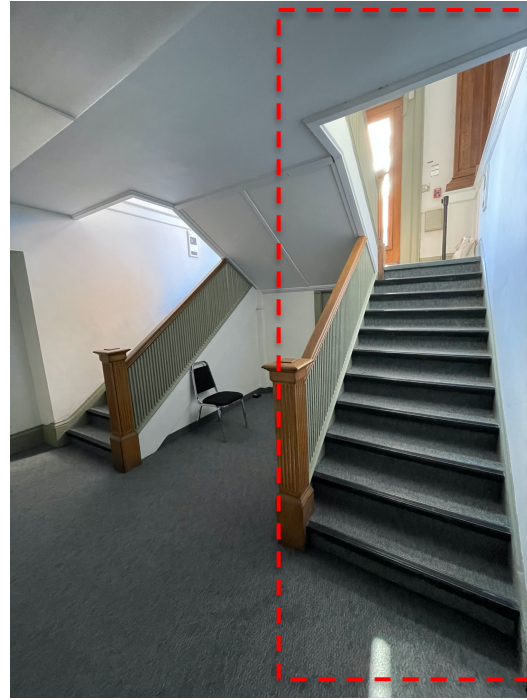
A new wheelchair lift will be installed in the entrance vestibule to provide access to the main floor, vestibule, and the lower level. The existing stairs consist of a central stair up to the main floor and two flanking stairs down to the lower level. The new lift will be installed in the stairwell on the left side of the central stair. Unfortunately, the stairwell is too narrow to accommodate the smallest lift available, so this opening will have to be enlarged. To accommodate the enlarged opening for the lift, the central stair will be removed and rebuilt to fit the reduced central opening. The glazed partition wall at the top of the stairs will be removed where the lift is installed and the portion above the central entrance will be removed and replicated to fit the smaller opening.



- 1 GLAZED PARTITION WALL BESIDE THE ENTRANCE TO BE REMOVED FOR NEW LIFT
- 2 KNEE WALL BESIDE THE ENTRANCE TO BE REMOVED FOR THE NEW LIFT
- 3 GLAZED PARTITION WALL ABOVE THE ENTRANCE TO BE REMOVED & REPLICATED FOR A SMALLER OPENING
- 4 OAK RAILING & NEWEL POST TO BE SALVAGED & REUSED FOR THE REBUILT STAIRS
- 5 EXISTING STAIRS TO MAIN FLOOR TO BE REMOVED & REBUILT FOR A SMALLER OPENING

--- ENLARGED OPENING TO ACCOMMODATE THE NEW LIFT

PROPOSED ALTERATIONS TO THE STAIRS INSIDE THE VESTIBULE to accommodate the proposed chair lift



PROPOSED PASSENGER LIFT – existing stairwell to the left to be enlarged to accommodate a passenger lift

Left: vestibule and stairs up to the main floor where the new exhibition gallery is located – existing oak railings and newel post impacted by the renovations will be salvaged and relocated

Right: stairs to the lower level where the barrier free washroom is located - existing oak railings and newel post impacted by the renovations will be salvaged and relocated

### Proposed Barrier Free Washroom

An existing washroom on the lower level will be renovated so that it can provide barrier free access. It is a modern 2-piece washroom that does have any heritage features. The door casing at the entrance to the washroom appears to be an original wood casing and there is original wood baseboard in the corridor outside the washroom.



PROPOSED BARRIER FREE WASHROOM – no heritage features in this area – the original door casing and baseboards in the corridor outside the washroom will not be impacted

## 6.0 HERITAGE IMPACT ASSESSMENT

Accessibility upgrades are beneficial because they support continued use of the heritage building as a public building. The building was constructed in 1907 and has a raised foundation. Existing access to the building through the main entrance on Queen Street therefore presents accessibility challenges including exterior steps up to the front door and interior stairs inside the entrance vestibule up to the main floor where the exhibition space is and down to the lower level where the washrooms are.

The impacts are identified as:

- impacts to the roots of existing trees on the Queen Street frontage from the foundations of the wheelchair ramp
- impacts to the left side of the entry steps where the proposed wheelchair ramp will connect with the existing stairs and landing
- impacts to the stairs inside the entrance vestibule and glazed partition wall at the top of the stairs

Appropriate mitigation strategies have been proposed to minimize adverse impacts including:

- a tree protection zone has been determined and below-grade disturbances in this area will be limited by using helical piles for the wheelchair ramp foundation
- the oak railings and newel posts that must be removed to accommodate the passenger lift will be salvaged and reused on the rebuilt stairs
- the glazed partition wall that must be removed to accommodate the passenger lift will be partially replicated to match the existing



PROPOSED WHEELCHAIR LIFT

Left: Example showing the type of wheelchair lift that has been proposed

- Right:
1. central stair to be removed and rebuilt to provide space for the wheelchair lift
  2. side stair to be removed and the opening widened to accommodate the wheelchair lift
  3. portions of the glazed partition wall that will be replicated to fit the new dimensions
  4. salvaged newel post and railings reinstated on the new stairs

## 7.0 RECOMMENDATIONS

Accessibility upgrades are beneficial because they support continued use of the heritage building as a public building. The building was constructed in 1907 and has a raised foundation. Existing access to the main floor of the building includes stone steps up to the front door and an interior vestibule with stairs up to the main floor and down to the basement level.

The impacts are identified as:

- impacts to the roots of existing trees on the Queen Street frontage from the foundations of the wheelchair ramp
- impacts to the left side of the entry steps where the proposed wheelchair ramp will connect with the existing stairs and landing
- impacts to the stairs inside the entrance vestibule and glazed partition wall at the top of the stairs

Appropriate mitigation strategies have been proposed to minimize adverse impacts including:

- a tree protection zone has been determined and below-grade disturbances in this area will be limited by using helical piles for the wheelchair ramp foundation
- the oak railings and newel posts that must be removed to accommodate the passenger lift will be salvaged and reused on the rebuilt stairs
- the glazed partition wall that must be removed to accommodate the passenger lift will be partially replicated to match the existing

The proposed changes represent an approach that will have the least impact on heritage features, is compatible with the architectural character of the building, and will improve access to all levels of the building through its primary entrance. The approach is generally consistent with guidance for rehabilitation projects in the *Standard & Guidelines for the Conservation of Historic Places in Canada*.

Therefore, it is recommended that the Heritage Permit Application be approved, subject to the following conditions:

1. that the architect provides detailed drawings & specifications for the replicated glazed partition wall and wheelchair ramp railings to heritage staff for final review, prior to the issue of building permits
2. that the architect and/or heritage consultant monitors demolition and construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing
3. that the arborist monitors tree protection during construction of the wheelchair ramp



### **Accessibility**

Providing people of all ages, interests and abilities with access to historic places is highly desirable and a frequently mandated social goal. Generally, the solutions that best balance accessibility needs with heritage value are those that enhance the use and appreciation of an historic place for everyone. Work should be carefully planned and undertaken so that impact on an historic place's heritage value and character-defining elements is minimized: the objective is to provide the highest level of access with the lowest level of impact. To determine the most appropriate solutions, accessibility and conservation specialists, and users, should be consulted early in the planning process.

*Standards & Guidelines for the Conservation of Historic Places in Canada (2010) – general guidelines for rehabilitation projects.*

## 8.0 SOURCES

Beckman, Margaret et al. *The Best Gift; a Record of the Carnegie Libraries in Ontario* (1984)

Hulley, Robert B. "Brampton Carnegie Library," Nov 30, 2007. Accessed online (originally published in the Brampton Heritage Times)

Ministry of Tourism, Culture & Sport (MTCS), *Ontario Heritage Toolkit* (2006)

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010)

Stevens Burgess Architects, *Five Year Conservation Plan; Brampton Library, 55 Queen Street, Brampton* (2013)

## 9.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a *Master of Arts in Architectural History* from the University of Toronto and a *Diploma in Heritage Conservation* from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian & Conservation Specialist at Taylor Hazell Architects in Toronto, and 12 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

## APPENDIX A: PHOTO DOCUMENTATION

\*photos provided by Lebel & Bouliane unless otherwise noted



FRONT ELEVATION ON QUEEN STREET EAST (Google Streetview)



MAIN ENTRANCE ON QUEEN STREET EAST (Google Streetview)





EXTERIOR – MAIN ENTRANCE: raised entrance with additional stairs inside to the main floor





EXTERIOR – MAIN ENTRANCE: stone steps, paved path & sidewalk, landscaped area enclosed by a wrought iron fence





INTERIOR – VESTIBULE: stairs up and entrance to the Regimental Museum main gallery located on the main floor



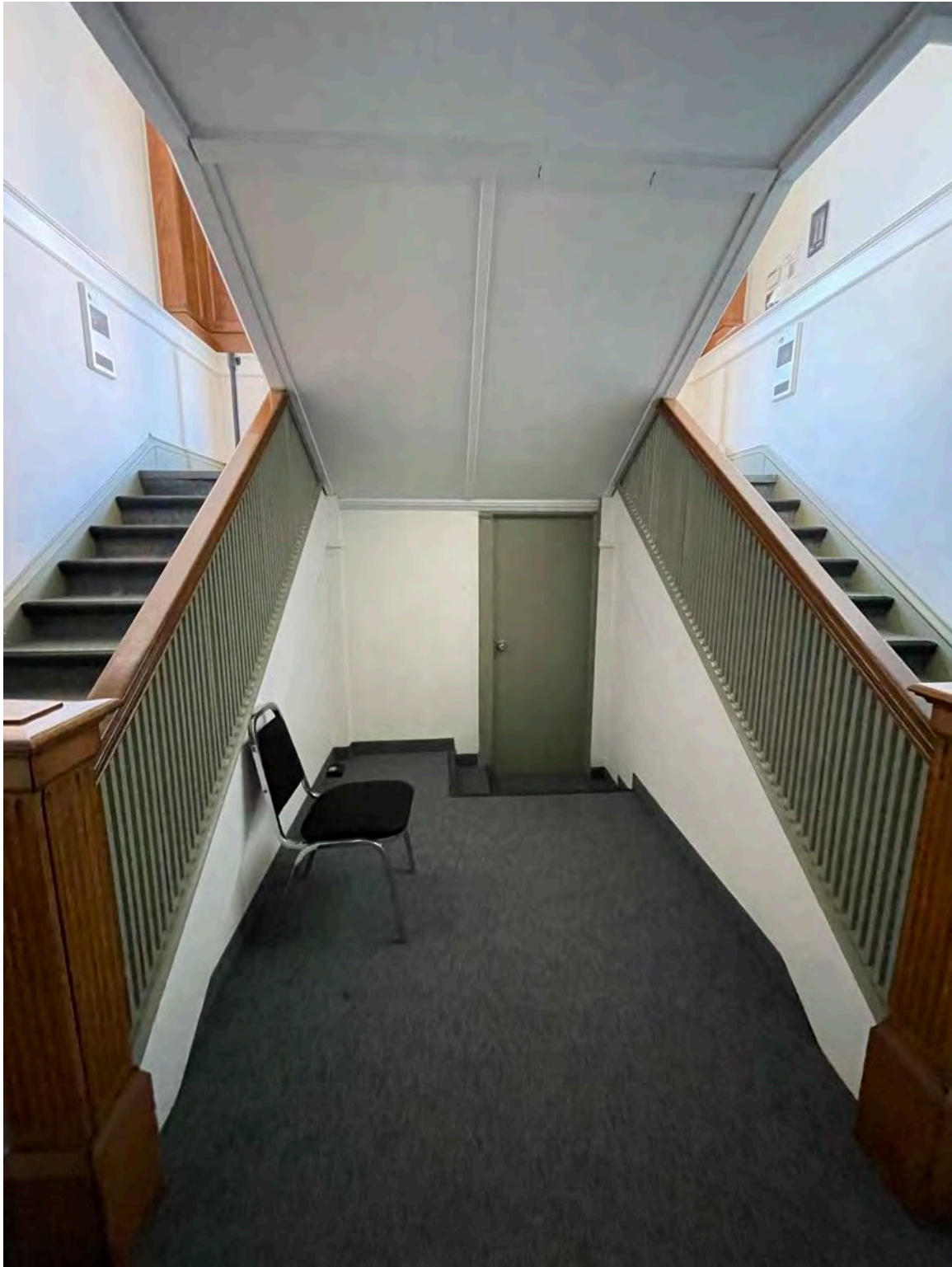


INTERIOR – VESTIBULE: original interior finishes and features include the oak newel posts and railings, the plaster & lathe walls, wood & plaster trim and the glazed partition wall at the top of the stairs – new vinyl flooring and carpeting has been installed on top of the original stair treads and risers



INTERIOR – LOWER LEVEL: view looking up to the entrance vestibule from the lower level – two sets of stairs down to the lower level and one set of stairs to the main floor – original features and finishes include the oak newel posts and railings – plaster & lathe walls and wood baseboards – wall to wall carpet has been installed on the original stair treads and risers





INTERIOR – LOWER LEVEL – underside of the stairs has plater and lathe with a wood or plaster moulding – there are steps down to the janitor's closet under the staircase



WASHROOM – existing two-piece washroom on the lower level – no original finishes or features - modern fixtures, drywall, vinyl flooring & acoustic tile ceiling – door casing on outer side may be original



WASHROOM – existing two-piece washroom on the lower level – nor original features or finishes - modern fixtures, drywall, vinyl flooring & acoustic tile ceiling – door casing on interior side is not original



## APPENDIX B: HISTORIC DOCUMENTATION



HISTORIC PHOTO – EXTERIOR (c.1907): the original exterior

[Region of Peel Archives]



HISTORIC PHOTO – INTERIOR (1911): the original interior of the Carnegie Library – the glazed partition wall remains

[Region of Peel Archives]





HISTORIC PHOTO – EXTERIOR (1930s?): before the addition was built [Region of Peel Archives]



HISTORIC PHOTO – INTERIOR (1940s): - the interior when it still housed the public library [Region of Peel Archives]



HISTORIC PHOTO – EXTERIOR (1952): before the handrails was installed

[Region of Peel Archives]





THE CORPORATION OF THE CITY OF BRAMPTON

# BY-LAW

Number 9-82

To designate the Carnegie Library as a property of historical and architectural value and interest

WHEREAS section 29 of The Ontario Heritage Act, 1974 (R.S.O. 1980, c. 337, as amended) authorizes the council of a municipality to pass by-laws designating properties within the municipality to be of historic or architectural value or interest;

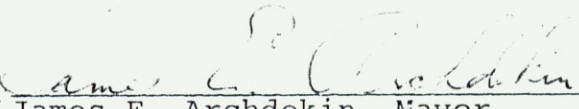
AND WHEREAS the council of The Corporation of the City of Brampton has given notice of its intention to so designate the property known as the Carnegie Library, located at 55 Queen Street East in the City of Brampton, in accordance with the requirements of section 29(3) of the said Act;

AND WHEREAS no notice of objection has been served upon the Clerk of The Corporation of the City of Brampton within the time limited for so doing, as set out in section 29(5) of the said Act;

NOW THEREFORE the Council of The Corporation of the City of Brampton ENACTS as follows: ;

1. The property known as the Carnegie Library and described in Schedule A to this by-law is hereby designated to be a property of historic and architectural value and interest.

READ a FIRST, SECOND and THIRD TIME and PASSED in Open Council this  
25th day of January, 1982.

  
James E. Archdekin, Mayor

  
Ralph A. Everett, Clerk

ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the City of Brampton, in the Regional Municipality of Peel; containing an area of 0.17 acres more or less and being composed of those parts of Lots 7 and 8, Registered Plan BR-2 (being a subdivision of part of the West half of Lot 5, Concession 1, East of Hurontario Street) in the said City described as follows:

Premising that the bearings herein are astronomic, referred to the Southeasterly limit of Queen Street East as being North 37 degrees 46' East in accordance with a Plan of Survey deposited in the Registry Office for the Registry Division of Peel (No. 43) as Instrument Number 260728V.S.;

COMMENCING at the intersection of the Northeasterly limit of Chapel Street with the Southeasterly limit of Queen Street East, being also the westerly angle of said Lot 7;

THENCE North 37 degrees 46' East along the said Southeasterly limit of Queen Street East, a distance of 120.12 feet;

THENCE South 51 degrees 30' East parallel to the said Northeasterly limit of Chapel Street, a distance of 62.5 feet;

THENCE South 37 degrees 46' West parallel to the said Southeasterly limit of Queen Street East, a distance of 120.12 feet to the aforesaid Northeasterly limit of Chapel Street;

THENCE North 51 degrees 30' West along the last mentioned limit, a distance of 62.5 feet to the point of commencement.

The hereinbefore described parcel of land being the lands described in Registered Instrument Number 200040V.S. and shown on a Plan of Survey dated April 9, 1951 signed by Frank Kitts, O.L.S. and attached to Registered Instrument Number 25421.



NUMBER OF DESIGNATION

8

NAME OF PROPERTY

The Carnegie Library

MUNICIPAL ADDRESS OR LOCATION

55 Queen Street East

LEGAL DESCRIPTION

ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the City of Brampton, in the Regional Municipality of Peel; containing an area of 0.17 acres more or less and being composed of those parts of Lots 7 and 8, Plan BR-2 (being a subdivision of part of the West Half of Lot 5, Concession 1, East of Hurontario Street) in the said City described as follows:

Premising that the bearings herein are astronomic, referred to the Southeasterly limit of Queen Street East as being North 37 degrees 46' East in accordance with a Plan of Survey deposited in the Registry Office for the Registry Division of Peel (No. 43) as Instrument Number 260728VS;

COMMENCING at the intersection of the Northeasterly limit of Chapel Street with the Southeasterly limit of Queen Street East, being also the westerly angle of said Lot 7;

THENCE North 37 degrees 46' East along the said Southeasterly limit of Queen Street East, a distance of 120.12 feet;

THENCE South 51 degrees 30' East parallel to the said Northeasterly limit of Chapel Street, a distance of 62.5 feet;

THENCE South 37 degrees 46' West parallel to the said Southeasterly limit of Queen Street East, a distance of 120.12 feet to the aforesaid Northeasterly limit of Chapel Street;

THENCE North 51 degrees 30' West along the last mentioned limit, a distance of 62.5 feet to the point of commencement.

The hereinbefore described parcel of land being the lands described in Registered Instrument Number 200040V.S. and shown on a Plan of Survey dated April 9, 1951 signed by Frank Kitts, O.L.S. and attached to Registered Instrument Number 25421.

NAME AND ADDRESS OF OWNER

The Corporation of the City of Brampton  
150 Central Park Drive  
Brampton, Ontario L6T 2T9

REASONS FOR DESIGNATION

Built in 1906, this building was constructed in the Beaux Arts style, similar to its sibling in Toronto. This style exhibits classical features such as a rusticated basement level, constructed of large stone. A main living storey which is constructed of bricks is divided above by a running frieze, creating the appearance of a third level, or attic. These three divisions are traditional and it is intriguing to see the practice carried out on a small scale. The most interesting feature is the main entrance which illustrates the

architectural plasticity of the Beaux Arts style. Brick simulated pilasters create a porch-like entrance area. It is topped with a circular arch, than branches from the running frieze. But ironically it recedes back instead of projecting forward as most pediments do. Large windows framed with "basket-handle" arches adequately light the reading areas. The slanting Mansard roof is of a French origin. The Old Carnegie Library is a rare example of the short lived Beaux Art Style in Brampton.

NUMBER AND DATE OF PASSAGE OF BY-LAW  
DESIGNATING PROPERTY

By-law Number: 9-82  
Date of Passage: January 25th, 1982

REGISTRATION NUMBER AND REGISTRATION  
DATE OF DESIGNATING BY-LAW

Registration Number: 601500  
Registration Date: February 3rd, 1982

Lorne Scots Regimental Museum

55 Queen Street East, Brampton ON, L6W 2A8

ISSUED FOR PERMIT & TENDER

JULY 24, 2024

LEBEL & BOULIANE

1249 Dundas Street West Toronto M6J 1X6 · Arch-LB.com

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

This drawing, as an instrument of service, is provided by and is the property of LEBEL & BOULIANE Inc. and shall be used only for the project named on this drawing and solely for reference purposes only. The contractor is responsible for the coordination and verification of all dimensions indicated herein and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale this drawing.

This drawing shall not be used for construction purposes unless countersigned.

LEBEL & BOULIANE

Seals:

| ONTARIO BUILDING CODE DATA MATRIX  |  |   |                   |                         |                         | Revised: 2018.10.04          |
|--|--|---|-------------------|-------------------------|-------------------------|------------------------------|
| PART 11 - RENOVATION OF EXISTING BUILDING  |  |   |                   |                         |                         | OBC REFERENCE <sup>(1)</sup> |
| Name of Practice    Lebel & Bouliane   |  |   |                   |                         |                         |                              |
| Address 1            1249 Dundas St. W.  |  |   |                   |                         |                         |                              |
| Address 2            Toronto, ON   |  |   |                   |                         |                         |                              |
| Contact               Luc Bouliane   |  |   |                   |                         |                         |                              |
| Name of Project     Lorne Scots Regimental Museum - Accessibility Upgrades         |  |   |                   |                         |                         |                              |
| Location/Address   55 Queen St E, Brampton ON L6W 2A8                              |  |   |                   |                         |                         |                              |
| Date                   18-Jul-24   |  | Seal & Signature                              |                   |                         |                         |                              |
| 11.00 BUILDING CODE VERSION  | O.Reg. 332/12  | LAST AMENDMENT                                |                   | O.Reg. 191/14           |                         |                              |
| 11.01 PROJECT TYPE   | Renovation   |   |                   |                         | [A] 1.1.2.              |                              |
| Limited renovation for accessibility upgrades to the Lorne Scots Regimental Museum |  |   |                   |                         |                         |                              |
| No change to occupancy or load   |  |   |                   |                         |                         |                              |
| 11.02 MAJOR OCCUPANCY CLASSIFICATION   | OCCUPANCY  | USE   |                   |                         | 3.1.2.1.(1)             |                              |
| A2   |  | Other assembly occupancies                    | Museum (Existing) |                         |                         |                              |
|  |  |   |                   |                         |                         |                              |
|  |  |   |                   |                         |                         |                              |
| 11.03 SUPERIMPOSED MAJOR OCCUPANCIES   | NO   |   |                   |                         | 3.2.2.7.                |                              |
| 11.04 BUILDING AREA (m²)   | DESCRIPTION  | EXISTING                                      | NEW               | TOTAL                   | [A] 1.4.1.2.            |                              |
| Museum   |  | 765.00  | 0.00              | 765.0                   |                         |                              |
|  |  |   |                   |                         |                         |                              |
|  |  |   |                   |                         |                         |                              |
| TOTAL  |  | 765.0   | -                 | 765.0                   |                         |                              |
| 11.05 BUILDING HEIGHT  | 1  | STOREYS ABOVE GRADE                           | 7.8               | (m) ABOVE GRADE         | [A] 1.4.1.2. & 3.2.1.1. |                              |
|  |  | STOREYS BELOW GRADE                           |                   |                         |                         |                              |
| 11.06 NUMBER OF STREETS/ FIRE FIGHTER ACCESS                                       | 2 STREETS(S)   |   |                   |                         | 3.2.2.10. & 3.2.5.      |                              |
| 11.07 BUILDING SIZE  | LARGE  |   |                   |                         | T.11.2.1.1.B.-N.        |                              |
| 11.08 EXISTING BUILDING CLASSIFICATION   | CHANGE IN MAJOR OCCUPANCY  | NO  |                   |                         | 11.2.1.1.               |                              |
|  |  | CONSTRUCTION INDEX                            | -                 |                         |                         |                              |
|  |  | HAZARD INDEX                                  | NOT APPLICABLE    |                         |                         |                              |
|  |  | IMPORTANCE CATEGORY                           | -                 |                         |                         |                              |
| 11.09 RENOVATION TYPE  | BASIC RENOVATION   |   |                   |                         | 11.3.3.1. & 11.3.3.2.   |                              |
| 11.10 OCCUPANT LOAD  | FLOOR LEVEL/AREA   | OCCUPANCY TYPE                                | BASED ON          | OCCUPANT LOAD (PERSONS) | 3.1.17.                 |                              |
| No Change in Occupancy or load   |  |   |                   |                         |                         |                              |
| TOTAL  |  |   |                   |                         |                         | -                            |
| 11.11 PLUMBING FIXTURE REQUIREMENTS  | RATIO:   | MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE |                   |                         | 3.7.4.                  |                              |
|  |  | FLOOR LEVEL/AREA                              | OCCUPANT LOAD     | OBC REFERENCE           | FIXTURES REQUIRED       |                              |
|  |  |   |                   |                         | FIXTURES PROVIDED       |                              |
| No Change in Occupancy or load   |  |   |                   |                         |                         |                              |
| 11.12 BARRIER-FREE DESIGN  | Yes  |   |                   |                         | 11.3.3.2.(2)            |                              |
| 11.13 REDUCTION IN PERFORMANCE LEVEL   | STRUCTURAL   | NO  |                   |                         | 11.4.2.1.               |                              |
|  |  | INCREASE IN OCCUPANT LOAD                     | NO                |                         |                         |                              |
|  |  | CHANGE OF MAJOR OCCUPANCY                     | NO                |                         |                         |                              |
|  |  | PLUMBING                                      | NO                |                         |                         |                              |
|  |  | SEWAGE SYSTEM                                 | NO                |                         |                         |                              |
| 11.14 COMPENSATING CONSTRUCTION  | STRUCTURAL   | NO  |                   |                         | 11.4.3.2.               |                              |
|  |  | INCREASE IN OCCUPANT LOAD                     | NO                |                         |                         |                              |
|  |  | CHANGE OF MAJOR OCCUPANCY                     | NO                |                         |                         |                              |
|  |  | PLUMBING                                      | NO                |                         |                         |                              |
|  |  | SEWAGE SYSTEM                                 | NO                |                         |                         |                              |
| 11.15 COMPLIANCE ALTERNATIVES PROPOSED   | NO   |   |                   |                         | 11.5.1.1.               |                              |
| 11.16 NOTES  |  |   |                   |                         |                         |                              |
|  |  |   |                   |                         |                         |                              |
|  |  |   |                   |                         |                         |                              |
|  |  |   |                   |                         |                         |                              |
| 1  | ALL REFERENCES ARE TO DIVISION B OF THE OBC UNLESS PRECEDED BY [A] FOR DIVISION A AND [C] FOR DIVISION C |   |                   |                         |                         |                              |
| Ontario Building Code Data Matrix, Part 11<br>© Ontario Association of Architects  |  |   |                   |                         |                         |                              |
| October 2016   |  |   |                   |                         |                         |                              |

|                            |                         |  |
|----------------------------|-------------------------|--|
| ISSUED FOR PERMIT / TENDER | ISSUE FOR CLIENT REVIEW |  |
| x                          | x                       | A0.0 COVER PAGE                                  |
| ARCHITECTURAL              |                         |  |
| x                          | x                       | A0.1 SITE SURVEY                                 |
| x                          | x                       | A0.2 SITE PLAN                                   |
| x                          | x                       | A0.3 ASSEMBLIES                                  |
| x                          | x                       | A1.0 BASEMENT FLOOR DEMOLITION PLAN              |
| x                          | x                       | A1.1 GROUND FLOOR DEMOLITION PLAN                |
| x                          | x                       | A1.5 BASEMENT FLOOR DEMOLITION RCP               |
| x                          | x                       | A1.6 GROUND FLOOR DEMOLITION RCP                 |
| x                          | x                       | A2.0 BASEMENT FLOOR PLAN                         |
| x                          | x                       | A2.1 GROUND FLOOR PLAN                           |
| x                          | x                       | A3.0 BASEMENT FLOOR RCP                          |
| x                          | x                       | A3.1 GROUND FLOOR RCP                            |
| x                          | x                       | A5.0 INTERIOR ELEVATIONS                         |
| x                          | x                       | A5.1 INTERIOR ELEVATIONS                         |
| x                          |                         | A6.0 DOOR HARDWARE                               |
| x                          | x                       | A8.0 RAMP PLAN                                   |
| x                          | x                       | A8.1 RAMP ELEVATIONS                             |
| x                          | x                       | A8.2 DETAILS                                     |
| x                          | x                       | A8.3 INTERIOR SECTIONS                           |
| STRUCTURAL                 |                         |  |
| x                          |                         | S1.01 FOUNDATION PLAN                            |
| x                          |                         | S1.02 BASEMENT PLAN SHOWING GROUND FLOOR FRAMING |
| x                          |                         | S1.03 GROUND FLOOR PLANS SHOWING ROOF FRAMING    |
| MECHANICAL                 |                         |  |
| x                          |                         | M1 MECHANICAL LEGENDS, NOTES & SCHEMATICS        |
| x                          |                         | M2 KEY PLANS                                     |
|                            |                         | M3 EXISTING & NEW MECHANICAL PLANS               |
| ELECTRICAL                 |                         |  |
| x                          |                         | E1 ELECTRICAL LEGEND AND NOTES                   |
| x                          |                         | E2 KEY PLANS                                     |
| x                          |                         | E-3 EXISTING & ELECTRICAL PLANS                  |

PROJECT DIRECTORY

CLIENT:  
CITY OF BRAMPTON  
Joel Rasiah  
647 203 7645  
joel.rasiah@brampton.ca

ARCHITECT:  
LEBEL & BOULIANE INC.  
Luc Bouliane, OAA  
+1 416 500 5927  
Luc@Arch-LB.com

MECHANICAL & ELECTRICAL ENGINEER:  
SURI & ASSOCIATES LTD.

Rohin Suri  
647 981 7621  
rsuri@suriassoc.com

STRUCTURAL ENGINEER:  
CONTACT ENGINEERING  
Tim Joyce  
647 708 3960  
tim@contactengineering.ca

Lorne Scots  
Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

|             |            |
|-------------|------------|
| Project No. | 24-002     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | NTS        |
| Plot Date   | 2024.07.24 |

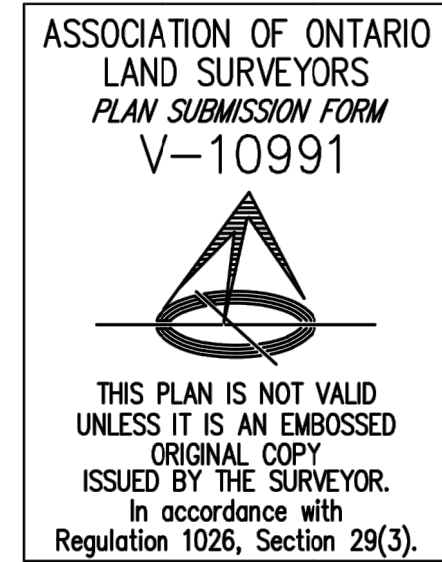
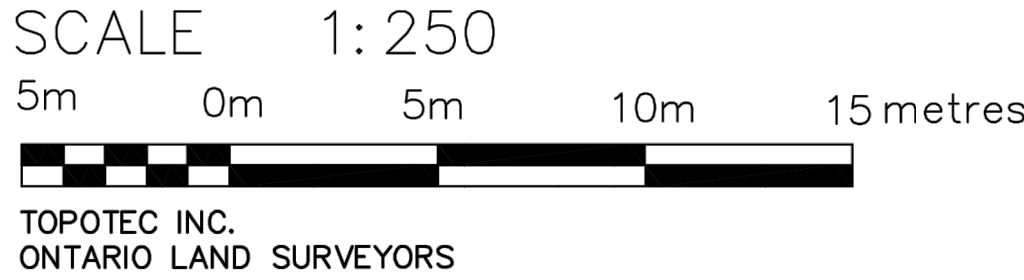
COVER PAGE

Drawing No:

A0.0



PLAN OF SURVEY  
SHOWING TOPOGRAPHICAL INFORMATION OF  
PART OF LOTS 7, 8  
REGISTERED PLAN BR-2  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL



**METRIC**  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN  
METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY  
0.3048.

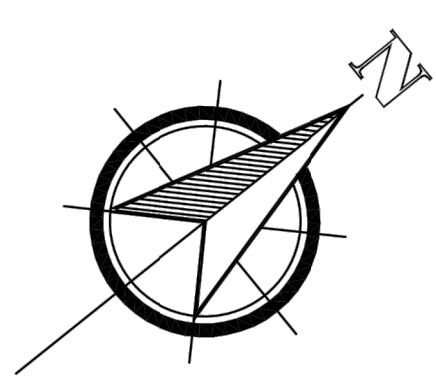
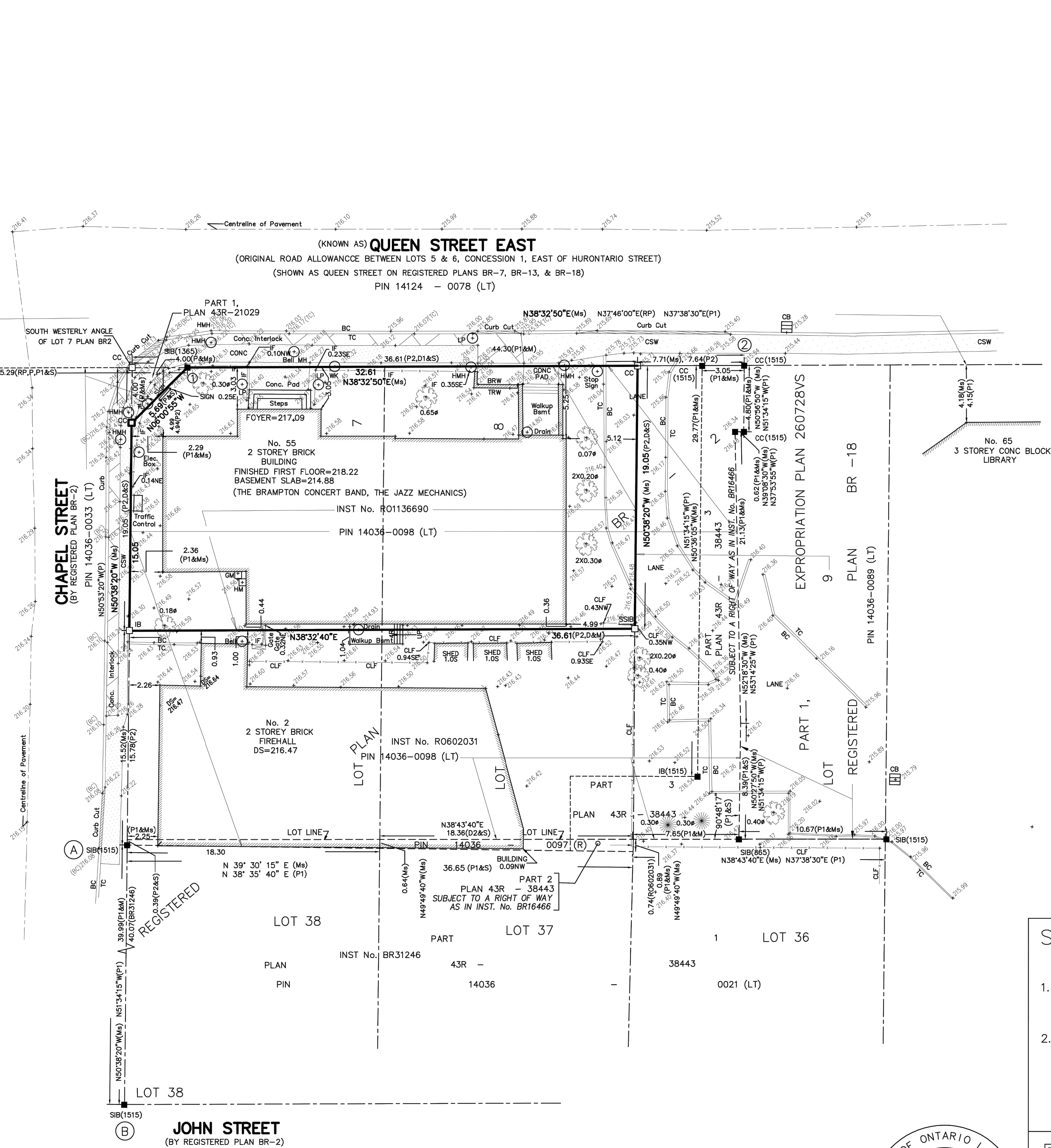
**ELEVATION**  
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO  
CITY OF BRAMPTON BENCH MARK No. 0011954U591F HAVING AN  
ELEVATION OF 214.118 METRES. Datum: CGVD28:78

**BEARING**  
BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS  
OBSERVATIONS OF SPECIFIED CONTROL POINTS 'A' AND 'B', USING THE LEICA  
SMARTNET RTK NETWORK, AND ARE REFERRED TO THE 3° MTM COORDINATE  
SYSTEM, ZONE 10, CENTRAL MERIDIAN 79°30' WEST LONGITUDE.  
(3° MODIFIED TRANSVERSE MERCATOR PROJECTION, NAD 83 (CSRS)(2010)).

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE  
CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE  
FACTOR OF 0.99987148.

| 3° MTM ZONE 10 COORDINATES  |                |                 |
|---|----------------|-----------------|
| NAD 83 (CSRS)(2010)(CENTRAL MERIDIAN 79°30' WEST LONGITUDE)<br>THE MTM COORDINATES LISTED BELOW ARE TO URBAN ACCURACY AND COMPLY WITH<br>SUBSECTION 14(2) OF ONTARIO REGULATION 218/10 FILED UNDER THE SURVEYORS ACT. |                |                 |
| SPECIFIED CONTROL POINTS  |                |                 |
| MONUMENT ID.  | EASTING        | NORTHING        |
| (A) CC  | X = 283983.899 | Y = 4838574.367 |
| (B) SIB   | X = 284014.821 | Y = 4838548.962 |
| REFERENCE POINTS  |                |                 |
| POINT   | EASTING        | NORTHING        |
| 1   | X = 283959.659 | Y = 4838599.419 |
| 2   | X = 283984.790 | Y = 4838630.957 |

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH  
CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



**SITE STATISTICS:**  
LOT AREA=689.3 Sq.m

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT PLANTED
  - SIB DENOTES STANDARD IRON BAR
  - IB DENOTES IRON BAR
  - CC DENOTES CUT CROSS
  - PB DENOTES PLASTIC BAR
  - CP DENOTES CONCRETE PIN
  - 1515 DENOTES TED VAN LANKVELD, O.L.S.
  - 1365 DENOTES BASTIN JOHN STASSEN, O.L.S.
  - (NI) DENOTES NOT IDENTIFIED
  - 865 DENOTES DONALD PETER McLEAN, O.L.S.
  - P1 DENOTES PLAN 43R-21029
  - P2 DENOTES PLAN 43R-38443
  - D1 DENOTES PLAN OF SURVEY BY FRANK KITTO, O.L.S. DATED APRIL 9, 1951
  - UP DENOTES INSTRUMENT No.R01136690
  - CLF DENOTES UTILITY POLE
  - IF DENOTES CHAIN LINK FENCE
  - (Ms) DENOTES IRON FENCE
  - (S) DENOTES MEASURED
  - GM DENOTES SET
  - WK DENOTES GAS METER
  - DS DENOTES WATER KEY
  - HM DENOTES DOOR SILL ELEVATION
  - FH DENOTES HYDRO METER
  - CSW DENOTES FIRE HYDRATE
  - CONC DENOTES CONCRETE SIDE WALK
  - MH DENOTES CONCRETE
  - CB DENOTES MANHOLE
  - TC DENOTES CATCH BASIN
  - BC DENOTES TOP OF CURB
  - TL DENOTES BOTTOM OF CURB
  - HMH DENOTES TRAFFIC LIGHT
  - LP DENOTES HYDRO MANHOLE
  - BSMT DENOTES LIGHT POLE
  - 143.45 DENOTES BASEMENT
  - 0.1φ DENOTES DECIDUOUS TREE WITH DIMENTION
  - 0.1φ DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
  - N/S/E/W NORTH/SOUTH/EAST/WEST
  - HOUSE TIES ARE TAKEN TO BRICK UNLESS NOTED OTHERWISE
  - MH AND CB ELEVATIONS ARE CONSIDERED AS TOP OF MH AND TOP OF CB ELEVATIONS.

**SURVEYOR'S CERTIFICATE**

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 28th DAY OF OCTOBER, 2021.

JANUARY 19, 2022  
DATE

*Bahram Amirnezhad*  
BAHRAM AMIRNEZHAD P.ENG.  
ONTARIO LAND SURVEYOR

**TOPOTEC Inc.**  
Ontario Land Surveyors

108 STEELES AVENUE EAST, MARKHAM ON L3T 1A4  
Phone: (416) 219-9956  
Office: (647) 632-9088  
www.Topotec.ca  
Bahram@Topotec.ca, bahram4700@hotmail.com

FIELD: H.S. DRAWN: L.H. CHECKED: B.A.

JOB No. 910

CAD FILE: 55 QUEEN ST-E4.DWG

All drawings, specifications, related documents and design are the copyright property of the architect and must be retained upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

This drawing, as an instrument of service, is provided by and is the property of LEBEL & BOULIANE Inc. and shall be used only for the project named on this drawing and solely for reference purposes only. The contractor is responsible for the coordination and verification of all dimensions indicated herein and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale this drawing.

This drawing shall not be used for construction purposes unless counter-signed.

LEBEL & BOULIANE

Seals:

01 Permit & Tender 2024.07.24  
No. Issued for Date

**Lorne Scots  
Regimental Museum**

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

Project No. 24-002  
Drawn by TT  
Reviewed by MS  
Scale NTS  
Plot Date 2024.07.15

**SITE SURVEY**

Drawing No:

**A0.1**



All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

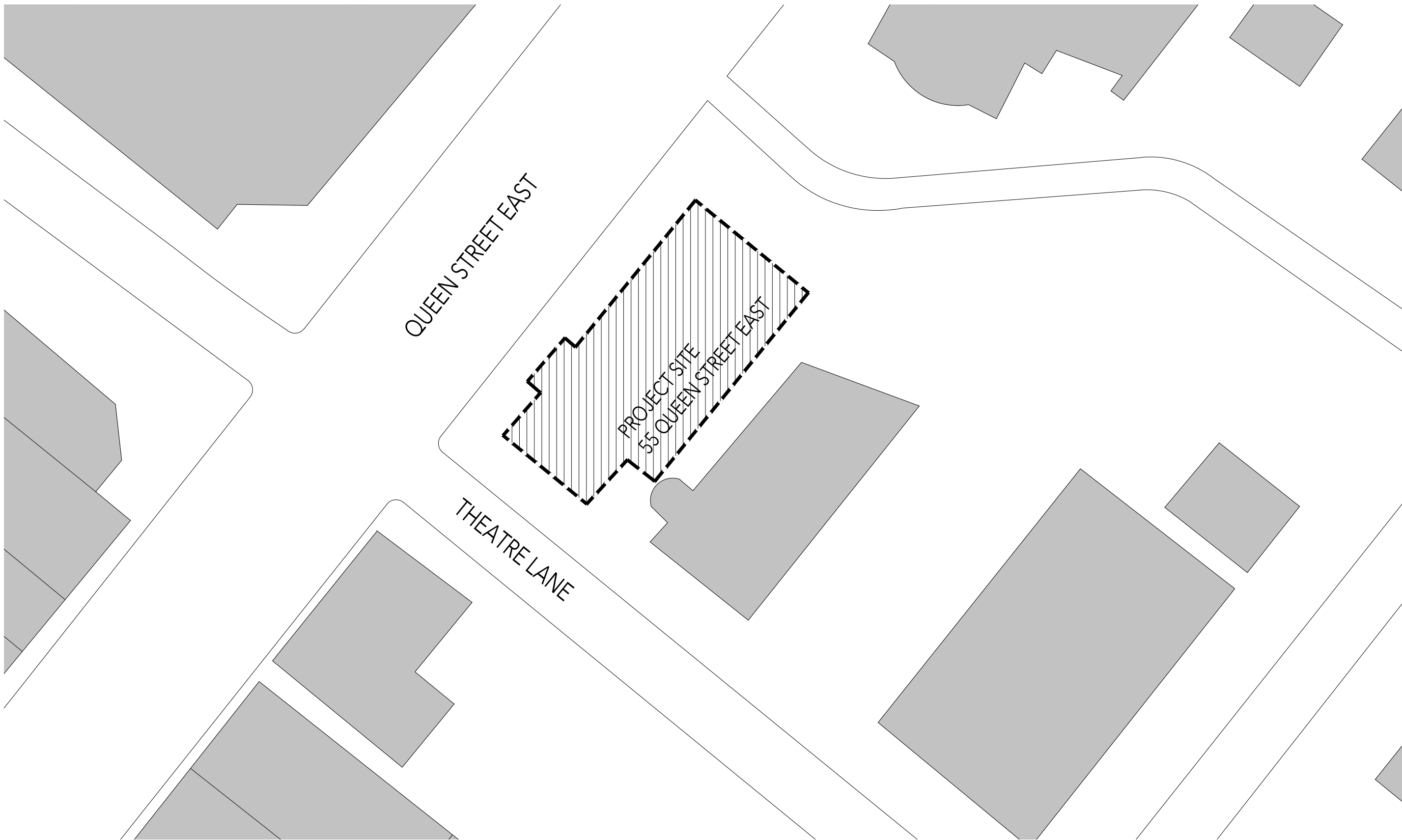
This drawing, as an instrument of service, is provided by and is the property of LEBEL & BOULIANE Inc. and shall be used only for the project named on this drawing and solely for reference purposes only. The contractor is responsible for the coordination and verification of all dimensions indicated herein and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale this drawing

This drawing shall not be used for construction purposes unless countersigned

LEBEL & BOULIANE

Seals:

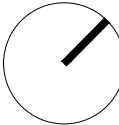


|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

Lorne Scots  
Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

|             |            |
|-------------|------------|
| Project No. | 23-022     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | NTS        |
| Plot Date   | 2024.07.15 |



SITE PLAN

SITE PLAN

SCALE = 1" = NTS

20  
A0.2

| ASSEMBLIES  |  |
|---|--|
| GENERAL NOTES:  |  |
| 1. ALL NEW PARTITIONS ARE P1 TYPE, UNLESS OTHERWISE NOTED.  |  |
| 2. UNLESS NOTED OTHERWISE, EXTEND ALL GYPSUM BOARD AND METAL STUDS TO U/S OF STRUCTURE COMPLETE WITH DEFLECTION TRACK AND CONT. ACOUSTIC SEAL UNLESS OTHERWISE NOTED. |  |
| 3. USE WATER RESISTANT GWB IN LIEU OF STANDARD GWB, IN ALL WET AREAS, INCLUDING AREAS ADJACENT TO KITCHEN SINKS, JANITOR SINKS, ETC.                                  |  |
| 4. USE TILE BACKER BOARD/CEMENT BOARD IN LIEU OF STANDARD GWB WHERE TILE FINISH IS LOCATED (SEE SPECIFICATIONS AND ROOM FINISH SCHEDULE.)                             |  |
| 5. ALL PARTITIONS/FURRING ARE TO BE CONTINUOUSLY REINFORCED TO ACCOMMODATE WALL CABINETS/A.V. WHERE INDICATED. PROVIDE BRACING AND BLOCKING WHERE REQUIRED.           |  |
| 6. SUBSTRATE SHOWN MAY NOT BE PRESENT OR MAY VARY - REFER TO PLANS AND ELEVATIONS.  |  |

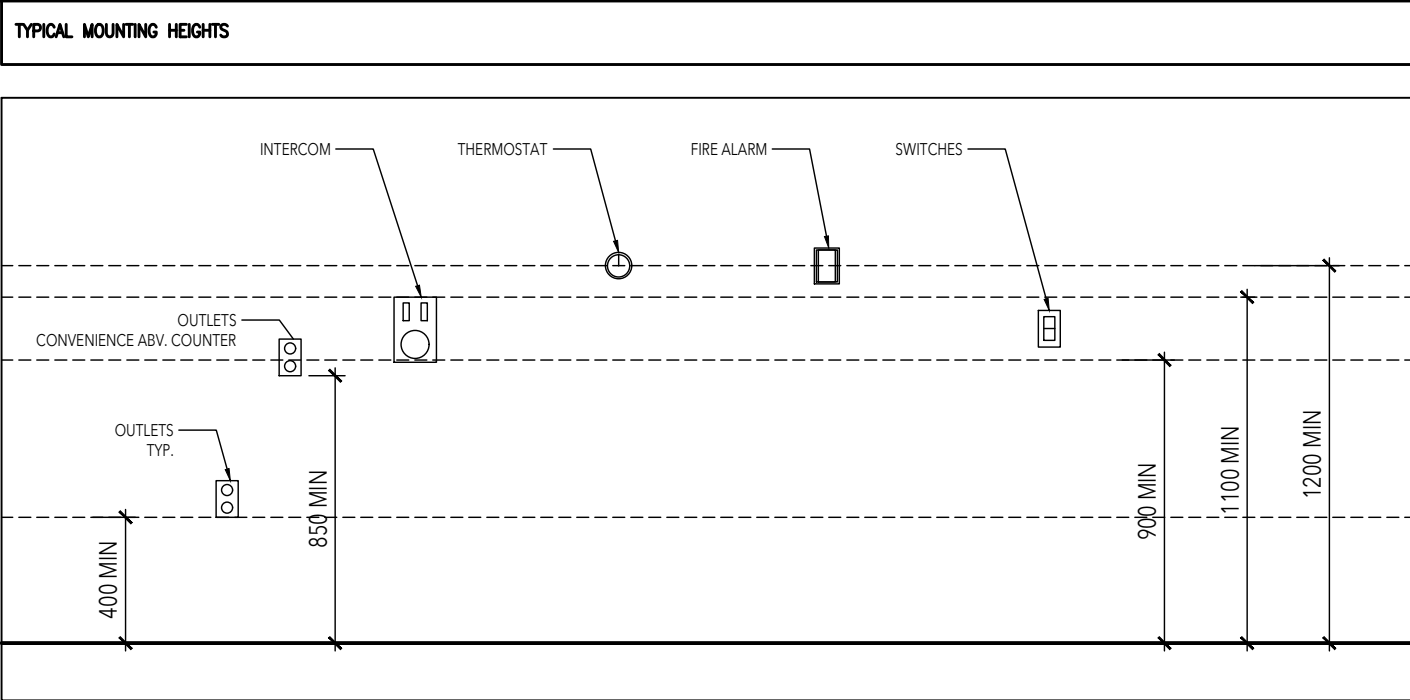
| PARTITION TYPES: |  |                          |                              |
|------------------|--|--------------------------|------------------------------|
| P1               | INTERIOR PARTITION   | 121mm                    |                              |
|                  | GYPSUM WALLBOARD (REFER TO NOTES 3 & 4)<br>24 SPF STUDS @ 400 O.C. WITH BATT<br>GYPSUM WALLBOARD (REFER TO NOTES 3 & 4)<br>FINISH WHERE OCCURS, REFER TO FINISH PLAN   | 15.9mm<br>89mm<br>15.9mm | (5/8")<br>(3 1/2")<br>(5/8") |
|                  | MIN. 89mm ACOUSTIC BATT INSULATION<br>CONTINUOUS ACOUSTIC SEALANT AT PERIMETER<br>SUPPORTS ANCHORED TO FLOOR AS REQ.<br>STC 47   |                          |                              |
| P2               | ELEVATOR PARTITION   | 121mm                    |                              |
|                  | TYPE X GYPSUM WALLBOARD<br>24 SPF STUDS @ 400 O.C.<br>TYPE X GYPSUM WALLBOARD<br>FINISH WHERE OCCURS, REFER TO FINISH PLAN   | 15.9mm<br>89mm<br>15.9mm | (5/8")<br>(3 1/2")<br>(5/8") |
|                  | MIN. 89mm ACOUSTIC BATT INSULATION<br>CONTINUOUS ACOUSTIC SEALANT AT PERIMETER<br>SUPPORTS ANCHORED TO FLOOR AS REQ.<br>*ENSURE MINIMUM WALL THICKNESS IS PROVIDED FOR INSTALLATION OF ELEVATOR<br>REFERENCE STRUCTURAL DRAWINGS |                          |                              |

| FURRING TYPES: |   |                |                  |
|----------------|---|----------------|------------------|
| F1             | FURRING TYPE F1   |                |                  |
|                | EXISTING PARTITION<br>FURRING CHANNEL<br>GYPSUM WALLBOARD | 22mm<br>15.9mm | (7/8")<br>(5/8") |
|                |   |                |                  |

| CEILING TYPES: |  |                        |                                  |
|----------------|--|------------------------|----------------------------------|
| C1             | SUSPENDED GWB CEILING  |                        |                                  |
|                | EXISTING STRUCTURE<br>SUSPENDED METAL STUDS FRAMING,<br>GAUGE AS REQ. @ 410 O.C.<br>FURRING CHANNELS @ 10 O.C.<br>GYPSUM WALLBOARD | 42mm<br>22mm<br>15.9mm | (1 5/8")<br>(7/8")<br>(5/8" MIN) |
|                |  |                        |                                  |

| SYMBOL LEGEND |                             |
|---------------|-----------------------------|
|               | ELEVATION DETAIL REFERENCE  |
|               | ELEVATION DETAIL REFERENCE  |
|               | SECTION DETAIL REFERENCE    |
|               | DETAIL REFERENCE            |
|               | ROOM TAG                    |
|               | WALL/PARTITION TYPE         |
|               | WINDOW/INTERIOR SCREEN TYPE |
|               | DOOR TAG                    |
|               | MILLWORK TAG                |
|               | FLOOR MATERIAL CHANGE       |
|               | ELEVATION REFERENCE         |
|               | REVISION NUMBER             |
|               | GRID LINE REFERENCE         |
|               | EXISTING WALL               |
|               | ITEM TO BE DEMOLISHED       |

| ABBREVIATIONS |  |          |                           |
|---------------|--|----------|---------------------------|
| A.B.          | AIR BARRIER  | FB       | ELECTRICAL FLOOR BOX      |
| AC            | ACOUSTIC   | FD       | FLOOR DRAIN               |
| ACT AT        | ACOUSTIC CEILING TILE  | FE       | FIRE EXTINGUISHER CABINET |
| ACB           | ACOUSTIC CONCRETE BLOCK  | FHC      | FIRE HOSE CABINET         |
| ACR           | ACRYLIC  | FIN      | FINISH                    |
| AD            | AREA DRAIN   | FL / FLR | FLOOR                     |
| ADDL          | ADDITIONAL   | FO       | FIRE PROTECTON            |
| ADP           | ADDITIONAL   | FP       | FIRE PROTECTON            |
| A.H.U.        | AIR HANDLING UNIT  | F.R.R.   | FIRE RESISTANCE RATING    |
| A.U. / ALUM   | ALUMINUM   | FT       | FIT                       |
| AD            | AUTO OPERER  |          |                           |
| ARCH          | ARCHITECTURAL  |          |                           |
| AVB /         | AV & VAPOR BARRIER MEMBRANE  |          |                           |
| AVB BARRIER / | AV & VAPOR BARRIER MEMBRANE  |          |                           |
| B             | BENCH - FOLD-UP BARRIER FREE SHOWER                                    |          |                           |
| BENCH         | BRICK COURSES  |          |                           |
| BC            | BARRIER FREE   |          |                           |
| BF            | BROOK FISH DIRECTION   |          |                           |
| BFIN          | BUILDING MATERIALS EVALUATION  |          |                           |
| BMIC          | BRICK MASONRY  |          |                           |
| BR            | BOTTOM OF  |          |                           |
| B/O           | BOTTOM OF  |          |                           |
| CB            | CONCRETE BLOCK   |          |                           |
| C.I.P.        | CHECK ON SITE  |          |                           |
| C.O.S.        | CONCRETE   |          |                           |
| CONC          | CONCRETE   |          |                           |
| CONT          | CENTRE TO CENTRE   |          |                           |
| CC            | CONTROL JOINT  |          |                           |
| CJ            | CLEAR  |          |                           |
| CLR           | CENTRE LINE  |          |                           |
| CL            | CLEAN OUT  |          |                           |
| CO            | CONTROL PANEL  |          |                           |
| CP            | CARD READER  |          |                           |
| CR            | CLEAR SEALER   |          |                           |
| CJ            | CARPET   |          |                           |
| CPT           | CERAMIC TILE   |          |                           |
| CT            | COOKTOP  |          |                           |
| CTO           | COMPLETE WITH  |          |                           |
| CW            | CURTAIN WALL   |          |                           |
| CW / C.W.     | CURTAIN WALL   |          |                           |
| DCT           | DIAPER CHANGING TABLE  |          |                           |
| DF            | DRINKING FOUNTAIN  |          |                           |
| D.O.          | DOOR OPERATOR  |          |                           |
| DW            | DRAWING  |          |                           |
| DWG           | DRAWING  |          |                           |
| EPFS          | EXTERIOR INSULATED FINISHING SYSTEM                                    |          |                           |
| ELECT         | ELECTRICAL   |          |                           |
| EP            | ELECTRICAL PANEL   |          |                           |
| EPF           | EXPOSED  |          |                           |
| EX / EXIST    | EXISTING   |          |                           |
| EXP           | EXPOSED  |          |                           |
| ENCL          | ENCLOSURE  |          |                           |
| EXT           | EXTERIOR   |          |                           |
| GAU           | GALVANIZED   |          |                           |
| GL            | GLASS GLAZING  |          |                           |
| GW / GWG      | GYPSUM WALL BOARD  |          |                           |
| HC            | HOLE FREE DOOR OPERATOR PUSH   |          |                           |
| HB            | HOLE FREE  |          |                           |
| HCV           | HOLLOW CORE WOOD   |          |                           |
| HM            | HOLLOW METAL   |          |                           |
| HO            | MAGNETIC HOLD OPEN   |          |                           |
| HTG           | HEATING  |          |                           |
| IF            | INSIDE FACE  |          |                           |
| IMP           | IMPACT RESISTANT GWB   |          |                           |
| INT           | INTERIOR   |          |                           |
| INTK          | INTAKE   |          |                           |
| IRGWB         | IMPACT RESISTANT GWB   |          |                           |
| IT            | JOINT  |          |                           |
| JB            | JOINT  |          |                           |
| LF            | LIGHT FIXTURE  |          |                           |
| LIN           | LINOLEUM   |          |                           |
| MTL           | MATERIAL   |          |                           |
| MECH          | MECHANICAL   |          |                           |
| MD            | METAL DECK   |          |                           |
| MR            | MANUFACTURER   |          |                           |
| MR            | MIRROR   |          |                           |
| MO            | MASONRY OPENING  |          |                           |
| MS            | METAL SINKING  |          |                           |
| MTL           | METAL  |          |                           |
| MW            | MICROWAVE  |          |                           |
| NBC           | NATIONAL BUILDING CODE   |          |                           |
| NC            | NOT IN CONTRACT  |          |                           |
| Nb.           | NUMBER   |          |                           |
| NRC           | NATIONAL RESEARCH COUNCIL  |          |                           |
| OC            | ON CENTRE  |          |                           |
| O.T.B.        | OUTSIDE FACE   |          |                           |
| OPEN TO BELOW | OPEN TO BELOW  |          |                           |
| PC            | PARTICLE CORE  |          |                           |
| PERM          | PERMETER   |          |                           |
| PF            | PERFORATED   |          |                           |
| PL            | PLATE  |          |                           |
| PLAM          | PLASTIC LAMINATE   |          |                           |
| PREFR / FR    | PERFORATED METAL   |          |                           |
| PSC           | PREFINISHED  |          |                           |
| PT            | PAINT  |          |                           |
| PTD           | PARTICULATE  |          |                           |
| PT            | PRESSURE TREATED   |          |                           |
| PMF           | PRESERVED WOOD FOUNDATION GRADE PLYWOOD                                |          |                           |
| RAH           | ROOF ACCESS HATCH  |          |                           |
| RBR           | RUBBER FLOORING  |          |                           |
| RCP           | REFLECTED CEILING PLAN   |          |                           |
| RD            | ROOF DRAIN   |          |                           |
| RNC           | RECESSED   |          |                           |
| REFURB        | REFURBISHED  |          |                           |
| RFL           | RAGGED FLOOR   |          |                           |
| RD            | ROUGH OPENING  |          |                           |
| RWL           | RAIN WATER LEADER  |          |                           |
| SAM / S.A.M.  | SELF ADHERED MEMBRANE (FORMING PART OF CONTINUOUS AIR / VAPOR BARRIER) |          |                           |
| SG / SOL      | SANDGRAINED GLAZING  |          |                           |
| SHM           | SAMESE CONNECTION  |          |                           |
| S.C           | SCREEN   |          |                           |
| SCW           | SOLID CORE WOOD  |          |                           |
| SMD           | SMOKE DETECTOR   |          |                           |
| SPF           | SPORTS FLOORING  |          |                           |
| SPS           | SPANDREL PANEL / GLASS   |          |                           |
| SS / S.STL    | STAINLESS STEEL  |          |                           |
| SSS           | STRUCTURAL SILICONE GLAZING SYSTEM                                     |          |                           |
| ST            | STONE TILE   |          |                           |
| ST.T          | STEEL  |          |                           |
| STN           | STRUCTURAL   |          |                           |
| STRUCT        | STRUCTURAL   |          |                           |
| SYN           | SYNTHETIC WOOD POLYMER LUMBER  |          |                           |
| TACK BOARD    | TO BE ISSUED   |          |                           |
| TB            | TO BE ISSUED   |          |                           |
| TBI           | TINTED CONCRETE SEALER   |          |                           |
| TCS           | TEMPERED GLASS   |          |                           |
| TGL           | TEMPERED   |          |                           |
| TMP           | TECTUM PRODUCT PANELS  |          |                           |
| TPTEC         | TRANSLUCENT WALL ASSEMBLY  |          |                           |
| TNA           | TYPICAL  |          |                           |
| TYP           | TYPICAL  |          |                           |
| T.B.I         | TEXTURED CORE PLAST  |          |                           |
| TCP           | TYPICAL  |          |                           |
| TYP           | TYPICAL  |          |                           |
| T.V.          | T.V.   |          |                           |
| UVS           | UNDERSIDE OF   |          |                           |
| VF            | VERIFY IN FIELD  |          |                           |
| VINYL         | VINYL COMPOSITION TILE   |          |                           |
| VCT           | VINYL COMPOSITION TILE   |          |                           |
| W / WIN       | WHITE BOARD RECESSED   |          |                           |
| WBR           | WHITE BOARD SURFACE-MOUNT  |          |                           |
| WBS           | WATER CLOSET   |          |                           |
| WC            | WOOD   |          |                           |
| WF            | WATER FOUNTAIN   |          |                           |
| WV            | WOOD VENEER  |          |                           |
| ZH            | ZINC   |          |                           |



All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

This drawing is an instrument of service, is provided by and is the property of LEBEL & BOULIANE Inc. and shall be used only for the project named on the drawing and solely for reference purposes only. The contractor is responsible for the coordination and verification of all dimensions contained herein and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale this drawing

This drawing shall not be used for construction purposes unless counter-signed

LEBEL & BOULIANE

Seals:

GENERAL DEMOLITION NOTES

1. PRIOR TO DEMOLITION NOTIFY CONSULTANTS OF ANY DISCREPANCIES WITH THE DRAWINGS
2. PRIOR TO DEMOLITION COORDINATE WITH MUSEUM HOURS OF OPERATION, MATERIAL AND WASTE HANDLING REQUIREMENTS AND MATERIAL TO BE REUSED
3. COORDINATE WITH MUSEUM AND OBTAIN APPROVAL FOR SPECIAL DEMOLITION ACTIVITIES CAUSING DISTURBANCE TO OTHER OCCUPANTS AND SPACES OUTSIDE OF DEMOLITION AREA
4. PROTECT AREA OF WORK EXISTING CONSTRUCTION TO REMAIN AND ADJACENT AREAS FROM DAMAGE. PROVIDE DUST BARRIER TO ALL AREAS AFFECTED BY THE DEMOLITION. PROTECT AND MAINTAIN ADJACENT TENANT AREAS
5. REFER TO OWNER'S DESIGNATED SUBSTANCES REPORT FOR PRE-EXISTING DESIGNATED SUBSTANCES OBSERVED. REPORT ANY FINDING OF DESIGNATED SUBSTANCES DISCOVERED DURING DEMOLITION
6. REMOVE ALL LOOZED HANGERS, FASTENERS, LOOSE PAINT, DEBRIS ETC FROM EXISTING WALLS AND CEILING TO REMAIN. PATCH AND REPAIR TO PREP FOR PAINTING OF FUTURE WORK
7. REMOVE ALL EXISTING LIGHTING FIXTURES AND ANY ASSOCIATED SINKS, HANGERS, HARDWARE, CONDUIT AND WIRING NOT REQUIRED FOR INSTALLATION OF NEW FIXTURES. RETAIN POWER SUPPLY FOR FUTURE LIGHTING. REF RCPs AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
8. ALL BUILDING WIDE LIFE SAFETY SYSTEMS INCLUDING FIRE ALARMS, EXIT SIGNS, AND EMERGENCY LIGHT SYSTEMS TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION
9. MECHANICAL AND ELECTRICAL SYSTEMS WITHIN ADJACENT OCCUPIED AREAS ARE TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION
10. REF MECHANICAL AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL / ELECTRICAL DEMOLITION
11. REMOVE AND RETURN TO OWNER OR TENANT WASTE & DISPOSAL SYSTEMS, SANITIZERS, FIRE EXTINGUISHERS & OTHER MISC. ACCESSORIES AND EQUIPMENT. DEMOLISH OR REMOVE FROM SITE IF NOT USED. OWNER/TENANT APPROVAL REQUIRED.
12. MAKE GOOD ALL EXISTING WALLS TO REMAIN. PATCH ALL DAMAGES TO WALLS/CEILING TO ENSURE CONSISTENT SURFACE AND CONTINUITY OF FIRE RATING WHERE OCCURS.
13. WHERE EXISTING FLOORING IS REMOVED, CONTRACTOR TO COORDINATE WITH FINAL FINISH MATERIAL TO PROVIDE CLEAN AND LEVEL SURFACE TO ACCOMMODATE NEW FLOORING.

PLAN DEMOLITION KEY NOTES

- DEMOTES EXISTING TO REMAIN
- DEMOTES AREA NOT IN SCOPE OF WORK
- DEMOTES EXISTING TO BE DEMOLISHED

- 1

REMOVE EXISTING INTERIOR PARTITION OR TURNED OUT WALL TO U/S CEILING OR SLAB. INCLUDING DOOR, FRAMES, DATA AND POWER. PATCH & REPAIR ANY DRYWALL FLOOR AND CEILING DAMAGED BY DEMO AND PREP FOR NEW.
- 2

REMOVE EXISTING FLOORING AND ADHESIVES TO EXTENT REQUIRED TO ACCOMMODATE NEW FLOORING AND NEW PARTITIONS. REFER TO NEW ARCHITECTURAL PLANS.
- 3

REMOVE EXISTING STAIR AND HAND RAIL. CAREFULLY REMOVE ITEMS AND SALVAGE FOR USE IN NEW STAIR CONSTRUCTION
- 4

REMOVE EXISTING DOOR AND FRAME
- 5

REMOVE PORTION OF EXISTING DECORATIVE GLAZING, SALVAGE AND RE-INSTALL, MAY REQUIRE ALTERATION
- 6

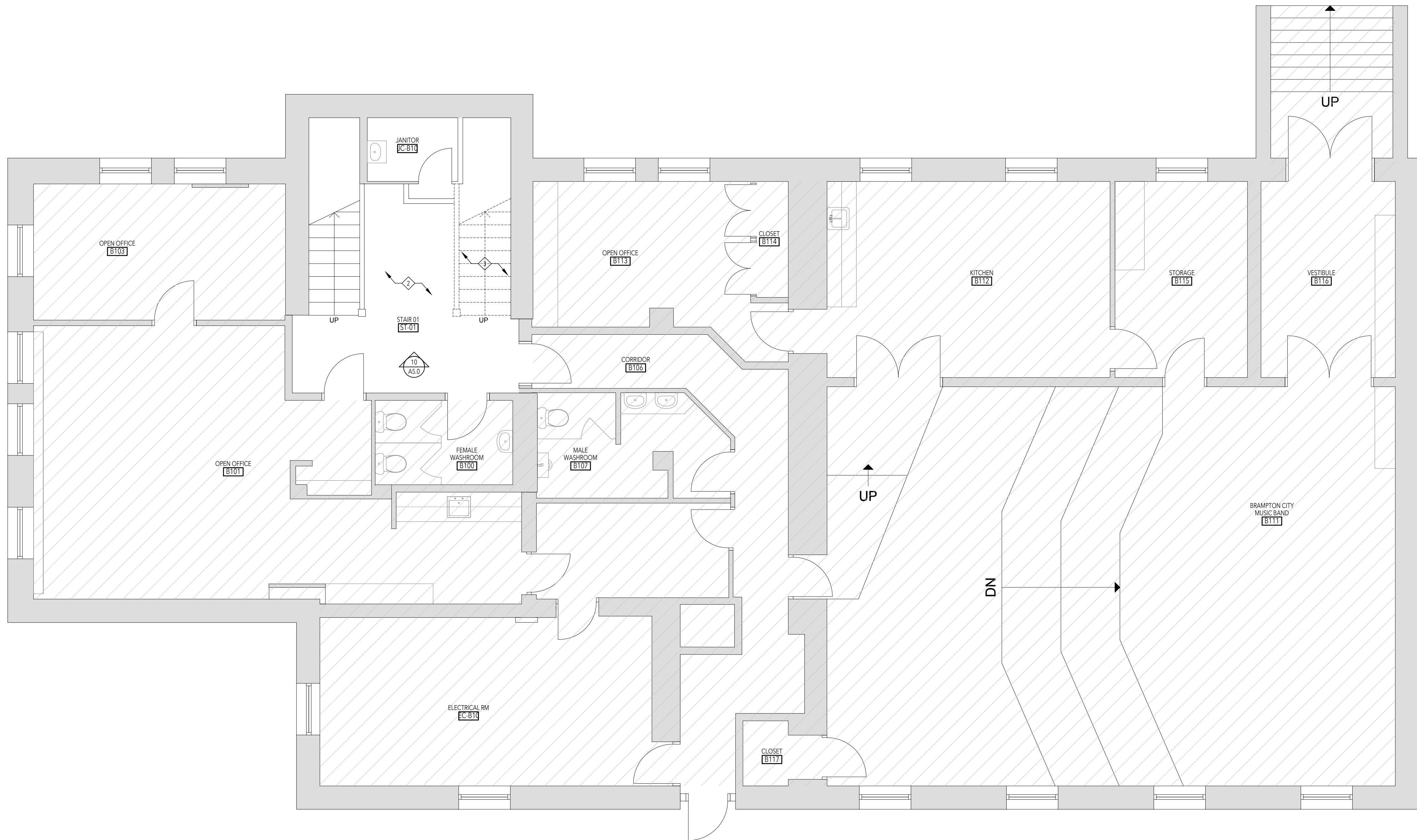
REMOVE EXISTING M&E. REFERENCE M&E DRAWINGS
- 7

REMOVE EXISTING PLUMBING, ACCESSORIES AND EQUIPMENT. KEEP FOR RE-INSTALLATION TO ACCESSIBILITY STANDARD CODE
- 8

EXISTING LAMP POST TO BE REMOVED
- 9

EXISTING CITY OF BRAMPTON SIGN TO BE REMOVED AND RELOCATED
- 10

REMOVE EXISTING BASEBOARDS (EXTENT THAT IS PART OF NEW BARRIER FREE WASHROOM)



|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

Lorne Scots  
Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

|             |            |
|-------------|------------|
| Project No. | 24-002     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | 1:50       |
| Plot Date   | 2024.07.03 |

BASEMENT  
DEMOLITION PLAN

Drawing No:

A1.0

Seals:

- GENERAL DEMOLITION NOTES
1. PRIOR TO DEMOLITION NOTIFY CONSULTANTS OF ANY DISCREPANCIES WITH THE DRAWINGS
  2. PRIOR TO DEMOLITION COORDINATE WITH MUSEUM HOURS OF OPERATION, MATERIAL AND WASTE HANDLING REQUIREMENTS AND MATERIAL TO BE REUSED
  3. COORDINATE WITH MUSEUM AND OBTAIN APPROVAL FOR SPECIAL DEMOLITION ACTIVITIES CAUSING DISTURBANCE TO OTHER OCCUPANTS AND SPACES OUTSIDE OF DEMOLITION AREAS
  4. PROTECT AREA OF WORK EXISTING CONSTRUCTION TO REMAIN AND ADJACENT AREAS FROM DAMAGE, PROVIDE DUST BARRIER TO ALL AREAS AFFECTED BY THE DEMOLITION PROJECT AND MAINTAIN ADJACENT TENANT AREAS
  5. REFER TO OWNER'S DESIGNATED SUBSTANCES REPORT FOR PRE-EXISTING DESIGNATED SUBSTANCES OBSERVED, REPORT ANY FINDINGS OF DESIGNATED SUBSTANCES DISCOVERED DURING DEMOLITION
  6. REMOVE ALL UNSEED NAILERS, FASTENERS, LOOSE NAIL, DEBRIS ETC FROM EXISTING WALLS AND CEILINGS TO REMAIN, PATCH AND REPAIR TO PREP FOR PAINTING OR FUTURE WORK
  7. REMOVE ALL EXISTING LIGHTING FIXTURES AND ANY ASSOCIATED SENSOR, HANGERS, HARDWARE, CONDUIT AND WIRING NOT REQUIRED FOR INSTALLATION OF NEW FIXTURES. RETAIN POWER SUPPLY FOR FUTURE LIGHTING. RET ROFS AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
  8. ALL BUILDING WIDE LIFE SAFETY SYSTEMS INCLUDING FIRE ALARMS, EXIT SIGNS AND EMERGENCY LIGHT SYSTEMS TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION
  9. MECHANICAL AND ELECTRICAL SYSTEMS WITHIN ADJACENT OCCUPIED AREAS ARE TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION
  10. REF MECHANICAL AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL / ELECTRICAL DEMOLITION
  11. REMOVE AND RETURN TO OWNER OR TENANT WASTE & DISPOSAL SYSTEMS, SANITIZERS, FIRE EXTINGUISHERS & OTHER MISC. ACCESSORIES AND EQUIPMENT / DEBRIS OR REMOVE FROM SITE IF NOT USED. OWNER/TENANT APPROVAL REQUIRED.
  12. MAKE GOOD ALL EXISTING WALLS TO REMAIN PATCH ALL DAMAGES TO WALLS/CEILINGS TO ENSURE CONSISTENT SURFACE AND CONTINUITY OF FIRE RATING WHERE OCCURS
  13. WHERE EXISTING FLOORING IS REMOVED, CONTRACTOR TO COORDINATE WITH FINAL FINISH MATERIAL TO PROVIDE CLEAN AND LEVEL SURFACE TO ACCOMMODATE NEW FLOORING

PLAN DEMOLITION KEY NOTES:

- DENOTES EXISTING TO REMAIN
- DENOTES AREA NOT IN SCOPE OF WORK
- DENOTES EXISTING TO BE DEMOLISHED
- 1 REMOVE EXISTING INTERIOR PARTITION OR TURNED OUT WALL TO USE CEILING OR SLAB, INCLUDING DOOR, FRAMES, DATA AND POWER PATCH & REPAIR ANY DRYWALL FLOOR AND CEILING DAMAGED BY DEMO AND PREP FOR NEW
- 2 REMOVE EXISTING FLOORING AND ADHESIVES TO EXTENT REQUIRED TO ACCOMMODATE NEW FLOORING AND NEW PARTITIONS. REFER TO NEW ARCHITECTURAL PLANS
- 3 REMOVE EXISTING STAIR AND HAND RAIL CAREFULLY REMOVE ITEMS AND SALVAGE FOR USE IN NEW STAIR CONSTRUCTION
- 4 REMOVE EXISTING DOOR AND FRAME
- 5 REMOVE PORTION OF EXISTING DECORATIVE GLAZING, SALVAGE AND RE-INSTALL, MAY REQUIRE ALTERATION
- 6 REMOVE EXISTING M&E, REFERENCE M&E DRAWINGS
- 7 REMOVE EXISTING PLUMBING, ACCESSORIES AND EQUIPMENT KEEP FOR RE-INSTALLATION TO ACCESSIBILITY STANDARD CODE
- 8 EXISTING LAMP POST TO BE REMOVED
- 9 EXISTING CITY OF BRAMPTON SIGN TO BE REMOVED AND RELOCATED
- 10 REMOVE EXISTING BASEBOARDS (EXTENT THAT IS PART OF NEW BARRIER FREE WASHROOM)



01 Permit & Tender 2024.07.24  
No. Issued for Date

Lorne Scots  
Regimental Museum

Project Address  
55 Queen Street East  
Brampton L6W 2A6

Project No. 24-002  
Drawn by TT  
Reviewed by MS  
Scale 1:50  
Plot Date 2024.07.24

GROUND FLOOR  
DEMOLITION PLAN

GROUND FLOOR DEMOLITION PLAN

SCALE = 1: 50

10  
A1.1

Drawing No:

A1.1

Seals:

GENERAL DEMOLITION NOTES - REFLECTED CEILING PLAN

1. PRIOR TO DEMOLITION NOTIFY CONSULTANTS OF ANY DISCREPANCIES WITH THE DRAWINGS.
2. PRIOR TO DEMOLITION COORDINATE WITH MUSEUM HOURS OF OPERATION, MATERIAL, AND WASTE HANDLING REQUIREMENTS AND MATERIAL TO BE REUSED.
3. COORDINATE WITH MUSEUM AND CITY AND OBTAIN APPROVAL FOR SPECIAL DEMOLITION ACTIVITIES CAUSING DISTURBANCE TO OTHER OCCUPANTS AND SPACES OUTSIDE OF DEMOLITION AREAS.
4. PROTECT AREA OF WORK, EXISTING CONSTRUCTION TO REMAIN AND ADJACENT AREAS FROM DAMAGE, INCLUDING BUT NOT LIMITED TO EXISTING MASONRY WALLS IN CORRIDOR, HISTORIC WOOD DOORS, DOOR FRAMES AND TRIM, AND HISTORIC WOOD MILLWORK TO REMAIN AS NOTED IN DRAWINGS.
5. PROVIDE DUST BARRIER TO ALL AREAS AFFECTED BY THE DEMOLITION, PROTECT AND MAINTAIN ADJACENT TENANT AREAS.
6. REFER TO OWNERS DESIGNATED SUBSTANCES DISCOVERED REPORT ANY FINDING OF DESIGNATED SUBSTANCES DISCOVERED DURING DEMOLITION.
7. REMOVE ALL UNUSED HANGERS, FASTENERS, LOOSE PAINT, DEBRIS ETC FROM EXISTING WALLS AND CEILING TO REMAIN, PATCH AND REPAIR TO PREP FOR PAINTING OR FUTURE WORK.
8. REMOVE ALL EXISTING LIGHTING FIXTURES AND ANY ASSOCIATED SMOKE, HANGERS, HARDWARE, CONDUIT AND WIRING NOT REQUIRED FOR INSTALLATION OF NEW FIXTURES, RETAIN POWER SUPPLY FOR FUTURE LIGHTING, REF RCP'S AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
9. REMOVE ALL EXISTING EXIT SIGNS, CAP ELECTRICAL WHERE NEW SIGNS ARE NOT REQUIRED.
10. FIRE ALARM DEVICES TO BE RELOCATED IF REQUIRED.
11. ALL BUILDING-WIDE LIFE SAFETY SYSTEMS INCLUDING FIRE ALARMS, EXIT SIGNS, AND EMERGENCY LIGHT SYSTEMS TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION.
12. MECHANICAL AND ELECTRICAL SYSTEMS WITHIN ADJACENT OCCUPIED AREAS ARE TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION. REF MECHANICAL AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL/ELECTRICAL DEMOLITION.
13. REMOVE AND RETURN TO OWNER OR TENANT WASTE & DISPOSAL SYSTEMS, SANITIZERS, FIRE EXTINGUISHERS & OTHER MISC. ACCESSORIES AND EQUIPMENT. DEMOLISH OR REMOVE FROM SITE IF NOT USED, OWNER/TENANT APPROVAL REQUIRED.
14. MAKE GOOD ALL EXISTING CEILING TO REMAIN, PATCH ALL DAMAGES TO CEILING TO ENSURE CONSISTENT SURFACE AND CONTINUITY OF FIRE RATING WHERE OCCURS.
15. REMOVE EXISTING TRIMS MOUNTED ON WALLS, UNLESS NOTED OTHERWISE TO REMAIN.

ABBREVIATION & ADDITIONAL NOTES:

- E EXISTING TO REMAIN  
R DENOTES EXISTING TO BE REMOVED  
R/R DENOTES EXISTING TO BE REMOVED AND REPLACED  
R/L DENOTES EXISTING TO BE REMOVED AND RELOCATED

PLAN DEMOLITION KEY NOTES:

- DENOTES EXISTING TO REMAIN  
□ DENOTES AREA NOT IN SCOPE OF WORK

- REMOVE EXISTING T BAR GRID, TILES, ASSOCIATED LIGHTING AND MECHANICAL TRIMS. REF MECHANICAL AND ELECTRICAL DRAWINGS FOR RELATED DEMOLITION SCOPE.  
WHERE CEILING IS TO BE EXPOSED, CLEAN UP, CUTBACK TO SOURCE, AND BUNCH LOOSE WIRING TO SUIT NEW CEILING LAYOUT, MAINTAIN CONCEALED ROUTING WHERE REQUIRED, CUT BACK MECHANICAL AND DUCTING AS REQUIRED, REMOVE UNWANTED ADHESIVES, FASTENERS AND ANY UNWANTED BUILDING MATERIALS. CLEAN UP CEILING AND PREP ALL EXPOSED AREAS FOR PAINTING.  
REMOVE EXISTING DRYWALL, CEILING AND ASSOCIATED LIGHTING TO THE EXTENTS REQUIRED TO ACCOMMODATE NEW ACCESSIBLE LIFT PATCH AND REPAIR EDGES TO MEET NEW DRYWALL LIFT SURROUND.  
EXISTING LIGHTING TO BE REMOVED AND RELOCATED.  
REMOVE EXISTING MOULDING, PATCH AND REPAIR WALL.



|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

Lorne Scots  
Regimental Museum

Project Address  
55 Queen Street East  
Brampton L6W 2A6

|             |            |
|-------------|------------|
| Project No. | 24-002     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | 1:50       |
| Plot Date   | 2024.07.04 |

BASEMENT FLOOR  
DEMOLITION RCP

BASEMENT FLOOR DEMOLITION RCP

SCALE = 1: 50

10  
A1.5

Drawing No:

A1.5



Seals:

GENERAL DEMOLITION NOTES - REFLECTED CEILING PLAN

1. PRIOR TO DEMOLITION NOTIFY CONSULTANTS OF ANY DISCREPANCIES WITH THE DRAWINGS
2. PRIOR TO DEMOLITION COORDINATE WITH MUSEUM HOURS OF OPERATION, MATERIAL AND WASTE HANDLING REQUIREMENTS AND MATERIAL TO BE REUSED
3. COORDINATE WITH MUSEUM AND CITY AND OBTAIN APPROVAL FOR SPECIAL DEMOLITION ACTIVITIES CAUSING DISTURBANCE TO OTHER OCCUPANTS AND SPACES OUTSIDE OF DEMOLITION AREAS
4. PROTECT AREA OF WORK, EXISTING CONSTRUCTION TO REMAIN AND ADJACENT AREAS FROM DAMAGE, INCLUDING BUT NOT LIMITED TO EXISTING MASONRY WALLS IN CORRIDOR, HISTORIC WOOD DOORS, DOOR FRAMES AND TRIM, AND HISTORIC WOOD MILLWORK TO REMAIN AS NOTED IN DRAWINGS
5. PROTECT EXIST BARRIER TO ALL AREAS AFFECTED BY THE DEMOLITION, PROTECT AND MAINTAIN ADJACENT TENANT AREAS
6. REFER TO OWNERS DESIGNATED SUBSTANCES REPORT FOR PRE-EXISTING DESIGNATED SUBSTANCES OBSERVED, REPORT ANY FINDINGS OF DESIGNATED SUBSTANCES DISCOVERED DURING DEMOLITION
7. REMOVE ALL UNUSED HANGERS, FASTENERS, LOOSE PARTS, DEBRIS ETC FROM EXISTING WALLS AND CEILINGS TO REMAIN, PATCH AND REPAIR TO PREP FOR PAINTING OR FUTURE WORK
8. REMOVE ALL EXISTING LIGHTING FIXTURES AND ANY ASSOCIATED SENSORS, HANGERS, HARDWARE, CONDUIT AND WIRING NOT REQUIRED FOR INSTALLATION OF NEW FIXTURES, RETAIN POWER SUPPLY FOR FUTURE LIGHTING, REF RCPs AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
9. REMOVE ALL EXISTING EXIT SIGNS, CAP ELECTRICAL WHERE NEW SIGNS ARE NOT REQUIRED
10. FIRE ALARM DEVICES TO BE RELOCATED IF REQUIRED
11. ALL BUILDING FIRE LIFE SAFETY SYSTEM INCLUDING FIRE ALARMS, EXIT SIGNAL AND EMERGENCY LIGHT SYSTEMS TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION
12. MECHANICAL AND ELECTRICAL SYSTEMS WITHIN ADJACENT OCCUPIED AREAS ARE TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION
13. REF MECHANICAL AND ELECTRICAL DRAWINGS FOR SCOPE OF MECHANICAL / ELECTRICAL DEMOLITION
14. REMOVE AND RETURN TO OWNER OR TENANT WASTE & DISPOSAL SYSTEMS, SANITIZERS, FIRE EXTINGUISHERS & OTHER MISC. ACCESSORIES AND EQUIPMENT, DEMOLISH OR REMOVE FROM SITE IF NOT USED, OWNER/TENANT APPROVAL REQUIRED
15. MAKE GOOD ALL EXISTING CEILING TO REMAIN, PATCH ALL DAMAGES TO CEILINGS TO ENSURE CONSISTENT SURFACE AND CONTINUITY OF FIRE RATINGS WHERE OCCURS
16. REMOVE EXISTING TRIMS MOUNTED ON WALLS, UNLESS NOTED OTHERWISE TO REMAIN

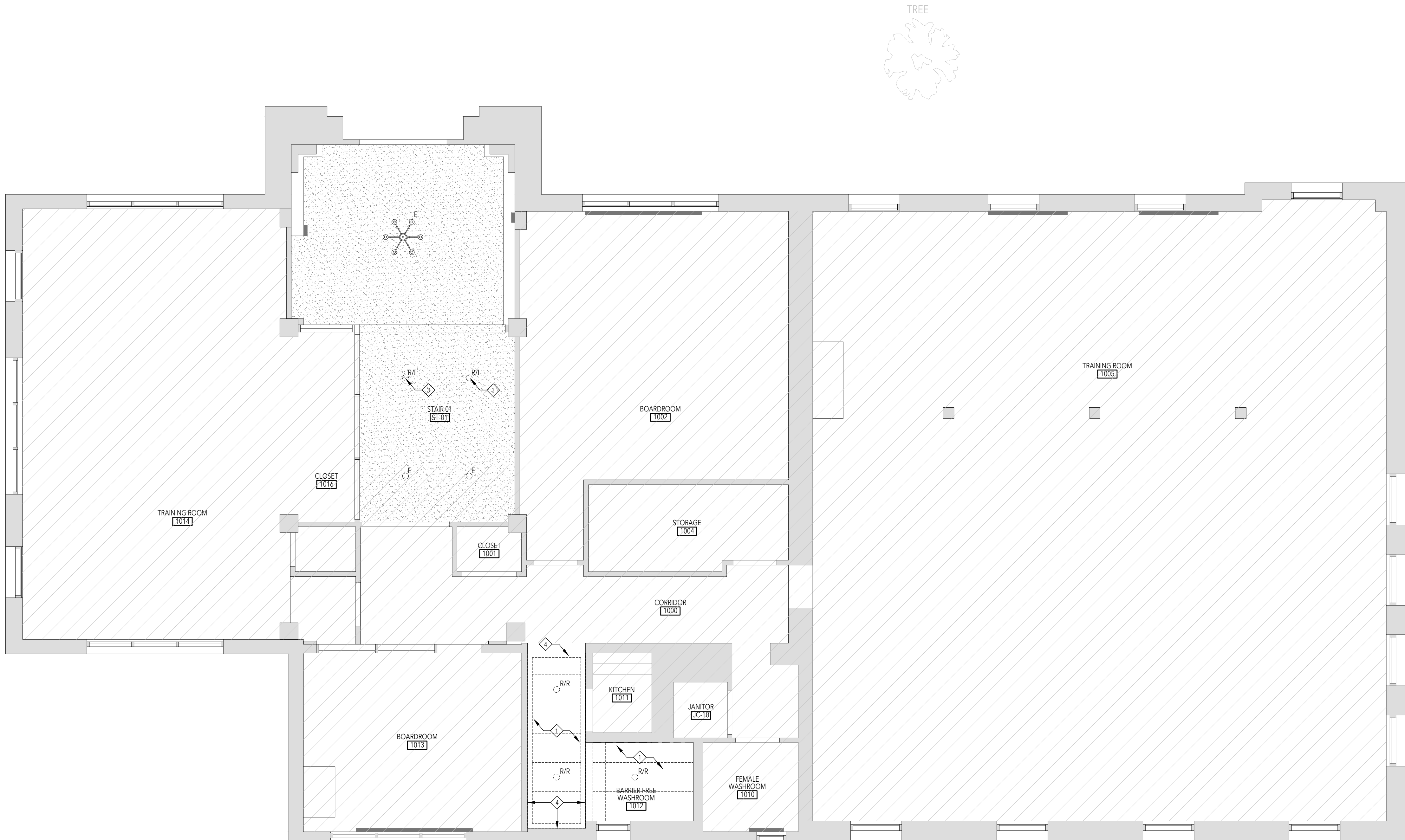
ABBREVIATION & ADDITIONAL NOTES:

- E EXISTING TO REMAIN  
R EXISTING TO BE REMOVED  
R/R EXISTING TO BE REMOVED AND REPLACED  
R/L EXISTING TO BE REMOVED AND RELOCATED

PLAN DEMOLITION KEY NOTES:

- DENOTES EXISTING TO REMAIN  
□ DENOTES AREA NOT IN SCOPE OF WORK

- 1 REMOVE EXISTING T-BAR GRID, TILES, ASSOCIATED LIGHTING AND MECHANICAL TRIMS, REF MECHANICAL AND ELECTRICAL DRAWINGS FOR RELATED DEMOLITION SCOPE  
2 WHERE CEILING IS TO BE EXPOSED, CLEAN UP, CUTBACK TO SOURCE, AND BUNCH LOOSE WIRING TO SUIT NEW CEILING LAYOUT, MAINTAIN CONCEALED ROUTING WHERE REQUIRED, CUT BACK MECHANICAL AND DUCTING AS REQUIRED, REMOVE UNWANTED ADHESIVES, FASTENERS AND ANY UNWANTED BUILDING MATERIALS, CLEAN UP CEILING AND PREP ALL EXPOSED AREAS FOR PAINTING  
3 REMOVE EXISTING DRYWALL CEILING AND ASSOCIATED LIGHTING TO THE EXTENTS REQUIRED TO ACCOMMODATE NEW ACCESSIBLE LIFT PATCH AND REPAIR EDGES TO MEET NEW DRYWALL LIFT SURROUND  
4 EXISTING LIGHTING TO BE REMOVED AND RELOCATED  
5 REMOVE EXISTING MOULDING, PATCH AND REPAIR WALL

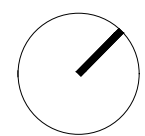


|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

Lorne Scots  
Regimental Museum

Project Address  
55 Queen Street East  
Brampton L6W 2A6

|             |            |
|-------------|------------|
| Project No. | 24-002     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | 1:50       |
| Plot Date   | 2024.07.04 |



GROUND FLOOR  
DEMOLITION RCP

GROUND FLOOR DEMOLITION RCP

SCALE = 1: 50

10  
A1.6

Drawing No:

A1.6

GENERAL NOTES

1. WALLS SHOULD EXTEND FROM FLOOR TO UNDERSIDE OF SLAB ABOVE. ANY PENETRATIONS THROUGH WALL SHOULD BE OVERSIZED, FILLED WITH BATT INSULATION AND SEALED WITH NON-HARDENING ACOUSTIC CAULK WITH A MINIMUM MOVEMENT CAPABILITY OF +/-25%. REFER TO INTERIOR DETAILS.
2. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
3. AT LOCATIONS WHERE MECHANICAL DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITIONS, OFFSET PARTITION ABOVE CEILING AND BRACE AS REQUIRED. MAINTAIN FIRE SEPARATION/SOUND RATING OF PARTITION. OFFSETTING OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CAN NOT BE POSTIONED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF MASONRY OR CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FINISHED FACE OF PARTITION, UNLESS OTHERWISE NOTED.
5. MAKE GOOD ALL EXISTING DRYWALL TO REMAIN.
6. ALL EXISTING FIRE RATED ASSEMBLIES TO MAINTAIN EXISTING RATING.
7. PROVIDE BLOCKING AS REQUIRED AT ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES
8. UNLESS OTHERWISE NOTED, DOOR OPENINGS ARE 101mm FROM ADJACENT RETURN WALL.
9. WHERE LOCATED AGAINST WALL PAINTED TO PT1, WALL PLATES, RECEPTACLES, DATA OUTLETS ETC TO BE PROVIDED IN WHITE.

LEGEND

- DENOTES EXISTING TO REMAIN
- GENERAL INDICATES AREA NOT IN SCOPE
- NEW CONSTRUCTION
- DOOR TAG

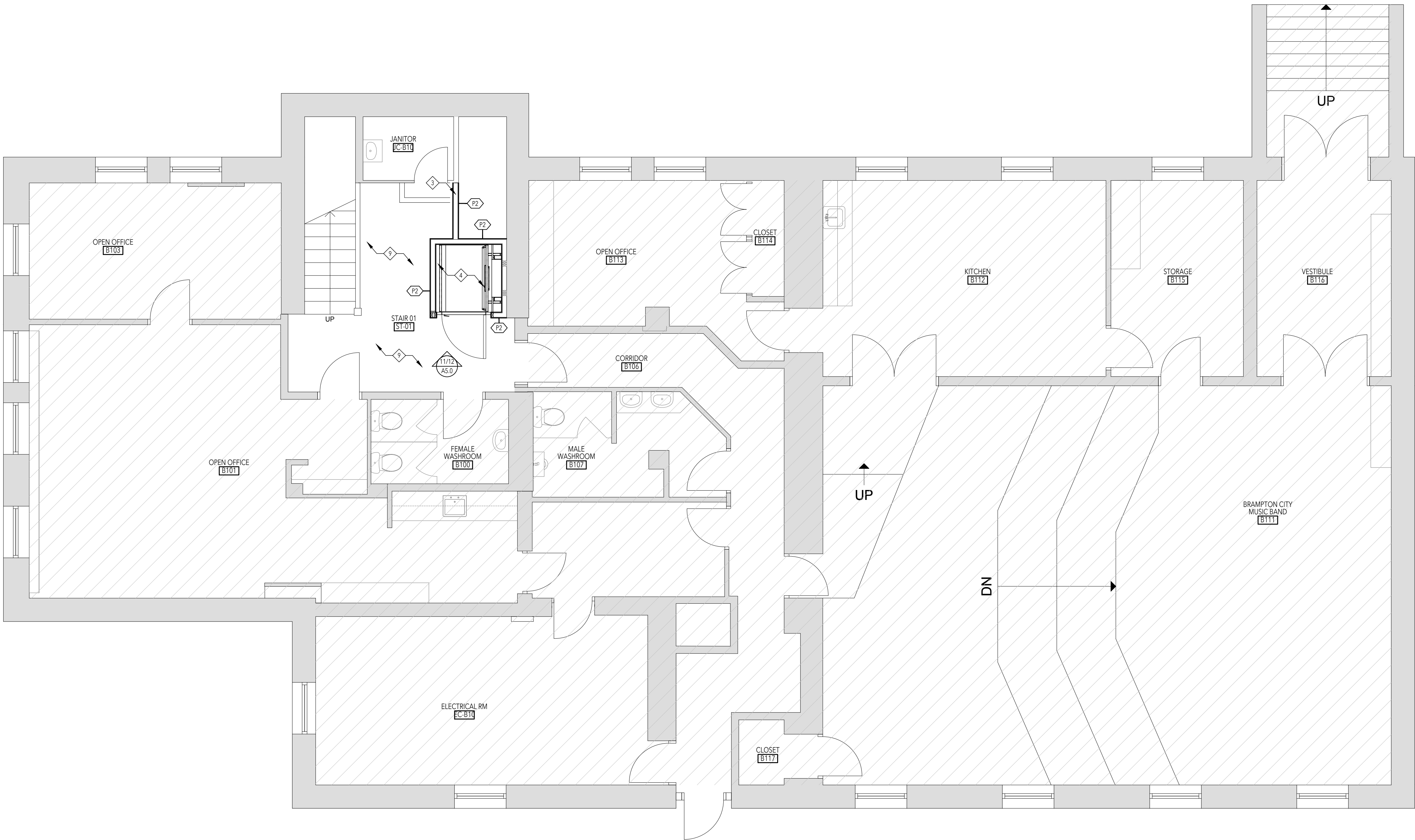
 DOOR TAG
- PARTITION TAG

 PARTITION TAG
- DOOR OPERATOR (COORDINATE WITH ELECTRICAL)

 DOOR OPERATOR (COORDINATE WITH ELECTRICAL)

PLAN KEY NOTES

- 1 PROVIDE BLOCKING AS NECESSARY FOR WALL MOUNTED EQUIPMENT/ACCESSORIES/PLUMBING FIXTURES
- 2 MAKE GOOD EXISTING WALL, PREPARE FOR PAINT FINISH BENJAMIN MOORE CC-30 OXFORD WHITE
- 3 NEW GWB AND WALL BASE TO MATCH BENJAMIN MOORE CC-30 OXFORD WHITE
- 4 NEW ACCESSIBLE LIFT WITH GWB SURROUND, REFERENCE ELECTRICAL / MECHANICAL AND STRUCTURAL DRAWINGS FOR FURTHER DETAILS
- 5 NEW RECONSTRUCTED STAIR AND HANDRAIL, MADE FROM REMOVED EXISTING STAIR AND TO MATCH DESIGN OF EXISTING STAIR
- 6 NEW AUTO DOOR OPERATOR, REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- 7 NEW ACCESSIBLE RAMP, REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- 8 NEW EXTERIOR LIGHT POST, REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- 9 NEW VINYL FLOORING: TARKETT ACCENT CONCRETE COOL GREY
- 10 EXISTING PLUMBING / ACCESSORIES AND EQUIPMENT TO BE RE-INSTALLED IN ACCORDANCE WITH ACCESSIBILITY GUIDELINES
- 11 EXISTING STAIRS TO BE WIDENED THROUGH NEW INFILL, REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- 12 EXISTING DOOR AND FRAME TO BE RELOCATED
- 13 EXISTING CITY SIGNAGE TO BE RELOCATED TO ACCOMMODATE RAMP
- 14 RELOCATED EXISTING RADIATOR
- 15 NEW WALKOFF CARPET FLOORING: BURMATX GRIMBUSTER NEWMARKET GREY



BASEMENT FLOOR PLAN

SCALE = 1: 50

10  
A2.0

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

This drawing, as an instrument of service, is provided by and is the property of LEBEL & BOULIANE Inc. and shall be used only for the project named on this drawing and solely for reference purposes only. The contractor is responsible for the coordination and verification of all dimensions indicated herein and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale the drawing.

This drawing shall not be used for construction purposes unless countersigned.

LEBEL & BOULIANE

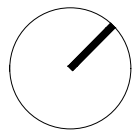
Seals:

01 Permit & Tender 2024.07.24  
No. Issued for Date

**Lorne Scots  
Regimental Museum**

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

Project No. 24-002  
Drawn by TT  
Reviewed by MS  
Scale 1:50  
Plot Date 2024.07.23



**BASEMENT FLOOR PLAN**

Drawing No:

**A2.0**

All drawings, specifications, related documents and design are the copyright property of the architect and must be retained upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

This drawing, as an instrument of service, is provided by and is the property of LEBEL & BOULIANE Inc. and shall be used only for the project named on this drawing and solely for reference purposes only. The contractor is responsible for the coordination and verification of all dimensions indicated herein and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale the drawing.

This drawing shall not be used for construction purposes unless counter-signed

LEBEL & BOULIANE

Seals:

GENERAL NOTES

1. WALLS SHOULD EXTEND FROM FLOOR TO UNDERSIDE OF SLAB ABOVE. ANY PENETRATIONS THROUGH WALL SHOULD BE OVERSIZED, FILLED WITH BATT INSULATION AND SEALED WITH NON-HARDENING ACOUSTIC CAULK WITH A MINIMUM MOVEMENT CAPABILITY OF +/- 25%. REFER TO INTERIOR DETAILS.
2. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
3. AT LOCATIONS WHERE MECHANICAL DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITIONS, OFFSET PARTITION ABOVE CEILING AND BRACE AS REQUIRED. MAINTAIN FIRE SEPARATION/SOUND RATING OF PARTITION. OFFSETTING OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CAN NOT BE POSITIONED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF MASONRY OR CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FINISHED FACE OF PARTITION, UNLESS OTHERWISE NOTED.
5. MAKE GOOD ALL EXISTING DRYWALL TO REMAIN.
6. ALL EXISTING FIRE RATED ASSEMBLIES TO MAINTAIN EXISTING RATING.
7. PROVIDE BLOCKING AS REQUIRED AT ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES
8. UNLESS OTHERWISE NOTED, DOOR OPENINGS ARE 101mm FROM ADJACENT RETURN WALL.
9. WHERE LOCATED AGAINST WALL PAINTED TO P11, WALL PLATES, RECEPTACLES, DATA OUTLETS ETC. TO BE PROVIDED IN WHITE.

LEGEND

- DENOTES EXISTING TO REMAIN
- GENERAL INDICATES AREA NOT IN SCOPE
- NEW CONSTRUCTION
- DOOR TAG

DOOR TAG
- PARTITION TAG

PARTITION TAG
- DOOR OPERATOR (COORDINATE WITH ELECTRICAL)

PLAN KEY NOTES:

- 1

PROVIDE BLOCKING AS NECESSARY FOR WALL MOUNTED EQUIPMENT/ACCESSORIES/PLUMBING FIXTURES
- 2

MAKE GOOD EXISTING WALL, PREPARE FOR PAINT FINISH BENJAMIN MOORE CC-30 OXFORD WHITE
- 3

NEW GWB AND WALL BASE TO MATCH BENJAMIN MOORE CC-30 OXFORD WHITE
- 4

NEW ACCESSIBLE LIFT WITH GWB SURROUND. REFERENCE ELECTRICAL / MECHANICAL AND STRUCTURAL DRAWINGS FOR FURTHER DETAILS
- 5

NEW RECONSTRUCTED STAIR AND HANDRAIL, MADE FROM REMOVED EXISTING STAIR AND TO MATCH DESIGN OF EXISTING STAIR
- 6

NEW AUTO DOOR OPERATOR. REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- 7

NEW ACCESSIBLE RAMP. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- 8

NEW EXTERIOR LIGHT POST. REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- 9

NEW VINYL FLOORING. TARKETT ACCENT CONCRETE COOL GREY
- 10

EXISTING PLUMBING / ACCESSORIES AND EQUIPMENT TO BE RE-INSTALLED IN ACCORDANCE WITH ACCESSIBILITY GUIDELINES
- 11

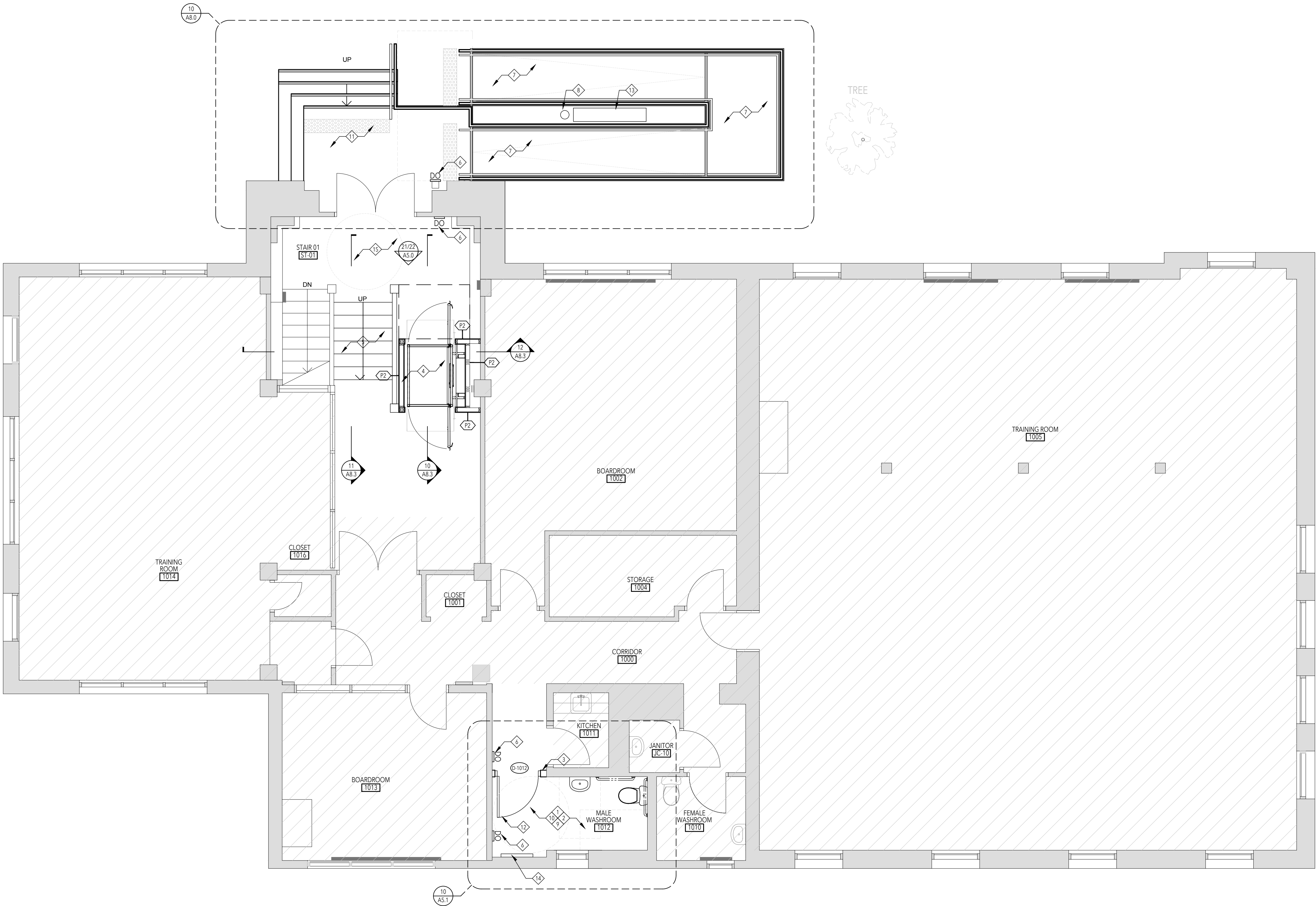
EXISTING STAIRS TO BE WIDENED THROUGH NEW WALL. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- 12

EXISTING DOOR AND FRAME TO BE RELOCATED
- 13

EXISTING CITY SIGNAGE TO BE RELOCATED TO ACCOMMODATE RAMP
- 14

RELOCATED EXISTING RADIATOR
- 15

NEW HALL/OFF CARPET FLOORING: BURMATEX GRIMBUSTER NEWMARKET GREY

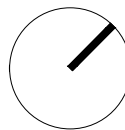


|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

Lorne Scots  
Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

|             |            |
|-------------|------------|
| Project No. | 24-002     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | 1:50       |
| Plot Date   | 2024.07.23 |



GROUND FLOOR PLAN

GROUND FLOOR PLAN

SCALE = 1: 50

10  
A2.1

Drawing No:

A2.1

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

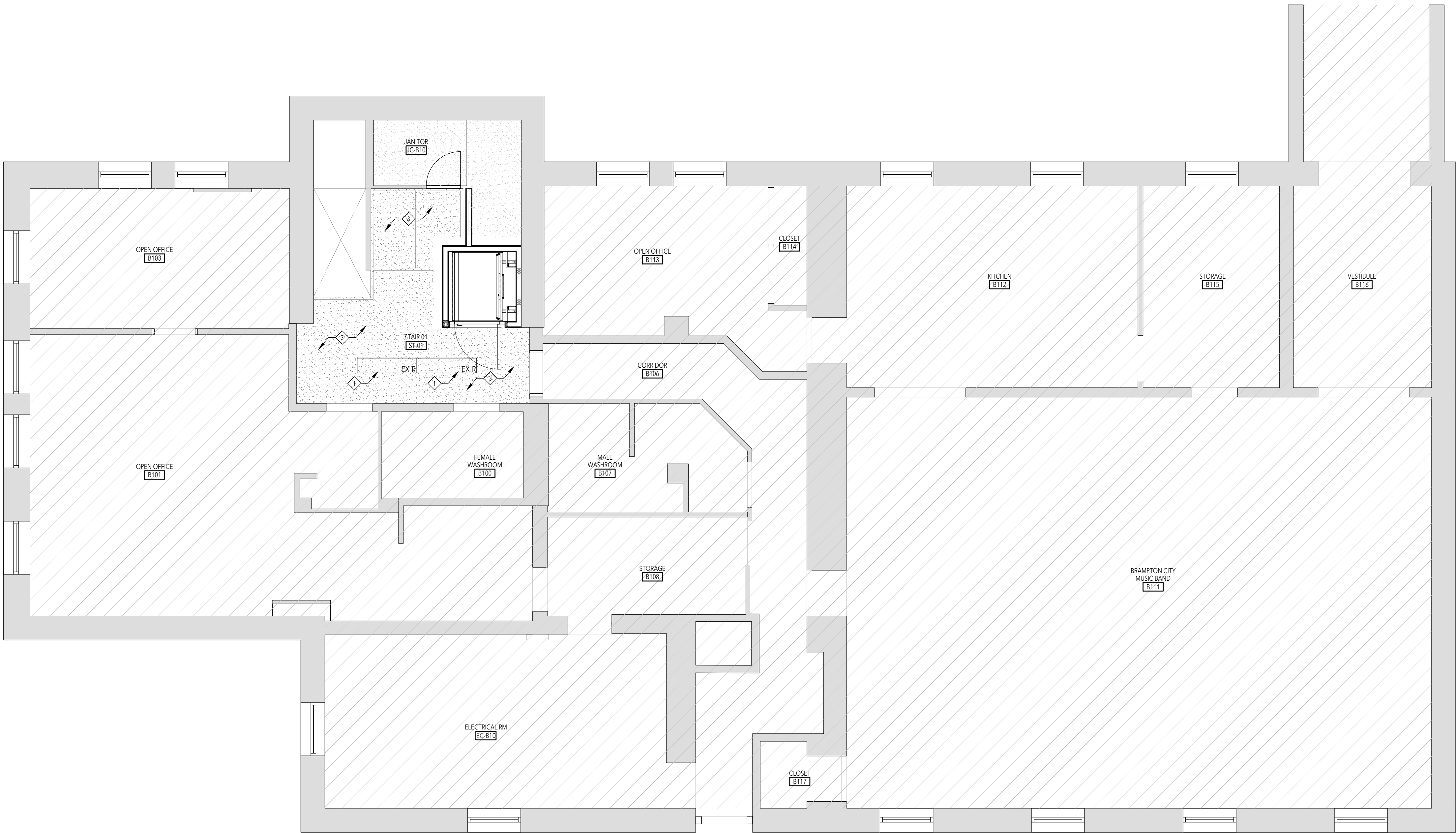
This drawing, as an instrument of service, is provided by and is the property of LEBEL & BOULIANE Inc. and shall be used only for the project named on this drawing and solely for reference purposes only. The contractor is responsible for the coordination and verification of all dimensions indicated herein and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale this drawing.

This drawing shall not be used for construction purposes unless countersigned.

LEBEL & BOULIANE

Seals:

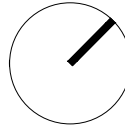


|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

Lorne Scots  
Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

|             |            |
|-------------|------------|
| Project No. | 23-003     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | NTS        |
| Plot Date   | 2024.06.17 |



BASEMENT FLOOR RCP

BASEMENT FLOOR RCP

SCALE = 1: 50

10  
A3.0

Drawing No:

A3.0

GENERAL NOTES

1. MAKE GOOD ALL EXISTING AREAS ADJACENT NEW.

2. ALL CEILING HEIGHT TO MATCH EXISTING CEILING

3. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION

ABBREVIATION & ADDITIONAL NOTES:

E    EXISTING TO REMAIN

R    DENOTES EXISTING TO BE REMOVED

R/R    DENOTES EXISTING TO BE REMOVED AND REPLACED

R/L    DENOTES EXISTING TO BE REMOVED AND RELOCATED

RCP LEGEND:

■    GENERAL INDICATES EXISTING TO REMAIN

□    GENERAL INDICATES AREA NOT IN SCOPE

▨    GWB CEILING

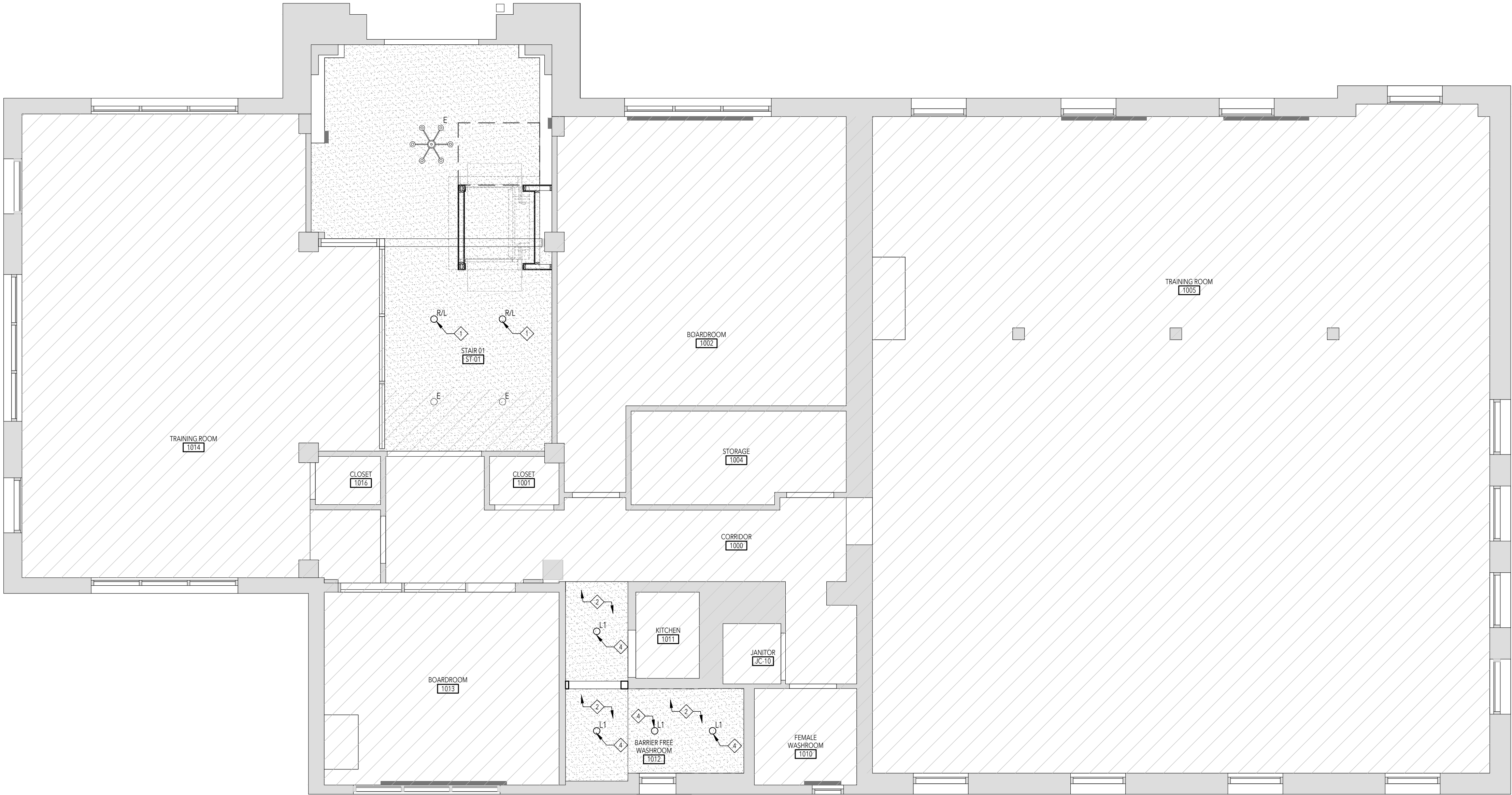
RCP KEYNOTES

1    EXISTING LIGHTS TO BE RELOCATED, MAKE GOOD DRYWALL CEILING AND PAINT

2    NEW GWB CEILING HEIGHT TO MATCH EXISTING CEILING HEIGHT PAINTED FT-1 BENJAMIN MOORE CC-30 OXFORD WHITE

3    EXISTING GWB CEILING TO BE MADE GOOD AND REPAINTED AFTER ACCOMMODATION OF NEW ACCESSIBLE LIFT

4    NEW L1 LIGHT - SIGMA 2 LITELINE, WHITE RECESSED 3000K



GROUND FLOOR RCP

SCALE = 1: 50

10  
A3.1

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

This drawing, as an instrument of service, is provided by and is the property of LEBEL & BOULIANE Inc. and shall be used only for the project named on this drawing and solely for reference purposes only. The contractor is responsible for the coordination and verification of all dimensions indicated herein and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale this drawing.

This drawing shall not be used for construction purposes unless countersigned.

LEBEL & BOULIANE

Seals:

01    Permit & Tender    2024.07.24  
No.    Issued for    Date

Lorne Scots  
Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

Project No.    23-003  
Drawn by    TT  
Reviewed by    MS  
Scale    NTS  
Plot Date    2024.05.30

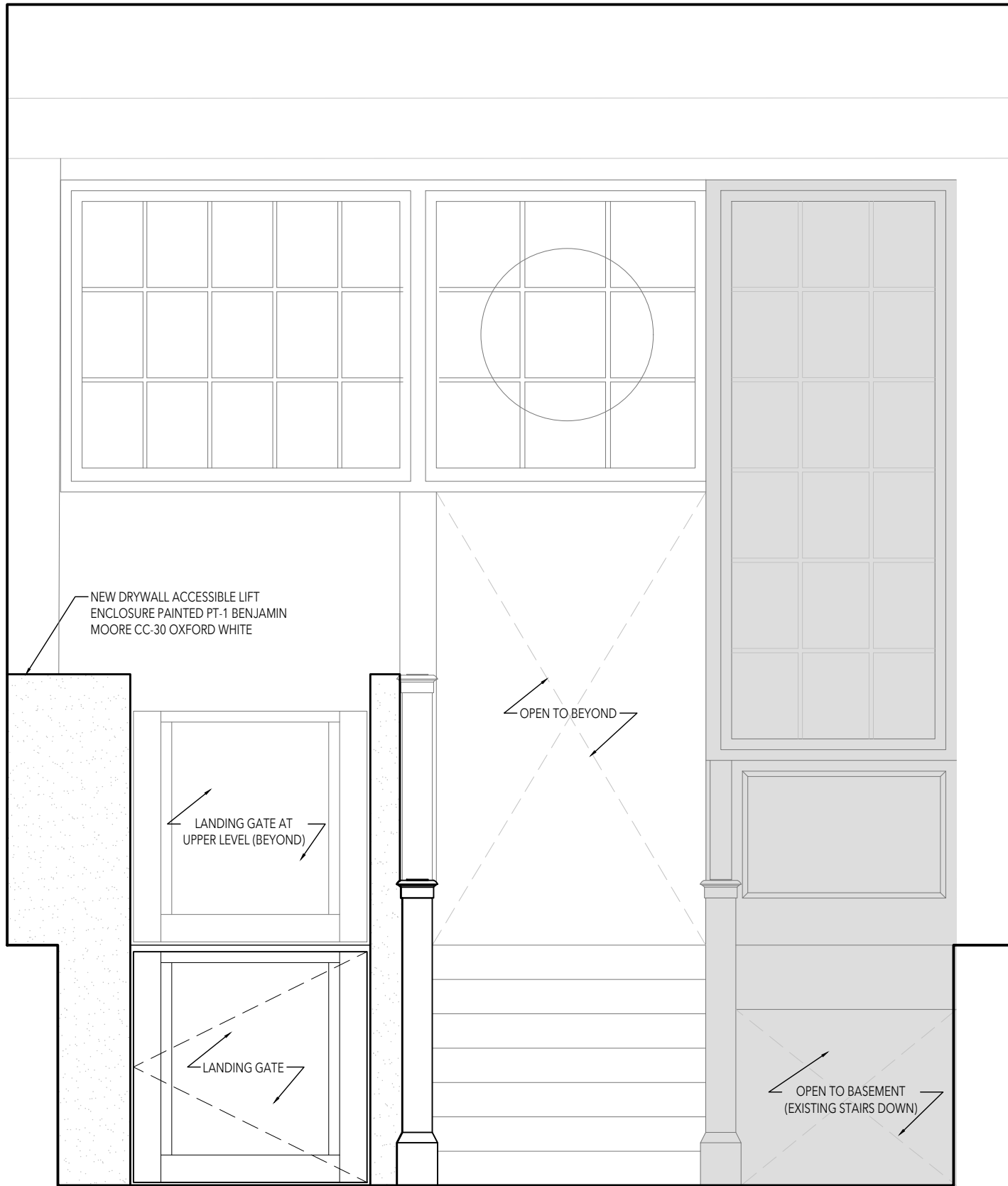
GROUND FLOOR RCP

Drawing No:

A3.1



Seals:

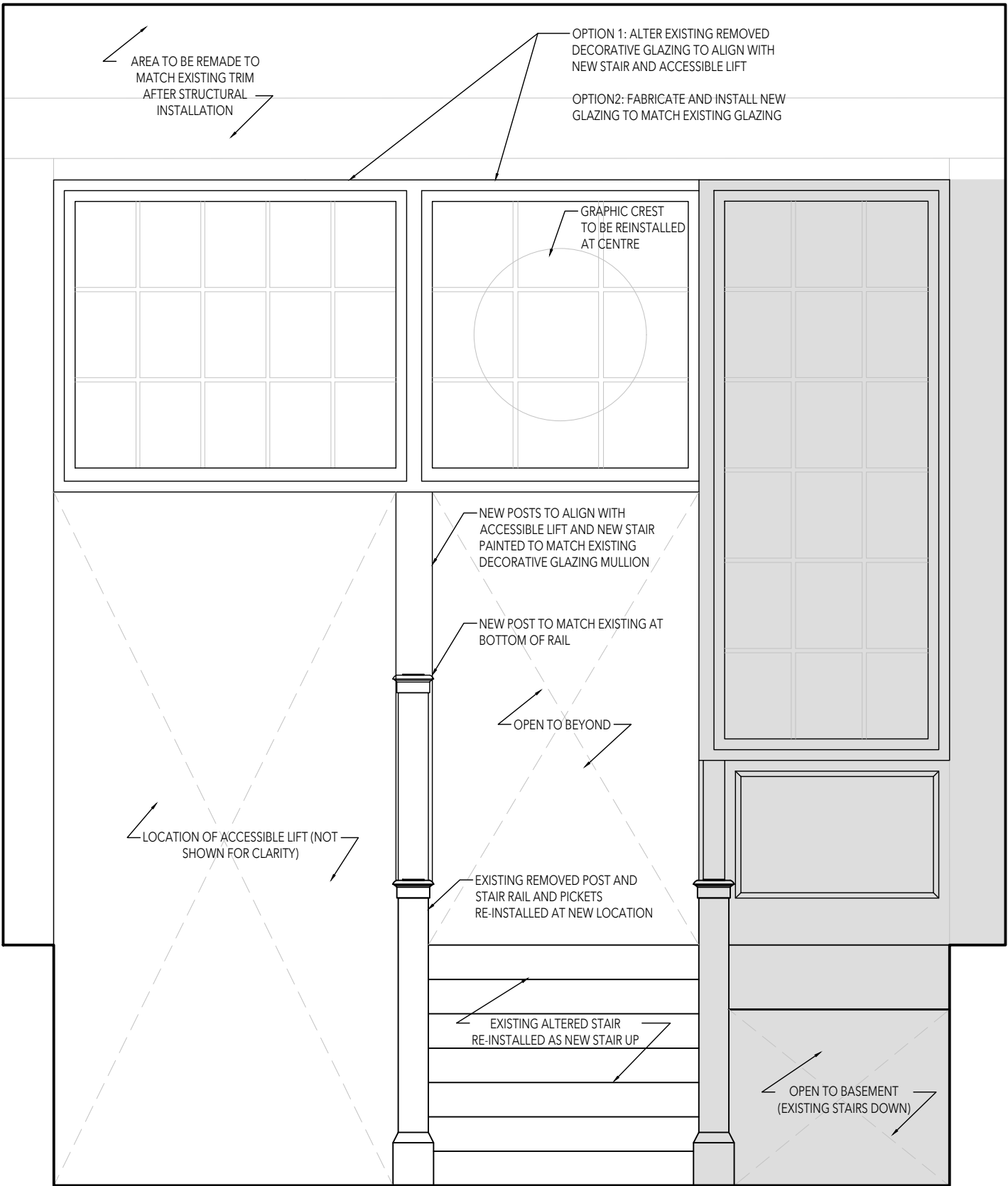


ENTRY ELEVATION - NEW (IN FRONT OF LIFT)

SCALE = 1: 50

22

A5.0

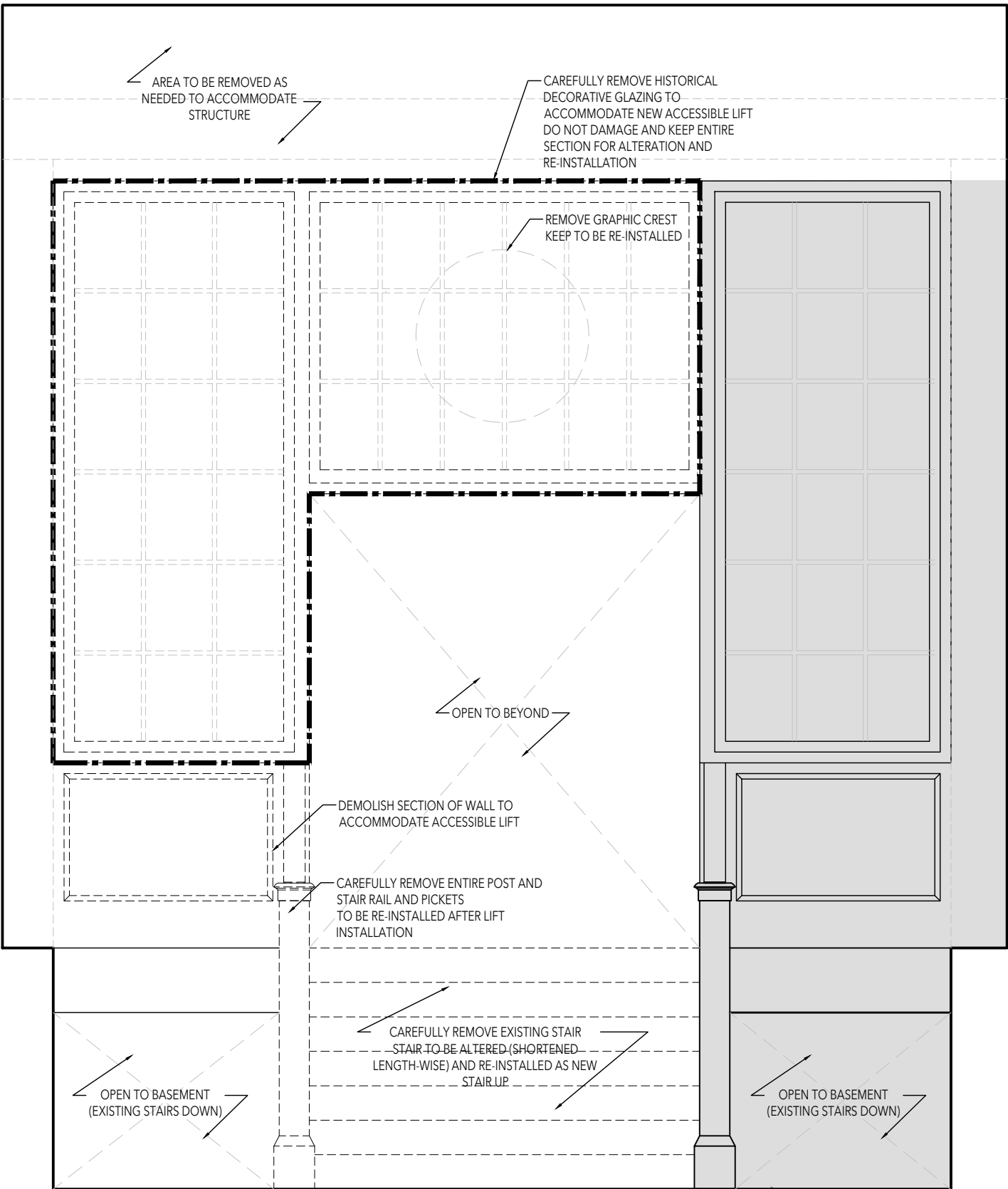


ENTRY ELEVATION - NEW (BEHIND LIFT)

SCALE = 1: 50

21

A5.0

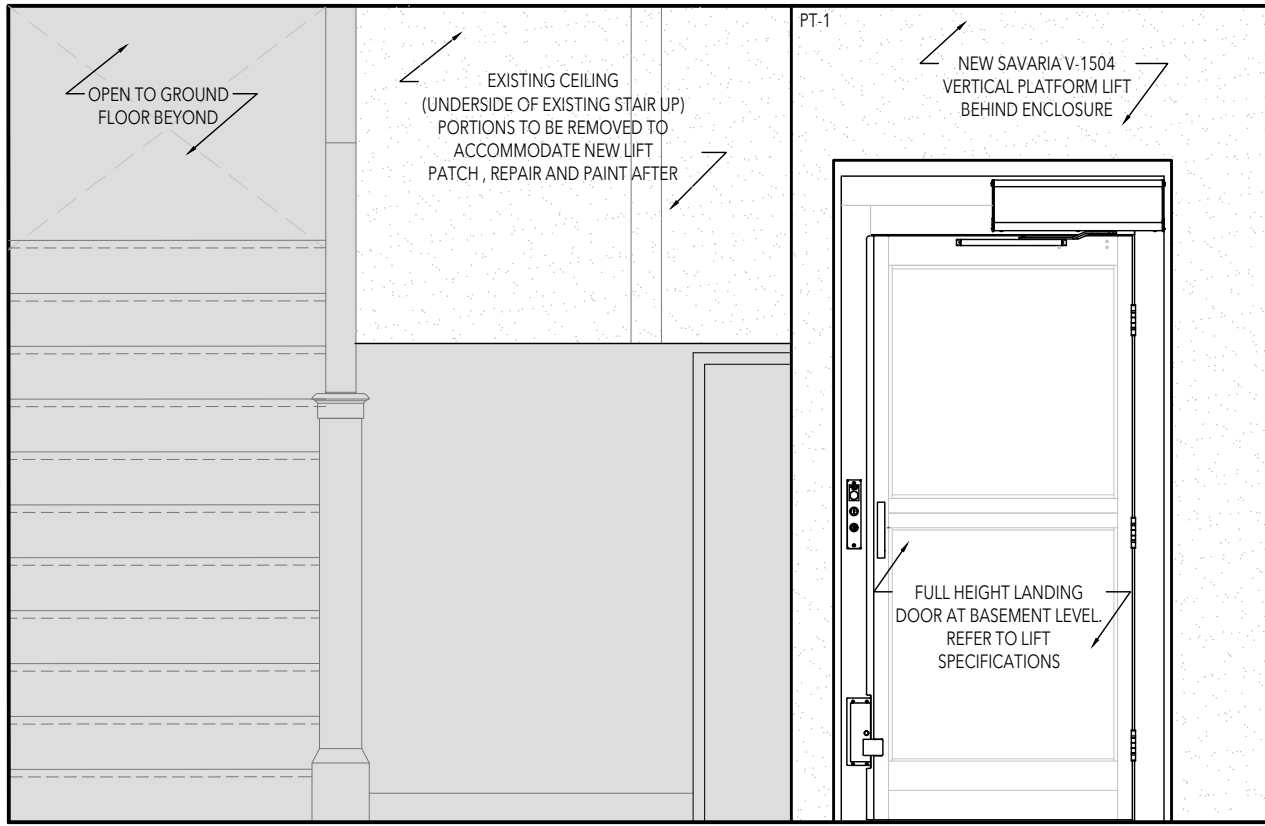


ENTRY ELEVATION - DEMO

SCALE = 1: 50

20

A5.0

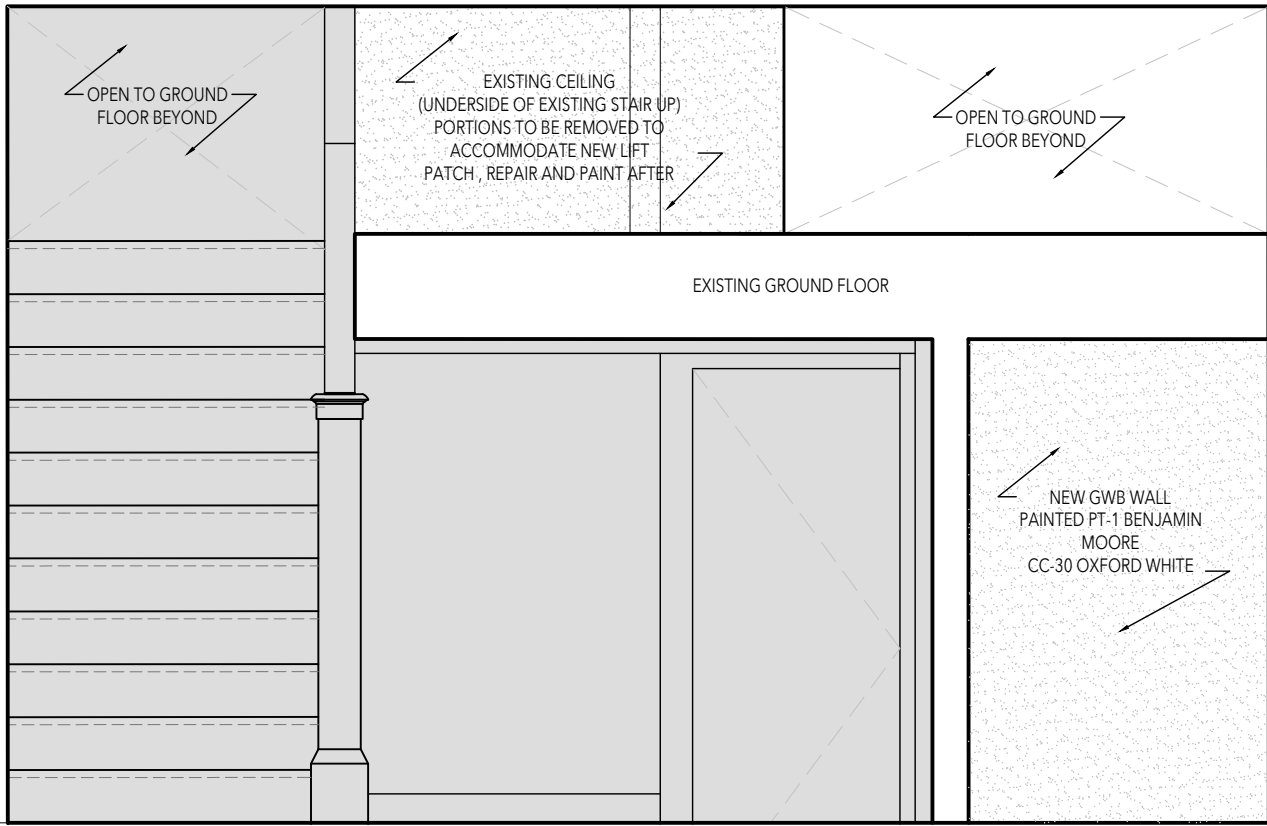


ENTRY ELEVATION - NEW (IN FRONT OF LIFT)

SCALE = 1: 50

12

A5.0

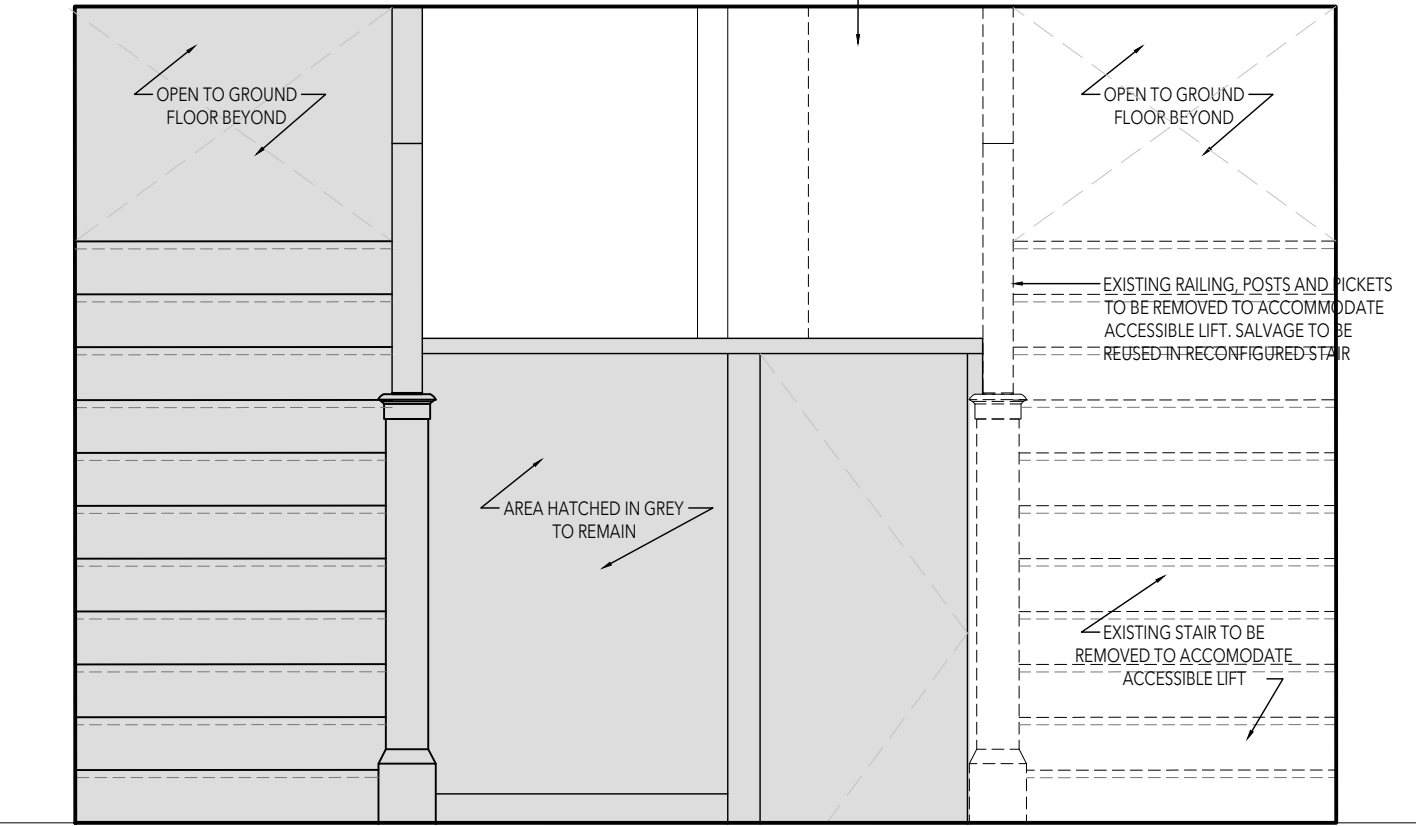


BASEMENT ELEVATION - NEW (BEHIND LIFT)

SCALE = 1: 50

11

A5.0



BASEMENT ELEVATION - DEMO

SCALE = 1: 50

10

A5.0

|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

## Lorne Scots Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

|             |            |
|-------------|------------|
| Project No. | 24-002     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | NTS        |
| Plot Date   | 2024.07.24 |

## INTERIOR ELEVATIONS

Drawing No:

A5.0

All drawings, specifications, related documents and design are the copyright property of the architect and must be returned upon request. Reproduction of the drawings, specifications, related documents and design in whole or in part is strictly forbidden without the architect's written permission.

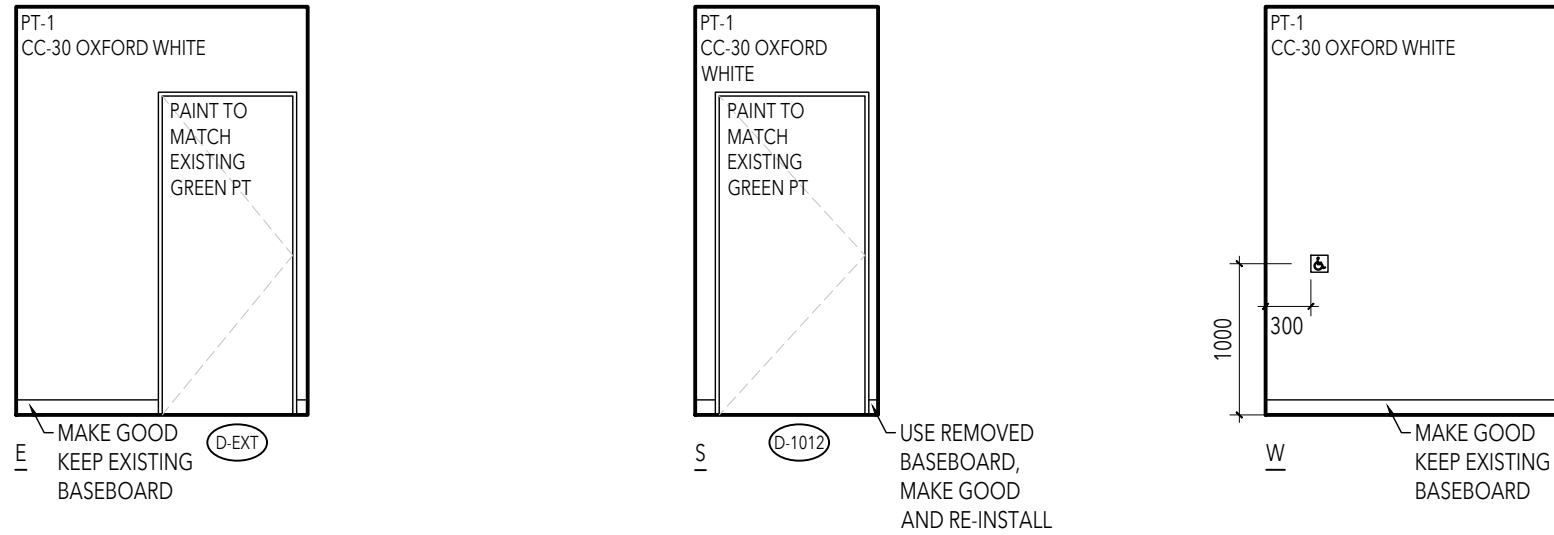
This drawing, as an instrument of service, is provided by and is the property of LEBEL & BOULIANE Inc. and shall be used only for the project named on this drawing and solely for reference purposes only. The contractor is responsible for the coordination and verification of all dimensions indicated herein and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale the drawing.

This drawing shall not be used for construction purposes unless counter-signed

LEBEL & BOULIANE

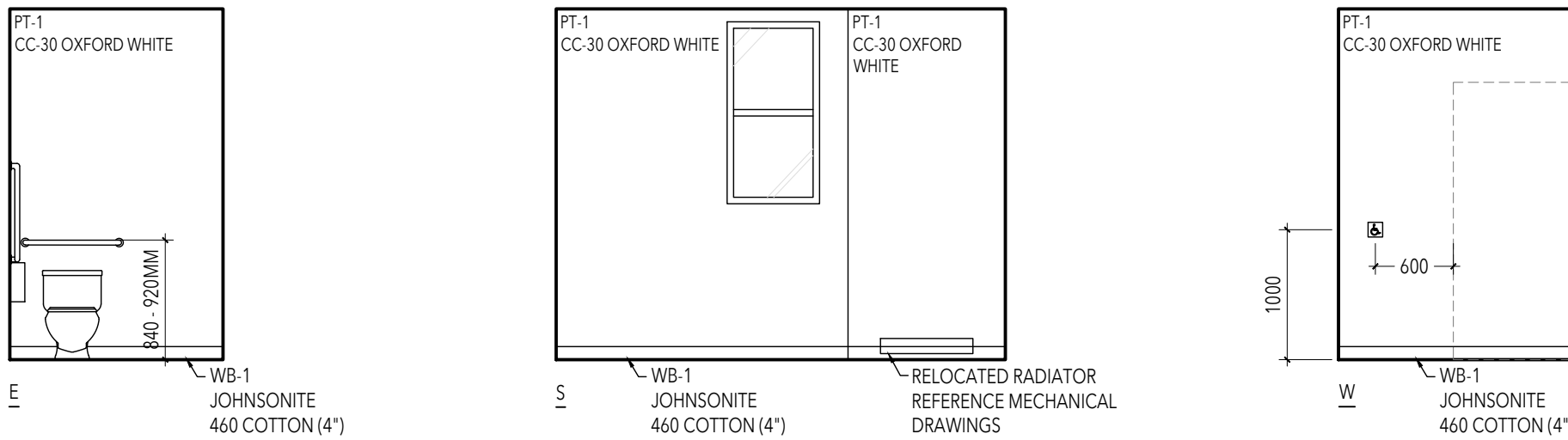
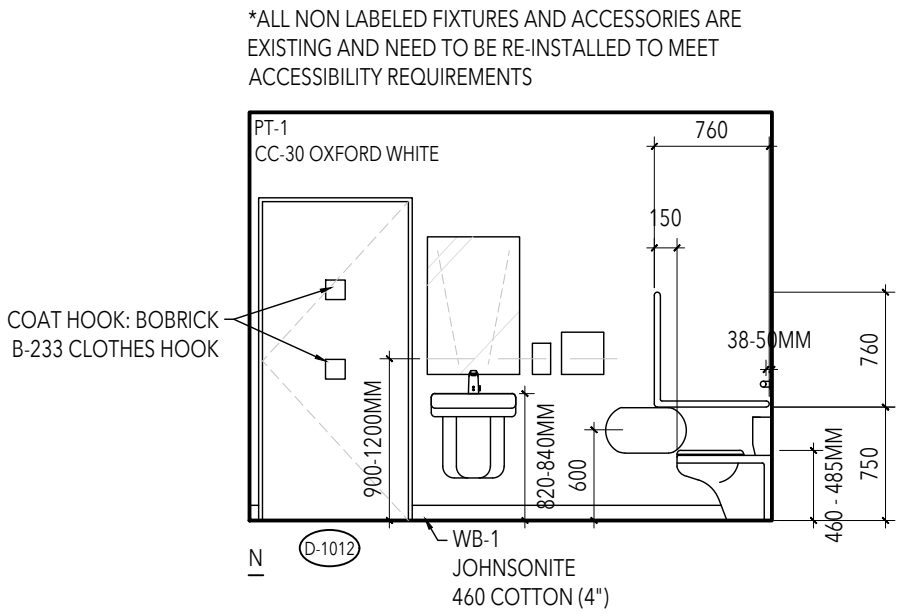
Seals:



WASHROOM CORRIDOR

SCALE = 1: 50

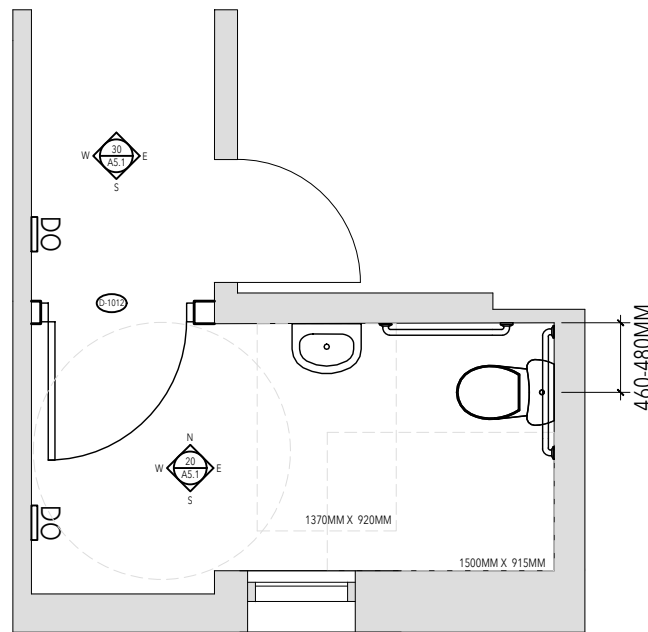
30  
A5.1



ACCESSIBLE WASHROOM

SCALE = 1: 50

20  
A5.1



ACCESSIBLE WASHROOM

SCALE = 1: 50

10  
A5.1

|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

Lorne Scots  
Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

|             |            |
|-------------|------------|
| Project No. | 24-002     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | NTS        |
| Plot Date   | 2024.07.24 |

ACCESSIBLE WASHROOM

Drawing No:

A5.1

Seals:

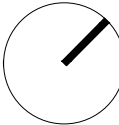
..\\..\\B. Design Development\\3.0 Schedules\\2024.07.18\_Door Hardware\\2024.07.17\_Regimental Museum\_Door Schedule.jpg

|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

Lorne Scots  
Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

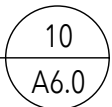
|             |            |
|-------------|------------|
| Project No. | 24-002     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | 1:50       |
| Plot Date   | 2024.07.18 |



DOOR HARDWARE

BASEMENT FLOOR RCP

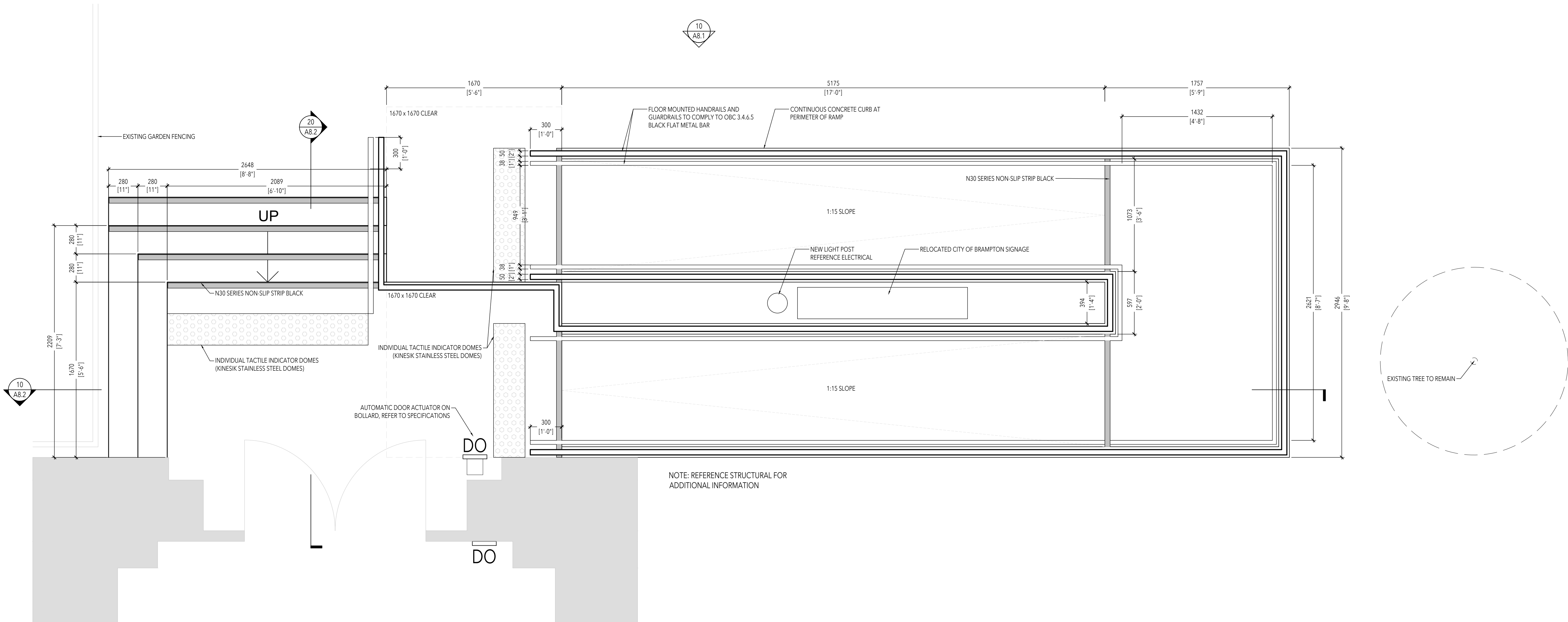
SCALE = 1: NTS



Drawing No:

A6.0

Seals:



|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

Lorne Scots  
Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

|             |            |
|-------------|------------|
| Project No. | 24-002     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | NTS        |
| Plot Date   | 2024.07.23 |

RAMP PLAN

RAMP PLAN

SCALE = 1: 20

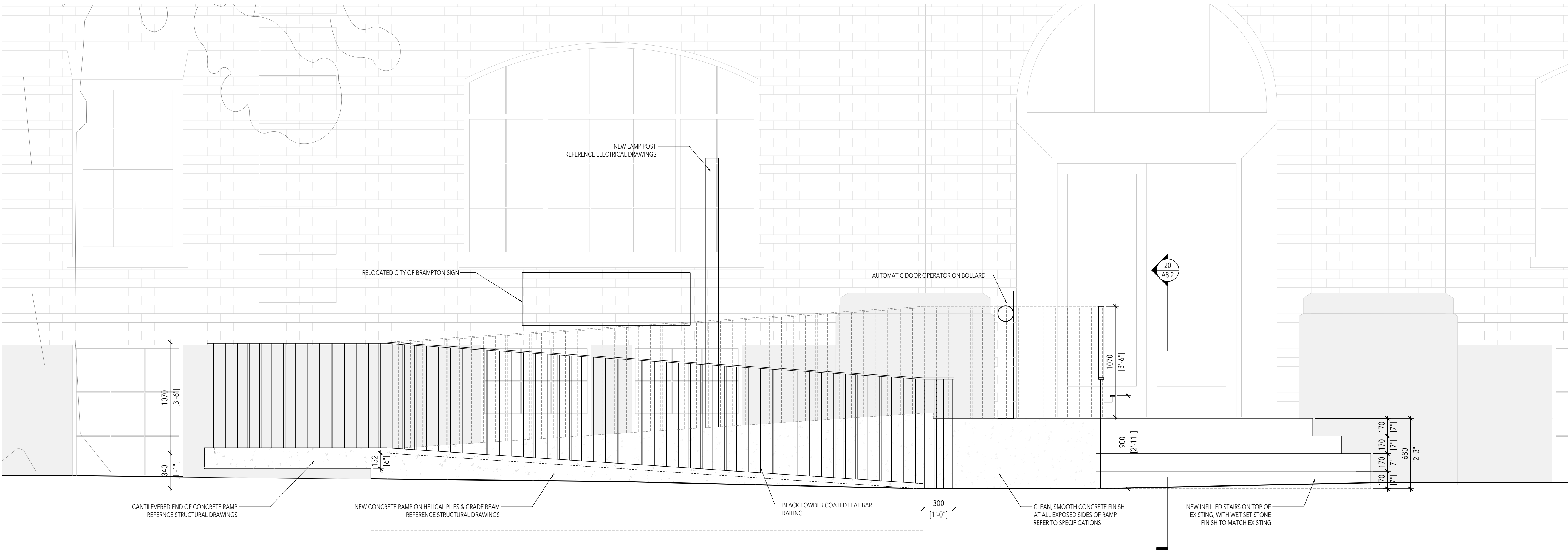
10  
A8.0

Drawing No:

A8.0



Seals:



|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

Lorne Scots  
Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

|             |            |
|-------------|------------|
| Project No. | 23-003     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | NTS        |
| Plot Date   | 2024.07.23 |

RAMP ELEVATION

RAMP ELEVATION

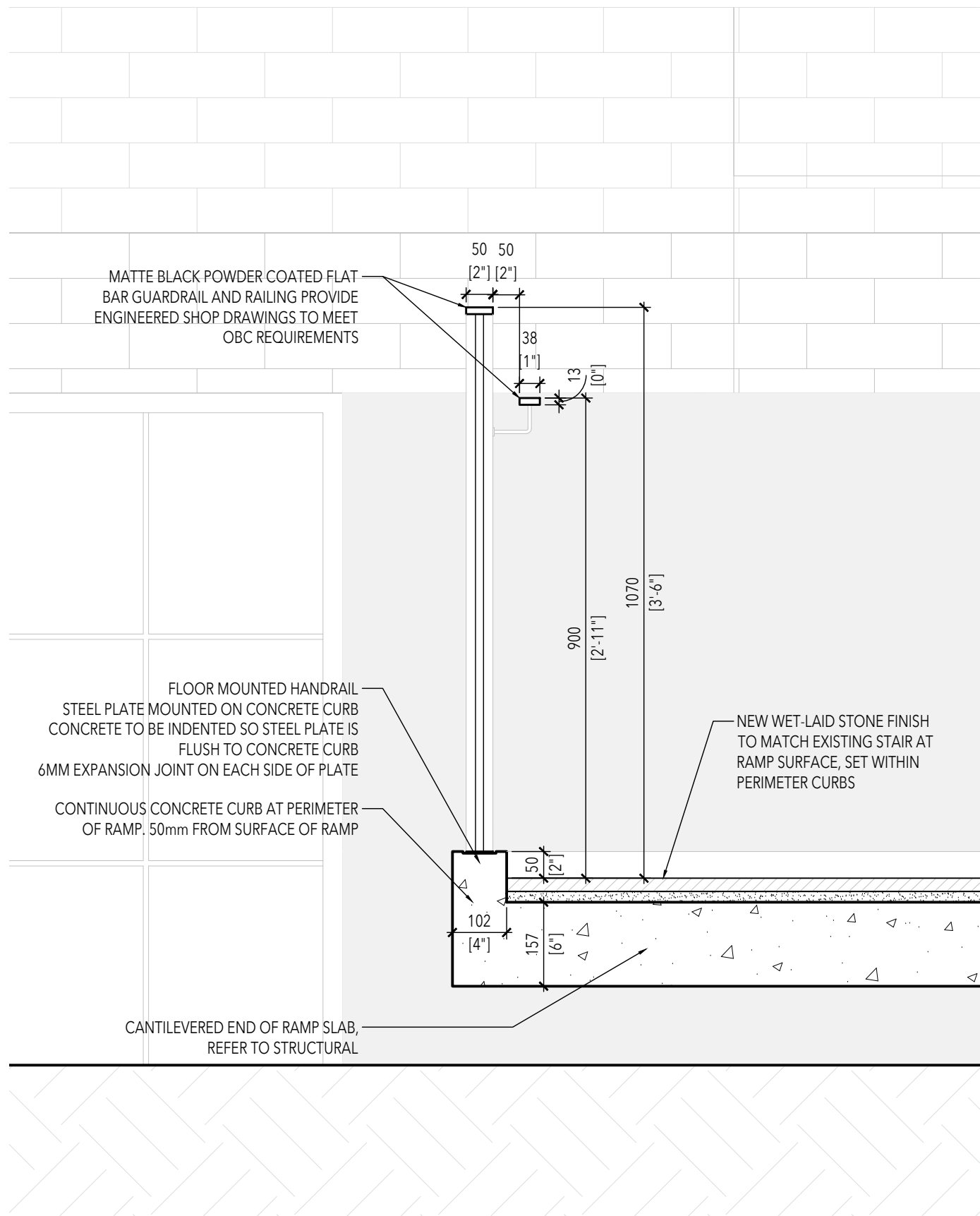
SCALE = 1: 20

10  
A8.1

Drawing No:

A8.1

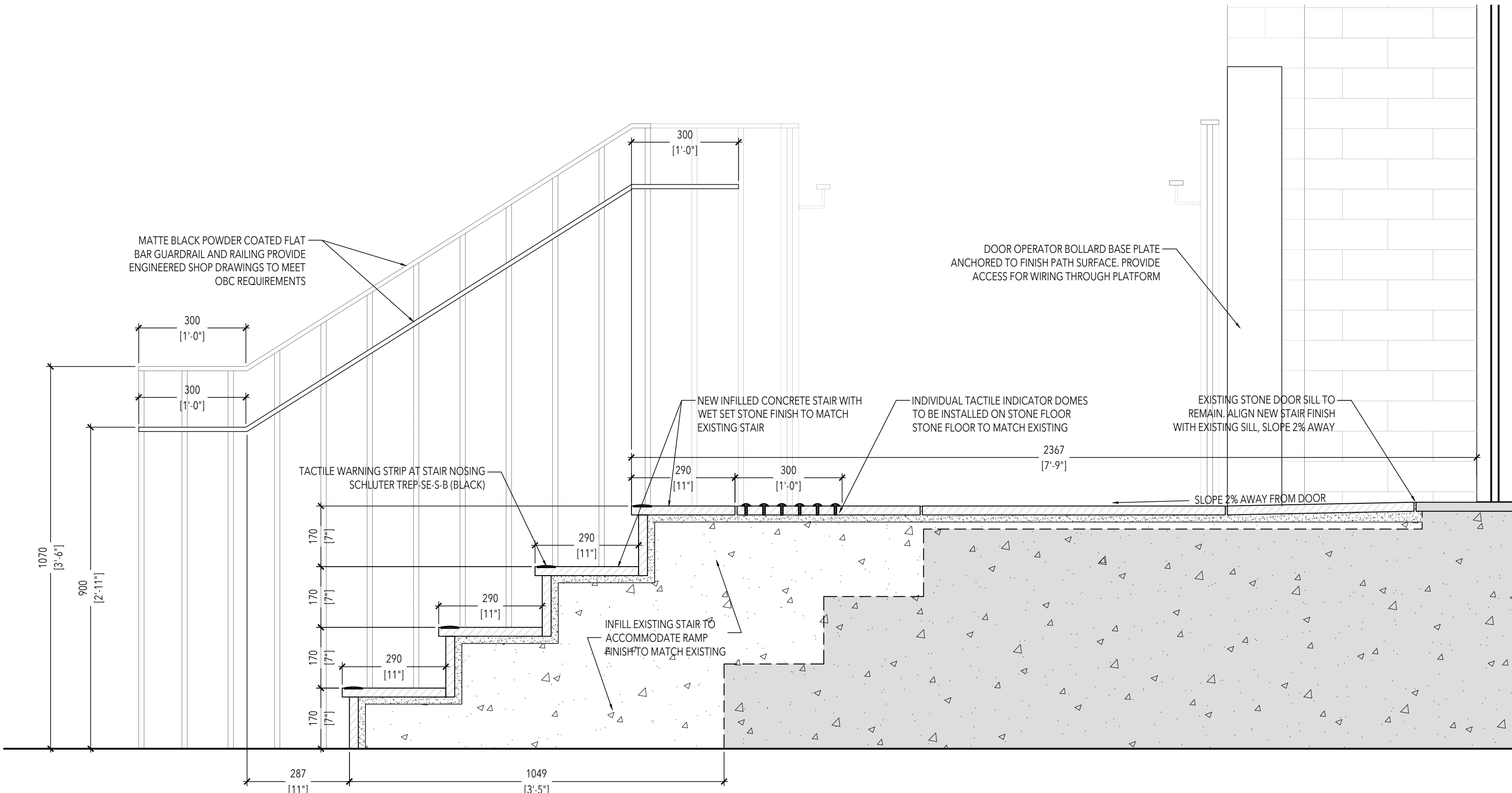
Seals:



EXTERIOR STAIR

SCALE = 1: 20

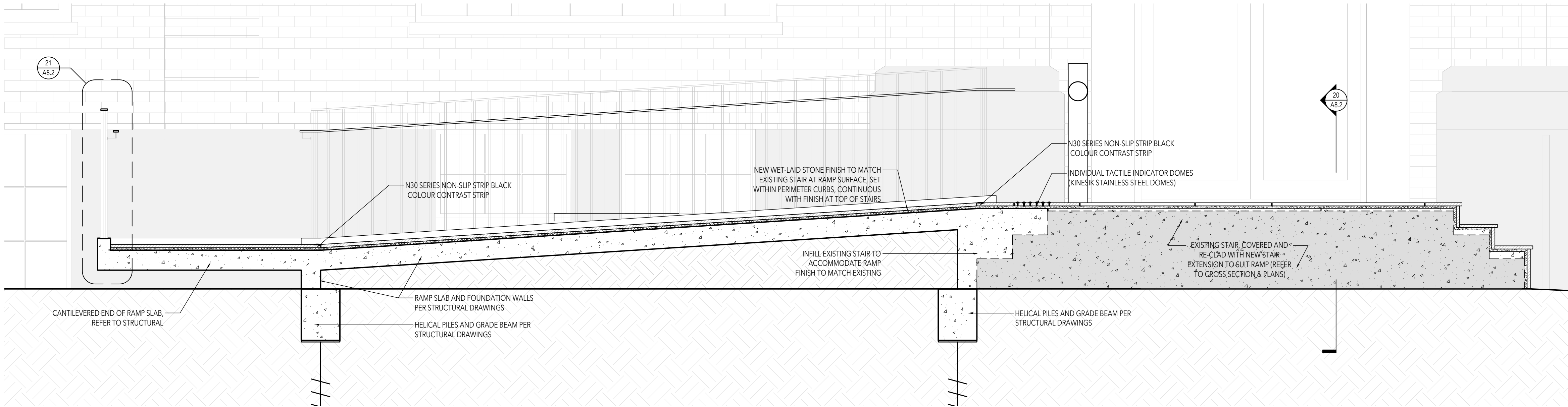
21  
A8.2



EXTERIOR STAIR

SCALE = 1: 10

20  
A8.2



EXTERIOR STAIR

SCALE = 1: 20

10  
A8.2

|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

Lorne Scots  
Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

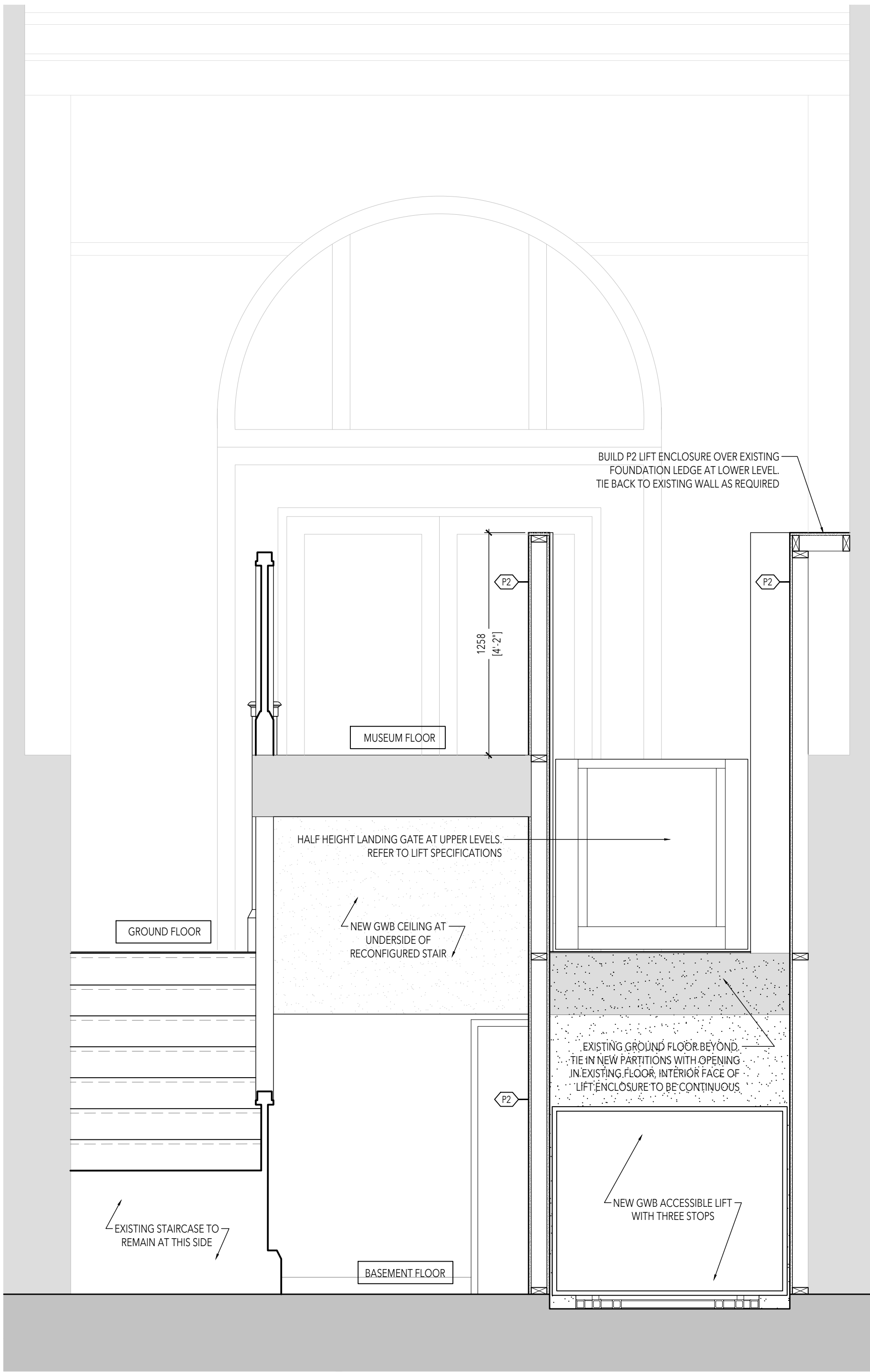
|             |            |
|-------------|------------|
| Project No. | 23-003     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | NTS        |
| Plot Date   | 2024.07.23 |

DETAILS

Drawing No:

A8.2

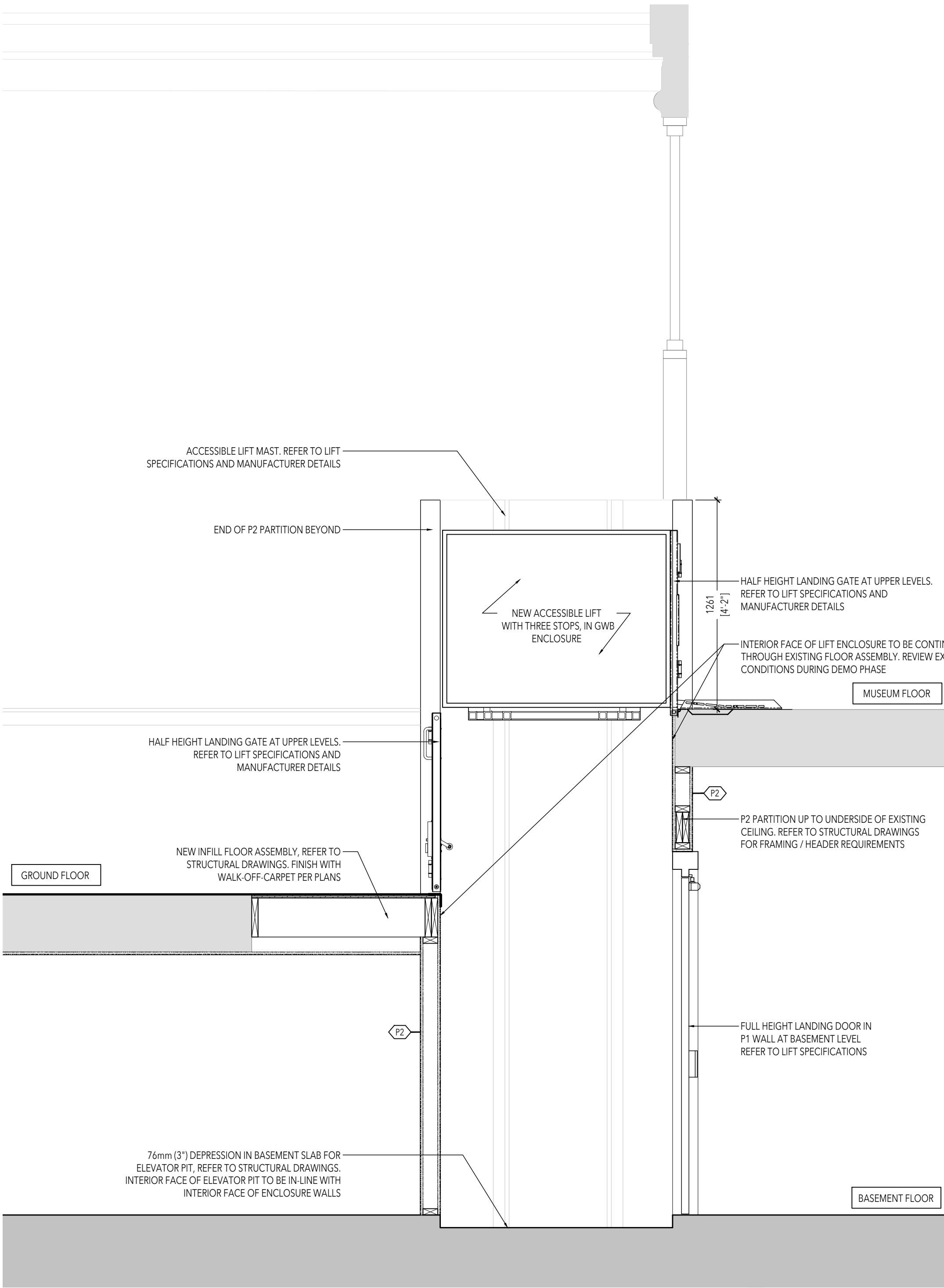
Seals:



INTERIOR SECTION C

SCALE = 1: 20

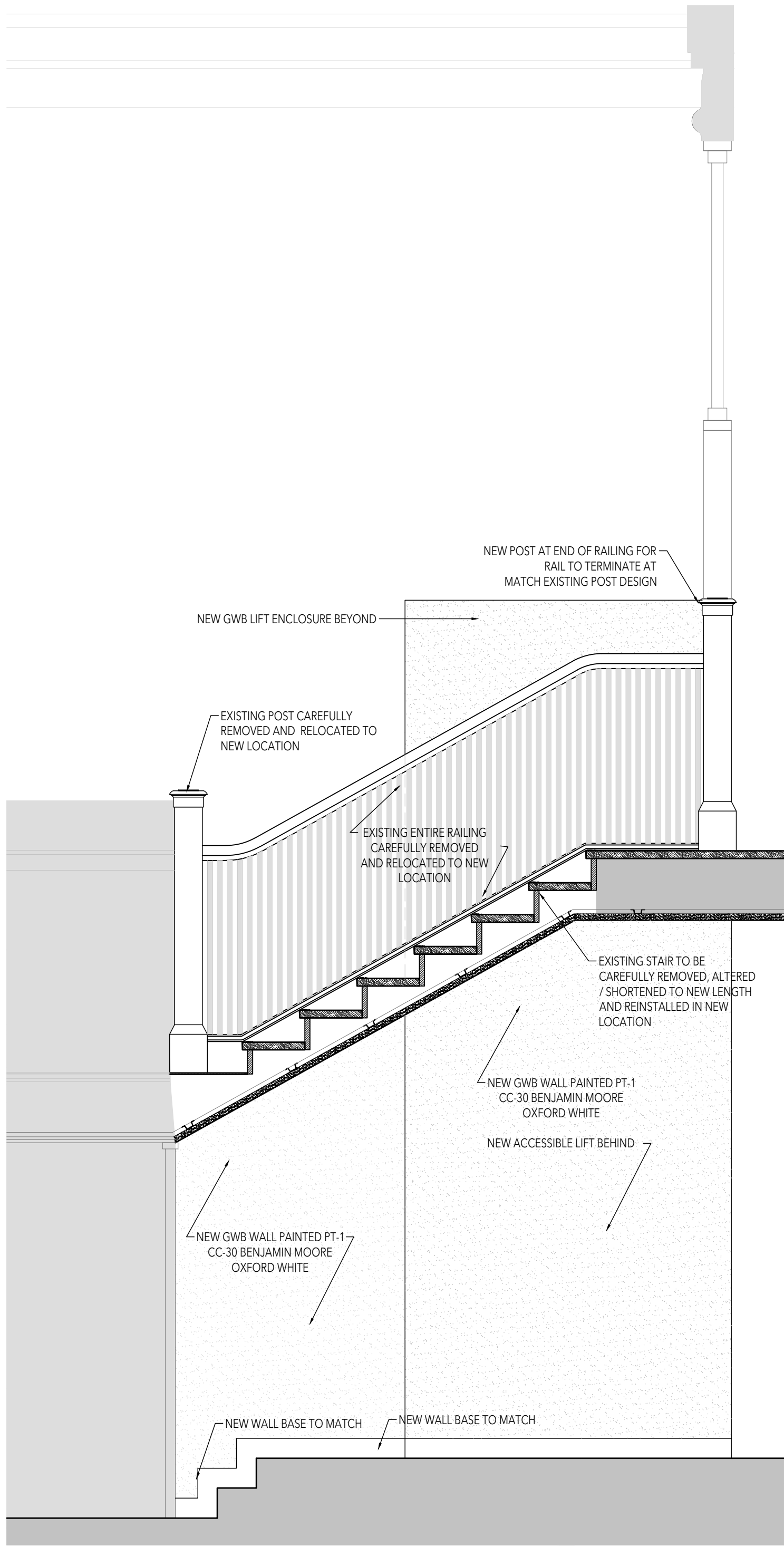
12  
A8.3



INTERIOR SECTION B

SCALE = 1: 20

11  
A8.3



INTERIOR SECTION A

SCALE = 1: 20

10  
A8.3

|     |                 |            |
|-----|-----------------|------------|
| 01  | Permit & Tender | 2024.07.24 |
| No. | Issued for      | Date       |

Lorne Scots  
Regimental Museum

Project Address:  
55 Queen Street East,  
Brampton L6W 2A8

|             |            |
|-------------|------------|
| Project No. | 23-003     |
| Drawn by    | TT         |
| Reviewed by | MS         |
| Scale       | NTS        |
| Plot Date   | 2024.07.23 |

INTERIOR SECTIONS

Drawing No:

A8.3

## PART TWO - HERITAGE PERMIT APPLICATION:

### HERITAGE PERMIT APPLICATION FORM

In accordance with the Ontario Heritage Act a heritage permit must be issued by City Council for all proposals to erect, remove or alter the exterior of buildings, structures or other features described as heritage attributes within the scope of a heritage designation by-law.

City staff and the Brampton Heritage Board review all applications and then submit them to City Council for approval.

City Council has the authority under the Ontario Heritage Act to approve any heritage application either with or without conditions or to refuse the permit application entirely.

Please provide the following information (type or print)

#### A. REGISTERED OWNER

NAME OF REGISTERED OWNER(S) CITY OF BRAMPTON, Kanagsabai Balakanthan

TELEPHONE NO. HOME ( ) BUSINESS: (416) 806-2756 FAX: ( )

E-MAIL ADDRESS: Kanagasabai.Balakanthan@brampton.ca

MAILING ADDRESS:

#### B. AGENT

(Note: Full name & address of agent acting on behalf of applicant; e.g. architect, consultant, contractor, etc)

NAME OF AGENT(S) Luc Bouliane

TELEPHONE NO. HOME ( ) BUSINESS: (416) 500-5927 FAX: ( )

E-MAIL ADDRESS: luc@arch-lb.com

MAILING ADDRESS: 1249 Dundas Street West, Toronto ON, M6J 1X6

*Note: Unless otherwise requested, all communications will be sent to the registered owner of the property.*



**C. LOCATION / LEGAL DESCRIPTION OF SUBJECT PROPERTY**

|  |                          |
|--|--------------------------|
| LOTS(S) / BLOCK(S) Lots 7/8                  |                          |
| CONCESSION NO. 1                             | REGISTERED PLAN NO. BR-2 |
| PART(S) NO.(S)                               | REFERENCE PLAN NO.       |
| ROLL NUMBER:                                 |                          |
| PIN (PROPERTY IDENTIFICATION NO.) 14036-0098 |                          |

**D. OVERALL PROJECT DESCRIPTION / SUMMARY OF PROPOSAL**

Work, both interior and exterior, to make the access to the museum ground floor accessible including the construction of an exterior ramp, installation of an interior accessible lift, and modifications to an existing washroom.

## E. DESCRIPTION OF WORKS

(Please briefly describe the proposed works as they fit within one or more of the categories below; note the specific features that would be affected. Use separate sheets as required; attach appropriate supporting documentation; point form is acceptable):

**Rehabilitation and/or Preventative Conservation Measures** (e.g. repointing masonry; note which heritage attributes and features would be impacted and where, materials to be used, specifications and techniques):

Rehabilitation for Accessibility Upgrades

See attached Heritage Impact Assessment (Hobson 2024)

**Major Alterations, Additions and/or New Construction** (note which attributes to be impacted, location of work, materials to be used, specifications and techniques):

Accessibility upgrades to front entrance and lower level washroom.

See attached Heritage Impact Assessment (Hobson 2024)

**Restoration** (i.e. replicating or revealing lost elements and features; note which attributes to be impacted and where, materials to be used, specifications and techniques):

Part of the glazed partition wall in the entrance vestibule will be replicated to match the existing.

See attached Heritage Impact Assessment (Hobson 2024)

## F. SCOPE OF WORK IMPACTING HERITAGE PROPERTY

(Check all that apply)

NEW CONSTRUCTION IS PROPOSED ☒

DEMOLISH ☐

ALTER ☒

EXPAND ☐

RELOCATE ☐

## G. SITE STATISTICS (For addition and construction of new structures)

LOT DIMENSIONS      FRONTAGE \_\_\_\_\_ DEPTH \_\_\_\_\_

LOT AREA \_\_\_\_\_ m<sup>2</sup>

only new  
construction is  
an exterior ramp

EXISTING BUILDING COVERAGE \_\_\_\_\_ %

BUILDING HEIGHT      EXISTING \_\_\_\_\_ m

PROPOSED \_\_\_\_\_ m

BUILDING WIDTH      EXISTING \_\_\_\_\_ m

PROPOSED \_\_\_\_\_ m

ZONING DESIGNATION \_\_\_\_\_

OTHER APPROVALS REQUIRED: (Check off only if required)

MINOR VARIANCE (COA) \_\_\_\_\_

SITE PLAN APPROVAL \_\_\_\_\_

BUILDING PERMIT \_\_\_\_\_ X

CONSERVATION AUTHORITY \_\_\_\_\_

SIGN BYLAW APPROVAL \_\_\_\_\_

(Note: IF YES, other approvals should be scheduled after the Heritage Permit has been approved by City Council)

## H. CHECKLIST OF REQUIRED INFORMATION SUBMITTED

(Check all that apply)

- ☒ REGISTERED SURVEY
- ☒ SITE PLAN (showing all buildings and vegetation on the property)
- ☒ EXISTING PLANS & ELEVATIONS - AS BUILT
- ☒ PROPOSED PLANS & ELEVATIONS
- ☒ PHOTOGRAPHS
- ☐ MATERIAL SAMPLES, BROCHURES, ETC
- ☒ CONSTRUCTION SPECIFICATION DETAILS

## I. AUTHORIZATION / DECLARATION

I HEREBY DECLARE THAT THE STATEMENTS MADE HEREIN ARE, TO THE BEST OF MY BELIEF AND KNOWLEDGE, A TRUE AND COMPLETE PRESENTATION OF THE PROPOSED APPLICATION.

I UNDERSTAND THAT THIS HERITAGE PERMIT DOES NOT CONSTITUTE A BUILDING PERMIT PURSUANT TO THE ONTARIO BUILDING CODE.

I ALSO HEREBY AGREE TO ALLOW THE APPROPRIATE STAFF OF THE CITY OF BRAMPTON TO ENTER THE SUBJECT PROPERTY IN ORDER TO FULLY ASSESS THE SCOPE AND MERITS OF THE APPLICATION.

*(Property entry, if required, will be organized with the applicant or agent prior to entry)*

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
Date of Submission

Heritage Permit applications are submitted to the Planning, Design and Development Department, 3rd Floor Counter, Brampton City Hall,

The personal information on this form is collected under the authority of the *Ontario Heritage Act*, RSO 1990. The information will be used to process the Heritage Permit Application. Questions about the collection of personal information should be directed to the Heritage Coordinator, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, 905-874-3825.



**J. APPROVAL CHECKLIST**  
(Internal use only)

| Authority:               | Date: | Resolution: |
|--------------------------|-------|-------------|
| Brampton Heritage Board  | _____ | _____       |
| Planning Committee (PDD) | _____ | _____       |
| City Council             | _____ | _____       |