



Revised Agenda
Brampton Heritage Board

The Corporation of the City of Brampton

Date: Tuesday, October 15, 2024
Time: 7:00 p.m.
Location: Hybrid Meeting - Virtual Option & In-Person in Council Chambers – 4th Floor – City Hall
Members: Stephen Collie (Co-Chair)
Douglas McLeod (Co-Chair)
Nick Craniotis
Roy de Lima
Prianka Garg
Sharron Goodfellow
Hunyah Irfan
Dian Landurie
Christiana Nuamah
Naveed Suleman
Rajesh Vashisth
Paul Willoughby
Regional Councillor P. Vicente - Wards 1 and 5

For inquiries about this agenda, or to make arrangements for accessibility accommodations for persons attending (some advance notice may be required), please contact:

Chandra Urquhart, Legislative Coordinator, Telephone 905.874.2114, TTY 905.874.2130 cityclerksoffice@brampton.ca

Note: Meeting information is also available in alternate formats upon request.

1. Call to Order
2. Approval of Agenda
3. Declarations of Interest under the Municipal Conflict of Interest Act
4. Previous Minutes

- 4.1 Summary of Recommendations - Special Brampton Heritage Board - October 2, 2024

The Summary of Recommendations is listed for consideration by Planning and Development Committee on October 21, 2024 and approval by Council on October 30, 2024. The summary is provided for information.

5. Consent

There are no items under Consent

6. Presentations\Delegations

- *6.1 Delegation by David Eckler, Principal, AREA, Architects Rasch Eckler Associates Ltd. re: Heritage Permit Application (HPA) for 10254 Hurontario St., Brampton, Learment-C. Armstrong House

Added to the agenda and published on the City's website on October 15, 2024.

(See Item 9.2)

7. Sub-Committees

8. Designation Program

- *8.1 Report by Otmar Melhado, Heritage Planner, re: Intention to Designate under Part IV, Section 29 of the Ontario Heritage Act – 3448 Castlemore Road - Ward 10

Note: This Item was published on the City's website on October 15, 2024

Recommendations

9. Heritage Impact Assessment (HIA)

- 9.1 Report by Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment and Heritage Permit for 55 Queen Street East – Ward 3

Recommendations

- *9.2 Report by Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment and Heritage Permit Application for 10254 Hurontario Street – Ward 2

Note: This Item was published on the City's website on October 15, 2024

Recommendations

(See Item 6.1)

10. Correspondence

11. Other/New Business

12. Current Heritage Issues

- 12.1 Charlton Carscallen, Principal Planner/Supervisor, re: Update on Current Heritage Issues

13. Referred/Deferred Items

14. Information Items

15. Question Period

16. Public Question Period

15 Minute Limit (regarding any decision made at this meeting)

17. Closed Session

18. Adjournment

Next meeting: Thursday, November 19, 2024 at 7:00 p.m.



BRAMPTON

Summary of Recommendations Brampton Heritage Board - Special Meeting The Corporation of the City of Brampton

Wednesday, October 2, 2024

2. Approval of Agenda

HB033-2024

That the agenda for the Special Brampton Heritage Board meeting of October 2, 2024 be approved as published and circulated.

Carried

9. Heritage Impact Assessment (HIA)

9.1 HB034-2024

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, to the Special Brampton Heritage Board meeting of October 2, 2024, re: **Heritage Impact Assessment, 18 River Road – Ward 6**, be received;
2. That the Heritage Impact Assessment Report for 18 River Road, prepared by LHC Heritage Planning & Archaeology Inc, dated October, 2023 be deemed complete;
3. That, based on the recommendation of the HIA, Option 1 for the proposed severance (as described in this report) be selected as the preferred alternative; and,
4. That staff initiate the Heritage Designation process for the property, per HIA finding that it meets criteria 1 and 4 of the Ontario Regulation 9/06 and is eligible for designation under Section 29 Part IV of the Ontario Heritage Act.

Carried

9.2 HB035-2024

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning to the Special Brampton Heritage Board meeting of October 2, 2024, re: **Heritage Impact Assessment, 12 Rosegarden Drive Ward-10**, dated January 2024 be received;
2. That the Heritage Impact Assessment Report for 12 Rosegarden Drive, prepared by ATA Architects Inc., dated January 2024 be deemed complete; and,
3. That the following recommendations as per the Heritage Impact Assessment by ATA Architects Inc. be followed:
 - I. As a result of a fire at 12 Rosegarden Drive in 2023, which has rendered the building unsafe and made it impossible to salvage or restore, the building must be demolished;
 - II. A Commemoration of the property should be erected and placed in Gladstone Shaw Park, immediately west of the property. A Commemoration Plan to guide the commemorative strategy is required to be submitted and must adhere to the city's new Terms of Reference for Commemoration Plans.

Carried

9.3 HB036-2024

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, to the Special Brampton Heritage Board meeting of October 2, 2024, re: **Heritage Impact Assessment for proposed development at 8525 Mississauga Road– Ward 4**, be received;
2. That the Heritage Impact Assessment Report for the proposed Kaneff Subdivision on Part of the Lionhead Golf Club & Conference Centre Lands, 8525 Mississauga Road, prepared by Paul Dilse, Heritage Planning Consultant, dated June 28, 2023 be deemed complete;
3. That the following recommendations per the Heritage Impact Assessment be included in 2023 Kaneff's Draft Plan of Subdivision:
 - I. Measures including natural or human-made deterrents to movement of people from the proposed park in Block 72 across the buffer and up the hill into the camp should be explored. A Landscape architect should be involved to choose the planting of native thorny shrub roses along the southern edge of the buffer to impede movement and design an eight-foot

high chain link fence on which native Ontario vines can be grown where the turning circle and eventual alignment of Street A come close to the camp's southwest corner. Under the direction of a landscape architect, the buffer itself should be planted with native species to the southern latitudes of the Province to develop into a screen of vegetation as dense as the forest behind.

II. For apartment buildings rising above the highest point of land in Camp Naivelt, measures should be explored to soften the impression of their height on the skyline. Opportunities like green roofs, terraced elevations and curvilinear profiles should be explored to design cluster of point towers that would have lesser effect on the skyline than slab towers with larger floor plates. Floors above the camp's highest elevation could be clad in bird-friendly materials that resemble in color the pale blue or light gray shades of typical southern Ontario sky. Nighttime illumination of mechanical penthouses should be minimized; and,

4. That a historical interpretation on-site is recommended which involves following implementation recommendations:

I. Mounting site interpretation map of Eldorado Park and vicinity

II. Creation of a web page and an app on the cultural history of the Credit River Valley at Eldorado Park.

Carried

9.4 HB037-2024

1. That the report from Tom Tran, Heritage Planner, Integrated City Planning to the Special Brampton Heritage Board meeting of October 2, 2024, re: **Heritage Impact Assessment and Addendum, 11185 Airport Road – Ward 10**, be received;

2. That the following recommendations of the Heritage Impact Assessment prepared by Golder Associates dated October 21, 2021 be received:

I. The property is determined to have met four of nine criteria of O. Reg. 9/06 in design/physical value, historical/associative and contextual value, and therefore has cultural heritage value or interest (CHVI) and is worthy of Designation under Part IV of the Ontario Heritage Act;

3. That the following recommendation from the HIA addendum dated August 2024 be received:

- I. The preferred option to facilitate relocation and rehabilitation of the Sargent Farmhouse as a residence on a new lot in the subdivision is Option 2;
4. That the following recommendation as per the Heritage Impact Assessment Addendum by WSP dated August 8, 2024 be received and followed:
 - Option 2: Disassembly of the Sargent Farmhouse and recreation of the front façade and west façade using salvaged brick as a cladding on a new larger dwelling;
5. That a Heritage Conservation Plan, Documentation & Salvage Report and Commemoration Plan be prepared according to the City's Terms of Reference as conditions of the Draft Plan Approval and prior to issuance of the Demolition Permit; and,
6. That a Heritage Delisting Report be presented for the Board's acceptance prior to the issuance of the Demolition Permit for 11185 Airport Road.

Carried

11. Other New Business

11.1 HB038-2024

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, to the Special Brampton Heritage Board meeting of October 2, 2024, re: **Heritage Permit Application for 7 & 9 Wellington Street E –Ward 3**, be received; and,
2. That the Heritage Permit application for 7 & 9 Wellington Street E for repairs to the heritage stone wall, Building 9 (Jail) window replacement and other miscellaneous site improvements at Peel Museum & Archives, be approved.

Carried

11.2 HB039-2024

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, to the Special Brampton Heritage Board Meeting of October 2, 2024, re: **Repeal of Heritage Designation for 8990 McLaughlin Road South- Ward 4**, be received;
2. That the recommendation to begin the process to repeal the designation by-law for the property be approved;

3. That the staff be authorized to publish and serve the Notice of Intention to repeal the designation by-law for the property at 8990 McLaughlin Road S in accordance with the requirements of the Ontario Heritage Act;
4. That if no objections to the repeal of the designation by-law are received, a repeal of the designation by-law be passed to de-designate the subject property; and
5. That following the repeal of the designation by-law, staff be authorized to serve a notice of intention to demolish portions of the existing building, following the recommendations from the recently approved Heritage Impact Assessment for the property.

Carried

18. Adjournment

HB040-2024

That the Brampton Heritage Board do now adjourn to meet again for a regular meeting on Tuesday, October 15, 2024 at 7:00 p.m.

Carried



Delegation Request

For Office Use Only:

Meeting Name:

Meeting Date:

Please complete this form for your request to delegate to Council or Committee on a matter where a decision of the Council may be required. Delegations at Council meetings are generally limited to agenda business published with the meeting agenda. Delegations at Committee meetings can relate to new business within the jurisdiction and authority of the City and/or Committee or agenda business published with the meeting agenda. **All delegations are limited to five (5) minutes.**

Attention: City Clerk's Office, City of Brampton, 2 Wellington Street West, Brampton ON L6Y 4R2

Email: cityclerksoffice@brampton.ca Telephone: (905) 874-2100 Fax: (905) 874-2119

Meeting: ☐ City Council ☐ Planning and Development Committee
☐ Committee of Council ☒ Other Committee:

[Brampton Heritage Board](#)

Meeting Date Requested: [October 15, 2024](#)

Agenda Item (if applicable): [9.2](#)

Name of Individual(s): [David Eckler](#)

Position/Title:

[Principal, AREA, Architects Rasch Eckler Associates Ltd.](#)

Organization/Person
being represented:

[Authorized agent for the property owner, 10254 Hurontario Street Holdings Inc.](#)

Full Address for Contact: [AREA, Architects Rasch Eckler Assoc Ltd.
15 Lola Road, Toronto, Ontario M5P 1E5](#)

Telephone: [416-418-3828](#)

Email: deckler@areaarchitects.ca

Subject Matter to be Discussed:	Heritage Permit Application (HPA) for 10254 Hurontario St., Brampton, Learment-C. Armstrong House , Brampton, based on the 'Scoped' Cultural Heritage Impact Assessment (CHIA or HIA) last rev. October 8, 2024.
Action Requested:	Approval of the HPA for the Phase 1 component of Interior Renovations & Basement Alterations/Addition (on side elevations) proposed for the heritage building's adaptive re-use into a daycare.

A formal presentation will accompany my delegation: ☐ Yes ☒ No

Presentation format: ☐ PowerPoint File (.ppt) ☐ Adobe File or equivalent (.pdf)
☐ Picture File (.jpg) ☐ Video File (.avi, .mpg)

☐ Other:

Additional printed information/materials will be distributed with my delegation: ☐ Yes ☒ No ☐ Attached

Note: Delegates are requested to provide to the City Clerk's Office **well in advance of the meeting date:**

- (i) 25 copies of all background material and/or presentations for publication with the meeting agenda and /or distribution at the meeting, and
- (ii) the electronic file of the presentation to ensure compatibility with corporate equipment.

Submit by Email

Once this completed form is received by the City Clerk's Office, you will be contacted to confirm your placement on the appropriate meeting agenda.

Personal information on this form is collected under authority of the Municipal Act, SO 2001, c.25 and/or the Planning Act, R.S.O. 1990, c.P.13 and will be used in the preparation of the applicable council/committee agenda and will be attached to the agenda and publicly available at the meeting and on the City's website. Questions about the collection of personal information should be directed to the Deputy City Clerk, Council and Administrative Services, 2 Wellington Street West, Brampton, Ontario, L6Y 4R2, tel. 905-874-2115.



Report
Staff Report
The Corporation of the City of Brampton
10/15/2024

Date: 2024-10-15

Subject: **Designation Update Report – 3448 Castlemore Road- Thomas Burrell Grist Mill, Ward 10**

Contact: Otmar Melhado, Heritage Planner, Integrated City Planning

Report number: Planning, Bld & Growth Mgt-2024-748

RECOMMENDATIONS:

1. That the report from Otmar Melhado, Heritage Planner, to the Brampton Heritage Board Meeting of October 15, 2024, re: **Intention to Designate under Part IV, Section 29 of the Ontario Heritage Act – 3448 Castlemore Road - Ward 10**, be received;
2. That staff be authorized to publish and serve the Notice of Intention to Designate the property at 3448 Castlemore Road in accordance with the requirements of the Ontario Heritage Act;
3. That, if no objections are received for the Notice of Intention to Designate, a by-law be passed to Designate the subject property;
4. That, if any objections to the designation are received that cannot be resolved, staff be directed to refer the proposed designation to the Ontario Land Tribunal; and
5. That staff be authorized to attend any hearing process held by the Ontario Land Tribunal in support of Council's decision to designate the subject property.

OVERVIEW:

- **3448 Castlemore Road was included as a Listed property on Brampton's Municipal Register of Cultural Heritage Resources on October 15, 2015.**
- **A motion to Designate the property under Part IV of the Heritage Act was passed by the Brampton Heritage Board at the meeting of October 20, 2015 (HB075-2015).**
- **A motion to receive the minutes of the Heritage Board Meeting were approved by council at the Brampton City Council Meeting on November 10, 2015 (C352-2015).**
- **Despite the motions from Council and the Board, a Notice of Intention to Designate (NOID) was not posted at the time. Given the lapse in time, Staff are now seeking direction to proceed and to issue the Notice and complete the Designation process.**

BACKGROUND:

Under Bill 23, *The More Homes Built Faster Act*, Municipalities are required to determine whether properties included in their Heritage Register as Listed properties will proceed to Designation. Bill 23, as well as Bill 200, *the Homeowner Protection Act*, require that this review be completed before January 1, 2027. If the municipality does not issue a Notice of Intention to Designate by that date, the property will automatically be removed from the Heritage Register and will be ineligible for re-listing for a period of five years.

Heritage Staff have been completing a detailed review of the Heritage Register and have identified the former Thomas Burrell Grist Mill at 3448 Castlemore Road as an appropriate candidate for Designation. The property consists of valley-lands and flood plain that are ineligible for development and Designation will help ensure the long-term conservation of the Grist Mill's remains. Further, the property at 3448 Castlemore Road was recommended for Designation in 2015. However, the formal Notice of Intention to Designate was not issued and the Designation by-law has not been passed.

Property Description

The City-owned property at 3448 Castlemore Road is approximately 39 acres located within valley land situated at the north-west corner of Goreway Drive and Castlemore Road. A tributary of the West Humber River meanders in a south-easterly direction through the subject lands, from Airport Road and the former hamlet of Stanley's Mills. The mill site was located above the tributary on the west side. The land is undeveloped open space, conveyed as floodplain to the City of Brampton.

A motion to Designate the property under Part IV of the Heritage Act was passed by both the Brampton Heritage Board and City Council in 2015. The motion directed staff to proceed with designation of the property. However, a public Notice of Intention to Designate has not yet been issued and the property remains on the Brampton Municipal Register of Cultural Heritage Resources as a Listed property.

The Ontario Heritage Act enables municipalities to pass by-laws to designate properties of cultural heritage value or interest. Designation under Part IV of the Act is a way of publicly acknowledging a property's value to a community and ensures the conservation of important places for the benefit and enjoyment of present and future generations. It also allows municipalities to conserve and manage properties through the Heritage Permit process enabled under Sections 33 (alterations) and 34 (demolition or removal) of the Act. In determining whether a property is of cultural heritage value or interest, the municipality is required to consult Ontario Regulation 9/06, "Criteria for Determining Cultural Heritage Value or Interest", prescribed under section 29(1)(a) of the Act. A property may be designated if it meets two or more of the following criteria:

- 1) The property has design value or physical value because it,
 - a. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - b. displays a high degree of craftsmanship or artistic merit,
 - c. demonstrates a high degree of technical or scientific achievement.
- 2) The property has historical value or associative value because it,
 - a. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - b. yields, or has the potential to yield, information that contributes to an understanding of a community or culture,
 - c. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
- 3) The property has contextual value because it,
 - a. is important in defining, maintaining or supporting the character of an area,
 - b. is physically, functionally, visually or historically linked to its surroundings,
 - c. is a landmark.

CURRENT SITUATION:

Reasons for Designation

Design/Physical Value:

The cultural heritage value of 3448 Castlemore Road is related to its design/physical value as a representative example of a 19th century grist mill site in Brampton. The site contains the ruins of the circa 1842 Thomas Burrell Grist Mill. The mill foundations and sluice trenches are still present, visible and understandable as remnants of a mill

complex. The sluice trenches were used to divert water from the mill pond and mill race into the mill to drive the equipment. The site is also distinguished by open meadows and groves of trees.

Historical/Associative Value

The property also has cultural heritage value for its association with at least three generations of the Burrell family, and as an early business serving the Township of Toronto-Gore area, and the changing landscape of the former Township of Toronto-Gore from the early settlements of Euro-Canadian settlers, to the rise of small villages and industries that in turn evolved into open farmland and the horse industry in Peel.

Thomas Burrell purchased Lot 11 in Concession 7 of Toronto Gore down on Concession 7, Lot 11 in Toronto Gore in 1838 and settled there with his wife. He became a very successful local businessman. He constructed a tannery and then the mill that was opened in 1842. The mill was situated in the middle of the valley, above the river. It was accessible from today's Airport Road by a long lane, as well as from Goreway Drive.

Prior to Thomas's death, he sold the Mill to his son Christopher. Christopher then sold it to another local businessman, Gordon Tucker, but bought it back from him a few years later after a stint as the local postmaster. Christopher operated the mill with his sons and the Burrell Family retained ownership until 1892.

The land and mill continued to operate as a farm although the mill fell into disuse at the end of the 19th Century. The property was purchased for a residential development prior to 2004, and the lands that currently comprise 3448 Castlemore Road were conveyed to the City of Brampton in October 2004 in part because of the significant cultural heritage.

Contextual Value:

The property also holds contextual value as it is important in defining a significant cultural heritage landscape with its scenic open space, meandering stream, vegetation and intact vistas.

Description of Heritage Attributes/Character Defining Elements

The heritage attributes/character defining elements include, but are not limited to:

- remnants of the mill (e.g. foundation walls);
- trenches for sluices that directed water to the mill;
- meandering tributary of the West Humber River; and
- scenic open space.

CORPORATE IMPLICATIONS:

Financial Implications:

There are no financial implications for the City.

STRATEGIC FOCUS AREA:

Culture and Diversity: Through a celebration of the City's past, heritage conservation helps to create a sense of connectivity and continuity across the community and helps nurture a shared identity and feeling of belonging for individuals.

CONCLUSION:

It is recommended that staff be directed to complete the process for Designation of the property under Section 29, Part IV of Heritage Act and proceed with issuance of the Notice of Intention to Designate the property.

Authored by:

Reviewed by:

Otmar Melhado
Heritage Planner, Integrated City
Planning

Jeffrey Humble
Manager, Integrated City Planning

Approved by:

Approved by:

Henrik Zbogor
Director
Integrated City Planning

Steve Ganesh
Commissioner
Planning, Building & Growth Management

Attachments:

- Attachment 1 – Designation Report for 3448 Castlemore Road, Thomas Burrell Grist Mill

**Heritage Report:
Reasons for Heritage Designation**



**3448 Castlemore Road
Squire Thomas Burrell Grist Mill Site/Burrell's Hollow**

October 2015

Municipal Address	3448 Castlemore Road
PIN Number	142202940
Roll Number	10-12-0-002-20712-0000
Legal Description	PL 43M1652 BLK 107 (formerly Lot 11 Con. 7, EHS)
Ward Number	10
Property Name	Squire Thomas Burrell Grist Mill Site/Burrell's Hollow
Current Owner	The Corporation of the City of Brampton
Owner Concurrence	-
Current Zoning	Floodplain (F)
Current Use(s)	Open Space
Construction Date	1842
Notable Owners or Occupants	Thomas and Christopher Burrell
Heritage Resources on Subject Property	Ruin, cultural heritage landscape, potential archaeological resources
Relevant Council Resolutions	-
Additional Information	-

1. Current Situation:

The property at 3448 Castlemore Road is worthy of designation under Part IV of the *Ontario Heritage Act* for its cultural heritage value or interest. The property meets the criteria for designation prescribed by the Province of Ontario under the *Ontario Heritage Act*, Regulation 9/06 for the categories of design/physical value, historical/associative value, and contextual value.

2. Description of Property

The property at 3448 Castlemore Road is approximately 39 acres located within valley land situated at the north-west corner of Goreway Drive and Castlemore Road. A tributary of the West Humber River meanders in a south-easterly direction through the subject lands, from Airport Road and the former hamlet of Stanley's Mills. The mill site was located above the tributary on the west side. The land is undeveloped open space, conveyed as floodplain to the City of Brampton.

3. Statement of Cultural Heritage Value or Interest

Design/Physical Value:

The cultural heritage value of 3448 Castlemore Road is related to its design/ physical value as an example of a 19th century grist mill site in Brampton. The site contains the ruins of the circa 1842 Thomas Burrell Grist Mill. There are deep trenches still present, which served as sluices to direct the water to the mill, as well as remnants of foundation walls. The site is also distinguished by open meadows and groves of trees.

A grist mill is a mill that grinds grains such as wheat, rye and oats, into flour. In the 19th century they were most often water powered, thus located by streams and rivers. Such mills were crucial to Euro-Canadian settlements in Ontario. Typically, in a water powered grist mill, water was diverted from the nearby water source and contained in a mill pound. Once diverted, the water would be controlled by various channels (sluices) and sluice gates, and the water movement would power the water wheel that would, in turn, power the movement of the mill stones to ground the grains into flour.

Historical/Associative Value:

The cultural heritage value also lies in its association with at least three generations of the Burrell family, an early business serving the Township of Toronto-Gore area, and the changing landscape of the former Township of Toronto-Gore from the early

settlements of Euro-Canadian settlers, to the rise of small villages and industries that in turn evolved into open farmland and the horse industry in Peel.

On October, 31, 1828, the 200 acres of Lot 11, Concession 7 in the Township of Toronto Gore was granted by the Crown to Bishop Strachan as part of the Clergy Reserve lands. On February 10, 1838, John Sanderson bought the land from Bishop Strachan, and on May 15, 1838, he sold it to Thomas Burrell for £1000.00.

William Thomas Burrell was born in 1782 to a well-respected family in Lincolnshire, England. Thomas held a prominent position in the Lincolnshire Militia, where his main responsibility was training soldiers. He married Ann Standerlin while still in England and they immigrated to Upper Canada around 1816, and arrived in Peel County around 1825 with their young son, Christopher.

Thomas quickly became involved in local politics, and wrote to *The Colonial Advocate* in the fall of 1827, suggesting that the “infallible remedy against executive influence is that inhabitants of York should refuse to deal with any merchant or tradesman who voted for government placemen.” Burrell was a supporter of William Lyon Mackenzie, and using his knowledge from Lincolnshire Militia experience, not only trained his own sons to fight but also helped to train some of the other rebels.

Once Burrell and his wife settled down on Concession 7, Lot 11 in Toronto Gore, he became a very successful local business man. One of his first undertakings was a tannery. In 1842, he built a substantial grist mill, which had two runs of grindstones. The mill was located in the middle of the valley, above the river. It was accessible from today's Airport Road by a long lane, as well as from Goreway Drive.

The mill supplied flour to the neighbouring communities of Stanley's Mills, Castlemore and Tullamore, as well as other parts of the Township. In addition to the tannery and grist mill, Burrell sold his grains and skins wholesale, and also ran a store, brewery, smithy (blacksmith's shop) and other properties. Further cementing his role in the community, he was appointed a magistrate.

However, not every transaction went smoothly. Thomas Burrell had a mortgage with John Sanderson, a Methodist preacher, who kept coming for payments. Thomas Burrell became suspicious, added up his receipts and found he overpaid by £600. The following is the inscription he wrote for his tombstone:

*This is a world full of deceit, of illness and pride.
Men use religion as a cloak their dark deed for to hide.*

*Therefore be cautious with whom you deal and take him for a rogue.
And never put your trust in man but place it in the Lord.
There justice will no doubt be done to every mortal man.*

Thomas Burrell died on October 29, 1858 when he fell through a hole in the floor of the mill. He was buried in St. Mary's Anglican cemetery (Lot 17, Con. 6 E., Chinguacousy Township), in Tullamore. It is not known for certain if his tombstone was actually inscribed with the above verse, as the original monument for Thomas Burrell, his wife Ann and their son William cannot be found in the cemetery. Apparently the monument was damaged and was placed behind a barn located in Lot 17 Con. 6E Chinguacousy Township and a new one was to be erected. However, the original disappeared and there is no replacement stone for them currently in the cemetery.

It was Thomas's oldest son, Christopher Burrell, who eventually took over the running and ownership of the mill and property. Thomas's other son, William Burrell, did not take over the mill because he was killed when his team of horses bolted at the sound of a boat whistle when he was delivering a wagon load of grain to the waterfront in Toronto.

Christopher first married in 1835, and soon after immigrated to the United States with his wife, Catherine, in search of cheap land in Illinois. While in the U.S., both his wife and brother-in-law died, and Christopher returned to Peel in the early 1850's with his new wife (and former sister in law), Elizabeth, and young son, Richard. They rejoined the family interests in running the mill, and it is Christopher who is credited for adding a distillery to the family business. The new distillery, by all accounts, made a very fine whiskey. Workmen were allowed at least one drink per day, but anyone found drunk was immediately dismissed. Prior to his death in 1858, Thomas Burrell sold the holdings to his son Christopher on February 19, 1855 for £2000.

A mere 2 years after buying the mill from his father, Christopher sold the mill to Gordon Tucker for £4000 in March 1857. In 1859, Christopher Burrell was named the postmaster of Stanley's Mills (and again from 1864-1886), and was also a magistrate like his father. In 1861, the Census listed the occupation of Christopher Burrell as "Private". The Burrell family was perhaps no longer in the milling business, although he continued on as a resident of considerable influence, donating land for St. Mary's Anglican cemetery in Tullamore, and then founding a local branch of the Methodist Church in 1859.

However, for unknown reasons Christopher Burrell bought back the mill few years later from Gordon Tucker. By the 1871 Census, his son, William, is listed as a miller, and in

the 1877 Peel County Atlas Christopher Burrell is noted as the owner of the entire property again. Although there were many employees and head millers, the business was essentially run by his sons, William and Richard, until 1895.

Through the 1860s to 80s, the Toronto-Gore Township and the village of Stanley's Mills was a thriving centre, reaching a peak 19th century population of 175. It was widely reported to have the best farmland, and was along a well-travelled route to Toronto so it had numerous inns, taverns, distilleries and mills. Several Township Council meetings are known to have taken place at Burrell's Hollow during this time.

But by the mid-1880s, the village of Stanley's Mills began to decline as did the fortunes of the mill. This may be partially attributed to the development of the railways that were located in the Town of Brampton, thus encouraging business to relocate to more central areas. The passing of first the *Dunkin Act* of 1864, which allowed communities to enact prohibition, as well as the 1878 *Canada Temperance Act*, may have also negatively impacted the mill.

Although the County of Peel initially voted against prohibition in 1876, local prohibitionists called for and were able to convince the municipal governments to pass a number of local ordinances and regulations that effectively closed down a number of taverns and distilleries in the area. In 1874, there were 15 licensed taverns for travelers in Toronto-Gore, and by 1885, only one of those taverns was still licensed to serve alcohol.

By 1888, Burrell's mill operation was described as a flour mill only, with no references to a distillery. In 1885, Christopher Burrell sold all 200 acres "excepting the mill property" to Noah Chant in March 1885 for \$11,150. The remaining mill property itself was sold a few years later in 1892 by Richard Burrell to John Chant for \$300.

Christopher Burrell died on January 13, 1893, at age 82. His wife, Elizabeth, died on January 17, 1876, at age 67. They are buried in St. Mary's Anglican Cemetery, Tullamore. Richard Burrell and his wife, Anne Noble, moved to Caledon where he continued in the grain business and owned a successful store in Lockton. He died in 1929.

The Chant family held onto and farmed the original 200 acres for 15 years, until they sold it to Stephen Payne in 1910 for \$10,000. In 1928, Albert Payne split the property and sold the west 100 acres to James Hosie, and the east 100 acres to Robert and Martha Peacock. It is the east half of the property that contains the remains of the mill,

and while the property may have been used for farming, it was also known as the remains of the Burrell mill.

Eventually in 1956, James E. Cotrelle purchased the east half of the site and it became part of Cottrelle's family farm and horse stables known as "Springpark". The property was purchased for a residential development prior to 2004, and the lands that currently comprise 3448 Castlemore Road were conveyed to the City of Brampton in October 2004 in part because of the significant cultural heritage.

Contextual Value:

The property also holds contextual value as it is important in defining a significant cultural heritage landscape with its scenic open space, meandering stream, vegetation and intact vistas.

4. Description of Heritage Attributes/Character Defining Elements

The heritage attributes comprise all façades, architectural detailing, construction materials and associated building techniques, as well as significant landscape elements and important vistas. The detailed heritage attributes/character defining elements include, but are not limited to:

- remnants of mill (e.g. foundation walls);
- trenches for sluices that directed water to the mill;
- meandering tributary of the West Humber River; and
- scenic open space.

5. Alteration History and Heritage Integrity

The following are the known alterations to the subject property:

- The mill was closed or abandoned in the late 19th century.

6. Archaeological Potential

The subject property has archaeological potential because there are known archaeological sites on or within 300 meters of the property, there are water sources within 300 metres of the property, and the property has been recognized for its cultural heritage value.

7. Policy Framework

In the context of land use planning, the Province of Ontario has declared that the wise use and management of Ontario's cultural heritage resources is a key provincial interest.

A set of Provincial Policy Statements (PPS) provides planning policy direction on matters of provincial interest in Ontario. These statements set the policy framework for regulating the development and use of land. The relevant heritage policy statement is PPS 2.6.1, which states that "significant built heritage resources and significant cultural heritage landscapes shall be conserved". PPS 2.6.1 is tied to Section 3 of the *Ontario Planning Act*, which stipulates that land use planning decisions by municipalities "shall be consistent with" the Provincial Policy Statements.

The policy is also integrated with the Ontario Heritage Act. This piece of legislation grants municipalities powers to preserve locally significant cultural heritage resources through heritage designation. Decisions as to whether a property should be designated heritage or not is based solely on its inherent cultural heritage value or interest.

City Council prefers to designate heritage properties with the support of property owners. However, Council will designate a property proactively, without the concurrence of a property owner as required. These principles are reflected in Brampton's Official Plan. The relevant policies are as follows:

Section 4.10.1.3: All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the Ontario Heritage Act to help ensure effective protection and their continuing maintenance, conservation and restoration.

Section 4.10.1.5: Priority will be given to designating all heritage cemeteries and all Class A heritage resources in the Cultural Heritage Resources Register under the Ontario Heritage Act.

Section 4.10.1.6: The City will give immediate consideration to the designation of any heritage resource under the Ontario Heritage Act if that resource is threatened with demolition, significant alterations or other potentially adverse impacts.

In 2013, the City of Brampton adopted a new Strategic Plan to guide the evolution, growth and development of the city over the next two decades. Heritage preservation is one of the strategic priorities of the Strategic Plan.

These principles are also guided by recognized best practices in the field of heritage conservation.

8. Resources

Canadian Census Rolls, www.ancestry.ca

City of Brampton. *Municipal Register of Cultural Heritage Resources Listing Candidate Summary Report: Squire Thomas Burrell Grist Mill Site*. 2008.

Clergy and Crown Reserves, www.ancestry.ca

Hazen, T. R. *Historically: How to Site a Mill*.
<http://www.angelfire.com/journal/millrestoration/site.html>

Peel Art Gallery, Museum + Archives (PAMA)
Brampton Daily Times and Conservator, 1928-29
Bull, William Perkins. *From Booze to Business*.
William Perkins Bull Collection (Boxes 30, 36)

Pope, J. H. *Illustrated historical atlas of the County of Peel, Ont.* Toronto: Walker & Miles, 1877.

Tavender, George. *From This Year Hence: A History of the Township of Toronto Gore 1818-1983*. Toronto: The Byrant Press Ltd., 1984.

9. Appendix



Figure 1: Aerial photograph with 3448 Castlemore Rd highlighted (Source: City of Brampton)



Figure 2: Map with 3448 Castlemore Rd highlighted (Source: City of Brampton)

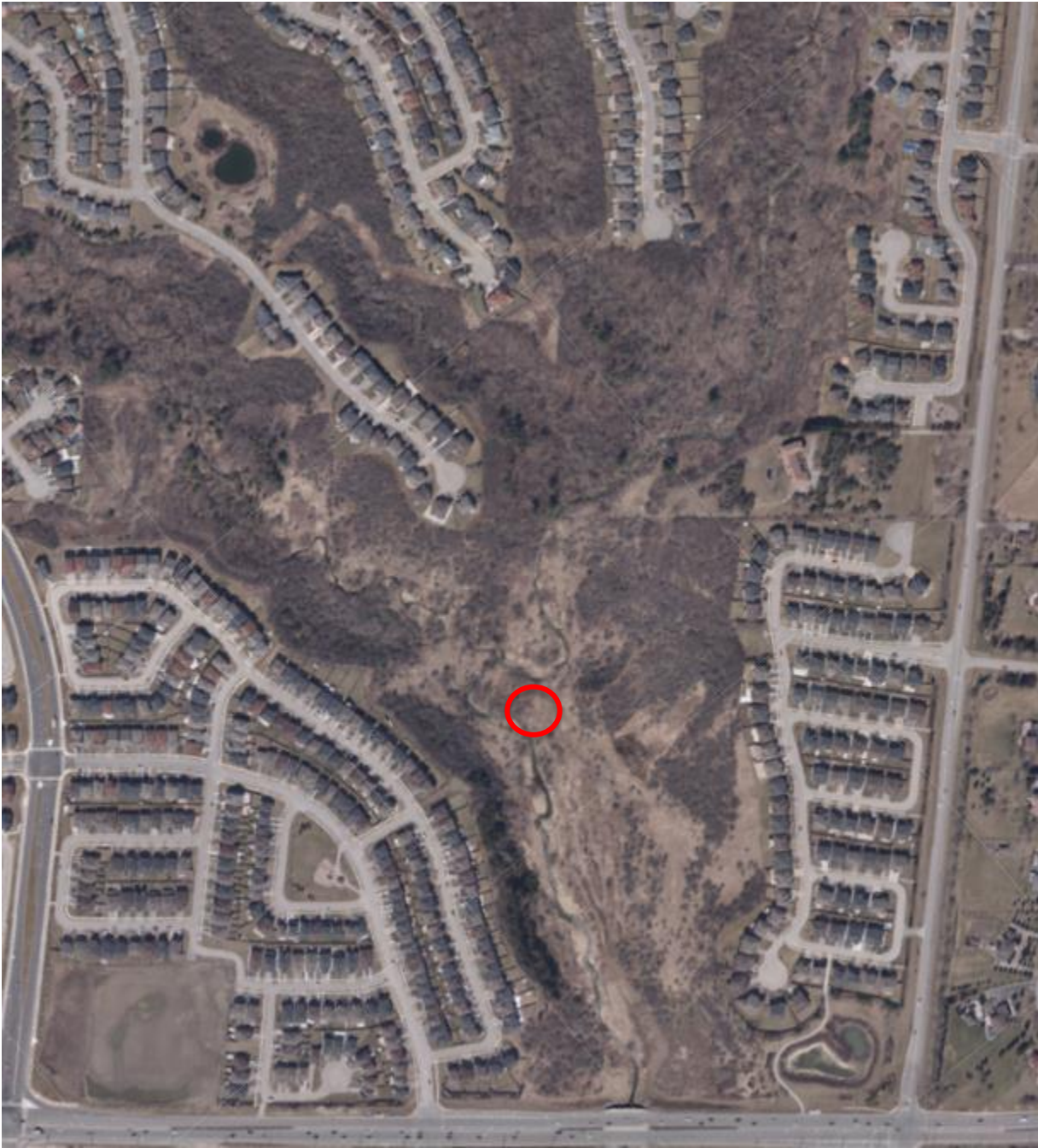


Figure 3: Aerial photograph showing general area of mill (Source: City of Brampton)



Figure 4: Subject lands from the 1877 Peel County Atlas



Figure 5: Remnants of mill foundation, 2008 (Source: City of Brampton)



Figure 6: Mill remnant, 2008 (Source: City Brampton)



Figure 7: Portion of sluice trenching leading to the mill, 2008 (Source: City of Brampton)



Figure 8: Portion of sluice trenching leading to the mill, 2008 (Source: City of Brampton)



Figure 9: General view of cultural heritage landscape taken from taken from Castlemore Road north-west, 2008 (Source: City of Brampton)



Report
Staff Report
 The Corporation of the City of Brampton
 10/15/2024

Date: 2024-09-23

Subject: **Recommendation Report for Heritage Impact Assessment and Heritage Permit for 55 Queen St E – Ward 3**

Contact: Arpita Jambekar, Heritage Planner, Integrated City Planning

Report number: Planning, Bld & Growth Mgt-2024-770

RECOMMENDATIONS:

1. That the report from Arpita Jambekar, Heritage Planner to the Brampton Heritage Board Meeting of October 15, 2024, re: **Recommendation Report for Heritage Impact Assessment and Heritage Permit for 55 Queen St E – Ward 3**, be received;
2. That the Heritage Impact Assessment for 55 Queen St E prepared by Megan Hobson, dated September 11, 2024 be received; and
3. That the Heritage Permit application, for accessibility upgrades to the front entrance and lower-level washroom at 55 Queen St E, be approved as recommended in the Heritage Impact Assessment, subject to the following conditions:
 - I. that the architect provide detailed drawings & specifications for the replicated glazed partition wall and wheelchair ramp railings to heritage staff for final review, prior to the issue of building permits;
 - II. that the architect and/or heritage consultant monitors demolition and construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing; and
 - III. that the arborist monitors tree protection during construction of the wheelchair ramp.

OVERVIEW:

- 55 Queen St E was designated under the Ontario Heritage Act under By-Law 9-82 in 1982.
- In accordance with Section 33 of the Ontario Heritage Act, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.
- A Heritage Impact Assessment was requested to provide details of the proposed changes to the building, to elaborate on how those changes affect its heritage attributes, and to provide mitigation measures for those impacts.
- The HIA demonstrated that the proposed accessibility upgrades to the building will have minimal impacts on the heritage attributes, are compatible with the architectural character of the building, and will improve access to all levels of the building through its primary entrance.
- The HIA recommends mitigation strategies and conditions for the Heritage Permit to ensure that the approach is generally consistent with the Standards and Guidelines for Conservation for Historic places in Canada.
- The HIA is considered to be complete as per the City's Terms of Reference.

BACKGROUND:

The Heritage Impact Assessment Report along with the Heritage Permit application were required for proposed accessibility upgrades to the former Carnegie Library building. In accordance with Section 33 of the Ontario Heritage Act, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.

Lorne Scots Regimental Museum at 55 Queen St E, also known as the former Brampton Carnegie Library, was designated under Part IV of the Ontario Heritage Act in 1982 for its architectural and historical significance.

The heritage attributes as referenced in the By-law include:

- Beaux-Arts Classical details
- brick exterior walls including the running frieze and attic
- rusticated stone foundation
- main entrance including the brick pilasters, portico, circular arch, running frieze, and recessed pediment
- large windows framed with "basket handle" arches
- mansard roof

The former Carnegie Library was constructed in 1906-07 in the Beaux-Arts style. It was designed by prominent Toronto architects Wickson & Gress and funded by the Carnegie foundation. An addition was constructed on the east side of the library in 1930s, and new public library was built next door in 1974. However, the Old Library was closed in 1974 and, since then, the building has been repurposed for uses by several non-profit organizations. It currently houses the Lorne Scots Regimental Museum. The interior, except for the front entrance vestibule, has been extensively altered. The exterior is well preserved.

CURRENT SITUATION:

Heritage Consultant Megan Hobson and Architects Lebel & Boulaine, were retained by the City of Brampton to complete the Heritage Impact Assessment and the Heritage Permit application received on September 12, 2024. (See Attachments 1 and 2).

The proposed accessibility upgrades are to facilitate accessibility for the exhibition gallery on the main floor and washrooms on the lower level as follows:

- i. construction of a wheelchair ramp at the front entrance on Queen Street;
- ii. modifications to the central and left side stairs inside the front vestibule to accommodate a wheelchair lift to serve the main floor, vestibule, and lower level; and
- iii. renovation of an existing washroom on the main level to create an accessible washroom.

The HIA identified the following impacts and recommended mitigation strategies for impacts to the interior and exterior heritage attributes:

- i. To minimize impacts to the roots of the existing trees on the Queen Street frontage from the foundations of the proposed wheelchair ramp, a tree protection zone has been determined and below-grade disturbances in the area must be limited by using helical piles for the wheelchair ramp foundation.
- ii. Impacts are identified to the left side of the entry steps where the proposed wheelchair ramp will connect with the existing stairs and landing.
- iii. The proposed ramp is located away from the existing above-grade basement window openings to mitigate impact on the rusticated stone foundation wall.
- iv. Impacts from modifications to stairs inside the entrance vestibule and removal of the glazed partition wall at the top of the stairs shall be minimized by re-using the salvaged oak railings and newel posts on the rebuilt stairs and partially replicating the glazed partition wall to match existing.

The proposed changes represent an approach that will have the least impact on heritage features, is compatible with the architectural character of the building, and will improve access to all levels of the building through its primary entrance. The HIA recommends approval of the Heritage Permit application, subject to the following conditions:

1. that the architect provide detailed drawings and specifications for the replicated glazed partition wall and wheelchair ramp railings to heritage staff for final review, prior to the issue of building permits;
2. that the architect and/or heritage consultant monitors demolition and construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing; and
3. that the arborist monitor tree protection during construction of the wheelchair ramp.

CORPORATE IMPLICATIONS:

Financial Implications:

The maintenance, and renovations of City owned properties has been budgeted for, and no additional expenses have been accrued.

Other Implications:

The City is maintaining and upgrading their recreation and heritage properties for public use and enjoyment.

STRATEGIC FOCUS AREA:

The approval of Heritage Impact Assessment and Heritage Permit Application within this report supports the Culture and Diversity Focus Area. The recommendations therein facilitate the conservation and necessary upgrades of a rare and unique heritage resource that is an example of the short-lived Beaux Arts style in the City and contributes to the understanding of Brampton's early history.

CONCLUSION:

It is recommended that the Heritage Impact Assessment for 55 Queen St E – Ward 3 be received by the Brampton Heritage Board as being complete and the Heritage Permit Application be approved.

Authored by:

Reviewed by:

Arpita Jambekar
Heritage Planner
Integrated City Planning

Jeffrey Humble, RPP, MCIP
Manager
Integrated City Planning

Approved by:

Approved by:

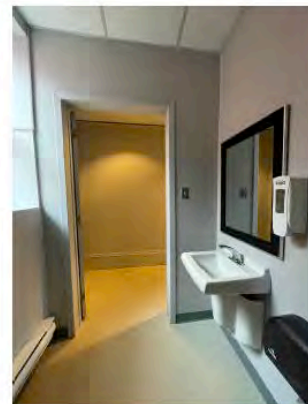
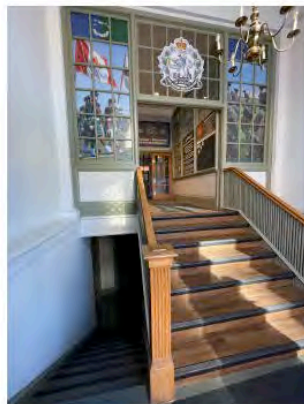
Henrik Zbogar, RPP, MCIP
Director
Integrated City Planning

Steve Ganesh, RPP, MCIP
Commission
Planning, Building and Growth Management

Attachments:

- Attachment 1 – Heritage Impact Assessment report by Megan Hobson, dated September 11, 2024
- Attachment 2 – Heritage Permit Application

HERITAGE IMPACT ASSESSMENT



LORNE SCOTS REGIMENTAL MUSEUM (FORMER CARNEGIE LIBRARY)
55 QUEEN STREET EAST, BRAMPTON

ACCESSIBILITY UPGRADES_11 SEP 2024

MEGAN HOBSON CAHP
M.A. DIPL. HERITAGE CONSERVATION
Built Heritage Consultant
mhobson@bell.net

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EXECUTIVE SUMMARY

Hobson Heritage Consulting was retained by the City of Brampton to provide a *Heritage Impact Assessment* (HIA) for proposed accessibility upgrades to the former Brampton Carnegie Library at 55 Queen Street East. The subject property is a City-owned Designated heritage building that is currently occupied by the Lorne Scots Regimental Museum.

The proposed accessibility upgrades include the following:

- construction of an exterior wheelchair ramp at the front entrance on Queen Street
- interior alterations to the stairs inside the front entrance to accommodate a wheelchair lift
- interior alterations to an existing washroom on the lower level to create a barrier free washroom

Accessibility upgrades are beneficial because they support continued use of the heritage building as a public building. The building was constructed in 1907 and has a raised foundation. Existing access to the building through the main entrance on Queen Street therefore presents accessibility challenges including exterior steps up to the front door and interior stairs inside the entrance vestibule up to the main floor where the exhibition space is and down to the lower level where the washrooms are.

The impacts are identified as:

- impacts to the roots of existing trees on the Queen Street frontage from the foundations of the wheelchair ramp
- impacts to the left side of the entry steps where the proposed wheelchair ramp will connect with the existing stairs and landing
- impacts to the stairs inside the entrance vestibule and glazed partition wall at the top of the stairs

Appropriate mitigation strategies have been proposed to minimize adverse impacts including:

- a tree protection zone has been determined and below-grade disturbances in this area will be limited by using helical piles for the wheelchair ramp foundation
- the oak railings and newel posts that must be removed to accommodate the passenger lift will be salvaged and reused on the rebuilt stairs
- the glazed partition wall that must be removed to accommodate the passenger lift will be partially replicated to match the existing

Therefore, it is recommended that the Heritage Permit Application be approved, subject to the following conditions:

1. that the architect provides detailed drawings & specifications for the replicated glazed partition wall and wheelchair ramp railings to heritage staff for final review, prior to the issue of building permits
2. that the architect and/or heritage consultant monitors demolition and construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing
3. that the arborist monitors tree protection during construction of the wheelchair ramp

1.0 INTRODUCTION

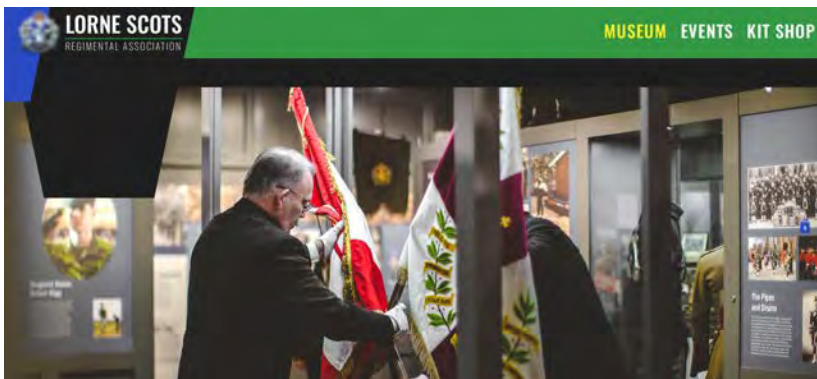
Preparation of this report included site investigation carried out by Lebel & Boulaire, a review of relevant heritage policies and applicable legislation, historical research, and consultation with heritage staff at the City of Brampton. Research assistance was provided by Nick Moreau, Archivist at the Region of Peel Archives.

2.0 LOCATION & SITE DESCRIPTION



FRONT ENTRANCE ON QUEEN STREET – accessibility upgrades are proposed for the main entrance to the building

The subject property is situated in Downtown Brampton at the corner of Queen Street East and Chapel Street. The subject building is the former Brampton Carnegie Library that has been adaptively reused as a City-owned facility. The main floor of the building has recently opened to the public as the new location of the Lorne Scots Regimental Museum.



LORNE SCOTS REGIMENTAL MUSEUM – relocated to the Old Library in May 2024



3.0 HERITAGE PLANNING CONTEXT

The subject property was Designated under Part IV of the *Ontario Heritage Act* in 1982 for its architectural and historical significance as the former Brampton Carnegie Library. It was designed by Wickson & Gregg Architects in 1906 and constructed in 1907.

The *Designation By-law* is attached as an appendix to this report. Typical of some older by-laws enacted prior to the 2005 changes to the Ontario Heritage Act, it has a very brief Statement of Significance and does not have a list of heritage attributes. For the purposes of this *Heritage Impact Assessment*, potential heritage attributes are understood to be original exterior and interior features.

In 2013, Steven Burgess Architects prepared a *Conservation Plan* for the building. The report recommended minor repairs be carried out over the next five years. A *Heritage Permit* was issued in 2017 and the recommended conservation work appears to have been undertaken. The building appears to be in very good condition.

The subject building is adjacent to the Old Brampton Fire Hall and Armouries. This cluster of built heritage resources occupies a prominent corner and is adjacent to the Brampton Public Library.



CORNER OF QUEEN STREET & CHAPEL STREET – Old Carnegie Library, Fire Hall & Armouries

4.0 CULTURAL HERITAGE VALUE

The subject property is the former Brampton Carnegie Library constructed in 1906-07 in a Beaux-Arts style. It was designed by prominent Toronto architects Wickson & Gregg and funded by the Carnegie Foundation. The Carnegie foundation was established by the American businessman and philanthropist Andrew Carnegie and provided funds for construction of 111 public libraries across Ontario in the early 20th century. Wickson & Gregg designed three Carnegie Libraries in Ontario in Paris, Brampton, and Toronto (with Alfred Chapman).¹

In the 1930s an addition was built on the east side of the library in a similar style. In 1974 a new public library was built next door and the Old Library was closed and the building re-purposed for municipal uses. Since 1974 it has housed several different non-profit organizations. The interior, except for the front entrance vestibule, has been extensively altered. The exterior is well preserved.

¹ Robert Hill, entry for Alfred Frank Wickson in the *Biographical Dictionary of Architects in Canada 1800-1950*.



HISTORIC PHOTOS SHOWING THE ORIGINAL EXTERIOR AND INTERIOR – exterior features remain intact but the interior has been extensively altered. The glazed partition wall visible in the 1911 photo of the interior remains and will be impacted by the proposed changes. [Region of Peel Archives]

The reasons for Designation statement included in the *Designation By-law* is provided below:

REASONS FOR DESIGNATION

Built in 1906, this building was constructed in the Beaux Arts style, similar to its sibling in Toronto. This style exhibits classical features such as a rusticated basement level, constructed of large stone. A main living storey which is constructed of bricks is divided above by a running frieze, creating the appearance of a third level, or attic. These three divisions are traditional and it is intriguing to see the practice carried out on a small scale. The most interesting feature is the main entrance which illustrates the

architectural plasticity of the Beaux Arts style. Brick simulated pilasters create a porch-like entrance area. It is topped with a circular arch, than branches from the running frieze. But ironically it recedes back instead of projecting forward as most pediments do. Large windows framed with "basket-handle" arches adequately light the reading areas. The slanting Mansard roof is of a French origin. The Old Carnegie Library is a rare example of the short lived Beaux Art Style in Brampton.

Heritage Attributes referenced in the 1982 Designation By-law:

- Beaux-Arts Classical details
- brick exterior walls including the running frieze and attic
- rusticated stone foundation
- main entrance including the brick pilasters, portico, circular arch, running freize, recessed pediment
- large windows framed with "basket handle" arches
- mansard roof

It should be noted that no interior elements are mentioned in the Reasons for Designation. Most likely because interior alterations were anticipated so that the building could be rehabilitated for other uses.

5.0 PROPOSED ALTERATIONS

The proposed accessibility upgrades include changes to the main entrance so that the exhibition gallery on the main floor and the washrooms on the lower level will be fully accessible.

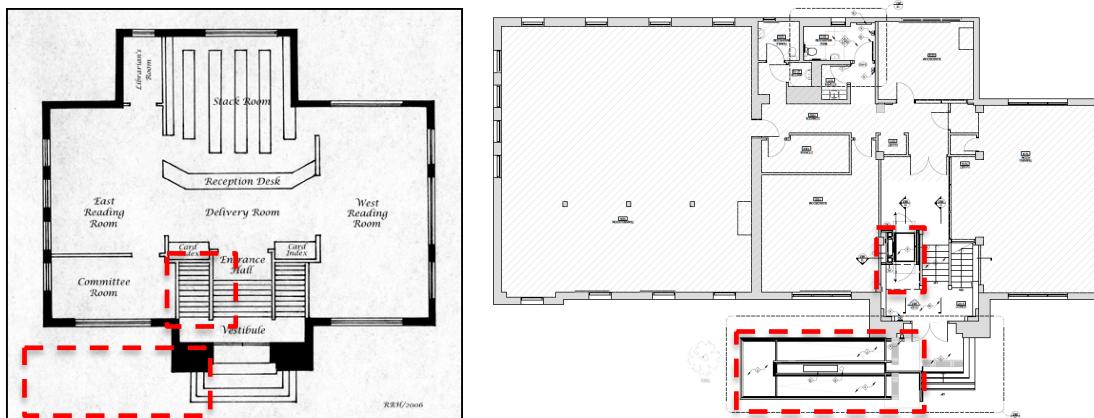
The proposed changes include the following:

- construction of a wheelchair ramp at the front entrance on Queen Street
- modifications to the stairs inside the front vestibule to accommodate a wheelchair lift to serve the main floor, vestibule, and lower level
- renovation of an existing washroom on the lower level to create an accessible washroom.

Drawings and renderings for the proposed changes have been prepared by Lebel & Boulaine and are included in the appendix of this report.

Exterior Wheelchair Ramp

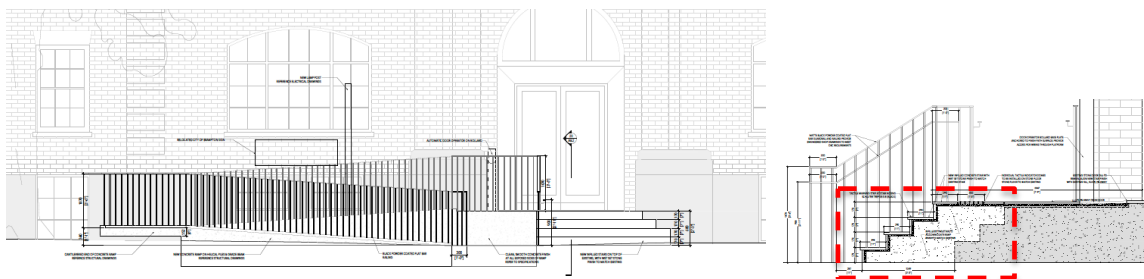
A new concrete wheelchair ramp will be installed to provide access to the front entrance. The top of the ramp will match the level the vestibule floor level, eliminating the step at the exterior door threshold. The foundation for the ramp has been designed so that it will not impact any of the existing trees in front of the building. A simple black steel railing is proposed.



PROPOSED EXTERIOR WHEELCHAIR RAMP & INTERIOR LIFT

Left: Sketch of the original interior 1st floor layout by Hulley – annotated to show the impacted areas

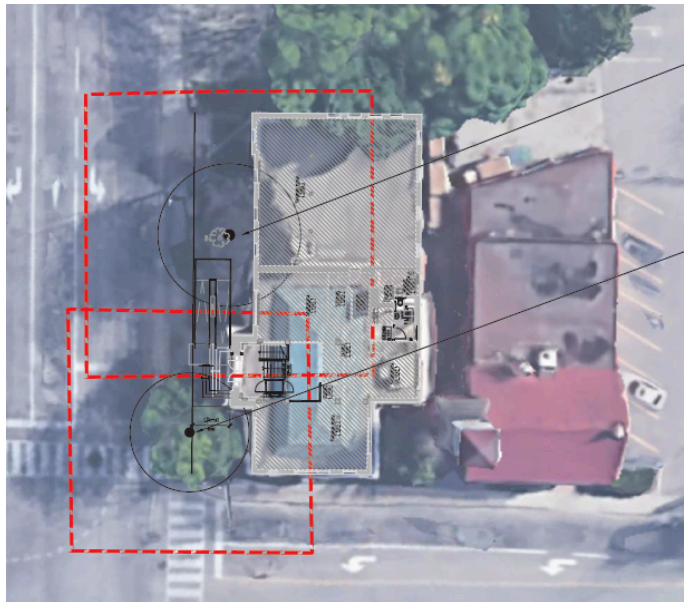
Right: Proposed alterations by Lebel & Boulaine – annotated to show the proposed exterior ramp and interior lift



PROPOSED EXTERIOR WHEELCHAIR RAMP ON THE QUEEN STREET ELEVATION

Left: a simple black steel railing is proposed to match existing railings
the top of the existing landing will be raised to meet the floor level at the interior
the door opener will be installed on a bollard (not affixed to the building)
the existing sign and lamppost will be relocated

Right: detail showing the new concrete extension on the left side of the landing to accommodate the new ramp



1 European Beech
Diameter at Breast Height: 940 MM
Spread: 12M
Height: 14M
Trunk Integrity: Good
Status: Retain

2 Honey Locust
Diameter at Breast Height: 400 MM
Spread: 10M
Height: 15M
Trunk Integrity: Good
Status: Retain

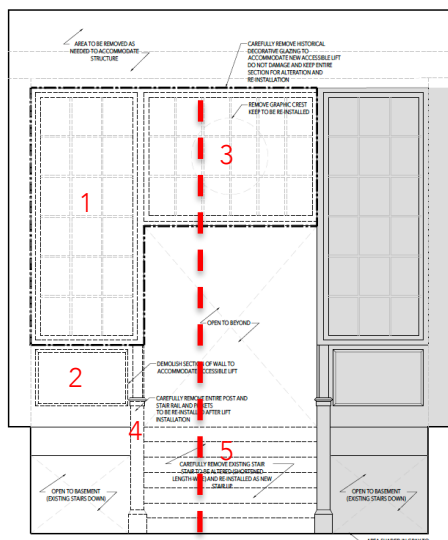
Tree Protection zone as required by the City of Brampton

Tree can support minor injury however, helical piers instead of full footings would be best solution

TREE PROTECTION ZONE – the foundation has been designed so that it will not damage trees in front of the building

Interior Wheelchair Lift

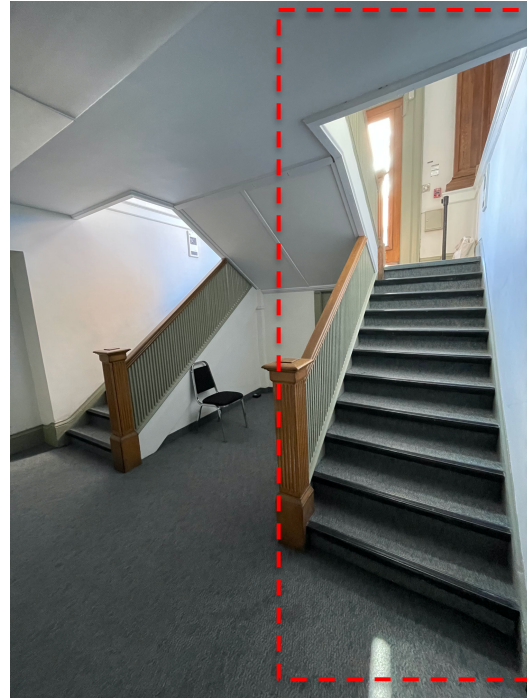
A new wheelchair lift will be installed in the entrance vestibule to provide access to the main floor, vestibule, and the lower level. The existing stairs consist of a central stair up to the main floor and two flanking stairs down to the lower level. The new lift will be installed in the stairwell on the left side of the central stair. Unfortunately, the stairwell is too narrow to accommodate the smallest lift available, so this opening will have to be enlarged. To accommodate the enlarged opening for the lift, the central stair will be removed and rebuilt to fit the reduced central opening. The glazed partition wall at the top of the stairs will be removed where the lift is installed and the portion above the central entrance will be removed and replicated to fit the smaller opening.



- 1 GLAZED PARTITION WALL BESIDE THE ENTRANCE TO BE REMOVED FOR NEW LIFT
- 2 KNEE WALL BESIDE THE ENTRANCE TO BE REMOVED FOR THE NEW LIFT
- 3 GLAZED PARTITION WALL ABOVE THE ENTRANCE TO BE REMOVED & REPLICATED FOR A SMALLER OPENING
- 4 OAK RAILING & NEWEL POST TO BE SALVAGED & REUSED FOR THE REBUILT STAIRS
- 5 EXISTING STAIRS TO MAIN FLOOR TO BE REMOVED & REBUILT FOR A SMALLER OPENING

--- ENLARGED OPENING TO ACCOMMODATE THE NEW LIFT

PROPOSED ALTERATIONS TO THE STAIRS INSIDE THE VESTIBULE to accommodate the proposed chair lift



PROPOSED PASSENGER LIFT – existing stairwell to the left to be enlarged to accommodate a passenger lift

Left: vestibule and stairs up to the main floor where the new exhibition gallery is located – existing oak railings and newel post impacted by the renovations will be salvaged and relocated

Right: stairs to the lower level where the barrier free washroom is located - existing oak railings and newel post impacted by the renovations will be salvaged and relocated

Proposed Barrier Free Washroom

An existing washroom on the lower level will be renovated so that it can provide barrier free access. It is a modern 2-piece washroom that does have any heritage features. The door casing at the entrance to the washroom appears to be an original wood casing and there is original wood baseboard in the corridor outside the washroom.



PROPOSED BARRIER FREE WASHROOM – no heritage features in this area – the original door casing and baseboards in the corridor outside the washroom will not be impacted

6.0 HERITAGE IMPACT ASSESSMENT

Accessibility upgrades are beneficial because they support continued use of the heritage building as a public building. The building was constructed in 1907 and has a raised foundation. Existing access to the building through the main entrance on Queen Street therefore presents accessibility challenges including exterior steps up to the front door and interior stairs inside the entrance vestibule up to the main floor where the exhibition space is and down to the lower level where the washrooms are.

The impacts are identified as:

- impacts to the roots of existing trees on the Queen Street frontage from the foundations of the wheelchair ramp
- impacts to the left side of the entry steps where the proposed wheelchair ramp will connect with the existing stairs and landing
- impacts to the stairs inside the entrance vestibule and glazed partition wall at the top of the stairs

Appropriate mitigation strategies have been proposed to minimize adverse impacts including:

- a tree protection zone has been determined and below-grade disturbances in this area will be limited by using helical piles for the wheelchair ramp foundation
- the oak railings and newel posts that must be removed to accommodate the passenger lift will be salvaged and reused on the rebuilt stairs
- the glazed partition wall that must be removed to accommodate the passenger lift will be partially replicated to match the existing



PROPOSED WHEELCHAIR LIFT

Left: Example showing the type of wheelchair lift that has been proposed

- Right:
1. central stair to be removed and rebuilt to provide space for the wheelchair lift
 2. side stair to be removed and the opening widened to accommodate the wheelchair lift
 3. portions of the glazed partition wall that will be replicated to fit the new dimensions
 4. salvaged newel post and railings reinstated on the new stairs

7.0 RECOMMENDATIONS

Accessibility upgrades are beneficial because they support continued use of the heritage building as a public building. The building was constructed in 1907 and has a raised foundation. Existing access to the main floor of the building includes stone steps up to the front door and an interior vestibule with stairs up to the main floor and down to the basement level.

The impacts are identified as:

- impacts to the roots of existing trees on the Queen Street frontage from the foundations of the wheelchair ramp
- impacts to the left side of the entry steps where the proposed wheelchair ramp will connect with the existing stairs and landing
- impacts to the stairs inside the entrance vestibule and glazed partition wall at the top of the stairs

Appropriate mitigation strategies have been proposed to minimize adverse impacts including:

- a tree protection zone has been determined and below-grade disturbances in this area will be limited by using helical piles for the wheelchair ramp foundation
- the oak railings and newel posts that must be removed to accommodate the passenger lift will be salvaged and reused on the rebuilt stairs
- the glazed partition wall that must be removed to accommodate the passenger lift will be partially replicated to match the existing

The proposed changes represent an approach that will have the least impact on heritage features, is compatible with the architectural character of the building, and will improve access to all levels of the building through its primary entrance. The approach is generally consistent with guidance for rehabilitation projects in the *Standard & Guidelines for the Conservation of Historic Places in Canada*.

Therefore, it is recommended that the Heritage Permit Application be approved, subject to the following conditions:

1. that the architect provides detailed drawings & specifications for the replicated glazed partition wall and wheelchair ramp railings to heritage staff for final review, prior to the issue of building permits
2. that the architect and/or heritage consultant monitors demolition and construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing
3. that the arborist monitors tree protection during construction of the wheelchair ramp

Accessibility

Providing people of all ages, interests and abilities with access to historic places is highly desirable and a frequently mandated social goal. Generally, the solutions that best balance accessibility needs with heritage value are those that enhance the use and appreciation of an historic place for everyone. Work should be carefully planned and undertaken so that impact on an historic place's heritage value and character-defining elements is minimized: the objective is to provide the highest level of access with the lowest level of impact. To determine the most appropriate solutions, accessibility and conservation specialists, and users, should be consulted early in the planning process.

Standards & Guidelines for the Conservation of Historic Places in Canada (2010) – general guidelines for rehabilitation projects.

8.0 SOURCES

Beckman, Margaret et al. *The Best Gift; a Record of the Carnegie Libraries in Ontario* (1984)

Hulley, Robert B. "Brampton Carnegie Library," Nov 30, 2007. Accessed online (originally published in the Brampton Heritage Times)

Ministry of Tourism, Culture & Sport (MTCS), *Ontario Heritage Toolkit* (2006)

Parks Canada, *Standards & Guidelines for the Conservation of Historic Places in Canada* (2010)

Stevens Burgess Architects, *Five Year Conservation Plan; Brampton Library, 55 Queen Street, Brampton* (2013)

9.0 QUALIFICATIONS OF THE AUTHOR

The author of this report is a professional member of the *Canadian Association of Heritage Professionals*. Formal education includes a *Master of Arts in Architectural History* from the University of Toronto and a *Diploma in Heritage Conservation* from the Willowbank School of Restoration Arts. Professional experience includes an internship at the Ontario Heritage Trust, three years as Architectural Historian & Conservation Specialist at Taylor Hazell Architects in Toronto, and 12 years in private practice in Ontario as a heritage consultant. Other relevant experience includes teaching art history at the University of Toronto and McMaster University and teaching Research Methods and Conservation Planning at the Willowbank School for Restoration Arts in Queenston. In addition to numerous heritage reports, the author has published work in academic journals such as the *Journal of the Society for the Study of Architecture in Canada* and the *Canadian Historical Review*.

APPENDIX A: PHOTO DOCUMENTATION

*photos provided by Lebel & Bouliane unless otherwise noted



FRONT ELEVATION ON QUEEN STREET EAST (Google Streetview)



MAIN ENTRANCE ON QUEEN STREET EAST (Google Streetview)



EXTERIOR – MAIN ENTRANCE: raised entrance with additional stairs inside to the main floor



EXTERIOR – MAIN ENTRANCE: stone steps, paved path & sidewalk, landscaped area enclosed by a wrought iron fence



INTERIOR – VESTIBULE: stairs up and entrance to the Regimental Museum main gallery located on the main floor



INTERIOR – VESTIBULE: original interior finishes and features include the oak newel posts and railings, the plaster & lathe walls, wood & plaster trim and the glazed partition wall at the top of the stairs – new vinyl flooring and carpeting has been installed on top of the original stair treads and risers



INTERIOR – LOWER LEVEL: view looking up to the entrance vestibule from the lower level – two sets of stairs down to the lower level and one set of stairs to the main floor – original features and finishes include the oak newel posts and railings – plaster & lathe walls and wood baseboards – wall to wall carpet has been installed on the original stair treads and risers



INTERIOR – LOWER LEVEL – underside of the stairs has plater and lathe with a wood or plaster moulding – there are steps down to the janitor's closet under the staircase



WASHROOM – existing two-piece washroom on the lower level – no original finishes or features - modern fixtures, drywall, vinyl flooring & acoustic tile ceiling – door casing on outer side may be original



WASHROOM – existing two-piece washroom on the lower level – no original features or finishes - modern fixtures, drywall, vinyl flooring & acoustic tile ceiling – door casing on interior side is not original

APPENDIX B: HISTORIC DOCUMENTATION



HISTORIC PHOTO – EXTERIOR (c.1907): the original exterior

[Region of Peel Archives]



HISTORIC PHOTO – INTERIOR (1911): the original interior of the Carnegie Library – the glazed partition wall remains

[Region of Peel Archives]



HISTORIC PHOTO – EXTERIOR (1930s?): before the addition was built [Region of Peel Archives]



HISTORIC PHOTO – INTERIOR (1940s): - the interior when it still housed the public library [Region of Peel Archives]



HISTORIC PHOTO – EXTERIOR (1952): before the handrails was installed

[Region of Peel Archives]



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 9-82

To designate the Carnegie Library as a property of historical and architectural value and interest

WHEREAS section 29 of The Ontario Heritage Act, 1974 (R.S.O. 1980, c. 337, as amended) authorizes the council of a municipality to pass by-laws designating properties within the municipality to be of historic or architectural value or interest;

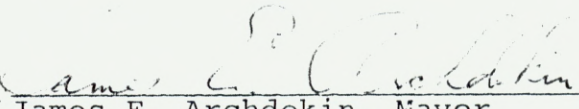
AND WHEREAS the council of The Corporation of the City of Brampton has given notice of its intention to so designate the property known as the Carnegie Library, located at 55 Queen Street East in the City of Brampton, in accordance with the requirements of section 29(3) of the said Act;

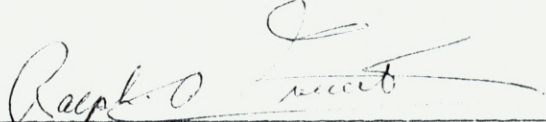
AND WHEREAS no notice of objection has been served upon the Clerk of The Corporation of the City of Brampton within the time limited for so doing, as set out in section 29(5) of the said Act;

NOW THEREFORE the Council of The Corporation of the City of Brampton ENACTS as follows: ;

1. The property known as the Carnegie Library and described in Schedule A to this by-law is hereby designated to be a property of historic and architectural value and interest.

READ a FIRST, SECOND and THIRD TIME and PASSED in Open Council this
25th day of January, 1982.


James E. Archdekin, Mayor


Ralph A. Everett, Clerk

ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the City of Brampton, in the Regional Municipality of Peel; containing an area of 0.17 acres more or less and being composed of those parts of Lots 7 and 8, Registered Plan BR-2 (being a subdivision of part of the West half of Lot 5, Concession 1, East of Hurontario Street) in the said City described as follows:

Premising that the bearings herein are astronomic, referred to the Southeasterly limit of Queen Street East as being North 37 degrees 46' East in accordance with a Plan of Survey deposited in the Registry Office for the Registry Division of Peel (No. 43) as Instrument Number 260728V.S.;

COMMENCING at the intersection of the Northeasterly limit of Chapel Street with the Southeasterly limit of Queen Street East, being also the westerly angle of said Lot 7;

THENCE North 37 degrees 46' East along the said Southeasterly limit of Queen Street East, a distance of 120.12 feet;

THENCE South 51 degrees 30' East parallel to the said Northeasterly limit of Chapel Street, a distance of 62.5 feet;

THENCE South 37 degrees 46' West parallel to the said Southeasterly limit of Queen Street East, a distance of 120.12 feet to the aforesaid Northeasterly limit of Chapel Street;

THENCE North 51 degrees 30' West along the last mentioned limit, a distance of 62.5 feet to the point of commencement.

The hereinbefore described parcel of land being the lands described in Registered Instrument Number 200040V.S. and shown on a Plan of Survey dated April 9, 1951 signed by Frank Kitts, O.L.S. and attached to Registered Instrument Number 25421.

NUMBER OF DESIGNATION

8

NAME OF PROPERTY

The Carnegie Library

MUNICIPAL ADDRESS OR LOCATION

55 Queen Street East

LEGAL DESCRIPTION

ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the City of Brampton, in the Regional Municipality of Peel; containing an area of 0.17 acres more or less and being composed of those parts of Lots 7 and 8, Plan BR-2 (being a subdivision of part of the West Half of Lot 5, Concession 1, East of Hurontario Street) in the said City described as follows:

Premising that the bearings herein are astronomic, referred to the Southeasterly limit of Queen Street East as being North 37 degrees 46' East in accordance with a Plan of Survey deposited in the Registry Office for the Registry Division of Peel (No. 43) as Instrument Number 260728VS;

COMMENCING at the intersection of the Northeasterly limit of Chapel Street with the Southeasterly limit of Queen Street East, being also the westerly angle of said Lot 7;

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NAME AND ADDRESS OF OWNER

The Corporation of the City of Brampton
150 Central Park Drive
Brampton, Ontario L6T 2T9

REASONS FOR DESIGNATION

Built in 1906, this building was constructed in the Beaux Arts style, similar to its sibling in Toronto. This style exhibits classical features such as a rusticated basement level, constructed of large stone. A main living storey which is constructed of bricks is divided above by a running frieze, creating the appearance of a third level, or attic. These three divisions are traditional and it is intriguing to see the practice carried on a small scale. The most interesting feature is the main entrance which illustrates the

architectural plasticity of the Beaux Arts style. Brick simulated pilasters create a porch-like entrance area. It is topped with a circular arch, than branches from the running frieze. But ironically it recedes back instead of projecting forward as most pediments do. Large windows framed with "basket-handle" arches adequately light the reading areas. The slanting Mansard roof is of a French origin. The Old Carnegie Library is a rare example of the short lived Beaux Art Style in Brampton.

NUMBER AND DATE OF PASSAGE OF BY-LAW
DESIGNATING PROPERTY

By-law Number: 9-82
Date of Passage: January 25th, 1982

REGISTRATION NUMBER AND REGISTRATION
DATE OF DESIGNATING BY-LAW

Registration Number: 601500
Registration Date: February 3rd, 1982

Lorne Scots Regimental Museum

55 Queen Street East, Brampton ON, L6W 2A8

ISSUED FOR PERMIT & TENDER

JULY 24, 2024



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This drawing, as an instrument of service, is provided by and is the property of LEBEL & BOULIANE Inc. and shall be used only for the project named on this drawing and solely for reference purposes only. The contractor is responsible for the coordination and verification of all dimensions indicated herein and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale this drawing.

This drawing shall not be used for construction purposes unless countersigned.

LEBEL & BOULIANE

Seals:

ONTARIO BUILDING CODE DATA MATRIX						Revised: 2018.10.04
PART 11 - RENOVATION OF EXISTING BUILDING						OBC REFERENCE (1)
Name of Practice Lebel & Bouliane						
Address 1 1249 Dundas St. W.						
Address 2 Toronto, ON						
Contact Luc Bouliane						
Name of Project Lorne Scots Regimental Museum - Accessibility Upgrades						
Location/Address 55 Queen St E, Brampton ON L6W 2A8						
Date	18-Jul-24				Seal & Signature	
11.00 BUILDING CODE VERSION	O.Reg. 332/12		LAST AMENDMENT		O.Reg. 191/14	
11.01 PROJECT TYPE	Renovation				[A] 1.1.2.	
Limited renovation for accessibility upgrades to the Lorne Scots Regimental Museum						
No change to occupancy or load						
11.02 MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY		USE		3.1.2.1.(1)	
		A2	Other assembly occupancies Museum (Existing)			
11.03 SUPERIMPOSED MAJOR OCCUPANCIES	NO				3.2.2.7.	
11.04 BUILDING AREA (m²)	DESCRIPTION	EXISTING	NEW	TOTAL	[A] 1.4.1.2.	
		Museum	765.00	0.00	765.0	
		TOTAL	765.0	-	765.0	
11.05 BUILDING HEIGHT	1	STOREYS ABOVE GRADE	7.8	(m) ABOVE GRADE	[A] 1.4.1.2. & 3.2.1.1.	
		STOREYS BELOW GRADE				
11.06 NUMBER OF STREETS/ FIRE FIGHTER ACCESS	2 STREETS(S)				3.2.2.10. & 3.2.5.	
11.07 BUILDING SIZE	LARGE				T.11.2.1.1.B.-N.	
11.08 EXISTING BUILDING CLASSIFICATION	CHANGE IN MAJOR OCCUPANCY		NO		11.2.1.1.	
		CONSTRUCTION INDEX	-		T.11.2.1.1.A.	
		HAZARD INDEX	NOT APPLICABLE		T.11.2.1.1.B.-N.	
		IMPORTANCE CATEGORY	-			
11.09 RENOVATION TYPE	BASIC RENOVATION				11.3.3.1. & 11.3.3.2.	
11.10 OCCUPANT LOAD	FLOOR LEVEL/AREA	OCCUPANCY TYPE	BASED ON	OCCUPANT LOAD (PERSONS)	3.1.17.	
No Change in Occupancy or load						
TOTAL						-
11.11 PLUMBING FIXTURE REQUIREMENTS	RATIO:	MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE			3.7.4.	
		FLOOR LEVEL/AREA	OCCUPANT LOAD	OBC REFERENCE	FIXTURES REQUIRED	FIXTURES PROVIDED
No Change in Occupancy or load						
11.12 BARRIER-FREE DESIGN	Yes				11.3.3.2.(2)	
11.13 REDUCTION IN PERFORMANCE LEVEL	STRUCTURAL		NO		11.4.2.1.	
		INCREASE IN OCCUPANT LOAD	NO		11.4.2.2.	
		CHANGE OF MAJOR OCCUPANCY	NO		11.4.2.3.	
		PLUMBING	NO		11.4.2.4.	
		SEWAGE SYSTEM	NO		11.4.2.5.	
11.14 COMPENSATING CONSTRUCTION	STRUCTURAL		NO		11.4.3.2.	
		INCREASE IN OCCUPANT LOAD	NO		11.4.3.3.	
		CHANGE OF MAJOR OCCUPANCY	NO		11.4.3.4.	
		PLUMBING	NO		11.4.3.5.	
		SEWAGE SYSTEM	NO		11.4.3.6.	
11.15 COMPLIANCE ALTERNATIVES PROPOSED	NO				11.5.1.1.	
11.16 NOTES						
1	ALL REFERENCES ARE TO DIVISION B OF THE OBC UNLESS PRECEDED BY [A] FOR DIVISION A AND [C] FOR DIVISION C					
Ontario Building Code Data Matrix, Part 11						
© Ontario Association of Architects						
October 2016						

ISSUED FOR PERMIT / TENDER	ISSUE FOR CLIENT REVIEW	
x	x	A0.0 COVER PAGE
		ARCHITECTURAL
x	x	A0.1 SITE SURVEY
x	x	A0.2 SITE PLAN
x	x	A0.3 ASSEMBLIES
x	x	A1.0 BASEMENT FLOOR DEMOLITION PLAN
x	x	A1.1 GROUND FLOOR DEMOLITION PLAN
x	x	A1.5 BASEMENT FLOOR DEMOLITION RCP
x	x	A1.6 GROUND FLOOR DEMOLITION RCP
x	x	A2.0 BASEMENT FLOOR PLAN
x	x	A2.1 GROUND FLOOR PLAN
x	x	A3.0 BASEMENT FLOOR RCP
x	x	A3.1 GROUND FLOOR RCP
x	x	A5.0 INTERIOR ELEVATIONS
x	x	A5.1 INTERIOR ELEVATIONS
x		A6.0 DOOR HARDWARE
x	x	A8.0 RAMP PLAN
x	x	A8.1 RAMP ELEVATIONS
x	x	A8.2 DETAILS
x	x	A8.3 INTERIOR SECTIONS
		STRUCTURAL
x		S1.01 FOUNDATION PLAN
x		S1.02 BASEMENT PLAN SHOWING GROUND FLOOR FRAMING
x		S1.03 GROUND FLOOR PLANS SHOWING ROOF FRAMING
		MECHANICAL
x		M1 MECHANICAL LEGENDS, NOTES & SCHEMATICS
x		M2 KEY PLANS
		M3 EXISTING & NEW MECHANICAL PLANS
		ELECTRICAL
x		E1 ELECTRICAL LEGEND AND NOTES
x		E2 KEY PLANS
x		E-3 EXISTING & ELECTRICAL PLANS

PROJECT DIRECTORY

CLIENT:
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Joel Rasiah
647 203 7645
joel.rasiah@brampton.ca

ARCHITECT:
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Luc Bouliane, OAA
+1 416 500 5927
Luc@Arch-LB.com

MECHANICAL & ELECTRICAL ENGINEER:
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Rohin Suri
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rsuri@suriassoc.com

STRUCTURAL ENGINEER:
CONTACT ENGINEERING
Tim Joyce
647 708 3960
tim@contactengineering.ca

Lorne Scots
Regimental Museum

Project Address:
55 Queen Street East,
Brampton L6W 2A8

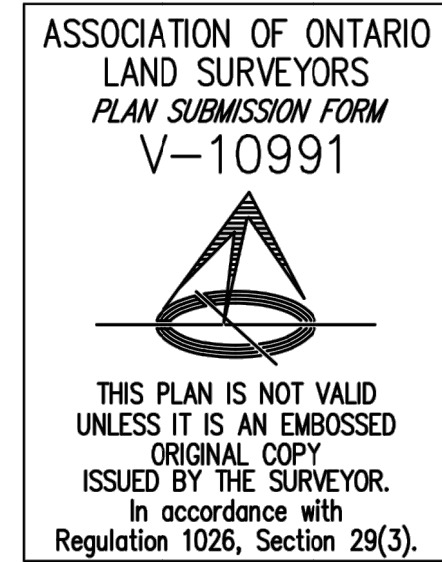
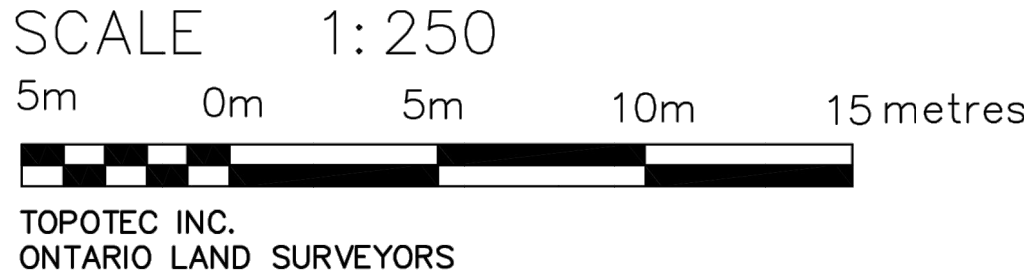
Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.07.24

COVER PAGE

Drawing No:

A0.0

PLAN OF SURVEY
SHOWING TOPOGRAPHICAL INFORMATION OF
PART OF LOTS 7, 8
REGISTERED PLAN BR-2
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL



METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

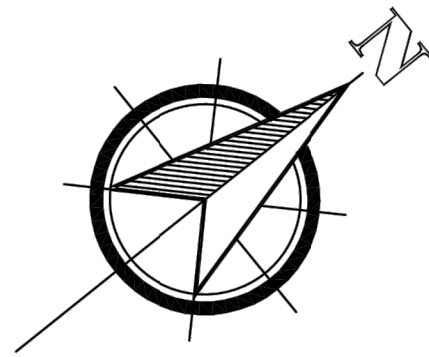
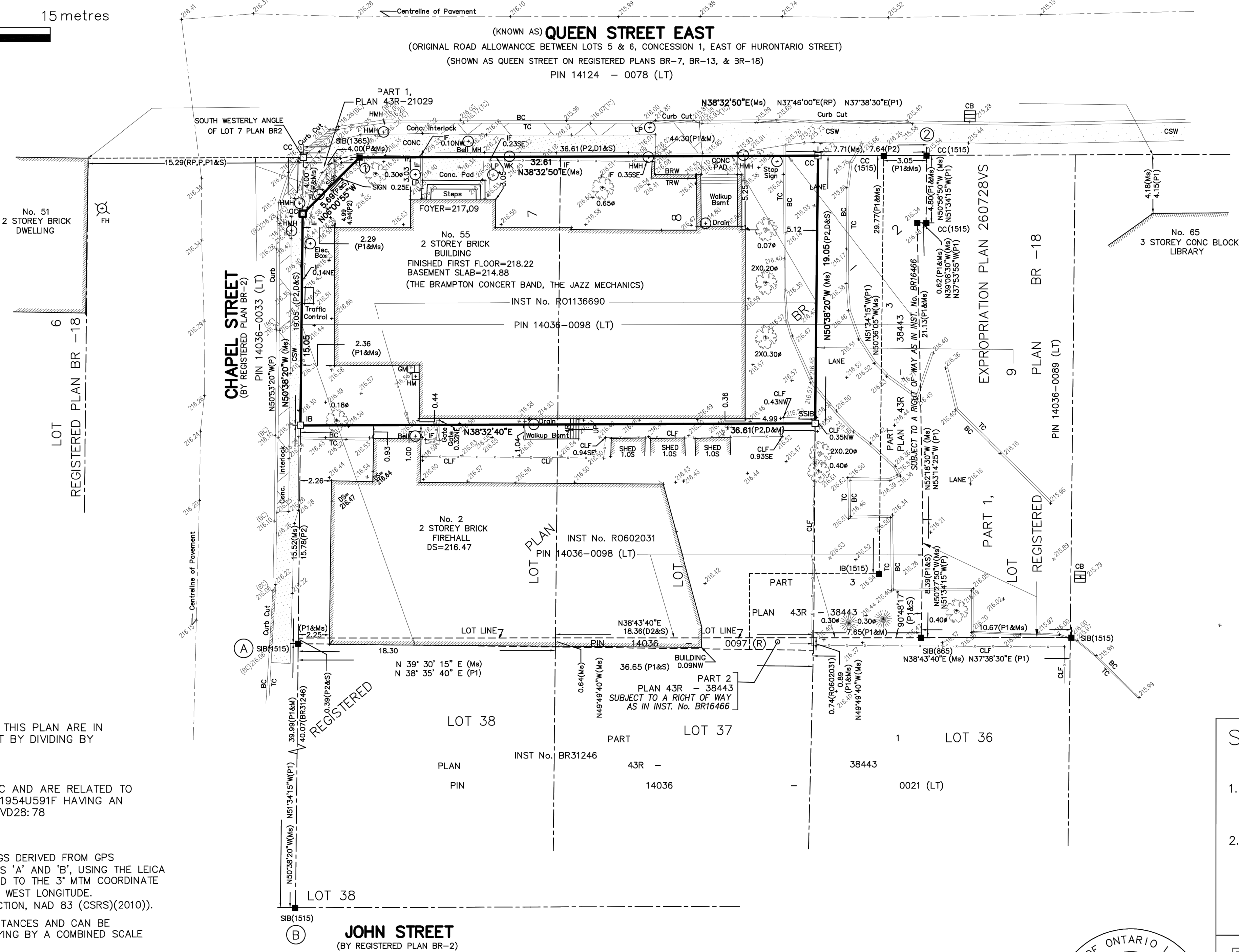
ELEVATION
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATED TO CITY OF BRAMPTON BENCH MARK No. 0011954U591F HAVING AN ELEVATION OF 214.118 METRES. Datum: CGVD28:78

BEARING
BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATIONS OF SPECIFIED CONTROL POINTS 'A' AND 'B', USING THE LEICA SMARTNET RTK NETWORK, AND ARE REFERRED TO THE 3° MTM COORDINATE SYSTEM, ZONE 10, CENTRAL MERIDIAN 79°30' WEST LONGITUDE. (3° MODIFIED TRANSVERSE MERCATOR PROJECTION, NAD 83 (CSRS)(2010)).

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.99987148.

3° MTM ZONE 10 COORDINATES		
NAD 83 (CSRS)(2010)(CENTRAL MERIDIAN 79°30' WEST LONGITUDE) THE MTM COORDINATES LISTED BELOW ARE TO URBAN ACCURACY AND COMPLY WITH SUBSECTION 14(2) OF ONTARIO REGULATION 216/10 FILED UNDER THE SURVEYORS ACT.		
SPECIFIED CONTROL POINTS		
MONUMENT ID.	EASTING	NORTHING
(A) CC	X = 283983.899	Y = 4838574.367
(B) SIB	X = 284014.821	Y = 4838548.962
REFERENCE POINTS		
POINT	EASTING	NORTHING
1	X = 283959.659	Y = 4838599.419
2	X = 283984.790	Y = 4838630.957

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



SITE STATISTICS:
LOT AREA=689.3 Sq.m

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLANTED
 - SIB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - CC DENOTES CUT CROSS
 - PB DENOTES PLASTIC BAR
 - CP DENOTES CONCRETE PIN
 - 1515 DENOTES TED VAN LANKVELD, O.L.S.
 - 1365 DENOTES BASTIN JOHN STASSEN, O.L.S.
 - (NI) DENOTES NOT IDENTIFIED
 - 865 DENOTES DONALD PETER McLEAN, O.L.S.
 - P1 DENOTES PLAN 43R-21029
 - P2 DENOTES PLAN 43R-38443
 - D1 DENOTES PLAN OF SURVEY BY FRANK KITTO, O.L.S. DATED APRIL 9, 1951
 - UP DENOTES INSTRUMENT No.R01136690
 - CLF DENOTES UTILITY POLE
 - IF DENOTES CHAIN LINK FENCE
 - (Ms) DENOTES IRON FENCE
 - (S) DENOTES MEASURED
 - GM DENOTES SET
 - WK DENOTES GAS METER
 - DS DENOTES WATER KEY
 - HM DENOTES DOOR SILL ELEVATION
 - FH DENOTES HYDRO METER
 - CSW DENOTES FIRE HYDRATE
 - CONC DENOTES CONCRETE
 - MH DENOTES CONCRETE SIDE WALK
 - CB DENOTES MANHOLE
 - TC DENOTES CATCH BASIN
 - BC DENOTES TOP OF CURB
 - TL DENOTES DENOTES TOP OF CURB
 - HMH DENOTES TRAFFIC LIGHT
 - LP DENOTES HYDRO MANHOLE
 - BSMT DENOTES LIGHT POLE
 - 143.45 DENOTES BASEMENT
 - 0.1Ø DENOTES DECIDUOUS TREE WITH DIMENTION
 - 0.1Ø DENOTES CONIFEROUS TREE WITH TRUNK DIAMETER
 - N/S/E/W NORTH/SOUTH/EAST/WEST
 - HOUSE TIES ARE TAKEN TO BRICK UNLESS NOTED OTHERWISE
 - MH AND CB ELEVATIONS ARE CONSIDERED AS TOP OF MH AND TOP OF CB ELEVATIONS.

SURVEYOR'S CERTIFICATE

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 28th DAY OF OCTOBER, 2021.

JANUARY 19, 2022
DATE

Bahram Amirnezhad
BAHRAM AMIRNEZHAD P.ENG.
ONTARIO LAND SURVEYOR

TOPOTEC Inc.
Ontario Land Surveyors

108 STEELES AVENUE EAST, MARKHAM ON L3T 1A4
Phone: (416) 219-9956
Office: (647) 632-9088
www.Topotec.ca
Bahram@Topotec.ca, bahram4700@hotmail.com

FIELD: H.S	DRAWN: L.H	CHECKED: B.A
JOB No. 910		
CAD FILE: 55 QUEEN ST-E4.DWG		

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Do not scale this drawing.

This drawing shall not be used for construction purposes unless counter-signed.

LEBEL & BOULIANE

Seals:

01	Permit & Tender	2024.07.24
No.	Issued for	Date

**Lorne Scots
Regimental Museum**

Project Address:
55 Queen Street East,
Brampton L6W 2A8

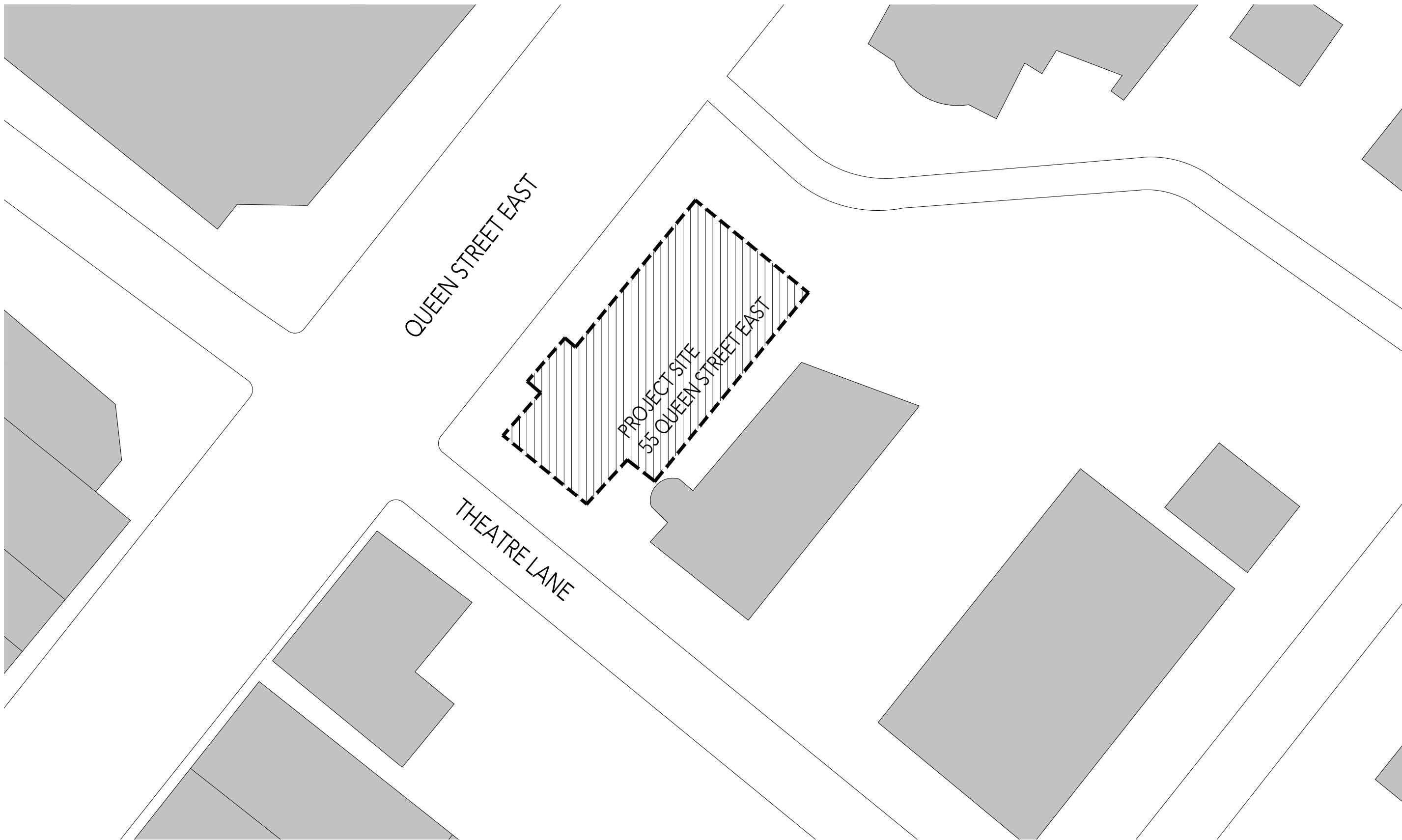
Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.07.15

SITE SURVEY

Drawing No:

A0.1

Seals:

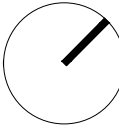


01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots
Regimental Museum

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	23-022
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.07.15




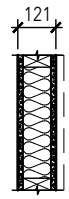

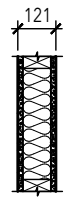
SITE PLAN


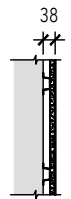
SITE PLAN



SCALE = 1" = NTS
















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A0.2

ASSEMBLIES
GENERAL NOTES: 1. ALL NEW PARTITIONS ARE P1 TYPE, UNLESS OTHERWISE NOTED. 2. UNLESS NOTED OTHERWISE, EXTEND ALL GYPSUM BOARD AND METAL STUDS TO U/S OF STRUCTURE COMPLETE WITH DEFLECTION TRACK AND CONT. ACOUSTIC SEAL UNLESS OTHERWISE NOTED. 3. USE WATER RESISTANT GWB IN LIEU OF STANDARD GWB, IN ALL WET AREAS, INCLUDING AREAS ADJACENT TO KITCHEN SINKS, JANITOR SINKS, ETC. 4. USE TILE BACKER BOARD/CEMENT BOARD IN LIEU OF STANDARD GWB WHERE TILE FINISH IS LOCATED (SEE SPECIFICATIONS AND ROOM FINISH SCHEDULE.) 5. ALL PARTITIONS/FURRING ARE TO BE CONTINUOUSLY REINFORCED TO ACCOMMODATE WALL CABINETS/A.V. WHERE INDICATED. PROVIDE BRACING AND BLOCKING WHERE REQUIRED. 6. SUBSTRATE SHOWN MAY NOT BE PRESENT OR MAY VARY - REFER TO PLANS AND ELEVATIONS.

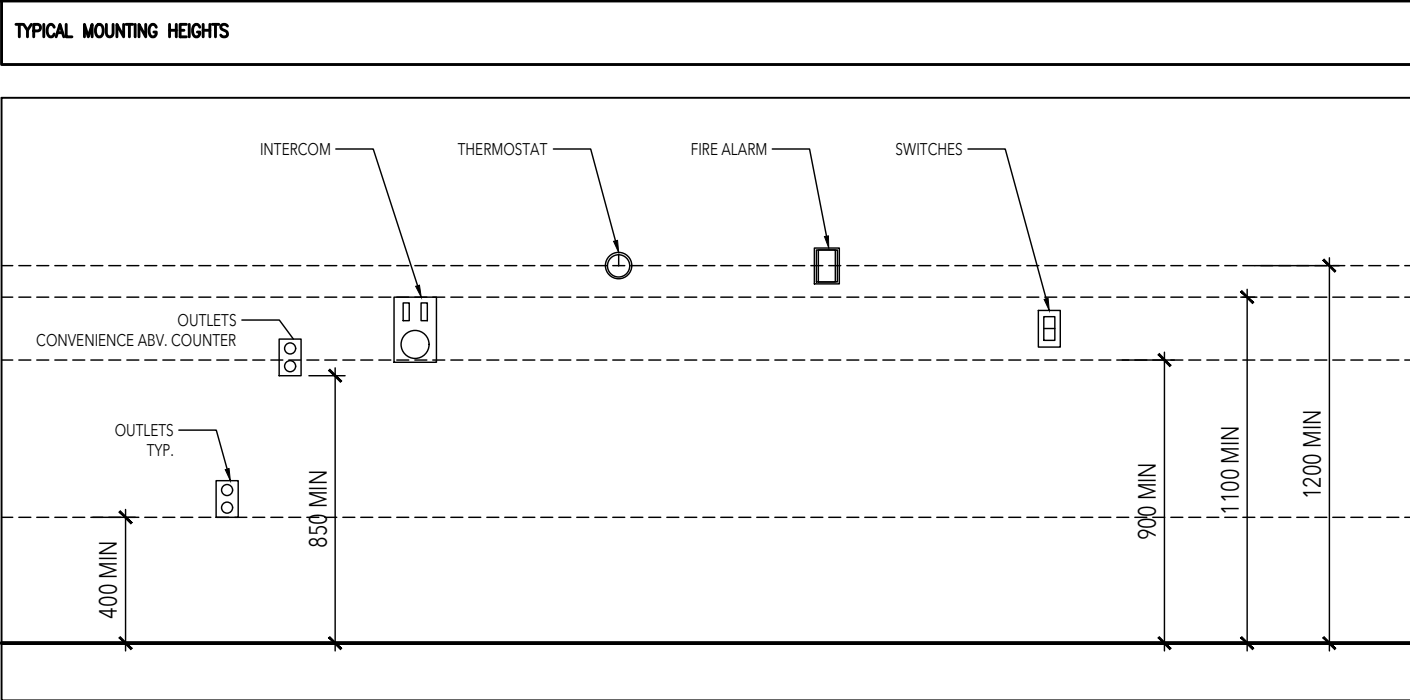
PARTITION TYPES:			
	INTERIOR PARTITION	121mm	
	GYPSUM WALLBOARD (REFER TO NOTES 3 & 4) 24 SPF STUDS @ 400 O.C. WITH BATT GYPSUM WALLBOARD (REFER TO NOTES 3 & 4) FINISH WHERE OCCURS, REFER TO FINISH PLAN	15.9mm 89mm 15.9mm	(5/8") (3 1/2") (5/8")
	MIN. 89mm ACOUSTIC BATT INSULATION CONTINUOUS ACOUSTIC SEALANT AT PERIMETER SUPPORTS ANCHORED TO FLOOR AS REQ. STC 47		
	ELEVATOR PARTITION	121mm	
	TYPE X GYPSUM WALLBOARD 24 SPF STUDS @ 400 O.C. TYPE X GYPSUM WALLBOARD FINISH WHERE OCCURS, REFER TO FINISH PLAN	15.9mm 89mm 15.9mm	(5/8") (3 1/2") (5/8")
	MIN. 89mm ACOUSTIC BATT INSULATION CONTINUOUS ACOUSTIC SEALANT AT PERIMETER SUPPORTS ANCHORED TO FLOOR AS REQ. *ENSURE MINIMUM WALL THICKNESS IS PROVIDED FOR INSTALLATION OF ELEVATOR REFERENCE STRUCTURAL DRAWINGS		

FURRING TYPES:			
	FURRING TYPE F1		
	EXISTING PARTITION FURRING CHANNEL GYPSUM WALLBOARD	22mm 15.9mm	(7/8") (5/8")

CEILING TYPES:			
	SUSPENDED GWB CEILING		
	EXISTING STRUCTURE SUSPENDED METAL STUDS FRAMING, GAUGE AS REQ. @ 410 O.C. FURRING CHANNELS @ 10 O.C. GYPSUM WALLBOARD	42mm 22mm 15.9mm	(1 5/8") (7/8") (5/8" min)

SYMBOL LEGEND	
	ELEVATION DETAIL REFERENCE
	ELEVATION DETAIL REFERENCE
	SECTION DETAIL REFERENCE
	DETAIL REFERENCE
	ROOM TAG
	WALL/PARTITION TYPE
	WINDOW/INTERIOR SCREEN TYPE
	DOOR TAG
	MILLWORK TAG
	FLOOR MATERIAL CHANGE
	ELEVATION REFERENCE
	REVISION NUMBER
	GRID LINE REFERENCE
	EXISTING WALL
	ITEM TO BE DEMOLISHED

ABBREVIATIONS			
A.B.	AIR BARRIER	FB	ELECTRICAL FLOOR BOX
AC	ACOUSTIC	FD	FLOOR DRAIN
ACT AT	ACOUSTIC CEILING TILE	FE	FIRE EXTINGUISHER CABINET
ACB	ACOUSTIC CONCRETE BLOCK	FHC	FIRE HOSE CABINET
ACR	ACRYLIC	FIN	FINISH
AD	AREA DRAIN	FL / FLR	FLOOR
ADDL	ADDITIONAL	FO	FIRE PROTECTING
ADP	ADDITIONAL	FP	FIRE PROTECTION
A.H.U.	AIR HANDLING UNIT	F.R.R.	FIRE RESISTANCE RATING
A.I. / ALUM	ALUMINUM	FT	FULL
AD	AUTO OPERATOR		
ARCH	ARCHITECTURAL		
AVB /	AIR & VAPOR BARRIER MEMBRANE		
AVB BARRIER /			
B	BENCH - FOLD UP BARRIER FREE SHOWER		
B	BENCH		
BRICK	BRICK COURSES		
IC	BARBER FREE		
BP	BROOK FISH DIRECTION		
BFIN	BUILDING MATERIALS EVALUATION		
BMC	BRICK MASONRY		
BR	BOTTOM OF		
B/O	BOTTOM OF		
CB	CONCRETE BLOCK		
C.P.	CHECK ON SITE		
C.O.S.	CONCRETE		
CONC	CONCRETE		
CONT	CENTRE TO CENTRE		
CC	CONTROL JOINT		
CJ	CLEAR		
CLR	CENTRE LINE		
CL	CLEAN OUT		
CO	CONTROL PANEL		
CP	CARD READER		
CR	CLEAR SEALER		
CJ	CARPET		
CPT	CERAMIC TILE		
CT	COOKTOP		
CTO	COMPLETE WITH		
CW	CURTAIN WALL		
CW / C.W.			
DCT	DIAPER CHANGING TABLE		
DF	DRINKING FOUNTAIN		
D.O.	DOOR OPERATOR		
DW	DRAWING		
DWG	DRAWING		
EPFS	EXTERIOR INSULATED FINISHING SYSTEM		
ELECT	ELECTRICAL		
EP	ELECTRICAL PANEL		
EPF	EXPOSED		
EX / EXIST	EXISTING		
EXP	ENCLOSURE		
ENCL	EXTERIOR		
EXT			
RAH	ROOF ACCESS HATCH		
RBR	RUBBER FLOORING		
RCP	REFLECTED CEILING PLAN		
RD	ROOF DRAIN		
RE	RECESSED		
REFURB	REFURBISHED		
RFL	RAGGED FLOOR		
RO	ROUGH OPENING		
RWL	RAIN WATER LEADER		
SAM / S.A.M.	SELF ADHERED MEMBRANE (FORMING PART OF CONTINUOUS AIR / VAPOR BARRIER)		
SG / SOL	SANDGRAVELLED GLAZING		
SHM	SHAMPOO CONNECTION		
S.C.	SCREEN		
SCW	SOLID CORE WOOD		
SMD	SMOKE DETECTOR		
SP	SPORTS FLOORING		
SPS	SPANDREL PANEL / GLASS		
SS / S.STL	STAINLESS STEEL		
SSS	STRUCTURAL SILICONE GLAZING SYSTEM		
ST	STONE TILE		
ST.T	STEEL		
STN	STRUCTURAL		
STRLCT	STRUCTURAL		
SYN	SYNTHETIC WOOD POLYMER LUMBER		
TACK BOARD	TO BE ISSUED		
TB	TINTED CONCRETE SEALER		
TCS	TEMPERED GLASS		
TGL	TEMPERED		
TMP	TECTUM PRODUCT PANELS		
TPTEC	TRANSLUCENT WALL ASSEMBLY		
TNA	TYPICAL		
TYP	TO BE ISSUED		
T.B.I	TEXTURED CORE PLAST		
TCP	TYPICAL		
TYP	WALL MOUNTED TELEVISION		
T.V.	UNDERBOSSE OF		
UVS	VERIFY IN FIELD		
VF	VINYL COMPOSITION TILE		
V	VINYL		
VCCT	WINDOW		
W / WIN	WHITE BOARD RECESSED		
WBR	WHITE BOARD SURFACE MOUNT		
WBS	WATER CLOSET		
WC	WOOD		
WF	WATER FOUNTAIN		
WV	WOOD VENEER		
ZH	ZINC		



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Do not scale this drawing

This drawing shall not be used for construction purposes unless counter-signed

LEBEL & BOULIANE

Seals:

GENERAL DEMOLITION NOTES

1. PRIOR TO DEMOLITION NOTIFY CONSULTANTS OF ANY DISCREPANCIES WITH THE DRAWINGS
2. PRIOR TO DEMOLITION COORDINATE WITH MUSEUM HOURS OF OPERATION, MATERIAL AND WASTE HANDLING REQUIREMENTS AND MATERIAL TO BE REUSED
3. COORDINATE WITH MUSEUM AND OBTAIN APPROVAL FOR SPECIAL DEMOLITION ACTIVITIES CAUSING DISTURBANCE TO OTHER OCCUPANTS AND SPACES OUTSIDE OF DEMOLITION AREA
4. PROTECT AREA OF WORK EXISTING CONSTRUCTION TO REMAIN AND ADJACENT AREAS FROM DAMAGE. PROVIDE DUST BARRIER TO ALL AREAS AFFECTED BY THE DEMOLITION. PROTECT AND MAINTAIN ADJACENT TENANT AREAS
5. REFER TO OWNER'S DESIGNATED SUBSTANCES REPORT FOR PRE-EXISTING DESIGNATED SUBSTANCES OBSERVED. REPORT ANY FINDING OF DESIGNATED SUBSTANCES DISCOVERED DURING DEMOLITION
6. REMOVE ALL UNJANDED HANGERS, FASTENERS, LOOSE PAINT, DEBRIS ETC FROM EXISTING WALLS AND CEILING TO REMAIN. PATCH AND REPAIR TO PREP FOR PAINTING OF FUTURE WORK
7. REMOVE ALL EXISTING LIGHTING FIXTURES AND ANY ASSOCIATED SENSORS, HANGERS, HARDWARE, CONDUIT AND WIRING NOT REQUIRED FOR INSTALLATION OF NEW FIXTURES. RETAIN POWER SUPPLY FOR FUTURE LIGHTING. REF RCPs AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
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13. WHERE EXISTING FLOORING IS REMOVED, CONTRACTOR TO COORDINATE WITH FINAL FINISH MATERIAL TO PROVIDE CLEAN AND LEVEL SURFACE TO ACCOMMODATE NEW FLOORING.

PLAN DEMOLITION KEY NOTES

- DENOTES EXISTING TO REMAIN
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- DENOTES EXISTING TO BE DEMOLISHED
- 1

REMOVE EXISTING INTERIOR PARTITION OR TURNED OUT WALL TO U/S CEILING OR SLAB. INCLUDING DOOR, FRAMES, DATA AND POWER. PATCH & REPAIR ANY DRYWALL FLOOR AND CEILING DAMAGED BY DEMO AND PREP FOR NEW.
- 2

REMOVE EXISTING FLOORING AND ADHESIVES TO EXTENT REQUIRED TO ACCOMMODATE NEW FLOORING AND NEW PARTITIONS. REFER TO NEW ARCHITECTURAL PLANS.
- 3

REMOVE EXISTING STAIR AND HAND RAIL. CAREFULLY REMOVE ITEMS AND SALVAGE FOR USE IN NEW STAIR CONSTRUCTION
- 4

REMOVE EXISTING DOOR AND FRAME
- 5

REMOVE PORTION OF EXISTING DECORATIVE GLAZING, SALVAGE AND RE-INSTALL, MAY REQUIRE ALTERATION
- 6

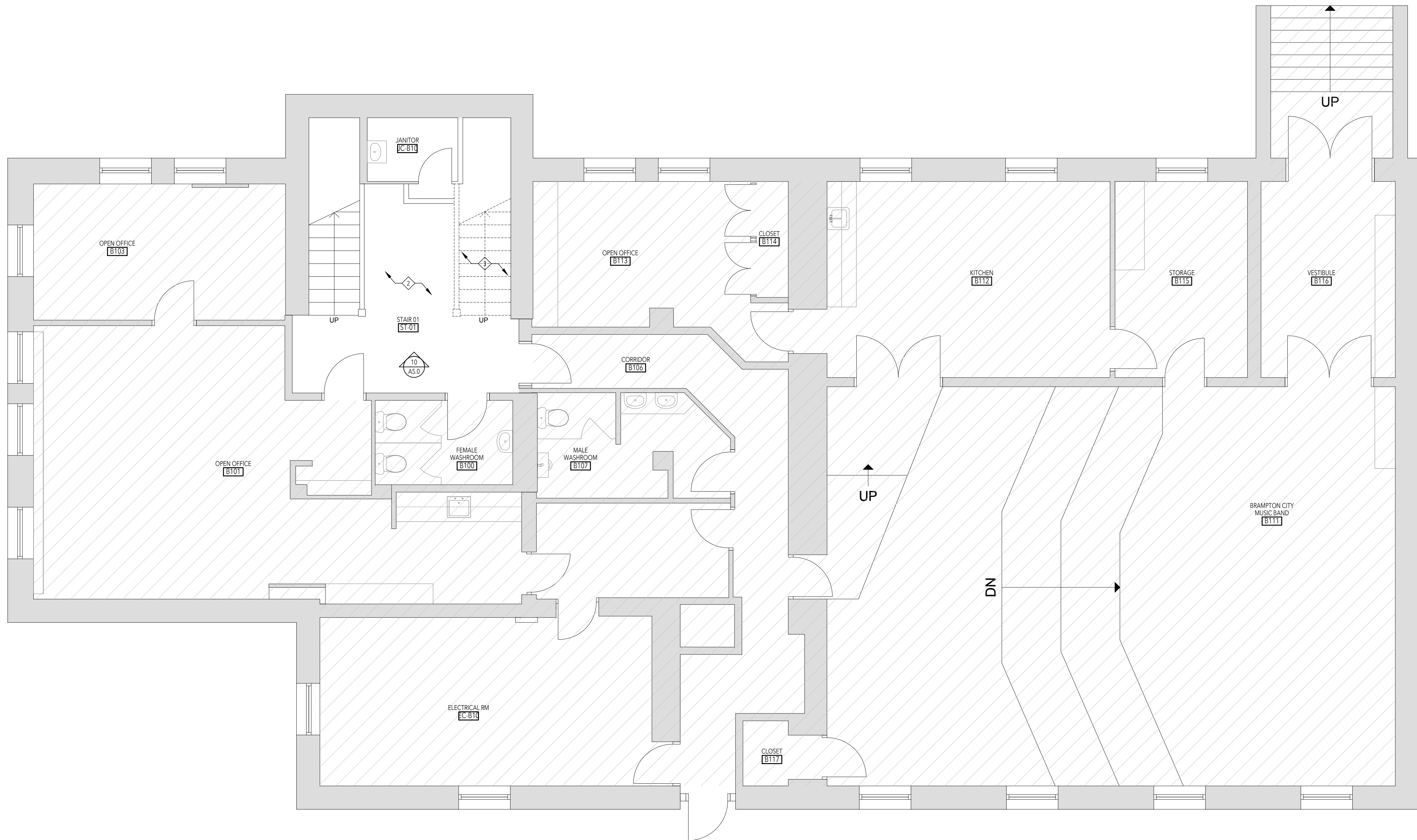
REMOVE EXISTING M&E, REFERENCE M&E DRAWINGS
- 7

REMOVE EXISTING PLUMBING, ACCESSORIES AND EQUIPMENT. KEEP FOR RE-INSTALLATION TO ACCESSIBILITY STANDARD CODE
- 8

EXISTING LAMP POST TO BE REMOVED
- 9

EXISTING CITY OF BRAMPTON SIGN TO BE REMOVED AND RELOCATED
- 10

REMOVE EXISTING BASEBOARDS (EXTENT THAT IS PART OF NEW BARRIER FREE WASHROOM)



BASEMENT DEMOLITION PLAN

SCALE = 1: 50

10
A1.0

BASEMENT
DEMOLITION PLAN

Drawing No:

A1.0

Seals:

01 Permit & Tender 2024.07.24
No. Issued for Date

Lorne Scots
Regimental Museum

Project Address
55 Queen Street East
Brampton L6W 2A6

Project No. 24-002
Drawn by TT
Reviewed by MS
Scale 1:50
Plot Date 2024.07.24

GROUND FLOOR
DEMOLITION PLAN

GROUND FLOOR DEMOLITION PLAN

SCALE = 1: 50

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A1.1

Drawing No:

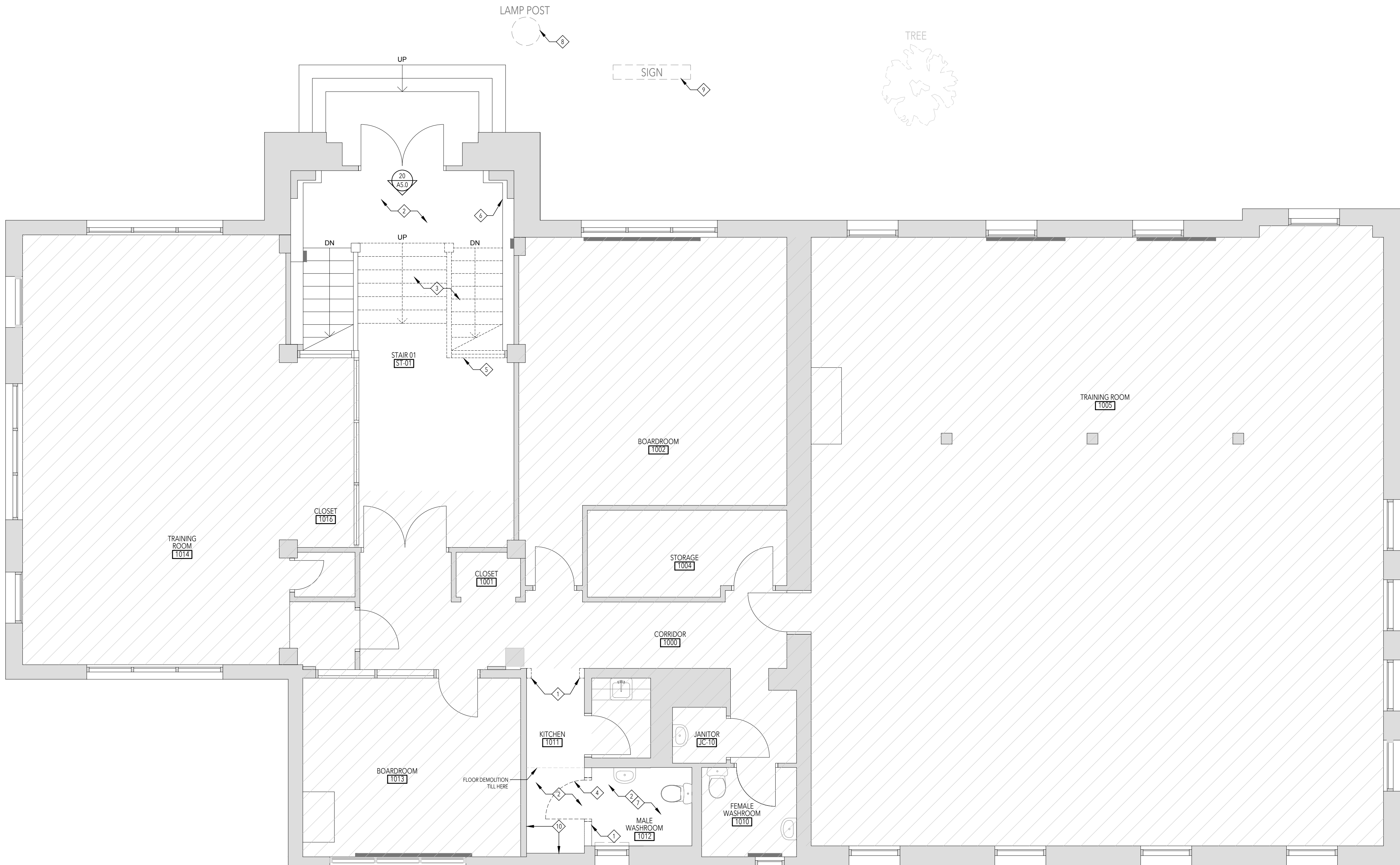
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GENERAL DEMOLITION NOTES

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4. PROTECT AREA OF WORK EXISTING CONSTRUCTION TO REMAIN AND ADJACENT AREAS FROM DAMAGE, PROVIDE DUST BARRIER TO ALL AREAS AFFECTED BY THE DEMOLITION PROJECT AND MAINTAIN ADJACENT TENANT AREAS.
5. REFER TO OWNER'S DESIGNATED SUBSTANCES REPORT FOR PRE-EXISTING DESIGNATED SUBSTANCES OBSERVED. REPORT ANY FINDINGS OF DESIGNATED SUBSTANCES DISCOVERED DURING DEMOLITION.
6. REMOVE ALL UNSEED HANGERS, PATTERNS, LOOSE PAINT, DEBRIS ETC FROM EXISTING WALLS AND CEILINGS TO REMAIN. PATCH AND REPAIR TO PREP FOR PAINTING OR FUTURE WORK.
7. REMOVE ALL EXISTING LIGHTING FIXTURES AND ANY ASSOCIATED SENSORS, HANGERS, HARDWARE, CONDUIT AND WIRING NOT REQUIRED FOR INSTALLATION OF NEW FIXTURES. RETAIN POWER SUPPLY FOR FUTURE LIGHTING. RET ROPS AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
8. ALL BUILDING WIDE LIFE SAFETY SYSTEMS INCLUDING FIRE ALARMS, EXIT SIGNS AND EMERGENCY LIGHT SYSTEMS TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION.
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PLAN DEMOLITION KEY NOTES:

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- DENOTES EXISTING TO BE DEMOLISHED
- 1 REMOVE EXISTING INTERIOR PARTITION OR TURNED OUT WALL TO USE CEILING OR SLAB, INCLUDING DOOR, FRAMES, DATA AND POWER PATCH & REPAIR ANY DRYWALL FLOOR AND CEILING DAMAGED BY DEMO AND PREP FOR NEW.
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- 6 REMOVE EXISTING M&E, REFERENCE M&E DRAWINGS.
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- 10 REMOVE EXISTING BASEBOARDS (EXTENT THAT IS PART OF NEW BARRIER FREE WASHROOM).



Seals:

GENERAL DEMOLITION NOTES - REFLECTED CEILING PLAN

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4. PROTECT AREA OF WORK, EXISTING CONSTRUCTION TO REMAIN AND ADJACENT AREAS FROM DAMAGE, INCLUDING BUT NOT LIMITED TO EXISTING MASONRY WALLS IN CORRIDOR, HISTORIC WOOD DOORS, DOOR FRAMES AND TRIM, AND HISTORIC WOOD MILLWORK TO REMAIN AS NOTED IN DRAWINGS.
5. PROVIDE DUST BARRIER TO ALL AREAS AFFECTED BY THE DEMOLITION, PROTECT AND MAINTAIN ADJACENT TENANT AREAS.
6. REFER TO OWNERS DESIGNATED SUBSTANCES REPORT FOR PRE EXISTING DESIGNATED SUBSTANCES DISCOVERED, REPORT ANY FINDING OF DESIGNATED SUBSTANCES DISCOVERED DURING DEMOLITION.
7. REMOVE ALL UNUSED HANGERS, FASTENERS, LOOSE PAINT, DEBRIS ETC FROM EXISTING WALLS AND CEILING TO REMAIN, PATCH AND REPAIR TO PREP FOR PAINTING OR FUTURE WORK.
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9. REMOVE ALL EXISTING EXIT SIGNS, CAP ELECTRICAL WHERE NEW SIGNS ARE NOT REQUIRED.
10. FIRE ALARM DEVICES TO BE RELOCATED IF REQUIRED.
11. ALL BUILDING-WIDE LIFE SAFETY SYSTEMS INCLUDING FIRE ALARMS, EXIT SIGNS, AND EMERGENCY LIGHT SYSTEMS TO REMAIN INTACT AND FUNCTIONAL DURING DEMOLITION.
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14. MAKE GOOD ALL EXISTING CEILING TO REMAIN, PATCH ALL DAMAGES TO CEILING TO ENSURE CONSISTENT SURFACE AND CONTINUITY OF FIRE RATING WHERE OCCURS.
15. REMOVE EXISTING TRIMS MOUNTED ON WALLS, UNLESS NOTED OTHERWISE TO REMAIN.

ABBREVIATION & ADDITIONAL NOTES:

- E EXISTING TO REMAIN
R DENOTES EXISTING TO BE REMOVED
R/R DENOTES EXISTING TO BE REMOVED AND REPLACED
R/L DENOTES EXISTING TO BE REMOVED AND RELOCATED

PLAN DEMOLITION KEY NOTES:

- DENOTES EXISTING TO REMAIN
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- REMOVE EXISTING T BAR GRID, TILES, ASSOCIATED LIGHTING AND MECHANICAL TRIMS. REF MECHANICAL AND ELECTRICAL DRAWINGS FOR RELATED DEMOLITION SCOPE.
WHERE CEILING IS TO BE EXPOSED, CLEAN UP, CUTBACK TO SOURCE, AND BUNCH LOOSE WIRING TO SUIT NEW CEILING LAYOUT, MAINTAIN CONCEALED ROUTING WHERE REQUIRED, CUT BACK MECHANICAL AND DUCTING AS REQUIRED, REMOVE UNWANTED ADHESIVES, FASTENERS AND ANY UNWANTED BUILDING MATERIALS. CLEAN UP CEILING AND PREP ALL EXPOSED AREAS FOR PAINTING.
REMOVE EXISTING DRYWALL, CEILING AND ASSOCIATED LIGHTING TO THE EXTENTS REQUIRED TO ACCOMMODATE NEW ACCESSIBLE LIFT PATCH AND REPAIR EDGES TO MEET NEW DRYWALL LIFT SURROUND.
EXISTING LIGHTING TO BE REMOVED AND RELOCATED
REMOVE EXISTING MOULDING, PATCH AND REPAIR WALL



01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots
Regimental Museum

Project Address
55 Queen Street East
Brampton L6W 2A6

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	1:50
Plot Date	2024.07.04

BASEMENT FLOOR
DEMOLITION RCP

BASEMENT FLOOR DEMOLITION RCP

SCALE = 1: 50

10
A1.5

Drawing No:

A1.5

Seals:

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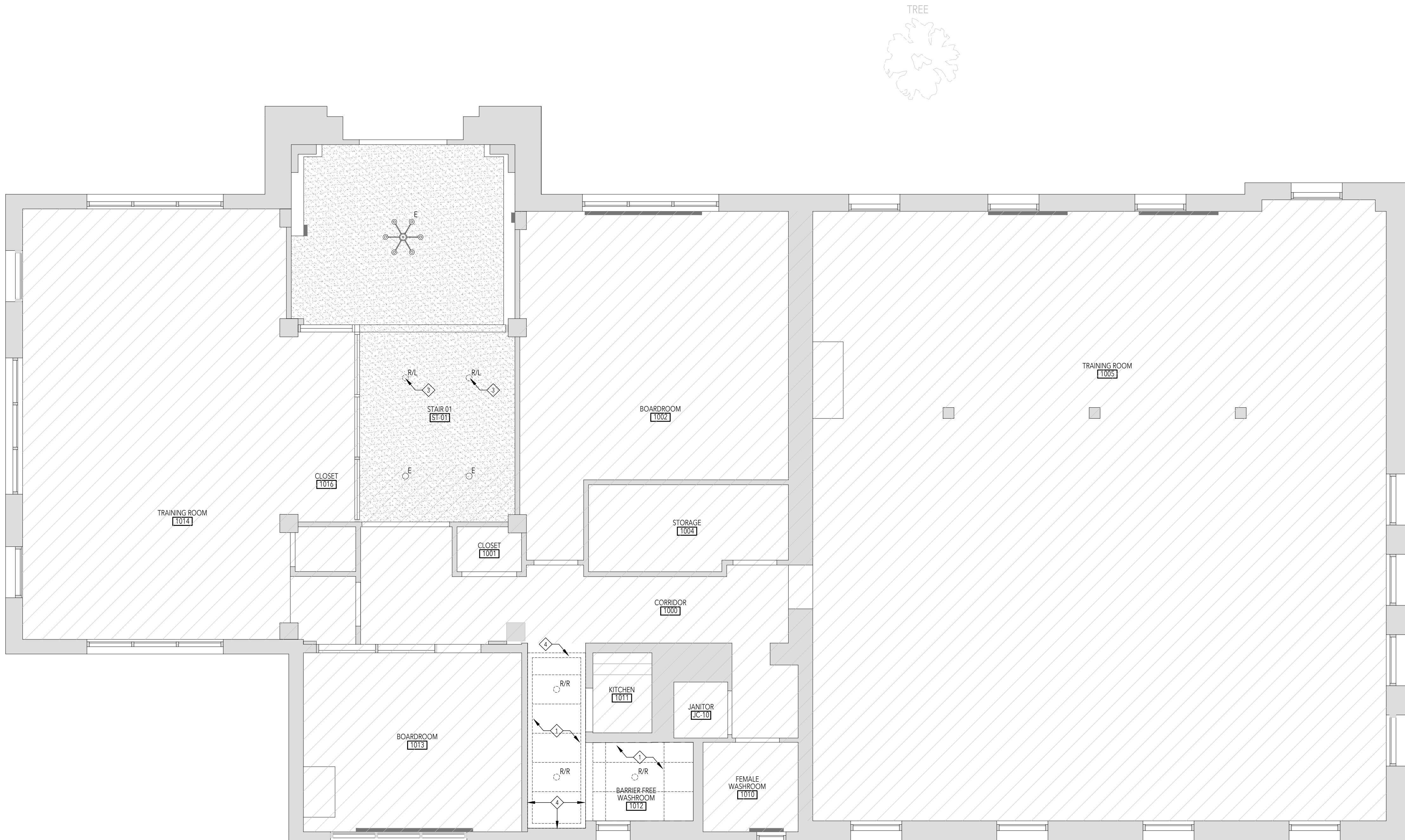
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4 EXISTING LIGHTING TO BE REMOVED AND RELOCATED
5 REMOVE EXISTING MOULDING, PATCH AND REPAIR WALL

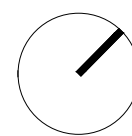


01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots
Regimental Museum

Project Address
55 Queen Street East
Brampton L6W 2A6

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	1:50
Plot Date	2024.07.04



GROUND FLOOR
DEMOLITION RCP

GROUND FLOOR DEMOLITION RCP

SCALE = 1: 50

10
A1.6

Drawing No:

A1.6

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Do not scale the drawing.

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LEBEL & BOULIANE

Seals:

GENERAL NOTES

1. WALLS SHOULD EXTEND FROM FLOOR TO UNDERSIDE OF SLAB ABOVE. ANY PENETRATIONS THROUGH WALL SHOULD BE OVERSIZED, FILLED WITH BATT INSULATION AND SEALED WITH NON-HARDENING ACOUSTIC CAULK WITH A MINIMUM MOVEMENT CAPABILITY OF +/-25%. REFER TO INTERIOR DETAILS.
2. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
3. AT LOCATIONS WHERE MECHANICAL DUCTS INTERFERE WITH FULL HEIGHT CONSTRUCTION OF INTERIOR PARTITIONS, OFFSET PARTITION ABOVE CEILING AND BRACE AS REQUIRED. MAINTAIN FIRE SEPARATION/SOUND RATING OF PARTITION. OFFSETTING OF PARTITIONS WILL ONLY BE PERMITTED WHERE DUCTWORK CAN NOT BE POSTIONED.
4. ALL DIMENSIONS ARE TAKEN TO FACE OF MASONRY OR CONCRETE AT MASONRY AND CONCRETE WALLS AND PARTITIONS. AT STEEL STUD PARTITIONS, DIMENSIONS ARE TAKEN TO FINISHED FACE OF PARTITION, UNLESS OTHERWISE NOTED.
5. MAKE GOOD ALL EXISTING DRYWALL TO REMAIN.
6. ALL EXISTING FIRE RATED ASSEMBLIES TO MAINTAIN EXISTING RATING.
7. PROVIDE BLOCKING AS REQUIRED AT ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES
8. UNLESS OTHERWISE NOTED, DOOR OPENINGS ARE 101mm FROM ADJACENT RETURN WALL.
9. WHERE LOCATED AGAINST WALL PAINTED TO PT1, WALL PLATES, RECEPTACLES, DATA OUTLETS ETC TO BE PROVIDED IN WHITE. .

LEGEND

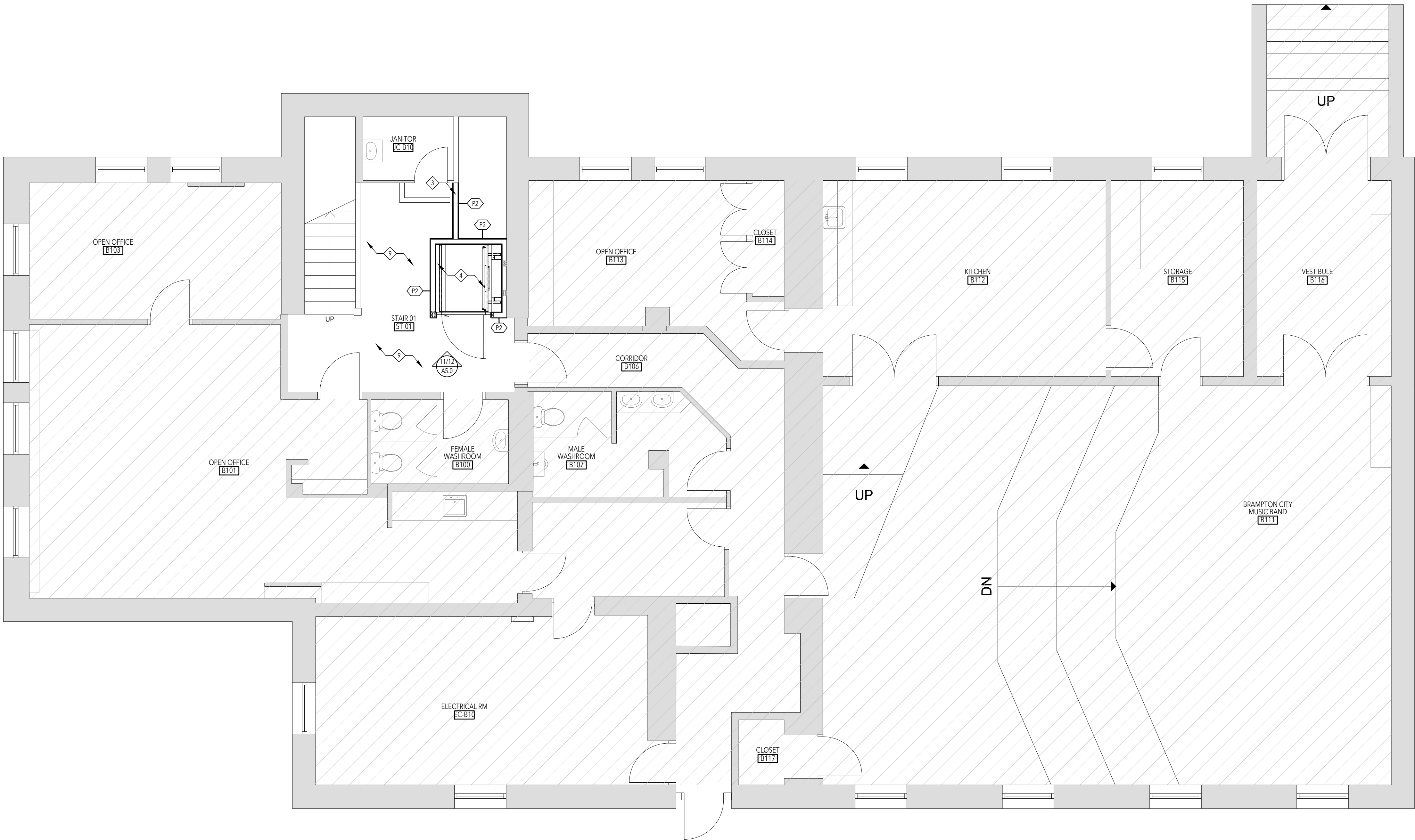
- DENOTES EXISTING TO REMAN
- GENERAL INDICATES AREA NOT IN SCOPE
- NEW CONSTRUCTION
- DOOR TAG

DOOR TAG
- PARTITION TAG

PARTITION TAG
- DOOR OPERATOR (COORDINATE WITH ELECTRICAL)

PLAN KEY NOTES

- 1 PROVIDE BLOCKING AS NECESSARY FOR WALL MOUNTED EQUIPMENT/ACCESSORIES/PLUMBING FIXTURES
- 2 MAKE GOOD EXISTING WALL, PREPARE FOR PAINT FINISH BENJAMIN MOORE CC-30 OXFORD WHITE
- 3 NEW GWB AND WALL BASE TO MATCH BENJAMIN MOORE CC-30 OXFORD WHITE
- 4 NEW ACCESSIBLE LIFT WITH GWB SURROUND, REFERENCE ELECTRICAL / MECHANICAL AND STRUCTURAL DRAWINGS FOR FURTHER DETAILS
- 5 NEW RECONSTRUCTED STAIR AND HANDRAIL, MADE FROM REMOVED EXISTING STAIR AND TO MATCH DESIGN OF EXISTING STAIR
- 6 NEW AUTO DOOR OPERATOR, REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- 7 NEW ACCESSIBLE RAMP, REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- 8 NEW EXTERIOR LIGHT POST, REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION
- 9 NEW VINYL FLOORING: TARKETT ACCENT CONCRETE COOL GREY
- 10 EXISTING PLUMBING / ACCESSORIES AND EQUIPMENT TO BE RE-INSTALLED IN ACCORDANCE WITH ACCESSIBILITY GUIDELINES
- 11 EXISTING STAIRS TO BE WIDENED THROUGH NEW INFILL, REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- 12 EXISTING DOOR AND FRAME TO BE RELOCATED
- 13 EXISTING CITY SIGNAGE TO BE RELOCATED TO ACCOMMODATE RAMP
- 14 RELOCATED EXISTING RADIATOR
- 15 NEW WALKOFF CARPET FLOORING: BURMATX GRIMBUSTER NEWMARKET GREY

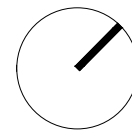


01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots
Regimental Museum

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	1:50
Plot Date	2024.07.23



BASEMENT FLOOR PLAN

BASEMENT FLOOR PLAN

SCALE = 1: 50

10
A2.0

Drawing No:

A2.0

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LEBEL & BOULIANE

Seals:

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6. ALL EXISTING FIRE RATED ASSEMBLIES TO MAINTAIN EXISTING RATING.
7. PROVIDE BLOCKING AS REQUIRED AT ALL WALL MOUNTED EQUIPMENT AND ACCESSORIES
8. UNLESS OTHERWISE NOTED, DOOR OPENINGS ARE 101mm FROM ADJACENT RETURN WALL.
9. WHERE LOCATED AGAINST WALL PAINTED TO P11, WALL PLATES, RECEPTACLES, DATA OUTLETS ETC. TO BE PROVIDED IN WHITE.

LEGEND

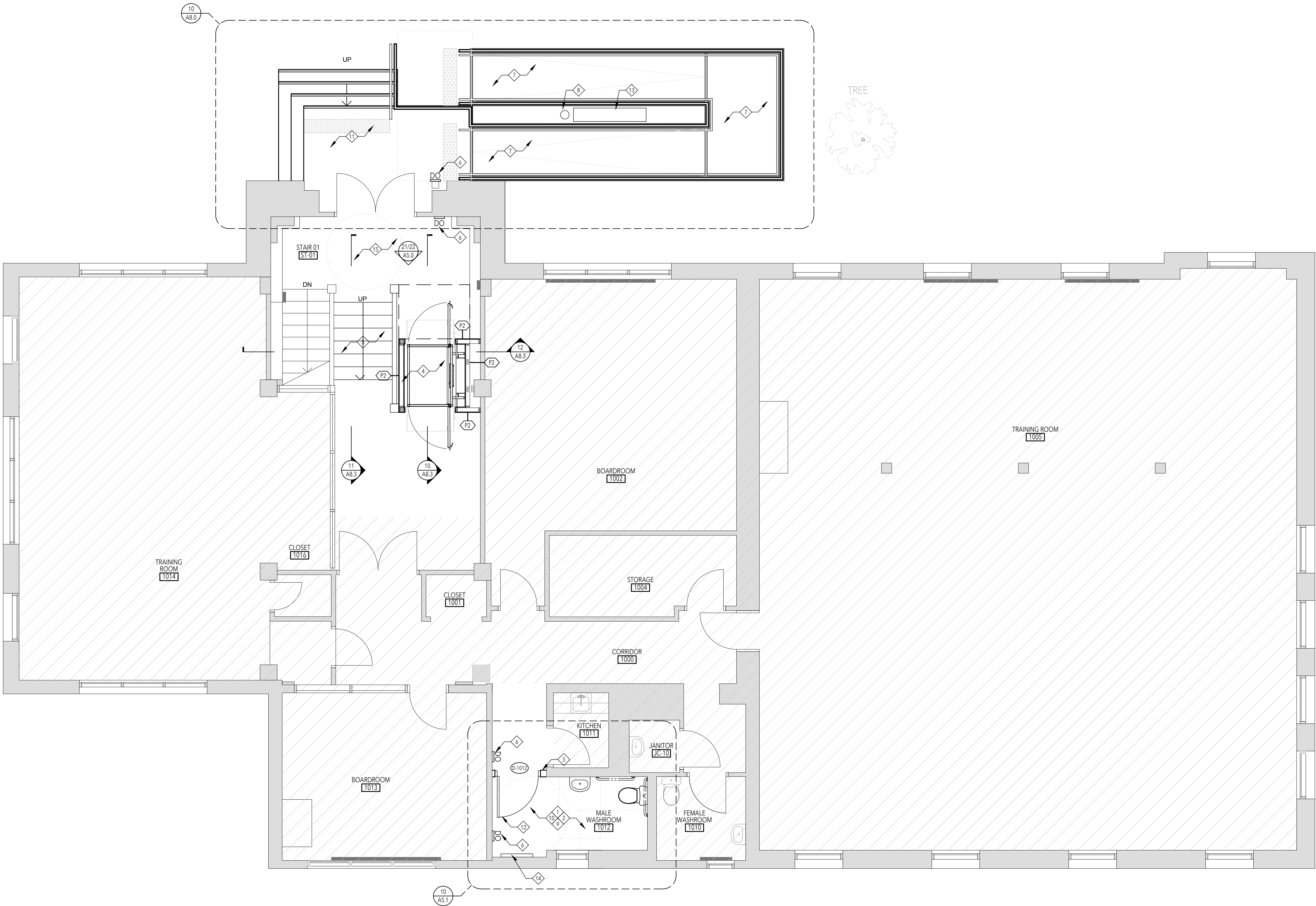
- DENOTES EXISTING TO REMAIN
- GENERAL INDICATES AREA NOT IN SCOPE
- NEW CONSTRUCTION
- DOOR TAG

DOOR TAG
- PARTITION TAG

PARTITION TAG
- DOOR OPERATOR (COORDINATE WITH ELECTRICAL)

PLAN KEY NOTES:

- 1 PROVIDE BLOCKING AS NECESSARY FOR WALL MOUNTED EQUIPMENT/ACCESSORIES/PLUMBING FIXTURES
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- 7 NEW ACCESSIBLE RAMP. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
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- 9 NEW VINYL FLOORING. TARKETT ACCENT CONCRETE COOL GREY
- 10 EXISTING PLUMBING / ACCESSORIES AND EQUIPMENT TO BE RE-INSTALLED IN ACCORDANCE WITH ACCESSIBILITY GUIDELINES
- 11 EXISTING STAIRS TO BE WIDENED THROUGH NEW WALL. REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- 12 EXISTING DOOR AND FRAME TO BE RELOCATED
- 13 EXISTING CITY SIGNAGE TO BE RELOCATED TO ACCOMMODATE RAMP
- 14 RELOCATED EXISTING RADIATOR
- 15 NEW HALL/OFF CARPET FLOORING: BURMATEX GRIMBUSTER NEWMARKET GREY



01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots
Regimental Museum

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	1:50
Plot Date	2024.07.23

GROUND FLOOR PLAN

GROUND FLOOR PLAN

SCALE = 1: 50

10
A2.1

Drawing No:

A2.1

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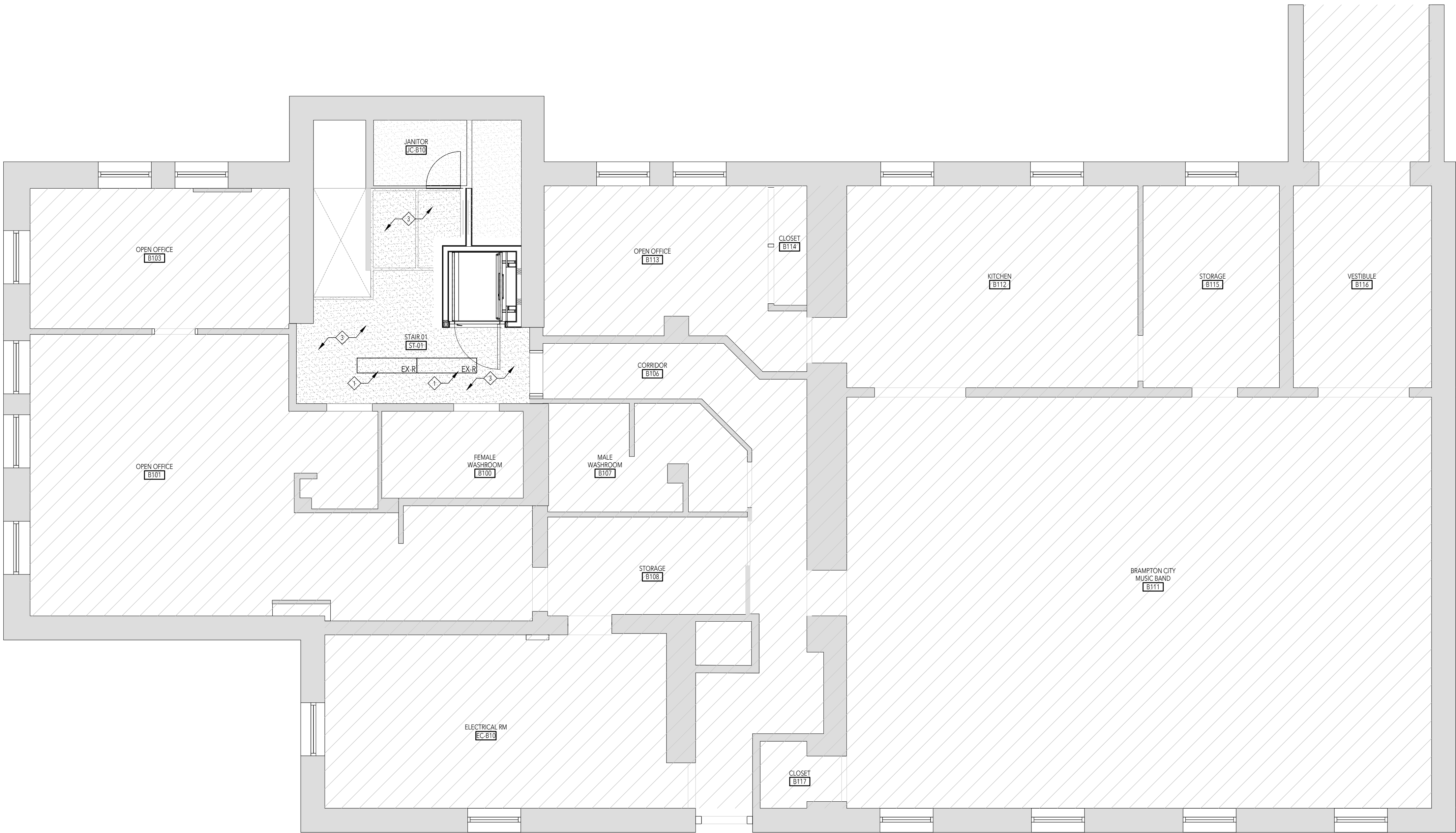
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LEBEL & BOULIANE

Seals:

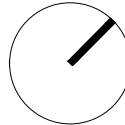


01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots
Regimental Museum

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	23-003
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.06.17



BASEMENT FLOOR RCP

BASEMENT FLOOR RCP

SCALE = 1: 50

10
A3.0

Drawing No:

A3.0

GENERAL NOTES

1. MAKE GOOD ALL EXISTING AREAS ADJACENT NEW.

2. ALL CEILING HEIGHT TO MATCH EXISTING CEILING

3. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION

ABBREVIATION & ADDITIONAL NOTES:

E EXISTING TO REMAIN

R DENOTES EXISTING TO BE REMOVED

R/R DENOTES EXISTING TO BE REMOVED AND REPLACED

R/L DENOTES EXISTING TO BE REMOVED AND RELOCATED

RCP LEGEND:

■ GENERAL INDICATES EXISTING TO REMAIN

□ GENERAL INDICATES AREA NOT IN SCOPE

▨ GWB CEILING

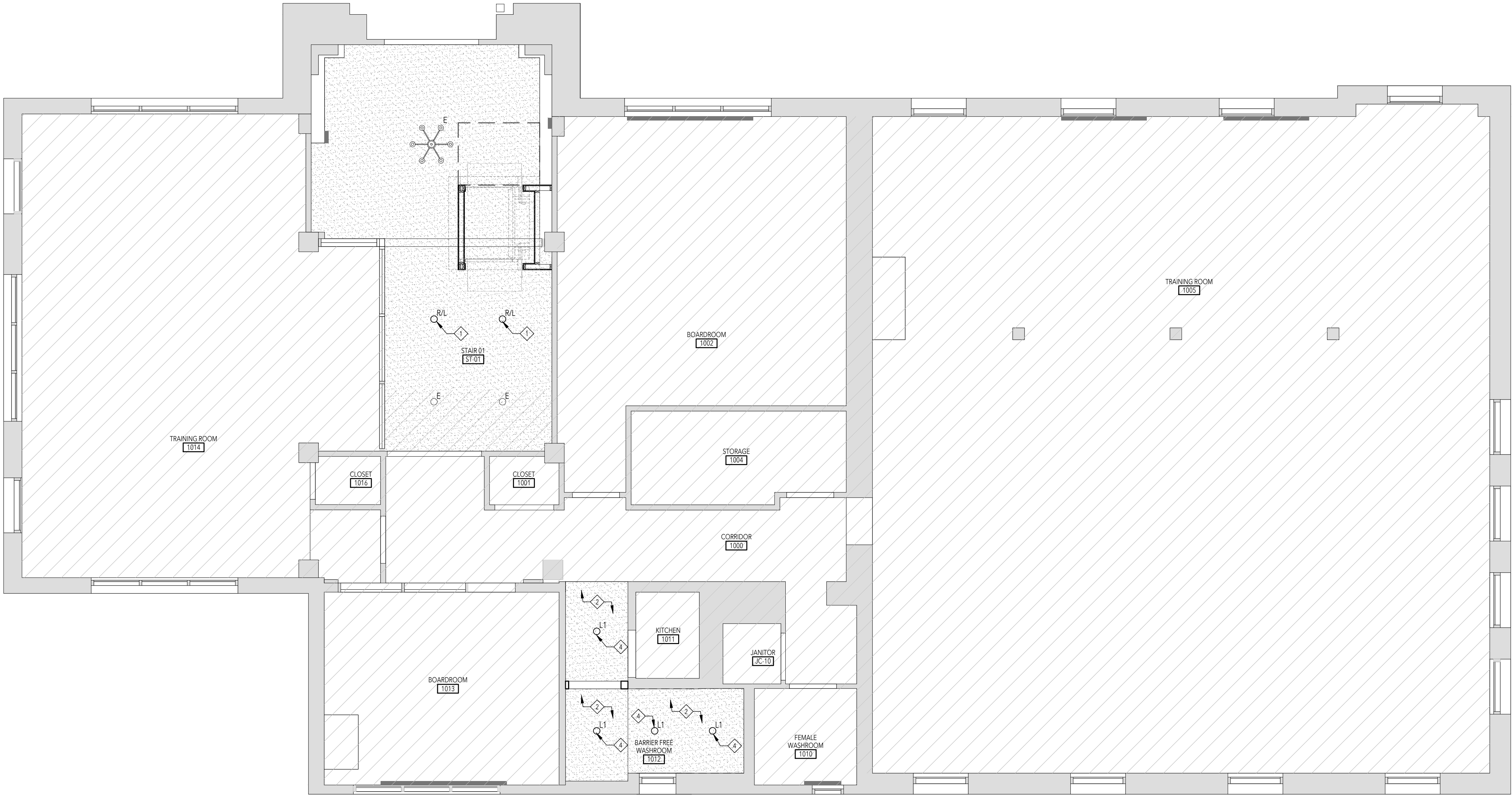
RCP KEYNOTES

1 EXISTING LIGHTS TO BE RELOCATED, MAKE GOOD DRYWALL CEILING AND PAINT

2 NEW GWB CEILING HEIGHT TO MATCH EXISTING CEILING HEIGHT PAINTED FT-1 BENJAMIN MOORE CC-30 OXFORD WHITE

3 EXISTING GWB CEILING TO BE MADE GOOD AND REPAINTED AFTER ACCOMMODATION OF NEW ACCESSIBLE LIFT

4 NEW L1 LIGHT - SIGMA 2 LITELINE, WHITE RECESSED 3000K



GROUND FLOOR RCP

SCALE = 1: 50

10
A3.1

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LEBEL & BOULIANE

Seals:

01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots
Regimental Museum

Project Address:
55 Queen Street East,
Brampton L6W 2A8

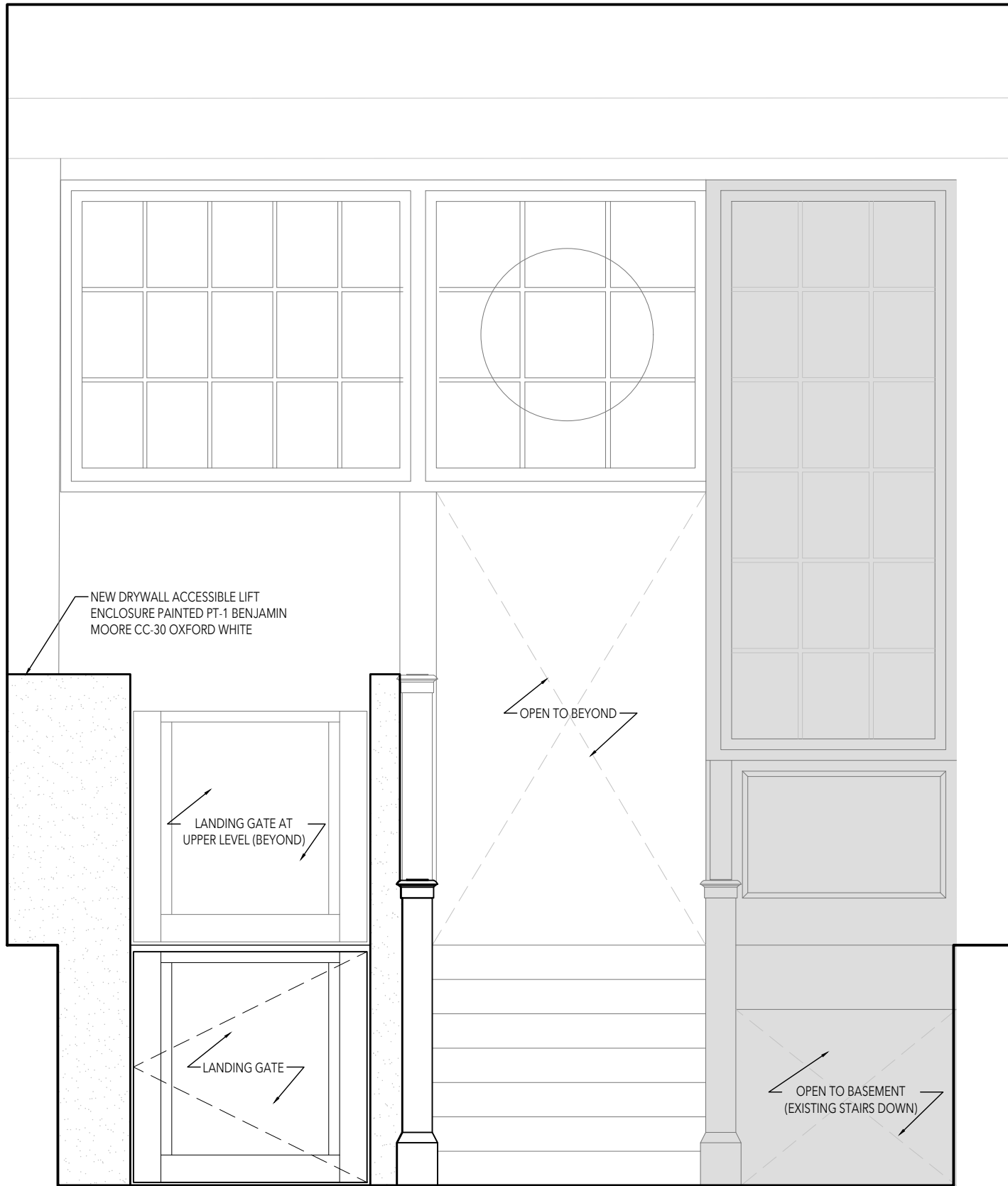
Project No.	23-003
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.05.30

GROUND FLOOR RCP

Drawing No:

A3.1

Seals:

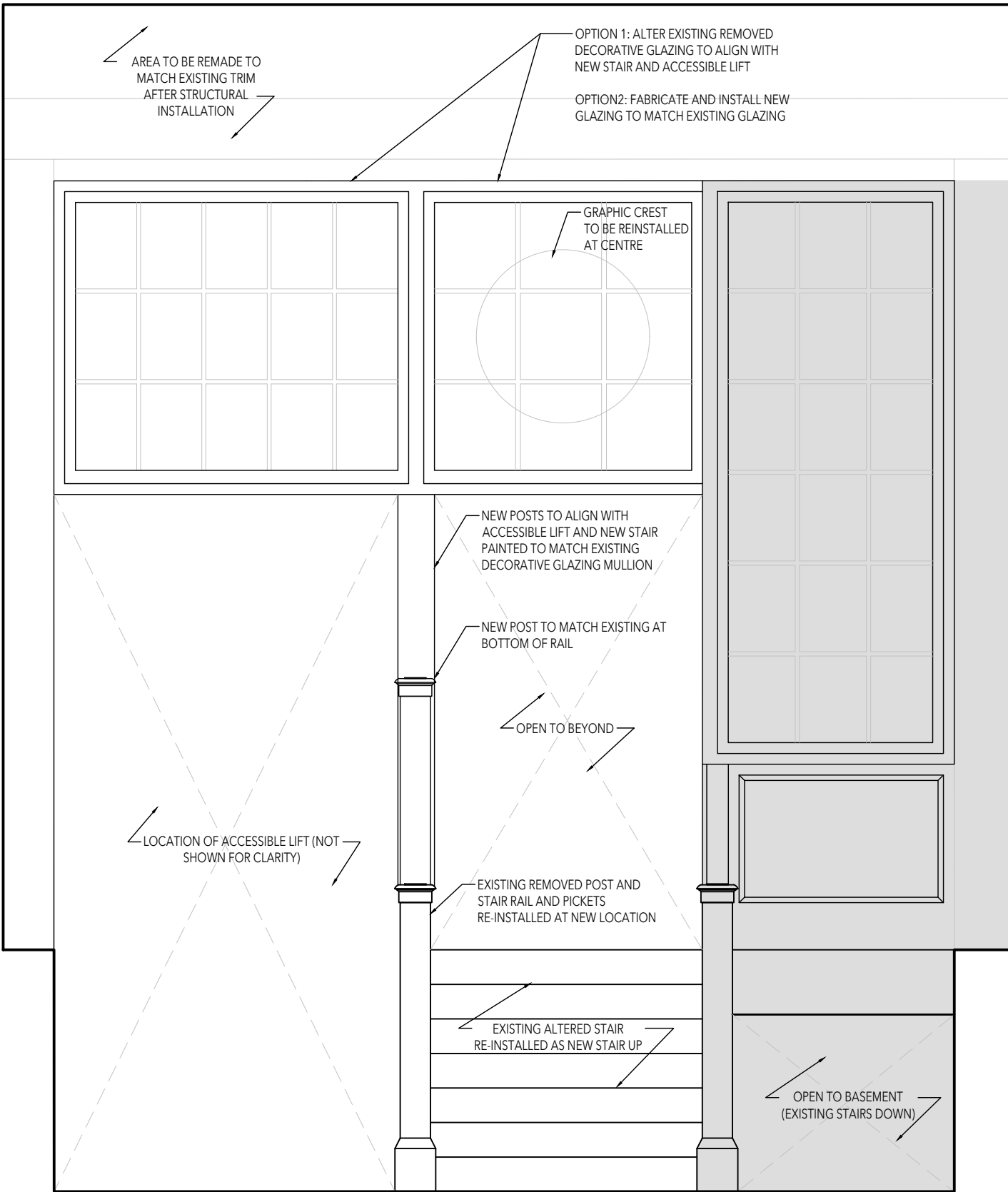


ENTRY ELEVATION - NEW (IN FRONT OF LIFT)

SCALE = 1: 50

22

A5.0

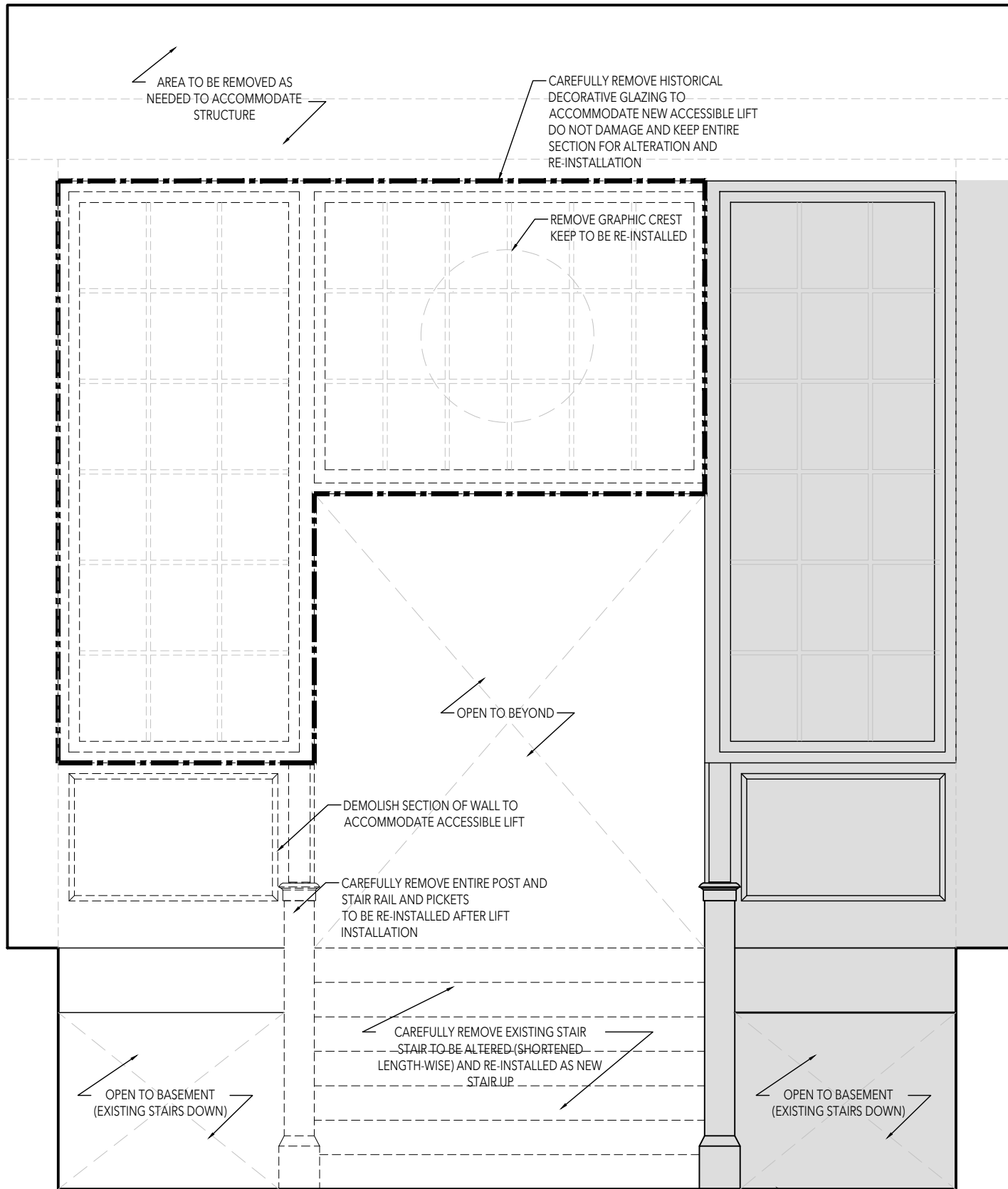


ENTRY ELEVATION - NEW (BEHIND LIFT)

SCALE = 1: 50

21

A5.0

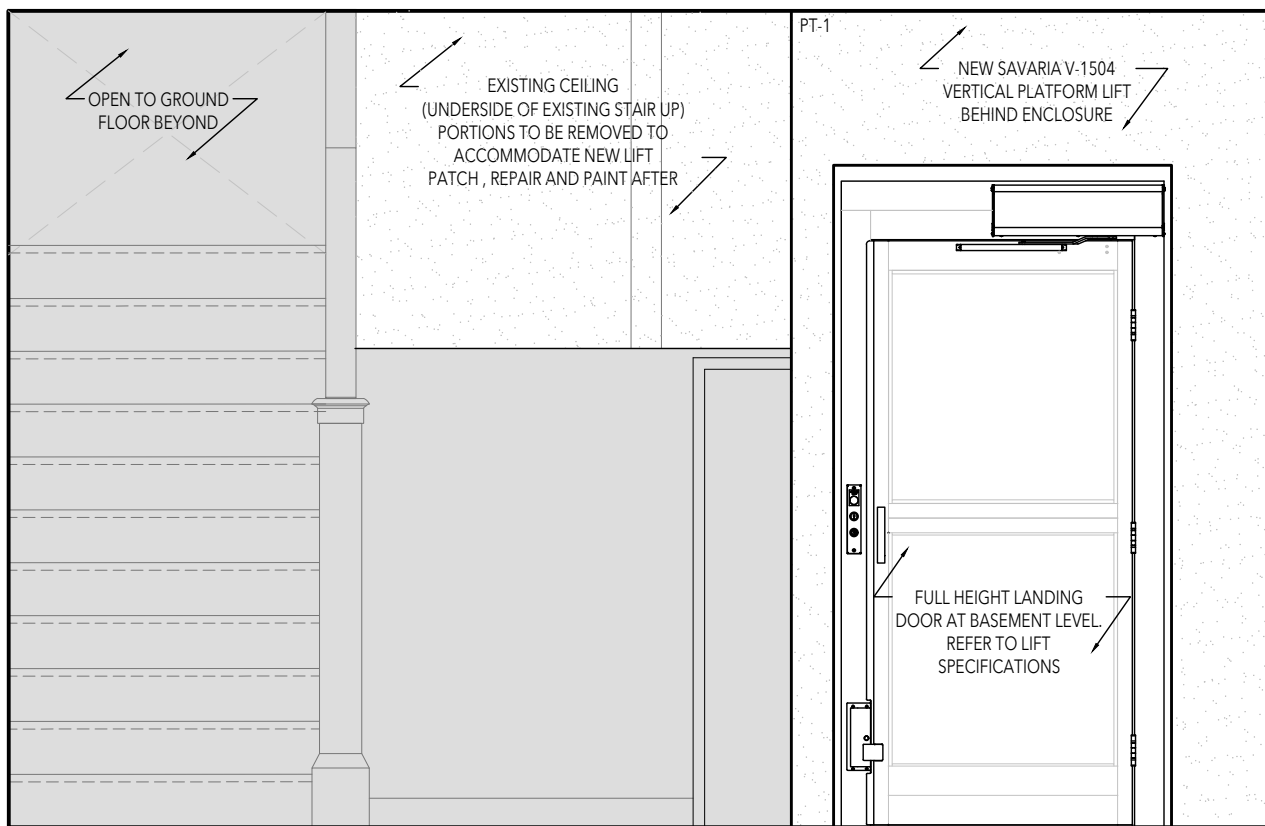


ENTRY ELEVATION - DEMO

SCALE = 1: 50

20

A5.0

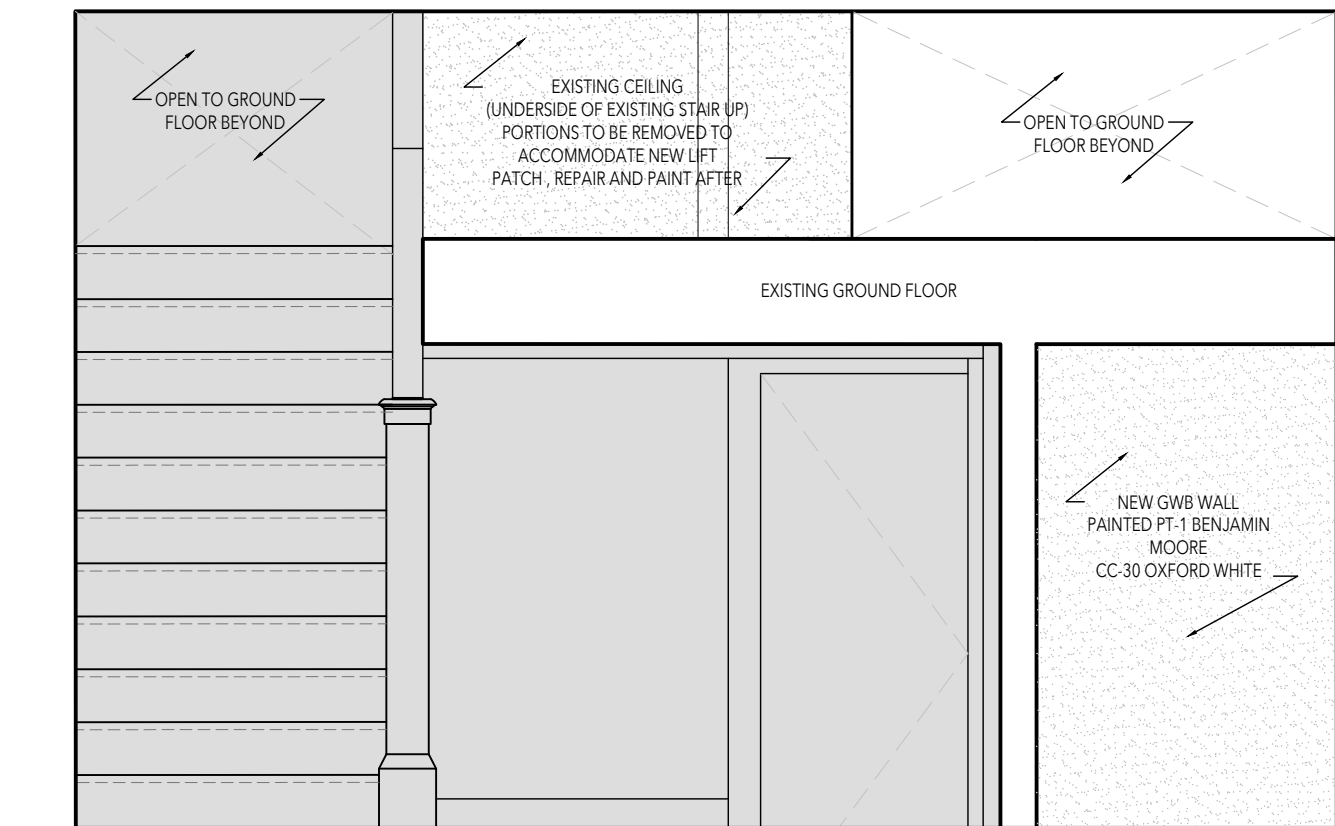


ENTRY ELEVATION - NEW (IN FRONT OF LIFT)

SCALE = 1: 50

12

A5.0

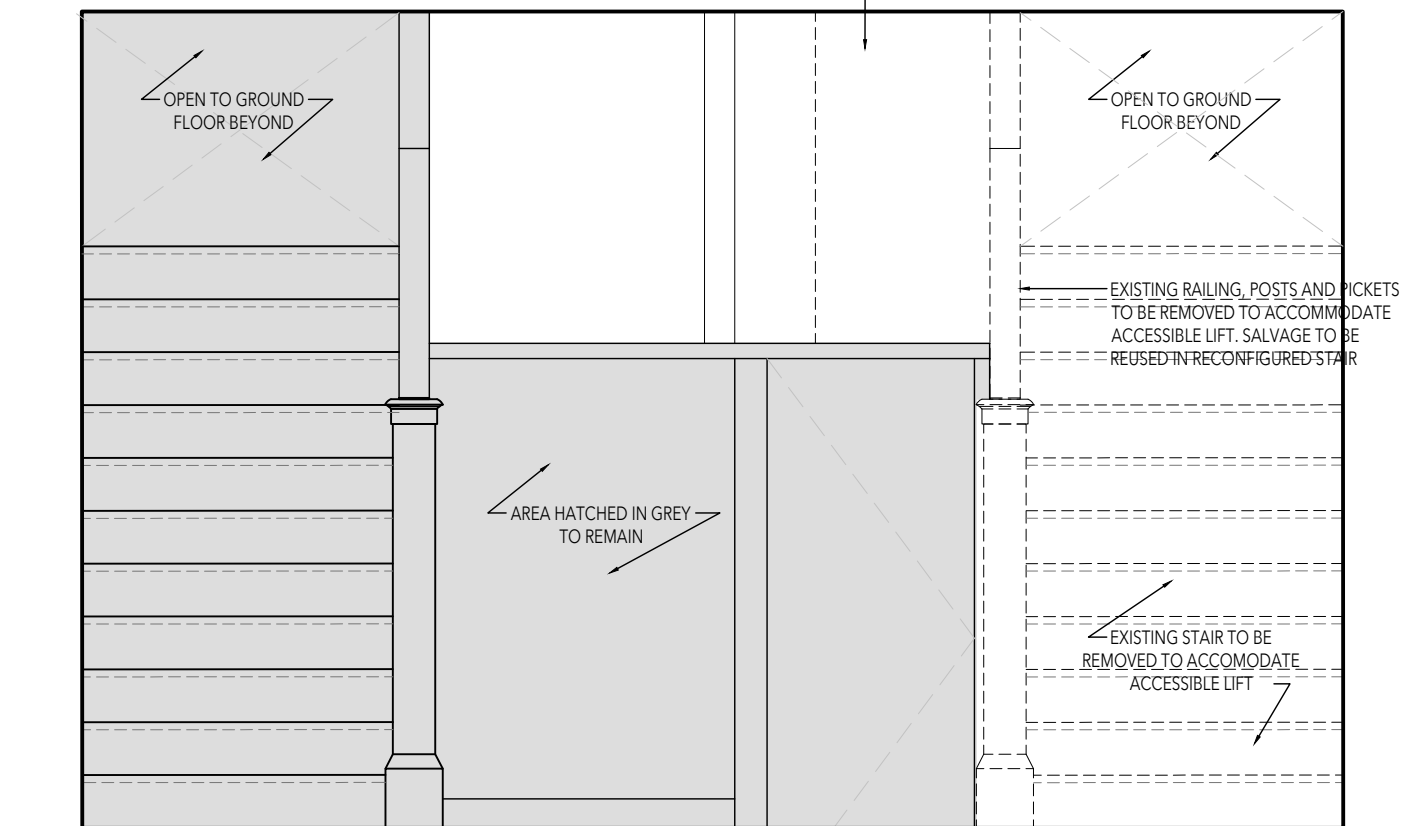


BASEMENT ELEVATION - NEW (BEHIND LIFT)

SCALE = 1: 50

11

A5.0



BASEMENT ELEVATION - DEMO

SCALE = 1: 50

10

A5.0

01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots Regimental Museum

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.07.24

INTERIOR ELEVATIONS

Drawing No:

A5.0

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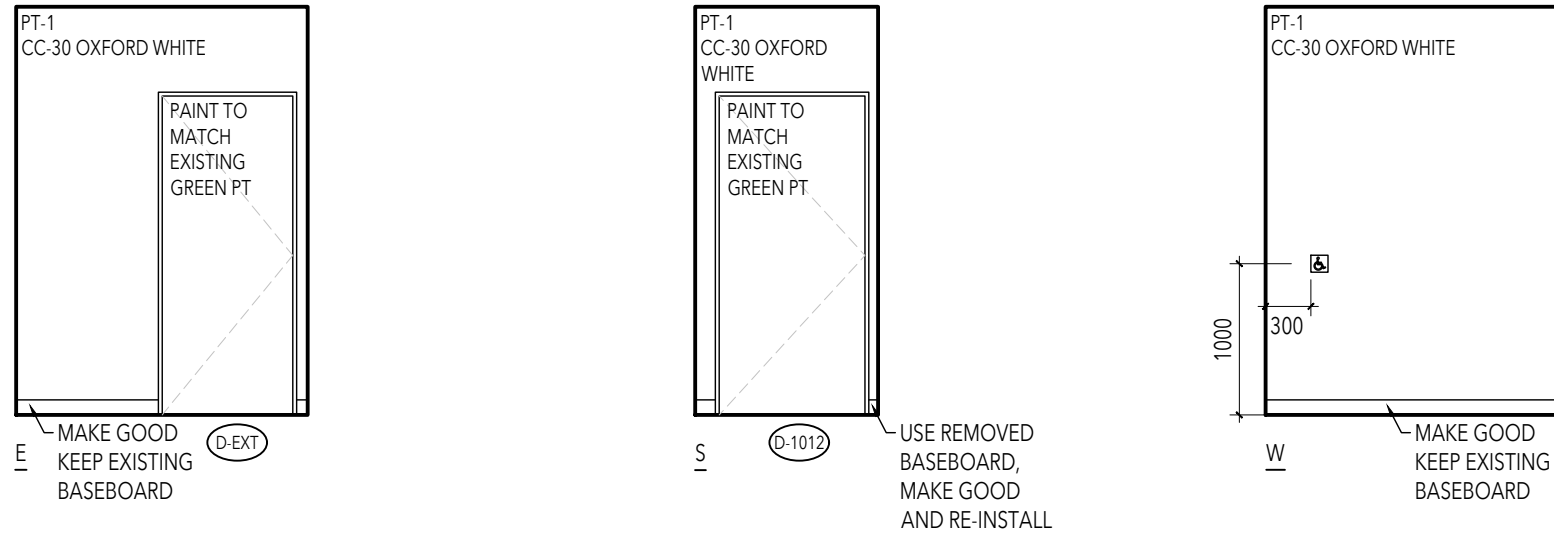
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LEBEL & BOULIANE

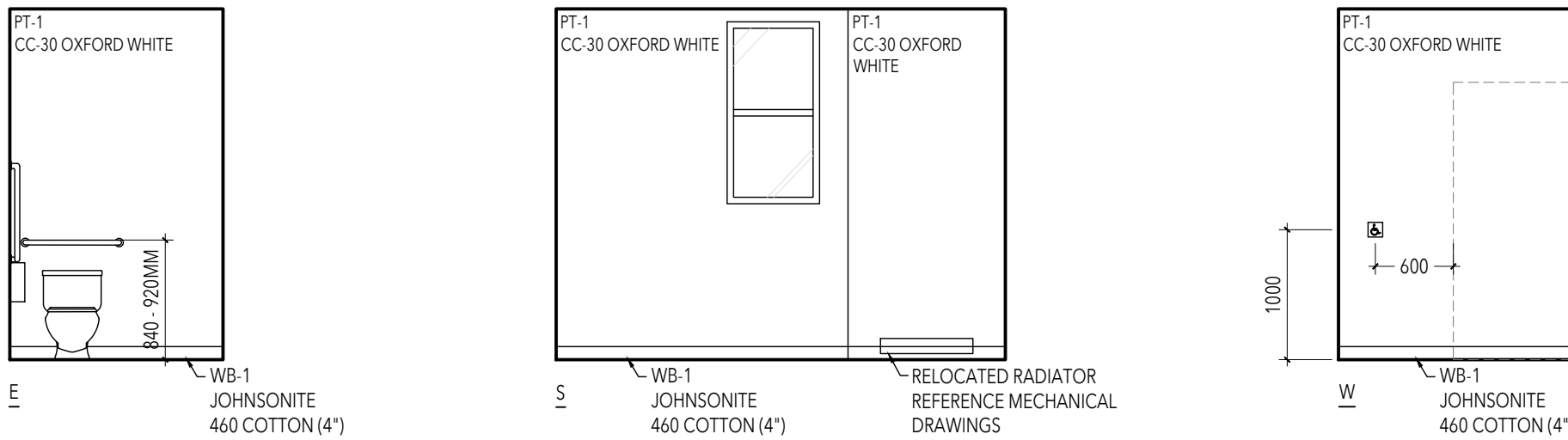
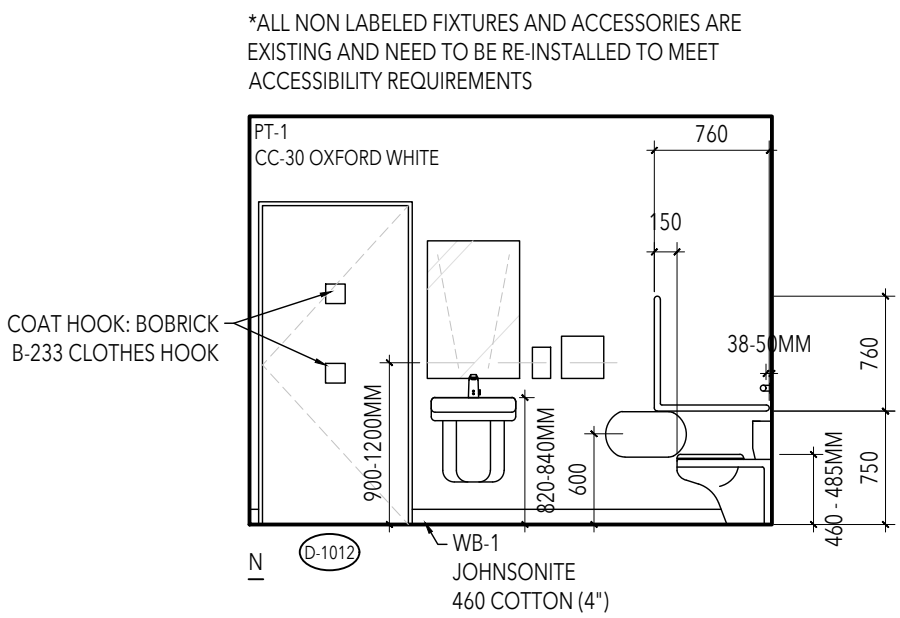
Seals:



WASHROOM CORRIDOR

SCALE = 1: 50

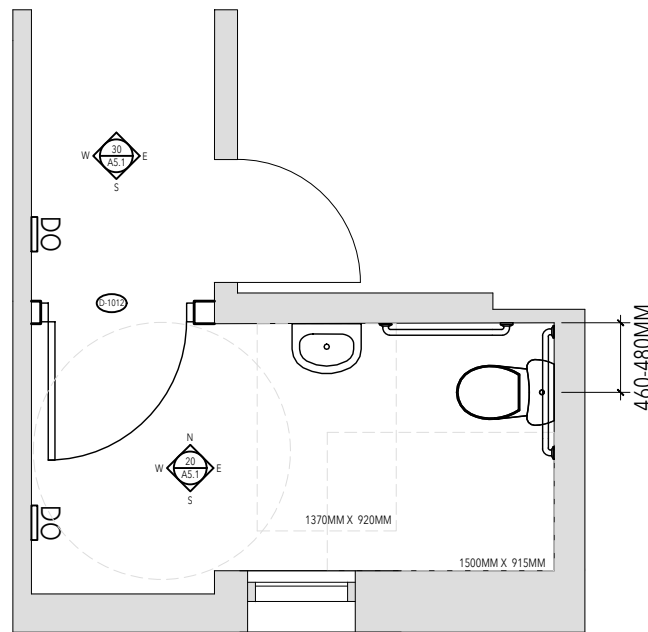
30
A5.1



ACCESSIBLE WASHROOM

SCALE = 1: 50

20
A5.1



ACCESSIBLE WASHROOM

SCALE = 1: 50

10
A5.1

01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots
Regimental Museum

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.07.24

ACCESSIBLE WASHROOM

Drawing No:

A5.1

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Seals:

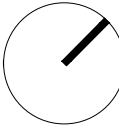
..\\..\\B. Design Development\\3.0 Schedules\\2024.07.18_Door Hardware\\2024.07.17_Regimental Museum_Door Schedule.jpg

01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots
Regimental Museum

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	24-002
Drawn by	TT
Reviewed by	MS
Scale	1:50
Plot Date	2024.07.18



DOOR HARDWARE

BASEMENT FLOOR RCP

SCALE = 1: NTS

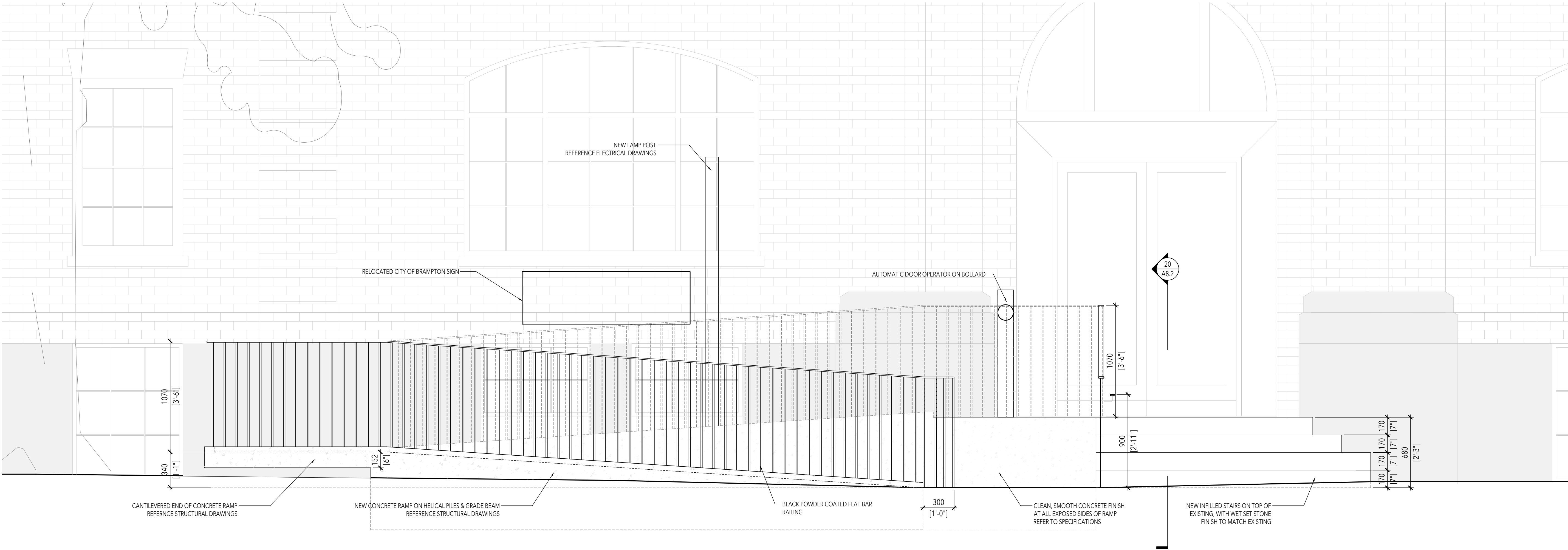
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A6.0

Drawing No:

A6.0

Drawing No:

Seals:



01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots
Regimental Museum

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	23-003
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.07.23

RAMP ELEVATION

RAMP ELEVATION

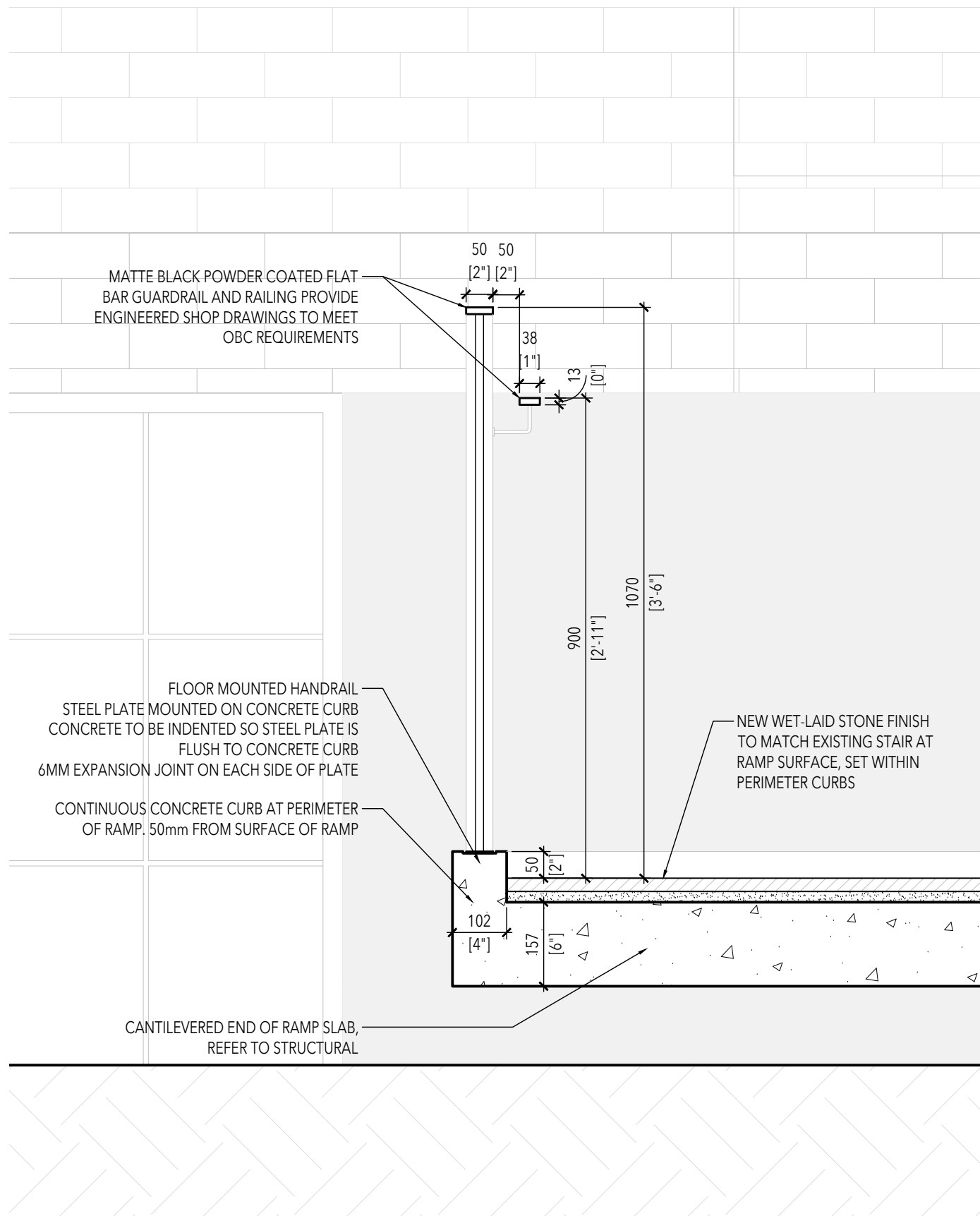
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A8.1

Drawing No:

A8.1

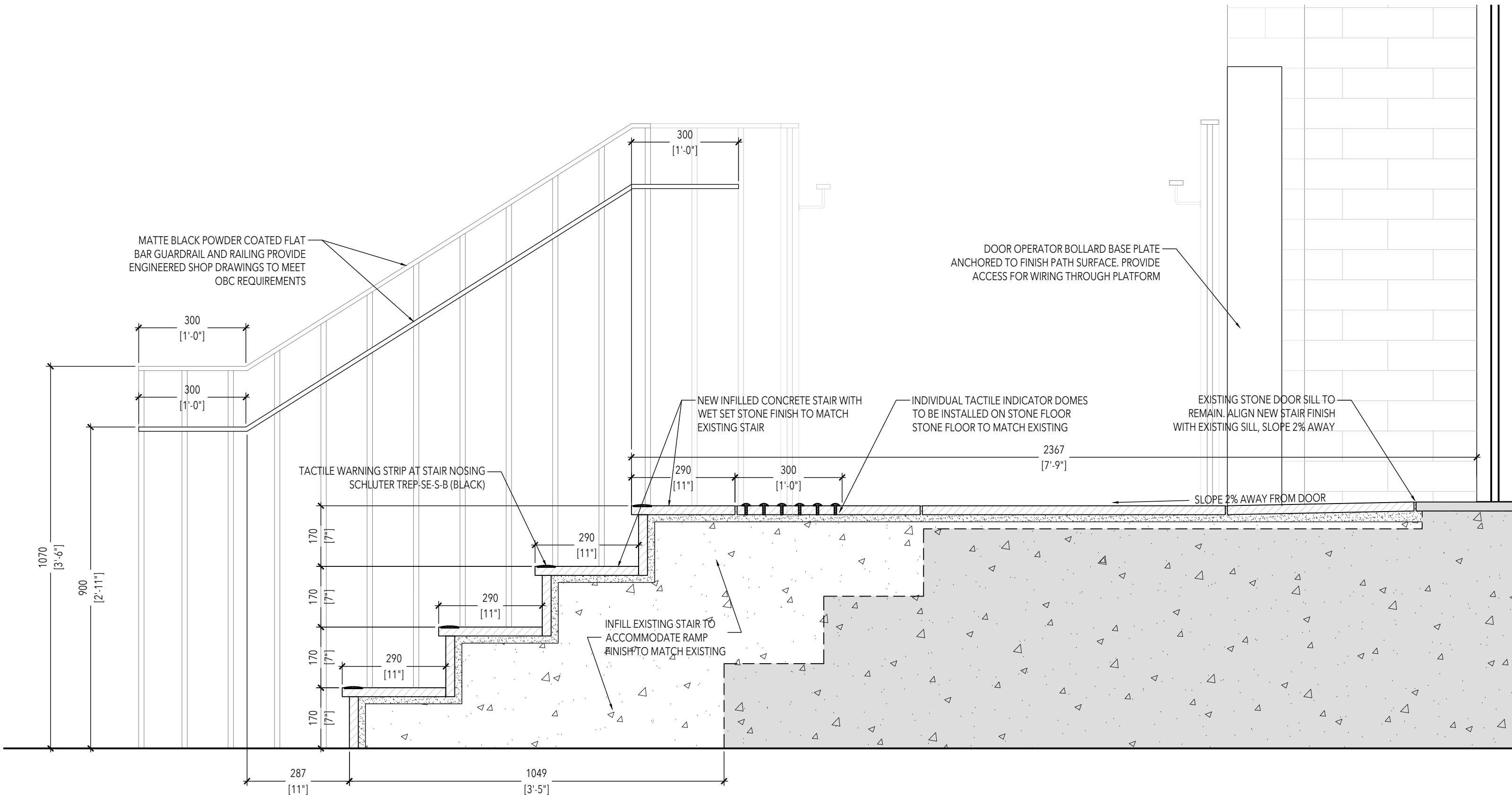
Seals:



EXTERIOR STAIR

SCALE = 1: 20

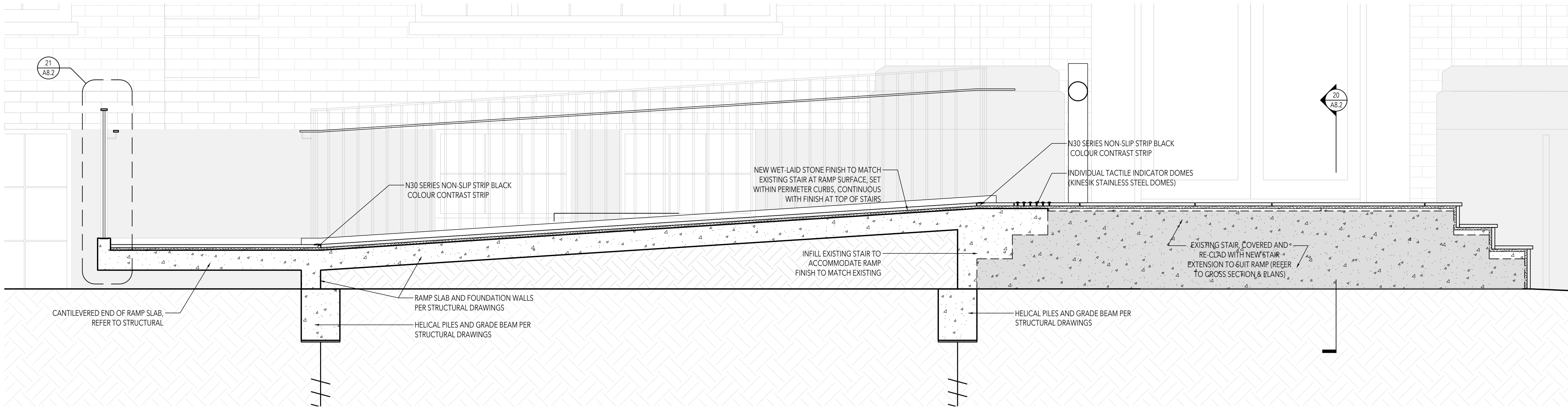
21
A8.2



EXTERIOR STAIR

SCALE = 1: 10

20
A8.2



EXTERIOR STAIR

SCALE = 1: 20

10
A8.2

01 Permit & Tender 2024.07.24
No. Issued for Date

Lorne Scots
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Project Address:
55 Queen Street East,
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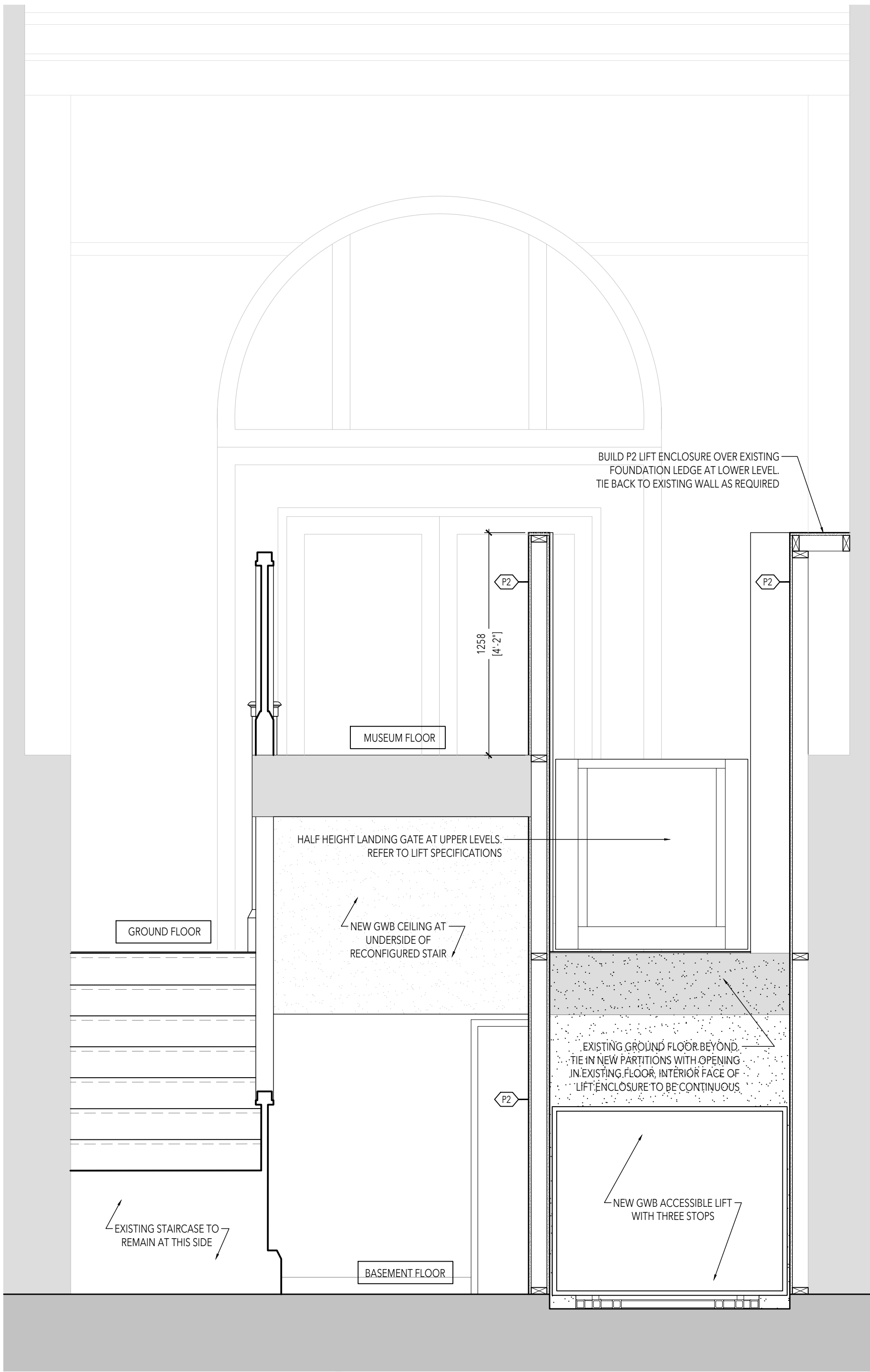
Project No. 23-003
Drawn by TT
Reviewed by MS
Scale NTS
Plot Date 2024.07.23

DETAILS

Drawing No:

A8.2

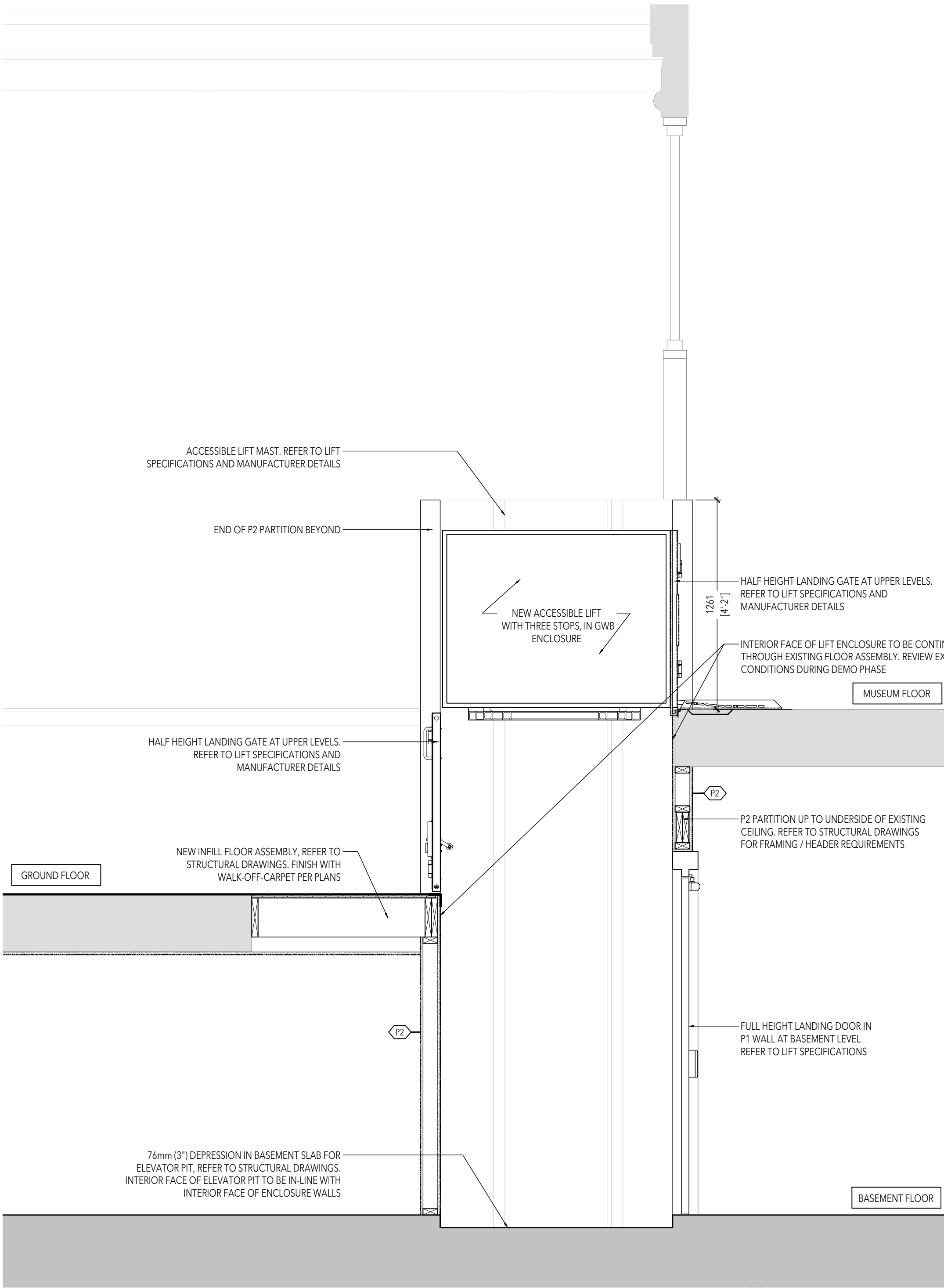
Seals:



INTERIOR SECTION C

SCALE = 1: 20

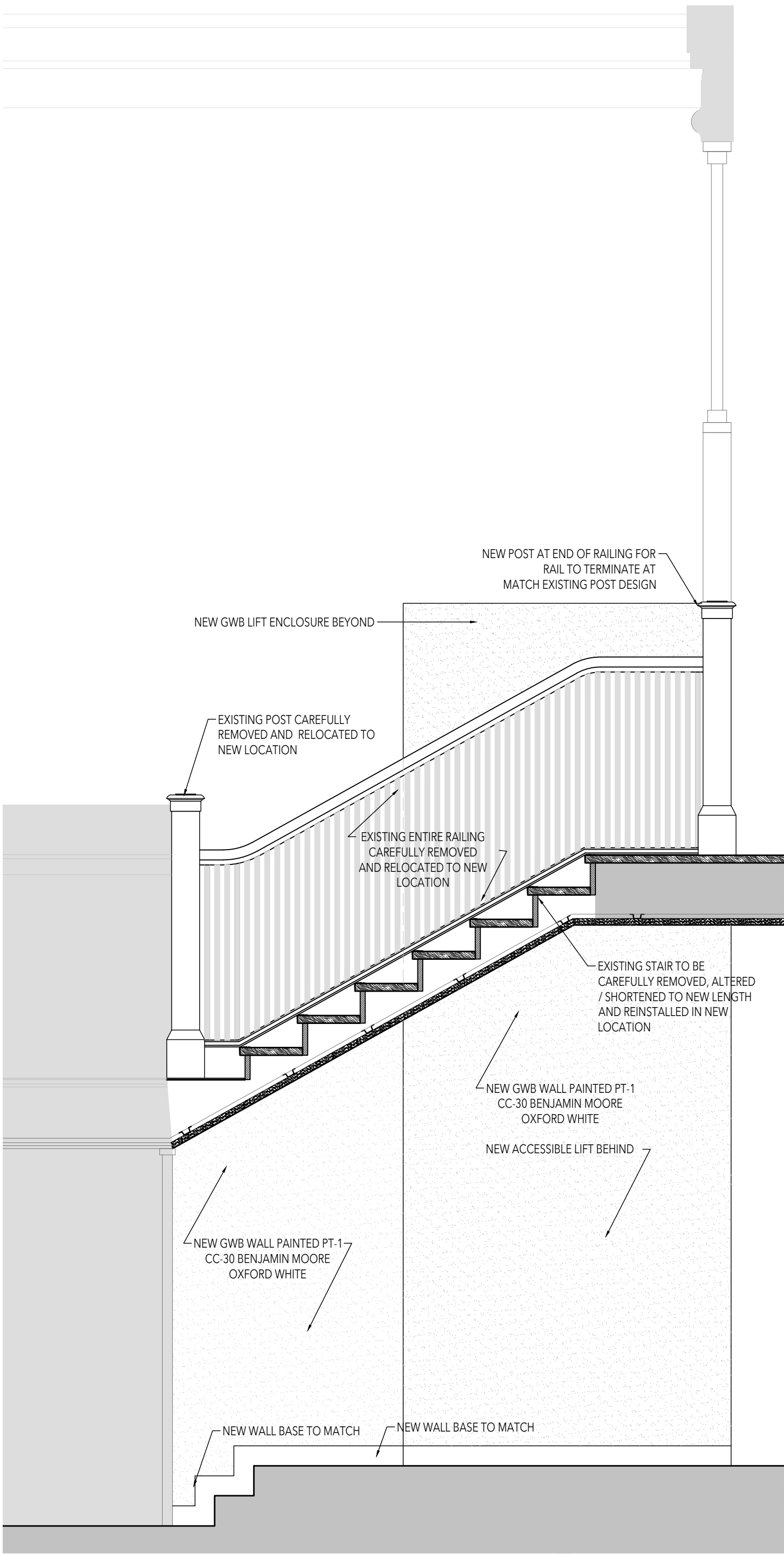
12
A8.3



INTERIOR SECTION B

SCALE = 1: 20

11
A8.3



INTERIOR SECTION A

SCALE = 1: 20

10
A8.3

01	Permit & Tender	2024.07.24
No.	Issued for	Date

Lorne Scots
Regimental Museum

Project Address:
55 Queen Street East,
Brampton L6W 2A8

Project No.	23-003
Drawn by	TT
Reviewed by	MS
Scale	NTS
Plot Date	2024.07.23

INTERIOR SECTIONS

Drawing No:

A8.3

PART TWO - HERITAGE PERMIT APPLICATION:

HERITAGE PERMIT APPLICATION FORM

In accordance with the Ontario Heritage Act a heritage permit must be issued by City Council for all proposals to erect, remove or alter the exterior of buildings, structures or other features described as heritage attributes within the scope of a heritage designation by-law.

City staff and the Brampton Heritage Board review all applications and then submit them to City Council for approval.

City Council has the authority under the Ontario Heritage Act to approve any heritage application either with or without conditions or to refuse the permit application entirely.

Please provide the following information (type or print)

A. REGISTERED OWNER

NAME OF REGISTERED OWNER(S) CITY OF BRAMPTON, Kanagsabai Balakanthan

TELEPHONE NO. HOME () BUSINESS: (416) 806-2756 FAX: ()

E-MAIL ADDRESS: Kanagasabai.Balakanthan@brampton.ca

MAILING ADDRESS:

B. AGENT

(Note: Full name & address of agent acting on behalf of applicant; e.g. architect, consultant, contractor, etc)

NAME OF AGENT(S) Luc Bouliane

TELEPHONE NO. HOME () BUSINESS: (416) 500-5927 FAX: ()

E-MAIL ADDRESS: luc@arch-lb.com

MAILING ADDRESS: 1249 Dundas Street West, Toronto ON, M6J 1X6

Note: Unless otherwise requested, all communications will be sent to the registered owner of the property.

C. LOCATION / LEGAL DESCRIPTION OF SUBJECT PROPERTY

LOTS(S) / BLOCK(S) Lots 7/8	
CONCESSION NO. 1	REGISTERED PLAN NO. BR-2
PART(S) NO.(S)	REFERENCE PLAN NO.
ROLL NUMBER:	
PIN (PROPERTY IDENTIFICATION NO.) 14036-0098	

D. OVERALL PROJECT DESCRIPTION / SUMMARY OF PROPOSAL

Work, both interior and exterior, to make the access to the museum ground floor accessible including the construction of an exterior ramp, installation of an interior accessible lift, and modifications to an existing washroom.

E. DESCRIPTION OF WORKS

(Please briefly describe the proposed works as they fit within one or more of the categories below; note the specific features that would be affected. Use separate sheets as required; attach appropriate supporting documentation; point form is acceptable):

Rehabilitation and/or Preventative Conservation Measures (e.g. repointing masonry; note which heritage attributes and features would be impacted and where, materials to be used, specifications and techniques):

Rehabilitation for Accessibility Upgrades

See attached Heritage Impact Assessment (Hobson 2024)

Major Alterations, Additions and/or New Construction (note which attributes to be impacted, location of work, materials to be used, specifications and techniques):

Accessibility upgrades to front entrance and lower level washroom.

See attached Heritage Impact Assessment (Hobson 2024)

Restoration (i.e. replicating or revealing lost elements and features; note which attributes to be impacted and where, materials to be used, specifications and techniques):

Part of the glazed partition wall in the entrance vestibule will be replicated to match the existing.

See attached Heritage Impact Assessment (Hobson 2024)

F. SCOPE OF WORK IMPACTING HERITAGE PROPERTY

(Check all that apply)

NEW CONSTRUCTION IS PROPOSED ☒

DEMOLISH ☐

ALTER ☒

EXPAND ☐

RELOCATE ☐

G. SITE STATISTICS (For addition and construction of new structures)

LOT DIMENSIONS FRONTAGE _____ DEPTH _____

LOT AREA _____ m²

only new
construction is
an exterior ramp

EXISTING BUILDING COVERAGE _____ %

BUILDING HEIGHT EXISTING _____ m

PROPOSED _____ m

BUILDING WIDTH EXISTING _____ m

PROPOSED _____ m

ZONING DESIGNATION _____

OTHER APPROVALS REQUIRED: (Check off only if required)

MINOR VARIANCE (COA) _____

SITE PLAN APPROVAL _____

BUILDING PERMIT _____ X

CONSERVATION AUTHORITY _____

SIGN BYLAW APPROVAL _____

(Note: IF YES, other approvals should be scheduled after the Heritage Permit has been approved by City Council)

H. CHECKLIST OF REQUIRED INFORMATION SUBMITTED

(Check all that apply)

- ☒ REGISTERED SURVEY
- ☒ SITE PLAN (showing all buildings and vegetation on the property)
- ☒ EXISTING PLANS & ELEVATIONS - AS BUILT
- ☒ PROPOSED PLANS & ELEVATIONS
- ☒ PHOTOGRAPHS
- ☐ MATERIAL SAMPLES, BROCHURES, ETC
- ☒ CONSTRUCTION SPECIFICATION DETAILS

I. AUTHORIZATION / DECLARATION

I HEREBY DECLARE THAT THE STATEMENTS MADE HEREIN ARE, TO THE BEST OF MY BELIEF AND KNOWLEDGE, A TRUE AND COMPLETE PRESENTATION OF THE PROPOSED APPLICATION.

I UNDERSTAND THAT THIS HERITAGE PERMIT DOES NOT CONSTITUTE A BUILDING PERMIT PURSUANT TO THE ONTARIO BUILDING CODE.

I ALSO HEREBY AGREE TO ALLOW THE APPROPRIATE STAFF OF THE CITY OF BRAMPTON TO ENTER THE SUBJECT PROPERTY IN ORDER TO FULLY ASSESS THE SCOPE AND MERITS OF THE APPLICATION.

(Property entry, if required, will be organized with the applicant or agent prior to entry)

Signature of Applicant or Authorized Agent

Date of Submission

Heritage Permit applications are submitted to the Planning, Design and Development Department, 3rd Floor Counter, Brampton City Hall,

The personal information on this form is collected under the authority of the *Ontario Heritage Act*, RSO 1990. The information will be used to process the Heritage Permit Application. Questions about the collection of personal information should be directed to the Heritage Coordinator, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, 905-874-3825.

J. APPROVAL CHECKLIST
(Internal use only)

Authority:	Date:	Resolution:
Brampton Heritage Board	_____	_____
Planning Committee (PDD)	_____	_____
City Council	_____	_____



Report
Staff Report
 The Corporation of the City of Brampton
 10/15/2024

Date: 2024-10-10

Subject: **Heritage Impact Assessment and Heritage Permit application for 10254 Hurontario Street-Ward 2**

Contact: Arpita Jambekar, Heritage Planner, Integrated City Planning

Report number: Planning, Bld & Growth Mgt-2024-834

RECOMMENDATIONS:

1. That the report from Arpita Jambekar, Heritage Planner, to the Brampton Heritage Board Meeting of October 15, 2024, re: **Heritage Impact Assessment and Heritage Permit Application for 10254 Hurontario St – Ward 2**, dated October 9, 2024 be received;
2. That the Heritage Impact Assessment for 10254 Hurontario St. (prepared by AREA Architects, October 9, 2024) addressing proposed alterations and additions to the property, be received;
3. That the Heritage Permit application for Phase 1: Daycare Interior Renovations and Basement Alterations at the southeast of the building including deck and railings at ground floor level and windows within above-grade foundation walls, at 10254 Hurontario St be approved, subject to the following conditions, as recommended by Heritage Staff:
 - I. that the architect provides detailed drawings & specifications for the proposed railing on the deck, prior to the issue of building permits;
 - II. that the architect and/or heritage consultant monitor construction work to ensure that original features are preserved wherever possible, and that all new work is compatible and completed to the same high standard as the existing; and
4. That an Addendum to the Heritage Impact Assessment addressing the proposed Phase II: 2-storey addition at the West of the building, be submitted as part of the Site Plan and Heritage Permit applications.

OVERVIEW:

- **10254 Hurontario St was designated under the Ontario Heritage Act, By-Law 79-2023 in 2023.**
- **In accordance with Section 33 of the Ontario Heritage Act, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.**
- **A Heritage Impact Assessment was requested as part of an Site Plan application approval process, to provide details of proposed changes to the building, how those changes affect its heritage attributes, and what mitigation measures for those impacts are needed.**
- **The HIA demonstrated that the proposed additions and alterations to the building will have minimal impacts on the heritage attributes and the proposed design is compatible with the architectural character of the building.**
- **The HIA is considered to be complete as per the City's Terms of Reference.**

BACKGROUND:

The HIA and Heritage Permit have been submitted in support of a Site Plan Application to make an addition to the basement that includes a large deck on the southeast corner of the building adjacent to the main façade. The alterations are being undertaken to facilitate the adaptive re-use of the building as a day care facility. This is the second application that the City has received for alterations to the building.

An application for a Minor Variance was submitted in 2023 to allow the expansion of the basement and the addition of a deck at the rear (west) of the building. This was approved by the Heritage Planning and Development Planning staff without a heritage permit as it was considered to be a minor alteration. However, staff noted that a heritage permit application and an HIA may be required if further alterations were planned for the property. The House has undergone significant transformation over the past eight years.

A Development Concept Plan was received in 2016 for redevelopment of the lands at 10254 Hurontario Street, known as the Learment/C Armstrong House, for the construction of the Canadian tire distribution center that is now in operation. The plan included removal of various farm storage structures and relocation of the heritage house to a trapezoidal parcel at the northeast corner of the development lands at a new Hurontario-Tremblay Streets intersection.

As the house at 10254 Hurontario Street was listed on the City of Brampton's Municipal Register of Cultural Heritage Resources, an HIA was prepared in 2016 by AREA Architects to evaluate its cultural heritage value and recommend mitigation strategies to minimize impacts associated with the proposed development. The HIA determined that

the house was worthy of designation under Ontario Heritage Act and recommended relocation and restoration as the preferred mitigation strategy.

The house was relocated to its present-day location in 2019, based on the approval of the HIA from the Brampton Heritage Board, and with the owner entering into a Heritage Easement Agreement to secure heritage conservation works as per the submitted Heritage Conservation Plan. The main intent of the exercise was to allow the recovery of the building's historic Italianate form, while also permitting an opportunity for its relocation and integration within the proposed industrial development.

Following its relocation, the Learment/C. Armstrong House c. 1885 was designated under Part IV subsection 29(1) of the Ontario Heritage Act in May 2023 under By-Law No. 79-2023.

The heritage attributes as referenced in the By-law comprise all facades, architectural detailing, construction materials and associated building techniques along with:

- Wood trim and wood cornice on all retained façades;
- Decorative wooden brackets at corners of the eaves;
- Front façade bay window with metal roof, wood trim and decorative woodwork, original window openings and windows;
- Red brick construction with brickwork laid in a running bond pattern;
- Decorative brick accents including quoins and voussoirs;
- Brick water table between the main floor and foundation wall; Hipped roof structure;
- Original wood door and windows frames, where they exist, on all façades;
- All original wood windows and window openings, including one on the south elevation, second storey; two on the east elevation, one on the first and one on the second storey; and two windows, one on the first and one on the second storey on the north façade; and,
- Concrete sills of all original window openings.

Following the relocation and restoration works, including construction of new foundations and restoration of the Italianate farmhouse typology features, a plan for adaptive re-use of the house was laid out in 2022.

CURRENT SITUATION:

The requirement for a scoped Heritage Impact Assessment Report along with the Heritage Permit application was recommended by Heritage Staff for alterations that include basement additions at the southeast of the building that include a deck and railings at ground floor level and windows within above-grade foundation walls. The requirement of the Heritage Permit is in accordance with the following:

- i. Section 33 of the Ontario Heritage Act;
- ii. Brampton Official Plan: Section 3.6.3.26; and
- iii. Heritage Easement Agreement dated May 6, 2019 between the Corporation of City of Brampton and 10254 Hurontario Inc stated that upon relocation of the Farmhouse, the Owner will be required to seek and obtain all approvals required in respect of any work likely to affect heritage attributes.

AREA Architects was retained by Panattoni, owners of 10254 Hurontario St, to prepare the scoped Heritage Impact Assessment and Heritage Permit application received on October 9, 2024. (See Attachment 1 and Attachment 2)

The HIA identified the following impacts and recommended mitigations to avoid negative impacts on the heritage attributes on the property:

- i. The basement, in its entirety, is new construction – as part of the house relocation in 2019 – and does not date to the original circa 1885 and therefore any alterations to the Basement should not be considered as impacting any heritage attributes.
- ii. The previous Building Permit for the south-side deck & ramp was approved in 2021 and it also constituted new construction which was not original to the circa 1885 construction. This deck and barrier-free ramp were required for SPA and the proposed new deck on the south-east basement addition will likewise integrate with the existing south deck.
- iii. The heritage attributes that are affected by the proposed alterations were not original to the circa 1885 construction of the house but, instead, were recreations of elements (some based on conjecture).
- iv. The historic farm setting has already been changed which was previously approved under the process for the house relocation completed in 2022.

For the above reasons, the HIA deems that the proposed additions and alterations do not significantly affect the building's heritage attributes.

Based on the foregoing, Heritage Staff recommend that the Heritage Permit application for Phase I of the proposed additions and alterations be approved, subject to the following conditions:

- i. that the architect provides detailed drawings & specifications for the proposed railing on the deck, prior to the issue of building permits; and
- ii. that the architect and/or heritage consultant monitors construction work to ensure that original features are preserved wherever possible and that all new work is compatible and completed to the same high standard as the existing

Phase II, 2-storey addition at the rear (west) of the building that has been planned for the heritage property. A separate HIA Addendum and Heritage Permit application will be required as part of the SPA application to assess the impacts of the proposed addition and determine the mitigation measures for compatible design of the addition.

CORPORATE IMPLICATIONS:

None

STRATEGIC FOCUS AREA:

The approval of Heritage Impact Assessment and Heritage Permit Application within this report supports the Culture and Diversity Focus Area. The recommendations therein facilitate the conservation and necessary upgrades of a rare and unique heritage resource to promote adaptive re-use of heritage property that contributes to the understanding of Brampton's early history.

CONCLUSION:

It is recommended that the Heritage Impact Assessment for 10254 Hurontario St – Ward 2 be received by the Brampton Heritage Board as being complete and the Heritage Permit Application for Phase I of the proposed addition and alterations be approved following the conditions recommended by Heritage Staff.

Authored by:

Reviewed by:

Arpita Jambekar
Heritage Planner,
Integrated City Planning

Jeffrey Humble, RPP, MCIP
Manager
Policy Programs and Implementation

Approved by:

Approved by:

Henrik Zbogar, RPP, MCIP
Director
Integrated City Planning

Steve Ganesh, RPP, MCIP
Commissioner
Planning, Building and Growth
Management

Attachments:

- Attachment 1 – Heritage Impact Assessment Report, by AREA Architects, dated October 9, 2024
- Attachment 2 – Heritage Permit Application dated October 10, 2024



10254 Hurontario Street, Brampton, ON

Learment-C. Armstrong House

‘SCOPED’ CULTURAL HERITAGE IMPACT ASSESSMENT REPORT

Issued: September 16, 2024

Revised: October 8, 2024

Prepared for:

10254 Hurontario Street Holdings Inc.

Prepared by:

David Eckler, BES, B.Arch., OAA, MRAIC, APT
Sarah King Head, CAHP, MA, PhilM, GDipPI



AREA, Architects Rasch Eckler Associates Ltd.
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1. INTRODUCTION & EXECUTIVE SUMMARY

AREA, Architects Rasch Eckler Associates Ltd. was retained by the property owner, 10254 Hurontario Street Holdings Inc., to conduct a 'Scoped' Cultural Heritage Impact Assessment (CHIA or HIA) on the property and structure of 10254 Hurontario Street that is located in the City of Brampton, Regional Municipality of Peel, Province of Ontario, Canada. In accordance with the Terms of Reference for such a report, the authors will consider the property known as the 'Learment-C. Armstrong House' (also called Armstrong House) that received Part IV designation under the *Ontario Heritage Act (OHA)* in 2023 (City of Brampton Designation By-law 79-2023 'DBL') after it was moved to its current location and restored to its original nineteenth century iteration between 2016 and 2019. A proposed site alteration based on a Site Plan Approval (SPA) 2024-1012 application seeks to transform the heritage building into a childcare centre.

The primary authors responsible for the overall preparation and recommendations of this Scoped HIA Report are David Eckler, B.E.S., B.Arch., OAA, MRAIC, APT, and Sarah King Head, CAHP, MA, PhilM, GDipPI as part of the *AREA* team and their curricula vitae and firm profile are attached (Appendix B).

Because a comprehensive HIA was produced in 2016 prior to the relocation of the heritage building and its subsequent restoration, the City of Brampton (COB) requires a 'Scoped' HIA Report to assess and evaluate the expected impacts of the proposed site alterations on the heritage attributes identified in the Designation By-law ('DBL'). In general, these include (1) basement alterations on the side elevations, and (2) a west (rear) addition, two-storeys, to the ground and second floors. The additions and alterations can be grouped into two categories of changes which are proposed to be approved as Building Permits (BP) in two phases:

- (1) Phase 1 Daycare Interior Renovations & Basement Alterations (on side elevations); and
- (2) Phase 2 Daycare Ground & Second Floor Addition (on rear elevation).

AREA was retained to prepare Building Permit Application (BPA) drawings and undertake approvals for interior renovations, additions to satisfy the requirements necessary for the creation of a childcare centre to be operated by 'Little Sages Academy' (LSA) and also called the Armstrong House Daycare.

The initial Brampton Heritage Board (BHB) meeting accompanied by the Heritage Planning staff report and this HIA will review and consider the Phase 1 component first. Then, a subsequent BHB meeting and its staff report will consider the Phase 2 component. The Phase 2 component will be discussed in a further revised HIA, which can also be described as an 'HIA Addendum'. This HIA Report may, at times, discuss the forthcoming Phase 2 components which must be referenced in order to explain the full Armstrong House Daycare project. However, the recommendations of this HIA Report will relate exclusively to the Phase 1 Daycare Interior Renovations & Basement Alterations.

In addition to considering relevant heritage legislation that has been evolving since 2016, this report will also provide both an overview of the previous documentation and a chronological summary of the relocation and restoration process as per the heritage structure. This will form the basis of a revised evaluation of the property's Cultural Heritage Value or Interest (CHVI) as per updated O.Reg. 9/06 criteria and underpin consideration of the impacts associated with the proposed adaptive reuse of the building's envelope and interior. Finally, mitigation strategies and alternatives, including proposed conservation and implementation strategies, will be outlined.

This report is intended to provide an independent and objective 'Scoped' HIA of the recently restored and relocated heritage-designated structure. It necessarily includes examination of, recourse with and interpretation of archival, land registry, mapping, historic community, secondary interpretative, and other resources. It also concurs with the terms of the Brampton Official Plan (BOP) for both an HIA and Scoped HIA insofar as any 'proposed alteration, construction or development' impacts Part IV designated heritage resource and do not adversely impact those identified heritage attributes (viz. 3.6.3.33 and 4.10.1.10–11).

This HIA determines that the proposed alterations to the basement and the new south-east basement addition have low impact on the building's heritage attributes. The proposed addition and alterations are at minor locations, on secondary elevations, inconspicuous from the public street view and/or impacting only building portions which were wholly new design and construction dating to the relocation project completed in 2022.

An Adaptive Reuse Plan would be the appropriate submittal to support and outline the implementation for this type of project. The Adaptive Reuse Plan is already constituted in the Architectural drawings (Appendix C) that were approved by the Child Care Licensing System (CCLS) process for the daycare use and which are submitted to the City as part of the SPA and BPA process.

This HIA concludes that:

- Through minor alterations and unobtrusive additions, the proposed adaptive reuse into a daycare redevelopment will not result in significant impacts to the heritage attributes of the Learment-Armstrong House.

This recommendation of the HIA will require the City's heritage approval through a recommendation by the Heritage Planning staff and the Brampton Heritage Board, and ultimately the approval of Council.

2. DESCRIPTION OF SUBJECT PROPERTY

The Learment-C. Armstrong House¹ (also called Armstrong House) is part of treaty and traditional lands of the Mississaugas of the First Credit Nation, the Haudenosaunee Confederacy, and the Huron-Wendat and Wyandot Nations. It is located in part of lot 12 in the First Concession West of Hurontario Street (Part L120-C1 W.H.S.) in the former geographic Township of Chinguacousy in the County of Peel, and today in the City of Brampton, Regional Municipality of Peel in the Snelgrove-Heart Lake Secondary Plan area. The heritage house and property originally formed part of a farmstead that was part of an agricultural belt around the Town of Brampton, and was situated between the historic communities (along Hurontario Street) of Westerveld Corners to the south and that of Snelgrove to the north. The original farmstead was bounded to the west by the former Credit Valley (Orangeville-Brampton/Canadian Pacific) railway corridor and by industrial and residential development to the north (Sandalwood Parkway) and south (Bovaird Drive).

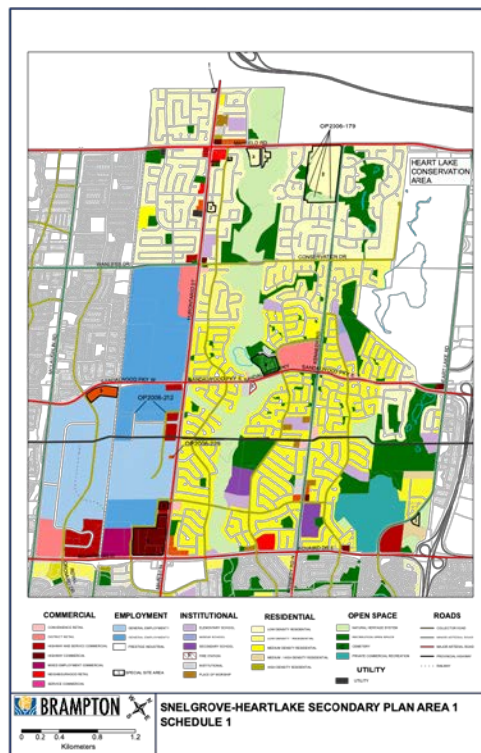


Figure 1: Subject property indicated by OP Amendment 2006-229 in the Snelgrove-Heart Lake Secondary Plan area
(<https://geohub.brampton.ca/documents/b94a8f7c3e58455bb1333cdf7e349e5/about>)

¹ The property received Part IV designation as the 'Learment-C. Armstrong House' and is also known as the 'Armstrong Family Farm' on the City of Brampton website: https://geohub.brampton.ca/datasets/2511924166364ccab6228b804f0e134d_13/explore?location=43.743201%2C-79.829023%2C12.60&showTable=true. The author uses the alternative spelling for the surname 'Learmont' when discussing the family insofar as this is the more common usage in most historical and archival data.

The two-storey, L-shaped brick Italianate structure was relocated from its original position at the centre of the lot to the northeast corner in 2018 and subsequently restored to its late nineteenth century iteration to ensure the adjacent Canadian Tire Distribution Centre industrial development did not negatively impact its heritage integrity. Key to the conservation plan was the restoration of the building to its original Italianate character,² and designation as the 'Learment-C. Armstrong House' under Part IV of the *Ontario Heritage Act (OHA)* (City of Brampton DBL 79-2023). The heritage building is now completely segregated from the Distribution Centre on a 1,938m² trapezoidal parcel of land and located at the Tremblay-Hurontario Streets intersection. The heritage house is located immediately south of the Self Storage facility at 10370 Hurontario Street the east of the four-lane Hurontario Street. The only echo of its original residential character is the leafy, residential area on the far side of the busy transportation artery.

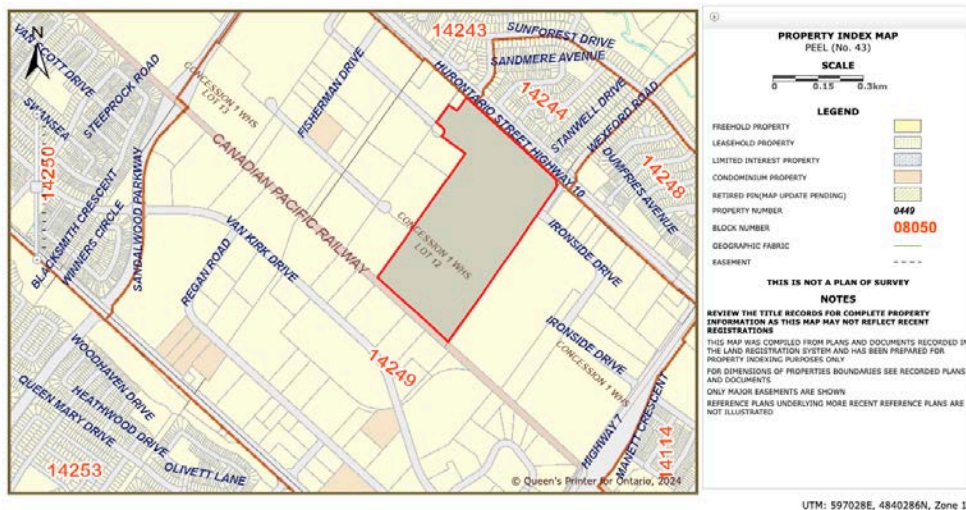


Figure 2: Location of subject property from Property Index Map (LRO 43)



Figure 3: Restored Learment-C. Armstrong House at intersection of Hurontario and Tremblay Streets (Google maps)

² See AREA, *HIA*, s. 2.3.4 for a full description of the house prior to its restoration.

3. APPROACH AND METHODOLOGY

3.1. CULTURAL HERITAGE RESOURCE

For the purposes of this report, the term 'cultural heritage resource' is used to describe tangible built and landscape heritage features. In this way, the structure at 10254 Hurontario Street is not only a structure protected by Part IV designation under the OHA (COB by-law 79-2023), but it must be seen within its larger heritage context through its association with the land-use activities related to historical settlement and patterns of architectural development and by its ability to contribute to the heritage value and integrity of the District as a whole and within the context of its specific neighbourhood surroundings.

3.2. POLICY FRAMEWORK

3.2.1. ONTARIO HERITAGE ACT (R.S.O. 1990, c O.18), 2024

Introduced by the province in 2006, the *OHA* provides a uniform set of criteria for municipalities to use when determining whether a property should be considered a significant cultural heritage resource. It provides a legislative and regulatory framework for heritage conservation, protection and preservation. The Learment-C. Armstrong House was deemed to meet sufficient O.Reg. 9/06 criteria to warrant designation under Part IV (s. 29) of the *Act* and awarded this status in 2023 (City of Brampton by-law 79-2023).

Sections 33 and 34 of the *Act* require a property owner obtain municipal consent when making alterations to designated heritage properties. Since Passage of *Bill 108 (More Homes, More Choices Act, 2019)*, the definition of alter no longer includes demolition or removal:

S. 34(1) No owner of property designated under section 29 shall do either of the following, unless the owner applies to the council of the municipality in which the property is situate and receives consent in writing to the demolition or removal:

- 1. Demolish or remove, or permit the demolition or removal of, any of the property's heritage attributes, as set out in the description of the property's heritage attributes in the by-law that was required to be registered under clause 29 (12) (b) or subsection 29 (19), as the case may be.*
- 2. Demolish or remove a building or structure on the property or permit the demolition or removal of a building or structure on the property, whether or not the demolition or removal would affect the property's heritage attributes, as set out in the description of the property's heritage attributes in the by-law that was required to be registered under clause 29 (12) (b) or subsection 29 (19), as the case may be.*

3.2.2. BILL 23 (MORE HOMES, BUILT FASTER ACT), 2022

Bill 23 enacted a series of significant changes to the *OHA* in 2022, among which was the expansion of O.Reg. 9/06 criteria for CHVI from a minimum of one to two on property designations. Further changes were introduced in June 2024 through *Bill 200 (Homeowner Protection Act)*, related to non-designated or 'listed' or non-designated heritage properties included on municipal registers – principally by extending the deadline for municipalities to issue notices of intention to designate (NOID) to 1 January 2027. The *Bill* provides for the voluntary removal of listed properties.

3.2.3. PLANNING ACT, 2024

The legislative framework for the regulation of all land-use planning decision-making in the province of Ontario, Section 2(d) of the *Planning Act* identifies the conservation of 'features of significant architectural, cultural, historical, archaeological and scientific interest' as a matter of Provincial interest.

3.2.4. PROVINCIAL POLICY STATEMENT, 2024

Changes to the *Planning Act* through *Bill 185 (Cutting Red Tape to Build More Homes Act)* resulted in the issuance of a new *Provincial Policy Statement (PPS)* that comes into effect on 20 October 2024. Providing policy direction by regulating efficient land-use planning and development in Ontario, the *PPS*'s goal is to promote sustainable, economically viable and strong communities as well as to protect the environment and support public health and safety. Key is the identification of upper-tier municipalities – including Brampton, which is considered among the largest and fastest growing in the province and as such has the capacity to fulfil support strategic growth and minimum density targets.

With cultural heritage and archaeology being specifically identified as a means of 'provid[ing] people with a sense of place', Section 4 outlines the framework for regulating the wise use and management of natural, cultural and archaeological resources.

Sections 4.6.1 and 4.6.3 refer to the conservation and protection of 'protected heritage property' – i.e. that which has already been designated under parts IV, V or VI of the OHA.³

1. *Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.*
3. *Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.*

3.2.5. REGION OF PEEL OFFICIAL PLAN, 2024

As of 1 July 2024, the combination of Ontario Bill 23 (More Homes Built Faster Act, 2022) and Bill 185 (Cutting the Red Tape to Build More Homes Act, 2024) shifted planning policy and approval mechanisms from upper-tier municipalities (including Peel) to the Province. In so doing, lower-tier municipalities (including Brampton) are beholden to the Region of Peel Official Plan (RPOP).

Section 3.6 outlines the Region's policies, underlining its commitment to 'support[ing] the conservation of cultural heritage resources of all peoples whose stories inform the history of Peel'. Herein, the Plan's objectives and policies uphold the identification, conservation and interpretation of these resources – including but not limited to – built heritage resources, structures, archaeological resources and cultural heritage landscapes. Stewardship of said resources is also encouraged (3.6.2).

³ PPS, pp. 4, 28, 50.

Any development or site alterations to protected heritage properties both proposed on site or to adjacent lands require evaluation, documentation and conservation methods guarantee the protection of the resource (3.6.10–11).

3.2.6. CITY OF BRAMPTON OFFICIAL PLAN, 2024

In 2015, the COB adopted a Strategic Plan that placed heritage preservation as a principle for guiding the City's evolution, growth and development. Herein recognized heritage conservation best practices were key and the policies sought to ensure land-use decision-making is guided by the conservation and promotion of 'significant' cultural heritage resources. Section 4.9.14 [sic: 4.10] of the consolidated Official Plan (2013) outlined the City's policies by emphasizing the preservation of cultural heritage as a 'functional component of daily life' and 'for the enjoyment of existing and future generations'.

A draft of the most recent official plan – the Brampton Plan – was presented to the Region of Peel in May 2024. Herein the conservation of cultural heritage buildings, landscapes and archaeological resources is identified as a principle of sustainable community building activities insofar as they 'celebrate the history and legacy of the city, and the people that [sic: who] inhabited the land before it' (2.1.1.1.c). It also outlines a framework for raising public awareness of the 'opportunities for conserving cultural heritage and promoting its appreciation and enjoyment' largely through public outreach initiatives (including those associated with Indigenous reconciliation and decolonization) and the commemoration of demolished resources (3.6.2.92).

Conservation of exiting cultural heritage resources is identified as key component of the City's commitment to environmental sustainability and the creation of new (as well as greening of existing) communities in order to contribute toward climate change mitigation. As such the Plan supports the 'conservation, adaptive reuse, material salvage and repurposing' of cultural heritage resources (3.6.3.6; see also 3.2.2.1.j)

Reiterating the policies and objectives outlined in the RPOP, the Brampton Plan supports the creation of a Cultural Heritage Master Plan to provide a basis for the establishment of additional Brampton Plan 'policies, guidelines or initiatives for the conservation of cultural heritage resources' (3.6.3.2; 3.6.3.13)

The RPOP glossary definition of a Cultural Heritage Master Plan is one that provides,

... policies, including but not limited to, encouraging and supporting cultural heritage conservation, identifying cultural heritage resources, built heritage and cultural heritage landscapes, area of potential for archaeological resources, and implementation measures for the protection and conservation of cultural heritage resources, including education and outreach.

The property is located as a Class B Heritage Resource on the Official Plan's Cultural Heritage Map (2006, consolidated 2020).

3.2.7. HERITAGE DESIGNATION, 2023

Following the relocation in 2018 and completion of the restoration of the of heritage building in 2019 – but before the implementation of recent changes to Provincial legislation and its impact on the regional and local official plans – a Notice of Intention to Designate was brought before Brampton City Council in March 2023.

In the context of land use planning, the Province of Ontario has declared that the wise use and management of Ontario's cultural heritage resources is a key provincial interest. A set of Provincial Policy Statements (PPS) provides planning policy direction on matters of provincial interest in Ontario. These statements set the policy framework for regulating the development and use of land. The relevant heritage policy statement is:

- *PPS 2.6.1, which states that "significant built heritage resources and significant cultural heritage landscapes shall be conserved".*
- *PPS 2.6.1 is tied to Section 3 of the Ontario Planning Act, which stipulates that land use planning decisions by municipalities "shall be consistent with" the Provincial Policy Statements.*

The policy is also integrated with the Ontario Heritage Act. This piece of legislation grants municipalities powers to preserve locally significant cultural heritage resources through heritage designation. Decisions as to whether a property should be designated heritage or not is based solely on its inherent cultural heritage value or interest. City Council prefers to designate heritage properties with the support of property owners. However, Council will designate a property proactively, without the concurrence of a property owner as required. These principles are reflected in Brampton's Official Plan. The relevant policies are as follows:

- *Section 4.10.1.3: All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the Ontario Heritage Act to help ensure effective protection and their continuing maintenance, conservation and restoration.*
- *Section 4.10.1.5: Priority will be given to designating all heritage cemeteries and all Class A heritage resources in the Cultural Heritage Resources Register under the Ontario Heritage Act.*
- *Section 4.10.1.6: The City will give immediate consideration to the designation of any heritage resource under the Ontario Heritage Act if that resource is threatened with demolition, significant alterations or other potentially adverse impacts.*

In 2015, the City Council adopted a new Strategic Plan to guide the evolution, growth and development of the city. Heritage preservation is one of the goals of this new Strategic Plan. These principles are also guided by recognized best practices in the field of heritage conservation.⁴

⁴ See <https://pub-brampton.escrimemeetings.com/filestream.ashx?DocumentId=82446>

4. EVALUATION OF CULTURAL HERITAGE VALUE OR INTEREST

4.1. PHYSIOGRAPHY

The study area is located on the northern edge of the Peel Plain physiographic region where it meets the South Slope south of the Niagara Escarpment, extending across Halton, York and Peel counties. Brampton to the south is the approximate location of the division between the Manitoulin-Lake Simcoe and Lake Erie Lowland ecoregions. The latter is characterized by the broadleaf deciduous Carolinian Forest zone to the south, while the former is characterized by a mixed forest zone that contains a blend of deciduous and boreal.⁵ The generally flat topography slopes southeast toward the Etobicoke Creek and was largely deforested for cultivation purposes from the late eighteenth century onward. The subject property is located west of Etobicoke Creek and east of the Credit River, the latter that with the Humber River are the two major watersheds in Peel Region.

The formerly agricultural lands have been extensively altered over the last five decades, principally as a result of the extension of Hwy 410 to Hurontario Street in the early 1970s and attendant industrial and commercial land-use punctuated by new residential subdivisions.

4.2. HISTORICAL OVERVIEW

The first human habitation of southern Ontario occurred with the final retreat of the Wisconsin glacier more than 10,000 years ago. The hunter-gatherer Clovis and Plano cultures predominated in the Palaeo-Indian period of c. 9000–5000 BCE and established seasonal hunting camps along the main watersheds. The subsequent Archaic period transitioned to the Woodland cultures, from which many of the Indigenous Nations known today emerged. By about 1400, the Haudenosaunee peoples dominated the landscape from southern Ontario and southwest New York State. Seasonal Indigenous activities were focused in areas of exposed chert-bearing layers within the limestone deposits as well as more permanent cultivation settlements along the main watersheds that flowed into Lake Ontario.

By the early seventeenth century when French missionaries and explorers first began to penetrate the area, it was the Haudenosaunee and Huron peoples they encountered. As elsewhere in southern Ontario the peoples were forced out of their ancestral lands through a combination of warfare, pestilence and disease. By the early 1700s the area was settled by Anishinaabec peoples. It was with the Mississauga Nation that the British Crown signed the First Mississauga Treaty in 1805 and pertained to the area along the north shore of Lake Ontario stretching from Etobicoke Creek in the east to the outlet of Burlington Bay in the west and as far as the Second Concession north of Dundas Street. Historical references indicate that when the first Europeans arrived, there encountered an Indigenous encampment on the Etobicoke Creek at the Third Concession west of Hurontario Street (hereafter WHS) lot 21. The Creek was had been used as an ancient trail linking Lake Ontario with Georgian Bay.⁶

⁵ See Puric-Mladenovic et al., pp. 7–15.

⁶ Historic Horizon, pp. 3–4.

The second Mississauga Purchase of 1818 responded to increased immigration and demand for lands north of Dundas Road. Part of the Home District, what would become Peel County was originally composed of five townships: Toronto, Chinguacousy, Caledon to the west and the Gore of Toronto and Albion to the east. It was linked to York County until 1867 when it became an administrative unit.⁷ Encompassing nearly 650,000 acres, Chinguacousy Township was surveyed by Richard Bristol in 1819 with double-front system in which 200-acre lots laid were out into twelve concessions that were ranged west and east of 'Centre Road' (Hurontario Street). Thirty-four lots were numbered from what today is Steeles Avenue south to today's Mayfield Road. Bristol's survey imposed a settlement grid that remains to this day. It has been that what is known as the 'South Slope settlement' was colonized by a second wave of British immigrants rather than American refugees who were encouraged to settle in regions adjacent to the United States.⁸

4.2.1. CHINGUACOUSY TOWNSHIP

The Township is said to have been named after the Mississauga Chief Chinguacousy who distinguished himself at Fort Michilimacinac during the War of 1812. The first European settlers began arriving in the early 1820s, principally from the American colonies but also from New Brunswick. As the land was deforested as a condition of their settlement duty, the township quickly becoming an agricultural hub with its centre by the 1830s being Brampton. While the underlying Chinguacousy clay loam was not ideal for cultivation, productive farmsteads nonetheless emerged. Mixed farming gave way to crops, which in turn were replaced by husbandry and dairy farming by the twentieth century. This position of prominence was reinforced by its being at the intersection of the Grand Trunk and Mississauga Credit Valley Railways.⁹ Not incorporated as a village until 1853, it became the Peel County seat in 1865.

As Toronto's population swelled in the twentieth century, industry and workers were drawn from the smaller, proximal rural settings. Counties like Peel responded by intensifying their mixed farming industries to meet the needs of the urban population. By the 1950s, Chinguacousy Township's population had fallen to 5,000 from its nearly 7,000 in 1860 – although Brampton enjoyed a nearly 450% increase in its population by 1966.¹⁰ In 1974, Chinguacousy Township was dissolved and amalgamated into the newly created City of Brampton within the Regional Municipality of Peel.

4.2.2. SUBJECT SITE¹¹

The Subject Property is located north of Brampton, in part of lot 12 in the First Concession on the west side of Hurontario Street (also known as 1 WHS, lot 12). It was surveyed by the deputy provincial surveyor Patrick Callaghan at the request of Samuel Gamble in March 1840. The land was described as having 'a large swale' and 'timber consist[ing] of beech, maple, elm and basswood, but 'no living water on it'.¹² By 1877, the Credit Valley Railway ran through the lot on the western edge of the eastern side.

⁷ See Fix in *History of Peel County*, pp. 13–20; and *Settlement History of Peel*, pp. 17–21.

⁸ Chapman and Putnam, *Physiography*, pp. 172–73.

⁹ McKinney in *History of Peel County*, pp. 244–55; *Settlement History of Peel*, pp. 30–32.

¹⁰ *Settlement History of Peel County*, pp. 33–36.

¹¹ See AREA, HIA, s. 3.2 for further details about the Learmont and Armstrong families.

¹² See Bull, *Township of Chinguacousy*, pp. 80–84.

Although a John Walsh was identified as an inhabitant of the land as early as 1837, he was evidently a squatter:¹³ indeed, a patent for the 50 acres of this half of the township lot was sold in March 1854 to Adam Ferguson (1823–1902) for £57-10s, and the other 50 acres to John Holmes for £37-10s in September of that year. Less than a year later, Holmes sold 25-acre parcels to Adam and his brother Samuel Ferguson (1820–88).



Figure 4: Detail of Tremaine map showing division of lands between Samuel and Adam Ferguson in WHS Concession 1, lot 12, 1859

¹³ *Toronto & Home District Directory 1837* (cited in Bull, Township, p. 80).

In two separate transactions in February 1869, Adam Ferguson sold his 50- and 25-acre parcels to John Learmont (1831–89) for \$3000. Two years later the latter severed the northeast 25 acres and sold it to Samuel Ferguson's son John (1851–1931) for \$1. A year before he died in 1889, Learmont sold his 50 acres to Joseph Lawson (1836–1904) for \$3500 on the same day that Ferguson sold his smaller 25-acre lot to Lawson for \$5500.

Even though it is not possible to determine precisely when the house was built, the depiction of a house facing Hurontario Street with orchards ranged behind (to the west) in the 1877 County of Peel Illustrated Historical Atlas supports the probability that it had been built between 1869 and 1877.

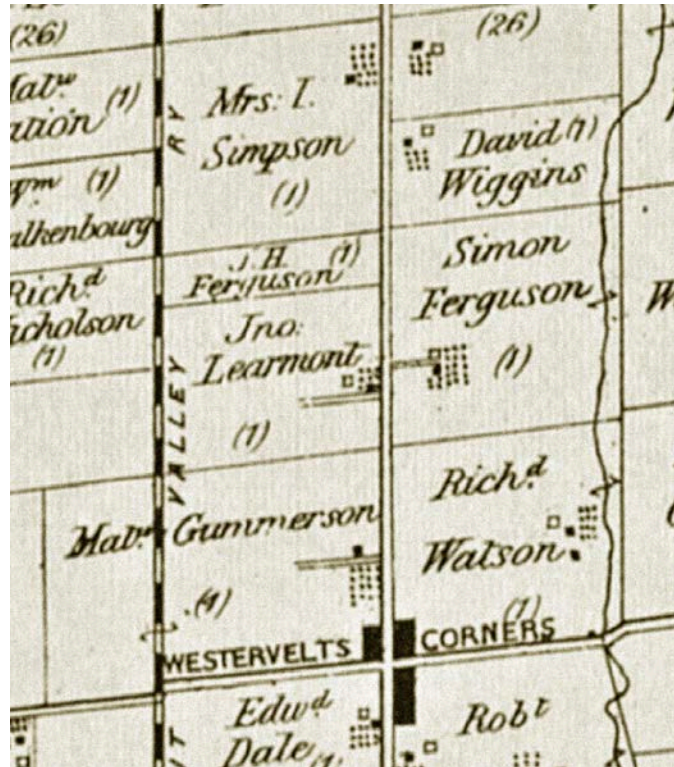


Figure 5: Detail of Walker & Miles' map of Peel County, showing Learmont in the 75 acres of WHS Concession 1, lot 12 (and J.H. Ferguson in the northern 25 acres), 1877

A revised date of c. 1873 is thus proposed for the construction of the main domestic structure in its original position at 10254 Hurontario Street.

Samuel and Adam Ferguson were the two eldest sons of Irish-born Hugh Ferguson who immigrated to Ontario in the late 1810s, while Learmont was the son of the Edinburgh-born carpenter William Learmont. Although intermarriage does not seem to be the reason, Learmont and the Fergusons were nonetheless firm business partners and prospered handsomely in the area. The relationship remained strong after Learmont's death, with John Ferguson and Joseph Lawson continuing to farm as neighbours well into the twentieth century.

Learmont part married Elizabeth (1827–1906), the daughter of James Armstrong, also a Scottish-born farmer. Three years after her death in 1906, the entire 75-acre property was sold to William James Graham (1888–1982) for \$6600. He farmed alongside John Ferguson until the late 1940s when Henry 'Charles' Joseph Armstrong (1921–2017) bought the property.

It is possible but as yet unproven that Charles Armstrong was a direct relative of Learmont's wife Elizabeth. Notwithstanding Armstrong's connection with the house at 10254 Hurontario is associated with his involvement in equestrian activities for more than 60 years, including operating the Green Gables Farm and serving as Master of the Eglinton-Caledon Hunt.¹⁴ He was also the son of Joseph 'Elgin' Armstrong who founded Brampton's Armstrong Brothers Construction in 1929 that operated nearby.¹⁵

4.3. ADJACENT CULTURAL HERITAGE RESOURCES

Cultural Heritage Resources (CHRs) are comprised of residential building, agricultural-related buildings, landscape features, and building remnants that were identified for their cultural value and heritage significance. The CHRs surrounding the subject property demonstrate the subject property's existing heritage context.

Within a 5-km radius of the heritage house are several cemeteries, with those associated with the Snell family and the Christian Brethren Baptist (Zion) community cemeteries closest at 2 and 2.4 km away.

1. Snell Cemetery, c. 1846 at 10578 Kennedy Road North
2. Zion Cemetery, c. 1843 on Conservation Drive (by-law 87-2009)¹⁶

Other pioneer cemeteries in the area are include (but not limited to):¹⁷

3. Brampton Pioneer Cemetery, c. 1825 at 350 Main Street North (by-law 383-2006)¹⁸
4. St John's Edmonton/Snelgrove Cemetery at Hurontario Street and Mayfield Road (by-law 72-2010)¹⁹
5. Cheyne Family Cemetery, c. 1846 at 0 Hurontario Street (by-law 230-2015)²⁰

¹⁴ See <http://www.wardfuneralhome.com/book-of-memories/3126602/armstrong--charles/obituary.php>

¹⁵ The brand predecessor to Aecon, Ambro was described as 'one of Canada's most iconic road builders [and] aggregate suppliers' (<https://www.aecon.com/our-company/our-heritage/history>)

¹⁶ <https://www.heritagetrust.on.ca/fr/oha/details/file?id=12027>

¹⁷ See City of Brampton, Heritage Cemeteries, pp. 1–7.

¹⁸ <https://www.heritagetrust.on.ca/en/oha/details/file?id=870>

¹⁹ <https://www.brampton.ca/EN/City-Hall/Bylaws/Archive/072-2010.pdf>

²⁰ <https://www1.brampton.ca/EN/City-Hall/Bylaws/Archive/230-2015.pdf>

CHR built structures in the vicinity include (but are not limited to):

1. Archangel Michael & Saint Thekla Coptic Orthodox Church (former Snelgrove Baptist Church), 1904 at 12061 Hurontario Street (by-law 30-2018)²¹
2. Carter Homestead, c. 1860 at 49 Blackthorne Lane (by-law 224-88)²²
3. Andrew McCandless Plank Farmhouse, c. 1840 at 1985 Bovaird Drive West²³
4. Breadner Homestead, c. 1860 at 59 Tufton Crescent (by-law 34-2006)²⁴
5. Greensword House, c. 1890, 2472 Bovaird Drive West (by-law 18-2019)²⁵
6. Robert Currie Farmhouse, c. 1870 at 2591 Bovaird Drive West (by-law 180-2015)²⁶
7. Laird House, 1886 at 2838 Bovaird Drive West (by-law 31-2018)²⁷
8. Bovaird House, c. 1852 at 563 Bovaird Drive East (by-law 298-81)²⁸

South of the subject property are several CHRs located within the City of Brampton's Main Street South Historical Conservation District near the Main-Queen Streets intersection. Only one of the above-noted CHRs is designated under Part IV of the *OHA*: the Coptic Orthodox church at 12061 Hurontario Street. The City of Brampton's heritage register has not been updated since 2021 so the subject site is not included in this inventory but rather is still identified as being on the inventory of 'listed' heritage properties.²⁹

²¹ <https://www.heritagetrust.on.ca/oha/details/file?id=962>

²² <https://www.brampton.ca/EN/City-Hall/Bylaws/Archive/224-1988.pdf>

²³ https://www.brampton.ca/EN/City-Hall/Documents/Public%20Meeting%20Notices/2012/1985%20Bovaird_Notice%20of%20Intention%20to%20Designate_FINAL.pdf

²⁴ <https://pub-brampton.escribemeetings.com/filestream.ashx?DocumentId=20135>

²⁵ <https://www.brampton.ca/EN/City-Hall/Bylaws/Archive/018-2019.pdf>

²⁶ https://www.brampton.ca/EN/City-Hall/Documents/Public%20Meeting%20Notices/2015/2591%20Bovaird%20Dr%20W%20Public%20Notice_Notice%20of%20Intention%20to%20Designate.pdf

²⁷ https://www.brampton.ca/EN/City-Hall/Documents/Heritage_Notices/Public_Notice_of_Intention_to_Designate_2838_Bovaird_Dr_W.pdf

²⁸ <https://www1.brampton.ca/EN/City-Hall/Bylaws/Archive/298-1981.pdf> and <https://www.heritagetrust.on.ca/oha/details/file?id=826>

²⁹ See City of Brampton, 'Listed' Heritage Property inventory, p. 6.

5. SUMMARY OF CHANGES SINCE 2016

5.1. OVERVIEW

In 2018, the Learment-C. Armstrong House was relocated as part of the industrial development by Panattoni Development Company (Panattoni) for a 120,774m² Canadian Tire Distribution Centre on the larger 30.60-ha lot at 10254 Hurontario Street. The 2016 Development Concept Plan involved a two-phase development that included the removal of various farm storage structures and relocation of the heritage house to a trapezoidal parcel measuring 1,938m² at the northeast corner of the development lands at a new Hurontario-Tremblay Streets intersection.³⁰

5.2. PLANNING APPLICATION

The COB conditionally approved the planning application (CO1W12.012) with a HIA to evaluate the heritage value of the listed structure on site and its recommendation of mitigation strategies to minimize impacts. The HIA not only recommended the property had sufficient heritage value to warrant heritage designation under Part IV of the *OHA*, but that the Learment-C. Armstrong Farmhouse be relocated to a compatible site at the northeast corner of the lot in order to preserve its heritage integrity.

5.3. HERITAGE IMPACT ASSESSMENT, 2016

Key to the owner's planning application was the proposed relocation of the heritage building. But because the house at 10254 Hurontario Street was listed on the City of Brampton's Municipal Register of Cultural Heritage Resources, Architects Rasch Eckler Associates Ltd (*AREA*) were retained to undertake an HIA of the property to evaluate its cultural heritage value and recommend mitigation strategies to minimize impacts associated with the proposed development.³¹ Not only did they determine that the house met sufficient O.Reg. 9/06 criteria to receive Part IV designation under the *OHA*, but they deemed its relocation and restoration was the preferred mitigation strategy based on the conclusion that on-site retention was neither compatible with the future land-uses associated with the development nor met residential or industrial/employment standards. *AREA* also produced the first of two Heritage Conservation Plans in 2017, identifying as key to the restoration plan was the removal of non-historic features (specifically the rear west additions) as well as the replacement and/or reproduction of missing character-defining elements.

The Brampton Heritage Board (BHB) approved the HIA's recommendations/mitigation options based on the City's Strategic Plan priorities associated with preserving and protecting heritage environments with balanced, responsible planning.³² It also supported the proposed *OHA* Part IV designation along with Conservation and Heritage Building Protection plans (HB016-2017, PDC062-2017 and C084-2017) before the adoption of the Official Plan Amendment. Acceptance was also dependent on the owner providing and installing heritage interpretative signiation as well as salvaging as much outbuilding and vegetative material as possible.³³

³⁰ See *AREA* HIA, section 4.

³¹ See *AREA* HIA, section 6.

³² See City of Brampton, Discussion Plan, p. 13.

³³ See BHB report, 9 May 2016; and *AREA*, HIA, s. 7.

In order to ensure the successful relocation and restoration of the house as conditions of future planning approvals, the City's Heritage staff required the owner enter into a Heritage Easement Agreement (HEA) to secure the heritage conservation works as per AREA's HCP. It was deemed that the relocation and restoration of the heritage house would 'accommodate a balance between conservation of the heritage resource and the redevelopment of the subject lands.' More specifically, it would 'allow the recovery of the building's historic Italianate form, while also permitting an opportunity for its relocation and integration within the proposed industrial development'.³⁴



Figure 7: Façade Learment-C. Armstrong House in 2016 (AREA, HIA, 2016, figs. 12)



Figure 6: Southwest corner views of Learment-C. Armstrong House in 2016 (AREA, HIA, 2016, figs. 16)

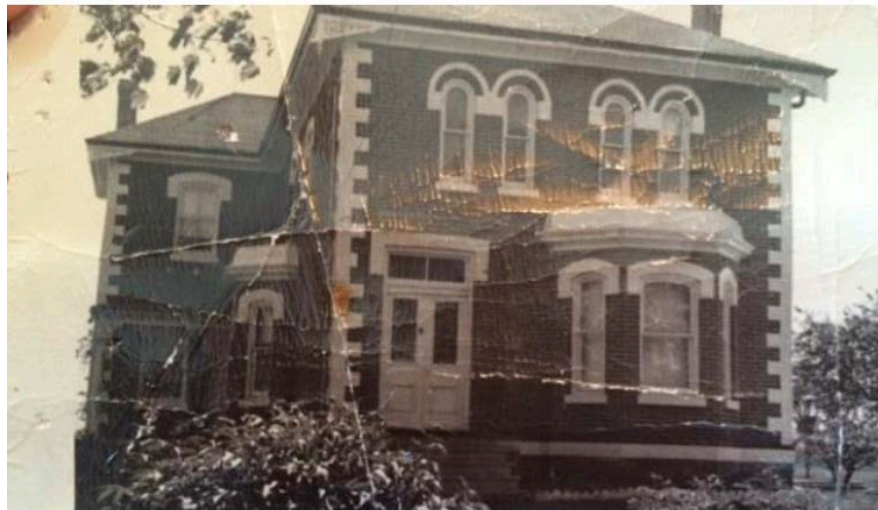


Figure 8: Original form and massing of the façade (east elevation) (AREA, HIA, fig. 44)

³⁴ BHB, 17 May 2016, p. 8.1-4.

5.4. HERITAGE EASEMENT AGREEMENT, 2019

With reference to the OHA, the HEA dated 6 May 2019 provided for the approval and identification of strategic priorities for the heritage preservation and balanced, responsible planning associated with the relocation and restoration of the Learment-C. Armstrong House by the COB. Specifically, the agreement was to:

- Ensure that a high level of protection be provided to the building;
- Allow the demolition of the modern additions to the house, as identified in the approved HCP (2017);
- Allow the relocation of the house in accordance with approved procedures;
- Secure the restoration of the house in accordance with the approved HCP prior to the completion of the warehouse on site; and,
- Require financial securities to be posted to ensure that the building is properly conserved during the relocation and conservation process.

A Site Plan Application was approved in late 2018 to oversee the severance and relocation of the 455.85m² (0.046-ha) structure. Among the modifications were the addition of:

- Wood porch with deck and steps at the main entrance on the façade (east elevation) to recreate the historic Italianate style;
- Wood porch and deck with wood stairs and concrete ramp to the secondary entrance in the L-wing of the south elevation;
- Wood deck with steps connecting perimeter walkway at rear of building (west elevation).

In August 2019, a further Site Plan Application approved the relocation of the main entrance from the façade (east elevation) to the south elevation in order to make use of dual step and ramp access.

5.5. HERITAGE CONSERVATION & HERITAGE BUILDING PROTECTION PLANS, 2017 & 2020

Relying on principles outlined in Parks Canada's *Standards & Guidelines* and Fram's manual *Well-Preserved* (Ontario Heritage Foundation), the Heritage Conservation and Heritage Building Protection Plans of 2017 and 2020 represented the restoration of the heritage building in its new location at the northwest corner of the subject property. While conservation work was identified as the first priority, key and necessary changes included stabilization of the existing building before its relocation. Once re-situated, the foundation was replaced, and all non-original components were removed and/or restored. The rear (west) additions (1950s until the 2000s) were demolished and as on the other elevations, new windows and doors emulating the original Italianate units were installed. Attention was given to cleaning (and replacing where necessary) the exterior brick work, restoring brick accents, quoins, voussoirs, and concrete sills, restoring and upgrading all non-original windows and doors, and restoring original metal roof. Although the interior was little modified, restoration of decorative trims, mouldings and brackets was planned.

Soon after the property was bought by 10254 Hurontario Street Holdings, Inc. in September 2022, the COB approved an Official Plan Amendment that permitted the subject site's rezoning from 'General Employment 1' to 'Service Commercial' (OP2006–229 by-law 188–2022; and Zoning By-law 189–2022). Although 'day nursery' is not specifically included as a subcategory of this zoning designation,³⁵ the 'parent' Zoning By-law 270–2004 does identify it as a permitted use – and as such a Zoning By-law Amendment was applied for in 2022 (189–2022) and approved subject to various permits in August 2023.

5.6. HERITAGE DESIGNATION, BY-LAW 79-2023

The 'Learment/C. Armstrong House, c. 1885' was designated under Part IV subsection 29(1) of the OHA in May 2023 based on the Notice of Intention to Designate (NOID) information provided in August 2022.³⁶ Quoting directly from the NOID:

DESCRIPTION OF PROPERTY

The Farmhouse which was located in the center of the lot at 10254 Hurontario Street is relocated on a new foundation at the northeast corner of the property. The property containing the Farmhouse in its current location is severed. The designation applies to all elevations of the cultural heritage resource known as the Learment/C. Armstrong Farmhouse. Designation does not apply to the interior of the Farmhouse. The area to be designated will be finalized in the designating by-law for the Learment/C. Armstrong Farmhouse.

DESIGN/PHYSICAL VALUE

The Learment/C. Armstrong Farmhouse has design/physical value as a representative example of a vernacular Italianate farmhouse. The two-storey front (east) section of the Farmhouse, constructed circa 1885, represents the Italianate style through its form and massing. The building has a hipped roof structure with wood cornice and brackets. The Farmhouse also features segmentally arched windows, white-painted buff brick accents including voussoirs and quoins, and a bay window on the front (west) façade with decorative woodwork and original windows and window openings. While several of the window and door openings have been altered or replaced, there are extant original openings on every façade, and original windows on the south, east and north façades. An "ell" addition was added to the original section of the Farmhouse in the early 20th century, which in the 1950s was expanded with a second floor to accommodate rental units.

HISTORICAL/ASSOCIATIVE VALUE

The Learment/C. Armstrong Farmhouse has historical/associative value through its association with John Learment and the family of Charles Armstrong. John Learment was the son of William Learment, an immigrant farmer from Scotland who first resided to the north of 10254 Hurontario Street. John Learment and his neighbour John Ferguson had a strong agricultural business relationship and were

³⁵ It does not appear in the zoning definition in the Snelgrove-Heart Lake Secondary plan of 2020 (viz. s. 2.3.1).

³⁶ See Fay, NOID; and COB, Heritage Designation Notice.

prosperous farmers in the area. The construction of the Farmhouse is attributed to John Learment, who owned the property from 1869-1888. In the 1877 Peel County Atlas, a farmhouse is shown on the property, which may or may not be the current Farmhouse in its original state. Based on information obtained from MPAC by the Architects Rasch Eckler Associates Ltd. (AREA Architects), the Farmhouse was constructed circa 1885. John Learment married Elizabeth Armstrong and after his death, she continued to live on the site.

Charles Armstrong, a prominent figure in the Ontario and North American horse industry for over 60 years, bought the property in 1949 and renovated the farmhouse. Charles Armstrong's father, Elgin Armstrong, was the owner of Armbr, or the Armstrong Brothers Construction Ltd. The Farmhouse was associated with Charles Armstrong's business ventures. In 1960, Charles Armstrong established his residence at the Farmhouse and ran a farming business on the site, which was operated under him as "Green Gables Farm".

The Farmhouse, particularly the section constructed in 1885, also yields information that contributes to the understanding of Brampton's agricultural history in the 19th century. Chinguacousy Township was known for its prime farmland and in the 19th and 20th centuries, was home to many successful, prize-winning farmers. Charles Armstrong was particularly known for raising prize-winning race horses.

DESCRIPTION OF HERITAGE ATTRIBUTES/CHARACTER-DEFINING ELEMENTS

The heritage attributes comprise all façades, architectural detailing, construction materials and associated building techniques. The detailed heritage attributes/character defining elements include:

- *Wood trim and wood cornice on all retained façades;*
- *Decorative wooden brackets at corners of the eaves;*
- *Front façade bay window with metal roof, wood trim and decorative woodwork, original window openings and windows;*
- *Red brick construction with brickwork laid in a running bond pattern;*
- *Decorative brick accents including quoins and voussoirs;*
- *Brick water table between the main floor and foundation wall; Hipped roof structure;*
- *Original wood door and windows frames, where they exist, on all façades;*
- *All original wood windows and window openings, including one on the south elevation, second storey; two on the east elevation, one on the first and one on the second storey; and two windows, one on the first and one on the second storey on the north façade; and,*
- *Concrete sills of all original window openings.*

The short statement of reason for the designation, including a description of the heritage attributes along with all other components of the detailed Heritage Report: Statement of Reason for Heritage Designation, constitute the "reason for heritage designation" required under the Ontario Heritage Act.

5.7. O.REG. 9/06 EVALUATION

The accompanying O.Reg. 9/06 Evaluation below incorporates and adds to that produced by AREA in 2016 (viz. sections 3.2.4, 3.3.3, and 3.4.4)

Criteria	Analysis
Architectural/Design Value	
1. The property has design or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method?	Yes: since its heritage restoration by AREA the Learmont-C. Armstrong House is a good example of the Ontario iteration of the Italianate farmhouse typology. Features include: <ol style="list-style-type: none"> 1. The basic form and massing Italianate characteristics of the L-shaped design 2. Restoration of all 20th century modified window and door fenestration 3. Restored functional and decorative components including bay window, double entrance door with clerestory, double half-arch windows with voussoirs, white-painted brick accents, brackets 4. Comparable expression of the Italianate style in the designated Bovaird House
2. The property has design or physical value because it displays a high degree of craftsmanship or artistic merit?	Yes; in its restored state, the heritage house exhibits not only its original but also its more recent, exceptionally high degree of heritage craftsmanship
3. The property has a design or physical value because it demonstrates a high degree of technical or scientific achievement?	No; the original and restored materials and assembly do not reflect an innovative form of technical or scientific achievement
Historical/Associative Value	
4. The property has a historical or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	Yes; the property is associated with European settlers including Adam Ferguson, John Learmont and William James Graham who operated successful farms at the site until the 1940s. The 75 acres that Ferguson consolidated from the original two 50-acre land grants remained intact until the mid-20th century. Even though the property has been shown not to be associated with the Armstrong Brothers Construction Ltd (as previously maintained), it is associated with Henry Charles Armstrong's and later his daughter's businesses including Green Gables Farm and Village Acres Limited.

5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	Yes; although relocated the property continues to contribute meaningfully to an understanding of and serves as a reminder of the vibrant agricultural history of Chinguacousy Township and the community that emerged at Brampton from the mid-19th century. The Italianate design and construction of the brick house exemplifies Learmont's prosperity as a family farmer. The property's association with Charles Armstrong provides insights into the evolution of land-use activities on Brampton's former family farms from the middle of the 20th century.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	No; the architect, artist, builder, designer or theorist associated with the heritage structure's provenance is unknown.
Contextual Value	
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	No; the agricultural character of the heritage structure does not support the existing industrial land-uses.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	No; the heritage structure is one of the only agricultural buildings in the immediate vicinity and has no connections to the physical, functional, visual and historical context of its surroundings. The industrial uses of the area began with the entrepreneurial leadership of Charles Armstrong's father and uncle through the original Ambro Farm and later the construction and aggregates business initiated the evolution of industrial land-use in the Bovaird-McLaughlin area.
9. The property has contextual value because it is a landmark.	Yes; the restored and relocated heritage structure has landmark status through its designation under Part IV of the <i>OHA</i> in 2023. It maintains a distinctive street elevation and conspicuous presence along Hurontario Street through its relocation to the present site in spite of recent industrial developments in the area.

Based on the revised O.Reg. 9/06 evaluation, the Learmont-C. Armstrong House fulfils five of the nine criteria associated with CHVI, supporting its designation under Part IV of the *OHA* in 2023 (COB by-law 79-2023).

6. PROPOSED ADDITIONS & ALTERATIONS

6.1. ADAPTIVE REUSE OVERVIEW

AREA coordinated the relocation of the building, including construction of new foundations and rear façades and remediating the restoration of the building envelope between 2018 and 2019. Nothing was done on the interior of the building at this time. Soon after the house received Part IV heritage designation in 2023 and sold to the current owner, AREA was again retained to prepare Building Permit Application (BPA) drawings and undertake approvals for interior renovations and additions to satisfy the requirements necessary for the creation of a childcare centre to be operated by 'Little Sages Academy' (LSA) and also called the Armstrong House Daycare. LSA is the non-profit daycare operator and is the tenant of the property owner, 10254 Hurontario Street Holdings Inc.

In 2022, the entire property was purchased from Panattoni by 10254 Hurontario Street Holdings Inc. At that time, plans were laid for a proposed adaptive reuse alterations to transform the heritage building into a childcare facility, including a two-storey addition to the west elevation, a one-storey basement addition (mostly below grade) including an enclosed deck to the south-east, and various basement egresses (stairs and windows).

6.2. MINISTRY OF EDUCATION CHILD CARE LICENSING SYSTEM

In April 2024, the Ministry of Education, through the Child Care Licensing System (CCLS), approved the floor and site plan at 10254 Hurontario Street ('Little Sages Academy') for a childcare facility under section 14 of O.Reg. 137/15 of the Child Care and Early Years Act, 2014³⁷ (CCEYA). The proposed facility will serve as many as 128 toddler and preschool children as well as an estimated 21 employees (including program staff, supervisor and cook).

In accordance with the proposed additions and alterations, the Ministry approved the layout and also underlined the following requirements:

- a. That the dimensions of the finished rooms (both above and below grade) are not reduced during construction in order to meet the targeted enrolment; and
- b. That all playground equipment and fencing along with its installation meets current CSA standards (s. 24(4) of O.Reg. 137/15).

Final confirmation from the Ministry also relies on compliance with applicable municipal and provincial approvals (Fire, Health, Zoning and Building) as well as site inspections and review of daycare staff qualifications.

The site plan (Figure 9) for the proposed Armstrong House Daycare has incorporated the required playground areas to support the new daycare use and the CCLS requirements while maintaining, overall, the existing landscape area.

³⁷ See De Melo, Floor Plan and Site Plan Approval Letter, 9 April 2024.

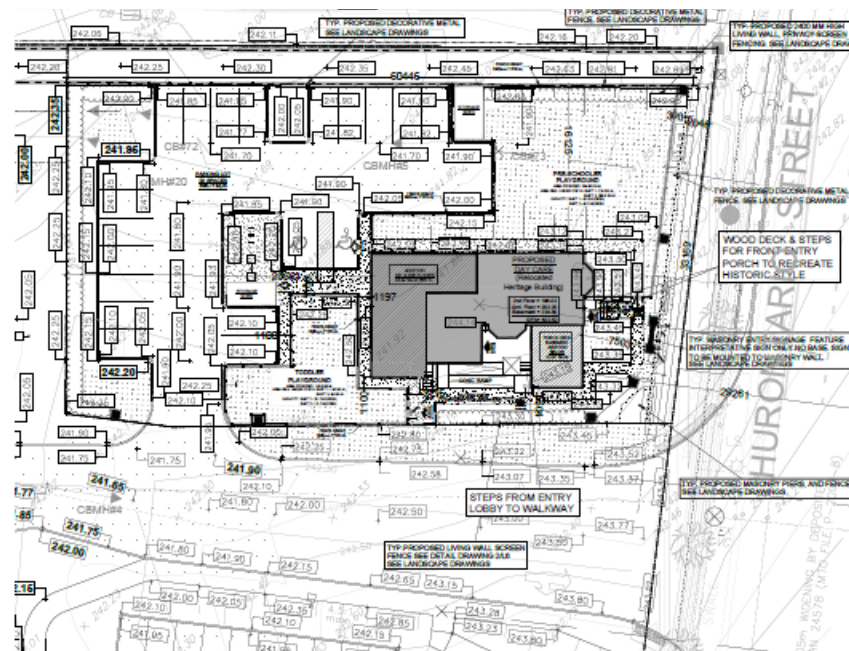


Figure 9: Site Plan, Phase 2 Armstrong House Daycare (AREA, Aug. 20, 2024)

6.3. ADAPTIVE REUSE OVERVIEW

The BPAs for the adaptive reuse application are structured in two phases and involve additions to the building as well as various alterations:

- (1) Phase 1 Daycare Interior Renovations & Basement Alterations
 - a. South-east (side) addition, mostly below grade, in the basement with a deck and railings on the ground floor level and an above-grade portion of the foundations, with windows;
 - b. South (side) walkout entrance below grade with a new basement door and exterior stairs from below grade; and
 - c. North (side) elevation single window added at basement level in above-grade portion of the foundations.
- (2) Phase 2 Daycare Ground & Second Floor Addition
 - a. West (rear) addition to the ground and second storeys on an existing (previously approved) basement extension and its ground floor level deck.

These additions and alterations can be grouped into two categories of changes which are proposed to be approved as Building Permits (BP) in two phases:

- (1) Basement alterations on the side elevations; and
- (2) West (rear) addition, two storeys, to the ground and second floors.

The approvals strategy is premised on submitting two BPAs for the two phases: Phase 1 – Basement Alterations; & then Phase 2 – Ground & Second Floor Addition.

The drawings for the proposed two phases of BPAs are shown in the two sets of Architectural drawings (Figures 10-13, Appendix C) and are described as follows:

- (1) Phase 1 Daycare Interior Renovations & Basement Alterations – Phase 1 was submitted for BPA 2024-05-28 (Figures 10-11, Appendix C) and incorporates primarily the interior renovations together with basement alterations. Phase 1 primary work will be the interior renovations since the prior work done by the previous owner, Panattoni, involved only exterior restoration work (together of course with the house relocation) completed in 2022. This Phase 1 design is actually comprised of two components, which can be called Phase 1a & Phase 1b. Phase 1a was already approved as a BP issued 2023-11-21 for the basement addition at the rear (west) of the building, below grade, with a deck and railings at ground floor level and windows within the above-grade foundation walls. Phase 1b represents the current (2024-05-28) BPA and comprises a basement addition at the side (south-east) of the building, below grade, with a deck and railings at ground floor level and windows within the above-grade foundation walls. The drawings for this current BPA also include the other minor basement alterations comprising the south side below-grade walk-out and an added window on the north wall. This BPA is currently still in process and under review. Zoning review of this application required a Limited SPA review process which, in turn, required Heritage Planning approval, for which Heritage staff required this HIA for the minor basement alterations. The Phase 1 alterations have low impact on the heritage resource because the interiors do not have heritage attributes, and the exterior work affects only the basement walls which were wholly new design and construction dating to the relocation project completed in 2022.

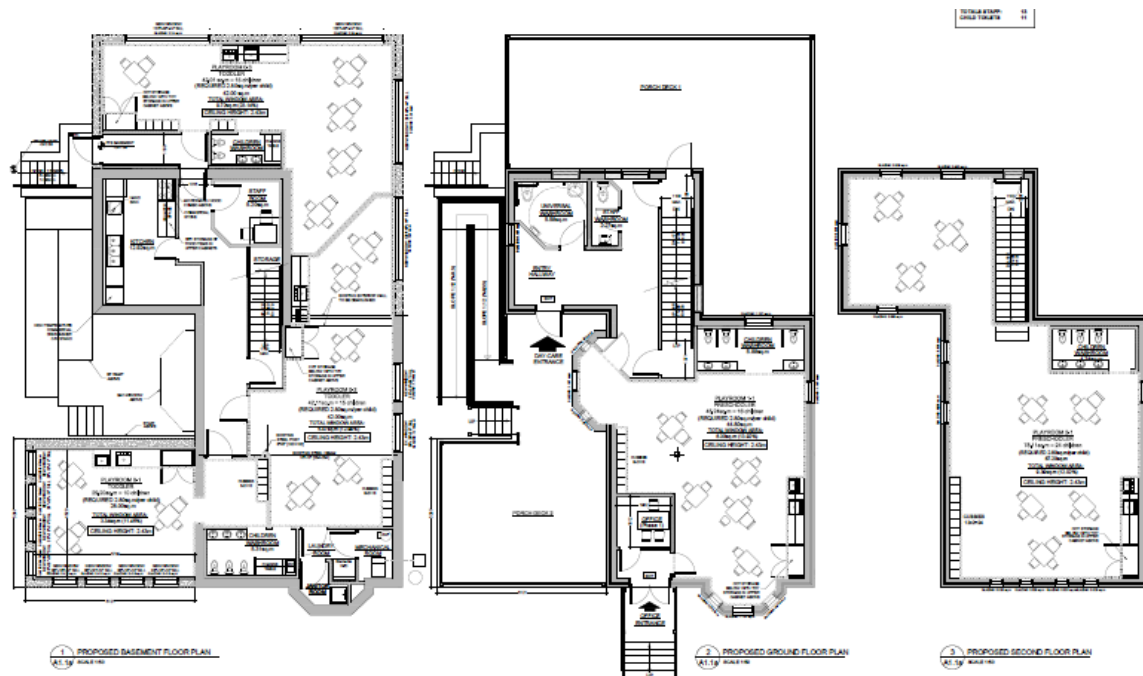


Figure 10: Floor Plans, Phase 1 Armstrong House Daycare (AREA, May 1, 2024)

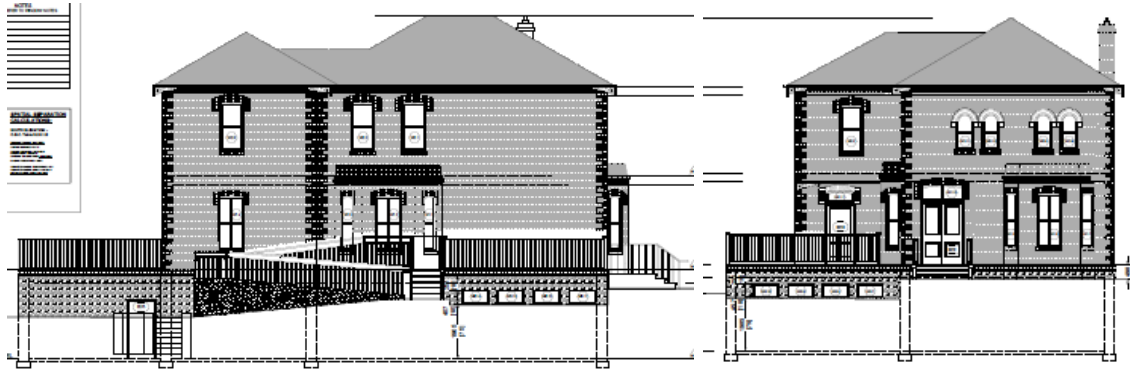


Figure 11: South & East Elevations, Phase 1 Armstrong House Daycare (AREA, May 1, 2024)

- (2) Phase 2 Daycare Ground & Second Floor Addition – Phase 2 will be submitted for a forthcoming BPA (Figures 9, 12-13, Appendix C) which will comprise a Ground & Second Floors addition at the rear (west) of the building. Phase 2 primary work will be the rear (west) two-storey addition. This Phase 2 addition has little or no impact on heritage attributes because the addition is at the rear of the house structure which is not part of the original heritage façades. The rear house façades that would be covered by the addition are wholly new design and construction dating to the relocation project completed in 2022. The rear walls were actually interior walls of the existing house which became exposed with the demolition of the rear portion of the structure that was not deemed to have heritage value. As a result, these newly exposed rear walls of the relocated house were re-clad in new elevations as part of the exterior work undertaken and completed by Panattoni in 2022 and therefore are not heritage façades.

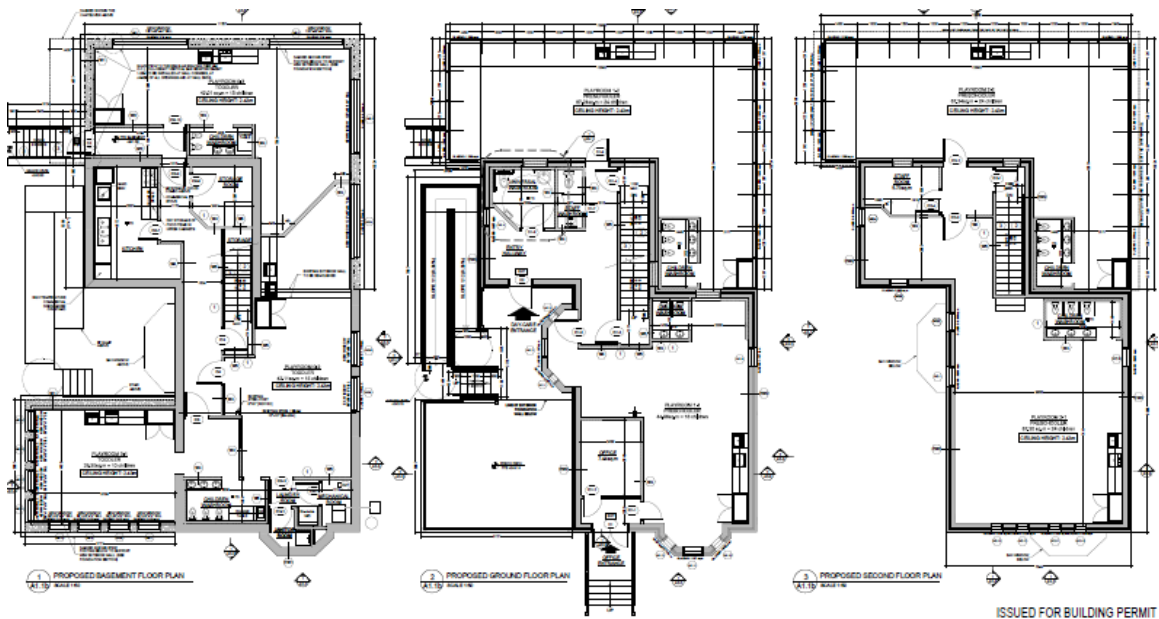


Figure 12: Floor Plans, Phase 2 Armstrong House Daycare (AREA, Aug. 20, 2024)



Figure 13: South & East Elevations, Phase 2 Armstrong House Daycare (AREA, Aug. 20, 2024)

The applications process was premised on obtaining BP approvals in two phases: Phase 1 – Basement Alteration; & then Phase 2 – Ground & Second Floor Addition. This two-phase process provides for an efficient construction method. This process would allow the considerable interior renovations and basement foundation work to proceed during the longer Heritage and Planning approvals.

The entire project – including both Phases 1 & 2 – will still be covered by this HIA and is submitted for review and recommendation of approval by Heritage Planning staff and the Brampton Heritage Board (BHB). Subsequently, the *actual* approval of the HIA and this project's alterations to the heritage building are ultimately approved by Council as the statutory process under the OHA. Then the BPAs for Phases 1 & 2 are submitted and approved separately and sequentially.

6.4. LIMITED IMPACT ON HERITAGE RESOURCE

Although visual impacts of the proposed alteration will be apparent on the secondary façades of the west, north and south elevations, the primary front façade (east elevation) will remain largely unchanged. Impacts to the heritage resource must be understood in the context of two factors: first, most of the proposed work will involve compliance upgrades to the interior to make the building suitable for its adaptation to a childcare facility according to various pertinent legislation (notably the CCEYA). Second, even though the Learment-C. Armstrong House was relocated from its original context, the historic fabric and appearance of the building envelope has been restored to its late nineteenth century iteration. Thus, while the isolation of the heritage structure from its original agricultural and residential context is an approved *fait accompli*, the adaptive reuse of the building can be seen as an opportunity for contextual heritage remediation by providing on-site childcare support for employees of the adjacent Canadian Tire Distribution Centre, nearby industrial and commercial facilities and the residential neighbourhood across the street.

The heritage building is already set within a landscaped area, which will be retained and will accommodate the sodded playgrounds to the north, south, east and west of the building. The northwest corner of the parcel will provide 20 parking spaces that are accessed from Tremblay Street at the southwest corner of the lot.

There are no expected shadow impacts on the appearance of the heritage structure insofar as natural features have not yet been established. Instead, the proposed site alteration will provide an opportunity for landscaping to accommodate the childcare reuse strategy. This work is not expected to have any meaningful impact on the built heritage resource.

The proposed alterations to the basement and the new rear (west) addition do not affect the building's heritage attributes in any significant way. The reasons that the Phase 1 Basement Alterations have a limited affect on the building's heritage attributes can be summarized as follows:

- The proposed alterations only impact building elements that have been constructed within the past five years, e.g. side (south and north) elevations, foundations, ramp/stairs/deck, all windows/doors, etc. These building portions are totally new construction that reproduced what were speculated to be the original conditions of the house.
- The basement, in its entirety, is new construction – as part of the house relocation in 2019 – and does not date to the original circa 1885 and therefore any alterations to the Basement should not be considered as impacting any heritage attributes.
- The previous Heritage Conservation Plan received the BHB recommendation and Council approval in 2017 and incorporated alterations and interventions on the heritage resource that included the completely new construction components of foundations, the rear (west) elevation, most window/door (masonry) openings, and all of the windows and doors.
- The previous Building Permit for the south-side deck & ramp was approved in 2021 and it also constituted new construction which was not original to the circa 1885 construction. This deck and barrier-free ramp were required for SPA and the proposed new deck on the south-east basement addition will likewise integrate with the existing south deck.
- The heritage attributes that are affected by the proposed alterations were not original to the circa 1885 construction of the house but, instead, were re-creations of elements (some based on conjecture).
- The exterior alterations affect only the basement walls which were wholly new design and construction dating to the relocation project completed in 2022.
- The historic farm setting has already been changed which was previously approved under the process for the house relocation completed in 2022.

For the above reasons and others, it is deemed that the Phases 1 work does not affect the building's heritage attributes. Therefore, the proposed additions and alterations should be recommended for approval by Heritage Planning and the BHB and subsequently approved by Council.

7. MITIGATIVE OPTIONS & PROPOSED ALTERNATIVES

7.1. VISUAL IMPACTS FROM PERIMETER ROADS

Since its relocation to the northeast corner of 10254 Hurontario Street, all original historic views and vistas have been changed. It is now bounded to the south and east by the Tremblay-Hurontario Streets intersection, abuts the Self Storage facility to the north and parking for the Canadian Tire Distribution Centre to the west and south.

However, as its new location formed the basis of the heritage designation in 2023, such historic vistas and views no longer have comparable applicability. Indeed, its visual presence along Hurontario Street, now more prominent since its relocation and restoration than before, gives it greater heritage status. This status is enhanced by setbacks offered by the adjacent parking lots and roadways and the landscaped north (side), south (side), west (rear) and east (front) yards of the current lot.

7.2. EVALUATION OF MITIGATIVE OPTIONS: RATIONALE FOR ADAPTIVE REUSE

Various mitigation options are evaluated in this section to reduce the impact of the proposed site alteration on the designated heritage building. As per the BOP's guidelines for HIAs and Scoped HIAs and as inferred in the new PPS 2024,³⁸ the following alternative interventions are evaluated to determine how impacts of the proposed adaptive reuse can mitigate the restored building's heritage integrity. NB: The original 2016 HIA was accepted with the tacit option to provide (approved) zoning-by-law support that may be seen to include the adaptive reuse of the heritage building for a non-residential use, such as the proposed childcare facility.)

According to the City's HIA Terms of Reference (HIA-ToR), each mitigation option must be shown to be non-viable before the subsequent one in order to consider confirm the proposed adaptive reuse project:

- a. Retention in-situ of existing resource with no major modifications undertaken –
 - i. Not possible because of Ministry of Education requirements.
- b. Restoration in-situ of missing or deteriorated element when physical or documentary evidence exists for their design –
 - i. Not applicable insofar as heritage house has been restored and/or rezoned from original residential to commercial usage.
- c. Retention in-situ of existing resource with sympathetic modification –
 - i. Possible as proposed by the adaptive reuse modifications to and around the structure for the childcare facility.
- d. Retention in-situ of existing resource with sympathetically designed new structure in proximity – see c.i.
- e. Retention in-situ of existing resource no longer in use for its original purposes but adapted for new use – see c.i.

³⁸ Herein in the context of the definition of 'conserved' (referring to built heritage resources, cultural heritage landscapes and archaeological resources) recommendations set out in a conservation plan, archaeological assessment and/or heritage impact assessment designed to ensure the 'cultural heritage value or interest' of a built heritage resource is retained (PPS, 2024, p. 41, and viz. p. 28).

- f. Relocation of the resource within the site or to an appropriate new site for continued use or adaptive re-use – see c.i.
- g. Retention of all or some of the resource as a heritage monument for viewing or public art purposes – Not applicable; see a.i. & b.i.
- h. Resource removal and replacement with a sympathetically designed structure and appropriate commemorative features – Not applicable; see a.i. & b.i.

Since the third mitigation option (c) is possible, no further measures need be considered.

7.3. EVALUATION OF OTHER MITIGATION OPTIONS

This list of mitigation options from the Official Plan (6.1) are also expanded in the City's HIA-ToR, through its Appendix 2 Additional Mitigation Strategies. This expanded list of mitigation options is evaluated below to determine the full range of alternative strategies that are considered.

Mitigation Options and Feasibility	
a. Avoidance protocols to isolate development and land alterations to minimize impacts on significant built and natural features and vistas	Not applicable
The heritage building is isolated at the corner of the recent industrial development area.	
b. Architectural design guidelines that harmonize mass, setback, setting and materials	Not applicable
The result of the restoration of the heritage building's exterior (to its original late nineteenth century iteration) following its relocation has resulted in the property receiving Part IV designation under the <i>OHA</i> (2023). The proposed additions and alterations are at minor locations, on secondary elevations, unobtrusive from the public street view and/or impacting only building portions which were wholly new design and construction dating to the relocation project completed in 2022. The southeast porch extension, it should be noted, does introduce a new visual element adjacent to the main (east) façade. However, the south-side porch deck and ramp was previously approved as part of the 2021 SPA process which already creates this exterior platform level at the house's ground floor datum with its guards and railings. As such, the proposed new deck and its guards on the south-east basement addition will likewise integrate with the existing south deck and its railings.	
c. Allowing compatible infill and additions	Possible
The heritage property has been relocated to a much smaller parcel in order to accommodate the industrial development on the larger land assembly. But there is sufficient space to create recreational space and other amenities required for the adaptive reuse to a daycare. The southeast porch extension incorporates an above-grade portion of the foundations which will be finished in a reproduction stone cladding that will be compatible with the stone base of the adjacent heritage façades. This base of the deck will therefore constitute a compatible addition as it is viewed on the main (east) street-facing façade.	

d. Preparation of conservation plan and adaptive reuse plan	Possible
Heritage Conservation Plan was already submitted and approved for the relocation project completed in 2022 and has not been affected by the current proposal. The Adaptive Reuse Plan is already prepared in the Architectural drawings (Appendix C) that were approved by Ministry CCLS process for the daycare use and which are submitted to the City as part of the SPA and BPA process.	
e. Vegetation buffer zones, tree planting, site plan control and other planning mechanisms	Possible
Sympathetic landscaping measures will enhance the adaptive reuse redevelopment and will help to provide a reminder of the original residential/agricultural vista associated with the original setting. The heritage building is already set within a landscaped area, which will be retained and will accommodate the sodded playgrounds to the north, south, east and west of the building.	
f. Opportunities to commemorate historical land uses, past owners, landscape and landform features through the naming of streets and other public assets or use of interpretative plaques	Possible
The interpretive plaque was already developed, fabricated and installed, with City approval, to commemorate the property history using documentary and archival materials as part of the relocation project completed in 2022 and in conformance with the OHA Part IV designation (COB DBL 79-2023).	

8. CONSERVATION, IMPLEMENTATION & RECOMMENDATION

8.1. VISUAL IMPACTS FROM PERIMETER ROADS

Since the relocated and restored Learment-C. Armstrong House has received heritage designation, implementation strategies must ensure the continued preservation of the property and that its designated status remains protected. Indeed, its relocation and restoration has fulfilled the goal described by the 2016 HIA insofar as it 'accommodate[s] a balance between conservation and development' through 'recovery of the building's historic Italianate form, while also permitting viability for its relocation and integration within the proposed industrial-commercial development' (7.0d). This current HIA updates the requirements for the property's conservation to implement the proposed adaptive reuse. This updated HIA is submitted to Heritage Planning and the BHB for review and consideration and ultimately for approval by City Council.

8.2. IMPLEMENTATION WITH ADAPTIVE REUSE PLAN

The previous Heritage Conservation Plan (HCP) of 2017 and its revision in 2020 already fulfilled the requirements of the HCP Terms of Reference. The City's HIA-ToR clause 3.5.6 references an Adaptive Reuse Plan which would be the appropriate submittal to support and outline the implementation for this type of project and should incorporate the following aspects:

1. An Adaptive Reuse Plan responds to one of the BOP's key implementation strategies which obligate the City to ensure that:
 - 3.6.3.93 Every endeavour will be made to facilitate the maintenance and conservation of designated heritage properties including making available grants, loans and other incentives as provided for under the *Ontario Heritage Act* and the Heritage Property Tax Relief Program under the Municipal Act and municipal sources (3.6.3.45).
2. Ensure compliance with the BOP's Public Realm policies insofar as those cultural heritage resources and landmark buildings that are visible from the public street are to be incorporated within public realm design and organization protocols (3.1.1.15.a). In the same way, heritage resources are to be conserved in conformance with Parks Canada's *Standards and Guidelines* (3.1.2.21, 3.6.3.25). In this way, the view of the built heritage resource will be protected as per 3.6.3.55.
3. Other follow-up, site-specific heritage strategies should include:
 - a. Ensuring the interior renovations meeting Ministry of Education room size requirements do not detrimentally impact the heritage features of the exterior of the building.
 - b. That suitable playground equipment and fencing are sympathetic to the heritage character and still maintain the main sightlines of the house.
 - c. Consideration of appropriate landscape buffers which will be a reminder of the original natural setting of the Learment-Armstrong farm.

The Adaptive Reuse Plan is already constituted in the Architectural drawings (Appendix C) that were approved by Ministry CCLS process for the daycare use and which are submitted to the City as part of the SPA and BPA process. The design drawings for the adaptive reuse of the Armstrong House Daycare have regard for the conservation of the heritage structure as described above and are submitted, in conjunction with this HIA, to Heritage Planning and the BHB for review and consideration and ultimately for approval by City Council. The City's obligations under the BOP Implementation strategy (3.6.3.93) "to facilitate the maintenance and conservation of designated heritage properties" includes supporting the compatible adaptive reuse of a heritage building, as represented by this project.

8.3. CONCLUDING RECOMMENDATION

As a designated heritage resource, the Learment-Armstrong House is uniquely poised to continue to support the existing zoning while retaining and protecting the building's original and restored heritage attributes. It is essential that the City and its heritage committee, the BHB, permits adaptive reuse development opportunities that allow the building to maintain its heritage status and support its ongoing heritage conservation. Accommodation of its use as a childcare facility in the context of the larger industrial and commercial buildings and the residential neighbourhood respectively on the west and east sides of Hurontario Street not only will serve that community but also serve as a compatible reminder of the property's original residential purpose. The adaptive reuse of the Armstrong House Daycare will provide a didactic and conceptually viable bridge between the historic evolution of communities in Peel County.

The proposed site alteration supports the COB's Development Design Guidelines (DDG) that seek to promote good urban design. A key objective is 'to incorporate and reinforce important natural and heritage features into the community structure.' The DDG could therefore be used to promote the compatibility of the subject development and heritage structure, especially in terms of site planning and built form.

This HIA concludes that:

- Through minor alterations and unobtrusive additions, the proposed adaptive reuse into a daycare redevelopment will not result in significant impacts to the heritage attributes of the Learment-Armstrong House.

This recommendation of the HIA will require the City's heritage approval through a recommendation by the Heritage Planning staff and the Brampton Heritage Board, and ultimately the approval of Council.

9. APPENDICES

9.1. APPENDIX A: BIBLIOGRAPHY & REFERENCES

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9.2. APPENDIX B: QUALIFICATIONS OF AREA & RESUMES

QUALIFICATIONS OF AREA



FIRM PROFILE | HERITAGE & MUSEUM WORK

AREA is a full service firm, based in Toronto and operating across Canada, which specializes in the restoration and adaptive re-use of historic buildings, urban design for heritage streetscapes and approvals under the Ontario Heritage Act. The firm has a history extending over 30 years of practice, and is managed by 2 principals and 8 technical staff – including intern architects, interior designers and architectural technologists – with experience in the documentation and restoration of historic buildings and sites. Although we are qualified for heritage and museum projects, the members of our firm have also undertaken a wide range of institutional and commercial projects often involving the integration of historic components into new developments.

AREA and its staff are members of various heritage associations and advisory boards across Canada. David Eckler, B.E.S., B.Arch., OAA, MRAIC is an active member in many heritage associations including the Architectural Conservancy of Ontario Advisory Board. He is a former Vice-Chair of Heritage Toronto, which advised Toronto City Council on heritage matters as a LACAC under the Heritage Act. Bernard Rasch, B.Arch., PPOAA, FRAIC, ARIBA has served on a number of heritage committees and boards including the Markham District Historical Society and City of York Historical Committee and the Metro Board of Management for The Guild from 1984 to 1998 where he served in many positions including Chair & Vice-Chair of the Board.

Historical Façade Improvement Guidelines & Heritage Districts

- Stouffville Main Street Revitalization, 1998, DEA was presenter at workshop
- Yonge Street Commercial Façade Improvement Program, 1996, received City approval of grant
- Woodstock Façade Improvement Program, 1995, DEA initiated program for City
- Hazelton-Yorkville Area Heritage Conservation District Study, City-sponsored study
- Fergus Downtown Community Masterplan & Design Guidelines

Historic Museums, Institutional & Cultural Buildings

- Officers' Quarters (1830), Military & Naval Establishment, Discovery Harbour, Penetanguishene
- Spence Half-Way House Restoration (c. 1850), Muskoka Pioneer Village, Huntsville
- Sharon Temple Compound (1821), Sharon, York Region
- Heliconian Hall (first Olivet Sunday Schoolhouse, circa 1876), (Yorkville)
- Cedar Ridge Studio Gallery (1918), 225 Confederation Drive, (Scarborough)
- Aurora Historical Society Museum (1886 school), 22 Church Street, Aurora
- The Niagara Institute (early 20th.c), 9 Weatherstone Crt., Niagara on the Lake
- St. Lawrence Hall (1840) – renovations of town hall to accommodate National Ballet School

Historic House Restorations

- Jacob Ross House Restoration (1852), 108 Stayner Ave.
- William Wonch House Restoration (1840), 2777 Woodbine Ave., Markham
- Robert Milroy House Restoration (c. 1833), 7111 Reesor Rd., Markham
- McDougall Farmhouse (1893) Heritage Assessment, James Snow Parkway, Milton, ON
- Devonian House Restoration & Addition (circa 1923), 144 John St. E., Niagara on the Lake
- Savage House & Blacksmith Shop (c.1840), 1480 Derry Rd. E., Mississauga

Converted Historic Residences

- Old Post Inn (c. 1830), 367 Kingston Road East, Ajax
- Valley Halla Villa (Jackson Residence, 1922), Toronto Zoo, Rouge Valley, Scarborough
- Armour Heights Officer's Mess (1913, 'Strathrobyn'), Canadian Forces College, 215 Yonge Blvd.
- Bellevue Daycare Centre (1887), 95 Bellevue Ave.
- Gerrard & Bay Historic Houses (1860-1890), 68-84 Gerrard St. W.
- Toronto French School Restoration (Sifton Estate, 1923), 294 - 318 Lawrence Ave. E.

DAVID ECKLER, AREA

**EDUCATION**

University of Waterloo
B.Arch (1985)
B.E.S. (1982)

MEMBERSHIPS

Ontario Association of
Architects
(former Councillor & Chair
Awards Committee)

Royal Architectural Institute of
Canada

Architectural Conservancy of
Ontario Advisory Board

Society for the Study of
Architecture in Canada

Association for Preservation
Technology

Heritage Canada Foundation

Ontario Historical Society

CAREER SUMMARY

AREA, Architects Rasch
Eckler Associates Ltd.
President
2001 to Present

David Eckler Architect
1991 – 2001

Page & Steele Architects
1989 – 1991

Arthur Erickson Architects
1986 – 1989

DAVID ECKLER BES, B.Arch., OAA, MRAIC
AREA, Architects Rasch Eckler Associates Ltd.
President & Principal – Senior Project Architect

David Eckler is the firm's principal and is responsible for the administration and design of all projects in the office. Mr. Eckler has over 30 years of experience in the design of medium-size institutional facilities for government, non-profit agencies and other organizations including community centres, museums and municipal facilities. Mr. Eckler is involved most particularly with the Concept Design, Design Development and Contract Documents phases of projects and is the author of many of the firm's heritage assessment reports.

Mr. Eckler's previous firm *David Eckler Architect (DEA)*, established in 1992, specialized in heritage conservation including feasibility studies, preservation planning, infill projects within historic districts, adaptive re-use and building restoration. David is an active member in many architectural and heritage associations including the *Architectural Conservancy of Ontario Advisory Board*. He is a past member of the *Canadian Association of Professional Heritage Consultants* and is a former Vice-Chair of *Heritage Toronto*, which advised Toronto City Council on heritage matters under the Ontario Heritage Act and as an advisory board for the city's museums.

Mr. Eckler has particular experience in the restoration of heritage properties within public sites and cultural landscapes. An example of a heritage complex in a public park setting is the restoration and redevelopment of the 'Waypoint Centre for Mental Health Care' within the former *Penetanguishene Mental Health Centre* (1903). He has most recently worked on the restoration of the historic 1910 Palm House within the Allan Gardens Conservatory Complex.

RELEVANT EXPERIENCE: Toronto location unless indicated**Heritage Restoration**

- Allan Gardens Conservatory Complex (1910), 160 Gerrard St. E.
- Third Church of Christ, Scientist (1928) Redevelopment
- Eglinton Hunt Club (1929) Condominiums
- Aurora Historical Society Museum (1886 school), 22 Church St.
- Officers' Barracks (1830), Discovery Harbour, Penetanguishene
- Medical Arts Building Restoration (circa 1929)
- Heliconian Hall (first Olivet Church, 1876), Yorkville

Institutional Uses in Historic Buildings

- Goldring Student Centre, Victoria University, 150 Charles St. W.
- Toronto French School (Sifton Estate, 1924) Restoration Plan
- Armour Heights Officers' Mess ('Strathrobyn' 1913), DND College
- Hutton House (1853) Community Centre, St. Marys
- Valley Halla Villa (Jackson Res., 1922), Toronto Zoo, Scarborough
- Bellevue Daycare Centre (1887)
- Adamson House (1927) Cawthra Estate Park, Port Credit

Heritage Planning, Parks & Urban Design

- Cookstown Heritage Conservation District, Innisfil
- Old Pickering Village Planning & Heritage Study, Ajax
- Yorkville-Hazelton Avenue Heritage Conservation District
- Limehouse Kilns Heritage Masterplan, Halton Hills
- Confederation Commemorative Park, Charlottetown, PEI
- Gerrard & Bay Historic Houses (1860-1890) Mews Parkette

SARAH KING HEAD, AREA


SARAH KING HEAD BA Hons, MA, PhilM, GDipPI, CAHP
AREA, Architects Rasch Eckler Associates Ltd.
Associate Heritage Consultant
**EDUCATION &
PROFESSIONAL
DEVELOPMENT**

Certificate in Museum
Studies (Ongoing), Ontario
Museums Association

University of Waterloo
(2020), Graduate Diploma in
Planning

University of Toronto (1996),
PhilM in Art History

University of Toronto (1989),
Master of Arts in History

University of Saskatchewan,
Saskatoon (1987),
Honours Bachelors of Arts in
History & Art History

**MEMBERSHIPS &
DIRECTORSHIPS**

Canadian Association of
Heritage Professionals
(Ontario Branch)

Architectural Conservancy of
Ontario

National Trust for Canada

Ontario Genealogical Society

Ontario Historical Society

Institute of Historic Building
Conservation, UK (Affiliate
member, no. 109219)

Sarah King Head is an associate consultant of AREA. She is a full professional member of CAHP with more than three decades' worth of experience as an author, educator and historian. Accomplishments over the past decade include publication of an award-winning book in 2017 and being named Thorold City Historian in 2015.

Ms. Head's heritage work includes documentation, research, interpretation and assessment as well as outreach, advocacy and education through contribution to projects from national/provincial conferences and exhibition development to heritage research projects and volunteer heritage restoration initiatives. She also has considerable experience with research and reports regarding heritage designation and assessment, documentation, inventorying and interpretation of built heritage and heritage landscape resources, public outreach. She has produced and/or revised more than 30 OHA Part IV and V designation reports, written nearly 30 History Recognition Plaques and produced several HIAs and CHL reports.

She has proven in projects across the cultural heritage and historical spectrum from Upper Canadian genealogy and assessing Indigenous and European heritage landscapes to academic research into Renaissance humanism and the development of museum didactics. For nearly four decades, she has developed a sophisticated knowledge of – as well as sensitivity to the strengths and limitations of – interdisciplinary research, documentation and inventory tools and resources, both modern and traditional.

RELEVANT EXPERIENCE: Toronto location unless indicated

Heritage Restoration & Adaptive Reuse

- Christopher Reesor House, Reesor Road, Markham

Heritage Restoration & Commercial Development

- Marr-Phillipo House, Wilson St. East, Hamilton

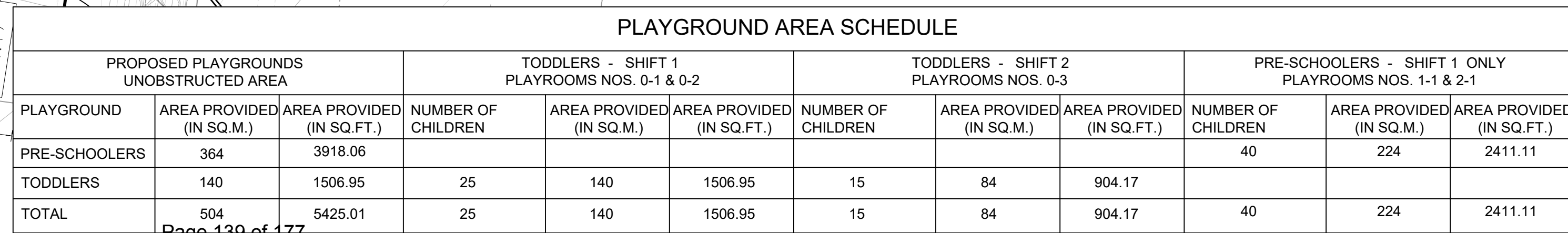
Heritage Buildings Conditions Assessments & Restorations


- McDougall Farmhouse, Kennedy Rd., Caledon

Publications (Public Sector Heritage Reports and Historical Journalism)

- Duncan McFarland House, River Street, Port Robinson
- Williams-Daboll House, Welland Street North, Thorold
- Robert Ross House, Canby Street, Port Robinson
- Summit Place Tavern (c. 1850) and Hana's Place (c. 1875), Front Street South, Thorold
- Pew House: South Street South, Port Robinson
- 'Thorold: There's No Place Like Home,' *ACORN: Architectural Conservancy of Ontario*, Fall 2022
- 'John Brown's Imperial Towers,' *ACORN: Architectural Conservancy of Ontario*, Fall 2021, pp. 18–19
- Beckett's Reserve-Col Duncan McFarland House, Stephen Beatty House, Canby Street, Port Robinson

9.3. APPENDIX C: ARCHITECTURAL DRAWINGS PHASES 1 & 2



DRAWN BY HR		SCALE AS NOTED	
CHECKED BY DE		DATE APRIL 27 2018	
SET. NO. 1		DRAWING NO. A0-2a	
TOTAL NO. NO 2		PROJECT NO. 15-620	

ISSUED FOR BUILDING PERMIT

GROSS FLOOR AREA:

EXISTING BUILDING GFA = 346.66 SQ.M. (100%)
Basement: 115.12 SQ.M.
Ground Floor: 118.86 SQ.M.
Second Floor: 112.68 SQ.M.

New Addition Basement: 109.19 SQ.M
As-Existing Basement: 115.12 SQ.M
BASEMENT TOTALS: 224.31 SQ.M

UNOBSTRUCTED PLAY AREA FOR CHILDREN:

SECOND FLOOR:
PLAYROOM 2-1 PRESCHOOLER: 78.11 SQ.M = 24 CHILDREN

GROUND FLOOR:
PLAYROOM 1-1 PRESCHOOLER: 45.24 SQ.M = 16 CHILDREN

BASEMENT:
PLAYROOM 0-1 TODDLER: 29.20 SQ.M = 10 CHILDREN
PLAYROOM 0-2 TODDLER: 42.04 SQ.M = 15 CHILDREN
PLAYROOM 0-3 TODDLER: 42.01 SQ.M = 15 CHILDREN

UNOBSTRUCTED PLAY AREA TOTALS:236.6 SQ.M = 80 CHILDRENS

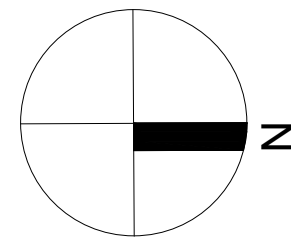
OCCUPANCY FOR STAFF & CHILDREN:

SECOND FLOOR:
PRESCHOOLER (2-1) 24
STAFF (2-1): 3

GROUND FLOOR:
PRESCHOOLER (1-1): 16
STAFF (1-1): 2

BASEMENT:
TODDLER (0-1): 10
STAFF (0-1): 2
TODDLER (0-2): 15
STAFF (0-2): 3
TODDLER (0-3): 15
STAFF (0-3): 3

TOTALS CHILDREN: 80
TOTALS STAFF: 13
CHILD TOILETS 11



CONSTRUCTION NORTH

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.

THESE DRAWINGS MUST NOT BE SCALED. THE DESIGN AND CONTRACT DOCUMENTS FOR THIS PROJECT ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED, ALTERED OR REUSED WITHOUT THE ARCHITECTS WRITTEN AUTHORITY.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL COUNTERSIGNED BY ARCHITECT.

THE ELECTRONIC FILES FOR THIS PROJECT ARE ISSUED FOR REFERENCE ONLY AND MAY NOT BE ALTERED IN ANY WAY WHAT SO EVER BY ANYONE ELSE EXCEPT AREA ARCHITECT LTD. EXCEPT WHERE WRITTEN PERMISSION IS GIVEN BY AREA ARCHITECTS LTD. A HARD COPY OF THIS ELECTRONIC FILE EXISTS IN OUR OFFICE AS A REFERENCE DOCUMENT.

SIGNED _____ DATE _____

2024-05-01	15	ISSUED FOR BUILDING PERMIT	HT
2024-03-11	14	REVISED PER PUBLIC HEALTH COMMENT	AA
2024-03-05	13	RE-ISSUED FOR PRELIMINARY PHASE 1	AA
2024-02-29	12	ISSUED FOR PERLIMINARY PHASE 1	HT
2023-12-20	11	REVISED PER CLIENT COMMENT (2)	HT
2023-10-10	10	UPDATED FOR COORDINATION	HT
2023-09-13	9	ISSUED PER EXAMINER COMMENTS	HT
2023-04-26	8	ISSUED FOR CoA (PRELIMINARY)	HT
2023-04-24	7	REVISED PER CLIENT COMMENT (1)	HT
2023-04-21	6	DAYCARE DESIGN 4	HT
2023-04-04	5	DAYCARE DESIGN 3	HT
2023-03-22	4	DAYCARE DESIGN 2	HT
2023-02-24	3	DAYCARE DESIGN 1	HT
2023-02-03	2	RE-ISSUE TO CLIENT	HT
2022-12-19	1	ISSUE TO CLIENT	HT
DATE	NO.	REVISIONS / ISSUES	BY

AREA

ARCHITECTS RASH ECKLER ASSOCIATES LTD.

15 LOLA ROAD
TORONTO, ONTARIO, M5E 1P5
TEL (416) 696-1969
FAX (416) 696-1966



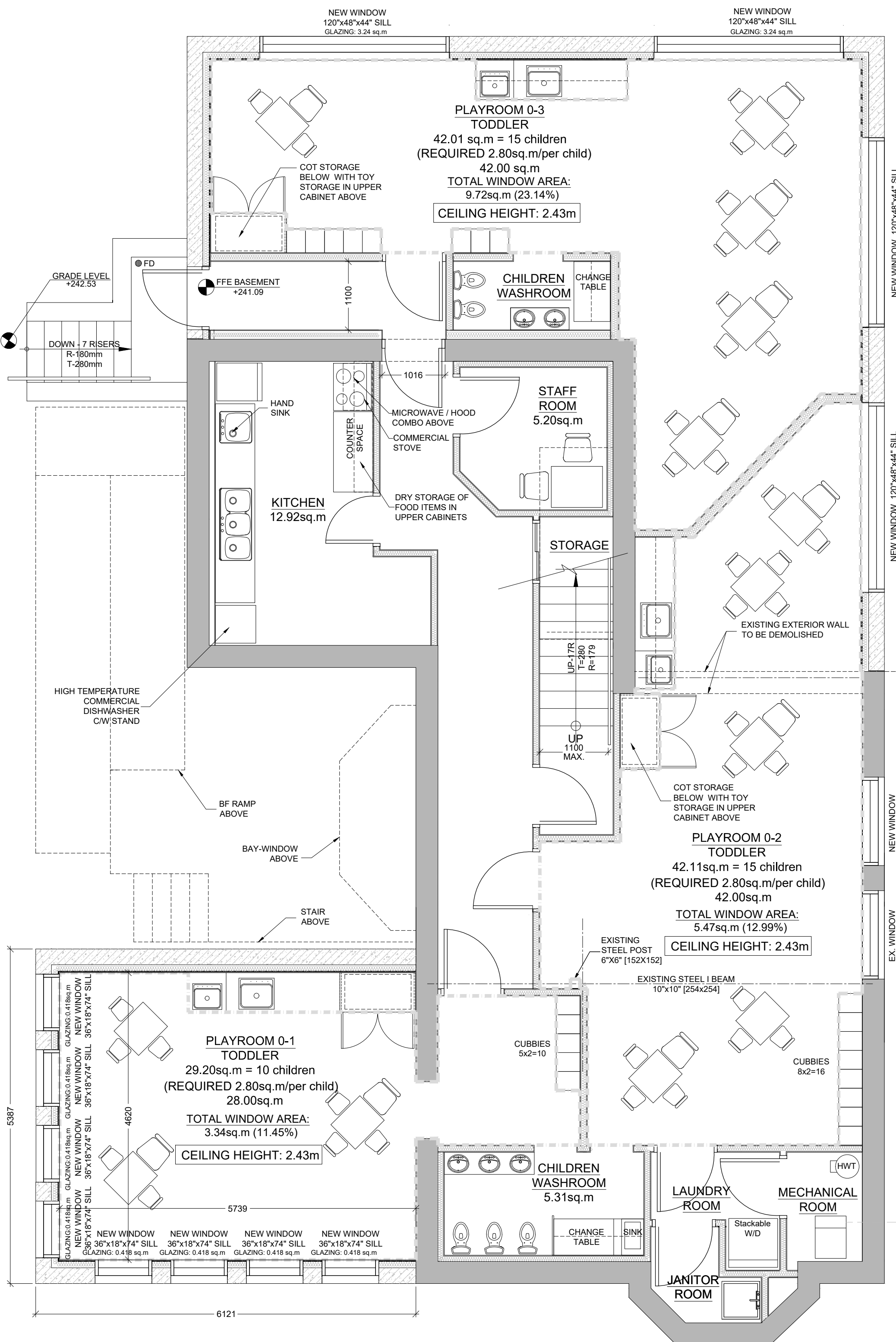
PROJECT TITLE
LITTLE SAGES ACADEMY
ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4

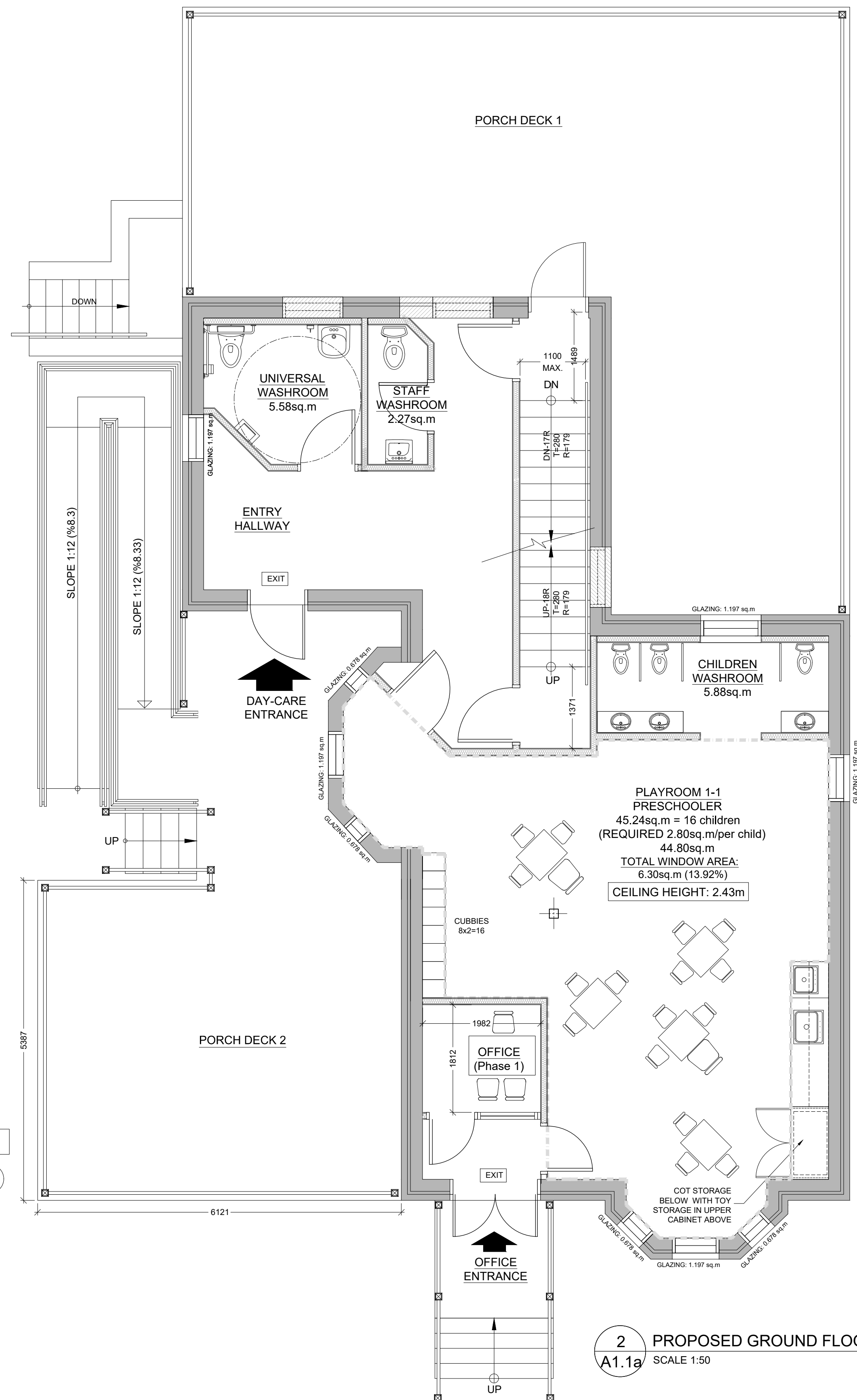
DRAWING TITLE
FURNITURE & OCCUPANCY
FLOOR PLANS - PHASE 1

DRAWN BY HT	SCALE
CHECKED BY DE	DATE OCTOBER 6, 2021
SET. NO. 1	PROJECT NORTH DRAWING NO. A1.1a
TOTAL DWG. NO 3	PROJECT NO. 12-576

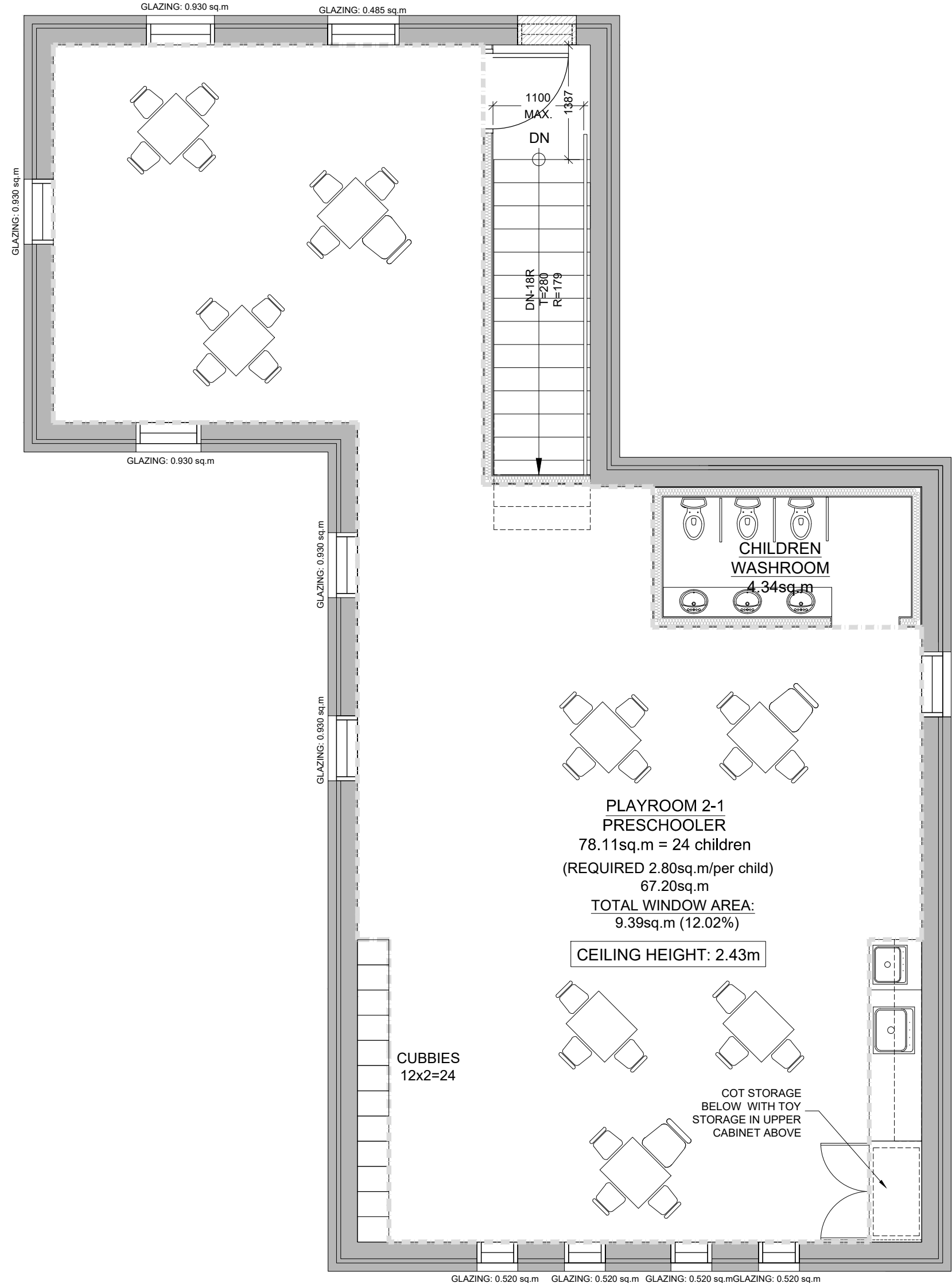
ISSUED FOR BUILDING PERMIT



1 PROPOSED BASEMENT FLOOR PLAN
SCALE 1:50



2 PROPOSED GROUND FLOOR PLAN
SCALE 1:50



3 PROPOSED SECOND FLOOR PLAN
SCALE 1:50

1 INTERIOR STUD PARTITIONS (9.23.9.8., 9.23.10.)

BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38x89) @ 16" (406) O.C. FOR 2ND STOREY.
NON-BEARING PARTITIONS 2"x4" (38x89) @ 24" (610) O.C. PROVIDE 2"x4" (38x89) BOTTOM PLATE
AND 2"x4" (38x89) TOP PLATE. 1" (25) (12.7) INT. DRYWALL BOTH SIDES OF STUDS. PROVIDE
2"x6" (38x140) STUDS WHERE NOTED. PROVIDE 2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING
WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38x89) WOOD
BLOCKING ON FLAT @ 3'-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOAD
BEARING WALLS ARE PARALLEL TO FLOOR JOISTS.
TAPE AND SEAL ALL JOINTS GAS TIGHT IN GARAGE WALLS.

2 ALL STAIRS/EXTERIOR STAIRS (9.8.1.2., 9.8.2., 9.8.4.)

	MAX. RISE [R]	MIN. RISE [R]	MAX. RUN [T]	MIN. RUN [T]	MAX. TREAD	MIN. TREAD
PRIVATE	7'78" (200)	5" (125)	14" (355)	10" (255)	14" (355)	10" (255)
PUBLIC	7'11" (180)	5" (125)	NO LIMIT	11" (280)	NO LIMIT	11" (280)
MIN. STAIR WIDTH						
PRIVATE	2'-10" (600)					
PUBLIC	2'-11" (600)					

** HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A
STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6'-5"
(1960) FOR SINGLE DWELLING UNIT @ 6'-8 3/4" (2050) FOR EVERYTHING ELSE. (9.8.2.2.)
REQUIRED LANDING IN GARAGE - 0.8 C. 9.8.6.2.(3.)
FOR AN INTERIOR STAIR SERVING A GARAGE DOES NOT CONTAIN MORE THAN 3 RAISERS, LANDING IS
NOT REQUIRED AS PER CODE.

HANDRAIL HEIGHTS - 0.8 C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3.)
MIN. HEIGHT AT STAIRS OR RAMP: 2'-10" (605)
MAX. HEIGHT AT STAIRS OR RAMP: 3'-2" (965)
HEIGHT AT LANDING 3'-6" (1070)
STAIRS OR RAMP MIN. 7'-3" (2200) WIDE 2'-9" (865) MIN. HEIGHT

3 GUARDS/RAILINGS (9.8.7., 9.8.8.)

GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX.
OPENING
CONFORMING TO O.B.C. 9.8.5.5. & 9.8.8.8 AND BE ABLE TO RESIST LOADS AS PER
TABLE 9.8.8.2.
MORE SPECIFICALLY, INTERIOR AND EXTERIOR GUARDS SHOULD HAVE
CAPACITY FOR A HORIZONTAL LOAD OF 0.75 KN/M OR A CONCENTRATED LOAD OF
1.0 KN APPLIED AT ANY POINT, WHICHEVER GOVERNS IN ACCORDANCE WITH
TABLE 9.8.8.2 AND OBC 4.1.5.14.

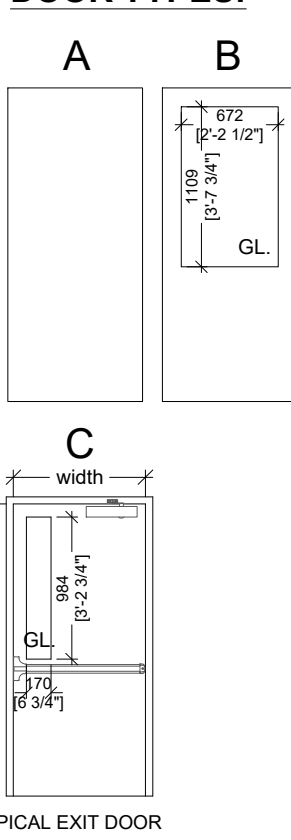
GUARD HEIGHTS - 0.8 C. 9.8.8.
INTERIOR GUARDS: 2'-11" (600) MIN.
EXTERIOR GUARDS: 2'-11" (600) MIN. (LESS THAN 5'-11" (1800) TO GRADE)
3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE)
GUARDS FOR LANDINGS & EXIT STAIRS: 3'-6" (1070) MIN.
GUARDS FOR STAIRS & RAMP IN GARAGES (SERVICE STAIRS)
FLOOR OR RAMP W/ EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE
ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH, AND GUARD MIN.
3'-6" (1070) HIGH.

REQUIRED GUARDS
BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN
ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 2'-11" (1200)
& WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED
WITH GUARDS PER CONSTRUCTION NOTE 11.
MIN. HEIGHT AT STAIRS OR RAMP: 2'-10" (605)
MAX. HEIGHT AT STAIRS OR RAMP: 3'-2" (965)
HEIGHT AT LANDING 3'-6" (1070)
STAIRS OR RAMP MIN. 7'-3" (2200) WIDE 2'-9" (865) MIN. HEIGHT

INTERIOR DOOR SCHEDULE

NO.	LOCATION	DOOR SIZE	TYPE	MATERIAL	FINISH	GLAZING	CONDITION	FIRE	HARDWARE & NOTES
ID0-1	BASEMENT	915 x 2080 x 35	A	METAL	PAINT	N/A	EXIST.	45min.	WEATHER STRIPPING, BUTT HINGES, LEVER, DEADBOLT LOCK
ID0-2	BASEMENT	915 x 2080 x 35	A	METAL	PAINT	N/A	NEW	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER
ID0-3	BASEMENT	863 x 2080 x 35	A	WOOD-METAL	CLEAR-PAINT	N/A	NEW	45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER, GLAZING ON TOP PANEL
ID0-4	BASEMENT	963 x 2080 x 35	B	WOOD-METAL	CLEAR-PAINT	LoE x INSULATED	NEW	45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER, GLAZING ON TOP PANEL
ID0-5	BASEMENT	963 x 2080 x 35	B	WOOD-METAL	CLEAR-PAINT	LoE x INSULATED	NEW	45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER, GLAZING ON TOP PANEL
ID0-6	BASEMENT	915 x 2080 x 35	C	METAL	PAINT	WIRED GLASS	NEW	45min.	SMOKE SEAL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER
ID0-7	BASEMENT	863 x 2080 x 35	A	WOOD-METAL	CLEAR-PAINT	N/A	NEW	45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER
ID0-8	BASEMENT	963 x 2080 x 35	A	WOOD-METAL	CLEAR-PAINT	N/A	NEW	45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER
ID0-9	BASEMENT	963 x 2080 x 35	B	WOOD-METAL	CLEAR-PAINT	LoE x INSULATED	NEW	45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER, GLAZING ON TOP PANEL
ID1-1	GROUND FLOOR	915 x 2080 x 35	C	METAL	PAINT	WIRED GLASS	NEW	45min.	SMOKE SEAL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER
ID1-2	GROUND FLOOR	915 x 2080 x 35	B	WOOD-METAL	CLEAR-PAINT	LoE x INSULATED	NEW	45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER, GLAZING ON TOP PANEL
ID1-3	GROUND FLOOR	963 x 2080 x 35	B	WOOD-METAL	CLEAR-PAINT	LoE x INSULATED	NEW	45min.	DOOR SHALL BE WITH BUTT HINGES, LEVER, GLAZING ON TOP PANEL
ID1-4	GROUND FLOOR	915 x 2080 x 35	C	METAL	PAINT	WIRED GLASS	NEW	45min.	SMOKE SEAL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER
ID1-5	GROUND FLOOR	915 x 2080 x 35	C	METAL	PAINT	WIRED GLASS	NEW	45min.	SMOKE SEAL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER
ID1-6	GROUND FLOOR	963 x 2080 x 35	A	WOOD-METAL	CLEAR-PAINT	N/A	NEW	45min.	DOOR SHALL BE LOCKABLE
ID1-7	GROUND FLOOR	963 x 2080 x 35	A	WOOD-METAL	CLEAR-PAINT	N/A	NEW	45min.	DOOR SHALL BE LOCKABLE (SEE DOOR NOTES no 9)
ID2-1	SECOND FLOOR	915 x 2080 x 35	C	METAL	PAINT	WIRED GLASS	NEW	45min.	SMOKE SEAL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER
	RESERVED								
	RESERVED								
	RESERVED								

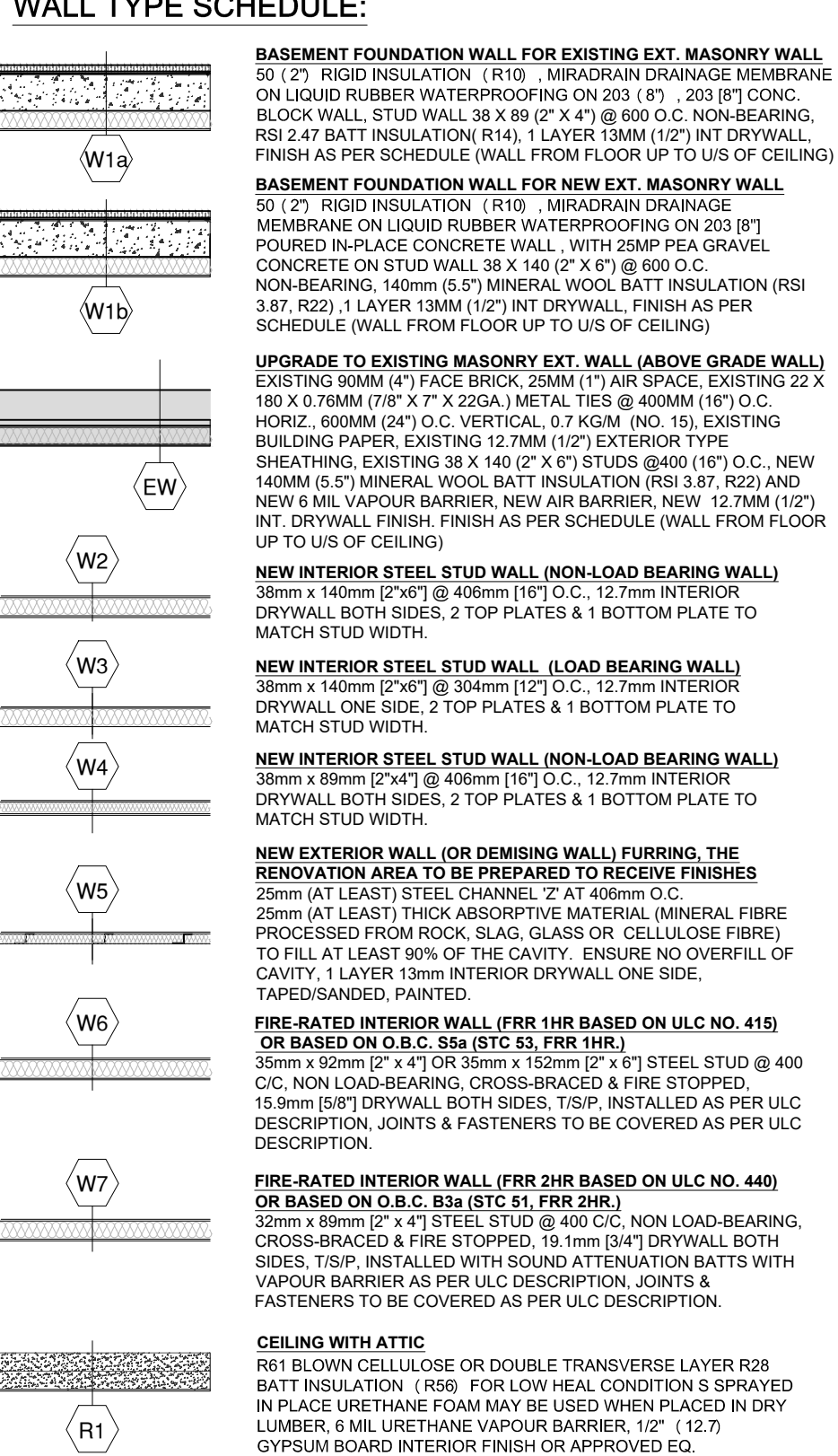
DOOR TYPES:



DOOR NOTES:

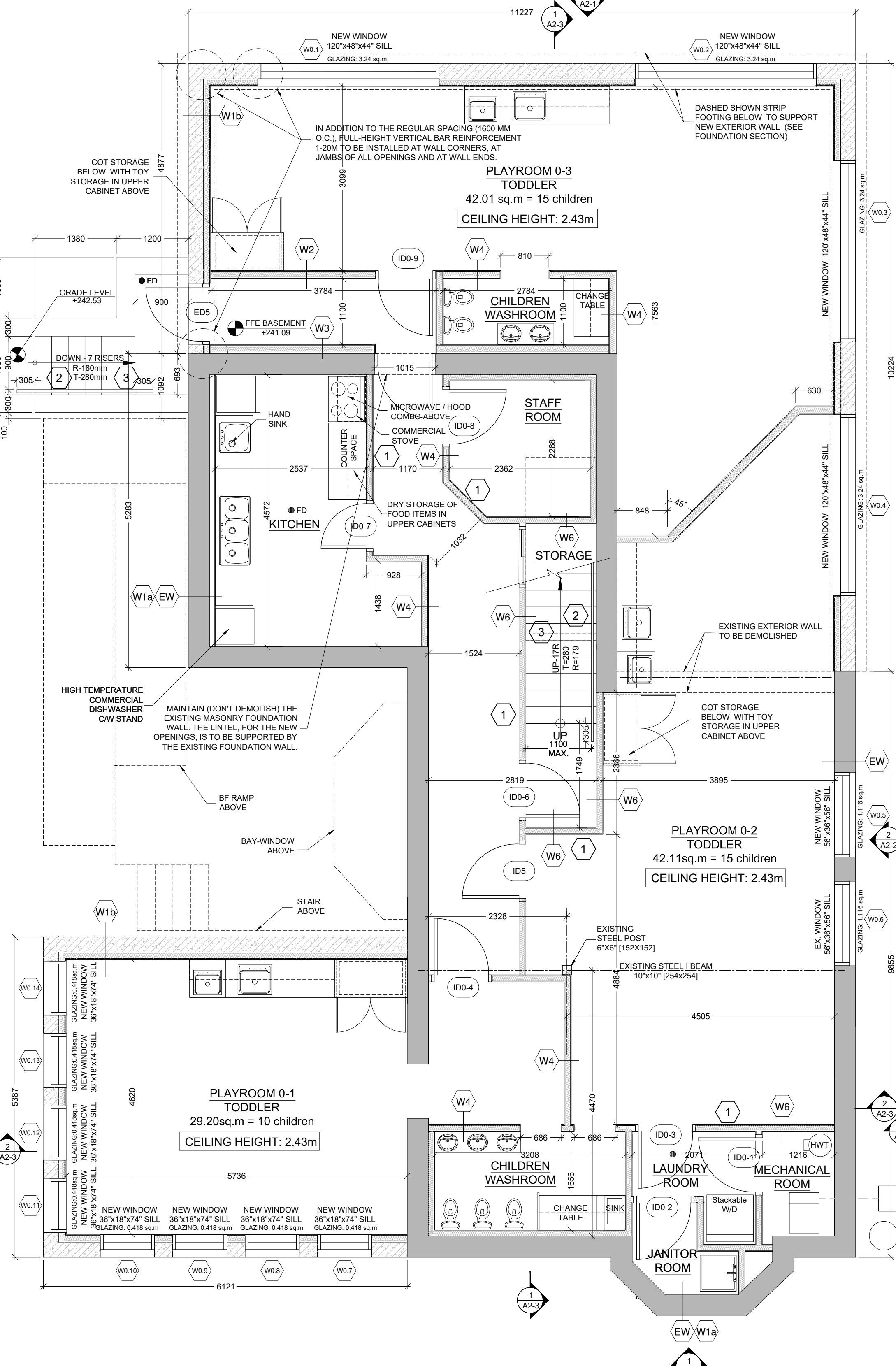
- NEW DOORS TO REPLICATE HEIGHTS, MATERIALS AND FINISHES OF EXISTING
RETAINED DOORS; SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANTS'
REVIEW AND APPROVAL.
- DIMENSIONS OF EXISTING DOORS FOR REPLACEMENT TO BE CONFIRMED
ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANTS' REVIEW
AND APPROVAL.
- DOOR REPLACEMENT TO CONSIST OF DOOR AND FRAME. REPLACEMENT AND
ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD
COMPONENTS.
- SCRAPE, SAND, REPAIR AND RE-PAINT/FINISH EXISTING AND RELOCATED
DOORS AND THEIR COMPONENTS. NEW DOORS & FRAMES TO BE
PAINTED/FINISHED AFTER INSTALLATION AND ADJACENT FINISHES MADE
GOOD.
- CONCEAL AND/OR MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM
REMOVED DOOR EQUIPMENT (I.E. HINGES, ETC.).
- GLAZING, IF ANY, IN ALL NEW DOORS TO BE DOUBLE, INSULATED (I.G.)
SEALED UNITS WITH MIN. 1/4" AIR SPACE. EXISTING WITH NEW
SIMULATED DIVIDERS.
- GLAZING, IF ANY, IN EXISTING EXTERIOR DOORS TO BE KEPT IF CONDITION
ALLOWS IT. DAMAGED GLAZING TO BE REPLACED WITH SIMILAR SINGLE
GLAZING.
- PASSAGE BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING
SHALL BE THROUGH A DOOR OPENING EQUIPPED WITH A SELF-CLOSING
DOOR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES.
SUCH DOOR SHALL NOT OPEN DIRECTLY INTO A ROOM FOR SLEEPING
QUARTERS.
- INTERIOR WASHROOM DOOR SHALL BE EQUIPPED WITH A GRASPABLE
LATCH OPERATING MECHANISM AND WILL NOT HAVE A SELF-CLOSING DEVICE.
THE DOOR SHALL BE LOCKABLE FROM THE INSIDE AND RELEASED FROM THE
OUTSIDE IN CASE OF EMERGENCY.
- THE EXTERIOR DOOR SCHEDULE IS SHOWN ON A2-1 WEST & SOUTH
ELEVATIONS.

WALL TYPE SCHEDULE:

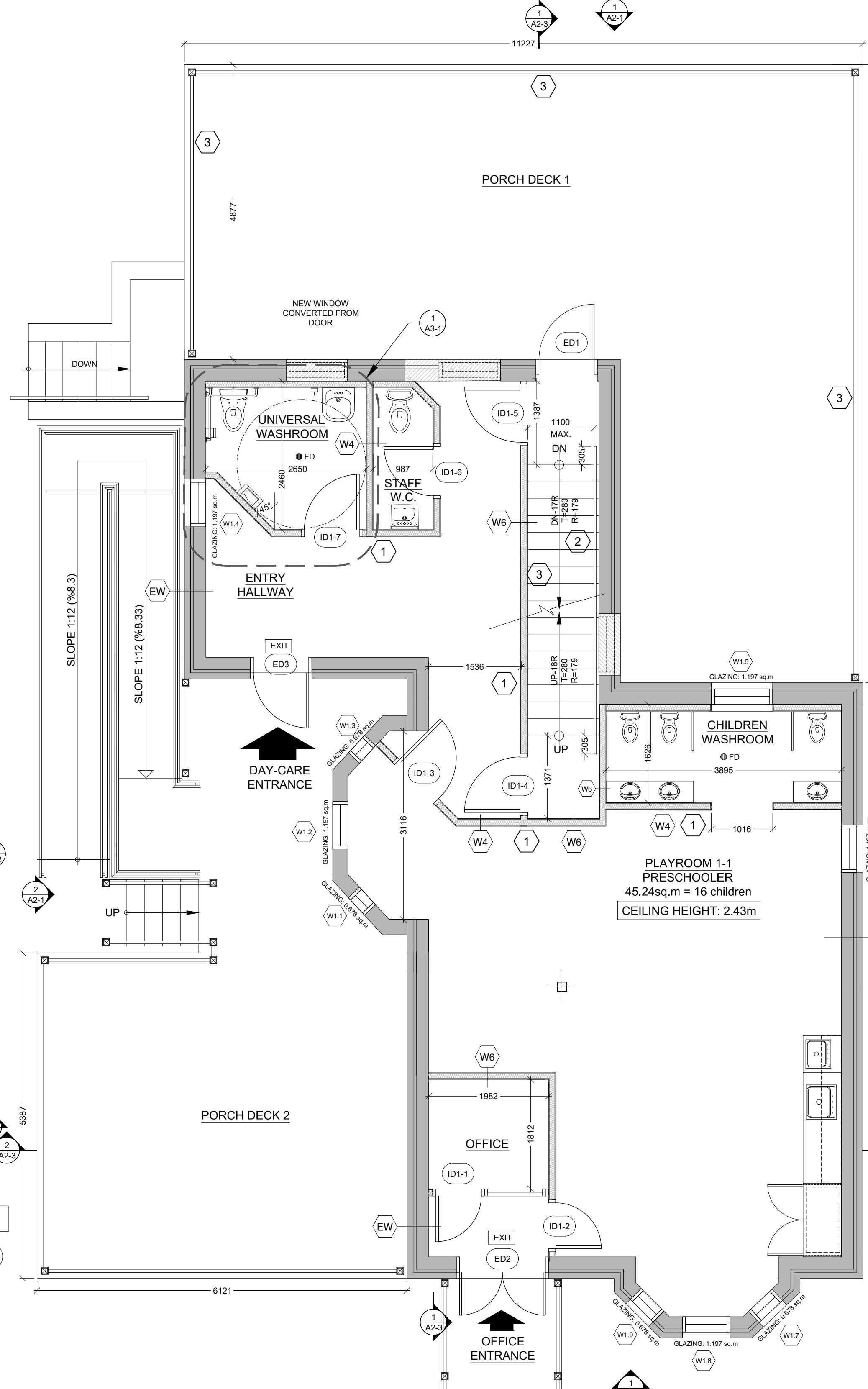


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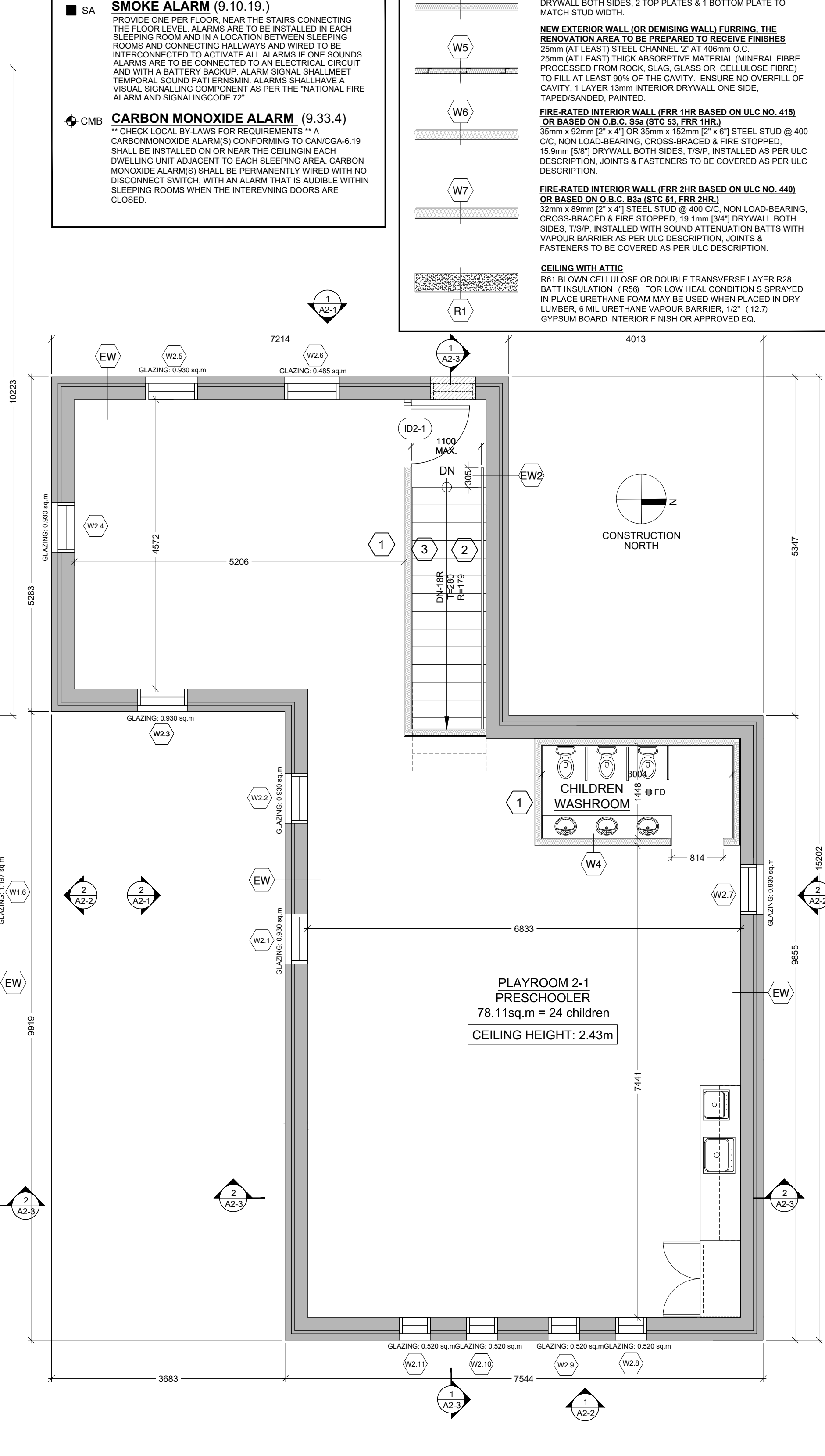
SIGNED _____ DATE _____



1 PROPOSED BASEMENT FLOOR PLAN
A1.2a SCALE 1:50



2 PROPOSED GROUND FLOOR PLAN
A1.2a SCALE 1:50



3 PROPOSED SECOND FLOOR PLAN
A1.2a SCALE 1:50

ISSUED FOR BUILDING PERMIT

2024-05-01	15	ISSUED FOR BUILDING PERMIT	HT
2024-03-11	14	REVISED PER PUBLIC HEALTH COMMENT	AA
2024-03-05	13	RE-ISSUED FOR PRELIMINARY PHASE 1	AA
2024-02-29	12	ISSUED FOR PRELIMINARY PHASE 1	HT
2023-12-20	11	REVISED PER CLIENT COMMENT (2)	HT
2023-10-10	10	UPDATED FOR COORDINATION	HT
2023-09-13	9	ISSUED PER EXAMINER COMMENTS	HT
2023-04-26	8	ISSUED FOR CoA (PRELIMINARY)	HT
2023-04-24	7	REVISED PER CLIENT COMMENT (1)	HT
2023-04-21	6	DAYCARE DESIGN 4	HT
2023-04-04	5	DAYCARE DESIGN 3	HT
2023-03-22	4	DAYCARE DESIGN 2	HT
2023-02-24	3	DAYCARE DESIGN 1	HT
2023-02-03	2	RE-ISSUE TO CLIENT	HT
2022-12-19	1	ISSUE TO CLIENT	HT
DATE	NO.	REVISIONS / ISSUES	BY

AREA
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15 LOLA ROAD
TORONTO, ONTARIO, M5E 1P5
TEL. (416) 696 - 1969
FAX. (416) 696 - 1966

ONTARIO ASSOCIATION
OF ARCHITECTS
David W. Fowler
4507

PROJECT TITLE
LITTLE SAGES ACADEMY
ARMSTRONG HOUSE DAYCARE

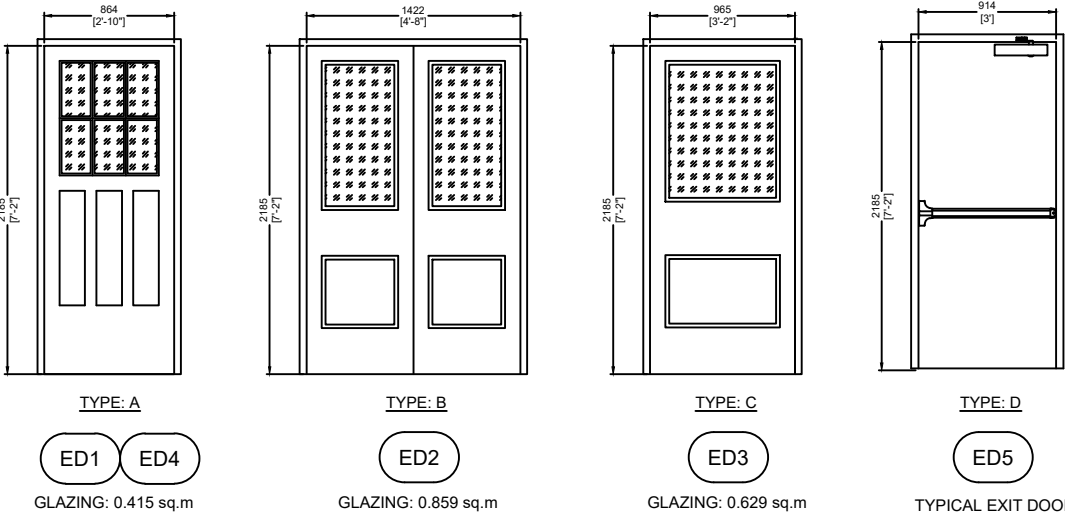
10254 Hurontario Street, Brampton, ON L7A 0E4
DRAWING TITLE
CONSTRUCTION FLOOR PLANS
- PHASE 1

DRAWN BY HT	SCALE
CHECKED BY DE	DATE OCTOBER 6, 2021
SET NO. 1	PROJECT NORTH
TOTAL DWG. NO. 3	DRAWING NO. A1.2a
	PROJECT NO. 12-576

EXTERIOR DOOR SCHEDULE

NO	LOCATION	TYPE	DOOR SIZE width x height	DOOR & FRAME	GLAZING	CONDITION	FIRE RATING	HARDWARE & NOTES
D1	GROUND FLOOR	A	864 x 2185 x 45	WOOD	PAINT	N/A	■	WEATHER STRIPPING, SWEEP, BUTT HINGES EXTERIOR DOOR TO BE REPAIRED & REFINISHED
D2	GROUND FLOOR	B	1422 x 2185 x 45	WOOD	PAINT	N/A	■	WEATHER STRIPPING, SWEEP, BUTT HINGES EXTERIOR DOOR TO BE REPAIRED & REFINISHED
D3	GROUND FLOOR	C	965 x 2185 x 45	WOOD	PAINT	N/A	■	WEATHER STRIPPING, SWEEP, BUTT HINGES EXTERIOR DOOR TO BE REPAIRED & REFINISHED
D4	GROUND FLOOR	A	864 x 2185 x 45	WOOD	PAINT	N/A	■	EXISTING DOOR REMAIN LOCKED IN ORDER TO ACCOMMODATE A NEW STAIR TO BE REPAIRED & REFINISHED IF NEEDED
D5	BASEMENT	D	915 x 2185 x 45	WOOD	HOLLOW METAL	N/A	■	NEW INSULATED DOOR AND FRAME WITH WEATHERSTRIPPING, CLOSER, LOCKSET AND ALUMINUM THRESHOLD

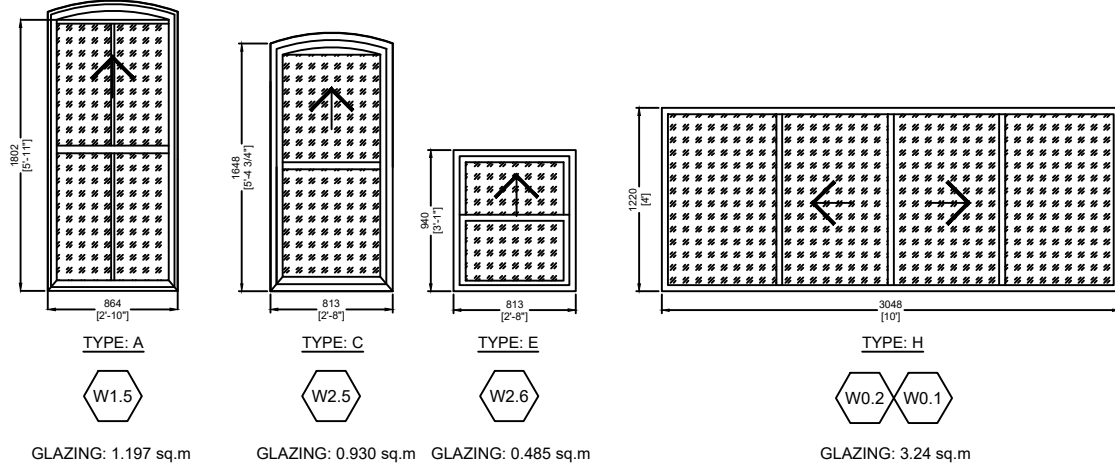
EXTERIOR DOOR TYPE



WINDOW SCHEDULE - WEST ELEVATION

NO	LOCATION	WINDOW SIZE width x height	SILL	MATER	TYPE	GLAZING	CONDITION	NOTES
W0.1	WEST	3048 x 1220	1142	VINYL	SLIDE	LoE x INSULATED	■	REFER TO WINDOW NOTES
W0.2	WEST	3048 x 1220	1142	VINYL	SLIDE	LoE x INSULATED	■	
W1.5	WEST	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	
W2.5	WEST	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	
W2.6	WEST	813 x 940	1095	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	

WINDOW TYPE - WEST ELEVATION

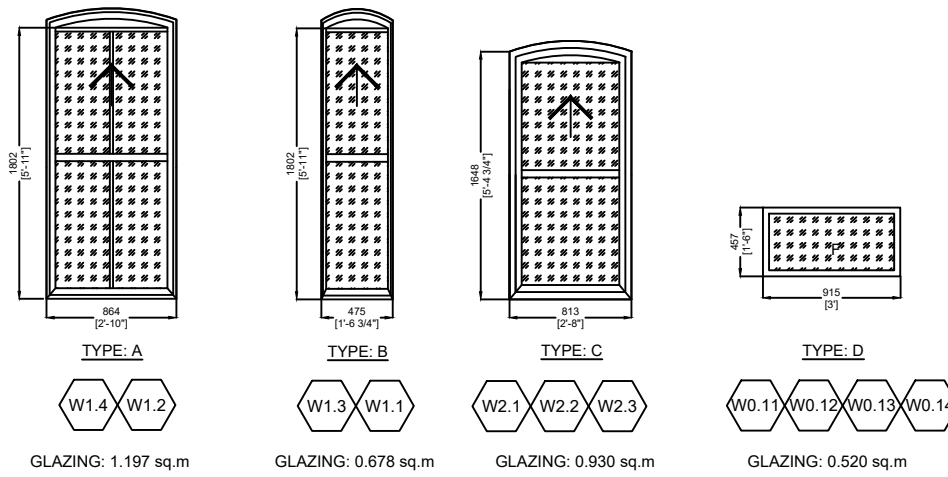


SPATIAL SEPARATION CALCULATIONS:
WEST ELEVATION -
O.B.C. Table 3.2.3.1.B
EXISTING BUILDING FACE (BFL)
LIMITED DISTANCE = 0.90 M
BUILDING FACE AREA = 134.10 SQ M
GLAZING AREA = 11.46 SQ M
TOTAL EXISTING BUILDING FACE = 145.56 SQ M
GLAZING PERCENTAGE = 7.90%
PERMITTED GLAZING PERCENTAGE = 10%
PERMITTED GLAZING AREA = 13.41 SQ M
ACTUAL GLAZING AREA = 11.46 SQ M

WINDOW SCHEDULE - SOUTH ELEVATION

NO	LOCATION	WINDOW SIZE width x height	SILL	MATER	TYPE	GLAZING	CONDITION	NOTES
W0.11	SOUTH	915 x 457	1905	VINYL	FIXED	LoE x INSULATED	■	REFER TO WINDOW NOTES
W0.12	SOUTH	915 x 457	1905	VINYL	FIXED	LoE x INSULATED	■	
W0.13	SOUTH	915 x 457	1905	VINYL	FIXED	LoE x INSULATED	■	
W0.14	SOUTH	915 x 457	1905	VINYL	FIXED	LoE x INSULATED	■	
W1.1	SOUTH	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	
W1.2	SOUTH	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	
W1.3	SOUTH	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	
W1.4	SOUTH	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	
W2.1	SOUTH	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	
W2.2	SOUTH	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	
W2.3	SOUTH	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	LoE x INSULATED	■	

WINDOW TYPE - SOUTH ELEVATION



SPATIAL SEPARATION CALCULATIONS:
SOUTH ELEVATION -
O.B.C. Table 3.2.3.1.B
EXISTING BUILDING FACE (BFL)
LIMITED DISTANCE = 0.90 M
BUILDING FACE AREA = 134.10 SQ M
GLAZING AREA = 11.46 SQ M
TOTAL EXISTING BUILDING FACE = 145.56 SQ M
GLAZING PERCENTAGE = 7.90%
PERMITTED GLAZING PERCENTAGE = 10%
PERMITTED GLAZING AREA = 13.41 SQ M
ACTUAL GLAZING AREA = 11.46 SQ M

WINDOW NOTES:

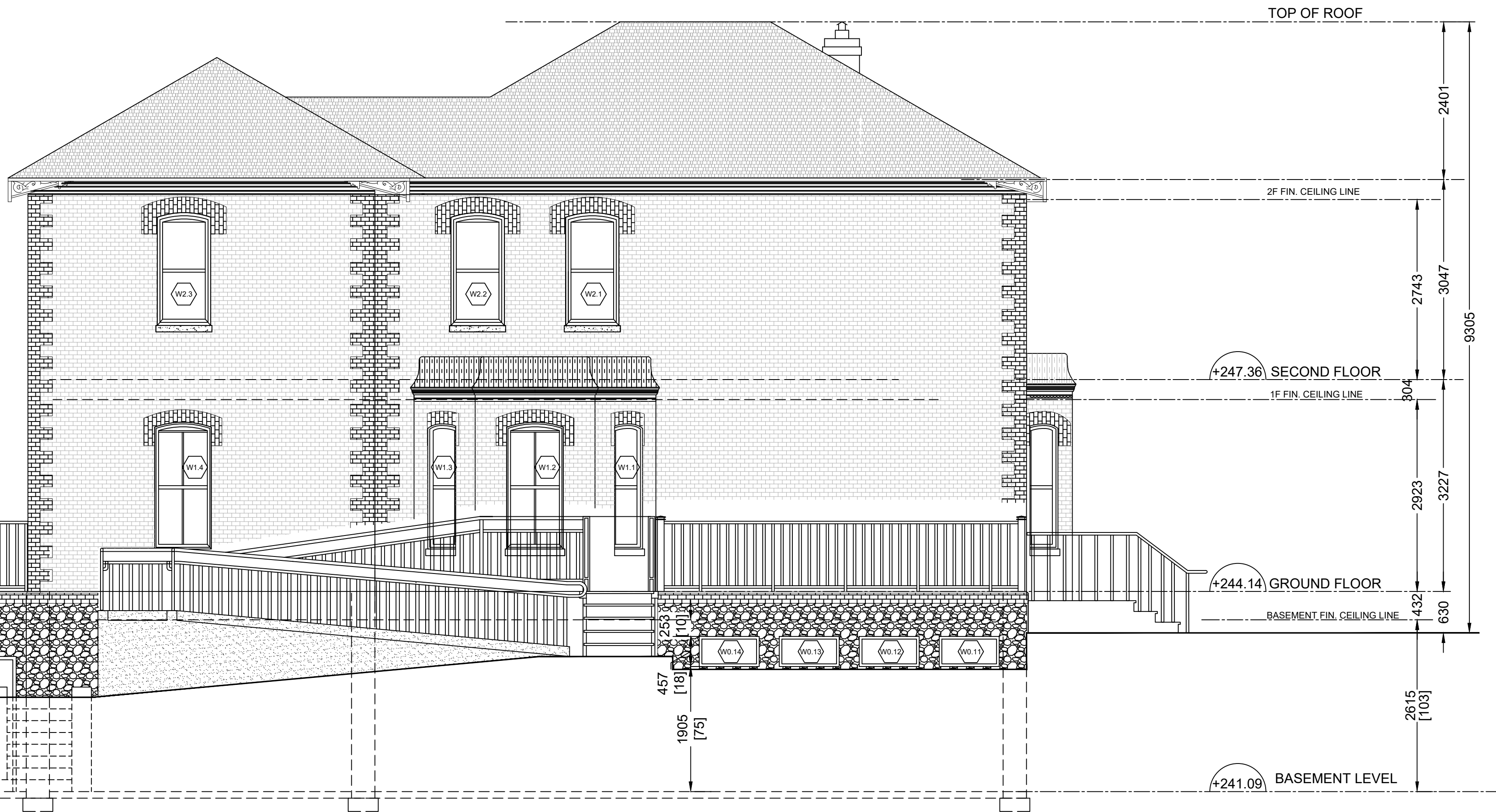
- DIMENSIONS OF EXISTING WINDOW FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- WINDOW REPLACEMENT TO CONSIST OF WINDOW SASH REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- FOR WINDOWS WITH SASH REPLACEMENT, ALL RETAINED WINDOW COMPONENTS (INCLUDING BUT NOT LIMITED TO JAMBS, HEADER, SILL, CASING, BRICK MOLD) EXHIBITING DETRIORATION SHALL BE REPAIRED. PIECE REPLACED (DUTCHMAN) OR FILLED. AREA OF DETRIORATION TO BE REPAIRED. WHERE UNCERTAIN, SHALL BE TO THE DETERMINATION OF THE CONSULTANT. ONLY INTERIOR CASING AND SILL MAY BE RETAINED AS IS.
- IF INTERIOR CASING REMOVED FOR WINDOW INSTALLATION, IT SHALL BE RE-INSTATED TO ITS PREVIOUS STATE.
- REMOVE EXISTING EXTERIOR SILL AND REPLACE WITH NEW TO MATCH EXISTING.
- REPLACE ENTIRE WINDOW INCLUDING ALL COMPONENTS WITH NEW TO MATCH EXISTING. RETAIN ONLY INTERIOR CASING AND SILL.
- SCRAPE, SAND AND RE-PANT EXISTING AND REPAIRED WINDOW COMPONENTS. NEW WINDOWS AND SASHES TO BE PAINTED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD AND PAINTED.
- CONCEAL AND MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED WINDOW EQUIPMENT (i.e. HINGES, ETC.).
- ROUT-OUT EXISTING WINDOW SASH IF REQUIRED.
- EXISTING METAL STORM SCREEN TO BE REMOVED AND DISPOSED. EXISTING WOOD STORM WINDOWSCREEN TO BE REMOVED, NUMBERED AND STORED AS DIRECTED BY THE CONSULTANT. EXISTING WINDOW AC UNITS TO BE REMOVED.
- GLAZING IN ALL NEW WINDOWS TO BE DOUBLE INSULATED (I.G.) SEALED UNITS EXISTING MUNTIN BARS TO BE REPLACED WITH NEW SIMULATED DIVIDERS.
- EXISTING WINDOW IS DOUBLE GLAZED AND IN GOOD CONDITION. NOT TO BE INCLUDED IN THE CONTRACT.
- WHERE EXISTING WINDOW IS RETAINED, REPLACE ALL EXTERIOR WOOD COMPONENTS INCLUDING BOX FRAME, JAMBS, SHIMS, CASING, SILL, ETC. EXISTING WINDOW TO BE REMOVED AND RE-INSTALLED AFTER REPLACEMENT IS COMPLETED.
- WINDOW TO BE COMPLETED WITH A REMOVABLE INSECT SCREEN AT ALL OPERATING SASHES.

DOOR NOTES:

- NEW DOORS TO REPLICATE HEIGHTS, MATERIALS AND FINISHES OF EXISTING RETAINED DOORS. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- DIMENSIONS OF EXISTING DOORS FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- DOOR REPLACEMENT TO CONSIST OF DOOR AND FRAME REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- SCRAPE, SAND, REPAIR AND RE-PAINTRE-FINISH EXISTING AND RELOCATED DOORS AND THEIR COMPONENTS. NEW DOORS & FRAMES TO BE PAINTED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD.
- CONCEAL AND MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED DOOR EQUIPMENT (I.E. HINGES, ETC.).
- GLAZING, IF ANY, IN ALL NEW DOORS TO BE DOUBLE INSULATED (I.G.) SEALED UNITS MUNTIN BARS TO BE REPLACED AS PER EXISTING WITH NEW SIMULATED DIVIDERS.
- GLAZING, IF ANY, IN EXISTING EXTERIOR DOORS TO BE KEPT IF CONDITION ALLOWS IT. DAMAGED GLAZING TO BE REPLACED WITH SHIM-AR SINGLE GLAZING.
- PASSAGE BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING SHALL BE THROUGH A DOOR OPENING EQUIPPED WITH A SELF-CLOSING DOOR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. SUCH DOOR SHALL NOT OPEN DIRECTLY INTO A ROOM FOR SLEEPING QUARTERS.



1 WEST ELEVATION
SCALE 1:50



2 SOUTH ELEVATION
SCALE 1:50

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SIGNED _____ DATE _____

2024-05-01	3	ISSUED FOR BUILDING PERMIT	HT
2023-12-26	2	UPDATED FOR COORDINATION	HT
2023-10-02	1	ISSUE FOR BUILDING PERMIT	HT
DATE	NO	REVISIONS / ISSUES	BY

AREA

ARCHITECTS RASCH ECKLER ASSOCIATES LTD.

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FAX. (416) 696 - 1966



PROJECT TITLE

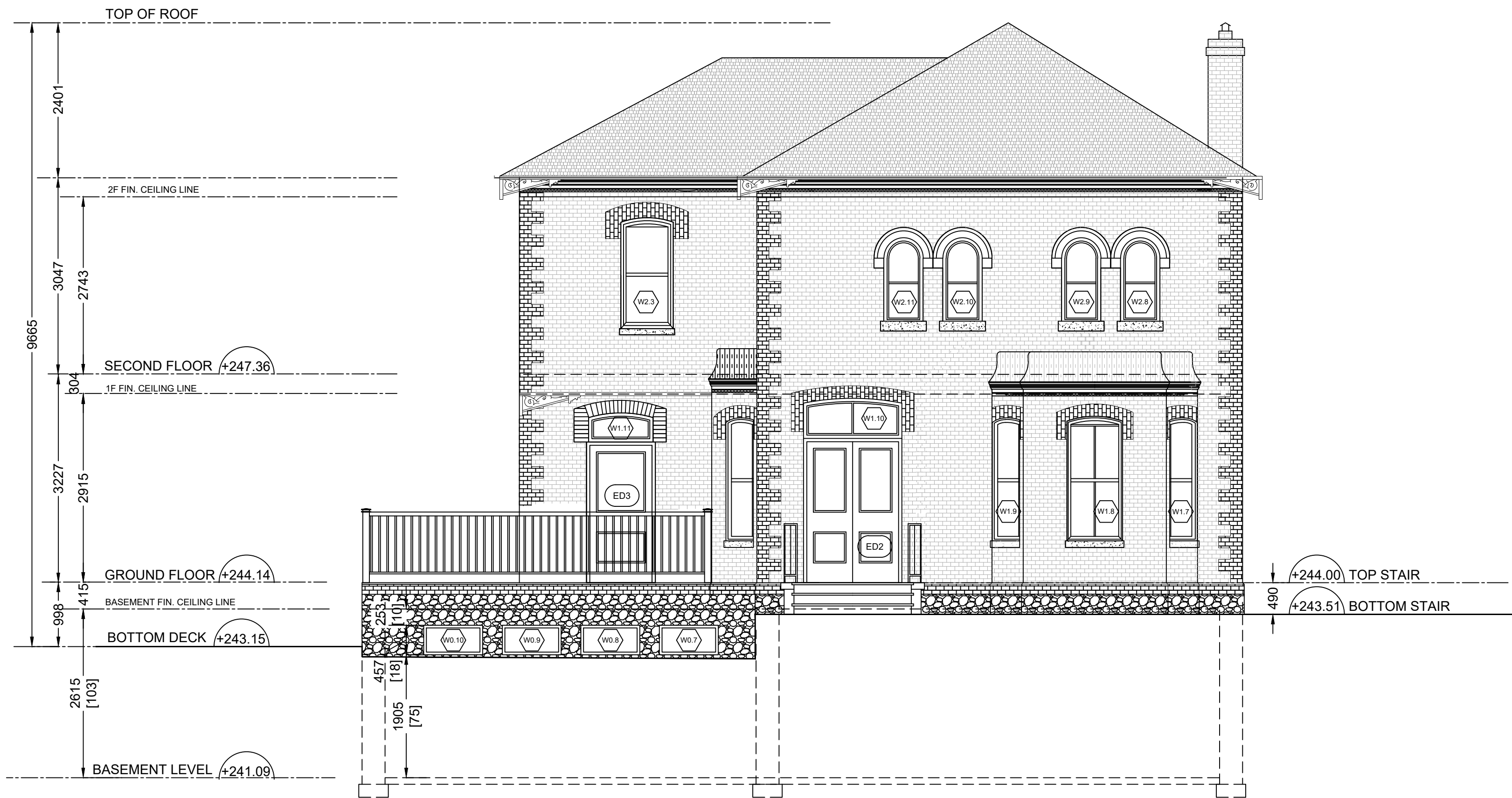
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ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4

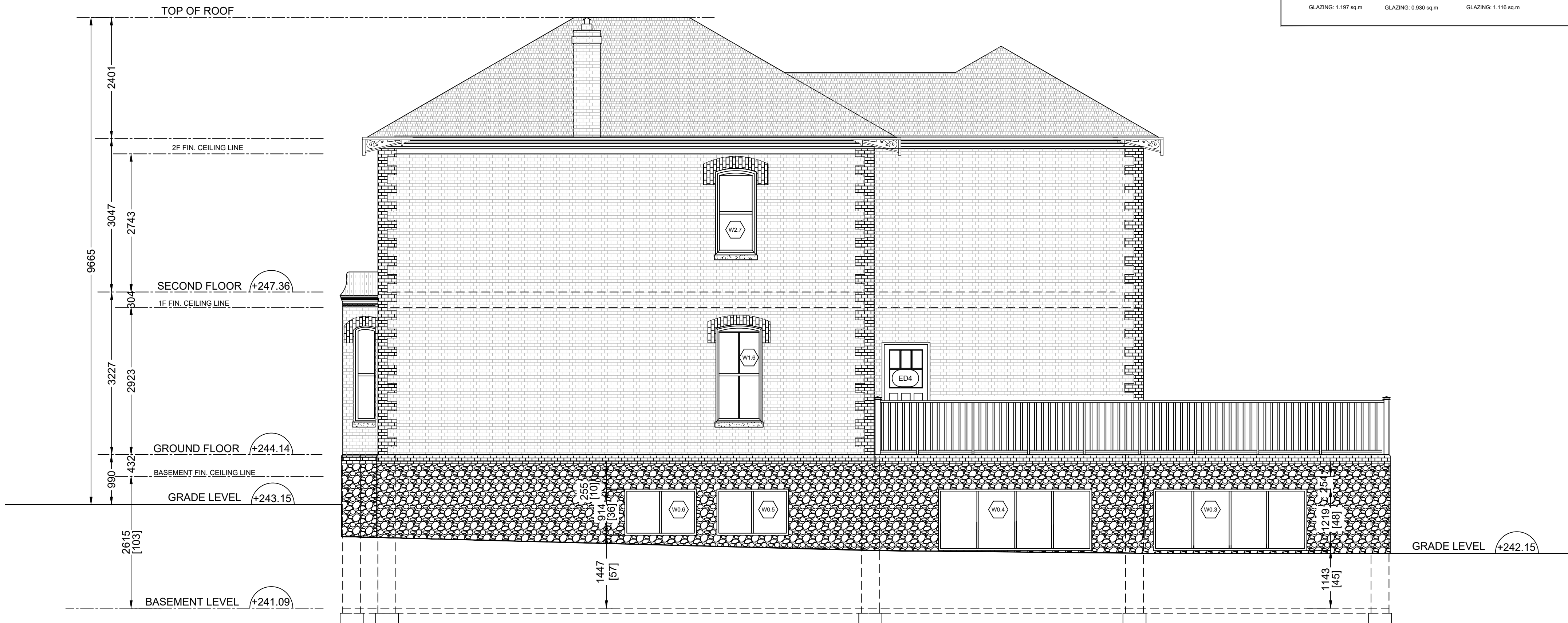
DRAWING TITLE

WEST & SOUTH ELEVATIONS

DRAWN BY HT	SCALE AS NOTED
CHECKED BY DE	DATE NOVEMBER 1, 2017
SET. NO. 1	DRAWING NO. A2-1
TOTAL DWG. NO. 2	PROJECT NO. 15-620



1 EAST ELEVATION
SCALE 1:50

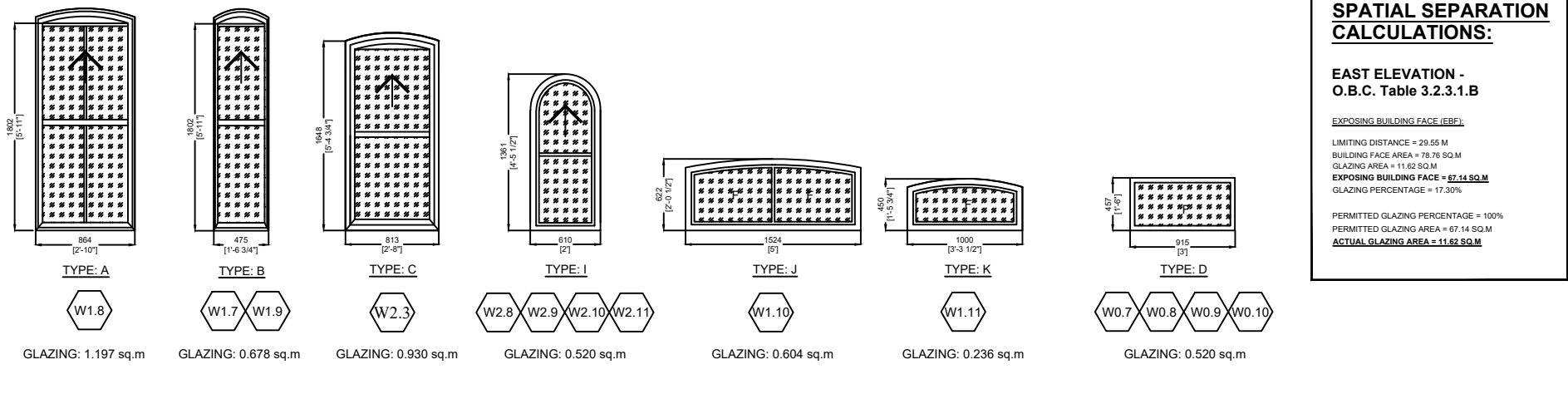


2 NORTH ELEVATION
SCALE 1:50

WINDOW SCHEDULE - EAST ELEVATION

NO	LOCATION		WINDOW SIZE width x height	SILL	MATER	TYPE	GLAZING	CONDITION EXIST. NEW	NOTES REFER TO WINDOW NOTES
	ELEVATION	STOREY							
W0.7	EAST	BASEMENT	915 x 457	1905	VINYL	FIXED	L6E x INSULATED	■	
W0.8	EAST	BASEMENT	915 x 457	1905	VINYL	FIXED	L6E x INSULATED	■	
W0.9	EAST	BASEMENT	915 x 457	1905	VINYL	FIXED	L6E x INSULATED	■	
W0.10	EAST	BASEMENT	915 x 457	1905	VINYL	FIXED	L6E x INSULATED	■	
W1.7	EAST	GROUND FLOOR	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	
W1.8	EAST	GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	
W1.9	EAST	GROUND FLOOR	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	
W1.10	EAST	GROUND FLOOR	425 x 1624	-	WOOD	FIXED	L6E x INSULATED	■	
W1.11	EAST	GROUND FLOOR	450 x 1000	-	WOOD	FIXED	L6E x INSULATED	■	
W2.3	EAST	SECOND FLOOR	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	
W2.8	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	
W2.9	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	
W2.10	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	
W2.11	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	

WINDOW TYPE - EAST ELEVATION



SPATIAL SEPARATION CALCULATIONS:

EAST ELEVATION -
O.B.C. Table 3.2.3.1.B

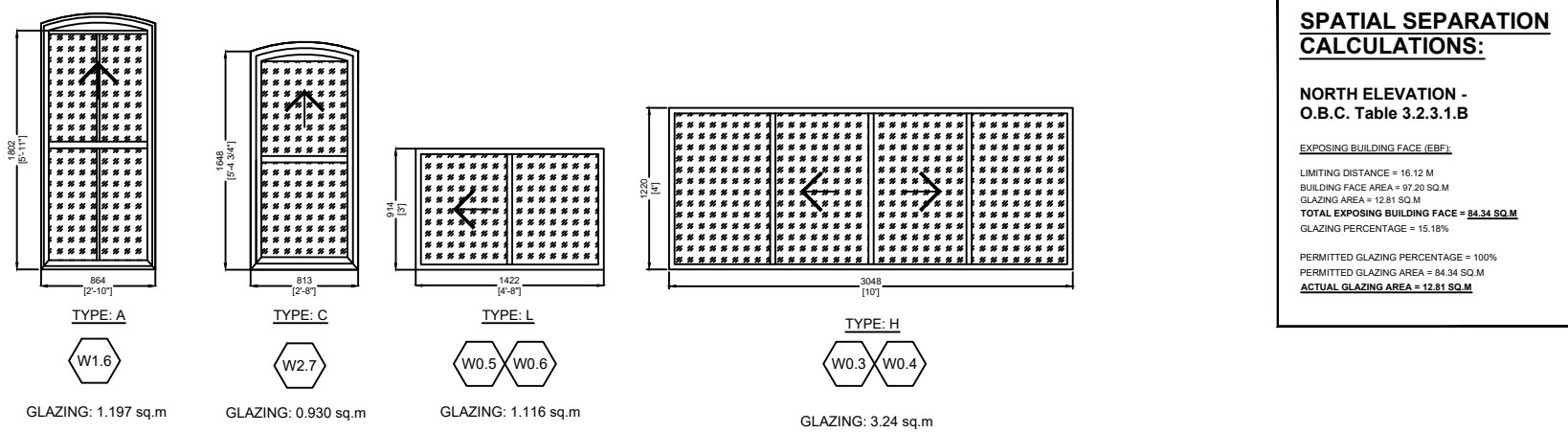
MAXIMUM DISTANCE = 10.0 M
GLAZING AREA = 151.0 SQ M
TOTAL EXISTING GLAZING AREA = 151.0 SQ M
GLAZING PERCENTAGE = 100%

PERMITTED GLAZING PERCENTAGE = 100%
PERMITTED GLAZING AREA = 151.0 SQ M
ACTUAL GLAZING AREA = 151.0 SQ M

WINDOW SCHEDULE - NORTH ELEVATION

NO	LOCATION		WINDOW SIZE width x height	SILL	MATER	TYPE	GLAZING	CONDITION EXIST. NEW	NOTES REFER TO WINDOW NOTES
	ELEVATION	STOREY							
W0.3	NORTH	BASEMENT	3048 x 1220	1142	VINYL	SLIDE	L6E x INSULATED	■	
W0.4	NORTH	BASEMENT	3048 x 1220	1142	VINYL	SLIDE	L6E x INSULATED	■	
W0.5	NORTH	BASEMENT	915 x 1422	1447	VINYL	FIXED	L6E x INSULATED	■	
W0.6	NORTH	BASEMENT	915 x 1422	1447	VINYL	FIXED	L6E x INSULATED	■	
W1.6	NORTH	GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	
W2.7	NORTH	SECOND FLOOR	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UNIT	L6E x INSULATED	■	

WINDOW TYPE - NORTH ELEVATION



SPATIAL SEPARATION CALCULATIONS:

NORTH ELEVATION -
O.B.C. Table 3.2.3.1.B

MAXIMUM DISTANCE = 10.0 M
GLAZING AREA = 151.0 SQ M
TOTAL EXISTING GLAZING AREA = 151.0 SQ M
GLAZING PERCENTAGE = 100%

PERMITTED GLAZING PERCENTAGE = 100%
PERMITTED GLAZING AREA = 151.0 SQ M
ACTUAL GLAZING AREA = 151.0 SQ M

WINDOW NOTES:

- DIMENSIONS OF EXISTING WINDOW FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANTS REVIEW AND APPROVAL.
- WINDOW REPLACEMENT TO CONSIST OF WINDOW SASH REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- FOR WINDOWS WITH SASH REPLACEMENT, ALL RETAINED WINDOW COMPONENTS (INCLUDING BUT NOT LIMITED TO JAMES, HEADERS, SILL CASING, BRICK MOLD EXHIBITING DETERIORATION, SHALL BE REPAIRED. PRICES REPAIRED DETERIORATION OR FILLED AREA OF DETERIORATION TO BE REPAIRED, WHERE UNCERTAIN, SHALL BE TO THE DETERMINATION OF THE CONSULTANT. ONLY INTERIOR CASING AND SILL MAY BE RETAINED AS IS.
- IF INTERIOR CASING REMOVED FOR WINDOW INSTALLATION, IT SHALL BE RE-INSTALLED TO ITS PREVIOUS STATE.
- REMOVE EXISTING EXTERIOR SILL AND REPLACE WITH NEW TO MATCH EXISTING.
- REPLACE ENTIRE WINDOW INCLUDING ALL COMPONENTS WITH NEW TO MATCH EXISTING. RETAIN ONLY INTERIOR CASING AND SILL.
- SCRAPE, SAND AND RE-PAIN EXISTING AND REPAIRED WINDOW COMPONENTS, NEW WINDOWS AND SASHES TO BE PAINTED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD AND PAINTED.
- CONCEAL AND MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED WINDOW EQUIPMENT (e.g. HINGES, ETC.).
- RE-INSTALL EXISTING WINDOW SASH IF REQUIRED.
- EXISTING METAL STORM SCREEN TO BE REMOVED AND DISPOSED. EXISTING WOOD STORM WINDOW/SCREEN TO BE REMOVED, NUMBERED AND STORED AS DIRECTED BY THE CONSULTANT. EXISTING WINDOW A/C UNITS TO BE REMOVED.
- GLAZING IN ALL NEW WINDOWS TO BE DOUBLE INSULATED (G) / SEALED UNITS EXISTING MUNTIN BARS TO BE REPLACED WITH NEW SIMILAR DIVIDERS.
- EXISTING WINDOW IS DOUBLE GLAZED AND IN GOOD CONDITION. NOT TO BE INCLUDED IN THE CONTRACT.
- WHERE EXISTING WINDOW IS RETAINED, REPLACE ALL EXTERIOR WOOD COMPONENTS INCLUDING BOX FRAME, JAMES, SHIMS, CASING, SILL ETC. EXISTING WINDOW TO BE REMOVED AND RE-INSTALLED AFTER REPLACEMENT IS COMPLETED.
- WINDOW TO BE COMPLETED WITH A REMOVABLE INSECT SCREEN AT ALL OPERATING SASHES.

DOOR NOTES:

- NEW DOORS TO REPLICATE HEIGHTS, MATERIALS AND FINISHES OF EXISTING RETAINED DOORS. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANTS REVIEW AND APPROVAL.
- DIMENSIONS OF EXISTING DOORS FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANTS REVIEW AND APPROVAL.
- DOOR REPLACEMENT TO CONSIST OF DOOR AND FRAME REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- SCRAPE, SAND, REPAIR AND RE-PAIN THE FINISH EXISTING AND RETAINED DOORS AND THEIR COMPONENTS. NEW DOORS & FRAMES TO BE PAINTED/FINISHED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD.
- CONCEAL AND/OR MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED DOOR EQUIPMENT (i.e. HINGES, ETC.).
- GLAZING, IF ANY, IN ALL NEW DOORS TO BE DOUBLE INSULATED (G) / SEALED UNITS MUNTIN BARS TO BE REPLACED AS PER EXISTING WITH NEW SIMILAR DIVIDERS.
- GLAZING, IF ANY, IN EXISTING EXTERIOR DOORS TO BE KEPT IF CONDITION ALLOWS IT. DAMAGED GLAZING TO BE REPLACED WITH SIMILAR SINGLE GLAZING.
- PASSAGE BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING SHALL BE THROUGH A DOOR OPENING EQUIPPED WITH A SELF-CLOSING DOOR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. SUCH DOOR SHALL NOT OPEN DIRECTLY INTO A ROOM FOR SLEEPING QUARTERS.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.

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SIGNED _____ DATE _____

2024-05-01	3	ISSUED FOR BUILDING PERMIT	HT
2023-12-26	2	UPDATED FOR COORDINATION	HT
2023-10-02	1	ISSUE FOR BUILDING PERMIT	HT
DATE	NO.	REVISIONS / ISSUES	BY

AREA

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15 LOLA ROAD
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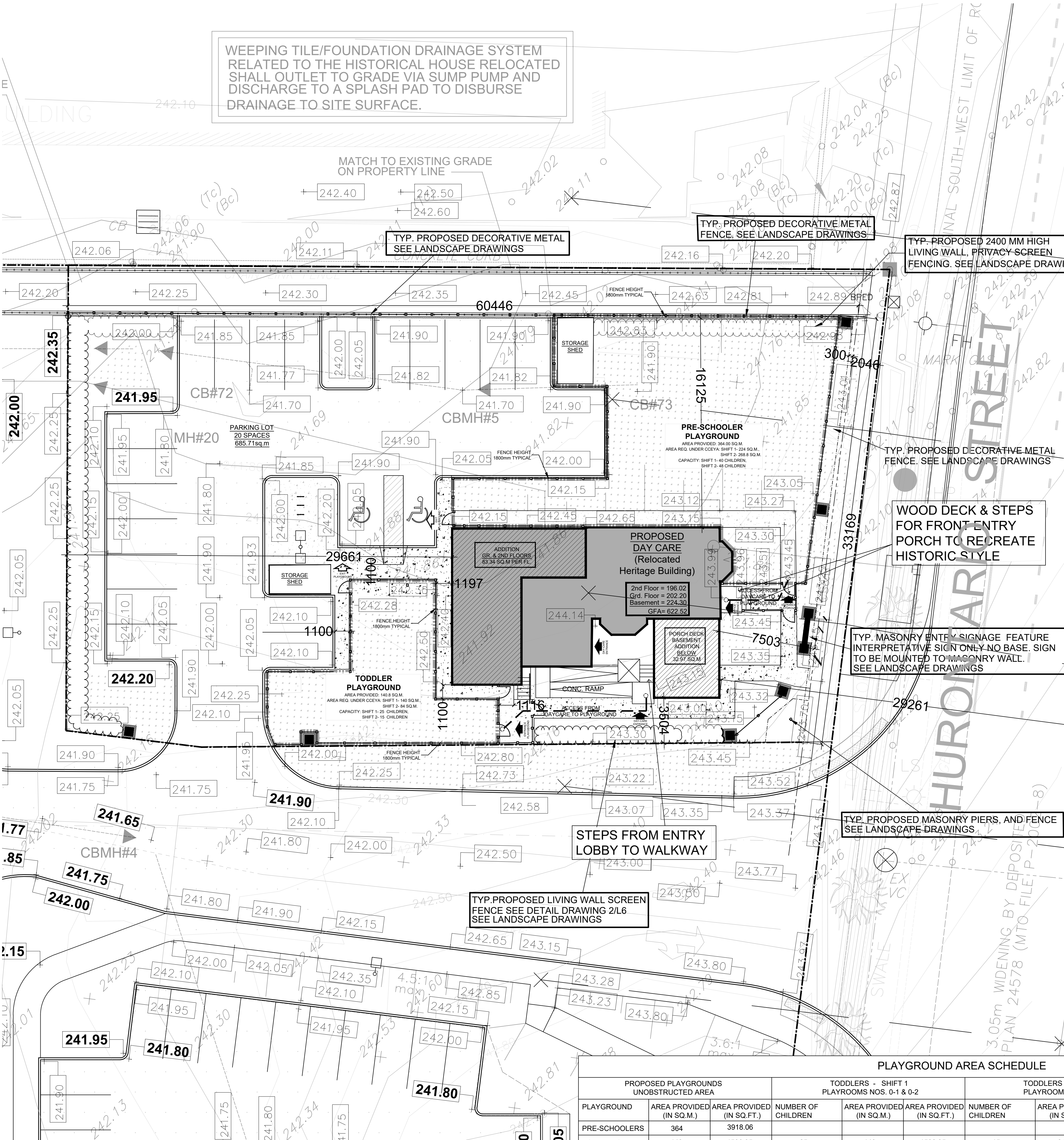


PROJECT TITLE
LITTLE SAGES ACADEMY
ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4
DRAWING TITLE

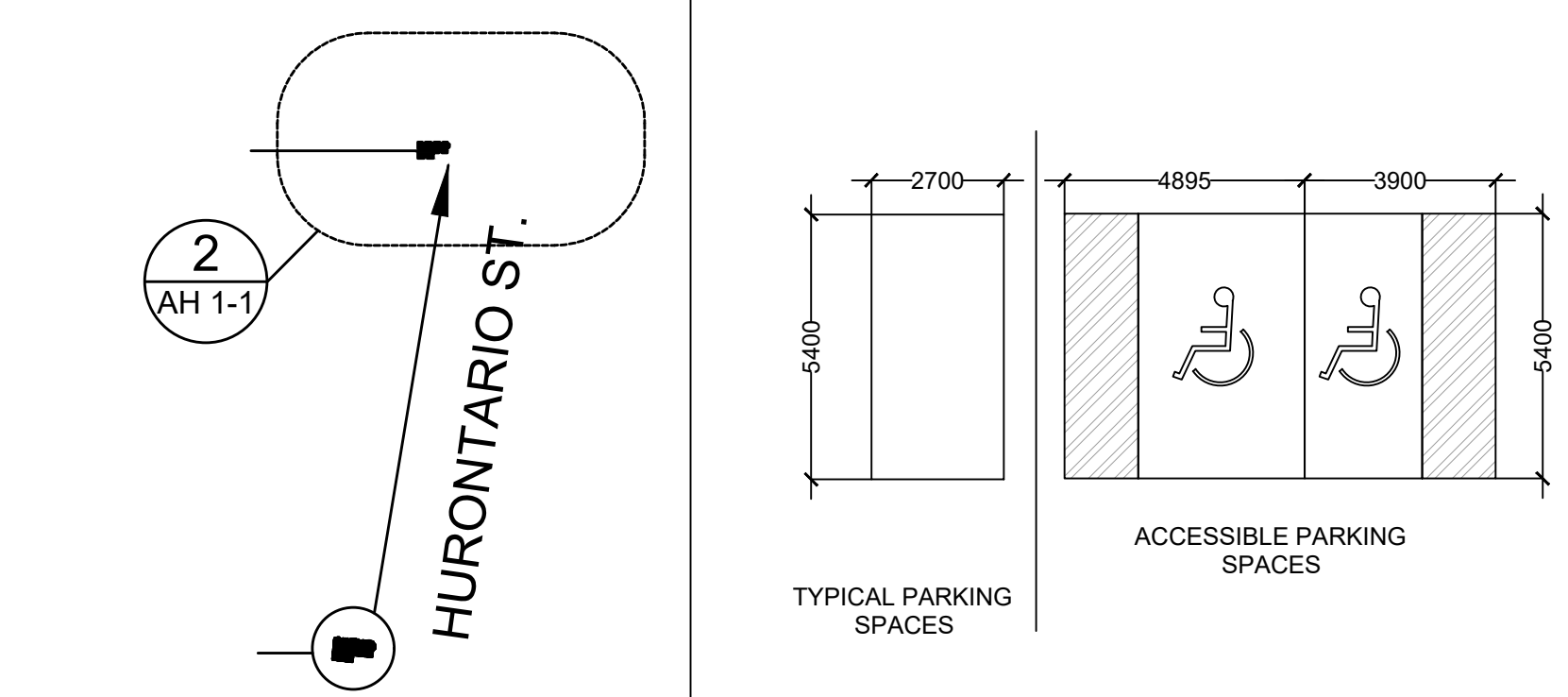
EAST & NORTH ELEVATIONS

DRAWN BY HT	SCALE AS NOTED
CHECKED BY DE	DATE NOVEMBER 1, 2017
SET. NO. 1	DRAWING NO. A2-2
TOTAL DWG. NO. 2	PROJECT NO. 15-620

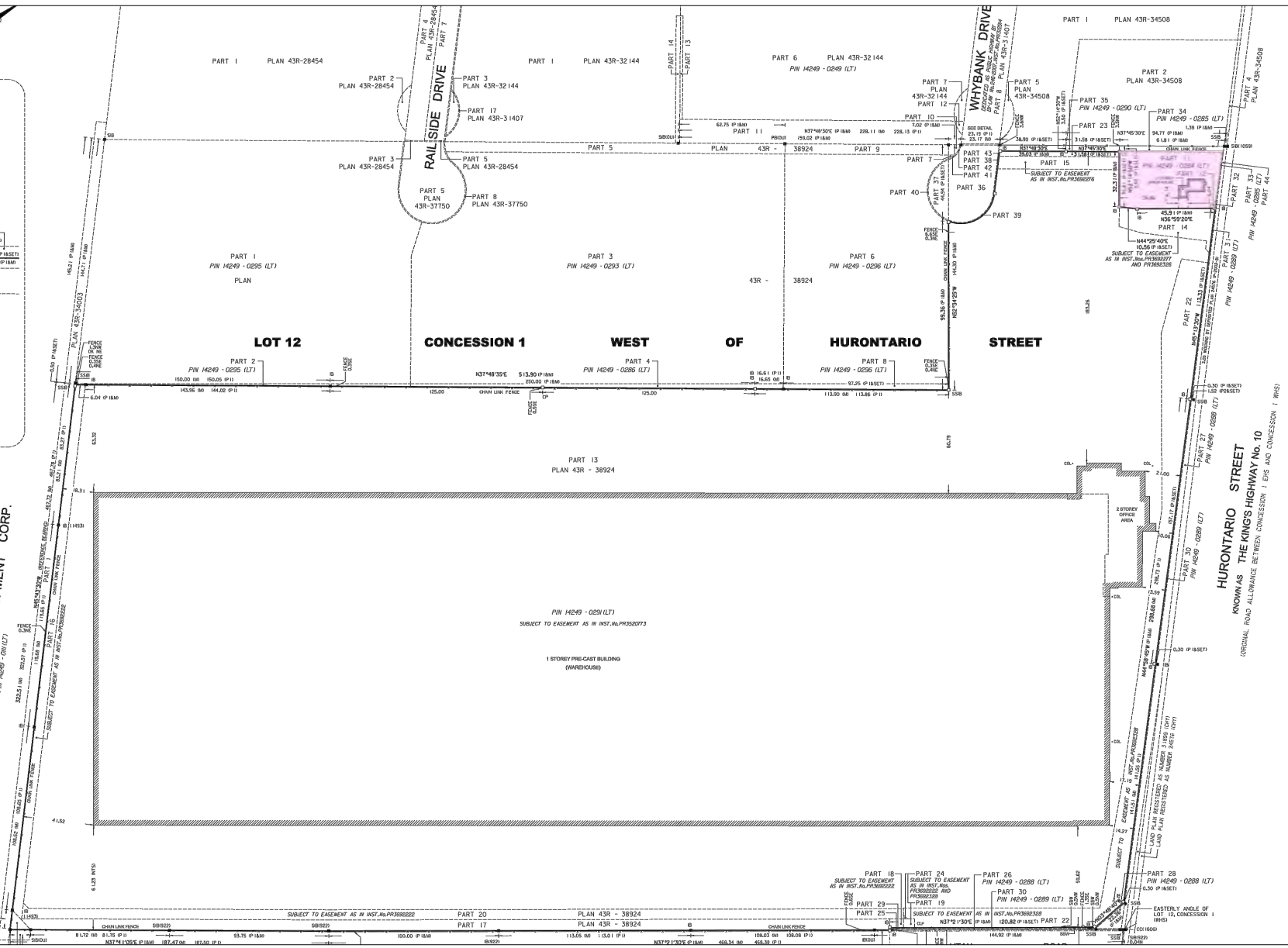


1 SITE PLAN-NEW LOCATION
A0.2a SCALE 1:100

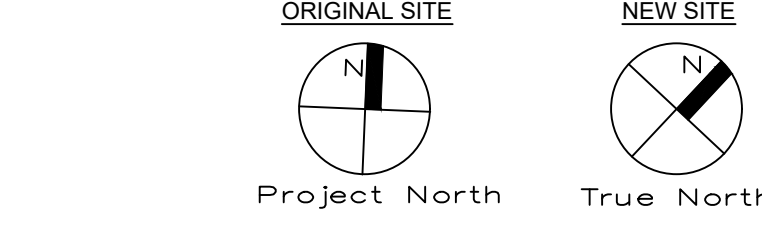
SITE STATISTICS AND ZONING REQUIREMENTS	
PROPOSED USE:	
ZONING:	
LOT AREA	1,938 sq.m. (20,861 s.f.)
LOT FRONTAGE	33.2 m
LOT DEPTH	60.4 m
PROPOSED BUILDING GROSS FLOOR AREA (EST)	622.52 sq.m. (6,700.75 s.f.)
LOT COVERAGE	10.43 % (202.20 sq.m.)
LANDSCAPED OPEN SPACE	63.27 % (1510.95 sq.m.)
LANDSCAPED OPEN SPACE IN FRONT YARD & EXTERIOR SIDE YARD	91.59 % (224.85 sq.m.)
BUILDING HEIGHT (EST)	9.41 m
MINIMUM PARKING SPACES REQUIRED FOR DAY CARE	19 STAFF = 9 PARKING SPACES 128 CHILDREN = 7 PARKING SPACES
PARKING SPACES PROVIDED	REGULAR PARKING (2.7M X 5.4M) = 15 ACCESSIBLE PARKING (3.9M X 5.4M) = 2 TOTAL SPACES PROVIDED: 20
MINIMUM DRIVEWAY WIDTH	6.6m
LOADING SPACES PROVIDED	N/A



NOTE OF SURVEY:
INFORMATION FOR THIS SITE PLAN DRAWING WAS TAKEN FROM SURVEY PLAN PREPARED BY NANFARA & NG SURVEYORS INC. COMPLETED OCTOBER 19, 2021



PLAYGROUND AREA SCHEDULE														
PROPOSED PLAYGROUNDS UNOBSTRUCTED AREA			TODDLERS - SHIFT 1 PLAYROOMS NOS. 0-1 & 0-2			TODDLERS - SHIFT 2 PLAYROOMS NOS. 0-3			PRE-SCHOOLERS - SHIFT 1 PLAYROOMS NOS. 1-1 & 2-1			PRE-SCHOOLERS - SHIFT 1 PLAYROOMS NOS. 2-1 & 2-2		
PLAYGROUND	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)	NUMBER OF CHILDREN	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)	NUMBER OF CHILDREN	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)	NUMBER OF CHILDREN	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)	NUMBER OF CHILDREN	AREA PROVIDED (IN SQ.M.)	AREA PROVIDED (IN SQ.FT.)
PRE-SCHOOLERS	364	3918.06	25	140	1506.95	15	84	904.17	40	224	2411.11	48	268.8	2893.34
TODDLERS	140	1506.95	25	140	1506.95	15	84	904.17	40	224	2411.11	48	268.8	2893.34
TOTAL	504	5425.01	25	140	1506.95	15	84	904.17	40	224	2411.11	48	268.8	2893.34



LEGEND

- PROPERTY LINE
- RESERVE & EASEMENT LINES
- NEW CONCRETE CURBS c/w SAW CUTS AND EXPANSION JOINTS
- RAISED ISLAND c/w CONCRETE PAVING AND CONCRETE CURBS
- PAINTED MEDIAN STRIPS/ISLANDS
- NEW CONCRETE SIDEWALK MONOLITHIC
- LANDSCAPE AREA
- SOD AREA
- PAINTED TRAFFIC LINES (REFER TO SITE DETAILS)
- PROPOSED BUILDING ENTRY
- PROPOSED BUILDING EXIT
- FIRE HYDRANT
- BICYCLE ROCK

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SIGNED _____ DATE _____

2024-08-21	22	ISSUED FOR CLIENT COMMENT	HT
2024-04-02	21	ISSUED FOR CLIENT COMMENT	HT
2024-03-14	20	ISSUED FOR PRELIMINARY REVIEW	AA
2023-11-28	19	REVISED PER CLIENT COMMENTS	HT
2023-08-22	18	REVISED PER MINISTRY COMMENTS	HT
2023-04-26	17	ISSUED FOR CoA (PRELIMINARY)	HT
2023-04-26	16	RE-ISSUED TO CLIENT	HT
2023-04-24	15	ISSUED TO CLIENT	HT
2023-03-21	14	ISSUED FOR COA	HT
2019-03-05	13	RE-ISSUED FOR SPA (9)	PL
2019-01-22	12	RE-ISSUED FOR SPA (8)	PL
2019-01-17	11	RE-ISSUED FOR SPA (7)	PL
2019-01-14	10	RE-ISSUED FOR SPA (6)	PL
2019-01-10	09	RE-ISSUED FOR SPA (5)	PL
2018-10-04	08	RE-ISSUED FOR SPA (4)	RJ
2018-09-27	07	RE-ISSUED FOR SPA (3)	RJ
2018-07-09	06	RE-ISSUED FOR SPA (2)	HT
2018-06-28	05	RE-ISSUED FOR SPA (1)	HT
2018-06-15	04	ISSUED FOR FOUNDATION PERMIT	HT
2018-06-13	03	ISSUED TO CONSULTANTS	HT
2018-05-15	02	ISSUED TO CLIENT/SPA	AZ
2018-05-03	01	ISSUED TO CLIENT	AZ
DATE	NO.	REVISIONS / ISSUES	BY

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FAX. (416) 696-1966



PROJECT TITLE
LITTLE SAGES ACADEMY
ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4

DRAWING TITLE
SITE PLAN OF RELOCATED
HERITAGE BUILDING - PHASE 2

DRAWN BY HR	SCALE AS NOTED
CHECKED BY DE	DATE APRIL 27 2018
SET. NO. 1	DRAWING NO. A0-2b
TOTAL DWG. NO. 2	PROJECT NO. 15-620

ISSUED FOR BUILDING PERMIT

GROSS FLOOR AREA - PHASE 1:

EXISTING BUILDING GFA = 346.66 SQ.M. (100%)
 BASEMENT: 115.12 SQ.M.
 GROUND FLOOR: 118.86 SQ.M.
 SECOND FLOOR: 112.68 SQ.M.

New Addition Basement: 109.18 SQ.M
As-Existing Basement: 115.12 SQ.M
BASEMENT TOTALS: 224.30 SQ.M

PROPOSED BUILDING GFA = 455.84 SQ.M. (100%)
 BASEMENT: 224.30 SQ.M.
 GROUND FLOOR: 118.86 SQ.M.
 SECOND FLOOR: 112.68 SQ.M.

GROSS FLOOR AREA - PHASE 2:

EXISTING BUILDING GFA = 455.84 SQ.M. (100%)
 BASEMENT: 224.30 SQ.M.
 GROUND FLOOR: 118.86 SQ.M.
 SECOND FLOOR: 112.68 SQ.M.

NEW ADDITION AREAS = 166.68 SQ.M. (100%)
 BASEMENT: 000.00 SQ.M.
 GROUND FLOOR: 83.34 SQ.M.
 SECOND FLOOR: 83.34 SQ.M.

PROPOSED BUILDING GFA = 622.52 SQ.M. (100%)
 BASEMENT: 224.30 SQ.M.
 GROUND FLOOR: 202.20 SQ.M.
 SECOND FLOOR: 196.02 SQ.M.

UNOBSTRUCTED PLAY AREA FOR CHILDREN:

SECOND FLOOR:
 PLAYROOM 2-1 PRESCHOOLER: 68.70 SQ.M = 24 CHILDREN
 PLAYROOM 2-2 PRESCHOOLER: 67.30 SQ.M = 24 CHILDREN

GROUND FLOOR:
 PLAYROOM 1-1 PRESCHOOLER: 44.88 SQ.M = 16 CHILDREN
 PLAYROOM 1-2 PRESCHOOLER: 67.24 SQ.M = 24 CHILDREN

BASEMENT:
 PLAYROOM 0-1 TODDLER: 29.20 SQ.M = 10 CHILDREN
 PLAYROOM 0-2 TODDLER: 42.11 SQ.M = 15 CHILDREN
 PLAYROOM 0-3 TODDLER: 42.01 SQ.M = 15 CHILDREN

UNOBSTRUCTED PLAY AREA TOTALS: 361.44 SQ.M = 128 CHILDRENS

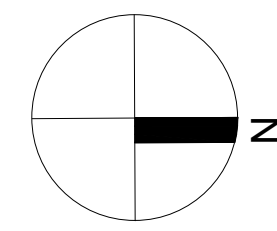
OCCUPANCY FOR STAFF & CHILDREN:

SECOND FLOOR:
 PRESCHOOLER (2-1) 24
 STAFF (2-1) 3
 PRESCHOOLER (2-2) 24
 STAFF (2-2) 3

GROUND FLOOR:
 PRESCHOOLER (1-1): 16
 STAFF (1-1) 2
 TODDLER (0-2): 24
 STAFF (1-2): 3

BASEMENT:
 TODDLER (0-1): 10
 STAFF (0-1) 2
 TODDLER (0-2): 15
 STAFF (0-2): 3
 TODDLER (0-3): 15
 STAFF (0-3): 3

TOTALS CHILDREN: 128
TOTAL STAFF: 19
CHILD TOILETS 17



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SIGNED _____ DATE _____

2024-08-20	18	REVISED PER CLIENT COMMENT (5)	HT
2024-08-14	17	REVISED PER CLIENT COMMENT (4)	HT
2024-04-25	16	REVISED PER CLIENT COMMENT (3)	HT
2024-04-05	15	ISSUED FOR PERLIMINARY PHASE 2	AA
2024-03-11	14	REVISED PER PUBLIC HEALTH COMMENT	AA
2024-03-05	13	ISSUED FOR PERLIMINARY PHASE 2	AA
2024-02-29	12	ISSUED FOR PERLIMINARY PHASE 2	HT
2023-12-20	11	REVISED PER CLIENT COMMENT (2)	HT
2023-10-10	10	UPDATED FOR COORDINATION	HT
2023-09-13	9	ISSUED PER EXAMINER COMMENTS	HT
2023-04-26	8	ISSUED FOR CoA (PRELIMINARY)	HT
2023-04-24	7	REVISED PER CLIENT COMMENT (1)	HT
2023-04-21	6	DAYCARE DESIGN 4	HT
2023-04-04	5	DAYCARE DESIGN 3	HT
2023-03-22	4	DAYCARE DESIGN 2	HT
2023-02-24	3	DAYCARE DESIGN 1	HT
2023-02-03	2	RE-ISSUE TO CLIENT	HT
2022-12-19	1	ISSUE TO CLIENT	HT
DATE	NO.	REVISIONS / ISSUES	BY

AREA

ARCHITECTS RASH ECKLER ASSOCIATES LTD.

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 TORONTO, ONTARIO, M5E 1P5
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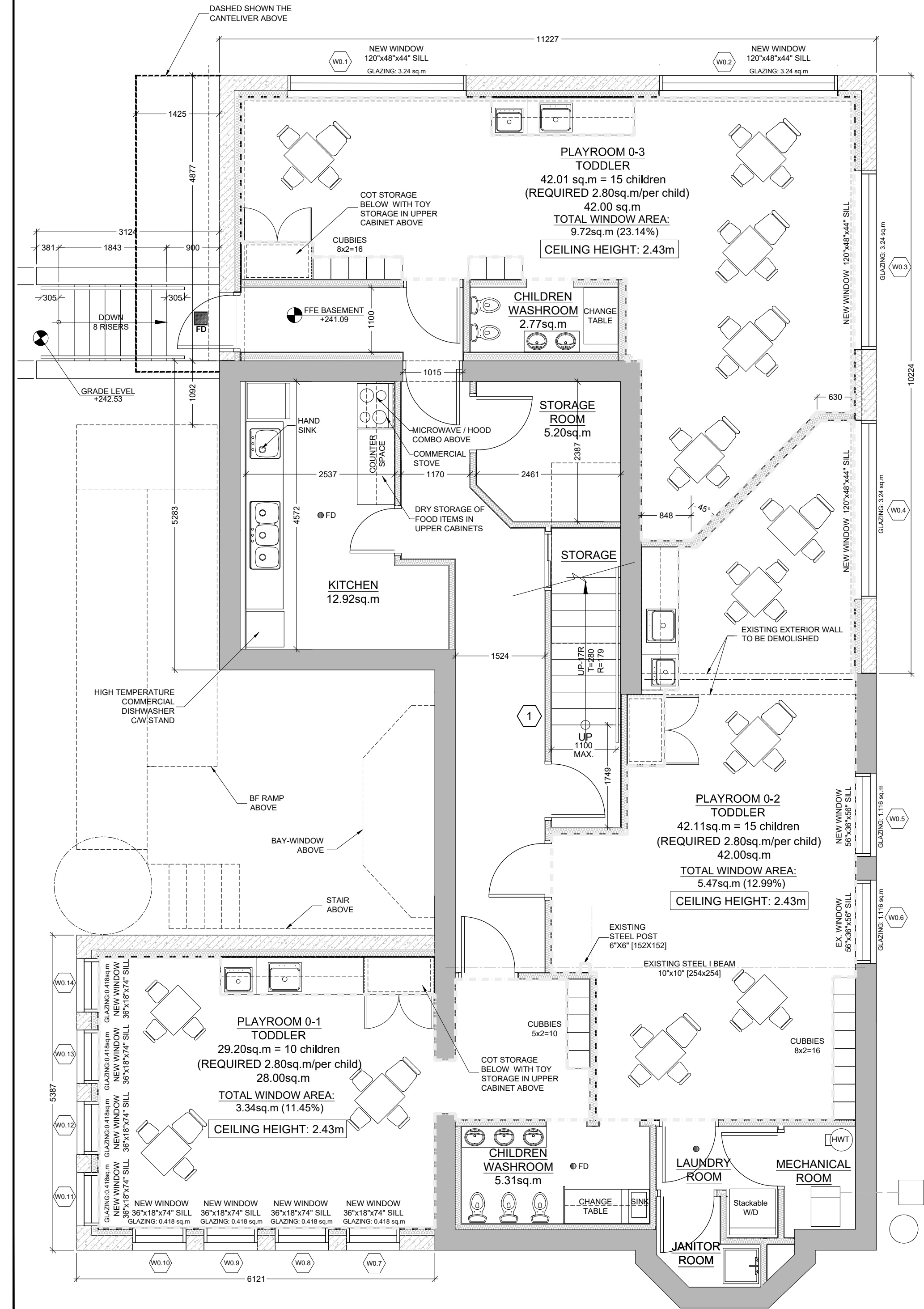
PROJECT TITLE
 LITTLE SAGES ACADEMY
 ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4

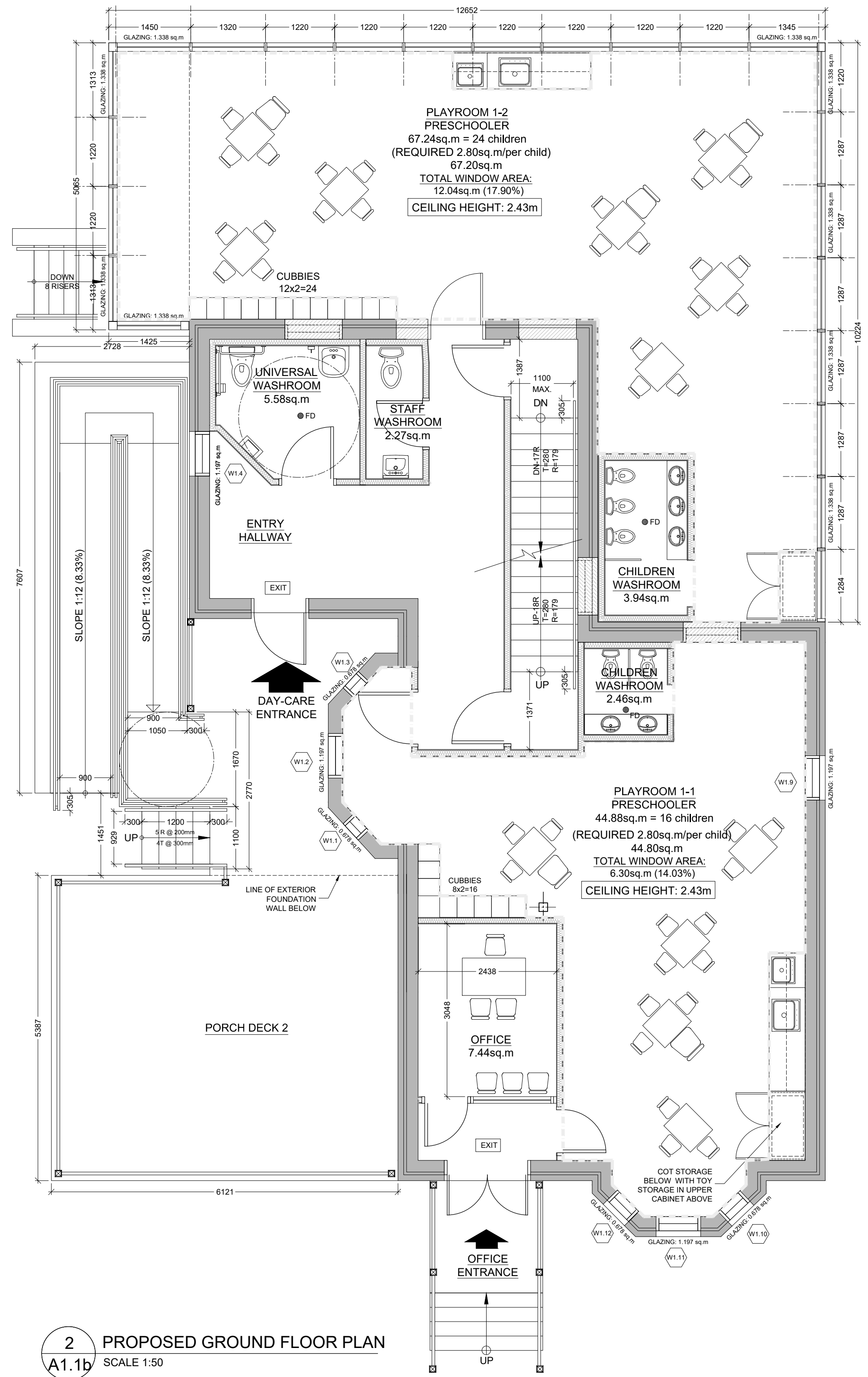
DRAWING TITLE
 FURNITURE & OCCUPANCY
 FLOOR PLANS - PHASE 2

DRAWN BY HT	SCALE
CHECKED BY DE	DATE OCTOBER 6, 2021
SET. NO. 1	PROJECT NORTH DRAWING NO. A1.1b
TOTAL DWG. NO. 3	PROJECT NO. 12-576

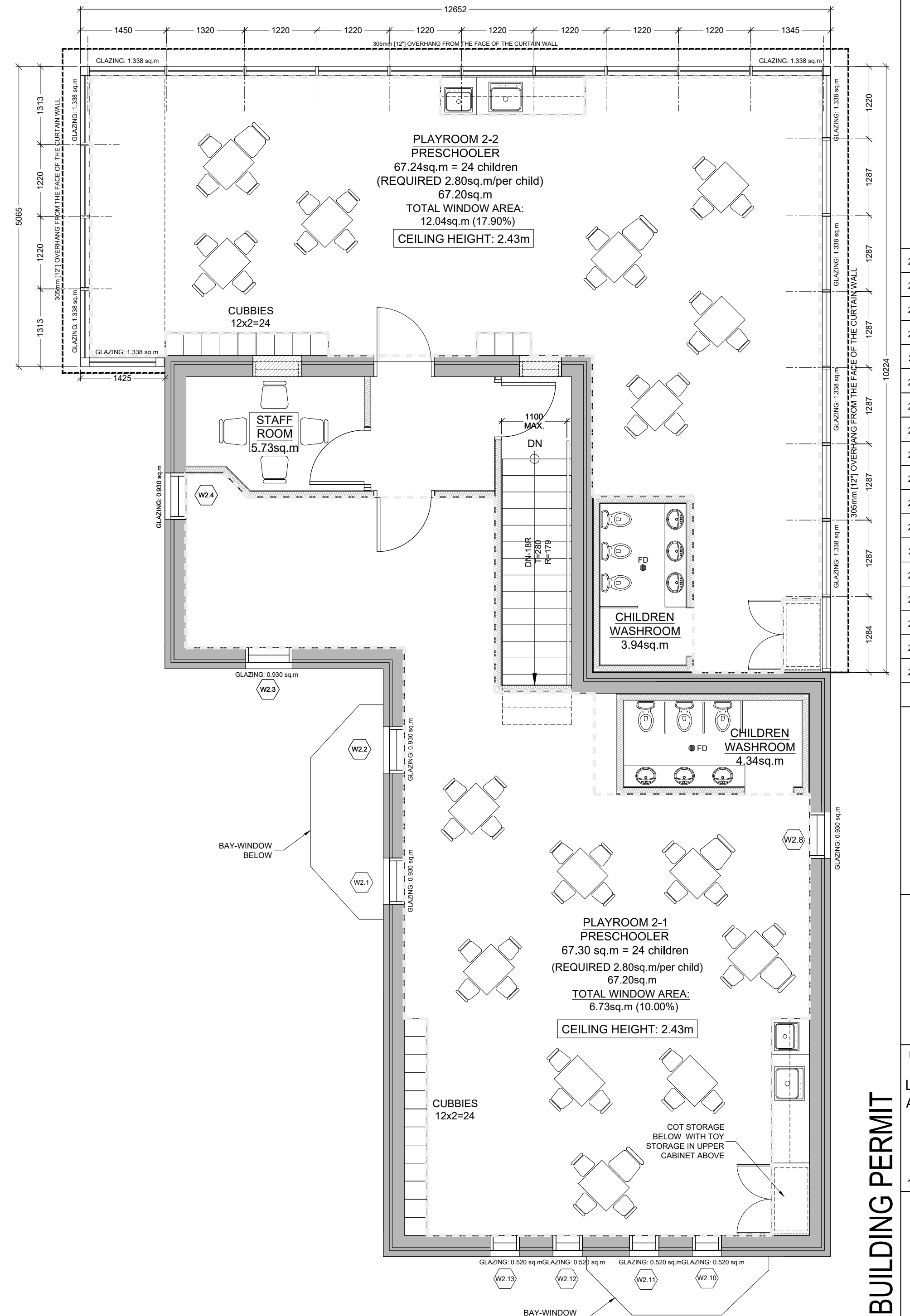
ISSUED FOR BUILDING PERMIT



1 PROPOSED BASEMENT FLOOR PLAN
 A1.1b SCALE 1:50



2 PROPOSED GROUND FLOOR PLAN
 A1.1b SCALE 1:50



3 PROPOSED SECOND FLOOR PLAN
 A1.1b SCALE 1:50

BEARING PARTITIONS SHALL BE A MINIMUM 2"x4" (38X89) @ 16" (406) O.C. FORD STOREY,
NON-BEARING PARTITIONS 2"x4" (38X89) @ 24" (610) O.C. PROVIDE 2"x4" (38X89) BOTTOM PLATE
AND 2"x4" (2-38X89) TOP PLATE. 1/2" (12.7) IN. DRYWALL BOTH SIDES OF STUDS, PROVIDE
2"x6" (38X140) STUDS WHERE NOTED. PROVIDE 2"x4" (38X89) @ 24" (610) O.C. LADDER FRAMING
WHERE WALLS INTERSECT PERPENDICULAR TO ONE ANOTHER. PROVIDE 2"x4" (38X89) WOOD
BLOCKING ON FLAT @ 3'-11" (1194) O.C. MAX. BETWEEN FLOOR JOISTS WHEN NON-LOAD
BEARING WALLS ARE PARALLEL TO FLOOR JOISTS.
TAPE AND SEAL ALL JOINTS GAS TIGHT IN GARAGE WALLS.

	MAX. RISE [R]	MIN. RISE [R]	MAX. RUN [T]	MIN. RUN [T]	MAX. TREAD	MIN. TREAD
PRIVATE	7' 7 1/8" (200)	5" (125)	14" (355)	10" (255)	14" (355)	10" (255)
PUBLIC	7" (180)	5" (125)	NO LIMIT	11" (280)	NO LIMIT	11" (280)
	MIN. STAIR WIDTH		CURVED STAIRS		ALL STAIRS	
PRIVATE	2'-10" (860)		MIN. RUN 5' 7 1/8" (150)		MAX. NOSING 1" (25)	
PUBLIC	2'-11" (900)		MIN. AVG. RUN 7' 7 1/8" (200)			

** HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE AND NOT LESS THAN 6'-5" (1950) FOR SINGLE DWELLING UNIT @ 6'-8.34" (2050) FOR EVERYTHING ELSE. (9.8.2.2.)

REQUIRED LANDING IN GARAGE - O.B.C. 9.8.6.2(3)

FOR AN INTERIOR STAIR SERVING A GARAGE DOES NOT CONTAIN MORE THAN 3 RAISERS, LANDING IS NOT REQUIRED AS PER CODE.

GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING
CONFORMING TO O.B.C 9.8.8.5 & 9.8.8.6 AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.
MORE SPECIFICALLY, INTERIOR AND EXTERIOR GUARDS SHOULD HAVE CAPACITY FOR A HORIZONTAL LOAD OF 0.75 KN/M OR A CONCENTRATED LOAD OF 1.0 KN APPLIED AT ANY POINT, WHICHEVER GOVERNS IN ACCORDANCE WITH TABLE 9.8.8.2 AND OBC 4.1.5.14.

GUARD HEIGHTS- O.B.C. 9.8.8.
 INTERIOR GUARDS: 2'-11" (900) MIN.
 EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE)
 3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE)
 GUARDS FOR EXIT STAIRS: 3'-0" (920) MIN.

GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)

FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT CURB MIN. 6" (150) HIGH, AND GUARD MIN. 3'-6" (1070) HIGH.

REQUIRED GUARDS
BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3'-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE 11.

HANDRAIL HEIGHTS - O.B.C. 9.8.7 - REQUIRED AS PER 9.8.7.1 (3)
MIN. HEIGHT AT STAIRS OR RAMP: 2'-10" (865)
MAX. HEIGHT AT STAIRS OR RAMP: 3'-2" (965)
HEIGHT AT LANDING 3'-6" (1070)
STAIRS OR RAMP MIN. 7'-3" (2200) WIDE 2'-9" (865) MIN. HEIGHT

SA SMOKE ALARM (9.10.19.)
 PROVIDE ONE PER FLOOR, NEAR THE STAIRS
 CONNECTING THE FLOOR LEVEL ALARMS ARE TO
 BE INSTALLED IN THE STAIRS AND IN A
 LOCATION BETWEEN SLEEPING ROOMS AND
 CONNECTING HALLWAYS AND WIRED TO BE
 INTERCONNECTED TO ACTIVATE ALL ALARMS IF
 ONE SOUNDS. ALARMS ARE TO BE CONNECTED
 TO AN ELECTRICAL CIRCUIT AND WITH A
 BATTERY BACKUP. ALARM SIGNAL SHALL MEET
 TEMPORAL SOUND PATTERNING ALARMS
 SHALL HAVE A VISUAL SIGNALING COMPONENT
 AS PER THE "NATIONAL FIRE ALARM AND
 SIGNALING CODE 72".

CARBON MONOXIDE
ALARM (9.33.4)
"CHECK LOCAL BY-LAWS FOR REQUIREMENTS."
A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CSA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS ADJUSTABLE WITHIN EACH SLEEPING ROOM WHEN THE INTERVENING DOORS ARE CLOSED.

NO	LOCATION STOREY	DOOR SIZE width x height	TYPE	MATERIAL door & frame	FINISH door & frame	GLAZING	EXIST COND.	NEW	FIRE RATING	HARDWARE & NOTES
ID-01	BASEMENT	915 x 2080 x 35	A	METAL	PAIN	N/A	●	45min.	WEATHER STRIPPING, BUTT HINGES, LEVER, DEADBOLT LOCK	
ID-02	BASEMENT	915 x 2080 x 35	A	METAL	PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-03	BASEMENT	915 x 2080 x 35	A	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-04	BASEMENT	863 x 2060 x 35	B	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-05	BASEMENT	883 x 2080 x 35	B	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-06	BASEMENT	915 x 2080 x 35	C	METAL	PAIN	WIRED GLASS	●	45min.	SMOKE SALL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER	
ID-07	BASEMENT	863 x 2080 x 35	A	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-08	BASEMENT	863 x 2080 x 35	A	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-09	BASEMENT	883 x 2080 x 35	A	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-10	GROUND FLOOR	915 x 2080 x 35	A	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-11	GROUND FLOOR	863 x 2080 x 35	A	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-12	GROUND FLOOR	915 x 2080 x 35	A	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE LOCKABLE	
ID-13	GROUND FLOOR	915 x 2080 x 35	A	METAL	PAIN	WIRED GLASS	●	45min.	SMOKE SALL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER	
ID-14	GROUND FLOOR	863 x 2080 x 35	C	METAL	PAIN	WIRED GLASS	●	45min.	SMOKE SALL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER	
ID-15	GROUND FLOOR	863 x 2080 x 35	B	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-16	GROUND FLOOR	883 x 2080 x 35	B	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-17	GROUND FLOOR	915 x 2080 x 35	A	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE LOCKABLE	
ID-18	GROUND FLOOR	915 x 2080 x 35	A	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE LOCKABLE (SEE DOOR NOTES no.9)	
ID-01	SECOND FLOOR	915 x 2080 x 35	C	METAL	PAIN	WIRED GLASS	●	45min.	SMOKE SALL, BUTT HINGES, CLOSER, PANIC HARDWARE, LEVER	
ID-02	SECOND FLOOR	883 x 2080 x 35	B	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-03	SECOND FLOOR	915 x 2080 x 35	A	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-04	SECOND FLOOR	863 x 2080 x 35	B	WOOD-METAL	CLEAR-PAIN	N/A	●	45min.	DOOR SHALL BE EQUIPPED WITH CLOSER.	
ID-05	RESERVED									
ID-06	RESERVED									
ID-07	RESERVED									

DOOR NOTES:

- 1. NEW DOORS TO REPLICATE HINGES, MATERIALS AND FINISHES OF EXISTING RETAINED DOORS; SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANT'S REVIEW AND APPROVAL.
- 2. DIMENSIONS OF EXISTING DOORS FOR REPLACEMENT TO BE CONFIRMED BY MEASUREMENT AFTER INSTALLATION AND ADJACENT FINISHES REVIEW, AND APPROVAL.
- 3. SCHEME SHALL BE COMPOSED TO CONSIST OF DOOR FRAME REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WORK COMPONENTS.
- 4. COORDINATE WITH REPAIR AND RE-PAINT-RE-FINISH EXISTING RELATED DOORS AND THEIR COMPONENTS, NEW DOORS & FRAMES TO BE INSTALLED IMMEDIATELY AFTER INSTALLATION AND ADJACENT FINISHES HAVE BEEN REMOVED.
- 5. GLAZING, IF ANY, ALL NEW GLAZES TO BE DOUBLE INSULATED (IGU) WITH LOW EMISSION GLAZING IN EXISTING EXTERIOR DOORS TO BE KEPT IF CONDITION ALLOWED; DAMAGED GLAZING TO BE REPLACED WITH SIMILAR SINGLE GLAZING.
- 6. PARTITION BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING SHALL BE THROUGH A DOOR OPENING EQUIPPED WITH A SELF-CLOSING DEVICE TO FIRE RESISTANCE RATING NOT LESS THAN THE OTHER WALLS. SUCH DOOR SHALL NOT OPEN DIRECTLY INTO A ROOM FOR SLEEPING QUARTERS.
- 7. WASHROOM DOOR SHALL BE EQUIPPED WITH A GRASPABLE LATCH OPERATING MECHANISM AND WILL HAVE A SELF-CLOSING DEVICE TO FIRE RESISTANCE RATING NOT LESS THAN THE OTHER WALLS OUTSIDE IN CASE OF EMERGENCY.
- 8. THE MINIMUM DOOR SCHEDULE IS SHOWN ON C-1 WEST SOUTH EAST ELEVATIONS.

[illegible]

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.

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SIGNED _____ DATE _____

[illegible]

2024-08-20	16	REVISED PER CLIENT COMMENT
2024-04-02	15	ISSUED FOR CLIENT COMMENT
2024-03-11	14	REVISED PER PUBLIC HEALTH COMMENT
2024-03-05	13	ISSUED FOR PERLIMINARY PHASE 2
2024-02-29	12	ISSUED FOR PERLIMINARY PHASE 2
2023-10-10	11	REVISED PER CLIENT COMMENT (2)
2023-10-10	10	UPDATED FOR COORDINATION
2023-09-13	9	ISSUED PER EXAMINER COMMENTS
2023-04-26	8	ISSUED FOR CoA (PRELIMINARY)
2023-04-24	7	REVISED PER CLIENT COMMENT (1)
2023-04-21	6	DAYCARE DESIGN 4
DATE	NO.	REVISIONS / ISSUES

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ONTARIO ASSOCIATION
OF ARCHITECTS
DAVID M. ECKLER
License # 4507


PROJECT TITLE
LITTLE SAGES ACADEMY
ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E

FURNITURE & OCCUPANCY
FLOOR PLANS - PHASE 2

DRAWN BY HT	SCALE
CHECKED BY	DATE

SET. NO.	PROJECT NORTH	DRAWING NO.
1		A1.1b

TOTAL DWG. NO		PROJECT NO.
3		12-576

ISSUED FOR BUILDING PERMIT



1
A2-2
EAST ELEVATION
SCALE 1:50

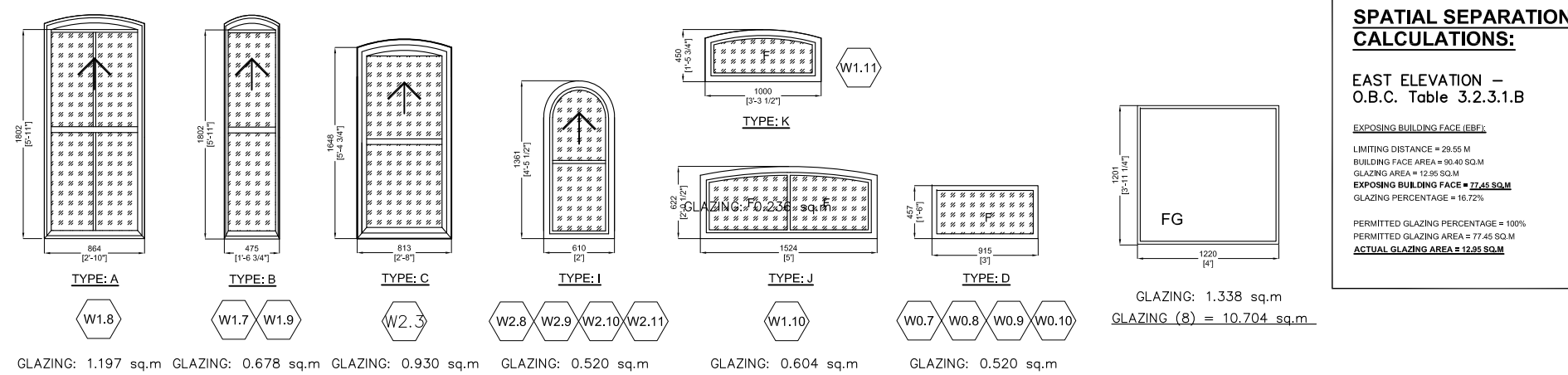


2
A2-2
NORTH ELEVATION
SCALE 1:50

WINDOW SCHEDULE – EAST ELEVATION

NO	LOCATION		WINDOW SIZE width x height	SILL	MATER	TYPE	GLAZING	CONDITION		NOTES REFER TO WINDOW NOTES
	ELEVATION	STOREY						EXIST.	NEW	
W0.7	EAST	BASEMENT	915 x 457	1905	VINYL	FIXED	LoE x INSULATED			
W0.8	EAST	BASEMENT	915 x 457	1905	VINYL	FIXED	LoE x INSULATED			
W0.9	EAST	BASEMENT	915 x 457	1905	VINYL	FIXED	LoE x INSULATED			
W0.10	EAST	BASEMENT	915 x 457	1905	VINYL	FIXED	LoE x INSULATED			
W1.7	EAST	GROUND FLOOR	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UN	LoE x INSULATED			
W1.8	EAST	GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UN	LoE x INSULATED			
W1.9	EAST	GROUND FLOOR	475 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UN	LoE x INSULATED			
W1.10	EAST	GROUND FLOOR	622 x 1524	—	WOOD	FIXED	LoE x INSULATED			
W1.11	EAST	GROUND FLOOR	450 x 1000	—	WOOD	FIXED	LoE x INSULATED			
W2.3	EAST	SECOND FLOOR	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UN	LoE x INSULATED			
W2.8	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UN	LoE x INSULATED			
W2.9	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UN	LoE x INSULATED			
W2.10	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UN	LoE x INSULATED			
W2.11	EAST	SECOND FLOOR	610 x 1361	849	WOOD	SINGLE-HUNG, SINGLE WIDE UN	LoE x INSULATED			

WINDOW TYPE – EAST ELEVATION



SPATIAL SEPARATION CALCULATIONS:

EAST ELEVATION
O.B.C. Table 3.2.3.1.B

SPACING BUILDING CODE 2015

LIMITING DISTANCE = 0.00 M

GLAZING AREA = 1.338 sq.m

SPACING BUILDING CODE 2015

GLAZING PERCENTAGE = 10.7%

PERMITTED GLAZING PERCENTAGE = 10.7%

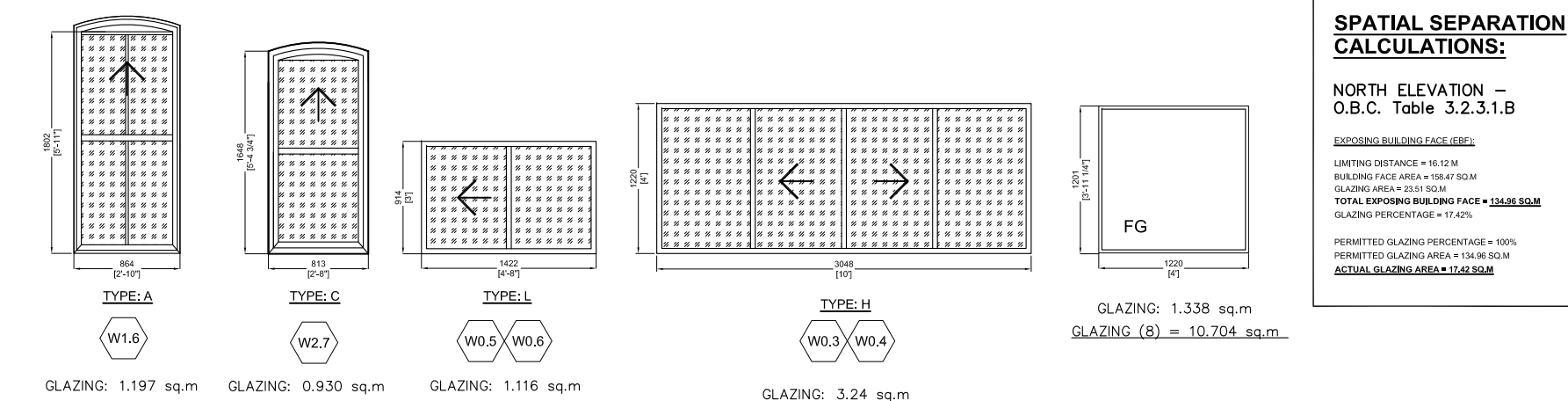
PERMITTED GLAZING AREA = 1.338 sq.m

ACTUAL GLAZING AREA = 1.338 sq.m

WINDOW SCHEDULE – NORTH ELEVATION

NO	LOCATION		WINDOW SIZE width x height	SILL	MATER	TYPE	GLAZING	CONDITION		NOTES REFER TO WINDOW NOTES
	ELEVATION	STOREY						EXIST.	NEW	
W0.3	NORTH	BASEMENT	3048 x 1220	1142	VINYL	SLIDE	LoE x INSULATED			
W0.4	NORTH	BASEMENT	3048 x 1220	1142	VINYL	SLIDE	LoE x INSULATED			
W0.5	NORTH	BASEMENT	915 x 1422	1447	VINYL	FIXED	LoE x INSULATED			
W0.6	NORTH	BASEMENT	915 x 1422	1447	VINYL	FIXED	LoE x INSULATED			
W1.6	NORTH	GROUND FLOOR	864 x 1802	660	WOOD	SINGLE-HUNG, SINGLE WIDE UN	LoE x INSULATED			
W2.7	NORTH	SECOND FLOOR	813 x 1648	849	WOOD	SINGLE-HUNG, SINGLE WIDE UN	LoE x INSULATED			

WINDOW TYPE – NORTH ELEVATION



SPATIAL SEPARATION CALCULATIONS:

NORTH ELEVATION
O.B.C. Table 3.2.3.1.B

SPACING BUILDING CODE 2015

LIMITING DISTANCE = 0.00 M

GLAZING AREA = 1.338 sq.m

SPACING BUILDING CODE 2015

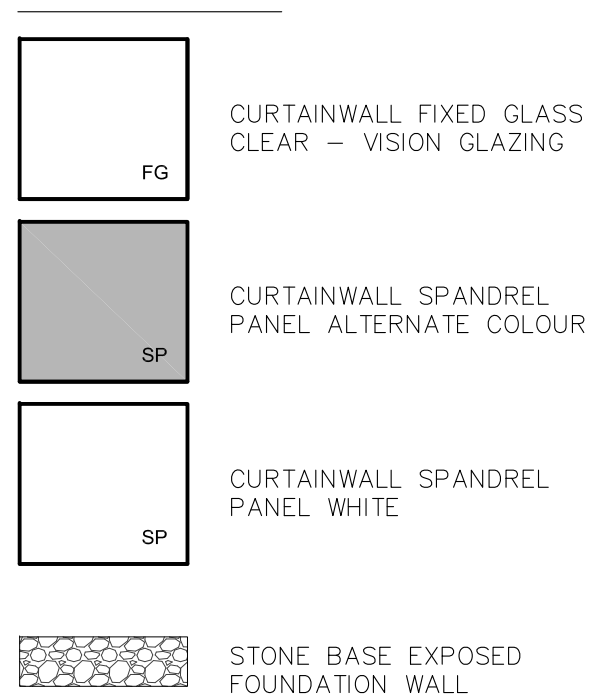
GLAZING PERCENTAGE = 10.7%

PERMITTED GLAZING PERCENTAGE = 10.7%

PERMITTED GLAZING AREA = 1.338 sq.m

ACTUAL GLAZING AREA = 1.338 sq.m

LEGEND



WINDOW NOTES:

- DIMENSIONS OF EXISTING WINDOW FOR REPLACEMENT TO BE CONFIRMED. DRAFT SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANTS REVIEW AND APPROVAL.
- WINDOW REPLACEMENT TO CONSIST OF WINDOW CASING, REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- FOR WINDOWS WITH SASH REPLACEMENT, ALL RETAINED WINDOW COMPONENTS (INCLUDING BUT NOT LIMITED TO JAMBES, HEADERS, SILL CASING, BRICK MOLD) EXHIBITING DETEIORATION, SHALL BE REPAIRED - PIECE DETEIORATION TO BE REPAIRED, WHERE DETEIORATION SHALL BE TO THE DETERMINATION OF THE CONSULTANT. ONLY INTERIOR CASING AND SILL MAY BE RETAINED AS BE RE-INSTATED TO ITS PREVIOUS STATE.
- IF INTERIOR CASING REMOVED FOR WINDOW INSTALLATION, IT SHALL BE RE-INSTATED TO ITS PREVIOUS STATE.
- REPAIR EXISTING EXTERIOR SILL AND REPLACE WITH NEW TO MATCH EXISTING.
- REPLACE ENTIRE WINDOW INCLUDING ALL COMPONENTS WITH NEW TO MATCH EXISTING. RETAIN ONLY INTERIOR CASING AND SILL.
- SCRAPE, SAND AND RE-PAINT EXISTING AND REPAIRED WINDOW COMPONENTS. NEW WINDOWS AND SASHES TO BE PAINTED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD AND PAINTED.
- CONCEAL AND MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED WINDOW EQUIPMENT (i.e. HINGES, ETC.).
- ROUT-OUT EXISTING WINDOW SASH IF REQUIRED.
- EXISTING METAL STORM SCREEN TO BE REMOVED AND DISPOSED. EXISTING WOOD STORM WINDOW/SCREEN TO BE REMOVED, NUMBERED AND STORED AS DIRECTED BY THE CONSULTANT. EXISTING WINDOW A/C UNITS TO BE REMOVED.
- GLAZING IN ALL NEW WINDOWS TO BE DOUBLE INSULATED (I.E.) SEALED UNITS EXISTING MUNTIN BARS TO BE REPLACED WITH NEW SIMULATED DIVIDERS.
- EXISTING WINDOW IS DOUBLE GLAZED AND IN GOOD CONDITION. NOT TO BE INCLUDED IN THE CONTRACT.
- WHERE EXISTING WINDOW IS RETAINED, REPLACE ALL EXTERIOR WOOD COMPONENTS INCLUDING BOX FRAME, JAMBES, SASH CASING, SILL ETC. EXISTING WINDOW TO BE REMOVED AND RE-INSTALLED AFTER REPLACEMENT IS COMPLETED.
- WINDOW TO BE COMPLETED WITH A REMOVABLE INSECT SCREEN AT ALL OPERATING SASHES.

DOOR NOTES:

- NEW DOORS TO REPLICATE HEIGHTS, MATERIALS AND FINISHES OF EXISTING RETAINED DOORS. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANTS REVIEW AND APPROVAL.
- DIMENSIONS OF EXISTING DOORS FOR REPLACEMENT TO BE CONFIRMED ON-SITE. SHOP DRAWINGS TO BE SUBMITTED FOR CONSULTANTS REVIEW AND APPROVAL.
- DOOR REPLACEMENT TO CONSIST OF DOOR AND FRAME. REPLACEMENT AND ANY ASSOCIATED FITTINGS, HARDWARE, AND ADJACENT WOOD COMPONENTS.
- SCRAPE, SAND, REPAIR AND RE-PAINT/RE-FINISH EXISTING AND RELOCATED DOORS AND THEIR COMPONENTS. NEW DOORS & FRAMES TO BE PAINTED/FINISHED AFTER INSTALLATION AND ADJACENT FINISHES MADE GOOD.
- CONCEAL AND/OR MAKE WEATHER TIGHT ANY VOIDS OR HOLES FROM REMOVED DOOR EQUIPMENT (I.E. HINGES, ETC.).
- GLAZING, IF ANY, IN ALL NEW DOORS TO BE DOUBLE INSULATED (I.E.) SEALED UNITS MUNTIN BARS TO BE REPLACED AS PER EXISTING WITH NEW SIMULATED DIVIDERS.
- GLAZING, IF ANY, IN EXISTING EXTERIOR DOORS TO BE KEPT IF CONDITION ALONG IT. DAMAGED GLAZING TO BE REPLACED WITH SIMILAR SINGLE GLAZING.
- PASSAGE BETWEEN AN ATTACHED OR BUILT-IN GARAGE AND A DWELLING SHALL BE THROUGH A DOOR OPENING EQUIPPED WITH A SELF-CLOSING DOOR HAVING A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. SUCH DOOR SHALL NOT OPEN DIRECTLY INTO A ROOM FOR SLEEPING QUARTERS.

ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS SITE LOCATION.

ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION, PRIOR TO COMMENCEMENT OF THE WORK.

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SIGNED _____ DATE _____

2024-08-14	5	REVISED PER CLIENT COMMENT		HT	
2024-04-15	4	ISSUED PER CLIENT COMMENTS		HT	
2024-04-05	3	ISSUED FOR PRELIMINARY PHASE 2		AA	
2023-12-26	2	UPDATED FOR COORDINATION		HT	
2023-10-02	1	ISSUE FOR BUILDING PERMIT		HT	
DATE	NO.	REVISIONS / ISSUES		BY	

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ARCHITECTS RASCH ECKLER ASSOCIATES LTD.
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TEL. (416) 696 - 1969
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PROJECT TITLE
LITTLE SAGES ACADEMY
ARMSTRONG HOUSE DAYCARE

10254 Hurontario Street, Brampton, ON L7A 0E4
DRAWING TITLE

EAST & NORTH ELEVATIONS

DRAWN BY HT	SCALE
CHECKED BY DE	DATE OCTOBER 6, 2021
SET NO. 1	PROJECT NORTH DRAWING NO. A2-2
TOTAL DWG. NO. 2	PROJECT NO. 15-620

Heritage Permit Kit

for Properties Designated under Part IV
of the Ontario Heritage Act

Heritage Attributes
Masonry
Character
Designated
Details
Heritage
Natural
Historical
Restoration
Architectural
Contextual
Landscaping
Alteration



BRAMPTON
Flower City

Planning, Design and Development
Heritage

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PART ONE - PROPERTY OWNER'S GUIDE:

Why Is A Heritage Permit Required?

Heritage designation puts in place a simple and quick mechanism, through the heritage permit process, to encourage preservation properties designated under Part IV of the Ontario Heritage Act (section 29).

The heritage permit process is designed to ensure that the “heritage attributes”, as described in the designation by-law, are not obscured, damaged or destroyed unnecessarily by alterations and other forms of intervention. Heritage attributes are the elements that lend a property its cultural heritage value.

Any work likely to result in the loss, damage, alteration or removal of one or more heritage attributes requires written approval from City Council before the work can begin. This rule applies mostly to major exterior renovations, additions and other works subject to a building permit or demolition permit.

The heritage permit process was not designed to prevent alterations to heritage buildings. Its purpose is to guide alterations in a reasonable and balanced manner - never losing sight of the pragmatic considerations that often trigger the call for change in the first place.

The heritage permit process is also not intended to prevent the introduction of modern conveniences such as central air conditioning, wheel chair ramps, new windows, swimming pools, satellite dishes, garages, parking spaces, and modern interior design treatments. Again, the permit process is, in most cases, simply used to guide such changes so that the new feature or replacement feature does not diminish the heritage value of the property.

“The process is generally not about “if” such changes can be made to a property - it's about “how” or “how best” within the budget constraints and objectives of the property owner - factoring in the significance of the heritage attributes that might be impacted.”

It should be stressed that in most instances, the heritage permit process is surprisingly routine.

Legal Basis for Heritage Permit - Ontario Heritage Act

To maintain consistency with provincial legislation and Brampton's new Official Plan, extending the heritage permit process Citywide, is recommended.

Section 33 of the Ontario Heritage Act states that Council must provide its 'consent in writing' before any alterations can proceed that are likely to affect heritage attributes on properties designated under Part IV of the Act. The wording in the Act is as follows:

“No owner of property designated under section 29 shall alter the property or permit the alteration of the property if the alteration is likely to affect the property's heritage attributes... unless the owner applies to the council of the municipality in which the property is situate and receives consent in writing to the alteration.”

Section 42 of the Ontario Heritage Act applies to properties designated under Part V of the Heritage Act (districts). It states:

“The owner of property situated in a designated heritage conservation district may apply to the municipality for a permit to alter any part of the property other than the interior of a building or structure on the property or to erect, demolish or remove a building or structure on the property. 2005, c. 6, s. 32 (1).”

Most municipalities have adopted a heritage permit system to manage the review and approval process as prescribed under sections 33 and 42 of the Ontario Heritage Act.

Despite the fact that section 33 of the Heritage Act only refers to “consent in writing” from Council, and does not specifically refer to a ‘permit’, it is industry practice to seek Council’s consent in writing, as the act requires, and to call that consent a ‘permit’.

What Are Heritage Attributes?

In general terms heritage attributes are the materials, details, forms, spatial configurations, uses, historical and cultural associations and character defining elements that collectively contribute to the cultural heritage value of the designated property.

A heritage designation by-law identifies and describes these heritage attributes so that everyone knows what features should be given special consideration when an alteration is proposed.

In specific terms, these attributes can be architectural, contextual, natural and/or historical. The heritage permit focuses on the architectural and contextual elements:

Architectural heritage attributes often include: windows, chimneys, verandahs, porches, doors, exterior cladding materials, decorative millwork and detailing, shutters, trim, stonework and any other structural features that are obviously old or original to the building.

Contextual and natural heritage attributes can also be significant - particularly with regard to the designation of streetscapes, farms, cemeteries and districts. They include: visual and aesthetic qualities, historical landscaping features, mature trees and hedgerows, fences, laneways, vistas, barns and other features found on the property.

Historical heritage attributes relate to past ownership, history, events and associations with broader themes and subjects.

Rarity, age, landmark status, construction methods, symbolic value and other factors are also taken into consideration, depending on the type of property being designated.

When Is A Heritage Permit Required?

In the most general sense, as outlined in the Heritage Act, a heritage permit is required prior to any alteration likely to result in the loss, removal, obstruction, replacement, damage or destruction of one or more heritage attributes on a property designated under Part IV of the Ontario Heritage Act.

As a rule of thumb, a heritage permit is always required for any large-scale exterior renovations and additions; essentially any works that would also require a building permit, demolition permit or other formal approvals by the City, conservation authorities and/or other agencies and other levels of government.

A heritage permit may also be required for some smaller scale projects (*e.g. replacing a front door, removing a verandah railing, etc*), if that project would impact existing heritage attributes and features as found.

The heritage permit process applies to the entire property and all exterior elevations - not just to the front facade.

Whether a heritage permit is required or not, you must still comply with the requirements of the Zoning By-law and Building Code.

Heritage permits should always be secured before seeking any other approvals, such as minor variances from the Committee of Adjustment, approvals from conservation authorities, site plan approvals and so on.

Typical Projects That Do Require A Heritage Permit:

New Construction: such as new additions, introducing new exterior architectural detailing and finishes, along with new garages, fences, barns, outbuildings, porches, verandahs, steps and decks;

Major Structural Alterations and Rehabilitation Projects: such as replacement, removal and changes to existing porches, verandahs, windows and window openings, doors and door openings, chimneys, awnings, existing millwork, decorative elements, detailing and finishes, foundations, barns, outbuildings and the like;

Major Changes to Exterior Walls and Cladding such as introduction or removal of metal soffits, fascia, vinyl siding, stucco finishes; painting previously unpainted masonry walls or removing paint from painted masonry walls; repointing masonry, replacing bricks, repairing or replacing stone finishes, parging foundation (is there another way to describe this that average people would recognize) walls, removing key wall features such as lintels, sills, parapets, chimneys, quoins, voussoirs (these two terms too), removing insulbrick, and the like;

Major Landscaping: such as removal of mature trees, removal or significant alterations to period gardens and hedgerows, installation of new landscaping plans, patios, paths and laneways, altering or removing original or vintage pergolas, fences, garages, outbuildings and the like;

New Signage;

Historical Restoration Projects: such as restoration or replication of original or vintage period elements including verandahs, millwork, finishes and the like;

Any Other Larger Scale Exterior Alterations or Structural Repairs that are likely to affect existing heritage attributes anywhere on the property.

Typical Projects That Do Not Require A Heritage Permit:

If works are not likely to affect existing designated heritage attributes, a heritage permit is not required. If in doubt, contact the City for confirmation.

A property owner does not require a heritage permit for regular or routine maintenance and other day-to-day activities or functions required to use, maintain and enjoy a property.

Routine care, maintenance and minor repairs do not require a heritage permit.

Examples of such work include:

- Minor repairs to windows, doors, eaves troughs, fences, foundations, roofing, railings, steps, chimneys, etc;
- Weather-stripping, insulating, etc;
- Interior work such as plumbing and electrical upgrades, interior painting, interior renovations and other works, provided interior spaces, detailing and finishes and are not included in the scope of heritage designation; (other City permits may be required however).
- New roof shingles;
- All forms of exterior painting (suitable heritage colour schemes are encouraged but are not required);
- Construction of backyard patios, tool sheds, other small outbuildings if they are to be located at the rear of the property and/or if not readily visible from the street or other public areas;
- Gardening and minor landscaping;

How Long Does the Permit Review Process Take?:

The Ontario Heritage Act is very specific on this point. Once a complete permit application is received, the City is to *“cause a notice of receipt to be served on the applicant”*.

Council must then make its decision regarding the merits of an application within 90 days. If mutually agreed upon, an extension can be granted.

If the applicant does not hear back after the 90-day period expires the council shall be deemed to have consented to the application. Although the standard procedure would be for the City to notify the applicant of Council's decision.

Role of the Property Owner / Applicant:

The property owner must evaluate the proposed scope of work and determine if that work is likely to affect the heritage attributes as designated. If in doubt, they should contact the City Heritage Coordinator for confirmation.

If a heritage permit is required, the applicant should work with the Heritage Coordinator. Together they can review the heritage considerations and fill out the application form.

When ready, the applicant must submit the completed heritage permit application form, along with any supporting information as required, to the Heritage Coordinator.

Applicants and/or their agents are encouraged to come before the Heritage Board as a delegation to briefly outline the scope of their heritage permit application and to answer questions. Arrangements can be made with the Heritage Coordinator.

Role of the Heritage Coordinator:

Heritage permit applications are available from the Heritage Coordinator the Planning Design and Development Department (3rd Floor, City Hall).

The completed application form, along with the required plans, is to be submitted to the Heritage Coordinator. The Heritage Coordinator will review the application and provide comments and recommendations.

Prior to submitting a Heritage permit application, applicants are encouraged to discuss their proposal with the Heritage Coordinator.

The Heritage Coordinator will assist the property owner at every step of the way with application process.

The Heritage Coordinator will also circulate the application to other departments as required for review and comment.

Finally, the Heritage Coordinator will take the heritage permit application to the Brampton Heritage Board for review and endorsement.

Role of the Brampton Heritage Board:

The Brampton Heritage Board (BHB) reviews all heritage permit applications. The Board makes recommendations: to approve, approve with terms and conditions or to refuse. These recommendations are then submitted to the Planning Design and Development Committee (PDD) and then City Council.

The BHB comments and recommendations are forwarded to PDD and City Council - either through a motion in the minutes or in a follow-up staff report.

Role of Planning, Design and Development Committee and City Council:

The Planning Design and Development Committee (PDD) and City Council will consider the permit application on its merits factoring in the comments and recommendations of staff and the Brampton Heritage Board.

PDD Committee and City Council will then:

- (1) Approve the permit without conditions;
- (2) Approve the permit with certain terms and conditions;
- (3) Refuse the permit.

Assuming City Council approves the permit, the City Clerk's Department issues correspondence and the heritage permit is then prepared by the Heritage Coordinator and mailed to the applicant. A copy of the permit is circulated to the Building Division.

Role of Conservation Review Board - Appeals:

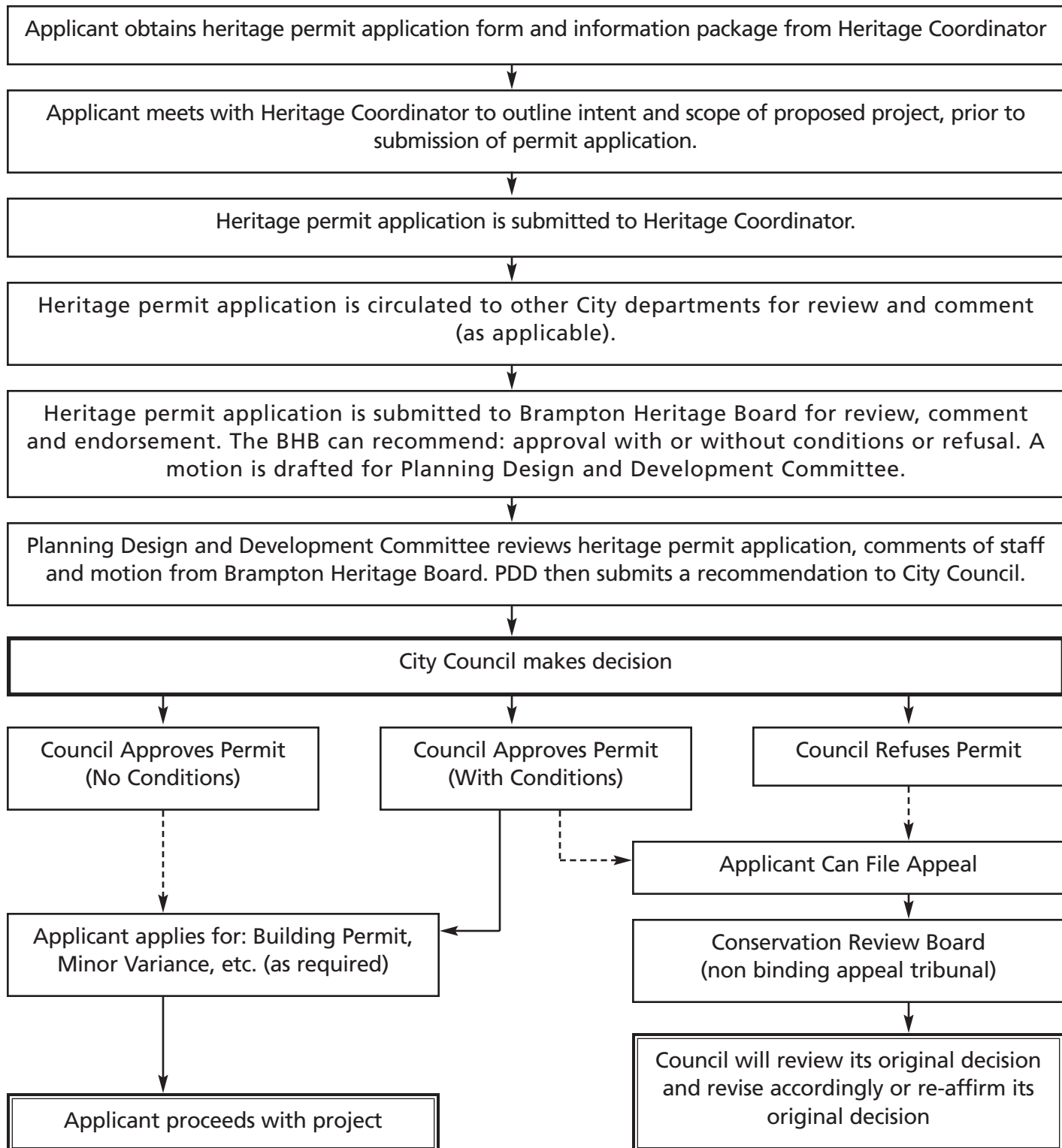
All applicants have the right to appeal if in a heritage permit application is refused by City Council or if the applicant does not support any terms and conditions. It is rare for City Council to refuse a heritage permit application.

The permit applicant always has the right to appeal. Applicants can apply to Council for a hearing before the Conservation Review Board (CRB). The Council will refer the matter to the Board. A hearing will be held and the Board will prepare a report for Council. Council will review the Board report and will either reaffirm its original decision or revise it accordingly. Council's decision is final.

The Conservation Review Board (CRB) was established in 1975 with the passage of the Ontario Heritage Act, as a Schedule I Agency whose mandate is to conduct hearings and make non-binding recommendations dealing with objections under Parts IV of the Ontario Heritage Act.

HERITAGE PERMIT APPLICATIONS

PART IV DESIGNATIONS - PROCESS FLOW



Supporting Documentation:

In order to describe the intent and scope of a proposed project certain documents and supporting materials should be included with a heritage permit application. Applicants may be required to submit some or all of the following supporting documentation:

Drawings / Plans should be folded to 8.5" x 11" paper size, if possible, and should be measured in metric scale.

Photographs – May be colour or black and white and labelled. A general view of the street showing the building and adjacent properties (streetscape), as well as a frontal view of the existing building and a photograph of each elevation are recommended.

Registered Survey should be up to date with no construction since time of survey. The survey should be a copy of the original survey that has been prepared by an Ontario Land Surveyor. All existing easements and right-of-ways should be shown.

Site Plans – Showing existing and proposed structure(s)/addition(s) on the lot, setbacks from front, rear and side lot lines, demolition of existing site features, and location of proposed site features such as parking spaces, driveways, walls, gates, fences, trees, hydro poles, retaining walls, fire hydrants, and accessory buildings.

Floor Plans – Depicting the arrangement of interior spaces, including the existing and proposed location of walls, windows and doors. All rooms should be labelled as to use, with dimensions on each floor plan in metric scale.

Building Elevations – Showing all elevations of the proposed addition/alteration. Suggested details to include consist of: building height, existing/proposed grade, finished floor elevations, window and door openings, roof slopes, building materials, location and type of outdoor lighting fixtures, railings, design/location of signage, down spouts, porches, landings, stairs and balconies.

Outline Material Specifications – Samples, brochures, etc. of all exterior materials, finishes and colours will assist the Committee, Board and City staff in making their recommendations.

Summary of Supporting Documents Required According to Type of Project:

In some cases a few photographs may be sufficient to support a permit application.

If a larger project is proposed, more supporting material is required. The following list outlines what supporting documentation is generally required by type of project:

Major Repair, Upgrade or Larger-scale Maintenance Projects (e.g. replacement of windows)

- i) Photographs
- ii) Outline and samples of materials or products to be used
- iii) Brief description of work specifications and techniques to be applied

Additions and Construction of New Buildings

- i) Photographs
- ii) Site plan
- iii) Plans and elevations of existing structure - "as built"
- iv) Plans and elevations of proposed work
- v) Outline and samples of materials to be used
- vi) Description of construction specifications

Major Alterations

- i) Photographs.
- ii) Outline and samples of materials or products to be used
- iii) Description of work specifications and techniques to be applied
- iv) Outline and samples of materials to be used

Exterior and Interior Restorations (i.e. replicating or revealing lost heritage elements)

- vii) Detail photographs of all features and attributes to be restored
- viii) Brief description of restoration techniques to be applied
- ix) Outline and samples of materials to be used (e.g. mortar mixes)
- x) Copies of historical photographs or references used to document features being restored
- xi) Description of construction specifications

Relocation of an Existing Structure

- i) Photographs
- ii) Current registered survey
- iii) Site plan
- iv) Plans and elevations documenting existing structure

Land Division

- i) Photographs
- ii) Current registered survey
- iii) Site plan and subdivision

New Signage

- i) Photographs – (streetscape and property)
- ii) Site Plan
- iii) Elevations affected by signage
- iv) Design of sign, including dimensions, materials list and colour scheme

Demolitions

- i) Photographs of structures proposed for demolition
- ii) Current registered survey
- iii) Plans and elevations documenting existing structure
- iv) Material salvage plan as necessary

Standards Used to Evaluate Heritage Permit Applications:

The following guiding principles are based on the Ontario Ministry of Culture principles of conservation for heritage properties. These principles are based on international charters, which have been established over several decades.

1. RESPECT FOR DOCUMENTARY EVIDENCE:

Do not base restorations solely on conjecture. Conservation work should be based on historic documentation and/or historical precedents using archival photographs, drawings, physical evidence and historical references.

2. RESPECT FOR THE ORIGINAL LOCATION:

Do not move buildings unless there is no other means to save them. Site is an integral component of a building. Change in site diminishes heritage value considerably.

3. RESPECT FOR HISTORIC MATERIAL:

Repair and Conserve existing materials and finishes rather than replacing them - except where absolutely necessary. Minimal intervention maintains the historical integrity and true character of the resource and is often less expensive!

4. RESPECT FOR ORIGINAL FABRIC:

Repair with like material whenever possible. Repair to return the resource to its prior condition, without altering its integrity.

5. RESPECT FOR THE BUILDING'S HISTORY:

Do not restore to one period at the expense of another period. Do not destroy later additions to a house solely to restore to a single time period. Removal of later additions is valid only when a later addition is uncomplimentary or inappropriate historically.

Also, ensure that the massing and height of new additions do not overshadow the heritage portions of the building. Additions should appear smaller and subordinate to the original or early portions of the building. Ideally, they should be located to the rear of the heritage portion of the building.

6. REVERSIBILITY:

Whenever possible, alterations should be executed in such that they could be reversed later and returned to original conditions. This conserves earlier building design and technique. For example, when a new door opening is put into a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

7. LEGIBILITY:

New work should be distinguishable from old. Building additions and new construction should be recognized as products of their own time, and new additions should not blur the distinction between old and new by slavishly attempting to duplicate. Strive for complimentary additions not replicas of the existing building.

8. MAINTENANCE:

With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

10 Ways to Ruin an Old Building

1. Hiring consultants, architects and/or contractors who do not specialize or who have not had experience working with heritage buildings
2. Neglecting the building by avoiding routine maintenance and regular upkeep. Costs add up and work become more complicated
3. Using Portland cement instead of softer lime mortar for old brick and stone repairs
4. Painting or coating surfaces that were originally left unpainted/uncoated such as brick walls and stone. Repair individual brick and stone instead. Avoid covering masonry walls with stucco-like coatings. They can destroy the brick underneath and greatly diminishes heritage value
5. Enlarging or altering the building in a manner that conflicts with its architectural style, form or time period
6. Introducing “period” details that were never intended for the building or removing vintage details that may not be “original”
7. Replacing original or vintage details unnecessarily and/or with modern materials that do not match (e.g. replacing wood sash windows with plate glass panels or vinyl casement windows)
8. Locating modern services and equipment (e.g. satellite dishes) in obvious, indiscrete locations (e.g. front of the house)
9. Using cleaning methods that damage original surfaces (e.g. sandblasting or caustic cleaners). Remember, old brick is supposed to look old
10. Not recognizing and embracing the value of natural age, character and patina found in old buildings

PART TWO - HERITAGE PERMIT APPLICATION:

HERITAGE PERMIT APPLICATION FORM

In accordance with the Ontario Heritage Act a heritage permit must be issued by City Council for all proposals to erect, remove or alter the exterior of buildings, structures or other features described as heritage attributes within the scope of a heritage designation by-law.

City staff and the Brampton Heritage Board review all applications and then submit them to City Council for approval.

City Council has the authority under the Ontario Heritage Act to approve any heritage application either with or without conditions or to refuse the permit application entirely.

Please provide the following information (type or print)

A. REGISTERED OWNER

NAME OF REGISTERED OWNER(S) 10254 Hurontario Street Holdings Inc.

TELEPHONE NO. HOME () BUSINESS: (416)456-2021 FAX: ()

E-MAIL ADDRESS: Rubal@NirvanaHomes.ca

MAILING ADDRESS: 645 Remembrance Road, Brampton, ON L7A 5H2

B. AGENT

(Note: Full name & address of agent acting on behalf of applicant; e.g. architect, consultant, contractor, etc)

NAME OF AGENT(S) DAVID ECKLER, AREA, Architects Rasch Eckler Associates Ltd.

TELEPHONE NO. HOME () BUSINESS: (416) 418-3828 FAX: ()

E-MAIL ADDRESS: deckler@areaarchitects.ca

MAILING ADDRESS: 15 Lola Road, Toronto, ON M5P1E5

Note: Unless otherwise requested, all communications will be sent to the registered owner of the property.

C. LOCATION / LEGAL DESCRIPTION OF SUBJECT PROPERTY

LOTS(S) / BLOCK(S) Parts 11 & 12 ON PLAN 43R-38924, PIN 14249- 0284 (LT)

CONCESSION NO.

REGISTERED PLAN NO.

PART(S) NO.(S)

REFERENCE PLAN NO.

ROLL NUMBER:

PIN (PROPERTY IDENTIFICATION NO.)

Address: 10254 Hurontario St. Building Name: Learment-C. Armstrong House

D. OVERALL PROJECT DESCRIPTION / SUMMARY OF PROPOSAL

Change of Use: Daycare

A proposed site alteration based on a Site Plan Approval (SPA) 2024-1012 application seeks to transform the heritage building into a childcare centre. A 'Scoped' HIA Report is submitted in conjunction with and to support this Heritage Permit Application (HPA) to assess and evaluate the expected impacts of the proposed site alterations on the heritage attributes identified in the Designation By-law ('DBL') for this property. In general, these alterations include:

- (1) basement alterations & a basement addition on the side elevations, interior renovations, and
- (2) a west (rear) addition, two-storeys, to the ground and second floors.

The additions and alterations can be grouped into two categories of changes which are proposed to be approved as[an] Building Permit Applications (BPA) in two phases:

- (1) Phase 1 Daycare Interior Renovations & Basement Alterations (on side elevations); and
- (2) Phase 2 Daycare Ground & Second Floor Addition (on rear elevation)

The BPA phases will also have associated SPA applications. Altogether the Phases 1 & 2 BPA & SPA applications will[are intended to] satisfy the requirements necessary for the creation of a childcare centre to be operated by 'Little Sages Academy' (LSA) and also called the Armstrong House Daycare.

This proposed daycare is already approved for this use under the Zoning By-law, through a previous Minor Variance approval by the Committee of Adjustment which received support from the City's Planning & Development and Heritage Planning Divisions. This daycare facility also was approved by the Ministry of Education (MEDU) Child Care Licensing System (CCLS). This [proposed/new]daycare has also received funding approval under the Canada-wide Early Learning and Child Care (CWELCC) and will be operated as a non-profit child care centre.

Phase 1 only has so far been submitted for its SPA and BPA. **This specific HPA is requesting approval for only the Phase 1 component comprising the exterior basement alterations, a basement addition on the side elevations and interior renovations.** Then, a subsequent HPA submission will consider the Phase 2 component. The Phase 2 component will be discussed in a further revised HIA, which can also be described as an 'HIA Addendum' in an upcoming BHB meeting. However, this HPA and its accompanying HIA Report will relate exclusively to the hase 1 Daycare Interior Renovations & Basement Alterations

E. DESCRIPTION OF WORKS

(Please briefly describe the proposed works as they fit within one or more of the categories below; note the specific features that would be affected. Use separate sheets as required; attach appropriate supporting documentation; point form is acceptable):

Rehabilitation and/or Preventative Conservation Measures (e.g. repointing masonry; note which heritage attributes and features would be impacted and where, materials to be used, specifications and techniques):

Major Alterations, Additions and/or New Construction (note which attributes to be impacted, location of work, materials to be used, specifications and techniques):

Refer to accompanying HIA which describes **Minor Variance** items for Phase 1 as follows:

- a. South-east (side) addition, mostly below grade, in the basement with a deck and railings on the ground floor level and an above-grade portion of the foundations, with windows;
- b. South (side) walkout entrance below grade with a new basement door and exterior stairs from below grade; and
- c. North (side) elevation single window added at basement level in above-grade portion of the foundations.

Restoration (i.e. replicating or revealing lost elements and features; note which attributes to be impacted and where, materials to be used, specifications and techniques):

F. SCOPE OF WORK IMPACTING HERITAGE PROPERTY

(Check all that apply)

NEW CONSTRUCTION IS PROPOSED ☒

DEMOLISH ☐

ALTER ☒

EXPAND ☒

RELOCATE ☐

G. SITE STATISTICS (For addition and construction of new structures)

Not Applicable since existing footprint of structure is maintained.

LOT DIMENSIONS FRONTAGE _____ DEPTH _____

LOT AREA _____ m²

EXISTING BUILDING COVERAGE _____ %

BUILDING HEIGHT EXISTING _____ m

PROPOSED _____ m

BUILDING WIDTH EXISTING _____ m

PROPOSED _____ m

ZONING DESIGNATION Commercial

OTHER APPROVALS REQUIRED: (Check off only if required)

MINOR VARIANCE (COA) _____

SITE PLAN APPROVAL ☒

BUILDING PERMIT ☒

CONSERVATION AUTHORITY _____

SIGN BYLAW APPROVAL _____

(Note: IF YES, other approvals should be scheduled after the Heritage Permit has been approved by City Council)

H. CHECKLIST OF REQUIRED INFORMATION SUBMITTED

(Check all that apply)

Refer to accompanying HIA which includes Appendix with drawings for Phase 1 as follows:

- ☐ REGISTERED SURVEY
- ☒ SITE PLAN (showing all buildings and vegetation on the property)
- ☐ EXISTING PLANS & ELEVATIONS - AS BUILT
- ☒ PROPOSED PLANS & ELEVATIONS
- ☐ PHOTOGRAPHS
- ☐ MATERIAL SAMPLES, BROCHURES, ETC
- ☒ CONSTRUCTION SPECIFICATION DETAILS - ON-DRAWING NOTES

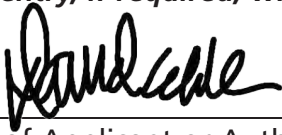
I. AUTHORIZATION / DECLARATION

I HEREBY DECLARE THAT THE STATEMENTS MADE HEREIN ARE, TO THE BEST OF MY BELIEF AND KNOWLEDGE, A TRUE AND COMPLETE PRESENTATION OF THE PROPOSED APPLICATION.

I UNDERSTAND THAT THIS HERITAGE PERMIT DOES NOT CONSTITUTE A BUILDING PERMIT PURSUANT TO THE ONTARIO BUILDING CODE.

I ALSO HEREBY AGREE TO ALLOW THE APPROPRIATE STAFF OF THE CITY OF BRAMPTON TO ENTER THE SUBJECT PROPERTY IN ORDER TO FULLY ASSESS THE SCOPE AND MERITS OF THE APPLICATION.

(Property entry, if required, will be organized with the applicant or agent prior to entry)



Signature of Applicant or Authorized Agent

October 9, 2024

Date of Submission

Heritage Permit applications are submitted to the Planning, Design and Development Department, 3rd Floor Counter, Brampton City Hall,

The personal information on this form is collected under the authority of the *Ontario Heritage Act*, RSO 1990. The information will be used to process the Heritage Permit Application. Questions about the collection of personal information should be directed to the Heritage Coordinator, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, 905-874-3825.

J. APPROVAL CHECKLIST
(Internal use only)

Authority:	Date:	Resolution:
Brampton Heritage Board	_____	_____
Planning Committee (PDD)	_____	_____
City Council	_____	_____

APPENDIX - HERITAGE REVIEWS IN LAND USE PLANNING PROCESS

Brampton Heritage - Land Use Planning

Policy Context:

Ontario Heritage Act (2005):

The Act provides statutory protection for designated heritage properties including demolition control, enforcement provisions, minimum property standards, etc.

Section 33 of the Ontario Heritage Act states:

"No owner of property designated... shall alter the property or permit the alteration of the property if the alteration is likely to affect the property's heritage attributes... unless the owner applies to the council of the municipality in which the property is situate and receives consent in writing to the alteration."

Stronger City of Toronto for a Stronger Ontario Act, 2006:

This new piece of legislation contains certain provisions affecting all municipalities.

The Act amends Ontario Heritage Act; introduces additional statutory protection across Ontario; requires owners of listed properties to give a municipality at least 60 days notice of the owner's intention to demolish or remove a building or structure on the property.

Ontario Planning Act:

Section 2 of the Planning Act declares that the "conservation of features of significant architectural, cultural, historical, archaeological or scientific interest" is a Provincial Interest. Municipal councils, local boards, planning boards and the Ontario Municipal Board shall have regard for this interests as they carry out their responsibilities under the Act.

Provincial Policy Statements - PPS (2005):

The Provincial Policy Statement (PPS, 2005) is the framework for broad, integrated and long term planning. It provides policy direction to municipalities and approval authorities that make decisions on land use planning matters.

All decisions affecting land use planning matters "shall be consistent with" the Provincial Policy Statements.

Section 2.6 sets out the cultural heritage and archaeology policies. The two policies most pertinent are:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Development and site alteration may be permitted on adjacent lands to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Mitigative measures and/or alternative development approaches may be required in order to conserve the heritage attributes of the protected heritage property affected by the adjacent development or site alteration.

The PPS, 2005, together with the provisions of the Ontario Heritage Act and its regulations strengthens the framework for the identification and protection of Ontario's cultural heritage and archaeological resources.

Building Code:

Part 11 provides compliance alternatives "where the chief building official" is satisfied that compliance with the standard requirements under the Code are impracticable because "it is detrimental to the preservation of a heritage building".

The Code would allow, for instance, the conversion of an older industrial building to residential use without requiring the use of non-combustible construction throughout the building.

Also, where an existing building is subject to material alteration or repair, the Building Code will apply only to those parts of the building that are subject to such work, and the entire building is not required to be brought into compliance with modern standards.

Brampton Official Plan (2006):

4.9.1.3 All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the Ontario Heritage Act to help ensure effective protection and their continuing maintenance, conservation and restoration.

4.9.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.9.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

4.9.9.15 Impact on the significant heritage elements of designated and other heritage resources shall be avoided through the requirements of the City's sign permit application system and the heritage permit under the Ontario Heritage Act.

Heritage Considerations Within Land Use Planning Process:

1. Receive notification from Planning and Building staff of proposed development applications, building and demolition permit applications, site plan applications, minor variance applications, informal proposals; (Communication protocols are critical).
2. Circulate information on known heritage resources within subject and adjacent lands to all parties (i.e. City staff, landowner, consultants, etc).
3. Field assessment of the subject lands:
 - documenting all heritage resources including cultural landscapes and other contextual features, natural heritage elements, areas of archaeological potential, standing structures not previously listed or designated, etc.
4. Where necessary, call for heritage impact assessment by qualified heritage consultant affiliated with the Canadian Association of Professional Heritage Consultants (CAPHC).
5. Where necessary, call for archaeological assessment by licensed archaeologist if archaeological potential is apparent.
6. Propose strategies for mitigation tailored to the cultural heritage significance of any affected resources - build consensus; (This seems out of context – maybe additional explanation is needed?)

Mitigation can include:

- retention or partial retention (e.g. front façades);
- adaptive reuse;
- heritage designation - as condition of approval;
- heritage conservation easements;
- cost sharing agreements;
- letters of credit;
- archaeological assessments;
- documentation;
- relocation and adaptive reuse;
- salvage;
- site security measures;
- preventative and long term conservation plans;
- sensitive site avoidance measures.

7. Review and provide comments to City staff upon submission of studies, draft guidelines, heritage impact reports, etc.
8. Provide comments on recommended mitigation.
9. Formalize mitigation measures through conditions in agreements.
10. Brief Brampton Heritage Board and Planning, Design and Development Committee as required.

11. If property is designated under either Part IV or V of the Ontario Heritage Act statutory approval by Council is required (i.e. heritage permit process followed by endorsement of Brampton Heritage Board and approval by Council).
12. Work with landowners to ensure approved mitigation plans are implemented, prepare designation reports and bylaws, negotiate easement agreements and ensure prior to conditions are satisfied.

Planning Processes Where Heritage Reviews May Be Applicable:

Environmental Assessments
Official Plan / Amendments
Secondary Plans / Amendments
Block Plans
Zoning Bylaws / Amendments
Subdivision Agreements
Site Plan Applications / By-laws
Architectural Controls
Minor Variances - Committee of Adjustment
Building Permits
Demolition Permits
Sign Permits
Topsoil stripping permits
Downtown Façade Improvement Loans
Heritage Incentive Grant Program
Capital Works on City Owned Assets
Property Maintenance Standards
Bylaw Enforcement
Public Works (e.g. in Village of Churchville)
Parks Planning

APPENDIX - HERITAGE PERMIT APPLICATIONS - STAFF CHECKLIST

1. Significance of the Heritage Property	Yes	No	N/A
i) Is the current property a prominent local landmark?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Do the proposed changes compliment or contribute to the character of the surrounding streetscape or neighbourhood?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Will the proposed changes be visible from the street or other nearby public areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Does the property hold provincial or national significance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

2. Architectural Heritage Attributes	Yes	No	N/A
i) Is the current building considered to be a good example of a particular style of architecture (e.g. Gothic Revival)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Have the possible impacts on existing architectural heritage attributes been sufficiently considered?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Have measures been taken to protect or avoid impacts to existing architectural heritage attributes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Have sufficient measures been taken with plans and designs to ensure compatibility between new and old?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v) Are any existing architectural heritage attributes being replaced? If so, are these replacement features appropriate, both visually and functionally with the existing structure?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vi) Has the applicant provided justification for the alteration, removal or replacement of existing architectural heritage attributes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vii) Do the proposed works effectively compliment the existing building and its architectural heritage attributes in massing, material(s) composition, design, texture and colour?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

3. Compatibility of Materials and Detailing	Yes	No	N/A
i) Are original materials and detailing being retained and repaired to the greatest degree possible?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Where removal or replacement of original materials and detailing is proposed, has the applicant provided appropriate evidence/rationale for why this is necessary?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Are replacement materials and detailing, as proposed, appropriate and compatible with the following structural elements as applicable:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Foundations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Wall cladding (e.g. stucco, clapboard, and brick)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Roofing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Chimney and other roof structures	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Exterior trim work and detailing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Windows and doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Porches and verandahs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Fences and retaining walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Colour Schemes (i.e. Paint - Exterior colours)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
viii) Are replacement materials similar to or complimentary to the prevailing building or on adjacent properties in the neighbourhood, area or streetscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ix) Are conservation/preservation measures, materials and techniques compatible with recognized heritage conservation standards (e.g. natural lime mortar mixes instead of Portland cement, gentle cleaning methods, etc)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
x) Are restoration techniques compatible with recognized heritage conservation standards? Have appropriate measures been taken to ensure protection and avoidance of existing architectural heritage attributes during construction phase?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4. Windows, Doors, Porches	Yes	No	N/A
i) Are original windows and doors being retained where possible?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Are new windows, if any, consistent in size, shape, configuration, materials, opening and placement?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Are new doors, if any, consistent in size, shape, configuration, materials, opening and placement?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Is the design of the new porch or verandahs, if any, compatible with the character of the existing heritage building(s) and/or surrounding building stock?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

5. Roofs	Yes	No	N/A
i) Is the roofline, roof details and roof pitch consistent with the existing heritage building? (Every effort should be made to respect the predominant roof line and to minimize the impacts.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Are proposed roof vents, solar panels, skylights, dormers and satellite dishes located inconspicuously away from public view and in a manner that does not damage important heritage attributes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

6. Overall Scale	Yes	No	N/A
i) Is the scale and size of the proposed alteration/addition in keeping with the prevailing character and massing of the existing heritage building(s)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Is the alteration/addition in keeping with the building heights and scale found on adjacent properties and with the immediate streetscape or neighbourhood?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Do upper storey additions compliment the height and roof profile of existing rooflines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

7. Location & Setbacks	Yes	No	N/A
i) Is the proposed alteration or addition (including attached garages, balconies and greenhouses) located in a subordinate location or to the rear of existing heritage building?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Are the setbacks for this application consistent with those found along the streetscape and in particular with neighbouring structures?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Are new structures or outbuildings to be located in a subordinate location or to the rear of existing heritage building and principle facades?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) If a garage and driveway are proposed, has the impact been minimized by locating them to the rear or to the side of the existing heritage building(s)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

8. Contextual and Natural Heritage Attributes	Yes	No	N/A
i) Do the proposed changes maintain traditional views, vistas and spaces of the property and surrounding neighbourhood?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) If not, have satisfactory mitigation been outlined?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Do the proposed changes attempt to preserve and maintain existing driveways, walkways, fences and walls that contribute to the character of the grounds surrounding the heritage building?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Do the proposed changes maintain heritage attributes and features found on the grounds such as front lawns, vistas, mature trees, hedges, and period gardens?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v) Do fences, walls, gates, pathways, plantings, and light standards reflect the historic presence and character of the property and streetscape or neighbourhood?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vi) Do the proposed changes impact views of the heritage attributes from the street and other public areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vii) Have appropriate measures been taken to ensure protection and avoidance of existing contextual and natural heritage attributes during construction phase?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and extend across the width of the page. There are no margins, text, or other markings on the paper.