



Agenda
Committee of Adjustment
The Corporation of the City of Brampton

Date: Tuesday, January 5, 2021
Time: 9:00 a.m.
Location: Council Chambers - 4th Floor, City Hall - Webex Electronic Meeting
Members: Ron Chatha (Chair)
Desiree Doerfler (Vice-Chair)
Ana Cristina Marques
David Colp
Rod Power

NOTICE: In consideration of the current COVID-19 public health orders prohibiting large public gatherings and requiring physical distancing, in-person attendance at Council and Committee meetings will be limited.

Some limited public attendance at meetings may be permitted by pre-registration only (subject to occupancy limits). It is strongly recommended that all persons continue to observe meetings online or participate remotely. To register to attend a meeting in-person, please visit https://www.brampton.ca/council_and_committees.

For inquiries about this agenda, or to make arrangements for accessibility accommodations (some advance notice may be required), please contact:
Jeanie Myers, Secretary-Treasurer, Telephone 905.874.2117, cityclerksoffice@brampton.ca

1. Call to Order

The meeting was called to order at X:XX a.m. and adjourned at X:XX a.m.

2. Adoption of Minutes

3. Region of Peel Comments

4. Declarations of Interest under the Municipal Conflict of Interest Act

5. Withdrawals/Deferrals

6. NEW CONSENT APPLICATIONS

7. DEFERRED CONSENT APPLICATIONS

8. NEW MINOR VARIANCE APPLICATIONS

8.1. A-2020-0132

KARLA ISABEL MELO

PART OF LOT 65, PLAN M-1114, PART 13, PLAN 43R-20429 - 42 CLOVER
BLOOM ROAD - WARD 9

The applicant is requesting the following variance(s):

1. To permit an existing accessory structure (gazebo) located in the yard of a property occupied by a quattroplex whereas the by-law does not permit accessory structures in this zone (R2B-697);
2. To permit an existing accessory structure (gazebo) having a gross floor area of 24.12 sq. m (259.63 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure.

8.2. A-2020-0133

GARTH MANSINGH AND HELENE MANSINGH

LOT 7, PLAN 478 - 1 MOORE CRESCENT - WARD 3

The applicants are requesting the following variance(s):

1. To permit a proposed accessory structure (shed) having a gross floor area of 26.28 sq. m (282.88 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
2. To permit a combined gross floor area of 28.8 sq. m (310 sq. ft.) for two accessory structures (proposed shed and existing shed) whereas the by-law permits a maximum combined gross floor area of 23 sq. m (247.58 sq. ft.);
3. To permit an existing fence having a maximum height of 2.33m (7.64 ft.) whereas the by-law permits a fence to a maximum height of 2.0m (6.6 ft.).

8.3. A-2020-0134

SANDEEP SINGH SANGHA

PART OF LOT 5, CONCESSION 4 WHS, PART 2, PLAN 43R-33617 - 8951
MISSISSAUGA ROAD - WARD 9

The applicant is proposing a 2 storey addition and is requesting the following variance(s):

1. To permit a front yard setback of 9.2m (30.18 ft.) whereas the by-law requires a minimum front yard setback of 12m (39.37 ft.);
2. To permit a rear yard setback of 7.5m (24.60 ft.) whereas the by-law requires a minimum rear yard setback of 15m (49.21 ft.).

8.4. A-2020-0135

SANDEEP SINGH HUNDAL AND MANDEEP SINGH HUNDAL

LOT 56, PLAN M-1298 - 9 CORALREEF CRESCENT - WARD 9

The applicants are requesting the following variance(s):

1. To permit a lot coverage of 37.88% whereas the by-law permits a maximum lot coverage of 30%;
2. To permit an interior side yard setback of 0.30m (0.98 ft.) to an open roofed porch (as built) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.) on one side and 0.9m (2.95 ft.) on the other side;
3. To permit an existing accessory structure (shed) having a rear yard setback of 0.2m (0.66 ft.) and a side yard setback of 0.13m (0.43 ft.) whereas the by-law requires an accessory structure to be located no closer than 0.6m (1.97 ft.) to the nearest lot line.

8.5. A-2020-0137

MANISH KAPOOR AND NAMRATA KAPOOR

LOT 113, PLAN 43M-1523 - 2 JANUARY COURT - WARD 6

The applicants are requesting the following variance(s):

1. To permit a driveway having a width of 10.66m (34.97 ft.) whereas the by-law permits a maximum driveway width of 9.14m (30 ft.);
2. To permit an existing accessory structure (shed) to be located in an exterior side yard whereas the by-law does not permit an accessory structure within an exterior side yard;
3. To permit an existing accessory structure (shed) having a side yard setback of 0.47m (1.54 ft.) and a side yard setback of 0.55m (1.80 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) for an accessory structure from all nearest property lines;
4. To permit an existing accessory structure (gazebo) having a gross floor area of 18.4 sq. m (198.06 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m. (161.5 sq. ft.) for an individual accessory structure;
5. To permit two (2) existing accessory structures (shed and gazebo) having a combined gross floor area of 26.9 sq. m (289.55 sq. ft.) whereas the by-law permits a maximum combined gross floor area of 20 sq. m (215.28 sq. ft.).

8.6. A-2020-0138

CSPAC INDUSTRIAL ACE DR. GP INC.

BLOCK 4, PLAN 43M-1907 - 100 ACE DRIVE - WARD 9

The applicant is requesting the following variance(s):

1. To permit outside storage of trucks and truck trailers in the interior side yard whereas the by-law only permits outside storage in the rear yard screened from view from the street.

8.7. A-2020-0139

1347987 ONTARIO LIMITED

PART OF BLOCK 5, PLAN 43M-618, PART 1, PLAN 43R-13924 - 4 EDVAC DRIVE - WARD 8

The applicant is requesting the following variance(s):

1. To permit 40% of the gross floor area of the building to be used as a food processing facility whereas the by-law does not permit the proposed use.

8.8. A-2020-0140

PHIL SEQUEIRA AND JOANNE SEQUEIRA

LOT 494, PLAN 43M-1192 - 83 WHITE TAIL CRESCENT - WARD 4

The applicants are requesting the following variance(s):

1. To permit an existing accessory structure (shed) having a rear yard setback of 0.083m (0.27 ft.) and a side yard setback of 0.11m (0.36 ft.) whereas the by-law requires an accessory structure to be located no closer than 0.6m (1.97 ft.) to the nearest lot line.

8.9. A-2020-0142

2389112 ONTARIO INC.

PEEL CONDOMINIUM PLAN 1046, UNITS 25 AND 26, LEVEL 1 - SUN PAC BOULEVARD, UNITS 12 AND 13 - WARD 8

The applicants are requesting the following variance(s):

1. To permit the construction of a 123.3 square metre mezzanine in Units 12 & 13 and to allow 30% of the unit to be used for accessory retail use while providing 81 parking spaces on site, whereas the by-law requires a minimum of 98 parking spaces.

8.10. A-2020-0143

ANDREW WATTS AND KAMILA GOLEC

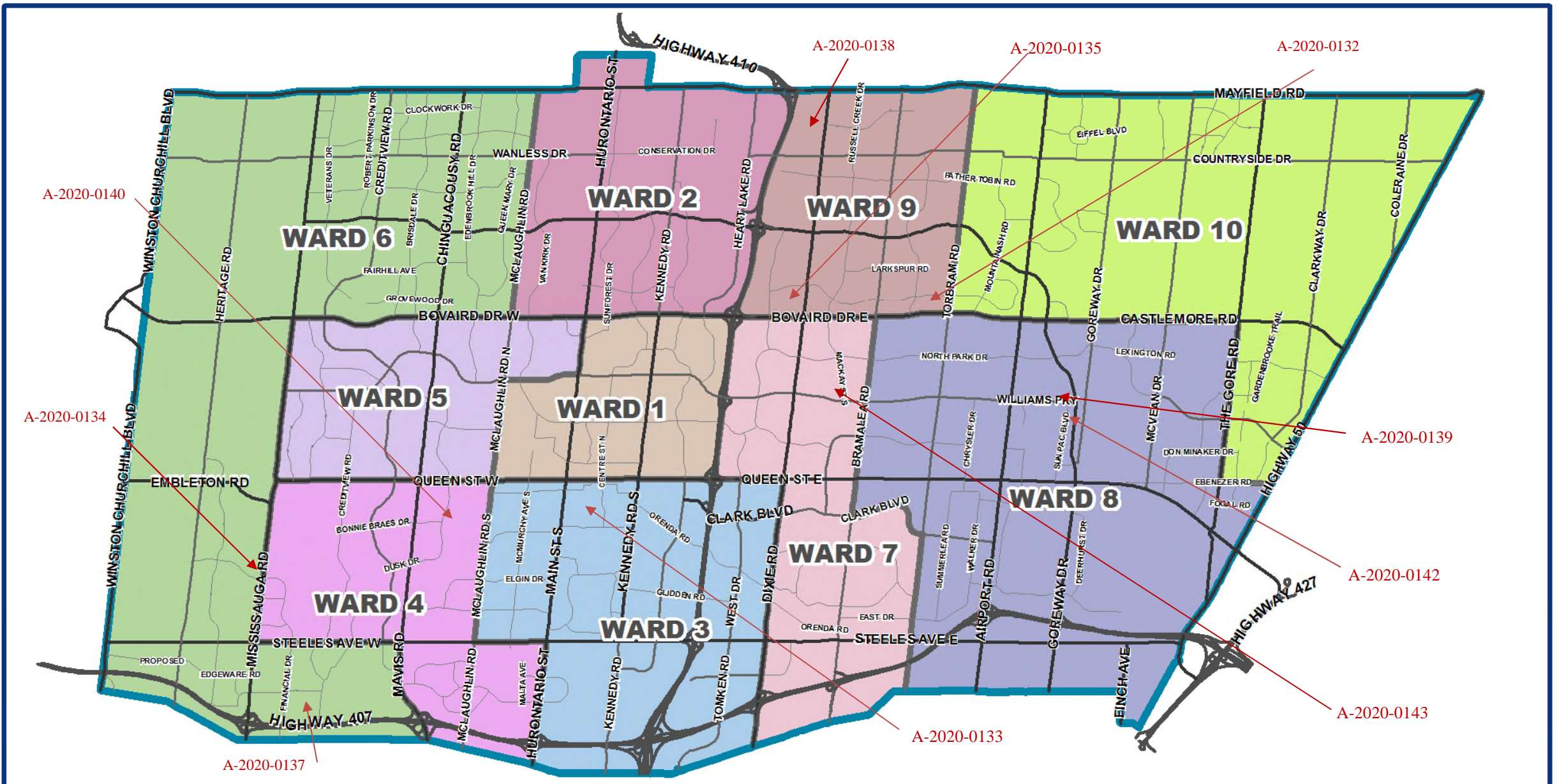
LOT 84, PLAN M-261 - 42 MAJESTIC CRESCENT - WARD 7

The applicants are requesting the following variance(s):

1. To permit a side yard setback of 1.57m (5.15 ft.) to a proposed second storey addition whereas the by-law requires a minimum side yard setback of 1.8m (5.90 ft.) to the second storey;
2. To permit a side yard setback of 0.6m (1.97 ft.) to a proposed porch on the first floor whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft.);
3. To permit a lot coverage of 35.7% whereas the by-law permits an existing legal non-complying lot coverage of 33%.

9. DEFERRED MINOR VARIANCE APPLICATIONS

10. Adjournment



DECEMBER 1, 2020
9:00 A.M.
COUNCIL CHAMBERS
4TH FLOOR - CITY HALL
WEBEX ELECTRONIC MEETING

MEMBERS:

Ron Chatha, Chair
Desiree Doerfler, Vice Chair
Ana Cristina Marques
David Colp
Rod Power

STAFF:

Shelby Swinfield, Development Planner
Cynthia Owusu-Gyimah, Manager, Development Services
Elizabeth Corazzola, Manager, Zoning and Sign By-Law Services
Jeanie Myers, Secretary-Treasurer

ADOPTION OF MINUTES:

Moved by: D. Colp

Seconded by: R. Power

THAT the minutes of the Committee of Adjustment hearing held November 10, 2020 be approved, as printed and circulated.

CARRIED

DECLARATIONS OF INTEREST UNDER THE MUNICIPAL CONFLICT OF INTEREST ACT:

Member Ron Chatha declared a conflict of interest on Application B-2020-0025 in the name of TACC Holburn Corporation due to engagement in future sales arrangements through Real Estate Brokerage.

Member Ron Chatha declared a conflict of interest on Application B-2020-0019 in the name of Canon Canada Inc. due to family members' employment history.

WITHDRAWALS/DEFERRALS:

B-2020-0011 **ROSE GARDEN RESIDENCES INC.**

PT. OF LOTS 49, 50, 51, 52, 55, 56
57, 58 & 86 AND ALL OF LOTS
53 AND 54, PLAN BR-2
122-130 MAIN STREET NORTH
7 & 11 CHURCH STREET EAST
6 & 7 NELSON STREET EAST E
WARD 1

Committee acknowledged receipt of a letter dated November 13, 2020 from Michael Vani of Weston Consulting, authorized agent for the applicant, advising of withdrawal of consent application B-2020-0011 in the name of Rose Garden Residences Inc.

B-2020-0024 **BRAMPTON BRAMALEA CHRISTIAN**
FELLOWSHIP INC.

PT. OF LOT 17, CONC. 5 EHS
11613 BRAMALEA ROAD
WARD 9

Mr. Keith MacKinnon, KLM Planning Partners Inc., authorized agent for the applicant, addressed Committee. He acknowledged receipt of staff's recommendation report recommending a deferral of the application to provide an opportunity to amend his application to include an easement requirement for emergency access over the severed lands in favour of the retained lands. Mr. MacKinnon expressed that he agrees to a deferral, requesting that the item be included on the next agenda, if possible, adding that he forwarded an amended application to Planning staff.

Staff indicated support for a deferral noting that the recommendation was to defer no later than the last meeting of March to provide some flexibility. The Secretary Treasurer informed Committee that she has not received anything from the applicant to advance the application to the next meeting and recommended that the application be deferred to January 26, 2021, at the earliest.

Following discussion, Committee reached the following decision:

Moved by: R. Power

Seconded by: A. C. Marques

THAT application B-2020-0024 be deferred to the hearing date of January 26, 2021.

CARRIED

NEW CONSENT APPLICATIONS

(1)

B-2020-0023 **FIRST GULF BUSINESS PARK INC.**

PT. OF BLK 2, PLAN M-947
70 BISCAYNE CRES
WARD 3

The purpose of the application is to request the consent of the Committee for a lease in excess of 21 years of a portion of a parcel of land currently having a total area of approximately 41121.38 square
2020 12 01

Committee of Adjustment Minutes

metres (10.16 acres). The land to be leased has an area of approximately 537.38 square metres (0.13 acres) occupied by a commercial building (Wendy's and Tim Hortons Restaurant). The effect of the application is to facilitate a long term lease between the owner of the lands, First Gulf Business Park Inc. and the TDL Group Corp.

Mr. Raphael Romeral, Dhillon Consulting, authorized agent for the applicant, presented application B-2020-0023 briefly explaining the purpose of the proposal for a long term lease including that there will be no physical changes to the site.

Committee was informed that City of Brampton planning staff had no objection to the approval of application B-2020-0023 from a planning land use perspective, with conditions.

The comments and recommendations of the commenting agencies were read out.

Mr. Romeral indicated that the proposed conditions were acceptable.

The Committee, having regard to those matters under subsection 51(24) of the *Planning Act* R.S.O. 1990, c P.13, as amended and having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

Moved by: A. C. Marques

Seconded by: D. Colp

THAT application B-2020-0023 to facilitate a long term lease in excess of 21 years between the owner of the lands, First Gulf Business Park Inc. and the TDL Group Corp be approved for the following reasons and subject to the following conditions:

1. The Secretary-Treasurer shall have been satisfied that the following conditions have been fulfilled within one year of the mailing date noted below and the Secretary-Treasurer's Certificate under the Planning Act shall be given:
 - a. A Secretary-Treasurer's certificate fee shall be paid, in the amount current at the time of the issuance of the Secretary-Treasurer's Certificate;
 - b. Approval of the draft reference plan(s), as applicable, shall be obtained at the Committee of Adjustment office, and; the required number of prints of the resultant deposited reference plan(s) shall be received;
2. That arrangements satisfactory to the Region of Peel, Public Works Department shall be made with respect to the long term lease agreement.

REASONS:

1. This decision reflects that regard has been had to those matters to be regarded under the Planning Act, in as much as the dimensions and shape of the lot are adequate for the uses proposed.
2. Subject to the imposed conditions, the consent to the conveyance will not adversely affect the existing or proposed development.

CARRIED

(2)

MEMBER R. CHATHA DECLARED A CONFLICT OF INTEREST ON APPLICATION B-2020-0025 AND DID NOT PARTICIPATE IN THE DISCUSSION

B-2020-0025

TACC HOLBORN CORPORATION

PT. OF LOT 4, CONC. 10 ND
100 ROCKSPUR COURT
WARD 8

The purpose of the application is to request the consent of the Committee to the grant of an easement having a width of approximately 11 metres (36.09 feet), a depth of approximately 105.69 metres (346.75 feet) and an area of approximately 1,133 square metres (12195.51 square feet). The effect of the application is to create an access easement over Block 140 on Plan 43M-2092 in favour of Block 139 on Plan 43M-2092.

Ms. Lauren Capilongo, Malone Given Parsons, authorized agent for the applicant, presented application B-2020-0025 briefly outlining the purpose of the proposal to create an access easement. She informed Committee that Block 140 is going through the site plan approval process and that through that process it was identified that the access easement was required.

Committee was informed that City of Brampton planning staff had no objection to the approval of application B-2020-0025 from a planning land use perspective, with conditions.

The comments and recommendations of the commenting agencies were read out.

Ms. Capilongo indicated that the proposed conditions were acceptable.

The Committee, having regard to those matters under subsection 51(24) of the *Planning Act* R.S.O. 1990, c P.13, as amended and having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

Moved by: R. Power

Seconded by: D. Colp

THAT application A-2020-0025 to create an access easement over Block 140 on Plan 43M-2092 in favour of Block 139 on Plan 43M-2092 be approved for the following reasons and subject to the following conditions:

1. The Secretary-Treasurer shall have been satisfied that the following conditions have been fulfilled within one year of the mailing date noted below and the Secretary-Treasurer's Certificate under the Planning Act shall be given:
 - a. A Secretary-Treasurer's certificate fee shall be paid, in the amount current at the time of the issuance of the Secretary-Treasurer's Certificate;
 - b. Approval of the draft reference plan(s), as applicable, shall be obtained at the Committee of Adjustment office, and; the required number of prints of the resultant deposited reference plan(s) shall be received.

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REASONS:

1. This decision reflects that regard has been had to those matters to be regarded under the Planning Act, in as much as the dimensions and shape of the lot are adequate for the uses proposed.
2. Subject to the imposed conditions, the consent to the conveyance will not adversely affect the existing or proposed development.

CARRIED

DEFERRED CONSENT APPLICATIONS

MEMBER R. CHATHA DECLARED A CONFLICT OF INTEREST ON APPLICATION B-2020-0019 AND DID NOT PARTICIPATE IN THE DISCUSSION

(3)

B-2020-0019

CANON CANADA INC.

PART OF LOT 1, CONC. 5 WHS
8000 MISSISSAUGA ROAD
WARD 6

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 74203.8 square metres (7.42 hectares). The effect of the application is to create a new lot having frontage of approximately 244.18 metres (800.85 feet), a depth of approximately 127.20 metres (417.32 feet) and an area of approximately 30,220.4 square metres (3.02 hectares); together with a mutual access easement for the proposed severed and retained parcels. The proposed severed lands are excess to Canon's needs. No new development is proposed as part of this consent application.

Mr. David Ashbourne, The Lakeshore Group, authorized agent for the applicant, presented application B-2020-0019 explaining that the application was previously deferred at the October 20, 2020 meeting because staff had requested that an access easement be provided. He explained that the severance of the property at the north will allow the property at the south to exist wholefully confirming that no development is proposed for the vacant parcel.

Committee was informed that City of Brampton planning staff had no objection to the approval of application B-2020-0019 from a planning land use perspective subject to conditions.

The comments and recommendations of the commenting agencies were read out.

Mr. Ashbourne indicated that the proposed conditions were acceptable.

The Committee, having regard to those matters under subsection 51(24) of the *Planning Act* R.S.O. 1990, c P.13, as amended and having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

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Moved by: A.C. Marques

Seconded by: D. Colp

THAT application B-2020-0019 to create a new lot having frontage of approximately 244.18 metres (800.85 feet), a depth of approximately 127.20 metres (417.32 feet) and an area of approximately 30,220.4 square metres (3.02 hectares); together with a mutual access easement for the proposed severed and retained parcels be approved for the following reasons and subject to the following conditions:

1. The Secretary-Treasurer shall have been satisfied that the following conditions have been fulfilled within one year of the mailing date noted below and the Secretary-Treasurer's Certificate under the Planning Act shall be given:
 - a. A Secretary-Treasurer's certificate fee shall be paid, in the amount current at the time of the issuance of the Secretary-Treasurer's Certificate;
 - b. Approval of the draft reference plan(s), as applicable, shall be obtained at the Committee of Adjustment office, and; the required number of prints of the resultant deposited reference plan(s) shall be received;
2. That arrangements satisfactory to the Region of Peel, Public Works Department shall be made with respect to the location of existing and installation of new services and/or possible required private service easements.

REASONS:

1. This decision reflects that regard has been had to those matters to be regarded under the Planning Act, in as much as the dimensions and shape of the lot are adequate for the uses proposed.
2. Subject to the imposed conditions, the consent to the conveyance will not adversely affect the existing or proposed development.

CARRIED

NEW MINOR VARIANCE APPLICATIONS

(4)

A-2020-0057

**MARIA FRANCESCA DE PINTO AND
CHRISTOPHER EDWARD ROGACKI**

**LOT 288, PLAN 810
24 FLAVIAN CRESCENT
WARD 8**

The applicants are requesting the following variance(s):

1. To permit a rear yard setback of 7.8m (25.60 ft.) to a proposed second storey addition whereas the by-law requires a minimum rear yard setback of 8.1m (26.57 ft.)

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2. To permit an existing accessory structure (shed) having a gross floor area of 22.9 sq. m (246.50 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
3. To permit 0.0m setback to an existing play structure (recreational facility) whereas the by-law requires a minimum setback of 1.2m (3.94 ft.) to the lot line;
4. To permit a 0.0m setback to the eaves on an existing accessory structure whereas the by-law requires a minimum setback of 0.1m (0.33 ft.) or a maximum encroachment of 0.5m (1.64 ft.);
5. To permit an existing fence in the rear yard having a maximum height of 3.05m (10 ft.) whereas the by-law permits a fence in the rear yard to a maximum height of 2m (6.56 ft.).

Ms. Erin Zagar, EZ Dimensions, authorized agent for the applicant, presented application A-2020-0057 briefly outlining the variances requested for a proposed second storey addition on an existing one storey bungalow. Ms. Zagar detailed the additional variances related to existing accessory structures on the property as well as an existing fence.

Committee acknowledged receipt of a petition of support from the surrounding residents.

Committee was informed that City of Brampton planning staff was in support of this application with conditions.

Ms. Zagar posed a question related to proposed condition number 3 inquiring if the building permit for the shed could be included with the building permit for the addition. Staff suggested that the applicant reach out to staff within the building division and advice that they would like to have the permits compressed.

Ms. Zagar indicated that the proposed conditions were acceptable.

The Committee, having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

Moved by: R. Power

Seconded by: D. Colp

THAT application A-2020-0057 to permit a rear yard setback of 7.8m (25.60 ft.) to a proposed second storey addition; to permit an existing accessory structure (shed) having a gross floor area of 22.9 sq. m (246.50 sq. ft.); to permit 0.0m setback to an existing play structure (recreational facility); to permit a 0.0m setback to the eaves on an existing accessory structure and to permit an existing fence in the rear yard having a maximum height of 3.05m (10 ft.) be approved for the following reasons and subject to the following conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;

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2. That roof drainage from the accessory structure shall flow onto the applicant's property;
3. That the applicant obtain a building permit for the accessory structure within sixty (60) days of the final date of the Committee's decision, or within an extended period of time at the discretion of the Chief Building Official;
4. That drainage on adjacent properties shall not be adversely affected;
5. That the accessory structure (shed) shall not be used as habitable space;
6. That the owner finalize site plan approval under City File SPA-2020-0129, and if required, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services;
7. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Reasons: The decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and City of Brampton Official Plan are maintained and the variance is minor.

CARRIED

(5)

A-2020-0119

CHRISTINE MERRIFIELD

PT. OF LOTS 27 & 28, PLAN BR-2
13 SCOTT STREET
WARD 1

The applicant is requesting a variance to permit the expansion of an existing legal non-conforming use (duplex) by adding one (1) additional unit in the basement of the existing dwelling resulting in a total of three (3) dwelling units whereas the by-law does not permit the proposed additional unit.

Ms. Christine Merrifield, applicant and owner of the property, presented application A-2020-0119 briefly outlining the variance requested. She explained that she purchased her home in 1984 which at the time was a legal non-conforming 2 and a half storey duplex. Ms. Merrifield added that there was a finished basement when she purchased the home noting that the original owners did get permission for the finished basement but did not have the basement apartment registered. She commented that she is requesting that her building be considered as a legal triplex. Ms. Merrifield detailed a number of improvements she has made to her home over the years.

Committee acknowledged receipt of a letter dated November 30, 2020 from Toronto and Region Conservation Authority indication no objection to the application.

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Committee was informed that City of Brampton planning staff was in support of this application with conditions. Staff confirmed that the building is a legal non-conforming duplex and that the request is for an expansion of that legal non-conforming use to allow a third unit in the basement.

Zoning Staff explained that this is a unique situation where the use as a duplex is legal non-conforming because it was constructed as a permitted use at the time that the by-law allowed a duplex dwelling, back in the 1960's. Staff confirmed that prior to 1968 multiple units up to a maximum of 4 were permitted noting that there is a building permit on record for a finished basement which was not to be used as a separate dwelling unit. Staff advised that there are also records indicating that the basement has been occupied as a third dwelling unit dating back to the early 1970's and 1980's.

Staff explained that the request today is to legalize the third unit which has been used as a third dwelling unit since prior to 1994. Staff added that because it is a third unit that pre-dates July, 1994 it falls under the jurisdiction of the Fire Department as opposed to the Building Code. Staff informed Committee that if it clears fire safety inspection for fire code compliance then no further building code compliance is necessary. Staff expressed that in this instance we are expanding a legal non-conforming use rather than granting a new use.

Ms. Merrifield indicated that the proposed condition was acceptable stating that the fire department can come in to check commenting that this is her home and she has everything she needs in terms of fire protection.

The Committee, having considered the comments and recommendations of the commenting agencies, the proposed draft condition and the evidence heard at the meeting, reached the following decision:

Moved by: R. Power

Seconded by: D. Doerfler

THAT application A-2020-0119 variance to permit the expansion of an existing legal non-conforming use (duplex) by adding one (1) additional unit in the basement of the existing dwelling resulting in a total of three (3) dwelling units be approved for the following reasons and subject to the following condition:

1. The owner shall arrange for a fire safety inspection to be completed by Brampton Fire and Emergency Services within sixty (60) days of the final date of the Committee's decision, or within an extended period of time at the discretion of the Chief Building Official and obtain any required permits, to the satisfaction of the Chief Building Official.

Reasons: The decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and City of Brampton Official Plan are maintained and the variance is minor.

CARRIED

(6)

A-2020-0120

HARKANWAR SINGH AND
HARKIRAN GULATI

LOT 218, PLAN 742
693 BALMORAL DRIVE
WARD 7

The applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an interior side yard setback of 2.06m (6.76 ft.) to an exterior stairway leading to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 3.0m (9.84 ft.).

Mr. Ismatullah Amiri, Nesta Design Co., authorized agent for the applicant, presented application A-2020-0120 briefly outlining the variances requested.

Committee was informed that City of Brampton planning staff was in support of this application with conditions.

Mr. Amiri indicated that the proposed conditions were acceptable.

The Committee, having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

Moved by: D. Colp

Seconded by: A. C. Marques

THAT application A-2020-0120 to permit an exterior stairway leading to a below grade entrance in the required interior side yard and to permit an interior side yard setback of 2.06m (6.76 ft.) to an exterior stairway leading to a below grade entrance be approved for the following reasons and subject to the following conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the below grade entrance shall not be used to access an unregistered second unit;
3. That the accessory structure identified as “existing shed” be removed and said removal be demonstrated within sixty (60) days of the final date of the Committee’s decision, or within an extended period of time as extended by the Director of Development Services;
4. That drainage on adjacent properties shall not be adversely affected; and

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5. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Reasons: The decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and City of Brampton Official Plan are maintained and the variance is minor.

CARRIED

(7)

A-2020-0123

**SHERIDAN COLLEGE INSTITUTE OF
TECHNOLOGY AND ADVANCED
LEARNING**

**PT. OF LOT 15, CONC. 1 WHS
7899 MCLAUGHLIN ROAD
WARD 4**

The applicant is requesting the following variance(s):

1. To permit outdoor festivals and special events that are not accessory to the permitted college use whereas the by-law permits a college and accessory uses only.

Ms. Kelly Jackson, Sheridan College, authorized agent for the applicant, presented application A-2020-0123 briefly outlining the variance requested. She advised that Sheridan is a pillar in the Brampton community and its' grounds have served for several community and cultural events throughout the years. She explained that in 2019 it was brought to the attention of the institution that the property was inadequately zoned to use the grounds for accessory use. She added that no outside construction of any kind is proposed.

Committee acknowledged receipt of a letter dated November 26, 2020 from Credit Valley Conservation indicating no objection to the application.

Committee was informed that City of Brampton planning staff was in support of this application with no conditions proposed.

The Committee, having considered the comments and recommendations of the commenting agencies, and the evidence heard at the meeting, reached the following decision:

Moved by: A. C. Marques

Seconded by: D. Doerfler

THAT application A-2020-0123 be approved for the following reasons:

Reasons: The decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building or structure referred to in the application, and

Committee of Adjustment Minutes

2. The general intent and purpose of the zoning by-law and City of Brampton Official Plan are maintained and the variance is minor.

CARRIED

(8)

A-2020-0124

VIDOLL REGISFORD

PT. OF LOT 34, PLAN BR-2
56 JOHN STREET
WARD 3

The applicant is requesting a variance to permit a portion of the rear yard to be paved for the purpose of parking (as existing) whereas the by-law does not permit the rear yard to be paved for the purpose of parking except on a driveway leading to a garage.

Mr. Shane Edwards, Huis Design Studio, authorized agent for the applicant, presented application A-2020-0124 briefly outlining the variance requested associated with the existing paved area in the rear yard which spans the width of the property. He noted that there is no driveway for 56 John Street but a legalized shared right-of-way with the exiting property at 62 John Street. Mr. Edwards advised that his client purchased the property in 2012 noting that the parking area existed before that estimating it to be there since at least 1993.

Committee was informed that City of Brampton planning staff was in support of this application with conditions

Mr. Edwards indicated that the proposed conditions were acceptable pointing out that the site plan includes a proposed detached garage.

The Committee, having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

Moved by: D. Colp

Seconded by: D. Doerfler

THAT application A-2020-0124 to permit a portion of the rear yard to be paved for the purpose of parking (as existing) be approved for the following reasons and subject to the following conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the owner finalize site plan approval under City File SPA-2020-0119, and if required, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services; and
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Reasons: The decision reflects that in the opinion of the Committee:

Committee of Adjustment Minutes

1. The variance authorized is desirable for the appropriate development or use of the land, building or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and City of Brampton Official Plan are maintained and the variance is minor.

CARRIED

(9)

A-2020-0125

WILLIAM AND LORNA WATTERSON

PT. OF LOTS 1 & 2, PLAN BR-3
17 FREDERICK STREET
WARD 3

The applicants are requesting the following variance(s):

1. To permit an interior side yard setback of 0.65m (2.1 ft.) to a proposed second storey addition whereas the by-law requires a minimum interior side yard setback of 1.8m (5.9 ft.);
2. To permit a rear yard setback of 4.64m (15.25 ft.) whereas the by-law requires a minimum rear yard setback of 7.5m (24.60 ft.);
3. To permit a roof above a rear porch to encroach into the required rear yard setback of 2.94m (9.65 ft.) resulting in a setback of 4.56m (14.96 ft.) to the roof whereas the by-law permits a maximum roof encroachment of 2.0m (6.56 ft.) into the required rear yard setback resulting in a required setback of 5.5m (18.04 ft.) to a roofed porch.

Ms. Erin Zagar, EZ Dimensions, authorized agent for the applicant, presented application A-2020-0125 briefly outlining the variances associated with a proposed second storey addition. Ms. Zagar advised that a petition of support signed by the area residents was submitted.

Committee was informed that City of Brampton planning staff was in support of this application.

Ms. Zagar indicated that the proposed conditions were acceptable.

The Committee, having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

Moved by: A.C. Marques

Seconded by: D. Colp

THAT application A-2020-0125 to permit an interior side yard setback of 0.65m (2.1 ft.) to a proposed second storey addition; to permit a rear yard setback of 4.64m (15.25 ft.) and to permit a roof above a rear porch to encroach into the required rear yard setback of 2.94m (9.65 ft.) resulting in a setback of 4.56m (14.96 ft.) to the roof be approved for the following reasons and subject to the following conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;

Committee of Adjustment Minutes

2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Reasons: The decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and City of Brampton Official Plan are maintained and the variance is minor.

CARRIED

(10)

A-2020-0126

GERARD HARRICHARAN

LOT 379, PLAN 625
24 ALLENDALE ROAD
WARD 3

The applicant is requesting the following variance(s):

1. To permit lot coverage of 37.47% whereas the by-law permits a maximum lot coverage of 30%:
2. To permit an existing accessory structure (shed) having a setback of 0.30m (0.98 ft.) to the rear and side lot lines whereas the by-law requires an accessory structure to be located no closer than 0.60m (1.97 ft.) to the nearest lot line.

Mr. Ravinder Singh, AEM Designs, authorized agent for the applicant, presented application A-2020-0126 briefly outlining the variances requested. He advised that a carport is proposed noting that there is no garage on the property.

Committee was informed that City of Brampton planning staff was in support of this application with conditions.

Mr. Singh indicated that the proposed conditions were acceptable.

The Committee, having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

Moved by: D. Colp

Seconded by: R. Power

THAT application A-2020-0126 to permit lot coverage of 37.47% and to permit an existing accessory structure (shed) having a setback of 0.30m (0.98 ft.) to the rear and side lot lines be approved for the following reasons and subject to the following conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;

Committee of Adjustment Minutes

2. That drainage on adjacent properties shall not be adversely affected; and
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Reasons: The decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and City of Brampton Official Plan are maintained and the variance is minor.

CARRIED

(11)

A-2020-0127

ANUM RAUF

LOT 131, PLAN M-1896
1 ELMCREST DRIVE
WARD 4

The applicant is requesting a variance to permit an exterior side yard setback of 3.35m (11 ft.) to an enclosed below grade entrance whereas the by-law requires a minimum exterior side yard setback of 4.5m (14.76 ft.).

Ms. Anum Rauf, applicant and owner of the property, presented application A-2020-0127 briefly outlining the variances requested associated with a below grade entrance. She explained that she has resided at the property for several years and spoke of other improvements she has planned for the property in the future.

Committee was informed that City of Brampton planning staff was in support of this application with conditions.

Ms. Rauf indicated that the proposed conditions were acceptable.

The Committee, having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

Moved by: D. Colp

Seconded by: D. Doerfler

THAT application A-2020-0127 to permit an exterior side yard setback of 3.35m (11 ft.) to an enclosed below grade entrance be approved for the following reasons and subject to the following conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;

Committee of Adjustment Minutes

2. That the applicant shall extend fencing having a maximum height of 2m along the exterior side lot line to screen the below grade entrance from view from Dusk Drive in a manner satisfactory to the Director of Development Services.
3. That the below grade entrance shall not be used to access an unregistered second unit;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Reasons: The decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and City of Brampton Official Plan are maintained and the variance is minor.

CARRIED

(12)

A-2020-0128

2581558 ONTARIO INC.

PT. OF BLOCK C, PLAN 518
72 ORENDA ROAD
WARD 3

The applicant is requesting the following variance(s):

1. To permit a Motor Vehicle Sales Establishment in conjunction with the existing Motor Vehicle Repair Shop whereas the By-law does not permit the proposed use;
2. To permit an existing accessory structure having a gross floor area of 246 sq. m (2647.92 sq. ft.) whereas the by-law permits a maximum gross floor area of 100 sq. m (1076.39 sq. ft.) for an accessory structure used for purposes other than an office;
3. To permit an interior side yard setback of 2.9m (9.51 ft.) to an existing accessory structure whereas the by-law requires a minimum interior side yard setback of 3.0m (9.84 ft.) for an accessory structure to any lot line.

Ms. Taranjeet Grewal, Glen Schnarr & Associates Inc., authorized agent for the applicant, presented application A-2020-0128 briefly outlining the variances requested. She advised that that they have been retained to advance a minor variance application for motor vehicle sales and to bring the existing accessory structure into zoning conformance.

Committee was informed that City of Brampton planning staff was in support of this application with conditions.

Ms. Grewal indicated that the proposed conditions were acceptable.

Committee of Adjustment Minutes

The Committee, having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

Moved by: D. Colp

Seconded by: D. Doerfler

THAT application A-2020-0128 to permit a Motor Vehicle Sales Establishment in conjunction with the existing Motor Vehicle Repair Shop; to permit an existing accessory structure having a gross floor area of 246 sq. m (2647.92 sq. ft.) and to permit an interior side yard setback of 2.9m (9.51 ft.) to an existing accessory structure be approved for the following reasons and subject to the following conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice, and the number of vehicles for sale shall not exceed five (5);
2. That the motor vehicle sales use shall only be permitted in conjunction with a licensed motor vehicle repair shop;
3. That the applicant obtain a building permit for the accessory structure within sixty (60) days of the final date of the Committee's decision, or within an extended period of time at the discretion of the Chief Building Official;
4. That all outdoor storage related to a business not operating from a building on the property shall be removed prior to the establishment of the motor vehicle sales use that any outdoor storage of materials shall only be permitted in conjunction with a business operating within a building on the same lot;
5. That no outdoor storage is permitted in the front yard with the exception of five (5) display vehicles;
6. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Reasons: The decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and City of Brampton Official Plan are maintained and the variance is minor.

CARRIED

(13)

A-2020-0129

RAGHBIR UBHI

LOT 11, PLAN M-90
8 TORTOISE COURT
WARD 10

The applicant is requesting the following variance(s):

1. To permit an accessory structure (shed) having a gross floor area of 48.25 sq. m (519.36 sq. ft.) whereas the by-law permits a maximum gross floor area of 23 sq. m (247.60 sq. ft.) for an individual accessory structure;
2. To permit an accessory structure (cabana) having a gross floor area of 123.55 sq. m (1329.88 sq. ft.) whereas the by-law permits a maximum gross floor area of 23 sq. m (247.60 sq. ft.) for an individual accessory structure;
3. To permit a combined gross floor area of 171.8 sq. m (1849.24 sq. ft.) for two (2) accessory structures (shed and cabana) whereas the by-law permits a maximum combined gross floor area of 40 sq. m (430.56 sq. ft.);
4. To permit a fence in the front yard having a maximum height of 2.69m (8.83 ft.) whereas the by-law permits a fence in the front yard to a maximum height of 1.0m (3.28 ft.).

Ms. Elen Abunahla, Antara Design, authorized agent for the applicant, presented application A-2020-0129 briefly outlining the variances requested.

Committee was informed that City of Brampton planning staff was in support of this application with conditions. Staff requested two additional conditions contained in the comments received from Toronto and Region Conservation Authority be included.

Committee acknowledged receipt of a letter dated November 27, 2020 from Toronto and Region Conservation Authority indicating no objection to the application.

Ms. Abunahla indicated that the proposed conditions, as amended, were acceptable.

The Committee, having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

Moved by: R. Power

Seconded by: D. Colp

THAT application A-2020-0129 to permit an accessory structure (shed) having a gross floor area of 48.25 sq. m (519.36 sq. ft.); to permit an accessory structure (cabana) having a gross floor area of 123.55 sq. m (1329.88 sq. ft.); to permit a combined gross floor area of 171.8 sq. m (1849.24 sq. ft.) for two (2) accessory structures (shed and cabana) and to permit a fence in the front yard having a maximum height of 2.69m (8.83 ft.) be approved for the following reasons and subject to the following conditions:

Committee of Adjustment Minutes

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the proposed cabana be of an open style construction;
3. That the drainage from the open, roofed structure and all accessory structures be directed onto the subject property and drainage on adjacent properties not be adversely impacted;
4. That the existing open style fencing shall not be replaced by a solid or opaque form of fencing;
5. That the applicant submits a TRCA permit application (Application for Development, Interference with Wetlands & Alterations to Shorelines and Watercourses-Ontario Regulation 166/06) and the associated review fee of \$210 (Works on Private Residential Property – Minor Ancillary);
6. That the applicant submits the required review fee of \$580 (Variance-Residential-Minor) to TRCA; and
7. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Reasons: The decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and City of Brampton Official Plan are maintained and the variance is minor.

CARRIED

(14)

A-2020-0130

YATIN PRAJAPATI AND
JAVNIKA PRAJAPATI

PT. OF LOT 25, PLAN 43M-1303
PT. 28, PLAN 43R-23396
148 MOUNTAINBERRY ROAD
WARD 10

The applicants are requesting the following variance(s):

1. To permit a below grade entrance to be located between the main wall of a dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance to be located between the main wall of a dwelling and the flankage lot line.

Mr. Saumil Bhatt, authorized agent for the applicant, presented application A-2020-0130 briefly outlining the variances requested for a below grade entrance.

Committee of Adjustment Minutes

Committee was informed that City of Brampton planning staff was in support of this application with conditions.

Mr. Bhatt indicated that the proposed conditions were acceptable.

The Committee, having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

Moved by: R. Power

Seconded by: D. Colp

THAT application A-2020-0130 to permit a below grade entrance to be located between the main wall of a dwelling and the flankage lot line be approved for the following reasons and subject to the following conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the below grade entrance shall not be used to access an unregistered second unit;
3. That the fence remain constructed in its current location and height and shall not be removed or lowered;
4. That the applicant obtain a building permit, if required, for the below grade entrance sixty (60) days of the final date of the Committee's decision, or within an extended period of time at the discretion of the Chief Building Official;
5. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Reasons: The decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and City of Brampton Official Plan are maintained and the variance is minor.

CARRIED

DEFERRED MINOR VARIANCE APPLICATION

(15)

A-2020-0082

AGNIESZKA SZPALA

PT. LOT 15, CONC. 3 WHS
0 CHURCHVILLE ROAD
WARD 6

The applicant is proposing construction of a new detached dwelling and is requesting a variance(s):

Committee of Adjustment Minutes

1. To permit an interior side yard setback of 1.2m (3.94 ft.) whereas the by-law requires a minimum interior side yard setback of 7.5m (24.60 ft.).

Mr. Alexander Temporale, ATA Architects authorized agent for the applicant, presented application A-2020-0082 briefly outlining the variance requested advising that the matter was previously deferred to allow staff additional time to review the arborist report. Mr. Temporale explained that since that time the owners have agreed to retain the existing trees along the border noting that the arborist report was updated to provide details on how the trees will be conserved. He added that the owner has also been in contact with the adjacent property owner and provided information on the replacement of trees if requested by staff noting that a letter would be forwarded providing more details.

Mr. Temporale explained that they have also provided detailed information regarding drainage along the southern border providing profiles and indicating that a French drain would be installed to ensure water on the subject property would be maintained on the subject property.

Committee acknowledged receipt of e-mail correspondence dated November 26, 2020 from Mike Kneebone detailing concerns regarding drainage and a letter dated November 25, 2020 from Jim Natterer stating concerns with the removal of mature trees and the installation of French drains.

It was acknowledged that there were a few people registered to participate however no one was present at the session to address Committee.

Committee was informed that City of Brampton planning staff was in support of this application with conditions. Staff expressed that regarding the concerns of the neighbours surrounding French drains that they have no knowledge on that construction practice. Staff acknowledged however that the project would be subject to building permits and a full scale review which provides staff with the opportunity to review for deficiencies.

Following discussion, Mr. Temporale indicated that the proposed conditions were acceptable.

The Committee, having considered the comments and recommendations of the commenting agencies, the proposed draft conditions and the evidence heard at the meeting, reached the following decision:

Moved by: D. Colp

Seconded by: R. Power

THAT application A-2020-0082 to permit an interior side yard setback of 1.2m (3.94 ft.) be approved for the following reasons and subject to the following conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That any works on the property shall be completely in accordance with the recommendations set out within the Tree Inventory and Protection Plan prepared by the Urban Arborist, dated November 10, 2020;

Committee of Adjustment Minutes

3. That the removal of any trees on a shared property line or adjacent property shall require written consent of the adjacent property owner, to the satisfaction of the Director of Development Services;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Reasons: The decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and City of Brampton Official Plan are maintained and the variance is minor.

CARRIED

ADJOURNMENT:

Moved by: R. Power

Seconded by: A.C. Marques

That the Committee of Adjustment hearing be adjourned at 10:23 a.m. to meet again on Tuesday, January 5, 2021.

COMMITTEE CHAIR

SECRETARY-TREASURER

Public Works

10 Peel Centre Dr.
Suite B
Brampton, ON
L6T 4B9
tel: 905-791-7800

peelregion.ca

December 14, 2020

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment,
City of Brampton
2 Wellington Street West
Brampton, ON, L6Y 4R2

**Re: Peel Region Consolidated Comments
City of Brampton Committee of Adjustment Hearing January 5th, 2021**

Dear Ms. Myers,

Regional Planning staff have reviewed the minor variance and consent applications listed on the January 5th, 2021 Committee of Adjustment Agenda. We have no objections or comments on the following applications: A-20-132B, A-20-135B, A-20-137B, A-20-139B, A-20-142B, A-20-143B.

The Region of Peel offers our comments and/or conditions on the following applications:

Regarding Minor Variance Application A-20-133B, 1 Moore Crescent

Planning – Abiral Homagain (905) 791-7800, extension 8730

Comment:

- The subject land is located in the regulated area of the Toronto and Region Conservation Authority (TRCA). We rely on the environmental expertise of the TRCA for the review of development applications located within or adjacent to the regulated area in Peel and their potential impacts on the natural environment. We therefore request that the City of Brampton Committee of Adjustment and staff consider comments from the TRCA and incorporate their requirements appropriately. Final approval of this application requires all environmental concerns to be addressed to the satisfaction of the Toronto and Region Conservation Authority (TRCA).

Regarding Minor Variance Application A-20-134B, 8951 Mississauga Road

Planning – Abiral Homagain (905) 791-7800, extension 8730

Comment:

- The subject land is located within a Core Area of the Greenlands System in Peel as identified under policy 2.3.2 of the Regional Official Plan. We rely on the environmental expertise of the Credit Valley Conservation Authority (CVC) for the review of development applications located within or adjacent to Core Areas of the Greenlands Systems in Peel and their potential impacts on the natural environment. We request that City of Brampton Committee of Adjustment and staff consider comments from the CVC and incorporate their conditions of approval appropriately. Final approval of this application requires all environmental concerns to be addressed to the satisfaction of the Credit Valley Conservation Authority (CVC).

Public Works

10 Peel Centre Dr.
Suite B
Brampton, ON
L6T 4B9
tel: 905-791-7800

peelregion.ca

- The subject land is located in the regulated area of the Credit Valley Conservation Authority (CVC). We rely on the environmental expertise of the Credit Valley Conservation Authority for the review of development applications located within or adjacent to the regulated area in Peel and their potential impacts on the natural environment. We therefore request that the City of Brampton Committee of Adjustment and staff consider comments from the Credit Valley Conservation Authority and incorporate their requirements appropriately. Final approval of this application requires all environmental concerns to be addressed to the satisfaction of the Credit Valley Conservation Authority (CVC).

Regarding Minor Variance Application A-20-138B, 100 Ace Drive

Planning – Abiral Homagain (905) 791-7800, extension 8730

Comment:

- The subject land is located in the regulated area of the Toronto and Region Conservation Authority (TRCA). We rely on the environmental expertise of the TRCA for the review of development applications located within or adjacent to the regulated area in Peel and their potential impacts on the natural environment. We therefore request that the City of Brampton Committee of Adjustment and staff consider comments from the TRCA and incorporate their requirements appropriately. Final approval of this application requires all environmental concerns to be addressed to the satisfaction of the Toronto and Region Conservation Authority (TRCA).

Best,



Abiral Homagain
Junior Planner, Development Services



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **KARLA ISABEL MELO** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 65, Plan M-1114, Part 13, Plan 43R-20429 municipally known as **42 CLOVER BLOOM ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an existing accessory structure (gazebo) located in the yard of a property occupied by a quattroplex whereas the by-law does not permit accessory structures in this zone (R2B-697);
2. To permit an existing accessory structure (gazebo) having a gross floor area of 24.12 sq. m (259.63 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, January 5, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

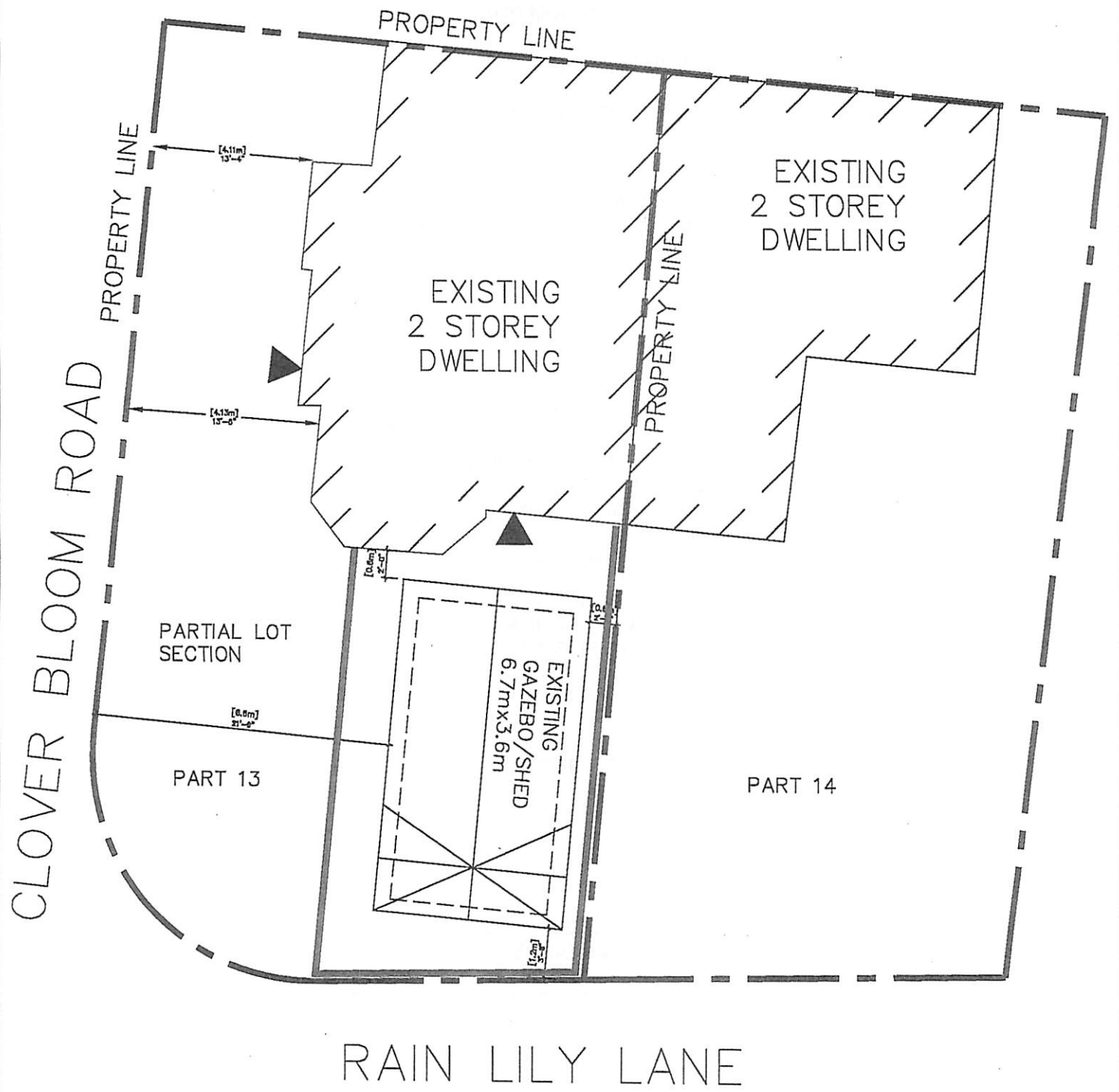
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 10th day of December, 2020.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment
City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



Project 42 CLOVER BLOOM BRAMPTON, ON L6R 1S2
Name: EXTERIOR SHED/GAZEBO DESIGN

Sheet
Title: SITE PLAN

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
Drawings are NOT to be scaled

Date: OCT 2020

Drawn By: AB

Scale: 3/16" = 1'-0"

Checked By:

9			
8			
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1	ISSUED FOR BLD PERMIT	OCT/20	AB
No.	Revision	Date	By



N. Arrow
Dwg No:

A0

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, December 18, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, December 18, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, December 18, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

FILE NUMBER: A-2020-0132

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Karla Isabel Melo
Address 42 Clover Bloom Road, L6B 1S2

Phone # 416-741-7728 Fax # _____
Email efrayka-2005@hotmail.com
2. Name of Agent Alex Borges
Address 138 Lloyd Sanderson Dr., L6Y 0Z9

Phone # 416 806-1542 Fax # _____
Email alexborges80@hotmail.com
3. Nature and extent of relief applied for (variances requested):
Home owner requesting minor variance/
permission to maintain existing
accessory building/shed which was built
not in accordance with by-law. (MS)
structure (Gazebo) having an area of 24.12m²
4. Why is it not possible to comply with the provisions of the by-law?
Home owner was not aware of size limitation
and therefore did not take into account
size
5. Legal Description of the subject land: (MS)
Lot Number 107 Lot 13 Part of Lot 6, Part Lot 13
Plan Number/Concession Number 43M 20429 Plan 43M-1114, Plan 43R-20429
Municipal Address 42 Clover Bloom Road, Brampton, ON, L6B 1S2
6. Dimension of subject land (in metric units)
Frontage 4.13 m
Depth 20.2 m
Area 733 m²
7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

- Existing dwelling of approximately 204m²
 - Existing accessory building ~~25m²~~ 24.12m² (6.7m x 3.6m) (18)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

~~Proposing to build an accessory building approximately 6.7m x 3.6m~~ (18)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 4.13m
 Rear yard setback 0m (Zero setback)
 Side yard setback 0m (Zero setback)
 Side yard setback 9.4m

PROPOSED

Front yard setback 6.6m
 Rear yard setback 11.3m
 Side yard setback 1.4m
 Side yard setback 1.4m

10. Date of Acquisition of subject land: June 30th / 2016
 11. Existing uses of subject property: Residential
 12. Proposed uses of subject property: Residential
 13. Existing uses of abutting properties: Residential
 14. Date of construction of all buildings & structures on subject land: 1995
 15. Length of time the existing uses of the subject property have been continued: 25 yrs.

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
 Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
 Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
 Ditches ☐
 Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?


Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 4th DAY OF November, 2020.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Alex Burgos, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Mississauga
IN THE Region OF
Peel THIS 10 DAY OF
November, 2020.



Signature of Applicant or Authorized Agent

Benny Noor
A Commissioner etc.

Harry Reese, L.L.B.

Barreau & Solicitor

113-120 Trench St. E.

Mississauga, ON L4Z 2H7

T: (905) 561-9777 F: (905) 568-2471

email: hreese@harryreese.com

Present Official Plan Designation:

Present Zoning By-law Classification:

R2B - 697

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Hothi S

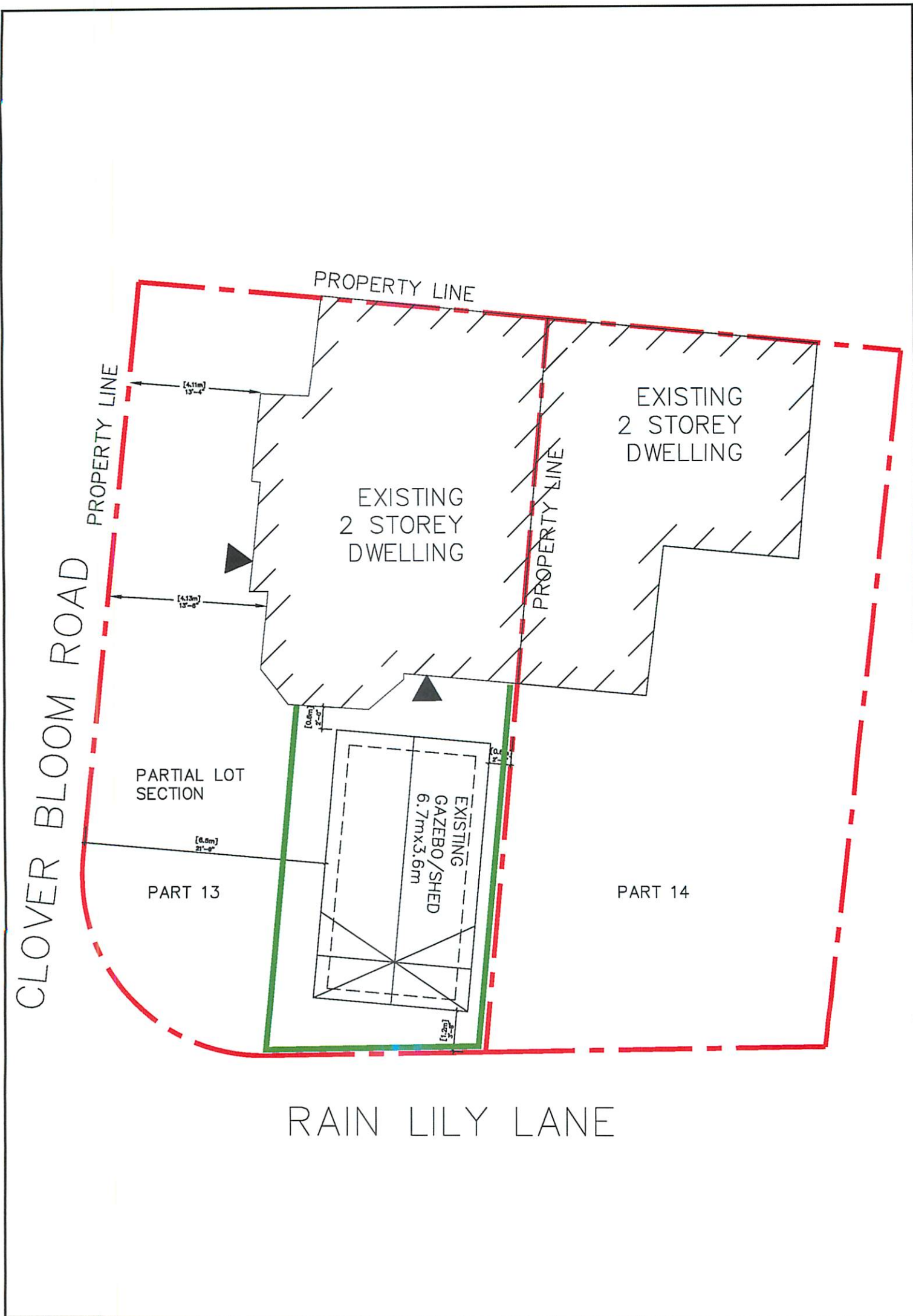
Zoning Officer

NOV. 13. 2020

Date

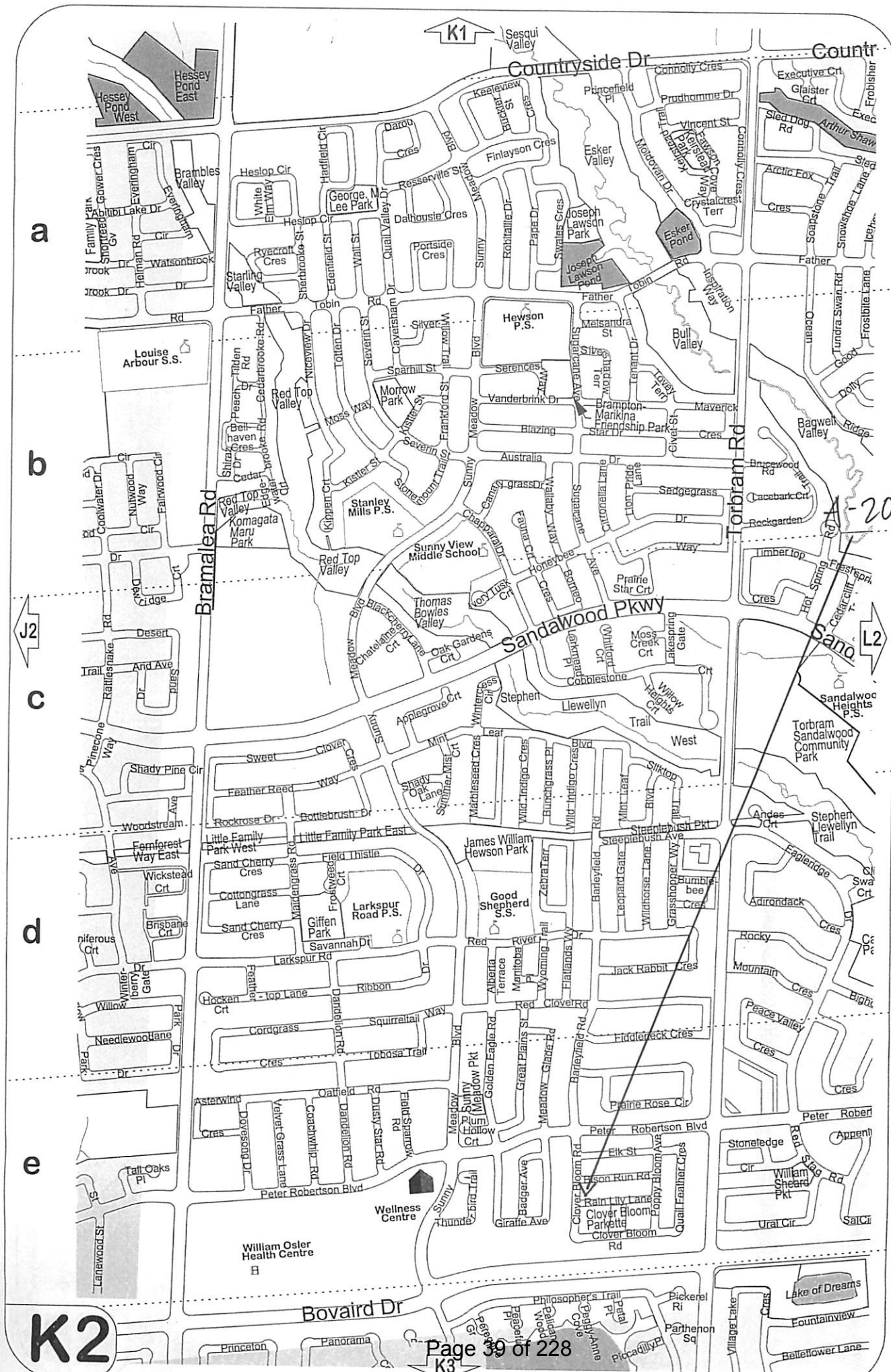
DATE RECEIVED NOVEMBER 13-2020

Revised 2020/01/07



Project 42 CLOVER BLOOM BRAMPTON, ON L6R 1S2		9				
Name: EXTERIOR SHED/GAZEBO DESIGN		8				
		7				
		6				
		5				
		4				
		3				
		2				
		1				
Sheet		No.		Revision	Date	By
Title: SITE PLAN		1		ISSUED FOR BLD PERMIT	OCT/20	AB
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are NOT to be scaled.		Date: OCT 2020		Scale: 3/16" = 1'-0"		
		Drawn By: AB		Checked By:		

N. Arrow
Dwg No:
A0



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b

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d

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K2

K1

K3

A-2020-0132

Filing Date: November 12, 2020

Hearing Date: January 5, 2021

File: A-2020-0132

**Owner/
Applicant:** KARLA ISABEL MELO

Address: 42 Clover Bloom Road

Ward: 9

Contact: Shelby Swinfield, Planner I, Development

Recommendations:

That application A-2020-0132 is supportable, subject to the following conditions being imposed:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the gazebo be of an open style construction and shall not be enclosed;
3. That the applicant obtain a building permit for the gazebo within 60 days of the final date of the Committee's decision, or within an extended period of time at the discretion of the Chief Building Official; and
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Background:

Existing Zoning:

The property is zoned "Residential Extended Zone – Special Section 697 (R2B-697)", according to By-law 270-2004, as amended.

Requested Variance:

The applicant is requesting the following variances:

1. To permit an existing accessory structure (gazebo) located in the yard of a property occupied by a quattroplex whereas the by-law does not permit accessory structures in this zone (R2B-697);

2. To permit an existing accessory structure (gazebo) having a gross floor area of 24.12 sq. m (259.63 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure.

Current Situation:

1. Conforms to the Intent of the Official Plan

The property is designated "Residential" in the Official Plan and "Medium Density Residential" in the Springdale Secondary Plan (Area 2). The requested variances are not considered to have significant impacts within the context of the Official Plan. Subject to the recommended conditions of approval, the requested variances are considered to maintain the general intent of the Official Plan.

2. Conforms to the Intent of the Zoning By-law

The property is zoned "Residential Extended Zone – Special Section 697 (R2B-697)", according to By-law 270-2004, as amended. Variance 1 is to permit an existing accessory structure (gazebo) located in the yard of a property occupied by a quattroplex whereas the by-law does not permit accessory structures in this zone and Variance 2 is requested to permit an existing accessory structure (gazebo) having a gross floor area of 24.12 sq. m (259.63 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure.

The intent of the by-law in prohibiting accessory structures within this zone category and in limiting the permitted size of accessory structures is to ensure that the outdoor amenity area of the quattroplex is not dominated by accessory structures. In the case of this request, the accessory structure is an unenclosed gazebo that is intended to enhance the use of the outdoor amenity space by providing shade and shelter. A condition of approval is recommended that the gazebo remain of an open style construction and shall not be enclosed to ensure that the structure does not detract from the outdoor amenity space and remains complementary to it. Subject to the recommended conditions of approval, the requested variances are considered to maintain the general intent of the Zoning By-law.

3. Desirable for the Appropriate Development of the Land

The requested variances are intended to facilitate an existing gazebo in the yard of a quattroplex. The structure is intended to complement the outdoor amenity area of the property by providing shade and shelter. Currently, the structure is not enclosed and a condition of approval is recommended that it remain that way to ensure the structure doesn't negatively impact the outdoor amenity space. Given the size of the structure, a building permit is required to ensure compliance with the Ontario Building Code, and as such a condition of approval is recommended that said permit be obtained within 60 days of the final date of the Committee's decision. Subject to the recommended conditions of approval, the requested variances are considered to be desirable for the appropriate development of the land.

4. Minor in Nature

The requested variances, to facilitate an existing oversized gazebo in the yard of a quattroplex dwelling, are not anticipated to negatively impact the function of the rear yard amenity space. Further, the size and location of the structure are not anticipated to impact adjacent properties, and given the nature of the structure there are no concerns with regard to drainage. Subject to the recommended conditions of approval, the requested variances are considered to be minor in nature.

Respectfully Submitted,

Shelby Swinfield

Shelby Swinfield, Planner I, Development



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **GARTH MANSINGH AND HELENE MANSINGH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 7, Plan 478 municipally known as **1 MOORE CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a proposed accessory structure (shed) having a gross floor area of 26.28 sq. m (282.88 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
2. To permit a combined gross floor area of 28.8 sq. m (310 sq. ft.) for two accessory structures (proposed shed and existing shed) whereas the by-law permits a maximum combined gross floor area of 23 sq. m (247.58 sq. ft.);
3. To permit an existing fence having a maximum height of 2.33m (7.64 ft.) whereas the by-law permits a fence to a maximum height of 2.0m (6.6 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, January 5, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

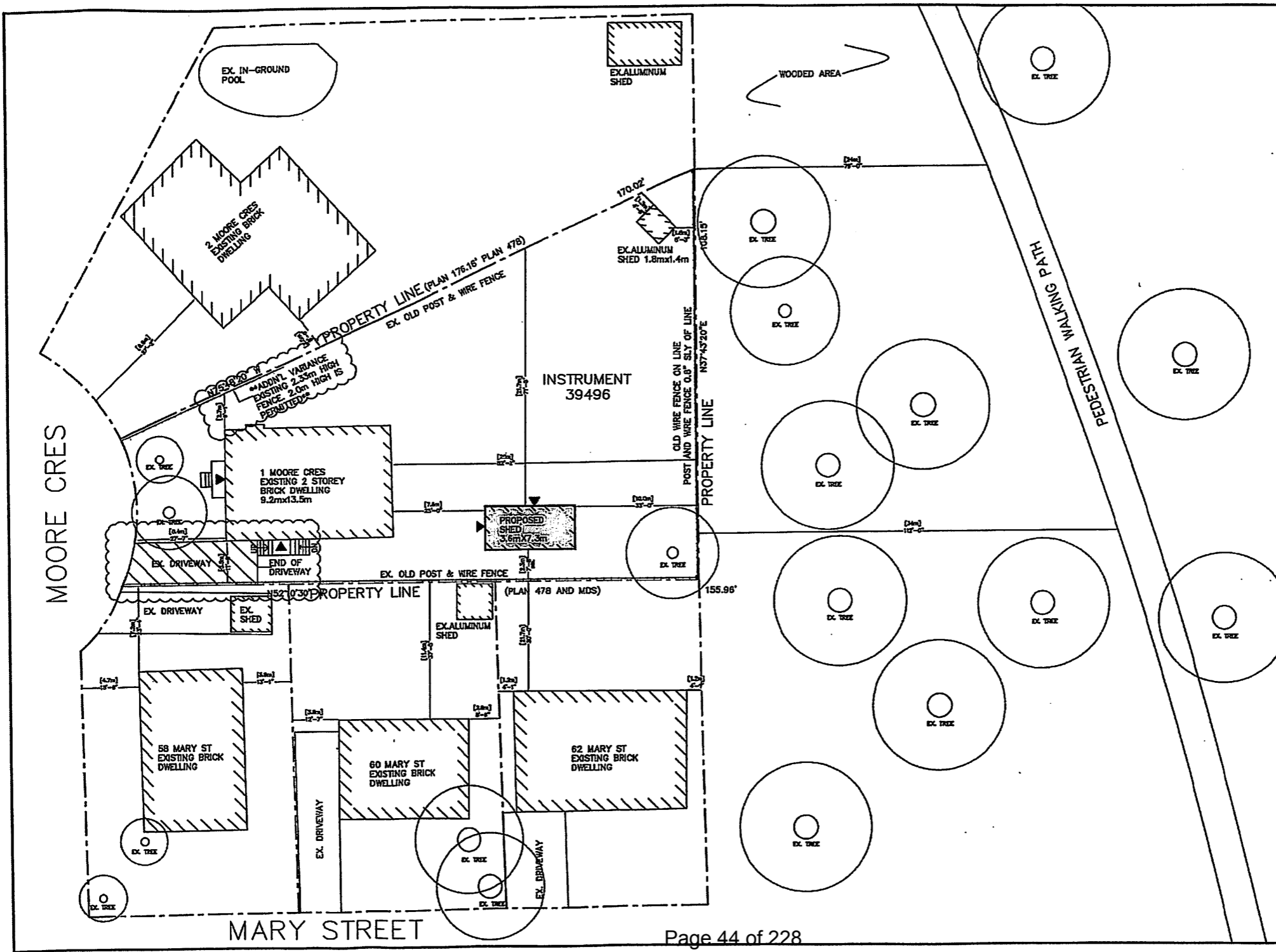
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 10th day of December, 2020.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment
City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



General Notes:

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5			
4			
3	ISSUED FOR MINOR VARIANCE	11/20	AB
2	ISSUED FOR CITY PERMIT	10/20	AB
1	ISSUED FOR TRCA PERMIT	09/20	AB
No.	Revision	Date	By

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are NOT to be stored.

North Arrow

Project MANSINGH RESIDENCE
Name: SHED DESIGN
1 MOORE CRES
BRAMPTON, ONT
L6W-1W8

Sheet Title: SITE PLAN

Drawn By: AB	Checked By: AB
Scale: NTS	Dwg.No:
Date: OCT/2020	A0
Project No.	

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, December 18, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, December 18, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, December 18, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

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AMENDMENT LETTER

December 9, 2020

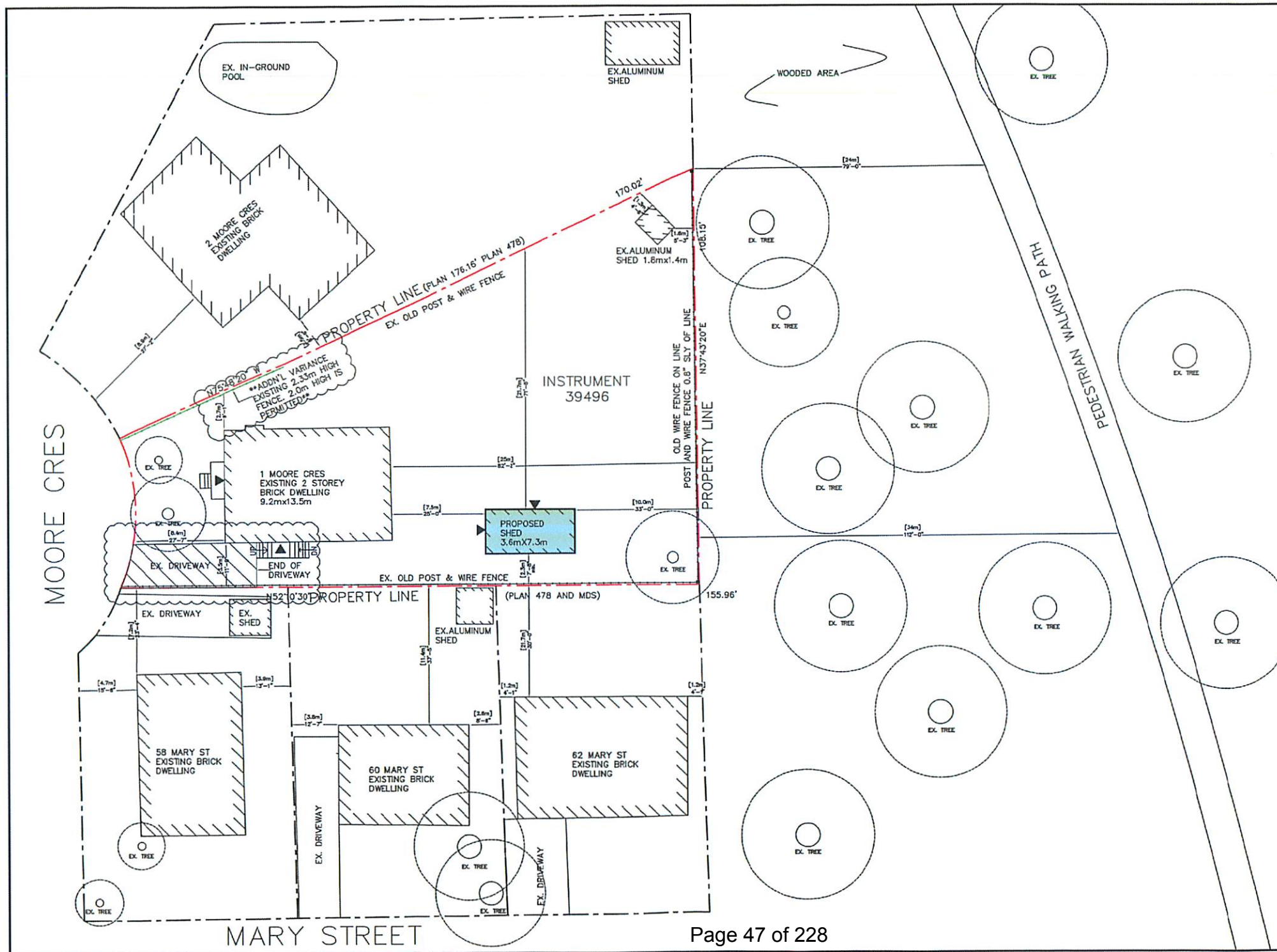
To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE
GARTH MANSINGH AND HELENE MANSINGH
LOT 7, PLAN 478
A-2020-0133 – 1 MOORE CRESCENT
WARD 3**

Please **amend** application **A-2020-0133** to reflect the following:

1. To permit a proposed accessory structure (shed) having a gross floor area of 26.28 sq. m (282.88 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
2. To permit a combined gross floor area of 28.8 sq. m (310 sq. ft.) for two accessory structures (proposed shed and existing shed) whereas the by-law permits a maximum combined gross floor area of 23 sq. m (247.58 sq. ft.);
3. To permit an existing fence having a maximum height of 2.33m (7.64 ft.) whereas the by-law permits a fence to a maximum height of 2.0m (6.6 ft.).

Alex Burgos
Applicant/Authorized Agent



General Notes:

10			
9			
8			
7			
6			
5			
4			
3	ISSUED FOR MINOR VARIANCE	11/20	AB
2	ISSUED FOR CITY PERMIT	10/20	AB
1	ISSUED FOR TRCA PERMIT	09/20	AB
No.	Revision	Date	By

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the work. Drawings are NOT to be scaled.

North Arrow

Project: MANSINGH RESIDENCE
Name: SHED DESIGN
1 MOORE CRES
BRAMPTON, ONT
L6W-1W8

Sheet: SITE PLAN
Title: SITE PLAN

Drawn By: AB
Scale: NTS
Date: OCT/2020
Project No.

Checked By: AB
Dwg.No:
A0

Flower City



brampton.ca

FILE NUMBER: A-2020-0133

The Personal Information collected on this form is collected pursuant to section 43 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Garth Mansingh Helene Mansingh
Address 1 Moore Cres, Brampton, Ont, L6W 1W8

Phone # 416-806-4509 **Fax #** _____
Email garthmansingh@gmail.com
2. **Name of Agent** Alex Burgos
Address 138 Lloyd Sanderson Drive, Brampton, L6Y 0Z9

Phone # 416-806-1542 **Fax #** _____
Email alexburgos80@hotmail.com
3. **Nature and extent of relief applied for (variances requested):**
Requesting to build a 12'x24' shed in the backyard. The reason, the home has just purchased this property and due to the size of the lot a riding tractor is required to cut the entire backyard as such the home owner needs a place to store this tractor and other gardening equipment. We have already successfully obtained a TRCA permit as this property is on their regulated fit area. In our initial application to the city, we were told that due to the shed exceeding 15 sqm or 161.5 sq. ft. we needed to apply for a minor variance.
Variance 1 - To permit the proposed accessory structure of 26.28 m2
Variance 2 - To permit the combined gross floor area of the two accessory structures. Proposed shed is 26.28m2 and existing shed which is 2.52m2 for a combined 28.8m2
4. **Why is it not possible to comply with the provisions of the by-law?**
The current by-law prohibits to build an accessory building in excess of 15 sqm or 161.5 sq. ft.

5. **Legal Description of the subject land:**
Lot Number Lot 7 (as per legal survey)
Plan Number/Concession Number Instrument 09466 **Plan No.** 478
Municipal Address 1 Moore Cres, Brampton Ontario, L6W 1W8
6. **Dimension of subject land (in metric units)**
Frontage 12.3m
Depth 47.2m
Area 1085 sqm
7. **Access to the subject land is by:**
Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐
Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

There is an existing dwelling of 232 sqm or 2500 sq. ft.

Existing aluminum shed 1.8m x 1.8m 3.3m2 Height of shed is 2.4m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

There is no existing dwelling of 232 sqm or 2500 sq. ft.

Proposing to construct a 24'x12' shed (7.3m x 3.6m) with a height of 14' (4.1m)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 8.5 m

Rear yard setback 26.2 m

Side yard setback 9.1 m

Side yard setback 4 m

PROPOSED

Front yard setback 29.8 m

Rear yard setback 10 m

Side yard setback 21.7 m

Side yard setback 2.4 m

10. Date of Acquisition of subject land: October 23, 2020
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: Original home built 1952, addition built 1969
15. Length of time the existing uses of the subject property have been continued: 68 years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Alex Burgos

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 19TH DAY OF OCTOBER, 2020.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Alex Burgos, OF THE City OF Brampton

IN THE Regional OF Peel SOLEMNLY DECLARE THAT:
Municipality

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Mississauga
IN THE Region OF
Peel THIS 24th DAY OF
October, 2020.

Barry Reese
A Commissioner etc.

Barry Reese, LL.B.

113 - 120 TRADERS BLVD. E.
MISSISSAUGA, ON L4Z 2H7

T: (905) 501-9777 F: (905) 568-2471
barry@reeselaw.ca

FOR OFFICE USE ONLY

Present Official Plan Designation:

R1B

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

ah

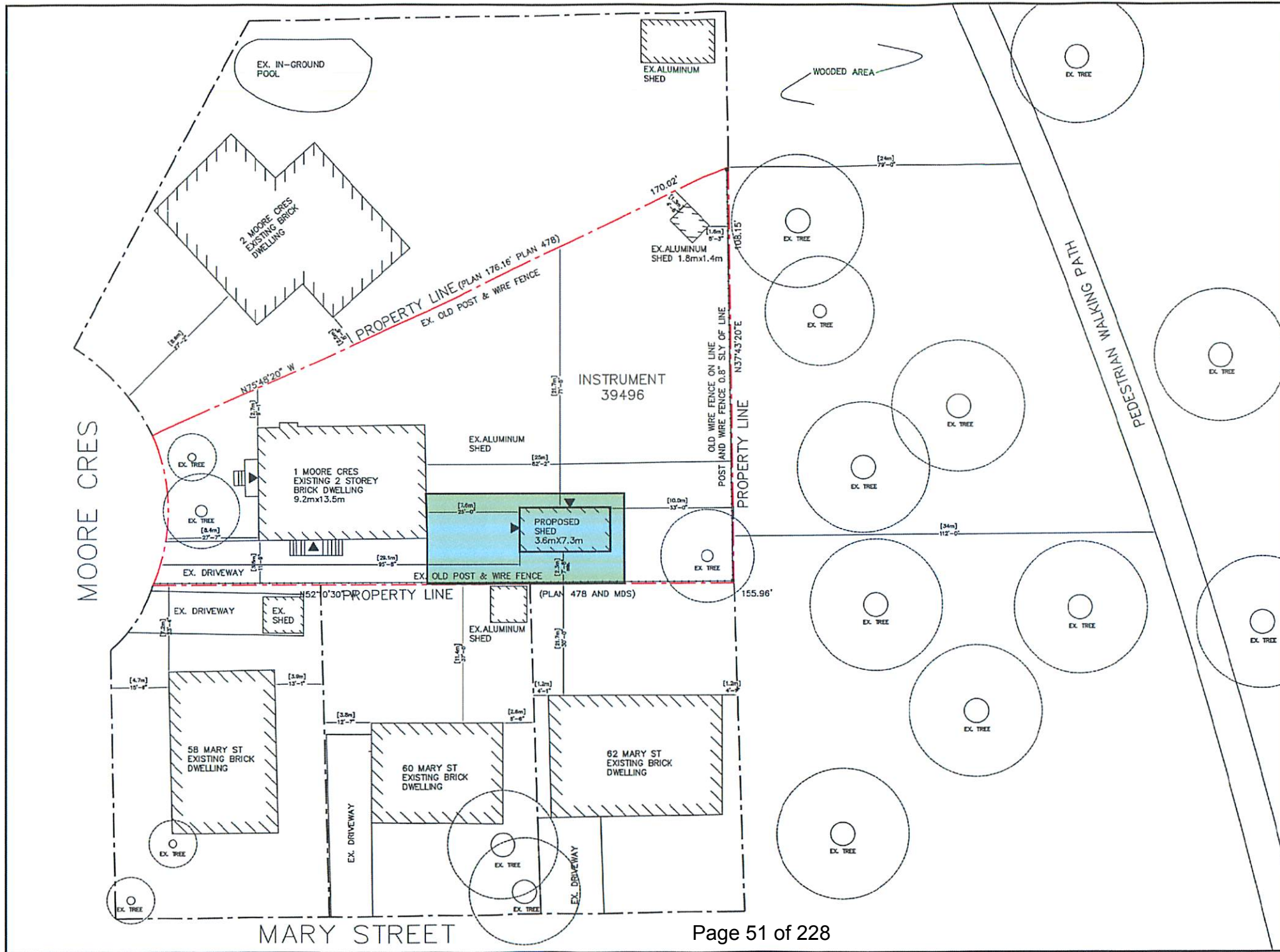
Zoning Officer

Nov 16, 2020

Date

DATE RECEIVED November 13 - 2020

Revised 2020/01/07



General Notes:

10			
9			
8			
7			
6			
5			
4			
3	ISSUED FOR MINOR VARIANCE	11/20	AB
2	ISSUED FOR CITY PERMIT	10/20	AB
1	ISSUED FOR TRCA PERMIT	09/20	AB
No.	Revision	Date	By

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are NOT to be scaled.

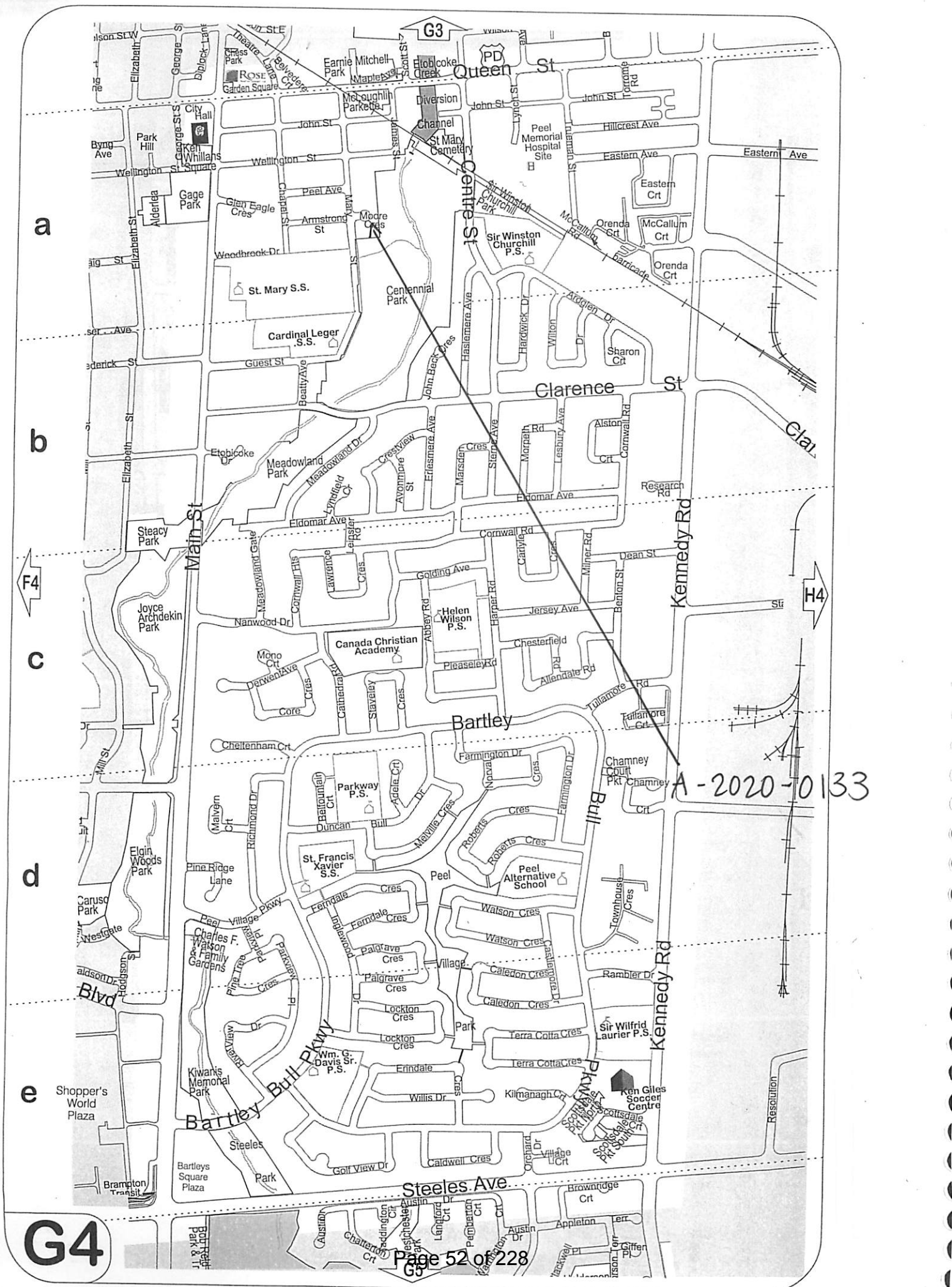
North Arrow

Project: MANSINGH RESIDENCE
 Name: SHED DESIGN
 1 MOORE CRES
 BRAMPTON, ONT
 L6W-1W8

Sheet Title: SITE PLAN

Drawn By: AB	Checked By: AB
Scale: NTS	Dwg.No:
Date: OCT/2020	
Project No.	

A0



a

b

c

d

e

F4

H4

A-2020-0133

G4

Filing Date: November 13, 2020

Hearing Date: January 5, 2021

File: A-2020-0133

**Owner/
Applicant:** **GARTH MANSINGH AND HELENE MANSINGH**

Address: **1 Moore Crescent**

Ward: 3

Contact: Shelby Swinfield, Planner I, Development

Recommendations:

That application A-2020-0133 is supportable, subject to the following conditions being imposed:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the accessory structure shall not be used as a garage as defined by the Zoning By-law;
3. That the applicant shall obtain all required permits and approvals from the Toronto and Region and Conservation Authority, to the satisfaction of said authority;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Background:

Existing Zoning:

The property is zoned "Residential Single Detached B (R1B)" according to By-law 270-2004, as amended.

Requested Variance:

The applicant is requesting the following variances:

1. To permit a proposed accessory structure (shed) having a gross floor area of 26.28 sq. m (282.88 sq. ft.) whereas the by-law permits a maximum gross floor

area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;

2. To permit a combined gross floor area of 28.8 sq. m (310 sq. ft.) for two accessory structures (proposed shed and existing shed) whereas the by-law permits a maximum combined gross floor area of 23 sq. m (247.58 sq. ft.);
3. To permit an existing fence having a maximum height of 2.33m (7.64 ft.) whereas the by-law permits a fence to a maximum height of 2.0m (6.6 ft.).

Current Situation:

1. Conforms to the Intent of the Official Plan

The property is designated “Central Area” in the Official Plan and “Low Density” in the Downtown Brampton Secondary Plan (Area 7). The requested variances are not considered to have significant implications within the context of the Official Plan policies. Subject to the recommended conditions of approval, the requested variances are considered to maintain the general intent of the Official Plan.

2. Conforms to the Intent of the Zoning By-law

The property is zoned “Residential Single Detached B (R1B)” according to By-law 270-2004, as amended.

Variances 1 and 2 are requested to permit two accessory structures on the property exceeding the maximum permitted floor area: one existing storage shed and one proposed shed.

The intent of the by-law in regulating the maximum size for two accessory structures is to ensure that the property is not dominated by accessory structures and that accessory structures remain ancillary to the primary residential use.

Given the size of the property the increased floor area of the accessory structure does not dominate the outdoor space. The use of the two accessory structures is intended to be supplementary storage for the primary dwelling. Subject to the recommended conditions of approval, Variances 1 and 2 are considered to maintain the general intent of the Zoning By-law.

Variance 3 is to permit a portion of the existing fence having a maximum height of 2.33m (7.64 ft.) whereas the by-law permits a fence to a maximum height of 2.0m (6.6 ft.). The intent of the by-law in regulating maximum fence height is to avoid creating a fortress-like feel on residential properties. This variance relates only to a portion of the fence and it is not the intention of the property owner to extend this increased height to any other portion of the fence. Given the limited scope of the portion of fence with increased height, it does not create a fortress-like appearance for the property. A condition of approval is recommended that the variances be limited to the sketch attached to the public notice to ensure that the fence is not raised in any other location. Subject to the recommended conditions of approval, Variance 3 is considered to be desirable for the appropriate development of the land.

3. Desirable for the Appropriate Development of the Land

Variances 1 and 2 are to permit one existing storage shed and one proposed storage shed, the combined floor area of which exceeds the maximum floor area permitted for a residential property.

The proposed shed is intended to be used for additional storage for the primary dwelling, including a lawn mower tractor. Staff note that while an overhead door is proposed for the front of the structure, there is no paved or gravel area leading to the door that would permit the structure to be used as a garage. A condition of approval is recommended that the structure not be used as a garage as defined by the Zoning By-law to ensure the structure is not used as a garage. This is recommended as the property is located within the Mature Neighbourhood Area which requires that a Site Plan Application be submitted for any sized detached garage, however as this structure is considered to be a shed, a Site Plan Application is not required. The combined floor areas of the two structures will not negatively impact the provision of outdoor space for the residential dwelling. Subject to the recommended conditions of approval, Variances 1 and 2 are considered to be desirable for the appropriate development of the land.

Variance 3 is to permit a limited portion of the fence that exceeds the maximum permitted fence height. The increased height is due to incorporated landscaping features. It is not the intention of the property owner to raise the height of the fence in other locations, and the raised portion does not negatively impact the subject property or the adjacent property. Subject to the recommended conditions of approval, Variance 3 is considered to be desirable for the appropriate development of the land.

4. Minor in Nature

Variances 1 and 2 are requested to permit 2 accessory structures in the rear yard to provide ancillary storage for the residential dwelling. The combined floor area of the structures does not detract from the provision of outdoor space or dominate the rear yard. Subject to the recommended conditions of approval, Variances 1 and 2 are considered to be minor in nature.

Variance 3 is to permit an existing, limited portion of the fence to exceed the permitted maximum fence height by 0.33m (1.08 ft). This portion of the fence is not imposing upon the outdoor area for either the subject property or the adjacent property. A condition of approval is recommended that the extent of the variances be limited to that shown on the sketch attached to the public notice to ensure that the raised portion of the fence remains limited. Subject to the recommended conditions of approval, Variance 3 is considered to be minor in nature.

Respectfully Submitted,

Shelby Swinfield

Shelby Swinfield, Planner I, Development



Committee of Adjustment

APPLICATION FOR MINOR VARIANCE

Page 56 of 228

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, December 18, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, December 18, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, December 18, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

A-2020-0134

Planning Justification Report

Committee of Adjustment Minor Variance

Sandeep Singh Sangha

8951 Mississauga Road

Attention: Committee of Adjustment

Date: November 4th, 2020

INTRODUCTION

Empire Design Company has been retained by the owner of 8951 Mississauga Road to provide a planning justification report for the proposed construction of an addition to an existing home. The owner of the property has granted us permission to proceed with this application.

Our proposal reflects similarities of the majority of the current existing dwellings within the surrounding neighborhood. Due to the restrictions of the current zoning bylaw, we have found our proposed dwelling will not comply. Based on our initial understanding from emails transpired from the zoning department provided to us, we felt that we met all the requirements of the zoning bylaws. Unfortunately, there was a mis-understanding of yard requirements during those conversations. (Documents attached)

In this instance, the current zoning designation is listed as RHM1 under bylaw 204-2010.

We are seeking relief from the following:

- Insufficient front yard setback
- Insufficient rear yard setback

Our intent is to maintain the general purpose of the bylaws and adhere to the official plan guidelines set forth by the City of Brampton.

Based on the four tests of the Planning Act, testing for a minor variance, we have evaluated the requested variance against these tests, as follows:

Empire Design Company – 5 North Ridge Crescent, Georgetown ON L7G 6E7 :416-500-8989 Page 1

1. Is the variance minor in nature?

The proposed variances will not adversely decrease the visibility from the neighboring properties, nor affect the drainage and grading patterns currently existing. The driveway with respect to its location and dimensions will not be changed drastically from what exists today. We intend on adding to an existing building as opposed to a brand new build. We feel that our proposal is relatively placed proportionally onto the existing lot.

Therefore, based on these facts, we feel this variance may be considered minor in nature.

2. Does the variance maintain the intent and purpose of the Official Plan?

This development will be compatible with the surrounding neighborhood when reviewing the existing homes within the surrounding neighborhood. This property in scale, height, massing and architectural character and materials will resemble the majority of homes previously approved within the neighborhood. Based on the size of this lot, we feel that our proposal does not impact the streetscape on Mississauga Road nor the adjacent neighbors, but enhances it.

We are in the opinion that this variance meets the intent and purpose of the Official Plan.

3. Does the variance meet the intent and purpose of the Zoning Bylaw?

Having noted the requirements of the zoning bylaw, the insufficiency of the front and rear yard setbacks do not comply with the current standards. Although, in retrospect of the size of the lot and configuration of the proposed addition, we feel this proposal seems to fit comfortably within the lot space and does not reflect an overbearing atmosphere.

Therefore, we feel this does not indicate or reflect over-development on the property and is still maintaining the general intent and purpose of the Zoning Bylaw.

4. Is the variance desirable for the appropriate development of the lands?

This district has a vast collaboration of many different styles of homes with materials ranging from stucco, brick, and siding elements. It has a wide variety of homes from the small brick bungalows to larger 2-storey brick, stone, frame, and stucco homes including newly developed custom designed homes in the nearby area. Undoubtedly, more redevelopment will follow to the existing properties within the district over time and especially onto Mississauga Road, but our intent is to blend this home into the characteristic of the neighborhood and to the appeal of the City of Brampton's culture and not overwhelm it.

Therefore, based on having similar aspects in comparison to the neighboring homes, we believe this variance is currently desirable for the appropriate development of these lands.

PROPERTY LOCATION

The subject lands are located in the South East quadrant of Queen Street and Mississauga Road.

SURROUNDING LAND USES

All the lands within a 200M radius this property are all residential uses.

PROPOSAL

A proposed addition to an existing dwelling.

TECHNICAL DATA

Current zoning bylaw RHM1

CONCLUSIONS

The official plan allows these lands to remain as residential with an RHM1 zoning. The proposal for our use fits within these designations.

PHOTOS

See attached.

DOCUMENTS

See attached.

SUMMARY

We feel that all efforts have been considered to allow this proposed addition without adversely affecting the neighboring properties.

We are hoping the committee finds this application minor and favorable and grants permission for relief to proceed with this development.

Peter Vozikas
Empire Design Company
416-500-8989

(Agent for owner)

Empire Design Company – 5 North Ridge Crescent, Georgetown ON L7G 6E7 :416-500-8989 Page 3



**Credit Valley
Conservation**
inspired by nature

Credit Valley Conservation Authority

Date of Issuance: August 26, 2020

PERMIT 20/084

IN ACCORDANCE WITH:

ONTARIO REGULATION 160/06, PURSUANT TO SECTION 28 OF THE CONSERVATION AUTHORITIES ACT (R.S.O. 1990 Chapter C.27).

PERMISSION HAS BEEN GRANTED TO:

Owner Name:	Sandeep Singh Sangia	Tel:	416	525-8411
Address:	8951 Mississauga Road, Brampton, ON L6Y 0C2			
Agent Name:	Empire Design Company Attn: Peter Vozikas	Tel:	416	500-8989
Address:	5 North Ridge Crescent, Georgetown, ON L7G 6E7			
Property Location:	8951 Mississauga Road Part Lot 5, Concession 4 WHS City of Brampton			

This permit is issued for the above noted property for the purpose of:

Development in the Regulated Area for the purpose of construction addition, septic system and retaining wall.

This permit is valid for 2 (two) years and is subject to the following conditions:

**Expiry
Date:**

August 26, 2022

CONDITIONS:

1. That the work be carried out in accordance with the following plans which are marked: **20/084**
 - **Site Plan prepared by Ted Van Lankveld Ontario Land Sureveyors dated April 16, 2020**
 - **Basement Plan A01 prepared by Empire Design Company stamped by G.D.Rosenburg July 29, 2020.**
2. That permission granted herein shall lapse on the above noted expiry date, unless the work for which the permission has been given has been completed. If the work has not been completed by the aforementioned date, this permit is invalid and all on-going and future work must cease and a new application be submitted to the Credit Valley Conservation Authority. New applications will be assessed in accordance with information, policies and practices in place as of the date of receipt of the new submission. What shall be deemed as "complete" is within the sole discretion of the Credit Valley Conservation Authority.
3. That the Credit Valley Conservation Authority be notified 48 hours prior to the commencement of any works and be notified of the completion of the project.
4. That appropriate erosion and sediment control measures must be installed prior to construction and maintained until all disturbed areas have been stabilized.
5. That all disturbed areas be stabilized and restored to existing conditions or better immediately upon completion of the works.
6. That upon completion of the works that a Qualified Profesional Engineer confirms the wall was constructed in accordance with the approved plans.
7. The monitoring, maintenance and inspection plan outlined in the letter dated August 13, 2020 referring to "Proposed Retaining wall, 8951 Mississauga Road, Brampton, ON" signed by Greg Wuisman on August 25, 2020 is to be implemented during and post construction.

INSPECTIONS MAY BE CARRIED OUT BY CVC STAFF MEMBERS TO ENSURE THAT THE WORK IS UNDERTAKEN AND COMPLETED ACCORDING TO THE APPROVED PLANS.

Be advised that the Credit Valley Conservation Authority may, at any time, withdraw this permission, if, in the opinion of the Authority, the conditions of the permit are not being complied with. This approval does not exempt the property owner/applicant/agent from the provisions of any other Federal, Provincial or Municipal statutes, regulations or by-laws, or any rights under common law.



FILE NUMBER: _____

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) SANDEEP SINGH SANGHA
 Address 26 FAHEY DRIVE
BRAMPTON ONT. L6Y 0N8
 Phone # 416-525-8411 Fax # _____
 Email SUNNYPOPPYTEAM@YAHOO.COM

2. Name of Agent PETER VOZIKAS
 Address 5 NORTH RIDGE CRESCENT
GEORGETOWN ONT. L7G 6E7
 Phone # 416-500-8989 Fax # _____
 Email VOZIKASS@HOTMAIL.COM

3. Nature and extent of relief applied for (variances requested):
TO ALLOW THE PROPOSED ADDITION TO BE CONSTRUCTED
HAVING A FRONT YARD OF 9.2M AND A REAR YARD OF 7.5M.

4. Why is it not possible to comply with the provisions of the by-law?
THE CURRENT ZONING BYLAW ONLY PERMITS A FRONT YARD
OF 12.0M AND A REAR OF 15.0M.

5. Legal Description of the subject land:
 Lot Number PART-5
 Plan Number/Concession Number CON. 4 WHS
 Municipal Address 8951 MISSISSAUGA ROAD

6. Dimension of subject land (in metric units)
 Frontage 15.47 m
 Depth 81.63 m
 Area 2795.80 m²

7. Access to the subject land is by:
 Provincial Highway ☐ Seasonal Road ☐
 Municipal Road Maintained All Year ☒ Other Public Road ☐
 Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

TWO - STOREY DETACHED HOUSE WITH ATTACHED GARAGE OF
BRICK AND FRAME CONSTRUCTION WITH AN AREA OF 189.28 m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

TWO - STOREY ADDITION TO EXISTING DWELLING OF STONE AND
STUCCO WITH AN ADDITIONAL AREA OF 498.36 m²

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback

12.60 m

Rear yard setback

8.90 m

Side yard setback

43.58 m

Side yard setback

15.50 m

PROPOSED

Front yard setback

9.20 m

Rear yard setback

7.50 m

Side yard setback

29.46 m

Side yard setback

15.50 m

10. Date of Acquisition of subject land: DECEMBER 20, 2019
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1978 +/-
15. Length of time the existing uses of the subject property have been continued: 42 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☐ Other (specify) _____
Septic ☒
- (c) What storm drainage system is existing/proposed?
Sewers ☐ Other (specify) _____
Ditches ☒
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE TOWN OF HALTON HILLS
THIS 10th DAY OF NOVEMBER, 2020.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, PETER VOZIKAS, OF THE TOWN OF HALTON HILLS
IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 18th DAY OF
November, 2020.

April Dela Cerna
A Commissioner etc.

Signature of Applicant or Authorized Agent

April Dela Cerna *ad.*
a Commissioner, etc..
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires May 8, 2021

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

RHm1

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

J. Chau
Zoning Officer

Nov 23, 2020
Date

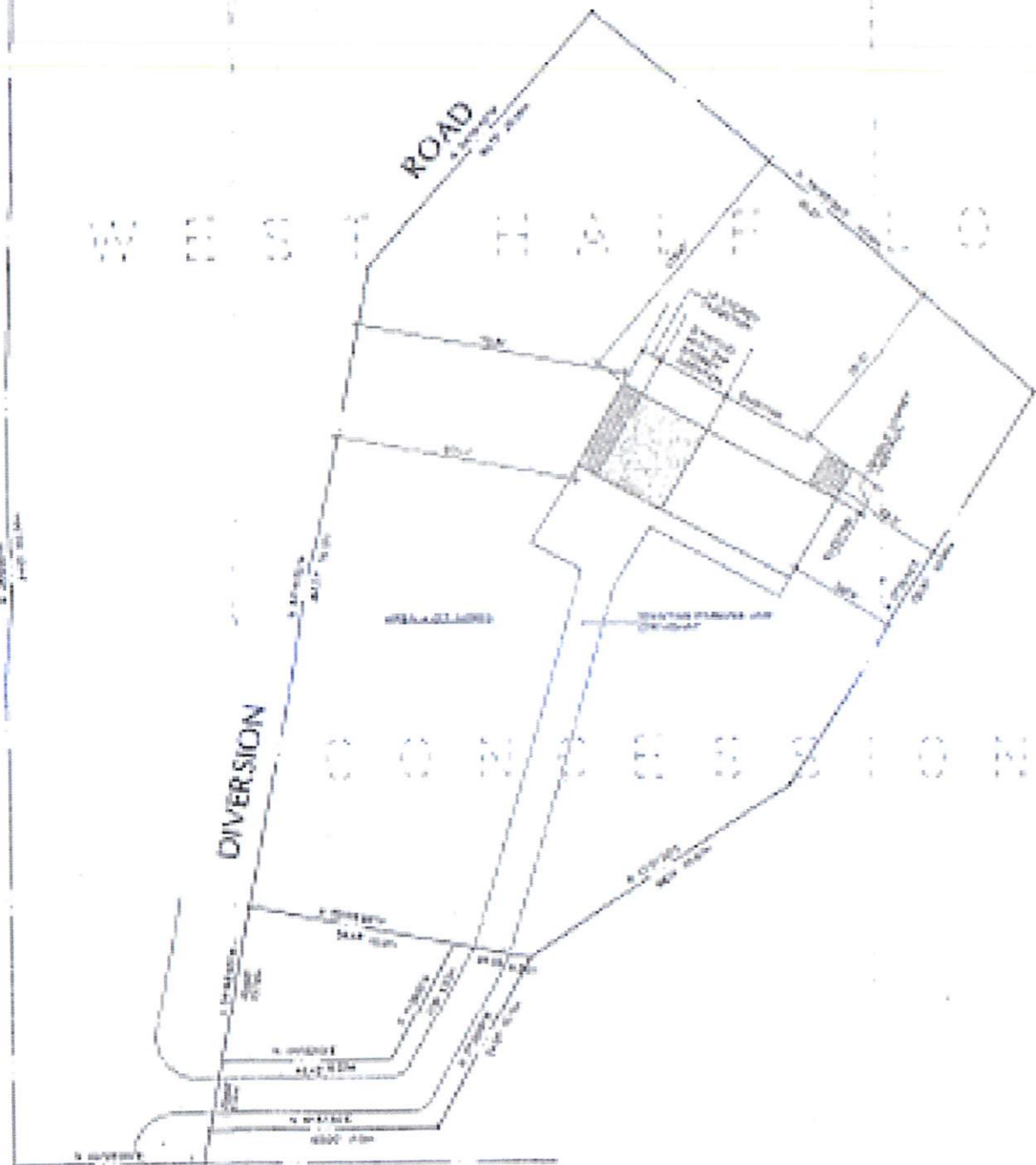
DATE RECEIVED November 18, 2020





FILE COPY

ROAD ALLIANCE BETWEEN CONCESSIONS 4 AND 5, N.H.S.



PLAN OF SURVEY SHOWING PART OF

THE WEST HALF OF LOT 5

CONCESSION 4 WEST OF HURONTARIO STREET

FORMERLY THE TOWNSHIP OF DUNDASVILLE
COUNTY OF PEEL, NOW THE

CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL

Information for this plan obtained from
PLAN OF SURVEY DATED FEBRUARY 3, 1990 AT
REQUIREMENT OF DONALD P. HILL, C.E.T.

FILE COPY
30.01.1990
30.01.1990
4th 1990
Addition 1.00

AS REVISED DATE

KRETSCHMER
RESIDENCE

HUTTONVILLE
CITY OF BRAMPTON

A. BALDASSARRA
Architect Inc.

1080 JANE STREET
SUITE 200, DUNDAS, ONTARIO
L4G 4H8
(905) 880-8700
(905) 880-7018 (fax)



FILE COPY

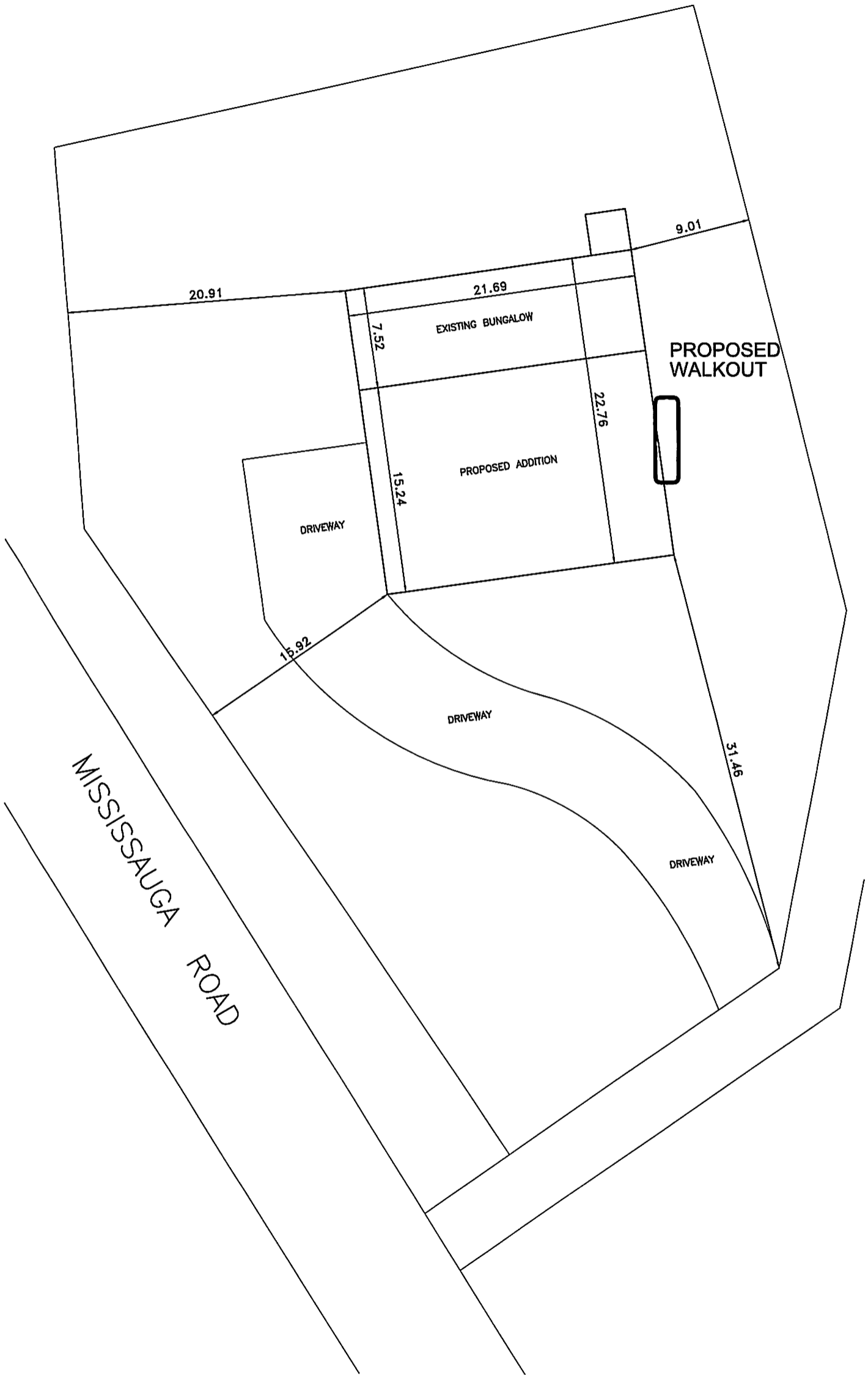
THIS PLAN IS A COPY OF THE ORIGINAL
AND IS NOT TO BE USED FOR ANY OTHER
PURPOSE WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT.

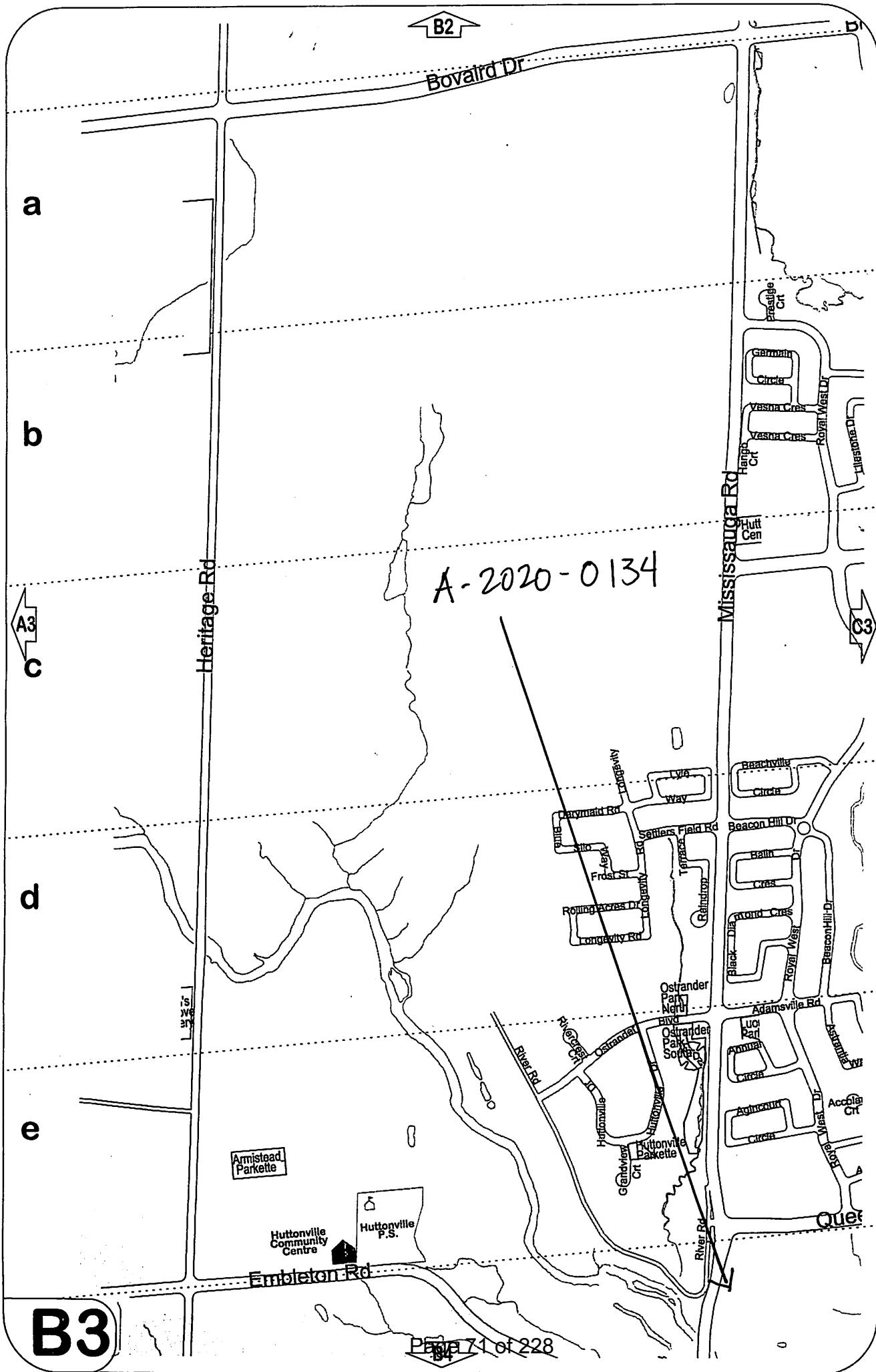
CITY OF BRAMPTON
RECEIVED
BY: [Signature]
DATE: [Signature]
RECEIVED FILE: [Signature]

DATE: [Signature]

SITE PLAN

DATE: [Signature]





Filing Date: November 20, 2020

Hearing Date: January 5, 2021

File: A-2020-0134

**Owner/
Applicant:** SANDEEP SINGH SANGHA

Address: 8951 Mississauga Road

Ward: 4

Contact: Shelby Swinfield, Planner I, Development

Recommendations:

That application A-2020-0134 is supportable, subject to the following conditions being imposed:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the applicant obtain all permits and pay all fees associated with the review of this application by the Credit Valley Conservation Authority, if required;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Background:**Existing Zoning:**

The property is zoned "Residential Hamlet 1 (RHM1)" according to By-law 270-2004, as amended.

Requested Variances:

The applicant is requesting the following variances:

1. To permit a front yard setback of 9.2m (30.18 ft.) whereas the by-law requires a minimum front yard setback of 12m (39.37 ft.);
2. To permit a rear yard setback of 7.5m (24.60 ft.) whereas the by-law requires a minimum rear yard setback of 15m (49.21 ft.).

Current Situation:

1. Conforms to the Intent of the Official Plan

The property is designated "Open Space" in the Official Plan and "Primary Valleyland" in the Credit Valley Secondary Plan (Area 45). These designations are associated with identified natural features that exist within the area of the property and the protection of those features. These natural features are under the regulated authority of the Credit Valley Conservation Authority, which is charged with the review and permitting process associated with building or development taking place on these lands to ensure it does not negatively impact natural features in the area.

In the case of the subject variance application, the request for reduced side yard setbacks relate to an expansion of an existing residential dwelling, and prior to construction permits will be required from the Conservation Authority. Subject to the recommended conditions of approval, the requested variances are considered to maintain the general intent of the Official Plan.

2. Conforms to the Intent of the Zoning By-law

The property is zoned "Residential Hamlet 1 (RHM1)" according to By-law 270-2004, as amended.

Variance 1 is to permit a front yard setback of 9.2m (30.18 ft.) whereas the by-law requires a minimum front yard setback of 12m (39.37 ft.) and Variance 2 is to permit a rear yard setback of 7.5m (24.60 ft.) whereas the by-law requires a minimum rear yard setback of 15m (49.21 ft.).

The intent of the by-law in requiring minimum front and rear yard setbacks are to ensure that sufficient outdoor amenity area is provided on the property for the main dwelling. In the case of the subject property, the defined front and rear yards are the effective side yards for the property and the setbacks are generous, given the size of the property. The proposed setbacks will not negatively impact the provision of outdoor amenity space on the property, and will facilitate an addition to an existing residential dwelling. Subject to the recommended conditions of approval, the requested variances are considered to maintain the general intent of the Zoning By-law.

3. Desirable for the Appropriate Development of the Land

The requested variances are required to facilitate an addition to the existing residential dwelling. Due to the size of the property, the reduced setbacks in the effective side yards of the property are not anticipated to negatively impact the outdoor amenity area provided on the property, and are considered to be appropriate relative to the size of the property.

The subject property is located within the regulated area of the Credit Valley Conservation Authority, and a condition of approval is recommended the applicant obtain all permits and pay all fees associated with the review of this application by the Credit Valley Conservation Authority, if required. Subject to the recommended

conditions of approval, the requested variances are considered to be desirable for the appropriate development of the land.

4. Minor in Nature

The requested variances to permit reduced front and rear yard setbacks will not negatively impact the provision of outdoor amenity space on the subject property. The reduced setbacks will be of an appropriate distance proportionate to the size of the property. Subject to the recommended conditions of approval, the requested variances are considered to be minor in nature.

Respectfully Submitted,

Shelby Swinfield

Shelby Swinfield, Planner I, Development



December 17, 2020

City of Brampton, Committee of Adjustment
City Clerk's Office
Brampton City Hall
2 Wellington Street West
Brampton, ON L6Y 4R2

Attention: Jeanie Myers, Secretary-Treasurer

Dear Ms. Myers:

**Re: CVC File No. A 20/134
Municipality File No. A 2020-0134
Sandeep Singh Sangha
8951 Mississauga Road
Part of Lot 5, Concession 4 WHS
City of Brampton**

Credit Valley Conservation (CVC) staff have reviewed the subject application and offer comments based on the following roles and responsibilities:

1. Watershed Based Resource Management Agency and Public (commenting) Body under the Planning Act - providing comments based on CVC's Board approved policies;
2. Planning Advisory Services - providing environmental planning and technical advice/comments based on service agreements or memorandum of understanding;
3. Delegated Responsibilities – providing comments representing the provincial interest regarding natural hazards (except forest fires) as identified in Section 3.1 of the Provincial Policy Statement (2020);
4. Regulatory Responsibilities – providing comments to ensure the coordination of requirements under the Conservation Authorities Act Section 28 regulation, to eliminate unnecessary delay or duplication in process;
5. Source Protection Agency – providing advisory comments to assist with the implementation of the CTC Source Protection Plan under the Clean Water Act, as applicable.

Ontario Regulation 160/06:

The property is subject to the Development, Interference with Wetlands, and Alterations to Shorelines & Watercourses Regulation (Ontario Regulation 160/06). This regulation prohibits altering a watercourse, wetland or shoreline and prohibits development in areas adjacent to the Lake Ontario shoreline, river and stream valleys, hazardous lands and wetlands, without the prior written approval of CVC (i.e. the issuance of a permit).

December 17, 2020
Re: CVC File No. A 20/134
Municipality File No. A 2020-0134
Sandeep Singh Sangha
8951 Mississauga Road
Part of Lot 5, Concession 4 WHS
City of Brampton

Site Characteristics:

Based on our existing mapping, the entire property is within the slope valley of the Credit River. As such, the entire property is regulated by CVC under Ontario Regulation 160/06.

Additionally, the property is located within the Peel Core Greenlands. It is the policy of the Region of Peel to protect the form and function of these natural areas. CVC provides technical support to this agency with respect to delineation of natural features and reviewing potential impacts from subsequent development within and adjacent to these lands. We suggest you contact the Region of Peel if you have questions on this matter.

Proposal:

It is our understanding that the applicant is proposing a two storey addition and requesting the Committee to approve a minor variance to permit:

1. a front yard setback of 9.2m (30.18 ft) whereas the by-law requires a minimum front yard setback of 12m (39.37 ft).
2. a rear yard setback of 7.5m (24.60 ft) whereas the by-law requires a minimum rear yard setback of 15m (49.21 ft).


Comments:

CVC staff have reviewed the proposed development through a permit application (FF 20/084) and a CVC permit has previously been issued for construction of an addition, septic system and retaining wall. The plan provided with the minor variance application appears to be consistent with the plans approved through CVC permit 20/084. As such, we have reviewed the minor variance application and have no concerns and **no objection** to its approval by the Committee at this time.

The applicant should note that the subject property is entirely within the CVC Regulated Area. Any changes to the previously approved plans or any future development proposed on this site, including grading, will require a permit from CVC.

I trust that these comments are sufficient. Please do not hesitate to contact the undersigned at 905-670-1615 (ext. 325) should you have any further questions or concerns. Please circulate CVC on any future correspondence or applications regarding this site.

Sincerely,



Trisha Hughes
Planner

cc: Sandeep Singh Sangha (Owner)
Peter Vozikas (Agent)
Alex Martino, Peel Region



Committee of Adjustment

APPLICATION FOR MINOR VARIANCE

Page 77 of 228

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, December 18, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, December 18, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, December 18, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

December 8, 2020

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE
SANDEEP SINGH HUNDAL AND MANDEEP SINGH HUNDAL
LOT 56, PLAN M-1298
A-2020-0135 – 9 CORALREEF CRESCENT
WARD 9**

Please **amend** application **A-2020-0135** to reflect the following:

1. To permit a lot coverage of 37.88% whereas the by-law permits a maximum lot coverage of 30%;
2. To permit an interior side yard setback of 0.30m (0.98 ft.) to an open roofed porch (as built) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.) on one side and 0.9m (2.95 ft.) on the other side;
3. To permit an existing accessory structure (shed) having a rear yard setback of 0.2m (0.66 ft.) and a side yard setback of 0.13m (0.43 ft.) whereas the by-law requires an accessory structure to be located no closer than 0.6m (1.97 ft.) to the nearest lot line.



Applicant/Authorized Agent

released for building permit
 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL
 DIMENSIONS AND REPORT TO CONSTRUCTION
 AND TO THE CONSULTANT BEFORE
 CONSTRUCTION
 ALL DIMENSIONS AND SPECIFICATIONS ARE THE
 PROPERTY OF CONSULTANTS AND MUST BE
 RETURNED AT THE COMPLETION OF WORK
 THIS DRAWING IS NOT TO BE USED FOR
 CONSTRUCTION UNLESS SIGNED BY THE
 ARCHITECT/ENGINEER
 IF THIS SHEET IS NOT 11" x 17" IT IS A REDUCED
 / ENLARGED PRINT. READ DRAWING
 ACCORDINGLY.

No	Date	Revision/Issued
00	2020-09-08	Schematic Design
01	2020-09-08	Permit Application



AEM DESIGNS

2980 Drew Rd, Mississauga,
 ON L4T 0A7
 c: 647.896.9785
 e: ravinder@aemdesigns.ca

soil

SHED ADDITION

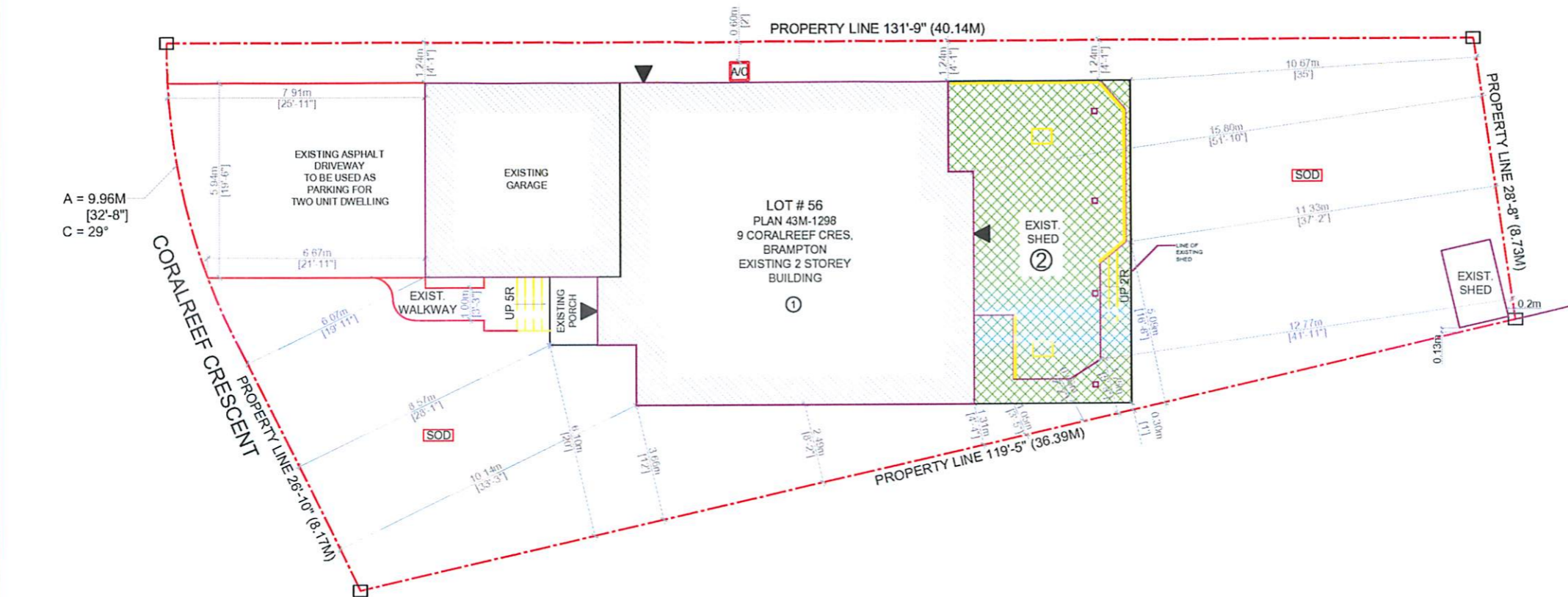
9 CORALREEF CRES,
 BRAMPTON

SITE PLAN

scale: 3/32"=1'-0"
 date: 2020.09.05
 project: 20-173
 drawing number:

A-01

Revision: 00



SCOPE OF WORK

- ① EXISTING 2 STOREY RESIDENCE
- ② AS-BUILT SHED
- MINOR VARIANCE FOR AS-BUILT SHED:
 51.75 SM (556.90 SFT)
- ENTRANCE & EGRESS
- PROPERTY LINE

AREA STATISTICS

LOT AREA:	5492.78 SFT / 510.48 SM
EXISTING ROOF AREA:	1523.87 SFT / 141.62 SM
EXISTING LOT COVERAGE:	27.74 %
AS-BUILT SHED:	556.90 SFT / 51.75 SM
REMOVABLE SHED:	40 SFT / 7.43 SM
TOTAL ROOF AREA:	2120.77 SFT / 197.09 SM
LOT COVERAGE:	38.61 %

30 % - LOT COVERAGE ALLOWED PER ZONING

FILE NUMBER: A-2020-0135

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** SANDEEP SINGH HUNDAL & MANDEEP SINGH HUNDAL
Address 9 CORALREEF CRES., BRAMPTON, ON L6R 2H7
Phone # 647-808-9470 **Fax #** _____
Email sandeephundal@lie.ca
2. **Name of Agent** RAVINDER SINGH
Address 12 NESS RD, BRAMPTON, ON L6Y 5N6
Phone # 647-896-9785 **Fax #** _____
Email ravinder@aemdesigns.ca
3. **Nature and extent of relief applied for (variances requested):**
AS-BUILT OPEN ROOFED ONE STOREY HIGH PORCH IN REAR YARD EXCEEDS
1. MAX. LOT COVERAGE OF 37.88%
2. INTERIOR SIDEYARD SETBACK OF 0.3 m
4. **Why is it not possible to comply with the provisions of the by-law?**
1. MAXIMUM LOT COVERAGE PERMITTED IS 30%
2. REQUIRED INTERIOR SIDEYARD SETBACK TO THE EAVES AND CORNICES OF THE PORCH
IS 0.9 m
5. **Legal Description of the subject land:**
Lot Number 56
Plan Number/Concession Number M1298
Municipal Address 9 CORALREEF CRES, BRAMPTON, ON L6R 2H7
6. **Dimension of subject land (in metric units)**
Frontage 18.13 m
Depth LEFT - 40.14m / RIGHT- 36.39m
Area 510.48 Sqm
7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

TWO STOREY SINGLE DWELLING RESIDENTIAL BUILDING

AS-BUILT OPEN ROOFED ONE STOREY HIGH PORCH: 51.75 SM

TOTAL ROOF AREA: 193.37 SM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

TWO STOREY TWO-UNIT RESIDENTIAL DWELLING

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.07 m

Rear yard setback 15.80 m

Side yard setback 1.24 m (LEFT SIDE)

Side yard setback 1.31 m (RIGHT SIDE)

PROPOSED

Front yard setback NO CHANGE

Rear yard setback 10.67 m

Side yard setback NO CHANGE

Side yard setback 0.3 m (RIGHT SIDE)

10. Date of Acquisition of subject land: 2020
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2004
15. Length of time the existing uses of the subject property have been continued: 16 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?


Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ CITY _____ OF _____ BRAMPTON _____

THIS 18th DAY OF November, 2020.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, RAVINDER SINGH, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.


DECLARED BEFORE ME AT THE

City OF Brampton


IN THE Region OF

Peel THIS 18th DAY OF

November, 2020



Signature of Applicant or Authorized Agent



A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1C - 749

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Hothi S

Zoning Officer

NOV. 23. 2020

Date

DATE RECEIVED November 18, 2020

released for building permit
 - CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANTS BEFORE CONSTRUCTION.
 - ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
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No	Date	Revision/Issued
00	2020 09 08	Schematic Design
01	2020 09 08	Permit Application



2980 Drew Rd, Mississauga,
 ON L4T 0A7
 c: 647.896.9785
 e: ravinder@aemdesigns.ca

sed

AS-BUILT OPEN
 ROOF PORCH

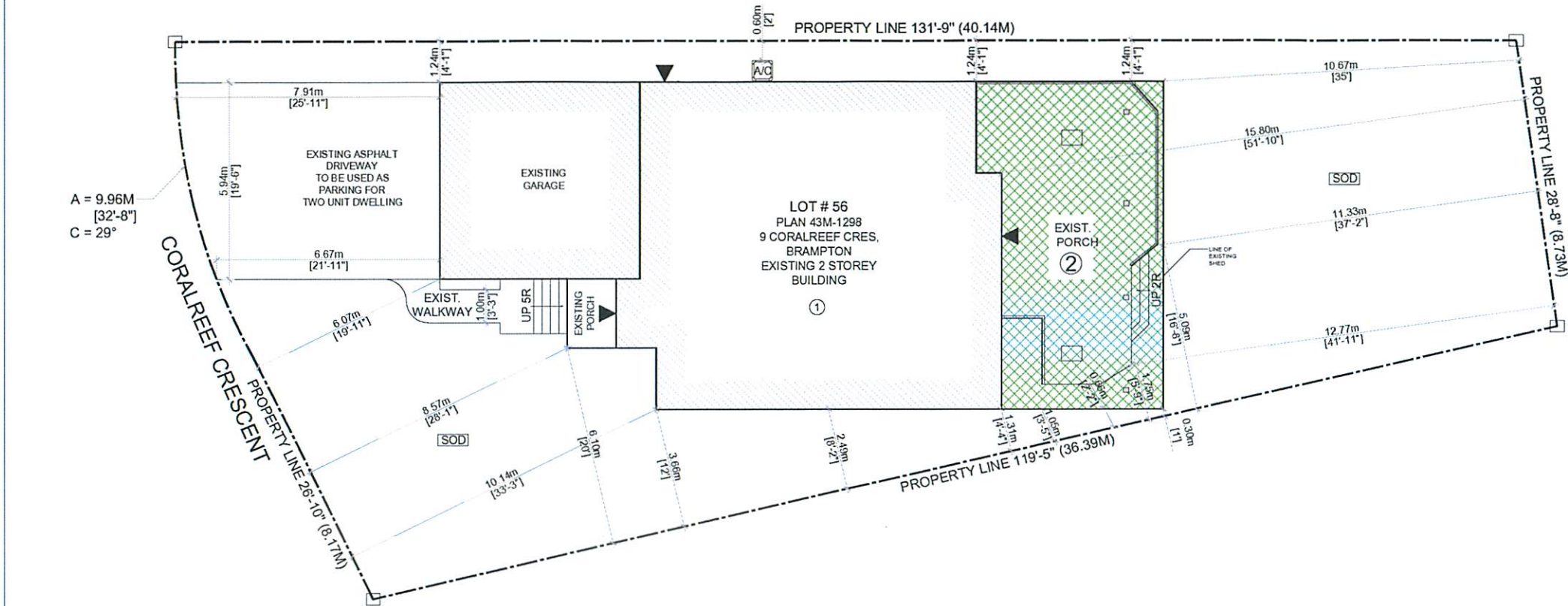
9 CORALREEF CRES,
 BRAMPTON

SITE PLAN

scale: $\frac{3}{32}" = 1'-0"$
 date: 2020.09.05
 project: 20-173
 drawing number:

A-01

Revision: 00



SCOPE OF WORK

- ① EXISTING 2 STOREY RESIDENCE
- ② AS-BUILT PORCH

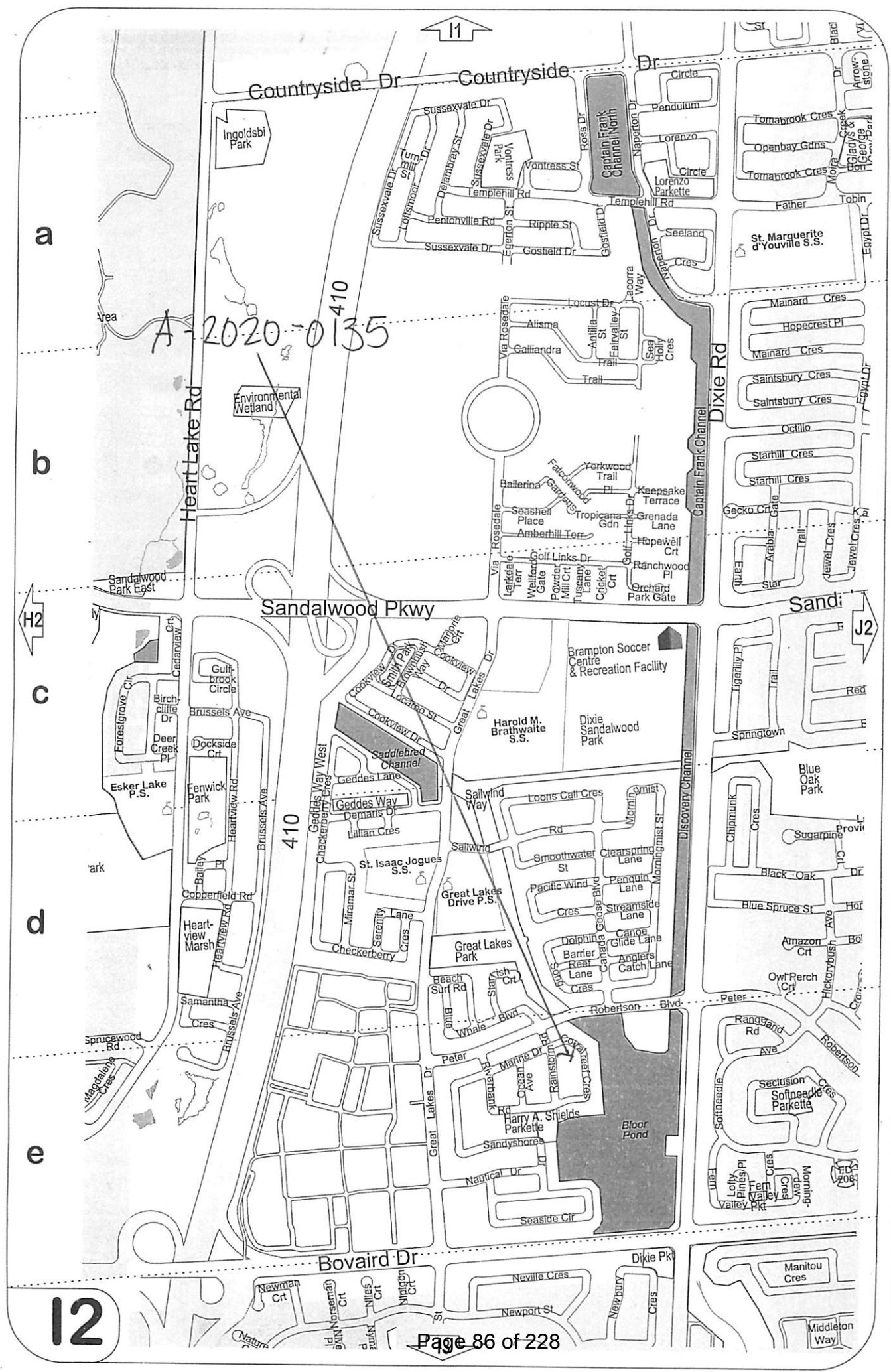
MINOR VARIANCE FOR AS-BUILT
 OPEN ROOF PORCH:
 51.75 SM (556.90 SFT)

- ▲ ENTRANCE & EGRESS
- PROPERTY LINE

AREA STATISTICS

LOT AREA: 5492.78 SFT / 510.48 SM
 EXISTING ROOF AREA: 1523.87 SFT / 141.62 SM
 EXISTING LOT COVERAGE: 27.74 %
 AS-BUILT PORCH: 556.90 SFT / 51.75 SM
 TOTAL ROOF AREA: 2080.77 SFT / 193.37 SM
 LOT COVERAGE: 37.88 %

30 % - LOT COVERAGE ALLOWED PER ZONING



A-2020-0135

Filing Date: November 23, 2020

Hearing Date: January 5, 2021

File: A-2020-0135

**Owner/
Applicant:** SANDEEP SINGH HUNDAL AND MANDEEP SINGH HUNDAL

Address: 9 Coralreef Crescent

Ward: 9

Contact: Shelby Swinfield, Planner I, Development

Recommendations:

That application A-2020-0135 is supportable, subject to the following conditions being imposed:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the applicant obtain a building permit within 60 days of the final date of the Committee's decision, or within an extended period of time at the discretion of the Chief Building Official;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Background:

Existing Zoning:

The property is zoned "Residential Single Detached C – Special Section 749 (R1C-947)" according to By-law 270-2004, as amended.

Requested Variances:

The applicant is requesting the following variances:

1. To permit a lot coverage of 37.88% whereas the by-law permits a maximum lot coverage of 30%;
2. To permit an interior side yard setback of 0.30m (0.98 ft.) to an open roofed porch (as built) whereas the by-law requires a minimum interior side yard setback

of 1.2m (3.94 ft.) on one side and 0.9m (2.95 ft.) on the other side;

3. To permit an existing accessory structure (shed) having a rear yard setback of 0.2m (0.66 ft.) and a side yard setback of 0.13m (0.43 ft.) whereas the by-law requires an accessory structure to be located no closer than 0.6m (1.97 ft.) to the nearest lot line.

Current Situation:

1. Conforms to the Intent of the Official Plan

The subject property is designated "Residential" in the Official Plan and "Low Density Residential 1" in the Springdale Secondary Plan (Area 2). The requested variances are not considered to have significant impacts within the context of the Official Plan policies. Subject to the recommended conditions of approval, the requested variances are considered to maintain the general intent of the Official Plan.

2. Conforms to the Intent of the Zoning By-law

The property is zoned "Residential Single Detached C – Special Section 749 (R1C-947)" according to By-law 270-2004, as amended.

Variance 1 is to permit a lot coverage of 37.88% whereas the by-law permits a maximum lot coverage of 30%. The intent of the by-law in regulating maximum lot coverage is to ensure that the size of the dwelling is appropriate relative to the size of the property and does not detract from the provision of outdoor amenity area on the property. In the case of this request, the increased coverage is related to a covered porch at the rear of the dwelling. This covered porch is intended to enhance the use of the outdoor amenity area, and does not cause the size of the dwelling to detract from the provision of outdoor space. Subject to the recommended conditions of approval, Variance 1 is considered to maintain the general intent of the Zoning By-law.

Variance 2 is to permit an interior side yard setback of 0.30m (0.98 ft.) to an open roofed porch (as built) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.) on one side and 0.9m (2.95 ft.) on the other side. The intent of the by-law in requiring a minimum setback to an open roofed porch is to ensure that the location of the structure does not impact drainage for the subject property or those adjacent to it. In the case of the subject property the location of the porch is not impacting drainage given the nature of its construction. Subject to the recommended conditions of approval, Variance 2 is considered to maintain the general intent of the Zoning By-law.

Variance 3 is to permit an existing accessory structure (shed) having a rear yard setback of 0.2m (0.66 ft.) and a side yard setback of 0.13m (0.43 ft.) whereas the by-law requires an accessory structure to be located no closer than 0.6m (1.97 ft.) to the nearest lot line. This variance relates to an existing storage shed at the rear of the property. The intent of the by-law in requiring a minimum side yard setback to all lot lines for accessory structures is to ensure that sufficient space is provided for drainage. In the case of the subject property, the location of the shed presents no concerns with

regard to drainage. Subject to the recommended conditions of approval, Variance 3 is considered to maintain the general intent of the Zoning By-law.

3. Desirable for the Appropriate Development of the Land

Variance 1 is to permit an increased lot coverage related to an existing covered porch in the rear yard of the property. The covered porch contributes positively to the use of the rear yard amenity space. A condition of approval is recommended that a building permit be obtained to ensure that the structure has been constructed in accordance with the Ontario Building Code. Subject to the recommended conditions of approval, Variance 1 is considered to be desirable for the appropriate development of the land.

Variance 2 also relates to the covered porch in the rear yard and its proximity to the interior lot line. The location of the porch is not impacting drainage on the subject property or adjacent properties. It was noted through the review of the application that the applicant is required to obtain a building permit for the structure, as such a condition of approval is recommended that the applicant obtain said permit within 60 days of the final date of the Committee's decision. This will ensure the structure is in compliance with the Ontario Building Code. Subject to the recommended conditions of approval, Variance 2 is considered to be desirable for the appropriate development of the land.

Variance 3 is related to an existing storage shed at the rear of the property. The shed provides additional storage for the main dwelling and does not impact drainage in its current location. Subject to the recommended conditions of approval, Variance 3 is considered to be desirable for the appropriate development of the land.

4. Minor in Nature

Variances 1 and 2 are related to an existing covered porch in the rear yard. The size and location of the porch does not detract from the provision of outdoor space and does not present concerns with regard to drainage. Subject to the recommended conditions of approval, Variances 1 and 2 are considered to be minor in nature.

Variances 3 relates to an accessory shed at the rear of the property, intended to be used for storage related to maintenance of the yard. The location of this structure does not present concerns with regard to drainage. Subject to the recommended conditions of approval, Variance 3 is considered to be minor in nature.

Respectfully Submitted,

Shelby Swinfield

Shelby Swinfield, Planner I, Development



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MANISH KAPOOR AND NAMRATA KAPOOR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 113, Plan 43M-1523 municipally known as **2 JANUARY COURT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a driveway having a width of 10.66m (34.97 ft.) whereas the by-law permits a maximum driveway width of 9.14m (30 ft.);
2. To permit an existing accessory structure (shed) to be located in an exterior side yard whereas the by-law does not permit an accessory structure within an exterior side yard;
3. To permit an existing accessory structure (shed) having a side yard setback of 0.47m (1.54 ft.) and a side yard setback of 0.55m (1.80 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) for an accessory structure from all nearest property lines;
4. To permit an existing accessory structure (gazebo) having a gross floor area of 18.4 sq. m (198.06 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m. (161.5 sq. ft.) for an individual accessory structure;
5. To permit two (2) existing accessory structures (shed and gazebo) having a combined gross floor area of 26.9 sq. m (289.55 sq. ft.) whereas the by-law permits a maximum combined gross floor area of 20 sq. m (215.28 sq. ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, January 5, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

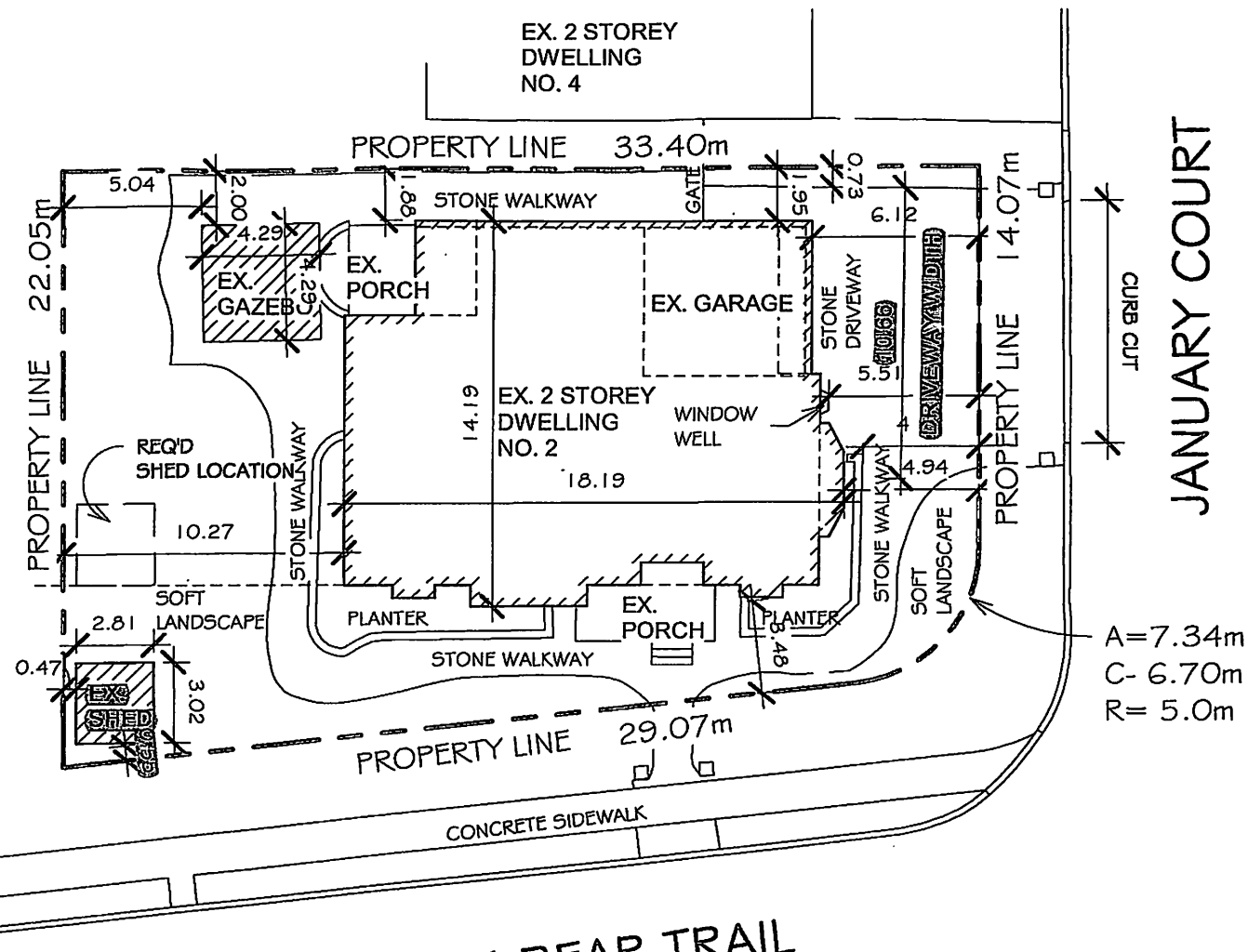
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 10th day of December, 2020.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

EX. 2 STOREY
DWELLING
NO. 21



JANUARY COURT



LEGAL DESCRIPTION

LOT 113
PLAN 43M-1523

SITE STATISTICS

LOT AREA	674.32 SM
GROUND FLOOR	192.09 SM
SECOND FLOOR	209.75 SM
GFA	401.84 SM

A=7.34m
C= 6.70m
R= 5.0m

① Site Plan
1 : 250

DRIVEWAY WIDTH AMENDED DECEMBER 9, 2020

JOHN SIBENIK
ARCHITECTURAL TECHNOLOGIST
24 Ovida Ave., Toronto
Ontario M9B 1E1
Tel. (416) 236-2809; Cell (416) 729-8497
Email: john.sibenik@sympatico.ca

Project:
**Driveway Widening to Kapoor
Residence**
2 January Court
Brampton, ON L6Y 5L4

Site Plan

Project no. 2020-39	A101
Date October 2020	
Drawn by J.S.	
Checked by J.S.	
Scale 1 : 250	

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, December 18, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, December 18, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, December 18, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

December 9, 2020

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE
MANISH AND NAMRATA KAPOOR
LOT 113, PLAN 43M-1523
A-2020-0137 – 2 JANUARY COURT
WARD 6**

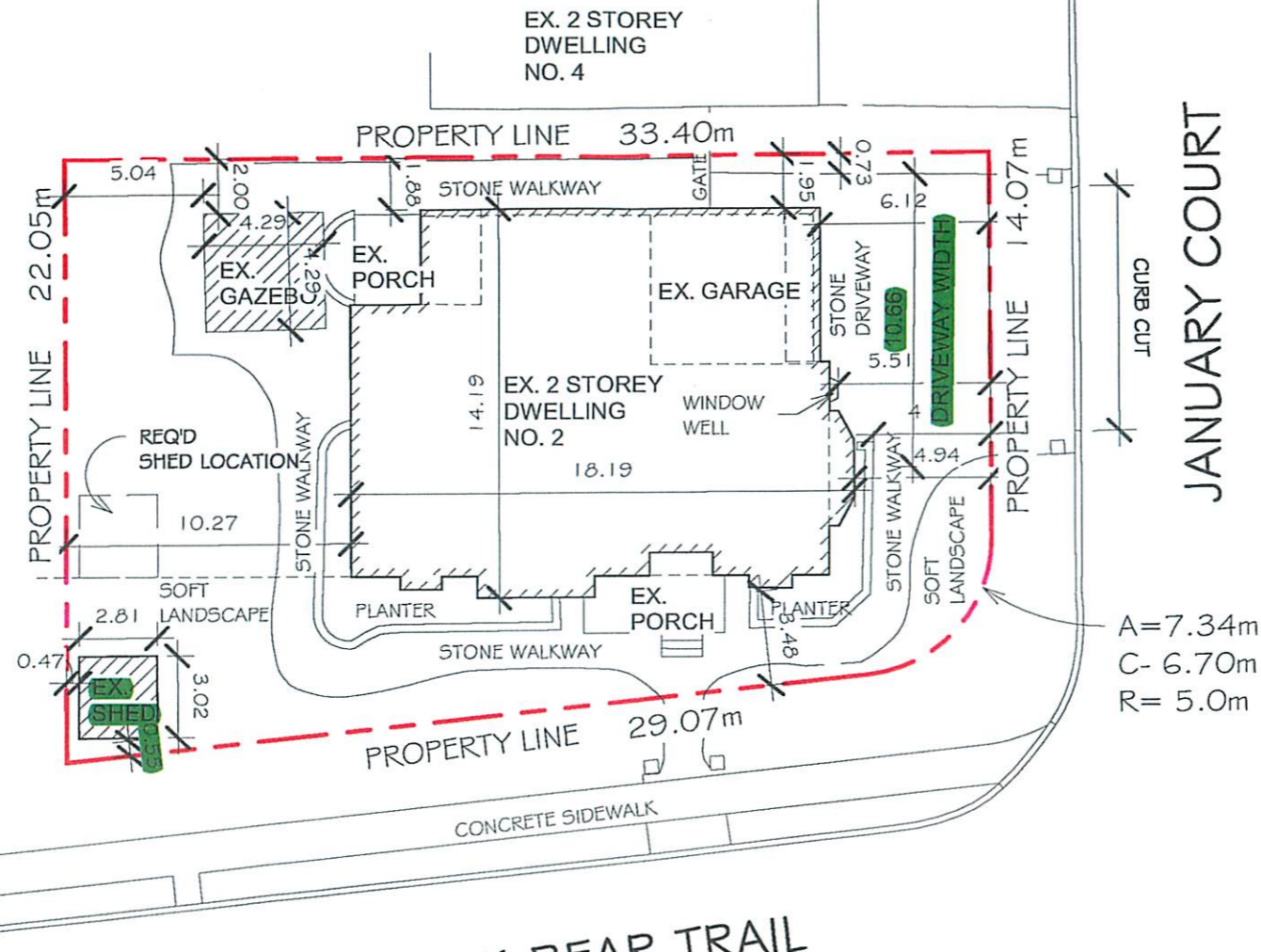
Please **amend** application **A-2020-0137** to reflect the following:

1. To permit a driveway having a width of 10.66m (34.97 ft.) whereas the by-law permits a maximum driveway width of 9.14m (30 ft.);
2. To permit an existing accessory structure (shed) to be located in an exterior side yard whereas the by-law does not permit an accessory structure within an exterior side yard;
3. To permit an existing accessory structure (shed) having a side yard setback of 0.47m (1.54 ft.) and a side yard setback of 0.55m (1.80 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) for an accessory structure from all nearest property lines;
4. To permit an existing accessory structure (gazebo) having a gross floor area of 18.4 sq. m (198.06 sq. ft.) whereas the by-law permit a maximum gross floor area of 15 sq. m. (161.5 sq. ft.) for an individual accessory structure;
5. To permit two (2) existing accessory structures (shed and gazebo) having a combined gross floor area of 26.9 sq. m (289.55 sq. ft.) whereas the by-law permits a maximum combined gross floor area of 20 sq. m (215.28 sq. ft.)

John Sibenik
Digitally signed by John Sibenik
DN: C=CA,
E=john.sibenik@sympatico.ca,
O=JS Design, CN=John
Sibenik
Date: 2020.12.09
10:34:53-05'00'

Applicant/Authorized Agent

EX. 2 STOREY
DWELLING
NO. 21



LEGAL DESCRIPTION

LOT 113
PLAN 43M-1523

SITE STATISTICS

LOT AREA	674.32 SM
GROUND FLOOR	192.09 SM
SECOND FLOOR	209.75 SM
GFA	401.84 SM

① Site Plan
1 : 250

DRIVEWAY WIDTH AMENDED DECEMBER 9, 2020



JOHN SIBENIK
ARCHITECTURAL TECHNOLOGIST
24 Ovida Ave., Toronto
Ontario M9B 1E1
Tel. (416) 236-2809; Cell (416) 729-8497
Email: john.sibenik@sympatico.ca

Project:

Driveway Widening to Kapoor
Residence
2 January Court
Brampton, ON L6Y 5L4

Site Plan

Project no. 2020-39	A101
Date October 2020	
Drawn by J.S.	Scale 1 : 250
Checked by J.S.	

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2020-0137

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) MANISH and NAMRATA KAPOOR
Address 2 JANUARY COURT
BRAMPTON, ON
L6Y 5L4
Phone # 905 890-4999 Fax # _____
Email mk@kapoorlaw.ca

2. Name of Agent JOHN SIBENIK
Address 24 OVIDA AVE
TORONTO, ON
M9B 1E1
Phone # 416 729-8497 Fax # _____
Email john.sibenik@sympatlco.ca

3. Nature and extent of relief applied for (variances requested):
RELIEF FOR DRIVEWAY WIDENING IN THE AMOUNT OF 10.24m WHEREAS 9.14m IS THE MAXIMUM ALLOWED
EXISTING SHED LOCATED 0.55m FROM THE PROPERTY LINE & WITHIN THE EXTERIOR SIDE YARD BY
THE PREVIOUS OWNER; WHEREAS THE REQUIREMENT IS TO LOCATE THE SHED IN THE REAR YARD

4. Why is it not possible to comply with the provisions of the by-law?
DRIVEWAY & SHED CONSTRUCTED BY THE PREVIOUS OWNER WITHOUT THE BENEFIT OR APPROVAL FROM
THE CITY

5. Legal Description of the subject land:
Lot Number 113
Plan Number/Concession Number 43M-1523
Municipal Address 2 JANUARY COURT

6. Dimension of subject land (in metric units)
Frontage 14.07m
Depth 33.40m
Area 674.32sm

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

DWELLING- GROUND FLOOR AREA 192.09, GFA 401.84 SM, STOREYS 2, WIDTH 14.19, LENGTH 18.19,
 SHED - AREA 8.55, WIDTH 3.02, LENGTH 2.81, HEIGHT 3.0m
 GAZEBO : AREA 18.44, WIDTH 4.29, LENGTH 4.29, HEIGHT 3.0m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

N/A

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING DWELLING	EXISTING SHED	EXISTING GAZEBO
Front yard setback	4.94m	
Rear yard setback	10.27m	0.47m
Side yard setback	3.48m	0.55m
Side yard setback	1.88m	2.0m
PROPOSED		
Front yard setback		
Rear yard setback		
Side yard setback		
Side yard setback		

10. Date of Acquisition of subject land: JUNE 6, 2017
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: CIRCA 2000
15. Length of time the existing uses of the subject property have been continued: ESTIMATED 20 YEARS
16. (a) What water supply is existing/proposed?
 Municipal ☒ Other (specify) _____
 Well ☐
- (b) What sewage disposal is/will be provided?
 Municipal ☒ Other (specify) _____
 Septic ☐
- (c) What storm drainage system is existing/proposed?
 Sewers ☒ Other (specify) _____
 Ditches ☐
 Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

John Smith
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 23 DAY OF NOV., 20 20

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JOAN SIBENIK, OF THE CITY OF TORONTO
IN THE PROV. OF ONTARIO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 23rd DAY OF
November, 2020

Jeanie Cecilia Myers,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires April 8, 2021.

John Smith
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B-2729

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Hothi S
Zoning Officer

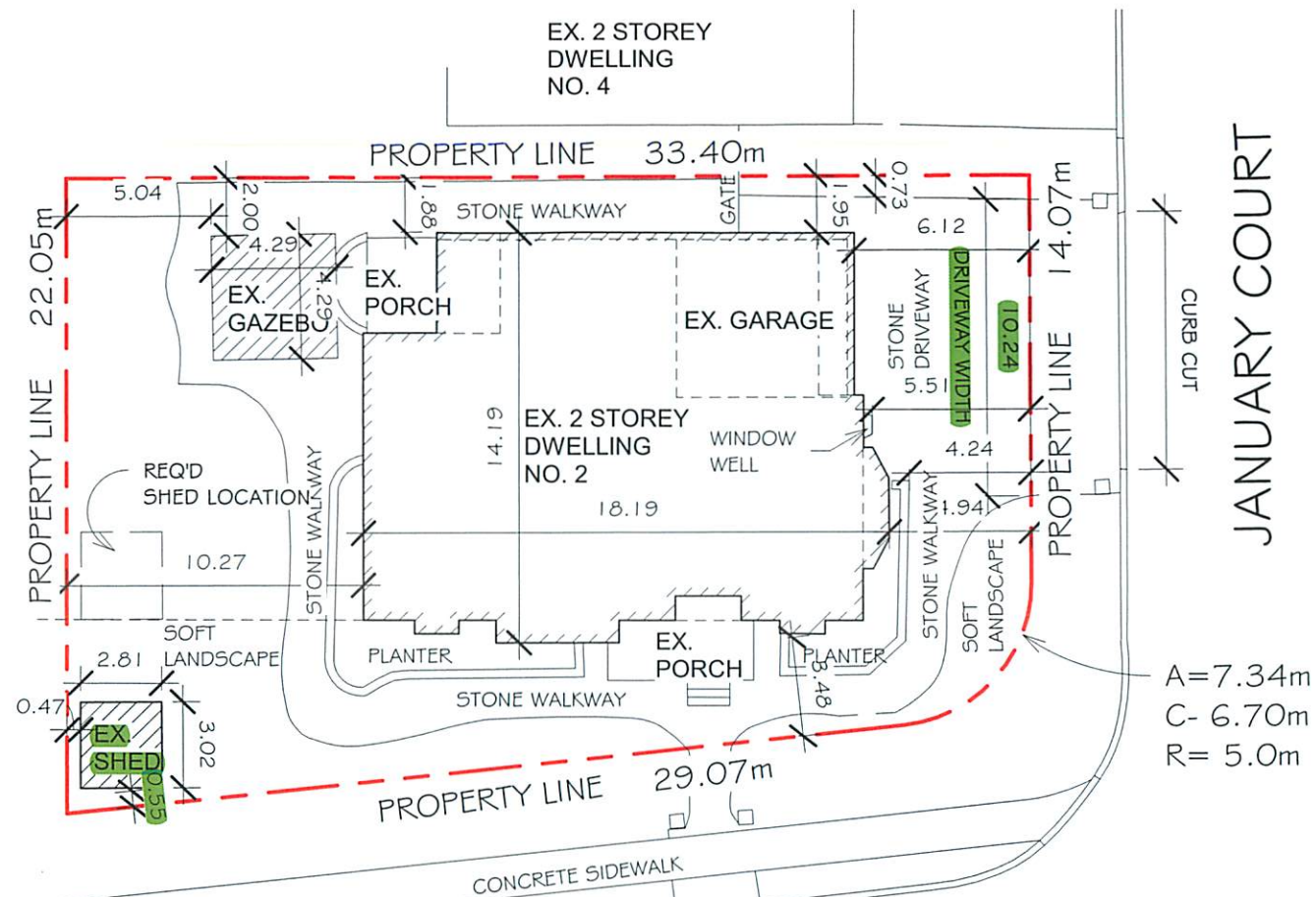
NOV. 23. 2020
Date

DATE RECEIVED November 23, 2020

Date Application Deemed Complete by the Municipality November 24, 2020

Revised 2020/01/07

EX. 2 STOREY
DWELLING
NO. 21



JANUARY COURT



LEGAL DESCRIPTION

LOT 113
PLAN 43M-1523

SITE STATISTICS

LOT AREA	674.32 SM
GROUND FLOOR	192.09 SM
SECOND FLOOR	209.75 SM
GFA	401.84 SM

A=7.34m
C= 6.70m
R= 5.0m

1 Site Plan
1 : 250

BLACK BEAR TRAIL



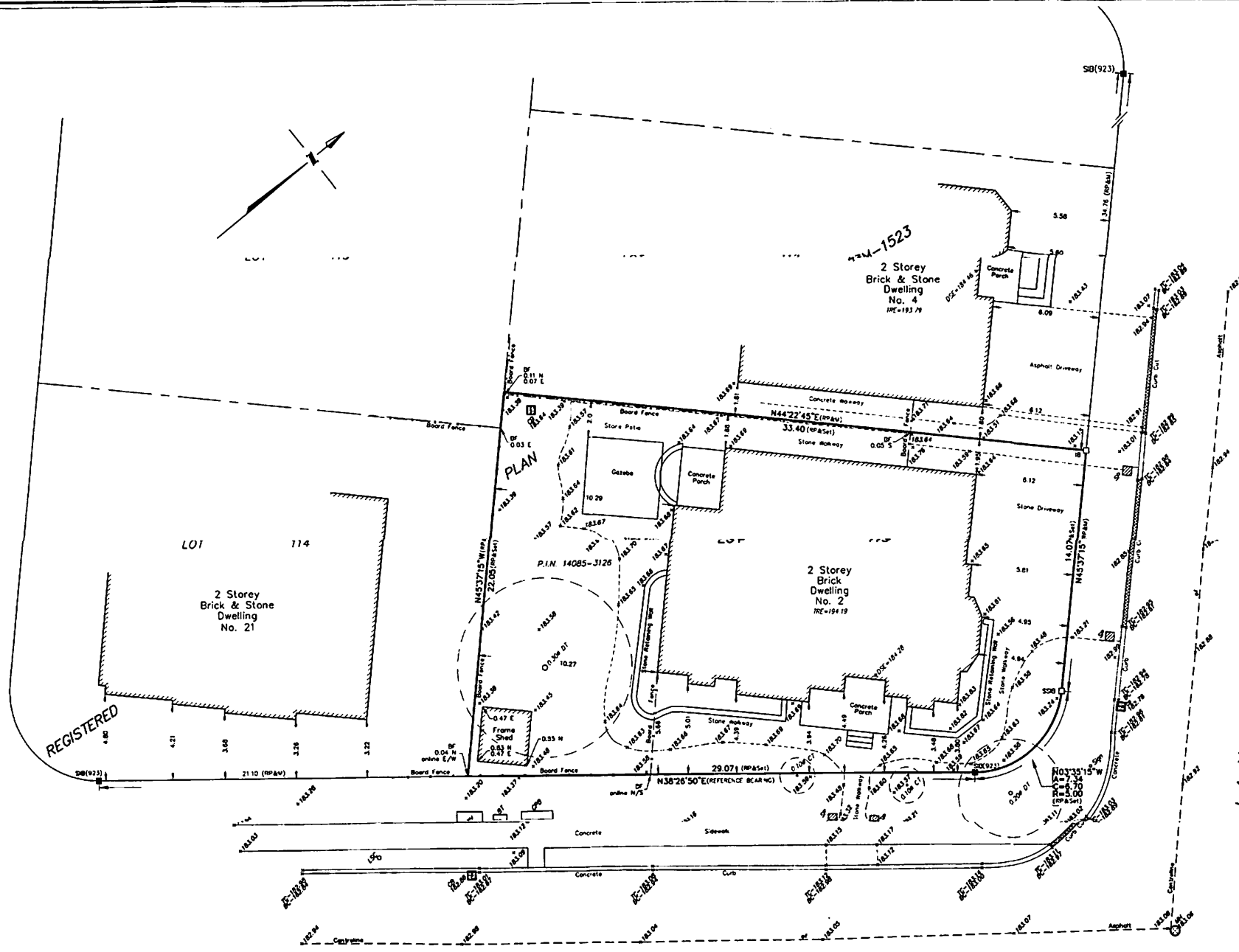
24 Ovida Ave., Toronto
Ontario M9B 1E1
Tel. (416) 236-2809; Cell (416) 729-8497
Email: john.sibenik@sympatico.ca

Project:

Driveway Widening to Kapoor
Residence
2 January Court
Brampton, ON L6Y 5L4

Site Plan

Project no. 2020-39	A101
Date October 2020	
Drawn by J.S.	
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Scale 1 : 250	



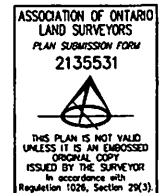
SURVEYOR'S REAL PROPERTY REPORT - PART 1
 PLAN OF
LOT 113
REGISTERED PLAN 43M-1523
CITY of BRAMPTON
 Regional Municipality of Peel
 SCALE 1 : 150
 YOUNG & YOUNG SURVEYING
 (ETOBICOKE 2008) INC.
 © COPYRIGHT 2020

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE
 BEARINGS ARE ASTROMOMIC AND ARE REFERRED TO THE
 NORTH LINE OF BLACK BEAR TRAIL, HAVING A BEARING OF

ELEVATION NOTE
 ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE
 CITY OF BRAMPTON BENCHMARK NO. 042050213 HAVING A
 PUBLISHED ELEVATION OF 196.25 METRES.

- LEGEND**
- DENOTES SURVEY MONUMENT SET
 - SURVEY MONUMENT FOUND
 - RP REGISTERED PLAN 43M-1523
 - N.S.E.W. NORTH, SOUTH, EAST, WEST
 - M MEASURED
 - CC CUT CROSS
 - SB STANDARD IRON BAR
 - SSB SHORT STANDARD IRON BAR
 - IB IRON BAR
 - WT WITNESS
 - P.I.N. PROPERTY IDENTIFIER NUMBER
 - TC TOP OF CURB
 - BC BOTTOM OF CURB
 - TRE TOP OF ROOF ELEVATION
 - DSE DOOR SILL ELEVATION
 - BF BOARD FENCE
 - WH WHOLE
 - CB CATCH BASIN
 - HV HYDRO VAULT
 - BT BELL TELEPHONE
 - CPB CANADA POST BOX
 - SP STONE PILLAR
 - DT DECIDUOUS TREE
 - CT CONIFEROUS TREE
 - (923) TARIPOX, WHELAN, O.L.S.



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 8TH DAY OF

SEPTEMBER 18, 2020
 DATE

CHRIS BRESHEWICZ
 ONTARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR MANISH KAPOOR

PART 2 - SURVEY REPORT

- PLEASE NOTE LOCATION OF FENCES AND OVERHEAD WIRES
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY: NONE
- THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

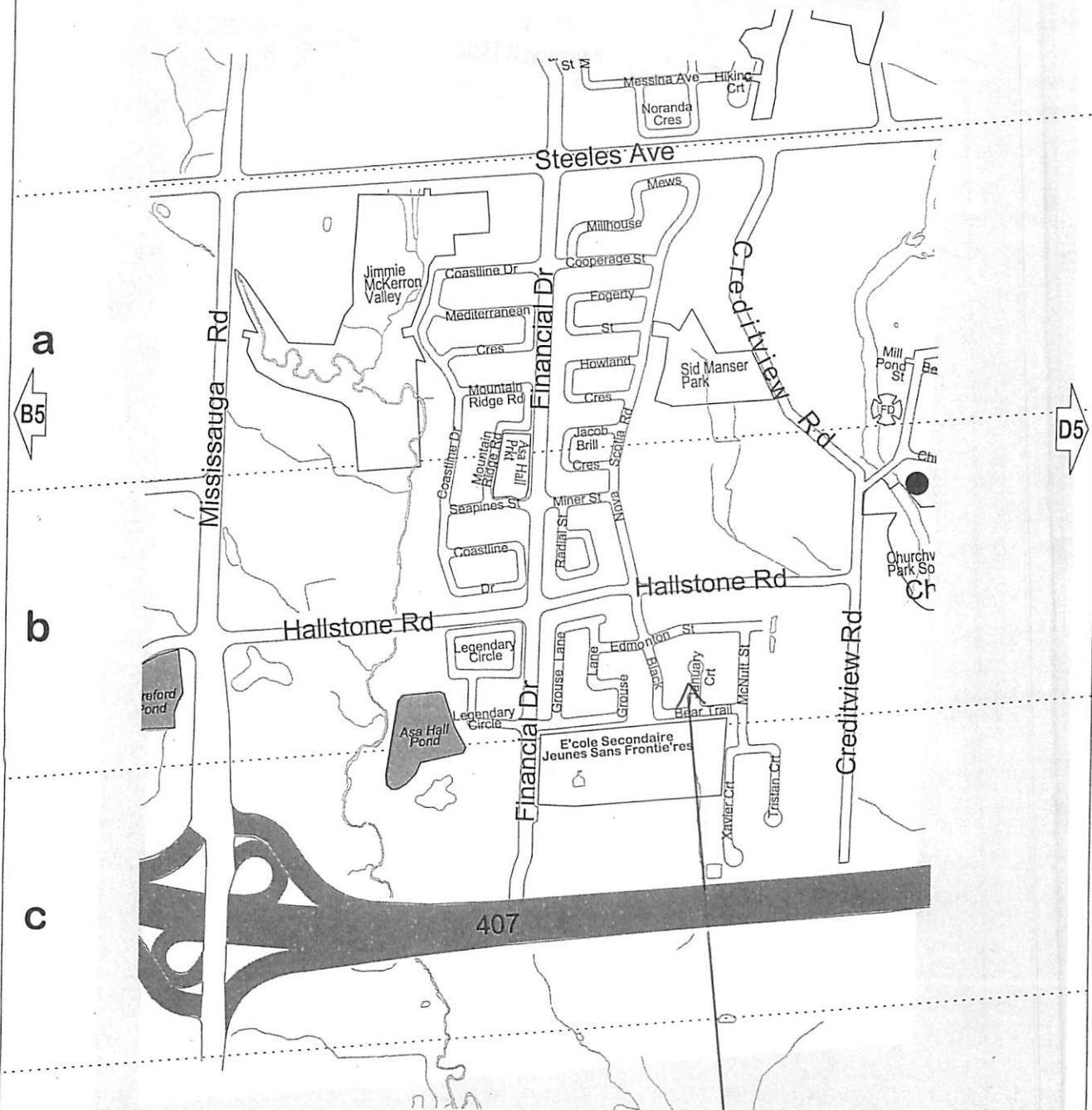
YOUNG & YOUNG
 SURVEYING (ETOBICOKE 2008) INC.

310 North Queen St., Unit 102, Toronto ON M5C 5K4
 Tel: (416) 821-2878 • Fax: (416) 821-3380
 E-MAIL: info@youngandyoung.ca

DRAWN: DCJ CHECKED: C.B. PROJECT 20-T10476

BLACK BEAR TRAIL
 (By Registered Plan 43M-1523)
 P.I.N. 14085-3218

C4



A-2020-0137

C5



Report Committee of Adjustment

Filing Date: November 23, 2020

Hearing Date: January 5, 2021

File: A-2020-0137

**Owner/
Applicant:** MANISH AND NAMRATA KAPOOR

Address: 2 January Court

Ward: 6

Contact: Shelby Swinfield, Planner I, Development

Recommendations:

That application A-2020-0137 is supportable, subject to the following conditions being imposed:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the applicant obtain a building permit for the accessory structure within 60 days of the final date of the Committee's decision, or within an extended period of time at the discretion of the Chief Building Official;
3. That the existing gazebo remain of an open style construction and shall not be enclosed;
4. The extended portion of the driveway shall not be parked or driven upon at any time by the whole or a part of a motor vehicle;
5. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Background:

Existing Zoning:

The property is zoned "Residential Single Detached B – Special Section 2729 (R1B-2729)" according to By-law 270-2004, as amended.

Requested Variances:

The applicant is requesting the following variances:

1. To permit a driveway having a width of 10.66m (34.97 ft.) whereas the by-law permits a maximum driveway width of 9.14m (30 ft.);
2. To permit an existing accessory structure (shed) to be located in an exterior side yard whereas the by-law does not permit an accessory structure within an exterior side yard;
3. To permit an existing accessory structure (shed) having a side yard setback of 0.47m (1.54 ft.) and a side yard setback of 0.55m (1.80 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) for an accessory structure from all nearest property lines;
4. To permit an existing accessory structure (gazebo) having a gross floor area of 18.4 sq. m (198.06 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m. (161.5 sq. ft.) for an individual accessory structure;
5. To permit two (2) existing accessory structures (shed and gazebo) having a combined gross floor area of 26.9 sq. m (289.55 sq. ft.) whereas the by-law permits a maximum combined gross floor area of 20 sq. m (215.28 sq. ft.).

Current Situation:

1. Conforms to the Intent of the Official Plan

The property is designated "Residential" in the Official Plan and "Low Medium Density Residential" in the Bram West Secondary Plan (Area 40c). The requested variances are not considered to have significant impacts within the context of the Official Plan. Subject to the recommended conditions of approval, the requested variances are considered to maintain the general intent of the Official Plan.

2. Conforms to the Intent of the Zoning By-law

Variance 1 is to permit a driveway having a width of 10.66m (34.97 ft.) whereas the by-law permits a maximum driveway width of 9.14m (30 ft.). The variance is requested in regard to the existing driveway on the subject property. The intent of the by-law in prescribing a maximum permitted driveway width based on the width of the property is intended to ensure that the main function of the driveway is to provide a path of travel to the garage and maintain the aesthetic quality of the streetscape.

In the case of the subject property, it is located on the corner of January Court and Black Bear Trail. The driveway leads to the dwelling's two car garage, and includes a portion that is intended to be used as a walkway, based on the overall stonework design on the property. A condition of approval is recommended that the extended portion of the driveway shall not be parked or driven upon at any time by the whole or a part of a motor vehicle to ensure that an excessive number of vehicles is not parked on the

driveway. Subject to the recommended conditions of approval, Variance 1 is considered to maintain the general intent of the Zoning By-law.

Variances 2 and 3 relate to an existing accessory shed that is located within the defined exterior side yard of the property. Due to the orientation of the property as a corner lot, the exterior side yard also contains the effective "rear yard", including a significant portion of outdoor amenity space for the property.

The intent of the by-law in prohibiting accessory structures in the exterior side yard is to prevent negative visual impacts on the streetscape. In the case of the subject property, the shed is located within the fenced area of the outdoor amenity space and it is not visible from the streetscape. Subject to the recommended conditions of approval, Variance 2 is considered to maintain the general intent of the Zoning By-law.

Variance 3 is to permit an existing accessory structure (shed) having a side yard setback of 0.47m (1.54 ft.) and a side yard setback of 0.55m (1.80 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) for an accessory structure from all nearest property lines. The intent of the by-law in requiring a minimum setback to all lot lines is to ensure that there is sufficient space provided for drainage from the structure. The existing setback is considered to provide sufficient space for drainage. Subject to the recommended conditions of approval, Variance 3 is considered to maintain the general intent of the Zoning By-law.

Variance 4 is to permit an existing accessory structure (gazebo) having a gross floor area of 18.4 sq. m (198.06 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m. (161.5 sq. ft.) for an individual accessory structure. The intent of the by-law in regulating the maximum permitted floor area of an accessory structure is to ensure that it does not dominate the outdoor amenity space for the property. In the case of this application, the structure is a gazebo that is not enclosed and is used to provide shade and shelter to the amenity area. The structure does not detract from the outdoor amenity space for the property. A condition of approval is recommended that the structure remain unenclosed in order to maintain the current situation. Subject to the recommended conditions of approval, Variance 4 is considered to maintain the general intent of the Zoning By-law.

Variance 5 is to permit two (2) existing accessory structures (shed and gazebo) having a combined gross floor area of 26.9 sq. m (289.55 sq. ft.) whereas the by-law permits a maximum combined gross floor area of 20 sq. m (215.28 sq. ft.), related to the storage shed and the gazebo. The intent of the by-law in regulating the maximum combined floor area of two accessory structures is to ensure that the structures do not dominate the outdoor amenity area for the property. In the case of the subject property, due to the size and nature of the structures, the increased floor area is not considered to detract from the outdoor amenity area. Subject to the recommended conditions of approval, Variance 5 is considered to be minor in nature.

3. Desirable for the Appropriate Development of the Land

Variance 1 is to permit an increase in driveway width of 1.52m (4.9 ft) from the permitted 9.14m (30 ft.) for the existing driveway on the property. The design of the driveway includes two decorative lamp posts and a walkway that leads to the main door of the dwelling. A condition of approval is recommended that the extended portion of the driveway shall not be parked or driven upon at any time by the whole or a part of a motor vehicle to ensure that the walkway portion of the driveway is not used to park vehicles. Given the quality of the driveway design, provided it is not filled with an excessive number of vehicles, it contributes positively to the overall aesthetic of the property and streetscape. Subject to the recommended conditions of approval, Variance 1 is considered to be desirable for the appropriate development of the land.

Variances 2, 3, 4, and 5 relate to two existing accessory structures within the outdoor amenity area of the property. The existing structures do not compromise from the provision of outdoor amenity space, and are intended to be used to enhance the use of the amenity space for the property. Additionally, due to their location within the fenced portion of the property the structures present no concerns with regard to impacts on the streetscape. Given the size of the gazebo structure, it is recommended as a condition of approval that the applicant should obtain a building permit for the structure within 60 days of the final date of the Committee's decision. Subject to the recommended conditions of approval, the requested variances are considered to be desirable for the appropriate development of the land.

4. Minor in Nature

Variance 1 is requested with regard to the existing driveway on the property. The driveway is considered to contribute positively to the aesthetic quality of the property, given the overall stone design on the property. Staff recommend as a condition of approval that no vehicles be parked on the extended portion of the driveway to ensure that an excessive number of vehicles are not parked on the driveway. Subject to the recommended conditions of approval, Variance 1 is considered to be minor in nature.

Variances 2, 3, 4, and 5 are requested with regard to two existing accessory structures on the property. The location of the structures within the fenced portion of the property of these structures does not allow them to impose upon adjacent properties, or present concerns with regard to impacts on the streetscape. Further, drainage on the property is not anticipated to be impacted by these structures. Subject to the recommended conditions of approval, the requested variances are considered to be minor in nature.

Respectfully Submitted,

Shelby Swinfield

Shelby Swinfield, Planner I, Development

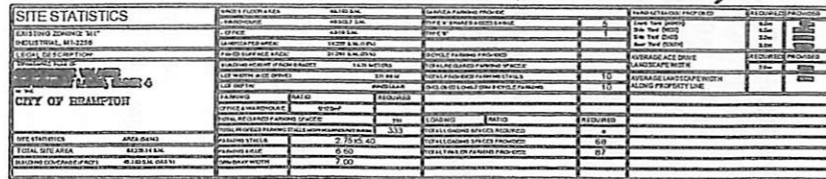


Committee of Adjustment

APPLICATION FOR MINOR VARIANCE

Page 105 of 228

CITY OF BRAMPTON



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures How to get involved in the Virtual Hearing

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A-2020-0138

November 19, 2020

BY EMAIL & DELIVERED

City of Brampton
Committee of Adjustment
2 Wellington Street W.,
Brampton, Ontario
L6Y 4R2

Attn: Ms. Jeanie Myers, Secretary Treasurer, Committee of Adjustment

**RE: 100 Ace Drive – ‘Minor Variance Application’
Industrial Development Project – CSPAC Industrial Ace Dr. GP, Inc.
(c/o Panattoni Development Company)
In support of Site Plan Approval Application – City File # SPA-2020-0078
Block 4, Registered Plan 43M-1907 - Concession 3, Part Lot 16
City of Brampton, Region of Peel
Our File: 1888**

We are a registered professional planning consultant company and agent writing on behalf of CSPAC Industrial Ace Dr. GP, Inc. (c/o Panattoni Development Company), with instructions to file this ‘Minor Variance’ application regarding their 100 Ave Drive industrial project, located in the ‘410 Employment Centre’. The intended industrial development of the subject land, at this newly acquired municipal address, includes warehousing and/or distribution uses, with accessory office uses.

A Site Plan Approval Application was filed for the above captioned property on May 29, 2020 and we are advised by the City’s Zoning and Planning Staff that a Minor Variance to the City’s Zoning By-law No. 270-2004, as amended is required to support and facilitate approval of the proposed Site Plan, as per the following Zoning Review comment:

“Outside Storage is proposed within the interior side yard whereas the By-law limits outside storage to the rear yard. Please revise or obtain approval of a minor variance”.



THE REQUESTED MINOR VARIANCE SATISFIES THE FOUR (4) TESTS OF THE PLANNING ACT

The intended industrial use of the subject land supports the locational land use planning policies and attributes, including the development and intensification of 'Employment Areas', as mandated by the Provincial Policy Statement, 2020 and the Growth Plan, 2020.

To support the approval of the minor variance sought, it is necessary to adequately demonstrate that the following four (4) tests of the *Planning Act* are satisfied:

Test One: The general intent and purpose of the Official Plan is maintained.

In my opinion, this Minor Variance application maintains the general intent and purpose of the City's Official Plan in terms of the following policy requirements and/or development principles per the 'Countryside Villages Secondary Plan'.

- 'Prestige Industrial' policy 5.2.2 reads, 'manufacturing', warehousing and distribution uses are permitted', provided such uses "...operate within wholly enclosed buildings and are associated with an office use." Also, the "Outdoor storage of goods and materials is not permitted as a primary use...and no transport terminals shall be permitted in this Secondary Plan."
- Section 5.2.2.3 of the 'Countryside Villages Secondary Plan' further reads under development principles, such as 5.2.2.3 v) "Outdoor storage of goods or materials shall not be permitted as a primary use or visible from a public road;"
- Section 5.2.2.3 x) reads, "The visual impact of automobile and truck parking, service and delivery areas shall be minimized through appropriate siting, orientation and design of buildings consistent with the landscape and screening measure contained within the approved urban design guidelines for these lands;"

Of note, the Official Plan and the 'Countryside Villages Secondary Plan', refers to 'outdoor storage' as a non-primary use, and further this use appears referenced as 'outside storage' in terms of the implementing Zoning By-law.



The City of Brampton Official Plan policy reads, *“Outdoor storage will not be located adjacent to, or be visible from city boundaries, the public realm or sensitive land uses by incorporating the appropriate setbacks, screening, landscaping and buffering.”*

Therefore, in order to satisfy the intent of Official Plan policy, it is necessary to provide *‘appropriate setbacks, screening, landscaping and buffering’* to the public realm.

Currently *‘outdoor storage’*, or more specifically *‘outside storage’* is permitted in the Rear Yard of the subject land facing onto to Highway 410.

This Minor Variance seeks permission to relocate the permitted Rear Yard *‘outside storage’* to the Interior Side Yard on the subject land, as further supported by the design of appropriate setbacks, screening, landscaping and buffering per MSLA Landscape Architects.

In my professional planning opinion, the intent of Official Plan policy is satisfied.

Test Two: The general intent and purpose of the Zoning By-law is maintained.

The subject land is zoned ‘M1-2256’, ‘Industrial One – M1’ per Section 31.1 of the City’s Zoning By-law No. 270-2004, as amended, permitting a range of industrial uses such as manufacturing and warehousing, and accessory office.

Zoning Exception No. 2256.2 reads, *“Outside storage shall only be permitted in the rear yard and shall be screened from view of the street.”*

This zoning permission implements the Secondary Plan policy as *“Outdoor storage of goods and materials is not permitted as a primary use”*, where this use is permitted as an accessory use.

The land area to be used for truck trailer parking, deemed *‘outside storage’*, is a better location for this use, as it more efficiently complements the industrial operational functions of the building and site, as the land area for the proposed *‘outside storage’* is not required for parking, loading, driveway or landscaped open space purposes. This information is illustrated on **Figure 1A - ‘Overall Site Plan’**.

In my professional planning opinion, the general intent and purpose of the Zoning By-law is maintained.



Test Three: The variance is minor in relative scale.

Zoning Exception No. 2256.2 reads, “*Outside storage shall only be permitted in the rear yard and shall be screened from view of the street.*” This zoning permission implements the Secondary Plan policy as “*Outdoor storage of goods and materials is not permitted as a primary use*”, where this use is permitted as an accessory use.

As a proportion of the subject land, the ‘*outside storage*’ area represents 5.4% of the subject land area.

In my professional planning opinion, the requested variance is minor in scale, relative to the subject land area.

Test Four: The variance is desirable for the appropriate development or use of the property.

This zoning use permission implements the Secondary Plan policy as “*Outside storage of goods and materials is not permitted as a primary use*”, whereas in terms of the subject land, ‘*outside storage*’ is permitted as an accessory use.

Further, the Zoning By-law provision reads, “*Outside storage shall only be permitted in the rear yard and shall be screened from view of the street.*”

In terms of the better design and functional use of the subject land, it is preferable that no ‘*outside storage*’ be located in the Rear Yard, described as the subject land located between the proposed industrial building and open space abutting Highway 410, but rather located in the Interior Side Yard of the subject land, where the ability to provide appropriate setbacks, screening, landscaping and buffering from the public realm is better achieved.

MSLA Landscape Architects has designed landscape screening program within the landscaped strips or areas at the Front and Rear Yards, and the Interior Side Yard lot or boundary lines of the subject land, to satisfy City of Brampton design requirements, adding aesthetic value to this Employment Area.



MINOR VARIANCE APPLICATION REQUIREMENTS

In accordance with this requirement we are pleased to file the required documentation to facilitate a Minor Variance application to the City's Zoning By-law.

Please find attached the following documentation:

1. One duly completed original copy of the Minor Variance Application Form (single sided) and the application fee amount of \$2,510.00, payable to the City of Brampton;
2. A completed 'Appointment and Authorization Letter' permitting Pound & Stewart Associates Limited to act as Agent for the purpose of this 'Minor Variance' application;
3. A completed 'Permission to Enter' form as required;
4. Confirmation of zoning requirements letter through circulation of SPA-2020-0078 by the Zoning Division of the City of Brampton;
5. Twelve (12) prints of a Site Plan dimensioned 8 ½" by 14", and marked in accordance with the Committee of Adjustment's requirements;
6. A 'Planning Justification Report' in support of the Minor Variance sought to support and facilitate Site Plan Approval for SPA-2020-0078.

As a Registered Professional Planner, I am of the opinion that the Minor Variance sought is desirable for the appropriate planned function and development of the subject land, and further that the proposed Minor Variance;

- is consistent with the Provincial Policy Statement, 2020;
- is in conformity with the Growth Plan for the Greater Golden Horseshoe, 2020;
- is in conformity with the Region of Peel Official Plan;
- complies with the general intent and purpose of the City of Brampton Official Plan and the achievement and proper implementation of the City's Official Plan goals and objectives;
- complies with the general intent and purpose of Zoning By-law M1-2256', 'Industrial One – M1' per Section 31.1 per the City's Zoning By-law No. 270-2004, as amended.

In conclusion, the planned function of the subject land for warehousing and/or distribution uses, with accessory office uses, represents orderly and desirable Employment Area development, and subject to the approval of this Minor Variance Application, will comply with public planning policy and regulatory objectives in my opinion.



It is recommended that the Minor Variance sought be approved, subject to any appropriate conditions applied by the Committee of Adjustment.

Thank-you in advance for your co-operation and we look forward to the processing of this Committee of Adjustment Minor Variance application at your earliest convenience.

Yours truly,

Pound & Stewart Associates Limited



Philip Stewart MCIP, RPP

/la 1888ltr.Zoning.Nov.19.20

Attachments: As noted herein

cc. Mr. T. Payne, Zoning Examiner, City of Brampton
cc. Mr. M. Michniak, MCIP, RPP, Planner, City of Brampton
cc. Mr. R. Smele, Panattoni Development Company



Flower City



brampton.ca

FILE NUMBER: A-2020-0138

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) CSPAC Industrial Ace Dr. GP. Inc.
Address Panattoni Development Company c/o Mr. Ryan Smele, Development Manager
185 The West Mall, Suite 860
Toronto, Ontario M9C 5L5
Phone # 416-915-1986 Fax # _____
Email rsmele@panattoni.com

2. Name of Agent Philip Stewart, MCIP, RPP
Address 305 Renfrew Drive, Suite 101, Markham, Ontario L3R 9S7

Phone # 905-305-9797 Ext. 27 Fax # _____
Email pstewart@cityplan.com

3. Nature and extent of relief applied for (variances requested):
The subject property is zoned 'M1-2256', 'Industrial One - M1' per Section 31.1 of the City of Brampton Consolidated Zoning By-law No. 270-2004, as amended. Zoning exception No. 2256.2 reads: "Outside storage shall only be permitted in the rear yard and shall be screened from view of the street." Truck Trailer parking is deemed 'Outside Storage' under the Zoning By-law. We are seeking relief from the Zoning By-law No. 270-2004, as amended, where the zoning permits 'outside storage' in the rear yard, however does not permit 'outside storage' in an interior side yard. The variance sought better supports overall business functionality, providing for separation and safety of on-site vehicular and truck trailer movements, while visually buffering on-site outside storage between a proposed building, and future buildings, avoiding outside storage uses being located in the rear yard, as currently permitted

4. Why is it not possible to comply with the provisions of the by-law?
The subject land is large in land area and rectangular in shape. The efficient and practical design of this property is provided for in the proposed Site Plan layout. Business functionality and site operations requires that the 'Truck Area', deemed 'outside storage', be located along the north side of the building, opposite the building's Loading Bays/Doors. While consolidated Zoning By-law No. 270-2004, as amended, permits 'outside storage' in the rear yard of the subject land, this location is not practical, and the rear yard faces toward Highway 410.

5. Legal Description of the subject land:
Lot Number Concession 3, Part of Lot 16
Plan Number/Concession Number Block 4, Registered Plan 43M-1907
Municipal Address 100 Ace Drive

6. Dimension of subject land (in metric units)
Frontage 271.68 m
Depth 400 m
Area 8.94 ha

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)
Presently the subject land is vacant. A Site Plan Approval application has been filed with the City of Brampton under File No. SPA-2020-0078 to support the construction of an industrial building, and related site works

PROPOSED BUILDINGS/STRUCTURES on the subject land:

One Industrial Building.
Gross Floor Area of 45,103 m2.
Building width of 337.21 m.
Building Length (Maximum) of 280.70 m.
Single storey Building Height of 14.31 m.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback Vacant Lands
Rear yard setback _____
Side yard setback _____
Side yard setback _____

PROPOSED

Front yard setback 9.0 m (Generally, North-East facing)
Rear yard setback 10.56 m (Generally South-West facing)
Side yard setback (Exterior) 57.8 m (Generally North-West facing)
Side yard setback (Interior) 32.73 m (Generally South-East)

10. Date of Acquisition of subject land: January 31, 2020
11. Existing uses of subject property: Vacant Land
12. Proposed uses of subject property: Industrial
13. Existing uses of abutting properties: Industrial, Open Space
14. Date of construction of all buildings & structures on subject land: Vacant Land
15. Length of time the existing uses of the subject property have been continued: Vacant Land
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Philip Stewart, MCIP, RPP
Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ City _____ OF _____ Toronto _____

THIS 19 DAY OF _____ November _____, 2020.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Philip Stewart, OF THE _____ City _____ OF _____ Toronto _____

IN THE _____ Province _____ OF _____ Ontario _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE BY A Commissioner, etc., Province of Ontario, for the Corporation of the City of Brampton. Expires April 8, 2021.

DECLARED BEFORE ME AT THE

_____ City _____ OF _____ Toronto _____

IN THE _____ Province _____ OF _____

_____ Ontario _____ THIS 23rd DAY OF _____

_____ November _____, 2020.

Seamus Myers
A Commissioner, etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

M1 - 2256

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Hothi S

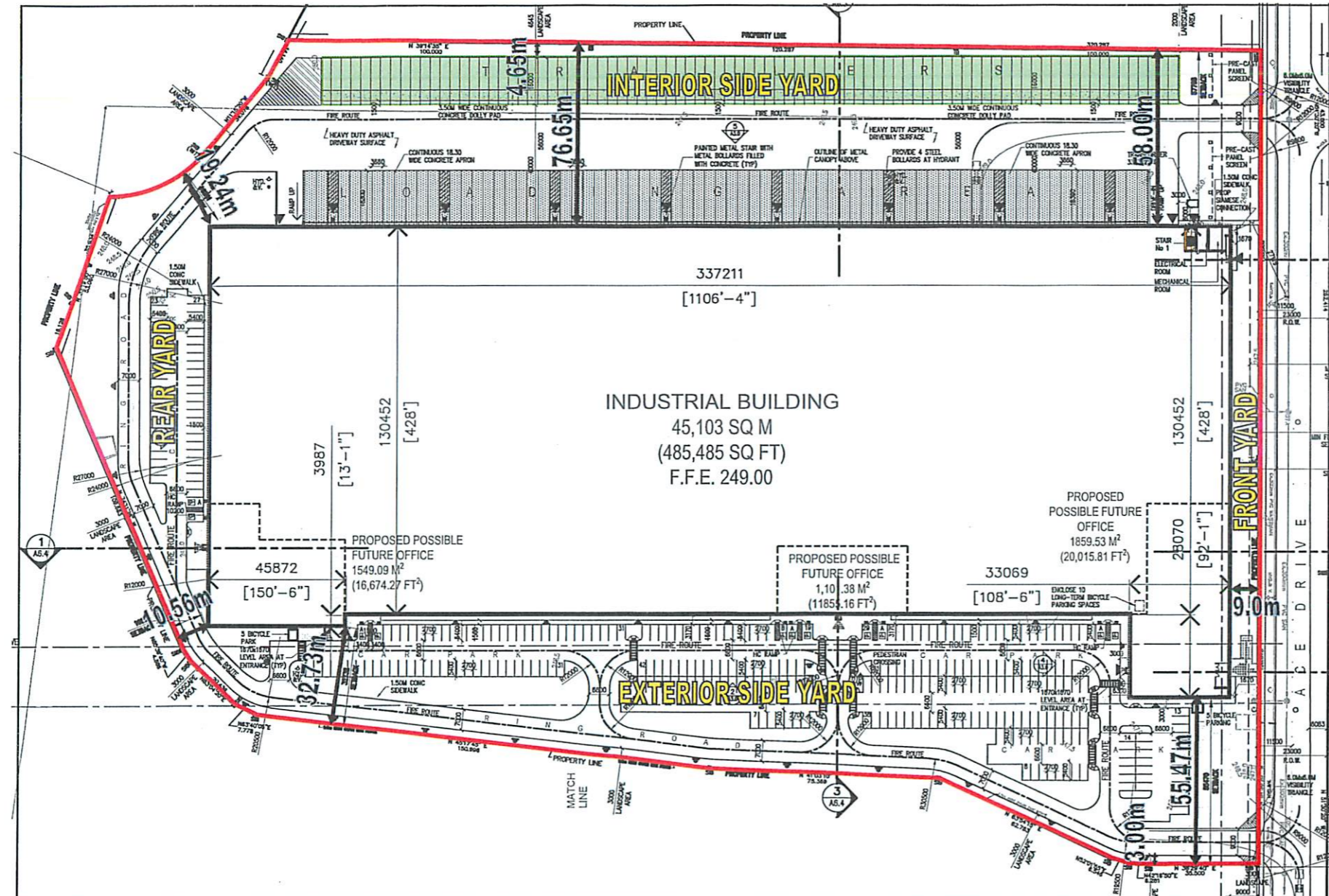
Zoning Officer

NOV. 24. 2020

Date

DATE RECEIVED November 23, 2020

**FIGURE 10
ZONING CONTEXT**

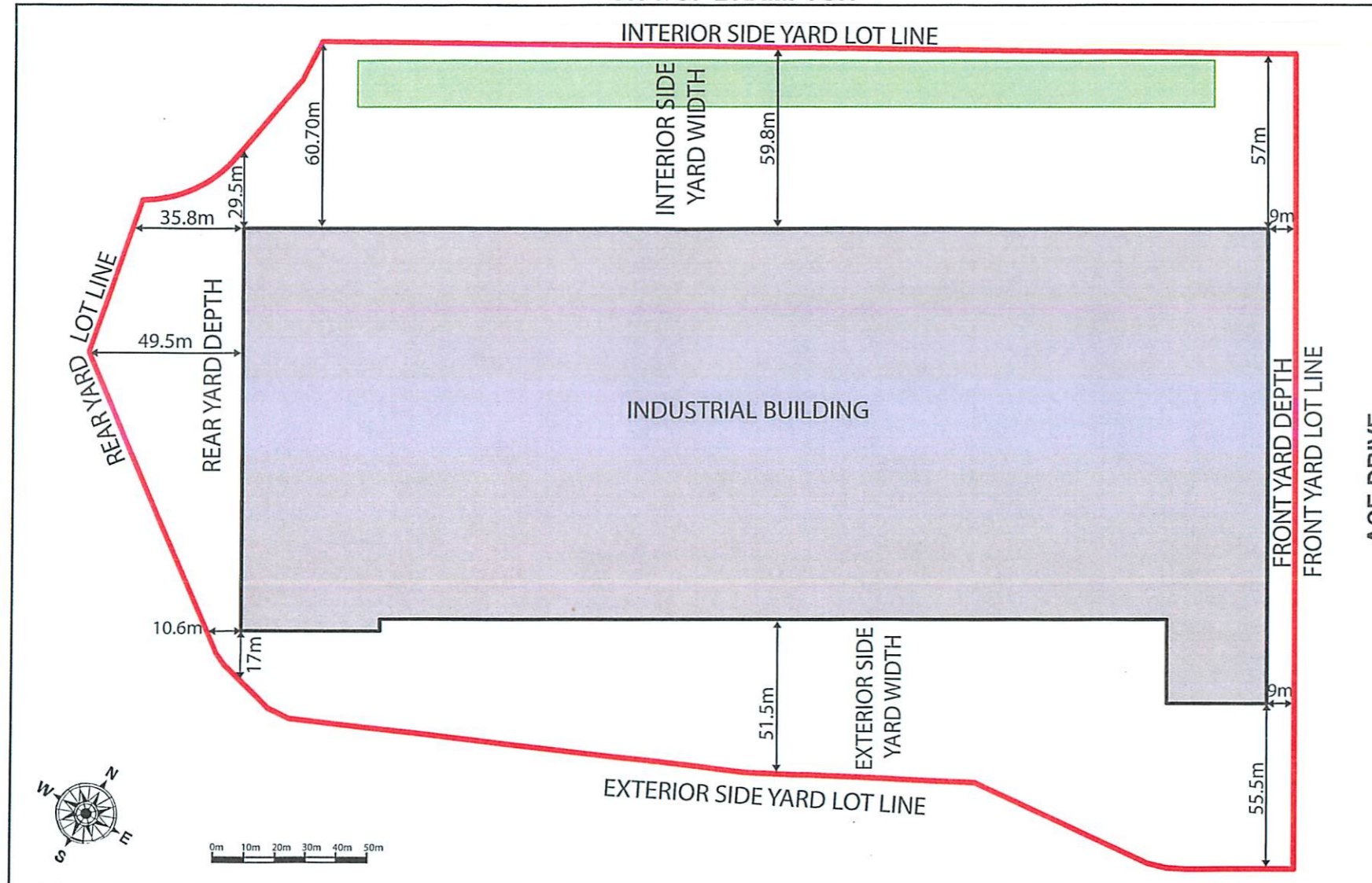


LEGEND	
	100 Ace Drive ("Subject Land")
	'Trailer Area' 4,518 m² (48,632.94 ft²)

City of Brampton Comprehensive Zoning By-law 270 - 2004, as amended
Lands Designated M1-2256, Special Section 2256.2 (3) b) Minimum Yards:

- Front Yard Depth: 3.0 metres
- Interior Side Yard Width: 2.0 metres
- Exterior Side Yard Width: 3.0 metres
- Rear Yard Depth: 3.0 metres

FIGURE 11 - ZONING FOR YARDS - 100 ACE DRIVE
 'M1-2256' 'INDUSTRIAL ONE-M1' (94-2012)
 ZONING BY-LAW NO. 270-2004, AS AMENDED
 CITY OF BRAMPTON



NOTE: SEE APPENDIX 3 OF PLANNING JUSTIFICATION REPORT



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1888_Figure11_SitePlan_PropBound_FloorPlan_Nov.13.20

**100 ACE DRIVE
CITY OF BRAMPTON**

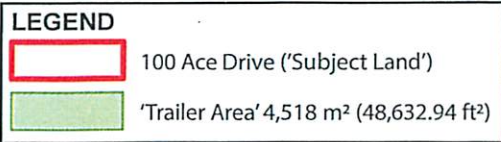
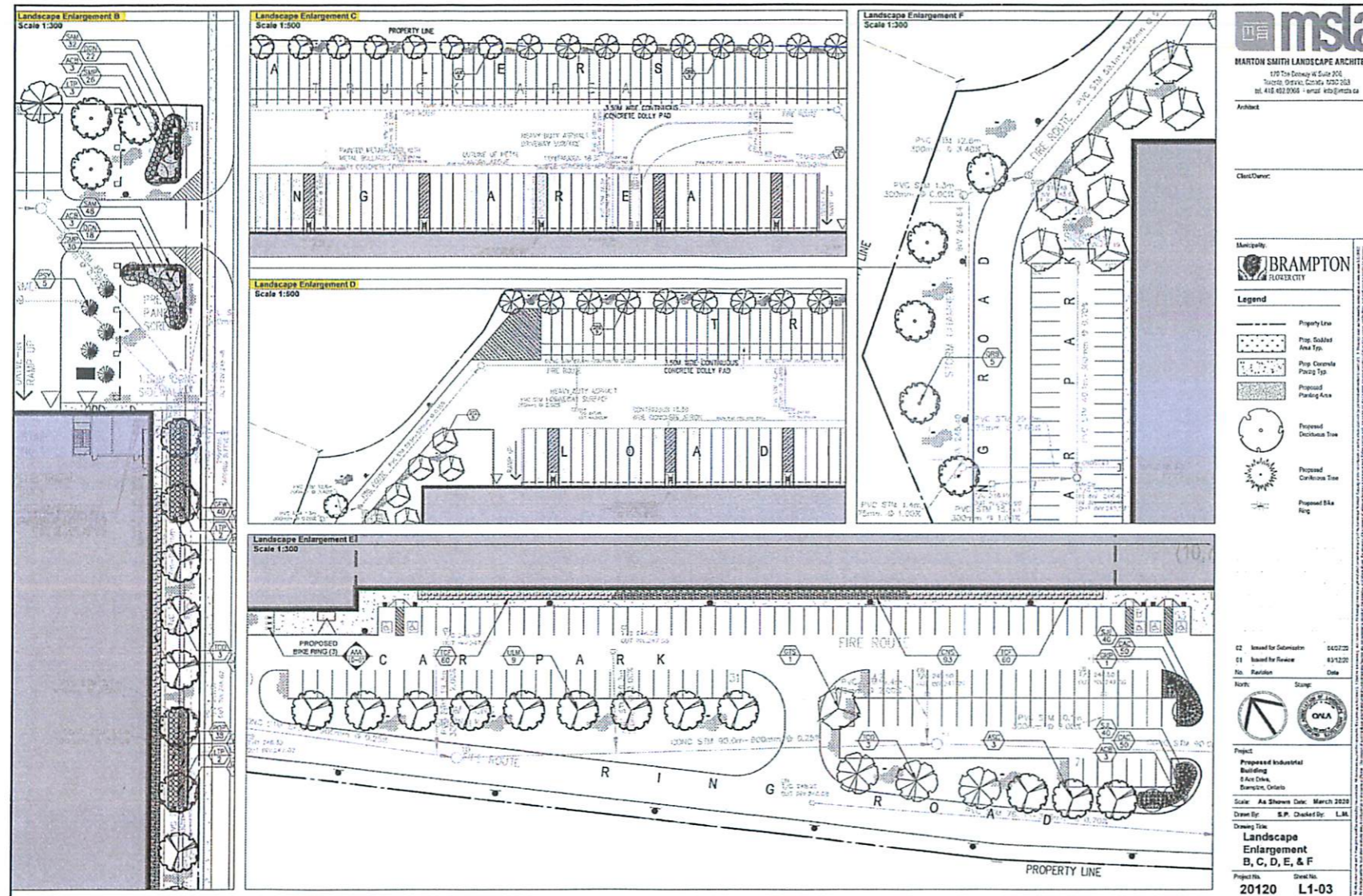


FIGURE 13 - LANDSCAPE ENLARGEMENTS 'B', 'C' & 'D' IN SUPPORT OF OUTSIDE STORAGE
100 ACE DRIVE
CITY OF BRAMPTON



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1888_Figure13_LandScapPlan_L1-03_Nov.13.20

IMAGE 1 - COMMUNITY CONTEXT
LOCATION OF 100 ACE DRIVE
CITY OF BRAMPTON



LEGEND



100 Ace Drive ('Subject Land')



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1888_Image1_KeyMap_Nov.13.20

IMAGE 2
CLOSE-UP - COMMUNITY CONTEXT
100 ACE DRIVE
CITY OF BRAMPTON



LEGEND

 100 Ace Drive ('Subject Lands')



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1888_Image2_CloseAerial_Nov.13.20

IMAGE 3 - ARCHITECTURAL RENDERING OF BUILDING FRONT ELEVATION
100 ACE DRIVE
CITY OF BRAMPTON



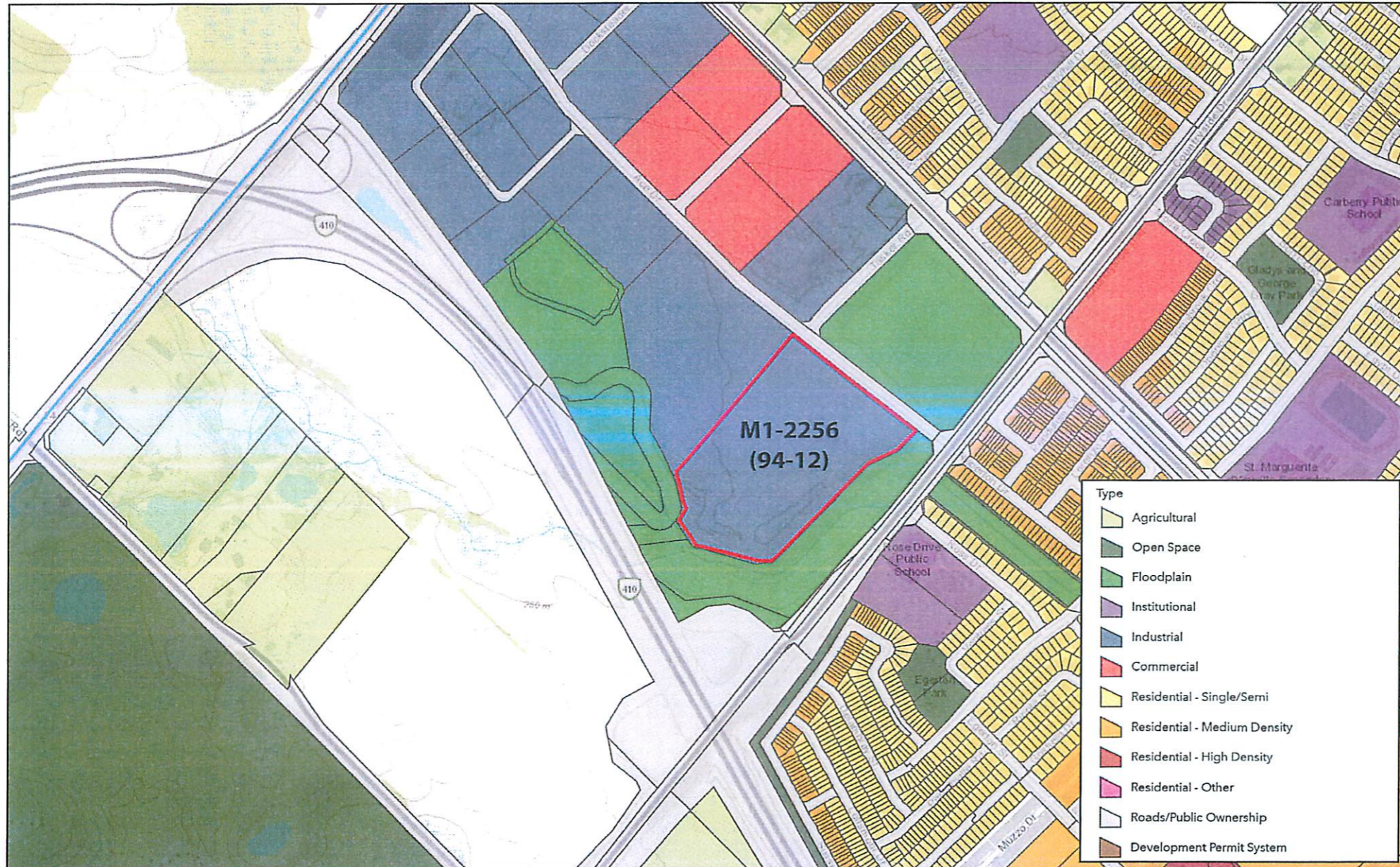
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ARCHITECTS

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1888_Image3_Elevation_Nov.13.20

FIGURE 2
CITY OF BRAMPTON COMPREHENSIVE ZONING BY-LAW 270 - 2004, AS AMENDED



LEGEND

100 Ace Drive ("Subject Land")

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1888_Figure2_Zoning_Nov.13.20



August 27, 2020

Philip Stewart
Pound & Stewart Associates Limited
305 Renfrew Drive Suite 101
Markham ON L3R 9S7

Dear Mr. Stewart

RE:

NOTICE OF COMPLETE APPLICATION

Site Plan Application
(Industrial building and site development.)
Pound & Stewart Associates Limited - CSPAC Industrial Ace Dr. GP Inc.
City File: SPA-2020-0078
Ward: 9
Assigned Planner: Mark Michniak

This is to acknowledge receipt of your application on June 19, 2020, which was deemed complete on July 17, 2020.

A complete application does not constitute support of the application nor is it that the material contained in the supporting documentation acceptable. It is an indication that all required material requested and necessary for a complete review has been submitted.

Please note that it may be determined through the processing of this application that additional documentation is required. Staff will notify you if and when supplementary information is required.

This project will be managed by Cynthia Owusu-Gyimah, Acting Manager at 905-874-2064 and the day-to-day processing will be carried out by Mark Michniak, Planner III, Development, at 905-874-3882. If you have any questions or concerns during the processing of this application, please do not hesitate to contact Cynthia Owusu-Gyimah or Mark Michniak.

Yours truly,



Allan Parsons, MCIP, RPP
Director, Development Services
Planning, Building and Economic Development Services Department
905-874-2052
Allan.Parsons@brampton.ca

- c. Peter Fay, City of Brampton
Janet Lee, City of Brampton
Development Finance (admin.development@brampton.ca)

Consolidated Comment Report**Date:** July 15, 2020**File:** SPA-2020-0078**Applicant/Owner:** Pound & Stewart Planning Consultants / Cspac Industrial Ace Dr Gp Inc**Location:** 0 ACE DR, BRAMPTON, ON

Proposal: To develop one large rectangular-shaped industrial building, totaling about 45,103 m² (485,500 sq. ft.) in gross floor area, inclusive of 10% accessory office space. There will be an allocation of 40,592.7 m² of warehouse, with the remainder 4,510 m² for office, to be located in three separate areas of the building. The height of the building from grade, will be 14.31 m. Building coverage is proposed at about 50.5% of the property area.

This report contains comments from the technical groups who have reviewed the proposal. Additional comments may be forthcoming pending the review of any revised drawings/reports/etc. The applicant/owner must address all of the comments by creating a "Comment Response Table" identifying how all comments have been addressed. In order to resubmit, please upload all revised drawings/reports/etc., and as a final step, upload the "Comment Response Table". If you have any questions or concerns, please contact the planner assigned to your file: Mark Michniak, 905-874-3882 or mark.michniak@brampton.ca.

Accessibility Review

Sylvia Ingham - sylvia.ingham@brampton.ca

Not Cleared*Conditions**Final Comments*

Based on 307 total parking spaces the number of accessible parking spaces appears to be correct. The parking statistics should be updated to reflect the number of accessible parking spaces shown on the site plan.

Dimension accessible parking spaces and access aisles, accessible parking spaces are to be configured as Type A and Type B.

Provide details for accessible parking signs (Type A and B) and for pavement markings.

Show the location of accessible parking signs.

Provide safe pedestrians connections to the building from parking lots, pedestrians should not travel through parking spaces to access the building. The access aisle of accessible parking must not be used as a public walkway to the building.

Tactile warning surface indicators are required where pedestrians are crossing a road. Consider providing a pedestrian connection into the site from Ace Dr. The connection should be located near bus stops.

Please refer to the below Accessible Parking Manual for specifications:
<https://www.brampton.ca/EN/City-Hall/Accessibility/Documents/COB%20Accessible%20Parking%20Manual.pdf>

Building Review**Not Cleared**Gop Kalaeswaran - gop.kalaeswaran@brampton.ca*Conditions**Final Comments*

Upon review of the circulated site plan documents on July/07/2020, and in order to ensure the site plan will be co-ordinated with the fire protection requirements of the Building Code, the following items are noted:

Please provide the following information:

- Clarify whether the building is used by multi tenants. If so, Indicate the demising wall
- Building Code classification
- Location of principal entrance, Fire hydrant and the distance to the fire access route
- The distance to fire hydrant from Siamese connection
- Location of fire access route showing centre line turning radius in all locations.

Provide three copies of final site-servicing plan and grading plans to the Building Division (Attention: Gop. Kalaeswaran). Services related to fire protection would be verified and forwarded to the Region of Peel.

Indicate on site plan the locations of barrier free accesses to the building including ramps, curb ramps, entrances, exterior walks and corresponding dimensions are needed. Please note that a level area of at least 1670 x1670mm is required at the entrance doorway.

Provide a copy of the most recent Survey certified by an Ontario Land Surveyor.

Provide a copy of a recent water flow test (three years maximum) and verification that an adequate water supply is available for fire fighting purposes and sprinkler protection, if required, based on the OBC classification and use of the building.

Capital Works Review**Cleared**Ahmed Naji - ahmed.naji@brampton.ca*Conditions*

Ensure to provide ROW of 23.0 m (11.5 m from the Center line)

Ensure the use of reinforced concrete for the Sidewalk portion of the Entrances as per STD 237

Provide flush level to the sidewalk at entrances; curb radius is shown continuous now at sidewalk location

Provide the detail of curb radii as per STD 237 for industrial entrances

Final Comments

Ensure to provide ROW of 23.0 m (11.5 m from the Center line)

Ensure the use of reinforced concrete for the Sidewalk portion of the Entrances as per STD 237

Provide flush level to the sidewalk at entrances; curb radius is shown continuous now at sidewalk location

Provide the detail of curb radii as per STD 237 for industrial entrances

Development Engineering Review**Not Cleared**

Steve Schumacher - steve.schumacher@brampton.ca

*Conditions**Final Comments*

Development Engineering Services Section has received the grading and servicing plans, and SWM Report, Redlined comments will be provided directly to the consulting engineer.

Development Review**Not Cleared**

Mark Michniak - mark.michniak@brampton.ca

*Conditions**Final Comments*

Further review comments are expected from Economic Development and the Ministry of Transportation.

The proposed layout of office uses does not appear consistent with the uses permitted in the zone. See Zoning Review for further detail. The applicant to amend the site plan to be consistent with the zoning by-law.

The office area within the Site Statistics table on the site plan is not consistent with the statistics shown on the plan. Ensure that statistics on the plan and within the table match.

Provide safe pedestrian connections between the parking lot and building access points. Note that there is not pedestrian connection between the parking lots at the side and rear of the building.

Resubmission of the application is required to address the comments contained within this report. All resubmissions are to be accompanied by a detailed cover letter that responds to all comments identified within this report. Responses such as 'Noted' or 'Done' do not constitute sufficient detail. Please provide this written response to each of the individuals that have provided comments on this application.

Prior to resubmission of the application, please provide a copy of the Cover Letter to the Assigned Development Planner via email for review.

Prior to resubmission of the application, contact the Assigned Development Planner to schedule a Submission Appointment.

All drawings and correspondence submitted to the City shall be identified with the assigned City Site Plan File Number as referenced herein.

The municipal address and the assigned City File number, as noted above, shall be clearly identified in the title block of all drawings, on the cover of all reports and referenced in all correspondence associated with this application. Details of the physical address that is proposed to be affixed to the applicable building is to be depicted on the architectural elevation drawings.

Heritage Review**Cleared**Anamaria Martins - anamaria.martins@brampton.ca*Conditions*

The Owner acknowledges and agrees that should any archaeological resources be discovered they may constitute a new archaeological site, and therefore be subject to Section 48 (1) of the Ontario Heritage Act. Upon the discovery of the archaeological resource(s) any alteration of the Lands must immediately be ceased, a licensed archaeologist shall be engaged to carry out the archaeological field work in compliance with Section 48 (1) of the Ontario Heritage Act, and the Policy Division (Heritage Section) of the City's Planning and Development Services Department shall be notified. The Owner acknowledges and agrees that the Funeral, Burial and Cremation Services Act, 2002 requires any persons discovering human remains to notify the police or coroner and the Registrar of Cemeteries at the Ministry of Government and Consumer Services. No further work will be permitted on the Lands until such permission, in the form of a written notice from the City is provided to the Owner. The Owner agrees that it releases and forever discharges the City, its elected officials, employees, agents and contractors, and any others for whom it is responsible at law, from any and all claims, demands, actions, cause of actions and other proceedings and any liability for damages, costs and expenses for or relating to any loss which the Owner may suffer arising out of, incidental to, or in connection with (a) an archaeological assessment(s) and/or field work that is inaccurate, incomplete, misleading or fraudulent; or (b) the issuance of any written notice from the Policy Division (Heritage Section) of the City's Planning and Development Services Department permitting the Owner to continue to work on the Lands; or (c) the period of time during which the Owner is not allowed to work on the Lands. The Owner further agrees to indemnify and forever save harmless the City, its elected officials, employees, agents and contractors, and any others for whom it is responsible at law from and against any claim, suit, demand, causes of action, and proceedings by whomsoever made or brought, in respect of any costs, expenses, loss, damage or injury including death as well as legal fees arising out of, incidental to or in connection with items (a), (b), or (c) listed immediately above.

Final Comments

There are no issues to comment on at this time. Heritage staff confirms that the Archaeological Assessments required for the subject lands have been satisfied. Any changes to the site plan may require further review.

Legal Review**Cleared**Ana Sousa - ana.sousa@brampton.ca*Conditions*

Title search emailed to Planner June 30 2020

*Final Comments***Noise Review****Not Cleared**Daniel Tang - daniel.tang@brampton.ca*Conditions*

Noise Assessment require prior to Site Plan approval.

Final Comments

Noise Assessment require prior to Site Plan approval.

Open Space Development Review**Not Cleared**Eric Teixeira - eric.teixeira@brampton.ca*Conditions*

Final Comments

1. Landscape plan is required to include internal pedestrian connections from the parking lot to the main doors, the use of high quality delineated path are to be installed; painted line are not accepted.
2. the site will require a 1.2m chain link fence along the property limits, please show a City of Brampton detail in the landscape plan
3. Confirm 0 Ace Drive is the address, please update accordingly.
4. Add the following to the Landscape Plan
 - a. City of Brampton Landscape Approval Stamp, in the title block.
 - b. City of Brampton Standard Landscape Notes
 - c. All appropriate detail.
 - d. City Address and Site plan number
5. Identify an outdoor Garbage Enclosure.
6. Show brick material for the facing of the accessible ramp, provide a detail and elevation drawing.
7. The front boulevard is recommended to be irrigated to establish plant material.
8. Update the cost estimate accordingly.

Plumbing Review
Cleared

Peter Thomson - peter.thomson@brampton.ca

Conditions

None

Final Comments

I have reviewed the site service drawing for the above noted site plan and it appears that the drawings comply with the Ontario Building Code.

Policy Review
Cleared

Shahinaz Eshesh - shahinaz.eshesh@brampton.ca

Conditions

Not applicable.

Final Comments

There are no issues to comment on at this time. Any changes to the site plan may require further review.

Sign Review
Cleared

Ross Campbell - ross.campbell@brampton.ca

Conditions

Final Comments

- All proposed signs shall conform to the City of Brampton Sign By-law 399-2002, as amended, noting:
- Signs shall conform to the Ontario Building Code O. Reg. 332/12, as amended.
 - Signs shall be fully secured to a structural member beyond the cladding of the building, please provide confirmation of the wall structure including support for signage. Plywood backing is recommended.
 - Permits are required prior to the installation of signs.

Traffic Services Review
Not Cleared

Smeeta Adiga - smeeta.adiga@brampton.ca

Conditions
COND_WTS

1. At the entrance to the site, the road curb and sidewalk will be continuous through the driveway. Depression will be provided for at each entrance. Access construction as per City of Brampton Standard#237

2. The Owner shall ensure that all above ground utilities are offset a minimum distance of 1.5 metres from all proposed driveways and indicate as such on a revised site plan. Any relocated utilities shall meet clear zone requirements as per current TAC guidelines. The Owner shall pay costs associated with the removal and relocation of any above ground utilities and the Owner further shall release and forever discharge the City from and against all claims the Owner may have arising out of the removal and/or relocation of any above ground utility.

3. On-site sign installations and pavement marking are to be maintained by the owner and/or modified or refreshed at the City's request

Final Comments

Please see attached memo dated July 8, 2020 from Smeeta Adiga.

Transit Review
Cleared

Michelle Lui - michelle.lui@brampton.ca

Conditions

None

Final Comments

The City reserves the right to introduce transit services and facilities such as bus stops, shelters, pads, benches and other associated amenities on any City right-of-way as determined by Brampton Transit to provide effective transit service coverage.

Transit is supportive of the proposed pedestrian walkway connection to Ace Drive that will ensure pedestrian access and reduce pedestrian walk distance to transit service.

Urban Design Review
Not Cleared

Dalia Bahy - dalia.bahy@brampton.ca

Conditions

Prior to the release of any securities, the Owner shall make arrangements, satisfactory to the Manager of Urban Design, to ensure that all gas supply lines servicing rooftop mechanical units shall be integrated into the exterior wall design or/and shall not be visible from public views.

Prior to the release of any securities, the Owner agrees that all rooftop mechanical units shall be screened from public views, to the satisfaction of the Manager of Urban Design.

Final Comments
ACTN_UD_ Gas Pipes/Utility Meters

1- Indicate in plan and on all relevant elevations, the location of all gas and utility meters. All utility meters should be located away from pedestrian routes and all utility pipes are to be screened from public view.

2- Add the following notes to the site plan and elevation drawings:

"Utility meters shall not be located on building facades that face public streets and shall be located discreetly, away from pedestrian travel routes and screened from public view".

3- Add the following note to the site plan and elevation drawings: "Gas pipes servicing roof top mechanical equipment shall not be visible to any public view and shall be installed within the wall construction".

Zoning Review

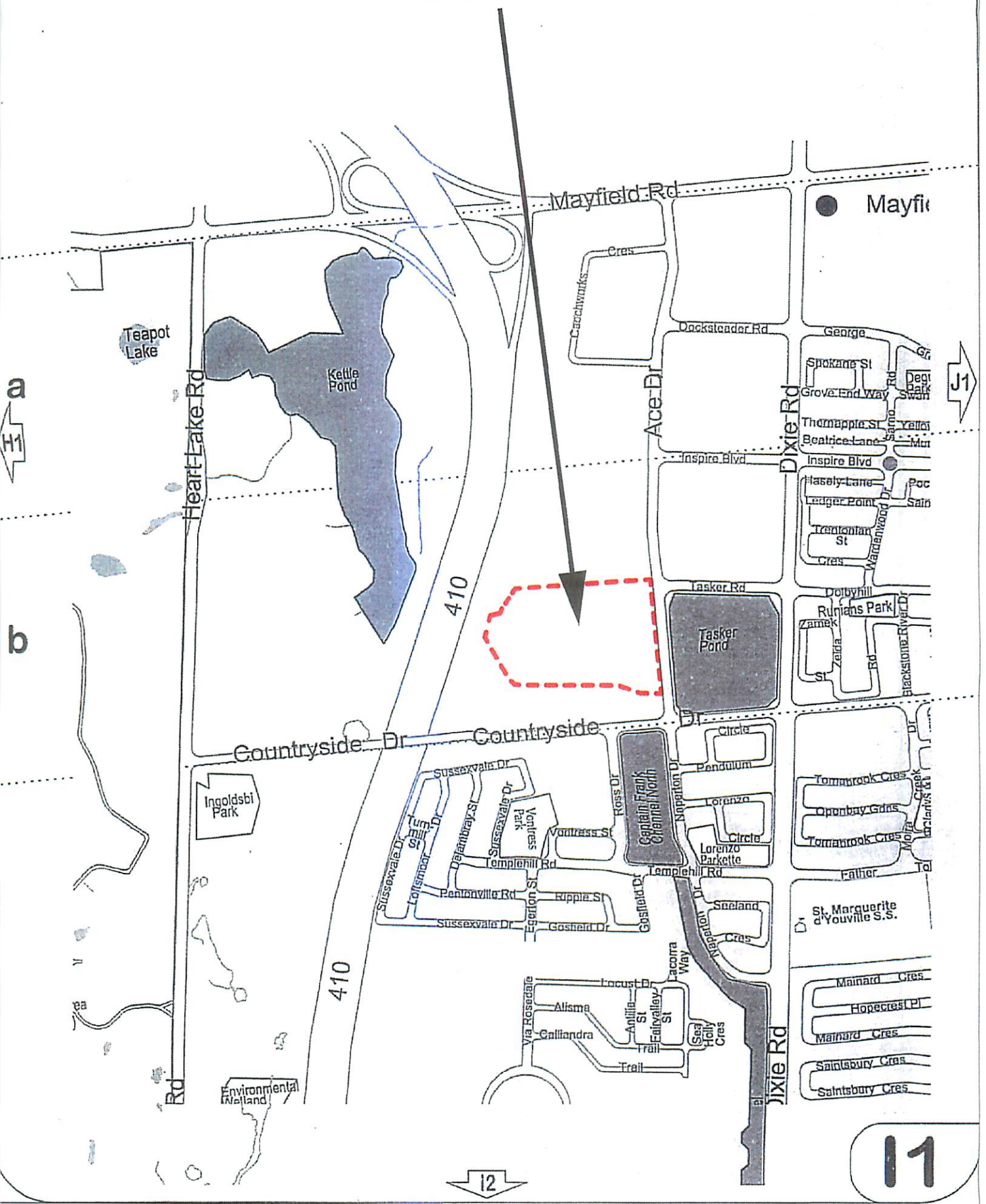
Todd Payne - todd.payne@brampton.ca

Conditions

N/A

Not Cleared*Final Comments*

- Outside storage is proposed within the interior side yard whereas the by-law limits outside storage to the rear yard. Please revise or obtain approval of a minor variance.
- A minimum aisle width of 6.6m is required adjacent to parking spaces whereas a number of aisles have a width of 6.0m. Please revise.
- Please revise the parking statistics. 316 parking spaces are required and 337 parking spaces have been provided.
- Note: All office areas noted as "proposed possible future office" are required in order to facilitate a warehouse. As per 2256.2(1), a warehouse use shall only be permitted in conjunction with an associated office use. The associated office use shall have a minimum gross floor area of 10% of the total gross floor area of the warehouse. A warehouse area of 40,592.7m² requires a minimum office area of 4,059.27m².



Filing Date: November 23, 2020

Hearing Date: January 5, 2021

File: A-2020-0138

**Owner/
Applicant:** CSPAC INDUSTRIAL ACE DR. GP INC.

Address: 100 Ace Drive

Ward: 9

Contact: Shelby Swinfield, Planner I, Development

Recommendations:

That application A-2020-0138 is supportable, subject to the following conditions being imposed:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the applicant shall install screening between the storage area and the street, to the satisfaction of the Director of Development Services;
3. That the owner finalize site plan approval under City File SPA-2020-0078, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Background:

Existing Zoning:

The property is zoned "Industrial One – Special Section 2256 (M1-2256)" according to By-law 270-2004, as amended.

Requested Variance:

The applicant is requesting the following variance:

1. To permit outside storage of trucks and truck trailers in the interior side yard whereas the by-law only permits outside storage in the rear yard screened from

view from the street.

Current Situation:

1. Conforms to the Intent of the Official Plan

The subject property is designated “Industrial” in the Official Plan and “Prestige Industrial” in the Countryside Villages Secondary Plan (Area 48a). Within the Prestige Industrial designation, outdoor storage is not permitted to be in view of the street. A condition of approval is recommended that the applicant install a wood board fence to screen the storage from view, to the satisfaction of the Director of Development Services. Subject to the recommended condition of approval the requested variance is considered to maintain the general intent of the Official Plan.

2. Conforms to the Intent of the Zoning By-law

The property is zoned “Industrial One – Special Section 2256 (M1-2256)” according to By-law 270-2004, as amended. The intent of the by-law is only permitting outdoor storage in the rear yard is to ensure that the storage will not be visible from the street. A condition of approval is recommended that the applicant install screening to hide the storage from the streetscape. Subject to the recommended conditions of approval, the requested variance is considered to maintain the general intent of the Zoning By-law.

3. Desirable for the Appropriate Development of the Land

The requested variance is intended to facilitate the storage of trailers for a proposed industrial operation on the property. The area in which the property is located is largely industrially designated and this expansion of the storage area is not anticipated to negatively impact the character of the area, provided that the applicant installs screening to protect the aesthetic of the streetscape. A condition of approval is recommended related to the applicant finalize their existing site plan application to ensure the City has the opportunity to review the proposed screening. Subject to the recommended conditions of approval, the requested variance is considered to be desirable for the appropriate development of the land.

4. Minor in Nature

The requested variance will permit additional storage in the interior side yard of the property to expand the usage of the property for its planned industrial purpose. Conditions of approval relating to screening the storage are recommended. Subject to the recommended conditions of approval, the requested variance is considered to be minor in nature.

Respectfully Submitted,

Shelby Swinfield

Shelby Swinfield, Planner I, Development



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **1347987 ONTARIO LIMITED** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Block 5, Plan M-618, Part 1, Plan 43R-13924 municipally known as **4 EDVAC DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit 40% of the gross floor area of the building to be used as a food processing facility whereas the by-law does not permit the proposed use.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO _____
Application for Consent: _____ NO _____

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, January 5, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 10th day of December, 2020.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, December 18, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, December 18, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, December 18, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



A-2020-0139

Committee of Adjustment
Corporation of the City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

To Whom It May Concern,

We, Toppits Foods Ltd. is a food importer and distributor with almost 45 year of history in Ontario. We serve all customers in foodservice and retail sectors in the Canadian market. Our clientele includes Sysco, GFS, Flannigan, M&M, Sobeys, Longos, Metros, Loblaws, Costco and many other big and small restaurants as well as health care facilities. We also have a sister company focusing in exporting products to international markets including USA, UK and EU. Our business has grown to a point they we need to have our own processing facility. We have tendered an offer for the property at Edvac Drive. However, the current zoning of M4-1548 does not permit food processing. We would like to apply for minor variance to the property use, specifically we want to use 40% of the building for food processing. The gross floor area of the building is 27,873 square feet (2,589.39 square meters). We will designate 40% of the area, that is 11,139 square feet with a dimension of 162'2" X 48'7" (i.e. 1,035.76 square meters) inside the building for food processing. Please refer to area highlighted in the attached floor plan. There will be no change to the site of exterior of the building.

This facility is important for us to further grow our business and better serve our customers. It will also create potentially 60 new employment opportunities for the City. We also think that we would be a great addition to the neighbourhood as the company across street from 4 Edvac is in the exact same industry as ours, and there's also a Sweet factory on the same street. We are currently operating in Vaughan, but we'd like to move to Brampton and make Brampton our home. Our offer to purchasing the property is on a condition of performing all due diligence within 15 business days. We understand that the application takes time. We would highly appreciate it if this application can be processed in a timely manner. We hope to get support and approval from the City. Should you have any questions regarding this application or need any further information from us, please feel free to reach me at 647 936 6869 or email me at brad@toppits.com. Thank you and look forward to hearing from you.

Sincerely,
Toppits Foods Ltd.

Brad Zhang Chief Financial Officer

301 Chrislea Rd • Vaughan • ON • L4L 8N4

Telephone: 905-850-8900 • Fax: 905-850-8910

E-mail: info@toppits.com • Web: www.toppits.com



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2020-0137

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) 1347987 Ontario Limited
Address 4 Edvac Drive, Brampton, Ontario, Canada L6S 5P2
Phone # 1 (905) 799-8950 Fax # _____
Email info@exhibit-solutions.com

2. Name of Agent Toppits Foods Ltd.
Address 301 Chrislea Road, Vaughan, Ontario, Canada L4L 8N4
Phone # 905 850 8900; 647 936 6869 Fax # 905 850 8910
Email brad@toppits.com

3. Nature and extent of relief applied for (variances requested):
We, Toppits Foods Ltd. has put together a conditional offer to purchase this property (4 Edvac Dr.) from 1347987 Ontario Limited. We would like to apply for a minor variance to the property use. Specifically, we'd like to use 40% of the building for food processing, and the rest of the building remains permitted use.

4. Why is it not possible to comply with the provisions of the by-law?
Under current zoning for this property, only warehouse, storage and light industrial manufacturing is permitted. We need to have a food processing facility besides the office and warehouse in this building to help us serve our customers.

5. Legal Description of the subject land:
Lot Number PCL Block 5-6
Plan Number/Concession Number 43M618
Municipal Address 4 Edvac Drive, Brampton

6. Dimension of subject land (in metric units)
Frontage 45.31 M
Depth 139.18 M
Area 6,071.7 Square Meters

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

Office Area: (One Storey on Ground Floor) 396.14 Square Meters
Warehouse Area: Ground floor: 1,805.23 Square Meters
Mezzzaine: 388.06 Square Meters
Total Gross Floor Area: 2,589.43 Square Meters

There will be no change to the structure of the building. We will just designate 40% of the total gross floor area in the building for food processing activities. It will be in metric units 1,035.76 Square Meters.

Front yard setback	23.1 Meters
Rear yard setback	33.9 meters
Side yard setback	6.05 North side
Side yard setback	6.85 South side

Front yard setback	23.1 Meters
Rear yard setback	33.9 meters
Side yard setback	6.05 North side
Side yard setback	6.85 South side

- Page 142 of 228

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

[Signature]

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton _____

THIS 18th DAY OF November, 2020.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Brad Zhang, OF THE City OF Toronto
IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF _____

Reed THIS 23rd DAY OF

Nov., 2020

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires April 8, 2021.

[Signature]
Signature of Applicant or Authorized Agent

Submit by Email



FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

M4 - SECTION 1548

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

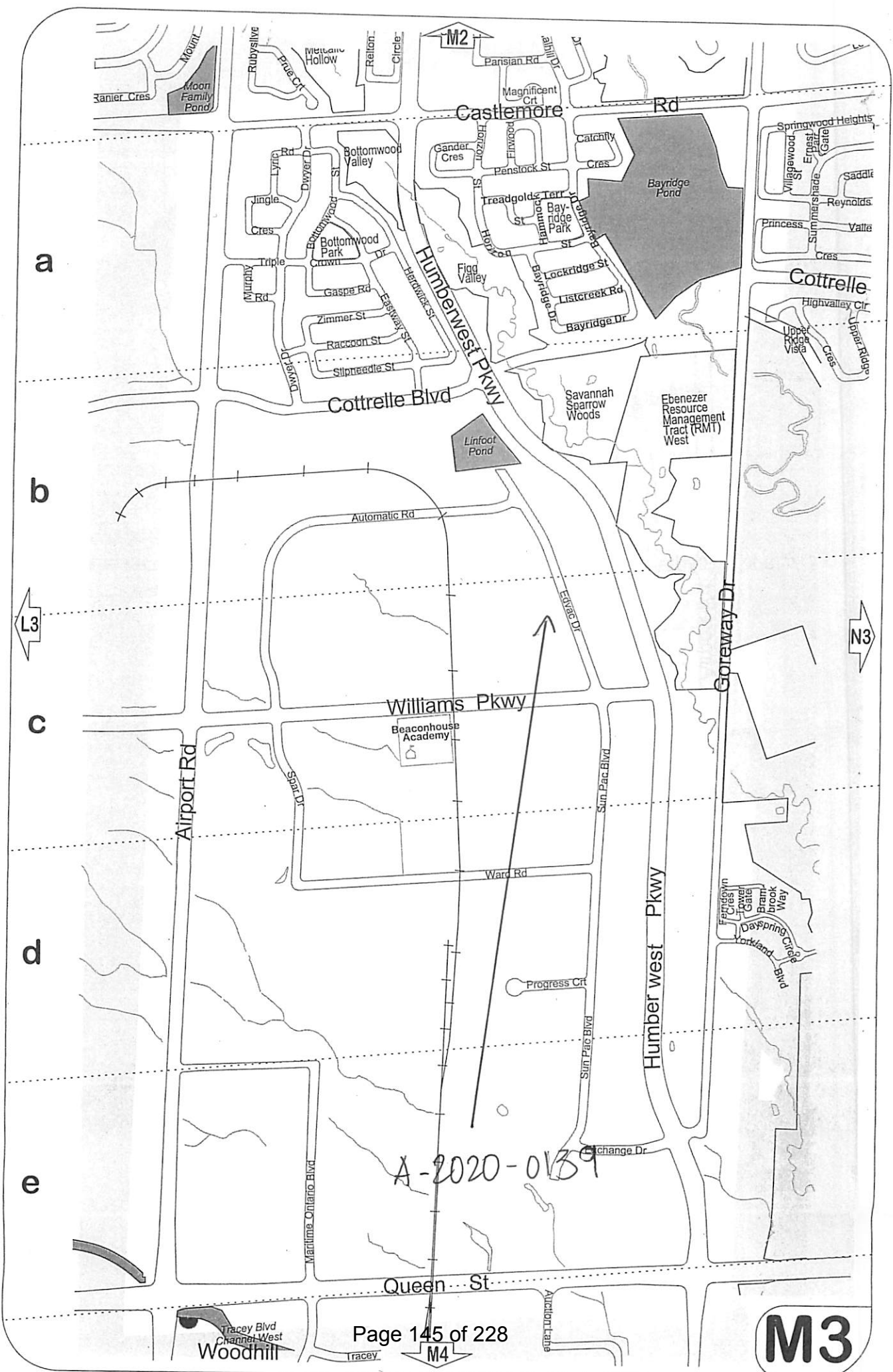
J. Chau
Zoning Officer

Nov 23, 2020
Date

DATE RECEIVED Nov. 23, 2020

Date Application Deemed Complete by the Municipality Nov. 23, 2020

Revised 2020/01/07



a

b

c

d

e



A-2020-0139

M3

Woodhill

Filing Date: November 23, 2020

Hearing Date: January 5, 2021

File: A-2020-0139

**Owner/
Applicant:** 1347987 ONTARIO LIMITED

Address: 4 Edvac Drive

Ward: 8

Contact: Shelby Swinfield, Planner I, Development

Recommendations:

That application A-2020-0139 is supportable, subject to the following conditions being imposed:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
 2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.
-

Background:

Existing Zoning:

The property is zoned "Industrial Four – Special Section 1548 (M4-1548)" according to By-law 270-2004, as amended.

Requested Variance:

The applicant is requesting the following variance:

1. To permit 40% of the gross floor area of the building to be used as a food processing facility whereas the by-law does not permit the proposed use.

Current Situation:

1. Conforms to the Intent of the Official Plan

The property is designated "Industrial" in the Official Plan and "Industrial" in the Gore Industrial North Secondary Plan (Area 14). The requested variance is not considered to have significant implications within the context of the Official Plan policies. Subject to the recommended conditions of approval, the requested variance is considered to maintain the general intent of the Official Plan.

2. Conforms to the Intent of the Zoning By-law

The property is zoned "Industrial Four – Special Section 1548 (M4-1548)" according to By-law 270-2004, as amended. The intent of the by-law in regulating the uses on a property are to ensure that those uses are able to function together and that the property maintains a certain character. In the case of the subject variance, the proposed food processing use is intended to occupy 40% of the building, with the remaining floor area being used for permitted purposes. Given that the proposed use will be limited in floor area and ancillary to a permitted use, the addition of a food processing use is not anticipated to negatively impact the function of the property. Further, the proposed use is considered to be compatible with the permitted uses on the site and in the area. Subject to the recommended conditions of approval, the requested variance is considered to maintain the general intent of the Zoning By-law.

3. Desirable for the Appropriate Development of the Land

The property is located within an established industrial area, and the variance proposes to use 40% of the building for an industrial use not permitted within the site specific property zoning. The proposed food processing use will contribute positively to employment within the City, and will remain ancillary to permitted uses on the property given that it is only planned to occupy 40% of the building. Subject to the recommended conditions of approval, the requested variance is considered to be desirable for the appropriate development of the land.

4. Minor in Nature

The proposed variance requests to use 40% of the industrial building for an ancillary industrial use, related to the permitted industrial use in the remaining 60% of the building. This addition is not anticipated to alter the function of the property. Subject to the recommended conditions of approval, the requested variance is considered to be minor in nature.

Respectfully Submitted,

Shelby Swinfield

Shelby Swinfield, Planner I, Development

Myers, Jeanie

From: Tim Harnett
Sent: 2020/12/16 4:54 PM
To: Myers, Jeanie
Cc: Tim Harnett; 'Gary Hall'; 'Jim Wilson'
Subject: [EXTERNAL]Application For Minor Variance - Application #A-2020-0139 Ward #8

Dear Jeanie Meyers,

I hope this email finds you well both personally and in business. Thank you for forwarding on to me the above noted application for minor variance. Consider this my formal reply.

I have reviewed the variance and wish to let you know that as owner of units #1 and #2 at 3A Edvac Drive, I am quite concerned. We are directly across the street from this building at 4 Edvac Drive.

The building is seeking a minor variance to perform food processing on 40% of a 27,873 square foot building. That is 11,150 square feet of food processing where we are directly across the street and 'downwind'.

The neighborhood was planned, designed and engineered for light commercial intent. I am unsure why this is even being considered here on Edvac Drive, Brampton. The intended use in the neighborhood is "Light Commercial Use" not food processing.

We had two years of very costly litigation with a similar issue here in our complex. The minor variance was never applied for and where it cost this Condominium Corporation well over \$100k in legal expense to gain a cease and desist order.

These same people were in the "Food Processing Business" and were doing all neighbors an injustice by their business in an area where the by-law does not permit the proposed usage. Same thing on a different date and much larger scale now.

I have copied right off the City of Brampton website the By-Law 270-2004. The goal of the City's Zoning By-Law is to create harmonious neighborhoods and communities by ensuring that adjacent land uses are compatible and by setting regulations that govern built form.

So, I feel it to be The City of Brampton's legal responsibility to enforce the By-Law for it was put in place for great reason, to create harmonious neighborhoods by ensuring that adjacent land use are compatible and you need to enforce the regulations that you put in place.

I have a Health and Safety concern with potentially harmful particulate that become airborne through exhaust emitted. I am very concerned how by changing the usage at this site and how it will impact the value of our properties here too.

There is zero upside and a potentially large scale issue here.

So I formally 100% disagree and I am completely against The City of Brampton allowing this minor variance for a 11,150 square foot food processing facility at 4 Edvac Drive, Brampton. Kindly advise on the Jan. 5/21 Committee of Adjustment outcome.

By-law 270-2004, as amended, is the City of Brampton's comprehensive Zoning By-Law.

The Zoning By-Law contains provisions that regulate the use, size, height, and location of buildings and structures on all properties within the City.

The provisions of the by-law will specify the permitted uses (e.g. commercial or residential) and the required standards (e.g. building size and location) in each zone.

The goal of the City's Zoning By-Law is to create harmonious neighbourhoods and communities by ensuring that adjacent land uses are compatible and by setting regulations that govern built form.

Regards,

Tim Harnett



Myers, Jeanie

From: Gary Hall
Sent: 2020/12/18 12:15 PM
To: Myers, Jeanie
Subject: [EXTERNAL]Application For Minor Variance - Application #A-2020-0139 Ward #8

Hi Jeanie,

Just wanted to provide my input on the above application for minor variance at 4 Edvac Drive, Brampton.

We are located at 3A Edvac Drive and we have already lived through a similar situation of having a food processing operation in close proximity. It was an unbearable situation with odours and particulate matter causing lost time and health concerns for employees and owners of all units here at 3A Edvac Drive.

It ended up costing us over \$100k in legal fees to have the operation stopped.

I can also tell you, from experience, that the odours will permeate surrounding building materials and linger for years. This will decrease property values and would be an unjust burden on the people owning property and working in this neighbourhood.

I am strongly opposed to allowing this variance.

Thanks and Best Regards,

Gary Hall
Altype Spring & Tool Corp.
3A Edvac Drive, Unit 12, Brampton, Ontario L6S5X8



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **PHIL SEQUEIRA AND JOANNE SEQUEIRA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 494, Plan 43M-1192 municipally known as **83 WHITE TAIL CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an existing accessory structure (shed) having a rear yard setback of 0.083m (0.27 ft.) and a side yard setback of 0.11m (0.36 ft.) whereas the by-law requires an accessory structure to be located no closer than 0.6m (1.97 ft.) to the nearest lot line.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, January 5, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 10th day of December, 2020.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment
City Clerk's Office
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

LOT 488
PH 14071 - 1861

4071 - 1860

1859

REAR Sherd
Set Back 0.08255/m.

[illegible]

WHITE TAIL CRESCENT

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, December 18, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, December 18, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, December 18, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

COMMITTEE of ADJUSTMENT

The Secretary- Treasurer

16th November 2020.

City of Brampton

2 Wellington Street Wes

Brampton, Ontario

L6Y-4R2

(905) 874-2117

Fax: (905) 874-2119

A-2020-0140

To the Attention of Jeanie Myers:

I am presently the original owner of a dwelling located at 83 White Tail Cres Brampton, Ontario. My wife and I have been residing at this address for 22 years and have been part of the Brampton community for over 55 years.

In the early year 2000 upon consulting verbally with my neighbors behind me, 159 Drinkwater Road and adjacent to my property joining lot line 85 White Tail Cres, I informed them that I will be erecting an outdoor Royal Product maintenance shed in my backyard location southwest corner of my property. They were all in agreement as it did not impact their property.

The structure was to be built on a pressure treated wood re-enforced base pre-assembled as I was putting it in close proximity to the fence line (not touching the common property line) reason being I did not wish to deal with weeds or wildlife gathering behind the structure resulting in problems down the road.

The structure was also built according to the grading of the original land survey not to impede or tamper with the original builders grading as my backyard sloped downwards to the back fence lot line for drainage.

The shed was in total 7 feet high at the top peak and did not obstruct any view or interfere with any operational flow of water or fencing that was erected.

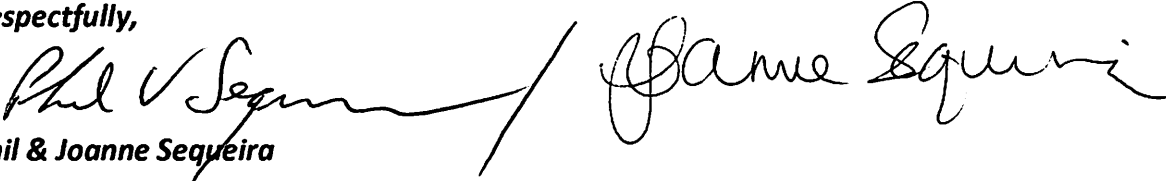
Over the years we have designed and constructed gardens and a concrete patio pad in our backyard in conjunction to the shed structure and around the shed in order to beautify our

backyard. There have never been any issues with this structure up until now as I received an order to comply by the City of Brampton to have the shed moved away from the fence line approximately 1 foot on all sides according to the by-law, as an unknown party had complained.

The shed structure is only in view of the neighbors indicated above and has no other bearing on any other resident in my surrounding neighborhood. Having the structure for over 20 years and now having to deal with this issue in my retirement stages and Covid-19 impacting our society globally, I strongly do believe that this complaint was made on a vindictive basis and vexatious and frivolous in nature.

I am requesting the Committee of adjustment to review my concerns and provide me with a non-compliance exemption for this structure outside of the existing amended city of Brampton by-law.

Respectfully,


Phil & Joanne Sequeira

83 White Tail Cres

Brampton, Ontario

L6Y-5C1



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Phil and Joanne SEQUEIRA.
Address 83 White Tail Crescent.
BRAMPTON ONTARIO. L6Y-5C1.

Phone # _____ Fax # _____
Email _____

2. Name of Agent _____
Address _____

Phone # _____ Fax # _____
Email _____

3. Nature and extent of relief applied for (variances requested):
TO PERMIT AN EXISTING SHED HAVING A REAR YARD
SETBACK OF 0.08255 METRES AND A SIDE YARD
SETBACK OF 0.1143 METRES WHEREAS THE BYLAW
REQUIRES A MINIMUM SETBACK OF 0.6 METRES
TO ALL PROPERTY LINES.

4. Why is it not possible to comply with the provisions of the by-law?
STRUCTURE WAS BUILT APPROXIMATELY 20 YEARS AGO
SURROUNDING LANDSCAPE AND CONCRETE WILL BE TOO
COSTLY TO RELOCATE -

5. Legal Description of the subject land:
Lot Number A 494
Plan Number/Concession Number 43M-1192.
Municipal Address 83 WHITE TAIL CRESCENT BRAMPTON ONT.

6. Dimension of subject land (in metric units)
Frontage EST. F. 8.518
Depth D. 30.394
Area IRREGULAR LOT.

7. Access to the subject land is by:
Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐
Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)
Residential Dwelling 2 STOREY Detached.
2250 Square Feet.
STEEL GAZEBO 10' X 10' = 3.048 m.
SHED 8' X 8' = 2.438 m.

PROPOSED BUILDINGS/STRUCTURES on the subject land:
NIL.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING
 Front yard setback 1-26
 Rear yard setback 1-24
 Side yard setback 2-17
 Side yard setback 4-26

PROPOSED
 Front yard setback _____
 Rear yard setback _____
 Side yard setback NIL.
 Side yard setback _____

10. Date of Acquisition of subject land: YEAR 2000

11. Existing uses of subject property: Residential USE

12. Proposed uses of subject property: Residential.

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: April 1998. Aug 2000

15. Length of time the existing uses of the subject property have been continued: 20 yrs plus.

16. (a) What water supply is existing/proposed?
 Municipal ☒ Other (specify) _____
 Well ☐
- (b) What sewage disposal is/will be provided?
 Municipal ☒ Other (specify) _____
 Septic ☐
- (c) What storm drainage system is existing/proposed?
 Sewers ☒ Other (specify) _____
 Ditches ☐
 Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Phil V. Sequeira
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 23rd DAY OF November, 2020.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Phil SEQUEIRA, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 23rd DAY OF
November, 2020.

Jeanie Cecilia Myers,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires April 8, 2021.

Phil V. Sequeira
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1D, MATURE

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHIS.
Zoning Officer

NOV.25.2020
Date

DATE RECEIVED November 23, 2020

LOT 488
PIN 14071 - 1861

LOT 496
PIN 14071 - 1869

LOT 487
4071 - 1860

1859

REAR SHED
Set Back 0.08355m

LOT 494
PIN 14071 - 1867

LOT 495
PIN 14071 - 1868

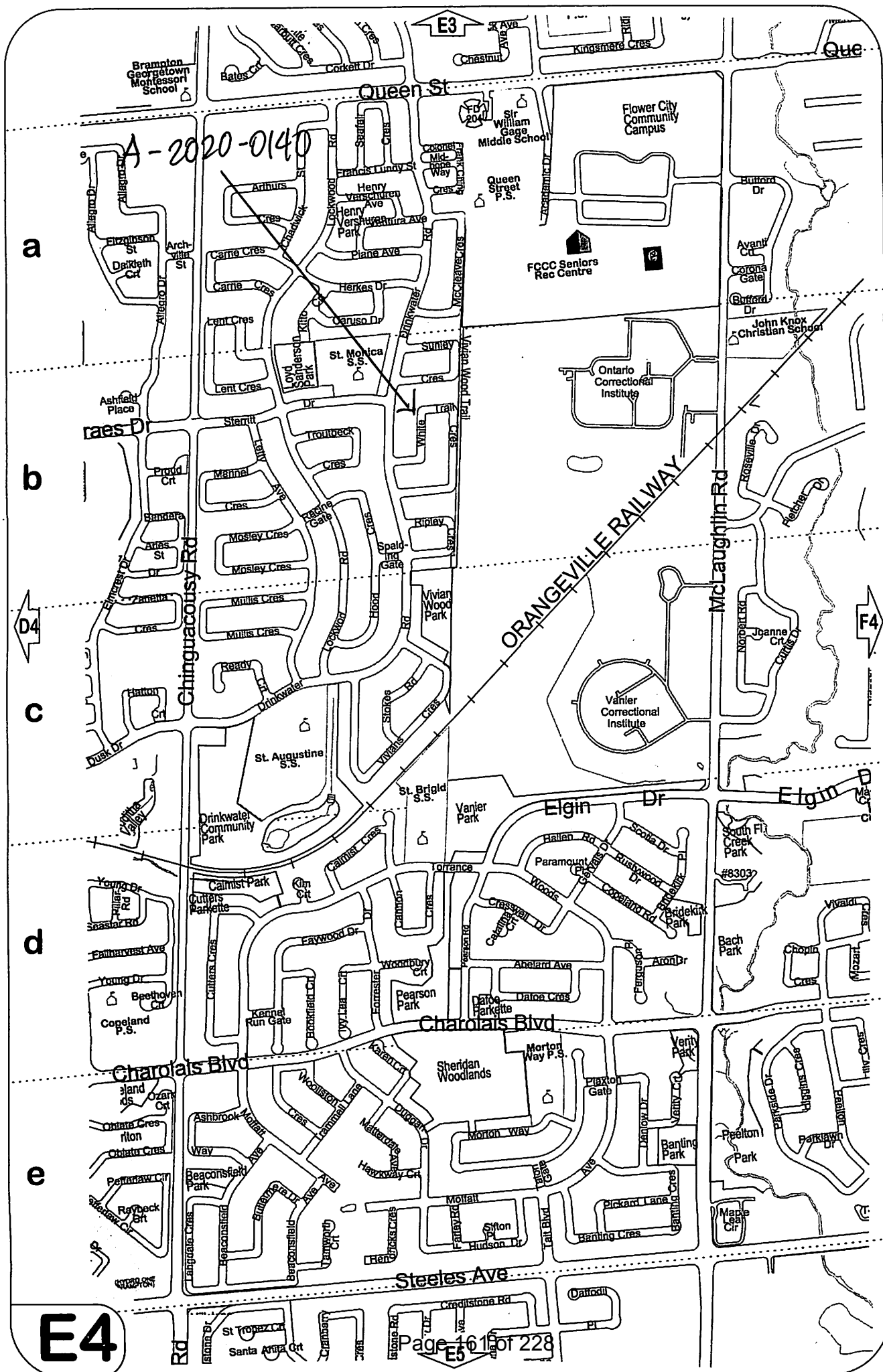
LOT 493
PIN 14071 - 1866

LOT 492
PIN 14071 - 1865

LOT 491
PIN 14071 - 1864

PLAN
D.U.C.

WHITE TAIL CRESCENT



Filing Date: November 23, 2020

Hearing Date: January 5, 2021

File: A-2020-0140

**Owner/
Applicant:** PHIL AND JOANNE SEQUEIRA

Address: 83 WHITE TAIL CRES

Ward: 4

Contact: Shelby Swinfield, Planner I, Development

Recommendations:

That application A-2020-0140 is supportable, subject to the following conditions being imposed:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Background:

Existing Zoning:

The property is zoned "Residential Single Detached D (R1D)" according to By-law 270-2004, as amended.

Requested Variance:

The applicant is requesting the following variance:

1. To permit an existing accessory structure (shed) having a rear yard setback of 0.083m (0.27 ft.) and a side yard setback of 0.11m (0.36 ft.) whereas the by-law requires an accessory structure to be located no closer than 0.6m (1.97 ft.) to the nearest lot line.

Current Situation:

1. Conforms to the Intent of the Official Plan

The property is designated "Residential" in the Official Plan and "Medium Density Residential" in the Brampton Flowertown Secondary Plan (Area 6). The requested variance is not considered to have significant impacts within the context of the Official Plan. Subject to the recommended conditions of approval, the requested variance is considered to maintain the general intent of the Official Plan.

2. Conforms to the Intent of the Zoning By-law

The property is zoned "Residential Single Detached D (R1D)" according to By-law 270-2004, as amended.

The requested variance is to permit an existing shed located in the rear yard of the property. The intent of the by-law in regulating minimum setbacks to all lot lines for accessory structures is to ensure that sufficient room is provided for drainage. Engineering staff have advised that the location of the existing shed presents no concerns with regard to drainage given its existing distance from the property line. Subject to the recommended conditions of approval, the requested variance is considered to maintain the general intent of the Zoning By-law.

3. Desirable for the Appropriate Development of the Land

The requested variance is to allow an existing accessory shed to remain in its current location in the rear yard of the subject property. The location of the shed does not present any concerns with regard to drainage or massing impacts on adjacent properties. Subject to the recommended conditions of approval, the requested variance is considered to be desirable for the appropriate development of the land.

4. Minor in Nature

The requested reduced setbacks to the rear and side lot lines for the existing accessory shed are anticipated to provide sufficient room for drainage from the structure. Subject to the recommended conditions of approval, the requested variance is considered to be minor in nature.

Respectfully Submitted,

Shelby Swinfield

Shelby Swinfield, Planner I, Development



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **2389112 ONTARIO INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Peel Condominium Plan 1046, Units 25 and 26, Level 1 municipally known as **15 SUN PAC BOULEVARD, UNITS 12 AND 13**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit the construction of a 123.3 square metre mezzanine in Units 12 & 13 and to allow 30% of the unit to be used for accessory retail use while providing 81 parking spaces on site, whereas the by-law requires a minimum of 98 parking spaces.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, January 5, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

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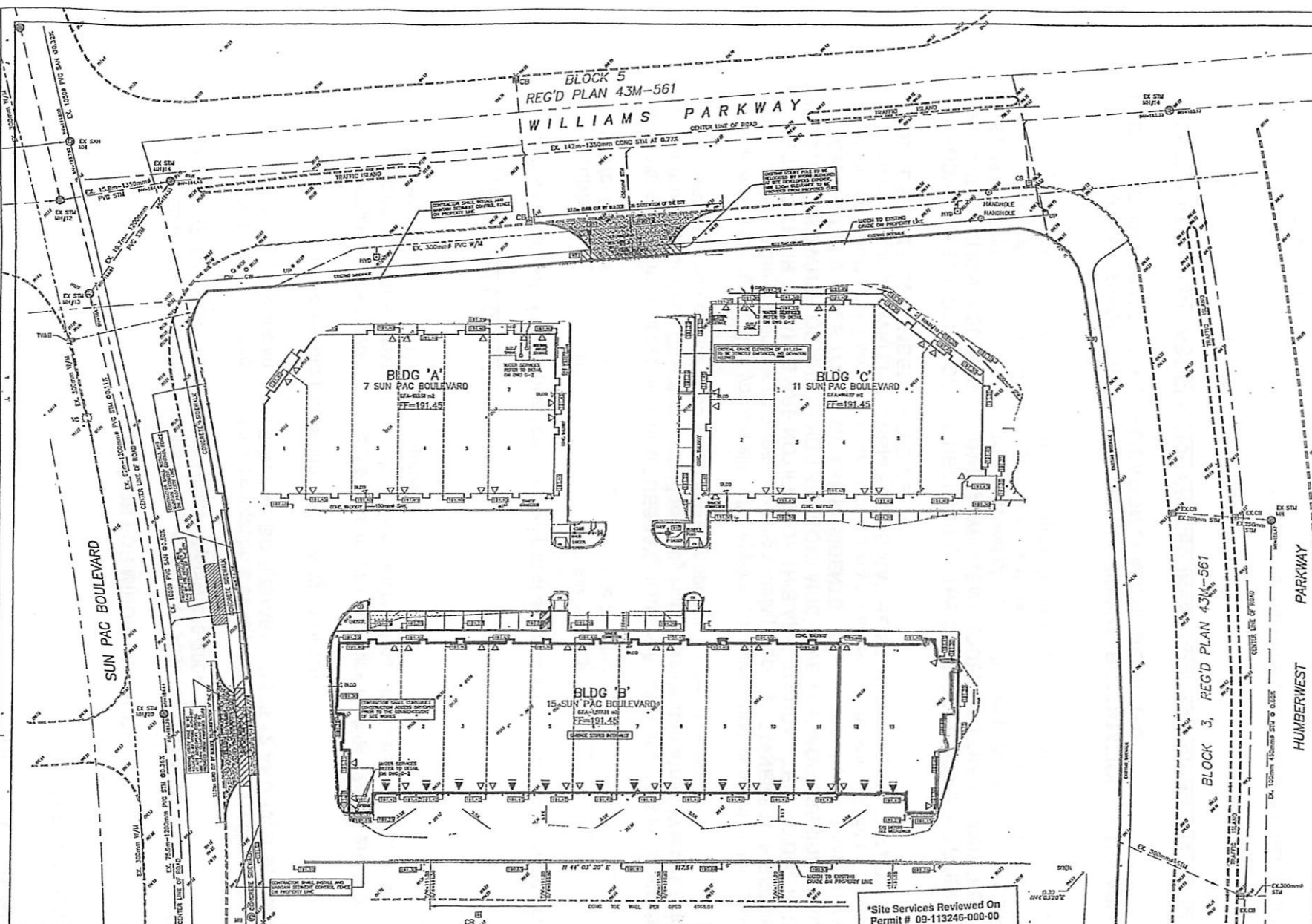
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 10th day of December, 2020.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



ROOF DRAINAGE SYSTEM DESIGN SUMMARY

1. OVERALLS FOR ROOF DRAINAGE SYSTEMS SHALL BE AS SHOWN ON THIS PLAN. (2) OVERALLS FOR ROOF DRAINAGE SYSTEMS SHALL BE AS SHOWN ON THIS PLAN. (3) OVERALLS FOR ROOF DRAINAGE SYSTEMS SHALL BE AS SHOWN ON THIS PLAN.

NO.	AREA	AREA (SQ. FT.)	AREA (SQ. M.)	AREA (SQ. YD.)	AREA (SQ. IN.)	AREA (SQ. CM.)	AREA (SQ. MM.)	AREA (SQ. MIC.)	AREA (SQ. NAN.)	AREA (SQ. PICO.)	AREA (SQ. FEMTO.)	AREA (SQ. ATTO.)	AREA (SQ. ZEPTO.)	AREA (SQ. YOKTO.)	AREA (SQ. SEXTO.)	AREA (SQ. QUINTO.)	AREA (SQ. QUARTO.)	AREA (SQ. TERTIO.)	AREA (SQ. DUO.)	AREA (SQ. PRIMO.)	AREA (SQ. NULLO.)
1	BLDG 'A'	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929
2	BLDG 'B'	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929
3	BLDG 'C'	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929	10,000	929

LEGEND

1. NEW ROOF DRAINAGE	2. EXISTING ROOF DRAINAGE	3. EXISTING ROOF DRAINAGE	4. EXISTING ROOF DRAINAGE
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RD-14A
THALER METAL INDUSTRIES
DETAIL OF BUILDING ROOF FLOW CONTROL DRAIN

REVISIONS

NO.	DATE	DESCRIPTION
1	09/01/09	ISSUED FOR PERMIT
2	09/01/09	ISSUED FOR PERMIT
3	09/01/09	ISSUED FOR PERMIT
4	09/01/09	ISSUED FOR PERMIT
5	09/01/09	ISSUED FOR PERMIT
6	09/01/09	ISSUED FOR PERMIT
7	09/01/09	ISSUED FOR PERMIT
8	09/01/09	ISSUED FOR PERMIT
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CITY OF BRAMPTON

DESIGNED BY:
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Architect Inc.
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PROPOSED COMMERCIAL DEVELOPMENT
7, 11 AND 15 SUN PAC BOULEVARD
PART 1, PLAN 43R-13563
BEING PART OF BLOCK 2, PLAN 43M-561

SITE GRADING & SERVICING PLAN
SPT: 08-004

VIA PISCIONE
V. A. PISCIONE & ASSOCIATES, INC.
50 RYAN LANE, UNIT NO. 18
CONCORD, ONTARIO, L4K 4G9
TEL: 416.738.5094 FAX: 905.660.3769

07163 G-1

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, December 18, 2020.**
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, December 18, 2020.**
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, December 18, 2020.** City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

15 Sun Pac Boulevard (Units 12 &13), Brampton
2389112 Ontario Inc.
Amendment Letter

Design Plan Services Inc.
Job #: 20146
Date: 9-Dec-2020

Re: **Amendment** Letter to Original Identified Variances
(A-2020-0142)

The purpose of this document is to amend the variances identified within the original application form that was submitted on November 24th, 2020. The original application form requested relief from the by-law to permit 81 parking spaces where 95 parking spaces are required. Through consultation with municipal staff, the identified variances for this application shall read as follows:

"To permit the construction of a 123.3 square metre mezzanine in Units 12 and 13 and to allow 30% of the unit to be used for accessory retail use while providing 81 parking spaces on site, whereas the by-law requires a minimum of 98 parking spaces."

If you have any questions regarding the information above, please contact the undersigned at 416-626-5445 (x208)

Sincerely,

DESIGN PLAN SERVICES INC.



**CHRISTOPHER MARCHESE, BURPL
PLANNER**

A- 2020-0142

PARKING JUSTIFICATION STUDY

Proposed Mezzanine Addition to Unit 12 and 13
7, 11 and 15 Sun Pac Boulevard Brampton, ON

December 2020

Prepared for
Mr. Kanwar Hundal

c/o Design Plan Services Inc.



785 Dundas St W
Toronto, ON, M6J 1V2



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admin@trans-plan.com



December 8, 2020

Mr. Kanwar Hundal

c/o Mr. TJ Cieciora
President
Design Plan Services Inc.
900 The East Mall, Suite 300
Toronto, ON M9B 6K2

Re: Proposed Mezzanine Addition to Units 12 and 13 of Building 'B', 15 Sun Pac Boulevard, Brampton ON, Parking Justification Study

Dear Mr. Hundal,

TRANS-PLAN is pleased to submit this Parking Justification Study report in support of the proposed mezzanine addition to Unit 25 and 26 (Unit 12 and 13 of Building 'B') within the industrial / commercial development of 7, 11 and 15 Sun Pac Boulevard in the City of Brampton. Trans-Plan has previously completed Parking Justification Studies for Unit 21 (Unit 8 of Building 'B') of 7, 11, and 15 Sun Pac Boulevard. A parking study was also completed for Units 14, 15 and 16 (Unit 1, 2, and 3 of Building 'B') in the same development for a proposed mezzanine addition. The parking survey results and recommendations from the previous reports have been utilized for this study.

Our Parking Justification Study findings indicate that the proposed parking supply of 81 spaces is able to accommodate the estimated parking demands of the site. The parking requirements were reviewed using the City of Brampton Zoning By-law. Our study includes proxy parking surveys conducted at similar existing industrial / commercial developments to obtain a peak parking demand rate to estimate the parking demands of the subject site.

Sincerely,

Anil Seegobin, P.Eng.
Partner, Engineer

Trans-Plan Transportation Inc.
Transportation Consultants



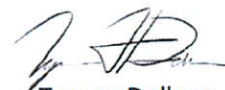

Tyrone Dollano
Traffic Analyst

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Transmittal Letter

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1. INTRODUCTION

Trans-Plan has been retained by Mr. Kanwar Hundal to complete a Parking Justification Study in support of a proposed interior alteration to Unit 25 and 26 (Unit 12 and 13 of Building 'B') at 15 Sun Pac Boulevard in the City of Brampton. Trans-Plan has previously completed three separate parking justification Studies for three separate applications for interior alterations for the following units listed below:

- Unit 21 (Building 'B', Unit 8), 15 Sun Pac Boulevard, Brampton – Parking Justification Study dated, September, 18, 2019
- Units 15 and 16 (Building 'B', Unit 2 and 3), 15 Sun Pac Boulevard, Brampton – Parking Justification Study dated, November, 22, 2019
- Units 14 (Building 'B', Unit 1), 15 Sun Pac Boulevard, Brampton – Parking Justification Study dated, April, 1, 2020

This parking report utilizes the proxy survey results and recommendations from the Parking Justification Studies mentioned above.

This parking justification study includes the following study components:

- a review of the study area context for transportation considerations
- a review of the existing and proposed addition within the buildings at the subject site and an inventory of parking supply
- a review of on-site parking requirements, as per the City of Brampton Zoning By-laws
- conducting parking surveys at a similar proxy site to obtain a peak parking demand rate
- an estimation of future parking demands, based on peak demand rate obtained from the proxy site parking surveys
- providing parking recommendations for the proposed development, including confirmation that the existing / proposed on-site parking supply is sufficient to accommodate the addition

2. EXISTING SITE AND AREA CONTEXT

The site, shown in Figure 1, is located in the southeast corner of the intersection Sun Pac Boulevard and Williams Parkway, in the City of Brampton. The address of the site is 7, 11, and 15 Sun Pac Boulevard. The site is mainly surrounded by high-density industrial uses with few low-density commercial units in its proximity.

The subject property consists of three buildings, each consisting of multiple units with an existing parking area that is shared amongst the tenants. The existing parking supply is 77 spaces. The parking area is located throughout the centre of the three buildings and is not specifically designated to individual tenants. There is a total of two site accesses, one at Sun Pac Boulevard and the other at Williams Parkway. The existing site plan, by GBD Consultancy Inc., is provided in Figure 2.

Each building is mainly occupied by various commercial units. Buildings located at 7, 11, and 15 Sun Pac Boulevard are noted as Building 'A', Building 'C' and Building 'B', respectively. The mezzanine additions previously reviewed from our past Parking Justification Studies of Unit 14, 15, 16 and 21 have been

included to the total gross floor area (GFA) of Building 'B' with the summary of each building provided below:

- Building 'A' provides seven units with a total of 1,447.7 sq.m. of GFA (557.86 sq.m. of GFA mezzanine addition)
- Building 'B' provides 13 units with a total of 2,172.51 sq.m. of GFA (295.2 sq.m. of GFA mezzanine addition's)
- Building 'C' provides six units with a total of 965.65 sq.m. of GFA

Most of the units in each building are currently vacant. The industrial units occupying the site typically operate between 8:00am to 9:00pm during the weekdays and shorter hours of operations during the weekend. Details of the commercial tenants with the unit size, tenant name, land use type and operating hours are summarized in the Table 1.

Table 1 - Tenant Information

Unit #	Size (sq.m. of GFA)	Tenant	Land Use	Operating Hours
7 Sun Pac Boulevard – Building 'A'				
1, 2, 3, 4 & 5	1,259.83	RED FM	Industrial	24 hours / 7 days a week
6 & 7	187.89	Canada Insurance Plan	Office	Mon – Fri: 8:00am to 9:30pm Sat & Sun: 11:00am to 4:00pm
11 Sun Pac Boulevard – Building 'C'				
1 - 4	631.66	Vacant	Industrial	-
5 & 6	333.99	Flying Fashion Warehouse	Industrial	Mon – Sat: 11:00am to 6:00pm Sun: 11:00am to 5:00pm
15 Sun Pac Boulevard – Building 'B'				
1	235.91*	-	Commercial / Office	Under Construction
2 & 3	429.94*	Singh Electronics	Industrial	Under Construction
7	134.97	The Locker Inc.	Industrial	Mon – Thurs: 11:00am to 7:00pm Fri – Sun: 11:00am to 6:00pm
8	188.77*	-	Industrial	Under Construction
4 – 6 & 9 – 13	1182.92	Vacant	-	-

Note (*): Includes proposed mezzanine additions

There are ten units of the 26 units on-site that are currently occupied with seven units in Building 'A', one unit in Building 'B' and two units in Building 'C'. The remaining 16 units are currently vacant (four units still under construction).

3. PROPOSED INTERIOR ALTERATIONS

The client is proposing to add a mezzanine addition to Unit 25 and 26 at 15 Sun Pac Boulevard (shown as Unit 12 and 13 Building 'B' within the provided site plan). The existing size of the unit is 316.20 sq.m. of

GFA and is proposed to increase by approximately 123.20 sq.m. of GFA with the addition of the mezzanine. The unit is proposed to total 439.4 sq.m. of GFA. The unit is proposed to use 30 percent dedicated to retail use and the remaining as a warehouse/industrial use. As discussed in our previous parking study report, the parking supply of the site is also proposed to be increase by four additional parallel spaces located near the south edge of Building 'B'. The total parking supply is to increase from 77 spaces to 81 spaces, as mentioned from our parking study, dated September 18, 2019.

4. PUBLIC TRANSIT

The site is served by Brampton Transit, operated by the City of Brampton, which provides public transit across the city.

Route 9, Vodden is a bus route operating mainly along Vodden Street West in an east-west direction, connecting riders from Sun Pac Boulevard to Mount Pleasant GO Station. The bus route travels briefly along Central Park Drive to reach the Bramalea GO Bus Terminal. The nearest bus stop is located at the intersection of Sun Pac Boulevard and Williams Parkway, which is directly adjacent to the site.

Route 29/29A, Williams is a bus route operating mainly along Williams Parkway in an east-west direction, connecting riders from Goreway Drive to Mount Pleasant GO Station. The nearest bus stop is located at the intersection of Sun Pac Boulevard and Williams Parkway, which is located approximately adjacent to the site. It should be noted that the 29A line has two additional stops.

The transit service frequencies on weekdays in the study area are shown in Table 2. The local transit map is shown in Figure 3.

Table 2 – Transit Service Frequencies in the Study Area

Route	No.	Approximate Peak Service Frequency (min)			
		AM Peak	PM Peak	Off-Peak	Sat-Peak
Vodden	9	30	30	40	55
Williams	29	-	-	30	30
Williams	29A	15	15	-	-

Note: (*) Peak period service frequency refers to weekdays between the hours of 7:00am to 9:00am and 4:00pm to 6:00pm.

5. PARKING REQUIREMENTS

The subject site is designated as an M4-1548, which is within the industrial category. The parking requirements were consulted with City staff and are based on City of Brampton Zoning By-law 270-2004, Schedule A, Section 1548.2 (9) and Section 20.3.1. and is summarized in Table 3 and Zoning By-law excerpts are provided in Appendix A.

Table 3 - Parking Requirements, City of Brampton Zoning By-law

Building	Use	Size (sq.m. of GFA)	Minimum Parking Requirement	
			Rate	Spaces
<u>Existing Uses:</u>				
7 Sun Pac Boulevard	Industrial	1,259.83	1 space per 55 sq.m.	98
	Commercial Office	187.89	1 space per 25 sq.m.	
11 Sun Pac Boulevard	Industrial	631.66	1 space per 55 sq.m.	
	Industrial	333.99	1 space per 55 sq.m.	
15 Sun Pac Boulevard	Industrial	1,936.60	1 space per 55 sq.m.	
	Commercial Office	235.91	1 space per 25 sq.m.	
<u>Proposed Uses:</u>				
Mezzanine Addition (Unit 12 and 13)	Retail*	18.48	1 space per 19 sq.m.	0.97
	Industrial	104.72	1 space per 55 sq.m.	1.9
Total Parking Requirements				101
Total Existing Parking Supply				81

Note (*): A limit of 15 percent of total GFA as per Zoning By-law

Based on the consultation with City staff, the parking requirement is 101 spaces, whereas 81 is the proposed parking supply, resulting in a deficiency of 20 spaces.

6. PROXY SITE PARKING SURVEYS

Parking surveys were not conducted at the subject site since majority of the units are currently vacant or still under construction. Due to the high vacancy, a parking survey at the site would likely not generate sufficient data since there is very minimal operations at the site. To estimate the parking activity of the site, a proxy site was selected with similar characteristics. The surveys were completed prior to the COVID-19 pandemic and would therefore reflect the conditions during normal operations without government restrictions.

6.1 Review of a Similar Development

The proxy site selected is an existing industrial / commercial development located at 2131 Williams Parkway in the City of Brampton, which is located approximately 250m west of the subject site. The proxy site has a similar parking lot configuration with multiple units occupied by industrial / commercial uses. The industrial / commercial uses of the proxy site have similar operating hours as the subject site. The site statistics of the subject site was compared with the proxy sites in Table 4.

Table 4 – Proxy Site Details, Site Statistics

Site	Parking Supply (spaces)	No. of Storeys	No. of Units	Current Industrial / Commercial Uses (sq.m. of GFA)	Supply Rate (spaces per sqm of GFA)
Subject Site:					
7, 11, & 15 Sun Pac Boulevard, Brampton	81	2	26	4,585.86	1 space per 56.6 sq.m. of GFA
Proxy Sites:					
2131 Williams Parkway, Brampton	119	2	22	approx. 5,109* (3,483 occupied)	1 space per 42.9 sq.m. of GFA

Notes (*): One vacant unit listed as 232.3 sqm of GFA from online lease listing

The proxy site has 15 of the 22 units occupied by industrial / commercial uses, which is approximately 3,483 sq.m. of GFA that is in use within the proxy site. The existing companies occupying the proxy site is summarized in Table 5.

Table 5 – Proxy Site, Existing Companies

Unit #	Company	Land Use	Unit #	Company	Land Use
1	JSP Insurance	Industrial	12	Vacant	-
2	Wellness Martial Arts	Commercial	13	Global Comfort Air	Industrial
3	Gillz Sweet Factory	Commercial	14	Moulds	Industrial
4	Vacant	-	15	AVP Studios/SP Media Group	Industrial
5	Davroc Engineering	Industrial	16	Vacant	-
6	Vacant	-	17	Penco Drywall	Industrial
7	Local 598	Industrial	18	Ernie Contracting	Industrial
8	Vacant	-	19	Home Alone Monitoring Company	Industrial
9	NRR	Commercial	20	Vacant	-
10	Rocca Sheet Metal Ltd	Industrial	21	Best Choice Bath & Kitchen Design	Industrial
11	Vacant	-	22	Yes-Way Carriers Inc	Industrial

Notes: Information obtained from site visit on Thursday July 11, 2019

6.2 Proxy Site Survey Methodology

The proxy site parking survey was conducted on two typical weekdays and one Saturday during the typical operating hours of the site. As mentioned previously, the surveys were completed prior to the COVID-19 pandemic and the results of the surveys would be reflective of normal operating conditions without government restrictions. Details of the proxy site parking surveys conducted by Trans-Plan are as follows:

- Surveys were conducted on the following days and during the following times:
 - Thursday July 11th, 2019 from 8:00am to 9:00pm
 - Thursday July 18th, 2019 from 9:00am to 8:00pm
 - Saturday July 13th, 2019 from 8:00am to 9:00pm
- Surveys were conducted at 30-minute intervals, recording parking demand (number of spaces

occupied) at the on-site parking lot.

- Noted any spillover parking and illegal parking to and from the adjacent roadways (on-street parking) or neighbouring developments.
- Surveyors were on-site during peak times of demand

6.3 Proxy Site Parking Demand Results

The survey results, showing the peak parking demand (maximum number of vehicles occupying the lot) is summarized in Table 6. The detailed survey results are shown in tabular form in Appendix B.

Table 6 – Proxy Site Parking Utilization Survey Results, Peak Parking Demands

Date	Peak 30-minute Period	Peak Parking Demand of Site (spaces)	On-site Parking Surplus / Available Parking (spaces)	Parking Utilization (Percent)
Thursday July 11 th , 2019	1:30pm	45	74	38%
Thursday July 18 th , 2019	2:30pm	50	69	42%
Saturday July 13 th , 2019	4:00pm	38	81	65%

In summary, Thursday July 18th, 2019, was observed to have the highest peak parking demand between both weekday surveys and the Saturday survey. The peak parking demand was observed to be 50 spaces occupied at 2:30pm, which resulted in a parking utilization of 42 percent. The site was observed to have a surplus of 69 spaces still available at the proxy site during the peak parking demand. The parking demand rate was calculated using the total area of the units that are occupied, which was estimated to be 3,498 sq.m. of GFA. The resultant observed parking demand rate was found to be 1 space per 69.6 sq.m. of GFA (3,483 sq.m. of GFA of the proxy site in use / 50 spaces occupied) during the peak parking demand at the proxy site.

7. FUTURE PARKING DEMANDS

7.1 Estimated Parking Demands for the Subject Site

As previously mentioned, majority of the subject site is vacant and would likely not generate sufficient data since there is minimal activity at the subject site. The observed peak parking demand rate, 1 space per 69.6 sq.m. of GFA, obtained from the proxy site survey was utilized to estimate the parking demands of the subject site. The existing gross floor area of 4,585.86 sq.m. of GFA (including the proposed mezzanine additions to Unit 14, 15, 16, and 21 in Building 'B') as well as the proposed mezzanine of 123.20 sq.m. of GFA of the subject site was utilized to calculate the estimated parking demands of the site. The estimated parking demand for the subject site is summarized in Table 7.

Table 7 - Estimated Future Parking Demands

Use	Size (sq.m. of GFA)	Estimated Parking Demands for Subject Site	
		Proxy Site Observed Rate	Parking Demand (spaces)
Existing Industrial / Commercial	4,585.86	1 space per 69.6 sq.m. of GFA	66
Proposed Mezzanine Addition	123.20		2
Total	4,709.06		68

In summary, the estimated parking demands of the site is 66 spaces if all the units were fully occupied and the proposed mezzanine addition would generate a minimal parking demand of 2 spaces. The estimated total parking demand would result to 68 spaces, which results in a surplus of 13 spaces still available at the subject site. Therefore, the parking supply of 81 spaces is expected to be sufficient and is able to accommodate the parking demand of the subject site, if it were fully occupied, and the parking demand generated by the proposed mezzanine.

8. CONCLUSIONS

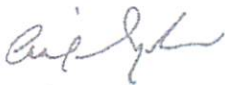
This Parking Justification Study report for the proposed mezzanine addition at Unit 25 and 26 of 15 Sun Pac Boulevard, shown as Units 12 and 13 within Building 'B', is summarized as follows:

- Three parking studies, dated September 18, 2019, November 22, 2019 and April 1, 2020 were previously prepared as separate applications for Unit 21 (Building 'B', Unit 1), Unit 15 & 16 (Building 'B', Unit 2 and 3) and Unit 14 (Building 'B', Unit 1), respectively, of 7, 11 and 15 Sun Pac Boulevard, Brampton. The proxy survey results and recommendations from the previous studies were utilized for this parking study.
- The subject site has 4,585.86 sq.m. of GFA of industrial / commercial uses. Ten of the 26 units of the existing industrial / commercial development is occupied with the remaining 16 units are vacant.
- The parking supply of 77 spaces is proposed to increase by four spaces to provide a total parking supply of 81 spaces.
- A mezzanine addition is proposed for Unit 25 and 26 of 15 Sun Pac Boulevard (shown as Unit 12 and 13 in the provided site plan). The addition is proposed to increase the total GFA of the subject site by approximately 123.20 sq.m. of GFA.
- Based on consultation with City staff and the City of Brampton Zoning By-law, the parking requirement is 101 spaces with the existing uses, mezzanine additions to Building 'A' and 'B'. Therefore, the proposed parking supply of 81 spaces is deficient of the parking requirements by 20 spaces.
- Parking surveys were not conducted at the subject site due to the lack of occupied units and the minimal activity at the subject site. Proxy site parking demand surveys were conducted at a similar industrial / commercial development, located at 2131 Williams Parkway, Brampton. The proxy site is located approximately 250m west of the subject site.
- The proxy site surveys were completed prior to the COVID-19 pandemic and the results of the surveys would be reflective of normal operating conditions without government restrictions.

- A peak parking demand rate of 1 space per 69.6 sq.m. of GFA was observed at the proxy site. The proxy peak parking demand rate was utilized to estimate the parking demand of the subject site, including the proposed mezzanine addition of the subject site Unit 12 and 13 of Building 'B'. The estimated parking demand of the subject site is 68 spaces and is able to be accommodated by the proposed parking supply of 81 spaces.

In conclusion, based on our proxy site survey results, the proposed parking supply of 81 spaces would be sufficient to accommodate the subject site as well as the proposed mezzanine addition to Unit 12 and 13 of Building 'B' when fully occupied.

Respectfully submitted,



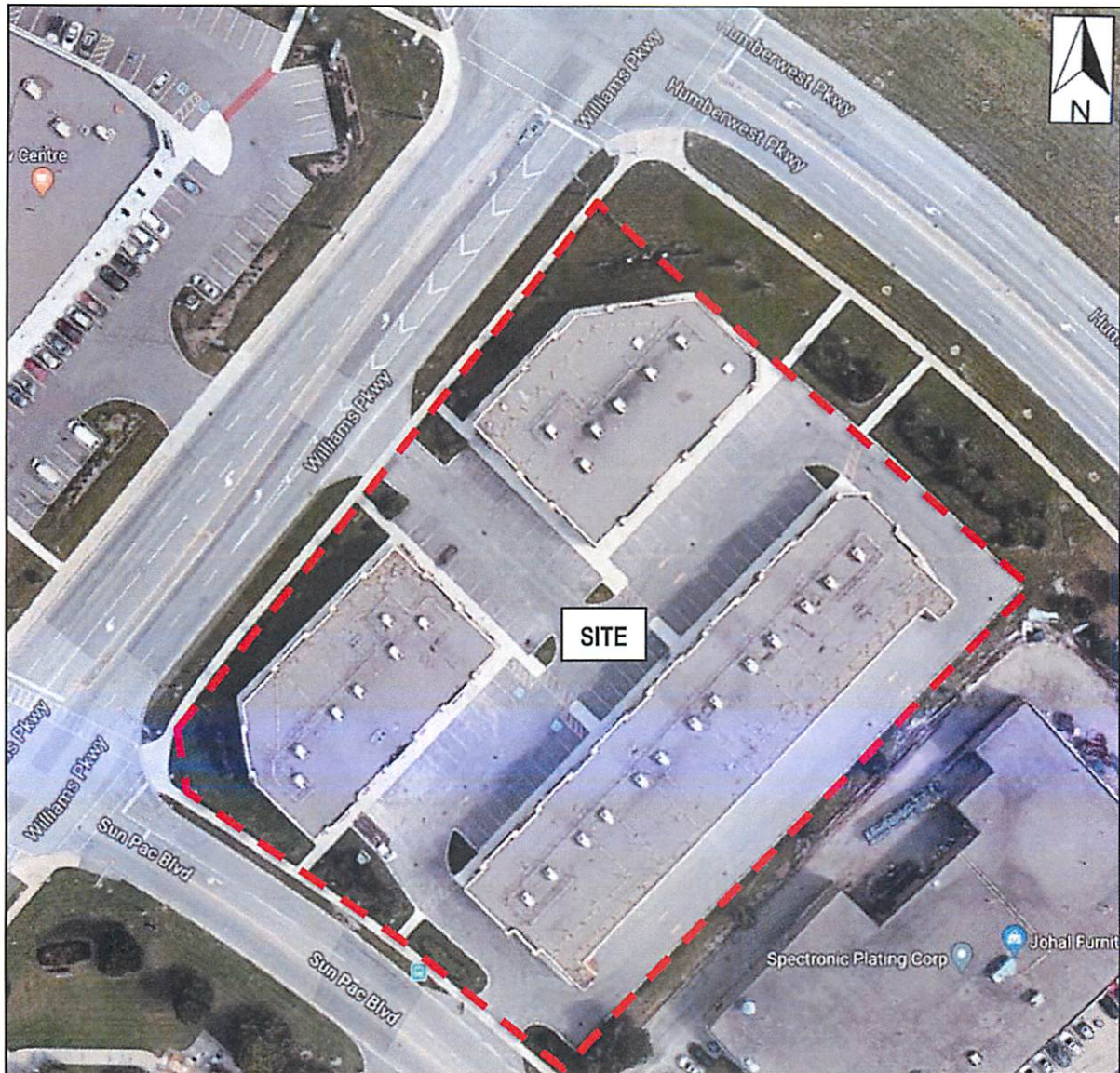
Anil Seegobin, P.Eng.
Partner, Engineer

Trans-Plan Transportation Inc.
Transportation Consultants



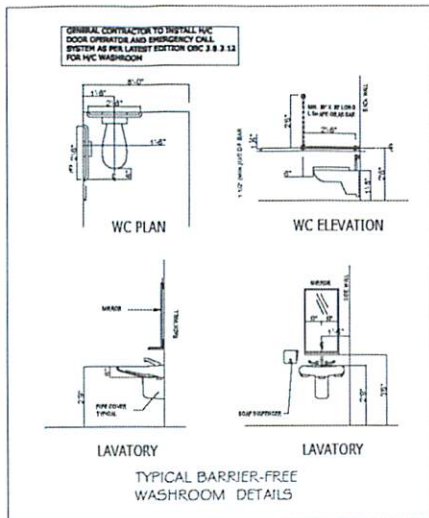
Tyrone Dollano
Traffic Analyst

Figure 1 – Site Location



Source: Google Earth

Figure 2 - Site Plan



GENERAL NOTES:

THE RECEIPT AND USE OF THESE DOCUMENTS CONSTITUTES AGREEMENT THAT EXISTING PROJECT CONDITIONS, INCLUDING THE PRESENCE OF ASBESTOS OR ASBESTOS CONTAINING MATERIALS, ARE AND REMAIN ISSUES OUTSIDE THE SCOPE ADDRESSED BY THESE DOCUMENTS, AND THAT THE DESIGNER AND OFFICE PREPARING THESE DOCUMENTS SHALL NOT BE IN ANY WAY LI

SITE REQUIREMENTS:

CONTRACTOR MUST VERIFY AND CHECK ALL JOB DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY ERRORS, OMISSIONS AND DISCREPANCIES TO DESIGNERS BEFORE PROCEEDING WITH WORK. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED THROUGHOUT. ALL BLOCKING MOUNTED. IN CEILING SPACE, OR WALL CAVITIES MUST BE NON-COMBUSTIBLE.

CODE REQUIREMENTS:

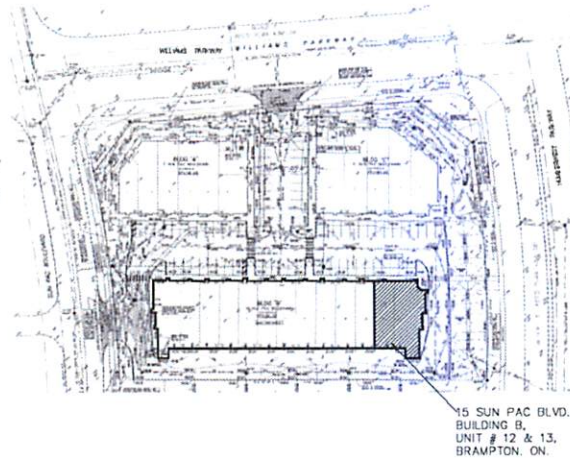
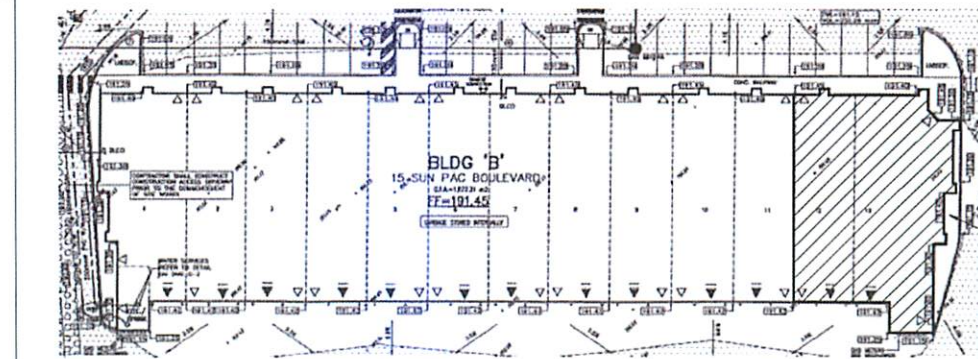
ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS & DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE AT THE EXPENSE OF THE TENANT'S GENERAL CONTRACTOR.

CONTRACTOR TO OBTAIN ALL REQUIRED BUILDING, SIGN AND HEALTH PERMITS BEFORE CONSTRUCTION.

APPROPRIATELY RATED U.L.C. LISTED FIRE EXTINGUISHER SHALL BE INSTALLED, IN ACCORDANCE WITH BUILDING CODE.

EXIT AND EMERGENCY LIGHTING SYSTEM TO MEET REQUIREMENTS OF LOCAL BUILDING CODE.

ALL CONSTRUCTION TO FOLLOW LOCAL BUILDING CODE. REPORT IN WRITING ANY DISCREPANCIES BETWEEN DRAWINGS AND CODES TO DESIGNER BEFORE STARTING WORK.



PROPOSED RETAIL AREA/WAREHOUSE UNIT # 12 & 13 BUILDING B, 15 SUN PAC BLVD. BRAMPTON, ONTARIO

BUILDING CODE CLASSIFICATION		OBC REFERENCE
ONTARIO BUILDING CODE DATA MATRIX		
PROJECT DESCRIPTION	<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ALTERATION	PART 3
MAJOR OCCUPANCY(S)	Group F2	3.1.2.1 (1)
BUILDING AREA (sq.m.) (1677.31 sq.m.)		1.1.3.2
GROSS FLOOR AREA OF INTERIOR ALTERATIONS (sq.m.)		1.1.3.2
TOTAL GROSS FLOOR AREA (sq.m.) (3142.00 sq.m.) (M03.55 sq.ft.)		
NUMBER OF STOREYS ABOVE GRADE (1) BELOW GRADE (0)		3.2.1.1 & 1.1.3.2
HEIGHT OF BUILDING (7.64m)	STOREY	3.2.1.1 & 1.1.3.2
NUMBER OF STREET ACCESS ROUTES	ONE	3.2.2.10 & 3.2.4.5
BUILDING CLASSIFICATION	3.2.2.72	3.2.2.61
SPRINKLER SYSTEM EXISTING	<input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF R.D.O.F. RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.20 - 63 3.2.2.15 3.2.2.17
10 STANDPIPE REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9
11 FIRE ALARM REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4
12 WATER SERVICE/SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	N/A
13 HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6
14 CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	3.2.2.20 - 33
15 MEZZANINE(S) AREA (sq.m.)	123.20 Sq.M	3.2.1.1 (3) & (B)
TOTAL OCCUPANCY LOAD: As designed by space post sign in conspicuous location BASED ON	<input checked="" type="checkbox"/> DESIGN OF BUILDING LOAD (100 Persons/sq.m.) <input type="checkbox"/> PERSONS	3.1.17
17 BARRIER-FREE DESIGN	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8
18 HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 (1) & 3.3.1.18 (1)
19 REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) LISTED DESIGN NO. OR DESCRIPTION (SG-2)	3.2.2.20 - 63 & 3.2.1.4
EXISTING	FLOORS 45 Min.	N/A
	ROOF N/A	N/A
	MEZZANINE 45 Min.	N/A
	FIRE OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (SG-2)	N/A
NEW	FLOORS N/A	N/A
	ROOF N/A	N/A
	MEZZANINE N/A	N/A
	EXISTING	N/A
20 SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	EXISTING	3.2.3 9.10.14
WALL	AREA OF ED (sq.m.)	L.D. (m) L.N. (m) PERMITTED OR MAX. % OF HL OPENINGS
NORTH	-	-
SOUTH	-	-
EAST	-	-
WEST	-	-

- CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
- ALL WORK SHALL BE CARRIED OUT AS PER SPECIFICATIONS AND THE LATEST EDITION OF ONTARIO BUILDING CODE.
- APPROVED LATEST DRAWINGS ONLY TO BE USED FOR CONSTRUCTION. PRINTS ARE NOT TO BE ALLOWED FOR SCALE.
- THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE USE. FOR ANY OTHER PURPOSE ARE NOT PERMITTED.
- THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL THE OTHER DRAWINGS WHICH CONSTITUTE THE DOCUMENTS.
- ALL DRAWINGS, SPECIFICATIONS ARE THE PROPERTY OF THE GDB CONSULTANCY INC. AND MUST BE RETURNED TO HIM ON COMPLETION OF WORK.

08/25/2020 ISSUED FOR PERMIT
No Date Revisions

PROJECT NORTH CHECKED & APPROVED BY B BHAVSAR

ARCHITECTS

CONSULTANTS

GDB CONSULTANCY INC
28 McDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT

PROPOSED RETAIL/WAREHOUSE

ADDRESS

UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE

OBC MATRIX, SITE PLAN & BARRIER-FREE WR DETAILS

DRAWN BY

B.B.

DATE

AUGUST 25, 2020

PLOT SCALE

1:100

PROJECT NO

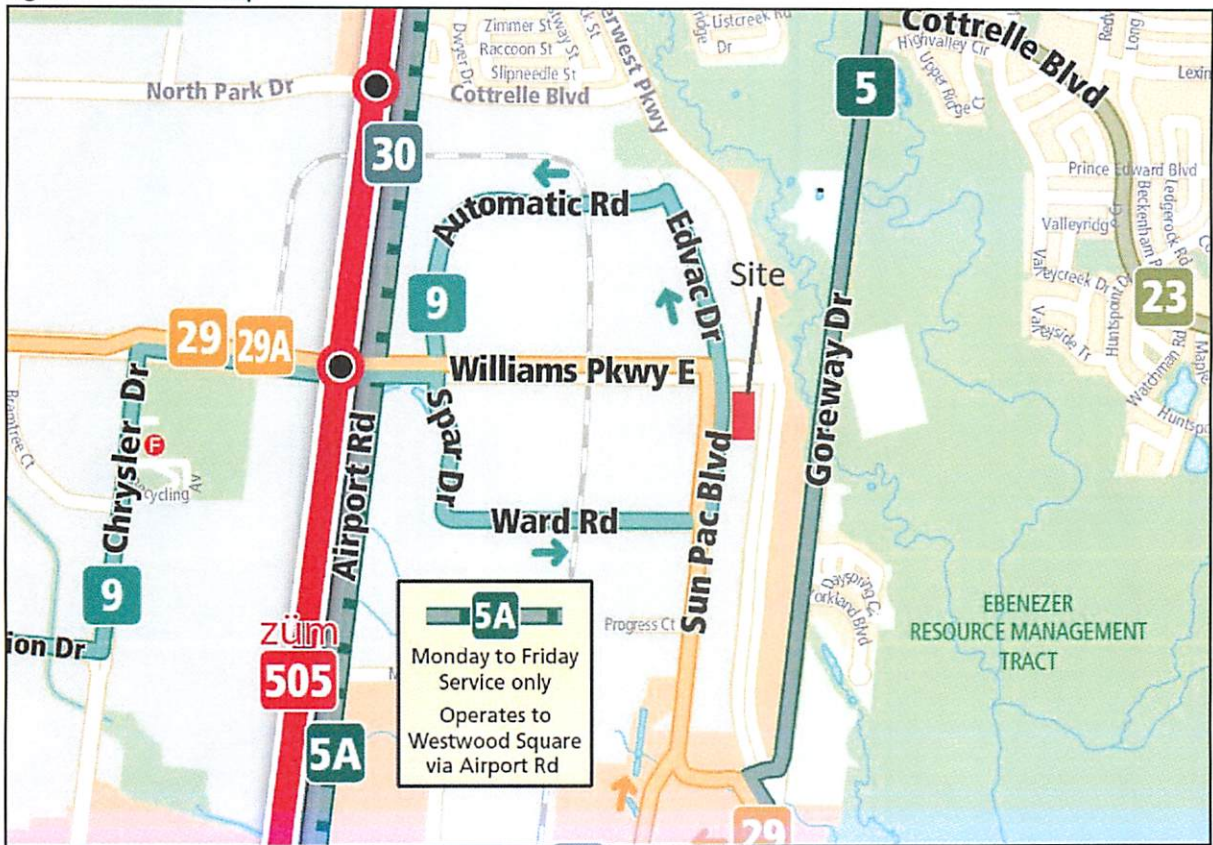
19-1241

DRAWING NO

A-0

GDB CONSULTANCY INC.

Figure 3 – Transit Map



Source: Brampton Transit Website

APPENDICES

Appendix A – City of Brampton Zoning By-law, Excerpts

Appendix B – Proxy Parking Survey Data



APPENDIX A

City of Brampton Zoning By-law, Excerpts

- (a) for a lot width of 50 metres or less: 8 metres,
 - (b) for a lot with a width greater than 50 metres but less than 100 metres: 8 metres plus 12 percent of the lot width in excess of 50 metres,
 - (c) for a lot width of 100 metres or more: 14 metres
- (4) Maximum Coverage of buildings and structures: 50 percent of the lot area
- (5) Minimum Rear Yard Depth: 20 metres
- (6) the required front yard, and all required side yards, from the front lot line to the rear wall of the rearmost building, shall be landscaped as follows:
 - (a) the minimum landscaped open space for a corner or interior lot having an area greater than 1 hectare shall be provided as follows:
 - (i) 50 percent of the required front yard, and
 - (ii) 50 percent of the required side yard from the required front yard to the rear wall of the rearmost building;
 - (b) the minimum landscaped open space for a lot having an area of 1 hectare or less shall be provided as follows:
 - (i) for a corner lot:
 - (A) 50 percent of the required front yard;
 - (B) 50 percent of the required exterior side yard, and
 - (C) none required for an interior side yard;
 - (ii) for an interior lot:
 - (A) 50 percent of the required front yard, and
 - (B) 50 percent of one required side yard and none for the other side yard;
- (7) a Landscaped Buffer Strip of a minimum of 12 metres in width shall be provided and maintained along Airport Road, Williams Parkway and the proposed Arterial Road, as shown on Schedule C - SECTION 1548.
- (8) (a) no outdoor truck loading facilities are permitted in the front yard;
 - (b) if the building depth is less than 60 metres, no outdoor truck loading facilities are permitted within the front half of the building depth; and
 - (c) if the building depth is greater than 60 metres, no outdoor truck loading facilities are permitted within the first 30 metres of the building depth;
- (9) at least one parking space for each 55 square metres of gross floor area shall be provided on the same lot, and such parking space shall be used only for vehicles of employees, vehicles of customers, and vehicles required in connection with the main use of the lot;

	In addition to the above, the applicable gross floor areas exceeding 15% shall be subject to the applicable office, retail, or educational parking requirements.
Warehouse	<p>a. If the associated office, retail, and educational gross floor areas are 15% or less of the total gross floor area:</p> <ul style="list-style-type: none"> • Up to 7,000 square metres: 1 parking space per 90 square metres gross floor area or portion thereof; • 7,000 to 20,000 square metres: 78 parking spaces plus 1 parking space per 145 square metres gross floor area or portion thereof that is over 7,000 square metres; • over 20,000 square metres: 168 parking spaces plus 1 parking space per 170 square metres gross floor area or portion thereof that is over 20,000 square metres <p>b. If the associated office, retail, and educational gross floor areas are more than 15% of the total gross floor area</p> <p>In addition to the above, the applicable gross floor areas exceeding 15% shall be subject to the applicable office, retail, or educational parking requirements.</p>
Industrial Mall	The same requirements as that of the Industrial – Manufacturing, except for motor vehicle repair or body shop or any non-industrial use which shall provide parking in accordance with applicable standards for that use.
Non-industrial uses	Parking requirements in accordance with that outlined in the General Provisions for Commercial and Residential Zones.

30.6 Fences

No fences shall be permitted in the front yard of any lot in an industrial zone.

30.7 Commercial Uses in Industrial Zones

Restaurant	Dining Room or Convenience Restaurant: 1 parking space for each 6.25 square metres of gross commercial floor area or portion thereof Take-Out Restaurant: 1 parking space for each 16.7 square metres of gross commercial floor area or portion thereof
School	Elementary School (up to grade 8): 1 parking space for each 100 square metres gross floor area (excluding portables) plus 1 parking space for each portable classroom Secondary School (grade 9 and above): 1.5 spaces for each 100 square metres gross floor area (excluding portables) plus 1 parking space for each portable classroom Commercial, Technical, or Recreational School: 4 spaces for each classroom or 1 parking space for each 20 square metres of gross commercial floor area or portion thereof; whichever is greater
Retail Establishment not specifically mentioned	1 parking space for each 19 square metres of gross commercial floor area or portion thereof
Shopping Centre having a gross leasable commercial floor area of less than 2000 square metres	1 parking space for each 23 square metres of gross commercial floor area or portion thereof for the entire shopping centre if uses of restaurants, taverns, and medical offices occupy less than 10% of total of gross commercial floor area; otherwise, 1 parking space for each 23 square metres of gross commercial floor area or portion thereof for areas other than restaurants, taverns, and medical offices plus the parking spaces required for restaurants, taverns, and medical offices
Shopping Centre having a gross leasable commercial floor area of 2000 square metres or more	1 parking space for each 19 square metres of gross commercial floor area or portion thereof
Supermarket	1 parking space for each 17 square metres of gross commercial floor area or portion thereof
Tavern	1 parking space for each 2.5 person licensed capacity
All Other Commercial Uses not specifically mentioned	1 parking space for each 23 square metres of gross commercial floor area or portion thereof



APPENDIX B

Proxy Parking Survey Data

Proxy Parking Utilization Survey



Proxy Location: 2131 Williams Parkway, Brampton

Parking Supply: 119

Survey Date: Thursday July 11, 2019, Thursday July 18, 2019, and Saturday July 13, 2019

Weather: Clear 30C, Clear 28C, and Cloudy 30C

Surveyor: N. Hu & H. Heer

Time	Parking Demand		
	Thursday July 11, 2019	Thursday July 18, 2019	Saturday July 13, 2019
	Total On-site Parking Demand	Total On-site Parking Demand	Total On-site Parking Demand
8:00	18	-	12
8:30	24	-	15
9:00	31	31	15
9:30	37	36	18
10:00	39	43	24
10:30	33	41	27
11:00	32	43	37
11:30	36	42	30
12:00	37	42	28
12:30	40	43	28
13:00	43	44	20
13:30	45	48	23
14:00	38	49	22
14:30	37	50	23
15:00	37	46	23
15:30	35	42	22
16:00	36	43	38
16:30	39	47	32
17:00	30	48	27
17:30	37	30	25
18:00	32	27	24
18:30	37	36	25
19:00	41	25	23
19:30	34	27	26
20:00	24	29	20
20:30	23	-	20

Peak Parking Demand



brampton.ca

FILE NUMBER: A-2020-0142

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** 2389112 Ontario Inc.
Address 2021 Williams parkway E, Unit-13 Brampton, ON, L6S 5T4

Phone # 416-550-2963 **Fax #** _____
Email realtork13@gmail.com
2. **Name of Agent** Design Plan Services Inc. C/O Chris Marchese /Robert Wojcikski
Address 900 The East Mall, Suite 300, Toronto, M9B 6K2

Phone # 416-626-5445 x208 **Fax #** _____
Email chris@designplan.ca
3. **Nature and extent of relief applied for (variances requested):**
To permit 81 Parking Spaces on the site whereas the By-law requires 95 Parking Spaces
due to the construction of a 123.30sq m mezzanine

4. **Why is it not possible to comply with the provisions of the by-law?**
Not enough parking spaces on site

5. **Legal Description of the subject land:**
Lot Number UNIT 25&26, LEVEL 1, PEEL STANDARD CONDOMINIUM PLAN NO. 1046 AND ITS
Plan Number/Concession Number APPURTENANT INTEREST; SUBJECT TO EASEMENTS AS SET OUT IN SCHEDULE
Municipal Address AS IN PR3407955; CITY OF BRAMPTON 15 SUNPAC BOULEVARD
UNITS 12 & 13
6. **Dimension of subject land (in metric units)**
Frontage 126.04m
Depth 89.0m
Area 10,124.12 sq m
7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Building "A"- 1 Storey 1447.7sqm, 7 Sunpac Boulevard

Building "B"- 1 Storey 1877.31sqm, 316.20sq m (Unit 12 & 13), 15 Sunpac Boulevard

Building "C"- 1 Storey 965.65sqm, 11 Sunpac Boulevard

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No New Buildings Proposed

A Mezzanine with an area of 123.20sqm is proposed in units 12 & 13 of existing Building "B" (15 Sunpac Blvd)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 5.37m

Rear yard setback 12.0m

Side yard setback 7.0m

Side yard setback 5.96m

PROPOSED

Front yard setback 5.37m

Rear yard setback 12.0m

Side yard setback 7.0m

Side yard setback 5.96m

10. Date of Acquisition of subject land: February 2020

11. Existing uses of subject property: Three Multi Unit Commercial/Industrial Buildings

12. Proposed uses of subject property: Mexxanine for storage in unit 12 & 13 of Building "B"

13. Existing uses of abutting properties: Municipal Right of Way & Industrial Use

14. Date of construction of all buildings & structures on subject land: Approx 2006.

15. Length of time the existing uses of the subject property have been continued: Approx 15 Yrars

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐

(b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐

(c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File #	<u>A14-038</u>	Decision	<u>Approved</u>	Relief	<u>Permitted Uses 8 Parking</u>
File #	<u>A08-094</u>	Decision	<u>Approved</u>	Relief	<u>Setbacks & Landscaping</u>
File #	<u>A2020-0080</u>	Decision	<u>Approved</u>	Relief	<u>Permitted Parking Reduction</u>

[Signature]
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 24th DAY OF Nov., 2020.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Robert Wojcikski, OF THE City OF Mississauga
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 24th DAY OF
November, 2020.

April Dela Cerna
A Commissioner etc.

[Signature]
Signature of Applicant or Authorized Agent

April Dela Cerna, ad.
a Commissioner, etc
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires May 8, 2021

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

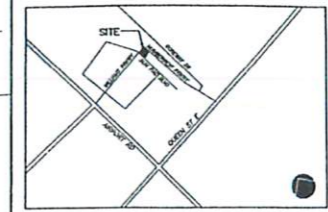
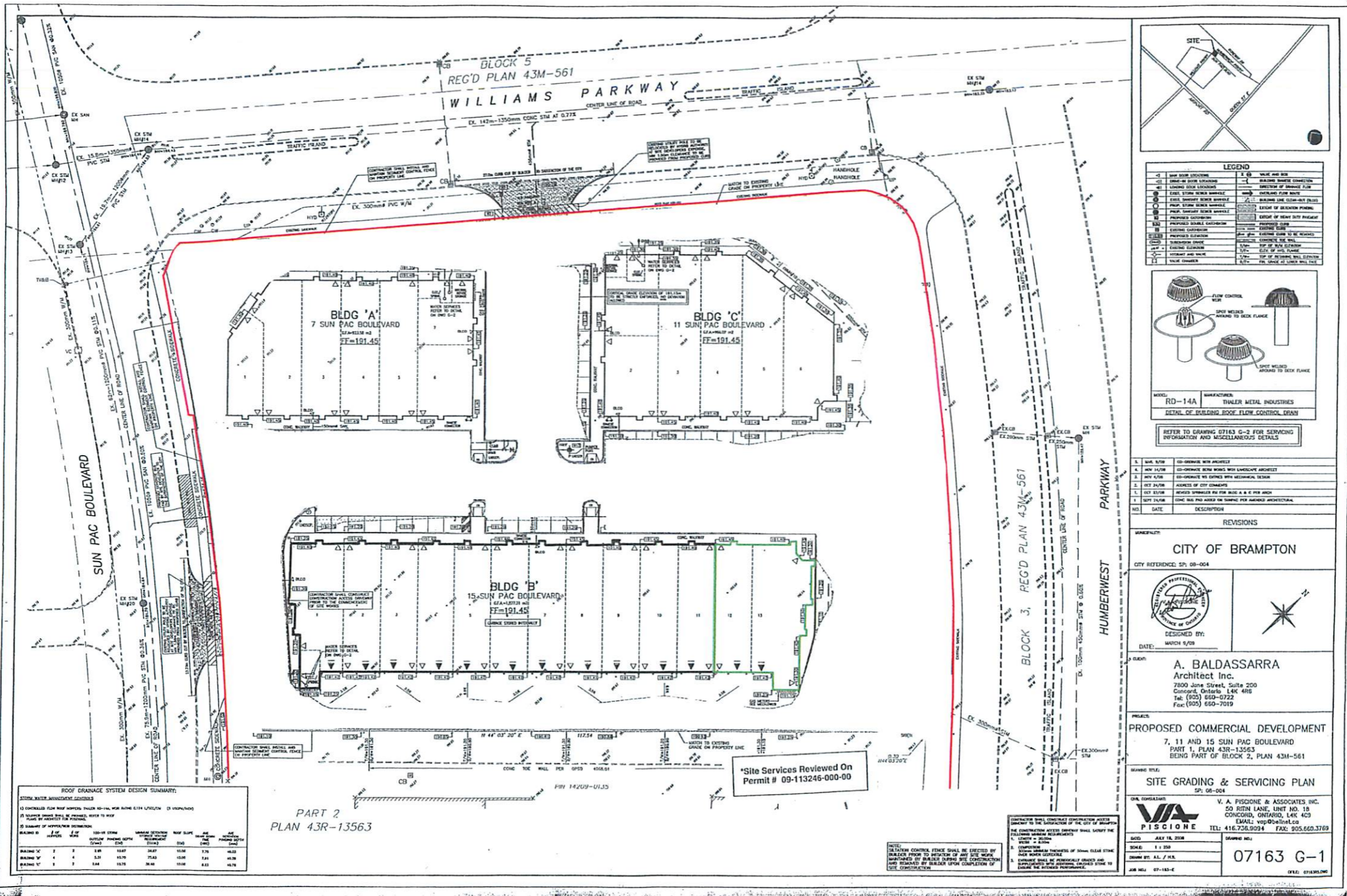
M4 - 1548

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

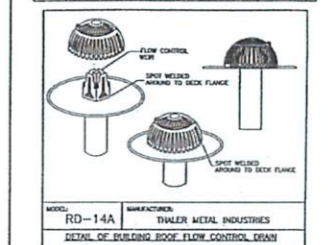
HOTHI S.
Zoning Officer

NOV. 27. 2020
Date

DATE RECEIVED November 24, 2020



LEGEND	
1	EXISTING ROADS
2	EXISTING SIDEWALKS
3	EXISTING DRIVEWAYS
4	EXISTING STORM SEWER
5	EXISTING SANITARY SEWER
6	EXISTING WATER MAIN
7	EXISTING GAS MAIN
8	EXISTING CABLE
9	EXISTING UTILITIES
10	EXISTING ELEVATION
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100	EXISTING FINISH



REFER TO DRAWING 07163 G-2 FOR SERVING INFORMATION AND MISCELLANEOUS DETAILS

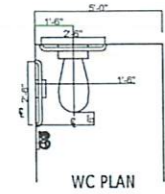
NO.	DATE	DESCRIPTION
1	10/1/2008	CO-ORDINATE WITH ARCHITECT
2	10/1/2008	CO-ORDINATE WITH LANDSCAPE ARCHITECT
3	10/1/2008	CO-ORDINATE WITH MECHANICAL DESIGN
4	10/1/2008	CO-ORDINATE WITH ELECTRICAL DESIGN
5	10/1/2008	CO-ORDINATE WITH CIVIL ENGINEER
6	10/1/2008	CO-ORDINATE WITH STRUCTURAL ENGINEER
7	10/1/2008	CO-ORDINATE WITH ENVIRONMENTAL ENGINEER
8	10/1/2008	CO-ORDINATE WITH GEOTECHNICAL ENGINEER
9	10/1/2008	CO-ORDINATE WITH HISTORIC PRESERVATION
10	10/1/2008	CO-ORDINATE WITH TRANSPORTATION ENGINEER
11	10/1/2008	CO-ORDINATE WITH AERONAUTICAL ENGINEER
12	10/1/2008	CO-ORDINATE WITH MARINE ENGINEER
13	10/1/2008	CO-ORDINATE WITH AGRICULTURAL ENGINEER
14	10/1/2008	CO-ORDINATE WITH MINING ENGINEER
15	10/1/2008	CO-ORDINATE WITH PETROLEUM ENGINEER
16	10/1/2008	CO-ORDINATE WITH CHEMICAL ENGINEER
17	10/1/2008	CO-ORDINATE WITH METALLURGICAL ENGINEER
18	10/1/2008	CO-ORDINATE WITH INDUSTRIAL ENGINEER
19	10/1/2008	CO-ORDINATE WITH AEROSPACE ENGINEER
20	10/1/2008	CO-ORDINATE WITH NUCLEAR ENGINEER
21	10/1/2008	CO-ORDINATE WITH SPACE ENGINEER
22	10/1/2008	CO-ORDINATE WITH DEFENSE ENGINEER
23	10/1/2008	CO-ORDINATE WITH INTELLIGENCE ENGINEER
24	10/1/2008	CO-ORDINATE WITH INFORMATION ENGINEER
25	10/1/2008	CO-ORDINATE WITH COMMUNICATIONS ENGINEER
26	10/1/2008	CO-ORDINATE WITH ELECTRONICS ENGINEER
27	10/1/2008	CO-ORDINATE WITH OPTICS ENGINEER
28	10/1/2008	CO-ORDINATE WITH MECHANICAL ENGINEER
29	10/1/2008	CO-ORDINATE WITH ELECTRICAL ENGINEER
30	10/1/2008	CO-ORDINATE WITH CIVIL ENGINEER
31	10/1/2008	CO-ORDINATE WITH STRUCTURAL ENGINEER
32	10/1/2008	CO-ORDINATE WITH ENVIRONMENTAL ENGINEER
33	10/1/2008	CO-ORDINATE WITH GEOTECHNICAL ENGINEER
34	10/1/2008	CO-ORDINATE WITH HISTORIC PRESERVATION
35	10/1/2008	CO-ORDINATE WITH TRANSPORTATION ENGINEER
36	10/1/2008	CO-ORDINATE WITH AERONAUTICAL ENGINEER
37	10/1/2008	CO-ORDINATE WITH MARINE ENGINEER
38	10/1/2008	CO-ORDINATE WITH AGRICULTURAL ENGINEER
39	10/1/2008	CO-ORDINATE WITH MINING ENGINEER
40	10/1/2008	CO-ORDINATE WITH PETROLEUM ENGINEER
41	10/1/2008	CO-ORDINATE WITH CHEMICAL ENGINEER
42	10/1/2008	CO-ORDINATE WITH METALLURGICAL ENGINEER
43	10/1/2008	CO-ORDINATE WITH INDUSTRIAL ENGINEER
44	10/1/2008	CO-ORDINATE WITH AEROSPACE ENGINEER
45	10/1/2008	CO-ORDINATE WITH NUCLEAR ENGINEER
46	10/1/2008	CO-ORDINATE WITH SPACE ENGINEER
47	10/1/2008	CO-ORDINATE WITH DEFENSE ENGINEER
48	10/1/2008	CO-ORDINATE WITH INTELLIGENCE ENGINEER
49	10/1/2008	CO-ORDINATE WITH INFORMATION ENGINEER
50	10/1/2008	CO-ORDINATE WITH COMMUNICATIONS ENGINEER
51	10/1/2008	CO-ORDINATE WITH ELECTRONICS ENGINEER
52	10/1/2008	CO-ORDINATE WITH OPTICS ENGINEER
53	10/1/2008	CO-ORDINATE WITH MECHANICAL ENGINEER
54	10/1/2008	CO-ORDINATE WITH ELECTRICAL ENGINEER
55	10/1/2008	CO-ORDINATE WITH CIVIL ENGINEER
56	10/1/2008	CO-ORDINATE WITH STRUCTURAL ENGINEER
57	10/1/2008	CO-ORDINATE WITH ENVIRONMENTAL ENGINEER
58	10/1/2008	CO-ORDINATE WITH GEOTECHNICAL ENGINEER
59	10/1/2008	CO-ORDINATE WITH HISTORIC PRESERVATION
60	10/1/2008	CO-ORDINATE WITH TRANSPORTATION ENGINEER
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71	10/1/2008	CO-ORDINATE WITH SPACE ENGINEER
72	10/1/2008	CO-ORDINATE WITH DEFENSE ENGINEER
73	10/1/2008	CO-ORDINATE WITH INTELLIGENCE ENGINEER
74	10/1/2008	CO-ORDINATE WITH INFORMATION ENGINEER
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98	10/1/2008	CO-ORDINATE WITH INTELLIGENCE ENGINEER
99	10/1/2008	CO-ORDINATE WITH INFORMATION ENGINEER
100	10/1/2008	CO-ORDINATE WITH COMMUNICATIONS ENGINEER

CITY OF BRAMPTON
CITY REFERENCE: SP-08-004
DESIGNED BY:
DATE: MARCH 5/08
A. BALDASSARRA
Architect Inc.
7800 Jane Street, Suite 200
Concord, Ontario, L4K 4K6
Tel: (905) 660-0722
Fax: (905) 660-7019

PROPOSED COMMERCIAL DEVELOPMENT
7, 11 AND 15 SUN PAC BOULEVARD
PART 1, PLAN 43R-13563
BEING PART OF BLOCK 5, PLAN 43M-561

SITE GRADING & SERVING PLAN
SP-08-004
V.A. PISCIONE & ASSOCIATES INC.
50 RITA LANE, UNIT NO. 18
CONCORD, ONTARIO, L4K 4C5
TEL: 416.736.0094 FAX: 905.660.3769
DATE: JULY 18, 2008
DRAWN BY: A.L. / H.S.
JOB NO: 07-183-C
DRAWING NO: 07163 G-1

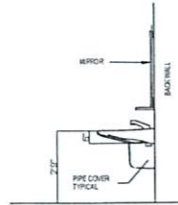
GENERAL CONTRACTOR TO INSTALL H/C DOOR OPERATOR AND EMERGENCY CALL SYSTEM AS PER LATEST EDITION OBC 3.8.3.12 FOR H/C WASHROOM



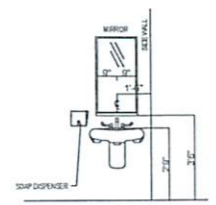
WC PLAN



WC ELEVATION

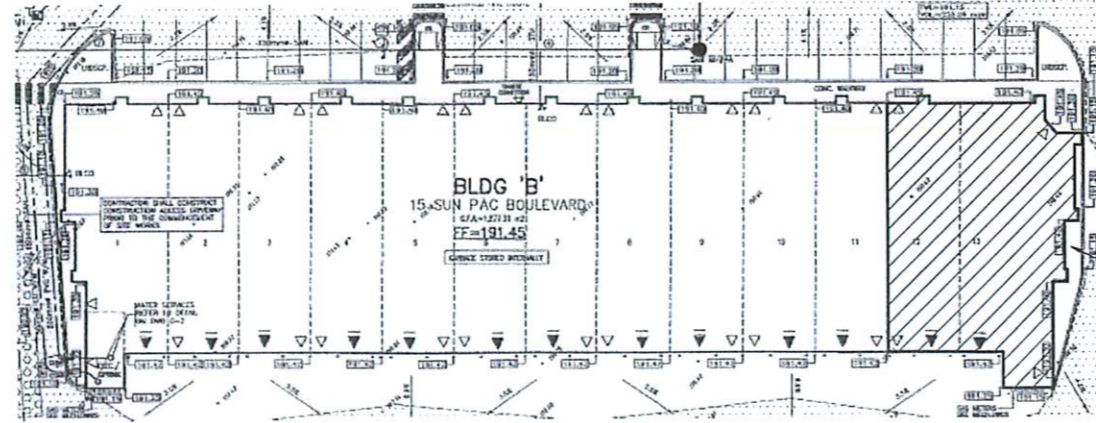


LAVATORY



LAVATORY

TYPICAL BARRIER-FREE WASHROOM DETAILS



15 SUN PAC BLVD.,
BUILDING B,
UNIT # 12 & 13,
BRAMPTON, ON.

GENERAL NOTES:

THE RECEIPT AND USE OF THESE DOCUMENTS CONSTITUTES AGREEMENT THAT EXISTING PROJECT CONDITIONS, INCLUDING THE PRESENCE OF ASBESTOS OR ASBESTOS CONTAINING MATERIALS, ARE AND REMAIN ISSUES OUTSIDE THE SCOPE ADDRESSED BY ABLE FOR THE PRESENCE, DISCOVERY, REMOVAL, OR HANDLING OF SUCH MATERIALS. THESE DOCUMENTS, AND THAT THE DESIGNER AND OFFICE PREPARING THESE DOCUMENTS SHALL NOT BE IN ANY WAY LI

SITE REQUIREMENTS:

CONTRACTOR MUST VERIFY AND CHECK ALL JOB DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY ERRORS, OMISSIONS AND DISCREPANCIES TO DESIGNERS BEFORE PROCEEDING WITH WORK. CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED THROUGHOUT. ALL BLOCKING MOUNTED. IN CEILING SPACE, OR WALL CAVITIES MUST BE NON-COMBUSTIBLE.

CODE REQUIREMENTS:

ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS & DRAWINGS, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE AT THE EXPENSE OF THE TENANT'S GENERAL CONTRACTOR.

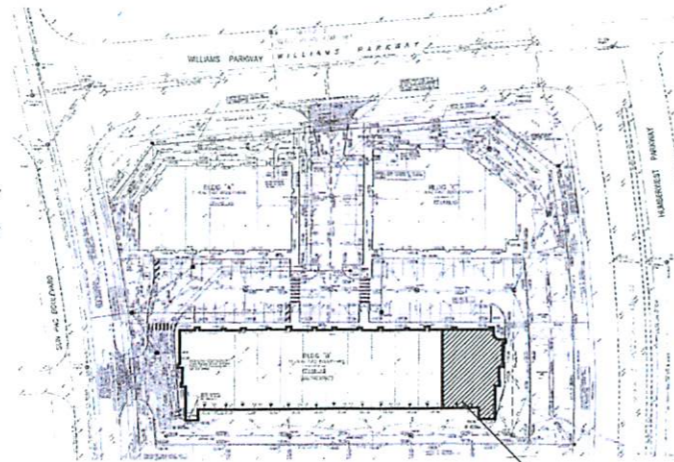
CONTRACTOR TO OBTAIN ALL REQUIRED BUILDING, SIGN AND HEALTH PERMITS BEFORE CONSTRUCTION.

APPROPRIATELY RATED U.L.C. LISTED FIRE EXTINGUISHER SHALL BE INSTALLED, IN ACCORDANCE WITH BUILDING CODE.

EXIT AND EMERGENCY LIGHTING SYSTEM TO MEET REQUIREMENTS OF LOCAL BUILDING CODE.

ALL CONSTRUCTION TO FOLLOW LOCAL BUILDING CODE. REPORT IN WRITING ANY DISCREPANCIES BETWEEN DRAWINGS AND CODES TO DESIGNER BEFORE STARTING WORK.

15 SUN PAC BLVD.
BUILDING B,
UNIT # 12 & 13,
BRAMPTON, ON.



15 SUN PAC BLVD.,
BUILDING B,
UNIT # 12 & 13,
BRAMPTON, ON.

PROPOSED RETAIL AREA/WAREHOUSE UNIT # 12 & 13 BUILDING B, 15 SUN PAC BLVD. BRAMPTON, ONTARIO

BUILDING CODE CLASSIFICATION

ONTARIO BUILDING CODE DATA MATRIX		OBC REFERENCE
PROJECT DESCRIPTION	<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> CHANGE OF USE	PART 3
MAJOR OCCUPANCY(S)	Group F2	3.1.2.1.(1)
BUILDING AREA (sq.m.) (1877.31) sq.m.		1.1.3.2
GROSS FLOOR AREA OF INTERIOR ALTERATIONS (sq.m.)		1.1.3.2
TOTAL GROSS FLOOR AREA (316.20) sq.m. (3403.55 sq.ft.)		3.2.1.1 & 1.1.3.2
NUMBER OF STOREYS ABOVE GRADE (1) BELOW GRADE (0)		3.2.1.1 & 1.1.3.2
HEIGHT OF BUILDING (7.64m)	STOREY	3.2.2.10 & 3.2.5.5
NUMBER OF STREETS/ACCESS ROUTES	ONE	3.2.2.1
BUILDING CLASSIFICATION	3.2.2.72	3.2.2.81
SPRINKLER SYSTEM EXISTING	<input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.20-83 3.2.1.5 3.2.2.17
10 STANDPIPE REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9
11 FIRE ALARM REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4
12 WATER SERVICE/SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	N/A
13 HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9
14 CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.20-83
15 MEZZANINE(S) AREA (sq.m.)	123.29 Sq.Mt.	3.2.1.1.(3)-(8)
TOTAL OCCUPANCY LOAD As designed by space post sign in conspicuous location BASED ON	sq.m./PERSON	3.1.17
DESIGN OF BUILDING LOAD 12(08 Persons+4 Staff) PERSONS		
17 BARRIER-FREE DESIGN	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8
18 HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2.(1) & 3.3.1.19(1)
19 REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) FLOORS 45 Min. ROOF N/A MEZZANINE 45 Min. FRR OF SUPPORTING MEMBERS FLOORS N/A ROOF N/A MEZZANINE N/A	LISTED DESIGN NO. OR DESCRIPTION (SG-2) N/A N/A N/A LISTED DESIGN NO. OR DESCRIPTION (SG-2) N/A N/A N/A
20 SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS EXISTING	3.2.3	9.10.14
WALL AREA OF EBF (sq.m.)	L.D. (m) OR H/L MAX. % OF OPENINGS	PROPOSED FRR (HOURS) LISTED DESIGN OR DESCR.
NORTH	-	-
SOUTH	-	-
EAST	-	-
WEST	-	-

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6. ALL DRAWINGS, SPECIFICATIONS ARE THE PROPERTY OF THE GDB CONSULTANCY INC AND MUST BE RETURNED TO HIM ON COMPLETION OF WORK.

0	08.25.2020	ISSUED FOR PERMIT
No	Date	Revisions

PROJECT NORTH
CHECKED & APPROVED BY:
B BHAVSAR



ARCHITECTS:

CONSULTANTS:

GDB CONSULTANCY INC
28 MCDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT:

**PROPOSED
RETAIL/WAREHOUSE**

ADDRESS:

UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE:

**OBC MATRIX, SITE PLAN &
BARRIER-FREE WR DETAILS**

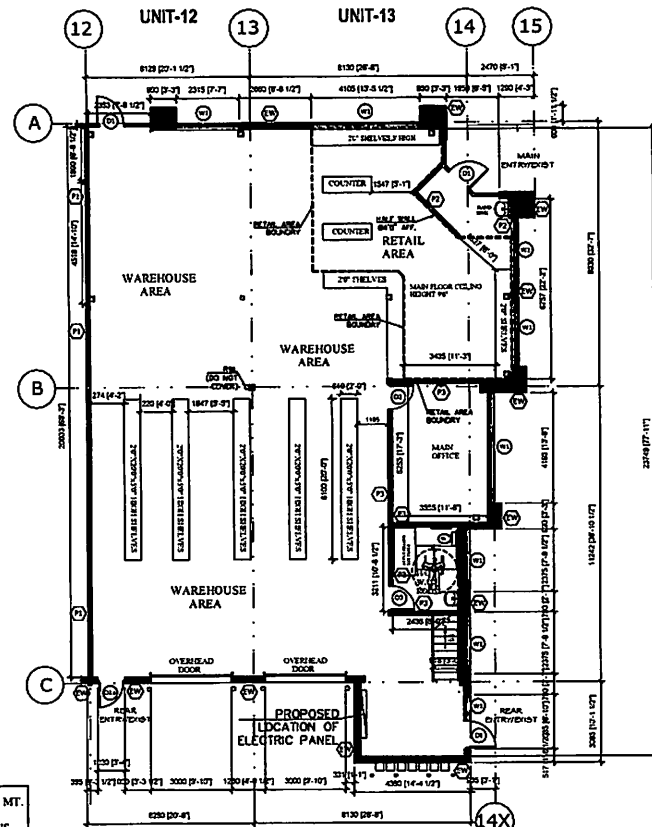
DRAWN BY : B.B.

DATE : AUGUST 25, 2020

PLOT SCALE : 1:100

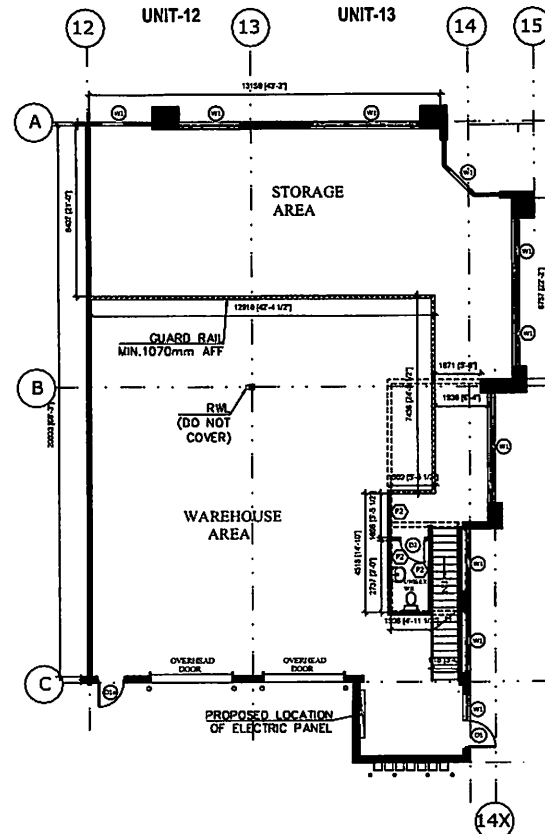
PROJECT NO. : 19-1241
DRAWING NO. : A-0

GDB CONSULTANCY INC.



FLOOR PLAN OF PROPOSED RETAIL AREA/
WAREHOUSE

SCALE: 1:100



FLOOR PLAN OF MEZZANINE OF
PROPOSED RETAIL AREA/WAREHOUSE

SCALE: 1:100

WALL ASSEMBLIES	DOOR ASSEMBLIES	WINDOW SCHEDULE
<p>P1</p> <p>WALL TYPE P1 (EXISTING): 1HR. FIRE RATED DEMISING WALL TO REMAIN AS IS (CONFIRMED BY LANDLORD)</p> <p>P2</p> <p>WALL TYPE P2 (PROPOSED): 13mm GYPSUM BOARD BOTH SIDE OF 92mm STUDS @ 400mm O.C., BRACED WITH EXISTING STRUCTURAL STEEL ON TOP</p> <p>P3</p> <p>WALL TYPE P3 (PROPOSED): 1hr. 15.9mm TYPE 'X' GYPSUM BOARD BOTH SIDE OF 38MM STEEL STUDS @ 406mm O.C., TO BE BRACED WITH STRUCTURE, FIRE TAPED</p> <p>EW</p> <p>WALL TYPE EW (EXISTING): EXTERIOR WALL TO REMAIN</p>	<p>D1</p> <p>DOOR TYPE D1 (EXISTING): 915mm x 2134mm X45mm EXISTING ALUMINUM GLAZED MAIN DOOR TO REMAIN WITH EXISTING HARDWARE AND DOOR CLOSURE</p> <p>D1a</p> <p>DOOR TYPE D1a (EXISTING): 915mm x 2134mm X45mm EXISTING ALUMINUM DOOR TO REMAIN WITH EXISTING HARDWARE AND DOOR CLOSURE</p> <p>D2</p> <p>DOOR TYPE D2 (PROPOSED): 965mm x 2135mm X 45mm SOLID WOOD DOOR & HOLLOW METAL FRAMING (PAINTED FINISH) WITH STANDARD HARDWARE</p> <p>D3</p> <p>DOOR TYPE D3 (PROPOSED): 965mm x 2135mm X 45mm SOLID WOOD DOOR & HOLLOW METAL FRAMING (PAINTED FINISH) WITH STANDARD HARDWARE (CONTRACTOR TO INSTALL H/C DOOR OPERATOR FOR H/C WASHROOM)</p>	<p>W1</p> <p>WINDOW TYPE W1 (EXISTING): EXISTING ALUMINUM WINDOW</p>

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No	Date	Revisions
0	08.25.2020	ISSUED FOR PERMIT

PROJECT NORTH	CHECKED & APPROVED BY: B BHAVSAR
---------------	-------------------------------------

ARCHITECTS:

CONSULTANTS:
GDB CONSULTANCY INC 28 McDONOUGH GARDENS HAMILTON, ON. L8B 1W8. Cell: (416) 388 9743

PROJECT:
PROPOSED RETAIL/WAREHOUSE

ADDRESS:
UNIT # 12 & 13 BUILDING 'B' 15 SUN PAC BLVD. BRAMPTON, ON.

DRAWING TITLE:
MAIN FLOOR PLAN & MEZZANINE FLOOR

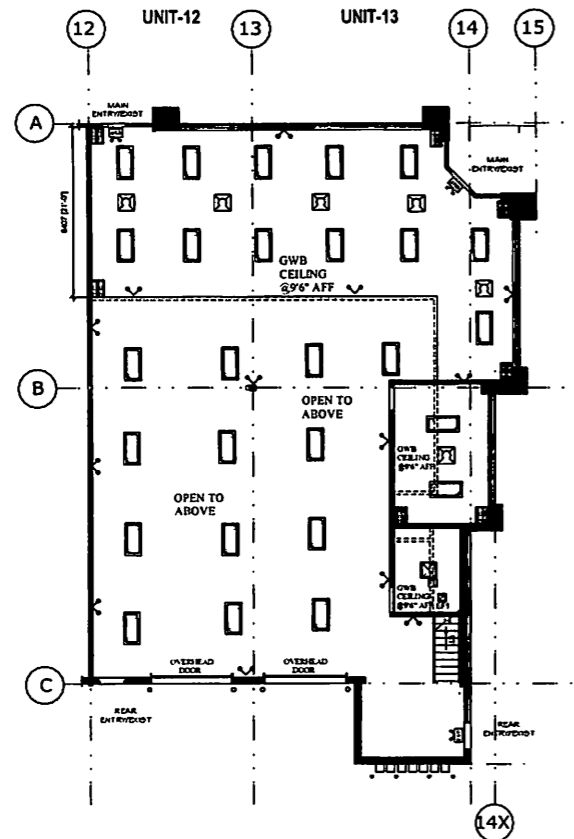
DRAWN BY:
B.B.

DATE:
AUGUST 25, 2020

PLOT SCALE:
1:100

PROJECT NO.:
19-1241
DRAWING NO.:
A-1

GDB CONSULTANCY INC.



CEILING PLAN OF PROPOSED RETAIL AREA WAREHOUSE

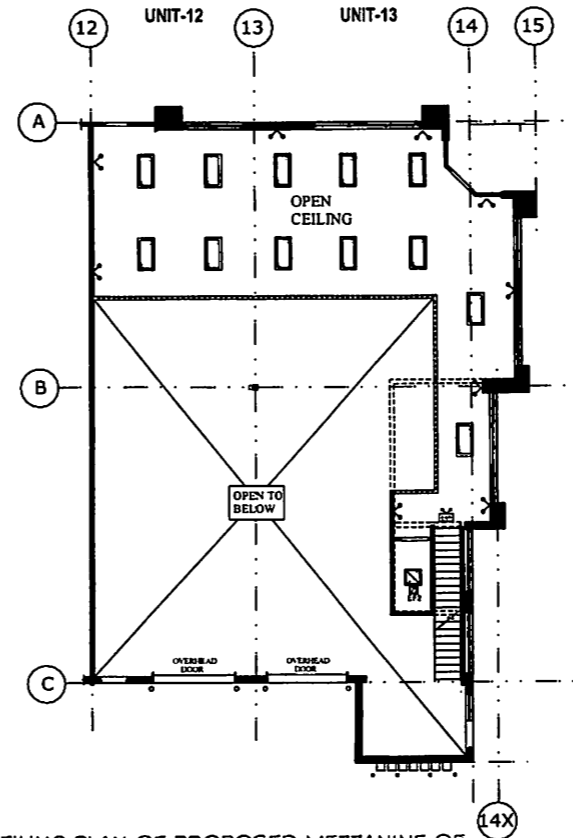
SCALE: 1:100

LEGENDS :

	120mm x 60mm RECESSED LIGHT FIXTURES
	EXIT LIGHT WITH BATTERY PACK AND TWO LAMP HEAD 12V DC, 9W
	EMERGENCY LIGHTING WITH TWO LAMP HEAD 12V DC, 9W
	60mm x 60mm RECESSED LED LIGHT FIXTURES
	60mm x 60mm S.A. DIFFUSER
	60mm x 225mm ALUM LAY IN GRID GRATE
	EXHAUST FAN

ALL LIGHT FIXTURES, BATTERIES, TRANSFORMERS, WIRING, AND MATERIALS TO BE USED SHALL BE APPROVED BY THE CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.

3.4.5.1 EXIT SIGNS (2) (b):
APPLIES TO PROVISION OF EXIT SIGNS
THESE ARE REQUIRED TO CONSIST OF A GREEN PICTOGRAM AND WHITE GRAPHIC SYMBOL MEETING THE VISIBILITY SPECIFICATIONS REFERRED TO IN IS 3844-1 GRAPHICAL SYMBOLS-SAFETY SIGNS AND CONFORM TO THE DIMENSIONS INDICATED IN ISO 7010 FOR SAFETY SIGNS USED IN WORKPLACES AND PUBLIC AREAS FOR E001 AND / OR E002 EMERGENCY EXIT.



CEILING PLAN OF PROPOSED MEZZANINE OF RETAIL AREA WAREHOUSE

SCALE: 1:100

LEGENDS :

	120mm x 60mm RECESSED LIGHT FIXTURES
	EXIT LIGHT WITH BATTERY PACK AND TWO LAMP HEAD 12V DC, 9W
	EMERGENCY LIGHTING WITH TWO LAMP HEAD 12V DC, 9W
	60mm x 60mm RECESSED LED LIGHT FIXTURES
	60mm x 60mm S.A. DIFFUSER
	60mm x 225mm ALUM LAY IN GRID GRATE
	EXHAUST FAN

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No.	Date	Revisions
0	08.25.2020	ISSUED FOR PERMIT

PROJECT NORTH	CHECKED & APPROVED BY:
	B BHAVSAR

ARCHITECTS:

CONSULTANTS:
GDB CONSULTANCY INC
28 McDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT:
PROPOSED RETAIL/WAREHOUSE

ADDRESS:
UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE:
MAIN CEILING PLAN

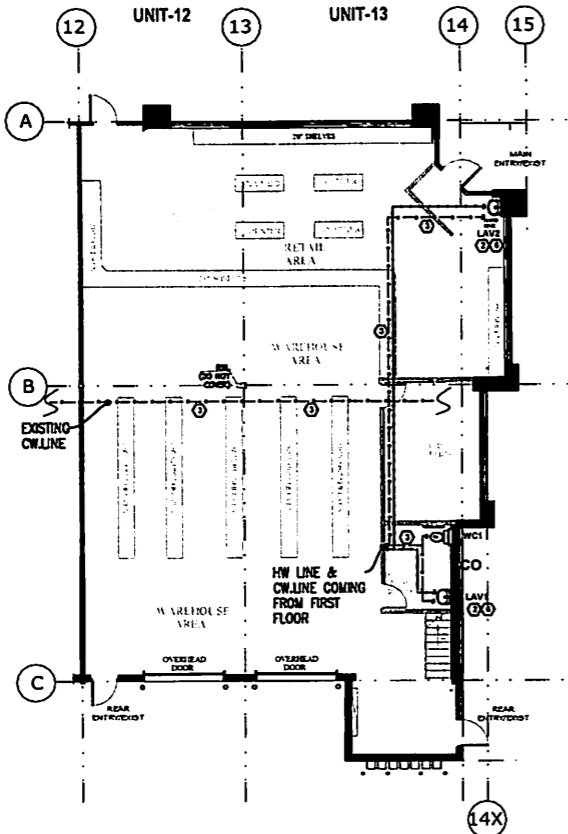
DRAWN BY:	B.B.
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DATE:	AUGUST 25, 2020
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PLOT SCALE:	1:100
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PROJECT NO. :	DRAWING NO. :
19-1241	A-2

GDB CONSULTANCY INC.



PLUMBING (WATER) PLAN OF PROPOSED RETAIL AREA/ WAREHOUSE

SCALE: 1:100

PLUMBING LEGENDS:

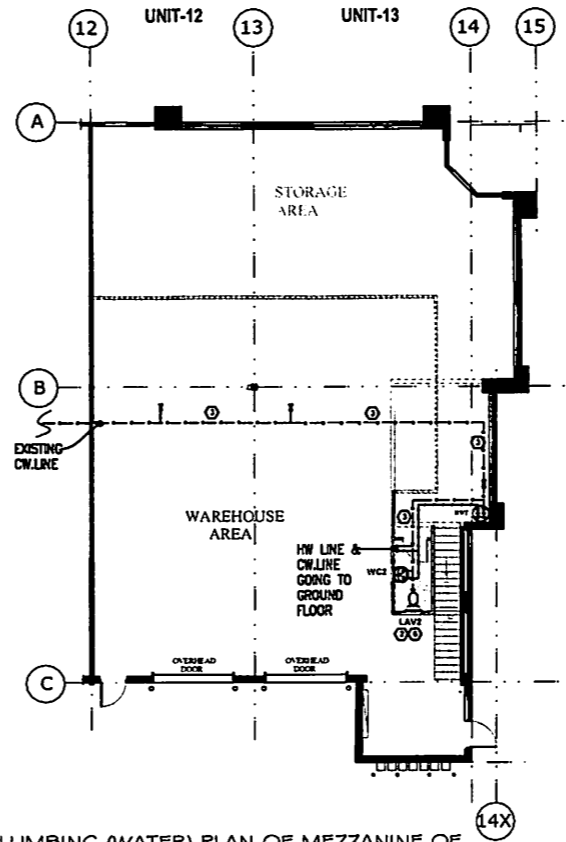
- 1 SANITARY LINE RUNNING MIN. 12" BELOW FLOOR AT 1% & 2% SLOPE (TYP.) AS PER OBC
- 2 HOT & COLD WATER SUPPLY TO PLUMBING FIXTURE (TYP.)
- 3 RUN WATER MAIN LINES IN CEILING SPACE (TYP.)
- 4 COLD WATER TO PLUMBING FIXTURES (TYP.)
- 5 3" Ø FLOOR DRAIN C/W TRAP AND VENT.
- 6 RISE VENT LINE UP, CO-ORDINATE EXACT VENT LOCATION ON SITE.

CONTRACTOR SHALL REVIEW THE BASE BUILDING PLUMBING AND PIPING DRAWINGS FOR LOCATION SPECS OF EXISTING ITEMS AND SAN. MAIN RISER.

CONTRACTOR SHALL PROVIDE CLEAN OUT PLUGS TO THE FIXTURES AS PER OBC PART 7

GENERAL CONTRACTOR TO VERIFY EXISTING SANITARY PIPE SIZE AND SLOPE DIRECTION PRIOR TO CONNECT TO MAIN SANITARY LINE. WORK TO COORDINATE WITH PROPERTY MANAGER

G.C. TO CONFIRM EXACT LOCATION OF ALL U/G SERVICES/UTILITIES IN COORDINATION WITH PROPERTY MANAGER PRIOR TO COMMENCE WORK. REFER TO LANDLORDS DESIGN CRITERIA DOCUMENT FOR FLOOR SLAB CUTTING AND DOCUMENTATION PROCEDURES. NO PLUMBING LINES SHALL BE RUN IN TO FIRE RATED DEMISING WALLS.



PLUMBING (WATER) PLAN OF MEZZANINE OF PROPOSED RETAIL AREA/WAREHOUSE

SCALE: 1:100

REFER DRAWING M-4 FOR PLUMBING GENERAL NOTES & PLUMBING FIXTURES SPEC.

CONNECT HOT AND COLD WATER PIPING SHALL BE MIN. 1/2" Ø TYPE 'L' BRASS COPPER TUBING WITH SWEATED FITTINGS UNLESS NOTED OTHERWISE

MINIMUM FIXTURE CONNECTION SCHEDULE

MARK	HW	CW	WASTE	VENT	REMARKS
WC	1/2"	1/2"	3"	1 1/2"	BARRIER FREE WASHROOM
LAV	1/2"	1/2"	1 1/2"	1 1/2"	BARRIER FREE WASHROOM, UNISEX W/R FRONT AREA
FD, CO, HD	-	-	3"	2"	FLOOR DRAINS, CLEAN OUTS, HUB DRAIN
CTE	-	-	-	-	CONNECT TO EXISTING

DRAIN NOTES: FLOOR DRAIN SHALL BE TRAP, VENT AND FLUSH WITH FLOOR LEVEL

HOT WATER DETAILS:
NEW HOT WATER TANK SHALL BE A 10 GPM MODEL, 150,000 BTU/HOUR CAPACITY 20 GAL. 1" NIPER-BRAZED LUGS & 3/4" NIPER-BRAZED LUGS SHALL BE 1/2" NIPER-BRAZED LUGS. LOCATED BEHIND THE LUGS SHALL BE 1/2" NIPER-BRAZED LUGS.

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0 08.25.2020 ISSUED FOR PERMIT
No Date Revisions

PROJECT NORTH
N
CHECKED & APPROVED BY:
B BHAYASAR

ARCHITECTS:

CONSULTANTS:
GDB CONSULTANCY INC
28 McDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT:
**PROPOSED
RETAIL/WAREHOUSE**

ADDRESS:
UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE:
PLUMBING (WATER) PLAN

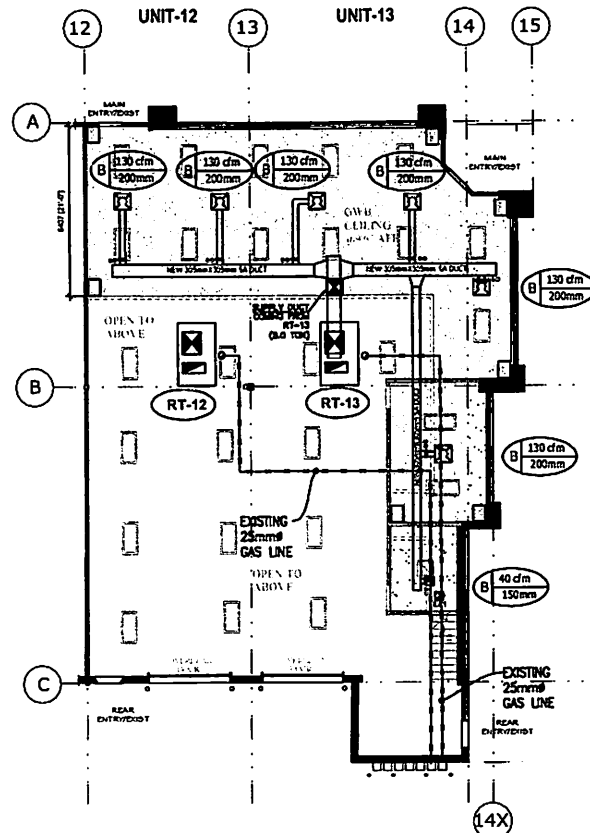
DRAWN BY : B.B.

DATE : AUGUST 25, 2020

PLOT SCALE : 1:100

PROJECT NO. : 19-1241
DRAWING NO. : M-2

GDB CONSULTANCY INC.

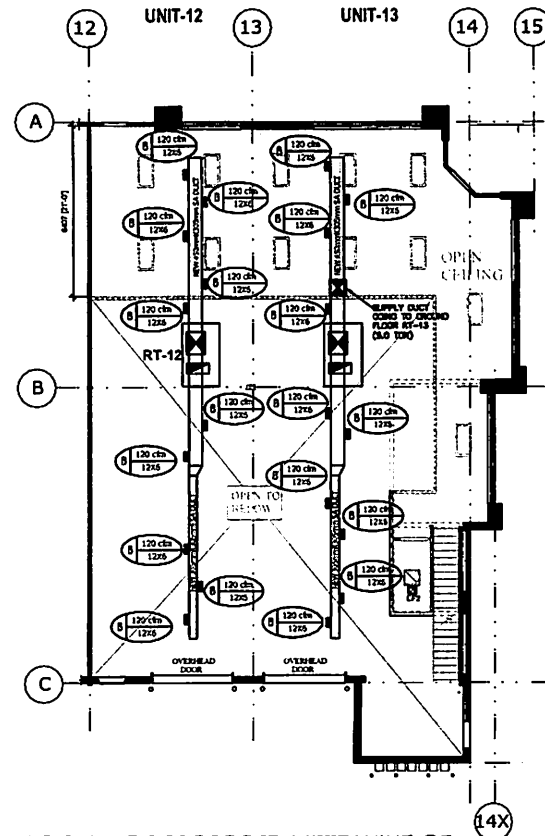


HVAC PLAN OF PROPOSED RETAIL AREA WAREHOUSE

SCALE: 1:100

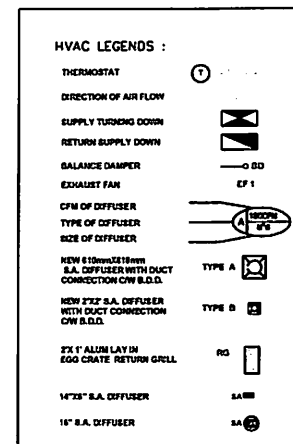
FRESH AIR SUPPLY: 1700 CFM
OCCUPANT LOADS: 12 PERSONS

HVAC & EXHAUST FAN UNIT SCHEDULE:										
UNIT NO.	AREA SERVED	MAKE MODEL & TONNAGE	EVAPORATOR FAN COIL SECTION					ELECT	WEIGHT (LBS)	REMARKS
			FAN CAPACITY / MOTOR	MAX HEATING (BTU)	MAX COOLING (TONS)	HP	IN PUT			
			CFM	EX. SP. (°F)	MOTOR TYPE	HP	OUT PUT	VOLTS / PH / MCA		
EXISTING RT-12	EXISTING - LEHNOX # TQAB24 5.6T		1200	0.5		100	04		5750/3	620
EXISTING RT-13	EXISTING - LEHNOX # TQAB24 5.6T		2000	0.5		100	04		5750/3	750
PROPOSED RT-12	UNISEX HVAC WR & UNISEX HR	REVERSONATIC ED 100	150	0.30	1550	1/10			208/3/50	12 LBS
										COMPLETE WITH BACKDRAFT DAMPER, EXIT THROUGH THE ROOF CORNER



HVAC PLAN OF PROPOSED MEZZANINE OF RETAIL AREA WAREHOUSE

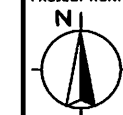
SCALE: 1:100



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No	Date	Revisions
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PROJECT NORTH
CHECKED & APPROVED BY:
B BHAVSAR



ARCHITECTS:

CONSULTANTS:
GDB CONSULTANCY INC
28 MCDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT:
**PROPOSED
RETAIL/WAREHOUSE**

ADDRESS:
UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE:
MAIN HVAC PLAN

DRAWN BY: B.B.

DATE: AUGUST 25, 2020

PLOT SCALE: 1:100

PROJECT NO.: 19-1241
DRAWING NO.: M-3

GDB CONSULTANCY INC.

HEATING, VENTILATING, AND AIR CONDITIONING

GENERAL

1. ALL HEATING, VENTILATING, AND AIR CONDITIONING EQUIPMENT SHALL BE CSA LISTED, BEAR THE CSA SEAL, AND BE INSTALLED IN ACCORDANCE WITH CSA STANDARDS.

2. IN ADDITIONS TO THE PROVISIONS OF SENTENCE (1), ALL FANS SHALL BE LICENSED TO BEAR THE AMCA SEAL.

3. ALL DUCTWORK SHALL BE CONSTRUCTED, INSTALLED, & SUPPORTED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.

4. IN ADDITION TO THE PROVISIONS OF SENTENCE (3), ALL RIGID DUCTWORK SHALL BE FABRICATED FROM GALVANIZED STEEL SHEETS IN ACCORDANCE WITH NFPA-90A, ULC-S110, AND ASTM-A525; AND OF THE US SHEET GAUGES AS TABLED BELOW.

SHEET GAUGE	RECTANGULAR DUCT	ROUND DUCT
26	UP TO 12"	UP TO 13"
24	13" - 30"	14" - 22"
22	31" - 54"	23" - 36"
20	55" - 84"	37" - 50"
18	85" & ABOVE	51" - 60"

5. FLAT AREAS OF DUCT OVER 18" SHALL BE STIFFENED BY CROSS BREAKING THE CORNERS, AND ALL DUCTS SHALL BE SELF-SUPPORTING.

6. IN ADDITION TO THE PROVISIONS OF SENTENCE (3), ALL FLEXIBLE DUCTWORK SHALL BE SUBJECT TO NFPA-90A AND ULC-S110 STANDARDS FOR FLAME SPREAD AND SMOKE DEVELOPMENT, BE ULC LISTED, AND BEAR THE ULC SEAL. ALL CONNECTIONS SHALL USE JOINT TREATMENT TYPE AS DETAILED IN MANUFACTURER'S INSTALLATION. MAXIMUM LENGTH OF FLEXIBLE DUCTWORK SHALL BE 5'-8", USED ONLY IN HORIZONTAL RUNS, AND SHALL NOT PENETRATE FIRE SEPARATIONS.

7. DUCTWORK SHALL BE MADE SUBSTANTIALLY AIR TIGHT THROUGHOUT AND SHALL HAVE NO OPENINGS OTHER THAN THOSE REQUIRED FOR PROPER OPERATION AND MAINTENANCE. THE ALLOWABLE LEAKAGE FACTOR SHALL NOT EXCEED 2% THROUGH THE LONGEST DUCT RUN. ALL DUCT JOINTS SHALL BE SEALED WITH JOINT TAPE MEETING THE FLAME RESISTANCE REQUIREMENTS OF ULC-S109.

8. ALL AIR HANDLING SYSTEMS SHALL BE TESTED AND BALANCED BY A QUALIFIED TESTING COMPANY TO WITHIN 5% OF THE DESIGN AIR VOLUMES. THREE (3) COPIES OF THE FINAL TESTING AND BALANCING REPORT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW BY THE ENGINEER.

9. ELBOWS SHALL BE CONSTRUCTED USING A RADIUS OF 1.5 TIMES OF DUCT DIAMETER/WIDTH. HOLLOW TURNING VANES IN VANE RAILS SHALL BE USED WHEN THIS IS NOT POSSIBLE.

10. BALANCING DAMPERS SHALL BE INSTALLED AT ALL TAKE-OFFS FROM BRANCH DUCTS, AND ALL BRANCH DUCT CONNECTIONS TO MAIN DUCTS. BALANCING DAMPERS SHALL BE MANUALLY OPERATED OPPOSED BLADE TYPE, SPLITTER TYPE, OR BUTTERFLY TYPE, COMPLETE WITH LOCKING QUADRANT OPERATOR.

11. FIRE DAMPERS SHALL BE INSTALLED IN THE PLANE OF PENETRATION OF FIRE SEPARATIONS AND IN ACCORDANCE WITH NFPA-90A AND ULC-S505, AND SHALL BEAR THE ULC SEAL. DAMPERS SHALL BE TYPE A OR B, 1.5 HOUR FIRE RATED AND COMPLETE WITH 160 DEG. F REPLACEABLE LINK. A TIGHTLY FITTED ACCESS DOOR SHALL BE INSTALLED FOR EACH FIRE DAMPER TO PROVIDE ACCESS FOR INSPECTION, AND RESETTNG OF DAMPER, AND REPLACING OF FUSIBLE LINK. FIRE DAMPERS SHALL BE SUPPORTED INDEPENDENTLY FROM DUCTWORK.

12. VIBRATION ISOLATION FLEXIBLE DUCT CONNECTORS SHALL BE USED WHERE DUCTWORK CONNECTS DIRECTLY TO AIR HANDLING EQUIPMENT. CONNECTORS SHALL BE NONCOMBUSTIBLE, OR OF COMBUSTIBLE FABRIC CONSTRUCTION PROVIDED THEY DO NOT EXCEED 10" IN LENGTH AND COMPLY WITH THE FLAME RESISTANCE REQUIREMENTS OF ULC-S109. COLLARS SHALL BE GALVANIZED IRON AND FASTENED SECURELY TO ENSURE A LEAK PROOF CONNECTION.

13. ALL DUCTWORK SHALL BE INSTALLED TO ALLOW FREEDOM FROM VIBRATION DURING OPERATING CONDITIONS. DUCT HANGERS SHALL BE SUPPORTED FROM STRUCTURAL STEEL AND STRUCTURAL CONCRETE SLAB, BUT NOT FROM ROOF DECK. BENT GALVANIZED IRON HANGERS SHALL BE USED FOR DUCTS UP TO 36" IN WIDTH. FOR WIDER DUCTS, 1/2" DIAMETER RODS AND 1/2" STRUCTURAL ANGLE IRONS SHALL BE USED. DUCT HANGERS SHALL BE SPACED MAXIMUM 8'-0" APART. WHERE DUCTS PASS THROUGH WALLS AND FLOORS, THE SPACE AROUND THE DUCT SHALL BE PACKED AND SEALED WITH FIRE RESISTANT SEALING COMPOUND.

14. SPIRAL DUCTWORK SHALL BE SPIRAL HELIX AS MANUFACTURED BY WESBELL HIGH-TC MANUFACTURING INC.

PLUMBING GENERAL NOTES :

1. ALL PLUMBING WORK TO CONFORM TO OBC AND OWA ACT NO : 815/84, CONSTRUCTION SAFETY ACT AND REGULATION OF THE CITY AND LOCAL AUTHORITIES.
2. CO-ORDINATE INSTALLATION WITH ELECTRICAL CONDUITS, DUCT & STRUCTURAL MEMBERS. OFFSET PIPES AS REQUIRED.
3. CONTRACTOR TO FIELD VERIFY WORK SITE CONDITIONS.
4. PROVIDE ACCESS DOOR FOR EACH WATER VALVE INSTALLED IN CONCEALED SPACE.
5. INSULATE NE DOMESTIC WATER PIPES.
6. CO-ORDINATE ROUTING OF SANITARY AND STORM PIPES WITH DUCT WORK, STRUCTURAL AND ELECTRICAL REVISED AND RELOCATE AS REQUIRED.
7. DO NOT INSTALL HW & CW PIPES IN EXPOSED EXTERIOR WALLS.
8. PROVIDE PIPE HANGERS WERE REQUIRED AT MINIMUM SPACING AS RECOMMENDED BY PIPE MANUFACTURE.
9. SANITARY DRAINAGE AND VENT PIPING ABOVE GRADE SHALL BE TIGHT "DWN" XFR PIPING AS PER OBC AND LOCAL CITY CODE.
10. DOMESTIC HOT AND COLD WATER PIPING SHALL BE TYPE "L" HARD COPPER TUBING WITH SOLDERED FITTINGS.
11. ALL MATERIAL TO COMPLY WITH CSA AND OBC. ALL VENTS AND PRIMERS AS PER OBC, CITY AND PROPERTY MANAGEMENT.
12. ANY MATERIALS ABOVE CEILING SHOULD BE AS PER OBC AND CITY STANDARDS.

PLUMBING FIXTURES NOTES :

PROVIDE CLEANOUTS AND TRAP PRIMING FOR SANITARY AS REQUIRED BY O.B.C. AND LOCAL AUTHORITY STANDARDS.

HUB OR FLOOR DRAIN TO BE PROVIDED FOR HWT OVERFLOW.

PROVIDE ALL REQUIRED FITTINGS, TRAPS, VALVES, FAUCETS

ALL EXISTING WASROOM FIXTURES TO BE REPLACED WITH NEW ONE(CSA STANDARD)

CONTRACTOR TO REPLACE EXISTING PLUMBING FIXTURE WITH NEW IN EXISTING WASHROOM

PLUMBING FIXTURES SPECIFICATIONS :

- FLOOR DRAIN : SMITH SERIES 2050 FLOOR DRAINS/ZURN EQUIVALENT
- WATER FILTER: 3M
- CLEANOUTS: ZURN

TOILET - FLOOR MOUNTED - VITREOUS CHINA - GRAVITY TANK TYPE - BARRIER-FREE DESIGN / RIGHT HEIGHT

AMERICAN STANDARD #087 616 "CACKET ELONGATED RIGHT HEIGHT" 16" X 14" (406MM X 355MM) PRESSURE-ASSIST LOW CONSUMPTION TWO PIECE TANK TOILET, FLOOR MOUNTED, VITREOUS CHINA WITH EVER-CLEAN™ ANTIMICROBIAL SURFACE WHICH INHIBITS THE GROWTH OF STAIN AND ODOR CAUSING BACTERIA, MOLD AND MILDEW, ELONGATED FRONT SYMPHON JETTED FLUSH ACTION BOWL, 2-1/4" (50MM) FULLY GLAZED INTERNAL TRAPWAY, 10" X 12" (254MM X 305MM) LARGE WATER SURFACE, AND "SPEED CONNECT" P.A. TANK COMPLETE 6L (1.6 GAL.) PER FLUSH, WITH CAST SANITARY GUARD ON BOWL FOR CHINA TO CHINA ASSEMBLY, BOLT CAPS, CENTODOD ROOSTS TOILET SEAT, ELONGATED HEAVY DUTY BOLD PLASTIC OPEN FRONT LESS COVER, WITH REINFORCED STAINLESS STEEL CHECK HINGE, POSTS, WASHERS AND NUTS FOR ELONGATED BOWL (PRIVATE USE), MOCURE #1118181818 TOILET SUPPLY, C.P., POLISHED BRASS, RIGID HORIZONTAL INTEGRAL COPPER SWEAT TUBE NIPPLE 1/2" (12MM) I.D. X 3" (76MM) LONG, 1/4" BRASS 1/4" TURN BALL VALVE ANGLE STOP WITH COORDINATION V.P. LOOSE KEY HANDLE, ESCUTCHEON AND FLEXIBLE COPPER RISER, PROVIDE FLOOR FLANGE, FLANGE BOLTS AND GASKET PROVIDE BOLTED TANK COVER AND /OR RIGHT HAND TRIP LEVER IF REQUIRED - TO MEET LOCAL CODES

BASIN - COUNTERTOP MOUNTED - VITREOUS CHINA - SINGLE HANDLE FAUCET - BARRIER-FREE DESIGN & GENERAL USE :

AMERICAN STANDARD #085 800 MURRO BASIN SEALED OVERFLOW, CENTRE HOLE 5" 21" 1/4" X 22" X 7 1/2" (540MM X 558MM X 191MM) DEEP, VITREOUS CHINA, INTEGRAL BACK SPLASH, SELF DRAINING DECK AREA, SLOPED FRONT LIP, FOR CONCEALED ARIK CARRIER AND PEDESTAL SUPPORT PLATE. AMERICAN STANDARD # 0259 025 025 025 CHINA, PEDESTAL, TO COVER EXPOSED PIPING AS PER LOCAL CODES. AMERICAN STANDARD #2000A 18V 1800 025 CERAMIC FAUCET, C.P. SINGLE HOLE C.G., ALL METAL CONSTRUCTION SOLID CAST BRASS LEAD-FREE BODY, WASHER LESS CERAMIC CRIP -FREE DISC VALVE CARTRIDGE, MAXIMUM TEMPERATURE LIMIT STOP, WITH VANDAL RESISTANT, ANTI MICROBIAL 5.7 LPM (1.5 GPM) LAMINAR FLOW AIR RATING) FLOW OUTLET, SINGLE CONTROL METAL LEVER HANDLES AND FLEXIBLE HOSE SUPPLIES. LABELER 9 TANK-1000 MECHANICAL MIXING VALVE WITH THERMOSTATIC LIMIT STOP, WITH TEMPERATURE ADJUSTABLE DIAL AND WITH INTEGRAL BACK CHECKS. SET VALVE TEMPERATURE AT 115°F (48°C), SHUT OFF TEMPERATURE AT 120°F (48.8°C). 1/2" MEXER INSTALLED IN HAC SUPPLIES TO PROVIDE TENDERED WATER TO HOT SIDE OF FAUCET. MOCURE #1185 10 BASIN DRAIN, C.P., CAST BRASS 1" FC TOP, OFFSET OPEN GRID WITH 170A (1.5MM), 1-1/4" (32MM) TAILPIECE. MOCURE #1185 10 BASIN DRAIN, C.P., POLISHED BRASS, RIGID SHORT HORIZONTAL NIPPLES, 3/4" (19MM) I.D. X 2" (51MM) LONG L.P.B. HEAVY ALL BRASS ANGLE STOPS WITH COORDINATION V.P. LOOSE KEY HANDLES, ESCUTCHEONS AND LESS FLEXIBLE COPPER RISERS. MOCURE #1273C 1/2" 1/2" TRAP, C.P., POLISHED, CAST BRASS ADJUSTABLE BODY, 1-1/4" (32MM) WITH CLEAN OUT PLUG, SEAMLESS BRASS WALL BEND AND ESCUTCHEON, 1/4" R. SMTH #0700 2.41 BASIN CARRIER WITH STAINLESS STEEL PIPE LEOR, BLOCK BASE FEET SUPPORT, CONCEALED ARMS AND ORDESTRAL PLATE IF OR NARROW WALL INSTALLATION PROVIDE "Z" TYPE SLEEVE FOR ARMS)

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No	Date	Revisions

PROJECT NORTH	CHECKED & APPROVED BY : B BHAVSAR
---------------	--------------------------------------

ARCHITECTS :

CONSULTANTS :
GDB CONSULTANCY INC
28 McDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT :
**PROPOSED
RETAIL/WAREHOUSE**

ADDRESS :
UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE :
MECHANICAL NOTES

DRAWN BY : B.B.

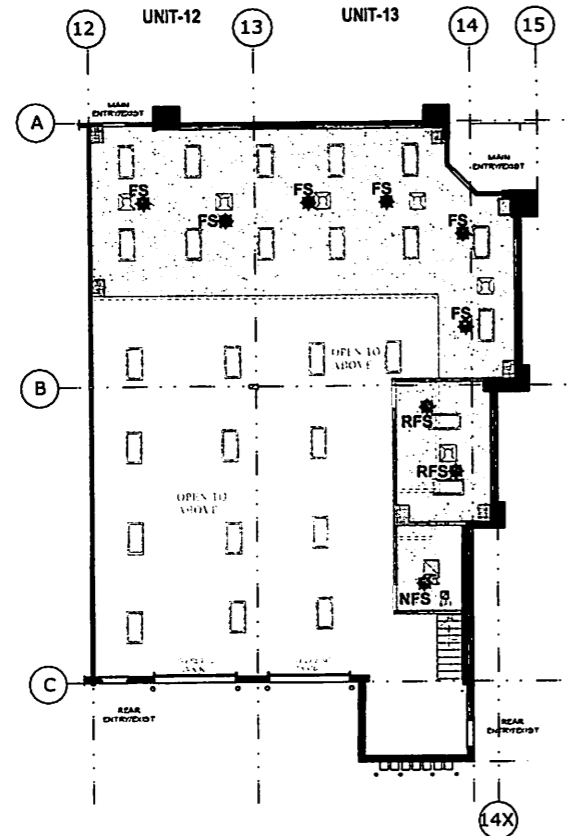
DATE : AUGUST 25, 2020

PLOT SCALE : 1:100

PROJECT NO. :
19-1241

DRAWING NO. :
M-4

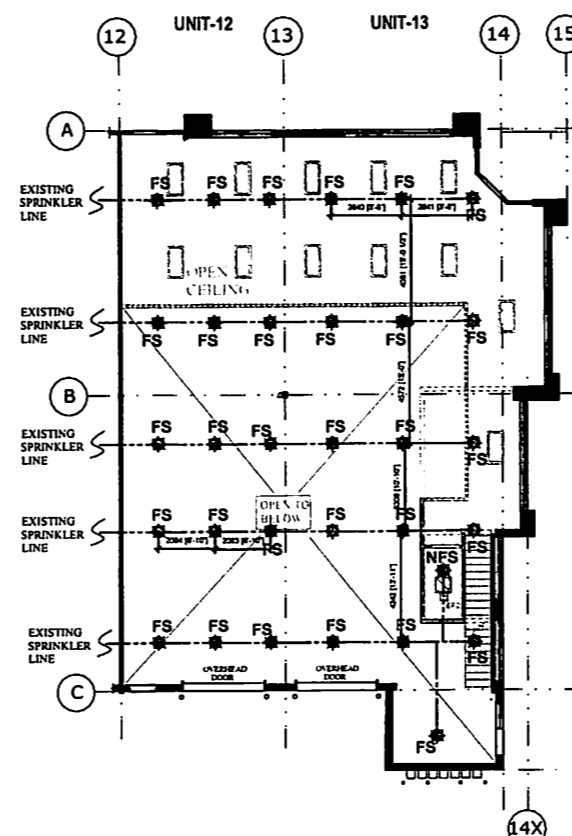
GDB CONSULTANCY INC.



SPRINKLER PLAN OF PROPOSED RETAIL AREA/ WAREHOUSE

SCALE: 1 : 100

- NFS * FIRE SPRINKLER HEAD (PROPOSED-LOWERED TO MATCH DROP CEILING HEIGHT)
- RFS * FIRE SPRINKLER HEAD (RELOCATED)
- FS * FIRE SPRINKLER HEAD (EXISTING) TO BE ADJUST AS PER CEILING HEIGHT



SPRINKLER PLAN OF PROPOSED MEZZANINE OF RETAIL AREA/WAREHOUSE

SCALE: 1 : 100

CONTRACTOR TO SUBMIT SPRINKLER SHOP DRAWINGS TO CONSULTANTS FOR APPROVAL IN ACCORDANCE WITH NFPA 13 AND OBC. ALL MATERIAL TESTING AND WORKMANSHIP CERTIFICATE TO SUBMIT TO AUTHORITY

NO FLEX PIPE ARE ALLOWED, ONLY RIGID PIPES TO BE USED. CONNECTION TO NEW SPRINKLERS TO EXISTING SPRINKLERS TO COMPLY WITH NFPA 13

THERMAL SENSITIVITY AND PRESSURE TO MATCH WITH EXISTING SPRINKLER SYSTEM, SPRINKLER HEADS TO MATCH WITH NEW CEILING HEIGHT AND IN ACCORDANCE WITH NFPA 13.

LOWER THE SPRINKLER TO CEILING AS DROP CEILING

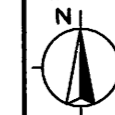
ALL FIRE SAFETY SYSTEM TO BE LIVE DURING AND AFTER CONSTRUCTION. CONTRACTOR TO COORDINATE WITH PROPERTY MANAGER

FIRE EXTINGUISHER TO BE AS PER OBC, 3nos-10 A

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PROJECT NORTH
CHECKED & APPROVED BY:
B BHAVSAR



ARCHITECTS:

CONSULTANTS:
GDB CONSULTANCY INC
28 MCDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT:
**PROPOSED
RETAIL/WAREHOUSE**

ADDRESS:
UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE:
SPRINKLER PLAN

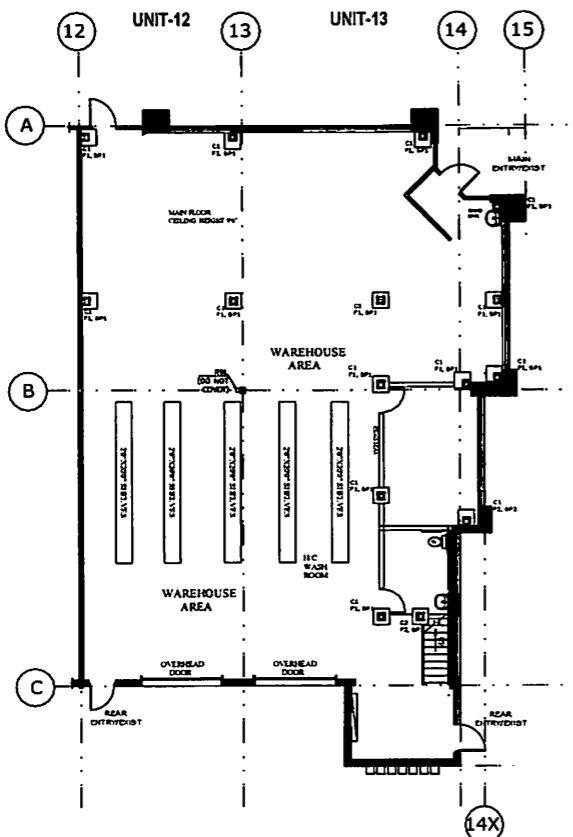
DRAWN BY : B.B.

DATE : AUGUST 25, 2020

PLOT SCALE : 1:100

PROJECT NO. : 19-1241
DRAWING NO. : M-5

GDB CONSULTANCY INC.



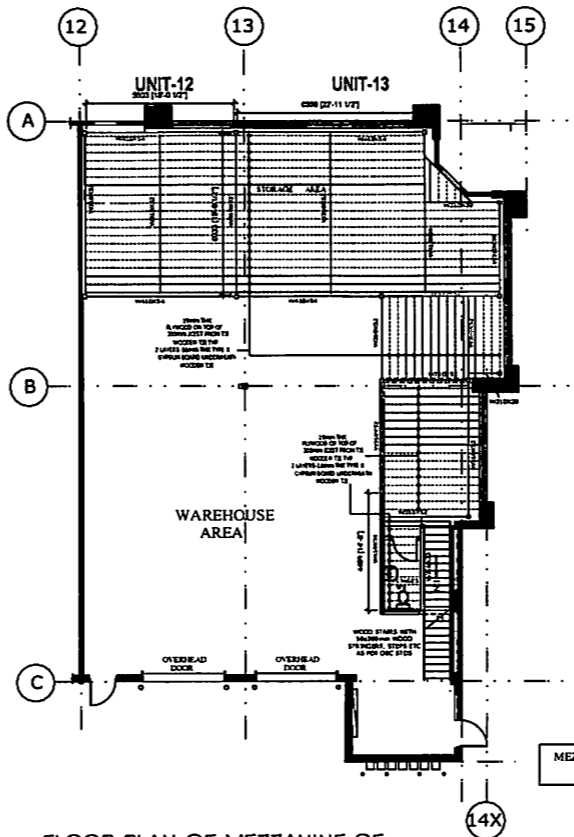
FLOOR PLAN OF PROPOSED RETAIL AREA WAREHOUSE
SCALE: 1:100

COLUMN SCHEDULE:

NO.	SECTION	BASE PLATE
C1	WELDED	12x12x1/2 (AISC)
C2	WELDED	12x12x1/2 (AISC)

FOOTING & PIER SCHEDULE:

NO.	TYPE	SIZE	DEPTH	NO. OF	CONC. STRENGTH	REINFC. DETAIL
F1	CONCRETE	12x12	48"	1	4000 PSI	SEE DETAIL
F2	CONCRETE	12x12	48"	1	4000 PSI	SEE DETAIL



FLOOR PLAN OF MEZZANINE OF PROPOSED RETAIL AREA WAREHOUSE
SCALE: 1:100

MEZZANINE FLOOR AREA: 123.20 SQ. MT. (1326.11 SQ. FT.)

ALL STEEL COLUMN TO BE FRAMED WITH 2X6-16MM TYPE X FIRE RATED DRYWALL AND FIRE TAPPED NO NON COMBUSTIBLE CABLES OR ELECTRICAL BETWEEN TOP OF MEZZANINE FLOOR

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PROJECT NORTH

CHECKED & APPROVED BY:
B BHAVSAR

ARCHITECTS:

CONSULTANTS:
GDB CONSULTANCY INC
28 McDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT:
PROPOSED RETAIL/WAREHOUSE

ADDRESS:
UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE:
STRUCTURAL PLAN

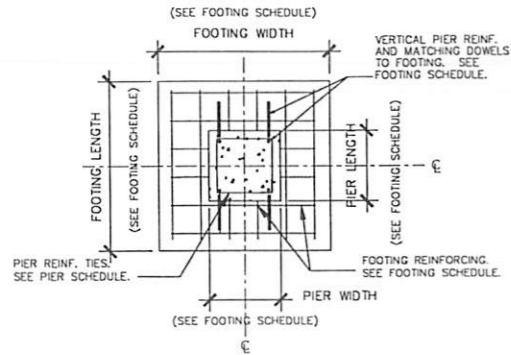
DRAWN BY : B.B.

DATE : AUGUST 25, 2020

PLOT SCALE : 1:100

PROJECT NO. : 19-1241
DRAWING NO. : S-1

GDB CONSULTANCY INC.

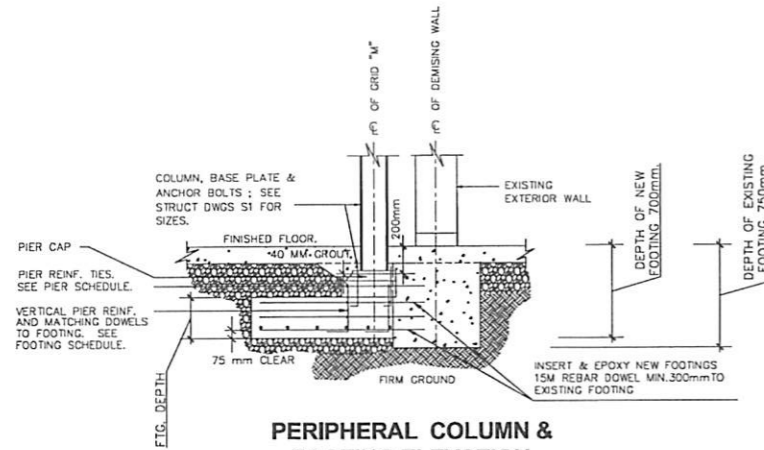
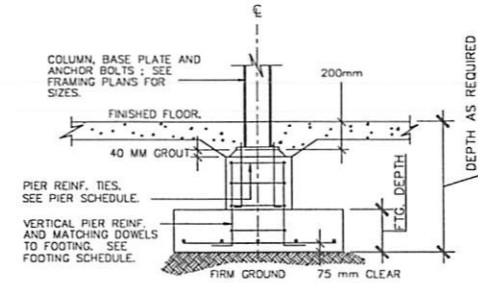


INTERIOR COLUMN & FOOTING PLAN

SCALE : NTS

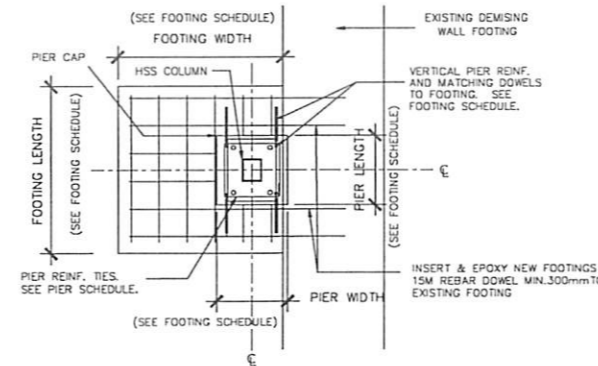
INTERIOR COLUMN & FOOTING ELEVATION

SCALE : NTS



PERIPHERAL COLUMN & FOOTING ELEVATION

SCALE : NTS



PERIPHERAL COLUMN & FOOTING PLAN

SCALE : NTS

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No	Date	Revisions
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DRAWING REVISIONS

TRUE NORTH

CHECKED & APPROVED BY :
B BHAVSAR

PROJECT MANAGER:

CONSULTANTS :
GDB CONSULTANCY INC
28 McDONOUGH GARDENS
HAMILTON, ON L8B 1W8
Cell: (416) 388 9743

PROJECT :
**PROPOSED
RETAIL/WAREHOUSE**

ADDRESS :
UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE :
STRUCTURAL SECTIONS

DRAWN BY : S.A.

DATE : SEPT 03, 2020

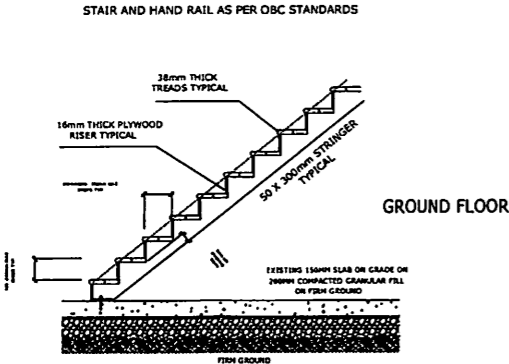
PLOT SCALE : 1:100

PROJECT NO. :
DRAWING NO. :
S-2

GDB CONSULTANCY INC.

STRUCTURAL STEEL

- 1.1. All structural steel shall be to CSA Specification G40.21-M350W.
- 1.2. All structural steel shall be fabricated and erected to the requirements of CSA STANDARD.
- 2.0 Provide minimum bearing of 200 mm for all steel beams bearing on masonry, and 150 mm for all joists bearing on masonry, unless otherwise detailed or approved.
- 3.0 Provide minimum bearing of 100 mm for all steel beams bearing on structural steel.
- 4.0 No structural steel shall be cut or altered in the field without the written approval of the Structural Engineer. Any work undertaken without this approval may be rejected or required extra reinforcing at the sole discretion of the Engineer.
- 5.0 Provide 8 mm thick stiffeners to each side of beam webs where two beam connects and provide 12mm thick - 300mm long plate on top and bottom flange to match flange width.
- 6.0 All connections shall be made with 20 mm Ø A325 bolts. Shop connections may be welded
- 7.0 All structural steel shall receive one shop coat and field touch-up of approved primer paint.
- 8.0 Provide 2 prints plus one set of all shop drawings for review by the Architect and Engineer prior to commencing fabrication of structural steel. Any work carried out prior to receipt of the reviewed drawings by the contractor prior to receipt of the reviewed drawings by the contractor shall be done solely at shall be done solely at the contractors own risk.
- 9.0 Provide dimensions in SI units on all erection drawings and detail drawings unless otherwise agreed upon by the Architect and Engineer.
- 10.0 All structural steel welding shall be inspected by CWB approved Level II inspector and fabrication shall be performed in CSA and OBC standard fabrication shop
- 11.0 Refer Architectural drawings for stair, railing and landing



TYPICAL SECTION OF WOODEN STAIRS

SCALE 1: 50

STAIR:

PICKETS SPACING SHALL NOT BE MORE THAN 100MM
RISER- 190MM, MIN. TREAD- 240 MM, NOSING-25MM
RAIL AT STAIR- 800MM MAX., RAIL AT LANDING- 915MM MAX
LANDING MIN. -950MM

STEEL REINFORCEMENT

1. All reinforcing to be deformed bars conforming to C.S.A. S16.1-94 Grade 400 unless otherwise noted on the plans. Stirrups and ties to be deformed bars to C.S.A. S16.1-94 grade 300.
2. All reinforcing shall be accurately placed and supported by continuous metal or otherwise approved chairs. If required, additional bars or stirrups shall be provided by the contractor, at no cost, to secure main bars against displacement.
3. Reinforcing in footings, slabs on grade and other concrete members exposed to weather shall be supported in the designated position by solid pre-cast concrete chairs.
4. Minimum concrete cover for reinforcing:
- | | |
|---------------------------------------------------------------|-------|
| a. Footings and other elements poured against earth | 75 mm |
| b. Concrete poured in forms, but exposed to weather or earth: | |
| Bars Larger than 15M | 40 mm |
| Bars 15M and smaller | 50 mm |
| c. Concrete not exposed to earth or weather: | |
| Slabs and walls | 25 mm |
| Beams & Girders | 40 mm |
| Columns main steel | 50 mm |
5. Splices at points of maximum tensile stress shall be avoided wherever possible. Such splices where used, shall be approved by the Engineer. Minimum lap shall be 36 bar Ø.
6. Continuous and temperature reinforcing bars shall be lapped 24 bar Ø's or 450 mm minimum at splice or at corners. Terminate continuous bars at non-continuous ends with standard hook.
7. Minimum clear distance between parallel bars shall be greater than the largest of the following:
- a. 1.5 times bar diameter;
- b. 1.33 times maximum size of aggregate;
- c. 25 mm minimum.

LUMBER:

- 1) ALL LUMBER SHALL BE SPRUCE NO.2 GRADE, UNLESS NOTED OTHERWISE.
- 2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
- 3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
- 4) ALL LAMINATED VENEER LUMBER (L.V.L.) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.
- 5) LVL BEAMS SHALL BE 2.0E WS MICRO-LAM LVL (Fb=2800psi,MIN.) OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 89mm (3 1/2") LONG COMMON WIRE NAILS @ 300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184,240 & 300mm (7 1/4", 9 1/2", 11 7/8") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD 13mm (1/2") DIA. GALV. BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0") O.C.
- 6) PROVIDE BEAM HANGERS / JOIST HANGERS OF "SIMPSON STRONG" HANGERS OR EQUAL FOR ALL LVL BEAM TO BEAM CONNECTIONS UNLESS NOTED OTHERWISE
- 7) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mL POLYETHYLENE FILM, No.50 (45lb.) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE GROUND.
- 8) TERMITE & DECAY PROTECTION
IN LOCATIONS WHERE TERMITES ARE KNOWN TO OCCUR, CLEARANCE BETWEEN STRUCTURAL WOOD ELEMENTS AND THE FINISHED GROUND LEVEL DIRECTLY BELOW THEM SHALL BE NOT LESS THAN 450mm (17 3/4") AND ALL SIDES OF SUPPORTING ELEMENTS SHALL BE VISIBLE TO INSPECTION.
STRUCTURAL WOOD ELEMENTS, SUPPORTED BY WOOD ELEMENTS IN CONTACT WITH THE GROUND OR OVER EXPOSED BARE SOIL SHALL BE PRESSURE TREATED WITH CHEMICAL THAT IS TOXIC TO TERMITES
- SB- SOLID WOOD BEARING
SB2 - 2 MEMBER BUILT-UP STUD
SB3 - 3 MEMBER BUILT-UP STUD
SB4 - 4 MEMBER BUILT-UP STUD
SB4A- SOLID BEARING FROM ABOVE
CARRY POST AND BLOCKING
THROUGH FLOOR ASSEMBLY

SOLID BEARING POSTS TO BE MADE UP OF THE SAME SIZE OF STUD IN WALL IT IS LOCATED. (OR MIN 2"x4" FOR ROOF POSTS. EACH PLY TO BE TIED TOGETHER AS PER 9.17.4.2.(2) AND 9.23.10.7. DIV. B. O.B.C.

ALL STEEL COLUMN TO BE FRAMED WITH 2ND.-16MM TYPE X FIRE RATED DRYWALL AND FIRE TAPPED
NO NON COMBUSTIBLE CABLES OR ELECTRICAL BETWEEN TOP OF MEZZANINE FLOOR AND UNDERSIDE OF FIRE RATED DRYWALL CEILING

EXPOSED STRUCTURAL STEEL SHOULD BE 1 HR. FIRE RATED SPRAY ON IT
BEAM BEARING AT LEAST 150MM TO BE REQUIRED
DEAD LOAD - 1.5 kPa & LIVE LOAD - 4.8 kPa.

STAIR CASE AND CONNECTION DETAIL SHOP DRAWINGS STAMPED AND SEALED BY A LICENSE ENGINEER NEEDS TO SUBMIT FOR APPROVAL PRIOR TO ERECTION

1. CONTRACTOR MUST CHECK & VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
2. ALL WORK SHALL BE CARRIED OUT AS PER SPECIFICATIONS AND THE LATEST EDITION OF ONTARIO BUILDING CODE.
3. APPROVED LATEST DRAWINGS ONLY TO BE USED FOR CONSTRUCTION. PRINTS ARE NOT TO BE ALLOWED FOR SCALE.
4. THIS DRAWING WAS DEVELOPED FOR A SPECIFIC PURPOSE USE FOR ANY OTHER PURPOSE ARE NOT PERMITTED.
5. THIS DRAWING MUST BE READ IN THE CONTEXT OF ALL THE OTHER DRAWINGS WHICH CONSTITUTE THE DOCUMENTS
6. ALL DRAWINGS, SPECIFICATIONS ARE THE PROPERTY OF THE GDB CONSULTANCY INC AND MUST BE RETURNED TO HIM ON COMPLETION OF WORK.

0	08.25.2020	ISSUED FOR PERMIT
No	Date	Revisions

PROJECT NORTH
CHECKED & APPROVED BY :
B BHAVSAR

ARCHITECTS :

CONSULTANTS :

GDB CONSULTANCY INC
28 MCDONOUGH GARDENS
HAMILTON, ON. L8B 1W8.
Cell: (416) 388 9743

PROJECT :

PROPOSED
RETAIL/WAREHOUSE

ADDRESS :

UNIT # 12 & 13
BUILDING 'B'
15 SUN PAC BLVD.
BRAMPTON, ON.

DRAWING TITLE :

STRUCTURAL NOTES

DRAWN BY : B.B.

DATE : AUGUST 25, 2020

PLOT SCALE : 1:100

PROJECT NO. : 19-1241
DRAWING NO. : S-3

GDB CONSULTANCY INC.



Notice of Decision

Committee of Adjustment

FILE NUMBER A08-094

HEARING DATE JUNE 10, 2008

APPLICATION MADE BY 494518 ONTARIO LTD.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION TO ALLOW THE FOLLOWING VARIANCES FOR A NEW INDUSTRIAL BUILDING DEVELOPMENT:

1. To allow a front yard setback of 5.37m;
2. To allow a rear yard setback of 12.0m;
3. To allow an interior side yard setback of 7.0m;
4. To allow an exterior side yard setback of 5.69m;
5. To allow a hydro transformer having a front yard setback of 5.37m;
6. To allow a minimum 5.96m wide landscape strip in the exterior side yard (abutting Williams Parkway);
7. To allow a minimum 4.5m wide landscape strip in the front yard;
8. To allow a minimum 0.15m wide landscape strip in the interior side yard;

(7, 11 AND 15 SUN PAC BOULEVARD – PART BLOCK 2, PLAN 43M-561, PART 1, PLAN 43R-13563)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

MOVED BY: K. BOKOR

SECONDED BY: J. MASSEY-SINGH

SIGNATURE OF CHAIR OF MEETING: _____

WE THE UNDERSIGNED HEREBY CONCUR IN THE DECISION

MEMBER

MEMBER

MEMBER

MEMBER

MEMBER

Flower City



brampton.ca

THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO. A08-094

DATED JUNE 10, 2008

Conditions:

1. That the lands are designed to the satisfaction of the Commissioner of Planning, Design and Development, which shall include appropriate façade treatments and landscaping and in particular a minimum 50 percent of the building façades facing Williams Parkway to consist of glazing.

A handwritten signature in black ink, which appears to read 'Eileen Collie'. The signature is written in a cursive, flowing style with a large, prominent loop at the top.

**Eileen Collie
Secretary-Treasurer
Committee of Adjustment**



BRAMPTON Flower City

Notice of Decision

Committee of Adjustment

FILE NUMBER A14-038

HEARING DATE MARCH 4, 2014

APPLICATION MADE BY 494518 ONTARIO LTD.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCES:

1. To expand the permitted uses to include the following uses:
 - a. An Office;
 - b. A Commercial, Technical or Recreational School;
 - c. A Personal Service Shop;
 - d. A Take-Out Restaurant;
 - e. The manufacturing, cleaning, packaging, processing, repairing, or assembly of goods, foods, or materials within an enclosed building, but excluding a motor vehicle repair shop and a motor vehicle body shop and a motor vehicle body shop as a principal or accessory use; and
 - f. A Printing Establishment;
2. To provide 79 parking spaces.

(7, 11 & 15 SUN PAC BOULEVARD – PART BLOCK 2, PLAN 43M-561)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

MOVED BY: P.S. CHAHAL

SECONDED BY: F. TURNER

SIGNATURE OF CHAIR OF MEETING: _____

WE THE UNDERSIGNED HEREBY CONCUR IN THE DECISION


MEMBER


MEMBER


MEMBER


MEMBER

MEMBER

DATED THIS 4TH DAY OF MARCH, 2014

Flower City



brampton.ca


THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A14-038**

DATED: **MARCH 4, 2014**

Conditions:

1. That the office use shall be permitted with the exception of medical, dental and drugless practitioner offices, which shall not be permitted;
2. That the requested uses shall be allowed only to the degree that all of the collective uses on the site yield a parking requirement of no more than 79 parking spaces at any given time;
3. That the property shall be maintained as an industrial mall, having at least five (5) separate industrial users at any given time;
4. That a body rub parlour or a massage parlour shall not be permitted.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



FILE NUMBER A-2020-0080

HEARING DATE OCTOBER 20, 2020

APPLICATION MADE BY BHARJ INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit the construction of a 112 square metre mezzanine in Units 6 and 7 while providing 81 parking spaces.

(7 SUN PAC BOULEVARD (UNITS 6 & 7) – PEEL CONDOMINIUM PLAN 1046, LEVEL 1, UNITS 6 & 7)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON OCTOBER 20, 2020

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 20TH DAY OF OCTOBER, 2020

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE NOVEMBER 9, 2020

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.


SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

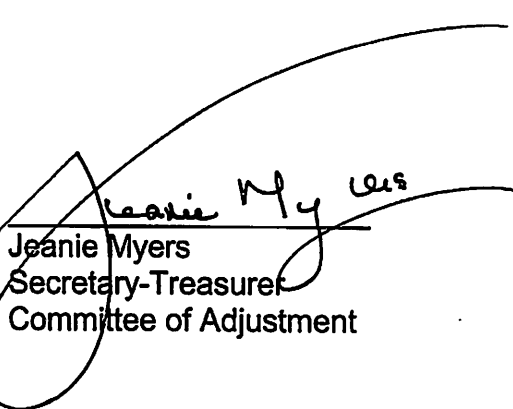
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

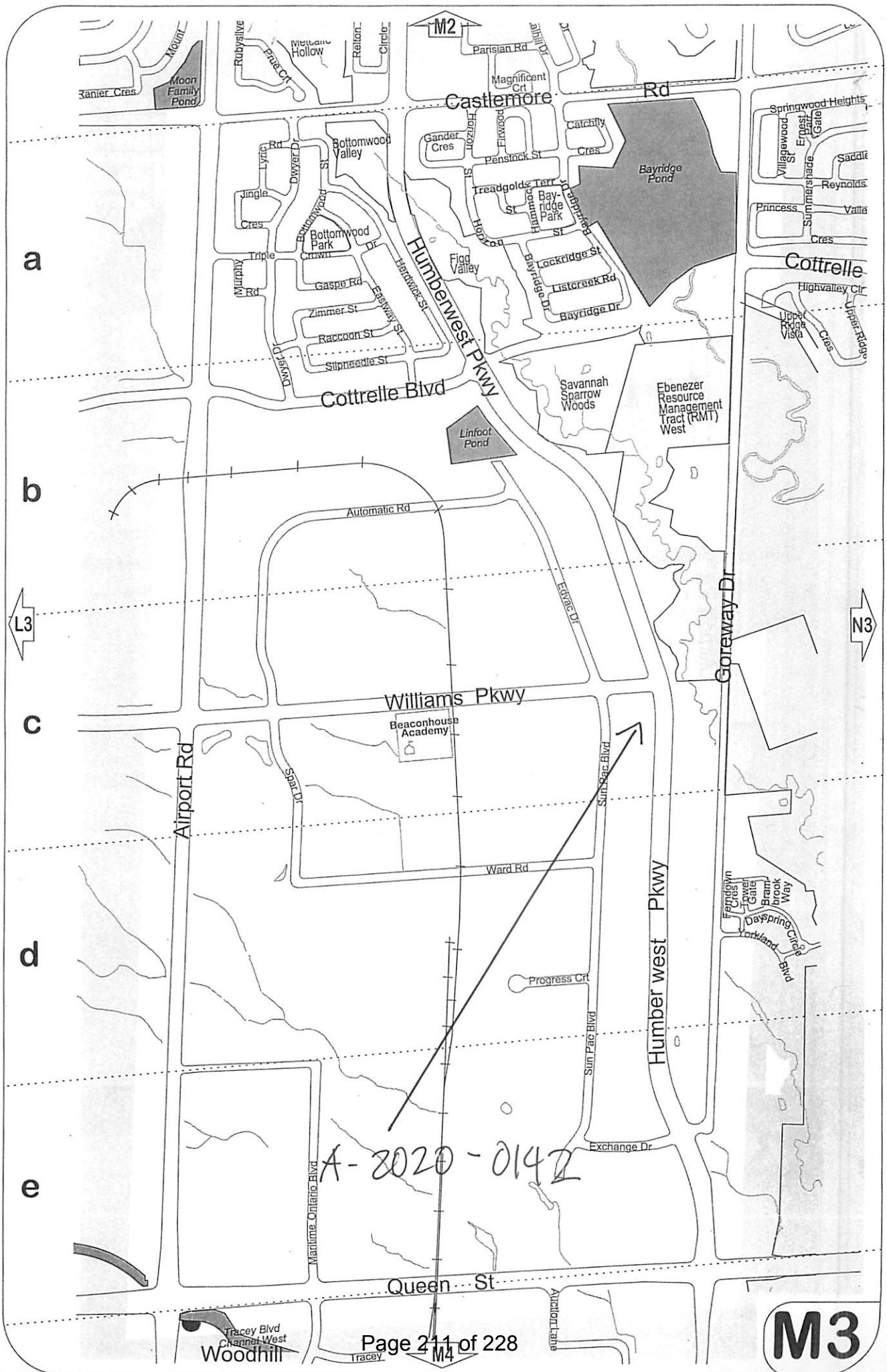
APPLICATION NO: A-2020-0080

DATED: OCTOBER 20, 2020

Conditions:

1. That the extent of the variance be limited to that shown on the sketch attached to the Public Notice;
2. That the requirement for parking for any combination of uses permitted in the "M4-1548" zone, or permitted by way of Minor Variance be calculated at the applicable parking rate in accordance with the Zoning By-law and shall not exceed 98 parking spaces;
3. The additional floor area on the mezzanine shall be used strictly for the purpose of storage of materials; and
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



A-2020-0142

Filing Date: November 25, 2020

Hearing Date: January 5, 2021

File: A-2020-0142

**Owner/
Applicant:** 2389112 ONTARIO INC.

Address: 15 Sun Pac Boulevard, Units 12 & 13

Ward: 8

Contact: Shelby Swinfield, Planner I, Development

Recommendations:

That application A-2020-0142 is supportable, subject to the following conditions being imposed:

1. That the extent of the variance be limited to that shown on the sketch attached to the Public Notice;
2. That the mezzanine shall be used for storage purposes only;
3. That the requirement for parking for any combination of uses permitted in the "M4-1548" zone, or permitted by way of Minor Variance be calculated at the applicable parking rate in accordance with the Zoning By-law and shall not exceed 98 parking spaces; and
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Background:

The subject property has had approved by Committee two previous variances related to separate units installing mezzanines and requiring reduced parking standards.

A-2019-0025 was approved to permit 81 parking spaces where 82 were required, and A-2020-0042 was approved to permit 81 parking spaces where 92 were required.

While staff are recommending conditional approval of the current variance request, staff

would note for the benefit of the Committee and property owners that moving forward the Planning Department would like to see a more overall, comprehensive approach to any further parking reduction on this site. Staff would recommend that if any further parking reductions are sought, that they not be on a unit by unit basis but rather based on an application including the entire property and addressing the parking requirement as a whole.

Existing Zoning:

The property is zoned "Industrial Four – Special Section 1548 (M4-1548)" according to By-law 270-2004, as amended.

Requested Variance:

The applicant is requesting the following variance:

1. To permit the construction of a 123.3 square metre mezzanine in Units 12 & 13 and to allow 30% of the unit to be used for accessory retail use while providing 81 parking spaces on site, whereas the by-law requires a minimum of 98 parking spaces.

Current Situation:

1. Conforms to the Intent of the Official Plan

The subject property is designated as "Industrial" in the Official Plan and "Industrial" in the Gore Industrial North Plan (Area 14). The requested variance does not have significant implications within the context of the Official Plan policies. Subject to the recommended conditions of approval, the requested variance is considered to maintain the intent of the Official Plan.

2. Conforms to the Intent of the Zoning By-law

The property is zoned "Industrial Four – Special Section 1548 (M4-1548)" according to By-law 270-2004, as amended. Variance 1 is requested to permit the construction of a 123.3 square metre (1,327 square feet) mezzanine in Units 12 & 13 and to allow 30% of the unit to be used for accessory retail use while providing 81 parking spaces on site, whereas the by-law requires a minimum of 98 parking spaces. The intent of the by-law in requiring a minimum number of parking spaces to be provided is to ensure that sufficient parking is provided for all of the industrial/commercial units on the site. The applicant has submitted a Parking Justification Study which has been reviewed by Transportation Planning staff. It is not anticipated that the additional floor area to be added to the existing unit will negatively impact the supply of parking on the site. Further, staff are recommending a condition that the mezzanine be used only for storage to ensure that the parking demand presented within the study is consistent with the operation of the unit. The variance also seeks to permit 30% of the unit to be used for retail use, in exceedance of the permitted floor area allowed to be used for retail. Staff understand that the nature of the retail operation is a wholesale distributor that does not function like a typical retail outlet but rather provides larger orders to suppliers with less foot traffic entering the unit on a daily basis. Subject to the recommended conditions of approval, the requested variance is considered to maintain the intent of the

Zoning By-law.

3. Desirable for the Appropriate Development of the Land

The requested variance is required to permit the installation of a 123.3 square metre (1,327 square feet) mezzanine within an existing unit in the industrial/commercial plaza. The applicant has provided a Parking Justification Report, the findings of which have been reviewed and accepted by Transportation Planning staff. It is not anticipated, based on the findings of the Parking Justification Report, that the addition of the mezzanine or the use of the unit, in part, for limited retail use within the existing unit will negatively impact the flow or supply of parking on the site. A condition of approval is recommended that the requirement for parking for any combination of uses permitted in the "M4-1548" zone, or permitted by way of Minor Variance be calculated at the applicable parking rate in accordance with the Zoning By-law and shall not exceed 98 parking spaces. This condition is intended to ensure that, should the parking requirement for the site increase for any reason (e.g. the addition of a new use, or additional floor area to existing units), the parking situation can be reevaluated by staff to determine its appropriateness. Subject to the recommended conditions of approval, the requested variance is considered to be desirable for the appropriate development of the land.

4. Minor in Nature

The requested variance is intended to facilitate the addition of a mezzanine within an existing unit in the commercial/industrial plaza. This addition of floor area within an existing unit is not anticipated to have an impact on the supply of parking. Subject to the recommended conditions of approval, the requested variance is considered to be minor in nature.

Respectfully Submitted,

Shelby Swinfield

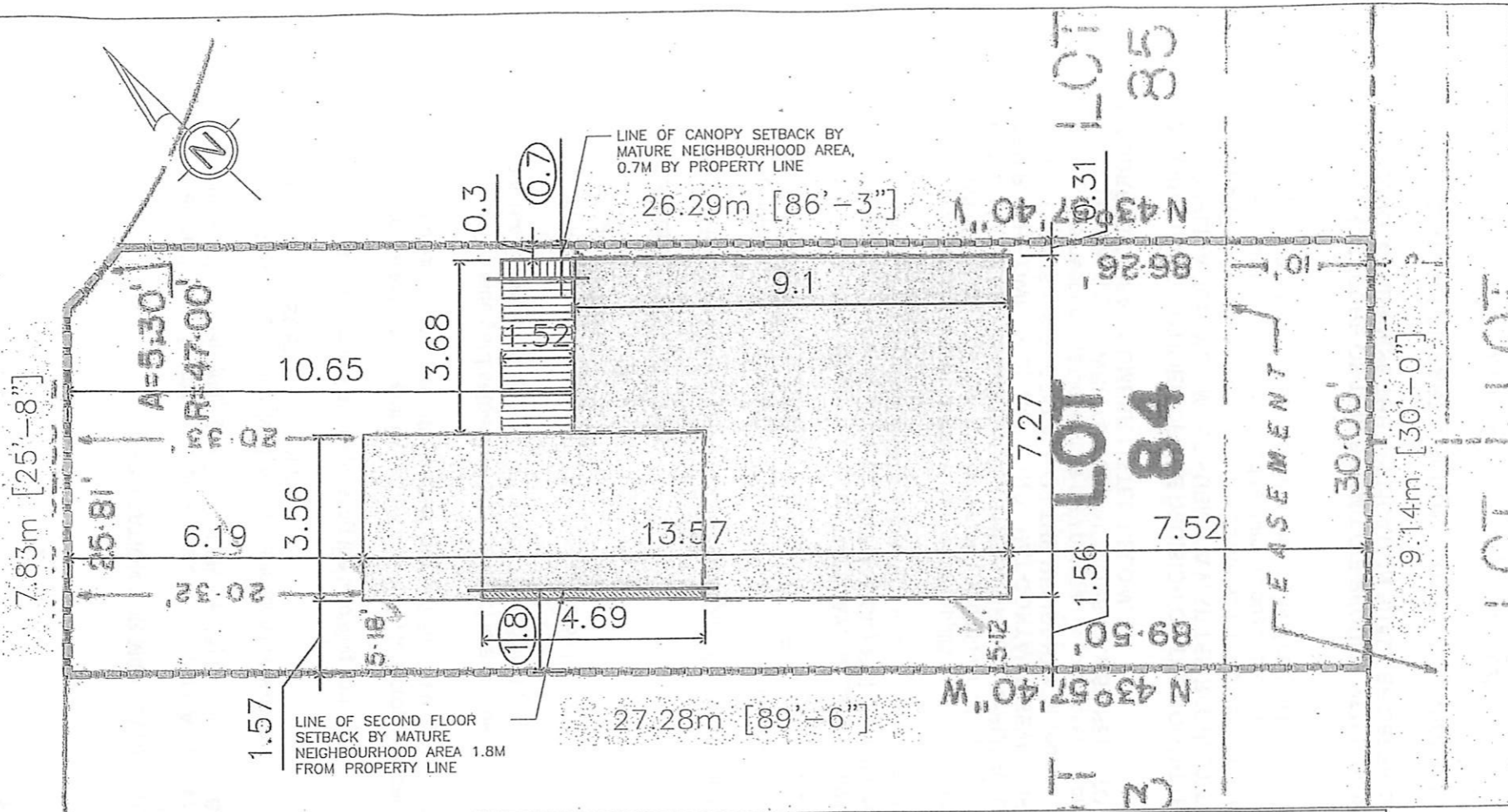
Shelby Swinfield, Planner I, Development



Committee of Adjustment

Page 215 of 228

MAJESTIC CRES.



1 SITE PLAN
A0.2 SCALE: 1:100

SITE STATISTICS:					BRAMPTON ZONING				
ZONING:	R3A2				LOT NUMBER:	84			
MATURE NEIGHBOURHOOD AREA:	BY LAW IN SECTION 10.27				BUILDING STRUCTURE:	DETACHED			
	EXISTING	BY LAW	PROPOSED	ADD					
LOT AREA:	249.32 SM [2,683.69 SF]								
GROUND FLOOR AREA:	81.32 SM [875.23 SF]		81.95 SM [882.10 SF]	0.63 SM [6.87 SF]					
SECOND FLOOR AREA:	57.83 SM [622.53 SF]		74.34 SM [800.28 SF]	16.51 SM [177.75 SF]					
GROSS FLOOR AREA:	139.15 SM [1,497.76 SF]		161.43 SM [1,737.62 SF]	22.28 SM [239.62 SF]					
PROPOSED COVERED PORCH AREA:			7.22 SM [77.75 SF]						
LOT COVERAGE:	32.8%	COVERAGE BY LAW: 45.0%							
(EXCLUDING PROPOSED COVERED PORCH)		MATURE NEIGHBOURHOOD AREA: 30.0%	35.7%	5.7%					
BUILDING HEIGHT:	EXISTING								
BUILDING SETBACK:									
FRONT: (פנימי)					EXISTING				
REAR: (אחורי)					EXISTING				
SIDE: (צד)					EXISTING				
SIDE: (צד)	1.56 M / 1.57 M	COVERAGE BY LAW: N/A	EXISTING: 1.57 M						
		MATURE NEIGHBOURHOOD AREA: 1.80 M							
PROPOSED COVERED PORCH SETBACK:									
SIDE: (צד)		MATURE NEIGHBOURHOOD AREA: 0.7 M	EXISTING WALL SETBACK: 0.3 M						

SITE PLAN LEGEND:	
	PROPERTY LINE
	GROUND FLOOR-EXISTING
	COVERED PORCH-PROPOSED
	COVERED PORCH-AREA OF VARIANCE
	LINE OF SECOND FLOOR-EXISTING
	LINE OF SECOND FLOOR-PROPOSED
	SECOND FLOOR-AREA OF VARIANCE

This drawing, as an instrument of service, is provided by and is the property of Tashdijan Design. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Tashdijan Design of any variances from the supplied information. This drawing is not to be scaled. The designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work. Construction must conform to all applicable codes and requirements of authorities having jurisdiction. The contractor waives from drawings not specifically marked for construction. Contractor must assume full responsibility and bear costs for any corrections or damages resulting from his work.

REV.	ISSUED FOR:	DATE:
1.	ISSUED FOR CLIENT REVIEW	2020-09-15
2.	ISSUED FOR COORDINATION	2020-10-02
3.	ISSUED FOR BUILDING PERMIT	2020-10-23
4.	ISSUED FOR MINOR VARIANCE REVIEW	2020-11-14



PO Box 532 Sheppard Pharm,
Scarborough ON M1T 3V5
c: 416.270.2129
e: raffi@tashdijandesign.com
w: www.tashdijandesign.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION	
RAFFI TASHDIJIAN	45811
Name	Signature
REGISTRATION INFORMATION	
TASHDIJIAN DESIGN	100425
Firm Name	BCIN

Project:	INTERIOR ALTERATION, RENOVATION AND ADDITION	
42 MAJESTIC CRES		BRAMPTON, ONTARIO
Drawing Name :		
WATTS RESIDENCE		
Project no.:	2205297	Date : AUGUST 2020
Drawn by:	TIM	Scale : AS NOTED
Checked by:	gy	
North Arrow:	Drawing No :	
	A0.2	

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

Electronic Hearing Procedures
How to get involved in the Virtual Hearing

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Friday, December 18, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, December 18, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, December 18, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) ANDREW WATTS - KAMILA GOLEC
 Address 42 MAJESTIC CRESCENT, BRAMPTON, ON L6S 3N2

 Phone # (647) 262-8824 Fax # _____
 Email goleck@gmail.com

2. Name of Agent RAFFI TASHDJIAN
 Address 603-2727 VICTORIA PARK AVE, SCARBOROUGH, ON M1T 1A6

 Phone # (416) 270-2129 Fax # _____
 Email raffi@tashdjianandesign.com

3. Nature and extent of relief applied for (variances requested):
1- Proposed side yard setback of second floor addition is 1.57m to match existing house exterior wall line.
2- Existing house coverage is 33% instead of 30.0% and 35.7% has been proposed.
3- A sideyard setback of proposed front canopy is .3m to match existing house exterior wall line.

4. Why is it not possible to comply with the provisions of the by-law?
1- A side yard setback of 1.8m is required for the proposed second floor addition.
2- Lot coverage 30.0% is required.
3- A sideyard setback of 0.7m is required for the proposed front canopy

5. Legal Description of the subject land: 84
 Lot Number _____
 Plan Number/Concession Number M-261
 Municipal Address 42 MAJESTIC CRESCENT, BRAMPTON, ON L6S 3N2

6. Dimension of subject land (in metric units)
 Frontage 7.83 + 1.615 (ARC)
 Depth 27.28
 Area _____

7. Access to the subject land is by:
 Provincial Highway ☐ Seasonal Road ☐
 Municipal Road Maintained All Year ☒ Other Public Road ☐
 Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

DETACHED DWELLING UNIT
GROUND FLOOR AREA 81.95 INCLUDING GARAGE
EXISTING GROSS FLOOR AREA 139.15 SQ M
2 STOREY WITH BASEMENT
WIDTH= 7.27, LENGTH= 13.57

PROPOSED BUILDINGS/STRUCTURES on the subject land:

ADDITION OF CANOPY (5.59 SQ M) AND 2ND FLOOR BEDROOM (16.69 SQ M)
WITH NEW GROSS FLOOR AREA OF 161.4 SQ M

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	GARAGE=6.19, HOUSE=10.65
Rear yard setback	7.52
Side yard setback	1.57 & 1.56
Side yard setback	0.30 & 0.31

PROPOSED

Front yard setback	GARAGE=6.19, HOUSE=10.65
Rear yard setback	7.52
Side yard setback	1.57 & 1.56
Side yard setback	0.30 & 0.31

10. Date of Acquisition of subject land: 1978
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1980

15. Length of time the existing uses of the subject property have been continued: Since constructed use of the structure was not changed

16. (a) What water supply is existing/proposed?
- | | | | |
|-----------|-------------------------------------|-----------------|--|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) | |
| Well | <input type="checkbox"/> | | |
- (b) What sewage disposal is/will be provided?
- | | | | |
|-----------|-------------------------------------|-----------------|--|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) | |
| Septic | <input type="checkbox"/> | | |
- (c) What storm drainage system is existing/proposed?
- | | | | |
|---------|-------------------------------------|-----------------|--|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) | |
| Ditches | <input type="checkbox"/> | | |
| Swales | <input type="checkbox"/> | | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____


Signature of Applicant(s) or Authorized Agent

DATED AT THE 16 OF NOVEMBER, 2020

THIS 16 DAY OF NOVEMBER, 2020

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.


I, RAFFI TASHDJIAN, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

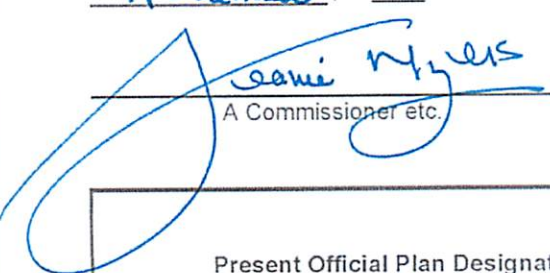
ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 24th DAY OF
November, 2020

Jeanie Cecilia Myers,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires April 8, 2021.


Signature of Applicant or Authorized Agent


A Commissioner etc.

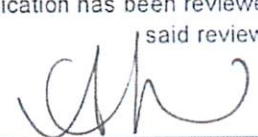
FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R3A(2)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.


Zoning Officer

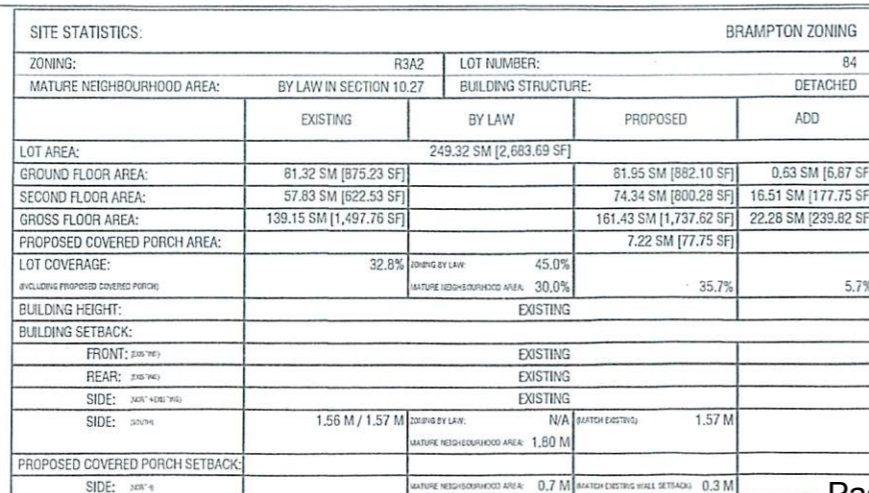
November 26, 2020








Date

DATE RECEIVED

November 24, 2020

1 SITE PLAN
A0.2 SCALE: 1:100



SITE PLAN LEGEND:	
	PROPERTY LINE
	GROUND FLOOR-EXISTING
	COVERED PORCH-PROPOSED
	COVERED PORCH-AREA OF VARIANCE
	LINE OF SECOND FLOOR-EXISTING
	LINE OF SECOND FLOOR-PROPOSED
	SECOND FLOOR-AREA OF VARIANCE

A0.2

PLAN OF SURVEY

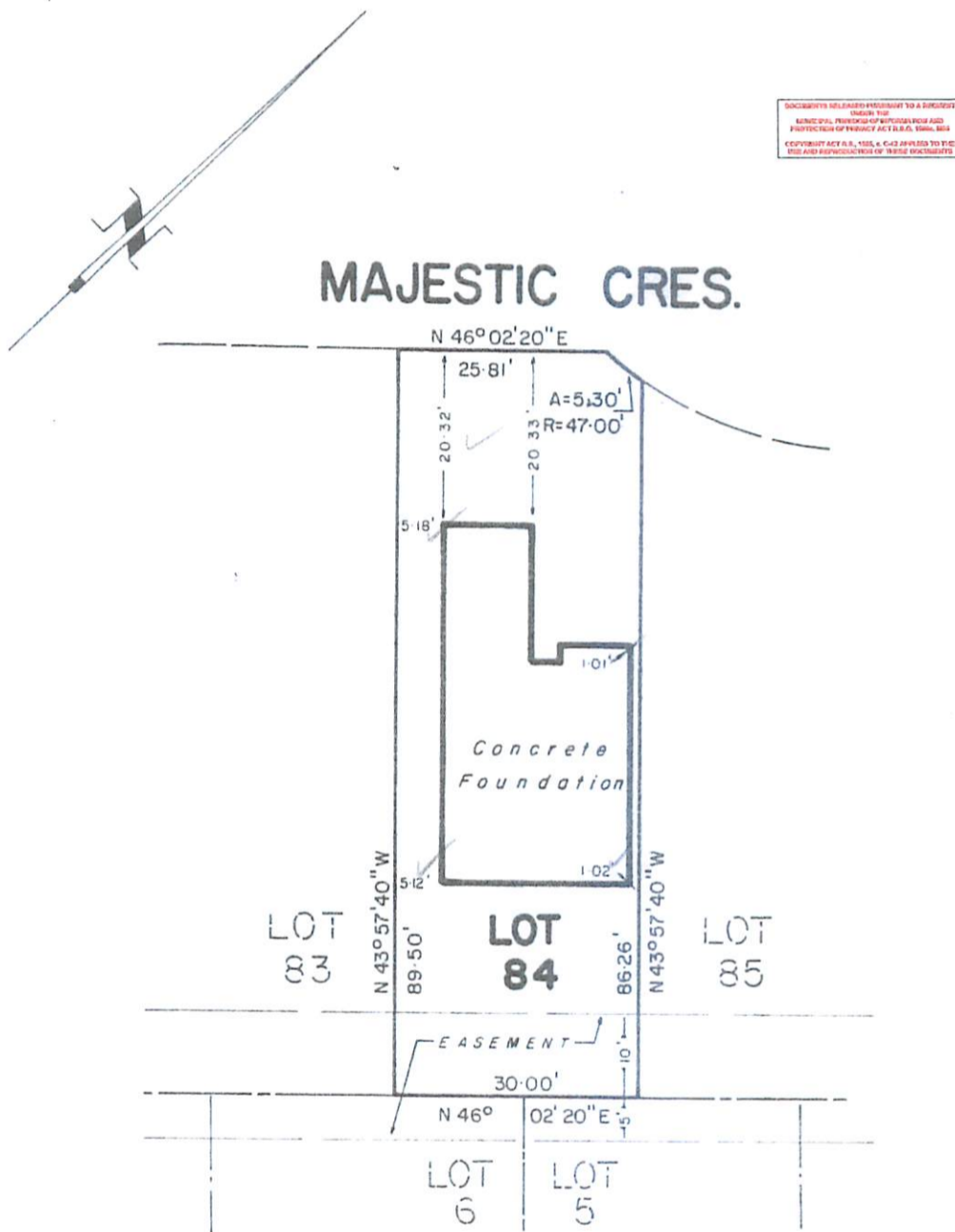
SHOWING LOCATION OF BUILDING ON

LOT 84, PLAN M-261

CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL

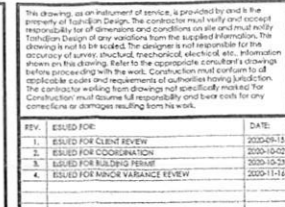
Scale: 1" = 20'





carter horwood limited
ontario land surveyors
box 171
markham, ontario
phone: 294-1328

Project No 78 288

David A. Horwood
Ontario Land Surveyor
Date December 15, 1978.



GENERAL NOTES:	
TYP.	TYPICAL
EXIST.	EXISTING
NIC	NOT IN CONTRACT
M.G.A.T.	MAKE GOOD ON ALL TRADES AT JUNCTIONS
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED



PO Box 532 Sheppard Pharm.
Scarborough ON M1T 3V5
c: 416.270.2129
e: raf@tashdjandesign.com
w: www.tashdjandesign.com

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE CHICAGO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

RAHITASHDIJIAN 45811
Name Signature BCIN

REGISTRATION INFORMATION

TASHDJIAN DESIGN	100425
Firm Name	BCIN

INTERIOR ALTERATION, RENOVATION AND ADDITION

42 MAJESTIC CRES BRAMPTON, ONTARIO

PROPOSED FLOOR PLANS

WATTS RESIDENCE

Project no. : 2200097	Date : AUGUST 2020
-----------------------	--------------------

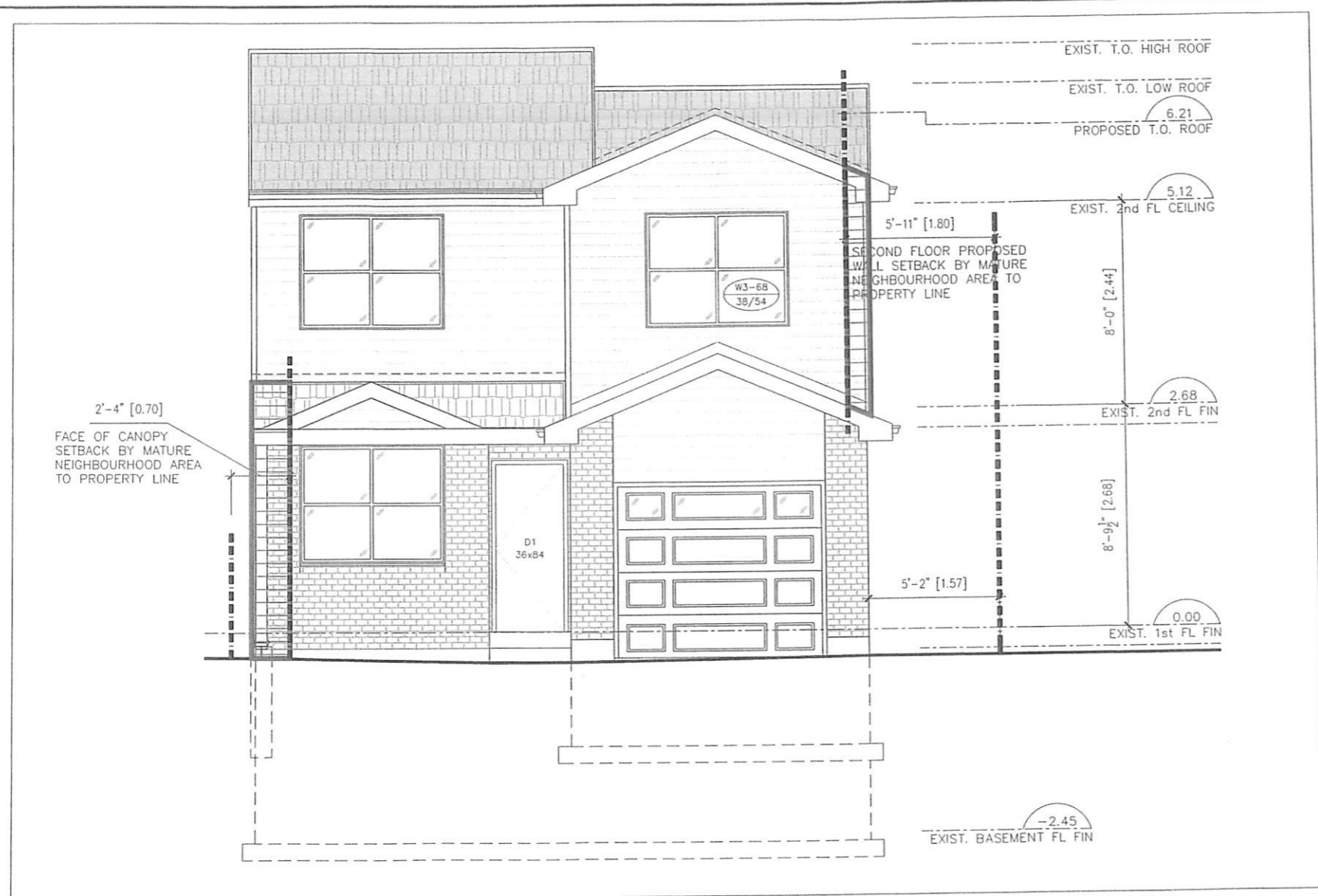
Drawn by : TM	Scale : AS NOTED
---------------	------------------

Checked by: <input type="checkbox"/>	
--------------------------------------	--

North Arrow:	CONSTRUCTION NORTH	Drawing No.:
--------------	-----------------------	--------------



A2.1



1 PROPOSED FRONT ELEVATION
A2.3 SCALE: 3/8"=1'-0"

This drawing is an instrument of service, it is provided by and is the property of Tashjian Design. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Tashjian Design of any variations from the supplied information. This drawing is not to be used for any other purpose without the written consent of Tashjian Design. The contractor must assume full responsibility and bear costs for any corrections or damages resulting from his work.

REV.	ISSUED FOR:	DATE
1.	ISSUED FOR CLIENT REVIEW	2020-08-18
2.	ISSUED FOR COORDINATION	2020-10-02
3.	ISSUED FOR BUILDING PERMIT	2020-10-29
4.	ISSUED FOR MINOR VARIANCE REVIEW	2020-11-16

GENERAL NOTES:

TYP.	TYPICAL
EXIST.	EXISTING
NIC	NOT IN CONTRACT
M.G.A.T.	MAKE GOOD ON ALL TRADES AT JUNCTIONS
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED

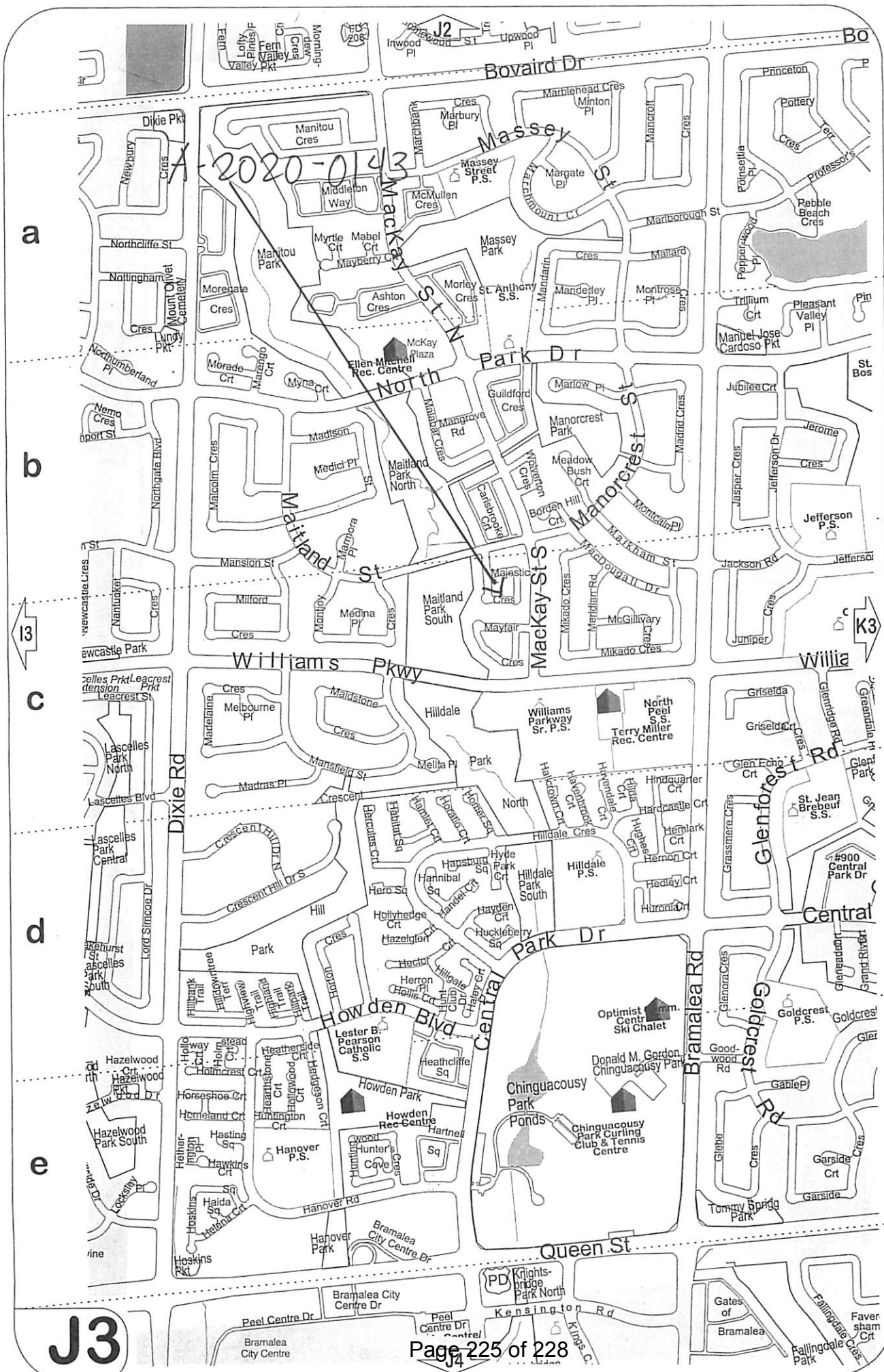


architectural design
PO Box 532 Sheppard Farm,
Scarborough ON M1T 3V5
c: 416.270.2129
e: raffi@tashjandesign.com
w: www.tashjandesign.com

THE DESIGNER HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN. ALL HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT BY THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION	
RAFFI TASHJIAN	45811
Name	Signature
REGISTRATION INFORMATION	
TASHJIAN DESIGN	100425
Firm Name	BCIN

Project:	
INTERIOR ALTERATION, RENOVATION AND ADDITION	
42 MAJESTIC CRES	BRAMPTON, ONTARIO
Drawing Name:	
PROPOSED ELEVATIONS	
WATTS RESIDENCE	
Project No.: 235087	Date: AUGUST 2020
Drawn by: TM	Scale: AS NOTED
Checked by: RT	
Visit Answer:	Drawing No.
A2.3	



Filing Date: November 25, 2020

Hearing Date: January 5, 2021

File: A-2020-0143

**Owner/
Applicant:** **ANDREW WATTS AND KAMILA GOLEC**

Address: **42 Majestic Crescent**

Ward: 7

Contact: Shelby Swinfield, Planner I, Development

Recommendations:

That application A-2020-0143 is supportable, subject to the following conditions being imposed:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Background:

Existing Zoning:

The property is zoned "Residential Townhouse A(2)" according to By-law 270-2004, as amended.

Requested Variances:

The applicant is requesting the following variances:

1. To permit a side yard setback of 1.57m (5.15 ft.) to a proposed second storey addition whereas the by-law requires a minimum side yard setback of 1.8m (5.90 ft.) to the second storey;
2. To permit a side yard setback of 0.6m (1.97 ft.) to a proposed porch on the first floor whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft.);
3. To permit a lot coverage of 35.7% whereas the by-law permits an existing legal non-complying lot coverage of 33%.

Current Situation:

1. Conforms to the Intent of the Official Plan

The subject property is designated "Residential" in the Official Plan and "Medium Density Residential" in the Bramalea Secondary Plan (Area 3). The requested variances are not considered to have significant impacts within the context of the Official Plan policies. Subject to the recommended conditions of approval, the requested variances are considered to maintain the general intent of the Official Plan.

2. Conforms to the Intent of the Zoning By-law

The property is zoned "Residential Townhouse A(2)" according to By-law 270-2004, as amended.

Variance 1 is to permit a side yard setback of 1.57m (5.15 ft.) to a proposed second storey addition whereas the by-law requires a minimum side yard setback of 1.8m (5.90 ft.) to the second storey. The intent of the by-law in requiring a minimum setback to the second storey is to ensure that the second storey massing does not have negative impacts on adjacent properties. The proposed reduction in setback is consistent with the setback of the first floor and is not anticipated to cause negative massing impacts. Subject to the recommended conditions of approval, Variance 1 is considered to maintain the general intent of the Zoning By-law.

Variances 2 and 3 are requested in regard to a proposed increase to the existing porch on the dwelling.

Variance 2 is requested to permit a side yard setback of 0.6m (1.97 ft.) to a proposed porch on the first floor whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft.). The intent of the by-law in requiring a minimum setback to a porch is to ensure that sufficient room is provided for drainage on the property. The proposed setback of 0.6m (1.97 ft) is anticipated to provide sufficient area for drainage. Subject to the recommended conditions of approval, Variance 2 is considered to maintain the general intent of the Zoning By-law.

Variance 3 relates to a requested increase in lot coverage of 2.7% from the permitted legal non-complying lot coverage of 33%. This slight increase in coverage results from the expansion to the porch. The intent of the by-law in regulating maximum lot coverage is to ensure that the size of the dwelling is appropriate for the size of the lot and neighbourhood. The increase in coverage is not anticipated to have a noticeable visual impact on the dwelling and will facilitate the expansion of the existing porch, contributing positively overall to the streetscape. Subject to the recommended conditions of approval, Variance 3 is considered to maintain the general intent of the Zoning By-law.

3. Desirable for the Appropriate Development of the Land

Variance 1 is requested to facilitate an addition on the second storey of the dwelling, over the existing garage. The requested setback is not anticipated to create negative

massing impacts and is consistent with the first storey of the dwelling. Subject to the recommended conditions of approval, Variance 1 is considered to be desirable for the appropriate development of the land.

Variances 2 and 3 are related to a proposed expansion to the existing porch on the front of the dwelling that also increases the overall lot coverage on the property. The expansion of the porch is not anticipated to impact drainage, and the increased lot coverage will not be largely noticeable from the street view. Subject to the recommended conditions of approval, Variances 1 and 2 are considered to be desirable for the appropriate development of the land.

4. Minor in Nature

Variance 1 setback of 1.57m (5.15 ft.) to a proposed second storey addition whereas the by-law requires a minimum side yard setback of 1.8m (5.90 ft.) to the second storey represents a reduction that is nominal in nature and is not anticipated to have significant impacts on the massing of the dwelling. Subject to the recommended conditions of approval, Variance 1 is considered to be minor in nature.

Variances 2 and 3 relate to a proposed expansion to the existing porch to enhance its aesthetic quality. The requested variances will be largely unnoticeable from a visual perspective and are not anticipated to impact the streetscape or drainage. Subject to the recommended conditions of approval, Variances 2 and 3 are considered to be minor in nature.

Respectfully Submitted,

Shelby Swinfield

Shelby Swinfield, Planner I, Development