



Agenda
Planning & Development Committee
The Corporation of the City of Brampton

Date: Monday, June 9, 2025
Time: 7:00 p.m.
Location: Hybrid Meeting - Virtual Option & In-Person in Council Chambers – 4th Floor – City Hall
Members: Regional Councillor M. Palleschi - Wards 2 and 6
Deputy Mayor Singh - Wards 9 and 10
Regional Councillor R. Santos - Wards 1 and 5
Regional Councillor P. Vicente - Wards 1 and 5
Regional Councillor N. Kaur Brar - Wards 2 and 6
Regional Councillor D. Keenan - Wards 3 and 4
Regional Councillor M. Medeiros - Wards 3 and 4
Regional Councillor P. Fortini - Wards 7 and 8
Regional Councillor G. Toor - Wards 9 and 10
City Councillor R. Power - Wards 7 and 8
Mayor Patrick Brown (ex officio)

Accessibility of Documents: Documents are available in alternate formats upon request. If you require an accessible format or communication support contact the Clerk's Department by email at city.clerksoffice@brampton.ca or 905-874-2100, TTY 905.874.2130 to discuss how we can meet your needs.

Note: This meeting will be live-streamed and archived on the City's website for future public access.

1. Call to Order

2. Approval of Agenda

3. Declarations of Interest under the Municipal Conflict of Interest Act

4. Consent Motion

The Meeting Chair will review the relevant agenda items during this section of the meeting to allow Members to identify agenda items for debate and consideration, with the balance to be approved as part of the Consent Motion given the items are generally deemed to be routine and non-controversial.

5. General Delegations (5 Minutes Maximum)

6. Statutory Public Meeting

6.1 File: OZS-2025-0003 - Public Meeting

Application to Amend the Zoning By-law

Applicant/Consultant: AMB Amalco BP 1 and 3 Canco Inc., Mainline Planning Services Inc.

Purpose: To permit the development of a 1-storey, 38,238 square metres industrial building.

Location: south of Countryside Drive and west of Highway 50, Ward 10

(See Related Item 7.1)

6.1.1 Staff Presentation by Chinoye Sunny, Planner, Development Services

6.1.2 Delegations

6.1.3 Correspondence

Recommendation

6.2 File: OZS-2025-0013 - Public Meeting

Application to Amend the Official Plan and Zoning By-law

Applicant/Consultant: Gagnon Walker Domes Ltd., c/o Balmoral Inc.

Purpose: To facilitate a mixed-use development comprised of 3 apartment buildings that are 10,12 & 45 storeys in height, with commercial uses at grade, and three (3) levels of underground parking.

Location: 507 Balmoral Drive, Ward 7

6.2.1 Staff Presentation by Jan Salaya, Planner, Development Services

6.2.2 Delegations

6.2.3 Correspondence

Recommendation

7. Planning Applications

7.1 File: OZS-2025-0003

Application to Amend the Zoning By-law

Applicant/Consultant: AMB Amalco BP 1 and 3 Canco Inc., Mainline Planning Services Inc.

Purpose: To permit the development of a 1-storey, 38,238 square metres industrial building.

Location: south of Countryside Drive and west of Highway 50, Ward 10

(See Related Item 6.1)

7.1.1 Staff Report by Chinoye Sunny, Planner, Development Services

7.1.2 Delegations

7.1.3 Correspondence

Recommendation

7.2 File: OZS-2024-0031

Application to Amend the Official Plan and Zoning By-law

Applicant/Consultant: Glen Schnarr and Associates Inc., 840966 Ontario Ltd.

Purpose: To permit two commercial/retail plazas.

Location: 8331 Heritage Road, Ward 6

7.2.1 Staff Report by Saghar Massah, Planner, Development Services

7.2.2 Delegations

7.2.3 Correspondence

Recommendation

8. Staff Reports

8.1 Staff Report by Charlton Carscallen, Principal Planner/Supervisor, Integrated City Planning, and Rozella Johnston, Senior Advisor, Indigenous Liaison, re: Endorsement of the City of Brampton Archaeological Management Plan (BRAMP)

Recommendation

Note: To be distributed prior to the meeting.

9. Committee Minutes

9.1 Minutes - Brampton Heritage Board - May 20, 2025

To be received (the recommendations outlined in the minutes were considered by PDC on May 26, 2025 and approved by Council on May 28, 2025).

10. Other Business/New Business

11. Referred/Deferred Matters

Note: In accordance with the Procedure By-law and Council Resolution, the Referred Matters List will be published quarterly on a meeting agenda for reference and consideration. A copy of the current Referred Matters List for Council and its committees, including original and updated reporting dates, is publicly available on the City's website.

12. General Correspondence

13. Councillor Question Period

14. Public Question Period

15 Minute Limit (regarding any decision made at this meeting)

During the meeting, the public may submit questions regarding recommendations made at the meeting via email to the City Clerk at cityclerksoffice@brampton.ca, to be introduced during the Public Question Period section of the meeting.

15. Closed Session

Note: A separate package regarding this agenda item is provided to Members of Council and senior staff only.

16. Adjournment

Next Regular Meeting: Monday, June 23, at 1:00 p.m.

Date: 2025-05-26

File: OZS-2025-0003

Subject: **Information Report – Application to Amend the Zoning By-law**
(To permit the development of a 1-storey, 38,238 square metres industrial building)
AMB AMALCO BP 1 & 3 CANCO, INC. – Mainline Planning Services Inc.
South of Countryside Drive and West of Highway 50
Ward 10

Contact: Chinoye Sunny, Development Planner, Development Services & Design

Angelo Ambrico, Manager, Development Services & Design

Report number: Planning, Bld & Growth Mgt-2025-419

RECOMMENDATIONS:

1. That the presentation from Chinoye Sunny, Development Planner, Development Services & Design, to the Planning and Development Committee Meeting of June 9th, 2025, re: **Information Report – Application to Amend the Zoning By-law**, AMB AMALCO BP 1 & 3 CANCO, INC. – Mainline Planning Services Inc., South of Countryside Drive and West of Highway 50, Ward 10, File: OZS-2025-0003, be received.

Attachment:

- Attachment 1 – Statutory Public Meeting Presentation

APPLICATION TO AMEND THE ZONING BY-LAW

To permit the development of an industrial building consisting of a 38,238 square metres.

South of Countryside Drive and West of Highway 50

City of Brampton File : OZS-2025-0003

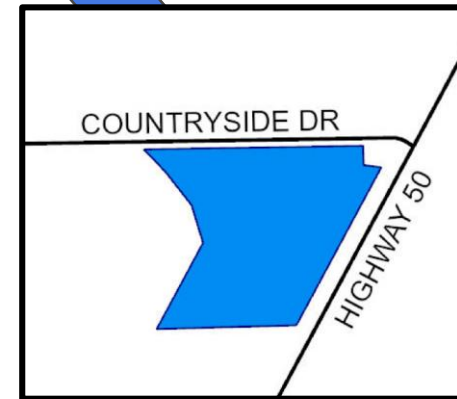
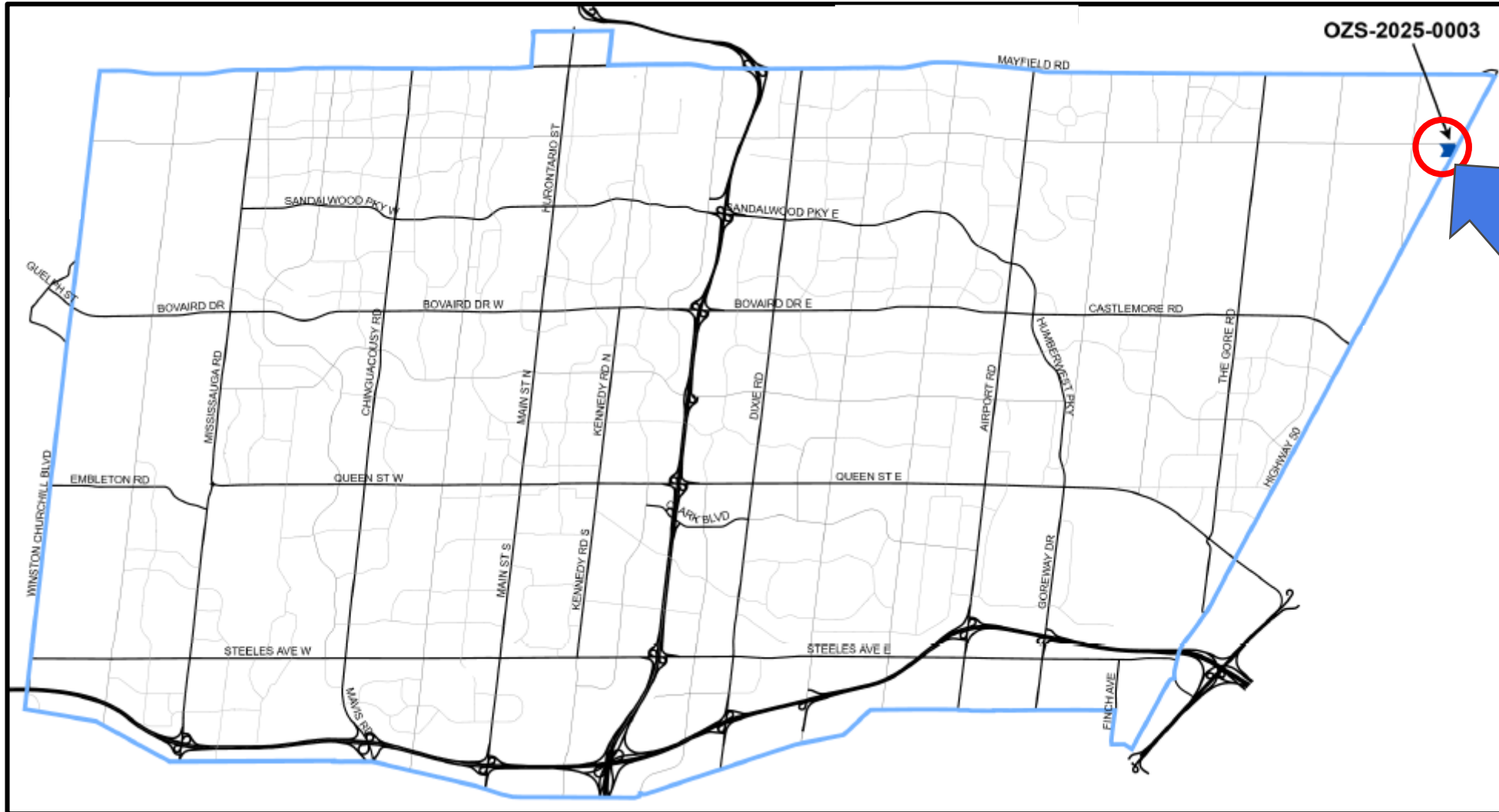
Application by:

Mainline Planning Services Inc. on behalf of AMB AMALCO BP 1 & 3 CANCO, INC.

WARD : 10

**REGIONAL COUNCILLOR: GURPARTAP SINGH TOOR
CITY COUNCILLOR / DEPUTY MAYOR: HARKIRAT SINGH**

LOCATION OF SUBJECT PROPERTY



AREA CONTEXT



North: Agricultural

Countryside Drive, beyond which are lands designated for future Industrial uses in the Official Plan. Immediate north there is an approved Temporary Use Zoning By-law (City File No. OZS-2024-0045/OZS-2024-0064) for outdoor storage and truck/trailer parking.

South: Agricultural

Lands designated for future Industrial land uses. Immediately south there are lands subject to a temporary use development application (City File No. OZS-2024-0008), beyond which are Prologis Phase 1 lands which consist of an industrial building.

East: Industrial

Highway 50, beyond which are agricultural and industrial lands in the City of Vaughan.

West: Industrial

Prologis Phase 1 lands which consist of an industrial building, beyond which is Coleraine Drive.



AERIAL VIEW



Subject Lands

SITE VISIT



Viewpoint looking east towards the subject site



Viewpoint looking south-east towards the subject site



Viewpoint looking south-west to Prologis Phase 1 Distribution Centre

DEVELOPMENT PROPOSAL

An application to amend the Zoning By-law

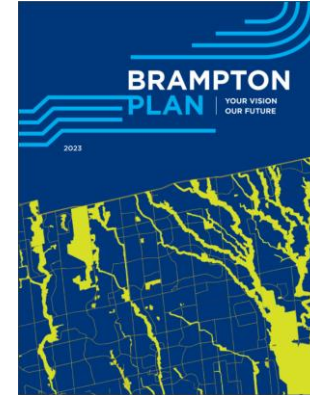
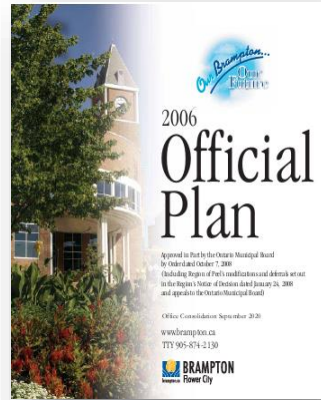
To facilitate the development of a 38,238 square metre industrial building.

Further details include:

- Site Area – 4.62 hectares (11.62 acres)
- Office Space – 382.38 square metres
- Warehouse Space – 37,855.99 square metres
- A total of 284 parking spaces:
 - 276 standard parking spaces
 - 8 accessible parking spaces
- A total of 56 loading spaces
- Site Access:
 - Signalized intersection shared with the Orland development on Coleraine Drive;
 - The existing driveway on Countryside Drive; and,
 - Two additional right-in right-out driveways are proposed;



PLANNING FRAMEWORK SUMMARY



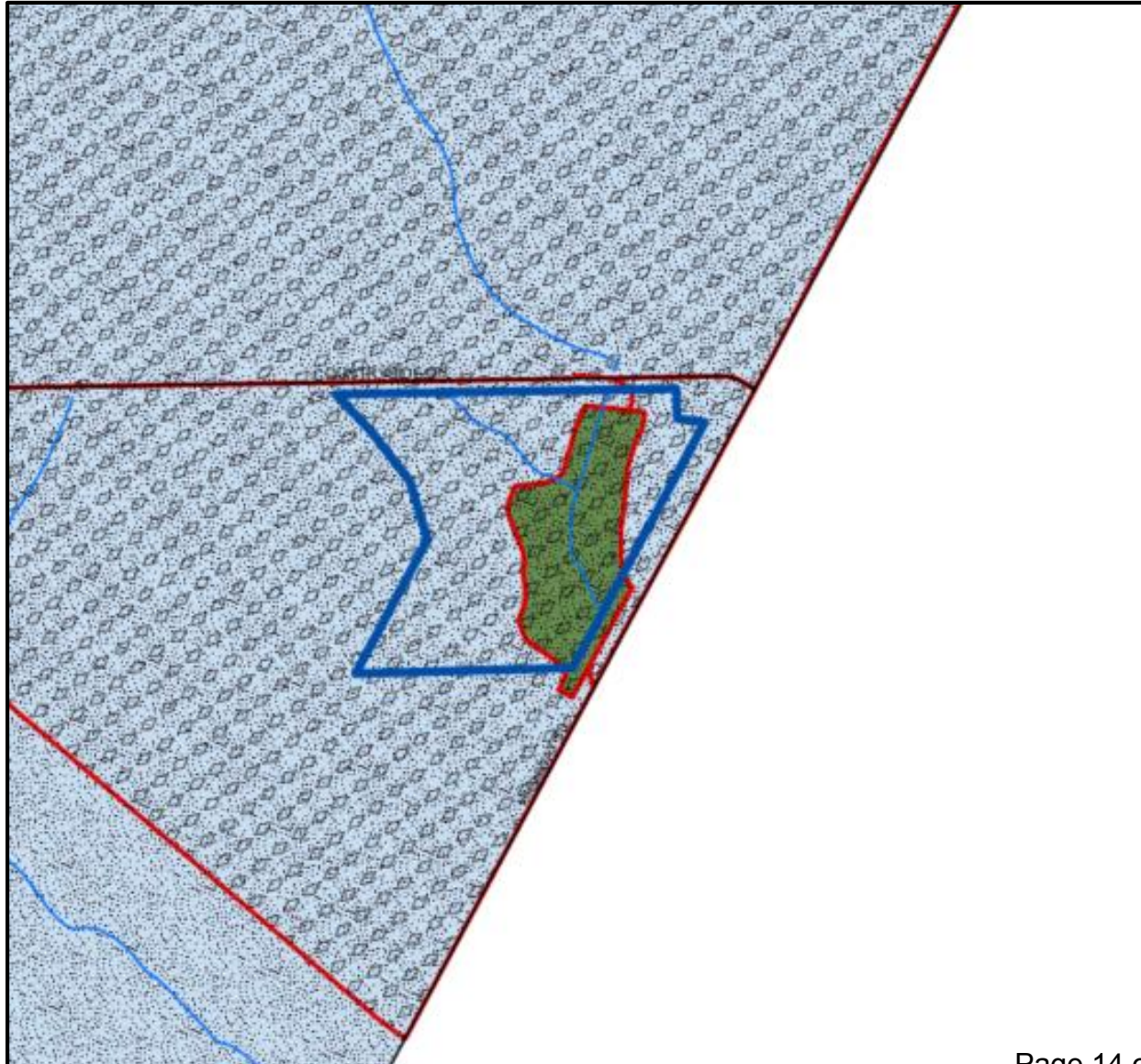
The application will be evaluated based on:

- The *Planning Act*
- Provincial Planning Statement (2024)
- City of Brampton Official Plan (2006)
- Brampton Plan (2023)
- Highway 427 Industrial Secondary Plan (SP47)

Also following the principles of:

- Brampton 2040 Vision

CURRENT PLANNING CONTEXT: OFFICIAL PLAN (2006)



- **OP Land Use Designation:** Industrial, Open Space (Utility/open space), Special Study Area, and Corridor Protection Area
- **Permitted Uses in the Industrial Designation:**
The “Industrial” designation permits light to heavy industrial uses such as manufacturing, processing, repair and service, warehousing, and distribution.

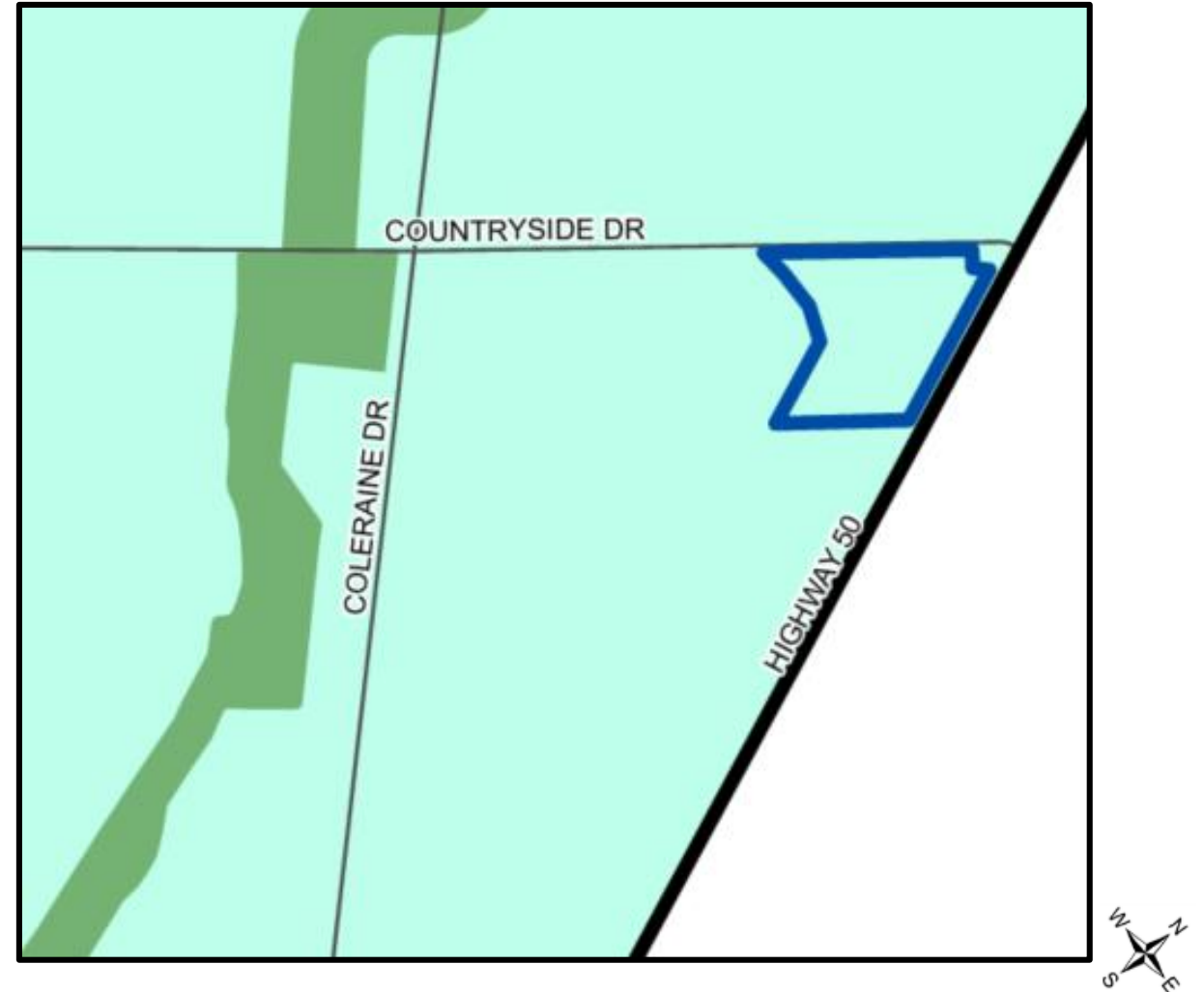
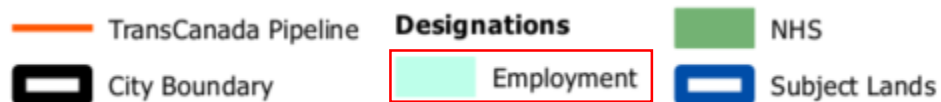
An amendment to the Official Plan **is not required** to permit the proposed development.



CURRENT PLANNING CONTEXT: BRAMPTON PLAN (2023)

- **OP Land Use Designation:** Employment
- **Permitted Uses in the Residential Designation:**
The 'Employment' designation permit land uses such as warehousing, distribution, construction, light and heavy industrial uses, trades, outdoor storage, and other uses requiring a range of land parcel sizes.

An amendment to the Official Plan is not required to permit the proposed development.



CURRENT PLANNING CONTEXT: SECONDARY PLAN DESIGNATION

Highway 427 Industrial Secondary Plan (Area 47)

Land Use Designation:

- Logistic/Warehouse/Transportation;
- Valleyland;
- Scoped Appealed Lands.

An amendment to the Secondary Plan **is not required** to facilitate the proposed development.

EMPLOYMENT

- OFFICE NODE
- LOGISTIC/WAREHOUSE/TRANSPORTATION
- BUSINESS PARK

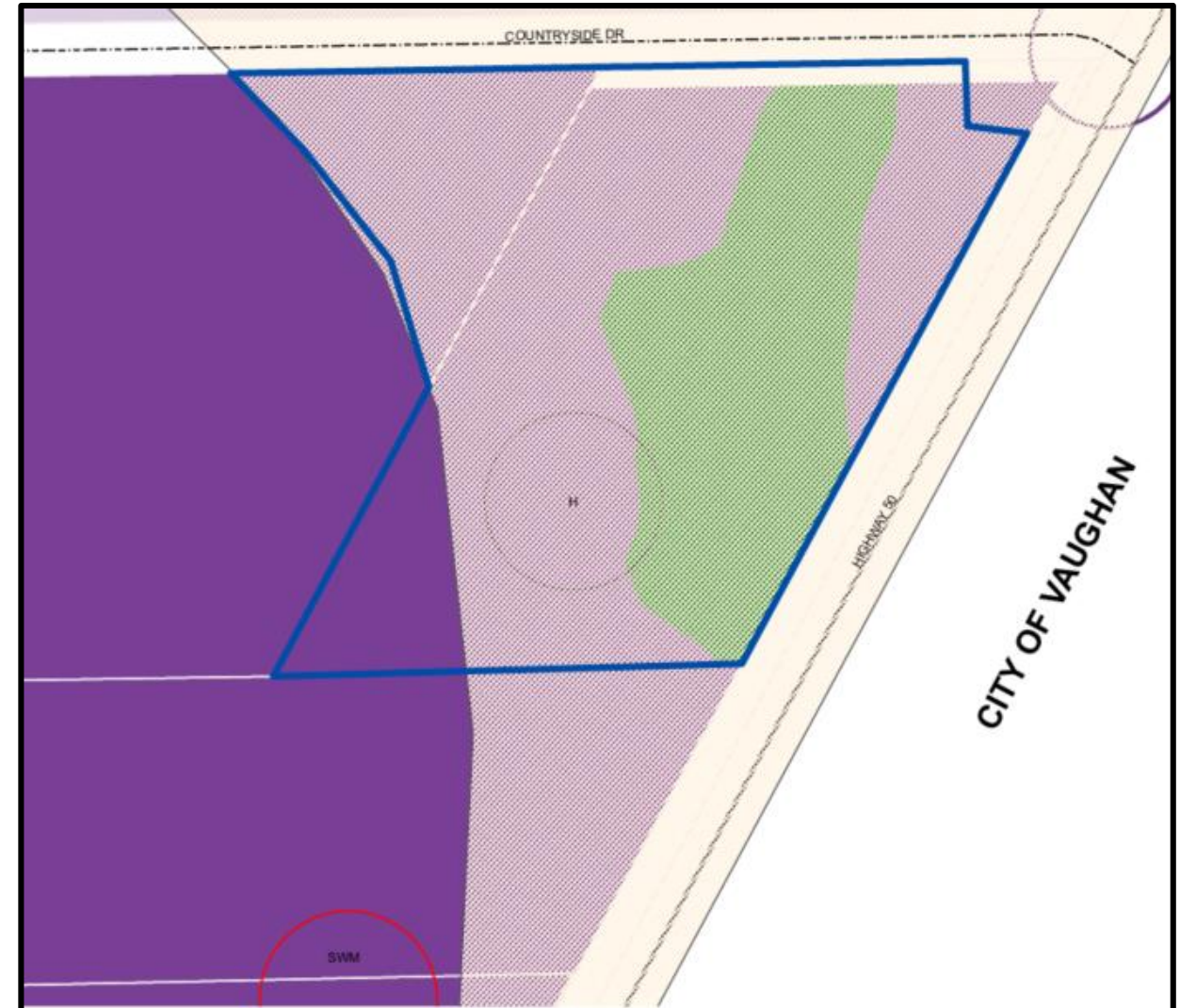
NATURAL HERITAGE SYSTEM

- SIGNIFICANT WOODLANDS
- WETLAND RESTORATION AREA
- VALLEYLAND

UTILITIES AND INFRASTRUCTURE

- TRANS CANADA PIPELINE
- Corridor Protection Area (Reduced in accordance with the Northwest GTA Corridor Identification Study Area - MTO 2018)
- PRIMARY GATEWAY
- SECONDARY GATEWAY
- HERITAGE RESOURCE
- SWM FACILITY
- SPECIAL POLICY AREA
- CEMETERY
- SP-47 BOUNDARY
- SCOPED APPEALED LANDS

Subject Lands



CURRENT PLANNING CONTEXT: ZONING BY-LAW



Current Zone: Agricultural (A) Zone and Agricultural - Section 1735 (A-1735) Zone

Permitted uses in the Agricultural (A) Zone include but are not limited to:

- Agricultural purposes;
- A single detached dwelling;
- Supportive Housing Residence;
- Cemetery
- Purposes accessory to the other permitted purposes.

The 'Agricultural – Section 1735 (A-1735)' allows the site to be used for a golf driving range until December 12, 2004, after which time only the permissions in the 'Agricultural (A)' zone category shall apply.

A Zoning By-Law Amendment **is required** to facilitate the development.



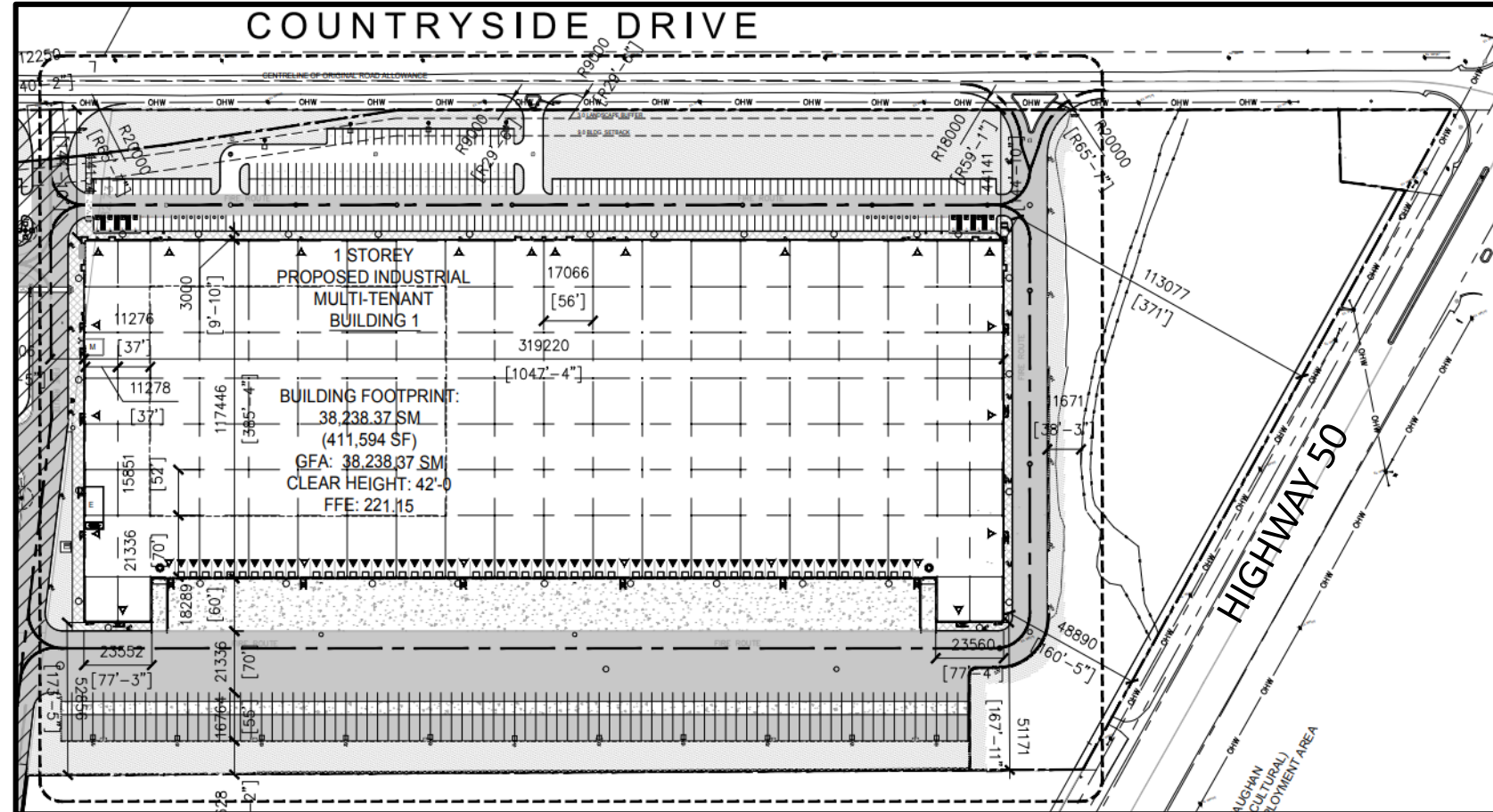
PROPOSED PLANNING CONTEXT: ZONING BY-LAW AMENDMENT

The proposed Zoning By-law Amendment will rezone the subject site from Agricultural (A) and Agricultural – Section 1735 (A-1735 to Industrial Four – Section 3598 (M4-3598).

| Proposed Zone | Permitted Uses | Highlight of proposed Zone |
|---------------------------------|--|--|
| Industrial Four– 3598 (M4-3598) | <ul style="list-style-type: none"> Permitted Uses: <ul style="list-style-type: none"> a warehouse; the manufacturing, cleaning, packaging, processing, repairing or assembly of goods, foods or materials within an enclosed building; and, an office Only in conjunction with the uses permitted in sections 3598.1(2)(a), (b) and (c), to a maximum of 15 per cent of the floor area of the principle use, the following purposes: <ul style="list-style-type: none"> bank, trust company or financial institution; a retail establishment; a convenience store; a dining room restaurant, a take-out restaurant, a convenience restaurant; a service shop; a printing or copying establishment; a commercial school; a health centre; and, a day nursery; Purposes accessory to the other permitted purposes | <ul style="list-style-type: none"> All of the industrial (warehouse, manufacturing, packaging, processing, repairing) Uses permitted in the Prestige Industrial (M4) zone category; Non-industrial (office, hotel, conference centre, and associated commercial / retail uses to a maximum of 15% of the primary use; and, Outdoor Storage, that will be subject to locational and screening criteria; |
| Floodplain (F) | <ul style="list-style-type: none"> Permitted Uses: <ul style="list-style-type: none"> flood and erosion control; any conservation area or purposes; public park; golf course | <ul style="list-style-type: none"> A protection zone will be implemented into the Zoning By-law to limit development on that specific portion of the land. |

KEY ISSUES / CONSIDERATIONS

- The development proposes an industrial development which will contribute to the employment growth within the City.
- Land use compatibility and appropriateness of the built form to the existing community.
- The need to upgrade Countryside Drive to Industrial Truck Standards.
- Appropriate building setbacks and the inclusion of a protective zone for the adjacent environmental features to be implemented through the Zoning By-law Amendment process.
- Appropriateness of proposed non-industrial land uses.



NEXT STEPS

Notice of complete application

Circulation to departments and agencies

Notice of public meeting

Public Meeting (We are here)

The public meeting is to share information with members of the public on the application, and give them the opportunity to express their perspectives and opinions for consideration in the decision making process.

Collect & Review Public, Technical and Other Comments

Recommendation/Final report

Appeal period

ACCESS THE DEVELOPMENT APPLICATION

1. Click the [BramPlan Online](#) link:

<https://planning.brampton.ca/CitizenAccess/Default.aspx>

2. Click the [Search for An Application](#) link:

<https://planning.brampton.ca/CitizenAccess/Case/CapHome.aspx?module=Planning&TabName=Planning>

3. Type the [file number](#) in the required field:

File Number: **OZS-2025-0003**

4. On the [OZS-2025-0003 file page](#) click:

The File Info Tab, and click documents to review all application drawings and documents.

The screenshot displays the BramPlanOnline web application interface. At the top, there is a navigation bar with the Brampton logo and the text "BramPlanOnline". Below this, a search bar is visible. The main content area is divided into two columns. The left column contains a "Welcome to BramPlanOnline!" message, a "Don't have an account?" section with a "Register for an Account" link, and a "Planning" section with a "Search for an application" link. The right column contains a "Login" section with fields for "User Name or E-mail:" and "Password:", a "Login" button, and a "Remember me on this computer" checkbox. Below the login section, there is a "New Users: Register for an Account" link. At the bottom of the page, there is a footer with the Brampton logo and the text "BramPlanOnline".

BRAMPTON | BramPlanOnline

Announcements Register for an Account Login

Search...

Home Planning

BRAMPLAN
ONLINE

Welcome to BramPlanOnline!

BramPlanOnline will allow you to manage all your Planning and Development applications. With BramPlanOnline you can submit an application and obtain its status.

To submit an application or obtain its status, please login using your account.

Don't have an account?

If you don't have an account click on "Register for an Account". By registering for a free account, you will have the ability to submit online planning and development applications, eliminating the need for in office appointments to begin the process. Once registered, you will receive confirmation within 48 hours that your account is activated.

Through this system, you will be able to submit documentation track an application's status online. In order to establish communication and transparency, you are able to view your application status at anytime and view current tasks, allowing you to stay informed and prepared.

To get started, please select one of the services offered below.

Planning

Search for an application

Register for an Account Login

Home Planning

File OZS-2024-0032:
OPA ZBA Subdivision
Status: Submitted

File Info Documents

For any document that gets uploaded:

1. All submitted documents must be named and categorized according to the City of Brampton Document naming and saving Protocol. Please follow this link to find the document naming and saving conventions.
2. You must save the documents prior to continuing with the application. After you save the document, you cannot remove it.

Resubmission:

1. When making a resubmission, please email the planner on file once you have uploaded all necessary documentation.
2. All Precinct Plans, Draft Plans of Subdivisions (10 residential units or more), "Full" Site Plans, and Zoning By-law amendments to facilitate the above require the submission of a Sustainability Score & Summary. This includes each re-submission. Visit www.brampton.ca/measuring-sustainability for more details.

| Name | File Number | Type | Size | Latest Update | Upload Date | Action |
|------|-------------|------|------|---------------|-------------|--------|
|------|-------------|------|------|---------------|-------------|--------|

CONTACT INFORMATION

The report and presentation associated with tonight's meeting can be found online at www.brampton.ca on the **MEETINGS** and **AGENDAS** page.

- City Planner contact:
Chinoye Sunny
Development Planner
City of Brampton
Chinoye.Sunny@Brampton.ca

- Applicant contact:
James Davidson
Mainline Planning Services Inc.
Jdavidson@mainlineplanning.com

The background image shows a city street scene. On the left, there is a glass-enclosed bus stop with a red roof. The word "Wellington" is written on the top of the bus stop, and a "zum" logo is visible on the glass. A person is standing inside the bus stop. Behind the bus stop is a large, multi-story building with a curved facade and many windows. To the right of this building is a tall, brick clock tower with a clock face. Further right, there is a vertical sign that says "CANADA 150". The entire image has a blue tint.

Thank you!

Date: 2025-05-05

File: OZS-2025-0013

Subject: **Information Report – Application to Amend the Official Plan and Zoning By-law**

To facilitate a mixed-use development comprised of 3 apartment buildings that are 10, 12 & 45 storeys in height, with commercial uses at grade, and three (3) levels of underground parking

Gagnon Walker Domes LTD. C/O Balmoral Inc.

507 Balmoral Drive

Ward 7

Contact: Jan Salaya, Development Planner III, Development Services & Design

Alex Sepe, Manager, Development Services & Design

Report number: Planning, Bld & Growth Mgt-2025-399

RECOMMENDATIONS:

1. That the presentation from Jan Salaya, Development Planner III, Development Services & Design to the Planning and Development Committee Meeting Meeting of June 9, 2025, re: **Information Report – Application to Amend the Official Plan and Zoning By-law**, Gagnon Walker Domes Ltd. C/O Balmoral Inc., City File: OZS-2025-0013, 507 Balmoral Drive, Ward 7, be received.

Attachment:

- Attachment 1 – OZS-2025-0013 Statutory Public Meeting Presentation

APPLICATION TO AMEND THE OFFICAL PLAN AND **ZONING BY-LAW**

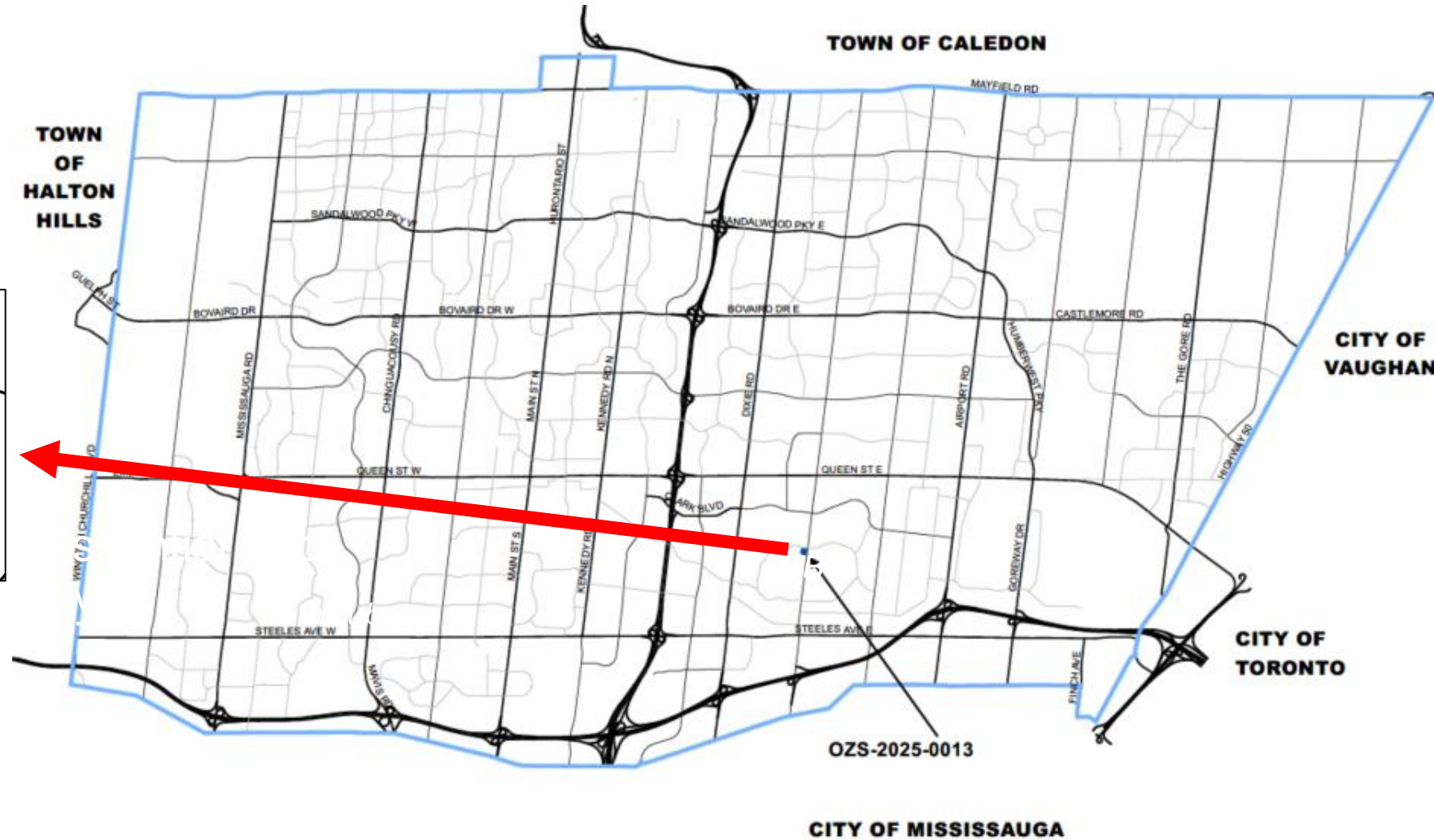
**To facilitate the development of mid-rise and high-rise apartment buildings (10, 12 and 45 storeys)
with commercial retail space and three levels of
underground parking.**

**507 Balmoral Drive
City of Brampton File : OZS-2025-0013**

**Application by:
GAGNON WALKER DOMES LTD. on behalf of BALMORAL INC.
WARD : 7**

**REGIONAL COUNCILLOR: PAT FORTINI
CITY COUNCILLOR: ROD POWER**

LOCATION OF SUBJECT PROPERTY



AREA CONTEXT



North:

Balmoral Drive, Bramalea Secondary School, beyond are low-rise residential uses.

South:

Brampton Fire Station 202 and low-rise residential uses.

East:

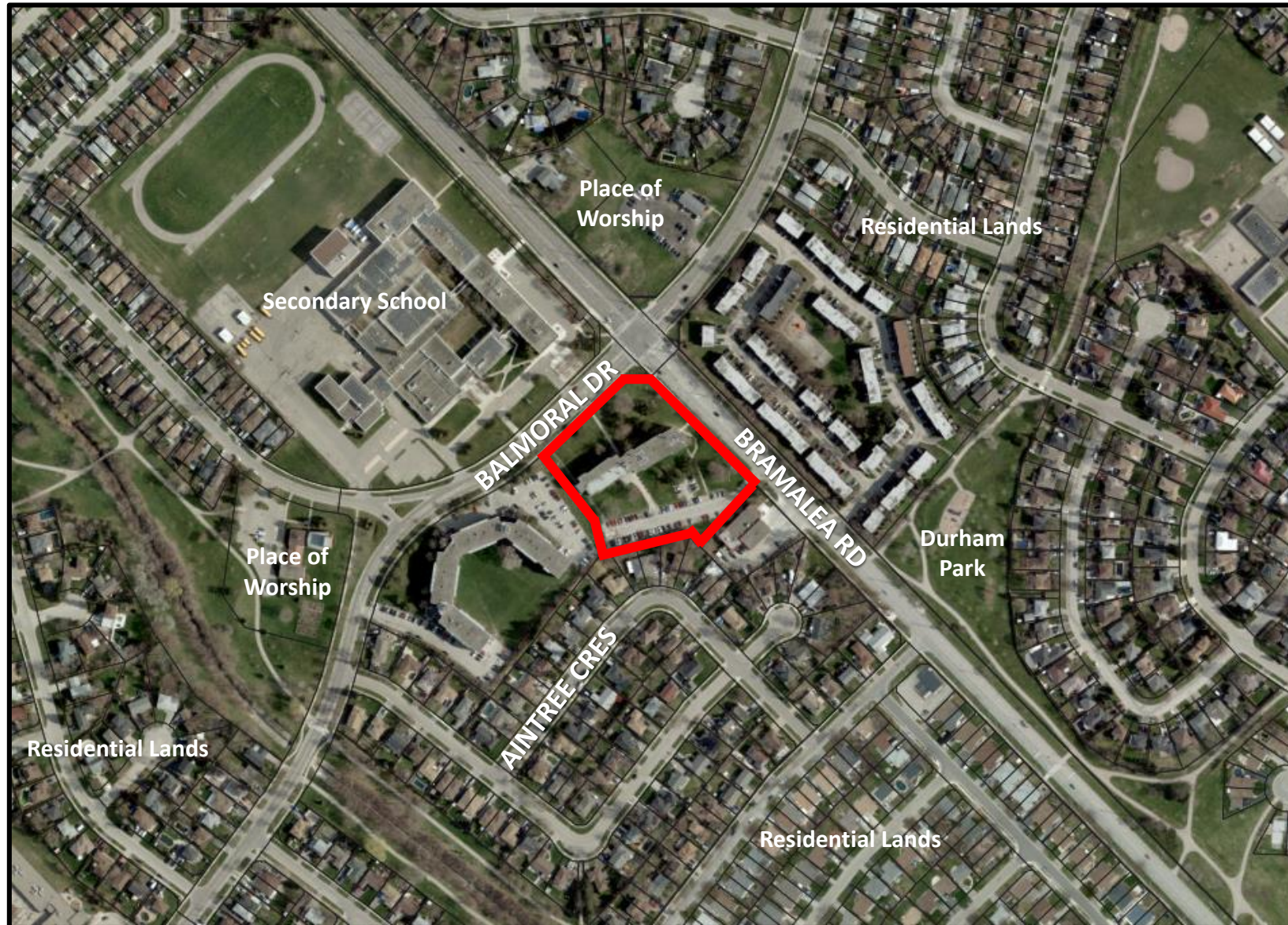
Bramalea Road and beyond is an Institutional use and residential uses.

West:

Mid-rise apartment building and beyond are an institutional use, Open space and residential uses.



AERIAL VIEW



Subject Lands

SITE VISIT



View of the property from Bramalea Rd looking north-west



View of the property from the corner of Balmoral Dr and Bramalea Rd looking south-west

SITE VISIT



View of the property along Balmoral Dr looking south-east



View of the property along Balmoral Dr

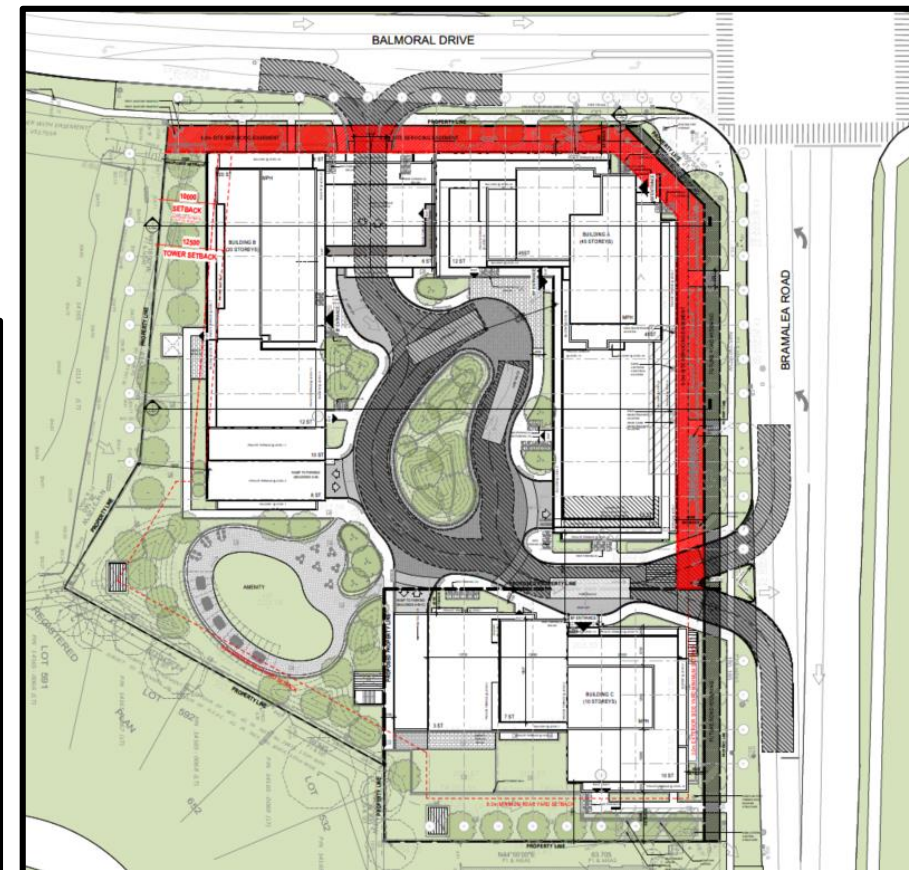
DEVELOPMENT PROPOSAL

An application to Amend the Official Plan and Zoning By-Law

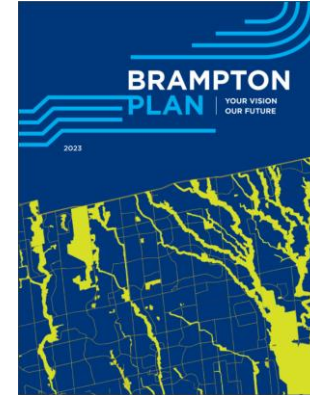
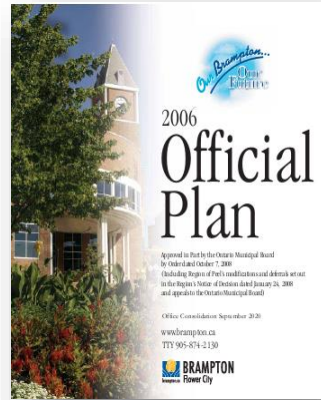
To permit the development of mid-rise and high-rise buildings, ranging in heights of 10,12 and 45 storeys, with ground floor commercial space.

Further details include:

- Building A – 45 storeys, stepping down to 12 storeys. With commercial at grade.
- Building B – 20 storeys, stepping down to 12, 10 & 8 storeys.
- Building C – 10 storeys, stepping down to 7 & 3 storeys.
- Total Gross Floor Area (GFA) of 73,131.92 sqm, including 553.99 sqm of commercial.
- Three (3) levels of below grade parking with a total of 805 parking spaces.
- Total of 1,995.76 sqm of amenity space proposed.



PLANNING FRAMEWORK SUMMARY



The application will be evaluated based on:

- The Planning Act
- Provincial Planning Statement (2024)
- City of Brampton Official Plan (2006)
- Brampton Plan (2023)
- Bramalea Secondary Plan (Area 3)

Also following the principles of:

- Brampton 2040 Vision

CURRENT PLANNING CONTEXT: BRAMPTON OFFICIAL PLAN (2006)



Schedule A Use Designation: Residential

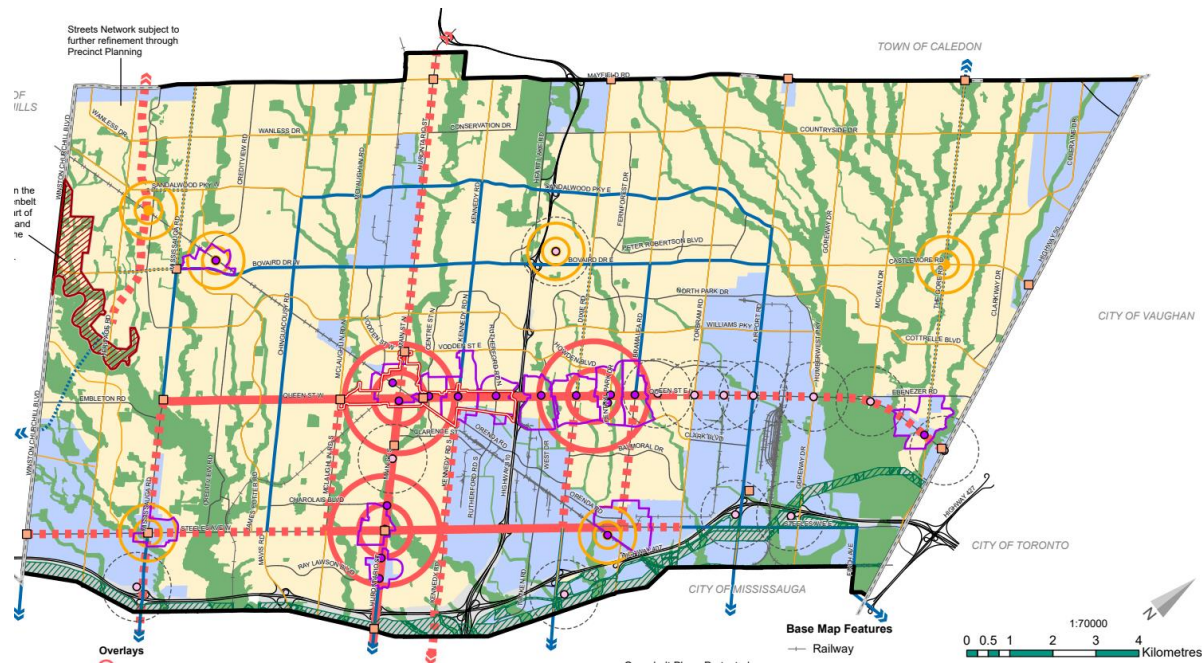
- **Permitted Uses:**
 - The Residential designation permits a full range of dwelling types that range from single detached dwellings to high-rise apartments.
 - Housing mix and density policies in Secondary Plans shall reference the Residential Density Categories set out under policy 4.2.1.2 of the Official Plan.

An amendment to the Official Plan **is not required** to facilitate the development.

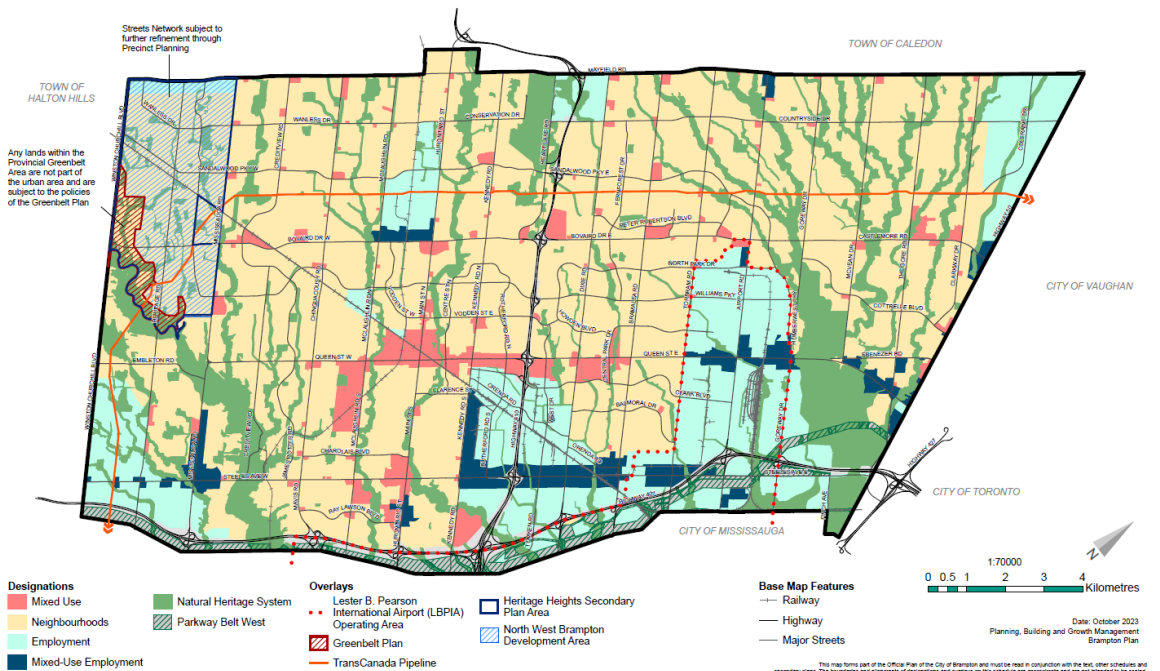


CURRENT PLANNING CONTEXT: BRAMPTON PLAN (2023)

- Designated 'Community Areas' within Schedule 1A – City Structure
- Designated 'Neighbourhoods' within Schedule 2 – Designations



Schedule 1A – City Structure



Schedule 2 – Designations

CURRENT PLANNING CONTEXT: BRAMPTON PLAN 2023

OFFICIAL PLAN DESIGNATION



Designations
Neighbourhoods



NHS



Subject Lands



- **Permitted Uses:**
 - **Neighbourhoods (Schedule 2):** Include a broad range of residential uses together with neighbourhood-supportive commercial and community services and facilities such as libraries, recreation centres, schools and daycares, that serve and support the residents of these neighbourhoods.
 - Intensity of development and range of uses that may be permitted in Neighbourhoods varies depending on the street typology that a property fronts onto, in addition to other factors described in the plan.

An amendment to the Official Plan **is not required** to facilitate the development.

CURRENT PLANNING CONTEXT: SECONDARY PLAN DESIGNATION

Bramalea Secondary Plan (Area 3)

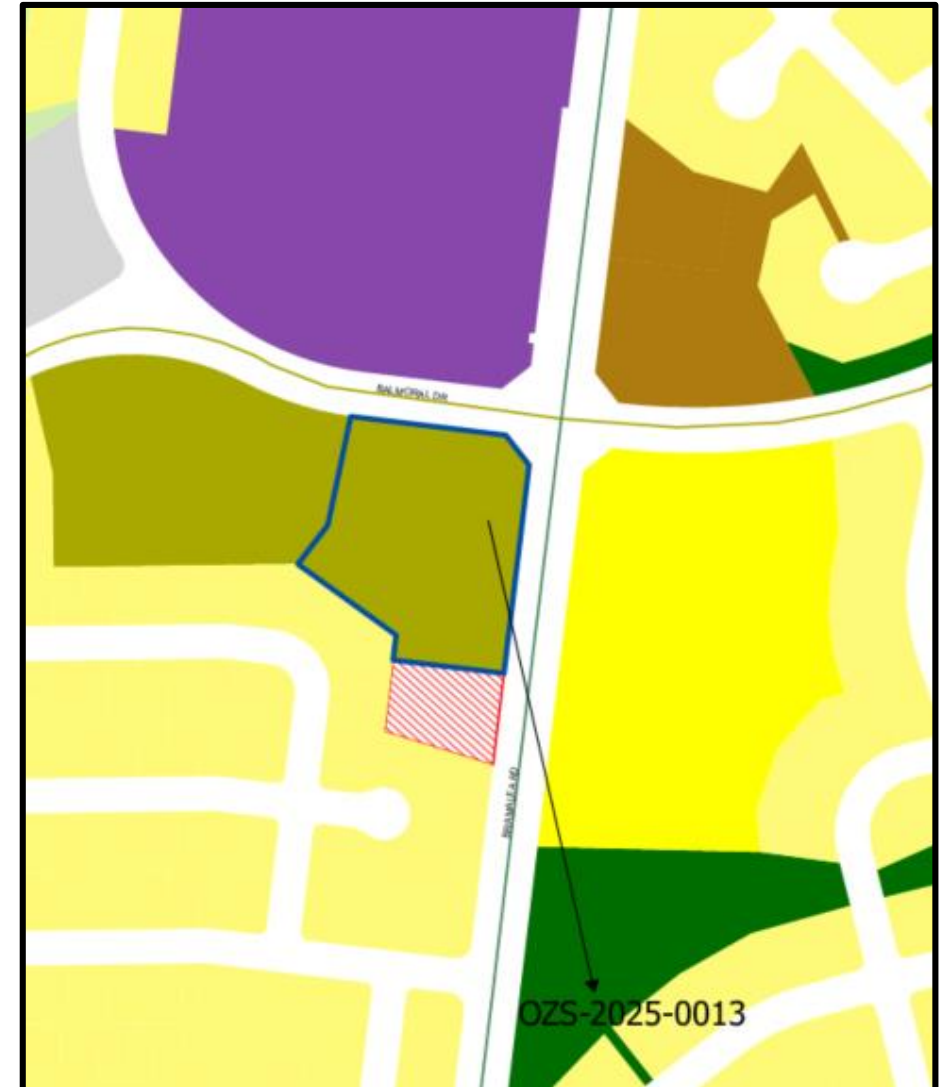
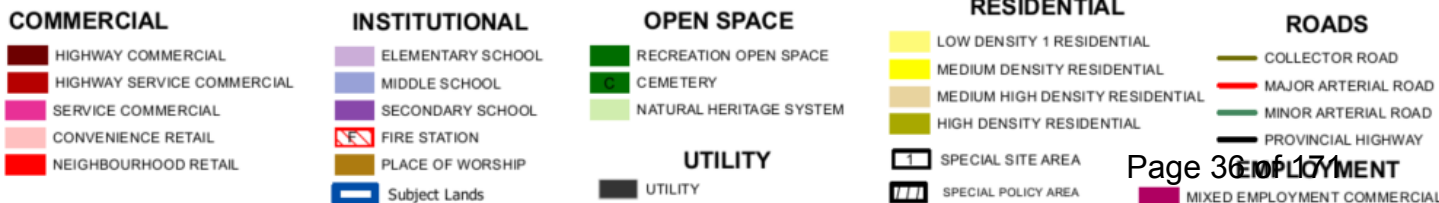
Land Use Designation:

- High Density Residential
 - Uses permitted on lands designated High Density on Schedule 3 shall permit the range of uses and be developed in accordance with the New Housing Mix and Density Category of Section 4.2.1.2 of the Official Plan.

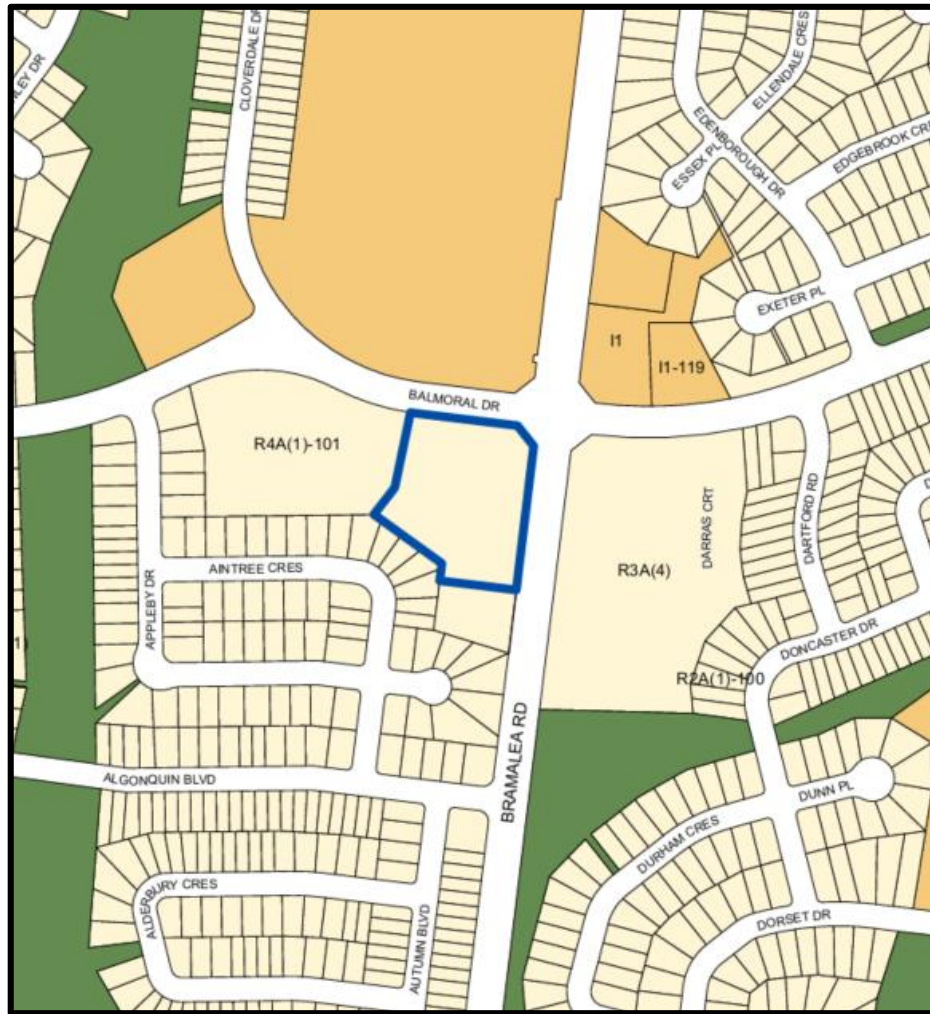
New Housing Mix and Density Categories

| DENSITY CATEGORY | MAXIMUM DENSITY | PERMITTED HOUSING TYPES |
|------------------|--|--|
| ▪ Low Density | ▪ 30 units/ net hectare ▪ 12 units/ net acre | ▪ Single detached homes |
| ▪ Medium Density | ▪ 50 units/ net hectare ▪ 20 units/ net acre | ▪ Single detached homes ▪ Semi-detached homes ▪ Townhouses |
| ▪ High Density | ▪ 200 units/ net hectare ▪ 80 units/ net acre | ▪ Townhouses ▪ Duplexes ▪ Maisonettes ▪ Apartments |

An amendment to the Secondary Plan **is required** to facilitate the proposed increased density and height for the development.



CURRENT PLANNING CONTEXT: ZONING BY-LAW



Current Zone: Residential Apartment A(1) – Section 101 (R4A(1) – 101) Zone





Permitted uses in the Residential Apartment A(1) Zone include:

- A townhouse dwelling
- An apartment dwelling
- Supportive Housing Residence Type 1 or a Supportive Housing Residential Type 2
- A Lodging House
- A Place of worship
- Purposes accessory to the other permitted purposes

The lands designated R4A(1) – Section 101 shall only be used for the purposes within the R4A(1) Zone and an apartment dwelling

A Zoning By-Law Amendment **is required** to facilitate the development.

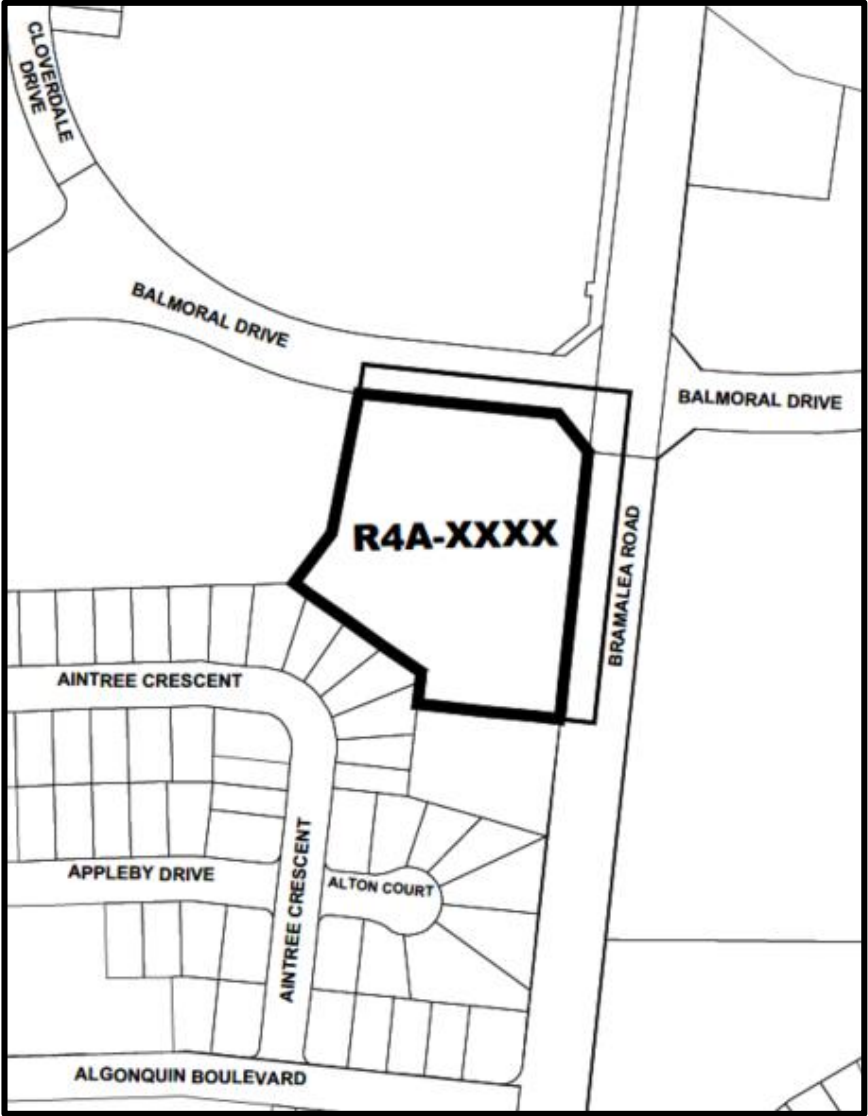
ZONING CATEGORY

| | | |
|---|---|---|
|  RESIDENTIAL |  INSTITUTIONAL |  Subject Lands |
|  OPEN SPACE | | |



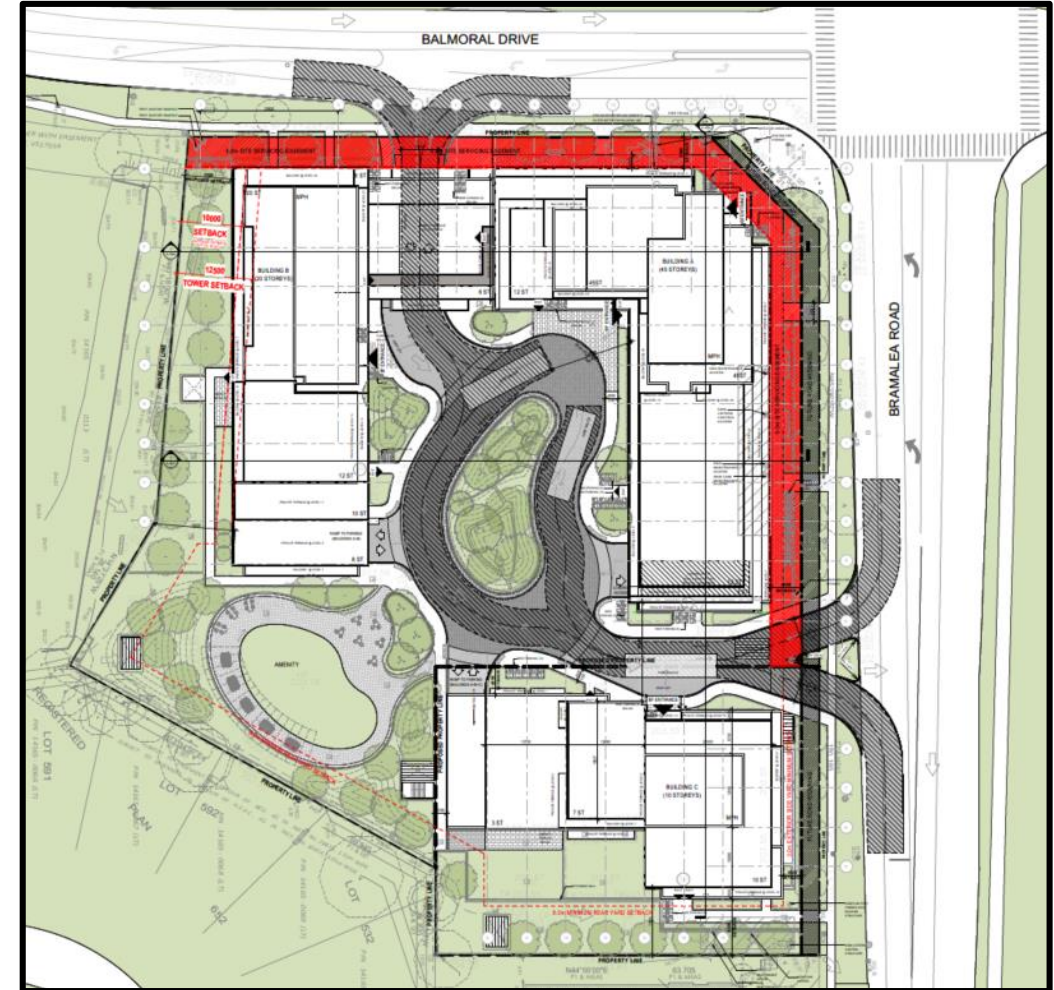
PROPOSED PLANNING CONTEXT: ZONING BY-LAW AMENDMENT

| Proposed Zone | Highlight of proposed Zone |
|--|--|
| Residential Apartment A(1) – Zoning By-law | <p>Permitted uses:</p> <ul style="list-style-type: none">• The purposes permitted in the Residential Apartment A (R4A) Zone• Only in conjunction with an apartment dwelling, a senior citizen residence, or a residential care home, a range of non-residential uses permitted on the ground floor of a building up to a maximum combined gross floor area of 600m²• Maximum building height: Varying from 45 storeys (Building A), 20 storeys (Building B) to 10 storeys (Building C)• Maximum Floor Space Index: 5.6• Maximum Lot Coverage: 45% of the lot area• Minimum Landscape Open Space: 40% of the lot area |



KEY ISSUES / CONSIDERATIONS

- Ensuring an appropriate height, setbacks, separation distance and transition of the proposed development with the surrounding low-rise residential uses.
- Impact of additional density on local road network and availability of community infrastructure to service the development.
- Opportunities to include full mix and range of housing options such as affordable housing and/or purpose-built rental and provide more 2 and 2+ bedroom suites
- Opportunity to increase the amount of retail space provided at ground level.



NEXT STEPS

Notice of complete application

Circulation to departments and agencies

Notice of public meeting

Public Meeting (We are here)

The public meeting is to share information with members of the public on the application, and give them the opportunity to express their perspectives and opinions for consideration in the decision making process.

Collect & Review Public, Technical and Other Comments

Recommendation/Final report

Appeal period

ACCESS THE DEVELOPMENT APPLICATION

1. Click the [BramPlan Online](#) link:

<https://planning.brampton.ca/CitizenAccess/Default.aspx>

2. Click the [Search for An Application](#) link:

<https://planning.brampton.ca/CitizenAccess/Cap/CapHome.aspx?module=Planning&TabName=Planning>

3. Type the [file number](#) in the required field:

File Number: **OZS-2025-0013**

4. On the [OZS-2025-0013 file page](#) click:

The File Info Tab and click documents to review all application drawings and documents.

The screenshot shows the BramPlanOnline web application interface. At the top, there is a black header bar with the Brampton logo and the text "BRAMPTON | BramPlanOnline". To the right of the header are links for "Announcements", "Register for an Account", and "Login". Below the header is a search bar with the placeholder text "Search...". The main content area has a blue navigation bar with "Home" and "Planning" tabs. The "Planning" tab is selected. Below the navigation bar is the BramPlanOnline logo, which consists of a blue square with a white mouse cursor icon and the text "BRAMPLAN ONLINE". To the right of the logo is a "Login" section with a "User Name or E-mail:" field, a "Password:" field, a checkbox for "I'm not a robot", a reCAPTCHA widget, and a "Login »" button. Below the login section is a "Remember me on this computer" checkbox and a link for "I've forgotten my password". At the bottom of the login section is a link for "New Users: Register for an Account". The main content area also contains a "Welcome to BramPlanOnline!" message, a brief description of the application, and a "Don't have an account?" section. At the bottom of the main content area is a "Planning" section with a link for "Search for an application" and a contact email address: "planning.development@brampton.ca".

CONTACT INFORMATION

The report and presentation associated with tonight's meeting can be found online at www.brampton.ca on the **MEETINGS** and **AGENDAS** page.

- City Planner contact:
Jan Salaya
Development Planner
City of Brampton
Jan.Salaya@brampton.ca
- Applicant contact:
Marc De Nardis
GWD Ltd.
mdenardis@gwdplanners.ca

The background image shows a city street scene. On the left, there is a glass-enclosed bus stop with a red roof. Above the bus stop, the word "Wellington" is visible. A person is standing inside the bus stop. Behind the bus stop is a large, multi-story brick building with many windows. To the right of the main building is a tall, narrow structure with a clock face near the top. The entire image has a blue overlay.

Thank you!



Report
Staff Report
 The Corporation of the City of Brampton
 6/9/2025

Date: 2025-05-26

File: OZS-2025-0003

Subject: **Recommendation Report – Application to Amend the Zoning By-law**
(To permit the development of a 1-storey, 38,238 square metres industrial building)
AMB AMALCO BP 1 & 3 CANCO, INC. – Mainline Planning Services Inc.
 South of Countryside Drive and West of Highway 50
 Ward 10

Contact: Chinoye Sunny, Development Planner, Development Services & Design
 Angelo Ambrico, Manager, Development Services & Design

Report number: Planning, Bld & Growth Mgt-2025-398

RECOMMENDATIONS:

1. That the report from Chinoye Sunny, Development Planner, Development Services & Design, to the Planning and Development Committee Meeting of June 9th, 2025, re: **Recommendation Report – Application to Amend the Zoning By-law**, AMB AMALCO BP 1 & 3 CANCO, INC – Mainline Planning Services Inc., South of Countryside Drive and West of Highway 50, Ward 10, File: OZS-2025-0003, be received;
2. That the Application to Amend the Zoning By-law submitted by Mainline Planning Services Inc. on behalf of AMB AMALCO BP 1 & 3 CANCO, INC. be approved on the basis that it represents good planning, including that it has regard for matters of provincial interest under the Planning Act, is consistent with the Provincial Policy Statement, conforms to the Brampton Plan and for the reasons set out in this Planning Recommendation Report;
3. That the amendments to the Zoning By-law, generally in accordance with Attachment 11 attached to this report be adopted; and,

4. That no further notice or public meeting be required for the attached Zoning By-law Amendment pursuant to Section 34 of the Planning Act, R.S.O. c.P. 13, as amended.

OVERVIEW:

- This report recommends approval of an amendment to the Zoning By-law to facilitate the development of a 1-storey, 38,238 square metres industrial building.
- The property is designated 'Industrial', 'Open Space', 'Corridor Protection Area' and 'Special Policy Area' in Schedule A: General Land Use Designation of the Official Plan. No amendment to the Official Plan is required to permit the proposed development.
- The property is designated 'Employment Areas' in Schedule A1: City Structure and 'Employment' in Schedule 2: Designation, as per Brampton Plan.
- The property is designated 'Logistic/Warehouse/Transportation', 'Valleylands' and 'Scoped Appealed Lands' in the Highway 427 Industrial Secondary Plan (Area 47). No amendment to the Secondary Plan is required to permit the proposed development.
- The subject property is split-zoned Agricultural – Section 1735 (A-1735) and Agricultural (A) which permits agricultural purposes, a single detached dwelling, and purposes accessory to the other permitted purposes. A Zoning By-law Amendment is required to facilitate the proposed development.
- The Statutory Public Meeting for this Minor Amendment application is also scheduled to occur at the June 9, 2025, Planning and Development Committee meeting, earlier in the meeting's agenda. The same Planning and Development Committee meeting is proposed for both the Public Meeting and the Recommendation Report, considering that the proposed industrial use was already previously approved for a large portion of the subject property (refer to City File No. C11E15.002), and to help provide an expedited process for this employment generating development. At the time of writing this report, there has been no formal comment received by the public on the application. If questions arise from the public meeting which are not able to be adequately responded to, Council may consider referring this matter back to staff.
- The proposal is consistent with the City of Brampton Strategic Focus Area of Growing Urban Centres and Neighbourhoods by contributing to

an economy that thrives with communities that are strong and connected.

- **The application represents good planning, has regard for the Planning Act, is consistent with the Provincial Policy Statement 2024, the Regional Official Plan, the City of Brampton Official Plan (2006), Brampton Plan (2024).**

BACKGROUND:

The lands subject to the Zoning By-law amendment are located at 0 Countryside Drive, which is south of Countryside Drive, east of Coleraine Drive, and west of Highway 50. Mainline Planning Services Inc. submitted an application on behalf of AMB AMALCO BP 1 & 3 CANCO, INC. (Prologis) on January 21, 2025.

The Statutory Public Meeting for this application is also scheduled to occur at the June 9, 2025, Planning and Development Committee meeting, earlier in the meeting's agenda. The same Planning and Development Committee meeting is proposed for both the Public Meeting and the Recommendation Report, considering that this industrial use was previously approved for a large portion of the subject property (refer to City File No. C11E15.002), and to help provide an expedited process for the employment generating development. At the time of writing this report, no correspondence was received by City Planning staff with respect to this proposal from members of the public. If questions arise from the public meeting which are not able to be adequately responded to, Council may consider referring this matter back to staff.

City staff and the applicant have been working together to refine the technical details associated with the proposal. There is also a concurrent site plan application (File: SPA-2025-0048) where staff have reviewed other technical components of the proposal given the site already is partial zoned for industrial development. The effect of this report is to recommend approval of the Zoning By-law, generally in accordance with Attachment 11 to this report.

It is important to note, that this application is part of a larger redevelopment project within the area. The majority of the subject property was rezoned 'Industrial Four – Section 3598 (M4-3598)' as part of City File No. C11E15.002. The application C11E15.002 was submitted by Prologis Inc. to permit the development of the site for an industrial business centre, which includes office and warehouse distribution uses. The rezoning for the application was approved on August 10th, 2022 and the application is currently in the registration process of their subdivision application.

A portion of the lands associated with File: C11E15.002 was strategically rezoned as Agricultural – Section 1735 (A-1735) as the area was within the Ministry of Transportation (MTO) Highway 413 Focus Analysis Area (FAA). As per the recent

December 2024, interactive MTO Highway 413 mapping, the lands have been removed from the FAA, as such the lands can be rezoned for industrial purposes.

CURRENT SITUATION:

Proposal

An application to amend the Zoning By-law has been filed with the City to permit industrial uses. The proposal seeks to facilitate the construction of a 1-storey multi-tenant industrial building with office and warehouse uses. This development application will facilitate the construction of a third distribution building within the Prologis Brampton Distribution Center. The proposed industrial development will be required to submit a future site plan application prior to seeking building permits.

Details of the Proposal (refer to Attachment 1)

This application to amend the Zoning By-law has been filed to permit the development of an industrial building. The subject property is located west of Highway 50, south of Countryside Drive, and east of Coleraine Drive and is municipally addressed as 0 Countryside Drive.

Details of the proposal are as follows:

- Approximately 382.38 square metres of office space;
- Approximately 37,855.99 square metres of warehouse space;
- A total of 284 parking spaces:
 - 276 standard parking spaces; and,
 - 8 accessible parking spaces;
- A total of 56 loading spaces
- Access to the site will be shared with the existing phase of the development:
 - Signalized intersection shared with the Orland development on Coleraine Drive;
 - The existing driveway on Countryside Drive; and,
 - Two additional right-in right-out driveways are proposed;

Property Description and Surrounding Land Use (refer to Attachment 6)

The lands have the following characteristics:

- The lands are located west of Highway 50, south of Countryside Drive, and east of Coleraine Drive and is approximately 4.62 hectares (11.62 acres);
- The lands have a street frontage of approximately 270 metres along Countryside Drive and approximately 230 metres along Highway 50; and,
- The lands are currently flat with an existing dwelling on the property.

The surrounding land uses are described as follows:

- **North:** Countryside Drive, beyond which are lands designated for Industrial in the Official Plan. In addition, the property directly north has permission for a three year Temporary Use Zoning By-law (City File No. OZS-2024-0045/OZS-2024-0064) that was approved for outdoor storage and truck/trailer parking.
- **South:** Lands designated for Industrial in the Official Plan. In addition, there is an active development application proposing a Temporary Use Zoning By-law Amendment for outdoor storage and truck/ trailer parking. (City File No. OZS-2024-0008), beyond which are Prologis Phase 1 lands which consist of an industrial building.
- **East:** Highway 50, beyond which are agricultural and industrial lands in the City of Vaughan.
- **West:** Prologis Phase 1 lands which consist of an industrial building, beyond which Coleraine Drive.

Further details on this application can be found in the Detailed Planning Analysis contained in Attachment 10, which contains an evaluation of the various technical aspects, including matters addressed in the site-specific studies submitted by the applicant.

Summary of Recommendations

This report recommends that Council approve the proposed amendment to the Zoning By-law, generally in accordance with Attachment 11. The proposed industrial building represents good planning, is consistent with the Provincial Policy Statement, the Region of Peel Official Plan, and the Brampton Official Plan. Please see associated details in Attachment 10 – Detailed Planning Analysis.

Zoning By-law Amendment

The subject properties are currently zoned ‘Agricultural – Section 1735 (A-1735)’ and Agricultural (A), as per By-law 270-2004 as amended. The zoning designation does not permit the proposed industrial uses.

The proposed Zoning By-law Amendment will be rezoned to Industrial Four – Section 3598 (M4-3598) which permits industrial and non-industrial uses, including but limited to, an office, warehouse, manufacturing centre, as well as include site-specific provisions to regulate building height, building setbacks, and permitted uses. A portion of the property will also be zoned as Open Space (OS) as shown in Attachment 11 to this report.

As per Schedule A of the Official Plan and Schedule SP47(a) of the Highway 427 Industrial Secondary Plan, the subject lands include a valleyland feature. A protection

zone will be implemented into the Zoning By-law to limit development on that specific portion of the land.

PLANNING ANALYSIS SUMMARY

The proposal has been reviewed and evaluated against the Planning Act, Provincial Policy Statement (2024), the Region of Peel Official Plan, the City's Official Plan, and other applicable City of Brampton guidelines and priorities.

The proposed By-law, with the changes recommended by Staff, represents good planning. Please refer to Attachment 10 "Detailed Planning Analysis" for additional details.

Matters of Provincial Interest

Planning Act, R.S.O., 1990

This development proposal has regard for the matters of the Provincial Interest, as set out in Section 2 of the Planning Act.

The proposal is to permit the development of an industrial building with office and warehouse uses which allows for economic growth and employment opportunities in accordance with Sections 2h), k) and l) of the Planning Act. The proposed development will be compatible with the existing Prologis Distribution Centre, as this is the third building incorporated in the business distribution centre. No negative impacts to the surrounding community are anticipated in accordance with Section p) of the Planning Act. The proposed development will contain a well-designed and high-quality built form that will enhance and contribute to the existing distribution centre in accordance with Section r) of the Planning Act.

Based on the above, Staff is satisfied that the proposed development has regard for matters of provincial interest in the Planning Act.

Provincial Planning Statement, 2024

The proposed development is located within a Settlement Area as defined in provincial and municipal planning documents. Policy 3.5.1 of the PPS states that major facilities and sensitive land use shall be planned and developed to avoid, or if avoidance is not possible, minimize and mitigate any potential adverse effects from odour, noise and other contaminants, and minimize risk to public health and safety, and to ensure the long term economic viability of major facilities in accordance with provincial guidelines and procedures. The proposed development supports a land use pattern that avoids risk to public health and safety.

The subject property is located within a location planned for industrial uses. The proposed development implements appropriate buffers, landscape treatments, and

noise mitigation measures that will be implemented through the By-law amendment and Site Plan approval process.

Based on the above, staff is satisfied that the proposed Zoning By-law Amendment is consistent with the policies of the Provincial Planning Statement.

Municipal Planning Documents

Region of Peel Official Plan, 2022

Bill 185, the Cutting Red Tape to Build More Homes Act, 2024, received Royal Assent on June 6, 2024. Included in that omnibus bill are Planning Act changes first introduced through Bill 23, the More Homes Built Faster Act, 2022, which remove planning policy and approval responsibilities from several upper-tier municipalities, including Peel Region, as of July 1, 2024. On this date, the Region of Peel Official Plan (RPOP) became a plan of the local municipalities, and as such the City of Brampton is required to implement and ensure applications conform to the RPOP.

The subject lands are located within the 'Urban System' as delineated in "Urban System" in Schedule E-1: Regional Structure. The proposed development represents an efficient built form that will optimize the use of an underutilized and utilize existing infrastructure.

The proposed development contributes to a healthy, complete urban community in accordance with S.5.4.10 and S.5.6.2. It provides diversified land uses through the inclusion of office and warehouse uses and will also have access to surrounding transit options and active transportation. The proposal will utilize existing and planned infrastructure and as such will contribute toward the optimization of the use of Regional resources. The proposal is a representative of efficient growth and development, which will assist in achieving the Regional growth and employment targets for the City of Brampton. The proposal and its location within the Regional Urban Boundary are consistent with the Regional Official Plan's goal of ensuring that development and redevelopment takes place in a timely, orderly and sequential manner.

The proposal is of a compact and efficient built form while efficiently using land, services, and infrastructure, with consideration of the characteristics of the existing surrounding residential communities and services in accordance with Section 5.6.3. The proposal will assist Brampton in fulfilling numerous planning objectives including meeting and accommodating Regional Growth and Employment forecasts. Furthermore, the proposal directs development to the urban system in accordance with Section 5.6.11 of the Region of Peel Official Plan.

The proposal will contribute to a complete community and intensify once underutilized lands to incorporate an industrial building within the existing Prologis Distribution Centre. Furthermore, in accordance with Sections 5.6.19.2 and 5.6.19.4, the proposed development incorporates a connection to the existing public sidewalk system which provides a pedestrian-friendly walkable access to other land uses in the community.

Based on the above, staff is satisfied that the proposed Zoning By-law Amendment conforms to the policies of the Region of Peel Official Plan.

City of Brampton Official Plan (2006)

The property is designated 'Industrial', 'Open Space', 'Corridor Protection Area' and 'Special Study Area' in Schedule A: General Land Use Designations. The "Industrial" designation permits light to heavy industrial uses such as manufacturing, processing, repair and service, warehousing, and distribution. The proposed industrial building conforms to the uses of the 'Industrial' zone as it will be used for office and warehousing purposes. The Special Study Area designation is related to ongoing comprehensive land use studies as the lands are part of Clarkway Drive/ Castlemore Road / Mayfield Road Special Study Area. The purpose of this study is to designate additional employment land and find opportunities to identify existing designated lands were identified, in accordance with S.4.14.1.1. Lands in the Corridor Protection Area are being protected for the accommodation of the arterial road network and high order transportation facilities required within this area of Brampton, in accordance with S.4.14.2.3.2 and S.4.14.2.3.3.

The City of Brampton is anticipated to receive significant residential and employment growth with the expectation that portions of the growth is accommodated for within the built-up area using existing servicing. The City of Brampton Official Plan encourages the balance of commercial development to balance residential uses. The proposal is expected to achieve the minimum density on the lands that are being rezoned for employment uses.

The proposal conforms to the 'Open Space' designation of the Official Plan. The proposed draft Zoning By-law Amendment identifies that the 'Open Space' area will be placed in a protective zone which will limit development on that specific portion of the land. The subject site is occupied by one (1) single-detached residential dwelling with accessory structures which includes a detached garage and shed. The existing dwelling is officially listed in Brampton's Heritage Registrar as a built heritage resource that possesses cultural heritage values. As part of the future site plan application, a Heritage Impact Assessment (HIA) will be submitted and reviewed to determine the structural integrity of the heritage dwelling.

The proposed land use changes are supportable from a land use planning perspective, and are consistent with the intent of the Official Plan. Staff is satisfied that the proposed application to amend the Zoning By-law conforms to the City of Brampton's Official plan and therefore an amendment is not required.

Brampton Plan (2023)

The property is designated 'Employment Area' in Schedule 1A and 'Employment' in Schedule 2: Designations of the Official Plan. The 'Employment' designation permit land

uses such as warehousing, distribution, construction, light and heavy industrial uses, trades, outdoor storage, and other uses requiring a range of land parcel sizes.

The proposed industrial development effectively addresses and fulfills these outlined objectives as it strategically aligns with the City's comprehensive vision for economic growth and sustainable development, in accordance with S.2.2.8, S.2.2.8.1, S.2.2.8.3. It is conveniently accessible through the planned and existing local and region road network, as well as the provincial highway system. In accordance with S.2.2.8.9 and S.2.2.8.10, the proposal leverages the proximity to key transportation infrastructure as described, the development can ensure a high level of connectivity and accessibility for the movement of goods and services, thereby facilitating efficient trade and business operations in the City and Region.

The proposed development will contribute to the creation of a vibrant and dynamic economic landscape, promoting the growth of the business community, and to support the operation of various industries while also accommodating the needs of the local workforce in accordance with. The jobs and economic opportunities created in the proposed development will enhance the overall accessibility for both future businesses and employees in the area, fostering a thriving and integrated community within the industrial district.

Based on the above, Staff is satisfied that the proposed Zoning By-law Amendment is consistent with the policies of the 'Brampton Plan'.

Highway 427 Industrial Secondary Plan (Area 47)

The property is designated 'Logistic/Warehouse/Transportation', 'Scoped Appealed Lands', and 'Valleyland' within the Highway 427 Industrial Secondary Plan (Area 47).

The subject property is located within a location planned for industrial uses. The proposed industrial building is consistent with the Secondary Plan designation. The proposed development implements appropriate buffers, landscape treatments, and noise mitigation measures that will be implemented through the By-law amendment and Site Plan approval process in accordance with S.5.2.9.2 and S.5.2.9.4.

A portion of the property is designated 'Valleyland' within the Secondary Plan. Although typically development on valleyland features are not permitted, S.5.3.1.1, S.5.3.1.2, and S.5.3.1.7 states that the limits of a valleyland feature may be refined through the completion of the Master Environmental Servicing Plan, Environmental Implementation Report or Environmental Impact Study. Minor refinements to the valleyland features that do not impact the function of the feature or result in any significant decrease in size of the final valleyland may be considered as per S.5.3.1.4. The proposal contemplates the development of an industrial building on the subject lands. The footprint of the industrial building is proposed to encroach into the valleyland feature, since the impact to the valleyland is minimal, an amendment to the Secondary Plan is not required. In

accordance with S.5.3.1.3, a protection zone will be implemented into the Zoning By-law to protect the valleyland feature.

Based on the above, Staff is satisfied that the proposed Zoning By-law is consistent with the policies of the Highway 427 Industrial Secondary Plan (SP47).

Zoning By-law

To facilitate the proposed employment uses, the applicant is proposing to rezone the lands to 'Industrial Four – Section 3598 (M4-3598)' and Open Space (OS). This is an existing zone that is currently the zoning designation for the majority of the Prologis Distribution Centre. The M4-3598 zone permits the following uses:

- All of the industrial (warehouse, manufacturing, packaging, processing, repairing)
- uses permitted in the Prestige Industrial (M4) zone category;
- Non-industrial (office, hotel, conference centre, and associated commercial / retail uses to a maximum of 15% of the primary use; and,
- Outdoor Storage, that will be subject to locational and screening criteria;

In addition, the following site specific zoning requirements are provided to ensure that the proposed development achieves the prescribed objectives, policies and principles of the Official Plan and area Secondary Plan. These provisions stipulate:

- Where the openings for waste disposal and loading facilities on any building face a public street, they shall be screened from view from the street;
- Garbage and refuse storage shall be screened within an enclosure constructed from materials that are compatible with the main building climate controlled area within a building; and,
- Building setbacks for the industrial building.

As per Schedule A of the Official Plan and Schedule SP47(a) of the Highway 427 Industrial Secondary Plan, the subject lands include a valleyland feature. A protection zone will be implemented into the Zoning By-law to limit development on that specific portion of the land.

At this time, Staff is satisfied with the recommended Zoning By-law Amendment and note that a protective zone shall be included in the by-law prior to enactment.

Community Engagement

Notice of the statutory public meeting for this application (to also be held at the same Planning and Development Committee meeting for the consideration of this Recommendation Report - June 9th 2025) was circulated to property owners within 240 metres of the subject lands through mail service and by advertisement on the City's website and the Brampton Guardian. Notice signs were also placed on the subject lands. These notices exceed the Planning Act's requirements.

This report along with the complete application requirements, including studies, have been posted to the City's website.

The same Planning and Development Committee meeting (June 9, 2025) is proposed for both the Statutory Public Meeting and the Recommendation Report, considering that the proposed industrial land use was already previously approved for a large portion of the subject property, and to create an expedited process (refer to City File No. C11E15.002) for the proposed employment generating development.

At the time of writing this report, there has been no formal comment received by the public on the application. If questions arise from the public meeting which are not able to be adequately responded to, Council may consider referring this matter back to staff.

CORPORATE IMPLICATIONS:

Financial Implications:

There are no financial implications identified at this time. Revenue collected through development application fees are accounted for in the approved operating budget.

Other Implications:

There are no other corporate implications associated with this application.

STRATEGIC FOCUS AREA:

The application is consistent with the Strategic Focus Area - Growing Urban Centres & Neighbourhoods. This development proposal will facilitate the development of underutilized lands and will assist in growing of Brampton's economy by helping to create complete communities that are strong and connected.

Living the Mosaic – 2040 Vision

This report directly aligns with the vision that Brampton will be a mosaic of complete neighbourhoods and vibrant centres with quality jobs. This report has been prepared in full consideration of the overall vision that the people of Brampton will 'Live the Mosaic'.

CONCLUSION:

Staff is satisfied that the proposed Zoning By-law Amendment is generally in accordance with Attachment 11, represents good planning. The proposal has regard for matters of provincial interest in Section 2.0 of the Planning Act, and the proposed development is consistent with the Provincial Policy Statement (2024). Furthermore, the proposal conforms to the principles and policy direction of the Region of Peel Official Plan, the City of Brampton Official Plan (2006), Brampton Plan (2023), and the Highway 427 Industrial Secondary Plan (Area 47).

The report recommends that Council enact the Zoning By-law Amendment generally in accordance with Attachment 11. The Zoning By-law Amendment application is appropriate for the orderly development of the lands considering the following:

- The proposal has regard for matters of provincial interest under the Planning Act;
- The proposal is consistent with the Provincial Policy Statement (2024);
- The development proposes an industrial development which will contribute to the employment growth within the City; and
- The application has been circulated to the appropriate internal reviewers and external agencies to ensure technical matters have been adequately addressed.

The application is appropriate for the orderly development of the lands and represents good planning. Staff recommends approval of the Zoning By-law Amendment, as the proposal is in regard for the public interest.

Authored by:

Reviewed by:

Chinoye Sunny
Development Planner
Planning, Building and Growth
Management

Allan Parsons, MCIP, RPP
Director, Development Services & Design
Planning Building and Growth
Management

Approved by:

Approved by:

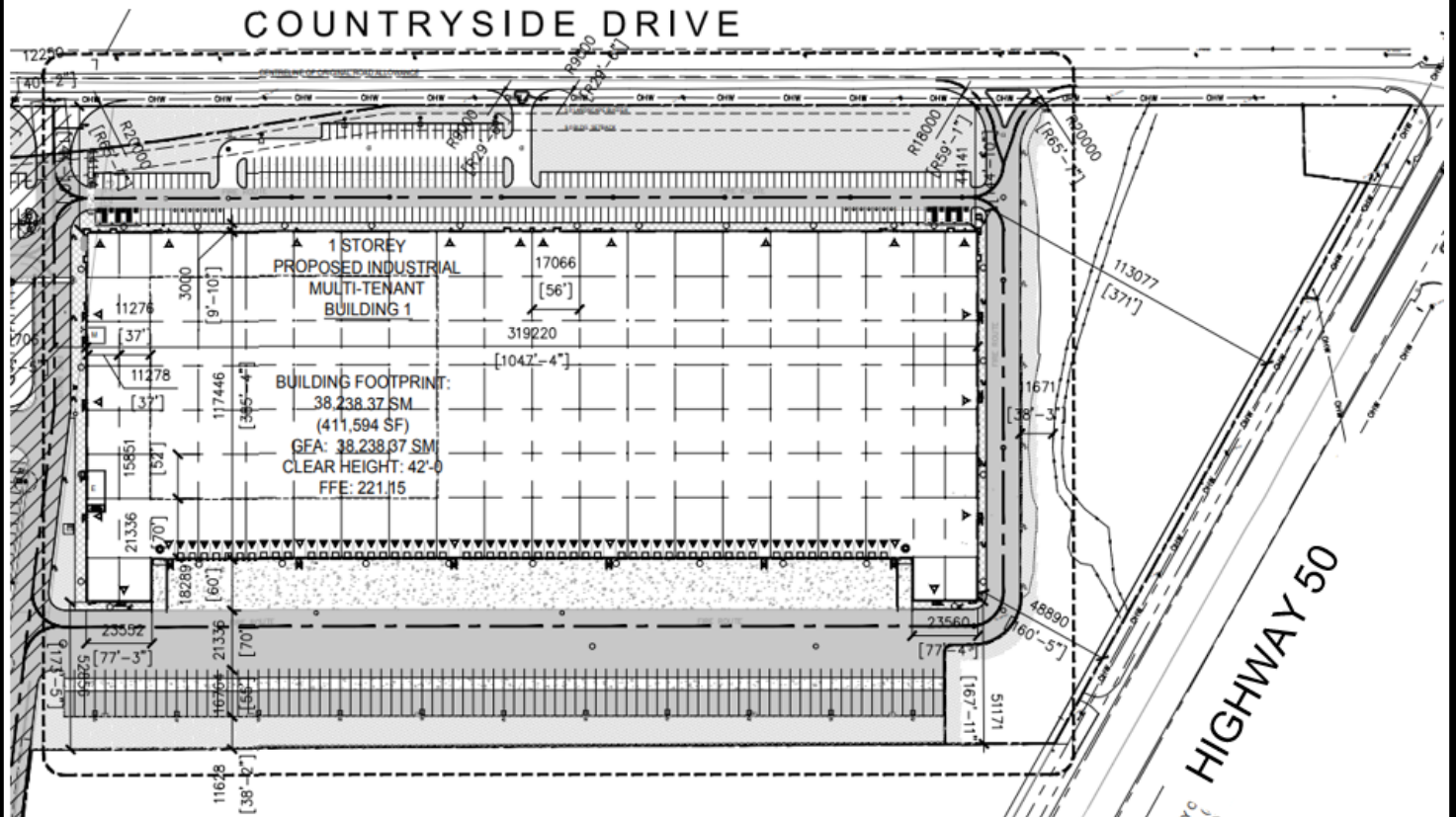
Steve Ganesh, MCIP, RPP
Commissioner
Planning, Building and Growth
Management

Marlon Kallideen
Chief Administrative Officer

Attachments:

- Attachment 1 – Concept Plan
- Attachment 2 – Location Map
- Attachment 3 – Official Plan Map
- Attachment 4 – Secondary Plan Map
- Attachment 5 – Zoning Map
- Attachment 6 – Aerial and Land Use Map
- Attachment 7 – Heritage Resources Map
- Attachment 8 – Brampton Plan Map

- Attachment 9 – Results of External Circulation
- Attachment 10 – Detailed Planning Analysis
- Attachment 11 – Draft Zoning By-law Amendment
- Attachment 11A – Draft Zoning By-law Amendment Schedule



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 PLANNING, BUILDING AND GROWTH MANAGEMENT

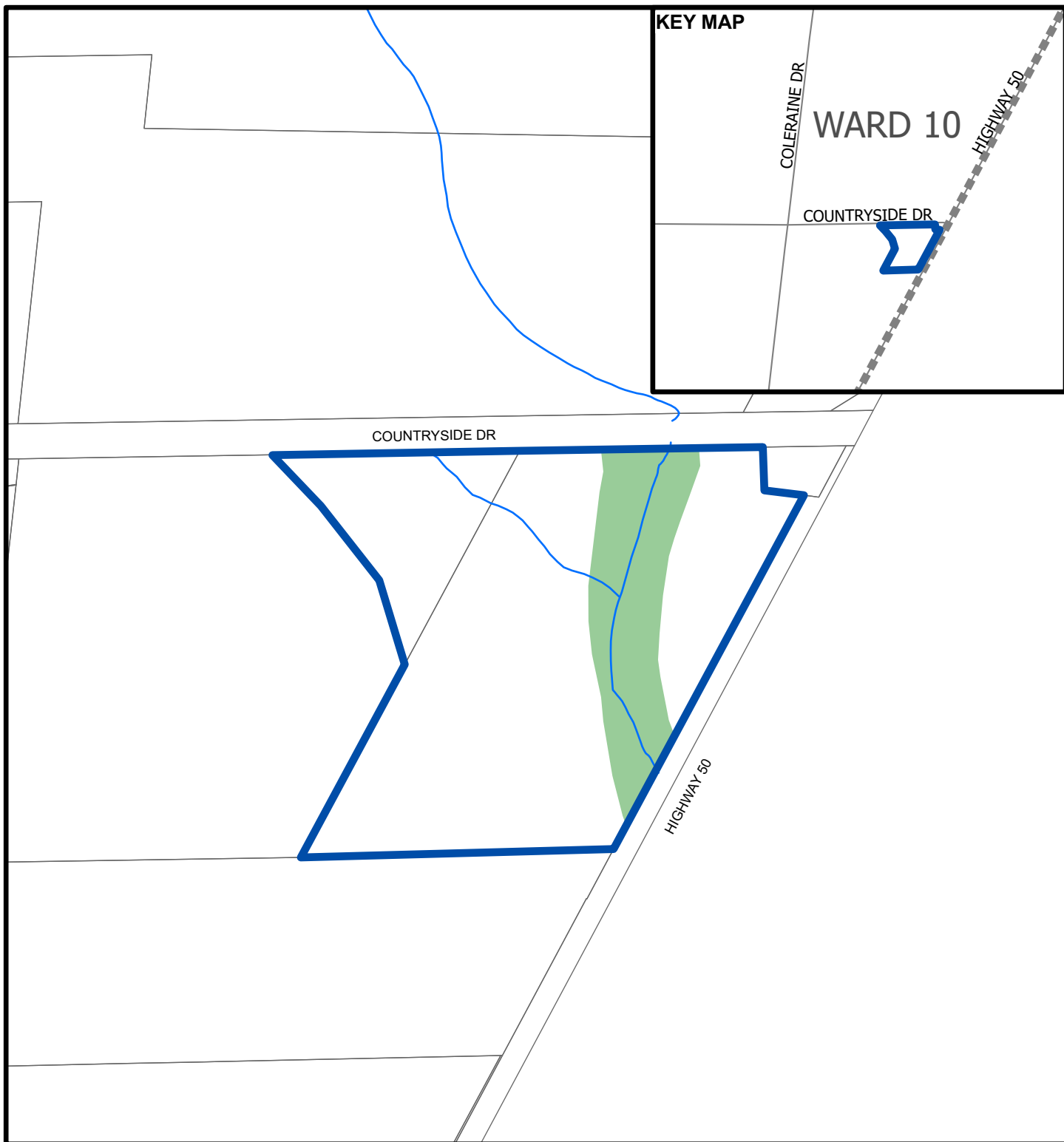


**ATTACHMENT 1
 CONCEPT PLAN**

MAINLINE PLANNING SERVICES INC.
 AMB AMALCO BP 1 & 3 CANCO, INC
 CITY FILE: OZS-2025-0003

Date: 2025.05.06

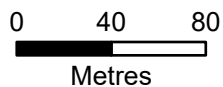
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- Major Watercourse
- Park
- Parcel Fabric
- Subject Lands



PLANNING, BUILDING AND GROWTH MANAGEMENT

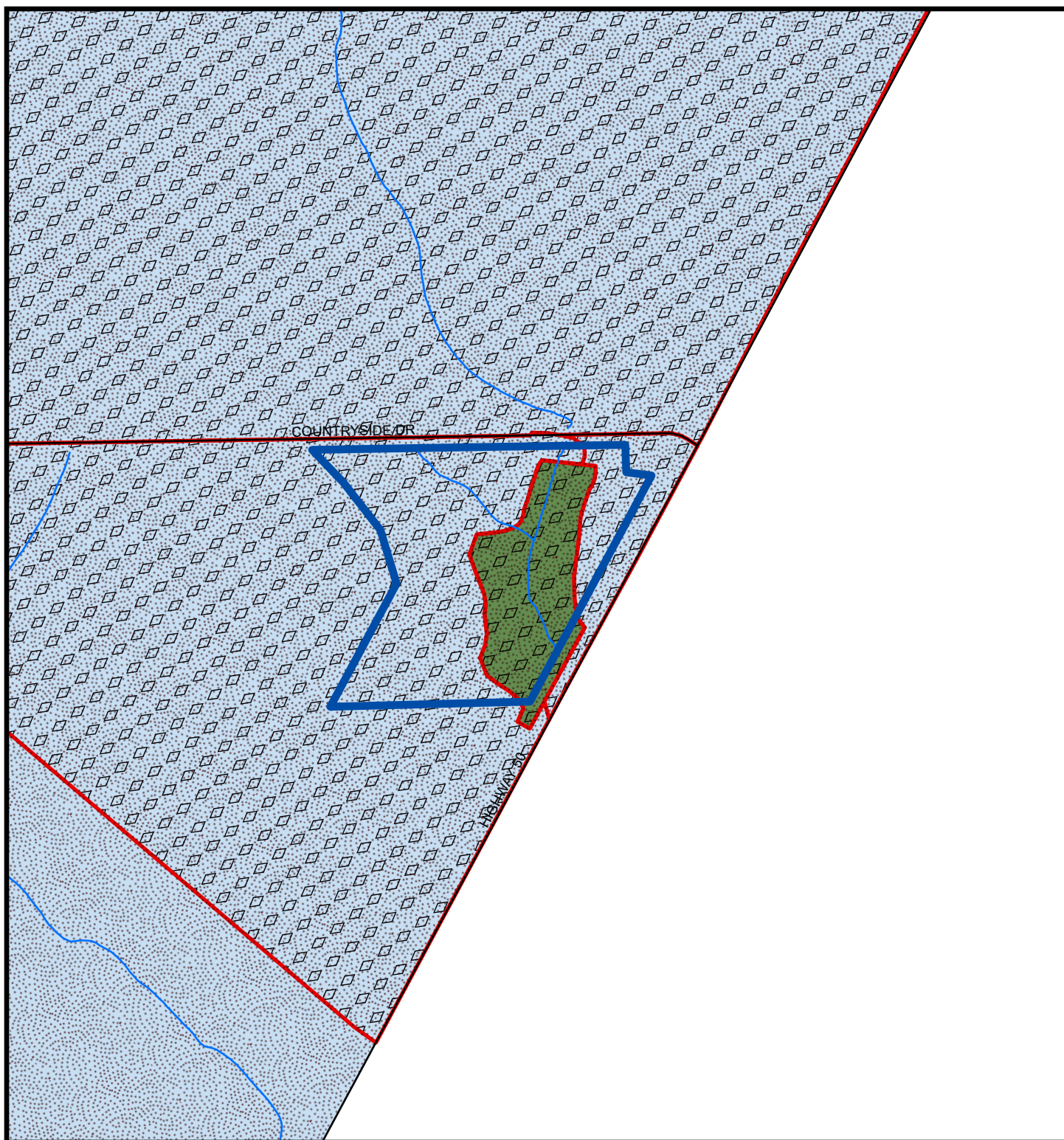


Date: 2025/05/05

APPENDIX 2 LOCATION MAP

Applicant: Mainline Planning Services Inc.
Owner: AMB AMALCO BP 1 & 3 CANCO, INC

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 CITY FILE: 025-2025-0003

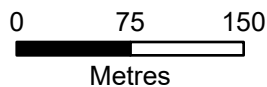


EXTRACT FROM SCHEDULE A (GENERAL LAND USE DESIGNATIONS) OF THE CITY OF BRAMPTON OFFICIAL PLAN

- | | |
|--|--|
|  MAJOR WATERCOURSES |  INDUSTRIAL |
|  SPECIAL STUDY AREA |  OPENSACE, UTILITY/OPENSACE |
|  CORRIDOR PROTECTION AREA |  Subject Lands |



PLANNING, BUILDING AND GROWTH MANAGEMENT

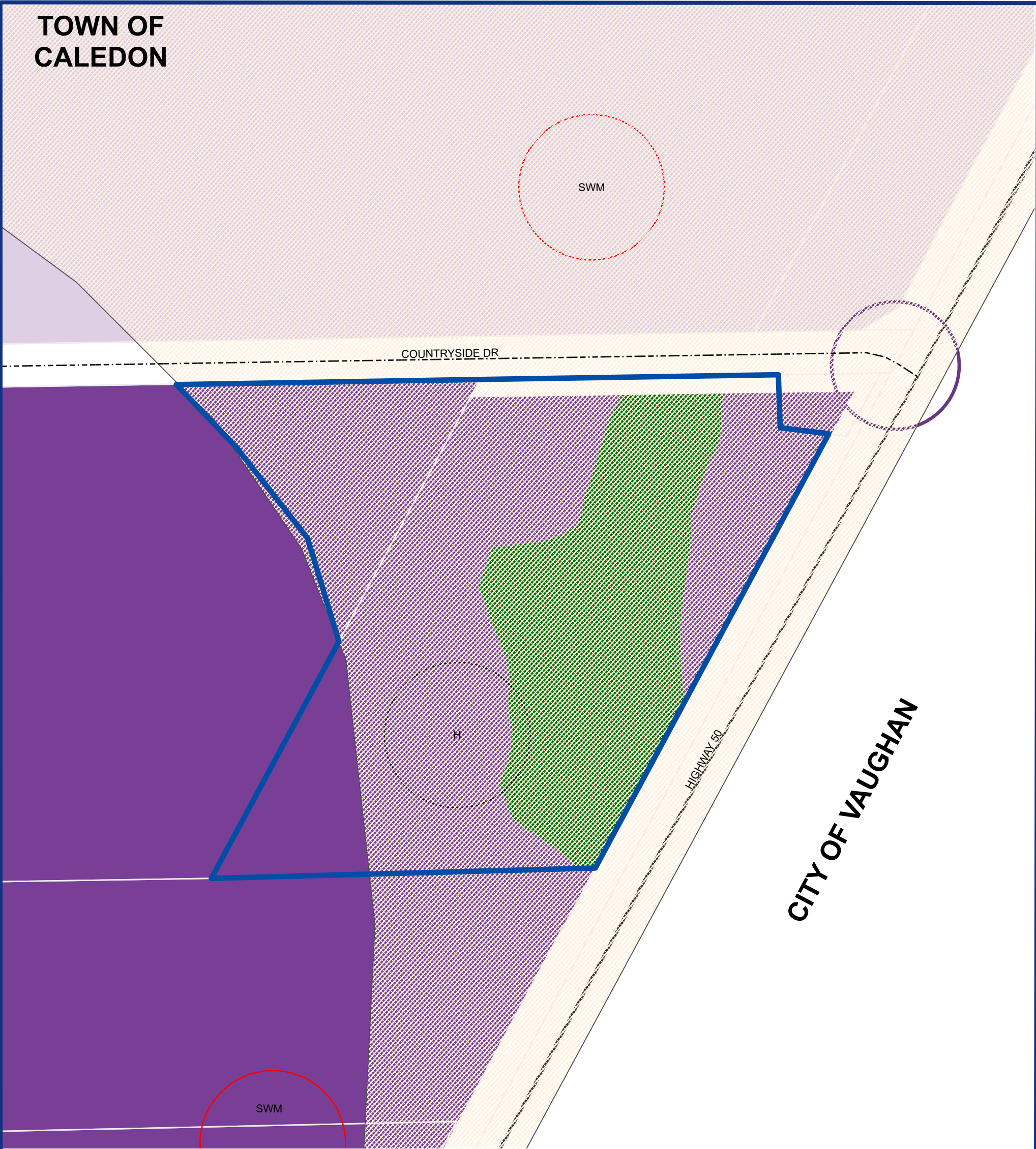


Author: CAntoine
Date: 2025/05/05

APPENDIX 3 OFFICIAL PLAN DESIGNATIONS

Applicant: Mainline Planning Services Inc.
Owner: AMB AMALCO BP 1 & 3 CANCO, INC
Page 59 of 131
CITY FILE: 025-2025-0003

TOWN OF CALEDON



RESIDENTIAL

- LOW DENSITY RESIDENTIAL
- LOW / MEDIUM DENSITY RESIDENTIAL
- EXECUTIVE RESIDENTIAL
- MEDIUM DENSITY RESIDENTIAL
- HIGH DENSITY RESIDENTIAL

EMPLOYMENT

- OFFICE NODE
- LOGISTIC/WAREHOUSE/TRANSPORTATION
- BUSINESS PARK
- PRESTIGE INDUSTRIAL
- MIXED COMMERCIAL / INDUSTRIAL

COMMERCIAL

- DISTRICT RETAIL
- NEIGHBOURHOOD RETAIL
- CONVENIENCE RETAIL
- HIGHWAY COMMERCIAL
- SERVICE COMMERCIAL

ROAD NETWORK

- MAJOR ARTERIAL ROAD
- MINOR ARTERIAL ROAD
- MAJOR COLLECTOR ROAD
- ROAD ACCESS (POTENTIAL/CONCEPTUAL)
- COLLECTOR ROAD

NATURAL HERITAGE SYSTEM

- SIGNIFICANT WOODLANDS
- VALLEYLAND
- WETLAND RESTORATION AREA

RECREATION OPEN SPACE

- COMMUNITY PARK
- NEIGHBOURHOOD PARK
- PARKETTE

INSTITUTIONAL

- PUBLIC SECONDARY SCHOOL
- CATHOLIC ELEMENTARY SCHOOL
- ELEMENTARY SCHOOL
- FIRE STATION
- PLACE OF WORSHIP

Subject Lands

UTILITIES AND INFRASTRUCTURE

- TRANS CANADA PIPELINE
- Corridor Protection Area (Reduced in accordance with the Northwest GTA Corridor Identification Study Area - MTO 2018)
- PRIMARY GATEWAY
- SECONDARY GATEWAY
- HERITAGE RESOURCE
- SPECIAL POLICY AREA
- SP-47 BOUNDARY
- SWM FACILITY
- CEMETERY
- SCOPED APPEALED LANDS

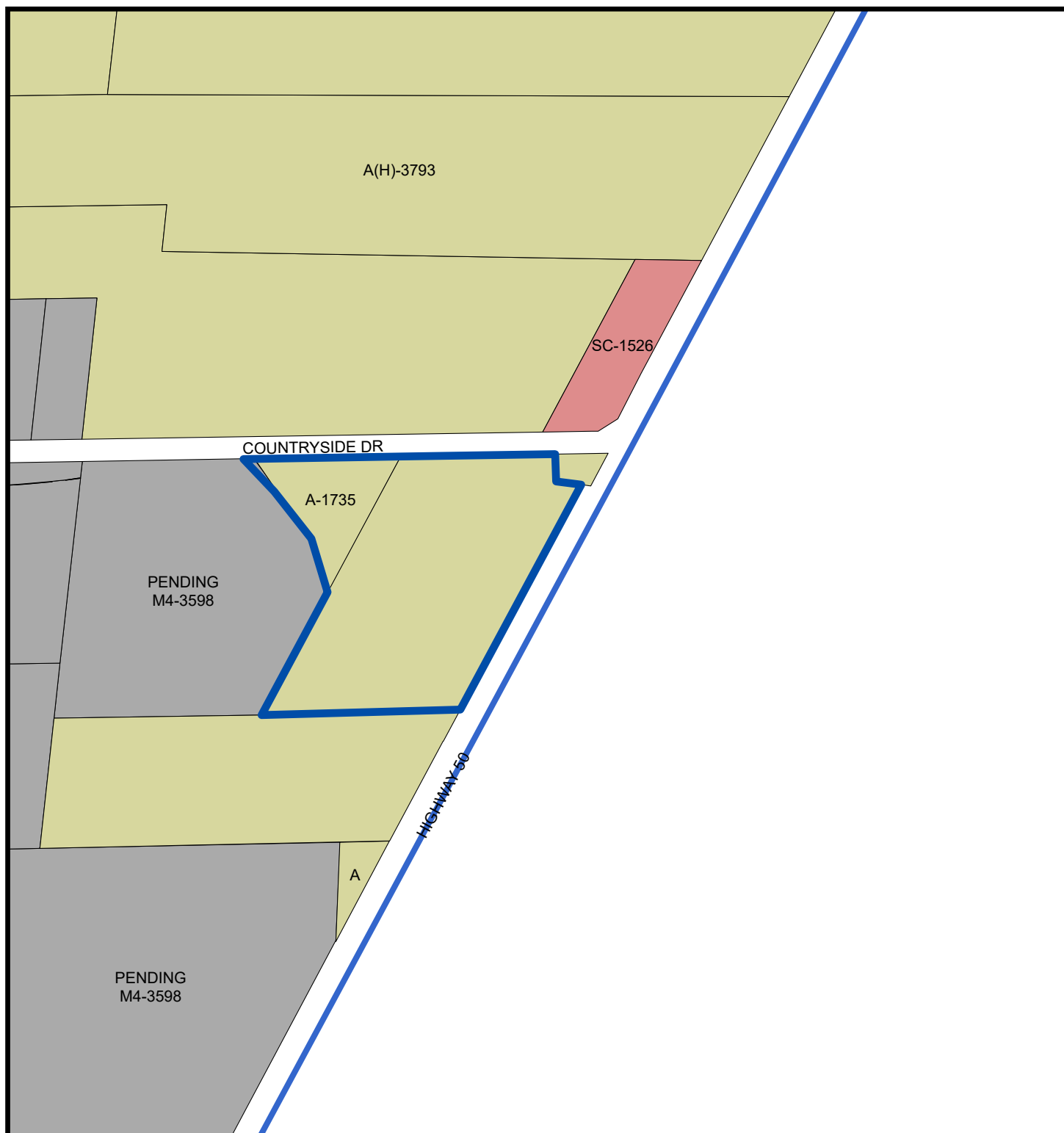



0 0.02 0.04 0.07 0.11

Kilometres



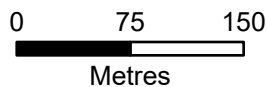
Applicant: Mainline Planning Services Inc.
Owner: AMB AMALCO BP 1 & 3 CANCO, INC



-  City Limit
-  INDUSTRIAL
- ZONING CATEGORY**
-  AGRICULTURAL
-  COMMERCIAL
-  Subject Lands



PLANNING, BUILDING AND GROWTH MANAGEMENT



Author: CAntoine
Date: 2025/05/05

APPENDIX 5 ZONING MAP

Applicant: Mainline Planning Services Inc.
Owner: AMB AMALCO BP 1 & 3 CANCO, INC
 Page 61 of 171
 CITY FILE: 025-2025-0003



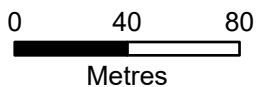
Orthomimagery: Fall 2024

- Agriculture
- Subject Lands
- Open Space

Note: Existing Land Use is derived from the property code of the most recently updated active address point on a parcel. Where there is not an active address point, property code from the most recently retired address point is used. Property codes are assigned, by Building, to the address point at creation.



PLANNING, BUILDING AND GROWTH MANAGEMENT



Author: CAntoine
Date: 2025/05/05

APPENDIX 6 AERIAL & EXISITNG LAND USE

Applicant: Mainline Planning Services Inc.
Owner: AMALCO BP 1 & 3 CANCO, INC

Page 6 of 11



PLANNING, BUILDING AND GROWTH MANAGEMENT

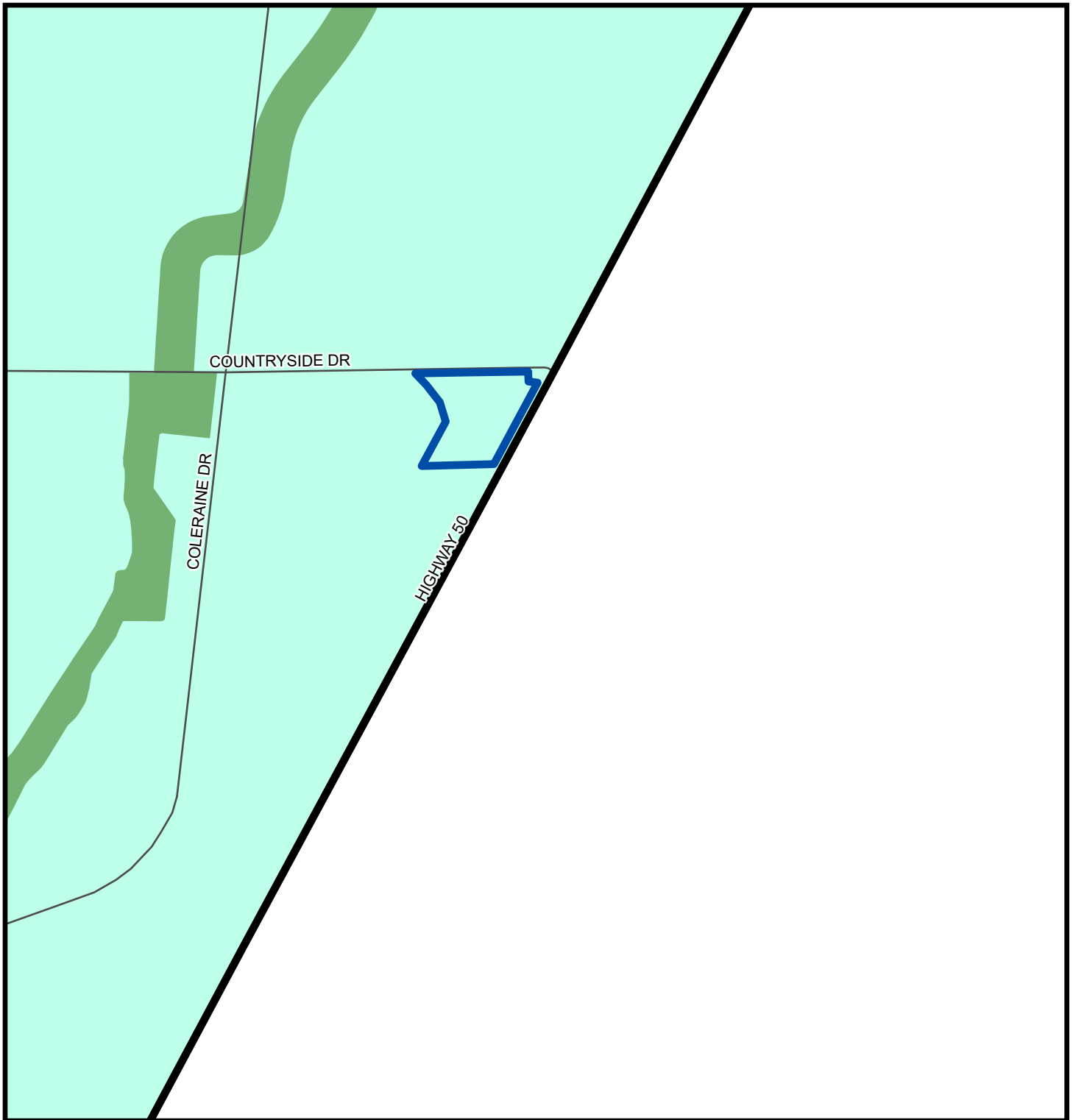
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Author: CAntoine
Date: 2025/05/05






APPENDIX 7 HERITAGE PROPERTIES

Applicant: Mainline Planning Services Inc.
Owner: AMB AMALCO BP 1 & 3 CANCO, INC

Page 63 of 131
CITY FILE: 025-2025-0003



EXTRACT FROM THE BRAMPTON PLAN 2023 SCHEDULE 2 DESIGNATIONS (subject to appeal)

- | | | |
|--|--|---|
|  TransCanada Pipeline | Designations |  NHS |
|  City Boundary |  Employment |  Subject Lands |

This map forms part of the Official Plan of the City of Brampton and must be read in conjunction with the text, other schedules and secondary plans.
The boundaries and alignments of designations and overlays on this schedule are approximate and are not intended to be scaled.



BRAMPTON



PLANNING, BUILDING AND GROWTH MANAGEMENT

0 220 440
Metres

Author: CAntoine
Date: 2025/05/05

ATTACHMENT 8

BRAMPTON PLAN 2023
SCHEDULE 2 DESIGNATIONS (subject to appeal)

Applicant: Mainline Planning Services Inc.
Owner: AMB AMALCO BP 1 & 3 CANCO, INC

Page 64 of 131
CITY FILE: 023-2025-0003

Sunny, Chinoye

From: Anthony Syhlonyk <Anthony.Syhlonyk@trca.ca>
Sent: 2025/04/16 11:55 AM
To: James Davidson; Sunny, Chinoye
Cc: Rebecca Archer
Subject: [EXTERNAL]OZS-2025-0003 TRCA Clearance
Attachments: Hwy 50_Zoning Comment Response Letter_Apr 14, 2025.pdf; PAR-DPP-2024-00531 - OZS-2025-0003 - 0 Countryside Drive.pdf

Caution: This email originated from outside the organization. Do not click links or open attachments that you do not trust or are not expecting.

Good morning,

TRCA staff have engaged with the applicant following our previous comments provided on February 26, 2025 to address minor remaining items as part of OZS-2025-00531. Further to these meetings and the attached comment response memo provided by the applicant on April 14, 2025 I can confirm that TRCA comments 1-3 have been addressed to our satisfaction and we are comfortable with remaining detailed design items being deferred the forthcoming SPA-2025-0048 which has not yet been circulated to TRCA.

As such. We have **no further objection** to the approval of OZS-2025-0003.

We look forward to addressing our remaining technical comments as part of future municipal circulations.

Please let me know if you require anything further.

Regards,

Anthony Syhlonyk, MPlan

Planner

Development Planning and Permits | Development and Engineering Services

T: 1-437-880-1938

E: Anthony.Syhlonyk@trca.ca

** WE HAVE MOVED **

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca



All digital submissions and documents can be submitted to the following e-mail addresses:

Enquiries/ applications within Peel Region municipalities – peelplan@trca.ca

Enquiries/ applications within York Region municipalities – yorkplan@trca.ca

From: James Davidson <Jdavidson@mainlineplanning.com>

Sent: April 14, 2025 4:24 PM

To: Anthony Syhlonyk <Anthony.Syhlonyk@trca.ca>

Cc: Dilnesaw Chekol <Dilnesaw.Chekol@trca.ca>; Mena Iskander <miskander@cfcrozier.ca>; Rebecca Archer <rarcher@cfcrozier.ca>; James Boyd <jboyd@cfcrozier.ca>; Tony Nguyen (tnguyen4@prologis.com)

<tnguyen4@prologis.com>; Joe Plutino <jplutino@mainlineplanning.com>; Jairo Morelli <Jairo.Morelli@trca.ca>

Subject: RE: Prologis - Hwy. 50 DC1 (Phase 2): TRCA Floodplain Memo

EXTERNAL SENDER

Hi Anthony,

Thank you again to yourself and Dilnesaw for a very productive meeting this afternoon.

Please find attached our comment response letter including technical responses from Crozier. As discussed, please review and kindly provide me or Chinoye Sunny at the City with a 'clearance' memo indicating that the TRCA is supportive of the Zoning By-law Amendment application.

Thank you and kind regards,

James Davidson

Planner

mainline planning services inc.

P.O. Box 319 Kleinburg, Ontario L0J 1C0

email: jdavidson@mainlineplanning.com

office tel: 905-893-0046

fax: 888-370-9474

Office Hours: Monday to Friday – 8:30am to 4:30pm

From: Anthony Syhlonyk <Anthony.Syhlonyk@trca.ca>

Sent: Friday, April 11, 2025 1:11 PM

To: James Davidson <jdavidson@mainlineplanning.com>

Cc: Dilnesaw Chekol <Dilnesaw.Chekol@trca.ca>; Mena Iskander <miskander@cfcrozier.ca>; Rebecca Archer <rarcher@cfcrozier.ca>; James Boyd <jboyd@cfcrozier.ca>; Tony Nguyen (<tnguyen4@prologis.com>) <tnguyen4@prologis.com>; Joe Plutino <jplutino@mainlineplanning.com>; Jairo Morelli <Jairo.Morelli@trca.ca>

Subject: RE: Prologis - Hwy. 50 DC1 (Phase 2): TRCA Floodplain Memo

CAUTION: This email originated from a sender outside of Mainline Planning. Do not click this, open attachments or respond unless you recognize the sender and know the content is safe.

Hello James,

Apologies for not responding sooner, I was in an OLT session the majority of yesterday.

We have brief availability today between 3-4pm, otherwise we have more general availability after 1pm on the 14th. Please send any invitations to the CC'd TRCA staff and we will look to accommodate.

Thank you,

Anthony Syhlonyk, MPlan

Planner

Development Planning and Permits | Development and Engineering Services

T: 1-437-880-1938

E: Anthony.Syhlonyk@trca.ca

** WE HAVE MOVED **

A: [5 Shoreham Drive, Toronto, ON, M3N 1S4](#) | trca.ca

All digital submissions and documents can be submitted to the following e-mail addresses:

Enquiries/ applications within Peel Region municipalities – peelplan@trca.ca

Enquiries/ applications within York Region municipalities – yorkplan@trca.ca

From: James Davidson <jdavidson@mainlineplanning.com>

Sent: April 9, 2025 4:48 PM

To: Anthony Syhlonyk <Anthony.Syhlonyk@trca.ca>

Cc: Dilnesaw Chekol <Dilnesaw.Chekol@trca.ca>; Mena Iskander <miskander@cfcrozier.ca>; Rebecca Archer <rarcher@cfcrozier.ca>; James Boyd <jboyd@cfcrozier.ca>; Tony Nguyen (tnguyen4@prologis.com) <tnguyen4@prologis.com>; Joe Plutino <jplutino@mainlineplanning.com>

Subject: Prologis - Hwy. 50 DC1 (Phase 2): TRCA Floodplain Memo

EXTERNAL SENDER

Good afternoon, Anthony,

Over the past few weeks Crozier has been diligently working on floodplain modelling of the HDF adjacent to the second phase of development. We're looking to schedule a meeting this week so that we can share with you the findings of this analysis.

As time is of the essence, would you be available tomorrow or Friday for a 30-min Team's meeting?

Thanks in advance and we look forward to hearing from you!

Kind regards,

James Davidson

Planner

mainline planning services inc.

P.O. Box 319 Kleinburg, Ontario L0J 1C0

email: jdavidson@mainlineplanning.com

office tel: 905-893-0046

fax: 888-370-9474

Office Hours: Monday to Friday – 8:30am to 4:30pm

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Although reasonable efforts have been taken to ensure that this electronic mail message (including any attachments hereto) does not contain known computer viruses or any other harmful code, you should take reasonable and appropriate precautions to scan for computer viruses.

Thank you.

Public Works

10 Peel Centre Dr.
Suite A
Brampton, ON
L6T 4B9
tel: 905-791-7800

peelregion.ca

April 29, 2025

Chinoye Sunny
City of Brampton
2 Wellington Street West
Brampton ON, L6Y 4R2
chinoye.sunny@brampton.ca

**RE: Region of Peel Comments
 Zoning By-law Amendment
 0 Countryside Drive
 Mainline Planning Services Inc. on behalf of AMB Amalco BP 1 & 3
 Canco, Inc. (Prologis Phase 2)
 City File Number: OZS-2025-0003
 Regional File Number: RZ-25-003B**

Dear Chinoye,

Region of Peel staff have reviewed the first submission (R0) materials for the above-noted Zoning By-law Amendment application received on January 27, 2025 and April 16, 2025.

The application proposes to rezone a portion of the property from Agricultural – Section 1735 (A-1735) to Industrial Four – Section 3598 (M4-3598). These lands were previously excluded from the prior Zoning By-law Amendment as that portion of the property was originally within the MTO Highway 413 Focus Analysis Area (FAA). The Zoning By-law Amendment will ultimately facilitate the construction of a 38,238 m² (411,590.41 ft²) industrial building, being the third distribution building within the Prologis Brampton Distribution Center currently under construction.

Region of Peel Planning Authority

In accordance with Bill 185 which received Royal Assent on June 6, 2024, as of July 1, 2024, the Region has become an upper tier municipality without planning responsibilities. As such, lower-tier municipalities have assumed planning policy and approval responsibilities of the regional municipality, including primary responsibility for all planning in their geographies, except for matters requiring provincial approval. Per section 70.13(2), the Region's official plan will be deemed to constitute the official plan of the City of Brampton, and conformity will still be required until such time as Brampton amends Peel's Official Plan and approval is provided by the Province. Therefore on July 1, 2024, the current Region of Peel Official Plan shall be implemented by the City of Brampton.

Notwithstanding the above, at this time it is anticipated that beyond July 1, 2024, the Region's mandate will continue to include the provision of hard and soft services to the community, including but not limited to servicing, transportation, waste management, affordable housing, health services,

emergency services, etc. To this end the Region will continue to have an interest in community building to ensure the efficient, financially sustainable and effective delivery of infrastructure and services.

ACTION REQUIRED: Outstanding Application Fee

In the September 18, 2024 Region Pre-Consultation Checklist (PRE-2024-0094), it was identified that the Site Plan Application Review Fee of \$3,256.94 would be required as part of a complete Site Plan application. This was identified on the basis that a Site Plan application was required, and not a Zoning By-law Amendment.

On January 30, 2025, the Site Plan Application Review Fee was paid in the amount of January 30, 2025. The Region has not yet received a Site Plan application circulation from the City. Instead, the Region received this Zoning By-law Amendment application. Therefore, the Region's Zoning By-law Amendment Commenting Fee in the amount of \$4,937.94 is outstanding. This was communicated to the applicant on April 17, 2025. To date, this fee has not been paid.

To resolve the outstanding Zoning By-law fee, the applicant may submit payment for the difference of the two amounts (\$4,937.94-\$3,256.94=\$1,681), or alternatively, submit a new payment for the totality of the Zoning By-law Amendment fee (\$4,937.94) and the Region will hold the payment of the Site Plan to be applicable towards the payment required when the Site Plan is submitted.

Please be advised that resolution to this outstanding payment will be required prior to the Region providing clearance on the Zoning By-law Amendment.

The Region of Peel is currently accepting all payments in the form of Electronic Funds Transfer (EFT). Please email zzg-eftadvice@peelregion.ca to arrange setup of the EFT process. Kindly insert and complete the application information found below into your email request.

Name of Individual/Company Making Payment: **[Insert]**

Address: **[Insert]**

Dollar Amount of Payment: \$4,937.94

Region of Peel File Number: RZ-25-003B

Development Services

The Region has reviewed the application and recognizes the nature of the Zoning By-law Amendment and context of the overall development. The proposal is to essentially extend the existing zoning applied to the Phase 1 Prologis development to incorporate the Phase 2 lands which are within the GTA West Corridor.

The Region understands that the City has determined that this Zoning By-law Amendment application is required to address a zoning deficiency on site, prior to the Site Plan application being submitted. The City identified the required application materials, which included a Traffic Impact Study and Functional Servicing Report. The Region was not consulted on the requirements to support the Zoning By-law Amendment application.

The materials submitted support of this application were largely those materials submitted for Phase 1 of the Prologis development. Some components of these materials preliminarily addressed matters of Phase 2. The Region has reviewed these materials and determined that

Public Works

10 Peel Centre Dr., Suite A, Brampton, ON L6T 4B9
Tel: 905-791-7800 www.peelregion.ca

they are sufficient for the purposes of this application; however, there are a number of revisions which will be required to these reports which will be required as part of a submission of a complete Site Plan application. It is important to note that there are outstanding matters related to servicing, transportation/traffic, stormwater management and the Highway 50 Capital Project which are critical for the delivery of Regional services and must be addressed as part of a future Site Plan application submission. While a brief summary of these items are identified below, Appendix 'A' attached to this letter, provides more detailed formal comments as it relates to the requirements of the future Site Plan application for not only these matters, but others which have been identified as part of a review of this application.

- *Servicing*: Based on the Functional Servicing Report (FSR), water servicing is proposed to connect to the 300 mm watermain on Coleraine Drive via the Phase 1 development, while the sanitary sewer servicing is proposed to connect to the 900 mm diameter sanitary sewer on Highway 50. This sanitary sewer connection is a non-standard connection and will require additional review by the Region to explore permission to connect. The FSR does not include the specifics of the Phase 2 development or servicing plans which identify the proposed development and the proposed connections. The updated FSR and plans are required as part of a complete Site Plan application.
- *Transportation/Traffic*: An updated Traffic Impact Study is required to update the traffic volume estimates, include a capacity analysis of nearby public road intersections and review the accommodation of Long Combination Vehicles on the property. The Site Plan is to be updated to identify property requirements identified within the Region of Peel Official Plan and the Highway 50 Capital Project. The updated TIS and Site Plan are required as part of a complete Site Plan application.
- *Stormwater Management*: An updated Functional Servicing Report (FSR) and supporting plans, as well as a maintenance plan and letter are required to address the stormwater management solution for these lands, which is to be include the adjacent developments to the south. The stormwater management solution is to be aligned with the Highway 50 Capital Project works as well. The updated FSR and plans are required as part of a complete Site Plan application.
- *Highway 50 Capital Project*: There is an ongoing Capital Project #11-4080 to widen Highway 50 from Castlemore Road to Mayfield Road, and also to widen Mayfield Road from Regional Road 50 to Coleraine Drive. The capital project is at 100% detailed design (Project Manager: Sandra Sadek). This development application falls within the limits of this project. The Region will require the gratuitous dedication of lands to support the Capital Project prior to Site Plan approval. An updated Site Plan is required which identifies the property requirements. In addition, Regional staff will review the proposed development to ensure that there are no conflicts with the Highway 50 Capital Project. The updated Site Plan is required as part of a complete Site Plan application.

Conclusion

The Region has received and reviewed the first submission for the above-noted application and recognizes the nature of the Zoning By-law Amendment and context of the overall development. The proposal is to essentially extend the existing zoning applied to the Phase 1 Prologis development to incorporate the Phase 2 lands which are within the GTA West Corridor.

The materials submitted in support of this application were largely those materials submitted for Phase 1 of the Prologis development. Some components of these materials preliminarily

Public Works

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Tel: 905-791-7800 www.peelregion.ca

addressed matters of Phase 2. The Region has reviewed these materials and determined that they are sufficient for the purposes of this application; however, there are a number of revisions which will be required to these reports which will be required as part of a submission of a complete Site Plan application. It is important to note that there are outstanding matters related to servicing, transportation/traffic, stormwater management and the Highway 50 Capital Project which are critical for the delivery of Regional services and must be addressed as part of a future Site Plan application submission. Appendix 'A' attached to this letter, provides more detailed formal comments as it relates to the requirements of the future Site Plan application for not only these matters, but others which have been identified as part of a review of this application.

At this time the Region is unable to provide clearance of the above-noted Zoning By-law Amendment as the Regional commenting fee, as outlined in this letter, remains outstanding. The applicant is requested to submit the payment as soon as possible.

The Region requests notification of Council's decision on this matter.

If you have any questions or concerns, please contact me (stephanie.mcvittie@peelregion.ca 905.791.7800 x. 3992) at your earliest convenience.

Thank you,



Stephanie McVittie
Principal Planner
Planning and Development Services
Region of Peel

c.: James Davidson, Mainline Planning Services Inc. (jdavidson@mainlineplanning.com)
planningcomments@brampton.ca

Detailed Planning Analysis
City File Number: OZS-2025-0003

Overview

The proposal has been reviewed and evaluated against the Planning Act, Provincial Policy Statement (2024), the Region of Peel Official Plan, the City's Official Plan, and other applicable City of Brampton guidelines and priorities.

The Planning Act, Provincial Policy Statement (PPS), the Peel Regional Official Plan, and the Brampton Official Plan provide direction and policies that encourage efficient and sustainable development, and the use of existing infrastructure to provide an appropriate mix and density of land uses and built form. These documents support land use planning in a logical, well-designed manner that supports sustainable long-term economic viability.

Planning Act R.S.O 1990

The Planning Act is the provincial legislation which sets the rules for land use planning in Ontario. Part 1, Section 2 of the Act includes matters of Provincial Interest, which the Council of a municipality must have regard to. The following provides a discussion of these sections.

Section 2:

(e) The supply, efficient use of communication, transportation, sewage and water services and waste management systems;

(f) The adequate provision and efficient use of communication, transportation, sewage and water services, and waste management systems;

(h) The orderly development of safe and healthy communities;

(k) The adequate provision of employment opportunities;

(l) The protection of the financial and economic well-being of the Province and its municipalities;

(o) The protection of public health and safety;

(p) The appropriate location of growth and development;

(q) The promotion of development that is designed to be sustainable, to support public transit, and to be oriented to pedestrians;

(r) The promotion of built form that,

- i. Is well-designed,*
- ii. Encourages a sense of place, and*
- iii. Provides for public spaces that are high quality, safe, accessible, attractive, and vibrant.*

Analysis: Planning Act R.S.O 1990

The proposal is to permit the development of an industrial building with office and warehouse uses which allows for economic growth and employment opportunities in accordance with Sections 2h), k) and l) of the Planning Act. The proposed development will be compatible with the existing Prologis Distribution Centre, as this is the third building incorporated in the business distribution centre. No negative impacts to the surrounding community are anticipated in accordance with Section p) of the Planning Act.

The proposal represents orderly development as it will make efficient use of the lands that are currently occupied by single detached residential dwellings and accessory structures in accordance with Section p) of the Planning Act. The proposed development will contain a well-designed and high-quality built form that will enhance and contribute to the existing distribution centre in accordance with Section r) of the Planning Act.

Based on the above, Staff is satisfied that the proposed development has regard for matters of provincial interest in the Planning Act.

Provincial Planning Statement, 2024

The Government of Ontario released the updated Provincial Planning Statement (2024 PPS) on August 20, 2024, which is a streamlined province-wide land use planning framework that replaces both the 2020 PPS, and A Place to Grow: Growth Plan for the Greater Golden Horseshoe, 2019. The 2024 PPS provides a policy framework to support the provision of homes by enabling municipalities to plan for and increase housing supply; align development with infrastructure; build a strong and competitive economy; foster the long-term viability of rural areas; and protect agricultural lands, the environment and public health and safety. The 2024 PPS came into effect on October 20, 2024.

The proposal was reviewed for its consistency with the matters of provincial interest as identified in the Provincial Policy Statement (PPS). Through staff review it was determined that the proposed development has regard for the pertinent PPS policies that are applicable to this application:

2.3.1.2 - Land use patterns within settlement areas should be based on densities and a mix of land uses which:

- a) *efficiently use land and resources;*
- b) *optimize existing and planned infrastructure and public service facilities;*
- c) *support active transportation;*
- d) *are transit-supportive, as appropriate; and*
- e) *are freight-supportive.*

2.4.1.3 - Planning authorities should:

- a) *prioritize planning and investment for infrastructure and public service facilities in strategic growth areas;*
- b) *identify the appropriate type and scale of development in strategic growth areas and the transition of built form to adjacent areas;*

3.2.2 - Efficient use should be made of existing and planned infrastructure, including through the use of transportation demand management strategies, where feasible.

3.2.3 - As part of a multimodal transportation system, connectivity within and among transportation systems and modes should be planned for, maintained and, where possible, improved, including connections which cross jurisdictional boundaries.

3.5.1 - Major facilities and sensitive land uses shall be planned and developed to avoid, or if avoidance is not possible, minimize and mitigate any potential adverse effects from odour, noise and other contaminants, minimize risk to public health and safety, and to ensure the long-term operational and economic viability of major facilities in accordance with provincial guidelines, standards and procedures.

3.9.1 – Healthy, active, and inclusive communities should be promoted by:

- a) *Planning public streets, spaces and facilities to be safe, meet the needs of persons of all ages and abilities, including pedestrians, foster social interaction and facilitate active transportation and community connectivity;*
- b) *Planning and providing for the needs of persons of all ages and abilities in the distribution of a full range of publicly-accessible built and natural settings for recreation, including facilities, parklands, public spaces, open space areas, trails and linkages, and, where practical, water-based resources;*
- c) *Providing opportunities for public access to shorelines; and*
- d) *Recognizing provincial parks, conservation reserves, and other protected areas, and minimizing negative impacts on these areas.*

Analysis: Provincial Planning Statement

The proposed development is located within a Settlement Area as defined in provincial and municipal planning documents. The proposed development is consistent with these policies of as it represents a more efficient use of land than what currently exists on the subject property and contributes to the long term financial well being of the City through the creation of jobs and infrastructure to support economic activity in the area.

Policy 3.5.1 of the PPS states that major facilities and sensitive land use shall be planned and developed to avoid, or if avoidance is not possible, minimize and mitigate

any potential adverse effects from odour, noise and other contaminants, and minimize risk to public health and safety, and to ensure the long term economic viability of major facilities in accordance with provincial guidelines and procedures. The proposed development supports a land use pattern that avoids risk to public health and safety.

The subject property is located within a location planned for industrial uses. The proposed development implements appropriate buffers, landscape treatments, and noise mitigation measures that will be implemented through the By-law amendment and Site Plan approval process.

Based on the above, staff is satisfied that the proposed Zoning By-law Amendment is consistent with the policies of the Provincial Planning Statement.

Region of Peel Official Plan (April 2022)

The Region of Peel Official Plan sets the Regional context for more detailed planning by protecting the environment, managing resources, directing growth and establishing a basis for providing Regional services in an efficient and effective manner. The subject application is within the 'Urban System' in Schedule E-1: Regional Structure.

The proposal was evaluated against the applicable Region of Peel Official Plan Policies, and it was determined that the proposed development satisfies the pertinent Official Plan policies.

Section 5.3.1 Direct the vast majority of new population and employment growth to the Urban System, being lands within the Delineated Built-up Area with a focus on Strategic Growth Areas and other areas that leverage existing and planned infrastructure investments.

Section 5.4.6 To optimize the use of the existing and planned infrastructure and services.

Section 5.4.7 Promote the integration of land use planning, growth management, transit-supportive development, intensification, and infrastructure planning to achieve cost-effective development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs.

Section 5.4.8 To support planning for complete communities in Peel that are compact, well-designed, transit-supportive, offer transportation choices, include a diverse mix of land uses, accommodate people at all stages of life and have an appropriate mix of housing, a good range of jobs, high quality open space, and easy access to retail and services to meet daily needs.

Section 5.4.9 To protect and promote human health.

Section 5.4.10 Direct the local municipalities to incorporate official plan policies to develop complete communities that are well-designed, transit-supportive, offer transportation

choices, include a diverse mix of land uses in a compact built form, accommodate people at all stages of life and have an appropriate mix of housing, a good range of jobs, high quality public open space and easy access to retail and public service facilities.

Section 5.4.16 Employ a comprehensive, integrated approach to land use planning, infrastructure planning and infrastructure investment to achieve the objectives of this Plan.

Section 5.4.18.1 To achieve efficient and compact built forms.

Section 5.4.18.2 To optimize the use of existing infrastructure and services.

Section 5.4.18.3 To revitalize and/or enhance developed areas.

Section 5.6.1 To achieve sustainable development within the Urban System, reduce greenhouse gas emissions, and adapt the region to a changing climate.

Section 5.6.2 To establish complete healthy communities that contain living, working and recreational opportunities, which respect the natural environment, resources and the characteristics of existing communities.

Section 5.6.9 To provide for and facilitate a wide range of goods and services to meet the needs of those living and working in the Urban System.

5.6.3 To achieve intensified and compact built form and a mix of land uses in appropriate areas that efficiently use land, services, infrastructure and public finances while taking into account the characteristics of existing communities and services.

5.6.4 To achieve an urban structure, form and densities which are pedestrian-friendly and transit-supportive.

Section 5.6.11 Direct urban development and redevelopment to the Urban System within the Regional Urban Boundary, as shown on Schedule E-1, consistent with the policies in this Plan and the local municipal official plan.

Section 5.6.13 Require development and redevelopment in the Urban System to proceed according to the growth management and phasing policies of this Plan, and the planned provision of necessary services.

Section 5.6.15 Direct the local municipalities, while taking into account the characteristics of existing communities, to include policies in their official plans that:

- a) Support the Urban System objectives and policies in this Plan;*
- b) Support pedestrian-friendly and transit-supportive urban development;*
- c) provide transit-supportive opportunities for redevelopment, intensification and mixed land use;*

Section 5.6.17.4 To support increased residential and employment densities within

these areas to ensure the viability of transit and a mix of residential, office, institutional and commercial development.

Section 5.6.17.5 To provide a diverse and compatible mix of land uses, including residential and employment uses, to support vibrant neighbourhoods.

Section 5.6.19.2 Encourage a balance mix of transit-supportive uses, as defined by local municipalities, such as residential, retail, offices, open space, and public uses that supports the needs of employees and residents in a walkable environment.

Section 5.6.19.4 Develop and enhance active transportation connections and infrastructure (including sidewalks and multi-use paths) to transit stations and stops to support complete communities, improve multi-modal station access, and to support the Region's modal split target by increasing transit ridership in Peel.

Analysis: Region of Peel Official Plan (April 2022)

The subject lands are located within the 'Urban System' as delineated in "Urban System" in Schedule E-1: Regional Structure. The proposed development represents an efficient built form that will optimize the use of an underutilized and utilize existing infrastructure.

The proposed development contributes to a healthy, complete urban community in accordance with S.5.4.10 and S.5.6.2. It provides diversified land uses through the inclusion of office and warehouse uses and will also have access to surrounding transit options and active transportation. The proposal will utilize existing and planned infrastructure and as such will contribute toward the optimization of the use of Regional resources. The proposal is a representative of efficient growth and development, which will assist in achieving the Regional growth and employment targets for the City of Brampton. The proposal and its location within the Regional Urban Boundary are consistent with the Regional Official Plan's goal of ensuring that development and redevelopment takes place in a timely, orderly and sequential manner.

The proposal is of a compact and efficient built form while efficiently using land, services, and infrastructure, with consideration of the characteristics of the existing surrounding residential communities and services in accordance with Section 5.6.3. The proposal will assist Brampton in fulfilling numerous planning objectives including meeting and accommodating Regional Growth and Employment forecasts. Furthermore, the proposal directs development to the urban system in accordance with Section 5.6.11 of the Region of Peel Official Plan.

The proposed development provides appropriate employment land uses through the inclusion of an industrial building on the subject lands. The proposal also utilizes existing servicing and infrastructure to redevelop an underutilized piece of land within the City in accordance with Sections 5.4.18.2 and 5.4.18.3.

The proposal will contribute to a complete community and intensify once underutilized lands to incorporate an industrial building within the existing Prologis Distribution Centre.

Furthermore, in accordance with Sections 5.6.19.2 and 5.6.19.4, the proposed development incorporates a connection to the existing public sidewalk system which provides a pedestrian-friendly walkable access to other land uses in the community.

Based on the above, staff is satisfied that the proposed Zoning By-law Amendment conforms to the policies of the Region of Peel Official Plan.

City of Brampton Official Plan (2006):

The City of Brampton Official Plan guides the physical growth and development of the City and guides land use decision-making to meet the needs of current and future residents to 2031. The plan incorporates policies from the Region of Peel Official Plan, PPS, and Growth Plan to address land use planning decisions.

The property is designated 'Industrial', 'Open Space', 'Corridor Protection Area' and 'Special Study Area' in Schedule A: General Land Use Designations. The "Industrial" designation permits light to heavy industrial uses such as manufacturing, processing, repair and service, warehousing, and distribution. The Brampton Official Plan sections that are applicable to this application include but are not limited to:

Section 4.4.2 – Industrial

The Industrial section of this Plan provides for the development of light to heavy industrial uses such as manufacturing, processing, repair and service, warehousing, and distribution. Corporate head offices and high-performance industrial uses such as research and development facilities are also permitted in the Industrial designation. The designation of non-industrial uses will be strictly controlled as they are intended to primarily provide a supporting role to the local employment base. It is recognized that employment areas accommodate a certain range of ancillary uses without negatively impacting the viability of employment lands or employment operations. Accordingly, these uses are not subject to policy 4.4.2.18. Major Retail development shall not be permitted in areas designated industrial in the Official Plan.

4.4.2.1 The Industrial designations identified on Schedule "A" of this Plan shall provide for the development of industrial, manufacturing, distribution, mixed industrial/commercial, commercial self-storage warehouses, data processing and related uses and limited office uses, and may also permit limited service and retail uses, open space, public and institutional use as practical and appropriate subject to the appropriate sub-designations and policies in the relevant Secondary Plan. Within the Industrial designation, areas intended for open storage and truck trailer parking shall be identified in the relevant Secondary Plan. Places of Worship shall be permitted in limited locations subject to Section 4.9.8 of this Plan.

Section 4.4.2.2 - The City will accommodate employment growth to 2031 in the order of 70,000 to 90,000 employment land employment jobs, which may include limited amounts of service, retail, office and institutional uses. This growth will occur on new

lands designated primarily as employment land and existing vacant employment lands. Some of the employment growth may be accommodated through the intensification of existing employment areas provided that the City-wide forecasts as outlined in.

4.4.2.10 The City shall encourage the development of industrial areas of sufficient size to realize long-term economies of scale in the provision of transportation facilities, public transit, physical services and utilities.

4.4.2.12 The sub-designations to be used in Secondary Plans for primarily industrial uses will generally indicate areas:

- i. That will be dominated by typical industrial uses, and that may be further divided into different categories of industrial uses related to the relative intensity of the industrial activity and potential perimeter impacts, and varying requirements for screening of outdoor storage and truck trailer parking areas and other similar provisions in the applicable zoning by-law;*
- ii. That may also accommodate limited retail, service, and office uses provided that they do not hinder the operation of the predominant industrial uses in accordance with Section 4.4.2.1;*
- iii. That will be subject to site and building design standards intended to achieve high quality urban design; and,*
- iv. Where outdoor storage and truck trailer parking areas will be permitted*

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

4.10.1.10 A Heritage Impact Assessment, prepared by qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes. Due consideration will be given to the following factors in reviewing such applications:

- The cultural heritage values of the property and the specific o heritage attributes that contribute to this value as described in the register;*
- The current condition and use of the building or structure and its potential for future adaptive re-use;*

- *The property owner's economic circumstances and ways in which financial impacts of the decision could be mitigated;*
- *Demonstrations of the community's interest and investment (e.g. past grants);*
- *Assessment of the impact of loss of the building or structure on the property's cultural heritage value, as well as on the character of the area and environment; and,*
- *Planning and other land use considerations;*

4.10.1.12 All options for on-site retention of properties of cultural heritage significance shall be exhausted before resorting to relocation. The following alternatives shall be given due consideration in order of priority:

- *On-site retention in the original use and integration with the surrounding or new development;*
- *On site retention in an adaptive re-use;*
- *Relocation to another site within the same development; and,*
- *Relocation to a sympathetic site within the City;*

4.14.1.1 Clarkway Drive/Castlemore Road/Mayfield Road Special Study Area

Lands east of Clarkway Drive, north of Castlemore Road and south of Mayfield Road are primarily designated Industrial with a portion east of Clarkway Drive currently designated Residential. As part of the background to the preparation to the City's Growth Plan Amendment, the need for the City to designate additional employment land and find opportunities to intensify existing designated lands was identified.

4.14.1.1.1 The City shall conduct a study and analysis of employment generation and design as part of the Secondary Planning process, which shall include policies and strategies to encourage the development of higher density employment uses and evaluate the viability of the lands currently designated Residential east of Clarkway Drive to be redesignated Industrial. The potential redesignation shall address the area's contribution to the City's future employment needs.

4.14.2.3.2 Detailed secondary planning, block planning or development reviews shall not be completed in this Highway 427 and Arterial Network Corridor Protection Area until the City, in consultation with its study partners, has determined that the Highway 50/Highway 427 Area Arterial Network Study has progressed sufficiently to determine what high order transportation facilities, arterial roads or links and related corridors are needed within this area.

4.14.2.3.3 The optimum ultimate network requirements within this Corridor Protection Area will be primarily determined by the Highway 50/Highway 427 Area Arterial Network Study being jointly undertaken by Brampton, Caledon and Peel Region, although the Province's Highway 427 Extension Environmental Assessment Study and an individual Environmental Assessment Study being undertaken by York Region to address future arterial network needs in Western Vaughan are expected to be undertaken concurrently with the former study and to be of significant assistance in that determination.

Section 4.11.4.1 Urban design objectives and principles shall form an integral part of the City's land use planning and decision-making processes to ensure that the goal of achieving an attractive and sustainable physical environment is met. All forms of development shall be subject to the policies of this section.

Section 4.11.4.2 The City shall take a leading role in proactively promoting superior physical development design including the creation of a high quality public realm.

Section 4.11.4.7 – All development and redevelopment will be subject to the consideration of the following elements:

- i) Sustainability: How the design promotes the use of nonrenewable resources and takes into account anticipated long term social, economic and environmental needs and projected ability to maintain the new buildings and infrastructure and contributes to the natural heritage system and landscapes and implements sustainable water management practices.*
- ii) Enhancement: How the physical development shall conform to the City's overall structure, respect and enhance the specific character of its immediate neighbourhood and represent housing choice and affordability, social diversity, community stability and economic vitality.*
- iii) Sense of Identity: How the physical development enhances the sense of belonging and civic pride, and communicate the identity of the community.*
- iv) Diversity: How the physical development promotes a diversity of design, form, and use.*
- vii) Scale: How the physical development utilizes spatial definition techniques to emphasize and reinforce a human scale orientation and massing, horizontally and vertically, and to enable harmonious integration with the existing and surrounding development.*
- viii) Circulation: How the transportation system functions and represents a high standard of design. Priority shall be accorded to support and enhance public transit, pedestrian, and bicycle movement.*
- xi) Human Services: How the physical design contributes to the effective and efficient provision of human services including health, social, special and assisted housing, education, and police.*
- xii) Land Use Compatibility: How the distribution of land uses are designed to ensure appropriate transitions between the different land uses, promotion of compatibility of each component and ensuring of a diversity of community functions.*

Analysis: City of Brampton Official Plan (2006)

The property is designated 'Industrial', 'Open Space', 'Corridor Protection Area' and 'Special Study Area' in Schedule A: General Land Use Designations. The "Industrial" designation permits light to heavy industrial uses such as manufacturing, processing, repair and service, warehousing, and distribution. The proposed industrial building conforms to the uses of the 'Industrial' zone as it will be used for office and warehousing purposes. The Special Study Area designation is related to ongoing comprehensive land use studies as the lands are part of Clarkway Drive/ Castlemore Road / Mayfield Road Special Study Area. The purpose of this study is to designate additional employment land and find opportunities to identify existing designated lands were identified, in accordance with S.4.14.1.1. Lands in the Corridor Protection Area are being protected for the accommodation of the arterial road network and high order transportation facilities required within this area of Brampton, in accordance with S.4.14.2.3.2 and S.4.14.2.3.3.

The proposal incorporates enhanced landscaping on the site to adequately screen the industrial building from adjacent properties and includes a connection to the existing Prologis Distribution Centre in accordance with Sections 4.2.1.14, 4.11.4.2, and 4.11.4.7.

The City of Brampton is anticipated to receive significant residential and employment growth with the expectation that portions of the growth is accommodated for within the built-up area using existing servicing. The City of Brampton Official Plan encourages the balance of commercial development to balance residential uses. The proposal is expected to achieve the minimum density on the lands that are being rezoned for employment uses.

The proposal conforms to the 'Open Space' designation of the Official Plan. The proposed draft Zoning By-law Amendment identifies that the 'Open Space' area will be placed in a protective zone which will limit development on that specific portion of the land. The subject site is occupied by one (1) single-detached residential dwelling with accessory structures which includes a detached garage and shed. The existing dwelling is officially listed in Brampton's Heritage Registrar as a built heritage resource that possesses cultural heritage values. As part of the future site plan application, a Heritage Impact Assessment (HIA) will be submitted and reviewed to determine the structural integrity of the heritage dwelling.

The proposed land use changes are supportable from a land use planning perspective, and are consistent with the intent of the Official Plan. Staff is satisfied that the proposed application to amend the Zoning By-law conforms to the City of Brampton's Official plan and therefore an amendment is not required.

Brampton Plan 2023

The City of Brampton's Official Plan, 2023, ("Brampton Plan") establishes comprehensive policies that guide anticipated growth and development to achieve a strategic vision for 2051. The Brampton Plan was endorsed by Council on November 1, 2023, and received approval from the Region of Peel on May 16, 2024. It is important to note that some sections of the Brampton Plan are currently under appeal.

The property is designated 'Employment Area' in Schedule 1A and 'Employment' in Schedule 2: Designations of the Official Plan. The 'Brampton Plan' sections that are applicable to this application include but are not limited to:

Section 2.2.8 - Brampton Plan provides a clear and stable long-term vision for the city that will promote economic growth, leading to capital investments in infrastructure, innovation and employee development. That confidence spills over to the residents and labour market that grows to depend on these jobs. Within Employment Areas, new ideas, talent, and both local and foreign investment converges to revitalize older industrial areas, intensify employment opportunities, and expand economic opportunities in Designated Greenfield Areas.

Section 2.2.8.1 – Employment Areas are to be preserved to provide a diverse range of high-quality jobs and services and to foster innovation. To achieve this, Brampton Plan will:

- a. Protect Employment Areas and Plan for Employment Growth. Identify and preserve new and existing Employment Lands for employment growth and intensification to 2051, ensure adverse impacts between employment and sensitive land uses are minimized to maintain land use compatibility.*
- b. Encourage Opportunities and Provide Flexibility. Support opportunities to connect Employment Areas to the rest of the city by transit to ensure residents can conveniently access a broad range of economic opportunities.*

Section 2.2.8.2 - This section also addresses policies related to Provincially Significant Employment Zones and employment land conversions. Employment Areas will generally:

- a. Enhance the role of Brampton as an employment centre and primary office location within Peel Region, while accommodating a significant share of forecasted employment growth;*
- b. Provide for a range of employment uses at appropriate locations that contribute to the creation of complete communities;*
- c. Protect and preserve 'Employment Areas' from sensitive land uses that may adversely affect the continued viability of existing employment uses and their expansion in the future;*
- d. Ensure that new development is compatible with the land uses and the pattern of adjacent and surrounding development;*
- e. Encourage a high quality of urban design;*
- f. Promote sustainable development practices;*

- g. Improve the pedestrian experience; and,*
- h. Improve access to transit services.*

Section 2.2.8.3 - Lands within the Employment designation will be protected and reserved for employment uses including manufacturing, warehousing, logistics, office, and associated commercial, retail and ancillary uses.

Section 2.2.8.5 – The following uses are permitted on lands designated Employment Area on Schedule 2:

- a. Heavy and light industrial uses, including but not limited to manufacturing, processing, warehousing, distribution, storage, transportation facilities, truck parking, offices, vehicle repair and services, vehicle sales and service, industrial trade schools, utilities, vertical agriculture and controlled environment agriculture, agri-food sector businesses, and ancillary functions.*
- b. Commercial uses, subject to appropriate screening, such as: outdoor storage areas, impound areas, storage, display or parking of heavy equipment, and uses that emit noise or vibration, create large volumes of regular truck traffic, and large structures such as domes or out-buildings with a negative visual impact subject to the policies in this section.*
- c. Waste management facilities, including but not limited to landfill sites, transfer stations, community recycling centres, and waste processing and recovery plants.*

Section 2.2.8.6 – The following additional uses are permitted, provided they are ancillary to the lands designated Employment Areas in which they are located and do not hinder the planned function of the Employment designation:

- a. Offices associated to the employment use, such as manufacturing, research and development and warehousing.*
- b. Open spaces and Privately-owned Publicly Accessible Open Spaces.*
- c. Small-scale restaurants, catering facilities, and small-scale service uses such as courier services, banks, and print shops.*
- d. Small scale retail uses that are ancillary to and on the same lot as the principal employment use.*

Section 2.2.8.7 – Ancillary uses may be permitted within the Employment Area designation, including appropriate locations for office, ancillary retail, service uses, and restaurant uses, which will be evaluated based on their potential impacts to ensure compatibility of uses within Employment Areas in accordance with the policies of this Plan and provincial plans and guidelines.

Section 2.2.8.9 - Major facilities will be directed to lands designated Employment Area to avoid, or if avoidance is not possible, to minimize and mitigate any potential adverse effects from odour, noise, and other contaminants, minimize risk to public health and

safety and to ensure the long-term operational and economic viability of major facilities in accordance with provincial guidelines, standards and procedures.

Section 2.2.8.10 - To ensure the long-term operational and economic viability of major facilities, the planning and development of any proposed adjacent sensitive land uses are only permitted if the following are demonstrated in accordance with provincial land use compatibility guidelines, standards, and procedures:

- a. There is an identified need for the proposed use;*
- b. Alternative locations for the proposed use have been evaluated and there are no reasonable alternative locations;*
- c. Adverse effects to the proposed sensitive land use are minimized and mitigated; and,*
- d. Potential impacts to industrial, manufacturing, or other uses are minimized and mitigated.*

Section 2.2.8.11 - Elementary and secondary schools and other sensitive land uses will not be permitted within the Employment Areas designation, unless permitted through a Major Transit Station Area study.

Brampton Plan 2023 Analysis

The property is designated 'Employment Area' in Schedule 1A and 'Employment' in Schedule 2: Designations of the Official Plan. The 'Employment' designation permit land uses such as warehousing, distribution, construction, light and heavy industrial uses, trades, outdoor storage, and other uses requiring a range of land parcel sizes.

The proposed industrial development effectively addresses and fulfills these outlined objectives as it strategically aligns with the City's comprehensive vision for economic growth and sustainable development, in accordance with S.2.2.8, S.2.2.8.1, S.2.2.8.3. It is conveniently accessible through the planned and existing local and region road network, as well as the provincial highway system. In accordance with S.2.2.8.9 and S.2.2.8.10, the proposal leverages the proximity to key transportation infrastructure as described, the development can ensure a high level of connectivity and accessibility for the movement of goods and services, thereby facilitating efficient trade and business operations in the City and Region.

The proposed development will contribute to the creation of a vibrant and dynamic economic landscape, promoting the growth of the business community, and to support the operation of various industries while also accommodating the needs of the local workforce in accordance with. The jobs and economic opportunities created in the proposed development will enhance the overall accessibility for both future businesses and employees in the area, fostering a thriving and integrated community within the industrial district.

Based on the above, Staff is satisfied that the proposed Zoning By-law Amendment is consistent with the policies of the 'Brampton Plan'.

Highway 427 Industrial Secondary Plan (Area 47)

The proposed development is located within the Highway 427 Industrial Secondary Plan (Area 47). The property is designated 'Logistic/Warehouse/Transportation', 'Scoped Appealed Lands', and 'Valleyland' within the Secondary Plan. The Secondary Plan policies that are applicable to this application include but are not limited to:

5.2.9.2 Lands within the Logistic/Warehouse/Transportation designation may be further divided into classes of industrial zones in the zoning by-law on the basis of the following:

- *The requirements of industry for road access;*
- *The type and extent of outside storage; and*
- *The need to minimize potential conflicts between different classes of land uses.*

5.2.9.4 The negative visual impact of automobile and truck parking, service and delivery areas shall not be intrusive, and shall be minimized in accordance with the City's Development Design Guidelines and the site specific architectural design and landscape and screening measure contained within the approved urban design guidelines for these lands.

5.2.9.5 Outside storage areas including truck trailer parking shall not directly abut arterial roads, shall be limited in size and be appropriately set back and screened in accordance with the requirements of the implementing zoning by-law.

5.3.1.1 The Valleyland designation shown on Schedule SP 47(a) is comprised of natural features (e.g. wetlands, watercourses, etc.); hazard lands, which include the greater limit of the surveyed top of bank, floodplain, meander belt, or long-term stable slope, and environmental buffers. The limits of the Valleyland designation may be refined through the approved Master Environmental Servicing Plan and Environmental Implementation Report or Environmental Impact Study.

5.3.1.2 Prior to the City issuing final approval for the Block Plans in Areas 47-1 and 47-2, or draft plan of subdivision or site plan approval, where appropriate, for the employment lands, the Environmental Implementation Report or Environmental Impact Study will illustrate the limits of the Regulatory Floodplain based on TRCA's updated flood flow rates for the Humber River Watershed. Where the Regulatory Floodplain has expanded in Area 47 based on the application of the updated flood flow rates, the Environmental Implementation Report or Environmental Impact Study will recommend technical solutions that provide a balanced approach that accommodates the updated flood flows while maintaining the existing limits of the valley corridors that are shown in the secondary plan, where appropriate, and to provide an environmental buffer.

The Environmental Implementation Report or Environmental Impact Study shall be undertaken in accordance with the recommendations and requirements of the approved Master Environmental Servicing Plan and must demonstrate no negative impacts to the West Humber River tributaries, natural features and their ecological functions, and that an enhancement to the natural features and functions can be achieved, to the satisfaction of City of Brampton and TRCA. Grading within the environmental buffers will generally not be permitted. In areas where technical solutions have been approved by the City and TRCA, grading may be allowed in the environmental buffers to address changes to the Regulatory Floodplain resulting from the updated flood flow rates.

5.3.1.3 The final Valleyland designation shall be protected through an appropriate zone in the City's Zoning By-law in accordance with the recommendations of the Area 47 Master Environmental Servicing Plan and Environmental Implementation Report or Environmental Impact Study.

5.3.1.4 Minor refinements to the boundaries of the Valleyland designation may be considered to reflect the differences in scale, and level of detail available through the preparation of the Environmental Implementation Report or Environmental Impact Study without an official plan amendment. However, minor refinements shall not adversely impact the functions or result in any significant decrease in size of the final Valleyland designation.

5.3.1.7 The limits of the Valleyland designation may be refined through the finalization of the Master Environmental Servicing Plan and either an Environmental Implementation Report undertaken as part of block planning or an Environmental Impact Study undertaken as part of draft plan of subdivision or site plan application, where appropriate. Lands located outside of the limits of the final Valleyland designation will be generally available for development as shown on Schedule SP47 (a), unless otherwise determined through the completion of the Master Environmental Servicing Plan, Environmental Implementation Report or Environmental Impact Study.

Analysis: Highway 427 Industrial Secondary Plan (Area 47)

The property is designated 'Logistic/Warehouse/Transportation', 'Scoped Appealed Lands', and 'Valleyland' within the Highway 427 Industrial Secondary Plan (Area 47).

The subject property is located within a location planned for industrial uses. The proposed industrial building is consistent with the Secondary Plan designation. The proposed development implements appropriate buffers, landscape treatments, and noise mitigation measures that will be implemented through the By-law amendment and Site Plan approval process in accordance with S.5.2.9.2 and S.5.2.9.4.

A portion of the property is designated 'Valleyland' within the Secondary Plan. Although typically development on valleyland features are not permitted, S.5.3.1.1, S.5.3.1.2, and S.5.3.1.7 states that the limits of a valleyland feature may be refined through the completion of the Master Environmental Servicing Plan, Environmental Implementation

Report or Environmental Impact Study. Minor refinements to the valleyland features that do not impact the function of the feature or result in any significant decrease in size of the final valleyland may be considered as per S.5.3.1.4. The proposal contemplates the development of an industrial building on the subject lands. The footprint of the industrial building is proposed to encroach into the valleyland feature, since the impact to the valleyland is minimal, an amendment to the Secondary Plan is not required. In accordance with S.5.3.1.3, a protection zone will be implemented into the Zoning By-law to protect the valleyland feature.

Based on the above, Staff is satisfied that the proposed Zoning By-law is consistent with the policies of the Highway 427 Industrial Secondary Plan (SP47).

Zoning By-law

The subject is currently zoned 'Agricultural (A)' and 'Agricultural – Section 1735'. The 'Agricultural (A)' zone permits land uses such as agricultural purposes, single detached dwellings, supportive housing residence types, cemeteries, animal hospitals, kennels, a home occupation, and/or accessory uses.

The 'Agricultural – Section 1735 (A-1735)' allows the site to be used for a golf driving range until December 12, 2004, after which time only the permissions in the 'Agricultural (A)' zone category shall apply (See Attachment 11).

An Amendment to the Zoning By-law is required to facilitate the proposed development.

Analysis: Zoning By-law

To facilitate the proposed employment uses, the applicant is proposing to rezone the lands to 'Industrial Four – Section 3598 (M4-3598)' and Open Space (OS). This is an existing zone that is currently the zoning designation for the majority of the Prologis Distribution Centre. The M4-3598 zone permits the following uses:

- All of the industrial (warehouse, manufacturing, packaging, processing, repairing)
- uses permitted in the Prestige Industrial (M4) zone category;
- Non-industrial (office, hotel, conference centre, and associated commercial /
- retail uses to a maximum of 15% of the primary use; and,
- Outdoor Storage, that will be subject to locational and screening criteria;

In addition, the following site specific zoning requirements are provided to ensure that the proposed development achieves the prescribed objectives, policies and principles of the Official Plan and area Secondary Plan. These provisions stipulate:

- Where the openings for waste disposal and loading facilities on any building face a public street, they shall be screened from view from the street;
- Garbage and refuse storage shall be screened within an enclosure constructed from materials that are compatible with the main building climate controlled area within a building; and,

- Building setbacks for the industrial building.

As per Schedule A of the Official Plan and Schedule SP47(a) of the Highway 427 Industrial Secondary Plan, the subject lands include a valleyland feature. A protection zone will be implemented into the Zoning By-law to limit development on that specific portion of the land.

Technical Studies:

There is a concurrent site plan application (SPA-2025-0048) where staff have reviewed other technical components of the proposal given the site already has partial zoning:

Traffic Impact Study:

A Traffic Impact Study was prepared by TY Lin in support of the application to assess the potential impact of traffic generated by the proposed development and identify the mitigation measure required to ensure the road network operates safely, and efficiently upon completion of the project. The Traffic Impact Study analyzes the existing transportation network, consisting of roads, transit, pedestrian access, cyclists, and the operation of existing intersections. Further research was conducted on the future state of these elements of the transportation network.

Noise Impact Study:

A Noise Impact Study was prepared by Englobe Corp in support of the application to assess the potential noise impacts generated by the proposed development. An acoustic barrier runs along the south-west portion of Coleraine Drive, as part of the Phase 1 portion of the Prologis Distribution Centre. Compliance with the MECP sound level limits will be maintained through the ECA application process, which is a requirement for this Site under Section 9 of the Environmental Protection Act.

Arborist Report:

An Arborist Report was prepared by MHBC and includes an inventory of the trees conducted in July 13, 2021. The report documents a total of thirty-two (32) trees on the site. The report recommends the removal of fourteen (14) trees located on the subject property to accommodate the proposed development. Mitigation measures are recommended in the report to protect the trees located on the adjacent property. A total of thirty-six (36) replacement trees are required.

Environmental Impact Memo:

An Environmental Impact Memo was prepared by Dillon Consulting Limited in support of the application to assess the potential impact to environmental features on the subject site. The Robinson Creek Tributary adjacent to Phase 2 of the Study Area was identified as a watercourse and the recommended management was for 'conservation 2'.

Features identified for 'conservation 2' should remain as open watercourses but may be modified or relocated. Given the proximity of Phase 2 of the Study Area to the Robinson Creek Tributary, there may be impacts to the feature from the proposed development. As a result, the mitigation measures have been proposed to protect the Robinson Creek Tributary. A SWM plan has been developed as part of the Stormwater Management Implementation Report which showed that pre- and post-development flows to the Robinson Creek Tributary will remain the same. In addition, the Stormwater Management Implementation Report also included an ESC strategy during the construction phase. A 10 m buffer has been applied to the Robinson Creek Tributary and both a wildlife impact mitigation plan and an environmental monitoring plan have been identified.

Stormwater Management Report:

A Stormwater Management Conformance Letter was prepared by C.F. Crozier & Associates Inc. in support of the application to assess how the site may be serviced. The Phase 2 development can be readily serviced with the proposed Phase 2 storage components and the existing Phase 1 SWM controls. Water quality control is achieved given that the existing SWM pond provides a sufficient permanent pool volume to facilitate land use changes within Phase 2. Erosion control will be achieved through the existing SWM pond given that the extended detention provided exceeds the extended detention required while considering land use changes within Phase 2. Water Balance will be provided for Phase 2 in the proposed Phase 1 underground chambers through infiltration techniques

Sustainability Score and Summary:

The City of Brampton's Sustainability Metrics are used to evaluate the environmental sustainability of development applications. To measure the degree of sustainability of this development application, a Sustainability Score and Summary were submitted. The application has a Sustainability Score of 43 points, which achieves the City's Bronze threshold.



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number _____ - 2025

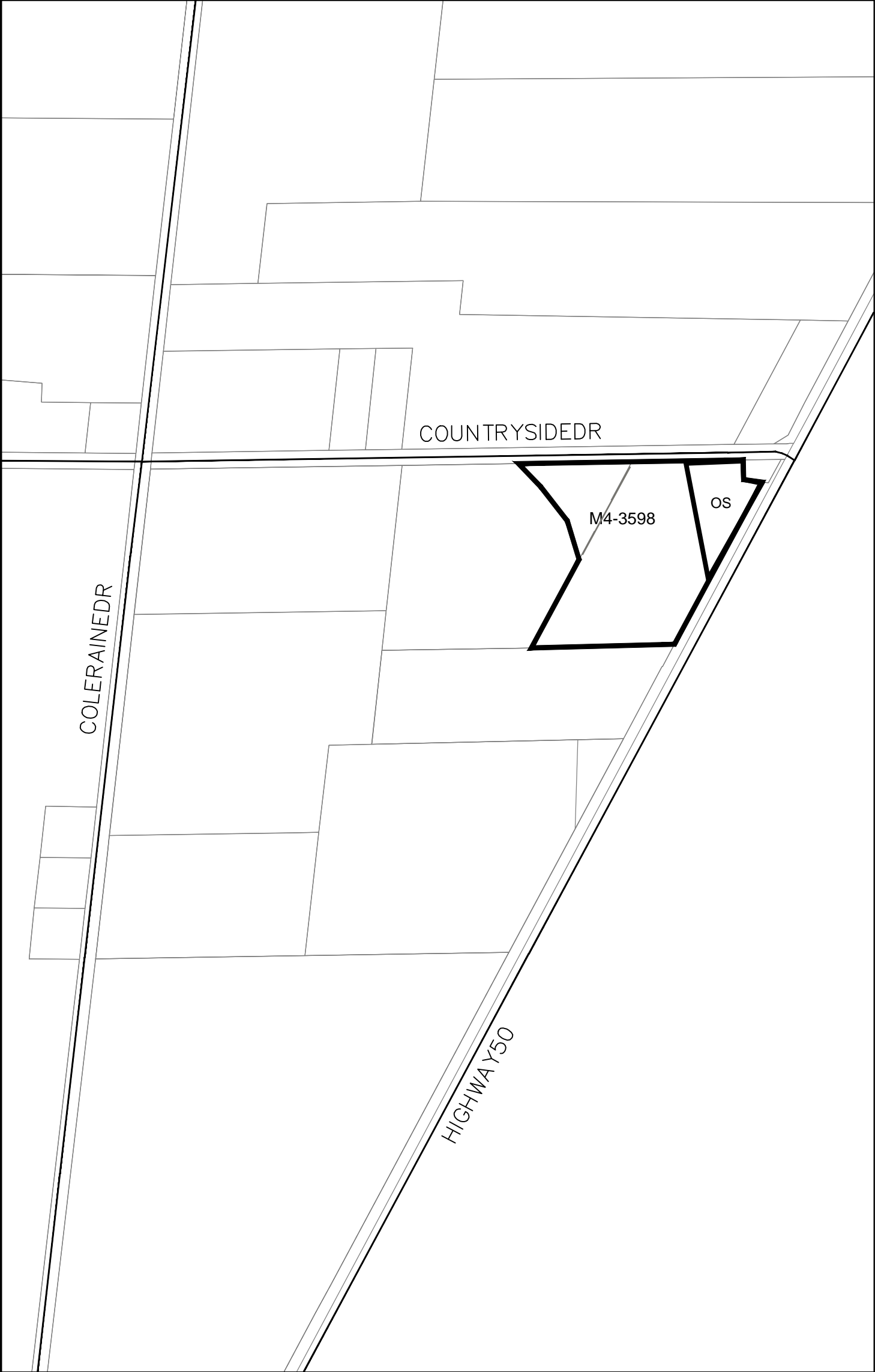
To amend Comprehensive Zoning By-law 270-2004, as amended

The Council of the Corporation of the City of Brampton, in accordance with the provisions of the *Planning Act*, R.S.O. 1990, c.P. 13, hereby ENACTS as follows:

1. By-law 270-2004, as amended, is hereby further amended:

(1) By changing Schedule A thereto, the zoning designation of the lands as shown outlined on Schedule A to this by-law:

| From: | To: |
|---|--|
| AGRICULTURAL (A) AGRICULTURAL – SECTION 1735 (A-1735) | INDUSTRIAL FOUR – SECTION 3598 (M4-3598) OPEN SPACE (OS) |





Report
Staff Report
 The Corporation of the City of Brampton
 6/9/2025

Date: 2025-05-09

File: OZS-2024-0031

Subject: **Recommendation Report- Application to Amend the Official Plan and Zoning By-law**
(To permit two commercial/retail plazas)
Glen Schnarr & Associates Inc. - 840966 Ontario Ltd.
 8331 Heritage Road
 Ward 6

Contact: Saghar Massah, Development Planner, Development Services,
 Saghar.Massah@Brampton.ca

Mana Zavalat, Manager, Development Services,
 905-874-2619, Mana.zavalat@Brampton.ca

Report number: Planning, Bld & Growth Mgt-2025-387

RECOMMENDATIONS:

1. That the report from Saghar Massah, Development Planner, Development Services & Design Division to the Planning and Development Committee meeting of 06-09-2024, re: **Recommendation Report- Application to Amend the Official Plan and Zoning By-law**, Glen Schnarr & Associates Inc. - 840966 Ontario Ltd., 8331 Heritage Road, Ward 6, File: OZS-2024-0031 be received;
2. That the application for an Amendment to the Official Plan, Zoning By-law submitted by Glen Schnarr & Associates Inc., on behalf of 840966 Ontario Ltd. (File: OZS-2024-0031) be approved, on the basis that it represents good planning, including that it is consistent with the Provincial Planning Statement, conforms to the City's Official Plan, and for the reasons set out in this Recommendation Report;
3. That the amendment to the Official Plan generally in accordance with the attached Appendix 13 to this report be adopted;
4. That the amendment to the Zoning By-law, generally in accordance with the attached Appendix 14 to this report be adopted;
5. That prior to staff forwarding the enacting zoning by-law amendment to Council for approval, the Commissioner of Planning, Building and Growth Management is to be satisfied that all cost sharing agreement obligations associated with the

property are satisfied, or alternatively that a Holding symbol be used for this purpose in the Zoning By-law, and

6. That no further notice or public meeting be required for the attached Official Plan Amendment and Zoning By-law Amendment pursuant to Section 22 (6), and 34 (10.4) of the Planning Act, R.S.O., as amended.

OVERVIEW:

- **This report recommends approval of an amendment to the Official Plan and Zoning By-law to permit the development of the subject lands for two commercial plazas, a northern and a southern plaza, that are to include a total of eight buildings, with 5,972 square metres (64,282 square feet) of total commercial Gross Floor Area (GFA).**
- **The subject properties are designated ‘Residential’ on Schedule A: General Land Use Designations of the City of Brampton Official Plan, which permits complementary uses, such as Neighbourhood Retail and Convenience Retail. The lands are also partially designated on Schedule A2: Retail Structure, as “Convenience Retail.” An amendment to Schedule A2 is required to:**
 - **Redesignate the southern portion of the lands as ‘Neighbourhood Retail’ to support the higher gross floor area proposed; and**
 - **To expand the ‘Convenience Retail’ designation over the northern portion to ensure alignment with the scale and function and intent of the City’s established retail hierarchy**
- **The subject lands are designated ‘Convenience Commercial’ ‘Low/Medium Density Residential’ and Special Policy Area 16 (SPA 16) within the Bram West Secondary Plan (Area 40(d)). The proposed amendment seeks to:**
 - **Redesignate the southern portion of the site to ‘Neighbourhood Commercial’ to support the increased gross floor area; and**
 - **Extend the ‘Convenience Commercial’ designation northward to cover the entire area of the proposed development**
- **A Tertiary Plan (see Attachment 15) is submitted that demonstrates the subject land can be comprehensively developed in coordination with the adjacent property to the south, ensuring proper integration of access, circulation, and future land use planning.**
- **The subject lands are zoned ‘Future Development (FD)’ as per a prior Ontario Land Tribunal (OLT) decision in conjunction with an a plan of subdivision and rezoning application (File: C05W02.008). The proposed amendment to the**

Zoning By-law through the subject application is now required to facilitate the intended commercial plazas.

- **A Statutory Public Meeting for this application was held on August 12, 2024. One member of the public was present to delegate on this item.**
- **The proposal represents good planning, is consistent with the Provincial Planning Statement and is in conformity with the Brampton Official Plan.**
- **Staff recommend the Official Plan Amendment, and Zoning By-law Amendment be approved. The proposal is in conformity with the Provincial Policy Statement, the Region of Peel Official Plan and the City of Brampton Official Plan and represents good planning.**

BACKGROUND:

Special Policy Area 16 (SPA 16); and Draft Plan of Subdivision (File: C05W02.008) - Approved 2022

The subject lands are designated Special Policy Area 16 (SPA 16) in the Bram West Secondary Plan, which requires landowners with properties located within 450 metres of the Maple Lodge Farms' (MLF) operation to work with the City, MLF, and the Province to establish appropriate site-specific separation distances between sensitive land uses (such as residential) and the MLF fields. SPA 16 includes wording to provide flexibility, allowing landowners to demonstrate through site-specific technical studies whether a reduction to the separation distance would be appropriate.

The subject lands are a portion of the Draft Plan of Subdivision and Zoning By-law Amendment application lands (File: C05W02.008) that were previously approved that proposed to reduce the required policy-based minimum separation distance from the MLF facility from 450 metres to 150 metres to facilitate additional residential development. In support of the reduction, an Odour Assessment prepared by SLR Consulting (Canada) Ltd. (dated February 2021) was submitted for staff review. Following further revisions and a settlement agreement between the applicant, the City, and MLF, the Ontario Land Tribunal (OLT) approved the revised Draft Plan of Subdivision in November 2022 (Case No. 22-002419), establishing a site-specific minimum separation distance of 150 metres, buffered by future non-residential blocks along Heritage Road. Under the approved zoning, the subject lands were designated as 'Future Development' to reflect the buffer function.

Application to Amend Official Plan and Zoning By law

On April 30, 2024, Glen Schnarr & Associates Inc., on behalf of 840966 Ontario Ltd., submitted this application to amend the Official Plan and Zoning By-law to permit the

development of two commercial plazas on the subject lands. The application was deemed complete in accordance with the requirements of the Planning Act, and a Notice of Complete Application was issued on May 22, 2024.

CURRENT SITUATION:

Proposal

The development of eight (8) commercial buildings to be on two separate properties/plazas, as per the details provided below:

Northern plaza:

- One (1) two-storey building with office uses on the second floor and three (3) one-storey buildings for retail and commercial uses.
- The development application proposes a total Gross Floor Area (GFA) of approximately 2,229 square metres.
 - Building A (Retail and Office): two-storey with a GFA of 924 square metres;
 - Building B (Retail): one-storey with a GFA of 474 square metres;
 - Building C (Retail): one-storey with a GFA of 556 square metres; and
 - Building D (Retail): one-storey with a GFA of 275 square metres.
- The development application proposes two (2) vehicular accesses for the northern plaza. One full access from future Brasstown Valley Trail and one restricted right out to Heritage Road
- 104 parking spaces
- Two (2) loading areas
- Six (6) accessible space
- The site has a Floor Space Index (FSI) of 0.35
- The proposed lot coverage of the development is 27.19%.

Southern plaza:

- One (1) two-storey building with office uses on the second floor and three (3) one-storey buildings for retail and commercial uses.

- The development application proposes a total Gross Floor Area (GFA) of approximately 3,339 square metres.
 - Building A (Retail and Office): two-storey with a GFA of 1,509 square metres;
 - Building B (Retail): one-storey with a GFA of 702 square metres;
 - Building C (Retail): one-storey with a GFA of 708 square metres; and
 - Building D (Retail): one-storey with a GFA of 824 square metres.
- The development application proposes two (2) vehicular accesses for the southern plaza. One full access from future Brasstown Valley Trail and one restricted right in and right out to Heritage Road
- 163 parking space
- Two (2) loading area
- Six (6) accessible space
- The site has a Floor Space Index (FSI) of 0.35.
- The proposed lot coverage of the development is 27.19%.

Property Description and Surrounding Land Use (Please refer to Appendix 1):

The lands have the following characteristics:

- are municipally known as 8331 Heritage Road;
- have a total site area of approximately 0.88 hectares;
- have a frontage of approximately 255 metres along Heritage Road;
- are currently vacant land.

Appendix 1 reflects the general configuration of the road network and building locations in the proposed development which is subject to some changes occurring at the site plan approval stage.

The surrounding land uses are described as follows:

- North: Valleyland, draft approved Ashley Oaks Homes Plan of Subdivision (low/Medium density residential, commercial/office, and public school uses).
- South: Agricultural (lands part of the tertiary plan), valleyland, Ashley Oaks Homes Plan of Subdivision, Industrial uses
- East: Valleyland, Ashley Oaks Homes Plan of Subdivision
- West: Heritage Road, beyond is Maple Lodge Farms

Sustainability Score

The subject application has submitted a sustainability score of 46, attaining the bronze threshold. Through the site plan process, staff will continue to work with the applicant to ensure that the sustainability score metrics are achieved through the detailed site plan review (Please refer to Appendix 12).

Amendment to the Official Plan

On Schedule A of the Brampton Official Plan, the subject lands are designated 'Residential'. This designation permits complementary non-residential uses, such as 'Neighbourhood Retail' and 'Convenience Retail', where supported by the applicable Secondary Plan. As the Bram West Secondary Plan (Area 40(d)) permits these commercial uses on the subject lands, an amendment to Schedule A is not required.

On Schedule A2 – Retail Structure, the majority of the subject lands are designated 'Convenience Retail'. An amendment to Schedule A2 is being sought to refine the boundaries of the 'Convenience Retail' designation to align with the intended development configuration reflected in Draft Approved Plan of Subdivision 21T-19015B. In addition, the southern portion of the lands is proposed to be redesignated to 'Neighbourhood Retail' to accommodate a commercial gross floor area exceeding 40,000 square feet, in conformity with the City's retail hierarchy policies.

Within the Bram West Secondary Plan (Area 40(d)), the subject lands are designated 'Convenience Commercial' and 'Low/Medium Density Residential'. The 'Convenience Commercial' designation permits one or more retail or service establishments developed as a unit not exceeding 3,700 square metres (40,000 square feet). The 'Low/Medium Density Residential' designation permits a range of residential built forms, including single-detached, semi-detached, and townhouse dwellings, as well as supporting community uses such as schools, parks, and stormwater management facilities.

The proposed amendment seeks to redesignate the northern portion of the subject lands from 'Low/Medium Density Residential' to 'Convenience Commercial', and the southern

portion from 'Low/Medium Density Residential' and 'Convenience Commercial' to 'Neighbourhood Commercial'. These changes are intended to reflect the refined development limits, permit an increased gross floor area in the southern portion, and ensure conformity with the land use permissions required to support the proposed commercial plaza.

A Secondary Plan Amendment is therefore required to facilitate the proposed commercial development, as the current land use designations do not align with the intended development configuration.

Amendment to the Zoning By-law

The Subject Lands are currently zoned 'Future Development (FD)' in the City of Brampton Zoning By-law 270-2004 (see Appendix 6 – Brampton Zoning By-law (270-2004)).

An amendment to the Zoning By-law is required to facilitate the proposed development. The Zoning By-law Amendment submitted with this application proposes to rezone the subject lands to 'Commercial Three – Section 3836 (C3 – 3836)'. Site-specific provisions are proposed to allow reduced yard depths to support a more urban commercial form that interacts with the public realm and promotes efficient land use.

A minimum 6.0 metres building setback is maintained along the interface with residential lots, providing sufficient space for the installation of masonry walls and a landscape buffer to ensure appropriate screening and compatibility.

A Draft Implementing Zoning By-law is included as Appendix 14 of this Report.

Staff is satisfied that the proposed amendment to the Zoning By-law implements the intent of the Official Plan amendment, and will facilitate an appropriate development that will fit into the planned residential and commercial development in the area.

Cost-Sharing Agreement

This site is subject to the Bram West 40-3 Cost Sharing Agreement (CSA) obligations. Staff recommends that these obligations be satisfied prior to the enactment of Zoning By-law Amendment. If the matter remains unresolved prior to the enactment of the Zoning By-law Amendment, staff intends to include a Holding ('H') provision in the Zoning By-law to ensure that the obligations are satisfied in the future.

SUMMARY OF RECOMMENDATION:

This report recommends that Council approve the proposed Official Plan Amendment and Zoning By-law Amendment. This report further recommends that Council approve the Official Plan Amendment in accordance with Appendix 13 and the Zoning By-law Amendment in accordance with Appendix 14. The proposal and implementing documents

represent good planning, are consistent with the Provincial Planning Statement, and conform to the City of Brampton Official Plan – see associated details in Appendix 11.

Matters of Provincial Interest

Planning Act, (2020):

Section 2 of the Planning Act, R.S.O. 1990, sets out matters of provincial interest that decision-makers must have regard for when considering planning applications. The proposed Official Plan and Zoning By-law Amendment have been reviewed against these interests and are considered to have appropriate regard for the relevant provisions.

The proposal represents orderly and appropriate development within a planned subdivision area and supports the efficient use of land and infrastructure. It facilitates the extension of planned servicing, including transportation, water, wastewater, and waste management systems, and aligns with the planned subdivision layout, contributing to the creation of a safe and healthy community. The application also supports strategic intensification by introducing commercial uses on lands where residential development is restricted due to proximity to Maple Lodge Farms, thereby making efficient use of constrained lands. The site design promotes pedestrian integration and supports long-term transit objectives along Heritage Road, further contributing to a sustainable and walkable development pattern. While detailed design matters will be addressed through the Site Plan Approval process, the conceptual layout demonstrates a well-designed built form that supports the character of the surrounding neighbourhood and contributes positively to the public realm.

Based on the above, staff are satisfied that the application demonstrates appropriate regard for matters of provincial interest as outlined in Section 2 of the Planning Act.

Provincial Planning Statement (PPS), (2024):

The proposed Official Plan and Zoning By-law Amendments have been evaluated for consistency with the Provincial Planning Statement (PPS), 2024, in accordance with Sections 2 and 3 of the Planning Act. The PPS provides directions on matters of provincial interest related to land use planning and development, with a focus on building strong communities through efficient land use patterns, infrastructure integration, and complete community design.

The subject lands are located within a planned settlement area and form part of an approved draft plan of subdivision. The proposal supports the PPS objectives by optimizing the use of land and infrastructure, contributing to a diverse land use mix, and enabling a compact, transit-supportive form of development. Residential uses are restricted due to the site's proximity to Maple Lodge Farms, a major facility requiring separation from sensitive uses. As such, the proposed commercial use represents a compatible and appropriate alternative that mitigates land use conflicts and supports employment and services within the community. The application is supported by technical

studies, including a Functional Servicing Report and Traffic Impact Study, which demonstrate that the site can be adequately serviced.

Staff is satisfied that the proposed development is consistent with the applicable sections of the Provincial Policy Statement.

Municipal Planning Documents

City of Brampton Official Plan:

The City of Brampton Official Plan provides guidance and policies for the future of the city. The subject lands are designated 'Residential' on Schedule "A" and partially as 'Convenience Retail' on Schedule "A2" of the City of Brampton Official Plan. They are also located within the 'Community' and 'Support Corridor' on Schedule 1 – City Concept. The proposed commercial plaza supports the goals of the Official Plan, including Section 2.4.2(e), by enhancing the local employment base and contributing to a balanced live/work community structure.

The development aligns with Section 3.1, the Sustainable Planning Framework, by supporting compact, walkable, and transit-supportive growth. The proposed retail use is considered a complementary use within the 'Residential' designation under Section 4.2.1.1, subject to Secondary Plan policies. The proposal also conforms with the Local Retail policies in Section 4.3.5, by introducing a mix of 'Neighbourhood Retail' and 'Convenience Retail' at a location identified for future growth and supported by planned infrastructure.

In accordance with Section 4.10.1, the application incorporates measures to conserve and commemorate the McClure Farmhouse, a cultural heritage resource, through an interpretive feature that preserves its legacy within the community.

Based on the above, the application conforms with the Official Plan, and an amendment is required to redesignate the southern portion of the lands as 'Neighbourhood Retail' and expand the 'Convenience Retail' designation over the northern portion, ensuring alignment with the proposed use and the City's retail structure. Staff recommend approval of the Official Plan Amendment, generally in accordance with Appendix 13.

Bram West 40(d) Secondary Plan:

As the Bram West Secondary Plan area is currently under review by the City, the proposed development will be assessed for conformity against the existing, in-effect Bram West 40(d) Secondary Plan.

The subject lands are designated 'Low/Medium Density Residential' and 'Convenience Commercial' in Schedule SP40(a) of the Bram West Secondary Plan. The 'Low/Medium Density Residential' designation permits a mix of housing types, with a maximum density of 30.1 units per net hectare, and requires that at least 60% of units be single detached

dwellings. The 'Convenience Commercial' designation permits local-scale commercial uses with a gross floor area (GFA) limit of 40,000 square feet and is intended to serve nearby residential communities while minimizing impacts on adjacent residential areas.

The proposed development consists of two commercial plazas, a northern and a southern plaza, comprising a total of eight buildings. Each plaza includes one two-storey mixed-use building with office uses on the second floor and three one-storey buildings for retail and commercial uses. The combined total GFA is approximately 5,568 square metres.

The proposal does not conform to the 'Low/Medium Density Residential' designation, as it includes no residential component and does not meet the density or housing requirements outlined in Section 3.4.15 of the Secondary Plan. Additionally, the proposed GFA exceeds the 40,000 sq. ft. limit permitted under the 'Convenience Commercial' designation by 289 sq. ft. Therefore, an Official Plan Amendment is required to redesignate the southern portion of the site to 'Neighbourhood Commercial' to accommodate the proposed scale; and expand the 'Convenience Commercial' designation in the northern portion to reflect the entirely non-residential use and align with current policy.

As required under Section 3.5.6(iv) of the Bram West Secondary Plan, a Tertiary Plan is necessary to demonstrate coordinated and comprehensive development of the 'Convenience Commercial' lands along Heritage Road. A Tertiary Plan and supporting brief were submitted by Glen Schnarr & Associates Inc., illustrating coordinated access, circulation, and site design across the subject site and adjacent lands, a portion of which are under the same ownership but not included in this proposal. Further details regarding landscaping treatment and maintenance responsibilities for adjacent lands under the same ownership will be reviewed at the Site Plan stage to ensure cohesive site development.

The subject lands are located within Special Policy Area 16 in the Secondary Plan, which addresses compatibility with Maple Lodge Farms operations. A reduced separation distance of 150 metres was approved through OLT Case No. 22-002419. The proposed commercial use is considered a less sensitive alternative to residential development and provides an appropriate buffer between Maple Lodge Farms and future neighbourhoods to the east.

Based on the above, an amendment to the Secondary Plan is required to update the designations and reflect the proposed commercial plaza. Staff recommend approval, generally in accordance with Appendix 13.

Community Engagement

The proposed Official Plan Amendment and Zoning By-law Amendment was circulated to City Departments, commenting agencies and property owners within 240 metres of the subject lands in accordance with and exceeding the Planning Act requirements. Public Notice signs were also placed on the subject lands to advise members of the public that

an application had been filed with the City. This report along with the complete application requirements, including studies, have been posted to the City's website.

A Statutory Public Meeting for this application was held on August 12th, 2024. One member of the public made delegations at the meeting. Details of the Statutory Public Meeting, including a summary of the issues raised and response to the issues, are included in the summary chart as well as in Appendix 10 of this report.

| Issue Raised at Public Meeting | Response |
|---|---|
| <i>Restrict the use of Heritage Road by transport trucks</i> | Heritage Road is classified as a collector road within the City's road network, and restrictions on truck traffic are determined and enforced by the City's Transportation Planning and Traffic Services divisions. This development application does not propose any changes to existing road classifications or truck restrictions. City staff can confirm that no changes to truck routing or permissions are proposed through this application. |
| <i>Allow for switching from a septic tanks to sanitary sewers in the area</i> | The proposed development includes full municipal servicing, including connections to the existing sanitary sewer network along Brasstown Valley Trail. However, the extension of sanitary services to existing residential properties not included in the development boundary is not within the scope of this application |

CORPORATE IMPLICATIONS:

Financial Implications:

There are no financial implications directly associated with this report. Revenue collected through development application fees are accounted for in the approved operating budget.

Other Implications:

There are no other corporate implications associated with the applications.

TERM OF COUNCIL PRIORITIES:

The application is consistent with the "A City of Opportunities" theme. It supports the building of complete communities to accommodate growth for people and jobs.

Living the Mosaic – 2040 Vision

This report has been prepared in full consideration of the overall vision that the people of Brampton will “Live the Mosaic.” This report aligns with the vision that Brampton will be a mosaic of complete neighbourhoods and vibrant centres by supporting the development of a neighbourhood-scale commercial plaza that enhances access to goods and services, promotes local employment, and contributes to a walkable, transit-supportive urban environment. The proposed development provides an appropriate land use transition, integrates with surrounding residential areas, and reflects the City’s commitment to creating inclusive, complete, and well-connected communities.

CONCLUSION:

Staff is satisfied that the proposed Official Plan and Zoning By-law Amendment represent good planning. The proposal has regard for matters of provincial interest in Section 2.0 of the Planning Act, is consistent with the Provincial Planning Statement (PPS), 2024, and aligns with overall principles and policy direction of the City of Brampton Official Plan

The proposed amendments support the City’s objective of fostering complete, compact, and well-connected communities by introducing a walkable, transit-supportive commercial development within an established growth area. The development leverages existing infrastructure, contributes to the local employment base, and provides convenient access to goods and services for area residents.

This report recommends that Council enact the Official Plan Amendment and Zoning By-law Amendment attached hereto as Appendices 13 and 14, respectively, as the following criteria have been met:

- The proposal conforms to provincial and municipal planning framework, such as Provincial Planning Statement and the Brampton Official Plan.
- The proposed development supports strategic intensification by introducing appropriately scaled commercial uses that enhance local employment and economic activity.
- The application has been reviewed by all relevant internal departments and external agencies, and technical matters have been satisfactorily addressed.

The proposed amendments facilitate the orderly development of the lands and contribute positively to the planned function of the surrounding area. Staff recommend approval of the Official Plan Amendment and Zoning By-law Amendment, as the proposal is considered to be in the public interest and consistent with the principle of good planning.

Authored by:

Reviewed by:

Saghar Massah
Development Planner, Development
Services & Design
Planning, Building and Growth
Management

Allan Parsons MCIP, RPP
Director, Development Services & Design
Planning, Building, and Growth
Management

Approved by:

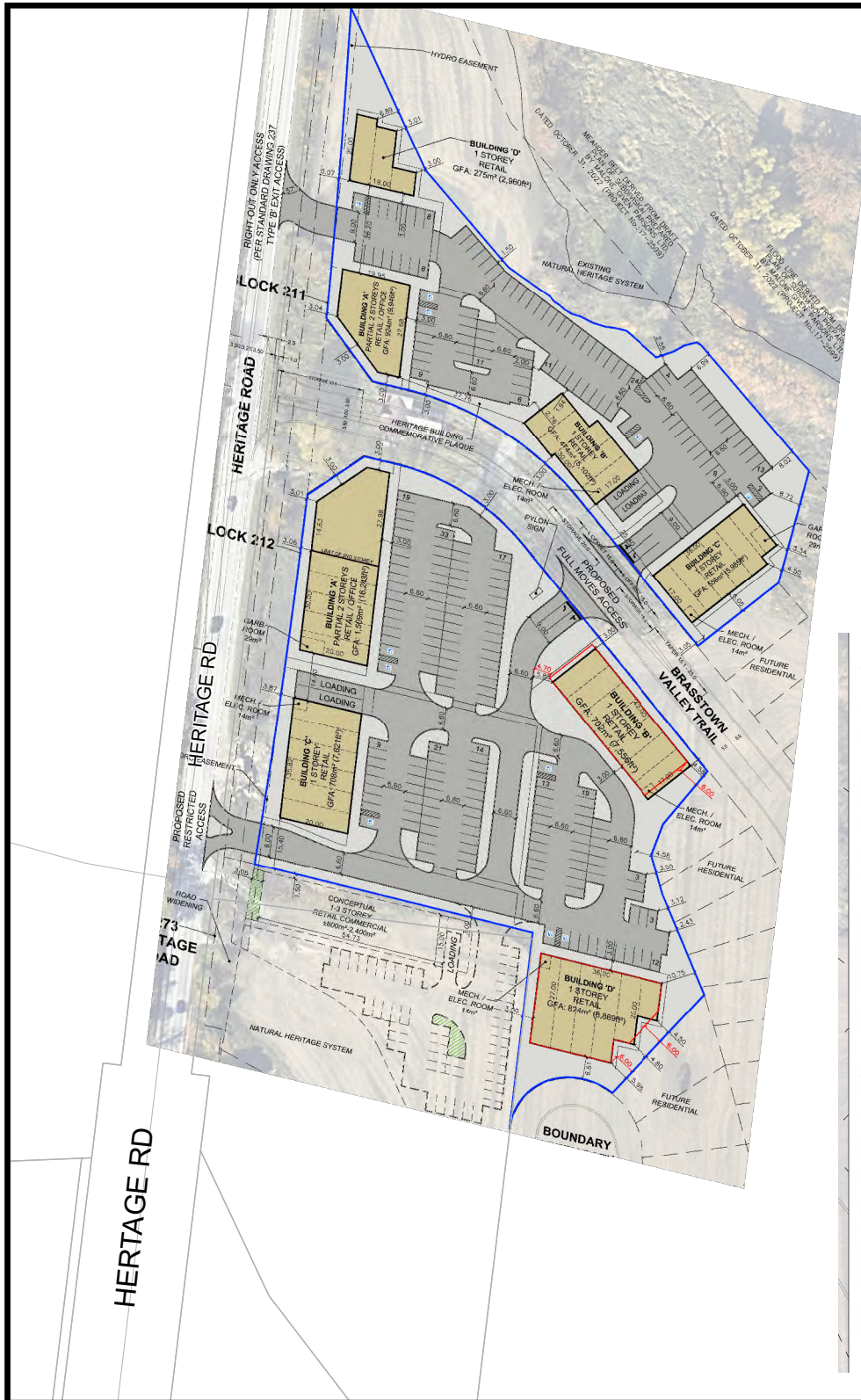
Approved by:

Steve Ganesh MCIP RPP
Commissioner
Planning, Building and Growth
Management Services Department

Marlon Calliden
Chief Administrative Officer

Attachments:

- Attachment 1: Concept Plan
- Attachment 2: Location Map
- Attachment 3: Official Plan Designations-Schedule A
- Attachment 4: Official Plan Retail Structure-Schedule A2
- Attachment 5: Secondary Plan Designations
- Attachment 6: Zoning Designations
- Attachment 7: Aerial & Existing Land Use
- Attachment 8: Heritage Resources
- Attachment 9: Results of External Circulation
- Attachment 10: Results of Public Meeting
- Attachment 11: Detailed Planning Analysis
- Attachment 12: Sustainability Assessment Snapshot
- Attachment 13: Official Plan Amendment
- Attachment 13A: Official Plan Amendment Schedule
- Attachment 13B: Official Plan Amendment Schedule
- Attachment 14: Zoning By-law Amendment
- Attachment 14A: Zoning By-law Amendment Schedule
- Attachment 15: Tertiary Plan

**LEGEND:**

SUBJECT LANDS

SUBJECT LANDS SITE STATISTICS:**BLOCK 211****SITE STATISTICS**

TOTAL SITE AREA: 8,842m² (2.18ac)
BUILDING COVERAGE (%): 1,819m² (20.6%)

BUILDING STATISTICS

GROSS FLOOR AREA: 2,229m² (23,993ft²)
MAXIMUM BUILDING HEIGHT: 2 STOREYS

PARKING & LOADING STATISTICS

(RATE: SHOPPING CENTRE 1 SPACE / 23m²)

REQUIRED PARKING: 97 SPACES
PROVIDED PARKING: 104 SPACES
REQUIRED ACCESSIBLE: 5 SPACES
PROVIDED ACCESSIBLE: 5 SPACES
REQUIRED LOADING: 2 SPACES
PROVIDED LOADING: 2 SPACES

BLOCK 212**SITE STATISTICS**

TOTAL SITE AREA: 14,517m² (3.59ac)
BUILDING COVERAGE (%): 3,339m² (23.0%)

BUILDING STATISTICS

GROSS FLOOR AREA: 3,743m² (40,289ft²)
MAXIMUM BUILDING HEIGHT: 2 STOREYS

PARKING & LOADING STATISTICS

(RATE: SHOPPING CENTRE 1 SPACE / 23m²)

REQUIRED PARKING: 163 SPACES
PROVIDED PARKING: 163 SPACES
REQUIRED ACCESSIBLE: 6 SPACES
PROVIDED ACCESSIBLE: 6 SPACES
REQUIRED LOADING: 2 SPACES
PROVIDED LOADING: 2 SPACES

Parcel Fabric



brampton.ca

BRAMPTON
Flower City



PLANNING, BUILDING AND GROWTH MANAGEMENT

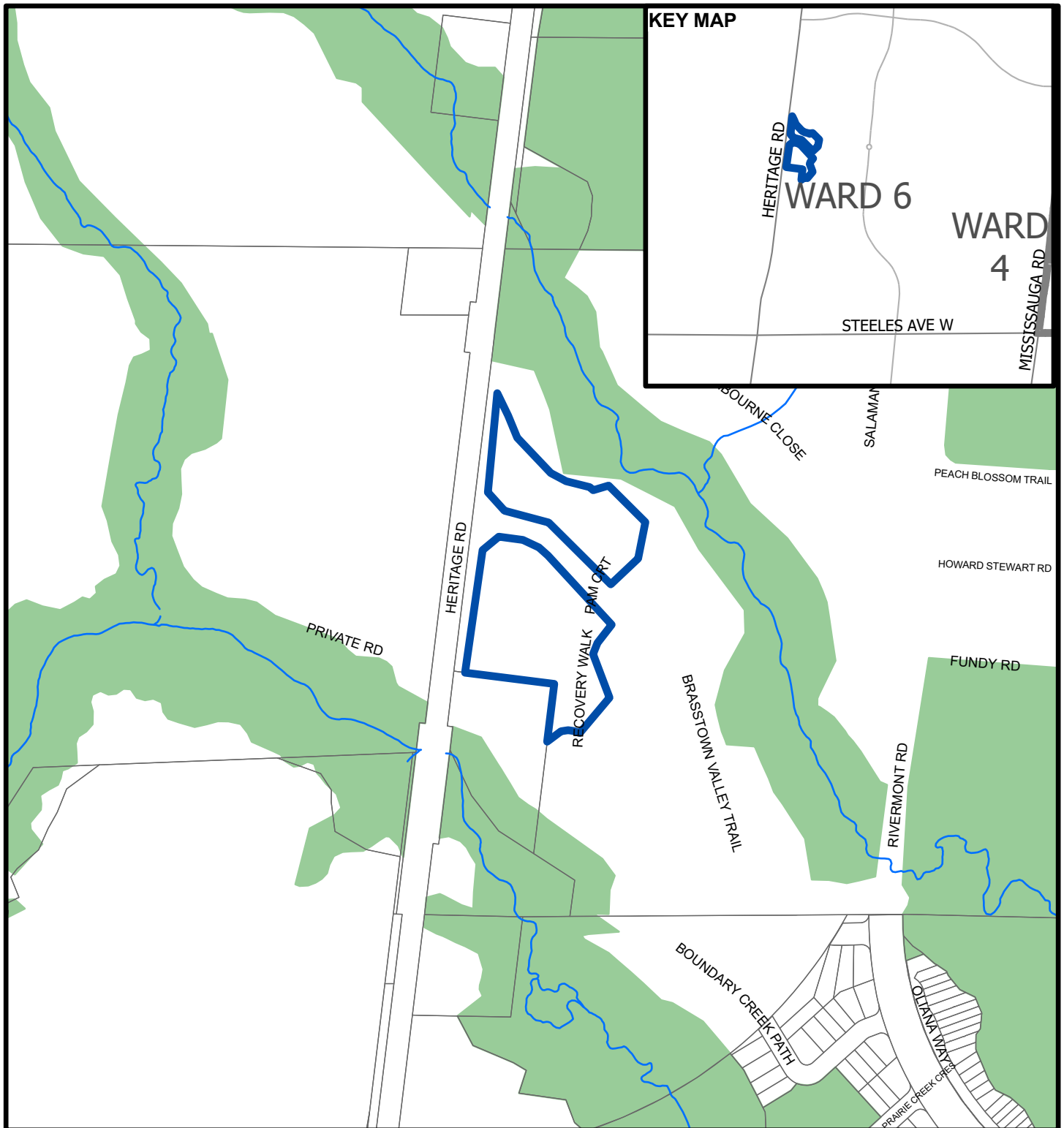
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Author: CAntoine
Date: 2025/05/09

APPENDIX 1 CONCEPT PLAN

Applicant: Glen Schnarr & Associates Inc.
Owner: 840966 Ontario Limited (Ashley Oaks Homes Inc.)

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CHP FILE: 025-2024-0031



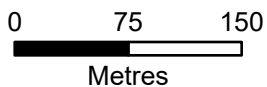
- Parcel Fabric
- Open Space
- Major Watercourse
- Subject Lands



BRAMPTON
Flower City



PLANNING, BUILDING AND GROWTH MANAGEMENT

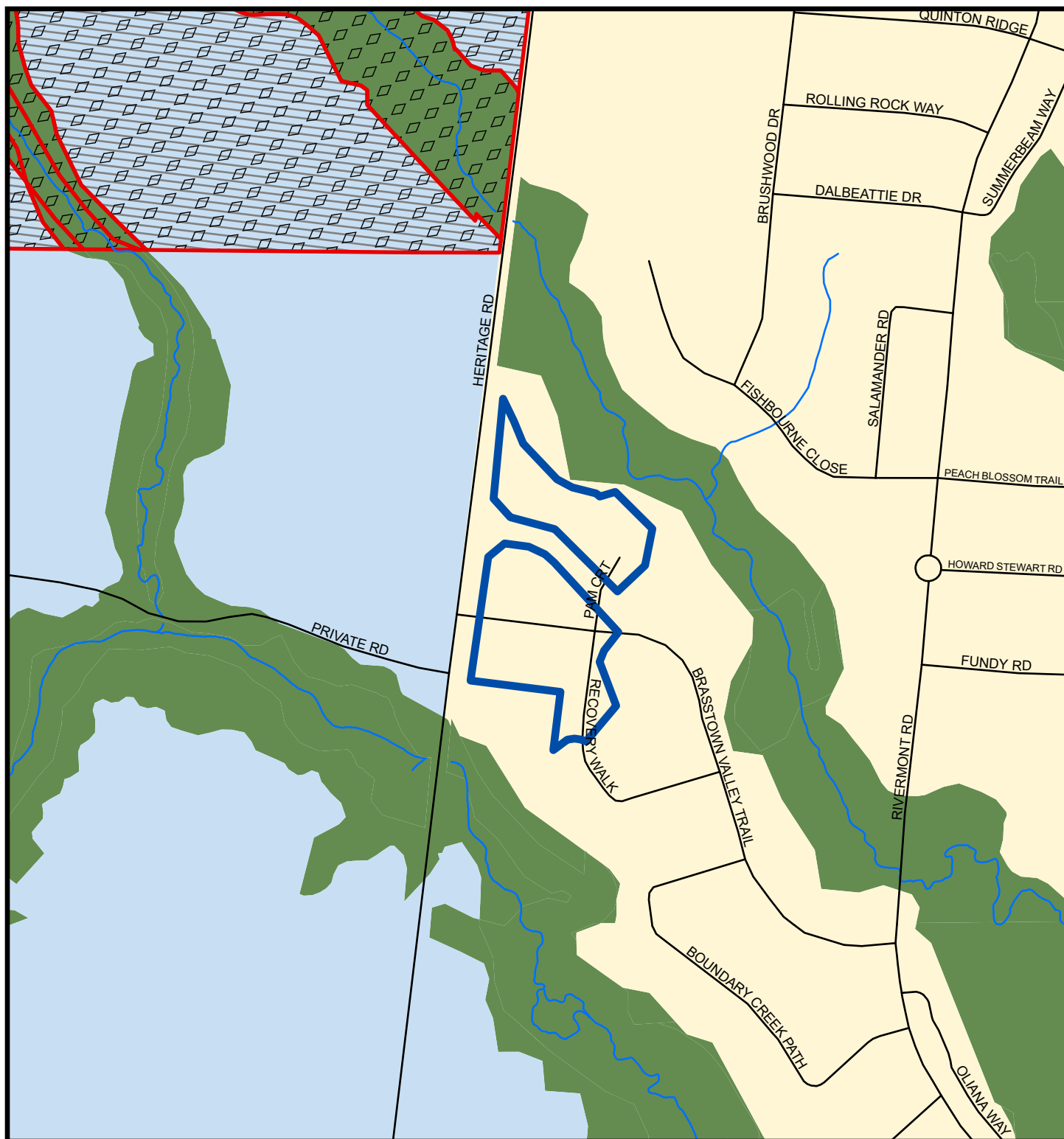


Author: CAntoine
Date: 2025/05/06

APPENDIX 2 LOCATION MAP

Applicant: Glen Schnarr & Associates Inc.
Owner: 840966 Ontario Limited (Ashley Oaks Homes Inc.)

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CIP FILE: 023-2024-0031



EXTRACT FROM SCHEDULE A (GENERAL LAND USE DESIGNATIONS) OF THE CITY OF BRAMPTON OFFICIAL PLAN

- MAJOR WATERCOURSES
- CORRIDOR PROTECTION AREA/INDUSTRIAL
- Subject Lands
- CORRIDOR PROTECTION AREA
- INDUSTRIAL
- RESIDENTIAL
- OPEN SPACE



BRAMPTON
Flower City



PLANNING, BUILDING AND GROWTH MANAGEMENT

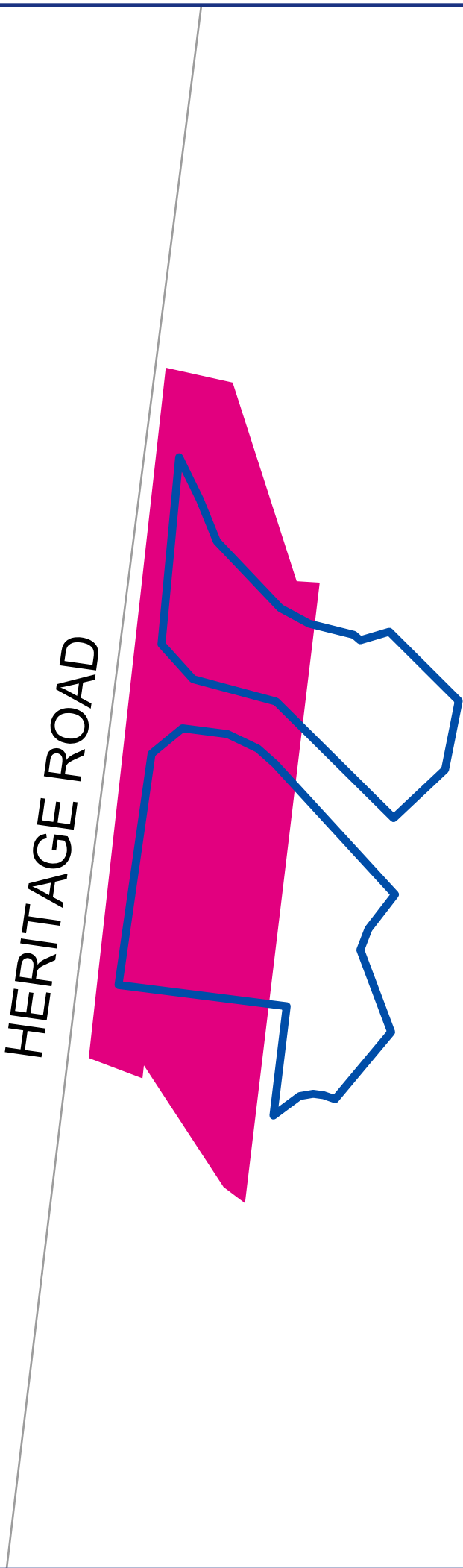




Author: CAntoine
Date: 2025/05/06

APPENDIX 3 OFFICIAL PLAN DESIGNATIONS

Applicant: Glen Schnarr & Associates Inc.
Owner: 840966 Ontario Limited (Ashley Oaks Homes Inc.)

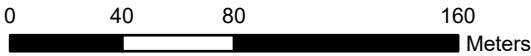
Page 108 of 171
CHP FILE: 025-2024-0031



 Subject Lands
 CONVENIENCE RETAIL



BRAMPTON
Flower City
PLANNING, BUILDING AND GROWTH MANAGEMENT

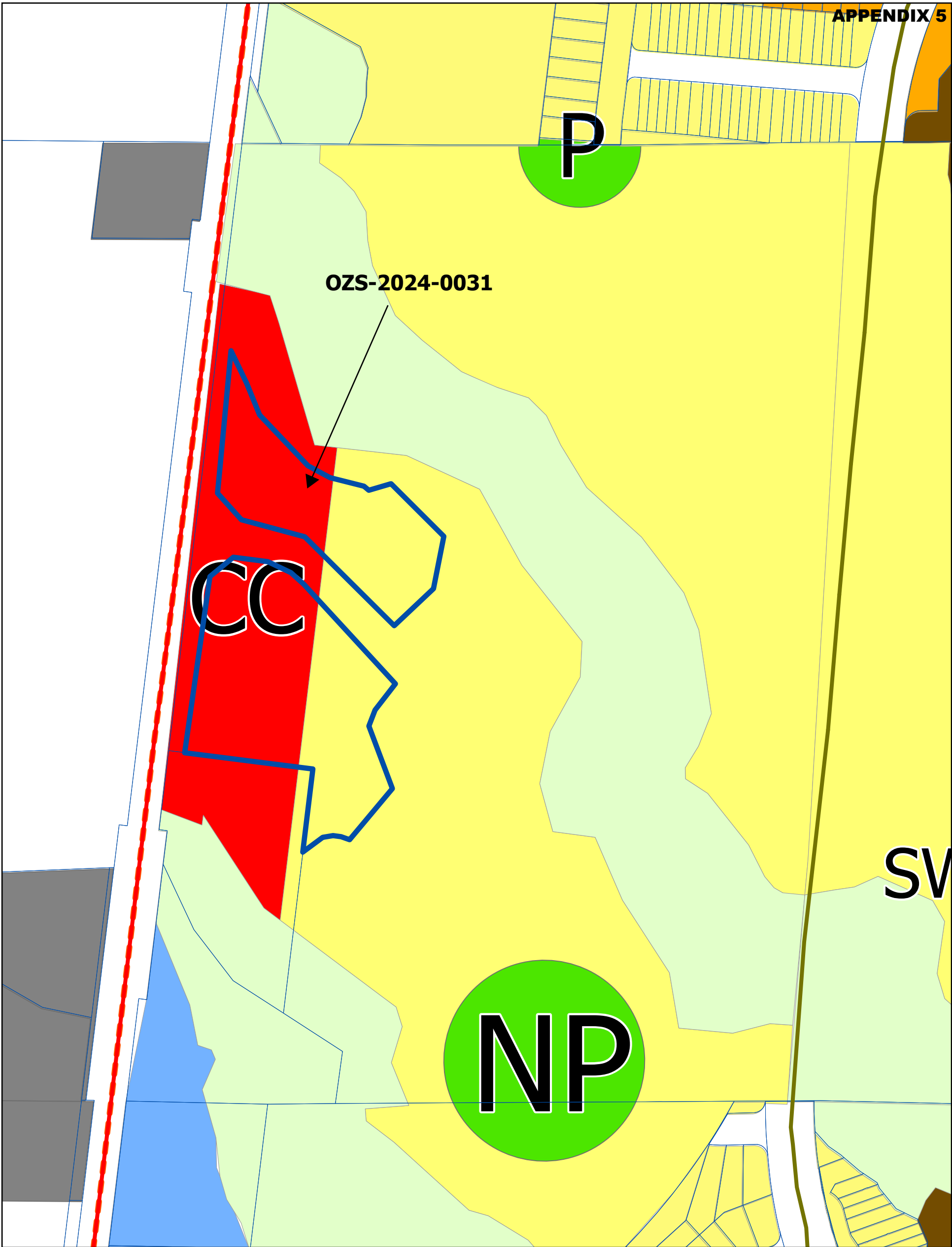


Date: 2025/05/13



APPENDIX 4
OFFICIAL PLAN RETAIL STRUCTURE

Applicant: Glen Schnarr & Associates Inc.
Owner: 840966 Ontario Limited (Ashley Oaks Homes Inc.)



RESIDENTIAL

- EXECUTIVE RESIDENTIAL
- LOW / MEDIUM DENSITY
- MEDIUM DENSITY
- VILLAGE RESIDENTIAL
- MEDIUM / HIGH DENSITY
- MIXED USE

EMPLOYMENT

- PRESTIGE INDUSTRIAL
- NEIGHBOURHOOD COMMERCIAL
- SERVICE COMMERCIAL
- CONVENIENCE COMMERCIAL
- SPECIALTY OFFICE & SERVICE COMMERCIAL
- OFFICE CENTRE

INSTITUTIONAL

- SECONDARY SCHOOL
- SENIOR ELEMENTARY SCHOOL
- ELEMENTARY SCHOOL
- PLACE OF WORSHIP (RESERVE)
- FIRE STATION
- RETIREMENT HOME

OPEN SPACE

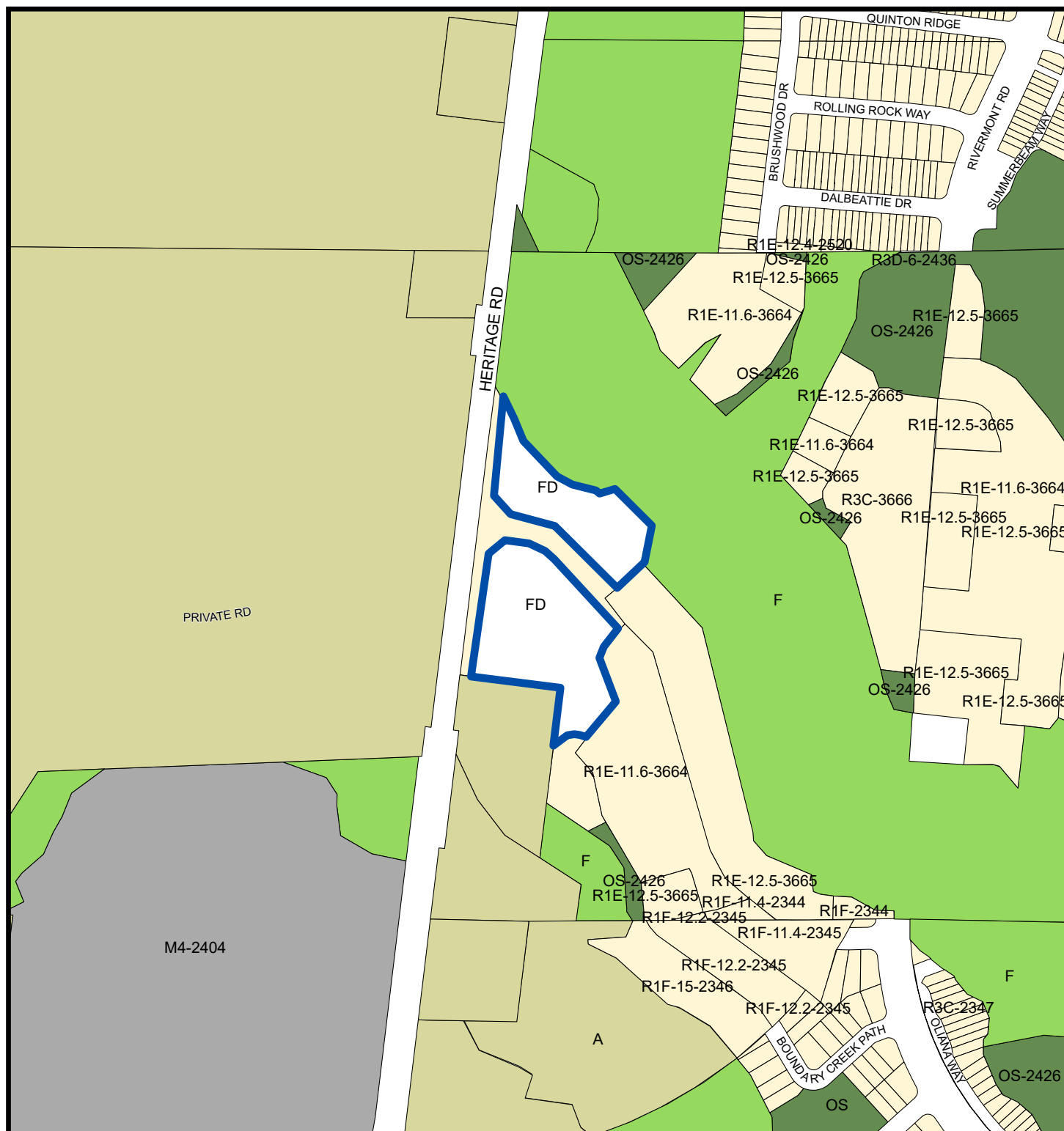
- VALLEYLAND
- COMMUNITY PARK
- NEIGHBOURHOOD PARK
- PARKETTE
- WOODLOT
- WETLAND

ROAD NETWORK

- LINKAGE
- SWM FACILITIES (QUANTITY)
- SECONDARY PLAN BOUNDARY
- PRIMARY GATEWAY
- Subject Lands
- MINOR COLLECTOR ROAD (23-26 METRES)
- MAJOR COLLECTOR ROAD (26-30 METRES)
- MINOR ARTERIAL ROAD (36 METRES)
- MAJOR ARTERIAL ROAD (45-50 METRES)

INFRASTRUCTURE

- TRANSCANADA GAS PIPELINE
- NORTH-SOUTH TRANSPORTATION CORRIDOR



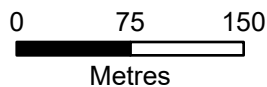
-  RESIDENTIAL
  INDUSTRIAL
  OPEN SPACE
 FLOODPLAIN
  AGRICULTURAL
  Subject Lands



BRAMPTON

Flower City

PLANNING, BUILDING AND GROWTH MANAGEMENT



Author: CAntoine
Date: 2025/05/08








APPENDIX 6 ZONING MAP

Applicant: Glen Schnarr & Associates Inc.
Owner: 840966 Ontario Limited (Ashley Oaks Homes Inc.)

Page 111 of 131
Case 1:23-cv-00311-0031



Orthoimagery: Spring 2023

- | | | |
|--|---|---|
|  Agricultural |  Residential |  Subject Lands |
|  Open Space |  City Limit | |

Note: Existing Land Use is derived from the property code of the most recently updated active address point on a parcel. Where there is not an active address point, property code from the most recently retired address point is used. Property codes are assigned, by Building, to the address point at creation.



BRAMPTON
Flower City



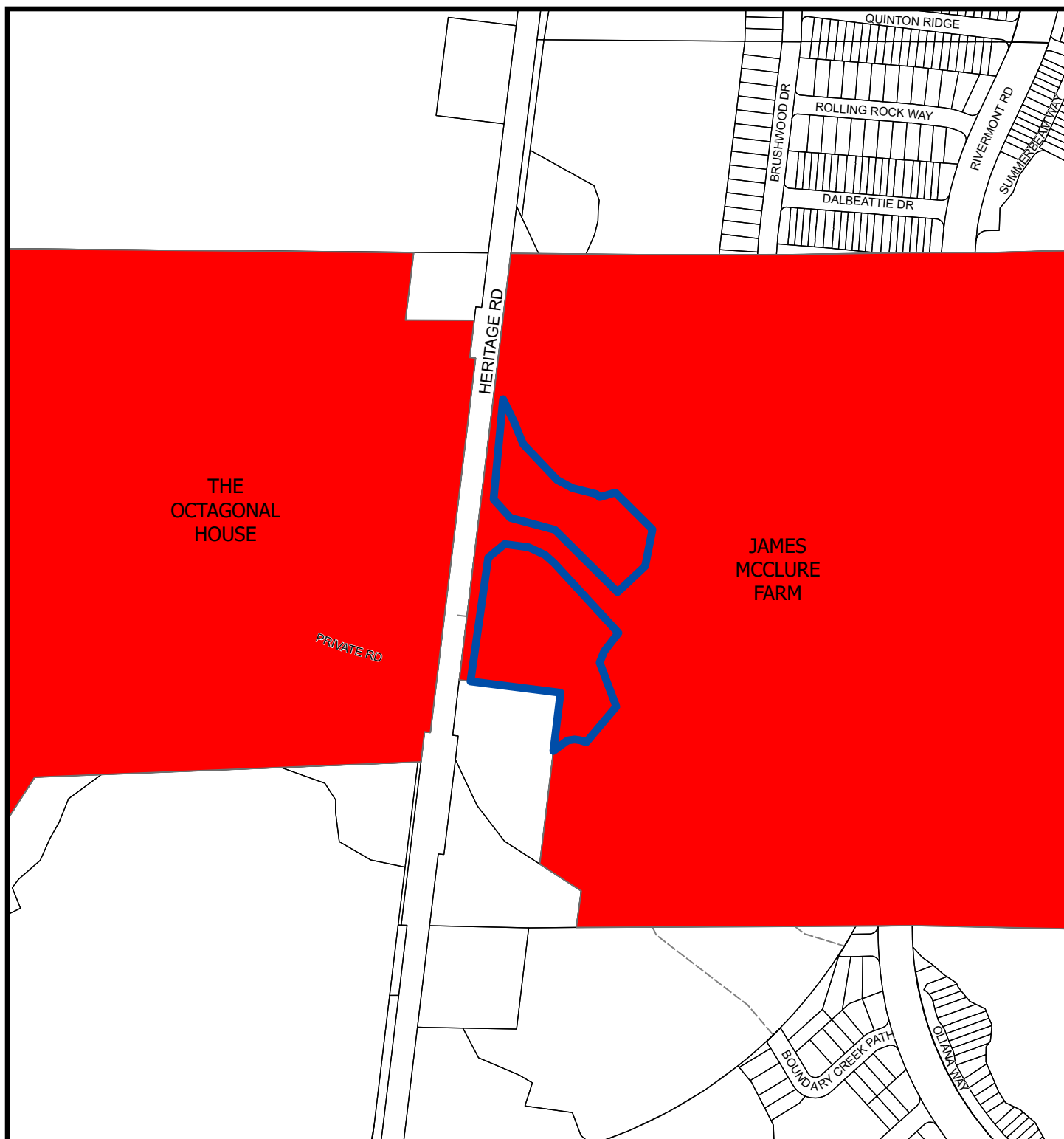
PLANNING, BUILDING AND GROWTH MANAGEMENT



Author: CAntoine
Date: 2025/05/08

APPENDIX 7 AERIAL & EXISITNG LAND USE

Applicant: Glen Schnarr & Associates Inc.
Owner: 840966 Ontario Limited (Ashley Oaks Homes Inc.)



PARCEL FABRIC
 HERITAGE PORPERTIES WITHIN 50M
 Subject Lands



BRAMPTON
Flower City

PLANNING, BUILDING AND GROWTH MANAGEMENT

0 75 150
Metres

Author: CAntoine
Date: 2025/05/06



APPENDIX 8 HERITAGE PROPERTIES

Applicant: Glen Schnarr & Associates Inc.
Owner: 840966 Ontario Limited (Ashley Oaks Homes Inc.)

Page 113 of 171
CHP FILE: 025-2024-0031

Mahmood, Nasir

From: PrimeCities <WSP.PrimeCities@wspdigitalfactory.com>
Sent: 2024/05/30 5:24 PM
To: Planningcomments; Mahmood, Nasir
Subject: [EXTERNAL]OPA, ZBLA, and Draft Plan of Subdivision (OZS-2024-0031), 8331 Heritage Rd., Brampton

Categories: Orange Category

Caution: This email originated from outside the organization. Do not click links or open attachments that you do not trust or are not expecting.



5/30/2024

Planning Comments, Nasir Mahmood

Brampton

Brampton (City)

Attention: Planning Comments, Nasir Mahmood

Re: OPA, ZBLA, and Draft Plan of Subdivision (OZS-2024-0031), 8331 Heritage Rd., Brampton;

Your File No. OZS-2024-0031

Our File No. DTS: 27668 / Circ: 42175

Dear Sir/Madam,

We have reviewed the circulation regarding the above noted application. The following paragraphs are to be included as a condition of approval:

Bell Canada Condition(s) of Approval

- 1) The Owner acknowledges and agrees to convey any easement(s) as deemed necessary by Bell Canada to service this new development. The Owner further agrees and acknowledges to convey such easements at no cost to Bell Canada.
- 2) The Owner agrees that should any conflict arise with existing Bell Canada facilities where a current and valid easement exists within the subject area, the Owner shall be responsible for the relocation of any such facilities or easements at their own cost.

Upon receipt of this comment letter, the Owner is to provide Bell Canada with servicing plans/CUP at their earliest convenience to planninganddevelopment@bell.ca to confirm the provision of communication/telecommunication infrastructure needed to service the development.

It shall be noted that it is the responsibility of the Owner to provide entrance/service duct(s) from Bell Canada's existing network infrastructure to service this development. In the event that no such network infrastructure exists, in accordance with the Bell Canada Act, the Owner may be required to pay for the extension of such network infrastructure.

If the Owner elects not to pay for the above noted connection, Bell Canada may decide not to provide service to this development.

Concluding Remarks:

To ensure that we are able to continue to actively participate in the planning process and provide detailed provisioning comments, we note that we would be pleased to receive circulations on all applications received by the Municipality and/or recirculations.

If you believe that these comments have been sent to you in error or have questions regarding Bell's protocols for responding to municipal circulations and enquiries, please contact planninganddevelopment@bell.ca directly.

We note that WSP operates Bell Canada's development tracking system, which includes the intake and processing of municipal circulations. **However, all responses to circulations and requests for information, such as requests for clearance, will come directly from Bell Canada, and not from WSP.** WSP is not responsible for Bell's responses and for any of the content herein.

Should you have any questions, please contact the undersigned.

Yours Truly,



Juan Corvalan
Senior Manager - Municipal Liaison
Email: planninganddevelopment@bell.ca.



CANADA POST
201 - 1860 MIDLAND AVE
TORONTO ON M1P 5A1

CANADAPOST.CA

POSTES CANADA
201 - 1860 MIDLAND AVE
TORONTO ON M1P 5A1

POSTESCANADA.CA

Tuesday, June 11, 2024

City of Brampton
Planning, Building and Growth Management
2 Wellington Street West
Brampton, ON L6Y 4R2

Attention: Nasir Mahmood, Planner
nasir.mahmood@brampton.ca

RE: Request for Comments
OZS-2024-0031
8331 Heritage Rd

Dear Nasir,

Thank you for the opportunity to comment on the above noted application.

Mail delivery to these new commercial buildings will be centralized through a community mailbox.

The applicant should contact Canada Post to discuss mail delivery and addressing.

Should you require further information, please do not hesitate to contact me at the mailing address or telephone number below.

Sincerely,

Nikki Talusan

Nikki Talusan
Delivery Services Officer
647-290-1186
nikki.talusan@canadapost.ca

Mahmood, Nasir

From: Municipal Planning <MunicipalPlanning@enbridge.com>
Sent: 2024/05/30 3:38 PM
To: Planningcomments; Mahmood, Nasir
Cc: Trdoslavic, Shawntelle
Subject: [EXTERNAL]RE: [OZS-2024-0031] Notice of Application and Request for Comments
DUE: JUN 10/2024

Categories: Orange Category

Caution: This email originated from outside the organization. Do not click links or open attachments that you do not trust or are not expecting.

Thank you for your circulation.

Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not signify an approval for the site/development.

Please always call before you dig, see web link for additional details: <https://www.enbridgegas.com/safety/digging-safety-for-contractors>

Please continue to forward all municipal circulations and clearance letter requests electronically to MunicipalPlanning@Enbridge.com.

Regards,

Willie Cornelio CET (he/him)
Sr Analyst, Municipal Planning
Engineering

ENBRIDGE
TEL: 416-495-6411
500 Consumers Rd, North York, ON M2J1P8
enbridge.com
Safety. Integrity. Respect. Inclusion.

From: Trdoslavic, Shawntelle <Shawntelle.Trdoslavic@brampton.ca>
Sent: Monday, May 27, 2024 4:58 PM
To: ZZG-PlanningInfo <zzg-planninginfo@peelregion.ca>; Hardcastle, John <john.hardcastle@peelregion.ca>; Jenkins, Dana <dana.jenkins@peelregion.ca>; suzanne.blakeman@peelsb.com; Gooding, Nick <Nick.gooding@peelsb.com>; Sousa, Phillip <phillip.sousa@peelsb.com>; Tessaro, Zach <zach.tessaro@peelsb.com>; Cox, Stephanie <stephanie.cox@dpcdsb.org>; Koops, Krystina <krystina.koops@dpcdsb.org>; planification <planification@csmiamonde.ca>; Hughes, Trisha <trisha.hughes@cvc.ca>; Pakulski, Beata <beata.pakulski@cvc.ca>; Bhatt, Stuti <stuti.bhatt@cvc.ca>; Municipal Planning <MunicipalPlanning@enbridge.com>; Henry Gamboa <henry.gamboa@alecrautilities.com>; Gaurav Robert Rao <Gaurav.Rao@alecrautilities.com>; Dave A. Robinson <DaveA.Robinson@alecrautilities.com>; max.watters@alecrautilities.com; Dennis De Rango <landuseplanning@hydroone.com>; gtaw.newarea@rci.rogers.com; CA - Circulations <CA.Circulations@wsp.com>; christopher.fearon@canadapost.ca; RAI, Nirmaljit <nirmaljit.rai@canadapost.postescanada.ca>; TALUSAN, Nikki <Nikki.Talusan@canadapost.postescanada.ca>
Cc: Mahmood, Nasir <Nasir.Mahmood@brampton.ca>; BramPlanOnline_Automated <SVC_AccelaEmail.SVC_AccelaEmail@brampton.ca>; Planningcomments <Planningcomments@brampton.ca>; Adshead,

Janice <Janice.Adshead@brampton.ca>; Hans, Shawnica <Shawnica.Hans@brampton.ca>; Urquhart, Chandra <Chandra.Urquhart@brampton.ca>; Jaswal, Gagandeep <Gagandeep.Jaswal@brampton.ca>

Subject: [External] [OZS-2024-0031] Notice of Application and Request for Comments DUE: JUN 10/2024

CAUTION! EXTERNAL SENDER

Were you expecting this email? TAKE A CLOSER LOOK. Is the sender legitimate?

DO NOT click links or open attachments unless you are 100% sure that the email is safe.

Good Afternoon,

An application for **8331 Heritage Road** with an assigned file number of **OZS-2024-0031** was submitted to City of Brampton for review and the applicant submitted materials are made public on [BramPlan Online](#) for review.

As part of our commitment to improving our development application processes, timely reviews are crucial due to compressed timelines.

Please submit your comments to both our general inbox at planningcomments@brampton.ca and the assigned planner by **June 10, 2024**

If you have any concerns, please contact the assigned planner at nasir.mahmood@brampton.ca

Please note: It will be assumed that if comments are not received by the due date, it will be interpreted that your organization has no comments.

How to Access Applicant Submitted Documents

<https://www.youtube.com/watch?v=2KLexaEefpM>

Thanks and have a great evening!

Shawntelle Trdoslavic

Development Services Clerk

Planning, Building and Growth Management

City of Brampton | 2 Wellington Street West | Brampton, Ontario | L6Y 4R2

shawntelle.trdoslavic@brampton.ca

Our Focus Is People 



Please review the City of Brampton e-mail disclaimer statement at: <http://www.brampton.ca/EN/Online-Services/Pages/Privacy-Statement.aspx>



June 10, 2024

VIA EMAIL

City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

Attention: Nasir Mahmood

**Re: City File OZS-2024-0031
CVC File OZ 24/031
840966 ONTARIO LIMITED
8331 Heritage Road
Part of Lot 2, Concession 5 WHS
City of Brampton**

Credit Valley Conservation (CVC) staff have had the opportunity to review the submission for the above-noted Official Plan and Zoning By-law Amendment application, to enable development of a proposed retail commercial plaza.

CVC REGULATED AREA:

Based on information available, the property is located adjacent to the Levi Creek and Heritage Creek valleys and partially regulated due to the associated natural hazards (erosion, slope and floodplain). As such, this site is subject to the Prohibited Activities, Exemptions, and Permits Regulation (Ontario Regulation 41/24). This regulation prohibits altering a watercourse, wetland or shoreline and prohibits development in areas adjacent to the Lake Ontario shoreline, river and stream valleys, hazardous lands and wetlands, without the prior written approval of CVC (i.e. the issuance of a permit).

Comments

CVC staff have reviewed the submission, including the Functional Servicing & Stormwater Management Report (SKIRA & Associates Ltd., April 9, 2024), Conceptual Site Grading Plan and Conceptual Site Servicing Plan (SKIRA, last revised April 25, 2024). Based on our review, the proposed plans are generally acceptable.

In this regard, CVC staff have **no objection** to the proposed Official Plan and Zoning By-law Amendment application.

We will continue to review the proposed development through the detailed design stage (e.g., site plan application), and a permit from CVC will be required prior to

any development within the regulated area. Please circulate CVC on future applications regarding this property.

We trust this is satisfactory, however should you have any questions feel free to contact the undersigned at trisha.hughes@cvc.ca or 905-670-1615 ext. 3250.

Sincerely,

A handwritten signature in black ink that reads "Trisha Hughes". The signature is written in a cursive, flowing style.

Trisha Hughes
Acting Senior Planner

c.c. Glen Schnarr & Associates Inc., c/o Jennifer Staden (agent)
840966 ONTARIO LIMITED, c/o Drago Vuckovic (owner)

Mike Jozwik

From: Hughes, Trisha <trisha.hughes@cvc.ca>
Sent: November 29, 2023 5:43 PM
To: dvuckovic@ashleyoakshomes.com; Mike Jozwik
Subject: CVC Permit FF 23/300 - 8331 Heritage Road in Brampton
Attachments: lgl_ff23300permit_br_20231129.pdf; lgl_ff23300dwgs_br_20231128.pdf

222B134/135

Hello Drago and Roman,

Please find attached a copy of CVC permit FF 23/300 for development in the Regulated Area for topsoil stripping and earthworks to facilitate subdivisions 21T-10001B Phase 2 and 21T-19015B at 8331 Heritage Rd in Brampton. Please note that this email together with the associated attachments serves as your permit from CVC.

Should you have any questions about the above, please contact the undersigned to discuss.

Sincerely,

Trisha Hughes | RPP | she/her/hers

Acting Senior Planner, Planning and Development Services | Credit Valley Conservation

905-670-1615 ext 325 | M: 437-855-4056

trisha.hughes@cvc.ca | cvc.ca



[View our privacy statement](#)



**Credit Valley
Conservation**
inspired by nature

Credit Valley Conservation Authority

Date of Issuance: November 29, 2023

PERMIT 23/300

IN ACCORDANCE WITH:

ONTARIO REGULATION 160/06, PURSUANT TO SECTION 28 OF THE CONSERVATION AUTHORITIES ACT (R.S.O. 1990 Chapter C.27).

PERMISSION HAS BEEN GRANTED TO:

Owner Name: Ashley Oaks Homes Inc. (Drago Vuckovic) **Tel:** 905 276-9980

Address: 918 Dundas St E, Unit 500, Mississauga ON L4Y 4H9

Agent Name: Skira & Associates (Roman Kerkusz) **Tel:** 416 938-9053

Address: 3464 Semenyk Crt, Mississauga ON L5C 4P8

Property Location: 8331 Heritage Road
Part Lot 2, Concession 5 WHS
City of Brampton

This permit is issued for the above noted property for the purpose of:

Development in the Regulated Area for topsoil stripping and earthworks to facilitate subdivisions 21T-10001B Phase 2 and 21T-19015B.

This permit is valid for 2 (two) years and is
subject to the following conditions:

Expiry Date: November 29, 2025

CONDITIONS:

1. That the work be carried out in accordance with the following plans which are marked: **23/300**
 - **Erosion and Sediment Control Plan – Stage 1 (Dwg 18), prepared by SKIRA & Associates Ltd., last revised November 10, 2023 and stamped by CVC on November 28, 2023**
 - **Erosion and Sediment Control Plan – Stage 1 (Dwg 13), prepared by SKIRA & Associates Ltd., last revised November 17, 2023 and stamped by CVC on November 28, 2023**
2. That permission granted herein shall lapse on the above noted expiry date, unless the work for which the permission has been given has been completed. If the work has not been completed by the aforementioned date, this permit is invalid and all on-going and future work must cease and a new application be submitted to the Credit Valley Conservation Authority. New applications will be assessed in accordance with information, policies and practices in place as of the date of receipt of the new submission. What shall be deemed as "complete" is within the sole discretion of the Credit Valley Conservation Authority.
3. That the Credit Valley Conservation Authority be notified 48 hours prior to the commencement of any works and be notified of the completion of the project.
4. That appropriate erosion and sediment control measures must be installed prior to construction and maintained until all disturbed areas have been stabilized.
5. That all disturbed areas be stabilized and restored to existing conditions or better immediately upon completion of the works.

INSPECTIONS MAY BE CARRIED OUT BY CVC STAFF MEMBERS TO ENSURE THAT THE WORK IS UNDERTAKEN AND COMPLETED ACCORDING TO THE APPROVED PLANS.

Be advised that the Credit Valley Conservation Authority may, at any time, withdraw this permission, if, in the opinion of the Authority, the conditions of the permit are not being complied with. This approval does not exempt the property owner/applicant/agent from the provisions of any other Federal, Provincial or Municipal statutes, regulations or by-laws, or any rights under common law.


Regulations Officer

Public Works

10 Peel Centre Dr.
Suite B
Brampton, ON
L6T 4B9
tel: 905-791-7800

peelregion.ca

June 28, 2024

Nasir Mahmood
Planner
City of Brampton
2 Wellington Street West
Brampton ON, L6Y 4R2
Nasir.Mahmood@brampton.ca

**RE: Region of Peel Comments
Zoning By-law Amendment
8331 Heritage Road
Glen Schnarr & Associates Inc on behalf of 840966 Ontario Limited
City File: OZS-2024-0031
Regional File: RZ-24-031B**

Dear Nasir,

Region of Peel staff have reviewed the first formal submission for the above-noted rezoning application (received May 27, 2024), which includes a site plan, servicing plan, grading plan, and FSR. The application proposes the development of a retail commercial plaza with six 1-storey retail building and two 2-storey retail/office buildings across three blocks (total GFA: 5,972 sq.m.). Our comments are as follows:

Public Health Recommendations:

- We acknowledge sustainable features including defined pedestrian pathways between buildings, pedestrian walkways to future transit stops, seating areas and bicycle racks.
- The development received a score of 43 which is a bronze level. The development is on the path to contributing to a sustainable community.
- Public Health has no further comments on this development.

Waste Management Requirements:

- The subject development is not within the vicinity of a landfill site.
- For commercial retail developments, private waste collection is required.

Servicing Connections Comments

- Regional Staff have reviewed the FSR dated April 9, 2024, which had the same numbers as the FSR dated March 31, 2024, which was already modelled:

Requested Population: 1614
(Wastewater) PWWF-L/s: 21.1

Water MDD L/s: 7.8
Requested Fireflow L/s: 283.4
ADD=5.6L/s
MDD=7.8L/s
PHD=16.8L/s

Public Works

10 Peel Centre Dr.
Suite B
Brampton, ON
L6T 4B9
tel: 905-791-7800

peelregion.ca

- The proposed commercial development will be serviced to the future 300mm watermain on the future Brasstown Valley Trail. Each block will be provided with a 200mm fire line and a 100mm domestic connection to the property line. Individual water service connections will be provided to the proposed commercial buildings. The proposed commercial development will be serviced by the future 600mm sanitary sewer on the future Brasstown Valley Trail. Two (2) 250mm sanitary connections will be constructed for the proposed commercial development. Individual sanitary connections will be provided to the proposed commercial buildings.
- Based on what has been provided in the FSR, there are no capacity constraints for servicing this site.
- Servicing drawings will be assigned & reviewed at Site Plan stage.

Given the above, Peel has no objections to the rezoning application to allow for the current proposed use of the subject lands. We look forward to receiving the future site plan application and addressing any outstanding comments.

If you have any questions or concerns, please contact the undersigned at (Michelle.Hui@peelregion.ca or 905.791.7800 x 3043).

Thank you,



Michelle Hui
Planner
Planning and Development Services
Region of Peel

April 30, 2025

City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
Att'n: Nasir Mahmood

Re: Notice of Application and Request for Comments – 8331 Heritage Road
COB File: OZS-2024-0031

Dear Nasir,

We are in receipt of your request for comments regarding the above project. We respond as follows.

A/ The proposed location of the transformer cannot be guaranteed by Alectra Utilities Brampton. The transformer location will be finalized when Alectra completes designing the project. The applicant shall provide the required clearances and space for the transformer or switchgear according to Alectra Utilities Brampton standards.

B/ Please include as a condition of approval the following:

- Applicant shall grant all necessary aerial or underground easements, as may be required.
- Applicant shall observe all aerial and underground clearances as may be required.
- We supply one point of connection per legally severed lot. The designer will need to design this and any future additions from a single distribution point.
- The maximum transformation capacity supplied by Alectra Utilities Brampton is 3,000 kVA.
- Anticipated capacity is not guaranteed and must be confirmed with Alectra Utilities Brampton. If capacity is available, it is provided on a first come first serve basis and the applicant is responsible for any expansion costs when the system capacity would have to be enhanced/expanded due to the applicant's loading requirements.

C/ The above comments are preliminary and does not guarantee a supply. If their application is approved, and this Customer wishes to proceed with their Hydro servicing, please advise the applicant to contact Alectra Utilities Brampton regarding permanent electrical supply to the site as soon as possible. Equipment delivery times may take up to 26 weeks or longer.

D/ The Developer/Customer/Engineering Firm is strongly advised to consult Alectra Utilities Conditions of Service, as they must adhere to all the conditions. This can be found on our web site at <https://alectrautilities.com/conditions-service>.

E/ The Developer/Customer/Engineering Firm must adhere to all the Alectra Utilities Corporation Distribution Standards. You must register online, in order to gain access to our Alectra Construction Standards. The link to access Alectra standards can be found here: [Distribution Standards & Materials Registration \(office.com\)](https://office.com)

F/ If there is any existing Alectra Utilities property plant and/or equipment in the proposed location/area in the applicant's design, Alectra Utilities will not allow permanent structure over any such existing plant. If such a scenario exists, the property owner will be responsible for all costs associated with the relocation of the existing plant and must coordinate/consult with Alectra Utilities for the relocation of the plant. If Alectra Utilities determines that an easement is required, the property owner will be solely responsible for the full cost and expense for easement registration, obtaining and registering any required postponements and/or discharges and, the reference plan of survey.

I can be reached at 905-866-4377 if there are any questions.

Yours Truly,

Rodnne Ferry, C.E.T.
Supervisor, Distribution Design – ICI & Layouts
Alectra Utilities

Results of Public Meeting (August 12, 2024) and Correspondence Received

OZS-2024-0031

Members Present: Regional Councillor M. Palleschi - Wards 2 and 6
Deputy Mayor H. Singh - Wards 9 and 10
Regional Councillor R. Santos - Wards 1 and 5
Regional Councillor P. Vicente - Wards 1 and 5
Regional Councillor N. Kaur Brar - Wards 2 and 6
Regional Councillor D. Keenan - Wards 3 and 4
Regional Councillor M. Medeiros - Wards 3 and 4
Regional Councillor P. Fortini - Wards 7 and 8
Regional Councillor G. Toor - Wards 9 and 10
City Councillor R. Power - Wards 7 and 8

Staff Present: Angelo Ambrico, Manager, Development Services
Henrik Zbogor, Director, Integrated City Planning
Harjot Sra, Planner, Development Services
Megan Fernandes, Planner, Development Services
Nasir Mahmood, Planner, Development Services
Sadaf Shahid-Hussain, Planner, Development Services
Chinoye Sunny, Planner, Development Services
Yinzhou Xiao, Planner, Development Services
Han Liu, Principal Urban Designer/Supervisor, Development Services
Damanpreet Mathouda, Planner, Downtown Revitalization
Ross Campbell, Manager, Zoning and Sign By-law Services
Genevieve Scharback, City Clerk
Charlotte Gravlev, Deputy City Clerk
Gagandeep Jaswal, Acting Legislative Coordinator

**Staff Report:
PDC148-2024**

Nasir Mahmood, Planner, Development Services, presented an overview of the application that included location overview, area context, site photos, 7 development proposal, planning framework summary, official plan designation, Brampton plan designation, secondary plan designation, official plan amendment, zoning by-law, key issues and considerations, current status, and next steps.

Following the presentations, the following member of the public addressed Committee and expressed their views, suggestions, concerns and questions with respect to the subject application:

1- Murray Cook, Brampton Resident

The resident expressed the following comments and requests with respect to the subject application:

• Request to keep current restrictions in place that restrict usage of Heritage Road by transport trucks

Heritage Road is classified as a collector road within the City's road network, and restrictions on truck traffic are determined and enforced by the City's Transportation Planning and Traffic Services divisions. This development application does not propose any changes to existing road classifications or truck restrictions. City staff can confirm that no changes to truck routing or permissions are proposed through this application.

• To allow for the switch from a septic tanks to sanitary sewers in the area

The proposed development includes full municipal servicing, including connections to the existing sanitary sewer network along Brasstown Valley Trail. However, the extension of sanitary services to existing residential properties not included in the development boundary is not within the scope of this application.

**Detailed Planning Analysis
City File Number: OZS-2024-0031**

Overview

The Planning Act, Provincial Planning Statement (PPS), the City's Official Plan, Brampton Plan and the Bram West 40(d) Secondary Plan provide direction and policies that encourage efficient and sustainable development through development, and the use of existing infrastructure to provide an appropriate mix and density of land uses and built form. These documents support land use planning in a logical, well-designed manner that supports sustainable long-term economic viability.

Matters of Provincial Interest

Planning Act:

The application has been reviewed for compliance with, and regard for, matters of Provincial interest as set out in Section 2 of the *Planning Act, R.S.O. 1990*. The proposed Official Plan and Zoning By-law Amendments represent orderly, well-planned development in a location designated for urban growth.

The application demonstrates regard for, among other matters of Provincial interest, the following:

- f) The adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems.*

The proposal supports the efficient use of planned infrastructure within the approved draft plan of subdivision. Although the subdivision is not yet registered or built, the necessary servicing infrastructure, including transportation, water, wastewater, and waste management systems, has been planned for and will be implemented as part of the subdivision build-out. Supporting technical studies such as the "Traffic Impact Study (TIS)" and "Functional Servicing Report (FSR)" have been submitted to confirm that the proposed commercial development can be adequately serviced, consistent with the intent of this policy.

- h) The orderly development of safe and healthy communities.*

The proposal facilitates the orderly development of safe and healthy communities by making efficient use of the land. This application supports the planned build-out of a commercial plaza in a manner that aligns with the approved subdivision design. The separation from sensitive land use of Maple Lodge Farms) ensures that the proposed development occurs in a safe, coordinated, and healthy way.

- p) The appropriate location of growth and development.*

Residential uses are restricted on these lands due to their location within a 150-metre land use compatibility buffer from the Maple Lodge Farms facility. The proposal to develop these blocks for neighbourhood-serving commercial uses is therefore a strategic and appropriate reuse of constrained lands. This aligns with the Provincial goal of directing growth to appropriate, serviceable, and compatible locations.

- q) *The promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians;*

The proposed commercial plaza is strategically located to serve the planned residential population and future surrounding neighbourhoods. Its overall layout, in relation to the surrounding road network, presents opportunities for strong pedestrian integration and future transit access along Heritage Road. Further refinements at the Site Plan stage will help to enhance alignment with walkability and sustainability objectives.

- r) *The promotion of built form that is well designed, encourages a sense of place and provides for public spaces that are of high quality, safe, accessible, attractive and vibrant.*

The proposed site layout provides a functional and visually coherent commercial node within the subdivision. While detailed architectural design will be addressed at the Site Plan stage, the general configuration of buildings and open spaces sets the stage for a well-designed commercial area that contributes positively to the surrounding community and enhances the pedestrian environment.

Based on the above, Staff are satisfied that the proposed development has regard for matters of Provincial interest in the Planning Act.

Provincial Planning Statement (PPS), 2024:

The *Provincial Planning Statement* sets out fundamental planning principles and provides policy direction on matters of provincial interest related to land use planning and development. The current *Provincial Planning Statement (PPS)* came into effect as of October 20, 2024. The PPS provides policy direction on matters of provincial interest related to land use planning and development. Section 3(5) of the Planning Act requires that decisions affecting planning matters “shall be consistent with” policy statements issued under the Act. The policies in the PPS contains policies that provide directions to build strong communities through efficient development and land use patterns. As required by Sections 2 and 3 of the Planning Act, the following sections will demonstrate how the proposed Official Plan Amendment and Zoning By-law Amendments will bring the subject lands to consistency with the PPS.

2.3.1 General Policies for Settlement Areas

2. Land use patterns within settlement areas should be based on densities and a mix of land uses which:

- a) efficiently use land and resources;*
- b) optimize existing and planned infrastructure and public service facilities;*
- c) support active transportation;*
- d) are transit-supportive, as appropriate; and*
- e) are freight-supportive.*

The subject lands are located within a planned settlement area and are part of a broader approved subdivision that provides municipal services. The lands are constrained from residential use due to their proximity to the Maple Lodge Farms poultry processing facility, a major facility requiring a minimum separation distance. The proposed commercial development that will generate employment, provide goods and services to local residents, and optimize the use of land within a planned subdivision. It helps build out a diversified, compact, and resilient community.

3: Infrastructure and Facilities

3.1 General Policies for Infrastructure and Public Service Facilities

3.1 General Policies for Infrastructure and Public Service Facilities

1. Infrastructure and public service facilities shall be provided in an efficient manner while accommodating projected needs. Planning for infrastructure and public service facilities shall be coordinated and integrated with land use planning and growth management so that they:

- a) are financially viable over their life cycle, which may be demonstrated through asset management planning;*
- b) leverage the capacity of development proponents, where appropriate; and*
- c) are available to meet current and projected needs.*

The proposed plaza will be serviced through infrastructure planned and approved as part of the broader subdivision. The submitted “Functional Servicing Report” demonstrate that servicing is available and coordinated with land use. The development represents an efficient and cost-effective approach to growth, fully integrating land use and infrastructure planning in accordance with Section 3.1.

3.5: Land Use Compatibility

1. Major facilities and sensitive land uses shall be planned and developed to avoid, or if avoidance is not possible, minimize and mitigate any potential adverse effects from odour, noise and other contaminants, minimize risk to public health and safety, and to ensure the long-term operational and economic viability of major facilities in accordance with provincial guidelines, standards and procedures.

The subject lands are located within approximately 150 metres of the Maple Lodge Farms (MLF) poultry processing facility, a known source of odour and noise. Due to compatibility concerns, residential uses were restricted in this area. As part of the associated subdivision application, an “Odour Assessment” was prepared, which concluded that the proposed commercial development would not introduce sensitive receptors and would

not compromise the operational viability of MLF. Commercial uses are considered more compatible with MLF operations than residential uses due to their lower sensitivity to odour impacts.

The development incorporates a 6-metre setback, landscaped buffer, and masonry wall along the interface with adjacent residential uses to further mitigate visual and noise impacts. To address potential noise from rooftop HVAC units, rooftop parapets are recommended as acoustic barriers. In addition, waste collection activities are to be restricted to daytime hours to minimize disturbances. Collectively, these measures support a compatible and appropriate land use transition and uphold public health and operational objectives in accordance with provincial land use compatibility policies.

City of Brampton Official Plan

The City of Brampton's Official Plan contains goals, objectives and policies used to guide decisions on land use, built form, transportation, the environment and the manner in which the City should grow. The Plan incorporates upper-level planning policies of the PPS. The subject lands are designated as 'Communities' and 'Support Corridor' in *Schedule 1 – City Concept* and 'Residential' within *Schedule A – General Land Use Designation* of the Official Plan.

The *Communities* designations are the basic living units of the City that the residents can most relate to and take ownership of. Communities are made up of both existing development and new communities and must be planned using an ecosystem approach and the principles of sustainability.

The Official Plan sections that are applicable to this application include, but are not limited to:

Section 2.4.2 – Managing Growth in Brampton:

e) Promote economic prosperity, improve live/ work ratios and enhance the economic integrity of the municipality by ensuring that an appropriate amount of land is designated for employment uses, and mixed-use development;

The proposed Official Plan and Zoning By-law Amendments conform to Section 2.4.2(e) by converting constrained Future Development Blocks into productive commercial lands that will support local employment and mixed-use community objectives. The introduction of a neighbourhood-scale plaza enhances Brampton's employment land supply and contributes to improved live/work ratios by providing services and job opportunities within walking distance of residential areas. This supports economic prosperity and strengthens the economic integrity of the municipality through efficient land use and integration with planned infrastructure.

Section 3.1 of the Brampton Official Plan, Sustainable Planning Framework reads:

The City's sustainable planning framework is built on:

- *Complete communities that are compact, transit-oriented and pedestrian-friendly with a mix of uses and a variety of housing choices, employment and supporting services and facilities;*
- *A robust commercial and employment land use strategy that promotes economic stability, vitality, and diversity and caters to the changing needs of the market and the residents of Brampton;*
- *Integrate economic development with the existing and planned infrastructure and*
- *transportation facilities to achieve economy of scale and sustainable goods and people movement;*
- *Promote place making and human scale development that is also environmentally sustainable;*
- *Integrate multi-modal transportation closely with land uses to minimize the need for and length of travel to help conserve energy and reduce potential impacts on the environment;*
- *Promote retention, integration and adaptive reuse of heritage resources through proactive designation of significant resources in accordance with the Ontario Heritage Act and the use of all available financial incentives; and,*
- *Achieve and sustain a physical environment that is attractive, safe, functionally efficient, sensitive to the City's evolving character, environmentally responsible and that instils a sense of civic pride.*

The proposed commercial plaza supports the City of Brampton's vision for complete, compact, and transit-supportive communities by introducing neighbourhood-serving employment and retail uses within an approved residential subdivision. Located along Hurontario Street, which is identified as a 'Secondary Transit Corridor', the proposal aligns with the City's long-term objectives for transit-oriented and pedestrian-friendly development, notwithstanding that certain transit infrastructure is still forthcoming.

The application contributes to local economic vitality by diversifying the commercial base, responding to market needs, and leveraging planned infrastructure. The development is integrated with the approved subdivision's servicing network and street layout, facilitating the efficient movement of people and goods and supporting sustainable transportation options.

Through its scale, land use compatibility, and design, the proposal advances placemaking objectives and reinforces the development of a walkable, human-scaled neighbourhood. Overall, the application conforms with the goals of the Official Plan by supporting the creation of attractive, functional, and environmentally responsible communities that foster a strong sense of place and community character, while contributing to long-term economic resilience.

4.2.1.1 The Residential designations shown on Schedule "A" permit predominantly residential land uses including a full range of dwelling types

ranging from single detached houses to high-rise apartments. Complementary uses, other than Places of Worship, shall be permitted subject to specific Secondary Plan policies or designations, and may include uses permitted in the Commercial and Institutional and Public Uses designations of this plan, such as schools, libraries, parks, community and recreation centres, health centres, day care centres, local retail centre, neighbourhood retail, convenience retail, or highway and service commercial uses. Quasi-institutional uses including social service agencies, union halls, as well as fire halls, police stations and utility installations may also be permitted in the Residential designations of this Plan.

The subject lands are designated 'Residential' on Schedule "A" of the Official Plan. While Section 4.2.1.1 states that 'Residential' designations are intended to accommodate a predominantly residential land use structure, it also allows for complementary uses, such as 'Neighbourhood Retail' and 'Convenience Retail', subject to the applicable Secondary Plan policies. The *Bram West Secondary Plan (Area 40(d))* permits these commercial designations within the subject area, thereby supporting the introduction of a neighbourhood-scale commercial plaza. As such, the proposed development conforms to the intent of Section 4.2.1.1 by introducing a complementary, non-residential use that is appropriate within the broader residential context and is conforms with the permissions provided in the Secondary Plan.

Section 4.3.1 General Commercial Policies:

4.3.1.2. Human scale commercial development shall be encouraged through the use of urban design and architectural controls in accordance with the Urban Design Section of this Plan.

4.3.1.3. The City shall, in considering applications for commercial or mixed commercial-residential uses adjacent to residential areas, give due regard to the minimization of environmental, noise, pollution and visual impacts in accordance with the Urban Design and Natural Heritage and Environmental Management sections of this Plan.

4.3.2.2. The City shall encourage an appropriate distribution of retail centres in accordance with the designations of this Plan and the Secondary Plans to effectively accommodate the total potential demand for retail goods and services to Brampton residents and those in outlying areas.

4.3.2.7 The City shall, in considering applications for retail centres adjacent to residential areas, give due regard to the minimization of environmental, noise, pollution and visual impacts in accordance with the Urban Design and Natural Heritage and Environmental Management sections of this Plan.

4.3.2.12 Where retail uses appropriate to a particular location are proposed to be developed adjacent to existing or approved commercial development,

the City may require that the location and design of structures, parking areas and access points be integrated with those of the existing or approved adjacent uses.

4.3.5 Local Retail

Local Retail centers consist of Neighbourhood Retail and Convenience Retail sites as designated on Schedule "A2". These sites are usually located in residential areas in order to serve the shopping needs of the community.

4.3.5.1 Local Retail sites may front onto local, collector or arterial roads subject to the access policies of Section 4.5 Transportation and shall be easily accessible to the residential areas they are intended to serve. Designated sites should provide easy access to pedestrians, transit and auto routes.

4.3.5.2 Local Retail sites will preferably be located at an intersection with a transit stop and in conjunction with open space, a public amenity and/or higher density housing to form a localized focal point for the trade area intended to be served and to promote a walkable, transit-supportive community.

4.3.5.5 The Local Retail uses are defined as follows:

a) Neighbourhood Retail: A group of retail establishments that generally range from 3,700 to 11,620 square metres (40,000 to 125,000 square feet) and are typically anchored by a supermarket, but may also be anchored by a pharmacy or smaller scale home improvement outlet.

b) Convenience Retail: One or more retail or service establishments planned and developed as a unit not exceeding 3,700 square metres (40,000 square feet).

4.3.5.8 The City shall designate Local Retail use areas in appropriate locations in the Secondary Plan. An Official Plan Amendment will be required to permit the development of a new Local Retail centre in a location not designated for such a use in the relevant Secondary Plan or to permit an extension to an existing Local Retail centre.

The proposed local retail plaza is located at the intersection of Heritage Road and the future Brasstown Valley Trail, within an emerging residential area. The site is well-situated to serve the daily and weekly needs of future residents and aligns with the policy direction of Section 4.3.5.2, which encourages the placement of Local Retail uses at intersections with transit stops and in conjunction with open space, higher-density housing, or public amenities. The proposed location has been reviewed and determined not to be within the immediate trade area of any existing retail centres, thereby contributing to a balanced and coordinated distribution of commercial services in accordance with Section 4.3.2.2.

In accordance with Sections 4.3.1.3 and 4.3.2.7, the proposal gives due regard to compatibility with adjacent future residential uses. A 6-metre building setback has been incorporated along residential interfaces, and the site design includes building placement and landscape buffering to address potential noise, overlook, and visual impacts. These mitigation measures reflect the intent of the Urban Design and Natural Heritage and Environmental Management policies of the Official Plan, with further refinements to be secured through the Site Plan Approval process.

The proposed layout also considers future integration with adjacent blocks, in keeping with Section 4.3.2.12, which encourages coordinated design, access, and site layout between new and existing developments. The integration of the site with surrounding lands is addressed through the approved Tertiary Plan, included as Appendix 15, which outlines a coordinated development framework for the area, including street connections, access points, and compatible land uses. Through the Site Plan Control process, the City retains the ability to secure appropriate site-level design details, circulation patterns, and urban form. In accordance with Section 4.3.1.2, the development will also be subject to urban design and architectural controls to ensure a human-scaled, pedestrian-oriented commercial environment.

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects

4.10.1.12 All options for on-site retention of properties of cultural heritage significance shall be exhausted before resorting to relocation. The following alternatives shall be given due consideration in order of priority:

- (i) On-site retention in the original use and integration with the surrounding or new development;*
- (ii) On site retention in an adaptive re-use;*
- (iii) Relocation to another site within the same development; and,*
- (iv) Relocation to a sympathetic site within the City*

There is an existing cultural heritage resource on the Subject Lands (McClure Farmhouse). Appropriate measures have been taken to document, dismantle, salvage, and interpret this resource through an interpretative feature wall, as outlined through the “Heritage Commemoration Report”, prepared by ATA Architects Inc. The interpretative feature wall will articulate the pedestrian pathway and provide an area landmark for the Riverview Heights community. As such, it will celebrate the area’s historic past while supporting the area’s future as a commercial destination and neighbourhood gateway.

As such, staff is satisfied that the proposed Official Plan and Zoning By-law amendment conforms to the policies of the City of Brampton Official Plan.

Brampton Plan, (2023):

The Brampton Plan came into effect on June 6, 2024, with the exception of certain policies and schedules that remain under appeal. The Brampton Plan establishes a comprehensive policy framework to guide city-building efforts, supporting Brampton's transition into a vibrant urban municipality with a projected population of over one million residents by 2051.

The subject lands are designated 'Community Area' and 'Support Corridor' in *Schedule 1A – City Structure*, and are further designated 'Mixed-Use' and 'Neighbourhoods' in *Schedule 2 – Designations* of the Brampton Plan.

Community Areas represent locations where residents live, work, shop, and play, supported by a mix of residential, commercial, and institutional uses, as well as parks and open spaces. These areas are intended to facilitate access to daily amenities within a 15-minute walk or bike ride, promoting the development of complete communities.

2.2.1.1(a) The Mixed-Use designation concentrates a diversity of functions, a higher density of development, a greater degree of mixed-uses, and higher level of transit connectivity. The Mixed-Use designation generally comprises portions of Major Transit Station Areas, Major Institutional Anchors, the Provincial Urban Growth Centre, Commercial and Retail Areas, and may be expanded through Secondary Planning processes for Centres and Boulevards.

A portion of the subject lands is designated 'Commercial'. The proposed development contributes to the objectives of this designation by introducing a community-scale commercial plaza that provides goods and services to support surrounding and future residential neighbourhoods. Although the proposal does not include vertically integrated mixed-use built form, it is consistent with the intent of the designation, particularly in low-to mid-density contexts outside of MTSA or UGC areas. The development supports a balanced mix of land uses, enhances neighbourhood vitality, and promotes connectivity with the active transportation network.

2.2.1.1(b) The Neighbourhoods designation is found throughout the city and will support the achievement of 15-minute neighbourhoods. Neighbourhoods include a broad range of residential uses together with neighbourhood-supportive commercial and community services and facilities, such as libraries, recreation centres, schools and child care centres, that serve and support the residents of these neighbourhoods. The intensity of development and range of uses that may be permitted in Neighbourhoods varies depending on the street typology that a property fronts onto, in addition to other factors described in this section

The 'Neighbourhoods' designation (Section 2.2.1.1(b)) applies to another portion of the subject lands and supports the development of 15-minute neighbourhoods. These areas permit a range of residential uses along with supporting commercial and community facilities such as libraries, schools, child care centres, and recreation centres. While the subject lands are located within a Special Policy Area that prohibits residential development, the proposed commercial plaza aligns with the intent of the 'Neighbourhoods' designation by providing neighbourhood-serving retail uses that enhance walkability and meet the daily needs of area residents. The scale and form of the development are appropriate for its context along planned local roads and within an emerging residential subdivision.

It should be noted that *Schedule 2 – Designations* of the *Brampton Plan* is currently under appeal; however, even if it were in full force and effect, an Official Plan Amendment would not be required, as the proposed commercial development conforms to the applicable land use designations, permitted built form, and policy intent of the Brampton Plan.

Bram West 40(d) Secondary Plan

the *Bram West Secondary Plan* area is currently under review by the City. However, as such document is still in a conceptual phase, the Proposed Development will be assessed for conformity against the existing, in-effect *Bram West 40(d) Secondary Plan*.

The Subject Lands are generally designated 'Convenience Commercial' and 'Low/Medium Density Residential' on the Secondary Plan. The proposal has been evaluated against the Secondary Plan policies to ensure that it conforms to the Plan. The Secondary Plan policies that are applicable to the application include but are not limited to:

3.4.15 In areas designated Low and Medium Density Residential on Schedule SP40(a), residential uses within the Medium Density Residential category defined in Part I of the Official Plan are permitted at a maximum combined density of 30.1 units per net residential hectare (12.2 units per net residential acre), subject to policies 3.4.2 and 3.4.18. In addition, at least 60% of the overall development within the Low and Medium Density Residential designation shall be single detached structural units.

The proposed commercial plaza does not include any residential component and instead proposes entirely non-residential uses, which are not permitted under the current designation. Since the proposed development is not for residential uses, does not meet the density structure, and does not satisfy the housing form and unit mix requirements outlined in Section 3.4.15, the application represents a fundamental shift in land use intent. As such, an amendment to the Secondary Plan is required to redesignate the affected portion of the lands to a commercial designation that reflects the proposed use and brings the site into policy conformity.

Relevant additional policies include:

3.5.4 The lands designated Neighbourhood Commercial on Schedule SP40(a) shall permit the range of uses and be developed in accordance with the Local Retail policies of Part I, Section 4.2.8 and other relevant policies of the Official Plan.

3.5.5 The size of the Neighbourhood Commercial site on the west side of Mississauga Road generally located at Lots 2 and 3, Concession 5, W.H.S. will be limited to a maximum of 7.9 hectares and a maximum of 20,000 square metres of gross floor area notwithstanding the range set out by the Official Plan. This site shall be subject to a high standard of design, landscaping and/or setbacks appropriate for its location in an executive residential community and subject to the satisfaction of the City. In addition, a gas bar in conjunction with a car wash may be permitted on this site , provided the gas bar does not have direct frontage on Mississauga Road and is set back a minimum of 30 metres from the road right-of-way.

While the subject lands are designated as 'Convenience Commercial', this designation permits a maximum of 40,000 square feet of commercial gross floor area (GFA). The southern portion of the site proposes 40,289 square feet of GFA, which exceeds this threshold. As such, the accompanying Official Plan Amendment proposes to redesignate the southern boundary to 'Neighbourhood Commercial' to reflect the proposed scale of development.

3.5.6 Lands designated Convenience Commercial as shown on Schedule SP40(a) shall permit the range of uses and be developed in accordance with the Local Retail policies of Part I, Section 4.2.8 and other relevant policies of the Official Plan, and the following principles:

- (i) no outdoor storage of goods or materials shall be permitted;*
- (ii) provision shall be made to minimize adverse impacts upon adjacent residential uses through landscaping and buffer treatments. The illumination of parking facilities shall be directed away from nearby residences to minimize intrusion and glare upon residential properties;*
- (iii) adequate off street parking facilities shall be provided in accordance with acceptable standards to satisfy the requirements of employees and customers, including safety considerations; and,*
- (iv) The land use permissions for the Convenience Commercial lands located south of Financial Drive and abutting the east side of Heritage Road may need to be restricted and or phased. Supplemental land use, design, and transportation information shall be submitted in support of the size and scope of commercial development that can be accommodated on these lands, and shall determine if phasing restrictions are necessary. In this regard, a market analysis shall also be*

required to evaluate the market demand for this commercial development in relation to the primary commercial corridor that is planned along Mississauga Road. In addition, a Tertiary Plan shall be required to demonstrate that these lands can be comprehensively developed.

To address these requirements, a “Market Impact Study” prepared by Urban Metrics confirms that sufficient market demand exists to support the proposed development, without negatively impacting the planned commercial corridor along Mississauga Road.

In addition to the “Market Impact Study”, a Tertiary Plan was prepared by Glen Schnarr & Associates Inc. (GSAI), dated November 27, 2023, accompanied by a Tertiary Plan Brief, dated December 2023. In accordance with the Secondary Plan policy requirements, a letter was sent on October 18, 2023, to the adjacent landowner at 8273 Heritage Road inviting participation in the preparation of the Tertiary Plan. The letter provided a 30-day response window, which expired on November 17, 2023. No comments or submissions were received from the adjacent landowner within the prescribed timeframe.

The submitted Tertiary Plan demonstrates a coordinated development framework that integrates the subject site with the adjacent lands to the south, including the area under the same ownership but not part of this application. The plan illustrates how future development areas will be connected through a coordinated internal road network, shared access points, and compatible building forms and siting. Based on the materials submitted and reviewed, City staff are satisfied that the adjacent lands have been appropriately addressed within the broader development concept, supporting the objectives of comprehensive planning and a logical extension of the emerging community along Heritage Road.

Further detail regarding the southern portion under the same ownership will be required at the Site Plan stage. The applicant will need to demonstrate how landscaping treatment in that area, currently identified as ‘Future Development’ in the Draft Plan of Subdivision, will be coordinated with the proposed development, including the design, maintenance, and implementation of any interim or ultimate landscape features. It must also be clarified whether these elements will be maintained entirely through this application or if additional arrangements will be made under a future development phase. This will ensure cohesive integration and contribute to a high-quality public realm.

The subject lands are located in Special Policy Area 16 (Maple Lodge Farm Separation) and they are subject to the policies in section 3.8.6:

- *detailed review of technical studies that support a separation distance between the fields and residential areas within Special Policy Area 16 which is less than what is normally required at the present time ;*
- *establishing alternative land uses within Special Policy Area 16 which are less sensitive to environmental impacts and require a separation distance between the*

fields and residential areas which is less than the 450 metres normally required at the present time.

Maple Lodge Farms, a large food processing operation, is located to the west of Block 40-3, in Concession 6, WHS. The use of the agricultural fields west of Heritage Road for the spreading of biosolids as part of Maple Lodge Farm's operations has the potential to negatively impact sensitive land uses in the area. The area of Special Policy Area 16 is based upon the separation distance of 450 metres between the fields and residential areas that, at the present time, is normally required as a condition of issuance of a certificate of Approval for the spreading of biosolids pursuant to the Ministry of the Environment's "Guidelines for the Utilization of Biosolids and other Wastes on Agricultural Land"

The subject lands are associated with Draft Plan of Subdivision #21T-19015B, which was approved with modifications by the Ontario Land Tribunal (OLT) to establish a minimum 150-metre separation distance between residential uses and the Maple Lodge Farms (MLF) facility (OLT Case No. 22-002419). This represents a reduction from the original 450-metre setback requirement established under Special Policy Area 16 (SPA 16) of the Bram West Secondary Plan. The revised setback and resulting modifications to the draft plan led to a reconfiguration of the subdivision layout, including a slight increase in the size of the Future Development Blocks adjacent to Heritage Road.

The proposed commercial plaza is considered a compatible alternative land use within Special Policy Area 16, as it is less sensitive to environmental impacts than residential development. It also serves as an effective non-residential transition along Heritage Road, providing an appropriate buffer between Maple Lodge Farms and future residential neighbourhoods to the east.

5.3.2 Proponents of development are encouraged to retain and conserve buildings of architectural or historic merit on their original sites, where possible, and to promote the integration of these resources into any plans which may be prepared for such development

5.3.3 Where a development proposal may impact a heritage resource, the City may require the preparation of a Cultural Heritage Resource Assessment prior to development approval, to the satisfaction of the City, for the purpose of providing information and presenting recommendations about how to mitigate the development impacts on identified heritage resources

5.3.4 In accordance with the Block Planning requirements for this Chapter, a Heritage Impact Assessment shall be undertaken for all identified heritage resources in accordance with the Terms of Reference set out by the City. The location of the known buildings and/or sites of heritage interest have been identified on Schedule BP403 of Part III, Chapter 403 of the Official Plan

The existing two-storey heritage house on the Subject Lands will be documented, dismantled, salvaged, and interpreted through an interpretative feature wall on the northern side of the Brasstown Valley Trail Road. The feature wall and commemorative plaque will provide a pedestrian rest area and is oriented towards the Brasstown Valley Trail pedestrian pathway. A “Heritage Commemoration Plan”, prepared by ATA Architects Inc. and reviewed by the Heritage staff.

City staff are currently undertaking a review of the *Bram West Secondary Plan*, which includes the subject lands. The proposed commercial land use will be reflected in the draft revised Secondary Plan. At this time, the land use designation and applicable policies for this area remain unchanged, and continue to support the proposed development.

Based on the above, an amendment to the Secondary Plan is required to designate the southern portion of the site as ‘Neighbourhood Commercial’ to reflect the higher gross floor area proposed, and expand the northern portion as ‘Convenience Commercial’ to facilitate the proposed development. Given the above staff is recommending approval of the Secondary Plan Amendment, generally in accordance with the Appendix 13.

Riverview Heights(40-3) Block Plan

The Official Plan Amendment for the *Riverview Heights Block Plan* (being the larger planning area that includes the subject lands) was appealed and subsequently approved at the Ontario Municipal Board (OMB) in 2010.

The subject site is associated with Draft Plan of Subdivision #21T-19015B, which was approved with modifications required by the Ontario Land Tribunal (OLT) to establish a minimum 150-metre separation distance between residential uses and the Maple Lodge Farms (MLF) facility (OLT Case No. 22-002419). This requirement resulted in a reconfiguration of the road network and the creation of Future Development Blocks adjacent to Heritage Road. As such, the proposed development will be guided by the most recent subdivision approvals, which reflect updated land use designations and road alignments. Therefore, a Block Plan amendment is not required to facilitate the proposed development.

City of Brampton Zoning By-law:

The subject property’s zoning by-law no. 270-2004 was amended, and OLT approved an amended zoning by-law titled OLT ZB 4-2022. Within this zoning by law, the subject lands are zoned Future Development (FD) and shall only be used for the listed heritage building referred to as the McClure Heritage Farmhouse.

Proposed Zoning By-law Amendment

An amendment to the Zoning By-law is required to facilitate the proposed development. The Zoning By-law Amendment submitted with this application proposes to rezone the

subject lands to 'Commercial Three – Section 3836 (C3 – 3836)'. Site-specific provisions are included to permit reduced yard depths, allowing for a more urban commercial form that engages the street and promotes efficient land use.

Given the above staff is recommending approval of the Zoning By-law Amendment, generally in accordance with the Appendix 14.

Technical Requirements

The following technical requirements have been satisfied.

Community Design Guidelines (CDG) Addendum

A CDG Addendum for the *Riverview Heights Block Plan (40-3)* was prepared by John G. Williams Limited, Architect, dated December 11, 2023 and approved on December 19, 2024. This document updates the existing diagrams within the Block Plan to reflect the layout of the OLT-approved Draft Plan of Subdivision #21T-19015B. As outlined in the Addendum, the proposed development maintains consistency with the City of Brampton's Development Design Guidelines and upholds the design vision and built form objectives established for the Riverview Heights Community. The proposed development will adhere to the principles set out in the Addendum throughout both the design and construction phases.

Market Impact Study (MIS)

A "Market Impact Study (MIS)", prepared by Urban Metrics and dated December 8, 2023, was submitted in support of the proposed development. The study identifies a three-kilometre trade area surrounding the subject lands, which generally corresponds with the *Bram West Secondary Plan (Area 40)* boundary and aligns with the City's Terms of Reference for evaluating 'Neighbourhood Commercial' and 'Convenience Commercial' uses. The MIS concludes that the proposed commercial space is appropriately scaled to serve the projected population within both the immediate vicinity and the broader community. It further confirms that the development will not generate any significant negative impacts on existing or planned commercial facilities in the area. The subject lands are considered a suitable location to support additional retail and service commercial uses that respond to anticipated growth in Bram West.

Tree Evaluation Report

A "Tree Evaluation Report", prepared by SLR and dated April 2021, was submitted in support of this application. This report was originally prepared for Draft Plan of Subdivision #21T-19015B, which includes the subject lands, and also serves as an addendum to the broader 2010 "Vegetation Assessment Report" for the "Riverview Heights Block Plan (40-3)". Based on discussions with City staff, the 2021 report is considered suitable for use with this application.

Within the study area, 69 trees were inventoried, including 18 trees to be preserved, 30 trees to be removed, and 21 trees requiring further evaluation. As compensation, 71 new trees are proposed, in accordance with the City's Tableland Tree Assessment Guidelines (2018), with cash-in-lieu as an alternative where necessary. On the subject site itself, approximately 12 trees are identified for removal, as shown on the Tree Inventory and Preservation Plan (TP1).

As the application advances through the detailed design stage, a tree removal permit will be prepared and submitted to the City. Prior to any construction, tree protection hoarding will be installed as per the report's recommendations and to the satisfaction of staff.

Functional Servicing & Stormwater Management Report (FSR)

The "Functional Servicing and Stormwater Management Report", prepared by Skira & Associates Ltd. and dated March 12, 2025, outlines the proposed servicing strategy for this commercial development. The site will be serviced by existing municipal infrastructure, including sanitary sewers, a 300mm watermain, and storm sewers discharging to the existing *Stormwater Management Facility L-4*. Stormwater quantity control will be provided through underground Cultec stormwater chamber systems beneath the parking areas, and water balance targets will be met through the use of permeable paving. Quality control for stormwater will be achieved using a combination of permeable pavers and HydroStorm HS-4 oil/grit separators to meet the City's TSS removal requirements.

The sanitary drainage system will utilize existing connections to Brasstown Valley Trail, and domestic and fire protection water demands will be met through the existing watermain and hydrants, supplemented by internal servicing where needed. A fire flow test is planned post-construction to verify system adequacy. The report concludes that the proposed development can be fully serviced with the available infrastructure, subject to detailed design approvals during the engineering submission, site plan, and building permit stages.

Environmental Noise Report

An "Environmental Noise Report" was prepared by Jade Acoustics Inc., originally dated April 25, 2023, and revised on December 11, 2023, in support of this application. The report identifies the primary noise source associated with the proposed development as rooftop HVAC units, which are expected to exceed applicable sound level thresholds. To address this, mitigation in the form of acoustic barriers, specifically rooftop parapets, has been recommended. With these measures in place, the development is anticipated to comply with all relevant noise limits. Additionally, the report recommends the installation of an architectural wall or fence between commercial and adjacent residential uses to further buffer sound, and that garbage collection activities be restricted to daytime hours to minimize potential disturbances.

The report advises that a detailed “Environmental Noise Study” should be completed once final site, grading, and mechanical plans are available. Additionally, prior to building permit issuance and occupancy, an acoustical consultant must review the mechanical equipment and inspect installed mitigation measures to ensure compliance. A separate noise study will be required for the future development of the block that will be developed as part of the adjacent lands.

Planning Justification Report

The “Planning Justification Report” prepared by Glen Schnarr & Associates Inc. (July 2021) was submitted to the City to provide the rationale for the development, and to outline how the proposal aligns with provincial and municipal policy. The report concludes that the objectives of the PPS, and the general intent and vision of the City of Brampton Official Plan, the *Bram West 40(d) Secondary Plan* are satisfied, and that the development represents good planning.

Sustainability Score and Summary

The City of Brampton’s Sustainability Metrics are used to evaluate the environmental sustainability of development applications. In support of the application, the applicant submitted a “Sustainability Score and Summary Report”, achieving a score of 46 points, which meets the City’s Bronze threshold (refer to Appendix 12 for a snapshot of the Sustainability Score).

The applicant notes that many sustainability measures will be addressed at the Site Plan Approval stage, and the interim Bronze score reflects the current level of design. A full Site Plan Approval application will follow, allowing for further enhancements to the sustainability performance. The proposed commercial plaza is classified as an “Other Part 3 Building” under the City’s Sustainable New Communities Program. In accordance with requirement *IB12 – Building Energy Efficiency, Greenhouse Gas Reduction*, and Resilience, a letter of commitment has been provided confirming that an Energy Modeling Report will be submitted at the Site Plan stage, demonstrating at least a 15% improvement in energy efficiency over the *Ontario Building Code (OBC) SB-10, Division 3 (2017)* reference building.

Environmental Site Assessment (ESA)

A “Phase I Environmental Site Assessment (ESA)”, prepared by Bruce A. Brown Associates Limited and dated November 7, 2022, was submitted in support of this application. The report serves as a supplementary reassessment, given the time elapsed since the previous investigation. Supporting documentation includes a Record of Site Condition (dated April 8, 2019), the original Phase I ESA (April 8, 2019), and a Phase II ESA (September 9, 2020), all appended to the current submission.

The initial Phase I ESA identified a former orchard on the site as a potential area of concern, prompting the need for a Phase II ESA to evaluate soil and groundwater quality. The Phase II investigation concluded that the soil met Table 1 standards and revealed no further environmental issues. The updated Phase I ESA confirms that site conditions

remain unchanged, except for restoration of the land to full agricultural use. No new issues were identified, and no further soil or groundwater investigations are recommended.

If, during the detailed design for Heritage Road and Brasstown Valley Drive, any additional land is required for the southbound left-turn lane, raised median, or auxiliary lanes, all right-of-way conveyances must be obtained from the east side of Heritage Road due to heritage constraints on the west side, and a “Record of Site Condition (RSC)” will be required for any additional lands to be conveyed.

Heritage Commemoration Report

A “Heritage Commemoration Report” was prepared by ATA Architects Inc., dated December 2023, in support of this application. The report evaluates the McClure Farmhouse, located on the subject lands, which has been identified as having cultural heritage value or interest. The report supports an approach that includes documentation, dismantling, salvage, and commemoration of the structure through an interpretive feature wall.

The wall will incorporate salvaged materials such as brick, fieldstone, and architectural elements, and will be accompanied by a commemorative plaque featuring images and interpretive text. The commemorative feature will be enhanced with landscaping and bench seating to support pedestrian activity and public engagement. It is proposed to be located north of Brasstown Valley Trail, oriented toward the pedestrian pathway and integrated with the streetscape near Building “B” along the northern boundary of the site.

Traffic Impact Study (TIS)

“A Traffic Impact Study (TIS)” was prepared by Paradigm Transportation Solutions Ltd., dated December 7, 2023, identifying that the proposed development will increase area traffic and require mitigation measures. The study recommends implementing an exclusive southbound left-turn lane and separated left- and right-turn lanes at the Heritage Road and Brasstown Valley Trail intersection. Based on 2033 traffic projections, a 15-metre southbound left-turn lane is warranted, which may require additional land if the existing right-of-way is insufficient. Signalization is not currently warranted but may be needed when Heritage Road is widened, which is planned by 2041.

To address these requirements, prior to Site Plan approval, the applicant must submit a functional design for the ultimate Heritage Road and Brasstown Valley Drive intersection, showing any changes to the existing Environmental Assessment (EA) design and identifying any additional land needed for the southbound left-turn lane, raised median, or auxiliary lanes. All right-of-way conveyances must be obtained from the east side of Heritage Road due to heritage constraints on the west side. Any additional lands to be conveyed will require a “Record of Site Condition (RSC)”. As the City's detailed design for Heritage Road widening is currently at 30% completion, applicants are encouraged to submit their functional design early, preferably at the pre-consultation stage, to avoid delays.

Sustainable New Communities Program: Snapshot

City File Number: PRE-2022-0181

Municipal Address: 8331 Heritage Road

Applicant Name: Jennifer Staden

Property Owner Name: 840966 Ontario Limited

Application Type: Site Plan

SUSTAINABILITY SCORE: 46

THRESHOLD ACHIEVED: **Bronze**

| Metric IB-12 | | | |
|---|--|-------|--------|
| Metric | | Level | Points |
| Building Energy Efficiency, GHG Reduction, and Resilience | | | |
| <ul style="list-style-type: none"> Part 9 Residential Buildings (3 storeys or less, and less than 600 m² in GFA) achieve ENERGY STAR for New Homes v.17.1 or R-2000 requirements (or equivalent). Part 3 Buildings: Multi-Unit Residential, Office and Retail (more than 3 storeys, or more than 600 m² in gross floor area) achieve the following whole-building performance: Total Energy Use Intensity (TEUI) = 170 kWh/m².yr; Thermal Energy Demand Intensity (TEDI) = 70 kWh/m².yr; Greenhouse Gas Emissions Intensity (GHGI) = 20 kgCO₂/m².yr All Other Part 3 Buildings achieve at least a 15% improvement in energy efficiency over OBC SB-10, Division 3 (2017) reference building. | | Good | 3 |
| Built Environment | | | |
| Indicator | Metric | Level | Points |
| Proximity to Amenities | | | |
| BE-1 | Three or more amenities are within 800 metres (i.e. 10 minute walk) of 75% of dwelling units. | Good | 1 |
| BE-1 | Three or more amenities are within 400 metres (i.e. 5 minute walk) of 75% of dwelling units. | Great | 2 |
| Mixed-Use Development | | | |
| BE-2 | A mix of uses are provided on the same lot or block. | Good | 1 |
| Cultural Heritage Conservation | | | |
| BE-5 | A portion of reusable materials from the cultural heritage resource being removed are being salvaged and reused on site. | Good | 1 |
| Urban Tree Canopy and Shaded Walkways | | | |
| BE-6 | Trees will shade at least 50% of the walkway/sidewalk lengths within 10 years. | Good | 1 |
| BE-6 | Trees will shade at least 75% of the walkway/sidewalk lengths within 10 years. | Great | 1 |
| BE-6 | Street trees are provided on both sides of streets at intervals averaging no more than 9 metres. | Good | 1 |

| | | | |
|--|--|-----------|--------|
| BE-6 | Street trees are provided on both sides of streets at intervals averaging 8 metres or less. | Excellent | 2 |
| Surface Parking Footprint | | | |
| BE-9 | All surface parking on site is located at the side or rear of buildings. | Good | 1 |
| Mobility | | | |
| Indicator | Metric | Level | Points |
| Walkable Streets | | | |
| MB-4 | Continuous sidewalks or multi-use trails are provided on both sides of public and private roads/streets. | Good | 2 |
| Pedestrian Amenities | | | |
| MB-5 | Pedestrian connections are provided between a building entry and other destinations on the site and to destinations on adjacent properties. | Good | 1 |
| MB-5 | More than 1 type of pedestrian amenity is provided along on-site connections and between the site and adjacent destinations. | Great | 1 |
| Bicycle Parking | | | |
| MB-6 | Bicycle parking are located in close proximity to building entrances. Short-term bicycle parking is located within 25 meters of building entrance if outdoors. Long-term bicycle parking is located within 50 meters of an entrance. All bicycle parking is weather protected. | Excellent | 2 |
| Trails and Cycling Infrastructure | | | |
| MB-7 | The objectives of the municipal Active Transportation Master Plan and/or Trails/Pathways Master Plan are being implemented. | Good | 1 |
| Active Transportation Network | | | |
| MB-8 | 100% of residents/jobs will be within 400 metres of an existing, approved, or proposed public multi-use trail or cycling infrastructure (e.g. bike lane). | Good | 2 |
| Distance to Public Transit | | | |
| MB-9 | The site is within 800 metres walking distance to an existing or planned commuter rail, light rail, bus rapid transit or subway with frequent stops. | Good | 1 |
| Natural Environment and Parks | | | |
| Indicator | Metric | Level | Points |
| Tree Conservation | | | |
| NE-1 | 25% of healthy mature trees are preserved in-situ. | Good | 3 |
| Soil Quantity & Quality for New Trees | | | |
| NE-2 | A minimum of 30 cubic metres (m3) of soil and a minimum of 100 centimetres (cm) of uncompact soil depth is provided for each new tree. | Good | 2 |
| Healthy Soils | | | |
| NE-3 | A minimum topsoil depth of 200 millimetres (mm) is provided across the entire site (excluding paved surfaces). | Good | 1 |
| Natural Heritage Connections | | | |
| NE-4 | Physical public connections (e.g. public access blocks, single loaded roads, parks, sidewalks, etc.) are provided for 25% of the length of the natural heritage system that abuts the development. | Good | 2 |

| | | | |
|---|---|-------|--------|
| NE-4 | Physical public connections (e.g. public access blocks, single loaded roads, parks, sidewalks, etc.) are provided for 50% of the length of the natural heritage system that abuts the development. | Great | 2 |
| Supporting Pollinators | | | |
| NE-6 | Native plants that support pollinators make up 25% of total quantity of plants proposed. | Good | 1 |
| NE-6 | Native plants that support pollinators make up 50% of the total quantity of plants proposed. | Great | 1 |
| Stormwater Quality | | | |
| NE-10 | Over 80% of Total Suspended Solids (TSS) are removed from all runoff leaving the site during a 25 millimetre (mm) rainfall event. | Good | 1 |
| Infrastructure & Building | | | |
| Indicator | Metric | Level | Points |
| Buildings Designed/Certified under Green Rating Systems | | | |
| IB-1 | The development achieves LEED for Neighbourhood Development (ND) v4, or equivalent. | Good | 2 |
| Building Accessibility | | | |
| IB-3 | 50% of emergency exits above the Ontario Building Code (OBC) requirements are barrier free. | Good | 1 |
| Heat Island Reduction: Non-Roof | | | |
| IB-7 | At least 1 strategy to reduce the heat island effect is applied to 75% of the site's non-roof landscaping. | Great | 1 |
| Solar Gain Control | | | |
| IB-9 | Exterior shading is provided for all east and west facing windows (e.g. operable shutters, overhangs, brise soleil canopy, awnings, solar blinds, screens, horizontal louvers, or jalousies). | Great | 2 |
| Light Pollution Reduction | | | |
| IB-17 | All exterior light fixtures are Dark Sky Compliant. | Good | 1 |
| Bird-Friendly Design | | | |
| IB-18 | A combination of Bird-Friendly Design strategies are applied to at least 85% of contiguous glass area greater than 2 square metres (m2) within the first 16 meters of the building above-grade (including interior courtyards) and above green roofs. | Good | 2 |

| Points Achieved by Category | |
|-------------------------------|----|
| Built Environment | 11 |
| Mobility | 10 |
| Natural Environment and Parks | 13 |
| Infrastructure & Building | 12 |



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number _____ - 2025

To adopt Amendment Number OP 2006-_____

To the Official Plan of the
City of Brampton Planning Area

The Council of The Corporation of the City of Brampton, in accordance with the provisions of the Planning Act, R.S.O. 1990, c.P. 13, hereby ENACTS as follows:

1. Amendment Number OP 2006 - _____ to the Official Plan of the City of Brampton Planning Area is hereby adopted and made part of this bylaw.

ENACTED and PASSED this [enter date] day of [enter month] ,2025

| |
|--|
| Approved as to form. 20__ /month/day [insert name] |
| Approved as to content. 20__ /month/day [insert name] |

Patrick Brown, Mayor

Peter Fay, City Clerk

AMENDMENT NUMBER OP 2006-_____
TO THE OFFICIAL PLAN OF THE
CITY OF BRAMPTON PLANNING AREA

AMENDMENT NUMBER OP 2006- _____
TO THE OFFICIAL PLAN OF THE
CITY OF BRAMPTON PLANNING AREA

1.0 PURPOSE:

The purpose of this Amendment is to amend the Official Plan to change the land use designations on the subject lands from “Residential” and “Commercial Retail” to “Commercial Retail” and “Neighborhood Retail” to permit the development of a commercial plaza comprised of eight buildings and supplementary at grade parking.

2.0 LOCATION:

The lands subject to this amendment are located on the east side of Heritage Road, north and south of Brasstown Valley Trail. The lands are legally described as PART OF LOT 2, CONCESSION 5WHS CHINGUACOUSY, DESIGNATED AS PART 1, PL 43R35140 SUBJECT TO AN EASEMENT OVER PART 1, 43R37483 AS IN PR3190828 CITY OF BRAMPTON.

3.0 AMENDMENTS AND POLICIES RELEVANT THERETO:

3.1 The document known as the Official Plan of the City of Brampton Planning Area is hereby amended by:

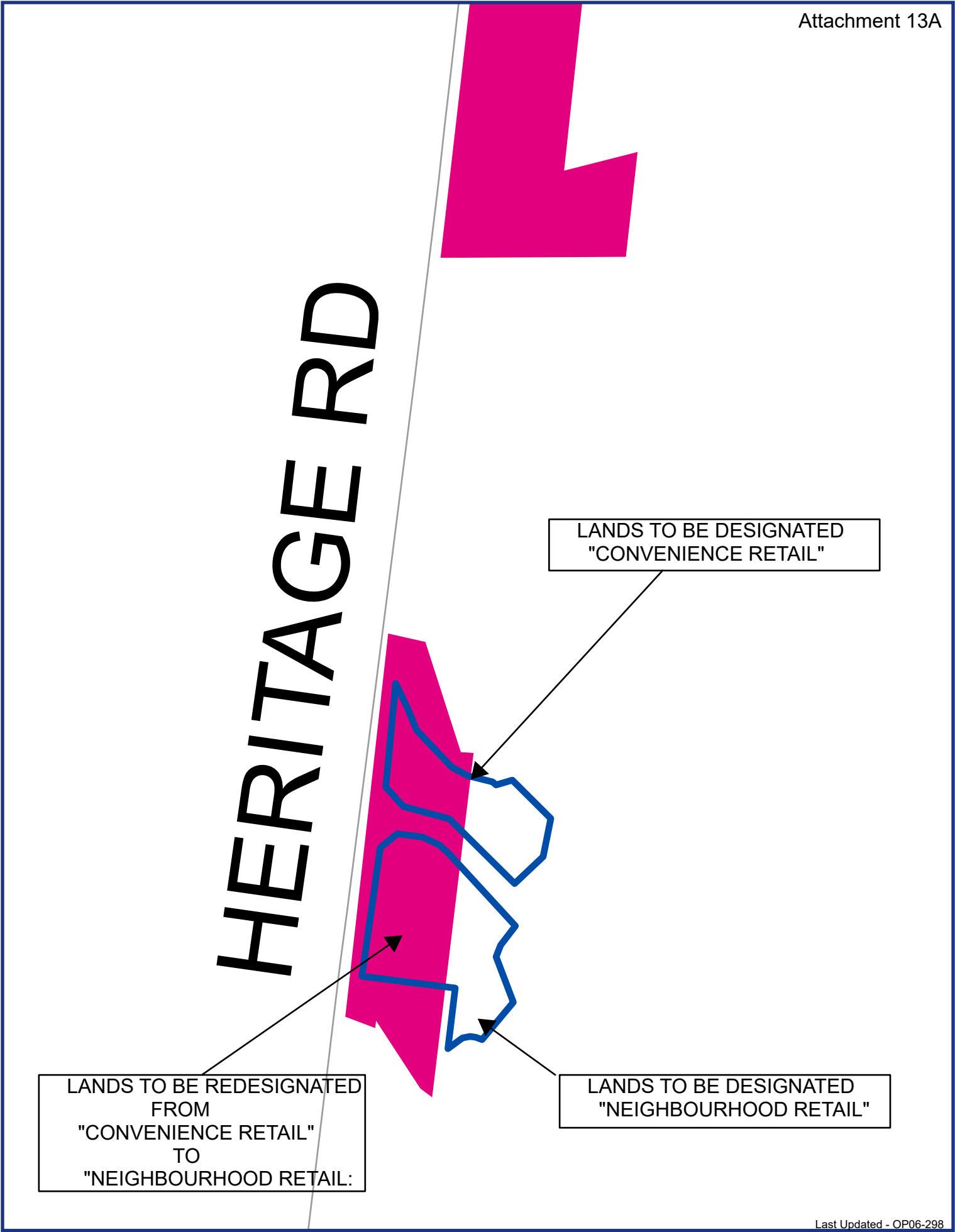
- a) Revising the northern portion of the lands designated “Convenience Retail” on Schedule A2 – Retail Structure of the Official Plan to reflect updated block limits, as shown on Schedule ‘A’ to this amendment
- b) Redesignating the southern portion of the lands from “Convenience Retail” to “Neighbourhood Retail” on Schedule A2 – Retail Structure, and updating the block limits accordingly, as shown on Schedule ‘A’ to this amendment.
- c) Adding to the list of amendments pertaining to Secondary Plan Area Number 40(d): Bram West Secondary Plan as set out in Part II: Secondary Plans thereof, Amendment Number OP 2006- ____.

3.2 The portions of the document known as the Bram West Secondary Plan, being Chapter 40(d), of Part II of the City of Brampton Official Plan, as amended, is hereby further amended:

- a) By revising the northern portion of the lands shown on Schedule 'B' of this amendment, on Schedule SP40(a), from "Low/Medium Density Residential" to "Convenience Commercial", to reflect updated block limits.
- b) By revising the southern portion of the lands shown on Schedule 'B' of this amendment, on Schedule SP40(a), from "Low/Medium Density Residential" and "Convenience Commercial" to "Neighbourhood Commercial", to reflect updated block limits.

Approved as to Content:

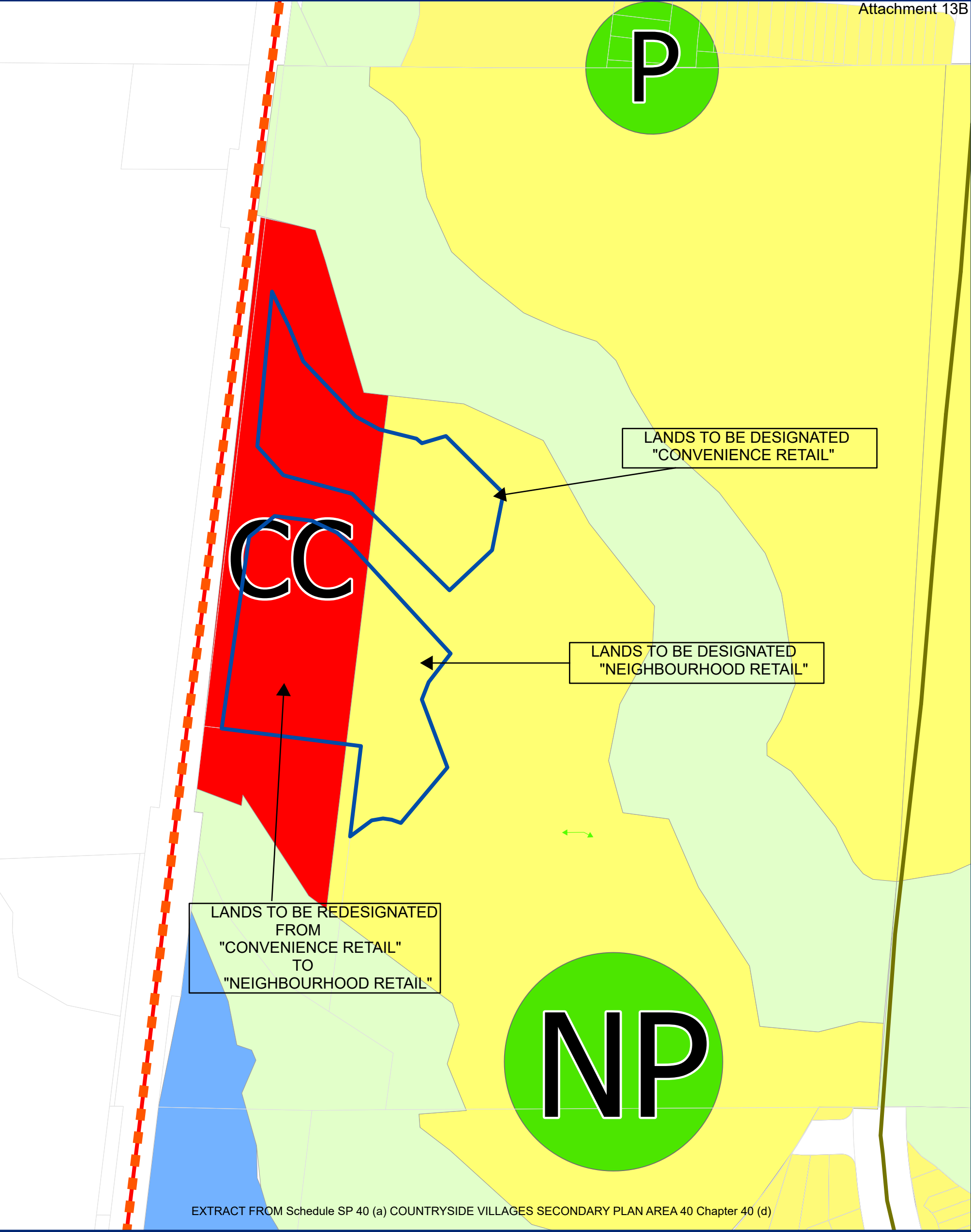
Allan Parsons, MCIP, RPP Director,
Development Services Planning and
Building Division



EXTRACT FROM Schedule 'A2' OF THE DOCUMENT KNOWN AS Retail Structure

- CONVENIENCE RETAIL
- MAJOR STREETS
- Subject Lands





EXTRACT FROM Schedule SP 40 (a) COUNTRYSIDE VILLAGES SECONDARY PLAN AREA 40 Chapter 40 (d)

RESIDENTIAL

- EXECUTIVE RESIDENTIAL
- LOW / MEDIUM DENSITY
- MEDIUM DENSITY
- VILLAGE RESIDENTIAL
- MEDIUM / HIGH DENSITY
- MIXED USE

EMPLOYMENT

- PRESTIGE INDUSTRIAL
- NEIGHBOURHOOD COMMERCIAL
- SERVICE COMMERCIAL
- CONVENIENCE COMMERCIAL
- SPECIALTY OFFICE & SERVICE COMMERCIAL
- OFFICE CENTRE

INSTITUTIONAL

- SECONDARY SCHOOL
- SENIOR ELEMENTARY SCHOOL
- ELEMENTARY SCHOOL
- PLACE OF WORSHIP (RESERVE)
- FIRE STATION
- RETIREMENT HOME

OPEN SPACE

- VALLEYLAND
- COMMUNITY PARK
- NEIGHBOURHOOD PARK
- PARKETTE
- WOODLOT
- WETLAND

ROAD NETWORK

- MINOR COLLECTOR ROAD (23-26 METRES)
- MAJOR COLLECTOR ROAD (26-30 METRES)
- MINOR ARTERIAL ROAD (36 METRES)
- MAJOR ARTERIAL ROAD (45-50 METRES)

INFRASTRUCTURE

- TRANSCANADA GAS PIPELINE
- NORTH-SOUTH TRANSPORTATION CORRIDOR

- LINKAGE
- SWM FACILITIES (QUANTITY)
- SECONDARY PLAN BOUNDARY
- PRIMARY GATEWAY

Subject Lands



Date: 2024/09/03

SCHEDULE B TO OFFICIAL PLAN AMENDMENT
OP _____



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number _____

To amend By-law 270-2004, as amended.

The Council of the Corporation of the City of Brampton ENACTS as follows:

- 1. By-law 270-2004, as amended, is hereby further amended:
 - (1) by changing on Schedule A thereto, the zoning designation of the lands as shown outlined on Schedule A to this by-law:

| | |
|------------------------------|---|
| From the Existing Zoning of: | To: |
| FUTURE DEVELOPMENT (FD) | COMMERCIAL THREE - SECTION 3836 (C3 - 3836) |

- (2) by adding thereto, the following sections:
 - “3836 The lands designated C3 - 3638 on Schedule A to this by-law:
 - 3836.1 Shall only be used for the purposes permitted in a C3 zone;
 - 3836.2 Shall be subject to the following requirements and restrictions:
 - 1. Minimum Building Setbacks:
 - a. 6 metres to any lot line abutting a Residential zone;
 - b. 3 metres to all other lot lines.
 - 2. Maximum Building Height:
 - a. 2 storeys for any building or portion thereof within 50 metres of Heritage Road;

By-law Number - _____

- b. 1 storey for any building or portion thereof 50 metres or more from Heritage Road.

3. Minimum Landscaped Open Space:

- a. 3 metres along any lot line abutting a street, and
- b. 8% of the total lot area;

ENACTED and PASSED this [enter date] day of [enter month], 2025.

Approved as
to form.

Insert Date


Patrick Brown, Mayor

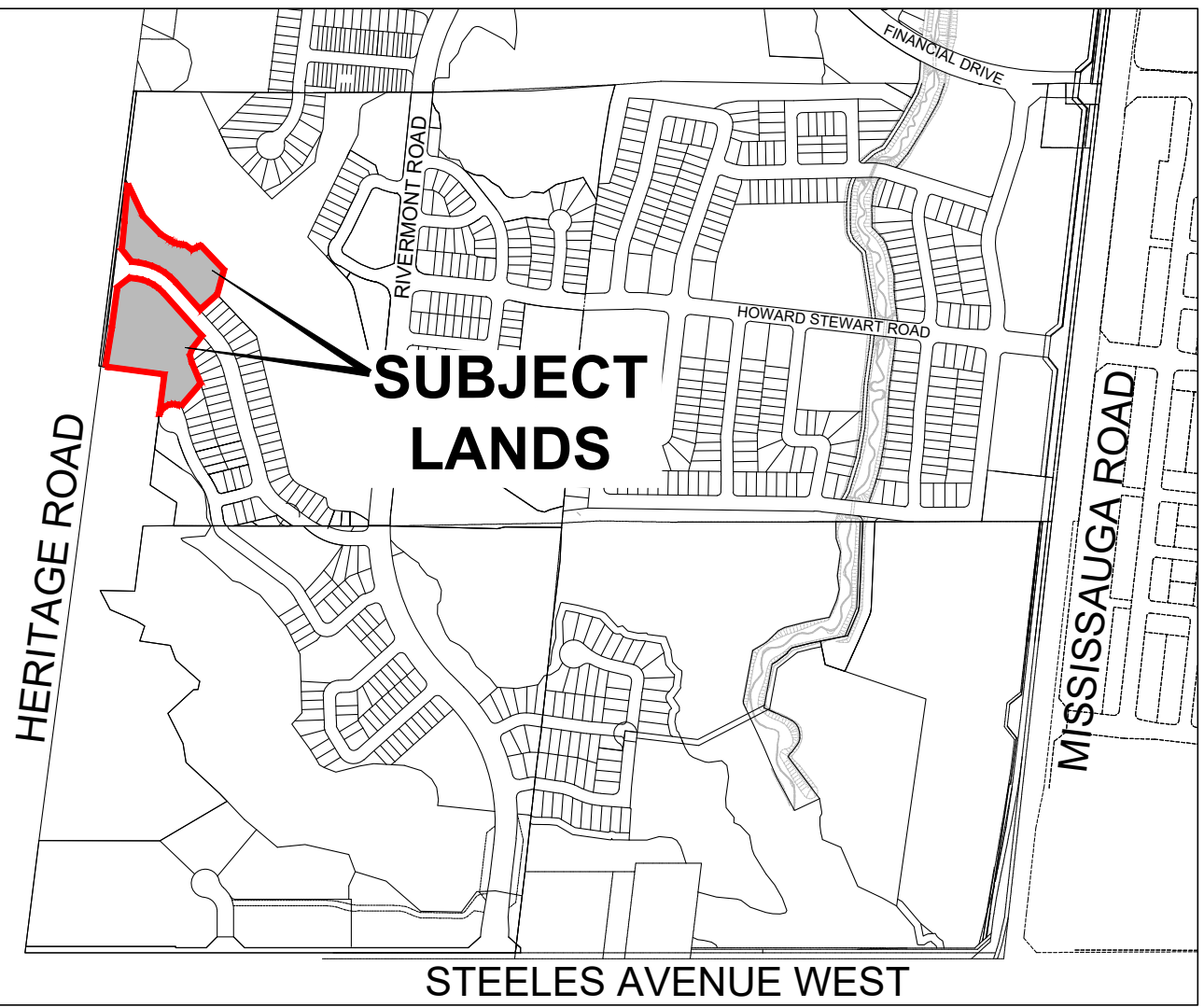
Approved as
to content.

Insert Date

Peter Fay, City Clerk



 Subject Lands



TERTIARY PLAN
RETAIL COMMERCIAL PLAZAS
ASHLEY HERITAGE JOINT VENTURE
BLOCKS 211 & 212,
SUBDIVISION FILE # 21T-19015B
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

LEGEND:

- TERTIARY PLAN AREA
- SUBJECT LANDS
- ADDITIONAL OWNER IN TERTIARY PLAN



SCALE 1:500
APRIL 22, 2025

GSAI
Glen Schnarr & Associates Inc.



Minutes

Brampton Heritage Board

The Corporation of the City of Brampton

Tuesday, May 20, 2025

Members Present: Stephen Collie (Co-Chair)
Douglas McLeod (Co-Chair)
Nick Craniotis
Roy de Lima
Sharron Goodfellow
Hunyah Irfan
Dian Landurie
Paul Willoughby
Regional Councillor P. Vicente - Wards 1 and 5

Members Absent: Prianka Garg
Christiana Nuamah
Naveed Suleman
Rajesh Vashisth

Staff Present: Charlton Carscallen, Principal Planner/Supervisor, Planning,
Building and Growth Management
Arpita Jambekar, Heritage Planner, Planning, Building and
Growth Management
Tom Tran, Heritage Planner, Planning, Building and Growth
Management
Johanna Keus, Assistant Heritage Planner
Chandra Urquhart, Legislative Coordinator

1. **Call to Order**

The meeting was called to order at 7:06 p.m. and adjourned at 9:14 p.m.

2. **Approval of Agenda**

The following motion was considered:

BHB016-2025

That the agenda for the Brampton Heritage Board meeting of May, 20 2025 be approved, as published and circulated.

Carried

3. **Declarations of Interest under the Municipal Conflict of Interest Act**

Nil

4. **Previous Minutes**

4.1 Minutes - Brampton Heritage Board - April 15, 2025

The recommendations were approved by Council at its Special Council meeting on April 17, 2025. The minutes were provided for the Board's information.

5. **Consent**

6. **Presentations\Delegations**

6.1 Delegation by Jason Aphonso, Partner, Glen Schnarr and Associates, on behalf of Bruce and Shirley Reed, re: Heritage Resource at 10294 Heritage Road

Jason Aphonso, Partner, Glen Schnarr and Associates, on behalf of Bruce and Shirley Reed, Brampton residents, requested Board support for the delisting of the property located at 10294 Heritage Road and considered a heritage resource. The following was highlighted:

- property does not meet the criteria for designation
- property is within the Heritage Heights Secondary Plan
- delisting will assist with streamlining the planning approval process to build more homes faster

Steve Ganesh, Commissioner, Planning, Building and Growth Management, noted the following comments:

- Brampton is in a housing crisis and opportunities such as the approval of the request will assist Council in its goal to provide more housing to meet population demands
- A new Bill was introduced by the Province and though not yet approved, will propose methods for municipalities to streamline development application processes and build more homes faster

A motion was put forward by a member of the Board to refer the delegation to Council with respect to the question of delisting property.

Board discussion included the following comments:

- Board members have not seen a report on this matter
- Questioned whether the intent is to by-pass the Board and bring the matter directly to Council
- Questioned the purpose of the Board and its mandate if the members are not provided the opportunity for input on heritage properties

In response to a question, the delegation advised that a Heritage Impact Assessment was completed for the property and forwarded to staff.

Charlton Carscallen, Supervisor/Principal Planner, advised that a Heritage Impact Assessment (HIA) was provided to staff. It has been reviewed and comments were provided to the applicant and consultant. Staff have not yet accepted the HIA.

The following motion was considered:

A recorded vote was requested, voted on and lost as follows:

HB017-2025

1. *That the delegation by Jason Aphonso, Partner, Glen Schnarr and Associates, on behalf of Bruce and Shirley Reed, to the Brampton Heritage Board meeting of May 20, 2025, re: **Heritage Resource at 10294 Heritage Road** be received; and,*
2. *That the request to delist the heritage resource be referred to Council.*

Lost

Co-Chair Steve Collie, Member Hunyan Irfan, Member Paul Willoughby, Regional Councillor Vicente

Yea (4)

Co-Chair Doug McLeod, Member Nick Craniotis, Member Roy de Lima, Member Dian Landurie, Member Sharon Goodfellow

Nay (5)

BHB018-2025

1. That the delegation by Jason Aphonso, Partner, Glen Schnarr and Associates, on behalf of Bruce and Shirley Reed, to the Brampton Heritage Board meeting of May 20, 2025, re: **Heritage Resource at 10294 Heritage Road** be received; and,

2. That staff be directed to report back to the next Heritage Board meeting of June 17, 2025 with the Heritage Impact Assessment (HIA) report.

Carried

7. Sub-Committees

Nil

8. Designation Program

Nil

9. Heritage Impact Assessment (HIA)

9.1 Report from Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment Recommendation Report for 127, 133 & 133A Main Street South - Ward 3

Charlton Carscallen, Supervisor/Principal Planner, provided an overview of the Heritage Impact Assessment (HIA) of the subject properties noting details of their heritage attributes. A development proposal for the site that will require the removal of all the existing buildings has been requested to accommodate a 16-storey condominium building and townhouses. The HIA has concluded that the development will negatively impact both cultural heritage resources due to their removal and mitigation measures are required.

Staff responded to questions and comments on the location and height of the proposed development.

The following motion was considered:

HB019-2025

1. That the report from Arpita Jambekar, Heritage Planner to the Brampton Heritage Board Meeting of May 20, 2025, re: **Heritage Impact Assessment for 127, 133 & 133A Main Street South- Ward 3** be received;
2. That the Heritage Impact Assessment for 127, 133 & 133A Main Street South, by MHBC, dated April 2025 be received;
3. That following the recommendations of the Heritage Impact Assessment be followed to mitigate the substantial negative impacts associated with the removal of existing buildings:
 - I. That the proposed design be developed through incorporation of historic-inspired elements for the new development;
 - II. That a Documentation and Salvage Report be prepared for each of the existing dwellings at 127 and 133 Main Street South per the City of Brampton Documentation and Salvage Report Terms of Reference prior to submission of any demolition permits for the properties;
 - III. That a Commemoration Plan be developed for the dwellings at 127 and 133 Main Street South, for documenting the history of the site and incorporation within the new development. Any proposed commemoration must include elements accessible from the public realm; and
4. That the properties be maintained in good condition until such time the applicant is ready to apply for building permits for the new construction on the property.

Carried

9.2 Report from Arpita Jambekar, Heritage Planner, re: Heritage Impact Assessment, 2305 Embleton Road – Ward 6

Arpita Jambekar, Heritage Planner, provided an overview of the Heritage Impact Assessment (HIA) for 2305 Embleton Road, noting that a residential development is proposed for the site. The property is located across the street from Huttonville Public School and is listed as a cultural heritage resource. The HIA has concluded that no negative impacts were anticipated to the school and no mitigation measures were required.

The following motion was considered:

HB020-2025

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, dated May 9, 2025, to the Brampton Heritage Board meeting of May 20, 2025, re: **Heritage Impact Assessment, 2305 Embleton Road – Ward 6**, be received;
2. That the Heritage Impact Assessment, 2305 Embleton Road, Brampton prepared by Hobson Heritage, dated March 10, 2025 be deemed complete; and,
3. That based on the recommendations of the Heritage Impact Assessment, the proposed development will have no negative impacts on the adjacent cultural heritage resource and no mitigations measures are required.

Carried

9.3 Report from Tom Tran, Heritage Planner, re: Heritage Impact Assessment, 24 Alexander Street and Etobicoke Creek Diversion Channel and Bridges – Wards 1 & 3

Tom Tran, Heritage Planner, provided an overview of the report on the Heritage Impact Assessment (HIA) for 24 Alexander Street and Etobicoke Creek Diversion Channel and Bridges, noting that a development of a commemoration plan was recommended for the Diversion Channel and the three associated bridges.

Staff provided clarification regarding the construction of the pedestrian bridge, impacts on the former Central Public School and the nearby Presbyterian Church. Staff advised that the final design for the work has not yet been submitted.

The following motion was considered:

HB021-2025

1. That the report from Tom Tran, Heritage Planner, Integrated City Planning, to the Brampton Heritage Board meeting of May 20, 2025, re: Heritage Impact Assessment, 24 Alexander Street and Etobicoke Creek Diversion Channel and Bridges – Wards 1 & 3, be received;
2. That the Heritage Impact Assessment, 24 Alexander Street and Etobicoke Creek Diversion Channel and Bridges dated May 2025 be deemed complete;
3. That the following recommendations per the Heritage Impact Assessment, 24 Alexander Street be received:

- I. Based on the current design, the former Central Public School building at 24 Alexander Street remains outside of the construction limits and therefore no impacts will be made to the identified Cultural Heritage Value or Interest (CHVI) of the property;
4. That the following recommendations as per the Heritage Impact Assessment, Etobicoke Creek Diversion Channel and Bridges be received and followed:
 - I. The temporary removal of the stone cairn commemorating the construction of the original Channel is required due to anticipated impacts from the proposed construction. A conservation plan is recommended to address the temporary disassembly and relocation of the cairn.
 - II. It is recommended that a commemoration plan be developed for the Diversion Channel and the three associated bridges: the Church Street Bridge, the Scott Street Bridge, and the Queen Street Bridge. This plan should expand upon the plaque and text on the existing cairn structure and provide a meaningful interpretation of the historical and cultural significance of the Diversion Channel and the bridges. Consistent with the BHB and Council recommendations for 30 James Street in April 2025, the final commemoration plan for the Etobicoke Creek Diversion Channel and Bridges will also contribute towards a cohesive commemoration program throughout the Riverwalk project, linking the north and south ends of the Channel as part of the larger wayfinding and landscaping plan;
5. That the demolition and construction work on the Etobicoke Creek Diversion Channel and Bridges can proceed. The Conservation Plan for the cairn should be reviewed and accepted by Heritage Staff prior to its removal/relocation. Likewise, the Commemoration Plan for the Channel and Bridges should be accepted by Heritage Staff prior to the approval of the final landscaping plan for the project.

Carried

10. Correspondence

Nil

11. Other/New Business

- 11.1 Report from Johanna Keus, Assistant Heritage Planner, re: Heritage Permit and Heritage Grant Application, 27 Church Street East – Ward 1

Johanna Keus, Assistant Heritage Planner, presented an overview of the report on the Heritage Permit and Heritage Grant for 27 Church Street East, noting that the property owner has submitted a grant application for restoration and repair work on the property. The property is designated for its cultural and heritage values and Council approval is required for all alterations.

In response to a question, staff advised that photos of the property were not available.

The following motion was considered:

HB022-2025

1. That the report from Johanna Keus, Assistant Heritage Planner; Integrated City Planning, to the Brampton Heritage Board Meeting of May 20, 2025, re: Heritage Permit and Heritage Grant Application, 27 Church Street East – Ward 1, be received;
2. That the Heritage Permit application for 27 Church St. E. for the restoration, repair and cleaning of the red brick exterior cladding, as well as the replacement of the front porch steps be approved; and,
3. That the Designated Heritage Property Incentive Grant application for the restoration, repair and cleaning of the red brick exterior cladding, as well as the replacement of the front porch steps for 27 Church St. E. be approved, to a maximum of \$10,000.00.

Carried

11.2 Report from Arpita Jambekar, Heritage Planner, re: Documentation and Salvage Report and Commemoration Plan Recommendation Report for 59 Elizabeth St N and Railroad Cultural Heritage Landscape - Ward 1

Arpita Jambekar, Heritage Planner, provided an overview of subject report on '59 Elizabeth Street North and the Railroad Cultural Heritage Landscape', noting that the Heritage Impact Assessment (HIA) was previously reviewed by the Board and a commemoration plan was recommended along with a document and salvage report. A strategy for the removal, and storage of the salvaged materials and mitigation measures to retain cultural heritage values of the heritage resources are outlined in the report.

The following motion was considered:

HB023-2025

1. That the report from Arpita Jambekar, Heritage Planner, Integrated City Planning, to the Brampton Heritage Board Meeting of May 20, 2025, re: **Documentation & Salvage Report and Commemoration Plan for 59 Elizabeth St N and Railroad Cultural Heritage Landscape – Ward 1**, be received;
2. That the Documentation and Salvage Report and Heritage Commemoration Plan for 59 Elizabeth St N and the Railroad Street CHL, by Stantec, dated April 23, 2025 be received;
3. That the following recommendations as per the Documentation and Salvage Report and Commemoration Plan by Stantec be followed:
 - I. That the land use history, construction details and photographic record of 59 Elizabeth and properties within the Railroad Cultural Heritage Landscape be documented;
 - II. That the following materials from 59 Elizabeth St N and Railroad CHL are identified for salvage and possible commemoration:
 - i. Representative sample of bricks from the exterior walls of 59 Elizabeth Street North (approximately 1 wooden pallet's worth of material for the property),
 - ii. Potential plaster moldings located in Apartment One of 59 Elizabeth Street North (to be confirmed on site by demolition contractor),
 - iii. Clawfoot bathtub of 59 Elizabeth Street North,
 - iv. Cast iron radiators of 59 Elizabeth Street North, and
 - v. Representative samples of bricks from contributing properties located within the CHL (approximately 1 wooden pallet's worth of material per property);
 - III. That a provision be made for transportation, of individually segregated bricks salvaged from the contributing properties at the Railroad Street CHL and 59 Elizabeth St N, to the City's storage yard at 82 Railroad Street, at the Tribute (Railroad Street) Limited expense.
 - IV. That the outlined strategy for removal and storage methods in the Documentation and Salvage Report be followed by Tribute (Railroad Street) Limited; and

V. That the following commemoration options be followed to offer a unique way to tell the storey of the Study Area and maintain the historical connection of the Study area to the proposed development:

- i. Interpretive Panels,
- ii. Display of salvaged materials, and
- iii. Graphic wrapping along the crash wall.

Carried

11.3 Discussion, re: Archaeological Management Plan (BRAMP) - Next Steps

Charlton Carscallen, Supervisor/Principal Planner, reminded the Board that the Archaeological Management Plan (BRAMP) was presented to the members and received. Staff intends to present to the Plan for Council endorsement at its June 25th meeting.

Charlton highlighted key points of the presentation and outlined next steps and advised the Board to note any questions or concerns with the Plan.

In response to a question from the Board, Charlton advised that if any suspicious digging was observed, the activity can be reported to the police or to staff, noting that there is a protocol to be followed.

12. **Current Heritage Issues**

Charlton Carscallen, Supervisor/Principal Planner, provided an update on the Historical Bovaird House, which included the following:

- Friends of Bovaird House have removed any personal belongings and items that were loaned and stored on the property
- City is looking at options for the House going forward
- Maintenance needs, such as power, heat and grass cutting have continued
- An exterior door has been replaced
- Brick repainting and replacement were completed where required due to wear and tear
- Roof will be looked at to ensure there is no leakage

- Staff are looking to develop a plan for the log building
- Security continues to monitor the site
- Discussion is ongoing regarding programming at the site

Concerns were expressed by the Board for the volunteers who the Board believes should be allowed to continue running the programs.

Charlton Carscallen also reminded the Board to be aware of the pronunciation of names of the Indigenous Community when reading the Land Acknowledgement Statement at Board meetings.

13. Referred/Deferred Items

Nil

14. Information Items

The Board acknowledged the passing of Peter Robertson, who was a former Mayor of Brampton. Staff advised that Peter Robertson's passing was announced and acknowledged at the Committee of Council meeting following the news of the passing.

15. Question Period

Nil

16. Public Question Period

Nil

17. Closed Session

Nil

That Committee proceed into closed session

18. Adjournment

The following motion was considered:

HB024-2025

That Brampton Heritage Board do now adjourn to meet again on June 17, 2025 at 7:00 p.m.

Carried

Douglas McLeod (Co-Chair)

Stephen Collie (Co-Chair)