



Notice of Decision

Committee of Adjustment

APPLICATION NO. **B-2020-0026**

Ward # 10

PLANNING ACT - PROVISIONAL CONSENT

AN APPLICATION HAS BEEN MADE BY **BALBIR SINGH BHARWALIA AND NIRMALJIT KAUR BHARWALIA**

The applicant(s) request(s) consent to a conveyance of Part of Lot 15, Concession 9 ND, City of Brampton, Regional Municipality of Peel. The severed parcel has an area of approximately 8107.77 square metres (0.81 hectares). The effect of the application is to provide for a lot addition to the adjacent lands, legally described as Part of Lot 14, Concession 9 ND (0 McVean Drive). The land is located at 10829 McVean Drive. The land is designated "Estate Residential" in the Official Plan and "Estate Residential" in the Secondary Plan. The lands are zoned "Estate Residential 2 – Special Section 1500 (RE2-1500)". Future residential development is proposed (one single detached dwelling).

THE REQUEST IS HEREBY APPROVED, THIS DECISION:

IF **APPROVED**: IS SUBJECT TO THE CONDITIONS AND FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

IF **REFUSED**: IS FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

MOVED BY R. Power SECONDED BY: D. Colp

DATED THIS 26th day of JANUARY, 2021

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

CERTIFICATION

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.

Jeannie Myers
SECRETARY-TREASURER, COMMITTEE OF ADJUSTMENT

Additional information regarding the application for consent will be available to the public for inspection between 8:30 a.m. and 4:30 p.m. Monday to Friday at the Brampton City Hall, Committee of Adjustment Office, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, Telephone No. (905) 874-2117 and Fax No. (905) 874-2419.

You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have either made a written request to be notified of the decision to give or refuse to give provisional consent or make a written request to be notified of changes to the conditions of the provisional consent.

Only individuals, corporations and public bodies may appeal decisions or any condition in respect of applications for consent to the Local Planning Appeal Tribunal. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group.

An appeal form is available on the Environment and Land Tribunals Ontario website at <http://elto.gov.on.ca/> or at the office of the Secretary-Treasurer. The notice of appeal accompanied by the fee prescribed under the Local Planning Appeal Tribunal Act shall be filed with the Secretary-Treasurer of the Committee of Adjustment. The prescribed fee is \$400 per person/ per appeal. Please visit <http://elto.gov.on.ca/tribunals/lpat/lpat-process/fee-chart/> for information on related appeals. Cheques are to be made payable to the Minister of Finance. **TURN TO PAGE TWO (2) FOR THE Local Planning Appeal Tribunal APPEAL DATE.**

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment: NO
Zoning By-law Amendment: NO
Minor Variance: YES

File Number:
File Number:
File Number: A-2020-0158

PLANNING ACT – PROVISIONAL CONSENT

AN APPLICATION HAS BEEN MADE BY BALBIR SINGH BHARWALIA AND NIRMALJIT KAUR BHARWALIA

THIS DECISION IS SUBJECT TO THE FOLLOWING CONDITIONS: (AS AGREED TO BY THE APPLICANT(S)/AGENT(S) AT THE MEETING).

1. A Secretary-Treasurer's certificate fee shall be paid, in the amount current at the time of the issuance of the Secretary-Treasurer's Certificate;
2. Approval of the draft reference plan(s), as applicable, shall be obtained at the Committee of Adjustment office, and; the required number of prints of the resultant deposited reference plan(s) shall be received;
3. Subsection 50(3) and/or(5) of the Planning Act R.S.O. 1990 as amended, shall apply to any subsequent conveyance or transaction involving the parcel of land that is the subject of this consent.
4. A solicitor's undertaking shall be received indicating that the "severed" land and the abutting land, being Part of Lot 15, Concession 9 ND, shall be "merged" for Planning Act purposes at the time of the registration of the Transfer to which the Secretary-Treasurer's Certificate is affixed.
5. An undertaking shall be received from a solicitor confirming that the legal description of the "resultant" lot and the legal description in any mortgage(s) encumbering the "resultant" lot will be identical within four (4) weeks of the date of the Secretary-Treasurer's Certificate under the Planning Act; or alternatively, that no part of the "resultant" lot is encumbered by any mortgage(s). (The "resultant" lot is the "severed" land and the land to which the "severed" land is to be merged.)
6. Arrangements satisfactory to the Region of Peel, Public Works shall be made with respect to the location of existing and installation of new services and/or possible required private service easements.
7. That the applicant obtain all required permits pursuant to Ontario Regulation 166/06 for the realignment of the Headwater Drainage Feature and for any future development and pay any outstanding fees to the satisfaction of the Toronto and Region Conservation Authority;
8. The applicant will be required to convey lands to the city for day-lighting at the intersection of McVean Drive and Bowman Avenue. Day-lighting is governed by the major road. In this case McVean Drive is classified as an arterial Road. As a result, a 15 metre daylight triangle shall be provided to the satisfaction of the City's Legal Services Division, Corporate Services Department and the Commissioner, Public Works & Engineering.
9. The applicant shall gratuitously convey to the City of Brampton a 5.0 metre road allowance widening along the entire McVean Drive frontage, towards the ultimate right of way designation of 30 metres or 15 metres from the centerline of the right-of-way. The applicant shall prepare a draft reference plan, prepared by an Ontario Land Surveyor, to the satisfaction of the City's Legal Services Division, Corporate Services Department and the Commissioner, Public Works & Engineering.
10. The Owner shall make necessary arrangements to lift the 0.3 metre reserve at the approved access locations at Bowman Avenue, to the satisfaction of the City's Legal Services Division and the Transportation Division.

REASONS:

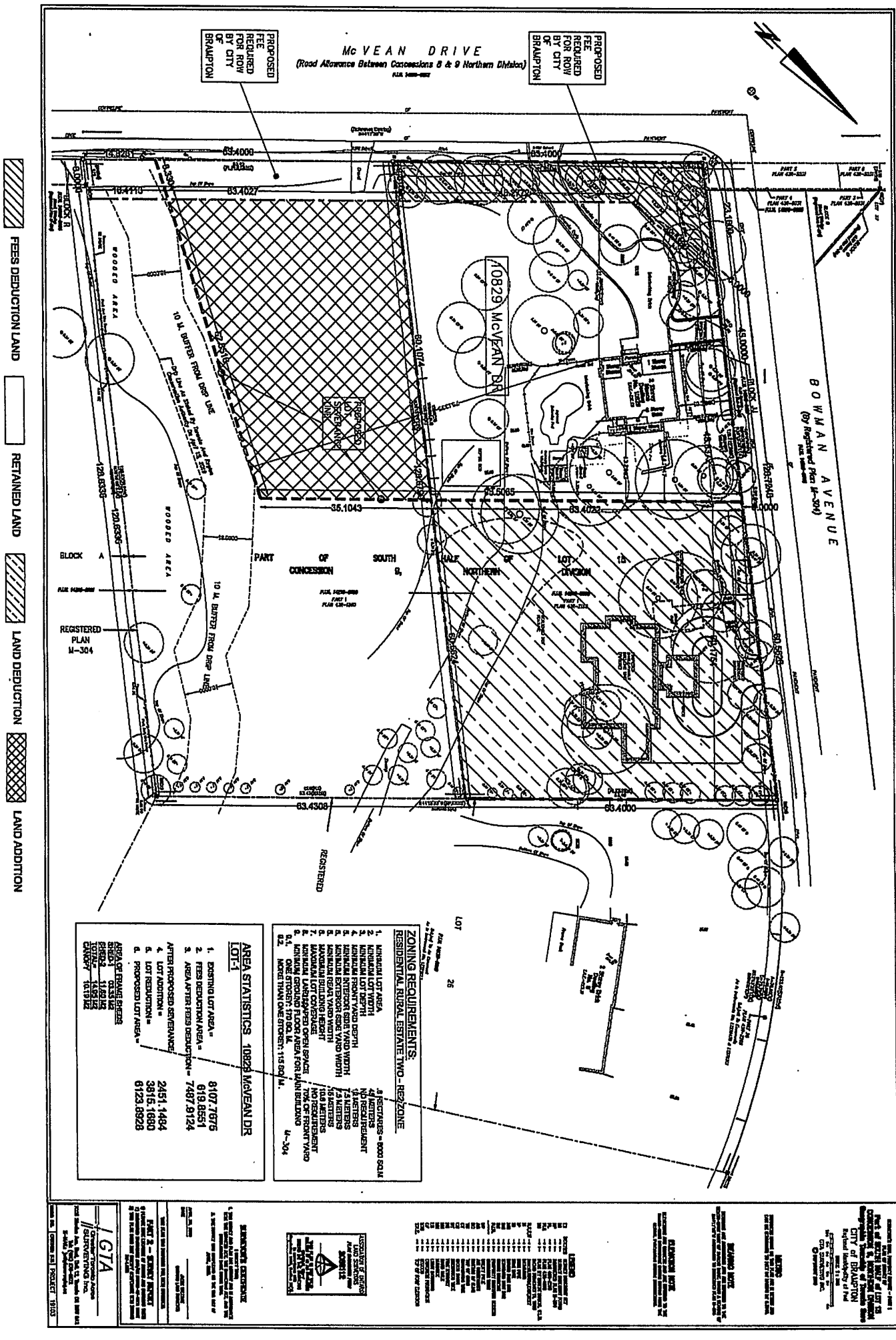
1. This decision reflects that regard has been had to those matters to be regarded under the Planning Act, in as much as the dimensions and shape of the lot are adequate for the uses proposed.
2. Subject to the imposed conditions, the consent to the conveyance will not adversely affect the existing or proposed development.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

LAST DATE FOR FILING AN APPEAL TO THE LOCAL PLANNING APPEAL TRIBUNAL
FEBRUARY 17, 2021

DATE OF MAILING JANUARY 28, 2021

PRINT SIZE=Legal





Notice of Decision

Committee of Adjustment

APPLICATION NO. B-2020-0027
Ward # 10

PLANNING ACT - PROVISIONAL CONSENT

AN APPLICATION HAS BEEN MADE BY **BALBIR SINGH BHARWALIA**

The applicant(s) request(s) consent to a conveyance of Part of Lot 15, Concession 9 ND, City of Brampton, Regional Municipality of Peel. The severed parcel has an area of approximately 8107.77 square metres (0.81 hectares). The effect of the application is to provide for a lot addition to the adjacent lands, legally described as Part of Lot 14, Concession 9 ND (10829 McVean Drive). The land is located at 0 McVean Drive. The land is designated "Estate Residential" in the Official Plan and "Estate Residential" in the Secondary Plan. The lands are zoned "Estate Residential 2 – Special Section 1500 (RE2-1500)". The existing residential use will be continued.

THE REQUEST IS HEREBY APPROVED, THIS DECISION:

IF **APPROVED**: IS SUBJECT TO THE CONDITIONS AND FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

IF **REFUSED**: IS FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

MOVED BY R. Power SECONDED BY: D.Colp

DATED THIS 26th day of JANUARY, 2021

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

CERTIFICATION

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER, COMMITTEE OF ADJUSTMENT

Additional information regarding the application for consent will be available to the public for inspection between 8:30 a.m. and 4:30 p.m. Monday to Friday at the Brampton City Hall, Committee of Adjustment Office, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, Telephone No. (905) 874-2117 and Fax No. (905) 874-2119.

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Only individuals, corporations and public bodies may appeal decisions or any condition in respect of applications for consent to the Local Planning Appeal Tribunal. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group.

An appeal form is available on the Environment and Land Tribunals Ontario website at <http://elto.gov.on.ca/> or at the office of the Secretary-Treasurer. The notice of appeal accompanied by the fee prescribed under the Local Planning Appeal Tribunal Act shall be filed with the Secretary-Treasurer of the Committee of Adjustment. The prescribed fee is \$400 per person/ per appeal. Please visit <http://elto.gov.on.ca/tribunals/lpat/lpat-process/fee-chart/> for information on related appeals. Cheques are to be made payable to the Minister of Finance. **TURN TO PAGE TWO (2) FOR THE Local Planning Appeal Tribunal APPEAL DATE.**

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment: NO
Zoning By-law Amendment: NO
Minor Variance: NO

File Number:
File Number:
File Number:

PLANNING ACT – PROVISIONAL CONSENT

AN APPLICATION HAS BEEN MADE BY BALBIR SINGH BHARWALIA

THIS DECISION IS SUBJECT TO THE FOLLOWING CONDITIONS: (AS AGREED TO BY THE APPLICANT(S)/AGENT(S) AT THE MEETING).

1. A Secretary-Treasurer's certificate fee shall be paid, in the amount current at the time of the issuance of the Secretary-Treasurer's Certificate;
2. Approval of the draft reference plan(s), as applicable, shall be obtained at the Committee of Adjustment office, and; the required number of prints of the resultant deposited reference plan(s) shall be received;
3. Subsection 50(3) and/or(5) of the Planning Act R.S.O. 1990 as amended, shall apply to any subsequent conveyance or transaction involving the parcel of land that is the subject of this consent.
4. A solicitor's undertaking shall be received indicating that the "severed" land and the abutting land, being Part of Lot 15, Concession 9 ND, shall be "merged" for Planning Act purposes at the time of the registration of the Transfer to which the Secretary-Treasurer's Certificate is affixed.
5. An undertaking shall be received from a solicitor confirming that the legal description of the "resultant" lot and the legal description in any mortgage(s) encumbering the "resultant" lot will be identical within four (4) weeks of the date of the Secretary-Treasurer's Certificate under the Planning Act; or alternatively, that no part of the "resultant" lot is encumbered by any mortgage(s). (The "resultant" lot is the "severed" land and the land to which the "severed" land is to be merged.)
6. Arrangements satisfactory to the Region of Peel, Public Works shall be made with respect to the location of existing and installation of new services and/or possible required private service easements.
7. That the applicant obtain all required permits pursuant to Ontario Regulation 166/06 for the realignment of the Headwater Drainage Feature and for any future development and pay any outstanding fees to the satisfaction of the Toronto and Region Conservation Authority;
8. The applicant will be required to convey lands to the city for day-lighting at the intersection of McVean Drive and Bowman Avenue. Day-lighting is governed by the major road. In this case McVean Drive is classified as an arterial Road. As a result, a 15 metre daylight triangle shall be provided to the satisfaction of the City's Legal Services Division, Corporate Services Department and the Commissioner, Public Works & Engineering.
9. The applicant shall gratuitously convey to the City of Brampton a 5.0 metre road allowance widening along the entire McVean Drive frontage, towards the ultimate right of way designation of 30 metres or 15 metres from the centerline of the right-of-way. The applicant shall prepare a draft reference plan, prepared by an Ontario Land Surveyor, to the satisfaction of the City's Legal Services Division, Corporate Services Department and the Commissioner, Public Works & Engineering.
10. The Owner shall make necessary arrangements to lift the 0.3 metre reserve at the approved access locations at Bowman Avenue, to the satisfaction of the City's Legal Services Division and the Transportation Division.

REASONS:

1. This decision reflects that regard has been had to those matters to be regarded under the Planning Act, in as much as the dimensions and shape of the lot are adequate for the uses proposed.
2. Subject to the imposed conditions, the consent to the conveyance will not adversely affect the existing or proposed development.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

LAST DATE FOR FILING AN APPEAL TO THE LOCAL PLANNING APPEAL TRIBUNAL
FEBRUARY 17, 2021

DATE OF MAILING JANUARY 28, 2021



FILE NUMBER A-2020-0158

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY BALBIR SINGH BHARWALIA AND NIRMALJIT KAUR BHARWALIA

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S) ASSOCIATED WITH THE PROPOSED NEWLY RECONFIGURED PARCEL OF LAND UNDER CONSENT APPLICATION B-2020-0026:

1. To permit a lot width of 48.8 metres;
2. To permit a lot area of 6,124 square metres (0.61 hectares);
3. To permit a front yard depth of 10.3 metres.

(10829 MCVEAN DRIVE – PT. OF LOT 15, CONC. 9 ND, PART 1, PLAN 43R-2168)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

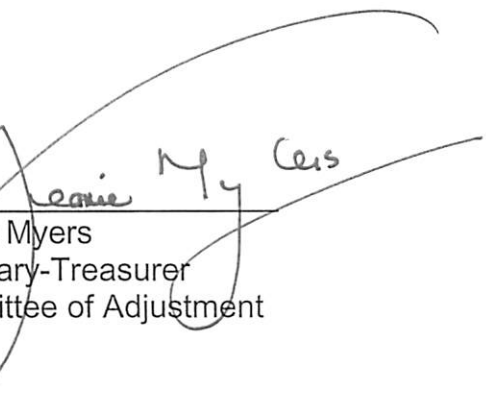
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2020-0158**

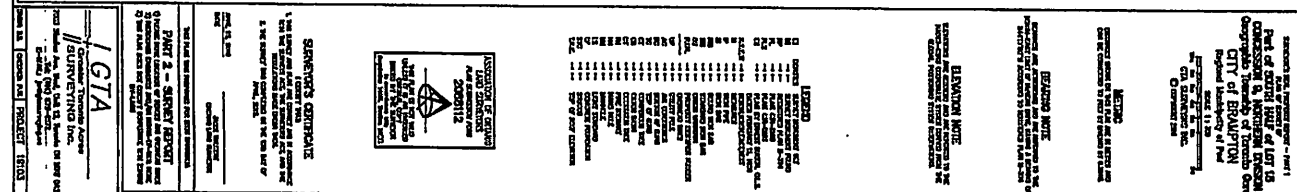
DATED: **JANUARY 26, 2021**

Conditions:

1. That the related consent applications B-2020-0026 and B-2020-0027 be approved;
2. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

PRINT SIZE=Legal





PLANNING ACT - PROVISIONAL CONSENT

AN APPLICATION HAS BEEN MADE BY **BRAMPTON BRAMALEA CHRISTIAN FELLOWSHIP INC.**

The applicant(s) request(s) consent to a conveyance of Part of Lot 17, Concession 5 EHS, City of Brampton, Regional Municipality of Peel, together with an easement over the severed lands in favour of the retained for emergency access. The severed parcel has a frontage of 107 metres (351.05 feet), a depth of approximately 202 metres (662.73 feet) and an area of approximately 1.6 hectares (3.95 acres). The land is located at 11613 Bramalea Road. The land is designated "Place of Worship" in the Official Plan and "Place of Worship" and "Medium High Density" in the Secondary Plan. The land is zoned "Institutional 1 (I1)" and "Residential Townhouse A-Special Section 3002 (R3A (H) -3002)". It is proposed that the severed lands be used for future residential purposes.

THE REQUEST IS HEREBY APPROVED, THIS DECISION:

IF **APPROVED**: IS SUBJECT TO THE CONDITIONS AND FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

IF **REFUSED**: IS FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

MOVED BY D. Doerfler SECONDED BY: R. Power

DATED THIS 26th day of JANUARY, 2021

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

CERTIFICATION

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER, COMMITTEE OF ADJUSTMENT

Additional information regarding the application for consent will be available to the public for inspection between 8:30 a.m. and 4:30 p.m. Monday to Friday at the Brampton City Hall, Committee of Adjustment Office, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, Telephone No. (905) 874-2117 and Fax No. (905) 874-2119.

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The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:
Zoning By-law Amendment:
Minor Variance:

NO
NO
NO

File Number:
File Number:
File Number:

PLANNING ACT – PROVISIONAL CONSENT

AN APPLICATION HAS BEEN MADE BY **BRAMPTON BRAMALEA CHRISTIAN FELLOWSHIP INC.**

THIS DECISION IS SUBJECT TO THE FOLLOWING CONDITIONS: (AS AGREED TO BY THE APPLICANT(S)/AGENT(S) AT THE MEETING).

1. The Secretary-Treasurer shall have been satisfied that the following conditions have been fulfilled within one year of the mailing date noted below and the Secretary-Treasurer's Certificate under the Planning Act shall be given:
 - a. A Secretary-Treasurer's certificate fee shall be paid, in the amount current at the time of the issuance of the Secretary-Treasurer's Certificate;
 - b. Approval of the draft reference plan(s), as applicable, shall be obtained at the Committee of Adjustment office, and; the required number of prints of the resultant deposited reference plan(s) shall be received;
2. Separate water, sanitary and storm services shall be provided for each lot in accordance with the Ontario Building Code and to the satisfaction of the Chief Building Official. Should services serving one lot cross the other, the appropriate easements shall be registered prior to the completion of the severance application and issuance of the Certificate from the Secretary Treasurer;
3. That the Owner provide proof that the required access easements have been registered on title in perpetuity and that the access easements will be to the satisfaction of the City's Legal Services Division, Corporate Services Department and the Commissioner, Public Works & Engineering;
4. That arrangements satisfactory to the Region of Peel, Public Works shall be made with respect to the location of existing and installation of new services and/or possible required private service easements.

REASONS:

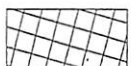
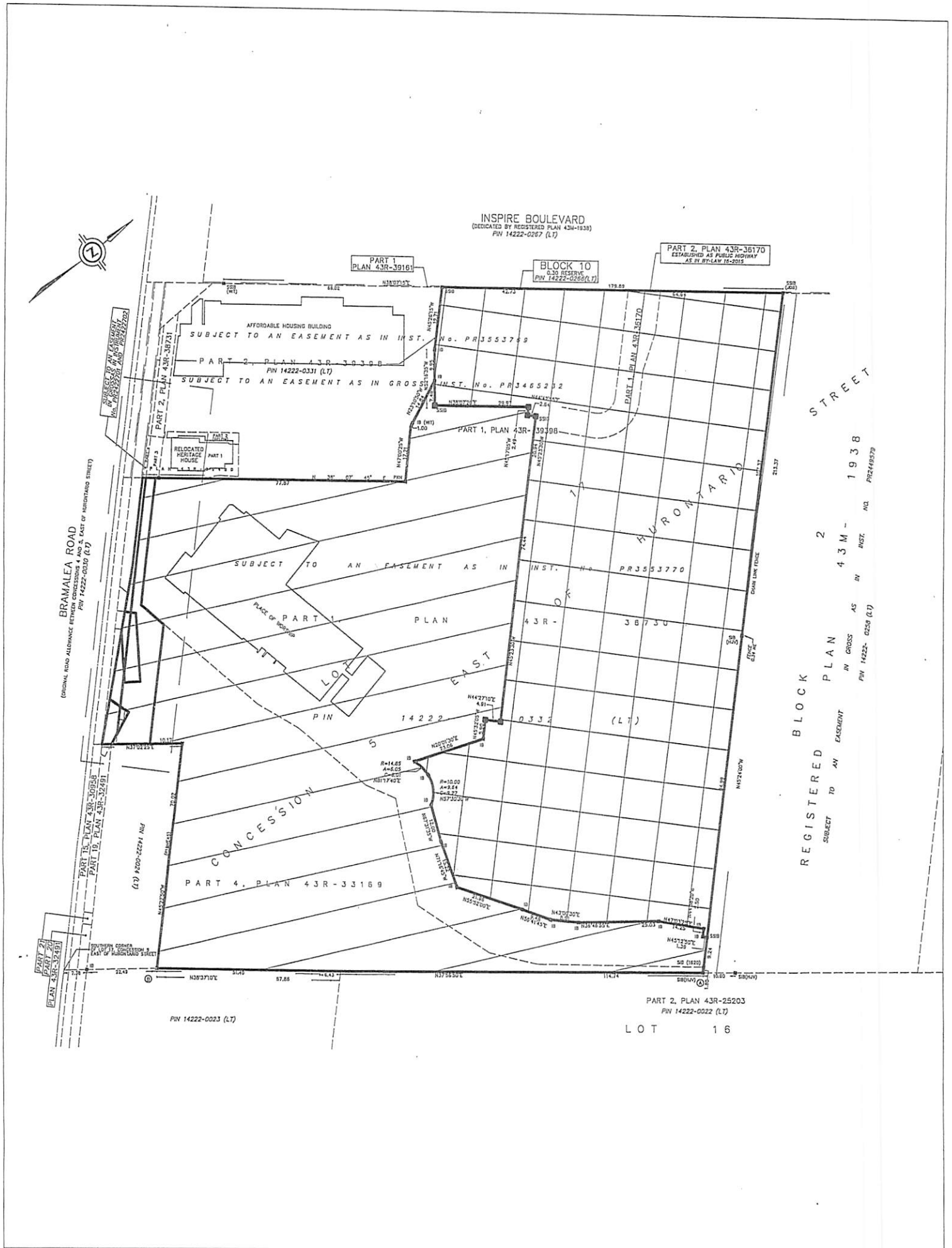
1. This decision reflects that regard has been had to those matters to be regarded under the Planning Act, in as much as the dimensions and shape of the lot are adequate for the uses proposed.
2. Subject to the imposed conditions, the consent to the conveyance will not adversely affect the existing or proposed development.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

LAST DATE FOR FILING AN APPEAL TO THE LOCAL PLANNING APPEAL TRIBUNAL
FEBRUARY 17, 2021

DATE OF MAILING JANUARY 28, 2021

Consent Sketch



Severed Land



Retained Land



PROJECT No. P-3170

(3170Sketch Oct302020)

OCT 30, 2020

DWG. No. - 20:1

PLANNING PARTNERS INC. 64 JARDIN DRIVE - UNIT 1B, CONCORD ONTARIO L4K 3P3
TEL: (905) 669-4055 FAX: (905) 669-0097 design@vimp planning.com
Planning • Design • Development



FILE NUMBER A-2020-0145

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY TIWANA PROPERTIES INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a Motor Vehicle Sales Establishment in conjunction with a permitted Motor Vehicle Repair Shop.

(107 ORENDA ROAD, UNIT 10 – PART OF LOT 4, CONCESSION 2 EHS)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: A. C. Marques

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

ANA CRISTINA MARQUES, MEMBER

ROD POWER, MEMBER

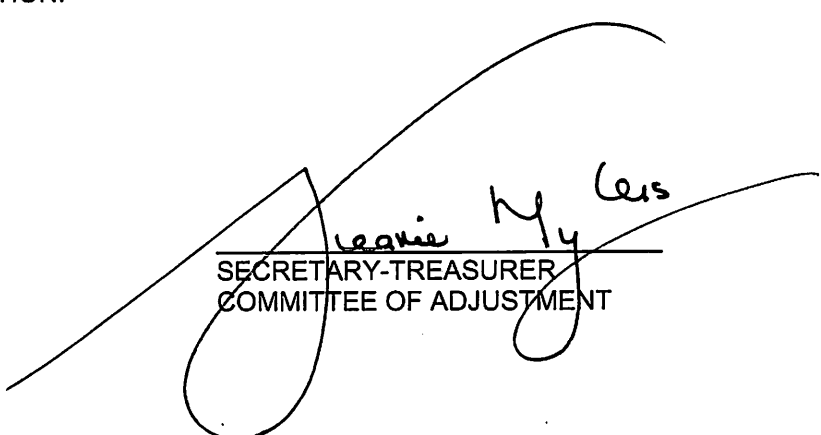
DAVID COLP, MEMBER

NOTE: MEMBER D. DOERFLER DECLARED A CONFLICT OF INTEREST

DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

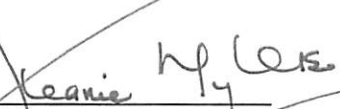
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2020-0145**

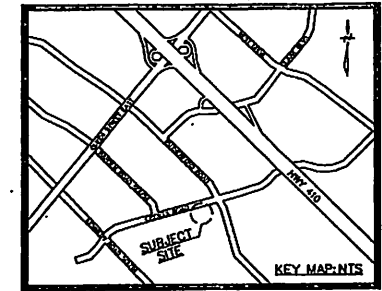
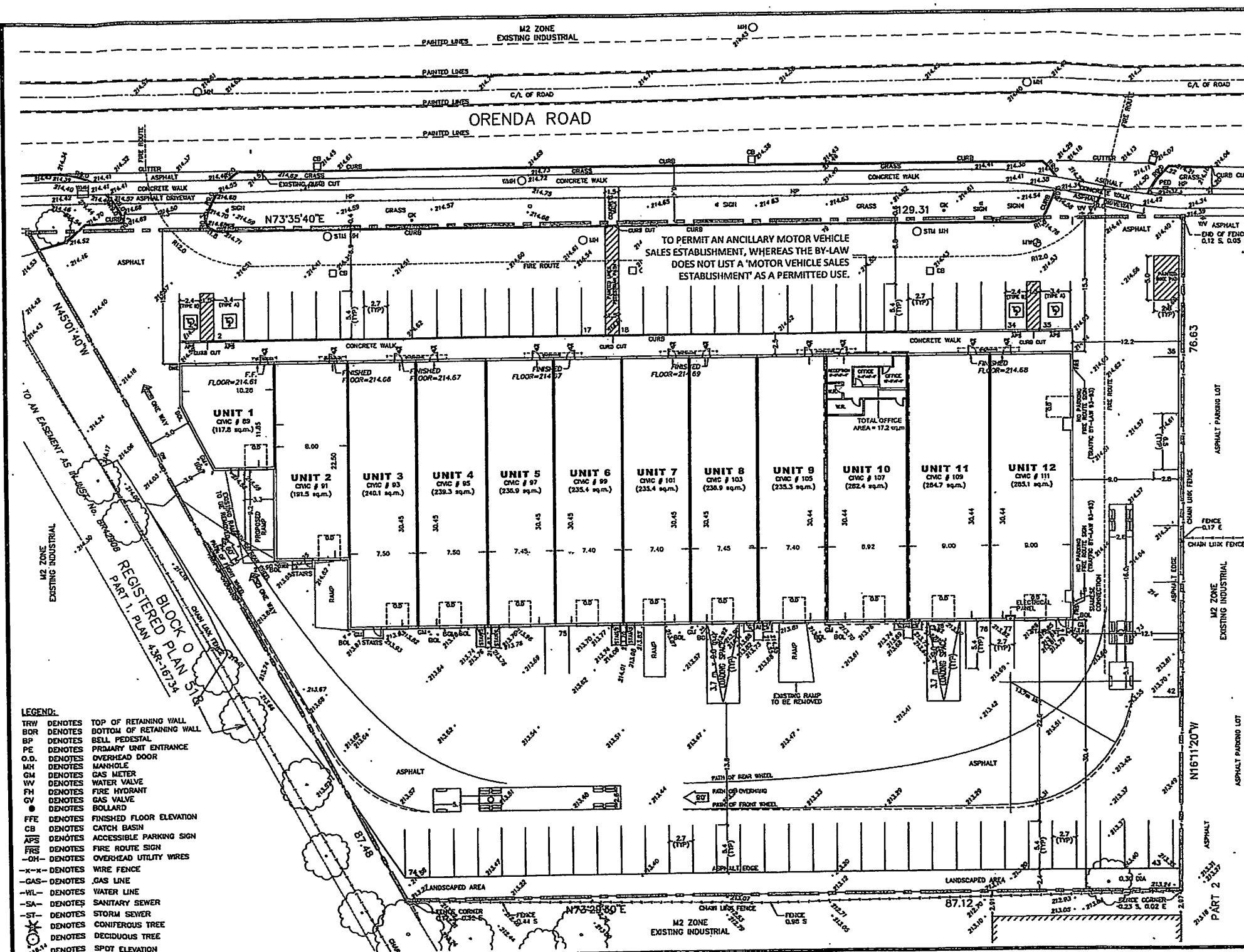
DATED: **JANUARY 26, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That no outdoor display or storage of vehicles shall be permitted on site;
3. That the Motor Vehicle Sales use shall only be permitted in conjunction with a permitted Motor Vehicle Repair use; and
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



SITE STATISTICS

TOTAL SITE AREA	= 6,302.7 sq.m. (100.0%)
TOTAL BUILDING ENVELOPE	= 2,823.6 sq.m. (34.0%)
TOTAL LANDSCAPED AREA	= 220.3 sq.m. (2.7%)
TOTAL ASPHALT AREA	= 5,258.8 sq.m. (63.3%)
TOTAL BUILDING G.F.A.	= 2,823.6 sq.m.
UNIT 10 G.F.A.	= 282.4 sq.m.
BUILDING HEIGHT	= ±5.0 m
GARAGE	= STORED INDOORS
REQUIRED PARKING	= 77 TOTAL (INC. 4 ACCESSIBLE SP.)
PROVIDED PARKING	= 77 TOTAL (INC. 4 ACCESSIBLE SP.)
REQUIRED LOADING SPACE	= 2
PROVIDED LOADING SPACE	= 2
EXISTING ZONING	= INDUSTRIAL TWO - M2
PROPOSED ZONING	= INDUSTRIAL TWO - M2
EXISTING USE OF UNIT 10	= MOTOR VEHICLE REPAIR
PROPOSED USE OF UNIT 10	= MOTOR VEHICLE REPAIR AND ANCILLARY MOTOR VEHICLE SALES
ADJACENT USE OF LAND	= SEE PLAN

LEGAL DESCRIPTION

PART OF LOT 4, CONCESSION 2
 EAST OF HURONTARIO STREET
 GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL

NOTE:
 ALL SURVEY INFORMATION PROVIDED BY SUNIL PERERA
 O.L.S. J.D.BARNES LIMITED 451 WHEELABRATOR WAY SUITE
 A, MILTON ON L9T5C1

mainline
 planning services inc.

PH (905) 893-0046 FAX (888) 370-9474
 P.O. BOX 319, KLEINBURG, ONTARIO, L0J 1C0

DRAWING TITLE
 APPLICATION FOR MINOR VARIANCE

PROJECT
 107 ORENDA ROAD, BRAMPTON

DEVELOPER/OWNER
 PHANTOM AUTOMOTIVE SERVICE INC.

DRAWN	CHECKED	SCALE	DWG. NO.
K.A.R.		1 = 400	1
DATE	ISSUED	CITY FILE NO.	PRE18.030
NOV-20			

DATE
 NOV-20

- LEGEND:**
- TRW DENOTES TOP OF RETAINING WALL
 - BOR DENOTES BOTTOM OF RETAINING WALL
 - BP DENOTES BELL PEDESTAL
 - PE DENOTES PRIMARY UNIT ENTRANCE
 - O.D. DENOTES OVERHEAD DOOR
 - MH DENOTES MANHOLE
 - GM DENOTES GAS METER
 - WV DENOTES WATER VALVE
 - FH DENOTES FIRE HYDRANT
 - GV DENOTES GAS VALVE
 - DENOTES BOLLARD
 - FFE DENOTES FINISHED FLOOR ELEVATION
 - CB DENOTES CATCH BASIN
 - APS DENOTES ACCESSIBLE PARKING SIGN
 - FRS DENOTES FIRE ROUTE SIGN
 - OH- DENOTES OVERHEAD UTILITY WIRES
 - X-X- DENOTES WIRE FENCE
 - GAS- DENOTES GAS LINE
 - WL- DENOTES WATER LINE
 - SA- DENOTES SANITARY SEWER
 - ST- DENOTES STORM SEWER
 - DENOTES CONIFEROUS TREE
 - DENOTES DECIDUOUS TREE
 - DENOTES SPOT ELEVATION



FILE NUMBER A-2020-0146

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY DEEPAK KUMAR

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an interior side yard setback of 0.96m (3.15 ft.) to a proposed second storey addition.

(14 APPLEBY DRIVE – LOT 569, PLAN 652)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: A. C. Marques

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

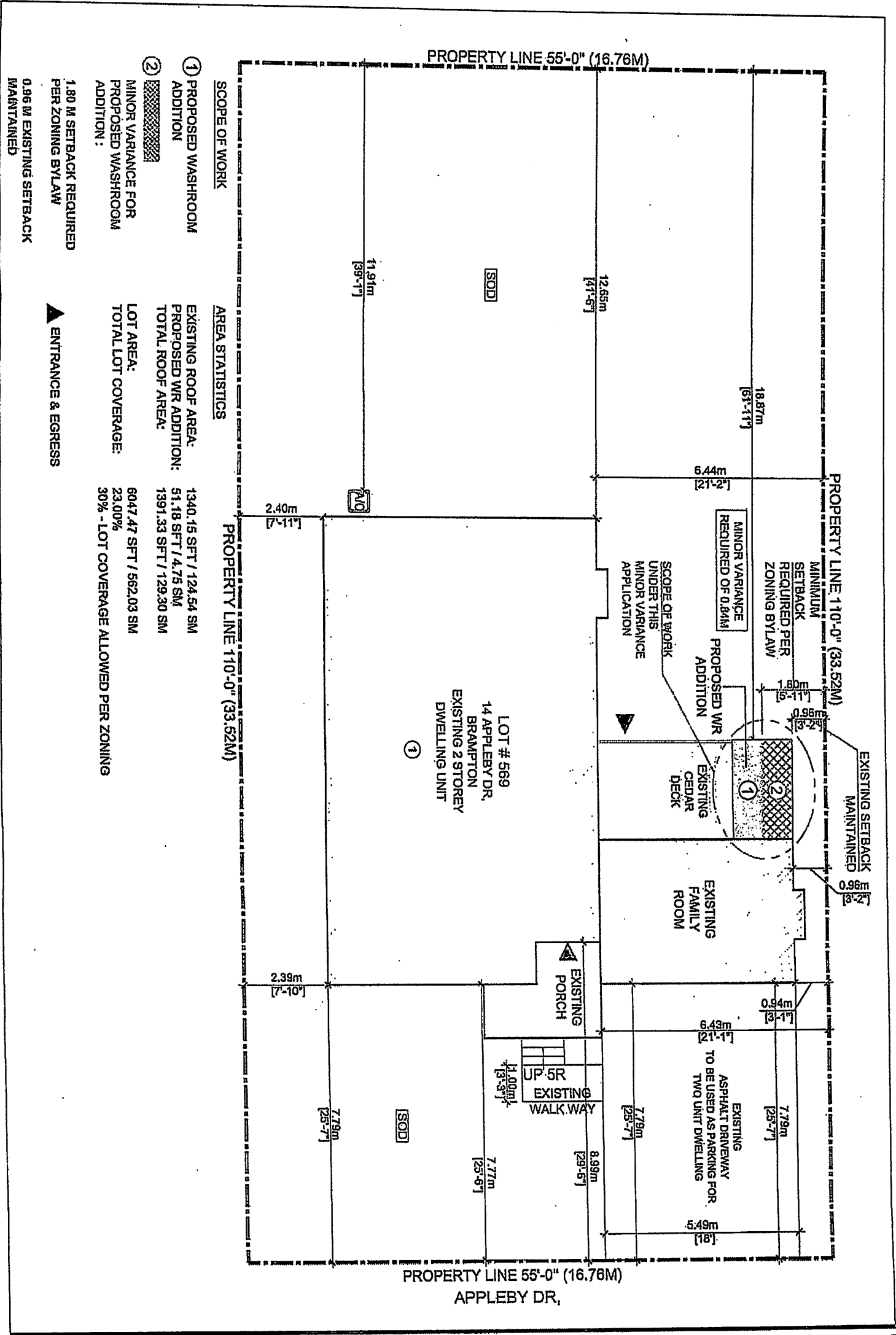
DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT



NOTED FOR CHANGES TO PLAN

REVISION: 00

cd architecture
C ARCHITECTURE
51 MARKET CRES.
DANFORTH, ONTARIO M1S 4X5
c: 416.741.5977
o: 416.741.5977
a: info@cd-arch.com

WASHROOM ADDITION

14 APPLEBY DR. BRAMPTON

SITE PLAN

SCALE: 1/8"=1'-0"
DATE: 2020.11.05
PROJECT: 20-239
DRAWING NO:

A-01



FILE NUMBER A-2020-0147

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY RAJDEEP BRAR

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an accessory structure (proposed cabana) having a gross floor area of 67.8 sq. m (729.80 sq. ft.);
2. To permit a combined gross floor area of 77 sq. m. (828.82 sq. ft.) for two accessory structures (proposed cabana and existing shed);
3. To permit an accessory structure (proposed cabana) to be used for habitable purposes (installation of washroom).

(18 LONETREE COURT – LOT 332, PLAN 43M-1714)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: A. C. Marques

SECONDED BY: D. Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

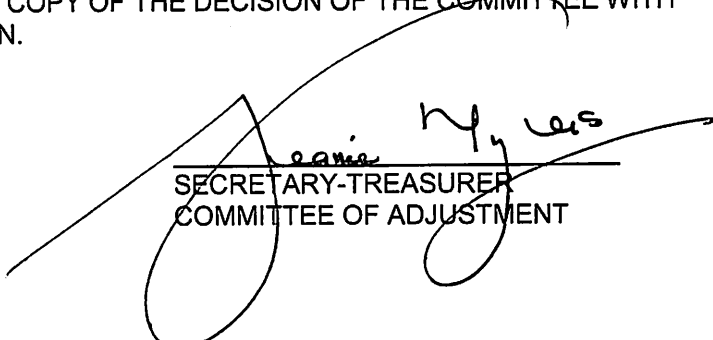
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

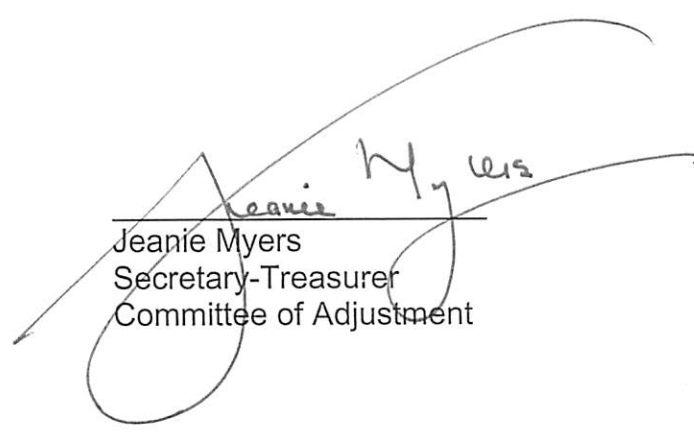
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2020-0147**

DATED: **JANUARY 26, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the applicant obtain a building permit prior to commencing construction;
3. That the accessory building shall not be used as a separate dwelling unit and that the permission for habitable space in the accessory building shall be limited to the provision of one washroom and one bar sink;
4. That the proposed cabana be of a primarily open style construction and shall not be fully enclosed;
5. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



FILE NUMBER A-2020-0148

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY HARISH CHANDRU AND AKSHATHA GUNASHEKAR

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a below grade exterior stairway in the required side yard having a setback of 0.06m (0.20 ft.) to the side lot line and where a side yard width of 0.65m (2.14 ft.) is provided on the opposite side of the dwelling.

(16 DULVERTON DRIVE – LOT 52, PLAN 43M-1812)

THE REQUEST IS HEREBY REFUSED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance is not desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law is not maintained and the variance is not minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: A. C. Marques

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

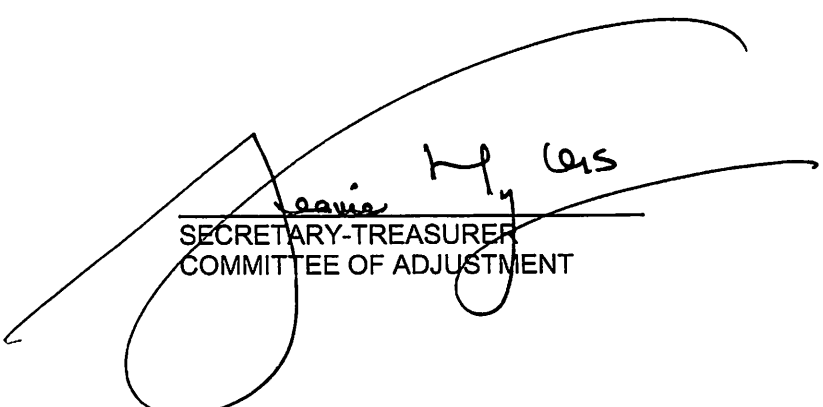
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

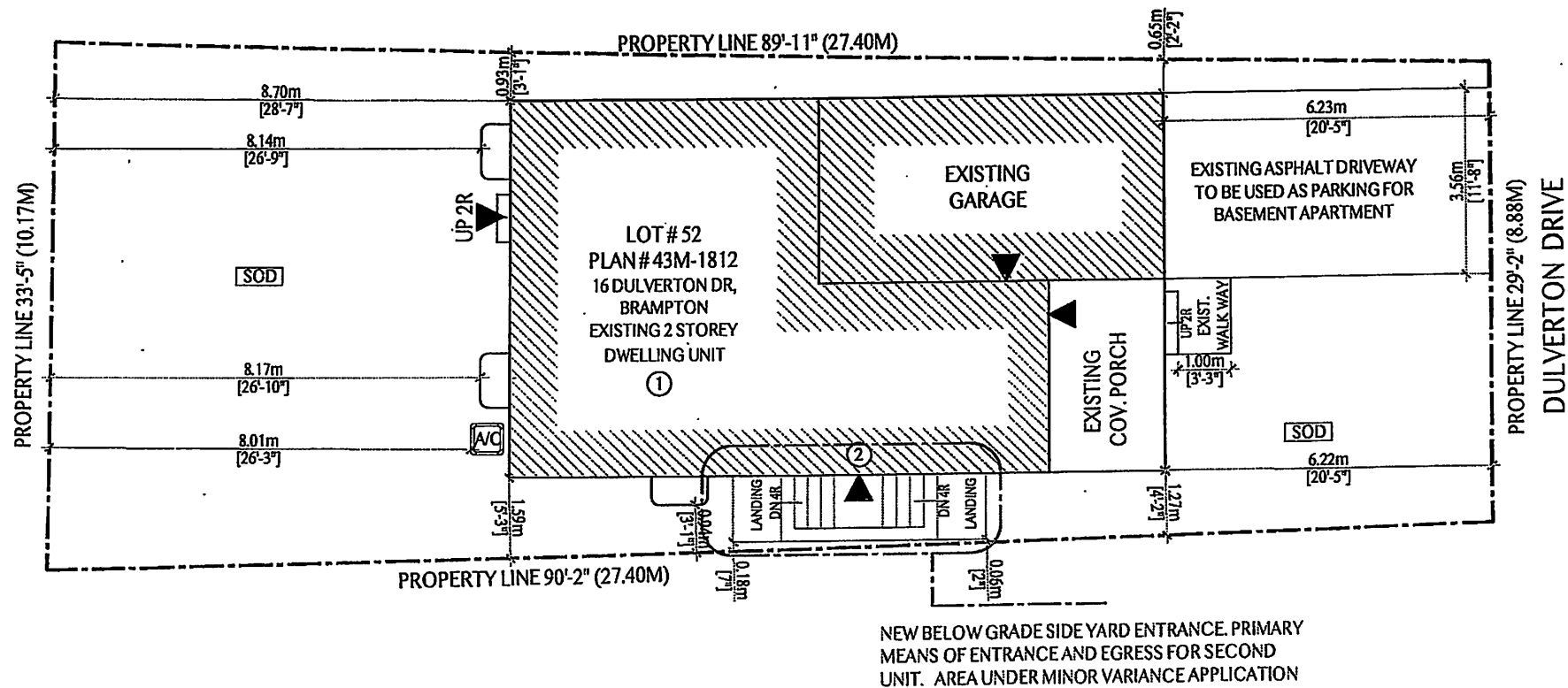
I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

RELEASED FOR BUILDING PERMIT		
CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BRAMPTON ZONING BY-LAW AND THE BRAMPTON BUILDING CODE. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BRAMPTON. THE SHOWN IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT/ENGINEER.		
No	Date	Revision/Issued
00	2020.07.25	Schematic Design
01	2020.10.01	Permit Application

Consultants
SHAFIE
 BUILDING FOR FUTURE
 Design | Construction |
 Project Management |
 Developments
 801 Ferguson Dr
 Milton, ON L9T 6L5
 m: 647.74.7441
 cshafie@icloud.com
 www.shafieinc.com



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

A - EXISTING PRINCIPAL RESIDENCE

EXISTING MAIN FLOOR AREA	= 669.81 SFT / 62.25 M ²
EXISTING SECOND FLOOR AREA	= 815.15 SFT / 75.75 M ²
TOTAL GFA	= 1484.96 SFT / 138.00 M ²

B - BASEMENT

NEW BASEMENT APARTMENT GFA	= 447.14 SFT / 41.54 M ²
PRINCIPAL RESIDENCE AREA GFA	= 0.0 SFT / 0.0 M ²
UTILITY AND FURNACE AREA	= 82.60.74 SFT / 7.67 M ²
TOTAL GFA	= 529.74 SFT / 49.21 M ²
BASEMENT APARTMENT GFA IS 35.67 % OF PRINCIPAL RESIDENCE GFA	

SCOPE OF WORK

- BASEMENT APARTMENT
- NEW BELOW GRADE SIDE YARD ENTRANCE, PRIMARY MEANS OF ENTRANCE AND EGRESS FOR SECOND UNIT AREA UNDER THIS MINOR VARIANCE APPLICATION

▲ ENTRANCE & EGRESS

BASEMENT APARTMENT

16 Dulverton Dr,
 Brampton

SITE PLAN

scale: $\frac{1}{8}'' = 1'-0''$
 date: 2020.10.01
 project: 20-180
 drawing number:

A-01

Revision: 00



FILE NUMBER A-2020-0150

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY REETIKA SAINI AND SANMEET SINGH SIDHU

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a proposed below grade entrance in the required exterior side yard having a setback of 2.9m (9.51 ft.) and located between the main wall of a dwelling and a flankage lot line.

(13 DUNEGRASS WAY – LOT 168, PLAN 43M-1713)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

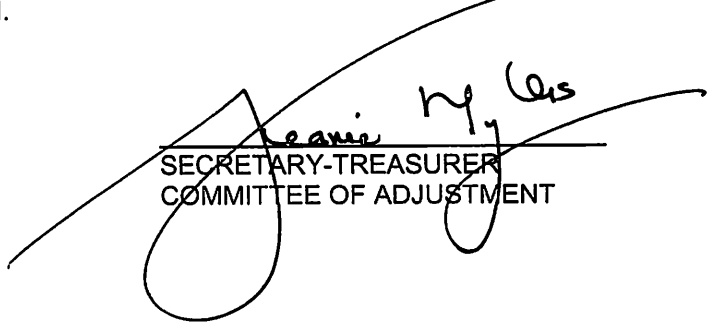
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

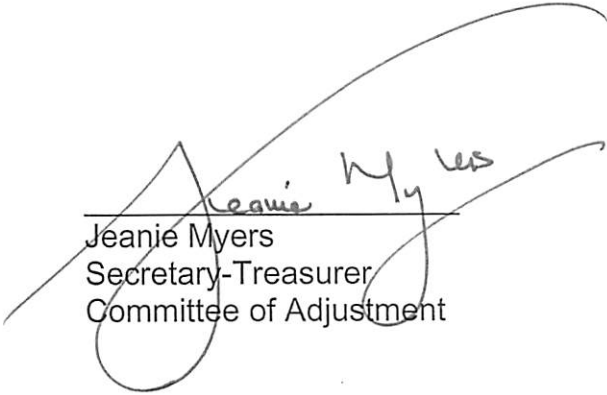
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2020-0150**

DATED: **JANUARY 26, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the below grade entrance shall not be used to access an unregistered second unit;
3. That the fence remain constructed in its current location and height and shall not be removed or lowered; and
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

The site plan for 13 DuneGrass Way, Brampton, shows a property bounded by DuneGrass Way to the north, Hawkridge Trail to the east, and an unnamed property line to the south. The property is divided into several areas:

- Front Yard Grass:** Located at the north end of the property, measuring 20'-4" (6.2M) in width.
- Driveway:** A paved area measuring 21'-6" (6.6M) in width, leading to the garage.
- Garage:** A structure measuring 23'-6" in width, located to the west of the main house.
- Main Entrance:** Indicated by a line pointing to the front of the house.
- Porch:** A small area adjacent to the main entrance.
- House:** The main structure, labeled "13 DUNEGRASS WAY, BRAMPTON, LOT # 168, PLAM # M-1713".
- Rear Yard Grass:** Located at the south end of the property, measuring 23'-0" (7.0M) in width.
- Proposed Below Grade Entrance:** Indicated by a line pointing to a structure labeled "DN" (down) in the rear yard.

Dimensions for the rear yard are also provided: 23'-0" (7.0M) in width and 23'-0" (7.0M) in length. The overall width of the property is 4'-2" (1.3M).

BRAMPTON		NK	EXPEDITE	TR
PROJECT NUMBER		20R-22058		
<p align="center">NOBLE ELITE SOLUTIONS LTD 249-2130 NORTH PARK DR BRAMPTON, ON L6S 0C9 (437) 888 1800 (905) 782 5261</p>				
DATE:		DEC 02/20	EXPIRATION:	A - 1
ADDRESS:		<p align="center">13 DUNEGRASS WAY BRAMPTON, ON</p>		
01	ISSUED FOR PERMIT	DEC 2/19		



FILE NUMBER A-2020-0151

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY SANDEEP SINGH AND MANDEEP KAUR

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a proposed below grade entrance to be located between the main wall of a dwelling and a flankage lot line.

(88 LINKDALE ROAD – LOT 73, PLAN 970)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

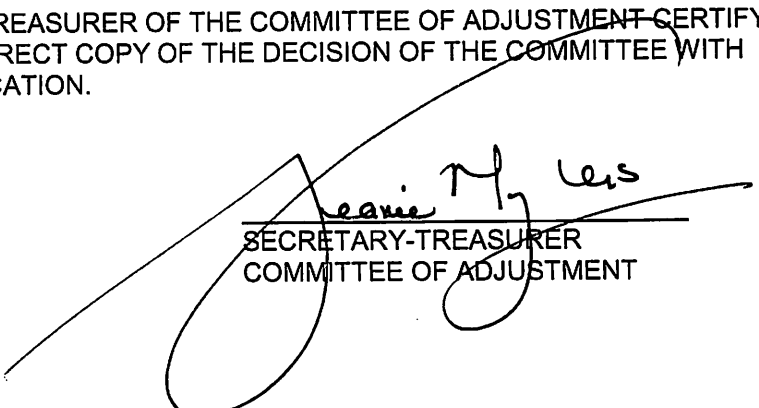
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

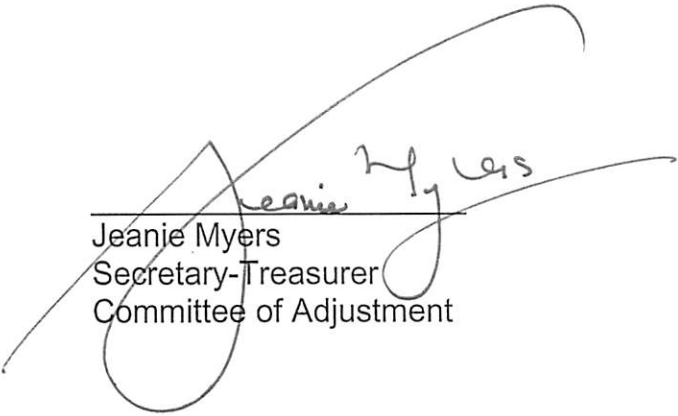
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2020-0151**

DATED: **JANUARY 26, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the below grade entrance shall not be used to access an unregistered second unit;
3. That the fence remain constructed in its current location and height and shall not be removed or lowered;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

PROPERTY LINE

34'-1" [10.4M]

34'-1" [10.4M]

PROPOSED BELOW GRADE ENTRANCE

16'-1" [5.2M]

CENTRE STREET NORTH

REAR YARD GRASS

PLAN M 970 LOT 73 / 88 LINKDALE RD / 2 STOREY DETACHED HOUSE

6'-6" [2.0M]

6'-6" [2.0M]

PORCH

MAIN ENTRANCE

FRONT YARD GRASS

GARAGE

ASPHALT DRIVEWAY

22'-1" [6.7M]

LINKDALE RD

01	ISSUED FOR PERMIT	DEC 03/20

ADDRESS:
88 LINKDALE RD,
BRAMPTON, ON.

01 ISSUED FOR PERMIT	DEC 03/20

DRAWN BY: NK	CHECKED BY: TR
PROJECT NUMBER: 20R-22103	

PROJECT NUMBER:
20R-22103

**2131 WILLIAMS PARKWAY
BRAMPTON ON
UNIT 19
(437) 888 1800**



FILE NUMBER A-2020-0152

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY BHARAT KUMAR CHAVDA AND SUPRIYA CHAVDA

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a 3.9m (12.8 ft.) setback to a proposed below grade stairway in the required front yard.

(3 ALLEGRO DRIVE – LOT 70, PLAN 43M-1944)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

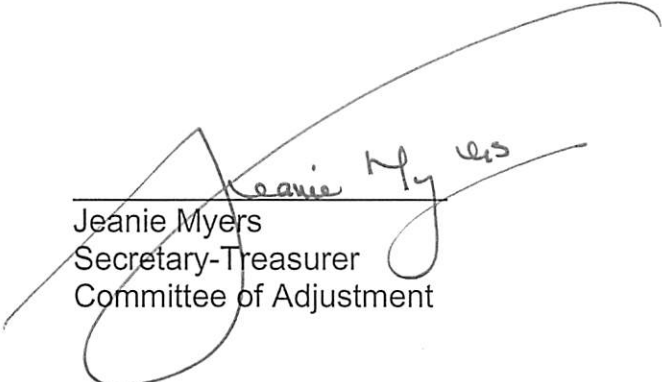
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2020-0152**

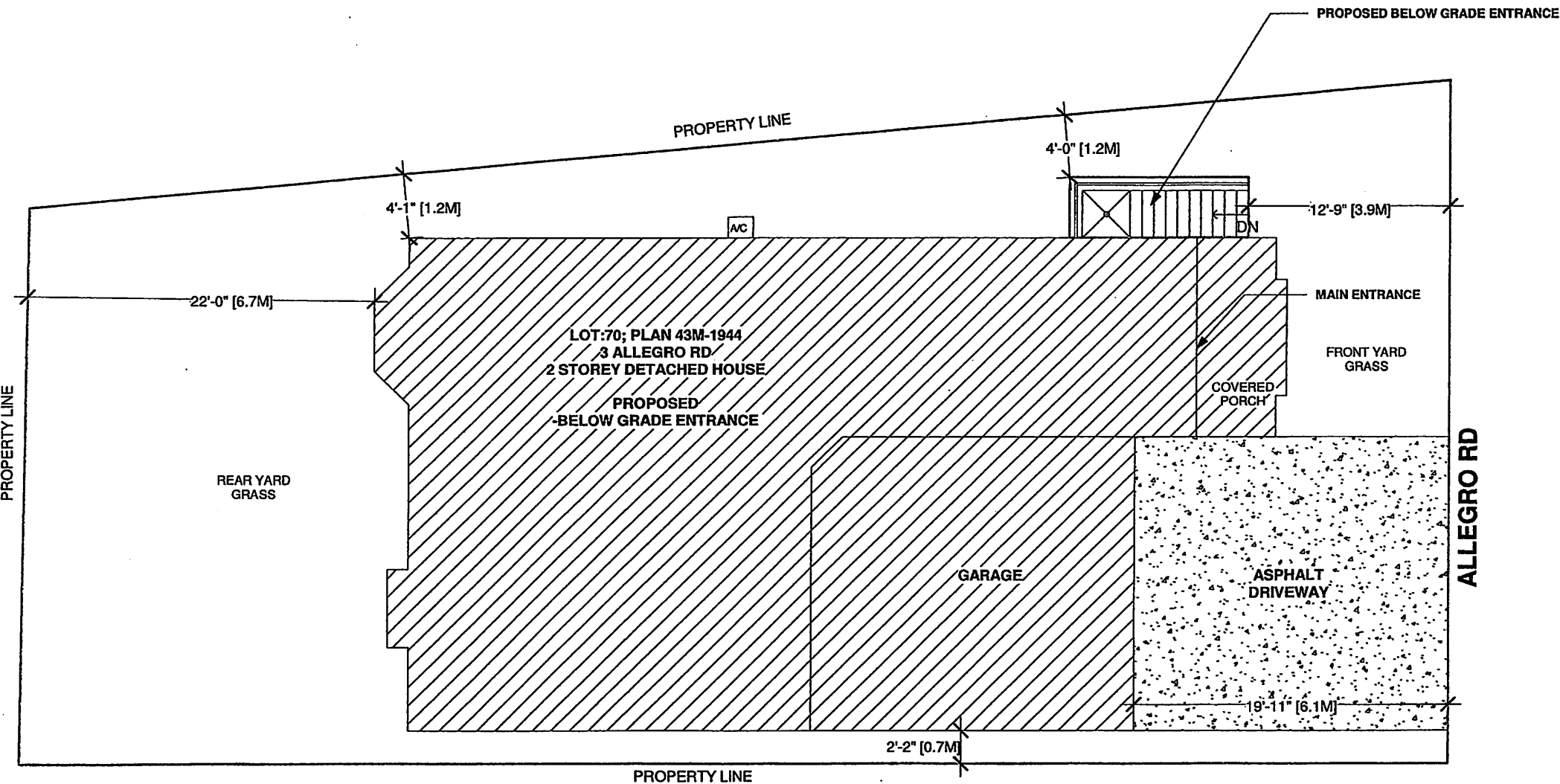
DATED: **JANUARY 26, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the below grade entrance shall not be used to access an unregistered second unit;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

**MINOR VARIANCE
TO PERMIT MINIMUM FRONT YARD
SETBACK FOR THE BELOW GRADE
ENTRANCE TO BE 3.9M INSTEAD OF 4.5M**



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

01 ISSUED FOR PERMIT DEC 03/20

ADDRESS:
3 ALLEGRO RD,
BRAMPTON, ON.

DRAWN BY: NK CHECKED BY: TR
PROJECT NUMBER: 20R-21995

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PKWY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800
(647) 207 5470

DATE: DEC 03/20
SCALE: A-1

SITE PLAN



FILE NUMBER A-2020-0154

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY 10179469 CANADA INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit outdoor storage of trucks and truck trailers for a temporary period of three (3) years.

(73 SUN PAC BOULEVARD – PART OF BLOCK 2, PLAN-863, PARTS 1, 2, PLAN 43R-16301)

**THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)**

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

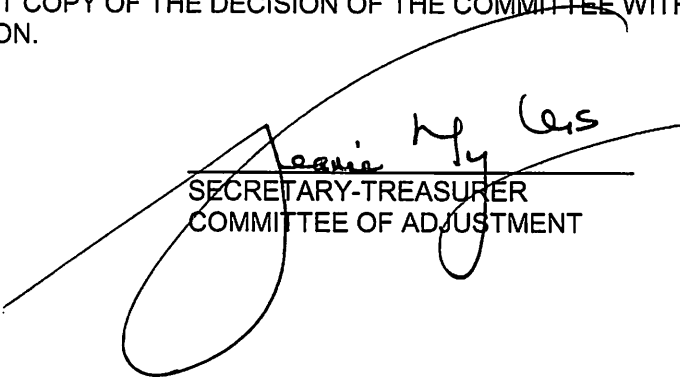
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

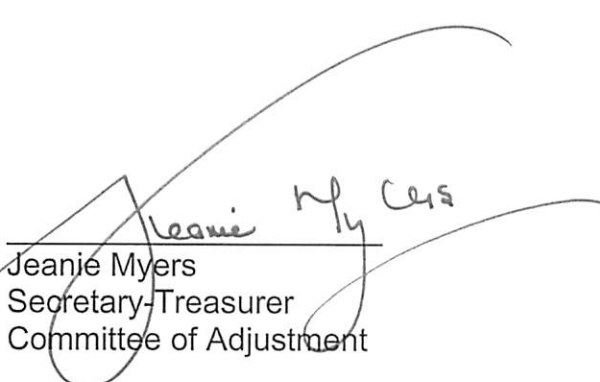
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

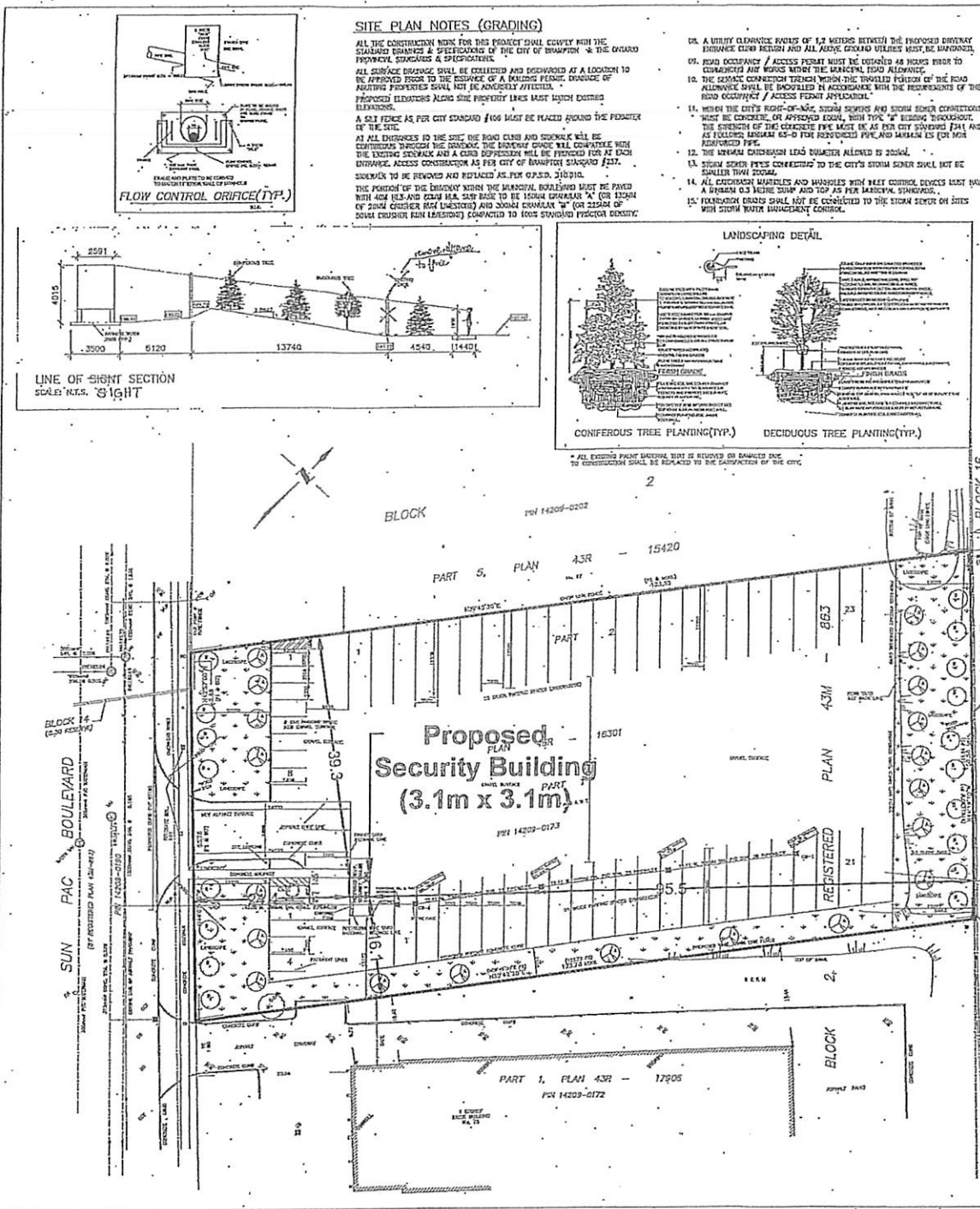
APPLICATION NO: **A-2020-0154**

DATED: **JANUARY 26, 2021**

Conditions:

1. That the variance be approved for a maximum temporary period of two (2) years from the final date of the Committee's decision;
2. That the applicant shall submit a limited/amending site plan, and have that site plan approved prior to the establishment of the use;
3. That the property shall be maintained in accordance with the approved site plan, including but not limited to the truck/trailer vehicle parking configuration, for the duration of the temporary approval period, with the exception of landscape works which are to be completed no later than July 1, 2021, to the satisfaction of the Director of Development Services;
4. That any signage not associated with a business operating from the property shall not be permitted;
5. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
6. That the applicant shall submit, and hold a pre-consultation meeting with the City within 18 months of the final date of the decision of the Committee to advance a proposal for the permanent development of the property, to the satisfaction of the Director of Development Services;
7. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



SITE PLAN NOTES (GRADING)

ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD ZONING & SUBDIVISION ACT OF THE CITY OF BRAMPTON & THE ONTARIO PROVINCIAL GRADING & DRAINAGE ACT.

ALL SURFACE DRAINAGE SHALL BE COLLECTED AND DISCHARGED AT A LOCATION TO THE APPROVED FRONT TO THE REAR OF A BUILDING. DRAINAGE OF ADJACENT PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.

PROPOSED ELEVATIONS ALONG SIDE PROPERTY LINES MUST MATCH EXISTING ELEVATIONS.

A 5% FENCE AS PER CITY STANDARD #106 MUST BE PLACED AROUND THE PERIMETER OF THE SITE.

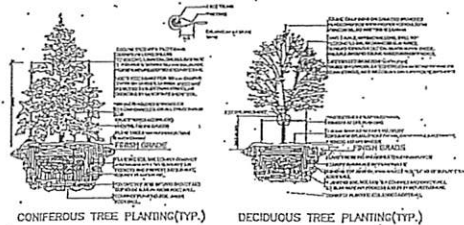
AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SPACED SHALL BE CONTINUED THROUGH THE BUILDING. THE BUILDING CURB SHALL COMPLY WITH THE EXISTING STANDARD AND A CURB DEPRESSION SHALL BE PROVIDED FOR AT EACH ENTRANCE. ACCESS CONSTRUCTION AS PER CITY OF BRAMPTON STANDARD #227.

SIDEWALK TO BE REMOVED AND REPLACED AS PER CP239, 210910.

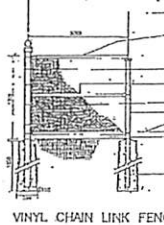
THE PORTION OF THE DRIVEWAY NEAR THE MAINWAY BUILDING MUST BE FINED WITH 40% H.S. AND 60% G.S. TO BE 150MM GRAVEL "A" (ON 150MM OF 20MM CRUSHER RUN LANTON) AND 300MM GRAVEL "B" (ON 250MM OF 20MM CRUSHER RUN LANTON) COMPACTED TO 100% STANDARD PROCTOR DENSITY.

1. A UTILITY CLEARANCE WIDTH OF 1.2 METERS BETWEEN THE PROPOSED DRIVEWAY ENTRANCE CURB RETURN AND ALL ADJACENT UTILITIES MUST BE MAINTAINED.
2. ROAD OCCUPANCY / ACCESS POINT MUST BE MAINTAINED AS HOURS NEAR TO CORNERED AND MUST WITHIN THE MAINWAY ROAD ALLOWANCE.
3. THE 200MM CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ROAD OCCUPANCY / ACCESS POINT APPLICATION.
4. WHEN THE CITY'S RIGHT-OF-WAY, STORM SEWERS AND STORM SEWER CONNECTIONS MUST BE CONSIDERED, OR APPROVED EDDM, WITH TYPE "A" TRENCH THROUGHOUT.
5. THE EXISTING CONCRETE PIPE MUST BE AS PER CITY STANDARD #241 AND AS FOLLOWS: 150MM 65-D FOR 150MM PIPE AND 150MM 65-D FOR 150MM PIPE.
6. THE EXISTING CONCRETE PIPE MUST BE AS PER CITY STANDARD #241 AND AS FOLLOWS: 150MM 65-D FOR 150MM PIPE AND 150MM 65-D FOR 150MM PIPE.
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14. ALL EXISTING MANHOLES AND MANHOLES WITH INLET CONTROL DEVICES MUST HAVE A MINIMUM 0.3 METER DEPTH AND TOP AS PER MANHOLE STANDARD.
15. EXISTING DRAINAGE SHALL NOT BE CONNECTED TO THE STORM SEWER ON SITES WITH STORM WATER MANAGEMENT CONTROL.

LANDSCAPING DETAIL



VINYL CHAIN LINK FENCE (TYP.)



COMPREHENSIVE SCHEDULE

GRASS LOT AREA	= 721.174 SQ.M.
BRICK CONCRETE AND FLOOR AREA (TOTAL)	= 33.790 M.
LANDSCAPED AREA	= 1709.74 SQ.M.
GRAVEL AREA	= 3278.80 SQ.M.
ASPHALT AREA	= 223.20 SQ.M.
PARKING PROVIDED	:
(1) FOR CAR ACCESSIBLE	= 1NO.
(2) FOR CAR	= 13 NOS.
(3) FOR TRUCK	= 4NOS.

PLANT LIST

PLANT LIST	QTY.
AMERICAN SPRUCE CONIFEROUS TREE (10M. HEIGHT)	20
RED OAK DECIDUOUS TREE (10M. HEIGHT)	19

SITE DATA

OWNER: [Name]
PROJECT: [Name]
DATE: [Date]
SCALE: [Scale]
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

ENTRANCE DETAIL

THE ENTRANCE DETAIL SHOWS THE PROPOSED ENTRANCE TO THE BUILDING. IT INCLUDES THE PROPOSED ENTRANCE CURB, THE PROPOSED ENTRANCE DRIVEWAY, AND THE PROPOSED ENTRANCE SIDEWALK. THE DETAIL ALSO SHOWS THE PROPOSED ENTRANCE FENCE AND THE PROPOSED ENTRANCE LANDSCAPING.

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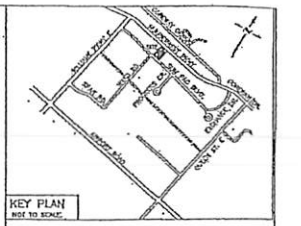
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KEY PLAN

PLAN OF HIGHWAY OF
PART OF BLOCK 2
REGISTERED PLAN 43M-561
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE: 1:1000

TAKESHI WAKABAYASHI LIMITED
DESIGNED LAND SURVEYORS

© COPYRIGHT 2010

REVISIONS

No.	Date	Revisions	D'w'd.	Ch'd.
1	12/10/20	REVISIONS	SWP	BAE
2	12/10/20	REVISIONS	SWP	BAE
3	12/10/20	REVISIONS	SWP	BAE
4	12/10/20	REVISIONS	SWP	BAE
5	12/10/20	REVISIONS	SWP	BAE
6	12/10/20	REVISIONS	SWP	BAE
7	12/10/20	REVISIONS	SWP	BAE
8	12/10/20	REVISIONS	SWP	BAE
9	12/10/20	REVISIONS	SWP	BAE
10	12/10/20	REVISIONS	SWP	BAE

DO NOT SCALE DRAWINGS

1. DIMENSIONS MUST BE USED AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND NOTES IN THE DRAWING AND REPORT ANY DISCREPANCIES TO THE DESIGNER/ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.

2. THESE PLANS ARE TO BE USED AS A GUIDE ONLY. THE DESIGNER/ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND NOTES IN THE DRAWING AND REPORT ANY DISCREPANCIES TO THE DESIGNER/ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.

3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF BRAMPTON ZONING BY-LAW.

DESIGN FINE LTD.

18 HORTON ROAD, SUITE 101
BRAMPTON, ONTARIO L6Y 4R4
TEL: 905-874-1111
WWW.DESIGNFINE.COM

CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
ON 12/10/20
BY JIM MCCOLL

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 8 2020
BY JIM MCCOLL

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 8 2020
BY JIM MCCOLL

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
DEC 8 2020
BY JIM MCCOLL



FILE NUMBER A-2020-0156

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY SHAILISH PATEL AND PRANALIKA PATEL

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a rear yard setback of 4.79m (15.72 ft.) to a proposed building addition.

(123 LEADERSHIP DRIVE – LOT 26, PLAN 43M-1899)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

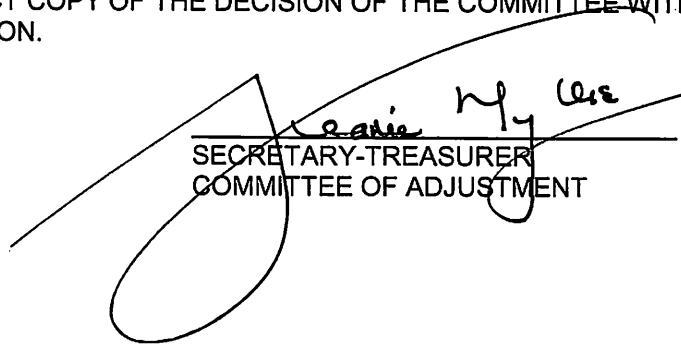
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT



FILE NUMBER A-2020-0159

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY TAKOL CMCC RUTHERFORD GP INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To provide 183 parking spaces on site.

(286 RUTHERFORD ROAD SOUTH – PART LOTS 1 AND 2, CONC. 2 EHS, PARTS 9 TO 16, PLAN 43R-795)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: A. C. Marques

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

ANA CRISTINA MARQUES, MEMBER

ROD POWER, MEMBER

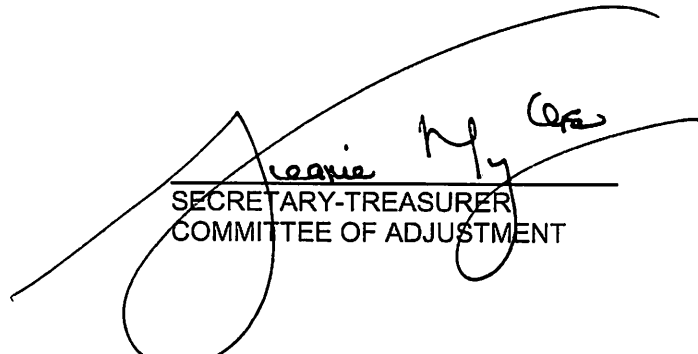
DAVID COLP, MEMBER

NOTE: MEMBER D. DOERFLER DECLARED A CONFLICT OF INTEREST

DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

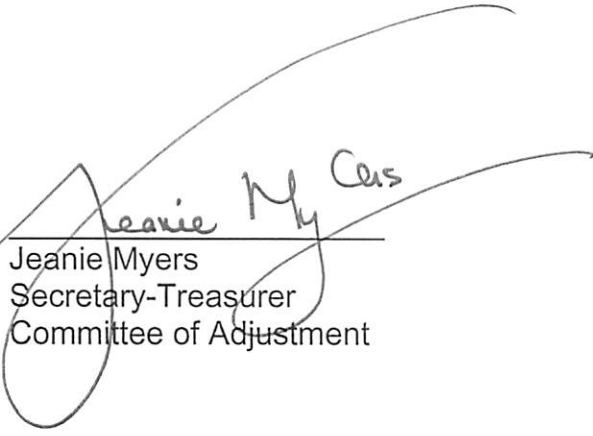
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2020-0159**

DATED: **JANUARY 26, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the requirement for parking for any combination of uses permitted in the "M2" zone, and any used permitted by way of Minor Variance shall be calculated at the application parking rate in accordance with the Zoning By-law and shall not exceed 334 parking spaces;
3. That the owner finalize site plan approval under City File SPA-2020-0120, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

- LEGEND:
- IB DENOTES IRON BAR
 - AP DENOTES ACCESSIBLE PARKING SIGN (SEE DETAIL A)
 - CC DENOTES CUT CROSS
 - PE DENOTES PRIMARY UNIT ENTRANCE
 - OD DENOTES OVERHEAD DOOR
 - UP DENOTES UTILITY POLE
 - S DENOTES SIGN
 - GW DENOTES GUY WIRE
 - BP DENOTES BELL PEDISTAL
 - MH DENOTES MANHOLE
 - GM DENOTES GAS METER
 - WV DENOTES WATER VALVE
 - CV DENOTES CULVERT
 - PH DENOTES FIRE HYDRANT
 - GV DENOTES GAS VALVE
 - TBR DENOTES EXISTING TREE TO BE REMOVED (SEE LANDSCAPE PLAN)
 - BH DENOTES BORE HOLE / MONITORING WELL
 - BO DENOTES BOLLARD
 - FTE DENOTES FINISHED FLOOR ELEVATION
 - GSE DENOTES GARAGE SLAB ELEVATION
 - CB DENOTES CATCH BASIN
 - OH DENOTES OVERHEAD UTILITY WIRES
 - XX DENOTES WIRE FENCE
 - DENOTES DECIDUOUS TREE
 - DENOTES CONIFEROUS TREE
 - DENOTES SPOT ELEVATION



TYPE A - VAN ACCESSIBLE

For 2000-2004 vehicles

Minimum 20' x 8'0" (6.1m x 2.4m)

For 2005-2009 vehicles

Minimum 20' x 8'6" (6.1m x 2.6m)

For 2010-2014 vehicles

Minimum 20' x 9'0" (6.1m x 2.7m)

For 2015-2019 vehicles

Minimum 20' x 9'6" (6.1m x 2.9m)

For 2020-2024 vehicles

Minimum 20' x 10'0" (6.1m x 3.0m)

For 2025-2029 vehicles

Minimum 20' x 10'6" (6.1m x 3.2m)

For 2030-2034 vehicles

Minimum 20' x 11'0" (6.1m x 3.3m)

For 2035-2039 vehicles

Minimum 20' x 11'6" (6.1m x 3.5m)

For 2040-2044 vehicles

Minimum 20' x 12'0" (6.1m x 3.7m)

For 2045-2049 vehicles

Minimum 20' x 12'6" (6.1m x 3.9m)

For 2050-2054 vehicles

Minimum 20' x 13'0" (6.1m x 4.0m)

For 2055-2059 vehicles

Minimum 20' x 13'6" (6.1m x 4.2m)

For 2060-2064 vehicles

Minimum 20' x 14'0" (6.1m x 4.3m)

For 2065-2069 vehicles

Minimum 20' x 14'6" (6.1m x 4.5m)

For 2070-2074 vehicles

Minimum 20' x 15'0" (6.1m x 4.6m)

For 2075-2079 vehicles

Minimum 20' x 15'6" (6.1m x 4.8m)

For 2080-2084 vehicles

Minimum 20' x 16'0" (6.1m x 4.9m)

For 2085-2089 vehicles

Minimum 20' x 16'6" (6.1m x 5.1m)

For 2090-2094 vehicles

Minimum 20' x 17'0" (6.1m x 5.2m)

For 2095-2099 vehicles

Minimum 20' x 17'6" (6.1m x 5.4m)

For 2100-2104 vehicles

Minimum 20' x 18'0" (6.1m x 5.5m)

For 2105-2109 vehicles

Minimum 20' x 18'6" (6.1m x 5.7m)

For 2110-2114 vehicles

Minimum 20' x 19'0" (6.1m x 5.8m)

For 2115-2119 vehicles

Minimum 20' x 19'6" (6.1m x 6.0m)

For 2120-2124 vehicles

Minimum 20' x 20'0" (6.1m x 6.1m)

For 2125-2129 vehicles

Minimum 20' x 20'6" (6.1m x 6.3m)

For 2130-2134 vehicles

Minimum 20' x 21'0" (6.1m x 6.4m)

For 2135-2139 vehicles

Minimum 20' x 21'6" (6.1m x 6.6m)

For 2140-2144 vehicles

Minimum 20' x 22'0" (6.1m x 6.7m)

For 2145-2149 vehicles

Minimum 20' x 22'6" (6.1m x 6.9m)

For 2150-2154 vehicles

Minimum 20' x 23'0" (6.1m x 7.0m)

For 2155-2159 vehicles

Minimum 20' x 23'6" (6.1m x 7.2m)

For 2160-2164 vehicles

Minimum 20' x 24'0" (6.1m x 7.3m)

For 2165-2169 vehicles

Minimum 20' x 24'6" (6.1m x 7.5m)

For 2170-2174 vehicles

Minimum 20' x 25'0" (6.1m x 7.6m)

For 2175-2179 vehicles

Minimum 20' x 25'6" (6.1m x 7.8m)

For 2180-2184 vehicles

Minimum 20' x 26'0" (6.1m x 7.9m)

For 2185-2189 vehicles

Minimum 20' x 26'6" (6.1m x 8.1m)

For 2190-2194 vehicles

Minimum 20' x 27'0" (6.1m x 8.2m)

For 2195-2199 vehicles

Minimum 20' x 27'6" (6.1m x 8.4m)

For 2200-2204 vehicles

Minimum 20' x 28'0" (6.1m x 8.5m)

For 2205-2209 vehicles

Minimum 20' x 28'6" (6.1m x 8.7m)

For 2210-2214 vehicles

Minimum 20' x 29'0" (6.1m x 8.8m)

For 2215-2219 vehicles

Minimum 20' x 29'6" (6.1m x 9.0m)

For 2220-2224 vehicles

Minimum 20' x 30'0" (6.1m x 9.1m)

For 2225-2229 vehicles

Minimum 20' x 30'6" (6.1m x 9.3m)

For 2230-2234 vehicles

Minimum 20' x 31'0" (6.1m x 9.4m)

For 2235-2239 vehicles

Minimum 20' x 31'6" (6.1m x 9.6m)

For 2240-2244 vehicles

Minimum 20' x 32'0" (6.1m x 9.7m)

For 2245-2249 vehicles

Minimum 20' x 32'6" (6.1m x 9.9m)

For 2250-2254 vehicles

Minimum 20' x 33'0" (6.1m x 10.0m)

For 2255-2259 vehicles

Minimum 20' x 33'6" (6.1m x 10.2m)

For 2260-2264 vehicles

Minimum 20' x 34'0" (6.1m x 10.3m)

For 2265-2269 vehicles

Minimum 20' x 34'6" (6.1m x 10.5m)

For 2270-2274 vehicles

Minimum 20' x 35'0" (6.1m x 10.6m)

For 2275-2279 vehicles

Minimum 20' x 35'6" (6.1m x 10.8m)

For 2280-2284 vehicles

Minimum 20' x 36'0" (6.1m x 10.9m)

For 2285-2289 vehicles

Minimum 20' x 36'6" (6.1m x 11.1m)

For 2290-2294 vehicles

Minimum 20' x 37'0" (6.1m x 11.2m)

For 2295-2299 vehicles

Minimum 20' x 37'6" (6.1m x 11.4m)

For 2300-2304 vehicles

Minimum 20' x 38'0" (6.1m x 11.5m)

For 2305-2309 vehicles

Minimum 20' x 38'6" (6.1m x 11.7m)

For 2310-2314 vehicles

Minimum 20' x 39'0" (6.1m x 11.8m)

For 2315-2319 vehicles

Minimum 20' x 39'6" (6.1m x 12.0m)

For 2320-2324 vehicles

Minimum 20' x 40'0" (6.1m x 12.1m)

For 2325-2329 vehicles

Minimum 20' x 40'6" (6.1m x 12.3m)

For 2330-2334 vehicles

Minimum 20' x 41'0" (6.1m x 12.4m)

For 2335-2339 vehicles

Minimum 20' x 41'6" (6.1m x 12.6m)

For 2340-2344 vehicles

Minimum 20' x 42'0" (6.1m x 12.7m)

For 2345-2349 vehicles

Minimum 20' x 42'6" (6.1m x 12.9m)

For 2350-2354 vehicles

Minimum 20' x 43'0" (6.1m x 13.0m)

For 2355-2359 vehicles

Minimum 20' x 43'6" (6.1m x 13.2m)

For 2360-2364 vehicles

Minimum 20' x 44'0" (6.1m x 13.3m)

For 2365-2369 vehicles

Minimum 20' x 44'6" (6.1m x 13.5m)

For 2370-2374 vehicles

Minimum 20' x 45'0" (6.1m x 13.6m)

For 2375-2379 vehicles

Minimum 20' x 45'6" (6.1m x 13.8m)

For 2380-2384 vehicles

Minimum 20' x 46'0" (6.1m x 13.9m)

For 2385-2389 vehicles

Minimum 20' x 46'6" (6.1m x 14.1m)

For 2390-2394 vehicles

Minimum 20' x 47'0" (6.1m x 14.2m)

For 2395-2399 vehicles

Minimum 20' x 47'6" (6.1m x 14.4m)

For 2400-2404 vehicles

Minimum 20' x 48'0" (6.1m x 14.5m)

For 2405-2409 vehicles

Minimum 20' x 48'6" (6.1m x 14.7m)

For 2410-2414 vehicles

Minimum 20' x 49'0" (6.1m x 14.8m)

For 2415-2419 vehicles

Minimum 20' x 49'6" (6.1m x 15.0m)

For 2420-2424 vehicles

Minimum 20' x 50'0" (6.1m x 15.1m)

For 2425-2429 vehicles

Minimum 20' x 50'6" (6.1m x 15.3m)

For 2430-2434 vehicles

Minimum 20' x 51'0" (6.1m x 15.4m)

For 2435-2439 vehicles

Minimum 20' x 51'6" (6.1m x 15.6m)

For 2440-2444 vehicles

Minimum 20' x 52'0" (6.1m x 15.7m)

For 2445-2449 vehicles

Minimum 20' x 52'6" (6.1m x 15.9m)

For 2450-2454 vehicles

Minimum 20' x 53'0" (6.1m x 16.0m)

For 2455-2459 vehicles

Minimum 20' x 53'6" (6.1m x 16.2m)

For 2460-2464 vehicles

Minimum 20' x 54'0" (6.1m x 16.3m)

For 2465-2469 vehicles

Minimum 20' x 54'6" (6.1m x 16.5m)

For 2470-2474 vehicles

Minimum 20' x 55'0" (6.1m x 16.6m)

For 2475-2479 vehicles

Minimum 20' x 55'6" (6.1m x 16.8m)

For 2480-2484 vehicles

Minimum 20' x 56'0" (6.1m x 16.9m)

For 2485-2489 vehicles

Minimum 20' x 56'6" (6.1m x 17.1m)

For 2490-2494 vehicles

Minimum 20' x 57'0" (6.1m x 17.2m)

For 2495-2499 vehicles

Minimum 20' x 57'6" (6.1m x 17.4m)

For 2500-2504 vehicles

Minimum 20' x 58'0" (6.1m x 17.5m)

For 2505-2509 vehicles

Minimum 20' x 58'6" (6.1m x 17.7m)

For 2510-2514 vehicles

Minimum 20' x 59'0" (6.1m x 17.8m)

For 2515-2519 vehicles

Minimum 20' x 59'6" (6.1m x 18.0m)

For 2520-2524 vehicles

Minimum 20' x 60'0" (6.1m x 18.1m)

For 2525-2529 vehicles

Minimum 20' x 60'6" (6.1m x 18.3m)

For 2530-2534 vehicles

Minimum 20' x 61'0" (6.1m x 18.4m)

For 2535-2539 vehicles

Minimum 20' x 61'6" (6.1m x 18.6m)

For 2540-2544 vehicles

Minimum 20' x 62'0" (6.1m x 18.7m)

For 2545-2549 vehicles

Minimum 20' x 62'6" (6.1m x 18.9m)

For 2550-2554 vehicles

Minimum 20' x 63'0" (6.1m x 19.0m)

For 2555-2559 vehicles

Minimum 20' x 63'6" (6.1m x 19.2m)

For 2560-2564 vehicles

Minimum 20' x 64'0" (6.1m x 19.3m)

For 2565-2569 vehicles

Minimum 20' x 64'6" (6.1m x 19.5m)

For 2570-2574 vehicles

Minimum 20' x 65'0" (6.1m x 19.6m)

For 2575-2579 vehicles

Minimum 20' x 65'6" (6.1m x 19.8m)

For 2580-2584 vehicles

Minimum 20' x 66'0" (6.1m x 19.9m)

For 2585-2589 vehicles

Minimum 20' x 66'6" (6.1m x 20.1m)

For 2590-2594 vehicles

Minimum 20' x 67'0" (6.1m x 20.2m)

For 2595-2599 vehicles

Minimum 20' x 67'6" (6.1m x 20.4m)

For 2600-2604 vehicles

Minimum 20' x 68'0" (6.1m x 20.5m)

For 2605-2609 vehicles

Minimum 20' x 68'6" (6.1m x 20.7m)

For 2610-2614 vehicles

Minimum 20' x 69'0" (6.1m x 20.8m)

For 2615-2619 vehicles

Minimum 20' x 69'6" (6.1m x 21.0m)

For 2620-2624 vehicles

Minimum 20' x 70'0" (6.1m x 21.1m)

For 2625-2629 vehicles

Minimum 20' x 70'6" (6.1m x 21.3m)

For 2630-2634 vehicles

Minimum 20' x 71'0" (6.1m x 21.4m)

For 2635-2639 vehicles

Minimum 20' x 71'6" (6.1m x 21.6m)

For 2640-2644 vehicles

Minimum 20' x 72'0" (6.1m x 21.7m)

For 2645-2649 vehicles

Minimum 20' x 72'6" (6.1m x 21.9m)

For 2650-2654 vehicles

Minimum 20' x 73'0" (6.1m x 22.0m)

For 2655-2659 vehicles

Minimum 20' x 73'6" (6.1m x 22.2m)

For 2660-2664 vehicles

Minimum 20' x 74'0" (6.1m x 22.3m)

For 2665-2669 vehicles

Minimum 20' x 74'6" (6.1m x 22.5m)

For 2670-2674 vehicles

Minimum 20' x 75'0" (6.1m x 22.6m)

For 2675-2679 vehicles

Minimum 20' x 75'6" (6.1m x 22.8m)

For 2680-2684 vehicles

Minimum 20' x 76'0" (6.1m x 22.9m)

For 2685-2689 vehicles

Minimum 20' x 76'6" (6.1m x 23.1m)

For 2690-2694 vehicles

Minimum 20' x 77'0" (6.1m x 23.2m)

For 2695-2699 vehicles

Minimum 20' x 77'6" (6.1m x 23.4m)

For 2700-2704 vehicles

Minimum 20' x 78'0" (6.1m x 23.5m)

For 2705-2709 vehicles

Minimum 20' x 78'6" (6.1m x 23.7m)

For 2710-2714 vehicles

Minimum 20' x 79'0" (6.1m x 23.8m)

For 2715-2719 vehicles

Minimum 20' x 79'6" (6.1m x 24.0m)

For 2720-2724 vehicles

Minimum 20' x 80'0" (6.1m x 24.1m)

For 2725-2729 vehicles

Minimum 20' x 80'6" (6.1m x 24.3m)

For 2730-2734 vehicles

Minimum 20' x 81'0" (6.1m x 24.4m)

For 2735-2739 vehicles

Minimum 20' x 81'6" (6.1m x 24.6m)

For 2740-2744 vehicles

Minimum 20' x 82'0" (6.1m x 24.7m)

For 2745-2749 vehicles

Minimum 20' x 82'6" (6.1m x 24.9m)

For 2750-2754 vehicles

Minimum 20' x 83'0" (6.1m x 25.0m)

For 2755-2759 vehicles

Minimum 20' x 83'6" (6.1m x 25.2m)

For 2760-2764 vehicles

Minimum 20' x 84'0" (6.1m x 25.3m)

For 2765-2769 vehicles

Minimum 20' x 84'6" (6.1m x 25.5m)

For 2770-2774 vehicles

Minimum 20' x 85'0" (6.1m x 25.6m)

For 2775-2779 vehicles

Minimum 20' x 85'6" (6.1m x 25.8m)

For 2780-2784 vehicles

Minimum 20' x 86'0" (6.1m x 25.9m)

For 2785-2789 vehicles

Minimum 20' x 86'6" (6.1m x 26.1m)

For 2790-2794 vehicles

Minimum 20' x 87'0" (6.1m x 26.2m)

For 2795-2799 vehicles

Minimum 20' x 87'6" (6.1m x 26.4m)

For 2800-2804 vehicles

Minimum 20' x 88'0" (6.1m x 26.5m)

For 2805-2809 vehicles

Minimum 20' x 88'6" (6.1m x 26.7m)

For 2810-2814 vehicles

Minimum 20' x 89'0" (6.1m x 26.8m)

For 2815-2819 vehicles

Minimum 20' x 89'6" (6.1m x 27.0m)

For 2820-2824 vehicles

Minimum 20' x 90'0" (6.1m x 27.1m)

For 2825-2829 vehicles

Minimum 20' x 90'6" (6.1m x 27.3m)

For 2830-2834 vehicles

Minimum 20' x 91'0" (6.1m x 27.4m)

For 2835-2839 vehicles

Minimum 20' x 91'6" (6.1m x 27.6m)

For 2840-2844 vehicles

Minimum 20' x 92'0" (6.1m x 27.7m)

For 2845-2849 vehicles

Minimum 20' x 92'6" (6.1m x 27.9m)

For 2850-2854 vehicles

Minimum 20' x 93'0" (6.1m x 28.0m)

For 2855-2859 vehicles

Minimum 20' x 93'6" (6.1m x 28.2m)

For 2860-2864 vehicles

Minimum 20' x 94'0" (6.1m x 28.3m)

For 2865-2869 vehicles

Minimum 20' x 94'6" (6.1m x 28.5m)

For 2870-2874 vehicles

Minimum 20' x 95'0" (6.1m x 28.6m)

For 2875-2879 vehicles

Minimum 20' x 95'6" (6.1m x 28.8m)

For 2880-2884 vehicles

Minimum 20' x 96'0" (6.1m x 28.9m)

For 2885-2889 vehicles

Minimum 20' x 96'6" (6.1m x 29.1m)

For 2890-2894 vehicles

Minimum 20' x 97'0" (6.1m x 29.2m)

For 2895-2899 vehicles

Minimum 20' x 97'6" (6.1m x 29.4m)

For 2900-2904 vehicles

Minimum 20' x 98'0" (6.1m x 29.5m)

For 2905-2909 vehicles

Minimum 20' x 98'6" (6.1m x 29.7m)

For 2910-2914 vehicles

Minimum 20' x 99'0" (6.1m x 29.8m)

For 2915-2919 vehicles

Minimum 20' x 99'6" (6.1m x 30.0m)

For 2920-2924 vehicles

Minimum 20' x 100'0" (6.1m x 30.1m)

For 2925-2929 vehicles

Minimum 20' x 100'6" (6.1m x 30.3m)

For 2930-2934 vehicles

Minimum 20' x 101'0" (6.1m x 30.4m)

For 2935-2939 vehicles

Minimum 20' x 101'6" (6.1m x 30.6m)

For 2940-2944 vehicles

Minimum 20' x 102'0" (6.1m x 30.7m)

For 2945-2949 vehicles

Minimum 20' x 102'6" (6.1m x 30.9m)

For 2950-2954 vehicles

Minimum 20' x 103'0" (6.1m x 31.0m)

For 2955-2959 vehicles

Minimum 20' x 103'6" (6.1m x 31.2m)

For 2960-2964 vehicles

Minimum 20' x 104'0" (6.1m x 31.3m)

For 2965-2969 vehicles

Minimum 20' x 104'6" (6.1m x 31.5m)

For 2970-2974 vehicles

Minimum 20' x 105'0" (6.1m x 31.6m)

For 2975-2979 vehicles

Minimum 20' x 105'6" (6.1m x 31.8m)

For 2980-2984 vehicles

Minimum 20' x 106'0" (6.1m x 31.9m)

For 2985-2989 vehicles

Minimum 20' x 106'6" (6.1m x 32.1m)

For 2990-2994 vehicles

Minimum 20' x 107'0" (6.1m x 32.2m)

For 2995-2999 vehicles

Minimum 20' x 107'6" (6.1m x 32.4m)

For 3000-3004 vehicles

Minimum 20' x 108'0" (6.1m x 32.5m)

For 3005-3009 vehicles

Minimum 20' x 108'6" (6.1m x 32.7m)

For 3010-3014 vehicles

Minimum 20' x 109'0" (6.1m x 32.8m)

For 3015-3019 vehicles

Minimum 20' x 109'6" (6.1m x 33.0m)

For 3020-3024 vehicles

Minimum 20' x 110'0" (6.1m x 33.1m)

For 3025-3029 vehicles

Minimum 20' x 110'6" (6.1m x 33.3m)

For 3030-3034 vehicles

Minimum 20' x 111'0" (6.1m x 33.4m)

For 3035-3039 vehicles

Minimum 20' x 111'6" (6.1m x 33.6m)

For 3040-3044 vehicles

Minimum 20' x 112'0" (6.1m x 33.7m)

For 3045-3049 vehicles

Minimum 20' x 112'6" (6.1m x 33.9m)

For 3050-3054 vehicles

Minimum 20' x 113'0" (6.1m x 34.0m)

For 3055-3059 vehicles

Minimum 20' x 113'6" (6.1m x 34.2m)

For 3060-3064 vehicles

Minimum 20' x 114'0" (6.1m x 34.3m)

For 3065-3069 vehicles

Minimum 20' x 114'6" (6.1m x 34.5m)

For 3070-3074 vehicles

Minimum 20' x 115'0" (6.1m x 34.6m)

For 3075-3079 vehicles

Minimum 20' x 115'6" (6.1m x 34.8m)

For 3080-3084 vehicles

Minimum 20' x 116'0" (6.1m x 34.9m)

For 3085-3089 vehicles

Minimum 20' x 116'6" (6.1m x 35.1m)

For 3090-3094 vehicles

Minimum 20' x 117'0" (6.1m x 35.2m)

For 3095-3099 vehicles

Minimum 20' x 117'6" (6.1m x 35.4m)

For 3100-3104 vehicles

Minimum 20' x 118'0" (6.1m x 35.5m)

For 3105-3109 vehicles

Minimum 20' x 118'6" (6.1m x 35.7m)

For 3110-3114 vehicles

Minimum 20' x 119'0" (6.1m x 35.8m)

For 3115-3119 vehicles

Minimum 20' x 119'6" (6.1m x 36.0m)

For 3120-3124 vehicles

Minimum 20' x 120'0" (6.1m x 36.1m)

For 3125-3129 vehicles

Minimum 20' x 120'6" (6.1m x 36.3m)

For 3130-3134 vehicles

Minimum 20' x 121'0" (6.1m x 36.4m)

For 3135-3139 vehicles

Minimum 20' x 121'6" (6.1m x 36.6m)

For 3140-3144 vehicles

Minimum 20' x 122'0" (6.1m x 36.7m)

For 3145-3149 vehicles

Minimum 20' x 122'6" (6.1m x 36.9m)

For 3150-3154 vehicles

Minimum 20' x 123'0" (6.1m x 37.0m)

For 3155-3159 vehicles

Minimum 20' x 123'6" (6.1m x 37.2m)

For 3160-3164 vehicles

Minimum 20' x 124'0" (6.1m x 37.3m)

For 3165-3169 vehicles

Minimum 20' x 124'6" (6.1m x 37.5m)

For 3170-3174 vehicles

Minimum 20' x 125'0" (6.1m x 37.6m)

For 3175-3179 vehicles

Minimum 20' x 125'6" (6.1m x 37.8m)

For 3180-3184 vehicles

Minimum 20' x 126'0" (6.1m x 37.9m)

For 3185-3189 vehicles

Minimum 20' x 126'6" (6.1m x 38.1m)

For 3190-3194 vehicles

Minimum 20' x 127'0" (6.1m x 38.2m)

For 3195-3199 vehicles

Minimum 20' x 127'6" (6.1m x 38.4m)

For 3200-3204 vehicles

Minimum 20' x 128'0" (6.1m x 38.5m)

For 3205-3209 vehicles

Minimum 20' x 128'6" (6.1m x 38.7m)

For 3210-3214 vehicles

Minimum 20' x 129'0" (6.1m x 38.8m)

For 3215-3219 vehicles

Minimum 20' x 129'6" (6.1m x 39.0m)

For 3220-3224 vehicles

Minimum 20' x 130'0" (6.1m x 39.1m)

For 3225-3229 vehicles

Minimum 20' x 130'6" (6.1m x 39.3m)

For 3230-3234 vehicles

Minimum 20' x 131'0" (6.1m x 39.4m)



FILE NUMBER A-2020-0160

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY GURJEET KOUR

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an exterior stairway constructed below established grade between the main wall of a dwelling and a flankage lot line and within the required exterior side yard as shown on Schedule C – Section 128 of the by-law.

(38 HINDQUARTER COURT – PART OF BLOCK C, PLAN M-41, PARTS 135. 135A. PLAN 43R-2916)

**THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)**

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

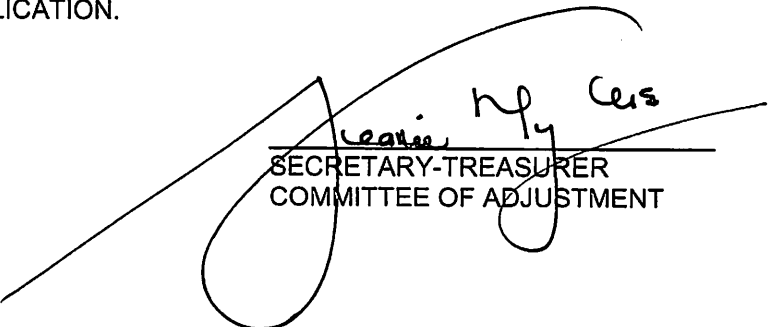
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

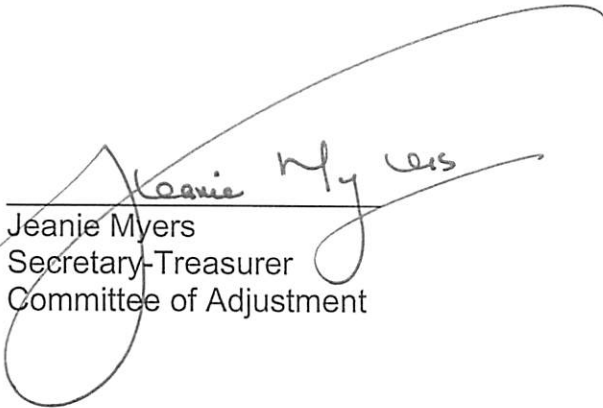
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

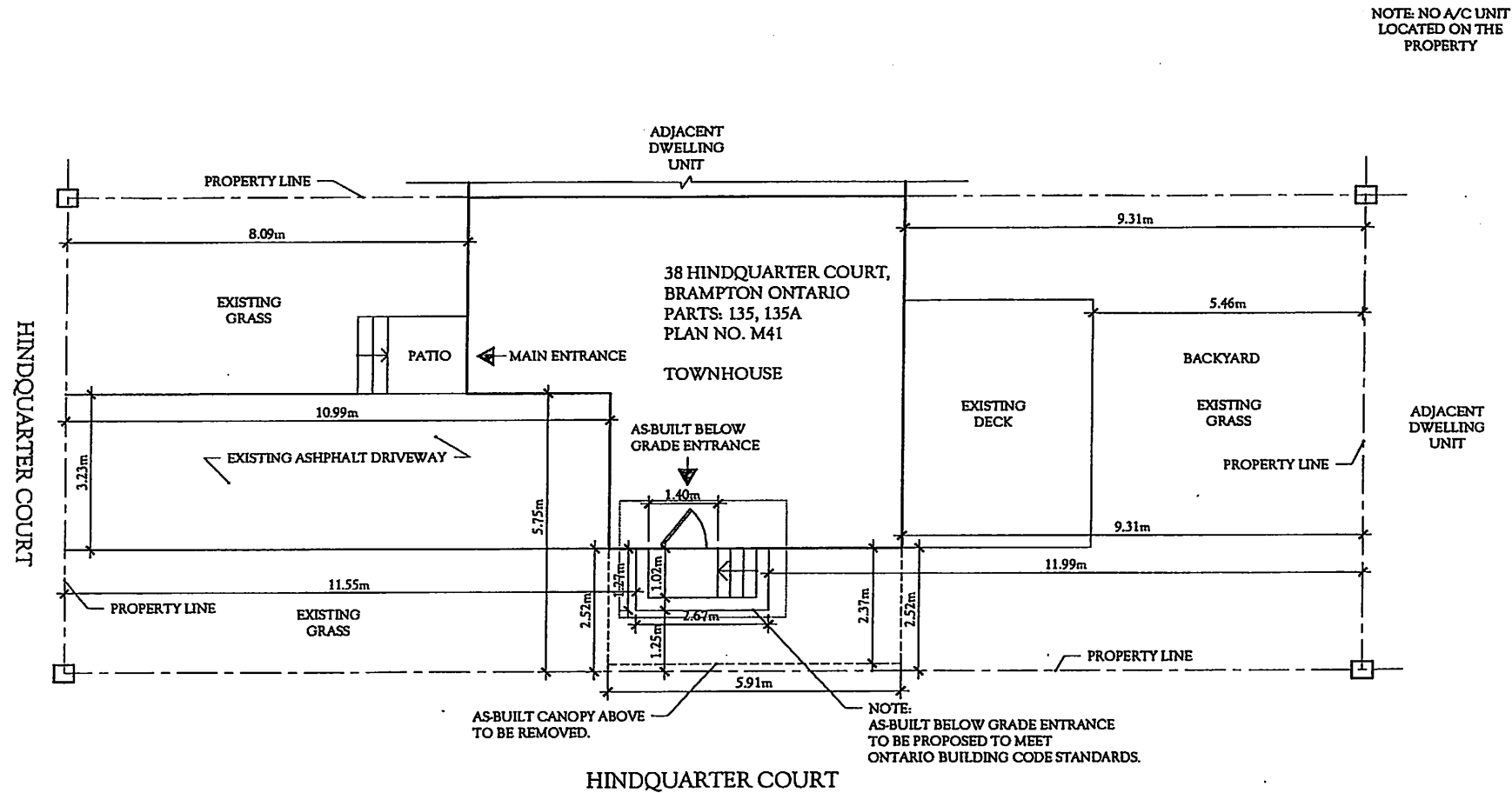
APPLICATION NO: **A-2020-0160**

DATED: **JANUARY 26, 2021**

Conditions:

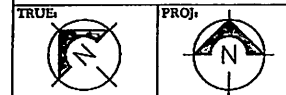
1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the applicant obtain a building permit for the below grade entrance within sixty (60) days of the final date of the Committee's decision, or within an extended period of time at the discretion of the Chief Building Official;
3. That the below grade entrance shall not be used to access an unregistered second unit;
4. That the fence remain constructed in its current location and height and shall not be removed or lowered;
5. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



1 SITE PLAN
A-101 SCALE 1:100

NOTES:



PROJECT TITLE:

38 HINDQUARTER COURT

DRAWING TITLE:

SITE PLAN

SCALE:

1:100

DATE:

2021/01/12

DESIGNED BY:

SINGH D.
MARTINS R.

REVISION:

0

PROJECT NO.

SHEET NO.

A-101



FILE NUMBER A-2020-0161

HEARING DATE JANUARY 26, 2021

APPLICATION MADE BY MOUNT PLEASANT ISLAMIC CENTRE

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S) ASSOCIATED WITH A BUILDING ADDITION:

1. To permit a rear yard setback of 1.6m (5.25 ft.);
2. To permit a 1.6m (5.25 ft.) wide open space landscape strip along a portion of the rear lot line.

(160 SALVATION ROAD – BLOCK 33, PLAN 43M-1912)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JANUARY 26, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

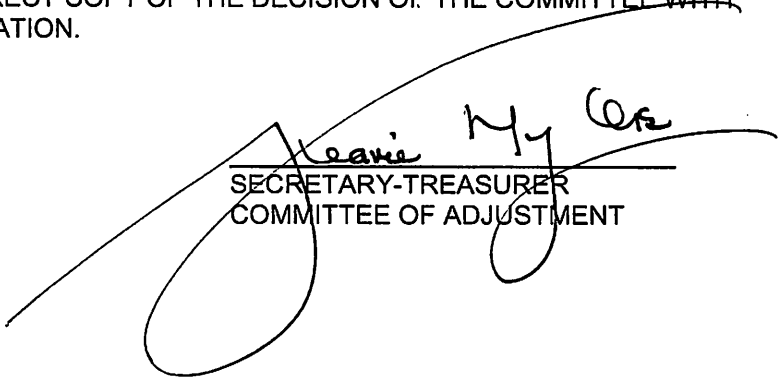
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 26TH DAY OF JANUARY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE FEBRUARY 15, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

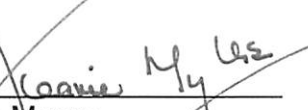
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2020-0161**

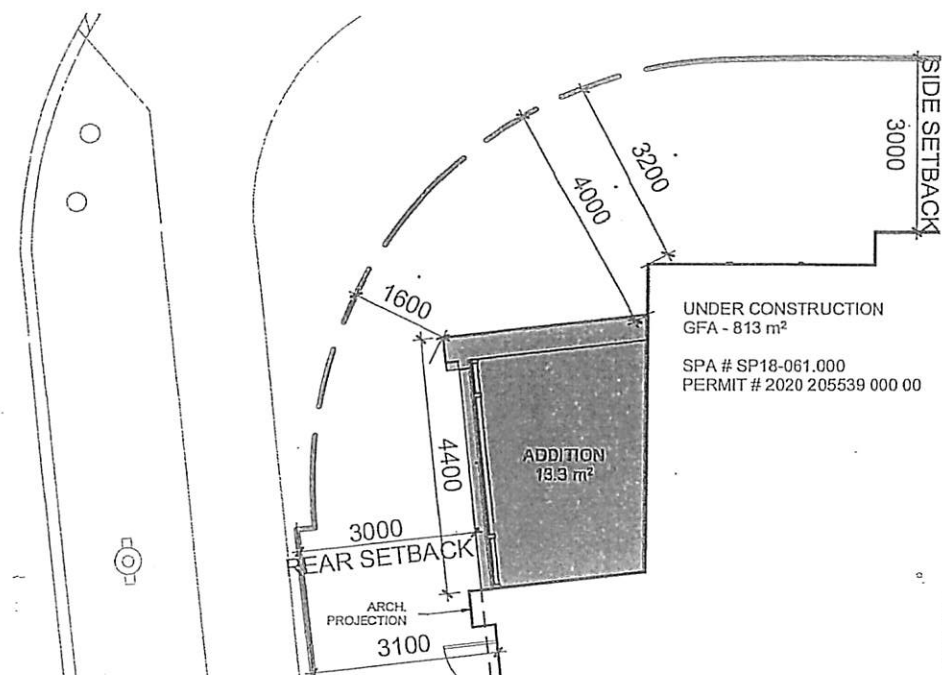
DATED: **JANUARY 26, 2021**

Conditions:

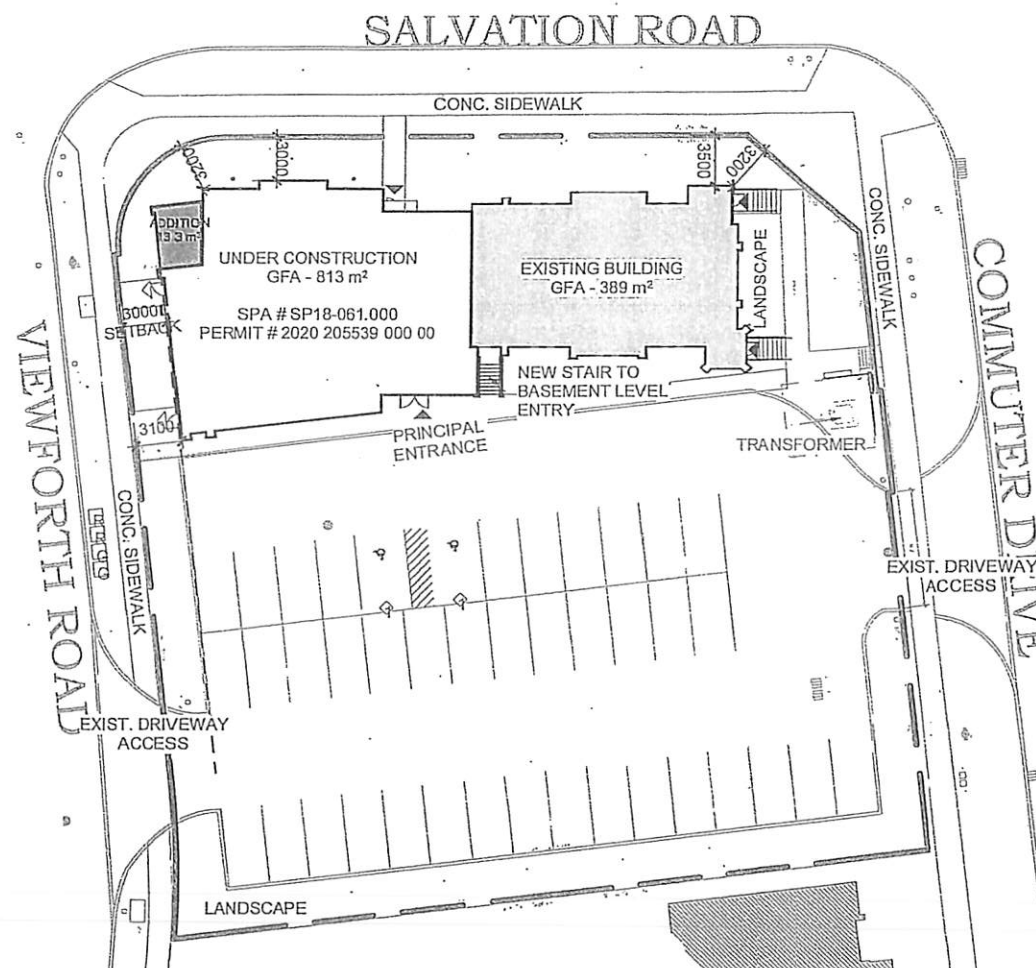
1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the owner finalize site plan approval under City File SP18-061.000, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services; and
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



2 SITE PLAN ENLARGED
*A1.1 SCALE: 1:100



1 SITE PLAN
*A1.1 SCALE: 1:400

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND DISCREPANCIES TO THE CONSULTANT.

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DO NOT SCALE THESE DRAWINGS.

REVISIONS:

NO.:	DATE:	ISSUED:
1	2020.12.14	ISSUED FOR CofA



MASRI O Inc.
ARCHITECTS
101-609 KUMPF DRIVE
WATERLOO, ON, N2V 1K9
PH. 519.579.0072
www.MasriO.ca

PROJECT:

MOUNT PLEASANT ISLAMIC CENTRE
ADDITION & RENOVATION

MPIC

DRAWING TITLE:

SITE PLAN

DATE: 2020.06.17

SCALE: As indicated

DRAWN: AG

STATUS: CONSTRUCTION

JOB No.: 1910

DRAWING NO.:

*A1.1