



Notice of Decision

Committee of Adjustment

APPLICATION NO. **B-2021-0003**

Ward # 8

PLANNING ACT - PROVISIONAL CONSENT

AN APPLICATION HAS BEEN MADE BY **FORESTSIDE ESTATES INC.**

The applicant(s) request(s) consent to a conveyance of Part of Lot 5, Concession 9 N.D., City of Brampton, Regional Municipality of Peel. The severed parcel has a frontage of approximately 132 metres (433.07 feet), a depth of approximately 93.0 metres (305.12 feet) and an area of approximately 0.63 hectares (1.56 acres). The land is located at 4298 Queen Street East. The land is designated "Business Corridor Industrial" in the Official Plan and "Mixed Commercial Industrial" in the Secondary Plan. The lands are zoned "Industrial Four-Special Section 1751 9M4-1751)." It is proposed that the "severed" lot remain occupied by an industrial building and the proposed "retained" lot will be used for future medium and high density residential development included in a plan of subdivision.

THE REQUEST IS HEREBY APPROVED, THIS DECISION:

IF **APPROVED**: IS SUBJECT TO THE CONDITIONS AND FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

IF **REFUSED**: IS FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

MOVED BY D. Doerfler SECONDED BY: R. Power

DATED THIS 9th day of MARCH, 2021

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON FEBRUARY 16, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

CERTIFICATION

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER, COMMITTEE OF ADJUSTMENT

Additional information regarding the application for consent will be available to the public for inspection between 8:30 a.m. and 4:30 p.m. Monday to Friday at the Brampton City Hall, Committee of Adjustment Office, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, Telephone No. (905) 874-2117 and Fax No. (905) 874-2119.

You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have either made a written request to be notified of the decision to give or refuse to give provisional consent or make a written request to be notified of changes to the conditions of the provisional consent.

Only individuals, corporations and public bodies may appeal decisions or any condition in respect of applications for consent to the Local Planning Appeal Tribunal. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group.

An appeal form is available on the Environment and Land Tribunals Ontario website at <http://elto.gov.on.ca/> or at the office of the Secretary-Treasurer. The notice of appeal accompanied by the fee prescribed under the Local Planning Appeal Tribunal Act shall be filed with the Secretary-Treasurer of the Committee of Adjustment. The prescribed fee is \$400 per person/ per appeal. Please visit <http://elto.gov.on.ca/tribunals/lpat/lpat-process/fee-chart/> for information on related appeals. Cheques are to be made payable to the Minister of Finance. **TURN TO PAGE TWO (2) FOR THE Local Planning Appeal Tribunal APPEAL DATE.**

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment: NO
Zoning By-law Amendment: NO
Minor Variance: YES

File Number:
File Number:
File Number: A-2021-0015

PLANNING ACT – PROVISIONAL CONSENT

AN APPLICATION HAS BEEN MADE BY **FORESTSIDE ESTATES INC.**

THIS DECISION IS SUBJECT TO THE FOLLOWING CONDITIONS: (AS AGREED TO BY THE APPLICANT(S)/AGENT(S) AT THE MEETING).

1. The Secretary-Treasurer shall have been satisfied that the following conditions have been fulfilled within one year of the mailing date noted below and the Secretary-Treasurer's Certificate under the Planning Act shall be given:
2. A Secretary-Treasurer's certificate fee shall be paid, in the amount current at the time of the issuance of the Secretary-Treasurer's Certificate;
3. Approval of the draft reference plan(s), as applicable, shall be obtained at the Committee of Adjustment office, and; the required number of prints of the resultant deposited reference plan(s) shall be received;
4. That associated application A-2021-0015 be approved; and
5. That arrangements satisfactory to the Region of Peel, Public Works shall be made with respect to the location of existing and installation of new services and/or possible required private service easements.

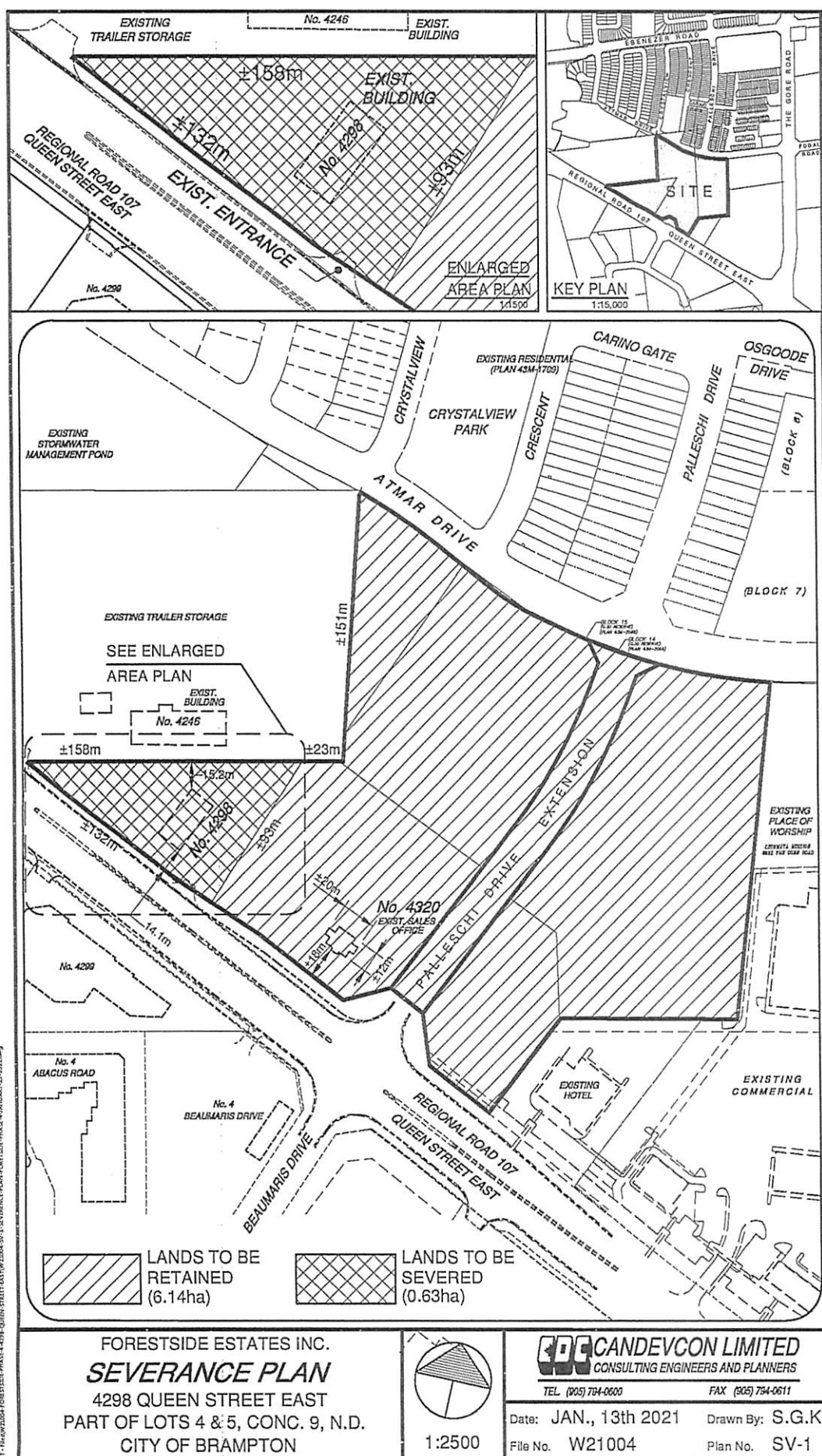
REASONS:

1. This decision reflects that regard has been had to those matters to be regarded under the Planning Act, in as much as the dimensions and shape of the lot are adequate for the uses proposed.
2. Subject to the imposed conditions, the consent to the conveyance will not adversely affect the existing or proposed development.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

LAST DATE FOR FILING AN APPEAL TO THE LOCAL PLANNING APPEAL TRIBUNAL
MARCH 29, 2021

DATE OF MAILING MARCH 9, 2021





FILE NUMBER A-2021-0015

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY FORESTSIDE ESTATES INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S) ASSOCIATED WITH THE PROPOSED "SEVERED" LOT UNDER THE CONSENT APPLICATION B-2021-0003:

1. To permit a lot width of 119 metres;
2. To permit a lot area of 0.63 hectares;
3. To permit a lot depth of 47 metres.

(4298 QUEEN STREET EAST – PART OF LOT 5, CONCESSION 9 ND)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That related application B-2021-0003 be approved;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

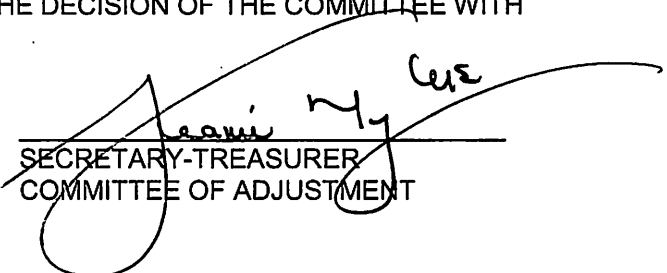
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

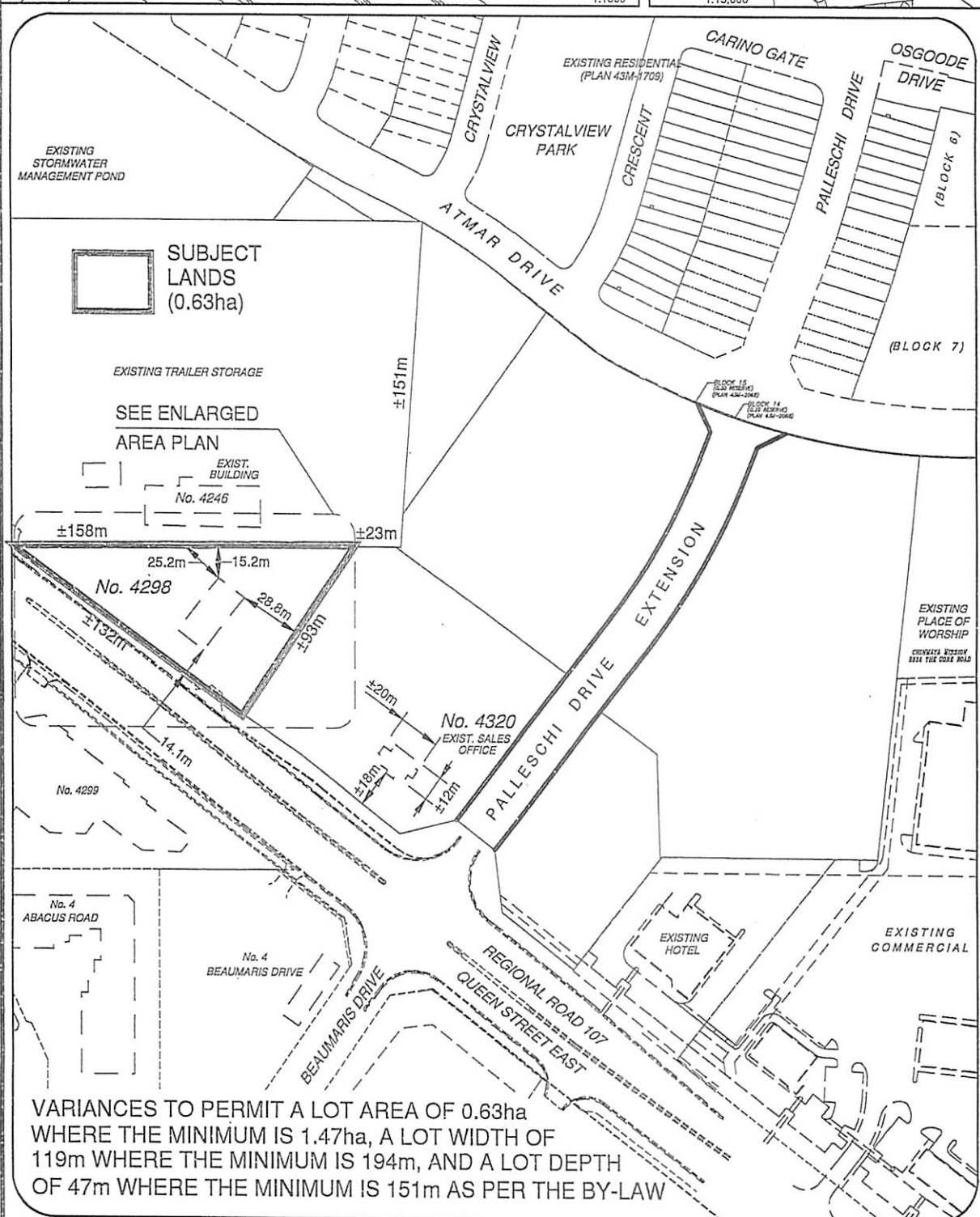
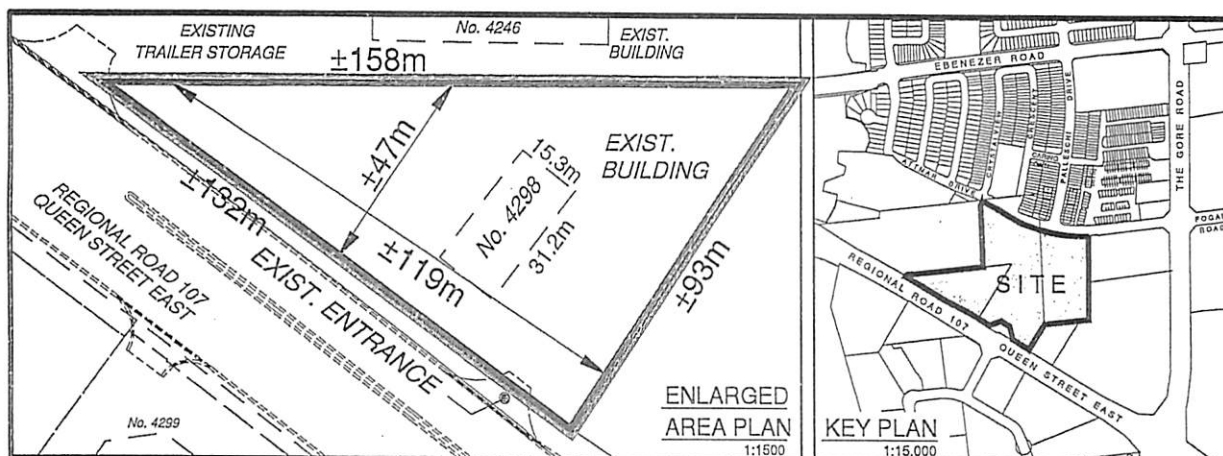
DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

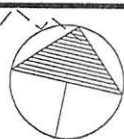
I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT



FORESTSIDE ESTATES INC.
MINOR VARIANCE PLAN
 4298 QUEEN STREET EAST
 PART OF LOTS 4 & 5, CONC. 9, N.D.
 CITY OF BRAMPTON



1:2500



CANDEVCON LIMITED
 CONSULTING ENGINEERS AND PLANNERS

TEL. (905) 794-0800

FAX (905) 794-0611

Date: FEB., 1st, 2021

Drawn By: S.G.K.

File No. W21004

Plan No. MV-1



FILE NUMBER A-2021-0005

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY PAULA PIRES AND FIRMINO PIRES

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit 38.3% of the floor area of the dwelling to be used as a home occupation (spa).

(267 QUEEN STREET WEST – PART OF LOT 5, CONCESSION 1 WHS)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of the Decision;
2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: D. Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

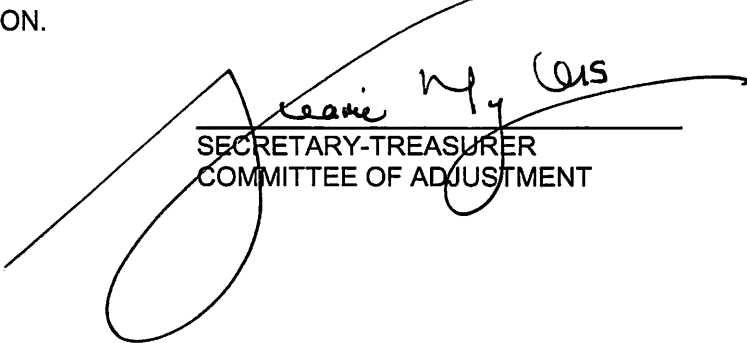
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

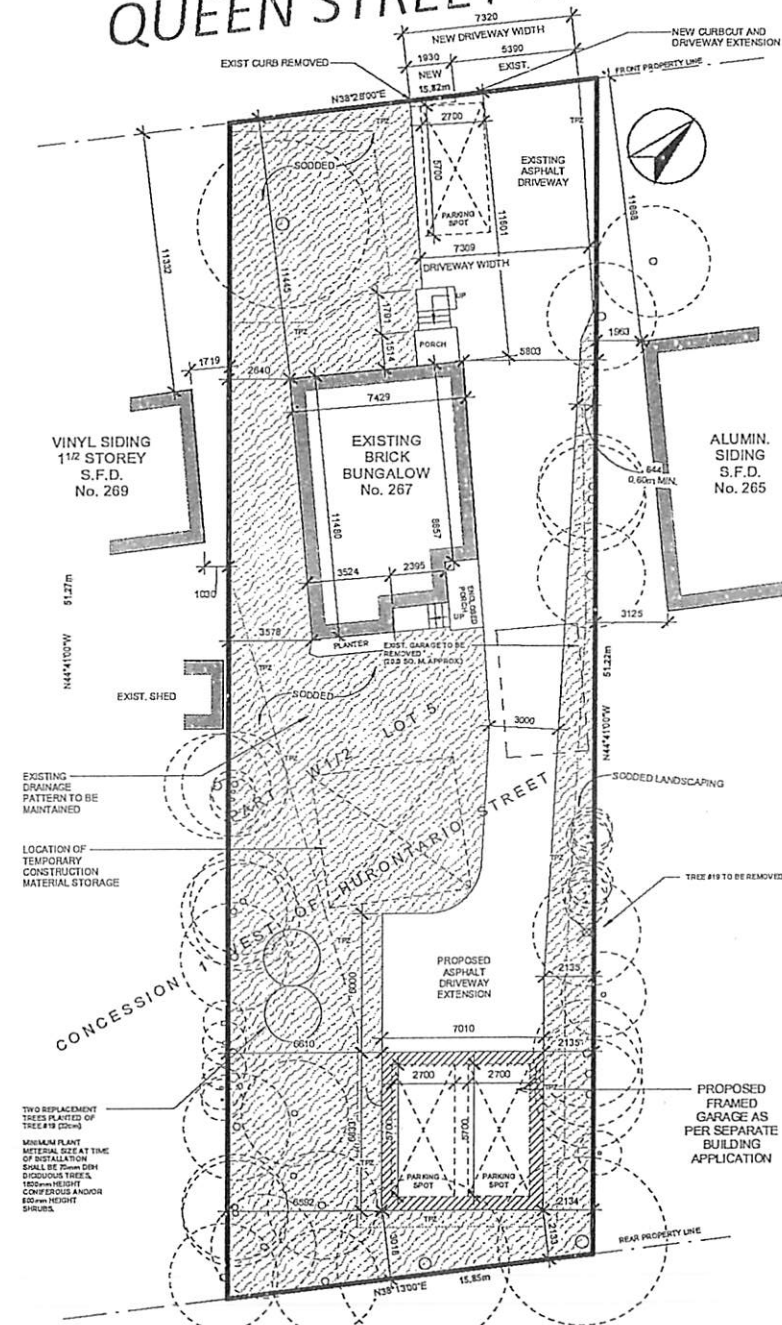
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I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.

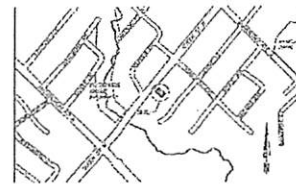


SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

QUEEN STREET WEST



1 SITE PLAN
1:150



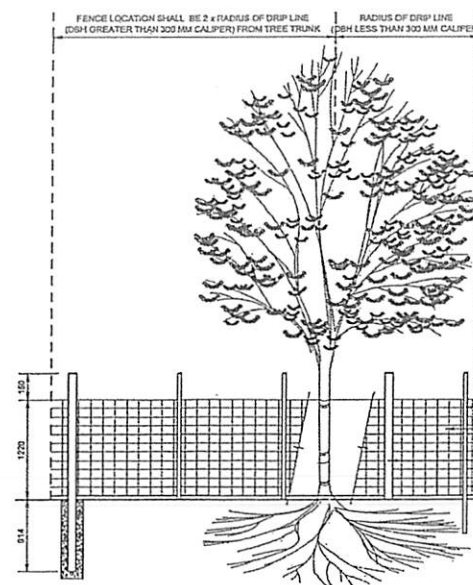
SITE STATISTICS:

LOT AREA	= 805.81m ²
TOTAL LOT COVERAGE (WELLING + GARAGE + FRONT + REAR PORCH)	= 156.23m ²
WELLING O.F.A.	= 81.56m ²
GARAGE AREA	= 47.40m ²
FRONT PORCH + STAIRS	= 4.81m ²
REAR PORCH + STAIRS	= 2.25m ²

SEE SURVEY BY O.L.S. FOR VERIFICATION
SURVEY INFORMATION TAKEN FROM
SURVEYOR'S REAL PROPERTY REPORT
PLAN SHOWING BUILDING LOCATION ON
PART OF THE WEST HALF OF LOT 5
CONCESSION
WEST OF HURONTARIO STREET
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
(FORMERLY IN THE TOWN OF BRAMPTON AND COUNTY OF PEEL)
AS PREPARED BY
DUNCAN ASHTON SURVEYING LTD.
(O.L.S.) ONTARIO LAND SURVEYOR
DATED: 1980

NOTES:

1. ALL WORKING DRAWINGS SUBMITTED TO THE ENGINEER SHALL BE IN CONFORMANCE WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION.
2. THE OWNER IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION BARRIERS PLACED AT THE DRIP LINE OF THE TREES IS MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS, E.G. BRICKS, MATERIALS, SOIL, CONSTRUCTION VEHICLES, EQUIPMENT, ETC. MAY BE STOCKPILED WITHIN THE AREA OF BARRIERS.
3. ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATED PRIOR TO THE INSTALLATION OF THE BARRIERS THAT LIE WITHIN THE LIMITS OF THE CONSTRUCTION AREA.
4. SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE BARRIERS TO BE REMOVED, OPEN SPACE STAFF (AT 800mm) SHOULD BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL, HOWEVER, SECURE THE CONTENTS OF THE VULNERABLE AND SERVICES INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
5. THE OWNER (OR APPLICANT AS APPLICABLE) WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSARY BY THE SITE PLAN APPROVAL AND BUILDING PERMIT.
6. THE EXISTING ON-SITE DRAINAGE PATTERN SHALL BE MAINTAINED.
7. GRADES MUST BE SET WITHIN 30% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
8. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.6m (2'00") IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.
9. THE PORTION OF THE DRIVEWAY WITHIN THE MUNICIPAL BOUNDARY WILL BE PAVED BY THE OWNER AT THEIR OWN EXPENSE.
10. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUED THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
11. ALL PROPOSED CURBS AT THE ENTRANCES TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.
12. CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION.
13. ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOPSOIL AND SOIL NUTRIENT COMPOSITION ACTIVITY.
14. ANY SOIL BOLD (LARGE) TREES DAMAGED OR REMOVED ARE TO BE REPLACED WITH HIGHLY TOWN CALIBRE DECIDUOUS TREES TO THE SATISFACTION OF THE C.O.P. AT THE OWNER'S EXPENSE.
15. ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.
16. ALL EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY SHOULD BE ELABORATED AND DISCLOSED ON ALL OF THE DRAWINGS. IF APPLICABLE, STATE ON THE DRAWINGS, THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY.



plot date:
2/24/2021 11:40:46 AM

project address:
267 QUEEN STREET
WEST BRAMPTON, ON.
owner name:
HOME
OCCUPATION/SPA &
drawing:
RESIDENTIAL
SITE PLAN

scale: 1:150

true north:
const. north:
n n

drawing no.:
A1.1



FILE NUMBER A-2021-0007

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY 2689255 ONTARIO INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit outside storage (truck trailers);
2. To permit a front yard setback of 0.904m (2.97 ft.) to a transformer.

(0 ARMTHORPE ROAD – PART OF BLOCK K, PLAN 720)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

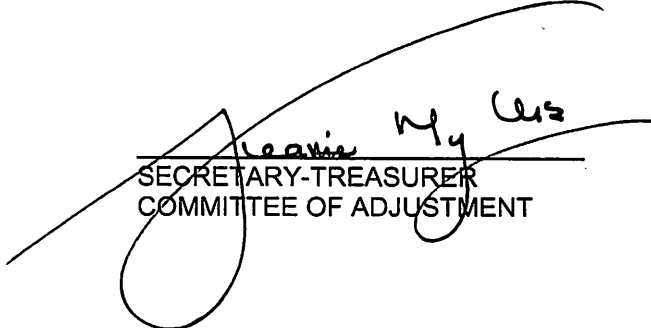
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

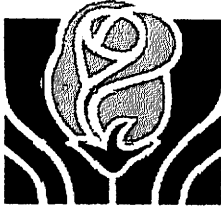
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I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

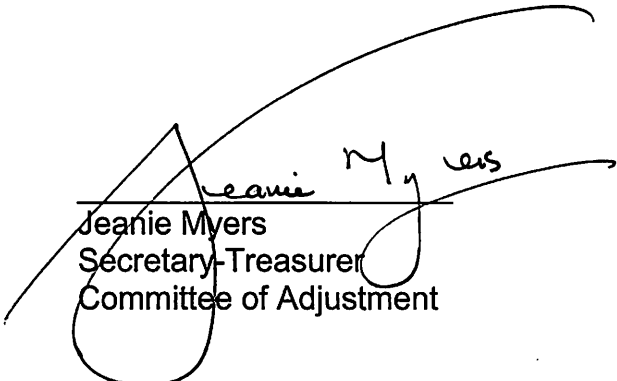
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0007**

DATED: **MARCH 9, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the owner finalize site plan approval under City File SPA-2019-0065, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services prior to the establishment of the use;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



FILE NUMBER A-2021-0008

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY CANADIAN PROPERTY HOLDING (ONTARIO) INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

- 1. To permit an outdoor garden centre to operate between April 15 and July 15 annually;**
- 2. To permit 772 parking spaces resulting in a parking deficiency of 63 spaces for the overall site (associated with the garden centre).**

(55 MOUNTAINASH ROAD – PART OF BLOCK 74, PLAN 43M-1132, PART OF BLOCK 185, PLAN 43M-1030)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS (APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

- 1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and**
- 2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.**

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

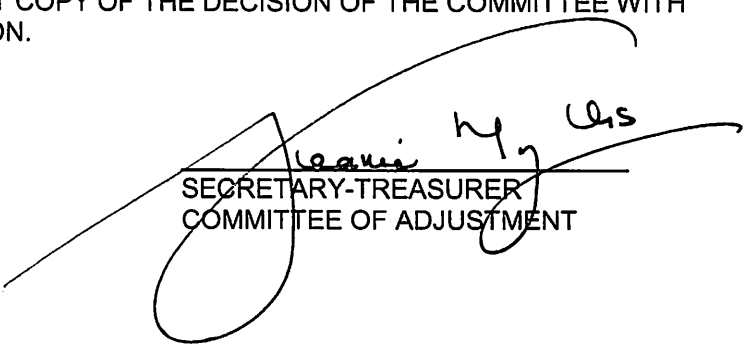
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.


**SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT**

Flower City



brampton.ca

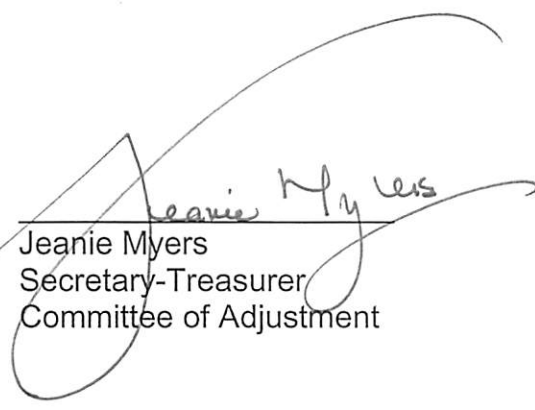
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

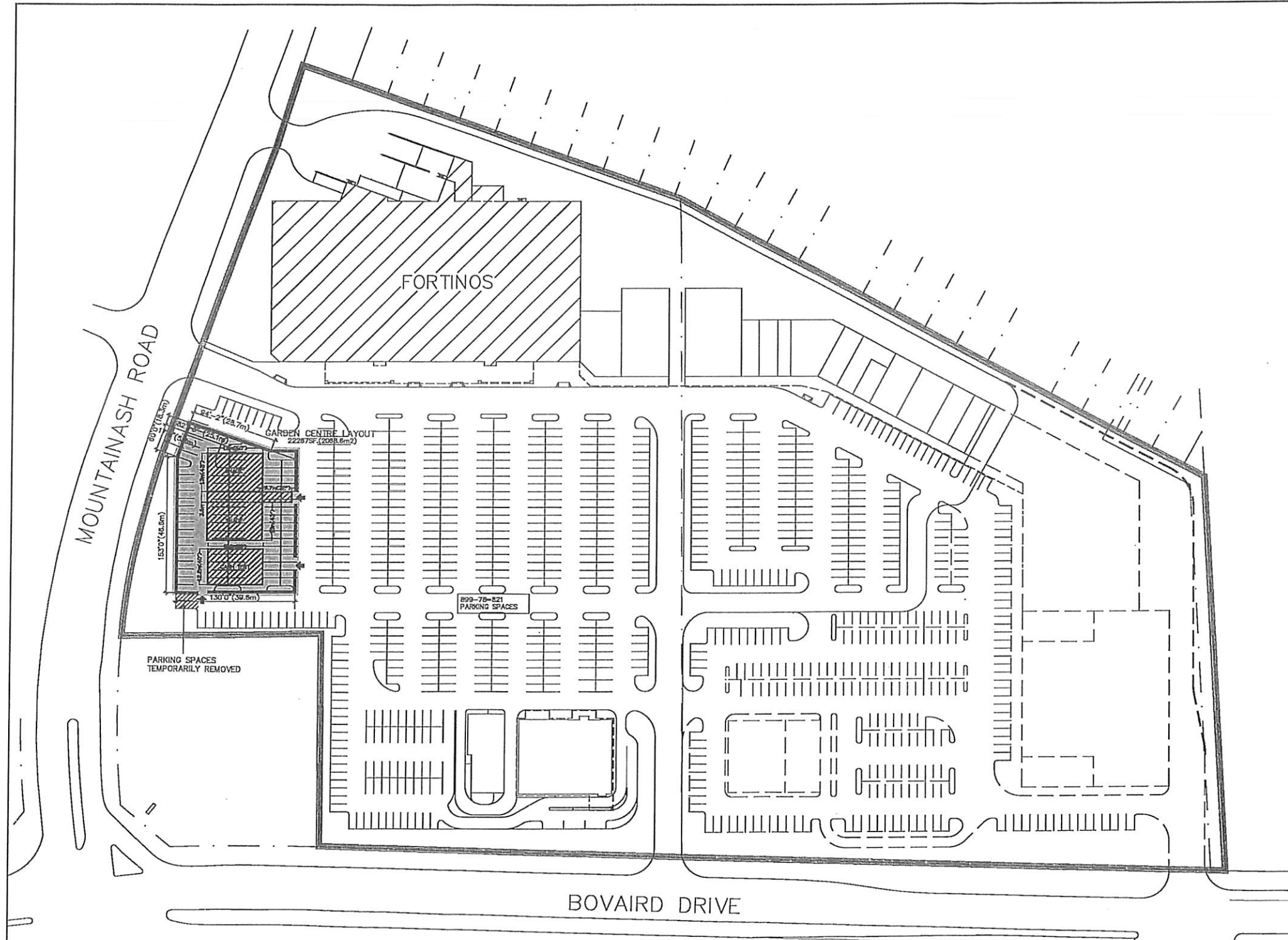
APPLICATION NO: **A-2021-0008**

DATED: **MARCH 9, 2021**

Conditions:

1. That the extent of the variances be generally limited to that shown on the sketch attached to the Notice of Decision;
2. That the outdoor garden centre use shall only be permitted in conjunction with a permitted supermarket use and shall only be permitted between April 15 and July 15 on a yearly basis;
3. That the applicant shall obtain any required building permits prior to the erection of the temporary garden centre each year, to the satisfaction of the Chief Building Official;
4. That the applicant shall submit a site plan drawing showing the general proposed configuration of the outdoor garden centre to the satisfaction of the Director of Development Services; and
5. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



KEY PLAN



N.T.S.

STORE 89

55 Mountainash Road
Brampton, Ontario
City of Brampton



GARDEN CENTRE + DETAILS

SITE STATISTICS

EXISTING SITE AREA	±16.97 ACRES	±6.87 HA
FORTINOS AREA	62,570 S.F.	5,813 S.M.
EXISTING RETAIL AREA	102,062 S.F.	9,482 S.M.
TOTAL RETAIL AREA	164,632 S.F.	15,295 S.M.
SEASONAL SALES AREA	21,722 S.F.	2,018 S.M.
SEASONAL SALES OCCUPIES		78 SPACES
PARKING PROVIDED		899 CARS
BUILDING COVERAGE		22 %
LANDSCAPE COVERAGE		14 %

NOTES ON FILE

NO.	NOTES	DATE	INITIAL
1	CREATED DRAWING	Mar 19/08	HG



DRAWN BY	HG	PROJECT NO.	LPL/GDN/BRM/00-01
DATE	April 2008	SCALE	1:1,250



FILE NUMBER A-2021-0009

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY 2722472 ONTARIO INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a 4.5m (14.76 ft.) wide landscape strip along Van Kirk Drive;
2. To permit a reduced rear yard setback of 5.0m (16.40 ft.) to the outside storage of oversized motor vehicles;
3. To permit an outside storage area to be enclosed by a chain link fence;
4. To permit a portion of the outside storage area to be unenclosed by any fence;
5. To permit storage of motor vehicles for a period of 4 months;
6. To permit the repair of motor vehicles in the open in conjunction with outdoor storage of oversized motor vehicles.

(15 REGAN ROAD – PART OF BLOCK G, PLAN M-286, PARTS 3, 4 AND 5, PLAN 43R-14703)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

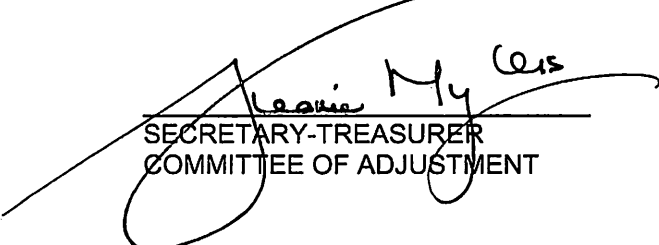
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

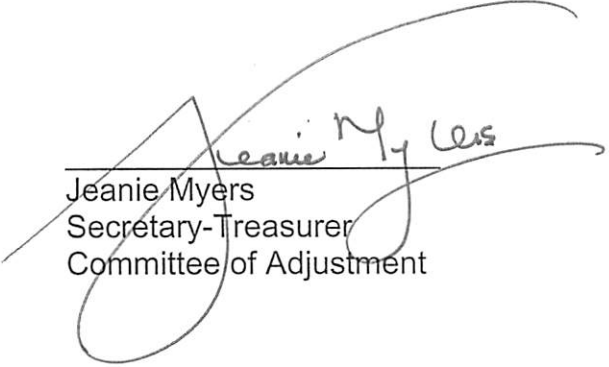
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0009**

DATED: **MARCH 9, 2021**

Conditions:

1. That the extent of the variances be generally limited to that shown on the sketch attached to the Notice of Decision;
2. That the applicant be required to construct a fence generally in accordance with the Zoning By-law and obtain approval of a limited site plan application demonstrating the type and extent of the required fencing and any compensating landscaping to the satisfaction of the Director of Development Services;
3. That the repair of motor vehicles in the open shall be limited to minor maintenance to ensure vehicle safety only and shall only be permitted in conjunction with permitted outdoor storage of oversized motor vehicles. Accessory uses, including vehicle repair, cleaning, servicing, (with the exception of minor maintenance required to ensure vehicle safety) etc. shall not be permitted;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

REGAN ROAD

107.9m

EXISTING LANDSCAPED AREA

EXISTING PAVED PARKING AREA ±26 SPACES

EXISTING
1-STOREY
BUILDING
2,787m²
(30,000ft²)

EXISTING PAVED LOADING AREA

3

EXISTING PAVED PARKING AREA ±23 SPACES

119.3m

11 Regan Road

EXISTING CELLULAR TOWER

181.4m

50 Van Kirk Drive

VARIANCE #4
MOTOR VEHICLE
STORAGE AREA
(GRAVEL)

EXISTING 3.048m (10') HIGH
CHAIN LINK FENCE

EXISTING ACCESS GATE
8.0m VEHICLE SETBACK
TO PROPERTY LIMIT

EXISTING 3.048m (10') HIGH
CHAIN LINK FENCE

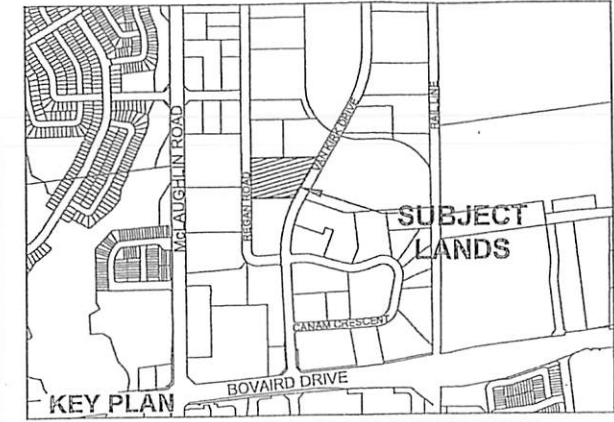
3

3

1

3

THIS PLAN HAS BEEN PREPARED FOR COMMITTEE OF ADJUSTMENT APPLICATION PURPOSES ONLY. THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES. MEASUREMENTS AND AREAS ARE APPROXIMATE ONLY.



**COMMITTEE OF ADJUSTMENT
MINOR VARIANCE SKETCH PLAN
VILLAGE ACRES LIMITED
15 REGAN ROAD**

PART OF BLOCK G,
REGISTERED PLAN M-286
(PIN #: 142490019)
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

LEGEND

— SUBJECT LANDS - ±1.62ha (4.00ac)

REQUIRED VARIANCES:

1. TO PERMIT A REAR YARD SETBACK OF 5.0m FROM THE REAR (VAN KIRK DRIVE) LOT LINE, WHEREAS THE BY-LAW REQUIRES THAT STORAGE SHALL NOT BE LOCATED CLOSER TO ANY REAR LOT LINE THAN THE REQUIRED SETBACK FOR A BUILDING (8.0m IN THIS CASE);
2. PERMIT FOR A LANDSCAPE STRIP OF 4.5m ALONG VAN KIRK DR. WHEREAS THE ZONING BY-LAW REQUIRES 20.0m;
3. TO ALLOW ALL STORAGE AREAS TO BE ENCLOSED BY A CHAIN LINK FENCE WHEREAS THE BY-LAW REQUIRES A FENCE CONSTRUCTED OF MASONRY, METAL, OR WOOD NOT LESS THAN 2.4m IN HEIGHT; AND,
4. TO PERMIT THE REPAIR OF MOTOR VEHICLES ON SITE IN CONJUNCTION WITH THE OUTDOOR STORAGE OF MOTOR VEHICLES, WHEREAS THE ZONING BY-LAW DOES NOT PERMIT REPAIR OF MOTOR VEHICLES ON SITE.



SCALE 1:1250
JANUARY 27, 2021 **GSAI**
Glen Schnarr & Associates Inc.



FILE NUMBER A-2021-0010

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY _____ SUHAIR ATA AND ZIAD KAILANI

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; **ZONING BY-LAW 270-2004** AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a below grade entrance to be located between the main wall of a dwelling and the flankage lot line;
2. To permit an exterior side yard setback of 2.12m (6.96 ft.) to a below grade entrance.

(1 FACET STREET – LOT 194, PLAN 43M-2022)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: A. C. Marques

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

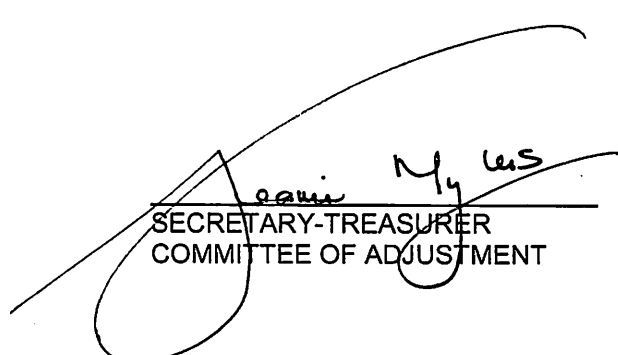
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

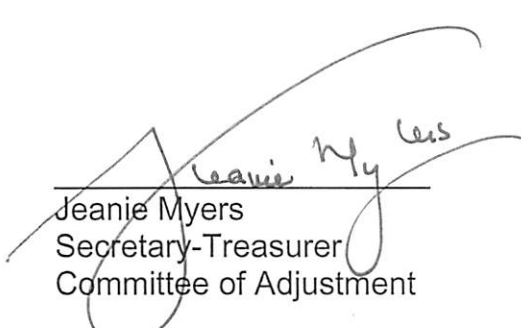
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0010**

DATED: **MARCH 9, 2021**

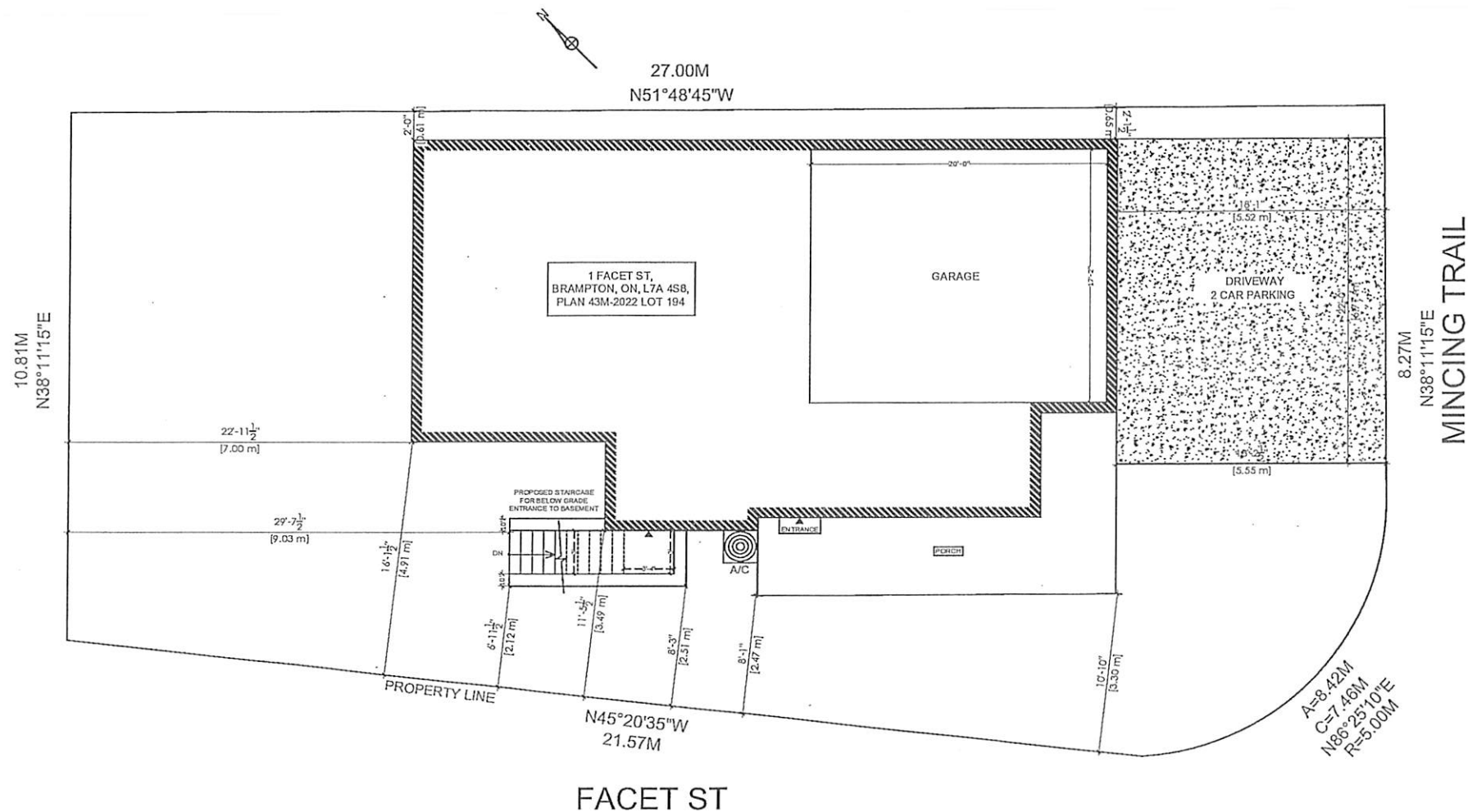
Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the applicant obtain a building permit for the below grade entrance within sixty (60) days of the final date of the Committee's decision, or within an extended period of time at the discretion of the Chief Building Official;
3. That the below grade entrance shall not be used to access an unregistered second unit;
4. That the applicant shall extend the existing fence to screen the below grade entrance in a manner satisfactory to the Director of Development Services; and
5. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

SITE PLAN
SC: 1/8" - 1'-0"



General Notes		
* CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING. * ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK. * THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT. * DRAWINGS ARE NOT TO BE SCALED.		
LEGENDS:-		
REVISION		
NO.	DATE	DESCRIPTION
Firm Name and Address		
MEM ENGINEERING INC		
3355 LEHIGH CRES.		
MISSISSAUGA, ON, L4T1W9		
416-558-6755		
Email: harry@memengineering.ca		
PROJECT TITLE:		
1 FACET ST, BRAMPTON, ON, L7A 4S8		
SHEET TITLE:		
SITE PLAN		
CLIENT EMAIL:		
CLIENT CONTACT:		
SCALE:	DRAWING NO.:	
1/8" = 1'-0"	A100	
PLOT DATE:		
21-12-2020		
DRAWN BY:		
GG		
CHECKED BY:		
HS		



FILE NUMBER A-2021-0012

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY RAMAKANTH MANNAVA AND LAVANYA TRATHA

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a below grade exterior stairway in the required interior side yard having a setback of 0.31m (1.02 ft.) to the side lot line where a continuous side yard width of 0.7m (2.30 ft.) is provided on the opposite side of the dwelling.

(73 BLUE WHAT BOULEVARD – PART OF BLOCK 26, PLAN 43M-1297)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: A. C. Marques

SECONDED BY: R. Chatha

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

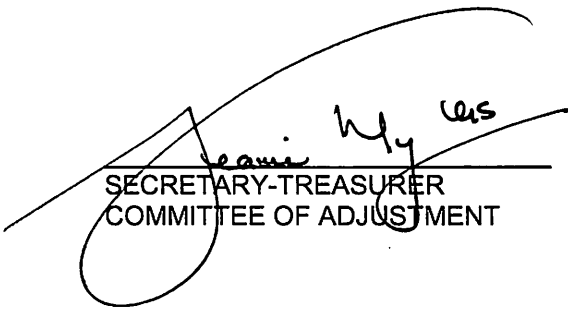
ROD POWER, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

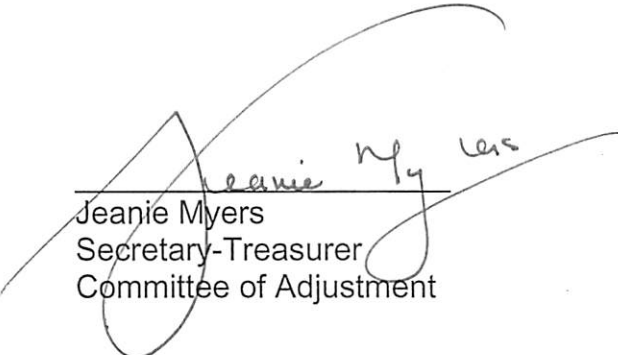
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0012**

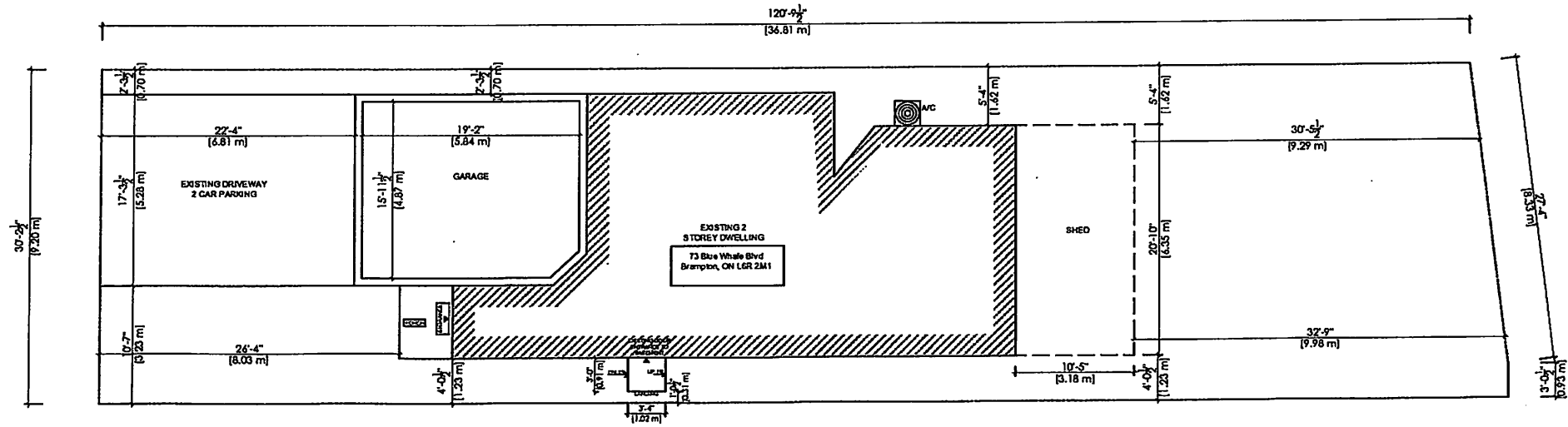
DATED: **MARCH 9, 2021**

Conditions:

1. That the extent of the variances be limited to the extent shown on the sketch attached to the Notice of Decision;
2. That the entrance not be used to access an unregistered second unit;
3. That the owner update or obtain any building permits that may be required to the satisfaction of the Chief Building Official;
4. That unimpeded access shall be provided to the rear yard, including no more than a one step grade difference;
5. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

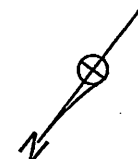
BLUE WHALE BLVD.



SITE PLAN

SC: 3/32" - 1'-0"

PLEASE NOTE : EXISTING SHED IS ATTACHED
TO THE REAR WALL OF HOUSE.
SHED IS UNENCLOSED WITH FINISHED
CONCRETE FLOORING AND NO RAILING



General Notes

* CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING.
* ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF WORK.
* THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.
* DIMENSIONS ARE NOT TO BE COPIED.

LEGENDS:-

REVISION NO	DATE	DESCRIPTION	BY

Firm Name and Address
MEM ENGINEERING INC
2355 DERRY ROAD EAST,
MISSISSAUGA, ON, L5S 1V6
416-558-6755
Email: harry@memengineering.ca



PROJECT TITLE:
73 Blue Whale Blvd,
Brampton, ON L6R 2M1

SHEET TITLE:
SITE PLAN

CLIENT EMAIL:
CLIENT CONTACT:
SCALE: 1/8" = 1'-0"
PLOT DATE: 2023-12-15
DRAWN BY: AR
CHECKED BY: HS
DRAWING NO.: **A100**



brampton.ca

BRAMPTON

Flower City

Notice of Decision

Committee of Adjustment

FILE NUMBER A-2021-0013

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY CONSEIL SCOLAIRE VIAMONDE

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To provide 139 parking spaces on site.

(7585 FINANCIAL DRIVE – BLOCK 1, PLAN 43M-1597)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

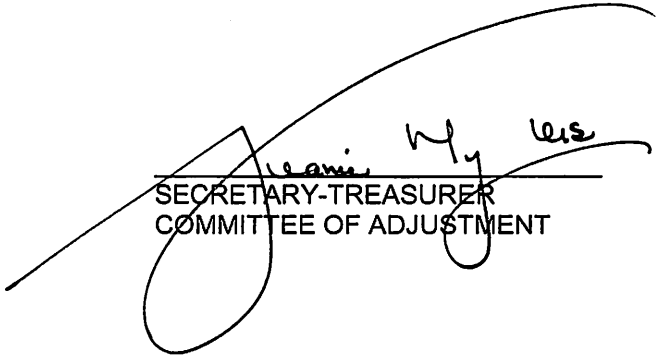
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

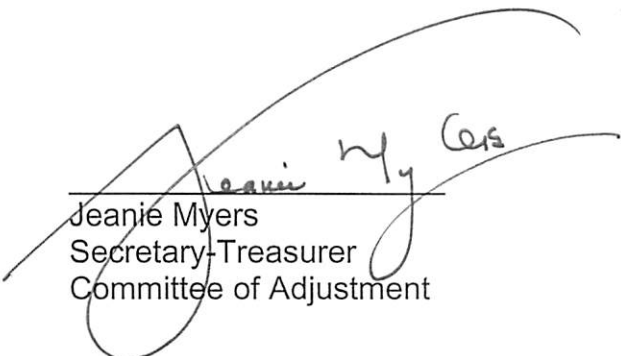
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

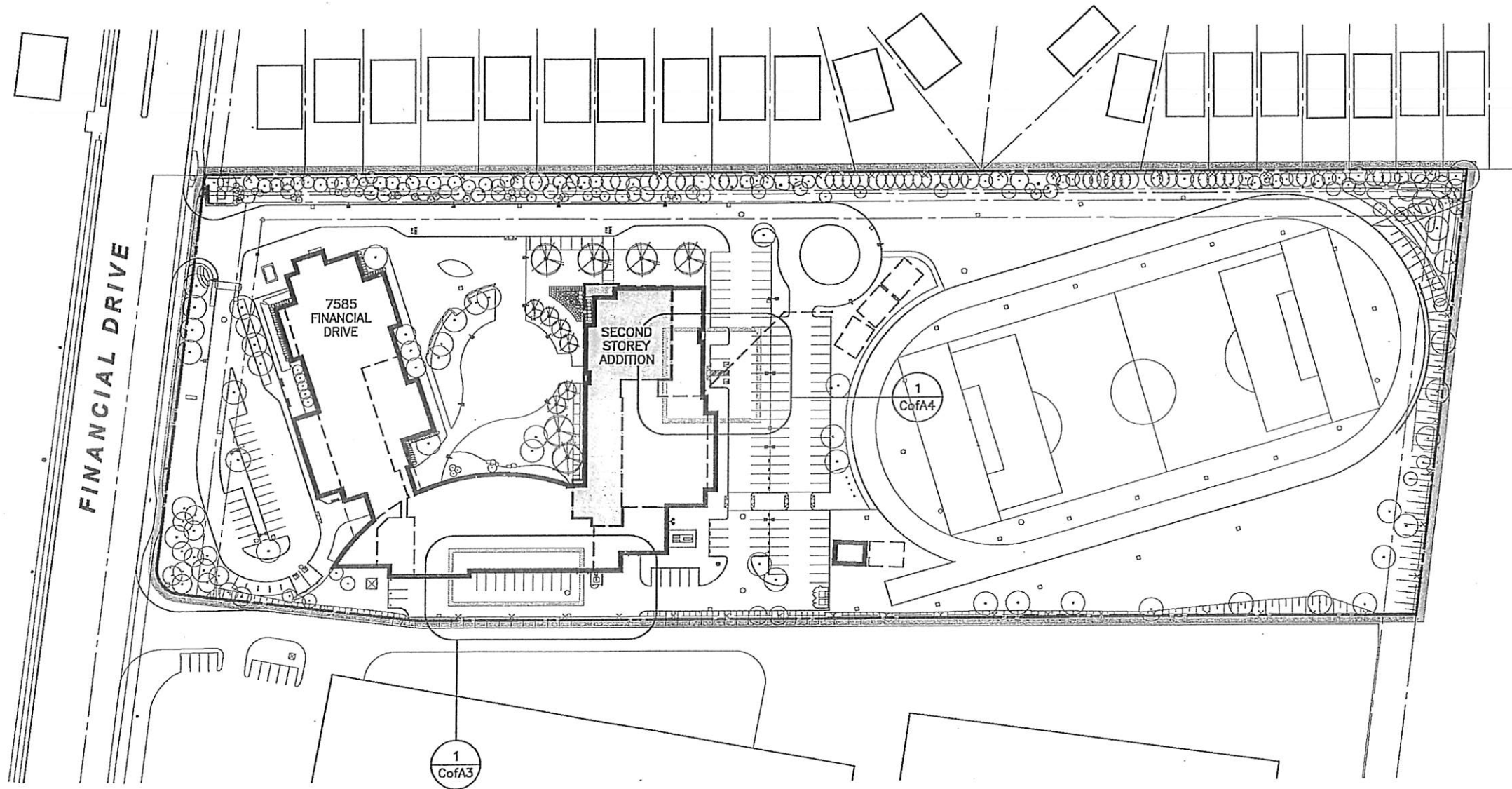
APPLICATION NO: **A-2021-0013**

DATED: **MARCH 9, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the owner finalize site plan approval under City File **SPA-2020-0178**, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services;
3. That the requirement for parking for any combination of uses permitted in the "M4-2757" zone, and any uses permitted by way of Minor Variance shall be calculated at the applicable parking rate in accordance with the Zoning By-law and shall not exceed 147 parking spaces;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



É.S. JEUNES SANS FRONTIÈRES CLASSROOM ADDITION

7585 Financial Drive
Brampton, Ontario

REV	DESCRIPTION	DATE
1	Rev. Parking Count	21.02.05



PROJECT NUMBER	j2006
DATE	21.02.02
SCALE	1:1500
DRAWN BY	AH

SITE PLAN

CofA-2



FILE NUMBER A-2021-0017

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY VINEET CHOUDHARY AND ALKA JAWLA

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a below grade entrance to be located between the main wall of a dwelling and the flankage lot line;
2. To permit an existing accessory structure (shed) having a side yard setback of 0.3m (0.98 ft.) and a rear yard setback of 0.4m (1.31 ft.).

(50 PORTRUSH TRAIL – PART OF LOT 310, PLAN 43M-1720, PART 23, PLAN 43R-31812)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

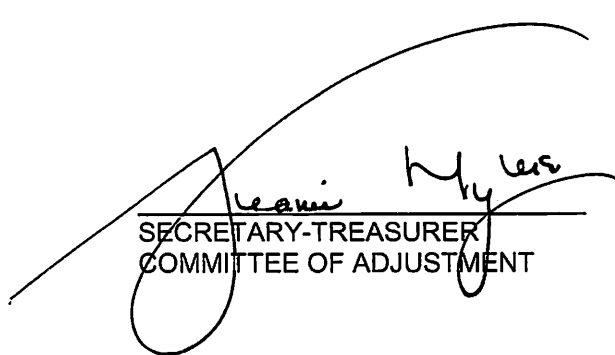
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

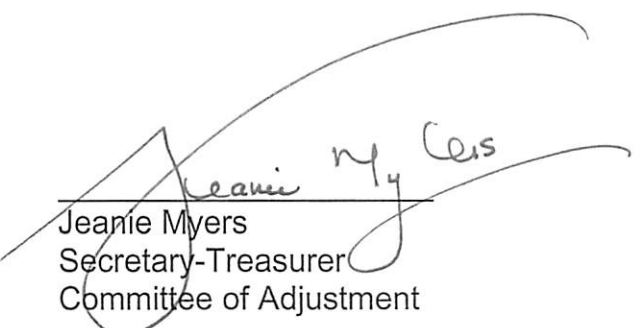
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0017**

DATED: **MARCH 9, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the applicant obtain a building permit for the below grade entrance within sixty (60) days of the final date of the Committee's decision, or within an extended period of time at the discretion of the Chief Building Official;
3. That the below grade entrance shall not be used to access an unregistered second unit;
4. That the fence remain constructed in its current location and height and shall not be removed or lowered;
5. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



FILE NUMBER A-2021-0018

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY MOHAMMED ALI

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an above grade door located on a side wall having an interior side yard setback of 0.93m (3.05 ft.), and having an associated step with a setback of 0.66m (2.17 ft.).

(139 ECCLESTONE DRIVE – LOT 86, PLAN M-792)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: A. C. Marques

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

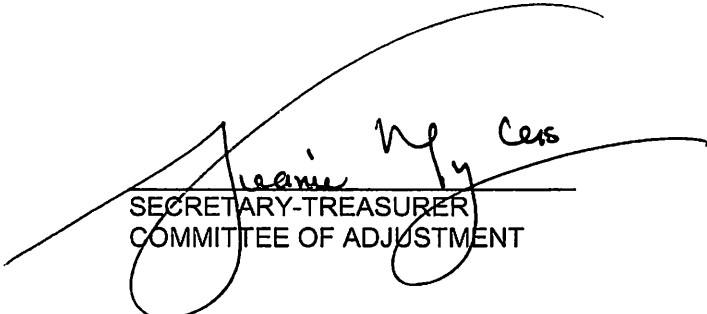
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.


SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

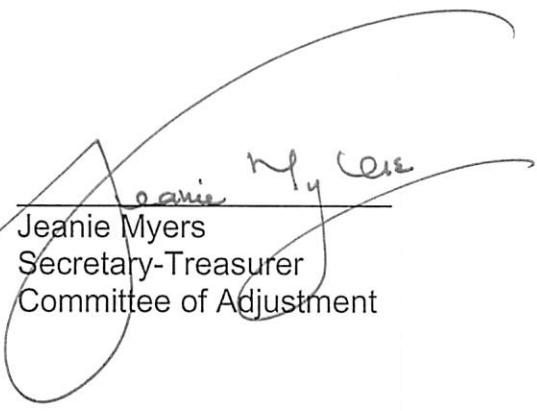
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0018**

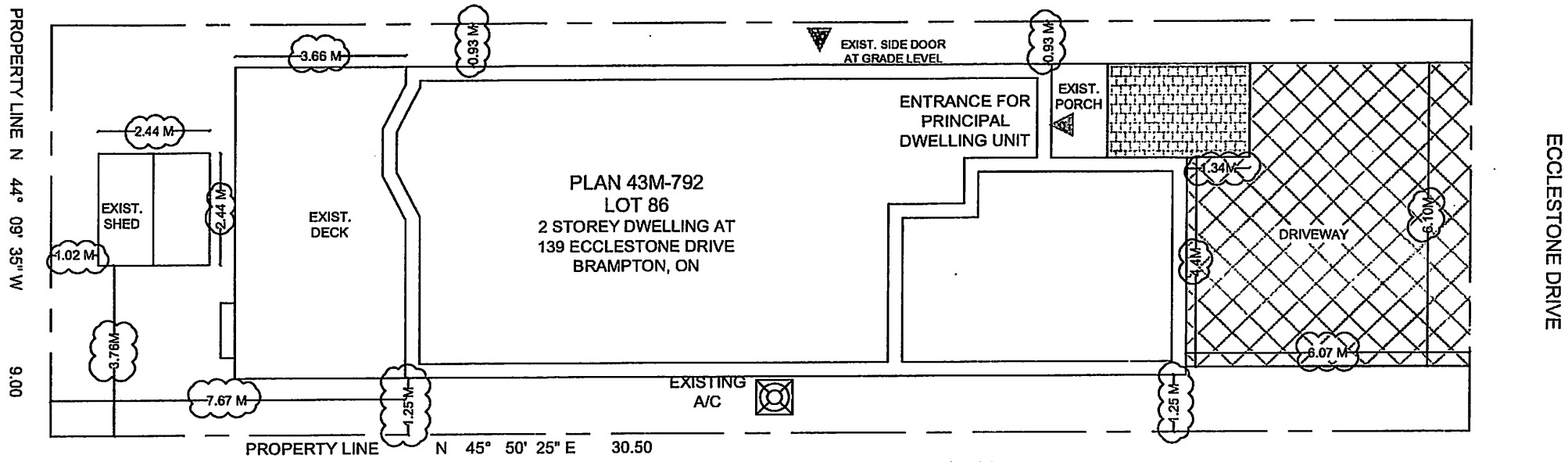
DATED: **MARCH 9, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the above grade door shall not be used to access a **registered** or an **unregistered** second unit;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS
 BASEMENT G.F.A = 68.45 M²

▲ ENTRANCE / EGRESS

SCOPE OF WORK

- ① LEGALIZATION OF AS BUILT FINISH BASEMENT
- ② ENLARGEMENT OF ONE WINDOW
- ③ LEGALIZATION OF AS BUILT SIDE ENTRANCE



NO.	DESCRIPTION	DATE
0	FOR BUILDING PERMIT	NOV / 30 / 2020

ENGINEER:
 **Mechways Inc.**
 2751 THAMESGATE DR.
 MISSISSAUGA, ON
 TEL: 905-678-7778
 mechways@gmail.com

PROJECT:
 139 ECCLESTONE DRIVE
 BRAMPTON, ON

TITLE: SITE PLAN	
CHECKED: MSS DRAWN: MSA SCALE: 1/8" = 1' DATE: NOV / 30 / 2020	DRAWING: A 0.1



FILE NUMBER A-2021-0019

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY LLOYDS DILLON

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a below grade entrance in a required side yard;
2. To permit an interior side yard setback of 0.0m to a below grade entrance.

(5 WETMEADOW DRIVE – LOT 108, PLAN 43M-1511)

THE REQUEST IS HEREBY REFUSED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance is not desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law is not maintained and the variance is not minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

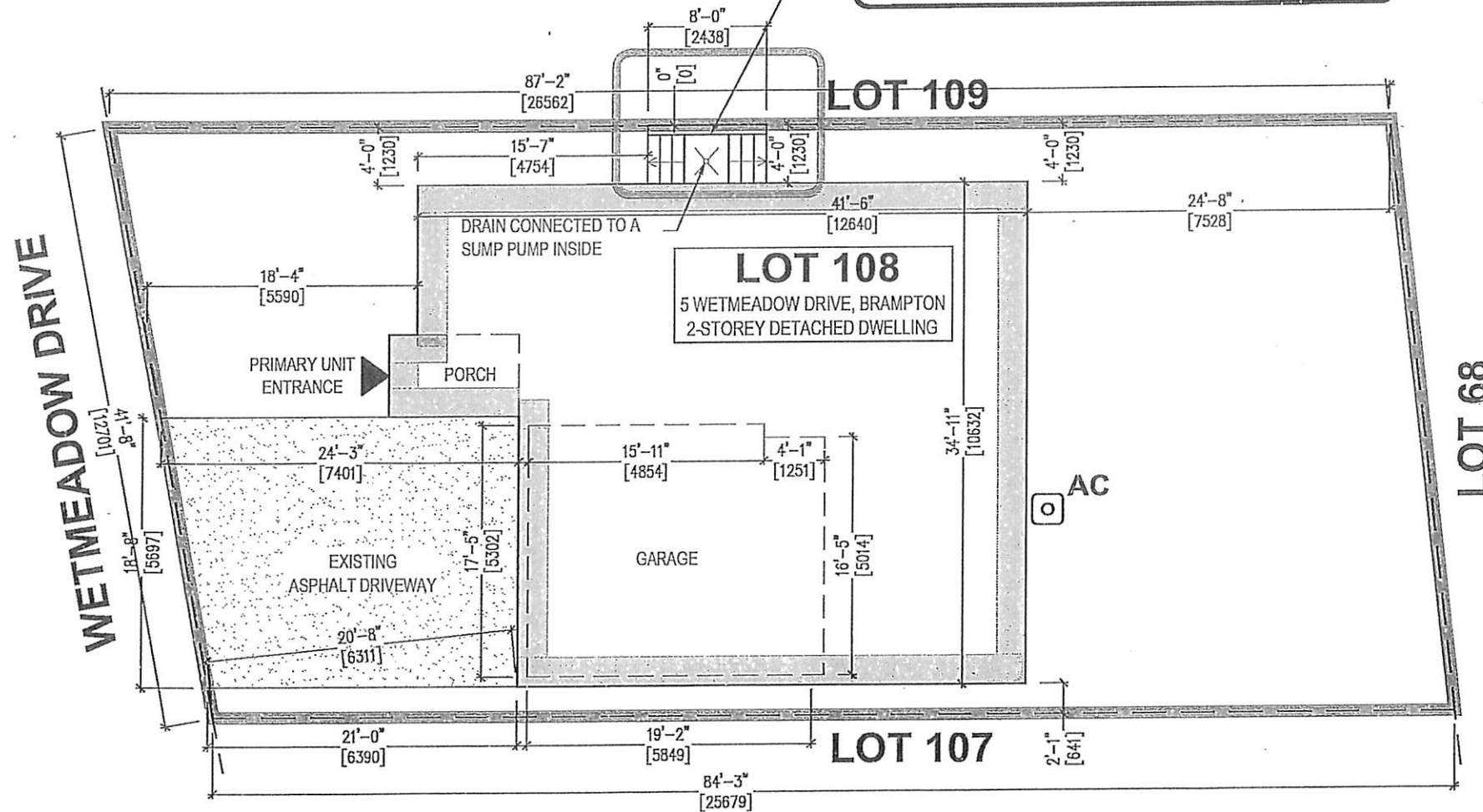
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SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

5 WETMEADOW DR, BRAMPTON

1. AS-BUILT BELOW GRADE ENTRANCE (2ND UNIT ENTRANCE)



No.	Description	Date

5 WETMEADOW DR,
BRAMPTON

Drawing by:
NESTA DESIGN CO.
48 COVEBANK CRESCENT
BRAMPTON, ON, L6P 2Y1
PHONE: 647-741-4552
EMAIL: amiri@nestadesign.ca

Checked by:

Drawn by	
Date	03/02/2021
DRAWING NAME	

SITE PLAN

SHEET NUMBER **COA**

1 SITE PLAN
3/32" = 1'-0"



FILE NUMBER A-2021-0020

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY DEONARINE SHEORATTAN AND SHANTA NALINI MISIR

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S) ASSOCIATED WITH A ONE STOREY ADDITION:

1. To permit a rear yard setback of 3.02m (9.91 ft.).

(21 SEASCAPE CRESCENT – LOT 56, PLAN 43M-1791)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: A. C. Marques

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

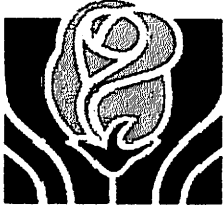
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SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

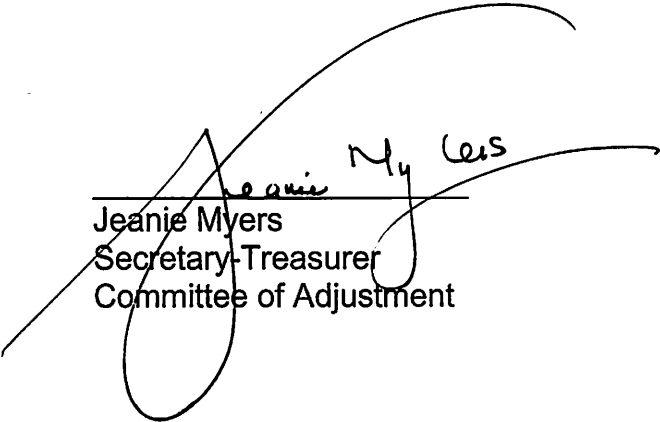
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0020**

DATED: **MARCH 9, 2021**

Conditions:

1. That the extend of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. The proposed addition shall not exceed a height of 4.2m (13.78 ft.) measured to the peak of the proposed roof;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

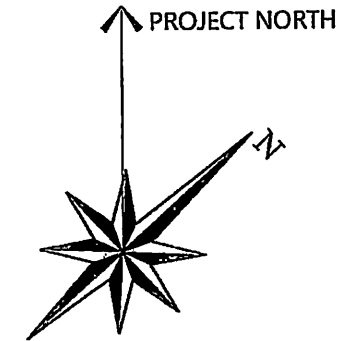
SITE STATISTICS		
	REQUIRED / PERMITTED	PROVIDED
LOT AREA	LOT WIDTH x 25 M =260 Sq. M	284.96 Sq. M
LOT WIDTH	10.40 M	10.40 M
LOT COVERAGE	-	EXISTING = 1135.00 SF / 105.45 SM PORCH = 57.00 SF / 5.30 SM ADDITION = 248.00 SF / 23.04 SM TOTAL = 1440.00 SF / 133.79 SM (53.75 %)
FRONT YARD SETBACK	4.5 M, 6.0 M TO GARAGE WALL	6.06 M
SIDE YARD SETBACK (N)	0.6 M, PROVIDED THE COMBINED TOTAL IS NOT LESS THAN 1.8 M	0.66 M & 1.25 M
SIDE YARD SETBACK (S)	0.6 M, PROVIDED THE COMBINED TOTAL IS NOT LESS THAN 1.8 M	0.66 M & 1.25 M
REAR YARD SETBACK	7.5 M	3.02 M
BUILDING HEIGHT	10.6 M	8.00 M +/- (EXIST)

ZONED: R1F-10.4, By-law as amended

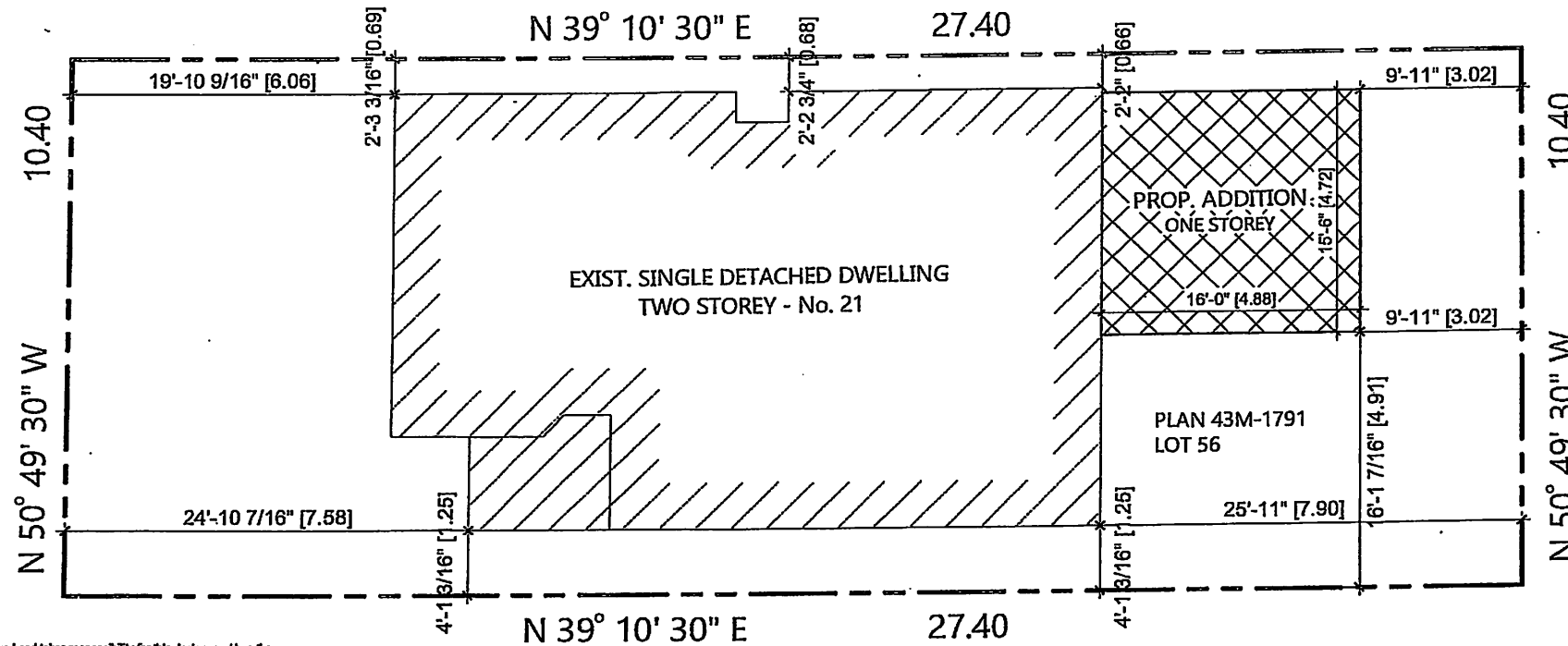


Zoning

Zone Code: R1F-10.4
Category: RESIDENTIAL
Type: R1F
Special Sections:
Split Zoned: N/O



SEASCAPE CRESCENT



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.

NAME: CRISTIN MILLER
SIGNATURE: *Cristin Miller*
BCIN: 38262

SITE PLAN

General Notes		
1. All construction shall comply with Ontario Building Code 2012, its subsequent revisions and authorities having jurisdiction. New specific materials and products have to be authorized by agencies like: Canadian Construction Materials Centre C.C.M.C. or Building Materials Evaluation Commission B.M.E.C. Manufacturer's items, materials and construction must comply with requirements of Canada Mortgage and Housing Corporation C.M.H.C.		
2. All lumber shall be No. 1 and 2, or better.		
3. All plywood shall be stamped exterior grade.		
4. Joists spanning more than 2100 mm are to have bridging at least every 2100 mm O.C.		
5. Contractor shall be responsible for verifying the locations of all existing above or below grade utilities and services. Applicable utilities shall be given required notice prior to any digging for stake out.		
6. Electrical facilities shall comply with O.B.C. 9.34. All electrical work shall be performed by a licensed electrician.		
7. Smoke Alarm installed at all levels, and in each bedroom.		
8. Carbon Monoxide Alarms installed at all levels adjacent to sleeping areas.		
9. Handrails shall be provided at all exterior stairs with more than three risers at height of 3'-0".		
10. Exterior guards shall be 3'-6" High. Guards shall be designed to prevent climbing and be provided around every surface with difference in elevation of more than 2'-0". Guards shall be anchored to the deck to resist uniformly distributed top rail load of 0.5 kN/m horizontal as well as 1 kN/m applied at any point. O.B.C. 9.8.8.2.		
No.	Revisions/Issue	Date
Firm Name and Address		
CMR Design 6456 Main Street, Scarffville Ontario, L4A 5Z4 (416) 795-3620		
Project Name and Address		
MISIR 21 SEASCAPE CRESCENT BRAMPTON, ONTARIO L6P 3C7		
Project	20-022	Sheet
Date	12.30.20	SP1
Scale	1:100	



FILE NUMBER A-2021-0021

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY JASWINDER SINGH AND AMARPREET KAUR

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

- 1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard;**
- 2. To permit an interior side yard setback of 0.10m (0.32 ft.) to the exterior stairway leading to a below grade entrance.**

(27 FALLSTAR CRESCENT – LOT 56, PLAN 43M-1791)

**THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)**

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

- 1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and**
- 2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.**

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

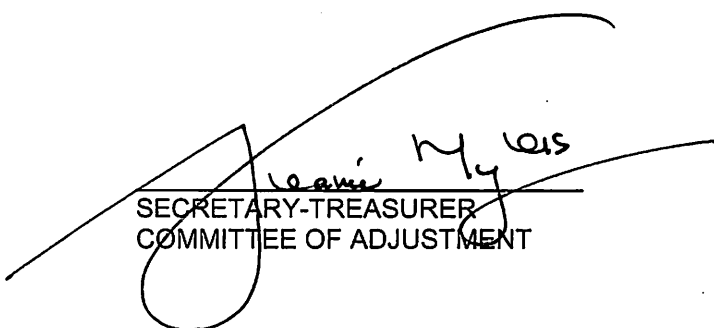
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

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I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.


SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

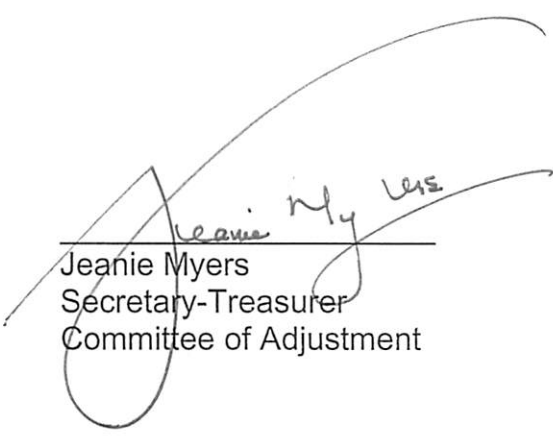
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0021**

DATED: **MARCH 9, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the applicant obtain a building permit for the below grade entrance within sixty (60) days of the final date of the Committee's decision, or within an extended period of time at the discretion of the Chief Building Official;
3. That the below grade entrance shall not be used to access an unregistered second unit;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



FILE NUMBER A-2021-0024

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY SCOTTISH HEATHER DEVELOPMENT INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S) ASSOCIATED WITH A PROPOSED SEMI-DETACHED DWELLING:

1. To permit a dwelling unit width of 5.56m (18.24 ft.).

(5 FORDHAM DRIVE – LOT 54 L, PLAN 43M-2097)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That a clause be included within the Agreement of Purchase and Sale for the property advising of the variances affecting the property. In the event the property has been sold, the applicant shall provide written confirmation to the Secretary-Treasurer that the purchaser acknowledges and accepts the variances;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

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I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



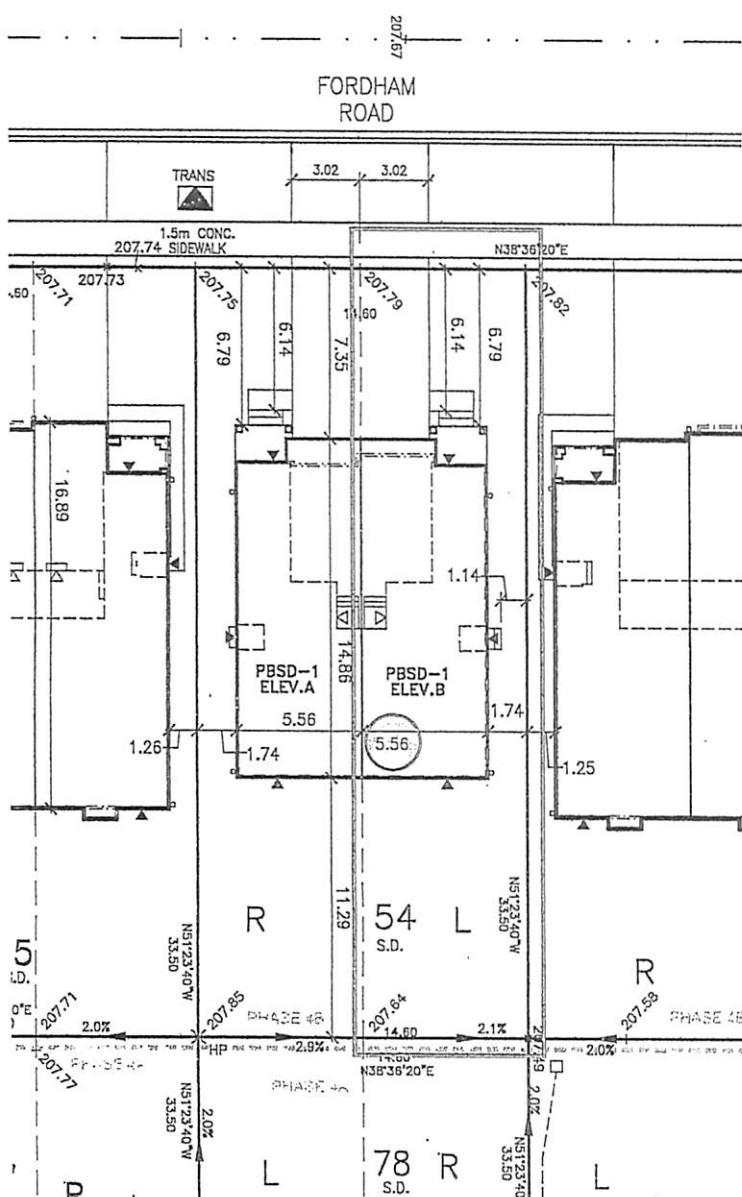
SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

1. Surveyor to comply with all current by-laws regarding set backs in laying out the work. Any discrepancies are to be reported to the Architect and the builder.
2. The contractor shall check and verify all given grade elevations, drainage, existing and proposed utilities prior to commencement of construction.
3. Builder to verify hydraulic, street lighting, transformers and other service locations. If minimum distances are not maintained, Builder to relocate at his own expense.
4. Footings to bear on natural undisturbed soil or rock and be a minimum of 122cm below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
5. All dimensions and grade elevations are given in meters and may be converted to feet by dividing by 0.3048.
6. Minimum slope for drainage in the swales is .2.0 %. Provide a min. 0.15m clearance from specified house grade and equals minor. Window sills shall be a minimum of 0.15m above finished grades. All side yard swales to be located on lot lines.
7. Rear yard surface slopes .2.0 % min. - 6.0 % max. Max allowable slope embankments 3:1 (horizontal to vertical) unless otherwise noted.
8. Driveway slopes 2.0 % min. - 6.0 % max.
9. Provide 1.2 m min. clearance from driveways to street lights and hydrants. 1.5 m min. from driveways to transformers.
10. Existing curb cuts to be rectified to suit new driveways where necessary. The obtaining for approval of curved driveways is the builders responsibility.
11. Builder to ensure water box is located in grass area, 1.0 m min. clearance from the edge of driveway.
12. Unless otherwise indicated, finished floor grade 0.55m above specified house grade at entry points to houses, and provision of three more at entry must be made to gain entry into house.
13. Provide knock ledge as required to ensure exposed concrete foundation wall does not exceed 0.20m (8"). Site super to verify conditions prior to construction.

F.F.	FINISHED FLOOR LEVEL	△	GARAGE OR OPTIONAL HOUSE ENTRANCE
T.F.	TOP OF FOUNDATION FOUR	○	DROP GRADE BLAD
F.B.	FINISHED BASEMENT LEVEL	○	DOWN SPOUT LOCATION
U.S.	UNDERSIDE OF FOOTING	-H-	HYDRO SERVICE
000.00	PROPOSED GRADE	ND	NO DOOR
000.00	EXISTING GRADE	CT △	CABLE TV PEDISTAL
000.00	FOOTINGS HAVE BEEN EXTENDED	BP <input checked="" type="checkbox"/>	BELL PEDISTAL
★	DEMOTES LOT WITH ENGINEER FILL	<input checked="" type="checkbox"/> B.G.L.	BEL GRADE (LEVEL BOX) (P.T.G.)
--- --	EXTENT OF ENGINEER FILL	⊙	CORNER LOT (Cable & Rear upgrade)
→	DOUBLE SEWER SERVICE	R	REAR UPGRADE
→	SINGLE SEWER SERVICE	△	SIDE UPGRADE
→	WATER SERVICE	AB	ALL BRICK
1/4" ◇	HYDRANT	=====	45 MIN. RATED WALL
⊙	STREET LIGHTING	<input checked="" type="checkbox"/> B.G.L.	ROCKERS GRADE LEVEL BOX (P.T.G.)
△	TRANSFORMER	FLAT	ROCKERS HAP VAULT (P.T.G.)
		FLAT	ROCKERS PEDISTAL (A.G.)
		FLAT	ROCKERS PEDISTAL (A.G.)



KEY PLAN N.T.S.

1. THE PROPOSED ELEVATIONS AT BUILDINGS AND THE BASIC DIRECTION OF SURFACE DRAINAGE WILL BE SUBJECT TO DETAILED DESIGN WHEN HOUSE TYPES AND PLOT PLANS ARE AVAILABLE.
2. REAR TO FRONT DRAINAGE CAN BE ACCOMMODATED ONLY IF THE SEPARATION BETWEEN UNITS IS 6.4M.
3. THE HOUSE TYPE AND DRIVEWAY LOCATION SHALL NOT BE CHANGED WITHOUT CITY OF BRAMPTON APPROVAL.
4. WHERE POSSIBLE DOWNSPOUTS SHALL DISCHARGE TO THE GROUND SURFACE VIA SPLASH PADS TO THE FRONT OF THE HOUSE.
5. A MINIMUM AREA OF 5.0m SHALL BE GRADED AT 2.0% AT THE REAR OF THE HOUSE.
6. A MINIMUM AREA OF 7.5m SHALL BE GRADED AT 2.0% AT THE REAR OF THE HOUSE FOR THE FRONT DRIVEWAY.
7. A MINIMUM CLEARANCE OF 0.15m CLEARANCE MUST BE PROVIDED BETWEEN THE BRICKLINE AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
8. A MINIMUM CLEARANCE OF 0.20m MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
9. ALL TOP GRADING MUST COMPLY WITH CITY OF BRAMPTON STANDARDS 420 AND 421 UNLESS OTHERWISE NOTED.
10. DRIVEWAYS SHALL BE GRADED AT A MINIMUM OF 2.0% AND MAXIMUM OF 8.0% SLOPE.
11. A 0.6M SEPARATION SHALL BE PROVIDED BETWEEN DRIVEWAYS.
12. ALL AREAS BEYOND THE PLAN OF SUBDIVISION, WHICH ARE DISTURBED DURING CONSTRUCTION, SHALL BE RESTORED TO THE SATISFACTION OF THE CITY OF BRAMPTON AT THE CONTRACTOR'S EXPENSE.
13. ALL OPEN SPACE BLOCKS AND VARIOUS LANDS SHALL BE MAINTAINED FREE OF GARDAGE AND CONSTRUCTION DEBRIS BY THE DEVELOPER UNTIL ASSUMPTION OF THE SUBDIVISION BY THE CITY OF BRAMPTON.
14. WHERE CORNER LOT FRONT SETBACK IS REQUIRED BY THE CITY, THE SLOPE FROM THE NEAREST POINT AT THE DWELLING TO ANY POINT ALONG THE FENCE SHALL NOT EXCEED 5%.
15. DRIVEWAYS ARE TO HAVE A MINIMUM SEPARATION OF 0.6m AT CURBS AND SHALL NOT CROSS THE PROJECTION OF THE PROPERTY LINE.
16. THE MAXIMUM SLOPE ON THE LOTS SHALL BE 3%V, EXCEPT BETWEEN UNITS WHERE THE MAXIMUM SLOPE SHALL BE 8%V.
17. SWALE GRADES SHALL BE A MINIMUM OF 2%V AND A MAXIMUM OF 6.0%. SWALES SHALL HAVE A MAXIMUM SIDE SLOPE OF 3:1H:1V, A MINIMUM DEPTH OF 0.15m AND A MINIMUM DEPTH OF 0.3m. SWALES ALONG THE LOT LINE BETWEEN HOUSES SHALL HAVE A MAXIMUM DEPTH OF 0.2m.
18. FOOTINGS TO BE FOUND IN UNDISTURBED NATIVE SOIL OR, IF LOCATED IN ENGINEERED FILL, FOUNDATIONS SHALL BEIN ACCORDANCE WITH THE REGIONAL FOUNDATIONS OF, AND CERTIFIED IN THE FIELD BY, A GEOTECHNICAL ENGINEER.



This lot is in an area of Engineered Fill. The Builder is to have a qualified Geotechnical Engineer confirm the suitability of the footing subgrade prior to constructing footings. Extend footings into Engineered Fill as per soil report recommendations. Lot: 54 L+R

BUILDING HEIGHT:	LOT: 54R
BUILDING HEIGHT:	8.72 m
MAXIMUM BUILDING HEIGHT BY LAW:	11.60 m
LOT STATISTICS:	LOT: 54R
GARAGE DOOR WIDTH:	2.44 m
INTERIOR GARAGE WIDTH:	3.00 m
INTERIOR GARAGE LENGTH:	6.10 m

 GREAT GULF	 <small>BUILDING SETTER BY DESIGN</small>	Lot no. : 54 L+R		
		Plan no. 43M-2097		
		Scale : 1:250	2	02/04/2021 LOT 54 L+R FOR COA
		Date: MARCH 2020	2	10/23/2020 LOT 54 L+R FOR FINAL
			1	09/09/2020 LOT 54 L+R SITE + GRADE
Location : BRAMPTON, ONTARIO	Job No. : 2001	SCOTTISH HEATHER DEVELOPMENT INC.		
		PB18D		

RIVERVIEW HEIGHTS
SUBDIVISION

GREAT GULF PHASE 4B
BLOCK 40-3



FILE NUMBER A-2021-0025

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY SCOTTISH HEATHER DEVELOPMENT INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S) ASSOCIATED WITH A PROPOSED SEMI-DETACHED DWELLING:

1. To permit a dwelling unit width of 5.56m (18.24 ft.).

(7 FORDHAM DRIVE – LOT 54 R, PLAN 43M-2097)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That a clause be included within the Agreement of Purchase and Sale for the property advising of the variances affecting the property. In the event the property has been sold, the applicant shall provide written confirmation to the Secretary-Treasurer that the purchaser acknowledges and accepts the variances;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

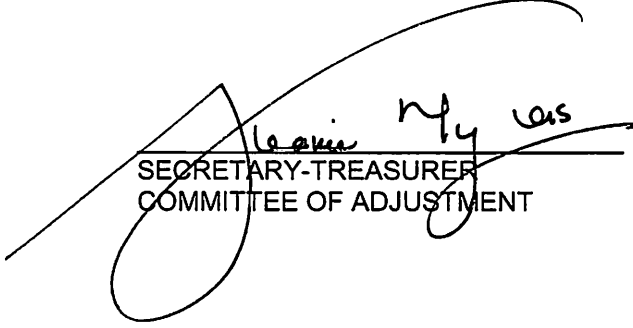
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

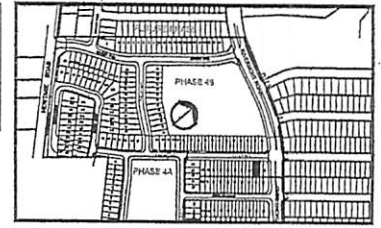
General Notes:

1. Surveyor to comply with all current by-laws regarding set backs in laying out the work. Any discrepancies are to be reported to the Architect and the builder.
2. The contractor shall check and verify all given grade elevations, drainage, existing and proposed utilities prior to commencement of construction.
3. Builder to verify hydrant, street light, transformers and other services locations. If minimum clearances are not maintained, Builder to relocate at his own expense.
4. Footings to bear on natural undisturbed soil or rock and be a minimum of 122mm below finished grade. Underneath of footings shown are taken from architectural plans and may not represent actual footing level.
5. All dimensions and grade elevations are given in meters and may be converted to feet by dividing by 0.3048.
6. Minimum slope for drainage in the swales is 2.0 %. Provide a min. 0.15m between specified house grade and swale invert. Window sills shall be a minimum of 0.15m above finished grades. All side yard swales to be located on lot lines.
7. Rear yard surface slope 2.0 % min. - 6.0 % max. Max allowable slope embankments 3:1 (horizontal to vertical) unless otherwise noted.
8. Driveway slope 2.0 % min. - 8.0 % max.
9. Provide 1.2 m min. clearance from driveways to street lights and hydrants. 1.5 m min. from driveways to transformers.
10. Existing curb cuts to be rectified to suit new driveways where necessary. The obtaining for approval of curved driveways is the builders responsibility.
11. Builder to ensure water box is located in grass area, 1.0 m min. clearance from the edge of driveway.
12. Unless otherwise indicated, finished floor grade 0.55m above specified house grade at entry points to house, and provision of three risers at entries must be made to gain entry into house.
13. Provide brick ledge as required to ensure exposed concrete foundation wall does not exceed 0.20m (8"). Site super to verify conditions prior to construction.

LEGEND

F.F.	FINISHED FLOOR LEVEL	△	HOUSE ENTRANCE
T.F.	TOP OF FOUNDATION FOUR	△	GARAGE OR OPTIONAL HOUSE ENTRANCE
F.B.	FINISHED BASEMENT LEVEL	○	EXIST'G GRADE SLAB
U.S.	UNDERSIDE OF FOOTING	○	DOWN SPOUT LOCATION
000.00	PROPOSED GRADE	TEF (000.00)	TOP OF ENGINEER FILL
000.00	EXISTING GRADE	ND	NO DOOR
000.00	FOOTINGS HAVE BEEN EXTENDED	CT △	CABLE TV FEDESTAL
000.00	EXTENDED LOT WITH ENGINEER FILL	BP	BELL FEDESTAL
000.00	EXTENT OF ENGINEER FILL	BP	BELL FEDESTAL
000.00	DOUBLE SEWER SERVICE	BP	BELL FEDESTAL
000.00	SINGLE SEWER SERVICE	BP	BELL FEDESTAL
000.00	WATER SERVICE	BP	BELL FEDESTAL
000.00	HYDRANT	BP	BELL FEDESTAL
000.00	STREET LIGHTING	BP	BELL FEDESTAL
000.00	TRANSFORMER	BP	BELL FEDESTAL

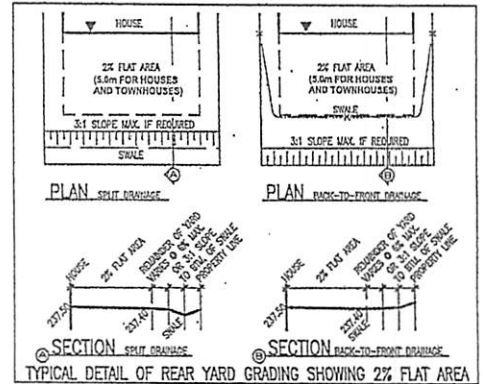
NOTE :
BUILDER TO VERIFY
SANITARY AND STORM INVERT
ELEVATIONS PRIOR TO
EXCAVATION FOR FOOTINGS.



KEY PLAN N.T.S.

NOTE

1. THE PROPOSED ELEVATIONS AT BUILDINGS AND THE BASIC DIRECTION OF SURFACE DRAINAGE WILL BE SUBJECT TO DETAILED DESIGN WHEN HOUSE TYPES AND PLOT PLANS ARE AVAILABLE.
2. REAR TO FRONT DRAINAGE CAN BE ACCOMMODATED ONLY IF THE SEPARATION BETWEEN UNITS IS 2.4m.
3. THE HOUSE TYPE AND DRIVEWAY LOCATION SHALL NOT BE CHANGED WITHOUT CITY OF BRAMPTON APPROVAL.
4. WHERE POSSIBLE DOWNSPOUTS SHALL DISCHARGE TO THE GROUND SURFACE VIA SPLASH PADS TO THE FRONT OF THE HOUSE.
5. A MINIMUM AREA OF 5.0m SHALL BE GRADED AT 2.0% AT THE REAR OF THE HOUSE.
6. A MINIMUM AREA OF 7.5m SHALL BE GRADED AT 2.0% AT THE REAR OF THE HOUSE FOR REVERSE FRONTAGE LOTS.
7. A MINIMUM OF 0.15m CLEARANCE MUST BE PROVIDED BETWEEN THE BRICKLINE AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
8. A MINIMUM CLEARANCE OF 0.20m MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
9. ALL LOT GRADING MUST COMPLY WITH CITY OF BRAMPTON STANDARDS 420 AND 421 UNLESS OTHERWISE NOTED.
10. DRIVEWAYS SHALL BE GRADED AT A MINIMUM OF 2.0% AND MAXIMUM OF 8.0% SLOPE.
11. A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN DRIVEWAYS.
12. ALL AREAS BEYOND THE PLAN OF SUBDIVISION, WHICH ARE DISTURBED DURING CONSTRUCTION, SHALL BE RESTORED TO THE SATISFACTION OF THE CITY OF BRAMPTON AT THE CONTRACTOR'S EXPENSE.
13. ALL OPEN SPACE BLOCKS AND VALLEY LANDS SHALL BE MAINTAINED FREE OF GARBAGE AND CONSTRUCTION DEBRIS BY THE DEVELOPER UNTIL ASSUMPTION OF THE SUBDIVISION BY THE CITY OF BRAMPTON.
14. WHERE CORNER LOT FENCING IS REQUIRED BY THE CITY, THE SLOPE FROM THE NEAREST POINT AT THE DWELLING TO ANY POINT ALONG THE FENCE SHALL NOT EXCEED 6%.
15. DRIVEWAYS ARE TO HAVE A MINIMUM SEPARATION OF 0.6m AT CURBS AND SHALL NOT CROSS THE PROJECTION OF THE PROPERTY LINE.
16. THE MAXIMUM SLOPE ON THE LOTS SHALL BE 3:1, EXCEPT BETWEEN UNITS WHERE THE MAXIMUM SLOPE SHALL BE 6:1.
17. SWALE GRADES SHALL BE A MINIMUM OF 2.0% AND A MAXIMUM OF 6.0%. SWALES SHALL HAVE A MAXIMUM SIDE SLOPE OF 3:1, A MINIMUM DEPTH OF 0.15m AND A MAXIMUM DEPTH OF 0.3m. SWALES ALONG THE LOT LINE BETWEEN HOUSES SHALL HAVE A MAXIMUM DEPTH OF 0.2m.
18. FOOTINGS TO BE FOUND ON UNDISTURBED NATIVE SOIL OR, IF LOCATED IN ENGINEERED FILL, FOUNDATIONS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF, AND CERTIFIED IN THE FIELD BY, A GEOTECHNICAL ENGINEER.



HOMECAD PLAN DESIGNS Inc.

FIRM BCIN : 115056
Qualified Designer BCIN : 23933
Stephen Salfanyos have reviewed and take responsibility for this design.

ENGINEERED FILL
This lot is in an area of Engineered Fill.
The Builder is to have a qualified Geotechnical Engineer confirm the suitability of the footing subgrade prior to constructing footings. Extend footings into Engineered Fill as per soil report recommendations.
Lot: 54 L+R

BUILDING HEIGHT:	LOT: 54L
BUILDING HEIGHT.....	8.72 m
MAXIMUM BUILDING HEIGHT (BYLAW).....	11.60 m
LOT STATISTICS:	LOT: 54L
GARAGE DOOR WIDTH.....	2.44 m
INTERIOR GARAGE WIDTH.....	3.00 m
INTERIOR GARAGE LENGTH.....	6.10 m

BUILDING HEIGHT:	LOT: 54R
BUILDING HEIGHT.....	8.72 m
MAXIMUM BUILDING HEIGHT (BYLAW).....	11.60 m
LOT STATISTICS:	LOT: 54R
GARAGE DOOR WIDTH.....	2.44 m
INTERIOR GARAGE WIDTH.....	3.00 m
INTERIOR GARAGE LENGTH.....	6.10 m

GREAT GULF	DR	Lot no. : 54 L+R	
		Plan no. : 43M-2097	
		Scale : 1:250	
		Date : MARCH 2020	
Location : BRAMPTON, ONTARIO	Job No. : 2001	SCOTTISH HEATHER DEVELOPMENT INC.	PB18D

RIVERVIEW HEIGHTS
SUBDIVISION
GREAT GULF PHASE 4B
BLOCK 40-3



FILE NUMBER A-2021-0027

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY NINA ASENSIO AND JOE ASENSIO

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; **ZONING BY-LAW 270-2004** AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an accessory structure (covered patio) having a gross floor area of 29.18 sq. m (314.09 sq. ft.);
2. To permit an accessory structure (covered patio) having a maximum height of 3.60m (11.81 ft.).

(125 ELIZABETH STREET SOUTH – PART OF LOTS 36 AND 37, PLAN J-13, PART OF LOT 17, PLAN BR-27)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

PLAN OF SURVEY OF:

LOT 36, PLAN BR-27
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

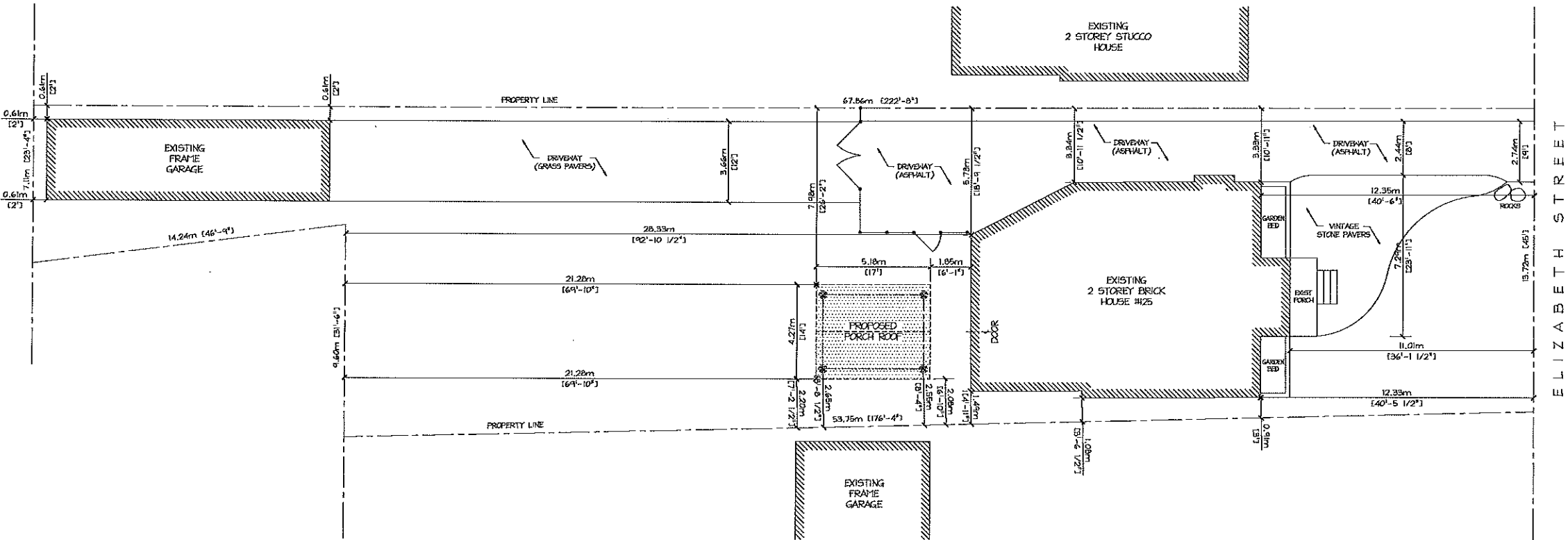
NOTE: INFORMATION FOR THIS SITE PLAN TAKEN FROM
THE SURVEY PROVIDED BY CITY OF BRAMPTON
DATED: FEBRUARY 10, 1988.

SITE STATISTICS:	AREA (m) ²
LOT GROSS AREA:	856.94
EXISTING HOUSE FOOTPRINT:	125.69
PROPOSED PORCH ROOF AREA:	22.11
PROPOSED PORCH ROOF HEIGHT:	3.60m



NOTE:

1. MIDTOWN TECHNICAL SERVICES ARE NOT RESPONSIBLE FOR ANY LIABILITY DUE TO THE USE OF THESE DRAWINGS. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THEIR INTEGRITY AND ACCURACY, THEY SHOULD BE REVIEWED BY A STRUCTURAL ENGINEER IF THERE IS ANY EXIST BEFORE CONSTRUCTION.
2. ALL CONSTRUCTION MUST CONFORM TO THE (OBC) ONTARIO BUILDING CODE, ALL LOCAL CODES AND GOOD CONSTRUCTION PRACTICES.
3. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL JOB SITE DIMENSIONS, DETAILS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, IN WRITING TO MIDTOWN TECHNICAL SERVICES PRIOR TO COMMENCING ANY WORK ON SITE.



1 SITE PLAN
SPI SCALE: 1"=150'-0"

REV	DESCRIPTION	DATE	BY
2	Driveway and Measurements Added	Feb 22 21	
1	Submitted for COA	Feb 04 21	

MIDTOWN Technical Services
DESIGN, PERMITS & PROJECT MANAGEMENT
1045 TOWER CRESCENT, KILWORTHY, ONTARIO
(C) 416-315-4184 (T) 705-955-8184
www.mktowntechnicalservices.com

CLIENT:
ASUSA RESIDENCE
125 ELIZABETH STREET SOUTH
BRAMPTON, ONTARIO

DRAWING TITLE:
**SITE PLAN
PROPOSED FREESTANDING PORCH ROOF**

DRAWN BY:
MIDTOWN
DATE:
Feb 04 21
SCALE:
AS NOTED
CHECKED:

PROJECT No:

REFERENCE:

DRAWING No.

SP-1



Committee of Adjustment

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY **BALDEV NAYYAR AND PHOOL NAYYAR**

1. To permit a rear yard setback of 4.19m (13.75 ft.) to a proposed;
2. To permit a deck to encroach a maximum of 4.31m (14.14 ft.) into the required rear yard resulting in a rear yard setback of 3.19m (10.14 ft.).

(28 BLACKWELL PLACE – LOT 76, PLAN 43M-785)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF
BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision; and
2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: A. C. Marques

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

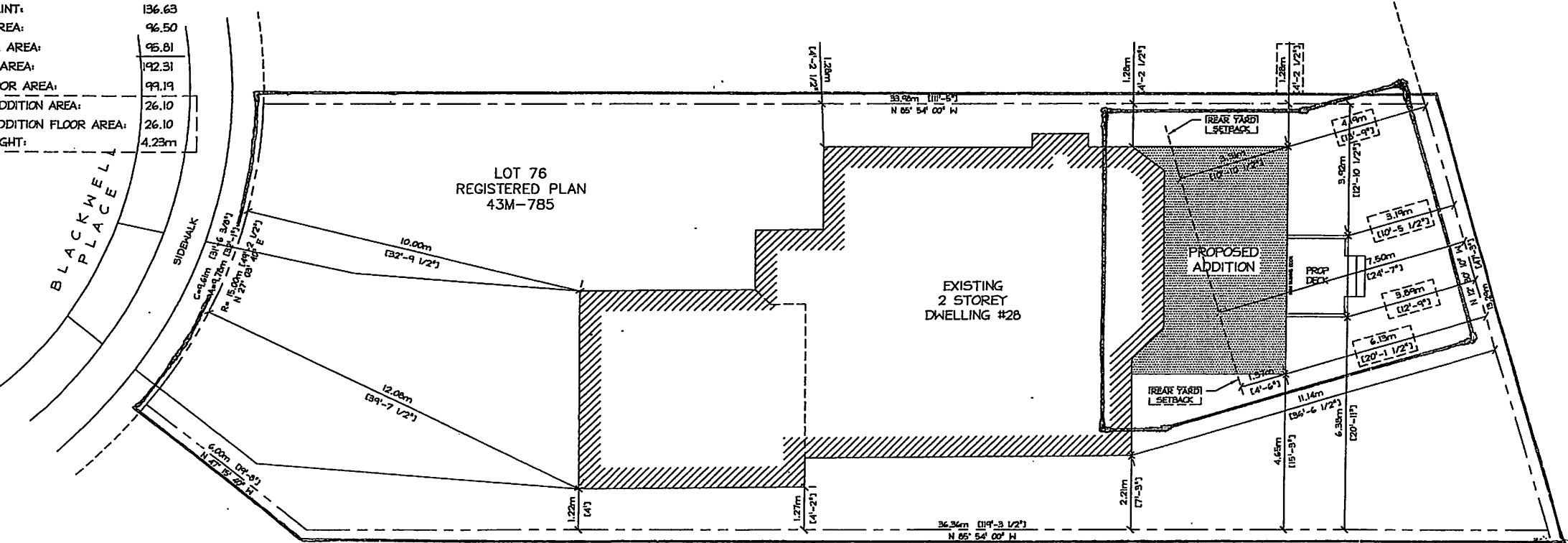
I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.

~~SECRETARY-TREASURER~~
~~COMMITTEE OF ADJUSTMENT~~

PLAN OF SURVEY OF:
LOT 76, REGISTERED PLAN 43M-785
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

INFORMATION FOR THIS PLAN TAKEN FROM SURVEY
AS PROVIDED BY CLIENT

SITE STATISTICS:	AREA (m) ²
LOT GROSS AREA:	470.02
EXISTING HOUSE FOOTPRINT:	136.63
EXISTING MAIN FLOOR AREA:	96.50
EXISTING SECOND FLOOR AREA:	95.81
EXISTING GROSS FLOOR AREA:	192.31
EXISTING BASEMENT FLOOR AREA:	99.19
PROPOSED MAIN FLOOR ADDITION AREA:	26.10
PROPOSED BASEMENT ADDITION FLOOR AREA:	26.10
PROPOSED ADDITION HEIGHT:	4.23m



1 SITE PLAN
SPI SCALE: 3/32"=1'-0"

REV	DESCRIPTION	DATE	BY
1	Submitted for COA	Feb 07 21	

MIDTOWN Technical Services
DESIGN, PERMITS & PROJECT MANAGEMENT
1045 TOWER CRESCENT, KILWORTHY, ONTARIO
(C) 416-315-4184 (T) 705-955-8184
www.midtowntechnicalservices.com

CLIENT:
NAYYAR RESIDENCE
28 BLACKWELL PLACE
BRAMPTON ONTARIO
DRAWING TITLE:
**SITE PLAN
PROPOSED ADDITION**

DRAWN BY:	PROJECT No:
MIDTOWN	
DATE	REFERENCE
Aug 12 19	
SCALE:	DRAWING No.
AS NOTED	SP-1
CHECKED:	

1. MIDTOWN TECHNICAL SERVICES ARE NOT RESPONSIBLE FOR ANY LIABILITY DUE TO THE USE OF THESE DRAWINGS, WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THEIR INTEGRITY AND ACCURACY, THEY SHOULD BE EXAMINED BY A STRUCTURAL ENGINEER IF THERE IS ANY DOUBT BEFORE CONSTRUCTION.

2. ALL CONSTRUCTION MUST CONFORM TO THE (CBC) ONTARIO BUILDING CODE, ALL LOCAL CODES AND GOOD CONSTRUCTION PRACTICES.

3. DO NOT SCALE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL JOB SITE DIMENSIONS, DETAILS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, IN WRITING TO MIDTOWN TECHNICAL SERVICES PRIOR TO COMMENCING ANY WORK ON-SITE.



FILE NUMBER A-2021-0031

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY HASSAN MURAD AND SHIFA MASOOD

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; **ZONING BY-LAW 270-2004** AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a below grade entrance in the required interior side yard;
2. To permit a combined total width of 0.97m (3.18 ft.) for both interior side yards on an interior lot.

(33 DONOMORE DRIVE – LOT 271, PLAN 43M-1812)

THE REQUEST IS HEREBY REFUSED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance is not desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law is not maintained and the variance is not minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: A. C. Marques

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

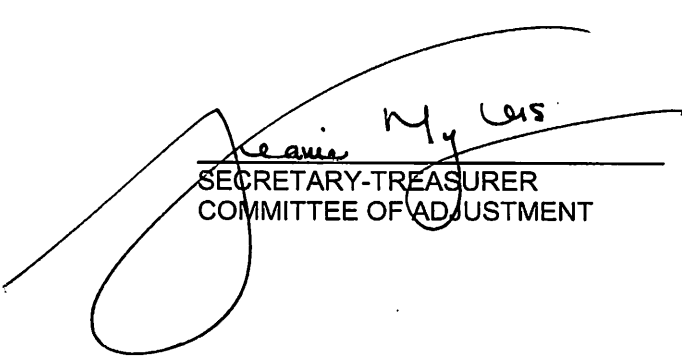
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

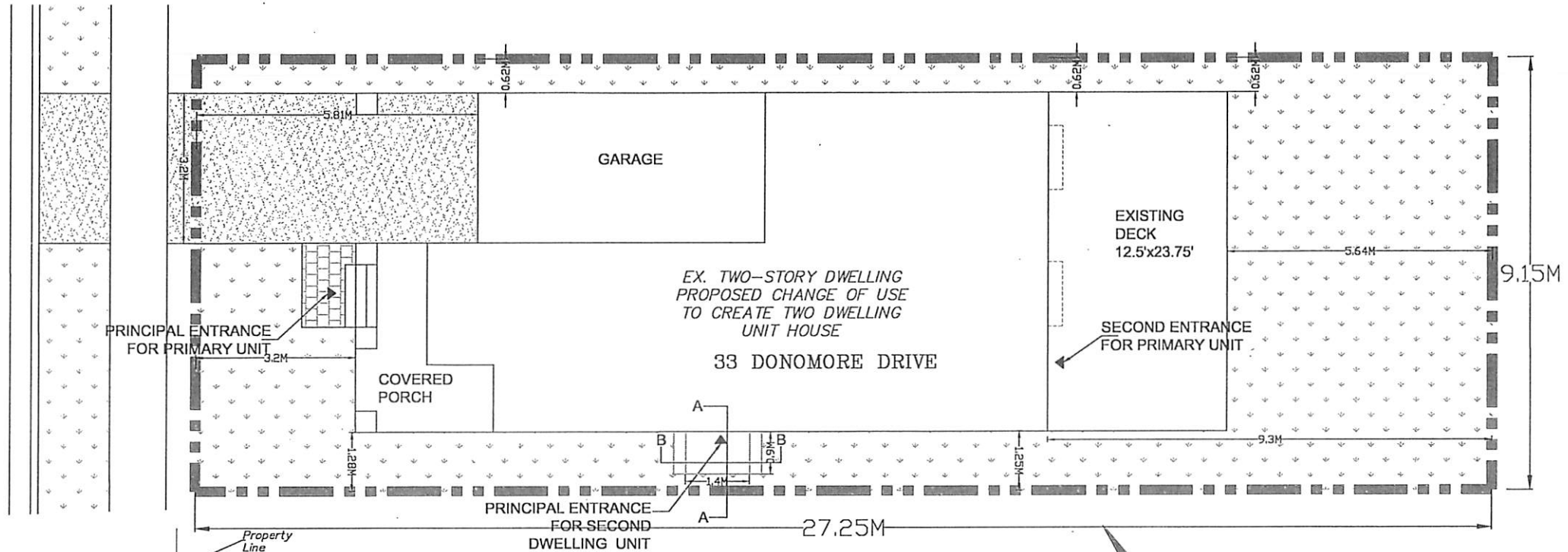
NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



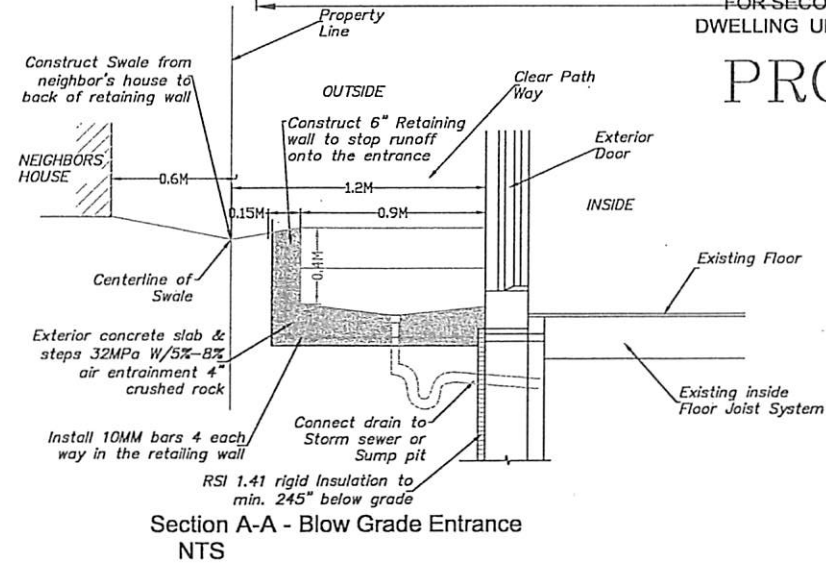
SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

DONOMORE DRIVE

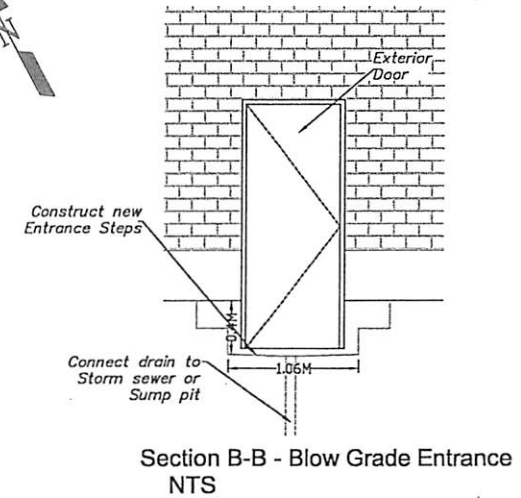


PROPOSED SITE PLAN

SCALE 1" = 8'



Two Story House
Main Dwelling = 172 m²
Basement Dwelling = 45.06 m²



SIDE YARD VARIANCE APPLICATION

33 DONOMORE DRIVE,
BRAMPTON, ONTARIO

Project CHANGE OF USE TWO UNIT HOUSE	Sheet C2
Date 01/26/2021	SHEET 2 OF 2
Scale	



CANADIAN INFRASTRUCTURE DESIGN CONSULTANTS
CONSULTING ENGINEERS
12 MANDARIN CRESCENT
BRAMPTON, ON L6S 2S3

TEL. (647) 300-6354

No.	Revision/Issue	Date
1	FIRST ISSUE	



FILE NUMBER A-2021-0032

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY PD COMMERCIAL MAYFIELD ROAD INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a an office, including the office of a physician, dentist or drugless practitioner;

(1455, 1465, AND 1475 MAYFIELD ROAD – BLOCK 195, PLAN 43M-1947)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

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MOVED BY: D. Doerfler

SECONDED BY: A. C. Marques

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

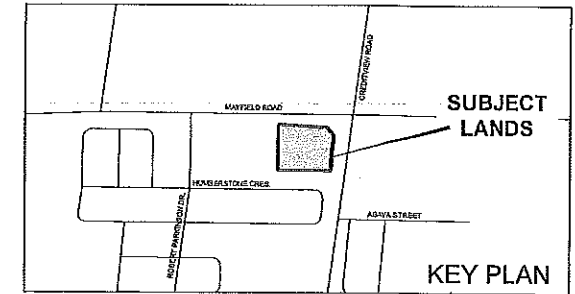
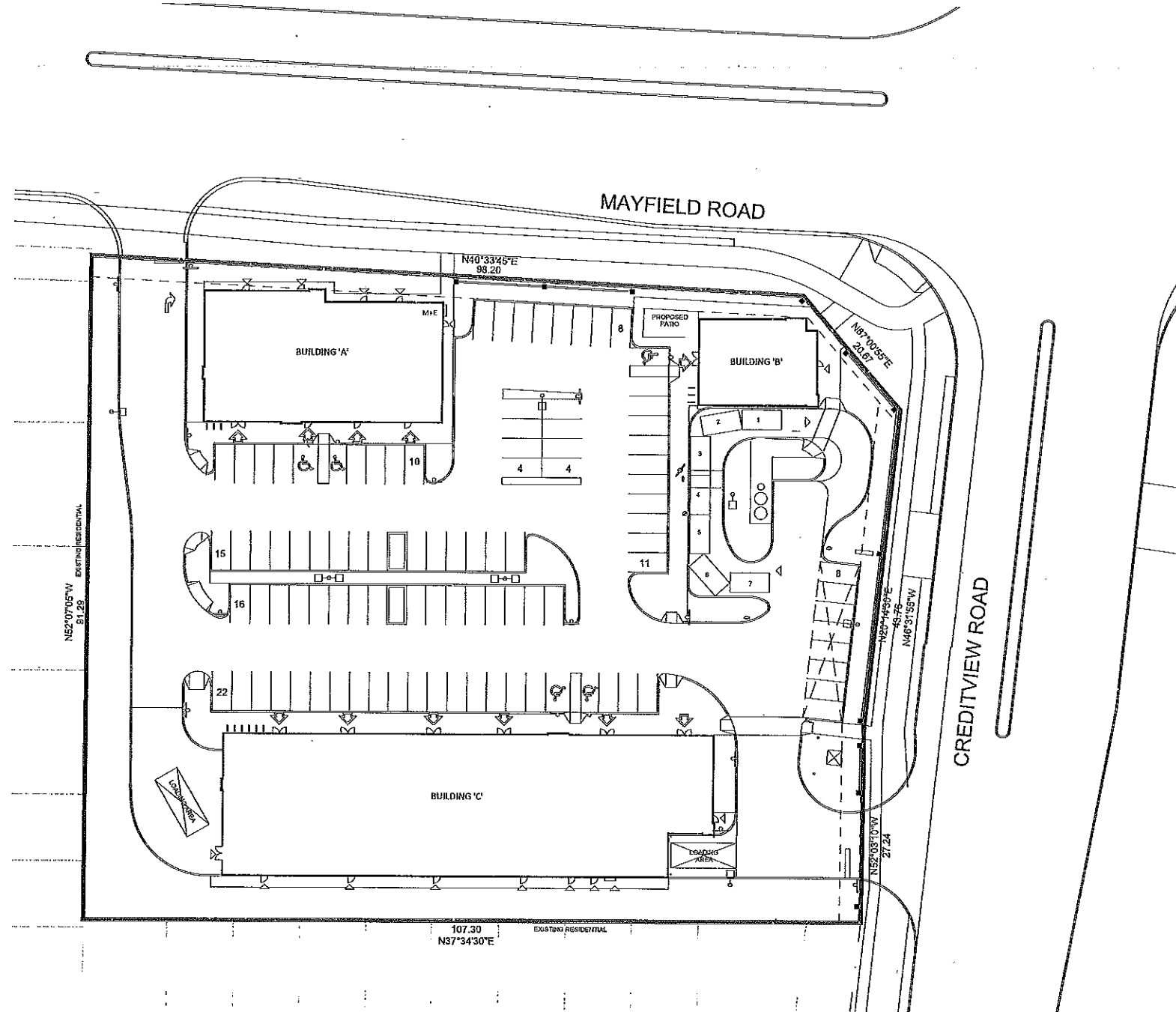
DATED THIS 9TH DAY OF MARCH, 2021

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I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.




SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT



MINOR VARIANCE SKETCH 1465 MAYFIELD ROAD

BLOCK 195,
PLAN 43M1947
CITY OF BRAMPTON
REGION OF PEEL

 Subject Lands

Development Statistics

Site Area: ±0.96ha (2.37ac)

Required Variance:

To permit an office, including the office of a physician, dentist or drugless practitioner, whereas the by-law does not permit office uses.



Scale: 1:750
February 11, 2021

 **GSAI**
Glen Schnarr & Associates Inc.



FILE NUMBER A16-186

HEARING DATE MARCH 9, 2021

APPLICATION MADE BY 2378682 ONTARIO CORPORATION

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; **ZONING BY-LAW 270-2004** AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit motor vehicles sales in conjunction with a motor vehicle repair shop;
2. To permit a motor vehicle washing establishment (car detailing) in conjunction with a motor vehicle repair shop;
3. To permit 0 stacking spaces;
4. To permit 0.0 metres landscaped open space strip;
5. To permit a drive aisle width of 6.21m (20.37 ft.);
6. To permit outside storage of motor vehicles in the front yard.

(12 HALE ROAD – PART OF LOT 1, CONCESSION 2 EHS, PART 1, PLAN 43R-27481)

THE REQUEST IS HEREBY APPROVED (IN PART) SUBJECT TO THE FOLLOWING CONDITIONS (APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MARCH 9, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

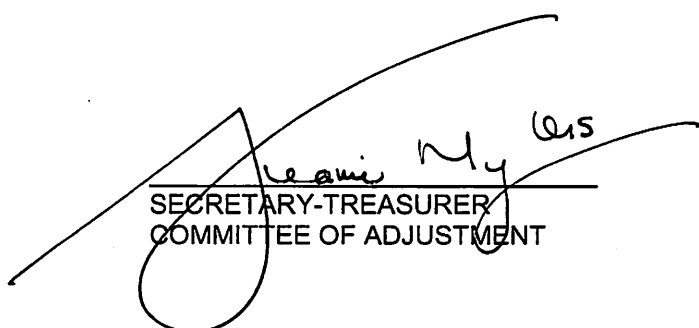
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 9TH DAY OF MARCH, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE MARCH 29, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

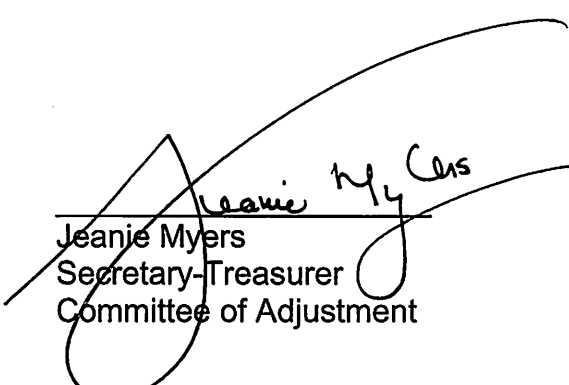
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

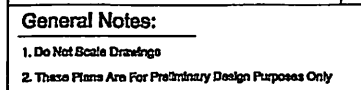
APPLICATION NO: **A16-186**

DATED: **MARCH 9, 2021**

Conditions:

1. That Variance 6 be refused and that no outdoor storage of display vehicles shall be permitted in the front yard or within any remaining landscaped areas;
2. That Variances 1, 2, 3, 4 and 5 shall be limited generally to that shown on the sketch attached to the Notice of Decision except that the "Display" spaces shown on the plan shall only be used for customer or employee parking and shall not be used to display or store vehicles offered for sale;
3. That the motor vehicles sales use and motor vehicles washing establishment (car detailing) use shall only be permitted in conjunction with a permitted motor vehicle repair shop;
4. That the motor vehicle washing establishment shall be limited to a car detailing operation;
5. That the extent of Variance 3 shall only apply to an automatic car washing facility and shall apply only to a car detailing operation;
6. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



Harper Dell & Associates Inc.
Planning, Traffic and Land Development
Consulting
1370 Hurontario St.
Mississauga, ON, L5G 3G4

Site Data		
Lot Area		3140.38 sqm
Existing Building	8531.8 sq	865.63 sqm
Parking		
Required Office Parking	1 per 25 sqm	5 spaces
Required Repair Parking	1 per 18 sqm	43 spaces
Total Required Parking		48 spaces
Parking Provided		51 spaces
Display Parking Provided		8 spaces
Total Provided Parking		56 spaces
Date:		Jan 26, 2021
Scale:		1:250

SP