



Meeting Agenda
Brampton Heritage Board
The Corporation of the City of Brampton

Date: May 18, 2021
Time: 7:00 p.m.
Location: Council Chambers - 4th Floor, City Hall - Webex Electronic Meeting
Members: Peter Dymond (Co-Chair)
Douglas McLeod (Co-Chair)
Stephen Collie
Kathryn Fowlston
Palvinder Gill
Yugeshwar Singh Kaushal
Janet Millington
Vipul Shah
Basavaraj Toranagal
Ken Wilde
Paul Willoughby
Regional Councillor P. Vicente - Wards 1 and 5

NOTICE: In consideration of the current COVID-19 public health orders prohibiting large public gatherings and requiring physical distancing, in-person attendance at Council and Committee meetings will be limited to Members of Council and essential City staff only. Public attendance at meetings is currently restricted. It is strongly recommended that all persons continue to observe meetings online or participate remotely.

For inquiries about this agenda, or to make arrangements for accessibility accommodations for persons attending (some advance notice may be required), please contact: Chandra Urquhart, Legislative Coordinator, Telephone 905.874.2114, TTY 905.874.2130 cityclerksoffice@brampton.ca

Note: Meeting information is also available in alternate formats upon request.

1. Call to Order

2. Approval of Agenda

3. Declarations of Interest under the Municipal Conflict of Interest Act

4. Previous Minutes

4.1. Minutes - Brampton Heritage Board Meeting - April 7, 2021

The minutes were considered by Planning, Building and Economic Development Committee on April 26, 2021, and approved by Council on May 5, 2021. The minutes are provided for the Board's information.

5. Consent

The following items listed with an caret (^) are considered to be routine and non-controversial by the Committee and will be approved at this time. There will be no separate discussion of any of these items unless a Committee Member requests it, in which case the item will not be consented to and will be considered in the normal sequence of the agenda.

(Nil)

6. Presentations\Delegations

6.1. Delegation by Keba Thomas, Brampton resident, re:

1. The environment/conditions no longer in use i.e. cemeteries, rivers/creeks and the heritage neighbourhoods. For example downtown Brampton and Churchville Heritage Cemetery

2. All elementary schools and their historical identifying records/ information in Brampton, basically the years built. At best, to speak to someone about accessing the history between 1745-1845

7. Sub-Committees

8. Designation Program

9. Heritage Impact Assessment (HIA)

- 9.1. Report by Pascal Doucet, Heritage Planner, re: Heritage Impact Assessment and Designation of the Heritage Property at 11687 Chinguacousy Road (Robert Hall House) - Ward 6 (H.Ex. 11687 Chinguacousy Road)

10. Correspondence

11. Other/New Business

- 11.1. Report by Harsh Padhya, Heritage Planner, re: Extension of Heritage Permit No. 70 issued on March 20, 2019 for 11651 Bramalea Road
- 11.2. Report by Harsh Padhya, Heritage Planner, re: Heritage Permit Application and Designated Heritage Property Incentive Grant Application – 8 Wellington St W. – Ward 1
- 11.3. Report by Harsh Padhya, Heritage Planner, re: Heritage Permit Application – 250 Main Street North – Ward 1
- 11.4. Report by Harsh Padhya, Heritage Planner, re: Heritage Permit Application and Designated Heritage Property Incentive Grant Application – 38 Isabella St. – Ward 1 (HE.x 38 Isabella St.)
- 11.5. Report by Pascal Doucet, Heritage Planner, re: Application to Demolish or Remove a Heritage Designated Property at 11722 Mississauga Road (Dolson House) - Ward 6 (HE.x 11722 Mississauga Road)

Note: To be distributed prior to the meeting

12. Referred/Deferred Items

13. Information Items

14. Question Period

15. Public Question Period

15 Minute Limit (regarding any decision made at this meeting)

During the meeting, the public may submit questions regarding decisions made at the meeting via email to the City Clerk at cityclerksoffice@brampton.ca, to be introduced during the Public Question Period section of the meeting.

16. Closed Session

17. Adjournment

Next Meeting: Tuesday, June 15, 2021 at 7:00 p.m.



Minutes

Brampton Heritage Board

The Corporation of the City of Brampton

Wednesday, April 7, 2021

Members Present: Peter Dymond (Co-Chair)
Douglas McLeod (Co-Chair)
Stephen Collie
Kathryn Fowlston
Yugeshwar Singh Kaushal
Janet Millington
Vipul Shah
Basavaraj Toranagal
Paul Willoughby
Regional Councillor P. Vicente - Wards 1 and 5

Members Absent: Palvinder Gill
Peter Robertson
Ken Wilde

Staff Present: Bob Bjerke, Director, City Planning and Design
Jeffrey Humble, Manager, Land Use Policy
Andrew McNiell, Manager, Official Plan and Growth
Management
Pascal Doucet, Heritage Planner
Harsh Padhya, Assistant Heritage Planner
Merissa, Lompart, Assistant Heritage Planner
Tristan Costa, Planner
Peter Fay, City Clerk
Chandra Urquhart, Legislative Coordinator

1. Call to Order

The meeting was called to order at 7:09 p.m., recessed and moved into Closed Session at 8:22 p.m. Committee reconvened in Open Session at 8:57 p.m. and adjourned at 8:59 p.m.

2. Approval of Agenda

HB008-2021

That the Agenda for the Brampton Heritage Board Meeting of April 7, 2021 be approved as circulated and published.

Carried

3. Declarations of Interest under the Municipal Conflict of Interest Act

Nil

4. Previous Minutes

4.1 Minutes - Brampton Heritage Board Meeting - January 19, 2021

The minutes of the Brampton Heritage Board Meeting of January 19, 2021 were considered by Planning and Development Committee on February 1, 2021 and approved by Council on February 17, 2021. The minutes were provided for information.

4.2 Note to File - Brampton Heritage Board Meeting - March 23, 2021

Note to File was provided for information.

5. Consent

The following item listed with a caret (^) was considered to be routine and non-controversial by the Committee and was approved at this time.

(10.1)

6. **Presentations\Delegations**

6.1 Delegation from Sylvia Roberts, Brampton Resident, re: Bramalea Character Study

Sylvia Roberts, Brampton resident, provided a presentation on the character of Bramalea highlighting its unique character, diversified land uses and population. With anticipated changes to the All Day Two Way GO and Brampton Transit in the future, S. Roberts suggested that a character study be undertaken to ensure that future redevelopment of the area complements Bramalea's uniqueness.

Committee discussion on this matter included the following:

- Importance of preserving and recognizing the history of Brampton
- Availability of information with respect to buildings of heritage significance that were either listed or designated
- Indication that the review of the Heritage Conservation Master Plan process will include specific elements associated with the character of Bramalea

A motion was introduced requesting that material or / records regarding the historical information and planning of Bramalea be presented at a future meeting.

The following motion was considered:

HB009-2021

1. That the delegation from Sylvia Roberts, Brampton Resident, re: **Bramalea Character Study** to the Brampton Heritage Board Meeting of April 7, 2021, be received; and,
2. That Sylvia Roberts, Brampton resident, be invited to the Brampton Heritage Board Meeting of May 18, 2021, and staff report back with information resources available regarding the history and planning of Bramalea.

Carried

6.2 Presentation by Andrew McNeill, Manager, Official Plan and Growth Management, and Tristan Costa, Planner, re: The Brampton Plan – Official Plan Review

Andrew McNeill, Manager, Official Plan and Growth Management, and Tristan Costa, Planner, provided a presentation on the Brampton Plan – Official Plan (OP) Review. The following was highlighted:

- Overview of the Official Plan - why a new OP was necessary
- General work plan
- Project deliverables by phase
- Progress to date
- Brampton plan – structural elements
- Discussion papers purpose and intent – key dates
- Engagement program
- Next steps

Committee discussion and staff responses included the following:

- Status of the Riverwalk project
 - considered a vital initiative in the advancement of downtown development and staff can provide a presentation to Committee at a future date
- Indication that policies will be included in new OP
 - Credit Valley trail extension
 - Protection of Churchville Heritage Conservation District

Members were reminded of the Brampton Plan Engagement workshop on April 10, 2021 listed as item 13.1 on the agenda and were encouraged to participate.

The following motion was considered:

HB010-2021

That the presentation by Andrew McNeill, Manager, Official Plan and Growth Management, and Tristan Costa, Planner, to the Heritage Board meeting of March 23, 2021, re: **The Brampton Plan – Official Plan Review** be received.

Carried

7. Sub-Committees

Nil

8. Designation Program

Nil

9. Heritage Impact Assessment (HIA)

9.1 Report by Merissa Lompart, Assistant Heritage Planner, re: Heritage Impact Assessment - Victoria Park Arena, 20 Victoria Crescent

Merissa Lompart, Assistant Heritage Planner, Planning, Building and Economic Development, provided an overview of the subject report.

The following motion was considered:

HB011-2021

1. That the report from Merissa Lompart, Assistant Heritage Planner, Planning, Building and Economic Development, dated March 12, 2021, to the Brampton Heritage Board Meeting of April 7, 2021, re: **Heritage Impact Assessment for Victoria Park Arena, 20 Victoria Crescent** be received;

2. That prior to its demolition or removal, the Arena be fully documented through photographs and drawings, to the satisfaction of a City of Brampton Heritage Staff.

3. That the following recommendations as per the Heritage Impact Assessment by WSP dated February 24, 2021 be followed:

- a. That all reasonable effort be made to salvage unique and distinct architectural features including
 - i. The front section of glulam beams that do not have significant fire damage;
 - ii. The concrete pillars supporting these glulam beams; and
 - iii. The 1966 date plaque.
- b. That salvaged materials be thoughtfully and meaningfully incorporated into the new recreational facility.
- c. That an interpretive plaque or display be installed in the new recreational facility in a highly trafficked, publicly accessible space.
- 4. That the salvaged materials be retained by the Corporation for the future construction of the new recreational facility at 20 Victoria Crescent; and,
- 5. That a Notice of Intention to Demolish be provided to and approved by the Brampton Heritage Board before proceeding.

Carried

10. Correspondence

- 10.1 ^Correspondence from Janet Muise, and Janet Oakes, Director Curator, Co-operative Homebuilding, Grimsby, re: Wildfield Co-operative Homebuilders

HB012-2021

That the correspondence from Janet Muise, and Janet Oakes, Director Curator, Co-operative Homebuilding, Grimsby, to the Brampton Heritage Board meeting of April 7, 2021, re: **Wildfield Co-operative Homebuilders** be received.

Carried

10.2 Correspondence from Peter Robertson, Member, re: Resignation from the Brampton Heritage Board

Committee acknowledged the letter of resignation from Peter Robertson, Member.

The following motion was considered:

HB013-2021

1. That the correspondence from Peter Robertson, Member, to the Brampton Heritage Board meeting of April 7, 2021, re: **Resignation from the Brampton Heritage Board** be accepted; and,
2. That Mr. Robertson be thanked for his years of volunteering and contributions to the Committee.

Carried

11. Other/New Business

11.1 Report by Harsh Padhya, Heritage Planner, re: Heritage Permit Application and Designated Heritage Property Incentive Grant Application - 27 Church St. E. - Ward 1 (HE.x 27 Church St. E)

Harsh Padhya, Assistant Heritage Planner, Planning, Building and Economic Development, provided an overview of the subject report.

The following motion was considered:

HB014-2021

1. That the report from Harsh Padhya, Heritage Planner, Planning, Building and Economic Development, dated March 8, 2021 to the Brampton Heritage Board Meeting of April 7, 2021, re: **Heritage Permit Application and Designated Heritage Property Incentive Grant Application – 27 Church St. E. – Ward 1** (HE.x 27 Church St. E.), be received;

2. That the Heritage Permit application for 27 Church St. E. for the restoration and repair of Main and Rear Chimney be approved subject to the following condition:

- If any heritage attribute is damaged beyond repair they will be replaced in kind.

3. That the Designated Heritage Property Incentive Grant application for the restoration and repair of the Chimneys for 27 Church St. E. be approved, to a maximum of \$10,000.00; and,

4. That the owner shall enter into an agreement with the City as provided in appendix C of the report.

Carried

11.2 Report by Pascal Doucet, Heritage Planner, re: Designation By-law Amendment and Heritage Easement Agreement - 0 and 59 Tufton Crescent - Ward 6 (Breadner House) (File HE.x 59 Tufton Crescent)

Pascal Doucet, Heritage Planner, Planning, Building and Economic Development, provided an overview of the subject report. He advised that the property owner remains the same.

HB015-2021

1. That the report by Pascal Doucet, Heritage Planner, Planning, Building and Economic Development, dated March 17, 2021 to the Brampton Heritage Board meeting of April 7, 2021, re: **Amendment to By-law Designating 59 Tufton Crescent for its Cultural Heritage Value or Interest and Authority to Enter into a Heritage Easement Agreement – 0 and 59 Tufton Crescent (Breadner House) – Ward 6** (File HE.x 59 Tufton Crescent) be received;

2. That the amendment to By-law Number 34-2006, a by-law to designate the property at Lot 301, Tufton Crescent (“Breadner House”) as being of cultural heritage value or interest be approved in accordance with Appendices E and F to this Report;

3. That staff be authorized to give the owner of the designated property at 59 Tufton Crescent (PIN 142545693) and the property at 0 Tufton Crescent (PIN 142545818) (“Owner”) written notice of the proposed amendment in accordance with the requirements of the *Ontario Heritage Act*;
4. That following the expiry of the 30-day period during which the owner may object to the proposed amendment, a by-law be passed to amend By-law Number 34-2006, in accordance with Appendices E and F to this Report;
5. That, in the event that the owner object to the proposed amendment, staff be directed to refer the proposed designation to the Ontario Conservation Review Board;
6. That the Commissioner of Planning, Building and Economic Development be authorized to enter into a Heritage Easement Agreement with the Owner for the property at 0 Tufton Crescent (PIN 142545818) to secure the relocation and reconstruction of the Breadner House that used to be located at 59 Tufton Crescent (“Heritage Easement Agreement”), with content satisfactory to the Director of City Planning & Design, and in a form approved by the City Solicitor or designate; and,
7. That the Commissioner of Planning, Building and Economic Development be authorized to enter into the Heritage Easement Agreement prior to entering into an agreement with the Owner for the future re-alignment of Tufton Crescent within a portion of the Creditview Road allowance.

Carried

12. Referred/Deferred Items

Nil

13. Information Items

- 13.1 Memo from Planning, Building and Economic Development, re:
Brampton Engagement Plan

Memo was provided for information.

14. Question Period

Nil

15. Public Question Period

Nil

16. Closed Session

The following was considered:

HB016-2021

That the Board proceed into Closed Session to address matters
pertaining to:

16.1. Open Meeting exception under Section 239 (2) (e) and (f) of the
Municipal Act, 2001:

Litigation or potential litigation, including matters before
administrative tribunals, affecting the municipality or local
board and advice that is subject to solicitor-client privilege,
including communications necessary for that purpose

In Open Session, the Chair reported on the status of matters
considered in Closed Session, as follows:

16.1 – This item was considered by the Board in Closed Session and
no direction was given to staff.

Carried

17. Adjournment

The following motion was considered:

HB017-2021

That the Brampton Heritage Board do now adjourn to meet again on Tuesday, April 20, 2021 at 7:00 p.m. or at the call of the Chair.

Carried

Peter Dymond, Co-Chair

Douglas McLeod, Co-Chair



For Office Use Only:
Meeting Name:
Meeting Date:

Delegation Request

Please complete this form for your request to delegate to Council or Committee on a matter where a decision of the Council may be required. Delegations at Council meetings are generally limited to agenda business published with the meeting agenda. Delegations at Committee meetings can relate to new business within the jurisdiction and authority of the City and/or Committee or agenda business published with the meeting agenda. **All delegations are limited to five (5) minutes.**

Attention: City Clerk's Office, City of Brampton, 2 Wellington Street West, Brampton ON L6Y 4R2

Email: cityclerksoffice@brampton.ca Telephone: (905) 874-2100 Fax: (905) 874-2119

Meeting: ☐ City Council ☐ Planning and Development Committee
☒ Committee of Council ☐ Other Committee:

Heritage Committee

Meeting Date Requested: May 8th 2021 Agenda Item (if applicable): Heritage Grounds Protection

Name of Individual(s): Keba Thomas

Position/Title:

Consultant, Urban Indigenous and Indigenous Affairs

Organization/Person
being represented:

Consultant/Community Member

Full Address for Contact:

Telephone:

Email:

Subject Matter to be Discussed:	The conditions of the areas no longer in use ie cemeteries, rivers and the heritage neighbourhoods including downtown Brampton and Churchville Heritage Cemetery.
Action Requested:	Budgetary considerations to preserve and protect the heritage communities across the region. Proper signage to include indigenous historical reference and devoted staffing to ensure that the biodiverse conditions are in alignment with either the CVC or the TCRA in preserving the park/rivers that connect our greater communities.

A formal presentation will accompany my delegation: ☒ Yes ☐ No

Presentation format: ☒ PowerPoint File (.ppt) ☐ Adobe File or equivalent (.pdf)
☐ Picture File (.jpg) ☐ Video File (.avi, .mpg)

☐ Other:

Additional printed information/materials will be distributed with my delegation: ☐ Yes ☐ No ☐ Attached

Note: Delegates are requested to provide to the City Clerk's Office **well in advance of the meeting date:**

- (i) 25 copies of all background material and/or presentations for publication with the meeting agenda and /or distribution at the meeting, and
- (ii) the electronic file of the presentation to ensure compatibility with corporate equipment.

Submit by Email

Once this completed form is received by the City Clerk's Office, you will be contacted to confirm your placement on the appropriate meeting agenda.

Personal information on this form is collected under authority of the Municipal Act, SO 2001, c.25 and/or the Planning Act, R.S.O. 1990, c.P.13 and will be used in the preparation of the applicable council/committee agenda and will be attached to the agenda and publicly available at the meeting and on the City's website. Questions about the collection of personal information should be directed to the Deputy City Clerk, Council and Administrative Services, 2 Wellington Street West, Brampton, Ontario, L6Y 4R2, tel. 905-874-2115.



For Office Use Only:
Meeting Name:
Meeting Date:

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Email: cityclerksoffice@brampton.ca Telephone: (905) 874-2100 Fax: (905) 874-2119

Meeting: ☐ City Council ☐ Planning and Development Committee
☒ Committee of Council ☐ Other Committee:

Heritage Committee

Meeting Date Requested: May 8th 2021 Agenda Item (if applicable): Heritage Preservation

Name of Individual(s): Keba Thomas

Position/Title:

Consultant, Urban Indigenous and Indigenous Affairs

Organization/Person
being represented:

Consultant/Community Member

Full Address for Contact:

Telephone:

Email:

Subject Matter to be Discussed:	The historical releasing of the list of elementary schools and historical identifying records/ information in Brampton at best to speak to someone about accessing the history here between 1745- 1845.
Action Requested:	Acknowledging the history here in Brampton (Former Toronto Gore Area) and the relationship to Truth and Reconciliation treaty agreements 3, 13 /14 and the Ajetance Treaty including the descendants of the freemen and early settlers

A formal presentation will accompany my delegation: ☒ Yes ☐ No

Presentation format: ☒ PowerPoint File (.ppt) ☐ Adobe File or equivalent (.pdf)
☐ Picture File (.jpg) ☐ Video File (.avi, .mpg)

☐ Other:

Additional printed information/materials will be distributed with my delegation: ☐ Yes ☐ No ☐ Attached

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Heritage Spaces & Conservation Areas

All Wards



Revitalization Project and Vacancies

Downtown Brampton

This short presentation includes references to:

Enquiry: historical spaces, signage and the presumed vacant spaces/visioning 2040

Enquiry: Acknowledgement of an earlier era the Indigenous, Settlers and Urban Indigenous Migrant Communities 1745- 1845



Park Space / Creek and River Cleaning

Park Conditions/Clean Up

- Noticeable Conservation (example Claireville Conservation) signs in areas that require special consideration
- Permit holder and shared partnerships (debris clearing and regular disposals)
- Heart Lake Park Space and the Community Trail/ and Cleaning
- The Creeks and Rivers (Etobicoke Creek , Credit River plus) in all wards require clearing and cleaning (treatment)
- Some sections within Huntsville to be revisited for agriculture potential and marsh inspection



Community Centre / Park Renaming

Community Centre /Park Spaces

- Designated spaces to the senior population; to include the Indigenous and Urban Indigenous Migrants
- Are memorial Parks a play space for children; and cemetery sites no longer in use should include symbolic representation of the Urban Migrants and Indigenous Communities 1745 to 1845
- Park space closest to the Credit River and Etobicoke Creek (potential *passage-way* for the nomad communities to be considered for Indigenous naming/land acknowledgements)
- Street names to reflect Indigenous histories in Brampton to coincide with Truth and Reconciliation (Chief Ajetance Treaty 19)



Indigenous, Urban Indigenous Migrants and Settlers Histories

All Wards enquiry:

- Will Churchville receive an upgrade to support the existing frame and evolving neighbourhood
- The area has changed, there is less vandalism reports to the Cemetery grounds over the last 12 years
- Historical School (Torbram & Steeles) use and land use missing the Indigenous and Urban Migrant recognition
- Brampton Cemetery has experienced lots of loitering and vandalism, considered vulnerable to junk disposal, debris at worse complete disregard (trash and shopping carts)
- The Kings Cemetery requires signage and heritage acknowledgement

Date: 2021-05-10

Subject: **Presentation of a Heritage Impact Assessment and Designation of the Heritage Property at 11687 Chinguacousy Road (Robert Hall House) - Ward 6 (H.Ex. 11687 Chinguacousy Road)**

Contact: **Pascal Doucet, Heritage Planner, pascal.doucet@brampton.ca**

Report Number: Planning, Bld & Ec Dev-2021-597

Recommendations:

1. That the report titled: **Presentation of a Heritage Impact Assessment and Designation of the Heritage Property at 11687 Chinguacousy Road (Robert Hall House) – Ward 6 (H.Ex. 11687 Chinguacousy Road)**, to the Brampton Heritage Board Meeting of May 18, 2021, be received;
2. That the Heritage Impact Assessment of the Robert Hall House at 11687 Chinguacousy Road, date-issued February 2021, prepared by AREA, Architects Rasch Eckler Associates Ltd., and attached as Appendix A to this report (the “HIA”) be received and accepted to endorse, in principle, the proposed relocation, retention and restoration of the significant portions of the Robert Hall House.
3. That City Council state its intention to designate the property at 11687 Chinguacousy Road under Part IV, Section 29 of the *Ontario Heritage Act*, as amended (the “Act”) in accordance with the Statement of Significance, reasons for designation and list of heritage attributes attached as Appendix B to this report;
4. That staff be authorized to publish and serve the Notice of Intention to designate 11687 Chinguacousy Road in accordance with the requirements of the Act;
5. That, in the event that no objections to the designation are received, a by-law be passed to designate the subject property;
6. That, in the event that any objections to the designation are received, staff be directed to refer the proposed designation to the Ontario Conservation Review Board; and
7. That staff be authorized to attend any hearing process held by the Conservation Review Board in support of Council’s decision to designate the subject property.

Overview:

- This report also recommends that the attached Heritage Impact Assessment be received and accepted to endorse, in principle, the conservation strategy proposed for the property. This report also recommends that City Council state its intention to designate 11687 Chinguacousy Road (Robert Hall House) in accordance with Part IV, section 29 of the *Ontario Heritage Act*, as amended (the “Act”) for its cultural heritage value or interest.
- The subject property is a large and open cultivated farmland containing the significant built heritage resource known as the Robert Hall House, a 1870s Georgian limestone residential building. Official Plan Amendment, Zoning By-law Amendment and Plan of Subdivision applications have been submitted to the City to redevelop and subdivide the property into a variety of residential uses, open spaces and a mixed use medium density residential and commercial block (the “Planning Applications”).
- The Planning Applications include the creation of a residential heritage lot on which the significant portions of the Robert Hall House will be relocated, preserved and restored.
- An evaluation of the property’s cultural heritage value against the criteria prescribed by the Province to determine whether a property is worthy of designation has concluded that the property meets the criteria for designation under all three categories of design or physical value, historical or associative value and contextual value.
- A Heritage Conservation Plan, Heritage Building Protection Plan and Commemoration/Interpretation Plan are expected to be presented at a future Brampton Heritage Board meeting to provide the details of the conservation strategy proposed in the HIA.
- To ensure the optimal option for the successful, effective and long-term conservation and protection of the Robert Hall House, the posting of financial heritage securities and the entry into a heritage easement agreement between the owner and the City will be recommended as conditions to approve the conservation work of the forthcoming Heritage Conservation Plan and Commemoration/Interpretation Plan.
- The designation of the property and endorsement in principle of the conservation strategy described in the HIA represent the first step and first

set of recommendations to support the proposed relocation, retention and restoration of the significant portion of the Robert Hall House.
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Background:

Description of Heritage Property

11687 Chinguacousy Road is a large property of approximately 8.8 hectares (19.92 acres) located at the southeast corner of Mayfield Road and Chinguacousy Road. The property contains the Robert Hall House, a significant nineteenth-century limestone built heritage resource surrounded by a large area of cultivated farmland.

Heritage Impact Assessment

Attached as Appendix A to this report is the Heritage Impact Assessment by AREA, Architects Rasch Eckler Associates Ltd., date-issued February, 2021. This HIA was completed by the heritage consultant retained by the owner of 11687 Chinguacousy Road and was received as part of the submission material for the Planning Applications. The proposed conservation strategy described in this HIA for the Robert Hall House is supported by City heritage staff, provided that the built heritage resource and heritage property will be effectively protected and conserved in the immediate and long-term.

The HIA contains an evaluation of the property against the criteria for designation prescribed under Ontario Regulation 9/06. Both evaluations from the HIA (Appendix A) and the City's Designation Report (Appendix B) are concluding and concurring that the property is worthy of designation.

Heritage City staff concur with the following conclusions found within the HIA:

- The Robert Hall House has cultural heritage value or interest as a unique example of a 1 ½ storey 19th-century Georgian style residence, for its high degree of craftsmanship and historical integrity;
- Through alteration, preservation and restoration, the proposed development will not result in significant direct and indirect impacts to the heritage attributes of Robert Hall House;
- Relocate the house to a new lot within the proposed development is acceptable. The proposed new location for the heritage house shown in the subdivision draft plan is optimal from a heritage assessment of the considered alternatives;
- Prepare and implement a Heritage Building Protection Plan (HBPP) and Heritage Conservation Plan (HCP) for the cultural heritage resource, per the City of Brampton Terms of Reference; and
- Designate the Robert Hall House at its associated new location within the property under Part IV of the Ontario Heritage Act and install a commemorative plaque.

Cultural Heritage Value

Research and evaluation completed as part of the review required for the Planning Applications concluded that the property at 11687 Chinguacousy Road is worthy of designation in accordance with Part IV, section 29 of the Act. The property meets the criteria prescribed by the Province to designate a property as being of cultural heritage value or interest under all three categories of design or physical value, historical or associative value and contextual value. The Reasons for Designation Report attached hereto as Appendix B contains a Statement of Significance explaining the reasons for designating the property and a list to confirm and identify the property's heritage attributes.

Fire History:

On the evening of April 20, 2021, a fire incident occurred on the second-storey of the Robert Hall House. The fire was contained and extinguished within the same evening. Within the following week, heritage City staff worked with the City's By-law Enforcement and the City's Fire Prevention Services to ensure that the property is properly secured to prevent further fire incidents. Staff were notified that the doors were forced open and that a bonfire was found inside the building. On April 28, 2021, the building has been secured with all windows and doors boarded up. City Heritage staff are requiring that a complete Heritage Building Protection Plan be submitted as soon as possible to implement further measures to protect the property and its built heritage resources.

Current Situation:

Property Designation

The cultural heritage value of the property is found within the one-and-a-half storey 1870s Georgian limestone house and the historical associations of the property with Robert Hall, who occupied the property from 1876 to 1907. Robert was a significant member of the community as a justice of the peace, and for his services as a deputy reeve of the Township of Chinguacousy and a Councillor of the County of Peel. The property is also important in defining, maintaining and supporting the low-scale, residential and agricultural character of the area and is historically linked to its surrounding through the existence of the limestone farmhouse constructed for the Hall family.

City heritage staff have been working with the planning and heritage consultants retained by the owner of 11678 Chinguacousy Road to determine the appropriate timing for stating the intention to designate the property and for passing the designation by-law. Accordingly, it has been determined that the City should state its intention to designate the property as an immediate conservation action item, but that the by-law to designate the property should only be passed after a decision is made on the Planning Applications. City heritage staff agree that the designation by-law should only be passed after the registration of the Plan of Subdivision, provided that the Planning Applications will be approved. This is because the designation by-law should only be registered specifically to the residential lot on which the significant portions of the Robert Hall House will be relocated and preserved.

The basis for stating the intention to designate the property at this time is to apply the effect of sections 33 and 34 of the Act, in order to facilitate the optimal option to protect the property and to implement the proposed conservation strategy. The application of these sections is considered necessary to facilitate the implementation of the proposed conservation strategy while the building remains vacant, before a decision is made on the Planning Applications and before the built heritage resource is further protected with a heritage easement agreement. The owner and the City may therefore agree to extend the period between the time when Council has given its notice to designate a property and the time when the by-law designation the property is passed. This extension of time makes sense in a scenario where a large property is subject to an application for a Plan of Subdivision in which the property's heritage resource(s) will be retained within a proposed lot that has yet to be approved and registered as a new lot and as a new property.

Conservation Strategy

The conservation strategy consists: of documenting the existing Robert Hall House; relocating, preserving and restoring the significant and nineteenth-century portions of the Robert Hall House; remove the existing non-significant twentieth-century additions of the house, and construct a new sympathetic addition to the house that will be further described and detailed within a forthcoming Heritage Conservation Plan.

The proposed relocation is illustrated in the thematic plan attached as Appendix C to this report. The proposed relocation is considered acceptable by City heritage staff because the new and proposed location will provide better exposure and visibility of the built heritage resource from the public realm. In addition, the proposed relocation will preserve the association and relation of the built heritage resource with Chinguacousy Road and its historic nineteenth-century farmstead property. The proposal will elevate the built heritage resource and bring back the Robert Hall House to its prime. Section 5.5 of the HIA provides a rationale describing the evolution and sequence of alterations to the original limestone house. The rectangular plan and one-storey southerly addition of the "Nicholl and Hall" limestone house are the significant heritage portions of the Robert Hall House built heritage resource that are expected to be restored and rehabilitated. The follow up and forthcoming Heritage Conservation Plan will provide the details and specifications of the restoration and rehabilitation work.

Protection of the Robert Hall House and Subsequent Conservation Action Items

Following the completion of the HIA, City heritage staff are expecting and will require to receive a Heritage Building Protection Plan, Heritage Conservation Plan, and Commemoration/Interpretation Plan all in accordance with the City's applicable Terms of Reference. The Commemoration/Interpretation Plan will be provided to determine the content, location and specifications for the heritage pedestal plaque. Once completed, both these plans will be presented at a future Brampton Heritage Board meeting for consideration and at a future Council meeting for a decision.

The Heritage Conservation Plan will provide further details to implement the conservation strategy, including:

- an itemized list of cost for the conservation, restoration, relocation and interpretation/commemoration work; and
- a full set of architectural drawings and specifications for: the conservation and restoration of the culturally significant heritage nineteenth-century portions of the Robert Hall House, the removal of the non-significant late twentieth-century additions, and the construction of a new sympathetic addition.

To ensure the optimal long-term, effective and successful option for the protection of the Robert Hall House, and its heritage designated site, City heritage staff are recommending that the owner enters into a heritage easement agreement with the City and that financial securities be provided to secure the work in the Heritage Conservation Plan and Commemoration/Interpretation Plan. These items will be recommended at a future Brampton Heritage Board meeting and Council meeting, as conditions to approve work of the Heritage Conservation Plan, and as conditions to satisfy prior to the issuance of any permit for the alterations of the heritage property and relocation of the Robert Hall House.

An introduction for the implementation and methodology of the relocation process is provided in section 8.3 of the HIA. Staff will continue to work with the developer, heritage consultant and qualified structural engineer to ensure that the proper measures for properly securing and protecting the structural integrity of the Robert Hall Hall house, such as providing the proper stabilization, protection shoring and bracing measures adapted for the structural conditions of the building, be implemented through the Heritage Building Protection Plan, Heritage Conservation Plan and heritage easement agreement.

Corporate Implications:

Financial Implications:

There are no financial implications resulting from the adoption of the recommendations in this report.

Other Implications:

Not applicable.

Term of Council Priorities:

This report has been prepared in full consideration of the Term of Council Priorities (2019-2020).

This report aligns with a 'Mosaic City' by continuing the preservation of heritage properties and cultural heritage resources to support cultural diversity and expression. A Mosaic City reflects the commitment of the City to preserve and protect its cultural heritage. This report also aligns with a 'City of Opportunities', supporting the creation of complete communities by supporting the diversity and distinctiveness of the City through the preservation and conservation of its cultural heritage resources.

Living the Mosaic – 2040 Vision:

The report aligns with the following vision:

- **Vision 5:** in 2040, Brampton will be a rich mosaic of cultures and lifestyle, coexisting **in social responsibility**, respect, enjoyment and justice.

Conclusion:

Heritage City staff have been working with the applicant and heritage consultant to develop and implement a conservation strategy and approach to mitigate the impact of the proposed development on the heritage property and ensure the optimal option for protecting the Robert Hall House and heritage property. The acceptance of the HIA and designation of the property represent the first step in a series of conservation items that will be recommended to support the proposed redevelopment of the property. The heritage easement agreement, financial securities, heritage conservation work, and commemorative/interpretive work will enable the long-term conservation of the significant cultural heritage resources found within the property at 11687 Chinguacousy Road.

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Attachments:

Appendix A – Heritage Impact Assessment of the Robert Hall House at 11687 Chinguacousy Road, date-issued February 2021, prepared by AREA, Architects Rasch Eckler Associates Ltd.

Appendix B – Heritage Report: Reasons for Heritage Designation – 11687 Chinguacousy Road (Robert Hall House)

Appendix C – Thematic Plan Showing the Proposed Relocation of the Robert Hall House
– 11687 Chinguacousy Road



11687 Chinguacousy Road, Brampton, Ontario

Robert Hall House

Issued: February 2021

HERITAGE IMPACT ASSESSMENT

Prepared for: TFP Mayching Developments Ltd.

Prepared by: David Eckler, BES, B.Arch., OAA, MRAIC



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Project No. 12-576

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1.0 INTRODUCTION TO THE REPORT

1.1 EXECUTIVE SUMMARY

AREA, Architects Rasch Eckler Associates Ltd. (AREA) was retained by TFP Mayching Developments Ltd. ('owner') (an associate company of Paradise Developments) to prepare this Heritage Impact Assessment report (HIA) for the property municipally known as 11687 Chinguacousy Road, Brampton, Ontario, and legal description: PT LT 17 CON 2 WHS CHINGUACOUSY PART 3, 43R15957; SAVE AND EXCEPT PART 1, PLAN 43R35275; SUBJECT TO AN EASEMENT IN GROSS OVER PARTS 1 & 2, PLAN 43R37101 AS IN PR2947960; SUBJECT TO AN EASEMENT IN GROSS OVER PART 1, PLAN 43R37492 AS IN PR3170995; CITY OF BRAMPTON. The property is located at the southeast corner of Mayfield Road and Chinguacousy Road ("subject site" or "Robert Hall House"), is bound by single family residential developments to the north, agricultural land to its west, an open space and flood plain area to its immediate south and west. Medium-density residential development on the lands west of the subject property are under construction as per the current zoning.

The first version of the HIA report ('HIA January 2013') for the subject property was previously submitted to City Staff in January 2013. At the time, the assessment carried out under contract to a different owner-developer, PenEquity Realty Corporation, for submission to the City of Brampton as part of the Block Plan Studies in conjunction with the City's Mount Pleasant Secondary Plan process, the Official Plan Amendment (OPA), Zoning By-law Amendment (ZBA) and Draft Plan of Subdivision (DPS) supported a large commercial development. However, this proposal was never implemented. The ownership of the subject lands was recently transferred to the current owner TFP Mayching Developments Ltd. in 2021. This particular version of the HIA ('HIA February 2021') reflects the change in ownership, in congruous to the progress and the review processes of the subject development proposal.

The subject site is approximately 19.92 acres in area and is located at the southeast corner of Chinguacousy Road and Mayfield road. The property at **11687 Chinguacousy Road** consists of a nineteenth-century limestone residence, also referred to in this report and in other official documents as the **Robert Hall House**. The south portion of the site previously also included an inferred barn, up to four (4) silos, two (2) buildings inferred to be used for agricultural related purposes, a salt shed, and a drive shed, all of which had been demolished by a previous owner at the time of this assessment.¹

The time of the house construction may have occurred under either of the owners of the 1870's, being Charters Nicholl or Robert Hall. Site investigations confirmed the original portions of the house structure as a one-and-a-half storey limestone farm residence (Figures 14 & 15). Several exterior additions/alterations to the building envelope were generally comprised of:

- Replacement of the entry porch in wood construction on the north side (1969, 'Wood Porch');
- Removal of the red brick extension on the west side (1979, 'Monkman Addition'); and

¹ Phase One Environmental Site Assessment, 11687 Chinguacousy Road, Southern Block Brampton, Ontario, DS Consulting Ltd. (December 2020)

- Removal of the two-storey wood-clad addition on the east side (1991, 'Pseudo-Gothic Addition').

The latest addition is clearly a poor reinterpretation of historical style(s) because of incongruous combination of classical elements (i.e., semi-circular and oval gable windows) with Carpenter Gothic board-and-batten cladding. So, in assessing the heritage value of the house, only the original c. 1875 house, consisting of the "middle" limestone structure, was determined to have sufficient historical integrity.

City Heritage staff identified in their Listing Report, and to the client that the primary cultural heritage resource within this parcel is only the "19th Century stone farmhouse." The farm landscape (including trees) and the other outbuildings – barns, shed, etc. – are not identified as part of the property's heritage significance and are therefore only discussed briefly in this report. The property is included on the City of Brampton's heritage municipal register of Cultural Heritage Resources ('CHR') as it contains an 1870s Georgian limestone residence.

The development proposal will be governed under several planning policy documents as supported by and include the Planning Act itself to provide controls, supplementary to the Ontario Heritage Act ('OHA'), and appropriate regulatory framework in balancing heritage aspects with other planning issues. In a macro-level scale, the current stage of the approved process for this development involves the implementation of the Mount Pleasant Secondary Plan (MPSP) into the Official Plan Amendment (OPA). These and other submissions for various applications will require the City's Planning & Development Department approval with the input of heritage staff, the BHB Committee and ultimately Council. Therefore, at milestones in the development process, the City heritage authority will have the opportunity to review and approve the heritage aspects of this project.

AREA, in conjunction with the other consultants for the development, will provide its heritage expertise to prepare the various aspects of the heritage feature(s) design to satisfy City requirements. This is part of AREA's comprehensive architectural heritage consultant responsibilities for this project. It is recommended that the proposed mitigation strategies for the Robert Hall House be incorporated into the proposed mixed-use development and be approved 'in principle' by the Brampton Heritage Board (BHB) to proceed onto the more technical details described in this report.

This HIA concludes that:

- The Robert Hall House has cultural heritage value or interest as a unique example of a 1 ½ storey 19th-century Georgian style residence, for its high degree of craftsmanship and historical integrity;
- Through alteration, preservation and restoration, the proposed development will not result in significant direct and indirect impacts to the heritage attributes of Robert Hall House.

To ensure the long-term sustainability and use of Robert Hall House as a valued built heritage resource, AREA recommends to:

- Relocate the house to a new lot within the proposed development and demolish other structures on the subject property that have no heritage value. The proposed new location for the heritage house shown in the subdivision draft plan is optimal from a heritage assessment of the considered alternatives.
- Prepare and implement a Heritage Building Protection Plan (HBPP) and Heritage Conservation Plan (HCP) for the cultural heritage resource, per the City of Brampton Terms of Reference.
- Designate the Robert Hall House at its associated new location within the property under Part IV of the Ontario Heritage Act and install a commemorative plaque.

1.2 METHODOLOGY OF HIA REPORT

This HIA was prepared based on the City of Brampton's Terms of Reference for HIAs as well as best practice in Ontario municipalities. The scope of this HIA report involves the evaluation of the existing heritage resources and the impact on them from the proposed development on and around the subject property.

Archival research, site and building investigations were also incorporated as part of AREA's comprehensive heritage consulting services. Representatives of AREA undertook site visits on December 18, 2009, on September 18, 2012 for the previously submitted HIA ('HIA January 2013') and, more recently, November 5th 2020 ('HIA December 2020') to view and photograph the subject property, later modern additions, and their surroundings.

Historical research for this report was referred to and incorporated from 'HIA January 2013' and derived from secondary sources, such as the City's *Listing Report* relating to the subject property. Additional background research for this report was based on information gathered from available registry office records, historical maps, census records, and other published materials accessed at the Peel Land Registry Office (LRO) and the Peel County Archives located in Brampton, or accessed online. Furthermore, the Brampton *Heritage Register* was consulted online to determine if the property is a recognized, designated or protected cultural heritage property. The consultants also conducted discussions and e-mail correspondence with and obtained earlier photographs and documents from the former property owners, Neil and Lori Monkman (Figures 13, 14, & 15).

Further historical research for this report was based on property background information included in existing Archeological Reports, Topographic Study, Environmental Assessments, Geotechnical Studies, Hydrogeological Reports and Cultural Heritage Report relating to the subject lands. Additional background research for this report was based on information gathered from available Land Registry records, historical maps, aerial photographs, census records and other published materials. The property owner has retained Glen Schnarr and Associates Inc. (GSAI) as consulting planner for the development approval applications.

The scope of this HIA report involves the evaluation of the existing house structure on the property, its history and context and the proposed development and its impact on the site using *Ontario Regulation 9/06*. The format and content of this HIA generally follow the guidelines suggested in the "Heritage Resources in the Land Use Planning Process" contained in the *Ontario Heritage Tool Kit* as follows:

- Historical Research, Site Analysis and Evaluation
- Identification of the Significance and Heritage Attributes of the Cultural Heritage Resource
- Description of the Proposed Development or Site Alteration
- Measurement of Development or Site Alteration Impact
- Consideration of Alternatives, Mitigation and Conservation Methods
- Implementation and Monitoring
- Summary Statement and Conservation Recommendations

This same content list is incorporated in the City's HIA Terms of Reference cited above (Appendix C). The provincial guideline will be used as a general outline for this report. These content requirements are incorporated into this report except for some changes to section numbering and titles as applicable to the subject property and project. This HIA is being submitted in compliance with the requirements of the Ontario Heritage Act (OHA), and by Council through the Municipal Register. It also references technical drawings, heritage policies, historical documents and applicable references of the municipality associated with the subject property, other provincial and municipal heritage standards and guidelines, as well as archive documents from various sources. These references include but are not limited to:

- Stage 1&2 Archaeological Assessment of Part of West Half of Lot 17, Concession W.H.S., City of Brampton, Regional Municipality of Peel, (Geographic Township of Chinguacousy, County of Peel), The Archaeologists Inc., January 2011
- City of Brampton's Cultural Heritage Impact Assessment, Terms of Reference ("HIA-ToR"), (Appendix C)
- City of Brampton Official Plan ('OP'), 2006 (with September 2020 Office consolidation)
- City of Brampton's Municipal Register of Cultural Heritage Resources 'Listed' Heritage Properties (2020)
- Development Concept Plan, Glen Schnarr & Associates Inc. (GSAI) November 2020 (Appendix D)
- Phase One Environmental Site Assessment (ESA) 11687 Chinguacousy Road, Southern Block Brampton, Ontario, DS Consultants Ltd., December 2020
- Geotechnical Investigation Lot 17 Concession 2 WHS, 11687 Chinguacousy Road, Brampton, Terraprobe Inc., October 2006
- Ontario Heritage Act ('OHA');
- Ontario Heritage Tool Kit (OHTK), Ontario Ministry of Culture (now Tourism, Culture, and Sport), 2006;
- PRE-Development Consultation Application, Consolidated Comment Report, Planning & Development Services, the City of Brampton (File: PRE-2020-0148), December 2020
- Provincial Policy Statement ('PPS') of the Planning Act, with revisions up to 2020
- Urban Design Addendum to Mount Pleasant Block Plan 51-2 CDG, John G. Williams Limited Architect & Strybos Barron King Ltd., Landscape Architecture, January 2021

The assessment process of this report will reference the above-listed reports, drawings and heritage conservation standards for managing the heritage resource of the Robert Hall house. Among the figures in the report, all current photographs were taken by the authors of this HIA from their site visits unless indicated otherwise. This HIA will form part of the subsequent local OPA, ZBA development applications and future SPA application, subject to the review of the Brampton Heritage Board ("BHB"), and ultimately, the Council.

David Eckler, B.E.S., B.Arch., OAA, MRAIC of AREA, whose curriculum vitae and firm profile are attached (Appendix E) is the primary author responsible for the overall preparation and recommendations of this HIA. Historical research and assessment support were provided by Robert J. Burns, Ph.D. CAHP, who was engaged by AREA as a sub-consultant historian, to research the historical background of this property which has been incorporated into this report. (Robert J. Burns, Appendix E).

1.3 PROJECT DESCRIPTION

In November 2020, Glen Schnarr & Associates Inc. (GSAI, 'Applicant') applied for a PRE-Application Consultation Meeting ('PRE-2020-0148') to the City of Brampton's Planning and Development Services Department to discuss and receive guidance about Choice Properties' intention to propose a mixed-land use development and initiate the preparation of the Application to Amend local Official Plan (OPA), the Zoning By-law (ZBL) and a concurrent Draft Plan of Subdivision Application. To support the planning applications, the heritage submission will comprise a Heritage Impact Assessment report (HIA) to address the City's heritage policies and guidelines. Since the property is listed as a heritage property by the municipality, this HIA was required as part of GSAI's development application package. This development proposal anticipates the addition of a total of 260 new dwellings not including the new lot for the Robert Hall House supplemented with a mixed use/ medium density residential / convenience commercial block, NHS Channel block and multiple open space areas, covering a total Site Area of 19.92 acres (8.06 hectares).

The proposed development includes converting agricultural lands on the south-east side corner of Mayfield Road and Chinguacousy Road of the Mount Pleasant Secondary Plan area. The proposal further includes the retention and relocation of the subject property's-built heritage resource on a new lot within the same site fronting Chinguacousy Road. The historic building will be protected, restored and reused as a single-family dwelling for the proposed residential development. The proposed new uses for the site are illustrated in the PRE-Consultation Development Concept Plan, prepared by GSAI. The proposed development contemplates a mix of uses including single detached dwellings, a range of townhouse dwellings, a 1.03 hamixed use/ medium density residential / convenience commercial block, NHS Channel block and multiple open space areas. The existing cultural heritage resource ('CHR') is proposed to be relocated on-site near the southeast corner of Clockwork Drive and Chinguacousy Road, adjacent to the walkway and servicing block (Appendix D).

After reviewing the proposal, the City issued a Consolidated Comment Report² for this PRE-Development Consultation Application dated December 9th 2020. The following comments were provided by City staff as part of the Heritage review:

"Prior to the enactment of the amending Zoning By-law, the following shall be required to the satisfaction of Heritage staff:

- Studies/Documentation;
- Heritage Impact Assessment;
- Heritage Conservation Plan with Structural Assessment;

² Consolidated Comment Report, Planning & Development Services, City of Brampton (File: PRE-2020-0148)

- Heritage Building Protection Plan; and,
- An executed Heritage Easement Agreement.

The lands containing the Cultural Heritage Resource shall be designated as part of the development approval.”

Through heritage listing, selected properties are implemented with heritage protection tools. For the subject property, this HIA report is required to form part of a local Official Plan Amendment (OPA), a Zoning By-Law Amendment (ZBA) application and subsequent Site Plan Application (SPA).

The following are the city comments from other technical groups pertaining to the heritage house:

1. Development Review

‘The Official Plan also indicates that this site exhibits heritage value and is designated as a ‘Class B Heritage Resource’. On-site retention of heritage resources is preferred before resorting to relocation. Studies as outlined in the Heritage Section of this report are required to demonstrate that the heritage resource and its attributes are not adversely affected as a result of the proposed development. Appropriate measures to mitigate impacts on the heritage resource shall be implemented as part of any development approval.’

Impacts by the proposed development, the considered conservation strategies and mitigation options have been listed and studied as a part of this report (Section 7 & 8).

2. Park Planning Review

‘At 0.07 ha, the proposed “Heritage Park” Block 60 is well below our smallest park category size (the Vest Pocket Park has a size range of 0.40 to 0.60 ha). It’s the same size as the other walkway blocks on this plan and should just be considered as a walkway with some upgraded treatments.’

A walkway and servicing block has now been provided in place of the previously proposed heritage parkette.

3. Open Space Development Review

‘Heritage staff shall be consulted to finalize the proposed relocation of the heritage home.’

Heritage staff was consulted. This Heritage Impact Assessment (HIA) is thus required to identify and assess the impacts of the proposed undertaking for the property at 11687 Chinguacousy Road in Brampton that involves the retention, restoration and relocation of the historic Robert Hall House building and construction of a mixed-use development and address the issues identified under City Comments above.

Following the guidelines provided by the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI), the City of *Brampton Official Plan and Heritage Impact Assessment Terms of Reference*, and Parks Canada’s *Standards and Guidelines for the Conservation of Historic Places in Canada (2010)*, this HIA identifies the heritage policies applicable to new development, summarizes the property’s geography and history, and provides an inventory and evaluation of the property’s built features. Based on this understanding of the property, the potential impacts resulting from the proposed development are assessed and future conservation actions are recommended. The following section lists the provincial and municipal policies that are applicable and relevant for the subject property and its associated redevelopment.

2.0 POLICY FRAMEWORK

The subject property at 11687 Chinguacousy Road, Brampton is subject to several provincial and municipal heritage planning policies. The subject property is designated 'Residential' on Schedule A - General Land Use designations in the Brampton Official Plan, which permits predominantly residential land uses including a full range of dwelling types. Furthermore, the subject property is located within the 51 Mount Pleasant Secondary Plan Area, as defined Schedule G – Secondary Plan Areas in the Brampton Official Plan, and is designated 'Low/Medium Density' and 'Listed Heritage Property'³ (Figure 1). The low/medium-density designation allows for single-detached, semi-detached, townhouses and lane-based townhouse structural types, stormwater management facilities and other infrastructure, places of worship, schools and parks.⁴ The Robert Hall Housebuilding located on the subject property has been designated as a 'Heritage Resource' and will be incorporated into the proposed development. Several provincial and municipal heritage planning policies should be considered during the decision-making process in the cultural heritage environment. The following policies are relevant to the proposed development:

2.1 PROVINCIAL POLICY STATEMENT (PPS, 2020)

The PPS 2020 identifies conservation of resources of significant architectural, cultural, historical, archaeological, or scientific interest as a provincial interest and it further recognizes that protecting cultural heritage and archaeological resources has economic, environmental, and social benefits, and contributes to the long-term prosperity, environmental health, and social well-being of Ontarians. The following sections of the PPS 2020 recognize the importance of identifying and evaluating built heritage and cultural heritage landscapes:

2.6 Cultural Heritage and Archaeology

2.6.1 *Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*

2.6.3 Planning authorities shall not permit *development and site alteration on adjacent lands to protected heritage property* except where the proposed *development and site alteration* has been evaluated and it has been demonstrated that the *heritage attributes* of the protected *heritage property* will be *conserved*.

PPS 2020 defines *significant resources* in regard to cultural heritage and archaeology resources that have been 'determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act* and *conserved* means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a

³ Brampton Maps. Accessed from: <https://geohub-brampton.opendata.arcgis.com/pages/maps/>

⁴ Land Use Policies – Low and Medium Residential. Mount Pleasant Secondary Plan, Secondary Plan Area 51. (Office Consolidation February 2017), City of Brampton. Retrieved from: <https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA51%20Mount%20Pleasant.pdf>

manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decisionmaker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.

Built heritage resources, cultural heritage landscapes, heritage attributes, and protected heritage property are also defined in the PPS 2020:

Built heritage resources: means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers.

Cultural heritage landscape: means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the *Ontario Heritage Act*, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.

Heritage attributes: means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a *protected heritage property*).

Protected heritage property: means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.

For municipalities, PPS 2020 is implemented through an 'Official Plan' which may outline further heritage policies (see Section 2.5.1).

2.2 A Place to Grow - Growth Plan for The Greater Golden Horseshoe (Office Consolidation 2020)

The Greater Golden Horseshoe (GGH) is one of the North America's fastest growing regions. The GGH City Region includes the City of Toronto and 15 surrounding counties. The subject property is located within the identified 'Urban System' in the Region of Peel (Region of Peel Official Plan Schedule D). Like other provincial plans, this Plan builds upon the policy foundation provided by the PPS and provides additional and more specific land use planning policies to address issues

facing specific geographic areas in Ontario. This Plan is to be read in conjunction with the PPS. The policies of this Plan take precedence over the policies of the PPS to the extent of any conflict, except where the relevant legislation provides otherwise.⁵

The following guidelines and policies stated under Section 4.2.7 *Cultural Heritage Resources* of the Growth Plan for GGH⁶ (August 2020 Consolidation) are applicable and relevant for the subject property and its associated redevelopment:

1. *Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.*

2.3 Region of Peel Official Plan (ROP OP, Office Consolidation 2018)

The Regional Official Plan (ROP) is a long-term plan used to manage Peel's growth and development. It is a public document which provides *Regional Council* a policy framework for decision making and sets the regional context for more detailed planning by protecting the environment, managing resources and directing growth.

The subject property is located within the Region of Peel's "Urban System" (Region of Peel Official Plan Schedule D – Regional Structure). The subject property is also located within a "Designated Greenfield Area". Moreover, the subject property is situated proximally to an "Other Rapid Transit Corridor" as show on Schedule G – Rapid Transit Corridors of the Region of Peel Official Plan. The following guidelines and policies stated under Section 3.6 *Cultural Heritage* of the ROP OP⁷ (Office 2018 Consolidation) are applicable and relevant for the subject property and its associated redevelopment:

- 3.6.2.4 *Require and support cultural heritage resource impact assessments, where appropriate, for infrastructure projects, including Region of Peel projects.*

- 3.6.2.8 *Direct the area municipalities to only permit developments and site alteration on adjacent lands to protected heritage property where the proposed property has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.*

2.4 The Ontario Heritage Act and Ontario Regulation 9/06

The Province and municipalities are enabled to conserve significant individual properties and areas through the *Ontario Heritage Act (OHA)*. Under Part III of the OHA, compliance with the Standards and Guidelines for the Conservation of Provincial Heritage Properties is mandatory for Provincially-owned and administered heritage properties.

⁵ Relationship with PPS 2020, Place to Grow Growth Plan for The Greater Golden Horseshoe Office Consolidation 2020. Retrieved from: <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>

⁶ Cultural Heritage Resources, Place to Grow Growth Plan for The Greater Golden Horseshoe Office Consolidation 2020. Retrieved from <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>

⁷ Cultural Heritage, Region of Peel Official Plan (Office Consolidation 2018). Retrieved from: https://www.peelregion.ca/planning/officialplan/pdfs/ropdec18/ROPConsolidationDec2018_TextSchedules_Final_TEXt.pdf

For municipalities, Part IV and Part V of the *OHA* enables councils to 'designate' individual properties (Part IV), or properties within a heritage conservation district (HCD) (Part V), as being of 'cultural heritage value or interest' (CHVI). Evaluation for CHVI under the *OHA* is guided by *Ontario Regulation 9/06*, which prescribes the *criteria for determining cultural heritage value or interest*. The criteria are as follows:

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act.
- (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
 1. The property has **design value or physical value** because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
 2. The property has **historical value or associative value** because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
 3. The property has **contextual value** because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

If a property meets one or more of these criteria, it may be eligible for designation under Part IV, Section 29 of the *OHA*. Once a property is placed on the Register, it gains public recognition, and a level of heritage due diligence is exercised for planning, building and/or demolition permit applications.

The City of Brampton maintains two registers⁸:

- 1) A register of properties that are designated cultural heritage resources under the *Ontario Heritage Act*. This register is known as the **"Municipal Register of Cultural Heritage Resources Designated under the *Ontario Heritage Act*"**.
- 2) A register of properties that are identified or "listed" as cultural heritage resources and may be considered for designation. This register is known as the **"Municipal Register of Cultural Heritage Resources"**.

⁸ Heritage Registers, Brampton. Accessed from: <https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Heritage/Pages/Identification.aspx>

2.4.1 MINISTRY OF HERITAGE, SPORT, TOURISM AND CULTURE INDUSTRIES

As mentioned above, heritage conservation on provincial properties must comply with the MHSTCI *Standards and Guidelines for the Conservation of Provincial Heritage Properties*. To advise municipalities, organizations, and individuals on heritage protection and conservation, the MHSTCI developed the following:

- **Standards and Guidelines for Conservation of Provincial Heritage Properties**
These standards and guidelines set out the criteria and process for identifying provincial heritage properties and to set standards for their protection, maintenance, use and disposal.
- **Ontario Heritage Tool kit:**
The Ontario Heritage Tool Kit is a series of guides for municipal councils, municipal staff, Municipal Heritage Committees, land use planners, heritage professionals, heritage organizations, property owners and others. It was designed to help them understand the heritage conservation process in Ontario.⁹

The *Heritage Resources in the Land Use Planning Process* (MHSTCI) defines an HIA as follows: 'A heritage impact assessment (or equivalent study) is a study to determine if any cultural heritage resources (including those previously identified and those found as part of the site assessment) or in any areas of archaeological potential, are impacted by a specific proposed development or site alteration. It can also demonstrate how the cultural heritage resource will be conserved in the context of redevelopment or site alteration. Mitigative or avoidance measures or alternative development or site alteration approaches may be recommended.'

Determining the optimal conservation or mitigation strategy is further guided by the MHSTCI 'Eight guiding principles in the conservation of historical properties.

The following guiding principles for the conservation of historical properties are based on international charters that have been established over the past century:¹⁰

1. Respect for documentary evidence

Do not base restoration on conjecture. Conservation work should be based on historical documentation, such as historical photographs, drawings and physical evidence.

2. Respect for the original location

Do not move buildings unless there is no other means to save them. Site is an integral component of a building. Any change in site diminishes heritage value considerably.

3. Respect for historical material

⁹ Ontario Heritage Tool kit, Culture, Heritage, Ministry of Heritage, Sport, Tourism and Culture Industries. Accessed from: http://www.mtc.gov.on.ca/en/heritage/heritage_toolkit.shtml

¹⁰ Eight guiding principles in the conservation of historical properties, Ontario Heritage Trust. Accessed from: <https://www.heritagetrust.on.ca/en/pages/tools/tools-for-conservation/eight-guiding-principles>

Repair or conserve rather than replace building materials and finishes, except where absolutely necessary. Minimal intervention maintains the historical content of the resource.

4. Respect for original fabric

Repair with like materials, to return the resource to its prior condition without altering its integrity.

5. Respect for the building's history

Do not restore to one period at the expense of another. Do not destroy later additions to a house solely to restore it to a single time period.

6. Reversibility

Alterations should be able to be returned to original conditions. This conserves earlier building design and technique. For instance, when a new door opening is put in a stone wall, the original stones are numbered, removed and stored, allowing for future restoration.

7. Legibility

New work should be distinguishable from old. Buildings should be recognized as products of their own time, and new additions should not blur the distinction between old and new.

8. Maintenance

With continuous care, future restoration will not be necessary. With regular upkeep, major conservation projects and their high costs can be avoided.

2.5 CITY OF BRAMPTON PLANS AND POLICIES

2.5.1 City of Brampton Official Plan Policies

Brampton's current Official Plan was adopted by City Council in October 2006 and approved by the Ontario Municipal Board (OMB) in October 2008. The updated September 2020 Office Consolidation includes OMB decisions and LPAT decisions that have resolved several of the appeals to the 2006 Official Plan as well as amendments made to reflect Council decisions.¹¹ The following guidelines and policies stated under Section 4.10 Cultural Heritage of the Brampton Official Plan¹² (September 2020 Consolidation) are applicable and relevant for the subject property and its associated redevelopment:

4.10.1.3 All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the Ontario Heritage Act to help ensure effective protection and their continuing maintenance, conservation and restoration.

4.10.1.4 Criteria for assessing the heritage significance of cultural heritage resources shall be developed. Heritage significance refers to the aesthetic, historic, scientific, cultural, social or spiritual importance or significance of a resource for past, present or future generations. The significance of a cultural heritage resource is embodied in its heritage attributes and other character defining elements including: materials, forms, location,

¹¹ Brampton's current Official Plan. Accessed from: <https://www.brampton.ca/EN/City-Hall/Official-Plan/pages/official-plan-background.aspx>

¹² Built Heritage, Cultural Heritage, Policies, Brampton Official Plan (2006). Retrieved from: https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf

spatial configurations, uses and cultural associations or meanings. Assessment criteria may include one or more of the following core values:

- *Aesthetic, Design or Physical Value;*
- *Historical or Associative Value; and/or,*
- *Contextual Value.*

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

4.10.1.10 A Heritage Impact Assessment, prepared by qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes. Due consideration will be given to the following factors in reviewing such applications:

- (i) The cultural heritage values of the property and the specific heritage attributes that contribute to this value as described in the register;*
- (ii) The current condition and use of the building or structure and its potential for future adaptive re-use;*
- (iii) The property owner's economic circumstances and ways in which financial impacts of the decision could be mitigated;*
- (iv) Demonstrations of the community's interest and investment (e.g. past grants);*
- (v) Assessment of the impact of loss of the building or structure on the property's cultural heritage value, as well as on the character of the area and environment; and,*
- (vi) Planning and other land use considerations.*

4.10.1.12 All options for on-site retention of properties of cultural heritage significance shall be exhausted before resorting to relocation. The following alternatives shall be given due consideration in order of priority:

- (i) On-site retention in the original use and integration with the surrounding or new development;*
- (ii) On site retention in an adaptive re-use;*
- (iii) Relocation to another site within the same development; and,*
- (iv) Relocation to a sympathetic site within the City.*

4.10.1.13 In the event that relocation, dismantling, salvage or demolition is inevitable, thorough documentation and other mitigation measures shall be undertaken for the heritage resource. The documentation shall be made available to the City for archival purposes.

4.10.1.18 The City's "Guidelines for Securing Vacant and Derelict Heritage Buildings" shall be complied with to ensure proper protection of these buildings, and the stability and integrity of their heritage attributes and character defining elements.

The following guidelines and policies stated under Section 4.11 Urban Design of the Brampton Official Plan¹³ (September 2020 Consolidation) are applicable and relevant for the subject property and its associated redevelopment:

4.11.3.2.9 Cultural heritage resources on sites subject to community revitalization shall be protected and restored in accordance with the Cultural heritage policies of this Plan.

4.11.4.7 (vi) Preservation: How the significant elements of the built and natural heritage shall be maintained and protected in new development. Some of the significant elements include:

- *Natural heritage features such as woodlots, valley lands and watercourse corridors, wetlands, and ponds,*
- *Built structures such as significant architecture,*
- *Cultural heritage features; and,*
- *Important views and vistas.*

2.5.2 City of Brampton Mount Pleasant Secondary Plan (Secondary Plan Area 51)

One of the primary goals of the Mount Pleasant Secondary Plan is to develop excellence in community living.¹⁴ The following guidelines and policies stated under Section 8.0 Cultural Heritage of the Mount Pleasant Secondary Plan (Secondary Plan Area 51)¹⁵ are applicable and relevant for the subject property and its associated redevelopment:

5.2.1.4 Buildings fronting onto Transit Spine Collector Road within Mixed Use Areas shall range in height from 3 to 6 storeys. Building heights within a "Convenience Retail", "Motor Vehicle Commercial", "Neighbourhood Retail", "Mixed Use Areas" or "School" designation may be less than 3 storeys but are encouraged to incorporate building mass and height approximating 2 storeys. One and two storey buildings are permitted through the remainder of the Mixed-Use Area. (OPA 2006- 055)

¹³ Built Heritage, Cultural Heritage, Policies, Brampton Official Plan (2006). Retrieved from: https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf

¹⁴ Section 4.2.6 Goals, ¹⁴ Mount Pleasant Secondary Plan, Secondary Plan Area 51. (Office Consolidation February 2017), City of Brampton. Retrieved from: <https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA51%20Mount%20Pleasant.pdf>

¹⁵ Mount Pleasant Secondary Plan, Secondary Plan Area 51. (Office Consolidation February 2017), City of Brampton. Retrieved from: <https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA51%20Mount%20Pleasant.pdf>

8.1 Conservation of Cultural Heritage Resources within the Mount Pleasant Secondary Plan Area shall be undertaken in accordance with Appendix A of this Chapter and Section 4.10 and other relevant policies of the Official Plan.

8.2 Schedule SP51 (a) and Appendix A of this Chapter identifies Cultural Heritage Resources “Recommended for Retention” by the approved Mount Pleasant Secondary Plan Cultural Heritage Component Study. These resources are considered to be of cultural heritage value or interest and are recommended to be retained and conserved on their original sites, when deemed feasible from a structural, land use, programming and financial perspective. If it is not feasible to retain and conserve the resources on their original sites, then they may be relocated elsewhere, failing which they may be demolished in accordance with municipal requirements.

8.4 Cultural Heritage Resources will be identified for retention through the approved Heritage Study. The integration of identified Cultural Heritage Resources into new development proposals based on their original use or an adaptive reuse is to be guided by a suitable Conservation Plan for each property. City Council shall obtain and consider, but not necessarily be bound by the recommendation of the Brampton Heritage Board as to whether existing Cultural Heritage Resources should be retained, relocated or demolished. 8.5 Where a development proposal will impact a cultural heritage resource identified for retention by the approved Heritage Study, the City shall require the applicant to prepare a Heritage Resource Assessment which will indicate whether or not it is feasible from a structural, land use, programming and financial perspective, to preserve and conserve the resource, to the satisfaction of City Council.

8.6 Assuming that the resource identified in Section 8.5 is worthy of retention and conservation, then the applicant shall prepare a detailed Conservation Plan outlining requirements for stabilization, conservation, restoration, reuse or adaptive reuse, prior to development approval to the satisfaction of City Council, including heritage designation under the Ontario Heritage Act, as appropriate.

8.7 All development adjacent to or incorporating a cultural heritage resource should, from a built form perspective be respectful of the resource, having regard for scale, massing, setbacks, materials and design features.

8.9 Landowners are required to adequately maintain, protect, and secure any cultural heritage resource identified for retention in the approved Heritage Study.

8.10 Those Cultural Heritage Resources identified for retention in the approved Heritage Study shall be subject to the standard subdivision financial security provisions. Upon completion of these conditions, to the satisfaction of the City, securities shall be reduced or released accordingly.

8.11 As a component of Block Plan Approval, the City shall adopt a strategic implementation plan for Cultural Heritage Resources. This plan will identify priority resources for conservation based on specific criteria, including but not limited to, historical merit, the financial feasibility of acquisition and long term maintenance, contextual merit, reuse or adaptive reuse potential and structural integrity.



Figure 1: Schedule SP 51(a) Mount Pleasant Secondary Area No.51, Brampton Maps.

Accessed from: <https://geohub-brampton.opendata.arcgis.com/pages/maps/>

(Annotated by AREA)

2.5.3 Zoning By-Law

The Brampton Property Report for 11687 Chinguacousy Road displays the existing zoning on the subject property as 'Agricultural' under the City of Brampton Zoning By-law 270 - 2004.¹⁶

SECTION 46.1 AGRICULTURAL ZONE – A

The lands zoned A on Schedule A to this by-law:

46.1.1 shall only be used for the following purposes:

(a) Agricultural

(1) agricultural purposes as defined in Section 5 of this by-law

(b) Non-Agricultural

(1) a single detached dwelling

(2) a group home type 1 or a group home type 2

(3) a cemetery

(4) an animal hospital

(5) a kennel

(6) a home occupation

(c) Accessory

(1) purposes accessory to the other permitted purposes

The proposed residential development is not currently permitted in the existing Mount Pleasant Secondary Plan land-use policies and provisions under Zoning By-law 270 - 2004. As a result, a local Official Plan Amendment and Zoning By-law Amendment are required to permit the proposed development. As such a new "Residential and Convenience Commercial" designation within Mount Pleasant Secondary Plan Area of the City of Brampton OP is proposed to alter the existing 'Neighbourhood Retail' zoning category. The proposed "Residential and Convenience Commercial" designation is intended to permit 260 new dwellings, not including the new lot for the Robert Hall House, supplemented with a mixed use/ medium density residential / convenience commercial block, NHS Channel block and multiple open space areas, covering a total Site Area of 19.92 acres (8.06 hectares).

To permit the proposed development, it is proposed that the subject property be rezoned from "Agricultural" to "A mix of residential, commercial and open space uses".

¹⁶ 11687 Chinguacousy Rd., Brampton Property Report. Retrieved from: https://www.brampton.ca/EN/BUSINESS/PLANNING-DEVELOPMENT/ZONING/COB%20ZONING/CATEGORY/SECTION_46_AGRICULTURAL.PDF

3.0 INTRODUCTION TO SUBJECT PROPERTY

3.1 LOCATION OF THE SUBJECT PROPERTY

Municipal Address	11687 Chinguacousy Road, Brampton, Ontario (Figure 2)
Legal Description	CONC 2 WHS PT LOT 17 43R-15957 PART 3
Site Area	The subject property has a site area of approx. 8.8 ha. (approx. 19.92 acres) (north and south blocks combined)
Location & Boundaries	This property is located at the southeast corner of Mayfield Road and Chinguacousy Rd. in the City of Brampton. Access to the Property is via Chinguacousy Road.
Official Plan Designation	The subject property is located within the Mount Pleasant Secondary Plan Area, as defined by the City of Brampton Official Plan, and is designated 'Neighbourhood Retail' and 'Heritage Resource'.
Zoning By-Law	The existing zoning on the subject property is 'Agricultural' under the City of Brampton Zoning By-law 204-2010.

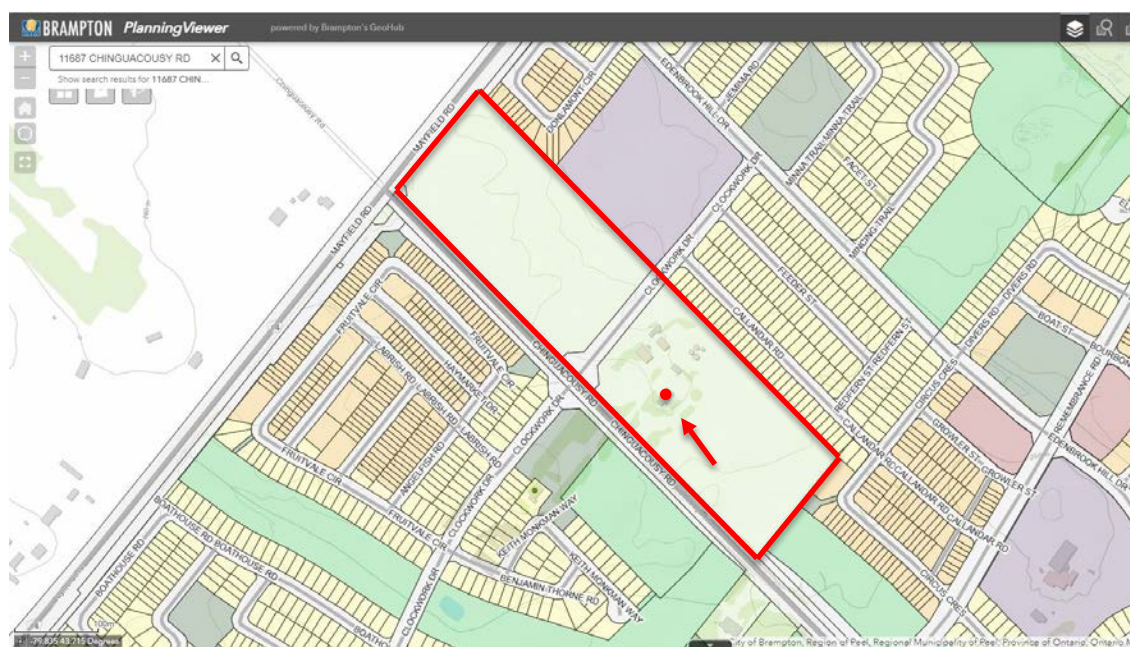
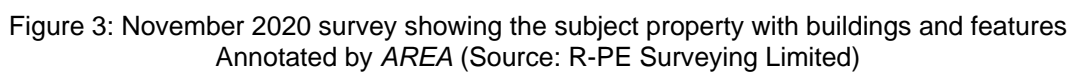


Figure 2: Map showing the location of the Heritage resource and site boundary of the subject property in red. (Source: Brampton Planning Viewer 2020). Annotated by AREA



3.2 DESCRIPTION OF SUBJECT PROPERTY

The subject property's address is 11687 Chinguacousy Road, located at the southeast corner of Chinguacousy Rd. and Mayfield Road in the City of Brampton (Figure 1). The subject property was originally the West Half of Lot 17, Concession 2, West of Hurontario Street, Chinguacousy Township, Peel County. Its legal description through the Land Registry Office is now: PT LT 17 CON 2 WHS CHINGUACOUSY PART 3, 43R15957; SAVE AND EXCEPT PART 1, PLAN 43R35275; SUBJECT TO AN EASEMENT IN GROSS OVER PARTS 1 & 2, PLAN 43R37101 AS IN PR2947960; SUBJECT TO AN EASEMENT IN GROSS OVER PART 1, PLAN 43R37492 AS IN PR3170995; CITY OF BRAMPTON and PIN No.14251-3645 (LT).

While Chinguacousy Road runs in a roughly north-westerly direction, it will, for the sake of convention and clarity, be discussed as if it followed a north/south alignment, much as Mayfield Road is typically described as running east/west.

3.2.1 Site

The subject property is rectangular in shape and covers an area of approximately 19.92 acres (Figure 4). Most of the property is currently open and cultivated farmland. The north portion is cultivated agricultural field while the south portion contains the Robert Hall House, later additions and outbuildings. The property is mostly flat and open, with no significant woodlands or wetland features. A natural drainage feature flow into a tributary of Fletcher's Creek found on the eastern boundary. It gently slopes down to the southeast.

Behind these structures are single-family dwellings to the east (Figure 4).



Figure 4: Aerial photograph showing the approximate extents of the subject property in red (Google 2020).



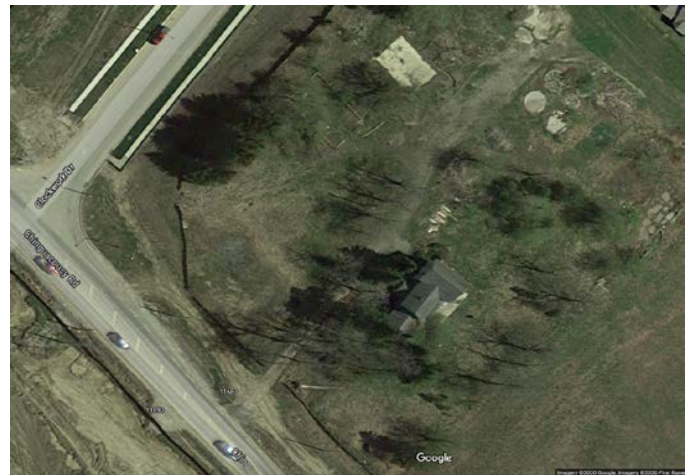
Figure 5: View of the subject lands and entrance to the site from Chinguacousy Road looking north.
(Source: Google Maps 2020)

3.2.2 Buildings

The property at 11687 Chinguacousy Road consists of a nineteenth-century limestone residence and accompanying outbuildings and is surrounded by residential developments (Figure 6). All of this property is currently vacant but was previously occupied by Neil and Lori Monkman's family.



2012



2020

Figure 6: Robert Hall House with later additions and outbuildings
(Source: Google Maps)

In conformance with Chinguacousy Road, the structures within the property are oriented in a southwest-to-northeast axis. At present, the site contains the Robert Hall House with its later additions. Outbuildings that were once located on-site were removed by a previous owner as they did not have any heritage value.

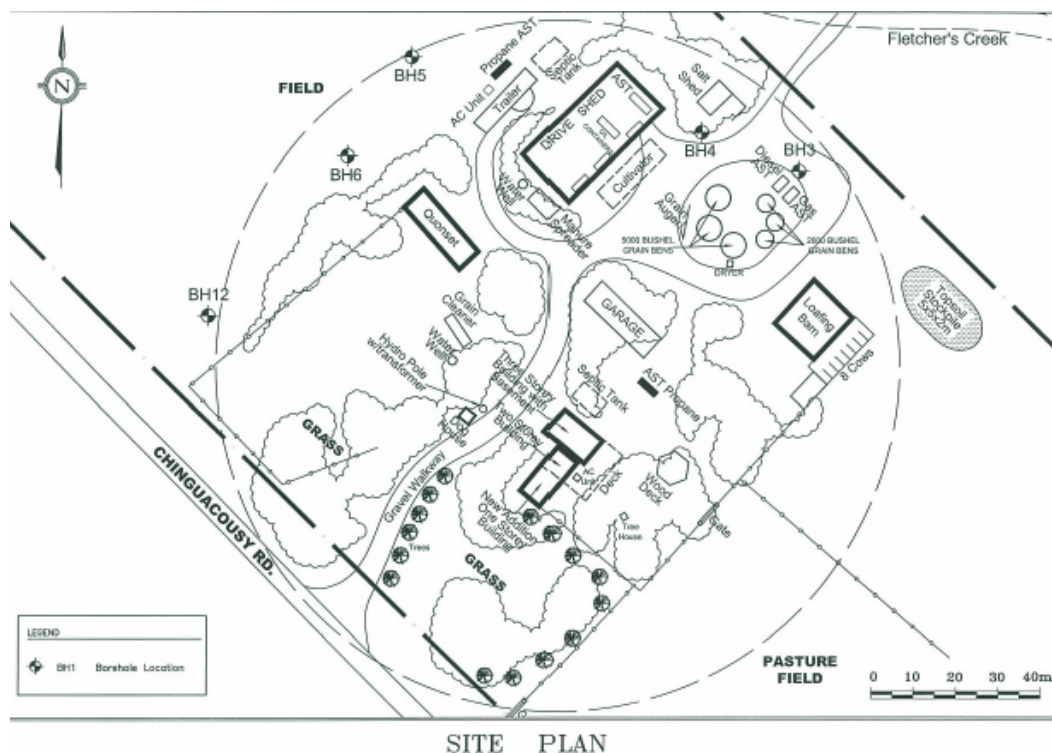


Figure 7: Site Plan showing the two storey limestone residence with its later additions and outbuildings (Source: Terraprobe, 2006)

Besides the Robert Hall house, other structures included the following (Figure 6,7):

- *Trailer House* - set on slab-on-grade concrete, and was serviced by water supply from the same water well as the main house.
- *Quonset* - approximately built in the 1950's; the arch steel frame structure was primarily used for machine storage.
- *Drive shed* - approximately built in the 1980's; the steel-frame structure, clad in galvanized sheeting, was primarily used for machine storage.
- *Salt Shed* - the wood structure that is set on slab-on-grade concrete was used to store salt for owner's snow removal business.
- *Loafing Barn* - the steel frame structure, also clad in galvanized sheeting was used to house farm animals; the gate of this building is located at the south, open to the loafing field.
- *Grain Bins* - a total of six grain bins were located at the east of the central portion of the property, three of which had an approximate capacity of 5,000 bushels and the other three with 2,000 bushels; all grain bins were a cylindrical steel frame structure covered by galvanizing sheeting, built on slab-on-grade concrete.
- *Garage* - located right at the center was a 1960's wooden garage that was subsequently used for storage.

3.2.3 Context

The subject property is located at the intersection of Chinguacousy Rd. and Mayfield Road. The intersection is currently within the City of Brampton but was historically an unincorporated area of Chinguacousy Township in Peel County. Chinguacousy Rd. and Mayfield Road were laid out as lot and concession roads, the main thoroughfares of agricultural regions in the 19th century.

The site's present surroundings are representative of suburban development in Ontario. East of Chinguacousy Rd. is a large residential subdivision. West of Chinguacousy Road are more proposed subdivisions (Figure 4). Directly south of the site is a flood plain area and north of the site are vacant lands. These sites contain athletic fields and open green space.



Figure 8: Looking west (across the street) from the subject property
onto adjacent flood plain area and beyond
(Source: Google Maps)

Historically the vicinity was dominated by agricultural uses. By the 1950s and into the 1960s, several houses were built along the west of Chinguacousy Rd, though agriculture continued to predominate behind (See Figure 4). By 2000 most of the subdivisions east of Chinguacousy Rd. had been built.

3.3 HERITAGE STATUS

3.3.1 HERITAGE LISTING OF THE PROPERTY

The farm landscape and other outbuildings – barns, shed, etc. – are not identified as part of the property’s heritage significance; therefore, the historic house will be the principal focus of this HIA. The house is “listed” on the City’s Heritage Register but without an assigned criteria Class or Score. For the house at 11687 Chinguacousy Road, the HIA report will need to assess its heritage value with the following preliminary information:

- This house has been “listed” on the City’s *Heritage Register* as part of the Secondary Plan review and is not designated under the Ontario Heritage Act (OHA).
- It is identified as belonging to the Robert Hall family who owned the farm as indicated on the 1877 Historical Illustrated Atlas of Peel County (Figure 11).
- This former farmhouse comprises both a rear wood frame, board-and-batten clad portion and the middle fieldstone wing (Figures 15, 26 & 27).
- This structure appears to be in fair condition although the basement of the masonry portion exhibits some deterioration which required underpinning in more recent times (Figure 24).
- The original stone house has been extended in a series of additions and alterations which are all post-1960 and are not considered to be of heritage value.

The City Heritage Staff’s *Listing Report* identifies primarily the “19th Century stone farmhouse” as providing the property’s cultural heritage value.¹⁷ Because 11687 Chinguacousy Road is not a designated property under the terms of the *OHA* but has been entered on the Clerk’s *Heritage Register*, it will be assessed using the guidelines established by the City of Brampton and the *Listing Report* of the property prepared by City staff for and approved by the Brampton Heritage Board (BHB) for the *Municipal Register of Cultural Heritage Resources*. The City of Brampton *HIA – Terms of Reference* (ref. subsection 2.1) state:

2.1 An HIA will be required for the following:

- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is subject to land use planning applications;
- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is facing possible demolition;
- Any property that is subject to land use planning applications and is adjacent to a property designated in the municipal heritage register, pursuant to Section 27 (1.1) of the *Ontario Heritage Act*.

The first category of properties requiring an HIA applies to the subject farmhouse since it will be the subject of various planning approvals for the proposed commercial development.

¹⁷ Brampton Heritage Board, “Municipal Register of Cultural Heritage Resources ‘Listed’ Heritage Properties Last Updated: 2020,” https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Heritage/Documents1/Listed_Register.pdf

3.3.2 ADJACENT CULTURAL HERITAGE RESOURCE

The following adjacent heritage property is included in the Brampton's Municipal Register of Cultural Heritage Resources (2020) as 'Listed' heritage properties¹⁸.

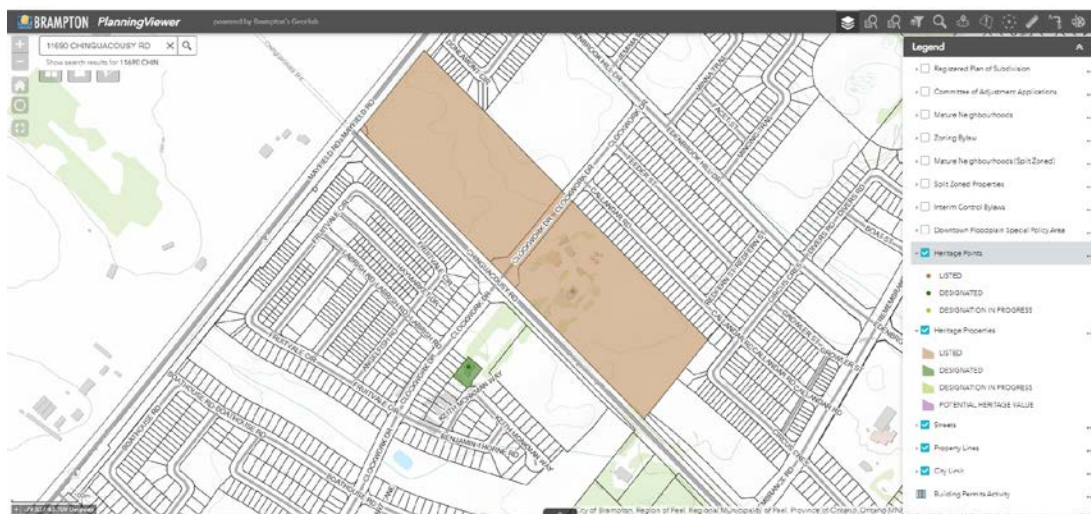



Figure 9: Adjacent Cultural Heritage Resource at 11690 Chinguacousy Road (Designated - Green) and the subject site 11687 Chinguacousy Road (Listed – Brown) (Source: Brampton Planning Viewer 2020)

TABLE 1: ADJACENT CULTURAL HERITAGE RESOURCES

#	Resource (Category and Type)	Description	Image
1	11690 Chinguacousy Road, Brampton Built Heritage Resource (BHR), Residential Municipally designated under Part IV of the OHA (By-Law Number 19-2019)	Taylor-Monkman Farmhouse The Taylor-Monkman Farmhouse has design and physical value as a representative example of Queen Anne Revival style. The farmhouse features an asymmetrical massing and wrapping porch at the corner of the principal (east) and side (south) elevation, both indicative of the Queen Anne Revival style. The Taylor-Monkman farmhouse is one of the few distinctive buildings within the area valued for supporting and defining the historical character of the agricultural past of Chinguacousy Township. ¹⁹	

¹⁸ Brampton Heritage Board, "Municipal Register of Cultural Heritage Resources 'Listed' Heritage Properties Last Updated: 2020,"

https://www.brampton.ca/EN/Arts-Culture-Tourism/Cultural-Heritage/Documents1/Listed_Register.pdf

¹⁹ NOTICE OF INTENTION TO DESIGNATE, 11690 Chinguacousy Road in the City of Brampton. Accessed from: <https://www.brampton.ca/EN/City->

4.0 HISTORICAL / ASSOCIATIVE SUMMARY

4.1 EARLY HISTORY OF THE AREA

Although the territory we now know as Southern Ontario has been occupied for millennia, the following will present a brief description of European settlement from the late 18th century.

The Constitutional Act (sometimes called the Canada Act) of 1791 created the Provinces of Upper Canada and Lower Canada. John Graves Simcoe, the first Lieutenant-Governor of the Province, initiated several schemes to populate and protect the newly created province, as the ongoing threat of war with the United States required the borders to be populated quickly. A settlement strategy that relied on the creation of shoreline communities and effective transportation links between the settlements was employed. To this end, the acquisition of lands inhabited by the First Nations was required.

The first purchase of land from the Mississauga First Nations occurred in 1805, and included land between Etobicoke Creek and Burlington Bay, and extended north about 5 miles from Lake Ontario. The second purchase of the northern portion of the Mississauga Tract, including the present Study Area, was completed in October 1818. Richard Bristol undertook the first survey of Chinguacousy Township in 1819.

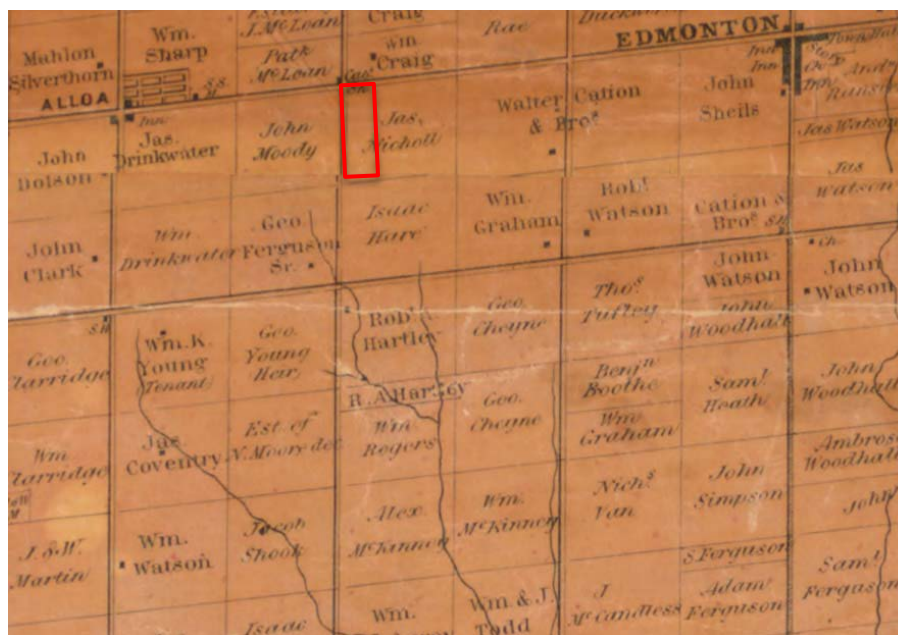


Figure 10: Tremaine Map, 1859, Partial Detail showing the hamlets of Alloa and Edmonton and west half Lot 17, Con. 2 WHS, Chinguacousy Township, belonging at this time to James Nicholl, with the subject property shown outlined.

4.2 HISTORICAL CONTEXT OF CHINGUACOUSY TOWNSHIP

In the 1819 survey of Chinguacousy Township, the township was divided into east and west halves by Hurontario Street, with concessions running in north-south strips on either side. The subject property is located in the second concession West of Hurontario Street (WHS). Chinguacousy Township consisted of fertile agricultural land and settlement in the immediate area occurred during the 1820s and 30s. The nearest communities to the subject property were Brampton six kilometers to the south, Alloo and Edmonton, each respectively one concession to the east and west. Alloo and Edmonton developed on the original east-west road, now Regional Road 14 or Mayfield Road, forming the northern boundary of the subject property.

Brampton developed as a cluster of homes and small businesses in the 1830s and was incorporated as a village in 1853. Three years later the Grand Trunk Railway arrived to connect the community with Toronto and points east and, in 1867 Brampton was chosen as the Peel County seat. The Credit Valley Railway passed northward through Brampton 12 years later, its route coming within two concessions of the subject property. The change from wilderness to settled and accessible farmland had taken just 30 years.

Mainly United Empire Loyalists or their descendants, who had come from New Brunswick, New York, or other parts of Upper Canada, settled Chinguacousy Township. In 1821, the Township had a population of only 412, with 320 acres of land under cultivation (ref. 'u': 64). In the 19th century, Chinguacousy was considered to be a first-class agricultural township. For administrative purposes, the Townships in Peel County remained within the District of Home until 1851 when the county administrative system was created. The administrative boundaries of Peel remained unchanged until 1974 when Chinguacousy Township was incorporated into the boundaries of the City of Brampton and it, with the City of Mississauga, and the Town of Caledon, amalgamated to create the Region of Peel.



Figure 11: Chinguacousy Township South, 1877 (Historical Atlas of Peel County, subject property identified by arrow.)

4.3 HISTORY OF THE PROPERTY

The patent to the west half of Lot 17, Con. 2 WHS, Chinguacousy Township was issued in 1836 to Joseph Boyle of whom little is known (3 Feb. 1838). Boyle and his wife, Mary, sold the property within days for £131. The new owners of what would have been virgin land were brothers John and James McCulloch and James Nicholl (7 Feb. 1838).

The McCulloch brothers and their friend James Nichol present an insightful vignette of the immigration and settlement process in early Upper Canada. John and James McCulloch, in their early 20s and teens at the time, emigrated from Ireland in 1832 with their widowed mother, Anne McCulloch, two younger sisters and a friend, James Nicholl (9 Aug. 1934). Mrs. McCulloch died of cholera near the end of the voyage and was buried at Gross Isle. The youngsters proceeded to Toronto, where they remained together and worked and saved to purchase their own farms.

In 1838, they continued to Brampton, where they bought, again in common, three lots in the second concession of Chinguacousy Township. One of these, the west half of Lot 17, became the farm of James Nicholl who soon married Lavina, one of the McCulloch sisters. The couple raised four sons on their property. In 1875, James Nicholl transferred the farm to his youngest son, Charters Nicholl, for \$4,000. In 1876, Charters Nicholl, and John and James McCulloch who had remained signatories to the property, sold the 100-acre farm to Robert Hall for \$7,000 (24 Jan. 1876, Figure 13).

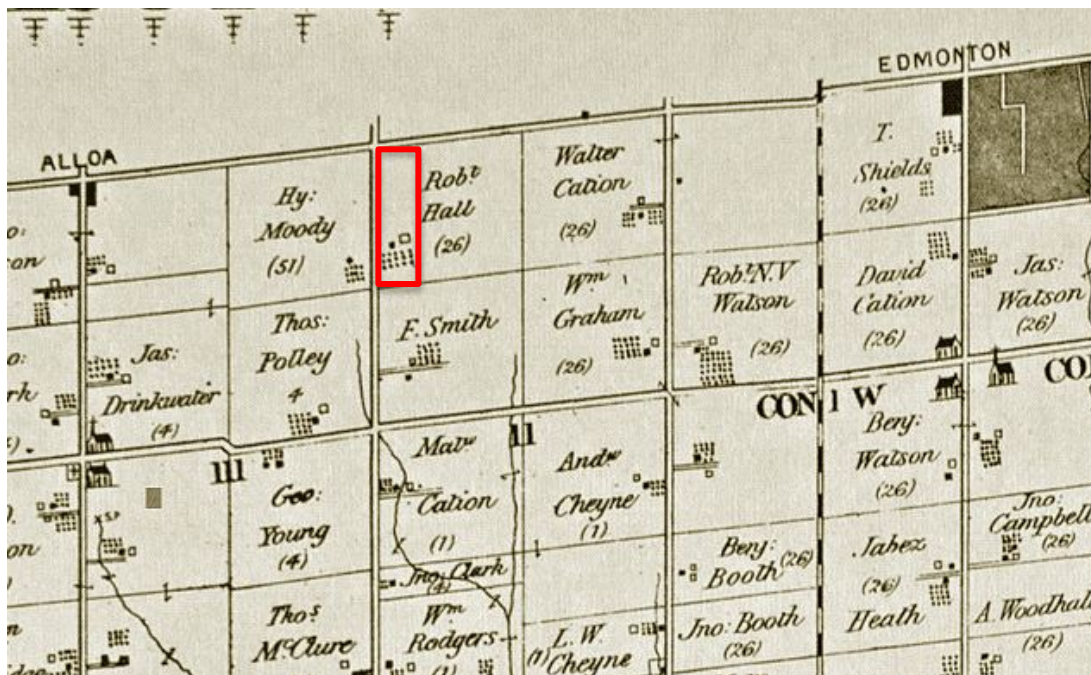


Figure 12: Chinguacousy Township South, 1877, Partial Detail, showing west half Lot 17, Con. 2 WHS, belonging at the time to Robert Hall (Historical Atlas of Peel County), with subject property shown outlined.

Robert Hall was born in Scotland in 1838 and came with his parents to Chinguacousy Township in 1842 where they purchased and cleared a farm four lots north of our subject property (8 Feb. 1917). A life-long bachelor, Robert and his older sister Isabella farmed the property, importing heavy horses and Ayrshire cattle from Scotland. In 1907, at age 69 he sold the farm and he and Isabella retired to Cheltenham where he died in 1917. Robert was active in local politics, serving as a Chinguacousy Township and Peel County councilor. He was also deputy reeve of the township for a time and a justice of the peace (8 Feb. 1917).

[illegible]

Figure 13: Chinguacousy Township, Lot No. 17, West ½ 2nd Concession West Land Registration, Partial Detail, showing 1876 sale of the original farm by Charters Nicholl to Robert Hall, Peel County Land Registry Office, Peel Heritage Complex, copy courtesy of Neil and Lori Monkman).

When he retired in 1907, Robert Hall sold his farm to Thomas Pawley, who in turn sold all 100 acres to William James Taylor in 1920. Taylor raised registered Jersey cattle on the farm. The property remained in the Taylor family until 1969, when it was sold to the Monkman family. Neil and Lori Monkman, took possession in 1979 and maintain a mixed farming operation on the same piece of land that Joseph Boyle had patented 174 years earlier. TFP Mayching Developments Ltd. is the current owner of the property.

5.0 DESIGN / PHYSICAL SUMMARY

5.1 PERIOD UP TO HOUSE CONSTRUCTION

James Nicholl, the first permanent resident of the subject property, would have built a home and outbuildings shortly after taking possession in 1838, but nothing is known of these structures until 1851 when the Nicholl family are recorded as residing in a one-and-a-half storey log house. The 1861 census provides the same information. Unfortunately, later census returns do not include any details regarding existing structures. Assessment information for the area and the period is also sporadic and partial.



Figure 14: Farmhouse Exterior, view of east and north façades, 11687 Chinguacousy Road, Brampton, c. 1969, showing the wood porch on the north which replaced the original stone summer kitchen and a drive shed and the non-original concrete block chimney on the east.

The year of this photo coincides with the Monkman purchase and is before the two-storey rear addition on the west and the one-storey brick extension on the east. This image of the house is conjectured to be close to the original c.1875 construction except for the missing north elevation appendages and the later utilitarian chimney (courtesy of Neil and Lori Monkman).

Between 1875 when Charters Nicholl purchased the 100-acre property from his father and the following year when he sold it to Robert Hall, the property rose in value from \$4,000 to \$7,000. While one might be tempted to equate this rise in value with the possible construction of a new house on the property, it must be kept in mind that the first sale was between a father and son and may not have been a true reflection of the value of the property.

It must also be noted that \$3,000, the difference in the two selling prices, was much more than what the construction of a one and a half storey limestone residence would have warranted in 1875-76. It is also possible that the \$4,000 paid out in 1875 was compensation for John and James McCulloch who had not yet officially relinquished title to the property.

Under this conjecture, one could evaluate the farm as being worth \$6,000 in 1875 with the third portion being waived as the gift from a father to a son. Despite the absence of documentary evidence, it is certain that the current house postdates 1861, and it seems likely that it was erected in the mid-1870s, either by Charters Nicholl or Robert Hall, i.e., before or after the property sale/purchase.

5.2 DESCRIPTION OF THE ORIGINAL RESIDENCE

The site investigation conducted in September 2012 suggests that the original structure was much as it appears in photographs from 1969 (Figure 14) and even 1984 (Figure 15) provided by the Monkman family²⁰. The original structure was a one-and-a-half-storey limestone farm residence, rectangular and measuring approximately 11 by 9 meters.

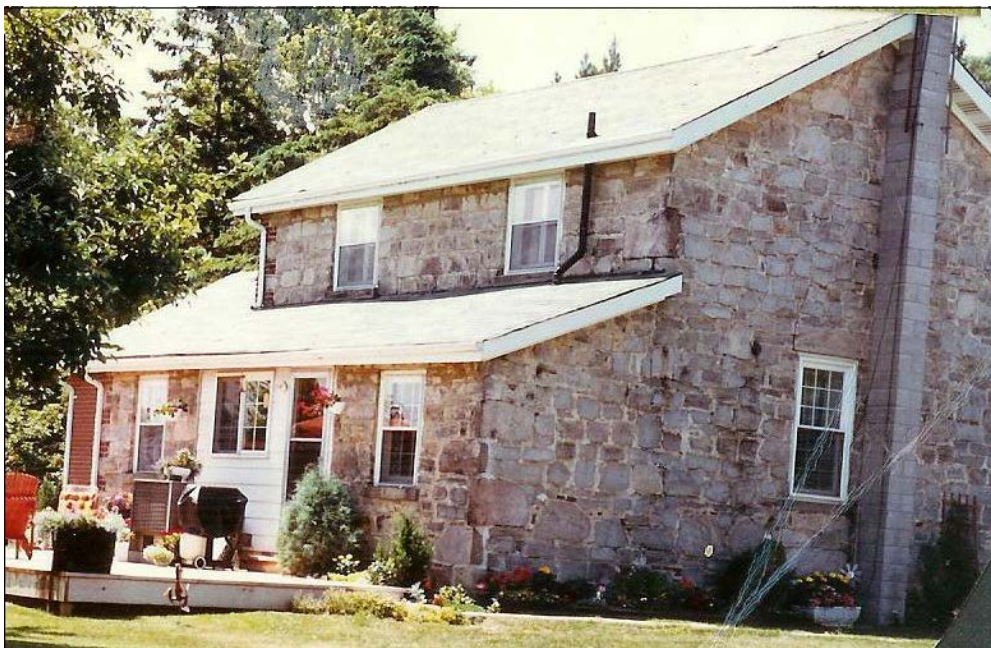


Figure 15: Farmhouse Exterior, view of east and south façades, 11687 Chinguacousy Road, Brampton, c. 1984

The photo shows the non-original concrete block chimney and before the two-storey rear addition on the west but after the one-storey brick extension on the east shown obliquely in the background (courtesy of Neil and Lori Monkman).

²⁰ These photos date from the purchase of the property from William Taylor by the older generation Monkmans, Keith and Catherine, the latter of whom was alone listed on title.

The images above (Figures 14 & 15) show the house from the east without its rear addition and, for the former earlier photo, prior to the addition of a one-storey brick extension at the front. With respect to the later c.1984 photo, the west side would have been changed with the brick addition by the Monkman family at that time which is discussed further below. The wood porch in the earlier image is a replacement of a stone summer kitchen and drive shed that had been integrated into the original structure. The concrete block chimney running up the east (rear) face of the building is also a replacement of the original chimney which may have consisted of a flue pipe from a wood burning stove.

For simplicity and the purposes of this report, the original c.1875 stone structure (which is only the middle portion of the current residence) will be called the Robert Hall House to correlate with its identification in other reports. But it should be noted and emphasized that the time of the house construction may have occurred under either of the owners of the 1870s, Charters Nicholl or Robert Hall.

The front or west façade originally was the main central entrance that can be observed in its formal decorated brick quoins (missing from the east façade) and facing the access from Chinguacousy Road (Figure 16). A horizontal beam running the width of the front at the level of the roof ties which is set into the stone as a “nailer” strip (Figure 17) and holes in the masonry, now hidden, at the ground floor ceiling height as pockets for the soffit members once provided support of the former porch. This suggests that the front of the house originally featured a wide verandah with a sloping roofline in a shed form.²¹



Figure 16: Farmhouse Exterior, view of west and south façades, 11687 Chinguacousy Road, Brampton, December 2009,

The photo shows the upper gable above the 1-storey brick extension from 1979 with its brick quoins and inset wood nailer strip of this former front porch. This relatively unobstructed view can only be seen when the obscuring vegetation of spring and summer are not an obstruction.

²¹ Again, this information comes from the Monkman family who constructed the front brick extension in 1979. They have confirmed the existence, though hidden now, of the pockets for the porch ceiling ties.

5.3 CONDITION ASSESSMENT

The exterior walls consist of an outside surface of carefully coursed and positioned stone. The exterior stone coursing can be described as “semi-dressed” or rough coursed since the irregular rectangular blocks are somewhat consistent but the surface is certainly not cleanly cut or honed (Figure 18). The exposed stone on the interior has a rougher fieldstone appearance. The exterior walls appear to be about two feet thick and, by the description of the Monkmans, has its centre filled with rubble stone²² (Figure 19). There are two bays of windows on the north and south façades, each supported on a stone sill. Some of the first-floor windows are crowned with large, fully dressed stone lintels (Figure 20).



Figure 17: Farmhouse Exterior, detail view of west facade, showing the brick quoins and the horizontal nailer beam from the former porch.



Figure 18: Farmhouse Exterior, detail view of north facade, showing the rough coursed limestone masonry



Figure 19: Farmhouse Exterior, detail view of north facade, showing the dressed stone lintels and sills



Figure 20: Farmhouse Interior, detail view of former east facade, showing the wall thickness, the rough rubble fieldstone and the doorway converted from the original window for the 1991 addition.

²² The Monkman family determined the composition of the exterior walls while changing the original window on the east façade to a doorway providing entry to the tall 1991 wood frame and board-and-batten addition.

The south façade incorporates a porch area, now enclosed (Figure 16). This 1-storey shed roof extension from the 2-storey stone structure is unusual, and even more so since it appears to date from the original house construction. Its stonework is similar and it even incorporates the same brick quoins on its south-west corner as the 2-storey west elevation (Figures 16 & 17).

The composition of this one-storey projection incorporates two small wall-enclosed side-bays containing windows and the middle portion which was formerly exterior (Figure 21) – other “exterior” walls and doorways (now on the interior) face into the niche of this one-time porch. Its elevation is close to (if not actually) symmetrical. It is quite possible that this façade constituted an early front entry prior to its relocation to the west elevation.

This reorientation of the entrance would have occurred relatively close to the original construction – such as even within the same decade since the stone work and brick quoins all appear to be from the same circa 1870s period. Indeed, this Georgian style would have more commonly incorporated the front façade on its long (and usually south-facing) façade which was parallel to the ridge and orientation of the gable roof. It is more unusual for this style that the west gable end of the house features the entrance porch and front door.



Figure 21 Farmhouse Exterior, view of south façades, December 2009 (left) & November 2020 (right) showing the former porch now enclosed with two small wall-enclosed side-bays forming a somewhat symmetrical elevation.

The interior of the original residence consisted of a central kitchen-eating-living area with two smaller rooms at the rear or east end of the structure (Figure 22). A straight flight of stairs leads to the second floor and a large open landing. There were two small rooms on the west side of this level. Some of the fine interior joinery, such as door casing (Figure 23), remains intact as does some of the original flooring material (Figure 25). The rafters and the roof decking board, visible in the attic, appear to be original material (Figure 24). The basement, under the original stone house only (not the additions), has been excavated and underpinned to provide a higher ceiling and has its original perimeter wall of fieldstone (Figure 29).

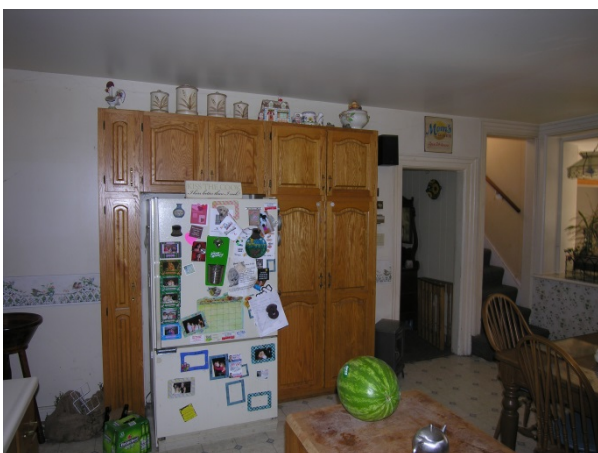


Figure 22 Farmhouse Interior, view of east wall of central kitchen, showing original door openings including access to stair to second floor.
(December 2009)



Figure 23 Farmhouse Interior, detail view of wood trim joinery such as the original door casing.
(December 2009)



Figure 24 Farmhouse Interior, detail view of the attic showing original hewn roof rafters and decking board
(December 2009)



Figure 25 Farmhouse Interior, detail view showing original pine wood plank flooring.
(December 2009)

5.4 CHANGES TO THE ORIGINAL STRUCTURE

The first notable change to the original stone house occurred about 1969 when a wall of the original stone summer kitchen on the north side collapsed during stabilization efforts. It was replaced by the porch built in wood framing and clad with shiplap siding (Figure 14) which has since been re-clad in vertical boards (Figure 27, at the time of the 1991 addition).

A second extension, a simple red brick single-storey structure, was added to the front façade in 1979 (Figures 16 & 26). It reconfigured the building to make the north side the primary entrance (Figures 14 & 27).

The third and largest extension, erected in 1991, is a tall pseudo-Gothic designed addition in wood framing and clad with vertical siding that serves as a living area (Figures 27 & 28). Its western interior wall is the former exterior surface of the original house (Figure 19).²³



Figure 26 Farmhouse Exterior, view of west façade, showing the 1979 1-storey brick extension covered the former front entry porch which was re-located to the north wood-clad enclosed porch.



Figure 27 Farmhouse Exterior, view of east and north façades, December 2009, showing the 1991 2-storey addition with board-and-batten cladding also applied to the enclosed porch from 1969.

So, in summary, the exterior additions/alterations to the building envelope comprise:

- Replacement of the entry porch in wood construction on the north side (1969, 'wood porch');
- Removal of the red brick extension on the west side (1979, 'Monkman addition'); and
- Removal of the two-storey wood-clad addition on the east side (1991, 'Pseudo-Gothic addition').

This latest addition is a poor reinterpretation of historical style(s) because of the incongruous combination of classical elements (i.e., semi-circular and oval gable windows) with Carpenter Gothic board-and-batten cladding. Thus, in assessing the heritage value of the house, only the original c. 1875 house, consisting of the limestone structure, has sufficient historic integrity to warrant evaluation.

²³ Information on alterations to the house during the latter half of the twentieth century was provided by Neil and Lori Monkman.



Figure 28: Farmhouse Exterior, view of west and south façades, 11687 Chinguacousy Road, Brampton, December 2009 (Left) & South Façade December 2020 (Right)

The photo shows the upper gable above the 1-storey brick extension from 1979 with its brick quoins and inset wood nailer strip of this former front porch. This relatively unobstructed view can only be seen when the obscuring spring and summer vegetation are not an obstruction.

Interior changes as seen in the December 2009 photos include new kitchen cupboards which hide but have not impinged on the original lower-wall wainscoting (Figure 22), some replacement windows and reconfigured rooms on both levels area (Figure 23), as well as the addition of modern water, heating and electrical systems. In 1981, the basement floor was lowered, through underpinning, to provide a higher ceiling (Figure 29).



Figure 29: Farmhouse Basement Interior (December 2009 Left & November 2020 Right)

View of basement under the original stone house only showing the rough rubble fieldstone foundations, a closed window opening on the front (west) wall (covered by the 1979 extension) and the replacement modern-day masonry on the north wall which collapsed in 1969 and was replaced with the enclosed wood entry porch. Also evident are the mechanical and electrical systems which have been upgraded by and during the ownership of the Monkmans, (Figure 29, see Appendix B for more Site Photos – November 2020).

5.5 EVOLUTION OF ROBERT HALL HOUSE

A. Built Form, Mid-1870's (c.1875)

1. Original limestone house, presumably built in the mid-1870's, either by Charters Nicholl or Robert Hall.
2. It is a one-and-a-half-storey farmstead, in an 11x9-metre rectangular plan, with a stone summer kitchen abutting the north facade.
3. Original block chimney on the east wall may have been a flue pipe from a wood burning stove.
4. West facade originally incorporated the main entrance as indicated by its formal, decorated brick quoins, and facing towards the access from Chinguacousy Road.

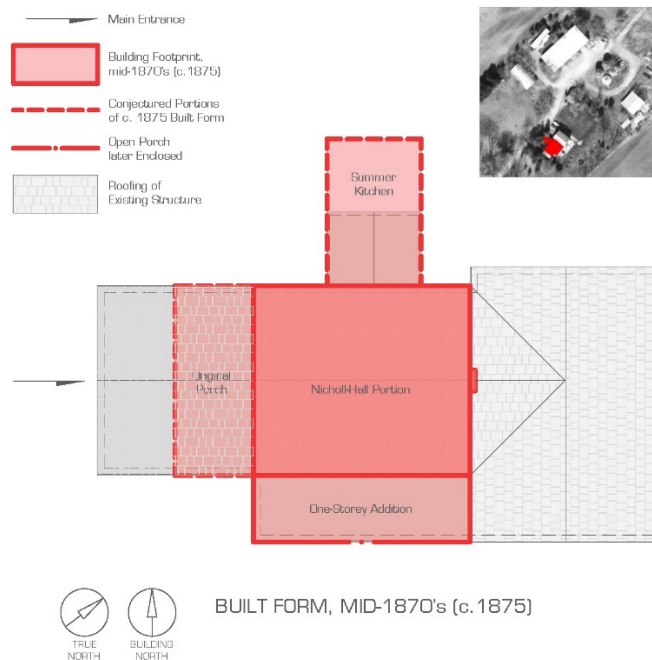


Figure 30: Built Form, Mid-1870's (C.1875) (AREA)

B. Built Form, 1969

In 1969, the wall of the summer kitchen collapsed and was replaced by the wood porch.

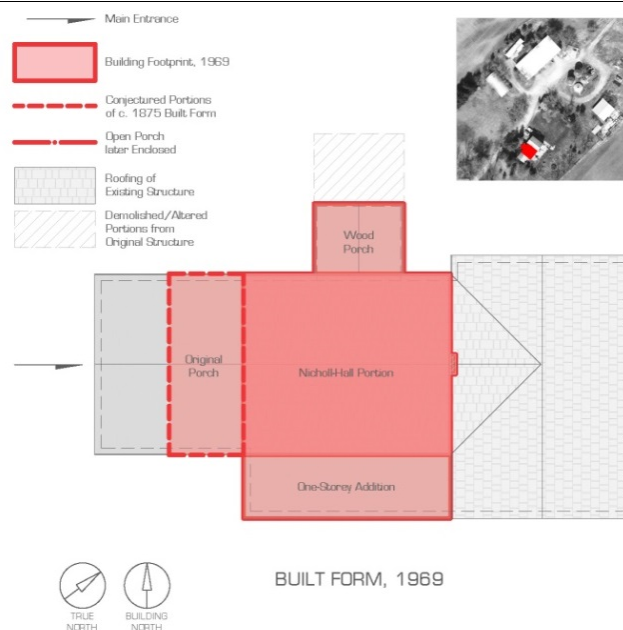


Figure 31: Built Form-1969 (AREA)

C. Built Form, 1979

In 1979, a one-storey brick structure was added to the front facade, reconfiguring the entrance to the north side.

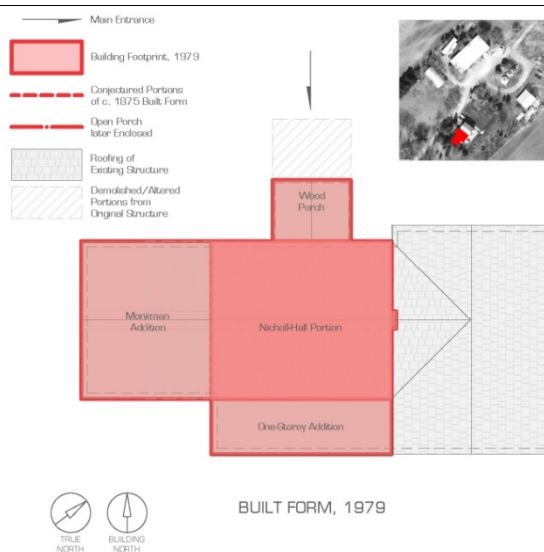


Figure 32: Built Form-1979 (AREA)

D. Built Form, 1979

In 1991, a tall pseudo-Gothic designed addition in wood framing and vertical cladding was incorporated to serve as a living area.

Figure 33 represents the current built form of the heritage structure.

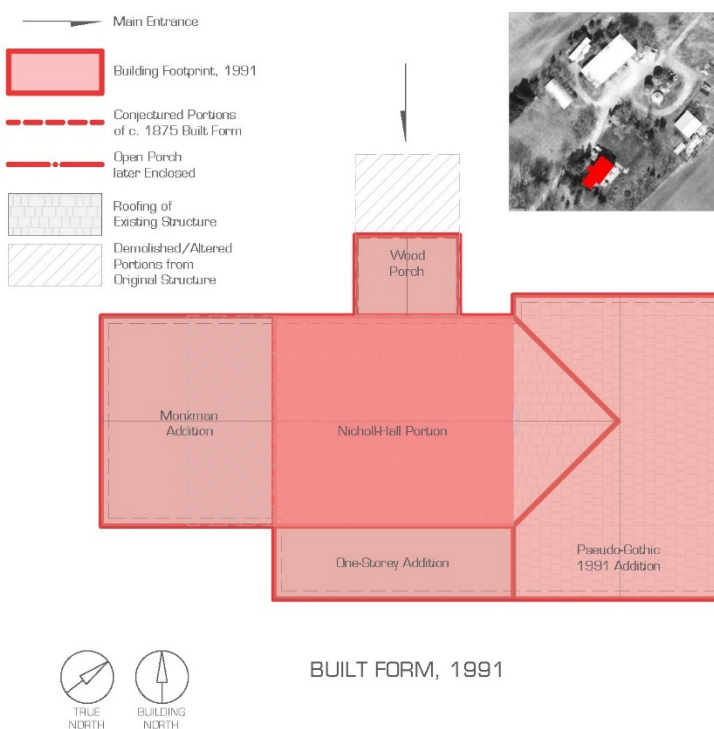


Figure 33: Built Form-1991 (AREA)

5.6 ARCHITECTURAL STYLE AND TYPE

Georgian Architecture

Georgian Architecture was commonly built in Upper Canada between the late 18th and mid-19th centuries. It originated in Great Britain, becoming the predominant style during the reigns of the first three King Georges for whom it was named. The style integrated Renaissance ideals of proportion, symmetry and classical decoration in a restrained execution that emphasized harmony over ornamentation. The style was brought to Upper Canada by United Empire Loyalists starting in the 1780s. Having been displaced by the American Revolution, the colonists sought a style that both represented and reinforced ties to their British home and monarch. The style is often associated with grand houses of the upper classes.

In Ontario, Georgian architecture is characterized by rectangular plans and massing rising to side-gable or hipped roofs (Figure 34). Principal facades are typically 3 or 5 bays, spaced evenly and symmetrically about a central doorway. Windows are usually double-hung sash set in rectangular openings lacking surrounds. Doors are also rectangular, often accentuated by sidelights or a transom. The decorative regimen is generally restrained, drawing on classical elements. Interior layouts are typically based on a centre-hall plan with a symmetrical layout of four rooms at grade, two on each side of the hall. Second floors often had two larger and two smaller rooms, again symmetrically arranged.²⁴



Figure 34: The Butler House in Niagara-on-the-Lake (b.1817) is an example of a one-storey Georgian composition, with corresponding basement windows as at the subject property (Source: Niagara-on-the-Lake Public Library).

²⁴ Marion MacRae and Anthony Adamson, *The Ancestral Roof: Domestic architecture of Upper Canada* (Toronto: Clark, Irwin & Company Limited, 1963), 14-20.

6.0 EVALUATION OF CULTURAL HERITAGE VALUE OR INTEREST

The following evaluation applies Ontario Heritage Act O. Reg. 9/06: Criteria for Determining Cultural Heritage Value or Interest to the Subject Property. It is also based on the structure of the 'Evaluation of Cultural Heritage Value or Interest Summary Table' included as Appendix C in the Brampton HIA Terms of Reference. The evaluation provides a 'yes' or 'no' response to each criterion. In both instances, a rationale is provided. A statement of heritage value follows, synthesizing the results of the evaluation into a summary of the site's cultural heritage values, and related heritage attributes.

This evaluation is being provided for information purposes only and represents the professional opinion of AREA. An assessment by the City of Brampton could produce a different result in one or more of the criteria.

6.1 EVALUATION

Design or Physical Value

The property has design or physical value because it:

- 1) is a rare, unique, representative or early example of a style, type, expression, material or construction method.

Yes: The subject property is a representative example of a Georgian farmhouse building. This is seen in its siting, and simple massing rising from a rectangular plan to a side gable roof. The composition is typically Georgian, with a central doorway symmetrically flanked by rectangular window openings complete with double-hung sash windows. The interior layout is also typical of the style, boasting a centre-hall plan leading to symmetrically arranged rooms. The decorative regimen relies on classical motifs and details, and is especially restrained on the exterior. However, the subject property is not considered to be a representative example of a historic Ontario farm landscape. Despite being used for agriculture continuously since the 1830s, significant alterations of the site and its context over its life prevent it from being considered a representative of that landscape type.

- 2) displays a high degree of craftsmanship or artistic merit.

Yes: The house overall, is a rare, unique example of its vernacular style with the exemplification of high-quality craftsmanship in its original interior detailing, and in the carefully coursed and positioned rough-stone masonry technique on the exterior walls.

- 3) demonstrates a high degree of technical or scientific achievement.

No: The subject property has supported agricultural uses since the first half of the 19th century; however, no significant technical or scientific achievements have been associated with it over that time.

Historical or Associative Value

The property has historical or associative value because it:

- 1) has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.

Yes: It has historical associations with Robert Hall who occupied the property from 1876 to 1907 and was a prominent regional figure according to notes gathered in the Perkins Bull Collection (Peel Regional Complex). Hall was a justice of the peace and served as deputy reeve of Chinguacousy Township and as a Peel County councillor.

- 2) yields or has the potential to yield information that contributes to an understanding of a community or culture.

No: Research conducted during the course of this HIA did not identify that the property has the potential to yield additional information that contributes to an understanding of the community or culture.

- 3) demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

No: No architect, artist, builder, designer or theorist has been identified in association with the subject property.

Contextual Value

The property has contextual value because it:

- 1) is important in defining, maintaining or supporting the character of the area.

Yes: The subject property supports the low-scale, residential, agricultural character of the area through the existence of the c. 1850 stone farmhouse known as the Robert Hall House and surrounding farmland. The subject property supports the historic character of the area due to its proximity to other historic homes including 11690 Chinguacousy Road.

- 2) is physically, functionally, visually or historically linked to its surroundings.

Yes: The subject property is historically linked to its surroundings through the existence of the c. 1850 stone farmhouse constructed for the Hall family.

- 3) is a landmark.

No: The subject property has not been identified as being a landmark to the local community.

The subject property meets 2/3rd of the design criteria, 1/3rd of the historical criteria and 2/3rd of the contextual criteria. Based on this assessment, a statement of cultural heritage value has been prepared.

6.2 STATEMENT OF CULTURAL HERITAGE VALUE

Design Value

The house at 11687 Chinguacousy Road is a fine example of Georgian vernacular design rendered in limestone. While late 20th century additions have obscured its west and east façades, its north and south sides present two formal bays of windows, either side of a central doorway bay, and each crowned with dressed stone lintels and resting on large stone sills. The original front (west) entrance welcoming visitors approaching from Chinguacousy Road has been covered by an addition but the decorative brick quoins remain visible. The house interior retains much of its original architectural fabric including door surrounds, flooring, and wood framing. The quality of the authentic craftsmanship on the exterior, in rough coursed stone, is well executed. But the c.1875 stone structure is encompassed on three sides with more recent built enclosures and is therefore considerably altered and its original appearance is compromised.

The house overall, is a rare, unique example of its vernacular style with the exemplification of high-quality craftsmanship in its original interior detailing, and in the carefully coursed and positioned rough-stone masonry exterior walls. This primary design attribution is displayed in the original, limestone, “middle” structure, which perhaps is one of the only two known remaining stone houses in the City of Brampton, and must therefore, be conserved.

Historical Value

This house has been home to just five families over the past century and a half, all of whom worked the same 100-acre lot that was patented in 1838. It has historical associations with Robert Hall who occupied the property from 1876 to 1907 and was a prominent regional figure according to notes gathered in the Perkins Bull Collection (Peel Regional Complex). Hall was a justice of the peace and served as deputy reeve of Chinguacousy Township and as a Peel County councilor. The property, if not the house, also contains an interesting story of misfortune, co-operation and perseverance in early Upper Canada from the experiences of John, James and Lavina McCulloch and James Nicholl.

Contextual Value

Despite the later additions to the stone house, the property speaks to and supports the rural heritage of Brampton. The house has continually been the centre of the same working farm for the past 174 years. The landscape that immediately surrounds the house features expanses of lawn and numerous mature trees, evoking a long, steady presence at the site. Surrounded as it is by its original farm, this house is historically, physically, functionally and visually linked to its surroundings. Contextually, the farm may contribute to an understanding of 19th-century rural life in Chinguacousy Township. There are few remaining mid-19th century farmhouses in the area likely due to their being replaced by more substantial residences in the late 1800s as farming thrived. As a result, mostly remaining in the area are large, grand houses built in the late-19th and early 20th centuries which clearly demonstrate the prosperity of that later time in this part of Chinguacousy Township. The subject farmhouse at 11687 Chinguacousy Road represents what might have been a typical rural family home, in earlier and more modest times.

Heritage Attributes

Heritage attributes related to the original Robert Hall House's Design or Physical Value, including:

- Gabled form and simple massing;
- Symmetrical composition of the 3-bay entrance;
- Use of rectangular window and door openings throughout
- Redbrick quoins;
- Coursed limestone masonry;
- Dressed stone lintels and sills; &
- Interior elements – paneling, window and door casings, mouldings, flooring.

Heritage attributes related to the Robert Hall House's Historic Value, including:

- Location of the c. 1870 limestone farmhouse constructed for the Hall family on Concession 2, Lot 17, Chinguacousy Township.
- Carved Initials of Robert Hall carved into brick.



Figure 35: Carved Initials of Robert Hall

Heritage attributes related to the Robert Hall House's Contextual Value, including:

- The farm may contribute to an understanding of 19th century rural life in Chinguacousy Township & Orientation to Chinguacousy Road.

This HIA includes an evaluation against the criteria in O. Reg. 9/06 to determine potential cultural heritage value or interest. The property meets criteria under design, historical and contextual values. As a result, a Statement of Cultural Heritage Value was drafted to inform measures to mitigate the impacts of the proposed undertaking.

Summary Statement

The "Robert Hall House" at 11687 Chinguacousy Road sits on a century-and-a-half old, 22.7-acre farmland property in the City of Brampton. Its original, one-and-a-half-storey structure, attributed in this report as the Robert Hall portion, is a fine, rare example of vernacular Georgian Style expressed in its unique and high-quality rough-stone coursing technique. It is one of the two residential stone structures in the city, and would therefore, contribute to an understanding of the 19th-century rural life in Chinguacousy Township. The house structure is worthy of designation under the OHA. Its higher-valued Robert Hall portion must be conserved and integrated within the development site, with commemorative strategies to the original agricultural context that will substantially be removed with the rezoning of North-West Brampton (NWB) area, and the spiraling future developments resulting from the approval of the City's Mount Pleasant Secondary Plan Sub-Area 51-2.

7.0 DESCRIPTION AND EXAMINATION OF PROPOSED DEVELOPMENT/SITE ALTERATIONS

7.1 PROPOSAL OVERVIEW

This part of the HIA describes the proposed plan of development of the subject site, its conceptual design vision and principles. This description is based on a Draft Plan of Subdivision ('DPS') of the property surrounding the subject site submitted to City of Brampton's Planning and Development Services Department by Glen Schnarr & Associates Inc. on behalf of TFP Mayching Developments Ltd. (Figure 36).

TFP Mayching Developments Ltd. is proposing to develop the property as a subdivision. The subject heritage property is included in Block 31 of the subdivision plan (Figure 36) and will be protected for adaptive re-use as a residential building. The 19.92 acres new development is designed to front onto Chinguacousy Road with both the residential and mixed use/ medium density residential / convenience commercial block component to be located facing towards this frontage.

7.2 DESCRIPTION OF THE PROPOSED DEVELOPMENT

The rectangular shaped site has a lot area of 19.92 acres. The proposed development contemplates a mix of uses including single detached dwellings, a range of townhouse dwellings, a 1.03 ha mixed use/ medium density residential / convenience commercial block, NHS Channel block and multiple open space areas (Table 2). The existing cultural heritage resource ('CHR') is proposed to be relocated on site near the south east corner of Clockwork Drive ('CD') and Chinguacousy Road ('CR'), adjacent to a walkway and servicing block (Appendix D).

7.2.1 SITE LAYOUT

Regarding the subject site, the Draft Plan of Subdivision for TFP Mayching Developments Ltd. was prepared by Glen Schnarr & Associates Inc. (GSAI) on January 25th, 2021 showing development of two blocks of land generally located southeast of Mayfield Road and Chinguacousy Road, and north and south of Clockwork Drive.

Vehicular access to the proposed residential development is planned exclusively from Clockwork Drive, located at the center of the site (Figure 36). This main entrance to the community from Chinguacousy Road is flanked by a landscaped community entry feature, i.e., a pedestrian walkway south of Clockwork Drive and a mixed use/ medium density residential / convenience commercial block on the north of Clockwork Drive. This design is congruous to the community gateway dwellings design guidelines recommended by the City of Brampton's document 'Part VII – Architectural Control Guidelines for Ground-Related Residential'²⁵.

²⁵ Part VII – Architectural Control Guidelines for Ground-Related Residential. Accessed from: <https://www.brampton.ca/EN/Business/planning-development/Documents/CD/UD/UDS/Brampton%20ACGGRRD%20080717%20final.pdf>

The block of land north of Clockwork Drive proposes the development of 34 dual frontage townhouses (Block 41-45), 46 back-to-back townhouses (Block 56-59), 39 street townhouses (Block 34-39) and a walkway and serving block (Block 61). A mixed use/ medium density residential / convenience commercial block (Block 60) is proposed further south of these residential units, which would allow a mixed-use building or medium density residential or a convenience commercial²⁶.

The block of land south of Clockwork Drive proposes the development of 36 dual frontage townhouses (Block 46-51), 64 back-to-back townhouses (Block 52-55), 30 detached residential, 11 street townhouses (Block 32-33) and a walkway block (Block 63). Another walkway block (Block 62) is proposed at the intersection of Chinguacousy Road and Clockwork Drive which would be adjacent to the new heritage house lot. A natural heritage system (Block 64) will be located at the southwest end of the site incorporating a multi-use trail and acting as a buffer from the city collector road.

TABLE 2: SITE STATISTICS FOR THE PROPOSED DEVELOPMENT²⁷

Site Statistics	
Lot Area (Total 65 lots)	80613.38 square meters (19.92 acres)
Proposed Development	
Detached Residential – 9.15m (30')	022 Units
Detached Residential – 11.6m (38')	008 Units
Street Townhouses – 6.1m(20')	050 Units
Dual Frontage Townhouses – 6.0m(20')	070 Units
Back-to-back Townhouses – 6.4m(21')	110 Units
Heritage House Lot	001 Unit
Total Number of Units	261 Units
Mixed-Use Medium Density Residential/Convenience Commercial (MU/MDR/CC)	10319.48 square meters (2.55 acres)
Walkways and Servicing Blocks	1092.65 square meters (0.27 acres)
Natural Heritage System (NHS)	2711.39 square meters (0.67 acres)
.3m Reserve	80.93 square meters (0.02 acres)
16.5m – 20m ROW (1,370m Length)	23795.52 square meters (5.88 acres)

²⁶ Section 5.2.1.4 Mixed-Use. Mount Pleasant Secondary Plan (Office Consolidation February 2017). Accessed from: <https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA51%20Mount%20Pleasant.pdf>

²⁷ Site Statistics, DPS, January 11th, 2021 GSAI

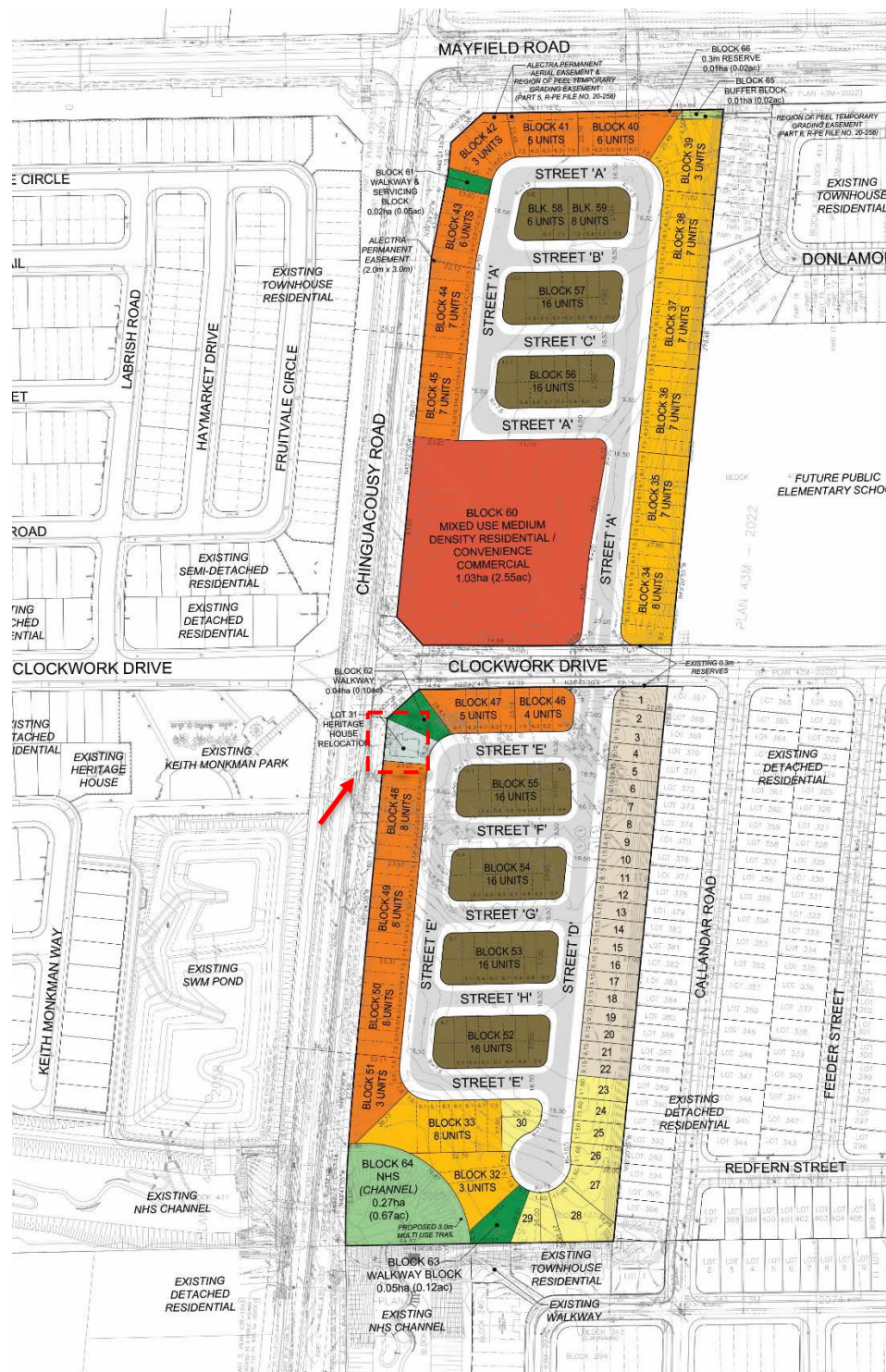


Figure 36: Proposed Draft Plan of Subdivision of the new mixed-use development showing the relocated Heritage Resource (GSAI, January 25th, 2021) Annotated by AREA

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Architects Rasch Eckler Associates Ltd.
Project No. 12-576

7.2.2 SCALE, FORM AND MASSING

The design of the proposed heritage house relocation conforms to the 'Site Planning and Built Form' Development Design Guidelines provided by the City of Brampton for apartments.

- Maintaining the front elevation of the relocated heritage Robert Hall House parallel to Chinguacousy Road helps preserve the existing heritage streetscape and context.
- The Robert Hall house will be adjacent to an open space and would have more exposed elevations than mid-block houses.
- Entrance /access points to open space and open space features shall be reinforced by the siting of adjacent built form. The siting and articulation of the building(s) shall reinforce the sense of entry, frame views and provide visual connections to the open space.
- Housing located adjacent to parks, open space and pedestrian links possess similar heightened visibility as housing at corner lot locations. Both the front and exposed side elevations of housing in these locations shall be of equal quality in terms of the architectural materials, amount and proportions of openings, and attention to detail.
- The proposed new addition to the heritage house should incorporate features that emphasize the corner of the structure and its side elevation, such as corner bay windows, wrap-around porches, and roof elements at the corner.²⁸

7.2.3 URBAN DESIGN GUIDELINES AND PLANNING POLICIES

According to the Urban Design Addendum report locating the heritage house together with an adjacent generous-sized walkway block located opposite Keith Monkman Park and another existing heritage house located to the west of Chinguacousy Road will form a Community Character Area with a strong heritage identity to foster place-making within the community.

The Urban Design addendum (John G. Williams Limited Architect & Strybos Barron King Ltd., Landscape Architecture) further concludes the following:

- The relocated heritage house will function as familiar focal point within the community and assist in placemaking and neighbourhood identity at the intersection of Chinguacousy Road and Clockwork Drive.
- It is important that new construction in proximity to the heritage building promotes architectural interest, human scale, and sympathetic design to the character-defining attributes of the heritage structure.
- New, contemporary buildings may be sympathetically designed to incorporate concepts and elements from the heritage structure.

Refer to the UD Addendum for further details.

7.2.4 BUILT CHARACTER

The proposed design aims to create a dynamic new development comprised of innovative housing forms, a Mixed-Use Medium Density Residential / Convenience Commercial block and integration of an existing heritage house that will become an integral component of the Alloo Green Community. The dual frontage townhouses shall be designed in accordance with Part VI,

²⁸ Development Design Guidelines, Site Planning and Built Form. City of Brampton

Section 5 of the DDG - “Transit-Supportive Townhouse Design Guidelines (TSTDG)” which provides best practices in built form/architectural design for townhouse residential development.



Figure 37 Conceptual façade design for the dual frontage Townhouses



Figure 38 Conceptual Examples of Proposed Architectural Character, Back-to-Back Townhouses

Built form character will combine a blend of traditional and contemporary architecture, incorporating heightened building massing in critical areas to recognize the site's important location at a major gateway into the City of Brampton. High quality landscape treatments will complement the built form to create a vibrant public realm.²⁹

²⁹ 3.0 Built Form - Urban Design Addendum to Mount Pleasant Block Plan 51-2 CDG, John G. Williams Limited Architect & Strybos Barron King Ltd., Landscape Architecture, January 2021

7.3 SITE ALTERATION

The site alteration is the relocation of the one-and-a-half-storey limestone farm residence. The proposed new location for the house is the southeast corner of the Chinguacousy Road and Clockwork Drive within the boundaries of Block 31. The new proposed site will have an area of 0.1 acres (Figure 36). The proposed new parcel for the relocated heritage house is close to its original location, preserving its context. The house will enjoy a prominent location at the intersection of Clockwork Drive and Chinguacousy Road on a corner lot, ensuring visibility from the public right-of-way and maintaining its existing visual relationship with Chinguacousy Road.

The relocation of the heritage house is according to the design development guidelines as the new lot will be a 'Priority Lot', which will ensure better and higher visibility of the heritage structure. The current proposal would see the relocated heritage resource set back from Chinguacousy Road (approximately 6.8m) adjacent to a walkway block. This design will regard the transition and physical integration with adjacent forms of development. Beechwood Homes' relationship across the street and the walkway block will be maintained and enhanced, creating a heritage character area. The new construction in proximity to the heritage building promotes architectural interest, human scale, and sympathetic design to the heritage structure's character-defining attributes. The relocated heritage house will function as a familiar focal point within the community and assist in placemaking and neighbourhood identity at the intersection of Chinguacousy Road and Clockwork Drive.³⁰

Through the restoration, rehabilitation and relocation, the heritage building could be conserved and strategically placed in context with the changing site. The subject property will be preserved and restored for adaptive re-use and will be utilized as a residence for future private owners. The entire portion of the building containing the heritage attributes will be moved. The building will stay on its property throughout construction. The later additional building wings not identified as heritage attributes, currently existing on-site are proposed to be demolished.

7.4 IMPACT ASSESSMENT

Impacts can be described as 'direct' when cultural heritage landscapes and/or built heritage resources will be removed or significantly altered by a proposed development activity or 'indirect' when cultural heritage resources are disrupted by the introduction of physical, visual, audible or atmospheric elements that are not in keeping with their character and, or setting.

7.4.1 ASSESSMENT OF ADVERSE IMPACTS

When determining the effects, a development or site alteration may have on known or identified built heritage resources or cultural heritage landscapes, the MTCS Heritage Resources in the Land Use Planning Process advises that the following direct and indirect adverse impacts be considered:

A. DIRECT IMPACTS

- *Destruction* of any, or part of any, significant heritage attributes, or features; and

³⁰ Ibid

- *Alteration* that is not sympathetic or is incompatible, with the historic fabric and appearance.

B. INDIRECT IMPACTS

- *Shadows* created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- *Isolation* of a heritage attribute from its surrounding environment, context or a significant relationship; or
- *A change in land use* such as a rezoning an open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.

Other potential impacts associated with the undertaking may also be considered. Historic structures, particularly those built-in masonry, are susceptible to damage from vibration caused during the construction phase. Like any other structure, they are also threatened by collisions with heavy machinery or subsidence from utility line failures (Randl 2001:3-6).

The following is an assessment of the potential direct or indirect adverse impacts on the property's heritage attributes resulting from the proposed development and the relocation, based on those identified in Ontario Heritage Tool Kit, Info Sheet #5.

TABLE 3: ASSESSMENT OF DIRECT AND INDIRECT ADVERSE IMPACTS

Potential direct and indirect adverse Impact	Assessment	Summary of Impact with Mitigation
1. <i>Destruction</i> of any, or part of any significant heritage attributes of features.	<p>The proposed development includes the retention of the property's-built heritage resource (limestone building with a gable roof and adorning quoining) in its entirety.</p> <p>The relocation of the Robert Hall House (Subject CHR) has the potential to negatively impact heritage attributes during the relocation and construction phase through accident or faulty procedure. Construction activity and potential excavation adjacent to the property has potential to cause limited and temporary impacts to former Robert Hall House. These impacts can be mitigated through construction controls, protection plans and retention of a structural engineer to avoid any damage to the property's heritage attributes.</p>	<p>Minor Impact.</p> <p>If controls are followed during relocation, impact will be limited and monitored. No heritage attributes are at risk if the recommended mitigation measures are implemented (see section 7.5.2).</p>

<p>2. Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.</p>	<p>No alterations to the building are proposed as a result of the relocation.</p> <p>The proposed development will alter the surrounding environment of the property by changing it from rural to mixed-use suburban, thereby increasing population density and traffic. The surrounding agricultural setting will also be altered. However, Robert Hall House will be relocated to the southeast corner of CD and CR where it will maintain a visual relationship to CR. The property lot will also be relatively larger than the adjacent new lots to ensure distinguishability and preserve the rural character of the house.</p> <p>The building sits on a raised rubble fieldstone foundation. Foundations and coursed limestone masonry will be restored and protected to emulate the historic heritage structure.</p> <p>The existing windows will be replaced (sashes inside original frames) in reproduction wood double hung 6-over-6 or 9-over-9 sashes (Figure 14). The existing entry steps will be removed and replaced with historically compatible entrance stairs. The Robert Hall House will be relocated adjacent to a walkway block and will be used as a residence.</p> <p>A Heritage Conservation Plan (HCP) detailing the conservation approach (i.e., preservation, rehabilitation or restoration), to conserve former Robert Hall House prior to, during and after the relocation effort will mitigate adverse effects from rehabilitation.</p>	<p>Minor impact results from the integration of the Robert Hall House with the proposed residential development.</p> <p>As per guidance from Canada's Historic Places (Section 4.3.1: Exterior Form), the new development proposed immediately adjacent to the Robert Hall House will provide distinguishability and legibility of 'new' from 'old'.</p> <p>Positive impacts will be the restoration of several heritage attributes and removal of earlier unsympathetic alterations.</p> <p>As Robert Hall House will be next to a park, it will be quite visible to an open area of frequent public use and thus will require a higher level of upgrading than dwellings backing onto or next to a wooded valley. The level of upgrading will be consistent with the level of public exposure.</p>
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<p>3. Shadows created that alter the appearance of the heritage attribute or change the viability of an associated natural feature or plantings, such as a garden.</p>	<p>N/A - No shadows are anticipated that will alter the appearance of the building or that would negate the viability of natural features.</p>	<p>No impact.</p>
<p>4. Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.</p>	<p>The relocation of the Robert Hall House will move the building from its original location dating to c. 1870s. Currently the building fronts CR and sits deep inside the lot, making it completely hidden from the major road. In its proposed new location, the building will continue to the front on CR and will remain within its original farm lot. In its new location, the building will be adjacent to residential units (south) and medium density residential & convenience commercial and walkway block (north), and a residential neighborhood comprised of townhouses and two-story single detached dwellings (east).</p> <p>The rear addition will not block the existing structure from surrounding properties or views.</p>	<p>No impact.</p> <p>Relocation is within the original site and will maintain a visual relationship with Chinguacousy Road, and potentially draw new interest and appreciation for the Robert Hall House and the history of Ontario Georgian style homes.</p> <p>No significant surrounding environmental elements, context or relationships were identified.</p>
<p>5. Direct or indirect obstruction of significant views or vistas with, from, or of built and natural features.</p>	<p>N/A - No significant views or vistas have been identified within, to, or from the subject property. However, it is currently not possible to view the front facade of the building from CR which is hidden heavy vegetation.</p> <p>The Robert Hall House will be relocated to the southeast corner of the intersection of CD and CR where it will maintain a visual relationship to Chinguacousy Road. This location will allow the CHR to be experienced as a three-dimensional building from the public realm, easily visible from the</p>	<p>No impact.</p> <p>The impact of the proposed development will be minimal, as the addition is located to the rear of the property and the existing heritage structure will be retained.</p> <p>Positive impact will be the removal; of the modern porch, former west and east wing which obscured the view from and to the</p>

	Clockwork Drive and Chinguacousy Road intersection.	east and west facades respectively, of the original former Robert Hall house.
6. A change in land use (such as rezoning a church to a multi-unity residence) where the change in use affects the property's cultural heritage value.	<p>A change in land use has not been proposed for the subject property. As a result, the proposed residential use does not affect the CHR's cultural heritage value as outlined in Section 6.0.</p> <p>The rural character of the area will change to mixed-use residential. The subject property will be preserved and restored for residential use which will pride stewardship of the CHR in the long-term.</p>	<p>No Impact.</p> <p>The intensified use will have less impact as the new construction will be located to the rear of the CHR.</p> <p>The positive impact is the preservation of the character of the CHR and its long-term use.</p>
7. Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource, including archeological resources.	<p>Demolition of the modern porch and later additions.</p> <p>Land disturbances during construction phase can be monitored if mitigation measures such as standard drainage, site grading and vibration monitoring are implemented. There are no anticipated changes in grade that would negatively impact the building. A Heritage Conservation Plan would demonstrate the mitigation strategy for the impacts of relocation.</p>	<p>No impact.</p> <p>If mitigation measures are followed during relocation, the impact will be limited and monitored.</p> <p>The positive impact will be the proposed landscaping on all three sides of the CHR.</p>

7.4.2 Results of Impact Assessment

The preceding assessment has determined that with the proposed conservation strategy, the proposed development will not result in significant direct and indirect impacts to the heritage attributes of Robert Hall House. Such impact will be limited and monitored through proper mitigation measures. The following section provides an analysis of potential alternative mitigation strategies.

7.5 CONSIDERED ALTERNATIVES AND MITIGATION STRATEGIES

7.5.1 Considered Alternatives

Various mitigation options are evaluated in this section, to determine how the proposed redevelopment can lessen its impacts on the subject Robert Hall House. Mitigation options are defined by the Provincial Policy Statement 2020 ('PPS 2020') as development initiatives that permit the preservation of a heritage resource. This PPS provision is incorporated municipally through the Official Plan, which states that, "All options for on-site retention of properties of cultural heritage significant shall be exhausted before resorting to relocation."³¹ In line with this policy, this HIA evaluates the following mitigation options, as recommended by the OP in Section 4.10.1.12 in the following order of priority:

- (i) On-site retention of the Robert Hall House in the original use and integration with the surrounding or new development;
- (ii) On-site retention of the Robert Hall House in an adaptive re-use;
- (iii) Relocation of the Robert Hall House to another site within the same development; and,
- (iv) Relocation of the Robert Hall House to a sympathetic site within the City.

The following table provides an analysis of each mitigation option:

TABLE 4: ANALYSIS OF OPTIONS FOR CONSIDERED ALTERNATIVES

OPTION	ADVANTAGES	DISADVANTAGES	FEASIBILITY
<p>(i) On-site retention of the Robert Hall House in the original use and integration with the surrounding or new development</p> <p>This option involves retaining the CHR on its current location and using the building as a residence and integrating it with the new development.</p>	<ul style="list-style-type: none"> - Minimal intervention - Potential for retaining all heritage attributes of the property. - The Robert Hall House will maintain a visual relationship to CR. 	<ul style="list-style-type: none"> - The Robert Hall House will not enjoy a prominent location as it's view from CR is currently hidden due to vegetation. -To ensure that the building does not suffer from rapid deterioration, repairs must be carried out for both exteriors and interiors. -Development surrounding Robert Hall House would impact the heritage resource significantly. 	<p>This option is not feasible because of the following:</p> <ul style="list-style-type: none"> - High expense to stabilize, preserve and maintain the CHR and its lot; - Reduction in the economic viability of the property; and - If retained in-situ, the historic house will also be affected by the significant re-grading of the subject lands due to the proposed residential development. <p>-The preliminary DCP complies with the community design guidelines in the MPSP 2017 (Section 10.7 Street Network), which recommends the establishment of a hierarchy of streets within the community to facilitate easy</p>

³¹ Section 4.10.1.12 'Built Heritage' of the City of Brampton Official Plan 2006 (September 2020 Office Consolidation)

			movement and orientation. This option situates the house in the middle of the proposed - block 55 and street F, and is therefore obstructive and incompatible.
<p>(ii) On site retention of the Robert Hall House in an adaptive re-use</p> <p>This option involves retaining the CHR on its current location and re-using the building adaptively.</p>	<ul style="list-style-type: none"> - All heritage attributes retained. - The house will maintain a visual relationship to CR. 	<ul style="list-style-type: none"> - The Robert Hall House will not enjoy a prominent location being located in the mid-depth of the property instead of the south-east corner of CR and CD which will be more visible. - Development surrounding Robert Hall House would by necessity, occupy the portion of the property east of the CHR. Such a development would obscure the view from/to the east facade of the Robert Hall House and impact the heritage resource significantly. 	<p>This option is not feasible because of the following:</p> <ul style="list-style-type: none"> -The Robert Hall House cannot be converted to accommodate a commercial use because of non-compatible construction. - The Robert Hall House will be subjected to incompatible forms of alterations and additions which may obscure and jeopardize the Robert Hall House's heritage attributes.
<p>(iii) Relocation of the Robert Hall House to another site within the same development</p> <p>This option considers relocating the Robert Hall House to the southeast corner of CR</p>	<ul style="list-style-type: none"> - All heritage attributes retained. - The Robert Hall House will maintain a visual relationship to Chinguacousy Road. - Through restoration and relocation, the heritage building could be conserved, and 	<ul style="list-style-type: none"> - The new development may introduce further design constraints, i.e., difference in scale, architectural compatibility etc. - The Robert Hall House will require new foundations. 	<p>This option is feasible as this is a compatible relocation for the Robert Hall House.</p> <ul style="list-style-type: none"> -The subject property has sufficient lands to incorporate a compatible relocation site for the Robert Hall House and sustainably integrate the CHR to the proposed residential building. -The CHR is in overall good condition with high integrity; - It will assist in meeting the objectives for Protection of

and CD within the same site, restoring and using it as a residence (original use). (Figure 36).	<p>strategically placed in context with the changing site.</p> <ul style="list-style-type: none"> - The Robert Hall House site can be designated after its relocation. - The development plan proposes a green buffer space adjacent to the new location of the heritage Robert Hall House that will act as a noise buffer. -The new location of the Robert Hall House is close to its original location, which will help preserve its context and urbanity. - The Robert Hall House will enjoy a prominent position at the intersection of CD and CR at a corner location, ensuring visibility from the public right-of-way. - The relocated Robert Hall House will enjoy direct pedestrian connectivity as the existing municipal sidewalk along CR is planned to be connected to the walkway block adjacent to the subject property. 		<p>Cultural Heritage Resources as identified in the City of Brampton's <i>Official Plan</i> under section 4.10.</p> <ul style="list-style-type: none"> -The proposed use as a detached single-family dwelling has would be easily accommodated in the Robert Hall House with a compatible rear addition.
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<p>(iv) Relocation of the Robert Hall House to a sympathetic site within the City.</p> <p>This option involves relocating Robert Hall House to a surrounding similar to its historic setting on a rural, agricultural lot.</p>	<p>-This option ensures the long-term protection of the structure and might provide the historic rural setting of the heritage Robert Hall House.</p>	<p>- The relocation to another site will sever the historical relationship of the building with Chinguacousy Road.</p> <p>- The building could be damaged during the relocation effort.</p> <p>- The Robert Hall House will require new foundations.</p> <p>- The new location might not have a buffer from the proposed development around.</p>	<p>This option is not feasible because it would sever the connection with Chinguacousy Road and the connection with the original site.</p> <p>-Since the third mitigation option is possible, it is unnecessary to relocate the Robert Hall House to another site within the City.</p>
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7.5.2 Considered Mitigation Strategies

Section 7.4.1 identified two potential negative impacts related to the proposed development:

1. **Destruction** of any, or part of any significant heritage attributes of features.
 2. **Alteration** that is not sympathetic, or is incompatible, with the historic fabric and appearance.
- In order to avoid these impacts or mitigate to acceptable levels, a number of measures are prescribed for each.

Potential Negative Impact	Proposed Mitigation
<p>1. Destruction of any, or part of any significant heritage attributes of features.</p>	<p>The limestone residence and its heritage attributes will be conserved through relocation of the cultural heritage resource.</p> <p>A Conservation Plan and/or Relocation Plan should be prepared to ensure heritage attributes are adequately protected during relocation (see Section 9.4). Relocation of the building must be undertaken by a company with demonstrated experience moving historic structures.</p>
<p>2. Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.</p>	<p>Removal of earlier unsympathetic alterations will help preserve the original character and style of the CHR. The new 2-storey rear addition will replace the existing incompatible rear addition on the east. The porch of the west façade facing the CR will be reinstated. The level of upgrading will be consistent with the level of public exposure so as to ensure safety and privacy for the Robert Hall House.</p>

8.0 CONSERVATION AND IMPLEMENTATION STRATEGIES

8.1 RELOCATION AND RESTORATION APPROACH

Based on the evaluation from the previous section, the relocation of the Robert Hall House to a compatible site within the same development is the most feasible and most appropriate form of conservation strategy among those listed in the Official Plan.

The relocation of the Robert Hall House also calls for its restoration. Restoration is the recovery of forms³², and may involve the removal of intervening periods where necessary, to replace or to reproduce missing elements. It is also defined as “accurately revealing, recovering or representing the state of a historic place or individual component as it appeared at a particular period in its history, while protecting its heritage value.” The proposal to combine relocation with restoration is guided by the following rationale:

- a. The later 20th century modifications to the property undermine the Robert Hall House’s contextual, architectural, and historical values.

The Robert Hall House, the primary structure within the property, is recommended to be restored by recovering its original Georgian form. This can be achieved through the demolition of its additions, including (see subsection 5.5):

- Replacement of the entry porch in wood construction on the north side (1969, ‘Wood Porch’);
- Removal of the red brick extension on the west side (1979, ‘Monkman Addition’); and
- Removal of the two-storey wood-clad addition on the east side (1991, ‘Pseudo-Gothic Addition’).

The latest addition is clearly a poor reinterpretation of historical style(s) because of incongruous combination of classical elements (i.e., semi-circular and oval gable windows) with Carpenter Gothic board-and-batten cladding.

So, in assessing the heritage value of the house, only the original c. 1875 house, consisting of the “middle” limestone structure, was determined to have sufficient historical integrity. It must be stabilized while the other non-historic exterior and interior portions are being removed. The materials and assemblies of the mid-block – its stone masonry (brick quoins and brick accents), and precast decorative elements, and stone assemblies (sills and foundations) – are unique to the structure, and must be protected with utmost care. Coursed limestone masonry will be restored and protected or replaced, where required, to emulate the historic heritage structure.

³² page 42, Fram, M. “Well-Preserved: The Ontario Heritage Foundation’s Manual of Principles and Practice for Architectural Conservation.” *Ontario Heritage Foundation*: Boston Mills Press, 2010. Web. May 2015.

Original wood windows have been replaced by contemporary units and doors have also been replaced. The existing windows may be replaced (sashes inside original frames) in reproduction wood double hung 6-over-6 or 9-over-9 sashes (Figure 14) or other appropriate material.

Since access into the historic structure is necessary to integrate with the new buildings, the northern wood porch could be replaced with in-kind wood materials as part of the house's re-use. Although considered a subsequent component, the wood porch has been serving as an access point since 1969 and as the main entrance since 1979. With its materials and architectural form, the wood porch differentiates itself from the rest of the masonry structure. Therefore, a replacement porch is proposed to conform to the original shape and wood materials but with new construction meeting current standards.

The removal of the incompatible forms of 20th-century alterations, comprising the east and west additions, will renew and strengthen the cultural associations represented by the CHR with the Robert Hall period of ownership.

- b. Substantial physical evidence exists to carry out the reversal of later modifications, and the recovery of the original Georgian form.

The later alterations to the Robert Hall House can still be reversed as there is substantial physical evidence reflecting the Robert Hall House's earlier form (Figure 14). Later interior and exterior modifications – including its interiors, rear portions, and window and door replacement units – can also be reversed and replaced with compatible reproduction materials.

- c. The significance of the CHR during the Robert Hall period of ownership outweighs the loss of existing, non-character-defining components from other periods.

The proposed restoration of the subject property to its original Georgian design will reinforce its association with Robert Hall. In retaining this original middle portion, the western and eastern additions, referred to as the 'Monkman addition' and the 'Pseudo-Gothic 1991 addition' respectively, shall be removed. Although they are part of the structure's accumulated alterations, they minimally contribute to depicting the historic 1870's farming period.

The removal of these least significant western and eastern additions shall proceed in the manner of careful disassembly so as not to jeopardize the significant limestone core. Prior to this restorative approach, and as part of its Heritage Approval process, the Heritage Conservation Plan drawings (see section 9.3) will be prepared that would include proper documentation of the existing structure and the proposed salvage and conservation approach.

- d. Through restoration and relocation, the heritage building could be conserved, and strategically placed in context with the changing site.

The proposed use will involve altered site conditions, a new mixed-use development, new intensification strategies, and altered vehicular movement. Relocating the heritage building on a site, where its heritage value could be enhanced, accessed, and preserved, will promote the feasibility of its long-term conservation. The process of relocation can be achieved and will permit the restoration of the Robert Hall House. The restoration of the Robert Hall House will not only

reveal its historic Georgian form, but it will also simplify its building mass to allow a feasible relocation process.

In conclusion, the proposed restoration and relocation of the Robert Hall House building will accommodate a balance between conservation and development, and is therefore recommended by this HIA. This approach will allow the recovery of the building's historic Georgian form, while also permitting viability for its relocation and integration within the proposed residential-commercial development. The process of restoration and relocation can be achieved through the processes described in the following sub-sections.

8.2 PLANNING FOR RELOCATION

Planning for the relocation of the heritage structure involves consultations with several groups, such as the owners, consultants, the City's heritage staff, its other planning departments, and ultimately, Council. It also involves the employment of qualified consultants and a moving contractor, who are selected based on their qualifications. It also requires the identification and approval of the final relocation site, which is critical as it will define the economic viability and the long-term conservation of the heritage structure.

The City of Brampton recognizes the lengthy period between redevelopment and formal planning submissions. During this period, the subject heritage structure will be subject to vacancy. The City of Brampton therefore refers to the guidelines incorporated in its Heritage Building Protection Plan ("HBPP") and Vacant Heritage Building Strategy ("VHBS"). According to the HBPP (subsection 2b. of the HBPP), properties are subjected to these guidelines "if a heritage resource is present on the lands subject to a development application and shall be applied to:

2b. any non-designated (listed) heritage buildings and structures pursuant to Section 27 (1.2) of the Ontario Heritage Act."

Essentially, the ultimate purpose of the VHBS and the HBPP is to encourage the protection of the City's heritage resources, and to reduce risks associated with building vacancy. The preparation of an HBPP would include components such as, the description of all buildings and structures, baseline documentation report, preventive maintenance or stabilization plan, security plan for vacant buildings and structures, and proof of insurance (section 5 of the HBPP). Some of these requirements are already provided in this HIA.

The submission of documents supporting the HBPP and the VHBS may be incorporated in a Conservation Plan, or a Relocation Plan, which will outline the sequence, methods, and equipment proposed for relocating the structure to its final relocation site, including the clearance of the structure's path towards the final relocation site.

8.3 RELOCATION PROCESS

These planning submissions must demonstrate the commitment to protect and to stabilize the heritage structure. Once these processes are agreed upon, and are set in place, site remediation activities (ex. site decontamination, soil stabilization, snow control, and effective groundwater treatment) may commence, and new foundations for the heritage structure may be planned and built on the final relocation site.

Following a field verification, and as permitted by the City and a licensed structural engineer, the heritage structure shall be separated from its utilities and foundations, through the placement typically of steel I-beams directly below the floor framing. This steel cribbing will then be lifted by hydraulic jacks upon the approval of a structural engineer. As part of the moving operations, the exterior and interior bracings of the heritage structure shall be designed and constructed to support the building envelope. Openings shall be boarded up, and water eradicating systems shall be verified as operational. Operations shall cease if the heritage structure appears endangered, and the heritage architect, engineer, and City Staff should be notified. Moving shall only resume once corrective measures have been undertaken.

The Owner, or any authorized owner-representatives shall notify the City of Brampton's Heritage Coordinators, as well as the Fire Services and Building Department Staff, regarding the details of the moving operations and the temporary vacancy of the heritage structure. The enforcement of the applicable guidelines in the VHBS (The Vacant Building By-Law 155-2012) is also subject to: the Ontario Fire Code (sub-section 3.10) under the Fire Protection and Prevention Act (sub-section 3.9), Minimum Maintenance By-law of the City of Brampton (104-96), the Ontario Building Code Act (sub-section 3.4), the Ontario Heritage Act (sub-section 3.14) and the Ontario Municipal Act (regulations 171 and 173).

9.0 SUMMARY STATEMENT & RECOMMENDATIONS

9.1 PROPERTY WORTHY OF DESIGNATION

Based on historical research, site review and analysis provided in Sections 3, 4, and 5 and evaluation against the criteria in O. Reg 9/06, the HIA finds that the subject property merits designation under Part IV of the *Ontario Heritage Act*. Below is a draft Statement of Cultural Heritage Value or Interest.

The "Robert Hall House" at 11687 Chinguacousy Road sits on a century-and-a-half old, 22.7-acre farmland property in the City of Brampton. Its original, one-and-a-half-storey structure, attributed in this report as the Robert Hall portion, is a fine, rare example of vernacular Georgian Style expressed in its unique and high-quality rough-stone coursing technique. It is one of the two residential stone structures in the city, and would therefore, contribute to an understanding of the 19th-century rural life in Chinguacousy Township.

The house structure is worthy of designation under the OHA. Its higher-valued Robert Hall portion must be conserved and integrated within the development site, with commemorative strategies to the original agricultural context that will substantially be removed with the rezoning of North-West Brampton (NWB) area, and the spiraling future developments resulting from the approval of the City's Mount Pleasant Secondary Plan Sub-Area 51-2.

Heritage Attributes

Heritage attributes related to the original Robert Hall House's Design or Physical Value, including:

- Gabled form and simple massing;
- Symmetrical composition of the 3-bay entrance;
- Use of rectangular window and door openings throughout
- Redbrick quoins;
- Coursed limestone masonry;
- Dressed stone lintels and sills; &
- Interior elements – paneling, window and door casings, mouldings, flooring.

Heritage attributes related to the Robert Hall House's Historic Value, including:

- Location of the c. 1870 limestone farmhouse constructed for the Hall family on Concession 2, Lot 17, Chinguacousy Township.
- Carved Initials of Robert Hall carved into a brick (Figure 35).

Heritage attributes related to the Robert Hall House's Contextual Value, including:

- The farm may contribute to an understanding of 19th-century rural life in Chinguacousy Township.
- Orientation to Chinguacousy Road.

At its present condition, the Robert Hall House within the subject property acquired a good score on architectural, historical, and contextual criteria (see subsection 6.1). Implementation of an appropriate conservation strategy could further enhance its heritage significance. The proposed conservation strategy (see section 8) can address these issues by relocating the Robert Hall House on a compatible site and its restoration in its original Georgian form.

In conclusion, the Robert Hall House is recommended as a candidate for heritage designation, at a time when the proposed conservation strategy of relocation and restoration is implemented to the satisfaction of the City. The processes involved for the Robert Hall House's conservation and designation will be undertaken by Staff and Council, along with the Owners and other professional consultants. At present, the subject heritage resource does not meet all of the OHA criteria as per Regulation 9/06. However, it meets the OHA requirement for a property to have "one or more" of the criteria, grouped into the historical, design, and contextual categories, to qualify for provincial designation³³.

9.2 DESIGN GUIDELINES FOR NEW DEVELOPMENT

With the new compatible use determined, subsequent design development can then occur, and may be done in accordance with other guidelines, such as the City's "Development Design Guidelines" (DDGs). The DDGs seek to promote good urban design with one of its objectives being "to incorporate and reinforce important natural and heritage features into the community structure." The DDGs could therefore be used to promote the compatibility of the subject development and heritage structure, especially in terms of site planning and built form. Part VI-Section 1.0 of the DDGs discusses "Residential Areas," such as the proposed building. Part VII – Architectural Control Guidelines - Section 5.9 further discusses "Dwellings Adjacent to Heritage Buildings" such as the subject property.

The development of these areas is recommended to preserve and to enhance the existing site, to support the logical distribution of buildings, parking, loading areas, and at the same time, to minimize impacts on the streetscape. Some of the recommendations of the DDGs coincide with the possible mitigation options in the HIA-ToR Appendix 2. Recommendations include but are not limited to:

9.2.1 Landscape Buffers & Commemorative Landscaping

Landscape buffers may include setbacks to convey internal road allowances, as well as the provision of parkettes. Building setbacks may also enable a generous landscaped setting adjacent to the arterial road to create pedestrian-oriented landscape strips. The consideration for landscape buffers will limit and obviate the impacts of the intensified residential use surrounding the Robert Hall House structure. It may also enhance private and public spaces in the proposed residential building. A walkway block is proposed north of the CHR's new lot.

³³ p. 20, Ministry of Culture. "Ontario Heritage Toolkit - Heritage Property Evaluation: A Guide to Listing, Researching, and Evaluating Cultural Heritage Property in Ontario Communities". Queen's Printer for Ontario, 2008

Officially naming the subject building 'Robert Hall House' and installing a plaque in the green space adjacent to the property that will be visible from public right of way (not impacting any heritage attributes of the Robert Hall House) to communicate the history and importance of the building is another possible commemorative strategy. This is congruous to the Community Design guidelines in Section 11 of the Mount Pleasant Secondary Plan.³⁴

9.2.2 Sympathetic Design to New Buildings & Surroundings

It is important that new construction promotes architectural interest, human scale, and sympathetic design to the character-defining attributes of the heritage structure. New, contemporary buildings may be sympathetically designed to incorporate concepts and elements from the heritage structure.

Section 5.7 Dwellings facing Parks and section 5.9 Dwellings adjacent to Heritage Buildings of DDG (Part VII) list and recommend the following guidelines that are applicable to the subject site³⁵:

5.7 Dwellings Facing Parks

- *Housing facing parks should use a coordinated and unified architectural theme, colour schemes and exterior material choices in order to create a unique architectural backdrop to the park and foster an identifiable sense of place within the community. This shall be detailed within the required Urban Design document for each community.*
- *The majority of dwellings facing a park should have a full porch, where appropriate to the architectural style. This helps to define the park edge, encourage social interaction and promote casual surveillance of the park.*
- *Dwellings with garages projecting in front of the porch shall be discouraged facing parks. Continuity of building massing is encouraged facing parks.*

5.9 Dwellings Adjacent to Heritage Buildings

- *New housing on lots adjacent to heritage buildings will be considered Priority Lots. They shall be respectful to the adjacent heritage by having appropriate regard for design, massing, setbacks, building materials and colours.*
- *The Builder should limit the model types/elevations available to be sited adjacent to a heritage building to those exhibiting the highest degree of compatibility.*
- *Enhanced elevation treatments will be required for façades facing a heritage building.*

³⁴ Community Design Guidelines, MPSP (Office consolidation 2017). City of Brampton. Accessed from: <https://www.brampton.ca/EN/Business/planning-development/policies-master-plans/secondary%20plans/SPA51%20Mount%20Pleasant.pdf>

³⁵ Development Design Guidelines, Part VII (2008). City of Brampton. Accessed from: <https://www.brampton.ca/EN/Business/planning-development/Documents/CD/UD/UDS/Brampton%20ACGRRD%20080717%20final.pdf>

9.3 PREPARATION OF A CONSERVATION PLAN

A Heritage Conservation Plan will also be prepared to demonstrate the proposed conservation strategy. A Conservation Plan would typically accompany a full site plan approval application. It is a submission that describes “repairs, stabilization and preservation activities as well as long term conservation, monitoring and maintenance measures” required to preserve a heritage resource. The Conservation Plan may include components that include, but are not limited to:

- Drawings and “Outline” Specifications
- Building Material Inventory,
- Cost Estimate, and
- Other requirements to fulfill planning requirements, such as the HBPP.

A Building Material Inventory (‘BMI’) may be required and submitted to document the methods and materials used for original and later construction. The BMI could form part of the Conservation Plan submission. With the BMI, the types of building assemblies, their components, conditions, and joining techniques are documented, not only for archival purposes, but to create a proper sequence of preservation tasks.

Overall, the Conservation Plan will present the conditions assessment of the building through a general overview of the critical exterior elevations and their portions that would require restoration work. The description of the conservation work, or the “outline” specification, for each exterior element will address the architectural features that are “character-defining” and of particular heritage value. This outline will serve as a guide to be developed, as the first step to prepare construction documents. The Conservation Plan and its components will demonstrate the range of measures that will be undertaken to protect the heritage structure during the approvals and development processes. The Conservation Plan therefore represents a first step in upgrading the building exterior, and discusses the building’s conditions on a ‘macro’ level. It forms the implementing submission intended to guide the future specifications and drawings which will outline the detailed restoration methods.

Following the Conservation Plan, detailed construction documents – comprising drawings and specifications – will need to be prepared for each component of the determined restoration work. To undertake the proposed restoration work, a Heritage Permit Application (HPA) must be submitted to the City’s Heritage Planning Section. The City Heritage staff will require more detailed information relating to the heritage components in the Conservation Plan, prescribing the following construction specifications:

- design detailing,
- materials and colours,
- reproduction windows,
- roof material,
- masonry cleaning method, and
- brick repointing technique.

These and other submissions for the HPA will require the City’s heritage approval through the Heritage Planning staff, the Brampton Heritage Board, and ultimately Council. Therefore, at milestones in the development process, the City heritage authority will have the opportunity to review and approve the heritage aspects of this project.

9.4 SUMMARY STATEMENT

This HIA concludes that:

- The historic portion of the subject property has cultural heritage value or interest as a unique example of a 1 ½ storey 19th-century style Georgian House.
- Through alteration, preservation and restoration, the proposed development will not result in significant direct and indirect impacts to the heritage attributes of Robert Hall House.

To ensure the long-term sustainability and use of the Robert Hall House as a valued built heritage resource, *AREA* recommends to:

- Relocate the Robert Hall House to a new location within the site in the proposed development and demolish other structures on the subject property that have no heritage value. This operation will require the following short-term and long-term actions:

Short-term Conservation Actions:

- Implement a Heritage Building Protection Plan (HBPP) for the cultural heritage resource, in accordance with the City of Brampton Heritage Building Protection Plan Terms of Reference and to the satisfaction of the City of Brampton.
- Prepare a Heritage Conservation Plan (HCP) in accordance with Section 8 of the Heritage Impact Assessment Terms of Reference, detailing the conservation approach (i.e. preservation, rehabilitation or restoration), the required actions and trades, and an implementation schedule to conserve the Robert Hall House prior to, during and after the relocation effort.

Long-term Conservation Actions:

- Designate the Robert Hall House at its associated new location within the property under Part IV of the Ontario Heritage Act;
- Officially name the building 'Robert Hall House' and install a commemorative plaque in a location within the site that will be visible from public right of way but will not impact any heritage attributes of the building to communicate the history and importance of the site.

10.0 APPENDICES

Appendix A: Bibliography & References

Appendix B: Site Photos

Appendix C: City of Brampton's Cultural Heritage Impact Assessment, Terms of Reference
("HIA-ToR")

Appendix D: Development Concept Plan, GSAI January 25th 2021

Appendix E: Resumes

APPENDIX A: BIBLIOGRAPHY & REFERENCES

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APPENDIX B: SITE PHOTOS NOVEMBER 2020



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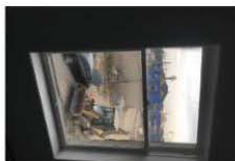
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APPENDIX C: CITY OF BRAMPTON'S CULTURAL HERITAGE IMPACT ASSESSMENT, TERMS OF REFERENCE ("HIA-TOR")

Heritage Impact Assessment Terms of Reference



BRAMPTON
Flower City

Planning, Design and Development
Heritage



Architects Rasch Eckler Associates Ltd.
Project No. 12-576



Planning, Design and Development Heritage

Heritage Impact Assessment - Terms of Reference

A Heritage Impact Assessment (HIA) is a study to determine the impacts to known and potential heritage resources within a defined area proposed for future development. The assessment results in a report that identifies all heritage resources, provides an evaluation of the significance of the resources, outlines any impact proposed development or site alteration will have on the resources, and makes recommendations toward conservation methods and/or mitigative measures that would minimize impacts to those resources. The report will be used to help the municipality make informed decisions related to the identified heritage resources.

1. Background

The requirement to provide a Heritage Impact Assessment is derived from the *Ontario Heritage Act* O. Reg. 9/06, Section 2(d) of the *Planning Act*, Section 2.6 of the Provincial Policy Statement, and Section 4.9 of the City of Brampton's Official Plan.

According to Section 4.9.1.10 of the Official Plan:

A Heritage Impact Assessment, prepared by a qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes.

Official Plan Policy 4.9.1.11 states that:

A Heritage Impact Assessment may also be required for any proposed alteration work or development activities involving or adjacent to heritage resources to ensure that there will be no adverse impacts caused to the resources and their heritage attributes. Mitigation measures shall be imposed as a condition of approval of such applications.

Official Plan Policy 4.9.1.12 outlines and prioritizes preferred mitigation options starting with on-site retention.

In addition, Official Plan Implementation Policy 4.9.9.2 (ii) allows for:

Requiring the preparation of a Heritage Impact Assessment for development proposals and other land use planning proposals that may potentially affect a designated or significant heritage resource or Heritage Conservation District.

The Corporation of The City of Brampton
2 Wellington Street West, Brampton, ON L6Y 4R2 T: 905.874.2000 TTY: 905.874.2130

2. When a Heritage Impact Assessment is Required

2.1 An HIA will be required for the following:

- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is subject to land use planning applications;
- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is facing possible demolition;
- Any property that is subject to land use planning applications and is adjacent to a property designated in the municipal heritage register, pursuant to Section 27 (1.1) of the *Ontario Heritage Act*.

A HIA may be required for the following:

- Any property that is subject to land use planning applications and is adjacent to a property listed in the municipal heritage register, pursuant to Section 27 (1.2) of the *Ontario Heritage Act*.

2.2 A property does not have to be designated or listed in a heritage register to be subject to a Heritage Impact Assessment. Any property that may exhibit cultural heritage value or interest or 'heritage potential' as determined by City heritage staff will be subject to an appropriate level of heritage due diligence and may require an HIA.

2.3 Heritage Impact Assessments may be 'scoped' based on the specific circumstances and characteristics that apply to a heritage resource. Further consultation with heritage staff will be required to determine when a scoped HIA may be required, as well as requirements for the content.

3. Content of Heritage Impact Assessments

3.1 Background

3.1.1 Provide a background on the purpose of the HIA by outlining why it was undertaken, by whom, and the date(s) the evaluation took place.

3.1.2 Briefly outline the methodology used to prepare the assessment.

3.2 Introduction to the Subject Property

3.2.1 Provide a location plan specifying the subject property, including a site map and aerial photograph at an appropriate scale that indicates the context in which the property and heritage resource is situated.

- 3.2.2 Briefly document and describe the subject property, identifying all significant features, buildings, landscapes, and vistas.
- 3.2.3 Indicate whether the property is part of any heritage register (e.g. Municipal Register of Cultural Heritage Resources Designated under the *Ontario Heritage Act*, or Municipal Register of Cultural Heritage Resources)
- 3.2.4 Document and describe the context including adjacent properties, land uses, etc.
- 3.2.5 Document, describe, and assess the apparent physical condition, security, and critical maintenance concerns, as well as the integrity of standing buildings and structures found on the subject property.
- 3.2.6 If the structural integrity of existing structures appears to be a concern, recommend the undertaking of a follow-up structural and engineering assessment to confirm if conservation, rehabilitation and/or restoration are feasible. Assessments must be conducted by qualified professionals with heritage property experience.

3.3 Evaluation of Cultural Heritage Value or Interest

- 3.3.1 Thoroughly document and describe all heritage resources within the subject property, including cultural heritage landscapes, structures, buildings, building elements, building materials, architectural features, interior finishes, natural elements, vistas, landscaping and potential archaeological resources.
- 3.3.2 Provide a chronological history of the site and all structure(s), including additions, deletions, conversions, etc.
- 3.3.3 Provide a list of owners from the Land Registry office and other resources, as well as a history of the site use(s) to identify, describe, and evaluate the significance of any persons, groups, trends, themes, and/or events that are historically or culturally associated with the subject property.
- 3.3.4 Document heritage resource(s) using current photographs of each elevation, and/or measured drawings, floor plans, and a site map at an appropriate scale for the given application (i.e. site plan as opposed to subdivision). Also include historical photos, drawings, or other archival material that is available and relevant.
- 3.3.5 Using Regulation 9/06 of the *Ontario Heritage Act* (Criteria for Determining Cultural Heritage Value or Interest), identify, describe, and evaluate the cultural heritage value or interest of the subject property as a whole, outlining in detail all significant heritage attributes and other heritage elements.
- 3.3.6 Provide a summary of the evaluation in the form of a table (see Appendix 1) outlining each criterion (design or physical value; historical or associative value; contextual value), the conclusion for each criterion, and a brief explanation for each conclusion.

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3.4 Description and Examination of Proposed Development/Site Alterations

- 3.4.1 Provide a description of the proposed development or site alteration in relation to the heritage resource.
- 3.4.2 Indicate how the proposed development or site alteration will impact the heritage resource(s) and neighbouring properties. These may include:
- Destruction of any, or part of any, significant heritage attributes or features;
 - Alteration to the historic fabric and appearance;
 - Shadow impacts on the appearance of a heritage attribute or an associated natural feature or plantings, such as a garden;
 - Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;
 - Impact on significant views or vistas within, from, or of built and natural features;
 - A change in land use where the change in use may impact the property's cultural heritage value or interest;
 - Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource.
- 3.4.3 Submit a drawing indicating the subject property streetscape and properties to either side of the subject lands, if applicable. The purpose of this drawing is to provide a schematic view of how the new construction is oriented and how it integrates with the adjacent properties from a streetscape perspective. Thus, the drawing must show, within the limits of defined property lines, an outline of the building mass of the subject property and the existing neighbouring properties, along with significant trees and/or any other landscape or landform features. A composite photograph may accomplish the same purpose with a schematic of the proposed building drawn in.

3.5 Mitigation Options, Conservation Methods, and Proposed Alternatives

- 3.5.1 Provide mitigation measures, conservation methods, and/or alternative development options that avoid or limit the direct and indirect impacts to the heritage resource.
- 3.5.2 Evaluate the advantages and disadvantages (pros and cons) of each proposed mitigation measure/option. The mitigation options may include, but are not limited to:
- Alternative development approaches;
 - Appropriate setbacks between the proposed development and the heritage resources;
 - Design guidelines that harmonize mass, setback, setting, and materials;
 - Limiting height and density;
 - Compatible infill and additions;
 - Refer to Appendix 2 for additional mitigation strategies.

- 3.5.3 Identify any site planning and landscaping measures that may ensure significant heritage resources are protected and/or enhanced by the development or redevelopment.
- 3.5.4 If relocation, removal, demolition or other significant alteration to a heritage resource is proposed by the landowner and is supported by the heritage consultant, provide clear rationale and justification for such recommendations.
- 3.5.5 If retention is recommended, outline short-term site maintenance, conservation, and critical building stabilization measures.
- 3.5.6 Provide recommendations for follow-up site-specific heritage strategies or plans such as a Conservation Plan, Adaptive Reuse Plan, and/or Structural/Engineering Assessment.
- 3.5.7 If a heritage property of cultural heritage value or interest cannot be retained in its original location, consider providing a recommendation for relocation by the owner to a suitable location in reasonable proximity to its original siting.
- 3.5.8 If no mitigation option allows for the retention of the building in its original location or in a suitable location within reasonable proximity to its original siting, consider providing a recommendation for relocation to a more distant location.
- 3.5.9 Provide recommendations for advertising the sale of the heritage resource. For example, this could include listing the property on the Architectural Conservancy of Ontario (ACO) website in order to allow interested parties to propose the relocation of the heritage resource. Acceptable timelines and any other requirements will be determined in consultation with City staff. The link to the ACO's Historic Architectural Linking Program is provided below:
http://www.arconserv.ca/buildings_at_risk/for_sale.cfm
- 3.5.10 If a property cannot be retained or relocated, alternatives will be considered for salvage and mitigation. Only when other options can be demonstrated not to be viable will options such as ruinification or symbolic conservation be considered. Detailed documentation and commemoration (e.g. a heritage interpretative plaque) may also be required. Salvage of material must also occur, and a heritage consultant may need to provide a list of features of value to be salvaged. Materials may be required to be offered to heritage-related projects prior to exploring other salvage options.

Ruinfication allows for only the exterior of a structure to be maintained on a site. Symbolic conservation refers to the recovery of unique heritage resources and incorporating those components into new development, or using a symbolic design method to depict a theme or remembrance of the past.
- 3.5.11 If the subject property abuts to one or more listed or designated heritage properties, identify development impacts and provide recommended mitigation strategies to ensure the heritage resources on the adjacent properties are not negatively impacted. Mitigation strategies include, but are not limited to:

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- vegetation screening;
- fencing;
- buffers;
- site lines
- an architectural design concept for the massing and façade treatment of proposed buildings to ensure compatibility with the adjoining property and the like.

3.5.12 An implementation schedule and reporting/monitoring system for implementation of the recommended conservation or mitigation strategies may be required.

3.6 Recommendations

3.6.1 Provide clear recommendations for the most appropriate course of action for the subject property and any heritage resources within it.

3.6.2 Clearly state whether the subject property is worthy of heritage designation under the *Ontario Heritage Act*.

3.6.3 The following questions must be answered in the final recommendation of the report:

- Does the property meet the criteria for heritage designation under the Ontario Regulation 9/06, *Ontario Heritage Act*?
- Why or why not does the subject property meet the criteria for heritage designation?
- Regardless of the failure to meet criteria for heritage designation, can the structure or landscape be feasibly integrated into the alteration/development?

3.6.4 Failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.

3.7 Executive Summary

3.7.1 Provide an executive summary of the assessment findings at the beginning of the report.

3.7.2 Outline and summarize all recommendations including mitigation strategies, need for the preparation of follow-up plans such as conservation and adaptive reuse plans and other requirements as warranted. Please rank mitigation options from most preferred to least.

4. **Standards and Practices**

4.1 Heritage Impact Assessments must be impartial and objective, thorough and complete, and sound in methodology and application of Ontario heritage evaluation criteria, and consistent with recognized professional standards and best practices in the field of heritage consulting.

4.2 Heritage Impact Assessments must be completed to the satisfaction of the City. HIAs that are not completed to the satisfaction of the City may be subject to revision and

resubmission, critique by peer review or a similar process to determine if the report meets recognized standards and practices.

5. Acceptance of Heritage Impact Assessments

- 5.1 The Heritage Impact Assessment will undergo a compliance review by City heritage staff to determine whether all requirements have been met, and to review the option(s) outlined in the report. Staff comments will be provided to the applicant and heritage consultant.
- 5.2 A Heritage Impact Assessment will be considered a 'draft' until such time that City heritage staff deem the report complete. Staff will notify the applicant and heritage consultant when the report is considered complete.
- 5.3 An accepted Heritage Impact Assessment is required for the final processing of a development application. The recommendations within the final approved version of the Heritage Impact Assessment may be incorporated into legal agreements between the City and the proponents at the discretion of the municipality. Until the HIA is deemed complete, schedules associated with planning and building applications related to heritage properties cannot commence.

6. Other Requirements

- 6.1 Provide a bibliography listing **all** sources used in preparing the HIA.
- 6.2 Provide proper referencing within the HIA, including images, maps, etc.
- 6.3 Provide five copies of the final HIA, and one digital copy (PDF or Word)
- 6.4 Provide a digital copy of all images taken or obtained for the HIA on Compact Disk.
- 6.5 Measured drawings of the heritage resource(s) may be required in support of a conservation plan or as a record prior to demolition.
- 6.6 A site visit of the subject property by City heritage staff and/or members of the Brampton Heritage Board may be required prior to the HIA being deemed complete.

7. Qualified Parties for Preparing Heritage Impact Assessments

- 7.1 All heritage impact assessments, conservation plans, adaptive reuse plans, security plans and/or related studies must be prepared by qualified professionals with applied and demonstrated knowledge of accepted standards of heritage conservation, historical research, identification, evaluation of cultural heritage value or interest, mitigation, and the like.
- 7.2 All heritage consultants submitting heritage impact assessments must be members in good standing of the Canadian Association of Heritage Professionals (CAHP).

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7.3 Under provincial law only licensed, professional archaeologists may carry out archaeological assessments using specific provincial standards and guidelines.

8. Scope of a Conservation Plan

8.1 If a property is to be retained, a follow-up Conservation and Adaptive Reuse Plan may be recommended. Conservation and Adaptive Reuse Plans will provide:

- Preliminary recommendations for adaptive reuse;
- Critical short-term maintenance required to stabilize the heritage and building fabric and prevent deterioration;
- Measures to ensure interim protection of heritage resources during phases of construction or related development;
- Security requirements;
- Restoration and replication measures required to return the property to a higher level of cultural heritage value or interest integrity, as required;
- Appropriate conservation principles and practices, and qualifications of contractors and trades people that should be applied;
- Longer term maintenance and conservation work intended to preserve existing heritage fabric and attributes;
- 'As found' drawings, plans, specifications sufficient to describe all works outlined in the Conservation Plan;
- An implementation strategy outlining consecutive phases or milestones;
- Cost estimates for the various components of the plan to be used to determine sufficient monetary amounts for letters of credits or other financial securities as may be required to secure all work included in the Conservation Plan; and
- Compliance with recognized Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards.

Appendix 1

**Evaluation of Cultural Heritage Value or Interest
Summary Table**

Criteria for Determine Cultural heritage value or interest	Assessment (Yes/No)	Rationale
1. Design or physical value:		
a) Is a rare, unique, representative or early example of a style, type, expression, material, or construction method		
b) Displays a high degree of craftsmanship or artistic merit		
c) Demonstrates a high degree of technical or scientific achievement		
2. Historical or associative value:		
a) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community		
b) Yields, or has potential to yield, information that contributes to an understanding of a community or culture		
c) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community		
3. Contextual value:		
a) Is important in defining, maintaining, or supporting the character of an area		
b) Is physically, functionally, visually, or historically linked to its surroundings		
c) Is a landmark		

Appendix 2

Additional Mitigation Strategies

If any negative impacts are identified, a mitigation plan must be outlined. A mitigation plan will be tailored to the unique conditions and cultural heritage value or interest of a given property. The following list represents a summary of the more common types of mitigation that may be appropriate:

- Avoidance protocols to isolate development and land alterations to minimize impacts on significant built and natural features and vistas;
- Architectural design guidelines for buildings on adjacent and nearby lots to help integrate and harmonize mass, setback, setting, and materials;
- Limiting height and density of buildings on adjacent and nearby lots;
- Ensuring compatible lotting patterns, situating parks and storm water ponds near a heritage resource;
- Allowing only compatible infill and additions;
- Preparation of conservation plan and adaptive reuse plans as necessary;
- Vegetation buffer zones, tree planting, site plan control, and other planning mechanisms;
- Heritage Designation, Heritage Conservation Easement;
- In certain rare instances, permitting the relocation of built heritage resources within the subject parcel, to nearby lands, or to other parts of the City in order to better accommodate conservation and adaptive reuse. The appropriate context of the resource must be considered in relocation.
- In instances where retention may not be possible, partial salvage, documentation through measured drawings and high-resolution digital photographs, historical plaquing and the like may be appropriate.
- Opportunities to commemorate historical land uses, past owners, landscape and landform features through the naming of streets and other public assets such as parkettes and storm ponds; interpretative plaques may also be required.

DRAFT PLAN OF SUBDIVISION
FILE #
TFP MAYCHING DEVELOPMENTS LIMITED
 PART OF LOT 17
 CONCESSION 2, W.H.S.
 (GEOGRAPHIC TOWNSHIP OF CHINGLACOUSY)
 BLOCK 51-2, MOUNT PLEASANT
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEELE

OWNERS CERTIFICATE
 TOWN OF PEELE & ASSOCIATES INC. TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE CITY OF BRAMPTON FOR APPROVAL

SIGNED: [Signature] DATE: JANUARY 11, 2021

LAND USE SCHEDULE

LAND USE	LOTS (BLOCKS)	AREA (m ²)	AREA (ac)	UNITS
RESIDENTIAL (R-1)	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	1,111,111	272.2	272
RESIDENTIAL (R-2)	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	1,111,111	272.2	272
RESIDENTIAL (R-3)	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	1,111,111	272.2	272
RESIDENTIAL (R-4)	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	1,111,111	272.2	272
RESIDENTIAL (R-5)	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	1,111,111	272.2	272
RESIDENTIAL (R-6)	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	1,111,111	272.2	272
RESIDENTIAL (R-7)	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	1,111,111	272.2	272
RESIDENTIAL (R-8)	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 7			

APPENDIX E: RESUMES

A. DAVID ECKLER, AREA



FIRM PROFILE | HERITAGE & MUSEUM WORK

AREA is a full service firm, based in Toronto and operating across Canada, which specializes in the restoration and adaptive re-use of historic buildings, urban design for heritage streetscapes and approvals under the Ontario Heritage Act. The firm has a history extending over 30 years of practice, and is managed by 2 principals and 8 technical staff – including intern architects, interior designers and architectural technologists – with experience in the documentation and restoration of historic buildings and sites. Although we are qualified for heritage and museum projects, the members of our firm have also undertaken a wide range of institutional and commercial projects often involving the integration of historic components into new developments.

AREA and its staff are members of various heritage associations and advisory boards across Canada. David Eckler, B.E.S., B.Arch., OAA, MRAIC is an active member in many heritage associations including the Architectural Conservancy of Ontario Advisory Board. He is a former Vice-Chair of Heritage Toronto, which advised Toronto City Council on heritage matters as a LACAC under the Heritage Act. Bernard Rasch, B.Arch., PPOAA, FRAIC, ARIBA has served on a number of heritage committees and boards including the Markham District Historical Society and City of York Historical Committee and the Metro Board of Management for The Guild from 1984 to 1998 where he served in many positions including Chair & Vice-Chair of the Board.

Historical Façade Improvement Guidelines & Heritage Districts

- Stouffville Main Street Revitalization, 1998, DEA was presenter at workshop
- Yonge Street Commercial Façade Improvement Program, 1996, received City approval of grant
- Woodstock Façade Improvement Program, 1995, DEA initiated program for City
- Hazelton-Yorkville Area Heritage Conservation District Study, City-sponsored study
- Fergus Downtown Community Masterplan & Design Guidelines

Historic Museums, Institutional & Cultural Buildings

- Officers' Quarters (1830), Military & Naval Establishment, Discovery Harbour, Penetanguishene
- Spence Half-Way House Restoration (c. 1850), Muskoka Pioneer Village, Huntsville
- Sharon Temple Compound (1821), Sharon, York Region
- Heliconian Hall (first Olivet Sunday Schoolhouse, circa 1876), [Yorkville]
- Cedar Ridge Studio Gallery (1918), 225 Confederation Drive, [Scarborough]
- Aurora Historical Society Museum (1886 school), 22 Church Street, Aurora
- The Niagara Institute (early 20th.c), 9 Weatherstone Crt., Niagara on the Lake
- St. Lawrence Hall (1840) – renovations of town hall to accommodate National Ballet School

Historic House Restorations

- Jacob Ross House Restoration (1852), 108 Stayner Ave.
- William Wonch House Restoration (1840), 2777 Woodbine Ave., Markham
- Robert Milroy House Restoration (c. 1833), 7111 Reesor Rd., Markham
- McDougall Farmhouse (1893) Heritage Assessment, James Snow Parkway, Milton, ON
- Devonian House Restoration & Addition (circa 1923), 144 John St. E., Niagara on the Lake
- Savage House & Blacksmith Shop (c.1840), 1480 Derry Rd. E., Mississauga

Converted Historic Residences

- Old Post Inn (c. 1830), 367 Kingston Road East, Ajax
- Valley Halla Villa (Jackson Residence, 1922), Toronto Zoo, Rouge Valley, Scarborough
- Armour Heights Officer's Mess (1913, 'Strathrobyn'), Canadian Forces College, 215 Yonge Blvd.
- Bellevue Daycare Centre (1887), 95 Bellevue Ave.
- Gerrard & Bay Historic Houses (1860-1890), 68-84 Gerrard St. W.
- Toronto French School Restoration (Sifton Estate, 1923), 294 - 318 Lawrence Ave. E.

AREA

EDUCATION

University of Waterloo
B.Arch (1985)
B.E.S. (1982)

MEMBERSHIPS

Ontario Association of
Architects
(Former Councillor & Chair
Awards Committee)

Royal Architectural Institute of
Canada

Canadian Standards
Association (CSA)

Architectural Conservancy of
Ontario Advisory Board

Society for the Study of
Architecture in Canada

Heritage Canada Foundation

Ontario Historical Society

CAREER SUMMARY

AREA, Architects Rasch Eckler
Associates Ltd.
President
2001 to Present

David Eckler Architect
1991 – 2001

Page & Steele Architects
1989 – 1991

Arthur Erickson Architects
1986 – 1989

DAVID ECKLER BES, B.Arch., OAA, MRAIC AREA, Architects Rasch Eckler Associates Ltd. President & Principal – Senior Heritage Architect

David Eckler is the firm's principal and is responsible for the design, construction drawings, specifications and construction administration of all heritage projects in the office. Mr. Eckler has over 25 years experience in the conservation, restoration and adaptive reuse of heritage structures for government, non-profit agencies and private sector owners and developers. Mr. Eckler directs the Concept Design, Design Development and Contract Documents phases of heritage projects and authors many of the firm's heritage assessment reports.

Mr. Eckler established a specialization in heritage conservation beginning in 1992 with his previous firm *David Eckler Architect (DEA)* and continuing in his current practice, *AREA Architects*. His architectural heritage services include feasibility studies, preservation planning, infill projects within historic districts, adaptive reuse and building restoration. David is an active member in many architectural and heritage associations including the *Architectural Conservancy of Ontario Advisory Board*. He is a past member of the *Canadian Association of Professional Heritage Consultants* and is a former Vice-Chair of *Heritage Toronto*, which advised Toronto City Council on heritage matters under the Heritage Act and as an advisory board for the city's museums.

Mr. Eckler has particular experience in the restoration of heritage properties within public parks and cultural landscapes. An example of a heritage attraction in a park setting is the restoration of the Officers' Quarters within the *Discovery Harbour* museum in Penetanguishene. He has most recently worked on the restoration of the historic site of the *1910 Allan Gardens Conservatory*.

RELEVANT EXPERIENCE: Toronto location unless indicated

Heritage Adaptive Re-use

- **Goldring Student Centre (Wymilwood, 1954)** – 150 Charles St. W., Toronto
- **Warwick Office Building (1905)** – 401-409 King St. W.
- **Church of Christ, Scientist (1928)**, Condominium Redevelopment, 70 High Park
- **Eglinton Hunt Club (1929)** – Condominiums, 1355 Kingston Rd.
- **Hutton House (1853)** – Community Centre, Ardmore Park, St. Marys
- **Bellevue Daycare Centre (1887)** – 95 Bellevue Avenue

Restoration of Institutional Historic Buildings

- **Allan Gardens Conservatory Complex (1910)** – 160 Gerrard St. E.
- **Aurora Historical Society Museum (Church Street School, 1886)**
- **Toronto French School (Sifton Estate, 1924)** – 306 Lawrence Ave E
- **Armour Heights Officers' Mess ('Strathrobyn' 1913)** – 215 Yonge Blvd.
- **Medical Arts Building Restoration (circa 1929)**
- **Officers' Barracks (1830)** – Discovery Harbour, Penetanguishene
- **Heliconian Hall (first Olivet Church, 1876)** – 35 Hazelton Ave.

Heritage Planning, Parks & Streetscape Design

- **Cookstown Heritage Conservation District** – Innisfil, ON.
- **Old Pickering Village Planning & Heritage Study, Ajax**
- **Yorkville-Hazelton Avenue Heritage Conservation District**
- **Limehouse Kilns Heritage Masterplan, Halton Hills**
- **Confederation Commemorative Park, Charlottetown, PEI**
- **Gerrard & Bay Historic Houses (1860-1890)**

B. Robert J. Burns, Heritage Resources Consulting*Summary*

Dr. Burns has over 35 years of experience in historical research and analysis. As a Parks Canada Project Historian, he prepared a narrative and structural history of Inverarden, a Cornwall, Ontario domestic property built in 1816, and a structural and social history of Fort Wellington National Historic Site at Prescott, Ontario. As a member (history) of the Federal Heritage Buildings Review Office (FHBRO) from 1990 to 1995 he participated in the review of some 500 federal properties including CFB Esquimalt and the Kingston Penitentiary. As a consultant since 1995, he has prepared FHBRO cultural heritage assessment reports on numerous federal properties including CFB Goose Bay and its buildings, hangars, munitions bunkers and former nuclear weapons storage facilities. His examination of the temporary storage of nuclear weapons at Goose Bay during the Korean War crisis led to the publication of "Bombs in the Bush," *The Beaver*, Jan. 2005.

Heritage Assessments prepared for FHBRO

- CFB Goose Bay, Heritage Assessment of 124 buildings, 2000. Building functional types included barracks, hangars, storage bunkers for conventional and nuclear weapons, guard towers, warehouses, and offices.
- CFB Goose Bay, Heritage Assessment of 16 buildings, 2001. Building functional types consisted of hangars for medium and heavy bombers.
- CFB Galetown, Heritage Assessment of 77 buildings, 2002. Building Functional types included office/admin buildings, barracks, drill halls, garages, gate/guard houses, lecture/training buildings, mess halls, quarters, shops and recreational buildings.
- Bedford Institute of Oceanography, Heritage Assessment of the Van Steenburgh and Polaris Buildings, 2003.
- Hudson's Bay Company Post (abandoned), Ukkusiksalik National Park, Nunavut, 2005.
- Nanaimo Foundry, Nanaimo, BC, for FHBRO, 2005.
- Heritage Assessments of 32 lighthouses, lightstations and range light towers in the Great Lakes and Atlantic regions, 2006-2008.

Heritage Assessments and Plaque Texts prepared for the Ontario Heritage Trust

- J. L. Kraft, Fort Erie, Ont., 2003.
- Reid Mill, Streetsville, Ont., 2004.
- George Weston, Toronto, Ont., 2005.
- Pauline McGibbon, Sarnia, Ont., 2006.
- W. P. Bull, Brampton, Ont., 2007.
- Founding of Englehart, Ontario, 2008.
- George Drew, Guelph, Ont., 2008.
- Founding of Latchford, Ont., 2009.

Publications and Other Major Projects

- "God's chosen people: the origins of Toronto society, 1793-1818", *Canadian Historical Association: Historical Papers*, 1973, Toronto, 1974. Republished in J. Bumsted (ed.), *Canadian History Before Confederation: Essays and Interpretations*, 2nd ed. (Georgetown, Ont.: Irwin-Dorsey Ltd., 1979).
- "James Grant Chewett", "William Botsford Jarvis", "George Herkimer Markland" and "Thomas Gibbs Ridout" published in the *Dictionary of Canadian Biography*, vol. IX, Toronto, 1976.
- "The post fur trade career of a North West Company partner: a biography of John McDonald of Garth", *Research Bulletin No. 60*, Parks Canada, 1977. Reprinted in *Glengarry Life*, Glengarry Historical Society, 1981.
- "Inverarden: retirement home of North West Company fur trader John McDonald of Garth". *History and Archaeology No. 25*, Parks Canada, 1979. First printed as *Manuscript Report Series*

No. 245, 1978.

- "Fort Wellington: A Narrative and Structural History, 1812-38", *Manuscript Report Series No. 296*, Parks Canada, 1979.
- A review of J.M.S. Careless (ed.), *The Pre-Confederation Premiers: Ontario Government Leaders, 1841-1867* (Toronto: University of Toronto Press, 1980) in *Ontario History*, LXXIII, No.1, March 1981.
- A review of Mary Larratt Smith (ed.), *Young Mr. Smith in Upper Canada* (Toronto: University of Toronto Press, 1980) in *Ontario History*, LXXIV, No. 2, June 1982.
- "William Jarvis", "Robert Isaac Dey Gray" published in the *Dictionary of Canadian Biography*, Vol. V, Toronto, 1983.
- "Bulk packaging in British North America, 1758-1867: a guide to the identification and reproduction of barrels", *Research Bulletin No. 208*, Parks Canada, December 1983.
- "Cornwall, Ontario" in *The Canadian Encyclopedia* (Edmonton: Hurtig Publishers, 1985).
- "Samuel Peters Jarvis [with Douglas Leighton]" and "Samuel Smith Ridout" in the *Dictionary of Canadian Biography*, Vol.VIII, Toronto, 1985.
- "The Burns and Gamble Families of Yonge Street and York Township [with Stanley J. Burns]", *O.G.S. Seminar '85* (Toronto: Ontario Genealogical Society, 1985).
- "Starting From Scratch: the Simcoe Years in Upper Canada", *Horizon Canada*, No. 22, July 1985.
- "Upper Canada In the Making, 1796-1812", *Horizon Canada*, No. 23, August 1985.
- A review of Bruce G. Wilson, *The Enterprises of Robert Hamilton: A Study of Wealth and Influence in Early Upper Canada, 1776-1812* (Ottawa: Carleton University Press, 1983) in the *Canadian Historical Review*, LXVI, No. 3, Sept. 1985.
- Lila Lazare (comp.) with an intro. by Robert J. Burns, "Artifacts, consumer goods and services advertised in Kingston newspapers, 1840-50: a resource tool for material history research", *Manuscript Report Series No. 397*, Parks Canada, 1980.

Publications and Other Major Projects (cont'd)

- "W.A. Munn and the discovery of a Viking occupation site in northern Newfoundland", Historic Sites and Monuments Board agenda paper, 1982.
- Research and writing of "The Loyalists," a booklet to accompany the Loyalist Bicentennial travelling exhibit prepared by Parks Canada, 1983.
- "Paperboard and Paper Packaging in Canada 1880-1930: An Interim Report" *Microfiche Report Series No. 210* (1985).
- "Packaging Food and Other Consumer Goods in Canada, 1867-1927: A guide to Federal Specifications For Bulk and Unit Containers, Their Labels and Contents" *Microfiche Report Series No. 217* (1985).
- "Paperboard Packaged Consumer Goods: Early Patterns of Product Availability" (1986).
- "Thomas Ridout" in the *Dictionary of Canadian Biography*, Vol. VI, Toronto, 1987.
- "Paperboard and Paper Packaging in Canada, 1880-1930", 2 Vols. *Microfiche Report Series No. 393* (1989).
- Curator, along with Marianne McLean and Susan Porteus, of "Rebellions in the Canadas, 1837-1838," an exhibition of documents and images sponsored by the National Archives of Canada, 1987.
- "Marketing Food in a Consumer Society: Early Unit Packaging Technology and Label Design" in *Consuming Passions: Eating and Drinking Traditions in Ontario* (Meaford, Ont.: Oliver Graphics, 1990).
- "Robert Isaac Dey Gray" reprinted in *Provincial Justice: Upper Canadian Legal portraits from the Dictionary of Canadian Biography*, ed. Robert L. Fraser (Toronto: University of Toronto Press, 1992).
- "John Warren Cowan" and "Thomas McCormack" published in the *Dictionary of Canadian Biography*, Vol. XIII, 1994.

- *Guardians of the Wild: A History of the Warden Service of Canada's National Parks* (University of Calgary Press, 2000).
- "Goose Air Base Complex, CFB Goose Bay, Newfoundland," FHBRO 99-134 prepared for the Federal Heritage Buildings Review Office, Sept. 2000.
- "Goose Air Base Complex, Part II; Building Reports, CFB Goose Bay, Newfoundland," FHBRO 99-134 prepared for the Federal Heritage Buildings Review Office, Feb. 2002.
- "77 Buildings, Canadian Forces Base, Gagetown, New Brunswick," FHBRO 01-062 prepared for the Federal Heritage Buildings Review Office, Apr. 2002.
- "'Queer Doings': Attitudes toward homosexuality in nineteenth century Ontario," *The Beaver*, Mar. Apr. 2002.
- "J. L. Kraft," plaque text and background study for the Ontario Heritage Trust, 2003; plaque unveiled at Fort Erie, Ontario, Nov. 2003.
- "The Van Steenburgh and Polaris Buildings, Bedford Institute of Oceanography, Halifax Regional Municipality (Dartmouth), NS," FHBRO 03-081 prepared for the Federal Heritage Buildings Review Office, Dec. 2003.

Publications and Other Major Projects (cont'd)

- "Reid Mill," plaque text and background study for the Ontario Heritage Trust, 2004; plaque unveiled at Streetsville, Ontario, Aug. 2004.
- preparation of a history of the Royal Canadian Mounted Police under contract for the Force, 2004-2007.
- "Bombs in the Bush: The Strategic Air Command in Goose Bay, 1953," *The Beaver*, Dec. 2004/Jan. 2005.
- Wager Inlet HBC Post, Ukkusiksalik NP, Nunavut, FHBRO 04-100 prepared for the Federal Heritage Buildings Review Office, May 2005.
- "George Weston," plaque text and background study for the Ontario Heritage Trust, June 2005.
- "Pauline McGibbon," plaque text and background study for the Ontario Heritage Trust, June 2006.
- "William Perkins Bull," plaque text and background study for the Ontario Heritage Trust, May 2007.
- "The Founding of Englehart," plaque text and background study for the Ontario Heritage Trust, March 2008.
- "George Alexander Drew," plaque text and background study for the Ontario Heritage Trust, Jan. 2009.
- "The Founding of Latchford," plaque text and background study for the Ontario Heritage Trust, March 2009.

Related Professional Associations

- Member of Federal Heritage Building Review Board (retired).
- Former member of the Board of Directors and Chairman of the Publications Committee, Ontario Historical Society. Edited and prepared for publication R. Styran and R. Taylor, *How to prepare your own audio-visual show*, 1983.
- Past president of the Stormont, Dundas and Glengarry Historical Society.
- Past chair of Local Architectural Conservation Advisory Committee, Cornwall, Ont. Edited and prepared for publication *Heritage Cornwall*, 1979.
- member of Canadian Association of Professional Heritage Consultants.
- Member of Elgin County Archives Association.
- Member of the St. Thomas-Elgin Branch of the Architectural Conservancy of Ontario.
- Chair, Heritage Central Elgin.
- President of the Sparta (Ontario) and District Historical Society.
- Chair, Heritage sub-committee, Central Elgin - Growing Together Committee, Municipality of Central Elgin.

**Heritage Report:
Reasons for Heritage Designation**



**11678 Chinguacousy Road
(Robert Hall House)**

May 11, 2021

Profile of Subject Property

Municipal Address	11678 Chinguacousy Road
PIN Number	142513645
Roll Number	10-06-0-001-19800-0000
Legal Description	CHINGUACOUSY CON 2 WHS PT LOT 17 RP 43R15957 PT PART 3 RP 43R35275 PART 2
Ward Number	6
Property Name	Robert Hall House
Current Owner	TFP MAYCHING DEVELOPMENTS LIMITED
Owner Concurrence	Yes
Current Zoning	Agricultural (A)
Current Use(s)	Residence (vacant), Agricultural Land and Open Space
Construction Date	c.1870s
Notable Owners or Occupants	Robert Hall
Heritage Resources on Subject Property	Built heritage resource and visual link between heritage property and Chinguacousy Road
Recorder	Pascal Doucet, Heritage Planner, City of Brampton

1. Current Situation:

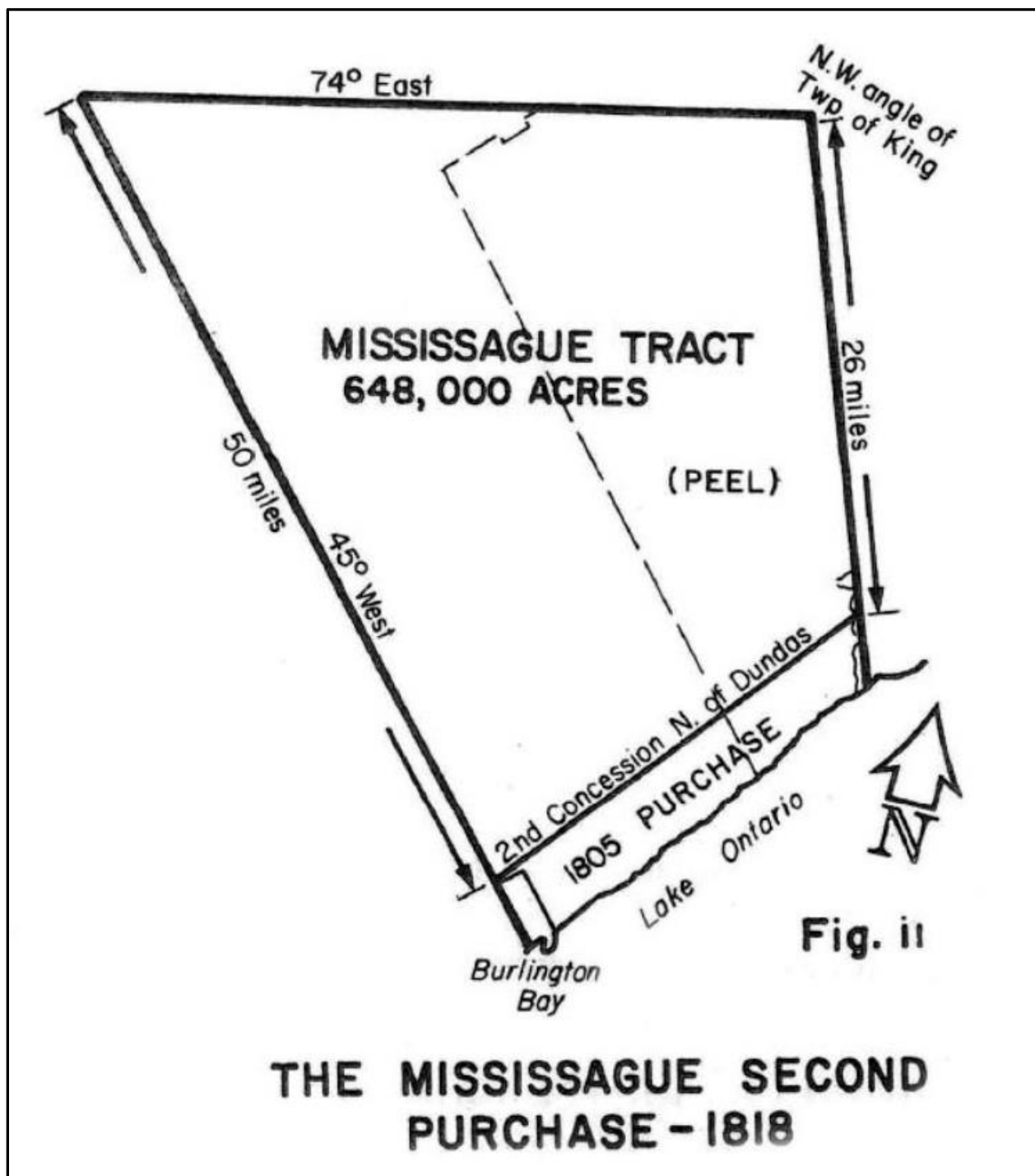
The property at 11687 Chinguacousy Road (Robert Hall House) is worthy of designation under Part IV, Section 29 of the *Ontario Heritage Act* for its cultural heritage value or interest. The property meets the criteria for designation prescribed by the Province of Ontario under the *Ontario Heritage Act*, Regulation 9/06 for the categories of design/physical value, historical/associative value, and contextual value.

2. Description of Property

The property at 11687 Chinguacousy Road is located south of Mayfield Road, on the east side of Chinguacousy Road. It contains a late nineteenth-century one-and-a-half storey limestone farm residence.

3. Historical Timeline and Ownership History

For thousands of years, Indigenous people inhabited and cared for the lands that we know now as southern Ontario. The Constitutional Act of 1791 created the Provinces of Upper Canada and Lower Canada. John Graves Simcoe, the first Lieutenant-Governor of Upper Canada, initiated several schemes to populate and protect the newly created province, as the ongoing threat of war with the United States required the borders to be populated quickly. A settlement strategy that relied on the creation of shoreline communities and effective transportation links between the settlements was employed. To this end, the acquisition of lands inhabited by the First Nations was considered necessary at the time. The first purchase of land from the Mississauga First Nations occurred in 1805, and included the lands between Etobicoke Creek and Burlington Bay, and extended north about five miles from Lake Ontario. The second purchase of the northern portion of the Mississauga Tract, including the subject property at 11687 Chinguacousy Road, was completed in 1818. Ajetance Treaty, No. 19 was signed on October 28, 1818 where 648, 000 acres of land were ceded to the Crown.



Source: Settlement History of Peel, Region of Peel report, January 1977

The Township of Chinguacousy was part of the County of Peel. Settlement in the area followed the township survey completed in 1819 by Richard Bristol. Running north-south, the lot concessions were laid on both sides of Hurontario Street and divided in half,

forming two 100 acres lots in the shape of a square. The arable land of the Township attracted farm-settlers and brought prosperity to the area. The southern half of Chinguacousy was incorporated into the municipality of Brampton in 1974 when it became a City.

In 1836, the Crown Patent all 100 acres of land, consisting of the west half of Lot 17, Concession 2 WHS. The subject land was first granted to Joseph Boyle. Boyle and his wife, Mary, sold the property within days to brothers John and James McCulloch and James Nicholl. In 1875, James Nicholl transferred the property to his youngest son, Charters Nicholl for \$4,000. One year later, Charters Nicholl as well as John and James McCulloch, who had remained signatories to the property, sold the 100-acres of land to Robert Hall for \$7,000.

No information has been found on the buildings and structures that may have been constructed on the 100 acres farm property between 1838 and 1850. In 1851, members of the Nicholl family are recorded as residing in a one-and-a-half storey log house on the property. The one-and-a-half limestone farmhouse is estimated to have been constructed in the mid-1870s, either during the occupancy of Charters Nicholl or Robert Hall.

Robert Hall was born in Scotland in 1838 and immigrated with his parents to the Chinguacousy Township in 1842. A life-long bachelor, Robert and his older sister Isabella farmed the 100 acres property, importing heavy horses and Ayrshire cattle from Scotland. In 1907, at age 69, Robert Hall sold the farm and retired with his sister Isabella to Cheltenham where he died in 1917. Robert Hall was active in local politics, serving as a Chinguacousy Township and Peel County Councillor. He was also deputy reeve of the Township and a justice of the peace.

When he retired in 1907, Robert Hall sold his farm to Thomas Pawley, who in turn sold all 100 acres to William James Taylor in 1920. Taylor raised registered Jersey cattle on the farm. The property remained in the Taylor family until 1969, when it was sold to the Monkman family. Neil and Lori Monkman, took possession in 1979 and maintain a mixed farming operation on the same piece of land that Joseph Boyle had patented 174 years earlier. TFP Mayching Developments Ltd. is the current owner of the property.

4. Statement of Cultural Heritage Value or Interest

Design/Physical Value:

The house at 11687 Chinguacousy Road has design and physical value as a representative example of a limestone house with a Georgian vernacular style. The Georgian period in Canadian architecture occurred between 1780 and 1860. By 1780, a significant number of emigrants moved from Great Britain to Canada, bringing the Georgian style of architecture during this period. The style is known for its balanced and symmetrical facades, muted ornament, simplicity, search for harmony and minimal detailing with proportions and elements based on the classical Greek and Roman architecture. Common features on Georgian houses include: symmetrical rectangular plans and massing rising to side gable or hipped roofs; symmetrical three bays or five bays front facades; chimney stacks near or at the end of the gable roof; repetition of identical rectangular sash windows on the front façade that are taller than they are larger; use of stone and wood or brick and wood; and modest use of neoclassical details.

The limestone Georgian house at 11687 Chinguacousy Road has been altered with the construction of late twentieth-century additions on its west and east facades. A one-storey brick addition was added to the west elevation of the house in 1979. Later, in 1991, a two-storey Pseudo-Gothic addition was added to east elevation of the limestone house. The property's design and physical value are not found within the 1979 and 1991 additions.

The north and south elevations of the limestone house are both divided into three bays consisting of a central doorway bay with flanking bays of rectangular windows. These windows are crowned with dressed stone lintels and are resting on large stone sills. Other significant physical features found on the exterior of the house include the limestone walls, side gable roof and saltbox form. The thickness of the stonewalls can be observed from the interior of the house.

The house represents, for the City of Brampton and local community, a rare and unique example of its vernacular Georgian style with the exemplification of high-quality craftsmanship in its original interior detailing, and in the carefully coursed and positioned rough-stone masonry exterior walls. The design and physical value is displayed in the original limestone portion of the house. This house is one of the only few remaining stone houses in the City of Brampton, and must therefore, be conserved. The property is also of cultural heritage value because of its rural character and its natural landscape.

Historical/Associative Value:

The property is valued for its associations with the agricultural activity in the former Township of Chinguacousy. The property is deeply rooted in the farming and agricultural activity. The direct associations with pioneer farming as well as the agricultural development and prosperity of the area are manifested through the continuous use of the 100 acres of land by farming families and activities from the middle of the 19th century through the beginning of the 21st century.

The farming and agricultural activities have contributed to the growth and development of the former Township of Chinguacousy. Being one of the few remaining properties within the area that has maintained its associations with its agricultural past, the property of the Robert Hall House contributes to the understanding of the agricultural history within the former Township of Chinguacousy.

The property is also valued for its direct associations with Robert Hall who occupied the property from 1876 to 1907. Robert Hall was a prominent regional figure according to notes gathered in the Perkins Bull Collection. He was a justice of the peace and served as deputy reeve of Chinguacousy Township and as a Peel County councillor.

The farm limestone house yields or has the potential to yield information that contributes to the understanding nineteenth-century rural life in Chinguacousy Township as well as the Township's development and progression of farming wealth. There are few remaining nineteenth-century farmhouse in the area, likely due to their being replaced by more substantial residences as farming thrived later in the nineteenth-century and at the turn of the century. As a result, mostly remaining in the area are larger, grand houses built in the late nineteenth and early twentieth centuries, which clearly demonstrate the prosperity of that later time. The subject farmhouse and farm property at 11687 Chinguacousy Road represents what might have been a typical rural family home for the area, in earlier and more modest times during the nineteenth-century.

Contextual Value:

Contextually, the Robert Hall House is valued for its contribution to the character of the area. The limestone residence is one of the few distinctive building within the area that is valued for supporting and defining the historical character of the agricultural past of Chinguacousy Township. The property reflects the area's early farm settlements and continued agricultural activity.

The setting, orientation and setback of the farmhouse from Chinguacousy Road is linking the property to its surrounding context defined by the long lasting farming activity of the land and the agricultural history of Chinguacousy Township. Despite the later additions to the house, the property speaks to and support the rural heritage of Brampton. The house has continually been the centre of the same working farm for the past 174 years. Surrounded by its original farm, historical farming activities and link to Chinguacousy Road, the property and Robert Hall House are historically, physically, functionally and visually linked to its surroundings.

5. Description of Heritage Attributes/Character Defining Elements

The heritage attributes comprise all façades, architectural detailing, construction materials and associated building techniques, as well as significant landscape elements and important vistas. The detailed heritage attributes/character defining elements of the property include, but are not limited to:

- The one-and-a-half storey limestone building (Robert Hall House)
- The visual link between the property and Chinguacousy Road
- The association of the property with the agricultural and farming history within the former Township of Chinguacousy
- The associations of the property with Robert Hall

The heritage attributes of the one-and-a-half storey limestone building (Robert Hall House) are:

- The Georgian style of the building
- The orientation of the building
- The height, scale, form and massing of the circa 1870s portions of the building
- The rectangular plan of the limestone house rising to a side gable roof
- The design and proportions of the gable roof
- The opposite exterior elevations divided into three bays with a symmetrical composition consisting of a central entrance bay and flanking bays of windows
- The course limestone masonry
- The placement, location and proportion of the rectangular window and door openings throughout the exterior of the limestone structure
- The stone lintels and sills
- The saltbox form and roofline
- The brick quoins

The heritage attributes of the property are not found on the 1979 one-storey brick addition to the west elevation of the house and the 1991 two-storey addition to the east elevation of the house.

6. Evaluation Summary for 11678 Chinguacousy Road

The following evaluation is based on the Statement of Cultural Heritage Value or Interest found on this Heritage Report and applies *Ontario Regulation 9/06* made under the *Ontario Heritage Act* titled: *Criteria for Determining Heritage Value or Interest*

Criteria for Determining Cultural Heritage Value or Interest	Is the criteria met (Yes or No)?
The property has design value or physical value because it:	
i. is a rare, unique, representative of early example of a style, type, expression, material or construction method	Yes
ii. displays high degree of craftsmanship or artistic merit	Yes
iii. demonstrate high degree of scientific or technical achievement	No
The property has historical value or associative value because it:	
i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community	Yes
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture	Yes
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	No
The property has contextual value because it:	
i. is important in defining, maintaining or supporting the character of an area	Yes
ii. is physically, functionally, visually or historically linked to its surroundings	Yes

ii. is a landmark	No
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7. Policy Framework

In the context of land use planning, the Province of Ontario has declared that the wise use and management of Ontario's cultural heritage resources is a key provincial interest.

The *Planning Act* guides development in the Province of Ontario and states that municipalities must have regard for matters of provincial interest. The conservation of features of significant architectural, cultural, historical, archaeological or scientific interest is identified under paragraph 2(d) or the *Act* as a matter of provincial interest.

The Provincial Policy Statement (2020) is issued under the authority of section 3 of the *Planning Act*. The *Planning Act* requires that all decisions affecting land use planning be consistent with the Provincial Policy Statement. Policy 2.6.1 of the Provincial Policy Statement directs that: "*Significant built heritage resources and significant cultural heritage landscapes shall be conserved.*"

The Policy Framework is also integrated with the *Ontario Heritage Act*. This piece of legislation grants municipalities powers to preserve locally significant cultural heritage resources through heritage designation. Decisions as to whether a property should be designated heritage or not is based solely on its inherent cultural heritage value or interest.

City Council prefers to designate heritage properties with the support of property owners. However, Council will designate a property proactively, without the concurrence of a property owner as required. The Cultural Heritage Objectives and Policies in the City of Brampton Official Plan provide a policy framework that offers direction for the conservation of identified and unidentified heritage resources in the City. The following Official Plan objectives and policies are relevant in the context of this heritage report:

Section 4.10.1.3: All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the Ontario Heritage Act to help ensure effective protection and their continuing maintenance, conservation and restoration.

Section 4.10.1.6: The City will give immediate consideration to the designation of any heritage resource under the Ontario Heritage Act if that resource is threatened with demolition, significant alterations or other potentially adverse impacts.

The principles of good planning are also guided by recognized best practices in the field of heritage conservation.

9. Resources

Archival Sources

- Assessment Rolls for Lot 17, Concession 2, W.H.S.
- Land Registry Abstract for Lot 17, Concession 2, W.H.S.
- 1851, 1861, 1871, 1881, 1891, 1901 and 1911 Census Records

Secondary Sources

- Architects Rasch Eckler Associates Ltd. (AREA), *Robert Hall House*, Heritage Impact Assessment, 11687 Chinguacousy Road, Brampton, Ontario, Heritage Impact Assessment Report, Issued: February 2021
- Settlement History of Peel, Region of Peel report, January 1977
- Municipal Register of Cultural Heritage Resources, Listing Candidate Summary Report, 11687 Chinguacousy Road, November 2007
- The Buildings of Canada, A Guide to Pre-20th-Century Styles in Houses, Churches and other Structures, Parks Canada, 1974
- University of Toronto, Ontario Historical County Maps Project, Tremaine's map of the County of Peel, *Peel County Map of 1859*.
<https://maps.library.utoronto.ca/hgis/countymaps/peel/index.html>
- McGill University. (2001), *Historical Map of Peel County, Atlas of 1877*.
<https://digital.library.mcgill.ca/countyatlas/peel.htm>

10. Appendix

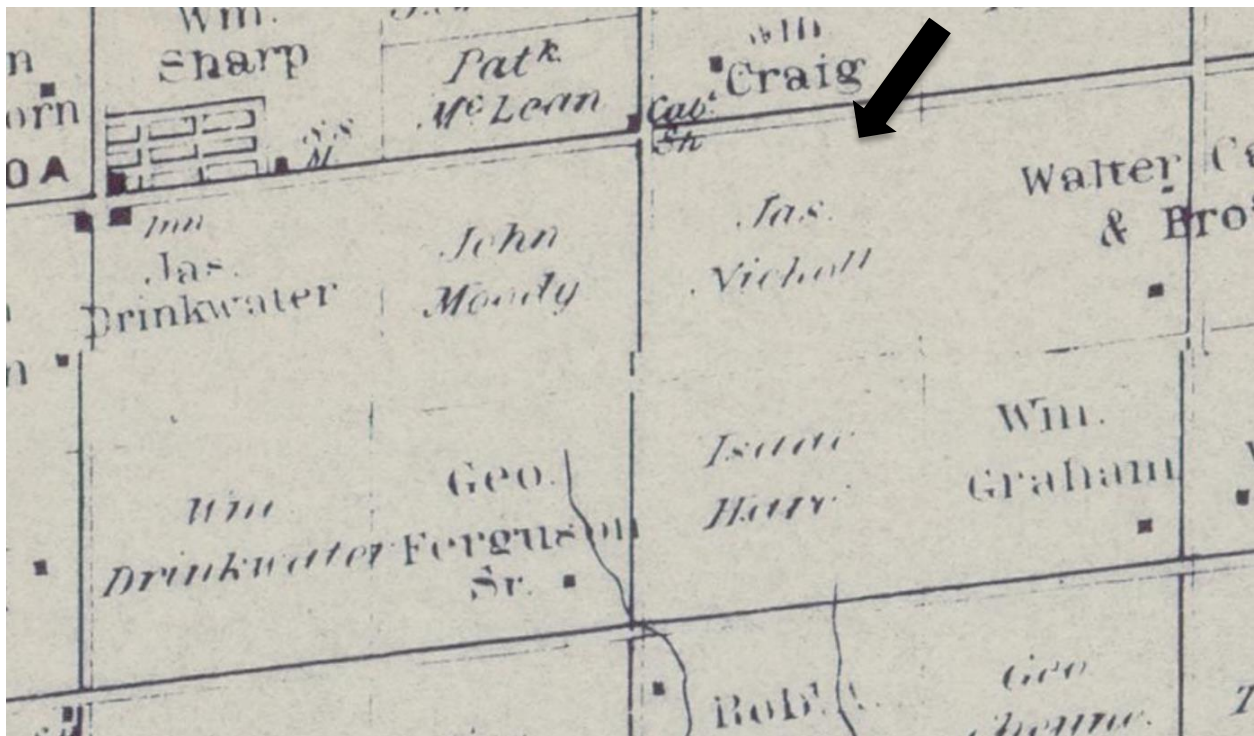


Figure 1: Historical Map of Tremaine's map of the County of Peel (1859), Southern Part of Chinguacousy Township. The black arrow shown on the map was added by staff to show the 100 acres lot at 11687 Chinguacousy Road (Source: University of Toronto)

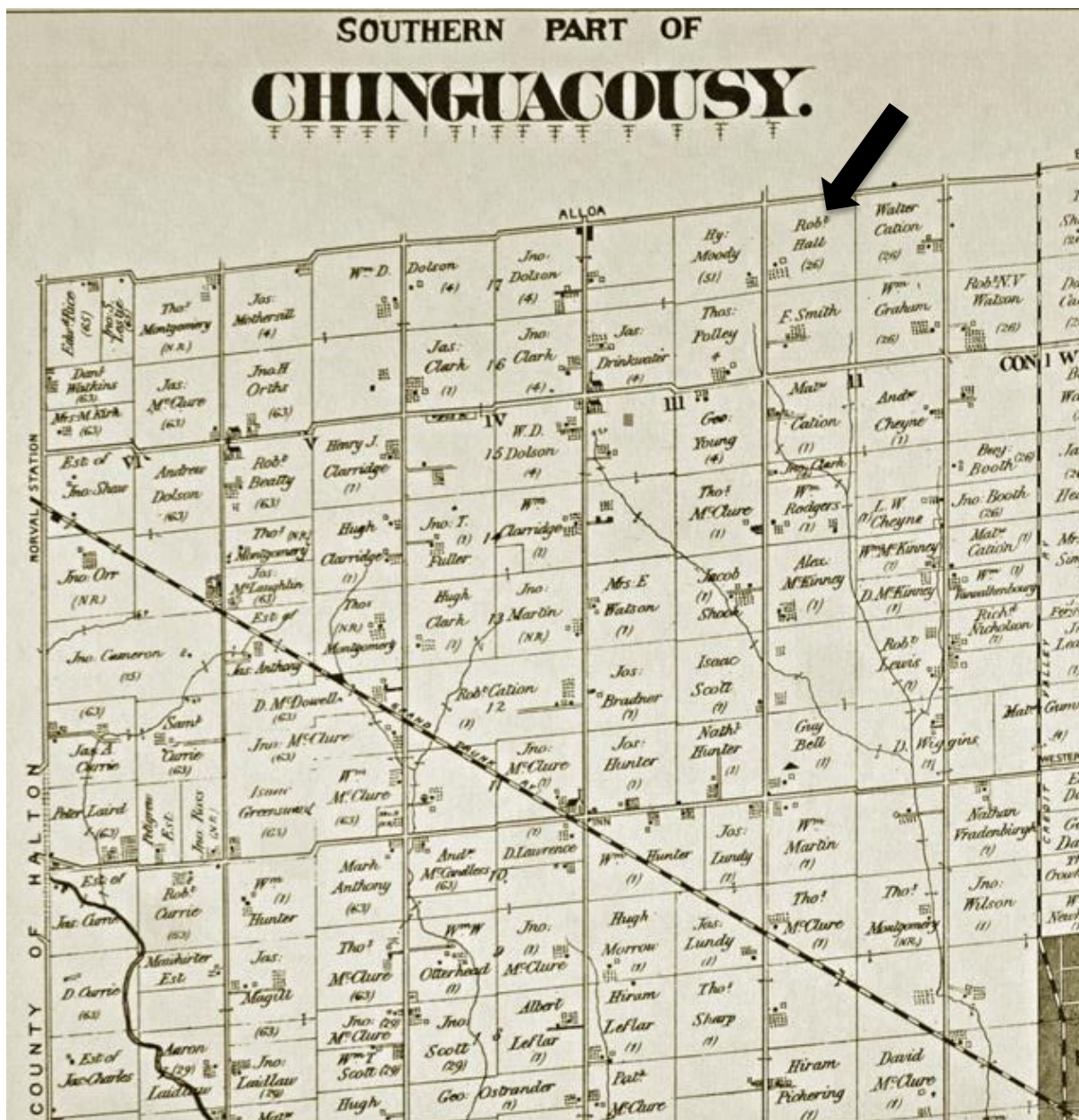


Figure 2: Historical Map of Peel County, Atlas of 1877, Southern Part of Chinguacousy Township. The black arrow shown on the map was added by staff to show the 100 acres lot at 11687 Chinguacousy Road (Source: McGill University, 2001)



Figure 3: Aerial photograph and location map showing the historic boundaries of the 100 acres lot at 11687 Chinguacousy Road. This aerial photograph is for information purposes only and is oriented with the North arrow at the top. The exact boundaries of the property are not shown. The orange lines mark the location and configuration of the 100 acres lot. (Source: City of Brampton, aerial photograph, spring 2004)



Figure 4: Photograph showing east and north elevations of the Robert Hall House, 11687 Chinguacousy Road, c. 1969. (Source: *Architects Rasch Eckler Associates Ltd.*)



Figure 5: Photograph showing east and south elevations of the Robert Hall House, 11687 Chinguacousy Road, c. 1984. (Source: *Architects Rasch Eckler Associates Ltd.*)



Figure 6: Photograph showing south elevation of the Robert Hall House with the late twentieth-century side additions, 11687 Chinguacousy Road, December 2009. (Source: *Architects Rasch Eckler Associates Ltd.*)



Figure 7: Photograph looking northeast showing the side (east) elevation of the Robert Hall House, 11687 Chinguacousy Road, April 21, 2021. (Source: City of Brampton)

**Thematic Plan:
Proposed Relocation of the Robert Hall House**



**11678 Chinguacousy Road
(Robert Hall House)**

May 11, 2021

Thematic Plan

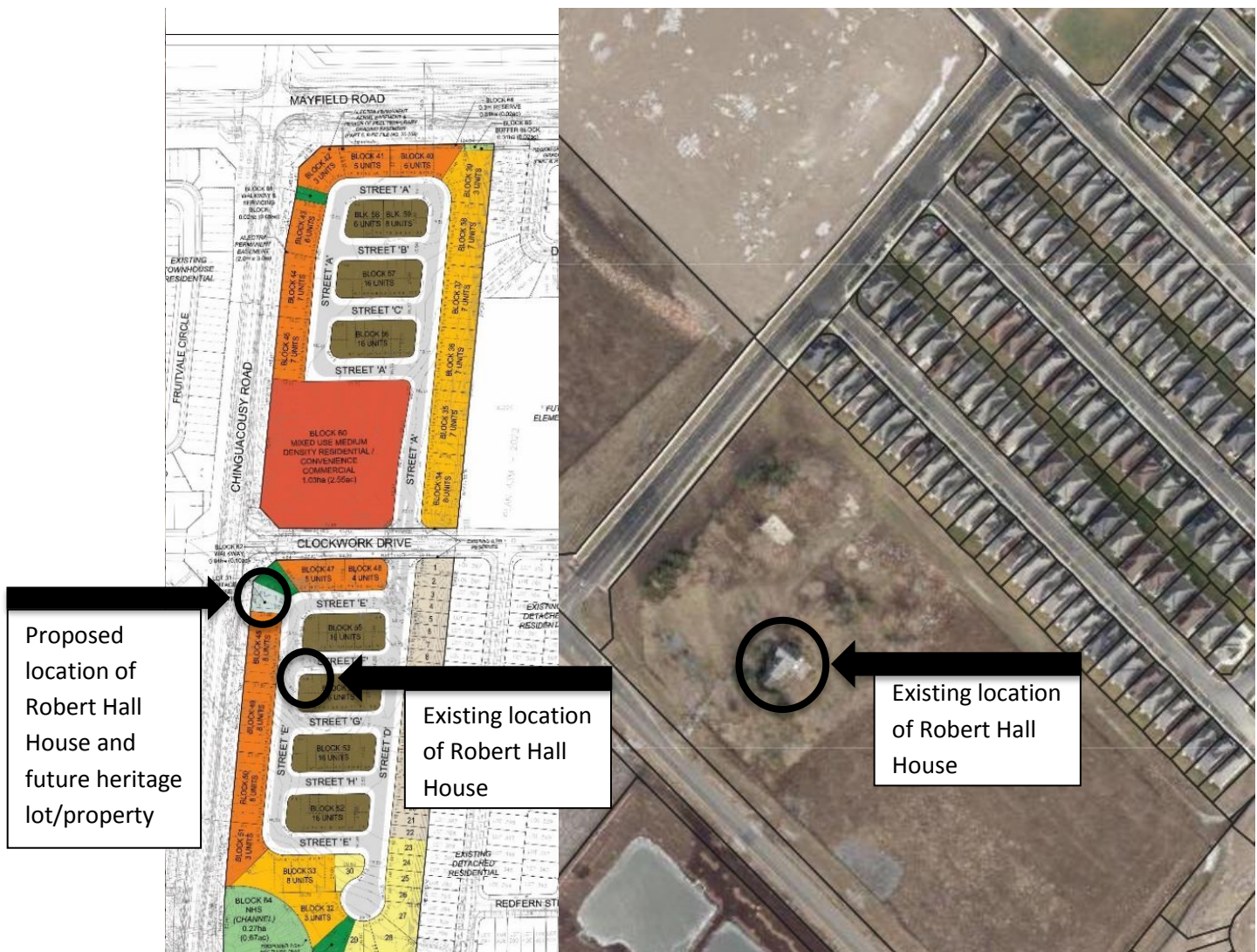


Figure 8: Plan and Aerial photograph illustrated proposed relocation of the Robert Hall House, 11687 Chinguacousy Road. (Source: GSAI and City of Brampton). At the time of the completion and issuance of this heritage report (Reasons for Heritage Designation), there has been no decision made on the proposed subdivision of the property and the proposed relocation of the Robert Hall House.

Date: 2021-04-29

Subject: Extension of Heritage Permit No. 70 issued on March 20, 2019 for 11651 Bramalea Rd.

Contact: **Harsh Padhya, Heritage Planner; City Planning & Design**
Harsh.Padhya@brampton.ca

Report Number: Planning, Bld & Ec Dev-2021-560

Recommendations:

1. That the report titled: Extension of Heritage Permit No. 70 issued on March 20, 2019 for 11651 Bramalea Rd. to the Brampton Heritage Board meeting of May 18, 2021, be received;
2. That the Heritage Permit application, previously approved, for the Conservation Work at 11651 Bramalea Rd. be extended and approved subject to the following terms and conditions:
 - a. That the owner undertake all work substantially in accordance with the previously approved permit and in compliance with all applicable laws having jurisdiction and by retaining all necessary permits; and,
 - b. That prior to the release of financial securities associated with the site plan application SP18-056.000 for 11651 Bramalea Rd., the owner provide a letter, prepared and signed by a qualified heritage expert, certifying that all works as outlined in the approved Heritage Conservation Plan have been completed, and that an appropriate standard of conservation has been maintained, all to the satisfaction of the Director of City Planning & Design, Planning, Building & Economic Development Department.

Overview:

- The property at 11651 Bramalea Rd. is designated under Part IV of the Ontario Heritage Act (the “Act”).
- In accordance with Section 33 of the Ontario Heritage Act, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.
- A Heritage Permit application for 11651 Bramalea Rd. was approved by the Council pursuant to resolution C033-2019 and issued on March 20, 2019.
- The permit expired on March 20, 2021 and hence the owners have requested for an extension of the permit for a period of one more year.
- The property is associated with an approved site plan application (SP09-010.001).
- This report recommends the extension of the Heritage Permit for 11651 Bramalea Rd. subject to terms and conditions mentioned in Heritage Permit No. 70.

Background:

The property at 11651 Bramalea Road (the “Property”) is located on the east side of Bramalea Road, south of Mayfield Road and contains the Archdekin-Giffen Farmhouse (the “Farmhouse”). The Property is designated under Part IV of the *Ontario Heritage Act* (the “Act”) as a property of cultural heritage value or interest.

In 2018, a zoning by-law amendment application was submitted for the subject property for the development of a six storey apartment building. A Heritage Impact Assessment (the “HIA”) was submitted as part of the application. The HIA concluded that the Property met the criteria for designation under Part IV of the *Act* and recommended the relocation of the Farmhouse to another site on the Property. The HIA, its associated recommendations, and the additional recommendations put forward by staff, were approved in accordance with Council resolution HB034-2018/C108-2018.

The applicant subsequently submitted a Heritage Building Protection Plan (the “HBPP”) and Heritage Conservation Plan (the “HCP”) combined in a single document. This document outlined the strategy for the partial demolition of the front verandah, chimney, and cement outbuildings; relocation of the Farmhouse; and repair and restoration of the Farmhouse. The HBPP and HCP were approved in accordance with resolutions HB066-

2018/PDC107-2018/C249-2018. The associated zoning by-law amendment application was approved in the Fall of 2018. A site plan application for the construction of a six storey apartment building, underground parking garage, and relocation of the Archdekin-Giffen Farmhouse was also approved.

In accordance with Section 33 of the *Act*, alterations to a property that is designated or has been issued a Notice of Intention to Designate that are likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.

Current Situation:

The project was expected to be fully completed by Fall 2020 but because of the limitation and restrictions imposed during COVID-19, the Brampton Bramalea Christian Fellowship Residences Ltd. was not able to finish the work within the period of 2 years of approved heritage permit. The permit expired on March 20, 2021 and hence the owners have requested for an extension of the permit for a period of one more year.

The heritage house is relocated to the new foundation. Restoration work has already began; construction of barrier free access way is completed. Previously the approved Heritage Building Protection Plan (HBPP)/ Heritage Conservation Plan (HCP) were included as a part of Heritage Permit application and the conservation works associated with the Farmhouse.

Corporate Implications:

Financial Implications:

None.

Other Implications:

None.

Term of Council Priorities:

This report meets the Term of Council Priorities by building on Brampton's commitment to sustainability by adaptively re-using existing building stock and contributing to sustainable growth.

Conclusion:

Archdekin-Giffen Farmhouse is relocated to the new foundation and restoration work has already began. A Heritage Permit for 11651 Bramalea Rd. was issued on March 20, 2019 expiring at the end of 2 years. The permit expired on March 20, 2021 and hence the owners have requested for an extension of the permit for a period of one more year to complete the remaining restoration work on the house.

Authored by:

Reviewed by:

Harsh Padhya
Heritage Planner

Michael Seaman, MCIP, RPP, CAHP, MEDS
Principal Planner/Supervisor of Heritage

Reviewed by:

Reviewed by:

Jeffrey Humble
Manager, Land Use Policy

Bob Bjerke, MCIP, RPP
Director, Policy Planning

Approved by:

Submitted by:

Richard Forward, MBA, MSc. P.Eng.,
Commissioner, Planning and
Development Services

David Barrick
Chief Administrative Officer

Attachments:

Appendix A – Heritage Permit No. 70
Appendix B – Heritage Hermit Application Approval
Appendix C – Designation Report – 11651 Bramalea Rd.
Appendix D – Request letter from owner for Heritage Permit extension

Report authored by:

Harsh Padhya, Heritage Planner
City Planning & Design
City of Brampton

MUNICIPAL ADDRESS:

11651 Bramalea Road

PROPERTY OWNER:

Brampton Bramalea Christian Fellowship Residences Ltd.

APPLICANTS NAME (if different from owner):

N/A

PROJECT DESCRIPTION:

Demolition of the enclosed porch, east wall chimney stack, original foundation, concrete porch landings, concrete-block garage and frame shed; relocation and restoration of the Archdekin-Giffen Farmhouse; construction of a barrier free access way; and construction of an enclosed entrance to the underground parking garage.

CONDITIONS:

- a. That the electrical transformer be relocated to another part of the property away from the front façade of the Archdekin-Giffen Farmhouse to the satisfaction of Heritage staff;
- b. That the cement porch slabs and steps be stained to have the appearance of wood, and that the applicant submit the specifications for the porches to City of Brampton Heritage staff for approval prior to the issuance of the Heritage Permit;
- c. That a note be added on the drawings indicating that the accessibility ramp will be constructed of wood and that the final drawings and specifications for the ramp be submitted to and approved by City of Brampton Heritage staff and City of Brampton Accessibility staff prior to the issuance of the Heritage Permit;
- d. That the accessible entrance sign be installed on the interior, and not the exterior of the Archdekin-Giffen Farmhouse.
- e. That the rubble stone from the original foundation be reused to the greatest extent possible to face the new above ground foundation of the Farmhouse, to the satisfaction of Heritage staff;
- f. That any rubble stone not used for this purpose be stored in a secure place on the property for future use and incorporation into other landscaping initiatives;
- g. That prior to the issuance of the Heritage Permit, the final revised drawings reflecting the above conditions a-f be submitted for review and approval Heritage staff at the City of Brampton;
- h. That prior to the issuance of the Heritage Permit, the proposal be cleared by Zoning Services;
- i. That prior to the issuance of the Building Permit the owner enter into a Heritage Easement Agreement with the City for the Archdekin-Giffen Farmhouse located at 11651 Bramalea Road, to the satisfaction of the Commissioner of Planning and Development Services at the City of Brampton;
- j. That as a condition of Site Plan approval, the applicant shall provide financial securities as specified in the approved Heritage Conservation Plan plus an additional 30% contingency in a form and amount satisfactory to the Commissioner of Planning and Development Services to secure all work included in the Heritage

Building Protection Plan and Heritage Conservation Plan, dated August 13, 2018, prepared by the Team Assembled by George Robb Architect;

k. That the owner undertake all work in accordance with the approved Heritage Building Protection Plan and Heritage Conservation Plan, with special regard for the Outline Specifications in the Heritage Conservation Plan, in compliance with all applicable laws having jurisdiction and by retaining all necessary permits to the satisfaction of the Director of Policy Planning, Planning and Development Services at the City of Brampton;

l. The applicant shall provide letters to the Director of Policy Planning after the initial and final relocation of the Archdekin-Giffen Farmhouse from a heritage expert (that has been previously approved by the Director of Policy Planning) certifying that the Archdekin-Giffen Farmhouse has been relocated in accordance with the Heritage Conservation Plan and that:

- i. The initial and final relocation did not result in loss or damage to heritage attributes of the Archdekin-Giffen Farmhouse; or,
- ii. The initial and final relocation did result in loss or damage to the heritage attributes of the Archdekin-Giffen Farmhouse and restorative work has been completed in accordance with the approved Heritage Conservation Plan.

m. That as a condition of Site Plan approval, the owner undertake all work in accordance with the heritage permit and the conditions herein, in compliance with all applicable laws having jurisdiction and by retaining all necessary permits, within a period of two years from the issuance of the heritage permit, following the timeline in the approved Heritage Building Protection Plan and Heritage Conservation Plan;

n. That prior to the release of financial securities, the owner provide a letter, prepared and signed by a qualified heritage expert, certifying that all works as outlined in the approved Heritage Conservation Plan have been completed, and that an appropriate standard of conservation has been maintained, all to the satisfaction of the Director of Policy Planning, Planning and Development Services; and,

o. That if there is any deviation from or increase to the scope of the Heritage permit application not deemed to be minor by Heritage staff, that these works be addressed in a subsequent heritage permit application.

This Heritage Permit is issued in accordance with Brampton City Council Resolution C033-2019 (HB004-2019) as approved by City Council on February 6, 2019.



Cassandra Jasinski, Heritage Planner
Date of Issuance: March 20, 2019

NOTE: This Heritage Permit expires two years from the date of issuance.

PLEASE POST IN A LOCATION THAT IS VISIBLE FROM THE PUBLIC DOMAIN (e.g. front window or door)



Brampton Bramalea Christian Fellowship Residences, Ltd.

11613 Bramalea Rd. N.,
Brampton, ON L6R 0C2

email: rneilson@bcfchurch.net

Phone: 647-297-5072

April 26, 2021

Harsh Padhya
Heritage Planner
City Planning & Design
City of Brampton

Dear Harsh,

Thank you for the very good advice and service that you have given to us in our restoration work on the Archdekin-Giffen Farmhouse.

Unfortunately, due to the ongoing Covid pandemic, the work is taking much longer than anticipated. We have experienced significant shutdowns by our contractors due to the Provincial shutdowns. Consequently, I am requesting a one-year extension to our heritage permit.

At present, we have completed installing a new roof and porches, as well completed the rough-in plumbing, HVAC and electrical upgrades. Once our contractor is able to consistently work, it should take less than three months to complete this heritage project.

I would like to point out that we have experienced many unexpected costs associated with the moving of the heritage house, as well as the initial restoration work. However, we remain fully committed to complete the restoration work and renovations so that the Archdekin-Giffen Farmhouse will be a valuable heritage asset in our community while providing long-term use as the offices of Bramalea Christian Fellowship church and as additional amenity space for the associated affordable housing building.

Thank you for your consideration of our request.

Sincerely,

Dr. Randy Neilson

Heritage Report: Reasons for Heritage Designation



11651 Bramalea Road

August 2018

Profile of Subject Property

Municipal Address	11651 Bramalea Road
PIN Number	142220300
Legal Description	CHINGUACOUSY CON 5 EHS PT LOT 17 RP 43R10944 PT PART 1 RP 43R35113 PART 5 AND 6
Ward Number	9
Property Name	Archdekin-Giffen Farmhouse
Current Owner	Brampton Bramalea Christian Fellowship Church Inc.
Owner Concurrence	Yes
Current Zoning	Agricultural
Current Use(s)	N/A
Construction Date	1861-1877
Notable Owners or Occupants	Archdekin family, Giffen family
Heritage Resources on Subject Property	Building
Relevant Council Resolutions	HB034-2018/C108-2018
Additional Information	N/A

1. Introduction

The property at 11651 Bramalea Road is worthy of designation under Part IV of the *Ontario Heritage Act* for its cultural heritage value or interest. The property meets the criteria for designation prescribed by the Province of Ontario under the *Ontario Heritage Act*, Regulation 9/06 for the categories of design/physical value, historical/associative value and contextual value.

2. Description of Property

The heritage designation applies to all four building elevations of the farmhouse and to the yards around it, as shall be further delineated in a Schedule to the designating by-law. The farmhouse's interior is not protected through the designation.

3. Statement of Cultural Heritage Value or Interest

Design/Physical Value:

The Archdekin-Giffen Farmhouse at 11651 Bramalea Road exhibits design or physical value as a representative example of vernacular farmhouses built in Peel County during the third quarter of the 19th century. Vernacular buildings were built using local materials and methods and were often local variations of known architectural styles. In Peel County, many of these vernacular buildings were red brick, owing to the clay rich soil in the area.

Built sometime after 1861 and before 1877, the farmhouse exhibits a plan incorporating a front part and a back wing, an essentially symmetrical Neoclassical form, a central pediment influenced by the Gothic Revival and Italianate styles, and walls of dichromatic brick where red is in the body and white is for the accent trim. The white (buff-coloured) brick trim against the red brick body makes a bold pattern of crosses in the stringcourse across the front facade and in the corners of walls where a pattern resembling quoins is found. The farmhouse's one-and-a-half storey height is also typical of the time period. Once seen on a number of farms in Peel County, the building type has become increasingly rare due to loss from urbanization and changes in farming practice.

The Archdekin-Giffen Farmhouse also displays a high degree of craftsmanship or artistic merit as exhibited by the brickwork of the building. The walls of the Farmhouse are of dichromatic brick, where red is used in the body and white is used for the accent trim. The white (buff-coloured) brick trim against the red brick body makes a bold

pattern of crosses in the stringcourse across the front façade and in the corners of the walls where a pattern resembling quoins is found.

Historical/Associative Value:

The Archdekin-Giffen Farmhouse has historical/associative value, as it is associated with two early farming families who pioneered to Chinguacousy Township in the early 19th century. In 1826, eight years after the Mississague Nation surrendered the interior of the Mississague Tract to the British government, the family of Peter Archdeacon (later spelt Archdeakin and, finally, Archdekin), Sr. settled on the land. Following a default on a mortgage, the Archdekin homestead was sold to William Giffen in 1865. William Giffen had settled on a farm a few lots down on Fourth Line East (Bramalea Road) and may have purchased the farm for his son, John Giffen, who was married in 1865. John Giffen was an assessor for the East Half of Chinguacousy in the late 19th century and chariman of the school board for nine years.

The Archdekin-Giffen farmhouse could have been built by either family. The Giffens farmed the land until 1918 when they sold the farm to James Archdekin, returning it to a branch of the Archdekin family. The Archdekins are also closely associated with another farmhouse to the northwest at 4585 Mayfield Road. Both families remained associated with Brampton agricultural community well into the 20th century.

Contextual Value:

The Archdekin-Giffen Farmhouse exhibits contextual value, as it reflects the early agricultural history of Chinguacousy Township. It is the last surviving cultural heritage resource built in the 19th century extant along Bramalea Road and is important in representing Brampton's agricultural past. It is historically linked to Bramalea Road and the Farmhouse's front elevation has maintained its historic relationship with Bramalea Road.

4. Description of Heritage Attributes/Character Defining Elements

The heritage attributes comprise all façades, architectural detailing, construction materials and associated building techniques. The detailed heritage attributes/character defining elements include:

- The Farmhouse's one-and-a-half storey height which is capped by medium-pitched cross-gable roofs;

- A house plan incorporating a front section and back wing, whose footprint is set back from the front section;
- Essentially symmetrical fenestration across the three-bay front façade and the front section's two-bay gable ends;
- Central pediment in the front façade, containing a round-arched window;
- Distribution of doors and windows in the back wing;
- Brick construction with an outermost wall of dichromatic brick;
- Buff brick accent trims;
- Pattern of crosses in the stringcourse across the front façade;
- Wood cornice and eaves, and substantial eave returns on the gable ends;
- Stone window sills, stone sill below the front door, and stone cellar window lintels;
- Cellar window well with the date of Aug. 1st 1930 inscribed in the concrete;
- Rubble stone of the original foundation walls;

5. Policy Framework

In the context of land use planning, the Province of Ontario has declared that the wise use and management of Ontario's cultural heritage resources is a key provincial interest.

A set of Provincial Policy Statements (PPS) provides planning policy direction on matters of provincial interest in Ontario. These statements set the policy framework for regulating the development and use of land. The relevant heritage policy statement is PPS 2.6.1, which states that "significant built heritage resources and significant cultural heritage landscapes shall be conserved". PPS 2.6.1 is tied to Section 3 of the *Ontario Planning Act*, which stipulates that land use planning decisions by municipalities "shall be consistent with" the Provincial Policy Statements.

The policy is also integrated with the Ontario Heritage Act. This piece of legislation grants municipalities powers to preserve locally significant cultural heritage resources through heritage designation. Decisions as to whether a property should be designated heritage or not is based solely on its inherent cultural heritage value or interest.

City Council prefers to designate heritage properties with the support of property owners. However, Council will designate a property proactively, without the concurrence of a property owner as required. These principles are reflected in Brampton's Official Plan. The relevant policies are as follows:

Section 4.10.1.3: All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the Ontario Heritage Act to help ensure effective protection and their continuing maintenance, conservation and restoration.

Section 4.10.1.5: Priority will be given to designating all heritage cemeteries and all Class A heritage resources in the Cultural Heritage Resources Register under the Ontario Heritage Act.

Section 4.10.1.6: The City will give immediate consideration to the designation of any heritage resource under the Ontario Heritage Act if that resource is threatened with demolition, significant alterations or other potentially adverse impacts.

In 2015, the City Council adopted a new Strategic Plan to guide the evolution, growth and development of the city. Heritage preservation is one of the goals of this new Strategic Plan. In 2017, City Council endorsed the Planning Vision.

These principles are also guided by recognized best practices in the field of heritage conservation.

6. Resources

Dilse, Paul. (2018, March). *Heritage Impact Assessment of the Farmhouse at 11651 Bramalea Road, Brampton (Part of the Southwest Half of Lot 17 in Concession 5 East of Hurontario Street, Chinguacousy Township)*.

Pope, J. H. *Illustrated Historical Atlas of the County of Peel*. Toronto: Walker & Miles, 1877.

Team Assembled by George Robb Architect, which includes Francine Antoniou et al. (2018, August). *Plan for the Archdekin-Giffen Farmhouse, 11651 Bramalea Road, Brampton Including a Heritage Building Protection Plan, Letter of Undertaking to Facilitate Heritage Designation, Heritage Conservation Plan and Heritage Interpretive Plaque*.

Tremaine, George M. (1859). *Tremaine's Map of the County of Peel, Canada West*.

7. Appendix



Figure 1: Aerial map showing 11651 Bramalea Road (Source: City of Brampton).

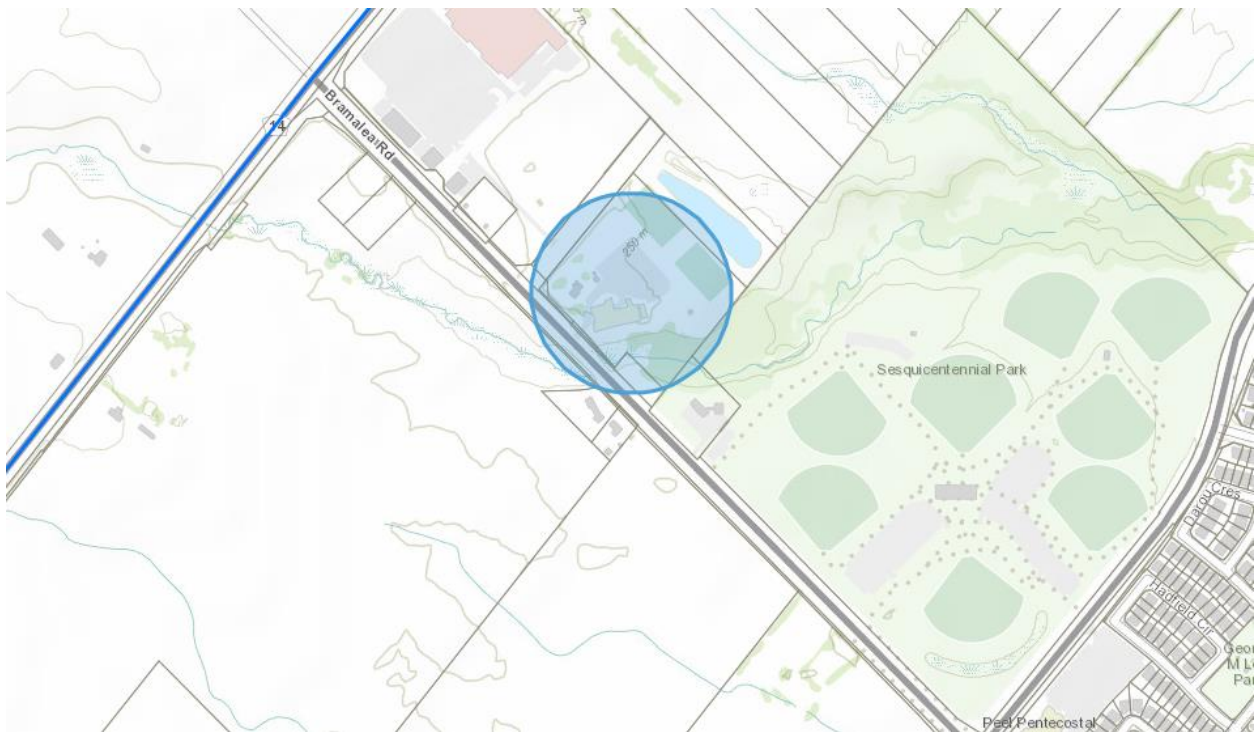


Figure 2: Map showing 11651 Bramalea Road (circled) (Source: City of Brampton).



Figure 3: Detail from George R. Tremaine, Tremaine's Map of the County of Peel, Canada West. The subject property is circled in red (Source: Tremaine, George M.).

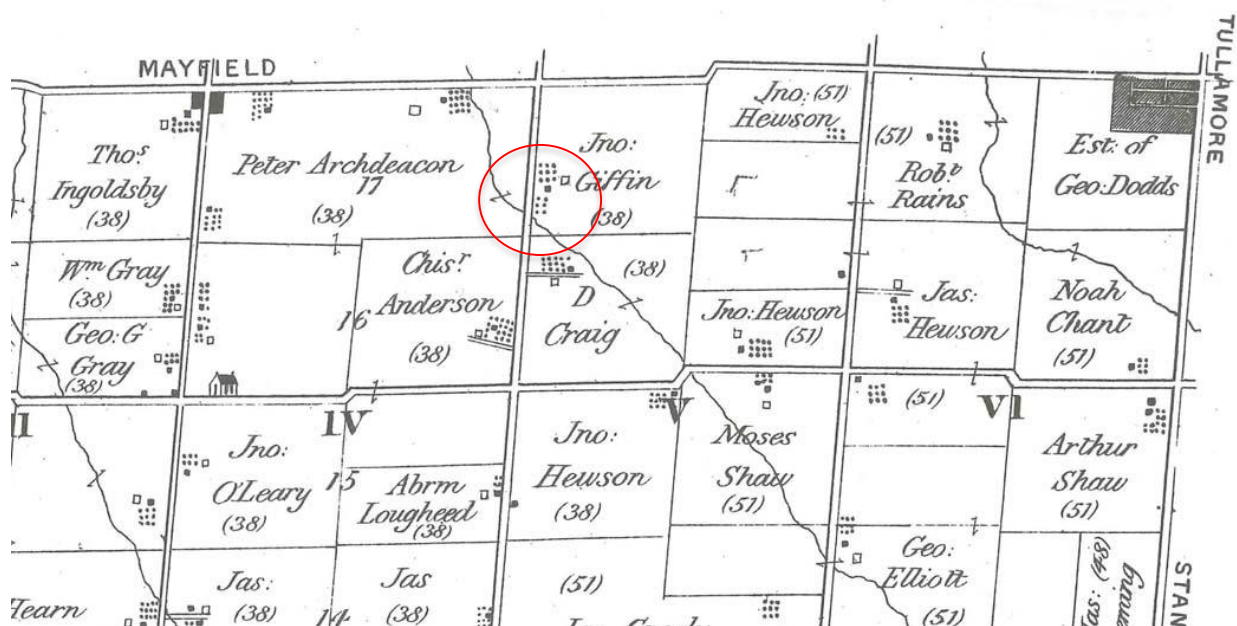


Figure 3: Detail from J.H. Pope, "Southern Part of Chinguacousy," Illustrated Historical Atlas of the County of Peel, Ont. The subject property is circled in red. (J.H. Pope, 1877).



Figure 4: Image of the south façade of the Farmhouse exhibiting wood cornice, eaves, and eave returns; dichromatic brickwork and stringcourse; and fenestration of gable ends (Source: City of Brampton, 2018).



Figure 5: View of the front (west) façade and north façade of the Farmhouse, showing the front section and the rear wing. The dichromatic brickwork, central gable with arched window, and cross gable roof are visible (Source: City of Brampton, 2018).

February 26, 2019

Brampton Bramalea Christian Fellowship Residences Ltd.
c/o A. Mulder, LIV Communities
via e-mail: a mulder@livehere.ca

Re: Heritage Permit Application – 11651 Bramalea Road – Ward 9 (File H.Ex)

The following recommendation from the Brampton Heritage Board Meeting of January 15, 2019 was considered by Planning and Development Committee (Recommendation PDC016-2019) on January 28, 2019 and approved by the Council of The Corporation of the City of Brampton on February 6, 2019, pursuant to Council Resolution C033-2019:

- HB004-2019
1. That the report from Cassandra Jasinski, Heritage Planner, Planning and Development Services, dated January 2, 2019, to the Brampton Heritage Board Meeting of January 15, 2019, re: **Heritage Permit Application – 11651 Bramalea Road – Ward 9** (File H.Ex), be received;
 2. That the Heritage Permit application for 11651 Bramalea Road for the demolition of the enclosed porch, east wall chimney stack, original foundation, concrete porch landings, concrete-block garage and frame shed; relocation and restoration of the Archdekin-Giffen Farmhouse; construction of a barrier free access way; and construction of an enclosed entrance to the underground parking garage be approved, subject to the following conditions:
 - a. That the electrical transformer be relocated to another part of the property away from the front façade of the Archdekin-Giffen Farmhouse to the satisfaction of Heritage staff;
 - b. That the cement porch slabs and steps be stained to have the appearance of wood, and that the applicant submit the specifications for the porches to City of Brampton Heritage staff for approval prior to the issuance of the Heritage Permit;
 - c. That a note be added on the drawings indicating that the accessibility ramp will be constructed of wood and that the final drawings and specifications for the ramp be submitted to and approved by City of Brampton Heritage staff and City of Brampton Accessibility staff prior to the issuance of the Heritage Permit;

- d. That the accessible entrance sign be installed on the interior, and not the exterior of the Archdekin-Giffen Farmhouse.
- e. That the rubble stone from the original foundation be reused to the greatest extent possible to face the new above ground foundation of the Farmhouse, to the satisfaction of Heritage staff;
- f. That any rubble stone not used for this purpose be stored in a secure place on the property for future use and incorporation into other landscaping initiatives;
- g. That prior to the issuance of the Heritage Permit, the final revised drawings reflecting the above conditions a-f be submitted for review and approval Heritage staff at the City of Brampton;
- h. That prior to the issuance of the Heritage Permit, the proposal be cleared by Zoning Services;
- i. That prior to the issuance of the Building Permit the owner enter into a Heritage Easement Agreement with the City for the Archdekin-Giffen Farmhouse located at 11651 Bramalea Road, to the satisfaction of the Commissioner of Planning and Development Services at the City of Brampton;
- j. That as a condition of Site Plan approval, the applicant shall provide financial securities as specified in the approved Heritage Conservation Plan plus an additional 30% contingency in a form and amount satisfactory to the Commissioner of Planning and Development Services to secure all work included in the Heritage Building Protection Plan and Heritage Conservation Plan, dated August 13, 2018, prepared by the Team Assembled by George Robb Architect;
- k. That the owner undertake all work in accordance with the approved Heritage Building Protection Plan and Heritage Conservation Plan, with special regard for the Outline Specifications in the Heritage Conservation Plan, in compliance with all applicable laws having jurisdiction and by retaining all necessary permits to the satisfaction of the Director of Policy Planning, Planning and Development Services at the City of Brampton;
- l. The applicant shall provide letters to the Director of Policy Planning after the initial and final relocation of the Archdekin-Giffen Farmhouse from a heritage expert (that has been previously approved by the Director of Policy Planning) certifying that the Archdekin-Giffen Farmhouse has been relocated in accordance with the Heritage Conservation Plan and that:

- i. The initial and final relocation did not result in loss or damage to heritage attributes of the Archdekin-Giffen Farmhouse; or,
 - ii. The initial and final relocation did result in loss or damage to the heritage attributes of the Archdekin-Giffen Farmhouse and restorative work has been completed in accordance with the approved Heritage Conservation Plan.
- m. That as a condition of Site Plan approval, the owner undertake all work in accordance with the heritage permit and the conditions herein, in compliance with all applicable laws having jurisdiction and by retaining all necessary permits, within a period of two years from the issuance of the heritage permit, following the timeline in the approved Heritage Building Protection Plan and Heritage Conservation Plan;
 - n. That prior to the release of financial securities, the owner provide a letter, prepared and signed by a qualified heritage expert, certifying that all works as outlined in the approved Heritage Conservation Plan have been completed, and that an appropriate standard of conservation has been maintained, all to the satisfaction of the Director of Policy Planning, Planning and Development Services; and,
 - o. That if there is any deviation from or increase to the scope of the Heritage permit application not deemed to be minor by Heritage staff, that these works be addressed in a subsequent heritage permit application.

Yours truly,

Terri Brenton
 Legislative Coordinator, City Clerk's Office
 Tel: 905.874.2106 / Fax: 905.874.2119 / TTY: 905.874.2130
 e-mail: terri.brenton@brampton.ca
 (HB – 10.2)

cc: Planning and Development Services Department:
 P. Cooper, Manager, Land Use Policy
 P. Doucet, Heritage Planner
 C. Jasinski, Heritage Planner
 E. Smith, Assistant Heritage Planner

February 26, 2019

Brampton Bramalea Christian Fellowship Residences Ltd.
c/o A. Mulder, LIV Communities
via e-mail: a mulder@livehere.ca

Re: Heritage Easement Agreement – 11651 Bramalea Road – Ward 9 (File H.Ex)

The following recommendation from the Brampton Heritage Board Meeting of January 15, 2019 was considered by Planning and Development Committee (Recommendation PDC016-2019) on January 28, 2019 and approved by the Council of The Corporation of the City of Brampton on February 6, 2019, pursuant to Council Resolution C033-2019:

- HB005-2019
1. That the report from Cassandra Jasinski, Heritage Planner, Planning and Development Services, dated January 2, 2019, to the Brampton Heritage Board Meeting of January 15, 2019, re: **Heritage Easement Agreement – 11651 Bramalea Road – Ward 9** (File HE.x), be received;
 2. That a Heritage Easement Agreement for the property at 11651 Bramalea Road be endorsed; and,
 3. That the Commissioner of Planning and Development Services be authorized to sign a Heritage Easement Agreement for the Archdekin-Giffen Farmhouse at 11651 Bramalea Road as described in this report, with content satisfactory to the Director of Policy Planning in a form approved by the City Solicitor.

Yours truly,

Terri Brenton
Legislative Coordinator, City Clerk's Office
Tel: 905.874.2106 / Fax: 905.874.2119 / TTY: 905.874.2130
e-mail: terri.brenton@brampton.ca
(HB – 10.3)

cc: Planning and Development Services Department:
P. Cooper, Manager, Land Use Policy
P. Doucet, Heritage Planner
C. Jasinski, Heritage Planner
E. Smith, Assistant Heritage Planner

Date: 2021-05-05

Subject: **Heritage Permit Application and Designated Heritage Property Incentive Grant Application – 8 Wellington St W. – Ward 1**

Contact: **Harsh Padhya, Heritage Planner; City Planning & Design**
Harsh.Padhya@brampton.ca

Report Number: Planning, Bld & Ec Dev-2021-596

Recommendations:

1. That the report from Harsh Padhya, Heritage Planner; City Planning & Design, dated May 5, 2021 to the Brampton Heritage Board Meeting of May 18, 2021, **re: Heritage Permit Application and Designated Heritage Property Incentive Grant Application – 8 Wellington Street West – Ward 3 (HE.x 8 Wellington St W.),** be received;
2. That the Heritage Permit application for 8 Wellington St. W. for the restoration and repair of entrance feature and stairs, masonry cleaning and repointing, be approved;
3. That the Designated Heritage Property Incentive Grant application for the restoration and repair of entrance feature and stairs, masonry cleaning and repointing for 8 Wellington St. W. be approved, to a maximum of \$10,000.00, and;
4. The owner shall enter into a designated Heritage Property Incentive Grant Agreement with the City as provided in appendix C.

Overview:

- **In accordance with Section 33 of the *Ontario Heritage Act*, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.**

- **The City of Brampton offers the Designated Heritage Property Incentive Grant Program to facilitate the ongoing maintenance, preservation, and restoration of residential and commercial designated heritage resources.**
- **The owner of 8 Wellington St W. submitted both a Heritage Permit and a Designated Heritage Property Incentive Grant Program application for restoration and repair of entrance feature and stairs, masonry cleaning.**
- **This report recommends the approval of the Heritage Permit be subject to the conditions:**
 - **If any heritage attribute is damaged beyond repair, they will be replaced in kind.**
 - **Use of sympathetic techniques and materials for conservation work.**
- **This report recommends the approval of the Heritage Permit application and Designated Heritage Property Incentive Grant application.**
- **This report meets the Term of Council Priorities by building on Brampton's commitment to sustainability by adaptively re-using existing building stock and contributing to sustainable growth.**

Background:

Built in 1939 as the first "purpose built" apartment complex in the City of Brampton, the Park Royal Apartment building is an extremely rare example of the streamlined Art Moderne style, a major architectural design variant stemming from the Art Deco period. The Park Royal is essentially a "one of a kind" in Brampton in terms of the Art Deco/ Moderne style being applied to an apartment building.

The building design features several evocative Art Moderne elements including: a rectangular plan with distinctive rounded buff brick walls on all four sides, a flat uninterrupted roof without any cornice details, smooth curving surfaces and horizontal fenestration. The Park Royal is among the most important early modern buildings in Peel Region.

The Park Royal Apartment is historically associated with several prominent individuals. The apartment was built for Dr. Robert James Hiscox. Hiscox was the owner and publisher of the Peel Gazette, an influential weekly newspaper in Peel County. The architect was Robert W. Hall, a respected architect in Peel County prior to the Second World War. The building is an excellent example of the construction work of Harry Herrgaarden, Sr. one of Brampton's most important 20th century building contractors.

Applied Art Deco lettering (presumably metal) over main entrance was removed in early 2000. The letters identified the building as "Park Royal". This most unfortunate loss can

be mitigated if the original letters happen to have been retained in storage and if the owner agrees to reinstall them. If the letters were disposed of, a small-scale restoration program would be appropriate. Efforts should be made to reinstallation this key character-defining feature. The loss of the original light fixtures on either side of the main entrance can also be reinstalled through a similar process.

In accordance with Section 33 of the Ontario Heritage Act, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.

The City of Brampton's Designated Heritage Property Incentive Grant Program offers matching grant funds of up to \$10,000 for eligible conservation work to owners of properties designated under Part IV or V of the *Ontario Heritage Act*. The program is designed to facilitate the ongoing maintenance, preservation, and restoration of residential and commercial designated heritage resources.

Current Situation:

The owner of 8 Wellington St. W. submitted both a Heritage Permit and a Designated Heritage Property Incentive Grant Program application for the restoration and repair of entrance feature and stairs, masonry cleaning and repointing.

The existing stucco on the entrance is spalling off and needs to be replaced with matching textured material. Remove spalled or cracked areas of concrete on front stairs. The owners also requested to remove and replace mortar in cracked, spalled or missing areas of mortar joints. Brick cleaning and repointing to be done using appropriate conservation techniques.

Further, the owner has shown interest to restore PARK ROYAL signage at the entrance in near future to bring back the essence of the building within the neighbourhood. If any heritage attribute is damaged beyond repair they will be replaced in kind. The proposed restoration will contribute to the long-term stability of the resource's heritage attributes.

The Designated Heritage Incentive Grant By-law requires two quotes for all proposed work. The owner has submitted the necessary quotes (3) involving the same scope of work. Heritage staff therefore recommends the approval of the Heritage Permit application.

Corporate Implications:

Financial Implications:

There are no new financial implications resulting from the adoption of this report. The recommended approval of up to \$10,000 for the subject grant application will be funded from the 2021 Operating Budget for the heritage program. There are sufficient funds available in this account for the subject property.

Other Implications:

None.

Term of Council Priorities:

This report meets the Term of Council Priorities by building on Brampton's commitment to sustainability by adaptively re-using existing building stock and contributing to sustainable growth.

Conclusion:

The Heritage Permit application and associated Designated Heritage Incentive Grant application, which offers funds to cover half of the cost of eligible conservation work up to a maximum of \$10,000.00, subject to available funding, on the condition that the property owner matches the grant.

The Heritage Permit process and incentives such as the Designated Heritage Property Incentive Grant Program foster the conservation of Brampton's cultural heritage assets and encourage private investment in these properties. The Grant application for 8 Wellington St W. proposes for restoration and repair of entrance feature and stairs, masonry cleaning and repointing. It is recommended that the Heritage Permit application be approved.

Authored by:

Reviewed by:

Harsh Padhya
Heritage Planner

Michael Seaman, MCIP, RPP, CAHP, MEDS
Principal Planner/Supervisor of Heritage

Reviewed by:

Jeffrey Humble
Manager, Land Use Policy

Reviewed by:

Bob Bjerke, MCIP, RPP
Director, Policy Planning

Approved by:

Richard Forward, MBA, MSc. P.Eng.,
Commissioner, Planning and
Development Services

Submitted by:

David Barrick
Chief Administrative Officer

Attachments:

Appendix A - Heritage Permit Application: 8 Wellington St. W.

Appendix B - Designated Heritage Property Incentive Grant Application: 8 Wellington St. W.

Appendix C – Standard Agreement

Appendix D – Designation By-law - 8 Wellington St. W.

Report authored by:

Harsh Padhya
Heritage Planner
City Planning & Design
City of Brampton

X

PART TWO - HERITAGE PERMIT APPLICATION:**HERITAGE PERMIT APPLICATION FORM**

In accordance with the Ontario Heritage Act a heritage permit must be issued by City Council for all proposals to erect, remove or alter the exterior of buildings, structures or other features described as heritage attributes within the scope of a heritage designation by-law.

City staff and the Brampton Heritage Board review all applications and then submit them to City Council for approval.

City Council has the authority under the Ontario Heritage Act to approve any heritage application either with or without conditions or to refuse the permit application entirely.

Please provide the following information (type or print)

A. REGISTERED OWNER

NAME OF REGISTERED OWNER(S) DONAL GAVIN PROPERTY HOLDINGS
CSEAMA GAVIN

TELEPHONE NO. HOME (416) [REDACTED] **BUSINESS:** (416) [REDACTED] **FAX:** ()

E-MAIL ADDRESS: shane.davies@donalgavin.com / sgavin4@donalgavin.com

MAILING ADDRESS:

B. AGENT

(Note: Full name & address of agent acting on behalf of applicant; e.g. architect, consultant, contractor, etc)

NAME OF AGENT(S)

TELEPHONE NO. HOME () **BUSINESS:** () **FAX:** ()

E-MAIL ADDRESS:

MAILING ADDRESS:

Note: Unless otherwise requested, all communications will be sent to the registered owner of the property.

C. LOCATION / LEGAL DESCRIPTION OF SUBJECT PROPERTY

LOTS(S) / BLOCK(S)

CONCESSION NO.

REGISTERED PLAN NO.

PART(S) NO.(S)

REFERENCE PLAN NO.

ROLL NUMBER: 2110 030 026 01900-0000

PIN (PROPERTY IDENTIFICATION NO.)

D. OVERALL PROJECT DESCRIPTION / SUMMARY OF PROPOSAL

Entrance and stairs restoration & repair
masonry cleaning and/or repointing

E. DESCRIPTION OF WORKS

(Please briefly describe the proposed works as they fit within one or more of the categories below; note the specific features that would be affected. Use separate sheets as required; attach appropriate supporting documentation; point form is acceptable):

Rehabilitation and/or Preventative Conservation Measures (e.g. repointing masonry; note which heritage attributes and features would be impacted and where, materials to be used, specifications and techniques):

- Front entrance restoration
- Front step restoration
- masonry cleaning and restoration
- For additional details see quotes)

Major Alterations, Additions and/or New Construction (note which attributes to be impacted, location of work, materials to be used, specifications and techniques):

- see quote for additional details
- Front step and front entrance restoration, masonry cleaning and repair
- majority of work is restoration vs. new construction

Restoration (i.e. replicating or revealing lost elements and features; note which attributes to be impacted and where, materials to be used, specifications and techniques):

- majority of the work will be restoration vs. new construction, but some may be required as part of the restoration process (CTBD)
- Front step and front entrance restoration, masonry cleaning and repair

F. SCOPE OF WORK IMPACTING HERITAGE PROPERTY

(Check all that apply)

NEW CONSTRUCTION IS PROPOSED ☐

DEMOLISH ☐

ALTER ☐

EXPAND ☐

RELOCATE ☐

G. SITE STATISTICS (For addition and construction of new structures)

LOT DIMENSIONS FRONTAGE _____ DEPTH _____

LOT AREA _____ m²

EXISTING BUILDING COVERAGE _____ %

BUILDING HEIGHT EXISTING _____ m

PROPOSED _____ m

BUILDING WIDTH EXISTING _____ m

PROPOSED _____ m

ZONING DESIGNATION _____

OTHER APPROVALS REQUIRED: (Check off only if required)

MINOR VARIANCE (COA) _____

SITE PLAN APPROVAL _____

BUILDING PERMIT _____

CONSERVATION AUTHORITY _____

SIGN BYLAW APPROVAL _____

(Note: IF YES, other approvals should be scheduled after the Heritage Permit has been approved by City Council)

H. CHECKLIST OF REQUIRED INFORMATION SUBMITTED

(Check all that apply)

- ☐ REGISTERED SURVEY
- ☐ SITE PLAN (showing all buildings and vegetation on the property)
- ☐ EXISTING PLANS & ELEVATIONS - AS BUILT
- ☐ PROPOSED PLANS & ELEVATIONS
- ☒ PHOTOGRAPHS
- ☐ MATERIAL SAMPLES, BROCHURES, ETC
- ☐ CONSTRUCTION SPECIFICATION DETAILS

I. AUTHORIZATION / DECLARATION

I HEREBY DECLARE THAT THE STATEMENTS MADE HEREIN ARE, TO THE BEST OF MY BELIEF AND KNOWLEDGE, A TRUE AND COMPLETE PRESENTATION OF THE PROPOSED APPLICATION.

I UNDERSTAND THAT THIS HERITAGE PERMIT DOES NOT CONSTITUTE A BUILDING PERMIT PURSUANT TO THE ONTARIO BUILDING CODE.

I ALSO HEREBY AGREE TO ALLOW THE APPROPRIATE STAFF OF THE CITY OF BRAMPTON TO ENTER THE SUBJECT PROPERTY IN ORDER TO FULLY ASSESS THE SCOPE AND MERITS OF THE APPLICATION.

(Property entry, if required, will be organized with the applicant or agent prior to entry)



Signature of Applicant or Authorized Agent



Date of Submission

Heritage Permit applications are submitted to the Planning, Design and Development Department, 3rd Floor Counter, Brampton City Hall,

The personal information on this form is collected under the authority of the *Ontario Heritage Act*, RSO 1990. The information will be used to process the Heritage Permit Application. Questions about the collection of personal information should be directed to the Heritage Coordinator, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, 905-874-3825.











APPLICATION FORM

Designated Heritage Property Incentive Grant Program

Please complete the following and submit to a City of Brampton Heritage Coordinator

1. Owner Contact Information:

DONAL GAVIN PROPERTY HOLDINGS (SEAN & GAVIN)
Name of the Owner

905-██████████
Home Telephone

416-██████████
Business Telephone

Fax

sgavin@██████████
shane.davies@██████████
Email

██████████, L7C 3R8
Address

2. Specify property for which application is being made:

8 WELLINGTON STREET WEST, BRAMPTON, M1K 5H1
Municipal Address

Legal Description

PIN

(2110 030 026 01900)-0000
ROLL

3. Under which part of the *Ontario Heritage Act* is your property designated?

- ☐ Part IV (individual property)
- ☒ Part V (heritage property within a Heritage Conservation District)

4. Have you previously received a City of Brampton Heritage Property Incentive Grant?

☐ Yes ☒ No

If "Yes", please provide the dates and amounts below:

Date

Amount

Date

Amount

5. Is this property the subject of any City By-law contraventions, work orders, penalties, fees, arrears of taxes, fines, or other outstanding municipal requirements as of the date of application?

☐ Yes

☒ No

If "Yes", please provide details below:

6. Provide a description of the project proposal. Use additional sheets as required:

SEE ATTACHED DOCUMENTS

masonry cleaning/re-pointing, front stair restoration,
entrance stucco repair & restoration

7. Enclose all drawings, current photographs, and/or other materials necessary for a complete understanding of the proposed work. Please include any available historic photographs or documentation.

see attached

8. Outline how the proposed project would preserve, restore, and/or enhance specific heritage attributes:

SEE ATTACHED DOCUMENTS

The proposed repairs and cleaning would restore the building to original state, prevent future damage/decay and avoid future issues

9. Briefly outline the conservation methods, materials, and techniques to be applied to the proposed project:

SEE ATTACHED DOCUMENTS

see attached quotes

work to be performed by an approved City of Brampton Contractor (see program kit)

10. Cost Estimate Summary:

(Enclose at least two estimates)

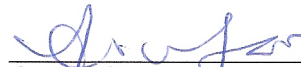
Company	Details	Estimate
Name: Everest Restoration Address: 100 Cherry St. Toronto, ON, M5A 3L1	- masonry cleaning and/or repointing - Front restoration - Entrance restoration	\$ 34,750.00 - 70,020.00
Name: Historic Restoration Inc. Address: 4 Carlaw Ave. Unit 1 Toronto, ON, M4M 2R5	- masonry cleaning and/or repointing - Front restoration - Entrance restoration	\$ 36,260.00
Name: Address:		\$

11. Project Costs (to the nearest dollar) and declaration:

Sources	Details	Amounts
Amount of Grant requested from City of Brampton (up to \$10,000.00)	\$ See above c#10/	\$ 10,000
Owner's Contribution	see above	\$ 10-20,000
Other Sources (if any)		\$
Total Project Costs		\$

1. I, the undersigned, certify that to the best of my knowledge the information provided in this application is accurate and complete, and I agree to the terms and conditions of the Designated Heritage Property Incentive Grant Program as established by the City of Brampton under By-law 266-2011.
2. I am the owner or authorized agent of the owner, named in the above application and hereby apply for a grant under the Designated Heritage Property Incentive Grant Program (refer Schedule B)
3. I understand that the final amount of the grant will be determined and that this application will be completed following:
 - a) A site inspection of the property and assessment of impacts on existing designated heritage attributes by the City Heritage Coordinator;
 - b) Owner provided drawings, and/or specifications, cost estimates, and photographs;
 - c) Assessment of the merits of the application by the Heritage Coordinator and the Brampton Heritage Board;
 - d) Formal approval of application by Brampton City Council;
 - e) Substantiation of the completed work by invoices provided; and
 - f) Completion of work within one (1) year of the date of approval by Brampton City Council.
2. The undersigned hereby certify that no works eligible for heritage grant assistance, and/or which would require permission to alter under the Ontario Heritage Act, have commenced as of this date, or will commence prior to approval of this application by City Council.

4/12/21
Date


Owner's Signature

12. Checklist

The City will not begin processing this application until ALL required materials are submitted.

- ☐ Pre-consultation with City Heritage Coordinator completed
- ☐ Completed application
- ☐ Drawings/ renderings accurately describing the existing condition and proposed work
- ☐ Current colour photographs documenting features, elements, and spaces that will be the focus of the proposed project
- ☐ Copies of archival photographs and historical documentation as applicable
- ☐ Statement indicating other sources of funding as applicable
- ☐ Cost estimates

Personal information on this form is collected under the authority of the Municipal Freedom of Information and Protection of Privacy Act R.S.O. 1990 m.c.M.56 for the purpose of providing information for a Designated Heritage Property Incentive Grant Program application for the above listed property. Questions about this collection should be directed to a City of Brampton Heritage Staff at (905) 874-3744 or (905) 874-3825.

REGISTERED OWNER'S AUTHORIZATION

(To be completed by the registered owner)

I, Seong GAVIN am the registered owner of the
subject site.

I authorize contractor to prepare, submit and speak to this
request for a Heritage Permit Application and/ or Consultation, on my behalf.

4/12/21
Date

[Signature]
Owner's Signature



100 CHERRY STREET | TORONTO, ONTARIO | M5A 3L1

TEL: 416 465-3989 | FAX: 416-465-9589

TORONTO@EVEREST-RESTORATION.COM | WWW.EVEREST-RESTORATION.COM

26 March 2021

Shane Davies

Shane.davies@microsoft.com

Re: Masonry Restoration at 8 Wellington Street East, Brampton, Ontario

Dear Shane:

Please find my proposal for the restoration work at 8 Wellington as follows:

General Scope of Work

General Costs

Provide personnel lifts and isolated scaffold towers to access identified areas of work.
Storage container for tool and material storage outside the building in the parking lot.
Portable washroom facility.
Temporary fencing to isolate work areas.
Site safety and supervision.

Repointing

Remove and replace mortar in cracked, spalled or missing areas of mortar joints. Mortar may also be removed where mismatched or incompatible repairs have been done in the past. I have estimated approximately **350 square feet of repointing** to be done at various areas around the building. Install mockups of replacement mortar to match existing as closely as possible. Install lime rich mortar.

Brick Cleaning

Complete hot water cleaning of the exterior masonry areas. Cleaning shall be done using an application of "Onerestore" masonry cleaner and cleaning / rinsing using low pressure hot water / steam cleaning unit.
Cleaning mock-up to be done on commencement for approval.

Front Stair Restoration

Remove spalled or cracked areas of concrete.
Install replacement rebar or dowels in concrete as required.
Install concrete repair material by hand patching or forming and pouring repairs as suitable to the repair.
Prepare surfaces and apply cementitious coating to the landing, treads and risers. (Sikatop 144)

Entrance Stucco Restoration

Remove any isolated locations of spalling stucco and replace with matching textured repair material.
Rout and seal cracks using stucco repair mortar.
Clean surfaces with hot water washing.

Apply "Liquistone" architectural coating by Niagara Protective Coatings or alternatively apply Potassium Silicate "mineral paint"
Apply sample material prior to installation.

Stairwell Entrance Restoration

Saw cut asphalt at the perimeter of the basement stair entrance.
Remove asphalt and dispose of material.
Excavate around the wall to expose the concrete to below the cracked concrete.
Demo and dispose of the damaged concrete.
Install dowels of rebar into the remaining concrete and install rebar throughout the repair section.
Form the walls and pour 35Mpa air entrained concrete. Cure for at least 7 days.
Remove forms and backfill around stairwell.
Remove and replace top stair tread.
Install 4 replacement steel bollards. Paint safety yellow.
Install asphalt repair.

Railing and handrail: The existing railing will be removed and replaced with a style of railing to be determined (budget item)

Pricing

1	General cost items as noted in scope.	Lump sum	\$16,000.00
2	Repointing of masonry		\$14,700.00
3	Masonry Cleaning		\$15,840.00
4	Front Stair Restoration		\$ 6,300.00
5	Entrance Stucco Restoration / coating		\$ 3,600.00
6	Parking lot basement stair well		\$13,580.00
	Total		\$70,020.00

Plus HST

Cash allowance for steel railing and handrail: \$3,500.00

Please let me know if you have any questions about the proposal or if you would like to modify elements of the work.

Sincerely,



Tad Magee
Principal

12 April 2021

Shane Davies

Shane.davies@microsoft.com

Re: Masonry Restoration at 8 Wellington Street East, Brampton, Ontario

Revised Quote

Dear Shane:

Please find my proposal for the restoration work at 8 Wellington as follows:

General Scope of Work

General Costs

Storage container for tool and material storage outside the building in the parking lot.

Portable washroom facility.

Temporary fencing to isolate work areas.

Site safety and supervision.

Brick Cleaning

Complete hot water cleaning of the exterior masonry areas. Cleaning shall be done using an application of "Onerestore" masonry cleaner and cleaning / rinsing using low pressure hot water / steam cleaning unit.

Cleaning mock-up to be done on commencement for approval.

Includes required personnel lifts, scaffold etc.

Front Stair Restoration

Remove spalled or cracked areas of concrete.

Install replacement rebar or dowels in concrete as required.

Install concrete repair material by hand patching or forming and pouring repairs as suitable to the repair.

Prepare surfaces and apply cementitious coating to the landing, treads and risers. (Sikatop 144)

Entrance Stucco Restoration

Remove any isolated locations of spalling stucco and replace with matching textured repair material.

Rout and seal cracks using stucco repair mortar.

Clean surfaces with hot water washing.

Apply "Liquistone" architectural coating by Niagara Protective Coatings or alternatively apply Potassium Silicate "mineral paint"

Apply sample material prior to installation.

Pricing

1	General cost items as noted in scope.	Lump sum	\$4,500.00
2	Masonry Cleaning		\$20,350.00
3	Front Stair Restoration		\$ 6,300.00
4	Entrance Stucco Restoration / coating		\$ 3,600.00
	Total		\$34,750.00

Plus HST

Please let me know if you have any questions about the proposal or if you would like to modify elements of the work.

Sincerely,



Tad Magee
Principal



Historic Restoration Inc.

4 Carlaw Ave, Unit No.1, Toronto, Ontario M4M 2R5. Phone: 416-645-0868 Fax: 416-645-0871 Toll Free: 1-888-402-1865

April 13th 2021

Quote No. 21308R1

8 Wellington St W
Brampton ON,
L6Y 1K4

Attn: Shane Davies

Re: DOFF Cleaning, Masonry Restoration and Windowsill Replacement at 8 Wellington St, Brampton

QUOTATION

We would like to present for your consideration our quotation for masonry restoration and masonry cleaning work at the above noted location.

Work to Include:

1. Mobilize equipment and material to site.
2. Supply access machinery 45' Articulating Boom Rough Terrain to perform masonry work and cleaning.
3. DOFF steam clean dark residue, make good and patch repair front entrance portico.
4. Grind cut and chip out deteriorated concrete at stairs located on front entrance.
5. Make good existing stair after preparation, repair damaged areas using acrylic bonding agent and Sika 123 patching material. Strip forms and make good surface to closely match existing.
6. DOFF steam clean entire West, East and South Elevation. Carefully remove carbon, organic material, and dirt with DOFF integrate system safe steam cleaning.
7. Repoint approx. 200 LF of masonry across West, East and South elevation at sporadic damaged locations. Repointing to be with King Products HLM 500.
8. Remove and dispose off site, rusted windowsills that are currently causing staining to masonry to West, East and South elevations.
9. Supply and install new lead coated copper windowsills at all windows on West, East and South elevations.
10. Supply and install new caulking at base of windows and installed new LCC flashings, caulking colour to closely match existing.
11. Demobilize from site leaving work area clean and tidy.

Total Labour & Materials

\$36,260.00 + HST

Work Excluded:

1. No allowance for North Elevation.

Please Note

- Power and water to be supplied by site.
- No allowance has been made for the rear of the building (North Elevation).
- Work to be performed during regular working hours.

Terms

This quotation is valid for 60 days.

Payment Schedule

Payment is due within 28 days of billing.

I hope the above meets with your approval. Please do not hesitate to contact Jim Bruinse at 416-846-1326 if you have any questions or concerns.

Yours truly,
Historic Restoration Inc.



George Bull
Estimator











DESIGNATED HERITAGE PROPERTY INCENTIVE GRANT AGREEMENT

This Agreement dated the ____ day of month, year

BETWEEN:

THE CORPORATION OF THE CITY OF BRAMPTON
(hereinafter referred to as the “**City**”)

and

insert name
(hereinafter referred to as the “**Owner**”)

WHEREAS the Owner is the registered owner of the Designated Heritage Property described in Schedule “A” attached to this Agreement (the “**subject lands**”) which are designated under either Part IV or Part V of the Ontario Heritage Act,

AND WHEREAS the Owner has applied to the City for a Designated Heritage Property Incentive Grant (“**Grant**”) with respect to the cultural heritage resource(s) located on the subject lands as described in the grant application dated day, month, year (the “**Grant Application**”),

AND WHEREAS the City has agreed to make such a Grant pursuant to Section 39 and 45 of the Ontario Heritage Act,

AND WHEREAS as a requirement of approval of such a Grant Application, the Owner is required by the City to enter into this Agreement,

NOW THEREFORE IN CONSIDERATION of the City making this Grant in the maximum amount of \$_____ to the Owner, the Owner and the City hereby agree:

1. INFORMATION ON SUBJECT LANDS

- 1.1. The Grant shall apply to the subject lands as set out in Schedule “A” attached hereto.
- 1.2. The subject lands are designated under the *Ontario Heritage Act*.

2. GRANT ELIGIBILITY

- 2.1 To be eligible for the Grant, the works on the subject lands shall conform to and fulfill:
 - a) the objectives and requirements of the Designated Heritage Property Incentive Grant Program; and
 - b) any other requirements as specified by the City.

- 2.2 The Owner acknowledges that it has received and read a copy of the Designated Heritage Property Incentive Grant Application Kit (the “**Kit**”), and the Owner covenants with the City that the Heritage Attributes of the subject lands shall be conserved and the Grant provided for in this Agreement shall be applied in accordance with the City's requirements for the Designated Heritage Property Incentive Grant Program.
- 2.3 The City shall review all cost estimates submitted in support of the Grant Application in evaluating the estimated conservation costs eligible for the Grant, which costs, when designated by the City shall constitute the maximum amount of the total Grant to be paid. In the event the City is not satisfied with said cost estimates, the City may substitute its opinion of such amounts for purposes of calculating the eligible conservation costs for the Grant. If the City is not in receipt of sufficient information satisfactory to the City to determine conservation costs and the amount of the Grant, the Grant Application will not be processed and the Grant Application file will be closed. The decision of the City regarding the total amount of conservation costs, the calculation of the total estimated maximum Grant and the calculation of the actual Grant payments is final, absolute and within the City's sole discretion.
- 2.4 The Grant will not be rewarded by the City until:
- a) the Owner contacts the City of Brampton Heritage staff to confirm the works are completed and to request that the City of Brampton Heritage staff attend the Designated Heritage Property to inspect the completed works;
 - b) the Owner provides proof of payment in accordance with the eligible conservation Works identified in the Grant Application;
 - c) a statutory declaration (refer Schedule B) by or on behalf of the Owner that the Owner has paid all accounts that are payable in connection with the installation and maintenance of works and that there are no outstanding claims relating to the works; and,
 - d) Designated Heritage Property has been inspected by City of Brampton Heritage staff or designate and the eligible conservation works are confirmed to be completed.
- 2.5 Notwithstanding the above, if the final costs come in less than the estimated costs identified in the Grant Application, the total value of the grant may not exceed 50% of the actual costs of eligible conservation works, up to the limit of **\$10,000.00**.

3. CORPORATE STATUS

- 3.1 Where the Owner is a corporation, the Owner hereby represents to the City that:
- a) the Owner has been duly incorporated as a corporation and is in good standing under the *Business Corporations Act* (Ontario) and is in compliance with all laws that may affect it and will remain so throughout the term of this Agreement;

- b) the Owner has the corporate capacity to enter into this Agreement and to perform and meet any and all duties, liabilities and obligations as may be required of it under this Agreement;
- c) to the best of its knowledge, there are no actions, suits or proceedings pending or threatened against or adversely affecting the Owner in any court or before or by any federal, provincial, municipal or other governmental department, commission, board, bureau or agency, Canadian or foreign, which might materially affect the financial condition of the Owner or title to their property or assets; and
- d) the Owner shall notify the City immediately of any material change in the conditions set out in paragraphs (a)-(c) above.

4. PROVISIONS RELATING TO THE OWNER

- 4.1. At the time of application for the Program, the Owner shall have submitted to the City for its review and acceptance
- a) Photographs of the project site and of the features showing what and where the work will take place;
 - b) Historical photographs, illustrations or other forms of historical documentation of the property (if available); if not available, general historical references and graphical material that help illustrate what is proposed and why it is historically appropriate;
 - c) Drawings (as necessary) that adequately illustrate the scope and type of work and location that is being proposed;
 - d) At least two (2) competitive cost estimates for all labour and materials involved in the proposed work, unless there is only one specialized supplier of a particular product, trade or service in the GTA. Although not mandatory, owners who want to apply are encouraged to select suppliers, contractors and/or trades people that have demonstrated experience with heritage properties. Cost estimates must be sufficiently detailed so as to clearly indicate the scope and nature of work. If the proposed project includes both eligible and non-eligible work, the cost estimates must clearly differentiate between the two;
- 4.2. The Owner will complete all eligible conservation works as specified in the approved Grant Application, and in documentation submitted in support of the Grant Application, including but not limited to the architectural/design drawings, specifications, contracts, and cost estimates. As the City is relying upon this information, if the information in this Agreement, the Grant Application, and/or any supporting documentation submitted to the City is, in the opinion of the City, incomplete, false, inaccurate or misleading, the Grant may be reduced and/or delayed, and/or cancelled, and where part or all of the Grant has already been paid by the City, such payments shall be repaid by the Owner as required by the City.

- 4.3. The Owner shall not commence any works that are the subject of a Grant Application prior to receiving approval of the Grant Application, and approval and execution of this Agreement.
- 4.4. The Owner agrees that the works made to any buildings on the subject lands shall be made in compliance with all required building permits, and constructed in accordance with the Ontario Building Code and all applicable zoning by-law requirements, municipal requirements and other approvals required at law.
- 4.5. All proposed eligible conservation works shall conform to all municipal by-laws, policies, procedures, standards and guidelines.
- 4.6. Existing and proposed land uses are in conformity with applicable Official Plan(s), zoning by-law(s) and other planning requirements and approvals at both the local and regional level.
- 4.7. The Owner shall complete all eligible conservation works within on (1) year from the date of approval of the heritage property incentive grant by the Council, failing which, unless extended by the City, this Grant approval shall be at an end, there shall be no Grant, and this Agreement shall be terminated. The deadline imposed by this paragraph shall not include delays that are outside the control of the Owner as determined in the sole discretion of the City.
- 4.8. Upon completion of the eligible conservation works, the Owner shall provide the City with documentation satisfactory to the City as to the amount of the actual costs of conservation works incurred by the owner.
- 4.9. The Owner shall ensure there are no liens or other claims outstanding in respect of the subject lands, and that all accounts for work and materials which could give rise to any claim for a construction lien against the subject lands have been paid at the time the Owner provides proof that the eligible conservation works are completed in accordance with Section 2.4.
- 4.10. The Owner agrees to comply with the *Construction Act* (Ontario), including its holdback provisions and the Owner represents that it is not aware of any potential or unresolved lien claim in respect of the redevelopment.
- 4.11. The Owner covenants to the City that where the Designated Heritage Property for any reason cease to be in the Owner's ownership by sale, assignment or otherwise, prior to the advance of part or all of the Grant, the Owner will notify the City in writing of said pending ownership change at least 30 days prior to the ownership change taking place and shall advise the new Owner prior to any such sale or assignment that any monies payable pursuant to this Agreement shall be made payable to the Owner only.
- 4.12. The Owner acknowledges that without limiting the generality of the other provisions of this Agreement:
 - a) the onus and responsibility is upon the Owner at all times to assume all costs of

the eligible conservation works and to apply for and obtain, at the Applicant's expense, all approvals required from the City and all other agencies for said works;

- b) nothing in this Agreement limits or fetters the City in exercising its statutory jurisdiction under the *Ontario Heritage Act* or under any other legislative authority or by-law and that in the event the City decides to deny or oppose or appeal any such decision, that such action by the City is not in any manner limited by reason of the City entering into this Agreement;
 - c) the Owner releases the City from any liability in respect of the City's reviews, decisions, inspections or absence of inspections regarding eligible conservation works and the Owner agrees that it is the responsibility of the Owner to prepare and implement the works at all times;
 - d) nothing in this Agreement is intended to impose or shall impose upon the City any duty or obligation to inspect or examine the Designated Heritage Property for compliance or non-compliance or to provide an opinion or view respecting any condition of development approval; and,
 - e) nothing in this Agreement is intended to be or shall be construed to be a representation by the City regarding compliance of the Designated Heritage Property with: (1) applicable environmental laws, regulations, policies, standards, permits or approvals, or, (2) other by-laws and policies of the City.
- 4.14 If the City determines in its sole discretion that any of the conditions of this Agreement are not fulfilled, the City may at its sole discretion cease or delay payment of the Grant, and the Owner agrees that notwithstanding any costs or expenses incurred by the Applicant, the Owner shall not have any claim for compensation or reimbursement of these costs and expenses against the City, and that the City is not liable to the Owner for losses, damages, interest, or claims which the Owner may bear as a result of the lapse of time (if any) where the City is exercising its rights herein to either delay a Grant payment pending compliance with this Agreement, or to terminate this Agreement.
- 4.15 The Owner shall indemnify and save harmless from time to time and at all times, the City and its officers, employees, councillors, and agents from and against all claims, actions, causes of action, interest, demands, costs, charges, damages, expenses and loss made by any person arising directly or indirectly from:
- a) the City entering into this Agreement; and
 - b) any failure by the Owner to fulfil its obligations under this Agreement.

This indemnification shall, in respect of any matter arising prior to the termination of this Agreement, remain in force following termination or expiry of this Agreement.

5. PROVISIONS RELATING TO THE CITY

- 5.1 The City agrees to provide a Grant to the Owner estimated as of the date of this Agreement in the amount of \$_____, subject to and in accordance with the terms and provisions set out in this Agreement.

- 5.2 The City, its employees and agents are entitled to inspect the Designated Heritage Property and all fixtures and improvements upon the Designated Heritage Property at any time during usual business hours for the purpose of ascertaining their condition or state of repair or for the purpose of verifying compliance with the provisions of this Agreement.
- 5.3 The City retains the right at all times not to make any or all of Grant payments or to delay payment where the City deems that there is non-compliance by the Owner with this Agreement.
- 5.4 Except where expressly stated in this Agreement, all conditions in this Agreement are for the benefit of the City and may only be waived by the City. No waiver is effective unless in writing.

6. DEFAULT AND REMEDIES

- 6.1 The Owner agrees to maintain in good repair the improvements for which the Grant is provided. In the event that the Owner does not maintain in good repair said improvements, the City may:
- a) serve on the Owner a written Notice to Repair detailing the particulars of the failure to maintain and the particulars of needed repairs; and
 - b) provide the Owner with at least 30 days to make such repairs.
- 6.2 On the occurrence of an event of default pursuant to subsection 6.3, the City shall be entitled to its remedies to enforce this Agreement, including, but not limited to:
- a) delaying or ceasing the release of the Grant;
 - b) requiring repayment of the Grant; and/or
 - c) terminating this Agreement.
- 6.3 An event of default shall be deemed to occur upon any default of the Owner in complying with the terms set out in this Agreement, including, but not limited to, the following:
- a) the as constructed works do not comply with the description of the works as provided in the Grant Application and any other supporting documentation required by the City;
 - b) the works are not undertaken in conformity with the Ontario Building Code and all applicable zoning requirements and planning approvals;
 - c) the building is damaged by fire or otherwise, and repair or reconstruction is not commenced within 90 days;
 - d) the Owner is in property tax arrears with respect to the subject lands for more than 90 days;
 - e) any representation or warranty made by the Owner is incorrect in any material respect;

- f) failure to perform or comply with any of the obligations contained in this Agreement or contained in any other Agreement entered into between the Owner and the City;
- g) the Owner makes an assignment for the benefit of creditors, or assigns in bankruptcy or takes the advantage in respect of their own affairs of any statute for relief in bankruptcy, moratorium, settlement with creditors, or similar relief of bankrupt or insolvent debtors, or if a receiving order is made against the Applicant, or if the Owner is adjudged bankrupt or insolvent, or if a liquidator or receiver is appointed by reason of any actual or alleged insolvency, or any default of the Owner under any mortgage or other obligation, or if the subject lands or interest of the Owner in the subject lands becomes liable to be taken or sold by any creditors or under any writ of execution or other like process;
- h) construction ceases for a period of 60 days due to the Applicant's default (strikes and Acts of God excepted) and/or the Owner abandons the Designated Heritage Property or project; or
- i) if this Agreement is forfeited or is terminated by any other provision contained in it. (each of the above being an "event of default").

6.4 The City may at its sole discretion, provide the Owner with an opportunity to remedy any default.

7. ADDITIONAL PROVISIONS

- 7.1 The headings contained herein are for convenience only and shall not affect the meaning or interpretation thereof.
- 7.2 The approved Grant Application referred to may be amended by the Owner and the City from time to time, as they may agree.
- 7.3 Time shall be of the essence with respect to all covenants, Agreements and matters contained in this Agreement.
- 7.4 Any amendment, supplement, modification, waiver or termination of this Agreement shall be in writing and signed by the parties.
- 7.5 This Agreement shall be construed in accordance with the laws of the Province of Ontario and the laws of Canada applicable in the Province of Ontario and shall be treated in all respects as an Ontario contract.
- 7.6 Schedule "A" and "B" attached hereto forms part of this Agreement.

8. NOTICES

- 8.1 Where this Agreement requires notice to be delivered by one party to the other, such notice shall be in writing and delivered either personally, by e-mail, by fax or by prepaid registered first class post, by the party wishing to give such notice, to the other party at the address noted below:

Such notice shall be deemed to have been given:

- a) in the case of personal delivery, on the date of delivery;
- b) in the case of e-mail or fax, on the date of transmission provided it is received before 4:30 p.m. on a day that is not a holiday, as defined in the *Interpretation Act* (Ontario), failing which it shall be deemed to have been received the next day, provided the next day is not a holiday; and
- c) in the case of registered post, on the third day, which is not a holiday, following posting.

Notice shall be given:

To the Owner at:

Name

Address

Telephone No:

Cell No.:

E-mail:

To the City at:

The Corporation of the City of Brampton
Planning and Development Services
2 Wellington Street West
Brampton, ON L6Y 4R2

Attention: City of Brampton Heritage Staff
Telephone No:
E-mail: heritage@brampton.ca

IN WITNESS WHEREOF the parties hereto have hereunto set their hands and/or affixed their corporate seals attested by the hands of their proper officers duly authorized in that behalf.

Approved as to form – Legal Services ____/____/____ _____	Approved as to content-P&DS ____/____/____ _____	Approved as to content – FIS ____/____/____ _____
---	---	--

**THE CORPORATION OF THE CITY OF
BRAMPTON**

Mayor

Peter Fay, Clerk

Authorizing By-law _____

Witness:

SCHEDULE "A"

Legal Description of land

SCHEDULE "B"

Date:

XYZ

To Whom It May Concern:

RE: XYZ
Request for Heritage Incentive Grant

Please be advised that the City Of Brampton requires a statutory declaration as per Clause 4.4 (a) of the By-law and Designated Heritage Incentive Grant Program Kit in order for the Heritage Incentive Grant to be rewarded.

Please have a declaration prepared and sworn in the attached format and forward to the writer's attention.

We trust that you will give this matter your immediate attention.

Yours truly,

The information provided in this correspondence is current as of the date indicated above, and after such date is subject to change. Reasonable effort has been made to ensure the information contained herein is correct, however, The Corporation of the City of Brampton cannot certify or warrant the accuracy of the information and it accepts no responsibility for any errors, omissions or inaccuracies.

Enclosure

Province of Ontario) AND IN THE MATTER OF CLAUSE 3.1(b)
) OF THE BY-LAW AND DESIGNATED
 (insert here "Regional Municipality of) HERITAGE INCENTIVE GRANT
 Peel" or "City of Brampton")) PROGRAM KIT

I, _____ of the _____
 (name of individual) (City/Town)

in the _____ SOLEMNLY DECLARE THAT:
 (Municipality/County)

1. I am the _____ of _____
 (owner) (address)
 and as such have knowledge of the matters hereinafter deposed to.

2. All works required to be installed and completed on the property with municipal address have been completed and fully paid for and no one is entitled to a claim or lien in respect of labour or materials supplied in respect of such work.

AND I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

DECLARED before me at the)
 of)
 in the)
 of)
 this _____ day of _____ 2020)
)
)
)

A Commissioner, etc.

)
 ()
 (print name of commissioner and date of
 expiry)



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 237-2007

To designate the property at 8 Wellington Street West (Park Royal Apartments) as being of cultural heritage value or interest.

WHEREAS Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O. 18 (as amended) authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;


WHEREAS the Brampton Heritage Board supports the designation of the properties described herein;

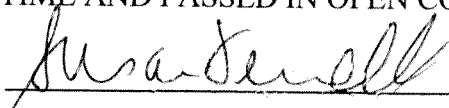
WHEREAS a Notice of Intention to Designate has been published and served in accordance with the Act, and there has been no Notice of Objection served on the Clerk;


NOW THEREFORE the Council of the Corporation of the City of Brampton HEREBY ENACTS as follows:

1. The property at 8 Wellington Street West (Park Royal Apartments) more particularly described in Schedule "A" is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the *Ontario Heritage Act*.
2. The City Clerk shall cause a copy of this by-law to be registered against the property described in Schedule "A" to this by-law in the proper Land Registry Office.
3. The City Clerk shall cause a copy of this by-law to be served upon the owners of the property at 8 Wellington Street West (Park Royal Apartments) and upon the Ontario Heritage Trust and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Brampton as required by the *Ontario Heritage Act*.
4. The City Clerk shall serve and provide notice of this by-law in accordance with the Act.
5. The short statement of the reason for the designation of the property, including a description of the heritage attributes are set out in Schedule "B" to this by-law.
6. The affidavit of Kathryn Zammit attached, as Schedule "C" hereto shall form part of this by-law.

READ A FIRST, SECOND AND THIRD TIME AND PASSED IN OPEN COUNCIL
THIS 1st DAY OF AUGUST, 2007.

Approved as to form  12/07/07


SUSAN FENNELL - MAYOR



 KATHRYN ZAMMIT - CLERK
Peter Fay, Deputy City Clerk

Approved as to Content:



Karl Walsh, Director, Community Design, Parks Planning and Development

LEGAL DESCRIPTION

LT 61 PL BR7 BRAMPTON W OF GEORGE ST ; BRAMPTON

14068-0075 (LT)

SHORT STATEMENT OF THE REASON FOR THE DESIGNATION OF PARK ROYAL APARTMENT, 8 WELLINGTON STREET WEST

The Park Royal Apartment at 8 Wellington Street West is a noteworthy and unique landmark property in downtown Brampton. It was built in 1939 as the first "purpose built" apartment complex in the City of Brampton.

The Park Royal Apartment is historically associated with several prominent individuals. The apartment was built for Dr. Robert James Hiscox. Hiscox was the owner and publisher of the Peel Gazette, an influential weekly newspaper in Peel County. Hiscox also practiced dentistry in Brampton and was a Liberal candidate in the 1948 provincial election.

The architect was Robert W. Hall, a respected architect in Peel County prior to the Second World War. Hall also designed several local schools including the original Peel County High School and the Peel Memorial Hospital.

The building is an excellent example of the construction work of Harry Herrgaarden, Sr. one of Brampton's most important 20th century building contractors. Herrgaarden also built several commercial buildings and houses including the home of the Hon. William G. Davis on Main Street South.

The Park Royal Apartment building is an extremely rare example of the streamlined Art Moderne style, a major architectural design variant stemming from the Art Deco period. The Park Royal is essentially a "one of a kind" in Brampton in terms of the Art Deco/Moderne style being applied to an apartment building. The owner and architect made a concerted effort to ensure their building was "in vogue" and thoroughly "modern".

The building design features several evocative Art Moderne elements including: a rectangular plan with distinctive rounded buff brick walls on all four sides, a flat uninterrupted roof without any cornice details, smooth curving surfaces and horizontal fenestration. The Park Royal is among the most important early modern buildings in Peel Region.

As a cultural heritage landscape the entire property is significant. It is situated on a conspicuous corner lot at Wellington Street West and George Street. The low-rise apartment building, surrounded by generous lawns and open space, compliments and blends into its immediate surroundings, which include late Victorian and Edwardian homes and Gage Park, located directly to the south. The property actually presents a critically important transitional buffer between Gage Park and the contemporary, less sympathetic commercial and office buildings now running along George Street. It is also one of many important landmark buildings in the immediate vicinity including the Peel County Courthouse, Alderlea and the historic houses along Main Street South. The Park Royal Apartment building at 8 Wellington Street West holds cultural heritage value.

Heritage designation, under Part IV of the Ontario Heritage Act, is recommended for architectural, historical and contextual reasons.

The short statement of reason for the designation, including a description of the heritage attributes along with all other components of the detailed Heritage Report: Statement of Reason for Heritage Designation, constitute the "reason for heritage designation" required under the *Ontario Heritage Act*.

Unless otherwise indicated, the reason for designation apply generally to all exterior elevations, facades, foundation, roof and roof trim, all doors, windows, other structural openings and associated trim, all architectural detailing, construction materials of wood, stone, brick, plaster parging, metal and glazing and related building techniques, fencing, all trees, shrubs, hedgerows, other vegetation and the grounds and vistas generally.

2.0 DESCRIPTION OF HERITAGE ATTRIBUTES (CHARACTER DEFINING ELEMENTS):

To ensure that the cultural heritage significance of this property remains intact, certain heritage attributes are to be conserved, and they include:

2.1 Exterior Architectural Heritage Attributes:

Streamlined Art Moderne design consisting of: a rectangular plan with distinctive rounded brick walls on all four sides; concrete block construction; symmetrical south façade; a flat uninterrupted roof (with the exception of a small brick structure sheltering the exterior access to the roof) without any cornice detailing; sleek curving surfaces and horizontal fenestration; a range of construction materials including: buff brick, glass block and steel and chrome hardware on doors; brick laid in stretcher bond with the exception of the rounded corners where brick headers are exposed to help form the distinctive curves; walls of buff brick masonry veneer with single band courses of dark brown brick running along sills of the windows denoting each storey and along the basement level; curved, bulbous concrete surround boldly accentuating the main entrance; the top edge of the surround detailed with narrow projecting horizontal bands forming a simple cornice over the main entrance; original single leaf wooden door with translucent glass block sidelines; door hardware of chrome and stainless steel; front steps composed of semi-circular concrete steps radiating in a concentric pattern up to the main entrance; basement windows retain their the original "industrial" metal form; garage door on south façade leads into large below grade parking area.

2.2 Interior Architectural Heritage Attributes:

Interior spaces are not included within the scope of heritage designation.

2.3: Historical /Cultural Heritage Attributes:

Significant associations with prominent Brampton people including owner Dr. Robert Hiscox, local architect Robert W. Hall and builder Henry Herrgaarden; important representation of early modernist movement with Art Moderne design.

2.4: Contextual Heritage Attributes:

Significant familiar downtown landmark; the whole property contributes much to the streetscape and heritage character of downtown; important transitional buffer provided between Gage Park and the nearby retail and commercial district; large, low-rise massing of building on a large, open lot helps ensure compatibility between this property and adjacent properties.

Date: 2020-05-11

Subject: Heritage Permit Application – 250 Main Street North – Ward 1

Contact: Harsh Padhya, Heritage Planner; City Planning & Design
Harsh.Padhya@brampton.ca

Report Number: Planning, Bld & Ec Dev-2021-608

Recommendations:

1. That the report from Harsh Padhya, Heritage Planner; City Planning & Design, dated May 11, 2021 to the Brampton Heritage Board Meeting of May 18, 2021, **re: Heritage Permit Application – 250 Main Street North – Ward 1 (HE.x 250 Main Street North)**, be received; and
2. That the Heritage Permit application for **250 Main Street North** for the restoration of original wood windows on main floor, upper level and basement and repair of entrance door, be approved.

Overview:

- In accordance with Section 33 of the *Ontario Heritage Act*, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.
- The owner of 250 Main Street North submitted a Heritage Permit application for the restoration of original wood windows on main floor, upper level and basement and repair of entrance door.
- This report recommends the approval of the Heritage Permit be subject to the conditions:
 - If any heritage attribute is damaged beyond repair, they will be replaced in kind.
 - Use of sympathetic techniques and materials for restoration work.

- **This report meets the Term of Council Priorities by building on Brampton's commitment to sustainability by adaptively re-using existing building stock and contributing to sustainable growth.**

Background:

250 Main Street North also known as Thomas Dale House - exhibits many of the more noteworthy elements associated with the Gothic Revival style. The house is a good example of the Gothic Revival style blended effectively with Edwardian details, presumably introduced during the Dale occupancy of the property. These elements include steeply pitched gable roofs, a pointed Gothic headed window opening on the second storey and vertical wood corner boards with braided wood rope detailing running the length of each board - a typical element found in Gothic Revival and Ontario Gothic architecture in Brampton. Edwardian architectural influences are also prominent. They include: the front verandah and front picture window. The bowed shape of the verandah is unique in this neighbourhood. The house presents a good example of how two distinct architectural styles can blend effectively.

Geographical and cultural interactions exist between the Thomas Dale house and historic streetscape of significant mid and late 19th century single-family homes along Main Street North. The house also contributes much to the prominent gateway into the downtown and it is clearly linked to the nearby site of the Dale Estates nursery.

In accordance with Section 33 of the Ontario Heritage Act, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.

Current Situation:

The owner of 250 Main Street North submitted a Heritage Permit application for the restoration of original wood windows on main floor, upper level and basement and repair of entrance door.

Proposed work covers replacement of three original windows with new wood frame windows. One vinyl window to be replaced with vinyl. Exiting steel door to be painted white alike windows and porch on the façade, with small transom window insert. The steel storm door at the entrance to be removed. Original basement windows to be replaced with traditional sash with wood frame.

Corporate Implications:

Financial Implications:

None.

Other Implications:

None.

Term of Council Priorities:

This report meets the Term of Council Priorities by building on Brampton's commitment to sustainability by adaptively re-using existing building stock and contributing to sustainable growth.

Conclusion:

The Heritage Permit foster the conservation of Brampton's cultural heritage assets and encourage private investment in these properties. The heritage permit application for 250 Main Street North proposes restoration of original wood windows on main floor, upper level and basement and repair of entrance door. It is recommended that the Heritage Permit application be approved.

Authored by:

Harsh Padhya
Heritage Planner

Reviewed by:

Michael Seaman, MCIP, RPP, CAHP, MEDS
Principal Planner/Supervisor of Heritage

Reviewed by:

Jeffrey Humble
Manager, Policy, Programs and
Implementation

Reviewed by:

Bob Bjerke, MCIP, RPP
Director, Policy Planning

Approved by:

Richard Forward, MBA, MSc. P.Eng.,
Commissioner, Planning and
Development Services

Attachments:

Appendix A - Heritage Permit Application: 250 Main Street North

Appendix B - Designation By-law – 250 Main Street North

Report authored by:

Harsh Padhya,

Heritage Planner

City Planning & Design

City of Brampton

PART TWO - HERITAGE PERMIT APPLICATION:

HERITAGE PERMIT APPLICATION FORM

In accordance with the Ontario Heritage Act a heritage permit must be issued by City Council for all proposals to erect, remove or alter the exterior of buildings, structures or other features described as heritage attributes within the scope of a heritage designation by-law.

City staff and the Brampton Heritage Board review all applications and then submit them to City Council for approval.

City Council has the authority under the Ontario Heritage Act to approve any heritage application either with or without conditions or to refuse the permit application entirely.

Please provide the following information (type or print)

A. REGISTERED OWNER

NAME OF REGISTERED OWNER(S) Kooiman Enterprises Inc./Elizabeth Ostrander

TELEPHONE NO. HOME [REDACTED] BUSINESS: () FAX: ()

E-MAIL ADDRESS: [REDACTED]

MAILING ADDRESS: [REDACTED], ON L0P1B0

B. AGENT

(Note: Full name & address of agent acting on behalf of applicant; e.g. architect, consultant, contractor, etc)

NAME OF AGENT(S) _____

TELEPHONE NO. HOME () BUSINESS: () FAX: ()

E-MAIL ADDRESS: _____

MAILING ADDRESS: _____

Note: Unless otherwise requested, all communications will be sent to the registered owner of the property.

C. LOCATION / LEGAL DESCRIPTION OF SUBJECT PROPERTY

LOTS(S) / BLOCK(S) Part Lot 118
CONCESSION NO. 1 REGISTERED PLAN NO. BR-24
PART(S) NO.(S) 2 REFERENCE PLAN NO. PR 1353878
ROLL NUMBER: 10010002169000000
PIN (PROPERTY IDENTIFICATION NO.) 14128-0401

D. OVERALL PROJECT DESCRIPTION / SUMMARY OF PROPOSAL

3 original wood windows to be replaced
with new windows with wood frames
- two on main floor, one on upper level.
- double hung, sash windows

One vinyl window to be replaced with vinyl window

Existing steel door to be painted white and
small transom window insert put in. Removal
of steel storm door.

Original basement window (1) to be
replaced with traditional sash with wood frame

E. DESCRIPTION OF WORKS

(Please briefly describe the proposed works as they fit within one or more of the categories below; note the specific features that would be affected. Use separate sheets as required; attach appropriate supporting documentation; point form is acceptable):

Rehabilitation and/or Preventative Conservation Measures (e.g. repointing masonry; note which heritage attributes and features would be impacted and where, materials to be used, specifications and techniques):

Major Alterations, Additions and/or New Construction (note which attributes to be impacted, location of work, materials to be used, specifications and techniques):

Restoration (i.e. replicating or revealing lost elements and features; note which attributes to be impacted and where, materials to be used, specifications and techniques):

F. SCOPE OF WORK IMPACTING HERITAGE PROPERTY

(Check all that apply)

NEW CONSTRUCTION IS PROPOSED ☐
DEMOLISH ☐ ALTER ☒ EXPAND ☐ RELOCATE ☐

G. SITE STATISTICS (For addition and construction of new structures)

LOT DIMENSIONS FRONTAGE _____ DEPTH _____
LOT AREA _____m2
EXISTING BUILDING COVERAGE _____%
BUILDING HEIGHT EXISTING _____m
 PROPOSED _____m
BUILDING WIDTH EXISTING _____m
 PROPOSED _____m
ZONING DESIGNATION _____

OTHER APPROVALS REQUIRED: (Check off only if required)

MINOR VARIANCE (COA) _____
SITE PLAN APPROVAL _____
BUILDING PERMIT _____
CONSERVATION AUTHORITY _____
SIGN BYLAW APPROVAL _____

(Note: IF YES, other approvals should be scheduled after the Heritage Permit has been approved by City Council)

H. CHECKLIST OF REQUIRED INFORMATION SUBMITTED

(Check all that apply)

- ☐ REGISTERED SURVEY
- ☐ SITE PLAN (showing all buildings and vegetation on the property)
- ☐ EXISTING PLANS & ELEVATIONS - AS BUILT
- ☐ PROPOSED PLANS & ELEVATIONS
- ☐ PHOTOGRAPHS
- ☐ MATERIAL SAMPLES, BROCHURES, ETC
- ☐ CONSTRUCTION SPECIFICATION DETAILS


I. AUTHORIZATION / DECLARATION

I HEREBY DECLARE THAT THE STATEMENTS MADE HEREIN ARE, TO THE BEST OF MY BELIEF AND KNOWLEDGE, A TRUE AND COMPLETE PRESENTATION OF THE PROPOSED APPLICATION.

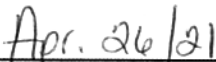
I UNDERSTAND THAT THIS HERITAGE PERMIT DOES NOT CONSTITUTE A BUILDING PERMIT PURSUANT TO THE ONTARIO BUILDING CODE.

I ALSO HEREBY AGREE TO ALLOW THE APPROPRIATE STAFF OF THE CITY OF BRAMPTON TO ENTER THE SUBJECT PROPERTY IN ORDER TO FULLY ASSESS THE SCOPE AND MERITS OF THE APPLICATION.

(Property entry, if required, will be organized with the applicant or agent prior to entry)



Signature of Applicant or Authorized Agent



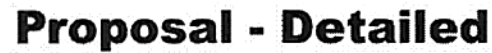
Date of Submission

Heritage Permit applications are submitted to the Planning, Design and Development Department, 3rd Floor Counter, Brampton City Hall,

The personal information on this form is collected under the authority of the *Ontario Heritage Act*, RSO 1990. The information will be used to process the Heritage Permit Application. Questions about the collection of personal information should be directed to the Heritage Coordinator, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, 905-874-3825.

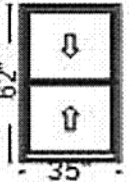
J. APPROVAL CHECKLIST
(Internal use only)

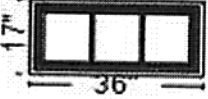
Authority:	Date:	Resolution:
Brampton Heritage Board	_____	_____
Planning Committee (PDD)	_____	_____
City Council	_____	_____



Sales Rep Name:
Sales Rep Phone:
Sales Rep E-Mail:
Sales Rep Fax:

Customer Information	Project/Delivery Address	Order Information
Advance Windows 383 ORENDA RD, BRAMPTON, ON L6T 1G4 Primary Phone: (905) 6705925 Mobile Phone: Fax Number: E-Mail: advancewindows@yahoo.ca Contact Name: Great Plains #: 1006105314 Customer Number: 1009945885 Customer Account: 1006105314	Advance - Historic Wood Lot # , ON County: Owner Name: Advance Windows Owner Phone: (905) 6705925	Quote Name: Advance - Historic Wood Order Number: 425 Quote Number: 13997147 Order Type: Non-Installed Sales Wall Depth: Payment Terms: Tax Code: HST Cust Delivery Date: None Quoted Date: 4/26/2021 Contracted Date: Booked Date: Customer PO #:

Line #	Location:	Attributes
10	3 x double hung	<div>  <p>Viewed From Exterior Rough Opening: 35 - 3/4" X 62 - 3/4"</p> </div> <div> <p>Pella® Reserve, Traditional, Double Hung, 35 X 62</p> <p>Qty 3</p> </div>
	<p>PK # 2087</p>	<p>1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal Frame Size: 35 X 62</p> <p>General Information: Standard, Luxury, Wood, Pine, 4 3/8", 4 3/16"</p> <p>Exterior Color / Finish: Primed, Primed Wood</p> <p>Interior Color / Finish: Unfinished Interior</p> <p>Sash / Panel: Putty Glaze, Ogee, Standard, No Sash Lugs</p> <p>Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude</p> <p>Hardware Options: Cam-Action Lock, Champagne, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor</p> <p>Screen: Full Screen, Standard EnduraClad, White, Premium, InView™</p> <p>Performance Information: U-Factor 0.28, SHGC 0.28, VLT 0.53, CPD PEL-N-234-00253-00001, ER 21, Performance Class CW, PG 45, Calculated Positive DP Rating 45, Calculated Negative DP Rating 45, Year Rated 08 11, Egress Meets Typical 5.7 sqft (E) (United States Only)</p> <p>Grille: No Grille,</p> <p>Wrapping Information: No Exterior Trim, 4 3/16", 4 3/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 194".</p>

Line #	Location:	Attributes	
15	Fixed	Pella® Reserve, Traditional, Sash Set, Fixed, 36 X 17	Qty
			1
			
Viewed From Exterior			
Rough Opening: 36 - 3/4" X 17 - 3/4"			
PK # 2087			
1: Traditional, Non-Standard SizeNon-Standard Size Fixed Sash Set			
Frame Size: 36 X 17			
General Information: Standard, Wood, Pine, 4 3/8", 4 3/16"			
Exterior Color / Finish: Primed			
Interior Color / Finish: Unfinished Interior			
Sash / Panel: Putty Glaze, Ogee, Standard			
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude			
Performance Information: U-Factor 0.27, SHGC 0.27, VLT 0.50, CPD PEL-N-41-37471-00002, ER 22, Performance Class CW, PG 50, Calculated Positive			
DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11			
Grille: ILT, No Custom Grille, 5/8", Traditional (3W1H), Putty Glaze, Ogee			
Wrapping Information: No Exterior Trim, 4 3/16", 4 3/8", Factory Applied, Pella Recommended Clearance, Perimeter Length = 106".			

Line #	Location:	Attributes	
20	Install Tape	TRIACCTORM050001 - Install Tape 150 OCFV0000	Qty
			1

Line #	Location:	Attributes	
25	Delivery	C - Delivery A - C - Delivery (Zone A)	Qty
			1





South Side

North Side, Vinyl Window
in Front, Wood Window at
Back





South Side, Upper and
Lower wood Windows



North Side, Vinyl Front



North Side, Back Wood
Window



South Side, Wood Lower
Window

Existing Front Door with
Metal Storm Door



Existing Steel Front
Door



North Side, Back Wood
Window, from Inside





North Side, Front Vinyl
Window



South Side, Lower Wood
Window

South Side, Upper Wood
Window



Properties

PIN

14128 - 0401 LT

Description

PT OF LT 118, PL BR24 DES AS PT 2 PL 43R17660. T /W EASEMENTOVER PT LT 118, PL BR24 DES AS PT 1 PL 43R17660 AS IN PR1353878.; CITY OF BRAMPTON

Address

250 MAIN STREET NORTH
BRAMPTON

Applicant(s)

This Order/By-law affects the selected PINs.

Name

THE CORPORATION OF THE CITY OF BRAMPTON

Address for Service

2 Wellington Street West
Brampton, Ontario
L6Y 4R2

This document is being authorized by a municipal corporation , THE CORPORATION OF THE CITY OF BRAMPTON by Kalsang (Kelly) Phuntsok per Authorizing By-Law 191-2011.

This document is not authorized under Power of Attorney by this party.

Statements

This application is based on the Municipality By-Law No. 379-2006 dated 2006/12/13.

Schedule: See Schedules

Signed By

Kalsang Phuntsok

2 Wellington St. West
Brampton
L6Y 4R2

acting for
Applicant(s)

Signed

2012 01 25

Tel

9058742000

Fax

9058742699

I have the authority to sign and register the document on behalf of the Applicant(s).

Submitted By

THE CORPORATION OF THE CITY OF BRAMPTON

2 Wellington St. West
Brampton
L6Y 4R2

2012 01 25

Tel

9058742000

Fax

9058742699

Fees/Taxes/Payment

Statutory Registration Fee

\$60.00

Total Paid

\$60.00

File Number

Applicant Client File Number :

G01.HER



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 379-2006

To designate the property at 250 Main Street North (Thomas Dale House) as being of cultural heritage value or interest.

WHEREAS Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O. 18 (as amended) authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;

WHEREAS the Brampton Heritage Board supports the designation of the properties described herein;

WHEREAS a Notice of Intention to Designate has been published and served in accordance with the Act, and there has been no Notice of Objection served on the Clerk;

NOW THEREFORE the Council of the Corporation of the City of Brampton HEREBY ENACTS as follows:

1. The property at 250 Main Street North (Thomas Dale House) more particularly described in Schedule "A" is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the *Ontario Heritage Act*.
2. The City Clerk shall cause a copy of this by-law to be registered against the property described in Schedule "A" to this by-law in the proper Land Registry Office.
3. The City Clerk shall cause a copy of this by-law to be served upon the owners of the property at 250 Main Street North (Thomas Dale House) and upon the Ontario Heritage Trust and to cause notice of this by-law to be published in a newspaper having general circulation in the City of Brampton as required by the *Ontario Heritage Act*.
4. The City Clerk shall serve and provide notice of this by-law in accordance with the Act.
5. The short statement of the reason for the designation of the property, including a description of the heritage attributes are set out in Schedule "B" to this by-law.
6. The affidavit of Kathryn Zammit attached, as Schedule "C" hereto shall form part of this by-law.

READ A FIRST, SECOND AND THIRD TIME AND PASSED IN OPEN COUNCIL
THIS 13th DAY OF DECEMBER, 2006.

Approved as
to form

C. Fennell
04 12 06

Susan Fennell
SUSAN FENNELL – MAYOR

Kathryn Zammit
KATHRYN ZAMMIT – CLERK

Approved as to Content:

Karl Walsh

Karl Walsh, Director, Community Design, Parks Planning and Development

SCHEDULE "A" TO BY-LAW 379 - 2006

LEGAL DESCRIPTION

LT 118, PL BR24; Brampton

14128-0233 (LT)

**SHORT STATEMENT OF THE REASON FOR THE DESIGNATION OF
THOMAS DALE HOUSE**

Heritage designation of Thomas Dale House, 250 Main Street North, is recommended under Part IV of the Ontario Heritage Act, for architectural, historical and contextual reasons.

The property is a significant cultural heritage resource. The ranges of heritage attributes (architectural, contextual and historical) found on the property are extensive and generally well preserved.

Historical associations are present with early European-Canadian settlement and the Dale family, founders of one of Brampton's most important flower growing operations and Brampton's "flower town" heritage. The wood frame vernacular Gothic Revival house on this property was built about 1874 for A.O. Fuller.

Thomas Dale (1871-1944) was the son of Edward Dale and brother of Harry Dale, founders of Dale Estate Nurseries. The Dale family owned this property from about 1903 to 1956. Thomas Dale was an executive with the Dale Estates. For a period of time this house was heated by steam, piped in from the nearby greenhouses. Other houses in the neighbourhood were also heated by steam.

Geographical and cultural interactions exist between the Thomas Dale house and historic streetscape of significant mid and late 19th century single-family homes along Main Street North. The house also contributes much to the prominent gateway into the downtown and it is clearly linked to the nearby site of the Dale Estates nursery. In fact, fire insurance maps show the Dale greenhouses actually abutting the northeast corner of the property line. When the Dales owned the property several well-tended flowerbeds surrounded the house.

The architectural heritage attributes exhibited by the house are significant. The house is a good surviving example of vernacular Gothic Revival architecture, with steeply pitched gables, a pointed gothic window on the second storey and a decorative wooden crown over the second storey double window, vertical corner boards decorated with braided wood rope detailing running the length of each board, wood window and door architraves. Edwardian architectural influences are also prominent. They include: the front verandah and front picture window. The bowed shape of the verandah is unique in this neighbourhood. The house presents a good example of how two distinct architectural styles can blend effectively.

This house is generally well preserved; retaining its very prominent and well-designed Edwardian front verandah, along with decorative wood architraves around window and door openings and rare roughcast stucco cladding.

The short statement of reason for the designation, including a description of the heritage attributes along with all other components of the full Heritage Report: Statement of Reason for Heritage Designation, constitute the "reason for heritage designation" required under the Ontario Heritage Act. The full Heritage Report is

available for viewing in the City Clerk's office at City Hall, during regular business hours.

DESCRIPTION OF HERITAGE ATTRIBUTES (CHARACTER DEFINING ELEMENTS):

Unless otherwise indicated, the reason for designation apply generally to all exterior elevations, facades, foundation, roof and roof trim, all entrances, windows, structural openings and associated trim, all architectural detailing, construction materials of wood, stone, brick, plaster parging, metal and glazing, their related building techniques. Specific heritage attributes of significance include:

Exterior Architectural Heritage Attributes:

Gothic massing with steeped pitched gable roofs; rough cast stucco exterior cladding; very significant and beautifully designed Edwardian front verandah with: wood Doric columns, wood balustrade, pediment with fish scale shingling inside pediment, tongue in groove ceiling, bowed shape to centre portion of verandah, panelled boxed pedestals supporting the columns, frieze decorated with dentils; moulded wood architraves decorating window and door openings; segmental arched window openings; fixed stained glass transom panel over front picture window; triangular shaped wooden crown with decorative scroll details, over the double window on second storey; vertical wood corner boards with braided wood rope detailing running the length of each board; horizontal wood apron; wood soffits and fascia.

Contextual Heritage Attributes:

Geographical and cultural interactions exist with historic Main Street North; part of late 19th century residential streetscape; contributes much to the prominent gateway into the downtown; geographically linked to the nearby site of the Dale Estates nursery.

Historical /Cultural Heritage Attributes:

Historical associations with Dale family and Dale Estate Nurseries; historical references to steam heating from Dale greenhouses; symbolic of Brampton's flower town heritage; good example of mid Victorian single family home; helps interpret the historical development of the community.

SCHEDULE "C" TO BY-LAW 379-2006

AFFIDAVIT OF KATHRYN ZAMMIT

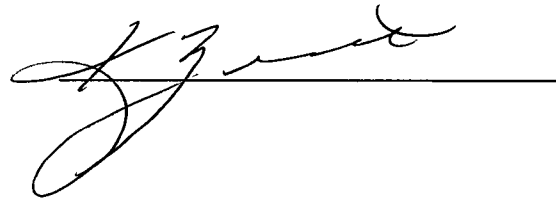
I, KATHRYN ZAMMIT, of the Town of Caledon in the Region of Peel, MAKE OATH AND SAY:

1. I am the Clerk for the Corporation of the City of Brampton and as such I have knowledge of the facts therein contained.
2. The public notice of intention to designate "250 Main Street North (Thomas Dale House)" was served on the owner of the property and was advertised, in the form attached as Exhibit A to this my affidavit, in the Brampton Guardian, a newspaper having general circulation in the City of Brampton, on November 10 2006.
4. The by-law to designate the "250 Main Street North (Thomas Dale House)" came before City Council at a Council meeting on December 13 2006 and was approved.
5. A copy of the by-law, including a short statement of the reason for the designation has been served upon the owner of the property and the Ontario Heritage Trust and notice of such by-law was published in the Brampton Guardian on June 29 2006. *KZ*

SWORN before me at the City)
of Brampton, in the Region)
of Peel, this)
day of 3rd July 2007)



A Commissioner for Taking Affidavits, etc.



NOTICE

IN THE MATTER OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER O. 18, AND THE MATTER OF THE LANDS AND PREMISES KNOWN AS THE THOMAS DALE HOUSE, LOCATED AT 250 MAIN STREET NORTH IN THE CITY OF BRAMPTON, IN THE PROVINCE OF ONTARIO:

NOTICE OF INTENTION TO DESIGNATE

TAKE NOTICE that the Council of the City of Brampton intends to designate property, being the Thomas Dale House and lands upon which the building is situated, at 250 Main Street North in the City of Brampton, in the Province of Ontario, as a property of cultural heritage value or interest under Part IV of the Ontario Heritage Act, R.S.O. c. O. 18.

SHORT STATEMENT OF THE REASON FOR THE DESIGNATION

Heritage designation of Thomas Dale House, 250 Main Street North, is recommended under Part IV of the Ontario Heritage Act, for architectural, historical and contextual reasons.

The property is a significant cultural heritage resource. The ranges of heritage attributes (architectural, contextual and historical) found on the property are extensive and generally well preserved.

Historical associations are present with early European-Canadian settlement and the Dale family, founders of one of Brampton's most important flower growing operations and Brampton's "flower town" heritage. The wood frame vernacular Gothic Revival house on this property was built about 1874 for A.O. Fuller.

Thomas Dale (1871-1944) was the son of Edward Dale and brother of Harry Dale, founders of Dale Estate Nurseries. The Dale family owned this property from about 1903 to 1956. Thomas Dale was an executive with the Dale Estates. For a period of time this house was heated by steam, piped in from the nearby greenhouses. Other houses in the neighbourhood were also heated by steam.

Geographical and cultural interactions exist between the Thomas Dale house and historic streetscape of significant mid and late 19th century single-family homes along Main Street North. The house also contributes much to the prominent gateway into the downtown and it is clearly linked to the nearby site of the Dale Estates nursery. In fact, fire insurance maps show the Dale greenhouses actually abutting the northeast corner of the property line. When the Dales owned the property several well-tended flowerbeds surrounded the house.

The architectural heritage attributes exhibited by the house are significant. The house is a good surviving example of vernacular Gothic Revival architecture, with steeply pitched gables, a pointed gothic window on the second storey and a decorative wooden crown over the second storey double window, vertical corner boards decorated with braided wood rope detailing running the length of each board, wood window and door architraves. Edwardian architectural influences are also prominent. They include: the front verandah and front picture window. The bowed shape of the verandah is unique in this neighbourhood. The house presents a good example of how two distinct architectural styles can blend effectively.

This house is generally well preserved; retaining its very prominent and well-designed Edwardian front verandah, along with decorative wood architraves around window and door openings and rare roughcast stucco cladding.

DESCRIPTION OF HERITAGE ATTRIBUTES

To ensure that the cultural heritage significance of this property remains intact, certain heritage attributes are to be conserved, and they include:

Exterior Architectural Heritage Attributes:

Gothic massing with steeped pitched gable roofs; rough cast stucco exterior cladding; very significant and beautifully designed Edwardian front verandah with: wood Doric columns, wood balustrade, pediment with fish scale shingling inside pediment, tongue in groove ceiling, bowed shape to centre portion of verandah, panelled boxed pedestals supporting the columns, frieze decorated with dentils; moulded wood architraves decorating window and door openings; segmental arched window openings; fixed stained glass transom panel over front picture window; triangular shaped wooden crown with decorative scroll details, over the double window on second storey; vertical wood corner boards with braided wood rope detailing running the length of each board; horizontal wood apron; wood soffits and fascia.

Contextual Heritage Attributes:

Geographical and cultural interactions exist with historic Main Street North; part of late 19th century residential streetscape; contributes much to the prominent gateway into the downtown; geographically linked to the nearby site of the Dale Estates nursery.

Historical /Cultural Heritage Attributes:

Historical associations with Dale family and Dale Estate Nurseries; historical references to steam heating from Dale greenhouses; symbolic of Brampton's flower town heritage; good example of mid Victorian single family home; helps interpret the historical development of the community.

The short statement of reason for the designation, including a description of the heritage attributes along with all other components of the detailed Heritage Report: Statement of Reason for Heritage Designation, constitute the "reason for heritage designation" required under the *Ontario Heritage Act*.

Please contact Jim Leonard, Heritage Coordinator in Urban Design Section, Planning, Design and Development Department at (905) 874-3825 to view this document, and for further information.

Notice of objections to the proposed designation may be served on the Clerk no later than 4:30 p.m. on December 11, 2006 (within 30 days of the publication of this notice).

Dated at the City of Brampton on this 10th day of November 2006.

Kathryn Zammit, City Clerk, City of Brampton

Friday, June 29, 2007

www.thebramptonguardian.com

THE BRAMPTON GUARDIAN - 19

We need to find ways to slow down development

Continued from pg. 11

across the way is a green carpet of young corn.

In a few short years, all this and thousands more acres of Canada's finest food-growing land is going to be 'industrial and residential' and the people who come to occupy the area will have no clue as to what has been destroyed to accommodate them.

Even if all the local and even provincial politicians magically went green overnight, there is little likelihood the scourge of urbanization could be stopped in the near future; but, there is opportunity to at least mitigate some of the damage.

Any law whose intent was to stop development would be litigated into oblivion in no time, but 'reasonable' building bylaws, those which required something less than state-of-the-art technology before a development permit was issued, might stand at least a ghost of a chance against the combined assault of lawyers and lobbyists.

For a start, any conversion of land from agricultural to non-agricultural use must be at least energy and carbon neutral.

For instance, all the electricity needed by a new industrial development must come from local renewable generation. The footprint of even the largest wind turbine is not large and what little noise the spinning blades make would be small in relation to the general hubbub associated with manufacturing and transportation.

Support green development

The acres of flat heat-absorbing and heat-leaking roofs must be either 'green'—covered with a thick layer of water retaining growing medium which will support selected vegetation—to delay run-off and improve thermal efficiency, or they must support arrays of photovoltaics to supply electricity.

Heating and air conditioning must also tap local CO2 free supplies like ground source heating. If existing trees have to be cut down, then an equivalent acreage must be shown to have been planted and endowed for at least the lifetime of the development.

As for new residential building, the same principles of self sufficiency must be required and no permit should be issued for any design that does not incorporate the most up-to-date proven methods of thermal conservation.

In any new sub-division, all houses should be oriented so as to take maximum advantage of solar energy and some minimum percentage of every roof area should be designated for photovoltaic panels or supplementary hot water heating. If sufficient power cannot be reasonably generated on site, then a covenant on the property must ensure that imported power come only from renewable, carbon-free, sources.

Will it cost the new inhabitants more? Probably yes—at least initially until the capital costs are amortized.

Will it affect development? It certainly won't stop it, but it might slow things down for a few months until all the screaming is reduced to a dull roar and developers adjust to the new reality.

Is it 'reasonable'? Time alone will tell.

Brampton

NOTICE

IN THE MATTER OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER O. 18, AND THE MATTER OF THE LANDS AND PREMISES KNOWN AS THE PARK ROYAL APARTMENT, LOCATED AT 8 WELLINGTON STREET WEST IN THE CITY OF BRAMPTON, IN THE PROVINCE OF ONTARIO:

NOTICE OF INTENTION TO DESIGNATE

TAKE NOTICE that the Council of the City of Brampton intends to designate property, being the Park Royal Apartment and lands upon which the building is situated, at 8 Wellington Street West in the City of Brampton, in the Province of Ontario, as a property of cultural heritage value or interest under Part IV of the Ontario Heritage Act, R.S.O. c. O. 18.

SHORT STATEMENT OF THE REASON FOR THE DESIGNATION

The Park Royal Apartment at 8 Wellington Street West is a noteworthy and unique landmark property in downtown Brampton. It was built in 1939 as the first "purpose built" apartment complex in the City of Brampton.

The Park Royal Apartment is historically associated with several prominent individuals. The apartment was built for Dr. Robert James Hiscox. Hiscox was the owner and publisher of the Peel Gazette, an influential weekly newspaper in Peel County. Hiscox also practiced dentistry in Brampton and was a Liberal candidate in the 1948 provincial election.

The architect was Robert W. Hall, a respected architect in Peel County prior to the Second World War. Hall also designed several local schools including the original Peel County High School and the Peel Memorial Hospital.

The building is an excellent example of the construction work of Harry Hergaarden, Sr. one of Brampton's most important 20th century building contractors. Hergaarden also built several commercial buildings and houses including the home of the Hon. William G. Davis on Main Street South.

The Park Royal Apartment building is an extremely rare example of the streamlined Art Moderne style, a major architectural design variant stemming from the Art Deco period. The Park Royal is essentially a "one of a kind" in Brampton in terms of the Art Deco/Moderne style being applied to an apartment building. The owner and architect made a concerted effort to ensure their building was "in vogue" and thoroughly "modern".

The building design features several evocative Art Moderne elements including: a rectangular plan with distinctive rounded buff brick walls on all four sides, a flat uninterrupted roof without any cornice details, smooth curving surfaces and horizontal fenestration. The Park Royal is among the most important early modern buildings in Peel Region.

As a cultural heritage landscape the entire property is significant. It is situated on a conspicuous corner lot at Wellington Street West and George Street. The low-rise apartment building, surrounded by generous lawns and open space, complements and blends into its immediate surroundings, which include late Victorian and Edwardian homes and Gage Park, located directly to the south. The property actually presents a critically important transitional buffer between Gage Park and the contemporary, less sympathetic commercial and office buildings now running along George Street. It is also one of many important landmark buildings in the immediate vicinity including the Peel County Courthouse, Alderlea and the historic houses

along Main Street South. The Park Royal Apartment building at 8 Wellington Street West holds cultural heritage value.

Heritage designation, under Part IV of the Ontario Heritage Act, is recommended for architectural, historical and contextual reasons.

DESCRIPTION OF HERITAGE ATTRIBUTES

Unless otherwise indicated, the reason for designation apply generally to all exterior elevations, facades, foundation, roof and roof trim, all doors, windows, other structural openings and associated trim, all architectural detailing, construction materials of wood, stone, brick, plaster parging, metal and glazing and related building techniques, fencing, all trees, shrubs, hedgerows, other vegetation and the grounds and vistas generally.

The short statement of reason for the designation, including a description of the heritage attributes along with all other components of the detailed Heritage Report: Statement of Reason for Heritage Designation, constitute the "reason for heritage designation" required under the Ontario Heritage Act.

Please contact Jim Leonard, Heritage Coordinator in Urban Design Section, Planning, Design and Development Department at (905) 874-3825 to view this document, and for further information. Notice of objections to the proposed designation may be served on the Clerk no later than 4:30 p.m. on July 30th, 2007 (within 30 days of the publication of this notice).

Dated at the City of Brampton on this 29th day of June 2007

Kathryn Zammit, City Clerk, City of Brampton

NOTICE OF PASSING OF BY-LAW

IN THE MATTER OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER O. 18, AND IN THE MATTER OF THE LANDS AND PREMISES KNOWN MUNICIPALLY AS THOMAS DALE HOUSE, 250 MAIN STREET NORTH IN THE CITY OF BRAMPTON, IN THE PROVINCE OF ONTARIO.

TAKE NOTICE that the Council of the Corporation of the City of Brampton enacted By-law Number 379-2006 on the 13th day of December, 2006, to designate Thomas Dale House, 250 Main Street North in the City of Brampton as being of cultural heritage value or interest under Part IV subsection 29(1) of the Ontario Heritage Act, R.S.O. c. O. 18. Dated at the City of Brampton on this 26th, day of June 2007.

Kathryn Zammit, City Clerk, City of Brampton.

NOTICE OF PASSING OF BY-LAW

IN THE MATTER OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER O. 18, AND IN THE MATTER OF THE LANDS AND PREMISES KNOWN MUNICIPALLY AS ALLOA CEMETERY, WANLESS DRIVE AND CREDITVIEW ROAD IN THE CITY OF BRAMPTON, IN THE PROVINCE OF ONTARIO.

TAKE NOTICE that the Council of the Corporation of the City of Brampton enacted By-law Number 382-2006 on the 13th day of December, 2006, to designate Aloa Cemetery, Wanless Drive and Creditview Road in the City of Brampton as being of cultural heritage value or interest under Part IV subsection 29(1) of the Ontario Heritage Act, R.S.O. c. O. 18. Dated at the City of Brampton on this 26th, day of June 2007.

Kathryn Zammit, City Clerk, City of Brampton.

NOTICE OF PASSING OF BY-LAW

IN THE MATTER OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER O. 18, AND IN THE MATTER OF THE LANDS AND PREMISES KNOWN MUNICIPALLY AS HILLTOP-GORE CEMETERY, THE GORE ROAD IN THE CITY OF BRAMPTON, IN THE PROVINCE OF ONTARIO.

TAKE NOTICE that the Council of the Corporation of the City of Brampton enacted By-law Number 384-2006 on the 13th day of December, 2006, to designate Hilltop-Gore Cemetery, The Gore Road in the City of Brampton as being of cultural heritage value or interest under Part IV subsection 29(1) of the Ontario Heritage Act, R.S.O. c. O. 18. Dated at the City of Brampton on this 26th, day of June 2007.

Kathryn Zammit, City Clerk, City of Brampton.

NOTICE OF PASSING OF BY-LAW

IN THE MATTER OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER O. 18, AND IN THE MATTER OF THE LANDS AND PREMISES KNOWN MUNICIPALLY AS HUTTONVILLE CEMETERY, MISSISSAUGA ROAD IN THE CITY OF BRAMPTON, IN THE PROVINCE OF ONTARIO.

TAKE NOTICE that the Council of the Corporation of the City of Brampton enacted By-law Number 385-2006 on the 13th day of December, 2006, to designate Huttonville Cemetery, Mississauga Road in the City of Brampton as being of cultural heritage value or interest under Part IV subsection 29(1) of the Ontario Heritage Act, R.S.O. c. O. 18. Dated at the City of Brampton on this 26th, day of June 2007.

Kathryn Zammit, City Clerk, City of Brampton.

NOTICE OF PASSING OF BY-LAW

IN THE MATTER OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER O. 18, AND IN THE MATTER OF THE LANDS AND PREMISES KNOWN MUNICIPALLY AS BRAMPTON PIONEER CEMETERY, MAIN STREET NORTH IN THE CITY OF BRAMPTON, IN THE PROVINCE OF ONTARIO.

TAKE NOTICE that the Council of the Corporation of the City of Brampton enacted By-law Number 383-2006 on the 13th day of December, 2006, to designate Brampton Pioneer Cemetery, Main Street North in the City of Brampton as being of cultural heritage value or interest under Part IV subsection 29(1) of the Ontario Heritage Act, R.S.O. c. O. 18. Dated at the City of Brampton on this 26th, day of June 2007.

Kathryn Zammit, City Clerk, City of Brampton.

NOTICE OF PASSING OF BY-LAW

IN THE MATTER OF THE ONTARIO HERITAGE ACT, R.S.O. 1990, CHAPTER O. 18, AND IN THE MATTER OF THE LANDS AND PREMISES KNOWN MUNICIPALLY AS MCVEAN FARM SITE, MCVEAN DRIVE IN THE CITY OF BRAMPTON, IN THE PROVINCE OF ONTARIO.

TAKE NOTICE that the Council of the Corporation of the City of Brampton enacted By-law Number 380-2006 on the 13th day of December, 2006, to designate McVean Farm Site, McVean Drive in the City of Brampton as being of cultural heritage value or interest under Part IV subsection 29(1) of the Ontario Heritage Act, R.S.O. c. O. 18. Dated at the City of Brampton on this 26th, day of June 2007.

Kathryn Zammit, City Clerk, City of Brampton.

A reminder from Peel Regional Police
and Canadians for Safe and Sober Driving / ADD

DON'T DRINK AND DRIVE!



Date: 2021-04-26

Subject: **Heritage Permit Application and Designated Heritage Property Incentive Grant Application – 38 Isabella St. – Ward 1 (HE.x 38 Isabella St.)**

Contact: **Harsh Padhya, Heritage Planner; City Planning & Design**
Harsh.Padhya@brampton.ca

Report Number: Planning, Bld & Ec Dev-2021-544

Recommendations:

1. That the report from Harsh Padhya, Heritage Planner; City Planning & Design, dated April 19, 2021 to the Brampton Heritage Board Meeting of May 18, 2021, **re: Heritage Permit Application and Designated Heritage Property Incentive Grant Application – 38 Isabella St. – Ward 1 (HE.x 38 Isabella St.)**, be received;
2. That the Heritage Permit application for 38 Isabella St. for the restoration and repair of knee walls located on either side of the front entrance be approved;
3. That the Designated Heritage Property Incentive Grant application for the restoration and repair of kneewalls located on either side of the front entrance for 38 Isabella St. be approved, to a maximum of \$10,000.00, and;
4. The owner shall enter into a designated Heritage Property Incentive Grant Agreement with the City as provided in appendix C.

Overview:

- In accordance with Section 33 of the *Ontario Heritage Act*, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.

- The City of Brampton offers the Designated Heritage Property Incentive Grant Program to facilitate the ongoing maintenance, preservation, and restoration of residential and commercial designated heritage resources.
- The owner of 38 Isabella St. submitted both a Heritage Permit and a Designated Heritage Property Incentive Grant Program application for the restoration and repair of knee walls located on either side of the front entrance.
- This report recommends the approval of the Heritage Permit be subject to the conditions:
 - If any heritage attribute is damaged beyond repair, they will be replaced in kind.
- This report recommends the approval of the Heritage Permit application and Designated Heritage Property Incentive Grant application.
- This report meets the Term of Council Priorities by building on Brampton's commitment to sustainability by adaptively re-using existing building stock and contributing to sustainable growth.

Background:

38 Isabella is an exceptional example of the bricklayers trade. The masonry is laid in a complex pattern using clinker brick and protruding brick specials that display a range of kiln-fired glazes, shapes and finishes set against courses of standard Brampton pressed red brick. This type of masonry construction is distinctive and very unusual in Brampton. A few, much less intricate examples of this type of brick masonry can be found on Chapel Street, Mill Street South and some of the older residential neighbourhoods in Brampton.

The house was built in 1914. The property contributes much to the prevailing character and identity of the 'Washington Block' which is generally defined by a compatible blend of mid to late 19th century and early to mid 20th century detached, single family homes on large, heavily treed lots. Heritage attributes specifically mentions about brick kneewalls with stone caps flanking steps to main entrance – Designation Report attached as Appendix D with this report.

In accordance with Section 33 of the *Ontario Heritage Act*, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.

The City of Brampton's Designated Heritage Property Incentive Grant Program offers matching grant funds of up to \$10,000 for eligible conservation work to owners of properties designated under Part IV or V of the *Ontario Heritage Act*. The program is

designed to facilitate the ongoing maintenance, preservation, and restoration of residential and commercial designated heritage resources.

Current Situation:

The owner of 38 Isabella St. submitted both a Heritage Permit and a Designated Heritage Property Incentive Grant Program application for the restoration and repair of kneewalls located on either side of the front entrance.

The existing brick and mortar kneewalls located on either side of the front entrance have begun to crumble and will require replacement. The owners seek to remove the existing brick structures, retaining the existing original capstones and replacing existing brick with reclaimed or new brick, which more closely matches the brick used in the main house. The report recommends that wherever possible, to use historically accurate products to match the original look.

If any heritage attribute is damaged beyond repair they will be replaced in kind. The proposed restoration will contribute to the long-term stability of the resource's heritage attributes.

The Designated Heritage Incentive Grant By-law requires two quotes for all proposed work. The owner has submitted the necessary quotes (3) involving the same scope of work. Heritage staff therefore recommends the approval of the Heritage Permit application.

The owner of 38 Isabella St. submitted both a Heritage Permit and a Designated Heritage Property Incentive Grant Program application for the restoration and repair of kneewalls located on either side of the front entrance.

The existing brick and mortar kneewalls located on either side of the front entrance have begun to crumble and will require replacement. The owners seek to remove the existing brick structures, retaining the existing original capstones and replacing existing brick with reclaimed or new brick, which more closely matches the brick used in the main house. The report recommends that wherever possible, to use historically accurate products to match the original look.

If any heritage attribute is damaged beyond repair they will be replaced in kind. The proposed restoration will contribute to the long-term stability of the resource's heritage attributes.

The Designated Heritage Incentive Grant By-law requires two quotes for all proposed work. The owner has submitted the necessary quotes (3) involving the same scope of work. Heritage staff therefore recommends the approval of the Heritage Permit application.

Corporate Implications:

Financial Implications:

There are no new financial implications resulting from the adoption of this report. The recommended approval of up to \$10,000 for the subject grant application will be funded from the 2021 Operating Budget for the heritage program. There are sufficient funds available in this account for the subject property.

Other Implications:

None.

Term of Council Priorities:

This report meets the Term of Council Priorities by building on Brampton's commitment to sustainability by adaptively re-using existing building stock and contributing to sustainable growth.

Conclusion:

The Heritage Permit application and associated Designated Heritage Incentive Grant application, which offers funds to cover half of the cost of eligible conservation work up to a maximum of \$10,000.00, subject to available funding, on the condition that the property owner matches the grant.

The Heritage Permit process and incentives such as the Designated Heritage Property Incentive Grant Program foster the conservation of Brampton's cultural heritage assets and encourage private investment in these properties. The Grant application for 38 Isabella St. proposes restoration work for kneewalls at the entrance. It is recommended that the Heritage Permit application be approved.

Authored by:

Reviewed by:

Harsh Padhya
Heritage Planner

Michael Seaman, MCIP, RPP, CAHP, MEDS
Principal Planner/Supervisor of Heritage

Reviewed by:

Reviewed by:

Jeffrey Humble
Manager, Land Use Policy

Bob Bjerke, MCIP, RPP
Director, Policy Planning

Approved by:

Submitted by:

Richard Forward, MBA, MSc. P.Eng.,
Commissioner, Planning and
Development Services

David Barrick
Chief Administrative Officer

Attachments:

Appendix A - Heritage Permit Application: 38 Isabella St.

Appendix B - Designated Heritage Property Incentive Grant Application: 38 Isabella St.

Appendix C – Standard Agreement

Appendix D – Designation Report: 38 Isabella St.

DESIGNATED HERITAGE PROPERTY INCENTIVE GRANT AGREEMENT

This Agreement dated the ____ day of month, year

BETWEEN:

THE CORPORATION OF THE CITY OF BRAMPTON

(hereinafter referred to as the “**City**”)

and

insert name

(hereinafter referred to as the “**Owner**”)

WHEREAS the Owner is the registered owner of the Designated Heritage Property described in Schedule “A” attached to this Agreement (the “**subject lands**”) which are designated under either Part IV or Part V of the Ontario Heritage Act,

AND WHEREAS the Owner has applied to the City for a Designated Heritage Property Incentive Grant (“**Grant**”) with respect to the cultural heritage resource(s) located on the subject lands as described in the grant application dated day, month, year (the “**Grant Application**”),

AND WHEREAS the City has agreed to make such a Grant pursuant to Section 39 and 45 of the Ontario Heritage Act,

AND WHEREAS as a requirement of approval of such a Grant Application, the Owner is required by the City to enter into this Agreement,

NOW THEREFORE IN CONSIDERATION of the City making this Grant in the maximum amount of \$_____ to the Owner, the Owner and the City hereby agree:

1. INFORMATION ON SUBJECT LANDS

- 1.1. The Grant shall apply to the subject lands as set out in Schedule “A” attached hereto.
- 1.2. The subject lands are designated under the *Ontario Heritage Act*.

2. GRANT ELIGIBILITY

- 2.1 To be eligible for the Grant, the works on the subject lands shall conform to and fulfill:
 - a) the objectives and requirements of the Designated Heritage Property Incentive Grant Program; and
 - b) any other requirements as specified by the City.

- 2.2 The Owner acknowledges that it has received and read a copy of the Designated Heritage Property Incentive Grant Application Kit (the “**Kit**”), and the Owner covenants with the City that the Heritage Attributes of the subject lands shall be conserved and the Grant provided for in this Agreement shall be applied in accordance with the City's requirements for the Designated Heritage Property Incentive Grant Program.
- 2.3 The City shall review all cost estimates submitted in support of the Grant Application in evaluating the estimated conservation costs eligible for the Grant, which costs, when designated by the City shall constitute the maximum amount of the total Grant to be paid. In the event the City is not satisfied with said cost estimates, the City may substitute its opinion of such amounts for purposes of calculating the eligible conservation costs for the Grant. If the City is not in receipt of sufficient information satisfactory to the City to determine conservation costs and the amount of the Grant, the Grant Application will not be processed and the Grant Application file will be closed. The decision of the City regarding the total amount of conservation costs, the calculation of the total estimated maximum Grant and the calculation of the actual Grant payments is final, absolute and within the City's sole discretion.
- 2.4 The Grant will not be rewarded by the City until:
- a) the Owner contacts the City of Brampton Heritage staff to confirm the works are completed and to request that the City of Brampton Heritage staff attend the Designated Heritage Property to inspect the completed works;
 - b) the Owner provides proof of payment in accordance with the eligible conservation Works identified in the Grant Application;
 - c) a statutory declaration (refer Schedule B) by or on behalf of the Owner that the Owner has paid all accounts that are payable in connection with the installation and maintenance of works and that there are no outstanding claims relating to the works; and,
 - d) Designated Heritage Property has been inspected by City of Brampton Heritage staff or designate and the eligible conservation works are confirmed to be completed.
- 2.5 Notwithstanding the above, if the final costs come in less than the estimated costs identified in the Grant Application, the total value of the grant may not exceed 50% of the actual costs of eligible conservation works, up to the limit of **\$10,000.00**.

3. CORPORATE STATUS

- 3.1 Where the Owner is a corporation, the Owner hereby represents to the City that:
- a) the Owner has been duly incorporated as a corporation and is in good standing under the *Business Corporations Act* (Ontario) and is in compliance with all laws that may affect it and will remain so throughout the term of this Agreement;

- b) the Owner has the corporate capacity to enter into this Agreement and to perform and meet any and all duties, liabilities and obligations as may be required of it under this Agreement;
- c) to the best of its knowledge, there are no actions, suits or proceedings pending or threatened against or adversely affecting the Owner in any court or before or by any federal, provincial, municipal or other governmental department, commission, board, bureau or agency, Canadian or foreign, which might materially affect the financial condition of the Owner or title to their property or assets; and
- d) the Owner shall notify the City immediately of any material change in the conditions set out in paragraphs (a)-(c) above.

4. PROVISIONS RELATING TO THE OWNER

- 4.1. At the time of application for the Program, the Owner shall have submitted to the City for its review and acceptance
 - a) Photographs of the project site and of the features showing what and where the work will take place;
 - b) Historical photographs, illustrations or other forms of historical documentation of the property (if available); if not available, general historical references and graphical material that help illustrate what is proposed and why it is historically appropriate;
 - c) Drawings (as necessary) that adequately illustrate the scope and type of work and location that is being proposed;
 - d) At least two (2) competitive cost estimates for all labour and materials involved in the proposed work, unless there is only one specialized supplier of a particular product, trade or service in the GTA. Although not mandatory, owners who want to apply are encouraged to select suppliers, contractors and/or trades people that have demonstrated experience with heritage properties. Cost estimates must be sufficiently detailed so as to clearly indicate the scope and nature of work. If the proposed project includes both eligible and non-eligible work, the cost estimates must clearly differentiate between the two;
- 4.2. The Owner will complete all eligible conservation works as specified in the approved Grant Application, and in documentation submitted in support of the Grant Application, including but not limited to the architectural/design drawings, specifications, contracts, and cost estimates. As the City is relying upon this information, if the information in this Agreement, the Grant Application, and/or any supporting documentation submitted to the City is, in the opinion of the City, incomplete, false, inaccurate or misleading, the Grant may be reduced and/or delayed, and/or cancelled, and where part or all of the Grant has already been paid by the City, such payments shall be repaid by the Owner as required by the City.

- 4.3. The Owner shall not commence any works that are the subject of a Grant Application prior to receiving approval of the Grant Application, and approval and execution of this Agreement.
- 4.4. The Owner agrees that the works made to any buildings on the subject lands shall be made in compliance with all required building permits, and constructed in accordance with the Ontario Building Code and all applicable zoning by-law requirements, municipal requirements and other approvals required at law.
- 4.5. All proposed eligible conservation works shall conform to all municipal by-laws, policies, procedures, standards and guidelines.
- 4.6. Existing and proposed land uses are in conformity with applicable Official Plan(s), zoning by-law(s) and other planning requirements and approvals at both the local and regional level.
- 4.7. The Owner shall complete all eligible conservation works within on (1) year from the date of approval of the heritage property incentive grant by the Council, failing which, unless extended by the City, this Grant approval shall be at an end, there shall be no Grant, and this Agreement shall be terminated. The deadline imposed by this paragraph shall not include delays that are outside the control of the Owner as determined in the sole discretion of the City.
- 4.8. Upon completion of the eligible conservation works, the Owner shall provide the City with documentation satisfactory to the City as to the amount of the actual costs of conservation works incurred by the owner.
- 4.9. The Owner shall ensure there are no liens or other claims outstanding in respect of the subject lands, and that all accounts for work and materials which could give rise to any claim for a construction lien against the subject lands have been paid at the time the Owner provides proof that the eligible conservation works are completed in accordance with Section 2.4.
- 4.10. The Owner agrees to comply with the *Construction Act* (Ontario), including its holdback provisions and the Owner represents that it is not aware of any potential or unresolved lien claim in respect of the redevelopment.
- 4.11. The Owner covenants to the City that where the Designated Heritage Property for any reason cease to be in the Owner's ownership by sale, assignment or otherwise, prior to the advance of part or all of the Grant, the Owner will notify the City in writing of said pending ownership change at least 30 days prior to the ownership change taking place and shall advise the new Owner prior to any such sale or assignment that any monies payable pursuant to this Agreement shall be made payable to the Owner only.
- 4.12. The Owner acknowledges that without limiting the generality of the other provisions of this Agreement:
 - a) the onus and responsibility is upon the Owner at all times to assume all costs of

the eligible conservation works and to apply for and obtain, at the Applicant's expense, all approvals required from the City and all other agencies for said works;

- b) nothing in this Agreement limits or fetters the City in exercising its statutory jurisdiction under the *Ontario Heritage Act* or under any other legislative authority or by-law and that in the event the City decides to deny or oppose or appeal any such decision, that such action by the City is not in any manner limited by reason of the City entering into this Agreement;
 - c) the Owner releases the City from any liability in respect of the City's reviews, decisions, inspections or absence of inspections regarding eligible conservation works and the Owner agrees that it is the responsibility of the Owner to prepare and implement the works at all times;
 - d) nothing in this Agreement is intended to impose or shall impose upon the City any duty or obligation to inspect or examine the Designated Heritage Property for compliance or non-compliance or to provide an opinion or view respecting any condition of development approval; and,
 - e) nothing in this Agreement is intended to be or shall be construed to be a representation by the City regarding compliance of the Designated Heritage Property with: (1) applicable environmental laws, regulations, policies, standards, permits or approvals, or, (2) other by-laws and policies of the City.
- 4.14 If the City determines in its sole discretion that any of the conditions of this Agreement are not fulfilled, the City may at its sole discretion cease or delay payment of the Grant, and the Owner agrees that notwithstanding any costs or expenses incurred by the Applicant, the Owner shall not have any claim for compensation or reimbursement of these costs and expenses against the City, and that the City is not liable to the Owner for losses, damages, interest, or claims which the Owner may bear as a result of the lapse of time (if any) where the City is exercising its rights herein to either delay a Grant payment pending compliance with this Agreement, or to terminate this Agreement.
- 4.15 The Owner shall indemnify and save harmless from time to time and at all times, the City and its officers, employees, councillors, and agents from and against all claims, actions, causes of action, interest, demands, costs, charges, damages, expenses and loss made by any person arising directly or indirectly from:
- a) the City entering into this Agreement; and
 - b) any failure by the Owner to fulfil its obligations under this Agreement.

This indemnification shall, in respect of any matter arising prior to the termination of this Agreement, remain in force following termination or expiry of this Agreement.

5. PROVISIONS RELATING TO THE CITY

- 5.1 The City agrees to provide a Grant to the Owner estimated as of the date of this Agreement in the amount of \$_____, subject to and in accordance with the terms and provisions set out in this Agreement.

- 5.2 The City, its employees and agents are entitled to inspect the Designated Heritage Property and all fixtures and improvements upon the Designated Heritage Property at any time during usual business hours for the purpose of ascertaining their condition or state of repair or for the purpose of verifying compliance with the provisions of this Agreement.
- 5.3 The City retains the right at all times not to make any or all of Grant payments or to delay payment where the City deems that there is non-compliance by the Owner with this Agreement.
- 5.4 Except where expressly stated in this Agreement, all conditions in this Agreement are for the benefit of the City and may only be waived by the City. No waiver is effective unless in writing.

6. DEFAULT AND REMEDIES

- 6.1 The Owner agrees to maintain in good repair the improvements for which the Grant is provided. In the event that the Owner does not maintain in good repair said improvements, the City may:
- a) serve on the Owner a written Notice to Repair detailing the particulars of the failure to maintain and the particulars of needed repairs; and
 - b) provide the Owner with at least 30 days to make such repairs.
- 6.2 On the occurrence of an event of default pursuant to subsection 6.3, the City shall be entitled to its remedies to enforce this Agreement, including, but not limited to:
- a) delaying or ceasing the release of the Grant;
 - b) requiring repayment of the Grant; and/or
 - c) terminating this Agreement.
- 6.3 An event of default shall be deemed to occur upon any default of the Owner in complying with the terms set out in this Agreement, including, but not limited to, the following:
- a) the as constructed works do not comply with the description of the works as provided in the Grant Application and any other supporting documentation required by the City;
 - b) the works are not undertaken in conformity with the Ontario Building Code and all applicable zoning requirements and planning approvals;
 - c) the building is damaged by fire or otherwise, and repair or reconstruction is not commenced within 90 days;
 - d) the Owner is in property tax arrears with respect to the subject lands for more than 90 days;
 - e) any representation or warranty made by the Owner is incorrect in any material respect;

- f) failure to perform or comply with any of the obligations contained in this Agreement or contained in any other Agreement entered into between the Owner and the City;
- g) the Owner makes an assignment for the benefit of creditors, or assigns in bankruptcy or takes the advantage in respect of their own affairs of any statute for relief in bankruptcy, moratorium, settlement with creditors, or similar relief of bankrupt or insolvent debtors, or if a receiving order is made against the Applicant, or if the Owner is adjudged bankrupt or insolvent, or if a liquidator or receiver is appointed by reason of any actual or alleged insolvency, or any default of the Owner under any mortgage or other obligation, or if the subject lands or interest of the Owner in the subject lands becomes liable to be taken or sold by any creditors or under any writ of execution or other like process;
- h) construction ceases for a period of 60 days due to the Applicant's default (strikes and Acts of God excepted) and/or the Owner abandons the Designated Heritage Property or project; or
- i) if this Agreement is forfeited or is terminated by any other provision contained in it. (each of the above being an "event of default").

6.4 The City may at its sole discretion, provide the Owner with an opportunity to remedy any default.

7. ADDITIONAL PROVISIONS

- 7.1 The headings contained herein are for convenience only and shall not affect the meaning or interpretation thereof.
- 7.2 The approved Grant Application referred to may be amended by the Owner and the City from time to time, as they may agree.
- 7.3 Time shall be of the essence with respect to all covenants, Agreements and matters contained in this Agreement.
- 7.4 Any amendment, supplement, modification, waiver or termination of this Agreement shall be in writing and signed by the parties.
- 7.5 This Agreement shall be construed in accordance with the laws of the Province of Ontario and the laws of Canada applicable in the Province of Ontario and shall be treated in all respects as an Ontario contract.
- 7.6 Schedule "A" and "B" attached hereto forms part of this Agreement.

8. NOTICES

- 8.1 Where this Agreement requires notice to be delivered by one party to the other, such notice shall be in writing and delivered either personally, by e-mail, by fax or by prepaid registered first class post, by the party wishing to give such notice, to the other party at the address noted below:

Such notice shall be deemed to have been given:

- a) in the case of personal delivery, on the date of delivery;
- b) in the case of e-mail or fax, on the date of transmission provided it is received before 4:30 p.m. on a day that is not a holiday, as defined in the *Interpretation Act* (Ontario), failing which it shall be deemed to have been received the next day, provided the next day is not a holiday; and
- c) in the case of registered post, on the third day, which is not a holiday, following posting.

Notice shall be given:

To the Owner at:

Name

Address

Telephone No:

Cell No.:

E-mail:

To the City at:

The Corporation of the City of Brampton
Planning and Development Services
2 Wellington Street West
Brampton, ON L6Y 4R2

Attention: City of Brampton Heritage Staff
Telephone No:
E-mail: heritage@brampton.ca

IN WITNESS WHEREOF the parties hereto have hereunto set their hands and/or affixed their corporate seals attested by the hands of their proper officers duly authorized in that behalf.

Approved as to form – Legal Services ____/____/____ _____	Approved as to content-P&DS ____/____/____ _____	Approved as to content – FIS ____/____/____ _____
---	---	--

**THE CORPORATION OF THE CITY OF
BRAMPTON**

Mayor

Peter Fay, Clerk

Authorizing By-law _____

Witness:

SCHEDULE "A"

Legal Description of land

SCHEDULE "B"

Date:

XYZ

To Whom It May Concern:

RE: XYZ
Request for Heritage Incentive Grant

Please be advised that the City Of Brampton requires a statutory declaration as per Clause 4.4 (a) of the By-law and Designated Heritage Incentive Grant Program Kit in order for the Heritage Incentive Grant to be rewarded.

Please have a declaration prepared and sworn in the attached format and forward to the writer's attention.

We trust that you will give this matter your immediate attention.

Yours truly,

The information provided in this correspondence is current as of the date indicated above, and after such date is subject to change. Reasonable effort has been made to ensure the information contained herein is correct, however, The Corporation of the City of Brampton cannot certify or warrant the accuracy of the information and it accepts no responsibility for any errors, omissions or inaccuracies.

Enclosure

Province of Ontario) AND IN THE MATTER OF CLAUSE 3.1(b)
) OF THE BY-LAW AND DESIGNATED
 (insert here "Regional Municipality of) HERITAGE INCENTIVE GRANT
 Peel" or "City of Brampton")) PROGRAM KIT

I, _____ of the _____
 (name of individual) (City/Town)

in the _____ SOLEMNLY DECLARE THAT:
 (Municipality/County)

1. I am the _____ of _____
 (owner) (address)
 and as such have knowledge of the matters hereinafter deposed to.

2. All works required to be installed and completed on the property with municipal address have been completed and fully paid for and no one is entitled to a claim or lien in respect of labour or materials supplied in respect of such work.

AND I make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath.

DECLARED before me at the)
 of)
 in the)
 of)
 this _____ day of _____ 2020)
)
)
)

A Commissioner, etc.

)
 ()
 (print name of commissioner and date of
 expiry)

***DRAFT
HERITAGE REPORT:
REASONS FOR HERITAGE DESIGNATION***



August 2010

Jim Leonard
Heritage Coordinator
Planning, Design & Development



PROFILE OF SUBJECT PROPERTY:

ROLL NUMBER	141210146
PIN NUMBER	10-04-0-033-03700-0000
MUNICIPAL ADDRESS	38 Isabella Street
WARD NUMBER	5
LEGAL DESCRIPTION	PL BR 32 PT LOT 54
SECONDARY PLAN	
PROPERTY NAME	
CURRENT OWNER	John Furniotis / Denise Psaila
CRITERIA GRADE	B
CURRENT ZONING	Residential
OWNER CONCURRENCE?	YES
CURRENT USES AND FUNCTIONS	Residential
PREVIOUS OWNERS AND OCCUPANTS	
CONSTRUCTION OR CREATION DATE	1914

REASONS FOR HERITAGE DESIGNATION:

The subject property at 38 Isabella Street is a significant cultural heritage property. It is worthy of designation under Part IV of the Ontario Heritage Act for its cultural heritage value or interest.

The property meets the criteria for designation prescribed by the Province of Ontario regulation 9/06, under the three prescribed categories of design or physical value, historical value and/or contextual value.

GENERAL PROPERTY DESCRIPTION:

The property is within a residential plan of subdivision known as BR-32, registered on January 1, 1880 by Robert Lowes and known as the “Washington Block” plan of subdivision.

The focal point of the subject property is a single detached, brick masonry house on a prominent north-east corner lot shared with Lorne Avenue. The property has a 62 foot long frontage with a lot depth of 100 feet. The house faces Isabella Street.

The subject house is a side-gabled, one and a half storey, brick masonry structure with a prominent front gabled dormer window. The house has a rectangular plan.

There is also a detached, single car garage at the rear corner of the property with a driveway out to Lorne Avenue. The garage is original to the house, sharing the same distinctive brick masonry characteristics.

STATEMENT EXPLAINING THE CULTURAL HERITAGE VALUE OR INTEREST OF THE PROPERTY

The property at 38 Isabella Street is a significant heritage resource. The cultural heritage value is related primarily to the design and physical value of the house, along with contextual value.

Design / Physical Value

From a design perspective, the subject property is a good and generally well preserved example of a one and a half storey, side gabled bungalow in the American Arts and Crafts style (more typically known as the Craftsman style). The Craftsman influences include: generous use of clinker brick, large front dormer, sloped low pitched roofline, banks of windows and exposed rafter tails under eaves.

Some English cottage influences are also exhibited with the conspicuous use of half timbering and stucco cladding on the dormers and upper gable ends of the house.

The house retains considerable original and early heritage fabric including: massing, un-painted quarter-sawn oak front door and wood sash windows on the ground floor.

38 Isabella is an exceptional example of the bricklayers trade. The masonry is laid in a complex pattern using clinker brick and protruding brick specials that display a range of kiln-fired glazes, shapes and finishes set against courses of standard Brampton pressed red brick.

This type of masonry construction is distinctive and very unusual in Brampton. A few, much less intricate examples of this type of brick masonry can be found on Chapel Street, Mill Street South and some of the older residential neighbourhoods.

The use of clinker brick, along with rough stone window sills, lend a textured and rustic appearance to the house; very much in keeping with the Arts and Crafts style.

The brick scuppers, above the foundation on the front and north corners suggest that either the main porch was once open or was originally intended to be open but was enclosed during construction. Also of note is the knee wall flanking the main steps. Both masonry elements are well executed.

Historical / Associative Value

The property is situated in the heart of one of Brampton's downtown residential plans of subdivision known as "The Washington Block" or the BR-32 plan of subdivision.

Title search data suggest the subject house was built between 1914 and 1915.

The subject property is associated with Fenton Byron McIntyre. McIntyre, a Brant County building contractor, purchased part of lot 54 in August 1914. In December 1914 Fenton McIntyre married Violet Gertrude Fleming of Brampton and the couple presumably built the house to start their married lives together.

Registry Office data indicates that certain building contractors and tradespeople registered liens against the property in the Spring of 1915, providing rare documentary evidence of the contractors and tradespeople who built the house. The builders identified include: J. York and Sons (James York was a Brampton 'manufacturer' according to the 1911 census), Marcus I. Kindree (a carpenter based in Milton), and the R. Laidlaw Lumber Company (Robert Laidlaw established a large lumber business in the Milton area starting in 1871 and later in Toronto).

For a brief period in the 1950s the house was owned by Sarah Wallace Brown Trotter, a widow. Sarah Trotter had been employed by the Province of Ontario as head of a Reform Institution in Brampton. She left Brampton in June 1957 for Surrey, England.

Information provided by the current owners indicates that on November 4, 1957, Wallace Fraser Cuthbert and Alice Barbara Cuthbert purchased the house for the sum of \$16,700 from Sarah Trotter. The Cuthbert family spent the rest of their lives in the house.

Walter Cuthbert worked for the Canadian Pacific Railway (CPR) at Toronto's Union Station. Mr. and Mrs. Cuthbert collected antiques. They also operated a small antique shop out of the front sunroom (as described in an un-dated local newspaper article). Alice Cuthbert passed away in 1991 and Walter continued to live in the house alone until his death in 2000 at 89 years of age.

Contextual Value

The cultural heritage value of the property is also linked to its contextual value. The property is physically and historically linked to its surroundings. It has helped to maintain, support and define this well established neighbourhood since the early 20th century.

The property contributes much to the prevailing character and identity of the 'Washington Block' which is generally defined by a compatible blend of mid to late 19th century and early to mid 20th century detached, single family homes on large, heavily treed lots.

The house is a conspicuous and familiar building along the street, being on a corner lot.

The subject property helps interpret the residential growth and development of Brampton. 38 Isabella was built around the time of the adjacent "Rosedale Plan" (Plan D-12) to the west, which was registered in 1912. The gradual expansion of residential growth along the northern edges of the town began in this period as developers began identifying new growth areas outside the built-up core around Queen and Main Streets. When first built, the subject property was very close to fringes of the urban boundary, already dominated by the Dale Estate greenhouse complexes, just north of Lorne Avenue and along the east side of nearby Main Street North. The smoke stack from the Dale boiler house would have been clearly visible further north on Isabella Street, just beyond Vodden Street.

The landscape elements on the grounds contribute to the character of the house and neighbourhood. Elements include: lawns, mature trees, decorative wood fence, rear brick masonry garage, front walk, flower beds and foundation plantings.

The statement explaining the cultural heritage value or interest of the subject property, including a description of the heritage attributes of the property along with all other components of the Heritage Report: Statement of Reasons for Heritage Designation, constitute the "reason for heritage designation" required under the *Ontario Heritage Act*.

DESCRIPTION OF THE HERITAGE ATTRIBUTES OF THE PROPERTY:

Unless otherwise indicated, the reasons for designation apply generally to the exterior massing, built-form, facades, finishes and details, significant vegetation, the pattern, arrangement and site plan characteristics of the property.

To ensure that the cultural heritage value of this property is conserved, certain heritage attributes that contribute to its value have been identified specifically and they include:

Design / Physical Value:

Exterior:

- Scale, form and massing;

- Good example of one and a half storey, side gabled American Craftsman style bungalow with generous use of clinker brick, large front dormer, sloped low pitched roofline, banks of windows and exposed rafter tails under the eaves;
- English Cottage influences exhibited by half timber and stucco cladding on side gables and dormers;
- Exterior, unpainted brick masonry;
- Complex pattern of brick masonry that uses clinker brick and protruding brick specials in a range of kiln-fired glazes, shapes and finishes, set against standard Brampton pressed red brick courses. This type of masonry construction is distinctive and very unusual in Brampton;
- Brick scuppers located above foundation on the front and north corner of the house;
- All existing windows, doors and structural openings, along with associated wood trim, stone sills and brick voussoirs over opening
- Main entrance with stained, single leaf quarter-sawn oak door and sidelights;
- Enclosed porch at rear of the house;
- Brick knee walls with stone caps flanking steps to main entrance;
- Exposed rafter tails;
- Detached, single car garage with medium hip roof at rear of property exhibiting the same unique brick masonry detailing and texture as main house.

Historical / Associative Value:

- Direct associations with the history and development of Brampton's downtown residential neighbourhoods;
- Historical associations with local builder Fenton Byron McIntyre other building contractors, along with Sarah Trotter and the Walter and Alice Cuthbert family.

Contextual Value:

- Visually, physically and historically linked to its surroundings along Isabella Street and Lorne Avenue;
- Relationship between house and detached garage;

- Property is important in defining and maintaining the prevailing character of a late Victorian/early 20th century residential urban neighbourhood in the “Washington Block”;
- Position and associated landmark status on a conspicuous corner lot;
- Lawns, mature trees, gardens, flower beds and vegetation are compatible with the prevailing site characteristics in the neighbourhood.

HERITAGE EVALUATION / CRITERIA NOTE:

The property meets the criteria for designation prescribed by the Province of Ontario under Ontario Heritage Act Regulation 9/06.

NOTE ON ALTERATIONS:

The property is generally very well preserved, retaining original built heritage fabric and character.

EXCLUSIONS:

POLICY FRAMEWORK BEHIND MUNICIPAL HERITAGE DESIGNATION

Section 2.6.1 of the PPS states that: “significant built heritage resources and significant cultural heritage landscapes shall be conserved”.

Section 3 of the Planning Act requires that land use decisions by municipalities and approval authorities shall be consistent with the PPS, 2005.

In the context of land use planning, the Province of Ontario has declared that the wise use and management of Ontario’s cultural heritage resources is a key provincial interest.

The Ontario Heritage Act now broadly describes cultural heritage value: “Cultural heritage property is generally understood as encompassing real property that is of aesthetic, historic, architectural, scientific, archaeological, social, spiritual or other cultural significance for past, present or future generations.”.

These principles are reflected in Brampton’s Official Plan. The relevant policies are as follows:

4.9.1.3: All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the *Ontario Heritage Act* to help ensure effective protection and their continuing maintenance, conservation and restoration.

These principles are also guided by recognized best practices in the field of heritage conservation in Ontario and in Brampton’s Heritage Program.

SOURCES / ACKNOWLEDGEMENTS:

- Dee Psaila;
- Doug Cuthbert;
- Ancestry.ca.

HISTORICAL MAPS:



Detail from the 1877 Peel County Atlas (Town of Brampton), with the approximate location of the subject property marked. This map was prepared just three years prior to the registration of the 'Washington Block' (BR-32) plan of subdivision but still some 37 years before the house at 38 Isabella Street would be built.

HISTORICAL PHOTOGRAPHS:



The subject property at 38 Isabella Street (circled) as seen in a circa 1950 aerial photograph of Main Street North and Dale Estate. The photograph helps to illustrate the historical context.



Cropped 1956 aerial photograph showing property characteristics of 38 Isabella Street and neighbouring houses. (Archives of Ontario – C 30-1, ES8-165 (detail): July 1956, Northway-Gestalt Corporation; provided by current owner).



Archival image showing a portion of the front façade and some landscaping elements at 38 Isabella Street. The image dates to approximately 1930. (photo provided by current owner, from the collection of Jeff Chalmers)

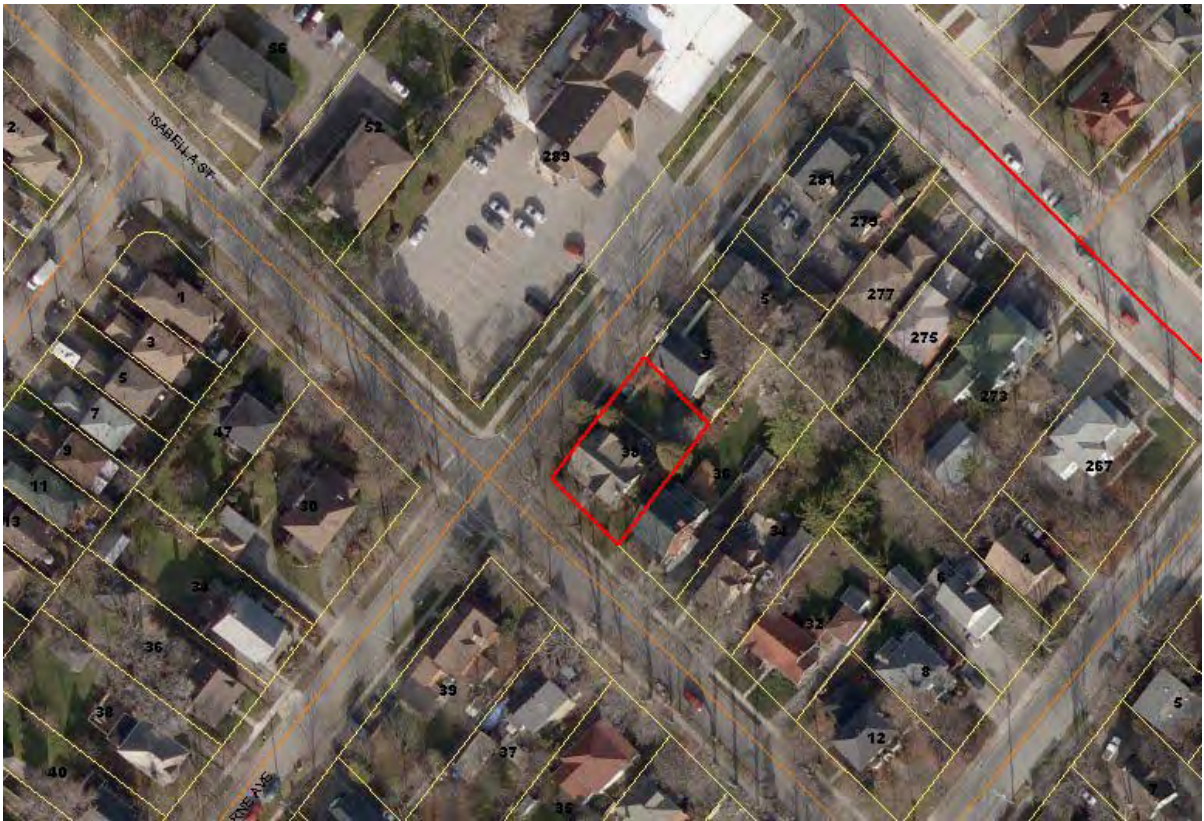


Photo from a neighbouring property that shows a portion of the garage and brick masonry at 38 Isabella Street. Note the exposed rafter tails under eaves.

(photo provided by current owner, from the collection of Jeff Chalmers).

MAPS AND AERIAL PHOTOGRAPHS:





IMAGES:



Figure 1: Front elevation of 38 Isabella Street showing textured brick patterning, prominent gabled dormer and small shed dormer, main entrance and other details..



Figure 2: Side elevation of 38 Isabella Street taken from just north of the Lorne Avenue intersection. This view shows banked windows on the ground floor level, Tudor-styled half-timbering and stucco cladding at the gable as well as general roof characteristics and Craftsman style massing.



Figure 3: Side/rear elevation looking east toward Main Street North.



Figure 4: Front elevation looking north from Isabella Street toward Lorne Avenue.



Figure 5: Detail showing a portion of north elevation and banks of wood sash windows.



Figure 6: Detail showing the scupper below what might once have been an open porch at the corner of the house near the intersection of Isabella Street and Lorne Avenue. The photo also shows the stone sills found under most structural openings.



Figure 7.



Figure 8.

Figure 7 and 8: Showing the main dormer, half timbering on the south side gable end, along with the chimney, and the small, high windows that flank the chimney.

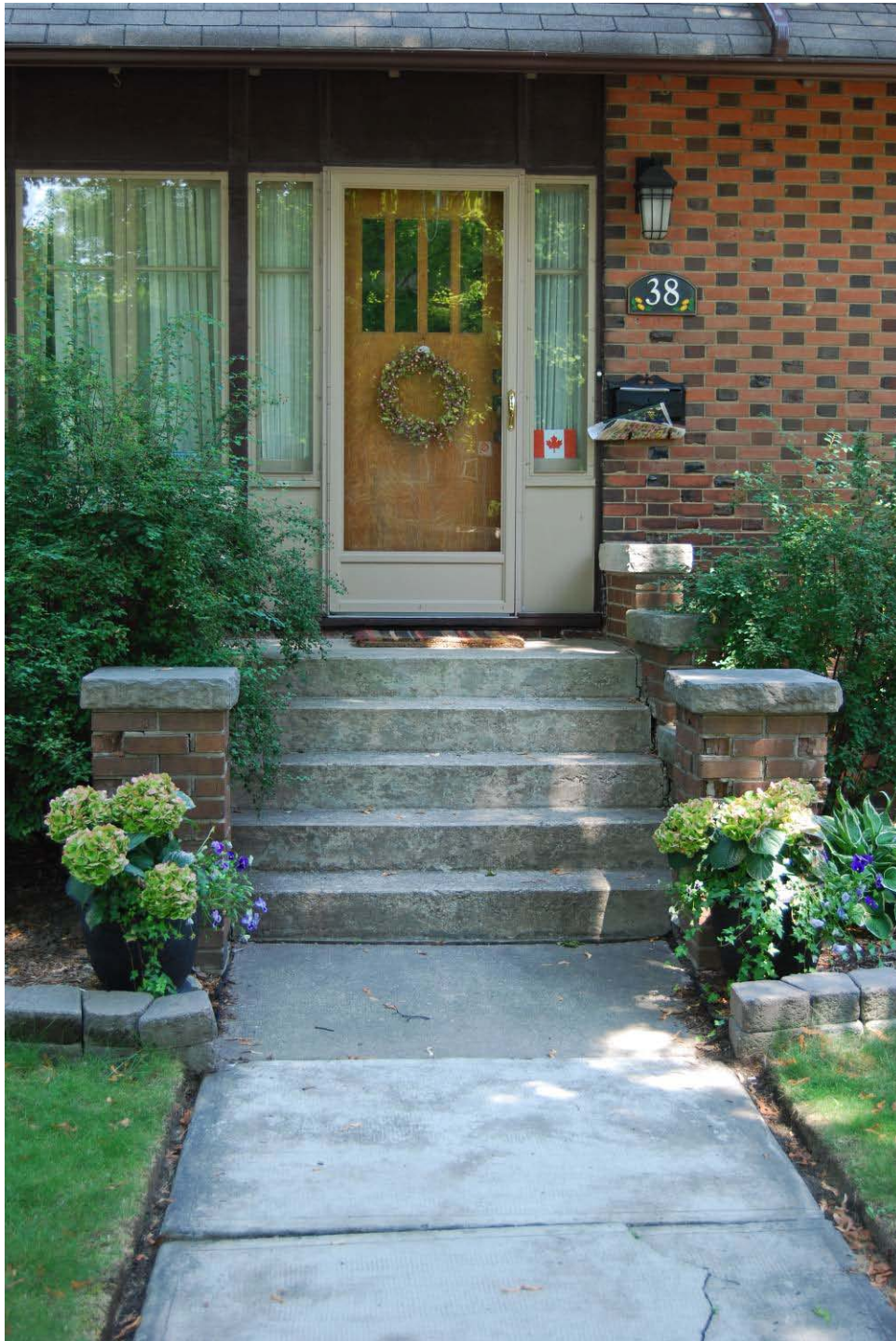


Figure 9: Detail showing front entrance characteristics including masonry knee walls with stone caps that flank the steps, single-leaf oak door with side lights.



Figure 10: Detail of chimney stack on south elevation showing the unusual use of clinker brick, and oddly shaped specials laid in a contrasting pattern against a background of Brampton hard pressed brick.



Figure 11: This photo shows portions of the side and rear of the subject property, including the hip roof of the garage, boxed dormer, more half timbering and an enclosed porch at the rear of the house.

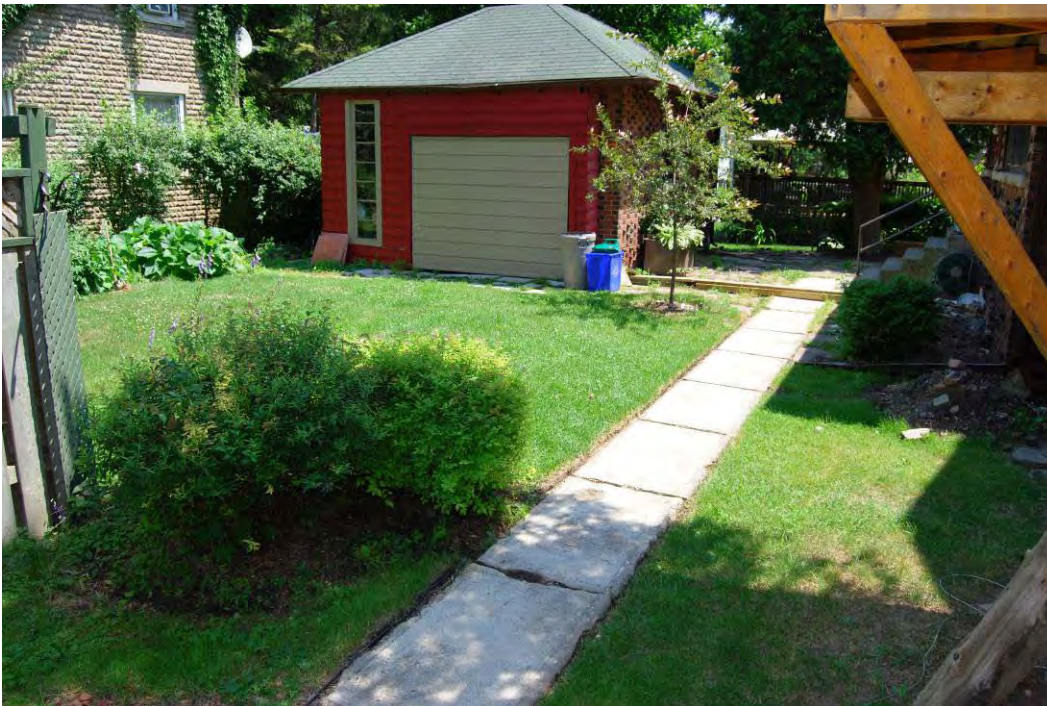


Figure 12: Shows the detached garage, original to the construction of the house and some characteristics of the back yard.



Figures 13 and 14: Detail photos showing portions of the detached garage located at the south-east corner of the rear yard. The original structure exhibits the same unique masonry patterning and texture as the main house. (photos by current owners).





Figure 15.

Figures 15, 16 and 17: A series of contextual photos showing streetscape views and property characteristics of 38 Isabella Street. The images demonstrate how well-integrated the subject property is within the immediate neighbourhood.



Figure 16.



Figure 17.



Figure 18: Undated newspaper article, possibly from the Brampton Guardian, featuring a previous owner of 38 Isabella Street (Walter Cuthbert) who operated a small antique shop out of the front sun porch with his wife Alice. The Cuthbert family owned the house from 1957 to 2000. (clipping provided by current owner).

PART TWO - HERITAGE PERMIT APPLICATION:

HERITAGE PERMIT APPLICATION FORM

In accordance with the Ontario Heritage Act a heritage permit must be issued by City Council for all proposals to erect, remove or alter the exterior of buildings, structures or other features described as heritage attributes within the scope of a heritage designation by-law.

City staff and the Brampton Heritage Board review all applications and then submit them to City Council for approval.

City Council has the authority under the Ontario Heritage Act to approve any heritage application either with or without conditions or to refuse the permit application entirely.

Please provide the following information (type or print)

A. REGISTERED OWNER

NAME OF REGISTERED OWNER(S) Denise Psaila and Lawrence Chapman

TELEPHONE NO. HOME [REDACTED] BUSINESS: () FAX: ()

E-MAIL ADDRESS: [REDACTED]

MAILING ADDRESS: 38 Isabella Street, Brampton ON L6X 1P6

B. AGENT

(Note: Full name & address of agent acting on behalf of applicant; e.g. architect, consultant, contractor, etc)

NAME OF AGENT(S)

TELEPHONE NO. HOME () BUSINESS: () FAX: ()

E-MAIL ADDRESS:

MAILING ADDRESS:

Note: Unless otherwise requested, all communications will be sent to the registered owner of the property.

C. LOCATION / LEGAL DESCRIPTION OF SUBJECT PROPERTY

LOTS(S) / BLOCK(S) Part Lot 54, PLAN BR 32, as in BR338955; Brampton 141210146 (LT)

CONCESSION NO.

REGISTERED PLAN NO.

PART(S) NO.(S)

REFERENCE PLAN NO.

ROLL NUMBER:

10-04-0-033-03700-000

PIN (PROPERTY IDENTIFICATION NO.)

141210146

D. OVERALL PROJECT DESCRIPTION / SUMMARY OF PROPOSAL

The existing brick and mortar kneewalls located on either side of the front entrance of 38

Isabella Street, Brampton have begun to crumble and will require replacement with historically accurate materials and techniques.

E. DESCRIPTION OF WORKS

(Please briefly describe the proposed works as they fit within one or more of the categories below; note the specific features that would be affected. Use separate sheets as required; attach appropriate supporting documentation; point form is acceptable):

Rehabilitation and/or Preventative Conservation Measures (e.g. repointing masonry; note which heritage attributes and features would be impacted and where, materials to be used, specifications and techniques):

The existing brick and mortar kneewalls located on either side of the front entrance of 38 Isabella Street, Brampton have begun to crumble and will require replacement. Applicants, Denise Psaila and Lawrence Chapman, seek to remove the existing brick structures, retaining the existing original capstones and replacing existing brick with reclaimed or new brick which more closely matches the brick used in the main house. Wherever possible, we will expect our tradespeople to match and or use historically accurate products to match the original look and feel of the time period.

Major Alterations, Additions and/or New Construction (note which attributes to be impacted, location of work, materials to be used, specifications and techniques):

None

Restoration (i.e. replicating or revealing lost elements and features; note which attributes to be impacted and where, materials to be used, specifications and techniques):

None

F. SCOPE OF WORK IMPACTING HERITAGE PROPERTY

(Check all that apply)

NEW CONSTRUCTION IS PROPOSED ☒

DEMOLISH ☒

ALTER ☐

EXPAND ☐

RELOCATE ☐

G. SITE STATISTICS (For addition and construction of new structures)

LOT DIMENSIONS FRONTAGE _____ DEPTH _____

LOT AREA _____ m²

EXISTING BUILDING COVERAGE _____ %

BUILDING HEIGHT EXISTING _____ m

PROPOSED _____ m

BUILDING WIDTH EXISTING _____ m

PROPOSED _____ m

ZONING DESIGNATION _____

OTHER APPROVALS REQUIRED: (Check off only if required)

MINOR VARIANCE (COA) _____

SITE PLAN APPROVAL _____

BUILDING PERMIT _____

CONSERVATION AUTHORITY _____

SIGN BYLAW APPROVAL _____

(Note: IF YES, other approvals should be scheduled after the Heritage Permit has been approved by City Council)

H. CHECKLIST OF REQUIRED INFORMATION SUBMITTED

(Check all that apply)

- ☐ REGISTERED SURVEY
- ☐ SITE PLAN (showing all buildings and vegetation on the property)
- ☐ EXISTING PLANS & ELEVATIONS - AS BUILT
- ☐ PROPOSED PLANS & ELEVATIONS
- ☒ PHOTOGRAPHS
- ☐ MATERIAL SAMPLES, BROCHURES, ETC
- ☐ CONSTRUCTION SPECIFICATION DETAILS

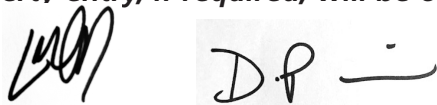
I. AUTHORIZATION / DECLARATION

I HEREBY DECLARE THAT THE STATEMENTS MADE HEREIN ARE, TO THE BEST OF MY BELIEF AND KNOWLEDGE, A TRUE AND COMPLETE PRESENTATION OF THE PROPOSED APPLICATION.

I UNDERSTAND THAT THIS HERITAGE PERMIT DOES NOT CONSTITUTE A BUILDING PERMIT PURSUANT TO THE ONTARIO BUILDING CODE.

I ALSO HEREBY AGREE TO ALLOW THE APPROPRIATE STAFF OF THE CITY OF BRAMPTON TO ENTER THE SUBJECT PROPERTY IN ORDER TO FULLY ASSESS THE SCOPE AND MERITS OF THE APPLICATION.

(Property entry, if required, will be organized with the applicant or agent prior to entry)



Signature of Applicant or Authorized Agent

April 11, 2021

Date of Submission

Heritage Permit applications are submitted to the Planning, Design and Development Department, 3rd Floor Counter, Brampton City Hall,

The personal information on this form is collected under the authority of the *Ontario Heritage Act*, RSO 1990. The information will be used to process the Heritage Permit Application. Questions about the collection of personal information should be directed to the Heritage Coordinator, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, 905-874-3825.

APPLICATION FORM

Designated Heritage Property Incentive Grant Program

Please complete the following and submit to a City of Brampton Heritage Coordinator

1. Owner Contact Information:

Denise Psaila and Lawrence Chapman

Name of the Owner

Home Telephone

Business Telephone

Fax

Email

38 Isabella Street, Brampton

Address

2. Specify property for which application is being made:

38 Isabella Street, Brampton ON L6X1P6

Municipal Address

Part Lot 54, PLAN BR 32, as in BR338955; Brampton 141210146 (LT)

Legal Description

141210146

PIN

10-04-0-033-03700-0000

ROLL

3. Under which part of the *Ontario Heritage Act* is your property designated?

☒ Part IV (individual property)

☐ Part V (heritage property within a Heritage Conservation District)

4. Have you previously received a City of Brampton Heritage Property Incentive Grant?

☐ Yes

☒ No

If "Yes", please provide the dates and amounts below:

Date

Amount

Date

Amount

5. Is this property the subject of any City By-law contraventions, work orders, penalties, fees, arrears of taxes, fines, or other outstanding municipal requirements as of the date of application?

☐ Yes☒ No

If "Yes", please provide details below:

[illegible]

6. Provide a description of the project proposal. Use additional sheets as required:

SEE ATTACHED DOCUMENTS

The existing brick and mortar kneewalls located adjacent to the front entranceway of 38 Isabella Street, Brampton to crumble and will require replacement. Applicants, Denise Psaila and Lawrence Chapman, seek to remove the structures, retaining the existing original capstones and replacing existing brick with reclaimed or new brick which more closely matches the brick used in the main house. Wherever possible, we will expect our tradespeople to match and or use historically accurate products to match the original look and feel of the main house structure.

7. Enclose all drawings, current photographs, and/or other materials necessary for a complete understanding of the proposed work. Please include any available historic photographs or documentation.



Figure 1 (above) Kneewall beside steps identified for replacement at 38 Isabella Street behind the children seated in the foreground.



Figure 2 - current condition of kneewall beside steps at 38 Isabella Street

8. Outline how the proposed project would preserve, restore, and/or enhance specific heritage attributes:

SEE ATTACHED DOCUMENTS

The heritage property was constructed using a pattern of brick masonry that uses clinker brick and protruding brick in a range of kiln-fired glazes, shapes and finishes, set against standard Brampton pressed red brick courses. This type of masonry construction is distinctive and very unusual in Brampton, only matched in two nearby existing properties- including 44 Thomas Street, Brampton and 43 Mill Street North, Brampton. Furthermore the adjoining garage on applicant's property uses the same bricks

~~The existing brick and masonry kneewalls adjacent to the front entrance as they exist currently are definitely not original to the building, and use sub-standard materials and workmanship that have reached a point where they are structurally unsound and crumble to the touch.~~

Applicants seek to restore the original look and feel based on existing original brick of the main house structure.

9. Briefly outline the conservation methods, materials, and techniques to be applied to the proposed project:

SEE ATTACHED DOCUMENTS

Applicants seek to use contractors who specialize in historic brick restoration, and use materials and workmanship appropriate to restore the original look and feel, using reclaimed brick or matching materials as closely as possible.

10. Cost Estimate Summary:

(Enclose at least two estimates) Formal quotes from three vendors attached following this document as appendices

Company	Details	Estimate
Name: Popeye Masonry Address: 3102 McCarthy Ct, Mississauga, ON L4Y 3Z6	Demolition and removal of kneewalls. Clean and salvage capstones for re-use. Sourcing and using reclaimed clinker brick. Replacement of foundation under kneewalls.	\$ 12,400 plus HST Formal quote attached as an appendix
Name: Heritage Brick & Stone Inc. Address: P.O. Box 10073 27 Legend Crt. Ancaster, ON. L9K 1P2	Demolition and removal of kneewalls. Clean and salvage capstones for re-use. Closest matching brick and lime based mortar manufactured by King Products. Replacement of foundation under kneewall extra (if deemed necessary)	\$ 14,975 plus HST Formal quote attached as an appendix
Name: Two Rivers Restoration Address: 189 Huron Street, Guelph, ON. N1E5L9	Demolition and removal of kneewalls. Clean and salvage capstones for re-use. Using new brick and lime mortar to match original.	\$ 15,562.54 Formal quote attached as an appendix Please note- they also included a quote for repointing mortar in another area. This estimate excludes the additional work as we are not doing it at this time.

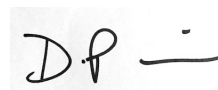
11. Project Costs (to the nearest dollar) and declaration:

Sources	Details	Amounts
Amount of Grant requested from City of Brampton (up to \$10,000.00)		\$ 6,200*
Owner's Contribution	Half of the quoted cost (\$12,400)	\$ 6,200
Other Sources (if any)		\$
Total Project Costs		\$ 12,400

1. I, the undersigned, certify that to the best of my knowledge the information provided in this application is accurate and complete, and I agree to the terms and conditions of the Designated Heritage Property Incentive Grant Program as established by the City of Brampton under By-law 266-2011.
2. I am the owner or authorized agent of the owner, named in the above application and hereby apply for a grant under the Designated Heritage Property Incentive Grant Program (refer Schedule B)
3. I understand that the final amount of the grant will be determined and that this application will be completed following:
 - a) A site inspection of the property and assessment of impacts on existing designated heritage attributes by the City Heritage Coordinator;
 - b) Owner provided drawings, and/or specifications, cost estimates, and photographs;
 - c) Assessment of the merits of the application by the Heritage Coordinator and the Brampton Heritage Board;
 - d) Formal approval of application by Brampton City Council;
 - e) Substantiation of the completed work by invoices provided; and
 - f) Completion of work within one (1) year of the date of approval by Brampton City Council.
2. The undersigned hereby certify that no works eligible for heritage grant assistance, and/or which would require permission to alter under the Ontario Heritage Act, have commenced as of this date, or will commence prior to approval of this application by City Council.

April 11, 2021

Date

Owner's Signature

12. Checklist

The City will not begin processing this application until ALL required materials are submitted.

- ☐ Pre-consultation with City Heritage Coordinator completed
- ☐ Completed application
- ☐ Drawings/ renderings accurately describing the existing condition and proposed work
- ☐ Current colour photographs documenting features, elements, and spaces that will be the focus of the proposed project
- ☐ Copies of archival photographs and historical documentation as applicable
- ☐ Statement indicating other sources of funding as applicable
- ☐ Cost estimates

Personal information on this form is collected under the authority of the Municipal Freedom of Information and Protection of Privacy Act R.S.O. 1990 m.c.56 for the purpose of providing information for a Designated Heritage Property Incentive Grant Program application for the above listed property. Questions about this collection should be directed to a City of Brampton Heritage Staff at (905) 874-3744 or (905) 874-3825.

This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

REGISTERED OWNER'S AUTHORIZATION

(To be completed by the registered owner)

I, _____ am the registered owner of the subject site.

I authorize _____ to prepare, submit and speak to this request for a Heritage Permit Application and/ or Consultation, on my behalf.

Date

Owner's Signature











POPEYE MASONRY

3102 McCarthy court
Mobile: 6476139494
Adrian.kozakiewicz@icloud.com
Www.popeyemasonry.ca



Bill To

Lare Chapman
lare.chapman@gmail.com

Estimate #442

Date of Issue: Apr 11, 2021

DESCRIPTION	QTY	RATE	AMOUNT
CONSTRUCTION OF A NEW FOUNDATION FOR WALLS	1	\$2,400.00	\$2,400.00
RECONSTRUCTION OF THE EXISTING WALLS ON THE SIDES OF THE FRONT STAIRS WITH THE USE OF CLINKER BRICKS AND MATCHING THE HISTORIC DESIGN THAT IS ON THE REST OF THE HOUSE	1	\$10,000.00	\$10,000.00
Subtotal			\$12,400.00
Shipping			\$0.00
Tax (13%)			\$1,612.00
Total			\$14,012.00

April 11, 2021





**Heritage
Brick & Stone Inc.**

Estimate

Date	Estimate #
03/30/2021	Q5685

Lare & Denise Chapman 38 Isabella Street Brampton, ON

Description	
<p>MASONRY RESTORATION - FRONT STEP WING WALLS</p> <p>Mobilize to site with crew, scaffold, equipment and materials.</p> <p>Supply and install ground protection to prevent damage to surrounding landscape and hardscape.</p> <p>Set up and level all scaffold complete with safety railings, wall anchors and stabilizers.</p> <p>Dismantle existing wing walls surrounding front porch. Clean and salvage caps for re-use, all other debris will be disposed of off-site.</p> <p>Source and supply new closest matching brick available.</p> <p>Utilize new closest matching brick and lime based mortar manufactured by King Products to restore wing wall to original design and dimensions.</p> <p>Reinstate salvaged stone caps as per original design.</p> <p>Supply and install closed cell backer rod and elastomeric sealant in transition between wing walls and concrete porch. .</p> <p>Dismantle and remove all scaffold off site and demobilize from site.</p>	
Continued on the next page...	Subtotal

Signature _____ Date _____

Web Site	Phone #	E-mail
www.heritagebrickandstone.com	(905) 648 9595	info@heritagebrickandstone.com



**Heritage
Brick & Stone Inc.**

Estimate

Date	Estimate #
03/30/2021	Q5685

Description	
<p>Clean work area post construction and remove all masonry related debris.</p> <p>Price includes all material, labour, delivery and disposal.</p> <p>If stone caps are not salvageable and new ones are required it will be in addition.</p> <p>This estimate includes restoration above grade only.</p> <p>This estimate assumes the foundation and footings are suitable for rebuild and do not require replacement. If the foundation/footings beneath the wing walls are not suitable for rebuild it will be discussed upon discovery and will be in addition to this price.</p> <p>It will be necessary to work within the garden beds on either side of the wing walls. All plant life and shrubbery in close proximity to the wing walls will required to be removed prior to HBS mobilizing to site, to be removed and reinstated by others.</p> <p>HBS will make every effort to protect/preserve existing landscape/hardscape, however some damage may be unavoidable and HBS is not responsible for these damages.</p> <p>Please note - do to the age of the brick we cannot guarantee an exact match but will try utilizing our extensive network.</p>	
This quote is valid for 30 days. If you have any questions, please contact us.	Subtotal \$14,975.00

Signature _____ Date _____

Web Site	Phone #	E-mail
www.heritagebrickandstone.com	(905) 648 9595	info@heritagebrickandstone.com

ESTIMATE



Two Rivers Restoration

Heritage Masonry

Alexandre Krucker

Two Rivers Restoration [73641 6934 RT0001]

189 Huron Street

Guelph, ON N1E5L9

519.400.3633

info@tworiversrestoration.ca

Date: November 18, 2020

Valid Until: December 16, 2020

Estimate #: E0005

DELIVER TO

Lare Chapman

38 Isabella St.

416-799-5526

Lare.chapman@gmail.com

DESCRIPTION	QTY	UNIT PRICE	TOTAL
Demolition of Existing Entrance Step Walls - Removal of brick walls, salvage capping for rebuild, removal of concrete steps, debris removal, and site preparation for rebuild	1	\$2,701.48	\$2,701.48
Rebuild of Step Walls - Rebuild of entrance step walls to original dimensions using lime mortar and new brick to match size and colour of original brickwork - Install salvaged capping and add original reclaimed bricks where applicable in new step walls	2	\$6,430.53	\$12,861.06
Mortar Repointing - Spot repointing on areas at rear of the house and garage - Removal of existing weathered mortar to a minimum depth of 13mm and replacement with lime mortar to match original	1	\$1,613.24	\$1,613.24
SUBTOTAL			\$17,175.78
HST (13%)			\$2,232.85
TOTAL			\$19,408.63
DEPOSIT (15%)			\$2,911.30

NOTES & TERMS

- The details and the estimate provided are based on our first inspection and do not constitute a guarantee that no further work will be required. The total bill of work will be as per the details available on completion of the work.
- A deposit of \$2,911.30 is required to secure the contract and schedule the work. This deposit will be paid on the signing of the contract. Progress payments due upon line item completion, with 15% subtracted from each to reflect the deposit.
- Client to provide clean and clear access to worksite, potable water, and electrical outlets.