



Notice of Decision

Committee of Adjustment

APPLICATION NO. B-2021-0010

Ward # 9

AN APPLICATION HAS BEEN MADE BY **ROBERT PAUL HUNTER**

The applicant(s) request(s) consent to conveyance of Part of Lot 15, Concession 5 E.H.S., City of Brampton, Regional Municipality of Peel. The "severed" land has a width of approximately a width of approximately 4.18m (13.72 ft.) and an area of approximately 0.01 hectares (134 square metres). The land is located at 10828 Torbram Road. The land is designated "Residential" in the Official Plan and "Low Density Residential 1" in the Secondary Plan. The lands are zoned "Agricultural (A)". It is proposed that a sanitary easement be created over the subject property to facilitate the operation and maintenance of a sanitary sewer in favour of the adjacent property municipally known as 10818 Torbram Road.

THE REQUEST IS HEREBY APPROVED, THIS DECISION:

IF **APPROVED**: IS SUBJECT TO THE CONDITIONS AND FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

IF **REFUSED**: IS FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

MOVED BY R. Power SECONDED BY: D. Colp

DATED THIS 13th day of JULY, 2021

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

CERTIFICATION

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER, COMMITTEE OF ADJUSTMENT

Additional information regarding the application for consent will be available to the public for inspection between 8:30 a.m. and 4:30 p.m. Monday to Friday at the Brampton City Hall, Committee of Adjustment Office, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, Telephone No. (905) 874-2117 and Fax No. (905) 874-2119.

You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have either made a written request to be notified of the decision to give or refuse to give provisional consent or make a written request to be notified of changes to the conditions of the provisional consent.

Only individuals, corporations and public bodies may appeal decisions or any condition in respect of applications for consent to the Local Planning Appeal Tribunal. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group.

An appeal form is available on the Environment and Land Tribunals Ontario website at <https://olt.gov.on.ca/appeals-process/forms/> or at the office of the Secretary-Treasurer. The notice of appeal accompanied by the fee prescribed under the Local Planning Appeal Tribunal Act shall be filed with the Secretary-Treasurer of the Committee of Adjustment. The prescribed fee is \$400 per person/ per appeal. Please visit <https://olt.gov.on.ca/appeals-process/fee-chart/> for information on related appeals. Cheques are to be made payable to the Minister of Finance. **TURN TO PAGE TWO (2) FOR THE Local Planning Appeal Tribunal APPEAL DATE.**

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment: NO
Zoning By-law Amendment: NO
Minor Variance: NO

File Number:
File Number:
File Number:

PLANNING ACT – PROVISIONAL CONSENT

AN APPLICATION HAS BEEN MADE BY **ROBERT PAUL HUNTER**

THIS DECISION IS SUBJECT TO THE FOLLOWING CONDITIONS: (AS AGREED TO BY THE APPLICANT(S)/AGENT(S) AT THE MEETING).

1. The Secretary-Treasurer shall have been satisfied that the following conditions have been fulfilled within one year of the mailing date noted below and the Secretary-Treasurer's Certificate under the Planning Act shall be given:
 - a. A Secretary-Treasurer's Certificate fee shall be paid in the amount current at the time of the issuance of the Secretary-Treasurer's Certificate; and
 - b. Approval of the draft reference plan(s), as applicable, shall be obtained at the Committee of Adjustment office, and the required number of prints of the resultant deposited reference plan(s) shall be received.
2. The Owner shall provide confirmation that the private easement has been created and registered on title in perpetuity; and,
3. That the Owner provide an arborist report and tree preservation plan showing any trees within 5 metres of the easement.

REASONS:


1. This decision reflects that regard has been had to those matters to be regarded under the Planning Act, in as much as the dimensions and shape of the lot are adequate for the uses proposed.
2. Subject to the imposed conditions, the consent to the conveyance will not adversely affect the existing or proposed development.

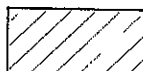
Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

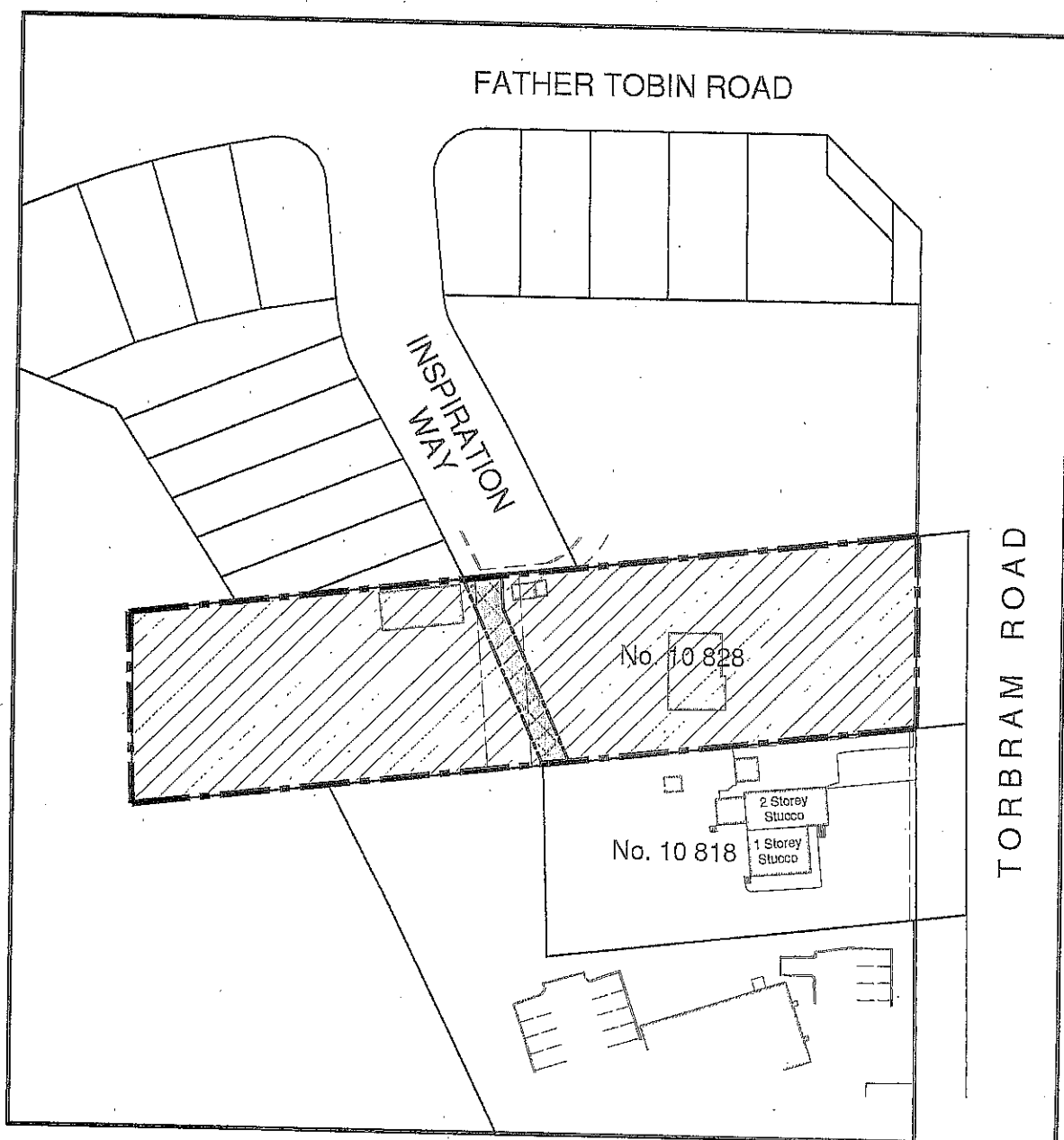
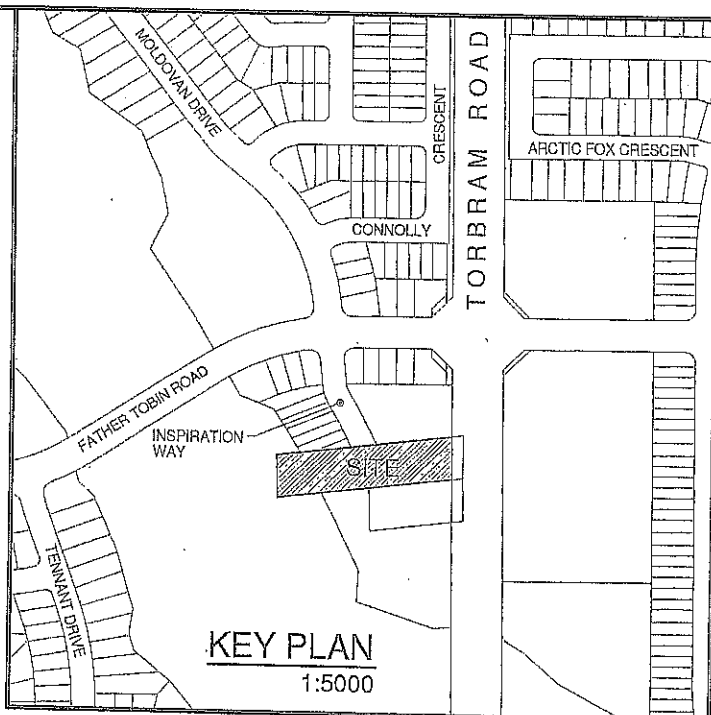
LAST DATE FOR FILING AN APPEAL TO THE LOCAL PLANNING APPEAL TRIBUNAL
AUGUST 4, 2021

DATE OF MAILING JULY 15, 2021

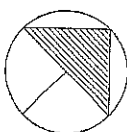
LEGEND:

 EASEMENT IN FAVOUR
OF RETAINED LANDS
(0.01ha)

 LANDS TO BE RETAINED
(0.36ha)



CONSENT PLAN
10 828 TORBRAM ROAD
PLAN 43M-1724
PART OF LOT 15, CONC. 5 E.H.S.
CITY OF BRAMPTON



1:1000

CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS
TEL. (905) 794-0600 FAX (905) 794-0611

Date: MAR., 23rd 2020 Drawn By: S.G.K.
File No. W19132 Plan No. CP-1



Notice of Decision

Committee of Adjustment

APPLICATION NO. B-2021-0004

Ward # 4

AN APPLICATION HAS BEEN MADE BY **BHUPINDER TURNA AND AMANDEEP TURNA**

The applicant(s) request(s) consent to conveyance of Part of Lot 5, Concession 3 W.H.S., City of Brampton, Regional Municipality of Peel together with a mutual access easement. The "severed" land has a frontage of approximately 18.29 metres (60 feet) and an area of approximately 668.317 square metres (0.07 hectares). The land is located at 8871 Creditview Road. The land is designated "Residential" in the Official Plan and "Executive Residential" in the Secondary Plan. The lands are zoned "Agricultural (A)". It is proposed that the new lot be used for future residential development of a single detached dwelling.

THE REQUEST IS HEREBY APPROVED, THIS DECISION:

IF **APPROVED**: IS SUBJECT TO THE CONDITIONS AND FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

IF **REFUSED**: IS FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

MOVED BY D. Colp SECONDED BY: R. Power

DATED THIS 13th day of JULY, 2021

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

CERTIFICATION

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER, COMMITTEE OF ADJUSTMENT

Additional information regarding the application for consent will be available to the public for inspection between 8:30 a.m. and 4:30 p.m. Monday to Friday at the Brampton City Hall, Committee of Adjustment Office, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, Telephone No. (905) 874-2117 and Fax No. (905) 874-2119.

You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have either made a written request to be notified of the decision to give or refuse to give provisional consent or make a written request to be notified of changes to the conditions of the provisional consent.

Only individuals, corporations and public bodies may appeal decisions or any condition in respect of applications for consent to the Local Planning Appeal Tribunal. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group.

An appeal form is available on the Environment and Land Tribunals Ontario website at <https://olt.gov.on.ca/appeals-process/forms/> or at the office of the Secretary-Treasurer. The notice of appeal accompanied by the fee prescribed under the Local Planning Appeal Tribunal Act shall be filed with the Secretary-Treasurer of the Committee of Adjustment. The prescribed fee is \$400 per person/ per appeal. Please visit <http://elto.gov.on.ca/tribunals/lpat/lpat-process/fee-chart/> for information on related appeals. Cheques are to be made payable to the Minister of Finance. **TURN TO PAGE TWO (2) FOR THE Local Planning Appeal Tribunal APPEAL DATE.**

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment: NO
Zoning By-law Amendment: NO
Minor Variance: YES

File Number:
File Number:
File Number: A-2021-0103 & A-2021-0104

PLANNING ACT – PROVISIONAL CONSENT

AN APPLICATION HAS BEEN MADE BY **BHUPINDER TURNA AND AMANDEEP TURNA**

THIS DECISION IS SUBJECT TO THE FOLLOWING CONDITIONS: (AS AGREED TO BY THE APPLICANT(S)/AGENT(S) AT THE MEETING).

1. The Secretary-Treasurer shall have been satisfied that the following conditions have been fulfilled within one year of the mailing date noted below and the Secretary-Treasurer's Certificate under the Planning Act shall be given:
 - a) A Secretary-Treasurer's certificate fee shall be paid, in the amount current at the time of the issuance of the Secretary-Treasurer's Certificate; and,
 - b) Approval of the draft reference plan(s), as applicable, shall be obtained at the Committee of Adjustment office, and the required number of prints of the resultant deposited reference plan(s) shall be received.
2. Separate water and sanitary services shall be provided for each lot in accordance with the Ontario Building Code and to the satisfaction of the Chief Building Official. Should services serving one lot cross the other, the appropriate easements shall be registered prior to the completion of the severance application and issuance of the Certificate from the COA Secretary Treasurer. A building permit is required for alteration to the existing services.
3. The applicant shall provide a mutual access easement over the retained lands in favor of the severed lands. In that regard, the applicant shall prepare and submit prior to depositing, a draft reference plan, prepared by an Ontario Land Surveyor, to the satisfaction of the City's Legal Services Division, Corporate Services Department and the Commissioner, Public Works & Engineering; and,
4. That upon approval of the Draft Reference Plan by the City's Transportation Division, the Surveyor shall deposit the Draft Reference Plan at the Land Registry Office of Peel; and provide copies of the deposited reference plan to the City's Transportation Division and the Legal Services Division.

REASONS:

1. This decision reflects that regard has been had to those matters to be regarded under the Planning Act, in as much as the dimensions and shape of the lot are adequate for the uses proposed.
2. Subject to the imposed conditions, the consent to the conveyance will not adversely affect the existing or proposed development.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

LAST DATE FOR FILING AN APPEAL TO THE LOCAL PLANNING APPEAL TRIBUNAL
AUGUST 2, 2021

DATE OF MAILING JULY 13, 2021



FILE NUMBER A-2021-0103

HEARING DATE JULY 13, 2021

APPLICATION MADE BY BHUPINDER TURNA AND AMANDEEP TURNA

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a lot width of 18.29 metres;
2. To permit a minimum lot area of 668.31 square metres;
3. To permit a rear yard setback of 7.7m (24.60 ft.);
4. To permit a front yard setback of 8.49m (27.85 ft.);
5. To permit a side yard setback of 0.61m (2.0 ft.) and 1.22m (4.0 ft.);
6. To permit 50% of the required front yard to be landscaped open space.

(8871 CREDITVIEW ROAD – PART OF LOT 5, CONC. 3 W.H.S.,)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 13TH DAY OF JULY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE AUGUST 2, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

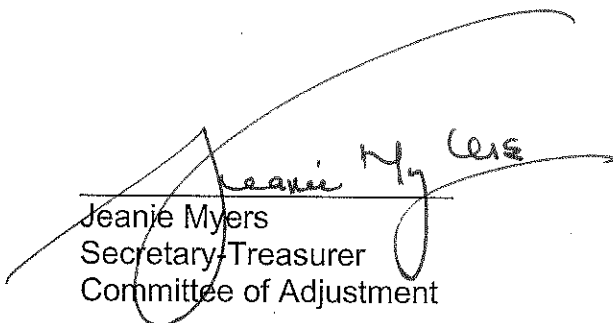
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: A-2021-0103

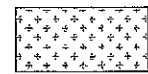
DATED: JULY 13, 2021

Conditions:

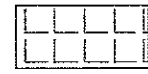
1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That a site plan application shall be submitted prior to construction on the severed lot;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary/Treasurer
Committee of Adjustment

NOTE :THE MAXIMUM
INTERIOR GARAGE WIDTH
WILL NOT BE EXCEED 50% OF
THE DWELLING UNIT WIDTH.

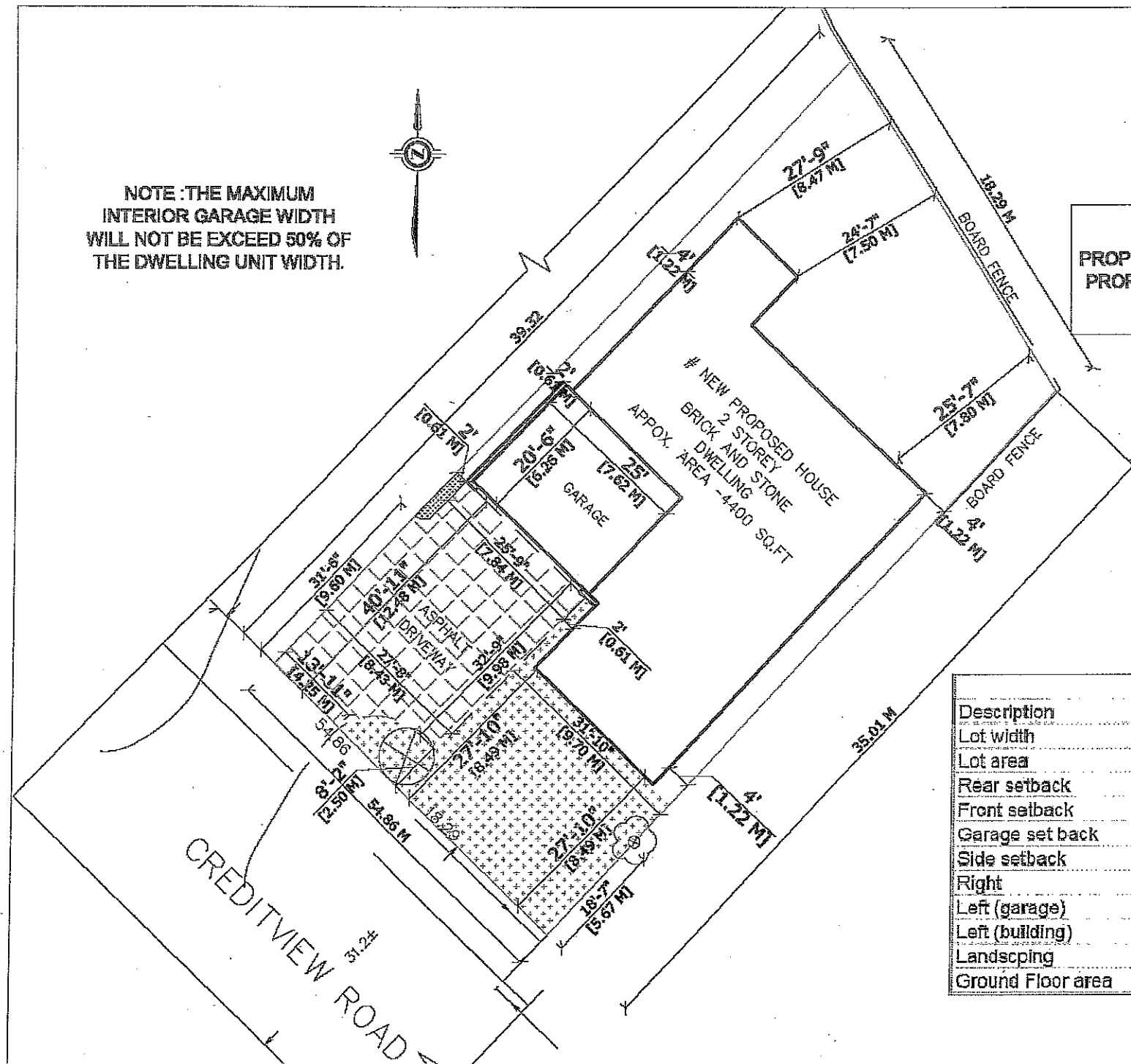


PROPOSED
LANDSCAPE AREA



PROPOSED ASPHALT
DRIVEWAY

FRONT AREA = 2050.00 SQ.FT (190.45 SQ.M)
PROPOSED LANDSCAPE AREA = 1025.00 SQ.FT (95.22 SQ.M)
PROPOSED DRIVEWAY AREA = 1025.00 SQ.FT (95.22 SQ.M)
PERCENTAGE = 49.99 %



Severed Lot			
Description	Required	Existing	Proposed
Lot width	45.00 m		18.29 m
Lot area	4000 sq.m		668.316 sq.m
Rear setback	15.00 m		7.50 m
Front setback	12.00 m		8.49 m
Garage set back			12.48 m
Side setback	7.50 m		
Right			1.22 m
Left (garage)			0.61m
Left (building)			1.22 m
Landscaping	70%		
Ground Floor area	115 sq.m		219.22 sq.m

Consent Notice

RELEASED FOR BUILDING PERMIT
- CONTRACTOR SHALL OBTAIN ALL NECESSARY
ON THE WORK, SITE AND REPORT
SUBJECT TO THE FOLLOWING
TERMS AND CONDITIONS:
- ALL INFORMATION AND INSPECTIONS ARE THE
PROPERTY OF THE COUNCIL AND SHALL BE
RETURNED AT THE COMPLETION OF WORK.
- THE COUNCIL IS NOT TO BE RESPONSIBLE FOR
CONSEQUENCES UNTIL CANCELLED BY THE
COUNCIL.
- THIS MAY BE SUBJECT TO REVISION.

LEGENDS:-

No.	Particulars	Date
1	First Name and Address	
2	Agent (Solicitor/Engineer/Architect)	
3	Site Name and Address	
4	Site Name and Address	
5	Site Name and Address	
6	Site Name and Address	
7	Site Name and Address	
8	Site Name and Address	
9	Site Name and Address	
10	Site Name and Address	

Project Name and Address

1871 CREDITVIEW RD
BRAMPTON, ON
L6Y 0G8

Drawing Title

SEVERED LOT SITE PLAN

Project	Sheet
1871 CREDITVIEW RD	
DATE	2012/02/01
NAME	HTS
	A 102



FILE NUMBER A-2021-0104

HEARING DATE JULY 13, 2021

APPLICATION MADE BY BHUPINDER TURNA AND AMANDEEP TURNA

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a lot width of 36.57 metres;
2. To permit a minimum lot area of 1706.71 square metres;
3. To permit a side yard setback of 3.01m (9.88 ft.);
4. To permit an existing accessory structure (shed) having a gross floor area of 16.27 sq. m (175.13 sq. ft.).

(8871 CREDITVIEW ROAD – PART OF LOT 5, CONC. 3 W.H.S.,)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

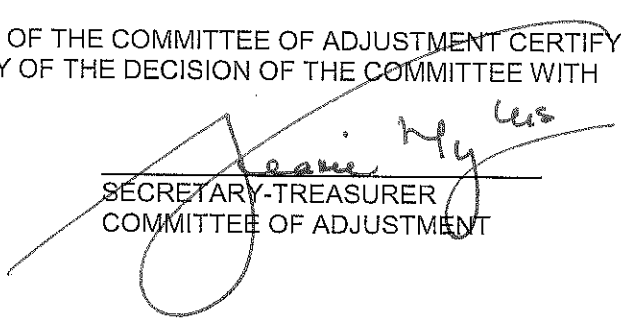
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 13TH DAY OF JULY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE AUGUST 2, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

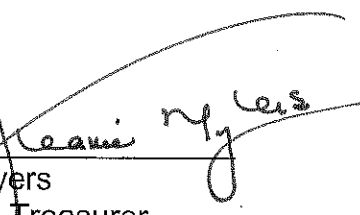
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0104**

DATED: **JULY 13, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That owner shall obtain a building permit for the accessory structure within 60 days of the decision of approval;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



Notice of Decision

Committee of Adjustment

APPLICATION NO. V-2021-0001
Ward # 9

PLANNING ACT

APPLICATION FOR CERTIFICATE OF VALIDATION

AN APPLICATION HAS BEEN MADE BY **IQBAL GILL AND GAGANDEEP GAIDU**

The applicant(s) request(s) consent to a validation of Part of Lot 92, Plan 43M-1299 and Part 2, Plan 43R-25733 City of Brampton, Regional Municipality of Peel. The land has a frontage of approximately 9.42 metres (30 feet), a depth of approximately 21.92 metres (72 feet) and an area of approximately 206.14 square metres (0.50 acres). The land is located at 25 Flatlands Way. The land is designated "Residential" in the Official Plan and "Low Density Residential 1" in the Secondary Plan. The lands are zoned "Residential Semi-Detached A (R2A-853).

THE REQUEST IS HEREBY APPROVED, THIS DECISION:

IF **APPROVED**: IS SUBJECT TO THE CONDITIONS AND FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

IF **REFUSED**: IS FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

MOVED BY A. C. Marques SECONDED BY: D. Doerfler
DATED THIS 13th day of JULY, 2021

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

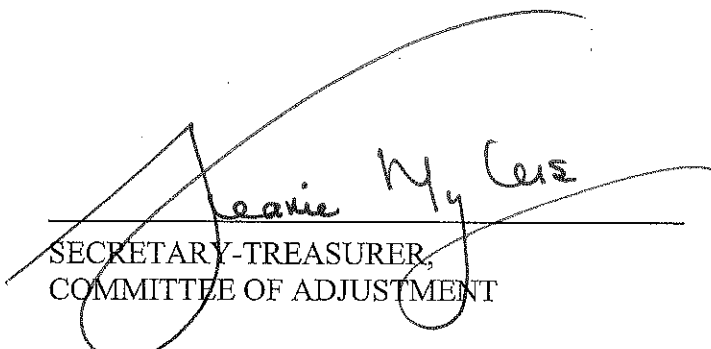
ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

CERTIFICATION

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER,
COMMITTEE OF ADJUSTMENT

PLANNING ACT – APPLICATION FOR CERTIFICATE OF VALIDATION

AN APPLICATION HAS BEEN MADE BY **IQBAL GILL AND GAGANDEEP GAIDU**

THIS DECISION IS SUBJECT TO NO CONDITIONS.

APPROVERD FOR THE FOLLOWING REASON(S):

REASONS:

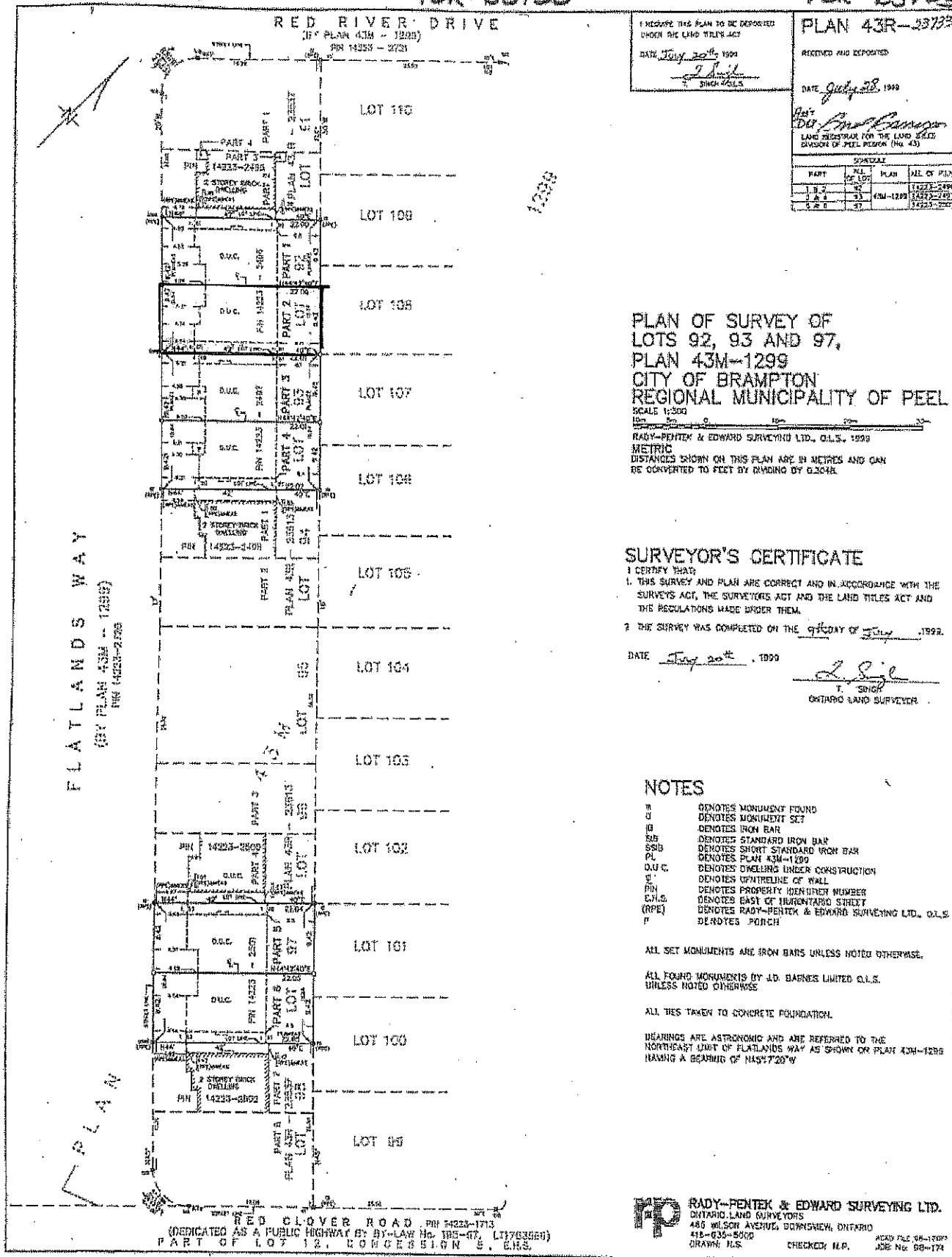
Pursuant to subsection 57 (6) of the Planning Act, 1990 Chap. C.P. (as amended), the Committee in considering whether to issue a certificate under subsection 57 (1), had regard to the prescribed criteria, namely; regard has been had to matters described under the Act, and the land confirms to the Official Plan and the Zoning By-law, as per the regulations.

DATE OF MAILING JULY 14, 2021

43R-23735

43R-23735

43R-23735



FILE NUMBER A-2021-0128

HEARING DATE JULY 13, 2021

APPLICATION MADE BY RUPINDER GHAG AND JERNAIL JOHAL

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; **ZONING BY-LAW 270-2004** AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an accessory structure (proposed pavilion) having a gross floor area of 26.75 sq. m (287.93 sq. ft.);
2. To permit an accessory structure (proposed pavilion) having a building height of 3.9 m (12.80 ft.).

(2 BLACK BEAR TRAIL – LOT 74, PLAN 43M-1523)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 13TH DAY OF JULY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE AUGUST 2, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

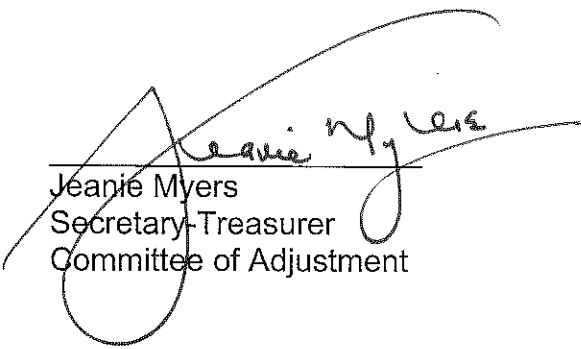
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

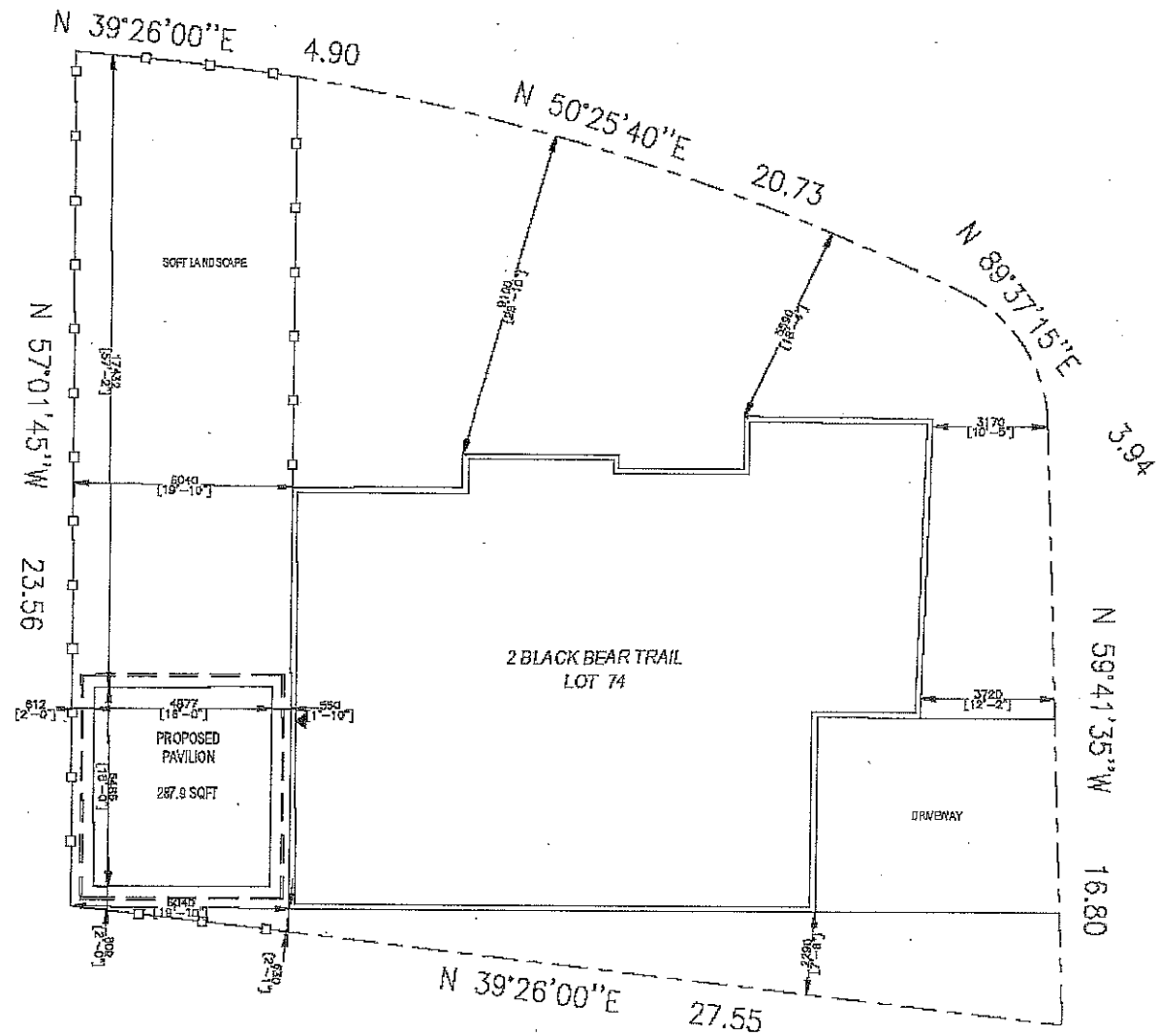
APPLICATION NO: **A-2021-0128**

DATED: **JULY 13, 2021**

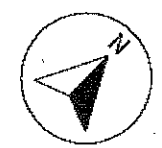
Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That roof drainage from the proposed pavilion roof shall be directed onto the subject property and drainage on adjacent properties not be adversely impacted;
3. That the pavilion remain of a primarily open style construction and shall not be fully enclosed; and;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



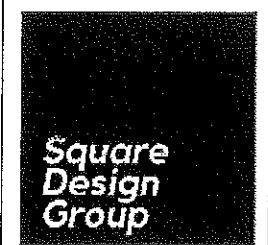
A1.0 Site Plan
1:150



NO.	DESCRIPTION	DATE

ISSUED FOR CONSTRUCTION
 ISSUED FOR BID
 ISSUED FOR BUILDING PERMIT
 ISSUED FOR SITE PLAN APPROVAL

SUBMITTALS
 CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.
 THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED AND SEALED BY THE DESIGNER.
 DONOR SCALE DRAWINGS



PROJECT
PROPOSED PAVILION
 ON
2 BLACK BEAR TRAIL
 Brampton

DRAWING
SITE PLAN

DATE 2021-05-08	PROJECT NO.
SCALE AS NOTED	DRAWING BY A1
DRAWN BY	REVIEWED BY



FILE NUMBER A-2021-0129

HEARING DATE JULY 13, 2021

APPLICATION MADE BY GINO TEOLIS

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a landscaped open space of 31.81% of the lot area;
2. To permit a landscaped open space of 42.44 sq. m (456.82 sq. ft.) abutting the rear wall of the dwelling.

(38 DAVENHILL ROAD – PART OF BLOCK 1, PLAN 43M-1802, PART 21, PLAN 43R-33142)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: A.C. Marques

SECONDED BY: D.Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

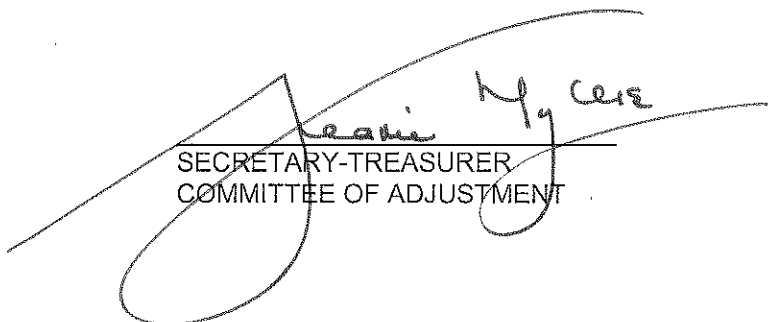
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 13TH DAY OF JULY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE AUGUST 2, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

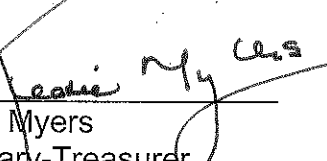
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: A-2021-0129

DATED: JULY 13, 2021

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. The applicant acquires a TRCA permit pursuant to Ontario Regulation 166/06; (as outlined in their letter dated July 8, 2021);
3. The applicant submits a \$610 review fee to the TRCA office; (as outlined in their letter dated July 8, 2021);
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



FILE NUMBER A-2021-0130

HEARING DATE JULY 13, 2021

APPLICATION MADE BY 1942411 ONTARIO INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; **ZONING BY-LAW 270-2004** AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a minimum lot width of 15 metres along Mississauga Road;
2. To permit a minimum gross floor area of 6,250 square metres of Building C (office);
3. To permit an office parking rate of 1 space per 30 square metres of gross commercial floor area or portion thereof.

(2009 STEELES AVENUE WEST/7920 MISSISSAUGA ROAD – PART OF LOT 15, CONC. 5 W.H.S.,)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision; and,
2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

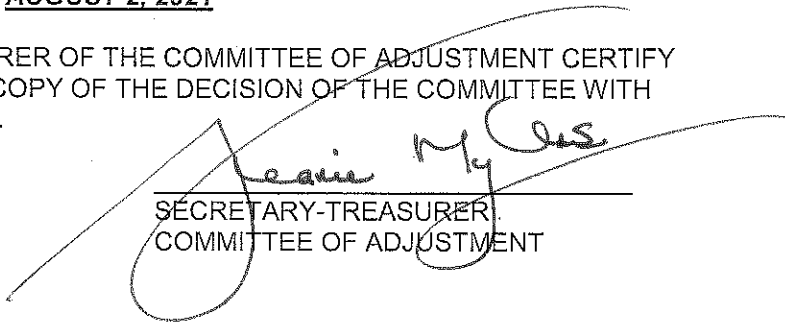
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

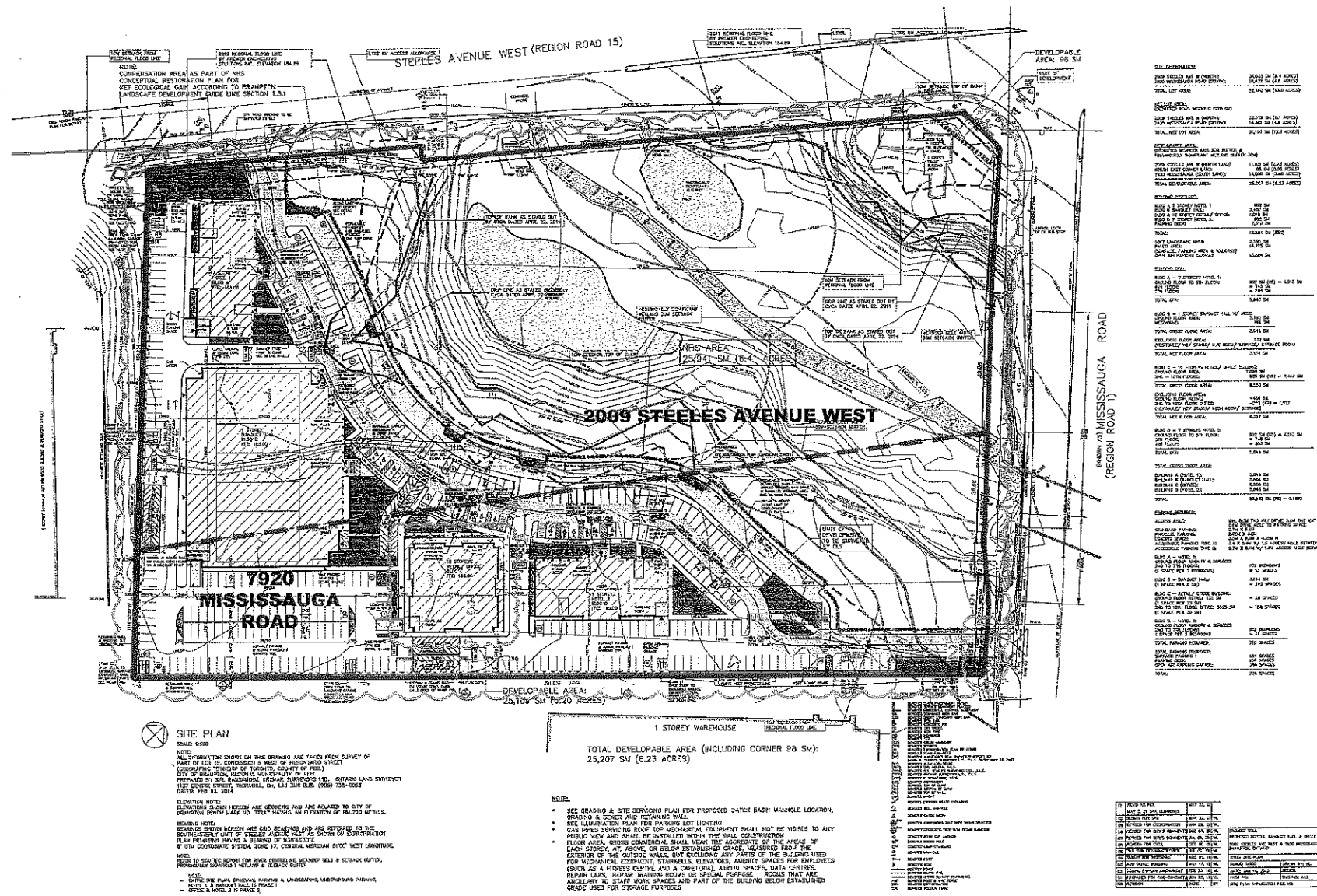
DATED THIS 13TH DAY OF JULY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE AUGUST 2, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.




SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT




MINOR VARIANCE SKETCH
COMMITTEE of ADJUSTMENT
2009 STEELES AVENUE WEST and
7920 MISSISSAUGA ROAD
CITY of BRAMPTON

- MINOR VARIANCES**
1. To permit an Office Parking Rate of 1/30, whereas the Site Specific Zoning By-Law requires an Office Parking Rate of 1/25; and
 2. To permit a minimum frontage along Mississauga Road of 15.0 metres (15.67m), whereas the Zoning By-Law requires a minimum frontage of 45 metres.
 3. To permit a minimum Gross Floor Area for Building C (Office) of 6,250 square metres, whereas the Zoning By-Law requires a minimum Gross Floor Area of 8,500 square metres.


P.N.: 17.2478	Date: May 28, 2021
Scale: N.T.S.	Revised:
Drawn By: D.S.	File No.: 2478 MV_MAY_28_2021




GWD
Geospatial & Design Solutions



BRAMPTON
City of Brampton



GWD
Geospatial & Design Solutions



MARKHAM
City of Markham

21 Queen Street East
Suite 500
Brampton, ON
L6W 3P1
P (905) 796-5790

3601 Highway 7 East
Suite 310
Markham, ON
L3R 0M3
P (905) 477-6556



FILE NUMBER A-2021-0131

HEARING DATE JULY 13, 2021

APPLICATION MADE BY THOMAS ORR AND LYNN ORR

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit two (2) accessory structures (pool equipment shed and storage shed) in the interior side yard having a setback of 1.2m (3.94 ft.) to the side lot line;
2. To permit an existing fence in the interior side yard having a height of 2.42m (7.94 ft.).

(23 SUPINO CRESCENT – LOT 56, PLAN 43M-1602)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS: This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: A.C. Marques

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 13TH DAY OF JULY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE AUGUST 2, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

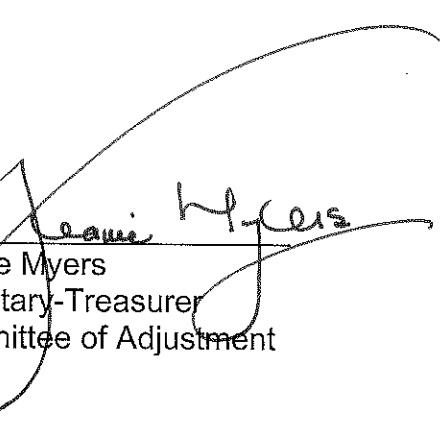
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

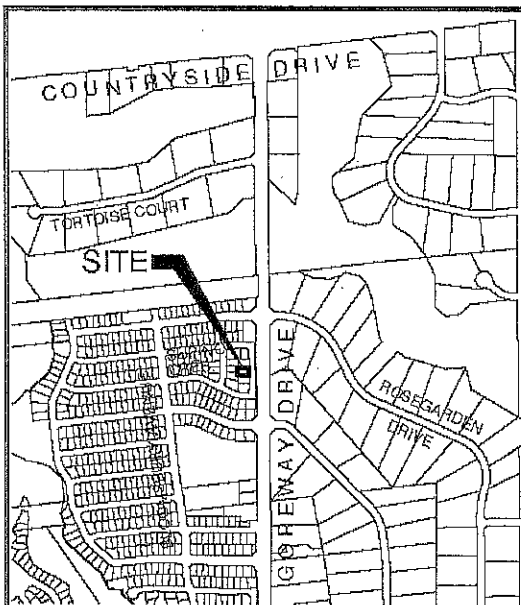
APPLICATION NO: **A-2021-0131**

DATED: **JULY 13, 2021**

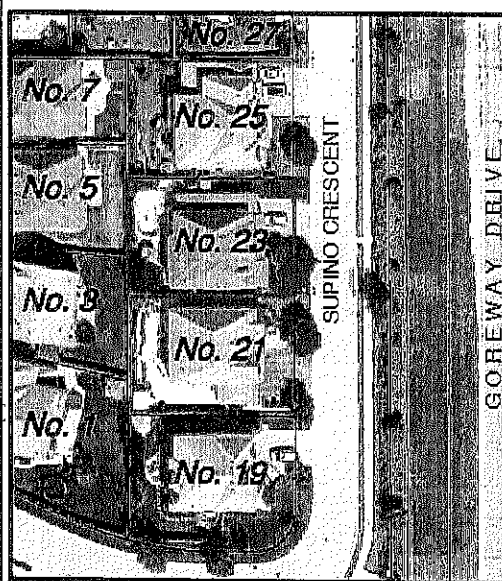
Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That drainage on adjacent properties not be adversely impacted;
3. That the privacy fence with lattice not be extended further along the existing fence on the property; and;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

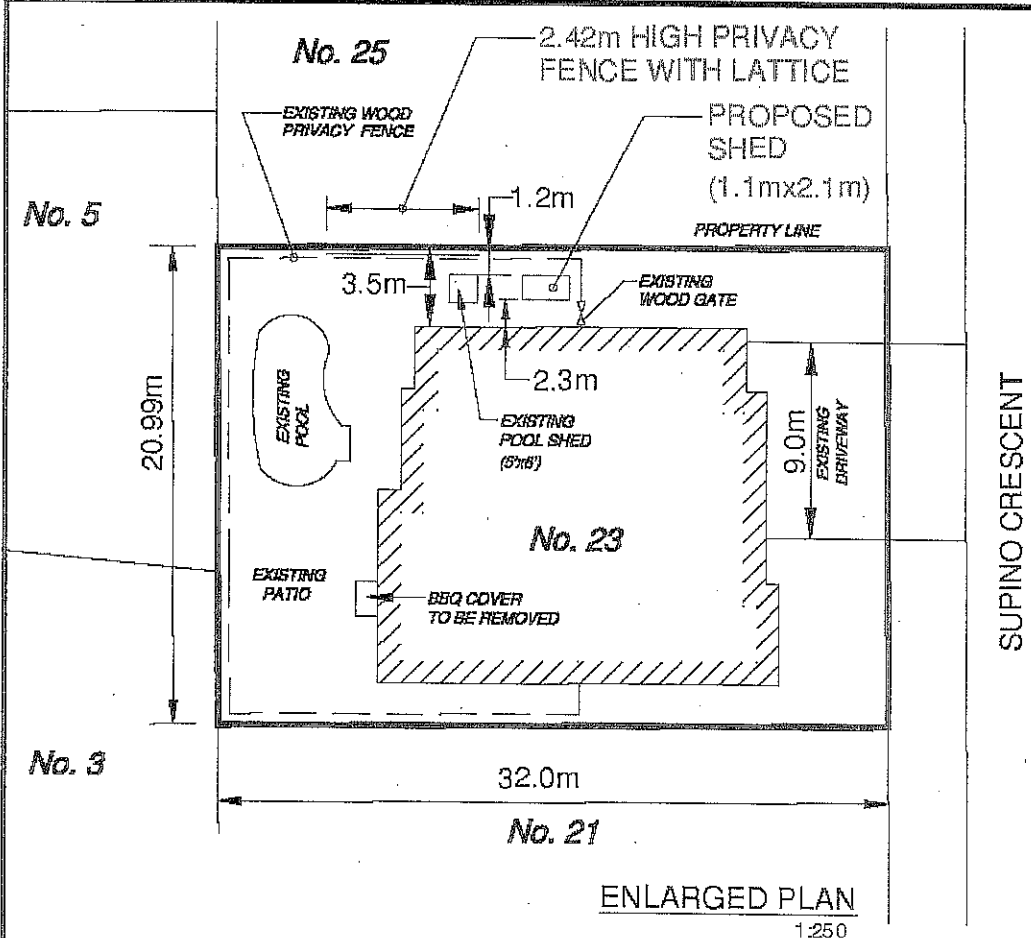

Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



KEY PLAN
1:30,000



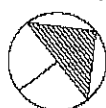
LOCATION PLAN
1:1000



ENLARGED PLAN
1:250

**ORR RESIDENCE
MINOR VARIANCE PLAN**

23 SUPINO CRESCENT
LOT 14, CONCESSION 7 43M-1602 LOT 56
CITY OF BRAMPTON



1:250

CD CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

TEL (905) 794-0800

FAX (905) 794-0811

Date: JUNE 28th 2021

Drawn By: S.G.K.

File No. -

Plan No. MV-1



FILE NUMBER A-2021-0132

HEARING DATE JULY 13, 2021

APPLICATION MADE BY SCOTTISH HEATHER DEVELOPMENT INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an above grade side entrance located in an interior side yard with a width of 0.65m extending from the front wall of the dwelling up to the door.

(8 IXWORTH CIRCLE – LOT 105, PLAN 43M-2097)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D.Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

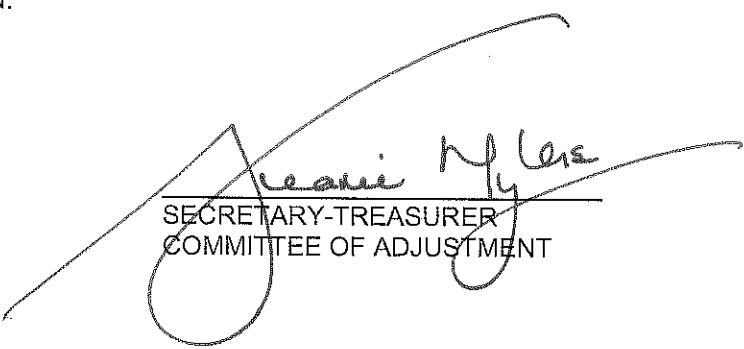
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 13TH DAY OF JULY, 2021

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I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

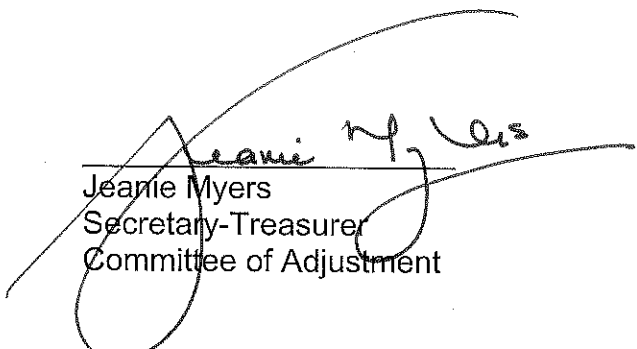
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0132**

DATED: **JULY 13, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the side door not be used as a primary entrance to a second dwelling unit;
3. That a clause be provided within the agreement of purchase and sale advising of the variance affecting the property. If the property has already been sold, the applicant shall provide written confirmation to the Secretary-Treasurer that the purchaser(s) of the dwelling have acknowledged and accepted the variance; and;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

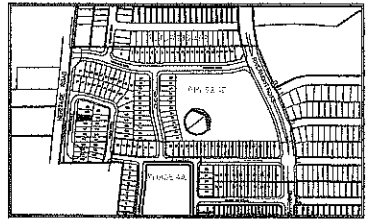
General Notes:

1. Surveyor to comply with all current by-laws regarding set backs in laying out the work. Any discrepancies are to be reported to the Architect and the builder.
2. The contractor shall check and verify all given grade elevations, drainage, existing and proposed utilities prior to commencement of construction.
3. Builder to verify hydrant, street light, transformers and other services locations. If minimum clearances are not maintained, Builder to relocate at his own expense.
4. Footings to bear on natural undisturbed soil or rock and be a minimum of 122mm below finished grade. Underside of footings shown are taken from architectural plans and may not represent actual footing level.
5. All dimensions and grade elevations are given in meters and may be converted to feet by dividing by 0.3048.
6. Maximum slope for drainage in the swales is 2.0 %. Provide a min. 0.15m between specified house grade and swale invert. Window sills shall be a minimum of 0.15m above finished grades. All side yard swales to be located on lot lines.
7. Rear yard surface slope 2.0 % min. - 6.0 % max. Max allowable slope elevations 3:1 (horizontal to vertical) unless otherwise noted.
8. Driveway slope 2.0 % min. - 6.0 % max.
9. Provide 12 in. min. clearance from driveways to street lights and hydrants. 15 in. min. from driveways to transformers.
10. Existing curb cuts to be modified to suit new driveways where necessary. The obtaining for approval of curved driveways is the builders responsibility.
11. Builder to ensure water box is located in grass area, 1.0 m min. clearance from the edge of driveway.
12. Unless otherwise indicated, finished floor grade 0.55m above specified house grade at entry points to house, and provision of three rooms at entries must be made to gain entry into house.
13. Provide brick ledge as required to ensure exposed concrete foundation wall does not exceed 0.20m (8"). Site owner to verify conditions prior to construction.

LEGEND

- | | | | |
|---------|--------------------------------|--------------|-----------------------------------|
| FF. | FINISHED FLOOR LEVEL | ▲ | HOUSE ENTRANCE |
| TP. | TOP OF FOUNDATION FOUR | △ | GARAGE OR OPTIONAL HOUSE ENTRANCE |
| F.B. | FINISHED BASEMENT LEVEL | ● | DROP GRADE SLAB |
| US | UNDERSIDE OF FOOTING | ○ | DOWN SPOUT LOCATION |
| 000.00 | PROPOSED GRADE | TEF (000.00) | TOP OF ENGINEER FILL |
| 000.00 | EXISTING GRADE | ND | NO DOOR |
| *000.00 | FOOTINGS HAVE BEEN EXTENDED | CT ▲ | CABLE TV FEDESTAL |
| ✱ | DENOTES LOT WITH ENGINEER FILL | BP ☒ | BELL FEDESTAL |
| == | EXTENT OF ENGINEER FILL | ◉ | BELL GRADE LEVEL BOX (F.T.G.) |
| → | DOUBLE SEWER SERVICE | ◉ | CORNER LOT (Side & Rear upgrade) |
| → | SINGLE SEWER SERVICE | R | REAR UPGRADE |
| → | WATER SERVICE | ▲ | SIDE UPGRADE |
| HYD. | HYDRANT | AB | ALL BRICK |
| ○ | STREET LIGHTING | ===== | 45 MIN. RATED WALL |
| ▲ | TRANSFORMER | ◉ | ROGERS GRADE LEVEL BOX (F.T.G.) |
| | | ◉ | ROGERS NAP VAULT (F.T.G.) |
| | | ◉ | ROGERS FEDESTAL (A.G.) |
| | | ◉ | ROGERS FEDESTAL (A.S.) |

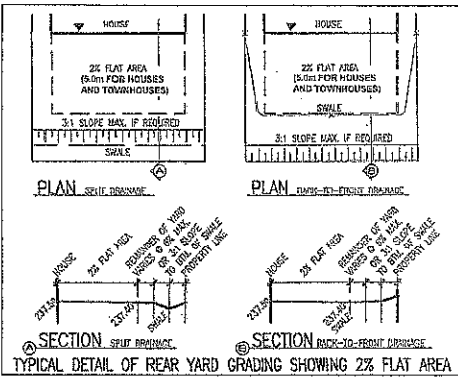
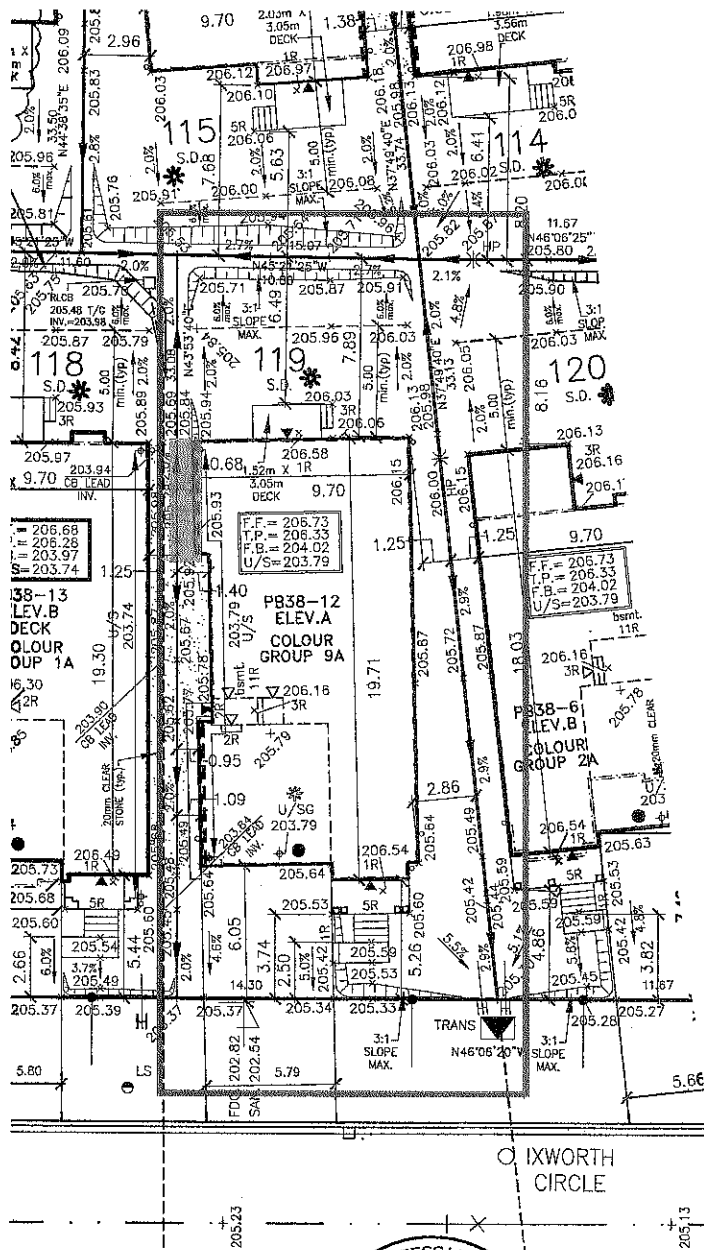
NOTE :
BUILDER TO VERIFY
SANITARY AND STORM INVERT
ELEVATIONS PRIOR TO
EXCAVATION FOR FOOTINGS.



KEY PLAN N.T.S.

NOTES

1. THE PROPOSED ELEVATIONS AT BUILDINGS AND THE BASIC DIRECTION OF SURFACE DRAINAGE WILL BE SUBJECT TO DETAILED DESIGN WHEN HOUSE TYPES AND PLOT PLANS ARE AVAILABLE.
2. REAR TO FRONT DRAINAGE CAN BE ACCOMMODATED ONLY IF THE SEPARATION BETWEEN UNITS IS 2.4m.
3. THE HOUSE TYPE AND DRIVEWAY LOCATION SHALL NOT BE CHANGED WITHOUT CITY OF BRAMPTON APPROVAL.
4. WHERE POSSIBLE DOWNSPOUTS SHALL DISCHARGE TO THE GROUND SURFACE VIA SPLASH PADS TO THE FRONT OF THE HOUSE.
5. A MINIMUM AREA OF 5.0m SHALL BE GRADED AT 2.0% AT THE REAR OF THE HOUSE.
6. A MINIMUM AREA OF 7.5m SHALL BE GRADED AT 2.0% AT THE REAR OF THE HOUSE FOR REVERSE PRORATE LOTS.
7. A MINIMUM OF 0.15m CLEARANCE MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
8. A MINIMUM CLEARANCE OF 0.20m MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
9. ALL LOT GRADING MUST COMPLY WITH CITY OF BRAMPTON STANDARDS 426 AND 421 UNLESS OTHERWISE NOTED.
10. DRIVEWAYS SHALL BE GRADED AT A MINIMUM OF 2.0% AND MAXIMUM OF 6.0% SLOPE.
11. A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN DRIVEWAYS.
12. ALL AREAS BEYOND THE PLAN OF SUBDIVISION, WHICH ARE DISTURBED DURING CONSTRUCTION, SHALL BE RESTORED TO THE SATISFACTION OF THE CITY OF BRAMPTON AT THE CONTRACTOR'S EXPENSE.
13. ALL OPEN SPACE BLOCKS AND VALLEY LANDS SHALL BE MAINTAINED FREE OF GARBAGE AND CONSTRUCTION DEBRIS BY THE DEVELOPER UNTIL ASSUMPTION OF THE SUBDIVISION BY THE CITY OF BRAMPTON.
14. WHERE CORNER LOT FENCING IS REQUIRED BY THE CITY, THE SLOPE FROM THE NEAREST POINT AT THE DWELLING TO ANY POINT ALONG THE FENCE SHALL NOT EXCEED 3%.
15. DRIVEWAYS ARE TO HAVE A MINIMUM SEPARATION OF 0.6m AT CURBS AND SHALL NOT CROSS THE PROJECTION OF THE PROPERTY LINE.
16. THE MAXIMUM SLOPE ON THE LOTS SHALL BE 5%:1V, EXCEPT BETWEEN UNITS WHERE THE MAXIMUM SLOPE SHALL BE 3%:1V.
17. SWALE GRADES SHALL BE A MINIMUM OF 2.0% AND A MAXIMUM OF 6.0%. SWALES SHALL HAVE A MAXIMUM SIDE SLOPE OF 3%:1V, A MINIMUM DEPTH OF 0.15m AND A MAXIMUM DEPTH OF 0.3m. SWALES ALONG THE LOT LINE BETWEEN HOUSES SHALL HAVE A MAXIMUM DEPTH OF 0.2m.
18. FOOTINGS TO BE FOUND IN UNDISTURBED NATIVE SOIL OR, IF LOCATED IN ENGINEERED FILL, FOUNDATIONS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF, AND CERTIFIED IN THE FIELD BY, A GEOTECHNICAL ENGINEER.



HOMECAD PLAN DESIGNS Inc.

FIRM BCIN : 115056
I Stephen Salomons have reviewed and take responsibility for this design.
Qualified Designer BCIN : 23933
May 5, 2021

ENGINEERED FILL
This lot is in an area of Engineered Fill.
The Builder is to have a qualified Geotechnical Engineer confirm the suitability of the footing subgrade prior to constructing footings. Extend footings into Engineered Fill as per soil report recommendations.
Lot: 119

BUILDING HEIGHT:	LOT: 119
BUILDING HEIGHT	9.26 m
MAXIMUM BUILDING HEIGHT (BY-LAW)	11.60 m
LOT STATISTICS:	LOT: 119
GARAGE DOOR WIDTH	4.83 m
INTERIOR GARAGE WIDTH	5.59 m
INTERIOR GARAGE LENGTH	6.12 m

FOOTINGS CONSTRUCTED NEXT TO R/CB
Underside of footing has to extend to competent soil out of the catchbasin trench influence zone, below the lead pipe excavation, or as instructed by soils consultant. Extend footing as required.
Lot: 119

BURNSIDE
[The Signature of Burnsides is Here]
Approved for drainage and grading
Lot 119
Date May 5, 2021
Signature [Signature]

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: MAY 05, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not confer professional responsibility.

GREAT GULF	DR	Lot no. : 119	
		Plan no. 43M-2097	
		Scale : 1:250	
		Date: MARCH 2020	
Location : BRAMPTON, ONTARIO	Job No. : 2001	SCOTTISH HEATHER DEVELOPMENT INC.	PB18D

**RIVERVIEW HEIGHTS
SUBDIVISION**
**GREAT GULF PHASE 4B
BLOCK 40-3**



FILE NUMBER A-2021-0133

HEARING DATE JULY 13, 2021

APPLICATION MADE BY SCOTTISH HEATHER DEVELOPMENT INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an above grade side entrance located in an interior side yard with a width of 0.65m extending from the front wall of the dwelling up to the door.

(27 IXWORTH CIRCLE – LOT 118, PLAN 43M-2097)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

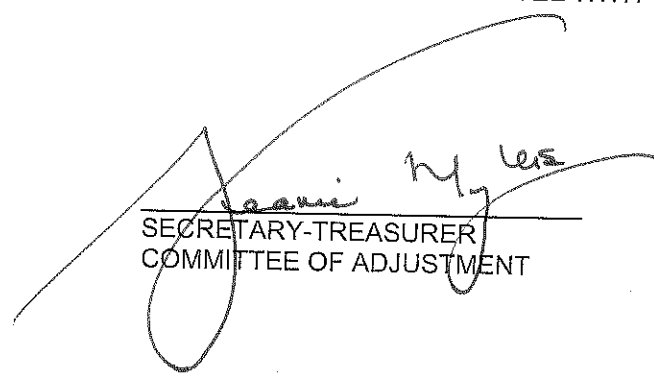
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 13TH DAY OF JULY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE AUGUST 2, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

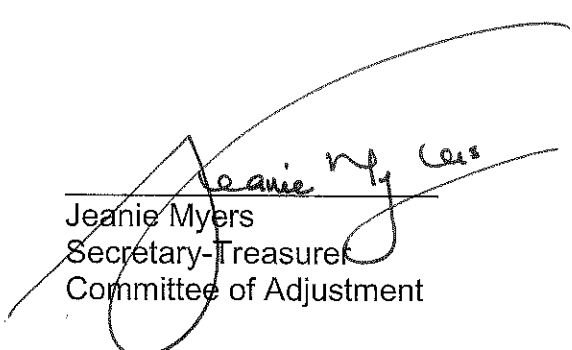
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0133**

DATED: **JULY 13, 2021**

Conditions:

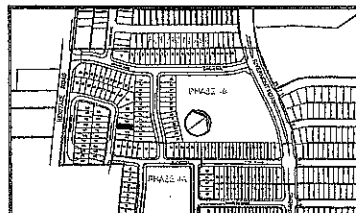
1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the side door not be used as a primary entrance to a second dwelling unit;
3. That a clause be provided within the agreement of purchase and sale advising of the variance affecting the property. If the property has already been sold, the applicant shall provide written confirmation to the Secretary-Treasurer that the purchaser(s) of the dwelling have acknowledged and accepted the variance; and;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

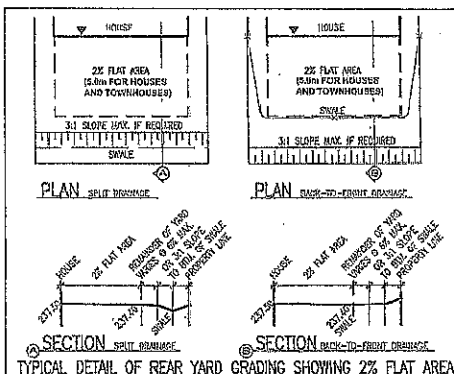
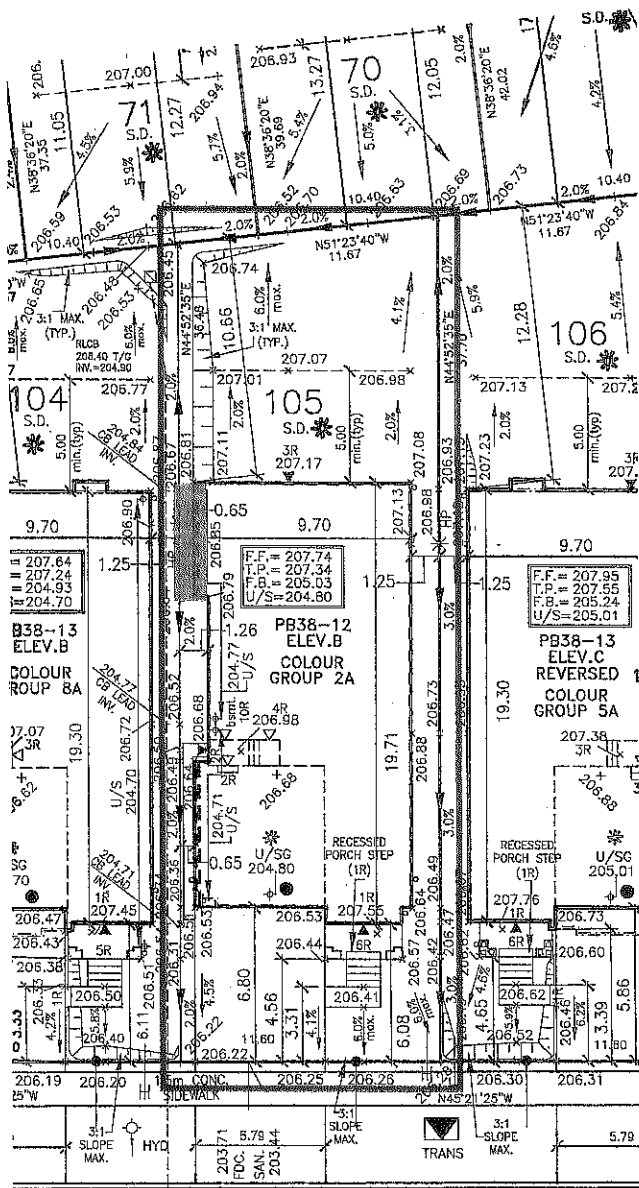
1. Surveyor to comply with all current by-laws regarding set-backs in laying out the work. Any discrepancies are to be reported to the Architect and the builder.
2. The contractor shall check and verify all given grade elevations, drainage, existing and proposed utilities prior to commencement of construction.
3. Builder to verify height, street light, transformers and other services locations. If minimum clearances are not maintained, Builder to relocate at his own expense.
4. For a natural undisturbed soil or rock and be a minimum of 1.22m below finished grade. Underfoot of footings above are taken from architectural plans and may not represent actual footing level.
5. All dimensions and grade elevations are given in meters and may be converted to feet by dividing by 0.3048.
6. Minimum slope for drainage in the swales is $\geq 2.0\%$. Provide a min. 0.15m between specified house grade and swale inlet. Window sills shall be a minimum of 0.15m above finished grade. All side yard swales to be located on lot lines.
7. Rear yard surface slope: 2.0% min. - 6.0% max. Max. allowable slope: $ambarsikan$ 30° (horizontal) to vertically unless otherwise noted.
8. Driveway slope 2.0% min. - 6.0% max.
9. Provide a min. 0.15m clearance from driveway to street lights and hydrants. 1.5 m min. from driveway to transformer.
10. Existing curb cuts to be replaced to suit new driveways where necessary. The obtaining for approval of curved driveways is the builder's responsibility.
11. Builder to ensure water box is located in grass area, 1.0 m min. clearance from the edges of driveway.
12. Unless otherwise indicated, finished floor grade 0.35m above specified house grade at entry points to house, and provision of three risers at entrances must be made to gain entry into house.
13. Floor joist ledge as required to ensure exposed concrete foundation wall does not exceed 0.20m (8"). Site owner to verify conditions prior to construction.

<u>LEGEND</u>	▲	HOUSE ENTRANCE
F.F.	△	GARAGE OR OPTIONAL HOUSE ENTRANCE
T.P.	●	DROP GRADE SLAB
F.B.	○	DOWN SPOUT LOCATION
U/S	T.E.F. (000.00)	TOP OF ENGINEER FILL
000.00	—	HYDRO SERVICE
000.00	ND	NO DOOR
000.00	CT	CABLE TV FEDESTAL
000.00	BP	BELL FEDESTAL
000.00	B.G.L.	BILL GRADE LEVEL BOX (P.T.G.)
000.00	⊙	CORNER LOT (Side & Rear upgrade)
000.00	R	REAR UPGRADE
000.00	△	SIDE UPGRADE
000.00	AB	ALL BRICK
000.00	----	45 MIN. RATED WALL
000.00	ROGS	ROGERS GRADE LEVEL BOX (P.T.G.)
000.00	ROGS	ROGERS NAP VAULT (P.T.G.)
000.00	ROGS	ROGERS FEDESTAL (A.G.)
000.00	ROGS	ROGERS FEDESTAL (A.G.)


NOTE :
BUILDER TO VERIFY
SANITARY AND STORM INVERT
ELEVATIONS PRIOR TO
EXCAVATION FOR FOOTINGS.

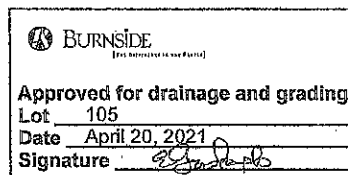
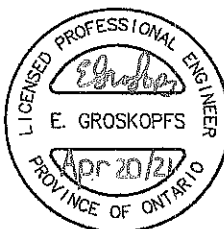


1. THE PROPOSED ELEVATIONS AT BUILDINGS AND THE GASIC DIRECTION OF SURFACE DRAINAGE WILL BE SUBJECT TO DETAILED DESIGN WHEN HOUSE TYPES AND PLOT PLANS ARE AVAILABLE.
2. REAR TO FRONT DRAINAGE CAN BE ACCOMMODATED ONLY IF THE SEPARATION BETWEEN UNITS IS 2.4m.
3. THE HOUSE TYPE AND DRIVEWAY LOCATION SHALL NOT BE CHANGED WITHOUT CITY OF BRAMPTON APPROVAL.
4. WHERE POSSIBLE, DOWNSPOUTS SHALL DISCHARGE TO THE GROUND SURFACE VIA SPLASH PADS TO THE FRONT OF THE HOUSE.
5. A MINIMUM AREA OF 5.0m SHALL BE GRADED AT 2.0% AT THE REAR OF THE HOUSE.
6. A MINIMUM AREA OF 7.5m SHALL BE GRADED AT 2.0% AT THE REAR OF THE HOUSE FOR REVERSE PAVING LOTS.
7. A MINIMUM OF 0.15m CLEARANCE MUST BE PROVIDED BETWEEN THE BRICKLINE AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
8. A MINIMUM CLEARANCE OF 0.20m MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
9. ALL LOT GRADINGS MUST COMPLY WITH CITY OF BRAMPTON STANDARDS 420 AND 421 UNLESS OTHERWISE NOTED.
10. DRIVEWAYS SHALL BE GRADED AT A MINIMUM OF 2.0% AND MAXIMUM OF 8.0% SLOPE.
11. A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN DRIVEWAYS.
12. ALL AREAS BEYOND THE PLAN OF SUBDIVISION, WHICH ARE DISTURBED DURING CONSTRUCTION, SHALL BE RESTORED TO THE SATISFACTION OF THE CITY OF BRAMPTON AT THE CONTRACTORS EXPENSE.
13. ALL TYPES OF BLOCKING OR OBSTRUCTION OF EGRESS LANE SHALL BE MAINTAINED FREE OF GARBAGE AND CONSTRUCTION DEBRIS BY THE DEVELOPER UNTIL ASSUMPTION OF THE SUBDIVISION BY THE CITY OF BRAMPTON.
14. WHERE CORNER LOT FENCING IS REQUIRED BY THE CITY, THE SLOPE FROM THE NEAREST POINT AT THE DWELLING TO ANY POINT ALONG THE FENCE SHALL NOT EXCEED 5%.
15. DEVELOPER HAVE TO HAVE A MINIMUM SEPARATION OF 6.6m AT CURBS AND SHALL NOT CROSS THE PROJECTION OF THE PROPERTY LINE.
16. THE MAXIMUM SLOPE ON THE LOTS SHALL BE 3H:1V, EXCEPT BETWEEN UNITS WHERE THE MAXIMUM SLOPE SHALL BE 3H:1V.
17. ALL SLOPES SHALL BE MINIMUM OF 0.5% AND MAXIMUM OF 8.0%. SWALES SHALL HAVE A MAXIMUM SIDE SLOPE OF 3H:1V, A MINIMUM DEPTH OF 0.15m AND A MAXIMUM DEPTH OF 0.3m. SWALES ALONG THE LOT LINE BETWEEN HOUSES SHALL HAVE A MAXIMUM DEPTH OF 0.15m.
18. FOOTINGS TO BE FOUND ON UNDISTURBED NATIVE SOIL OR, IF LOCATED IN ENGINEERED FILL, FOUNDATIONS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF, AND CERTIFIED IN THE FIELD BY, A GEOTECHNICAL,



HOMECAD PLAN DESIGNS Inc.


FIRM BCIN : 115056 Qualified Designer BCIN : 23933
I Stephen Safraonys have reviewed and take responsibility for this design.
 April 19, 2021



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: APR 20 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

FOOTINGS CONSTRUCTED NEXT TO RLCB

Underside of footing has to extend to competent soil out of the catchbasin trench influence zone, below the lead pipe excavation, or as instructed by soils consultant. Extend footing as required.

Lot: 105

BUILDING HEIGHT:	LOT: 105
BUILDING HEIGHT:	9.34 m
MAXIMUM BUILDING HEIGHT (BYLAW):	11.60 m
LOT STATISTICS:	LOT: 105
GARAGE DOOR WIDTH:	4.85 m
INTERIOR GARAGE WIDTH:	5.59 m
INTERIOR GARAGE LENGTH:	6.12 m

ENGINEERED FILL

This lot is in an area of Engineered Fill. The Builder is to have a qualified Geotechnical Engineer confirm the suitability of the footing subgrade prior to constructing footings. Extend footings into Engineered Fill as per soil report recommendations. Lot: 105



Lot no. :	105
Plan no.	43M-2097
Scale :	1:250
Date:	MARCH 2020

2	04/19/2021	LOT 105 FOR FINAL
1	04/15/2021	LOT 105 SITE + GRADE

RIVERVIEW HEIGHTS
SUBDIVISION
GREAT GULF PHASE 4B
BLOCK 40-3

 GREAT GULF

Location :
BRAMPTON, ONTARIO

Job No. 1
2001

SCOTTISH HEATHER DEVELOPMENT INC.

PR18D

FILE NUMBER A-2021-0134

HEARING DATE JULY 13, 2021

APPLICATION MADE BY SCOTTISH HEATHER DEVELOPMENT INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an above grade side entrance located in an interior side yard with a width of 0.95m extending from the front wall of the dwelling up to the door.

(29 IXWORTH CIRCLE – LOT 119, PLAN 43M-2097)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D.Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

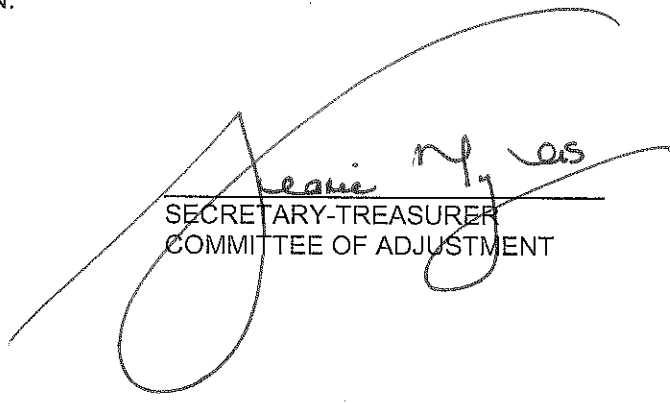
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 13TH DAY OF JULY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE AUGUST 2, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

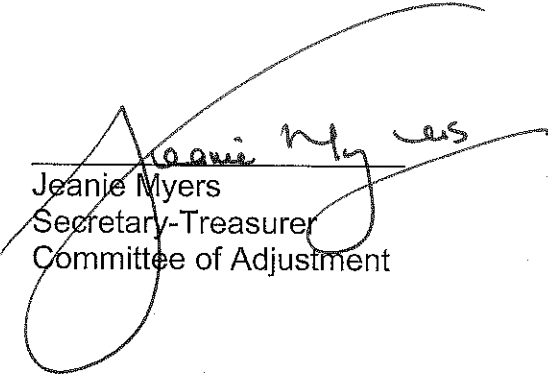
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0134**

DATED: JULY 13, 2021

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the side door not be used as a primary entrance to a second dwelling unit;
3. That a clause be provided within the agreement of purchase and sale advising of the variance affecting the property. If the property has already been sold, the applicant shall provide written confirmation to the Secretary-Treasurer that the purchaser(s) of the dwelling have acknowledged and accepted the variance; and;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

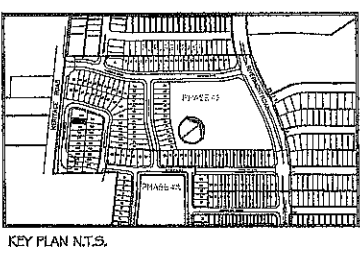
General Notes:

- 1. Surveyor to comply with all current by-laws regarding set backs in laying out the work. Any discrepancies are to be reported to the Architect and the builder.
- 2. The contractor shall check and verify all given grade elevations, drainage, existing and proposed utilities prior to commencement of construction.
- 3. Builder to verify hydrant, street light, transformers and other services locations. If minimum clearances are not maintained, Builder to relocate at his own expense.
- 4. Footings to bear on natural undisturbed soil or rock and be a minimum of 122mm below finished grade. Underneath of footings shall be taken from architectural plans and may not represent actual footing level.
- 5. All dimensions and grade elevations are given in meters and may be converted to feet by dividing by 0.3048.
- 6. Minimum slope for drainage in the swales is 2.0%. Provide a min. 0.15m between finished house grade and swale invert. Window sills shall be a minimum of 0.15m above finished grades. All side yard swales to be located on lot lines.
- 7. Rear yard surface slope 2.0% min - 6.0% max. Max allowable slope embankments 3:1 (horizontal to vertical) unless otherwise noted.
- 8. Driveway slopes 2.0% min - 8.0% max.
- 9. Provide 12 m. min. clearance from driveways to street lights and hydrants. 15 m. min. from driveways to transformers.
- 10. Existing curb cuts to be rectified to suit new driveways where necessary. The obtaining for approval of curved driveways is the builders responsibility.
- 11. Builder to ensure water box is located in grass area, 10 m. min. clearance from the edge of driveway.
- 12. Unless otherwise indicated, finished floor grade 0.55m above specified house grade at entry points to house, and provision of three rises at entries must be made to gain entry into house.
- 13. Provide brick ledges as required to ensure exposed concrete foundation wall does not exceed 0.20m (8"). Site super to verify conditions prior to construction.

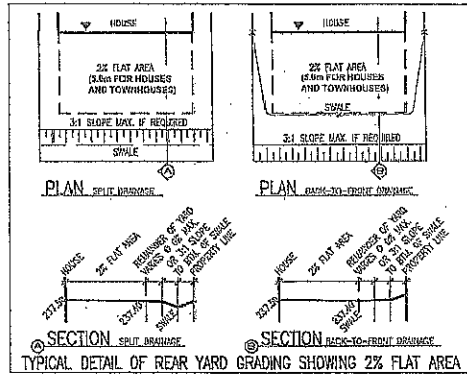
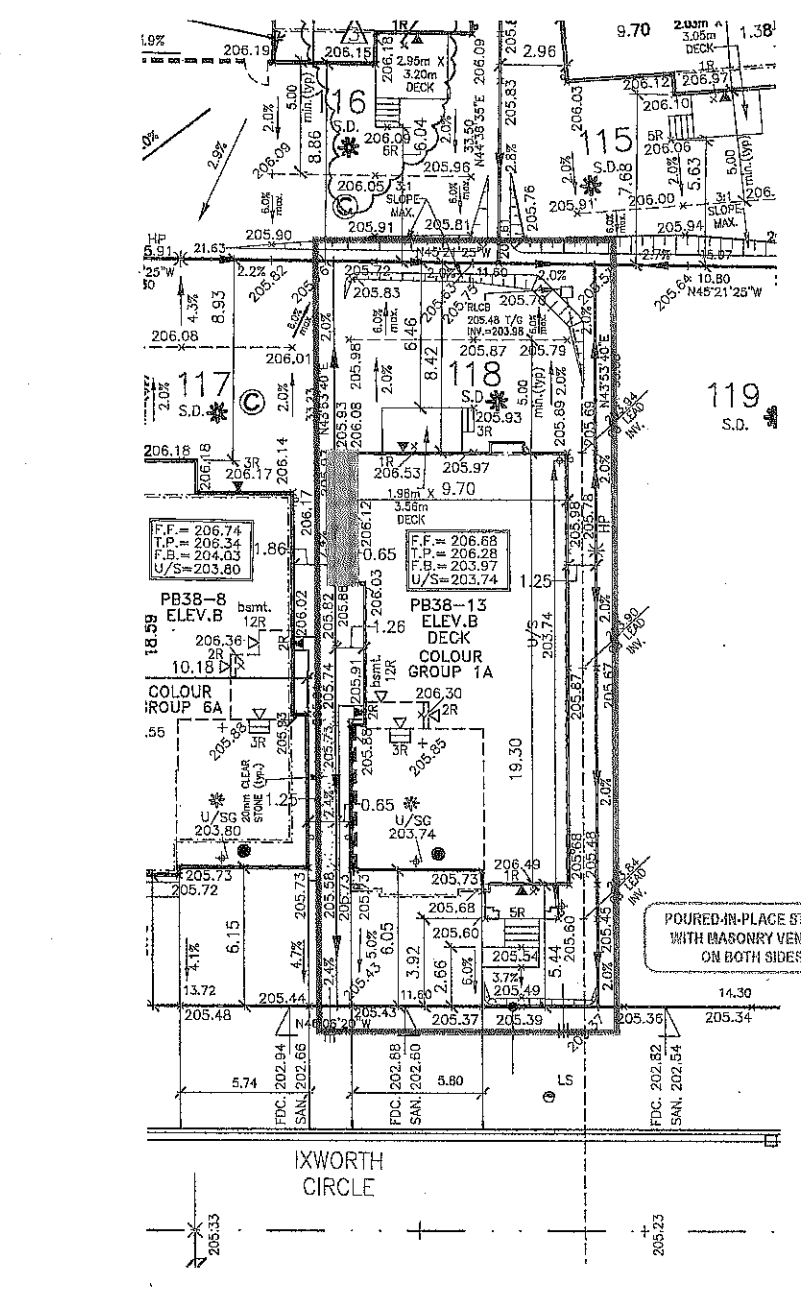
LEGEND

F.F.	FINISHED FLOOR LEVEL	△	HOUSE ENTRANCE
T.P.	TOP OF FOUNDATION FOUR	△	GARAGE OR OPTIONAL HOUSE ENTRANCE
F.B.	FINISHED BASEMENT LEVEL	○	DROP GRADE SLAB
U/S	UNDERSIDE OF FOOTING	○	DOWN SPOUT LOCATION
000.00	PROPOSED GRADE	T.E.F. (000.00)	TOP OF ENGINEER FILL
000.00	EXISTING GRADE	—	HYDRO SERVICE
*000.00	FOOTINGS HAVE BEEN EXTENDED	ND	NO DOOR
✱	DENOTES LOT WITH ENGINEER FILL	CT	CABLE TV PEDESTAL
EXTENT OF ENGINEER FILL		BP	BELL PEDESTAL
DOUBLE SEWER SERVICE		ELL	BELL GRADE LEVEL BOX (R.T.G.)
SINGLE SEWER SERVICE		C	CORNER LOT (Side & Rear upgrade)
WATER SERVICE		R	REAR UPGRADE
HYD	HYDRANT	△	SIDE UPGRADE
SL	STREET LIGHTING	AB	ALL BRICK
TR	TRANSFORMER	---	45 MIN. RATED WALL
		ROG	ROGERS GRADE LEVEL BOX (R.T.G.)
		WAP	ROGERS WAP VALVE (R.T.G.)
		PD	ROGERS PEDESTAL (A.G.)
		FP	ROGERS PEDESTAL (A.G.)

NOTE :
BUILDER TO VERIFY
SANITARY AND STORM INVERT
ELEVATIONS PRIOR TO
EXCAVATION FOR FOOTINGS.



- NOTES**
1. THE PROPOSED ELEVATIONS AT BUILDINGS AND THE BASIC DIRECTION OF SURFACE DRAINAGE WILL BE SUBJECT TO DETAILED DESIGN WHEN HOUSE TYPES AND PLOT PLANS ARE AVAILABLE.
 2. NEAR TO FRONT DRAINAGE CAN BE ACCOMMODATED ONLY IF THE SEPARATION BETWEEN UNITS IS 2.4m.
 3. THE HOUSE TYPE AND DRIVEWAY LOCATION SHALL NOT BE CHANGED WITHOUT CITY OF BRAMPTON APPROVAL.
 4. WHERE POSSIBLE DOWNSPOUTS SHALL DISCHARGE TO THE GROUND SURFACE VIA SPLASH PADS TO THE FRONT OF THE HOUSE.
 5. A MINIMUM AREA OF 6.0m SHALL BE GRADED AT 2.0% AT THE REAR OF THE HOUSE.
 6. A MINIMUM AREA OF 7.5m SHALL BE GRADED AT 2.0% AT THE REAR OF THE HOUSE FOR REVERSE FRONTAGE LOTS.
 7. A MINIMUM OF 0.15m CLEARANCE MUST BE PROVIDED BETWEEN THE BROWLINE AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
 8. A MINIMUM CLEARANCE OF 0.20m MUST BE PROVIDED BETWEEN THE SIDING AND THE FINAL TOP OF GROUND ELEVATION AT THE HOUSE.
 9. ALL LOT GRADING MUST COMPLY WITH CITY OF BRAMPTON STANDARDS 426 AND 421 UNLESS OTHERWISE NOTED.
 10. DRIVEWAYS SHALL BE GRADED AT A MINIMUM OF 2.0% AND MAXIMUM OF 8.0% SLOPE.
 11. A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN DRIVEWAYS.
 12. ALL AREAS BEYOND THE PLAN OF SUBDIVISION, WHICH ARE DISTURBED DURING CONSTRUCTION, SHALL BE RESTORED TO THE SATISFACTION OF THE CITY OF BRAMPTON AT THE CONTRACTOR'S EXPENSE.
 13. ALL OPEN SPACE BLOCKS AND VALLEY LANDS SHALL BE MAINTAINED FREE OF GARAGE AND CONSTRUCTION DEBRIS BY THE DEVELOPER UNTIL ASSUMPTION OF THE SUBDIVISION BY THE CITY OF BRAMPTON.
 14. WHERE CORNER LOT FENCING IS REQUIRED BY THE CITY, THE SLOPE FROM THE NEAREST POINT AT THE DWELLING TO ANY POINT ALONG THE FENCE SHALL NOT EXCEED 6%.
 15. DRIVEWAYS ARE TO HAVE A MINIMUM SEPARATION OF 0.6m AT CURBS AND SHALL NOT CROSS THE PROJECTION OF THE PROPERTY LINE.
 16. THE MAXIMUM SLOPE ON THE LOTS SHALL BE 3% H/V, EXCEPT BETWEEN UNITS WHERE THE MAXIMUM SLOPE SHALL BE 4% H/V.
 17. SWALE GRADINGS SHALL BE A MINIMUM OF 2.0% AND A MAXIMUM OF 6.0%. SWALES SHALL HAVE A MAXIMUM SIDE SLOPE OF 3:1 H/V, A MINIMUM DEPTH OF 0.15m AND A MAXIMUM DEPTH OF 0.3m. SWALES ALONG THE LOT LINE BETWEEN HOUSES SHALL HAVE A MAXIMUM DEPTH OF 0.2m.
 18. FOOTINGS TO BE FOUND ON UNDISTURBED NATIVE SOIL OR, IF LOCATED IN ENGINEERED FILL, FOUNDATIONS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF, AND CERTIFIED IN THE FIELD BY, A GEOTECHNICAL ENGINEER.



HOMECAD PLAN DESIGNS Inc.
FIRM BCIN : 116056
1 Stephen Salfraynos have reviewed and take responsibility for this design.
Qualified Designer BCIN : 23933
April 28, 2021



BURNSIDE
Approved for drainage and grading
Lot 118
Date April 28, 2021
Signature [Signature]

FOOTINGS CONSTRUCTED NEXT TO RLCH
Underneath of footing has to extend to competent soil out of the catchbasin trench influence zone, below the lead pipe excavation, or as instructed by soils consultant. Extend footing as required.
Lot: 118

ENGINEERED FILL
This lot is in an area of Engineered Fill. The Builder is to have a qualified Geotechnical Engineer confirm the suitability of the footing subgrade prior to constructing footings. Extend footings into Engineered Fill as per soil report recommendations.
Lot: 118

BUILDING HEIGHT:	LOT: 118
BUILDING HEIGHT	8.91 m
MAXIMUM BUILDING HEIGHT (BYLAW)	16.60 m
LOT STATISTICS:	LOT: 118
GARAGE DOOR WIDTH	4.86 m
INTERIOR GARAGE WIDTH	5.64 m
INTERIOR GARAGE LENGTH	6.12 m

GREAT GULF	DR	Lot no. : 118			
		Plan no. 43M-2097			
		Scale : 1:250			
		Date: MARCH 2020			
Location : BRAMPTON, ONTARIO	Job No. : 2001	SCOTTISH HEATHER DEVELOPMENT INC.	PB18D		

RIVERVIEW HEIGHTS SUBDIVISION

GREAT GULF PHASE 4B BLOCK 40-3

2	04/29/2021	LOT 18 FOR FINAL
1	04/23/2021	LOT 18 SITE + GRADE



FILE NUMBER A-2021-0136

HEARING DATE JULY 13, 2021

APPLICATION MADE BY PIYUSH SAREEN AND MANSI BAGGA

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an interior side yard setback of 0.0m to an exterior stairway leading to a below grade entrance;
2. To permit an interior side yard setback of 0.0m (0.0 ft.) to a proposed below grade entrance, resulting in a combined total interior side yard width of 0.63m (2.06 ft.).

(38 FEEDER STREET – LOT 325, PLAN 43M-2022)

THE REQUEST IS HEREBY REFUSED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance is not desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law is not maintained and the variance is not minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: A. C. Marques

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

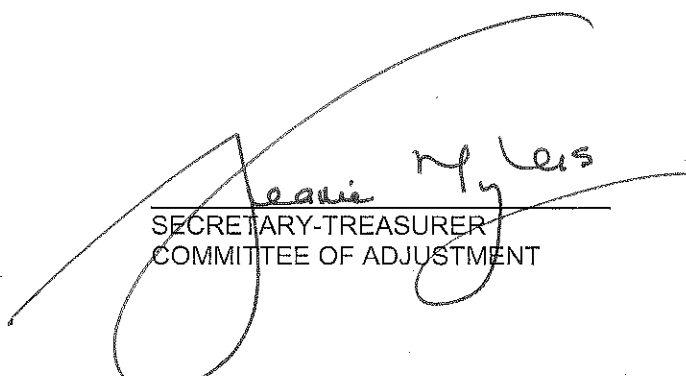
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

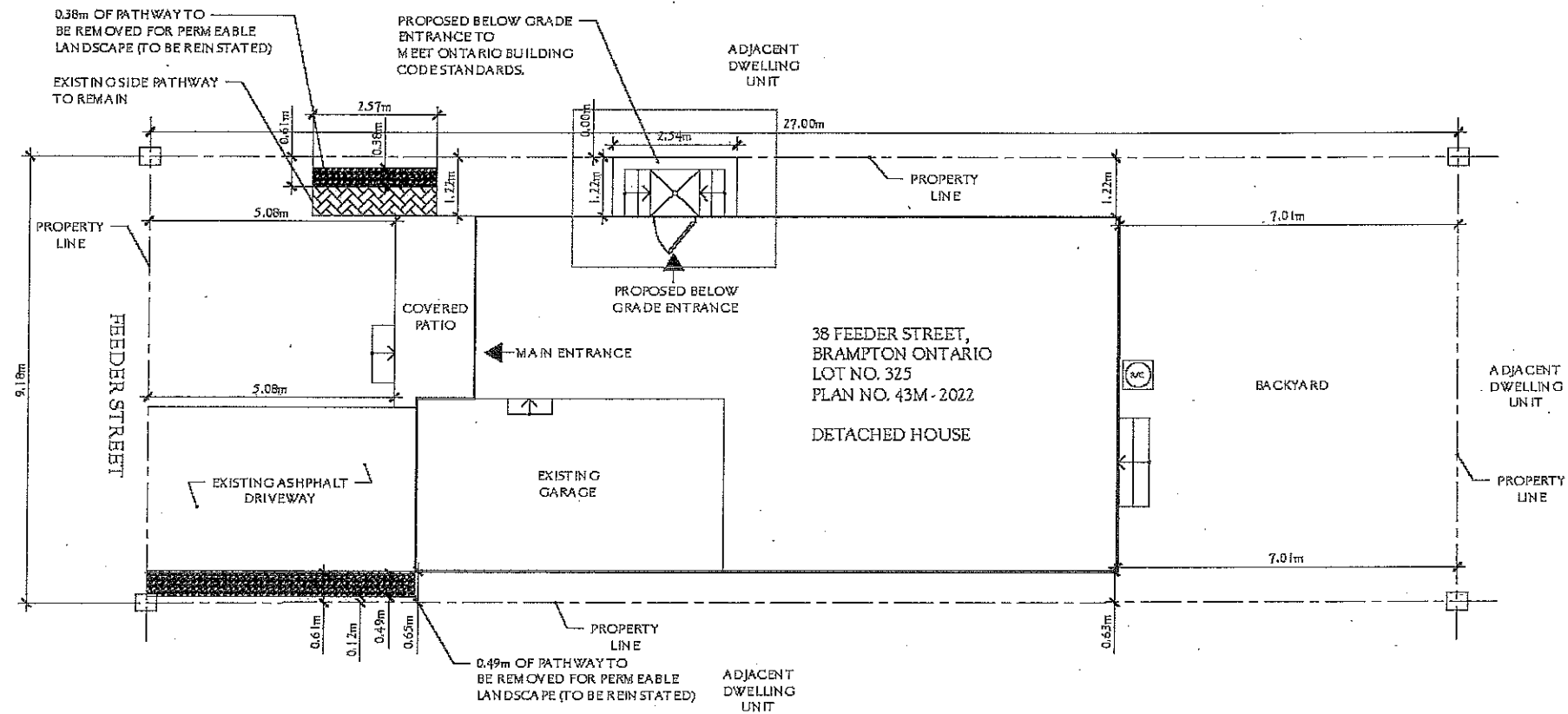
DATED THIS 13TH DAY OF JULY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE AUGUST 2, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.

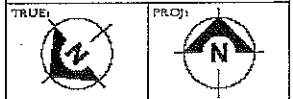


SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT



SITE PLAN
SCALE 1:100

NOTES:



PROJECT TITLE:
38 FEEDER STREET

DRAWING TITLE:
SITE PLAN

SCALE:
1:100

DATE:
2021/06/06

DESIGNED BY:
SINGH D. MARTINSR.

REVISION:
0

PROJECT NO.
-

SHEET NO.
A-101

FILE NUMBER A-2021-0137

HEARING DATE JULY 13, 2021

APPLICATION MADE BY THE CORPORATION OF THE CITY OF BRAMPTON

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a seniors residential apartment dwelling.

(8950 MCLAUGHLIN ROAD SOUTH – PART OF LOT 5, CONC. 2 W.H.S.,)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: A.C. Marques

SECONDED BY: D.Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

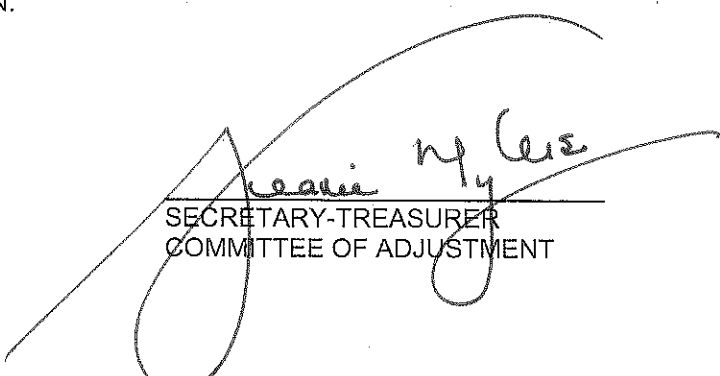
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 13TH DAY OF JULY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE AUGUST 2, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

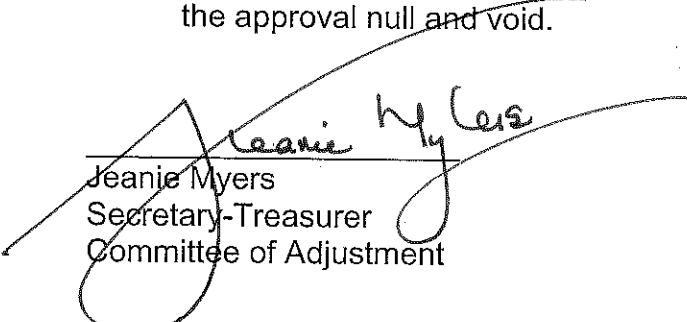
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

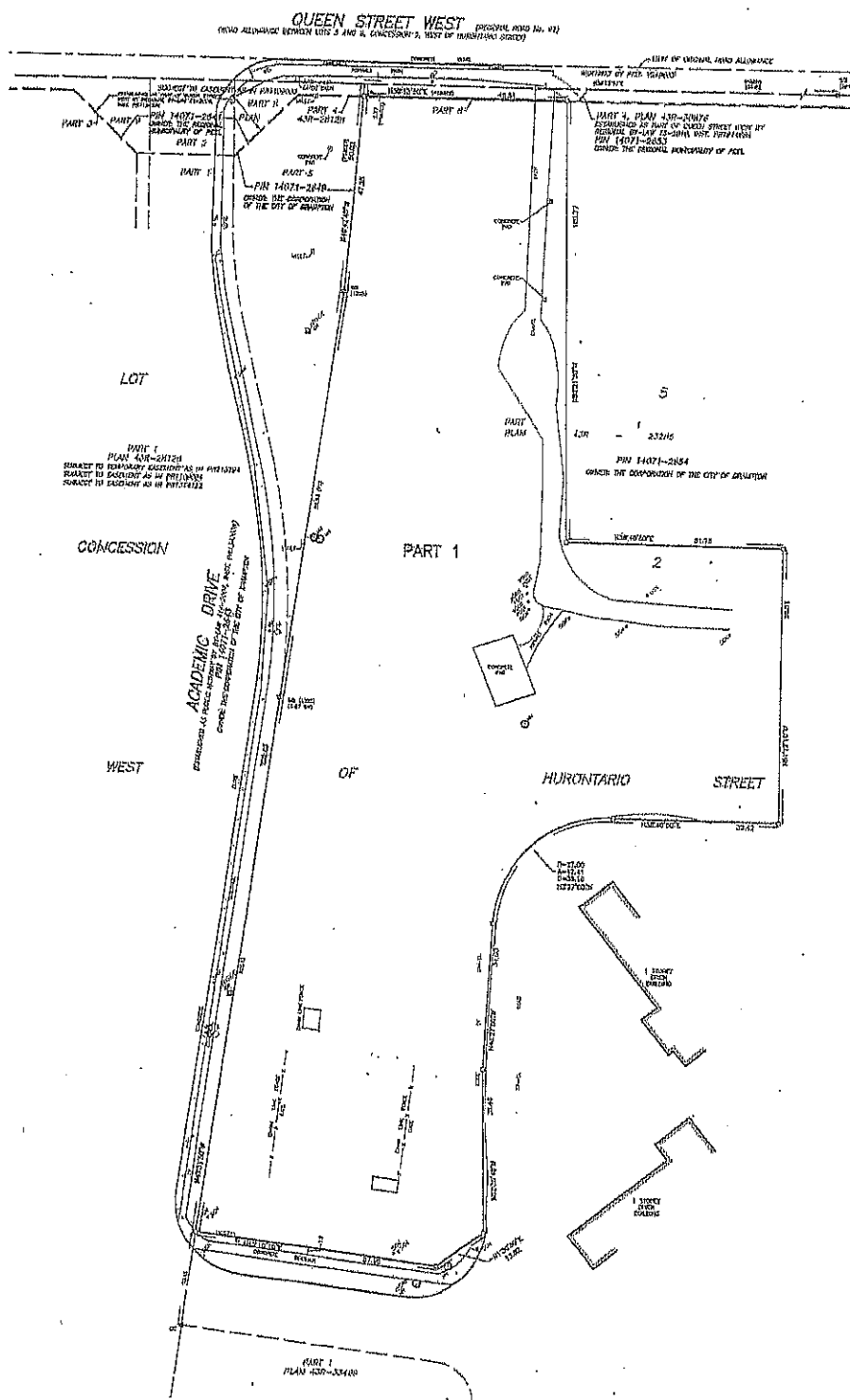
APPLICATION NO: **A-2021-0137**

DATED: **JULY 13, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the seniors residential apartment dwellings shall only be permitted in conjunction with a long term care facility;
3. That the seniors residential apartment dwellings must be located within a building operated by a non-profit and non-commercial organization and only be for the housing of senior citizens;
4. That the applicant submit a Site Plan application, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services;
5. The Region of Peel will require a subsequent Site Plan application to facilitate the proposed seniors residential apartment dwelling and any other proposed uses on the subject site. Through the submission of technical materials required under the Site Plan application process, the applicant is required to demonstrate that all necessary Site Servicing, Traffic and Regional Requirements are met to the satisfaction of the Region prior Site Plan Approval;
6. The applicant must confirm through the required Site Plan application that the proposal does not exceed the capacity of Regional infrastructure. In the event that the proposal exceeds the capacity of Regional infrastructure (including water, wastewater, stormwater, and transportation), any infrastructure upgrades required to facilitate the proposed development will be at the sole cost of the applicant;
7. The consultant is required to complete and submit the Single-Use Demand table for the Region to fulfil our modelling requirements and determine the proposal's impact to the Existing system. The demand table shall be in digital format and accompanied by the Supporting graphs for the hydrant flow tests and shall be stamped and signed by the Professional Consulting Engineer. This demand table will be required prior to Site Plan Approval; and;
8. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



PART	LOT	CONCESSION	PR	AREA (m)
1	PART OF 3	3. WEST OF HONGKONG STREET	PART OF 34071-34074	2234.3

PLAN OF SURVEY OF
PART OF LOT 5
CONCESSION 2
WEST OF HURONTARIO STREET
(ORIGINALLY IN TOWNSHIP OF CHINGUACOSTY)
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:500



THE BATHYMETRIC PLAN WAS OBTAINED FROM A 20 METRE DEPTH OF SOUNDING IN 1950

MEETING

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

COORDINATE REFERENCE
COORDINATES AND DISTANCE FROM INTERST ARE OBTAINED FROM STREET
MAPS THAT INDICATE (MAY) INDENTATIONS AND ARE REFERENCED TO THE
CENTRAL URBANIZATION POINT. MOST LOCATIONS, ZONE 13, WITH STATIONARY,
MOST (200, 25000) DATA.

COORDINATES FROM THE PLAN HAVE BEEN CORRECTED TO USUAL
COORDINATE SYSTEM AT HIGH CONFIDENCE LEVEL, ACCORDING TO ZONE
26/10.

STATIONS ARE THE DISTANCES.

DISTANCES AND CIRCULAR LEVEL DISTANCES AND CAN BE CONVERTED TO
THE DISTANCES BY MEANS OF THE DISTANCE FROM THE CENTER OF

Posti	Illoinjo	Kattilo
1	400000.00	400000.00
2	400000.00	400000.00
3	400000.00	400000.00
4	400000.00	400000.00

COORDINATES ALONG
CANYON DE UZZI TO
DE-DELAVALI POINT
ON BOUNDARY
SHOWN ON THIS PLAN

W00010	DEFINITE	SURVEY MONUMENT FOUND
01	DEFINITE	SURVEY MONUMENT PLANTED
02	DEFINITE	IRON BAR
03	DEFINITE	STANDARD PINE BAR
04	DEFINITE	IRON STANDARD IRON BAR
05	DEFINITE	CLAY COINER
06	DEFINITE	PLAN 1-27-30000
07	DEFINITE	PLAN 1-27-30000
08	DEFINITE	DEPARTMENT OF MINES WORKS
09	DEFINITE	DAVID A. JONES SUNDRIES LTD. OIL

SURVEYOR'S CERTIFICATE

1. THE AGENCY AND PLAN ARE CONSISTENT AND IN ACCORDANCE WITH THE BUREAU ACT, THE BUREAU ACT, THE LAW ENFORCEMENT ACT AND THE REGULATIONS MADE UNDER THEM.

APPROVED 31, 1921
CHIEF

THIS PLAN OF JARVIS PERTAINS TO THE FOLD PLAN SUBMISSION OF _____

TARASICK McMILLAN KUDICKI LIMITED
PHYSICIAN LAW MEDICAL

* 4101 BLANDFORD STREET, UNIT A2, WOODBRIDGE, ONTARIO L2L 3A2
TEL: (905) 872-0100 FAX: (905) 872-3888
E-MAIL: info@blond.com

Devised Int. Ref.	FILE No. 1033-171
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FILE NUMBER A-2021-0139

HEARING DATE JULY 13, 2021

APPLICATION MADE BY SANJEEV DAWAR AND PUNEET DAWAR.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a rear yard setback of 4.49m (14.73 ft.) to an existing sunroom addition;
2. To permit a permeable landscape strip of 0.24m (.80 ft.) between the existing driveway and the side lot line.

(9 ZACHARY DRIVE – LOT 120, PLAN 43M-1117)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

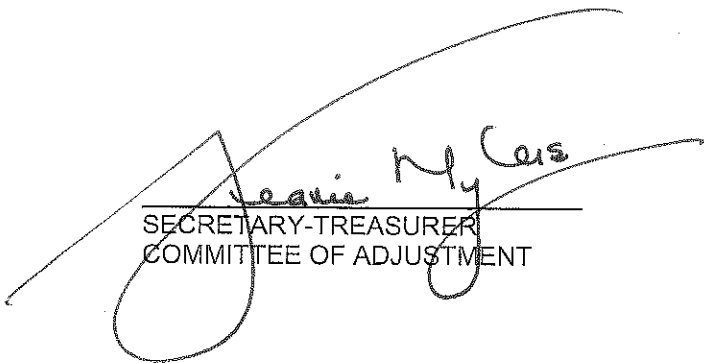
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 13TH DAY OF JULY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE AUGUST 2, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

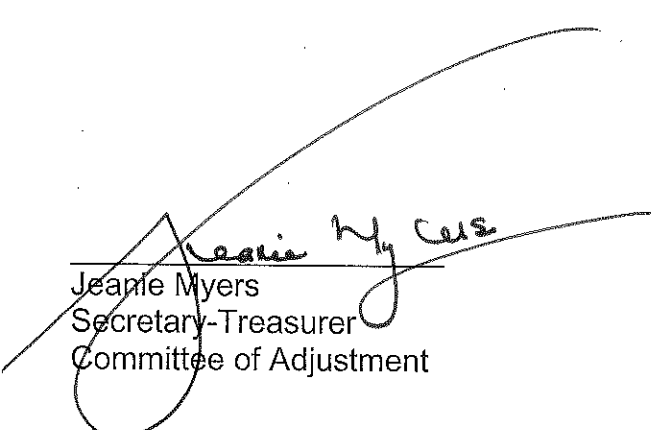
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

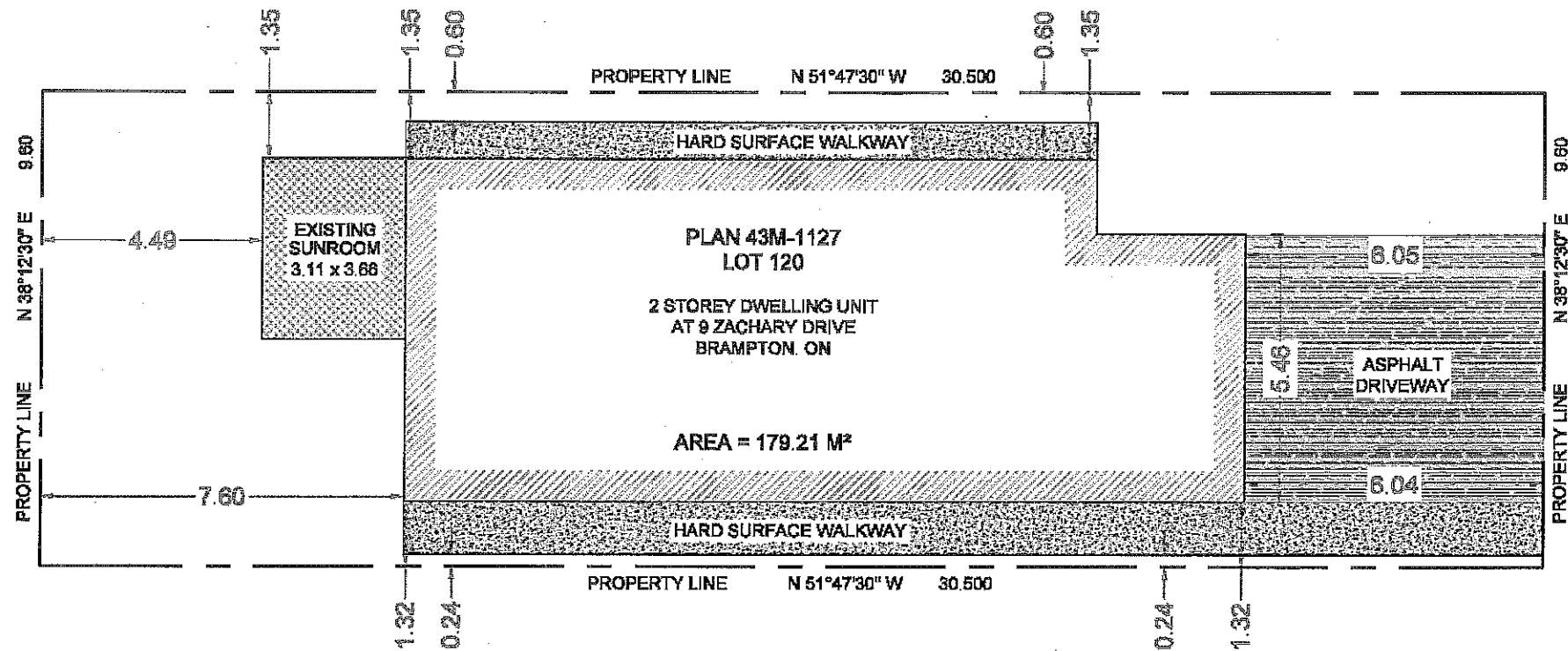
APPLICATION NO: A-2021-0139

DATED: JULY 13, 2021

Conditions:

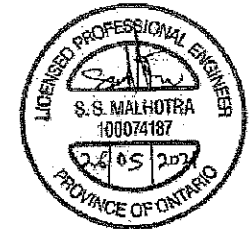
1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the owner shall obtain a building permit within sixty (60) days of the decision of approval or within an extended period of time at the discretion of the Chief Building Official;
3. That the sunroom addition remains in its current one storey configuration;
4. That roof drainage from the sunroom shall flow onto the applicant's property and that drainage on adjacent properties shall not be adversely affected; and;
5. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



SCOPE OF WORK

EXISTING UNHEATED SUNROOM



0	ISSUED FOR PERMIT	JUN / 04 / 2021
NO.	DESCRIPTION	DATE

CIVIL ENGINEER:
ARCOM DESIGN INC.
 30 QUAIL VALLEY DR.
 BRAMPTON, ON
 647-444-8881
 arcomdesigninc@gmail.com

PROJECT:
**PROPOSED SUNROOM
 AT 9 ZACHARY DRIVE
 BRAMPTON, ON**

TITLE	
SITE PLAN	
CHECKED: SM	A1
DRAWN: MN	
SCALE: 1:100	
DATE: MAY / 05 / 2020	



FILE NUMBER A-2021-0097

HEARING DATE JULY 13, 2021

APPLICATION MADE BY BALJINDER SINGH SANDHU AND MANDEEP SANDHU

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a driveway width of 8.25m (27.06 ft.);
2. To provide a permeable landscape strip of 0.0m between the existing driveway and the side lot line.

(39 BELLFLOWER LANE – LOT 70, PLAN 43M-1572)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE “A” ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: A.C.M Marques

SECONDED BY: D.Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON JULY 13, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

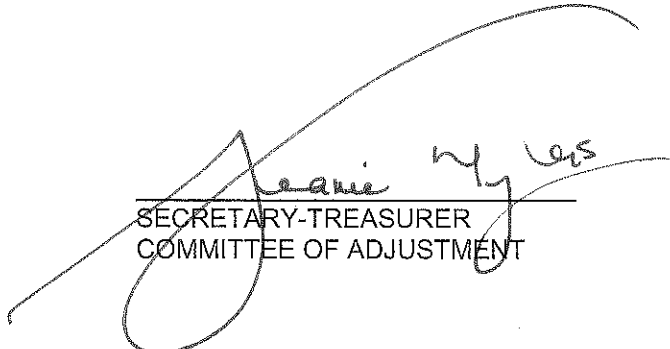
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 13TH DAY OF JULY, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE AUGUST 2, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

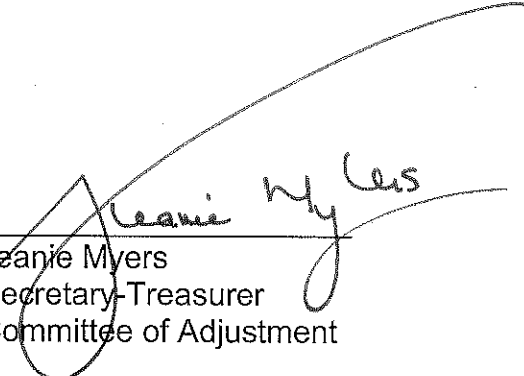
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: A-2021-0097

DATED: JULY 13, 2021

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That drainage on adjacent properties shall not be adversely affected;
3. That the existing municipal curb depression shall not be widened in the area of the extended driveway width; and;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



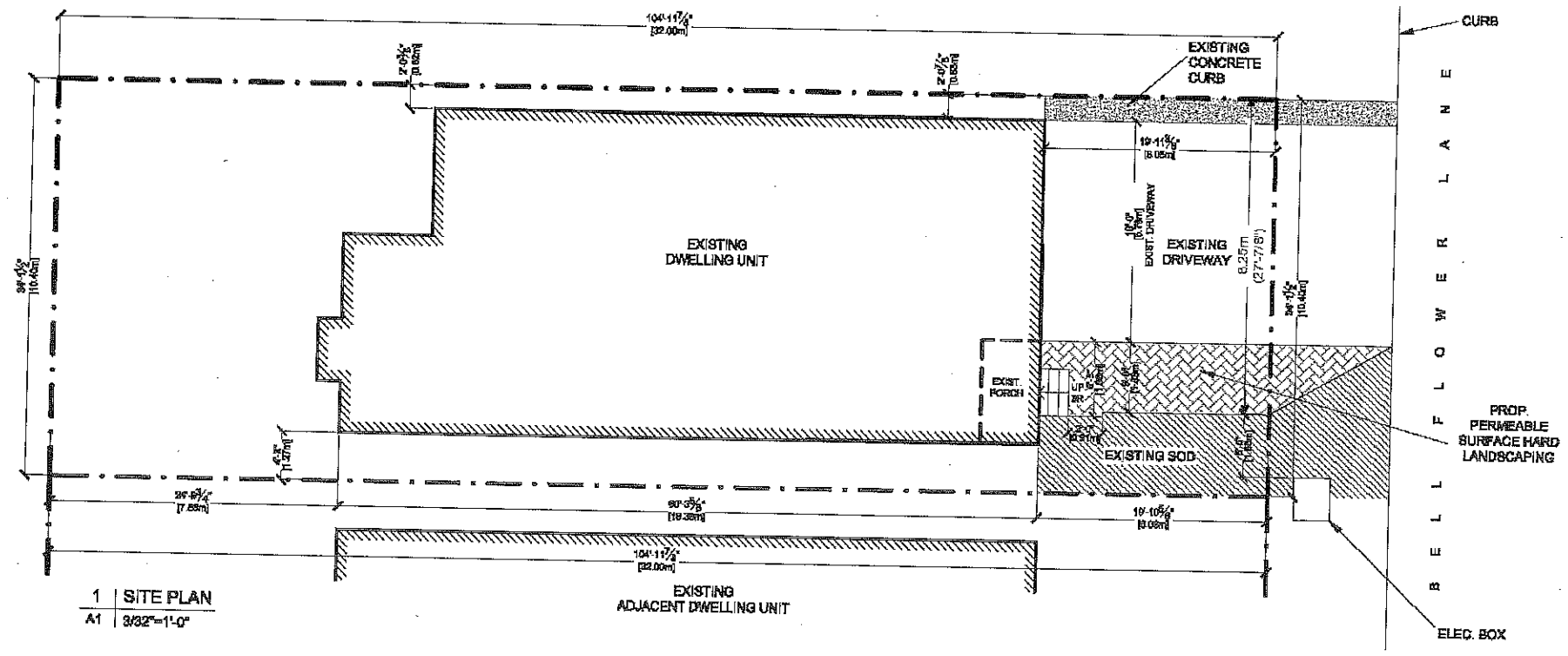
LEGEND:

- EXISTING BUILDING
- PROPERTY LINE
- PERMEABLE TILES
- SOD
- CONCRETE CURB

SCOPE OF WORK: DRIVEWAY EXTENSION

SOFT LANDSCAPE AREA CALCULATION:
TOTAL FRONT YARD- 873 SQFT
PROP. FRONT YARD SOD- 42.5 SQFT (6.3%)

DESCRIPTION	SITE STATISTICS			SETBACKS	
	IMPERIAL	METRIC	%	DESCRIPTION	EXIST.
LOT AREA	3582	332.7785		FRONT	6.08m
LOT COVERAGE	1808	148.3880	44.8811	REAR	7.56m
				NORTH SIDE	0.83m
				SOUTH SIDE	1.28m



1 | SITE PLAN
A1 | 3/32"=1'-0"

"DO NOT SCALE"
CONTRACTOR MUST VERIFY ALL INFORMATION PRIOR TO COMMENCEMENT OF THE WORK. ALL DRAWINGS & SPECIFICATIONS ARE PROPERTY OF ORANA INC. AND MUST BE RETURNED UPON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.

B DRIVEWAY WIDTH REVISED	AC 30.04.2021
A SUBMITTED FOR PERMIT	AC 30.04.2021
RD: DESCRIPTION:	REV: DATE:
STATUS: SUBMITTED FOR PERMIT	

ORANA
DRAFTING
A DIVISION OF ORANA INC.

CLIENT:
BALJINDER SINGH SANDHU

SITE: 39 BELLFLOWER LANE BRAMPTON, ON, CANADA			
TITLE: SITE PLAN			
SCALE: 3/32"=1'-0"	DATE: 28.04.2021	DRAWN: AC	CHECKED: DS
PROJECT NO: 21-12	ENGINEER NO: A1	REVISIONS: B	