



Agenda
Committee of Adjustment
The Corporation of the City of Brampton

Date: August 24, 2021
Time: 9:00 a.m.
Location: Council Chambers - 4th Floor, City Hall - Webex Electronic Meeting
Members: Ron Chatha (Chair)
Desiree Doerfler (Vice-Chair)
Ana Cristina Marques
David Colp
Rod Power

NOTICE: In consideration of the current COVID-19 public health orders prohibiting large public gatherings and requiring physical distancing, in-person attendance at Council and Committee meetings will be limited.

Some limited public attendance at meetings may be permitted by pre-registration only (subject to occupancy limits). It is strongly recommended that all persons continue to observe meetings online or participate remotely. To register to attend a meeting in-person, please visit https://www.brampton.ca/council_and_committees.

For inquiries about this agenda, or to make arrangements for accessibility accommodations (some advance notice may be required), please contact:
Jeanie Myers, Secretary-Treasurer, Telephone 905.874.2117, cityclerksoffice@brampton.ca

1. Call to Order

2. Adoption of Minutes

3. Declarations of Interest under the Municipal Conflict of Interest Act

4. Withdrawals/Deferrals

A20-022 - KERRY'S PLACE RESIDENTIAL SERVICES, 58 NEWBURY CRESCENT

Letter dated August 9, 2021 from Mr. Marc Kemerer, Devry Smith Frank LLP, authorized agent for the applicant, advising that Application A20-022 in the name of Kerry's Place Residential Services is withdrawn.

5. NEW CONSENT APPLICATIONS

5.1. **B-2021-0015**

KANEFF PROPERTIES LIMITED

1876 HALLSTONE ROAD

PART OF LOT 14, CONC. 4 W.H.S., WARD 6

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 33.22 hectares (82.09 acres). The severed land (**Parcel A**) has a frontage of approximately 270 metres (885.92 feet), a depth of approximately 200 metres (656.17 feet) and an area of approximately 3.90 hectares (9.64 acres). It is proposed that the severed land be developed with an Office/Research and Development Lab. (Concurrent Consent Application B-2021-0016)

5.2. B-2021-0016

KANEFF PROPERTIES LIMITED

1876 HALLSTONE ROAD

PART OF LOT 14, CONC. 4 W.H.S., WARD 6

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 33.22 hectares (82.09 acres). The severed land (**Parcel B**) has a frontage of approximately 91 metres (298.56 feet), a depth of approximately 140 metres (459.32 feet) and an area of approximately 1.36 hectares (3.36 acres). It is proposed that the severed land be developed with a Warehouse/Office. (Concurrent Consent Application B-2021-0015)

6. VALIDATION OF TITLE APPLICATION

6.1. V-2021-0002

HURONTARIO SELF STORAGE DEVELOPMENTS LIMITED

10134 HURONTARIO STREET

PART OF LOT 11, CONC. 1 W.H.S, WARD 2

The purpose of the application is to request the consent of the Committee of Adjustment to validate the title of lands legally described as Part of Lot 11, Concession 1 W.H.S. having frontage on Hurontario Street of approximately 30.52 metres (100.13 feet), a depth of approximately 105.22 metres (345.21 feet) and an area of approximately 3226.57 square metres (0.80 acres).

7. DEFERRED CONSENT APPLICATIONS

8. NEW MINOR VARIANCE APPLICATIONS

8.1. A-2021-0160

MCVEAN COMMERCIAL CENTRE LTD.

11615-11705 MCVEAN DRIVE

BLOCK 385, PLAN 43M-1997, WARD 10

The applicants are requesting the following variance(s);

1. To permit a front yard setback of 2.27m (7.45 ft.) whereas the by-law requires a minimum front yard setback of 6.0m (19.68 ft.);
2. To permit an exterior side yard setback of 4.5m (14.76 ft.) whereas the by-law requires a minimum exterior side yard setback of 6.0m (19.68 ft.);
3. To permit 456 parking spaces on site whereas the by-law requires a minimum of 467 parking spaces.

8.2. A-2021-0161

SAURIN DAVE AND GEETANJALI DAVE

2 BLUE DIAMOND DRIVE

LOT 1, PLAN 43M-1571, WARD 8

The applicants are requesting the following variance(s):

1. To permit an accessory building (proposed gazebo) with a building height of 3.34m (10.96 ft.) whereas the by-law permits a maximum height of 3.0m (9.84 ft.);
2. To permit a driveway width of 7.92m (25.98 ft.) whereas the by-law permits a maximum driveway width of 7.32m (24 ft.).
3. To permit 0.14m (0.50 ft.) permeable landscaping between the driveway and the side lot line whereas the by-law requires a minimum permeable landscape strip of 0.6m (1.97 ft.) between the driveway and the side lot line.

8.3. A-2021-0163

CHRIS FRENCH AND MELISSA FRENCH

11 DERWENT AVENUE

LOT 138, PLAN 625, WARD 3

The applicant is requesting the following variance(s):

1. To permit an interior side yard setback of 1.22m (4 ft.) to a proposed second storey addition whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.) to the second storey;
2. To permit a 0.0 m setback to an existing addition (pool equipment storage) whereas the by-law requires a minimum setback of 1.2m (3.94 ft.) for the first storey;
3. To permit 0.0m permeable landscaping between the existing driveway and the side lot line whereas the by-law requires a minimum 0.6m (1.97 ft.) of permeable landscaping between the driveway and the side lot line;
4. To permit an existing fence in the rear yard having a maximum height of 2.42m (7.94 ft.) whereas the by-law permits a fence in the rear yard to a maximum height of 2m (6.56 ft.);
5. To permit an interior side yard setback of 0.45m to an existing deck whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

8.4. A-2021-0164

CRISTALL GROUP INVESTMENTS INC.

158 KENNEDY ROAD SOUTH, UNITS 12 AND 13

PART OF LOT 2, CONC. 2 E.H.S., PARTS 1 AND 2, PLAN 43R-2937, WARD 3

The applicant is requesting the following variance(s):

1. To permit a place of commercial recreation (billiard hall) to operate from Units 12 and 13, whereas the by-law does not permit a place of commercial recreation.

Note: Approval granted under application A16-145 has expired.

8.5. A-2021-0165

AMANJOT KAHLON AND PAWANDEEP KAHLON

12 ST. JOHNS RAD

LOT 19, PLAN 1002, WARD 9

The applicants are requesting the following variance(s):

1. To permit a building height of 11.28m (37 ft.) whereas the by-law permits a maximum building height of 10.6m (34.78 ft.);
2. To permit a garage door height of 2.74m (9.0 ft.) whereas the by-law permits a maximum garage door height of 2.4m (7.88 ft.);
3. To permit an existing fence in the required front yard with a maximum height of 1.52m (5.0 ft.) whereas the by-law permits a fence in the required front yard to a maximum height of 1.0m (3.28 ft.).

8.6. A-2021-0167

HAKAM SINGH SANDHU AND SURINDERPAL KAUR SANDHU

11 HILLCREST AVENUE

LOTS 32, 33, PLAN D-14, WARD 3

The applicants are requesting the following variance(s):

1. To permit interior side yard setbacks of 1.24m (4.07 ft.) and 1.5m (4.92 ft.) whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.);
2. To permit a building height of 9.01m (30 ft.) whereas the by-law permits a maximum building height of 8.5m (27.89 ft.);
3. To permit lot coverage of 38.8% whereas the by-law permits a maximum lot coverage of 30%.

8.7. A-2021-0168

KEN WAGERMAN AND HEATHER BAIN

12 ALSTON COURT

LOT 165, PLAN 521, WARD 3

The applicants are requesting the following variance(s):

1. To permit a detached garage having a gross floor area of 75.19 sq. m (809.34 sq. ft.) whereas the by-law permits a maximum gross floor area of 48 sq. m (516.67 sq. ft.).

8.8. A-2021-0169

RAGHBIR UBHI

8 TORTOISE COURT

LOT 11, PLAN M-90, WARD 10

The applicant is requesting the following variance(s):

1. To permit an accessory structure (fireplace) having a height of 3.96m (13 ft.) whereas the by-law permits a maximum height of 3.5m (11.48 ft.);
2. To permit five (5) accessory structures whereas the by-law permits a maximum of two (2) accessory structures;
3. To permit a combined gross floor area of 220.84 sq. m (2377.10 sq. ft.) for five (5) accessory structures (cabana 1, cabana 2, pergola, shed and fireplace) whereas the by-law permits a maximum combined gross floor area of 40 sq. m (430.56 sq. ft.).

Note: Approval was granted under Application A-2021-0087 for four (4) accessory structures having a combined gross floor area of 212.24 sq. m (2284.53 sq. ft.).

8.9. A-2021-0170

TARIG ABDELMONIM AND EINAS KHAIRY

4 TEABERRY TERRACE

LOT 347, PLAN 43M-1883, WARD 4

The applicants are requesting the following variance(s):

1. To permit a deck encroachment of 4.29m (14.07 ft.) into the required rear yard, resulting in a rear yard setback of 3.21m (10.53 ft.) whereas the by-law permits a deck encroachment of 1.8m (5.91 ft.) into the required rear yard, resulting in a rear yard setback of 5.7m (18.70 ft.).

8.10. A-2021-0171

TAKOL STEELTON INC.

2074, 2080 AND 2084 STEELES AVENUE EAST

PART OF BLOCKS A, B, C, PLAN 766, WARD 4

The applicant is requesting the following variance(s):

1. To permit offices of accredited or licensed professionals whereas the by-law does not permit the proposed use;
2. To permit an existing fitness centre whereas the by-law does not permit the use;
3. To permit an existing motor vehicle rental establishment whereas the by-law does not permit the use;
4. To permit 448 parking spaces whereas the by-law requires a minimum of 499 parking spaces;
5. To permit a 2.4m (7.87 ft.) wide open space landscaped strip along the lot line abutting Steeles Avenue East whereas the by-law requires a minimum 3.0m (9.84 ft.) wide open space landscaped strip along a lot line abutting a street.

8.11. A-2021-0172

KANEFF PROPERTIES LIMITED

1876 HALLSTONE ROAD

PART OF LOT 14, CONC. 4 W.H.S., WARD 6

The applicant is requesting the following variances associated with the proposed severed lot under consent application B-2021-0015:

1. To permit a 0.0 metre landscaped open space strip along the northerly property line whereas the by-law requires a minimum 3.0 metre wide landscaped open space strip.

8.12. A-2021-0173

KANEFF PROPERTIES LIMITED

1876 HALLSTONE ROAD

PART OF LOT 14, CONC. 4 W.H.S., WARD 6

The applicant is requesting the following variances associated with the proposed severed lot under consent application B-2021-0016:

1. To permit a minimum lot area of 1.36 hectares whereas the by-law requires a minimum lot area of 2.0 hectares.

8.13. A-2021-0176

TAKOL CMCC RUTHERFORD GP INC.

286 RUTHERFORD ROAD SOUTH

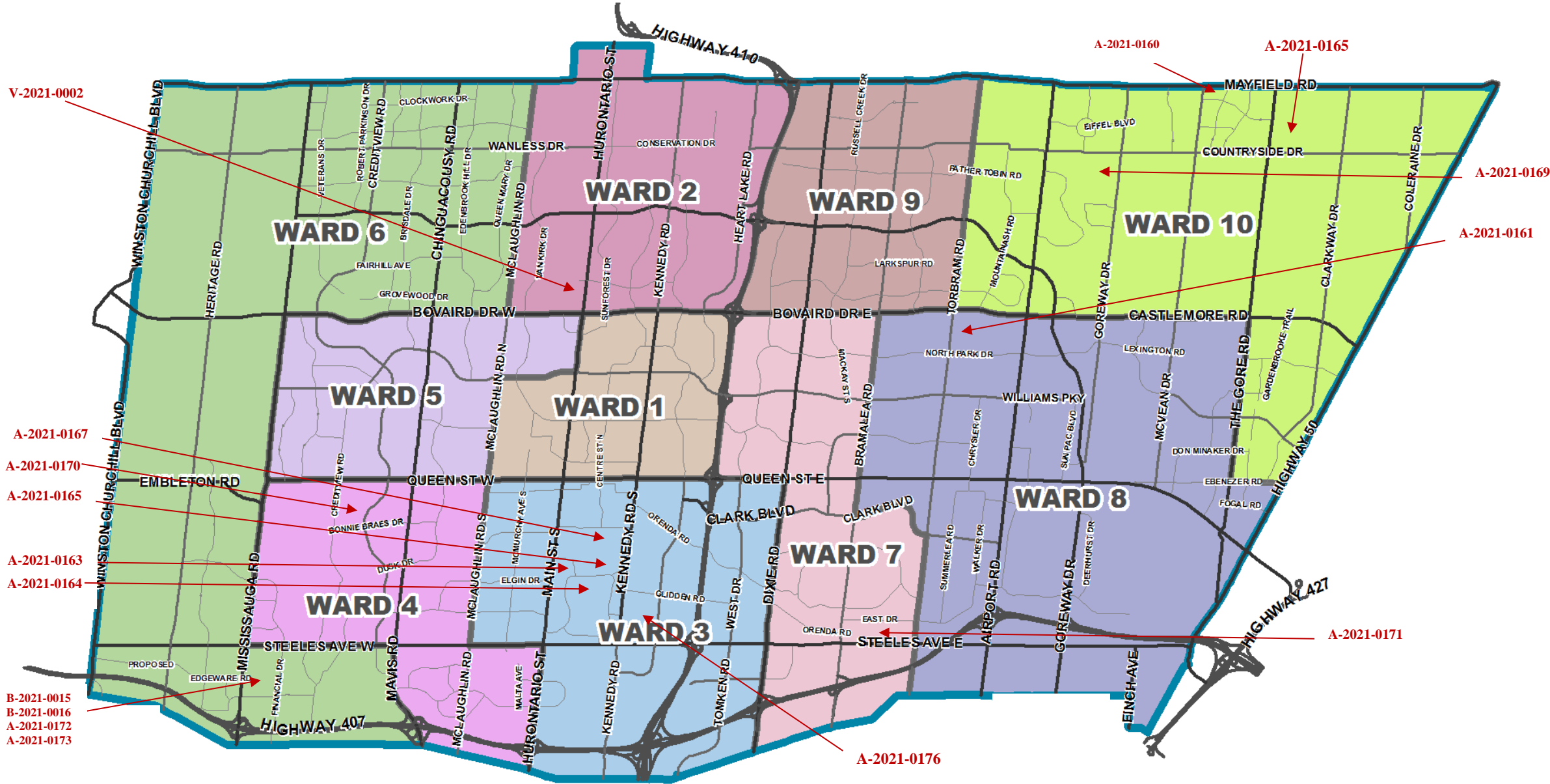
PARTS OF LOTS 1 AND 2, CONC. 2 E.H.S., PARTS 9 TO 16, PLAN 43R-795

The applicant is requesting the following variance(s):

1. To permit a rear yard setback of 3.0m (9.84 ft.) to a hydro transformer whereas the by-law requires a minimum rear yard setback of 7.0m (22.97 ft.).

9. DEFERRED MINOR VARIANCE APPLICATIONS

10. Adjournment





DEVRY SMITH FRANK *LLP*
Lawyers & Mediators

marc.kemerer@devrylaw.ca
416.446.3329

BY E-MAIL

Our File No.: KERPL850

August 9, 2021

The Corporation of the City of Brampton
City Clerk's Office
2 Wellington Street West
Brampton, ON L6Y 4R2

Attention: Jeanie Myers, Legislative Coordinator and Secretary-Treasurer
E-mail: Jeanie.Myers@brampton.ca

Dear Ms. Myers:

Re: Our client: Kerry's Place Residential Services ("KPRS")
Subject Property: 58 Newbury Crescent
Municipality: City of Brampton
Application Number A20-022

This will confirm that our client is withdrawing the application in the above-noted matter as our client will be demolishing the shed and the Interim Control By-law has lapsed.

Should you have any questions regarding the withdrawal, please do not hesitate to contact me.

Yours truly,

DEVRY SMITH FRANK *LLP*

A handwritten signature in black ink, appearing to read 'Marc P. Kemerer'. The signature is written in a cursive, flowing style.

Marc P. Kemerer
MPK/jtg

c.c. Client

APPLICATION # B-2021-0015
Ward # 6**NOTICE OF AN APPLICATION FOR CONSENT**

An application for consent has been made by **KANEFF PROPERTIES LIMITED**

Purpose and Effect

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 33.22 hectares (82.09 acres). The severed land (**Parcel A**) has a frontage of approximately 270 metres (885.92 feet), a depth of approximately 200 metres (656.17 feet) and an area of approximately 3.90 hectares (9.64 acres). It is proposed that the severed land be developed with an Office/Research and Development Lab. (Concurrent Consent Application B-2021-0016)

Location of Land:

Municipal Address: 1876 HALLSTONE ROAD

Former Township: Toronto Gore

Legal Description: Part of Lot 14, Concession 4 W.H.S.

Meeting

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. **This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment Decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.**

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

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LAST DAY FOR RECEIVING COMMENTS: AUGUST 20, 2021

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NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	YES	File Number: A-2021-0172

Decision and Appeal

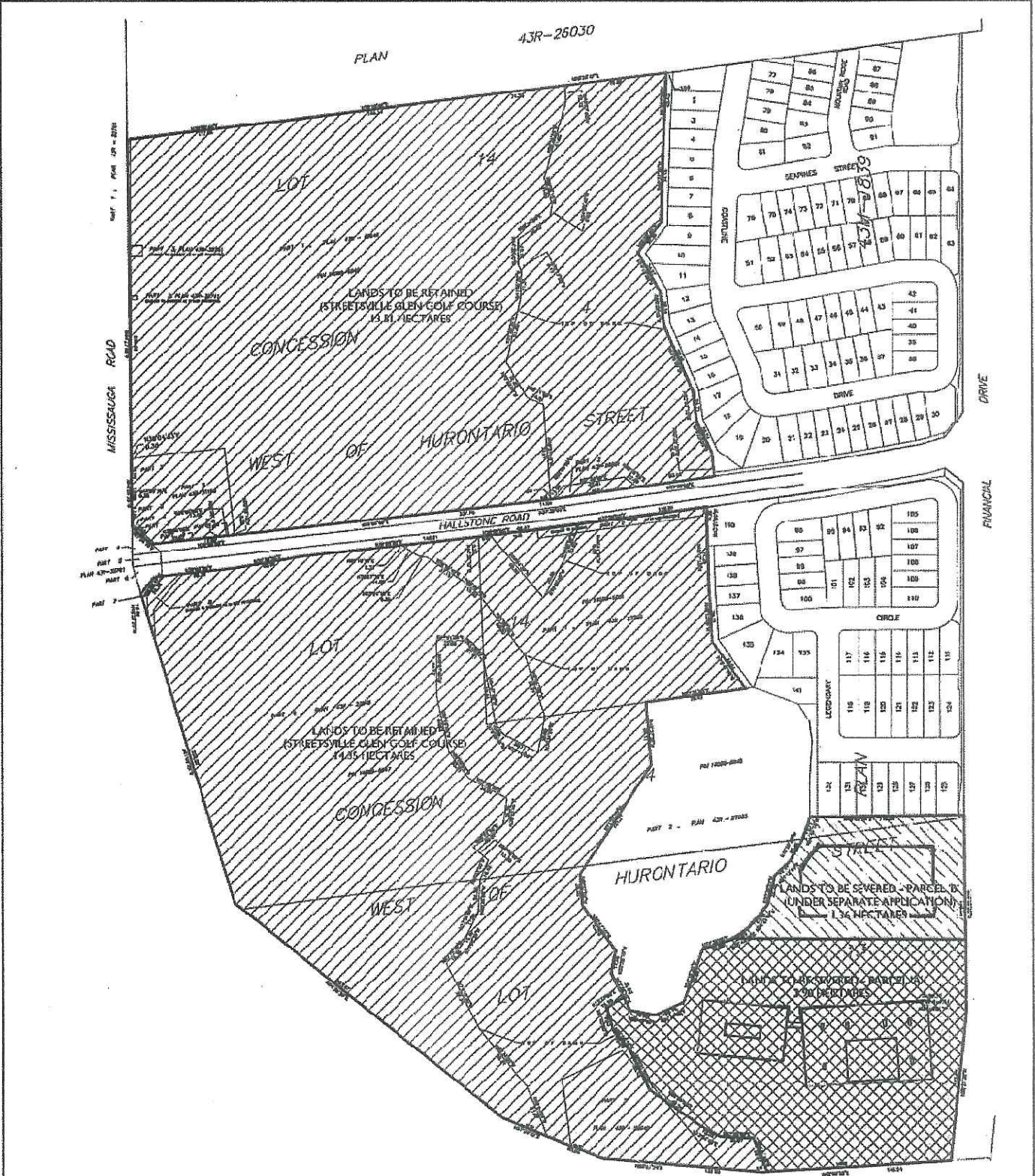
Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Local Planning Appeal Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Local Planning Appeal Tribunal Act*. The appeal form is available from the Environment and Land Tribunals Ontario website at www.elto.gov.on.ca

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.




DATED AT THE CITY OF BRAMPTON THIS **5th Day of August, 2021**

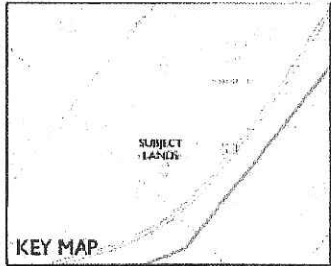
Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Page 12 of 30
Fax: (905)874-2119
Jeanie.myers@brampton.ca



CONSENT STATISTICS

-  LANDS TO BE RETAINED (STREETSVILLE GLEN GOLF COURSE): 27.86 HECTARES
-  LANDS TO BE SEVERED - PARCEL 'A': 3.90 HECTARES
-  LANDS TO BE SEVERED - PARCEL 'B' (UNDER SEPARATE APPLICATION): 1.36 HECTARES



CONSENT SKETCH - PARCEL 'A' AND PARCEL 'B'
KANEFF PROPERTIES LIMITED

1876 HALLSTONE ROAD
PART OF LOT 14, CONCESSION 4, W.H.S.
WARD 6
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE - 1:3000
JULY 22, 2021



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



July 27, 2021

The Corporation of the City of Brampton
City Clerk's Office
2 Wellington Street West
Brampton, ON L6Y 4R2

Attn: Ms. Jeanie Myers, Secretary-Treasurer, Committee of Adjustment

Re: Applications to the Committee of Adjustment – Consent and Minor Variance
1876 Hallstone Road (north of Highway 407, west of Financial Drive)
Part of Lot 14, Concession 4, W.H.S.
Ward: 6

B-2021-0015; B-2021-0016; A-2021-0172; A-2021-0173

Dear Ms. Myers,

Kaneff Properties Limited is pleased to submit the enclosed Consent Applications and Minor Variance Applications to the Committee of Adjustment to facilitate the severance of our lands located at 1876 Hallstone Road, also known as the Streetsville Glen Golf Course.

The purpose of the consent is to sever Parcel 'A' and Parcel 'B' from the Streetsville Glen Golf Course to create two new lots. Parcel 'A' is proposed to be severed from the Streetsville Glen Golf Course to create a 3.9 hectare parcel of land proposed to accommodate the construction of a new 7,204 square metre research and development lab and a four storey, 11,017 square metre office building (City File: SPA-2021-0042). A separate consent application has been filed to create Parcel 'B', which consists of a 1.36 hectare lot that is to be developed independent of Parcel A and subject to a future application for site plan approval. The consent applications will create two new lots and will also effectively establish legal property boundaries for the two sites (Parcel 'A' & 'B') so that they may be developed for their intended purposes.

An application for minor variance has been submitted in conjunction with each consent application to address minor zoning deficiencies on the severed lands (Parcel 'A' and Parcel 'B'). The variances being sought are referenced below with justification provided in accordance with Section 45(1) of the *Planning Act* (see Appendix 1).

t 905 454 0221

f. 905 454 0297

e: info@kaneff.com

Kaneff Group of Companies, 8501 Mississauga Road, Brampton ON L6Y 5G8



Property Description (Streetsville Glen Golf Course)

Kaneff Properties Limited is the registered owner of the subject lands municipally identified as 1876 Hallstone Road and legally described as Part of Lot 14, Concession 4, West of Hurontario Street. The subject lands currently operate as a public golf course (Streetsville Glen Golf Course) and are located north of Highway 407, east of Mississauga Road and west of Financial Drive. The subject lands are comprised of a total area of 33.12 hectares and have been operating as a public golf course since 1991. The site contains an existing Natural Heritage System (Levi Creek) that traverses the property and includes a stormwater management pond, vegetation, and landscaping. The Levi Creek Valley and stormwater management pond is located along the proposed westerly limit of the lands that are to be severed. The Streetsville Glen Golf Course has a frontage of approximately 430 metres along Hallstone Road and 270 metres along Financial Drive.

Surrounding Land Uses

To the north of the Streetsville Golf Course is a vacant parcel of land zoned "Office Commercial – Section 2031 (OC-2031)" and "Floodplain (F)". To the east is an existing plan of subdivision registered under 43M-1839, which contains single detached dwellings. Beyond the residential subdivision is Financial Drive, an existing school (Ecole Secondaire Jeunes Sans Frontieres) and an office/distribution facility operated by Ryerson. To the south of the site is the Highway 407 transitway, and to the west of the site is the Churchill Business Community.

Background

On January 25, 2012, Council "Approved in Principle" (PDD004-20120) an amendment to the zoning by-law to permit prestige industrial, office and ancillary uses on the lands located north of Highway 407 and west of Financial Drive. On January 23, 2019, Council passed Zoning By-law 5-2019 to rezone a portion of the lands from "Recreational Commercial – Section 2620 (RC-2620)" to "Office Commercial – Section 2911 (OC-2911)" to permit a range of office and commercial related land uses. The portion of the lands zoned OC-2911 located north of Highway 407 and west of Financial Drive are the lands proposed to be severed from the Streetsville Glen Golf Course.

Policy Context

Official Plan: The lands are designated "Office" and "Open Space" in the Official Plan as per Schedule A – General Land Use Designations.

Secondary Plan: The lands are designated "Office Centre" and "Valleyland" as per Schedule SP40(a) of the Bram West Secondary Plan.

t 905 454 0221

f 905 454 0297

e info@kaneff.com

Kaneff Group of Companies, 8501 Mississauga Road, Brampton ON L6Y 5G8



Block Plan: The lands are designated "Future Office Centre", "Open Space", "Existing SWM" and "Future Business/Prestige Industrial" according to the Bramwest Secondary Plan Sub Area 40-2.

Zoning: The lands are zoned "Recreation Commercial (RC)", "Recreation Commercial – Section 2620 (RC-2620)", "Office Commercial – Section 2911 (OC-2911)" and "Floodplain (F)".

Consent Applications

Parcel 'A' – To sever a 3.90 hectares parcel of land from the Streetsville Glen Golf Course to create a new lot (Parcel 'A'). Parcel 'A' is currently subject to an application for Site Plan Approval to construct a 7,204 square metre research and development lab building and a four storey, 11,017 square metre office building (SPA-2021-0042). Parcel 'A' is currently zoned "Office Commercial – Section 2911" and permits the land uses contemplated for the site. Once severed from the Streetsville Glen Golf Course, Parcel 'A' will have a frontage of approximately 270 metres along Financial Drive. Access to the site is proposed to be provided by way of a new full-moves driveway access on Financial Drive.

Parcel 'B' – To sever a 1.36 hectares parcel of land from the Streetsville Glen Golf Course to create a new lot (Parcel 'B'). Parcel 'B' is to be developed independent of Parcel 'A' and will be subject to a separate application for Site Plan Approval. Parcel 'B' is currently zoned "Office Commercial – Section 2911", which permits a range of office and commercial related land uses. A pre-consultation application for Parcel 'B' has been filed with the City under PRE-2021-0112 to permit a 5,900 square metre warehouse/office building. Once severed from the Streetsville Glen Golf Course, Parcel 'B' will have a frontage of approximately 91 metres along Financial Drive. Access to the site is proposed to be provided by way of a new driveway access on Financial Drive with an internal site access to be maintained between Parcel 'A' and Parcel 'B'.

Please refer to **Appendix 1**, which includes an analysis of the two consent applications against the criteria to be considered under Section 53(12) and 51(24) of the *Planning Act*

Minor Variance Applications

Parcel 'A' – The following minor variance is required to address a minor zoning deficiency associated with Parcel 'A':

- To permit a 0.0 metre landscape strip along the northerly property line whereas a 3.0 metre landscape strip is required.

Parcel 'B' – The following minor variance is required to address a minor zoning deficiency associated with Parcel 'B':

t: 905 454 0221

f: 905 454 0297

e: info@kaneff.com



- To permit a minimum lot area of 1.36 hectares whereas a minimum lot area of 2.0 hectares is required.

Please refer to **Appendix 2**, which includes an analysis of the variances against the criteria to be considered under Section 45(1) of the *Planning Act*

Submission:

In support of the two Consent Applications and two Minor Variance Applications, the following documents are enclosed:

- Two (2) completed copies of the Consent Application form;
- Two (2) completed copies of the Minor Variance Application form;
- A plan of survey sketch, drawn to scale and signed by an Ontario Land Surveyor delineating the retained lands and severed lands;
- Two (2) site plans identifying the requested variances; and,
- A cheque in the amount of \$13,042.00.

Attachments:

- **Appendix 1** - Planning Analysis for Consent Applications as per Section 53(12) and 51(24) of the *Planning Act*
- **Appendix 2** - Planning Analysis for Minor Variance Applications as per Section 45(1) of the *Planning Act*

Please do not hesitate to contact the undersigned if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "K. Freeman", with a long horizontal flourish extending to the right.

Kevin Freeman, MCIP, RPP

Director of Planning and Development

kfreeman@kaneff.com

(416) 578-2328

t 905 454 0221

f 905 454 0297

e: info@kaneff.com

Kaneff Group of Companies, 8501 Mississauga Road, Brampton ON L6Y 5G8



Appendix 1 – Planning Analysis for Consent Applications as per Section 53(12) and 51(24) of the Planning Act

Criteria To Be Considered	Analysis
a) <i>The effect of development of the proposed subdivision on matters of provincial interest;</i>	The proposed consent to sever a parcel of land intended for future residential land use has no adverse impacts on matters of provincial interest.
b) <i>Whether the proposal is premature or in the public interest;</i>	The proposal is neither premature nor contrary to the public interest.
c) <i>Whether the plan conforms to the official plan and adjacent plans of subdivision, if any;</i>	The consent applications conform to the policies of the Official Plan. The lands are intended to be developed in accordance with the "Office" designation as per Schedule A – General Land Use Designations. The proposed consent applications are compatible with the adjacent plan of subdivision. As per the zoning by-law, a minimum 21m buffer is intended to maintain an appropriate distance to the existing residential land uses to the north.
d) <i>The suitability of the land for the purposes for which it is to be subdivided;</i>	The land is suitable to accommodate land uses permitted as-of-right in accordance with the OC-2911 zone.
e) <i>The number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them;</i>	The proposed consent applications do not present any concerns with regards to the adequacy of the roadway network. A new access to Parcel A and B will be provided along Financial Drive. The existing access along Hallstone Road will continue to serve the Streetsville Glen Golf Course. Parcel A and B are both located within close proximity of Highway 407.
f) <i>The dimensions and shapes of the proposed lots;</i>	The dimension and shape of the proposed lots are appropriate for the intended office and commercial related land uses.
g) <i>The restrictions or proposed restrictions, if any, on the land proposed to be subdivided; or the</i>	The land use restrictions are governed by the applicable zoning by-law, which includes minimum setbacks and site

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<i>buildings or structures proposed to be erected on it and the restrictions, if any, on adjoining land;</i>	requirements that will be enforced through site plan review.
<i>h) The conservation of natural resources and flood control;</i>	A portion of the lands are regulated by CVC and a Scope Environmental Impact Study has been prepared in support of the site plan application for Parcel 'A'. Any future development proposed within the regulated area will require prior permission from CVC in the form of a permit pursuant to Ontario Regulation 160/06.
<i>i) The adequacy of utilities and municipal services;</i>	Municipal services are readily available and are proposed to be extended from Financial Drive. The capacity of these services is sufficient to accommodate the proposed development.
<i>j) The adequacy of school sites;</i>	No residential land uses are proposed. There is no impact on the adequacy of school sites.
<i>k) The area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes;</i>	The owner will be required to convey the lands that comprise the Natural Heritage System (Levi Creek Valley) to the municipality at a later date.
<i>l) The extent to which the plan's design optimizes the available supply, means of supplying, efficient use and conservation of energy</i>	The proposed severance will have no impact on matters of energy conservation.
<i>m) The interrelationship between the design of the proposal and site plan control matters relating to any development on the land, if the land is also located within a site plan control area designated under subsection 41(2) of this Act.</i>	The proposed consent applications will facilitate the development of the lands for office and commercial related land uses. Any future construction will be subject to an application for Site Plan Approval.



Appendix 2 – Planning Analysis for Minor Variance Applications as per Section 45(1) of the Planning Act

Parcel 'A' – The following minor variance is required to address a minor zoning deficiency associated with Parcel 'A':

- To permit a 0.0m landscape strip along the northerly property line whereas a 3.0m landscape strip is required.

Intent of the Official Plan:

- According to the "Office Centre" designation, lands are encouraged to be developed to generate an attractive urban environment, with quality architectural, landscape and safety design elements.
- The site plan effectively addresses all these principles through its design. A 3 metre landscape strip is proposed on the opposite side of the northerly property line to provide a sufficient buffer to the neighbouring property.

Intent of the Zoning By-law:

- The Zoning By-law prescribes a minimum 3 metre landscape buffer along each property line to ensure that an aesthetic buffer between properties is maintained and to separate industrial land use from surrounding uses.
- The northerly property line is abutting a site which will be accommodating a 3 metre landscape buffer between the two properties. The land use on the northerly site will be compatible with the proposed office and research building and a 3 metre landscape buffer between the two properties will provide a sufficient buffer between the two properties.

Appropriate for the Development of the Land:

- The variance is required to bring the site into compliance with the by-law so that it may be developed for its intended purpose.
- The variance is appropriate for the development of the land.

Minor in Nature:

- The variance is only required to accommodate a reduction to the 3 metre landscape buffer along a portion of the northerly property line. A 3 metre landscape strip will be provided on the opposite side of the property line to compensate for the requested reduction.
- The variance is minor in nature.



Parcel 'B' – The following minor variance is required to address a minor zoning deficiency associated with Parcel 'B':

- To permit a minimum lot area of 1.36 hectares whereas a minimum lot area of 2.0 hectares is required.

Intent of the Official Plan:

- Special Policy Area 11 of the Bram West Secondary Plan includes specific conditions of site plan approval that may be applicable to prestige industrial uses located at the northwest corner of Financial Drive and Highway 407. One of these conditions is to maintain a minimum lot area of 5 acres (2 hectares). As per discussions with City staff, it is understood that the intent of SPA 11 is to ensure that larger lots/blocks are maintained along the Highway 407 frontage to ensure that a high-quality built form is maintained. The northerly parcel is proposed to be severed from the southerly site and will not be visible from Highway 407. A sufficient lot area will be maintained to ensure that the site may be developed for its intended purposes.
- The variance conforms to the intent of the Official Plan and Secondary Plan policies to permit office or prestige industrial related land uses that are of a high-quality built form.

Intent of the Zoning By-law:

- The zoning by-law prescribes a minimum lot area to ensure that the lot is of a sufficient size to accommodate the uses permitted as-of-right in the OC-2911 zone.
- We have demonstrated through the submission of a pre-consultation application that the northerly parcel (Parcel B) is able to accommodate a warehouse/manufacturing/office use while respecting all other provisions of the by-law including setbacks, minimum landscape requirements and minimum separation distance to the residential zone.

Appropriate for the Development of the Land:

- The variance is required to bring the site into compliance with the by-law so that it may be developed for its intended purpose. The 21 metre minimum interior side yard setback to the residential zone north of the site has been respected. The shared access to the southerly site creates efficiencies between the two sites and improves the vehicular and pedestrian circulation for the site.
- The variance is appropriate for the development of the land.

Minor in Nature:

- It has been demonstrated that the site may be developed for its intended purpose with a 1.36 hectare lot area.

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e. info@kaneff.com

Kaneff Group of Companies, 8501 Mississauga Road, Brampton ON L6Y 5G8



- The requested reduction to the minimum lot area will have no impact on the development or functionality of the site.
- The variance is minor in nature.

t 905 454 0221

f 905 454 0297

e: info@kaneff.com

Kaneff Group of Companies, 8501 Mississauga Road, Brampton ON L6Y 5G8

The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Consent
(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) Name of Owner/Applicant Kaneff Properties Limited
(print given and family names in full)

Address 8501 Mississauga Road, Brampton, ON L6Y 5G8

Phone # 905-454-0221 Fax #

Email ntersigni@kaneff.com

(b) Name of Authorized Agent Kevin Freeman

Address 8501 Mississauga Road, Brampton, ON L6Y 5G8

Phone # 416-578-2328 Fax #

Email kfreeman@kaneff.com

2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.

Specify: To sever a 3.9 hectares parcel of land from the Streetsville Glen Golf Course to create a new lot (Parcel A)

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.

N/A

4. Description of the subject land ("subject land" means the land to be severed and retained):

a) Name of Street Hallstone Road Number 1876

b) Concession No. Concession 4, W.H.S Lot(s) Part of Lot 14

c) Registered Plan No. N/A Lot(s)

d) Reference Plan No. TBD Lot(s)

e) Assessment Roll No. 10-14-0-098-00300-0000 Geographic or Former Township Toronto

5. Are there any easements or restrictive covenants affecting the subject land?

Yes ☐ No ☒
Specify:

6. Description of severed land: (in metric units)

a) Frontage 270m (approx.) Depth 200m (approx.) Area 3.9 ha

b) Existing Use Golf Course Proposed Use Office/Research & Development Lab

c) Number and use of buildings and structures (both existing and proposed) on the land to be severed:
 (existing) Golf pro shop and storage shed.
 (proposed) An office building and lab and research building (City File: SPA-2021-0042)

d) Access will be by:

	Existing	Proposed
Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Road - Maintained all year	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?
N/A

f) Water supply will be by:

	Existing	Proposed
Publicly owned and operated water system	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify):	<u></u>	

g) Sewage disposal will be by:

	Existing	Proposed
Publicly owned and operated sanitary sewer system	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Privy	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify):	<u></u>	

7. Description of retained land: (in metric units)

a) Frontage 430m (approx) Depth 400m (approx.) Area 27.86 ha

b) Existing Use Golf Course Proposed Use Golf Course

c) Number and use of buildings and structures (both existing and proposed) on the land to be retained:
 (existing) Golf Course
 (proposed) Golf Course

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):		

g)	Sewage disposal will be by:	Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):		

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	<u>OC-2911</u>	<u>RC and Floodplain</u>
Official Plans		
City of Brampton	<u>Office</u>	<u>Office & Open Space</u>
Region of Peel	<u>Urban System</u>	<u>Urban System</u>

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☒ No ☐

File # T04W15.006 Status/Decision Approved

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☒ No ☐

Date of Transfer _____ Land Use Residential

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment	T04W15.006	Approved
Zoning By-law Amendment	T04W13.008	Approved
Minister's Zoning Order		
Minor Variance	A-2021-0172	CONCURRENT
Validation of the Title		
Approval of Power and Sale		
Plan of Subdivision		

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the Planning Act?

Yes ☒ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan?

Yes ☒ No ☐

14. If the answer is yes, does the application conform to the applicable Provincial Plan?


Yes ☒ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the City of Brampton

this 27 day of July, 2021.

Check box if applicable:


Signature of Applicant, or Authorized Agent, see note on next page

☐ I have the authority to bind the Corporation

DECLARATION

I, Kevin Freeman of the Town of Halton Hills

in the County/District/Regional Municipality of Halton solemnly declare that all the statements contained in this application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Brampton

in the Region of Peel

this 27 day of July, 2021.



Signature of applicant/solicitor/authorized agent, etc.

Submit by Email



Signature of a Commissioner, etc.

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

Rose Bruno

Zoning Officer

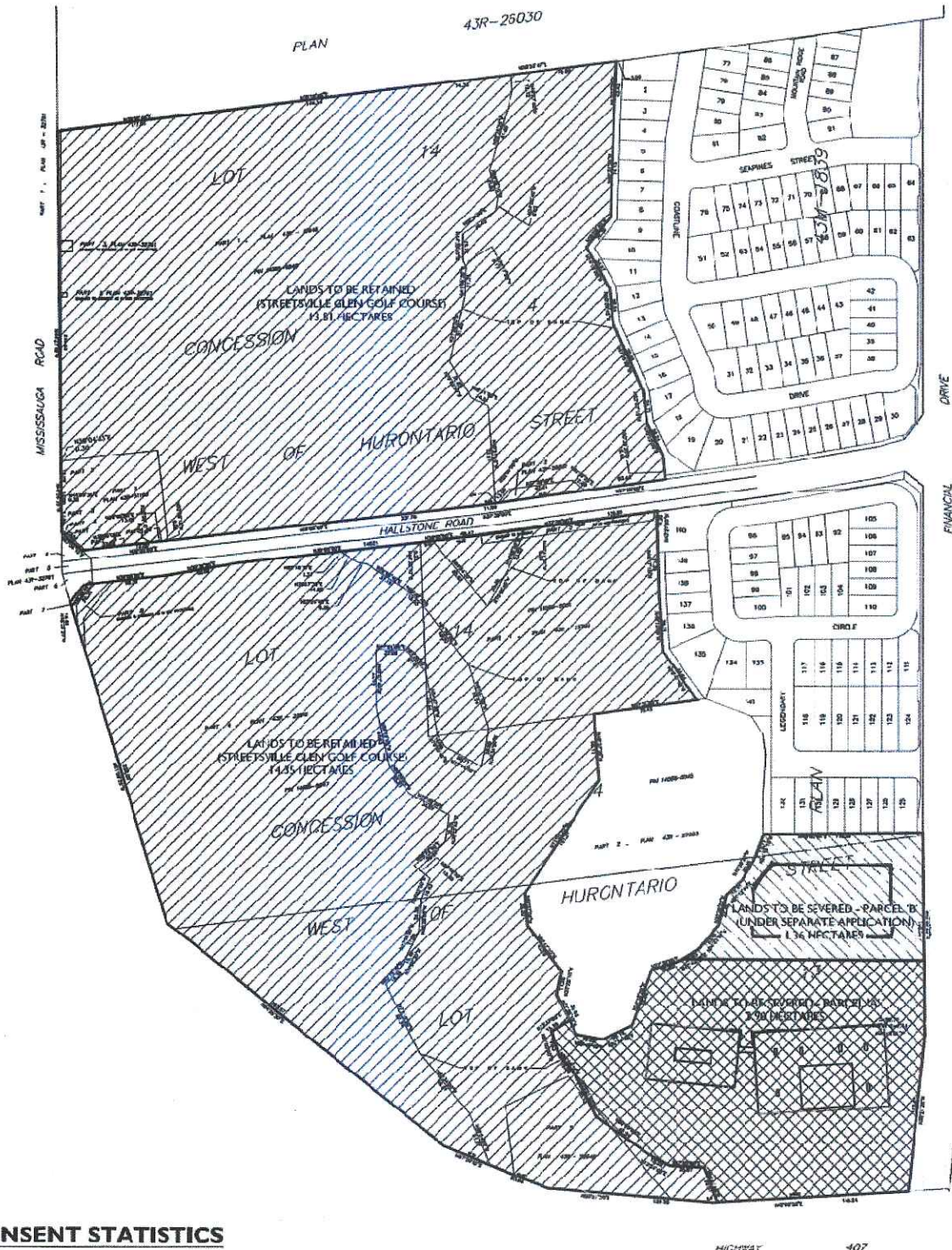
July 28, 2021

Date




DATE RECEIVED

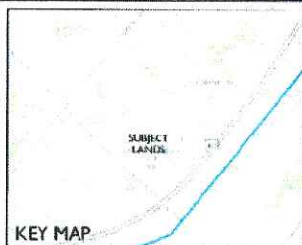
Date Application Deemed Complete by the Municipality

July 27, 2021
July 28, 2021



CONSENT STATISTICS

-  LANDS TO BE RETAINED (STREETSVILLE GLEN GOLF COURSE): 27.86 HECTARES
-  LANDS TO BE SEVERED - PARCEL 'A': 3.90 HECTARES
-  LANDS TO BE SEVERED - PARCEL 'B' (UNDER SEPARATE APPLICATION): 1.36 HECTARES



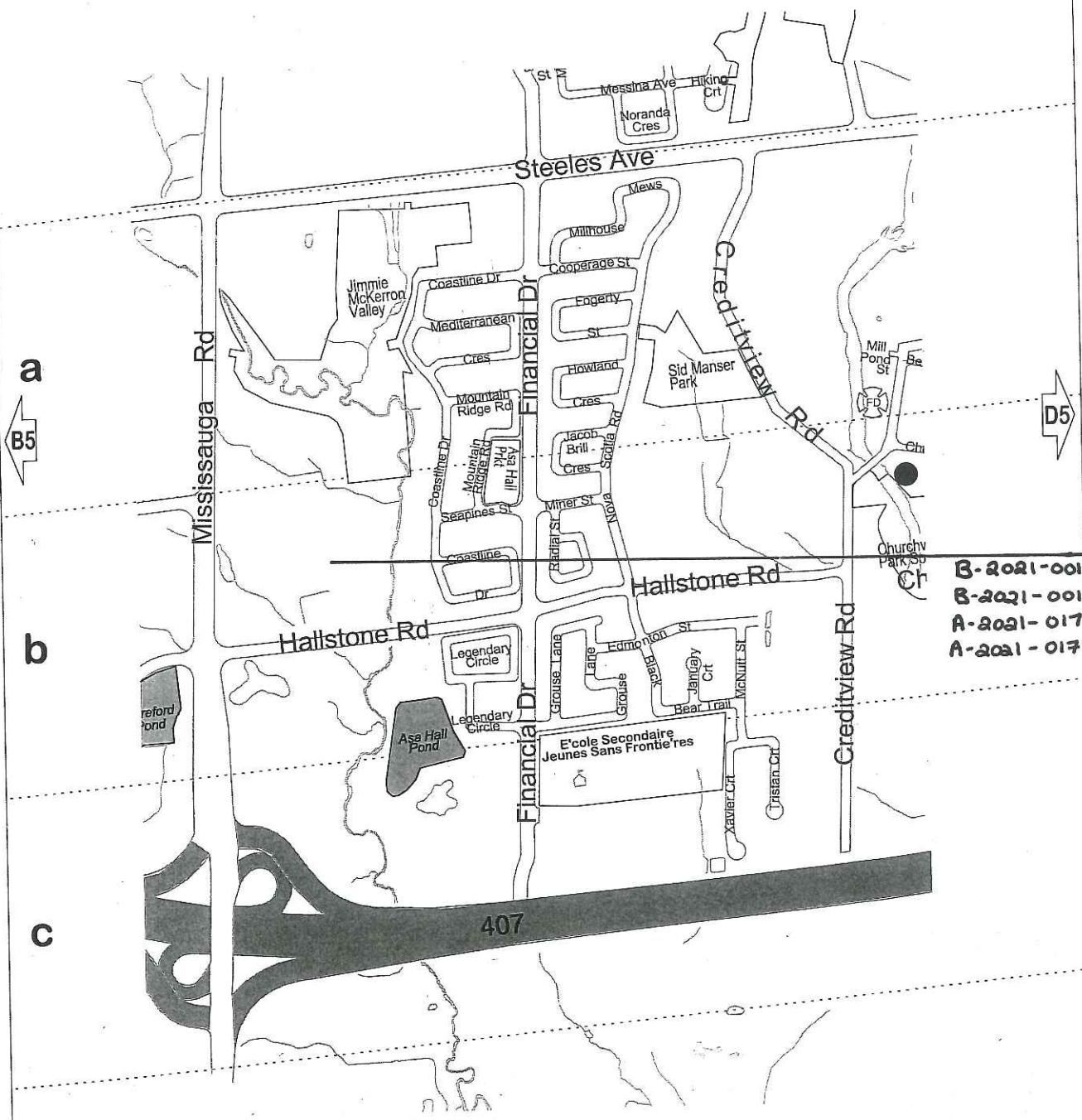
CONSENT SKETCH - PARCEL 'A' AND PARCEL 'B' KANEFF PROPERTIES LIMITED

1876 HALLSTONE ROAD
PART OF LOT 14, CONCESSION 4, W.H.S.
WARD 6
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL



SCALE - 1:3000
JULY 22, 2021





B-2021-0015
B-2021-0016
A-2021-0172
A-2021-0173

APPLICATION # B-2021-0016
Ward # 6

NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made by **KANEFF PROPERTIES LIMITED**

Purpose and Effect

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 33.22 hectares (82.09 acres). The severed land (**Parcel B**) has a frontage of approximately 91 metres (298.56 feet), a depth of approximately 140 metres (459.32 feet) and an area of approximately 1.36 hectares (3.36 acres). It is proposed that the severed land be developed with a Warehouse/Office. (Concurrent Consent Application B-2021-0015)

Location of Land:

Municipal Address: 1876 HALLSTONE ROAD

Former Township: Toronto Gore

Legal Description: Part of Lot 14, Concession 4 W.H.S.

Meeting

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. **This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing.** Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment Decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

=====

LAST DAY FOR RECEIVING COMMENTS: AUGUST 20, 2021

=====

NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	YES	File Number: A-2021-0173

Decision and Appeal

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Local Planning Appeal Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Local Planning Appeal Tribunal Act*. The appeal form is available from the Environment and Land Tribunals Ontario website at www.eltso.gov.on.ca

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS **5th Day of August, 2021**

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Consent
(Please read Instructions)

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1. (a) Name of Owner/Applicant Kaneff Properties Limited
(print given and family names in full)

Address 8501 Mississauga Road, Brampton, ON L6Y 5G8

Phone # 905-454-0221 Fax #

Email ntersigni@kaneff.com

(b) Name of Authorized Agent Kevin Freeman

Address 8501 Mississauga Road, Brampton, ON L6Y 5G8

Phone # 416-578-2328 Fax #

Email kfreeman@kaneff.com

2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.

Specify: To sever a 1.36 hectares parcel of land from the Streetsville Glen Golf Course to create a new lot (Parcel B)

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.

N/A

4. Description of the subject land ("subject land" means the land to be severed and retained):

a) Name of Street Hallstone Road Number 1876

b) Concession No. Concession 4, W.H.S Lot(s) Part of Lot 14

c) Registered Plan No. N/A Lot(s)

d) Reference Plan No. TBD Lot(s)

e) Assessment Roll No. 10-14-0-098-00300-0000 Geographic or Former Township Toronto

5. Are there any easements or restrictive covenants affecting the subject land?

Yes No

Specify:

6. Description of severed land: (in metric units)

a) Frontage 91m (approx.) Depth 140m (approx.) Area 1.36 ha

b) Existing Use Golf Course Proposed Use Warehouse/Office

c) Number and use of buildings and structures (both existing and proposed) on the land to be severed:
(existing) N/A
(proposed) A new warehouse building (City File: PRE-2021-0112)

d) Access will be by:

	Existing	Proposed
Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Road - Maintained all year	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?
N/A

f) Water supply will be by:

	Existing	Proposed
Publicly owned and operated water system	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>

Other (specify): _____

g) Sewage disposal will be by:

	Existing	Proposed
Publicly owned and operated sanitary sewer system	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Privy	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>

Other (specify): _____

7. Description of retained land: (in metric units)

a) Frontage 180m (approx) Depth 195m (approx.) Area 3.9 ha

b) Existing Use Golf Course Proposed Use Research/Development Lab and Office

c) Number and use of buildings and structures (both existing and proposed) on the land to be retained:
(existing) N/A
(proposed) Research/Development Lab and Office

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):		

g)	Sewage disposal will be by:	Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):		

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	<u>OC-2911</u>	<u>OC-2911</u>
Official Plans		
City of Brampton	<u>Office</u>	<u>Office</u>
Region of Peel	<u>Urban System</u>	<u>Urban System</u>

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☒ No ☐

File # T04W15.006 Status/Decision Approved

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☒ No ☐

Date of Transfer _____ Land Use _____

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment	T04W15.006	Approved
Zoning By-law Amendment	T04W13.008	Approved
Minister's Zoning Order		
Minor Variance	A-2021-0173	CONCURRENT
Validation of the Title		
Approval of Power and Sale		
Plan of Subdivision		

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the Planning Act?
Yes ☒ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan?
Yes ☒ No ☐

14. If the answer is yes, does the application conform to the applicable Provincial Plan?
Yes ☒ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the City of Brampton
this 27 day of July, 2021.

Check box if applicable:


Signature of Applicant, or Authorized Agent, see note on next page

☒ I have the authority to bind the Corporation


DECLARATION

I, Kevin Freeman of the Town of Halton Hills
in the County/District/Regional Municipality of Halton
solemnly declare that all the statements contained in this application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Brampton
in the Region of Peel
this 27 day of July, 2021.


Signature of applicant/solicitor/authorized agent, etc.

Submit by Email


Signature of a Commissioner, etc.

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

Rose Bruno

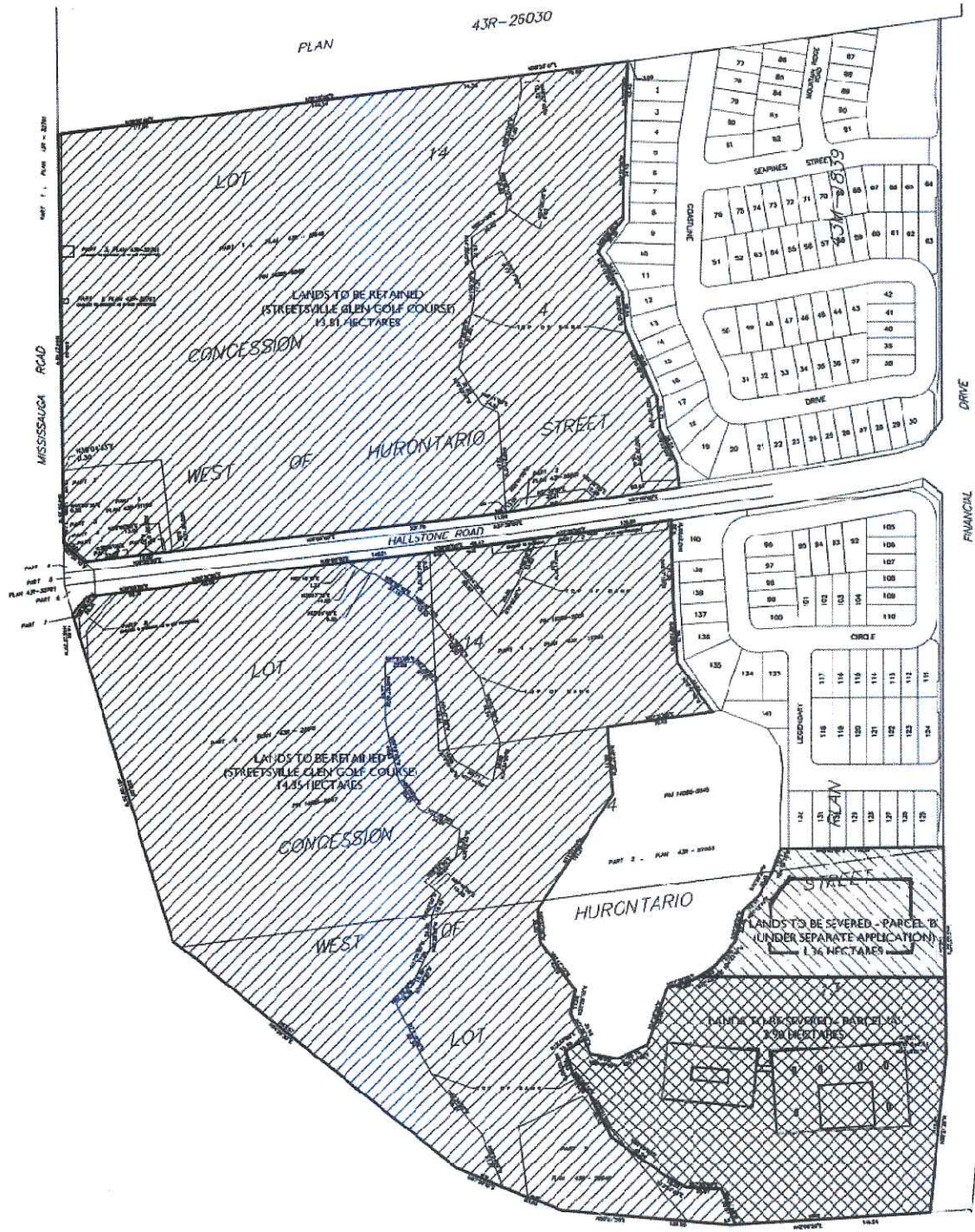
Zoning Officer

July 28, 2021




Date

DATE RECEIVED
Date Application Deemed
Complete by the Municipality

July 27, 2021
July 28, 2021



CONSENT STATISTICS

-  LANDS TO BE RETAINED (STREETSVILLE GLEN GOLF COURSE); 27.86 HECTARES
-  LANDS TO BE SEVERED - PARCEL 'A'; 3.90 HECTARES
-  LANDS TO BE SEVERED - PARCEL 'B' (UNDER SEPARATE APPLICATION); 1.36 HECTARES



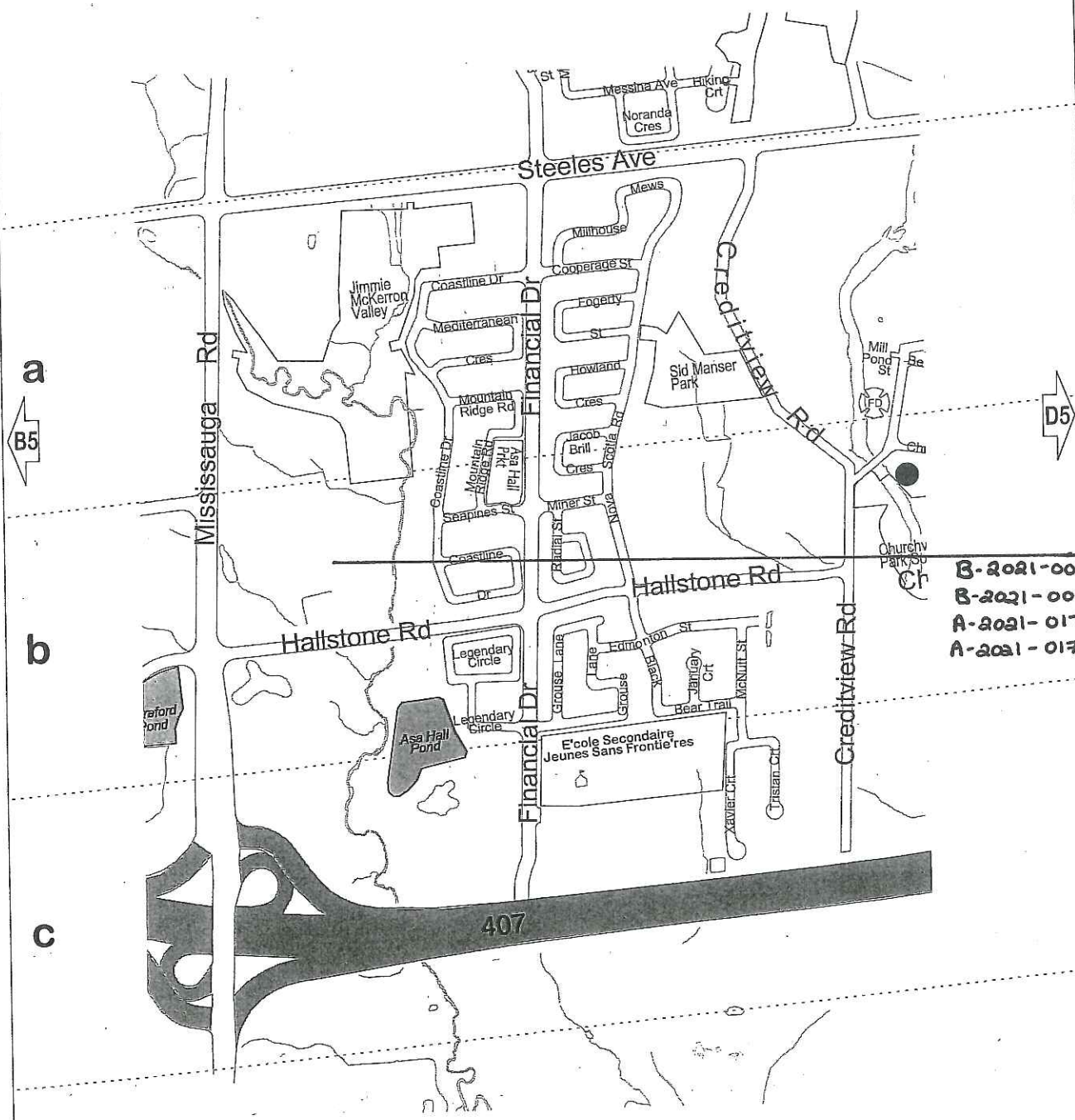
CONSENT SKETCH - PARCEL 'A' AND PARCEL 'B' KANEFF PROPERTIES LIMITED

1876 HALLSTONE ROAD
PART OF LOT 14, CONCESSION 4, W.H.S.
WARD 6
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL



SCALE - 1:3000
JULY 22, 2021





B-2021-0015
B-2021-0016
A-2021-0172
A-2021-0173

C5

APPLICATION # V-2021-0002
Ward # 2

NOTICE OF AN APPLICATION FOR CERTIFICATE OF VALIDATION

An application for certificate of validation has been made by **HURONTARIO SELF STORAGE DEVELOPMENTS LIMITED**

Purpose and Effect

The purpose of the application is to request the consent of the Committee of Adjustment to validate the title of lands legally described as Part of Lot 11, Concession 1 W.H.S. having frontage on Hurontario Street of approximately 30.52 metres (100.13 feet), a depth of approximately 105.22 metres (345.21 feet) and an area of approximately 3226.57 square metres (0.80 acres).

Location of Land:

Municipal Address: **10134 Hurontario Street**

Former Township: Chinguacousy

Legal Description: Part of Lot 11, Concession 1 W.H. S.

Meeting

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, or a commenting agency having an interest in the property.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	NO	File Number:

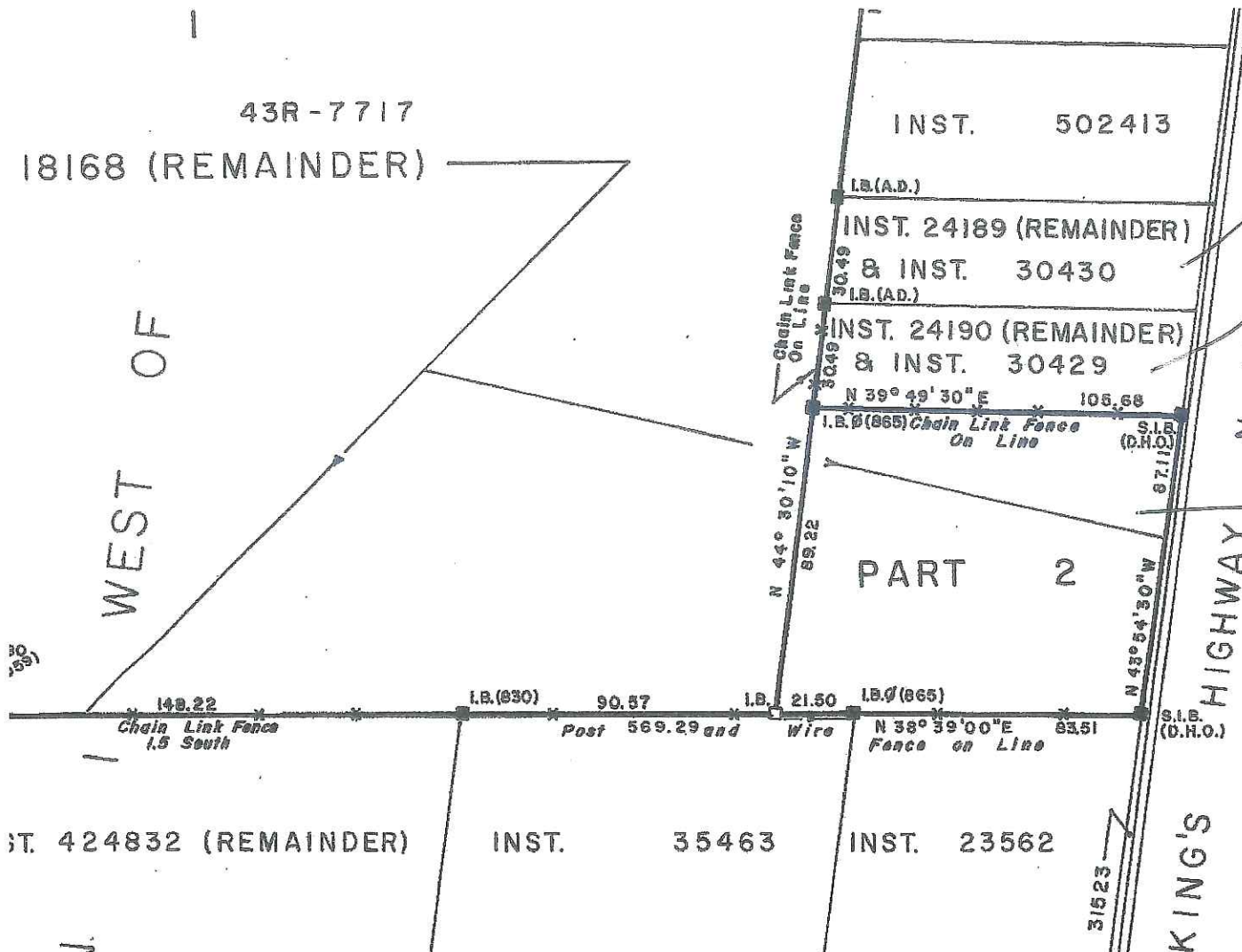
Decision

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT AS NOTED BELOW.

DATED AT THE CITY OF BRAMPTON THIS 5TH DAY OF AUGUST, 2021.

Information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
Jeanie.myers@brampton.ca



lands also
owned by
the Applicant
PIN 14249-0072 (LT)

TOWNSHIP OF
COUNTY OF F
NOW IN THE
CITY OF BR
REGIONAL M



subject property
to be validated
PIN 14249-0071 (LT)

A. SKRANDA, O.L.
1987

lands retained by
2131493 Ontario Inc.
PIN 14249-0070 (LT)

BEARING NOTE

BEARINGS SHOWN HEREON ARE ASTRONOMIC
AND ARE REFERRED TO THE NORTHWESTERLY
LIMIT OF PART 1, PLAN 43R-7717 BEING
N 38° 11' 30" E IN ACCORDANCE WITH SAID
PLAN.

S.I.B. DENOTES STANDARD IRON BAR
I.B. DENOTES IRON BAR

PART 1, PLAN 43R-15936

PLAN OF SURVEY OF
PART OF LOT 11, CONCESSION 1
WEST OF HURONTARIO STREET
(GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY, COUNTY OF PEEL)
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1: 400



David B. Searles Surveying Ltd.
ONTARIO LAND SURVEYORS

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN
METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

B	DENOTES MONUMENT FOUND
IB	DENOTES MONUMENT SET
IB	DENOTES IRON BAR
SB	DENOTES STANDARD IRON BAR
RIB	DENOTES ROUND IRON BAR
OU	DENOTES ORIGIN UNKNOWN
BB	DENOTES D.P. McLEAN, O.L.S.
922	DENOTES SHAEFFER DZALDOV BENNETT LTD., O.L.S.
1176	DENOTES D.E. ROBERTS, O.L.S.
1370	DENOTES KRCMAR SURVEYORS LTD., O.L.S.
1672	DENOTES TONY STASKAS SURVEYING LTD., O.L.S.
M	DENOTES MEASURED
P	DENOTES SURVEYOR'S REAL PROPERTY REPORT BY DOLLIVER SURVEYING INC., O.L.S. DATED MAY 12, 2004. (FILE No. 1289)
P1	DENOTES PLAN 43R-14547
P2	DENOTES REGISTERED PLAN 43M-1876
P3	DENOTES PLAN 43R-15936
P4	DENOTES PLAN BY A. DEATH, O.L.S. DATED SEPTEMBER 6, 1960. (FILE No. 60-2663)
P5	DENOTES HIGHWAY PLAN P-2002-25 ATTACHED TO INSTRUMENT CH31523
P6	DENOTES SURVEYOR'S REAL PROPERTY REPORT BY SHAEFFER DZALDOV BENNETT LTD., O.L.S. DATED NOVEMBER 9, 2017 (FILE No. 17-219-00)
ANC	DENOTES ANCHOR
BF	DENOTES BOARD FENCE
CPAD	DENOTES CONCRETE PAD
WP(H)	DENOTES WOODEN POLE (HYDRO)

BEARING NOTE

BEARINGS ARE GRID BEARINGS DERIVED FROM GPS OBSERVATIONS USING THE SMARTNET NETWORK AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 17 (81°00' WEST), NAD83 (CSRS 2010).

BEARINGS ON SURVEYOR'S REAL PROPERTY REPORT BY DOLLIVER SURVEYING INC., O.L.S. DATED MAY 12, 2004. (FILE No. 1289) (P) HAVE BEEN ROTATED D°48'00" COUNTERCLOCKWISE TO MAKE COMPARISONS.

BEARINGS ON PLAN 43R-14547 (P1), PLAN 43R-15936 (P3) PLAN BY A. DEATH, O.L.S. DATED SEPTEMBER 6, 1960. (FILE No. 60-2663) (P4) AND HIGHWAY PLAN (P-2002-25) ATTACHED TO INSTRUMENT CH31523 (P5) HAVE BEEN ROTATED D°49'00" COUNTERCLOCKWISE TO MAKE COMPARISONS.

DISTANCE NOTE

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.99998.

NOTE

PROPERTY LIMITS ARE NOT FENCED UNLESS OTHERWISE NOTED ON THE FACE OF THE PLAN.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE DAY OF

PRELIMINARY

DATE

ALISTER SANKEY
ONTARIO LAND SURVEYOR

David B. Searles Surveying Ltd. ONTARIO LAND SURVEYORS 4295 Sherwoodtowne Blvd., Suite 206, Mississauga, Ontario L4Z 1Y5 Tel: (905) 273-6840 Fax: (905) 686-4410 Email: info@dbsearles.ca		Calculator BJ	Draftsperson PG
Calculation File 61-20CALC.DWG	Drawing File 61-0-20.DWG	Editor BJ	Plan Index No. H 19
File No. 61-0-20			

Torkin Manes LLP
Barristers & Solicitors
151 Yonge Street, Suite 1500
Toronto, Ontario M5C 2W7

Tel: 416-863-1188
Fax: 416-863-0305
www.torkinmanes.com

Sidney H. Troister, LSM
*Legal services provided through Sidney H.
Troister Professional Corporation*
Direct Tel: 416-777-5432
Direct Fax: 1-888-312-0072
stroister@torkinmanes.com

Our File No: 45166.0001

An international
member of

A|ly Law

RECEIVED

JUL 13 2021

CITY CLERK'S OFFICE

July 8, 2021

V-2021-0002

Committee Of Adjustment

City Of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

Attention: Jeanie Myers

Dear Ms. Myers:

Re: Hurontario Self Storage Developments Limited
10134 Hurontario Street, Brampton
Validation Application

I am pleased to enclose herewith an original and a copy of our application for validation of title for the above property. I also attach cheque in the sum of \$3961 as the filing fee for the application.

The application arises as a result of a transfer of title which occurred while the vendor owned abutting land. The subject property has at all times been a separate property with a separate services, tax assessment and registrable legal description and PIN. The details and the reason for the need for validation are carefully set out on the schedule attached to the application.

I trust the application along with the schedule and other related documents are sufficient to satisfy any planning and other concerns of staff and your committee.

As usual, I am available to answer any questions in order to expedite the processing of the application.

Yours truly,

TORKIN MANES LLP



Sidney H. Troister, LSM



APPLICATION NUMBER: "V" - 2021-0002

The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton, 905-874-2118.

APPLICATION
Certificate of Validation
(Please read Instructions)

Note: The applicant shall provide the Committee of Adjustment with such information or material as may be required.

1. (a) Name of Owner/Applicant HURONTARIO SELF STORAGE DEVELOPMENTS LIMITED
Address 5400 YONGE STREET #501
TORONTO, ON M2N 5R5
Phone # 416.361.4761 Fax # _____
Email phil@wildlaw.ca

(b) Name of Authorized Agent SIDNEY TROSTER
Address % TORKIN MANES LLP 1500-151 YONGE ST.
TORONTO M5C 2W7
Phone # 416.777.5432 Fax # 1-888 312 0072
Email stroster@torkinmanes.com

2. In whose name(s) is the property registered? HURONTARIO SELF STORAGE DEVELOPMENTS LIMITED

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.
n/a

4. Description of the subject land:

a) Name of Street HURONTARIO ST. Number 10134
b) Concession Number 1 WHTS Lot(s) 11
c) Registered Plan No. _____ Lot(s) _____
d) Reference Plan No. _____ Part(s) _____
e) Assessment Roll No. 10.060.001.09600.0000 Geographic or Former Township CHINA

5. Are there any easements or restrictive covenants affecting the subject land? Yes ☐ No ☒
Specify: _____

6. Description of land for which the certificate of validation is requested:

a) Frontage 30.52 m Depth 105.72 m Area 3226.57 sq m.
b) Existing use former used car sales/residential. Proposed Use self storage redevelopment with 10144 Hurontario St

c) Number and use of buildings and structures (both existing and proposed) on the land to be severed:

(existing) 1
 (proposed) n/a this is a validation application
 Has a building permit ever been issued (specify date and number)? n/a
 Has construction commenced (specify date)? n/a

d) Access will be by: Existing Proposed (n/a)

Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
Water	<input type="checkbox"/>	<input type="checkbox"/>
Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f) Water supply will be by: Existing Proposed

Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>

Other (specify): _____

g) Sewage disposal will be by: Existing Proposed

Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Privy	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal septic	<input type="checkbox"/>	<input type="checkbox"/>

Other (specify): _____

7. Did the previous owner retain any interest in the subject land?(Specify) no

8. Did you have any interest in any other land in the municipality? Yes ☒ No ☐

If so, describe each separate parcel (attach additional list(s) if necessary)

Geographic Township	Concession/Plan	Lot/Block	Reference Plan	Parts	Validation of Title Required
Bram	1	11			no

9. Why do you consider your title may require validation?

see attached schedule for details

10. What is the current designation of the subject land in any applicable zoning by-law and official plan?

Zoning By-Law MT-1184 INDUSTRIAL

Official Plan:

City of Brampton BUSINESS CORRIDOR/HIGHWAY COMMERCIAL
Region of Peel URBAN SYSTEM

11. Has the subject land ever been the subject of an application for approval of a plan of subdivision under the Planning Act and if the answer is yes and if known, the file number of the application and the decision on the application?

No ☒ Yes ☐ File # _____ Decision: _____

12. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment	_____	_____
Zoning By-law Amendment	_____	_____
Minister's Zoning Order	_____	_____
Minor Variance	_____	_____
Validation of the Title	_____	_____
Approval of Power and Sale	_____	_____

13. A sketch and key map shall be included.

14. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the City of Toronto this 7th day of July, 2021.

[Signature]

(Signature of Applicant, or Authorized Agent, see note on next page)

Check box if applicable:

☐ I have the authority to bind the Corporation

DECLARATION

I, Sidney Troister of the City of Toronto

in the County/District/Regional Municipality of _____ Solemnly declare that all the statements contained in the application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Toronto in the City of Toronto this 7th day of July, 2021.
[Signature]
Signature of Commissioner, etc.

[Signature]

Signature of applicant/solicitor/authorized agent, etc.

FOR OFFICE USE ONLY - To be completed by the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED July 13, 2021

SCHEDULE TO APPLICATION FOR VALIDATION

10134 HURONTARIO STREET, BRAMPTON, ONTARIO

This is a schedule to an application for validation of title to the above property.

The application concerns 2 abutting properties (10124 and 10134 Hurontario Street) that historically were under separate ownership but were merged subsequently merged. In 2021, one of the two properties was conveyed to Hurontario Self Storage Developments limited while the owner owned the abutting parcel of land.

Section 57 of the *Planning Act* provides that a council (or where authority has been delegated, a committee of adjustment or land division committee) that is authorized to give a consent under Section 53 may issue a certificate of validation in respect of the land described in the certificate and the certificate has the effect that the contravention of Section 50 of the *Planning Act*, or a predecessor of it, is deemed never to have had the effect of preventing the conveyance of, or creation of, any interest in land.

A certificate of validation is used to cure what might have been a prior *Planning Act* contravention and thereby validate the ownership of property even though there was an earlier contravention.

The Title History

The history of conveyancing regarding the properties along with my commentary follows:

1. In 2007, 2131493 Ontario Inc. purchased 10124 Hurontario Street in Brampton. It is vacant land described as part 2 on Plan 43R-14547. It has frontage on Hurontario Street of 87.11 m. a depth of 105.68 m. and an area of .922 ha. It has its own registry office description and is recorded as all of PIN 14249-0070 (LT).
2. In 2008, 2131493 Ontario Inc. purchased 10134 Hurontario Street, the parcel to the north of 10124 Hurontario Street. It is the subject parcel of land that is to be validated.
3. 10134 Hurontario Street has frontage of 30.52 m., depth of 105.68 m and an area of .3225 ha. It is improved with a single family residential dwelling but the property has been used until 2 years ago as a used car sales lot. It is currently not being used.
4. 10134 Hurontario Street has its own registry office description and is recorded as all of PIN 14249-0071 (LT)
5. The subject property, 10134 Hurontario Street, has been the subject of prior consents to convey in 1956 and 1861 but as a result of road widenings to Hurontario Street, the subject property not identical to land previously conveyed with a consent and as a result, section 50(12) of the Planning Act (once a consent, always a consent) does not apply to it.
6. By transfer PR3818641 registered April 20, 2021, on the erroneous assumption that the prior consents applied, 2131493 Ontario Inc. transferred 10134 Hurontario Street to

Hurontario Self Storage Developments Limited. Because 2131493 Ontario Inc. owned the abutting parcel to the south, and the provisions of section 50(12) of the Planning Act does not apply, the transfer to the applicant herein contravened the Planning Act.

Planning Considerations

There should be no planning considerations affecting the request for validation. The subject property has at all times been separately registered with its own PIN and registrable legal description. It is separately assessed for municipal tax purposes and separately serviced. For all intents and purposes, it has been regarded as a standalone separate parcel of land.

The applicant, Hurontario Self Storage Developments Limited is also the registered owner of 10144 Hurontario Street, the lands immediately to the north of 10134 and intends to develop both properties together.

Planning Considerations, Zoning and Official Plan

There should be no planning considerations affecting the request for a certificate of validation. The entire property, once validated, is a separately conveyable parcel of land. It is under separate legal ownership and no severance is now occurring with respect to it. It is assessed, serviced, and developed separate from all abutting lands. The present use complies with the zoning and Official Plan.

Other Evidence

A copy of the following is attached:

- (a) PIN map showing the lands in question
- (b) Marked up copy of extract from Plan 43R14547
- (c) Copy of preliminary survey showing the subject property and 10144 Hurontario Street;
- (d) PIN 14249-0071(LT) (10134 Hurontario Street) the subject property;
- (e) PIN 14249-0070(LT) (10124 Hurontario Street) The lands to the south;
- (f) PIN 14249-0072(LT) (10144 Hurontario Street) The lands to the north owned by the applicant;
- (g) Copy of reference plan 43R-14547 showing part 2 being the lands to the south and the subject property;
- (h) Copy of Transfer PR3818641 registered April 20, 2021;
- (i) Draft certificate of validation is attached.

The Purpose of the Application

The request for a certificate of validation is to validate the title to the Property, which will validate all transfers of the Property and gives good title to the applicants.

We would respectfully request that a certificate of validation be issued for the following land without conditions.

PT LT 11 CON 1 WHS CHINGUACOUSY AS IN CH30429 & CH24190 EXCEPT CH31523
AND CH24576 BRAMPTON

BEING ALL OF PIN 14249-0071 (LT)

CERTIFICATE OF VALIDATION

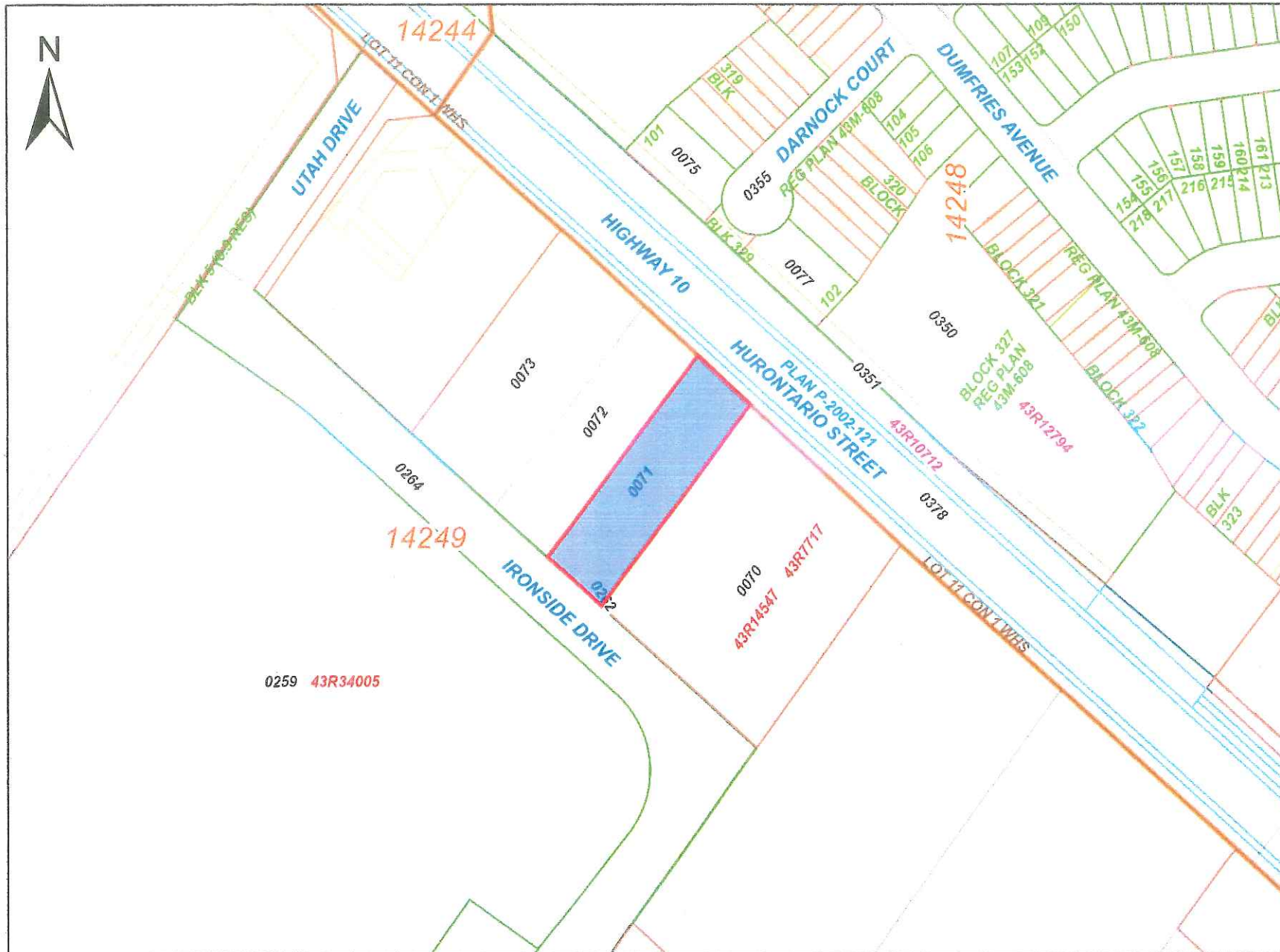
Section 57 of the *Planning Act*

A contravention of Section 50 or a predecessor of it, or of a by-law passed under a predecessor of Section 50, or an order made under clause 27(1)(b) of the *Planning Act* as it reads on the 25th day of June, 1970, being chapter 296 of the Revised Statutes of Ontario, 1960 or a predecessor of it, does not have and shall be deemed never to have had, the effect of preventing the conveyance of, or creation of any interest in the parcel of land described as follows.

PT LT 11 CON 1 WHS CHINGUACOUSY AS IN CH30429 & CH24190 EXCEPT CH31523
AND CH24576 BRAMPTON

BEING ALL OF PIN 14249-0071 (LT)

Dated at Brampton this day of , 2021



ServiceOntario

PRINTED ON 29 JUN, 2021 AT 14:31:13
FOR SIDNEY01



PROPERTY INDEX MAP PEEL(No. 43)

LEGEND

FREEHOLD PROPERTY	
LEASEHOLD PROPERTY	
LIMITED INTEREST PROPERTY	
CONDOMINIUM PROPERTY	
RETIRED PIN (MAP UPDATE PENDING)	
PROPERTY NUMBER	0449
BLOCK NUMBER	08050
GEOGRAPHIC FABRIC	
EASEMENT	

THIS IS NOT A PLAN OF SURVEY

NOTES

REVIEW THE TITLE RECORDS FOR COMPLETE
PROPERTY INFORMATION AS THIS MAP MAY
NOT REFLECT RECENT REGISTRATIONS

THIS MAP WAS COMPILED FROM PLANS AND
DOCUMENTS RECORDED IN THE LAND
REGISTRATION SYSTEM AND HAS BEEN PREPARED
FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE
RECORDED PLANS AND DOCUMENTS

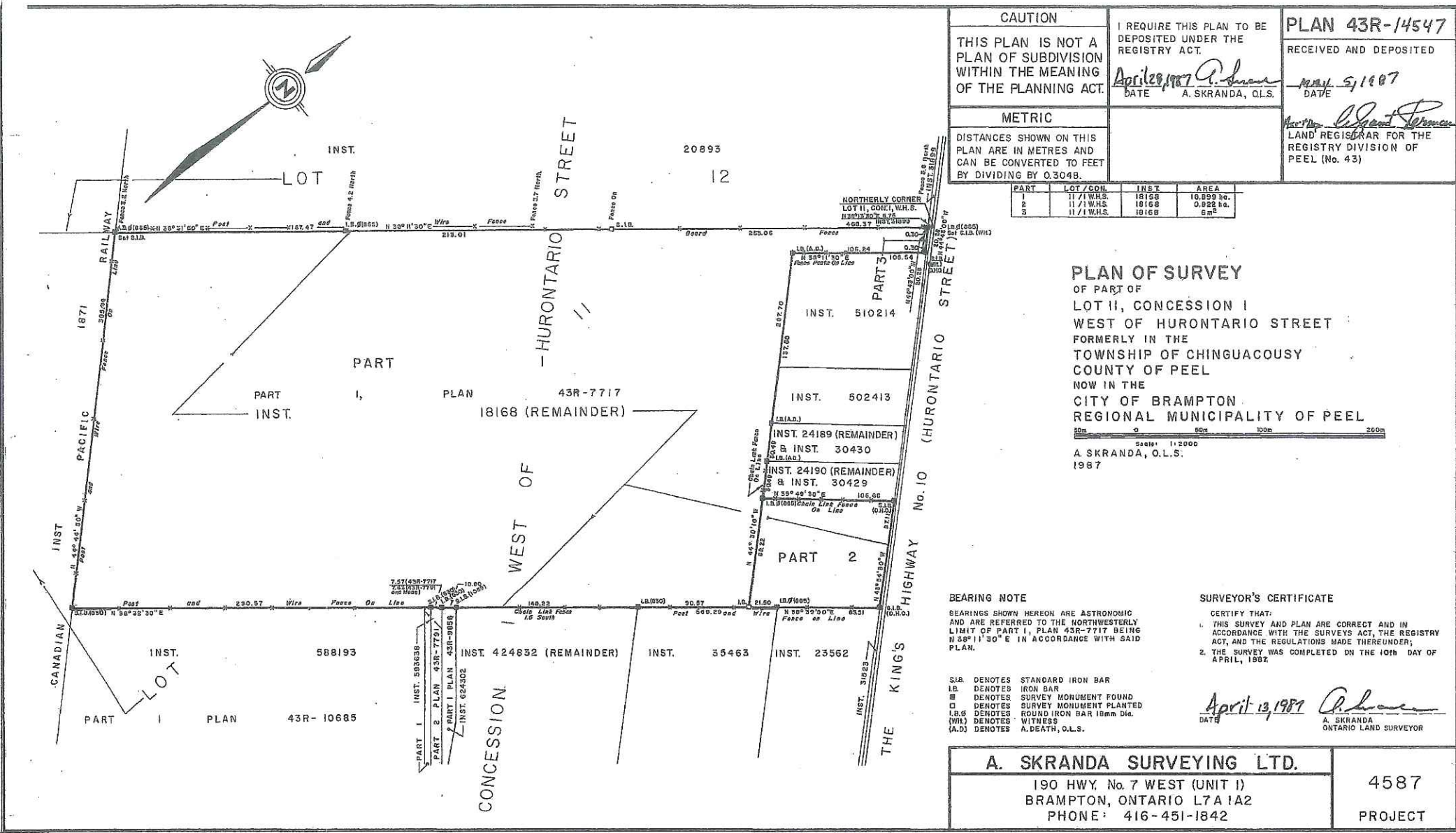
ONLY MAJOR EASEMENTS ARE SHOWN

REFERENCE PLANS UNDERLYING MORE RECENT
REFERENCE PLANS ARE NOT ILLUSTRATED



© Queen's Printer for Ontario, 2021

14547



CAUTION
THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN THE MEANING OF THE PLANNING ACT.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE REGISTRY ACT.
April 29, 1987
DATE
A. SKRANDA, O.L.S.

PLAN 43R-14547
RECEIVED AND DEPOSITED
May 5, 1987
DATE
A. Skranda
LAND REGISTRAR FOR THE REGISTRY DIVISION OF PEEL (No. 43)

PART	LOT / CDL	INST.	AREA
1	11 / I.W.H.S.	18168	16,889 sq. m.
2	11 / I.W.H.S.	18168	0.922 sq. m.
3	11 / I.W.H.S.	18168	6 m ²

PLAN OF SURVEY
OF PART OF
LOT II, CONCESSION I
WEST OF HURONTARIO STREET
FORMERLY IN THE
TOWNSHIP OF CHINGUACOUSY
COUNTY OF PEEL
NOW IN THE
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

Scale: 1:2000
A. SKRANDA, O.L.S.
1987

BEARING NOTE
BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHWESTERLY LIMIT OF PART I, PLAN 43R-7717 BEING N 38° 11' 30" E IN ACCORDANCE WITH SAID PLAN.

SURVEYOR'S CERTIFICATE
CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE REGISTRY ACT, AND THE REGULATIONS MADE THEREUNDER;
2. THE SURVEY WAS COMPLETED ON THE 10th DAY OF APRIL, 1987.

April 13, 1987
DATE
A. SKRANDA
ONTARIO LAND SURVEYOR

A. SKRANDA SURVEYING LTD.
190 HWY. No. 7 WEST (UNIT 1)
BRAMPTON, ONTARIO L7A 1A2
PHONE: 416-451-1842

4587
PROJECT

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LT 11 CON 1 WHS CHINGUACOUSY AS IN CH30429 & CH24190 EXCEPT CH31523 & CH24576 ; BRAMPTON

PROPERTY REMARKS:

ESTATE/QUALIFIER:
FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:
RE-ENTRY FROM 14249-0176

PIN CREATION DATE:
1999/05/17

OWNERS' NAMES
HURONTARIO SELF STORAGE DEVELOPMENTS LIMITED

CAPACITY SHARE

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/07/29 ON THIS PIN						
WAS REPLACED WITH THE "PIN CREATION DATE" OF 1999/05/17						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1999/05/17 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHENTS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 1999/05/18 **						
CH24190	1956/04/18	TRANSFER		*** COMPLETELY DELETED ***	NEWNS, JOSEPHINE NEWNS, WILLIAM RAYMOND	
CH30429	1962/02/22	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	NEWNS, JOSEPHINE NEWNS, WILLIAM RAYMOND	
VS340904	1975/01/21	MECHANICS LIEN		*** COMPLETELY DELETED ***		
LT2028940	1999/12/17	APL OF SURV-LAND		*** COMPLETELY DELETED *** NEWSNS, JOSEPHINE - DECEASED	NEWNS, WILLIAM RAYMOND	
REMARKS: CH30429 & CH24190						
LT2028941	1999/12/17	TRANSFER		*** COMPLETELY DELETED ***		

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR386342	2003/01/31	TRANSFER		NEWNS, WILLIAM RAYMOND *** COMPLETELY DELETED *** NEW DRESDEN PROPERTIES LIMITED	NEW DRESDEN PROPERTIES LIMITED KALSI INVESTMENTS INC.	C
PR386439	2003/01/31	CHARGE		*** COMPLETELY DELETED *** KALSI INVESTMENTS INC.	NEW PUNJAB LOAN & FINANCIAL SERVICES CORP.	
PR425779	2003/04/29	NOTICE		THE CORPORATION OF THE CITY OF BRAMPTON		
PR514281	2003/09/30	LR'S ORDER		*** COMPLETELY DELETED *** LAND REGISTRAR		
PR539453	2003/11/10	CHARGE		*** COMPLETELY DELETED *** KALSI INVESTMENTS INC.	ROYAL BANK OF CANADA	
PR567993	2003/12/29	DISCH OF CHARGE		*** COMPLETELY DELETED *** NEW PUNJAB LOAN & FINANCIAL SERVICES CORP.		
PR1398760	2008/01/08	CHARGE		*** COMPLETELY DELETED *** KALSI INVESTMENTS INC.	VEGA INVESTMENT	
PR1410741	2008/02/01	DISCH OF CHARGE		*** COMPLETELY DELETED *** VEGA INVESTMENT		
PR1410755	2008/02/01	TRANSFER		*** COMPLETELY DELETED *** KALSI INVESTMENTS INC.	2131493 ONTARIO INC.	
PR1410756	2008/02/01	CHARGE		*** COMPLETELY DELETED *** 2131493 ONTARIO INC.	KALSI INVESTMENTS INC.	
PR1421986	2008/02/28	DISCH OF CHARGE		*** COMPLETELY DELETED *** ROYAL BANK OF CANADA		
PR2262767	2012/09/10	DISCH OF CHARGE		*** COMPLETELY DELETED *** KALSI INVESTMENTS INC.		

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

LAND
REGISTRY
OFFICE #43

14249-0071 (LT)

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
REMARKS: PR1410756.						
PR3818641	2021/04/20	TRANSFER	\$2	2131493 ONTARIO INC.	HURONTARIO SELF STORAGE DEVELOPMENTS LIMITED	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

PROPERTY DESCRIPTION: PT LT 11 COM 1 WHS CHINGUACOUSY PT 2, 43R14547 ; BRAMPTON

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 14249-0175

PIN CREATION DATE:

1999/05/17

OWNERS' NAMES

2131493 ONTARIO INC.

CAPACITY SHARE

ROWN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/07/29 ON THIS PIN						
WAS REPLACED WITH THE "PIN CREATION DATE" OF 1999/05/17						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1999/05/17 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHENTS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 1999/05/18 **						
43R7717	1980/02/21	PLAN REFERENCE				C
43R14547	1987/05/05	PLAN REFERENCE				C
RO806883	1987/07/02	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	BANTRON DEVELOPMENTS LIMITED	
RO1023591	1992/11/19	AGREEMENT			THE CITY OF BRAMPTON	C
PR390987	2003/02/12	TRANSFER		*** COMPLETELY DELETED *** BANTRON DEVELOPMENTS LIMITED	NORTH BRAMPTON CENTRE HOLDINGS LIMITED	
PR776246	2004/12/16	TRANSFER		*** COMPLETELY DELETED *** NORTH BRAMPTON CENTRE HOLDINGS LIMITED	1623397 ONTARIO CORP.	
REMARKS: PLANNING ACT STATEMENTS						

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR776247	2004/12/16	CHARGE	\$2,700,000	*** COMPLETELY DELETED *** 1623397 ONTARIO CORP.	NORTH BRAMPTON CENTRE HOLDINGS LIMITED	C
PR776248	2004/12/16	CHARGE		*** COMPLETELY DELETED *** 1623397 ONTARIO CORP.	NORTH BRAMPTON CENTRE HOLDINGS LIMITED	
PR819158	2005/03/17	DISCH OF CHARGE		*** COMPLETELY DELETED *** NORTH BRAMPTON CENTRE HOLDINGS LIMITED		
REMARKS: RE: PR776248						
PR1310193	2007/08/07	APL ANNEX REST COV		1623397 ONTARIO CORP.		
REMARKS: NO EXPIRY DATE.						
PR1311371	2007/08/08	TRANSFER		1623397 ONTARIO CORP.	2131493 ONTARIO INC.	
REMARKS: PLANNING ACT STATEMENTS						
PR1311462	2007/08/08	CHARGE		*** COMPLETELY DELETED *** 2131493 ONTARIO INC.	FOREMOST FINANCIAL CORPORATION	
PR1311463	2007/08/08	NO SEC INTEREST		*** COMPLETELY DELETED *** FOREMOST FINANCIAL CORPORATION		
PR1311464	2007/08/08	NO ASSGN RENT GEN	*** COMPLETELY DELETED *** 2131493 ONTARIO INC.	FOREMOST FINANCIAL CORPORATION		
REMARKS: PR1311462						
PR1350189	2007/10/05	DISCH OF CHARGE	*** COMPLETELY DELETED *** NORTH BRAMPTON CENTRE HOLDINGS LIMITED			
REMARKS: RE: PR776247						
PR2252970	2012/08/23	DISCH OF CHARGE	*** COMPLETELY DELETED *** FOREMOST FINANCIAL CORPORATION			
REMARKS: PR1311462.						
PR2252971	2012/08/23	DISCHARGE INTEREST	*** COMPLETELY DELETED *** FOREMOST FINANCIAL CORPORATION			
REMARKS: PR1311463.						

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

PROPERTY DESCRIPTION: PT LT 11 CON 1 WHS CHINGUACOUBY AS IN CH30430 & CH24189 EXCEPT CH31523 & CH24576 ; BRAMPTON

PROPERTY REMARKS:

ESTATE/QUALIFIER:

FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:

RE-ENTRY FROM 14249-0177

PIN CREATION DATE:

1999/05/17

OWNERS' NAMES

HURONTARIO SELF STORAGE DEVELOPMENTS LIMITED

CAPACITY SHARE

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
EFFECTIVE 2000/07/29 THE NOTATION OF THE "BLOCK IMPLEMENTATION DATE" OF 1997/07/29 ON THIS PIN						
WAS REPLACED WITH THE "PIN CREATION DATE" OF 1999/05/17						
** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 1999/05/17 **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 4(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHETS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 1999/05/18 **						
CH24189	1956/04/18	TRANSFER		*** COMPLETELY DELETED ***	SIMPSON, KATHLEEN	
REMARKS: SKETCH ATTACHED.						
CH30430	1962/02/22	TRANSFER		*** DELETED AGAINST THIS PROPERTY ***	SIMPSON, KATHLEEN	
PR514281	2003/09/30	LR'S ORDER		*** COMPLETELY DELETED *** LAND REGISTRAR		
REMARKS: AMENDS DESCRIPTION. LRO DONE IN ERROR, NO AMENDMENT NEEDED.						
PR519720	2003/10/08	TRANSFER		*** COMPLETELY DELETED *** SIMPSON, KATHLEEN	NEWNS, RAYMOND MAYLON SIMPSON, KATHLEEN	
PR1103364	2006/07/24	TRANSFER		*** COMPLETELY DELETED ***		

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

LAND
REGISTRY
OFFICE #43

14249-0072 (LT)

PAGE 2 OF 2
PREPARED FOR Jonathan
ON 2021/06/16 AT 10:16:34

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
PR1262761	2007/05/24	TRANSFER		NEWS, RAYMOND MAYLON SIMPSON, KATHLEEN *** COMPLETELY DELETED *** SIMPSON, KATHLEEN	SIMPSON, KATHLEEN BROWN, RUTH ANN SIMPSON, KATHLEEN	
PR1704289	2009/09/15	TRANSFER		*** COMPLETELY DELETED *** BROWN, RUTH ANN	2025333 ONTARIO INC.	
PR2330404	2013/02/05	TRANSFER		*** COMPLETELY DELETED *** 2025333 ONTARIO INC.	1743604 ONTARIO INC.	
REMARKS: PLANNING ACT STATEMENTS.						
PR3818643	2021/04/20	TRANSFER	\$2	1743604 ONTARIO INC.	HURONTARIO SELF STORAGE DEVELOPMENTS LIMITED	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

LRO # 43 Transfer

Received as PR3818641 on 2021 04 20 at 13:26

The applicant(s) hereby applies to the Land Registrar.

yyyy mm dd Page 1 of 2

Properties

PIN 14249 - 0071 LT **Interest/Estate** Fee Simple
Description PT LT 11 CON 1 WHS CHINGUACOUSY AS IN CH30429 & CH24190 EXCEPT CH31523 & CH24576 ; BRAMPTON
Address 10134 HURONTARIO STREET
BRAMPTON

Consideration

Consideration \$2.00

Transferor(s)

The transferor(s) hereby transfers the land to the transferee(s).

Name 2131493 ONTARIO INC.
Address for Service 31 Centre Street South, Suite 7
Brampton, Ontario
L6W 2X7

I, Laurie Hill, President, have the authority to bind the corporation.
This document is not authorized under Power of Attorney by this party.

Transferee(s) **Capacity** **Share**

Name HURONTARIO SELF STORAGE DEVELOPMENTS
LIMITED
Address for Service 5400 Yonge Street, Suite 501
Toronto, Ontario
M2N 5R5

Signed By

Allan John Ritchie 135 Queens Plate Drive Suite 600 acting for Signed 2021 04 20
Etobicoke Transferor(s)
M9W 6V7

Tel 416-746-4710
Fax 416-746-8319

I am the solicitor for the transferor(s) and the transferee(s) and this transfer is being completed in accordance with my professional standards.

I have the authority to sign and register the document on behalf of all parties to the document.

Allan John Ritchie 135 Queens Plate Drive Suite 600 acting for Signed 2021 04 20
Etobicoke Transferee(s)
M9W 6V7

Tel 416-746-4710
Fax 416-746-8319

I am the solicitor for the transferor(s) and the transferee(s) and this transfer is being completed in accordance with my professional standards.

I have the authority to sign and register the document on behalf of all parties to the document.

Submitted By

Loopstra Nixon LLP 135 Queens Plate Drive Suite 600 2021 04 20
Etobicoke
M9W 6V7

Tel 416-746-4710
Fax 416-746-8319

Fees/Taxes/Payment

Statutory Registration Fee \$65.30
Provincial Land Transfer Tax \$0.00
Total Paid \$65.30

LAND TRANSFER TAX STATEMENTS

In the matter of the conveyance of: 14249 - 0071 PT LT 11 CON 1 WHS CHINGUACOUSY AS IN CH30429 & CH24190 EXCEPT CH31523 & CH24576 ; BRAMPTON

BY: 2131493 ONTARIO INC.
TO: HURONTARIO SELF STORAGE DEVELOPMENTS LIMITED

1. JACK EISENBERGER (A.S.O.)

I am

- ☐ (a) A person in trust for whom the land conveyed in the above-described conveyance is being conveyed;
- ☐ (b) A trustee named in the above-described conveyance to whom the land is being conveyed;
- ☐ (c) A transferee named in the above-described conveyance;
- ☐ (d) The authorized agent or solicitor acting in this transaction for _____ described in paragraph(s) () above.
- ☒ (e) The President, Vice-President, Manager, Secretary, Director, or Treasurer authorized to act for HURONTARIO SELF STORAGE DEVELOPMENTS LIMITED described in paragraph(s) (C) above.
- ☐ (f) A transferee described in paragraph () and am making these statements on my own behalf and on behalf of _____ who is my spouse described in paragraph () and as such, I have personal knowledge of the facts herein deposed to.

3. The total consideration for this transaction is allocated as follows:

(a) Monies paid or to be paid in cash	\$0.00
(b) Mortgages (i) assumed (show principal and interest to be credited against purchase price)	\$0.00
(ii) Given Back to Vendor	\$0.00
(c) Property transferred in exchange (detail below)	\$0.00
(d) Fair market value of the land(s)	\$0.00
(e) Liens, legacies, annuities and maintenance charges to which transfer is subject	\$0.00
(f) Other valuable consideration subject to land transfer tax (detail below)	\$0.00
(g) Value of land, building, fixtures and goodwill subject to land transfer tax (total of (a) to (f))	\$0.00
(h) VALUE OF ALL CHATTELS -items of tangible personal property	\$0.00
(i) Other considerations for transaction not included in (g) or (h) above	\$0.00
(j) Total consideration	\$0.00

4.

Explanation for nominal considerations:
c) beneficial owner to trustee (evidence required to be submitted)

5. The land is not subject to an encumbrance

6. Other remarks and explanations, if necessary.

- 1. The information prescribed for purposes of section 5.0.1 of the Land Transfer Tax Act is not required to be provided for this conveyance.
- 2. The transferee(s) has read and considered the definitions of "designated land", "foreign corporation", "foreign entity", "foreign national", "specified region" and "taxable trustee" as set out in subsection 1(1) of the Land Transfer Tax Act. The transferee(s) declare that this conveyance is not subject to additional tax as set out in subsection 2(2.1) of the Act because:
- 3. (c) The transferee(s) is not a "foreign entity" or a "taxable trustee".
- 4. The transferee(s) declare that they will keep at their place of residence in Ontario (or at their principal place of business in Ontario) such documents, records and accounts in such form and containing such information as will enable an accurate determination of the taxes payable under the Land Transfer Tax Act for a period of at least seven years.
- 5. The transferee(s) agree that they or the designated custodian will provide such documents, records and accounts in such form and containing such information as will enable an accurate determination of the taxes payable under the Land Transfer Tax Act, to the Ministry of Finance upon request.

PROPERTY Information Record

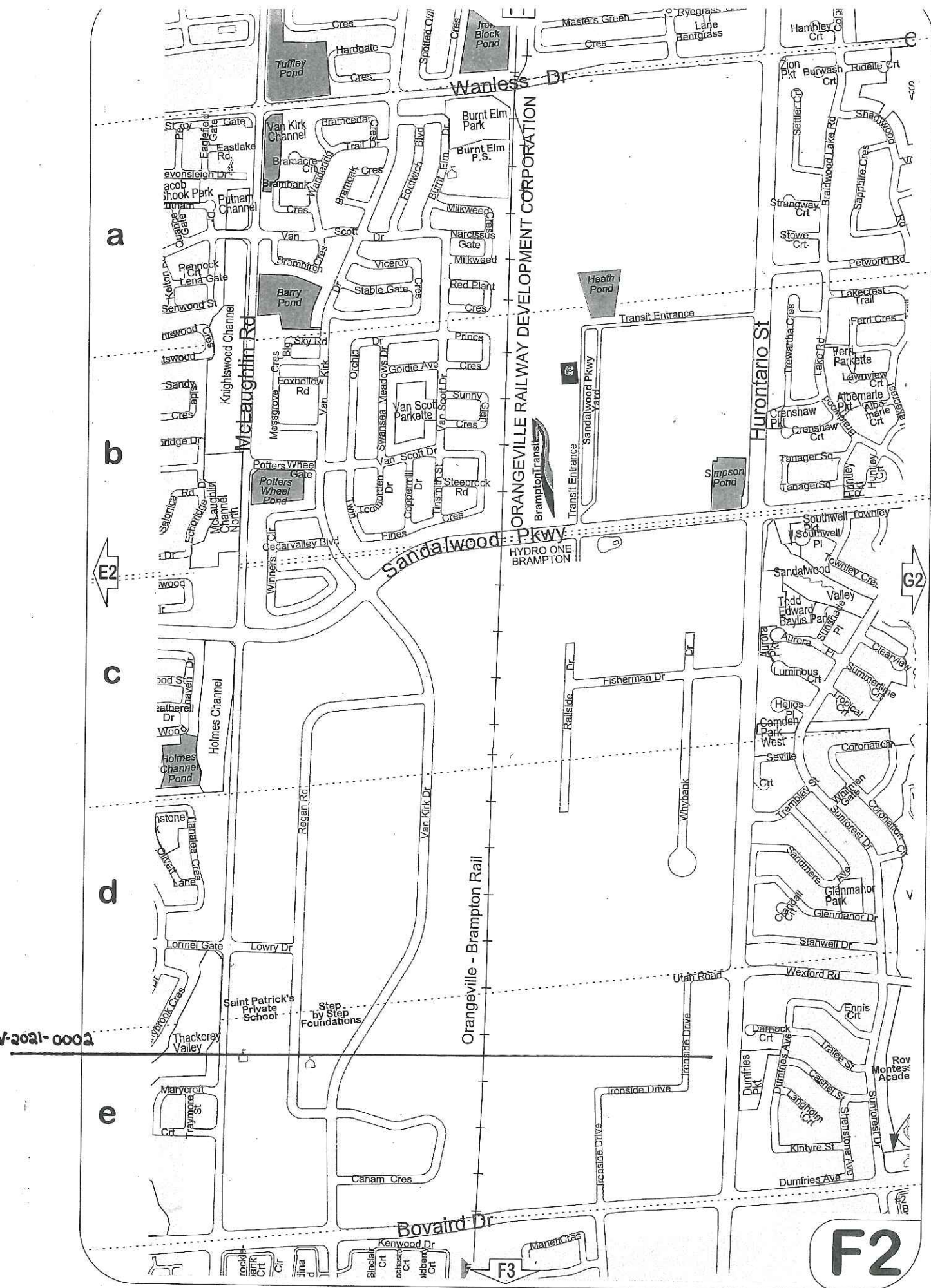
A. Nature of Instrument: Transfer
LRO 43 Registration No. PR3818641 Date: 2021/04/20

B. Property(s): PIN 14249 - 0071 Address 10134 HURONTARIO STREET BRAMPTON Assessment 2110060 - 00109600 Roll No

C. Address for Service: 5400 Yonge Street, Suite 501 Toronto, Ontario M2N 5R5

D. (i) Last Conveyance(s): PIN 14249 - 0071 Registration No. PR1410755
(ii) Legal Description for Property Conveyed: Same as in last conveyance? Yes ☒ No ☐ Not known ☐

E. Tax Statements Prepared By: Allan John Ritchie
135 Queens Plate Drive Suite 600 Etobicoke M9W 6V7





APPLICATION # A-2021-0160
WARD #10

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MCVEAN COMMERCIAL CENTRE LTD.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Block 385, Plan 43M-1997 municipally known as **11615-11706 MCVEAN DRIVE, (Southeast corner of Mayfield Road and McVean Drive)**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a front yard setback of 2.27m (7.45 ft.) whereas the by-law requires a minimum 6.0m (19.68 ft.) front yard setback;
2. To permit an exterior side yard setback of 4.5m (14.76 ft.) whereas the by-law requires a minimum 6.0m (19.68 ft.) exterior side yard setback;
3. To permit 456 parking spaces whereas the by-law requires a minimum of 467 parking spaces.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision:	<u>NO</u>	File Number:	<u></u>
Application for Consent:	<u>NO</u>	File Number:	<u></u>

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

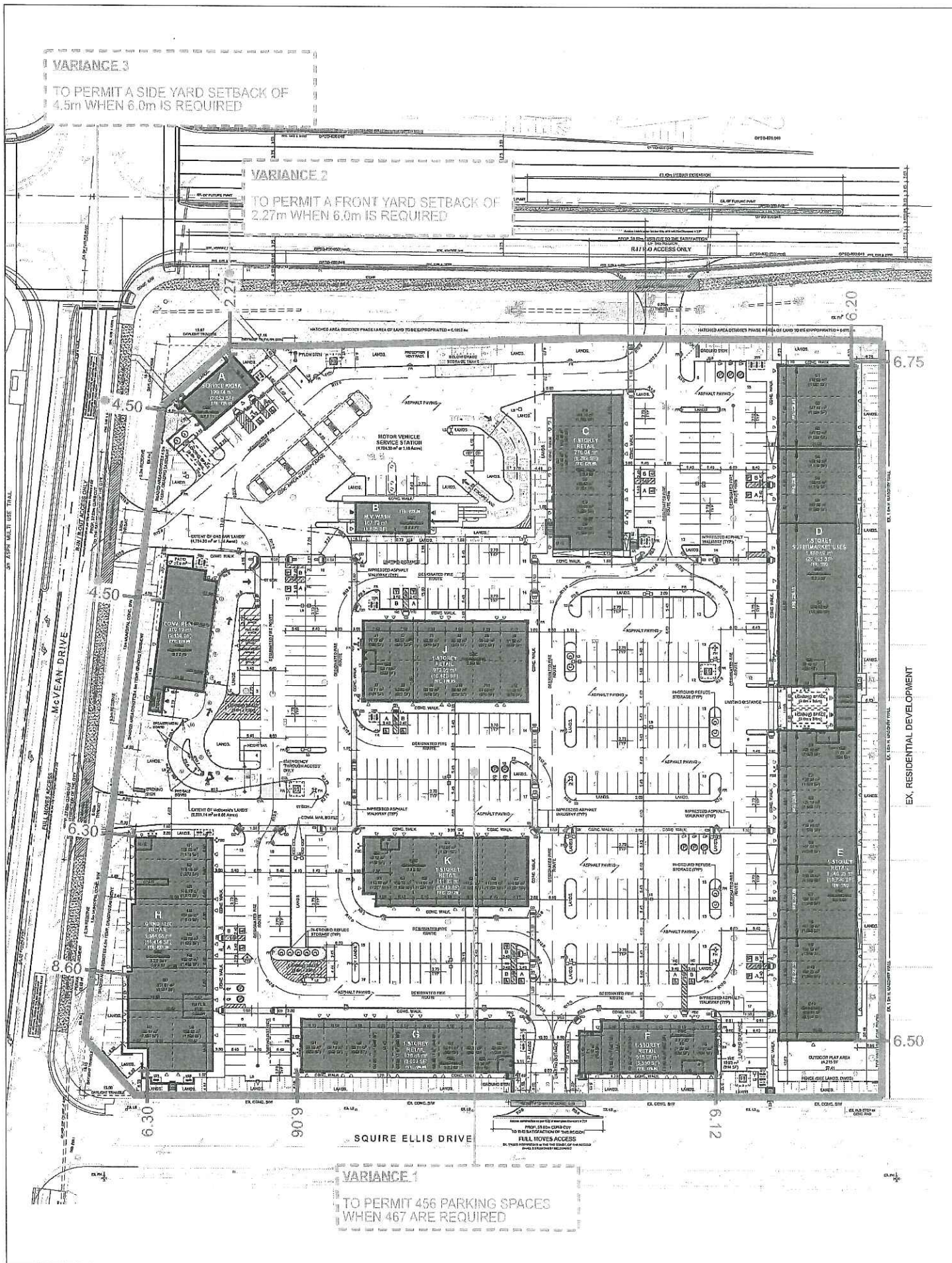
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



- Subject Lands
- Variances Requested

Note: The original drawing was prepared by Baldassarra Architects Inc. on June 17, 2021

MINOR VARIANCE SKETCH

SOUTHEAST CORNER OF MCVEAN DRIVE
AND MAYFIELD ROAD
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE: SEE SCALE BAR
DATE DRAWN: JULY 08, 2021
Weston File No. 9688

WESTON CONSULTING

Vaughan office
201 Millway Ave, Suite 19
Vaughan, Ontario L4K 5K8
T: 905.738.8080 F: 905.738.9937
Toronto office
208 Bantley Road
Toronto, Ontario M5A 2K5
T: 416.640.9917 F: 905.738.9937

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



**WESTON
CONSULTING**

planning + urban design

A-2021-0160

Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON, L6Y 4R2

July 9, 2021
File 9688

Attn: Jeanie Myers, Secretary Treasurer

**RE: Application for Minor Variance
Southeast Corner of McVean Drive and Mayfield Road
Block 385, Plan 43M-1997
Brampton, Ontario**

Dear Madame,

Weston Consulting is the planner for the Mayfield Commercial Centre Ltd. the legally registered landowner of the property described as Block 385, Plan 43M-1997 in the City of Brampton (herein referred to as the "subject property"). A preliminary municipal address of 11615 – 11705 McVean Drive has been assigned to the subject property. The property is located on the east side of McVean Drive, and the south side of Mayfield Road in the Vales of Humber Block Plan Area within the City of Brampton. This letter has been prepared in support of a proposed Minor Variance Application required to address zoning deficiencies related to an ongoing Site Plan Approval application.

Description of the Subject Property

The property is located on the east side of McVean Drive, and the south side of Mayfield Road in the Vales of Humber Block Plan Area. The subject property is bounded by low-rise residential uses to the east and south. Vacant land planned for low-rise residential uses is located to the west. Agricultural and low-rise residential uses are located to the north. Also to the north is a transportation use with outdoor storage of vehicles. These lands to the north are part of the Town of Caledon. The subject property has a total site area of 40,002 sq.m (9.88 acres, 4.00 ha), and 190.25m of frontage along McVean Drive. The subject property is currently vacant.

The City of Brampton Official Plan designates the subject property as '*Residential*' and '*Neighbourhood Retail*' according to Schedule A2 -Retail Structure of the Official Plan. The Vales of Humber Secondary Plan designates the property as '*Neighbourhood Retail*', consistent with the Official Plan. The Secondary Plan designation allows for retail uses that cater to the local neighbourhood residents as well as office, restaurant and entertainment uses. The City of Brampton Zoning By-law 270-2004 zones the property as 'C2 – 2386'. The C2 zone permits various office and commercial uses such as retail establishments, a supermarket, restaurants,

entertainment uses and personal services. The zoning exception applicable to the subject property imposes development standard restrictions.

Concurrent Site Plan Application

The subject property is subject to a concurrent Site Plan Approval Application (SP19-003) which is at an advanced stage of the approvals process. The proposed development includes a total of 11 buildings, 7 of which would be 1-storey commercial/retail buildings, one of which is designed to accommodate a supermarket. A 2-storey building with commercial/retail units on the ground floor and offices on the second is also proposed. The final 3 buildings would include a convenience restaurant with a drive-through facility, a motor vehicle wash, and a gas bar with service kiosk.

City Staff have issued a memo of substantial completion in favour of the Site Plan Application. Further revisions to the site plan are not anticipated. The requested variances outlined below have been confirmed by Zoning Staff through the site plan review process.

Purpose of Application

The purpose of this application is to seek relief from the following provisions of the City of Brampton Zoning By-law 270-2004:

- Section 2386.2
 - (b) Minimum Front Yard Depth: 6.0 metres, whereas 2.27 metres is proposed.
 - (c) Minimum Side Yard Setback 6.0 metres, whereas 4.50 metres is proposed.
- Section 20.3.1:
 - Minimum of 1 parking space for each 23 square metres of gross commercial floor area or portion thereof, as well as 5 spaces for a motor vehicle wash, resulting in a required parking supply of 467 spaces, whereas 456 spaces are provided.

Planning Justification and Analysis

Section 45(1) of the *Planning Act* directs that a minor variance may be granted if, in the opinion of the Committee of Adjustment, the following tests are met:

- The variance requested maintains the general intent and purpose of the Official Plan;
- The variance requested maintains the general intent and purpose of the Zoning By-law;
- The variance is desirable for the appropriate use of the land; and;
- The variance is minor in nature.

Additionally, Bill 73 introduced a further condition (Section 45 (1.0.1)) stating that a minor variance must conform to any prescribed criteria and/or criteria established by the local municipality by by-laws, if any. At this time, there are no additional criteria. The following provides a summary of how the site plan meets the four tests under the *Planning Act*.

Maintains the General Intent and Purpose of the Official Plan

The subject property is designated as '*Residential*' and '*Neighbourhood Retail*' by the City of Brampton Official Plan and is designated '*Neighbourhood Retail*' by the Vales of Humber Secondary Plan. The subject property is the only site in the Secondary Plan Area with this designation. The purpose of the '*Neighbourhood Retail*' designation is to implement the "Local Retail" policies of the City of Brampton Official Plan. In addition to prescribing where to designate local retail sites, the Official Plan describes that the intent of the designation is to provide commercial space to serve the needs of the community and be easily accessible to residential areas. The policies define which uses are permitted in the designation, and those uses include supermarkets, junior department stores, pharmacies, restaurants, and service establishments. Drive-through facilities, car washes, gas bars and convenience restaurants are also permitted.

The proposed development of the subject property meets the general intent and purpose of the Official Plan and the Vales of Humber Secondary Plan. The proposed development is in conformance with all of the policies of the '*Neighbourhood Retail*' designation of the Vales of Humber Secondary Plan, as well as the '*Local Retail*' policies of the Official Plan. The proposed development proposes to provide commercial uses such as retail stores, a supermarket and a convenience restaurant and limited small-scale office uses that will be of benefit to the community. It is our opinion that the requested variances meet the general intent and purpose of the Official Plan.

Maintains the General Intent and Purpose of the Zoning Bylaw

The City of Brampton Zoning By-law 270-2004 zones the subject property as 'C2 – 2386', which allows for various commercial and office uses. The Zoning By-law also contains provisions that regulate the size and siting of buildings, as well as the required number and size of parking spaces. The purpose of the C2 zone is to provide for a range of retail, service, restaurant and offices uses that serve the community. The proposed development will provide local retail uses, a convenience restaurant, gas bar, personal service uses and limited office uses which are all uses which comply with the Zoning By-law.

The proposed development provides a total of 456 parking spaces, which is 11 spaces short of the requirement of 467 spaces, or a variance of approximately 2%. A parking study, prepared by NexTrans Consulting Engineers, found that a parking supply of 456 spaces will be sufficient to serve the proposed development. The report explains that the mix of uses on the property will require lower parking utilization due to differences in peak use times. For example, offices typically require more parking during the morning and mid-day, whereas retail typically requires more parking during the evening and on weekends. In addition, the report makes comparisons to required parking rates in other nearby municipalities, where lower parking rates are required for similar uses. This requested variance to reduce the number of parking spaces meets the general intent and purpose of the Zoning By-law as it will still allow for an adequate supply of off-street parking for the businesses and services on-site.

One of the buildings proposed will not meet two setback requirements under the Zoning By-law. Building A, the service kiosk associated with the gas bar, is proposed to have an exterior side yard setback of 4.5m and a front yard setback of 2.27m, whereas a 6.00m setback is required in both cases. The purpose of these reduced setbacks for the service kiosk is to increase the prominence of this building at the corner, which is considered a community gateway to the City of Brampton. In consultation with City Staff, it was determined that the location of this building at a prominent corner location makes these reduced setbacks appropriate.

Building I also seeks a reduced exterior side yard setback of 4.5m for one section along the building wall where there is a wall feature that extends out from the building. This wall feature includes the convenience restaurant's logo so it is visible from the street. The remainder of the western building wall for Building I complies with the 6m exterior side yard requirement.

It is our opinion that the requested variances to allow for relief from the parking requirements and setback requirements as described above, maintain the general intent and purpose of the Zoning By-law.

Desirable and Appropriate

The proposed development is planned to provide retail, service, restaurant and office uses that are permitted by the Official Plan and Zoning By-law. The proposed development will benefit the surrounding local community by improving access to goods and services that are of an appropriate type and scale for the community. As well, the proposed uses which include a gas bar and a convenience restaurant, as well as a food store, local retail, personal service shops, and offices, will benefit the city at-large. The proposed development will provide uses that contribute to a strong, livable community.

The proposed variance for parking is a reduction of 2% from the by-law requirement. The enclosed Parking Study supports this parking reduction by indicating that the proposed development can be served with fewer parking spaces than what is required by the Zoning By-law. A reduced parking rate, when appropriate, as is the case for the subject property, is desirable because it improves walkability, while reducing dependence on automobiles. Reduced parking rates also allow for a more efficient use of infrastructure and land resources.

The reduced setbacks proposed for Building A at the intersection of McVean Drive and Mayfield Road satisfy the City's urban design objectives for development adjacent to a community gateway location. The reduced setbacks allow Building A to be sited closer to the corner of the site. The placement of the building, in conjunction with the building's two-storey massing and the corner entry feature, which has been approved by City Staff, enhances the prominence of this corner location. The reduced setbacks are required to achieve this site condition at this corner of the subject property. In addition, the reduced exterior side yard setback for Building I is only for one section of the western building wall, the remainder of the building wall meets the Zoning By-law requirement. This setback reduction will not adversely impact the streetscape along McVean Drive.

It is our opinion that the requested variances are both desirable and appropriate.

Minor in Nature

The requested variances are minor in nature as they maintain the general intent and purpose of the Official Plan and Zoning Bylaw, are desirable and appropriate, and will not have any adverse impacts on the surrounding area.

The variances are proposed to seek relief from the Zoning By-law to allow for reduced building setbacks that are appropriate for the location and a reduction in parking that is appropriate given the anticipated parking demand of the subject property.

The reduction in the setback requirements will allow Building A to be brought closer to the street. This will increase the prominence of the development at a community gateway location, fronting onto a street with a wide right-of-way width. Bringing this building closer to the sidewalk will also animate the public realm and increase the level of pedestrian comfort and accessibility to the site. The setback reduction for Building I is required for a building wall feature which is needed to increase the visibility of the convenience restaurant's logo.

The reduced number of parking spaces results in a variance of 2% from the Zoning By-law requirement. This 2% reduction is supported by the enclosed Parking Study, which examined the parking needs anticipated on the site given the proposed uses and context. Given that the reduced parking supply is projected to meet the demand for parking on the site without the need to implement transportation demand management measures, the proposed reduction in parking is minor in nature.

It is our opinion that the proposed variances do not pose any discernable impacts on the surrounding area, nor are they inconsistent with the general intent and purpose of the Official Plan and Zoning By-law. For these reasons, it is our opinion that the variances are minor in nature.

Submission Materials

The following materials have been included with this digital submission:

- The complete application form, including Appointment and Authorization form and Permission to Enter form;
- A Minor Variance Sketch; and,
- Transportation Impact Study Addendum Letter.

Conclusion

It is our opinion that the proposed variances should be approved by the Committee of Adjustment as they satisfy all four tests prescribed by the *Planning Act* and represent good planning. This commercial development will be of benefit to the surrounding residential community and the City of Brampton at large.

We trust that the above is sufficient for staff to facilitate their review. Should you have any questions, or require further information, please contact the undersigned (ext. 309) or Jacob Lapointe (ext. 299).

Yours truly,

Weston Consulting

Per:



Jenna Thibault, BSc, MPL, MCIP, RPP
Senior Planner

c. Sandy Minuk, McVean Commercial Centre Ltd.

July 9, 2021

Minuk Contracting Company Ltd.
 99 Sante Drive, Suite C
 Concord ON L4K 3C4

Attention: Mr. Lorenzo Papi

Re: Transportation Impact Study Addendum Letter
Southeast Quadrant of Mayfield Road and McVean Drive
City of Brampton, ON
Our Project No. NT-20-033

NexTrans Consulting Engineers (a Division of NextEng Consulting Group Inc.) is pleased to present the enclosed Transportation Impact Study Addendum Letter for the above noted property. NexTrans previously prepared a Transportation Impact Study for the commercial development, dated January 2021.

The subject property is located at the southeast corner of the Mayfield Road and McVean Drive intersection, in the City of Brampton. Based on the site plan prepared by Baldassarra Architects Inc., dated June 17, 2021, the development proposal includes eight (8) commercial buildings, a restaurant with drive-thru and a gasoline service station with a car wash, with a collective gross leasable commercial area (GLCA) totaling 11,011.89 m² (118,531 ft²) and a gross commercial floor area (GCA) of 10,799.38 m² (116,244 ft²). A total of 456 vehicle parking spaces are provided on the entire site. A total of four (4) vehicular site entrances are proposed, one (1) via Mayfield Road (right-in-right-out), one (1) full movement via future Squire Ellis Drive and two (2) via McVean Drive (right-in-right-out/left-in and right-in-right-out). The site plan is provided in full detail in **Appendix A**.

The purpose of this addendum letter is to provide an update to the parking justification section from our previous Transportation Impact Study based on the site plan revisions, which are summarized in **Table 1**.

Table 1: Proposed Site Statistics Changes from Previous Site Plan

	January 14, 2021, Site Plan	June 17, 2021, Site Plan	Difference
Total GLCA	11,084.61 m ²	11,011.89 m ²	-72.72 m ²
Total GCA	10,872.10 m ²	10,799.38 m ²	-72.72 m ²

Based on the site plan dated June 17, 2021, there was an overall reduction in GLCA and GCA by 72.72 m². As such, the parking section from our previous Transportation Impact Study was updated as follows.

As previously mentioned, the development proposal includes eight (8) commercial buildings, a restaurant with drive-thru and a gasoline service station with a car wash for a total GFA of approximately 11,011.89 m² (118,531 ft²). A total of 456 vehicle parking spaces are provided on the entire site. The property is zoned by Zoning By-law 270-2004, which has been amended by Zoning By-law No. 259-2020.

The technical parking requirements for the proposed development under Zoning By-Law No. 259-2020 is detailed in **Table 2**. **It is important to note, the specified GFA below in Table 2 per land use is based on total Gross Commercial Floor Area (10,799.38 m²).**

Table 2: Vehicle Parking Requirements (Zoning By-law No. 259-2020)

Land Use	Unit / GFA	Parking Rates	Parking Requirement
Shopping Centre over 2000 m ²	10,631.66 m ²	1 space per 23 m ²	462
Motor Vehicle Washing Establishment	167.72 m ²	5 parking spaces plus 10 car stacking spaces	5
Total Required			467
Total Provided			456
+ Surplus / - Deficiency			-11

In accordance with the City of Brampton's parking provisions outlined in the Zoning By-law No. 259-2020, this site requires 467 parking spaces, resulting in a technical deficiency of 11 parking spaces (a 2% reduction). It is important to note, the proposed land uses will attract peak parking demands at different times of the day. As such, it is our opinion parking spaces provided on site are expected to be vacant throughout the day.

In addition, the deficiency of parking spaces can be supported through comparisons of several municipality parking By-law requirements for retail uses. **Table 3** summarizes the parking requirements based on City of Markham, City of Vaughan, City of Toronto, Town of Richmond Hill and Town of Ajax Zoning By-law's.

Table 3: Vehicular Zoning By-Law Parking Requirements for other Municipalities

Municipality	Use	GCA (m ²)	Retail Parking Requirement		Total Required (Retail + other uses)	Total Provided	Difference
			Minimum Parking Rate	Parking Spaces Required			
City of Markham Zoning By-Law No. 28-97	Retail Store	10,631.66	1 space / 30 m ²	354	359	456	+97
City of Vaughan (Recommended IBI March 2010 Study Parking Rates) *Other Base Areas	Retail		3.5 space / 100 m ²	372	377		+79
City of Toronto Zoning By-Law No. 569-2013	Retail/ Restaurant		1.5 space / 100 m ²	159	164		+292
Town of Richmond Hill – Parking Strategy	Retail		3.0 space / 100 m ²	319	324		+132
Town of Ajax Zoning By-Law No. 95-2003	Retail Store		1 space / 28 m ²	380	385		+71
Maximum Peak Parking Requirement				380	385	456	+71

As detailed in Table 3, the maximum parking requirement for the proposed development from other municipalities indicate a total of 385 parking spaces whereas a total of 456 parking spaces are proposed. As expected, the subject site is subjected to the City of Brampton's Zoning By-laws which require a highly conservative rate for Shopping Centre use vehicle parking requirements.

Based on our experience, excessive parking supply imposes environmental costs, contradicts community development objectives for more livable and walkable communities, and tends to increase driving and discourage the use of alternative modes of travel. It is anticipated that the proposed parking provision recommended within this report will completely service the subject site while reducing environmental costs associated with largely underutilized surface parking lots. On this basis, it is our opinion that the parking supply at the subject site can sufficiently accommodate the parking demand generated from the proposed development.

In addition to Zoning By-law 259-2020, the subject site is also required to adhere to the accessible parking requirement within the City of Brampton's Highway and Parking By-law 93-93. The technical parking requirements for the proposed development under By-law 93-93 are detailed in **Table 4**.

Table 4: Accessible Vehicle Parking Requirements (Zoning By-law No. 93-93)

Parking Rates	Parking Requirement
Two parking spaces and an additional two per cent for developments between 200 and 1000 total parking spaces	12
Total Provided	21
Difference	+9

In accordance with the City of Brampton's parking provisions outlined in the By-law No. 93-93, this site requires 12 accessible parking spaces resulting in a technical surplus of nine (9) accessible parking spaces.

We trust the enclosed sufficiently addresses your needs. Should you have any questions, please do not hesitate to contact the undersigned.

Yours truly,

NEXTRANS ENGINEERING

Prepared by:



Kristian Aviles, B.Eng.
Transportation Analyst

Approved by:



Richard Pernicky, MITE
Principal

Appendix A - Proposed Site Plan

FILE NUMBER: A-2021-0160

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) McVean Commercial Centre Ltd.

Address 99 Sante Drive, Suite C, Concord, ON, L4K 3C4

Phone # 905-738-3675 ext. 27 Fax # _____

Email sandyminuk@minukcorp.com

2. Name of Agent Weston Consulting c/o Jenna Thibault

Address 201 Millway Avenue, Suite 19, Concord, ON, L4K 5K8

Phone # 905-738-8080 Ext. 309 Fax # 905-738-6637

Email jthibault@westonconsulting.com

3. Nature and extent of relief applied for (variances requested):

Setbacks:
Front Yard: 6.00m required, 2.27m provided
Exterior Side Yard: 6.00 required, 4.50m provided.

Parking Spaces:
467 required, 456 provided.

4. Why is it not possible to comply with the provisions of the by-law?

In consultation with Staff, Building A was located closer to the intersection of McVean and Mayfield to create prominence at the intersection. Building I requires a reduced exterior side yard setback but only at a certain location along the building wall. A Parking study was undertaken to determine the appropriateness of the proposed parking rate and indicates that the proposed rate is sufficient to serve the proposed development.

5. Legal Description of the subject land:

Lot Number N/A

Plan Number/Concession Number Block 485, Plan 43M1997

Municipal Address Preliminary: 11615 - 11705 McVean Drive

6. Dimension of subject land (in metric units)

Frontage 190.25m

Depth 205.3m

Area 40,002.14 sq.m

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

There are currently no structures on the subject land.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Seven single-storey commercial buildings, one two-storey mixed-use building with commercial on the ground floor and offices above, a single-storey convenience restaurant with drive-through, gas bar, motor vehicle wash and service kiosk.
Total Gross Commercial Floor Area (less deductible areas): 10,799.38m²
(Shopping Centre: 10,631.66m² + Vehicle Wash 167.72m²)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	N/A
Rear yard setback	N/A
Side yard setback	N/A
Side yard setback	N/A

PROPOSED

Front yard setback	2.27m
Rear yard setback	6.06m
Side yard setback	6.50m (Interior, East)
Side yard setback	4.50m (Exterior, West)

10. Date of Acquisition of subject land: 2019/12/12
11. Existing uses of subject property: Property currently zoned C2-2386, which permits various
12. Proposed uses of subject property: Commercial and Limited Office
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: No existing buildings
15. Length of time the existing uses of the subject property have been continued: Construction is im
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details: File # SP19.003

Status UNDER REVIEW

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Jenna Thibault
Signature of Applicant(s) or Authorized Agent

DATED AT THE Town OF Newmarket

THIS 30 DAY OF June, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Jenna Thibault, OF THE Town OF Newmarket

IN THE Region OF York SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Vaughan
IN THE Region OF
York THIS 30th DAY OF

Patrizia Sant'Ino, 2021
a Commissioner, etc.,
Province of Ontario,
for Weston Consulting Group Inc.
Expires May 01, 2024
A Commissioner etc.

Jenna Thibault
Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

C2 - 2386

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

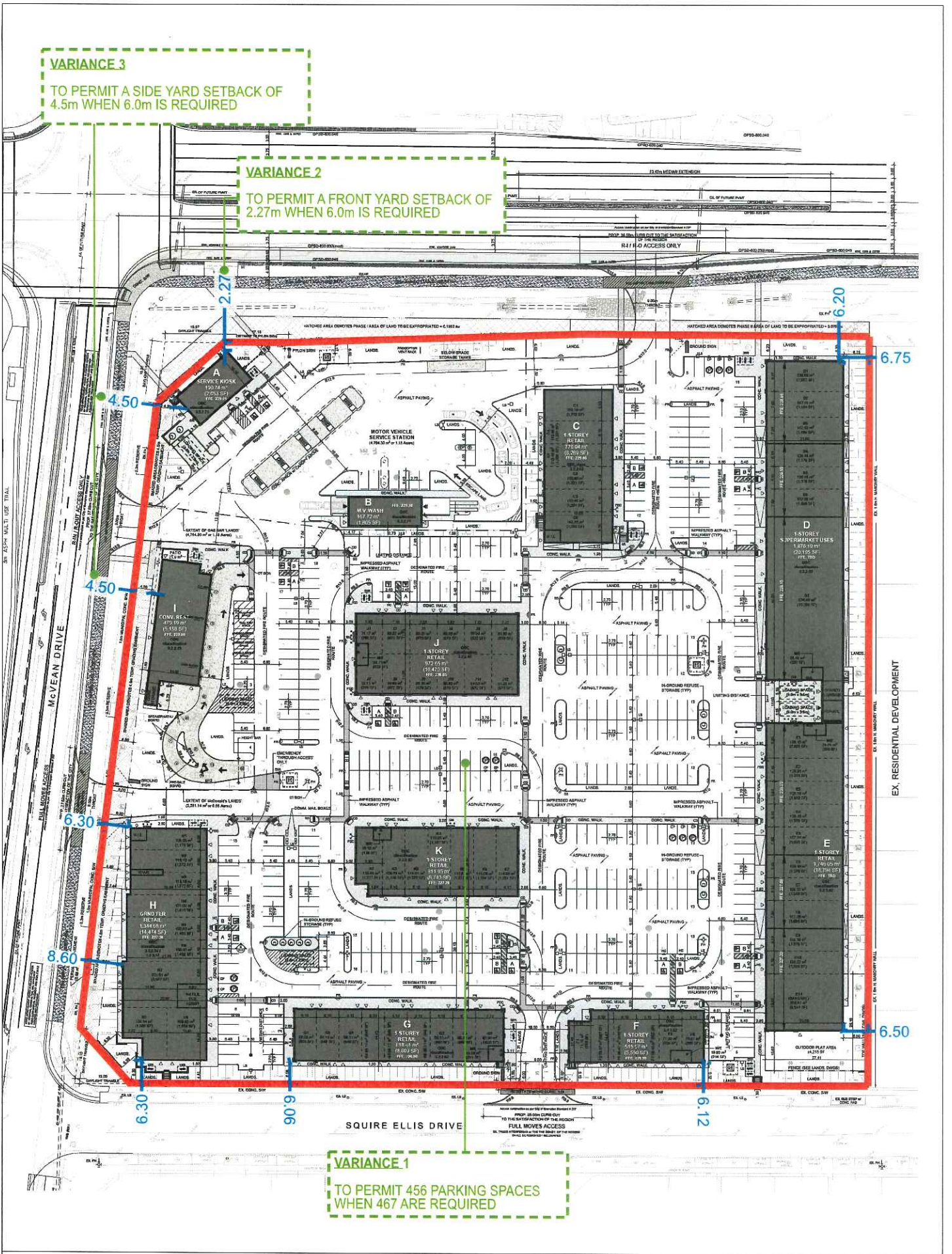
J. Chau
Zoning Officer

July 15, 2021
Date

DATE RECEIVED

July 14, 2021
July 15, 2021

Revised 2020/01/07



Subject Lands
Variations Requested

Note: The original drawing was prepared by Baldassarra Architects Inc. on June 17, 2021

MINOR VARIANCE SKETCH

SOUTHEAST CORNER OF MCVEAN DRIVE AND MAYFIELD ROAD
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

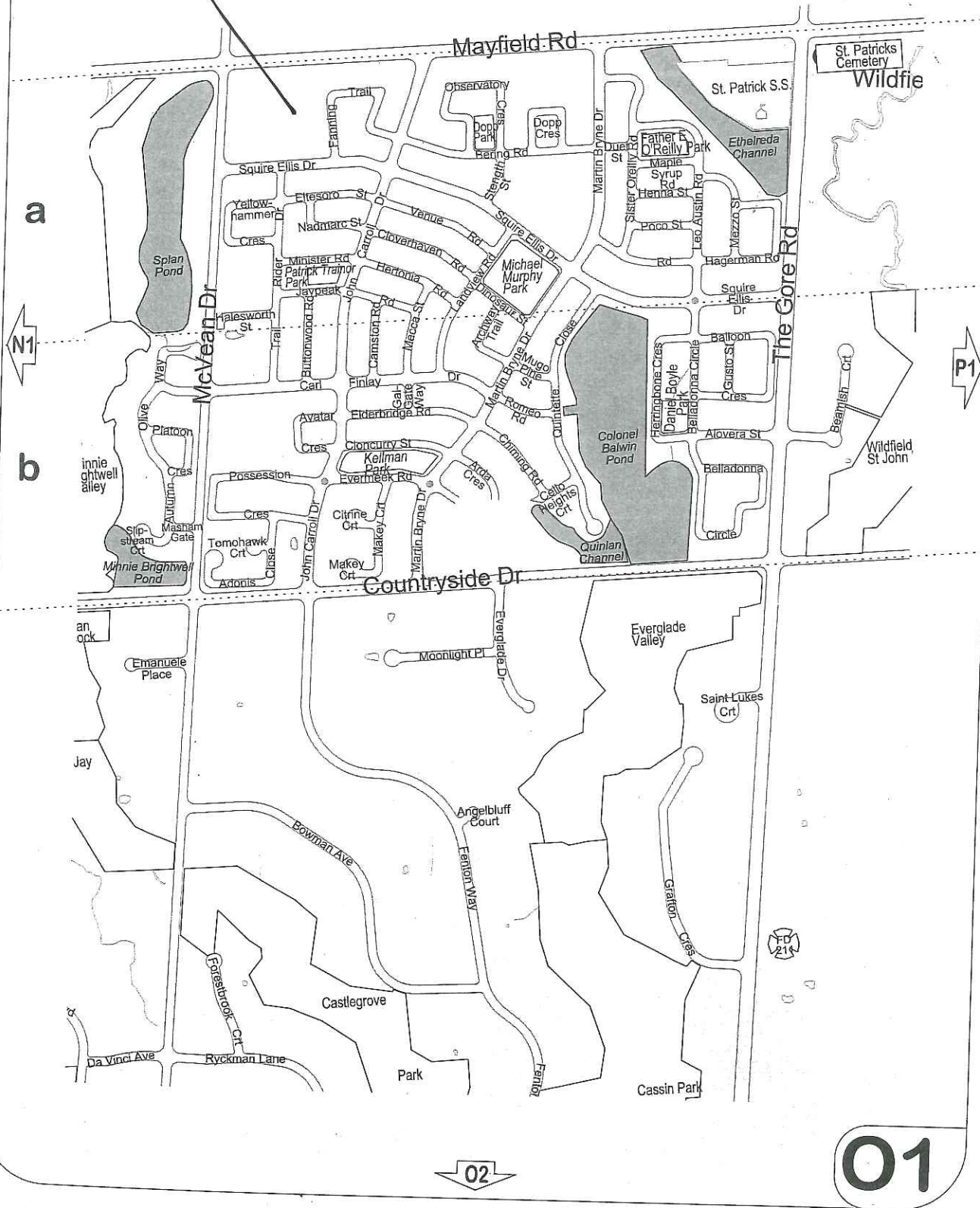
SCALE: SEE SCALE BAR
DATE DRAWN: JULY 08, 2021
Weston File No. 9688



WESTON CONSULTING

Vaughan office
201 Millway Ave, Suite 10
Vaughan, Ontario L4K 3K6
T: 905.738.8080 F: 905.738.9937
Toronto office
200 Bloorway Road
Toronto, Ontario M5A 2X5
T: 416.640.9917 F: 905.738.9937

A-2021-0160



APPLICATION # A-2021-0161
WARD #8

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SAURIN DAVE AND GEETANJALI DAVE** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 1, Plan 43M-1571 municipally known as **2 BLUE DIAMOND DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an accessory building (proposed gazebo) with a building height of 3.34m (10.96 ft.) whereas the by-law permits a maximum height of 3.0m (9.84 ft.);
2. To permit a driveway width of 7.92m (25.98 ft.) whereas the by-law permits a maximum driveway width of 7.32m (24 ft.).
3. To permit 0.14m (0.50 ft.) permeable landscaping between the driveway and the side lot line whereas the by-law requires a minimum permeable landscape strip of 0.6m (1.97 ft.) between the driveway and the side lot line.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO
Application for Consent: _____ NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

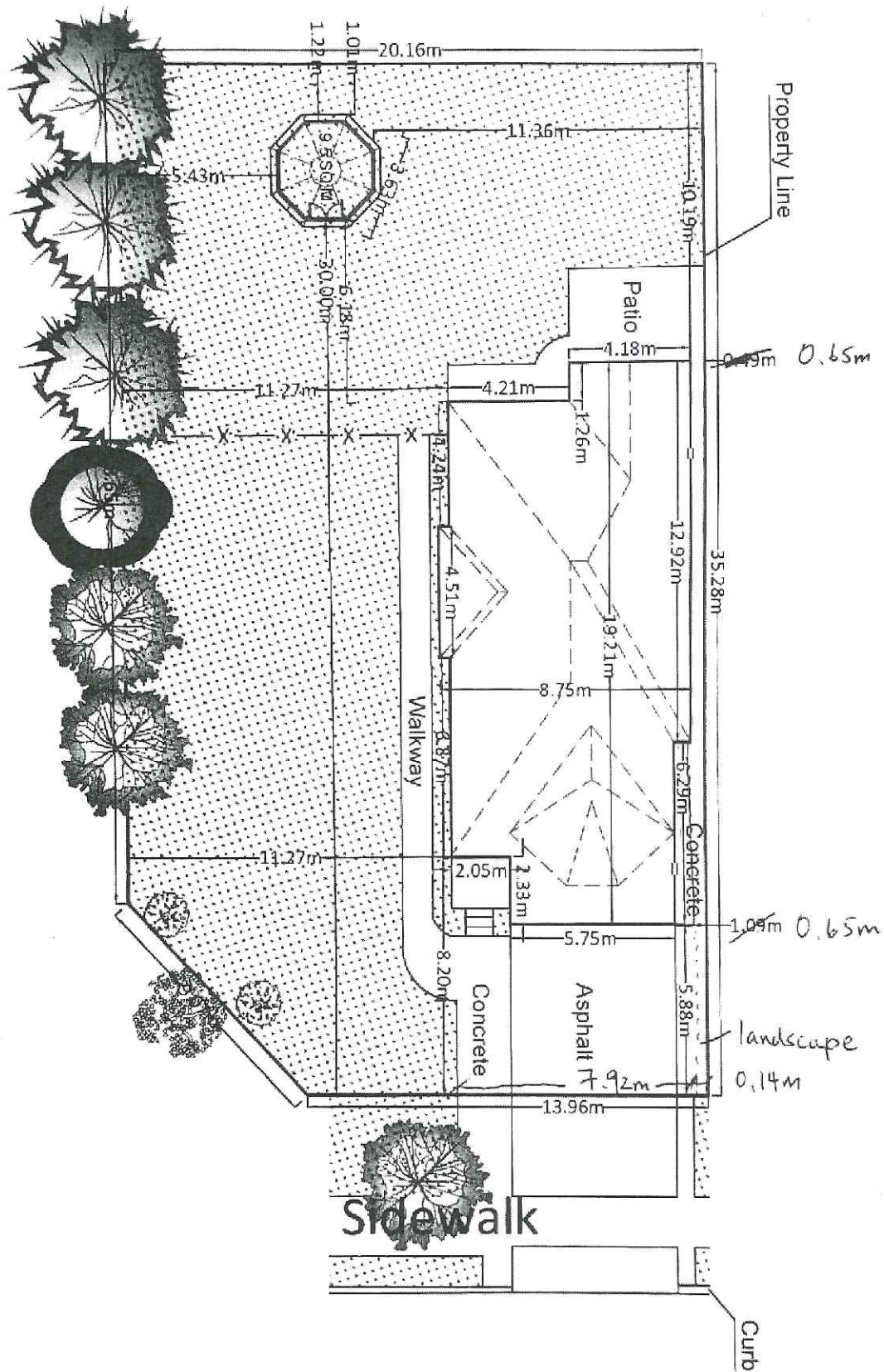
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
 Committee of Adjustment, City Clerk's Office,
 Brampton City Hall, 2 Wellington Street West,
 Brampton, Ontario L6Y 4R2
 Phone: (905)874-2117
 Fax: (905)874-2119
jeanie.myers@brampton.ca



Blue Diamond Dr

[Signature]

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

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AMENDMENT LETTER

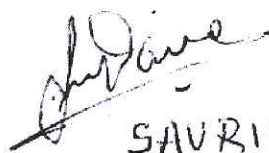
August 10, 2021

To: Committee of Adjustment

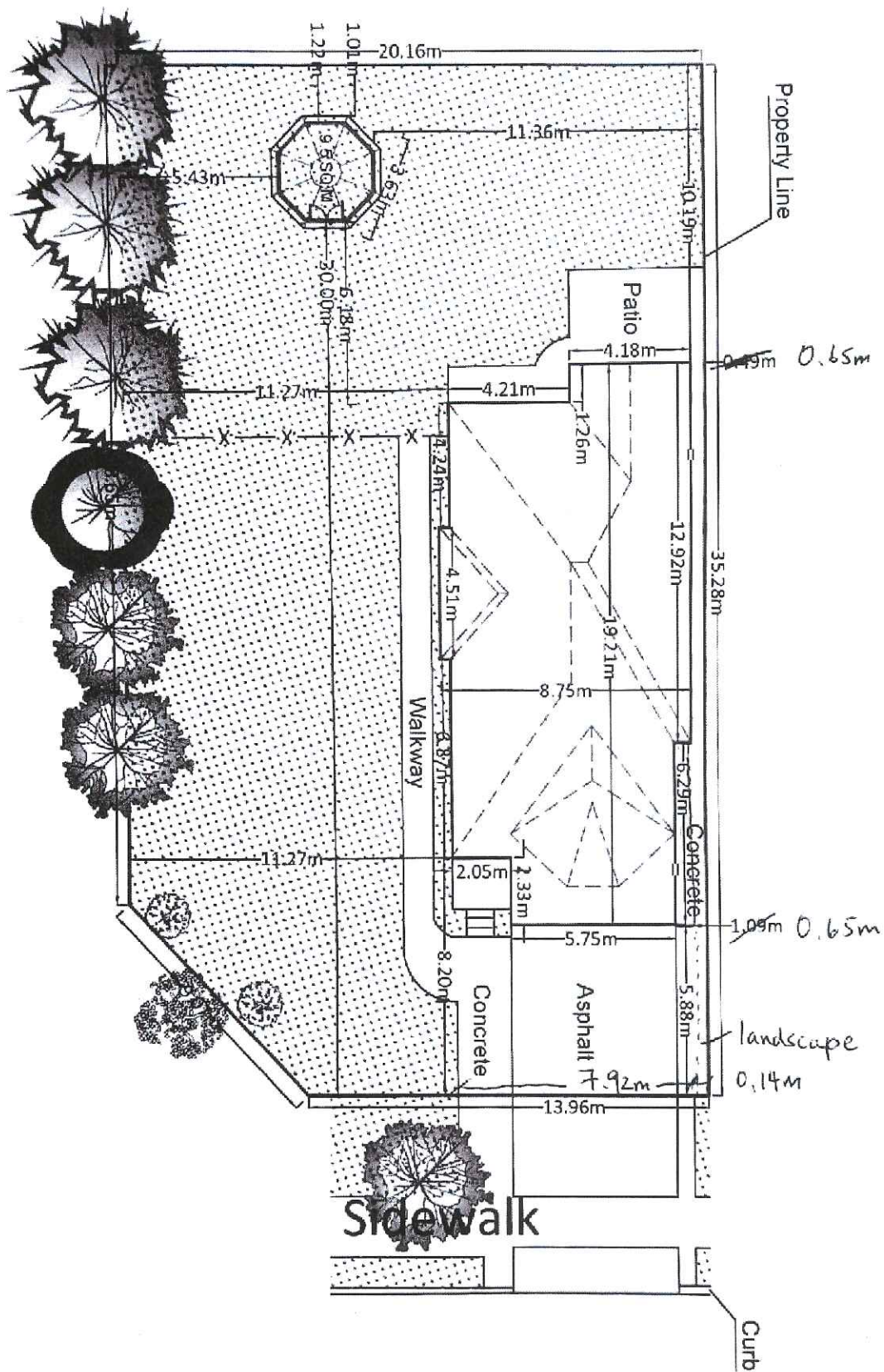
**RE: APPLICATION FOR MINOR VARIANCE
SAURIN DAVE AND GEETANJALI DAVE
LOT 1, PLAN 43M-1671
A-2021-0161 - 2 BLUE DIAMOND DRIVE**

Please **amend** application **A-2021-0161** to reflect the following:

1. To permit an accessory building (proposed gazebo) with a building height of 3.34m (10.96 ft.) whereas the by-law permits a maximum height of 3.0m (9.84 ft.) for an accessory structure;
2. To permit an existing driveway width of 7.92m (25.98 ft.) whereas the by-law permits a maximum driveway width of 7.32m (24 ft.);
3. To permit 0.14m (0.50 ft.) permeable landscaping between the driveway and the side lot line whereas the by-law requires a minimum permeable landscape strip of 0.6m (1.97 ft.) between the driveway and the side lot line.


SAURIN DAVE

Applicant/Authorized Agent



Blue Diamond Dr

[Signature]

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2021-0161

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Saurin Dave & Geetanjali Dave
Address 2, Blue diamond drive, brampton, Ontario L6S 6K2

Phone # 647-403-0063 **Fax #** _____
Email saurin@astrovidya.ca

2. **Name of Agent** _____
Address _____

Phone # _____ **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**
Permitted Height: 3 Meters(9'9")
Building Height: 3.34 Meters(10'1 1/4")
Variance Requested: 0.34Meters(1'2 1/4")
GAZEBO

4. **Why is it not possible to comply with the provisions of the by-law?**
The style of the building doesn't allow to reduce the wall height.

5. **Legal Description of the subject land:**
Lot Number LOT 1
Plan Number/Concession Number PLAN 43M1571
Municipal Address 2, Blue diamond drive, Brampton, Ontario L6S 6K2

6. **Dimension of subject land (in metric units)**
Frontage 20.16M
Depth 35.28M
Area 690.5M

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Gross Floor Area: 265 Sq.M.
Floor Area: 150 Sq.M.
Width: 8.75 Sq.M.
Depth: 19.21 Sq.M.
Height:

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Floor & Gross Floor Area: 9.5 Sq.M.
Single Story GAZEBO
Diameter: 3.63M
Height: 3.34

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 5.88M
Rear yard setback 10.19M
Side yard setback 0.49M
Side yard setback 11.27M

PROPOSED

Front yard setback 30.69M
Rear yard setback 1.22M
Side yard setback 10.29 M
Side yard setback 6.50M

10. Date of Acquisition of subject land: July 2007
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2003
15. Length of time the existing uses of the subject property have been continued: 14 Yrs.
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

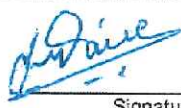
Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____


Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton _____

THIS 05th 16th DAY OF July _____, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Saurin Dave _____, OF THE Province _____ OF Ontario _____

IN THE City _____ OF Brampton _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

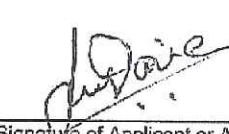
IN THE Region OF _____

Paul THIS 16th DAY OF

July, 2021


A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.


Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1D - 1059

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHU S.

Zoning Officer

JULY 16 2021

Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

July 16, 2021
July 16, 2021

Revised 2020/01/07



PERMIT DRAWINGS

PROJECT: 11' SAN CRISTOBAL
CUSTOMER: MR. SAURIN DAVE
ADDRESS: 2 BLUE DIAMOND DRIVE, BRAMPTON
ON, CANADA, L6S6A2
DATE: JUNE 02, 2021
VERSION: V1.01



TITLE:
PERMIT DRAWINGS

ORDER ID:
55590

SALES APPROVED BY:

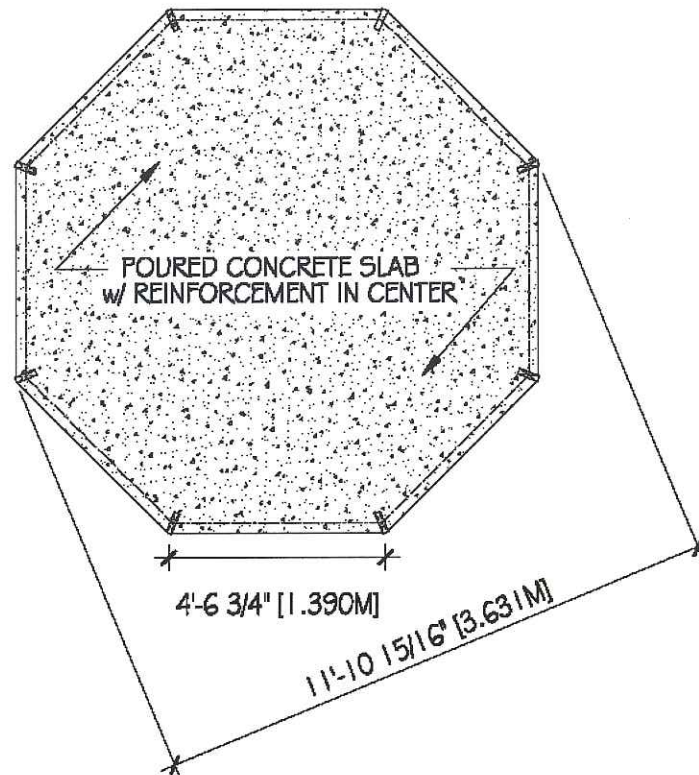
JOHN HICKEY

PAGES:

PRODUCTION APPROVED BY:

JIM HICKEY

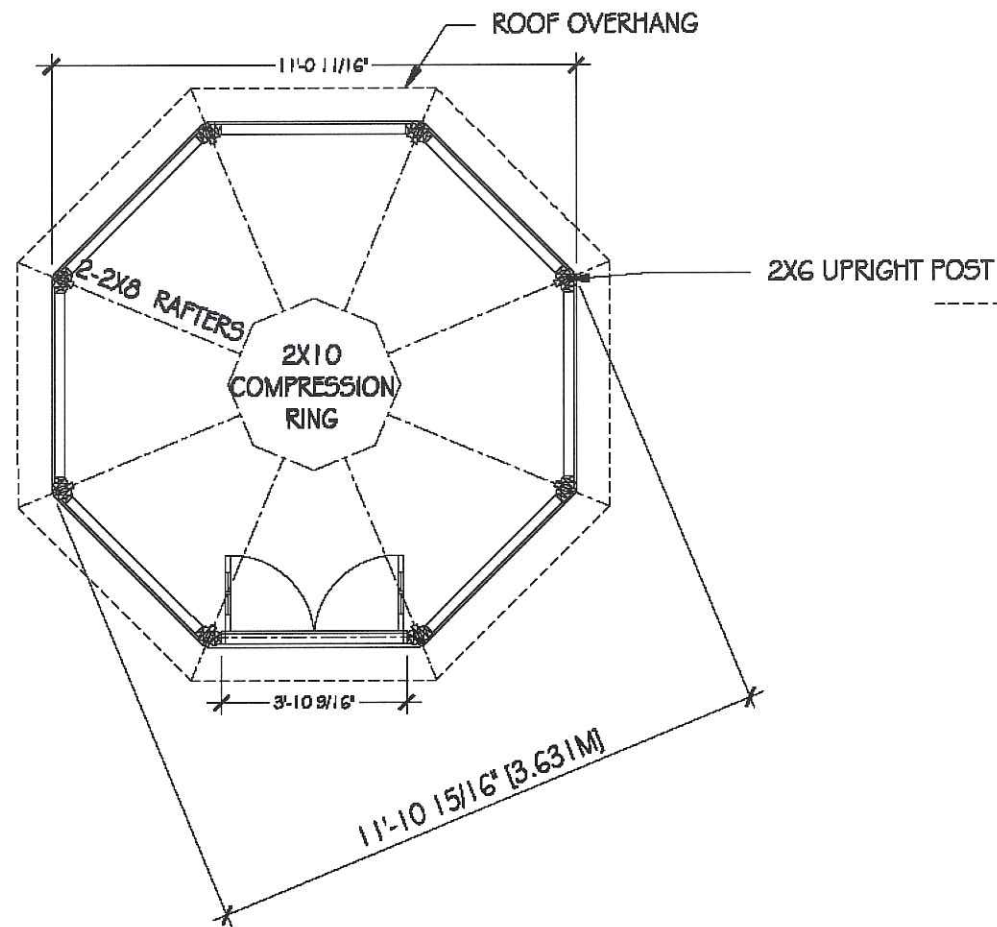
06



FOUNDATION LAYOUT

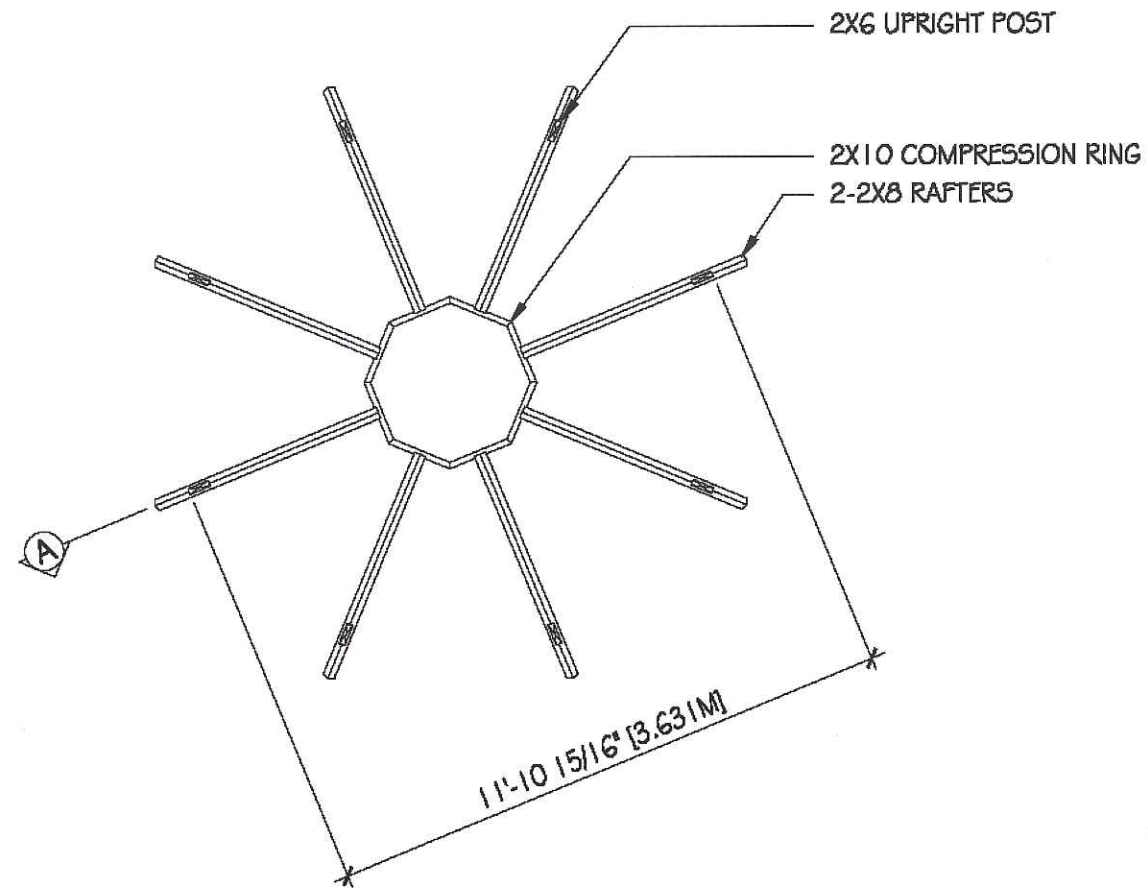
SCALE: 1/4" = 1'-0"

NOTES:
75mm (3") POURED CONC. SLAB
32MPa @ 28 DAYS
5% -8% AIR ENTRAINMENT
OPTIONAL WWM REINFORCING
IN CENTER OF SLAB
100mm (4") COMPACTED
GRANULAR FILL



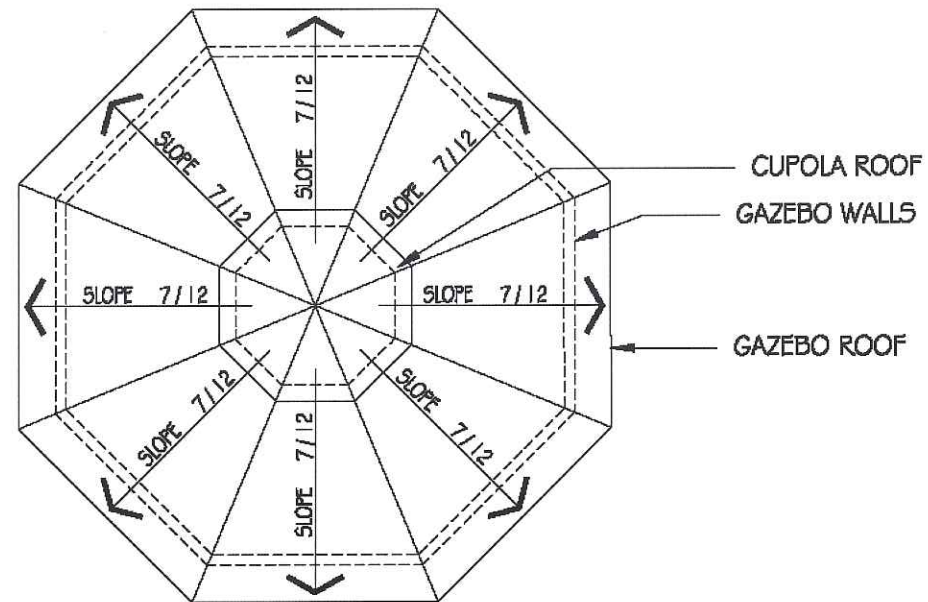
1
 A-02

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

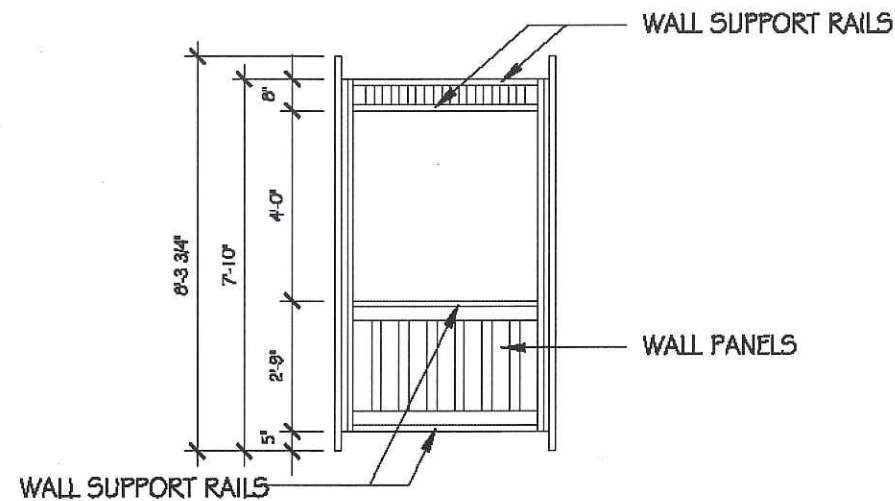


ROOF FRAMING PLAN

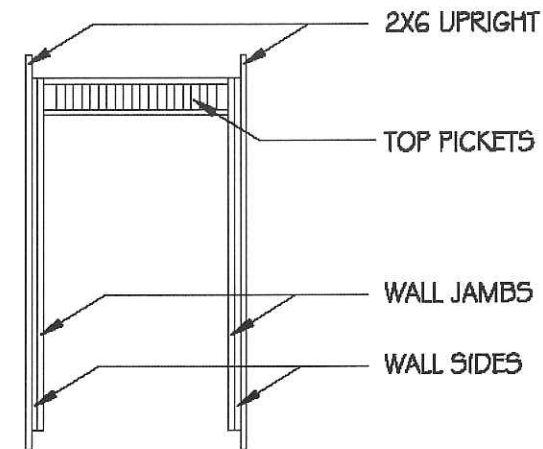
SCALE: 1/4" = 1'-0"



1
A-04 ROOF PLAN
SCALE: 1/4" = 1'-0"



WALL SECTION



ENTRANCE SECTION



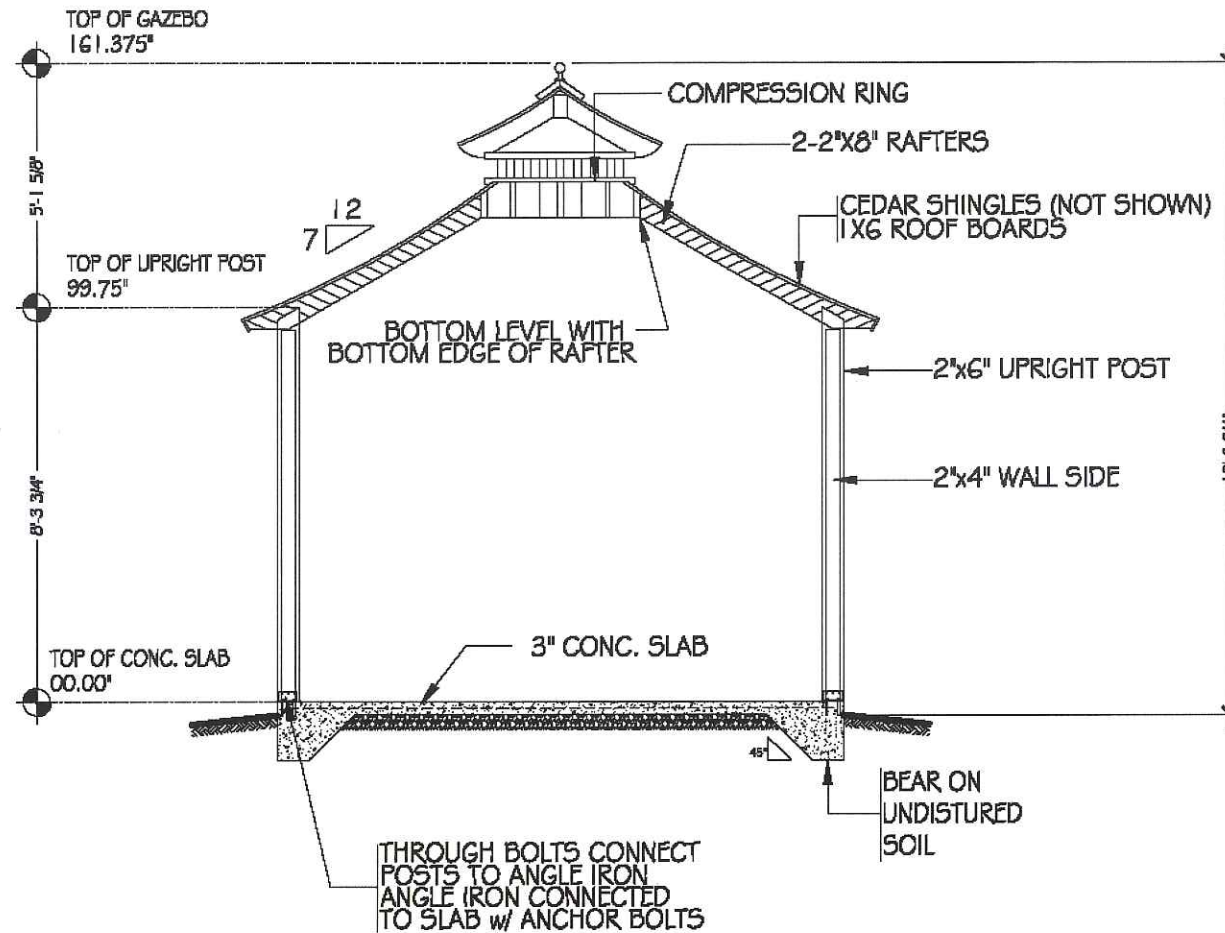
WALL PANEL ASSEMBLY

SCALE: 1/4" = 1'-0"

NOTES:

THIS DRAWING IDENTIFIES ALL THE WALL PARTS NECESSARY FOR YOUR GAZEBO.

THE GAZEBO CONSISTS OF SEVEN WALL SECTIONS AND ONE ENTRANCE SECTION. THE UPRIGHT POSTS ARE FASTENED TO THE FLOOR AND THE REST OF THE WALL PARTS ARE ASSEMBLED INTO SECTIONS AND FITTED BETWEEN THE UPRIGHT POSTS.

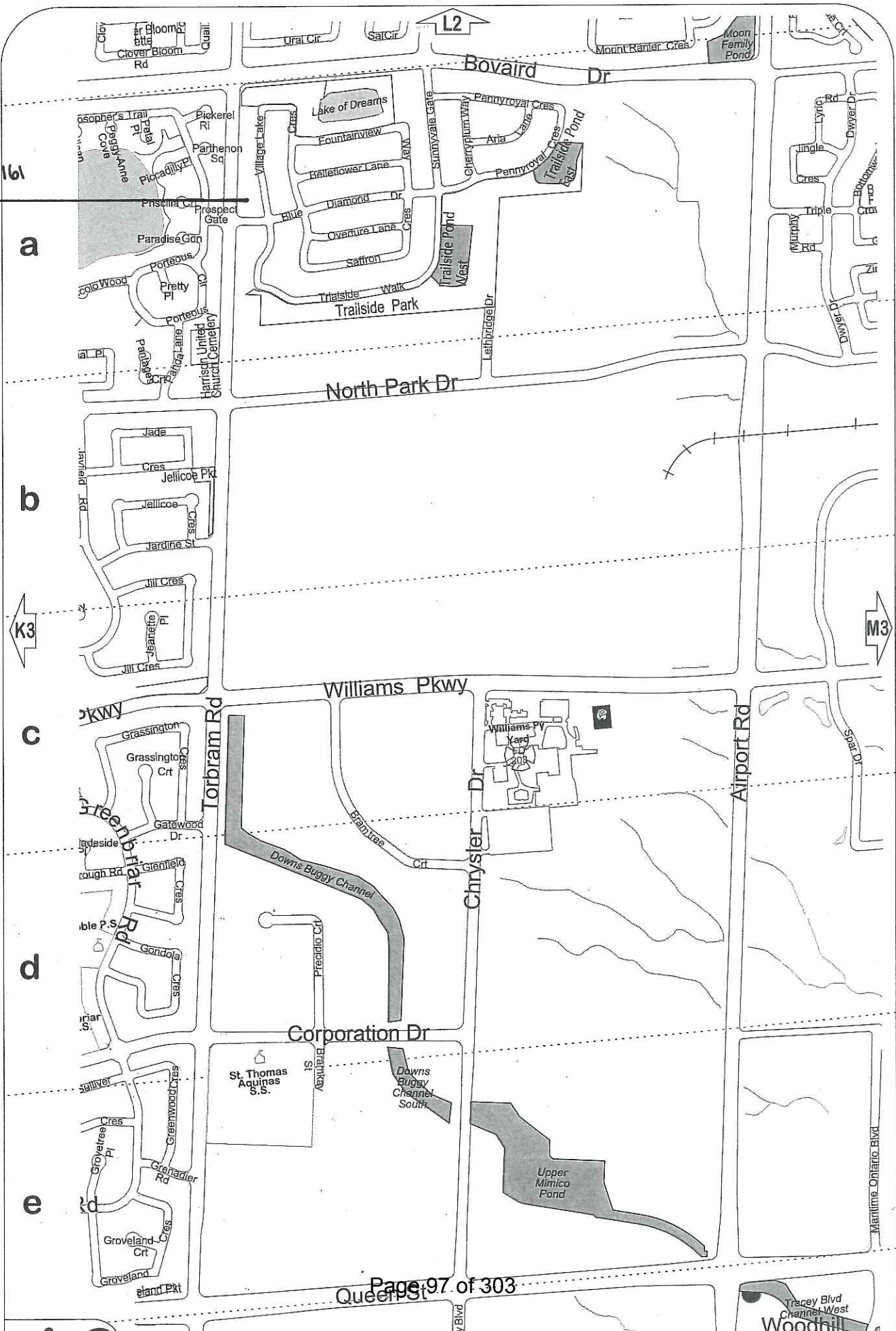


BUILDING SECTION AA

SCALE: 1/4" = 1'-0"

NOTES:
75mm (3") POURED CONC. SLAB
32MPa @ 28 DAYS
5% - 8% AIR ENTRAINMENT
OPTIONAL WWM REINFORCING
IN CENTER OF SLAB
100mm (4") COMPACTED
GRANULAR FILL

A-3081-0161



Tracey Blvd
Channel West
Woodhill

APPLICATION # A-2021-0163
WARD #3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **CHRIS FRENCH AND MELISSA FRENCH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 138, Plan 625, municipally known as **11 DERWENT AVENUE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an interior side yard setback of 1.22m (4 ft.) to a proposed second storey addition whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.) to the second storey;
2. To permit a 0.0 m setback to an existing addition (pool equipment storage) whereas the by-law requires a minimum setback of 1.2m (3.94 ft.) for the first storey;
3. To permit 0.0m permeable landscaping between the existing driveway and the side lot line whereas the by-law requires a minimum 0.6m (1.97 ft.) of permeable landscaping between the driveway and the side lot line;
4. To permit an existing fence in the rear yard having a maximum height of 2.42m (7.94 ft.) whereas the by-law permits a fence in the rear yard to a maximum height of 2m (6.56 ft.);
5. To permit an interior side yard setback of 0.45m to an existing deck whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

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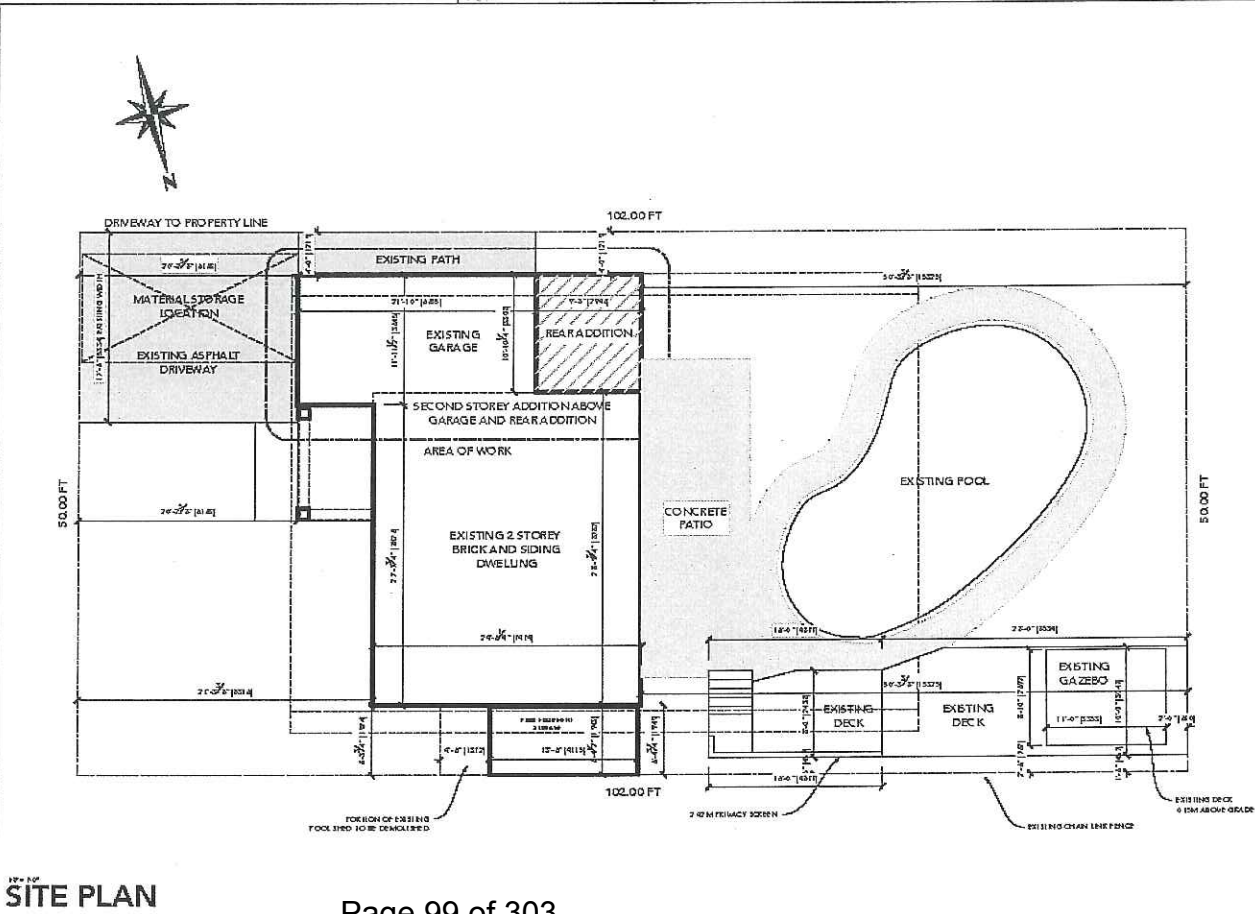
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Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

DRAWING IS APPLICABLE TO PLANS ON THE DRAWINGS. THERE ARE NO RESERVATIONS OR COMMENTS ON THE PROPERTY.

[illegible]

DIGITAL PLAN 5

A FURTHER VERSION OF THIS PLAN IS
AVAILABLE FROM CONTACT 61 6777 2468
OR EMAIL THE NUMBER 10
INNOVATION@KEYKEY.COM

STRUCTURAL ENGINEER STAMP:

17-52 CURE ID

QUALIFICATION INFORMATION
THE UNDERSIGNED HAS REVIEWED AND ACK-
NOWLEDGES THE INFORMATION AS WELL
HAVING THE QUALIFICATION AND

JOHN EMERY  405
NAME  B.C.J.

REGISTRATION INFORMATION
 KNOWN TO UNIT 33 THE DESIGN IS IDENTICAL
 UNDER DN C-374 OF THE ONTARIO BUILDING
 CODE

JOHN HENRY DESIGN STUDIO	11/20/2011
BOOK NAME	B.C.

REVISIONS

2	-	MM DD YY
3	-	MM DD YY
4	-	MM DD YY
5	-	MM DD YY

1550 USE	
1	13500 FOR 512 PLAN EDITION 05 65 200
2	- MM DD YY
3	- MM DD YY
4	- MM DD YY
5	- MM DD YY

DRAWING INFORMATION:	
DRAWING TITLE:	STEP PLAN
DRAWN BY:	J
CHECKED BY:	J
ADDRESS:	11 DEEREN AVENUE
PROJECT NO.	202-1-02

52-12,071

SP

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How to get involved in the Virtual Hearing

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AMENDMENT LETTER

August 11, 2021

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE
CHRIS AND MELISSA FRENCH
LOT 1, PLAN 43M-1571
A-2021-0163 – 11 DERWENT AVENUE**

Please **amend** application **A-2021-0163** to reflect the following:

1. To permit an interior side yard setback of 1.22m (4 ft.) to a proposed second storey addition whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.) to the second storey;
2. To permit a 0.0m setback to an existing addition (pool equipment storage) whereas the by-law requires a minimum setback of 1.2m (3.94 ft.) for the first storey;
3. To permit 0.0m of permeable landscaping between the existing driveway and the side lot line whereas the by-law requires a minimum 0.6m (1.97 ft.) of permeable landscaping between the driveway and the side lot line;
4. To permit an existing fence in the rear yard having a maximum height of 2.42m (7.94 ft.) whereas the by-law permits a fence in the rear yard to a maximum height of 2m (6.56 ft.);
5. To permit an interior side yard setback of 0.45m to an existing deck whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).



Applicant/Authorized Agent

RESPONSE LETTER

Recipient

Jennifer Chau

E: Jennifer.Chau@brampton.ca

T: 905.874.3457

Subject Property

11 Derwent Avenue
Brampton, Ontario

Amendment

This letter is in reference to the adjustments made to the site plan for the above noted address. As requested by the planning staff at the City of Brampton, the following has been adjusted:

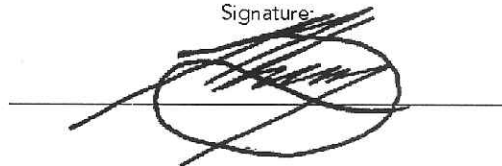
1. The existing setback to the side yard pool equipment storage shed (addition) is 0.00 m to the side yard property line.
2. The existing driveway has been adjusted to be illustrated as per the as built condition with a 0.00 m setback to the side yard property line.
3. The existing elevated deck size and proximity has been adjusted to be as per the as built conditions with the 0.45m side yard setback.
4. The existing privacy screen has been illustrated on plan.

Please review the updated site plan as requested and inform our firm if there are any discrepancies or additional questions.

Registered Designer:

Justin Sherry

Signature:



If you have any questions or concerns regarding the information here within, please contact Justin Sherry Design Studio at 705.300.2341 or by email at info@justinsherry.ca.

NATURE NEIGHBOURHOOD SITE PLAN DRAWING NOTES

ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMANCE WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICE DIVISION.

THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE PROPOSED HOUSING IS PLACED AT THE DEF. LINE OF THE LOTS TO MAINTAIN THE PROPOSED ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONSTRUCTION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS, BUILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES, EQUIPMENT, ETC. MAY BE STORED WITHIN THE AREA OF HOUSING.

ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATIONS PRIOR TO THE INSTALLATION OF THE HOUSING. (THIS INCLUDES THE LIMITS OF THE CONVEYANCE AREA).

SHOULD THE INSTALLATION OF BELOW-GROUND SERVICES REQUIRE HOUSING TO BE REMOVED, OPEN SPACE SHALL BE OPEN SPACE. REMOVAL SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE, IT SHALL BE IN EFFECT AND DOCUMENTED THE CONSTRUCTION OF THE HOUSING AND SERVICES INSTALLATION DOES NOT CAUSE DAMAGE TO THE HOUSING.

THE OWNER OF THE LOT, AS APPLICABLE, WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATION REQUIRED AS STATED BY THE SITE PLAN APPROVAL AND BUILDING PERMIT.

GRADE MUST BE WITHIN 25% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

THE EXISTING ON-SITE DRAINAGE FALLS SHALL REMAIN.

THE STRUCTURAL DESIGN OF ANY EXISTING WALL OR NEW WALL OR ANY EXISTING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

THE POSITION OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE DETERMINED BY THE OWNER AT THEIR OWN RISK.

AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DIFFERENCE WILL BE PROVIDED FOR EACH ENTRANCE.

ALL PROPOSED CURBS AT THE ENTRANCES TO THE SITE IS TO DEMONSTRATE AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.

CONSTRUCTION MATERIALS ARE NOT TO BE PLACED FOR GARAGE COLLECTION.

ALL DAMAGED LAND AND SOFT AREAS WILL BE RESTORED WITHIN 10% OF THE SOFT FOLLOWING CONSTRUCTION ACTIVITY.

ANY CURB DAMAGED OR DAMAGED OR REMOVED ARE TO BE REPLACED WITHIN MINIMUM 10% OF THE SOFT FOLLOWING CONSTRUCTION ACTIVITY.

ALL EXISTING EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.

ALL EXISTING EXCAVATED MATERIALS ON THE PROPERTY SHOULD BE DEMONSTRATED AND DEMONSTRATED ON ALL OF THE DRAWINGS. IF AVAILABLE, IT SHALL BE ON THE DRAWINGS. THERE ARE NO EXISTING EXCAVATED MATERIALS ON THE PROPERTY.

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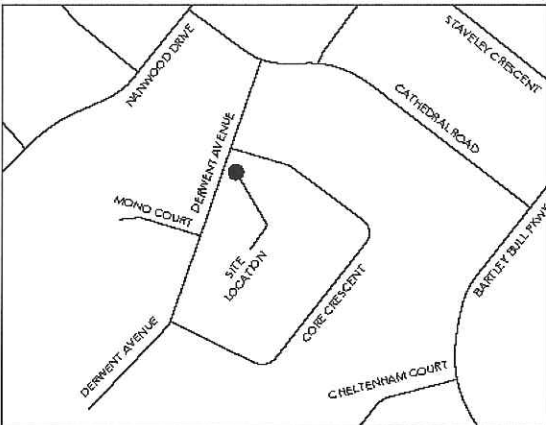
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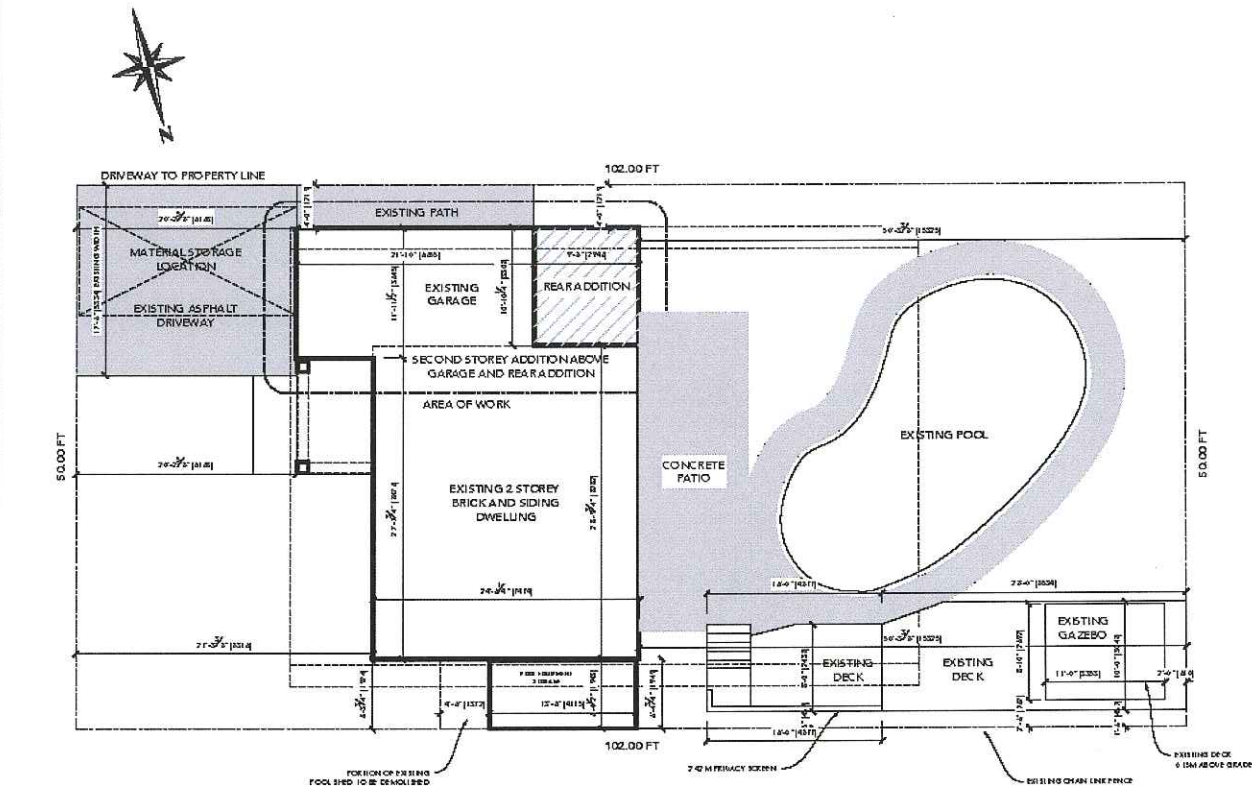
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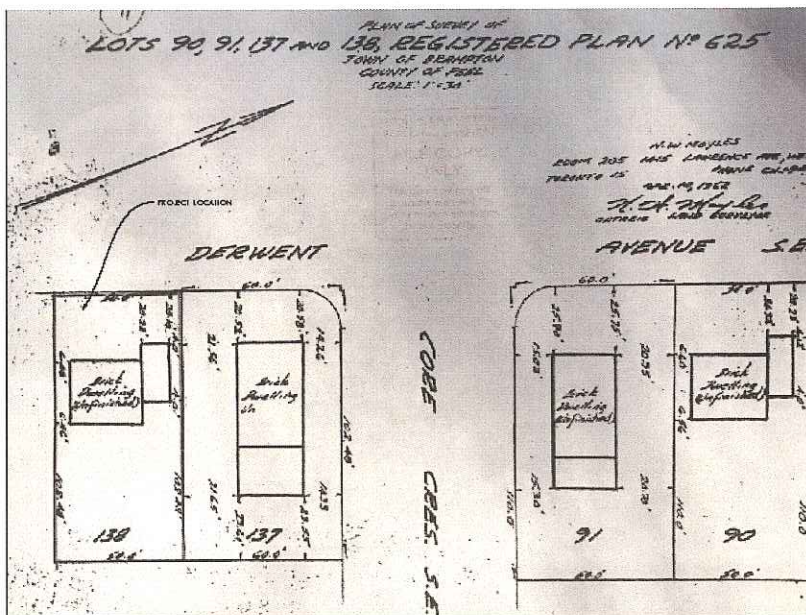
KEY PLAN



SITE STATISTICS - RESIDENTIAL ADDITION			
ADDRESS:	11 DERWENT AVENUE, BRAMPTON, ONTARIO		
ZONING:	RBT		
LOT AREA	475.00 m ²		
LOT FRONTAGE	18.20 m		
HEIGHT TO T.O. PROPOSED ROOF	7.37 m		
GFA - INFILL RESIDENTIAL			
	EXISTING	PROPOSED	TOTAL
PROPOSED ROOF	51.30	3.40	54.70 m ²
SECOND FLOOR	50.24	32.22	82.46 m ²
FOURTH FLOOR	10.50	3.80	14.30 m ²
TOTAL GFA INFILL RESIDENTIAL	112.04	49.42	161.46 m ²
			34.31 %
LOT COVERAGE			
	EXISTING	PROPOSED	TOTAL
EXISTING DWELLING FOOTPRINT	54.70	3.40	58.10 m ²
FOURTH	5.8	0	5.8 m ²
GAZEBO	9.00	0	9.00 m ²
GARAGE	25.00	0	25.00 m ²
FOURTH FLOOR STORAGE	7.39	0	7.39 m ²
TOTAL LOT COVERAGE	111.77	3.40	115.17 m ²
			24.44 %
FRONT YARD LANDSCAPING			
	EXISTING	PROPOSED	TOTAL
FRONT YARD AREA	119.71	0	119.71 m ²
DRIVEWAY/WALKWAYS	32.00	0	32.00 m ²
SOFT LANDSCAPING	71.89	0	71.89 m ²
TOTAL SOFT LANDSCAPING COVERAGE	71.89	0	71.89 m ²
			59.63 %



SITE PLAN



JUSTLINI

Justin Sherry design studio

DESIGNER INFORMATION
JUSTIN SHERRY DESIGN STUDIO
CUSTOM HOME DESIGN AND RENOVATION
3040 SHEPPARD AVENUE EAST
UNIT 211 (1ST FLOOR)
SCARBOROUGH, ONTARIO
M1S 1T7
ALUMINUM DESIGN

GENERAL NOTES
DRAWINGS ARE TO BE READ AND NOT SCALE
DO NOT BEGIN CONSTRUCTION UNTIL
DEVELOPER OF PROJECT HAS BEEN NOTIFIED
ON COMPLETION OF
ANY STAGE OF CONSTRUCTION THE
DESIGNER OR PROJECT MANAGER SHALL
BE NOTIFIED TO INSURE PROPER
INSPECTION ALL OF SOIL AND
CONSTRUCTION DOCUMENTATION AND
PHOTOGRAPHS BEING IN THE DESIGNER'S
IF ANY DISTANCE IS REQUIRED
HEREIN THE DESIGNER SHALL BE
NOTIFIED THE DESIGNER AND
DOCUMENTATION PROVIDED HEREIN ARE
THE EXCLUSIVE PROPERTY OF JUSTIN
SHERRY DESIGN STUDIO. REPRODUCTION
OF THE DOCUMENT IS PROHIBITED
WITHOUT THE CONSENT OF
THE DESIGNER.

DIGITAL PLANS
AFTER REVISION OF THIS PLAN IS
AVAILABLE. PLEASE CONTACT WITH THE
OR EMAIL THE REQUEST TO
INFORMATION@JUSTLINI.COM

STRUCTURAL ENGINEER: SEARS

IF REQUIRED
QUALIFICATION INFORMATION
THE UNDERSIGNED HAS REVIEWED AND
RESPONSIBILITY FOR THE DESIGN, AS WELL AS
ISSUING THE QUALIFICATION AND
REVISIONS IS MAINTAINED BY THE OWNER
BUILDING CODE TO BE AVOIDED.

JUSTIN SHERRY
NAME: JUSTIN SHERRY
DATE: 03/27/2021

REVISION INFORMATION
REQUIRED UNTIL THE DESIGN IS
UNDER DEVELOPMENT OF THE CHANGING BUILDING
CODE.

JUSTIN SHERRY DESIGN STUDIO
FIRM NAME: JUSTIN SHERRY
S.C.I.N.

REVISIONS
1 - REVISED
2 - REVISED
3 - REVISED
4 - REVISED
5 - REVISED

ISSUE LIST
1 - ISSUED FOR 310 PLANNING 05/03/2021
2 - REVISED
3 - REVISED
4 - REVISED
5 - REVISED

DRAWING INFORMATION
DRAWING TITLE: SITE PLAN
DRAWN BY: J.S.
CHECKED BY: J.S.
ADDRESS: 11 DERWENT AVENUE
PROJECT NO: 2021-001

DATE: 03/27/2021

SP

FILE NUMBER: A-2021-0163

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Chris French and Melissa French
Address 11 Derwent Avenue, Brampton, Ontario L6W 1K3

Phone # 416 889 4898 **Fax #** _____
Email chris_b_french@hotmail.com

2. **Name of Agent** Justin Sherry Design Studio
Address 13 Collier Street, Barrie, Ontario L4M 3V2

Phone # 416 277 8405 **Fax #** _____
Email jsherry@justinsherry.ca

3. **Nature and extent of relief applied for (variances requested):**
Proposal of a second storey addition with a 1.21 side yard setback where the by law requires a 1.2 m plus 0.6 m for each additional storey or part thereof as per 12.5.2 of zoning by law (204-2010)

4. **Why is it not possible to comply with the provisions of the by-law?**
The second storey additional is built above an existing footprint that is 1.2 m setback from the side lot line

5. **Legal Description of the subject land:**
Lot Number Lot 138
Plan Number/Concession Number 625
Municipal Address 11 Derwent Avenue

6. **Dimension of subject land (in metric units)**
Frontage 15.24
Depth 31.08
Area 473.65 sq m

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing 2 storey single family dwelling = 131.22 m2
Existing 1 storey garage = 23.08 m2
Existing Decks = 29.72 m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Proposed second storey addition and rear addition = 41.92 m2

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.16
Rear yard setback	15.32
Side yard setback	1.21
Side yard setback	1.94

PROPOSED

Front yard setback	6.16
Rear yard setback	15.32
Side yard setback	1.21
Side yard setback	1.94

10. Date of Acquisition of subject land: 2009
11. Existing uses of subject property: SFD
12. Proposed uses of subject property: SFD
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1960
15. Length of time the existing uses of the subject property have been continued: Present
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☒

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ City _____ OF _____ Barrie _____

THIS 21st DAY OF June July, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Justin Sherry, OF THE _____ City _____ OF _____ Barrie _____

IN THE _____ County _____ OF _____ Simcoe _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF _____

Peel THIS 21 DAY OF

July, 2021

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B, Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

J. Chau
Zoning Officer

July 26, 2021
Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

Revised 2020/01/07

MATURE NEIGHBOURHOOD SITE PLAN DRAWING NOTES

ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DEPARTMENT AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMANCE WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEPARTMENT OF BUILDING DEPARTMENT.

THE OWNER SHALL BE RESPONSIBLE FOR ENSURING THAT THE PROPOSED WORKING DRAWINGS PLACED AT THE END OF THE PERMITS IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DEPARTMENT. NO MATERIALS OR BUILDING MATERIALS SHALL BE CONSTRUCTION MATERIALS OR EQUIPMENT. IT SHALL BE PROHIBITED TO PLACE ANY MATERIALS OR EQUIPMENT WITHIN THE AREA OF WORKING.

ALL UTILITIES CONTAINED WITHIN THE LOCAL STREET TO THE INSTALLATION OF THE WORKING DRAWINGS SHALL BE WITHIN THE LIMITS OF THE COSE BOUNDARY AREA.

SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE WORKING DRAWINGS TO BE REMOVED, OPEN SPACE SHALL BE OPEN SPACE REMOVAL. CARE IS TO BE TAKEN TO PROTECT THE CONSTRUCTION OF SUCH WORK. SHOULD ANY REMOVAL BE REQUIRED, THE OWNER SHALL BE RESPONSIBLE FOR THE REPAIR AND DOCUMENT THE CONDITION OF THE UTILITIES AND SERVICES INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE UTILITIES.

THE OWNER OF THE APPLICANT AS APPLICABLE WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATION. RELOCATION SHALL BE BY THE SITE PLAN APPROVAL AND BUILDING PERMIT.

GRADE MUST BE MAINTAINED WITHIN 3% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

THE EXISTING ON-SITE DEBRIS SHALL REMAIN.

THE STRUCTURAL DESIGN OF ANY EXISTING WALL OVER 6' 6" HIGH OR ANY EXISTING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.

THE POSITION OF THE DRIVEWAY WITHIN THE MUNICIPAL BOUNDARY SHALL BE APPROVED BY THE OWNER AT THEIR OWN RISK.

AT THE INTERSECTIONS TO THE SITE, THE MUNICIPAL CURBS AND SIDEWALKS WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB CUT SECTION WILL BE PROVIDED FOR EACH INTERSECTION.

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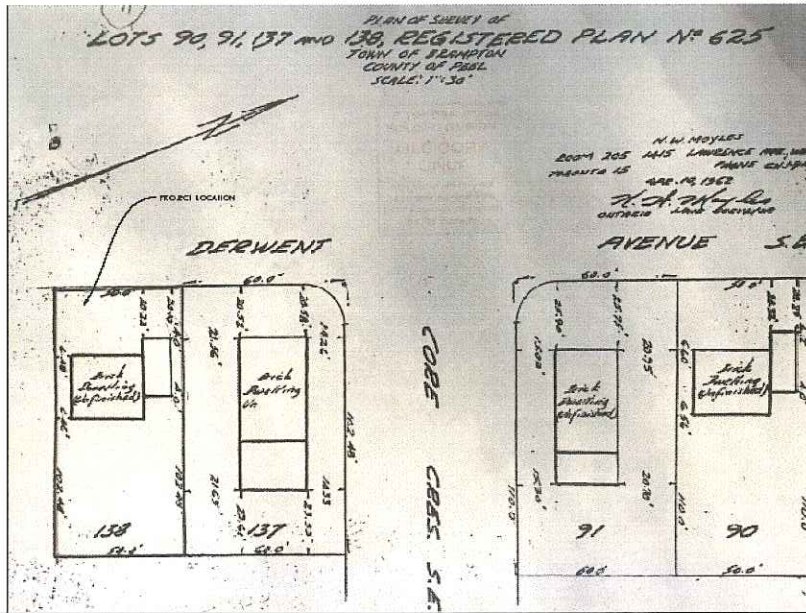
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ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.

ALL EXISTING OR PROPOSED FURNISHINGS ON THE PROPERTY SHOULD BE ILLUSTRATED AND DIMENSIONED ON ALL OF THE DRAWINGS. IF FURNISHINGS ARE NOT SHOWN ON THE DRAWINGS, THERE ARE NO EXISTING OR PROPOSED FURNISHINGS ON THE PROPERTY.



JUSTIN
justin sherry design studio

DESIGN INFORMATION
JUSTIN SHERRY DESIGN STUDIO
COURTESY OF DESIGN AND INFORMATION
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1000 1000 1000 1000
1000 1000 1000 1000
1000 1000 1000 1000

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CONSTRUCTION DOCUMENTATION
AND REVERSE THE WORKING
DRAWINGS. IF ANY OF THE WORKING
DRAWINGS ARE DISCOVERED
WITHIN THE CONSTRUCTION, THE
OWNER SHALL BE RESPONSIBLE
FOR THE REVERSE THE WORKING
DRAWINGS. IF ANY OF THE WORKING
DRAWINGS ARE DISCOVERED
WITHIN THE CONSTRUCTION, THE
OWNER SHALL BE RESPONSIBLE
FOR THE REVERSE THE WORKING
DRAWINGS.

DISTAL PLANS
A TOP OF EACH OF THE PLANS IS
AVAILABLE FOR CONSTRUCTION
OR EMAIL THE ENGINEER TO
INFORM@JUSTINSHERRY.COM

STRUCTURAL ENGINEER'S NAME

IF REQUIRED
QUALIFICATION INFORMATION
THE ENGINEER HAS REVIEWED AND
RECOMMENDED FOR THE DESIGN
DRAWINGS THE QUALIFICATION AND
RECOMMENDATIONS BY THE CHIEF
BUILDING CODE TO BE APPROVED

JUSTIN SHERRY
NAME: JUSTIN SHERRY
DATE: 08/27/2021

REGISTRATION INFORMATION
REQUIRED UNDER THE DESIGN PERMIT
UNDER THE CHIEF BUILDING CODE

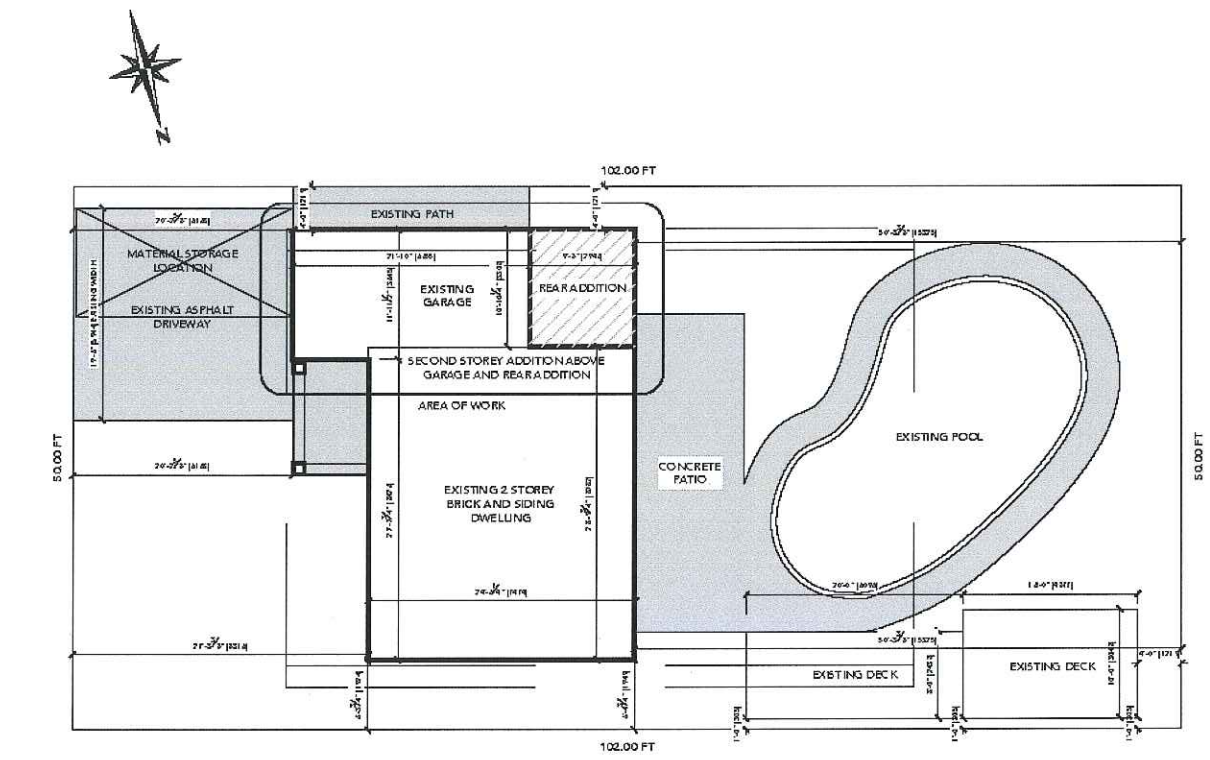
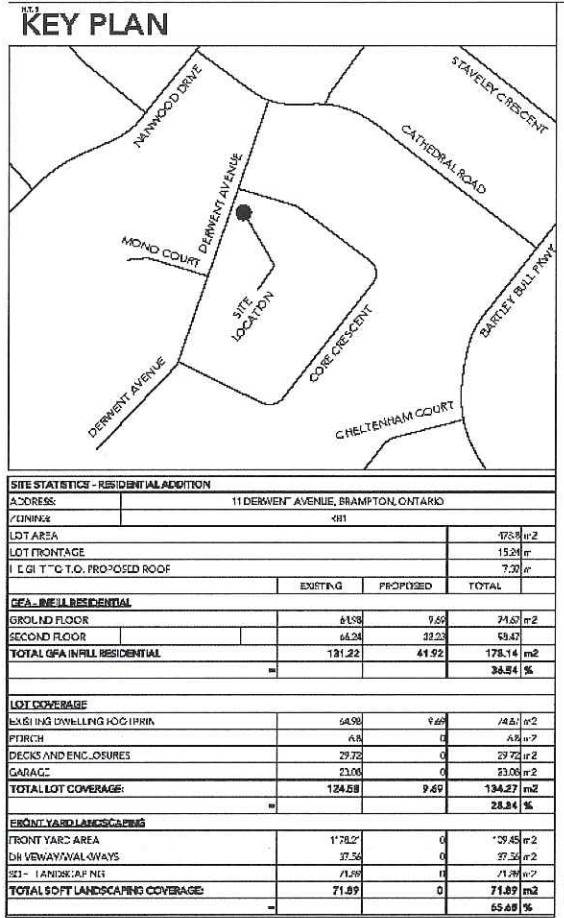
JUSTIN SHERRY DESIGN STUDIO
NAME: JUSTIN SHERRY
DATE: 08/27/2021

REVISION LIST
1 - MM 00 YYY
2 - MM 00 YYY
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4 - MM 00 YYY
5 - MM 00 YYY

FILE USE
1 - ISSUED FOR SITE PLAN REVIEW 05/20/21
2 - MM 00 YYY
3 - MM 00 YYY
4 - MM 00 YYY
5 - MM 00 YYY

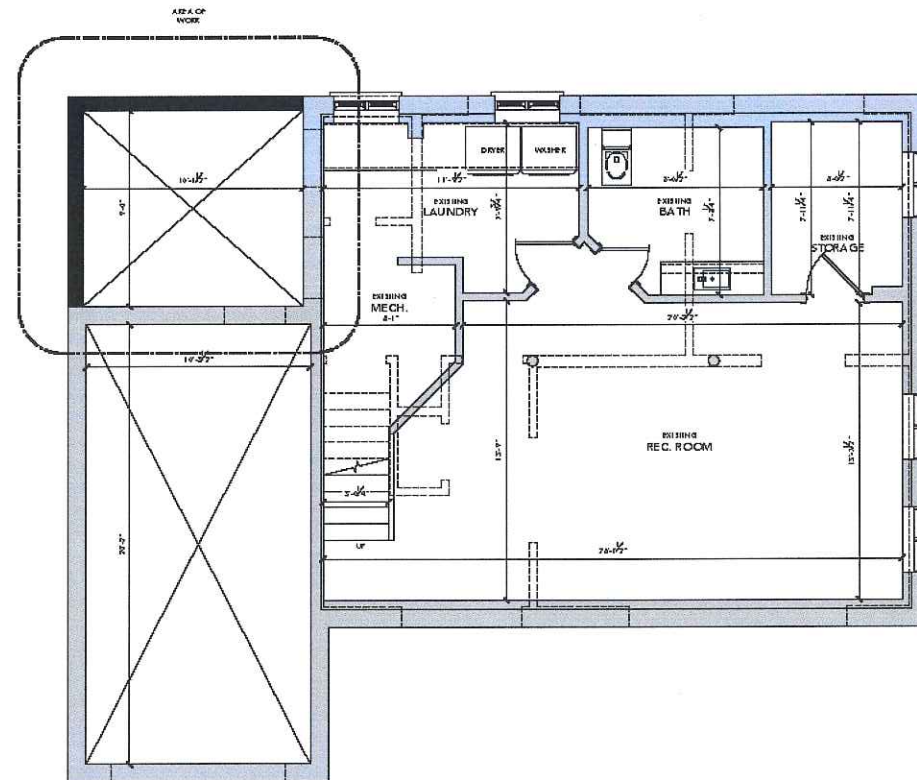
DRAWING INFORMATION:
DRAWING TITLE: SITE PLAN
DRAWN BY: J.S.
CHECKED BY: J.S.
ADDRESS: 11 DERWENT AVENUE
PROJECT NO: 2021-001
DATE: 08/27/2021

SP



SITE PLAN

NOTE
CONTRACTOR TO ENSURE THAT THERE
ARE ADEQUATE SUPPORTS (SHEATH
TABLES AND/ OR OF THE O.B.C.) AT
THE ENDS OF GIRDERS, BRACES AND
SUPPORTING LINES.



JUST[|N]
justin sherry design studio

DESIGNER INFORMATION
JJSIN INTERIOR DESIGN STUDIO
1011 HOME DESIGN AND RENOVATIONS
2046 STREET 11 BARRE ONTARIO
L4N 3G7 | 416 277 1905 |
E INFO@JJSINDESIGNSTUDIO.CA
JJSINDESIGNSTUDIO.CA

GENERAL NOTES

OWNERS ARE TO BE KEPT ADVISED OF ALL PROJECT DESIGN CONSTRUCTION AND COSTS. PROJECT MANAGER SHALL BE NOTIFIED UPON COMPLETION OF ANY STAGE OF CONSTRUCTION. THE PROJECT MANAGER SHALL BE NOTIFIED TO INSURE BEFORE INSPECTION. ALL DESIGN AND CONSTRUCTION DOCUMENTATION SHALL BE KEPT ON SITE BY THE OWNER. ANY DEFICIENCIES ARE TO BE CORRECTED WITHIN THE DESIGN SHALL BE NOTIFIED. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITH ARE THE EXCLUSIVE PROPERTY OF JUBIN BERRY DESIGN STUDIO REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.

DIGITAL PLANS

A PDF VERSION OF THIS PLAN IS
AVAILABLE FOR CONTACT RE 6277 2406
OR MAIL THE BUREAU 31 10
INFO@J31INSPEX.CA

STRUCTURAL ENGINEER STAMP

UNDESIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AS WELL AS HAVING THE QUALIFICATION AND EXPERIENCE REQUIRED BY THE CHARTERED BUILDING CODE TO BE A DESIGNER.

MIN 21000Y 035-27
H.C.N.

ABSTRACTION INFORMATION
FOUNDED UNLESS THE DESIGN IS EXEMPT
FROM CSZ 4 OF THE CNIA/O BUILDING
CODE

DESIGN NAME	11111111
DESIGNER NAME	B.C.N.

```

REVISIONS
*      MM DD YYYY
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*      MM DD YYYY

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ISSUE LIST	
ISSUED FOR BID PLAN REVISION 05-05-2021	
-	MM/DD/YYYY
-	MM/DD/YYYY
-	MM/DD/YYYY
-	MM/DD/YYYY

DRAWING INFORMATION:

DRAWING TITLE:	FLOOR PLAN 5
DRAWN BY:	J J
CHECKED BY:	J J
ADDRESS:	145 FOREMAN ROAD
OBJECT NO.	702-1-055

SEE:

A101

NOISE

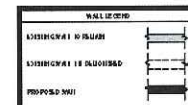
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SPECIFICATIONS FOR DE TA 3

NOISE

ALL DOWN BEATS ON FLOOR PLAN ARE
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WALL UNLESS NOTED OTHERWISE

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ARE ADEQUATE SUPPORT FOR THE
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THE END OF THE 10 IN BATT
SUFFICIENT UNLESS



JUST[|N]
justin sherry design studio

DESIGNER INFORMATION
JUSTIN HERRY DESIGN STUDIO
CUSTOM HOME DESIGN AND RENOVATIONS
3046 31ST STREET, MARKHAM, ONTARIO
L3R 9V2 | (416) 677-8851
E: INFO@JUSTINHERRY.CA
J.J. HINHERRY.CA

GENERAL NOTES

DRAWINGS ARE TO BE READ AND NOT SCARED
DO NOT BEGIN CONSTRUCTION UNTIL
YOU HAVE BEEN ADVISED THAT THE SAME
HAS BEEN NOTIFIED. UPON COMPLETION OF
ANY STAGE OF CONSTRUCTION, THE
DESIGNER OR PROJECT MANAGER SHALL
BE NOTIFIED IN ORDER FOR THE
INSPECTION. ALL DESIGN AND
CONSTRUCTION DOCUMENTATION ARE
FINAL UNLESS OTHERWISE STATED. NO WORK
IN ANY DISCREPANCY IS TO BE DISCOVERED
HEREIN. THE DESIGNER SHALL BE
RESPONSIBLE FOR THE ANALYSIS AND
DOCUMENT SPECIFICATIONS WITHIN A
THE EXCLUSIVE PROPERTY OF JAHN
BERRY DESIGN. NO REPRODUCTION
OR COPIES OF ANY DOCUMENTATION
FORWARDED WITHOUT THE CONSENT OF
THE DESIGNER.

DIGITAL PLANS
A PDF VERSION OF THIS PLAN IS
AVAILABLE FROM CONTRACT REWITT 2405
OR EMAIL THE BUREAU TO
INFO@J3INSHERKY.CA

STRUCTURAL ENGINEER STAMP

IF REQUIRED

QUALIFICATION INFORMATION
THE UNDERSIGNED HAS REVIEWED AND TAKES
RESPONSIBILITY FOR THE DESIGN AS WELL AS
MAINTAINING THE QUALIFICATION AND
REQUIREMENTS MANDED BY THE ONTARIO
BUILDING CODE OR BY APPLICABLE

JUSTIN BERRY 43-77
NAME B.C.N.

REGISTRATION INFORMATION
REQUIRED UNTIL THE DESIGN IS PERMIT
UNDER THE CS 74 OF THE CHINA BUILDING
CODE

JUSTIN SHERRY DESIGN STUDIO	11/27/23
FIRM NAME	B.C.N.

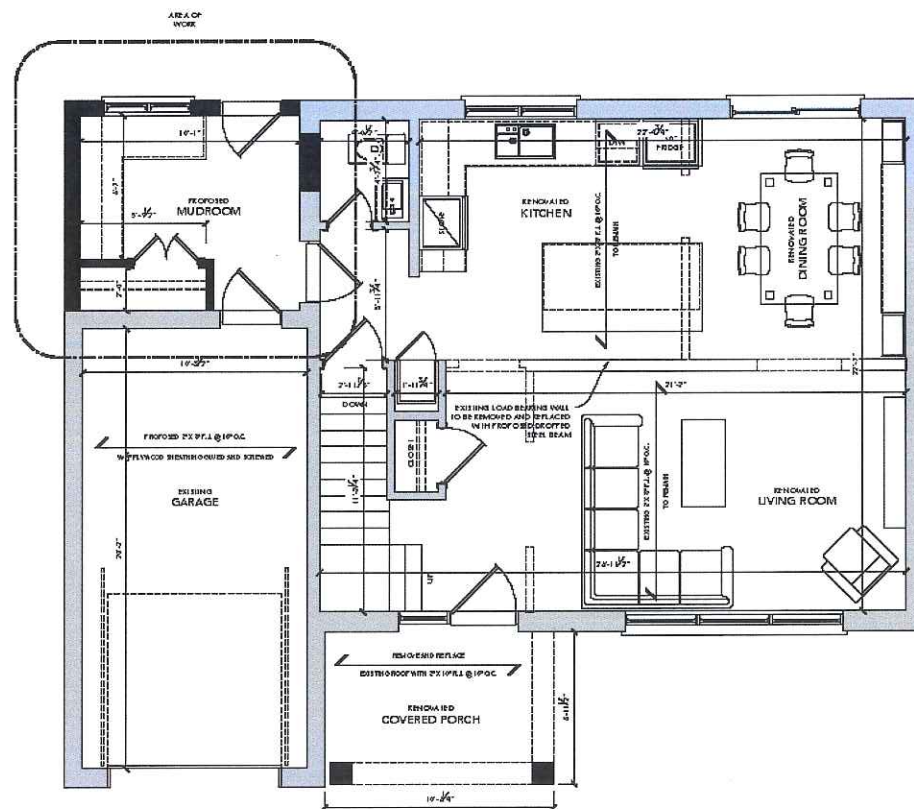
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ISSUE DATE	
1	ISSUED FOR AIR PLANE REVINVO 05 05 2021
2	MM DD YYYY
3	MM DD YYYY
4	MM DD YYYY
5	MM DD YYYY

DRAWING INFORMATION:	
DRAWING TITLE:	FLOOR PLAN 2
DRAWN BY:	J J
CHECKED BY:	J J
ADDRESS	11 CROWN AVENUE
PROJECT NO.	2021-051

3-2211

A102

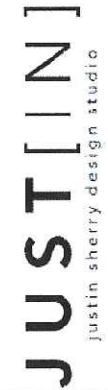


GROUND FLOOR PLAN

SMOKE ALARMS SHALL HAVE A VISUAL COMPONENT AS REQUIRED BY OBC
910.17.171

ALARMS SHALL BE INSTALLED TO THAT IF
A VEHICLE WITHIN THE ROOMS WHEN
THE INTERVENEING DOOR IS CLOSED
AND CONFORM TO CANC 3A-117
72 SERIAL CARBON MONOXIDE
ALARMING DEVICES" OR UL 769
"SINGLE AND MULTIPLE STATION
CARBON MONOXIDE ALARMS"

CONNECTION TO ENJOY THE
ARE ADEQUATE SUPPORT FORS LAST
TABLES A-24 AND A-25 OF THE OBC, AT
THE ENDS OF ORDER, ISSUE 2 AND
SUPPORTING ENDS



JUSTIN BERRY DESIGN STUDIO
CUSTOM HOME DESIGN AND RENOVATIONS
2046 STREET BAKER ONARIO
L9M 3P7 | 416 271 2805 |
E: INFO@JUSTINBERRY.CA
JUSTINBERRY.CA

DRAWINGS ARE TO BE READ AND NOT SCALE
DO NOT BEGIN CONSTRUCTION UNTIL
FOR SOME OF PROJECT MANAGER HAS
BEEN NOTIFIED UPON COMPLETION OF
ANY STAGE OF CONSTRUCTION THE
FOR SOME OF PROJECT MANAGER SHALL
BE NOTIFIED TO ENSURE PROPER
INSPECTION ALL DESIGN AND
CONSTRUCTION DOCUMENTATION ARE
PROTECTED BY REVIEWS BY THE ENGINEER
IF ANY DISCREPANCY IS DETECTED
HERE WITHIN THE DESIGNER SHALL BE
NOTIFIED THE DRAWINGS AND
DOCUMENTS PROVIDED HERE WITHIN ARE
THE EXCLUSIVE PROPERTY OF ARJIS
ENTERPRISES LLC AND NO REUSE OR
REPRODUCTION OF THE DOCUMENTS IS PERMITTED
WITHOUT THE CONSENT OF
THE DESIGNER

A FURTHER VERSION OF THIS PLAN IS
AVAILABLE PLEASE CONTACT RE 2777 2405
OR EMAIL THE REPORTS TO
INFO@JULIUSINSHERRY.CA

1000

QUALIFICATION INFORMATION
THE UNDERSIGNED HAS REVIEWED AND ACCEPTS
RESPONSIBILITY FOR THE DESIGN AS WELL AS
MAKING THE QUALIFICATION AND
REQUIREMENTS MANOVED BY THE CHARTER
BUILDING CODE TO BE ADEQUATE

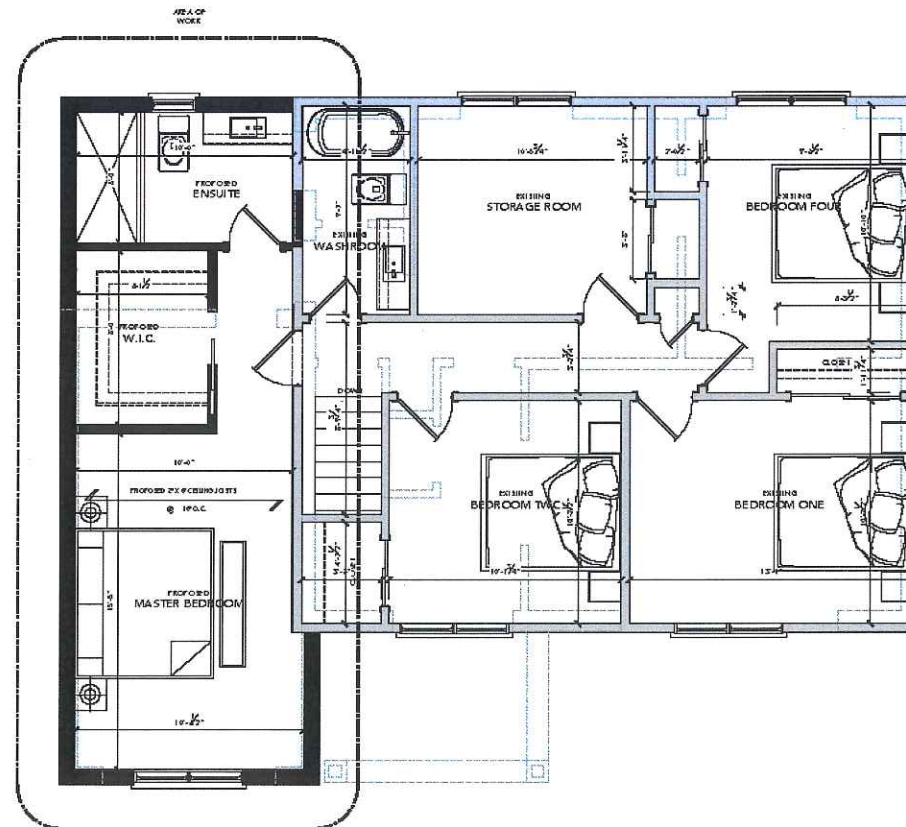
REGISTRATION INFORMATION
EXCLUDED UNLESS THE DESIGN IS EXEMPT
UNDER DIV. C-3.2.4 OF THE CHARTER BUILDING
CODE

1

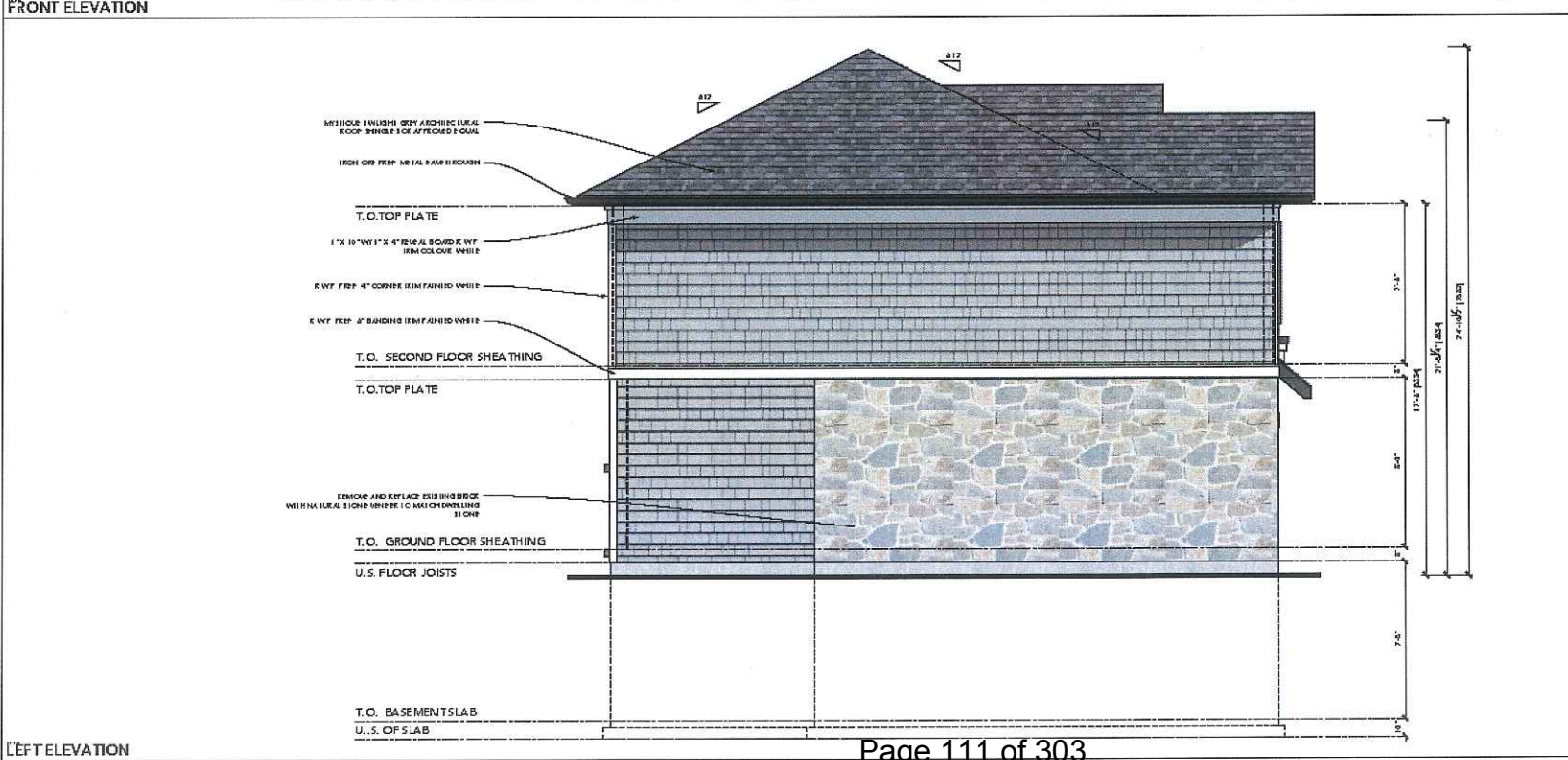
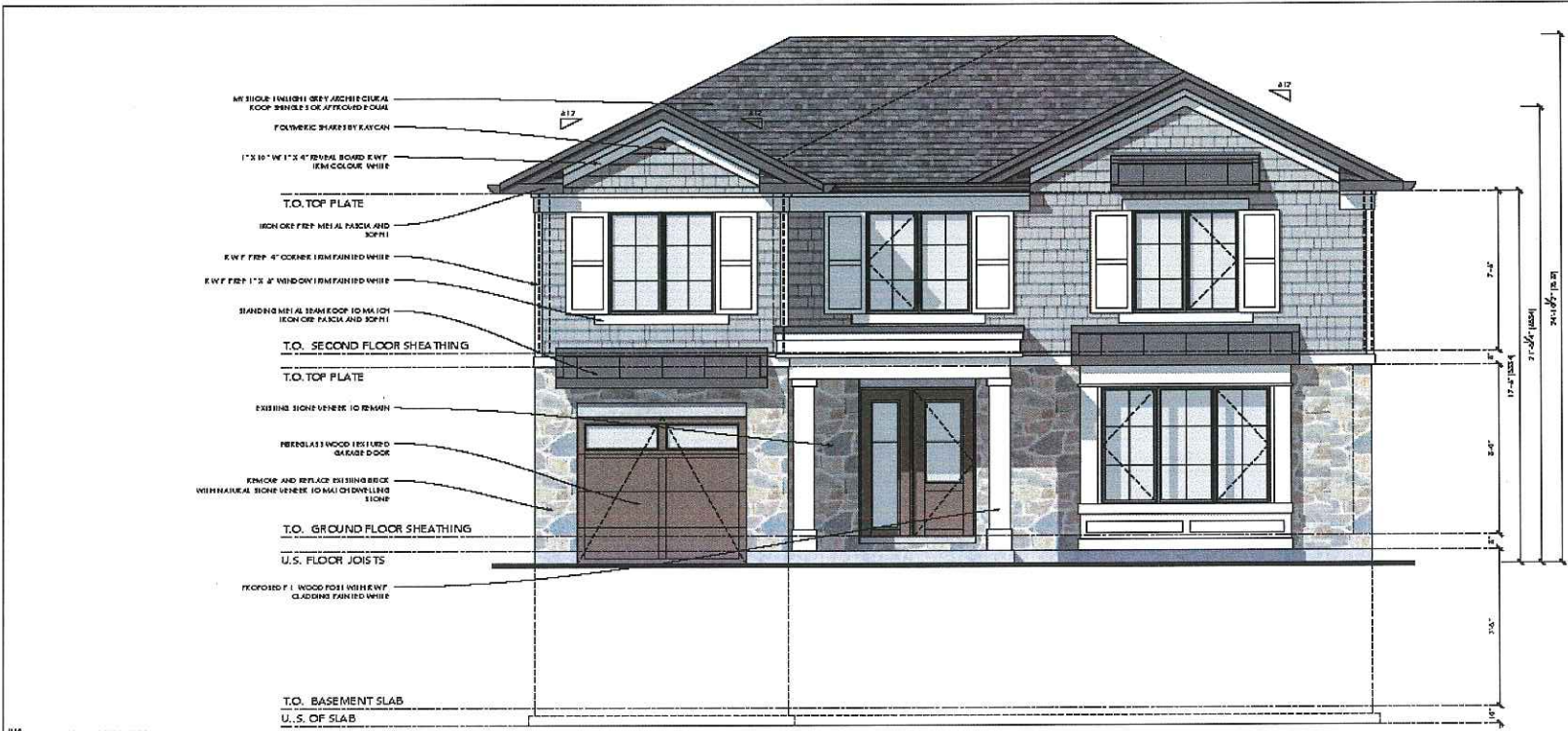
Downloaded from <http://ajphaphapublications.sagepub.com/> at 10:06 10 October 2014

DRAWING INFORMATION:	
DRAWING TITLE:	SECOND FLOOR PLAN
DRAWN BY:	J J
CHECKED BY:	J J
ADDRESS	1100 RIVINGTON AVENUE
PROJECT NO.	202-1-057

A103



SECOND FLOOR PLAN



JUSTIN
Justin Sherry Design Studio

DESIGNER INFORMATION
JUSTIN SHERRY DESIGN STUDIO
CUSTOMER DESIGN AND RENOVATIONS
SUITE 101, 11000 HWY 10
VANCOUVER, BC V6T 1A1
P: 604.271.1111
E: INFO@JUSTINSHERRY.CA
A/11000 HWY 10

GENERAL NOTES
DRAWINGS ARE TO BE READ AND SCALE
DO NOT BEGIN CONSTRUCTION UNTIL
DESIGNER OF RECORD MANAGER HAS
REVIEWED. UPON COMPLETION OF
ANY STAGE OF CONSTRUCTION THE
DESIGNER OF RECORD MANAGER SHALL
BE NOTIFIED. TO ENSURE PROPER
INSTALLATION ALL DESIGN AND
CONSTRUCTION DOCUMENTATION ARE
FINAL AND REFERRED BY THE DESIGNER.
IF ANY DISCREPANCY IS DISCOVERED
HEREIN, THE DESIGNER SHALL BE
NOTIFIED. THE DESIGNER'S
DOCUMENTS TAKE PRECEDENCE OVER
THE EXISTING PROPERTY OF JUSTIN
SHERRY DESIGN STUDIO. REPRODUCTION
OF THE DOCUMENT IS PROHIBITED
WITHOUT THE WRITTEN CONSENT OF
THE DESIGNER.

DIGITAL PLANS
A PDF VERSION OF THIS PLAN IS
AVAILABLE PLEASE CONTACT 604.271.1111
OR EMAIL THE RECORD TO
INFO@JUSTINSHERRY.CA

STRUCTURAL ENGINEER STAMP

IF REQUIRED

OLD ALLOCATION INFORMATION
THE UNDERSIGNED HAS REVIEWED AND ACCEPTS
RESPONSIBILITY FOR THIS DESIGN. AS WELL AS
HAVING THE CALCULATION AND
REQUIREMENTS MANAGED BY THE CHARTERED
BUILDING CODE TO BE ADOPTED.

JUSTIN SHERRY
NAME
S.E.C.N.

REVISION INFORMATION
REVISIONS SHALL BE THE DESIGNER'S RESPONSIBILITY
AND SHALL BE IN ACCORDANCE WITH THE CHARTERED
BUILDING CODE.

JUSTIN SHERRY DESIGN STUDIO
FIRM NAME
S.E.C.N.

REVISIONS

NO.	DATE	DESCRIPTION
1	MM/DD/YYYY	
2	MM/DD/YYYY	
3	MM/DD/YYYY	
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5	MM/DD/YYYY	

ISSUE USE

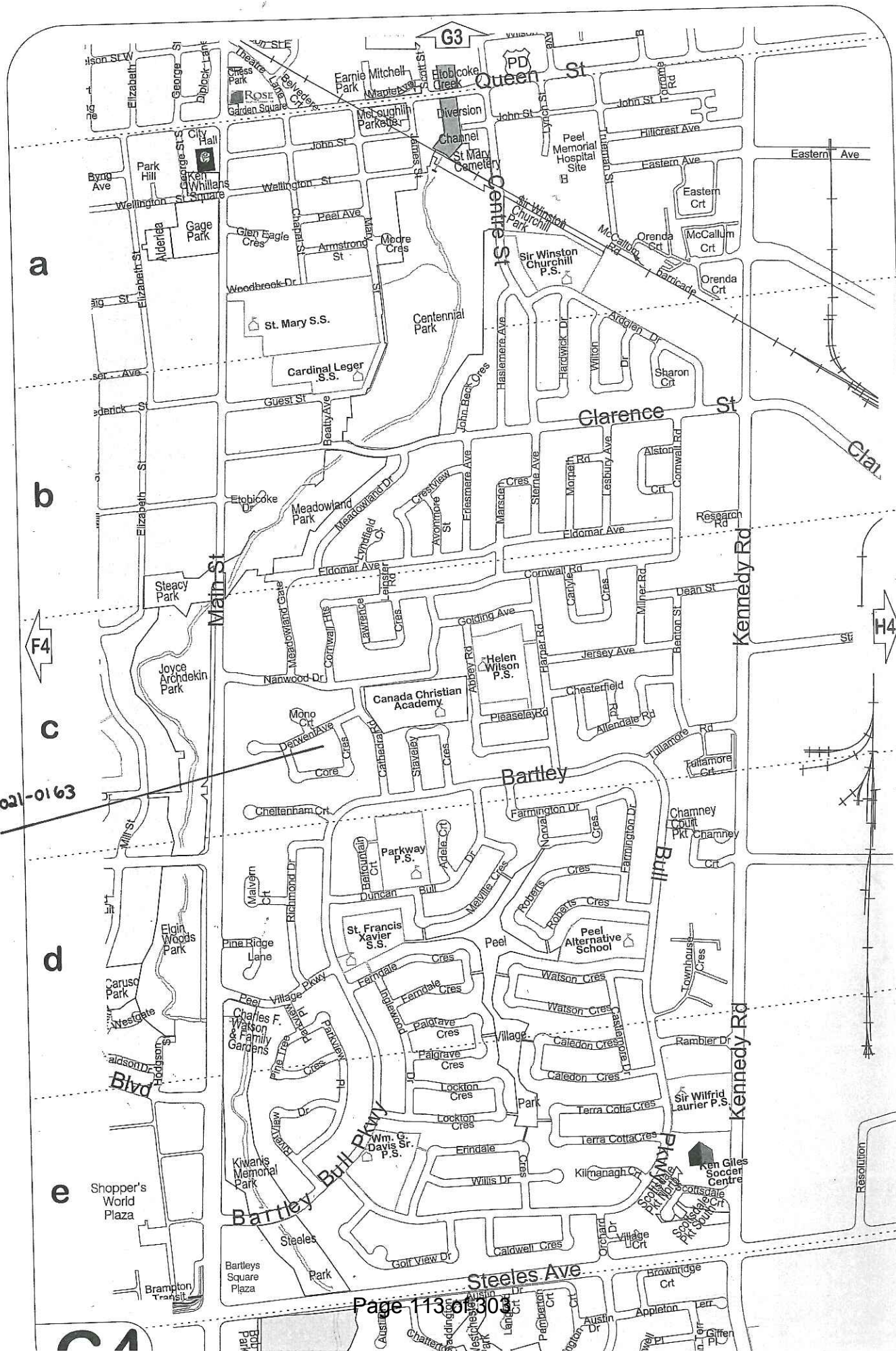
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DRAWING INFORMATION:

DRAWING TITLE: ELEVATIONS
DRAWN BY: J.S.
CHECKED BY: J.S.
ADDRESS: 11000 HWY 10
PROJECT NO: 201-101

SHEET

A201



APPLICATION # A-2021-0164
WARD #3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **CRISTALL GROUP INVESTMENTS INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 2, Concession 2 EHS, Parts 1 and 2, Plan 43R-2937 municipally known as **158 KENNEDY ROAD SOUTH, UNITS 12 AND 13**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a place of commercial recreation (billiard hall) to operate from Units 12 and 13, whereas the by-law does not permit a place of commercial recreation.

Note: approval granted under application A16-145 has expired.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



158 Kennedy Road South, Units 12 and 13

[illegible]

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021.**
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021.**
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021.** City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER: A-2021-0164

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Cristall Group Investments Inc
Address 34 - 1200 W 73 Ave. Vancouver, BC. V6P 6G5

Phone # _____ **Fax #** _____
Email alex@cxristallgroup.com

2. **Name of Agent** Ketul Shah
Address 188 Clark Blvd. Brampton ON L6T0J2

Phone # 2269721267 **Fax #** _____
Email ketul.three@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
The committee of adjustment decision dated 23rd August, 2016 permitted Billiard Hall use for 3 years. This application is to request the usage to be granted permanently.

4. **Why is it not possible to comply with the provisions of the by-law?**
3 year term granted in committee of adjustment decision dated 23rd August 2016 has expired.

5. **Legal Description of the subject land:**
Lot Number PT. LOT 2
Plan Number/Concession Number CONC. 2 EHS
Municipal Address 158 Kennedy Rd S, Unit 12-13

6. **Dimension of subject land (in metric units)**
Frontage 122.3m
Depth 124.9m
Area 18107.9m2

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2, one storey multiple occupancy industrial building. Each with 14 units having a typical GFA of 2500 square feet.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

None proposed.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	19.8m
Rear yard setback	13.7m
Side yard setback	13.7m
Side yard setback	13.4m

PROPOSED

Front yard setback	19.8m
Rear yard setback	13.7m
Side yard setback	13.7m
Side yard setback	13.4m

10. Date of Acquisition of subject land: 1971
11. Existing uses of subject property: Billiard Hall (Minor Variance permit expired)
12. Proposed uses of subject property: Billiard Hall (i.e. recreational establishment)
13. Existing uses of abutting properties: Mixed use industrial, Restaurant
14. Date of construction of all buildings & structures on subject land: 1971 & unknown
15. Length of time the existing uses of the subject property have been continued: 40 years
16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # A16-145	Decision Approved	Relief Billiard Hall Use Permitted
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Ketul Shah

Signature of Applicant(s) or Authorized Agent

DATED AT THE 29th June 23rd July OF 2021 Brampton

THIS 23 DAY OF July, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Ketul Shah, OF THE city OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 23rd DAY OF
July, 2021.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Ketul Shah

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

M1-3445

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Todd Payne
Zoning Officer

July 23, 2021

Date

DATE RECEIVED

July 23, 2021

July 23, 2021

Revised 2020/01/07



FILE NUMBER A16-145

HEARING DATE AUGUST 2, 2016

APPLICATION MADE BY CRISTALL GROUP INVESTMENTS INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE:

1. To permit a place of commercial recreation (billiard hall) to operate from Units 12 and 13.

(158 KENNEDY ROAD SOUTH – PT. LOT 2, CONC. 2 EHS, PTS. 1 & 2, PLAN 43R-2937)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Nurse

SECONDED BY: R. Chatha

SIGNATURE OF CHAIR OF MEETING:

WE THE UNDERSIGNED HEREBY CONCUR IN THE DECISION

MEMBER

MEMBER

MEMBER

MEMBER

MEMBER

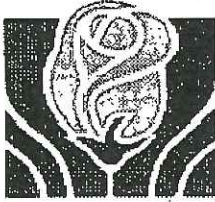
DATED THIS 2ND DAY OF AUGUST, 2016

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE ONTARIO MUNICIPAL BOARD WILL BE AUGUST 22, 2016

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.

Jeanie Myers
SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

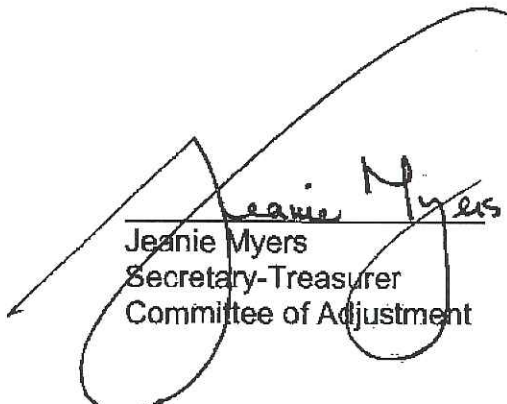
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

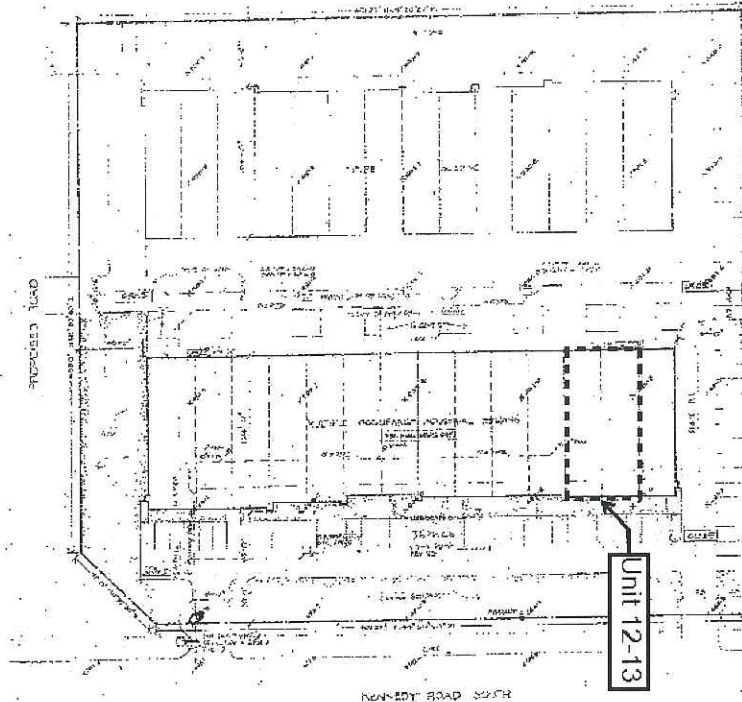
APPLICATION NO: A16-145

DATED: AUGUST 2, 2016

Conditions:

1. That the use be approved for a temporary period of three (3) years from the final date of the decision of the Committee;
2. That the place of commercial recreation (billiard hall) be limited to a maximum gross floor area of 464.52 square metres (5,000 square feet);
3. That the applicant obtain a building permit for change of use prior to occupancy of Units 12 and 13 for a billiard hall; and
4. That failure to comply with and maintain the conditions of the Committee will render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



21.05.1971
 H. G. G. G.
 H. G. G. G.

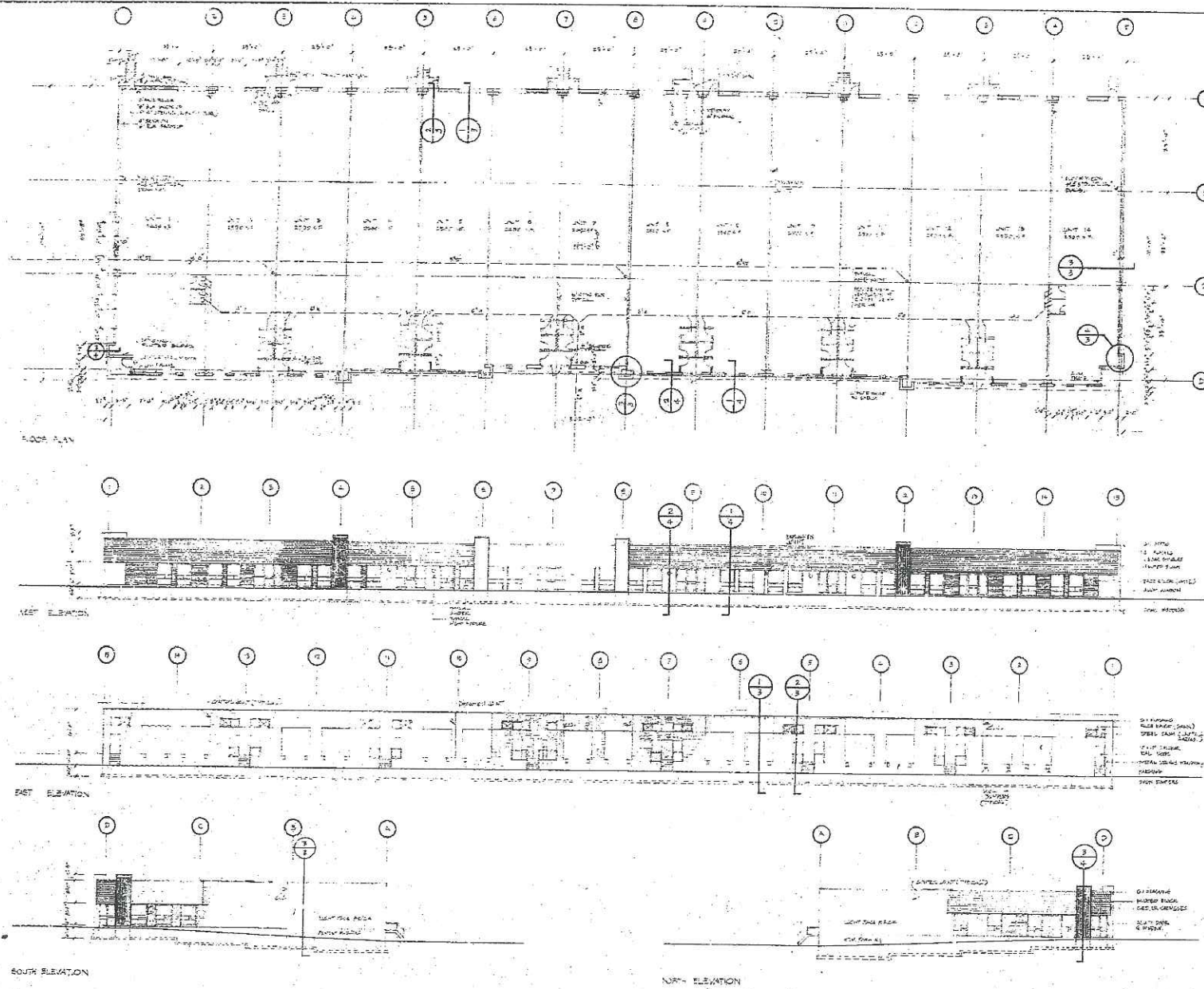
subject to submission of
 final partition layouts
 details of occupancy.

UNIT 12-13

NOTE: ALL DIMENSIONS ARE IN METERS
 UNLESS OTHERWISE SPECIFIED
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REVISIONS	
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SIRLIN & KELMAN
 ARCHITECTS
 11 SHEPARD AVENUE WEST, WILSONVILLE, OREGON 97150

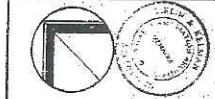


1-1/2" = 1' - 0"
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DATE	NO.	DESCRIPTION	BY

REVISIONS	
NO.	DESCRIPTION
1	ADD ALL REVISIONS DATED PREVIOUS TO THIS DATE ABOVE
KEY TO DETAIL LOCATION	
DETAIL NOTATION	DRAWING NUMBER

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS IN THE JOB AND REPORT DISCREPANCIES TO THE ARCHITECTS BEFORE PROCEEDING WITH THE WORK. THIS DRAWING IS THE PROPERTY OF THE ARCHITECTS AND MUST BE RETURNED ON COMPLETION OF THE WORK. DRAWINGS ARE NOT TO BE SCALED.



**SIRLIN & KELMAN
 ARCHITECTS**
 24 SHEPPARD AVENUE WEST, WILLOWDALE

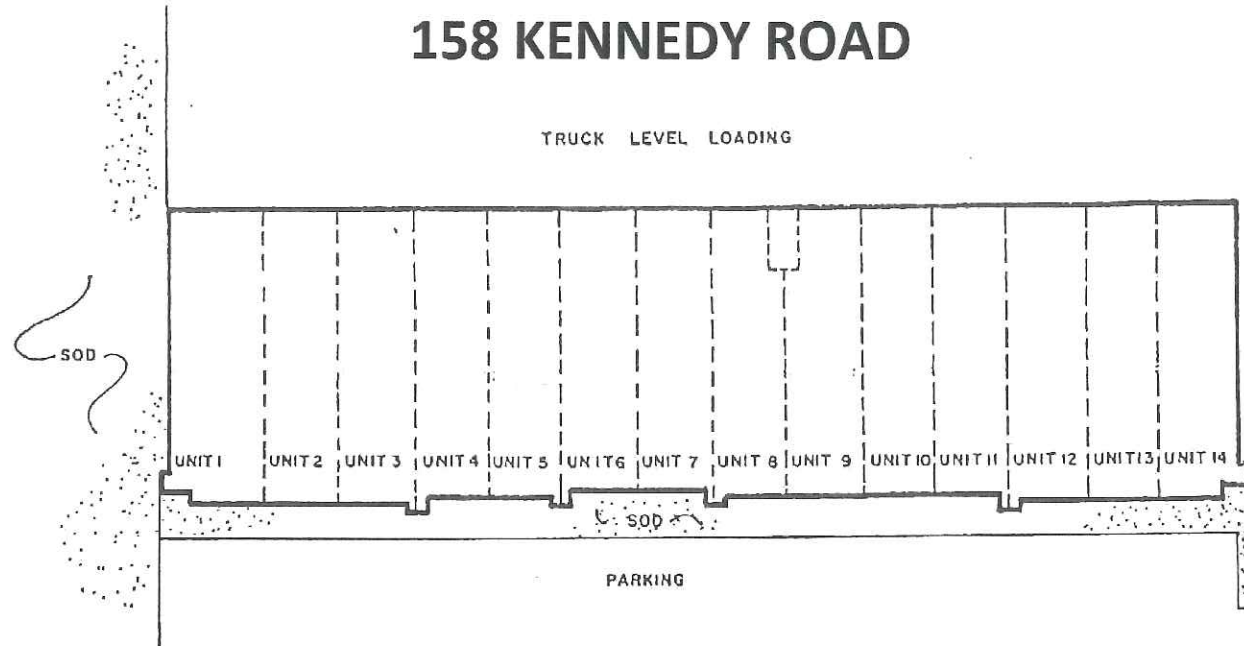
FLOOR PLAN / ELEVATIONS

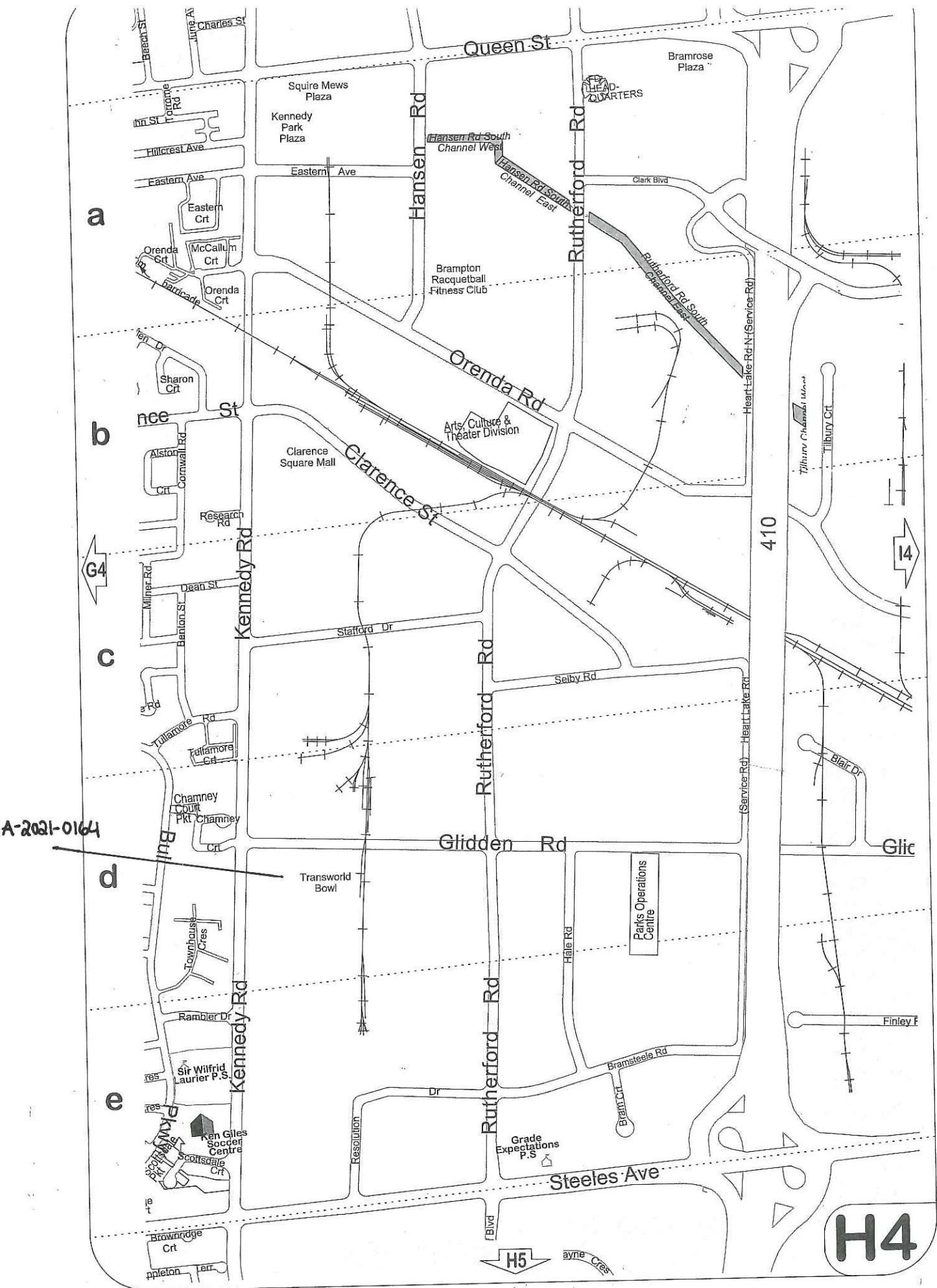
NANTYPE INDUSTRIAL BUILDING
 FOR
 LAKESIDE POINT PROPERTIES
 RENDZEE K.S.S.

DRAWN BY	CHECKED BY	DATE
TECH	BY	16/3/71
DATE	PROJECT NUMBER	7108

158 KENNEDY ROAD

TRUCK LEVEL LOADING





APPLICATION # A-2021-0165
WARD 10

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **AMANJOT KAHLON AND PAWANDEEP KAHLON** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 19, Plan 1002 municipally known as **12 ST. JOHNS ROAD**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a building height of 11.28m (37 ft.) whereas the by-law permits a maximum building height of 10.6m (34.78 ft.);
2. To permit a garage door height of 2.74m (9.0 ft.) whereas the by-law permits a maximum garage door height of 2.4m (7.88 ft.);
3. To permit an existing fence in the required front yard with a maximum height of 1.52m (5.0 ft.) whereas the by-law permits a fence in the required front yard to a maximum height of 1.0m (3.28 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Allan Parsons
Director, Development Services

[illegible]

01	ISSUED FOR QTY	2021-07-2
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REVISIONS		

2021-07-26 5:25:16 PM

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & MET

CONSULTANTS

ONTARIO ASSOCIATION
OF
ARCHITECTS
Saber
8454 ALAMATTA RD
MISSISSAUGA
ON L4V 1P5

SP4-2078-0054

1000

ONCE

OBS²EEARCHITECTSTM

TORONTO - CANADA	4 15 54 E 3310	1 10 00 10 00 10 00
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SITE PLAN

PAGE 44111	CALCULATION OF:

DR. ROWEN	CHECKED
Author	Checker

SCALE @ ARCH D	DATE
As indicated	07/23/21

GRAPHIC SCALE	
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PROJECT NO.	100110-17D
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190116 JRB	
STAGE	DRAWING NO.

COFA40 005

001 ANU-003

LOCATION BRAMPTON	REVISION 01
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ST. JOHNS ROAD

ESTABLISHED GRADE CALCULATION:

FRONT ELEVATION = 220.35
RIGHT ELEVATION = 218.75
LEFT ELEVATION = 218.75
REAR ELEVATION = 218.77

$220.35 + 218.75 + 218.75 + 218.77 \div 4 = 219.63$

 GRASS
 ASPHALT
 PLANTING ON THE SOIL
 WETLAND
 TRCA AREA
 FENCE LOCATION

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021.**
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021.**
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021.** City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER: A-2021-0165

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Amanjot kahlon & Pawandeep kahlon
Address 12 Saint Johns Rd, Brampton, ON L6P 0C4

Phone # 416-995-6333 **Fax #** _____
Email kahlonaman@yahoo.com

2. **Name of Agent** Saba Al Mathno
Address 401-1670 Bayview Ave, Toronto, ON M4G 3C2

Phone # 416-546-2040 **Fax #** _____
Email saba@qbsarchitects.com

3. **Nature and extent of relief applied for (variances requested):**
The maximum permitted building height is 10.6 m & the proposed height is 11.28 m.
The maximum height permitted for a vehicle garage is 2.4m and the proposed is 2.74 m.
The proposed fence is 1.5 m where the by law allows 1.0 m.

4. **Why is it not possible to comply with the provisions of the by-law?**
Due to the existing grade conditions

5. **Legal Description of the subject land:**
Lot Number 19
Plan Number/Concession Number Registered Plan: 1002
Municipal Address 12 Saint Johns Rd, Brampton, ON L6P 0C4

6. **Dimension of subject land (in metric units)**
Frontage 33.43 m
Depth 186.84 m
Area 10682.5

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 storey brick dwelling unit & attached garage & Shed
(to be demolished)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

2 storey dwelling unit

PROPOSED GROUND FLOOR AREA: 467.3 sq.m

PROPOSED SECOND FLOOR AREA: 438.7 sq.m

PROPOSED TOTAL GFA: 906.0 sq.m

Proposed FSI: 8.48%

PROPOSED GARAGES AREA: 126.7 sq.m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 30.75

Rear yard setback 139.74

Side yard setback 7.67

Side yard setback 36.35

PROPOSED

Front yard setback 35.56 m

Rear yard setback 110.39 m

Side yard setback 8.31 m

Side yard setback 8.51 m

10. Date of Acquisition of subject land: August 30, 2018
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1975
15. Length of time the existing uses of the subject property have been continued: 46
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☐ Other (specify) _____
Septic ☒
- (c) What storm drainage system is existing/proposed?
Sewers ☐ Other (specify) _____
Ditches ☐
Swales ☒

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details: File # SPA-2019-0054 Status In Review

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief

[Signature]
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 23 DAY OF JULY, 20 21.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, AMANJOT KAMLOO, OF THE CITY OF BRAMPTON,
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON
IN THE Region OF
 Peel THIS 23rd DAY OF

July , 20 21

[Signature]
A Commissioner etc.

[Signature]

[Signature]
Signature of Applicant or Authorized Agent

Jeanie Cecilia Myers
a Commissioner, etc., etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

RESIDENTIAL RURAL ESTATE TWO - RE2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

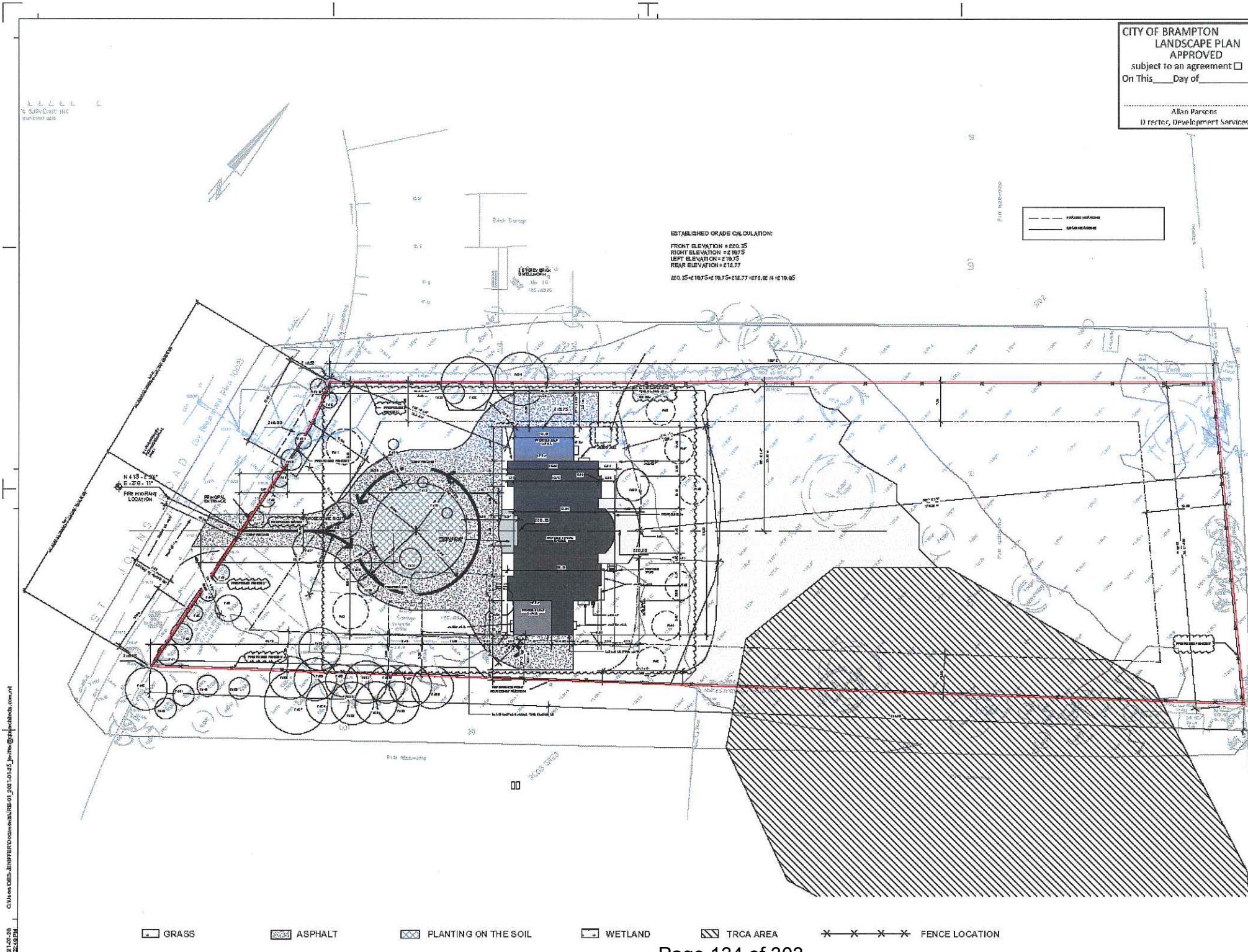
[Signature]
Zoning Officer

July 27, 2021
Date

DATE RECEIVED July 23, 2021

QBS ARCHITECTS INC.
2021-07-28
2021-07-28

C:\Users\QBS\Documents\190116\190116_005\190116_005.dwg



CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This _____ Day of _____
Allan Parsons
Director, Development Services

PROJECT

12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002

CLIENT

[Aerial Photo]

01	ISSUED FOR CITY	2021-07-28
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REVISIONS

2021-07-28 3:24 PM

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must show all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

CONSULTANTS

ONTARIO ASSOCIATION
OF
ARCHITECTS
REGISTERED
2021-07-28
10:50 AM
10:50 AM

QBS ARCHITECTS INC.

TORONTO • CHICAGO • LOS ANGELES • NEW YORK • SEATTLE • VANCOUVER

DRAWING TITLE

SITE PLAN

DRAWN	Author	CHECKED	Checker
SCALE @	ARCH D	DATE	07/28/21

GRAPHIC SCALE

[North Arrow]

PROJECT NO.

190116 JRB

STAGE

DRAWING NO.

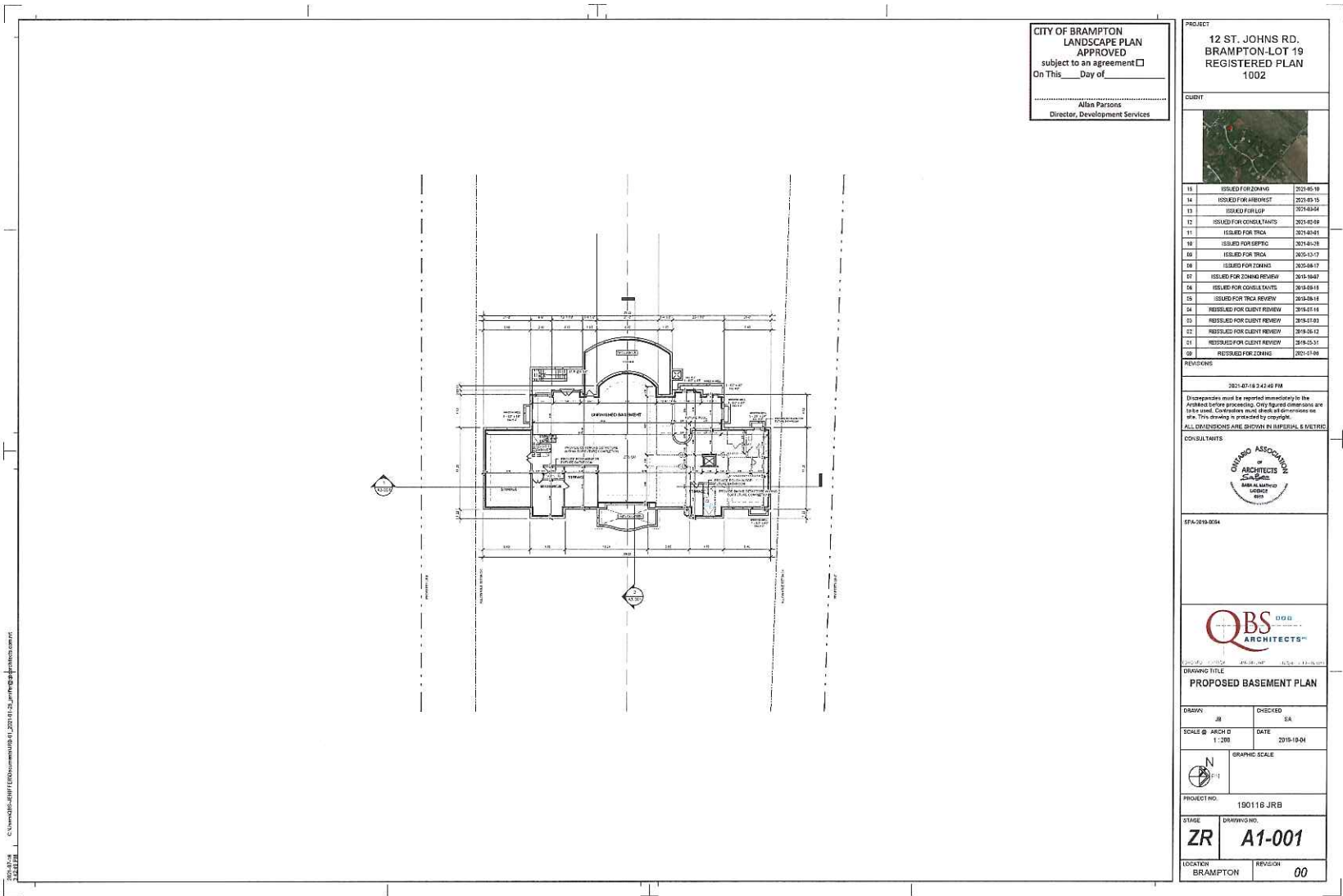
COFAA0_005

LOCATION

BRAMPTON

REVISION

01



CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement
On This _____ Day of _____
Alia Parsons
Director, Development Services

PROJECT
12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002



13	ISSUED FOR ZONING	2018-05-10
14	ISSUED FOR APPROVAL	2018-05-15
13	ISSUED FOR LOP	2018-05-04
12	ISSUED FOR CONSULTANTS	2018-05-09
11	ISSUED FOR TRCA	2018-04-01
10	ISSUED FOR SEPRC	2018-03-08
09	ISSUED FOR TRCA	2018-12-17
08	ISSUED FOR ZONING	2018-08-17
07	ISSUED FOR ZONING REVIEW	2018-10-07
06	ISSUED FOR CONSULTANTS	2018-09-11
05	ISSUED FOR TRCA REVIEW	2018-08-14
04	REISSUED FOR CLIENT REVIEW	2018-07-16
03	REISSUED FOR CLIENT REVIEW	2018-07-01
02	REISSUED FOR CLIENT REVIEW	2018-06-12
01	REISSUED FOR CLIENT REVIEW	2018-05-31
00	REISSUED FOR ZONING	2018-01-09

REVISIONS
2018-07-16 3:42:40 PM
Discrepancies must be reported immediately to the
Architect before printing. Only signed documents are
to be used. Corrections must be dated and dimensioned on
the drawing. This drawing is provided by copyright.
ALL DIMENSIONS ARE GIVEN IN IMPERIAL & METRIC

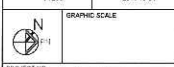


QBS
ARCHITECTS

QBS
ARCHITECTS

DRAWING TITLE
PROPOSED BASEMENT PLAN

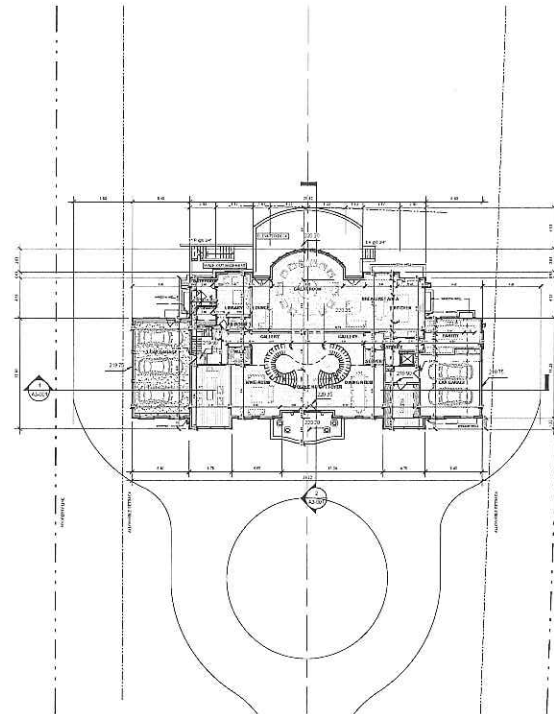
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CHECKED: SA
SCALE: ARCH D
1:200
DATE: 2018-10-04



PROJECT NO.: 190118 JRB

STAGE: ZR
DRAWING NO.: A1-001

LOCATION: BRAMPTON
REVISION: 00



GROUND FLOOR AREA (EXCLUDING GARAGE) = 467.22 SQM/5029.11 SF

GARAGES AREAS =

73.45 + 53.22= 126.67 SQM/1363.46 SF

PROJECT

12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002

CLIENT

15

ISSUED FOR ZONING

2024-05-08

16

ISSUED FOR AIRMOIST

2024-05-15

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ISSUED FOR LRP

2024-03-24

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ISSUED FOR CONSULTANTS

2024-05-08

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ISSUED FOR TRCA

2024-05-21

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ISSUED FOR BPP/C

2024-05-28

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ISSUED FOR TRCA

2024-11-17

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ISSUED FOR ZONING

2024-06-17

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ISSUED FOR ZONING REVIEW

2025-10-07

30

RECEIVED FOR CONSULTANTS

2024-05-15

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ISSUED FOR TRCA REVIEW

2024-05-15

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RECEIVED FOR CLIENT REVIEW

2024-05-15

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2024-05-15

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RECEIVED FOR ZONING

2024-07-08

REVISIONS

2021-07-18 2:42:53 PM

Drawings must be separated immediately to the
Architect's latest correspondence. Once signed consensus is
in hand, Contractors must show all dimensions on
site. This drawing is intended for copyright.
ALL DIMENSIONS ARE SHOWN IN IMPERIAL, 6/16TH

CONSULTANTS

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2019-10-04

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DRAWING TITLE

PROPOSED GROUND FLOOR
PLAN

DRAWN

JB

CHECKED

BA

SCALE

AS SHOWN

DATE

2019-10-04

N

0°

90°

180°

270°

GRAPHIC SCALE

PROJECT NO.

190116-JRB

STAGE

DRAWING NO.

ZR

A1-002

LOCATION

BRAMPTON

REVISION

00

12 ST. JOHNS RD. BRAMPTON ON LRP 004

ZONING:142100003

PH:142100003

ROLL NUMBER:15-12-003-18720-0000

ZONE CODE:RE2

CATEGORY:RESIDENTIAL

TYP:RE2

REGISTERED PLAN OF SUBDIVISION:RP-1002

REGISTERED PLAN NUMBER:RP-1002

ARCHITECTURAL SHEET LIST			
Sheet Number	Sheet Name	Sheet Issue Date	Revision Number
A-001	COVER	2019-10-04	04
A-002	COVER	2019-10-04	04
A-003	COVER	2019-10-04	04
A-004	COVER	2019-10-04	04
A-005	COVER	2019-10-04	04
A-006	COVER	2019-10-04	04
A-007	COVER	2019-10-04	04
A-008	COVER	2019-10-04	04
A-009	COVER	2019-10-04	04
A-010	COVER	2019-10-04	04
A-011	COVER	2019-10-04	04
A-012	COVER	2019-10-04	04
A-013	COVER	2019-10-04	04
A-014	COVER	2019-10-04	04
RE-01	COVER	2019-10-04	04

Sheet Total: 17



CITY OF BRAMPTON

LANDSCAPE PLAN

APPROVED

subject to an agreement ☐

On This _____ Day of _____

Allan Parsons

Director, Development Services

PROJECT

12 ST. JOHNS RD.

BRAMPTON-LOT 19

REGISTERED PLAN

1002

CLIENT

15	ISSUED FOR ZONING	2021-05-10
14	ISSUED FOR ARBORIST	2021-03-15
13	ISSUED FOR LCP	2021-03-04
12	ISSUED FOR CONSULTANTS	2021-02-09
11	ISSUED FOR TRCA	2021-02-01
10	ISSUED FOR SEPTIC	2021-01-28
09	ISSUED FOR TRCA	2020-12-17
08	ISSUED FOR ZONING	2020-06-17
07	ISSUED FOR ZONING REVIEW	2019-10-07
06	ISSUED FOR CONSULTANTS	2019-09-16
05	ISSUED FOR TRCA REVIEW	2019-06-16
04	REISSUED FOR CLIENT REVIEW	2019-07-16
03	REISSUED FOR CLIENT REVIEW	2019-07-03
02	REISSUED FOR CLIENT REVIEW	2019-06-12
01	REISSUED FOR CLIENT REVIEW	2019-05-31
00	REISSUED FOR ZONING	2021-07-05

REVISIONS

2021-07-06 12:44:26 PM

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

CONSULTANTS

SPA-2019-0054

TORONTO - CANADA 416 546 7040 info@qbsarchitects.com

DRAWING TITLE

COVER

DRAWN	JB	CHECKED	SA
SCALE @ ARCH D		DATE	2019-10-04
GRAPHIC SCALE			

PROJECT NO.

190116 JRB

STAGE	DRAWING NO.
ZR	A0-000

LOCATION	REVISION
BRAMPTON	00

- GENERAL NOTES**
- ALL CONSTRUCTION TO COMPLY WITH CURRENT EDITION OF THE ONTARIO BUILDING CODE 2010 OBC, AS AMENDED.
 - ALL WORKMANSHIP TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
 - DRAWINGS AND SPECIFICATIONS ARE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED ON COMPLETION OF THE PROJECT.
 - REPORT IN WRITING ANY DISCOVERED ERRORS OR OMISSIONS TO THE ARCHITECT AT ONCE.
 - DO NOT SCALE DRAWINGS. USE LATEST SCALE DRAWINGS ONLY.
 - CONTRACTOR TO VERIFY ALL VERTICAL AND HORIZONTAL LIFE DIMENSIONS PRIOR TO COMMENCING WORK - INCLUDING EXTERIOR LANDSCAPING DIMENSIONS.
 - CONTRACTOR TO PROVIDE PLYWOOD HOARDING AROUND THE PERIMETER OF THE JOB SITE BETWEEN THE PROPOSED NEW STRUCTURE TO THE PROPERTY LINE. IF ADDITIONAL STANDING SPACE AREA IS REQUIRED, CONTRACTOR TO APPLY FOR PERMIT TO BUILD HOARDING ON CITY PROPERTY IN LIEU OF PLYWOOD HOARDING. A 750-HIGH CHAIN LINK FENCE BY "FAST FENCE" OR EQUAL IS TO BE USED.
 - SITE MUST BE SAFE AND SECURE AT ALL TIMES. CONTRACTOR RESPONSIBLE FOR LOCKING THE CONSTRUCTION GATE NIGHTLY.
 - CONTRACTOR MUST POST TWO "DANGER" AND "DANGER-CONSTRUCTION AREA" SIGNS AS WELL AS ANY OTHER SIGNS REQUIRED BY ANY GOVERNING BODY & HEALTH AND SAFETY, ETC.
 - EXISTING GRADE DIMENSIONS OBTAINED DURING CONSTRUCTION TO BE MAINTAINED UNLESS OTHERWISE NOTED ON LOT DRAINAGE PLAN. ALL BACKFILL MUST BE COMPACTED TO 95% TIGHTNESS AND SOIL MUST BE PROTECTED FROM DISTURBANCE DURING CONSTRUCTION.
 - REPAIRS TO EXISTING LANDSCAPING - USE TRIPLE MIX SOIL AT ALL PLANTING BEDS.
 - REFER TO ARBORIST REPORT (WHERE APPLICABLE) FOR SPECIAL INSTRUCTIONS REGARDING EXCAVATION / CONSTRUCTION IN PROXIMITY TO MATURE TREES.
 - EVERY EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY, EXISTING STRUCTURES, UTILITIES, ROADS AND ROADWAYS AT ALL STAGES OF CONSTRUCTION.
 - ENSURE ADEQUATE BRACING OF FOUNDATION WALLS PRIOR TO BACKFILLING.
 - ALL STRUCTURAL WOOD TO BE #2 SPRUCE OR BETTER UNLESS NOTED OTHERWISE.
 - PROVIDE POSTS UNDER ALL BEAMS / GIRDER TRUSSES, ETC. POSTS TO RUN CONTINUOUS TO FOUNDATION OR EQUIVALENT SUPPORT.
 - ALL STUDS, POSTS AND OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL TO A MIN. DEPTH OF 12" IN UNEXCAVATED AREAS UNDER A BUILDING. WOOD DEBRIS REMOVAL SHALL EXTEND 2' MIN. BEYOND THE PERIMETER OF THE BUILDING.
 - ALL WOOD SCRAP AND FORMS SHALL BE REMOVED FROM AROUND THE FOUNDATIONS BEFORE BACKFILLING AND FROM UNDER EXTERIOR STEPS OR PORCHES BEFORE CONSTRUCTION IS COMPLETED.
 - ALL EXISTING SURFACES ADJACENT TO NEW CONSTRUCTION AND THROUGH WHICH CONSTRUCTION MATERIALS AND CONTRACTOR'S FORCES MOVE ARE TO BE PROTECTED.
 - PROVIDE TEMPORARY DUST BARRIERS AS REQUIRED TO MAINTAIN DUST FREE ENVIRONMENT FOR ALL BUILDING AREAS OCCUPIED BY OTHER TENANTS.
 - CONTRACTOR SHALL MAINTAIN THE JOB SITE AND WORK IN A "TIDY" CONDITION. DAILY CLEAN UP OF JOB SITE IS REQUIRED.
 - REMOVE ALL CONSTRUCTION DEBRIS FROM SITE UNLESS OTHERWISE NOTED. ALL WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE WHICH IS IN DIRECT CONTACT WITH SOILS TO BE SEPARATED FROM CONCRETE WITH DAM PROOFING MATERIAL (5 TO 7.5 OMC).
 - GARAGE ACCESS DOOR TO BUILDING TO BE ON SELF-CLOSING MECHANISM AND GAS-TIGHT.
 - ALL WINDOWS LOCATED WITHIN 6" FROM GRADE, SHALL CONFORM TO CLAUSE 18.13 OF CANADIAN STANDARD A440-M10 AND 9.4.1 OBC (RESISTANCE TO FORCED ENTRY). SUPPLY AND INSTALL 1" SMOOTH CUT UNBROKEN THRESHOLD / SEAL AT ALL EXTERIOR DOORS (WINDOWS INCLUDING BASEMENT).
 - ALL GLAZED BALLES ARE TO SUSTAIN MINIMUM LOADS AS PER OBC 4.1.5.1 AND 5.8.9 FOR HEIGHT AND SPACING OF PICKETS, HANDRAILS AND TO COMPLY WITH 5.8.9 OBC.
 - ALL INTERIOR TRIM TO BE POPULAR (PAINT) UNLESS OTHERWISE NOTED. EXTERIOR TRIM TO BE #1 CLEAR PINE (PAINT). NOTE: USE KILN DRIED KNOTS PRIOR TO FINISH COAT. ALL WOOD TO BE KEPT DRY AND MUST NOT BE PAINTED IN TEMPERATURES OF LESS THAN 10 DEGREES CELSIUS.
 - ALL TRIM TO BE PRE-PAINTED (PRIMER - ONE COAT) PRIOR TO INSTALLATION.
 - CONTRACTOR MUST RECEIVE PERMISSION FROM OWNER PRIOR TO INSTALLATION OF JOB SIGN.
 - SEE INSTRUCTIONS TO CONTRACTOR FOR ADDITIONAL SPECIFICATIONS AND CASH ALLOWANCES.
 - CONTRACTOR TO USE FLEXIBLE CORNER BEAD AT ALL 90-DEGREE DRYWALL EDGES.
 - THESE WORKING DRAWINGS ARE BASED ON "MEASURED DRAWINGS" OF THE EXISTING BUILDING, NOT "RECORD DRAWINGS", WHICH ARE THE ORIGINAL CONSTRUCTION DRAWINGS. REVISED TO REFLECT AS-BUILT CONDITIONS. MEASUREMENTS HAVE BEEN TAKEN TO EXTERIOR SURFACES ONLY, AND EXCEPT WHERE NOTED OTHERWISE, THESE MEASUREMENTS TO BE USED FOR ALL CONSTRUCTION.
 - NO REPRESENTATION IS MADE THAT THE BUILDING CONFORMS TO ANY CODE REQUIREMENTS, OR ANY CONSTRUCTION DRAWINGS THAT MAY HAVE BEEN PREPARED BY OTHERS.

- ELECTRICAL SYSTEM**
- CONTRACTOR TO COORDINATE ELECTRICAL LIGHTS AND STUD LAYOUTS TO ACCOMMODATE THE ELECTRICAL POTLIGHTS, ETC. LOCATIONS.
 - NOTE: REPORT ANY LAYOUT DISCREPANCIES TO THE ARCHITECT PRIOR TO THE INSTALLATION.
 - SEE ALSO ATTACHED SELECTED CEILING PLANS AND ELECTRICAL SPECIFICATIONS.
 - CONTRACTOR TO INSTALL APPROVED ELECTRICAL PANELS OF ADEQUATE SIZE TO HANDLE ALL ELECTRICAL REQUIREMENTS.
 - CONTRACTOR TO ENSURE EXISTING ELECTRICAL PANEL(S) IS ADEQUATE TO SERVE BOTH EXISTING AND PROPOSED ADDITIONS POWER REQUIREMENTS.
 - CONTRACTOR RESPONSIBLE FOR OBTAINING ONTARIO HYDRO PERMIT.

- SURVEY NOTE**
- BUILDER / GENERAL CONTRACTOR MUST RETAIN THE SERVICES OF A PROFESSIONAL SURVEYOR FOR THE STAKING OUT OF NEW FOUNDATIONS. SURVEYOR MUST BE GIVEN 72 HOURS NOTICE BEFORE BEING REQUIRED ON SITE.

- TO BEGIN CONSTRUCTION**
- SITE FENCE: BUILDER / GENERAL CONTRACTOR MUST UNDOLE ENTIRE SITE WITH A FENCE THAT IS IN COMPLIANCE WITH THE CITY OF TORONTO MUNICIPAL CODE CHAPTER 203, ARTICLE 12.11.1.1. THE MIN. REQUIREMENT IS A PLASTIC MESH FENCE, 1.5M HIGH, TIED TO POSTS SPACED NO MORE THAN 1.5M APART, WITH AN 11 GAUGE TOP AND BOTTOM RAILS THREADED THROUGH THE MESH AND LOCKED AROUND EACH POST.
 - CONSTRUCTION NOISE: ANY CONSTRUCTION WHICH GENERATES NOISE IS PROHIBITED IN RESIDENTIAL AREAS BETWEEN THE HOURS OF 7:00PM ONE DAY TO 7:00AM THE NEXT DAY, SUNDAY AND ALL DAY SUNDAY AND STATUTORY HOLIDAYS.
 - CALL FOR INSPECTIONS: THE BUILDER / GENERAL CONTRACTOR IS REQUIRED TO NOTIFY THE BUILDING INSPECTION OFFICER AT VARIOUS STAGES OF CONSTRUCTION AS REQUIRED BY DIVISION C, PART 1, ARTICLE 1.3.1.1 OF THE ONTARIO BUILDING CODE. THE PHONE NUMBER FOR THE BUILDING INSPECTION OFFICER RESPONSIBLE FOR THE PROJECT IS TO BE PROVIDED IN THE PERMIT PLANS.
 - PERMIT PLANS: THE PERMIT PLANS AND SPECIFICATIONS MUST BE ON THE SITE AT ALL TIMES. THE PERMIT PLANS AND SPECIFICATIONS PROVIDED TO THE BUILDER / GENERAL CONTRACTOR WILL BE USED FOR INSPECTIONS.

CONSTRUCTION DETAILS	DETAIL
(A) EXISTING EXTERIOR WALL (WOOD SHED) - 1.100mm PINE FINE WALL, THAT COMPLY WITH OBC 3.8.2.1.1. - 1.30mm x 80mm (24" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C.	
(B) ARCHITECTURAL (WOOD SHED) EXTERIOR WALL - 1.100mm x 80mm (24" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C.	
(C) BEARING STUD WALL - 2.100mm x 80mm (24" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 2.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 2.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 2.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 2.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 2.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C.	
(D) BEARING STUD WALL - 2.100mm x 80mm (24" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 2.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 2.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 2.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 2.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 2.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C.	
(E) TIMBER - 1.100mm x 80mm (24" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C. - 1.100mm x 100mm (4" WOOD STUDS SPACED 400mm ON CENTER) G.C.	

FIRM NAME: QBS ARCHITECTS INC. 1000 BAYVIEW AVE. SUITE 401 SCARBOROUGH, ONTARIO M1B 2Y2 3493 3022		CERTIFICATE OF PRACTICE NUMBER: 2215		The architect hereby declares that the architect represents a person who is not a member of the Ontario Association of Architects.	
NAME OF PROJECT: PROPOSED NEW TWO STOREY DETACHED HOUSE LOCATION: 12 ST. JOHN'S RD., BRAMPTON, ONTARIO L6Y 4G4		DATE OF PROJECT: 2021-07-05		DATE OF DRAWING: 2021-07-05	
1. PROJECT DESCRIPTION: <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> NEW <input type="checkbox"/> PART 1 <input type="checkbox"/> PART 2 <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION		2. MAJOR OCCUPANCY: GROUP 1 RESIDENTIAL OCCUPANCY		3. BUILDING AREA (SQ. FT.): 1,100.00	
4. BUILDING AREA (SQ. FT.): 1,100.00		5. BUILDING AREA (SQ. FT.): 1,100.00		6. BUILDING AREA (SQ. FT.): 1,100.00	
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CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement
On This _____ Day of _____
Allan Parsons
Director, Development Services

PROJECT
12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002

CLIENT



15	ISSUED FOR ZONING	2021-05-10
14	ISSUED FOR ARCHITECT	2021-03-15
13	ISSUED FOR LCP	2021-03-04
12	ISSUED FOR CONSULTANTS	2021-02-08
11	ISSUED FOR TRCA	2021-02-01
10	ISSUED FOR SEPTIC	2021-01-25
09	ISSUED FOR TRCA	2020-12-17
08	ISSUED FOR ZONING	2020-08-17
07	ISSUED FOR ZONING REVIEW	2019-10-07
06	ISSUED FOR CONSULTANTS	2019-09-16
05	ISSUED FOR TRCA REVIEW	2019-08-16
04	REISSUED FOR CLIENT REVIEW	2019-07-16
03	REISSUED FOR CLIENT REVIEW	2019-07-03
02	REISSUED FOR CLIENT REVIEW	2019-06-12
01	REISSUED FOR CLIENT REVIEW	2019-05-31
00	REISSUED FOR ZONING	2019-07-05

REVISIONS

2021-07-08 12:44:29 PM

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SPA-2019-0054



DRAWING TITLE

SURVEY PLAN

DRAWN	JB	CHECKED	SA
SCALE @	ARCH D	DATE	2019-10-04
1" = 30'-0"			

GRAPHIC SCALE

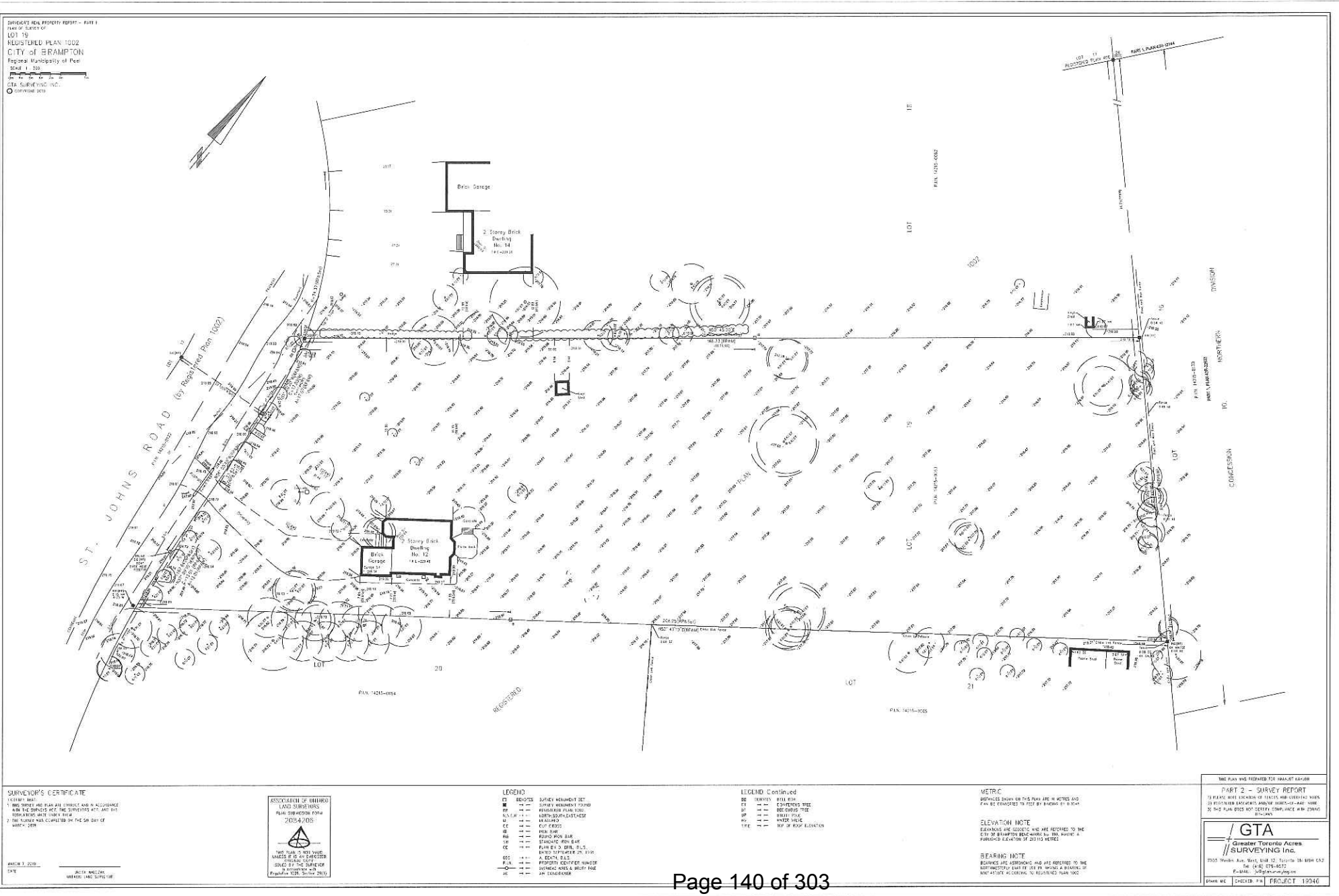
PROJECT NO. 190116 JRB

STAGE
ZR

DRAWING NO.
A0-002

LOCATION
BRAMPTON

REVISION
00



SURVEYOR'S CERTIFICATE
I, the undersigned, being a duly qualified and licensed Surveyor under the Survey Act, R.S.O. 1990, c. S.5, do hereby certify that the foregoing is a true and correct copy of the original survey plan as filed in my office.



- LEGEND
- BT - BENCH MARK
 - CP - CURB POINT
 - EP - ELEVATION POINT
 - GP - GROUND POINT
 - HP - HORIZONTAL POINT
 - IP - INTERIOR POINT
 - OP - OUTLINE POINT
 - RP - RIGHT OF WAY POINT
 - SP - STAKE POINT
 - TP - TIE POINT
 - WP - WATER POINT
 - XP - EXISTING POINT
 - YP - YARD POINT
 - ZP - ZONING POINT
- LEGEND Continued
- BT - BENCH MARK
 - CP - CURB POINT
 - EP - ELEVATION POINT
 - GP - GROUND POINT
 - HP - HORIZONTAL POINT
 - IP - INTERIOR POINT
 - OP - OUTLINE POINT
 - RP - RIGHT OF WAY POINT
 - SP - STAKE POINT
 - TP - TIE POINT
 - WP - WATER POINT
 - XP - EXISTING POINT
 - YP - YARD POINT
 - ZP - ZONING POINT

METRIC
DIMENSIONS SHOWN ON THIS PLAN ARE IN METRIC AND SHALL BE CONSIDERED TO BE THE MOST ACCURATE.

ELEVATION NOTE
ELEVATIONS ARE GIVEN IN METERS AND ARE REFERRED TO THE CITY OF BRAMPTON DATUM. THE DATUM IS A PUBLISHED ELEVATION OF 2011.5 METERS.

BEARING NOTE
BEARINGS ARE GIVEN IN DEGREES AND ARE REFERRED TO THE NORTH. THE BEARING IS THE TRUE BEARING UNLESS OTHERWISE NOTED.


THIS PLAN WAS PREPARED FOR PROJECT 190116 JRB
PART 2 - SURVEY REPORT
THIS PLAN WAS PREPARED FOR PROJECT 190116 JRB
THIS PLAN WAS PREPARED FOR PROJECT 190116 JRB

GTA
Greater Toronto Area
SURVEYING INC.
2005 Dundas Ave. West, Unit 12, Toronto, ON M6H 4G7
Tel: (416) 596-8877
Fax: (416) 596-8878
Email: info@gtasurveying.com

PROJECT

12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002

CLIENT



15	ISSUED FOR ZONING	2021-05-10
14	ISSUED FOR ARBORIST	2021-05-16
13	ISSUED FOR LGP	2021-03-04
12	ISSUED FOR CONSULTANTS	2021-02-09
11	ISSUED FOR TRCA	2021-02-01
10	ISSUED FOR SEPTIC	2021-01-26
09	ISSUED FOR TRCA	2020-12-17
08	ISSUED FOR ZONING	2020-08-17
07	ISSUED FOR ZONING REVIEW	2019-10-07
06	ISSUED FOR CONSULTANTS	2019-09-16
05	ISSUED FOR TRCA REVIEW	2019-08-16
04	REISSUED FOR CLIENT REVIEW	2019-07-16
03	REISSUED FOR CLIENT REVIEW	2019-07-03
02	REISSUED FOR CLIENT REVIEW	2019-06-12
01	REISSUED FOR CLIENT REVIEW	2019-05-31
00	REISSUED FOR ZONING	2021-07-08


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SABA AL MATHJO
LICENSE
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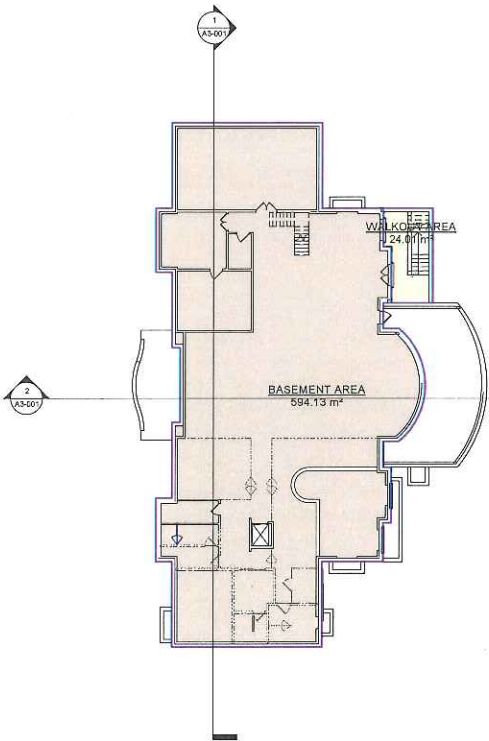
SPA-2019-0054


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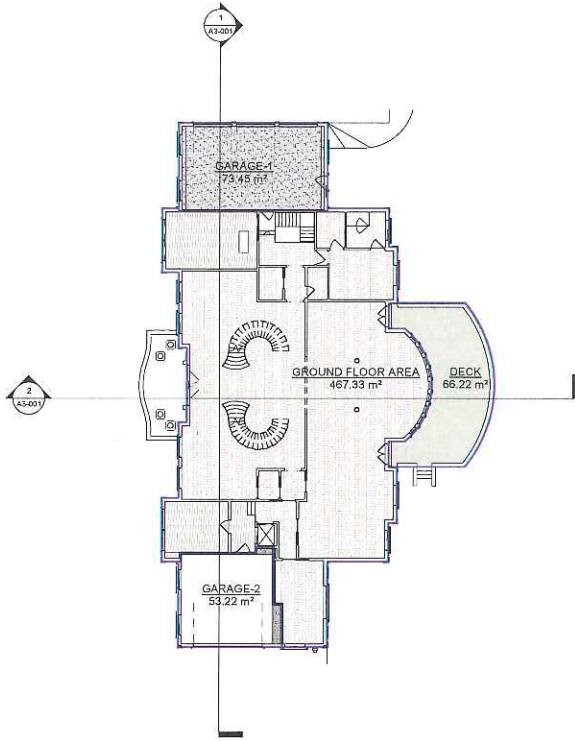
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PROPOSED FLOOR AREA
DIAGRAM

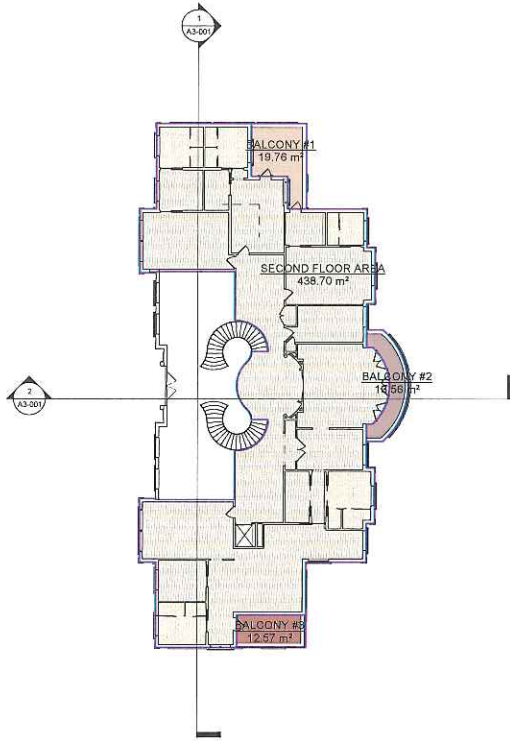
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SCALE @ ARCH D	1 : 200	DATE	2019-10-04
		GRAPHIC SCALE	
PROJECT NO.		190116 JRB	
STAGE	DRAWING NO.		
ZR	A0-004		
LOCATION	BRAMPTON	REVISION	00



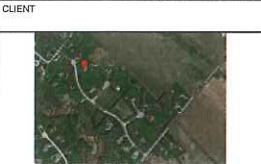
1 KEY AREA FOR BASEMENT FLOOR
1 : 200



2 KEY AREA FOR GROUND FLOOR
1 : 200



3 KEY AREA FOR SECOND FLOOR
1 : 200



15	ISSUED FOR ZONING	2021-05-10
14	ISSUED FOR ARBORIST	2021-03-15
13	ISSUED FOR LGP	2021-03-04
12	ISSUED FOR CONSULTANTS	2021-02-09
11	ISSUED FOR TRCA	2021-02-01
10	ISSUED FOR SEPTIC	2021-01-28
09	ISSUED FOR TRCA	2020-12-17
08	ISSUED FOR ZONING	2020-08-17
07	ISSUED FOR ZONING REVIEW	2019-10-07
06	ISSUED FOR CONSULTANTS	2019-09-16
05	ISSUED FOR TRCA REVIEW	2019-08-16
04	REISSUED FOR CLIENT REVIEW	2019-07-16
03	REISSUED FOR CLIENT REVIEW	2019-07-03
02	REISSUED FOR CLIENT REVIEW	2019-06-12
01	REISSUED FOR CLIENT REVIEW	2019-05-31
00	REISSUED FOR ZONING	2021-07-05

REVISIONS

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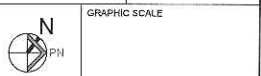
SPA-2019-0054



DRAWING TITLE
LANDSCAPING CALCULATION

DRAWN	JB	CHECKED	SA
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SCALE @ ARCH D	DATE
1:200	2019-10-04



PROJECT NO. 190116 JRB

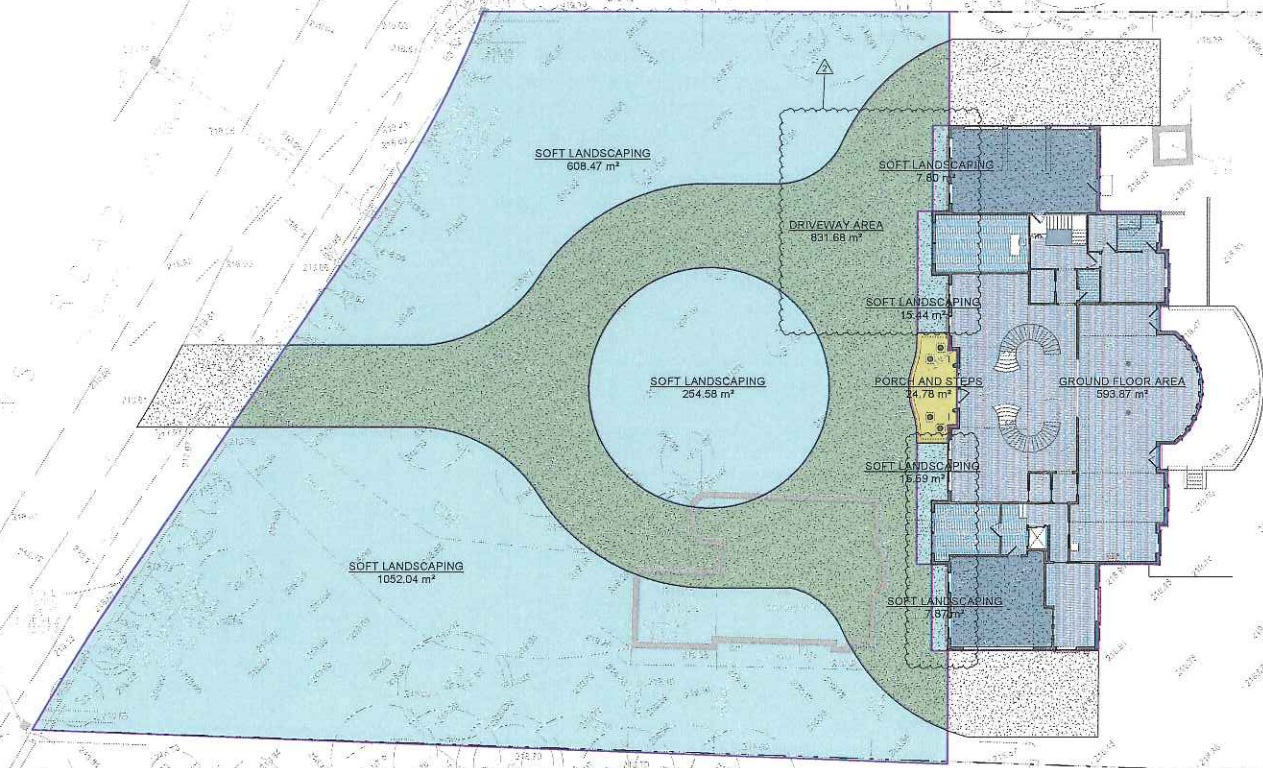
STAGE	DRAWING NO.
ZR	A0-005

LOCATION	REVISION
BRAMPTON	00

FRONT YARD LANDSCAPING CALCULATION

- DRIVEWAY AREA
- GROUND FLOOR AREA
- PORCH AND STEPS
- SOFT LANDSCAPING

12 ST. JOHNS RD- FRONT YARD LANDSCAPING CALCULATION		
	(SQ. FT.)	(SQ. M.)
TOTAL FRONT YARD AREA	2025	2019.28
DRIVEWAY AREA	1382	531.08
PORCH, STEP, WALKWAY	567	247.70
PROPOSED FRONTYARD LANDSCAPE AREA	2473	180.53
PROPOSED FRONTYARD SOFT LANDSCAPE AREA	8537	747.24
PROPOSED LANDSCAPE OPEN AREA 100%	2024	2019.28




CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement
On This _____ Day of _____
Allan Parsons
Director, Development Services

PROJECT

12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002

CLIENT



15	ISSUED FOR ZONING	2021-05-10
14	ISSUED FOR ARCHITECT	2021-03-15
13	ISSUED FOR LCP	2021-03-04
12	ISSUED FOR CONSULTANTS	2021-02-09
11	ISSUED FOR TRCA	2021-02-01
10	ISSUED FOR SEPTIC	2021-01-26
09	ISSUED FOR TRCA	2020-12-17
08	ISSUED FOR ZONING	2020-06-17
07	ISSUED FOR ZONING REVIEW	2019-10-07
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04	REISSUED FOR CLIENT REVIEW	2019-07-16
03	REISSUED FOR CLIENT REVIEW	2019-07-03
02	REISSUED FOR CLIENT REVIEW	2019-06-12
01	REISSUED FOR CLIENT REVIEW	2019-05-31
00	REISSUED FOR ZONING	2021-07-05


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DRAWING TITLE

PROPOSED BASEMENT PLAN

DRAWN	JB	CHECKED	SA
SCALE	ARCH D 1 : 200	DATE	2019-10-04



GRAPHIC SCALE

PROJECT NO.
190116 JRB

STAGE	DRAWING NO.
ZR	A1-001

LOCATION BRAMPTON	REVISION 00
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Page 143 of 303

CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This ____ Day of ____
Allan Parsons
Director, Development Services

PROJECT
12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002

CLIENT



15	ISSUED FOR ZONING	2021-05-10
14	ISSUED FOR ARCHITECT	2021-03-15
13	ISSUED FOR LGP	2021-03-04
12	ISSUED FOR CONSULTANTS	2021-02-09
11	ISSUED FOR TRCA	2021-02-01
10	ISSUED FOR SEPTIC	2021-01-26
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07	ISSUED FOR ZONING REVIEW	2019-10-07
06	ISSUED FOR CONSULTANTS	2019-09-16
05	ISSUED FOR TRCA REVIEW	2019-08-16
04	REISSUED FOR CLIENT REVIEW	2019-07-16
03	REISSUED FOR CLIENT REVIEW	2019-07-03
02	REISSUED FOR CLIENT REVIEW	2019-06-12
01	REISSUED FOR CLIENT REVIEW	2019-05-31
00	REISSUED FOR ZONING	2021-07-05

REVISIONS

2021-07-06 12:44:52 PM

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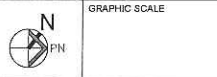


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DRAWING TITLE

PROPOSED GROUND FLOOR
PLAN

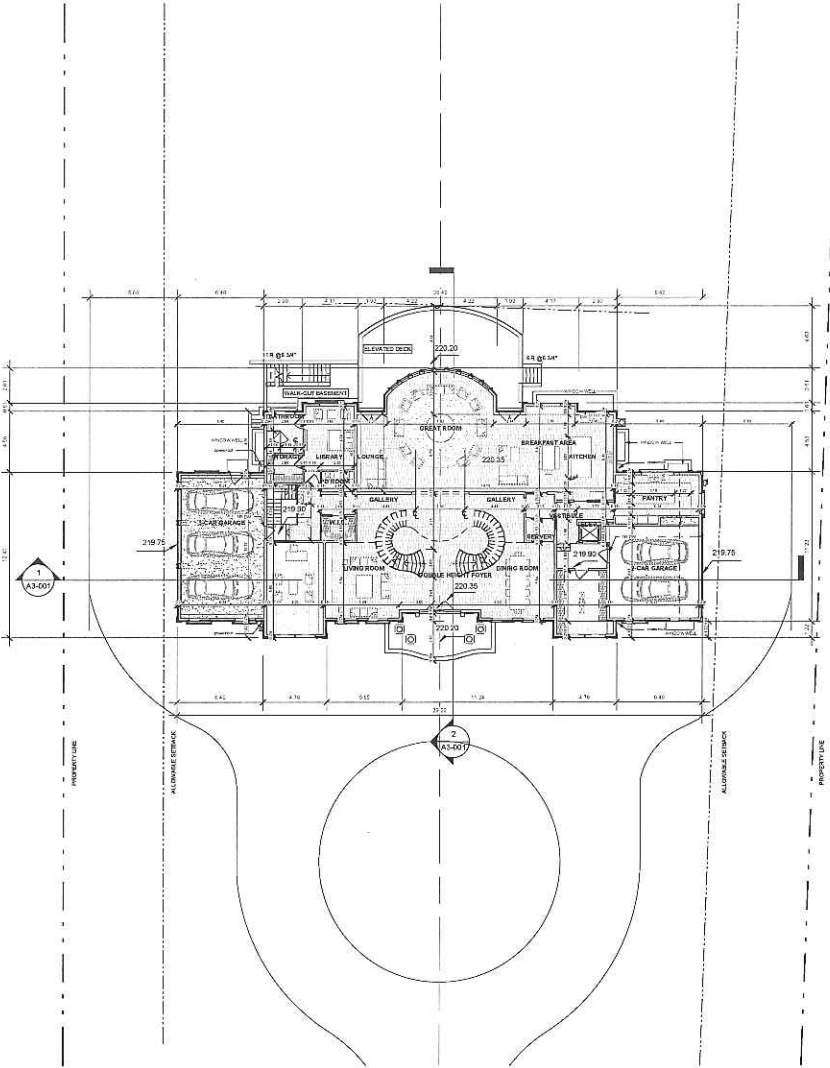
DRAWN	JB	CHECKED	SA
SCALE @ ARCH D	1:200	DATE	2019-10-04



PROJECT NO. 190116 JRB

STAGE
ZR
DRAWING NO.
A1-002

LOCATION
BRAMPTON
REVISION
00



GROUND FLOOR AREA (EXCLUDING GARAGE) = 467.22 SQM/5029.11 SF

GARAGES AREAS =

73.45 + 63.22= 126.67 SQM/1363.46 SF

CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement
On This ____ Day of _____
Allan Parsons
Director, Development Services

PROJECT
12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002

CLIENT



15	ISSUED FOR ZONING	2021-05-10
14	ISSUED FOR ARBORIST	2021-03-16
13	ISSUED FOR L.G.P.	2021-03-04
12	ISSUED FOR CONSULTANTS	2021-02-09
11	ISSUED FOR TRCA	2021-03-01
10	ISSUED FOR SEPTIC	2021-01-28
09	ISSUED FOR TRCA	2020-12-17
08	ISSUED FOR ZONING	2020-06-17
07	ISSUED FOR ZONING REVIEW	2019-10-07
06	ISSUED FOR CONSULTANTS	2019-09-16
05	ISSUED FOR TRCA REVIEW	2019-06-16
04	REISSUED FOR CLIENT REVIEW	2019-07-16
03	REISSUED FOR CLIENT REVIEW	2019-07-03
02	REISSUED FOR CLIENT REVIEW	2019-06-12
01	REISSUED FOR CLIENT REVIEW	2019-05-31
00	REISSUED FOR ZONING	2021-07-08

REVISIONS

2021-07-08 12:44:54 PM
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TORONTO - CANADA 416-545-2040 info@qbsarchitects.com

DRAWING TITLE
PROPOSED SECOND FLOOR
PLAN

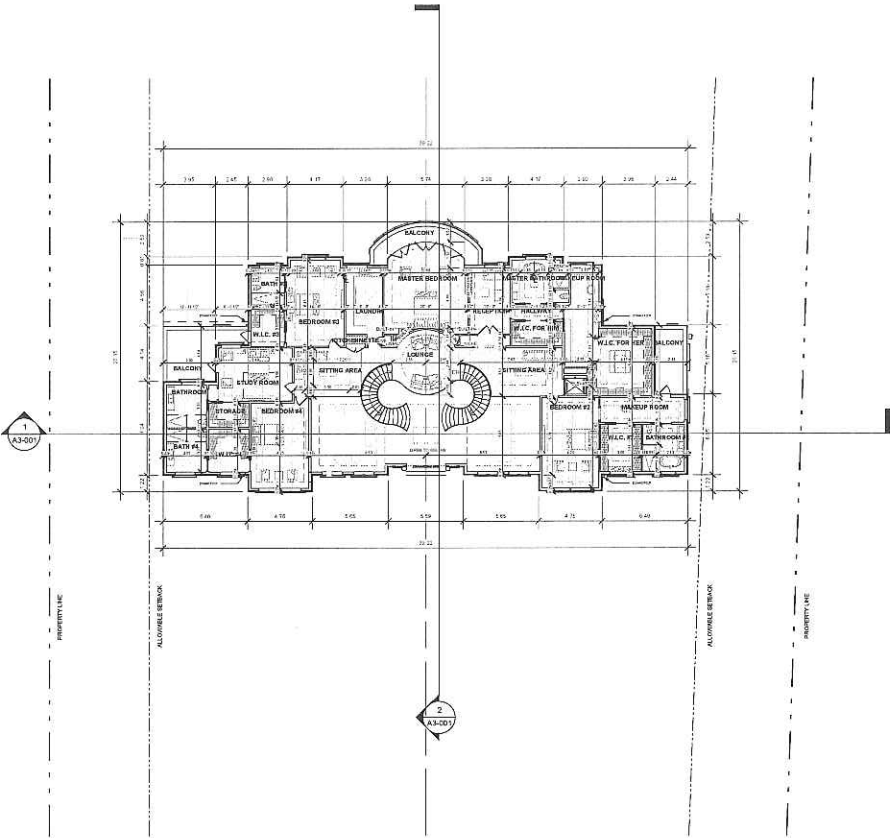
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SCALE @ ARCH D 1 : 200	DATE 2019-10-04



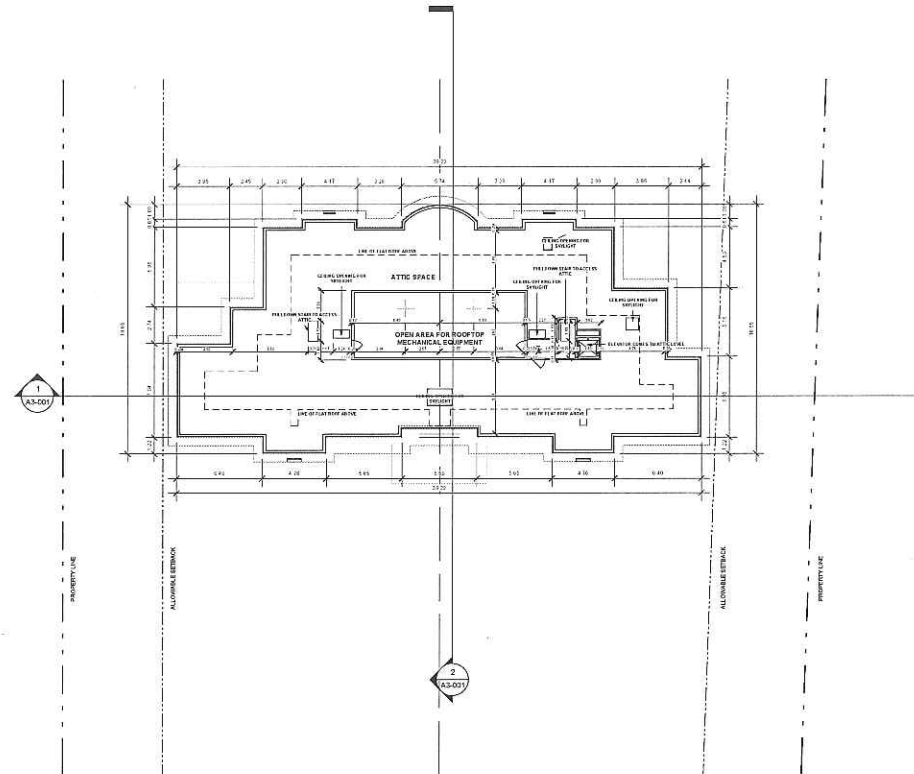
PROJECT NO. 190116 JRB

STAGE
ZR
DRAWING NO.
A1-003

LOCATION
BRAMPTON
REVISION
00

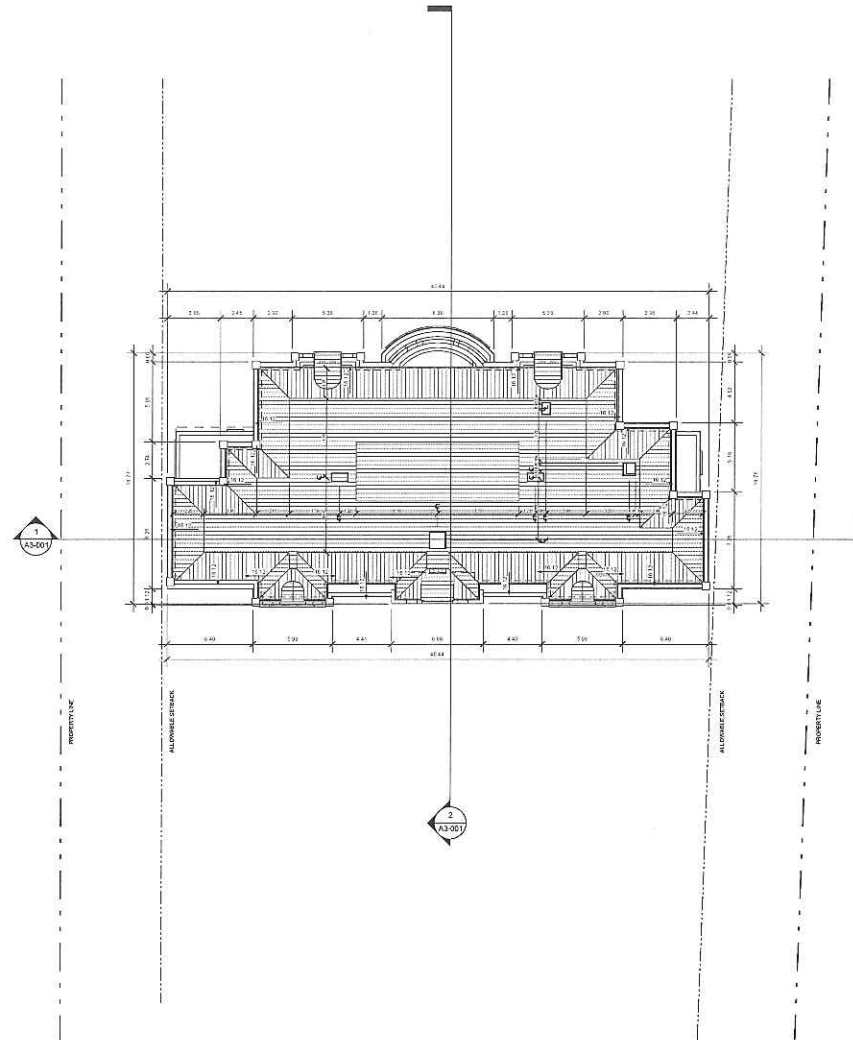


SECOND FLOOR AREA (EXCLUDING VOID)= 4722.12
SQFT-438.7 SQM



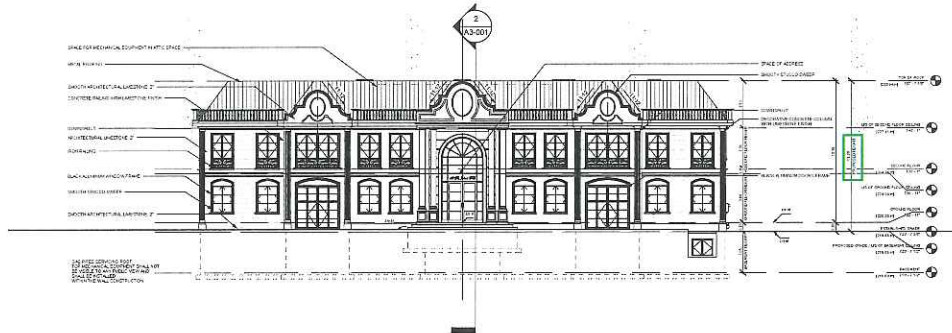
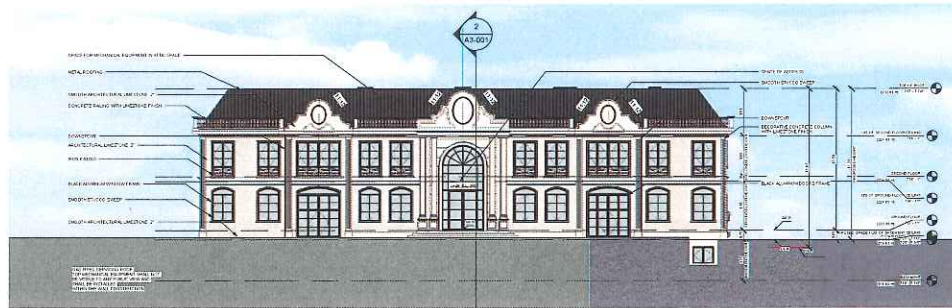
CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This ___ Day of _____
Allan Parsons
Director, Development Services

PROJECT	
12 ST. JOHNS RD. BRAMPTON-LOT 19 REGISTERED PLAN 1002	
CLIENT	
15	ISSUED FOR ZONING 2021-05-10
14	ISSUED FOR ARCHITECT 2021-03-15
13	ISSUED FOR LGP 2021-03-04
12	ISSUED FOR CONSULTANTS 2021-02-09
11	ISSUED FOR TRCA 2021-02-01
10	ISSUED FOR SEPTIC 2021-01-28
09	ISSUED FOR TRCA 2020-12-17
08	ISSUED FOR ZONING 2020-08-17
07	ISSUED FOR ZONING REVIEW 2019-10-07
06	ISSUED FOR CONSULTANTS 2019-09-16
05	ISSUED FOR TRCA REVIEW 2019-08-16
04	REISSUED FOR CLIENT REVIEW 2019-07-16
03	REISSUED FOR CLIENT REVIEW 2019-07-03
02	REISSUED FOR CLIENT REVIEW 2019-06-12
01	REISSUED FOR CLIENT REVIEW 2019-05-31
00	REISSUED FOR ZONING 2021-07-06
REVISIONS	
2021-07-06 12:44:55 PM	
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CONSULTANTS	
SPA-2019-0054	
DRAWING TITLE	
PROPOSED ATTIC PLAN	
DRAWN	CHECKED
JB	SA
SCALE @ ARCH D	DATE
1 : 200	2019-10-04
GRAPHIC SCALE	
PROJECT NO.	
190116 JRB	
STAGE	DRAWING NO.
ZR	A1-004
LOCATION	REVISION
BRAMPTON	00



CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This _____ Day of _____
Allan Parsons
Director, Development Services

PROJECT			
12 ST. JOHNS RD. BRAMPTON-LOT 19 REGISTERED PLAN 1002			
CLIENT			
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12	ISSUED FOR CONSULTANTS	2021-02-09	
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09	ISSUED FOR TRCA	2020-12-17	
08	ISSUED FOR ZONING	2020-06-17	
07	ISSUED FOR ZONING REVIEW	2019-10-07	
06	ISSUED FOR CONSULTANTS	2019-09-16	
05	ISSUED FOR TRCA REVIEW	2019-06-16	
04	REISSUED FOR CLIENT REVIEW	2019-07-16	
03	REISSUED FOR CLIENT REVIEW	2019-07-03	
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00	REISSUED FOR ZONING	2021-07-06	
REVISIONS			
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Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright. ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.			
CONSULTANTS			
SPA-2019-0054			
TORONTO - CANADA 416 646 2640 info@qbsarchitects.com			
DRAWING TITLE			
PROPOSED ROOF PLAN			
DRAWN	J.B.	CHECKED	S.A.
SCALE @	ARCH'D	DATE	2019-10-04
1:200			
GRAPHIC SCALE			
PROJECT NO.			
190116 JRB			
STAGE	DRAWING NO.		
ZR	A1-005		
LOCATION	REVISION		
BRAMPTON	00		



CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This ___ Day of _____
Allan Parsons
Director, Development Services

ARCHITECTURAL SMOOTH LIMESTONE
TICKERS: 2"
12"X24" OR SIMILAR

BLACK METAL ROOFING
OR SIMILAR



CONCRETE RAILING
WITH LIMESTONE
FINISH



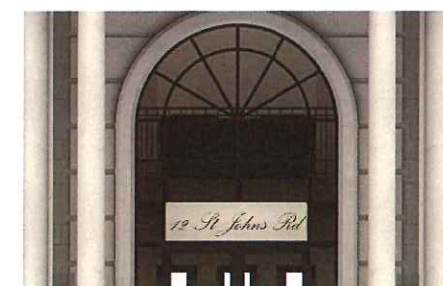
IRON RAILING



DECORATIVE
CONCRETE COLUMN
WITH LIMESTONE
FINISH



BLACK ALUMINUM
FRAME DOORS AND
WINDOWS



MUNICIPAL ADDRESS

PROJECT
**12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002**

CLIENT

15	ISSUED FOR ZONING	2021-05-10
14	ISSUED FOR ARBORIST	2021-03-15
13	ISSUED FOR LGP	2021-03-04
12	ISSUED FOR CONSULTANTS	2021-02-09
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REVISIONS

2021-07-06 12:45:23 PM

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DRAWING TITLE
**PROPOSED FRONT
(SOUTH-WEST) ELEVATION**

DRAWN JB	CHECKED SA
SCALE @ ARCH D 1 : 200	DATE 2019-10-04

GRAPHIC SCALE

PROJECT NO. 190116 JRB	
STAGE ZR	DRAWING NO. A2-001
LOCATION BRAMPTON	REVISION 00



CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This _____ Day of _____
Allan Parsons
Director, Development Services

ARCHITECTURAL SMOOTH LIMESTONE
THICKNESS-2
12"X24" OR SIMILAR



CONCRETE RAILING
WITH LIMESTONE
FINISHED



GLASS WALL



DECORATIVE
CONCRETE COLUMN
WITH LIMESTONE
FINISHED



BLACK METAL ROOFING
OR SIMILAR



IRON RAILING



BLACK ALUMINUM
FRAME DOORS AND
WINDOWS

PROJECT

12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002

CLIENT



15	ISSUED FOR ZONING	2021-05-10
14	ISSUED FOR ARBORIST	2021-05-16
13	ISSUED FOR LCP	2021-03-04
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07	ISSUED FOR ZONING REVIEW	2019-10-07
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00	REISSUED FOR ZONING	2021-07-08

REVISIONS

2021-07-08 12:45:39 PM

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DRAWING TITLE

PROPOSED BACKSIDE
(NORTH-EAST) ELEVATION

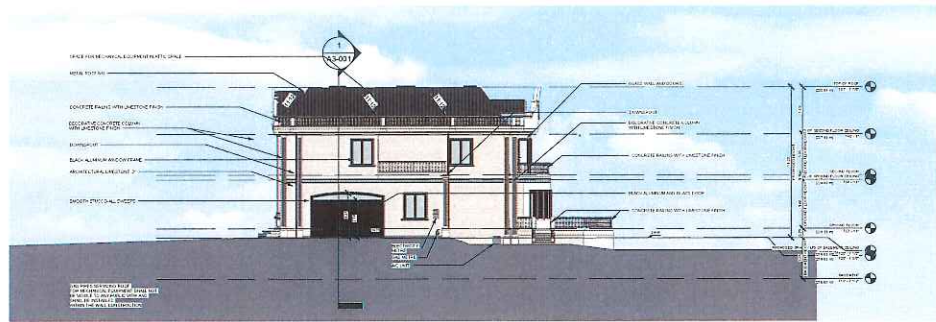
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SCALE @	ARCH D	DATE	2019-10-04
	1 : 200		

GRAPHIC SCALE

PROJECT NO. 190116 JRB

STAGE
ZR
DRAWING NO.
A2-002

LOCATION
BRAMPTON
REVISION
00



ARCHITECTURAL SMOOTH LIMESTONE
THICKNESS 2"
12X24\"/>



CONCRETE RAILING
WITH LIMESTONE
FINISHED



GLASS WALL



DECORATIVE
CONCRETE COLUMN
WITH LIMESTONE
FINISHED



BLACK METAL ROOFING
OR SIMILAR



IRON RAILING



BLACK ALUMINUM
FRAME DOORS AND
WINDOWS

CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This ___ Day of ___

Allan Parsons
Director, Development Services

PROJECT

12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002

CLIENT



15	ISSUED FOR ZONING	2021-05-10
14	ISSUED FOR ARBORIST	2021-05-16
13	ISSUED FOR LGP	2021-03-04
12	ISSUED FOR CONSULTANTS	2021-03-09
11	ISSUED FOR TRCA	2021-02-01
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03	REISSUED FOR CLIENT REVIEW	2019-07-03
02	REISSUED FOR CLIENT REVIEW	2019-06-12
01	REISSUED FOR CLIENT REVIEW	2019-05-31
00	REISSUED FOR ZONING	2021-07-06

REVISIONS

2021-07-06 12:45:52 PM

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DRAWING TITLE

PROPOSED RIGHT SIDE
(SOUTH-EAST) ELEVATION

DRAWN JB CHECKED SA

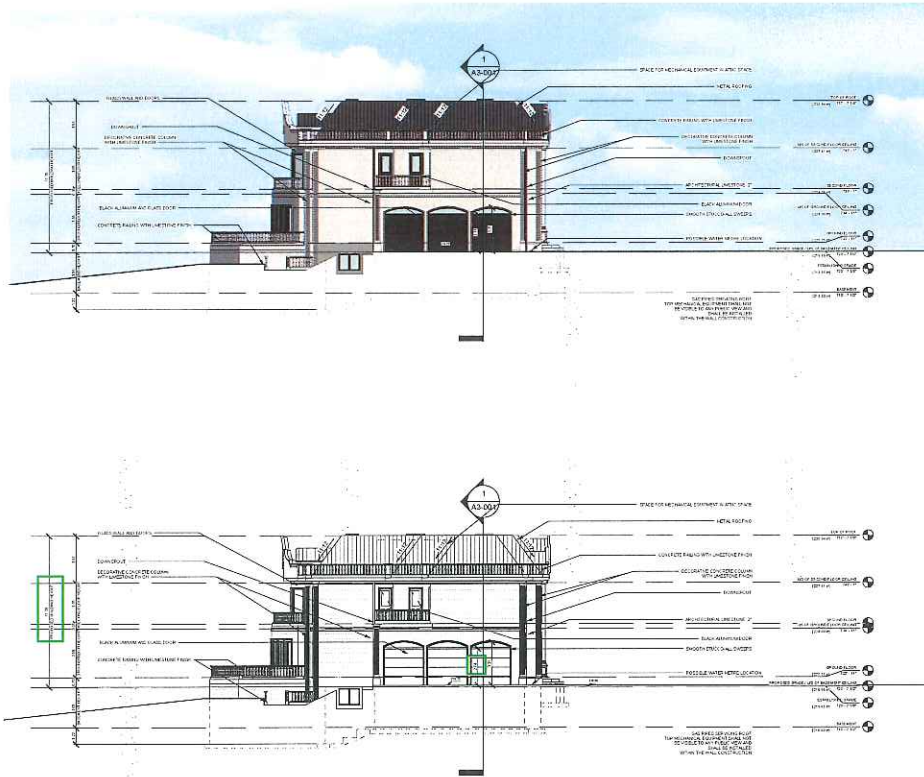
SCALE @ ARCH D 1:200 DATE 2019-10-04

GRAPHIC SCALE

PROJECT NO. 190116 JRB

STAGE DRAWING NO.
ZR A2-003

LOCATION BRAMPTON REVISION 00



CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement ☐
On This _____ Day of _____
Allan Parsons
Director, Development Services

ARCHITECTURAL SMOOTH LIMESTONE
THICKNESS 2"
12"X24" OR SIMILAR



CONCRETE RAILING
WITH LIMESTONE
FINISH



GLASS WALL



DECORATIVE
CONCRETE COLUMN
WITH LIMESTONE
FINISH






BLACK METAL ROOFING
OR SIMILAR



IRON RAILING



BLACK ALUMINUM
FRAME DOORS AND
WINDOWS

PROJECT 12 ST. JOHNS RD. BRAMPTON-LOT 19 REGISTERED PLAN 1002		
CLIENT 		
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14	ISSUED FOR ARBORIST	2021-03-16
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REVISIONS		
2021-07-06 12:48:05 PM		
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CONSULTANTS 		
SPA-2019-0054		
 TORONTO - CANADA 416 546 2040 info@qbsarchitects.com		
DRAWING TITLE PROPOSED LEFT SIDE (NORTH -WEST) ELEVATION		
DRAWN JB	CHECKED SA	
SCALE @ ARCH D 1 : 200	DATE 2019-10-04	
GRAPHIC SCALE		
PROJECT NO. 190116 JRB		
STAGE ZR	DRAWING NO. A2-004	
LOCATION BRAMPTON	REVISION 00	

CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement
On This _____ Day of _____
Allan Parsons
Director, Development Services

PROJECT
12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002

CLIENT



15	ISSUED FOR ZONING	2021-05-10
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12	ISSUED FOR CONSULTANTS	2021-02-08
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09	ISSUED FOR TRCA	2020-12-17
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02	REISSUED FOR CLIENT REVIEW	2019-06-12
01	REISSUED FOR CLIENT REVIEW	2019-05-31
00	REISSUED FOR ZONING	2021-07-06

REVISIONS

2021-07-06 12:46:07 PM

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DRAWING TITLE

SECTION A-A AND B-B

DRAWN JB	CHECKED SA
SCALE @ ARCH D 1 : 200	DATE 2019-10-04



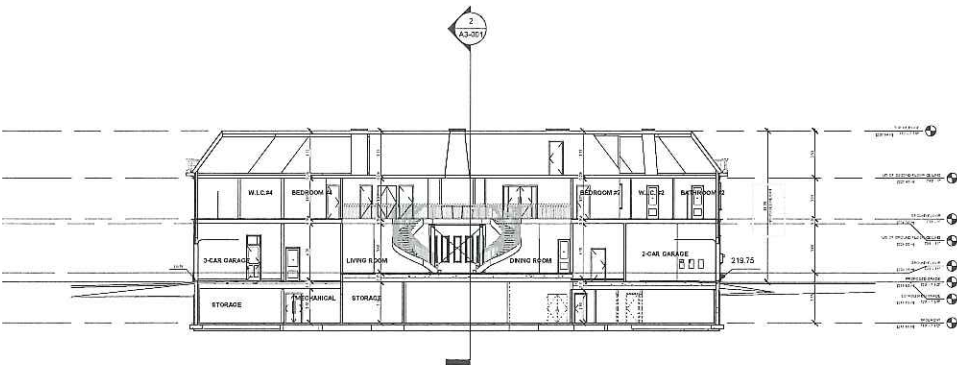
PROJECT NO. 190116 JRB

STAGE
ZR

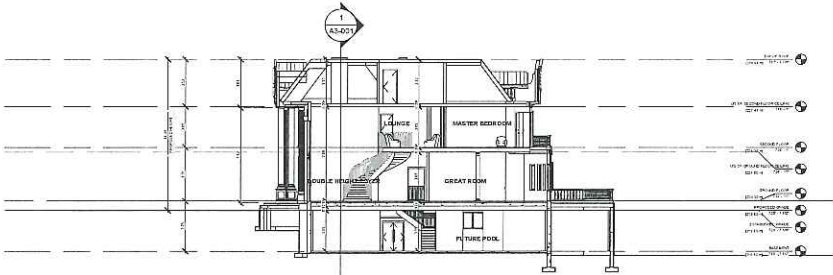
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A3-001

LOCATION
BRAMPTON

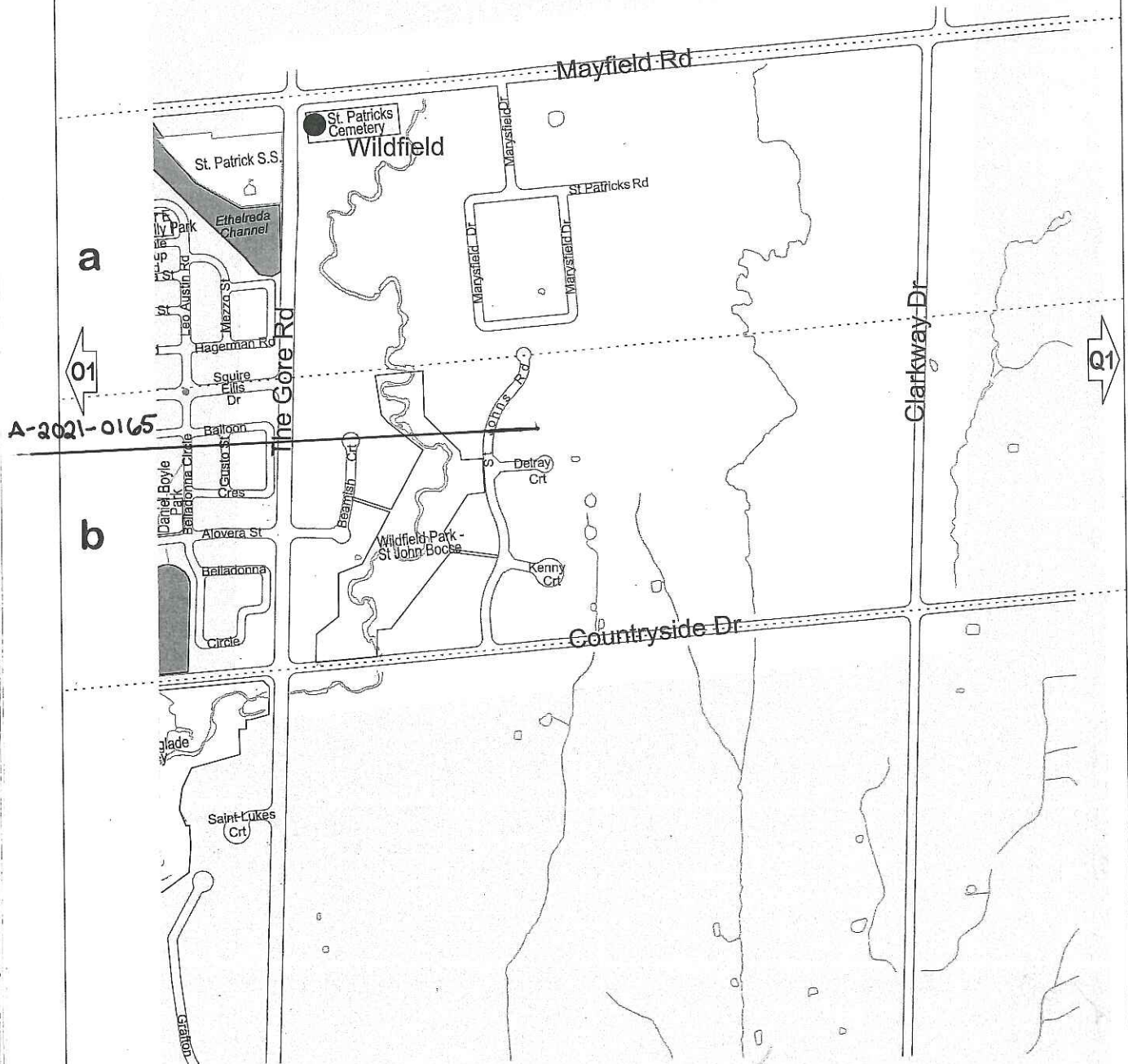
REVISION
00



1 SECTION A-A
1 : 200



2 SECTION B-B
1 : 200



APPLICATION # A-2021-0167
WARD #3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **HAKAM SINGH SANDHU AND SURINDERPAL KAUR SANDHU** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lots 32 and 33, Plan D14 municipally known as **11 HILLCREST AVENUE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit interior side yard setbacks of 1.24m (4.07 ft.) and 1.5m (4.92 ft.) whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.);
2. To permit a building height of 9.01m (30 ft.) whereas the by-law permits a maximum building height of 8.5m (27.89 ft.);
3. To permit lot coverage of 38.8% whereas the by-law permits a maximum lot coverage of 30%.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision:	<u>NO</u>	File Number:	<u></u>
Application for Consent:	<u>NO</u>	File Number:	<u></u>

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

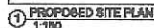
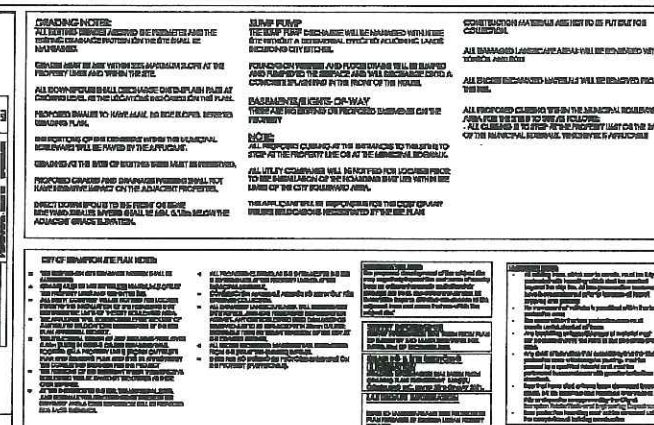
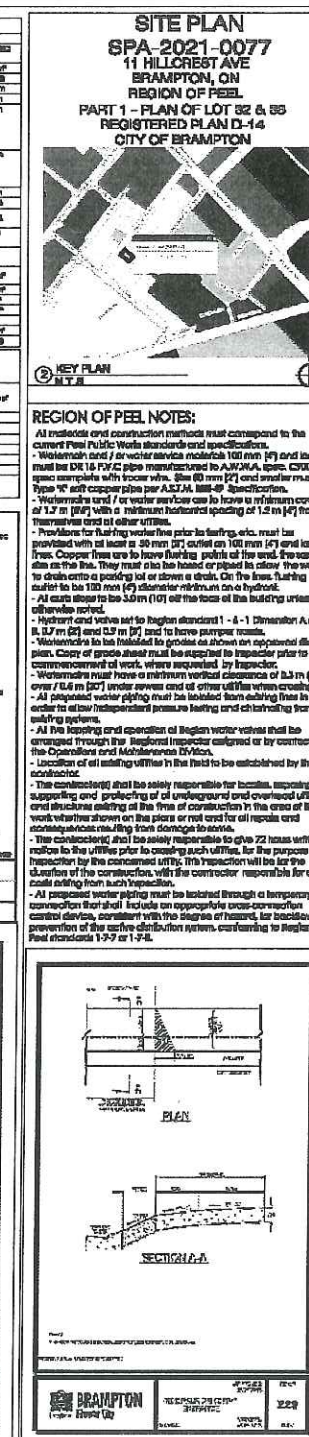
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

[illegible][illegible]

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021.**
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021.**
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021.** City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: **A-2021-0167**

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Hakam Singh Sandhu and Surinderpal Kaur Sandhu
Address 16 Brigend Cres, Brampton ON L6P 1K6

Phone # 647-740-4332 **Fax #** _____
Email sparkimpex@gmail.com

2. **Name of Agent** Amitpal Bansal
Address 106 Fruitvale Circle, Brampton ON L7A 5C1

Phone # 647-468-2940 **Fax #** _____
Email abansal@tkqeast.ca

3. **Nature and extent of relief applied for (variances requested):**
1) Side yard setback - proposed 1.24m whereas 1.8m is permitted
2) Maximum Lot Coverage - Proposed 38.8% whereas permitted is 30%
3) Max. building height - Proposed 9.01m whereas permitted is 8.5m

4. **Why is it not possible to comply with the provisions of the by-law?**
Multi-generational family would like to build their forever home and require additional ground floor area to accommodate the desired spaces on the second floor which result in the need for a variance for the lot coverage. We understand that there has been a house on the same street within close proximity that was approved for 41.9% (A19-010). All other variance we feel are minor in nature.

5. **Legal Description of the subject land:**
Lot Number LOT 32 AND 33, REGISTERED PLAN D-14
Plan Number/Concession Number _____
Municipal Address 11 HILLCRES AVENUE

6. **Dimension of subject land (in metric units)**
Frontage 18.29
Depth 30.48
Area 557.5 sq.m

7. **Access to the subject land is by:**
Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐
Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

- 1) 1 storey single family dwelling - 126 m², approx. 5m height
2) Frame Garage - 30.6 m² approx 3m height

PROPOSED BUILDINGS/STRUCTURES on the subject land:

New 2 storey single family dwelling - 375.7 GFAM², 9m height, 15.54m x 14.33m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	2.04m
Rear yard setback	37.33m
Side yard setback	2.46m
Side yard setback	7.61m

PROPOSED

Front yard setback	7.27 to main house
Rear yard setback	3.38 m
Side yard setback	1.24 m
Side yard setback	1.50m

10. Date of Acquisition of subject land: March 23, 2021
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: approx 1960's
15. Length of time the existing uses of the subject property have been continued: approx. 61 years
16. (a) What water supply is existing/proposed?
Municipal ☒
Well ☐ Other (specify) _____
- (b) What sewage disposal is/will be provided?
Municipal ☒
Septic ☐ Other (specify) _____
- (c) What storm drainage system is existing/proposed?
Sewers ☒
Ditches ☐
Swales ☐ Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton _____

THIS July _____ DAY OF _____, 2021

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Hakam Singh Savetly and
We, Gurinderpal Paul Sandhu OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF Brampton

IN THE Region OF

Peel THIS 9th DAY OF
July 2021

H. Sandhu
Signature of Applicant or Authorized Agent

Submit by Email

RAMINDERPAL SINGH SIDHU
Barrister, Solicitor & Notary Public
60 COTTRELL BLVD., UNIT 8

BRAMPTON, ON L6S 0E1 FOR OFFICE USE ONLY
P: (905) 796-1010 F: (905) 795-9577

Present Zoning By-law Classification:

R1B (Mature)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

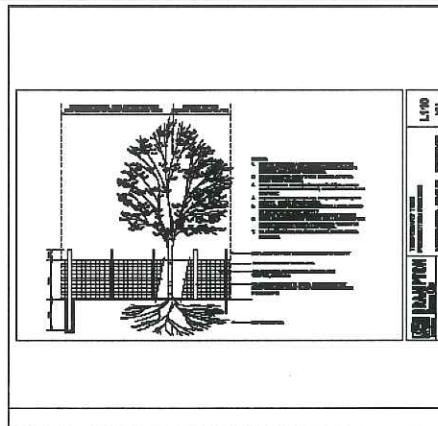
T. Hynes
Zoning Officer

July 23, 2021
Date

DATE RECEIVED
Date Application Deemed
Complete by the Municipality

July 23, 2021
July 27, 2021

Revised 2020/1/67

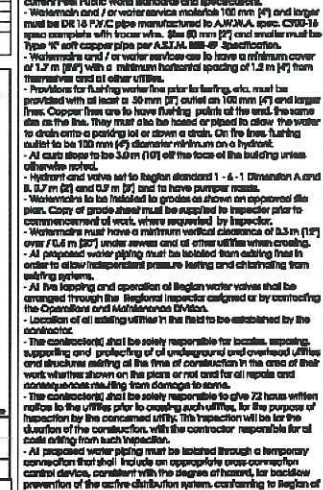
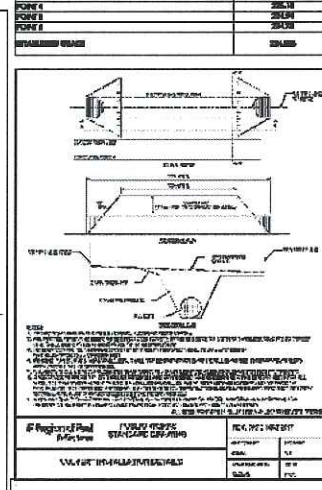
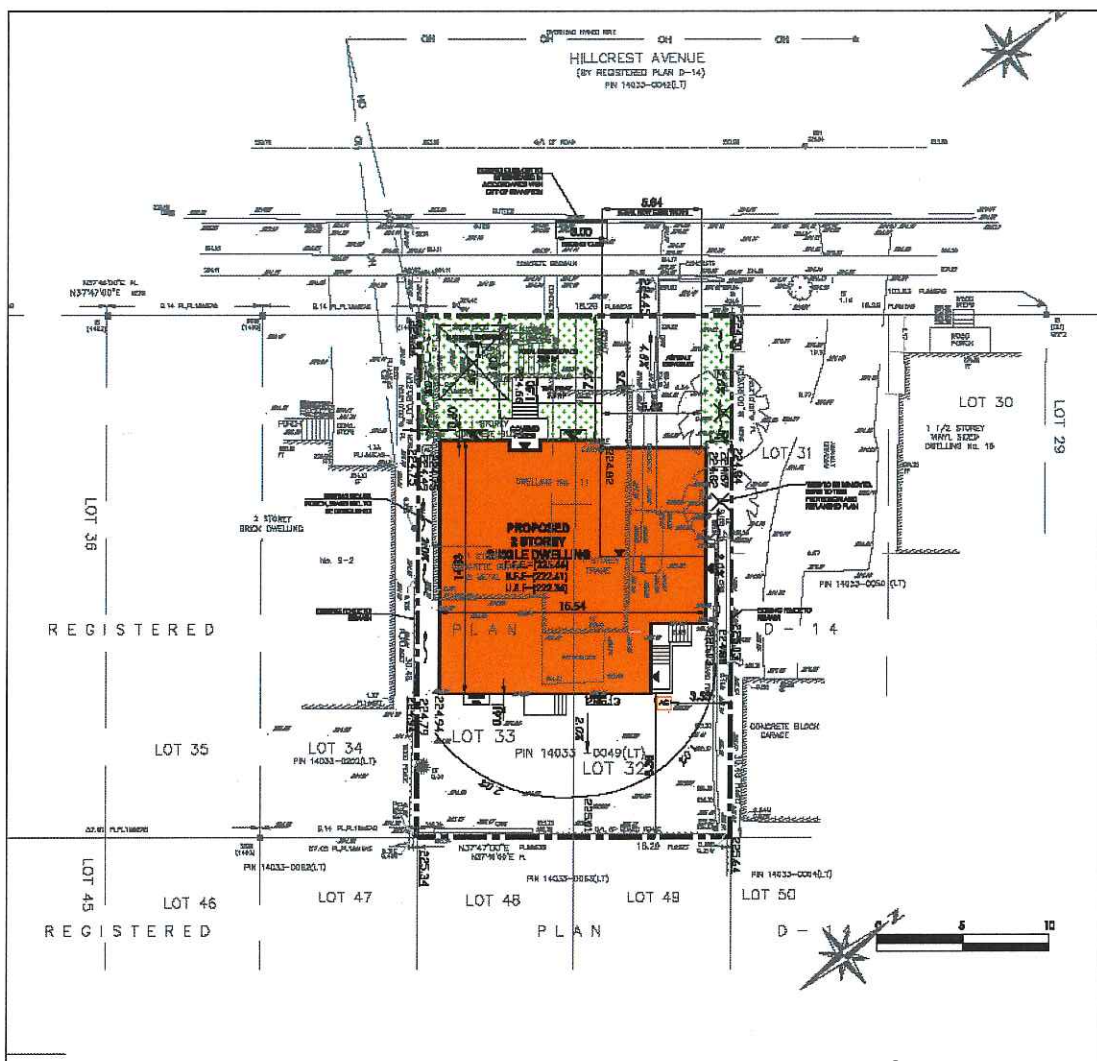
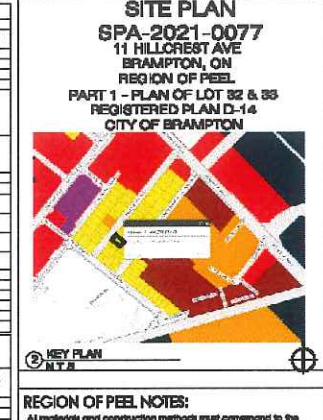


GRADING NOTES:
ALL EXISTING GRADES AND ELEVATIONS ARE TO BE MAINTAINED UNLESS OTHERWISE NOTED ON THE SITE PLAN.
THE PROPOSED GRADE SHALL BE MAINTAINED UNLESS OTHERWISE NOTED ON THE SITE PLAN.
THE PROPOSED GRADE SHALL BE MAINTAINED UNLESS OTHERWISE NOTED ON THE SITE PLAN.

SEWER PUMP:
THE SEWER PUMP SHALL BE MAINTAINED UNLESS OTHERWISE NOTED ON THE SITE PLAN.
THE SEWER PUMP SHALL BE MAINTAINED UNLESS OTHERWISE NOTED ON THE SITE PLAN.
THE SEWER PUMP SHALL BE MAINTAINED UNLESS OTHERWISE NOTED ON THE SITE PLAN.

CONSTRUCTION MATERIALS:
ALL CONSTRUCTION MATERIALS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED ON THE SITE PLAN.
ALL CONSTRUCTION MATERIALS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED ON THE SITE PLAN.
ALL CONSTRUCTION MATERIALS SHALL BE MAINTAINED UNLESS OTHERWISE NOTED ON THE SITE PLAN.

ITEM	QUANTITY	UNIT	PRICE
1.00	1.00	1.00	1.00
2.00	2.00	2.00	2.00
3.00	3.00	3.00	3.00
4.00	4.00	4.00	4.00
5.00	5.00	5.00	5.00
6.00	6.00	6.00	6.00
7.00	7.00	7.00	7.00
8.00	8.00	8.00	8.00
9.00	9.00	9.00	9.00
10.00	10.00	10.00	10.00



PROPOSED SITE PLAN

PROJECT NAME
11 HILLCREST AVE
BRAMPTON ON

PROJECT ADDRESS
11 HILLCREST AVE
BRAMPTON ON

CLIENT
HAKAM SINGH

ARCHITECT
KHALSA DESIGN INC.

BRAMPTON, ON
TELEPHONE 947-88-8888

CONSULTANTS:

REGISTRATION

Project number
21034

Date
07/06/2021

Drawn by
AB

Checked by
GD

Scale
As indicated

Revisions

No.	Description	Date
1	REVISION FOR SEWER CHANGES	07/06/2021

PROPOSED
SITE PLAN

ASP-1

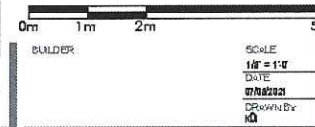
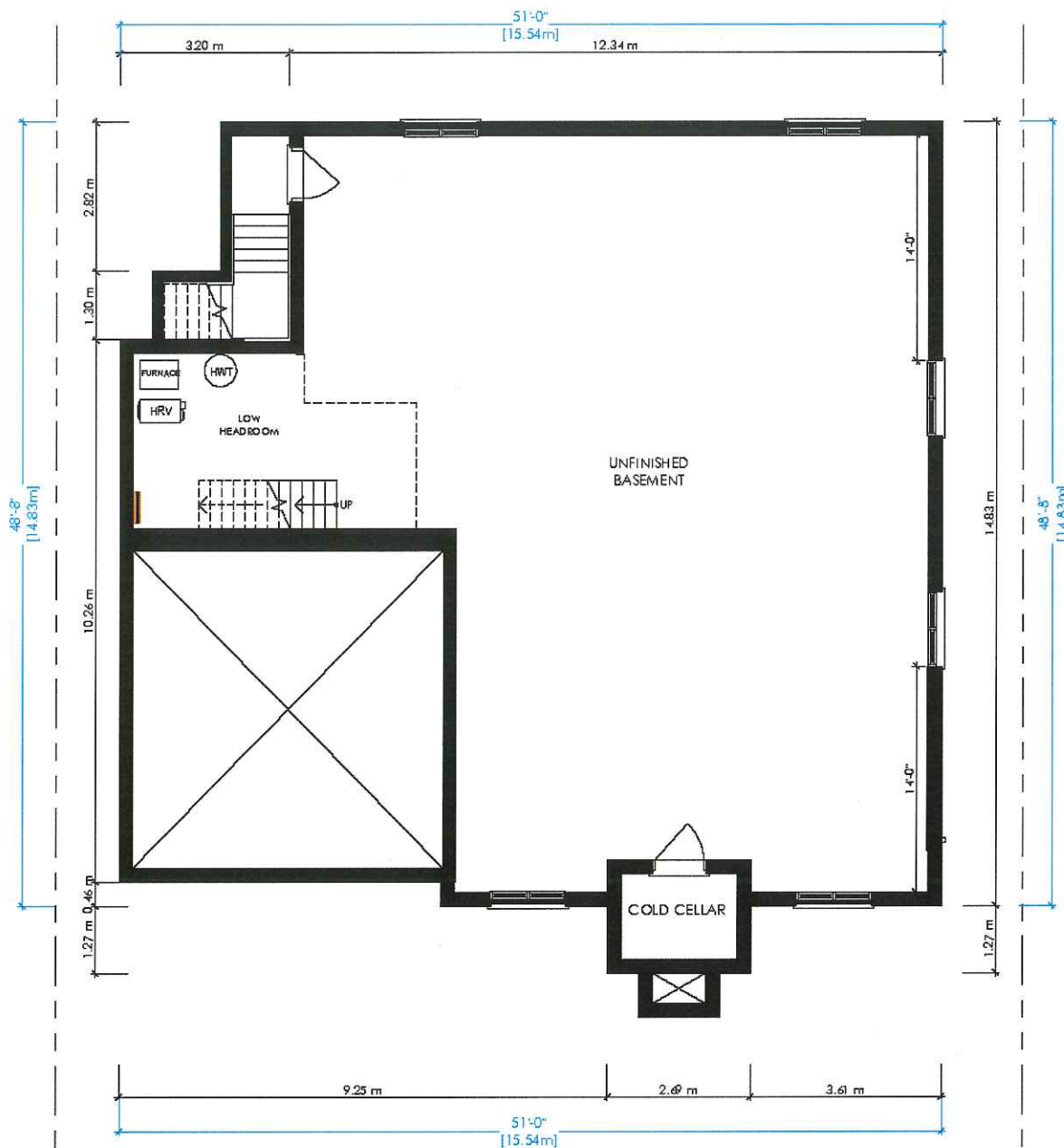
11 HILLCREST AVE



KHALSA DESIGN INC.
www.kgsdesign.com
abnmal@kgsdesign.com
647.465.2940

11 HILLCREST BRAMPTON ON- HAKAM SINGH
BRAMPTON, ON
BRAMPTON, ONTARIO

21034
4044 SF INCLUDING OPEN SPACE



SPA-2021-0077

DRAWING TITLE
BASEMENT PLAN

SHEET NO.
A-1

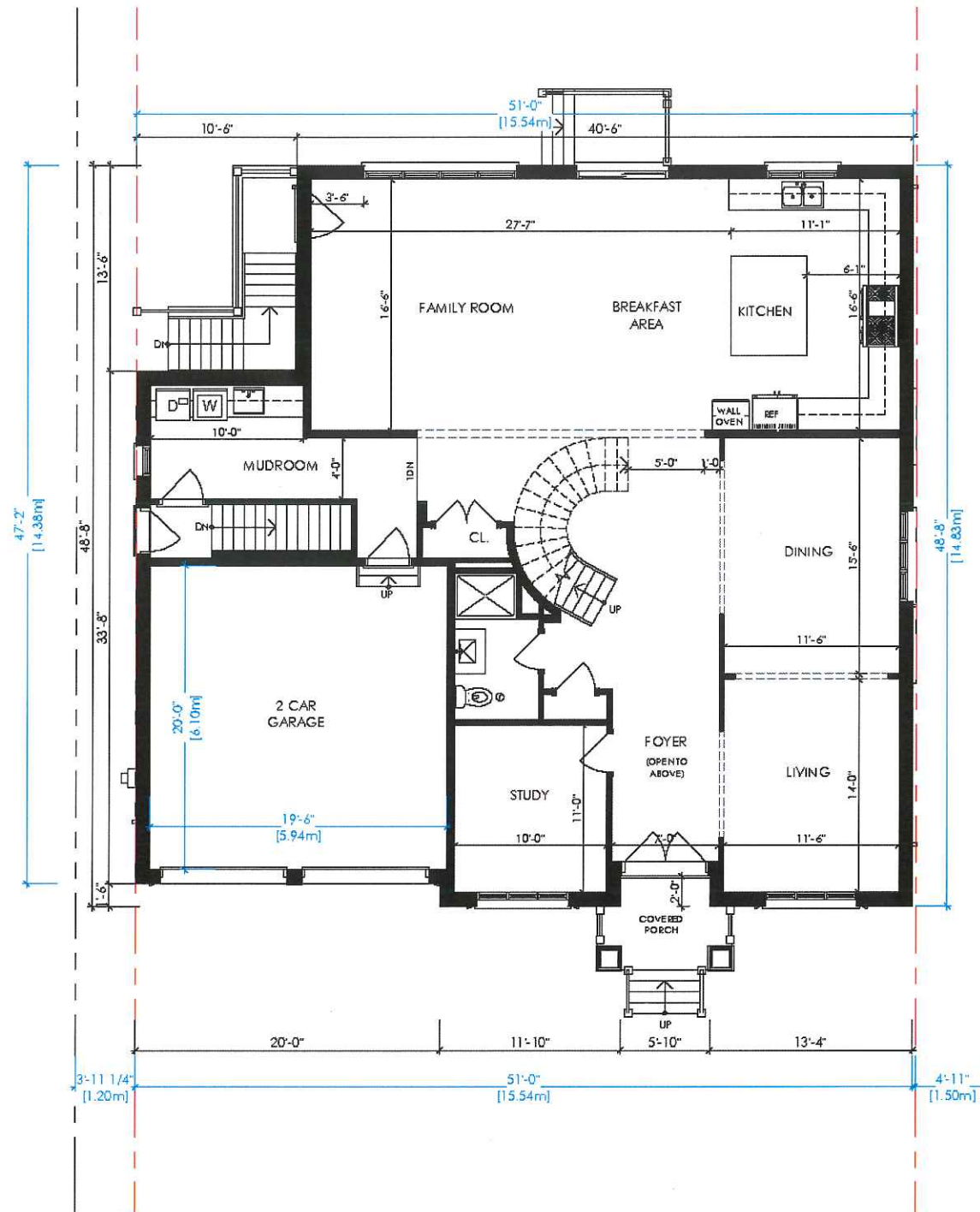


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abernia@khalsadesign.com
847.465.2940

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GROUND FLOOR

1872 sq ft	
GROSS FLOOR AREA	1872 sq ft
DEDUCT OPEN AREAS	0 sq ft
COVERAGE W/O PORCH	2278 sq ft
COVERAGE W/ PORCH	2327 sq ft

SPA-2021-0077

SCALE
1/8" = 1'-0"
DATE
07/02/22
DRAWN BY
KD

DRAWING TITLE

**GROUND FLOOR
PLAN**

SHEET NO.

A-2

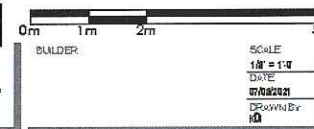
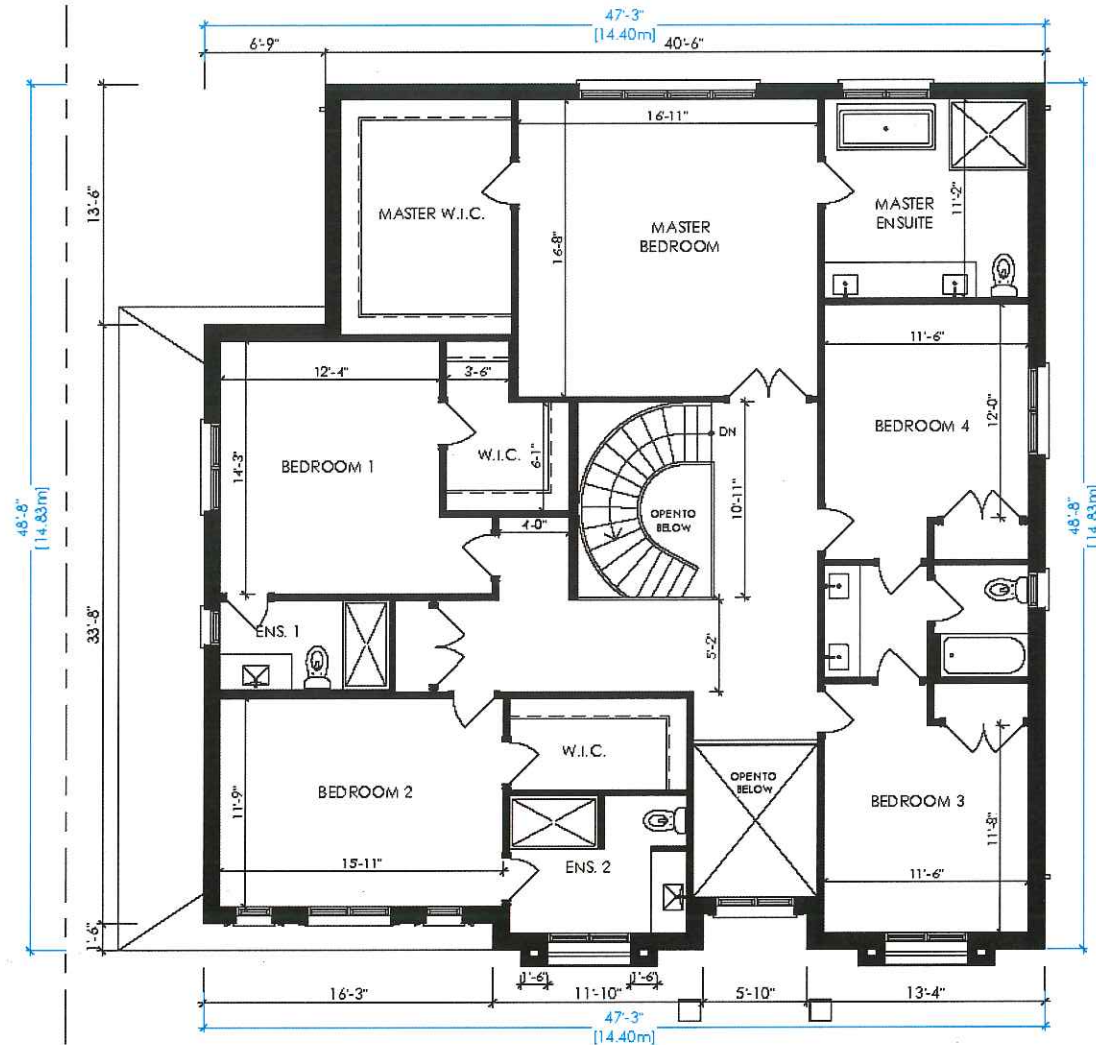


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Page 163 of 303



SECOND FLOOR

2091 sq ft
GROSS FLOOR AREA 2172 sq ft
DEDUCT OPEN AREAS 81 sq ft
NET AREA 2091 sq ft

SPA-2021-0077

DRAWING TITLE

**SECOND FLOOR
PLAN**

SHEET NO.

A-3

MATERIAL LEGEND	
Key Value	Keynote Text
EF1	ASPHALT SHINGLES (MYSTIC BLACK)
EF2	STONE VENEER (VIVACE CORTONA OR SIMILAR)
EF3	STUCCO (COLOR LIGHT GREY)
EF4	BLACK FRAMED WINDOWS
EF5	EXTERIOR WALL SCONCE
EF6	PRECAST EXTERIOR TRIM (COLOR TO MATCH STONE)
EF7	ALUMINUM FRIEZE BOARD (COLOR TO MATCH STONE)
EF8	PRECAST CONCRETE SILL
EF9	
EF10	
EF11	

NOTE: DEVELOPMENT TO COMPLY WITH CITY OF BRAMPTON CITY-WIDE DEVELOPMENT DESIGN GUIDELINES - PART 7 ARCHITECTURAL CONTROL GUIDELINES FOR GROUND-RELATED RESIDENTIAL DEVELOPMENT

NOTE: FOUNDATION WALL TO BE EXPOSED MAX. 250 mm ABOVE GRADE

NOTE: PROVIDE MASONRY STONE VENEER AT SIDES OF FRONT MAIN CONCRETE STAIRS



KHALSA DESIGN INC.
BRAMPTON, ON
www.khalsadesign.com
416.633.2940

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21034
4044 SF INCLUDING OPEN SPACE

BUILDER

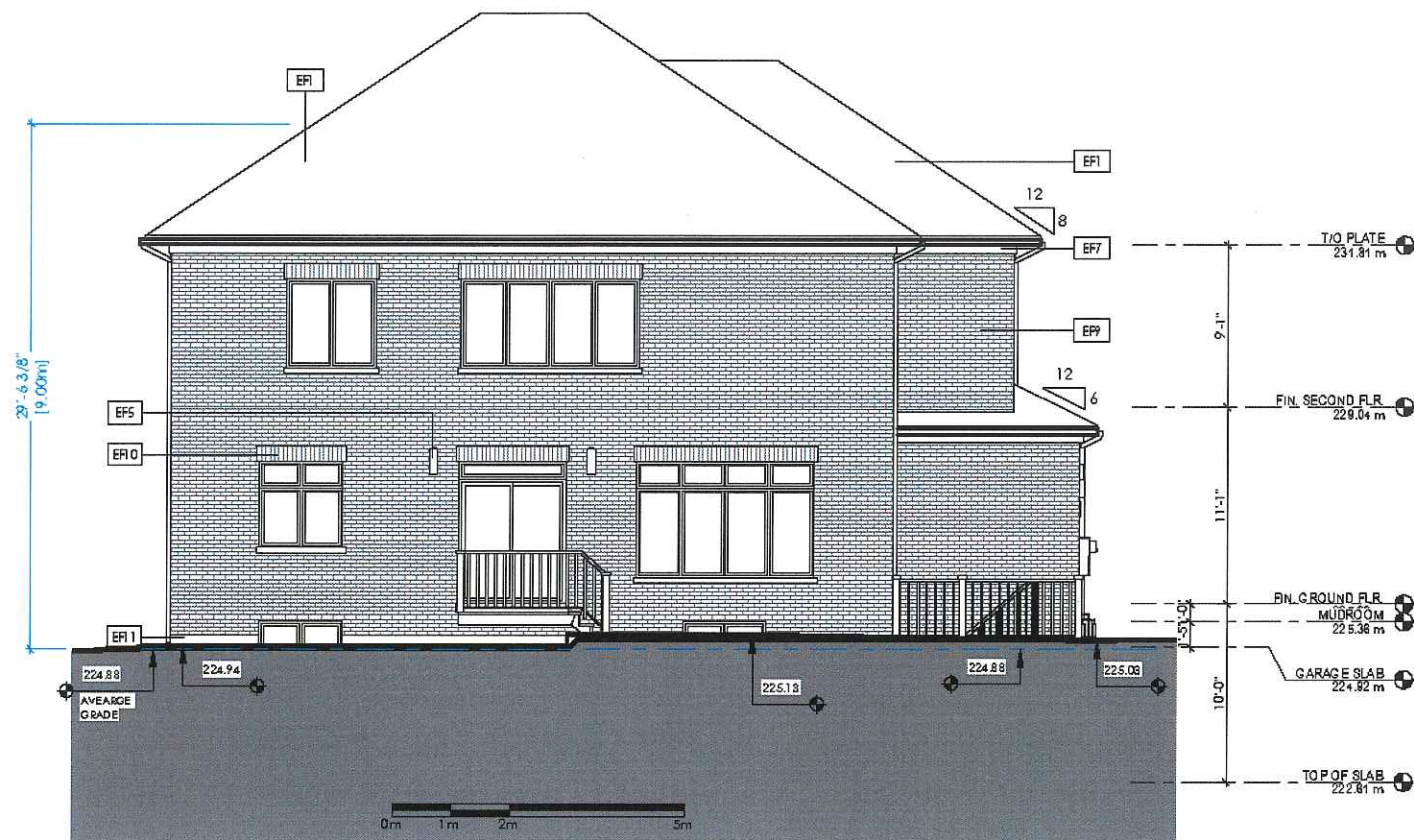
SCALE
1/8" = 1'-0"
DATE
07/08/2021
DRAWN BY
KJ

SPA-2021-0077

DRAWING TITLE
FRONT ELEVATION

SHEET NO.
A-4

MATERIAL LEGEND	
Key Value	Keynote Text
EF1	ASPHALT SHINGLES (MYSTIC BLACK)
EF2	STONE VENEER (VIVACE CORTONA OR SIMILAR)
EF3	STUCCO (COLOR LIGHT GREY)
EF4	BLACK FRAMED WINDOWS
EF5	EXTERIOR WALL SCONCE
EF6	PRECAST EXTERIOR TRIM (COLOR TO MATCH STONE)
EF7	ALUMINUM FRIEZE BOARD (COLOR TO MATCH STONE)
EF8	PRECAST CONCRETE SILL
EF9	
EF10	
EF11	



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 www.digaeast.com

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Page 165 of 303

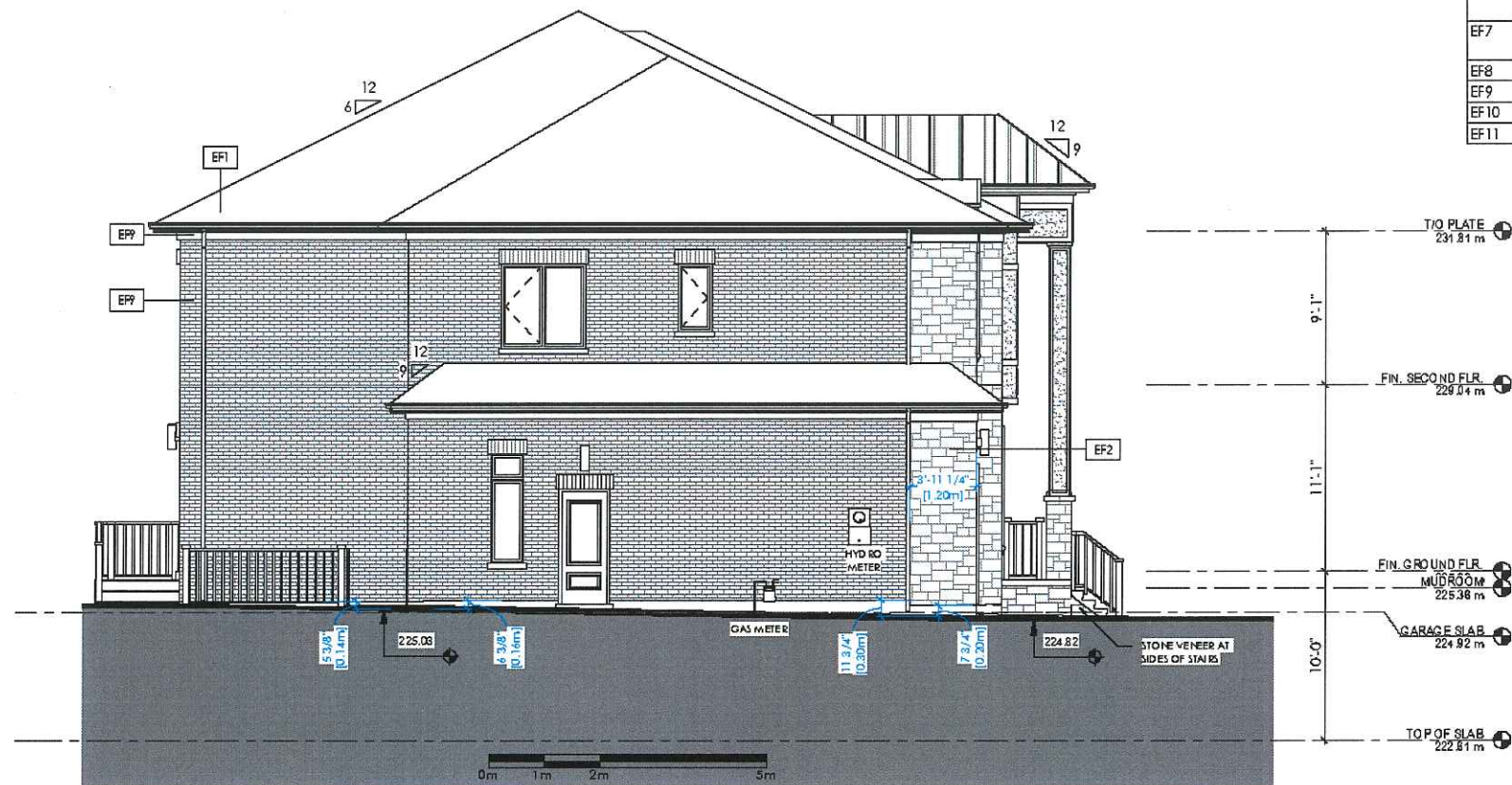
SPA-2021-0077

SCALE
 1/8" = 1'-0"
 DATE
 07/08/2021
 DRAWN BY
 10

DRAWING TITLE
REAR ELEVATION

SHEET NO.
A-5

MATERIAL LEGEND	
Key Value	Keynote Text
EF1	ASPHALT SHINGLES (MYSTIC BLACK)
EF2	STONE VENEER (MIVACE CORTONA OR SIMILAR)
EF3	STUCCO (COLOR LIGHT GREY)
EF4	BLACK FRAMED WINDOWS
EF5	EXTERIOR WALL SCONCE
EF6	PRECAST EXTERIOR TRIM (COLOR TO MATCH STONE)
EF7	ALUMINUM FRIEZE BOARD (COLOR TO MATCH STONE)
EF8	PRECAST CONCRETE SILL
EF9	
EF10	
EF11	



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abamca@kdgsent.com
647.468.2940

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BRAMPTON, ONTARIO

21034
4044 SF INCLUDING OPEN SPACE

BUILDER

SCALE
1/8" = 1'-0"
DATE
07/04/2021
DRAWN BY
KD

SPA-2021-0077

DRAWING TITLE

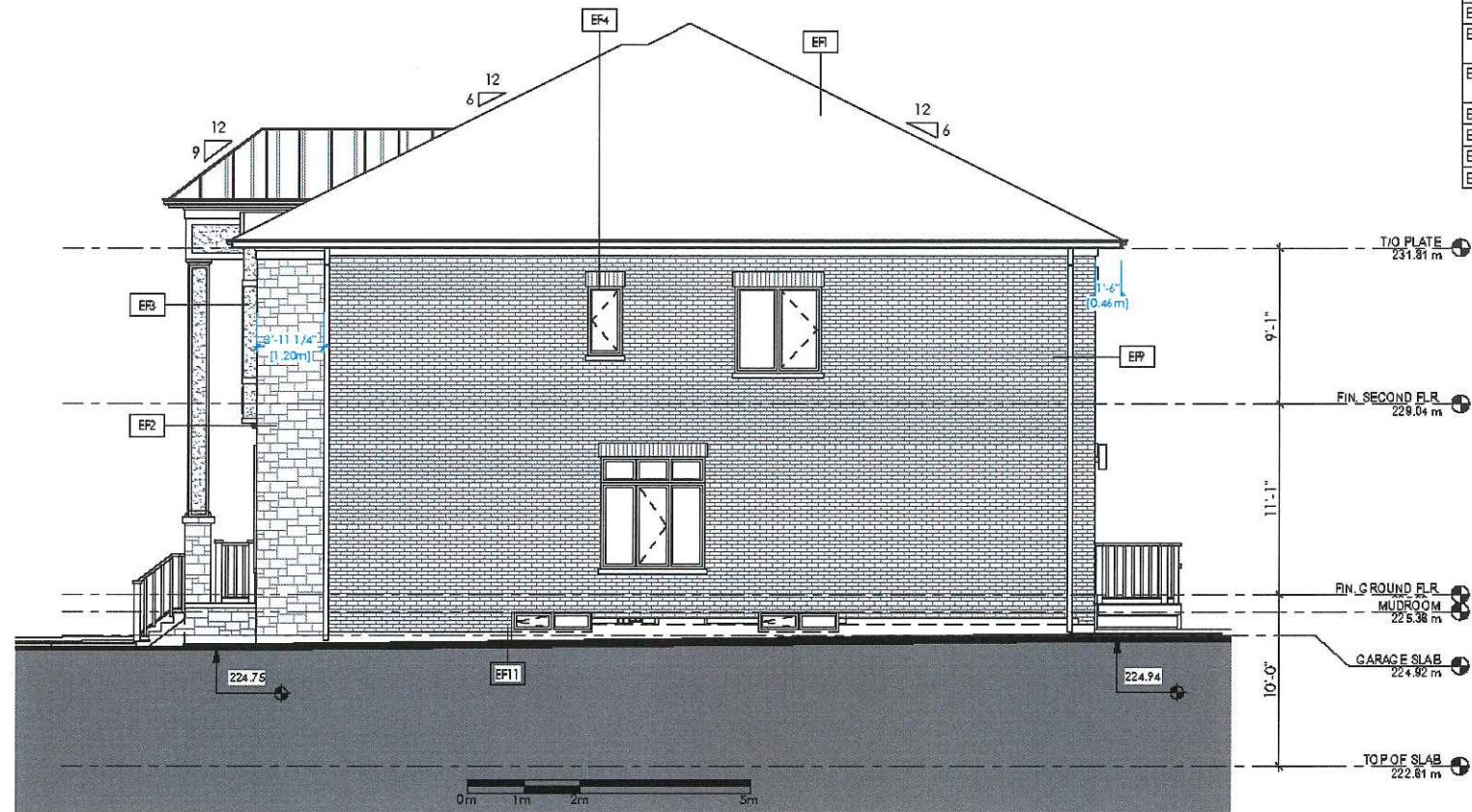
**LEFT SIDE
ELEVATION**

SHEET NO.

A-6

MATERIAL LEGEND	
Key Value	Keynote Text

EF1	ASPHALT SHINGLES (MYSTIC BLACK)
EF2	STONE VENEER (VIVACE CORTONA OR SIMILAR)
EF3	STUCCO (COLOR LIGHT GREY)
EF4	BLACK FRAMED WINDOWS
EF5	EXTERIOR WALL SCONCE
EF6	PRECAST EXTERIOR TRIM (COLOR TO MATCH STONE)
EF7	ALUMINUM FRIEZE BOARD (COLOR TO MATCH STONE)
EF8	PRECAST CONCRETE SILL
EF9	
EF10	
EF11	



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 BRAMPTON, ONTARIO

21034
 4044 SF INCLUDING OPEN SPACE

BUILDER

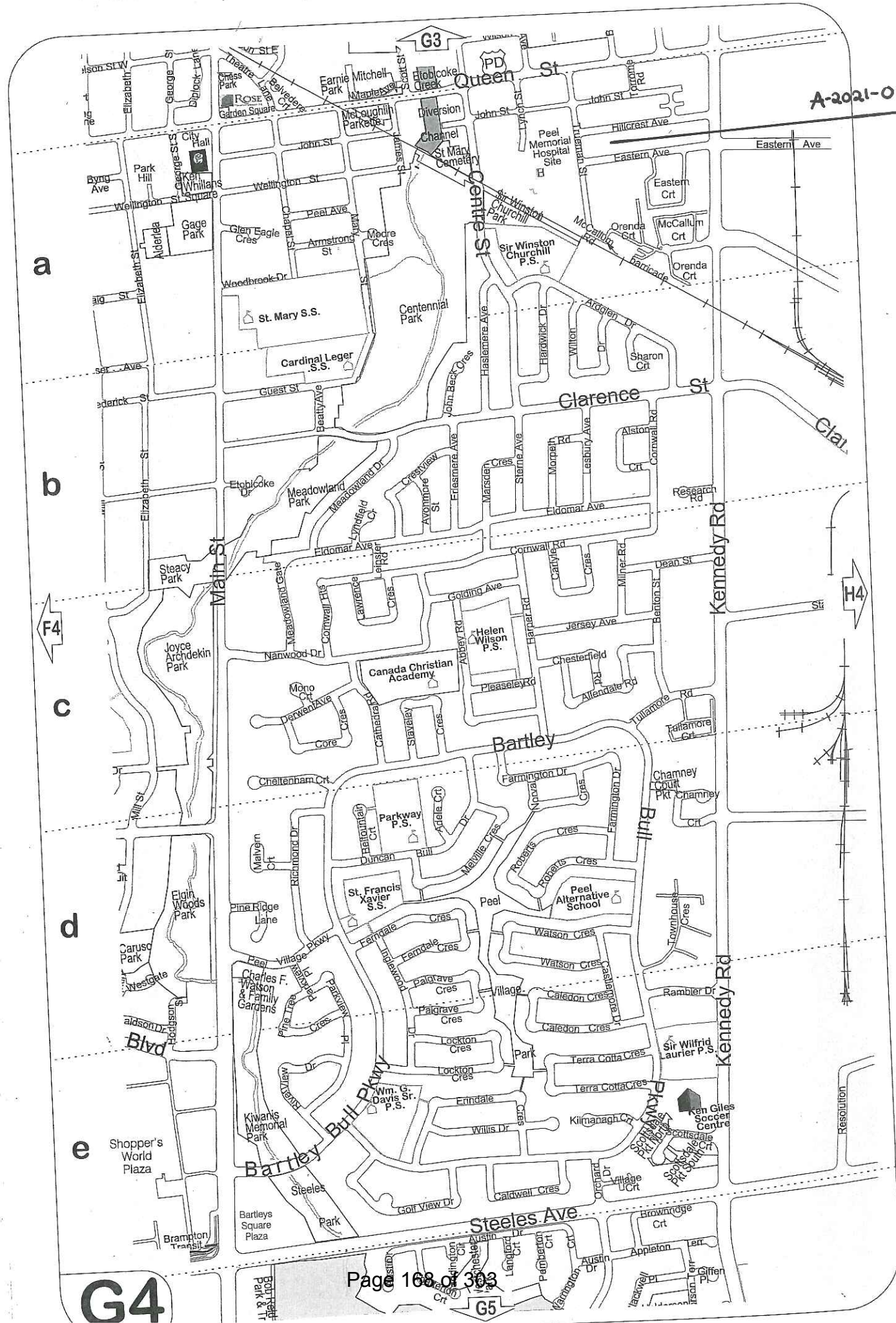
SCALE
 1/8" = 1'-0"
 DATE
 07/20/2021
 DRAWN BY
 JG

SPA-2021-0077

DRAWING TITLE
**RIGHT SIDE
 ELEVATION**

SHEET NO.

A-7





APPLICATION # A-2021-0168
WARD #3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **KEN WAGERMAN AND HEATHER BAIN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 165, Plan 521 municipally known as **12 ALSTON COURT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a detached garage having a gross floor area of 75.19 sq. m (809.34 sq. ft.) whereas the by-law permits a maximum gross floor area of 48 sq. m (516.67 sq. ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

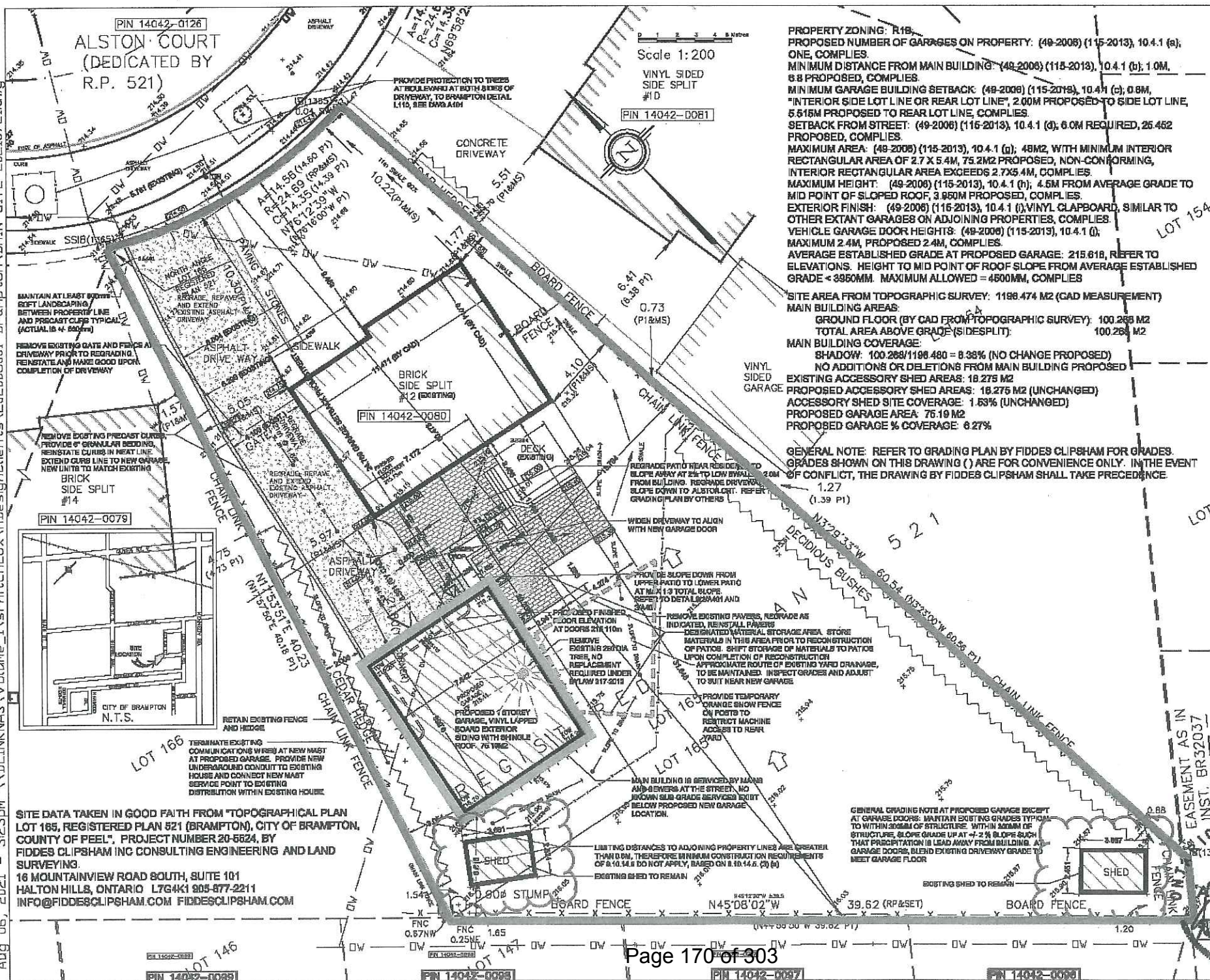
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Aug 06, 2021 - 3:23pm \\DLINKNAS\Volume_1\shitchcox\HDesign\clients\202006001 Brampton\BAIN SITE 20210721.dwg



PROPERTY ZONING: R18.
PROPOSED NUMBER OF GARAGES ON PROPERTY: (49-2008) (115-2013), 10.4.1 (a), ONE, COMPLIES.
MINIMUM DISTANCE FROM MAIN BUILDING: (49-2008) (115-2013), 10.4.1 (b), 1.0M, 0.8M PROPOSED, COMPLIES.
MINIMUM GARAGE BUILDING SETBACK: (49-2008) (115-2013), 10.4.1 (c), 0.8M, "INTERIOR SIDE LOT LINE OR REAR LOT LINE", 2.00M PROPOSED TO SIDE LOT LINE, 5.615M PROPOSED TO REAR LOT LINE, COMPLIES.
SETBACK FROM STREET: (49-2008) (115-2013), 10.4.1 (d), 6.0M REQUIRED, 25.462 PROPOSED, COMPLIES.
MAXIMUM AREA: (49-2008) (115-2013), 10.4.1 (g), 48M² WITH MINIMUM INTERIOR RECTANGULAR AREA OF 2.7 X 5.4M, 75.2M² PROPOSED, NON-CONFORMING, INTERIOR RECTANGULAR AREA EXCEEDS 2.7X5.4M, COMPLIES.
MAXIMUM HEIGHT: (49-2008) (115-2013), 10.4.1 (h), 4.5M FROM AVERAGE GRADE TO MID POINT OF SLOPED ROOF, 3.950M PROPOSED, COMPLIES.
EXTERIOR FINISH: (49-2008) (115-2013), 10.4.1 (i), VINYL CLAPBOARD, SIMILAR TO OTHER EXISTING GARAGES ON ADJOINING PROPERTIES, COMPLIES.
VEHICLE GARAGE DOOR HEIGHTS: (49-2008) (115-2013), 10.4.1 (j), MAXIMUM 2.4M, PROPOSED 2.4M, COMPLIES.
AVERAGE ESTABLISHED GRADE AT PROPOSED GARAGE: 215.618, REFER TO ELEVATIONS. HEIGHT TO MID POINT OF ROOF SLOPE FROM AVERAGE ESTABLISHED GRADE = 3950MM. MAXIMUM ALLOWED = 4500MM, COMPLIES.
SITE AREA FROM TOPOGRAPHIC SURVEY: 1198.474 M² (CAD MEASUREMENT)
MAIN BUILDING AREAS:
GROUND FLOOR (BY CAD FROM TOPOGRAPHIC SURVEY): 100.285 M²
TOTAL AREA ABOVE GRADE (SIDESPLIT): 100.268 M²
MAIN BUILDING COVERAGE:
SHADOW: 100.268/1198.480 = 8.38% (NO CHANGE PROPOSED)
NO ADDITIONS OR DELETIONS FROM MAIN BUILDING PROPOSED
EXISTING ACCESSORY SHED AREAS: 18.275 M²
PROPOSED ACCESSORY SHED AREAS: 18.275 M² (UNCHANGED)
ACCESSORY SHED SITE COVERAGE: 1.63% (UNCHANGED)
PROPOSED GARAGE AREA: 75.19 M²
PROPOSED GARAGE % COVERAGE: 6.27%

GENERAL NOTE: REFER TO GRADING PLAN BY FIDDES CLIPSHAM FOR GRADES. GRADES SHOWN ON THIS DRAWING () ARE FOR CONVENIENCE ONLY. IN THE EVENT OF CONFLICT, THE DRAWING BY FIDDES CLIPSHAM SHALL TAKE PRECEDENCE.

NO.	DATE	ISSUE
1	2020.06.25	SITE PLAN SUBMISSION
2	2020.06.25	SITE PLAN UPDATE
3	2020.06.25	COA SUBMISSION

CLIENT:
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Stephen Robert HITCHCOX Architect
28 THIRTEENTH ST., ETOBICOKE, ONT.
M9V 3H4 (416) 252-1846

PROJECT: **NEW GARAGE**
12 ALSTON COURT, BRAMPTON, ONTARIO

DRAWING NAME: **A S SITE PLAN WITH/8PT GRADES FOR COA (SPA-2020-0126)**

PROJECT NO. 2020.06.001	DRAWING NUMBER SITE PLAN REV
SCALE 1:200	DRAWING NUMBER A.102
DRAWN SRH	
DATE 2020/07/18	

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021.**
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021.**
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021.** City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER: A-2021-0168

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Ken Wageman, Heather Bain
Address 12 Alston Court, Brampton, On L6W3B6

Phone # 647-453-3714 **Fax #** _____
Email heatherebain@gmail.com

2. **Name of Agent** Stephen Robert Hitchcox Architect
Address 28 Thirteenth Street, Toronto, Ontario, M8V3H4

Phone # 416-252-1846, 416-889-0407 **Fax #** 416-252-0709
Email hdesign@ica.net

3. **Nature and extent of relief applied for (variances requested):**
Proposed detached garage allowed gfa exceeds permitted size. 48 m2 is permitted, 75.19 m2 is proposed.

4. **Why is it not possible to comply with the provisions of the by-law?**
Intended use of garage for hobby restoration of vehicles requires space beyond 48m2. Proposed structure is similar to existing garage at neighbour, #10 Alston Court.

5. **Legal Description of the subject land:**
Lot Number Part of Lot 165, Registered Plan 521
Plan Number/Concession Number Registered Plan 521
Municipal Address 12 Alston Court

6. **Dimension of subject land (in metric units)**
Frontage 14.56m
Depth ~50.473m along centre line of site, "irregular" corner lot
Area 1196.474 M2 (CAD MEASUREMENT)

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Split level single storey brick sided residence, 11.471 m x 9.014 m irregular, 100.268 m²
Shed 1 - single storey wood framed, 3.681 m x 2.524 m, 9.286 m²
Shed 2 - 8.989 single storey wood framed, 3.667 m x 2.45m, 8.989 m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

All existing buildings proposed to be retained.
Proposed new garage: Wood frame, single storey, 7.842 m x 9.588 m, 75.19m²

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	9.463m to Residence
Rear yard setback	31.678m perpendicular from Residence perpendicular to centre of rear property line
Side yard setback	5.05m at driveway
Side yard setback	1.77m

PROPOSED

Front yard setback	No change to Residence. Proposed garage 24.769 to front of garage
Rear yard setback	No change to Residence. Proposed garage 5.515m perpendicular to rear property line
Side yard setback	No change to Residence. Proposed garage 2.0m to closer property line
Side yard setback	No change to Residence. Proposed garage 13.784m to farther property line

10. Date of Acquisition of subject land: ~ September 26, 2014
11. Existing uses of subject property: Residential single family
12. Proposed uses of subject property: Residential single family
13. Existing uses of abutting properties: Residential single family
14. Date of construction of all buildings & structures on subject land: Late 1950's or early 1960's for Residence
15. Length of time the existing uses of the subject property have been continued: Since construction ~ 60 years

16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 23 DAY OF JULY, 20 21.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, STEPHEN HITCHCOX, OF THE CITY OF BRAMPTON
IN THE PROVINCE OF ONTARIO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 23rd DAY OF July, 20 21.

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Rose Bruno

Zoning Officer

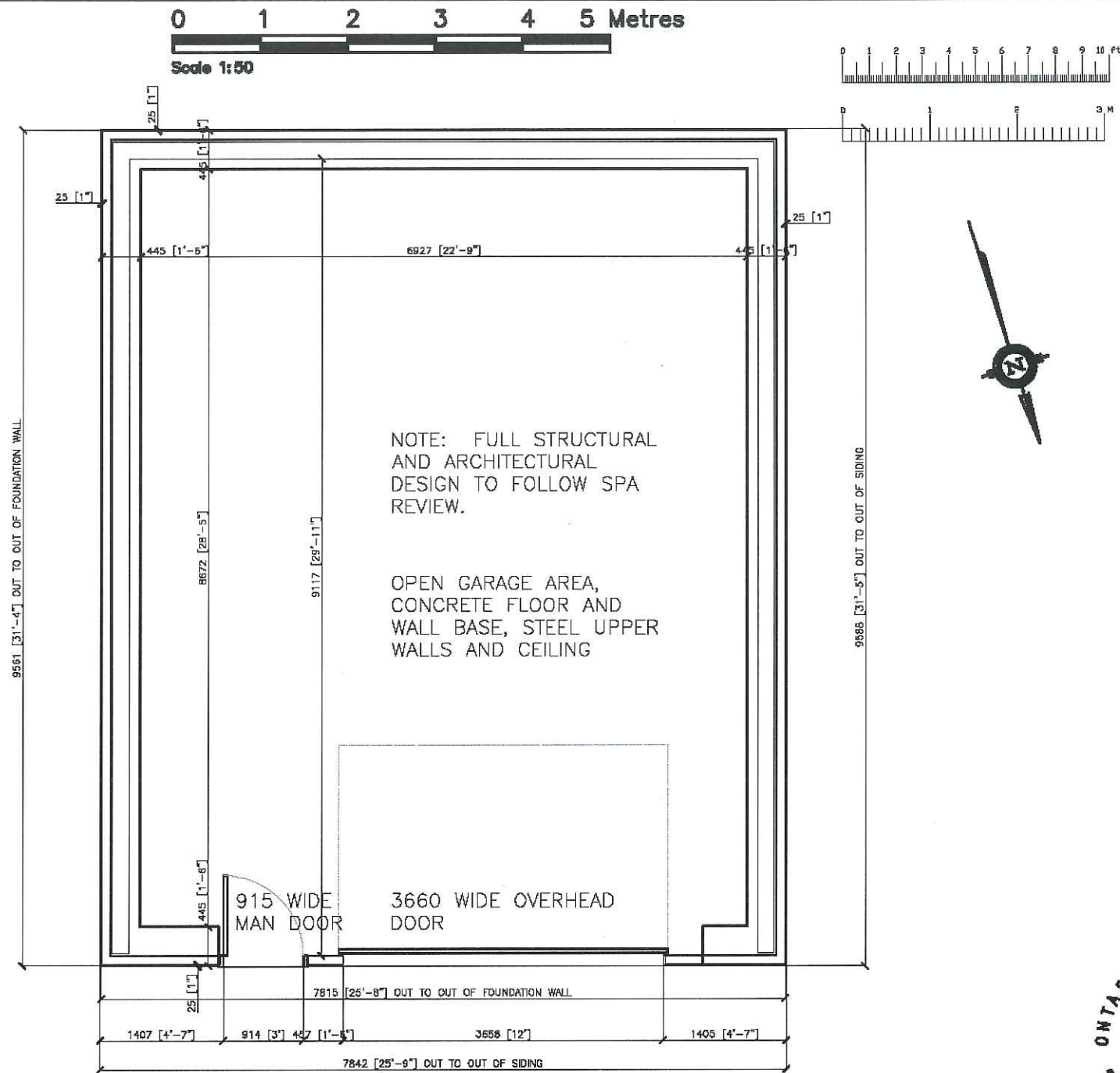
July 26, 2021

Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality


Revised 2020/01/07



2	2021.05.14	SITE PLAN UPDATE
1	2020.06.25	SITE PLAN SUBMISSION
N.O.	DATE	ISSUE

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**Stephen Robert
HITCHCOX
Architect**

28 THIRTEENTH ST. ETOBICOKE, ONT
M9V 3H4 (416) 252-1846

PROJECT	NEW GARAGE 12 ALSTON COURT, BRAMPTON, ONTARIO
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DRAWING NAME

A S FLOOR PLAN
 (SPA-2020-0126)

OF

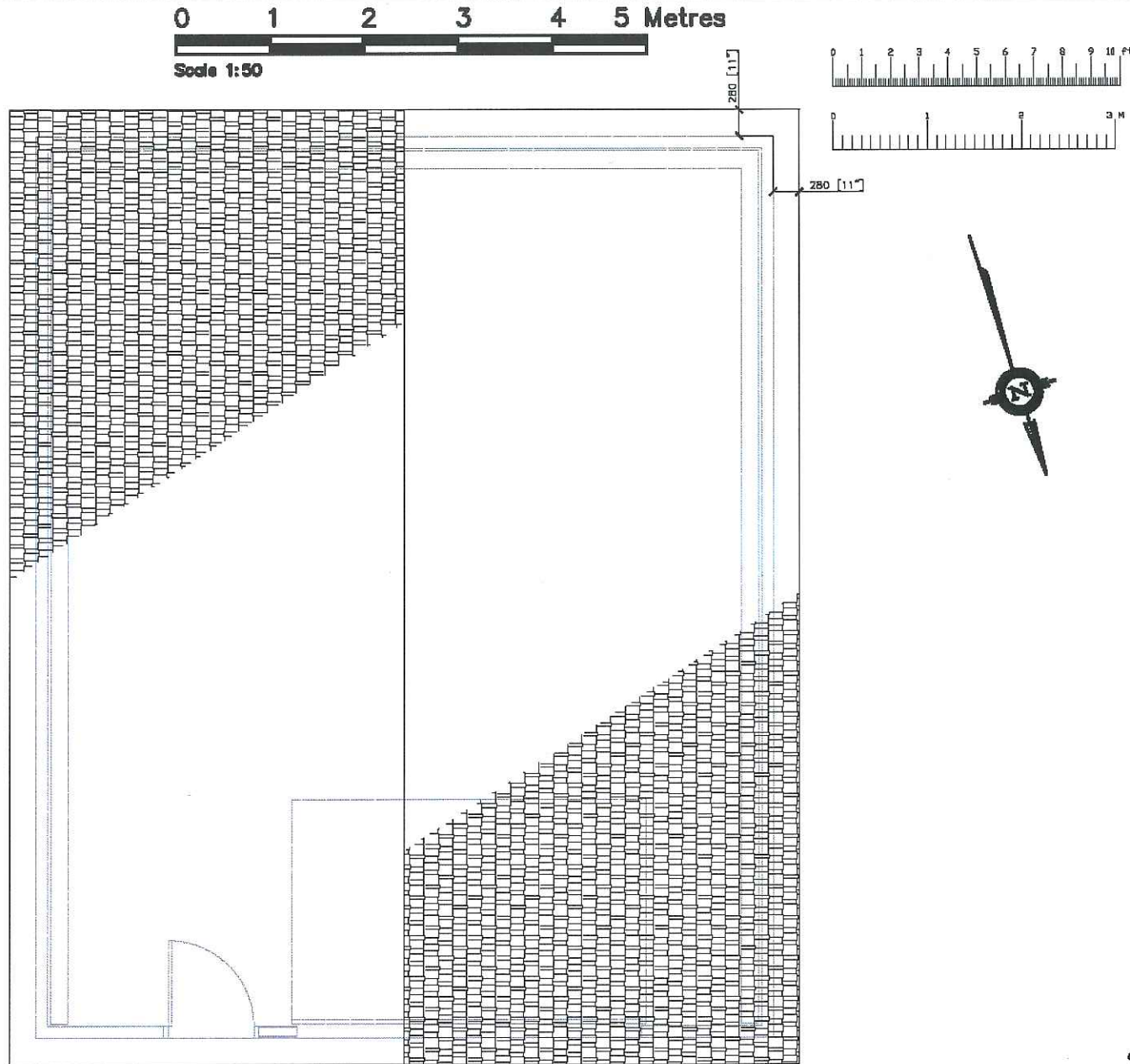
ARCHITECTS


STEPHEN ROBERT HITCHCOX ARCHITECT

LICENCE # 4513

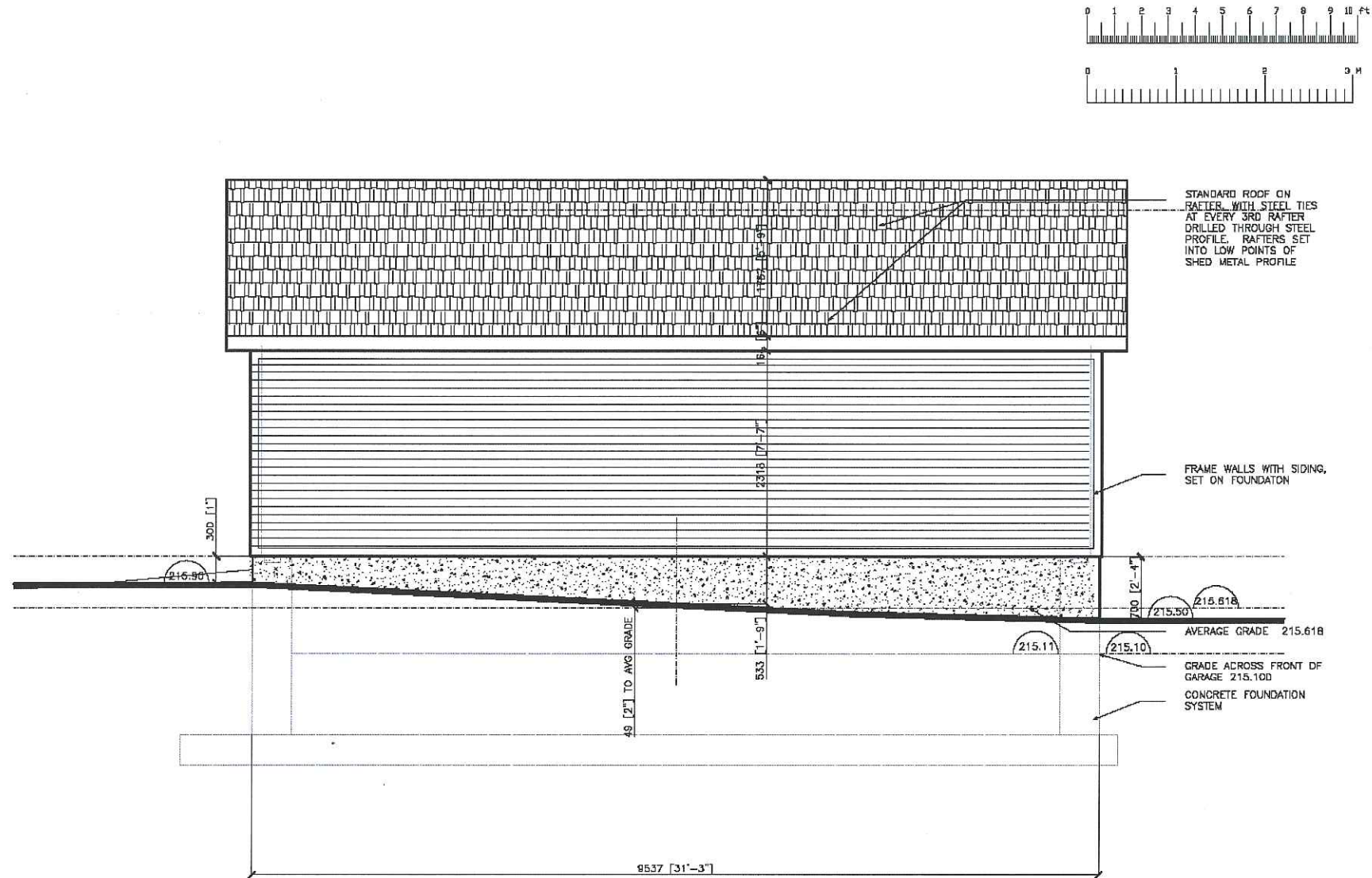
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DRAWN	SRH		
DATE	2020/07/18		

Jul 13, 2021 - 3:03pm S:\srh\hitchcox\HDesign\Clients\202006001 Brampton\BoltBuilding 20210713.dwg



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1	2020.06.25	SITE PLAN SUBMISSION
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 Stephen Robert HITCHCOX Architect 28 THIRTEENTH ST., ETOBICOKE, ONT M9V 3H4 (416) 252-1846		
PROJECT NEW GARAGE 12 ALSTON COURT, BRAMPTON, ONTARIO		
DRAWING NAME A.S. ROOF PLAN (SPA-2020-0126)		
PROJECT NO.	2020.06.001	DRAWING ISSUE
SCALE	1:50	DRAWING NUMBER
DRAWN	SRH	A.201
DATE	2020/07/18	

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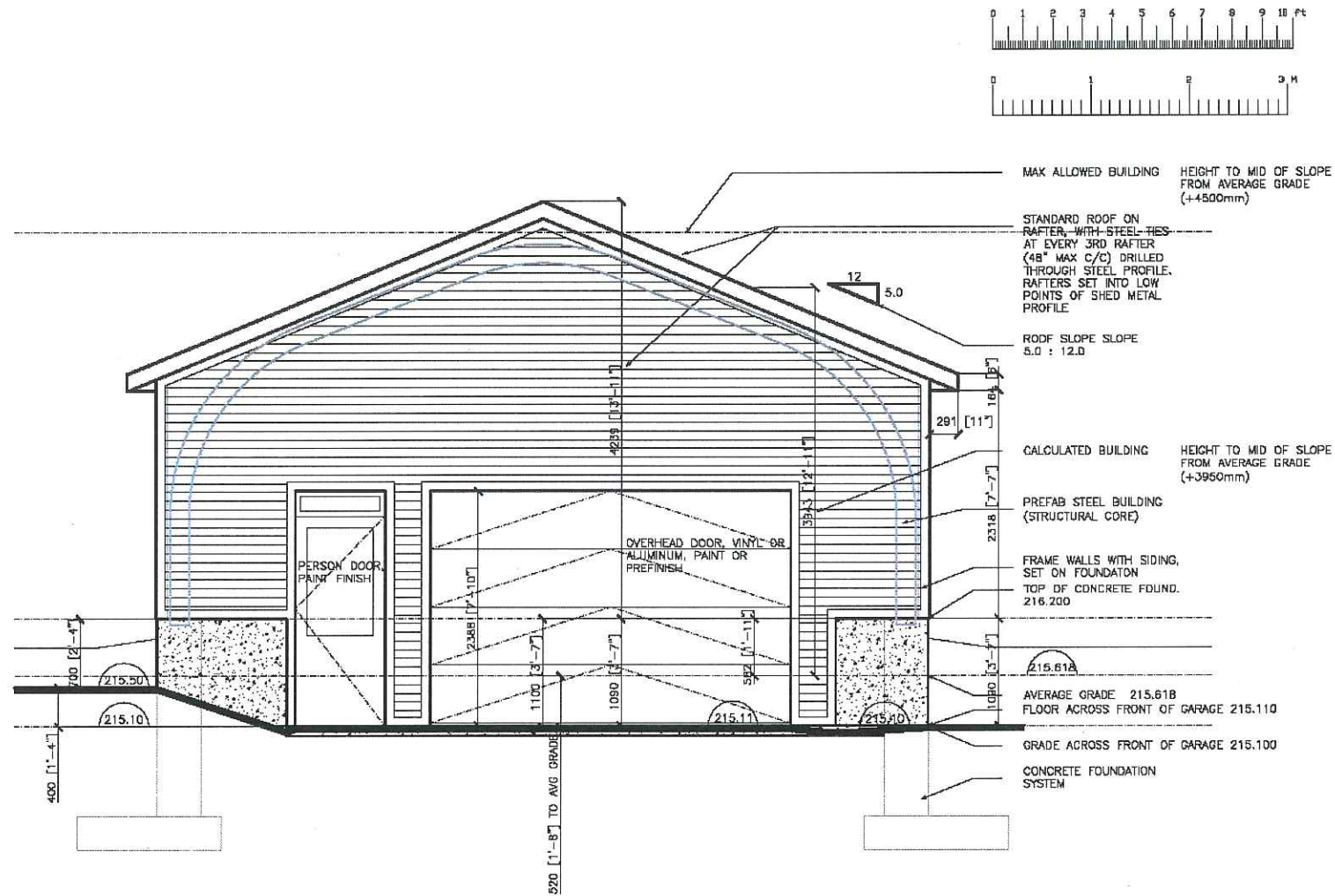
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Stephen Robert HITCHCOX Architect
28 THIRTEENTH ST., ETOBICOKE, ONT
M9V 3H4 (416) 232-1846

PROJECT NEW GARAGE
12 ALSTON COURT, BRAMPTON, ONTARIO

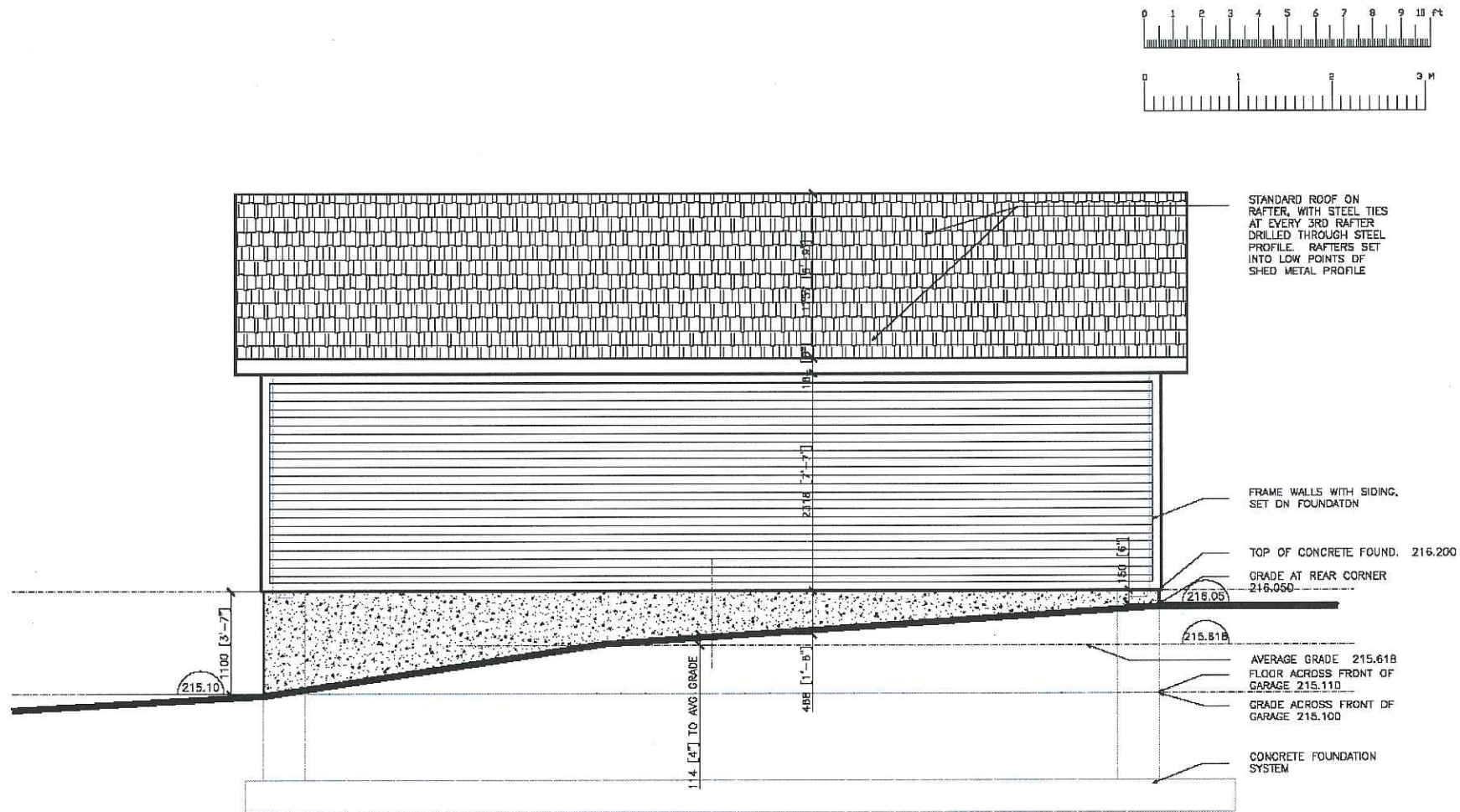
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LEFT SIDE ELEVATION
(SPA-2020-0126)

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SCALE	1:50	DRAWING NUMBER	A.300
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PROJECT NEW GARAGE 12 ALS TON COURT, BRAMPTON, ONTARIO		
DRAWING NAME AS FRONT ELEVATION (SPR-2020-0126)		
PROJECT NO. 2020.06.001		DRAWING ISSUE SITE PLAN REV
SCALE 1:50		DRAWING NUMBER A.301
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DATE 2020/07/18		

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NO.	DATE	ISSUE
2	2021.05.14	SITE PLAN UPDATE
1	2020.06.25	SITE PLAN SUBMITTAL

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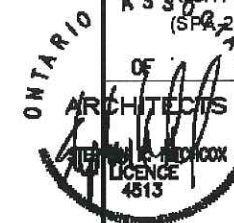
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N9V 3H4 (416) 232-1846

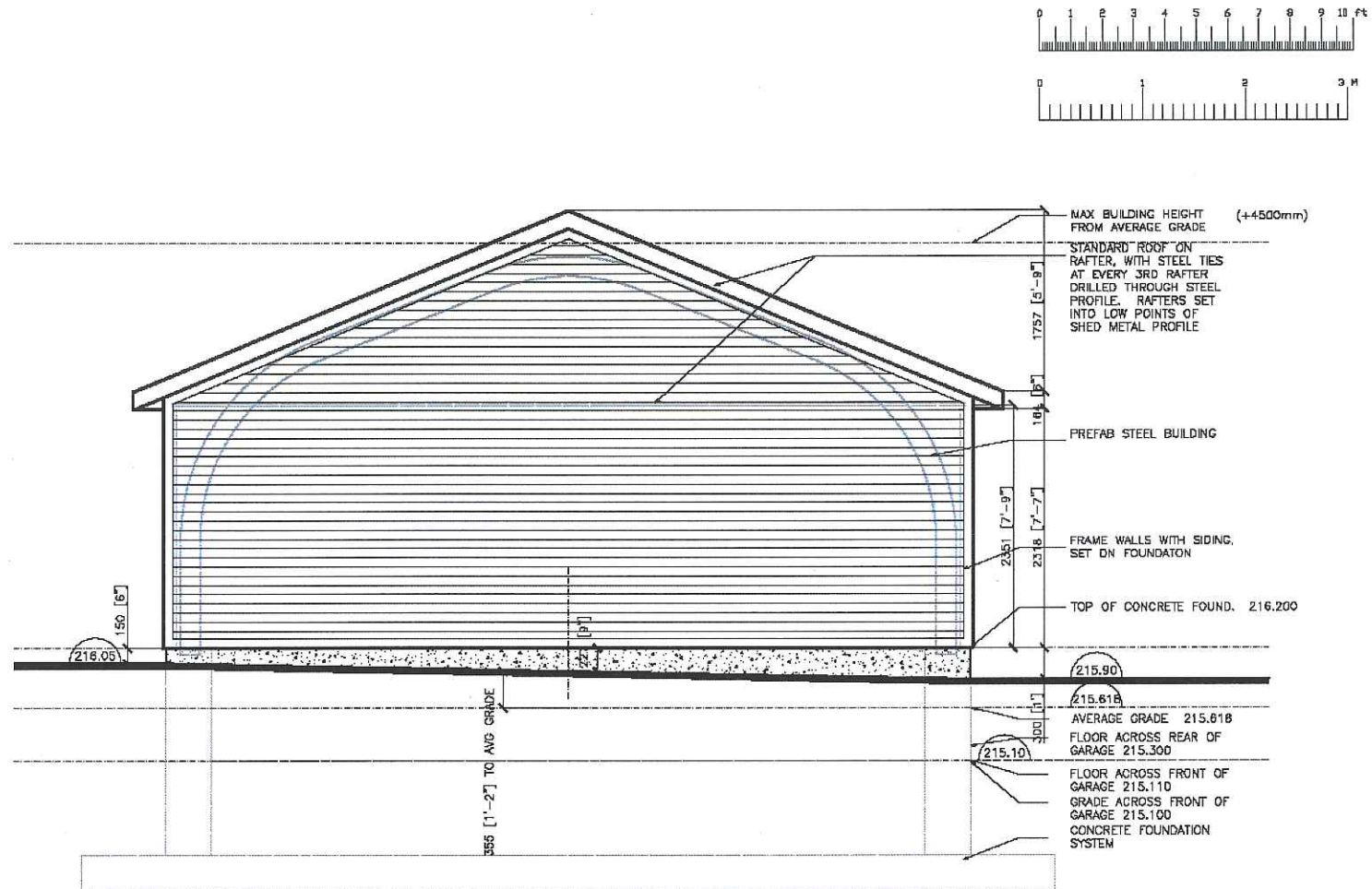
PROJECT **NEW GARAGE**
12 ALSTON COURT, BRAMPTON, ONTARIO

DRAWING NAME
RIGHT SIDE ELEVATION
(SPA-2020-0126)

PROJECT NO.	2020.06.001	DRAWING ISSUE	SITE PLAN REV
SCALE	1:50	DRAWING NUMBER	A.302
DRAWN	SRH		
DATE	2020/07/18		




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2	2021.05.14	SITE PLAN UPDATE
1	2020.06.25	SITE PLAN SUBMITTISON
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**Stephen Robert
HITCHCOX
Architect**

28 THIRTIETH ST, ETORICOKE, ONT
 M9V 3H4 (416) 232-1846

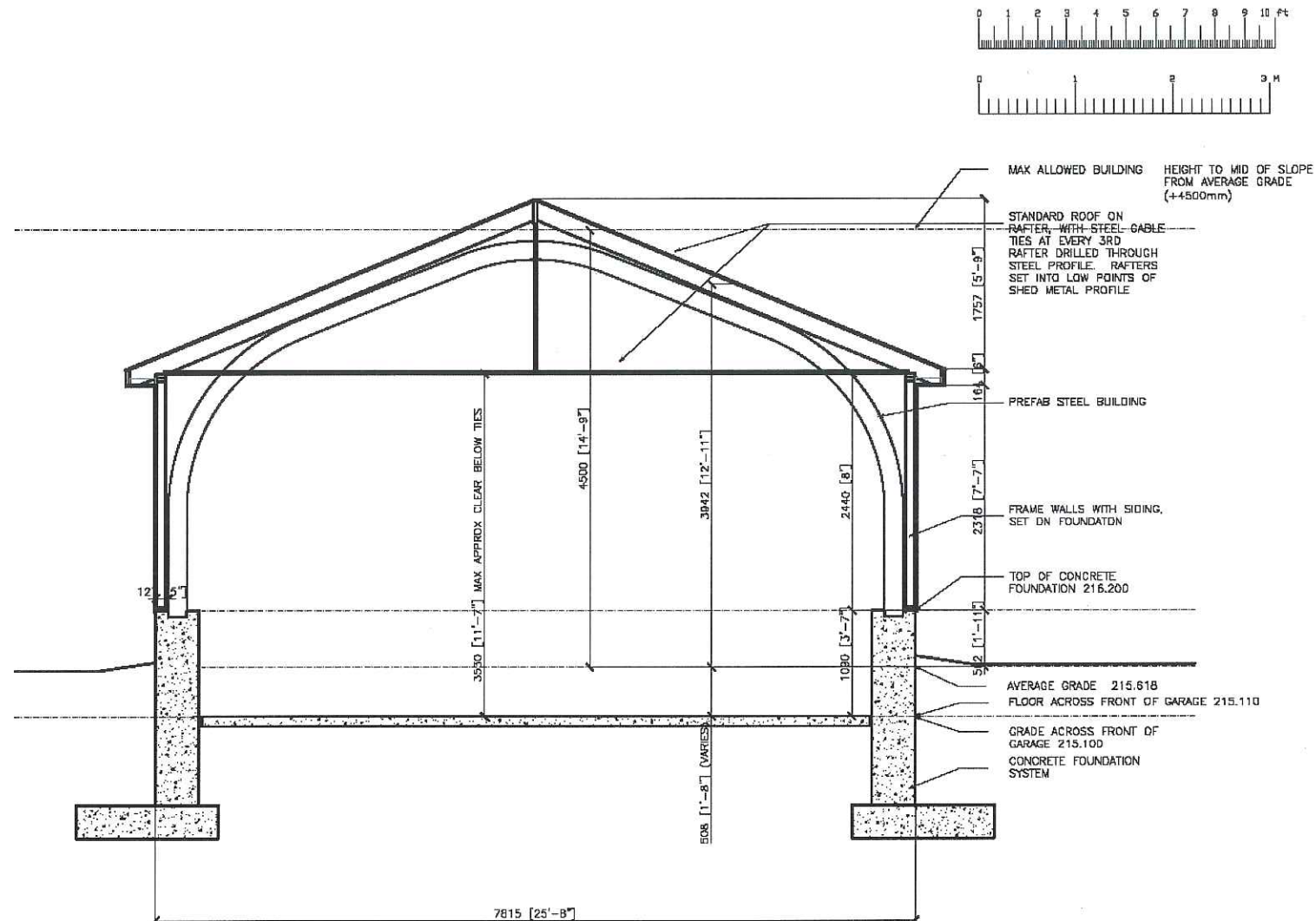
PROJECT	NEW GARAGE 12 ALSTON COURT, BRAMPTON, ONTARIO
DRAWING NAME	A S REAR ELEVATION (SPA-2020-0126)


ARCHITECTS

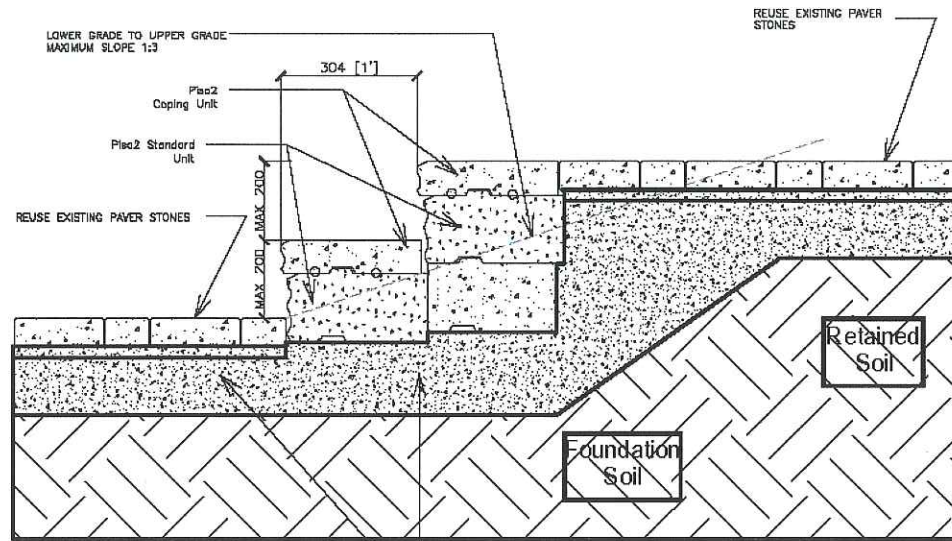
STEPHEN ROBERT HITCHCOX ARCHITECT

LICENCE 4513

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DRAWN	SRH	DATE	2020/07/15

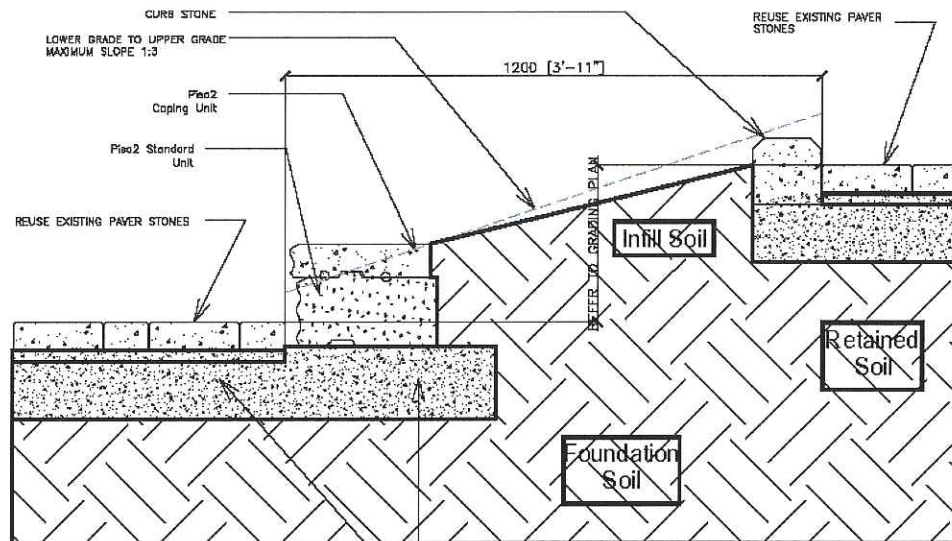


2	2021.05.14	SITE PLAN UPDATE
1	2020.06.20	SITE PLAN SUBMISSION
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PROJECT NEW GARAGE 12 ALS TON COURT, BRAMPTON, ONTARIO		
DRAWING NAME AS B BUILDING SECTION (SP-2020-0126)		
PROJECT N.O.	2020.06.001	DRAWING ISSUE SITE PLAN REV
SCALE	1:50	DRAWING NUMBER A.400
DRAWN	SRH	
DATE	2020/07/18	



3 GRADE DROP AT PATIO STEPS

COMPACTED BASE, 25MM COARSE SAND AT PAVERS, ON MIN 150MM COMPACTED SCREENING, 150MM SCREENING BELOW PISA STONES



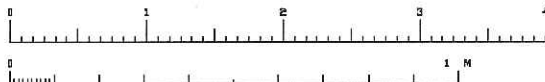
2 TYPICAL GRADE DROP AT PATIO


COMPACTED BASE, 25MM COARSE SAND AT PAVERS, ON MIN 150MM COMPACTED SCREENING, 150MM SCREENING BELOW PISA STONES

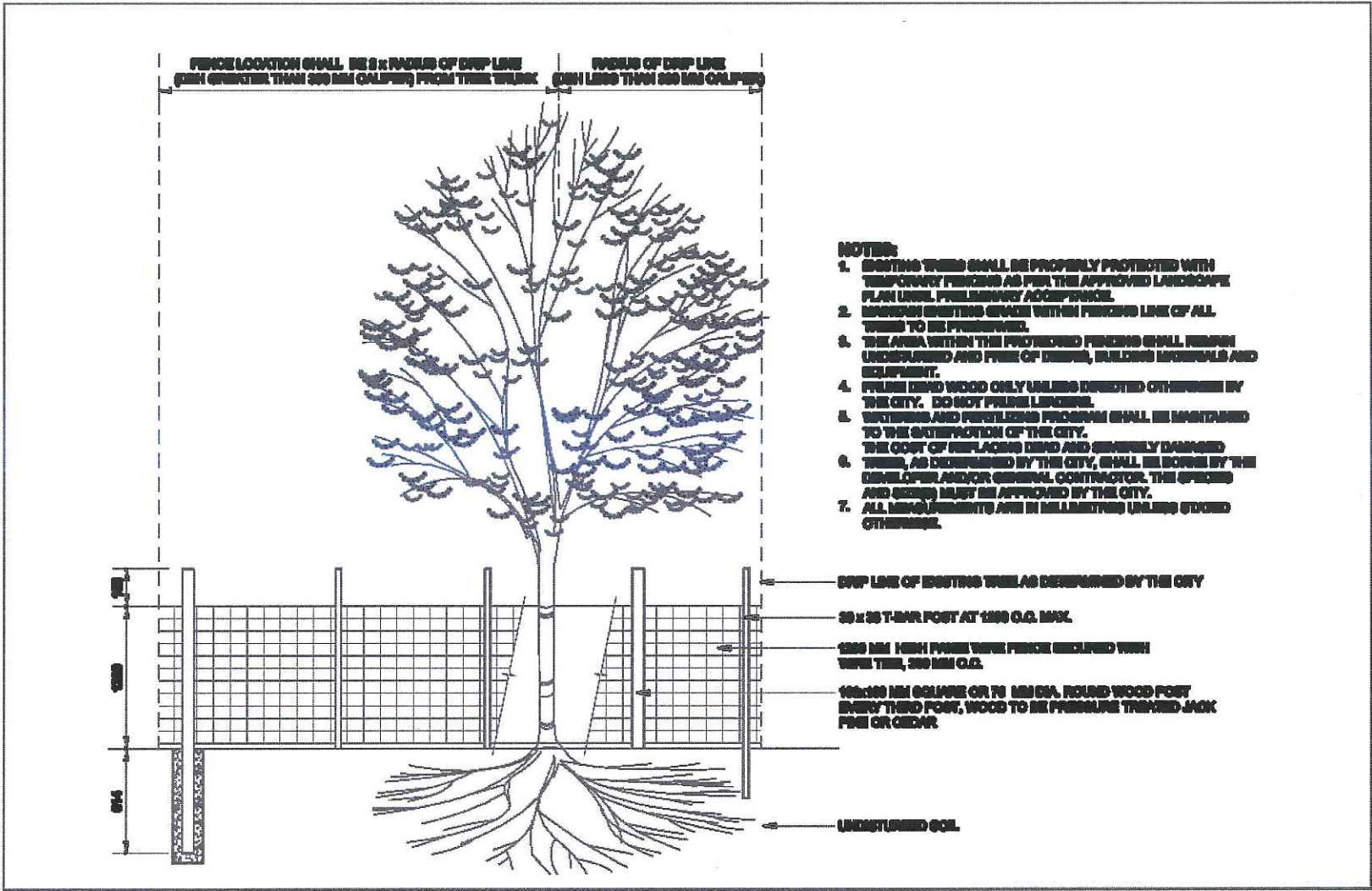
DIG DOWN TO 6" BELOW TOP OF FOUNDATION WALL. APPLY WATERPROOFING TO FACE BRICK TO 6" ABOVE GRADE, LAPPING ON TO FOUNDATION WALL. APPLY DRAINAGE BOARD FROM 6" ABOVE GRADE, TO 16" BELOW GRADE. INSTALL CEMENT BOARD TO FOUNDATION AND BRICK WALL TO AT LEAST 6" ABOVE GRADE AND 16" BELOW GRADE. MECHANICALLY FASTEN TO MASONRY WALL SUBSTRATE THROUGH DRAINAGE BOARD, PARGE COAT, BACKFILL AND PROVIDE FINISH INDICATED ON SITE PLAN. PROVIDE PREFINISHED METAL FLASHING TO REGLET CUT INTO FIRST BRICK JOINT ABOVE SILL.

EXISTING DAMPROOFING ON EXISTING FOUNDATION SYSTEM

1 NEW PROTECTION TO HOUSE WALL EXTERIOR



2	2021.05.14	SITE PLAN UPDATE
1	2020.06.25	SITE PLAN SUBMISSION
N.O.	DATE	ISSUE
COPYRIGHT ALL DRAWINGS, DESIGNS, GRAPHIC REPRESENTATIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED BY COPYRIGHT. THE DRAWINGS AND DOCUMENTS ARE TO BE USED ONLY FOR THE PROJECT SO NOTED. REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSES, NEGOTIATIONS, LEASE, ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION. ONLY DRAWINGS IMPRINTED WITH OPTICAL DAM STAMP # 4513 AND SIGNED BY STEPHEN ROBERT HITCHCOX ARCHITECT ARE TO BE USED FOR AND ARE LEGAL FOR CONSTRUCTION.		
GENERAL REVIEW THE ARCHITECT HAS NOT BEEN RETAINED BY THE CLIENT TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF ANY PARTY TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT. SOUL - MEETS NOR FOR ANY MISINTERPRETATION OF THE REQUIREMENTS OF THE CONTRACT UNLESS WRITTEN CONFIRMATION OF RETENTION IS RECEIVED BY THE CHIEF BUILDING OFFICIAL.		
 28 THIRTEENTH ST., ETOBICOKE, ONT M9V 3H4 (416) 232-1846		
PROJECT NEW GARAGE 12 ALS TON COURT, BRAMPTON, ONTARIO		
DRAWING NAME A S HOUSE FOUNDATION REPAIR (SPR-2020-0126)		
PROJECT NO.	2020.06.001	DRAWING ISSUE
SCALE	1:12.5	DRAWING NUMBER
DRAWN	SRH	A.401
DATE	2020/07/18	



- NOTES:**
1. EXISTING TREES SHALL BE PROPERLY PROTECTED WITH TEMPORARY FENCING AS PER THE APPROVED LANDSCAPE PLAN UNLESS PRELIMINARY ACCEPTANCE.
 2. SANITARY EXISTING OPEN WITHIN FENCING LINE OF ALL TREES TO BE PRESERVED.
 3. THE AREA WITHIN THE PROTECTED FENCING SHALL REMAIN UNOCCUPIED AND FREE OF DEBRIS, BUILDING MATERIALS AND EQUIPMENT.
 4. FENCE IS TO BE WOOD ONLY UNLESS DIRECTED OTHERWISE BY THE CITY. DO NOT FENCE LEADERS.
 5. WATERING AND FERTILIZING PROGRAM SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY.
 6. TREES, AS DETERMINED BY THE CITY, SHALL BE BORER BY THE DEVELOPER AND/OR GENERAL CONTRACTOR. THE SPACING AND QUANTITY MUST BE APPROVED BY THE CITY.
 7. ALL MEASUREMENTS ARE IN MILLIMETERS UNLESS STATED OTHERWISE.

THIS TREE PROTECTION DETAIL IS A STANDARD DOCUMENT PROVIDED BY CITY OF BRAMPTON. STEPHEN ROBERT HITCHCOX ARCHITECT INCLUDES THIS DETAIL IN THIS DRAWING SET FOR CONVENIENCE PURPOSES ONLY, AND MAKES NO ASSERTIONS AS TO THE SUITABILITY OR CORRECTNESS OF THIS DETAIL. AS AN IMPOSED CONDITION OF SPA AND BUILDING PERMIT BY THE CITY OF BRAMPTON, THE CITY OF BRAMPTON RETAINS ALL LEGAL LIABILITIES THAT MAY RESULT FROM THE USE OF THIS DETAIL AND STEPHEN ROBERT HITCHCOX EXPLICITLY EXCLUDES ANY AND ALL LIABILITIES ARISING FROM THE USE OF THIS DETAIL.

L110

MLT-9

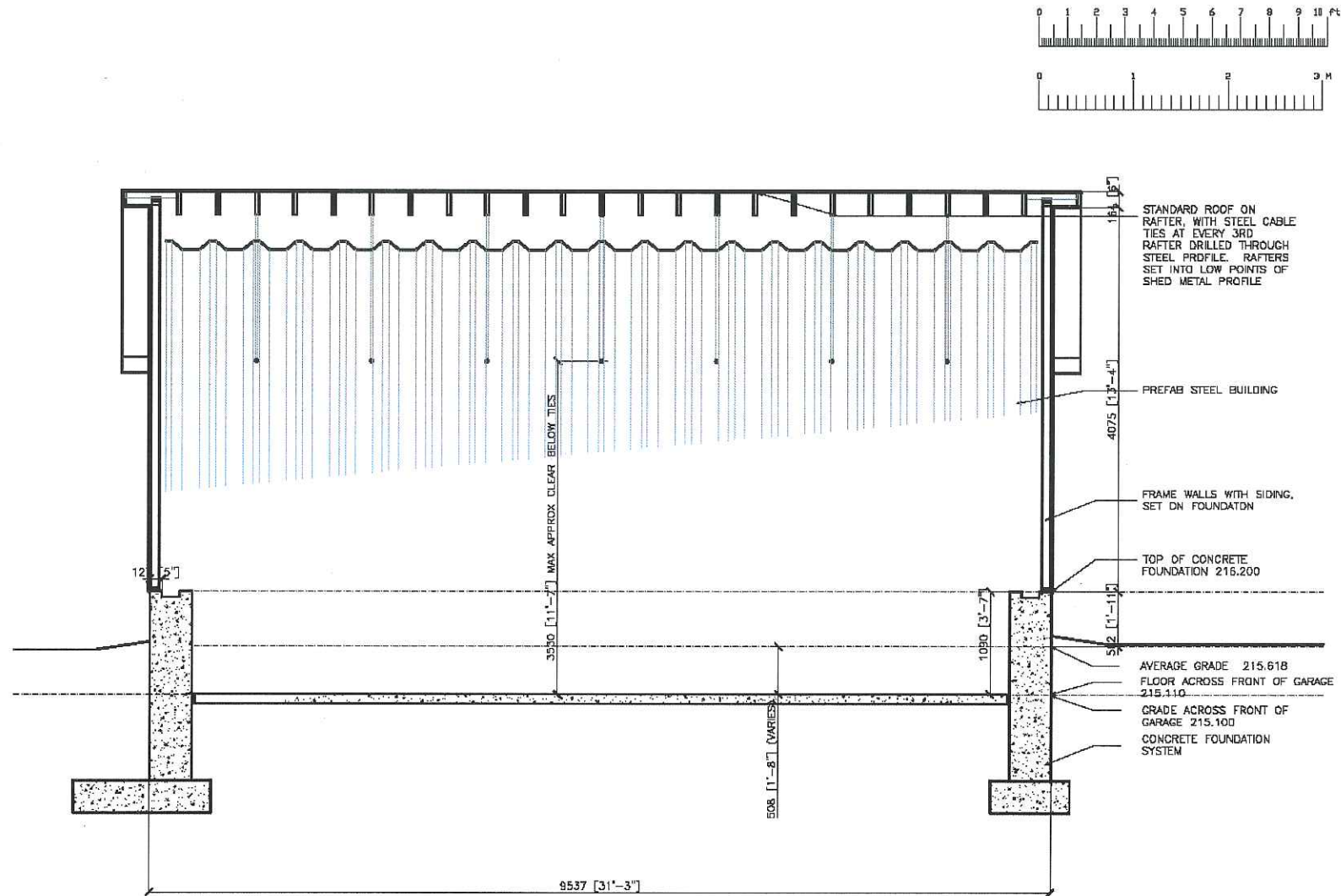
TEMPORARY TREE PROTECTION FENCING

DATE PREPARATION - SERIES 400

SEPTEMBER 2014

BRAMPTON
Flower City

2	2021.05.14	SITE PLAN UPDATE
1	2020.06.25	SITE PLAN SUBMITTAL
N.O.	DATE	ISSUE
<p>COPYRIGHT ALL DRAWINGS, DESIGN, GRAPHIC REPRESENTATIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED BY COPYRIGHT. THE DRAWINGS AND DOCUMENTS ARE TO BE USED ONLY FOR THE PROJECT SO NOTED. REPRODUCTION OF THE DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER THAN THIS PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED. DRAWINGS SOLELY FOR GENERAL PURPOSES, NEGOTIATIONS, LEASE, ETC. CARRY ALL THE ABOVE COPYRIGHT PROTECTION. ONLY DRAWINGS IMPRINTED WITH OFFICIAL O.A. STAMP # 4513 AND SIGNED BY STEPHEN ROBERT HITCHCOX ARCHITECT ARE TO BE USED FOR AND ARE LEGAL FOR CONSTRUCTION.</p> <p>GENERAL REVIEW THE ARCHITECT HAS NOT BEEN RETURNED BY THE CLIENT TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF ANY PARTY TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT. BOLD - MEANS NOT FOR ANY MISINTERPRETATION OF THE REQUIREMENTS OF THE CONTRACT UNLESS WRITTEN CONFIRMATION OF RETENTION IS RECEIVED BY THE CHIEF BUILDING OFFICIAL.</p>		
<div>Stephen Robert HITCHCOX Architect</div> <div>28 THIRTEENTH ST., ETOBICOKE, ONT M9V 3H4 (416) 232-1846</div>		
PROJECT NEW GARAGE 12 ALS TON COURT, BRAMPTON, ONTARIO		
DRAWING NAME A S S B TREE PROTECTION (SPA-2020-0126)		
OBJECT NO.	2020.06.001	DRAWING ISSUE
SCALE	1:12.5	DRAWING NUMBER
DRAWN	SRH	A.402
DATE	2020/07/18	



2	2021.05.14	SITE PLAN UPDATE
1	2020.06.20	SITE PLAN SUBMISSION
NO.	DATE	ISSUE

COPYRIGHT
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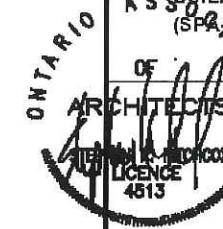
**Stephen Robert
HITCHCOX
Architect**
28 THIRTEENTH ST., STOBICKE, ONT
M9V 3H4
(416) 232-1846

PROJECT **NEW GARAGE**
12 ALSTON COURT, BRAMPTON, ONTARIO

DRAWING NAME

A S S O BUILDING LONG SECTION
(SPA-2020-0126)

PROJECT NO.	2020.06.001	DRAWN & ISSUE	SITE PLAN REV
SCALE	1:50	DRAWING NUMBER	A.403
DRAWN	SRH		
DATE	2020/07/18		



2021.07.21

Re: Proposed Frame Garage at 12 Alston Court

Committee of Adjustment, City of Brampton;

This note is to confirm that the owners of #12 Alston Court, Heather Bain and Ken Wageman, have shown me drawings of their proposed new back yard detached wood framed garage.

I understand that the proposed structure complies with building heights, location, and finishes as required by the applicable Zoning bylaw, and that it will be constructed to the rear of the house in line with the existing driveway.

I do not object to the proposed floor area of the structure, which is proposed at 75.19 m², and which is greater than the 48 m² maximum floor area identified by the applicable Zoning bylaw.

Signed by:



Printed Name:

STEVE FLYNN

Date:

22 / July / 2021

Address:

14 Alston Court

Adjacency to 12 Alston Court:

NEXT DOOR (14)

2021.07.21

Re: Proposed Frame Garage at 12 Alston Court

Committee of Adjustment, City of Brampton;

This note is to confirm that the owners of #12 Alston Court, Heather Bain and Ken Wageman, have shown me drawings of their proposed new back yard detached wood framed garage.

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Signed by:



Printed Name:

Leonardo Baliche / Kristine Rodriguez

Date:

23 / July / 2021

Address:

10 Alston Court

Adjacency to 12 Alston Court:

East

2021.07.21

Re: Proposed Frame Garage at 12 Alston Court

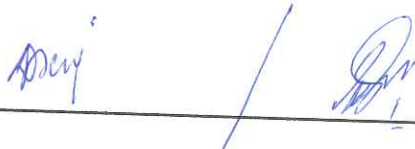
Committee of Adjustment, City of Brampton;

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Signed by:



Printed Name:

DALJIT SAINI / SUKHWINDER SAINI

Date:

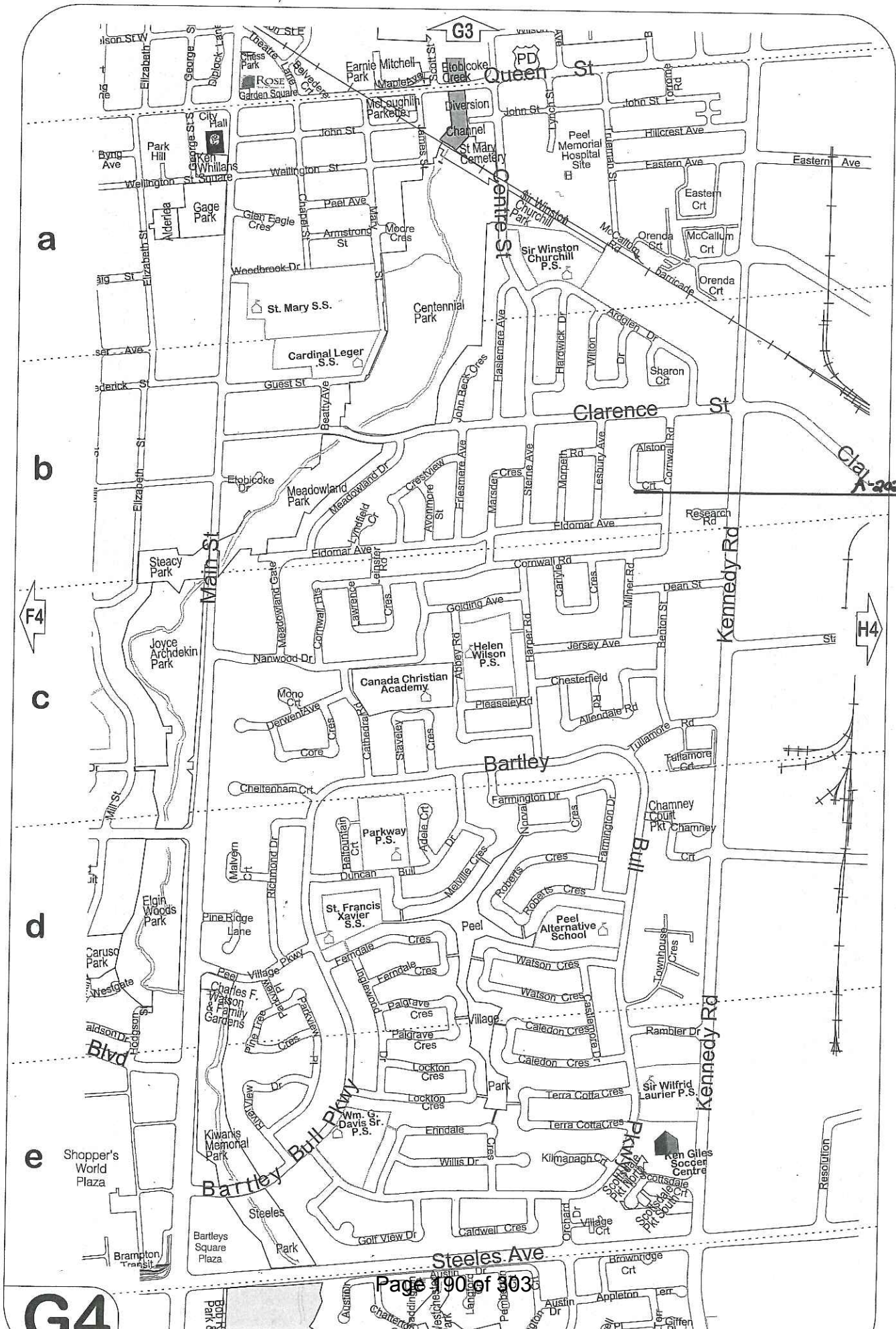
22 / July / 2021

Address:

3 Alston Court

Adjacency to 12 Alston Court:

Across the street.



A-2021-0168



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **RAGHBIR UBHI** Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 11, Plan M-90 municipally known as **8 TORTOISE COURT**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an accessory structure (fireplace) having a height of 3.96m (13 ft.) whereas the by-law permits a maximum height of 3.5m (11.48 ft.);
2. To permit five (5) accessory structures whereas the by-law permits a maximum of two (2) accessory structures;
3. To permit a combined gross floor area of 220.84 sq. m (2377.10 sq. ft.) for five (5) accessory structures (cabana 1, cabana 2, pergola, shed and fireplace) whereas the by-law permits a maximum combined gross floor area of 40 sq. m (430.56 sq. ft.).

Note: Approval was granted under Application A-2021-0087 for four (4) accessory structures having a combined gross floor area of 212.24 sq. m (2284.53 sq. ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021.**
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021.**
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021.** City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) RAGHBIR UBHI

Address 8 TORTOISE CRT BRAMPTON L6P0A1

Phone # 41 645 696 67

Fax #

Email vespa@on.aibn.com

2. Name of Agent ELEN ABUNAHILA

Address 74 Guelph st Georgetown L7G3Z5

Phone # 41 660 296 67

Fax #

Email elen@antaradesign.ca

3. Nature and extent of relief applied for (variances requested):

1 To permit accessory structure for the fireplace is height: 3.96 meters (13 feet)

2.Minor Variance for 8.6 sq.m (93.5sqft) in addition to the other structures

3.Combined Gross Floor Area for 5 accessories is 220.84 sq.m

4. Why is it not possible to comply with the provisions of the by-law?

THE REASON IS TO HAVE OUTDOOR SPACE AND STORAGE (ESPECIALLY PROPERTY IS LARGE

5. Legal Description of the subject land:

Lot Number LOT 11

Plan Number/Concession Number REGISTERED PLAN M-90

Municipal Address 8 TORTOISE COURT

6. Dimension of subject land (in metric units)

Frontage 106.68m

Depth 82.61m from left & 77.45m from the right

Area 8300 m2

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

G.F.A 972.28m² two existing Dwelling Floor

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Minor Variance for the fireplace is height: 3.96 meters (13 feet)

Minor Variance for 8.6 sq.m (93.5sqft) in addition to the other structures

Combined Gross Floor Area for 5 accessories is 220.84 sq.m

9. Location of all buildings and structures on or proposed for the subject lands:(specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 23.25m

Rear yard setback 26.63

Side yard setback 46.68

Side yard setback 21.90m

PROPOSED

Front yard setback SHED 65.68M CABANA #1 51.1m CABANA #2 48.7m Pergola 59.5m

Rear yard setback SHED 2.42M CABANA #1 9.1m CABANA #2 16.2m Pergola 3.2m

Side yard setback SHED 24.71M CABANA #1 47.4m CABANA #2 6.2m Pergola 36.2m

Side yard setback SHED 74.04M CABANA #1 54.2m CABANA #2 92.2m Pergola 66.1m

10. Date of Acquisition of subject land: 2011
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2011
15. Length of time the existing uses of the subject property have been continued: 9 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Ela
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 26 DAY OF July, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Elen Abuneha RAGHIBER UPMI, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 26th DAY OF July, 2021

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Ela
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

RE2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

July 29, 2021

Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

July 26, 2021

July 28, 2021

Revised 2023/01/07

PLAN OF REGISTRATION OF
LOT 11
REGISTERED PLAN M-90
CITY OF BRAMPTON
 Original Municipality of Plan
 SCALE: 1" = 100'
 BY: M. D. B. & S. B. INC.
 175 BROADVIEW AVE.
 (2) 437-0001 (2014)

PART 1, PLAN 439-3847

REGISTERED

PLAN 14230 - 6017

PART 5, PLAN 439-3847

1. 1000 sq. ft. (20' x 50')

PART 7, PLAN 439-3847

EXISTING 2 STORY CHURCH
 100-1000
 100-1000
 100-1000
 100-1000

PART 8, PLAN 439-3847

PART 9, PLAN 439-3847

PART 10, PLAN 439-3847

PART 11, PLAN 439-3847

PART 12, PLAN 439-3847

PART 13, PLAN 439-3847

PART 14, PLAN 439-3847

PART 15, PLAN 439-3847

PART 16, PLAN 439-3847

PART 17, PLAN 439-3847

PART 18, PLAN 439-3847

PART 19, PLAN 439-3847

PART 20, PLAN 439-3847

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PART 96, PLAN 439-3847

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PART 98, PLAN 439-3847

PART 99, PLAN 439-3847

PART 100, PLAN 439-3847

PART 101, PLAN 439-3847

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PART 136, PLAN 439-3847

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PART 170, PLAN 439-3847

PART 171, PLAN 439-3847

PART 172, PLAN 439-3847

PART 173, PLAN 439-3847

PART 174, PLAN 439-3847

PART 175, PLAN 439-3847

PART

GTA
Greater Toronto Area
SURVEYING INC.

31 Foodmark Place, Unit 1, Toronto, ON M9W 6P1
Tel: (416) 224-0570 - Fax: (416) 574-0573
E-MAIL: jellyfish@compuserve.ca

0406-0001	04050221	01	PROJECT	10067
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CONCRETE NOTES:

1. CONCRETE WORK SHALL CONFORM TO CSA A23.1-(LATEST) FOR MATERIALS AND WORKMANSHIP.
2. THE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 20 MPa, UNLESS NOTED OTHER WISE. IF MORE STRENUOUS REQUIREMENTS ARE INDICATED IN THE CONTRACT SPECIFICATIONS, THE MORE STRENUOUS REQUIREMENTS APPLY.
3. CONCRETE SHALL HAVE AN EXPOSURE CLASS C-1 AS OUTLINED IN TABLE 2, 4, 20 OF CAN/CSA-A23.1-09 (R2014), UNLESS OTHER WISE NOTED.
4. ALL CONCRETE SHALL BE KEPT MOIST DURING THE FIRST THREE DAYS OF CURING.
5. TOLERANCES AS PER CAN/CSA-A23.1-(LATEST) CLAUSE 6.4.2, EXCEPT AS NOTED BELOW.
6. THE ABOVE REQUIREMENTS DO NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY OF MEETING MORE RIGID REQUIREMENTS SPECIFIED ELSEWHERE IN THE CONSTRUCTION DOCUMENTS OR AS REQUIRED BY EQUIPMENT SHOP DRAWINGS OR SPECIFICATIONS SUCH AS THOSE FOR ELEVATORS ETC.
7. CONCRETE IS SPECIFIED AS PER THE "PERFORMANCE" ALTERNATE AS OUTLINED IN TABLE 5 OF CAN/CSA-A23.1-(LATEST).
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WORKING WITH THE CONCRETE SUPPLIER TO ENSURE THAT THE PLASTIC AND HARDENED MIX PROPERTIES MEET SITE REQUIREMENTS FOR PLACING, FINISHING, AND THE OWNERS' SPECIFIED PERFORMANCE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL MEET THE DOCUMENTATION AND QUALITY CONTROL REQUIREMENTS OUTLINED UNDER THE "PERFORMANCE" ALTERNATE OF TABLE 5 OF CAN/CSA-A23.1-(LATEST).
9. THE CONCRETE SUPPLIER SHALL BE CERTIFIED BY THE READY MIXED CONCRETE ASSOCIATION OF ONTARIO.
10. CONCRETE SHALL HAVE A UNIT WEIGHT OF 145±5 pcf (23.5 kN/m³) UNLESS NOTED OTHERWISE.
11. SLUMP AND AGGREGATE SIZE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND SUPPLIER TO MEET PLACEMENT, AND FINISHING REQUIREMENTS WITHOUT SEGREGATION WHILE MEETING ALL OWNER SPECIFICATIONS.
12. MAXIMUM WATER/CEMENT RATIO AND AIR CONTENT TO MEET THE REQUIREMENTS FOR THE EXPOSURE CLASS AS OUTLINED IN TABLE 2, 4 AND 20 OF CAN/CSA-A23.1-(LATEST).
13. CHLORIDE ION PENETRABILITY FOR EXPOSURE CLASS C-1 SHALL MEET THE REQUIREMENTS OF TABLE 2 OF CAN/CSA-A23.1-(LATEST).
14. CURING OF CONCRETE TO MEET THE REQUIREMENTS FOR THE EXPOSURE CLASS AS OUTLINED IN CLAUSE 7.4.1.7 AS WELL AS TABLES 2 AND 20 OF CAN/CSA-A23.1-(LATEST).
15. NO CALCIUM CHLORIDE IS PERMITTED, IN ANY FORM, IN ANY CONCRETE MIX WITHOUT THE EXPRESS WRITTEN CONSENT OF FIABLE CONSULTING.
16. CURING AND PROTECTION OF CONCRETE FOR HOT, COLD OR DRY WEATHER IS TO BE AS PER CLAUSES

CAN/CSA-A23.1-(LATEST) AS A MINIMUM.

17. ADD CONSTRUCTION JOINTS AS SPECIFIED ON THE DRAWING.

CONCRETE FLOOR NOTES:

1. SLAB ON GRADE TO BE MINIMUM 100mm THICK WITH 25MPa CONCRETE WITH MINIMUM OF 4% AIR ENTRAINMENT ON 150mm COMPACTED GRANULAR FILL.
2. PROVIDE ONE LAYER OF POLYETHYLENE FOR DAMP PROOFING UNDER THE SLAB.

CONCRETE REINFORCEMENT:

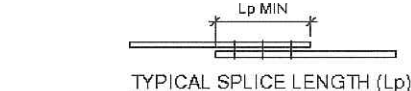
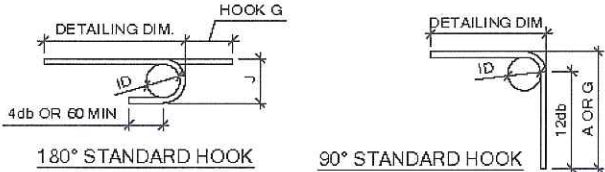
1. REINFORCEMENT SHALL CONFORM TO THE FOLLOWING STANDARDS:

CAN/CSA-G30.18R-GRADE 400 MPa - 10M AND LARGER (U.N.O.)

2. SUPPORT REINFORCING WITH CHAIRS, ACCESSORIES, OR REINFORCING BARS AS REQUIRED. BARS USED AS SUPPORT BARS SHALL BE CONSIDERED AS ACCESSORIES.
3. PROVIDE SUFFICIENT SUPPORTS TO MAINTAIN CONCRETE PROTECTION AS SPECIFIED. ALL SUPPORTS AND BARS MUST BE TIED TOGETHER TO MAINTAIN REINFORCING STEEL SECURELY IN PLACE DURING CONCRETE PLACEMENT.
4. PROVIDE CONCRETE COVER OVER REINFORCING STEEL ACCORDING TO CSA A23.1 AND DETAILED AS FOLLOWS:

EXPOSURE CONDITION	CONCRETE COVER (mm)
SURFACES CAST AGAINST AND PERMANENT EXPOSED TO EARTH	75
SURFACES EXPOSED TO DE-ICING CHEMICALS	60
FORMED SURFACES EXPOSED TO EARTH OR WEATHER	40
WALLS NOT EXPOSED TO WEATHER	20

BAR SIZE	STEEL GRADE											
	400R OR 500R				400W OR 500W				EPOXY COATED			
	180° HOOK		90° HOOK		180° HOOK		90° HOOK		180° HOOK		90° HOOK	
	ID	J	G*	A OR G	ID	J	G*	A OR G	ID	J	G*	A OR G
10M	70	90	140	180	60	80	130	180	80	100	160	190
15M	100	130	180	280	90	120	170	250	120	150	200	270
20M	120	160	220	310	100	140	200	300	160	200	270	340
25M	150	200	280	400	150	200	280	400	200	250	330	430



NON-EPOXY COATED BARS

400 W BAR SIZE	Lp MIN.	
	WALLS	
	35 MPa	
	10M	620
15M	880	

EPOXY COATED BARS

400 W BAR SIZE	Lp MIN.	
	WALLS	
	35 MPa	
	10M	745
15M	1055	

- * BUILT UP SECTION USING 5-38X140 MEMBERS.
- a. SPACING OF NAILS ALONG THE MEMBER LENGTH SHALL NOT EXCEED SIX TIMES THE THICKNESS OF THE THINNEST PIECE AND SPACING PERPENDICULAR TO THE MEMBER LENGTH SHALL NOT EXCEED 20 TIMES THE NAIL DIAMETER;
- b. ALL NAILS SHALL PENETRATE THROUGH AT LEAST 3/4 OF THE THICKNESS OF THE LAST INDIVIDUAL PIECE AND NAILS SHALL BE DRIVEN ALTERNATELY FROM EITHER FACE OF THE BUILT-UP MEMBER ALONG THE LENGTH; AND
- c. WHEN THE INDIVIDUAL PIECES OF THE BUILT-UP MEMBER ARE WIDER THAN THREE TIMES THEIR THICKNESS, THERE SHALL BE AT LEAST TWO ROWS OF NAILS ACROSS THE MEMBER WIDTH

1. This drawing is to be used only if it is signed and sealed by the engineer or architect.
2. This drawing shall not be used for construction until approved by the engineer.
3. The client, engineer, architect, and contractor shall have no personal liability in the event of a claim, whether in contract, tort, or otherwise, arising out of or from the use of this drawing, and the client, engineer, architect, and contractor shall be bound by the terms and conditions of the contract and the terms and conditions of the contract and the terms and conditions of the contract.



RO	07/05/21	Issued For Permit
No.	DATE DD/MM/YY	DESCRIPTION

CLIENT:

ENGINEER:

HNS
Engineering Inc.
55 Strathaven Drive,
Mississauga, ON L5R 4G9
design_sajid@yahoo.ca

DRAWN:	CHECKED:
KT	KT
DATE:	SCALE:
APR. 18, 21	As Noted

PROJECT ADDRESS:

8 TORTOISE COURT,
BRAMPTON

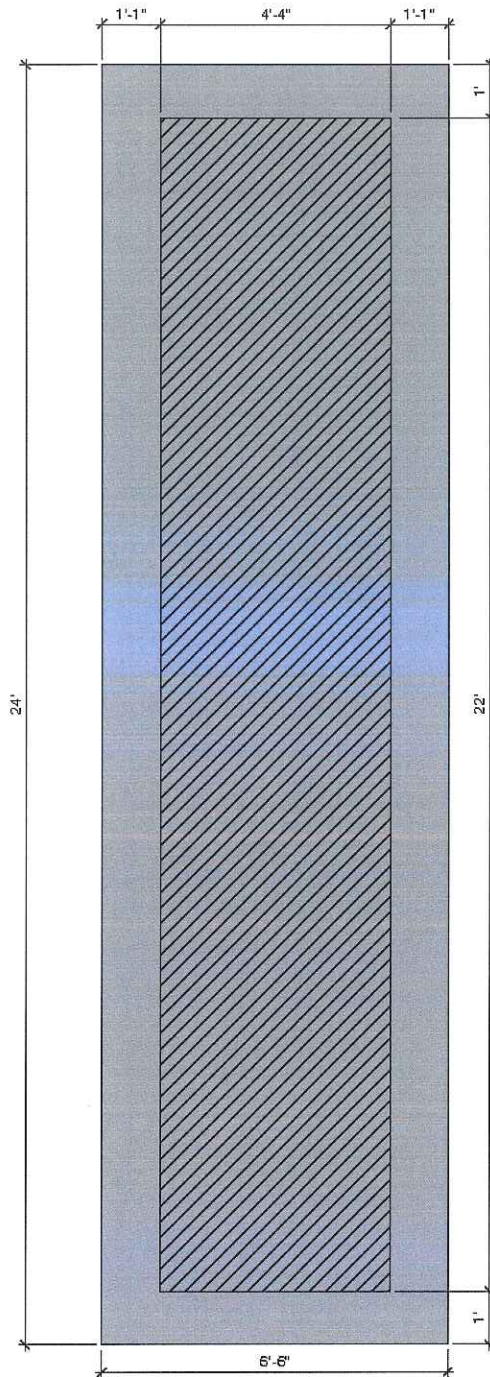
PROJECT TITLE:

DESIGN OF EXTERIOR
FIRE PLACE

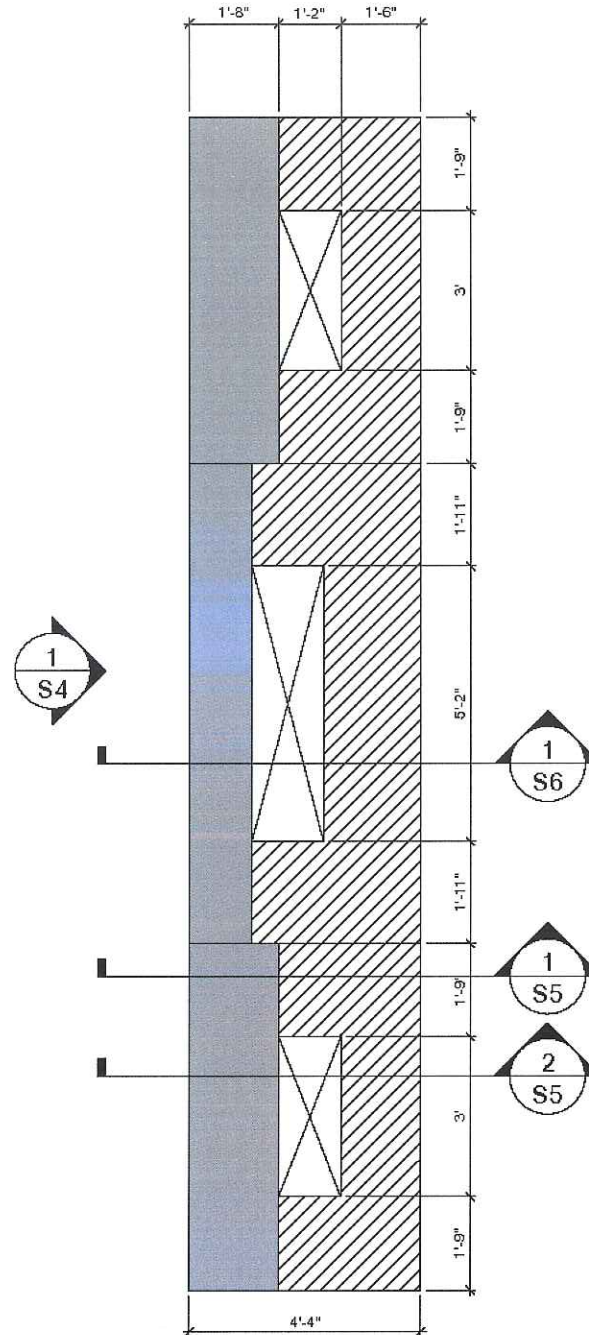
DRAWING NAME:

GENERAL NOTES - 2

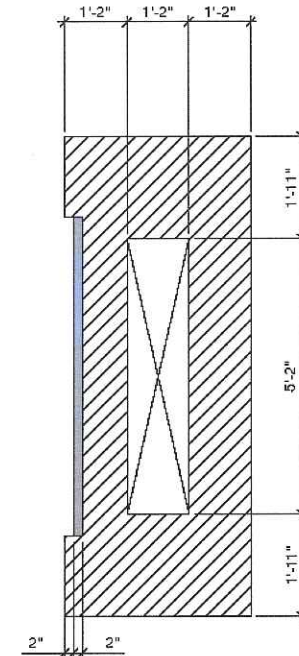
PROJECT NUMBER:	DRAWING NUMBER:
21090	S2



1 FOUNDATION PLAN
S3 SCALE : 3/8" = 1'-0"



2 PLAN @ 2' - 6"
S3 SCALE : 3/8" = 1'-0"



3 PLAN @ 10' - 6"
S3 SCALE : 3/8" = 1'-0"

1 This drawing is to be used only if it is signed and sealed in any way
with the name of the person of the Engineering Inc.
2 This drawing should not be used for construction and approved by the
engineer.
3 The client hereby agrees that this Engineering Inc.'s employee,
drawing engineer and architect shall have no personal liability to the
client in respect of a claim, whether in contract, tort or otherwise, arising out of or
in connection with the design or construction of the project or any other cause
of action in law. Accordingly, the client hereby agrees that it will bring no
proceedings and take no action in any court of law against this Engineering
Inc.'s employee, drawing engineer or architect in their personal capacity.



RO	07/05/21	Issued For Permit
No.	DATE DD/MM/YY	DESCRIPTION
CLIENT:		

ENGINEER:

HNS
Engineering Inc.
55 Strathaven Drive,
Mississauga, ON L5R 4G9
design_sajid@yahoo.ca

DRAWN: KT	CHECKED: KT
DATE: APR. 18, 21	SCALE: As Noted
PROJECT ADDRESS: 8 TORTOISE COURT, BRAMPTON	
PROJECT TITLE: DESIGN OF EXTERIOR FIRE PLACE	
DRAWING NAME: PLANS	
PROJECT NUMBER: 21090	DRAWING NUMBER: S3

1. This drawing is not to be used for any other purpose than that for which it was prepared.
 2. This drawing should not be used for construction until approved by the engineer.
 3. The client, separately, agrees that HNS Engineering Inc.'s employees, during employment, and individuals that have no personal liability in the event of a claim, whether in contract, tort, or otherwise, any other cause of action in law. Accordingly, the client separately agrees that it will not prosecute or take any action in any court of law against HNS Engineering Inc.'s employees, during employment or otherwise, in their personal capacity.



RO	07/05/21	Issued For Permit
No.	DATE DD/MM/YY	DESCRIPTION

CLIENT:

ENGINEER:

HNS
 Engineering Inc.
 55 Strehaven Drive,
 Mississauga, ON L5R 4G9
 design_sajid@yahoo.ca

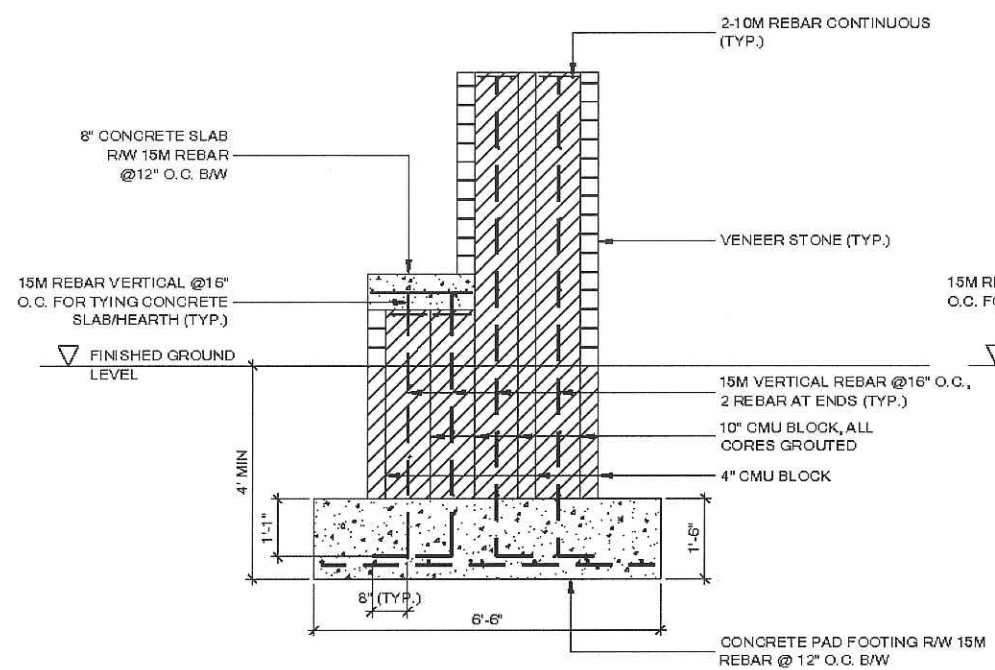
DRAWN: KT	CHECKED: KT
DATE: APR. 18, 21	SCALE: As Noted

PROJECT ADDRESS:
 8 TORTOISE COURT,
 BRAMPTON

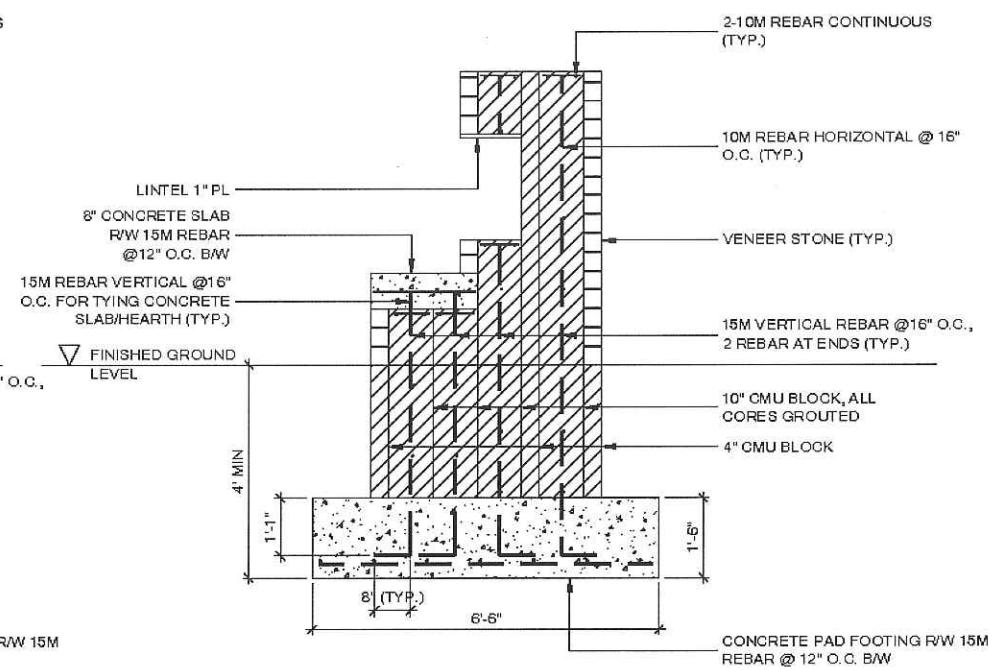
PROJECT TITLE:
 DESIGN OF EXTERIOR
 FIRE PLACE

DRAWING NAME:
 SECTIONS - 1

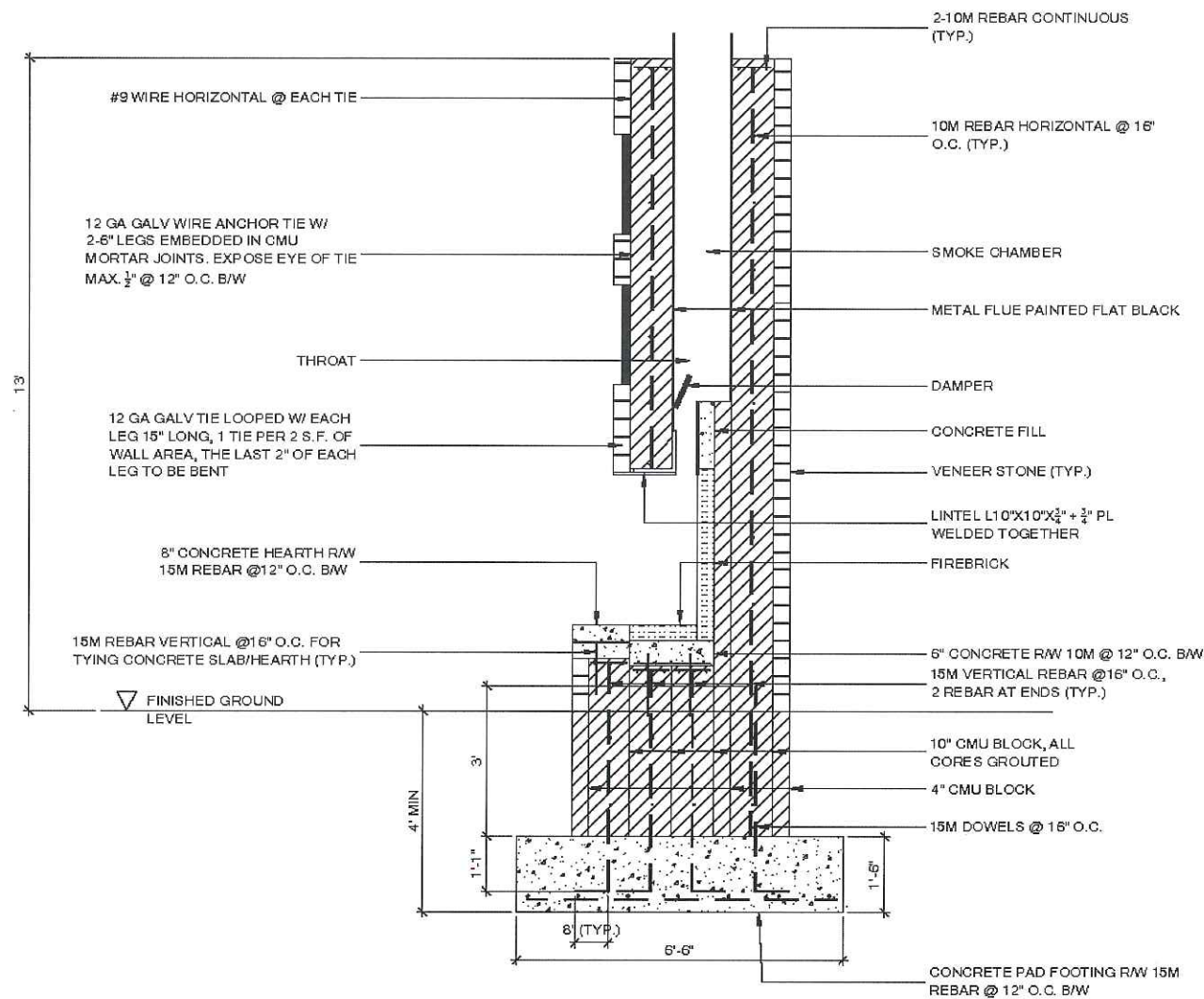
PROJECT NUMBER: 21090	DRAWING NUMBER: S5
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1 SECTION - 1
 S5 SCALE : 3/8" = 1'-0"



2 SECTION - 2
 S5 SCALE : 3/8" = 1'-0"



1 SECTION - 1
S6 SCALE : 3/8" = 1'-0"

1. This drawing is to be used only for the project and location specified by the owner. It shall not be used for any other project or location without the written consent of HNS Engineering Inc.
2. This drawing shall not be used for construction until approved by the engineer.
3. The client represents and warrants that HNS Engineering Inc.'s employees, designers and consultants shall have no personal liability in the design or construction of a structure, building or facility, and shall not be liable for any damages or claims in law. Accordingly, the client represents and warrants that it will hold its employees, designers and consultants harmless in any and all claims against HNS Engineering Inc. for damages, claims or liabilities in connection with the design or construction of the structure, building or facility.



R0	07/05/21	Issued For Permit
No.	DATE DD/MM/YY	DESCRIPTION

CLIENT:

ENGINEER:



55 Strathaven Drive,
Mississauga, ON L5R 4G9
design_sajid@yahoo.ca

DRAWN: KT	CHECKED: KT
DATE: APR. 18, 21	SCALE: As Noted

PROJECT ADDRESS:
8 TORTOISE COURT,
BRAMPTON

PROJECT TITLE:
DESIGN OF EXTERIOR
FIRE PLACE

DRAWING NAME:
SECTIONS - 2

PROJECT NUMBER: 21090	DRAWING NUMBER: S6
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8 TORTOISE COURT

PREVIOUS DECISION(S)



FILE NUMBER A-2021-0087

HEARING DATE MAY 11, 2021

APPLICATION MADE BY RAGHEIR UBHI
IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN
APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING
VARIANCE(S):

1. To permit an accessory structure (cabana 1) having a gross floor area of 78.25 sq. m (842.28 sq. ft.);
2. To permit an accessory structure (cabana 1) having a building height of 4.57m (15.0 ft.);
3. To permit an accessory structure (cabana 2) having a gross floor area of 69.32 sq. m (746.15 sq. ft.);
4. To permit an accessory structure (cabana 2) having a building height of 5.03m (16.50 ft.);
5. To permit an accessory structure (pergola) having a height of 5.19m (17.03 ft.);
6. To permit an accessory structure (shed) having a gross floor area of 48.25 sq. m (519.36 sq. ft.);
7. To permit 4 accessory structures (cabana 1, cabana 2, pergola and shed);
8. To permit 4 accessory structures (cabana 1, cabana 2, pergola and shed) having a combined gross floor area of 212.24 sq. m (2284.53 sq. ft.).

(8 TORTOISE COURT – LOT 1, PLAN M-90)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF
BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON MAY 11, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

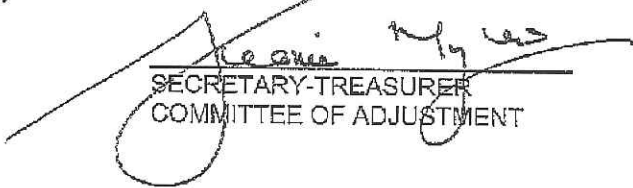
ROD POWER, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 11TH DAY OF MAY, 2021

**NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL
PLANNING APPEAL TRIBUNAL WILL BE MAY 31, 2021**

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY
THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH
RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

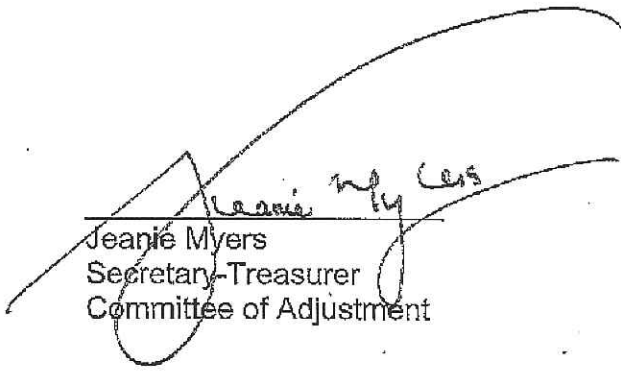
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

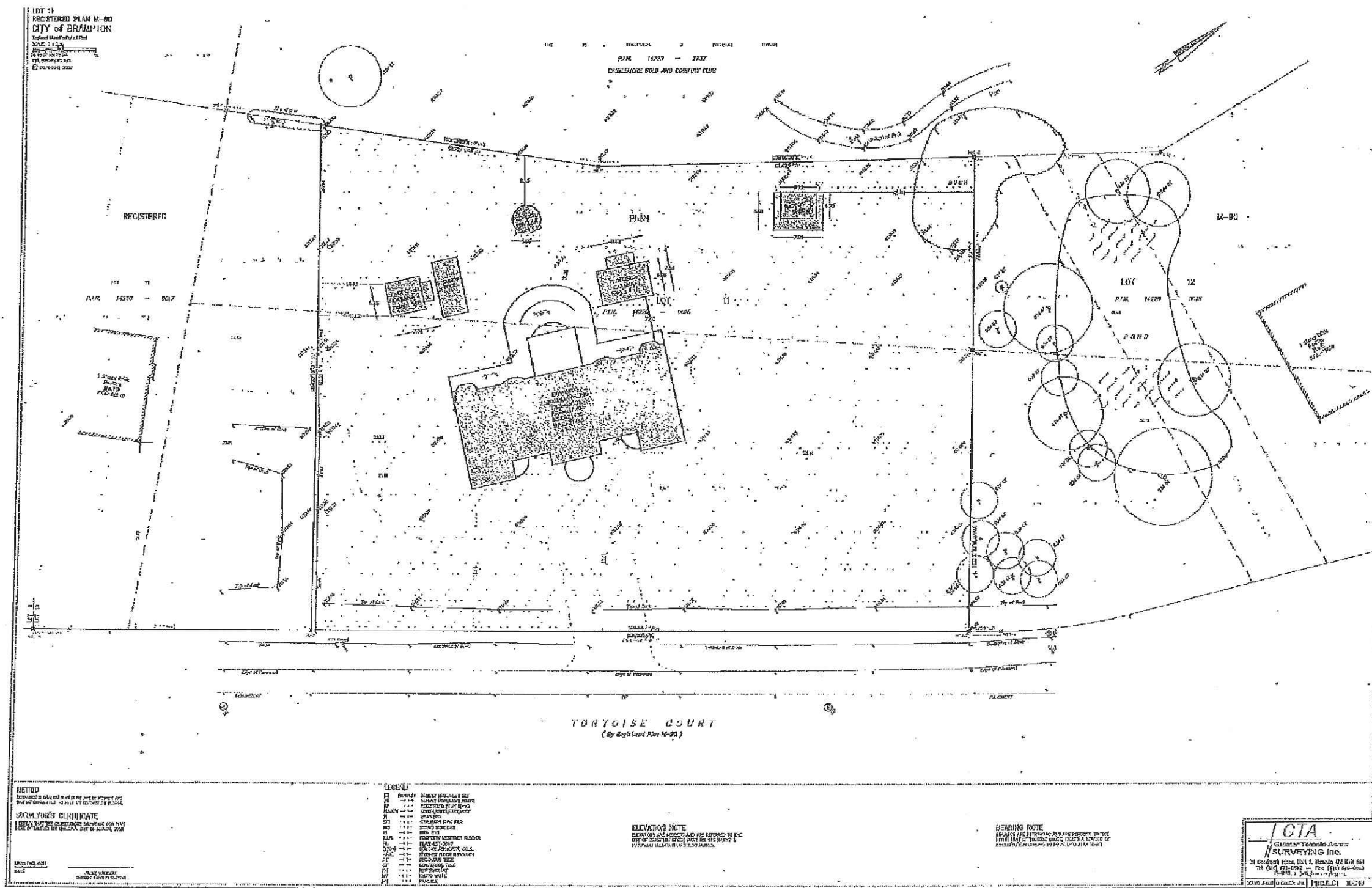
APPLICATION NO: A-2021-0087

DATED: MAY 11, 2021

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That roof drainage from the accessory structures shall be directed onto the subject property and drainage on adjacent properties not be adversely impacted;
3. That the accessory buildings (cabana 1, cabana 2, pergola and shed) shall not be used as a separate dwelling unit and that the permission for habitable space in the accessory buildings shall be limited to the provision of one washroom and one bar sink;
4. That the proposed cabanas and pergola be of a primarily open style construction and shall not be fully enclosed;
5. The applicant acquires a TRCA permit pursuant to Ontario Regulation 166/06;
6. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment





FILE NUMBER A-2020-0129

HEARING DATE DECEMBER 1, 2020

APPLICATION MADE BY RAGHBIR UBHI

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an accessory structure (shed) having a gross floor area of 48.25 sq. m (519.36 sq. ft.);
2. To permit an accessory structure (cabana) having a gross floor area of 123.55 sq. m (1329.88 sq. ft.);
3. To permit a combined gross floor area of 171.8 sq. m (1849.24 sq. ft.) for two (2) accessory structures (shed and cabana);
4. To permit a fence in the front yard having a maximum height of 2.69m (8.83 ft.).

(8 TORTOISE COURT – LOT 11, PLAN M-90)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON DECEMBER 1, 2020

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

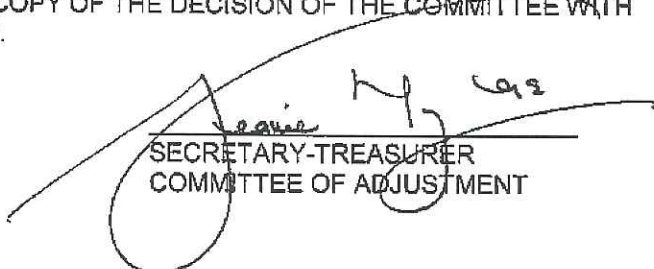
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

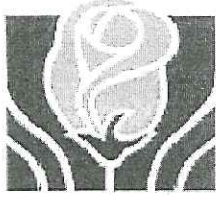
DATED THIS 1ST DAY OF DECEMBER, 2020

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE DECEMBER 21, 2020

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT



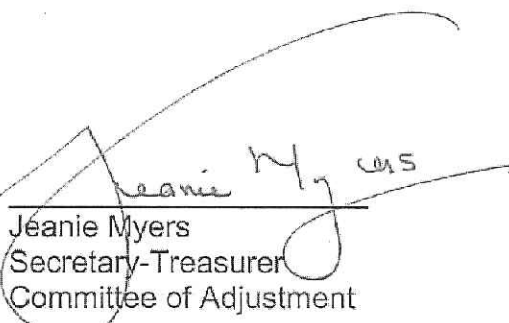
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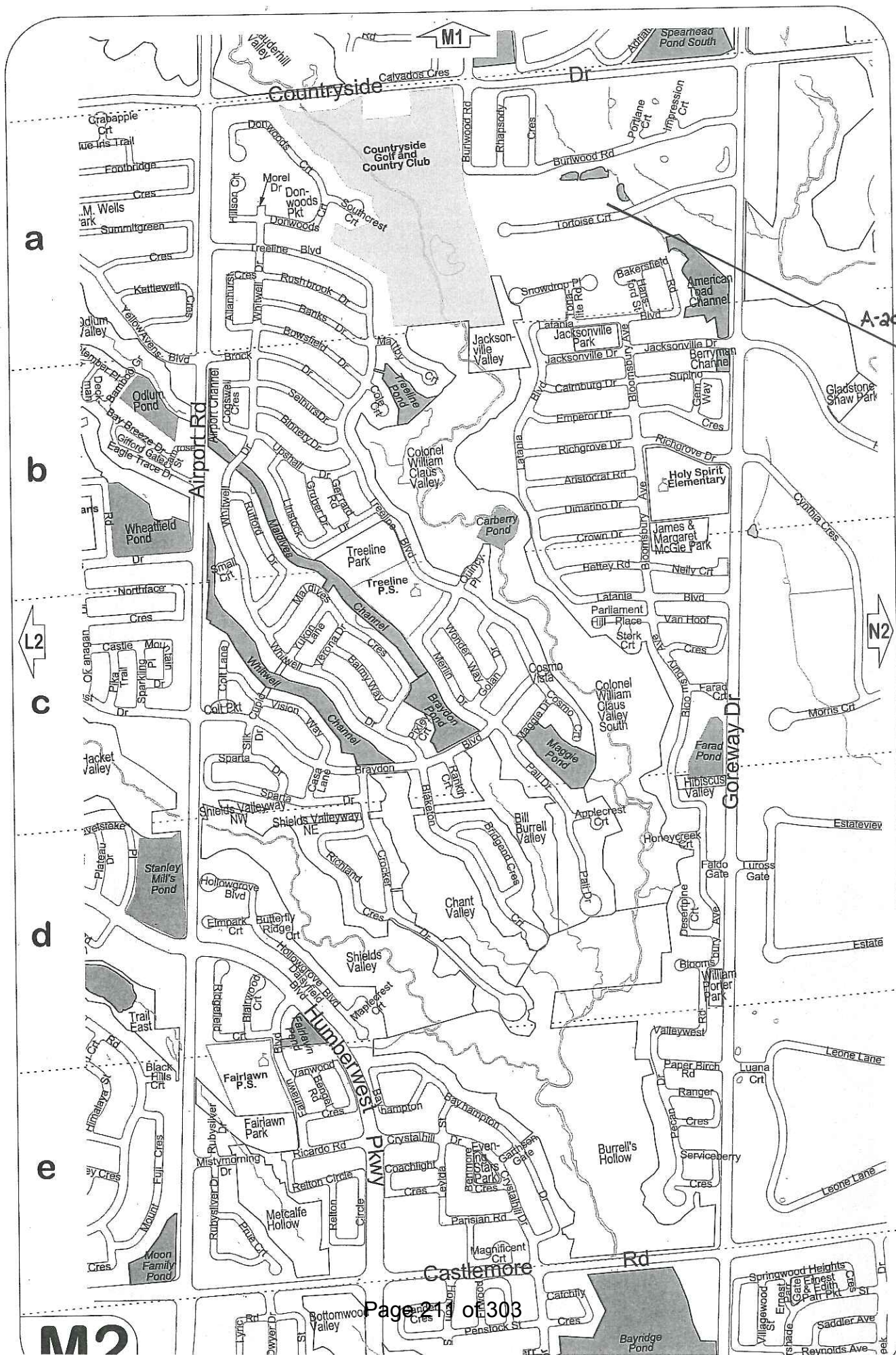
APPLICATION NO: A-2020-0129

DATED: DECEMBER 1, 2020

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice;
2. That the proposed cabana be of an open style construction;
3. That the drainage from the open, roofed structure and all accessory structures be directed onto the subject property and drainage on adjacent properties not be adversely impacted;
4. That the existing open style fencing shall not be replaced by a solid or opaque form of fencing;
5. That the applicant submits a TRCA permit application (Application for Development, Interference with Wetlands & Alterations to Shorelines and Watercourses-Ontario Regulation 166/06) and the associated review fee of \$210 (Works on Private Residential Property – Minor Ancillary;
6. That the applicant submits the required review fee of \$580 (Variance-Residential-Minor) to TRCA; and
7. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



a

b

c

d

e

M2

A-2021-0169

APPLICATION # A-2021-0170
WARD # 4

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **TARIG ABDELMONIM AND EINAS KHAIRY** Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 347, Plan 43M-1883 municipally known as **4 TEABERRY TERRACE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a deck encroachment of 4.29m (14.07 ft.) into the required rear yard, resulting in a rear yard setback of 3.21m (10.53 ft.) whereas the by-law permits a deck encroachment of 1.8m (5.91 ft.) into the required rear yard, resulting in a rear yard setback of 5.7m (18.70 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

DECK APPROVAL 4 Teaberry Terrace, Brampton, ON



1 SITE PLAN
A1 SCALE: 3/32"=1'-0"



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1	ISSUED FOR BUILDING PERMIT	APR. 2021
No.	ISSUED	DATE

PROJECT MANAGEMENT CONSULTANT

ARCHITECT MAZHAR RAJA

CAPRIJA CORPORATION
Architecture, Construction and
Project Management Consultants
1485 CLARK BLVD., MILTON, ONT. L9T 4M5
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CLIENT
4 Teaberry Terrace, Brampton,
ON. L6Y 0Y1

PROJECT
DECK APPROVAL

DRAWING
SITE PLAN

PROJECT NO
221046

DRAWN
AS

PLOTTED DATE
APR 27, 2021

SCALE
AS NOTED

CHECKED
MR



DWG. NO.
A1

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021.**
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021.**
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021.** City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



FILE NUMBER: A-2021-0170

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

Tarig Abdelmonim // Einas Khairy

Address

4 Teaberry Terrace

Brampton, ON L6Y 0Y1

Phone #

647-660 4197

Fax #

Email

tarigmonim@gmail.com

2.

Name of Agent

Mazhar Raja // Caprija Corporation

Address

1465 Clark Blvd.

Milton, ON L9T 6M5

Phone #

647-959-9595

Fax #

Email

info@caprija.com

3.

Nature and extent of relief applied for (variances requested):

A deck encroachment of 4.29m is required, resulting in a rear yard setback of 3.21m whereas the by-law permits a deck encroachment of 1.8m, resulting in a rear yard setback of 5.7m

4.

Why is it not possible to comply with the provisions of the by-law?

If we provide the permitted 5.7m rear setback, we would be left with a very small deck.

5.

Legal Description of the subject land:

Lot Number

Lot 347

Plan Number/Concession Number

Part 1 Plan 43R-35741

Municipal Address

4 Teaberry Terrace, Brampton, ON L6Y 0Y1

6.

Dimension of subject land (in metric units)

Frontage

8.54m

Depth

29.41 m

Area

264.87m2

7.

Access to the subject land is by:

Provincial Highway

☐

Seasonal Road

☐

Municipal Road Maintained All Year

☒

Other Public Road

☐

Private Right-of-Way

☐

Water

☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Two unit dwelling

Gross Floor Area: 264.87m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No change

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.11m

Rear yard setback 8.42m

Side yard setback 0.65m

Side yard setback 1.22m

PROPOSED

Front yard setback 6.11m

Rear yard setback 3.39m

Side yard setback 0.65m

Side yard setback 1.22m

10. Date of Acquisition of subject land: August 2014

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 2014

15. Length of time the existing uses of the subject property have been continued: 7 years

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Tariq A/Sale / Consenting
Signature of Applicant(s) or Authorized Agent

DATED AT THE City of Brampton OF Region of Peel

THIS 26 DAY OF July, 2021

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

MAZHAR RAJA TOWN MILTON
I, Tariq Abdelmonem / Elhas Khairy OF THE City OF Brampton

IN THE Region OF Peel-HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 26th DAY OF

July, 2021

Jeanie Myers
A Commissioner etc.

Tariq A/Sale / Consenting
Signature of Applicant or Authorized Agent

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024. J.M.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1F-11.6-2102

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

July 29, 2021

Date

DATE RECEIVED July 26, 2021

Revised 2020/1/02

DECK APPROVAL 4 Teaberry Terrace, Brampton, ON



LOCATION MAP



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 Architecture, Construction and
 Project Management Consultants
 1485 CLARK BLVD., MILTON, L7T 8W5
 Tel: 647 893 6108, 647 948 9096
 Email: info@caprija.com, Web: www.caprija.com

CUSTOMER
 4 Teaberry Terrace, Brampton,
 ON. L6Y 0Y1

PROJECT
 DECK APPROVAL

DRAWING
 SITE PLAN

PROJECT NO	221046	
DRAWN	AS	
PLOTTED DATE	APR 27, 2021	
SCALE	AS NOTED	
CHECKED	MR	DWG. NO. A1

1 SITE PLAN
 A1 SCALE: 3/32"=1'-0"

DECK APPROVAL 4 Teaberry Terrace, Brampton, ON



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Email: info@caprija.com Web: www.caprija.com

CLIENT

4 Teaberry Terrace, Brampton,
ON. L6Y 0Y1

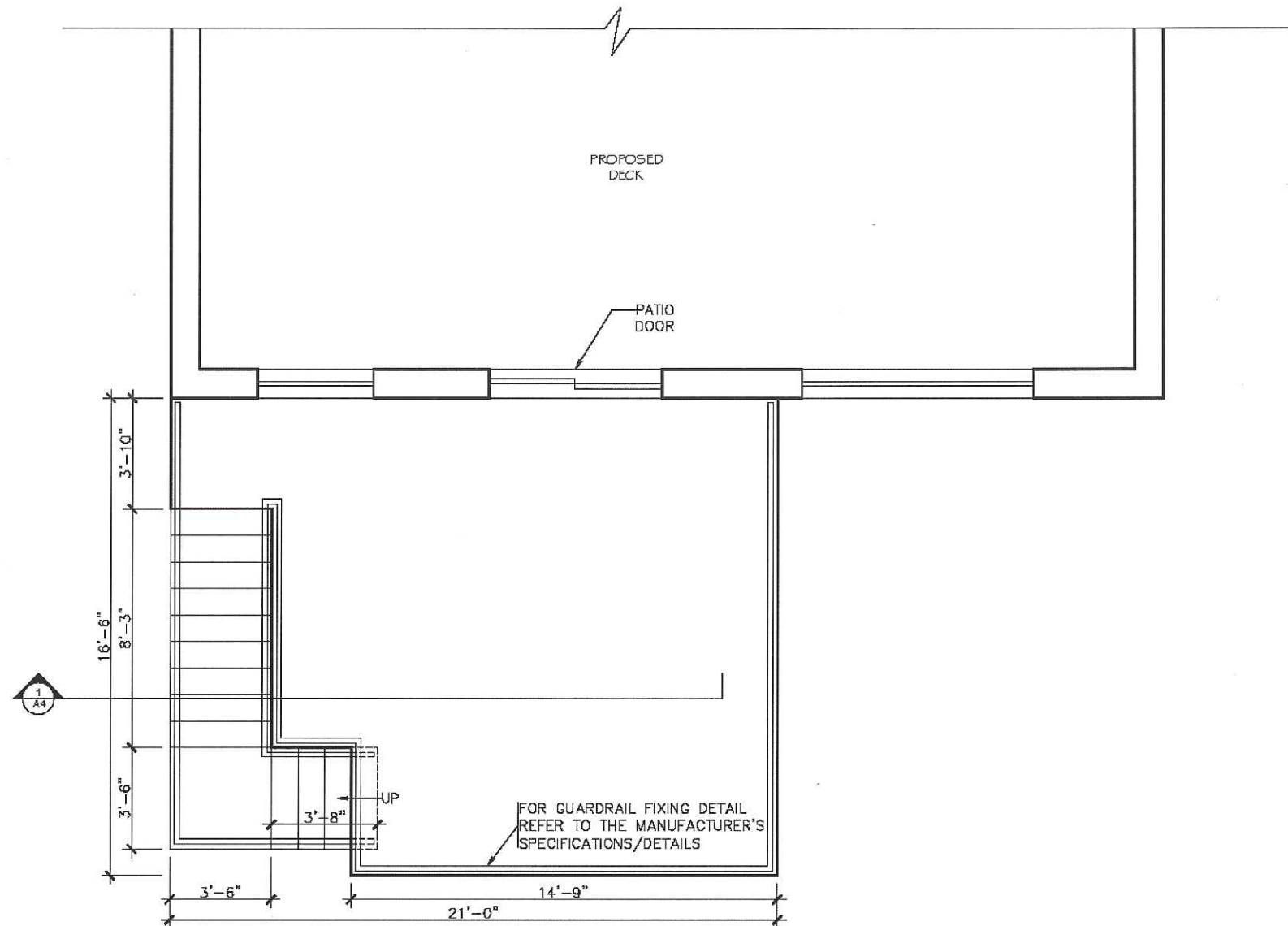
PROJECT

DECK APPROVAL

DRAWING

SITE PLAN

PROJECT NO	221046	
DRAWN	AS	
PLOTTED DATE	APR 27, 2021	
SCALE	AS NOTED	
CHECKED	M.R.	DWG. NO. A1



1 DECK PLAN
A2 SCALE: 1/4"=1'-0"

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Email: info@caprija.com; Web: www.caprija.com

CLIENT

4 Teaberry Terrace, Brampton,
ON. L6Y 0Y1

PROJECT

DECK APPROVAL

DRAWING

DECK PLAN

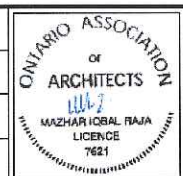
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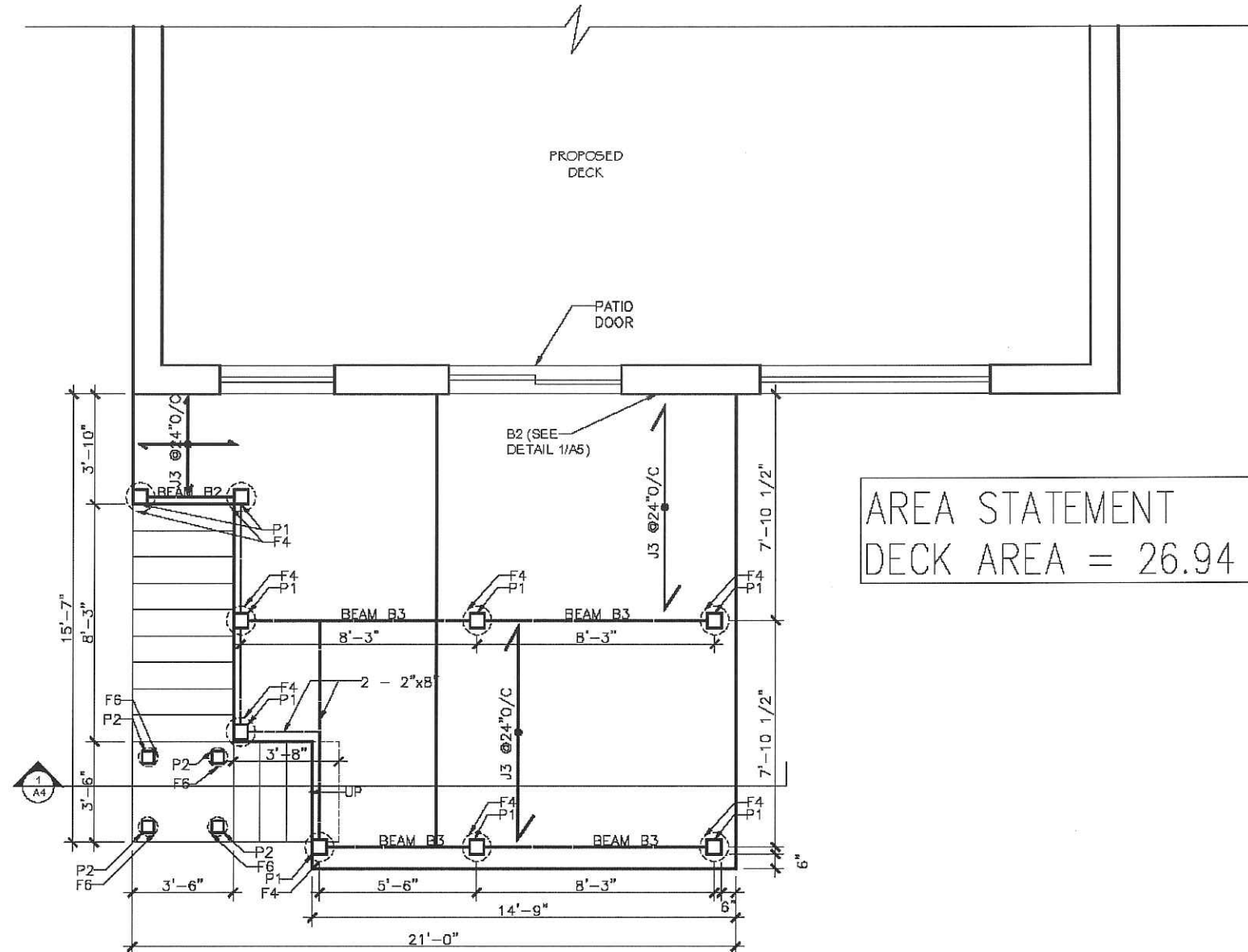
PLOTTED DATE
APR 27, 2021

SCALE
AS NOTED

CHECKED
MR



DWG. NO. A2



AREA STATEMENT
DECK AREA = 26.94 m²

1 DECK DETAILS
A3 SCALE: 1/4"=1'-0"

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CLIENT

4 Teaberry Terrace, Brampton,
ON. L6Y 0Y1

PROJECT

DECK APPROVAL

DRAWING

DECK DETAILS

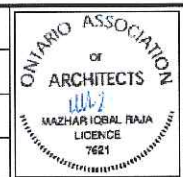
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221048

DRAWN
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PLOTTED DATE
APR 27, 2021

SCALE
AS NOTED

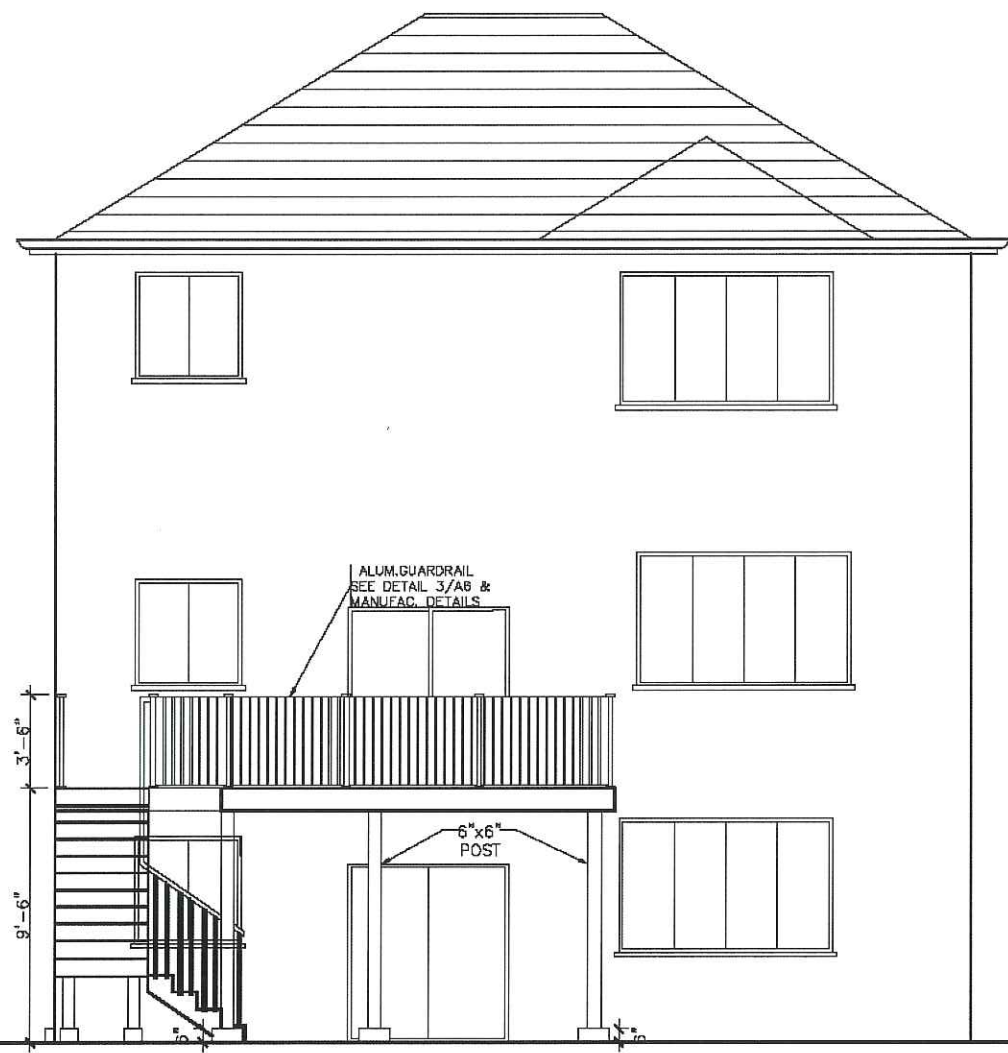
CHECKED
MR



DWG. NO.

A3

ALL ELEVATION LINES ARE
INDICATIVE. IT IS DRAWN FOR
THE DECK APPROVAL ONLY.



1 SOUTH-WEST ELEVATION
A4 SCALE: 3/16"=1'-0"

LEGENDS – FOOTINGS

F1	Ø18" CONC. FOOTING
F2	Ø16" CONC. FOOTING
F3	Ø14" CONC. FOOTING
F4	Ø12" CONC. FOOTING
F5	Ø10" CONC. FOOTING
F6	Ø8" CONC. FOOTING

LEGENDS – BEAMS

B1	3 – 2"x12" PT WOOD
B2	3 – 2"x10" PT WOOD
B3	3 – 2"x8" PT WOOD
B4	3 – 2"x6" PT WOOD

LEGENDS – JOISTS

J1	2"x12" PT WOOD
J2	2"x10" PT WOOD
J3	2"x8" PT WOOD
J4	2"x6" PT WOOD

LEGENDS – POSTS

P1	6"x6" PT POST
P2	5"x5" PT POST
P3	4"x4" PT POST

2 LEGENDS
A4 SCALE: N.T.S.

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PROJECT MANAGEMENT CONSULTANT

ARCHITECT MAZHAR RAJA



CLIENT
4 Teaberry Terrace, Brampton,
ON. L6Y 0Y1

PROJECT
DECK APPROVAL

DRAWING
WEST ELEVATION

PROJECT NO
221048

DRAWN
AS

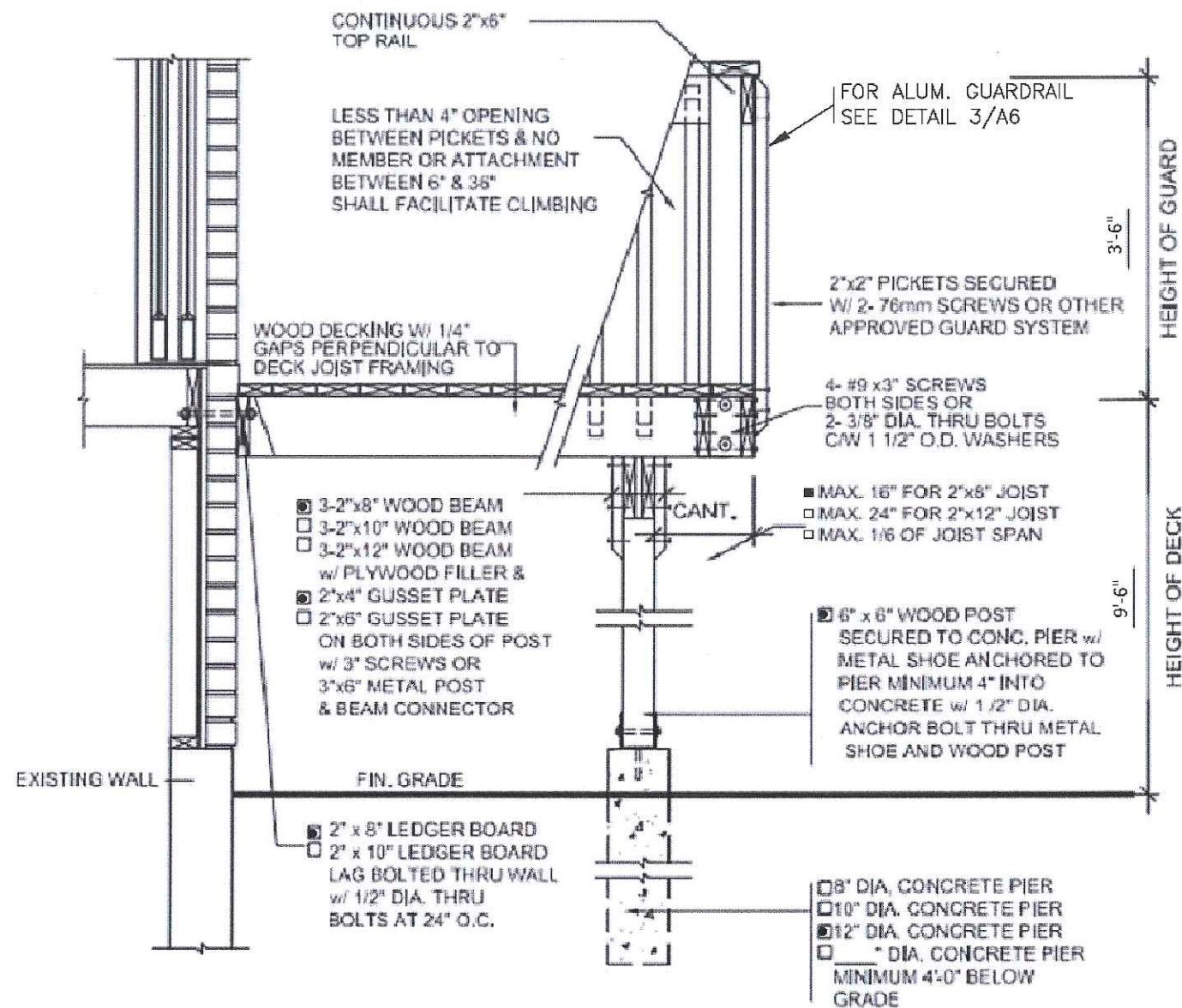
PLOTTED DATE
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DWG. NO.
A4



1 SECTION A-A
 A5 SCALE: N.T.S

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CLIENT

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PROJECT

DECK APPROVAL

DRAWING

SECTION A-A

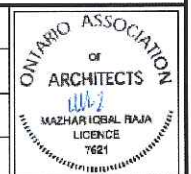
PROJECT NO
 221046

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PLOTTED DATE
 APR 27, 2021

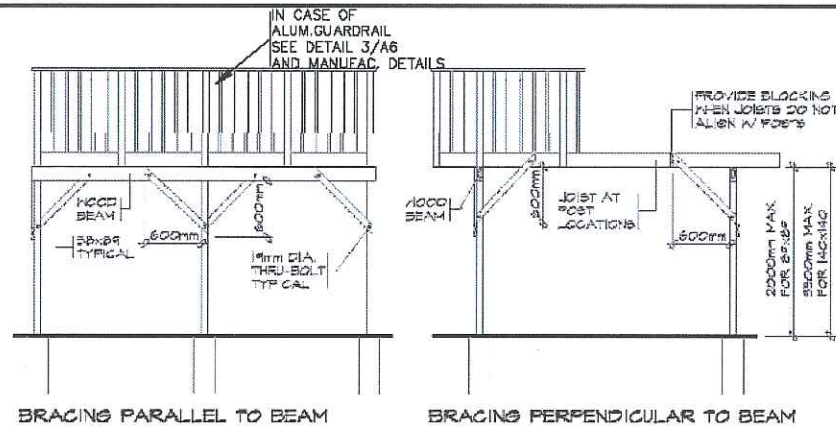
SCALE
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 MR



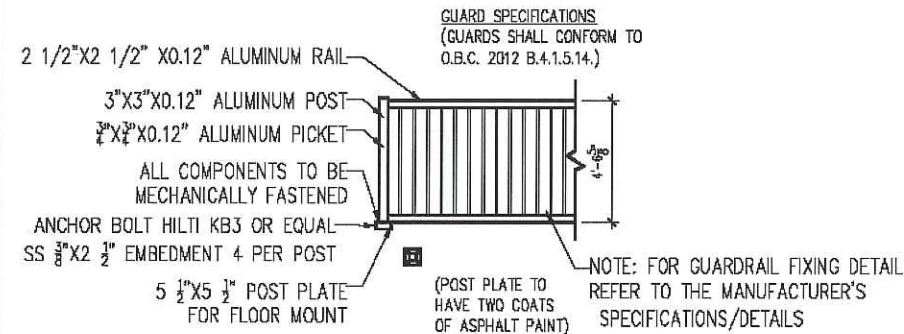
DWG. NO.

A5

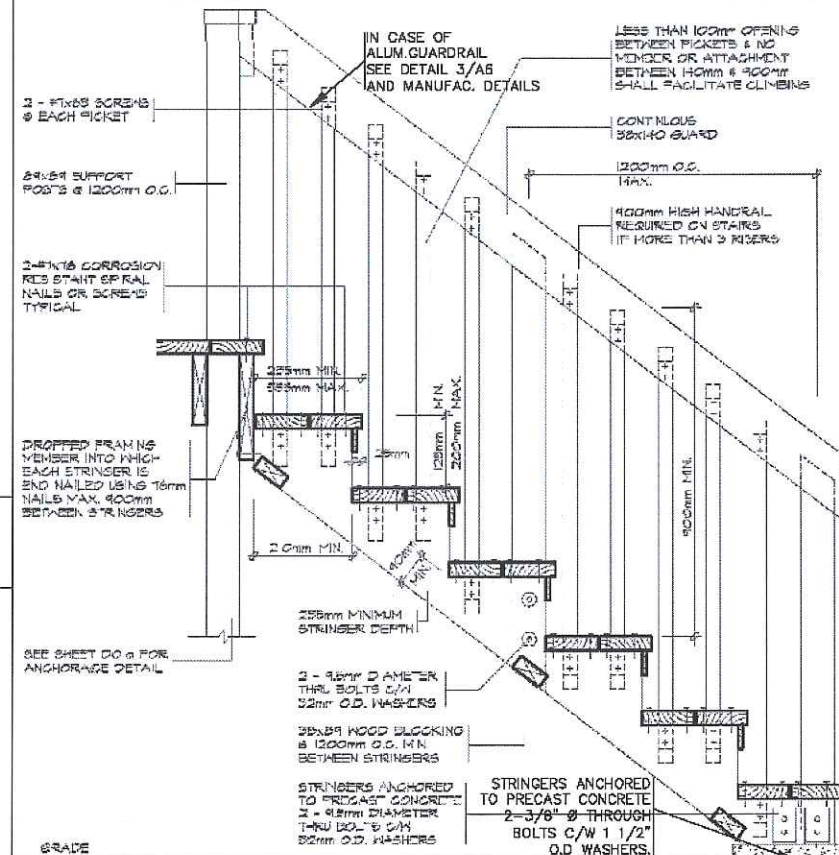


FREE STANDING DECKS GREATER THAN 600mm ABOVE GRADE SHALL RESIST LATERAL LOADING & MOVEMENT. ALL POSTS MUST BE BRACED WHERE THE SUPPORTED AREA EXCEEDS THOSE LISTED IN THE TABLE ON D01D

1 BRACING DETAILS A6 SCALE: 3/8"=1'-0"



3 GUARDRAIL DETAIL A6 SCALE: 3/16"=1'-0"



2 STAIR DETAILS A6 SCALE: 3/8"=1'-0"

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PROJECT
DECK APPROVAL

DRAWING
BRACING DETAIL

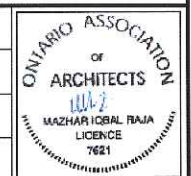
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221048

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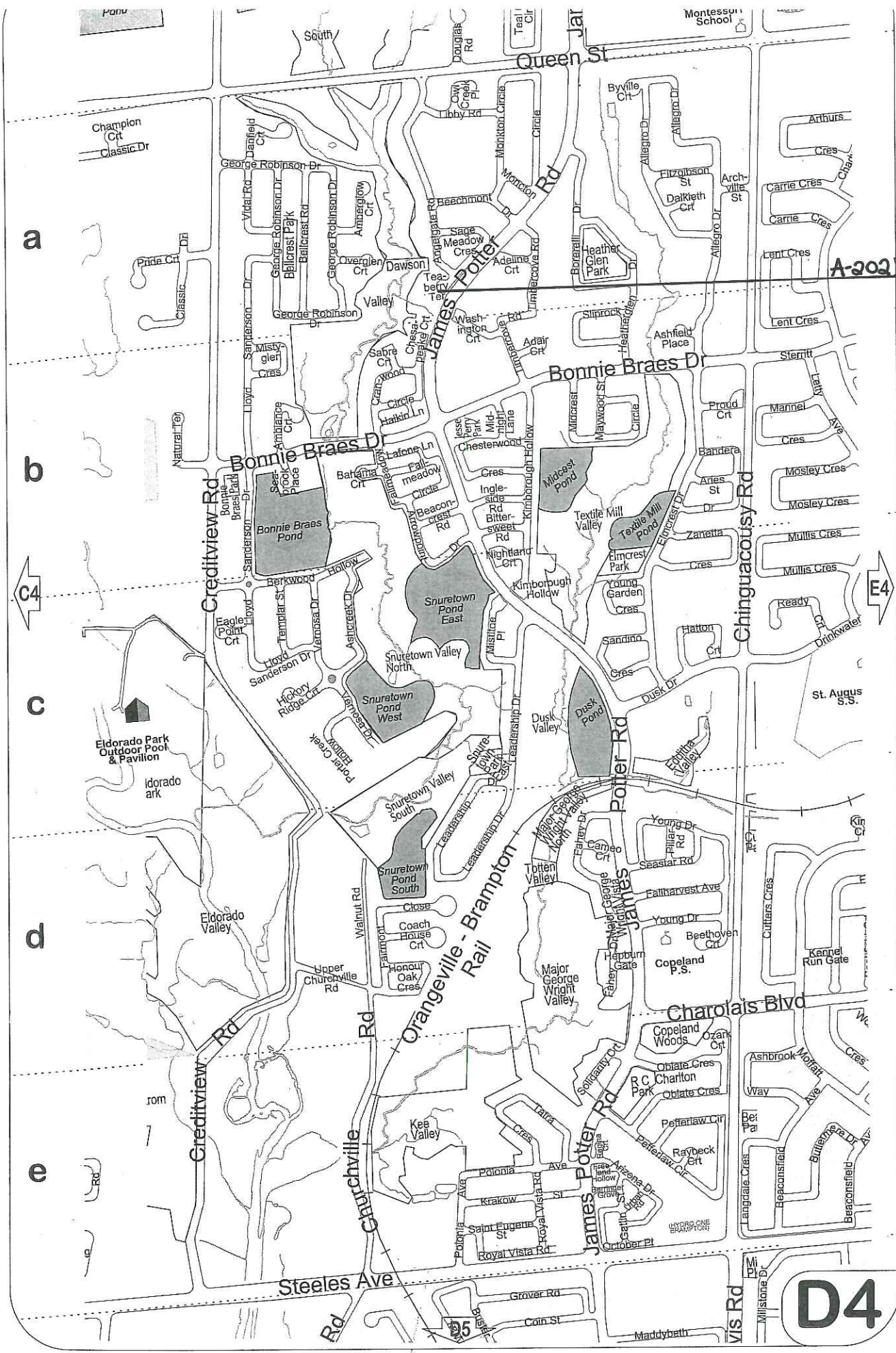
PLOTTED DATE
APR 27, 2021

SCALE
AS NOTED

CHECKED
MR



DWG. NO.
A6



APPLICATION # A-2021-0171
WARD # 7

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **TAKOL STEELTON INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Blocks A and B and all of Block C, Plan 766, Parts 3 to 5, Plan 43R-3297 municipally known as **2074, 2080, 2084 STEELES AVENUE EAST**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit offices of accredited or licensed professionals whereas the by-law does not permit the proposed use;
2. To permit an existing fitness centre whereas the by-law does not permit the use;
3. To permit an existing motor vehicle rental establishment whereas the by-law does not permit the use;
4. To permit 448 parking spaces whereas the by-law requires a minimum of 499 parking spaces;
5. To permit a 2.4m (7.87 ft.) wide open space landscaped strip along the lot line abutting Steeles Avenue East whereas the by-law requires a minimum 3.0m (9.84 ft.) wide open space landscaped strip along a lot line abutting a street.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

GENERAL NOTE

THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF MAINLINE PLANNING SERVICES INC. THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE PERMISSION OF MAINLINE PLANNING SERVICES INC. AND UNLESS SEALED AND SIGNED BY THE ARCHITECT/ENGINEER. REPRODUCTION OF THESE DRAWINGS WITHOUT THE CONSENT OF MAINLINE PLANNING SERVICES INC. IS STRICTLY PROHIBITED.

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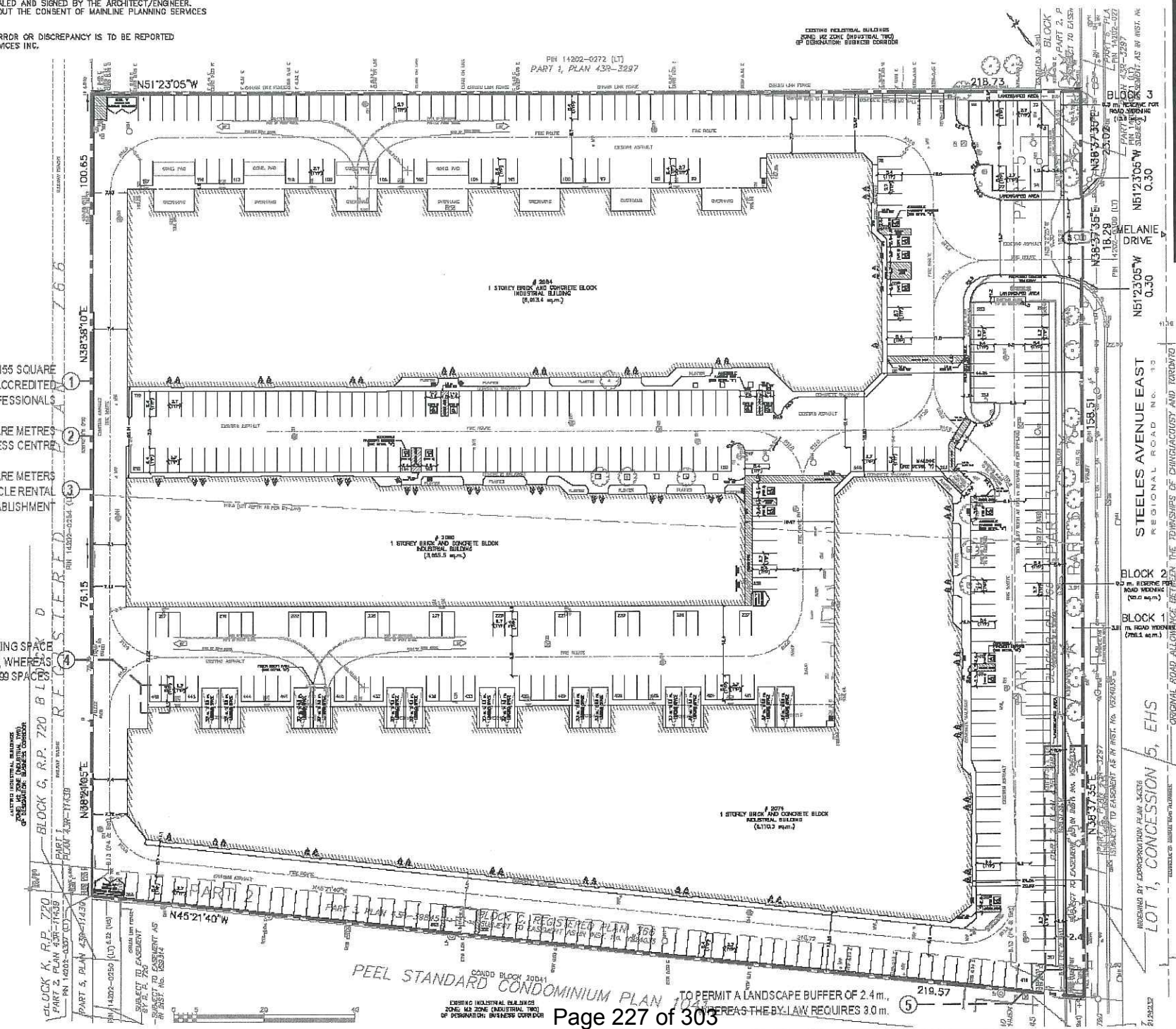
TO PERMIT A MAXIMUM OF 1,155 SQUARE METRES OF GFA FOR OFFICES OF ACCREDITED OR LICENSED PROFESSIONALS

TO PERMIT A MAXIMUM OF 190 SQUARE METRES OF GFA FOR A FITNESS CENTRE

TO PERMIT A MAXIMUM OF 215 SQUARE METRES OF GFA FOR A MOTOR VEHICLE RENTAL ESTABLISHMENT

TO REDUCE THE PARKING SPACE REQUIREMENT TO 448 SPACES, WHEREAS THE BY-LAW REQUIRES MINIMUM 499 SPACES

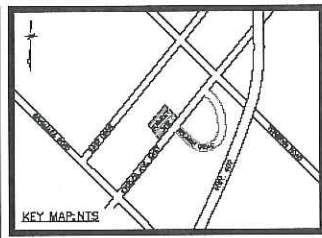
- LEGEND:
- IR DENOTES IRON BAR
 - CP DENOTES CONCRETE PIN
 - BC DENOTES BACK OF CURB
 - BR DENOTES BOTTOM OF RAMP
 - OD DENOTES OVERHEAD DOOR
 - UP DENOTES UTILITY POLE
 - SI DENOTES SIGN
 - LP DENOTES LIGHT POST
 - HY DENOTES HYDRO VAULT
 - GW DENOTES GUY WIRE
 - BP DENOTES BELL PEDESTAL
 - MH DENOTES MANHOLE
 - WW DENOTES WINDING WELL
 - GM DENOTES GAS METER
 - WH DENOTES WATER VALVE
 - BM DENOTES BONE HOLE
 - CV DENOTES FIRE HYDRANT
 - GV DENOTES GAS VALVE
 - BM DENOTES BONE HOLE
 - BO DENOTES BOLLARD
 - PFE DENOTES FINISHED FLOOR ELEVATION
 - GSE DENOTES GROUND SLAB ELEVATION
 - CE DENOTES CATCH BASIN
 - TR DENOTES TOP OF RAMP
 - TM DENOTES TOP OF RETAINING WALL
 - UP DENOTES UTILITY POLE
 - SD DENOTES SLOTTED CONNECTION
 - BR DENOTES BOTTOM OF RETAINING WALL
 - EA DENOTES EDGE OF ASPHALT
 - AP DENOTES ACCESSIBLE PARKING SIGN
 - OH DENOTES OVERHEAD UTILITY WIRES
 - W DENOTES WIRE FENCE
 - CT DENOTES CONIFEROUS TREE
 - DT DENOTES DECIDUOUS TREE
 - SE DENOTES SPOT ELEVATION



LAND USE SCHEDULE

TOTAL SITE AREA	=	41,181.5 sq.m. (100.00)
TOTAL BUILDING ENVELOPE	=	16,889.2 sq.m. (45.40)
2074 STEELS	=	8,110.3 sq.m.
2080 STEELS	=	3,845.5 sq.m.
2084 STEELS	=	4,933.4 sq.m.
BLOCK 1 - ROAD WIDENING	=	788.2 sq.m. (1.98)
BLOCKS 2 & 3 - 0.3 m. RESERVE	=	108.6 sq.m. (0.28)
TOTAL LANDSCAPED AREA	=	2,101.0 sq.m. (5.35)
TOTAL ASPHALT AREA	=	16,196.3 sq.m. (41.30)
TOTAL PROPOSED CONDO UNITS - 85		
2074 STEELS	=	26
2080 STEELS	=	16
2084 STEELS	=	20
BUILDING HEIGHT	=	±4.1 m (ONE STOREY)
GARAGE	=	STORED IN ENCLOSURES
REQUIRED PARKING	=	499 TOTAL (INC. 11 ACCESSIBLE SPACES)
PROVIDED PARKING	=	448 TOTAL (INC. 16 ACCESSIBLE SPACES)
REQUIRED LOADING SPACE	=	7
PROVIDED LOADING SPACE	=	14
EXISTING ZONING	=	(M2) INDUSTRIAL TWO
PROPOSED ZONING	=	(M2) INDUSTRIAL TWO
EXISTING USE OF LAND	=	BUSINESS CORRIDOR
PROPOSED USE OF LAND	=	BUSINESS CORRIDOR
ADJACENT USE OF LAND	=	SEE PLAN

NOTE: NO PARKING SPACE SHALL BE ASSIGNED TO INDIVIDUAL UNITS



LEGAL DESCRIPTION

PLAN OF SURVEY OF PART OF BLOCKS A AND B AND ALL OF BLOCK C REGISTERED PLAN 786 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

NOTE: ALL SURVEY INFORMATION PROVIDED BY PEEL CITY ENGINEER LAND SURVEYOR INC. 190 PARKING ROAD, UNIT 28, BRAMPTON, ONTARIO L6Y 4K6

NO.	DATE	DESCRIPTION	BY
1	JUL-21	ISSUED FOR MUNICIPAL APPROVAL	N.L.
REVISIONS			

PH (905) 893-0046 FAX (888) 370-9474
P.O. BOX 319, KILNBURG, ONTARIO, L0J 1C0

DRAWING TITLE			
MINOR VARIANCE			
PROJECT			
2074, 2080, 2084 STEELES AVENUE EAST BRAMPTON			
DEVELOPER/OWNER			
TAKOL STEELTON INC.			
DRAWN	CHECKED	SCALE	DWG. NO.
K.A.R.	N.L.	1 = 400	MV-1
DATE	ISSUED	CITY FILE No.	
JUL-21	J.P.P.		

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021.**
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021.**
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021.** City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



August 10, 2021

Jeanie Myers
Legislative Coordinator
Secretary-Treasurer
Committee of Adjustment
City of Brampton, City Clerk's Office

RE: Minor Variance Application Amendment Request [A-2021-0171] – 2074, 2080, 2084 Steeles Avenue East

Dear Ms. Myers,

Kindly accept this letter as our formal request to amend application **A-2021-0171**. We are requesting that application **A-2021-0171** be amended to remove the variance request associated with the personal service shop, as well as to amend the existing parking requirement to 499 from 483. No other changes are being requested at this time.

To facilitate the amendment request, the following revised documents are being submitted with this letter:

- Planning Justification Report
- Application Form (page 1)
- Parking Justification Report
- Tenant Schedule
- Site Plan

We trust this letter and the attached revised documents are sufficient to facilitate the amendment to the application and we look forward to receiving the staff report and recommendations. If you require anything further, please do not hesitate to contact the undersigned at 905-893-0046.

Sincerely,
Mainline Planning Services Inc.

A handwritten signature in blue ink, appearing to read "J. Plutino".

Joseph Plutino, MCIP, RPP

A handwritten signature in blue ink, appearing to read "Naeem".

Naeem Lakhani, B.U.R.PI



August 10, 2021

Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

Attention: Jeanie Myers, Secretary-Treasurer, Committee of Adjustment

RE: Minor Variance Application. 2074, 2080, 2084 Steeles Avenue East

Dear Ms. Myers,

Mainline Planning Services Inc. is retained by Takol Steelton Inc. ('owner') to act as their agent for the above referenced matter. Kindly accept this letter containing our planning opinion which is offered in support of the subject minor variance application.

As required by the Committee, the following plans and documents are submitted to support this variance:

- One (1) copy of the Minor Variance Application Form;
- One (1) copy of the Planning Justification Report prepared by Mainline Planning Services;
- One (1) copy of the Owner's Authorization Letter;
- One (1) copy of the Permission to Enter;
- One (1) copy of the Parking Justification Report prepared by CGE Transportation Consulting;
- One (1) full-size copy and one reduced copy (8.5x11) of the Site Plan;
- One (1) copy of the tenant schedule with site parking calculations as requested by zoning staff Lesley Barbuto; and
- A cheque in the amount of \$2,560 payable to the City of Brampton for the full payment of the minor variance application (industrial property).

Planning Justification Report

Background

- The subject property is legally described as Plan 766 Block C, Part of Blocks and B, Registered Plan 43R3297 Parts 3 to 5, and is municipally known as 2074, 2080, 2084 Steeles Avenue East. The subject property contains three one-storey buildings that are demised into a total of 65 units.
- The owner recently submitted a condominium conversion application to create 65 standard condominium units. The units will be offered for tenant ownership.
- In support of the condominium conversion application, staff advised that two existing tenant businesses are not permitted uses and the number of parking spaces provided on site is insufficient according to the By-law and therefore directed the owner to obtain a minor variance.
- A road widening for Steeles Avenue is required pursuant to the Region's Official Plan. The Region requested from the owner a conveyance of land along the frontage of this property causing a minor deficiency in the overall width of the landscape buffer between the parking lot and the road at the southeast corner.

The Variances (Zoning By-law No. 270-2004):

1. A minor variance is requested to permit Offices of Accredited or Licensed Professionals whereas it is not otherwise listed in the By-law.
2. A minor variance is requested to permit an existing fitness centre whereas a fitness centre is not otherwise listed in the By-law as a permitted use.

3. A minor variance is requested to permit an existing motor vehicle rental establishment whereas a motor vehicle rental establishment is not otherwise listed in the By-law as a permitted use.
4. A minor variance is requested to permit 448 parking spaces whereas 499 parking spaces are required.
5. A minor variance is requested to permit a minimum landscape buffer of 2.4m, whereas a minimum 3.0m buffer is required by the By-law.

The Planning Act

Section 45(1) of the Planning Act ("Act") allows the Committee of Adjustment to authorize variances to a zoning by-law where the variance is minor; is desirable for the appropriate development or use of land, building or structure; maintains the general intent and purpose of the Official Plan; and maintains the general intent and purpose of the zoning by-law. The Committee must be satisfied that all four tests are met to authorize the requested variance.

The Four Tests

1) The Variances are Minor:

Adding Professional Office as a Permitted Use is Minor:

- ✓ The By-law permits offices at this location as of right and the original development located units appropriate for this use along the building's Steeles Avenue frontage.
- ✓ Broadening the office designation to include professionals utilizes the same performance standards as an 'accessory office'.
- ✓ The Committee provided similar relief for a nearby property similarly zoned, allowing professional offices at 2565 Steeles Avenue East (Committee decision A05-036).

Planning Opinion:

It is our considered and professional planning opinion that the proposal simply permits another variety of office use that is subject to performance standards already attached by the By-law to this property. Therefore, the variance may be considered minor as it will not cause an unacceptable adverse impact on neighbouring properties.

Adding the Existing Fitness Centre and Motor Vehicle Rental Establishment to the List of Permitted Use is Minor:

- ✓ Sundeep Singh, Sangha Fitness Center has been a tenant in good standing since August of 2018.
- ✓ Enterprise Rent-a-Car has been a tenant in good standing since November of 2006.

Planning Opinion

It is our considered and professional planning opinion that the requested variance may be considered minor because these businesses have operated for years without adverse impact on exiting tenants or adjacent properties and there is no reason to expect this to change.

Re-Affirmation of a Previous Variance to Permit a Parking Reduction is Minor:

- ✓ The Committee previously permitted a parking reduction to support the existing tenancy. (see Committee Decision A09-203).
- ✓ The parking reduction continues to be minor in number as the relief requested is approximately 10% of the By-law requirement.
- ✓ A parking study prepared by a qualified engineer concluded that there is sufficient parking available to support the proposal.

Planning Opinion

We reviewed the Parking Justification Report prepared by CGE Transportation Consulting and adopt their professional opinion that there is sufficient parking on site to accommodate existing tenants including the fitness facility and the motor vehicle rental establishment. As such it is our considered and professional planning opinion the variance to permit these uses is minor and will not cause an unacceptable adverse impact on neighbouring properties.

Permitting a Reduced Landscape Buffer is Minor:

- ✓ The Region requires the conveyance of land to accommodate a widening of Steeles Avenue.
- ✓ To accommodate the Region's request for land, a small portion of the frontage landscape buffer will be 0.6m narrower than the By-law minimum width of 3.0m.

Planning Opinion

It is our considered and professional planning opinion that the proposal is minor in number and will not cause an unacceptable adverse impact on the Region's right of way (Steeles Avenue).

2) The Proposal is Desirable for the Appropriate Development of Land, Building and Structure:

- ✓ The proposal is **desirable to the owner** as it will bring their property into conformity with the in-force By-law and will support their application to convert the property into condominium ownership.
- ✓ The proposal is **desirable to the existing tenants** who wish to purchase their units.
- ✓ The proposal is desirable the owners of the fitness center and motor vehicle rental establishment who believed their business to be operating in accordance with the By-law.
- ✓ The proposal is **desirable to the City** because condominium approval will result in improved property standards and increased assessment base creating more tax revenue for the city to use in bringing quality services to all Bramptonians.
- ✓ The proposal is **desirable to the Region of Peel** as land will be provided for transit and traffic improvements along Steeles Avenue.

Planning Opinion

It is our considered and professional planning opinion that the proposal is desirable for the appropriate development of land and building.

3) The Proposal Maintains the General Intent and Purpose of the Official Plan:

We have reviewed the City's Official Plan ('OP') and found the following policies particularly helpful in informing our professional planning opinion.

- ✓ The OP designates this property for 'Business Corridor' uses.
- ✓ The Secondary Plan designates this property for 'Employment 2' industrial uses.
- ✓ In conformity with OP policy objectives 4.4 (a, b) the proposal will ... *"retain and enhance business, industry and employment opportunities..."*, by promoting this property which is located in a *"...high quality employment area close to major transportation and transit facilities that support the principles of complete communities by providing convenient access to jobs..."*.
- ✓ In conformity with OP policy objective 4.4d the proposal will enhance this property and continue to 'protect the supply of designated employment for designated purposes including ...' *manufacturing, warehousing, offices, and associated retail and ancillary purposes."*
- ✓ In conformity with OP policy 4.4.1, *"corporate offices, ancillary offices, business serving office uses within industrial malls will be permitted..."*.

Planning Opinion

It is our considered and professional planning opinion that the proposal conforms with the Official Plan as the primary use of this industrial mall will be for employment uses, and the ancillary office

component is permitted within the smaller units fronting on Steeles Avenue. A decision to permit the expansion of ancillary office to include professional offices and allow the Fitness Centre and Motor Vehicle Rental Establishment is justified as Official Plan policy promotes and encourages these uses within industrial malls located along Steeles Avenue where transit opportunities make these uses accessible for all residents.

4) The Proposal maintains the General Intent and Purpose of the Zoning Bylaw:

- ✓ The subject property is zoned Industrial Two – M2.
- ✓ General commercial uses including offices are permitted on this property.
- ✓ The Committee allowed a parking reduction for this property to accommodate the existing uses (see A09-203). The decision noted that 446 spaces was sufficient to support the orderly development of this property.
- ✓ The current parking study indicates that the 448 parking spaces shown on site is sufficient to accommodate this proposal.

Planning Opinion

It is our considered and professional planning opinion that the proposal maintains the intent of the Zoning By-law as the proposal seeks to:

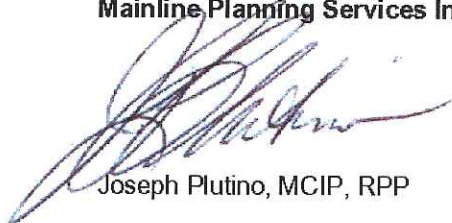
- ✓ reaffirm the parking reduction previously granted in Committee file number A09-203;
- ✓ expand upon the list of ancillary office and ancillary commercial uses already permitted on the property to include professional offices and two existing businesses (fitness centre and motor vehicle rental establishment); and,
- ✓ acknowledge a minor reduction in landscape area over a small portion of the frontage caused by a conveyance of land by the owner to the Region of Peel to allow for the orderly development of Steeles Avenue which is in the public interest.

Conclusion:

It is our professional planning opinion that the Committee's approval of the subject variances is justified because the four tests are met. We offer that authorizing the proposed variances is good planning as they are minor and will promote the employment policy objectives of the City by optimizing the use of land and creating permanent, long-term businesses and jobs.

We trust that our application is supported by staff and the Committee of Adjustment. If you require anything further, please do not hesitate to contact the undersigned at 905-893-0046.

Sincerely,
Mainline Planning Services Inc.



Joseph Plutino, MCIP, RPP



Naeem Lakhani, B.U.R.PI

cc. client



AMENDED PAGE 1

FILE NUMBER: A-2021-0171

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Takol Steelton Inc. c/o Daniel Kolber
Address 2300 Yonge Street, Suite 902
Box 2310, Toronto, Ontario, M4P 1E4
Phone # See Agent **Fax #** _____
Email See Agent

2. **Name of Agent** Mainline Planning Services Inc.
Address P.O. Box 319, Kleinburg, Ontario, L0J 1C0
Phone # (905) 893-0046 **Fax #** _____
Email jplutino@mainlineplanning.com
nlakhani@mainlineplanning.com

3. **Nature and extent of relief applied for (variances requested):**
1. A minor variance is requested to permit Offices of Accredited or Licensed Professionals
2. A minor variance is requested to permit an existing Fitness Centre
3. A minor variance is requested to permit an existing Motor Vehicle Rental Establishment
4. A minor variance is requested to permit 448 parking spaces
5. A minor variance is requested to permit a landscape buffer of 2.4 metres

4. **Why is it not possible to comply with the provisions of the by-law?** Please refer to the Planning Justification Report for additional information.
1. The by-law excludes Offices of Accredited or Licensed Professionals in Section 30.7(a)
2. The by-law does not list a Fitness Centre as permitted within the M2 Zone under Section 32.1.1.
3. The by-law does not list a Motor Vehicle Rental Establishment as permitted within the M2 Zone under Section 32.1.1.
4. This is an existing and fully developed site which can accommodate no more than 448 parking spaces whereas the By-law requires 499 parking spaces.
5. The landscape reduction from the required 3.0m is required to accommodate a land conveyance requested by the Region of Peel.

5. **Legal Description of the subject land:** Part of Blocks A & B, All of Block C, Registered Plan 766; Parts 1, 2 & 3,
Lot Number Plan 43R-39845; City of Brampton, Regional Municipality of Peel
Plan Number/Concession Number _____
Municipal Address 2074, 2080, 2084 Steeles Avenue East

6. **Dimension of subject land (in metric units)**
Frontage 199.8 m
Depth 219.0 m
Area 41,181.5 sq.m.

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

August 10, 2021

Takol Steelton Inc.
2300 Yonge Street, Suite 712
PO Box 2310, Toronto, Ontario M4P 1E4

Attention: Mr. Daniel Kolber

**Re: Parking Justification Study
2074,2080,2084 Steeles Avenue East
Proposed Professional Office Uses
City of Brampton**

CGE Consulting has been retained to provide a Parking Study in support of a minor variance application, to permit approximately 1,200 square meters of office uses, including professional office uses (about 6% of the total GFA), for the existing industrial sites located at 2074, 2080 and 2084 Steeles Avenue East, in the City of Brampton.

1.0 INTRODUCTION

The subject site is located within a large commercial area, surrounded by office, light industrial, warehouse and retail developments. The site location is shown in Figure 1.

The subject properties are under one ownership with shared parking among all three buildings. The businesses at all three addresses are currently open, with the exception of the Banquet Hall. The two restaurants on-site are open but primarily serves take out customers.

The units are mainly occupied by industrial and warehouse uses. There are a total of 448 parking spaces available for all three buildings. The proposed site plan is shown in Figure 2.

The basis of the parking study is to understand the existing parking demand / characteristics at the subject site. The existing tenants, type of businesses, unit numbers and area of each unit are listed in Table 1.

The client is exploring options to convert several units currently occupied by warehouse to professional office uses, such as accounting or law offices. The owner also wants to bring the existing non-conforming fitness centre into compliance with the zoning by-law (see Table 1). It is expected that the proposed professional uses and fitness centre will result in a parking requirement of 499 spaces (see Table 2).

The banquet hall is currently closed due to COVID-19, however past event information from the client indicates that the maximum parking demand for the banquet hall is less than 200 cars and typical hours of operation are weekday evenings and weekends.

Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

It is expected that these banquet hall events are attended by families and friends and therefore it is safe to assume event attendees will share one vehicle.

According to the parking study conducted on this site by Sernas Transtech in November 2009, and submitted as part of the previous minor variance, the average number of occupants per vehicle is 3.62 people.

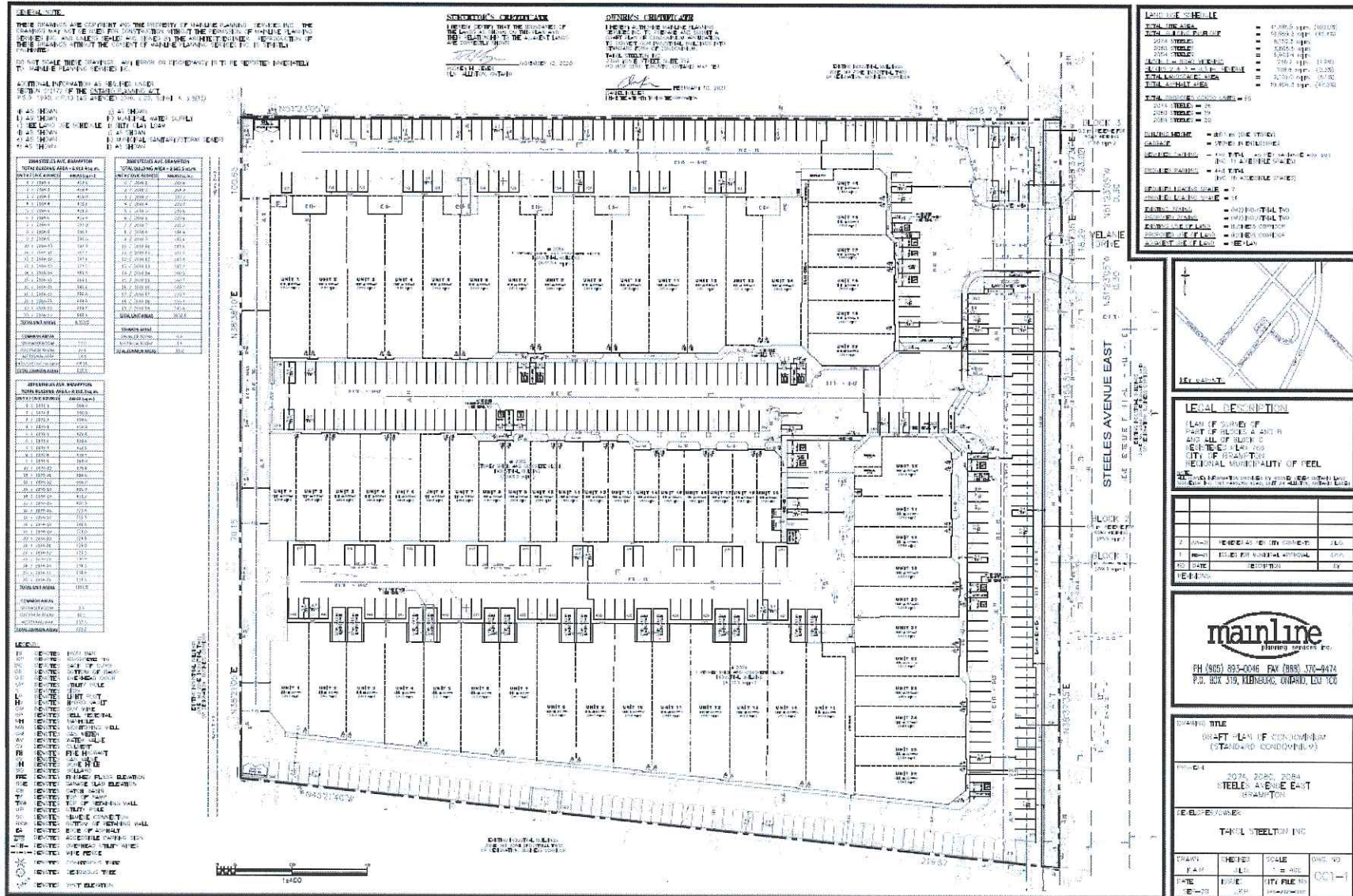
Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

Figure 1: SITE LOCATION



Parking Study - 2074, 2080, 2084 Steeles Ave E, Brampton

Figure 2: SITE PLAN



Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

Table 1: List of tenants at 2074,2080,2084 Steeles Avenue East

Address	Civic Unit #	Existing Occupant	Current Use	Proposed Use	Variance Required (Yes/No)	GFA (sq. m.)
2074 Steeles	1	AM Rubber and Foam Gaskets	Industrial	Industrial	No	267.7
	2	AM Rubber and Foam Gaskets	Industrial	Industrial	No	289.4
	3	AM Rubber and Foam Gaskets	Industrial	Industrial	No	300.6
	4	AM Rubber and Foam Gaskets	Industrial	Industrial	No	312.9
	5	AAR Plumbing Supplies Ltd.	Industrial	Industrial	No	315.4
	6	AAR Plumbing Supplies Ltd.	Industrial	Industrial	No	337.5
	7	AAR Plumbing Supplies Ltd.	Industrial	Industrial	No	346.0
	8	Mapco (PVT) Ltd.	Industrial	Industrial	No	356.8
	9	Mapco (PVT) Ltd.	Industrial	Industrial	No	366.7
	10	Mapco (PVT) Ltd.	Industrial	Industrial	No	368.4
	11	Mapco (PVT) Ltd.	Industrial	Industrial	No	401.6
	12	Mapco (PVT) Ltd.	Industrial	Industrial	No	362.8
	13	MS Sofa Manufacturing Ltd.	Manufacturing	Manufacturing	No	421.9
	14	MS Sofa Manufacturing Ltd.	Manufacturing	Manufacturing	No	415.0
	15	AAR Plumbing Supplies Ltd.	Industrial	Industrial	No	410.4
	16	GT Restaurant & Bar Inc.	Convenience Restaurant	Convenience Restaurant	No	328.9
	17	P&B Hardwood Flooring Inc.	Warehouse	Professional Office	Yes	208.3
	18	Enterprise Rent-A-Car Canada	Motor Vehicle Rental	Motor Vehicle Rental	No	214.6
	19	Sterling Paints Inc.	Building Supplies Sales Establishment	Building Supplies Sales Establishment	No	219.5
	20	DJ Depot Inc.	Warehouse	Warehouse	No	219.9
	21	Ontario Audio/Video Device Inc.	Office + Warehouse	Professional Office	Yes	225.6
	22	Ontario Audio/Video Device Inc.	Office + Warehouse	Professional Office	Yes	220.7
	23	Global Retail Advantage Inc.	Warehouse	Professional Office	Yes	237.6
	24	NSC Metal Enterprises Ltd.	Warehouse	Warehouse	No	244.0
	25	Alicia's Laser MedSpa and Salon Ltd.	Technical School	Technical School	No	232.5
	26	213038 Ontario Inc. O/A Kilo	Office	Professional Office	Yes	259.3
Total Unit Areas:						7914.0
2080 Steeles	1	Millennium Mlwork Inc.	Industrial	Industrial	No	232.6
	2	Millennium Mlwork Inc.	Industrial	Industrial	No	227.9
	3	Millennium Mlwork Inc.	Industrial	Industrial	No	227.9
	4	Millennium Mlwork Inc.	Industrial	Industrial	No	229.1
	5	Millennium Mlwork Inc.	Industrial	Industrial	No	229.1
	6	DNE Welding Inc.	Industrial	Industrial	No	233.1
	7	DNE Welding Inc.	Industrial	Industrial	No	226.3
	8	Sandeep Singh, Sangha Fitness	Gym	Fitness Centre	Yes	186.1
	9	Harry Machining & Tooling	Industrial	Industrial	No	183.8
	10	Harry Machining & Tooling	Industrial	Industrial	No	179.8
	11	National Auto Glass Inc.	Industrial	Industrial	No	178.1
	12	OM Manufacturing Inc.	Manufacturing	Manufacturing	No	186.4
	13	OM Manufacturing Inc.	Manufacturing	Manufacturing	No	184.6
	14	Steeles Tireland Inc.	Tires - Changing	Tires - Changing	No	181.3
	15	Steeles Tireland Inc.	Tires - Changing	Tires - Changing	No	159.7
	16	Jeevin dar Virdi d/a Jaeko Mac	Manufacturing	Manufacturing	No	181.0
	17	2008403 Ont. Inc. Rili Glass &	Manufacturing	Manufacturing	No	180.4
	18	2008403 Ont. Inc. Rili Glass &	Manufacturing	Manufacturing	No	180.3
	19	2008403 Ont. Inc. Rili Glass &	Manufacturing	Manufacturing	No	142.2
Total Unit Areas:						3649.7
2084 Steeles	1	Amma Custom Fabrication &	Manufacturing	Manufacturing	No	409.7
	2	Five River Foods Inc.	Food Distributor	Warehouse	No	422.3
	3	Five River Foods Inc.	Food Distributor	Warehouse	No	413.1
	4	BDS Food Service	Food Distributor	Warehouse	No	423.0
	5	BDS Food Service	Food Distributor	Warehouse	No	418.3
	6	BDS Food Service	Food Distributor	Warehouse	No	410.6
	7	AMJ Healthfood Distributors Inc.	Food Distributor	Warehouse	No	408.2
	8	EllisDon Design Build	Contractor	Warehouse	No	398.7
	9	EllisDon Design Build	Contractor	Warehouse	No	404.0
	10	Assets Recovery & Salvage Inc.	Contractor	Manufacturing	No	368.5
	11	Assets Recovery & Salvage Inc.	Contractor	Manufacturing	No	404.0
	12	7 Colour Entertainment Ltd.	Printings	Warehouse	No	385.0
	13	AM Rubber and Foam Gaskets	Manufacturing	Warehouse	No	381.3
	14	Shingaar Banquet Hall -208482	Banquet Hall	Banquet Hall	No	383.4
	15	Subway Franchise Restaurant	Convenience Restaurant	Convenience Restaurant	No	172.1
	16	Shingaar Banquet Hall -208482	Banquet Hall	Banquet Hall	No	185.9
	17	Shingaar Banquet Hall -208483	Banquet Hall	Banquet Hall	No	200.5
	18	Shingaar Banquet Hall -208484	Banquet Hall	Banquet Hall	No	208.6
	19	Shingaar Banquet Hall -208485	Banquet Hall	Banquet Hall	No	208.8
	20	Shingaar Banquet Hall -208486	Banquet Hall	Banquet Hall	No	188.6
Total Unit Areas:						6608.6
Total Area of Building						18367.3

Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

Table 2: Total Parking Required as Per By-law

Use	GFA	Spaces Required	Rate Applied
Industrial	14393.8	164.8458824	139 + 1/70 (over 10000 sqm)
Technical School	232.5	11.625	1/20 sqm
Banquet Hall	1366.8	170.85	1/8 sqm
Restaurant (dine-in/convenience)	501.0	77.07692308	1/6.5 sqm
Office	1151.5	38.38333333	1/30 sqm
Fitness Centre	186.1	8.459090909	1/22 sqm
Motor Vehicle Repair	321.0	17.83333333	1/18 sqm
Motor Vehicle Rental	214.6	9.330434783	1/23 sqm
Total	18367.3	498.4039978	
		499	parking spaces required

The parking requirement for the proposed site condition is illustrated in Table 2; 499 parking spaces are required. The proposed site plan provides 448 parking spaces. There was previously an approved minor variance application (A13-067) undertaken to permit 415 parking spaces as per the City of Brampton parking by-law requirement.

2.0 PARKING ASSESSMENT

The client would like to explore opportunities to convert about 1200 square meters of existing uses into professional offices, such as accounting or law offices. The parking requirement including the proposed uses are shown in Table 2.

It is expected that the proposed professional uses will have similar parking demand as the current warehouse/industrial uses.

PARKING ON-SITE OBSERVATION

Based on site visits completed at the subject property, the operating hours of all of the units at the three buildings vary between 7:30am to 6:30pm due to the nature of the businesses, 90% of the units operate from 9am to 5pm (Monday to Friday), and several units operate from 9am to 4pm on Saturday. A small percentage of units operate on Sunday.

To review the true parking demand at the subject site, parking observations were undertaken on Saturday, November 14, 2020 and Thursday, November 19, 2020 during work hours. The summary of the parking demand is as follows:

- ***Peak parking demand on Saturday occurred at 11:50am, at 130 spaces***
- ***Parking demand on Saturday at 4pm is 102 spaces***
- ***Parking demand on Saturday at 6pm is 80 spaces***
- ***Peak parking demand on Thursday occurred at 3pm, at 162 spaces***
- ***Parking demand on Thursday at 5:30pm is 92 spaces***
- ***The dine in restaurant (GT Restaurant & Bar) can seat approximately 40 people***
- ***The convenience restaurant (Subway) can seat 22 people***

The peak parking demand for Saturday and Thursday are shown in Figures 3 and 4. Based on the proposed site plan provided, there are a total of 448 parking spaces, therefore the subject site has a surplus of $448 - 162 = 286$ parking spaces. If we apply the parking demand based on capacity of available seating of the two restaurants (62 spaces), the site would still have 224 spaces vacant. Similarly, if we apply the full parking rate for the two restaurants as per the zoning by-law (78 spaces), the site would still have 208 spaces vacant.

2.1 Banquet Hall Parking

Due to the current ongoing pandemic situation, and during site observations, the banquet hall was unable to host any events and no parking surveys could be undertaken. We have referred to a parking study prepared in 2009 by Sernas Transtech that included parking survey results of two events as follows:

1. November 13, 2009, Birthday Party with a 6pm start time and approximately 300-person guest list
2. November 20, 2009, Reunion Party with a 6pm start time and approximately 300-person guest list

It is our opinion that these survey data accurately reflect the parking demand for the banquet hall and can be referenced for the subject parking study's current proposal.

Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

The surveys were conducted from 5pm to 9:30pm and the results indicate an average peak parking demand of 175 vehicles for the two events. The vehicle occupancy is 3.62 person per auto plus one space per staff.

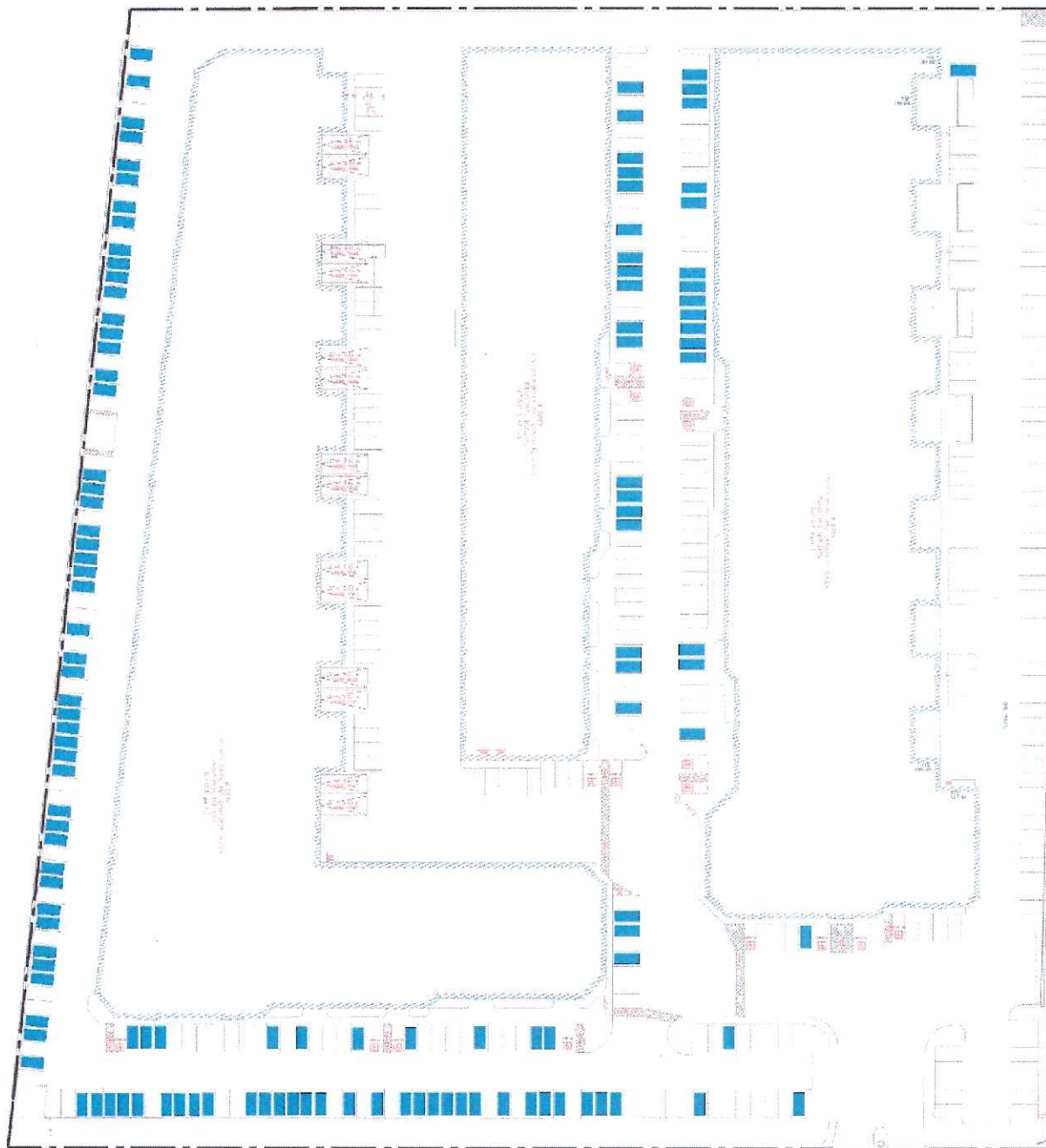
The banquet hall has a capacity of 650 guests + 16 staff, and 196 spaces would be required if the banquet hall is occupied at full capacity.

The Sernas Transtech report also indicated that other units had a parking demand of 85 spaces during the survey times, which is in line with the 80 to 92 spaces that was observed during the 2020 on-site parking survey during off-work hours.

Based on the above information, it is anticipated that the 448 parking spaces on-site can sufficiently accommodate the office, industrial mall, warehouse, and restaurant uses during the day time and banquet hall activities during the evening time and on weekends.

Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

Figure 3 – Peak Parking Demand – Saturday, November 14, 2020



Saturday, November 14, 2020
11:50am
130 spaces occupied

Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

Figure 4 – Peak Parking Demand – Thursday, November 19, 2020



Thursday, November 19, 2020
3:00 pm
162 spaces occupied

2.2 Parking Sharing Strategies

We anticipate that due to the different types of uses on-site, there is opportunity for parking sharing among the different uses.

The banquet hall is currently closed due to COVID-19, however past event information from the client indicate that the banquet hall requires about 196 spaces if it is fully occupied at 650 persons, and are usually only open on the weekends and on weekdays after work hours. It is expected that these banquet hall events are attended by families and friends and have an occupancy rate of 3.62 persons per vehicle.

2.3 Carpool & Shared Parking

As part of the City's on-going transportation demand management, it is recommended that the business owners of the units support and promote carpool services among the employees to reduce automobile reliance.

2.4 On-Site Parking Management

With the appropriate on-site parking management, the efficiency of parking activities can be increased to accommodate more vehicles on-site and reduce conflicts/accidents during vehicle maneuverings.

On-site observations indicate that there were vehicles from the adjacent 2070 Steeles Avenue property were parking on the subject site and walk over. It is expected that more parking spaces will be freed if the adjacent property parking activities are eliminated.

It is recommended that signs are to be installed for the row of parking close to the neighbouring property deterring adjacent users to occupy the parking spaces, a chain-link fence can also be installed at the 2074 Steeles Avenue property edge, to deter neighbouring property cars to be parked on the subject lands.

3.0 CONCLUSION & RECOMMENDATION

The key findings are summarized below:

- The subject properties at 2074, 2080 and 2084 has a total of 448 proposed parking spaces.
- The subject site has a banquet hall, a dine-in restaurant, a take-out fast food restaurant, a small gym, a retail store, and various industrial / warehouse units.
- The peak parking demand at the site on a weekday during work hours is at 162 spaces.
- The parking demand during the after hours are between 80 and 92 vehicles, for the office, industrial use, warehouse etc.
- The dine in restaurant can seat approximately 40 people and the take-out restaurant (Subway) can seat 22 people. If the banquet hall is fully occupied at 650 people, it will require approximately 196 spaces.

Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

- It was observed that vehicles in the adjacent 2070 Steeles Avenue parked at the subject property and if these vehicles are excluded there would be more vacant spaces available.
- It is concluded that the subject site has capacity and resources to accommodate all of the parking demand on-site during peak time.
- It is concluded that the subject site's available parking supply can accommodate 1200 square metres (6% of total GFA) of office uses (including professional office use) as well as a 190 square metre fitness centre.

Should you have any questions regarding this study, please do not hesitate to contact the undersigned.

Yours truly,

CGE TRANSPORTATION CONSULTING



Casey Ge, P.Eng.
President

Address	Civic Unit #	Use	GFA (sq.m.)
2074 Steeles	1	Industrial	267.7
	2	Industrial	289.4
	3	Industrial	300.6
	4	Industrial	312.9
	5	Industrial	315.4
	6	Industrial	337.5
	7	Industrial	346.0
	8	Industrial	356.8
	9	Industrial	366.7
	10	Industrial	368.4
	11	Industrial	401.6
	12	Industrial	392.8
	13	Manufacturing	421.9
	14	Manufacturing	415.0
	15	Industrial	410.4
	16	Dine-In Restaurant	328.9
	17	Office	208.3
	18	Motor Vehicle Rental	214.6
	19	Building Supplies Sales Establishment	219.5
	20	Warehouse	219.9
	21	Office	225.6
	22	Office	220.7
	23	Office	237.6
	24	Warehouse	244.0
	25	Technical School	232.5
	26	Office	259.3
Total Unit Areas:			7914.0
2080 Steeles	1	Industrial	232.6
	2	Industrial	227.9
	3	Industrial	227.9
	4	Industrial	229.1
	5	Industrial	229.1
	6	Industrial	233.1
	7	Industrial	226.3
	8	Fitness Centre	186.1
	9	Industrial	183.8
	10	Industrial	179.8
	11	Industrial	178.1
	12	Manufacturing	186.4
	13	Manufacturing	184.6
	14	Tires - Changing	161.3
	15	Tires - Changing	159.7
	16	Manufacturing	161.0
	17	Manufacturing	160.4
	18	Manufacturing	160.3
	19	Manufacturing	142.2
	Total Unit Areas:		
2084 Steeles	1	Manufacturing	409.7
	2	Warehouse	422.3
	3	Warehouse	413.1
	4	Warehouse	423.0
	5	Warehouse	418.3
	6	Warehouse	410.6
	7	Warehouse	403.2
	8	Warehouse	396.7
	9	Warehouse	404.0
	10	Manufacturing	393.5
	11	Manufacturing	404.0
	12	Warehouse	385.0
	13	Warehouse	381.3
	14	Banquet Hall	383.4
	15	Convenience Restaurant	172.1
	16	Banquet Hall	185.9
	17	Banquet Hall	200.5
	18	Banquet Hall	203.6
	19	Banquet Hall	203.8
	20	Banquet Hall	189.6
	Total Unit Areas:		
Total Area of Building			18267.3

GFA of Variances	
1151.5	Total Proposed Office GFA
214.6	Motor Vehicle Rental
186.1	Fitness Centre

Required Variances	
1151.5	Professional Offices (Sq.m)
214.6	Motor Vehicle Rental
186.1	Fitness Centre
2.4	Landscape Buffer (m)
51	Parking Deficiency (spaces)

Parking Calculation			
Use	GFA	Spaces Required	Rate Applied
Industrial	14398.8	164.8458324	139+ 1/70 (over 10000 sqm)
Technical School	232.5	11.625	1/20 sqm
Banquet Hall	1366.8	17.085	1/8 sqm
Restaurant (dine-in/convenience)	501.0	77.07642308	1/6.5 sqm
Office	1151.5	38.38333333	1/30 sqm
Fitness Centre	186.1	8.459090909	1/22 sqm
Motor Vehicle Repair	321.0	17.83333333	1/18 sqm
Motor Vehicle Rental	214.6	9.330434783	1/23 sqm
Total	18367.3	498.4039678	
			499 parking spaces required

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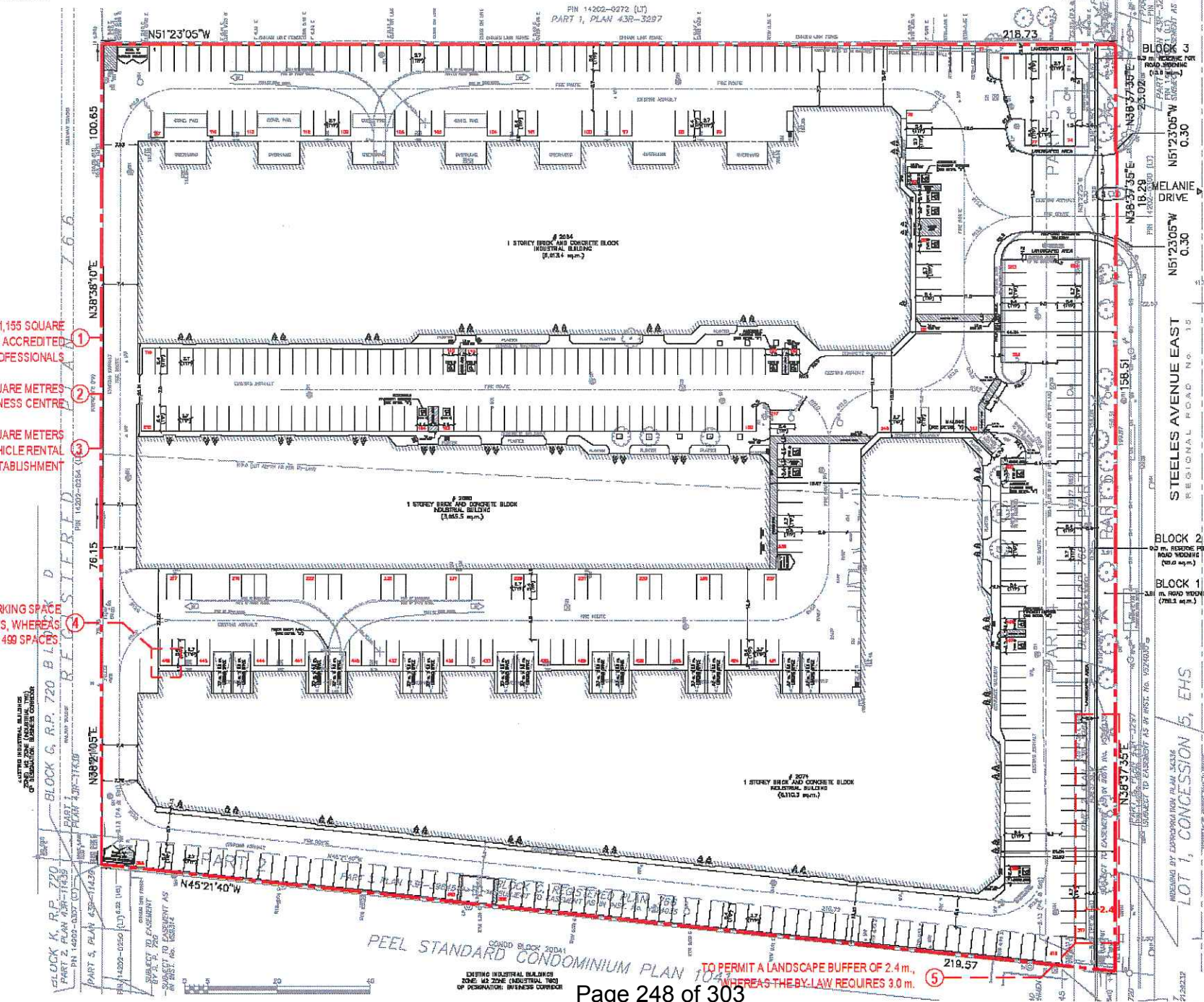
TO PERMIT A MAXIMUM OF 1,155 SQUARE METRES OF GFA FOR OFFICES OF ACCREDITED OR LICENSED PROFESSIONALS

TO PERMIT A MAXIMUM OF 190 SQUARE METRES
OF GFA FOR A FITNESS CENTRE

TO PERMIT A MAXIMUM OF 215 SQUARE METERS
OF GFA FOR A MOTOR VEHICLE RENTAL
ESTABLISHMENT

TO REDUCE THE PARKING SPACE
REQUIREMENT TO 448 SPACES, WHEREAS
THE BY-LAW REQUIRES MINIMUM 499 SPACES.

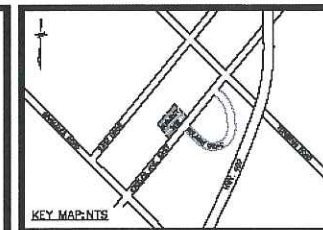
LEFEND.	
HI	DENOTES IRON BAR
CP	DENOTES CONCRETE PIN
BC	DENOTES BACK OF CURB
ED	DENOTES BOTTOM OF RAMP
Q.O	DENOTES OVERHEAD DOOR
UP	DENOTES UTILITY POLE
SI	DENOTES SIGN
LP	DENOTES LIGHT FIXTURE
HY	DENOTES HYDRO VAULT
GW	DENOTES GUY WIRE
BE	DENOTES BELL POSTAL
MH	DENOTES MANHOLE
WE	DENOTES WANDERING WALL
GC	DENOTES GAS METER
WV	DENOTES WATER VALVE
DV	DENOTES DULVER
FI	DENOTES FIRE HYDRANT
GV	DENOTES GAS VALVE
BH	DENOTES BORE HOLE
BO	DENOTES BOLLARD
FSE	DENOTES FINISHED FLOOR ELEVATION
DE	DENOTES DRAINAGE SLAB ELEVATION
CR	DENOTES CATCH BASIN
TR	DENOTES TOP OF RAMP
TRW	DENOTES TOP OF RETAINING WALL
CTB	DENOTES CATCH BASIN
SD	DENOTES SLOSH CONNECTION
BRW	DENOTES BOTTOM OF RETAINING WALL
AS	DENOTES ASPHALT
AD	DENOTES ACCESSIBLE PARKING SIGN
OW	DENOTES OVERHEAD UTILITY WIRE
WF	DENOTES WIRE FENCE
	DENOTES CONIFEROUS TREE
	DENOTES DECIDUOUS TREE
	DENOTES SPOT ELEVATION



LAND USE SCHEDULE

TOTAL SITE AREA	=	41,181.5 sq.m. (100.00%)
TOTAL BUILDING ENVELOPE	=	16,680.2 sq.m. (40.44%)
2004 STORIES	=	8,110.3 sq.m.
200D STORIES	=	3,865.5 sq.m.
2004 STORIES	=	6,864.3 sq.m.
FLOOR 1 - ROAD WIDENING	=	758.2 sq.m. (1.84%)
FLOORS 2 & 3 - 0.3 m. RESERVE	=	108.8 sq.m. (0.33%)
TOTAL LANDSCAPED AREA	=	2,101.0 sq.m. (5.13%)
TOTAL ASPHALT AREA	=	18,498.3 sq.m. (47.33%)
TOTAL PROPOSED CONDO UNITS - 65		
2004 STORIES	=	28
200D STORIES	=	16
2004 STORIES	=	20
BUILDING HEIGHT	=	≤ 5.1 m (ONE STORY)
SABAGE	=	STORED IN DISCOUNTS
REQUIRED PARKING	=	496 TOTAL (INC. 11 ACCESSIBLE SPACES)
PROVIDED PARKING	=	446 TOTAL (INC. 16 ACCESSIBLE SPACES)
REQUIRED LOADING SPACE	=	7
PROVIDED LOADING SPACE	=	14
EXISTING ZONING	=	(M2) INDUSTRIAL TWO
PROPOSED ZONING	=	(M2) INDUSTRIAL TWO
EXISTING USE OF LAND	=	BUSINESS CORRIDOR
PROPOSED USE OF LAND	=	BUSINESS CORRIDOR
ADJACENT USE OF LAND	=	SEE PLAN

NOTE: NO PARKING SPACE SHALL BE ASSIGNED TO INDIVIDUAL UNITS



LEGAL DESCRIPTION

PLAN OF SURVEY OF
PART OF BLOCKS A AND B
AND ALL OF BLOCK C
REGISTERED PLAN 756
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

NOTE:
ALL SURVEY INFORMATION PROVIDED BY ROONEY BETTER ONTARIO LAND
SURVEYOR INC. 180 PARDON ROAD, UNIT 38 ALLESTON, ONTARIO L6Y 4R7

1	4-11-21	ISSUED FOR MUNICIPAL APPROVAL	N/L
NO.	DATE	DESCRIPTION	BY
REVISIONS			

mainline
planning services inc.

PH (905) 893-0046 FAX (888) 370-9474
P.O. BOX 319, KLEINBURG, ONTARIO, L0J 1C0

DRAWING TITLE			
MINOR VARIANCE			
PROJECT			
2074, 2080, 2084 STEELES AVENUE EAST BRAMPTON			
DEVELOPER/OWNER			
TAKOL STEELTON INC.			
DRAWN	CHECKED	SCALE	DWG. NO.
K.A.R.	N.L.	1 = 400	MV-1
DATE	ISSUED	CITY FILE No.	
JUL-21	J.P.P.		

July 29, 2021

Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

Attention: Jeanie Myers, Secretary-Treasurer, Committee of Adjustment

RE: Minor Variance Application. 2074, 2080, 2084 Steeles Avenue East

Dear Ms. Myers,

Mainline Planning Services Inc. is retained by Takol Steelton Inc. ('owner') to act as their agent for the above referenced matter. Kindly accept this letter containing our planning opinion which is offered in support of the subject minor variance application.

As required by the Committee, the following plans and documents are submitted to support this variance:

- One (1) copy of the Minor Variance Application Form;
- One (1) copy of the Planning Justification Report prepared by Mainline Planning Services;
- One (1) copy of the Owner's Authorization Letter;
- One (1) copy of the Permission to Enter;
- One (1) copy of the Parking Justification Report prepared by CGE Transportation Consulting;
- One (1) full-size copy and one reduced copy (8.5x11) of the Site Plan;
- One (1) copy of the tenant schedule with site parking calculations as requested by zoning staff Lesley Barbuto; and
- A cheque in the amount of \$2,560 payable to the City of Brampton for the full payment of the minor variance application (industrial property).

Planning Justification Report

Background

- The subject property is legally described as Plan 766 Block C, Part of Blocks and B, Registered Plan 43R3297 Parts 3 to 5, and is municipally known as 2074, 2080, 2084 Steeles Avenue East. The subject property contains three one-storey buildings that are demised into a total of 65 units.
- The owner recently submitted a condominium conversion application to create 65 standard condominium units. The units will be offered for tenant ownership.
- In support of the condominium conversion application, staff advised that two existing tenant businesses are not permitted uses and the number of parking spaces provided on site is insufficient according to the By-law and therefore directed the owner to obtain a minor variance.
- A road widening for Steeles Avenue is required pursuant to the Region's Official Plan. The Region requested from the owner a conveyance of land along the frontage of this property causing a minor deficiency in the overall width of the landscape buffer between the parking lot and the road at the southeast corner.

The Variances (Zoning By-law No. 270-2004):

1. A minor variance is requested to permit Offices of Accredited or Licensed Professionals whereas it is not otherwise listed in the By-law.
2. A minor variance is requested to permit an existing fitness centre whereas a fitness centre is not otherwise listed in the By-law as a permitted use.

3. A minor variance is requested to permit an existing personal service shop whereas a personal service shop is not otherwise listed in the By-law as a permitted use.
4. A minor variance is requested to permit 448 parking spaces whereas 483 parking spaces are required.
5. A minor variance is requested to permit a minimum landscape buffer of 2.4m, whereas a minimum 3.0m buffer is required by the By-law.
6. A minor variance is requested to permit an existing motor vehicle rental establishment whereas a motor vehicle rental establishment is not otherwise listed in the By-law as a permitted use.

The Planning Act

Section 45(1) of the Planning Act ("Act") allows the Committee of Adjustment to authorize variances to a zoning by-law where the variance is minor; is desirable for the appropriate development or use of land, building or structure; maintains the general intent and purpose of the Official Plan; and maintains the general intent and purpose of the zoning by-law. The Committee must be satisfied that all four tests are met to authorize the requested variance.

The Four Tests

1) The Variances are Minor:

Adding Professional Office as a Permitted Use is Minor:

- ✓ The By-law permits offices at this location as of right and the original development located units appropriate for this use along the building's Steeles Avenue frontage.
- ✓ Broadening the office designation to include professionals utilizes the same performance standards as an 'accessory office'.
- ✓ The Committee provided similar relief for a nearby property similarly zoned, allowing professional offices at 2565 Steeles Avenue East (Committee decision A05-036).

Planning Opinion:

It is our considered and professional planning opinion that the proposal simply permits another variety of office use that is subject to performance standards already attached by the By-law to this property. Therefore, the variance may be considered minor as it will not cause an unacceptable adverse impact on neighbouring properties.

Adding the Existing Fitness Centre, Personal Service Shop and Motor Vehicle Rental Establishment to the List of Permitted Use is Minor:

- ✓ Sundeep Singh, Sangha Fitness Center has been a tenant in good standing since August of 2018.
- ✓ Alicia's Laser Med Spa and Salon Ltd is a permitted and City licensed technical school offering aesthetician services that has been a tenant in good standing since July of 2019.
- ✓ Enterprise Rent-a-Car has been a tenant in good standing since November of 2006.

Planning Opinion

It is our considered and professional planning opinion that the requested variance may be considered minor because these businesses have operated for years without adverse impact on exiting tenants or adjacent properties and there is no reason to expect this to change.

Re-Affirmation of a Previous Variance to Permit a Parking Reduction is Minor:

- ✓ The Committee previously permitted a parking reduction to support the existing tenancy. (see Committee Decision A09-203).
- ✓ The parking reduction continues to be minor in number as the relief requested is less

- than 10% of the By-law requirement.
- ✓ A parking study prepared by a qualified engineer concluded that there is sufficient parking available to support the proposal.

Planning Opinion

We reviewed the Parking Justification Report prepared by CGE Transportation Consulting and adopt their professional opinion that there is sufficient parking on site to accommodate existing tenants including the fitness facility, the personal service shop and the motor vehicle rental establishment. As such it is our considered and professional planning opinion the variance to permit these uses is minor and will not cause an unacceptable adverse impact on neighbouring properties.

Permitting a Reduced Landscape Buffer is Minor:

- ✓ The Region requires the conveyance of land to accommodate a widening of Steeles Avenue.
- ✓ To accommodate the Region's request for land, a small portion of the frontage landscape buffer will be 0.6m narrower than the By-law minimum width of 3.0m.

Planning Opinion

It is our considered and professional planning opinion that the proposal is minor in number and will not cause an unacceptable adverse impact on the Region's right of way (Steeles Avenue).

2) The Proposal is Desirable for the Appropriate Development of Land, Building and Structure:

- ✓ The proposal is **desirable to the owner** as it will bring their property into conformity with the in-force By-law and will support their application to convert the property into condominium ownership.
- ✓ The proposal is **desirable to the existing tenants** who wish to purchase their units.
- ✓ The proposal is desirable the owners of the fitness center and motor vehicle rental establishment who believed their business to be operating in accordance with the By-law.
- ✓ The proposal is **desirable to the City** because condominium approval will result in improved property standards and increased assessment base creating more tax revenue for the city to use in bringing quality services to all Bramptonians.
- ✓ The proposal is **desirable to the Region of Peel** as land will be provided for transit and traffic improvements along Steeles Avenue.

Planning Opinion

It is our considered and professional planning opinion that the proposal is desirable for the appropriate development of land and building.

3) The Proposal Maintains the General Intent and Purpose of the Official Plan:

We have reviewed the City's Official Plan ('OP') and found the following policies particularly helpful in informing our professional planning opinion.

- ✓ The OP designates this property for 'Business Corridor' uses.
- ✓ The Secondary Plan designates this property for 'Employment 2' industrial uses.
- ✓ In conformity with OP policy objectives 4.4 (a, b) the proposal will ... *"retain and enhance business, industry and employment opportunities..."*, by promoting this property which is located in a *"...high quality employment area close to major transportation and transit facilities that support the principles of complete communities by providing convenient access to jobs..."*.
- ✓ In conformity with OP policy objective 4.4d the proposal will enhance this property and continue to 'protect the supply of designated employment for designated purposes including ...' *"manufacturing, warehousing, offices, and associated retail and ancillary purposes."*
- ✓ In conformity with OP policy 4.4.1, *"corporate offices, ancillary offices, business serving office"*

uses within industrial malls will be permitted...".

Planning Opinion

It is our considered and professional planning opinion that the proposal conforms with the Official Plan as the primary use of this industrial mall will be for employment uses, and the ancillary office component is permitted within the smaller units fronting on Steeles Avenue. A decision to permit the expansion of ancillary office to include professional offices and allow the Fitness Centre and Motor Vehicle Rental Establishment is justified as Official Plan policy promotes and encourages these uses within industrial malls located along Steeles Avenue where transit opportunities make these uses accessible for all residents.

4) The Proposal maintains the General Intent and Purpose of the Zoning Bylaw:

- ✓ The subject property is zoned Industrial Two – M2.
- ✓ General commercial uses including offices are permitted on this property.
- ✓ The Committee allowed a parking reduction for this property to accommodate the existing uses (see A09-203). The decision noted that 446 spaces was sufficient to support the orderly development of this property.
- ✓ The current parking study indicates that the 448 parking spaces shown on site is sufficient to accommodate this proposal.

Planning Opinion

It is our considered and professional planning opinion that the proposal maintains the intent of the Zoning By-law as the proposal seeks to:

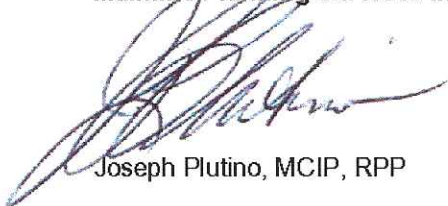
- ✓ reaffirm the parking reduction previously granted in Committee file number A09-203;
- ✓ expand upon the list of ancillary office and ancillary commercial uses already permitted on the property to include professional offices and three existing businesses (fitness centre, personal service shop and motor vehicle rental establishment); and,
- ✓ acknowledge a minor reduction in landscape area over a small portion of the frontage caused by a conveyance of land by the owner to the Region of Peel to allow for the orderly development of Steeles Avenue which is in the public interest.

Conclusion:

It is our professional planning opinion that the Committee's approval of the subject variances is justified because the four tests are met. We offer that authorizing the proposed variances is good planning as they are minor and will promote the employment policy objectives of the City by optimizing the use of land and creating permanent, long-term businesses and jobs.

We trust that our application is supported by staff and the Committee of Adjustment. If you require anything further, please do not hesitate to contact the undersigned at 905-893-0046.

Sincerely,
Mainline Planning Services Inc.



Joseph Plutino, MCIP, RPP



Naeem Lakhani, B.U.R.PI

cc. client



July 15, 2021

A-2021-0171

Takol Steelton Inc.
2300 Yonge Street, Suite 712
PO Box 2310, Toronto, Ontario M4P 1E4

Attention: Mr. Daniel Kolber

**Re: Parking Justification Study
2074,2080,2084 Steeles Avenue East
Proposed Professional Office Uses
City of Brampton**

CGE Consulting has been retained to provide a Parking Study in support of a minor variance application, to permit approximately 1,200 square meters of office uses, including professional office uses (about 6% of the total GFA), for the existing industrial sites located at 2074, 2080 and 2084 Steeles Avenue East, in the City of Brampton.

1.0 INTRODUCTION

The subject site is located within a large commercial area, surrounded by office, light industrial, warehouse and retail developments. The site location is shown in Figure 1.

The subject properties are under one ownership with shared parking among all three buildings. The businesses at all three addresses are currently open, with the exception of the Banquet Hall. The two restaurants on-site are open but primarily serves take out customers.

The units are mainly occupied by industrial and warehouse uses. There are a total of 448 parking spaces available for all three buildings. The proposed site plan is shown in Figure 2.

The basis of the parking study is to understand the existing parking demand / characteristics at the subject site. The existing tenants, type of businesses, unit numbers and area of each unit are listed in Table 1.

The client is exploring options to convert several units currently occupied by warehouse to professional office uses, such as accounting or law offices. The owner also wants to bring the existing non-conforming fitness centre into compliance with the zoning by-law (see Table 1). It is expected that the proposed professional uses and fitness centre will result in a parking requirement of 483 spaces (see Table 2).

The banquet hall is currently closed due to COVID-19, however past event information from the client indicates that the maximum parking demand for the banquet hall is less than 200 cars and typical hours of operation are weekday evenings and weekends.

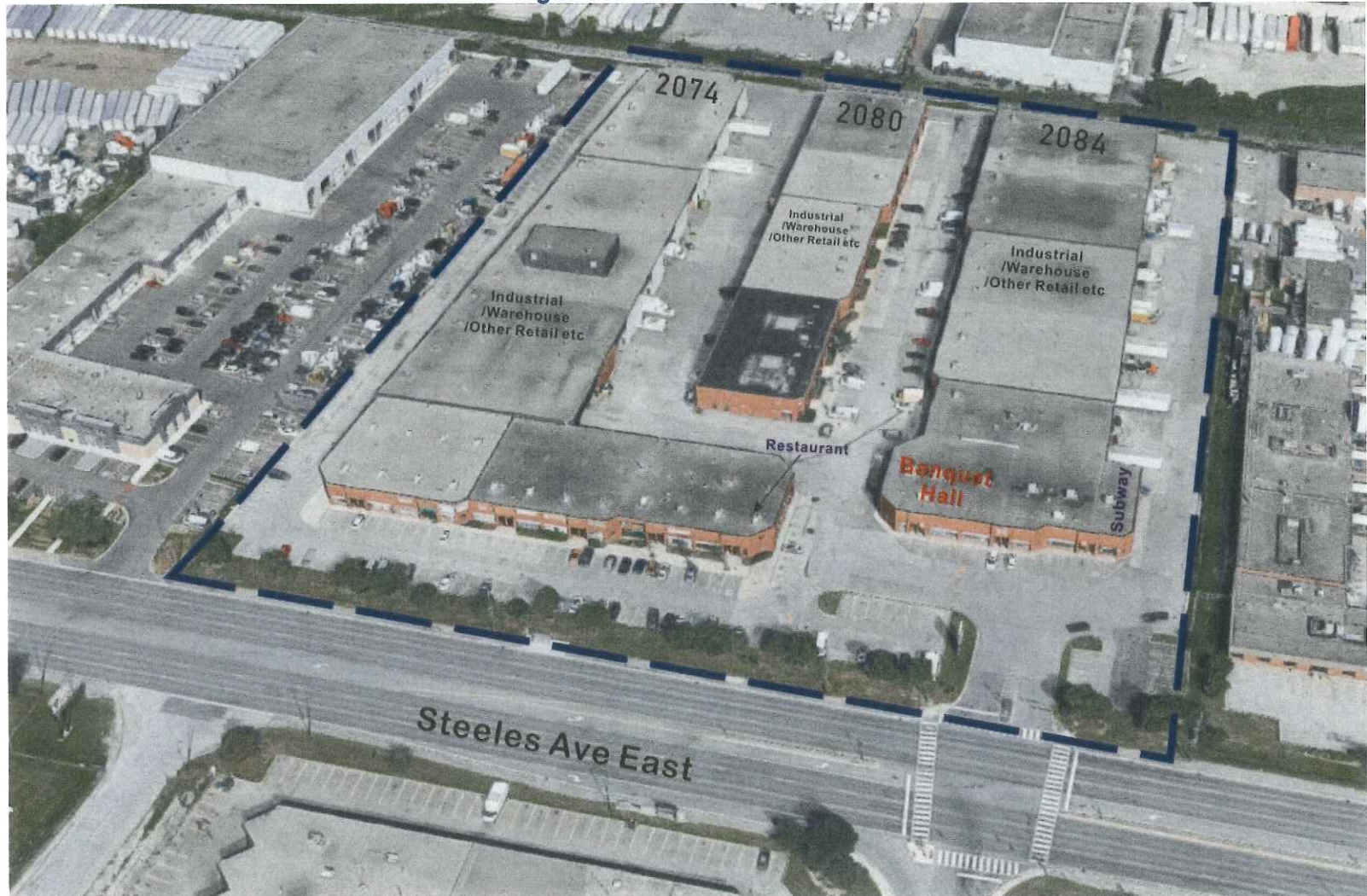
Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

It is expected that these banquet hall events are attended by families and friends and therefore it is safe to assume event attendees will share one vehicle.

According to the parking study conducted on this site by Sernas Transtech in November 2009, and submitted as part of the previous minor variance, the average number of occupants per vehicle is 3.62 people.

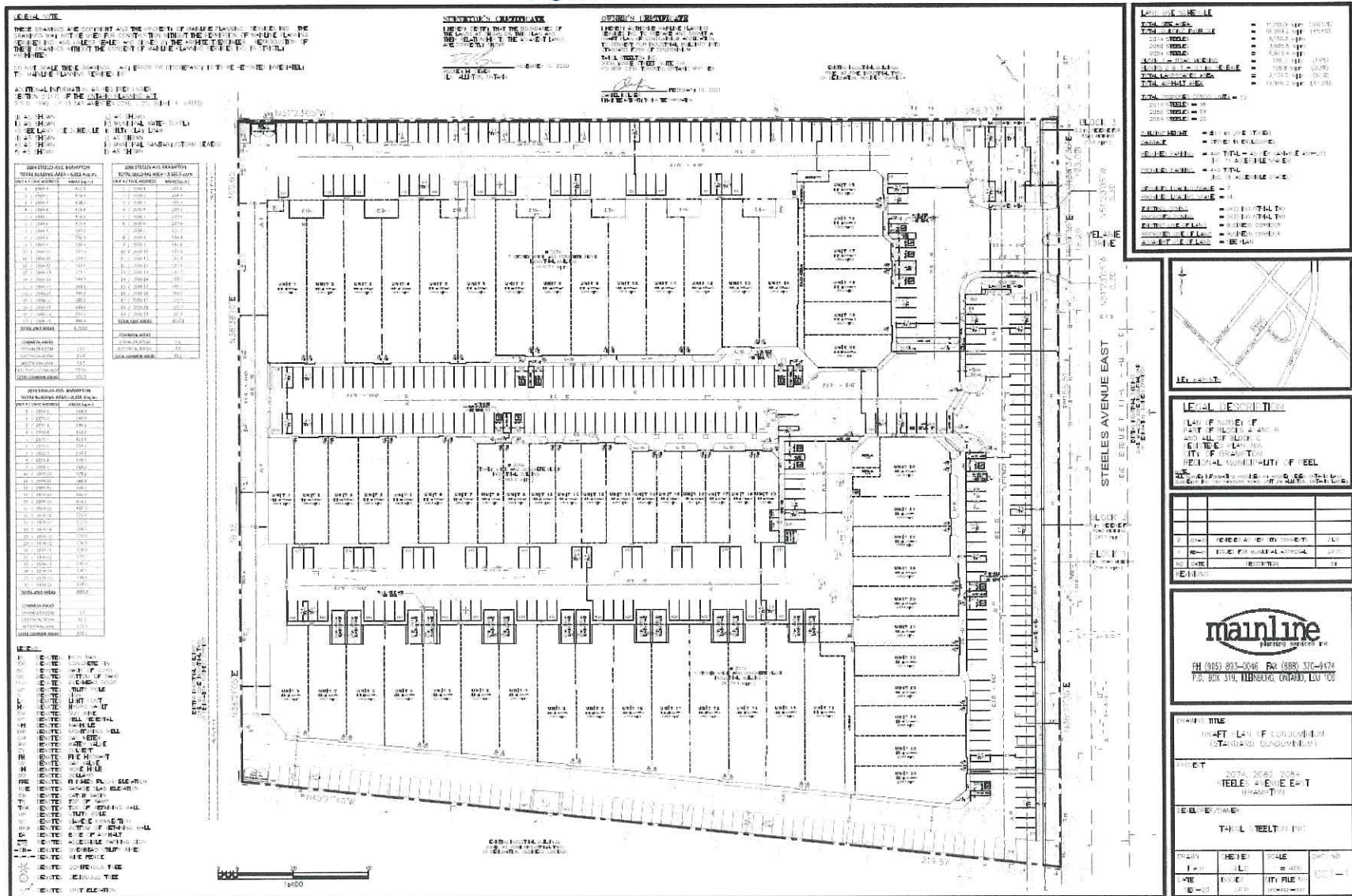
Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

Figure 1: SITE LOCATION



Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

Figure 2: SITE PLAN



Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

Table 1: List of tenants at 2074,2080,2084 Steeles Avenue East

Address	Civic Unit #	Existing Occupant	Current Use	Proposed Use	Variance Required (Yes/No)	GFA (sq.m.)
2074 Steeles	1	AM Rubber and Foam Gaskets	Industrial	Industrial	No	267.7
	2	AM Rubber and Foam Gaskets	Industrial	Industrial	No	289.4
	3	AM Rubber and Foam Gaskets	Industrial	Industrial	No	300.6
	4	AM Rubber and Foam Gaskets	Industrial	Industrial	No	312.9
	5	AAR Plumbing Supplies Ltd.	Industrial	Industrial	No	315.4
	6	AAR Plumbing Supplies Ltd.	Industrial	Industrial	No	337.5
	7	AAR Plumbing Supplies Ltd.	Industrial	Industrial	No	346.0
	8	Mapco (PVT) Ltd.	Industrial	Industrial	No	356.8
	9	Mapco (PVT) Ltd.	Industrial	Industrial	No	366.7
	10	Mapco (PVT) Ltd.	Industrial	Industrial	No	368.4
	11	Mapco (PVT) Ltd.	Industrial	Industrial	No	401.6
	12	Mapco (PVT) Ltd.	Industrial	Industrial	No	392.8
	13	MS Sofa Manufacturing Ltd.	Manufacturing	Manufacturing	No	421.9
	14	MS Sofa Manufacturing Ltd.	Manufacturing	Manufacturing	No	415.0
	15	AAR Plumbing Supplies Ltd.	Industrial	Industrial	No	410.5
	16	GT Restaurant & Bar Inc.	Restaurant	Restaurant	No	328.9
	17	P&B Hardwood Flooring Inc.	Warehouse	Professional Office	Yes	208.3
	18	Enterprise Rent-A-Car Canada	Motor Vehicle Rental	Motor Vehicle Rental	No	214.6
	19	Sterling Paints Inc.	Building Supplies Sales Establishment	Building Supplies Sales Establishment	No	219.5
	20	DJ Depot Inc.	Warehouse	Warehouse	No	219.9
	21	Ontario Audio/Video Device In	Office + Warehouse	Professional Office	Yes	225.6
	22	Ontario Audio/Video Device In	Office + Warehouse	Professional Office	Yes	220.7
	23	Global Retail Advantage Inc.	Warehouse	Professional Office	Yes	237.6
	24	NSC Metal Enterprises Ltd.	Warehouse	Warehouse	No	244.0
	25	Alicia's Laser Med Spa and Salon Ltd.	Technical School	Technical School	No	232.5
	26	2130036 Ontario Inc. O/A Kfo	Office	Professional Office	Yes	259.3
Total Unit Areas:						7914.1
2080 Steeles	1	Millennium Milwork Inc.	Industrial	Industrial	No	232.6
	2	Millennium Milwork Inc.	Industrial	Industrial	No	227.9
	3	Millennium Milwork Inc.	Industrial	Industrial	No	227.9
	4	Millennium Milwork Inc.	Industrial	Industrial	No	229.1
	5	Millennium Milwork Inc.	Industrial	Industrial	No	229.1
	6	DNE Welding Inc.	Industrial	Industrial	No	233.1
	7	DNE Welding Inc.	Industrial	Industrial	No	226.3
	8	Sandeep Singh, Sangha Fitness	Gym	Fitness Centre	Yes	186.1
	9	Harry Machining & Tooling	Industrial	Industrial	No	183.8
	10	Harry Machining & Tooling	Industrial	Industrial	No	179.8
	11	National Auto Glass Inc.	Industrial	Industrial	No	178.1
	12	OM Manufacturing Inc.	Manufacturing	Manufacturing	No	186.4
	13	OM Manufacturing Inc.	Manufacturing	Manufacturing	No	184.6
	14	Steeles Tireland Inc.	Tires - Changing	Tires - Changing	No	161.3
	15	Steeles Tireland Inc.	Tires - Changing	Tires - Changing	No	159.7
	16	Jasvinder Viri o/a Jasko Mac	Manufacturing	Manufacturing	No	161.0
	17	2008403 Ont. Inc. Rti Glass &	Manufacturing	Manufacturing	No	160.3
	18	2008403 Ont. Inc. Rti Glass &	Manufacturing	Manufacturing	No	160.3
	19	2008403 Ont. Inc. Rti Glass &	Manufacturing	Manufacturing	No	144.7
Total Unit Areas:						3652.1
2084 Steeles	1	Amma Custom Fabrication &	Manufacturing	Manufacturing	No	409.7
	2	Five River Foods Inc.	Food Distributor	Warehouse	No	422.3
	3	Five River Foods Inc.	Food Distributor	Warehouse	No	413.1
	4	BDS Food Service	Food Distributor	Warehouse	No	423.0
	5	BDS Food Service	Food Distributor	Warehouse	No	418.3
	6	BDS Food Service	Food Distributor	Warehouse	No	410.6
	7	AMJ Healthfood Distributors Inc.	Food Distributor	Warehouse	No	403.2
	8	EllisDon Design Build	Contractor	Warehouse	No	396.7
	9	EllisDon Design Build	Contractor	Warehouse	No	404.0
	10	Assets Recovery & Salvage Inc.	Contractor	Manufacturing	No	393.5
	11	Assets Recovery & Salvage Inc.	Contractor	Manufacturing	No	404.0
	12	7 Colour Entertainment Ltd.	Printings	Warehouse	No	385.0
	13	AM Rubber and Foam Gaskets	Manufacturing	Warehouse	No	381.3
	14	Shingaar Banquet Hall -208482	Banquet Hall	Banquet Hall	No	383.4
	15	Subway Franchise Restaurant	Take Out/Fast Food	Take Out/Fast Food	No	163.4
	16	Shingaar Banquet Hall -208482	Banquet Hall	Banquet Hall	No	185.9
	17	Shingaar Banquet Hall -208483	Banquet Hall	Banquet Hall	No	200.5
	18	Shingaar Banquet Hall -208484	Banquet Hall	Banquet Hall	No	203.6
	19	Shingaar Banquet Hall -208485	Banquet Hall	Banquet Hall	No	203.8
	20	Shingaar Banquet Hall -208486	Banquet Hall	Banquet Hall	No	189.6
Total Unit Areas:						6794.9
Total Area of Building:						18361.1

Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

Table 2: Total Parking Required as Per By-law

Use	GFA	Spaces Required	Rate Applied
Industrial	14396.3	164.8605882	139 + 1/70 (over 10000 sqm)
Technical School	232.5	11.625	1/20 sqm
Banquet Hall	1366.8	170.85	1/8 sqm
Restaurant (take out)	163.4	8.17	1/20 sqm
Restaurant (dining)	328.9	52.624	1/6.25 sqm
Office	1151.5	38.38333333	1/30 sqm
Fitness Centre	186.1	8.459090909	1/22 sqm
Motor Vehicle Repair	321.0	17.83333333	1/18 sqm
Motor Vehicle Rental	214.6	9.330434783	1/23 sqm
Total	18361.1	482.1357806	
		483	parking spaces required

The parking requirement for the proposed site condition is illustrated in Table 2; 483 parking spaces are required. The proposed site plan provides 448 parking spaces. There was previously an approved minor variance application (A13-067) undertaken to permit 415 parking spaces as per the City of Brampton parking by-law requirement.

2.0 PARKING ASSESSMENT

The client would like to explore opportunities to convert about 1200 square meters of existing uses into professional offices, such as accounting or law offices. The parking requirement including the proposed uses are shown in Table 2.

It is expected that the proposed professional uses will have similar parking demand as the current warehouse/industrial uses.

PARKING ON-SITE OBSERVATION

Based on site visits completed at the subject property, the operating hours of all of the units at the three buildings vary between 7:30am to 6:30pm due to the nature of the businesses, 90% of the units operate from 9am to 5pm (Monday to Friday), and several units operate from 9am to 4pm on Saturday. A small percentage of units operate on Sunday.

To review the true parking demand at the subject site, parking observations were undertaken on Saturday, November 14, 2020 and Thursday, November 19, 2020 during work hours. The summary of the parking demand is as follows:

- ***Peak parking demand on Saturday occurred at 11:50am, at 130 spaces***
- ***Parking demand on Saturday at 4pm is 102 spaces***
- ***Parking demand on Saturday at 6pm is 80 spaces***
- ***Peak parking demand on Thursday occurred at 3pm, at 162 spaces***
- ***Parking demand on Thursday at 5:30pm is 92 spaces***
- ***The dine in restaurant can seat approximately 40 people***
- ***The take-out restaurant (subway) can seat 22 people***

The peak parking demand for Saturday and Thursday are shown in Figures 3 and 4.

Based on the proposed site plan provided, there are a total of 448 parking spaces, therefore the subject site has a surplus of $448 - 162 = 286$ parking spaces. If we apply the two restaurants parking demand at 62 spaces the site would still have 224 spaces vacant.

2.1 Banquet Hall Parking

Due to the current ongoing pandemic situation, and during site observations, the banquet hall was unable to host any events and no parking surveys could be undertaken. We have referred to a parking study prepared in 2009 by Sernas Transtech that included parking survey results of two events as follows:

1. November 13, 2009, Birthday Party with a 6pm start time and approximately 300-person guest list
2. November 20, 2009, Reunion Party with a 6pm start time and approximately 300-person guest list

It is our opinion that these survey data accurately reflect the parking demand for the banquet hall and can be referenced for the subject parking study's current proposal.

The surveys were conducted from 5pm to 9:30pm and the results indicate an average peak parking demand of 175 vehicles for the two events. The vehicle occupancy is 3.62 person per auto plus one space per staff.

Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

The banquet hall has a capacity of 650 guests + 16 staff, and 196 spaces would be required if the banquet hall is occupied at full capacity.

The Sernas Transtech report also indicated that other units had a parking demand of 85 spaces during the survey times, which is in line with the 80 to 92 spaces that was observed during the 2020 on-site parking survey during off-work hours.

Based on the above information, it is anticipated that the 448 parking spaces on-site can sufficiently accommodate the office, industrial mall, warehouse, and restaurant uses during the day time and banquet hall activities during the evening time and on weekends.

Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

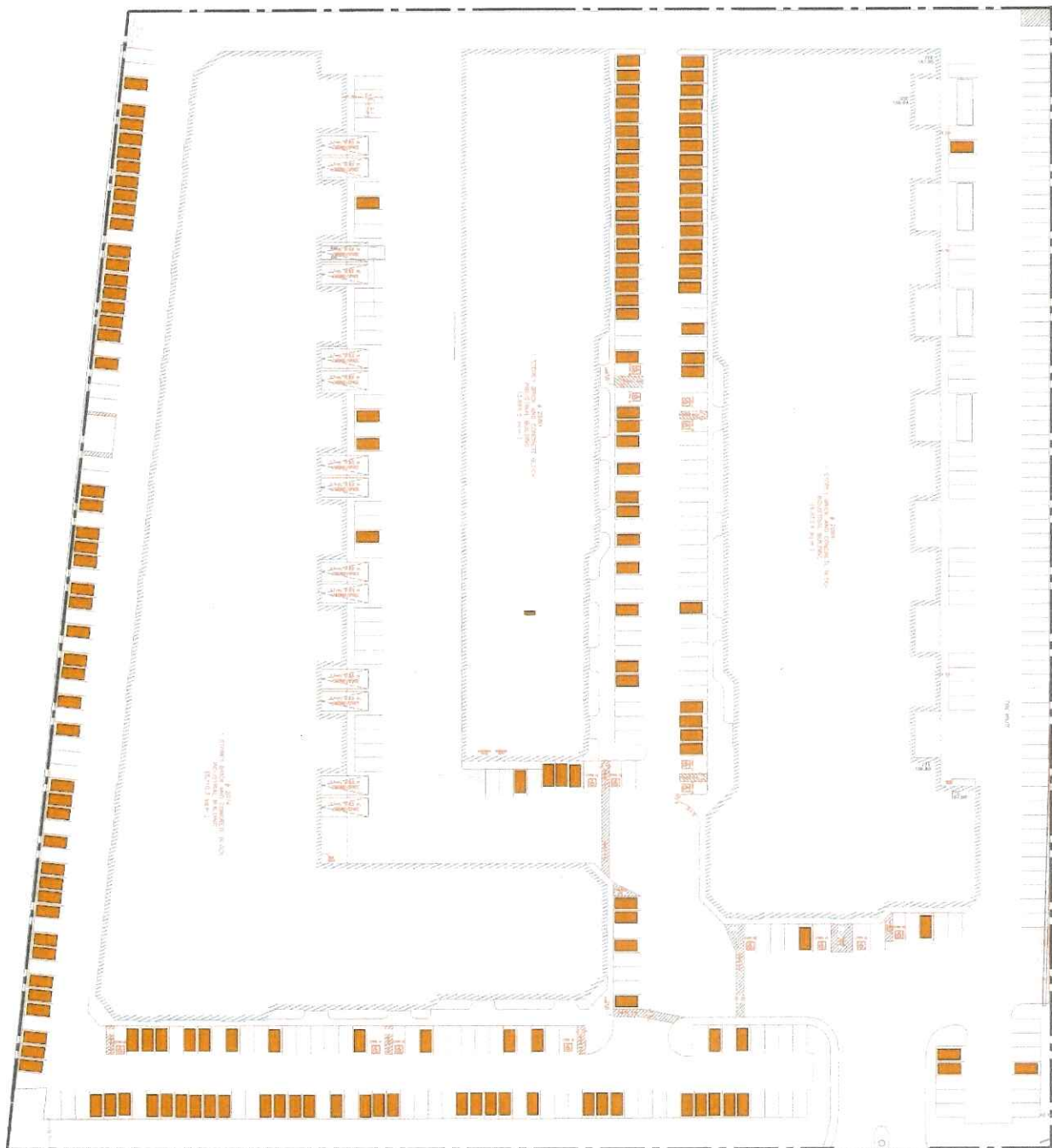
Figure 3 – Peak Parking Demand – Saturday, November 14, 2020



Saturday, November 14, 2020
11:50am
130 spaces occupied

Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

Figure 4 – Peak Parking Demand – Thursday, November 19, 2020



Thursday, November 19, 2020
3:00 pm
162 spaces occupied

2.2 Parking Sharing Strategies

We anticipate that due to the different types of uses on-site, there is opportunity for parking sharing among the different uses.

The banquet hall is currently closed due to COVID-19, however past event information from the client indicate that the banquet hall requires about 196 spaces if it is fully occupied at 650 persons, and are usually only open on the weekends and on weekdays after work hours. It is expected that these banquet hall events are attended by families and friends and have an occupancy rate of 3.62 persons per vehicle.

2.3 Carpool & Shared Parking

As part of the City's on-going transportation demand management, it is recommended that the business owners of the units support and promote carpool services among the employees to reduce automobile reliance.

2.4 On-Site Parking Management

With the appropriate on-site parking management, the efficiency of parking activities can be increased to accommodate more vehicles on-site and reduce conflicts/accidents during vehicle maneuverings.

On-site observations indicate that there were vehicles from the adjacent 2070 Steeles Avenue property were parking on the subject site and walk over. It is expected that more parking spaces will be freed if the adjacent property parking activities are eliminated.

It is recommended that signs are to be installed for the row of parking close to the neighbouring property deterring adjacent users to occupy the parking spaces, a chain-link fence can also be installed at the 2074 Steeles Avenue property edge, to deter neighbouring property cars to be parked on the subject lands.

3.0 CONCLUSION & RECOMMENDATION

The key findings are summarized below:

- The subject properties at 2074, 2080 and 2084 has a total of 448 proposed parking spaces.
- The subject site has a banquet hall, a dine-in restaurant, a take-out fast food restaurant, a small gym, a retail store, and various industrial / warehouse units.
- The peak parking demand at the site on a weekday during work hours is at 162 spaces.
- The parking demand during the after hours are between 80 and 92 vehicles, for the office, industrial use, warehouse etc.
- The dine in restaurant can seat approximately 40 people and the take-out restaurant (Subway) can seat 22 people. If the banquet hall is fully occupied at 650 people, it will require approximately 196 spaces.

Parking Study – 2074, 2080, 2084 Steeles Ave E, Brampton

- It was observed that vehicles in the adjacent 2070 Steeles Avenue parked at the subject property and if these vehicles are excluded there would be more vacant spaces available.
- It is concluded that the subject site has capacity and resources to accommodate all of the parking demand on-site during peak time.
- It is concluded that the subject site's available parking supply can accommodate 1200 square metres (6% of total GFA) of office uses (including professional office use) as well as a 190 square metre fitness centre.

Should you have any questions regarding this study, please do not hesitate to contact the undersigned.

Yours truly,

CGE TRANSPORTATION CONSULTING



Casey Ge, P.Eng.
President

The Personal Information collected on this form is collected pursuant to section 46 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Takol Steelton Inc. c/o Daniel Kolber
Address 2300 Yonge Street, Suite 902
Box 2310, Toronto, Ontario, M4P 1E4

Phone # See Agent **Fax #** _____
Email See Agent

2. **Name of Agent** Mainline Planning Services Inc.
Address P.O. Box 319, Kleinburg, Ontario, L0J 1C0

Phone # (905) 893 - 0046 **Fax #** _____
Email jplutino@mainlineplanning.com
nlakhani@mainlineplanning.com

3. **Nature and extent of relief applied for (variances requested):**
1. A minor variance is requested to permit Offices of Accredited or Licensed Professionals
2. A minor variance is requested to permit an existing Fitness Centre
3. A minor variance is requested to permit an existing Personal Service Shop
4. A minor variance is requested to permit 448 parking spaces
5. A minor variance is requested to permit a landscape buffer of 2.4 metres
6. A minor variance is requested to permit an existing Motor Vehicle Rental Establishment

4. **Why is it not possible to comply with the provisions of the by-law?** Please refer to the Planning Justification Report for additional information.
1. The by-law excludes Offices of Accredited or Licensed Professionals in Section 30.7(e)
2. The by-law does not list a Fitness Centre as permitted within the M2 Zone under Section 32.1.1.
3. The by-law does not list a Personal Service Shop as permitted within the M2 Zone under Section 32.1.1.
4. This is an existing and fully developed site which can accomodate no more than 448 parking spaces whereas the By-law requires 483 parking spaces.
5. The landscape reduction from the required 3.0m is required to accomodate a land conveyance requested by the Region of Peel.
6. The by-law does not list a Motor Vehicle Rental Establishment as permitted within the M2 Zone under Section 32.1.1.

5. **Legal Description of the subject land:** Part of Blocks A & B, All of Block C, Registered Plan 766; Parts 1, 2 & 3,
Lot Number Plan 43R-39845; City of Brampton, Regional Municipality of Peel
Plan Number/Concession Number _____
Municipal Address 2074, 2080, 2084 Steeles Avenue East

6. **Dimension of subject land (in metric units)**
Frontage 199.8 m
Depth 219.0 m
Area 41,181.5 sq.m.

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Three single-storey industrial buildings with a total Gross Floor Area of 18,689.2 square metres.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 24.54 m (20.63 m after land conveyance)

Rear yard setback 7.62 m

Side yard setback 13.25 m

Side yard setback 13.47 m

PROPOSED

Front yard setback

Rear yard setback

Side yard setback

Side yard setback

10. Date of Acquisition of subject land: June 30, 2020
11. Existing uses of subject property: Industrial Uses
12. Proposed uses of subject property: Industrial Uses and Ancillary Uses (Professional Offices, Fitness Centre Personal Service Shop)
13. Existing uses of abutting properties: Automotive related uses, Industrial Uses
14. Date of construction of all buildings & structures on subject land: Circa 1986
15. Length of time the existing uses of the subject property have been continued: Approximately 35 years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details: File # DPC-2021-0001 Status In Review

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # <u>A09-203</u>	Decision <u>Approved</u>	Relief <u>To permit 446 on-site parking spaces</u>
File # <u>A13-067</u>	Decision <u>Approved</u>	Relief <u>To permit 415 on-site parking spaces</u>
File # _____	Decision _____	Relief _____

[Signature]
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 27th DAY OF July, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Naeem Lakhani, OF THE City OF Toronto

IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 27th DAY OF

July , 2021

[Signature]
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

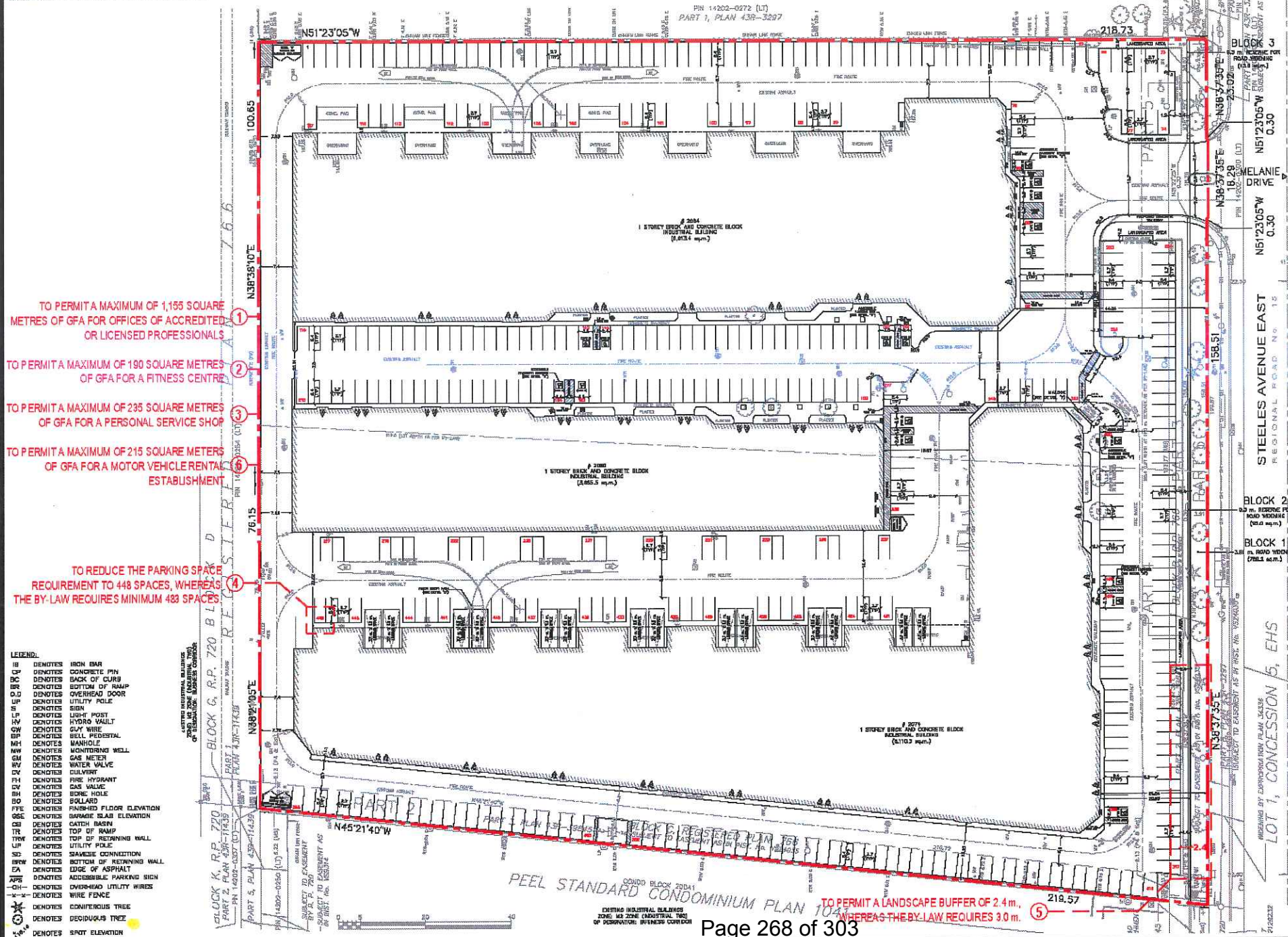
DATE RECEIVED July 27, 2021

Revised 2021/01/15

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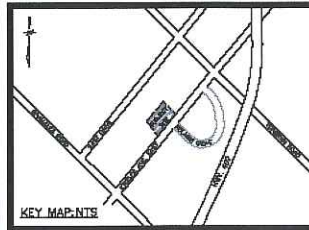
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LAND USE SCHEDULE

TOTAL SITE AREA	=	41,181.5 sq.m. (100.00)
TOTAL BUILDING ENVELOPE	=	18,889.2 sq.m. (45.40)
2074 STEELS	=	8,110.3 sq.m.
2080 STEELS	=	3,865.9 sq.m.
2084 STEELS	=	5,913.4 sq.m.
BLOCK 1 - ROAD WIDENING	=	788.2 sq.m. (1.90)
BLOCKS 2 & 3 - 0.3 m. RESERVE	=	108.8 sq.m. (0.26)
TOTAL LANDSCAPE AREA	=	2,191.0 sq.m. (5.35)
TOTAL ASPHALT AREA	=	16,498.3 sq.m. (40.07)
TOTAL PROPOSED CONDO UNITS = 85		
2074 STEELS = 34		
2080 STEELS = 16		
2084 STEELS = 35		
BUILDING HEIGHT	=	4.61 m (ONE STOREY)
GARAGE	=	STORED IN ENCLOSURES
REQUIRED PARKING	=	483 TOTAL (INC. 11 ACCESSIBLE SPACES)
PROVIDED PARKING	=	448 TOTAL (INC. 10 ACCESSIBLE SPACES)
REQUIRED LOADING SPACE = 7		
PROVIDED LOADING SPACE = 14		
EXISTING ZONING	=	(M2) INDUSTRIAL TWO
PROPOSED ZONING	=	(M2) INDUSTRIAL TWO
EXISTING USE OF LAND	=	BUSINESS CORRIDOR
PROPOSED USE OF LAND	=	BUSINESS CORRIDOR
ADJACENT USE OF LAND	=	SEE PLAN

NOTE: NO PARKING SPACE SHALL BE ASSIGNED TO INDIVIDUAL UNITS



LEGAL DESCRIPTION

PLAN OF SURVEY OF PART OF BLOCKS A AND B AND ALL OF BLOCK C REGISTERED PLAN 768 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

NOTE: ALL SURVEY INFORMATION PROVIDED BY KERRY DETER OHTARIO LAND SURVEYOR INC. AND PENDING ROAD LAYOUT BY ALSTON, OHTARIO LIMITED

NO.	DATE	DESCRIPTION	BY
1	JUL-21	ISSUED FOR MUNICIPAL APPROVAL	N.L.
REVISIONS			

mainline
planning services inc.

PH (905) 893-0046 FAX (888) 370-9474
P.O. BOX 319, KLEINBURG, ONTARIO, L6J 1C0

DRAWING TITLE			
MINOR VARIANCE			
PROJECT			
2074, 2080, 2084 STEELES AVENUE EAST BRAMPTON			
DEVELOPER/OWNER			
TAKOL STEELTON INC.			
DRAWN	CHECKED	SCALE	DWG. NO.
K.A.R.	N.L.	1 = 400	MV-1
DATE	ISSUED	CITY FILE NO.	
JUL-21	J.P.P.		

Address	Civic Unit #	Use	GFA (sq.m.)
2074 Steeles	1	Industrial	287.7
	2	Industrial	289.4
	3	Industrial	300.6
	4	Industrial	312.9
	5	Industrial	315.4
	6	Industrial	337.5
	7	Industrial	348.0
	8	Industrial	356.8
	9	Industrial	366.7
	10	Industrial	366.4
	11	Industrial	401.6
	12	Industrial	392.8
	13	Manufacturing	421.9
	14	Manufacturing	415.0
	15	Industrial	410.5
	16	Restaurant	328.9
	17	Office	208.3
	18	Motor Vehicle Rental	214.6
	19	Building Supplies Sales Establishment	219.5
	20	Warehouse	219.9
	21	Office	225.6
	22	Office	220.7
	23	Office	237.6
	24	Warehouse	244.0
	25	Technical School	232.5
	26	Office	259.3
Total Unit Areas:			7914.1
2080 Steeles	1	Industrial	232.6
	2	Industrial	227.9
	3	Industrial	227.9
	4	Industrial	229.1
	5	Industrial	229.1
	6	Industrial	233.1
	7	Industrial	226.3
	8	Fitness Centre	186.1
	9	Industrial	183.8
	10	Industrial	179.8
	11	Industrial	175.1
	12	Manufacturing	186.4
	13	Manufacturing	184.6
	14	Tires - Changing	161.3
	15	Tires - Changing	159.7
	16	Manufacturing	161.0
	17	Manufacturing	160.3
	18	Manufacturing	160.3
	19	Manufacturing	144.7
	Total Unit Areas:		
2084 Steeles	1	Manufacturing	409.7
	2	Warehouse	422.3
	3	Warehouse	413.1
	4	Warehouse	423.0
	5	Warehouse	418.3
	6	Warehouse	410.6
	7	Warehouse	403.2
	8	Warehouse	396.7
	9	Warehouse	404.0
	10	Manufacturing	393.5
	11	Manufacturing	404.0
	12	Warehouse	385.0
	13	Warehouse	381.3
	14	Banquet Hall	383.4
	15	Take Out/Fast Food	163.4
	16	Banquet Hall	185.9
	17	Banquet Hall	200.5
	18	Banquet Hall	203.6
	19	Banquet Hall	203.8
	20	Banquet Hall	189.6
	Total Unit Areas:		
Total Area of Building			18361.1

GFA of Variances	
1151.5	Total Proposed Office GFA
214.6	Motor Vehicle Rental
186.1	Fitness Centre

Required Variances	
1151.5	Professional Offices (Sq.m)
214.6	Motor Vehicle Rental
186.1	Fitness Centre
2.4	Landscape Buffer (m)
35	Parking Deficiency (spaces)

Parking Calculation			
Use	GFA	Spaces Required	Rate Applied
Industrial	14396.3	164,860,5892	139 + 1/70 (over 10000 sqm)
Technical School	232.5	11,625	1/20 sqm
Banquet Hall	1366.8	17,085	1/8 sqm
Restaurant (take out)	168.4	8,17	1/20 sqm
Restaurant (dining)	328.9	52,624	1/6,25 sqm
Office	1151.5	38,383,3333	1/30 sqm
Fitness Centre	186.1	8,459,090,909	1/22 sqm
Motor Vehicle Repair	321.0	17,833,3333	1/18 sqm
Motor Vehicle Rental	214.6	9,330,434,783	1/23 sqm
Total	18361.1	482,13,57806	
		483	parking spaces required

2074, 2080, 2084 STEELES AVENUE E

PREVIOUS DECISION(S)



Notice of Decision

Committee of Adjustment

FILE NUMBER A09-203HEARING DATE DECEMBER 15, 2009APPLICATION MADE BY STEELTON BUSINESS CENTRE INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION TO PROVIDE 446 PARKING SPACES TO ALLOW FOR AN EXPANSION OF AN EXISTING BANQUET HALL;

(2074-2084 STEELES AVENUE EAST – BLOCK C, PART OF BLOCKS A & B, PLAN 766 AND PARTS 3 TO 5, PLAN 43R-3297)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

MOVED BY: J. Massey-SinghSECONDED BY: F. TurnerSIGNATURE OF CHAIR OF MEETING: [Signature]

WE THE UNDERSIGNED HEREBY CONCUR IN THE DECISION

[Signature]
MEMBER

[Signature]
MEMBER

[Signature]
MEMBER
MEMBER

[Signature]
MEMBER

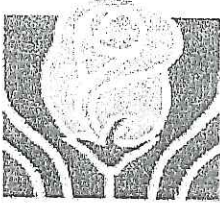
DATED THIS 15th DAY OF DECEMBER, 2009

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE ONTARIO MUNICIPAL BOARD WILL BE JANUARY 4, 2010.

I, JEANIE MYERS, ACTING SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.

[Signature]
Jeanie Myers
ACTING SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

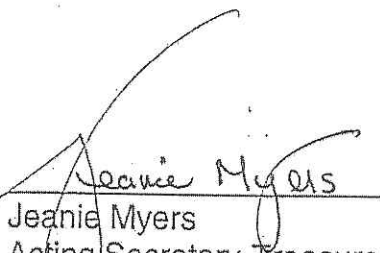
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

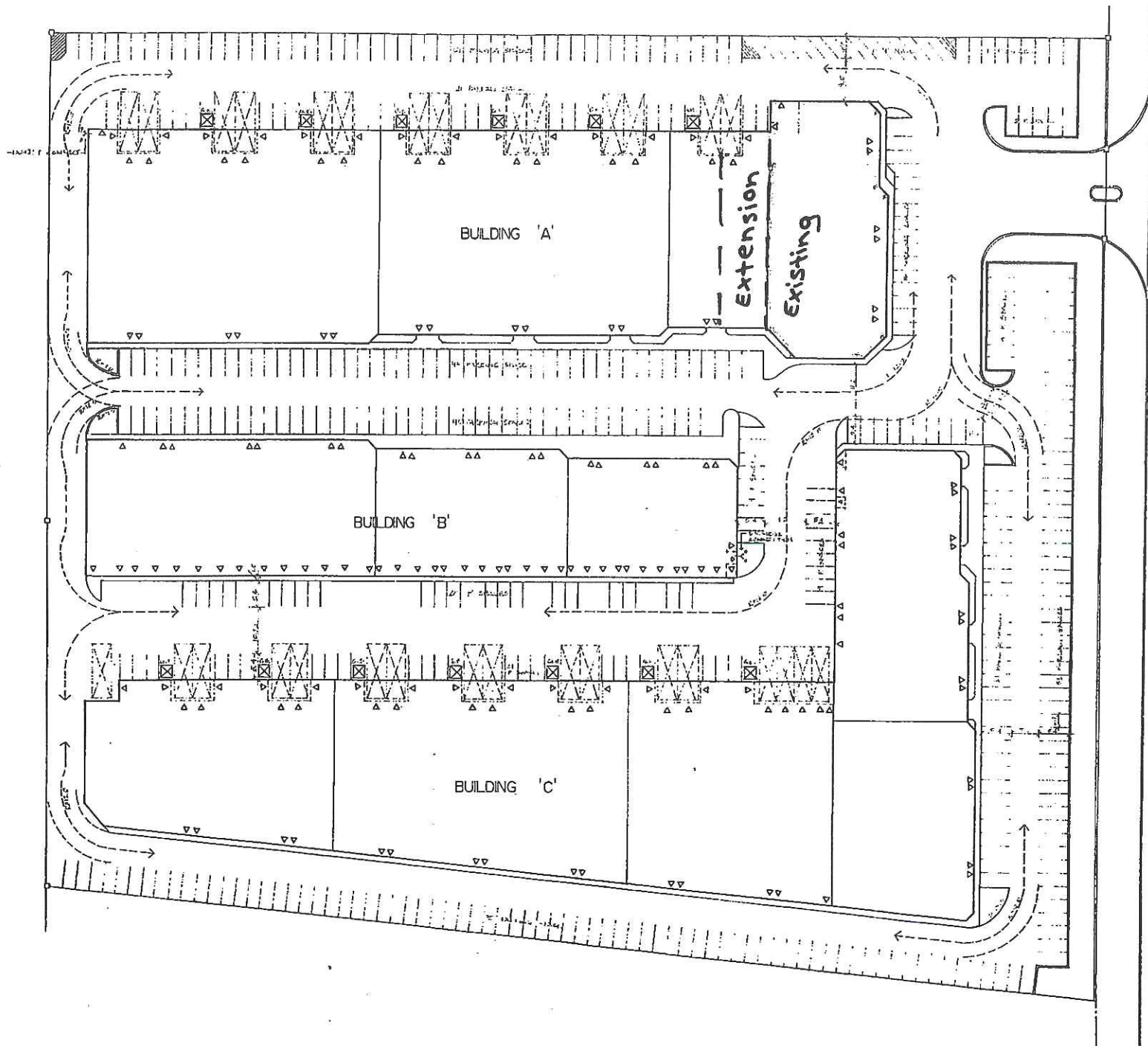
APPLICATION NO: A09-203

DATED DECEMBER 15, 2009

Conditions:

1. That the expansion of the banquet hall shall not exceed a gross commercial floor area of 421 sq m for a total gross commercial floor area of 2,211 sq m.
2. That a building permit is obtained prior to any use of the proposed expansion area for banquet hall purposes.


Jeanie Myers
Acting Secretary-Treasurer
Committee of Adjustment

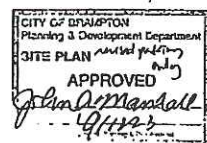


PLAN SHOWING ELEVATIONS OF
BLOCK C AND PART OF BLOCKS A AND B
REGISTERED PLAN 766
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

4 BADDY - PENTEX D.L. 1.13.13

LAND USE SCHEDULE

LOT AREA:	4,121.15 Hs
BUILDING AREAS:	
Building "A"	6,989.45 Hs [75,236.33 Sq. Ft.]
Building "B"	3,671.03 Hs [39,337.30 Sq. Ft.]
Building "C"	9,211.03 Hs [99,462.12 Sq. Ft.]
TOTAL:	19,871.51 Hs [214,035.75 Sq. Ft.]
PARKING:	
Provided	448 Spaces
Required	341 Spaces
LANDSCAPE AREA:	2,887.93 Hs
PAVED AREA:	16,085.00 Hs
COVERAGE:	19,975.02 Hs = 48.4%



5185-94

SITE PLAN	SCALE: 1" = 400'
PROP INDUSTRIAL & COMMERCIAL	DATE: DEC. 13/17
DEVELOPMENT for HUNTINGWOOD	DRAWN BY: V.D.
INDUSTRIAL	BRAMPTON - ONTARIO



FILE NUMBER A13-067

HEARING DATE MARCH 5, 2013

APPLICATION MADE BY STEELTON BUSINESS CENTRE INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE:

1. To provide 415 on-site parking spaces.

(2074 STEELES AVENUE EAST – PART OF LOT 1, CONCESSION 5 EHS)

**THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF
BRAMPTON WHERE REQUIRED)**

1. That the variance is approved only for the purpose of permitting a commercial school currently located in Unit 25 to expand into Unit 26 of 2074 Steeles Avenue East.

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

MOVED BY: R. NURSE

SECONDED BY: P.S. CHAHAL

SIGNATURE OF CHAIR OF MEETING: _____

WE THE UNDERSIGNED HEREBY CONCUR IN THE DECISION

MEMBER

MEMBER

MEMBER

MEMBER

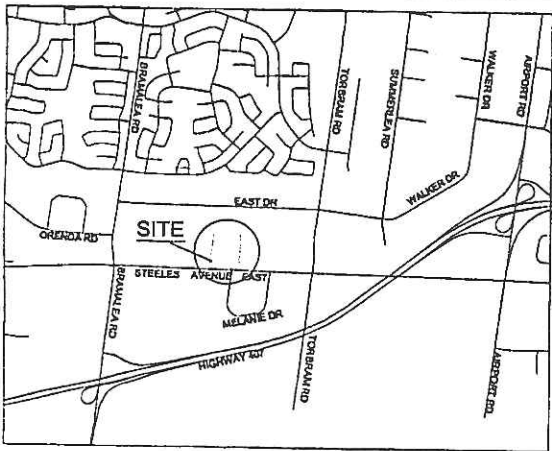
MEMBER

DATED THIS 5TH DAY OF MARCH, 2013

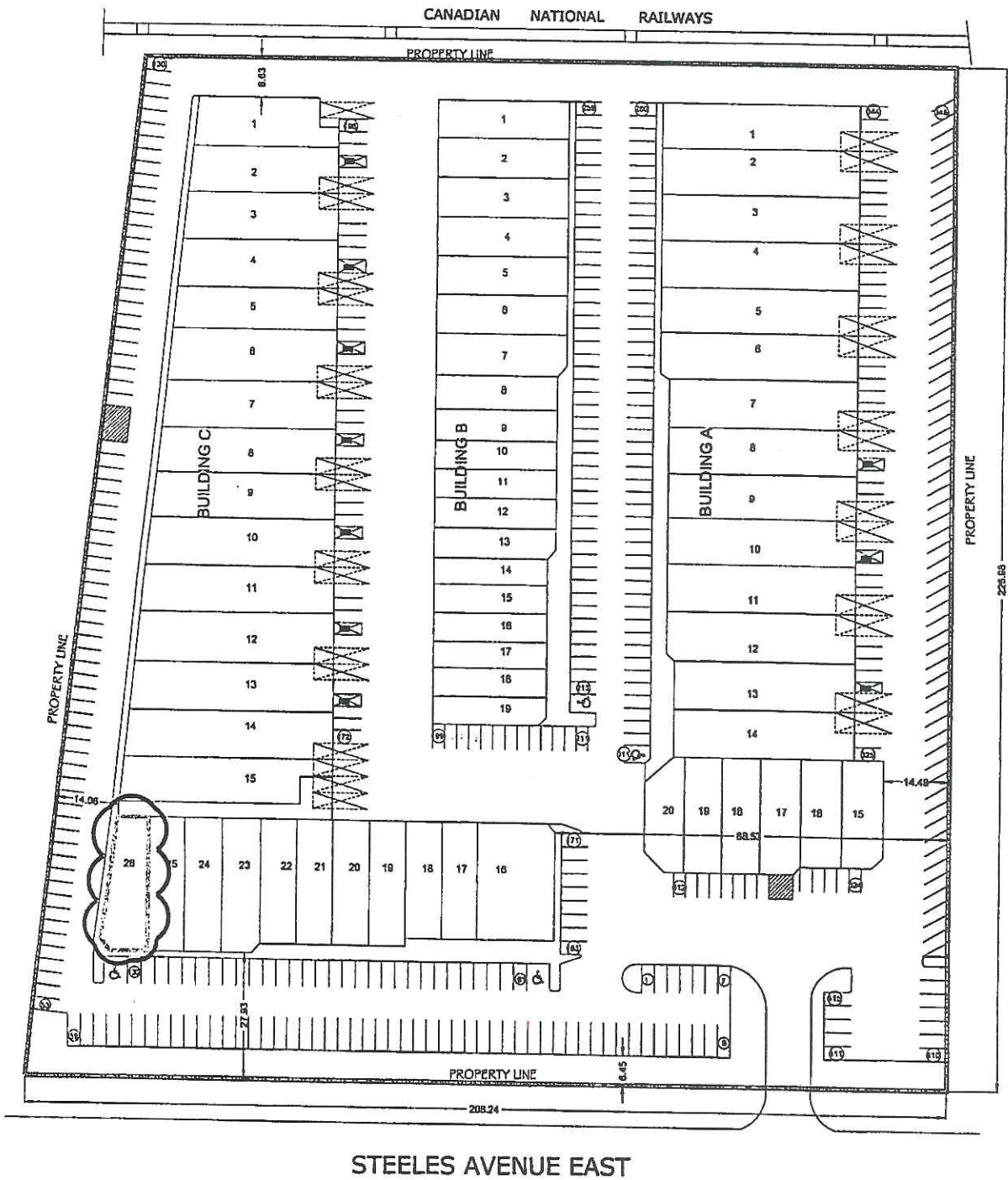
NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE ONTARIO MUNICIPAL BOARD WILL BE MARCH 25, 2013.

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.

**SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT**



Key Map-NTS



Total Site Area	4.11 ha.	10.16 ac.
Landscaped Area	3,180 sq. metres	34,229 sq. ft.
Unit 26 Area	259 sq. metres	2,788 sq. ft.
Unit 25 Area	242 sq. metres	2,605 sq.ft.
Building 'C'	9,195 sq. metres	98,974 sq.ft.
Total Parking Provided	415 spaces	

* Note: Areas are an estimate only.

LEGEND

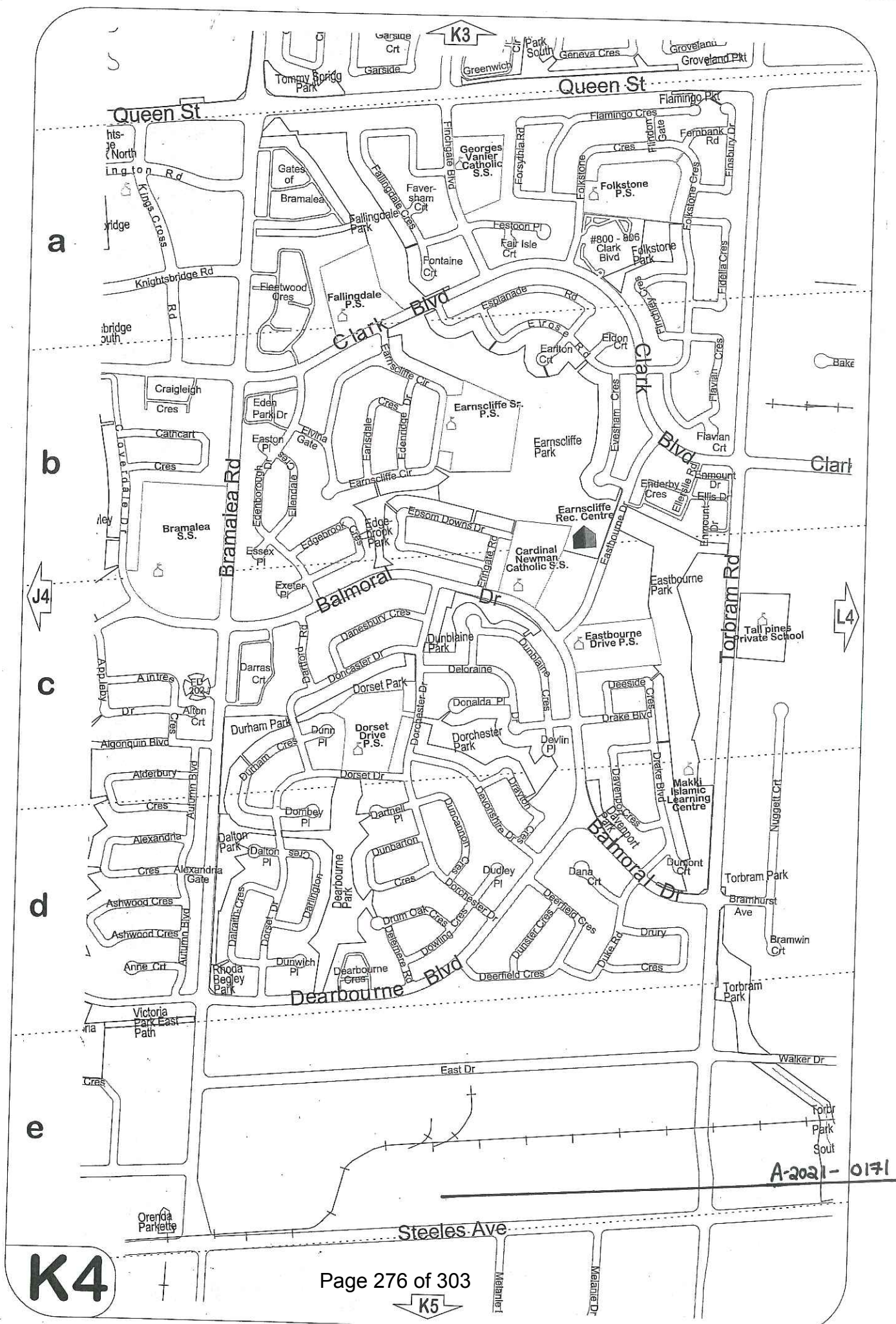
- Property Boundary
- Minor Variance
- Dumpster in Parking Spots (Not included in Parking Count)

Application to the Committee of Adjustment - Minor Variance
2074 Steeles Avenue East, Unit 26
Part Lot 1, Concession 5 , E.H.S.
City of Brampton

P.N.: 13.1923.00	February 21, 2013
File No. 1923_CoA_Jan_15_13	Scale: N.T.S



21 Queen Street East,
Suite 500
Brampton, Ontario,
Canada L6W 3P1
Phone (905) 796-5790
Fax (905) 796-5792



K4

K5

APPLICATION # A-2021-0172
WARD #6

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **KANEFF PROPERTIES LIMITED** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 14, Concession 4 W.H.S. municipally known as **1876 HALLSTONE ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variances associated with the proposed severed lot under consent application B-2021-0015:

1. To permit a 0.0 metre landscaped open space strip along the northerly property line whereas the by-law requires a minimum 3.0 metre wide landscaped open space strip.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision:	<u>NO</u>	File Number:	<u></u>
Application for Consent:	<u>YES</u>	File Number:	<u>B-2021-0015 and B-2021-0016</u>

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **5th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Notes: 1. As discussed with City staff, calculated net use spaces are net used up.
2. As discussed with City staff, a research lab is defined as manufacturing under the Industrial land use.

2021-07-09 12:58:01 PM

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The Personal Information collected on this form is collected pursuant to section 46 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Kaneff Properties Limited
Address 8501 Mississauga Road,
Brampton, ON L6Y 5G8
Phone # 905-454-0221 **Fax #** _____
Email ntersigni@kaneff.com

2. **Name of Agent** Kevin Freeman
Address 8501 Mississauga Road,
Brampton, ON L6Y 5G8
Phone # 416-578-2328 **Fax #** _____
Email kfreeman@kaneff.com

3. **Nature and extent of relief applied for (variances requested):**
To permit a 0.0m landscape strip along the northerly property line whereas a 3.0m landscape strip is required.

4. **Why is it not possible to comply with the provisions of the by-law?**
Due to site configuration we are not able to accommodate a 3 metre landscape strip along the proposed northerly property line.

5. **Legal Description of the subject land:**
Lot Number Part of Lot 14
Plan Number/Concession Number Concession 4, W.H.S
Municipal Address 1876 Hallstone Road

6. **Dimension of subject land (in metric units)**
Frontage 180 metres (approx.) along Financial Drive
Depth 200 metres (approx.)
Area 3.9 ha

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Vacant. Currently operates as a golf course.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Single storey, 7,204 square metre research and development lab building and a four storey, 11,017 square metre office building (City File: SPA-2021-0042).

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	N/A
Rear yard setback	N/A
Side yard setback	N/A
Side yard setback	N/A

PROPOSED

Front yard setback	>20 metres
Rear yard setback	13.02 metres
Side yard setback	56.57 metres
Side yard setback	48 metres

10. Date of Acquisition of subject land: 1991

11. Existing uses of subject property: Golf Course

12. Proposed uses of subject property: Office/Research and Development Lab

13. Existing uses of abutting properties: Golf Course

14. Date of construction of all buildings & structures on subject land: TBD

15. Length of time the existing uses of the subject property have been continued: TBD

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details: File # B-2021-0015 Status CONCURRENT

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # <u>A09-170</u>	Decision <u>Application Withdrawn</u>	Relief <u></u>
File # <u></u>	Decision <u></u>	Relief <u></u>
File # <u></u>	Decision <u></u>	Relief <u></u>

[Signature]

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 27 DAY OF July, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Kevin Freeman, OF THE Town OF Halton Hills

IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 27 DAY OF

July, 2021.

[Signature]

Signature of Applicant or Authorized Agent

Submit by Email

[Signature]
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

OC section 2911

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Rose Bruno

Zoning Officer

July 28, 2021

Date

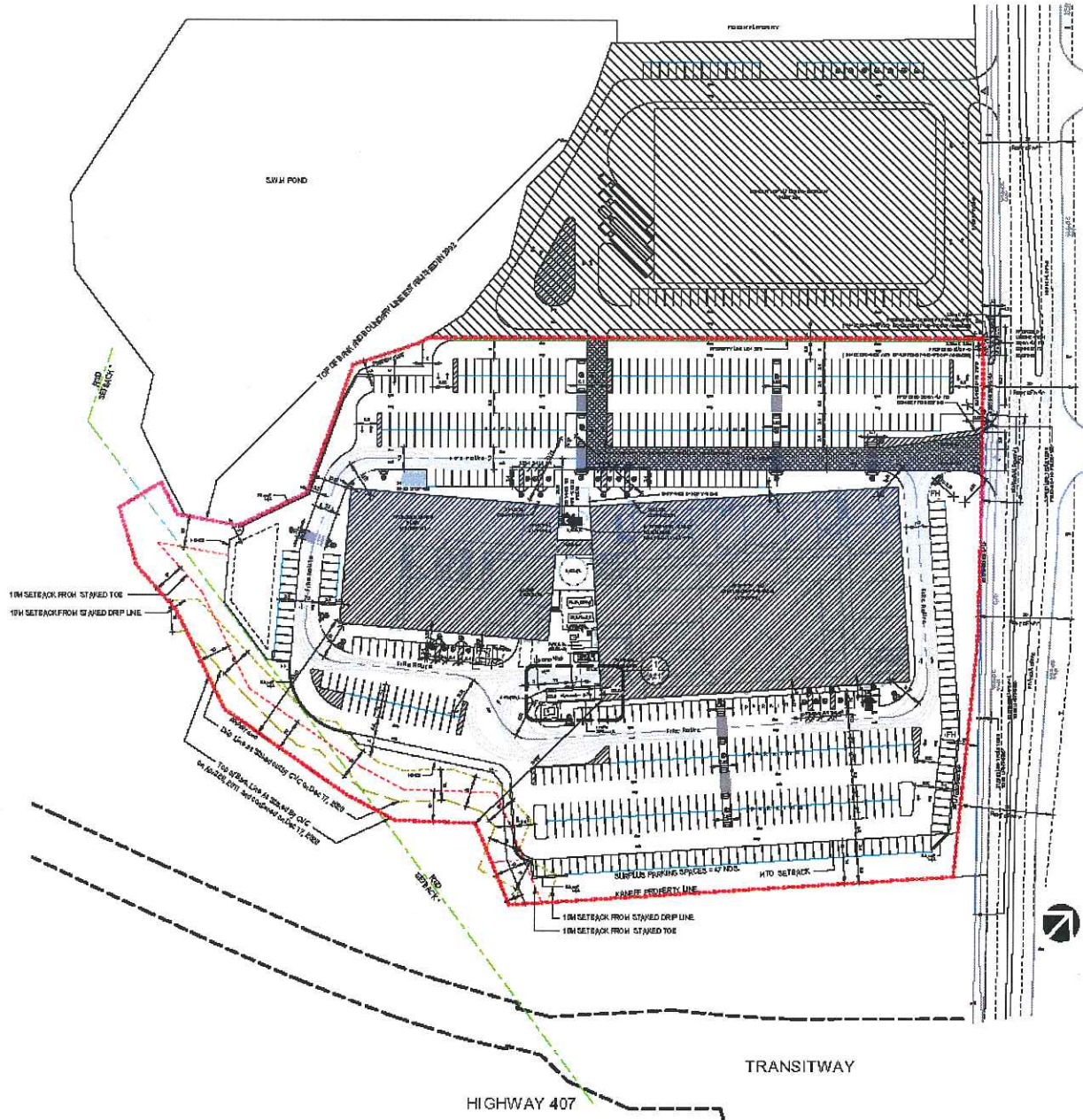
DATE RECEIVED

Date Application Deemed Complete by the Municipality

July 27, 2021
July 28, 2021

Revised 202001/07

2021.07.09 15:30:01 PM



1 SITE PLAN
SCALE: 1:750

Area Schedule (Lot Area)		
Name	Area (SQM)	Area (Ha)
PROJECT SITE	33047.18 m ²	3.90 hectares
FUTURE SITE	13548.21 m ²	1.36 hectares
Overall Site	52695.38 m ²	5.27 hectares

Lot Coverage Schedule		
Description	Area (SQM)	Area (SQ F)
LAB BUILDING	6204.07 m ²	66780.01 ft ²
OFFICE BUILDING	2928.04 m ²	31517.18 ft ²
LINK	58.89 m ²	630.67 ft ²
Grand total:3	9190.70 m ²	98927.87 ft ²

Area Schedule (Gross Building Floor Area)		
Level	Area (SQM)	Area (SQ F)
Lab Building		
L1 GROUND FLOOR	6114.08 m ²	65811.43 ft ²
L2 MEZZANINE	1090.53 m ²	11738.33 ft ²
	7204.61 m ²	77549.76 ft ²
Office		
2ND FLOOR	2704.15 m ²	29153.02 ft ²
3RD FLOOR	2704.15 m ²	29153.02 ft ²
4TH FLOOR	2704.15 m ²	29153.02 ft ²
GROUND FLOOR	2724.93 m ²	29330.95 ft ²
	11017.37 m ²	119590.01 ft ²
Grand total	18221.98 m ²	196139.77 ft ²

Area Schedule Link (Gross Building Floor Area)		
Level	Area (SQM)	Area (SQ F)
GROUND FLOOR	58.28 m ²	628.10 ft ²

Parking Schedule	
Description	Count
A. Proposed Parking	
Regular	538
Barrier-Free Type B	8
Barrier-Free Type A	7
	553
B. MTO Setback Parking	
Regular	47
	47
Grand total	600

NOTES:
* FINANCIAL DRIVE R.O.W., ROAD LINES AND STREET LIGHT POLES ARE SHOWN INDICATIVELY AS PER EXISTING CONDITIONS.

Proposed Use	By-law Use	Size (m ²)	Parking Rate	Required Spaces ¹	Provided Spaces	Surplus / Deficit
Office	Office - Other	11017.37	1 space per 50 m ²	220		
Research Lab ²	Industrial - Manufacturing, Cleaning, Packaging, Processing, Repairing, Assembling, or Printing	7204.61	83 spaces + 1 space per 50 m ² gross floor area or portion thereof that is over 5,000 m ²	103	600	
Site Total				423	600	+177

Notes:
1. As discussed with City staff, calculated real req. spaces are rounded up.
2. As discussed with City staff, a research lab is defined as manufacturing under the industrial use.



Project
PROJECT GLEN - NEW
OFFICE AND R&D LAB
BUILDING AT BRAMPTON

Prepared For
Kaneff Properties Limited



400 University Avenue Suite 2200
Toronto, ON, M5G 1S5
T: +1 (416) 203 9993

All representations and statements are made on the basis of information received from the client.

In Association with
City of Brampton & Area
Regional Planning
2015 Strategic Growth
Framework, W. 10, 1.1.1

400 University Avenue Suite 2200
Toronto, ON, M5G 1S5

The H2O Group
Residential & Commercial
400 University Avenue Suite 2200
Toronto, ON, M5G 1S5

Crider Consulting Engineers
Civil Engineering
400 University Avenue Suite 2200
Toronto, ON, M5G 1S5

Elzbieta T. Turek Inc.
Landscape
400 University Avenue Suite 2200
Toronto, ON, M5G 1S5

Key Plan

Professional Seal

NOT FOR
CONSTRUCTION

No.	Description	Date
1	FOR SPA	2021.07.09
2	FOR SPA SUBMITTAL	2021.07.09

Project No: SPA-2021-004

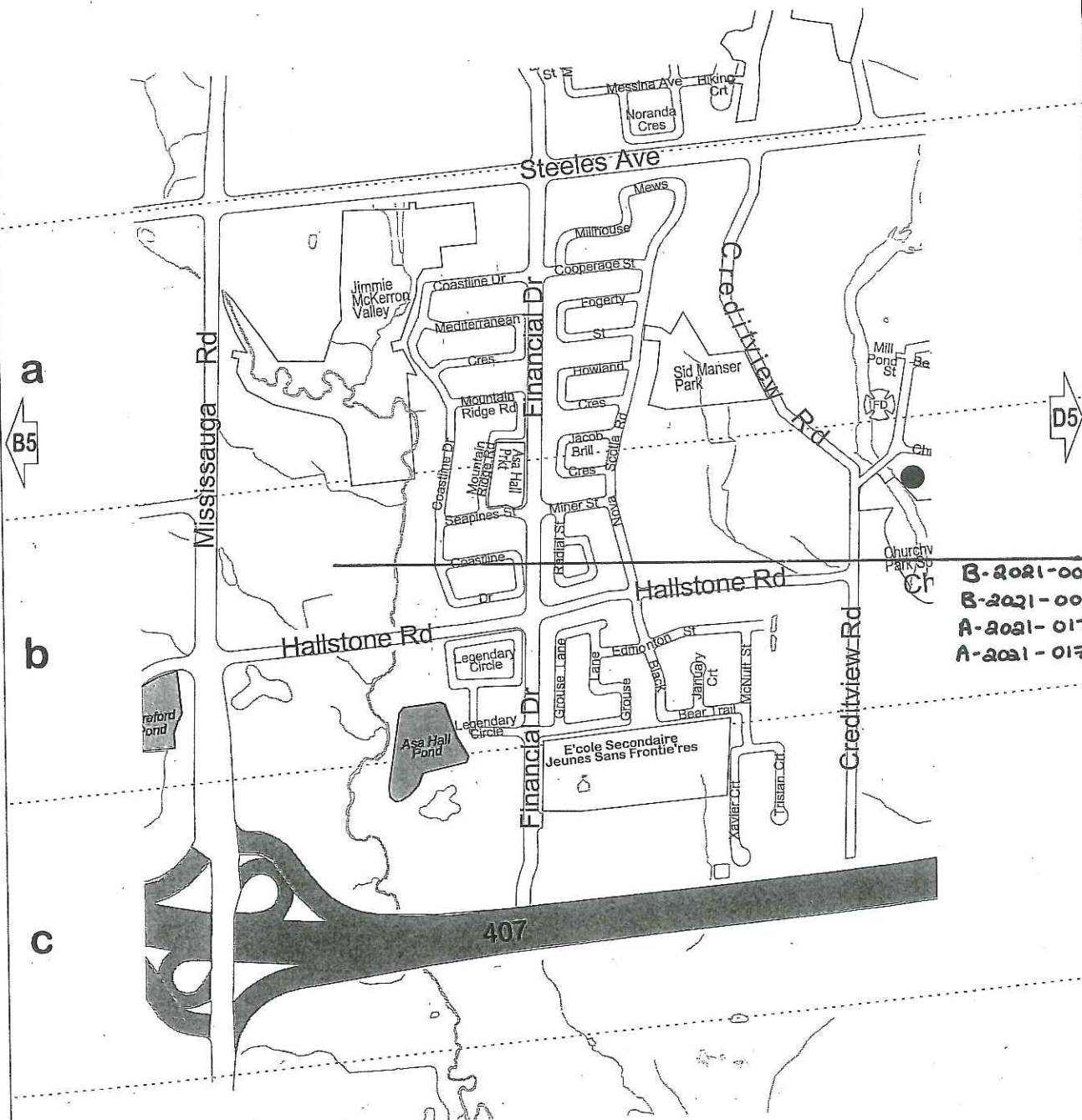
Sheet No:

SITE PLAN

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Sheet 1 of 1

A02



C5

APPLICATION # A-2021-0173
WARD #6

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **KANEFF PROPERTIES LIMITED** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 14, Concession 4 W.H.S. municipally known as **1876 HALLSTONE ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variances associated with the proposed severed lot under consent application B-2021-0016:

1. To permit a minimum lot area of 1.36 hectares whereas the by-law requires a minimum lot area of 2.0 hectares.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: YES File Number: B-2021-0015 and B-2021-0016

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **5th Day of August, 2021**.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committees are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, August 20, 2021.**
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, August 21, 2021.**
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Friday, August 21, 2021.** City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER: A-2021-0173

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Kaneff Properties Limited
Address 8501 Mississauga Road,
Brampton, ON L6Y 5G8

Phone # 905-454-0221 **Fax #** _____
Email ntersigni@kaneff.com

2. **Name of Agent** Kevin Freeman
Address 8501 Mississauga Road,
Brampton, ON L6Y 5G8

Phone # 416-578-2328 **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**
To permit a minimum lot area of 1.36 hectares whereas a minimum lot area of 2.0 hectares is required.

4. **Why is it not possible to comply with the provisions of the by-law?**
We are unable to accommodate the prescribed minimum lot area once the site is severed.

5. **Legal Description of the subject land:**
Lot Number Part of Lot 14
Plan Number/Concession Number Concession 4, W.H.S
Municipal Address 1876 Hallstone Road

6. **Dimension of subject land (in metric units)**
Frontage 90 metres (approx.) along Financial Drive
Depth 140 metres (approx.)
Area 1.36 ha

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Vacant. Currently operates as a golf course.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

A 5,900 square metre warehouse/office building (or other use permitted by the OC-2911 zone).

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	N/A
Rear yard setback	N/A
Side yard setback	N/A
Side yard setback	N/A

PROPOSED

Front yard setback	6 metres
Rear yard setback	33 metres
Side yard setback	21 metres
Side yard setback	17 metres

10. Date of Acquisition of subject land: 1991
11. Existing uses of subject property: Golf Course
12. Proposed uses of subject property: Office/Warehouse (or other use permitted as per OC-2911 zone)
13. Existing uses of abutting properties: Golf Course
14. Date of construction of all buildings & structures on subject land: TBD
15. Length of time the existing uses of the subject property have been continued: TBD
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details: File # TBD Status TBD

18. Has a pre-consultation application been filed?


Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # <u>A09-170</u>	Decision <u>Application Withdrawn</u>	Relief <u></u>
File # <u></u>	Decision <u></u>	Relief <u></u>
File # <u></u>	Decision <u></u>	Relief <u></u>


Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 27 DAY OF July, 2021.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Kevin Freeman, OF THE Town OF Halton Hills

IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 27 DAY OF

July, 2021.


A Commissioner etc.


Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

OC section 2911

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Rose Bruno

Zoning Officer

July 28, 2021

Date

DATE RECEIVED

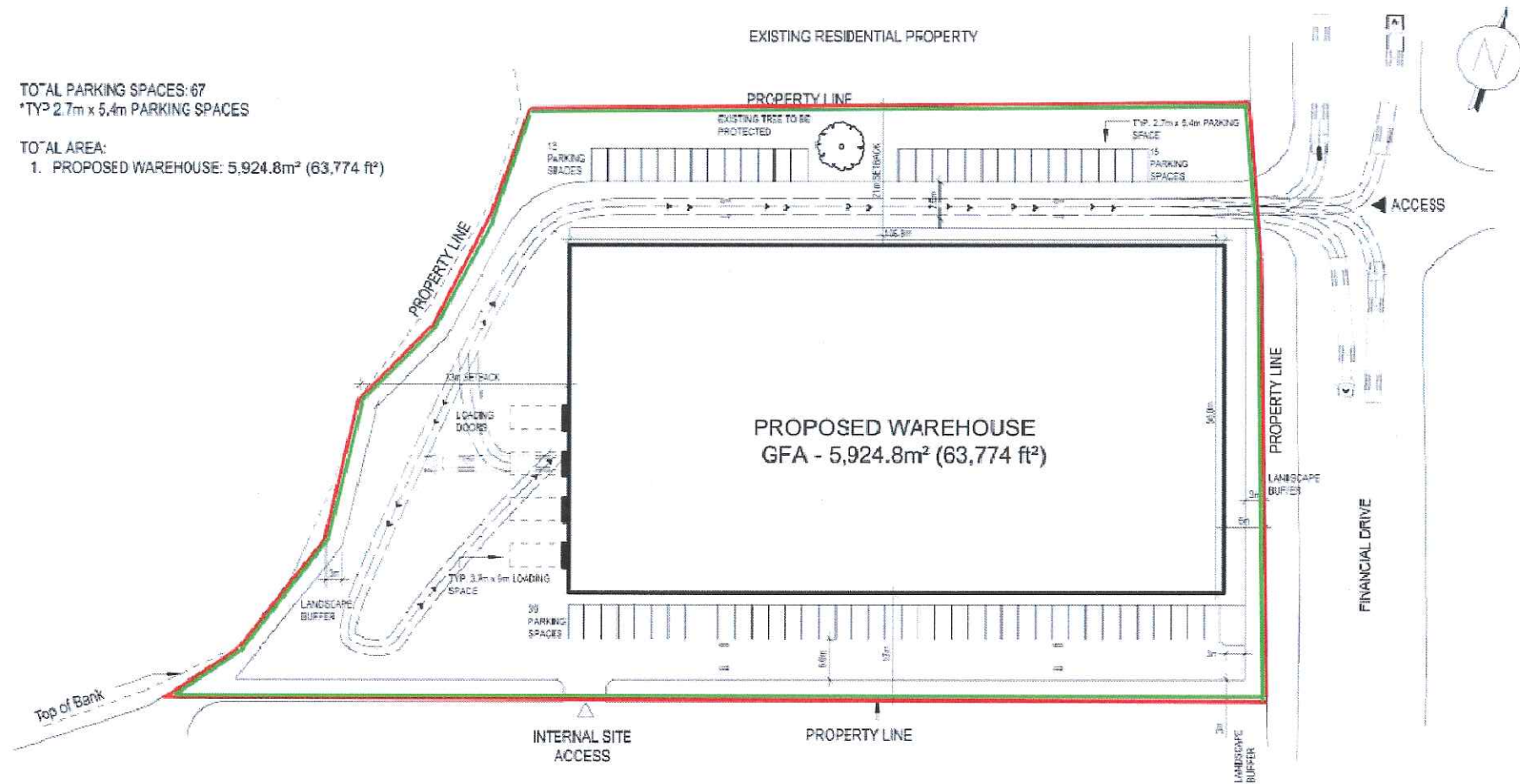
Date Application Deemed
Complete by the Municipality

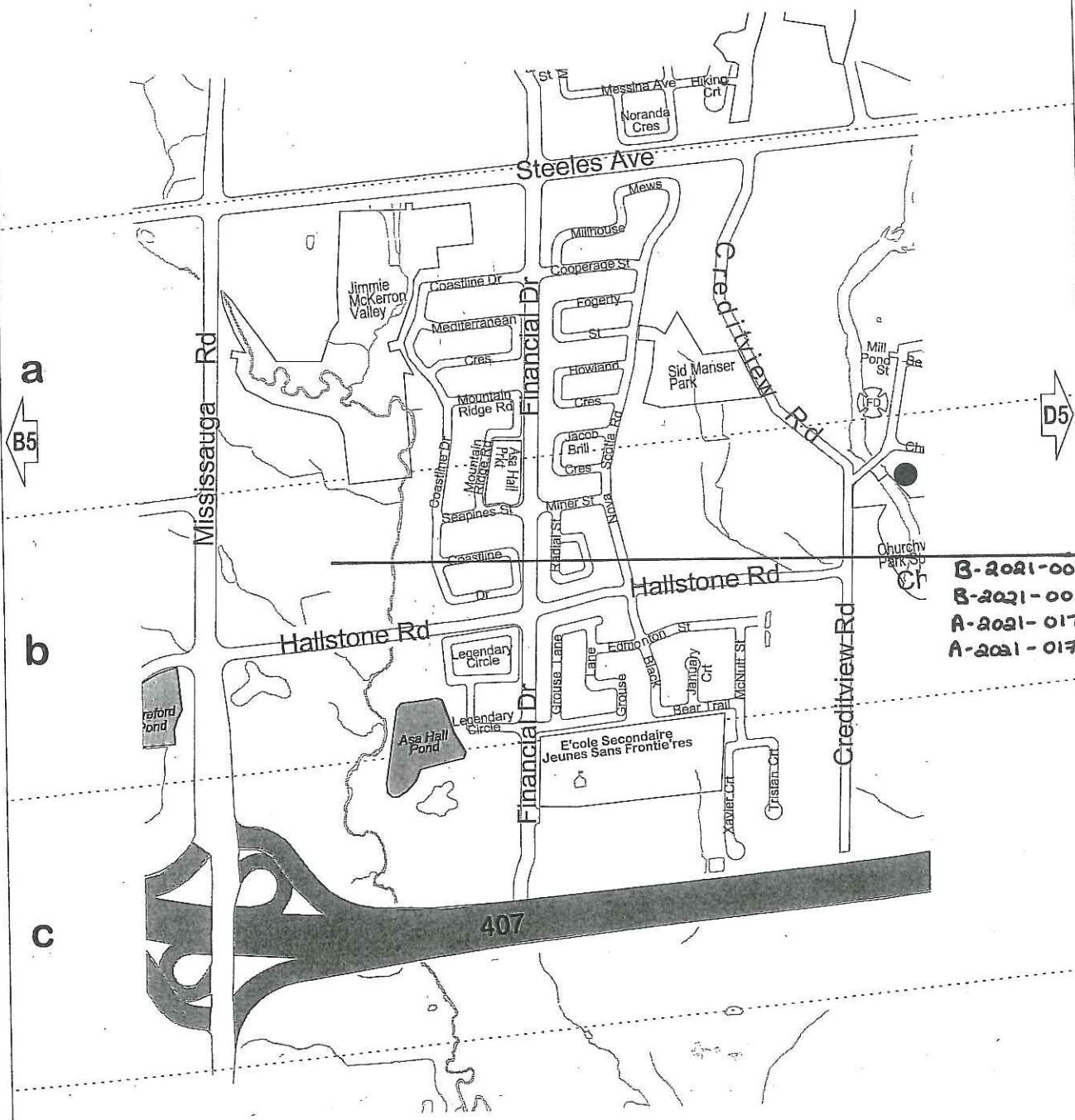
July 27, 2021
July 28, 2021

Rev'd 2020/01/07

TOTAL PARKING SPACES: 67
*TYP 2.7m x 5.4m PARKING SPACES

TOTAL AREA:
1. PROPOSED WAREHOUSE: 5,924.8m² (63,774 ft²)





B-2021-0015
B-2021-0016
A-2021-0172
A-2021-0173

C5

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **TAKOL CMCC RUTHERFORD GP INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lots 1 and 2, Concession 2 EHS. Parts 9 to 16. Plan 43R-795 municipally known as **286 RUTHERFORD ROAD SOUTH**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a rear yard setback of 3.0m (9.84 ft.) to a hydro transformer whereas the by-law requires a minimum rear yard setback of 7.0m (22.97 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO
Application for Consent: _____ NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, August 24, 2021 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

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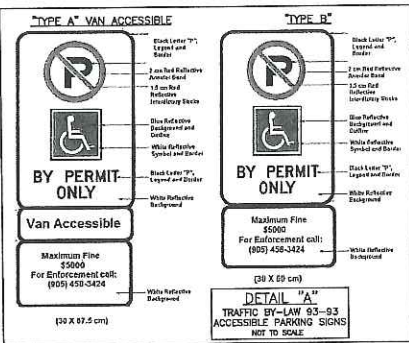
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this **12th Day of August, 2021.**

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
 Committee of Adjustment, City Clerk's Office,
 Brampton City Hall, 2 Wellington Street West,
 Brampton, Ontario L6Y 4R2
 Phone: (905)874-2117
 Fax: (905)874-2119
jeanie.myers@brampton.ca

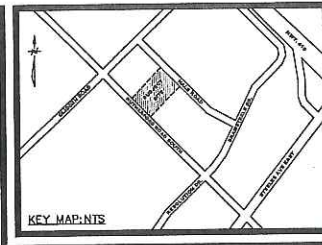
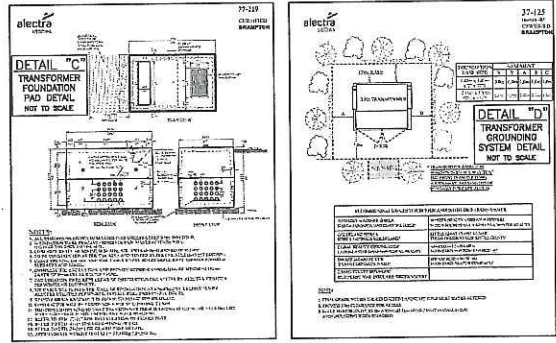


CONSTRUCTION NOTES:
PLEASE REFER TO THE SITE SERVING
AND GRADING PLAN PREPARED BY EXP.

GENERAL NOTE:

THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF MAINLINE PLANNING SERVICES INC. THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE PERMISSION OF MAINLINE PLANNING SERVICES INC. AND UNLESS SEALED AND SIGNED BY THE ARCHITECT/ENGINEER. REPRODUCTION OF THESE DRAWINGS WITHOUT THE CONSENT OF MAINLINE PLANNING SERVICES INC. IS STRICTLY PROHIBITED.

DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO: MAINLINE PLANNING SERVICES INC.



LAND USE SCHEDULE

TOTAL SITE AREA	=	22,960.5 sq.m. (100.0%)
TOTAL BUILDING ENVELOPE	=	11,891.8 sq.m. (51.8%)
TOTAL LANDSCAPED AREA	=	2,316.9 sq.m. (10.0%)
TOTAL ASPHALT AREA	=	8,751.8 sq.m. (38.2%)

TOTAL PROPOSED CONDO UNITS = 13

UNIT NUMBER	UNIT GEA
UNIT 1	553.7 sq.m.
UNIT 2	1,067.0 sq.m.
UNIT 3	1,066.0 sq.m.
UNIT 4	989.9 sq.m.
UNIT 5	1,004.6 sq.m.
UNIT 6	972.6 sq.m.
UNIT 7	992.4 sq.m.
UNIT 8	989.3 sq.m.
UNIT 9	988.0 sq.m.
UNIT 10	1,331.7 sq.m.
UNIT 11	1,103.7 sq.m.
UNIT 12	490.2 sq.m.
UNIT 13	400.4 sq.m.

COMMON AREAS

ELECTRICAL ROOMS	52.1 sq.m.
------------------	------------

BUILDING HEIGHT

- = ±5.0 m (ONE STOREY)

GARBAGE

- = STORED INDOORS

REQUIRED PARKING

- = 183 TOTAL AS PER MINOR VARIANCE A-2020-0159 (INC. 7 ACCESSIBLE SPACES)

PROVIDED PARKING

- = 186 TOTAL (INC. 7 ACCESSIBLE SPACES)

REQUIRED LOADING SPACE

- = 3

PROVIDED LOADING SPACE

- = 3

EXISTING ZONING

- = (M2) INDUSTRIAL TWO

PROPOSED ZONING

- = (M2) INDUSTRIAL TWO

EXISTING USE OF LAND

- = INDUSTRIAL

PROPOSED USE OF LAND

- = INDUSTRIAL

ADJACENT USE OF LAND

- = SEE PLAN

NOTE: NO PARKING SPACE SHALL BE ASSIGNED OR SOLD TO UNITS.

LEGAL DESCRIPTION

PLAN OF SURVEY OF
PART OF LOTS 1 AND 2, CONCESSION 2
EAST OF HURONTARIO STREET
(FORMERLY THE TOWNSHIP OF CHINGUACOUSY)
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

NOTE:
ALL SURVEY INFORMATION PROVIDED BY RODNEY GEYER, ONTARIO LAND SURVEYOR INC. 180 PARSONS ROAD, UNIT 29 ALLISTON, ONTARIO L9R 1W9

NO.	DATE	DESCRIPTION	BY
1	AUG-21	ISSUED FOR MUNICIPAL APPROVAL	J.L.O.
REVISIONS			

mainline
planning services inc.

PH (905) 893-0046 FAX (888) 370-9474
P.O. BOX 319, KLEINBURG, ONTARIO, L0J 1C0

DRAWING TITLE

MINOR VARIANCE APPLICATION

PROJECT

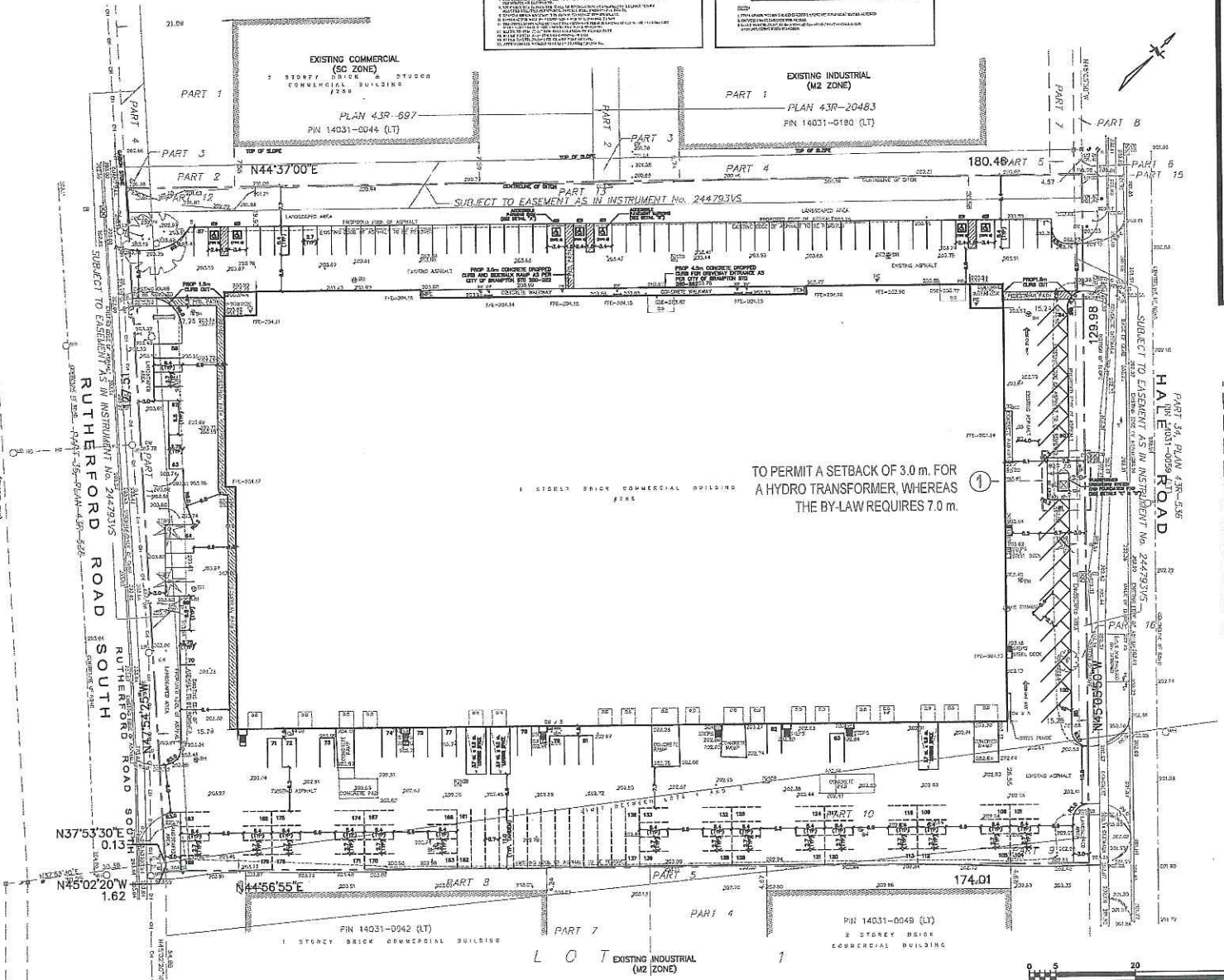
286 RUTHERFORD ROAD SOUTH
BRAMPTON

DEVELOPER/OWNER

TAKOL CMCC RUTHERFORD GP INC.

DRAWN	CHECKED	SCALE	DWG. NO.
K.A.R.	J.L.O.	1 = 400	MV1
DATE	ISSUED	CITY FILE NO.	
AUG-21	J.L.O.	SPA-2020-0150	

- LEGEND:**
- IB DENOTES IRON BAR
 - CP DENOTES CONCRETE PIN
 - APS DENOTES ACCESSIBLE PARKING SIGN (SEE DETAIL "A")
 - OW DENOTES PROPOSED ONE WAY SIGN
 - DNE DENOTES PROPOSED DO NOT ENTER/ONE WAY SIGN
 - 4PE DENOTES PRIMARY UNIT ENTRANCE
 - CC DENOTES CUT CROSS
 - O.D DENOTES OVERHEAD DOOR
 - UP DENOTES UTILITY POLE
 - S DENOTES SIGN
 - GW DENOTES GUY WIRE
 - BP DENOTES BELL PEDESTAL
 - MH DENOTES MANHOLE
 - GM DENOTES GAS METER
 - WV DENOTES WATER VALVE
 - CV DENOTES CULVERT
 - FH DENOTES FIRE HYDRANT
 - GV DENOTES GAS VALVE
 - TGBR DENOTES EXISTING TREE TO BE REMOVED (SEE LANDSCAPE PLAN)
 - BH DENOTES BORE HOLE / MONITORING WELL
 - BO DENOTES BOLLARD
 - FFE DENOTES FINISHED FLOOR ELEVATION
 - GSE DENOTES GARAGE SLAB ELEVATION
 - CB DENOTES CATCH BASIN
 - OH- DENOTES OVERHEAD UTILITY WIRES
 - X-X- DENOTES WIRE FENCE
 - * DENOTES CONIFEROUS TREE
 - DENOTES DECIDUOUS TREE
 - +116.4 DENOTES SPOT ELEVATION



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How to get involved in the Virtual Hearing**

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August 5, 2021

Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

Attention: Jeanie Myers, Secretary-Treasurer for the Committee of Adjustment

RE: Minor Variance Application. 286 Rutherford Road South.

Dear Ms. Myers,

Mainline Planning Services Inc. is retained by Takol CMCC Rutherford GP Inc. ('owner') to act as their agent for the above referenced matter. Kindly accept this letter containing our planning opinion which is offered in support of the above referenced minor variance application.

As required in the application checklist, the following plans and documents are submitted to support this variance.

- One (1) copy of this Planning Justification Report.
- One (1) copy of the Minor Variance Application.
- One (1) full-size copy of the Site Plan showing the requested variance, plus one (1) reduction suitable for photocopying.
- One (1) copy of the Owner's Authorization Letter.
- One (1) copy of the Permission to Enter.

Planning Justification Report

Background:

- The subject property is legally described as Part of Lots 1 and 2 Concession 2 E.H.S. and is known municipally as 286 Rutherford Road South ('property'). The subject property contains a one-storey building that is demised into 12 units.
- The owner recently submitted applications to create 12 standard condominium units so that tenants may own their respective units. To affect the creation of ownership tenure, the owner submitted a draft plan of condominium application as well as a supporting site plan approval application.
- The site plan application (SPA-2020-0120) was approved, and Site Plan Agreement has been registered.
- After the approval of the site plan application, Alectra Utilities confirmed the requirement and location of a new Hydro Transformer to service the site. A Limited Site Plan Application was submitted to address the addition of the Hydro Transformer. Through the review process, staff advised that the location of the proposed transformer has an insufficient setback according to the By-law. A variance is required to bring the property into compliance with the By-law.

The Requested Variances:

1. To permit a Hydro Transformer to be setback 3.0m from the property line whereas the by-law requires a Hydro Transformer to comply with the building setback of the applicable zone of 7.0m.

The Planning Act.

Section 45(1) of the *Planning Act* ("Act") allows the Committee of Adjustment to authorize variances to a

zoning by-law where the variance is minor; is desirable for the appropriate development or use of land, building or structure; maintains the general intent and purpose of the Official Plan; and maintains the general intent and purpose of the zoning by-law. The Committee must be satisfied that all four tests are met to authorize the requested variance.

The Four Tests:

1) The Variance is Minor

- ✓ Utility Installations are permitted on the property with a 3.0m setback (subject to size restrictions).
- ✓ Accessory Buildings are permitted on the property with a 3.0m setback and a gross floor area of up to 100 sq.m.
- ✓ Accessory Buildings are defined to be, "...a detached building located on the same lot and used for a purpose which is incidental, subordinate and exclusively devoted to the principal use of the lot and the buildings on it..."

Planning Opinion

It is our considered and professional planning opinion that the requested variance is minor in nature as the Hydro Transformer would otherwise be permitted on the property at the requested 3.0m setback if it were smaller in size pursuant to section 6.10 of the By-law.

It is our further opinion that the Hydro Transformer can be considered as an accessory building as defined in the By-law, for which all the setback and size requirements are met. The subject property was developed over 45 years ago and there is limited space for site reconfiguration without adversely impacting functionality.

The variance requested is minor as the proposed location of the Hydro Transformer maintains the existing functionality of the site and will not cause any unacceptable adverse impact on neighbouring properties.

2) The Proposal is Desirable for the Appropriate Development of Land, Building and Structure

It is our considered and professional planning opinion that:

- ✓ The proposed variances are **desirable to the owner** as the property must be brought into compliance with the By-law to approve the Limited Site Plan and as a condition of standard condominium approval.
- ✓ The proposed variance is **desirable to the owner and the City of Brampton** as the Hydro Transformer is required to upgrade existing services, providing additional opportunities for businesses to permanently establish themselves at this location.
- ✓ The proposed variance is **desirable to Alectra Utilities** as they requested the transformer be installed at the proposed location for optimal access to their equipment.
- ✓ The proposed variance is **desirable to the surrounding industrial community and all Bramptonians** as thriving employment areas attract customers into the area; create new jobs; and enhance the City's tax base which means money to support community services that benefit the City at-large.
- ✓ The proposed variance is **desirable to the adjacent properties** as it will be appropriately screened in accordance with Alectra Utility Guidelines.

3) The Proposal maintains the General Intent and Purpose of the Official Plan

We have reviewed the City's Official Plan ('OP') and offer our comment as follows.

- ✓ This property is designated 'Industrial' in the OP.
- ✓ In conformity with OP Policy 4.8.4.1... "Above ground installations shall be visually screened by the use of....streetscape elements..." Accordingly, the Hydro Transformer will be appropriately

screened in accordance with Alectra Utility Guidelines and the City's Open Space Department Approval.

- ✓ In conformity with OP Policies 4.8.4.3 and 4.8.4.4, as a utility which cannot be located in the right-of-way, the proposal seeks to, "...have minimal detrimental effect on the use of land and enjoyment of property."

Planning Opinion

It is our considered and professional planning opinion that the proposal maintains the general intent and purpose of the Official Plan and ensures the continued functionality of the site.

4) The Proposal maintains the General Intent and Purpose of the Zoning Bylaw

- ✓ The subject property is zoned M2 (Industrial Two Zone).
- ✓ Utility Uses are permitted within 3.0m from the property line (subject to size restrictions) pursuant to Section 6.10 of the By-law.
- ✓ Accessory Buildings are permitted in Industrial Zones pursuant to Section 30.3 of the By-law.
- ✓ Accessory Buildings are defined to be, "...a detached building located on the same lot and used for a purpose which is incidental, subordinate and exclusively devoted to the principal use of the lot and the buildings on it..."

Planning Opinion

It is our considered and professional planning opinion that as the requested variance conforms to the criteria of an accessory building which is permitted by the By-law to be located 3.0m from the right-of-way, the proposal maintains the general intent and purpose of the zoning By-law.

Conclusions:

It is our considered and professional planning opinion that the 4 tests noted in Section 45(1) of the *Planning Act* are met, the Committee's decision to authorize this variance is consistent with the Provincial Policy Statement and will not conflict with provincial plans such as the Growth Plan.

As such, we respectfully request that the proposed Hydro Transformer be permitted with a setback of 3.0m from the property line.

We trust that our Planning opinion is supported by the staff and results in a recommendation for Committee approval. If you require anything further, please do not hesitate to contact the undersigned at 905-893-0046.

Respectfully submitted,

mainline planning services inc.



Jennifer Ormiston, RPP, MCIP

cc: client

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Takol CMCC Rutherford GP Inc. c/o Daniel Kolber

Address 2300 Yonge Street, Suite 712, P.O. Box 2310, Toronto, Ontario M4P 1E4

Phone # See Agent Fax #

Email daniel@takolrealestate.com

2. Name of Agent Jennifer Ormiston

Address P.O. Box 319, Kleinburg, Ontario L0J 1C0

Phone # (905) 893 - 0046 Fax # 888-370-9474

Email jormiston@mainlineplanning.com

3. Nature and extent of relief applied for (variances requested):

To permit the location of a hydro transformer 3m from the property line whereas the by-law requires 7m.

4. Why is it not possible to comply with the provisions of the by-law?

The subject property was developed circa 1974. The lot configuration including all accesses and drive aisles cannot be reconfigured. There is limited space for accommodating a Hydro Transformer on site, and the proposed location requires the removal of 2 parking spaces, and a reduced setback from the property line to ensure that the functionality of the existing site is maintained. A 7.0m setback would locate the transformer in the middle of the drive aisle.

Please refer to the Planning Justification Report for additional details.

5. Legal Description of the subject land:

Lot Number Part of Lots 1 and 2

Plan Number/Concession Number Registered Plan 43R795 (Parts 9 to 16) Concession 2 EHS

Municipal Address 286 Rutherford Road South, Brampton, Ontario

6. Dimension of subject land (in metric units)

Frontage 129.13

Depth 174.14 (irregular)

Area 2.29605 ha

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Current Parking Spaces: 186

Gross Floor Area/ Ground Floor Area: 11,867.6 square metres

Number of storeys: 1 Storey (+/- 6.0 metres)

Number of Units: 12

Building Coverage: 51.7%

Floor Space Index: 0.517

PROPOSED BUILDINGS/STRUCTURES on the subject land:

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 15.26 Metres

Rear yard setback 15.24 Metres

Side yard setback 19.93 Metres

Side yard setback 26.39 Metres

PROPOSED

Front yard setback

Rear yard setback

Side yard setback

Side yard setback

10. Date of Acquisition of subject land: January 2020
11. Existing uses of subject property: Employment - Warehouse and Motor Vehicle Repair
12. Proposed uses of subject property: As existing
Employment, including: Construction Company, Appliance Store, HVAC Contractor, Machine Shop, Truck Repair and
13. Existing uses of abutting properties: Maintenance
14. Date of construction of all buildings & structures on subject land: Circa 1974
15. Length of time the existing uses of the subject property have been continued: Approximately 50 years

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details: File # DPC-2020-0004 Status Under Review

18. Has a pre-consultation application been filed?

Yes ☒ No ☐ File # PRE-2019-0058

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # <u>A15-166</u>	Decision <u>No Action Taken</u>	Relief <u>Parking Reduction</u>
File # <u>A-2020-0159</u>	Decision <u>Approved</u>	Relief <u>Parking Reduction</u>
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 5th DAY OF August, 20 21.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Jennifer Ormiston, OF THE City OF Pickering
IN THE Region OF Durham SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF _____
Prel THIS 5th DAY OF
August, 20 21.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J. Myers
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: M2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]
Zoning Officer

August 5, 2021
Date

DATE RECEIVED August 5, 2021

Revised 2021/01/16

"TYPE A" VAN ACCESSIBLE

Black Letter "V", Legend and Sign

2 m Red Reflective Arrowhead

1.5 m Red Reflective Rectangular Sign

Blue Reflective Background and Arrows

White Reflective Symbol and Border

Black Letter "V", Legend and Sign

Blue Reflective Background

White Reflective Symbol and Border

BY PERMIT ONLY

Van Accessible

Maximum Fine \$5000 For Enforcement call: (905) 458-3424

(30 X 67.5 cm)

"TYPE B"

Black Letter "P", Legend and Sign

2 m Red Reflective Arrowhead

1.5 m Red Reflective Rectangular Sign

Blue Reflective Background and Arrows

White Reflective Symbol and Border

Black Letter "P", Legend and Sign

Blue Reflective Background

White Reflective Symbol and Border

BY PERMIT ONLY

Maximum Fine \$5000 For Enforcement call: (905) 458-3424

(30 X 67.5 cm)

DETAIL "A"

TRAFFIC BY-LAW 93-93 ACCESSIBLE PARKING SIGNS NOT TO SCALE

DETAIL "B"

TRAFFIC BY-LAW 93-93 ACCESSIBLE PAVEMENT MARKING NOT TO SCALE

CONSTRUCTION NOTES:
PLEASE REFER TO THE SITE SERVING AND GRADING PLAN PREPARED BY EXP.

GENERAL NOTE:

THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF MAINLINE PLANNING SERVICES INC. THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE PERMISSION OF MAINLINE PLANNING SERVICES INC. AND UNLESS SEALED AND SIGNED BY THE ARCHITECT/ENGINEER. REPRODUCTION OF THESE DRAWINGS WITHOUT THE CONSENT OF MAINLINE PLANNING SERVICES INC. IS STRICTLY PROHIBITED.

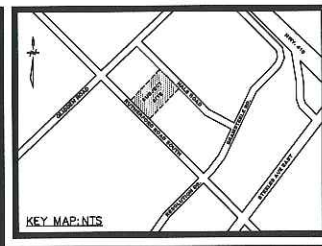
DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO: MAINLINE PLANNING SERVICES INC.

DETAIL "C"

TRANSFORMER FOUNDATION PAD DETAIL NOT TO SCALE

DETAIL "D"

TRANSFORMER GROUNDING SYSTEM DETAIL NOT TO SCALE



LAND USE SCHEDULE

TOTAL SITE AREA = 22,960.5 sq.m. (100.0%)
TOTAL BUILDING ENVELOPE = 11,891.8 sq.m. (51.8%)
TOTAL LANDSCAPED AREA = 2,316.9 sq.m. (10.0%)
TOTAL ASPHALT AREA = 8,751.8 sq.m. (38.2%)

TOTAL PROPOSED CONDO UNITS = 13

UNIT NUMBER	UNIT GEA
UNIT 1	553.7 sq.m.
UNIT 2	1,007.0 sq.m.
UNIT 3	1,005.8 sq.m.
UNIT 4	998.9 sq.m.
UNIT 5	1,004.6 sq.m.
UNIT 6	972.6 sq.m.
UNIT 7	992.4 sq.m.
UNIT 8	989.3 sq.m.
UNIT 9	988.6 sq.m.
UNIT 10	1,331.7 sq.m.
UNIT 11	1,103.7 sq.m.
UNIT 12	490.2 sq.m.
UNIT 13	400.4 sq.m.

COMMON AREAS

ELECTRICAL ROOMS 52.1 sq.m.

BUILDING HEIGHT = ±6.0 m (ONE STOREY)

GARAGE = STORED INDOORS

REQUIRED PARKING = 183 TOTAL AS PER MINOR VARIANCE A-2020-0159 (INC. 7 ACCESSIBLE SPACES)

PROVIDED PARKING = 186 TOTAL (INC. 7 ACCESSIBLE SPACES)

REQUIRED LOADING SPACE = 3

PROVIDED LOADING SPACE = 3

EXISTING ZONING = (M2) INDUSTRIAL TWO

PROPOSED ZONING = (M2) INDUSTRIAL TWO

EXISTING USE OF LAND = INDUSTRIAL

PROPOSED USE OF LAND = INDUSTRIAL

ADJACENT USE OF LAND = SEE PLAN

NOTE: NO PARKING SPACE SHALL BE ASSIGNED OR SOLD TO UNITS.

LEGAL DESCRIPTION

PART OF SURVEY OF
PART OF LOTS 1 AND 2, CONCESSION 2
EAST OF HURONTARIO STREET
(FORMERLY THE TOWNSHIP OF CHINGUACOUS)
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEELE

NOTE:
ALL SURVEY INFORMATION PROVIDED BY RODNEY GEYER ONTARIO LAND SURVEYOR INC. 180 PARSONS ROAD, UNIT 28 ALLISTON, ONTARIO L0R1E5

NO.	DATE	DESCRIPTION	BY
1	AUG-21	ISSUED FOR MUNICIPAL APPROVAL	J.L.O.
REVISIONS			

mainline
planning services inc.

PH (905) 893-0046 FAX (888) 370-9474
P.O. BOX 319, KLEINBURG, ONTARIO, L0J 1C0

DRAWING TITLE

MINOR VARIANCE APPLICATION

PROJECT

286 RUTHERFORD ROAD SOUTH
BRAMPTON

DEVELOPER/OWNER

TAKOL CMCC RUTHERFORD GP INC.

DRAWN	CHECKED	SCALE	DWG. NO.
K.A.R.	J.L.O.	1 = 400	MV1

DATE	ISSUED	CITY FILE NO.	SPR-2020-0120
AUG-21	J.L.O.		

- LEGEND:**
- IB DENOTES IRON BAR
 - CP DENOTES CONCRETE PIN
 - APS DENOTES ACCESSIBLE PARKING SIGN (SEE DETAIL "A")
 - OW DENOTES PROPOSED ONE WAY SIGN
 - DNE DENOTES PROPOSED DO NOT ENTER/ONE WAY SIGN
 - PE DENOTES PRIMARY UNIT ENTRANCE
 - CC DENOTES CUT CROSS
 - Q.D DENOTES OVERHEAD DOOR
 - UP DENOTES UTILITY POLE
 - S DENOTES SIGN
 - GW DENOTES GUY WIRE
 - BP DENOTES BELL PEDESTAL
 - MH DENOTES MANHOLE
 - GM DENOTES GAS METER
 - WV DENOTES WATER VALVE
 - CV DENOTES CULVERT
 - FT DENOTES FIRE HYDRANT
 - GV DENOTES GAS VALVE
 - TTR DENOTES EXISTING TREE TO BE REMOVED (SEE LANDSCAPE PLAN)
 - BH DENOTES BORE HOLE / MONITORING WELL
 - BO DENOTES BOLLARD
 - FPE DENOTES FINISHED FLOOR ELEVATION
 - GSE DENOTES GARAGE SLAB ELEVATION
 - CB DENOTES CATCH BASIN
 - OH DENOTES OVERHEAD UTILITY WIRES
 - X-X- DENOTES WIRE FENCE
 - ★ DENOTES CONIFEROUS TREE
 - DENOTES DECIDUOUS TREE
 - DENOTES SPOT ELEVATION

