

Notice of Decision

Committee of Adjustment

APPLICATION NO. B-2021-0015
Ward # 6

AN APPLICATION HAS BEEN MADE BY **KAN EFF PROEPRTIES LIMITED**

The applicant(s) request(s) consent to a conveyance of Part of Lot 14, Concession 4 W.H.S, City of Brampton, Regional Municipality of Peel. The severed land (Parcel A) has a frontage of approximately 270 metres (885.92 feet), a depth of approximately 200 metres (656.17 feet) and an area of approximately 3.90 hectares (9.64 acres). The land is located at 1876 Hallstone Road. The land is designated 'Office' & 'Open Space' in the Official Plan and 'Valleyland' & 'Office Centre' in the Bram West Secondary Plan (Area 40c)". The lands are zoned 'Office Commercial (OC-2911)' & 'Floodplain (F)'. It is proposed that the "severed" land be developed with an Office/Research and Development Lab.

THE REQUEST IS HEREBY _____ **APPROVED** _____, THIS DECISION:

IF **APPROVED**: IS SUBJECT TO THE CONDITIONS AND FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

IF **REFUSED**: IS FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

MOVED BY D. Doerfler SECONDED BY: D. Colp

DATED THIS 24th day of AUGUST, 2021

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

CERTIFICATION

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER, COMMITTEE OF ADJUSTMENT

Additional information regarding the application for consent will be available to the public for inspection between 8:30 a.m. and 4:30 p.m. Monday to Friday at the Brampton City Hall, Committee of Adjustment Office, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, Telephone No. (905) 874-2117 and Fax No. (905) 874-2119.

You will be entitled to receive notice of any changes to the conditions of the provisional consent if you have either made a written request to be notified of the decision to give or refuse to give provisional consent or make a written request to be notified of changes to the conditions of the provisional consent.

Only individuals, corporations and public bodies may appeal decisions or any condition in respect of applications for consent to the Local Planning Appeal Tribunal. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group.

An appeal form is available on the Environment and Land Tribunals Ontario website at <http://elto.gov.on.ca/> or at the office of the Secretary-Treasurer. The notice of appeal accompanied by the fee prescribed under the Local Planning Appeal Tribunal Act shall be filed with the Secretary-Treasurer of the Committee of Adjustment. The prescribed fee is \$400 per person/ per appeal. Please visit <http://elto.gov.on.ca/tribunals/lpat/lpat-process/fee-chart/> for information on related appeals. Cheques are to be made payable to the Minister of Finance. **TURN TO PAGE TWO (2) FOR THE Local Planning Appeal Tribunal APPEAL DATE.**

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment: NO
Zoning By-law Amendment: NO
Minor Variance: YES

File Number:
File Number:
File Number: A-2021-0172

PLANNING ACT – PROVISIONAL CONSENT

AN APPLICATION HAS BEEN MADE BY **KANEFF PROPERTIES LIMITED**

THIS DECISION IS SUBJECT TO THE FOLLOWING CONDITIONS: (AS AGREED TO BY THE APPLICANT(S)/AGENT(S) AT THE MEETING).

1. The Secretary-Treasurer shall have been satisfied that the following conditions have been fulfilled within one year of the mailing date noted below and the Secretary-Treasurer's Certificate under the Planning Act shall be given:
 - a. A Secretary-Treasurer's certificate fee shall be paid, in the amount current at the time of the issuance of the Secretary-Treasurer's Certificate;
 - b. Approval of the draft reference plan(s), as applicable, shall be obtained at the Committee of Adjustment office, and; the required number of prints of the resultant deposited reference plan(s) shall be received;
2. That Kaneff Properties Limited acknowledges in writing to the City that they will be gratuitously conveying to the municipality the natural heritage system lands from the top of bank to the outer edge of the environmental buffer at the discretion of the Director of Development Services as part of the Site Plan Approval process for City File SPA-2021-0042;
3. There is Regional water infrastructure on the subject property that may not be protected by a Region of Peel Easement. The Region will require an easement over this portion of infrastructure. Arrangements satisfactory to the Region of Peel, Public Works shall be made with respect to the location of the possible required easement.

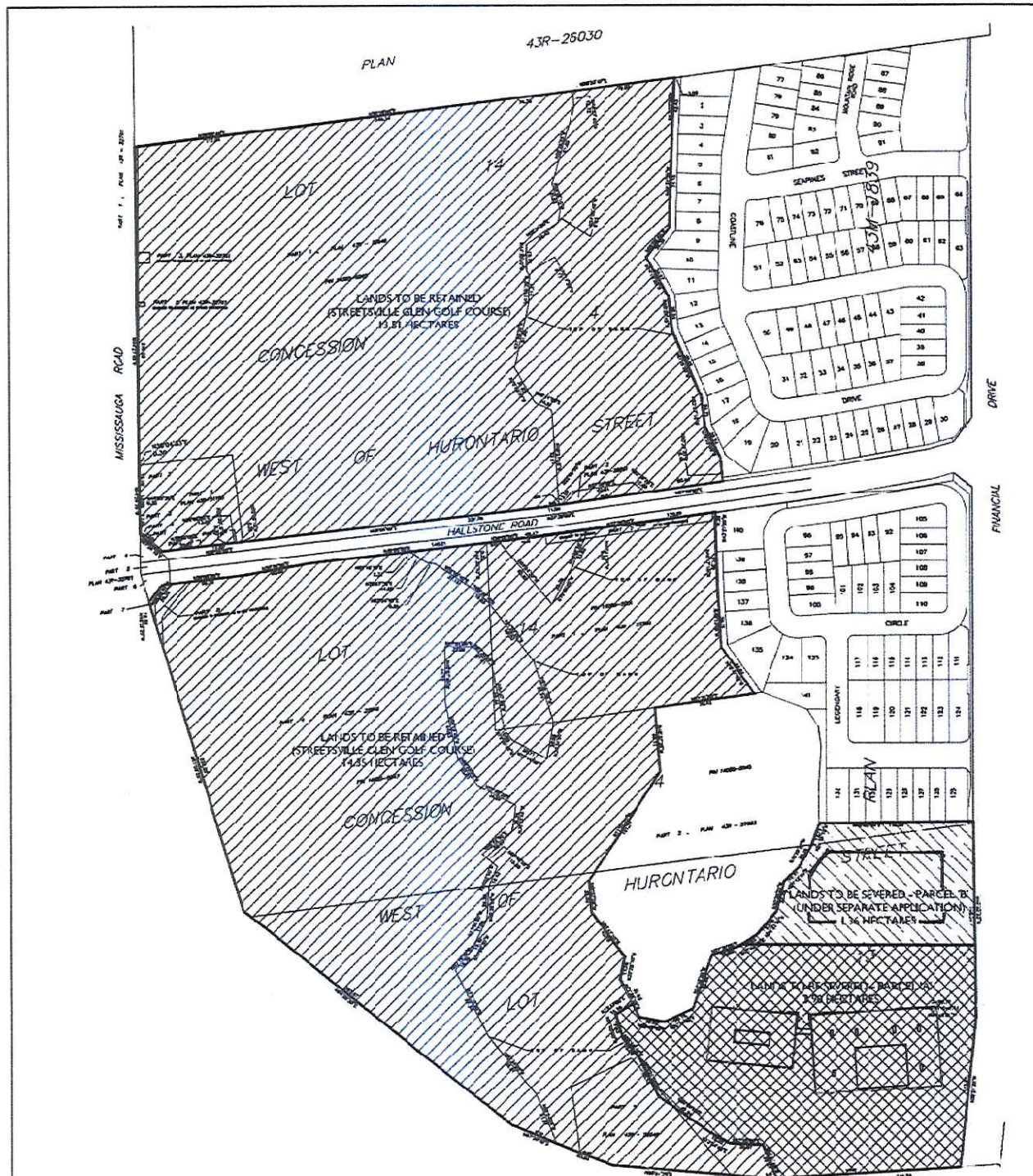
REASONS:

1. This decision reflects that regard has been had to those matters to be regarded under the Planning Act, in as much as the dimensions and shape of the lot are adequate for the uses proposed.
2. Subject to the imposed conditions, the consent to the conveyance will not adversely affect the existing or proposed development.




Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

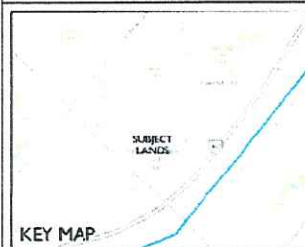
LAST DATE FOR FILING AN APPEAL TO THE LOCAL PLANNING APPEAL TRIBUNAL
SEPTEMBER 13, 2021

DATE OF MAILING AUGUST 24, 2021



CONSENT STATISTICS

-  LANDS TO BE RETAINED (STREETSVILLE GLEN GOLF COURSE); 27.86 HECTARES
-  LANDS TO BE SEVERED - PARCEL 'A'; 3.90 HECTARES
-  LANDS TO BE SEVERED - PARCEL 'B' (UNDER SEPARATE APPLICATION); 1.36 HECTARES



**CONSENT SKETCH - PARCEL 'A' AND PARCEL 'B'
KANEFF PROPERTIES LIMITED**

1876 HALLSTONE ROAD
PART OF LOT 14, CONCESSION 4, W.H.S.
WARD 6
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL



SCALE - 1:3000
JULY 22, 2021



FILE NUMBER A-2021-0172

HEARING DATE AUGUST 24, 2021

APPLICATION MADE BY KANEFF PROPERTIES LIMITED

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; **ZONING BY-LAW 270-2004** AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S) ASSOCIATED WITH THE PROPOSED SEVERED LOT UNDER CONSENT APPLICATION B-2021-0015:

1. To permit a 0.0 metre landscaped open space strip long the northerly property line;

(1876 HALLSTONE ROAD, PART OF LOT 14, CONCESSION 4 W.H.S.)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 24TH DAY OF AUGUST, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 13, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

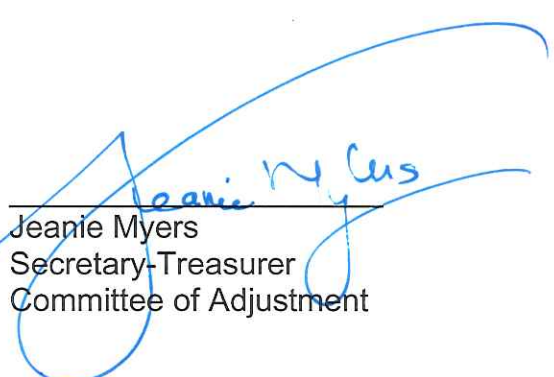
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0172**

DATED: **August 3, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the owner finalize site plan approval under City File SPA-2021-0042, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services; and,
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

Project
PROJECT GLEN - NEW
OFFICE AND R&D LAB
BUILDING AT BRAMPTON

Prepared For
Kaneff Properties Limited



400 University Avenue Suite 2200
Toronto, ON, M5G 1S5
T: (416) 203 9993

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In Accordance with
City of Brampton, Ontario
Regulation 61
Final Design Drawings
File No. 2014-01-013

Road Jones Construction Ltd.
400 University Avenue
4th Floor, Brampton, Ontario
N6L 6K1, Ont. Can.

The HIDI Group
1000 Dundas Street West
5th Floor, Toronto, Ontario
M6J 1G5, Ont. Can.

City of Brampton
400 University Avenue
4th Floor, Brampton, Ontario
N6L 6K1, Ont. Can.

Black & Veatch Inc.
1000 Dundas Street West
5th Floor, Toronto, Ontario
M6J 1G5, Ont. Can.

Project No. 2014-01-013
Drawing No. A001-001

Prepared Date:

**NOT FOR
CONSTRUCTION**

No.	Description	Date
1	FOR PREPARED	2014/02/27
2	FOR PREPARED	2014/02/27

Project No. 2014-01-013

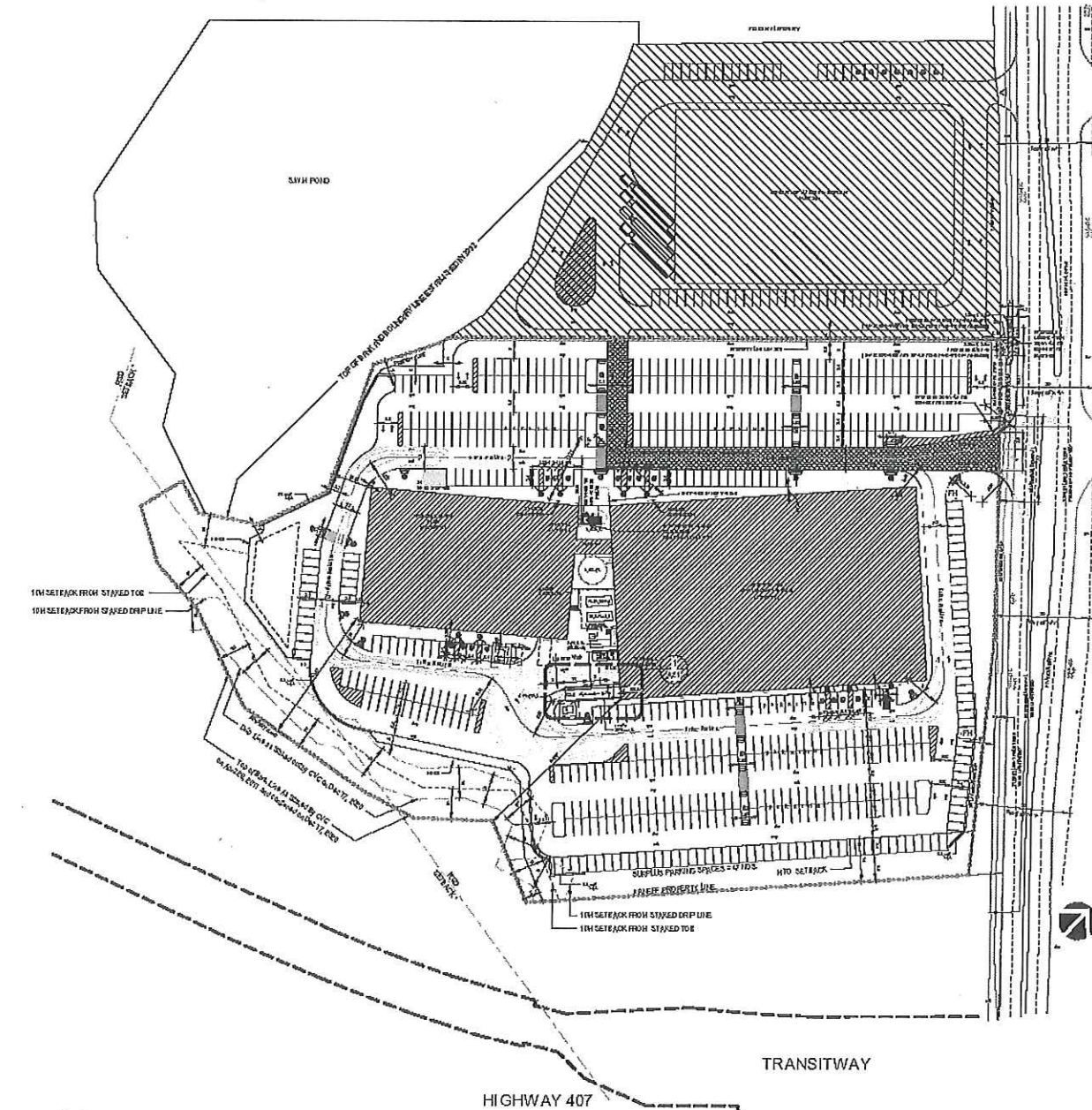
Sheet No.

SITE PLAN

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Sheet No.

A02



Area Schedule (Lot Area)		
Name	Area (SQM)	Area (Ha)
PROJECT SITE	30047.16 m ²	3.00 hectare
FUTURE SITE	13048.21 m ²	1.30 hectare
Overall Site	52895.33 m ²	5.27 hectare

Lot Coverage Schedule		
Description	Area (SQM)	Area (SQF)
LAB BUILDING	6204.07 m ²	66780.01 ft ²
OFFICE BUILDING	2028.04 m ²	31617.19 ft ²
LINK	59.59 m ²	639.07 ft ²
Grand total:	9100.70 m ²	9827.87 ft ²

Area Schedule (Gross Building Floor Area)		
Level	Area (SQM)	Area (SQF)
Lab Building		
L1 GROUND FLOOR	6114.08 m ²	65811.43 ft ²
L2 MEZZANINE	1090.53 m ²	11738.33 ft ²
	7204.61 m ²	77549.76 ft ²
Office		
2ND FLOOR	2704.15 m ²	29753.02 ft ²
3RD FLOOR	2704.15 m ²	29753.02 ft ²
4TH FLOOR	2704.15 m ²	29753.02 ft ²
GROUND FLOOR	2724.93 m ²	29330.95 ft ²
Grand total:	11017.37 m ²	119590.01 ft ²
Grand total:	18221.98 m ²	196139.77 ft ²

Area Schedule Link (Gross Building Floor Area)		
Level	Area (SQM)	Area (SQF)
GROUND FLOOR	59.28 m ²	638.10 ft ²

Parking Schedule	
Description	Count
A. Proposed Parking	
Regular	538
Barrier-Free Type B	8
Barrier-Free Type A	7
	553
B. MITO Se back Parking	
Regular	47
	47
Grand total	600

NOTES:
* R/W OF VEH DRIVE R.O.W., ROAD LINES, AND STREET LIGHT POLES ARE SHOWN INDICATIVELY AS PER EXISTING CONDITIONS.

Proposed Use	By-Use Use	Site (m ²)	Parking Rate	Required Spaces	Provided Spaces	Surplus / Deficit
Office	Office - Other	11017.37	1 space per 30 m ²	368		
Research Lab	Industrial - Manufacturing, Cleaning, Packaging, Processing, Repacking, Assembling, or Printing	1204.61	83 spaces + 1 space per 80 m ² gross floor area or portion thereof that is over 5,000 m ²	108	600	
			Site Total	476	600	+124

Notes:
1. As discussed with City staff, calculated total parking spaces are rounded up.
2. As discussed with City staff, a research lab is not an industrial use under the Industrial Use Code.

1 SITE PLAN
SCALE: 1:750

2014-07-09 10:56:01 PM

Notice of Decision

Committee of Adjustment

APPLICATION NO. B-2021-0016
Ward # 6

AN APPLICATION HAS BEEN MADE BY **KAN EFF PROEPRTIES LIMITED**

The applicant(s) request(s) consent to a conveyance of Part of Lot 14, Concession 4 W.H.S, City of Brampton, Regional Municipality of Peel. The severed land (Parcel B) has a frontage of approximately 91 metres (298.56 feet) on Financial Drive, a depth of approximately 140 metres (459.32 feet) and an area of approximately 1.36 hectares (3.36 acres). The land is located at 1876 Hallstone Road. The land is designated 'Office' & 'Open Space' in the Official Plan and 'Valleyland' & 'Office Centre' in the Bram West Secondary Plan (Area 40c)". The lands are zoned 'Office Commercial (OC-2911)' & 'Floodplain (F)'. It is proposed that the "severed" land be developed with a Warehouse/Office.

THE REQUEST IS HEREBY APPROVED, THIS DECISION:

IF **APPROVED**: IS SUBJECT TO THE CONDITIONS AND FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

IF **REFUSED**: IS FOR THE REASONS SET OUT ON PAGE TWO OF THE NOTICE OF DECISION OF THE COMMITTEE OF ADJUSTMENT.

MOVED BY D. Doerfler SECONDED BY: D. Colp

DATED THIS 24th day of AUGUST, 2021

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

CERTIFICATION

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.


SECRETARY-TREASURER, COMMITTEE OF ADJUSTMENT

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The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:	
Zoning By-law Amendment:	NO	File Number:	
Minor Variance:	YES	File Number:	A-2021-0173

PLANNING ACT – PROVISIONAL CONSENT

AN APPLICATION HAS BEEN MADE BY **KANEFF PROPERTIES LIMITED**

THIS DECISION IS SUBJECT TO THE FOLLOWING CONDITIONS: (AS AGREED TO BY THE APPLICANT(S)/AGENT(S) AT THE MEETING).

1. The Secretary-Treasurer shall have been satisfied that the following conditions have been fulfilled within one year of the mailing date noted below and the Secretary-Treasurer's Certificate under the Planning Act shall be given:
 - a. A Secretary-Treasurer's certificate fee shall be paid, in the amount current at the time of the issuance of the Secretary-Treasurer's Certificate;
 - b. Approval of the draft reference plan(s), as applicable, shall be obtained at the Committee of Adjustment office, and; the required number of prints of the resultant deposited reference plan(s) shall be received;

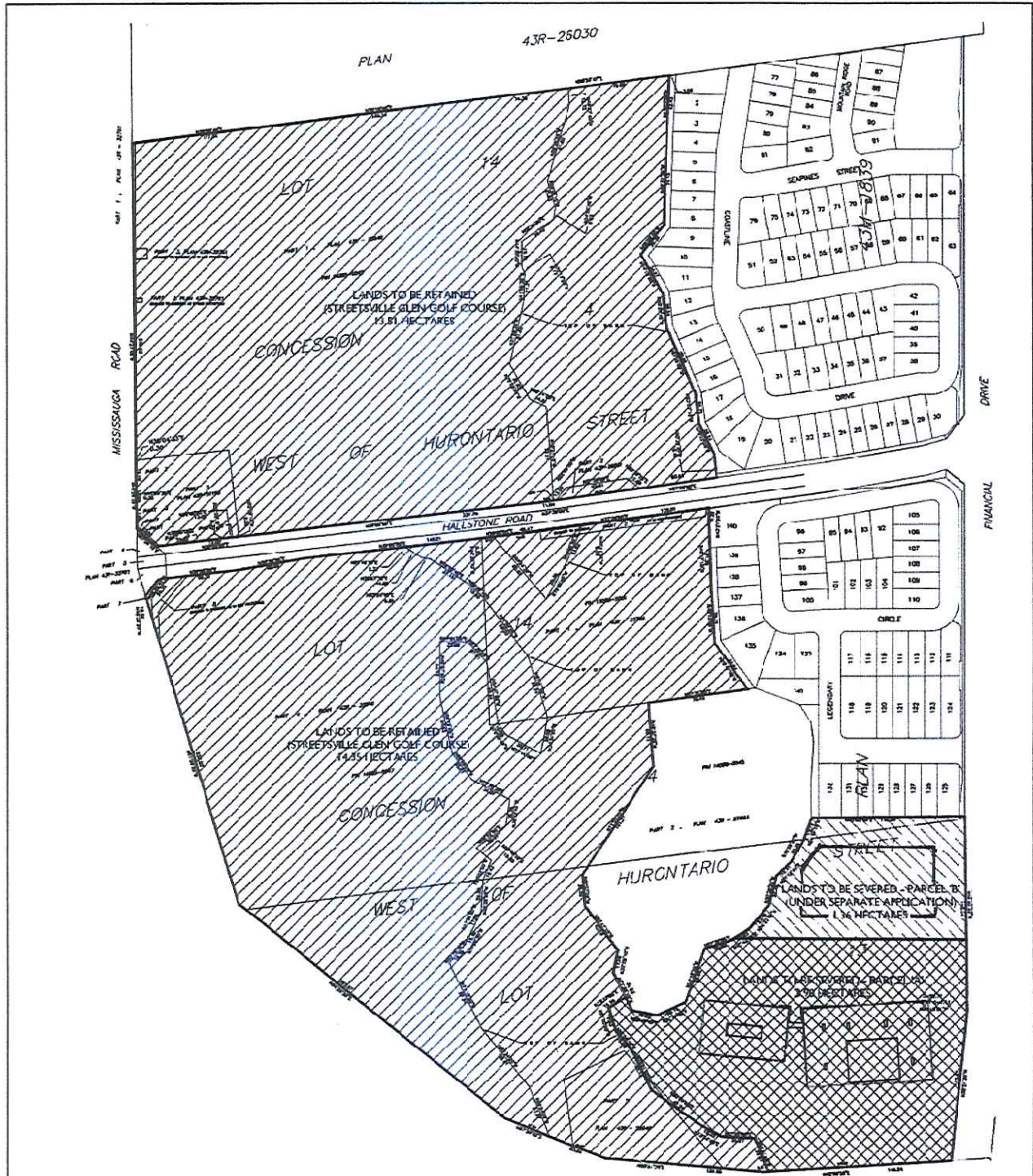
REASONS:

1. This decision reflects that regard has been had to those matters to be regarded under the Planning Act, in as much as the dimensions and shape of the lot are adequate for the uses proposed.
2. Subject to the imposed conditions, the consent to the conveyance will not adversely affect the existing or proposed development.




Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

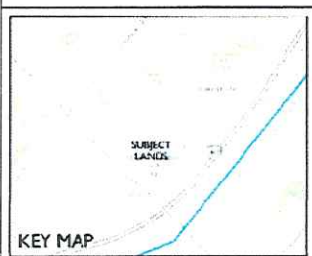
LAST DATE FOR FILING AN APPEAL TO THE LOCAL PLANNING APPEAL TRIBUNAL
SEPTEMBER 13, 2021

DATE OF MAILING AUGUST 24, 2021



CONSENT STATISTICS

-  LANDS TO BE RETAINED (STREETSVILLE GLEN GOLF COURSE); 27.86 HECTARES
-  LANDS TO BE SEVERED - PARCEL 'A'; 3.90 HECTARES
-  LANDS TO BE SEVERED - PARCEL 'B' (UNDER SEPARATE APPLICATION); 1.36 HECTARES



**CONSENT SKETCH - PARCEL 'A' AND PARCEL 'B'
KANEFF PROPERTIES LIMITED**

1876 HALLSTONE ROAD
PART OF LOT 14, CONCESSION 4, W.H.S.
WARD 6
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL



SCALE - 1:3000
JULY 22, 2021



FILE NUMBER A-2021-0173

HEARING DATE AUGUST 24, 2021

APPLICATION MADE BY KANEFF PROPERTIES LIMITED

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S) ASSOCIATED WITH THE PROPOSED SEVERED LOT UNDER CONSENT APPLICATION B-2021-0016:

1. To permit a minimum lot area of 1.36 hectares;

(1876 HALLSTONE ROAD, PART OF LOT 14, CONCESSION 4 W.H.S.)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Doerfler

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 24TH DAY OF AUGUST, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 13, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.


SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca


THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0173**

DATED: **August 3, 2021**

Conditions:

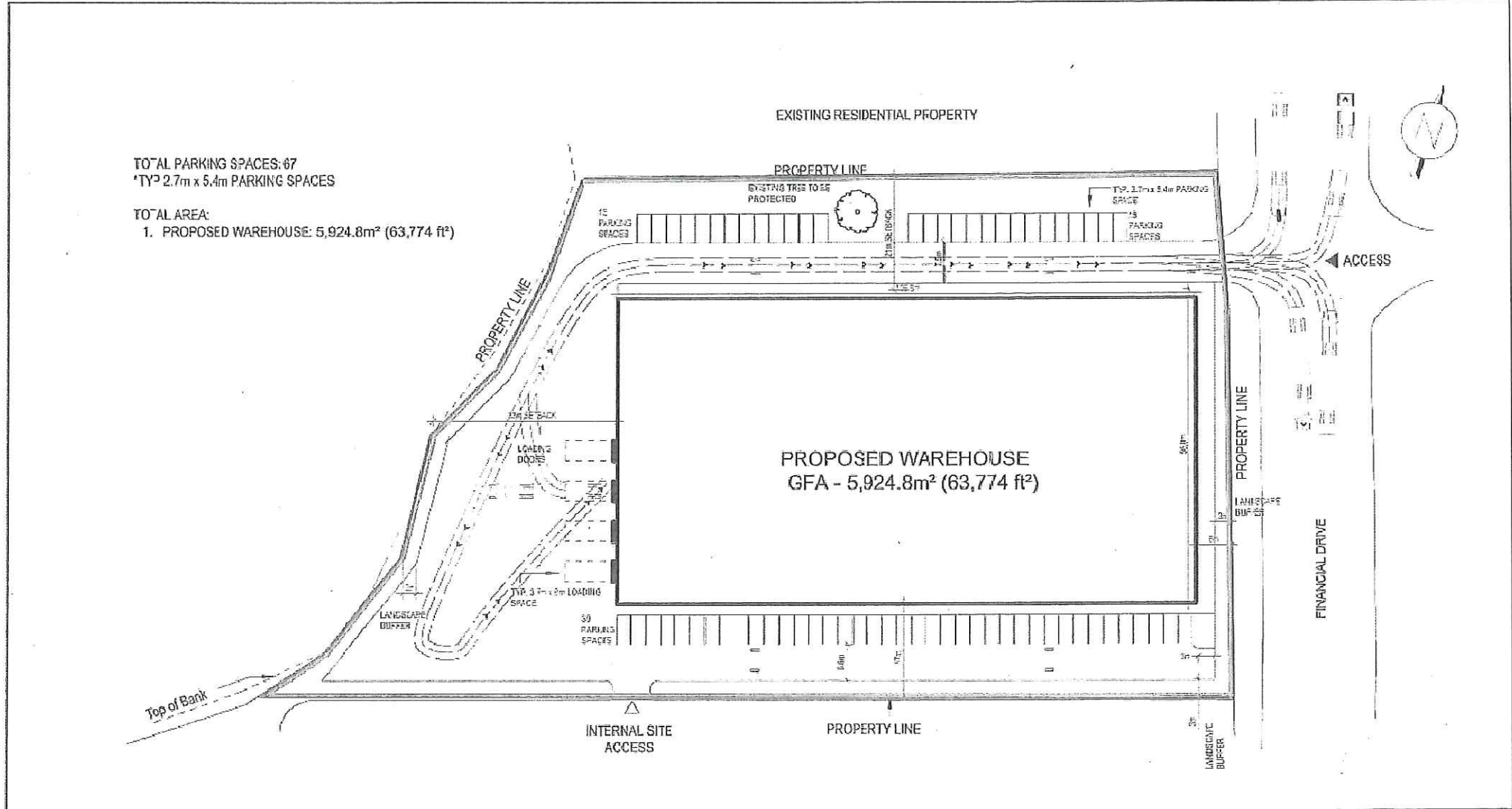
1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

TOTAL PARKING SPACES: 67
*TYP 2.7m x 5.4m PARKING SPACES

TOTAL AREA:
1. PROPOSED WAREHOUSE: 5,924.8m² (63,774 ft²)



FILE NUMBER A-2021-0160

HEARING DATE AUGUST 24, 2021

APPLICATION MADE BY MCVEAN COMMERCIAL CENTRE LTD

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a front yard setback of 2.27m (7.45 ft.);
2. To permit an exterior side yard setback of 4.5m (14.76 ft.);
3. To permit 456 parking spaces.

(11615 - 11705 MCVEAN DRIVE, BLOCK 385, PLAN 43M,-1997)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

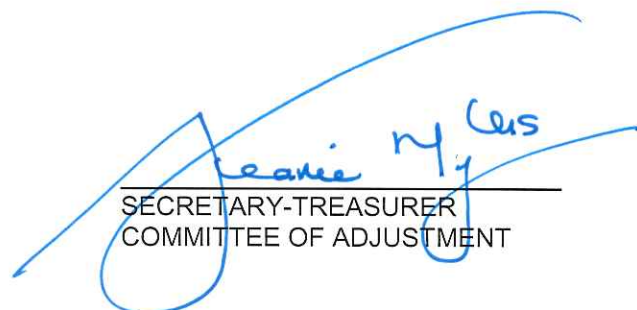
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 24TH DAY OF AUGUST, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 13, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.


SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

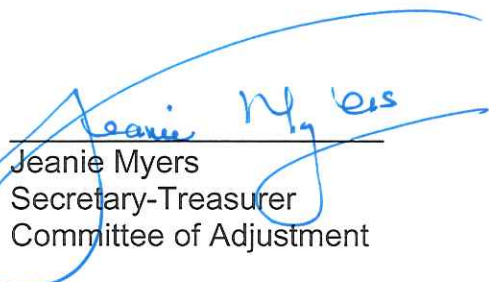
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0160**

DATED: **August 3, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the owner finalize site plan approval under City File SP-19-003-000 and post any required financial securities and insurance to the satisfaction of the Director of Development Services;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

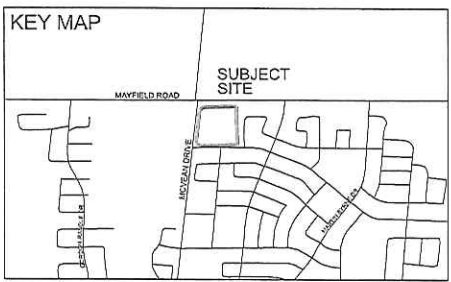
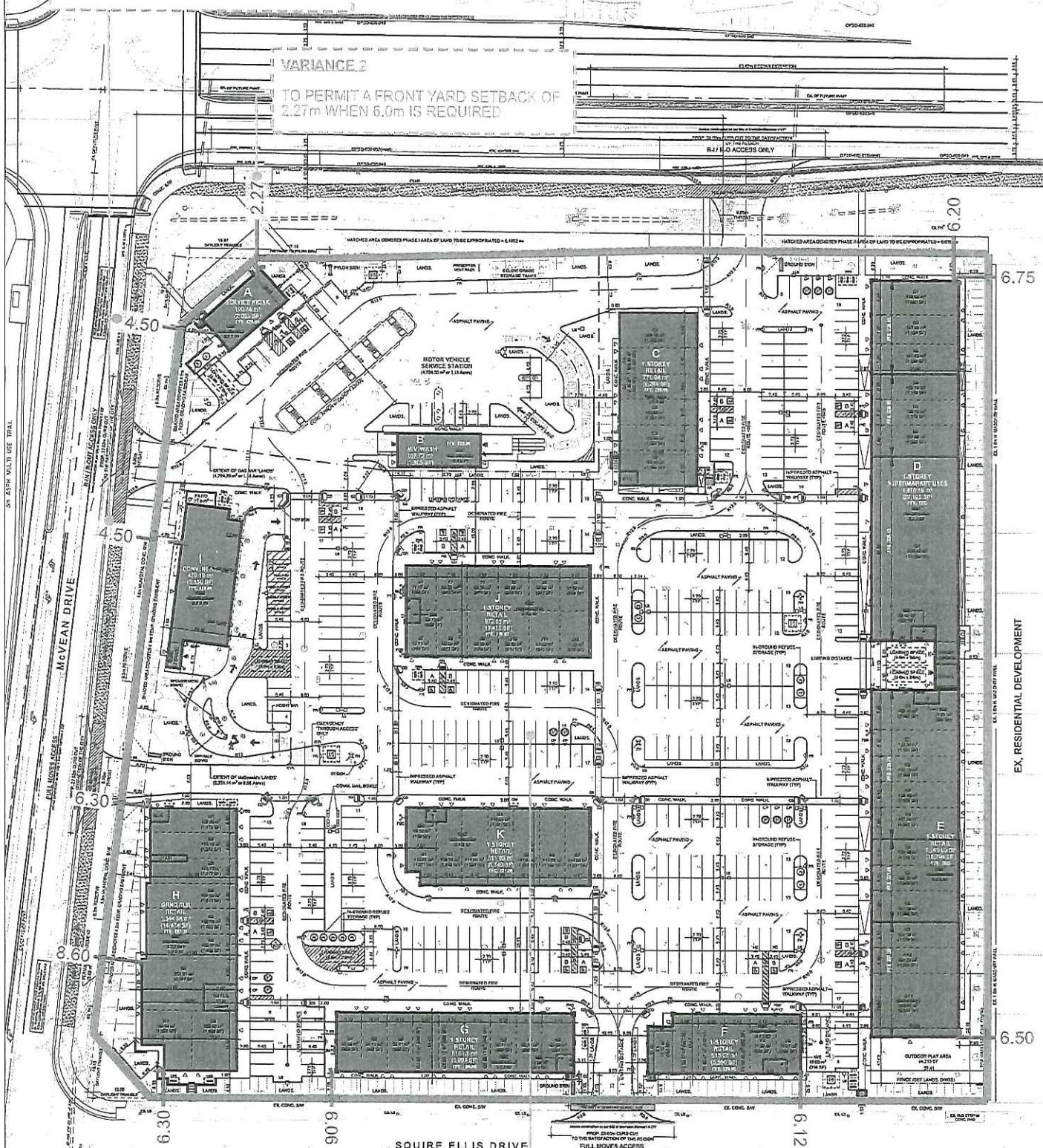


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

VARIANCE 3
 TO PERMIT A SIDE YARD SETBACK OF
 4.5m WHEN 6.0m IS REQUIRED

VARIANCE 2
 TO PERMIT A FRONT YARD SETBACK OF
 2.27m WHEN 6.0m IS REQUIRED

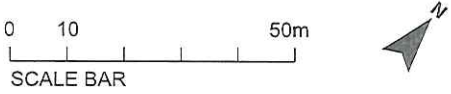
VARIANCE 1
 TO PERMIT 456 PARKING SPACES
 WHEN 467 ARE REQUIRED



Subject Lands
 Variance Requested

Note: The original drawing was prepared by Baldassarra Architects Inc. on June 17, 2021

MINOR VARIANCE SKETCH
 SOUTHEAST CORNER OF MCVEAN DRIVE
 AND MAYFIELD ROAD
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL



SCALE: SEE SCALE BAR
 DATE DRAWN: JULY 08, 2021
 Weston File No. 9688



Vaughan office
 201 Millway Ave, Suite 19
 Vaughan, Ontario L4K 5K8
 T. 905.738.8080 F. 905.738.0937
 Toronto office
 268 Berryley Road
 Toronto, Ontario M5A 2X5
 T. 416.640.9917 F. 905.738.9937

FILE NUMBER A-2021-0163

HEARING DATE AUGUST 24, 2021

APPLICATION MADE BY CHRIS FRENCH AND MELISSA FRENCH

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an interior side yard setback of 1.22m (4 ft) to a proposed second storey addition;
2. To permit a 0.0m setback to an existing addition (pool equipment storage);
3. To permit 0.0m permeable landscaping between the existing driveway and the side lot line;
4. To permit an existing fence in the rear yard having a maximum height of 2.42 (7.94 ft);
5. To permit an interior side yard setback of 0.45m to an existing deck.

(11 DERWENT AVENUE, PT. OF BLOCKS B AND W, PLAN 977, PTS. 1, 2, 2 TO 29, 31 TO 38, PLAN 43R-34972)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: A.C. Marques

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

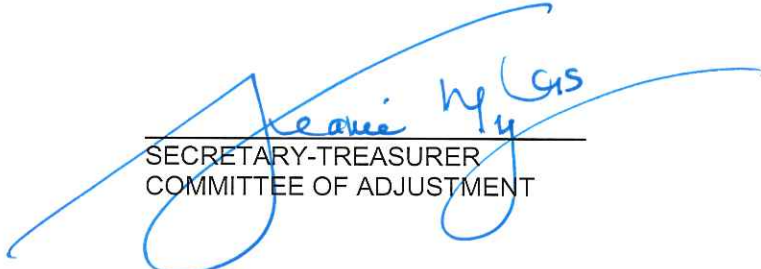
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 24TH DAY OF AUGUST, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 13, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

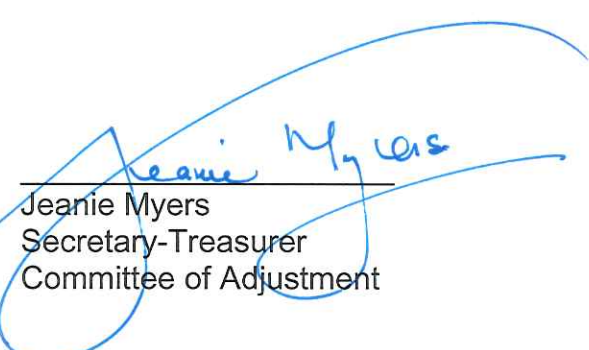
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0163**

DATED: **August 3, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the applicant obtain a building permit for the addition within sixty (60) days of the final date of Committee's decision, or within an extended period of time at the discretion of the Chief Building Official;
3. That drainage on adjacent properties is not adversely affected;
4. That the portion of the fence exceeding 2.0m in height not be extended further along the existing fence on the property; and,
5. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

MATURE NEIGHBOURHOOD SITE PLAN DRAWING NOTES

ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMANCE WITH THE APPROVED SITE PLANNING REGULATIONS AS AFFECTED BY THE DEVELOPMENT SERVICES DIVISION.

THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE PROPOSED HOUSING IS PLACED AT THE REAR OF THE LOT IN ACCORDANCE WITH THE ZONING BY-LAW AND THAT THE PROPOSED HOUSING IS NOT AFFECTED BY THE PLANNING AND BUILDING DIVISION'S MATERIALS, BUILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES, ETC. MAY BE LOCATED WITHIN THE AREA OF HOUSING.

ALL UTILITY COMPANIES SHALL BE NOTIFIED FOR LOCAL SERVICE TO THE INSTALLATION OF THE HOUSING THAT LIES WITHIN THE LIMITS OF THE DEVELOPMENT AREA.

BEFORE THE INSTALLATION OF BELOW-GROUND UTILITY OR OTHER SERVICES TO BE PROVIDED BY THE UTILITY COMPANY, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATE SERVICE ROUTE NOT BE PROVIDED, THE UTILITY COMPANY SHALL BE CONTACTED TO DETERMINE THE LOCATION AND DEPTH OF INSTALLATION IN ORDER TO AVOID DAMAGE TO THE HOUSING.

THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS REQUIRED BY THE UTILITY COMPANIES AND BUILDING PERMIT.

STREETS MUST BE MARKED WITH 2% MINIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

THE EXISTING ON-SITE DRAINAGE SYSTEM SHALL REMAIN.

THE STRUCTURAL DESIGN OF ANY EXISTING WALL OVER 40 CM (16 IN) HIGH OR ANY EXISTING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE MAINTAINED BY THE CONSULTING ENGINEER FOR THE PROJECT.

THE FOUNDATIONS OF THE DEVELOPMENT WITHIN THE MUNICIPAL BOUNDARY SHALL BE FOUND BY THE OWNER AT THEIR OWN EXPENSE.

AT THE INTERSECTION OF THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUED THROUGH THE DEVELOPMENT AND A CURB AND SIDEWALK SHALL BE PROVIDED FOR EACH INTERSECTION.

ALL RECORDS CURBS AT THE INTERSECTION TO THE SITE IS TO REMAIN AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.

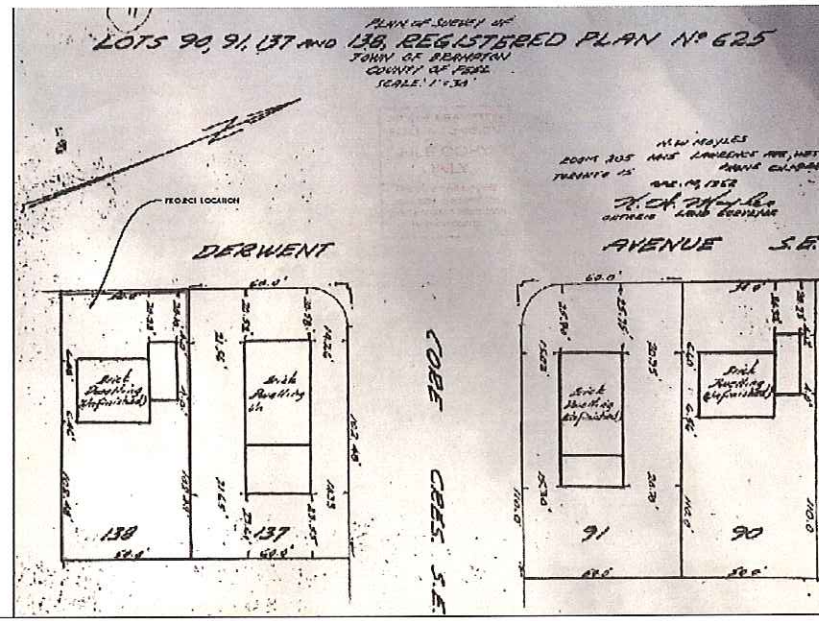
CONSTRUCTION MATERIALS ARE NOT TO BE FULLY OR PARTIALLY COLLECTED.

ALL DAMAGED LANDSCAPE AREAS SHALL BE RESTORED WITH TOP SOIL AND SOFT FOLLOWING COMPLETION OF CONSTRUCTION.

ANY CURB AND SIDEWALK DAMAGED OR REMOVED ARE TO BE REPLACED WITH SIMILAR FORM AND TYPE OF CONSTRUCTION TO THE EXISTING CURB AND SIDEWALK AT THE PROPERTY LINE.

ALL EXISTING CURB AND SIDEWALK SHALL BE MAINTAINED FROM THE SITE AT THE OWNER'S EXPENSE.

ALL EXISTING RECORDS DRAWINGS ON THE PROPERTY SHOULD BE MAINTAINED AND SUBMITTED ON ALL OF THE DEVELOPMENT APPLICATIONS. THERE ARE NO RECORDS OF RECORDS DRAWINGS FOR THE PROPERTY.



JUSTLINI
Justin Sherry design studio

DESIGNER INFORMATION
JUSTIN SHERRY DESIGN STUDIO
11 DERWENT AVENUE, SUITE 201
TORONTO, ONTARIO M2H 1A7
TEL: (416) 291-1111
WWW.JUSTLINI.COM

GENERAL NOTES
DRAWINGS ARE TO BE READ NOT SCALE. OWNER IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE DEVELOPMENT. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE DEVELOPMENT. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE DEVELOPMENT. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE DEVELOPMENT.

DISTAL PLANS
AFTER THE WORK OF THE PLAN IS COMPLETED, THE DISTAL PLANS SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW.

STRUCTURAL ENGINEER'S SIGNATURE

IF REQUIRED
CALCULATION INFORMATION: THE CALCULATION INFORMATION IS PROVIDED FOR THE OWNER'S REFERENCE ONLY. THE CALCULATION INFORMATION IS PROVIDED FOR THE OWNER'S REFERENCE ONLY. THE CALCULATION INFORMATION IS PROVIDED FOR THE OWNER'S REFERENCE ONLY.

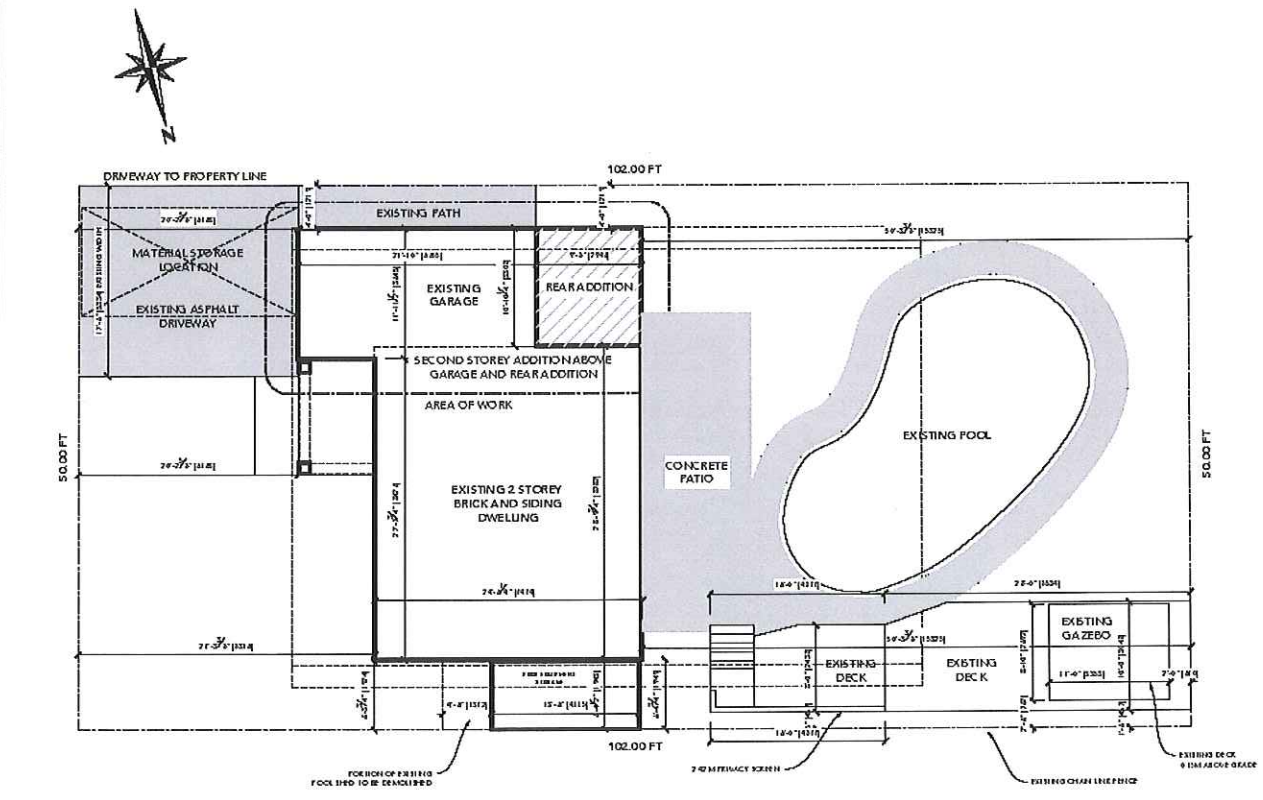
REVISIONS

1	ISSUED FOR PERMIT	MM/DD/YYYY
2	ISSUED FOR PERMIT	MM/DD/YYYY
3	ISSUED FOR PERMIT	MM/DD/YYYY
4	ISSUED FOR PERMIT	MM/DD/YYYY
5	ISSUED FOR PERMIT	MM/DD/YYYY

DRAWING INFORMATION
DRAWING TITLE: SITE PLAN
DRAWN BY: J.S.
CHECKED BY: J.S.
ADDRESS: 11 DERWENT AVENUE
PROJECT NO.: 201401
SHEET

KEY PLAN

SITE STATISTICS - RESIDENTIAL ADDITION			
ADDRESS:	11 DERWENT AVENUE, ERLANGTON, ONTARIO		
ZONING:	R81		
LOT AREA:	475.81 m ²	11.2 ac	
LOT FRONTAGE:	15.21 m		
HEIGHT TO T.O. PROPOSED ROOF:	7.31 m		
GFA - INFIL RESIDENTIAL			
GROUND FLOOR:	51.26 m ²	0.80 ac	71.62 m ²
SECOND FLOOR:	56.24 m ²	0.82 ac	78.41 m ²
FLOOR STORAGE:	10.52 m ²	0.15 ac	7.69 m ²
TOTAL GFA INFIL RESIDENTIAL:	117.02 m ²	1.77 ac	157.72 m ²
			28.21 %
LOT COVERAGE			
EXISTING DWELLING FOOTPRINT:	54.20 m ²	0.78 ac	74.67 m ²
POOL:	4.15 m ²	0.06 ac	4.15 m ²
GAZEBO:	2.30 m ²	0.03 ac	9.00 m ²
GARAGE:	23.88 m ²	0.34 ac	23.88 m ²
FLOOR STORAGE:	7.39 m ²	0.11 ac	7.39 m ²
TOTAL LOT COVERAGE:	111.92 m ²	1.62 ac	121.46 m ²
			23.64 %
FRONT YARD LANDSCAPING			
FRONT YARD AREA:	1375.21 m ²	19.81 ac	107.48 m ²
LANDSCAPING:	32.89 m ²	0.47 ac	32.89 m ²
SOFT LANDSCAPING:	21.89 m ²	0.31 ac	21.89 m ²
TOTAL SOFT LANDSCAPING COVERAGE:	71.89 m ²	1.03 ac	71.89 m ²
			15.08 %



SITE PLAN

SP

FILE NUMBER A-2021-0164

HEARING DATE AUGUST 24, 2021

APPLICATION MADE BY CRISTALL GROUP INVESTMENTS INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a place of commercial recreation (billiard hall) to operate from Units 12 and 13.

(158 KENNEDY ROAD SOUTH, UNITS 12 AND 13, PT. OF LOT 2, CONC. 2 EHS, PTS. 1 AND 2, PLAN 43R-2937)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D.Colp

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

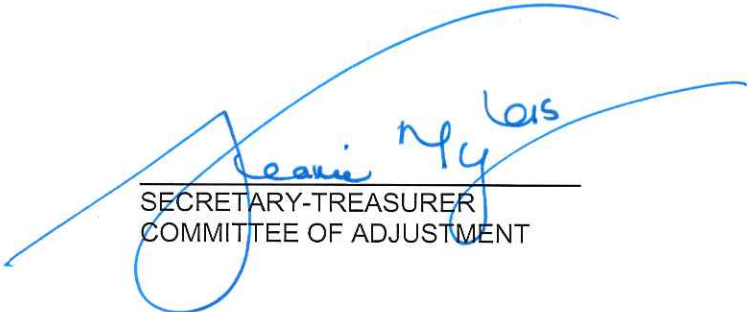
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 24TH DAY OF AUGUST, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 13, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.


SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

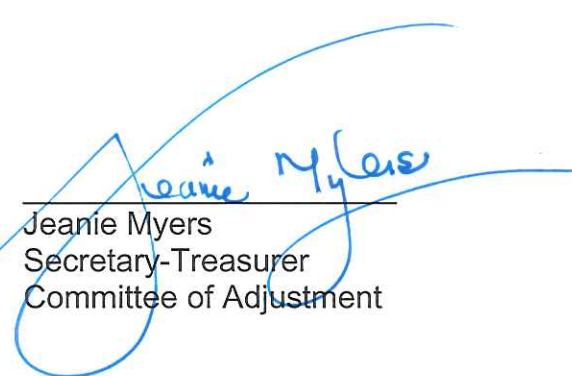
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0164**

DATED: **August 3, 2021**

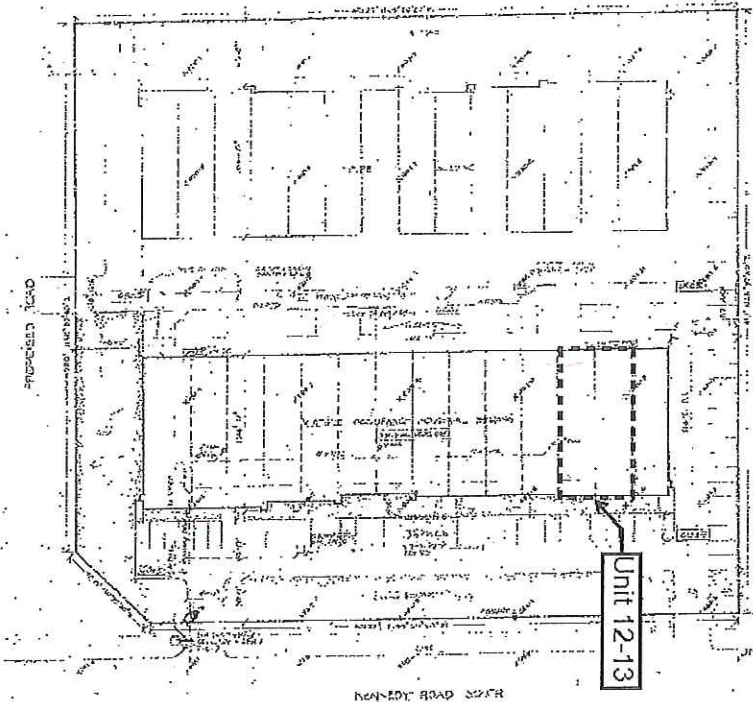
Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the place of commercial recreation (billiard hall) be limited to a maximum gross floor area of 464.52 square metres (5,000 square feet);
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

To permit a place of commercial recreation (billiard hall) to operate from Units 12 and 13
 158 Kennedy Road South, Units 12 and 13



23 APR 1971
 H. G. GILMAN

subject to submission of
 final partition layouts
 details of occupancy.

G.A.G. (12-13-6)

UNIT 12-13

THIS DRAWING IS THE PROPERTY OF SIRLIN & KELMAN ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SIRLIN & KELMAN ARCHITECTS.

1. Check all dimensions and notes.
2. Verify all dimensions and notes.
3. Check all dimensions and notes.
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9. Check all dimensions and notes.
10. Verify all dimensions and notes.
11. Check all dimensions and notes.
12. Verify all dimensions and notes.

H.G. GILMAN
 10 April 71

NO.	DESCRIPTION	DATE

REVISIONS

KEY TO DETAIL LOCATION
 DETAIL ROTATION
 DRAWING NUMBER

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND NEIGHBORING BUILDINGS BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETION OF ALL DIMENSIONS AND CONDITIONS OF THE SITE. DIMENSIONS ARE NOT TO BE EXCEEDED.



SIRLIN & KELMAN ARCHITECTS
 11 SHEPPARD AVENUE WEST, TORONTO, ONT. M2N 1L7

SITE PLAN

PROJECT: ADDITIONAL BUILDING FOR
 LOCATION: 158 KENNEDY ROAD SOUTH
 PROPERTY: MR. GILMAN - M2N 1L7

NO.	DATE	BY

FILE NUMBER A-2021-0165

HEARING DATE AUGUST 24, 2021

APPLICATION MADE BY AMANJOT KAHLON AND PAWANDEEP KAHLON

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a building height of 11.28m (37 ft.);
2. To permit a garage door height of 2.74m (9.0 ft.);
3. To permit an existing fence in the required front yard with a maximum height of 1.52m (5.0 ft.).

(12 ST. JOHNS ROAD, LOT 19, PLAN 1002)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

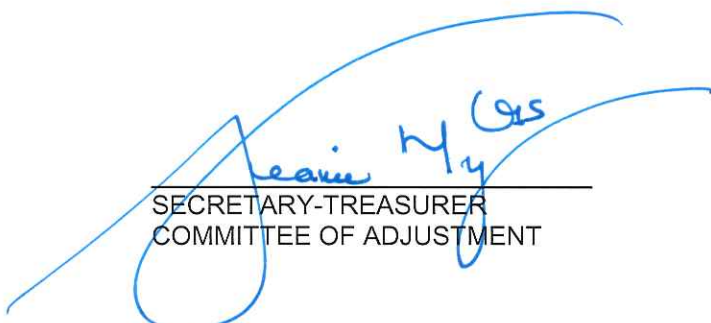
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 24TH DAY OF AUGUST, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 13, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

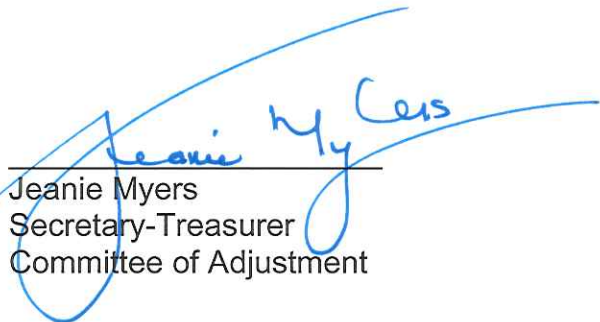
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0165**

DATED: **August 3, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the owner finalize site plan approval under City File SPA-2019-0054 and post any required financial securities and insurance to the satisfaction of the Director of Development Services;
3. The property shall only be used for residential purposes permitted by the Zoning By-law and shall not be used for the purpose of a banquet hall or banquet facility;
4. That the proposed fence in the required front yard be built in an open or decorative style/material style construction and not be a solid fence;
5. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

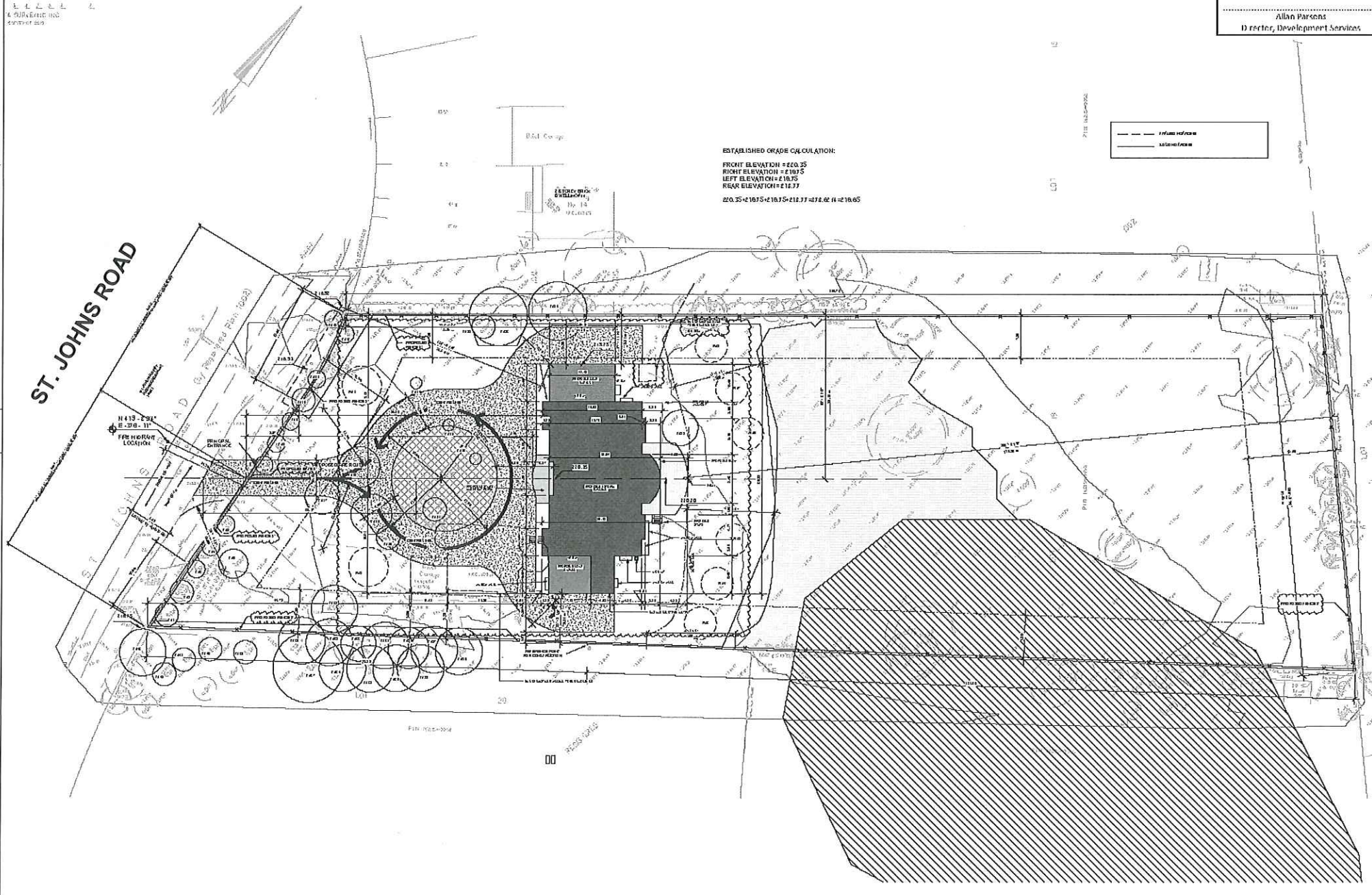
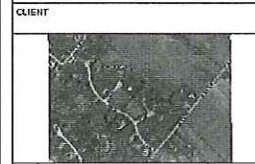


Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

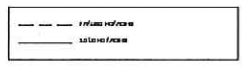
CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
 subject to an agreement
 On This Day of _____

 Allan Parsons
 Director, Development Services

PROJECT
12 ST. JOHNS RD.
BRAMPTON-LOT 19
REGISTERED PLAN
1002



ESTABLISHED GRADE CALCULATION:
 FRONT ELEVATION = 220.25
 RIGHT ELEVATION = 219.25
 LEFT ELEVATION = 218.75
 REAR ELEVATION = 218.77
 220.25 + 218.75 + 218.75 + 218.77 = 876.52 ÷ 4 = 219.13



- GRASS
- ASPHALT
- PLANTING ON THE SOIL
- WETLAND
- TRCA AREA
- FENCE LOCATION

01 ISSUED FOR CITY 3/24/21

REVISIONS
 001 01-07-20 5:22:10 PM

Discussions must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.
ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.



SPA-0019-004



DRAWING TITLE
SITE PLAN

DRAWN Author	CHECKED Checker
SCALE As indicated	DATE 07/23/21

GRAPHIC SCALE

PROJECT NO. 190116 JRB

STAGE DRAWING NO.
COFAAO_005

LOCATION BRAMPTON REVISION 01

FILE NUMBER A-2021-0167

HEARING DATE AUGUST 24, 2021

APPLICATION MADE BY HAKAM SINGH SANDHU AND SURINDERPAL KAUR SANDHU

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit interior side yard setbacks of 1.24m (4.07 ft.) and 1.5m (4.92 ft.);
2. To permit a building height of 9.01m (30 ft.);
3. To permit lot coverage of 38.8%.

(11 HILLCREST AVENUE, LOTS 32 AND 33, PLAN D14)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER


DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 24TH DAY OF AUGUST, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 13, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

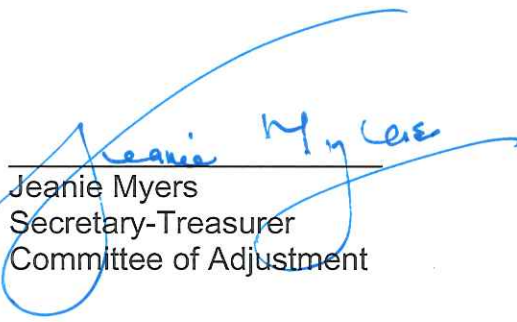
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0167**

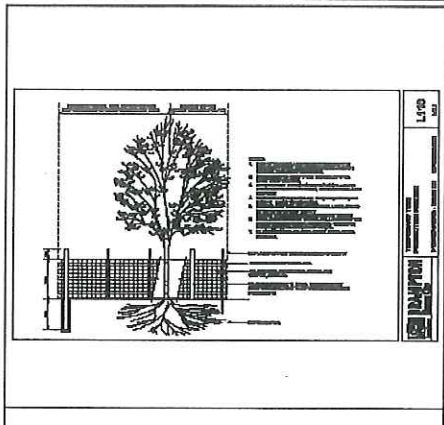
DATED: **August 3, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the owner finalize site plan approval under City File SPA-2021-0077 and post any required financial securities and insurance to the satisfaction of the Director of Development Services;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



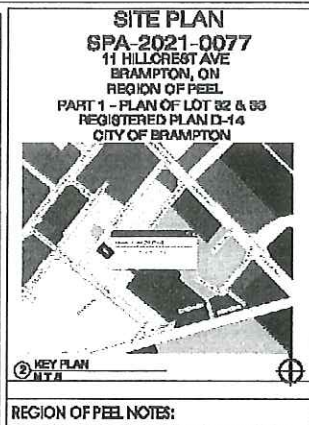
Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



READING NOTES:
 ALL DIMENSIONS SHOWN ON THIS PLAN SHALL BE MEASURED TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED.
 FOUNDATION WALLS AND FLOOR SLABS SHALL BE REINFORCED WITH STEEL REBAR AS SHOWN ON THE REINFORCEMENT PLAN.
 ALL CONCRETE SHALL BE CAST IN PLACE ON FORMWORK.
 EXPOSED CONCRETE SHALL BE FINISHED WITH A POLISHED OR BROOM-FINISHED SURFACE.
 FINISHES SHALL BE AS SHOWN ON THE FINISH SCHEDULE.
 ALL UTILITIES SHALL BE DEEPENED TO THE PROPOSED FINISH FLOOR LEVEL.
 ALL PROPOSED UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE BRAMPTON BY-LAW.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN ON THE SITE.
 ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL COMPLY WITH THE BRAMPTON PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN ON THE SITE.

BRAMPTON - CITY OF BRAMPTON ZONING BY-LAW

ITEM NO.	PROPOSED	APPLICABLE PROVISION	PROPOSED
MINIMUM LOT AREA	4200 m ²	4200 m ²	4200 m ²
MINIMUM LOT WIDTH	13.00 m	13.00 m	13.00 m
MINIMUM LOT DEPTH	30.00 m	30.00 m	30.00 m
MINIMUM FRONT YARD SETBACK	4.00 m	4.00 m	4.00 m
MINIMUM SIDE YARD SETBACK	1.00 m	1.00 m	1.00 m
MINIMUM REAR YARD SETBACK	1.00 m	1.00 m	1.00 m
MAXIMUM BUILDING HEIGHT	12.00 m	12.00 m	12.00 m
MAXIMUM LOT COVERAGE	70%	70%	70%
MINIMUM LANDSCAPE OPEN SPACE	5%	5%	5%
GARAGE DOOR HEIGHT	2.10 m	2.10 m	2.10 m
SECOND FLOOR BALCONY			17.00 m ²
THIRD FLOOR			20.00 m ²
COVERED PORCH			4.00 m ²
GARAGE			12.00 m ²
TOTAL LOT COVERAGE			33.00 m ²
TOTAL GROSS FLOOR AREA			39.00 m ²

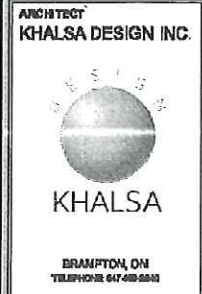


PROJECT NAME
 11 HILLCREST AVE
 BRAMPTON ON

PROJECT ADDRESS
 11 HILLCREST AVE
 BRAMPTON ON

CLIENT
 HAKAN SINGH

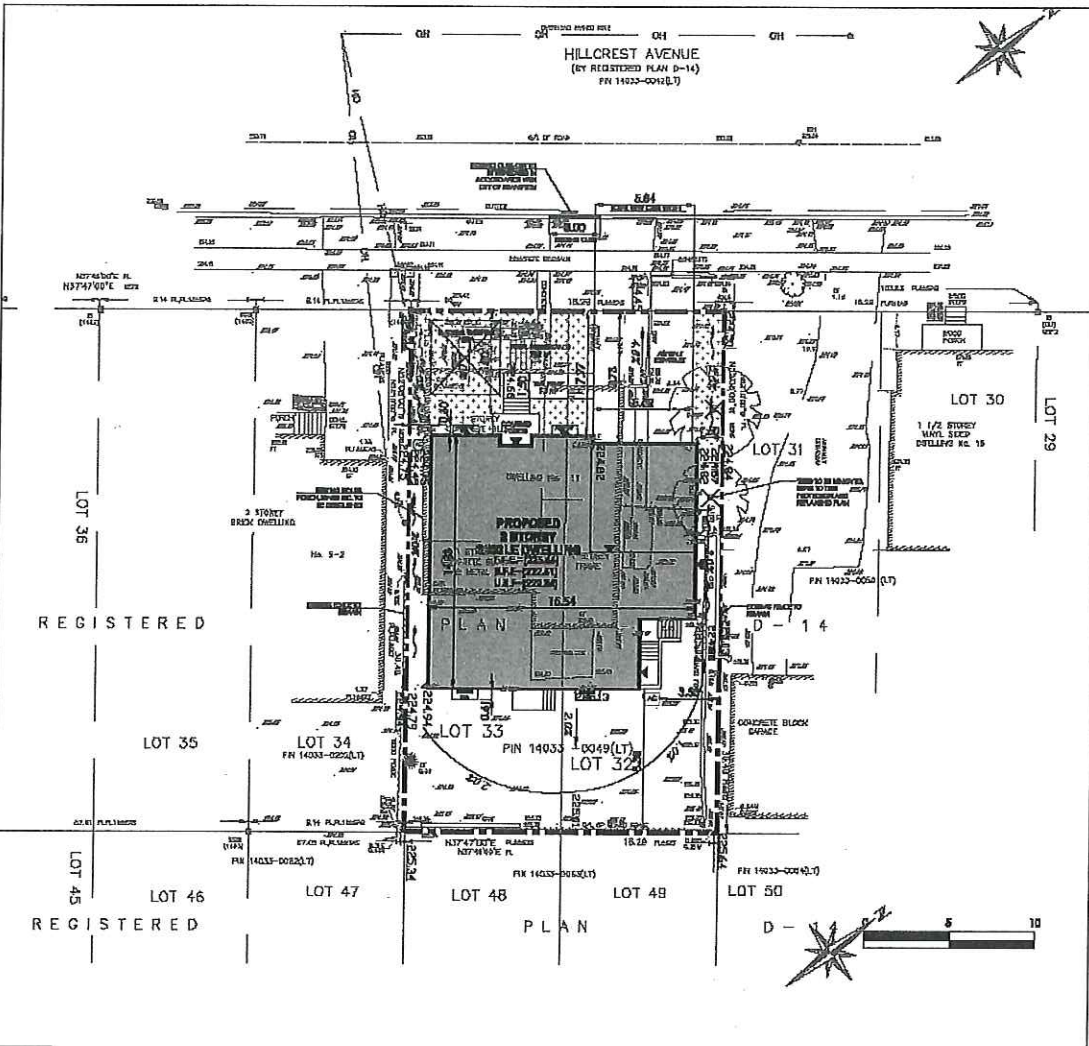
ARCHITECT
 KHALSA DESIGN INC.



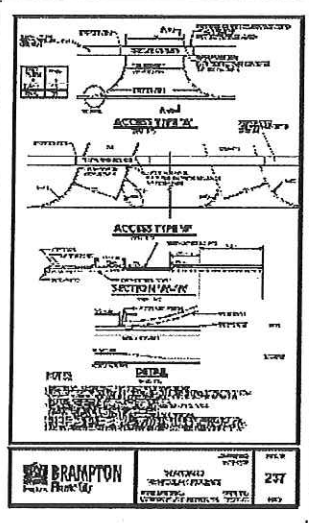
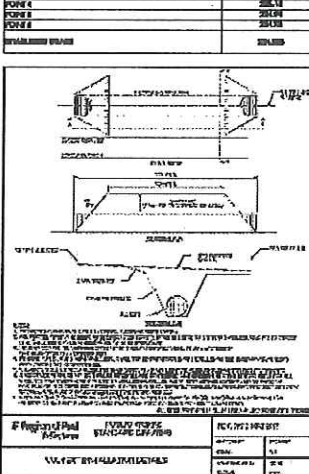
CONSULTANTS:

CONTRACTOR:

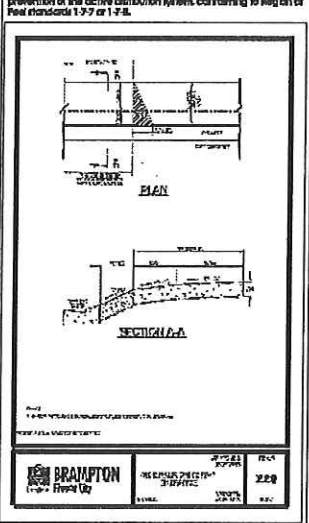
THE SOLE PROPERTY OF KHALSA DESIGN INC. THE USER OF THESE PLANS GRANTS PERMISSION TO THE CONTRACTOR TO MAKE ANY NECESSARY REVISIONS TO THE PLANS FOR THE PROTECTION OF THE ACTIVE UTILITIES TO REMAIN ON THE SITE.



1. PROPOSED SITE PLAN
 1:150



REGION OF PEEL NOTES:
 All materials and construction methods must conform to the current Peel Public Works standards and specifications.
 - Watermain and / or water service materials 100 mm (4") and larger must be DW 15 PVC pipe manufactured by A.M. & L. Inc. C900 11.5 gpa compliant with trench width. Size (Ø) mm (4") and smaller must be Type 'W' soft copper as per A.S.T.M. 1136 '02 specifications.
 - Watermain and / or water service pipe to have a minimum cover of 1.37 m (4'6") with a minimum horizontal spacing of 1.2 m (4') from transformer and all other utilities.
 - Flowlines for flushing water shall be 100 mm (4") and larger must be provided with at least a 30 mm (1 1/4") outlet on 100 mm (4") and larger lines. Copper lines are to have flushing points at the end, the same size as the line. They must also be heated or placed to allow water to drain onto a working lot or down a drain. On the line, flushing outlet to be 100 mm (4") diameter minimum on a hydrant.
 - All cast pipes to be 3.0 m (10') or the length of the building unless otherwise noted.
 - Hydrant and valve set to higher standard 1 - A - 1 Dimension A and B (Ø) m (4") and D (Ø) m (2") and to have pump-out.
 - Watermains to be installed to grades as shown on approved site plan. Copy of grade sheet must be supplied to inspector prior to commencement of work, where required by inspector.
 - Watermain must have a minimum vertical clearance of 0.3 m (1'0") over 75 mm (3") water service and other utilities when crossing.
 - All proposed water piping must be isolated from existing lines in order to allow independent pressure testing and/or flushing from existing systems.
 - All the tapping and operation of Region water valves shall be arranged through the Regional Inspector assigned or by contacting the Operator and Maintenance Division.
 - Location of all existing utilities in the field to be established by the contractor.
 - The contractor shall be solely responsible for locating, supporting and protecting of all underground and overhead utilities and structural loading at the time of construction in the area of their work whether shown on the plan or not used for all records and consequences resulting from damage to same.
 - The contractor shall be solely responsible to give 72 hours written notice to the utility prior to locating and/or tapping for the purpose of inspection by the concerned utility. This inspection will be for the duration of the construction, with the contractor responsible for all costs arising from such inspection.
 - All proposed water piping must be isolated through a temporary connection that shall include an appropriate cross connection control, consistent with the intent of Section 17.1.7 for location prevention of the active distribution system conforming to Region of Peel standards 17.7 and 17.8.



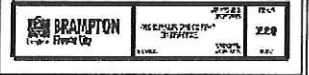
REGISTRATION

Project number	21034
Title	UTARDAK 14
Drawn by	AD
Checked by	KD
Date	As indicated

REVISIONS

No.	Description	Date
1	SUBMITTED FOR PUBLIC WORKS	2021

PROPOSED SITE PLAN
ASP-1
 11 HILLCREST AVE.



FILE NUMBER A-2021-0168

HEARING DATE AUGUST 24, 2021

APPLICATION MADE BY KEN WAGERMAN AND HEATHER BAIN

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a detached garage having a gross floor area of 75.19 sq. m (809.34 sq. f.t);

(12 ALSTON COURT, LOT 165, PLAN 521)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: A.C. Marques

SECONDED BY: D. Colp

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

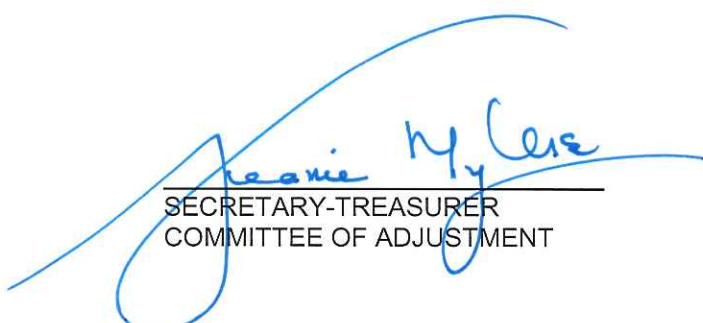
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 24TH DAY OF AUGUST, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 13, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

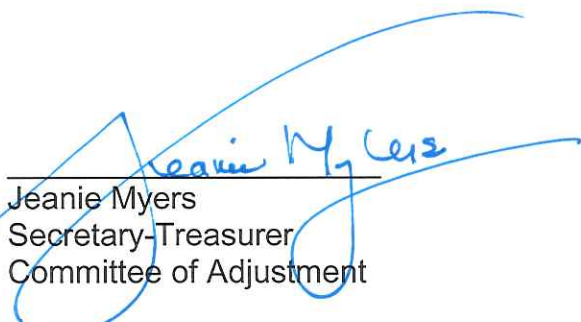
THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0168**

DATED: **August 3, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the detached garage shall not be used as a separate dwelling unit;
3. That the detached garage shall not be used as a motor vehicle repair shop as a business and that vehicle repairs shall be conducted solely by the occupants of the home for non-business purposes;
4. That drainage from the proposed detached garage shall be contained on the subject property and not impact abutting properties;
5. That the owner finalize site plan approval under City File SPA-2020-0126 and post any required financial securities and insurance to the satisfaction of the Director of Development Services; and,
6. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

Aug 06, 2021 - 3:23pm \\DLINKNAS\Volume_1\srhitchcox\HDesign\Clients\202006001 - Brampton\BAIN SITE 20210721.dwg

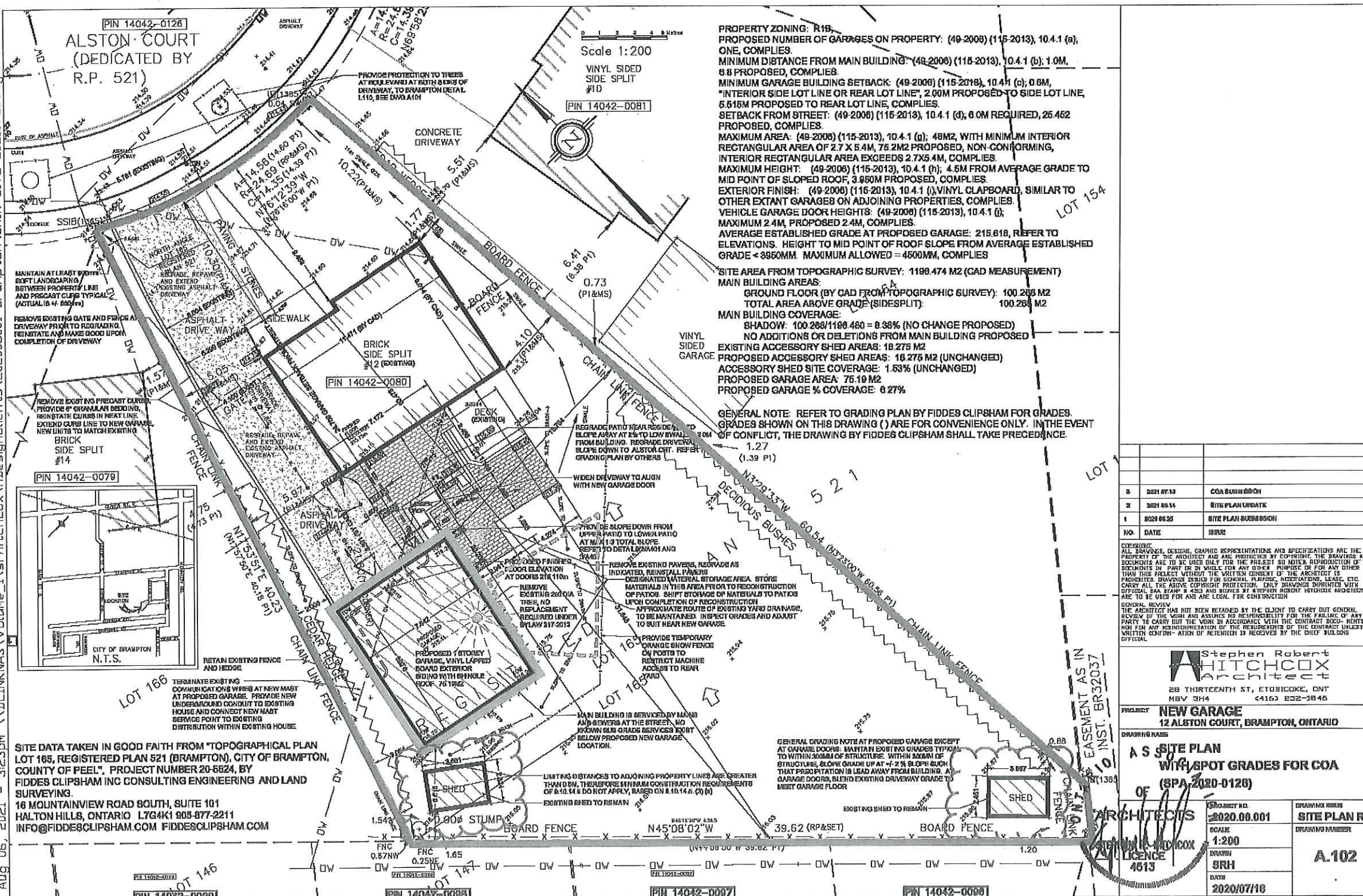
PIN 14042-0126
ALSTON COURT
(DEDICATED BY
R.P. 521)

Scale 1:200

PROPERTY ZONING: R1B,
PROPOSED NUMBER OF GARAGES ON PROPERTY: (49-2008) (115-2013), 10.4.1 (a),
ONE, COMPLIES.
MINIMUM DISTANCE FROM MAIN BUILDING: (49-2008) (115-2013), 10.4.1 (b), 1.0M,
6.8 PROPOSED, COMPLIES.
MINIMUM GARAGE BUILDING SETBACK: (49-2008) (115-2013), 10.4.1 (c), 0.8M,
"INTERIOR SIDE LOT LINE OR REAR LOT LINE", 2.00M PROPOSED TO SIDE LOT LINE,
5.618M PROPOSED TO REAR LOT LINE, COMPLIES.
SETBACK FROM STREET: (49-2008) (115-2013), 10.4.1 (d), 6.0M REQUIRED, 26.462
PROPOSED, COMPLIES.
MAXIMUM AREA: (49-2008) (115-2013), 10.4.1 (g); 48M², WITH MINIMUM INTERIOR
RECTANGULAR AREA OF 2.7 X 5.4M, 78.2M² PROPOSED, NON-COMPLYING,
INTERIOR RECTANGULAR AREA EXCEEDS 2.7X5.4M, COMPLIES.
MAXIMUM HEIGHT: (49-2008) (115-2013), 10.4.1 (h); 4.5M FROM AVERAGE GRADE TO
MID POINT OF SLOPED ROOF, 3.950M PROPOSED, COMPLIES.
EXTERIOR FINISH: (49-2008) (115-2013), 10.4.1 (i); VINYL CLAPBOARD, SIMILAR TO
OTHER EXISTANT GARAGES ON ADJOINING PROPERTIES, COMPLIES.
VEHICLE GARAGE DOOR HEIGHTS: (49-2008) (115-2013), 10.4.1 (j);
MAXIMUM 2.4M, PROPOSED 2.4M, COMPLIES.
AVERAGE ESTABLISHED GRADE AT PROPOSED GARAGE: 215.618, REFER TO
ELEVATIONS. HEIGHT TO MID POINT OF ROOF SLOPE FROM AVERAGE ESTABLISHED
GRADE = 3950MM. MAXIMUM ALLOWED = 4500MM, COMPLIES

'SITE AREA FROM TOPOGRAPHIC SURVEY: 1198.474 M² (CAD MEASUREMENT)
MAIN BUILDING AREAS:
GROUND FLOOR (BY CAD FROM TOPOGRAPHIC SURVEY): 100.283 M²
TOTAL AREA ABOVE GRADE (SIDESPLIT): 100.283 M²
MAIN BUILDING COVERAGE:
SHADOW: 100.283/1198.480 = 8.38% (NO CHANGE PROPOSED)
NO ADDITIONS OR DELETIONS FROM MAIN BUILDING PROPOSED
EXISTING ACCESSORY SHED AREAS: 18.275 M²
PROPOSED ACCESSORY SHED AREAS: 18.275 M² (UNCHANGED)
ACCESSORY SHED SITE COVERAGE: 1.53% (UNCHANGED)
PROPOSED GARAGE AREA: 76.19 M²
PROPOSED GARAGE % COVERAGE: 6.27%

GENERAL NOTE: REFER TO GRADING PLAN BY FIDDES CLIPSHAM FOR GRADES.
GRADES SHOWN ON THIS DRAWING () ARE FOR CONVENIENCE ONLY. IN THE EVENT
OF CONFLICT, THE DRAWING BY FIDDES CLIPSHAM SHALL TAKE PRECEDENCE.



SITE DATA TAKEN IN GOOD FAITH FROM "TOPOGRAPHICAL PLAN
LOT 165, REGISTERED PLAN 521 (BRAMPTON), CITY OF BRAMPTON,
COUNTY OF PEELE", PROJECT NUMBER 20-5624, BY
FIDDES CLIPSHAM INC CONSULTING ENGINEERING AND LAND
SURVEYING.
16 MOUNTAINVIEW ROAD SOUTH, SUITE 101
HALTON HILLS, ONTARIO L7G4K1 905-877-2211
INFO@FIDDESCLIPSHAM.COM FIDDESCLIPSHAM.COM

NO.	DATE	ISSUE
5	2021 07 23	CONSUMPTION
2	2021 05 14	SITE PLAN UPDATE
1	2020 05 25	SITE PLAN SUBMISSION

CONFIDENTIAL
ALL DRAWINGS, DESIGNS, GRAPHIC REPRESENTATIONS AND SPECIFICATIONS ARE THE
PROPERTY OF THE ARCHITECT AND ARE PROTECTED BY COPYRIGHT. THE DRAWINGS AND
DOCUMENTS ARE TO BE USED ONLY FOR THE PROJECT SO INDICATED. REPRODUCTION OF THE
DOCUMENTS IN PART OR IN WHOLE FOR ANY OTHER PURPOSE OR FOR ANY OTHER
PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS
PROHIBITED. DRAWINGS ISSUED FOR GENERAL PURPOSES, REVISIONS, LEASE, ETC.
CARRY ALL THE ABOVE COPYRIGHT PROTECTION. ONLY DRAWINGS PRINTED WITH
OFFICIAL P.A. STAMP # 433 AND SIGNED BY REGISTERED ARCHITECT
ARE TO BE USED FOR ANY AND ALL LEGAL PURPOSES FOR CONSTRUCTION.

GENERAL REVIEW
THE ARCHITECT HAS NOT BEEN RETAINED BY THE CLIENT TO CARRY OUT GENERAL
REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF ANY
PARTY TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
NO FOR ANY MODIFICATION OF THE REQUIREMENTS OF THE CONTRACT UNLESS
WRITTEN CONFIRMATION OF RETENTION IS RECEIVED BY THE CHIEF BUILDING
OFFICIAL.

**Stephen Robert
HITCHCOX
ARCHITECT**
28 THIRTEENTH ST, ETOBICOKE, ONT
M9V 3H4 (416) 232-3846

PROJECT: **NEW GARAGE**
12 ALSTON COURT, BRAMPTON, ONTARIO

DRAWING NAME:
A S SITE PLAN
WITH SPOT GRADES FOR COA
OF
(SPA 2020-0128)

PROJECT NO. 2020.06.001	DRAWING NAME SITE PLAN REV
SCALE 1:200	DRAWING NUMBER A.102
DRAWN SRH	
DATE 2020/07/18	

FILE NUMBER A-2021-0169

HEARING DATE AUGUST 24, 2021

APPLICATION MADE BY _____ RAGHBIR UBHI

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; **ZONING BY-LAW 270-2004** AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit an accessory structure (fireplace) having a height of 3.96m (13 ft.);
2. To permit five (5) accessory structures;
3. To permit a combined gross floor area of 220.84 sq.m (2377.10 sq. ft.) for five (5) accessory structures (cabana 1, cabana 2, pergola, shed and fireplace).

(8 TORTOISE COURT, LOT 11, PLAN M-90)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: A.C. Marques

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

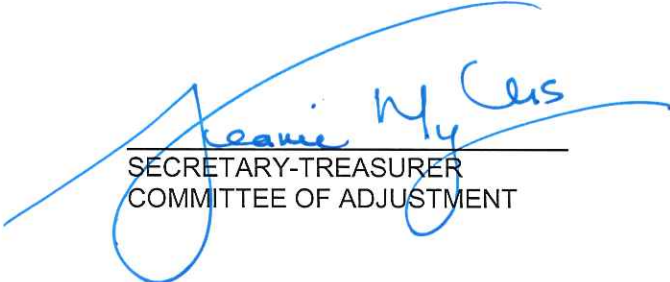
DAVID COLP, MEMBER

ANA CRISTINA MARQUES, MEMBER

DATED THIS 24TH DAY OF AUGUST, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 13, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca


THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0169**

DATED: **August 3, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the applicant submits \$610 review fee to TRCA as outlined in their letter dated August 17, 2021;
3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

FILE NUMBER A-2021-0170

HEARING DATE AUGUST 24, 2021

APPLICATION MADE BY TARIG ABDELMONIM AND EINAS KHAIRY

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a deck encroachment of 4.29m (14.07 ft.) into the required rear yard, resulting in a rear yard setback of 3.21m. (10. 53 ft.)

(4 TEABERRY TERRACE, LOT 347, PLAN 43M-1883)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: R. Power

SECONDED BY: D. Doerfler

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

DESIREE DOERFLER, MEMBER

ROD POWER, MEMBER

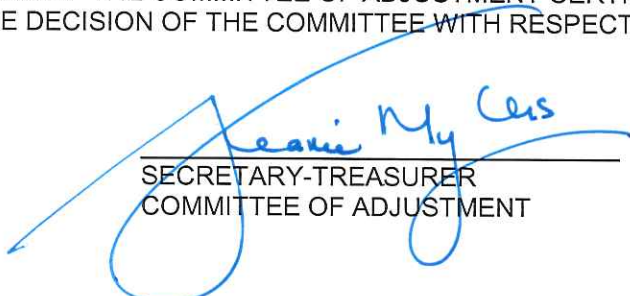
DAVID COLP, MEMEBR

ANA CRISTINA MARQUES, MEMBER

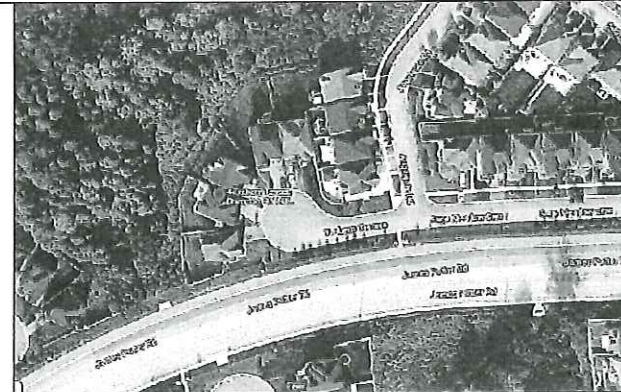
DATED THIS 24TH DAY OF AUGUST, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 13, 2021

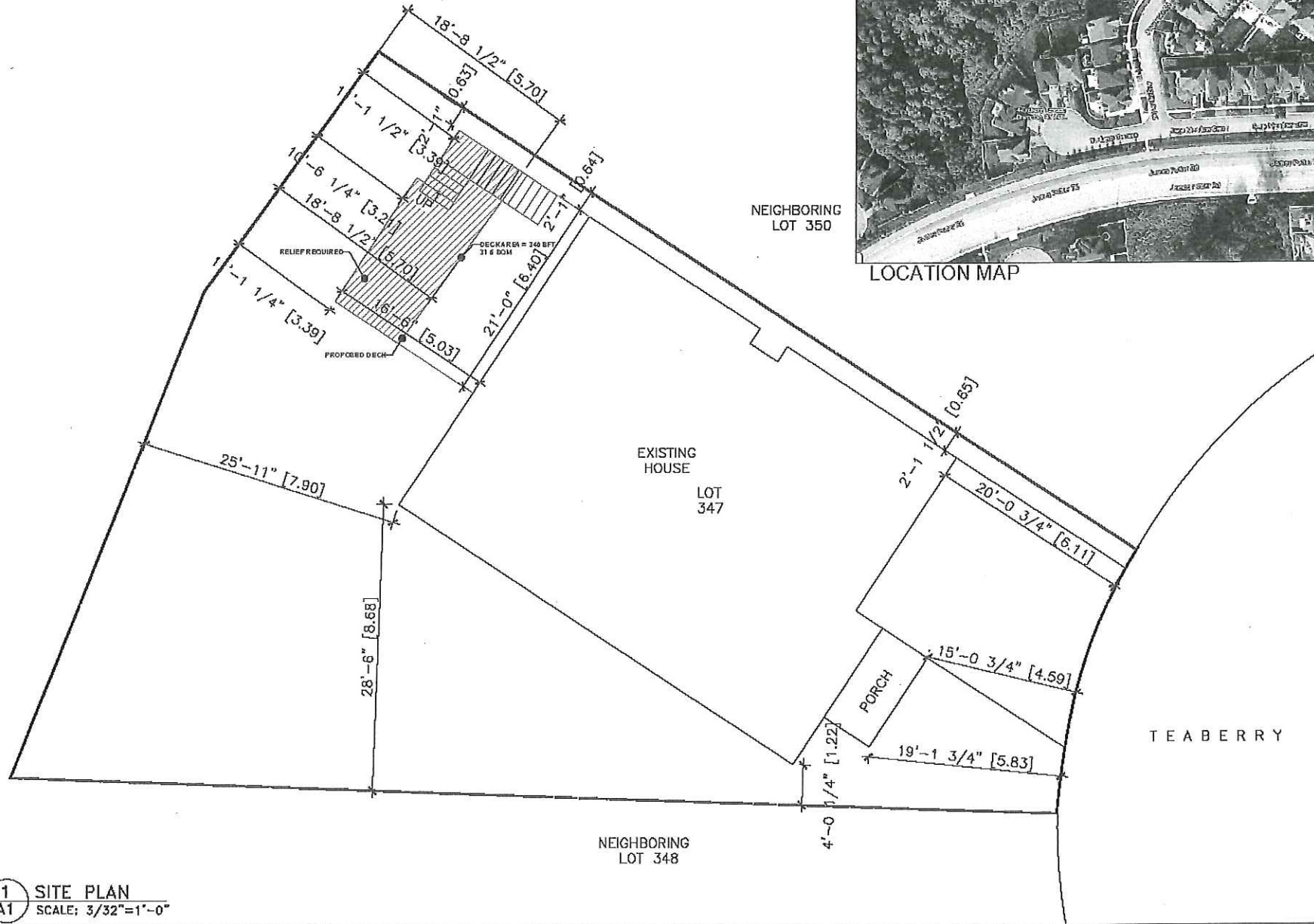
I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.


SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

DECK APPROVAL
4 Teaberry Terrace, Brampton, ON



LOCATION MAP



ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

DRAWINGS NOT TO BE SCALED AND REPRODUCED.

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

THESE DRAWINGS ARE PREPARED ONLY FOR THE MENTIONED BELOW APPROVAL, NOT TO BE USED FOR ANY OTHER PURPOSE AND CONSTRUCTION.

1	ISSUED FOR BUILDING PERMIT	APR. 2021
No.	ISSUED	DATE

PROJECT MANAGEMENT CONSULTANT

ARCHITECT MAZHAR RAJA




CAPRIJA CORPORATION
 Architecture, Construction and
 Project Management Consultants
 1485 CLARK BLVD., MILTON, ONT. L9T 4M5
 Tel: 647 693 6108, 647 969 9699
 Email: info@caprija.com | Web: www.caprija.com

CLIENT
4 Teaberry Terrace, Brampton,
ON. L6Y 0Y1

PROJECT
DECK APPROVAL

DRAWING
SITE PLAN

PROJECT NO	221046
DRAWN	AS
PLOTTED DATE	APR 27, 2021
SCALE	AS NOTED
CHECKED	MR



DWG. NO. **A1**

1 SITE PLAN
A1 SCALE: 3/32"=1'-0"

FILE NUMBER A-2021-0171

HEARING DATE AUGUST 24, 2021

APPLICATION MADE BY TAKOL STEELTON INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit offices of accredited or licensed professionals;
2. To permit an existing fitness centre;
3. To permit an existing motor vehicle rental establishment;
4. To permit 448 parking spaces;
5. To permit a 2.4m (7.87 ft.) wide open space landscaped strip along the lot line abutting Steeles Avenue East.

(2074, 2080, 2084 STEELES AVENUE EAST, PART OF BLOCKS A AND B, AND ALL OF BLOCK C, PLAN 766, PARTS 3 TO 5, PLAN 43R-3297)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: D. Colp

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

ANA CRISTINA MARQUES, MEMBER

ROD POWER, MEMBER

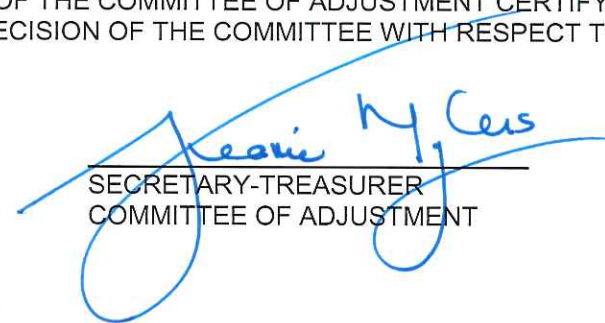
DAVID COLP, MEMBER

NOTE: MEMBER D. DOERFLER DECLARED A CONFLICT OF INTEREST

DATED THIS 24TH DAY OF AUGUST, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 13, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.


SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca

THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0171**

DATED: **August 3, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the requirement for parking for any combination of uses permitted within the 'M2" zone shall not exceed 499 parking spaces to ensure that the permissions granted by the variance do not create a further parking reduction should the uses on the site be altered, altering the ultimate parking requirement;
3. That the owner finalize draft plan of condominium and site plan approval under City File DPC-2021-0001 and SPA-2021-0044, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services;
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

GENERAL NOTE:

THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF MAINLINE PLANNING SERVICES INC. THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION WITHOUT THE PERMISSION OF MAINLINE PLANNING SERVICES INC. AND UNLESS SEALED AND SIGNED BY THE ARCHITECT/ENGINEER. REPRODUCTION OF THESE DRAWINGS WITHOUT THE CONSENT OF MAINLINE PLANNING SERVICES INC. IS STRICTLY PROHIBITED.

DO NOT SCALE THESE DRAWINGS. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO: MAINLINE PLANNING SERVICES INC.

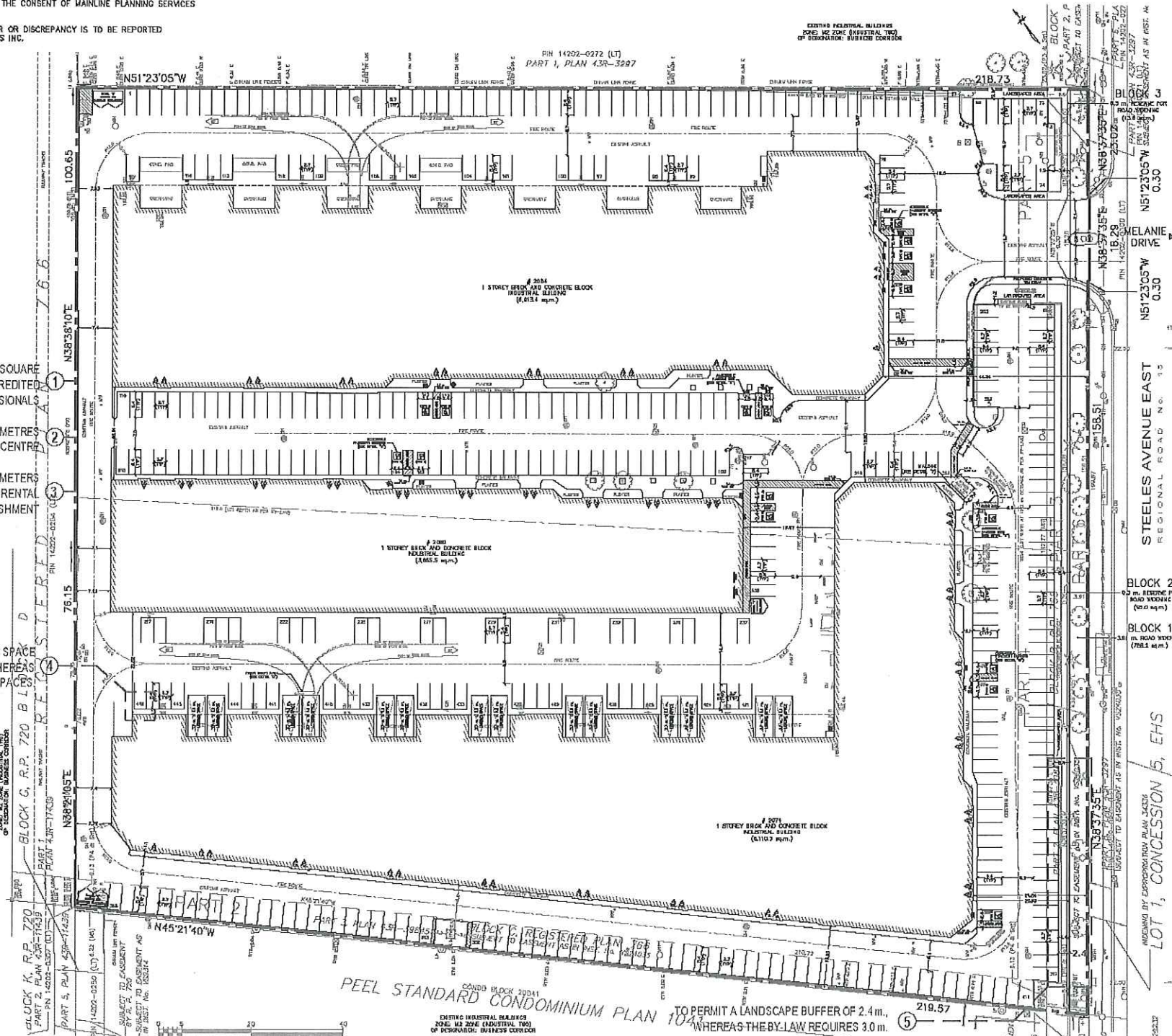
TO PERMIT A MAXIMUM OF 1,155 SQUARE METRES OF GFA FOR OFFICES OF ACCREDITED OR LICENSED PROFESSIONALS

TO PERMIT A MAXIMUM OF 190 SQUARE METRES OF GFA FOR A FITNESS CENTRE

TO PERMIT A MAXIMUM OF 215 SQUARE METERS OF GFA FOR A MOTOR VEHICLE RENTAL ESTABLISHMENT

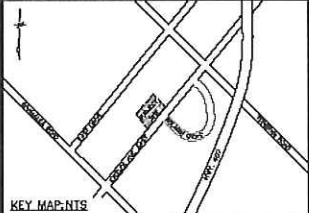
TO REDUCE THE PARKING SPACE REQUIREMENT TO 448 SPACES, WHEREAS THE BY-LAW REQUIRES MINIMUM 499 SPACES

- LEGEND:**
- IB DENOTES IRON BAR
 - CP DENOTES CONCRETE PIN
 - BC DENOTES BACK OF CURB
 - BD DENOTES BOTTOM OF RAMP
 - OD DENOTES OVERHEAD DOOR
 - UP DENOTES UTILITY POLE
 - SE DENOTES SIGN
 - LP DENOTES LIGHT POST
 - HY DENOTES HYDRO VAULT
 - GW DENOTES GUY WIRE
 - BP DENOTES BELL PEDIMENTAL
 - MH DENOTES MANHOLE
 - NW DENOTES MONITORING WELL
 - GM DENOTES GAS METER
 - WV DENOTES WATER VALVE
 - CV DENOTES CULVERT
 - PH DENOTES FIRE HYDRANT
 - CV DENOTES GAS VALVE
 - BH DENOTES BORE HOLE
 - BD DENOTES BILLBOARD
 - FTE DENOTES FINISHED FLOOR ELEVATION
 - OSE DENOTES GARAGE SLAB ELEVATION
 - CE DENOTES CATCH BASIN
 - TR DENOTES TOP OF RAMP
 - TRM DENOTES TOP OF RETAINING WALL
 - UP DENOTES UTILITY POLE
 - SD DENOTES SNAKE CONNECTION
 - BRW DENOTES BOTTOM OF RETAINING WALL
 - EA DENOTES EDGE OF ASPHALT
 - PA DENOTES ACCESSIBLE PARKING SIGN
 - OH DENOTES OVERHEAD UTILITY WIRES
 - WF DENOTES WIRE FENCE
 - CT DENOTES CONFERENTIAL TREE
 - DT DENOTES DECIDUOUS TREE
 - SP DENOTES SPOT ELEVATION



LAND USE SCHEDULE

TOTAL SITE AREA	=	41,181.5 sq.m. (100.00)
TOTAL BUILDING ENVELOPE	=	18,889.2 sq.m. (45.4%)
2074 STEELES	=	4,710.3 sq.m.
2080 STEELES	=	2,845.5 sq.m.
2084 STEELES	=	1,333.4 sq.m.
BLOCK 1 - ROAD MOVENING	=	786.2 sq.m. (1.9%)
BLOCKS 2 & 3 - 0.3 m. RESERVE	=	108.6 sq.m. (0.3%)
TOTAL LANDSCAPED AREA	=	2,101.0 sq.m. (5.1%)
TOTAL ASPHALT AREA	=	16,196.3 sq.m. (47.3%)
TOTAL EXPOSED CONDO UNITS - 65		
2074 STEELES - 16		
2080 STEELES - 16		
2084 STEELES - 20		
BUILDING HEIGHT - ±3.1 m (ONE STOREY)		
GARAGE - STORED IN ENCLOSURES		
REQUIRED PARKING - 499 TOTAL (INC. 11 ACCESSIBLE SPACES)		
PROVIDED PARKING - 448 TOTAL (INC. 18 ACCESSIBLE SPACES)		
REQUIRED LOADING SPACE - 7		
PROVIDED LOADING SPACE - 14		
EXISTING ZONING - (M2) INDUSTRIAL TWO		
PROPOSED ZONING - (M2) INDUSTRIAL TWO		
EXISTING USE OF LAND - BUSINESS CORRIDOR		
PROPOSED USE OF LAND - BUSINESS CORRIDOR		
ADJACENT USE OF LAND - SEE PLAN		
NOTE: NO PARKING SPACE SHALL BE ASSIGNED TO INDIVIDUAL UNITS		



LEGAL DESCRIPTION

PLAN OF SURVEY OF PART OF BLOCKS A AND B AND ALL OF BLOCK C REGISTERED PLAN 706 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

NOTE: ALL SURVEY INFORMATION PROVIDED BY PEERAY DEVER ONTARIO LAND SURVEYORS INC. 180 PARKWAY ROAD, SUITE 30 ALLESTREE, ONTARIO L7R 1A1

NO.	DATE	DESCRIPTION	BY
1	JUL-21	ISSUED FOR MUNICIPAL APPROVAL	N.L.
REVISIONS			

mainline
planning services inc.

PH (905) 893-0046 FAX (888) 370-9474
P.O. BOX 319, KLEINBURG, ONTARIO, L0J 1C0

DRAWING TITLE

MINOR VARIANCE

PROJECT

2074, 2080, 2084 STEELES AVENUE EAST BRAMPTON

DEVELOPER/OWNER

TAKOL STEELTON INC.

DRAWN	CHECKED	SCALE	DWG. NO.
K.A.R.	N.L.	1 = 400	MV-1
DATE	ISSUED	CITY FILE NO.	
JUL-21	J.P.P.		

FILE NUMBER A-2021-0176

HEARING DATE AUGUST 24, 2021

APPLICATION MADE BY TAKOL CMCC RUTHERFORD GP INC.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION FOR THE FOLLOWING VARIANCE(S):

1. To permit a rear yard setback of 3.0m (9.84 ft.) to a hydro transformer.

(286 RUTHERFORD ROAD SOUTH, PT. OF LOTS 1 AND 2, CONC. 2 EHS, PTS. 9 TO 16, PLAN 43R-795)

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)

SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

MOVED BY: A.C. Marques

SECONDED BY: R. Power

CHAIR OF MEETING: RON CHATHA

WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION

AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 24, 2021

RON CHATHA, MEMBER

ANA CRISTINA MARQUES, MEMBER

ROD POWER, MEMBER

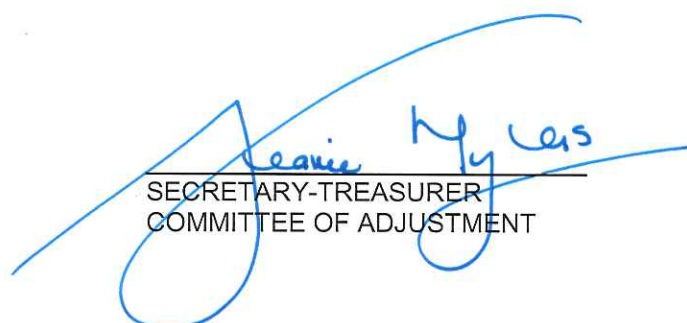
DAVID COLP, MEMBER

NOTE: MEMBER D. DOERFLER DECLARED A CONFLICT OF INTEREST

DATED THIS 24TH DAY OF AUGUST, 2021

NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 13, 2021

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.



SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City



brampton.ca


THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2021-0176**

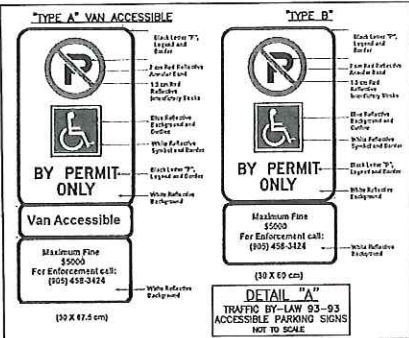
DATED: **August 3, 2021**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Notice of Decision;
2. That the owner finalize site plan approval under City File SPA-2020-0120, execute a site plan agreement, and post any required financial securities and insurance to the satisfaction of the Director of Development Services
3. That through the site plan approval process, the owner shall provide appropriate landscaping to soften the appearance of the utility equipment; and,
4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.



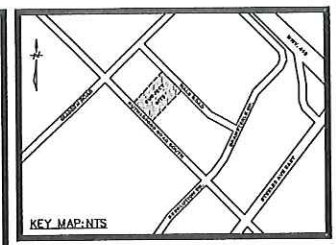
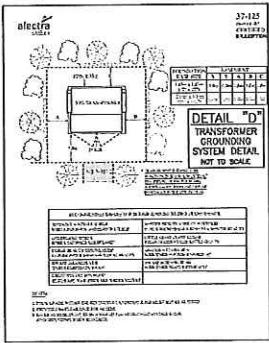
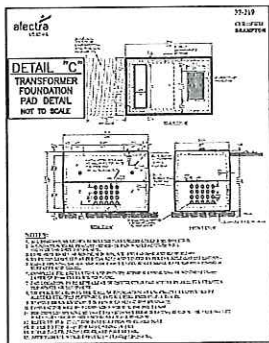
Jeanie Myers
Secretary-Treasurer
Committee of Adjustment



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CONSTRUCTION NOTES:
 PLEASE REFER TO THE SITE SERVING AND GRADING PLAN PREPARED BY EXP.



LAND USE SCHEDULE

TOTAL SITE AREA	= 22,960.5 sq.m. (100.0%)
TOTAL BUILDING ENVELOPE	= 11,891.8 sq.m. (51.8%)
TOTAL LANDSCAPED AREA	= 2,316.9 sq.m. (10.0%)
TOTAL ASPHALT AREA	= 8,751.8 sq.m. (38.2%)

TOTAL PROPOSED CONDO UNITS = 13

UNIT NUMBER	UNIT GEA
UNIT 1	553.7 sq.m.
UNIT 2	1,007.0 sq.m.
UNIT 3	1,066.0 sq.m.
UNIT 4	938.9 sq.m.
UNIT 5	1,004.6 sq.m.
UNIT 6	972.6 sq.m.
UNIT 7	992.4 sq.m.
UNIT 8	899.3 sq.m.
UNIT 9	938.9 sq.m.
UNIT 10	1,331.7 sq.m.
UNIT 11	1,103.7 sq.m.
UNIT 12	490.2 sq.m.
UNIT 13	400.4 sq.m.

COMMON AREAS
 ELECTRICAL ROOMS 52.1 sq.m.

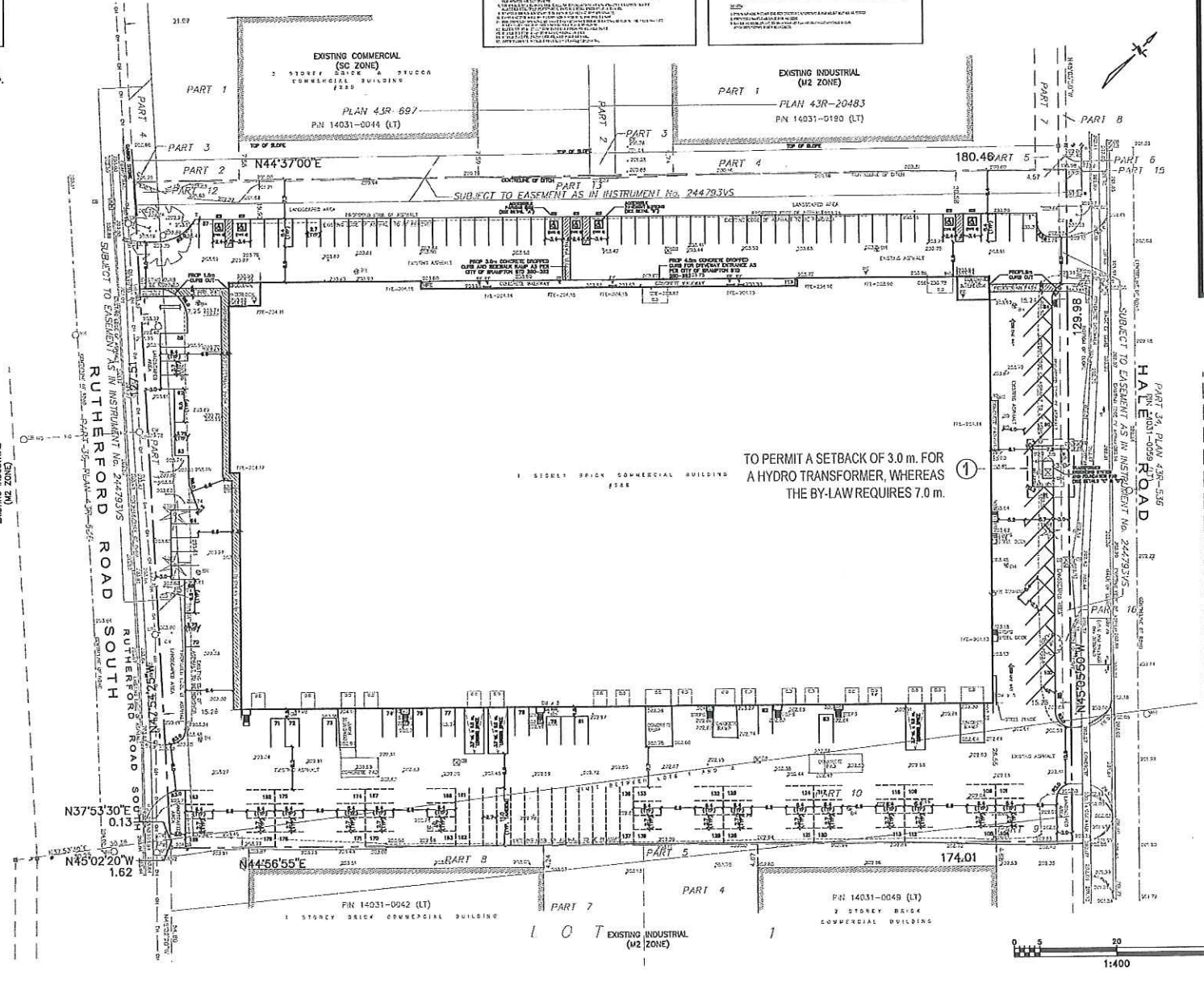
BUILDING HEIGHT = ±5.0 m (ONE STOREY)
SURFACE = STORED INDOORS

REQUIRED PARKING = 183 TOTAL AS PER MINOR VARIANCE A-2020-0159 (INC. 7 ACCESSIBLE SPACES)
PROVIDED PARKING = 186 TOTAL (INC. 7 ACCESSIBLE SPACES)
REQUIRED LOADING SPACE = 3
PROVIDED LOADING SPACE = 3

EXISTING ZONING = (M2) INDUSTRIAL TWO
PROPOSED ZONING = (M2) INDUSTRIAL TWO
EXISTING USE OF LAND = INDUSTRIAL
PROPOSED USE OF LAND = INDUSTRIAL
ADJACENT USE OF LAND = SEE PLAN

NOTE: NO PARKING SPACE SHALL BE ASSIGNED OR SOLD TO UNITS.

- LEGEND:**
- IB DENOTES IRON BAR
 - CP DENOTES CONCRETE PIN
 - APS DENOTES ACCESSIBLE PARKING SIGN (SEE DETAIL 'A')
 - OW DENOTES PROPOSED ONE WAY SIGN
 - DNE DENOTES PROPOSED DO NOT ENTER/ONE WAY SIGN
 - PE DENOTES PRIMARY UNIT ENTRANCE (SEE DETAIL 'A')
 - CC DENOTES CUT CROSS
 - O.D DENOTES OVERHEAD DOOR
 - UP DENOTES UTILITY POLE
 - S DENOTES SIGN
 - GW DENOTES GUY WIRE
 - BF DENOTES BELL PEDESTAL
 - MH DENOTES MANHOLE
 - GM DENOTES GAS METER
 - WV DENOTES WATER VALVE
 - CV DENOTES CULVERT
 - FH DENOTES FIRE HYDRANT
 - GV DENOTES GAS VALVE
 - TBR DENOTES EXISTING TREE TO BE REMOVED (SEE LANDSCAPE PLAN)
 - BH DENOTES BORE HOLE / MONITORING WELL
 - BO DENOTES BOLLARD
 - FFE DENOTES FINISHED FLOOR ELEVATION
 - OSE DENOTES GARAGE SLAB ELEVATION
 - CB DENOTES CATCH BASIN
 - OH- DENOTES OVERHEAD UTILITY WIRES
 - X-X- DENOTES WIRE FENCE
 - * DENOTES CONIFEROUS TREE
 - DENOTES DECIDUOUS TREE
 - DENOTES SPOT ELEVATION



TO PERMIT A SETBACK OF 3.0 m. FOR A HYDRO TRANSFORMER, WHEREAS THE BY-LAW REQUIRES 7.0 m.

LEGAL DESCRIPTION
 PLAN OF SURVEY OF PART OF LOTS 1 AND 2, CONCESSION 2 EAST OF HURONTARIO STREET (FORMERLY THE TOWNSHIP OF CHINGUACOUSY) CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

NOTE: SURVEY INFORMATION PROVIDED BY ROCKNEY SEYER, ONTARIO LAND SURVEYOR INC. 180 PARSONS ROAD, UNIT 29 ALLSTON, ONTARIO L2R 9K1

NO.	DATE	DESCRIPTION	BY
1	AUG-21	ISSUED FOR MUNICIPAL APPROVAL	J.L.O.

REVISIONS

mainline
 planning services inc.

PH (905) 893-0046 FAX (888) 370-9474
 P.O. BOX 319, KLEINBURG, ONTARIO, L0J 1C0

DRAWING TITLE
 MINOR VARIANCE APPLICATION

PROJECT
 286 RUTHERFORD ROAD SOUTH
 BRAMPTON

DEVELOPER/OWNER
 TAKOL CMCC RUTHERFORD GP INC.

DRAWN	CHECKED	SCALE	DWG. NO.
K.A.R.	J.L.O.	1 = 400	MV1
DATE	ISSUED	CITY FILE NO.	
AUG-21	J.L.O.	SPA-2020-0120	