# Agenda
# Committee of Adjustment
# The Corporation of the City of Brampton

| | |
|---|---|
| **Date:** | Tuesday, December 6, 2022 |
| **Time:** | 9:00 a.m. |
| **Location:** | Hybrid Meeting - Virtual Option & In-Person in Council Chambers – 4th Floor – City Hall |
| **Members:** | Ron Chatha (Chair)<br>Desiree Doerfler (Vice-Chair)<br>Ana Cristina Marques<br>David Colp |

The CoA meeting agenda, including minor variance and consent applications only, is published two Fridays prior to the scheduled Hearing date and the revised agenda, including staff reports and additional correspondence, etc. related to each application, is published the Friday prior to the scheduled Tuesday Hearing date.

NOTICE: In-person public attendance at the meeting may be limited due to prevailing public health gathering requirements. Public and other meeting participants are encouraged to observe meetings online or participate remotely by contacting the City Clerk's Office through the contact details below.

For inquiries about this agenda, or to make arrangements for accessibility accommodations (some advance notice may be required), please contact:
Jeanie Myers, Secretary-Treasurer, Telephone 905.874.2117, cityclerksoffice@brampton.ca

1. Call to Order

2. Adoption of Minutes

3. Region of Peel Comments

4. Declarations of Interest under the Municipal Conflict of Interest Act

5. Withdrawals/Deferrals

6. NEW CONSENT APPLICATIONS

6.1. B-2022-0021

2667812 ONTARIO INC.

120 SUMMERLEA ROAD

PART OF LOT 3, CONCESSION 6 E.H.S., WARD 8

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 25,219 square metres (6.23 acres). The proposed severed lot has a frontage of approximately 67.79 metres (222.40 feet), a depth of approximately 190.20 metres (624 feet) and an area of approximately 9,794 square metres (2.42 acres). The effect of the application is to establish two separate lots from the existing lot to facilitate future development for industrial purposes.

## 6.2. B-2022-0022

CHOICE PROPERTIES REIT

55 HEREFORD STREET/1 PRESIDENT'S CHOICE CIRCLE

PART OF BLOCK 6, PLAN 43M-1673, PARTS 1 TO 3, PLAN 43R-29777, WARD 6

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 5.18 hectares (12.80 acres), together with easements for shared access, servicing and stormwater management. The proposed severed lot has a frontage of approximately 224.23 metres (735.66 feet), a depth of approximately 218.48 metres (716.80 feet) and an area of approximately 1.18 hectares (2.92 acres). The effect of the application is to establish two separate lots from the existing lot, each lot occupied by an office building. (Office A and Office B).

## 6.3. B-2022-0023

TOP END CONSTRUCTION INC.

8917 HERITAGE ROAD

PART OF LOT 5, CONCESSION 5 WHS, WARD 6

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 0.08 hectares (0.21 acres). The proposed severed lot has a frontage of approximately 12.29 metres (40.32 feet), a depth of approximately 31.35 metres (102.85 feet) and an area of approximately 0.357 hectares (0.09 acres). The effect of the application is to facilitate a land exchange for completion of future residential lots.

## 6.4. B-2022-0024

TOP END CONSTRUCTION INC.

8917 HERITAGE ROAD

PART OF LOT 5, CONCESSION 5 WHS, WARD 6

The purpose of the application is to request consent to sever a parcel of land currently having a total area of 0.08 hectares (0.21 acres). The proposed severed lot has a frontage of approximately 12.05 metres (39.53 feet), a depth of approximately 31.35 metres (102.85 feet) and an area of approximately 0.012 hectares (0.03 acres). The effect of the application is to facilitate a land exchange for completion of future residential lots.

## 7. DEFERRED CONSENT APPLICATIONS

## 7.1. B-2022-0003

MANUPRIYA SHARMA

43 DAVID STREET

LOT 24, PLAN BR-32, PART 2, PLAN 43R-9448, WARD 1

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 876.5 square metres (0.22 acres). The proposed severed lot has a frontage of approximately 9.07 metres (29.76 feet); a depth of approximately 48.3 metres (158.46 feet) and an area of approximately 438.2 square metres (0.011 acres). It is proposed that 2 lots be established from the existing lot for future residential development of a single detached dwelling on each lot.

*Related Minor Variance Applications: A-2022-0047 & A-2022-0048 (Agenda Item 9.2 & 9.3)*

## 7.2. B-2022-0013

13172589 CANADA INC.

9224 CREDITVIEW ROAD

PART OF LOT 7, CONCESSION 4 WHS, PART 4, PLAN 43R-30530, WARD 5

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 0.70 hectares (1.74 acres). The proposed severed lot has a frontage of approximately 19.62 metres (64.37 feet), a depth of approximately 31.36 metres (1052.89 feet) and an area of approximately 0.07 hectares (0.17 acres). The effect of the application is to create a new residential lot for future development of a single detached dwelling.

*Related Minor Variance Application: A-2022-0319 (Agenda Item 9.10)*

## 8. NEW MINOR VARIANCE APPLICATIONS

## 8.1. A-2022-0351

ARSHPREET MALHI AND RAJDEEP SINGH SANDHU

9 DANDELION ROAD

LOT 96, PLAN 43M-1204, WARD 9

The applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an interior side yard setback of 0.0m to an exterior stairway leading to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);
3. To permit an accessory structure (storage shed) having a 0.0m setback to the side and rear property lines whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest property lines for an accessory structure.

## 8.2. A-2022-0352

ADIL KHAN AND ANEELA KHAN

55 VELVET GRASS LANE

PART OF LOT 110, PLAN M-1222, PARTS 66, 67, PLAN 43R-22487, WARD 9

The applicants are requesting the following variance(s):

1. To permit a second unit in a quattroplex whereas the by-law does not permit a second unit in a quattroplex;
2. To permit a driveway width of 7.70m (25.26 ft.) whereas the by-law permits a maximum driveway width of 5.5m (18 ft.).

## 8.3. A-2022-0353

KAVALJIT KAUR

693 PETER ROBERTSON BOULEVARD

LOT 71, PLAN M-1085, WARD 9

The applicant is requesting the following variance(s):

1. To permit a rear yard setback of 3.12m (10.24 ft.) to an existing deck whereas the by-law requires a minimum rear yard setback of 4.5m (14.76 ft.);
2. To permit a driveway width of 8.48m (27.82 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
3. To permit 0.0m of permeable landscaping abutting a property line whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip abutting the side property line.

## 8.4. A-2022-0354

SREENATH KUNDORRI AND SHAILAJA KUNDOORI

73 BRUSHWOOD DRIVE

PART OF BLOCKS 49 AND 119, PLAN 43M-2050, PARTS 1 AND 16, PLAN 43R-39851, WARD 6

The applicants are requesting the following variance(s):

1. To permit a 5.54m (181.18 ft.) separation distance between a driveway and the point of intersection of two streets whereas the by-law requires a minimum separation distance of 6.0m (19.68 ft.) between a driveway and the point f intersection of two streets.

## 8.5. A-2022-0355

RAKESH CHAUCHAN AND HARSHA CHAUCHAN

19 TALL OAKS PLACE

LOT 6, PLAN M-1130, WARD 9

The applicants are requesting the following variance(s):

1. To permit a front yard setback of 2.82m (9.25 ft.) to a proposed building addition (porch enclosure) whereas the by-law requires a minimum front yard setback of 6.0m (19.68 ft.);
2. To permit a driveway width of 9.15m (30 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
3. To permit a porch encroachment of 4.10m (13.45 ft.) in the required front yard resulting in a front yard setback of 1.9m (6.23 ft.) whereas the by-law permit a porch encroachment of 1.8m (5.91 ft.) into the required front yard, resulting in a front yard setback of 4.2m (13.78 ft.).

## 8.6. A-2022-0356

1146966 ONTARIO LTD.

63 EASTERN AVENUE

PART OF LOTS 1 AND 2, PLAN 518, WARD 3

The applicant is requesting the following variance(s):

1. To permit a front yard setback of 1.5m (4.92 ft.) to a hydro transformer whereas the by-law requires a minimum front yard setback of 15 m (49.21 ft.);
2. To permit a side yard setback of 1.6m (5.25 ft.) to a hydro transformer whereas the by-law requires a minimum side yard depth of 3.0m (9.84 ft.).

## 8.7. A-2022-0357

FARZIN HAKIMI LOTFABAD

259 ROBERT PARKINSON DRIVE

PART OF LOT 4, PLAN 43M-1924, PART 3, PLAN 43R-35544, WARD 6

The applicant is requesting the following variance(s):

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit a below grade entrance within a required interior side yard;
2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);
3. To permit an accessory structure (gazebo) having a gross floor area of 17.84 sq. m (192 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.).

## 8.8. A-2022-0358

GURPREET KALRA

46 ABIGAL GRACE CRESCENT

LOT 82, PLAN 43M-2063, WARD 6

The applicant is requesting the following variance(s):

1. To permit a deck and associated landing encroachment of 4.95m (16.24 ft.) into the required rear yard resulting in a rear yard setback of 2.55m (8.37 ft.) whereas the by-law permits a deck encroachment of 3m (9.84 ft.) resulting in rear yard setback of 4.5m (14.76 ft.).

## 8.9. A-2022-0359

NILAM SHAH AND BHAVIN SHAH

42 LYLE WAY

LOT 60, PLAN 43M-3030, WARD 8

The applicants are requesting the following variance(s):

1. To permit an accessory structure (gazebo) having a building height of 3.327m (10.92 ft.) whereas the by-law permits a maximum building height of 3.0m (9.84 ft.) for an accessory structure;
2. To permit an accessory structure (gazebo) having a gross floor area of 22.67 sq. m (244 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
3. To permit setbacks of 0.66m (2.17 ft.) and 0.58m (1.90 ft.) to an uncovered pool or recreational facility whereas the by-law requires a minimum setback of 1.2m (3.94 ft.) to the nearest lot lines;
4. To permit a driveway width of 10.28m (33.73 ft.) whereas the by-law permits a maximum driveway width of 9.14m (30 ft.);
5. To permit 0.0m of permeable landscaping abutting the property line whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip abutting both property lines;
6. To permit a recreational facility to be located within a required interior side yard resulting in an interior side yard setback of 0.782m (2.57 ft.) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.) to a recreational facility.

## 8.10. A-2022-0360

2418851 ONTARIO LTD.

159 RUTHERFORD ROAD SOUTH

PART OF LOT 3, CONCESSION 2 EHS, WARD 3

The applicant is requesting the following variance(s):

1. To permit an office use (not accessory to a permitted use) having a proposed gross floor area of 214 square metres whereas the by-law does not permit an office.

*Note: Approval granted under application A-2020-0044 limited the office area to a maximum of 78 square metres.*

## 8.11. A-2022-0361

SONEIL MISSISSAUGA INC.

350 RUTHERFORD ROAD SOUTH, UNIT 10

PART OF LOT 1, CONCESSION 2 EHS, WARD 3

The applicant is requesting the following variance(s):

1. To permit a private school to operate from Unit 10 whereas the by-law does not permit the proposed use.

## 8.12. A-2022-0362

THAKUR VIRSINGH AND HARPREET KAUR

31 BROWLEY DRIVE

PART OF LOT 1, CONCESSION 2 EHS, WARD 6

The applicants are requesting the following variance(s):

1. To permit a below grade entrance between the main wall of a dwelling and the flankage lot line whereas the by-law prohibits below grade entrances between the main wall of a dwelling and a flankage lot line;
2. To permit an exterior side yard setback of 1.2m (3.94 ft.) to a proposed below grade entrance whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.).

## 8.13. A-2022-0363

SANJANA PATIL AND SACHIN PATIL

10 HOWLAND CRESCENT

LOT 133, PLAN 43M-1532, WARD 6

The applicants are requesting the following variance(s):

1. To permit a rear yard setback of 3.14m (10.30 ft.) to a building addition whereas the by-law requires a minimum rear yard setback of 6.0m (19.68 ft.) provided the area of the rear yard is at least 25% of the minimum required lot area;
2. To permit a rear yard setback of 1.54m (8.05 ft.) to an as-built deck whereas the by-law requires a minimum rear yard setback of 3.0m (9.84 ft.);
3. To permit a maximum height of 2.0m (6.56 ft.) for a fence/privacy screen on the deck whereas the by-law permits a maximum height of 1.8m (5.91 ft.).

## 8.14. A-2022-0364

2840388 ONTARIO INC.

4 RAVINDER COURT

PART OF BLOCK 111, PLAN M-653 , PART 4, PLAN 43R-21300, WARD 2

The applicants are requesting the following variance(s):

1. To permit interior side yard setbacks of 1.48m (4.86 ft.) and 1.31m (4.30 ft.) to a second storey whereas the by-law requires minimum side yard setbacks of 1.8m (5.91 ft.) to a second storey;
2. To permit a building height of 10.75m (35.27 ft.) whereas the by-law permits a maximum building height of 10.5m (34.45 ft.);
3. To permit lot coverage of 44.5% whereas the by-law permits a maximum lot coverage of 35%;
4. To permit a 0.19m (0.62 ft.) wide permeable landscape strip abutting the side lot line whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip abutting the side lot line.

## 8.15. A-2022-0365

RAJIV KRISHNA AND YASHIKAA ARORA

2 INTRIQUE TRAIL

LOT 107, PLAN 43M-1818, WARD 5

The applicants are requesting the following variance(s):

1. To permit a 0.18m (0.60 ft.) wide permeable landscape strip between the side lot line and the driveway whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip between the side lot line and the driveway;
2. To permit two (2) existing accessory structures (sheds) to be located in the exterior side yard whereas the by-law does not permit accessory structures in the exterior side yard;
3. To permit a side yard setback of 0.56m (1.84 ft.) to two (existing 2) accessory structures (sheds) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to an accessory structure.

## 8.16. A-2022-0366

GURBINDER SINGH AND SANDEEP KAUR

4 INTRIQUE TRAIL

LOT108, PLAN 43M-1818, WARD 5

WHEREAS the applicants are requesting the following variance(s):

1. To permit a driveway width of 8.89m (29.17 ft.) whereas the by-law permits a maximum driveway width of 6.17m (22 ft.);
2. To permit a 0.27m (0.89 ft.) wide permeable landscape strip between the side lot line and the driveway whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip between the side lot line and the driveway.

## 8.17. A-2022-0367

TAN DAI HUYNH

9 BROWN BUSH WAY

LOT 60, PLAN 43M-1934, WARD 9

The applicants are requesting the following variance(s):

1. To permit an exterior side yard setback of 1.73m (5.68 ft.) to an addition (enclosed below grade entrance) whereas the by-law requires a minimum exterior side yard setback of 3.0m (93.84 ft.);
2. To permit 0.0m of permeable landscaping between the side lot line and the driveway whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip between the side lot line and the driveway.

## 8.18. A-2022-0368

BHUPINDERJEET DHILLON AND HARJINDER DHILLON

12 MOONLIGHT PLACE

LOT 60, PLAN 43M-1934, WARD 10

The applicants are requesting the following variance(s):

1. To permit a building height of 13.26m (45.50 ft.) whereas the by-law permits a maximum building height of 10.6m (34.78 ft.);
2. To permit a fence height of 2.0m (6.56 ft.) in the minimum required front yard whereas the by-law permits a maximum height of 1.0m (3.28 ft.) for a fence in the minimum required front yard;
3. To permit a fence height of 2.5m (8.20 ft.) in the side and rear yards whereas the by-law permits a maximum height of 2.0m (6.56 ft.) for a fence in the side and rear yards;
4. To permit an accessory structure (cabana) having a gross floor area of 30 sq. m (322.92 sq. ft.) whereas the by-law permits a maximum gross floor area of 23 sq. m (247.57 sq. ft.) for an individual accessory structure;
5. To permit an accessory structure (cabana) having a height of 5.0m (16.40 ft.) to the top of the flat roof whereas the by-law permits a maximum height of 3.5m (11.48 ft.) for a flat roof;
6. To provide 67% of the required front yard as landscaped open space whereas the by-law requires a minimum of 70% of the required front yard to be landscaped open space;
7. To permit a height of 2.74m (9.0 ft.) for garage doors whereas the by-law permits a maximum garage door height of 2.4m (7.87 ft.).

## 8.19. A-2022-0369

BIJOY PAUL KALLIKKATTUKUDY AND REEMA KURIAKO THEKKEKUNNEL

45 SEDGEWICK CIRCLE

LOT 277, PLAN 43M-1496, WARD 6

The applicants are requesting the following variance(s):

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit a below grade entrance in a required interior side yard;
2. To permit an interior side yard setback of 0.15m (0.50 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);
3. To permit an existing accessory structure (gazebo) having a side yard setback and a rear yard setback of 0.15m (0.50 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest property lines;
4. To permit an existing accessory structure (shed) having a side yard setback and a rear yard setback of 0.3m (0.98 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest property lines.

# 9. DEFERRED MINOR VARIANCE APPLICATIONS

## 9.1. A-2022-0022

BRANTHAVEN CREDITVIEW INC.

8940 CREDITVIEW ROAD

PART OF LOT 5, CONCESSION 4 W.H.S., PART 1, PLAN 43R-14727, WARD 4

The applicant is requesting the following variance(s):

1. To permit a temporary sales office for a period of three (3) years whereas the by-law does not permit the proposed use in an Agricultural Zone.

## 9.2. A-2022-0047

MANUPRIYA SHARMA

43 DAVID STREET

LOT 24, PLAN BR-32, PART 2, PLAN 43R-9448, WARD 1

The applicant is requesting the following variance(s) associated with the proposed “retained” lot under consent application B-2022-0003:

1. To permit a lot area of 438.2 square metres whereas the by-law requires a minimum lot area of 450 square metres;
2. To permit a lot width of 9.07 metres whereas the by-law requires a minimum lot width of 15 metres.

*Related Consent Application: B-2022-0003 (Agenda Item 7.1)*

## 9.3. A-2022-0048

MANUPRIYA SHARMA

43 DAVID STREET

LOT 24, PLAN BR-32, PART 2, PLAN 43R-9448, WARD 1

The applicant is requesting the following variance(s) associated with the proposed “severed” lot under consent application B-2022-0003:

1. To permit a lot area of 438.2 square metres whereas the by-law requires a minimum lot area of 450 square metres;
2. To permit a lot width of 9.07 metres whereas the by-law requires a minimum lot width of 15 metres.

*Related Consent Application: B-2022-0003 (Agenda Item 7.1)*

## 9.4. A-2022-0050

BHUPINDER SINGH CHOPRA

9 BOOTHILL DRIVE

LOT 107, PLAN 43M-2074, WARD 6

The applicant is requesting the following variance(s):

1. To permit a below grade entrance in the required interior side yard whereas the by-law does not permit a below grade entrance in a required side yard, except where a 1.2m (3.94ft.) width is provided on the opposite side of the dwelling;
2. To permit an interior side yard setback of 0.06m (0.20 ft.) to a below grade entrance whereas the by-law requires a minimum side yard setback of 1 .2m (3.94 ft.).

## 9.5. A-2022-0203

ADAI KALARAJ POTHAGAR AND MARIA ANTONY KUVEENA PRAKASAM

24 JEMIMA ROAD

LOT 113, PLAN 43M-2022, WARD 6

The applicants are requesting the following variance(s):

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit exterior stairways constructed below the established grade within a required interior side yard;
2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

## 9.6. A-2022-0205

1630604 ONTARIO LTD.

125 CHRYSLER DRIVE, UNITS 5-7

BLOCK 3, PLAN 43M-874, PART 1, PLAN 43R-23561, WARD 8

The applicant is requesting the following variance(s):

1. To provide 278 parking spaces whereas the by-law requires a minimum of 331 parking spaces.

## 9.7. A-2022-0262

SEWA SINGH BASRA AND HARJIT KAUR BASRA

28 TORTOISE COURT

PART OF LOT 1, PLAN M-90, PART 10, PLAN 43R-3592, WARD 10

The applicants are requesting the following variance(s):

1. To permit an accessory structure (cabana) having a gross floor area of 103.4 sq. m (1,113 sq. ft.) whereas the by-law permits a maximum gross floor area 23 sq. m (247.57 sq. ft.) for an individual accessory structure;
2. To permit an accessory structure (cabana) to include habitable floor area (kitchen and washroom) whereas the by-law does not permit an accessory structure to be used for human habitation.

## 9.8. A-2022-0290

INDERPREET SINGH SHOKAR, AMANDEEP SINGH SHOKAR, NEHA JAIN AND SHIKHA BEDI

6 OLIVIA MARIE ROAD

LOT 46, PLAN 43M-1721, WARD 4

The applicants are requesting the following variance(s):

1. To permit a driveway width of 7.37m (24.18 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.).

## 9.9. A-2022-0319

13172589 CANADA INC.

9224 CREDITVIEW ROAD

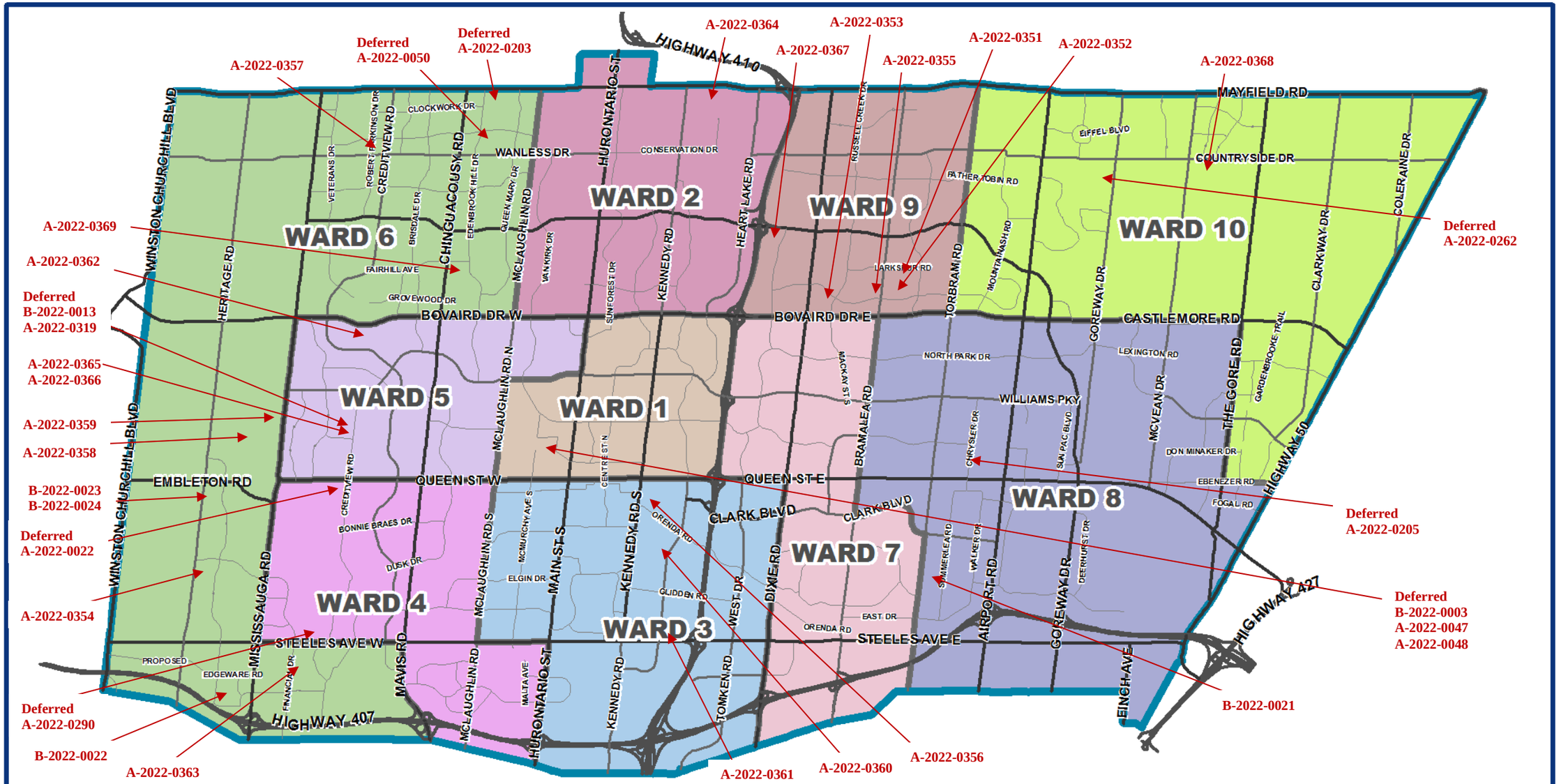
PART OF LOT 7, CONCESSION 4 WHS, PART 4, PLAN 43R-30530, WARD 5

The applicant is requesting the following variance(s) for construction of a new single detached dwelling in conjunction with the proposed severed lot under Consent Application B-2022-0013:

1. To permit a minimum lot width of 20.3 metres whereas the by-law requires a minimum lot width of 45.0 metres;
2. To permit a front yard depth of 4.50 metres whereas the by-law requires a minimum front yard depth of 12.0 metres;
3. To permit a side yard depth of 2.0 metres whereas the by-law requires a minimum side yard depth of 7.5 metres;
4. To permit a rear yard depth of 7.50 metres whereas the by-law requires a minimum rear yard depth of 15.0 metres;
5. To permit a minimum lot area of 0.07 hectares whereas the by-law requires a minimum lot area of 0.4 hectares.

*Related Consent Application: B-2022-0013 (Agenda Item 7.2)*

## 10. Adjournment




BRAMPTON
brampton.ca Flower City

# COMMITTEE OF ADJUSTMENT APPLICATIONS FOR DECEMBER 06, 2022 HEARING

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # B-2022-0021**
**Ward # 8**

**NOTICE OF AN APPLICATION FOR CONSENT**

An application for consent has been made by **2667812 ONTARIO INC.**

**Purpose and Effect**

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 25,219 square metres (6.23 acres). The proposed severed lot has a frontage of approximately 67.79 metres (222.40 feet), a depth of approximately 190.20 metres (624 feet) and an area of approximately 9,794 square metres (2.42 acres). The effect of the application is to establish two separate lots from the existing lot to facilitate future development for industrial purposes.

**Location of Land:**

Municipal Address: 120 Summerlea Road — Former Township: Chinguacousy

Legal Description: Part of Lot 3, concession 6 E.H.S.

**Meeting**

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. **This will also entitle you to be advised of a possible Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment Decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.**

***PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC***

==========

**LAST DAY FOR RECEIVING COMMENTS: DECEMBER 1, 2022**

==========

***NOTE:*** IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

**Other Planning Act Applications**

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

| | | |
|---|---|---|
| Official Plan Amendment: | NO | File Number: |
| Zoning By-law Amendment: | NO | File Number: |
| Minor Variance: | NO | File Number: |

**Decision and Appeal**

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Ontario Land Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Ontario Land Tribunal Act, 2021.* The appeal form is available from the Ontario Land Tribunal website at https://olt.gov.on.ca/appeals-process/forms/

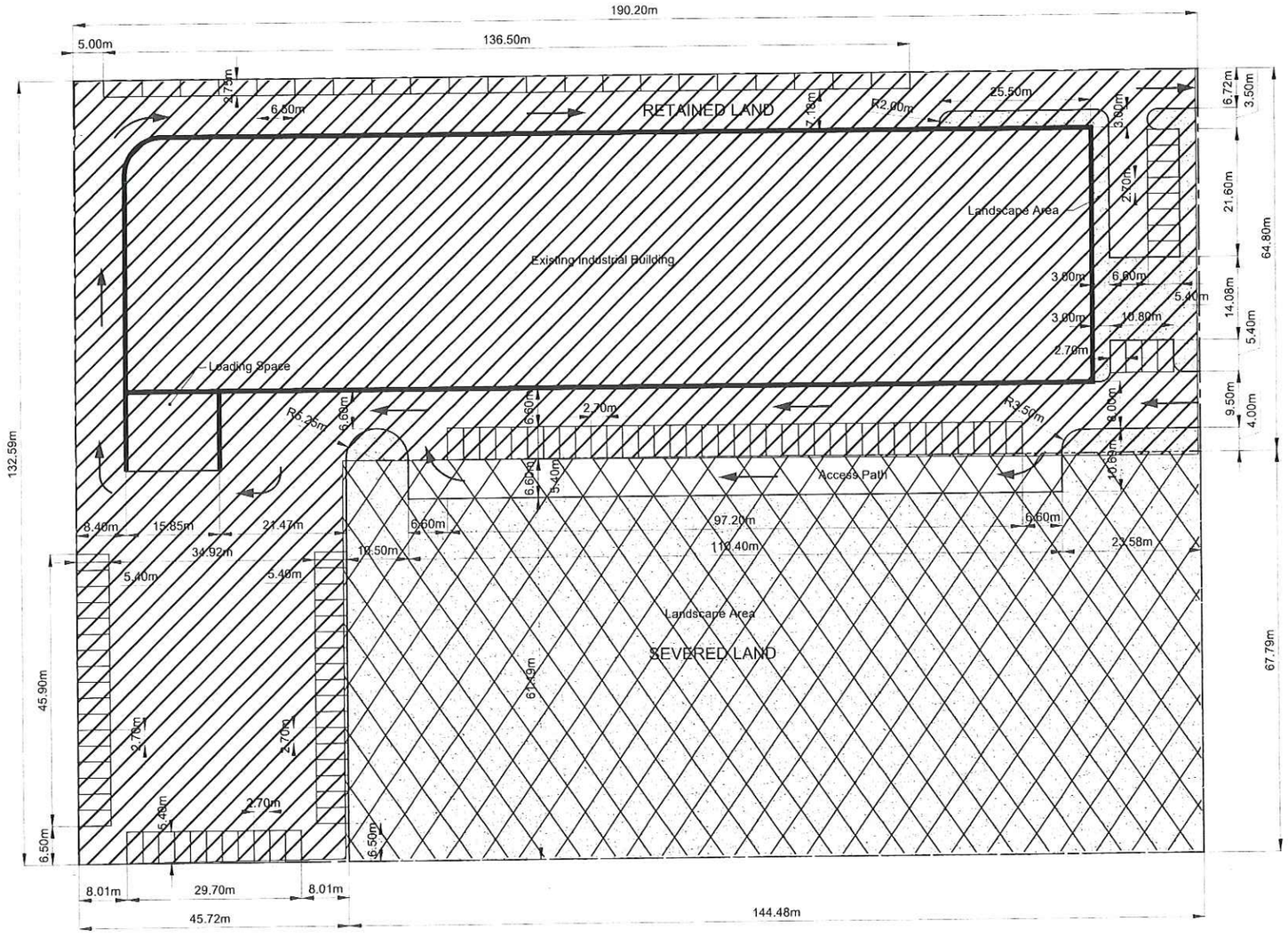
If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Ontario Land Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS 17th Day of November 2022

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

**Jeanie Myers, Secretary-Treasurer**
**City of Brampton Committee of Adjustment**
**City Clerk's Office, Brampton City Hall**
**2 Wellington Street West**
**Brampton, Ontario L6Y 4R2**
**Phone: (905)874-2117 Fax: (905)874-2119**
**Jeanie.myers@brampton.ca**

# Site Plan




## 120 Summerlea Road, Brampton, ON

### LEGEND

- Subject Lands
- Existing Building
- Landscape Areas
- Severance Line
- Retained Lands
- Severed Lands
- One Way Access Directions

| | |
|---|---|
| TOTAL SITE AREA | +/- 25,219 SM |
| SEVERED LAND | +/- 9,794 SM |
| RETAINED LAND | +/- 15,425 SM |
| EXISTING BUILDING | 7,037 SM |
| PARKING SPACES IN RETAINED LAND | 114 STALLS |
| REQUIRED PARKING SPACES IN RETAINED LAND (AS PER SECTION 30.5 IN BY-LAW 270-2004) | 106 STALLS |

Data Source: First Base Solutions Aerial Flown 2016

**DATE:** October 11, 2022

**SCALE:** 1:1000

N:\21489-A - 120 Summerlea Rd, Brampton\2022\08 August\21489A - Severance Sketch - Oct 11 2022.dwg

PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE

MHBC

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

MHBC
PLANNING
URBAN DESIGN
& LANDSCAPE
ARCHITECTURE

KITCHENER
WOODBRIDGE
LONDON
KINGSTON
BARRIE
BURLINGTON

B-2022-0021

October 25th, 2022

Jeanie Myers
Secretary-Treasurer
City of Brampton
2 Wellington Street West
Brampton, Ontario L6Y 4R2

Dear Ms. Myers:

**RE: APPLICATION FOR CONSENT**
**120 SUMMERLEA ROAD, BRAMPTON**
**OUR FILE: 21489A**

On behalf of our client, 120 Summerlea LP (hereinafter referred to as the "owner"), we are pleased to submit the revised Consent application to permit the proposed severance to the site municipally addressed as 120 Summerlea Road in the City of Brampton (hereinafter referred to as the "Subject Lands").

In support of the application, please find enclosed the following:

- One (1) digital copy of the Consent Application Form;
- One (1) digital copy of the Severance Sketch outlining the parcels conveyed and retained prepared by MHBC Planning;
- One (1) digital copy of the Draft Reference Plan prepared by Speight, Van Nostrand & Gibson Limited;
- One (1) digital copy of the Site Plan prepared by MHBC Planning Limited;
- One (1) cheque of $4,119.00 for the consent application

**PROPOSAL DESCRIPTION**

The Subject Lands consist of an existing 2-storey industrial building fronting onto Summerlea Road to the east, a parking lot and approximately 8,271 m² of lawn area to the south of the building. A driveway with access to the parking lot from Summerlea Road exists to the south of the building. The Subject Lands occupy a total lot area of 25,219 m² (2.52 ha) with 132.59 m of frontage along Summerlea Road.

The owner is seeking approval to sever the Subject Lands into two (2) separate parcels in order to allow the owner separate ownership for the future development from the existing industrial building on the Subject Lands.

As shown in the severance sketch as part of this cover letter, the land to be severed consists of the southerly portion of the Subject Lands, which the retained lot consists of the northerly portion of the Subject Lands. The proposed severance will result in the following:

| Lot Measurements | Severed (PART 1, PLAN 43R-15650; PART 1, PLAN 43R-13542; PART 2, PLAN 43R-13542) | Retained (PART 1, PLAN 43R-14828; PART 1, PLAN 43R-13485) |
|---|---|---|
| **Lot Area** | +/- 9,794 $m^2$ | +/- 15,425 $m^2$ |
| **Lot Frontage** | +/- 67.79 m | +/- 64.80 m |
| **Lot Depth** | +/- 190.20 m | +/- 190.20 m |

**CONSENT EVALUATION**

We have reviewed the proposed consent against the development criteria of Section 51 (24) of *Planning Act* as well as those of the Official Plan and are of the opinion that the proposed consent request is appropriate, reasonable and meets the relevant development criteria.

**SUMMARY**

In conclusion, we believe the requested consent application to permit the severance of the property are appropriate and represent good planning. The proposed consents would maintain the general pattern of the existing lotting fabric within the areas and will allow the opportunity for separate ownerships for future development within the City.

If you have any questions, please do not hesitate to contact us.

Thank you.

Yours truly,
**MHBC**

David A. McKay, MSc, MLAI, MCIP, RPP
Vice President & Partner

Ashish Abraham, BES
Planner

*cc: Clients*

*Encl.*

Flower City

brampton.ca

**APPLICATION NUMBER:** "B"-2022-0021

*The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
## Consent
(Please read Instructions)

**NOTE:** Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) **Name of Owner/Applicant** 2667812 Ontario Inc.
(print given and family names in full)

**Address** 120 Summerlea Road, Brampton, Ontario, L6T 4X3

**Phone #** 416-458-2913 **Fax #**

**Email** mark@tiltonindustries.com

(b) **Name of Authorized Agent** David McKay C/O MHBC Planning Limited

**Address** 7050 Weston Road, Suite 230, Woodbridge, Ontario, L4l 8G7

**Phone #** 416-938-7354 **Fax #** 905-761-5589

**Email** dmckay@mhbcplan.com

2. **The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.**

**Specify:** Creation of a new lot by severing from existing lot.

3. **If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.**

Not known at this time.

4. **Description of the subject land ("subject land" means the land to be severed and retained):**

**a) Name of Street** Summerlea Road **Number** 120

**b) Concession No.** CON 6 E.H.S **Lot(s)**

**c) Registered Plan No.** RP-977 **Lot(s)** 3

**d) Reference Plan No.** **Lot(s)**

**e) Assessment Roll No.** 10-10-0-025-26510-0000 **Geographic or Former Township** Chinguacousy

5. **Are there any easements or restrictive covenants affecting the subject land?**

**Yes** ☐ **No** ☑

**Specify:**

6. **Description of severed land: (in metric units)**

a) **Frontage** 67.79 m **Depth** 190.20 m **Area** +/- 9,794.00 sq. m

b) **Existing Use** Parking lot/green space **Proposed Use** Industrial

c) **Number and use of buildings and structures (both existing and proposed) on the land to be severed:**

**(existing)** 0

**(proposed** TBD

d)

| Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☑ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) **If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?**

f)

| Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water systen | ☑ | ☑ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |

**Other (specify):**

g)

| Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☑ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |

**Other (specify):**

7. **Description of retained land: (in metric units)**

a) **Frontage** 64.8 m **Depth** 190.20 m **Area** +/- 15,425.00 sq. r

b) **Existing Use** Industrial **Proposed Use** Industrial

c) **Number and use of buildings and structures (both existing and proposed) on the land to be retained:**

**(existing)** 1, industrial building

**(proposed** 1, exisiting industrial building

| d) Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☑ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

_____

| f) Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water systen | ☑ | ☑ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |

Other (specify): _____

| g) Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☑ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |

Other (specify): _____

8. What is the current designation of the land in any applicable zoning by-law and official plan?

| | Land to be Severed | Land to be Retained |
|---|---|---|
| Zoning By-Law | M3A | M3A |
| Official Plans City of Brampton | Industrial | Industrial |
| Region of Peel | Commercial/Industrial | Commercial/Industrial |

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☐ No ☑

File # _____ Status/Decision _____

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☑

Date of Transfer _____ Land Use _____

11. **If known, is/was the subject land the subject of any other application under the Planning Act, such as:**

| | File Number | Status |
|---|---|---|
| **Official Plan Amendment** | | |
| **Zoning By-law Amendment** | | |
| **Minister's Zoning Order** | | |
| **Minor Variance** | | |
| **Validation of the Title** | | |
| **Approval of Power and Sale** | | |
| **Plan of Subdivision** | | |

12. **Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act?***
Yes ☑ No ☐

13. **Is the subject land within an area of land designated under any Provincial Plan?**
Yes ☑ No ☐

14. **If the answer is yes, does the application conform to the applicable Provincial Plan?**
Yes ☑ No ☐

15. **If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).**

Dated at the City of Vaughan

this 24th day of October, 20 22.

Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:

☐ I have the authority to bind the Corporation

## DECLARATION

I, David McKay of the City of Toronto

in the County/District/Regional Municipality of _____ solemnly declare that all the statements contained in t

application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Vaughan

in the Region of York

this 24th day of October, 2022.

Signature of applicant/solicitor/authorized agent, etc.

Debra Sue Walker, a Commissioner, etc.,
Province of Ontario, for MHBC Planning Limited.
Expires February 14, 2023.

Signature of a Commissioner, etc.

**FOR OFFICE USE ONLY** - To Be Completed By the Zoning Division

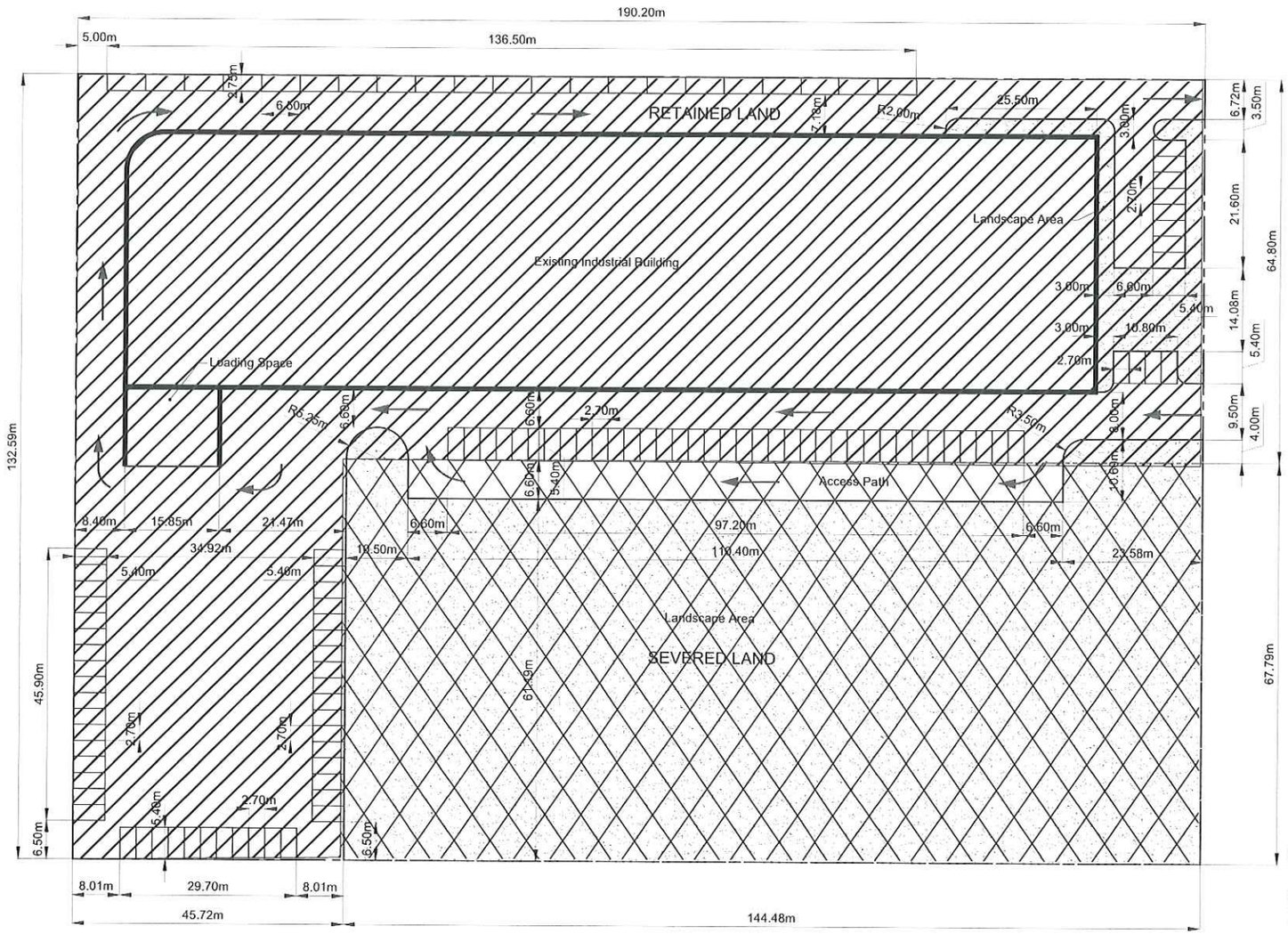
This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

L Barbuto
Zoning Officer

October 27, 2022
Date

**DATE RECEIVED** October 27, 2022

# Site Plan




**120 Summerlea Road, Brampton, ON**

**LEGEND**

- Subject Lands
- Existing Building
- Landscape Areas
- Severance Line
- Retained Lands
- Severed Lands
- One Way Access Directions

| | |
|---|---|
| TOTAL SITE AREA | +/- 25,219 SM |
| SEVERED LAND | +/- 9,794 SM |
| RETAINED LAND | +/- 15,425 SM |
| EXISTING BUILDING | 7,037 SM |
| PARKING SPACES IN RETAINED LAND | 114 STALLS |
| REQUIRED PARKING SPACES IN RETAINED LAND (AS PER SECTION 30.5 IN BY-LAW 270-2004) | 106 STALLS |

Data Source: First Base Solutions Aerial Flown 2016

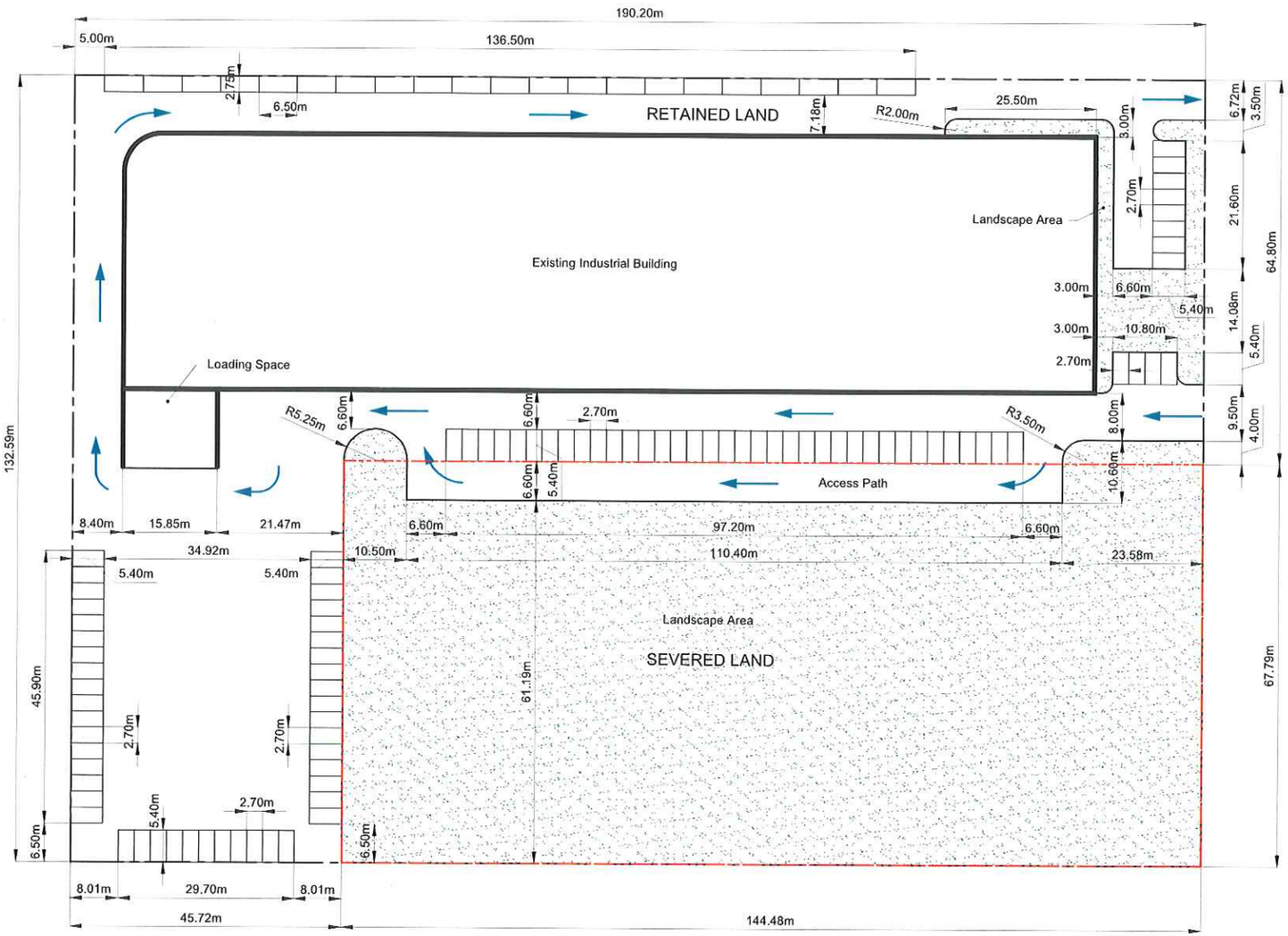
**DATE:** October 11, 2022

**SCALE:** 1:1000

N:\21493\A - 120 Summerlea Rd, Brampton\2022\08 August\21493A - Severance Sketch - Oct 11 2022.dwg

PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE

# Site Plan




## 120 Summerlea Road, Brampton, ON

### LEGEND

- Subject Lands
- Existing Building
- Landscape Areas
- Severance Line
- One Way Access Directions

| | |
|---|---|
| TOTAL SITE AREA | +/- 25,219 SM |
| SEVERED LAND | +/- 9,794 SM |
| RETAINED LAND | +/- 15,425 SM |
| EXISTING BUILDING | 7,037 SM |
| PARKING SPACES IN RETAINED LAND | 114 STALLS |
| REQUIRED PARKING SPACES IN RETAINED LAND (AS PER SECTION 30.5 IN BY-LAW 270-2004) | 108 STALLS |

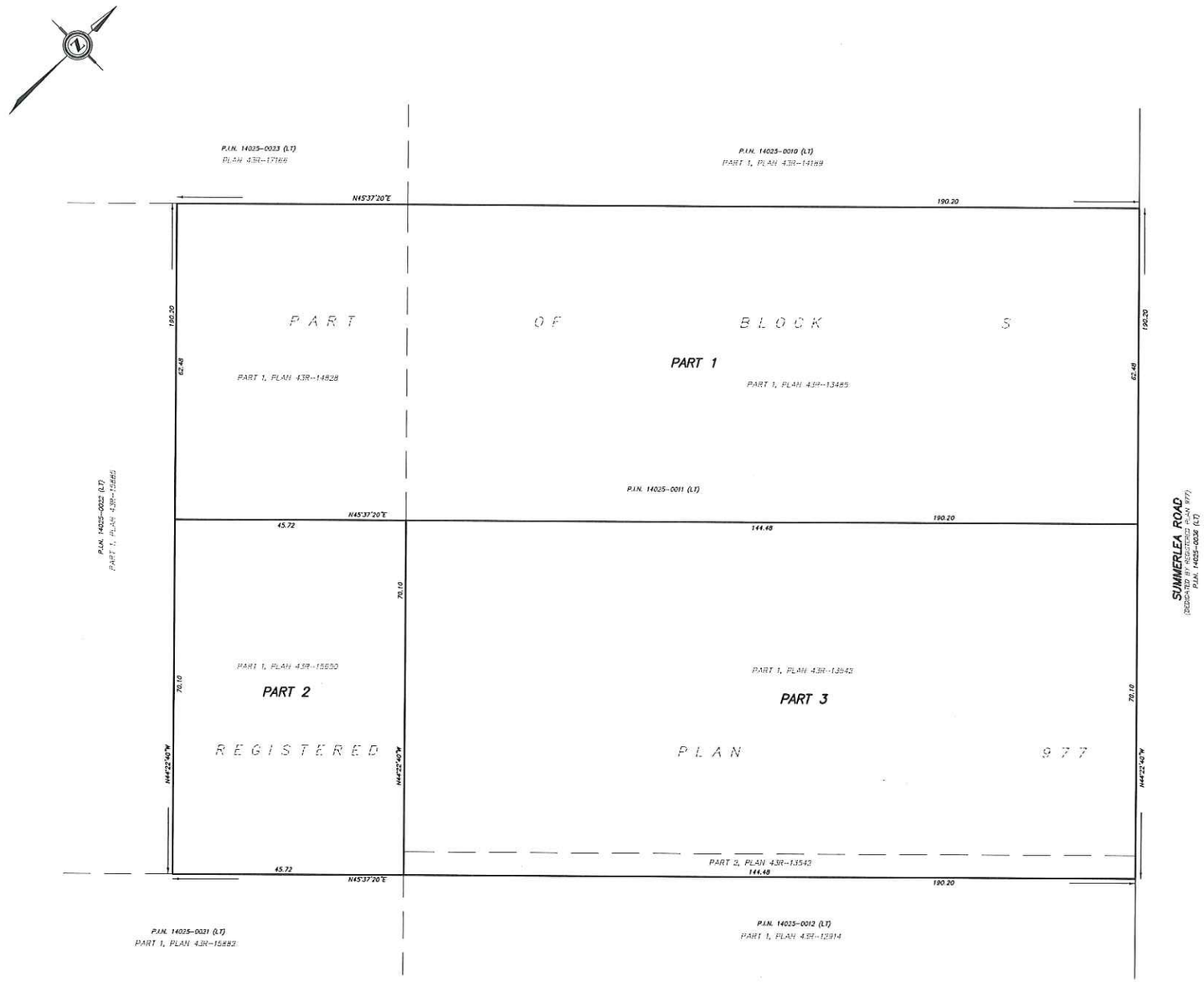
Data Source: First Base Solutions Aerial Flown 2016

**DATE:** October 11, 2022

**SCALE:** 1:1000

N:\21489\A - 120 Summerlea Rd, Brampton\2022\08 August\21489A - Severance Sketch - Oct 11 2022.dwg

MHBC PLANNING URBAN DESIGN & LANDSCAPE ARCHITECTURE




| I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT | PLAN 43R– |
|---|---|
| DATE _____ | RECEIVED AND DEPOSITED |
| _____ | DATE _____ |
| D. A. WILTON<br>ONTARIO LAND SURVEYOR | _____<br>REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF PEEL (No. 43) |

## SCHEDULE

| PART | BLOCK | PLAN | ALL OF PIN | AREA |
|---|---|---|---|---|
| 1 | S | REGISTERED PLAN 977 | 14025-0011 (LT) | |
| 2 | | | | |
| 3 | | | | |

PLAN OF SURVEY OF
# PART OF BLOCK S
# REGISTERED PLAN 977
(GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)
## CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE 1 : 400

10 0 10 20 30 40 metres

**SPEIGHT, VAN NOSTRAND & GIBSON LIMITED**
ONTARIO LAND SURVEYORS

## INTEGRATION NOTE

BEARINGS SHOWN HEREON ARE UTM GRID AND ARE DERIVED FROM THE SMARTNET NETWORK, AND ARE REFERRED TO UTM ZONE 17, CENTRAL MERIDIAN 81°00' WEST LONGITUDE, NAD 83 (CSRS) (2010).

OBSERVED REFERENCE POINTS (ORPs) DERIVED FROM GPS OBSERVATIONS USING THE SMARTNET NETWORK, AND ARE REFERRED TO UTM ZONE 17, CENTRAL MERIDIAN 81°00' WEST LONGITUDE, NAD 83 (CSRS) (2010).

COORDINATES ARE TO AN URBAN ACCURACY AS PER SEC. 14 (2) OF ONT. REG. 216/10

| POINT ID | NORTHING | EASTING |
|---|---|---|
| ORP ① | - | - |
| ORP ② | - | - |
| ORP ③ | - | - |
| ORP ④ | - | - |
| ORP ⑤ | - | - |

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF.

## METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

## LEGEND

| | | |
|---|---|---|
| ■ | DENOTES | SURVEY MONUMENT FOUND |
| □ | • | SURVEY MONUMENT PLANTED |
| WIT | • | WITNESS MONUMENT |
| SIB | • | STANDARD IRON BAR |
| SSIB | • | SHORT STANDARD IRON BAR |
| IB | • | IRON BAR |
| CC | • | CUT CROSS |
| N,S,E,W | • | NORTH, SOUTH, EAST, WEST |
| OU | • | ORIGIN UNKNOWN |
| P1 | • | PLAN OF SURVEY BY D. S. McINTOSH, O.L.S., DATED APRIL 10, 1984 |

## SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM
2. THE SURVEY WAS COMPLETED ON

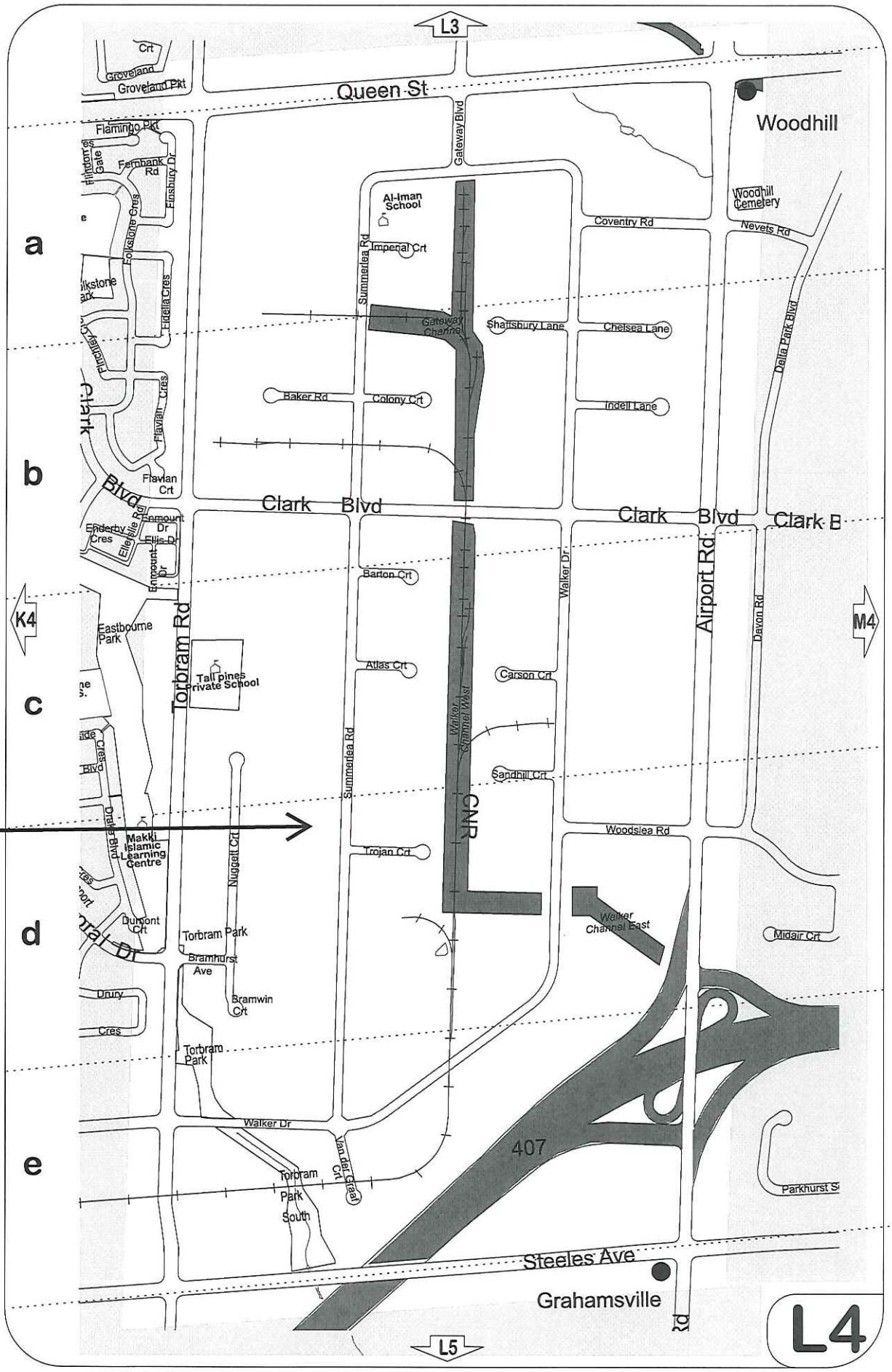
DATE : _____

_____
D. A. WILTON
ONTARIO LAND SURVEYOR


**SPEIGHT, VAN NOSTRAND & GIBSON LIMITED**
ONTARIO LAND SURVEYORS
750 OAKDALE ROAD, UNITS 65 & 66, TORONTO, ONTARIO M3H 2Z4
TEL. 416 749-SVNG(7864) FAX 416 749-7865
E-MAIL: toronto@svng.on.ca


| DRAWN : M. D. | JOB No. : 220-0087 |
|---|---|
| CHECKED : D. A. W. | REF. No. : |
| FILE NAME : R2200087.DWG | PLOTTED : |

A1 (594x840)


L3
Queen St
Woodhill
Groveland Pkt
Flamingo Pkt
Fernbank Rd
Finsbury Dr
Folkstone Cres
Fidella Cres
Flavian Cres
Flavian Crt
Clark Blvd
Enderby Cres
Ellerslie Rd
Enmount Dr
Ellis Dr
Eastbourne Park
Torbram Rd
Tall Pines Private School
Makki Islamic Learning Centre
Dumont Crt
Torbram Park
Bramhurst Ave
Bramwin Crt
Drury Cres
Torbram Park South
Walker Dr
Van der Graaf Crt
Nugget Crt
Summerlea Rd
Al-Iman School
Imperial Crt
Gateway Blvd
Gateway Channel
Baker Rd
Colony Crt
Shaftsbury Lane
Chelsea Lane
Indell Lane
Barton Crt
Atlas Crt
Walker Channel West
Carson Crt
Sandhill Crt
Trojan Crt
CNR
Woodslea Rd
Walker Channel East
Midair Crt
Airport Rd
Dalla Park Blvd
Davon Rd
Woodhill Cemetery
Coventry Rd
Nevets Rd
407
Steeles Ave
Grahamsville
Parkhurst
K4
M4
L5
L4
a
b
c
d
e
B-2022-0021

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # B-2022-0022**
**Ward # 6**

**NOTICE OF AN APPLICATION FOR CONSENT**

An application for consent has been made by **CHOICE PROPERTIES REIT**

**Purpose and Effect**

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 5.18 hectares (12.80 acres), together with easements for shared access, servicing and stormwater management. The proposed severed lot has a frontage of approximately 224.23 metres (735.66 feet), a depth of approximately 218.48 metres (716.80 feet) and an area of approximately 1.18 hectares (2.92 acres). The effect of the application is to establish two separate lots from the existing lot, each lot occupied by an office building. (Office A and Office B)

**Location of Land:**

Municipal Address: 55 Hereford Street /1 President's Choice Circle Former Township: Chinguacousy

Legal Description: Part of Block 6, Plan 43M-1673, Parts 1 to 3, Plan 43R-29777

**Meeting**

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. **This will also entitle you to be advised of a possible Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment Decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.**

***PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC***

==========

**LAST DAY FOR RECEIVING COMMENTS: DECEMBER 1, 2022**

==========

***NOTE:*** IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

**Other Planning Act Applications**

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

| | | |
|---|---|---|
| Official Plan Amendment: | NO | File Number: |
| Zoning By-law Amendment: | NO | File Number: |
| Minor Variance: | NO | File Number: |

**Decision and Appeal**

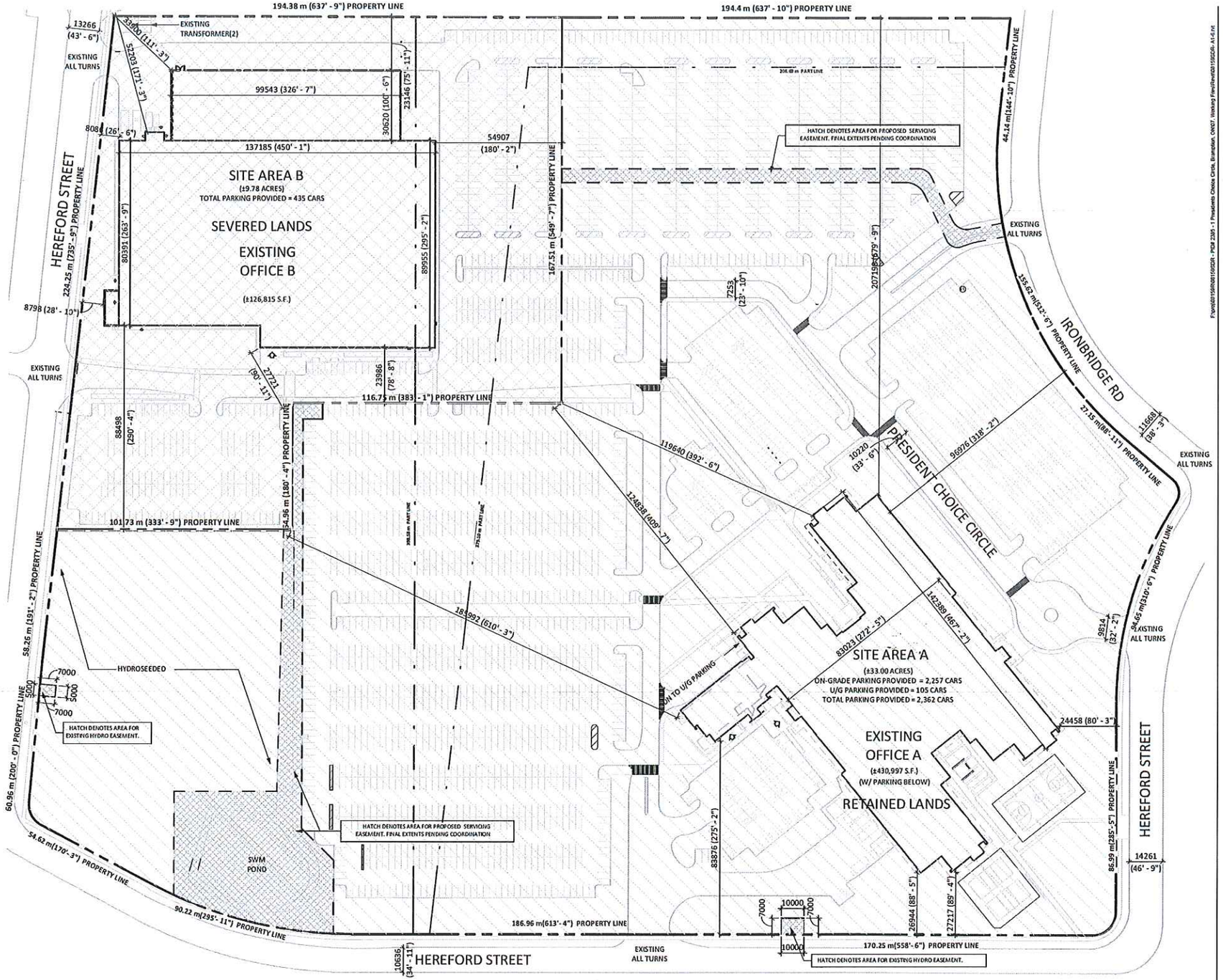
Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Ontario Land Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Ontario Land Tribunal Act, 2021*. The appeal form is available from the Ontario Land Tribunal website at https://olt.gov.on.ca/appeals-process/forms/

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Ontario Land Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS 17th Day of November 2022

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

**Jeanie Myers, Secretary-Treasurer**
**City of Brampton Committee of Adjustment**
**City Clerk's Office, Brampton City Hall**
**2 Wellington Street West**
**Brampton, Ontario L6Y 4R2**
**Phone: (905)874-2117 Fax: (905)874-2119**
**Jeanie.myers@brampton.ca**




# TURNER FLEISCHER

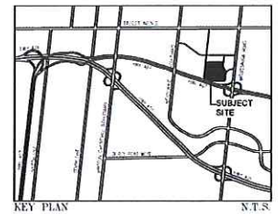
## STATISTICS

| | | |
|---|---|---|
| SITE AREA A | ±33.00 ACRES | ±13.36 HA |
| SITE AREA B | ±9.78 ACRES | ±3.96 HA |
| TOTAL SITE AREA | ±42.78 ACRES | ±17.31 HA |
| SITE A - RETAINED LANDS | | |
| EXISTING OFFICE A AREA | ±430,997 S.F. | ±40,041 S.M. |
| PARKING PROVIDED | 2,362 CARS | |
| | 5.48/1000 S.F. | 5.90/100 S.M. |
| SITE B - SEVERED LANDS | | |
| EXISTING OFFICE B AREA | ±126,815 S.F. | ±11,781 S.M. |
| PARKING PROVIDED | 435 CARS | |
| | 3.43/1000 S.F. | 3.69/100 S.M. |
| SITE B - PARKING REQUIRED (1/50 S.M. OF GFA) | 197 CARS | |
| OVERALL SITE | | |
| TOTAL BUILDING AREA | ±557,812 S.F. | ±51,822 S.M. |
| PARKING PROVIDED | 2,797 CARS | |
| | 5.01/1000 S.F. | 5.36/100 S.M. |
| COVERAGE (±557,812S.F.) | 29.94 % | |

PARKING REQUIREMENT

IF THE OFFICE OR RETAIL AREA IS <15% OF GFA:
- UP TO 5000 SM 1 CAR/60 S.M. OF THAT PORTION OF GFA THEREOF;
- 5,000 TO 10,000 SM: 83 PARKING SPACES PLUS 1 PARKING SPACE PER 90 SM OF GFA OR PORTION THEREOF THAT IS OVER 5,000 SM;
- OVER 10,000 SM: 139 PARKING SPACES PLUS 1 PARKING SPACE PER 170 SM OF GFA OR PORTION THEREOF THAT IS OVER 10,000 S.M.;

IF THE ASSOCIATED OFFICE, RETAIL, AND EDUCATIONAL GFA ARE MORE THAN 15% OF THE TOTAL GFA:
- THE APPLICABLE GROSS FLOOR AREAS EXCEEDING 15% SHALL BE SUBJECT TO THE APPLICABLE OFFICE, RETAIL, OR EDUCATIONAL PARKING REQUIREMENTS.




Choice Properties REIT

**1 PRESIDENTS CHOICE CIRCLE**

BRAMPTION, ONTARIO
08.159SDR(P.ID# 2385)
EXISTING SITE A AND B

PRELIMINARY

DWG #: A1-6
2022-11-02
SCALE = 1 : 1600

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Zelinka Priamo Ltd.
LAND USE PLANNERS

November 4, 2022

B-2022-0022

City of Brampton, C/O the City Clerk's Office
2 Wellington Street – 1st Floor
Brampton, ON
L6Y 4R2

Attention: Jeanie Myers

**RE: Application for Consent to Sever**
**Choice Properties REIT**
**55 Hereford St / 1 President's Choice Circle**
**Brampton, ON**
**Our File: CHO/BRM/22-01**

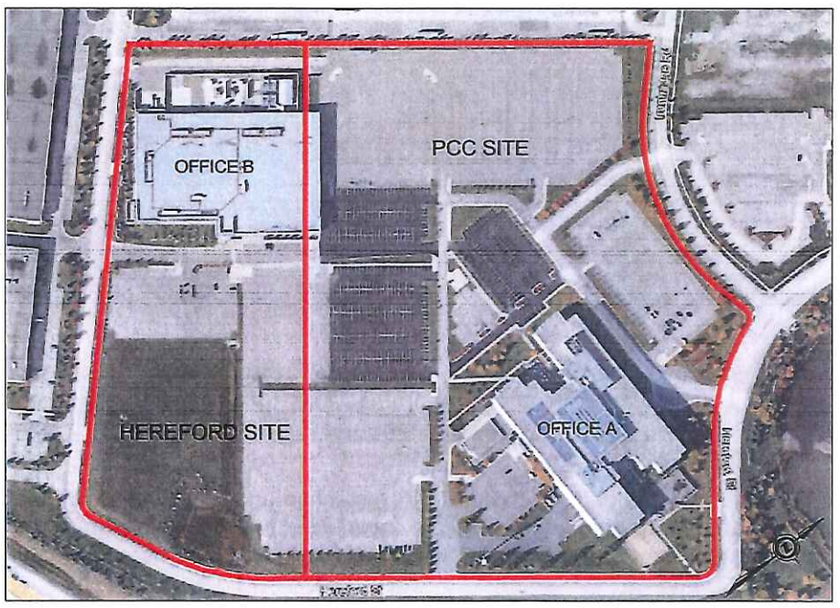
On behalf of Choice Properties REIT ("Choice"), Zelinka Priamo Ltd. is pleased to submit a Consent to Sever application relating to the above-noted lands (the "subject lands").

## THE SUBJECT LANDS

The subject lands consist of an assembly of two lots which are merged on title located in the southwest area of the City of Brampton. The lands are bound by Hereford Street and Ironbridge Road, with President's Choice Circle providing internal access to the parking areas (Figure 1).

The subject lands are occupied by two office buildings (herein referred to as "Office A" and "Office B" – see Figure 1), which are bound by and oriented toward different segments of Hereford Street. Office B, to be conveyed, is also used in part for IT warehousing.

**Figure 1: Labelled aerial of the subject lands**




20 Maud Street, Suite 305, Toronto, ON, M5V 3M5
TEL (416) 622-6064 FAX (416) 622-3463
Email: zp@zpplan.com

The legal description is as follows:

**55 Hereford Street ("Hereford site") – Zoned M4(2802)**

PT BLK 6, PLAN 43M1673, DES AS PTS 4 & 5, 43R29777; S/T EASEMENT IN FAVOUR OF HYDRO ONE BRAMPTON NETWORKS INC. OVER PT 8, 43R29773, AS IN PR801365.

ASSESSMENT ROLL NO.: 10-14-0-097-33360-0000

**1 President's Choice Circle ("PCC site") – Zoned OC(2801)**

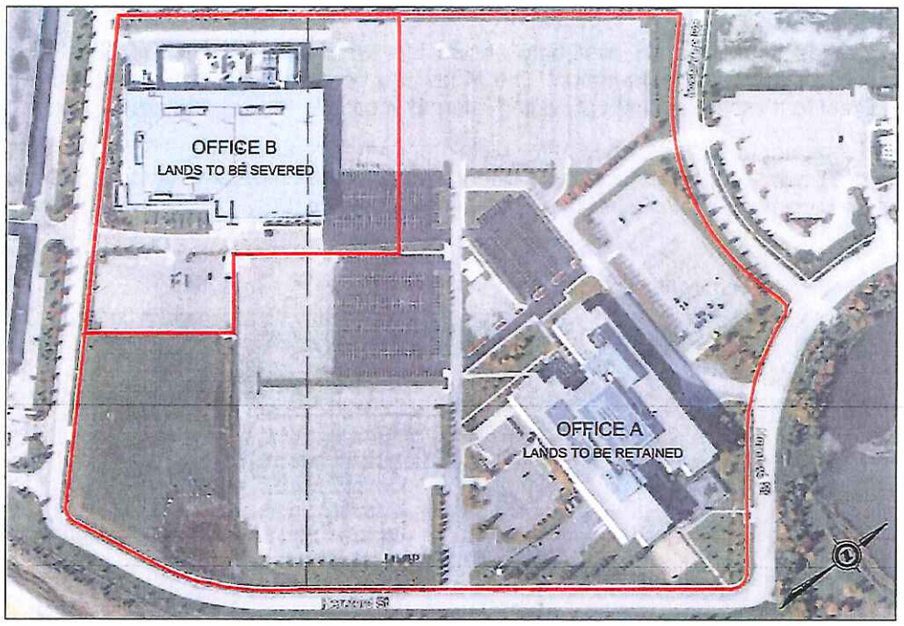
PT BLK 6, PL 43M1673 DES AS PTS 1, 2, 3, PL 43R29777; S/T EASE IN FAVOUR OF HYDRO ONE BRAMPTON NETWORKS INC. OVER PT BLK 6, PL 43M1673 DES AS PT 2, PL 43R29777 AS IN PR801365.

ASSESSMENT ROLL NO.: 10-14-0-097-33350-0000

## PROPOSED SEVERANCE

The purpose of the proposal is to sever the lands occupied by Office B (Figure 2). The proposed delineations of the lands to be retained and severed are shown in the attached Consent Sketch.

**Figure 2: Aerial of proposed severance**




As shown in the attached Consent Sketch, 27 parking stalls are proposed to be removed from a vertical parking tree abutting the severance line on the lands to be severed. Ample parking is still provided for the uses existing on the subject lands. No other physical alterations or development are associated with this proposal.

We note that the lands are subject to a Section 118 restriction under the *Land Titles Act* in order to ensure the creation of any required easements are transferred to the satisfaction of the Region. We understand that this application is to be circulated to Peel Region for their assessment.

**SUBMISSION REQUIREMENTS**

In addition to our email submission, please find the following materials enclosed for the Consent to Sever application:

- One (1) completed Consent Application form, including declarations;
- A cheque in the amount of $4119.00 made payable to the Treasurer, City of Brampton for the Consent Application fee;
- One (1) copy of the Consent Sketch, 11x17 (1:1600);
- One (1) copy of the Consent Sketch, 8.5x14 (N.T.S.);
- One (1) copy of the parcel register for 55 Hereford Street (14089-0480 LT);
- One (1) copy of the parcel register for 1 President's Choice Circle (14089-0431 LT); and
- One (1) copy of the Section 118 Agreement, registered as PR2169757.

We trust that the above information is satisfactory for your needs. If you have any questions or require additional information, please do not hesitate to contact us.

Yours very truly,

**ZELINKA PRIAMO LTD.**

Harry Froussios, MCIP, RPP

Principal Planner

Cc: Choice Properties REIT

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer after application is deemed complete)

**APPLICATION NUMBER:** "B" 2022-0022

*The personal Information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
## Consent
(Please read Instructions)

**NOTE:** Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) **Name of Owner/Applicant** Choice Properties REIT, C/O Alex Gordon
(print given and family names in full)

**Address** 700-22 St Clair Ave E, Toronto, ON, M4T 2S5

**Phone #** 437-995-8825 **Fax #**

**Email** alex.gordon@choicereit.ca

(b) **Name of Authorized Agent** Harry Froussios - Zelinka Priamo Ltd.

**Address** 318 Wellington Road, London, ON N6C 4P4

**Phone #** 519-872-0941 **Fax #** 519-474-2284

**Email** harry.f@zpplan.com

2. **The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.**

**Specify:** Creation of a new lot, together with easements for shared access, servicing, and stormwater management

3. **If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.**

4. **Description of the subject land ("subject land" means the land to be severed and retained):**

**a) Name of Street** Hereford St / Presidents Choice Cir **Number** 55 / 1

**b) Concession No.** See cover letter for full description **Lot(s)**

**c) Registered Plan No.** **Lot(s)**

**d) Reference Plan No.** **Lot(s)**

**e) Assessment Roll No.** See cover letter **Geographic or Former Township**

5. **Are there any easements or restrictive covenants affecting the subject land?**

**Yes** ☑ **No** ☐
**Specify:** S/T easements in favour of Hydro One Brampton Networks Inc. - See cover letter for full description

6. **Description of severed land: (in metric units)**

a) **Frontage** 224.23m **Depth** ± 218.48m **Area** 1.18 ha

b) **Existing Use** Office and data centre **Proposed Use** Office and data centre

c) **Number and use of buildings and structures (both existing and proposed) on the land to be severed:**

**(existing)** 1 - Office and IT Warehousing use

**(proposed** 1 - no changes proposed

d)

| Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☑ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) **If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?**

N/A

f)

| Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water system | ☑ | ☑ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |

**Other (specify):**

g)

| Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☑ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |

**Other (specify):**

7. **Description of retained land: (in metric units)**

a) **Frontage** ± 181.64m **Depth** ± 277.04m **Area** 4.0 ha

b) **Existing Use** Office **Proposed Use** Office

c) **Number and use of buildings and structures (both existing and proposed) on the land to be retained:**

**(existing)** 1 - Office use

**(proposed** 1 - no changes proposed

| d) Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☑ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

| f) Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water systen | ☑ | ☑ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |

Other (specify): _____

| g) Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☑ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |

Other (specify): _____

8. What is the current designation of the land in any applicable zoning by-law and official plan?

| | Land to be Severed | Land to be Retained |
|---|---|---|
| Zoning By-Law | OC-2801 & M4-2802 (split) | OC-2801 & M4-2802 (split) |
| Official Plans | | |
| City of Brampton | Industrial | Industrial |
| Region of Peel | Urban System | Urban System |

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☐ No ☑

File # _____ Status/Decision _____

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☑

Date of Transfer _____ Land Use _____

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

| | File Number | Status |
|---|---|---|
| Official Plan Amendment | | |
| Zoning By-law Amendment | | |
| Minister's Zoning Order | | |
| Minor Variance | | |
| Validation of the Title | | |
| Approval of Power and Sale | | |
| Plan of Subdivision | | |

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*?
Yes ☑ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan?
Yes ☑ No ☐

14. If the answer is yes, does the application conform to the applicable Provincial Plan?
Yes ☑ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the City of London

this 4th day of November, 2022.

Signature of Applicant, or Authorized Agent see note on next page

Check box if applicable:
☐ I have the authority to bind the Corporation

## DECLARATION

I, Harry Froussios of the City of London

in the County/District/Regional Municipality of Middlesex solemnly declare that all the statements contained in t

application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of London

in the County of Middlesex

this 4th day of November, 2022

Signature of applicant/solicitor/authorized agent etc

DAVID JOHN HAYNAM, a Commissioner, etc.,
Province of Ontario, for Zelinka Priamo Ltd.
Expires September 21, 2024.

Submit by Email

Signature of a Commissioner, etc

**FOR OFFICE USE ONLY - To Be Completed By the Zoning Division**

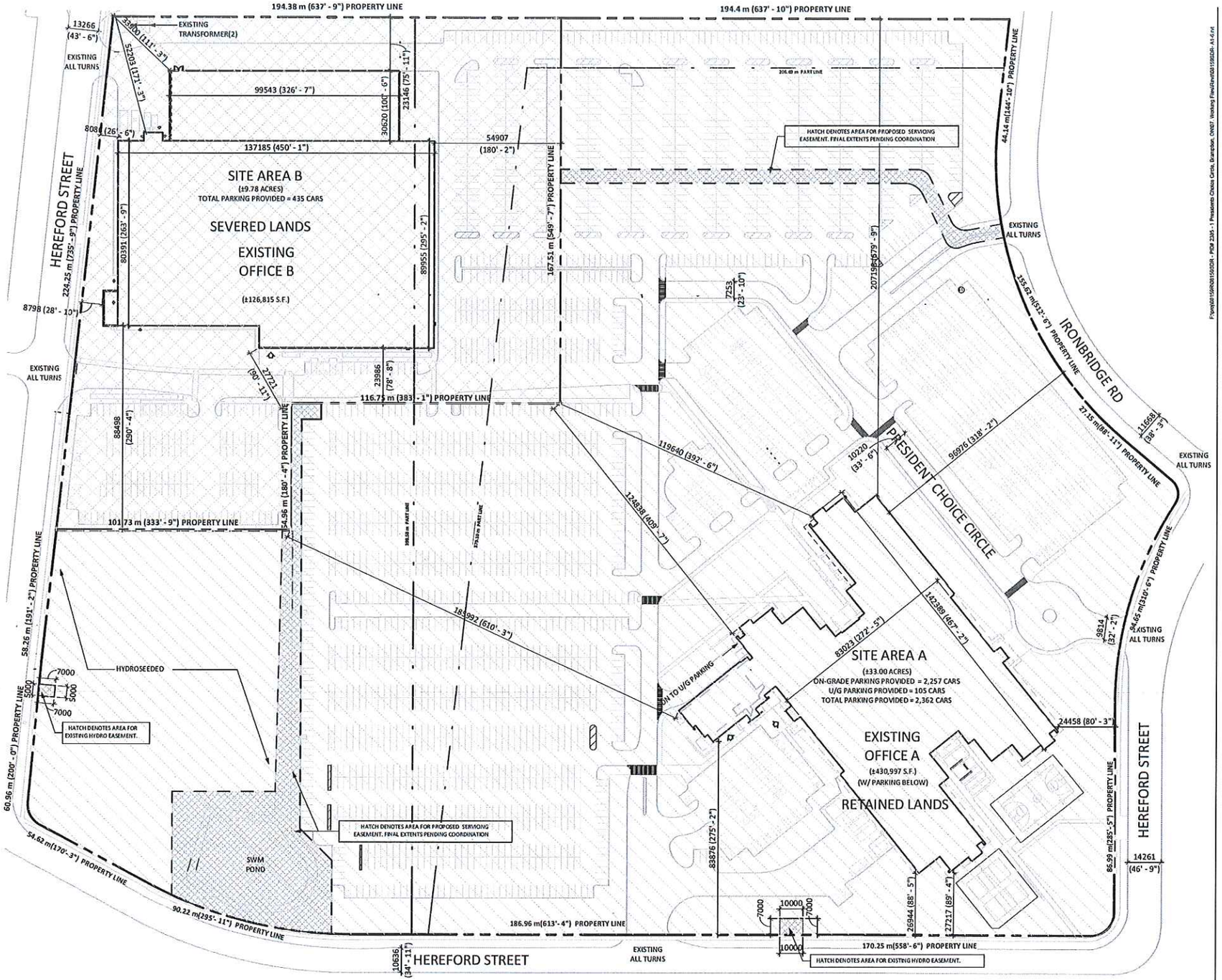
This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist

L Barbuto
Zoning Officer

November 9, 2022
Date

DATE RECEIVED November 8, 2022

Date Application Deemed Complete by the Municipality




# TURNER FLEISCHER

## STATISTICS

| | | |
|---|---|---|
| SITE AREA A | ±33.00 ACRES | ±13.36 HA |
| SITE AREA B | ±9.78 ACRES | ±3.96 HA |
| TOTAL SITE AREA | ±42.78 ACRES | ±17.31 HA |
| SITE A - RETAINED LANDS | | |
| EXISTING OFFICE A AREA | ±430,997 S.F. | ±40,041 S.M. |
| PARKING PROVIDED | 2,362 CARS | |
| | 5.48/1000 S.F. | 5.90/100 S.M. |
| SITE B - SEVERED LANDS | | |
| EXISTING OFFICE B AREA | ±126,815 S.F. | ±11,781 S.M. |
| PARKING PROVIDED | 435 CARS | |
| | 3.43/1000 S.F. | 3.69/100 S.M. |
| SITE B - PARKING REQUIRED (1/60 S.M. OF GFA) | 197 CARS | |
| OVERALL SITE | | |
| TOTAL BUILDING AREA | ±557,812 S.F. | ±51,822 S.M. |
| PARKING PROVIDED | 2,797 CARS | |
| | 5.01/1000 S.F. | 5.36/100 S.M. |
| COVERAGE (±557,812S.F.) | 29.94 % | |

PARKING REQUIREMENT

IF THE OFFICE OR RETAIL AREA IS <15% OF GFA:
- UP TO 5000 SM: 1 CAR/60 S.M. OF THAT PORTION OF GFA THEREOF;
- 5,000 TO 10,000 SM: 83 PARKING SPACES PLUS 1 PARKING SPACE PER 90 SM OF GFA OR PORTION THEREOF THAT IS OVER 5,000 SM;
- OVER 10,000 SM: 139 PARKING SPACES PLUS 1 PARKING SPACE PER 170 SM OF GFA OR PORTION THEREOF THAT IS OVER 10,000 S.M.;

IF THE ASSOCIATED OFFICE, RETAIL, AND EDUCATIONAL GFA ARE MORE THAN 15% OF THE TOTAL GFA:
- THE APPLICABLE GROSS FLOOR AREAS EXCEEDING 15% SHALL BE SUBJECT TO THE APPLICABLE OFFICE, RETAIL, OR EDUCATIONAL PARKING REQUIREMENTS.

Choice Properties REIT

**1 PRESIDENTS CHOICE CIRCLE**

BRAMPTON, ONTARIO
08.159SDR(P.ID# 2385)
EXISTING SITE A AND B

PRELIMINARY

DWG #: A1-6
2022-11-02
SCALE = 1 : 1600

F:\proj\08\159\08159SDR - PID# 2385 - 1 Presidents Choice Circle, Brampton, ON\07 Working Files\Revit\08159SDR-A1-6.rvt

PROPERTY DESCRIPTION: PT BLK 6, PLAN 43M1673, DES AS PTS 4 & 5, 43R29777; S/T EASEMENT IN FAVOUR OF HYDRO ONE BRAMPTON NETWORKS INC. OVER PT 8, 43R29773, AS IN PR801365; CITY OF BRAMPTON

PROPERTY REMARKS:

ESTATE/QUALIFIER: FEE SIMPLE ABSOLUTE

RECENTLY: DIVISION FROM 14089-0432

PIN CREATION DATE: 2008/02/13

OWNERS' NAMES: CP REIT ONTARIO PROPERTIES LIMITED

CAPACITY: SHARE

| REG. NUM. | DATE | INSTRUMENT TYPE | AMOUNT | PARTIES FROM | PARTIES TO | CERT/ CHKD |
|---|---|---|---|---|---|---|
| ** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2008/02/13 ** | | | | | | |
| NOTE: THE NO DEALINGS INDICATOR IS IN EFFECT ON THIS PROPERTY | | | | | | |
| VS248789 | 1973/02/12 | NOTICE | | | | C |
| REMARKS: AMENDMENT OF TORONTO-MALTON AIRPORT ZONING REGULATIONS LT248789 AMENDED TO READ 248789VS 95/11/14 KATHY POWER | | | | | | |
| LT2057426 | 2000/03/27 | NOTICE | | HER MAJESTY THE QUEEN IN RIGHT OF THE DEPARTMENT OF TRANSPORT CANADA | | C |
| REMARKS: PEARSON AIRPORT ZONING REGULATION | | | | | | |
| PR390415 | 2003/02/11 | NO OPTION PURCHASE | | *** DELETED AGAINST THIS PROPERTY *** CHURCHILL INDUSTRIAL PARK LIMITED | LOBLAW PROPERTIES LIMITED | |
| 43M1673 | 2005/01/28 | PLAN SUBDIVISION | | | | C |
| 43R29773 | 2005/01/31 | PLAN REFERENCE | | | | C |
| 43R29777 | 2005/02/01 | PLAN REFERENCE | | | | C |
| PR801362 | 2005/02/09 | NO SUB AGREEMENT | | THE CORPORATION OF THE CITY OF BRAMPTON THE REGIONAL MUNICIPALITY OF PEEL | ORLANDO CORPORATION | C |
| PR801365 | 2005/02/09 | TRANSFER EASEMENT | $2 | ORLANDO CORPORATION | HYDRO ONE BRAMPTON NETWORKS INC. | C |
| PR801512 | 2005/02/09 | APL (GENERAL) | | *** DELETED AGAINST THIS PROPERTY *** LOBLAW PROPERTIES LIMITED | | |
| REMARKS: POSTPONES PR390415 TO PR801362 | | | | | | |
| PR801515 | 2005/02/09 | APL (GENERAL) | | *** DELETED AGAINST THIS PROPERTY *** LOBLAW PROPERTIES LIMITED | | |
| REMARKS: POSTPONES PR390415 TO PR801365 | | | | | | |
| PR803886 | 2005/02/15 | BYLAW | | THE CORPORATION OF THE CITY OF BRAMPTON | | C |

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

| REG. NUM. | DATE | INSTRUMENT TYPE | AMOUNT | PARTIES FROM | PARTIES TO | CERT/ CHKD |
|---|---|---|---|---|---|---|
| | *REMARKS: PART LOT CONTROL* | | | | | |
| PR817479 | 2005/03/14 | NOTICE | | *** DELETED AGAINST THIS PROPERTY ***<br>ORLANDO CORPORATION | LOBLAW PROPERTIES LIMITED | |
| | *REMARKS: PR390415* | | | | | |
| PR1023836 | 2006/03/03 | BYLAW | | THE CORPORATION OF THE CITY OF BRAMPTON | | C |
| | *REMARKS: TO PREVENT THE APPLICATION OF PART LOT CONTROL TO PART OF REGISTERED PL 43M-1673.* | | | | | |
| PR1323891 | 2007/08/28 | BYLAW | | THE COPORATION OF THE CITY OF BRAMPTON | | C |
| | *REMARKS: TO PREVENT THE APPLICATION OF PART LOT CONTROL TO PART OF REGISTERED PLAN 43M1673.* | | | | | |
| PR1401337 | 2008/01/14 | TRANSFER | $9,530,062 | ORLANDO CORPORATION | LOBLAW PROPERTIES LIMITED | C |
| | *REMARKS: PLANNING ACT STATEMENTS* | | | | | |
| PR1401338 | 2008/01/14 | APL ANNEX REST COV | | LOBLAW PROPERTIES LIMITED | | C |
| | *REMARKS: FOR TWENTY-FIVE (25) YEARS FROM 2008 01 14* | | | | | |
| PR1605846 | 2009/02/20 | LR'S ORDER | | *** COMPLETELY DELETED ***<br>LAND REGISTRAR, LRO 43 | LAND REGISTRAR, LRO 43 | |
| | *REMARKS: PR390415, PR810512, PR801515 & PR817479 BE DELETED FROM INSTRUMENT FILE OF PIN 14089-0481 & ADDED TO PIN 14089-0480 ; PR810512 AMENDED TO PR801512.* | | | | | |
| PR2169757 | 2012/03/27 | RESTRICTION-LAND | | LOBLAW PROPERTIES LIMITED | | C |
| | *REMARKS: NO TRANSFER OR A CHARGE OF ANY LESS THAN THE WHOLE OF THE LANDS DESCRIBED HEREIN SHALL BE REGISTERED WITHOUT THE WRITTEN CONSENT OF THE REGIONAL MUNICIPALITY OF PEEL.* | | | | | |
| PR2184585 | 2012/04/26 | NOTICE | $2 | THE CORPORATION OF THE CITY OF BRAMPTON | | C |
| PR2388168 | 2013/06/25 | TRANSFER | | LOBLAW PROPERTIES LIMITED | CP REIT ONTARIO PROPERTIES LIMITED | C |
| PR2599333 | 2014/09/15 | NOTICE OF LEASE | $2 | CP REIT ONTARIO PROPERTIES LIMITED | FIRELIGHT SOLAR (GP) INC.<br>FIRELIGHT SOLAR (LP) | C |
| PR2633373 | 2014/11/19 | NO CHARGE LEASE | $13,125,000 | FIRELIGHT SOLAR (GP) INC.<br>FIRELIGHT SOLAR L.P. | STONEBRIDGE FINANCIAL CORPORATION | C |
| | *REMARKS: PR2599333.* | | | | | |
| PR2633374 | 2014/11/19 | NO SEC INTEREST | $13,125,000 | STONEBRIDGE FINANCIAL CORPORATION | | C |
| PR2807189 | 2015/10/21 | NOTICE OF LEASE | $2 | CP REIT ONTARIO PROPERTIES LIMITED | LOBLAWS INC. | C |
| PR3011795 | 2016/10/19 | NOTICE OF SUBLEASE | | LOBLAWS INC. | SUN LIFE ASSURANCE COMPANY OF CANADA | C |

| REG. NUM. | DATE | INSTRUMENT TYPE | AMOUNT | PARTIES FROM | PARTIES TO | CERT/ CHKD |
|---|---|---|---|---|---|---|
| *REMARKS: PR2807189.* | | | | | | |

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT ALL PAGES ARE PRESENT.

PROPERTY DESCRIPTION: PT BLK 6, PL 43M1673 DES AS PTS 1, 2, 3, PL 43R29777; S/T EASE IN FAVOUR OF HYDRO ONE BRAMPTON NETWORKS INC. OVER PT BLK 6, PL 43M1673 DES AS PT 2, PL 43R29777 AS IN PR801365; CITY OF BRAMPTON

PROPERTY REMARKS:

ESTATE/QUALIFIER:
FEE SIMPLE
ABSOLUTE

RECENTLY:
DIVISION FROM 14089-0403

PIN CREATION DATE:
2005/03/18

OWNERS' NAMES
CP REIT ONTARIO PROPERTIES LIMITED

CAPACITY SHARE

| REG. NUM. | DATE | INSTRUMENT TYPE | AMOUNT | PARTIES FROM | PARTIES TO | CERT/ CHKD |
|---|---|---|---|---|---|---|
| *** PRINTOUT INCLUDES ALL DOCUMENT TYPES AND DELETED INSTRUMENTS SINCE 2005/03/18 ** | | | | | | |
| *NOTE: THE NO DEALINGS INDICATOR IS IN EFFECT ON THIS PROPERTY* | | | | | | |
| VS248789 | 1973/02/12 | NOTICE | | | | C |
| | *REMARKS: AMENDMENT OF TORONTO-MALTON AIRPORT ZONING REGULATIONS LT248789 AMENDED TO READ 248789VS 95/11/14 KATHY POWER* | | | | | |
| LT2057426 | 2000/03/27 | NOTICE | | HER MAJESTY THE QUEEN IN RIGHT OF THE DEPARTMENT OF TRANSPORT CANADA | | C |
| | *REMARKS: PEARSON AIRPORT ZONING REGULATION* | | | | | |
| PR390415 | 2003/02/11 | NO OPTION PURCHASE | | *** DELETED AGAINST THIS PROPERTY *** CHURCHILL INDUSTRIAL PARK LIMITED | LOBLAW PROPERTIES LIMITED | |
| 43M1673 | 2005/01/28 | PLAN SUBDIVISION | | | | C |
| 43R29773 | 2005/01/31 | PLAN REFERENCE | | | | C |
| 43R29777 | 2005/02/01 | PLAN REFERENCE | | | | C |
| PR801362 | 2005/02/09 | NO SUB AGREEMENT | | THE CORPORATION OF THE CITY OF BRAMPTON THE REGIONAL MUNICIPALITY OF PEEL | ORLANDO CORPORATION | C |
| PR801365 | 2005/02/09 | TRANSFER EASEMENT | $2 | ORLANDO CORPORATION | HYDRO ONE BRAMPTON NETWORKS INC. | C |
| PR801512 | 2005/02/09 | APL (GENERAL) | | *** DELETED AGAINST THIS PROPERTY *** LOBLAW PROPERTIES LIMITED | | |
| | *REMARKS: POSTPONES PR390415 TO PR801362* | | | | | |
| PR801515 | 2005/02/09 | APL (GENERAL) | | *** DELETED AGAINST THIS PROPERTY *** LOBLAW PROPERTIES LIMITED | | |
| | *REMARKS: POSTPONES PR390415 TO PR801365* | | | | | |
| PR803886 | 2005/02/15 | BYLAW | | THE CORPORATION OF THE CITY OF BRAMPTON | | C |

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

| REG. NUM. | DATE | INSTRUMENT TYPE | AMOUNT | PARTIES FROM | PARTIES TO | CERT/ CHKD |
|---|---|---|---|---|---|---|
| | *REMARKS: PART LOT CONTROL* | | | | | |
| PR806389 | 2005/02/21 | NOTICE | $2 | THE CORPORATION OF THE CITY OF BRAMPTON | | C |
| | *REMARKS: SITE PLAN AGREEMENT* | | | | | |
| PR817478 | 2005/03/14 | TRANSFER | | *** DELETED AGAINST THIS PROPERTY ***<br>ORLANDO CORPORATION | LOBLAW PROPERTIES LIMITED | |
| | *REMARKS: PLANNING ACT STATEMENTS* | | | | | |
| PR935701 | 2005/09/29 | APL (GENERAL) | | *** COMPLETELY DELETED ***<br>LOBLAW PROPERTIES LIMITED | | |
| | *REMARKS: DELETES PR390415, PR801512, PR801515* | | | | | |
| PR940176 | 2005/10/05 | CONSTRUCTION LIEN | | *** COMPLETELY DELETED ***<br>NOVUS FIRE PROTECTION CONSULTING LTD. | | |
| PR957603 | 2005/11/03 | DIS CONSTRUCT LIEN | | *** COMPLETELY DELETED *** | NOVUS FIRE PROTECTION CONSULTING LTD. | |
| | *REMARKS: RE: PR940176* | | | | | |
| PR958716 | 2005/11/07 | NOTICE | $2 | THE CORPORATION OF THE CITY OF BRAMPTON | | C |
| PR1023836 | 2006/03/03 | BYLAW | | THE CORPORATION OF THE CITY OF BRAMPTON | | C |
| | *REMARKS: TO PREVENT THE APPLICATION OF PART LOT CONTROL TO PART OF REGISTERED PL 43M-1673.* | | | | | |
| 43R33057 | 2009/11/25 | PLAN REFERENCE | | | | C |
| PR2169757 | 2012/03/27 | RESTRICTION-LAND | | LOBLAW PROPERTIES LIMITED | | C |
| | *REMARKS: NO TRANSFER OR A CHARGE OF ANY LESS THAN THE WHOLE OF THE LANDS DESCRIBED HEREIN SHALL BE REGISTERED WITHOUT THE WRITTEN CONSENT OF THE REGIONAL MUNICIPALITY OF PEEL.* | | | | | |
| PR2184585 | 2012/04/26 | NOTICE | $2 | THE CORPORATION OF THE CITY OF BRAMPTON | | C |
| PR2388168 | 2013/06/25 | TRANSFER | | LOBLAW PROPERTIES LIMITED | CP REIT ONTARIO PROPERTIES LIMITED | C |
| PR2599333 | 2014/09/15 | NOTICE OF LEASE | $2 | CP REIT ONTARIO PROPERTIES LIMITED | FIRELIGHT SOLAR (GP) INC.<br>FIRELIGHT SOLAR (LP) | C |
| PR2633373 | 2014/11/19 | NO CHARGE LEASE | $13,125,000 | FIRELIGHT SOLAR (GP) INC.<br>FIRELIGHT SOLAR L.P. | STONEBRIDGE FINANCIAL CORPORATION | C |
| | *REMARKS: PR2599333.* | | | | | |
| PR2633374 | 2014/11/19 | NO SEC INTEREST | $13,125,000 | STONEBRIDGE FINANCIAL CORPORATION | | C |

| REG. NUM. | DATE | INSTRUMENT TYPE | AMOUNT | PARTIES FROM | PARTIES TO | CERT/ CHKD |
|---|---|---|---|---|---|---|
| PR2807197 | 2015/10/21 | NOTICE OF LEASE | $2 | CP REIT ONTARIO PROPERTIES LIMITED | LOBLAWS INC. | C |
| PR3011796 | 2016/10/19 | NOTICE OF SUBLEASE | | LOBLAWS INC. | SUN LIFE ASSURANCE COMPANY OF CANADA | C |
| *REMARKS: PR2807197.* | | | | | | |

## Properties

| | |
|---|---|
| *PIN* | 14089 – 0480 LT |
| *Description* | PT BLK 6, PLAN 43M1673, DES AS PTS 4 & 5, 43R29777; BRAMPTON. S/T EASEMENT IN FAVOUR OF HYDRO ONE BRAMPTON NETWORKS INC. OVER PT 8, 43R29773, AS IN PR801365. |
| *Address* | 1 PRESIDENT'S CHOICE CIRCLE<br>BRAMPTON |
| *PIN* | 14089 – 0431 LT |
| *Description* | PT BLK 6, PL 43M1673 DES AS PTS 1, 2, 3, PL 43R29777; BRAMPTON ; S/T EASE IN FAVOUR OF HYDRO ONE BRAMPTON NETWORKS INC. OVER PT BLK 6, PL 43M1673 DES AS PT 2, PL 43R29777 AS IN PR801365 |
| *Address* | 1 PRESIDENT'S CHOICE CIRCLE<br>BRAMPTON |

## Applicant(s)

| | |
|---|---|
| *Name* | LOBLAW PROPERTIES LIMITED |
| *Address for Service* | 1 President's Choice Circle<br>4th Floor, South Tower<br>Brampton, ON L6Y 5S5 |

I, S. Jane Marshall, EVP and I, Doris L. Baughan, SVP, have the authority to bind the corporation.
This document is not authorized under Power of Attorney by this party.

## Statements

Schedule: Loblaw Properties Limited, the registered owner of the lands herein, hereby applies under Section 118 of the Land Titles Act to have annexed to the lands a restriction whereby no Transfer in Fee Simple or a Charge as defined under the Land Registration Reforms Act of any less than the whole of the lands described herein shall be registered without the written consent of The Regional Municipality of Peel.

## Signed By

| | | | | |
|---|---|---|---|---|
| Doris Lillian Baughan | 1 President's Choice Circle, 4th Floor<br>Brampton<br>L6Y 5S5 | acting for Applicant(s) | Signed | 2012 03 27 |

Tel 9054592500
Fax 9058612328

I have the authority to sign and register the document on behalf of the Applicant(s).

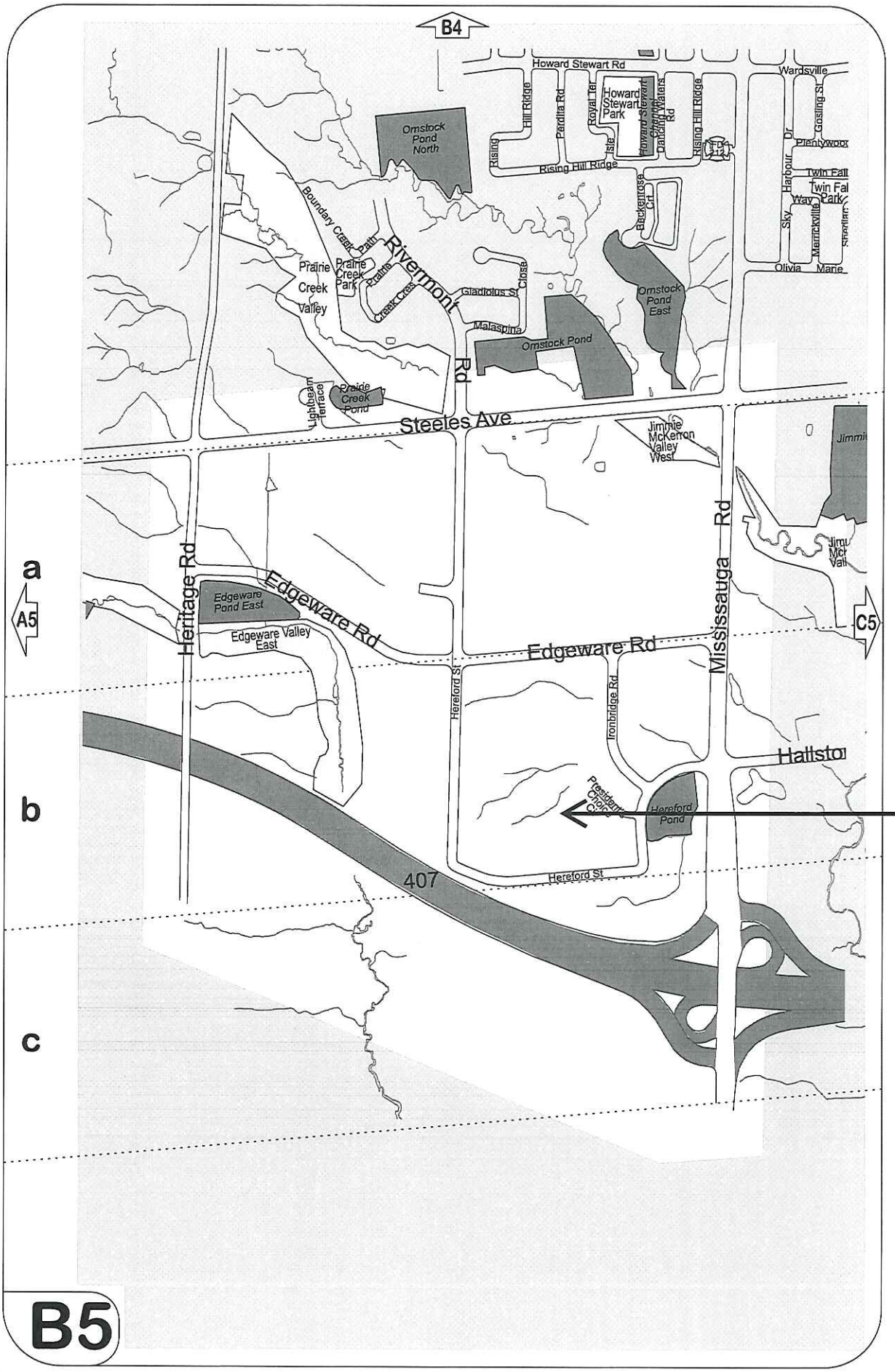
## Submitted By

| | | |
|---|---|---|
| LOBLAW PROPERTIES LIMITED | 1 President's Choice Circle, 4th Floor<br>Brampton<br>L6Y 5S5 | 2012 03 27 |

Tel 9054592500
Fax 9058612328

## Fees/Taxes/Payment

| | |
|---|---|
| *Statutory Registration Fee* | $60.00 |
| *Total Paid* | $60.00 |


B4
Howard Stewart Rd
Wardsville
Ornstock Pond North
Hill Ridge
Parolla Rd
Royal Ter
Howard Stewart Park
Rising Hill Ridge
Boundary Creek Path
Rivermont Rd
Prairie Creek Park
Prairie Creek Valley
Gladiolus St
Close
Malaspina
Ornstock Pond
Ornstock Pond East
Backentose Crt
Olivia Marie
Lightbeam Terrace
Prairie Creek Pond
Steeles Ave
Jimmie McKerron Valley West
Heritage Rd
Edgeware Pond East
Edgeware Valley East
Edgeware Rd
Hereford St
Ironbridge Rd
Mississauga Rd
A5
C5
a
b
c
Hereford Pond
407
B-2022-0022
B5

# Public Notice

## Committee of Adjustment

**APPLICATION # B-2022-0023**
**Ward # 6**

**NOTICE OF AN APPLICATION FOR CONSENT**

An application for consent has been made by **TOP END CONSTRUCTION INC.**

**Purpose and Effect**

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 0.08 hectares (0.21 acres). The proposed severed lot has a frontage of approximately 12.29 metres (40.32 feet), a depth of approximately 31.35 metres (102.85 feet) and an area of approximately 0.357 hectares (0.09 acres). The effect of the application is to facilitate a land exchange for completion of future residential lots.

**Location of Land:**

Municipal Address: 8917 Heritage Road Former Township: Chinguacousy

Legal Description: Part of Lot 5, Concession 5 WHS

**Meeting**

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. **This will also entitle you to be advised of a possible Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment Decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.**

***PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC***

==========

**LAST DAY FOR RECEIVING COMMENTS: DECEMBER 1, 2022**

==========

***NOTE:*** IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

**Other Planning Act Applications**

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

| | | |
|---|---|---|
| Official Plan Amendment: | NO | File Number: |
| Zoning By-law Amendment: | YES | File Number: C05W05.008 |
| Minor Variance: | NO | File Number: |

**Decision and Appeal**

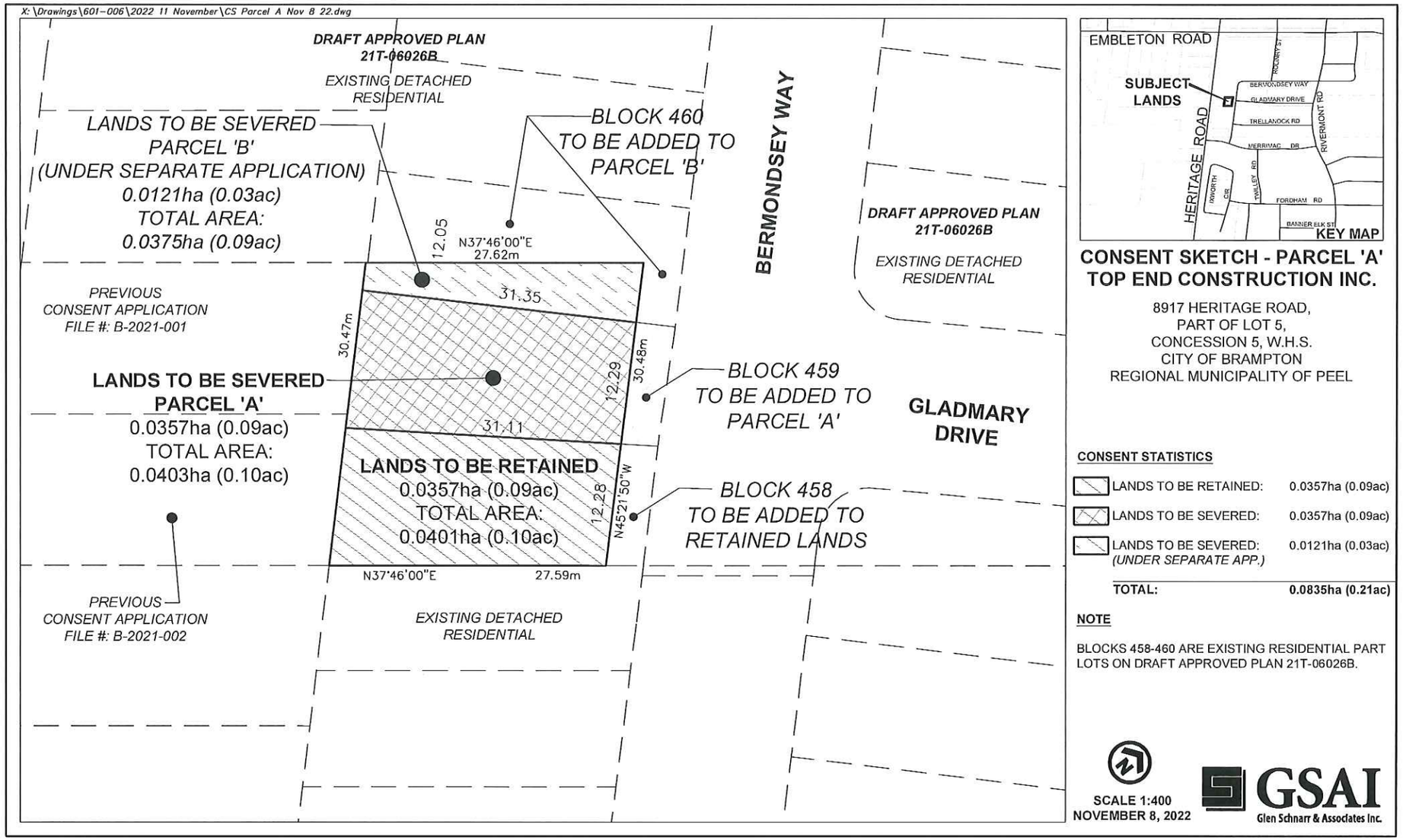
Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Ontario Land Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Ontario Land Tribunal Act, 2021.* The appeal form is available from the Ontario Land Tribunal website at https://olt.gov.on.ca/appeals-process/forms/

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Ontario Land Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS 17th Day of November 2022

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

**Jeanie Myers, Secretary-Treasurer**
**City of Brampton Committee of Adjustment**
**City Clerk's Office, Brampton City Hall**
**2 Wellington Street West**
**Brampton, Ontario L6Y 4R2**
**Phone: (905)874-2117 Fax: (905)874-2119**
**Jeanie.myers@brampton.ca**


X:\Drawings\601-006\2022 11 November\CS Parcel A Nov 8 22.dwg
DRAFT APPROVED PLAN
21T-06026B
EXISTING DETACHED RESIDENTIAL
LANDS TO BE SEVERED
PARCEL 'B'
(UNDER SEPARATE APPLICATION)
0.0121ha (0.03ac)
TOTAL AREA:
0.0375ha (0.09ac)
BLOCK 460
TO BE ADDED TO
PARCEL 'B'
BERMONDSEY WAY
DRAFT APPROVED PLAN
21T-06026B
EXISTING DETACHED RESIDENTIAL
12.05
N37°46'00"E
27.62m
31.35
PREVIOUS
CONSENT APPLICATION
FILE #: B-2021-001
30.47m
30.48m
12.29
LANDS TO BE SEVERED
PARCEL 'A'
0.0357ha (0.09ac)
TOTAL AREA:
0.0403ha (0.10ac)
BLOCK 459
TO BE ADDED TO
PARCEL 'A'
GLADMARY
DRIVE
31.11
LANDS TO BE RETAINED
0.0357ha (0.09ac)
TOTAL AREA:
0.0401ha (0.10ac)
12.28
N45°21'50"W
BLOCK 458
TO BE ADDED TO
RETAINED LANDS
N37°46'00"E
27.59m
PREVIOUS
CONSENT APPLICATION
FILE #: B-2021-002
EXISTING DETACHED
RESIDENTIAL
EMBLETON ROAD
SUBJECT
LANDS
HERITAGE ROAD
BERMONDSEY WAY
GLADMARY DRIVE
TRELLANOCK RD
MERRIMAC DR
FORDHAM RD
BANNER ELK ST
RIVERMONT RD
KEY MAP
CONSENT SKETCH - PARCEL 'A'
TOP END CONSTRUCTION INC.
8917 HERITAGE ROAD,
PART OF LOT 5,
CONCESSION 5, W.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
CONSENT STATISTICS
LANDS TO BE RETAINED: 0.0357ha (0.09ac)
LANDS TO BE SEVERED: 0.0357ha (0.09ac)
LANDS TO BE SEVERED: 0.0121ha (0.03ac)
(UNDER SEPARATE APP.)
TOTAL: 0.0835ha (0.21ac)
NOTE
BLOCKS 458-460 ARE EXISTING RESIDENTIAL PART LOTS ON DRAFT APPROVED PLAN 21T-06026B.
SCALE 1:400
NOVEMBER 8, 2022
GSAI
Glen Schnarr & Associates Inc.

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

GSAI
Glen Schnarr & Associates Inc.

Partners:
**Glen Broll,** MCIP, RPP
**Colin Chung,** MCIP, RPP
**Jim Levac,** MCIP, RPP
**Jason Afonso,** MCIP, RPP
**Karen Bennett,** MCIP, RPP

*In Memoriam, Founding Partner:*
**Glen Schnarr**

**November 8, 2022** **GSAI File: 601-006**

B-2022-0023; B-2022-0024

City of Brampton
Committee of Adjustment
2 Wellington Street
Brampton, ON
L5B 3C1

**Attention:** **Jeanie Myers**
Secretary-Treasurer, Committee of Adjustment

**Re: Two Applications for Consent**
**8917 Heritage Road**
**Part of Lot 5, Concession 5 WHS**
**East of Heritage Road, south of Embleton Road**
**Owner: Top End Construction Inc.**
**City of Brampton, Regional Municipality of Peel**

We are pleased to submit two applications for Consent for the above-noted property on behalf of our client, Top End Construction Inc. The property (herein referred to as "Subject Property") is municipally known as 8917 Heritage Road, legally described as:

PART LOT 5 CONCESSION 5 WEST OF HURONTARIO STREET CHINGUACOUSY,PARTS 6,7 AND 8 43R39980 CITY OF BRAMPTON

The Subject Property has an area of 0.08 hectares (0.21 acres), with a depth of approximately 30.52 metres and a width of approximately 27.59 metres. The Subject Property has current access to Bermondsey Way by way of an existing temporary public access easement. The Subject Property is designated as "Low/Medium Density Residential" in the Bram West Secondary Plan Area 40 (d) and "Low/Medium Density" in the approved Riverview Heights Community Block Plan (Sub Area 40-3) permitting detached dwellings. The Subject Property has been rezoned (City file: C05W05.008) from Agricultural (A) to Residential Single Detached (R1E-12.0-2876 and R1E-10.4-2427) which also permits single detached dwellings. The Subject Property was the retained lot in previous consent applications (under City Files: B-2021-001 and B-2021-002), approved by the Committee of Adjustment in January 2021, which severed two new lots adjacent to Heritage Road. The Subject Property is currently vacant.

The Subject Property is now proposed to be divided into three parcels, in accordance with the lotting fabric of the surrounding Approved Draft Plan of Subdivision (City file 21T-06026B) which is expected to be registered this week. These lands are owned by Kendalwood Land Developments Inc. and the subject consent applications are required to facilitate a land exchange between Kendalwood Land Developments Inc. and our client. The retained parcel and two severed parcels will merge with future residential blocks

(part lots) from the Kendalwood Plan of Subdivision to create full lots, which will all comply with the respective Zoning By-law provisions. Please see "Consent Sketch – Parcel A" and "Consent Sketch – Parcel B" prepared by Glen Schnarr & Associates Inc., included with this submission for further detail.

| **Parcel** | **Zone** | **Parcel Size** | **Ultimate Lot Area** (Once merged with future residential block) | **Ultimate Lot Depth** (Once merged with future residential block) | **Ultimate Lot Width** (Once merged with future residential block) |
|---|---|---|---|---|---|
| **Retained Parcel** (To merge with Block 458 on Draft Plan 21T-06026B) | R1E-12.0-2876 | 0.09 acres | 0.10 acres | +/- 31 metres | +/- 12.28 metres |
| **Parcel A** (To merge with Block 459 on Draft Plan 21T-06028B) | R1E-12.0-2876 | 0.09 acres | 0.10 acres | +/- 35 metres | +/- 12.29 metres |
| **Parcel B** (To merge with Block 460 on Draft Plan 21T-06026B) | R1E-12.0-2876 and R1E-10.4-2427 | 0.03 acres | 0.09 acres | +/- 35 metres | +/- 12.05 metres |

As per Zoning By-law 66-2019, the R1E-12.0-2876 zone applies to the proposed retained lands and the proposed Severed Parcel 'A', whereas both R1E-12.0-2876 and R1E-10.4-2427 zones apply to the northernmost proposed severed parcel, Parcel 'B'. The 3 resultant lots (once merged with associated part lots) will meet the minimum Zoning By-law requirements and therefore we do not anticipate any minor variances being required. We understand that the parcels created through the subject Consent applications can merge with the respective part lots by way of the consent certificate.

Please find attached the following documents in support of our two consent applications:

- One (1) copy of completed Consent Application Forms – Parcel A dated November 7, 2022
- One (1) copy of completed Consent Application Forms – Parcel B dated November 7, 2022;
- Twenty (20) copies of Consent Sketch A prepared by Glen Schnarr & Associates Inc., dated November 8, 22;
- Twenty (20) copies of Consent Sketch B prepared by Glen Schnarr & Associates Inc., dated November 8, 2022;
- One (1) copy of the Approved Draft Plan of Subdivision 21T-06026B prepared by Malone Given Parsons dated September 10, 2020; and,
- Cheque in the amount of $8,238.00 made payable to "Treasurer, City of Brampton", in payment of two consent application fees.

GSAI
Glen Schnarr & Associates Inc.

We trust that this submission is sufficient for circulation and request to be placed on the agenda for the December 6th 2022 hearing. Please do not hesitate to contact the undersigned at 905-409-1825 or jennifers@gsai.ca if you have any questions.

Yours very truly,

**GLEN SCHNARR & ASSOCIATES INC.**

**Jennifer Staden**, MCIP, RPP
**Associate**

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**APPLICATION NUMBER:** "B"-2022-0023

*The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
## Consent
(Please read Instructions)

**NOTE:** Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) **Name of Owner/Applicant** TOP END CONSTRUCTION INC. ( Attn: Drazen Vuckovic)
(print given and family names in full)

**Address** 1204 Milna Drive, Oakville, Ontario, L6H 0A8

**Phone #** 905-276-9980 **Fax #**

**Email** drazen.vuckovic@yahoo.ca

(b) **Name of Authorized Agent** Glen Schnarr and Associates Inc. (Attn: Jennifer Staden)

**Address** 700, 10 Kingsbridge Garden Circle, Mississauga, Ontario, L5R 3K6

**Phone #** 905-409-1825 **Fax #** 905-568-8894

**Email** jennifers@gsai.ca

2. **The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.**

**Specify:** Severance for the creation of a new lot

3. **If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.**

KENDALWOOD LAND DEVELOPMENT INC.

4. **Description of the subject land ("subject land" means the land to be severed and retained):**

**a) Name of Street** Heritage Road **Number** 8917

**b) Concession No.** 5 WHS **Lot(s)** Part Lot 5

**c) Registered Plan No.** 43R39980 **Lot(s)** Parts 6, 7, 8

**d) Reference Plan No.** N/A **Lot(s)**

**e) Assessment Roll No.** 211008001202500 **Geographic or Former Township** Chinguacousy

5. **Are there any easements or restrictive covenants affecting the subject land?**

**Yes** ☐ **No** ☑
**Specify:**

6. **Description of severed land: (in metric units)**

a) **Frontage** +/- 12.29 metres **Depth** +/- 31.35 metres **Area** 0.0357 ha (0.09 ac)

b) **Existing Use** Residential **Proposed Use** Residential

c) **Number and use of buildings and structures (both existing and proposed) on the land to be severed:**

**(existing)** 0

**(proposed** One detached dwelling (once parcel merges with associated part lot)

| d) Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☐ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) **If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?**

N/A

| f) Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water systen | ☑ | ☐ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |
| Other (specify): | | |

| g) Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☐ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |
| Other (specify): | | |

7. **Description of retained land: (in metric units)**

a) **Frontage** +/- 12.28 metres **Depth** 27.59 -31.33 metres **Area** 0.0357 ha (0.09 ac)

b) **Existing Use** Residential **Proposed Use** Residential

c) **Number and use of buildings and structures (both existing and proposed) on the land to be retained:**

**(existing)** 0

**(proposed** One detached dwelling (once parcel merges with associated part lot)

| d) Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☐ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

| f) Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water systen | ☑ | ☐ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |
| Other (specify): | | |

| g) Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☐ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |
| Other (specify): | | |

8. What is the current designation of the land in any applicable zoning by-law and official plan?

| | Land to be Severed | Land to be Retained |
|---|---|---|
| Zoning By-Law | R1E-12.0-2876 | R1E-12.0-2876 |
| Official Plans | | |
| City of Brampton | Low/Medium Density | Low/Medium Density |
| Region of Peel | Urban System | Urban System |

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☑ No ☐

File # B-2021-001 and B-2021-002 Status/Decision Approved

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☑ No ☐

Date of Transfer July 2021 Land Use Residential

11. **If known, is/was the subject land the subject of any other application under the Planning Act, such as:**

| | File Number | Status |
|---|---|---|
| **Official Plan Amendment** | | |
| **Zoning By-law Amendment** | CO5W05.008 | Approved |
| **Minister's Zoning Order** | | |
| **Minor Variance** | | |
| **Validation of the Title** | | |
| **Approval of Power and Sale** | | |
| **Plan of Subdivision** | | |

12. **Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act?*** **Yes** ☑ **No** ☐

13. **Is the subject land within an area of land designated under any Provincial Plan?** **Yes** ☑ **No** ☐

14. **If the answer is yes, does the application conform to the applicable Provincial Plan?** **Yes** ☑ **No** ☐

15. **If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).**

Dated at the City of Barrie

this 7 day of November, 2022.

Jennifer Staden

Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:

☐ I have the authority to bind the Corporation

## DECLARATION

I, Jennifer Staden, Glen Schnarr & Associates Inc. of the City of Barrie

in the County/District/Regional Municipality of N/A solemnly declare that all the statements contained in t

application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Mississauga

in the Region of Peel

this 7 day of November, 2022.

Jennifer Staden

Signature of applicant/solicitor/authorized agent, etc.

Submit by Email

Signature of a Commissioner, etc.

Laura Kim Amorim, a Commissioner, etc.,
Province of Ontario, for
Glen Schnarr & Associates Inc.
Expires March 3, 2023.

**FOR OFFICE USE ONLY** - To Be Completed By the Zoning Division

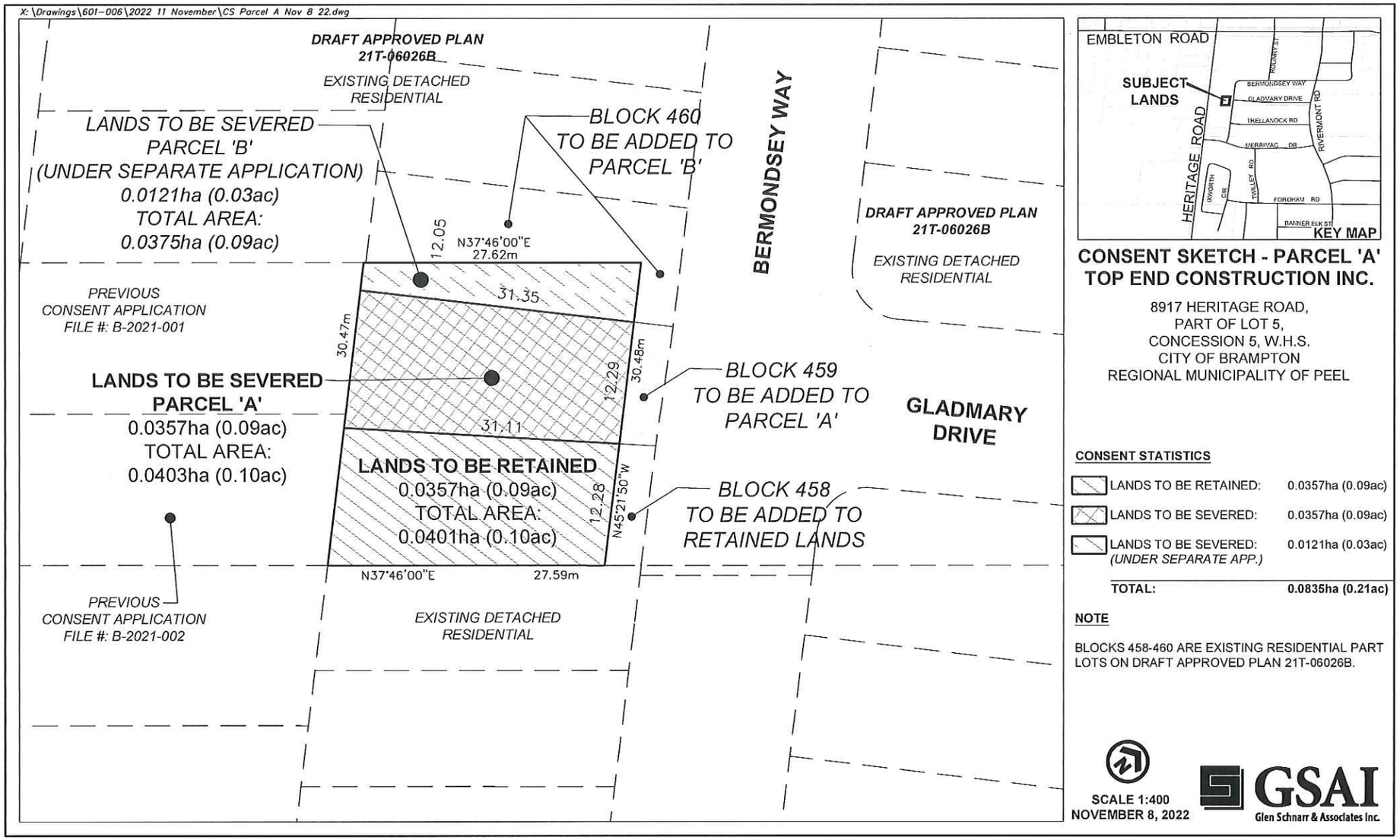
This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

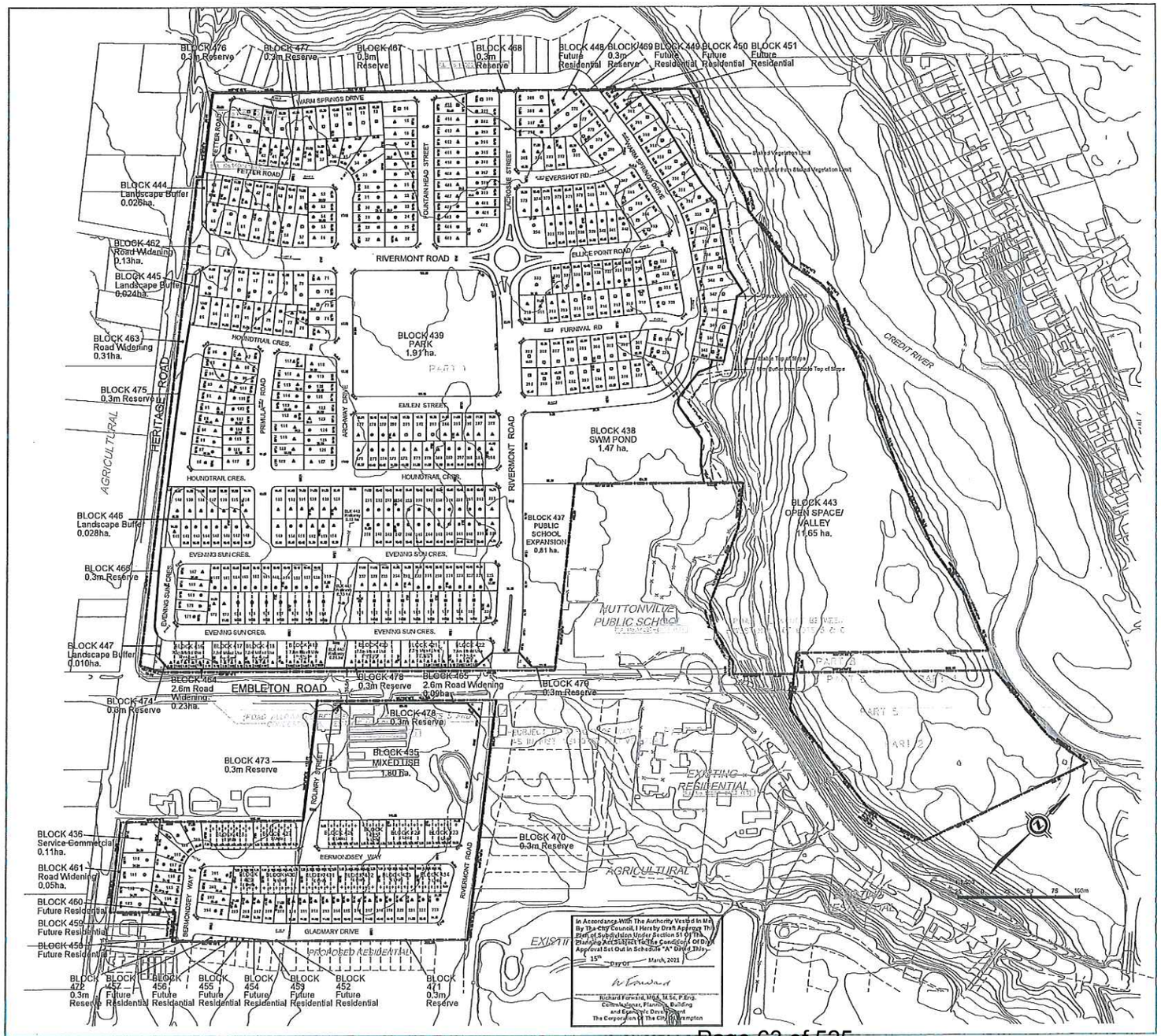
Zoning Officer

Date

**DATE RECEIVED** NOVEMBER 8, 2022

**Date Application Deemed Complete by the Municipality**


X:\Drawings\601-006\2022 11 November\CS Parcel A Nov 8 22.dwg
DRAFT APPROVED PLAN
21T-06026B
EXISTING DETACHED RESIDENTIAL
LANDS TO BE SEVERED
PARCEL 'B'
(UNDER SEPARATE APPLICATION)
0.0121ha (0.03ac)
TOTAL AREA:
0.0375ha (0.09ac)
BLOCK 460
TO BE ADDED TO
PARCEL 'B'
BERMONDSEY WAY
DRAFT APPROVED PLAN
21T-06026B
EXISTING DETACHED RESIDENTIAL
12.05
N37°46'00"E
27.62m
31.35
PREVIOUS
CONSENT APPLICATION
FILE #: B-2021-001
30.47m
30.48m
12.29
LANDS TO BE SEVERED
PARCEL 'A'
0.0357ha (0.09ac)
TOTAL AREA:
0.0403ha (0.10ac)
BLOCK 459
TO BE ADDED TO
PARCEL 'A'
GLADMARY
DRIVE
31.11
LANDS TO BE RETAINED
0.0357ha (0.09ac)
TOTAL AREA:
0.0401ha (0.10ac)
12.28
N45°21'50"W
BLOCK 458
TO BE ADDED TO
RETAINED LANDS
N37°46'00"E
27.59m
PREVIOUS
CONSENT APPLICATION
FILE #: B-2021-002
EXISTING DETACHED RESIDENTIAL
EMBLETON ROAD
SUBJECT LANDS
HERITAGE ROAD
BERMONDSEY WAY
GLADMARY DRIVE
TRELLANOCK RD
MERRIMAC DR
FORDHAM RD
RIVERMONT RD
KEY MAP
CONSENT SKETCH - PARCEL 'A'
TOP END CONSTRUCTION INC.
8917 HERITAGE ROAD,
PART OF LOT 5,
CONCESSION 5, W.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
CONSENT STATISTICS
LANDS TO BE RETAINED: 0.0357ha (0.09ac)
LANDS TO BE SEVERED: 0.0357ha (0.09ac)
LANDS TO BE SEVERED: 0.0121ha (0.03ac)
(UNDER SEPARATE APP.)
TOTAL: 0.0835ha (0.21ac)
NOTE
BLOCKS 458-460 ARE EXISTING RESIDENTIAL PART LOTS ON DRAFT APPROVED PLAN 21T-06026B.
SCALE 1:400
NOVEMBER 8, 2022
GSAI
Glen Schnarr & Associates Inc.

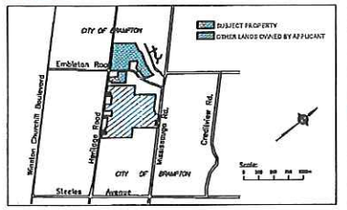



# DRAFT PLAN OF 21T-06026B SUBDIVISION

**Part of East and West Halves of Lot 6, Part of East and West Halves of Lot 5, Part of the Original Road Allowance Between the East Halves of Lots 5 & 6 and Part of the Original Road Allowance Between the West Halves of Lots 5 & 6, Concession 5, West of Hurontario Street**

**City of Brampton - Regional Municipality of Peel**

## KEY PLAN




## SCHEDULE OF LAND USE

| Lot/Block | Land Use | | Units | Area(ha) |
|---|---|---|---|---|
| Lot 1 - 415 | Single Family min. 15.2m (50ft) | o | 20 | 1.13 |
| | Single Family min. 13.7m (45ft) | □ | 85 | 4.64 |
| | Single Family min. 11.9m (39ft) | △ | 138 | 5.41 |
| | Single Family min. 10.4m (34ft) | ● | 155 | 5.35 |
| | Semi Detached min. 7.3m (24ft) | ■ | 32 | 0.79 |
| Block 416 - 422 | Maisonette Townhouse min. 7.5m (25ft) | ▲ | 37 | 0.60 |
| Block 423 - 434 | Street Townhouse min. 6.1m (20ft) | ▪ | 89 | 1.37 |
| Block 435 | Mixed Use | | | 1.80 |
| Block 436 | Service Commercial | | | 0.11 |
| Block 437 | Public School Expansion | | | 0.81 |
| Block 438 | SWM Pond | | | 1.47 |
| Block 439 | Park | | | 1.91 |
| Block 440 - 442 | Walkway | | | 0.32 |
| Block 443 | Open Space/Valley | | | 11.65 |
| Block 444 - 447 | Landscape Buffer/Slope | | | 0.93 |
| Block 448 - 459 | Future Residential | | | 0.29 |
| Block 461 - 466 | Road Widening | | | 0.81 |
| Block 467 - 479 | 0.3m Reserves | | | 0.93 |
| | | | | |
| Public Roads | 24m ROW | | | 2.37 |
| | 26m ROW | | | 0.70 |
| | 18m ROW | | | 6.66 |
| Total | | | 537 | 47.52 |

## OWNER'S AUTHORIZATION

We , Shayma Dick Holdings Inc., Kendalwood Land Developments Inc., and 2570616 Ontario Inc. hereby authorize Malone Given Parsons Ltd. to prepare and submit this Draft Plan of Subdivision to the City of Brampton.

October 24, 2019

Kelly Schofield, Authorized Signing Officer — Date

## SURVEYOR'S CERTIFICATE

I hereby certify that the boundaries of the lands to be subdivided as shown on this Plan and their relationship to the adjacent lands are accurately and correctly shown.

October 24, 2019

Paul Edward, O.L.S. R-PE Surveying Ltd. — Date

## ADDITIONAL INFORMATION

AS REQUIRED UNDER SECTION 51(17) OF THE PLANNING ACT, CHAPTER P.13(R.S.O. 1990).

(a),(e),(f),(g),(i),(l) - As shown of the Draft Plan.
(b),(c) - As shown on the Draft and Key Plan.
(d) - Land to be used in accordance with the Schedule of Land Use.
(i) - Soils is sands, silts, clay and tills.
(h),(k) - Full municipal services to be provided.

NOTE: Contours relate to Canadian Geodetic Datum. Contour interval is 1m with .25m interpolated.

| Date | Revision | By |
|---|---|---|
| Dec. 15 2006 | Original Submission | |
| June 26 2017 | Revised Submission | |
| Apr. 30 2019 | Revised Submission | |
| Oct. 24 2019 | Revised Submission | |
| Sep. 10 2020 | MGP Revised | |

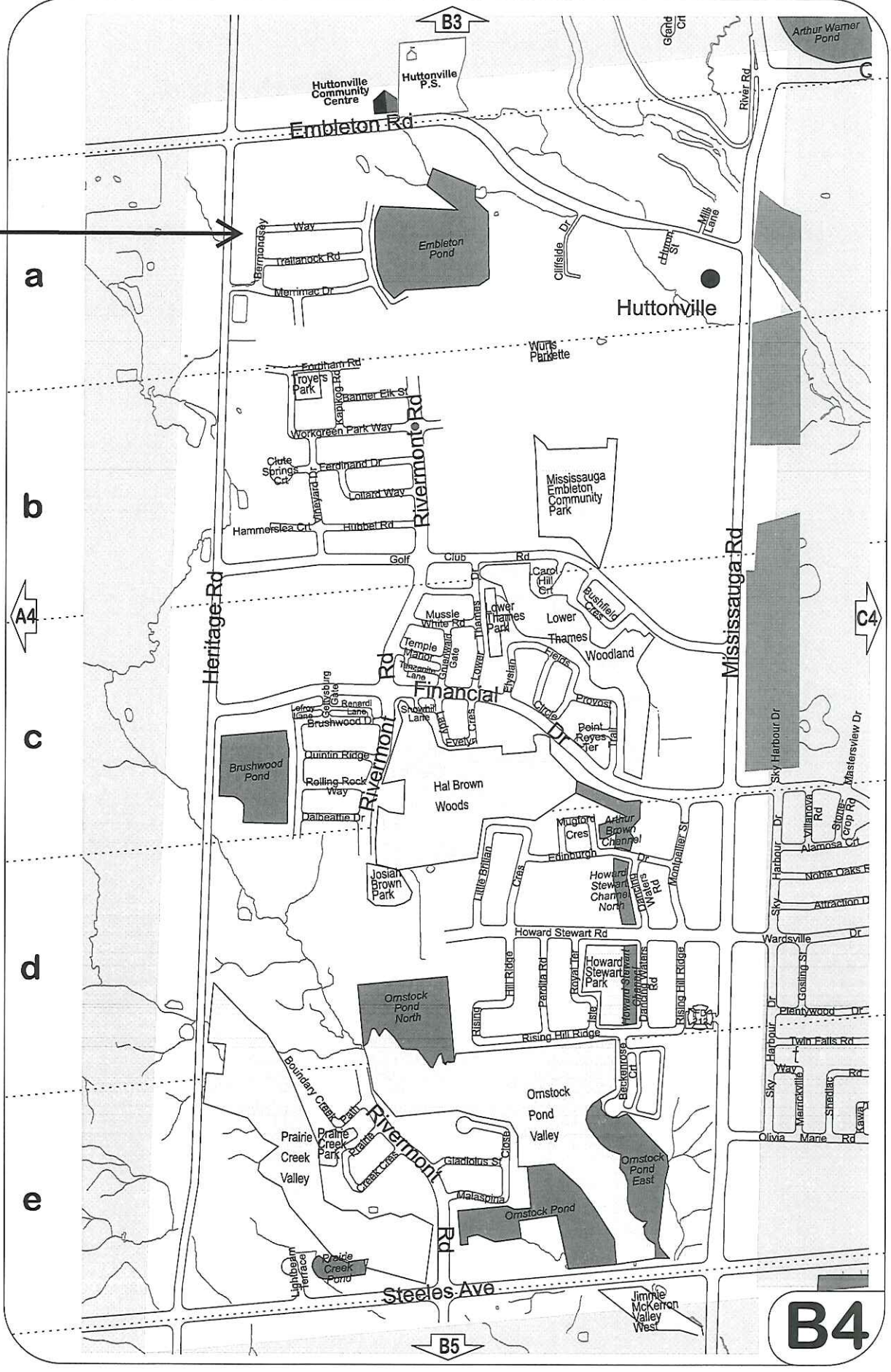
Prepared For:
Shayma Dick Holdings Inc.
Kendalwood Land Developments Inc.
2570616 Ontario Inc.

MGP File: 17-2577

MGP Malone Given Parsons.

140 Renfrew Drive, Suite 201 | Markham, ON | L3R 6B3
905 513 0170 | mgp.ca

B-2022-0023
B-2022-0024



BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # B-2022-0024**
**Ward # 6**

**NOTICE OF AN APPLICATION FOR CONSENT**

An application for consent has been made by **TOP END CONSTRUCTION INC.**

**Purpose and Effect**

The purpose of the application is to request consent to sever a parcel of land currently having a total area of 0.08 hectares (0.21 acres). The proposed severed lot has a frontage of approximately 12.05 metres (39.53 feet), a depth of approximately 31.35 metres (102.85 feet) and an area of approximately 0.012 hectares (0.03 acres). The effect of the application is to facilitate a land exchange for completion of future residential lots.

**Location of Land:**

Municipal Address: 8917 Heritage Road Former Township: Chinguacousy

Legal Description: Part of Lot 5, Concession 5 WHS

**Meeting**

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. **This will also entitle you to be advised of a possible Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment Decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.**

***PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC***

==========

**LAST DAY FOR RECEIVING COMMENTS: DECEMBER 1, 2022**

==========

***NOTE:*** IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

**Other Planning Act Applications**

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

| | | |
|---|---|---|
| Official Plan Amendment: | NO | File Number: |
| Zoning By-law Amendment: | YES | File Number: C05W05.008 |
| Minor Variance: | NO | File Number: |

**Decision and Appeal**

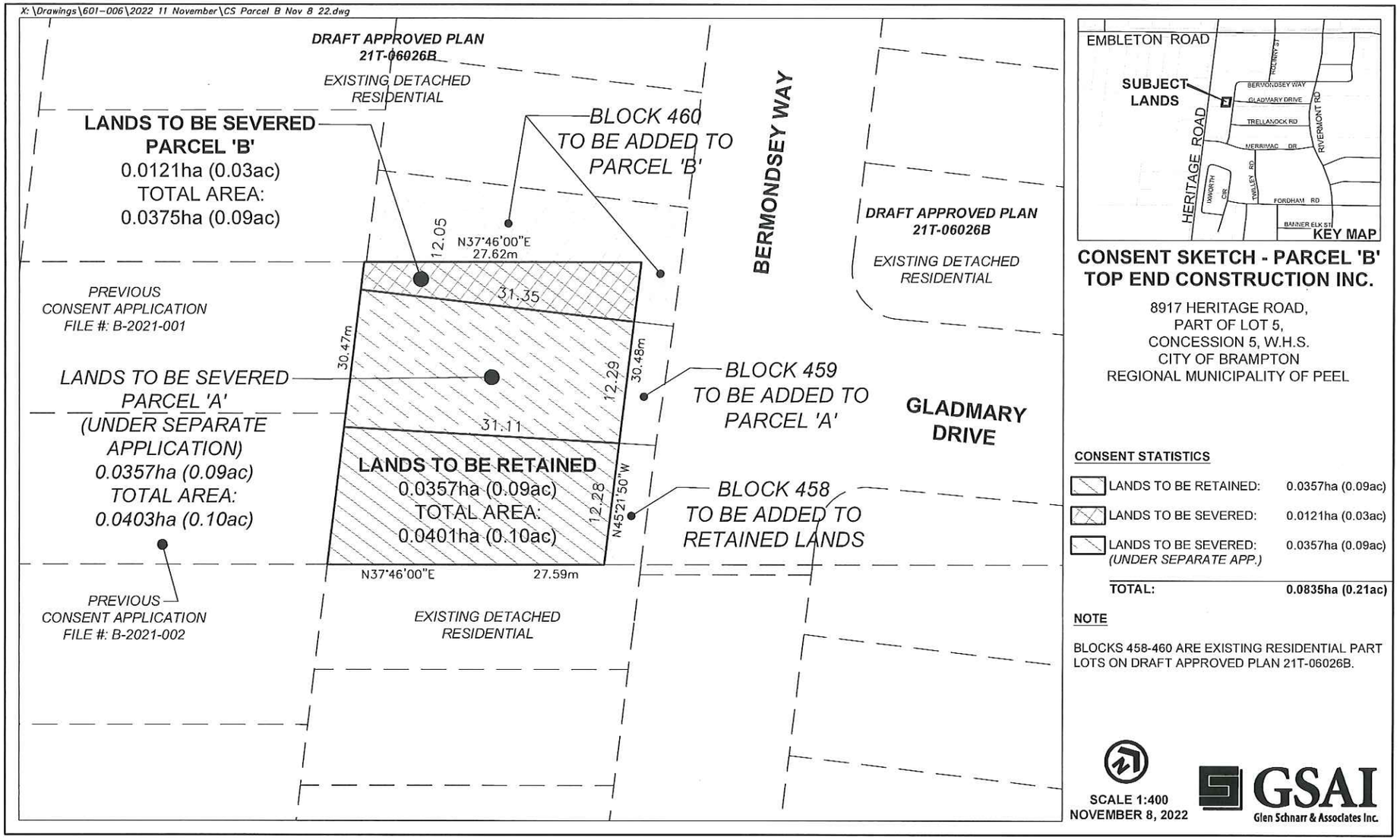
Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Ontario Land Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Ontario Land Tribunal Act, 2021.* The appeal form is available from the Ontario Land Tribunal website at https://olt.gov.on.ca/appeals-process/forms/

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Ontario Land Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS 17th Day of November 2022

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

**Jeanie Myers, Secretary-Treasurer**
**City of Brampton Committee of Adjustment**
**City Clerk's Office, Brampton City Hall**
**2 Wellington Street West**
**Brampton, Ontario L6Y 4R2**
**Phone: (905)874-2117 Fax: (905)874-2119**
**Jeanie.myers@brampton.ca**


X:\Drawings\601-006\2022 11 November\CS Parcel B Nov 8 22.dwg
DRAFT APPROVED PLAN
21T-06026B
EXISTING DETACHED RESIDENTIAL
LANDS TO BE SEVERED
PARCEL 'B'
0.0121ha (0.03ac)
TOTAL AREA:
0.0375ha (0.09ac)
BLOCK 460
TO BE ADDED TO
PARCEL 'B'
BERMONDSEY WAY
DRAFT APPROVED PLAN
21T-06026B
EXISTING DETACHED RESIDENTIAL
12.05
N37°46'00"E
27.62m
31.35
PREVIOUS
CONSENT APPLICATION
FILE #: B-2021-001
30.47m
30.48m
12.29
LANDS TO BE SEVERED
PARCEL 'A'
(UNDER SEPARATE
APPLICATION)
0.0357ha (0.09ac)
TOTAL AREA:
0.0403ha (0.10ac)
BLOCK 459
TO BE ADDED TO
PARCEL 'A'
GLADMARY
DRIVE
31.11
LANDS TO BE RETAINED
0.0357ha (0.09ac)
TOTAL AREA:
0.0401ha (0.10ac)
12.28
N45°21'50"W
BLOCK 458
TO BE ADDED TO
RETAINED LANDS
N37°46'00"E
27.59m
PREVIOUS
CONSENT APPLICATION
FILE #: B-2021-002
EXISTING DETACHED
RESIDENTIAL
EMBLETON ROAD
SUBJECT
LANDS
HERITAGE ROAD
BERMONDSEY WAY
GLADMARY DRIVE
TRELLANOCK RD
MERRIMAC DR
RIVERMONT RD
TWELLEY RD
IXWORTH CIR
FORDHAM RD
BANNER ELK ST
KEY MAP
CONSENT SKETCH - PARCEL 'B'
TOP END CONSTRUCTION INC.
8917 HERITAGE ROAD,
PART OF LOT 5,
CONCESSION 5, W.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
CONSENT STATISTICS
LANDS TO BE RETAINED: 0.0357ha (0.09ac)
LANDS TO BE SEVERED: 0.0121ha (0.03ac)
LANDS TO BE SEVERED: (UNDER SEPARATE APP.) 0.0357ha (0.09ac)
TOTAL: 0.0835ha (0.21ac)
NOTE
BLOCKS 458-460 ARE EXISTING RESIDENTIAL PART LOTS ON DRAFT APPROVED PLAN 21T-06026B.
SCALE 1:400
NOVEMBER 8, 2022
GSAI
Glen Schnarr & Associates Inc.

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**APPLICATION NUMBER:** "B"-2022-0024

*The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
## Consent
(Please read Instructions)

**NOTE:** Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

**1. (a) Name of Owner/Applicant** TOP END CONSTRUCTION INC. ( Attn: Drazen Vuckovic)
(print given and family names in full)

**Address** 1204 Milna Drive, Oakville, Ontario, L6H 0A8

**Phone #** 905-276-9980 **Fax #**

**Email** drazen.vuckovic@yahoo.ca

**(b) Name of Authorized Agent** Glen Schnarr and Associates Inc. (Attn: Jennifer Staden)

**Address** 700, 10 Kingsbridge Garden Circle, Mississauga, Ontario, L5R 3K6

**Phone #** 905-409-1825 **Fax #** 905-568-8894

**Email** jennifers@gsai.ca

**2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.**

**Specify:** Severance for the creation of a new lot

**3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.**

KENDALWOOD LAND DEVELOPMENT INC.

**4. Description of the subject land ("subject land" means the land to be severed and retained):**

**a) Name of Street** Heritage Road **Number** 8917

**b) Concession No.** 5 WHS **Lot(s)** Part Lot 5

**c) Registered Plan No.** 43R39980 **Lot(s)** Parts 6, 7, 8

**d) Reference Plan No.** N/A **Lot(s)**

**e) Assessment Roll No.** 211008001202500 **Geographic or Former Township** Chinguacousy

**5. Are there any easements or restrictive covenants affecting the subject land?**

**Yes** ☐ **No** ☑

**Specify:**

6. **Description of severed land: (in metric units)**

a) **Frontage** +/- 12.05 metres **Depth** +/- 31.35 metres **Area** 0.012 hectares (0.03 acres)

b) **Existing Use** Residential **Proposed Use** Residential

c) **Number and use of buildings and structures (both existing and proposed) on the land to be severed:**

**(existing)** 0

**(proposed** One detached dwelling (once parcel merges with associated part lot)

| d) Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☐ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) **If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?**

N/A

| f) Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water systen | ☑ | ☐ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |
| Other (specify): | | |

| g) Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☐ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |
| Other (specify): | | |

7. **Description of retained land: (in metric units)**

a) **Frontage** 12.28 metres **Depth** 27.59 - 31.33 metres **Area** 0.0357 ha (0.09 ac)

b) **Existing Use** Residential **Proposed Use** Residential

c) **Number and use of buildings and structures (both existing and proposed) on the land to be retained:**

**(existing)** 0

**(proposed** One detached dwelling (once parcel merges with associated part lot)

| d) Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☐ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

| f) Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water systen | ☑ | ☐ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |
| Other (specify): | | |

| g) Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☐ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |
| Other (specify): | | |

8. What is the current designation of the land in any applicable zoning by-law and official plan?

| | Land to be Severed | Land to be Retained |
|---|---|---|
| Zoning By-Law | R1E-12.0-2876, R1E-10.4-2427 | R1E-12.0-2876 |
| Official Plans | | |
| City of Brampton | Low/Medium Density Residential | Low/Medium Density |
| Region of Peel | Urban System | Urban System |

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☑ No ☐

File # B-2021-001 and B-2021-002 Status/Decision Approved

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☑ No ☐

Date of Transfer July 2021 Land Use Residential

**11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:**

| | File Number | Status |
|---|---|---|
| **Official Plan Amendment** | | |
| **Zoning By-law Amendment** | CO5W05.008 | Approved |
| **Minister's Zoning Order** | | |
| **Minor Variance** | | |
| **Validation of the Title** | | |
| **Approval of Power and Sale** | | |
| **Plan of Subdivision** | | |

**12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act?***
**Yes** ☑ **No** ☐

**13. Is the subject land within an area of land designated under any Provincial Plan?**
**Yes** ☑ **No** ☐

**14. If the answer is yes, does the application conform to the applicable Provincial Plan?**
**Yes** ☑ **No** ☐

**15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).**

Dated at the City of Barrie

this 7 day of November, 2022.

Jennifer Staden

Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:

☐ I have the authority to bind the Corporation

## DECLARATION

I, Jennifer Staden, Glen Schnarr & Associates Inc. of the City of Barrie

in the County/District/Regional Municipality of N/A solemnly declare that all the statements contained in t

application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Mississauga

in the Region of Peel

this 7 day of November, 2022.

Jennifer Staden

Signature of applicant/solicitor/authorized agent, etc.

Submit by Email

Signature of a Commissioner, etc.

Laura Kim Amorim, a Commissioner, etc.,
Province of Ontario, for
Glen Schnarr & Associates Inc.
Expires March 3, 2023.

**FOR OFFICE USE ONLY -** To Be Completed By the Zoning Division

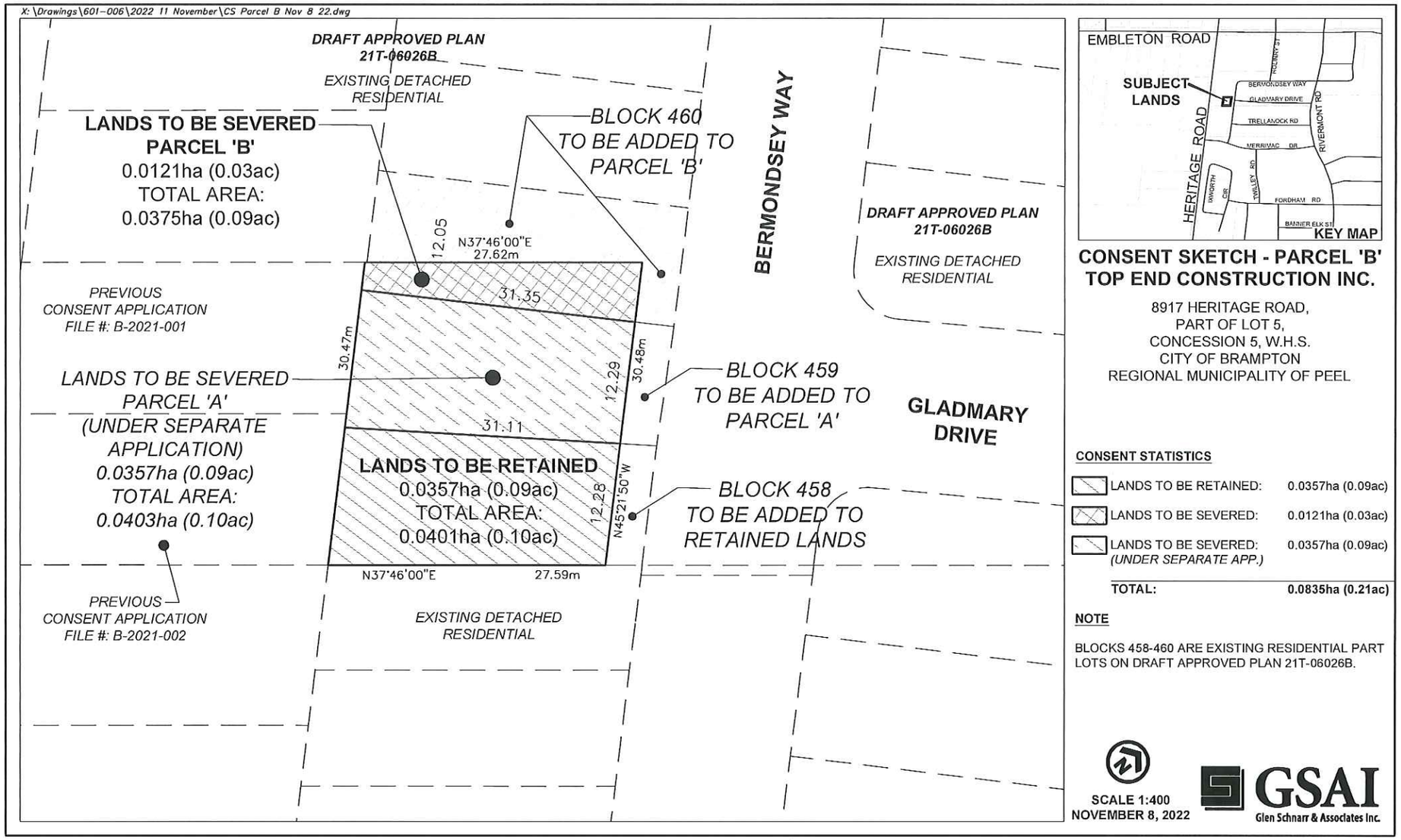
This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

**DATE RECEIVED** NOVEMBER 8, 2022

**Date Application Deemed Complete by the Municipality**

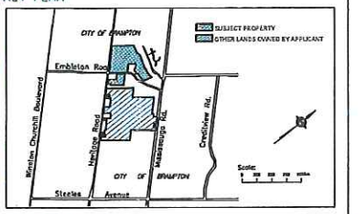

X:\Drawings\601-006\2022 11 November\CS Parcel B Nov 8 22.dwg
DRAFT APPROVED PLAN
21T-06026B
EXISTING DETACHED RESIDENTIAL
LANDS TO BE SEVERED
PARCEL 'B'
0.0121ha (0.03ac)
TOTAL AREA:
0.0375ha (0.09ac)
BLOCK 460
TO BE ADDED TO
PARCEL 'B'
BERMONDSEY WAY
DRAFT APPROVED PLAN
21T-06026B
EXISTING DETACHED RESIDENTIAL
12.05
N37°46'00"E
27.62m
31.35
PREVIOUS
CONSENT APPLICATION
FILE #: B-2021-001
30.47m
30.48m
12.29
LANDS TO BE SEVERED
PARCEL 'A'
(UNDER SEPARATE
APPLICATION)
0.0357ha (0.09ac)
TOTAL AREA:
0.0403ha (0.10ac)
BLOCK 459
TO BE ADDED TO
PARCEL 'A'
GLADMARY
DRIVE
31.11
LANDS TO BE RETAINED
0.0357ha (0.09ac)
TOTAL AREA:
0.0401ha (0.10ac)
12.28
N45°21'50"W
BLOCK 458
TO BE ADDED TO
RETAINED LANDS
N37°46'00"E
27.59m
PREVIOUS
CONSENT APPLICATION
FILE #: B-2021-002
EXISTING DETACHED
RESIDENTIAL
EMBLETON ROAD
SUBJECT
LANDS
HERITAGE ROAD
BERMONDSEY WAY
GLADMARY DRIVE
TRELLANOCK RD
MERRIMAC DR
FORDHAM RD
BANNER ELK ST
RIVERMONT RD
KEY MAP
CONSENT SKETCH - PARCEL 'B'
TOP END CONSTRUCTION INC.
8917 HERITAGE ROAD,
PART OF LOT 5,
CONCESSION 5, W.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
CONSENT STATISTICS
LANDS TO BE RETAINED: 0.0357ha (0.09ac)
LANDS TO BE SEVERED: 0.0121ha (0.03ac)
LANDS TO BE SEVERED: (UNDER SEPARATE APP.) 0.0357ha (0.09ac)
TOTAL: 0.0835ha (0.21ac)
NOTE
BLOCKS 458-460 ARE EXISTING RESIDENTIAL PART LOTS ON DRAFT APPROVED PLAN 21T-06026B.
SCALE 1:400
NOVEMBER 8, 2022
GSAI
Glen Schnarr & Associates Inc.

# DRAFT PLAN OF 21T-06026B SUBDIVISION

**Part of East and West Halves of Lot 6, Part of East and West Halves of Lot 5, Part of the Original Road Allowance Between the East Halves of Lots 5 & 6 and Part of the Original Road Allowance Between the West Halves of Lots 5 & 6, Concession 5, West of Hurontario Street**

**City of Brampton - Regional Municipality of Peel**

## KEY PLAN




## SCHEDULE OF LAND USE

| Lot/Block | Land Use | | Units | Area(ha) |
|---|---|---|---|---|
| Lot 1 - 415 | Single Family min. 15.2m (50ft) | o | 20 | 1.13 |
| | Single Family min. 13.7m (45ft) | o | 65 | 4.04 |
| | Single Family min. 11.6m (38ft) | o | 138 | 5.41 |
| | Single Family min. 10.4m (34ft) | ● | 155 | 5.35 |
| | Semi Detached min. 7.3m (24ft) | ■ | 32 | 0.73 |
| Block 416 - 422 | Mixed Use Townhouses min. 7.5m (25ft) | ▲ | 37 | 0.80 |
| Block 423 - 434 | Street Townhouses min. 6.1m (20ft) | ▲ | 89 | 1.37 |
| Block 435 | Mixed Use | | | 1.80 |
| Block 436 | Service Commercial | | | 0.11 |
| Block 437 | Public School Expansion | | | 0.81 |
| Block 438 | SWM Pond | | | 1.47 |
| Block 439 | Park | | | 1.91 |
| Block 440 - 442 | Walkway | | | 0.22 |
| Block 443 | Open Space/Valley | | | 11.65 |
| Block 444 - 447 | Landscape Buffers/Strips | | | 0.09 |
| Block 448 - 458 | Future Residential | | | 0.29 |
| Block 461 - 466 | Road Widening | | | 0.61 |
| Block 464 - 479 | 0.3m Reserves | | | 0.03 |
| Public Roads | 24m ROW | | | 2.37 |
| | 23m ROW | | | 0.70 |
| | 19m ROW | | | 6.65 |
| Total | | | 537 | 47.92 |

## OWNER'S AUTHORIZATION

We , Shayma Dick Holdings Inc., Kendalwood Land Developments Inc., and 2570616 Ontario Inc. hereby authorize Malone Given Parsons Ltd. to prepare and submit this Draft Plan of Subdivision to the City of Brampton.

October 24, 2019
Kelly Schofield, Authorized Signing Officer — Date

## SURVEYOR'S CERTIFICATE

I hereby certify that the boundaries of the lands to be subdivided as shown on this Plan and their relationship to the adjacent lands are accurately and correctly shown.

October 24, 2019
Paul Edward, O.L.S. R-PE Surveying Ltd. — Date

## ADDITIONAL INFORMATION

AS REQUIRED UNDER SECTION 51(17) OF THE PLANNING ACT, CHAPTER P.13(R.S.O. 1990).

(a),(e),(f),(g),(j),(l) - As shown of the Draft Plan.
(b),(c) - As shown on the Draft and Key Plan.
(d) - Land to be used in accordance with the Schedule of Land Use.
(i) - Soil is sands, silts, clay and fills.
(h),(k) - Full municipal services to be provided.

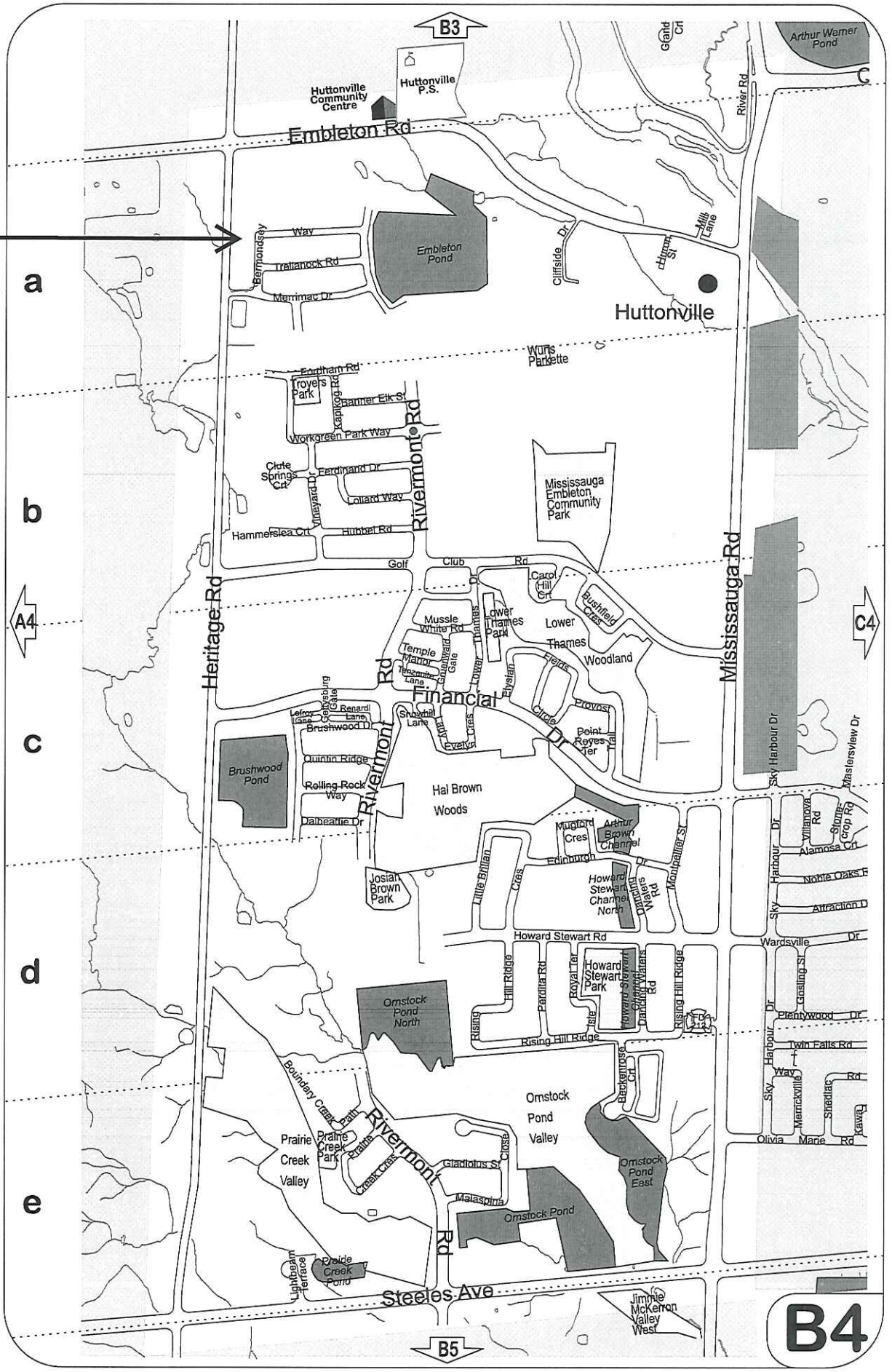
NOTE: Contours relate to Canadian Geodetic Datum. Contour interval is 1m with .25m interpolated.

| Date | Revision | By |
|---|---|---|
| Dec. 15 2006 | Original Submission | |
| June 25 2017 | Revised Submission | |
| Apr. 30 2019 | Revised Submission | |
| Oct. 24 2019 | Revised Submission | |
| Sep. 10 2020 | MGP Revised | |

Prepared For:
Shayma Dick Holdings Inc.
Kendalwood Land Developments Inc.
2570616 Ontario Inc.
MGP File: 17-2577

MGP Malone Given Parsons.
140 Renfrew Drive, Suite 201 | Markham, ON | L3R 6B3
905 513 0170 | mgp.ca

B-2022-0023
B-2022-0024



BRAMPTON Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # B-2022-0003**
**Ward # 1**

**DEFERRED NOTICE OF AN APPLICATION FOR CONSENT**

An application for consent has been made by **MANUPRIYA SHARMA**

**Purpose and Effect**

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 876.5 square metres (0.22 acres). The proposed severed lot has a frontage of approximately 9.07 metres (29.76 feet); a depth of approximately 48.3 metres (158.46 feet) and an area of approximately 438.2 square metres (0.011 acres). It is proposed that 2 lots be established from the existing lot for future residential development of a single detached dwelling on each lot.

**Location of Land**:

Municipal Address: 43 David Street

Former Township: Town of Brampton

Legal Description: Lot 24, Plan BR-32, Part 2, Plan 43R-9448

**Meeting**

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. **This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment Decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.**

***PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC***

==========

**LAST DAY FOR RECEIVING COMMENTS: DECEMBER 1, 2022**

==========

***NOTE:*** IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

**Other Planning Act Applications**

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

| | | |
|---|---|---|
| Official Plan Amendment: | NO | File Number: |
| Zoning By-law Amendment: | NO | File Number: |
| Minor Variance: | YES | File Number: A-2022-0047 AND A-2022-0048 |

**Decision and Appeal**

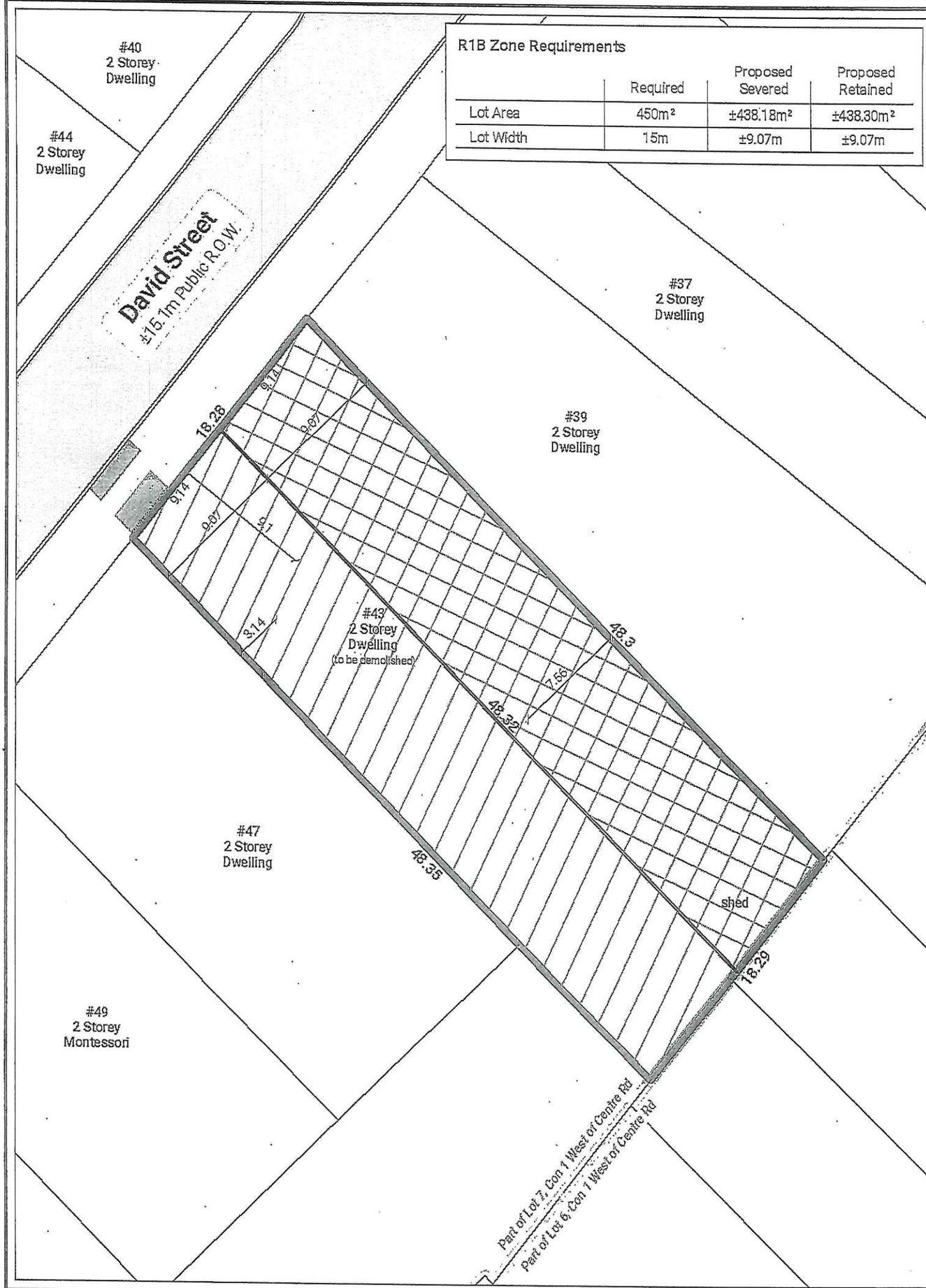
Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Local Planning Appeal Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Local Planning Appeal Tribunal Act*. The appeal form is available from the Environment and Land Tribunals Ontario website at www.elto.gov.on.ca

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS **17th Day of November, 2022**

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

**Jeanie Myers, Secretary-Treasurer**
**City of Brampton Committee of Adjustment**
**City Clerk's Office, Brampton City Hall**
**2 Wellington Street West**
**Brampton, Ontario L6Y 4R2**
**Phone: (905)874-2117 Fax: (905)874-2119**
**Jeanie.Myers@brampton.ca**




Appendix A

## Consent Sketch

43 David Street,
City of Brampton

Legend

Subject Lands
Total Area: ±876.48m² (0.22ac)
Lot Width: ±18.13m

Lands to be Severed
Lot Area: ±438.18m²
Lot Width: ±9.07m

Lands to be Retained
Lot Area: ±438.30m²
Lot Width: ±9.07m

Existing Structures to be Demolished

0 2.5 5 7.5 10 12.5m
Scale: 1 : 300

N

Note: This drawing is for discussion purposes only. Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M.
Date: March 28, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

# Powell Planning & Associates

Evolution through planning & development

B-2022-0003; A-2022-0047; A-2022-0048

# 43 DAVID STREET
# BRAMPTON, ONTARIO

# PLANNING JUSTIFICATION REPORT

**MARCH 2022**

aimee@powellplanning.ca www.powellplanning.ca 647-828-2467

# PLANNING JUSTIFICATION REPORT

Applications for Severance and Minor Variance

## PREPARED BY:

## POWELL PLANNING & ASSOCIATES

aimee@powellplanning.ca www.powellplanning.ca 647-828-2467

# Table of Contents


**1.0 INTRODUCTION** **Page 1**
1.1 Overview Page 1

**2.0 SITE DESCRIPTION & SURROUNDING LAND USES** **Page 2**
2.1 The Site Page 2

**3.0 PROPOSED DEVELOPMENT** **Page 4**
3.1 The Development Page 4

**4.0 PLANNING ANALYSIS** **Page 5**
4.1 The Planning Act Page 5
4.2 The Provincial Policy Statement, 2020 Page 7
4.3 A Place to Grow, 2020 Page 9
4.4 The Region of Peel Official Plan, 2021 Page 11
4.5 The City of Brampton Official Plan, 2020 Page 13
4.6 The City of Brampton Zoning By-laws (204-2010) and (253-2021) Page 15
4.7 Four Tests of a Minor Variance Page 16

**5.0 CONCLUSION** **Page 19**

**FIGURES**

Figure 1: Context Map
Figure 2: Aerial Photo
Figure 3: City of Brampton Official Plan Schedule B: City Road Hierarchy
Figure 4: City of Brampton Official Plan Schedule A: General Land Use Designations
Figure 5: City of Brampton Zoning By-law (204-2010) and (253-2021)
Figure 6: Region of Peel Official Plan Schedule G: Rapid Transit Corridor
Figure 7: Region of Peel Official Plan Schedule D4: The Growth Plan Policy Areas in Peel

**TABLE**

Table 1: Minor Variance Requested Relief in Accordance with the R1B Zone Page 16

**APPENDECIES**

A – Consent Sketch
B – Minor Variance Sketch – Retained Lands
C – Minor Variance Sketch – Severed Lands
D – Existing Dwelling Plan

# 1.0 Introduction

## 1.1 Overview

Powell Planning & Associates (PPA) has been retained by Manupriya Sharma (the Landowner) to provide a request for consideration for Consent (Severance) for the purpose of creating one new residential lot, and Minor Variance to provide relief for the minimum lot area as well as the minimum lot frontage on the lands municipally known as 43 David Street, City of Brampton, and legally described as Lot 24, Plan BR-32, Part2, Plan 43R-9448, City of Brampton, Region of Peel. See **Figure 1: Context Map**

This Report will review the merits of the proposed development in accordance with Provincial and Municipal land use policy to establish how the proposal demonstrates good planning. The following documents have been reviewed in this regard:

- Planning Act, R.S.O., 1990
- Provincial Policy Statement (2020)
- A Place to Grow (2020)
- Region of Peel Official Plan (2021)
- City of Brampton Official Plan (2020)
- City of Brampton Zoning By-laws (204-2010) (253-2021)

# 2.0 Site Description & Surrounding Land Uses

## 2.1 The Site

Generally rectangular in shape, the site, sloping to the north east, is located west of Main Street North, on the south side of David Street, in Brampton's central Urban Growth Centre. See **Figure 2: Aerial Photo** for site specific context. The total site area is approximately 876.5 $m^2$ (0.22 ac) and has 18.3 m (60 ft) of frontage on David Street, a Local Road, bordered by a Collector Road, Mill Street North, and a Major Arterial (City) Road, Main Street North, in accordance with **Figure 3: City of Brampton Official Plan Schedule B: City Road Hierarchy**.

In accordance with the City of Brampton's Official Plan, 2020, the lands are designated as 'Central Area' (See **Figure 4: City of Brampton Official Plan Schedule A: General Land Use Designations**) and zoned as 'Residential Single Detached B- R1B Zone' in accordance with the City of Brampton's Zoning By-laws (204-2010) (253-2021) See **Figure 5: City of Brampton Zoning By-law (204-2010) and (253-2021)**. The property currently has a 2-storey single-detached house on it with a shed located to the rear of the site. The lands are immediately surrounded by low to medium density residential uses as well as service commercial. Located on the periphery of the Mobility Hub- Anchor in accordance with **Figure 6: Region of Peel Official Plan Schedule G: Rapid Transit Corridor**, the lands are well serviced by transit, including Routes #2 and 502 Zum, while also being within a .5 km radius from the Downtown Brampton Terminal & Main Street Zum Stations, that are serviced by Routes 1, 1A, 2, 24, 25, 52, 501, 501A 502, 561 GO Train and Bus Connections and Via Rail. The subject lands are also located within the Urban Growth Centre as per the Region of Peel's Official Plan, see **Figure 7: Region of Peel Official Plan Schedule D4: The Growth Plan Policy Areas in Peel**. The lands are serviced with full municipal water and sewer, as well as waste collection services. The subject site is located outside of the Toronto Region Conservation Authority Regulated Area and is outside of the City of Brampton's Downtown Floodplain Regulations. No environmental or natural heritage features are identified on the subject lands.

The specific land uses surrounding the subject site are as follows:

**North:** Low to medium density residential, public green space

**East:** Low to medium density residential, institutional uses

**South:** Low to medium density residential, Downtown Brampton (Transit) Terminal

**West:** Low to medium density residential, industrial uses

# 3.0 Proposed Development

## 3.1 The Development

The proposed development would result in the creation of one new R1B Residential lot located on the northern portion of the subject lands through a Severance, under Section 53 of the *Planning Act*. Minor Variances under Section 45 of the *Planning Act* are also required to allow for a reduced lot area of 438.2 square metres and a reduced lot frontage of 9.1 metres. This development will allow for the creation of two new, two-storey, singe-detached residential units with private rear yard amenity space in accordance with the current RB1 zoning provisions. See **Appendix A** for the proposed Consent sketch detailing the proposed Severance and Minor Variances. All existing structures on the land would be removed to facilitate future development.

The Severed lands are anticipated to be developed for residential uses permitted within the existing designation 'Central Area', however a Minor Variance would be required to provide relief for the minimum lot size and the front yard setback in order for the development to be brought into fruition. Both the Severed and Retained lands would be approximately 438.2 $m^2$ (0.1 ac) in size each with 9.1 m frontage onto David Street. Please see **Appendices B and C** for the respective Minor Variances required and the proposed future building envelopes on each site. Separate access would be required for each site via a private drive way serving each lot. Please see **Appendix D** for the Existing Dwelling Plan.

It is anticipated that the severed lot will be serviced by pubic water, wastewater and waste collection. The proposed development will be an opportunity to contribute to an under-supplied housing market, increase density and population targets, and aims to enhance the neighbourhood while respecting the existing character.

# 4.0 Planning Analysis

This section of the Planning Justification Report provides a detailed analysis of the proposed development in the context of the following provincial, regional and local policy.

## 4.1 The *Planning Act*

The *Planning Act*, R.S.O, 1990 (the "*Planning Act*"), as amended, is the legislative document that controls land use planning and development approvals in the Province of Ontario. Section 2 in the *Planning Act* outlines matters of Provincial Interest, which municipalities shall have regard to when making land use planning decisions, including the orderly development of safe and healthy communities, the appropriate location of growth and development, and the promotion of built form that is well designed and encourages a sense of place.

The subject proposal particularly aligns with the following Provincial Interests as outlined in the *Planning Act*:

(a) the protection of ecological systems, including natural areas, features and functions;

The proposed development does not negatively impact the ecological system nor its natural areas, features and functions as it is being proposed on a lot that is absent of said features.

(b) the protection of the agricultural resources of the Province;

The proposed development does not affect agricultural resources as it is being proposed on a lot that is absent of said features.

(f) the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems;

The proposed development aims to make efficient use of the existing transportation network, infrastructure, water and wastewater services and waste management systems by allowing for appropriately scaled density to an urban area, and better developing an underutilized site.

(h) the orderly development of safe and healthy communities;

The proposed development would allow for an additional urban residential lot to be created, fostering urban regeneration as well as the potential for diversified densities to the corridor. The

subject site also benefits from an existing sidewalk therefore is connected to the municipality's existing active transportation network, that will be better utilized through the creation of additional housing. Through adding more housing on the subject lands, there is a greater contribution to 'eyes on the street' therefore aiming to enhance neighbourhood safety.

(p) the appropriate location of growth and development;

By creating a lot on lands that are already serviced and located in an Urban Growth Centre, this proposal is successful in fostering growth and development where it is meant to occur.

(q) the promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians;

The subject site is located on a Local Road that is within close proximity to a Collector and Major (City) Arterial Road, is within a five-minute walk from a Regional Mobility Hub – Anchor, within the Urban Growth Centre, abuts active transportation infrastructure and benefits from its proximity to Downtown Brampton. This proposal offers to make better use of the existing site by allowing for greater density into this urban area, increasing transit use and ideally contributing to growth targets.

(r) the promotion of built form that,

(i) is well-designed,

(ii) encourages a sense of place, and

(iii) provides for public spaces that are of high quality, safe, accessible, attractive and vibrant;

With the creation of the severed lot and the required relief, there is an opportunity for the promotion of a new built form that is sympathetic to the existing character of the neighbourhood, attractive and enhances the streetscape while maintaining the present built form.

The proposed development aligns with the aforementioned Provincial Interests therefore represents good planning in accordance with the *Planning Act*.

## 4.2 The Provincial Policy Statement, 2020

The 2020 Provincial Policy Statement (PPS) is a broad-range policy document that provides direction for managing and directing land use to achieve efficient development and land use patterns across Ontario. The PPS promotes the focus of urban growth to settlement areas and away from significant or sensitive resources. Growth is to be obtained through efficient development patterns which optimize the use of land, resources public investment in infrastructure and public service facilities. The PPS promotes intensification within the urban area and the efficient use of municipal services in order to create sustainable living environments.

Part V of the PPS identifies the following sections that align with the objectives of the proposed development:

- 1.1 Managing and Directing Land Use to Achieve Efficient and Resilient Development Patterns
- 1.4 Housing
- 1.6 Infrastructure and Public Service Facilities
- 1.8 Energy Conservation, Air Quality and Climate Change; and
- 2.2 Water

The following PPS policies are of particular relevance to the redevelopment of the subject lands:

Section 1.1.1 states that "*healthy, liveable and safe communities are sustained by*:

a) *promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*
b) *accommodating an appropriate…range and mix of residential types (including single-detached housing)…and other uses to meet long-term needs;*
c) *avoiding development and land use patterns which may cause environmental public health and safety concerns; …*
d) *avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas; and*
e) *promoting the integration of land use planning, growth management, transit supportive development, intensification and infrastructure planning to achieve cost effective*

*development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;…"*

The proposed development meets these broad policies of the PPS. The proposed development seeks to implement an efficient land use pattern, provides additional residential housing, and makes efficient use of land and resources through the desired development. Finally, the proposal supports existing public transit and active transportation as it is located within walking distance of existing higher-order transit services. The proposal also fosters active transportation and connectivity as the subject site benefits from an existing sidewalk.

The proposed development offers opportunities for intensification of an underutilized site that is consistent with the policies of the PPS. It promotes the efficient and intensified use of land located in an urban area, where municipal services are available, as directed by the PPS. The proposed development contributes to the overall density targets within the Urban Growth Centre and does not require an expansion to the built boundary.

The proposed residential development is located in an appropriate area to accommodate additional growth, as evidenced by the designation of the lands within Regional and Local Official Plans. The proposed development will not have impact on the natural environment, as there are no natural heritage features identified on the subject property. Similarly, due to both the subject land's location and current state, the development is not anticipated to have an impact on stormwater management or groundwater resources.

The proposed development aligns with many provincial policies and the overall direction of the province as to how and where growth is to occur. Therefore, the proposal represents good planning in accordance with the 2020 Provincial Policy Statement.

## 4.3 A Place to Grow, 2020

The Growth Plan for the Greater Golden Horseshoe (the "Growth Plan") 2020 provides a policy framework for implementing Ontario's vision for building stronger communities by better managing growth in the Greater Golden Horseshoe, which includes the City of Brampton. The Growth Plan directs growth to settlement areas, the utilization of existing infrastructure, prioritizes intensification and a compact built form.

Similar to the PPS, the Growth Plan contains land use planning objectives which must be considered when planning decisions are being made within the Greater Golden Horseshoe Area. The Growth Plan identifies how a change in direction for land use planning is necessary as traditional means of analysis and approval have led to an unhealthy population and environment with inefficient land use patterns. Below is an analysis of the policy statements from this key provincial policy document that are relevant to the proposed development.

The subject property is located within the City of Brampton's built boundary. Urban development is permitted within the built boundary, based on the principle of supporting the achievement of forecasted growth within 'Complete Communities'. These communities are defined as "Places such as mixed-use neighbourhoods or other areas within cities, towns, and settlement areas that offer and support opportunities for people of all ages and abilities to conveniently access most of the necessities for daily living, including an appropriate mix of jobs, local stores, and services, a full range of housing, transportation options and public service facilities. Complete communities are age-friendly and may take different shapes and forms appropriate to their contexts." The City of Brampton's Urban Growth Centre is successful at being a complete community, with plans to enhance these features.

The subject application aligns well with the broad policies of the Growth Plan. Specifically, the directions of the following sections are evident in the proposed development:

- 1.2.1 Guiding Principles
- 2.2.1 Managing Growth
- 2.2.2 Delineated Built-up Areas
- 2.2.3 Urban Growth Centres
- 2.2.4 Transit Corridors and Station Areas

- 2.2.6 Housing
- 3.2.2 Transportation – General; and
- 3.2.3 Moving People

The proposed development would abide by the policies detailed within the aforementioned sections in the Growth Plan by adding much needed residential intensification (housing) within the Urban Growth Centre, better utilizing existing infrastructure, including water and wastewater servicing, waste collection and multi-modal transit services. The proposed development aligns with many provincial policies and the overall direction of the province as to how and where growth is to occur. Therefore, the proposal represents good planning in accordance with the 2020 Growth Plan.

## 4.4 Region of Peel Official Plan, 2021

The consolidated Peel Region Official Plan, 2021 contains policies and related schedules that guide the type and location of land uses in the Region until 2031. These policies serve as refinements to the policies found within the PPS, the Growth Plan and are specific to the context of the Region and the composition of its lands. The subject lands are located in the 'Urban Growth Centre' according to the Region of Peel's Official Plan, where population growth and development, are meant to occur; the proposed use also aligns with the subject designation. Land uses are meant to be compact and efficient in form while maximizing available municipal services to reduce their overall costs, which aligns with the objectives of the proposed Consent and supporting Minor Variance.

The following Sections within the Region of Peel's Official Plan are of particular relevance to the redevelopment of the subject lands:

- 1.3.6 General Goals of the Plan
- Chapter 2: The Natural Environment
- Chapter 3: Resources
- Chapter 4: Regional Forecasts
- Chapter 5: Regional Structure
- Chapter 6: Regional Services
- Chapter 7: Implementation

The proposed development would align with the polices in the aforementioned Sections of the Region of Peel's Official Plan by:

- Supporting sustainable growth and development
- Not directing growth towards or within natural or cultural heritage features
- Promoting efficient land use and development patterns, efficient transportation and new, more efficient housing development
- Wisely managing the Region's resources
- Implementing growth management that improves lifestyle quality through appropriate intensification, the efficient and cost-effective utilization of land uses and existing services
- Offering additional housing in an under-supplied market, better meeting a community need

- Promoting orderly growth that is sympathetic to the existing neighbourhood character
- Offering redevelopment that will better utilize, revitalize and reuse the existing site with a use that aligns with the direction and goals of the Regional Official Plan
- Intensifying a site that benefits from an active transportation network via its sidewalk
- Adding to Urban Growth Centre Targets for population and household growth
- Directing growth to where it is meant to occur in the Urban Growth Centre to better achieve a complete community, that is also within close proximity to the Downtown Area where density benefits from mixed-uses and commercial land uses
- Fostering development that offers diversity in housing stock urban areas
- Supporting the integration of the transportation system
- Making better use of the existing sewers, watermains, utilities, municipal water, wastewater and waste disposal collection services
- Fostering the development of healthy communities

The proposal is compatible, makes better use of existing municipal services and creates a more urban compact form, while adding needed housing. The proposed development represents good planning in accordance with the policies of Region of Peel's Official Plan.

## 4.5 City of Brampton Official Plan, 2020

The City of Brampton's Official Plan offers policy context for the continuation of a sustainable community planning for growth and development to the year 2031. This plan is designed to assist with growth management through diverse land uses, guide strategic development and infrastructure and preserve the environment, to the benefit of existing and future residents. The City of Brampton's Official Plan designates the subject lands as 'Central Area' where the proposed use is permitted alongside encouraged mixed activities/uses. The proposed development aligns with the following Sections of the City of Brampton's Official Plan:

- 1.1 Purpose of the Official Plan
- 2.1 Physical and Environmental Considerations
- 2.2 Social and Cultural Considerations
- 2.4 The Strategic Plan: Six Pillars Supporting Our Great City
- 2.5 Policies of Other Levels of Government
- 3. Sustainable City Concept
- 4.1 Central Area
- 4.2 Residential
- 4.5 Transportation
- 4.6 Natural Heritage and Environmental Management
- 4.8 Infrastructure and Utilities

The proposed development fosters the policies in the aforementioned Sections of the City of Brampton's Official Plan by:

- Offering a development that meets the current and future needs of residents through appropriate growth management
- Directing development away from environmental features and functions and aiming to make efficient of water systems
- Diversifying and adding to the existing housing stock
- Increasing potential participation/ridership on the City's existing transportation network including active transportation

- Achieving the objectives of Provincial and Regional direction for how and where growth is meant to occur and in what form
- Encouraging development that respects the City's resources, natural systems and growth management
- Adding to the existing complement of healthy community development
- Increasing density and compatible land uses within the Central Area
- Promoting appropriately scaled residential growth
- Providing the opportunity for better utilization of the City's active transportation network
- Making more efficient use of existing and planned for infrastructure and utilities
- Complying with the requirements for Consent including, but not limited to, being serviced by public water and sanitary sewers

The proposed development represents good planning in accordance with the policies of City of Brampton's Official Plan.

## 4.6 City of Brampton Zoning By-law (204-2010) and (253-2021)

The purpose of the Zoning By-law is to implement the policies and objectives of the Official Plan, by regulating the use of land, buildings, and structures. The subject lands are currently zoned "Residential Single Detached B (R1B)" The R1B Zone allows for the following uses:

a) Residential
    a. A single detached dwelling
    b. Supportive Housing Residence Type 1
b) Non-Residential
    a. A place of worship
    b. Purposes accessory to the other permitted purposes

The proposed development for the creation of an additional R1B lot on the subject parcel therefore aligns with the permitted uses in the applicable zone. Two standards for the proposed development do not conform with the R1B Zone, whereas relief of the minimum lot area and minimum lot width are being sought through this proposal, however relief in this regard overall is minor in nature. The proposed development and any future development following the pending decision of the Consent, are expected to align with the majority of the standards in the R1B zone including:

- Minimum Lot Depth
- Minimum Front Yard Depth
- Minimum Interior Side Yard Width
- Minimum Read Yard Depth
- Maximum Building Height
- Minimum Landscaped Open Space

Overall, the subject proposal aligns well with the City of Brampton's Zoning By-laws (204-2010) and (253-2021) and therefore represents good planning.

## 4.7 Four Tests of a Minor Variance

When evaluating the merits of a Minor Variance application, the *Planning Act*, under Section 45 establishes Four Tests that are required to be satisfied, which are:

1- Does the proposal meet the intent of the Zoning By-law;
2- Does the proposal meet the intent of the Official Plan
3- Is the proposal desirable
4- Is the proposal, in fact, minor in nature.

**Test #1 - Does the proposal meet the intent of the Zoning By-law**

In review of the Four Fests, the requested relief from the minimum lot area and minimum lot frontage would meet the intent of the Zoning By-law. The subject lands are currently zoned 'Residential Single Detached B-R1B Zone' where single-detached dwellings are permitted. It is anticipated that future development on the subject lands would result in the creation of a single-detached structure on each lot. The proposed lot areas and frontages closely align with other frontages in the immediate and surrounding area with the same R1B zoning. These standards require very minor relief in accordance with the proposed development. As noted in Section 4.6 of this Report, the vast majority of the standards for the R1B zone have been respected by the subject proposal and demonstrate good planning in accordance with the City of Brampton's Zoning.

Below is a Table that demonstrates the relief that is required for the subject development:

**Table 1: Minor Variance Requested Relief in Accordance with the R1B Zone**

| Standard | R1B | Required | Relief |
|---|---|---|---|
| **Minimum Lot Size ($m^2$)** | 450 | 438.3 | 11.7 |
| **Minimum Lot Frontage (m)** | 15 | 9.1 | 5.9 |

**Test #2 – Does the proposal meet the intent of the Official Plan**

The development proposal would meet the intent of the Official Plan, as outlined earlier in this report. The proposed development provides an opportunity for residential intensification which is compatible with the existing area; is located in an area on full municipal services and in proximity to transit services; provides adequate off-street parking; and is appropriate in terms of scale and massing.

**Test #3 – Is the proposal desirable**

The proposal is desirable, as it provides an attainable housing option in a currently under-supplied market, in a stable, residential neighbourhood. The proposal would also contribute to the development of a healthy, attractive, complete and sustainable community and offers a higher and better use of fully serviced lands in the Urban Area. The proposed lot fabric is similar to that on adjacent streets such as Market Street where urban residential uses are within close proximity. Having nominally smaller lot frontages and areas in order to accommodate a larger-scale public benefit, like additional housing, represents good planning. The greater public good is being achieved through the creation of additional housing and better utilization of existing municipal infrastructure and services on the subject lot. The proposal's strategic design will enhance the neighbourhood, without impacting its character or streetscape.

**Test #4 – Is the proposal minor in nature**

Finally, the impact of the variances from the Zoning By-law requirements would be considered to be minor as they are within the general requirements of the Residential Zones and the single detached residential use proposed is permitted as of right in this zone category. The proposed development only requests 11.7 square metres relief for the minimum lot size of 450 square metres and 5.9 metres relief for the minimum lot frontage of the required 15 metres; therefore, the relief being sought is minor in nature.

Overall, the proposed development meets the Four Tests of a Minor Variance as it aligns with:

1- The intent of the Zoning By-law
2- The intent of the Official Plan
3- Being desirable for the subject lands and the neighbourhood; and
4- Being minor in nature

Therefore, in accordance with Section 45 of the *Planning Act*, the proposed development represents good planning.

# 5.0 Conclusion

The subject lands are located at 43 David Street, Brampton, and are legally described as Lot 24, Plan BR-32, Part2, Plan 43R-9448. The lands are located within the Urban Growth Centre, where growth and development are meant to occur. Applications for Consent (Severance) and Minor Variance are being made to facilitate the development for one new Singe Detached residential lot on the subject lands.

In order to develop a professional opinion regarding the consistency and conformity of the proposed development and to determine if the proposal represents good planning, a review of all relevant planning policy documents was undertaken in this report, including the *Planning Act*, the Provincial Policy Statement (2020), A Place to Grow (2020), the Region of Peel's Official Plan (2021), the City of Brampton Official Plan (2020), the City of Brampton Zoning By-laws (204-2010) and (253-2021) and the Four Tests of a Minor Variance in accordance with Section 45 of the *Planning Act*.

The proposed development of an under-utilized residential property within an urban area offers a higher and better use of the subject property. It also offers an opportunity to intensify the land uses within the neighbourhood, while respecting its existing character, which aligns with the Provincial Policy Statement. The proposed development conforms to the intent of the Regional and City Official Plans for the development of Urban Growth Centres. The proposed development also conforms to the City's Zoning By-laws (204-2021) and (253-2021). The proposed development will be designed to be compatible with the adjacent properties and will make efficient use of existing municipal water and sewer services.

Through this analysis it has been determined that:

i. The proposed development is appropriate within the Urban Growth Centre as these boundaries are where growth and development are meant to occur;
ii. The subject lands are and will be serviced by transit, full municipal water and sewer services and regional waste collection services; and
iii. The proposed development is in character with and compatible to the surrounding area.

Based on the detailed analysis contained within this report, it is my professional opinion that the proposed development:

i. has regard to matters of provincial interest as detailed in Section 2 of the *Planning Act*, R.S.O., 1990, as amended;

ii. is consistent with the Provincial Policy Statement (2020);

iii. conforms to the Provincial Growth Plan, A Place to Grow (2020);

iv. conforms to the Region of Peel's Official Plan (2021);

v. conforms to the City of Brampton's Official Plan (2020)

vi. conforms to the City of Brampton's Zoning By-laws (204-2021) and (253-2021)

vii. meets the Four Tests of a Minor Variance in accordance with Section 45 of the *Planning Act* R.S.O., 1990, as amended; and

viii. has substantial merit, is within the best interest of the public and represents good planning

Respectfully submitted,

Aimee Powell, B.URPl., MPA, MCIP, RPP
Chief Planning Officer
Powell Planning & Associates

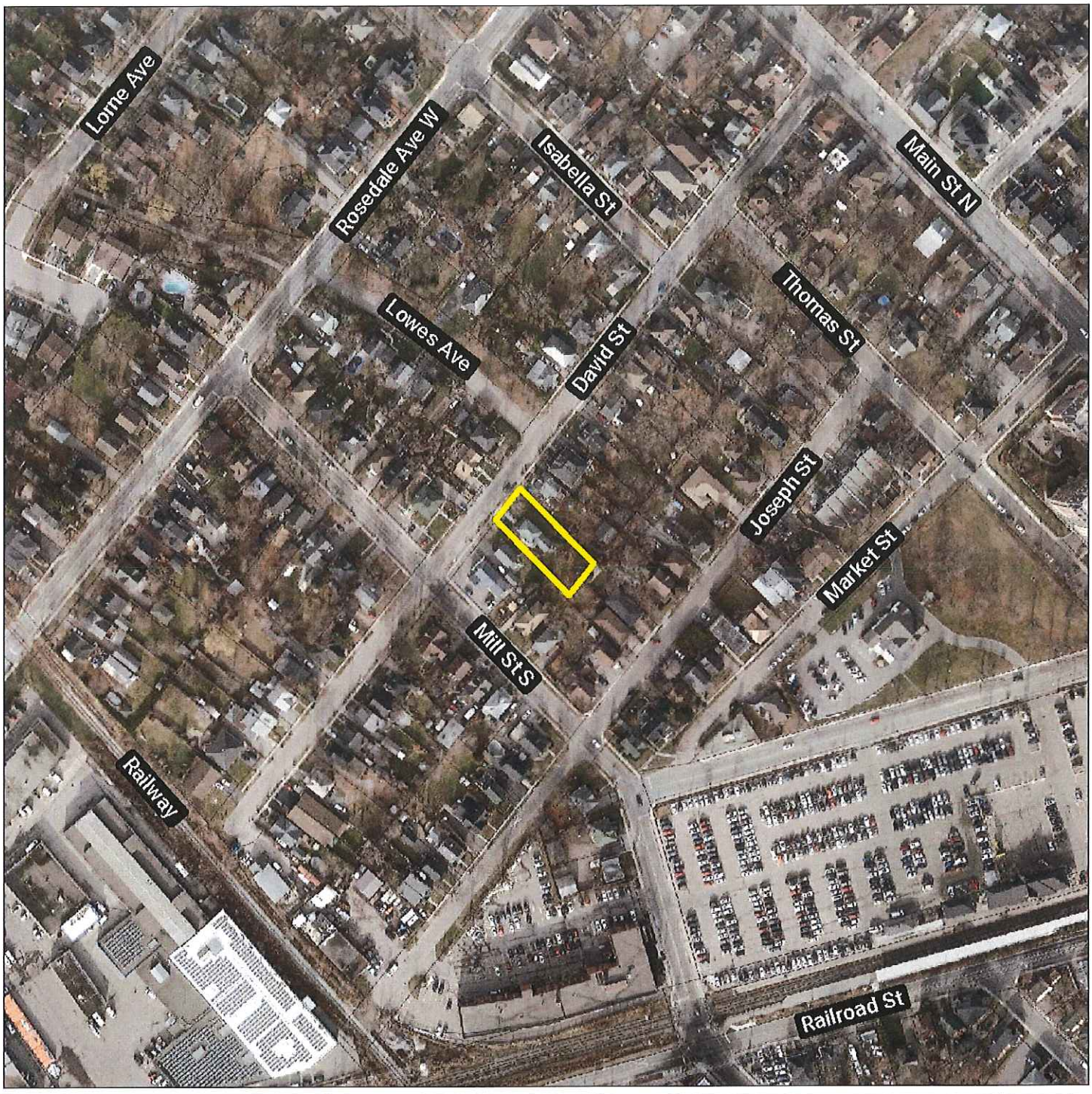



Figure 1

## Context Map

43 David Street,
City of Brampton

Legend

Subject Lands

0 25 50 75 100m

Scale: 1 : 2,500

N

Source: MyBrampton Interactive map.

Drawn By: A.M.

Date: February 16, 2022

File No: 132-22

Powell Planning & Associates

Town of New Tecumseth
County of Simcoe, ON

Mobile: 647.828.2467
Email: aimee@powellplanning.ca

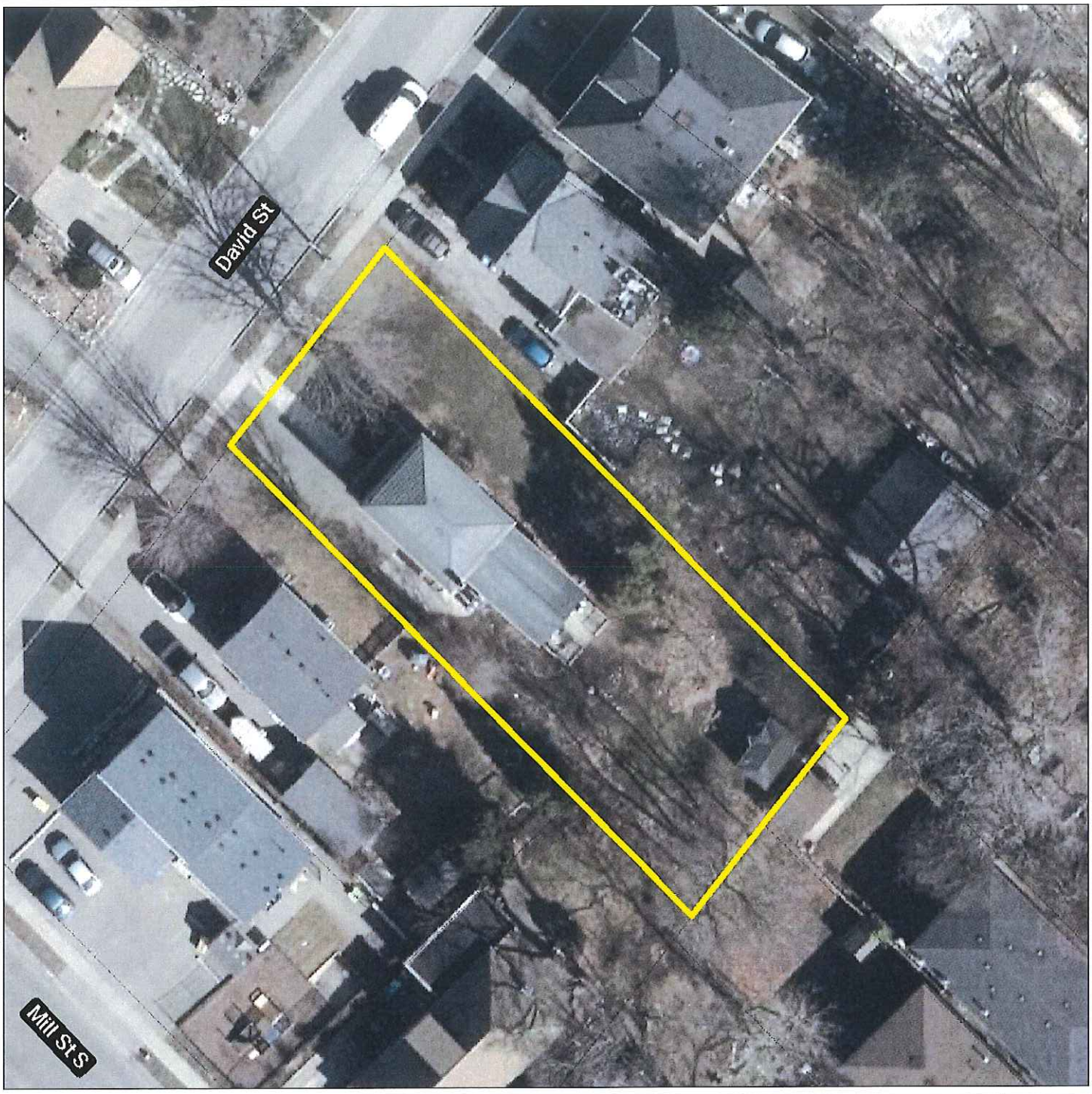



Figure 2

## Aerial Photo

43 David Street,
City of Brampton

Legend

Subject Lands

0 5 10 15m

Scale: 1 : 400

N

Source: MyBrampton Interactive map.

Drawn By: A.M.

Date: February 16, 2022

File No: 132-22

Powell Planning & Associates

Town of New Tecumseth
County of Simcoe, ON

Mobile: 647.828.2467
Email: aimee@powellplanning.ca

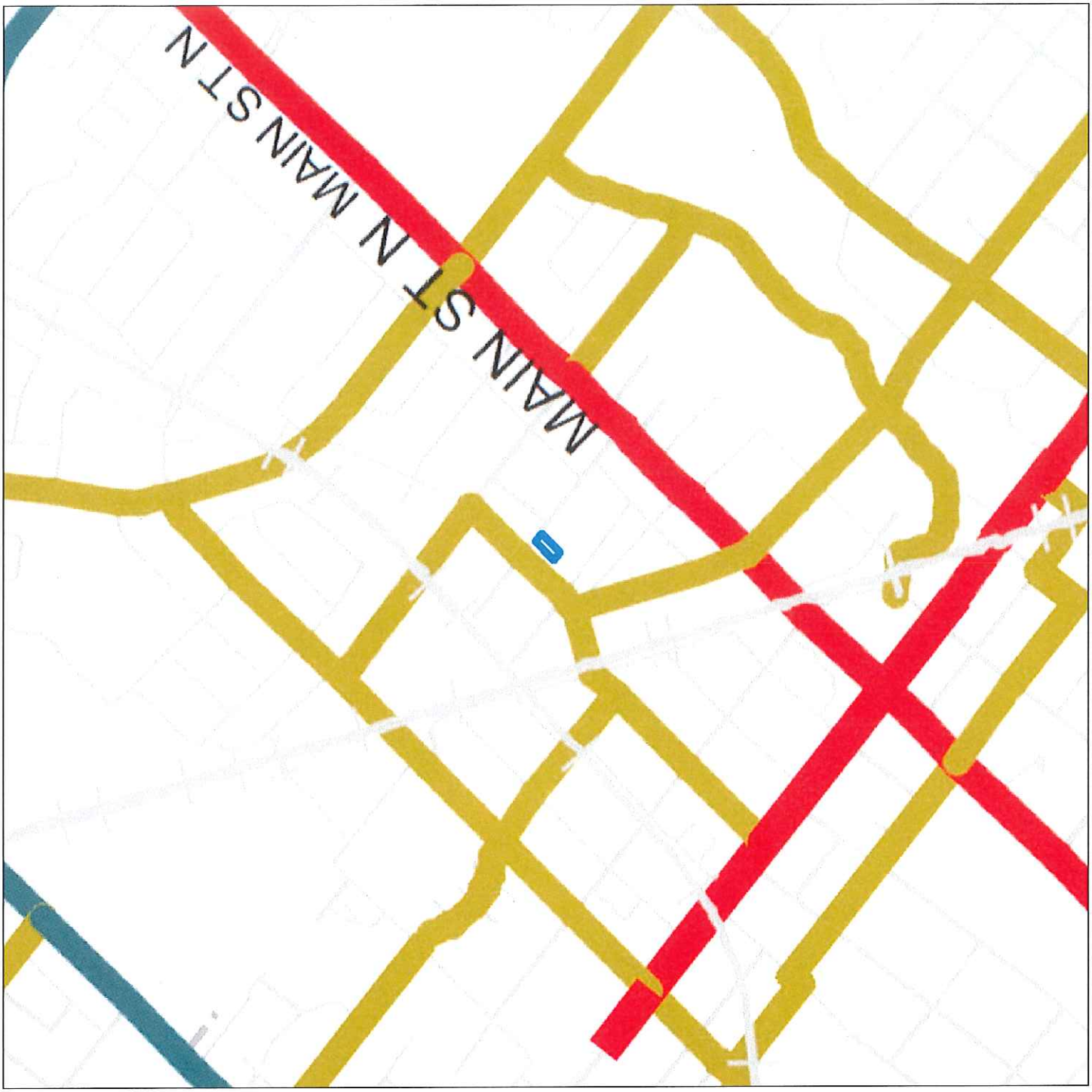



Figure 3

**City of Brampton Official Plan**
**Schedule B: Road Hierarchy**

43 David Street,
City of Brampton

Legend

- Subject Lands
- Collector
- Major Arterial (City)
- Major Arterial (Regional)
- Urban Collector

0 100 200 300 400m

Scale: 1 : 10,000

N

Source: City of Brampton Official Plan Schedule B: Road Hierarchy, August 2020

Drawn By: A.M.

Date: February 16, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca

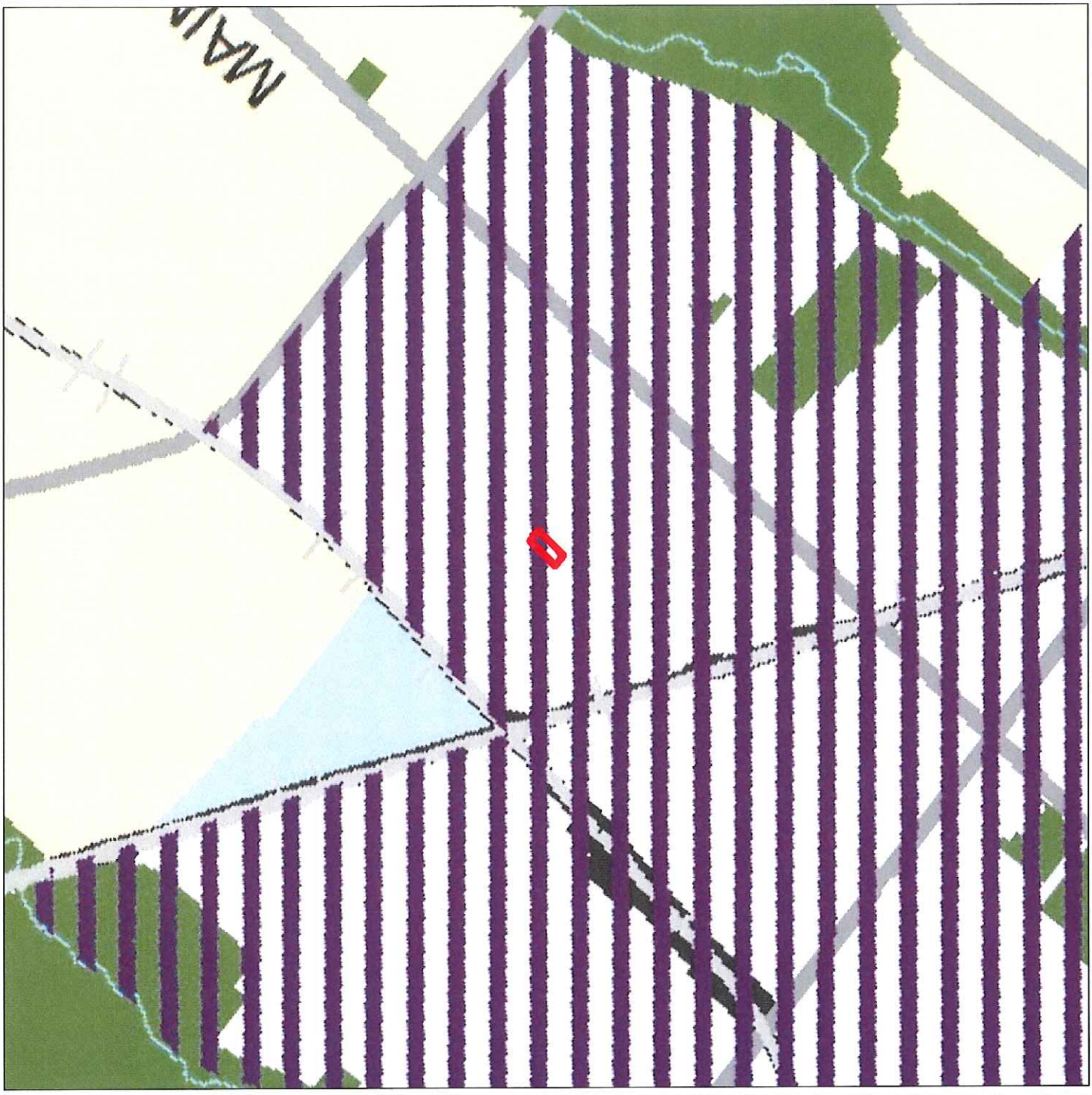


Figure 4

**City of Brampton Official Plan**
**Schedule A: General Land Use Designations**

43 David Street,
City of Brampton

Legend

- Subject Lands
- Central Area
- Residential
- Industrial
- Open Space

0 100 200 300m

Scale: 1:7,500

N

Source: City of Brampton Official Plan Schedule A: General Land Use Designations, August 2021.

Drawn By: A.M. | Date: February 16, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca

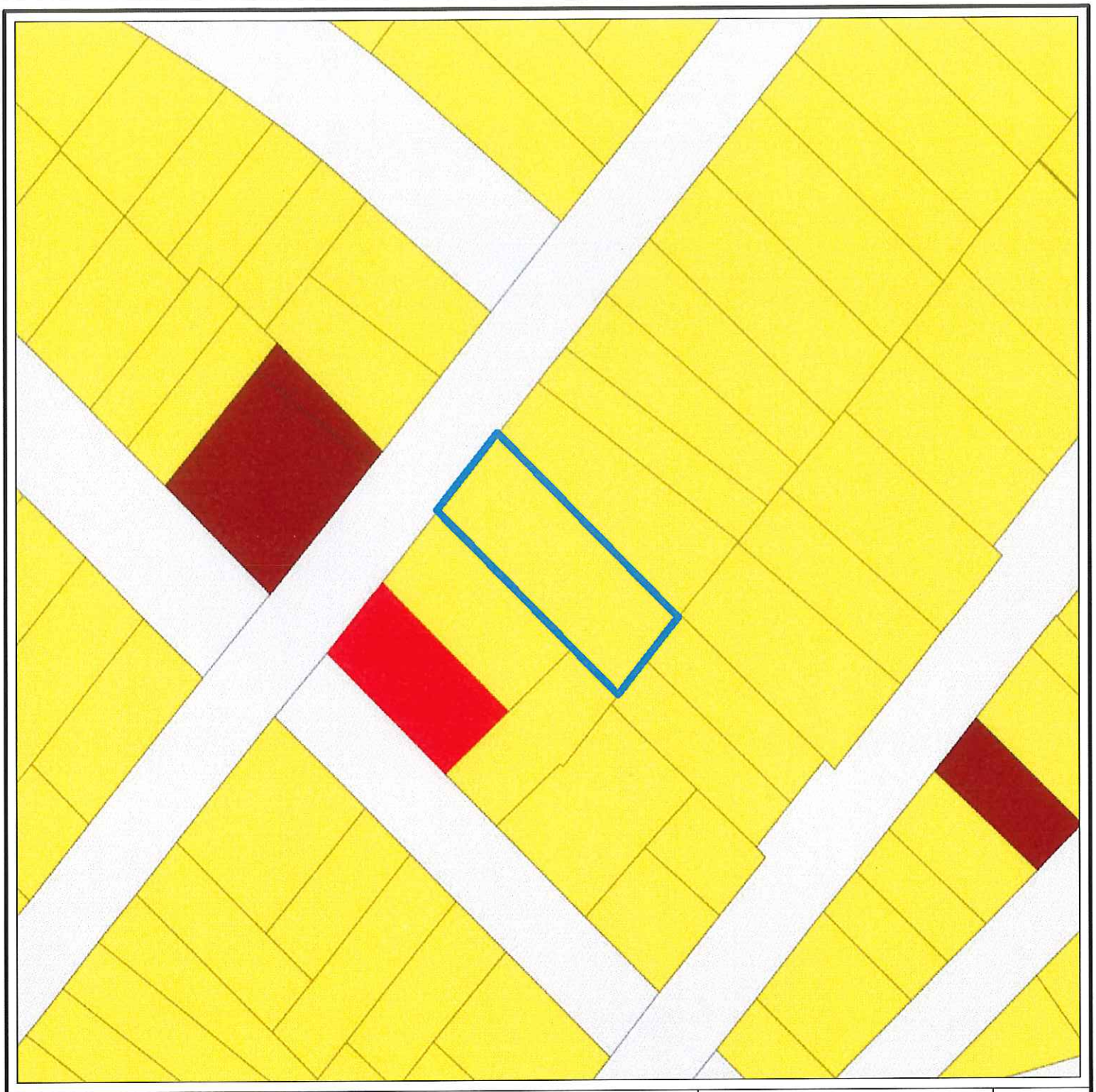


Figure 5

**City of Brampton Zoning By-law (204-2010) and (253-2021)**

43 David Street,
City of Brampton

Legend

- Subject Lands
- Residential Single Detached B (R1B)
- Service Commercial (SC)
- Residential Apartment A (R4A)

0 10 20 30 40m

Scale: 1 : 1,000

N

Source: Brampton Planning Viewer website, February 2022.

Drawn By: A.M.

Date: February 16, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca

Figure 6

**Region of Peel Official Plan**
**Schedule G: Rapid Transit Corridor**

43 David Street,
City of Brampton

Legend

- Subject Lands
- Existing GO Rail Station
- Mobility Hub - Anchor
- Other Rapid Transit Corridor
- Other Potential Rapid Transit Corridor

0 100 200 300 400m

Scale: 1 : 10,000

N

Source: Region of Peel Official Plan Schedule G: Rapid Transit Corridor, September 2021

Drawn By: A.M.

Date: February 16, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca

Figure 7

**Region of Peel Official Plan**
**Schedule D4: The Growth Plan Policy Areas in Peel**

43 David Street,
City of Brampton

Legend

- Subject Lands
- Urban Growth Centre
- Built Up Area

0 100 200 300 400m

Scale: 1 : 10,000

N

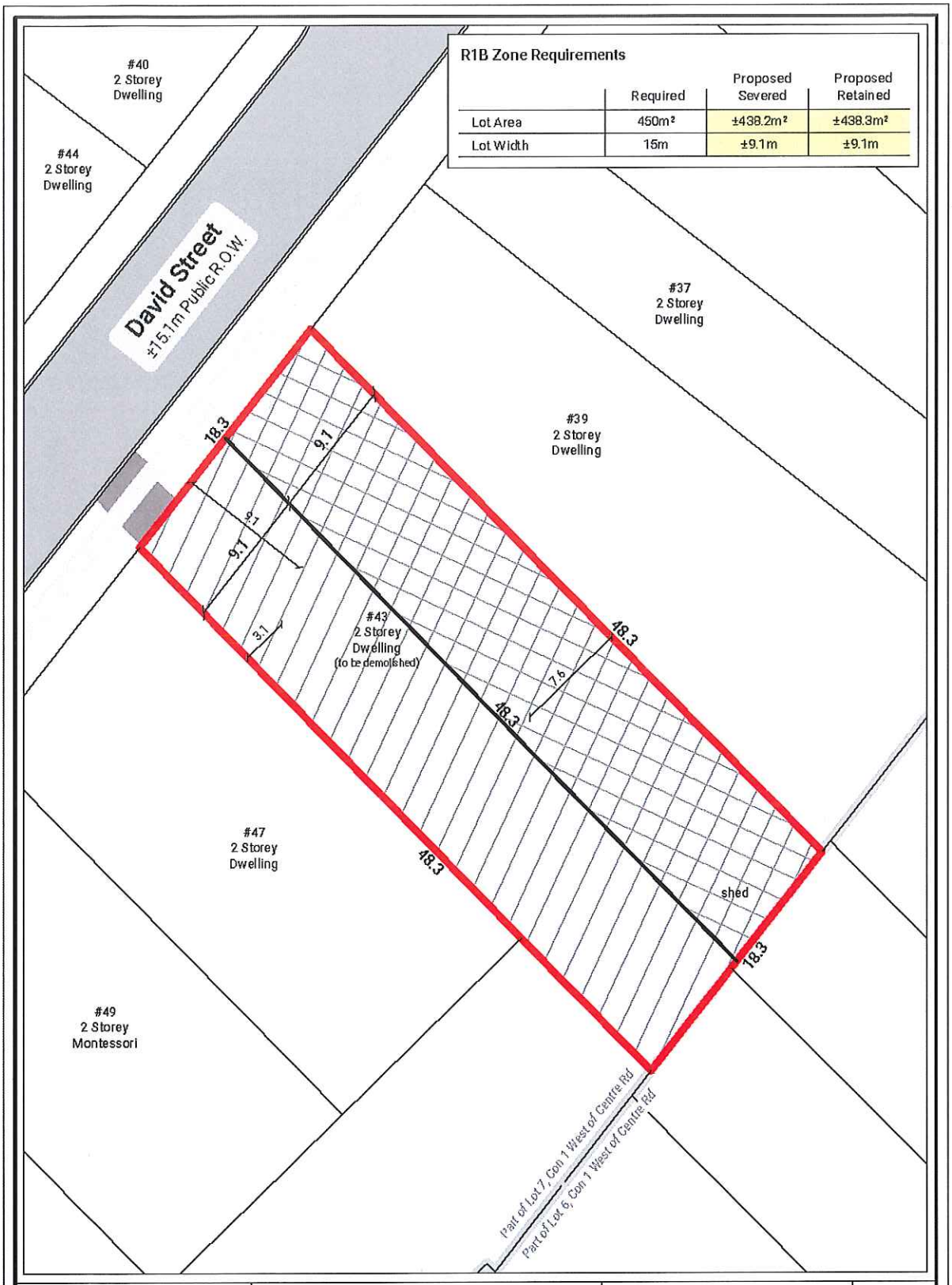
Source: Region of Peel Official Plan Schedule D4: The Growth Plan Policy Areas In Peel, September 2021.

Drawn By: A.M.

Date: February 16, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca




Appendix A

## Consent Sketch

43 David Street,
City of Brampton

Legend

Subject Lands
Total Area: ±876.5m² (0.22ac)
Lot Frontage: ±18.3m

Lands to be Severed
Lot Area: ±438.2m²
Lot Frontage: ±9.1m

Lands to be Retained
Lot Area: ±438.3m²
Lot Frontage: ±9.1m

Existing Structures to be Demolished

0 2.5 5 7.5 10 12.5m
Scale: 1 : 300

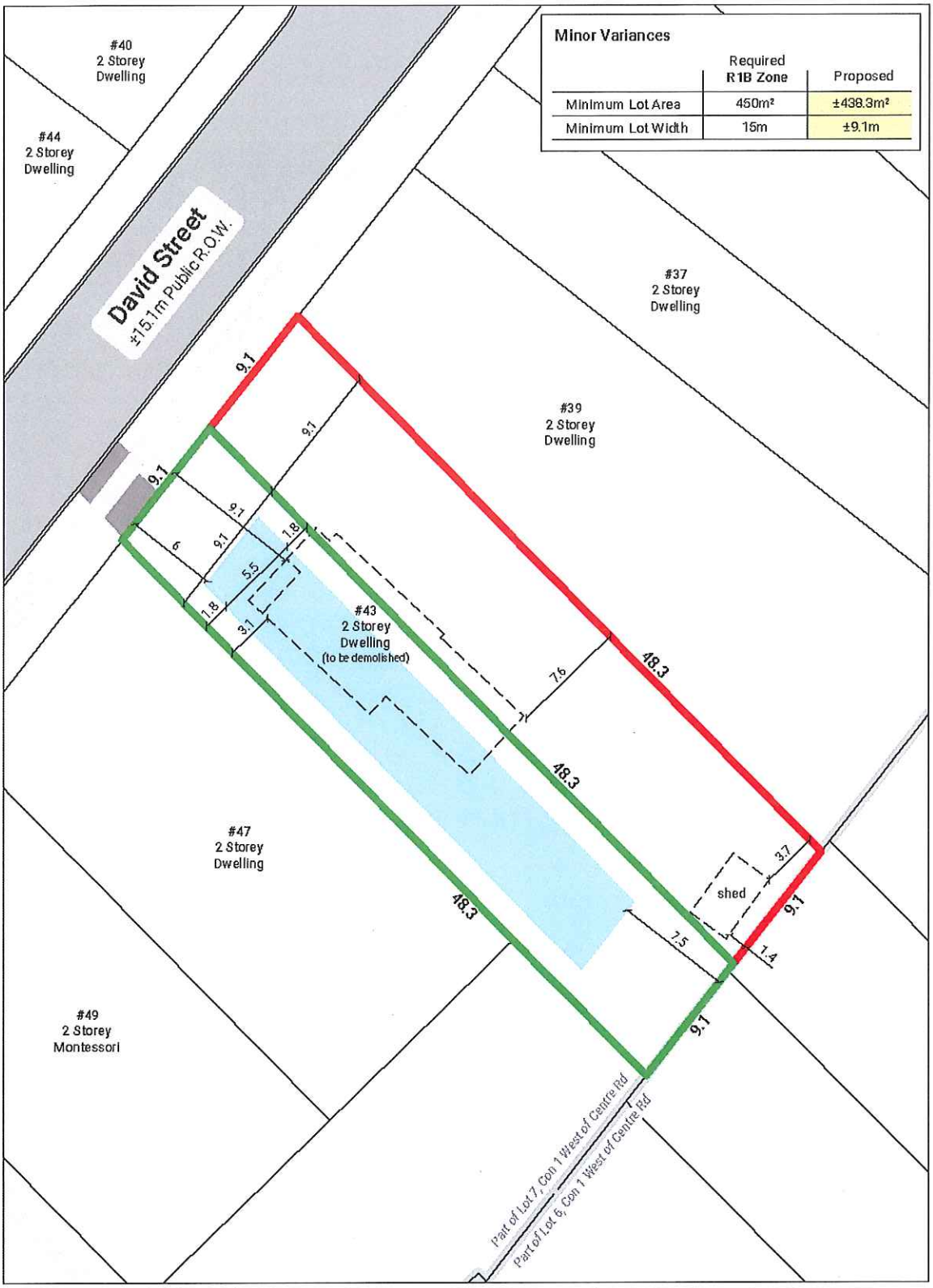
N

Note: This drawing is for discussion purposes only. Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M. | Date: March 10, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca




Appendix B

## Minor Variance Sketch

43 David Street,
City of Brampton

Legend

- Lands Subject to Minor Variance
  Lot Area: ±438.3m² (0.11ac)
  Frontage: ±9.1m
- Other Lands Owned by Applicant
  Lot Area: ±438.2m² (0.11ac)
  Frontage: ±9.1m
- Proposed 2 Storey Building Envelopes
- Existing Structures to be Demolished

0 2.5 5 7.5 10 12.5m
Scale: 1 : 300

N

Note: This drawing is for discussion purposes only. Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M.
Date: March 11, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca

Appendix C

## Minor Variance Sketch

43 David Street,
City of Brampton

Legend

- Lands Subject to Minor Variance
  Lot Area: ±438.2m² (0.11ac)
  Frontage: ±9.1m
- Other Lands Owned by Applicant
  Lot Area: ±438.3m² (0.11ac)
  Frontage: ±9.1m
- Proposed 2 Storey Building Envelopes
- Existing Structures to be Demolished

0 2.5 5 7.5 10 12.5m
Scale: 1 : 300

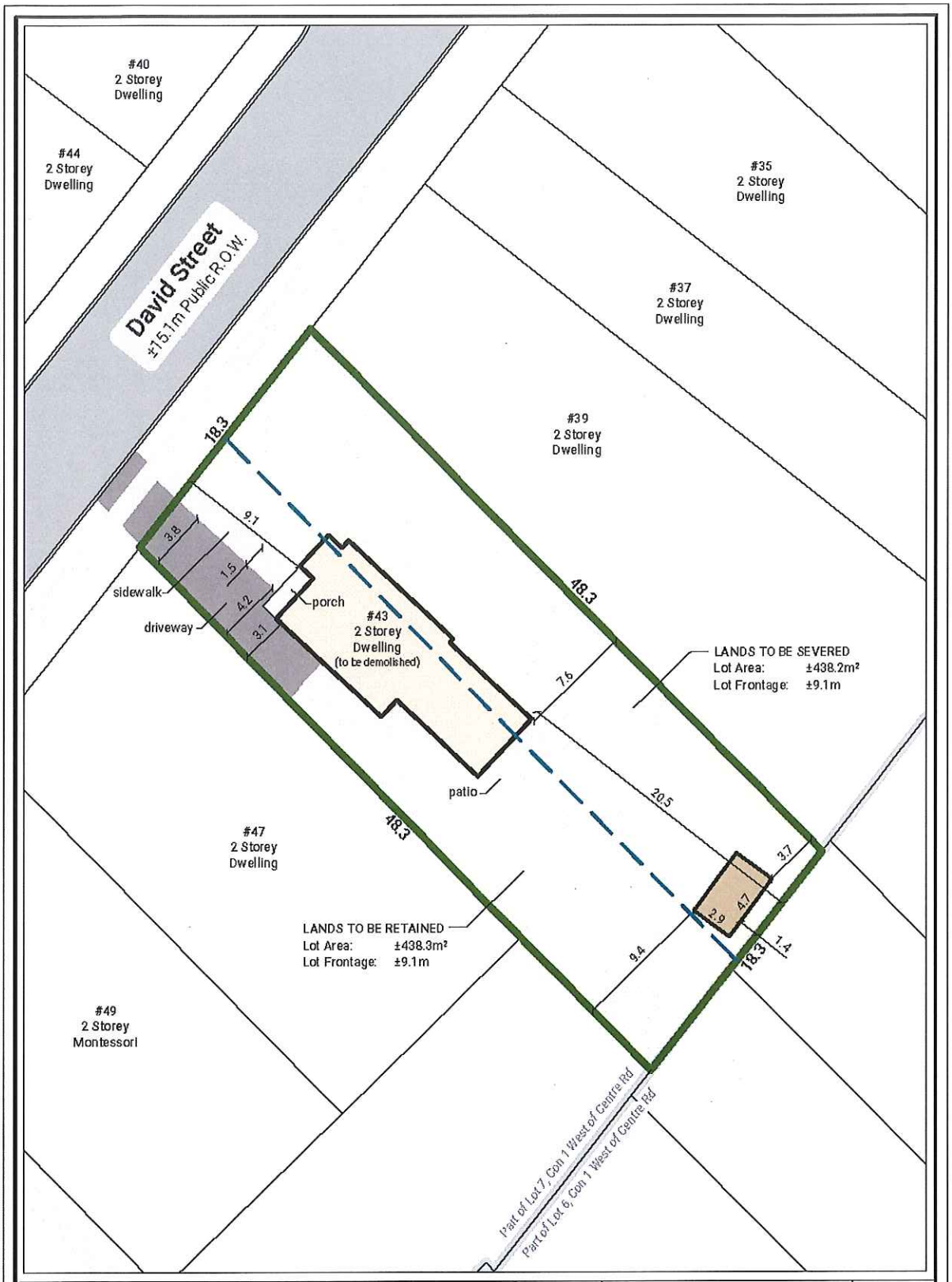
N

Note: This drawing is for discussion purposes only. Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M. | Date: March 11, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca




Appendix D

## Existing Dwelling

43 David Street,
City of Brampton

Legend

- Subject Lands
  Lot Area: ±876.5m² (0.22ac)
  Frontage: ±18.3m
- Existing Dwelling
  GFA: ±213.4m² (2,297.2ft²)
- Existing Shed
  GFA: ±13.6m² (146.4ft²)
- Existing Driveway
- Existing Porch, Patio and Sidewalk
- Proposed Severance Line

0 2.5 5 7.5 10 12.5m
Scale: 1 : 300

N

Note: This drawing is for discussion purposes only. Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M. | Date: March 8, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca

www.powellplanning.ca

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

APPLICATION NUMBER: "B"-2022-0003

*The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
## Consent
(Please read Instructions)

**NOTE:** Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

**1. (a) Name of Owner/Applicant** Manupriya Sharma
(print given and family names in full)

**Address** 43 David Street, Brampton, L6X 1J3

**Phone #** 647-960-0007 **Fax #**

**Email** gouravbhanot@yahoo.com

**(b) Name of Authorized Agent** Powell Planning & Associates c/o Aimee Powell

**Address** 202 Eighth Avenue, New Tecumseth, ON L9R 0H5

**Phone #** 647-828-2467 **Fax #**

**Email** aimee@powellplanning.ca

**2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.**

**Specify:** creation of a new lot

**3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.**

unknown - to be sold

**4. Description of the subject land ("subject land" means the land to be severed and retained):**

**a) Name of Street** David Street **Number** 43

b) Concession No. **Lot(s)** 24

c) Registered Plan No. Plan BR-32 Part 2, **Lot(s)**

d) Reference Plan No. Plan 43R-9448 **Lot(s)**

e) Assessment Roll No. 10-04-0-035-03000-0000 **Geographic or Former Township**

**5. Are there any easements or restrictive covenants affecting the subject land?**

**Yes** ☐ **No** ☑

**Specify:**

6. **Description of severed land: (in metric units)**

a) **Frontage** 9.15 m **Depth** 48.3 m **Area** 442 sq.m

b) **Existing Use** residential **Proposed Use** residential

c) **Number and use of buildings and structures** (both existing and proposed) **on the land to be severed:**

**(existing)** portion of 1 existing house, and an existing shed

**(proposed** 1 residential dwelling on severed lands

d) **Access will be by:**

| | Existing | Proposed |
|---|---|---|
| **Provincial Highway** | ☐ | ☐ |
| **Municipal Road - Maintained all year** | ☑ | ☑ |
| **Other Public Road** | ☐ | ☐ |
| **Regional Road** | ☐ | ☐ |
| **Seasonal Road** | ☐ | ☐ |
| **Private Right of Way** | ☐ | ☐ |

e) **If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?**

f) **Water supply will be by:**

| | Existing | Proposed |
|---|---|---|
| **Publicly owned and operated water systen** | ☑ | ☑ |
| **Lake or other body of water** | ☐ | ☐ |
| **Privately owned and operated individual or communal well** | ☐ | ☐ |

**Other (specify):**

g) **Sewage disposal will be by:**

| | Existing | Proposed |
|---|---|---|
| **Publicly owned and operated sanitary sewer system** | ☑ | ☑ |
| **Privy** | ☐ | ☐ |
| **Privately owned and operated individual or communal septic system** | ☐ | ☐ |

**Other (specify):**

7. **Description of retained land: (in metric units)**

a) **Frontage** 9.15 m **Depth** 48.3 m **Area** 442 sq. m

b) **Existing Use** residential dwelling **Proposed Use** residential dwelling

c) **Number and use of buildings and structures** (both existing and proposed) **on the land to be retained:**

**(existing)** portion of 1 existing house

**(proposed** 1 residential dwelling on retained lands

| d) Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☑ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

_____

| f) Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water systen | ☑ | ☑ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |
| Other (specify): _____ | | |

| g) Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☑ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |
| Other (specify): _____ | | |

8. What is the current designation of the land in any applicable zoning by-law and official plan?

| | Land to be Severed | Land to be Retained |
|---|---|---|
| Zoning By-Law | R1B | R1B |
| Official Plans | | |
| City of Brampton | Central Area | Central Area |
| Region of Peel | Urban Growth Centre | Urban Growth Centre |

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☐ No ☑

File # _____ Status/Decision _____

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☑

Date of Transfer _____ Land Use _____

11. **If known, is/was the subject land the subject of any other application under the Planning Act, such as:**

| | File Number | Status |
|---|---|---|
| **Official Plan Amendment** | | |
| **Zoning By-law Amendment** | | |
| **Minister's Zoning Order** | | |
| **Minor Variance** | A-2022-0047<br>A-2022-0048 | CONCURRENT |
| **Validation of the Title** | | |
| **Approval of Power and Sale** | | |
| **Plan of Subdivision** | | |

12. **Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act?*** Yes ☑ No ☐

13. **Is the subject land within an area of land designated under any Provincial Plan?** Yes ☑ No ☐

14. **If the answer is yes, does the application conform to the applicable Provincial Plan?** Yes ☑ No ☐

15. **If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).**

Dated at the City of Brampton

this 16th day of March, 2022.

Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:

☐ I have the authority to bind the Corporation

## DECLARATION

I, Manu Priya Sharma of the City of Brampton

in the County/District/Regional Municipality of Peel solemnly declare that all the statements contained in t

application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Brampton

in the Region of Peel

this 16th day of March, 2022.

Manu Priya Sharma

Signature of applicant/solicitor/authorized agent, etc.

Submit by Email

Jeanie Myers

Signature of a Commissioner, etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

**FOR OFFICE USE ONLY** - To Be Completed By the Zoning Division

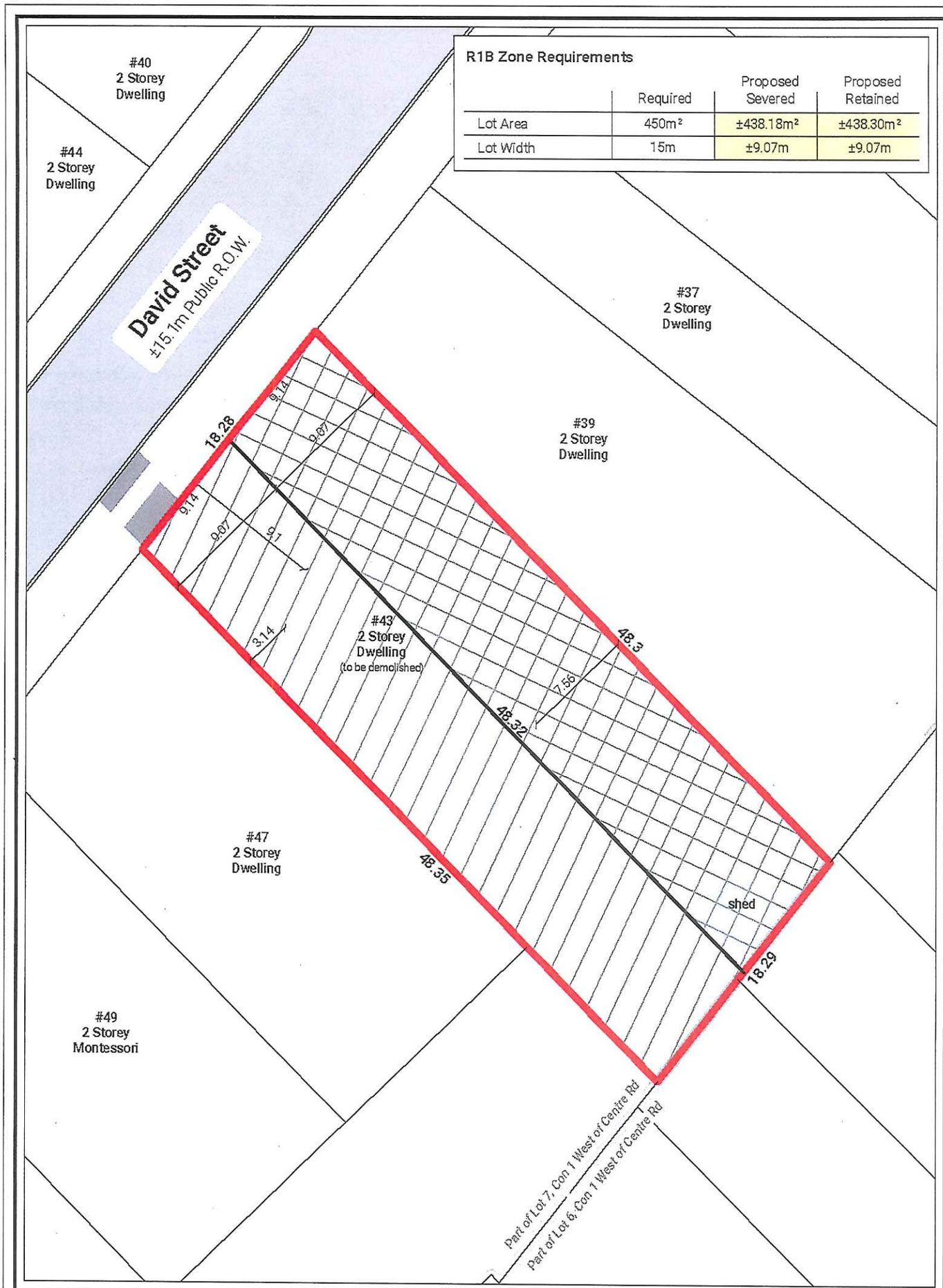
This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

Todd Payne
Zoning Officer

March 24, 2022
Date

**DATE RECEIVED** March 16, 2022

**Date Application Deemed Complete by the Municipality** MARCH 24, 2022




**R1B Zone Requirements**

| | Required | Proposed Severed | Proposed Retained |
|---|---|---|---|
| Lot Area | 450m² | ±438.18m² | ±438.30m² |
| Lot Width | 15m | ±9.07m | ±9.07m |

Appendix A

## Consent Sketch

43 David Street,
City of Brampton

Legend

**Subject Lands**
Total Area: ±876.48m² (0.22ac)
Lot Width: ±18.13m

**Lands to be Severed**
Lot Area: ±438.18m²
Lot Width: ±9.07m

**Lands to be Retained**
Lot Area: ±438.30m²
Lot Width: ±9.07m

**Existing Structures to be Demolished**

0 2.5 5 7.5 10 12.5m
Scale: 1 : 300

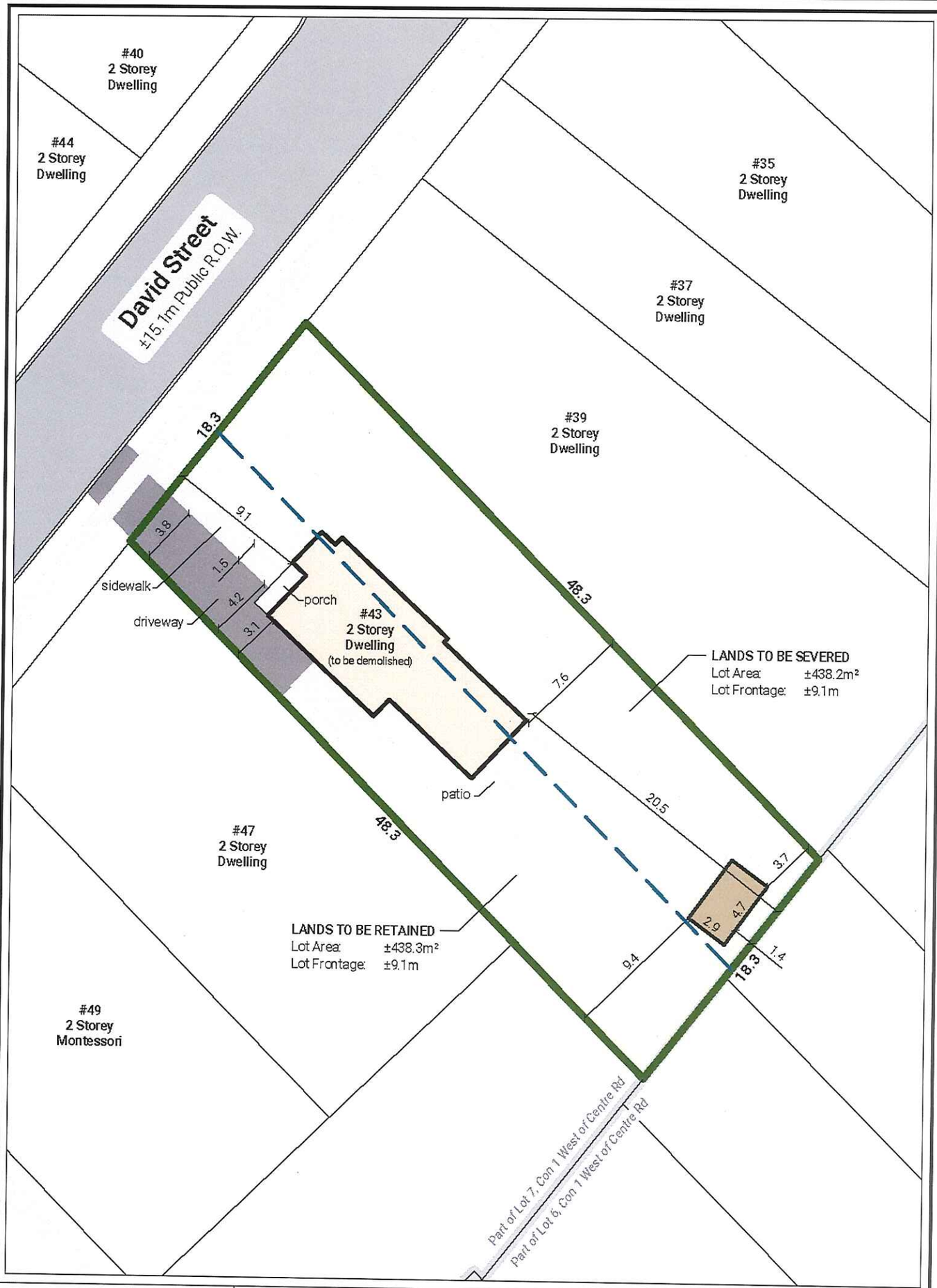
N

Note: This drawing is for discussion purposes only. Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M. | Date: March 23, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca




Appendix D

## Existing Dwelling

43 David Street,
City of Brampton

Legend

- Subject Lands — Lot Area: ±876.5m² (0.22ac); Frontage: ±18.3m
- Existing Dwelling — GFA: ±213.4m² (2,297.2ft²)
- Existing Shed — GFA: ±13.6m² (146.4ft²)
- Existing Driveway
- Existing Porch, Patio and Sidewalk
- Proposed Severance Line

0 2.5 5 7.5 10 12.5m

Scale: 1 : 300

N

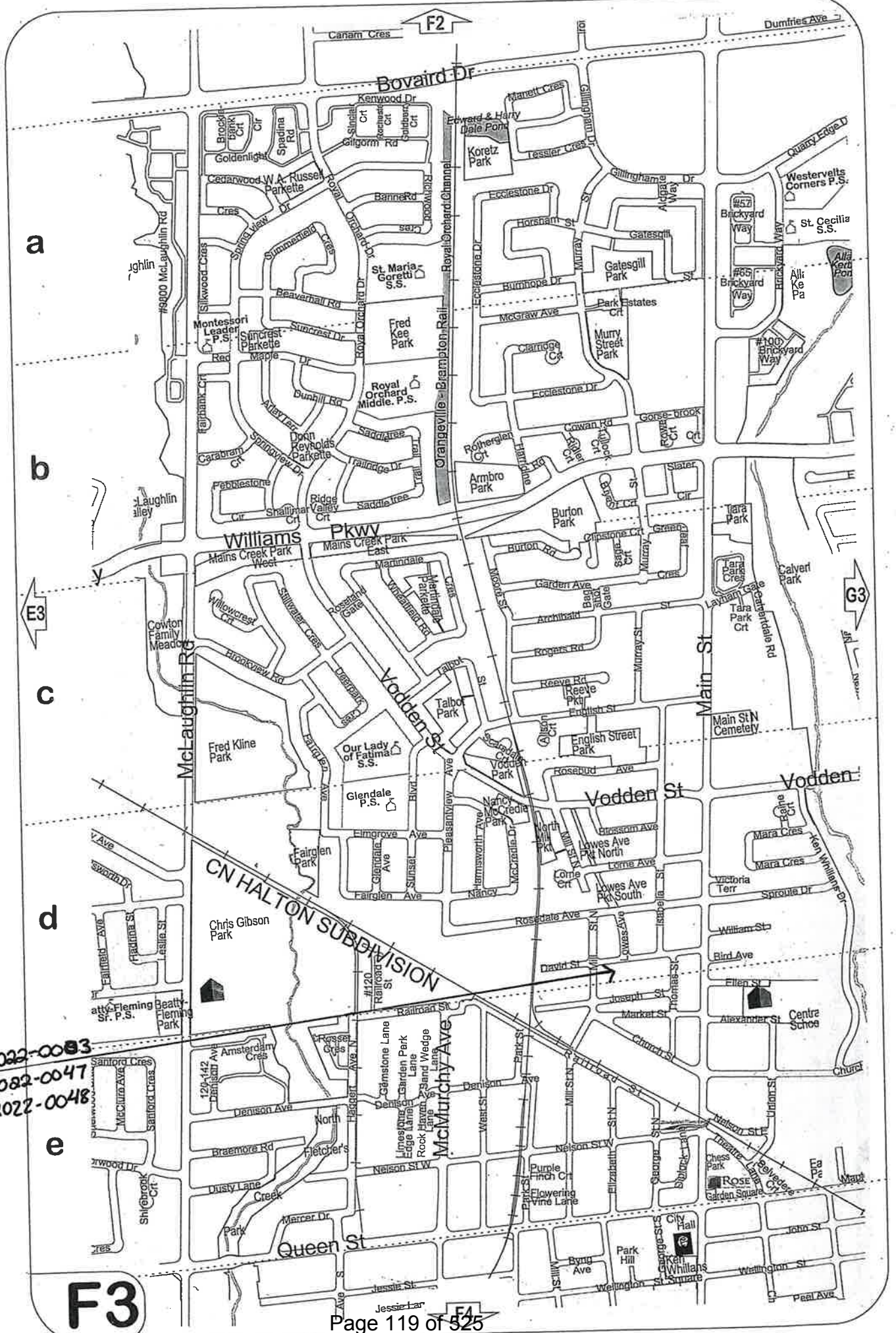
Note: This drawing is for discussion purposes only. Property boundary to be verified by an O.L.S.

Source: MyBrampton Interactive map.

Drawn By: A.M. | Date: March 8, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca




B-2022-0003
A-2022-0047
A-2022-0048

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # B-2022-0013**
**Ward # 5**

## DEFERRED NOTICE OF AN APPLICATION FOR CONSENT

An **amended** application for consent has been made by **13172589 CANADA INC.**

**Purpose and Effect**

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 0.70 hectares (1.74 acres). The proposed severed lot has a frontage of approximately 19.62 metres (64.37 feet), a depth of approximately 31.36 metres (1052.89 feet) and an area of approximately 0.07 hectares (0.17 acres). The effect of the application is to create a new residential lot for future development of a single detached dwelling.

**Location of Land:**

Municipal Address: 9224 Creditview Road — Former Township: CHINGUACOUSY

Legal Description: Part of Lot 7, Concession 4 WHS, Part 4, Plan 43R-30530

**Meeting**

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. **This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment Decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.**

***PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC***

==========

**LAST DAY FOR RECEIVING COMMENTS: DECEMBER 1, 2022**

==========

***NOTE:*** IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

**Other Planning Act Applications**

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

| | | |
|---|---|---|
| Official Plan Amendment: | YES | File Number: OZS-2022-0013 |
| Zoning By-law Amendment: | YES | File Number: OZS-2022-0013 |
| Minor Variance: | YES | File Number: A-2022-0319 |

**Decision and Appeal**

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Ontario Land Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Ontario Land Tribunal Act, 2021*. The appeal form is available from the Environment and Land Tribunals Ontario website at https://olt.gov.on.ca/appeals-process/forms/

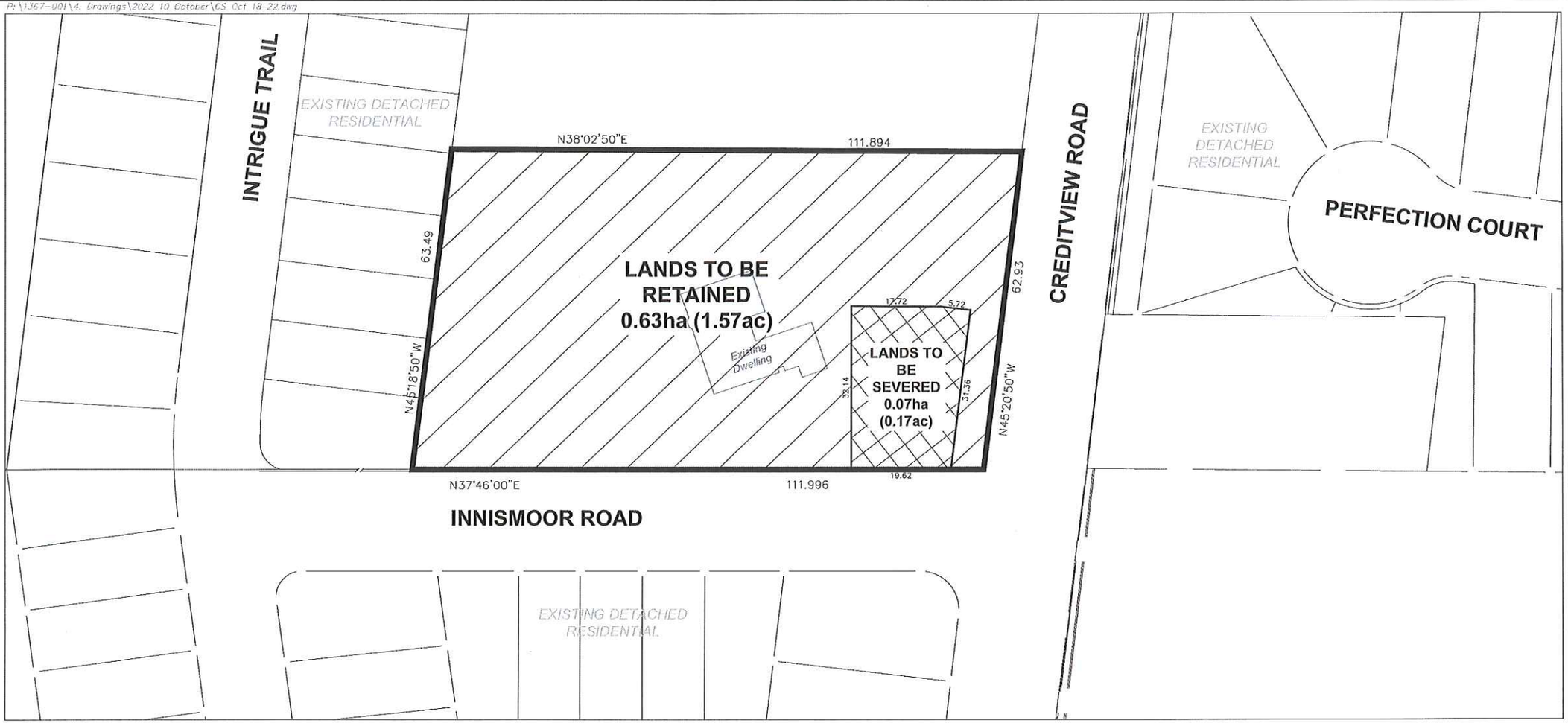
If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS 17th Day of November, 2022.

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

**Jeanie Myers, Secretary-Treasurer**
**City of Brampton Committee of Adjustment**
**City Clerk's Office, Brampton City Hall**
**2 Wellington Street West**
**Brampton, Ontario L6Y 4R2**
**Phone: (905)874-2117 Fax: (905)874-2119**
**Jeanie.myers@brampton.ca**

P:\1367-001\4. Drawings\2022 10 October\CS Oct 18 22.dwg

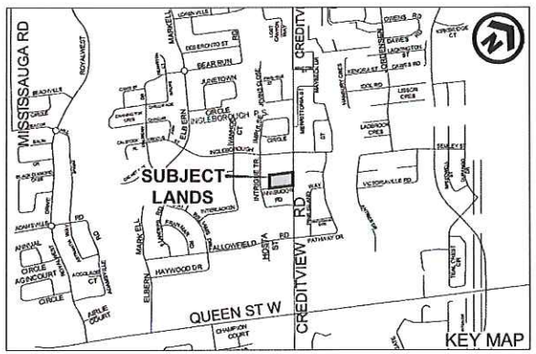



# CONSENT SKETCH
# MR. TEJINDER SINGH

9224 CREDITVIEW ROAD,
PART OF LOT 7,
CONCESSION 4, W.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

CONSENT STATISTICS

| | |
|---|---|
| LANDS TO BE SEVERED: | 0.07ha (0.17ac) |
| LANDS TO BE RETAINED: | 0.63ha (1.57ac) |
| **TOTAL:** | **0.70ha (1.74ac)** |




SCALE 1:750
OCTOBER 18, 2022

GSAI
Glen Schnarr & Associates Inc.

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

GSAI
Glen Schnarr & Associates Inc.

Partners:
**Glen Broll,** MCIP, RPP
**Colin Chung,** MCIP, RPP
**Jim Levac,** MCIP, RPP
**Jason Afonso,** MCIP, RPP
**Karen Bennett,** MCIP, RPP

*In Memoriam, Founding Partner:*
**Glen Schnarr**

**November 2, 2022** **GSAI File: 1367-001**

City of Brampton
Committee of Adjustment
2 Wellington Street
Brampton, ON
L5B 3C1

**Attention:** **Jeanie Myers**
Secretary-Treasurer, Committee of Adjustment

**Re:** **Consent Application B-2022-0013 and**
**Minor Variance Application A-2022-0319**
9224 Creditview Road
Part of Lot 7, Concession 4 WHS
13172589 Canada Inc. (c/o Tejinder Singh)
Related files: OZS-2022-001
City of Brampton, Regional Municipality of Peel

Glen Schnarr & Associates Inc. (GSAI) would like to formally submit this amendment to our previous Consent and Minor Variance applications to the Committee of Adjustment with regard to the lands municipally addressed as 9224 Creditview Road (hereafter the 'Subject Property') on behalf of our client, 13172589 Canada Inc. (c/o Tejinder Singh). Our applications have been deferred by the Committee of Adjustment during the October 25th, 2022 hearing, to the December 6th, 2022 hearing.

Our original Consent sketch for application B-2022-0013 has been amended to remove the buffer block located at the southeast corner of the Subject Property from the Consent Sketch. This decision was concluded based on a conversation with Francois Hemon-Morneau from Development Services regarding concerns related to the daylight triangle, road widening, and noise barriers within the proposed Buffer Block. We will address these issues through the Draft Plan of Subdivision and Zoning By-law Amendment Application currently being processed by the City under the City File Number OZS-2022-0013.

Amendments to our Minor Variance application (A-2022-0319), also deferred during the October 25th hearing, are required due to changes in the corresponding consent application noted above.

The minor variances sought for the severed lot are now as follows:

GSAI
Glen Schnarr & Associates Inc.

1. (REVISED) To permit a minimum lot width of 20.3 metres (measured at 6 metres back from front lot line), whereas the by-law requires a minimum lot width of 45.0 metres;

2. (REVISED) To permit a minimum front yard depth of 4.50 metres, whereas the by-law requires a minimum front yard depth of 12.0 metres;

3. (UNCHANGED) To permit a minimum side yard depth of 2.0 metres, whereas the by-law requires a minimum side yard depth of 7.5 metres;

4. (REVISED) To permit a minimum rear yard depth of 7.5 metres whereas the by-law requires a minimum rear yard depth of 15.0 metres. Please note this variance has been revised to be consistent with the proposed zoning on the balance of the Draft Plan; and,

5. (REVISED) To permit a minimum lot area of 0.07 hectares whereas the by-law requires a minimum lot area of 0.40 hectares.

Please find attached the following documents in support of our amended applications:

- Revised Consent application forms (pages 2 and 3 revised) dated October 26, 2022;
- Revised Consent Sketch prepared by Glen Schnarr & Associates Inc., dated October 31, 2022;
- Revised Minor Variance application forms (pages 2 and 3 revised) dated November 1, 2022;
- Revised Lot 1 Citing Plan prepared by Glen Schnarr & Associates Inc., dated October 31, 2022; and,
- Revised Development Concept Plan prepared by Glen Schnarr & Associates Inc., dated November 1, 2022.

We trust that this letter is sufficient for amending our applications and to be placed on the December 6th 2022 hearing. Please do not hesitate to contact the undersigned at 416-459-2424 or colinc@gsai.ca if you have any questions.

Yours very truly,

**GLEN SCHNARR & ASSOCIATES INC.**

**Colin Chung** MCIP, RPP
**Managing Partner**

Flower City

brampton.ca

**APPLICATION NUMBER:** "B"-2022-0013

AMENDED Page 1

*The personal Information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION

## Consent

(Please read Instructions)

**NOTE:** Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

**1. (a) Name of Owner/Applicant** 13172589 Canada Inc. (c/o Tejinder Singh)
(print given and family names in full)

**Address** 9224 Creditview Road, Brampton

**Phone #** _____ **Fax #** _____

**Email** tejinder@rogers.com

**(b) Name of Authorized Agent** Glen Schnarr & Associates Inc. (c/o Colin Chung)

**Address** 700 - 10 Kingsbridge Garden Circle, Mississauga ON L5R 3K6

**Phone #** 416-459-2424 **Fax #** _____

**Email** colinc@gsai.ca

**2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.**

**Specify:** Creation of a new lot

**3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.**

Tony Brunner

**4. Description of the subject land ("subject land" means the land to be severed and retained):**

**a) Name of Street** Creditview Road **Number** 9224

**b) Concession No.** 4 **Lot(s)** 7

**c) Registered Plan No.** 43R-30530 **Lot(s)** _____

**d) Reference Plan No.** _____ **Lot(s)** _____

**e) Assessment Roll No.** _____ **Geographic or Former Township** CHINGUACOUSY

**5. Are there any easements or restrictive covenants affecting the subject land?**

**Yes** ☐ **No** ☒

**Specify:** _____

AMENDED Page 2.



6. **Description of severed land: (in metric units)**

a) **Frontage** approx. 19.62 metres **Depth** approx. 31.36 metres **Area** approx. 0.07 hectares

b) **Existing Use** Residential **Proposed Use** Residential

c) **Number and use of buildings and structures (both existing and proposed) on the land to be severed:**

**(existing)** None (0)

**(proposed** One (1)

| d) Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☑ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) **If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?**

| f) Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water systen | ☑ | ☑ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |

**Other (specify):**

| g) Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☑ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |

**Other (specify):**

7. **Description of retained land: (in metric units)**

a) **Frontage** approx. 62.93 metres **Depth** approx. 111.89 metres **Area** approx. 0.63 hectares

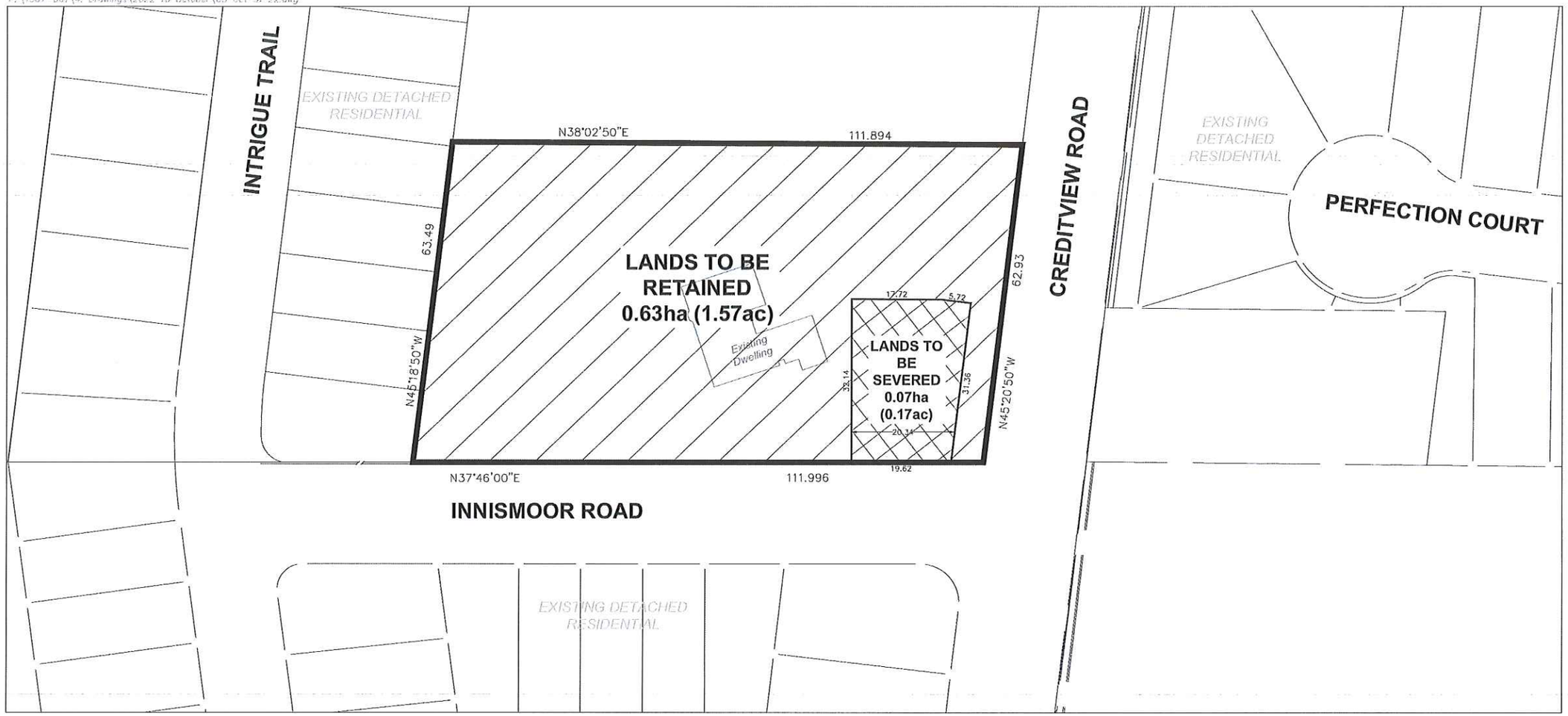
b) **Existing Use** Residental **Proposed Use** Residential

c) **Number and use of buildings and structures (both existing and proposed) on the land to be retained:**

**(existing)** One (1)

**(proposed** One (1)

P:\1367-001\4. Drawings\2022 10 October\CS Oct 31 22.dwg



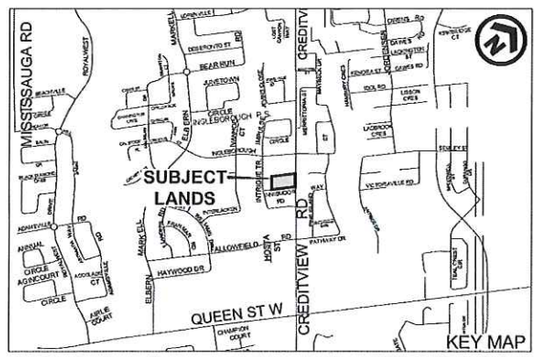

# CONSENT SKETCH
# MR. TEJINDER SINGH

9224 CREDITVIEW ROAD,
PART OF LOT 7,
CONCESSION 4, W.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

CONSENT STATISTICS

| | |
|---|---|
| LANDS TO BE SEVERED: | 0.07ha (0.17ac) |
| LANDS TO BE RETAINED: | 0.63ha (1.57ac) |
| **TOTAL:** | **0.70ha (1.74ac)** |

**Note**
-Frontage measured at 6m front yard setback




SCALE 1:750
OCTOBER 31, 2022

GSAI
Glen Schnarr & Associates Inc.

 AMENDED PAGE 2

6. **Description of severed land: (in metric units)**

a) **Frontage** approx. 19.62 metres **Depth** approx. 31.36 metres **Area** approx. 0.07 hectares

b) **Existing Use** Residential **Proposed Use** Residential

c) **Number and use of buildings and structures (both existing and proposed) on the land to be severed:**

**(existing)** None (0)

**(proposed** One (1)

| d) Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☑ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) **If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?**

| f) Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water systen | ☑ | ☑ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |

**Other (specify):**

| g) Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☑ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |

**Other (specify):**

7. **Description of retained land: (in metric units)**

a) **Frontage** approx. 62.93 metres **Depth** approx. 111.89 metres **Area** approx. 0.63 hectares

b) **Existing Use** Residental **Proposed Use** Residential

c) **Number and use of buildings and structures (both existing and proposed) on the land to be retained:**

**(existing)** One (1)

**(proposed** One (1)

GSAI
Glen Schnarr & Associates Inc.

Partners:
**Glen Broll,** MCIP, RPP
**Colin Chung,** MCIP, RPP
**Jim Levac,** MCIP, RPP
**Jason Afonso,** MCIP, RPP
**Karen Bennett,** MCIP, RPP

*In Memoriam, Founding Partner:*
**Glen Schnarr**

**October 26th, 2022** **GSAI File: 1367-001**

City of Brampton
Committee of Adjustment
2 Wellington Street
Brampton, ON
L5B 3C1

B-2022-0013 (AMENDED)

**Attention:** **Jeanie Myers**
Secretary-Treasurer, Committee of Adjustment

**Re:** **Consent to Sever Application**
9224 Creditview Road
Part of Lot 7, Concession 4 WHS
13172589 Canada Inc. (c/o Tejinder Singh)
OZS-2022-0013
City of Brampton, Regional Municipality of Peel

Glen Schnarr & Associates Inc. (GSAI) would like to formally submit this amendment to our previous consent to sever application to the Committee of Adjustment with regard to the lands municipally addressed as 9224 Creditview Road (hereafter the 'Subject Property') on behalf of our client, 13172589 Canada Inc. (c/o Tejinder Singh). Our application has been deferred by the Committee of Adjustment on the October 25th, 2022, Hearing to the December 6th, 2022, Hearing.

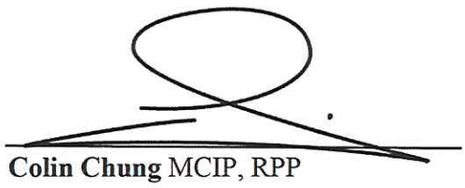
Amendments to our original consent application include removing the Buffer Block located at the southeast corner of the Subject Property from the Consent Sketch. This decision was concluded based on a conversation with Francois Hemon-Morneau from Development Services regarding concerns related to the daylight triangle, road widening, and noise barriers within the proposed Buffer Block. We will address these issues through the Draft Plan of Subdivision and Zoning By-law Amendment Application currently being processed by the City under the City File Number OZS-2022-0013.

GSAI
Glen Schnarr & Associates Inc.

We trust that this letter is sufficient in satisfying the approval of the amendment to our application. Please do not hesitate to contact the undersigned at 416-459-2424 or colinc@gsai.ca if you have any questions.

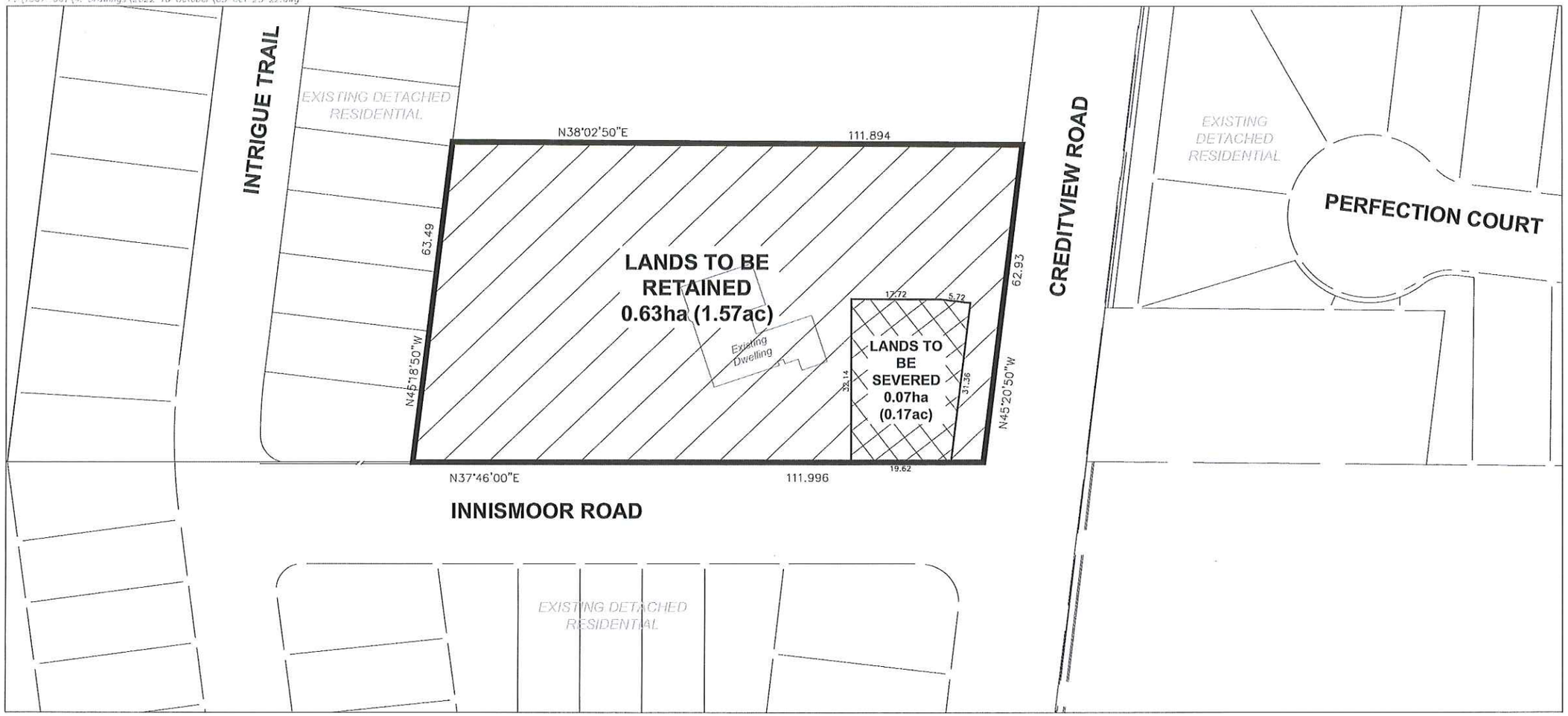
Yours very truly,

**GLEN SCHNARR & ASSOCIATES INC.**



**Colin Chung** MCIP, RPP
**Managing Partner**

P:\1367-001\4. Drawings\2022 10 October\CS Oct 25 22.dwg

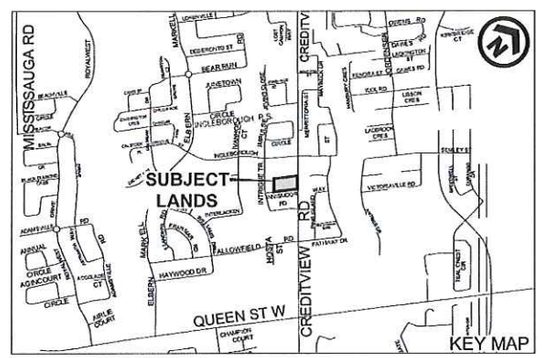



## CONSENT SKETCH
## MR. TEJINDER SINGH

9224 CREDITVIEW ROAD,
PART OF LOT 7,
CONCESSION 4, W.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

CONSENT STATISTICS

| | |
|---|---|
| LANDS TO BE SEVERED: | 0.07ha (0.17ac) |
| LANDS TO BE RETAINED: | 0.63ha (1.57ac) |
| **TOTAL:** | **0.70ha (1.74ac)** |




SCALE 1:750
OCTOBER 25, 2022

GSAI
Glen Schnarr & Associates Inc.

GLEN SCHNARR & ASSOCIATES INC.
URBAN & REGIONAL PLANNERS, LAND DEVELOPMENT CONSULTANTS

PARTNERS:
GLEN SCHNARR, MCIP, RPP
GLEN BROLL, MCIP, RPP
COLIN CHUNG, MCIP, RPP
JIM LEVAC, MCIP, RPP

September 23rd, 2022

Our File: 1367-001

B-2022-0013 AND A-2022-0319

City of Brampton
Committee of Adjustment
2 Wellington Street
Brampton, ON
L5B 3C1

**Attention:** **Jeanie Myers**
Secretary-Treasurer, Committee of Adjustment

**Re:** **Consent to Sever and Minor Variance Applications**
9224 Creditview Road
Part of Lot 7, Concession 4 WHS
13172589 Canada Inc. (c/o Tejinder Singh)
OZS-2022-0013
City of Brampton, Regional Municipality of Peel

---

Glen Schnarr & Associates Inc. (GSAI) is pleased to submit this Consent to Sever and Minor Variance Applications with regard the lands municipally addressed as 9224 Creditview Road (herein referred to as the "Subject Land") on behalf of our client, 13172589 Canada Inc. (c/o Tejinder Singh) (herein referred to as the "Owner").

The Subject Land is bound by Creditview Road to the east, Innismore Road to south, existing residential to the west and north. The Subject Land is approximately 0.7 hectares (1.74 acres) in size with a frontage of 62.93 metres (206 feet) along Creditview Road and a frontage of 111.99 metres (367 feet) along Innismoor Road. The Subject Land has an existing two-storey house and are legal described is as follows:

PT LT 7 CON 4 WHS CHINGUACOUSY DES PT 4 PL 43R-30530; BRAMPTON.

10 KINGSBRIDGE GARDEN CIRCLE
SUITE 700
MISSISSAUGA, ONTARIO
L5R 3K6
TEL (905) 568-8888
FAX (905) 568-8894
www.gsai.ca

**Background**

The Subject Land is one of two properties that is subject to Draft Plan of Subdivision and Zoning By-Law Amendment under the *City File Number: OZS-2022*-0013 being processed by the City to facilitate the creation of twenty-three (23) new single detached residential dwellings (herein referred to as the "Proposed Development").

The Proposed Development is intended to develop the Subject Land and the lot to the north of the Subject Land (9230 Creditview Road) by ultimately demolishing the two (2) existing residential dwellings and constructing twenty-three (23) new residential dwellings as shown in the Draft Plan of Subdivision included with this application. The Subject Land is one of four (4) single detached dwelling lots proposed along Innismoor Road and is labelled as 'Lot 1' on the attached Draft Plan of Subdivision.

We have been diligently working with City staff to advance the Draft Plan of Subdivision and Zoning By-law applications and these applications are at the stage of resolving all technical and planning issues. We anticipate Draft Plan approval and Zoning By-law enactment in early 2023 with the registration of the subdivision in 2024.

While the typical process for the creation of these single detached dwelling lots is through the registration of the subdivision, the two owners who are together advancing the Draft Plan of Subdivision have a private agreement and our client (Tejinder Singh) is obligated to deliver Lot 1 to enable the owner of 9224 Creditview Road to vacate his current home on the Subject Land and to build a new home by May 24, 2023. The purpose of this private agreement is to enable the current house on 9224 Creditview Road to be demolished to facilitate the subdivision development without the hardship of the owner on 9224 Creditview Road to vacate and move elsewhere temporarily. By allowing Lot 1 to be created and the new house to be built, the owner of 9224 Creditview Road can build his new home and move into Lot 1 while the rest of the subdivision is graded, serviced and houses constructed.

It is unrealistic to create Lot 1 through the Draft Plan of Subdivision registration since even after Draft Plan Approval, at least 12-18 months is needed to clear the necessary conditions of Draft Plan Approval to register Lot 1.

As such, we are pursuing the Consent to Sever and Minor Variance Applications to facilitate the creation of 'Lot 1' by May 2023. This strategy for creating 'Lot 1' through a consent application has been discussed through various email and phone communications as well as one meeting with the relevant City Planning staff.

**Planning Approvals**

A Draft Plan of Subdivision and Zoning By-law Amendment application has previously been submitted on January 27, 2022 with a complete resubmission submitted in September 2022. Based on the initial circulation comments from the City and agencies, Lot 1 to be created through the Draft Plan of Subdivision process is identical to Lot 1 proposed to be created through the Consent Application process.

The Proposed Development will continue to go through the Zoning By-law Amendment and Draft Plan of Subdivision process for the creation of the remaining proposed twenty-two (22) single detached residential dwelling lots. The lands to be severed will consist of 0.07 hectares (0.17 acres) while the lands to be retained will consist of 0.63 hectares (1.57 acres). Attached for reference is an excerpt of the lot dimensions and potential setbacks that will meet the proposed Zoning By-law for the Draft Plan of Subdivision proposal.

**Submission Deliverables**

In support of the Consent application, please find enclosed the following:

- One (1) copy of the Draft Plan of Subdivision prepared by Glen Schnarr and Associates Inc., dated September 2022;
- One (1) copy of the Lot 1 house citing concept prepared by Glen Schnarr and Associates Inc., dated September 2022;
- One (1) copy of the City of Brampton Consent to Sever and Minor Variance Application Forms; and
- One (1) copy of a Consent Sketch, prepared by Glen Schnarr and Associates Inc., dated September 20th, 2022.

We trust that the enclosed material is sufficient in satisfying the requirements for an application for Consent. Please do not hesitate to contact the undersigned at 416-459-2424 or colinc@gsai.ca if you have any questions related to the request.

Yours very truly,

**GLEN SCHNARR & ASSOCIATES INC.**

**Colin Chung, RPP MCIP**
**Managing Partner**

*CC: Madeleine Nelson and Hayley So*

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**APPLICATION NUMBER:** "B"-2022-0013

*The personal Information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
## Consent
(Please read Instructions)

**NOTE:** Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

**1. (a) Name of Owner/Applicant** 13172589 Canada Inc. (c/o Tejinder Singh)
(print given and family names in full)

**Address** 9224 Creditview Rd. Brampton, Ontario, L6X ~~0W9~~ 0E3

**Phone #** _____ **Fax #** _____

**Email** tejinder@rogers.com

**(b) Name of Authorized Agent** Glen Schnarr & Associates Inc. (c/o Colin Chung)

**Address** 700 - 10 Kingsbridge Garden Circle, Mississauga, ON L5R 3K6

**Phone #** 416-459-2424 **Fax #** _____

**Email** colinc@gsai.ca

**2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.**

**Specify:** creating a new lot by severing the existing lot.

**3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.**

Tony Brunner

**4. Description of the subject land ("subject land" means the land to be severed and retained):**

**a) Name of Street** Creditview Road **Number** 9224

**b) Concession No.** 4 WHS **Lot(s)** 7

**c) Registered Plan No.** 43R-30530 **Lot(s)** _____

**d) Reference Plan No.** _____ **Lot(s)** _____

**e) Assessment Roll No.** 211008001113510 **Geographic or Former Township** CHINGUACOUSY

**5. Are there any easements or restrictive covenants affecting the subject land?**

**Yes** ☐ **No** ☑

**Specify:** _____

6. **Description of severed land: (in metric units)**

a) **Frontage** 20.16 **Depth** 3214 **Area** 0.07 ha (0.17 ac)

b) **Existing Use** Residential **Proposed Use** Residential

c) **Number and use of buildings and structures (both existing and proposed) on the land to be severed:**

**(existing)** None (0)

**(proposed** One (1) single detached residential dwelling

| d) Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☑ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) **If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?**

| f) Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water systen | ☑ | ☑ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |

**Other (specify):**

| g) Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☑ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |

**Other (specify):**

7. **Description of retained land: (in metric units)**

a) **Frontage** 62.93 **Depth** 111.89 **Area** 0.63 ha (1.57 ac)

b) **Existing Use** Residental **Proposed Use** Residential

c) **Number and use of buildings and structures (both existing and proposed) on the land to be retained:**

**(existing)** One (1) single detached residential dwelling

**(proposed** None (0)

| d) Access will be by: | Existing | Proposed |
|---|---|---|
| Provincial Highway | ☐ | ☐ |
| Municipal Road - Maintained all year | ☑ | ☑ |
| Other Public Road | ☐ | ☐ |
| Regional Road | ☐ | ☐ |
| Seasonal Road | ☐ | ☐ |
| Private Right of Way | ☐ | ☐ |

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

_____

| f) Water supply will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated water systen | ☑ | ☑ |
| Lake or other body of water | ☐ | ☐ |
| Privately owned and operated individual or communal well | ☐ | ☐ |

Other (specify): _____

| g) Sewage disposal will be by: | Existing | Proposed |
|---|---|---|
| Publicly owned and operated sanitary sewer system | ☑ | ☑ |
| Privy | ☐ | ☐ |
| Privately owned and operated individual or communal septic system | ☐ | ☐ |

Other (specify): _____

8. What is the current designation of the land in any applicable zoning by-law and official plan?

| | Land to be Severed | Land to be Retained |
|---|---|---|
| Zoning By-Law | Agricultural ('A') | Agricultural ('A') |
| Official Plans | | |
| City of Brampton | Residential | Residential |
| Region of Peel | Urban System | Urban System |

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☑ No ☐

File # OZS-2022-0013 Status/Decision In Review

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☑

Date of Transfer _____ Land Use _____

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

| | File Number | Status |
|---|---|---|
| Official Plan Amendment | OZS-2022-0013 | In Review |
| Zoning By-law Amendment | OZS-2022-0013 | In Review |
| Minister's Zoning Order | | |
| Minor Variance | A-2022-0319 | CONCURRENT |
| Validation of the Title | | |
| Approval of Power and Sale | | |
| Plan of Subdivision | OZS-2022-0013 | In Review |

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act?* Yes ☑ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan? Yes ☑ No ☐

14. If the answer is yes, does the application conform to the applicable Provincial Plan? Yes ☑ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the _____ of _____

this _____ day of _____, 20____.

Check box if applicable:

_____
Signature of Applicant, or Authorized Agent, see note on next page

☐ I have the authority to bind the Corporation

## DECLARATION

I, Colin Chung of the City of Burlington

in the County/District/Regional Municipality of Halton solemnly declare that all the statements contained in t

application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Mississauga

in the Region of Peel

this 26th day of September, 2022.

_____
Signature of applicant/solicitor/authorized agent, etc.

Submit by Email

_____
Signature of a Commissioner, etc.

Laura Kim Amorim, a Commissioner, etc.
Province of Ontario, for
Glen Schnarr & Associates Inc.
Expires March 3, 2023.

**FOR OFFICE USE ONLY** - To Be Completed By the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

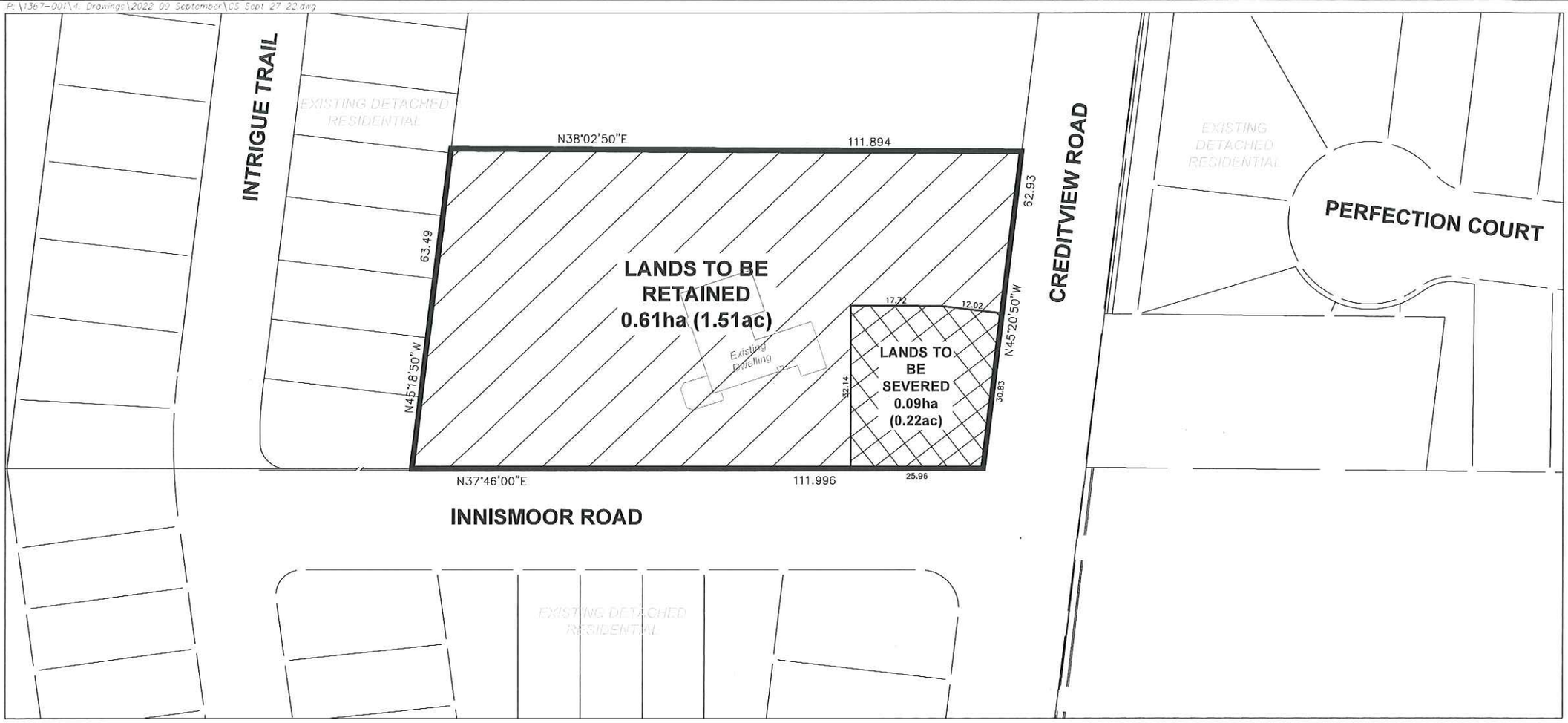
_____
Zoning Officer

September 27.22
Date

DATE RECEIVED September 27, 2022

Date Application Deemed Complete by the Municipality _____

P:\1367-001\4. Drawings\2022 09 September\CS Sept 27 22.dwg

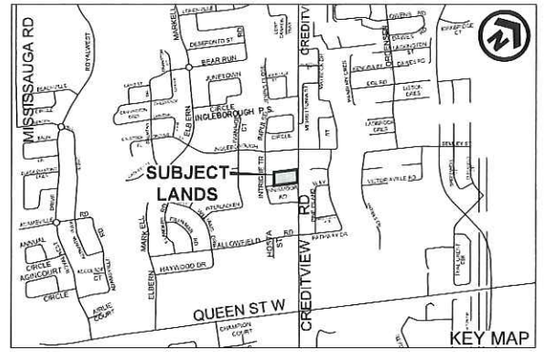



## CONSENT SKETCH
## MR. TEJINDER SINGH

9224 CREDITVIEW ROAD,
PART OF LOT 7,
CONCESSION 4, W.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

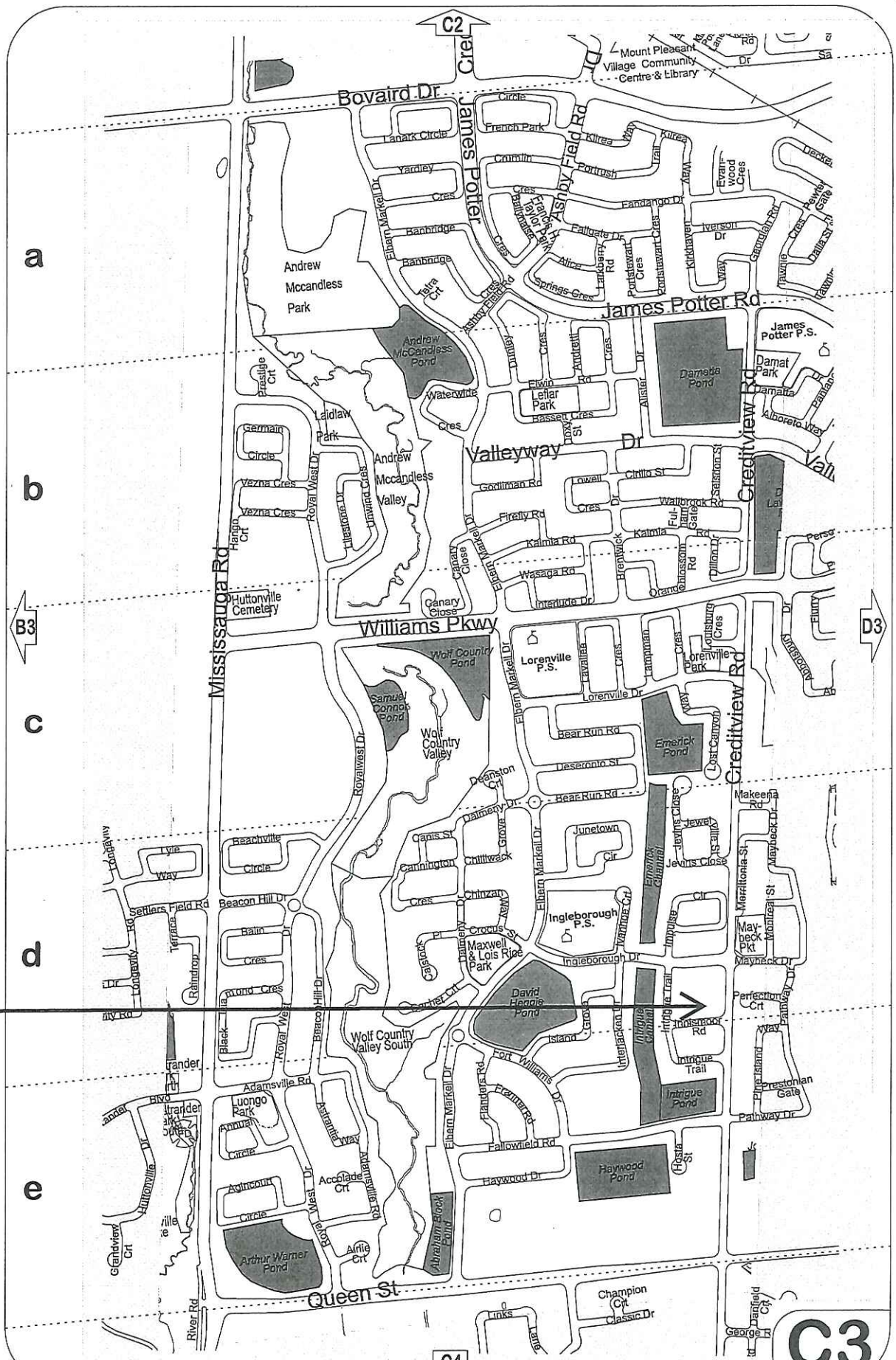
CONSENT STATISTICS

| | |
|---|---|
| LANDS TO BE SEVERED: | 0.09ha (0.22ac) |
| LANDS TO BE RETAINED: | 0.61ha (1.51ac) |
| **TOTAL AREA:** | **0.70ha (1.73ac)** |




SCALE 1:750
SEPTEMBER 27, 2022

GSAI
Glen Schnarr & Associates Inc.


C2
C4
B3
D3
a
b
c
d
e
Bovaird Dr
James Potter Rd
Mississauga Rd
Creditview Rd
Williams Pkwy
Valleyway Dr
Queen St
Ashby Field Rd
Elbern Markell Dr
Royalwest Dr
Andrew Mccandless Park
Andrew McCandless Pond
Andrew Mccandless Valley
Laidlaw Park
Lellar Park
Damatta Park
Damatta Pond
James Potter P.S.
Huttonville Cemetery
Wolf Country Pond
Wolf Country Valley
Samuel Connor Pond
Lorenville P.S.
Lorenville Park
Emerick Pond
Ingleborough P.S.
Maxwell & Lois Rice Park
David Heaps Pond
Wolf Country Valley South
Intrigue Pond
Haywood Pond
Luongo Park
Arthur Warner Pond
Abraham Flock Pond
Mount Pleasant Village Community Centre & Library
B-2022-0013
A-2022-0319
C3

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0351***
**WARD 9**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **ARSHPREET MALHI AND RAJDEEP SINGH (SANDHU)** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 96, Plan 43M-1204 municipally known as **9 DANDELION ROAD,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;

2. To permit an interior side yard setback of 0.0m to an exterior stairway leading to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);

3. To permit an accessory structure (storage shed) having a 0.0m setback to the side and rear property lines whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest property lines for an accessory structure.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  File Number: _____
Application for Consent: NO  File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

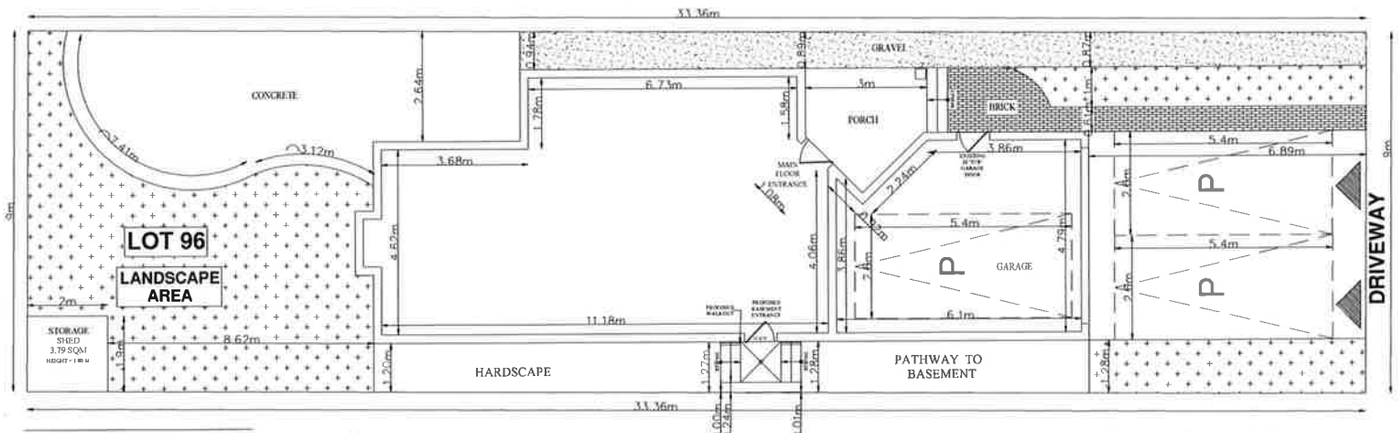
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




# SITE PLAN

**SCALE 1/8"=1'-0"**

## 9 DANDELION ROAD

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDEN.
ANY REPRODUCTIONS MUST BE AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

MINOR VARIANCE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C-3.2.5.1 OF THE BUILDING CODE

| NAME | SIGNATURE | BCIN |
|---|---|---|
| SHIVANG TARIKA | SHIVANG TARIKA | 10640 |

| NO | REVISION / ISSUE | DATE |
|---|---|---|
| | | |
| | | |
| | | |

SITE PLAN

CITY : BRAMPTON

9 DANDELION ROAD

EXISTING DWELLING

| PROJECT | SHEET |
|---|---|
| OCT 2022 | A1 |
| SCALE 1/8"=1'-0" | |

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0351

***The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.***

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** Rajdeepsandhu , Arshpreetkaur Malhi
   **Address** 9 Dandelion Rd, Brampton, ON L6R 1X3
   **Phone #** 647-988-4599 ,647-296-4599 **Fax #**
   **Email** rajdeepsandhu1522@gmail.com, arshpreetkaurmalhi2015@gmail.com

2. **Name of Agent** Shivang Tarika
   **Address** 106 Morningside Dr, Norval, ON L7G0M2
   **Phone #** 416-821-2630 **Fax #**
   **Email** shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**

A. To Propose an exterior stairway leading to a below grade entrance in the required interior side yard.
B. Proposed Interior Yard Setback is 0.0m to the below Grade Stairway and the required is 1.21m.
C. To Propose an accessory building having 0 metres to the rear, and 0 metres the side property line whereas the by-law requires 0.6 metres.

4. **Why is it not possible to comply with the provisions of the by-law?**

The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide a second dwelling unit the entrance has to be below the grade which is not possible on rear yard and the other side of the property due to insufficient space and privacy reason. So the only space where owner can construct the entrance is the side of the property. The entrance is designed in such a way that it doesn't block the passage to

5. **Legal Description of the subject land:**
   **Lot Number** 96
   **Plan Number/Concession Number** 43R-22150
   **Municipal Address** 9 Dandelion Rd, Brampton, ON L6R 1X3

6. **Dimension of subject land (in metric units)**
   **Frontage** 9.00m
   **Depth** 33.36m
   **Area** 300.23 sq meter

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area = 110.17Sq Meter
Gross Floor Area= 219.57Sq Meter
No. of Storeys = 2 storeys
Width = 6.81 Meter
Length= 17.88 Meter

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Ground Floor Area = 110.17Sq Meter
Gross Floor Area= 219.57Sq Meter
No. of Storeys = 2 storeys
Width = 6.81 Meter
Length= 17.88 Meter

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 7.04m |
| **Rear yard setback** | 8.14m |
| **Side yard setback** | 0.89m |
| **Side yard setback** | 1.20 |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 7.04m |
| **Rear yard setback** | 8.14m |
| **Side yard setback** | 0.89m |
| **Side yard setback** | 0.00m |

10. **Date of Acquisition of subject land:** 2022

11. **Existing uses of subject property:** Single Unit Dwelling

12. **Proposed uses of subject property:** Two Unit Dwelling

13. **Existing uses of abutting properties:** Residential

14. **Date of construction of all buildings & structures on subject land:** 2015

15. **Length of time the existing uses of the subject property have been continued:** 7 years

16. (a) **What water supply is existing/proposed?**
**Municipal** ☑ **Other (specify)** _____
**Well** ☐

(b) **What sewage disposal is/will be provided?**
**Municipal** ☑ **Other (specify)** _____
**Septic** ☐

(c ) **What storm drainage system is existing/proposed?**
**Sewers** ☑
**Ditches** ☐ **Other (specify)** _____
**Swales** ☐

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☑ **Unknown** ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

Shivang Tarika
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 25 DAY OF October, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Shivang Tarika, OF THE Town OF Halton Hills

IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 25TH DAY OF
October, 2022

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J.M.

Shivang Tarika
Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** R1D section 807

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

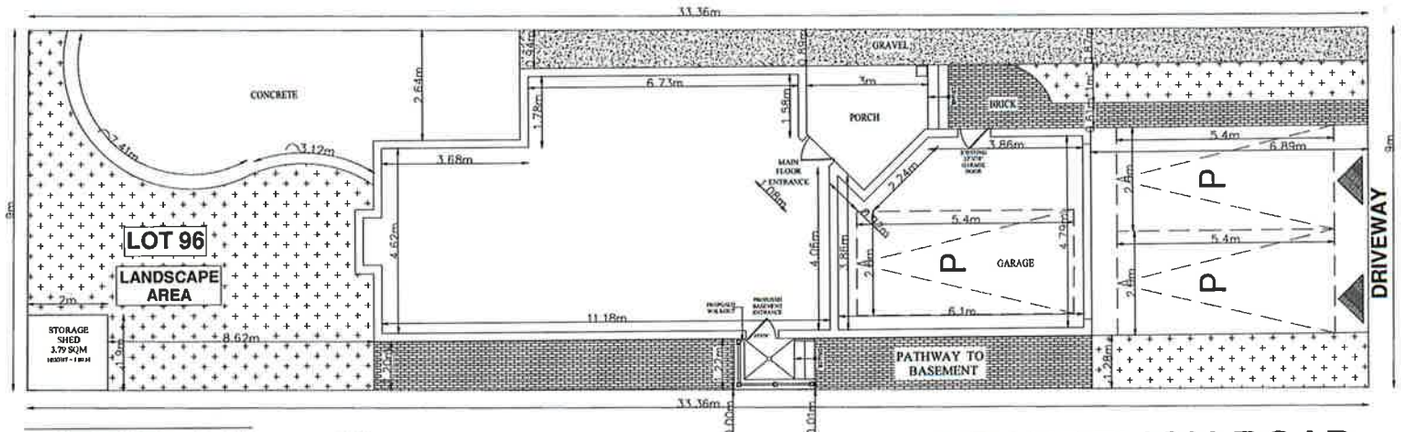
Rose Bruno
Zoning Officer

October 13, 2022
Date

**DATE RECEIVED** October 25, 2022

**Date Application Deemed Complete by the Municipality** _____

Revised 2020/01/07




# SITE PLAN

## SCALE 1/8"=1'-0"

# 9 DANDELION ROAD

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDEN.
ANY REPRODUCTIONS MUST BE AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

MINOR VARIANCE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C-3.2.5.1 OF THE BUILDING CODE

| SHIVANG TARIKA | | 106440 |
|---|---|---|
| NAME | SIGNATURE | BCIN |

SHIVANG TARIKA

| NO | REVISION / ISSUE | DATE |
|---|---|---|
| | | |
| | | |

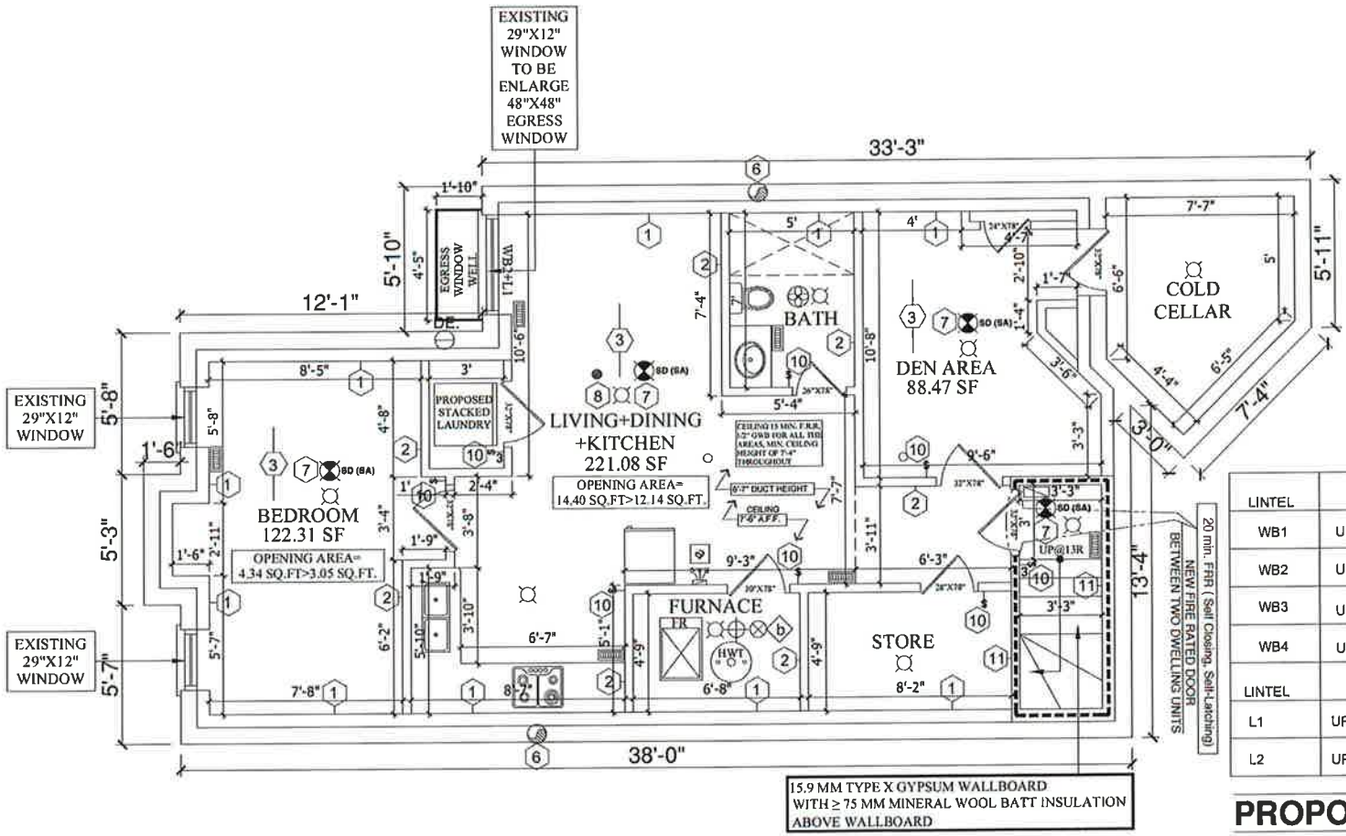
SITE PLAN

CITY : BRAMPTON

9 DANDELION ROAD

EXISTING DWELLING

| PROJECT | SHEET |
|---|---|
| OCT 2022 | A1 |
| SCALE 1/8"=1'-0" | |




| LINTEL | OPENINGS | SIZE |
|---|---|---|
| WB1 | UPTO 42" OPENINGS | 2-2"X6" |
| WB2 | UPTO 66" OPENINGS | 2-2"X8" |
| WB3 | UPTO 78" OPENINGS | 3-2"X10" |
| WB4 | UPTO 90" OPENINGS | 3-2"X12" |

| LINTEL | OPENINGS | SIZE |
|---|---|---|
| L1 | UPTO 54" OPENINGS | L 3.5" X 3.5" X 0.3125" |
| L2 | UPTO 66" OPENINGS | L 4.0" X 3.5" X 0.3125" |

## PROPOSED BASEMENT

**SCALE 1/8"=1'-0"**

GROSS FLOOR AREA =851.99 SFT / 79.15 SM

BASEMENT DRAWING IS FOR REFERENCE ONLY

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDEN.
ANY REPRODUCTIONS MUST BE AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

PROPOSAL TO CONSTRUCT SECONDARY UNIT AND BELOW GRADE ENTRANCE FROM SIDE YARD

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV.C-3.2.5.1 OF THE BUILDING CODE

| NAME | SIGNATURE | BCIN |
|---|---|---|
| SHIVANG TARIKA | SHIVANG TARIKA | 106440 |

| NO | REVISION / ISSUE | DATE |
|---|---|---|
| | | |

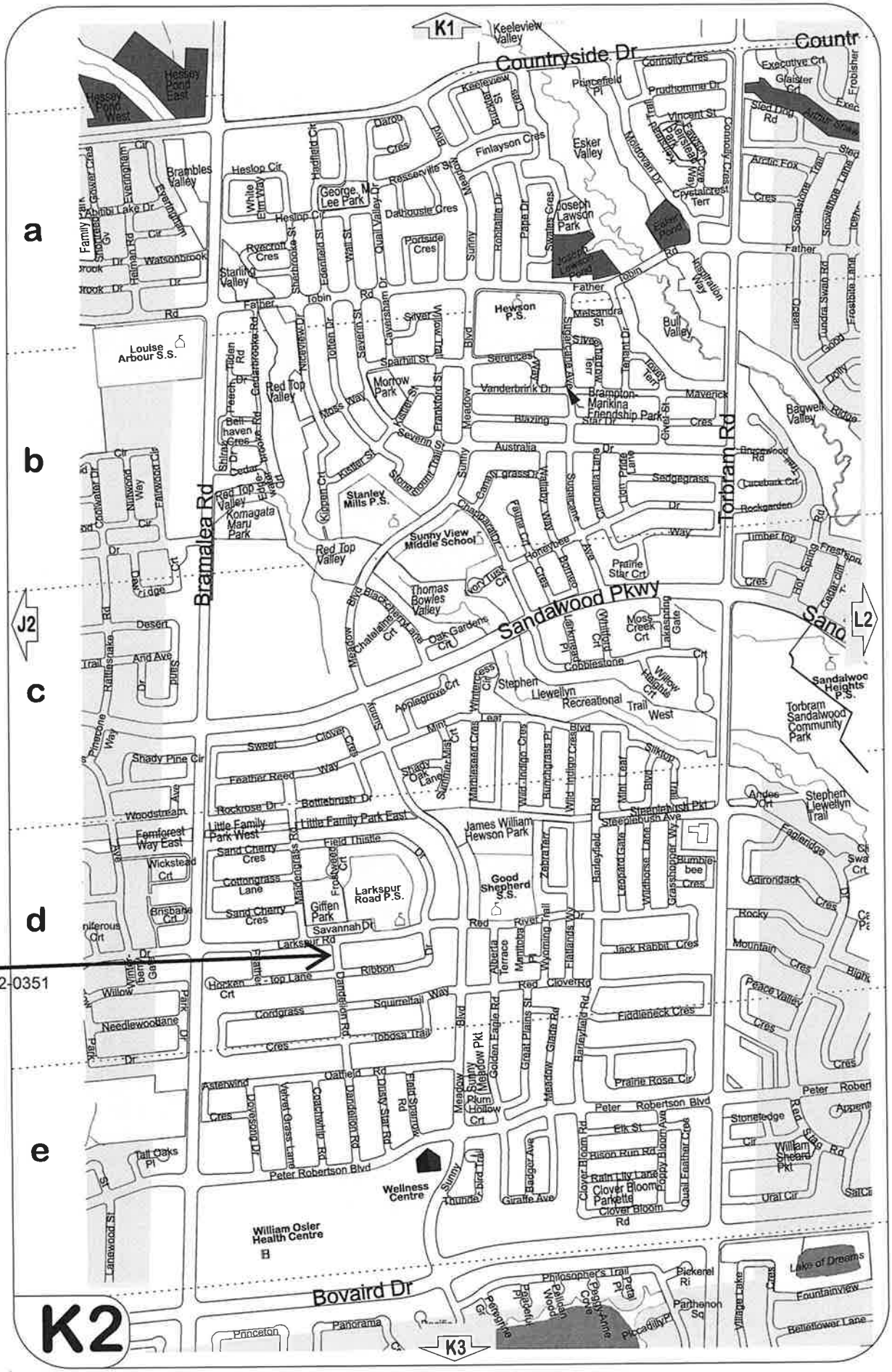
BASEMENT PLAN

CITY : BRAMPTON

9 DANDELION ROAD

EXISTING DWELLING

| PROJECT | SHEET |
|---|---|
| OCT 2022 | A2 |
| SCALE 3/16"=1'-0" | |



K1
K2
K3
J2
L2
a
b
c
d
e
A-2022-0351
Countryside Dr
Bramalea Rd
Torbram Rd
Sandalwood Pkwy
Bovaird Dr
Hessey Pond East
Hessey Pond West
Keeleview Valley
Esker Valley
Joseph Lawson Park
Joseph Lawson Pond
Hewson P.S.
Bull Valley
Louise Arbour S.S.
Red Top Valley
Morrow Park
Brampton-Marikina Friendship Park
Stanley Mills P.S.
Sunny View Middle School
Thomas Bowles Valley
Komagata Maru Park
Bagwell Valley
Sandalwood Heights P.S.
Torbram Sandalwood Community Park
Stephen Llewellyn Recreational Trail West
Stephen Llewellyn Trail
James William Hewson Park
Good Shepherd S.S.
Larkspur Road P.S.
Giffen Park
Little Family Park West
Little Family Park East
Femforest Way East
Wellness Centre
William Osler Health Centre
Lake of Dreams
Peter Robertson Blvd
Clover Bloom Parkette
Rain Lily Lane
Sunny Meadow Pkt
Steeplebush Pkt
Steeplebush Ave
Lake of Dreams

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0352***
**WARD 9**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **ADIL KHAN AND ANEELA KHAN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 110, Plan M-1222, Parts 66, 67, Plan 43R-22487 municipally known as **55 VELVET GRASS LANE,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a second unit in a quattroplex whereas the by-law does not permit a second unit in a quattroplex;

2. To permit a driveway width of 7.70m (25.26 ft.) whereas the by-law permits a maximum driveway width of 5.5m (18 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

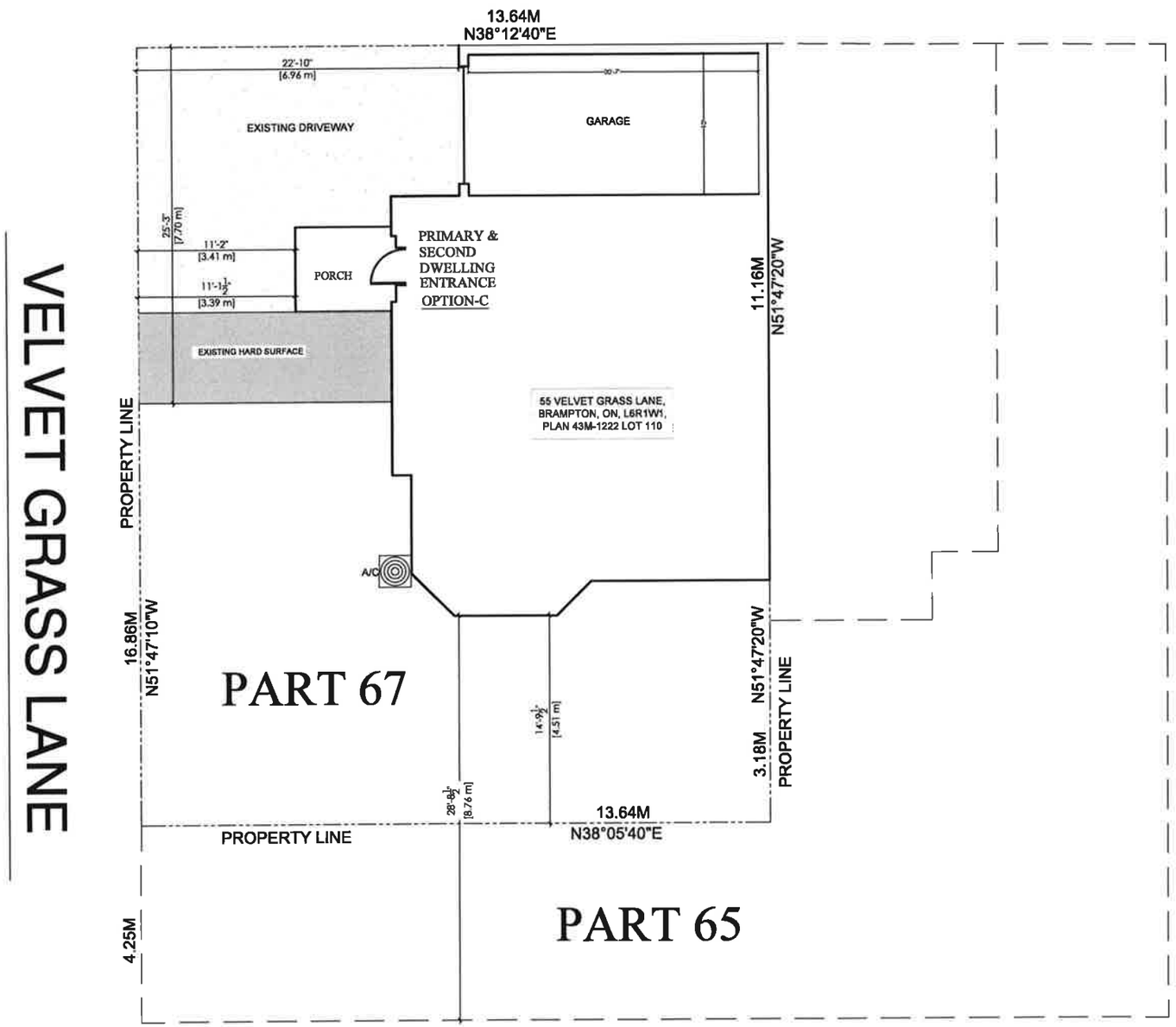
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




General Notes

* CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
* ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
* THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.
* DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

REVISION

| NO | DATE | DESCIPTION | BY |
|---|---|---|---|
| | | | |


Firm Name and Address

**MEM ENGINEERING INC**
2355 DERRY ROAD EAST
MISSISSAUGA, ON, L5S 1V6
416-558-6755
Email:harry@memengineering.ca


PROJECT TITLE:

55 VELVET GRASS LANE,
BRAMPTON, ON

SHEET TITLE:

SITE PLAN

CLIENT EMAIL:

CLIENT CONTACT:

| SCALE: | DRAWING NO.: |
|---|---|
| 1/8"-1'-0" | A100 |
| PLOT DATE: 24-10-2022 | |
| DRAWN BY: GG | |
| CHECKED BY: HS | |

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

**AMENDMENT LETTER**

November 23, 2022

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE**
**ADIL KHAN AND ANEELA KHAN**
**PART OF LOT 110, PLAN M-1222**
**PARTS 66, 67, PLAN 43R-22487**
**A-2022-0352 – 55 VELVET GRASS LANE**

---

Please **amend** application **A-2022-0352** to reflect the following:

1. To permit a second unit in a quattroplex whereas the by-law does not permit a second unit in a quattroplex;

2. To permit a driveway width of 7.70m (25.26 ft.) whereas the by-law permits a maximum driveway width of 5.5m (18 ft.).

Harjinder Singh
Applicant/Authorized Agent

2022-10-24 COVERING LETTER

To
The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

A-2022-0352

Subject: Minor Variance application for 55 Velvet Grass Lane., Brampton, ON L6R 1W1

Sir/ Madam,

Trust this letter finds you well. Please accept our minor variance application for a client at 55 Velvet Grass Lane, Brampton, ON L6R 1W1

We have a proposal for second unit dwelling in a quattroplex dwelling.

So, we request you to kindly consider our application.

We appreciate your cooperation in this matter.

Thank You

Harjinder Singh

Harjinder Singh

*P Eng. PMP, CET, RCJI*

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2022-0352

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

## APPLICATION
## Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** ADIL KHAN and ANEELA KHAN
   **Address** 55 VELVET GRASS LANE, BRAMPTON L6R1W1
   **Phone #** 647-739-6105 **Fax #**
   **Email** 365ADIL@GMAIL.COM

2. **Name of Agent** HARJINDER SINGH / MEM ENGINEERING INC.
   **Address** UNIT -28, 2355 DERRY ROAD EAST, MISSISSAUGA, ON, L5S1V6
   **Phone #** 905-517-6755 **Fax #**
   **Email** MEM.PENG@OUTLOOK.COM

3. **Nature and extent of relief applied for (variances requested):**

   To permit second unit in basement in a quattroplex dwelling

4. **Why is it not possible to comply with the provisions of the by-law?**

   Zoning By law does not permit two unit dwelling in a quattroplex dwelling.

5. **Legal Description of the subject land:**
   **Lot Number** 110 RP 43R22487 PARTS 66,67
   **Plan Number/Concession Number** M1222
   **Municipal Address** 55 VELVET GRASS LANE, BRAMPTON L6R1W1

6. **Dimension of subject land (in metric units)**
   **Frontage** 16.86 m
   **Depth** 13.64 m
   **Area** 229.82 m2

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

TWO STOREY QUATTROPLEX DWELLING
SINGLE FAMILY DWELLING
GFA - 143.81 M2
HEIGHT OF PROPERTY - 8.5 M , LENGTH - 12.35 M , WIDTH-10.23M

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

TWO UNIT DWELLING

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| Front yard setback | 3.39 m |
| Rear yard setback | |
| Side yard setback | 4.51 m |
| Side yard setback | |

**PROPOSED**

| | |
|---|---|
| Front yard setback | 3.39 m |
| Rear yard setback | |
| Side yard setback | 4.51 m |
| Side yard setback | |

10. **Date of Acquisition of subject land:** 2014

11. **Existing uses of subject property:** SINGLE FAMILY DWELLING

12. **Proposed uses of subject property:** TWO UNIT DWELLING

13. **Existing uses of abutting properties:** RESIDENTIAL

14. **Date of construction of all buildings & structures on subject land:** 1990

15. **Length of time the existing uses of the subject property have been continued:** 32 years

16. (a) **What water supply is existing/proposed?**
- ☑ Municipal
- ☐ Well
- Other (specify) _____

(b) **What sewage disposal is/will be provided?**
- ☑ Municipal
- ☐ Septic
- Other (specify) _____

(c ) **What storm drainage system is existing/proposed?**
- ☑ Sewers
- ☐ Ditches
- ☐ Swales
- Other (specify) _____

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

Yes ☐ No ☐

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

Yes ☐ No ☐

19. **Has the subject property ever been the subject of an application for minor variance?**

Yes ☐ No ☐ Unknown ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

Harjinder Singh
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF MISSISSAUGA

THIS 24 DAY OF October, 20 22.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, GURWINDER SINGH GREWAL OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 27th DAY OF
October, 20 22

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

J.M.

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** R2B - SECTION 738

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

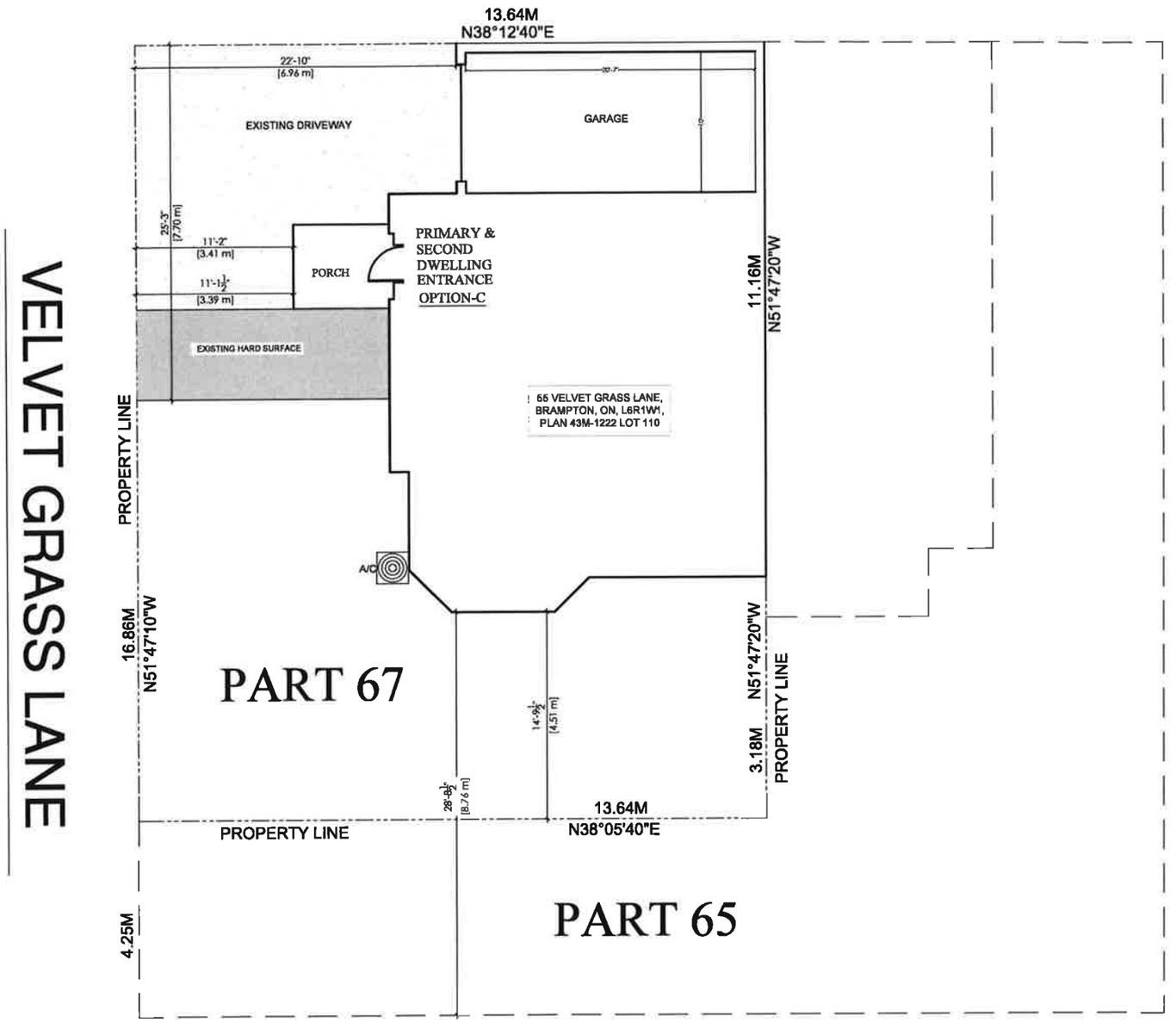
J.Chau
Zoning Officer

Oct 31, 2022
Date

**DATE RECEIVED** October 27, 2022

**Date Application Deemed Complete by the Municipality** _____

Revised 2022/02/17




**General Notes**

* CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
* ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
* THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.
* DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

| REVISION NO | DATE | DESCIPTION | BY |
|---|---|---|---|
| | | | |


Firm Name and Address
**MEM ENGINEERING INC**
2355 DERRY ROAD EAST
MISSISSAUGA, ON, L5S 1V6
416-558-5755
Email:harry@memengineering.ca

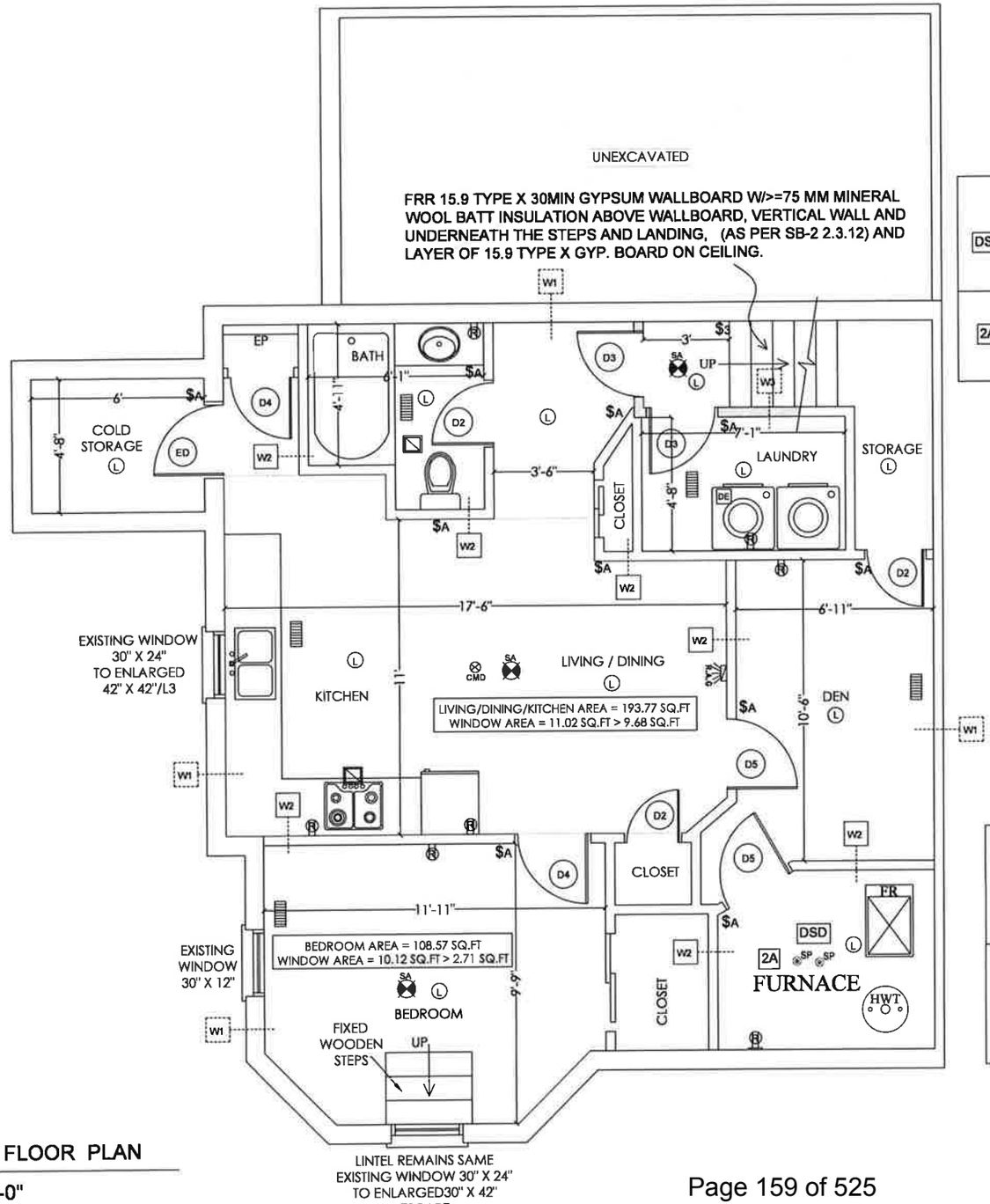

PROJECT TITLE:
55 VELVET GRASS LANE,
BRAMPTON, ON

SHEET TITLE:
**SITE PLAN**

CLIENT EMAIL:

CLIENT CONTACT:

| SCALE: | DRAWING NO.: |
|---|---|
| 1/8"-1'-0" | A100 |
| PLOT DATE: 24-10-2022 | |
| DRAWN BY: GG | |
| CHECKED BY: HS | |




| | |
|---|---|
| DSD | DUCT TYPE SMOKE DETECTOR PROVIDE INSTALLED IN THE SUPPLY OR RETURN OR RETURN AIR DUCT SYSTEM TO TURN OFF THE FUEL SUPPLY & ELECTICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION. |
| 2A | PROVIDE TWO SPRINKLER(NO FRR CEILING) (AS PER OBC PART 11 C152 & C153). PLEASE SEE ADDITIONAL REF. EXTRACTS FROM THE OBC & ONTARIO FIRE CODE. |

UNDERCUT ALL DOORS TO ROOMS WITHOUT R/A GRILLE BY 1" FOR BETTER AIR CIRCULATION.

| | |
|---|---|
| L3 | WOOD 2-2" X 8" ANGEL 3 ½" X 3 ½" X ¼" |

NOTE:-ALL STEEL COLUMNS AND BEAMS TO BE WRAPPED WITH 5/8" FRR GYP. BOARD.

CEILING 15 MIN. F.R.R, 1/2" GWB FOR ALL THE AREAS, MIN. CEILING HEIGHT OF 6'-5" THROUGHOUT.

## BASEMENT AREA

TENANT USE AREA = 53.34 SQ. M.

CLEAR CEILING HEIGHT = 7'-6"

**BASEMENT FLOOR PLAN**

SC: 1/4" - 1'-0"



General Notes

* CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
* ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
* THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.
* DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

REVISION

| NO | DATE | DESCIPTION | BY |
|---|---|---|---|
| | | | |

Firm Name and Address
MEM ENGINEERING INC
2355 DERRY ROAD EAST
MISSISSAUGA, ON, L5S 1V6
416-558-6755
Email:harry@memengineering.ca

PROJECT TITLE:
55 VELVET GRASS LANE, BRAMPTON, ON

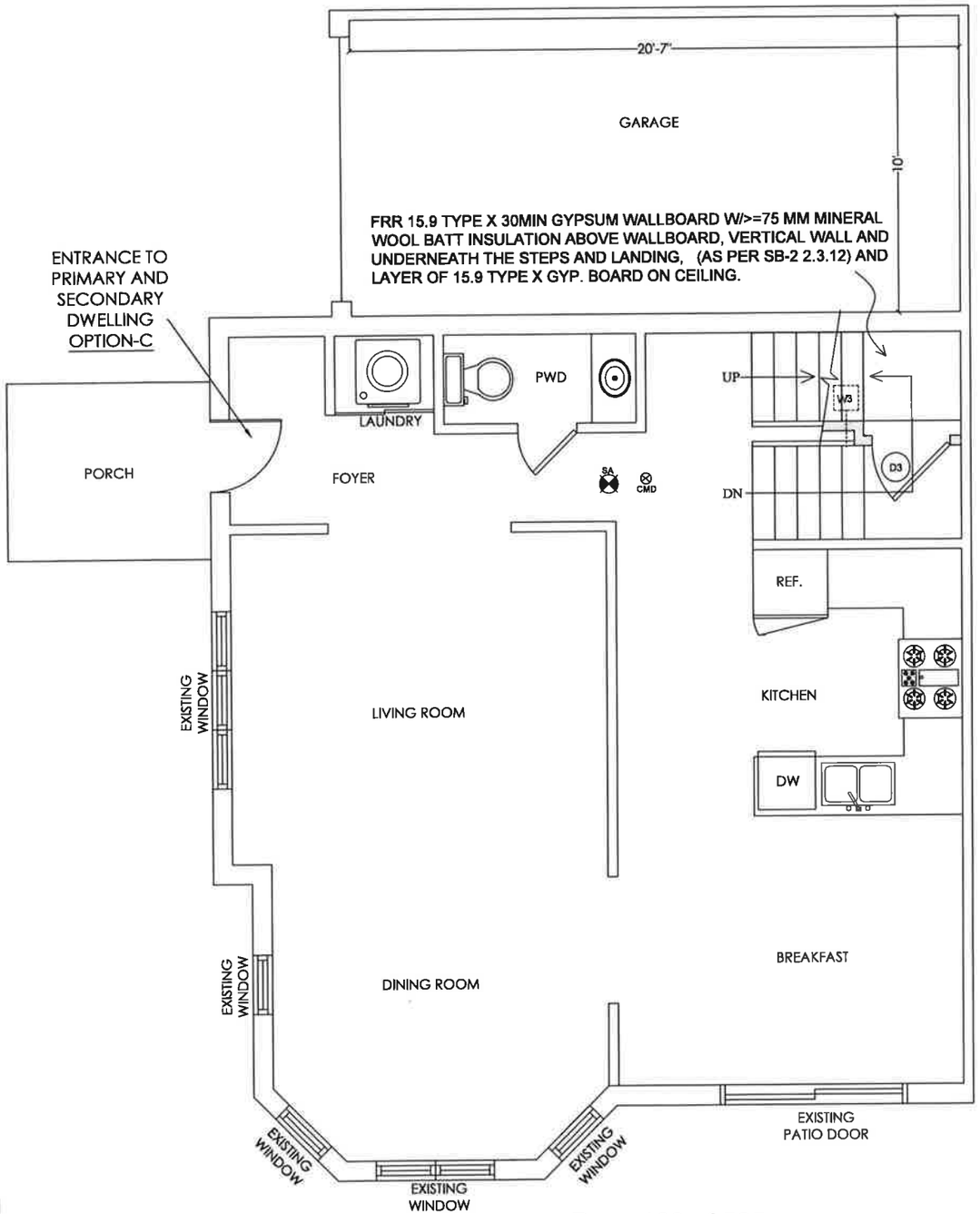
SHEET TITLE:
BASEMENT FLOOR PLAN

CLIENT EMAIL:

CLIENT CONTACT:

SCALE: 1/4"-1'-0"
PLOT DATE: 24-10-2022
DRAWN BY: GG
CHECKED BY: HS

DRAWING NO.: A101




MAIN FLOOR PLAN

SC: 1/4" - 1'-0"



General Notes

* CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
* ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
* THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.
* DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

| REVISION NO. | DATE | DESCIPTION | BY |
|---|---|---|---|
| | | | |

Firm Name and Address
**MEM ENGINEERING INC**
2355 DERRY ROAD EAST
MISSISSAUGA, ON, L5S 1V6
416-558-6755
Email:harry@memengineering.ca

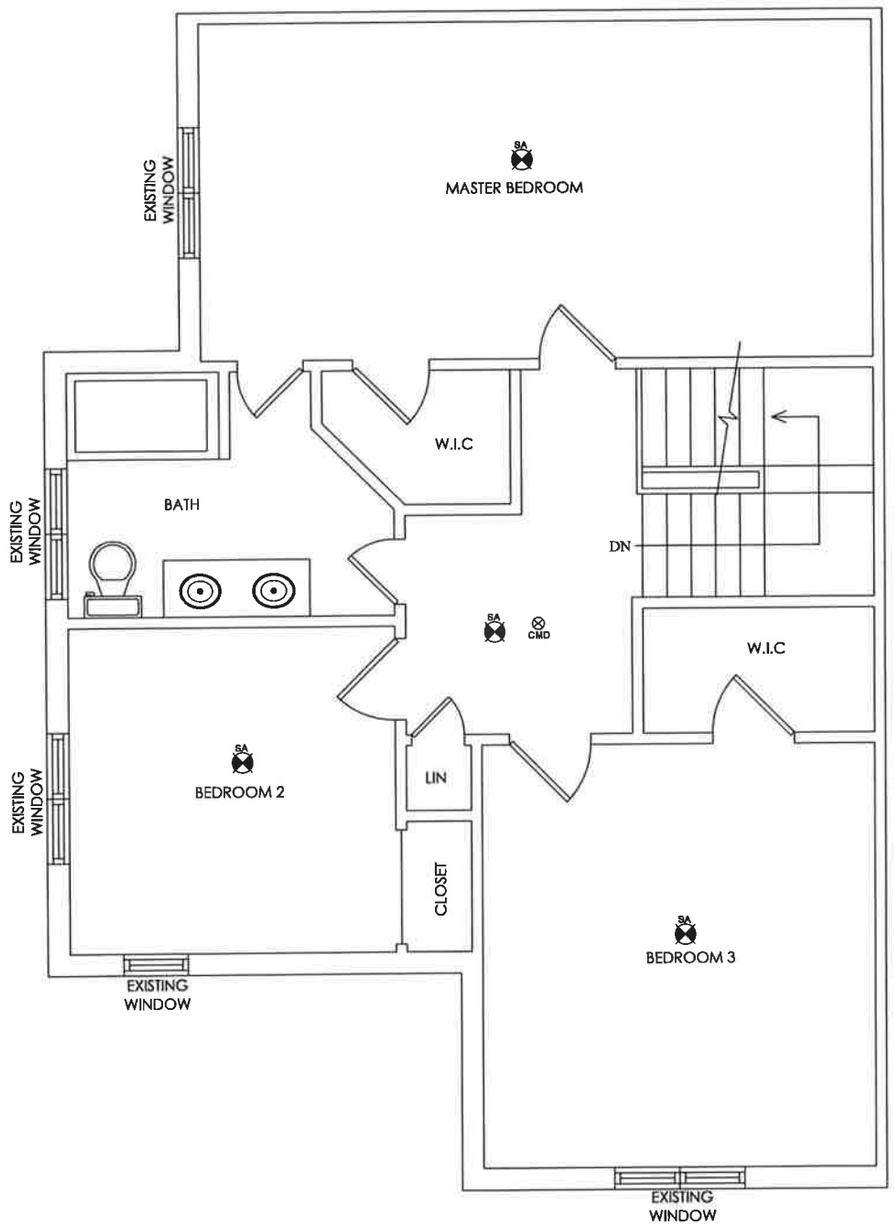
PROJECT TITLE:
55 VELVET GRASS LANE, BRAMPTON, ON

SHEET TITLE:
MAIN FLOOR PLAN

CLIENT EMAIL:

CLIENT CONTACT:

| SCALE: | DRAWING NO.: |
|---|---|
| 1/4"-1'-0" | A102 |
| PLOT DATE: 24-10-2022 | |
| DRAWN BY: GG | |
| CHECKED BY: HS | |




SECOND FLOOR PLAN

SC: 1/4" - 1'-0"



**General Notes**

* CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
* ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
* THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT.
* DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

| REVISION NO. | DATE | DESCIPTION | BY |
|---|---|---|---|
| | | | |

Firm Name and Address
**MEM ENGINEERING INC**
2355 DERRY ROAD EAST
MISSISSAUGA, ON, L5S 1V6
416-558-6755
Email:harry@memengineering.ca

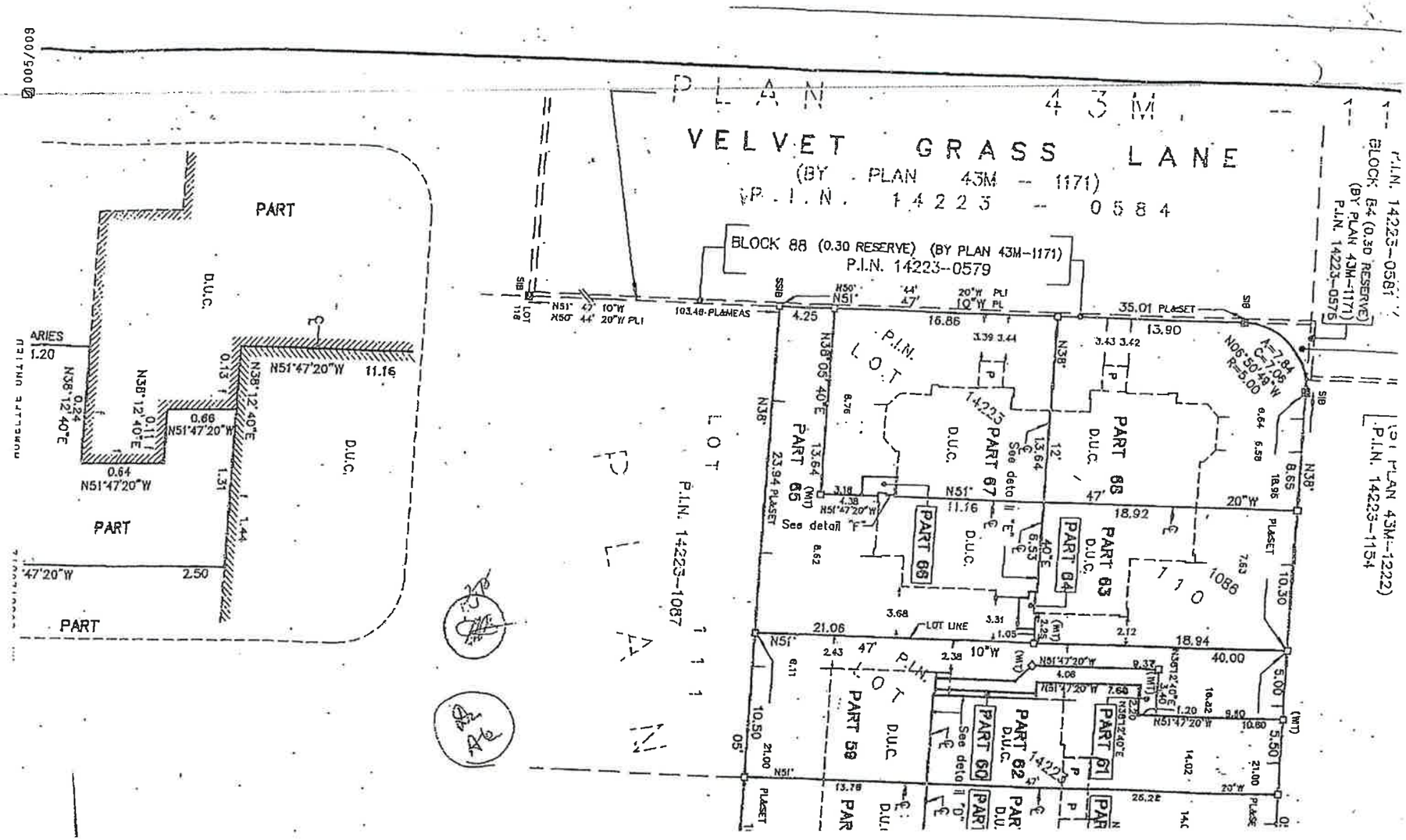
PROJECT TITLE:
55 VELVET GRASS LANE,
BRAMPTON, ON

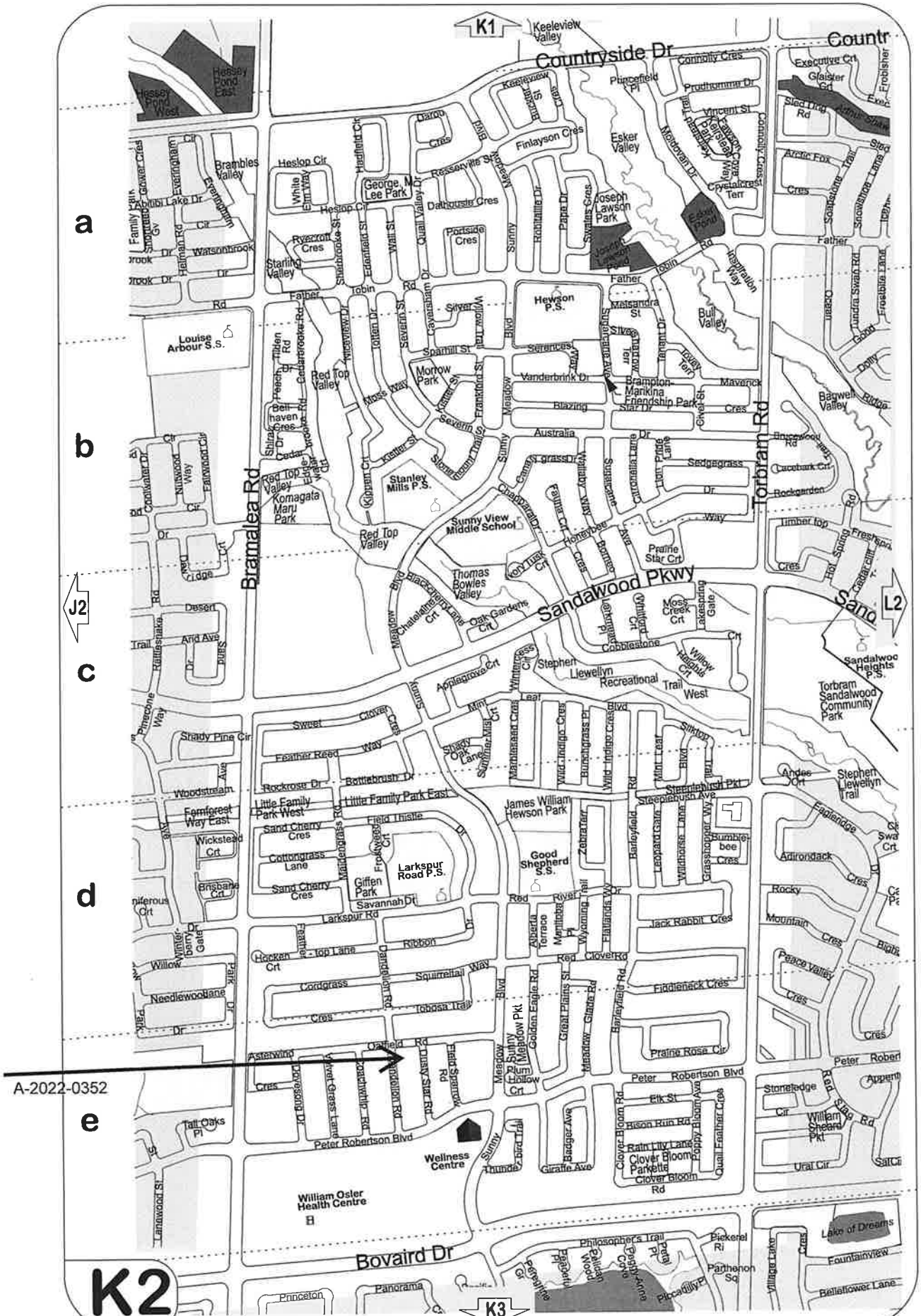
SHEET TITLE:
SECOND FLOOR PLAN

CLIENT EMAIL:

CLIENT CONTACT:

| SCALE: | DRAWING NO.: |
|---|---|
| 1/4"-1'-0" | A103 |
| PLOT DATE: 24-10-2022 | |
| DRAWN BY: GG | |
| CHECKED BY: HS | |


PLAN 43M
VELVET GRASS LANE
(BY PLAN 43M -- 1171)
P.I.N. 14223 -- 0584
BLOCK 88 (0.30 RESERVE) (BY PLAN 43M-1171)
P.I.N. 14223-0579
P.I.N. 14223-0581
BLOCK 84 (0.30 RESERVE)
(BY PLAN 43M-1171)
P.I.N. 14223-0576
P.I.N. 14223-1154
P.I.N. 14223-1087
PART
D.U.C.
PART 65
PART 66
PART 67
PART 68
PART 63
PART 64
PART 59
PART 60
PART 62
PART 61
LOT LINE
See detail "F"
See detail "E"
See detail "D"
35.01 PL&SET
103.48 PL&MEAS
N51°47'20"W
N38°12'40"E
N06°50'49"W
R=5.00
A=7.84
C=7.06
N51°47'20"W
11.16
2.50
21.06
18.92
18.94
40.00
10.50
21.00
13.78
25.22
10.30
8.65
5.00
5.50
10.60
9.50
14.02
13.90
16.86
4.25
23.94 PL&SET
20"W
10"W
47'
PLAN 111
005/009



K1
Keeleview Valley
Countryside Dr
Hessey Pond East
Hessey Pond West
Brambles Valley
Heslop Cir
George M. Lee Park
Dalhousie Cres
Portside Cres
Finlayson Cres
Esker Valley
Joseph Lawson Park
Joseph Lawson Pond
Esker Pond
Starling Valley
Ryecroft Cres
Hewson P.S.
Bull Valley
Louise Arbour S.S.
Red Top Valley
Morrow Park
Brampton-Marikina Friendship Park
Bagwell Valley
Stanley Mills P.S.
Komagata Maru Park
Sunny View Middle School
Thomas Bowles Valley
Bramalea Rd
Torbram Rd
Sandalwood Pkwy
Moss Creek Crt
Stephen Llewellyn Recreational Trail West
Sandalwood Heights P.S.
Torbram Sandalwood Community Park
Stephen Llewellyn Trail
Little Family Park West
Little Family Park East
James William Hewson Park
Larkspur Road P.S.
Good Shepherd S.S.
Giffen Park
Larkspur Rd
Peter Robertson Blvd
Wellness Centre
William Osler Health Centre
Bovaird Dr
Lake of Dreams
J2
L2
K2
K3
a
b
c
d
e
A-2022-0352

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0353***
**WARD 9**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **KAVALJIT KAUR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 71, Plan M-1085 municipally known as **693 PETER ROBERTSON BOULEVARD,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a rear yard setback of 3.12m (10.24 ft.) to an existing deck whereas the by-law requires a minimum rear yard setback of 4.5m (14.76 ft.);

2. To permit a driveway width of 8.48m (27.82 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);

3. To permit 0.0m of permeable landscaping abutting a property line whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip abutting the side property line.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

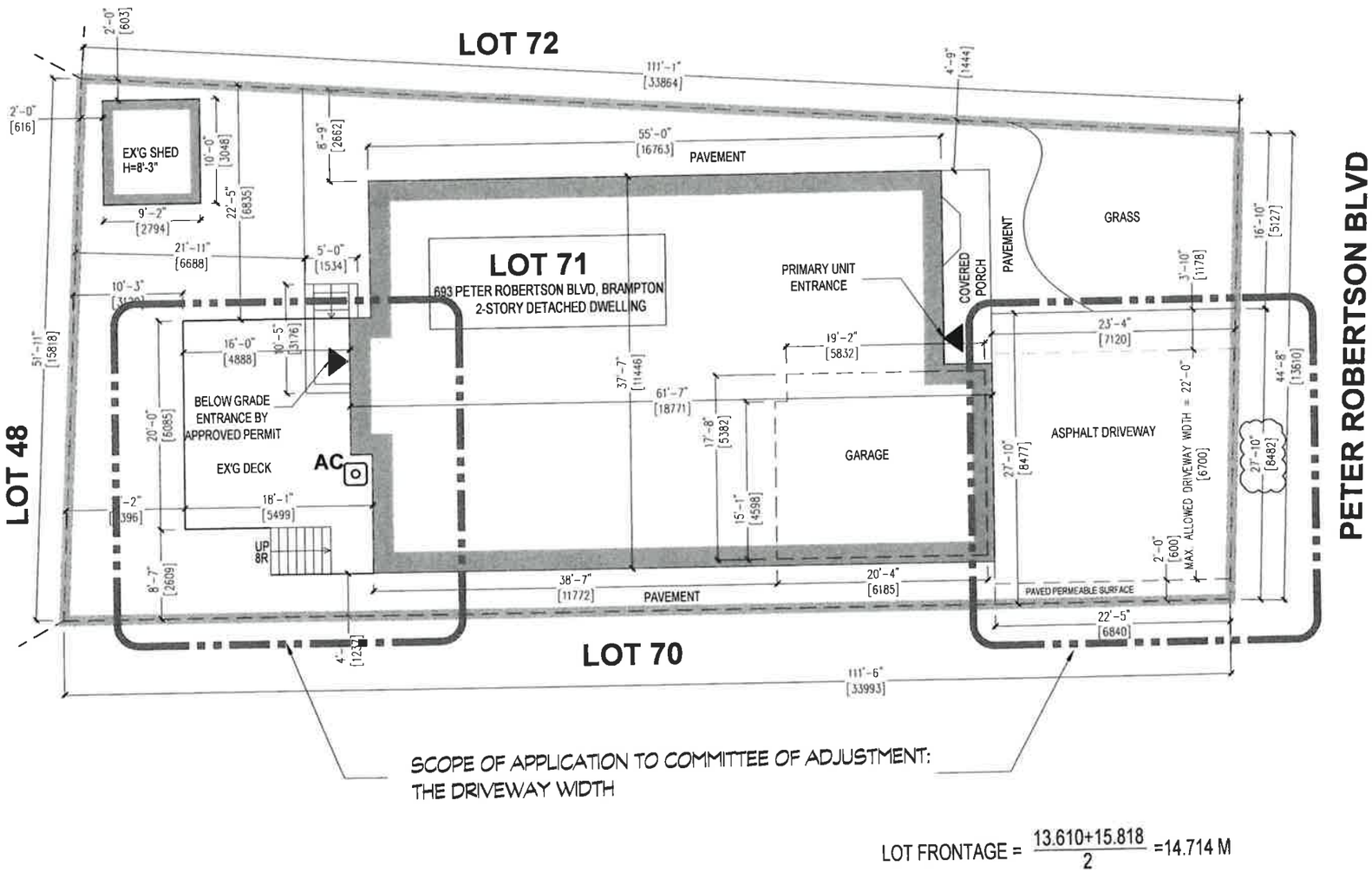
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




LOT FRONTAGE = $\frac{13.610+15.818}{2}$ =14.714 M

1 **SITE PLAN**
3/32" = 1'-0"

| No. | Description | Date |
|---|---|---|
| | | |

AS-BUILT SECOND UNIT IN BASEMENT

693 PETER ROBERTSON BLVD, BRAMPTON


Drawing by:
NESTA DESIGN CO.
48 COVEBANK CRESCENT
BRAMPTON, ON, L6P 2Y1
PHONE: 647-741-4552
EMAIL: amiri@nestadesign.ca


Checked by:

Drawn by
Date 16/11/2022
DRAWING NAME
SITE PLAN
SHEET NUMBER
COA

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

FILE NUMBER: A-2022-0353

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.*

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** KAVALJIT KAUR
   **Address** 693 PETER ROBERTSON BLVD, BRAMPTON ON L6R 1L7
   **Phone #** +1 (416) 875-3737 **Fax #**
   **Email** jasleen.singthdhatt@gmail.com

2. **Name of Agent** ISMATULLAH AMIRI
   **Address** 48 COVEBANK CRES, BRAMPTON, ON - L6P 2Y1
   **Phone #** 647-741-4552 **Fax #**
   **Email** amiri@nestadesign.ca

3. **Nature and extent of relief applied for (variances requested):**
   1. To permit a driveway width of 8.3 m, whereas the by-law permits a maximum driveway width of 6.7 m.
   2. To permit pavement of 0.0m of permeable landscaping between the driveway and the side lot line.
   3. To permit a rear yard setback of 3.12m to an existing deck whereas the by-law requires a minimum rear yard setback of 4.5m to a deck

4. **Why is it not possible to comply with the provisions of the by-law?**
   1.The by-law permits a maximum driveway width of 6.7 m.
   2. The by-law does not permit paving the permeable surface area

5. **Legal Description of the subject land:**
   **Lot Number** LOT 71
   **Plan Number/Concession Number** PLAN M1085
   **Municipal Address** 693 PETER ROBERTSON BLVD L6R 1L7

6. **Dimension of subject land (in metric units)**
   **Frontage** 14.714 M
   **Depth** 33.8 M
   **Area** 145.95 M2

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☒ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

SINGLE FAMILY DWELLING 18.77M X 37.7 M 2-STOREY (DETACHED) - GROSS FLR AREA =202.3 M2
EX'G SHED 3.05 M X 2.8 M
EX'G DECK 5.5 M X 6.09 M

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

NULL. EXISTING TO REMAIN

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 6.82 |
| **Rear yard setback** | 8.11 m |
| **Side yard setback** | 1.44 RIGHT SIDE |
| **Side yard setback** | 1.23 LEFT SIDE |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | N/A |
| **Rear yard setback** | N/A |
| **Side yard setback** | N/A |
| **Side yard setback** | N/A |

10. **Date of Acquisition of subject land:** 2010

11. **Existing uses of subject property:** RESIDENTIAL

12. **Proposed uses of subject property:** RESIDENTIAL

13. **Existing uses of abutting properties:** RESIDENTIAL

14. **Date of construction of all buildings & structures on subject land:** 1993

15. **Length of time the existing uses of the subject property have been continued:** 29 YEARS

16. (a) **What water supply is existing/proposed?**
**Municipal** [X] **Other (specify)** _____
**Well** [ ]

(b) **What sewage disposal is/will be provided?**
**Municipal** [X] **Other (specify)** _____
**Septic** [ ]

(c ) **What storm drainage system is existing/proposed?**
**Sewers** [X]
**Ditches** [ ] **Other (specify)** _____
**Swales** [ ]

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☒

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☒

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☒ **Unknown** ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

_____
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 27 DAY OF OCT, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, ISMATULLAH AMIRI, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 27th DAY OF
October, 2022.

_____
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

_____
Signature of Applicant or Authorized Agent

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** R1B - 612

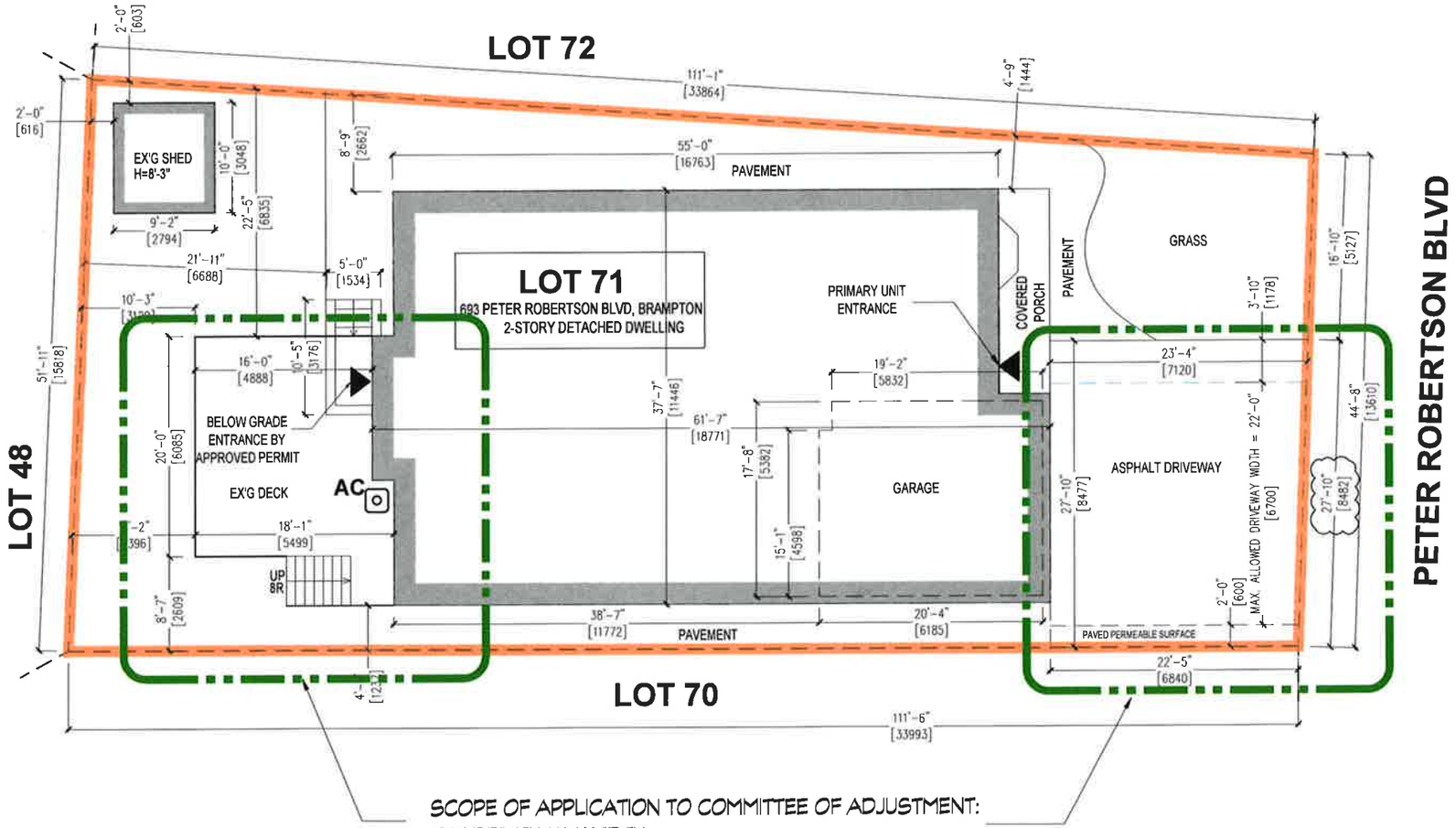
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHI S. — Zoning Officer

OCT 26 2022 — Date

**DATE RECEIVED** October 27, 2022

Revised 2019/01/06




SCOPE OF APPLICATION TO COMMITTEE OF ADJUSTMENT:
THE DRIVEWAY WIDTH

$$\text{LOT FRONTAGE} = \frac{13.610+15.818}{2} = 14.714\ \text{M}$$

1 **SITE PLAN**
3/32" = 1'-0"

| No. | Description | Date |
|---|---|---|
| | | |

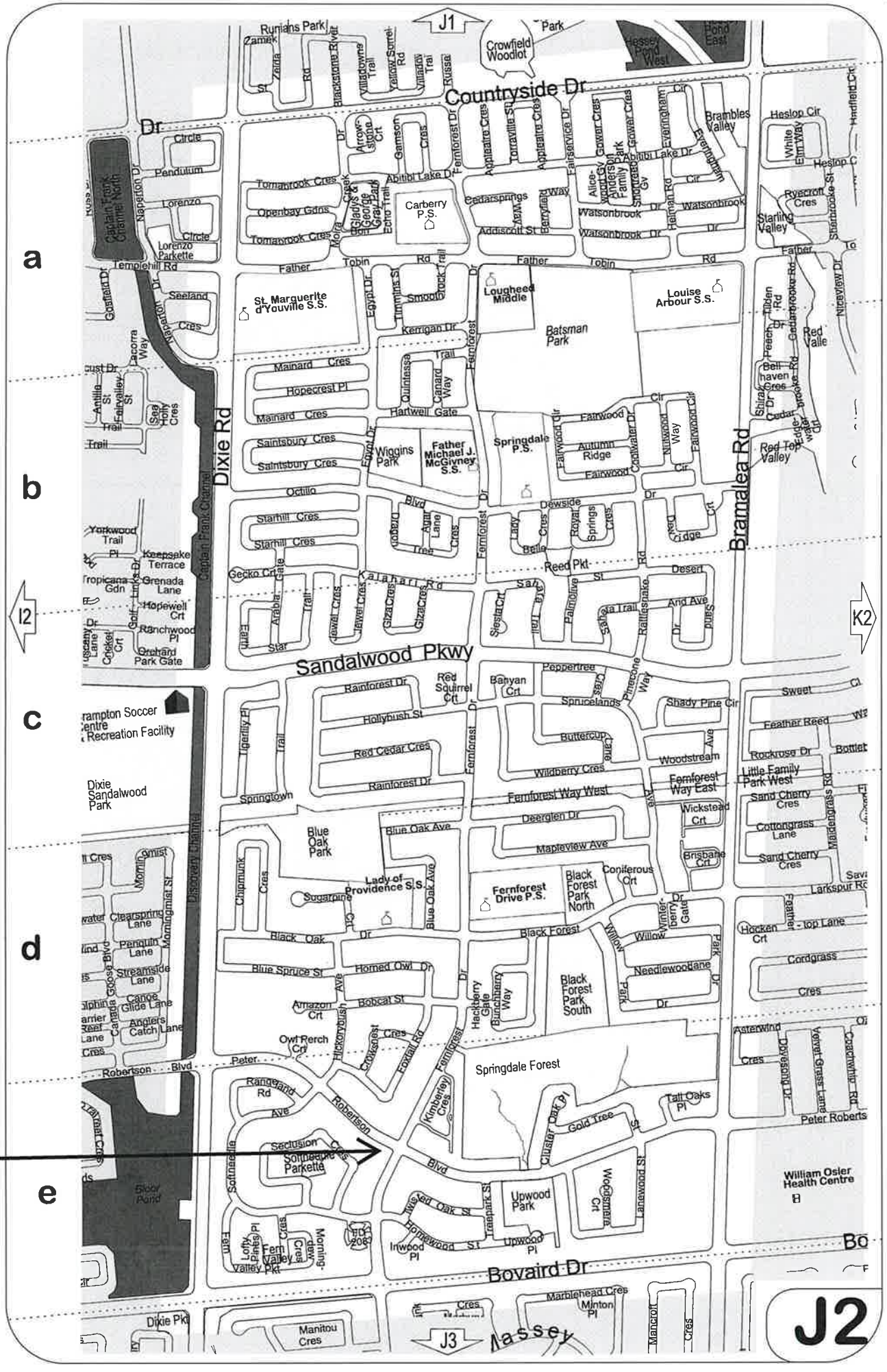
AS-BUILT SECOND UNIT IN BASEMENT

693 PETER ROBERTSON BLVD, BRAMPTON


Drawing by:
NESTA DESIGN CO.
48 COVEBANK CRESCENT
BRAMPTON, ON, L6P 2Y1
PHONE: 647-741-4552
EMAIL: amiri@nestadesign.ca


Checked by:

Drawn by
Date 16/11/2022
DRAWING NAME
SITE PLAN
SHEET NUMBER
COA


J1
J2
J3
I2
K2
a
b
c
d
e
Countryside Dr
Sandalwood Pkwy
Bovaird Dr
Dixie Rd
Bramalea Rd
Carberry P.S.
St. Marguerite d'Youville S.S.
Lougheed Middle
Louise Arbour S.S.
Batsman Park
Springdale P.S.
Father Michael J. McGivney S.S.
Wiggins Park
Springdale Forest
Fernforest Drive P.S.
Lady of Providence S.S.
Blue Oak Park
Dixie Sandalwood Park
William Osier Health Centre
Crowfield Woodlot
Discovery Channel
Captain Frank Creamer
A-2022-0353

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0354***
**WARD 6**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **SREENATH KUNDORRI AND SHAILAJA KUNDOORI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Blocks 49 and 119, Plan 43M-2050, Parts 1 and 16, Plan 43R-39851 municipally known as **73 BRUSHWOOD DRIVE,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a 5.54m (181.18 ft.) separation distance between a driveway and the point of intersection of two streets whereas the by-law requires a minimum separation distance of 6.0m (19.68 ft.) between a driveway and the point f intersection of two streets.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

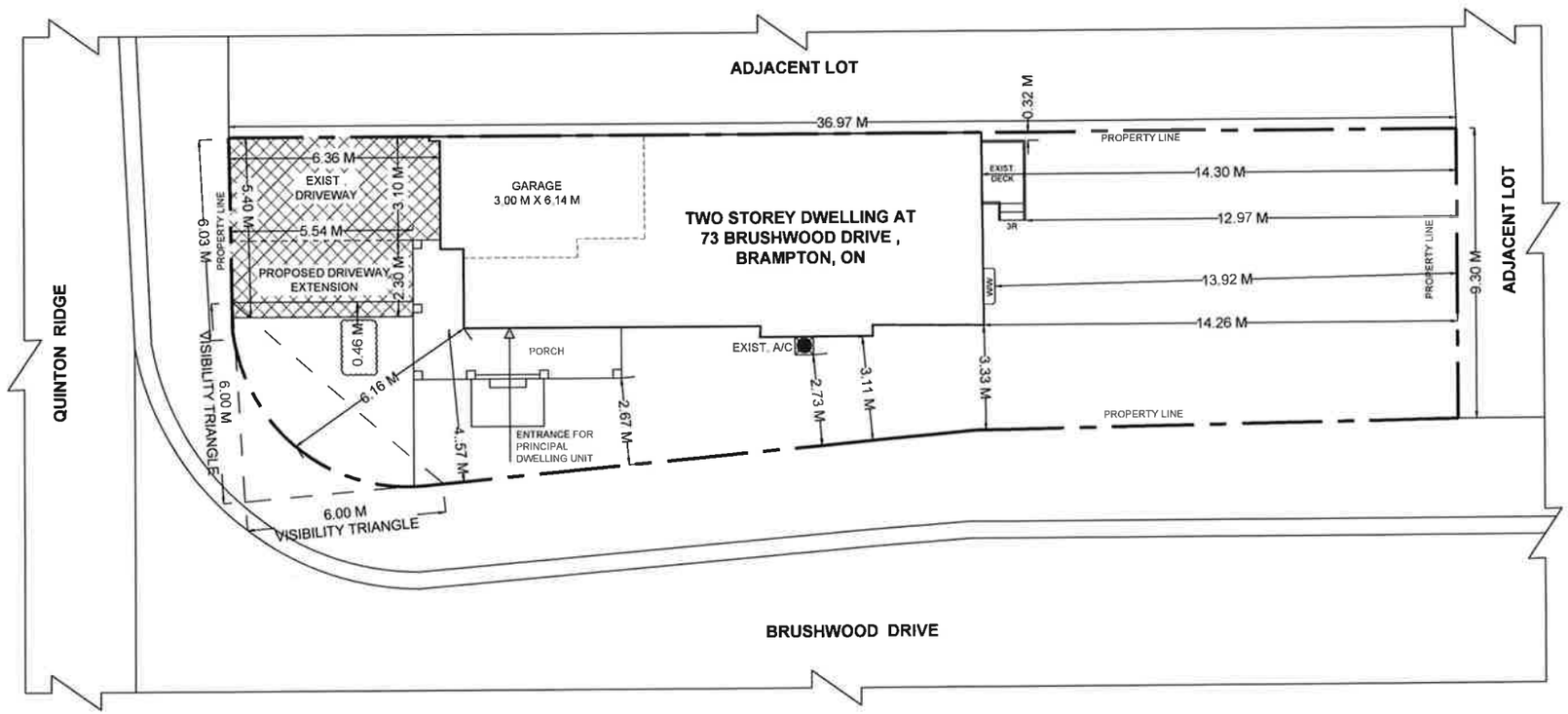
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




PROPOSED SITE PLAN

SCOPE OF WORK

1. PROPOSED DRIVEWAY EXTENSION

| LANSCAPED OPEN AREA CALCULATION | |
|---|---|
| GROSS AREA OF FRONT YARD | 582.64 ft² / 54.13 m² |
| FRONT YARD PARKING AREA | 346.77 ft² / 32.22 m² |
| PARKING AREA % | 59.52 % |
| FRONT YARD LANDSCAPED AREA | 235.87 ft² / 21.91m² |
| LANSCAPED AREA % | 40.48% |

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC.REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER.IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
VMOHAMMED
100216807
OCT 06, 2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 1 | ISSUED FOR BUILDING PERMIT | OCT 06, 2022 |

ENGINEER:

Mechways Inc.

ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON L4T 1G5
TEL# : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

DRIVE EXTENSION AT 73 BRUSHWOOD DRIVE, BRAMPTON

SHEET TITLE:

PROP. SITE PLAN

CHECKED: SS
DRAWN: GS
SCALE: 1 : 150
DATE: OCT /06/ 2022

DRAWING:

A 0.1

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0354

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** Sreenath Kundoori, Shailaja Kundoori
   **Address** 73 Brushwood Dr, Brampton, ON, L6Y 0E3
   **Phone #** 647 204 4999 **Fax #**
   **Email** gtarealtor9@gmail.com

2. **Name of Agent** Valiuddin Mohammed
   **Address** 2751 Thamesgate Dr, Mississauga, ON, L4T 1G5
   **Phone #** 647 786 5940 **Fax #**
   **Email** info@mechways.com

3. **Nature and extent of relief applied for (variances requested):**

   To permit a 5.54m separation distance between a driveway and the point of intersection of two streets whereas the by-law requires a minimum separation distance of 6.0m between a driveway and the point of intersection of two streets.

4. **Why is it not possible to comply with the provisions of the by-law?**

   Proposed driveway extension to accommodate two cars and hence require the driveway width to be 5.4 m. The proposed extension is 2.3 m but due to the 0.46 m of the visibilty triangle of side 6m is falling into the proposed extension, a minor variance is required for the same width.

5. **Legal Description of the subject land:**
   **Lot Number** BLK 119 R, BLK 49 R
   **Plan Number/Concession Number** M2078, M2050
   **Municipal Address** 73 Brushwood Dr, Brampton, L6Y 0E3

6. **Dimension of subject land (in metric units)**
   **Frontage** 10.49 m
   **Depth** 36.97 M
   **Area** 343.08 sq m

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

A 2 storied semi detached dwelling with a single attached garage.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 6.16 M |
| **Rear yard setback** | 12.97 M |
| **Side yard setback** | N/A |
| **Side yard setback** | 2.67 M |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 6.16 M |
| **Rear yard setback** | 12.97 M |
| **Side yard setback** | N/A |
| **Side yard setback** | 2.67 M |

10. **Date of Acquisition of subject land:** Aug 2021

11. **Existing uses of subject property:** Aug 2021

12. **Proposed uses of subject property:** Residential

13. **Existing uses of abutting properties:** Residential

14. **Date of construction of all buildings & structures on subject land:** Aug 2021

15. **Length of time the existing uses of the subject property have been continued:** Aug 2021

16. (a) **What water supply is existing/proposed?**

**Municipal** ☑ **Other (specify)** _____
**Well** ☐

(b) **What sewage disposal is/will be provided?**

**Municipal** ☑ **Other (specify)** _____
**Septic** ☐

(c ) **What storm drainage system is existing/proposed?**

**Sewers** ☑
**Ditches** ☐ **Other (specify)** _____
**Swales** ☐

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #**_____ **Status**_____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☑ **Unknown** ☐

**If answer is yes, provide details:**

**File #**_____ **Decision**_____ **Relief**_____
**File #**_____ **Decision**_____ **Relief**_____
**File #**_____ **Decision**_____ **Relief**_____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 28th DAY OF OCTOBER, 2022

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, SREENATH KUNDOORI, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 28th DAY OF
October, 2022

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** R2D - 2434

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

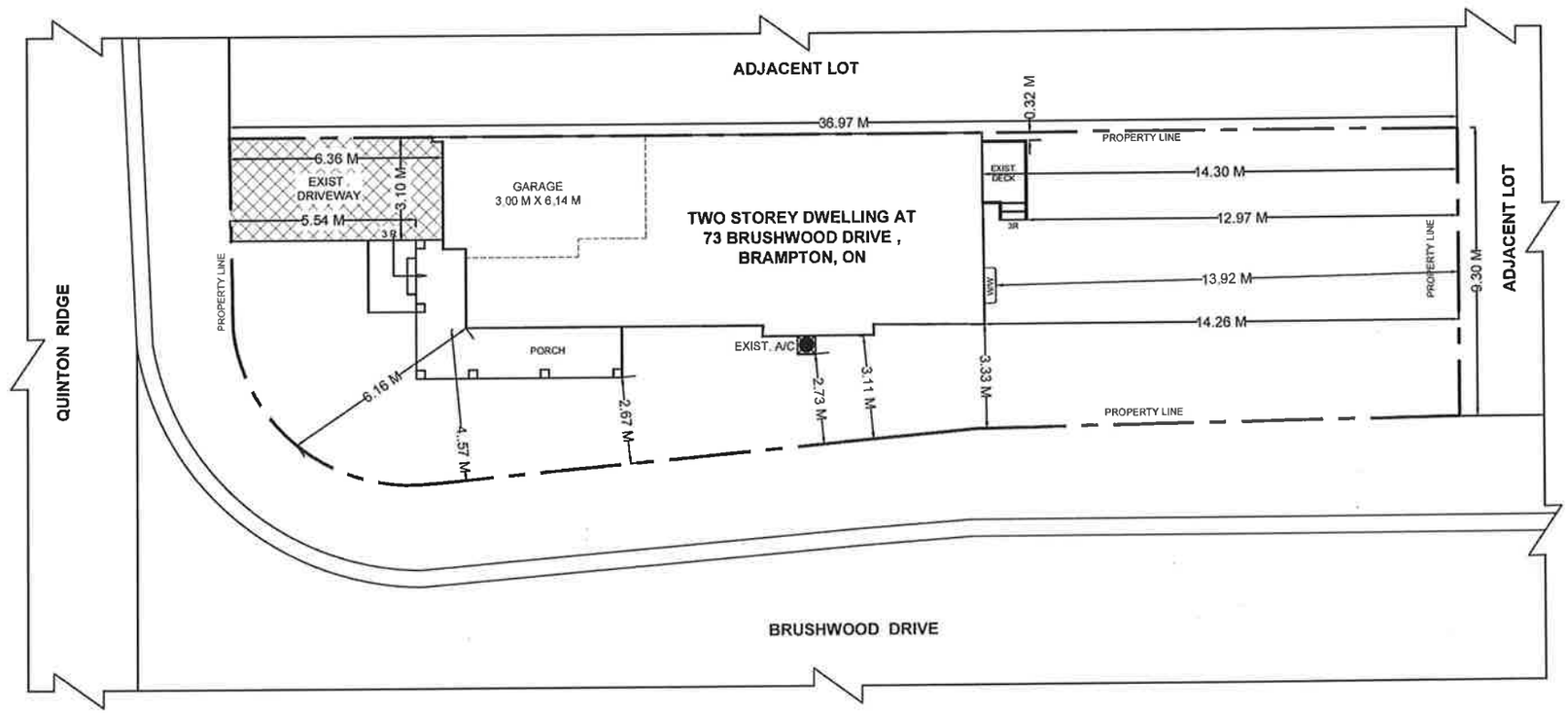
HOTHI S.
Zoning Officer

OCT 28 2022
Date

**DATE RECEIVED** October 28, 2022

**Date Application Deemed Complete by the Municipality** _____

Revised 2022/02/17




EXISTING SITE PLAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC.REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER.IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
V.MOHAMMED
100216807
OCT 06. 2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 1 | ISSUED FOR BUILDING PERMIT | OCT 06. 2022 |

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON, L4T 1G5
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

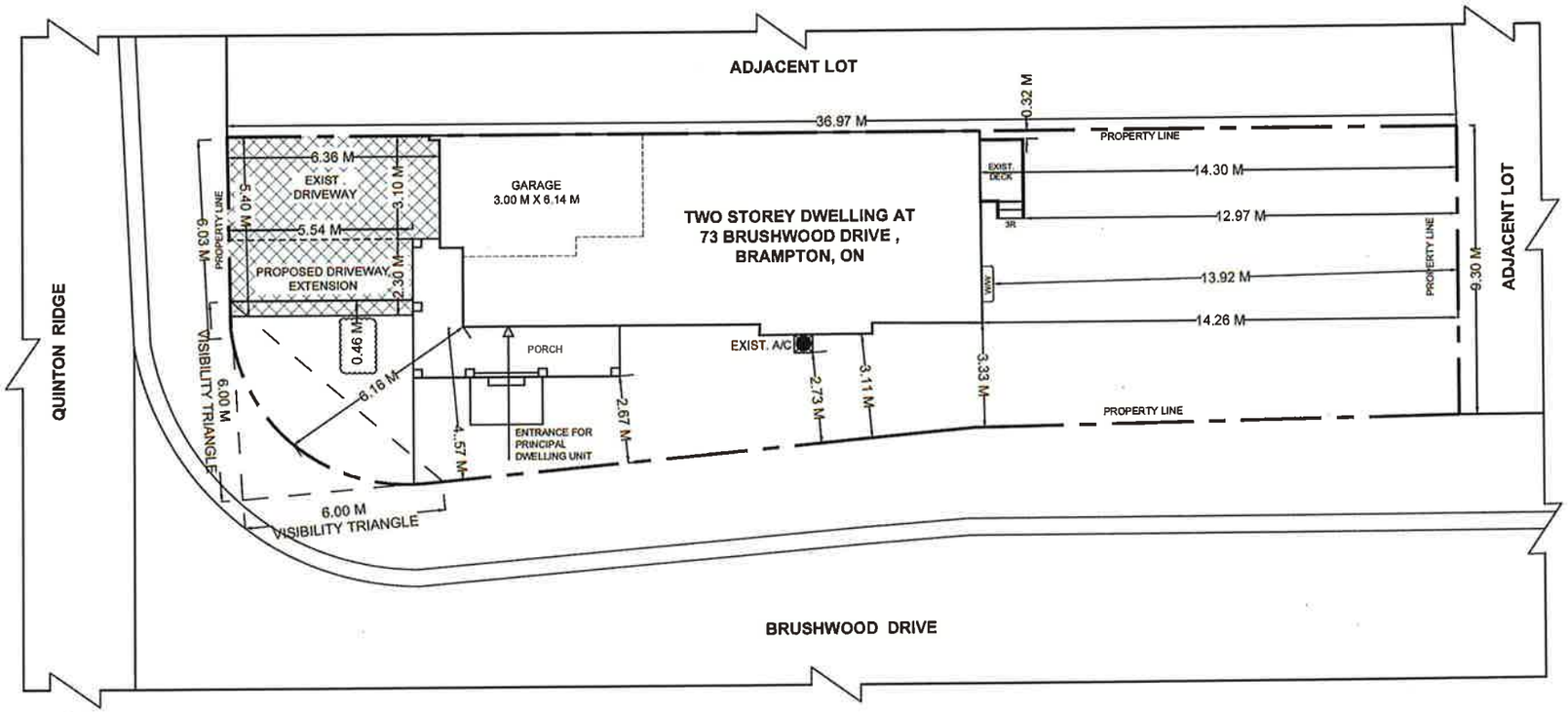
CONSULTANT:

PROJECT:
DRIVE EXTENSION AT 73 BRUSHWOOD DRIVE, BRAMPTON

SHEET TITLE:
EXIST. SITE PLAN

CHECKED: SS
DRAWN: GS
SCALE: 1 : 150
DATE: OCT /06/ 2022

DRAWING:
A 0.1




PROPOSED SITE PLAN

SCOPE OF WORK

1. PROPOSED DRIVEWAY EXTENSION

| LANSCAPED OPEN AREA CALCULATION | |
|---|---|
| GROSS AREA OF FRONT YARD | 582.64 ft² / 54.13 m² |
| FRONT YARD PARKING AREA | 346.77 ft² / 32.22 m² |
| PARKING AREA % | 59.52 % |
| FRONT YARD LANDSCAPED AREA | 235.87 ft² / 21.91m² |
| LANSCAPED AREA % | 40.48% |

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC.REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER.IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
V.MOHAMMED
100216807
OCT 06, 2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 1 | ISSUED FOR BUILDING PERMIT | OCT 06, 2022 |


ENGINEER:
Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON. L4T 1G5
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM


CONSULTANT:

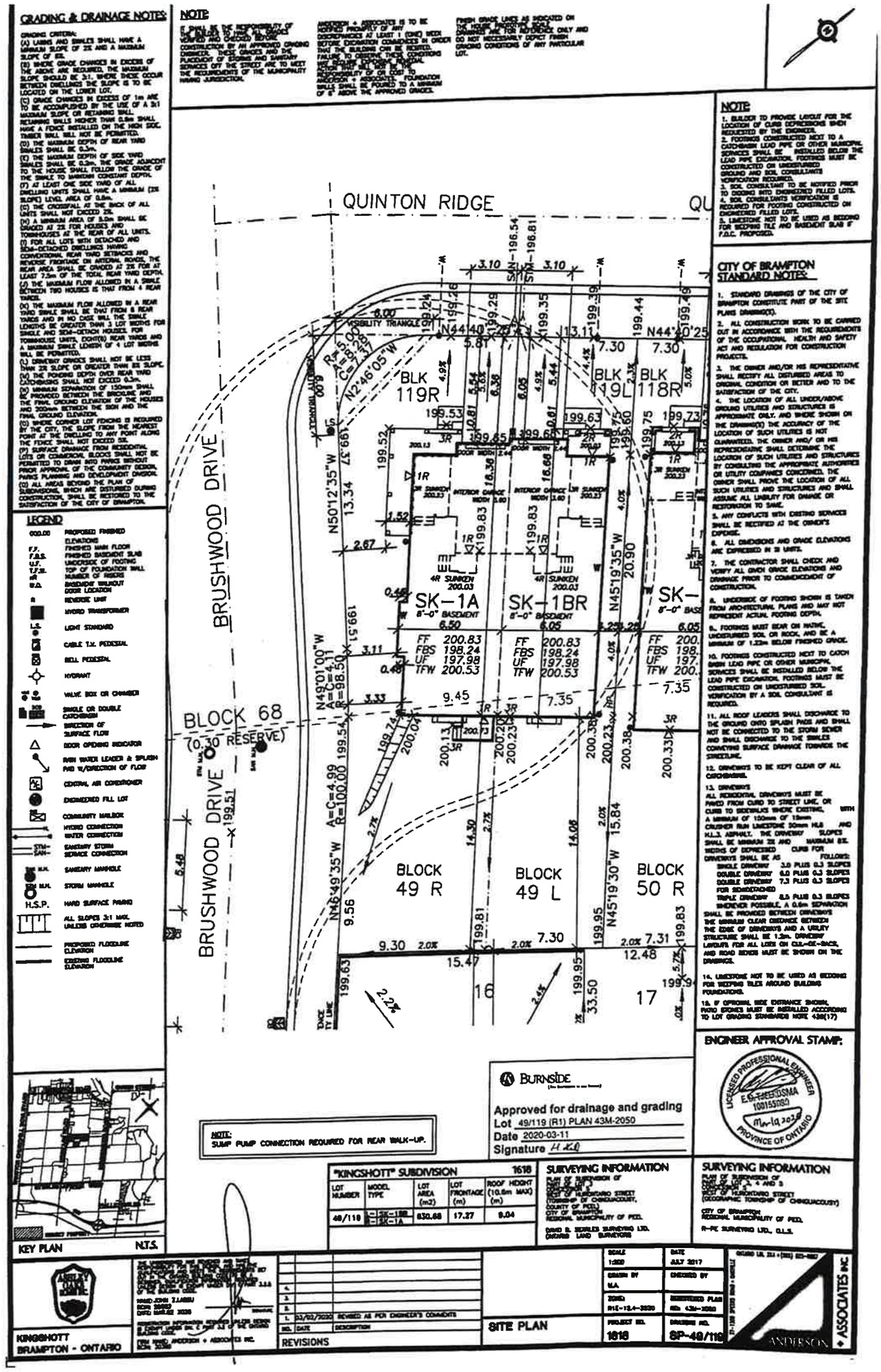
PROJECT:
DRIVE EXTENSION AT 73 BRUSHWOOD DRIVE, BRAMPTON

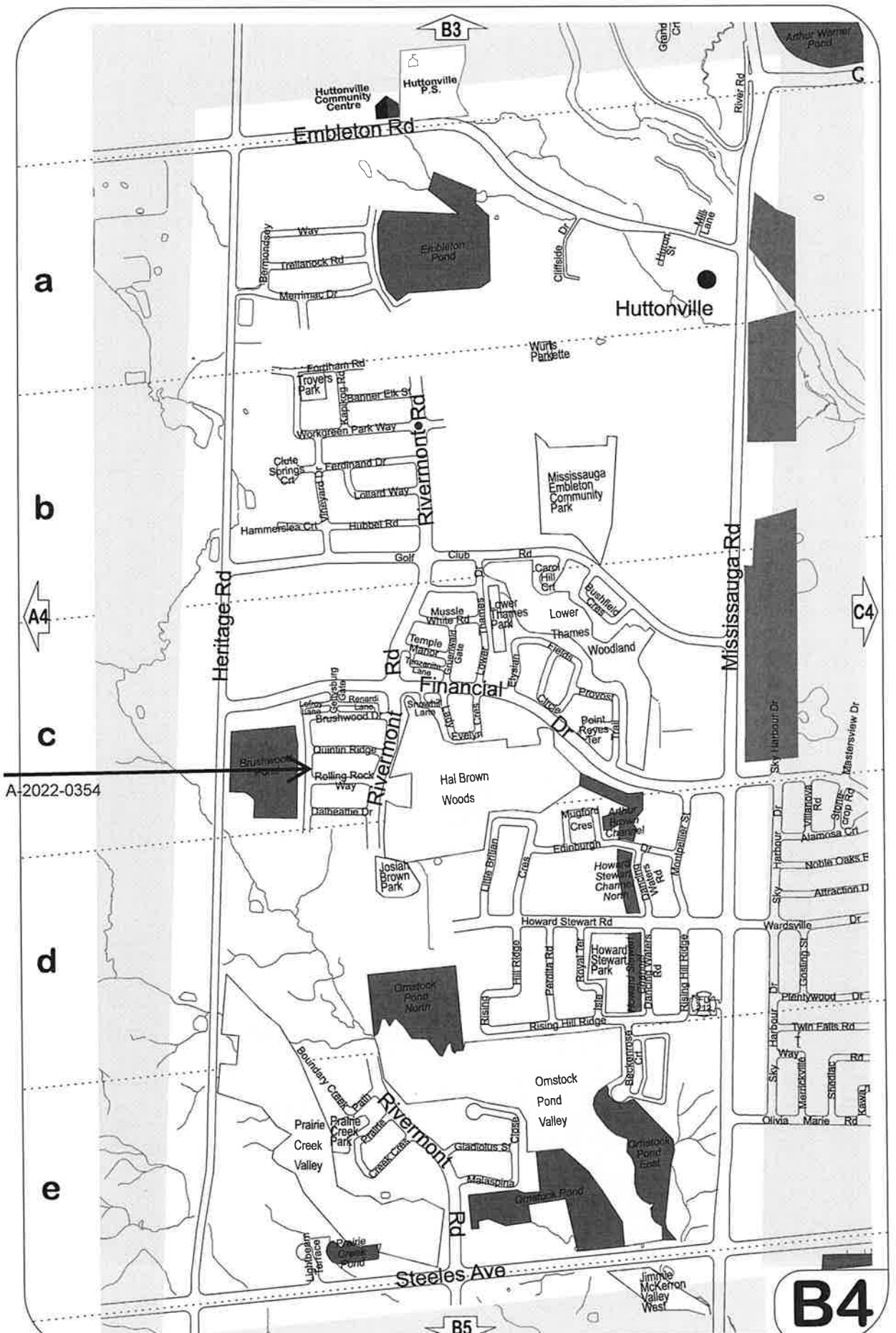
SHEET TITLE:
PROP. SITE PLAN

CHECKED: GS
DRAWN: GS
SCALE: 1 : 150
DATE: OCT /06/ 2022

DRAWING:
A 0.1

Scanned with CamScanner





B3
Huttonville Community Centre
Huttonville P.S.
Embleton Rd
Arthur Warner Pond
River Rd
Grand Cr
Embleton Pond
Bermondsey Way
Trellanock Rd
Merrimac Dr
Cliffside Dr
Huron St
Mill Lane
Huttonville
Wurts Parkette
Fortham Rd
Troyers Park
Kapikog Rd
Banner Elk St
Workgreen Park Way
Clute Springs Crt
Ferdinand Dr
Vineyard Dr
Lollard Way
Hammerslea Crt
Hubbel Rd
Rivermont Rd
Mississauga Embleton Community Park
Golf Club Rd
Carol Hill Crt
Bushfield Cres
Mussle White Rd
Lower Thames Park
Lower Thames Woodland
Temple Manor
Tenzenite Lane
Gruenwald Gate
Lower Thames Dr
Elysian Fields
Financial Dr
Circle Dr
Provost Trail
Point Reyes Ter
Heritage Rd
Mississauga Rd
Gettysburg Gate
Renardi Lane
Lefroy Lane
Brushwood Dr
Snowhill Lane
Evelyn Cres
Quintin Ridge
Rolling Rock Way
Dalheattie Dr
Hal Brown Woods
Mugford Cres
Arthur Brown Channel
Edinburgh Dr
Montpellier St
Little Britian Cres
Josiah Brown Park
Howard Stewart Channel North
Dancing Waters Rd
Howard Stewart Rd
Howard Stewart Park
Hill Ridge
Perdita Rd
Royal Ter
Rising Hill Ridge
Omstock Pond North
Beckenrose Crt
Omstock Pond Valley
Boundary Creek Path
Prairie Creek Park
Prairie Creek Valley
Prairie Creek Cres
Gladiolus St
Close
Malaspina
Omstock Pond
Omstock Pond East
Lightbeam Terrace
Prairie Creek Pond
Steeles Ave
Jimmie McKerron Valley West
Sky Harbour Dr
Mastersview Dr
Villanova Rd
Stone Crop Rd
Alamosa Crt
Noble Oaks E
Attraction D
Wardsville Dr
Gosling St
Plentywood Dr
Twin Falls Rd
Sky Harbour Dr
Merrickville Way
Shedlac Rd
Kawa
Olivia Marie Rd
A4
C4
B5
a
b
c
d
e
A-2022-0354
B4

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0355***
**WARD 9**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **RAKESH CHAUCHAN AND HARSHA CHAUCHAN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 6, Plan M-1130 municipally known as **19 TALL OAKS PLACE,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a front yard setback of 2.82m (9.25 ft.) to a proposed building addition (porch enclosure) whereas the by-law requires a minimum front yard setback of 6.0m (19.68 ft.);

2. To permit a driveway width of 9.15m (30 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);

3. To permit a porch encroachment of 4.10m (13.45 ft.) in the required front yard resulting in a front yard setback of 1.9m (6.23 ft.) whereas the by-law permit a porch encroachment of 1.8m (5.91 ft.) into the required front yard, resulting in a front yard setback of 4.2m (13.78 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

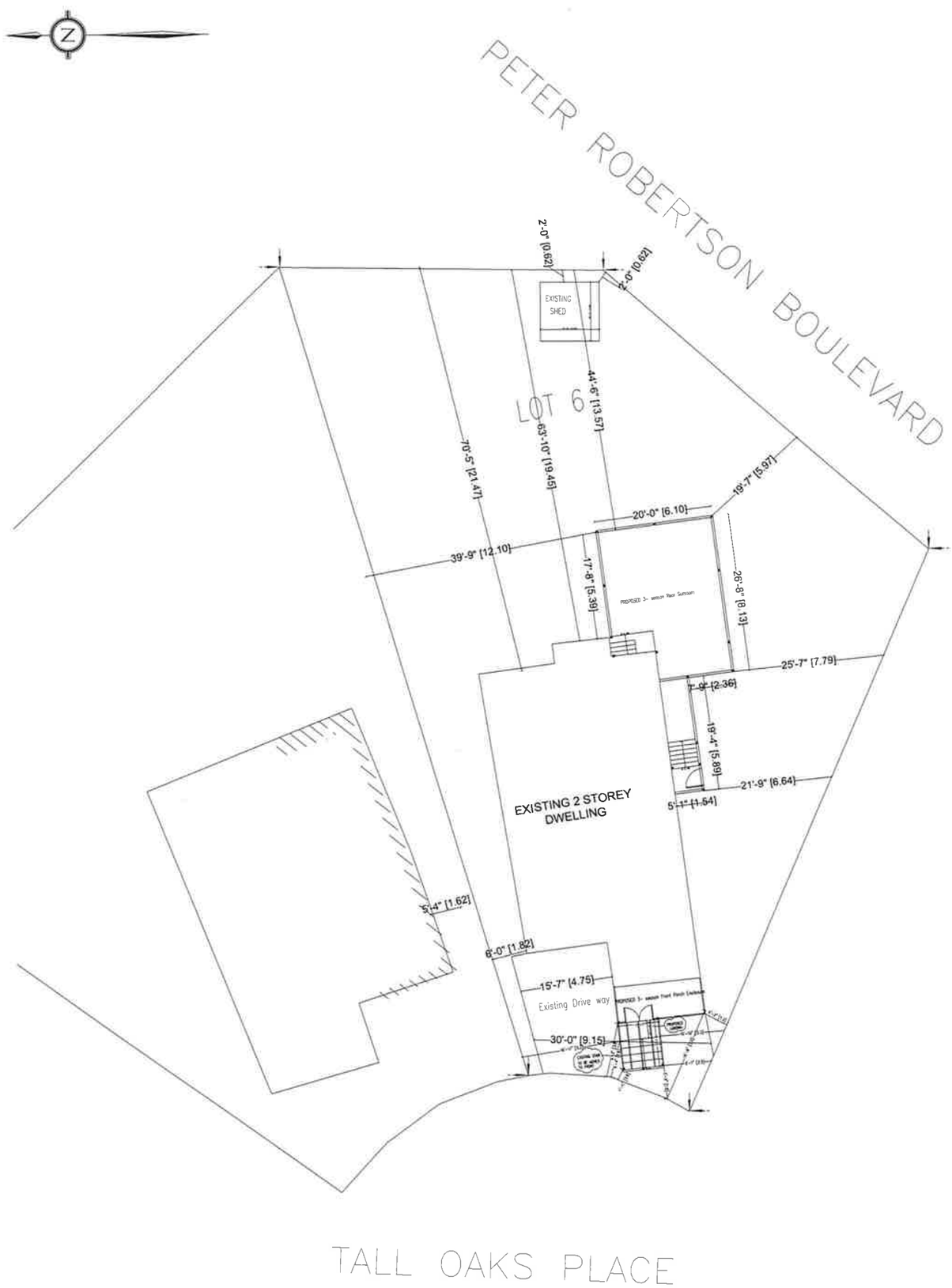
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




SAHAND HOMES
Engineering Firm
9275 Bayview Ave.
PO Box 31134 Bayview 16th AVE PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL (647) 701-0721

19 Tall Oaks Pl
Brampton, ONTARIO

Drawing Title: site plan

A-1

| Check by | Drawn by | Scale | Date |
|---|---|---|---|
| SHERVIN FARZAM | DONIA ABASI | 1 : 100 | NOVEMBER 2022 |

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

# AMENDMENT LETTER

November 23, 2022

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE**
**RAKESH CHAUCHAN AND HARSHA CHAUCHAN**
**LOT 6, PLAN M-1160**
**A-2022-0355 – 19 TALL OAKS PLACE**

---

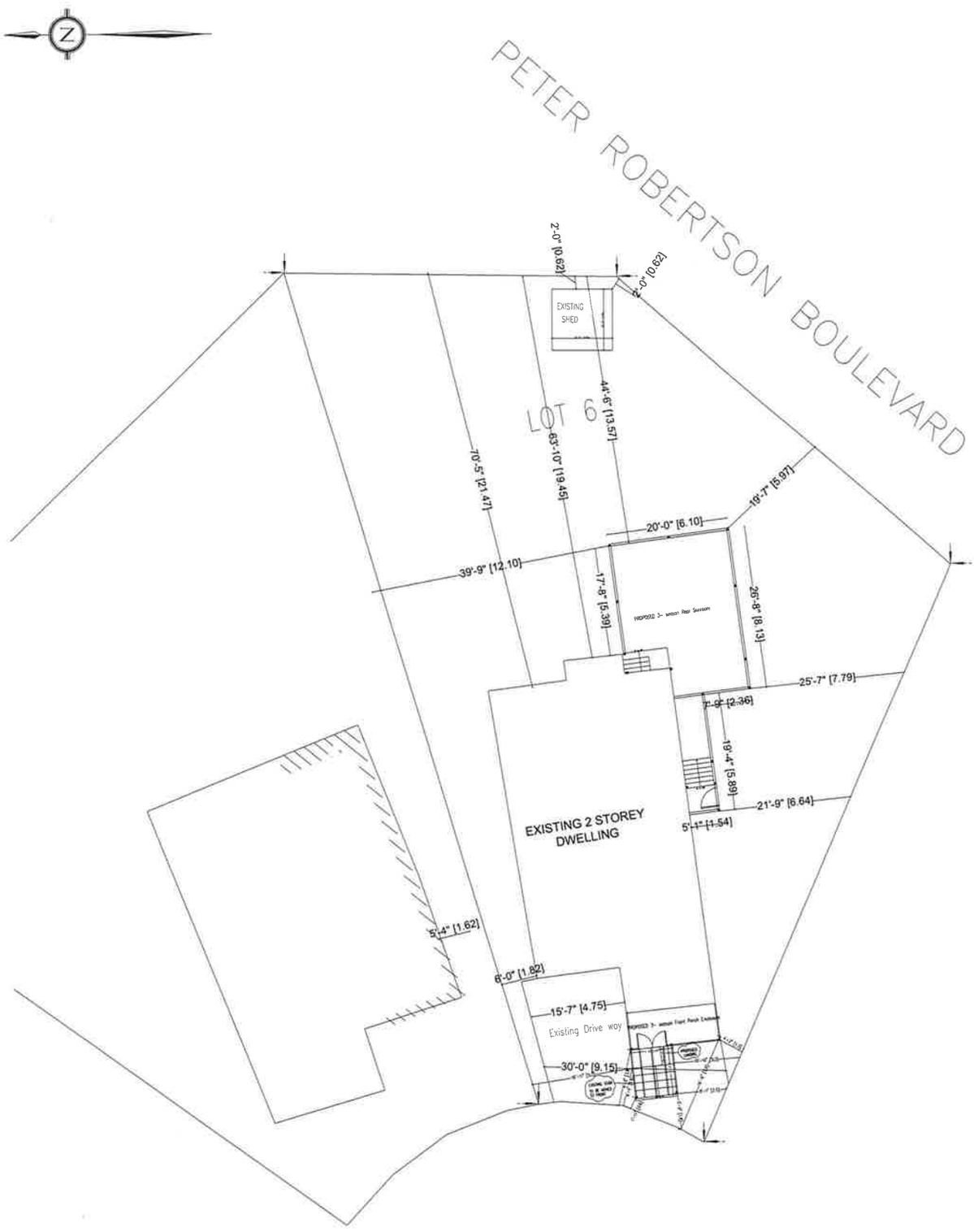
Please **amend** application **A-2022-0355** to reflect the following:

1. To permit a front yard setback of 2.82m (9.25 ft.) to a proposed building addition (porch enclosure) whereas the by-law requires a minimum front yard setback of 6.0m (19.68 ft.);

2. To permit a driveway width of 9.15m (30 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);

3. To permit a porch encroachment of 4.10m (13.45 ft.) in the required front yard resulting in a front yard setback of 1.9m (6.23 ft.) whereas the by-law permit a porch encroachment of 1.8m (5.91 ft.) into the required front yard, resulting in a front yard setback of 4.2m (13.78 ft.).

Applicant/Authorized Agent




| | | | | |
|---|---|---|---|---|
| SAHAND HOMES Engineering Firm<br>9275 Bayview Ave.<br>PO Box 31334 Bayview 16th AVE PO<br>RICHMOND HILL, ONTARIO, L4C 0V7<br>TEL. (647) 701-0721 | 19 Tall Oaks Pl<br>Brampton, ONTARIO | | | |
| | Drawing Title: site plan | | | A-1 |
| Check by: SHERVIN FARZAM | Drawn by: DONIA ABASI | Scale: 1 : 100 | Date: NOVEMBER 2022 | |

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer after application is deemed complete)

**FILE NUMBER:** A-2022-0355

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

## APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** Rakesh Chauchan & Harsha Chauchan
   **Address** 19 Tall Oaks Pl, Brampton L6R 1V1
   **Phone #** 416-625-2268 **Fax #**
   **Email** rakesh1.chauhan@gmail.com

2. **Name of Agent** SHERVIN FARZAM BEHBOUDI and DONYA ABASILIASI
   **Address** 22 Allerton Road , Vaughan L4J 0K1
   **Phone #** 6477010721 416-8780861 **Fax #**
   **Email** shervin@sahandhomes.com
   donya.abasiliasi@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
   To permit a front yard setback of 2.82m to the proposed building addition (porch enclosure), whereas the by-law requires a 6m front yard setback.

4. **Why is it not possible to comply with the provisions of the by-law?**
   need to have 3 -season front porch enclusure for having a bigger space for entrance specially in the cold weather.

5. **Legal Description of the subject land:**
   **Lot Number** part 1 plan of lot 6 and 7
   **Plan Number/Concession Number** 43M-1130
   **Municipal Address** 19 Tall Oaks Place

6. **Dimension of subject land (in metric units)**
   **Frontage** 11.26
   **Depth** 43.30
   **Area** 944.09

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

2 Story residential dwelling. GFA of existing building = 342.98 sqm

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

1 Story 3 season front porch enclosure. GFA of proposed structure = 15.19 sqm
1 Story 3 season rear sun room . GFA of proposed structure = 55.15 sqm

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 2.82 m |
| **Rear yard setback** | 20.06 m |
| **Side yard setback** | 1.30 m |
| **Side yard setback** | 6.77 m |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 2.82 m |
| **Rear yard setback** | 13.44 m |
| **Side yard setback** | 1.30 m |
| **Side yard setback** | 6.77 m |

10. **Date of Acquisition of subject land:** 2015

11. **Existing uses of subject property:** Residential

12. **Proposed uses of subject property:** Residential

13. **Existing uses of abutting properties:** Residential

14. **Date of construction of all buildings & structures on subject land:** 2016

15. **Length of time the existing uses of the subject property have been continued:** 6 years

16. (a) **What water supply is existing/proposed?**
- [x] Municipal
- [ ] Well

**Other (specify)** _____

(b) **What sewage disposal is/will be provided?**
- [x] Municipal
- [ ] Septic

**Other (specify)** _____

(c ) **What storm drainage system is existing/proposed?**
- [x] Sewers
- [ ] Ditches
- [ ] Swales

**Other (specify)** _____

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☑ **Unknown** ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE Vaughan OF Ontario

THIS 27 DAY OF October, 20 22.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Shervin Farzam Behboudi and DONYA ABASILIASI OF THE Vaughan OF Ontario

IN THE 27 OF Octobe 2022 SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 28th DAY OF
October, 20 22.

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J.M.

Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** R1B-610

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

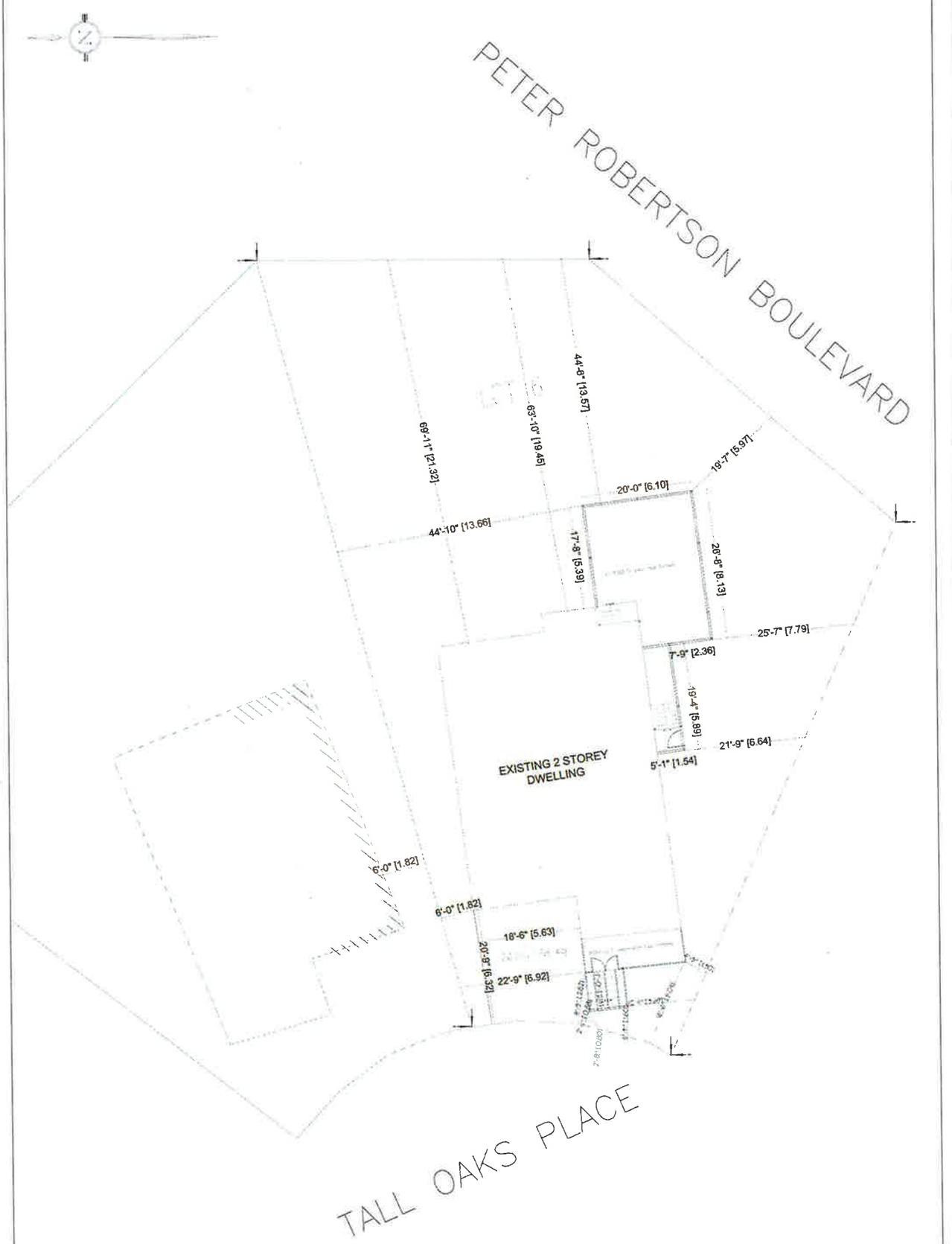
L Barbuto
Zoning Officer

October 28, 2022
Date

**DATE RECEIVED** October 28, 2022.

**Date Application Deemed Complete by the Municipality** _____

Revised 2022/02/17




SAHAND HOMES
Engineering Firm
9275 Bayview Ave.
PO Box 31334 Bayview 16th AVE PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL (647) 701-0721

19 Tall Oaks Pl

Drawing Title: site plan

Check by: SHERRIN KAREAM

Drawn by: RONNIA ABASI

Scale: 1:100

Date: September 2022

A-1

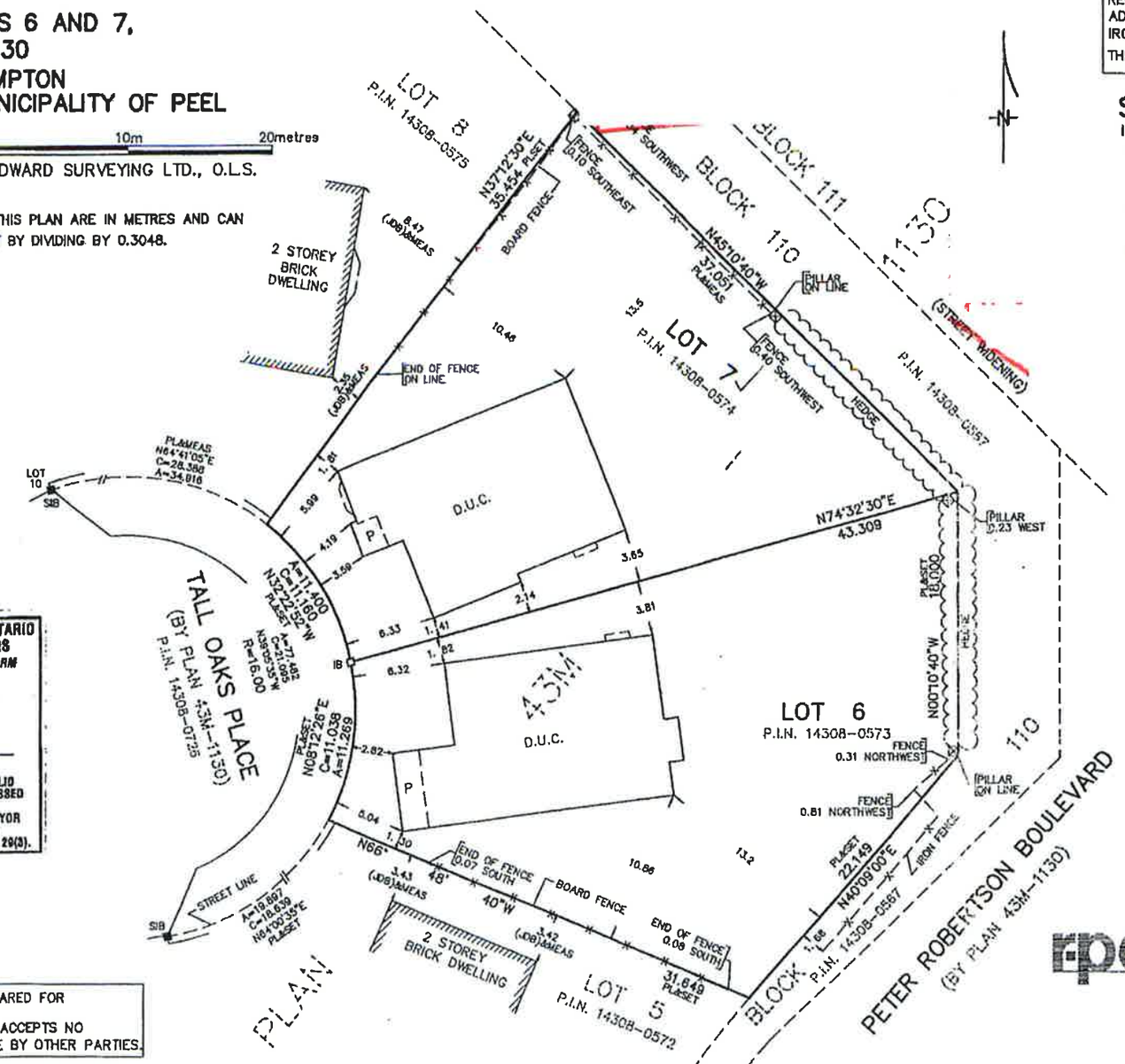
# SURVEYOR'S REAL PROPERTY REPORT
## PART 1
## PLAN OF LOTS 6 AND 7,
## PLAN 43M-1130
## CITY OF BRAMPTON
## REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300
10m 5m 0 10m 20metres

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

**METRIC**

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.




ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
1965329
THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3).

THIS REPORT WAS PREPARED FOR MATTAMY HOMES AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

©RADY-PENTEK & EDWARD SURVEYING LTD.,O.L.S.2016

## PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
ADDITIONAL COMMENTS: NOTE THE LOCATION OF PILLARS, BOARD AND IRON FENCES ALONG THE REAR OF LOTS 6 AND 7.
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

## SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 29th DAY OF OCTOBER ,2015

DATE Jan. 22, 2016

R SINGH
ONTARIO LAND SURVEYOR

## NOTES

| | |
|---|---|
| □ | DENOTES MONUMENT SET |
| ■ | DENOTES MONUMENT FOUND |
| IB | DENOTES IRON BAR |
| SIB | DENOTES STANDARD IRON BAR |
| D.U.C. | DENOTES DWELLING UNDER CONSTRUCTION |
| P.I.N. | DENOTES PROPERTY IDENTIFIER NUMBER |
| P | DENOTES PORCH |
| PL | DENOTES PLAN 43M-1130 |
| (JDB) | DENOTES J. D. BARNES LIMITED, O.L.S. |

ALL FOUND MONUMENTS BY J. D. BARNES LIMITED, O.L.S.

ALL TIES TO CONCRETE FOUNDATION.

BEARINGS ARE GRID AND ARE REFERRED TO THE NORTHEAST LIMIT OF TALL OAKS PLACE AS SHOWN ON PLAN 43M-1130 HAVING A CHORD BEARING OF N39°05'35"W.

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS

RADY-PENTEK & EDWARD SURVEYING LTD.
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A3
Tel.(416)635-5000 Fax (416)635-5001
Website: www.r-pe.ca

DRAWN: V.K. CHECKED: G.Y./T.S.
CAD FILE No.15-248-SRPR-A JOB No.15-248

## CONSTRUCTION SPECIFICATIONS

### (1) STUCCO FINISH WALL
ACRYLIC STUCCO (DUROCK OR APPROVED EQUAL) ON
2" THICK STYROFOAM ON
EXTERIOR TYPE SHEATHING
2"x4" WOOD STUDS @ 16" O.C.
R 22 BATT INSUL. IN CONTINUOUS
CONTACT W/ EXTERIOR SHEATHING
CONTINUOUS AIR / VAPOUR BARRIER
1/2" INTERIOR DRYWALL FINISH
DOUBLE PLATE @ TOP
SOLE PLATE @ BOTTOM

### (2) BRICK (STONE) VENEER WALL:
4"FACE BRICK OR STONE, 1" AIR SPACE
1"x2 X20GA MTL. TIES A/
16"O/C HORIZ. & 24"O/C VERT.
15lb BUILDING PAPER
1/2" EXTERIOR GRADE PLYWOOD
2"x4" WD STUDS AT 16"O/C W/
R22 BATT INSULATION &
6 MIL POLY VAPOUR BARRIER
1/2" INTERIOR DRYWALL FINISH

### (3) PROVIDE WEEP HOLES AT 24"O/C
BOTTOM COURSE ONLY @ LINTEL OPENINGS. PROVIDE BASE FLASHING 6"MIN. UP BEHIND BUILDING PAPER

### (4) FOUNDATION WALL: (REFER TO O.B.C. 9.15.3. & 9.15.4.)
BITUMINOUS DAMPPROOFING ON
10" THICK POURED CONCRETE
REINFORCED FDN. WALLS,
AS SHOWN.
PROVIDE PARGING COVED OVER
28"X 8" POURED CONC. FOOTING
TO BEAR ON UNDISTURBED SOIL
PROVIDE DRAINAGE LAYER
– MIN. 3/4" MINERAL FIBRE
INSULATION W/ A DENSITY OF
NOT LESS THAN 3.6 LB./FT. OR
– MIN. 4" OF FREE DRAINING
GRANULAR MATERIAL OR
– A B.M.E.C. APPROVED
DRAINAGE LAYER MATERIAL

### (5) SILL PLATE
2"X6" SILL PLATE FASTENED
TO FOUNDATION WALL WITH
MIN. 1/2" DIA. ANCHOR BOLTS
EMBEDDED MIN. 4" IN CONCRETE
@ 7'–10" O/C. MAX. & PROVIDE
CAULKING OR GASKET BETWEEN
PLATE & FOUNDATION WALL

### (6) FLOOR INSULATION
CONTINUOUS HEADER JOIST WITH
R31 BATT INSULATION, EXTEND
VAPOUR / AIR BARRIER & SEAL
TO JOIST AND SUBFLOOR

### (7) BASEMENT INSULATION
2"X4" STUDS @16"O/C C.W. R20c! BATT INSULATION, 6MIL POLY VAPOUR BARRIER,1/2" DRYWALL.

### (8) SLAB ON GROUND
3" POURED CONCRETE SLAB WITH 3/4" C/TOPPING (3600 PSI CONC. STRENGTH)
4" CRUSHED STONE BELOW (OBC 9.16.2.1)
EXTENDED TO FOOTING AROUND
THE PERIMETER OF C/SLAB
BOND BREAKING MATERIAL SHALL BE PLACED BETWEEN SLAB AND F/WALL

### (9) DRAINAGE
4" DIA. WEEPING TILE W/
6" CRUSHED STONE COVER

### (10) ROOF CONSTRUCTION
20 YEAR ASPHALT SHINGLES ON MIN. 5/8" EXTERIOR PLYWOOD SHEATHING ON APPROVED ROOF TRUSSES OR CONVENTIONAL FRAMING (SEE PLANS)
USE 'H' CLIPS IF 24" O.C. SPACING

### (11) OVERHANG CONSTRUCTION
PREFINISHED ALUMINUM FASCIA,
EAVESTROUGH & RAIN WATER LEADERS TO MATCH EXISTING FINISHES. PROVIDE DRIP EDGE AT FASCIA & VENTED SOFFIT EXTEND DOWNSPOUTS TO GRADE LEVEL

### (12) ROOF VENTILATION
1:150 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED.

### (13) EAVES PROTECTION
EAVES PROTECTION MEMBRANE TO EXTEND FROM THE EDGE OF THE ROOF, 36" UP THE SLOPE BUT NOT LESS THAN 12" BEYOND THE INTERIOR FACE OF THE EXTERIOR WALL

### (14) CEILING CONSTRUCTION
5/8" INTERIOR DRYWALL FINISH
CONTINUOUS AIR / VAPOUR BARRIER W/ MINIMUM R 60 BATT INSULATION

### (15) WALL INSULATION
CARRY MIN. R22 INSULATION
TO COVER THE INTERIOR FACE
OF THE EXTERIOR WALL

### (16) FLOOR CONSTRUCTION
3/4" T&G PLYWOOD SUBFLOOR
FLOOR JOISTS @ 16" O/C.
FLOOR JOISTS BRIDGED W/
CONTINUOUS 1"X3" STRAPPING OR
2 ROWS OF 2"X2" CROSS BRIDGING
OR SOLID BLOCKING

### (17) INTERIOR STUD PARTITION
1/2" DRYWALL FINISH BOTH SIDES OF
2"X4" OR 2"X6"WOOD STUDS @ 16" O/C
2 TOP PLATES & 1 BOTTOM PLATE
PROVIDE SOUND ATTENUATION INSULATION IN BATHROOM WALLS & WHERE INDICATED ON PLAN

### (18) MECHANICAL VENTILATION
PROVIDE MIN. 1 AIR CHANGE
PER HOUR IN ROOMS SPECIFIED
TO BE MECHANICALLY VENTED
80 CFM FOR BATH PRIMARY VENTS

### (19) STAIRS INTERIOR/EXTERIOR

| | | |
|---|---|---|
| MAXIMUM RISE | = | 7 7/8" |
| MINIMUM RISE | = | 4 7/8" |
| MINIMUM RUN | = | 8 1/4" |
| MAXIMUM RUN | = | 14" |
| MINIMUM TREAD | = | 9 1/4" |
| MAXIMUM TREAD | = | 14" |
| MAXIMUM NOSING | = | 1" |
| MINIMUM WIDTH | = | 2'–10" |
| MINIMUM HEADROOM | = | 6'–5" |

### (20) GUARDS

| | | |
|---|---|---|
| INTERIOR LANDINGS | = | 2'–11" |
| EXTERIOR BALCONY | = | 3'–6" |
| INTERIOR STAIRS | = | 2'–11" |
| EXTERIOR STAIRS | = | 2'–11" |
| MAX. BETWEEN PICKETS | = | 4" |

GUARD HEIGHT IF
DECK TO GRADE IS:

| | | |
|---|---|---|
| GREATER THAN 5'–11" | = | 3'–6" |
| 5'–11" OR LESS | = | 2'–11" |

NO MEMBER OR ATTACHMENT BETWEEN 4" & 2'–11" HIGH SHALL FACILITATE CLIMBING

### (21) ATTIC ACCESS
PROVIDE ATTIC ACCESS
MIN. 20"X 28" W/ INSULATION & WEATHER STRIPPING

### (22) INSTALL A CARBON MONOXIDE DETECTOR CONFORMING TO CAN/CSA–6.19 OR UL 2034

### (23) PROVIDE SOLID BEARING ON MASONRY FOR BEAMS AND /OR COLUMNS

### (24) GARAGE CEILING:
3/4"T&G PLYWOOD SUBFLOOR
6 MIL POLY. VAPOUR BARRIER
2"x10" WD JOISTS (SEE PLAN FOR SPACING) W/R31 BATT INSUL.
& 5/8" GYPSUM BOARD
(SMOKE PROOF JOINTS)

### (25) GARAGE SLAB:
4"CONC. SLAB W/6x6 W.W.M. ON
6"CRUSHED STONE (COMPACTED)
CONC. STRENGTH 25MPa AT
28 DAYS W/5–8% AIR ENTRAINMENT

### (26) GRADE
SLOPE GRADE AWAY FROM
BUILDING FACE & PROVIDE
SEMI–SOLID BLOCK COURSE
AT OR BELOW GRADE LEVEL

NOTES
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
5. THE DRAWINGS ARE THE PROPERTY OF SAHAND HOMES Inc. AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
6. THE DRAWINGS ARE NOT FOR CONSTRUCTION DRAWINGS. THE DRAWINGS HAVE BEEN ISSUED FOR PERMIT ONLY.

### STRUCTURAL NOTES
1. The floor LL = 40 psf (1.9 kPa) , Roof LL = 22.2 psf (1.06 kPa)
2. The floor and roof DL = 15.00 psf (0.71 kPa)
3. All footings must be carried down to the undisturbed soil capable of sustaining bearing pressure of 2000 PSF minimum (to be confirmed on the site by a Soil Engineer)
4. Concrete construction shall adhere to CAN/CSA–A23.1 requirements.
5. Concrete for the footings and the slab–on–grade shall have compressive strength of 30MPa at 28 days
6. Reinforcing steel to be CSA G 30.18–M1992 deformed bars – Grade 400
7. Masonry construction to conform to CSA A371–94.
8. Use min. 20MPa block units and Type S mortar.
9. Grout solid all the voids in existing masonry and at new reinforced concrete blocks
10. All new wood shall be S–P–F No.2 Grade minimum.
11. All wood connectors to be by
12. Engineered Wood Products Composite Lumber, MICROLAM LVL or 2.0E ES PARALLAM PSL
must conform to Suppliers specifications
13. All new structural steel to be G40.21–M 300W & 350W for HSS members
14. Fabrication and erection steel shall be carried out in accordance with CAN/CSA–S16.1–94.
15. Provide solid bearing on existing concrete or masonry for steel beams and columns
16. Wherever it becomes necessary to cut or interfere in any manner with existing equipment or services, the work must be co–ordinated with the Owner
17. All new work must conform to the Ontario Building Code Requirement.

## GENERAL STRUCTURAL NOTES

1. ALL CONSTRUCTION TO COMPLY WITH ONTARIO BUILDING CODE 2012 EDITION.

DESIGN OF O.B.C. PART 9 MEMBERS IS IN ACCORDANCE WITH THE FOLLOWING LOADING:

2ND FLOOR LOADING:
LL – 40.0 PSF
DL – 15.0– PSF

GROUND FLOOR LOADING
LL – 40.0 PSF
DL – 15.0 PSF

MIN. LL DEFLECTION – L/360

2. DRAWINGS SHALL NOT BE SCALED.

3. FOOTINGS SHALL BE POURED ON UNDISTURBED SOIL. EXTERNAL FOOTINGS SHALL BE ERECTED 4'–0" MINIMUM BELOW GRADE.

DESIGN BEARING CAPACITY – 150 KPa (3000 PSF)
EXISTING BEARING CAPACITY – NOT KNOWN.

THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE DESIGN BEARING CAPACITY AND REPORT TO THE ENGINEER OF ANY DISCREPANCIES.

4. CONCRETE SHALL BE F'c – 25 MPa. CONSTRUCTION JOINTS SHALL BE LEFT ROUGH.

5. ALL CONCRETE CONSTRUCTION, WORKMANSHIP AND MATERIALS NOT NOTED IN PART 9 OF THE O.B.C. SHALL BE IN ACCORDANCE WITH CAN/CSA–A23.1
ALL REINFORCEMENT SHALL BE DEFORMED BARS C.S.A. G30.12 WITH Fy=400 MPa. EXTEND CONTINUOS BARS INTO INTERSECTING MEMBERS FOR A DISTANCE OF 36 BAR DIAMETERS AND BENT IF REQUIRED. PROVIDE CONCRETE COVER FOR REINFORCEMENT AS REQUIRED BY O.B.C AND IN ACCORDANCE WITH CAN/CSA–A23.1

6. ALL STRUCTURAL STEEL SHALL BE C.S.A. G40.21 GRADE 44W. HSS SECTIONS SHALL BE G40.21–50W. FABRICATION, CONNECTION DESIGN AND WELDING SHALL CONFORM TO CAN/CSA–S16.1/94 AND W59–M1989.

7. MINIMUM BEARING OF STRUCTURAL MEMBERS ON MASONRY SHALL BE AS FOLLOWS:

CONCRETE AND STEEL BEAMS 6"
CONCRETE SLABS 4"
O.W.S.J. 4"
WOOD BEAMS AND JOISTS 4"

BEARING PLATES SHALL BEAR ON 3 COURSES OF 100% SOLID MASONRY WHICH SHALL EXTEND A MINIMUM OF 8" FROM EACH SIDE OF THE PLATE.

ALL BEAMS SHALL BE ONLY TOP BEARING ON STEEL COLUMNS.

8. MASONRY:

MORTAR SHALL BE TYPE "S" OR BETTER WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS. (TYP. U/N NOTED ON SECTIONS AND DETAILS)

CONCRETE BLOCKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OVER NET AREA IN ACCORDANCE WITH TABLE 9.20.2.7. AS PER PART 9 OF O.B.C. (TYP. U/N NOTED ON SECTIONS AND DETAILS)

9. REINFORCED MASONRY:

MORTAR SHALL BE TYPE "S" OR BETTER WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS.
CONCRETE BLOCKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2950 PSI OVER NET AREA OF BLOCK.
FILL CELLS CONTAINING REINFORCEMENT SOLID WITH GROUT. GROUT SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS.
LAP REINFORCING BARS 48 BAR DIAMETERS MINIMUM UNLESS OTHERWISE INDICATED ON PLANS.

10. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AT THE SITE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THIS OFFICE OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.

11. FABRICATED ITEMS WHICH FABRICATION AND DESIGN IS NOT PRESCRIBED IN PART 9 OF THE O.B.C. SHALL BE PREENGINEERD AND DESIGNED IN ACCORDANCE WITH PART 4 OF THE O.B.C. SHOP DETAILS, DRAWINGS AND DIAGRAMS OF THESE ITEMS SHALL BE SUBMITTED TO THIS OFFICE FOR REVIEW PRIOR TO FABRICATION. THESE DRAWINGS SHALL BE SEALED BY A P. ENG OF ONTARIO RESPONSIBLE FOR THE DESIGN OF THESE ITEMS AND CLEARLY INDICATE THE METHOD OF CONNECTION OF THESE ITEMS TO THE STRUCTURE. THESE ITEMS SHALL INCLUDE STRUCTURAL STEEL, REINFORCING BARLISTS, CONNECTIONS BETWEEN WOOD MEMBERS AS PER HANGER SCHEDULE AND PRECAST ELEMENTS.

11. ALL FRAMING LUMBER SHALL BE SPF#2 UNLESS NOTED.

12. PLYWOOD SHALL BE 5/8" T&G UNLESS NOTED. PROVIDE EXTERIOR GRADE PLYWOOD WHERE REQUIRED BY O.B.C.

13. ALL THE JOISTS AND BEAMS LOCATED AT THE SAME ELEVATION SHALL BE CONNECTED WITH JOIST HANGERS. ALL MEMBER CONNECTIONS SHALL MEET THE MINIMUM REQUIREMENTS AS OUTLINED IN PART 9 OF THE ONTARIO BUILDING CODE, UNLESS STRONGER CONNECTIONS ARE SPECIFIED.

14. ALL WOOD POSTS SHALL BE AS PER WOOD POST SCHEDULE.

PROVIDE POST P1 AT ALL WOOD LINTEL BEARINGSS UNLESS NOTED OTHERWISE ON PLANS.

ALL WOOD POSTS SHALL BE CONTS FROM FOOTINGS OR FOUNDATION WALLS TO U/S SUPPORTED BEAMS OR TRUSSES. PROVIDE SOLID BLOCKING AT DISCONTINUITIES SUCH AS FLOOR SPACES. (TYP. AT ALL WOOD POST LOCATIONS)

PROVIDE 100 % SOLID BEARING U/S ALL POSTS AT BEARING. POSTS SHALL BEAR ON MINIMUM OF 3 COURSES OF SOLID MASONRY WHICH SHALL EXTEND A MINIMUM OF 8" FROM EACH SIDE OF THE PLATE OR SOLID CONCRETE.

15. HANGER SIZES SHALL BE AS PER HANGER SCHEDULE.

THE HANGERS NOTED ABOVE ARE FOR INDICATION OF LVL PLIES AND CONNECTION SHEAR FORCE CAPACITY ONLY. THE ACTUAL SHAPE OR ANGLE OF CONNECTION BETWEEN MEMBERS SHALL BE SURVEYED AT THE SITE BY THE HANGER DESIGNER.

16. ALL MICRO–LAM BEAMS AND "I" TYPE JOISTS SHALL BE BY TRUS JOIST MACMILLAN OR EQUIVALENT. THE INSTALLATION OF THE MICRO–LAM BEAMS AND "I" JOISTS SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION GUIDELINES AND RECOMMENDATIONS.

17. THE LOAD BEARING STUD WALLS SHALL BE 2 X 6 @ 16" O/C SPF, #2 LUMBER, TYPICAL UNLESS NOTED. PROVIDE BRIDGING OR BLOCKING AT THE STUD WALLS TO GIVE 8'–0" MAXIMUM UNBRACED LENGTH.

18. THE SPACING AND SIZES OF THE ROOF AND THE FLOOR JOISTS SHALL BE NOTED ON THE PLANS. PROVIDE FULL 2" SOLID BEARING AT THE SUPPORTS.

19. THE DESIGN OF THE STRUCTURAL COMPOSITE LUMBER MEMBERS SHALL CONFORM TO THE CSA STANDARD O86.1–94.

THE INSTALLATION OF ALL THE STRUCTURAL COMPOSITE LUMBER BEAMS SHALL BE IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION GUIDE–LINES AND RECOMMENDATIONS

20. "I" TYPE JOISTS SHALL BE TJI JOISTS AS NOTED IN THE TRUS JOIST CANADA LTD. DESIGN CATALOGUE OR EQUIVALENT. SEE PLANS FOR THE LOCATION AND THE SPACING OF THE "I" JOISTS. THE INSTALLATION OF ALL "I" TYPE JOISTS SHAL BE IN ACCORDANCE WITH THE MANUFACTURERS INSTALLATION GUIDE–LINES AND RECOMMENDATIONS.

21. THE DESIGN AND ERECTION OF THE WOOD TRUSSES SHALL CONFORM TO THE CANADIAN STANDARD CSA–O86.1–94 AND THE ONTARIO BUILDING CODE.

22. THE TRUSS FABRICATOR SHALL SUBMIT SHOP DRAWINGS AND ERECTION DIAGRAMS TO THIS OFFICE FOR APPROVAL. THE DRAWINGS SHALL BE STAMPED BY A PROFESSIONAL ENGINEER OF ONTARIO.

23. ALL TYPICAL AND NON–TYPICAL TRUSS BEARINGS SHALL BE CLEARLY INDICATED ON THE SHOP DRAWINGS. ALL REACTIONS OF THE TRUSSES AND THE TRUSS GIRDERS TO BE INDICATED ON THE SHOP DRAWINGS. LATERAL FORCES ON EXTERIOR BEARING WALLS ARE NOT ALLOWED.

24. THE ERECTION DIAGRAMS SHALL SPECIFY TEMPORARY AND PERMANENT BRACINGS. PROCEDURES AND METHODS REQUIRED BY THE FRAMING CONTRACTOR TO ERECT THE TRUSSES SUCCESSFULLY.

25. CP1 SHALL BE 14" ø R.C. PIER TO U/S OF WOOD POSTS OR STEEL COLUMNS IN GARAGE R.W. 6X15N VERTICALS + 10M TIES @ 10" O/C. PROVIDE GALVANIZED COLUMN BASE CB6X6 BY MGA CONNECTORS AT WOOD POST ENSURE THAT U/S OF POST IS 6" ABOVE FLOOR EL.

26. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR AT THE SITE PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY THE ARCHITECT AND THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE SITE CONDITIONS AND THE ASSUMED DESIGN CONDITIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IN ADDITION THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION, METHOD OF ERECTION AND INSTALLATION PROCEDURES OF THE STRUCTURAL MEMBERS INCLUDING THE ERECTION OF STEEL BEAMS SUPPORTING EXISTING JOISTS. THE GENERAL CONTRACTOR SHALL SUBMIT SHORING DETAILS AND DRAWINGS STAMPED BY P. ENG. OF ONTARIO FOR REVIEW INDICATING THE SHORING PROCEDURE AND METHODS HE WILL EMPLOY TO SUPPORT EXISTING STRUCTURE. THE GENERAL CONTRACTOR SHALL EXERCISE EXTREME CAUTION AND CARE DURING THE DEMOLITION PROCESS OF THE EXISTING STRUCTURE AND MASONRY WALLS AND BE SOLELY RESPONSIBLE FOR THE SUPPORT OF THE EXISTING STRUCTURE DURING THE DEMOLITION. THE GENERAL CONTRACTOR SHALL CALL THE STRUCTURAL ENGINEER FOR AN INSPECTION PRIOR TO CUTTING EXISTING MEMBERS AND REMOVING EXISTING


SAHAND HOMES
Engineering Firm
9275 Bayview Ave.
PO Box 31334 Bayview 16th AVE PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL. (647) 701–0721


# 19 Tall Oaks Pl
Brampton, ON

Drawing Title: GENERAL NOTE

A–2

| Check by | Drawn by | Scale | Date |
|---|---|---|---|
| SHERVIN FARZAM | DONIA AHASI | 1'–0" = 1/8" | SEPTEMBER 2022 |

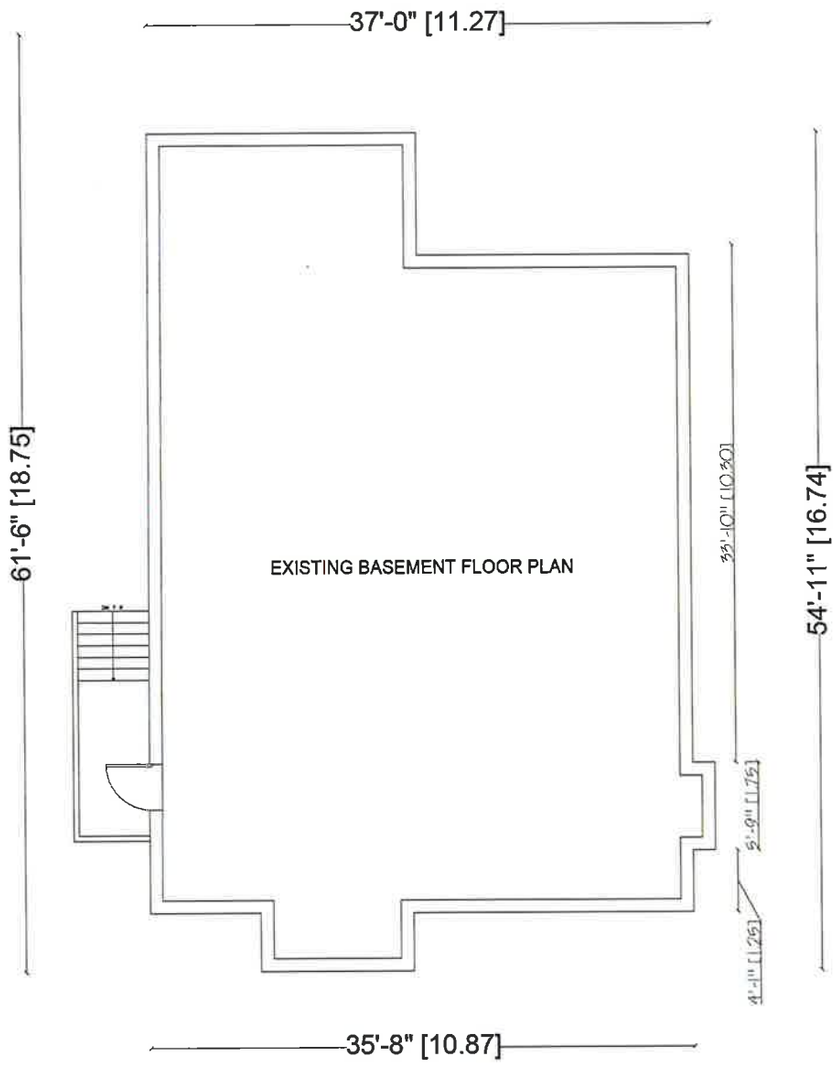
NOTES:

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
5. THE DRAWINGS ARE THE PROPERTY OF SAHAND HOMES Inc. AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
6. THE DRAWINGS ARE NOT FOR CONSTRUCTION DRAWINGS. THE DRAWINGS HAVE BEEN ISSUED FOR PERMIT ONLY.

## EXISTING BASEMENT PLAN

SCALE 1/8"= 1'-0"

**BASEMENT Area**
1745 SqF (162.3.9 SqM)




SAHAND HOMES
Engineering Firm
9275 Bayview Ave.
PO Box 31334 Bayview 16th AVE PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL (647) 701-0721

# 19 Tall Oaks Pl
Brampton, ON

| Drawing Title | EXISTING BASEMENT FLOOR PLAN | | A-3 |
|---|---|---|---|
| Check by: SHERVIN FARZAM | Drawn by: DONYA ABASI | Scale: 1'-0" = 1/8" | Date: SEPTEMBER 2022 |

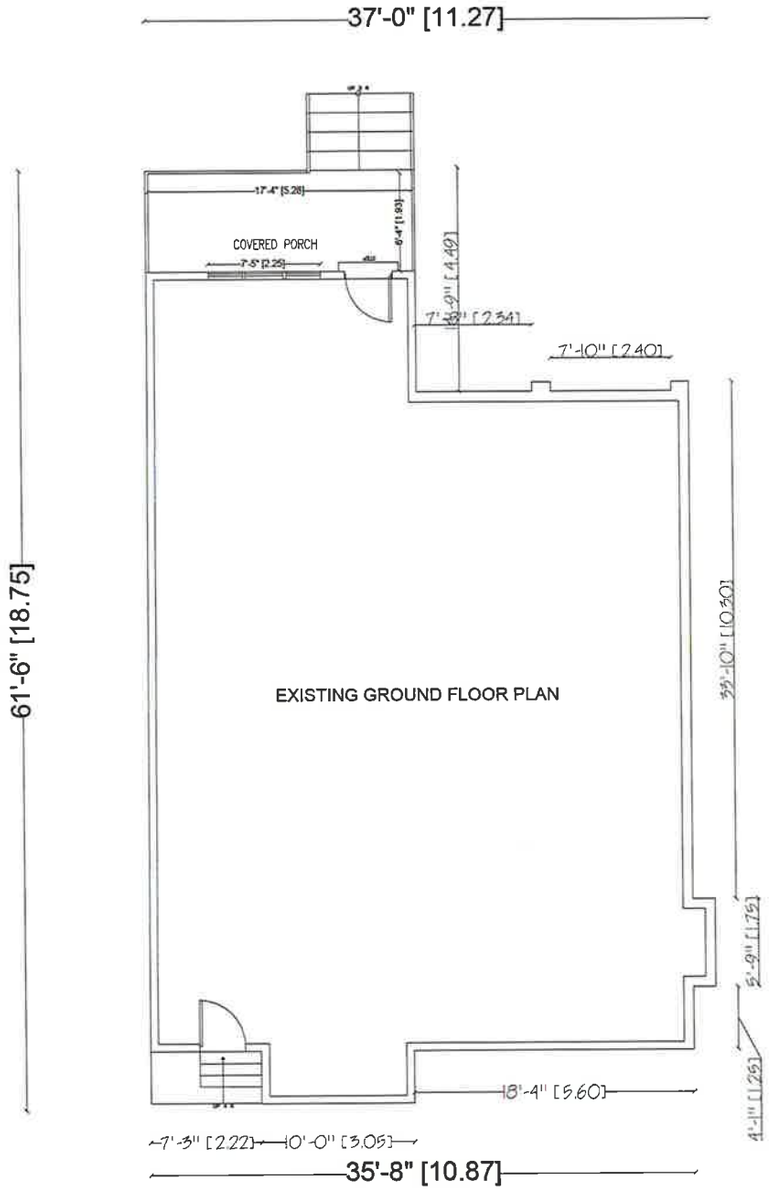
NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
5. THE DRAWINGS ARE THE PROPERTY OF SAHAND HOMES Inc. AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
6. THE DRAWINGS ARE NOT FOR CONSTRUCTION DRAWINGS. THE DRAWINGS HAVE BEEN ISSUED FOR PERMIT ONLY.

## EXISTING GROUND FLOOR PLAN

SCALE 1/8"= 1'-0"

**GROUND FLOOR Area**
**1846 SqF (171.49 SqM)**





SAHAND HOMES
Engineering Firm
9275 Bayview Ave.
PO Box 31334 Bayview 16th AVE PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL (647) 701-0721


# 19 Tall Oaks Pl
Brampton, ON

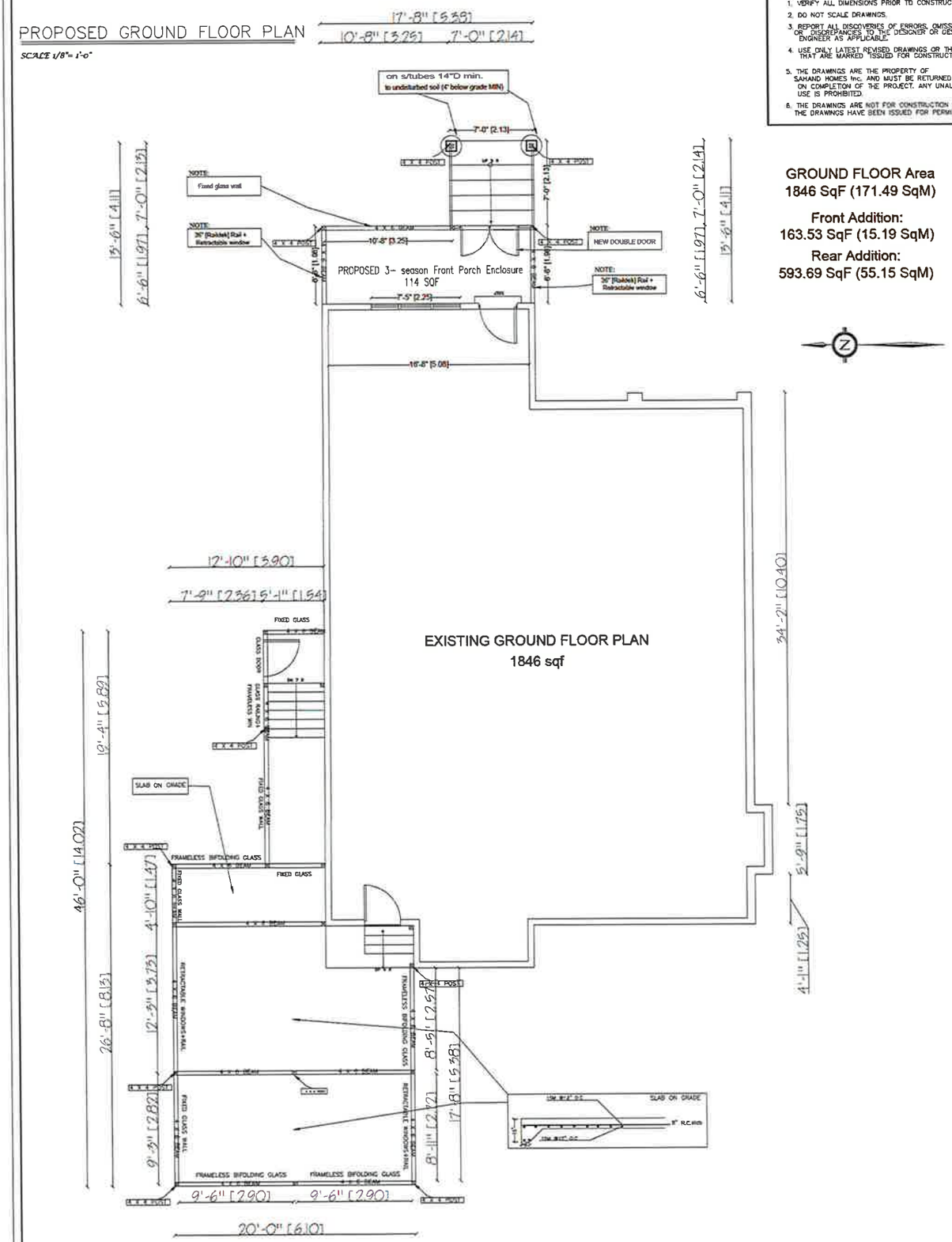
| Drawing Title | Scale | Date |
|---|---|---|
| EXISTING GROUND FLOOR PLAN | 1'-0" = 1/8" | SEPTEMBER 2022 |

| Check by | Drawn by |
|---|---|
| SHERVIN FARZAM | DONIA ABASI |

A-4

# PROPOSED GROUND FLOOR PLAN

SCALE 1/8"= 1'-0"




NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
5. THE DRAWINGS ARE THE PROPERTY OF SAHAND HOMES Inc. AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
6. THE DRAWINGS ARE NOT FOR CONSTRUCTION DRAWINGS. THE DRAWINGS HAVE BEEN ISSUED FOR PERMIT ONLY.

**GROUND FLOOR Area**
**1846 SqF (171.49 SqM)**

**Front Addition:**
**163.53 SqF (15.19 SqM)**

**Rear Addition:**
**593.69 SqF (55.15 SqM)**


SAHAND HOMES
Engineering Firm
9275 Bayview Ave.
PO Box 31334 Bayview 16th AVE PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL. (647) 701-0721


# 19 Tall Oaks Pl
Brampton, ON

Drawing Title: PROPOSED GROUND FLOOR PLAN

A-5

| Check by | Drawn by | Scale | Date |
|---|---|---|---|
| SHERVIN FARZAM | DONIA ABASI | 1'-0" = 1/8" | SEPTEMBER 2022 |

NOTES

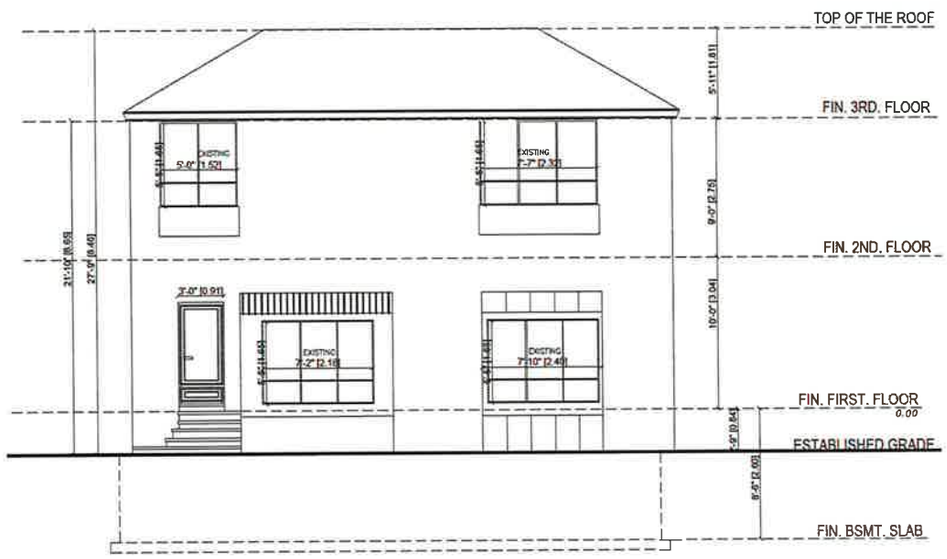
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED 'ISSUED FOR CONSTRUCTION'.
5. THE DRAWINGS ARE THE PROPERTY OF SAHAND HOMES INC. AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
6. THE DRAWINGS ARE NOT FOR CONSTRUCTION DRAWINGS. THE DRAWINGS HAVE BEEN ISSUED FOR PERMIT ONLY.

## EXISTING FRONT ELEVATION

SCALE 1/8"= 1'-0"

## EXISTING REAR ELEVATION

SCALE 1/8"= 1'-0"





SAHAND HOMES
Engineering Firm
9275 Bayview Ave.
PO Box 31334 Bayview 16th AVE PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL. (647) 701-0721


# 19 Tall Oaks Pl
Brampton, ON

| Drawing Title | EXISTING FRONT & REAR ELEVATIONS | | A-6 |
|---|---|---|---|
| Check by: SHERVIN FARZAM | Drawn by: DONIA ABASI | Scale: 1'-0" = 1/8" | Date: SEPTEMBER 2022 |

NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
5. THE DRAWINGS ARE THE PROPERTY OF SAHAND HOMES Inc. AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
6. THE DRAWINGS ARE NOT FOR CONSTRUCTION DRAWINGS. THE DRAWINGS HAVE BEEN ISSUED FOR PERMIT ONLY.

## PROPOSED FRONT ELEVATION

SCALE 1/8"= 1'-0"

## PROPOSED REAR ELEVATION

SCALE 1/8"= 1'-0"

SAHAND HOMES
Engineering Firm
9275 Bayview Ave.
PO Box 31334 Bayview 16th AVE PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL (647) 701-0721

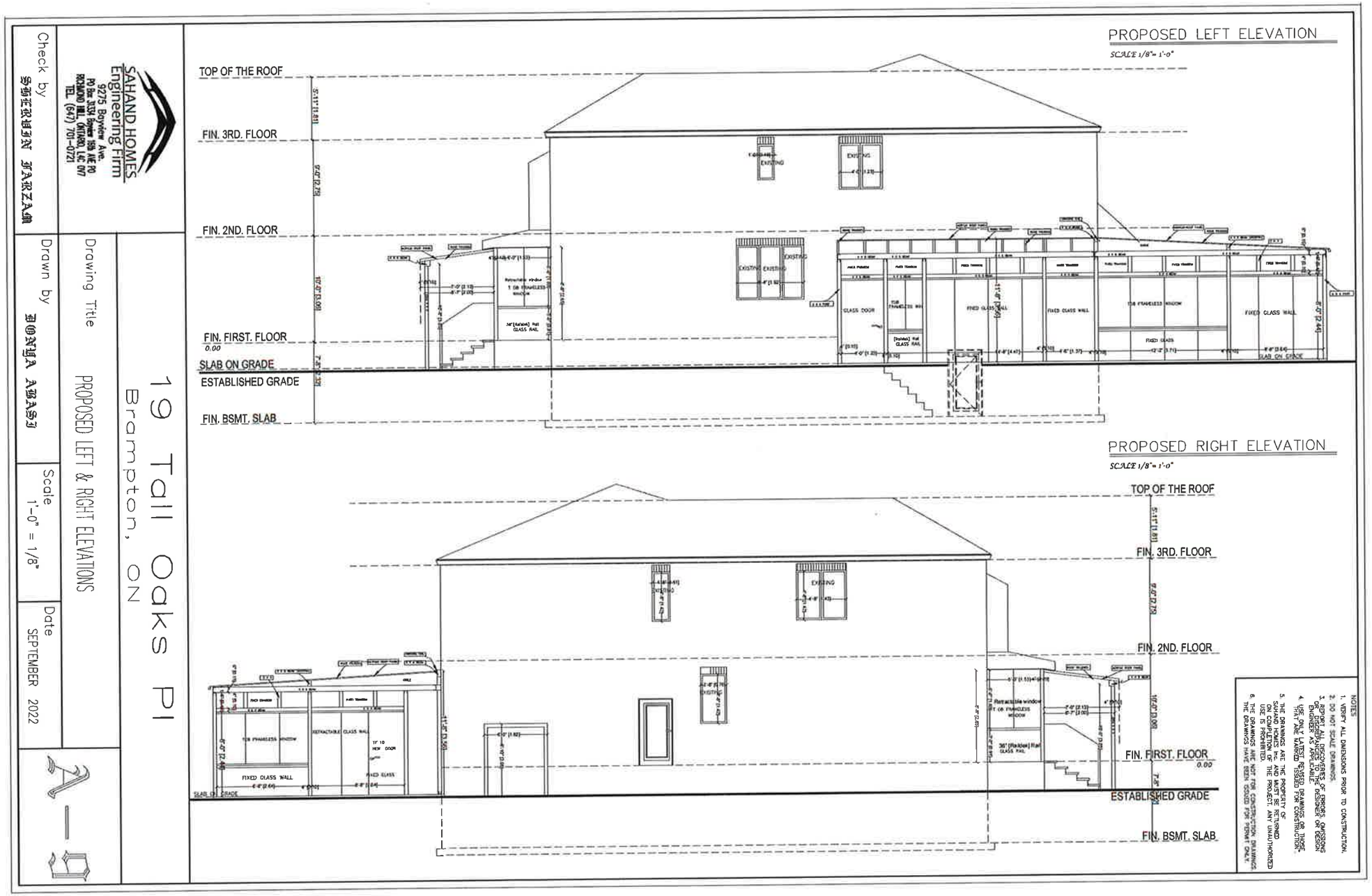
# 19 Tall Oaks Pl
Brampton, ON

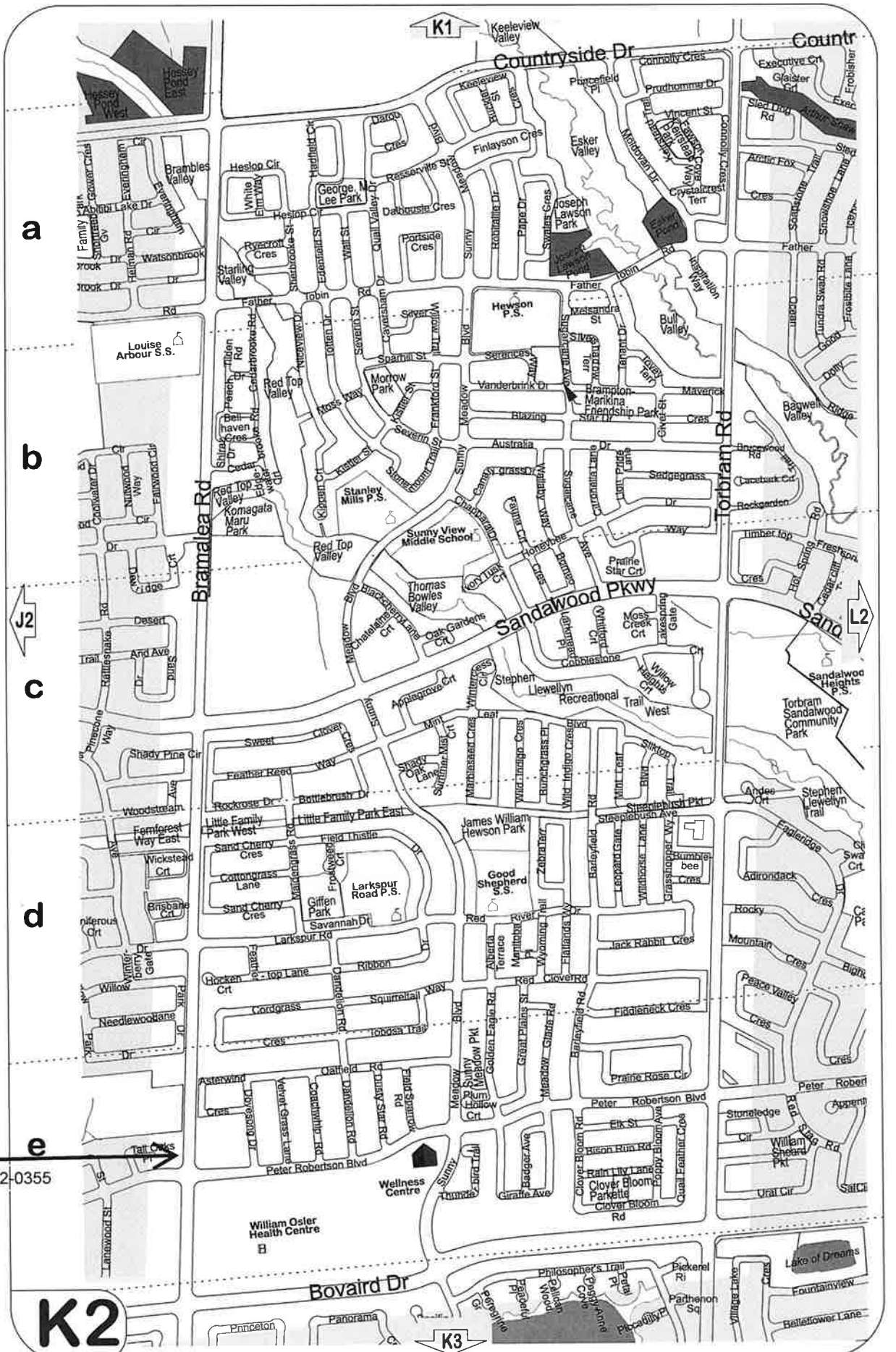
Drawing Title: PROPOSED FRONT & REAR ELEVATIONS

A-7

| Check by | Drawn by | Scale | Date |
|---|---|---|---|
| SHERVIN FARZAM | DONYA ABASI | 1'-0" = 1/8" | SEPTEMBER 2022 |

EXISTING LEFT ELEVATION
SCALE 1/8" = 1'-0"
TOP OF THE ROOF
FIN. 3RD. FLOOR
FIN. 2ND. FLOOR
FIN. FIRST. FLOOR
0.00
ESTABLISHED GRADE
FIN. BSMT. SLAB
EXISTING
EXISTING RIGHT ELEVATION
SCALE 1/8" = 1'-0"
TOP OF THE ROOF
FIN. 3RD. FLOOR
FIN. 2ND. FLOOR
FIN. FIRST. FLOOR
0.00
ESTABLISHED GRADE
FIN. BSMT. SLAB
EXISTING
NOTES
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
5. THE DRAWINGS ARE THE PROPERTY OF SAHAND HOMES Inc. AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
6. THE DRAWINGS ARE NOT FOR CONSTRUCTION DRAWINGS. THE DRAWINGS HAVE BEEN ISSUED FOR PERMIT ONLY.
SAHAND HOMES
Engineering Firm
9275 Bayview Ave.
PO Box 31334 Bayview 15th AVE PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL (647) 701-0721
Check by
SHERIJIN JARZAR
Drawing Title
EXISTING LEFT & RIGHT ELEVATIONS
Drawn by
DONYA ABASI
Scale
1'-0" = 1/8"
Date
SEPTEMBER 2022
19 Tall Oaks Pl
Brampton, ON
A-8


PROPOSED LEFT ELEVATION
SCALE 1/8"= 1'-0"
TOP OF THE ROOF
FIN. 3RD. FLOOR
FIN. 2ND. FLOOR
FIN. FIRST. FLOOR
0.00
SLAB ON GRADE
ESTABLISHED GRADE
FIN. BSMT. SLAB
PROPOSED RIGHT ELEVATION
SCALE 1/8"= 1'-0"
TOP OF THE ROOF
FIN. 3RD. FLOOR
FIN. 2ND. FLOOR
FIN. FIRST. FLOOR
0.00
ESTABLISHED GRADE
FIN. BSMT. SLAB
NOTES
1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCOVERIES OF ERRORS, OMISSIONS OR DISCREPANCIES TO THE DESIGNER OR DESIGN ENGINEER AS APPLICABLE.
4. USE ONLY LATEST REVISED DRAWINGS OR THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
5. THE DRAWINGS ARE THE PROPERTY OF SAHAND HOMES Inc. AND MUST BE RETURNED ON COMPLETION OF THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.
6. THE DRAWINGS ARE NOT FOR CONSTRUCTION DRAWINGS. THE DRAWINGS HAVE BEEN ISSUED FOR PERMIT ONLY.
SAHAND HOMES
Engineering Firm
9275 Bayview Ave.
PO Box 31334 Bayview 15th AVE PO
RICHMOND HILL, ONTARIO, L4C 0V7
TEL (647) 701-0721
Check by
Drawn by
Drawing Title
PROPOSED LEFT & RIGHT ELEVATIONS
19 Tall Oaks Pl
Brampton, ON
Scale
1'-0" = 1/8"
Date
SEPTEMBER 2022
A-9



K1
K2
K3
J2
L2
a
b
c
d
e
Countryside Dr
Bramalea Rd
Torbram Rd
Sandalwood Pkwy
Bovaird Dr
Hessey Pond East
Hessey Pond West
Esker Pond
Joseph Lawson Park
Joseph Lawson Pond
George M. Lee Park
Hewson P.S.
Louise Arbour S.S.
Red Top Valley
Morrow Park
Brampton-Marikina Friendship Park
Stanley Mills P.S.
Sunny View Middle School
Thomas Bowles Valley
Komagata Maru Park
Stephen Llewellyn Recreational Trail West
Sandalwood Heights P.S.
Torbram Sandalwood Community Park
Stephen Llewellyn Trail
James William Hewson Park
Good Shepherd S.S.
Larkspur Road P.S.
Little Family Park West
Little Family Park East
Giffen Park
Wellness Centre
William Osler Health Centre
Clover Bloom Parkette
Lake of Dreams
Bull Valley
Bagwell Valley
Brambles Valley
Starling Valley
Esker Valley
Keeleview Valley
Sunny Meadow Pkt
Peter Robertson Blvd
Lake of Dreams
A-2022-0355

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0356***
**WARD 3**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **1146966 ONTARIO LTD.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lots 1 and 2, Plan 518 municipally known as **63 EASTERN AVENUE,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a front yard setback of 1.5m (4.92 ft.) to a hydro transformer whereas the by-law requires a minimum front yard setback of 15 m (49.21 ft.);

2. To permit a side yard setback of 1.6m (5.25 ft.) to a hydro transformer whereas the by-law requires a minimum side yard depth of 3.0m (9.84 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

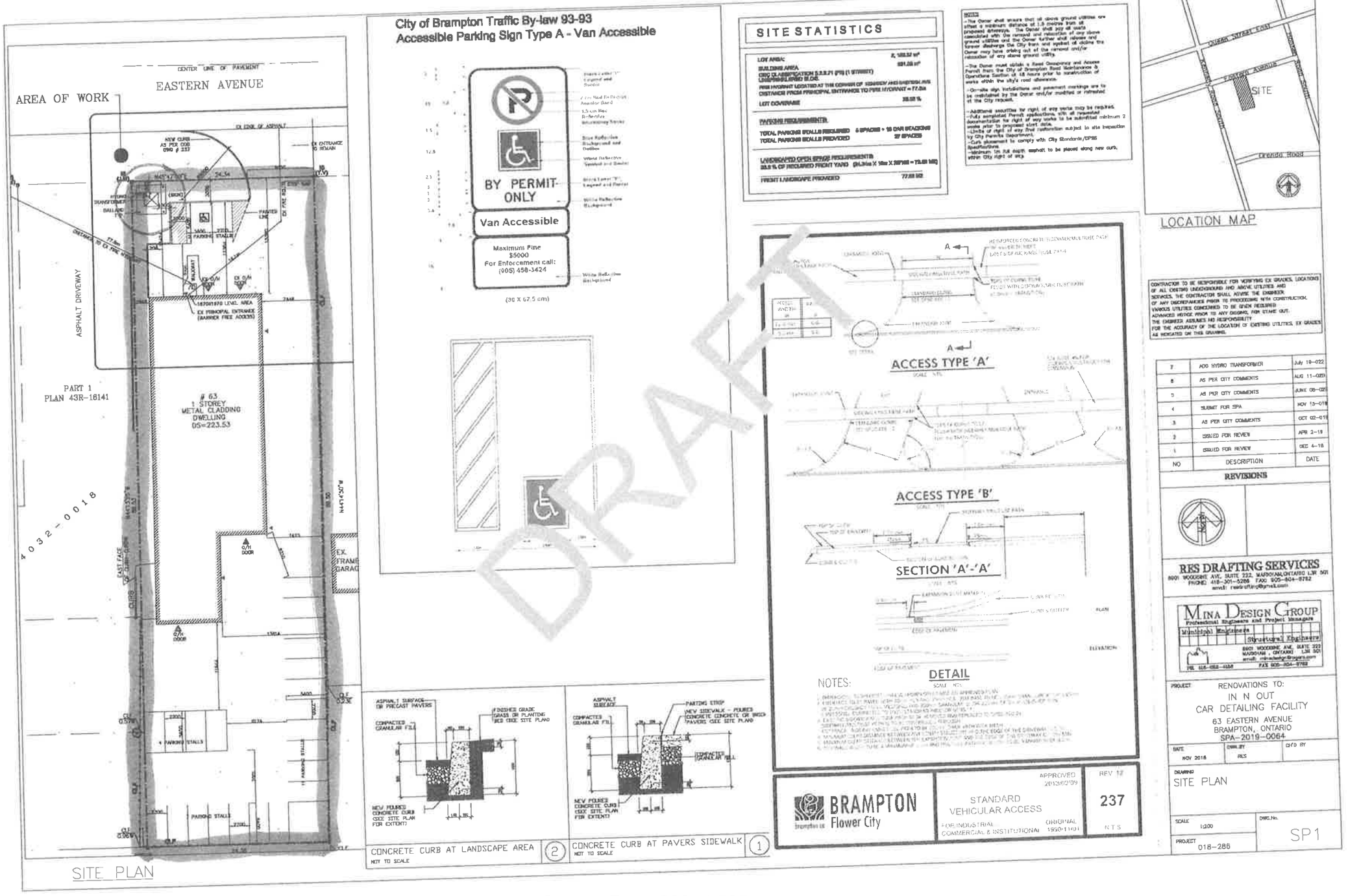
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca


City of Brampton Traffic By-law 93-93
Accessible Parking Sign Type A - Van Accessible
BY PERMIT ONLY
Van Accessible
Maximum Fine $5000
For Enforcement call: (905) 458-3424
(30 X 67.5 cm)
SITE STATISTICS
LOCATION MAP
EASTERN AVENUE
AREA OF WORK
ASPHALT DRIVEWAY
PART 1
PLAN 43R-16141
# 63
1 STOREY
METAL CLADDING
DWELLING
DS=223.53
4032-0018
SITE PLAN
CONCRETE CURB AT LANDSCAPE AREA
NOT TO SCALE
CONCRETE CURB AT PAVERS SIDEWALK
NOT TO SCALE
ACCESS TYPE 'A'
ACCESS TYPE 'B'
SECTION 'A'-'A'
DETAIL
NOTES:
BRAMPTON Flower City
STANDARD VEHICULAR ACCESS
FOR INDUSTRIAL COMMERCIAL & INSTITUTIONAL
APPROVED 2013/02/09
REV 12
237
NTS
REVISIONS
RES DRAFTING SERVICES
MINA DESIGN GROUP
RENOVATIONS TO:
IN N OUT
CAR DETAILING FACILITY
63 EASTERN AVENUE
BRAMPTON, ONTARIO
SPA-2019-0064
SITE PLAN
SP1
018-286
DRAFT

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

FILE NUMBER: A-2022-0356

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

## APPLICATION
## Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** Gurdeep Bhangal 1141866 ONTARIO LTD.
   **Address** 163 Eastern Ave, Brampton Ontario
   **Phone #** 416 285 6156 **Fax #**
   **Email** gurdeepbhangal@rogers.com

2. **Name of Agent** AGW Construction Corp
   **Address** 12626 Winston Churchill Blvd Halton Hills Ontario L7G0N7
   **Phone #** 416 676 0947 **Fax #**
   **Email** agwconstruction1010@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
   Requesting set back from buildings to be 45ft (13.716m) for new transformer & pad
   Front set back 1.5 SIDE set back 1.6m.

4. **Why is it not possible to comply with the provisions of the by-law?**
   The building only has 16.764 metre set back from property line. Transformer and pad would sit to close to exit door & garage door closing

5. **Legal Description of the subject land:**
   **Lot Number** 163 Eastern ~~AVE~~ AVE
   **Plan Number/Concession Number** Plan 518 A LOTS 1,2
   **Municipal Address**

6. **Dimension of subject land (in metric units)**
   **Frontage** 24.34 M
   **Depth** 88.50 M
   **Area** 2,156.37 M2

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| Provincial Highway | ☐ | Seasonal Road | ☐ |
| Municipal Road Maintained All Year | ☒ | Other Public Road | ☐ |
| Private Right-of-Way | ☐ | Water | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

581.03m2 ground floor area
581.03m2 gross floor area
1 ground storey
width 14.9352m, length 43.71438m. length 32.2478 4m
height 6.2788m.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

N/A.

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**
Front yard setback 15.424m
Rear yard setback 24.445m
Side yard setback 7.446m
Side yard setback 1.945m

**PROPOSED**
Front yard setback
Rear yard setback N/A
Side yard setback
Side yard setback

10. **Date of Acquisition of subject land:** May. 31, 2002.

11. **Existing uses of subject property:** Detail Car Center.

12. **Proposed uses of subject property:** Detail Car Center.

13. **Existing uses of abutting properties:** Car wash & towing pound.

14. **Date of construction of all buildings & structures on subject land:** Sept 1, 2021.

15. **Length of time the existing uses of the subject property have been continued:** _____

16. (a) **What water supply is existing/proposed?**
Municipal ☒ Other (specify) _____
Well ☐

(b) **What sewage disposal is/will be provided?**
Municipal ☒ Other (specify) _____
Septic ☐

(c ) **What storm drainage system is existing/proposed?**
Sewers ☐
Ditches ☒ Other (specify) _____
Swales ☐

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

Yes ☐ No ☒

**If answer is yes, provide details:** File # _____ Status _____

18. **Has a pre-consultation application been filed?**

Yes ☐ No ☒

19. **Has the subject property ever been the subject of an application for minor variance?**

Yes ☐ No ☒ Unknown ☐

**If answer is yes, provide details:**

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

_____
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton.
THIS 31 DAY OF Oct, 2022

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, ~~Gurdeep Bhangal~~ WALTER COSTA. OF THE City OF ~~Brampton~~ Terra Cotta.
IN THE ~~Province~~ OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 1st DAY OF
Nov., 2022

_____
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

_____
Signature of Applicant or Authorized Agent

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** HC1

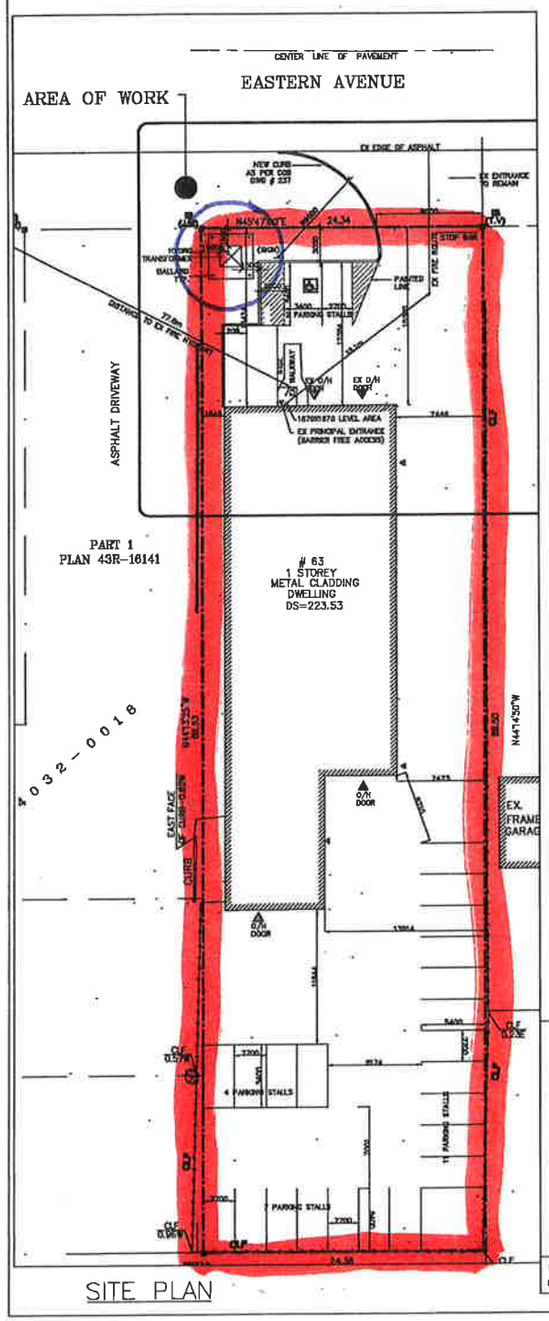
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

J.Chau
Zoning Officer

November 8, 2022
Date

**DATE RECEIVED** Nov. 1, 2022

Revised 2022/02/17




SITE PLAN

## City of Brampton Traffic By-law 93-93
## Accessible Parking Sign Type A - Van Accessible

## SITE STATISTICS

LOT AREA: [illegible] m²

BUILDING AREA [illegible] m²

OBC CLASSIFICATION 3.8.3.7 (H3) (1 STOREY)
UNSPRINKLERED BLDG.

FIRE HYDRANT LOCATED AT THE CORNER OF KENNEDY AND EASTERN AVE
DISTANCE FROM PRINCIPAL ENTRANCE TO FIRE HYDRANT = 77.0m

LOT COVERAGE [illegible] %

PARKING REQUIREMENTS:

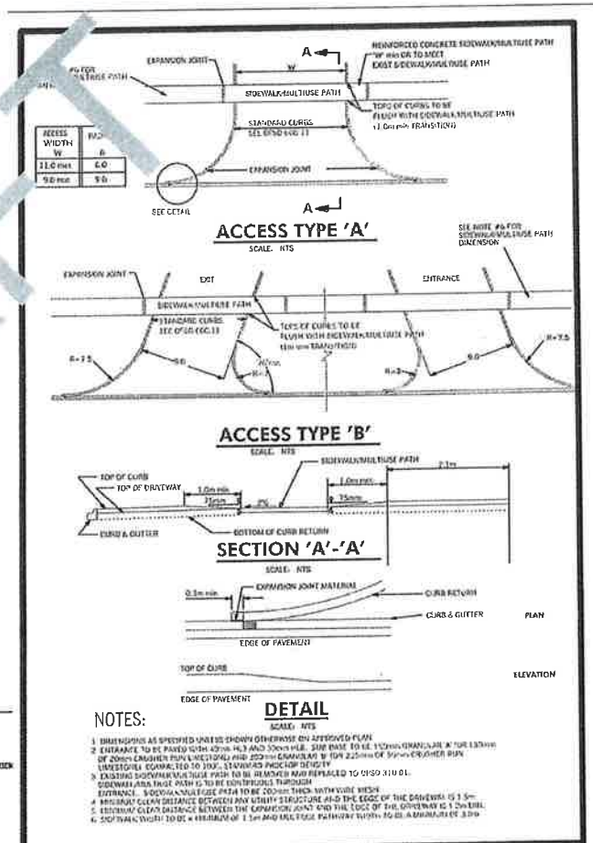
TOTAL PARKING STALLS REQUIRED 6 SPACES + 10 CAR STACKING
TOTAL PARKING STALLS PROVIDED 27 SPACES

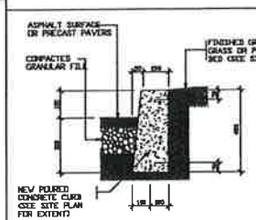
LANDSCAPED OPEN SPACE REQUIREMENTS:
[illegible] % OF REQUIRED FRONT YARD (24.38m X 10m X 30%) = 73.00 M2)

FRONT LANDSCAPE PROVIDED 77.00 M2

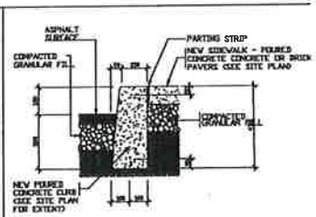
NOTES:
- The Owner shall ensure that all above ground utilities are offset a minimum distance of 1.5 metres from all proposed driveways. The Owner shall pay all costs associated with the removal and relocation of any above ground utilities and the Owner further shall relocate and forever discharge the City from and against all claims the Owner may have arising out of the removal and/or relocation of any above ground utility.
- The Owner must obtain a Road Occupancy and Access Permit from the City of Brampton Road Maintenance & Operations Section at 48 hours prior to construction of works within the city's road allowance.
- On-site sign installations and pavement markings are to be maintained by the Owner and/or modified or refreshed at the City request.
- Additional securities for right of way works may be required.
- Fully completed Permit applications, with all requested documentation for right of way works to be submitted minimum 2 weeks prior to proposed start date.
- Limits of right of way final restoration subject to site inspection by City Permits Department.
- Curb placement to comply with City Standards/OPSS Specifications.
- Minimum 1m full depth asphalt to be placed along new curb, within City right of way.

LOCATION MAP




CONCRETE CURB AT LANDSCAPE AREA (2) NOT TO SCALE




CONCRETE CURB AT PAVERS SIDEWALK (1) NOT TO SCALE

CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING EX GRADES, LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. THE CONTRACTOR SHALL ADVISE THE ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. VARIOUS UTILITIES CONCERNED TO BE GIVEN REQUIRED ADVANCED NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF EXISTING UTILITIES, EX GRADES AS INDICATED ON THIS DRAWING.

| NO | DESCRIPTION | DATE |
|---|---|---|
| 7 | ADD HYDRO TRANSFORMER | July 19-022 |
| 6 | AS PER CITY COMMENTS | AUG 11-020 |
| 5 | AS PER CITY COMMENTS | JUNE 05-020 |
| 4 | SUBMIT FOR SPA | NOV 19-018 |
| 3 | AS PER CITY COMMENTS | OCT 02-018 |
| 2 | ISSUED FOR REVIEW | APR 2-18 |
| 1 | ISSUED FOR REVIEW | DEC 4-18 |

REVISIONS

RRS DRAFTING SERVICES
8801 WOODBINE AVE, SUITE 222, MARKHAM, ONTARIO L3R 0G1
PHONE: 416-301-5264 FAX: 905-604-8762
email: rrsdrafting@gmail.com

MINA DESIGN GROUP
Professional Engineers and Project Managers
Municipal Engineers
Structural Engineers
8801 WOODBINE AVE, SUITE 223
MARKHAM, ONTARIO L3R 0G1
email: mdesign@rogers.com
TEL 416-852-4358 FAX 905-604-8762

PROJECT: RENOVATIONS TO:
IN N OUT
CAR DETAILING FACILITY
63 EASTERN AVENUE
BRAMPTON, ONTARIO
SPA-2019-0064

| DATE | DWN BY | CHK BY |
|---|---|---|
| NOV 2018 | RRS | |

DRAWING: SITE PLAN

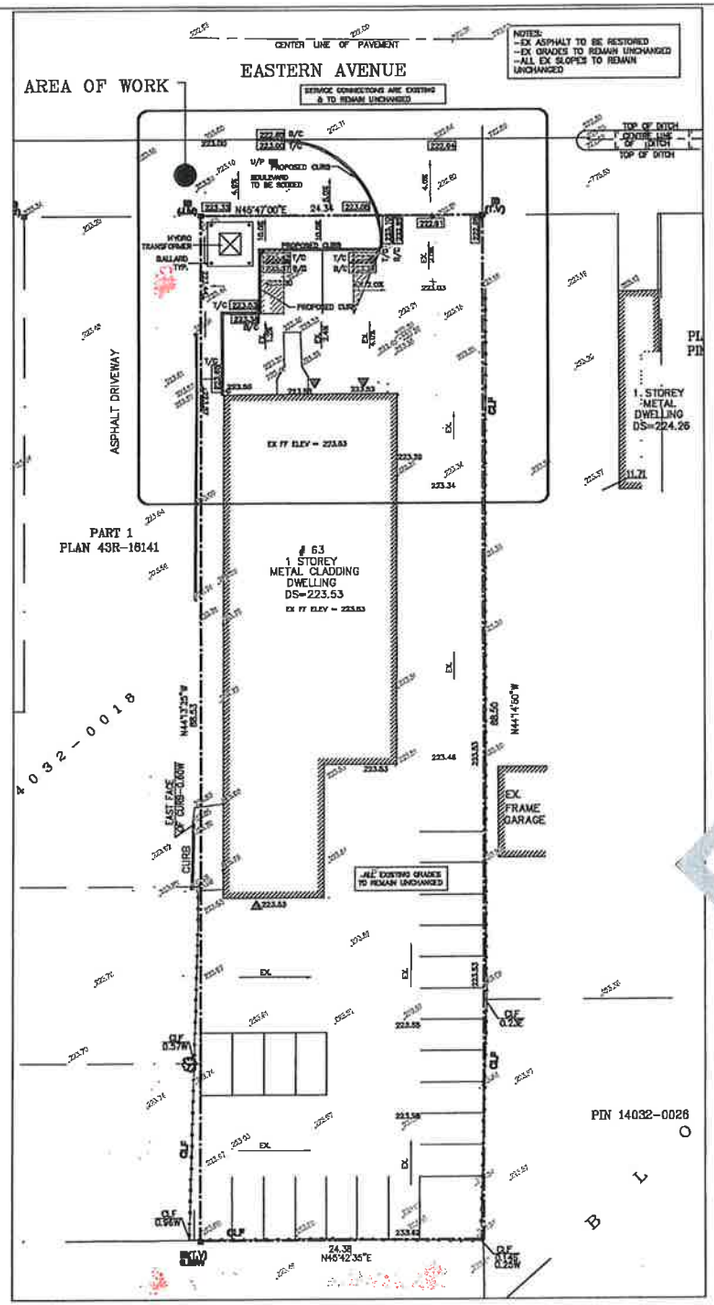
| SCALE | DWG No. |
|---|---|
| 1:200 | SP1 |

PROJECT 018-286

BRAMPTON Flower City
brampton.ca

APPROVED: 2013/09/09
REV. 12
STANDARD VEHICULAR ACCESS
237
FOR INDUSTRIAL, COMMERCIAL & INSTITUTIONAL
ORIGINAL: 1990/11/01
N.T.S

DRAFT




GENERAL NOTES

1.0 All the construction work for this project shall comply with the Standard Drawings and Specifications of the COB and the Ontario Provincial Standards and Specifications and Drawings (OPSS/D)

2.0 All surface drainage shall be collected and discharged at a location to be approved prior to the issuance of a building permit. Drainage of abutting properties shall not be adversely affected.

3.0 Preserved elevations along site property lines must match existing elevations.

4.0 A 2M fence as per COB Standard #408 must be placed around the perimeter of the site.

5.0 All ex entrances to the site, the road curb and sidewalk will be continuous through the driveway. The driveway grade will be compatible with the existing sidewalk and a curb depression will be provided for all such entrance. Access construction as per COB Standard #237.

6.0 Sidewalk to be removed and replaced as per O.P.S.D. 310.010.

7.0 The portion of the driveway within the municipal boulevard must be paved with 40mm HL3 and 50mm H.L. Sub Base to be 150mm Granular "A" (or 130mm of 20mm crusher run limestone) and 200mm Granular "B" (or 225mm of 50mm crusher run limestone) compacted to 100% standard Proctor density.

8.0 A utility clearance radius of 1.2 metres between the proposed driveway entrance curb return and all above ground utilities must be maintained.

9.0 Road occupancy / access permit must be obtained 48 hours prior to commencing any works within the municipal road allowance.

10.0 The service connection trench within the traveled portion of the road allowance shall be backfilled in accordance with the requirements of the road occupancy / access permit application.

11.0 Within the COB's right-of-way, storm sewers and storm sewer connections must be concrete, or approved equal, with type "B" bedding throughout. The strength of the concrete pipe must be as per COB Standard #311 and as follows: minimum 65-D for reinforced pipe and minimum 25 for non-reinforced pipe.

12.0 The minimum catch basin lead diameter allowed is 200mm.

13.0 Storm sewer pipes connecting to the COB's storm sewer shall not be smaller than 200mm.

14.0 All catch basin maintenance holes and maintenance holes with inlet control devices shall have a minimum 0.3 metre sump and top as per municipal standards.

15.0 Foundation drains shall not be connected to the storm sewer as per with stormwater management control.

16.0 It is the responsibility of the design engineering consulting firm to ensure that an elevation check of existing control plant is submitted when overhead cabling is present. Cables shall not be less than 4.7 metres from the highest point of the finished pavement to the lowest point of the cable directly above the pavement area to ensure clearances are met.

17.0 The building shall on this plan has been designed utilizing controlled flow roof drains in accordance with local municipal standards.

18.0 The owner's attention is drawn to the fact that the storm sewer being proposed underneath the building is not a recommended practice of the COB. It is the sole responsibility of the Owner to bear any costs to repair any damages to the storm sewer or settlement of the building foundation."

LOCATION MAP

CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING EX GRADES, LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. THE CONTRACTOR SHALL ADVISE THE ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. VARIOUS UTILITIES CONSENTED TO BE GIVEN REQUIRED ADVANCED NOTICE PRIOR TO ANY DIGGING FOR STAKE OUT. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF EXISTING UTILITIES, EX GRADES AS INDICATED ON THIS DRAWING.

| NO | DESCRIPTION | DATE |
|---|---|---|
| 7 | ADD HYDRO TRANSFORMER | July 19-022 |
| 6 | AS PER CITY COMMENTS | JUNE 30-02 |
| 5 | AS PER CITY COMMENTS | JUNE 06-02 |
| 4 | SUBMIT FOR SPA | NOV 15-01 |
| 3 | AS PER CITY COMMENTS | OCT 02-01 |
| 2 | ISSUED FOR REVIEW | APR 2-19 |
| 1 | ISSUED FOR REVIEW | DEC 4-18 |

REVISIONS

RES DRAFTING SERVICES
8901 WOODBINE AVE, SUITE 222, MARKHAM, ONTARIO L3R 9G1
PHONE: 416-301-8266 FAX: 905-604-8762
email: resdrafting@gmail.com

MINA DESIGN GROUP
Professional Engineers and Project Managers
Municipal Engineers
Structural Engineers
8901 WOODBINE AVE, SUITE 333
MARKHAM, ONTARIO L3R 9G1
TEL 416-882-4558 FAX 905-604-8762

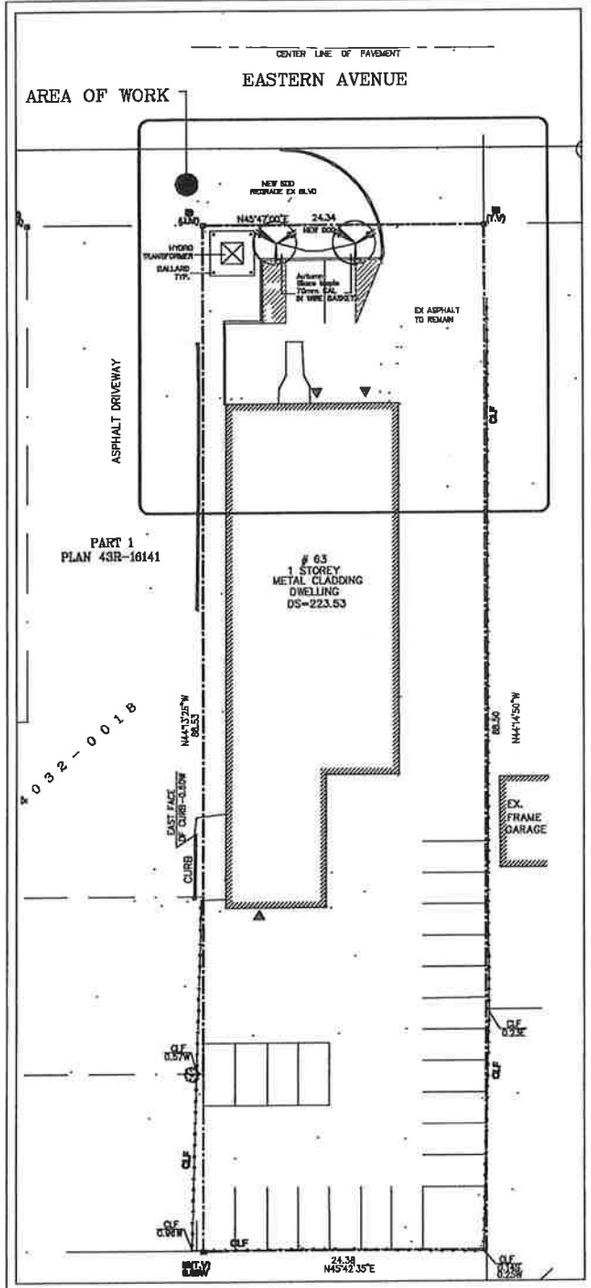
PROJECT: RENOVATIONS TO:
IN N OUT
CAR DETAILING FACILITY
63 EASTERN AVENUE
BRAMPTON, ONTARIO
SPA-2019-0064

| DATE | DWN BY | CHD BY |
|---|---|---|
| NOV 2018 | RES | |

DRAWING: GRADING / SERVICING PLAN

| SCALE | DWG No. |
|---|---|
| 1:200 | GR-1 |
| PROJECT 018-286 | |

DRAFT



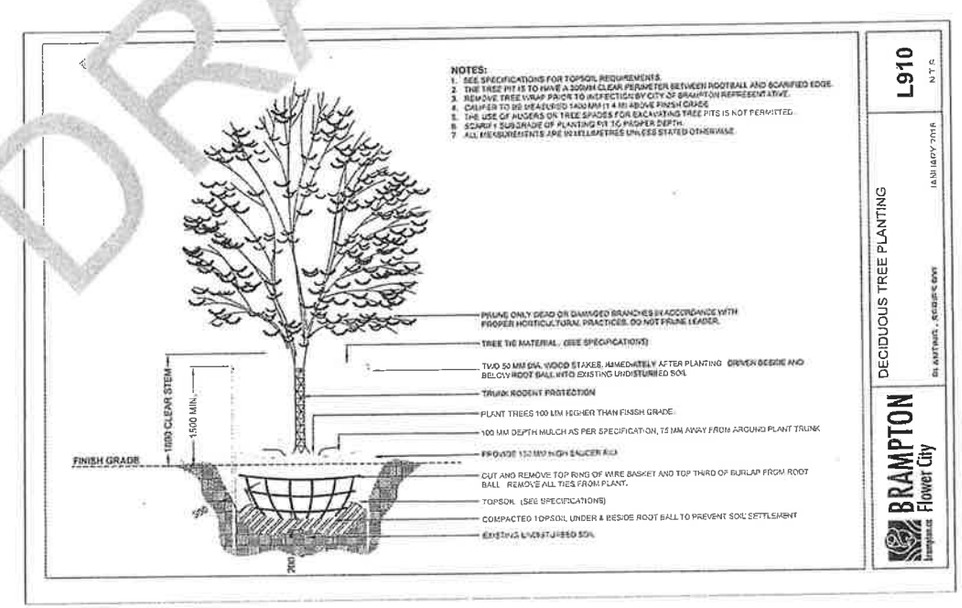

LANDSCAPE PLAN

CITY OF BRAMPTON
LANDSCAPE PLAN
APPROVED
subject to an agreement☐
On This____Day of_____
Allan Parsons
Director, Development Services

LOCATION MAP

CONTRACTOR TO BE RESPONSIBLE FOR VERIFYING EX GRADES, LOCATIONS OF ALL EXISTING UNDERGROUND AND ABOVE UTILITIES AND SERVICES. THE CONTRACTOR SHALL ADVISE THE ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. VARIOUS UTILITIES CONSIDERED TO BE GIVEN REQUIRED ADVANCED NOTICE PRIOR TO ANY DIGGING, FOR STAKE OUT. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE LOCATION OF EXISTING UTILITIES, EX GRADES AS INDICATED ON THIS DRAWING.

DRAFT




L910 N.T.S.

DECIDUOUS TREE PLANTING

BRAMPTON Flower City

| NO | DESCRIPTION | DATE |
|---|---|---|
| 7 | ADD HYDRO TRANSFORMER | July 19-022 |
| 6 | AS PER CITY COMMENTS | AUG 11-020 |
| 5 | AS PER CITY COMMENTS | JUNE 06-020 |
| 4 | SUBMIT FOR SPA | NOV 13-018 |
| 3 | AS PER CITY COMMENTS | OCT 02-018 |
| 2 | ISSUED FOR REVIEW | APR 2-18 |
| 1 | ISSUED FOR REVIEW | DEC 4-18 |

REVISIONS

RES DRAFTING SERVICES
8801 WOODBINE AVE, SUITE 222, MARKHAM, ONTARIO L3R 5G1
PHONE: 416-301-0256 FAX: 905-604-8762
email: resdrafting@gmail.com

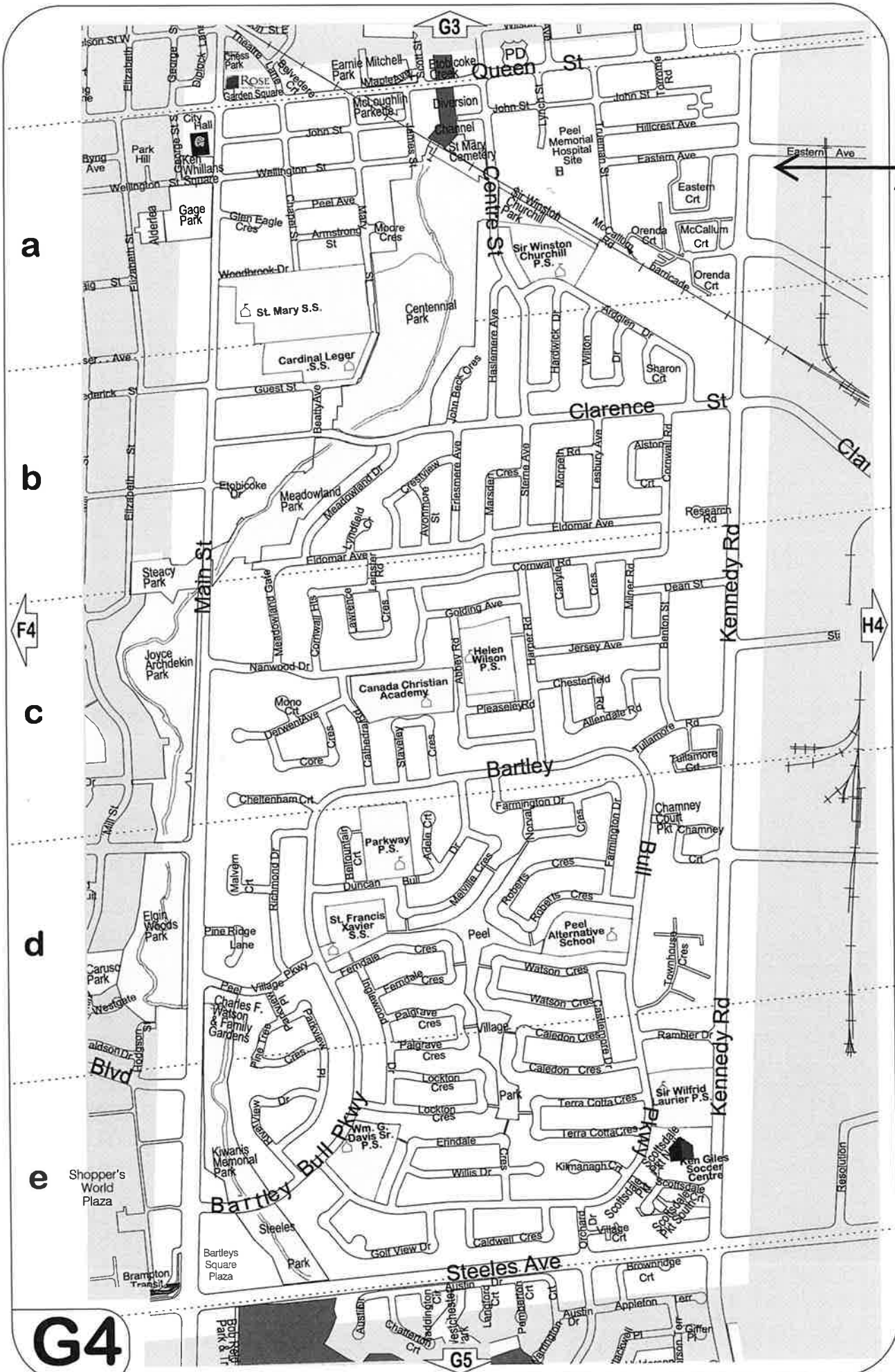
MINA DESIGN GROUP
Professional Engineers and Project Managers
Municipal Engineers
Structural Engineers
8801 WOODBINE AVE, SUITE 222
MARKHAM, ONTARIO L3R 5G1
email: mdesign@rogers.com
TEL 416-882-4558 FAX 905-604-8762

PROJECT: RENOVATIONS TO:
IN N OUT
CAR DETAILING FACILITY
63 EASTERN AVENUE
BRAMPTON, ONTARIO
SPA-2019-0064

| DATE | DWN. BY | CHK'D BY |
|---|---|---|
| NOV 2018 | RES | |

DRAWING: GRADING PLAN

| SCALE | DWG.No. |
|---|---|
| 1:200 | L-1 |
| PROJECT 018-288 | |


G3
Queen St
Centre St
Main St
Kennedy Rd
Clarence St
Eastern Ave
Bartley Bull Pkwy
Steeles Ave
G4
G5
F4
H4
a
b
c
d
e
A-2022-0356
City Hall
Ken Whillans Square
Gage Park
St. Mary S.S.
Cardinal Leger S.S.
Centennial Park
Sir Winston Churchill P.S.
Sir Winston Churchill Park
Peel Memorial Hospital Site
Meadowland Park
Steacy Park
Joyce Archdekin Park
Helen Wilson P.S.
Canada Christian Academy
Parkway P.S.
St. Francis Xavier S.S.
Peel Alternative School
Elgin Woods Park
Charles F. Watson Family Gardens
Kiwanis Memorial Park
Wm. G. Davis Sr. P.S.
Sir Wilfrid Laurier P.S.
Ken Giles Soccer Centre
Shopper's World Plaza
Bartleys Square Plaza
Bramalea Transit
Chamney Court Pkt
Scottsdale Park
Rambler Dr
Townhouse Cres
Brownridge Crt
Appleton Terr
Giffer Pl
Resolution
Eastern Crt
McCallum Crt
Orenda Crt
Sharon Crt
Research Rd
Tullamore Rd
Tullamore Crt
Jersey Ave
Chesterfield Rd
Allendale Rd
Golding Ave
Cornwall Rd
Eldomar Ave
Meadowland Dr
Nanwood Dr
Cheltenham Crt
Farmington Dr
Watson Cres
Caledon Cres
Terra Cotta Cres
Lockton Cres
Palgrave Cres
Ferndale Cres
Erindale
Willis Dr
Kilmanagh Cr
Golf View Dr
Caldwell Cres
Village Pkwy
Peel Village Pkwy
Pine Ridge Lane
Pine Tree Cres
Westgate
Caruso Park
Rose Garden Square
Theatre Lane
Belvedere Cres
Ernie Mitchell Park
Mapleton Ave
Etobicoke Creek
McLaughlin Parkette
Diversion Channel
St Mary Cemetery
Peel Ave
Glen Eagle Cres
Armstrong St
Moore Cres
Woodbrook Dr
Guest St
Beatty Ave
John Back Cres
Haslemere Ave
Hardwick Dr
Wilton Dr
Airdrien Dr
Barricade
Etobicoke Dr
Meadowland Gate
Cornwall Hts
Lawrence Cres
Abbey Rd
Harper Rd
Benton St
Milner Rd
Carlyle Cres
Alston Rd
Cornwall Rd
Morpath Rd
Lashbury Ave
Sienna Ave
Marsdan Cres
Eriesmere Ave
Avonmore St
Crestview Dr
Lyndfield Cr
Leister Rd
Mono Crt
Derwent Ave
Core Cres
Cathedral Rd
Stavelay Cres
Ballfountain Crt
Adelia Crt
Duncan Dr
Bull Melville Cres
Malvern Crt
Richmond Dr
Nonval Cres
Farmington Dr
Roberts Cres
Townsbrook Dr
Ferndale Cres
Palgrave Cres
Lockton Cres
Parkway Pl
Rambler Dr
Caledon Cres
Terra Cotta Cres
Scottsdale Park Sq
Scottsdale Rd
Orchard Dr
Village Crt
Austin Dr
Pemberton Crt
Langford Dr
Beddington Crt
Chatterton Crt
Farmington Dr
Kirk St
Elizabeth St
George St
Byng Ave
Wellington St
Alderlea
Park Hill
Bloor St W
Dundas St E

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0357***
**WARD 6**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **FARZIN HAKIMI LOTFABAD** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 4, Plan 43M-1924, Part 3, Plan 43R-35544 municipally known as **259 ROBERT PARKINSON DRIVE,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit a below grade entrance within a required interior side yard;

2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);

3. To permit an accessory structure (gazebo) having a gross floor area of 17.84 sq. m (192 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

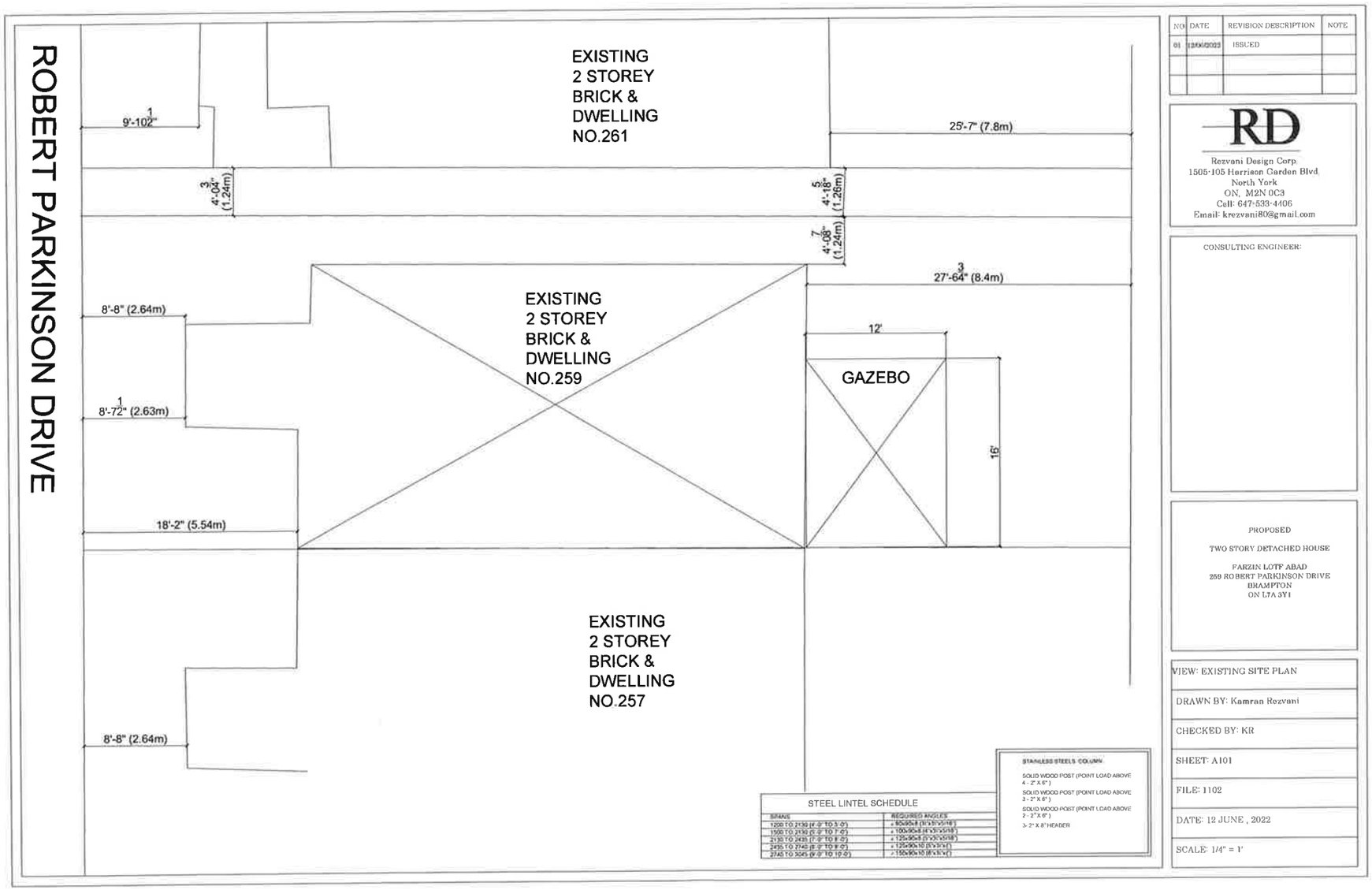
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca


ROBERT PARKINSON DRIVE
EXISTING
2 STOREY
BRICK &
DWELLING
NO.261
EXISTING
2 STOREY
BRICK &
DWELLING
NO.259
EXISTING
2 STOREY
BRICK &
DWELLING
NO.257
GAZEBO
9'-10 1/2"
3 4'-04" (1.24m)
5 4'-18" (1.26m)
7 4'-08" (1.24m)
25'-7" (7.8m)
3 27'-64" (8.4m)
12'
16'
8'-8" (2.64m)
1 8'-72" (2.63m)
18'-2" (5.54m)
8'-8" (2.64m)
STEEL LINTEL SCHEDULE
STAINLESS STEELS COLUMN
SOLID WOOD POST (POINT LOAD ABOVE 4 - 2" X 6")
SOLID WOOD POST (POINT LOAD ABOVE 3 - 2" X 6")
SOLID WOOD POST (POINT LOAD ABOVE 2 - 2" X 6")
3- 2" X 8" HEADER
NO
DATE
REVISION DESCRIPTION
NOTE
01
ISSUED
RD
Rezvani Design Corp.
1505-105 Harrison Garden Blvd.
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com
CONSULTING ENGINEER:
PROPOSED
TWO STORY DETACHED HOUSE
FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1
VIEW: EXISTING SITE PLAN
DRAWN BY: Kamran Rezvani
CHECKED BY: KR
SHEET: A101
FILE: 1102
DATE: 12 JUNE , 2022
SCALE: 1/4" = 1'

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

**AMENDMENT LETTER**

November 24, 2022

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE**
**FARZIN HAKIMI LOTFABAD**
**PART OF LOT 4, PLAN 43M-1924**
**A-2022-0357 – 259 ROBERT PARKINSON DRIVE**

---

Please **amend** application **A-2022-0357** to reflect the following:

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit a below grade entrance within a required interior side yard;

2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);

3. To permit an accessory structure (gazebo) having a gross floor area of 17.84 sq. m (192 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.).

K. R

Kamran Rezvani
Applicant/Authorized Agent

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer after application is deemed complete)
FILE NUMBER: A-2022-0357

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

## APPLICATION
## Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Farzin Hakimi Lotfabad
   **Address** 259 Robert Parkinson Drive Brampton Ontario, Canada L7A 3Y1
   **Phone #** (437) 234 - 5279 (437)234 5279 **Fax #**
   **Email** hakimi_farzin@hotmail.com

2. **Name of Agent** Kamran Rezvani
   **Address** 1505-105 Harrison Garden Boulevard, North York ON M2N0C3
   **Phone #** (647) 533-4408 **Fax #**
   **Email** krezvani80@gmail.com

3. **Nature and extent of relief applied for (variances requested):**
   Owner wants to have a side door which needs two steps goes below grade to access into the building
   the building department won't issue the permit unless committee of adjustment agrees onto it, because it is semi detach house
   but other neighbors got permit and they have done it.
   To permit a below grade entrance in the required side Yard, To Permit a 0.0 metere side yard set back to a below grade entrance

4. **Why is it not possible to comply with the provisions of the by-law?**
   Building department requires for the site doors to be over the ground if the door goes below the ground it needs to go to committe of adjustment to get permit for it otherwise they wont issue the permit to add a side door

5. **Legal Description of the subject land:** Part of lot 4, Plan 43M-1924, Being Part 3 on Plan 43R-35544, City of Brampton
   **Lot Number** Part of lot 4, plan 43M-1924, being part 3 on plan 43R-35544 City of brampton
   **Plan Number/Concession Number** Plan 43M-1924 Being Part on Plan 43R-35544
   **Municipal Address** 259 Robert Parkinson Drive, Brampton, ON

6. **Dimension of subject land (in metric units)**
   **Frontage** ~~8.65m~~ 8.65 m
   **Depth** ~~27m~~ 27.1 m
   **Area** ~~233.2m~~ 233.11 Squre Meter

7. **Access to the subject land is by:**
   **Provincial Highway** ☐ **Seasonal Road** ☐
   **Municipal Road Maintained All Year** ☐ **Other Public Road** ☐
   **Private Right-of-Way** ☐ **Water** ☐

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area: 97m
Gross Floor Area: 183m
Stories: 2
Width: 7.29m
Depth: 15.9m

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Build on March 2013

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 5.86m North left side and 5.54 North right side |
| **Rear yard setback** | 8.4m |
| **Side yard setback** | 1.27m Left Side |
| **Side yard setback** | Attached Right side |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | |
| **Rear yard setback** | |
| **Side yard setback** | |
| **Side yard setback** | |

10. **Date of Acquisition of subject land:** 2014

11. **Existing uses of subject property:** Residential

12. **Proposed uses of subject property:** Residential

13. **Existing uses of abutting properties:** Residential

14. **Date of construction of all buildings & structures on subject land:** 2013

15. **Length of time the existing uses of the subject property have been continued:** ~~2012~~ 9 Years

16. (a) **What water supply is existing/proposed?**

| | | |
|---|---|---|
| **Municipal** | ☑ | **Other (specify)** |
| **Well** | ☐ | |

(b) **What sewage disposal is/will be provided?**

| | | |
|---|---|---|
| **Municipal** | ☑ | **Other (specify)** |
| **Septic** | ☐ | |

(c ) **What storm drainage system is existing/proposed?**

| | | |
|---|---|---|
| **Sewers** | ☑ | |
| **Ditches** | ☐ | **Other (specify)** |
| **Swales** | ☐ | |

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

Yes ☐ No ☑

**If answer is yes, provide details:** File # _____ Status _____

18. **Has a pre-consultation application been filed?**

Yes ☐ No ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

Yes ☐ No ☑ Unknown ☐

**If answer is yes, provide details:**

| | | |
|---|---|---|
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |
| File # _____ | Decision _____ | Relief _____ |

K.R.

Signature of Applicant(s) or Authorized Agent

DATED AT THE 10 August,2022 OF _____

THIS 10 DAY OF August, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Kamran Rezvani, OF THE Owner OF Rezvani Design Corp.

IN THE _____ OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 10 3rd DAY OF

August Nov, 2022.

Jeanie Myers

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

K.R.

Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** R2E-7.2-2229

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

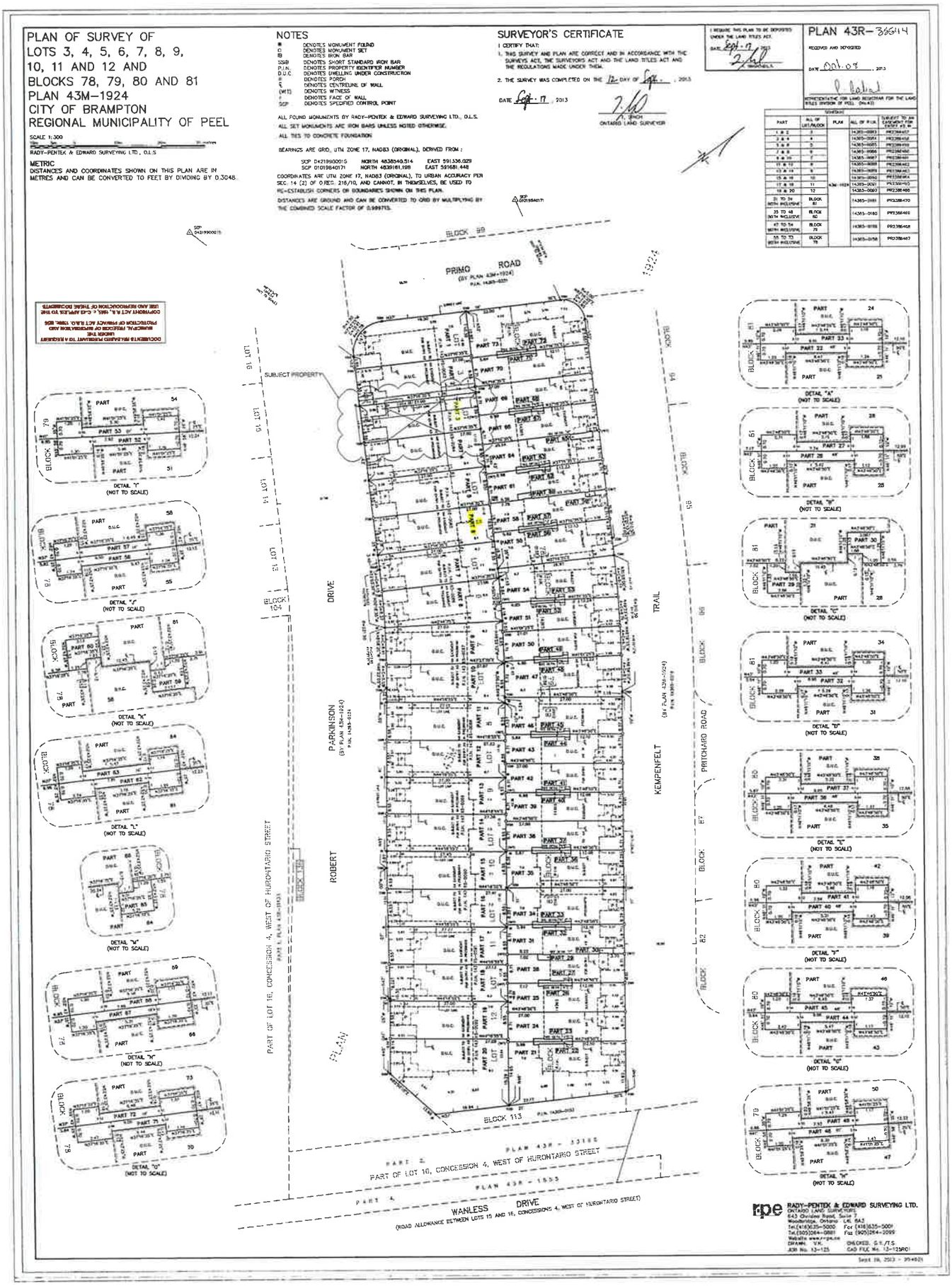
Zoning Officer

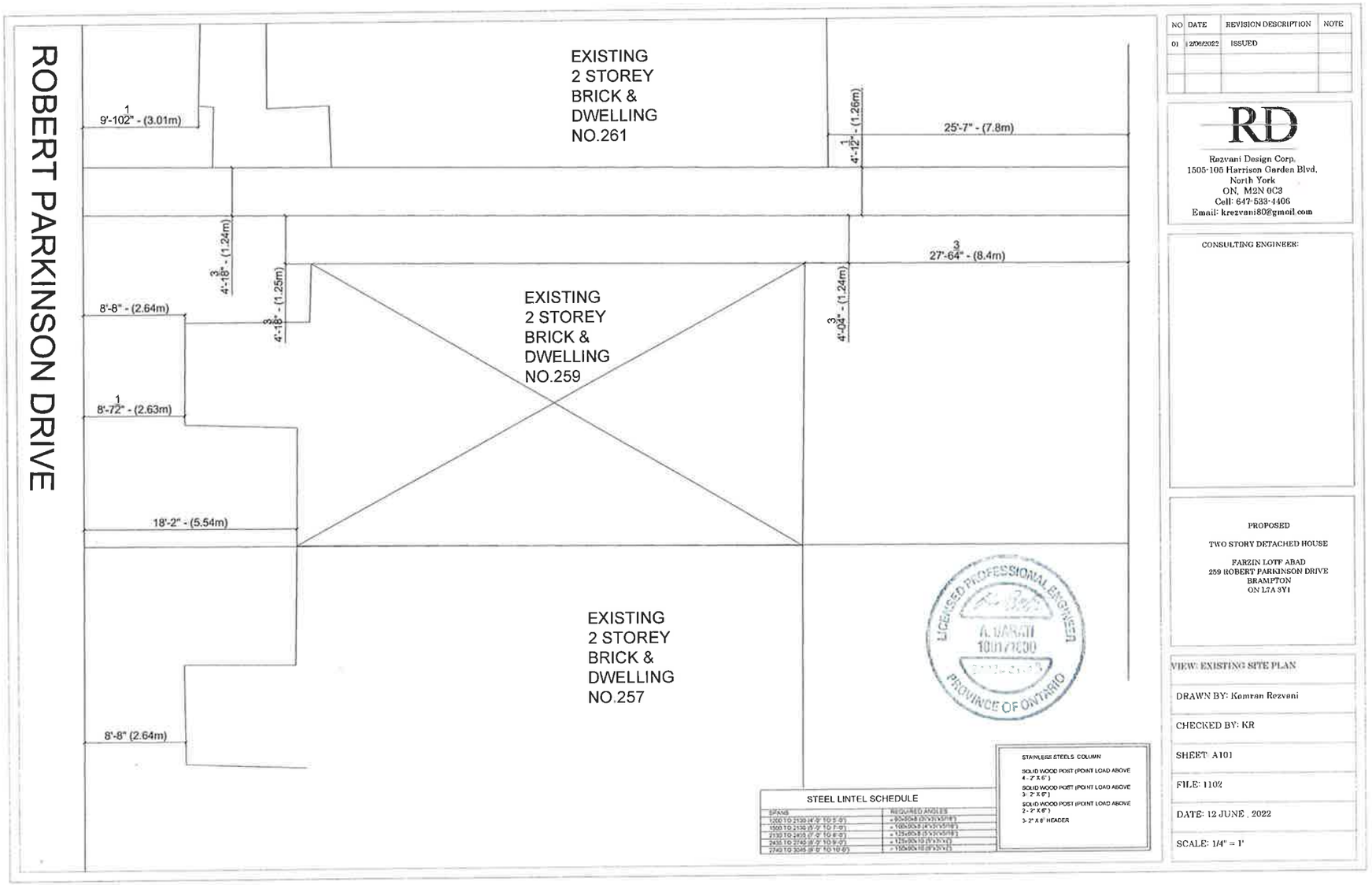
SEPT.27.22
Date

**DATE RECEIVED** November 3, 2022

**Date Application Deemed Complete by the Municipality** _____

Revised 2022/02/17


PLAN OF SURVEY OF
LOTS 3, 4, 5, 6, 7, 8, 9,
10, 11 AND 12 AND
BLOCKS 78, 79, 80 AND 81
PLAN 43M–1924
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE 1:300
RADY–PENTEK & EDWARD SURVEYING LTD., O.L.S
METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
NOTES
SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 12 DAY OF Sept., 2013
DATE Sept. 17, 2013
ONTARIO LAND SURVEYOR
I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE Sept. 17, 2013
SIGNATURE
PLAN 43R–36614
RECEIVED AND DEPOSITED
DATE OCT. 07, 2013
REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF PEEL (No.43)
SCHEDULE
PRIMO ROAD
(BY PLAN 43M–1924)
SUBJECT PROPERTY
BLOCK 99
BLOCK 94
BLOCK 93
BLOCK 92
BLOCK 87
BLOCK 82
BLOCK 104
BLOCK 113
LOT 11
LOT 12
DRIVE
TRAIL
PARKINSON
KEMPENFELT
ROBERT
PRITCHARD ROAD
PART OF LOT 16, CONCESSION 4, WEST OF HURONTARIO STREET
PLAN 43R – 33155
PART OF LOT 16, CONCESSION 4, WEST OF HURONTARIO STREET
PLAN 43R – 1555
WANLESS DRIVE
(ROAD ALLOWANCE BETWEEN LOTS 15 AND 16, CONCESSIONS 4, WEST OF HURONTARIO STREET)
DETAIL "A" (NOT TO SCALE)
DETAIL "B" (NOT TO SCALE)
DETAIL "C" (NOT TO SCALE)
DETAIL "D" (NOT TO SCALE)
DETAIL "E" (NOT TO SCALE)
DETAIL "F" (NOT TO SCALE)
DETAIL "G" (NOT TO SCALE)
DETAIL "H" (NOT TO SCALE)
DETAIL "J" (NOT TO SCALE)
DETAIL "K" (NOT TO SCALE)
DETAIL "L" (NOT TO SCALE)
DETAIL "M" (NOT TO SCALE)
DETAIL "N" (NOT TO SCALE)
DETAIL "P" (NOT TO SCALE)
DETAIL "Q" (NOT TO SCALE)
DETAIL "R" (NOT TO SCALE)
DETAIL "S" (NOT TO SCALE)
DETAIL "T" (NOT TO SCALE)
DETAIL "U" (NOT TO SCALE)
DETAIL "V" (NOT TO SCALE)
DETAIL "W" (NOT TO SCALE)
DETAIL "X" (NOT TO SCALE)
DETAIL "Y" (NOT TO SCALE)
DETAIL "Z" (NOT TO SCALE)
DETAIL "AA" (NOT TO SCALE)
DETAIL "AB" (NOT TO SCALE)
DETAIL "AC" (NOT TO SCALE)
DETAIL "AD" (NOT TO SCALE)
DETAIL "AE" (NOT TO SCALE)
DETAIL "AF" (NOT TO SCALE)
DETAIL "AG" (NOT TO SCALE)
DETAIL "AH" (NOT TO SCALE)
DETAIL "AJ" (NOT TO SCALE)
DETAIL "AK" (NOT TO SCALE)
DETAIL "AL" (NOT TO SCALE)
DETAIL "AM" (NOT TO SCALE)
DETAIL "AN" (NOT TO SCALE)
DETAIL "AP" (NOT TO SCALE)
DETAIL "AQ" (NOT TO SCALE)
DETAIL "AR" (NOT TO SCALE)
DETAIL "AS" (NOT TO SCALE)
DETAIL "AT" (NOT TO SCALE)
DETAIL "AU" (NOT TO SCALE)
DETAIL "AV" (NOT TO SCALE)
DETAIL "AW" (NOT TO SCALE)
DETAIL "AX" (NOT TO SCALE)
DETAIL "AY" (NOT TO SCALE)
DETAIL "AZ" (NOT TO SCALE)
DETAIL "BA" (NOT TO SCALE)
DETAIL "BB" (NOT TO SCALE)
DETAIL "BC" (NOT TO SCALE)
DETAIL "BD" (NOT TO SCALE)
DETAIL "BE" (NOT TO SCALE)
DETAIL "BF" (NOT TO SCALE)
DETAIL "BG" (NOT TO SCALE)
DETAIL "BH" (NOT TO SCALE)
DETAIL "BJ" (NOT TO SCALE)
DETAIL "BK" (NOT TO SCALE)
DETAIL "BL" (NOT TO SCALE)
DETAIL "BM" (NOT TO SCALE)
DETAIL "BN" (NOT TO SCALE)
DETAIL "BP" (NOT TO SCALE)
DETAIL "BQ" (NOT TO SCALE)
DETAIL "BR" (NOT TO SCALE)
DETAIL "BS" (NOT TO SCALE)
DETAIL "BT" (NOT TO SCALE)
DETAIL "BU" (NOT TO SCALE)
DETAIL "BV" (NOT TO SCALE)
DETAIL "BW" (NOT TO SCALE)
DETAIL "BX" (NOT TO SCALE)
DETAIL "BY" (NOT TO SCALE)
DETAIL "BZ" (NOT TO SCALE)
DETAIL "CA" (NOT TO SCALE)
DETAIL "CB" (NOT TO SCALE)
DETAIL "CC" (NOT TO SCALE)
DETAIL "CD" (NOT TO SCALE)
DETAIL "CE" (NOT TO SCALE)
DETAIL "CF" (NOT TO SCALE)
DETAIL "CG" (NOT TO SCALE)
DETAIL "CH" (NOT TO SCALE)
DETAIL "CJ" (NOT TO SCALE)
DETAIL "CK" (NOT TO SCALE)
DETAIL "CL" (NOT TO SCALE)
DETAIL "CM" (NOT TO SCALE)
DETAIL "CN" (NOT TO SCALE)
DETAIL "CP" (NOT TO SCALE)
DETAIL "CQ" (NOT TO SCALE)
DETAIL "CR" (NOT TO SCALE)
DETAIL "CS" (NOT TO SCALE)
DETAIL "CT" (NOT TO SCALE)
DETAIL "CU" (NOT TO SCALE)
DETAIL "CV" (NOT TO SCALE)
DETAIL "CW" (NOT TO SCALE)
DETAIL "CX" (NOT TO SCALE)
DETAIL "CY" (NOT TO SCALE)
DETAIL "CZ" (NOT TO SCALE)
DETAIL "DA" (NOT TO SCALE)
DETAIL "DB" (NOT TO SCALE)
DETAIL "DC" (NOT TO SCALE)
DETAIL "DD" (NOT TO SCALE)
DETAIL "DE" (NOT TO SCALE)
DETAIL "DF" (NOT TO SCALE)
DETAIL "DG" (NOT TO SCALE)
DETAIL "DH" (NOT TO SCALE)
DETAIL "DJ" (NOT TO SCALE)
DETAIL "DK" (NOT TO SCALE)
DETAIL "DL" (NOT TO SCALE)
DETAIL "DM" (NOT TO SCALE)
DETAIL "DN" (NOT TO SCALE)
DETAIL "DP" (NOT TO SCALE)
DETAIL "DQ" (NOT TO SCALE)
DETAIL "DR" (NOT TO SCALE)
DETAIL "DS" (NOT TO SCALE)
DETAIL "DT" (NOT TO SCALE)
DETAIL "DU" (NOT TO SCALE)
DETAIL "DV" (NOT TO SCALE)
DETAIL "DW" (NOT TO SCALE)
DETAIL "DX" (NOT TO SCALE)
DETAIL "DY" (NOT TO SCALE)
DETAIL "DZ" (NOT TO SCALE)
DETAIL "EA" (NOT TO SCALE)
DETAIL "EB" (NOT TO SCALE)
DETAIL "EC" (NOT TO SCALE)
DETAIL "ED" (NOT TO SCALE)
DETAIL "EE" (NOT TO SCALE)
DETAIL "EF" (NOT TO SCALE)
DETAIL "EG" (NOT TO SCALE)
DETAIL "EH" (NOT TO SCALE)
DETAIL "EJ" (NOT TO SCALE)
DETAIL "EK" (NOT TO SCALE)
DETAIL "EL" (NOT TO SCALE)
DETAIL "EM" (NOT TO SCALE)
DETAIL "EN" (NOT TO SCALE)
DETAIL "EP" (NOT TO SCALE)
DETAIL "EQ" (NOT TO SCALE)
DETAIL "ER" (NOT TO SCALE)
DETAIL "ES" (NOT TO SCALE)
DETAIL "ET" (NOT TO SCALE)
DETAIL "EU" (NOT TO SCALE)
DETAIL "EV" (NOT TO SCALE)
DETAIL "EW" (NOT TO SCALE)
DETAIL "EX" (NOT TO SCALE)
DETAIL "EY" (NOT TO SCALE)
DETAIL "EZ" (NOT TO SCALE)
DETAIL "FA" (NOT TO SCALE)
DETAIL "FB" (NOT TO SCALE)
DETAIL "FC" (NOT TO SCALE)
DETAIL "FD" (NOT TO SCALE)
DETAIL "FE" (NOT TO SCALE)
DETAIL "FF" (NOT TO SCALE)
DETAIL "FG" (NOT TO SCALE)
DETAIL "FH" (NOT TO SCALE)
DETAIL "FJ" (NOT TO SCALE)
DETAIL "FK" (NOT TO SCALE)
DETAIL "FL" (NOT TO SCALE)
DETAIL "FM" (NOT TO SCALE)
DETAIL "FN" (NOT TO SCALE)
DETAIL "FP" (NOT TO SCALE)
DETAIL "FQ" (NOT TO SCALE)
DETAIL "FR" (NOT TO SCALE)
DETAIL "FS" (NOT TO SCALE)
DETAIL "FT" (NOT TO SCALE)
DETAIL "FU" (NOT TO SCALE)
DETAIL "FV" (NOT TO SCALE)
DETAIL "FW" (NOT TO SCALE)
DETAIL "FX" (NOT TO SCALE)
DETAIL "FY" (NOT TO SCALE)
DETAIL "FZ" (NOT TO SCALE)
DETAIL "GA" (NOT TO SCALE)
DETAIL "GB" (NOT TO SCALE)
DETAIL "GC" (NOT TO SCALE)
DETAIL "GD" (NOT TO SCALE)
DETAIL "GE" (NOT TO SCALE)
DETAIL "GF" (NOT TO SCALE)
DETAIL "GG" (NOT TO SCALE)
DETAIL "GH" (NOT TO SCALE)
DETAIL "GJ" (NOT TO SCALE)
DETAIL "GK" (NOT TO SCALE)
DETAIL "GL" (NOT TO SCALE)
DETAIL "GM" (NOT TO SCALE)
DETAIL "GN" (NOT TO SCALE)
DETAIL "GP" (NOT TO SCALE)
DETAIL "GQ" (NOT TO SCALE)
DETAIL "GR" (NOT TO SCALE)
DETAIL "GS" (NOT TO SCALE)
DETAIL "GT" (NOT TO SCALE)
DETAIL "GU" (NOT TO SCALE)
DETAIL "GV" (NOT TO SCALE)
DETAIL "GW" (NOT TO SCALE)
DETAIL "GX" (NOT TO SCALE)
DETAIL "GY" (NOT TO SCALE)
DETAIL "GZ" (NOT TO SCALE)
DETAIL "HA" (NOT TO SCALE)
DETAIL "HB" (NOT TO SCALE)
DETAIL "HC" (NOT TO SCALE)
DETAIL "HD" (NOT TO SCALE)
DETAIL "HE" (NOT TO SCALE)
DETAIL "HF" (NOT TO SCALE)
DETAIL "HG" (NOT TO SCALE)
DETAIL "HH" (NOT TO SCALE)
DETAIL "HJ" (NOT TO SCALE)
DETAIL "HK" (NOT TO SCALE)
DETAIL "HL" (NOT TO SCALE)
DETAIL "HM" (NOT TO SCALE)
DETAIL "HN" (NOT TO SCALE)
DETAIL "HP" (NOT TO SCALE)
DETAIL "HQ" (NOT TO SCALE)
DETAIL "HR" (NOT TO SCALE)
DETAIL "HS" (NOT TO SCALE)
DETAIL "HT" (NOT TO SCALE)
DETAIL "HU" (NOT TO SCALE)
DETAIL "HV" (NOT TO SCALE)
DETAIL "HW" (NOT TO SCALE)
DETAIL "HX" (NOT TO SCALE)
DETAIL "HY" (NOT TO SCALE)
DETAIL "HZ" (NOT TO SCALE)
DETAIL "JA" (NOT TO SCALE)
DETAIL "JB" (NOT TO SCALE)
DETAIL "JC" (NOT TO SCALE)
DETAIL "JD" (NOT TO SCALE)
DETAIL "JE" (NOT TO SCALE)
DETAIL "JF" (NOT TO SCALE)
DETAIL "JG" (NOT TO SCALE)
DETAIL "JH" (NOT TO SCALE)
DETAIL "JJ" (NOT TO SCALE)
DETAIL "JK" (NOT TO SCALE)
DETAIL "JL" (NOT TO SCALE)
DETAIL "JM" (NOT TO SCALE)
DETAIL "JN" (NOT TO SCALE)
DETAIL "JP" (NOT TO SCALE)
DETAIL "JQ" (NOT TO SCALE)
DETAIL "JR" (NOT TO SCALE)
DETAIL "JS" (NOT TO SCALE)
DETAIL "JT" (NOT TO SCALE)
DETAIL "JU" (NOT TO SCALE)
DETAIL "JV" (NOT TO SCALE)
DETAIL "JW" (NOT TO SCALE)
DETAIL "JX" (NOT TO SCALE)
DETAIL "JY" (NOT TO SCALE)
DETAIL "JZ" (NOT TO SCALE)
DETAIL "KA" (NOT TO SCALE)
DETAIL "KB" (NOT TO SCALE)
DETAIL "KC" (NOT TO SCALE)
DETAIL "KD" (NOT TO SCALE)
DETAIL "KE" (NOT TO SCALE)
DETAIL "KF" (NOT TO SCALE)
DETAIL "KG" (NOT TO SCALE)
DETAIL "KH" (NOT TO SCALE)
DETAIL "KJ" (NOT TO SCALE)
DETAIL "KK" (NOT TO SCALE)
DETAIL "KL" (NOT TO SCALE)
DETAIL "KM" (NOT TO SCALE)
DETAIL "KN" (NOT TO SCALE)
DETAIL "KP" (NOT TO SCALE)
DETAIL "KQ" (NOT TO SCALE)
DETAIL "KR" (NOT TO SCALE)
DETAIL "KS" (NOT TO SCALE)
DETAIL "KT" (NOT TO SCALE)
DETAIL "KU" (NOT TO SCALE)
DETAIL "KV" (NOT TO SCALE)
DETAIL "KW" (NOT TO SCALE)
DETAIL "KX" (NOT TO SCALE)
DETAIL "KY" (NOT TO SCALE)
DETAIL "KZ" (NOT TO SCALE)
DETAIL "LA" (NOT TO SCALE)
DETAIL "LB" (NOT TO SCALE)
DETAIL "LC" (NOT TO SCALE)
DETAIL "LD" (NOT TO SCALE)
DETAIL "LE" (NOT TO SCALE)
DETAIL "LF" (NOT TO SCALE)
DETAIL "LG" (NOT TO SCALE)
DETAIL "LH" (NOT TO SCALE)
DETAIL "LJ" (NOT TO SCALE)
DETAIL "LK" (NOT TO SCALE)
DETAIL "LL" (NOT TO SCALE)
DETAIL "LM" (NOT TO SCALE)
DETAIL "LN" (NOT TO SCALE)
DETAIL "LP" (NOT TO SCALE)
DETAIL "LQ" (NOT TO SCALE)
DETAIL "LR" (NOT TO SCALE)
DETAIL "LS" (NOT TO SCALE)
DETAIL "LT" (NOT TO SCALE)
DETAIL "LU" (NOT TO SCALE)
DETAIL "LV" (NOT TO SCALE)
DETAIL "LW" (NOT TO SCALE)
DETAIL "LX" (NOT TO SCALE)
DETAIL "LY" (NOT TO SCALE)
DETAIL "LZ" (NOT TO SCALE)
DETAIL "MA" (NOT TO SCALE)
DETAIL "MB" (NOT TO SCALE)
DETAIL "MC" (NOT TO SCALE)
DETAIL "MD" (NOT TO SCALE)
DETAIL "ME" (NOT TO SCALE)
DETAIL "MF" (NOT TO SCALE)
DETAIL "MG" (NOT TO SCALE)
DETAIL "MH" (NOT TO SCALE)
DETAIL "MJ" (NOT TO SCALE)
DETAIL "MK" (NOT TO SCALE)
DETAIL "ML" (NOT TO SCALE)
DETAIL "MM" (NOT TO SCALE)
DETAIL "MN" (NOT TO SCALE)
DETAIL "MP" (NOT TO SCALE)
DETAIL "MQ" (NOT TO SCALE)
DETAIL "MR" (NOT TO SCALE)
DETAIL "MS" (NOT TO SCALE)
DETAIL "MT" (NOT TO SCALE)
DETAIL "MU" (NOT TO SCALE)
DETAIL "MV" (NOT TO SCALE)
DETAIL "MW" (NOT TO SCALE)
DETAIL "MX" (NOT TO SCALE)
DETAIL "MY" (NOT TO SCALE)
DETAIL "MZ" (NOT TO SCALE)
DETAIL "NA" (NOT TO SCALE)
DETAIL "NB" (NOT TO SCALE)
DETAIL "NC" (NOT TO SCALE)
DETAIL "ND" (NOT TO SCALE)
DETAIL "NE" (NOT TO SCALE)
DETAIL "NF" (NOT TO SCALE)
DETAIL "NG" (NOT TO SCALE)
DETAIL "NH" (NOT TO SCALE)
DETAIL "NJ" (NOT TO SCALE)
DETAIL "NK" (NOT TO SCALE)
DETAIL "NL" (NOT TO SCALE)
DETAIL "NM" (NOT TO SCALE)
DETAIL "NN" (NOT TO SCALE)
DETAIL "NP" (NOT TO SCALE)
DETAIL "NQ" (NOT TO SCALE)
DETAIL "NR" (NOT TO SCALE)
DETAIL "NS" (NOT TO SCALE)
DETAIL "NT" (NOT TO SCALE)
DETAIL "NU" (NOT TO SCALE)
DETAIL "NV" (NOT TO SCALE)
DETAIL "NW" (NOT TO SCALE)
DETAIL "NX" (NOT TO SCALE)
DETAIL "NY" (NOT TO SCALE)
DETAIL "NZ" (NOT TO SCALE)
DETAIL "PA" (NOT TO SCALE)
DETAIL "PB" (NOT TO SCALE)
DETAIL "PC" (NOT TO SCALE)
DETAIL "PD" (NOT TO SCALE)
DETAIL "PE" (NOT TO SCALE)
DETAIL "PF" (NOT TO SCALE)
DETAIL "PG" (NOT TO SCALE)
DETAIL "PH" (NOT TO SCALE)
DETAIL "PJ" (NOT TO SCALE)
DETAIL "PK" (NOT TO SCALE)
DETAIL "PL" (NOT TO SCALE)
DETAIL "PM" (NOT TO SCALE)
DETAIL "PN" (NOT TO SCALE)
DETAIL "PP" (NOT TO SCALE)
DETAIL "PQ" (NOT TO SCALE)
DETAIL "PR" (NOT TO SCALE)
DETAIL "PS" (NOT TO SCALE)
DETAIL "PT" (NOT TO SCALE)
DETAIL "PU" (NOT TO SCALE)
DETAIL "PV" (NOT TO SCALE)
DETAIL "PW" (NOT TO SCALE)
DETAIL "PX" (NOT TO SCALE)
DETAIL "PY" (NOT TO SCALE)
DETAIL "PZ" (NOT TO SCALE)
DETAIL "QA" (NOT TO SCALE)
DETAIL "QB" (NOT TO SCALE)
DETAIL "QC" (NOT TO SCALE)
DETAIL "QD" (NOT TO SCALE)
DETAIL "QE" (NOT TO SCALE)
DETAIL "QF" (NOT TO SCALE)
DETAIL "QG" (NOT TO SCALE)
DETAIL "QH" (NOT TO SCALE)
DETAIL "QJ" (NOT TO SCALE)
DETAIL "QK" (NOT TO SCALE)
DETAIL "QL" (NOT TO SCALE)
DETAIL "QM" (NOT TO SCALE)
DETAIL "QN" (NOT TO SCALE)
DETAIL "QP" (NOT TO SCALE)
DETAIL "QQ" (NOT TO SCALE)
DETAIL "QR" (NOT TO SCALE)
DETAIL "QS" (NOT TO SCALE)
DETAIL "QT" (NOT TO SCALE)
DETAIL "QU" (NOT TO SCALE)
DETAIL "QV" (NOT TO SCALE)
DETAIL "QW" (NOT TO SCALE)
DETAIL "QX" (NOT TO SCALE)
DETAIL "QY" (NOT TO SCALE)
DETAIL "QZ" (NOT TO SCALE)
DETAIL "RA" (NOT TO SCALE)
DETAIL "RB" (NOT TO SCALE)
DETAIL "RC" (NOT TO SCALE)
DETAIL "RD" (NOT TO SCALE)
DETAIL "RE" (NOT TO SCALE)
DETAIL "RF" (NOT TO SCALE)
DETAIL "RG" (NOT TO SCALE)
DETAIL "RH" (NOT TO SCALE)
DETAIL "RJ" (NOT TO SCALE)
DETAIL "RK" (NOT TO SCALE)
DETAIL "RL" (NOT TO SCALE)
DETAIL "RM" (NOT TO SCALE)
DETAIL "RN" (NOT TO SCALE)
DETAIL "RP" (NOT TO SCALE)
DETAIL "RQ" (NOT TO SCALE)
DETAIL "RR" (NOT TO SCALE)
DETAIL "RS" (NOT TO SCALE)
DETAIL "RT" (NOT TO SCALE)
DETAIL "RU" (NOT TO SCALE)
DETAIL "RV" (NOT TO SCALE)
DETAIL "RW" (NOT TO SCALE)
DETAIL "RX" (NOT TO SCALE)
DETAIL "RY" (NOT TO SCALE)
DETAIL "RZ" (NOT TO SCALE)
DETAIL "SA" (NOT TO SCALE)
DETAIL "SB" (NOT TO SCALE)
DETAIL "SC" (NOT TO SCALE)
DETAIL "SD" (NOT TO SCALE)
DETAIL "SE" (NOT TO SCALE)
DETAIL "SF" (NOT TO SCALE)
DETAIL "SG" (NOT TO SCALE)
DETAIL "SH" (NOT TO SCALE)
DETAIL "SJ" (NOT TO SCALE)
DETAIL "SK" (NOT TO SCALE)
DETAIL "SL" (NOT TO SCALE)
DETAIL "SM" (NOT TO SCALE)
DETAIL "SN" (NOT TO SCALE)
DETAIL "SP" (NOT TO SCALE)
DETAIL "SQ" (NOT TO SCALE)
DETAIL "SR" (NOT TO SCALE)
DETAIL "SS" (NOT TO SCALE)
DETAIL "ST" (NOT TO SCALE)
DETAIL "SU" (NOT TO SCALE)
DETAIL "SV" (NOT TO SCALE)
DETAIL "SW" (NOT TO SCALE)
DETAIL "SX" (NOT TO SCALE)
DETAIL "SY" (NOT TO SCALE)
DETAIL "SZ" (NOT TO SCALE)
DETAIL "TA" (NOT TO SCALE)
DETAIL "TB" (NOT TO SCALE)
DETAIL "TC" (NOT TO SCALE)
DETAIL "TD" (NOT TO SCALE)
DETAIL "TE" (NOT TO SCALE)
DETAIL "TF" (NOT TO SCALE)
DETAIL "TG" (NOT TO SCALE)
DETAIL "TH" (NOT TO SCALE)
DETAIL "TJ" (NOT TO SCALE)
DETAIL "TK" (NOT TO SCALE)
DETAIL "TL" (NOT TO SCALE)
DETAIL "TM" (NOT TO SCALE)
DETAIL "TN" (NOT TO SCALE)
DETAIL "TP" (NOT TO SCALE)
DETAIL "TQ" (NOT TO SCALE)
DETAIL "TR" (NOT TO SCALE)
DETAIL "TS" (NOT TO SCALE)
DETAIL "TT" (NOT TO SCALE)
DETAIL "TU" (NOT TO SCALE)
DETAIL "TV" (NOT TO SCALE)
DETAIL "TW" (NOT TO SCALE)
DETAIL "TX" (NOT TO SCALE)
DETAIL "TY" (NOT TO SCALE)
DETAIL "TZ" (NOT TO SCALE)
DETAIL "UA" (NOT TO SCALE)
DETAIL "UB" (NOT TO SCALE)
DETAIL "UC" (NOT TO SCALE)
DETAIL "UD" (NOT TO SCALE)
DETAIL "UE" (NOT TO SCALE)
DETAIL "UF" (NOT TO SCALE)
DETAIL "UG" (NOT TO SCALE)
DETAIL "UH" (NOT TO SCALE)
DETAIL "UJ" (NOT TO SCALE)
DETAIL "UK" (NOT TO SCALE)
DETAIL "UL" (NOT TO SCALE)
DETAIL "UM" (NOT TO SCALE)
DETAIL "UN" (NOT TO SCALE)
DETAIL "UP" (NOT TO SCALE)
DETAIL "UQ" (NOT TO SCALE)
DETAIL "UR" (NOT TO SCALE)
DETAIL "US" (NOT TO SCALE)
DETAIL "UT" (NOT TO SCALE)
DETAIL "UU" (NOT TO SCALE)
DETAIL "UV" (NOT TO SCALE)
DETAIL "UW" (NOT TO SCALE)
DETAIL "UX" (NOT TO SCALE)
DETAIL "UY" (NOT TO SCALE)
DETAIL "UZ" (NOT TO SCALE)
DETAIL "VA" (NOT TO SCALE)
DETAIL "VB" (NOT TO SCALE)
DETAIL "VC" (NOT TO SCALE)
DETAIL "VD" (NOT TO SCALE)
DETAIL "VE" (NOT TO SCALE)
DETAIL "VF" (NOT TO SCALE)
DETAIL "VG" (NOT TO SCALE)
DETAIL "VH" (NOT TO SCALE)
DETAIL "VJ" (NOT TO SCALE)
DETAIL "VK" (NOT TO SCALE)
DETAIL "VL" (NOT TO SCALE)
DETAIL "VM" (NOT TO SCALE)
DETAIL "VN" (NOT TO SCALE)
DETAIL "VP" (NOT TO SCALE)
DETAIL "VQ" (NOT TO SCALE)
DETAIL "VR" (NOT TO SCALE)
DETAIL "VS" (NOT TO SCALE)
DETAIL "VT" (NOT TO SCALE)
DETAIL "VU" (NOT TO SCALE)
DETAIL "VV" (NOT TO SCALE)
DETAIL "VW" (NOT TO SCALE)
DETAIL "VX" (NOT TO SCALE)
DETAIL "VY" (NOT TO SCALE)
DETAIL "VZ" (NOT TO SCALE)
DETAIL "WA" (NOT TO SCALE)
DETAIL "WB" (NOT TO SCALE)
DETAIL "WC" (NOT TO SCALE)
DETAIL "WD" (NOT TO SCALE)
DETAIL "WE" (NOT TO SCALE)
DETAIL "WF" (NOT TO SCALE)
DETAIL "WG" (NOT TO SCALE)
DETAIL "WH" (NOT TO SCALE)
DETAIL "WJ" (NOT TO SCALE)
DETAIL "WK" (NOT TO SCALE)
DETAIL "WL" (NOT TO SCALE)
DETAIL "WM" (NOT TO SCALE)
DETAIL "WN" (NOT TO SCALE)
DETAIL "WP" (NOT TO SCALE)
DETAIL "WQ" (NOT TO SCALE)
DETAIL "WR" (NOT TO SCALE)
DETAIL "WS" (NOT TO SCALE)
DETAIL "WT" (NOT TO SCALE)
DETAIL "WU" (NOT TO SCALE)
DETAIL "WV" (NOT TO SCALE)
DETAIL "WW" (NOT TO SCALE)
DETAIL "WX" (NOT TO SCALE)
DETAIL "WY" (NOT TO SCALE)
DETAIL "WZ" (NOT TO SCALE)
DETAIL "XA" (NOT TO SCALE)
DETAIL "XB" (NOT TO SCALE)
DETAIL "XC" (NOT TO SCALE)
DETAIL "XD" (NOT TO SCALE)
DETAIL "XE" (NOT TO SCALE)
DETAIL "XF" (NOT TO SCALE)
DETAIL "XG" (NOT TO SCALE)
DETAIL "XH" (NOT TO SCALE)
DETAIL "XJ" (NOT TO SCALE)
DETAIL "XK" (NOT TO SCALE)
DETAIL "XL" (NOT TO SCALE)
DETAIL "XM" (NOT TO SCALE)
DETAIL "XN" (NOT TO SCALE)
DETAIL "XP" (NOT TO SCALE)
DETAIL "XQ" (NOT TO SCALE)
DETAIL "XR" (NOT TO SCALE)
DETAIL "XS" (NOT TO SCALE)
DETAIL "XT" (NOT TO SCALE)
DETAIL "XU" (NOT TO SCALE)
DETAIL "XV" (NOT TO SCALE)
DETAIL "XW" (NOT TO SCALE)
DETAIL "XX" (NOT TO SCALE)
DETAIL "XY" (NOT TO SCALE)
DETAIL "XZ" (NOT TO SCALE)
DETAIL "YA" (NOT TO SCALE)
DETAIL "YB" (NOT TO SCALE)
DETAIL "YC" (NOT TO SCALE)
DETAIL "YD" (NOT TO SCALE)
DETAIL "YE" (NOT TO SCALE)
DETAIL "YF" (NOT TO SCALE)
DETAIL "YG" (NOT TO SCALE)
DETAIL "YH" (NOT TO SCALE)
DETAIL "YJ" (NOT TO SCALE)
DETAIL "YK" (NOT TO SCALE)
DETAIL "YL" (NOT TO SCALE)
DETAIL "YM" (NOT TO SCALE)
DETAIL "YN" (NOT TO SCALE)
DETAIL "YP" (NOT TO SCALE)
DETAIL "YQ" (NOT TO SCALE)
DETAIL "YR" (NOT TO SCALE)
DETAIL "YS" (NOT TO SCALE)
DETAIL "YT" (NOT TO SCALE)
DETAIL "YU" (NOT TO SCALE)
DETAIL "YV" (NOT TO SCALE)
DETAIL "YW" (NOT TO SCALE)
DETAIL "YX" (NOT TO SCALE)
DETAIL "YY" (NOT TO SCALE)
DETAIL "YZ" (NOT TO SCALE)
DETAIL "ZA" (NOT TO SCALE)
DETAIL "ZB" (NOT TO SCALE)
DETAIL "ZC" (NOT TO SCALE)
DETAIL "ZD" (NOT TO SCALE)
DETAIL "ZE" (NOT TO SCALE)
DETAIL "ZF" (NOT TO SCALE)
DETAIL "ZG" (NOT TO SCALE)
DETAIL "ZH" (NOT TO SCALE)
DETAIL "ZJ" (NOT TO SCALE)
DETAIL "ZK" (NOT TO SCALE)
DETAIL "ZL" (NOT TO SCALE)
DETAIL "ZM" (NOT TO SCALE)
DETAIL "ZN" (NOT TO SCALE)
DETAIL "ZP" (NOT TO SCALE)
DETAIL "ZQ" (NOT TO SCALE)
DETAIL "ZR" (NOT TO SCALE)
DETAIL "ZS" (NOT TO SCALE)
DETAIL "ZT" (NOT TO SCALE)
DETAIL "ZU" (NOT TO SCALE)
DETAIL "ZV" (NOT TO SCALE)
DETAIL "ZW" (NOT TO SCALE)
DETAIL "ZX" (NOT TO SCALE)
DETAIL "ZY" (NOT TO SCALE)
DETAIL "ZZ" (NOT TO SCALE)
RADY–PENTEK & EDWARD SURVEYING LTD.
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A2
Tel:(416)635–5000 Fax:(416)635–5001
Tel:(905)264–0881 Fax:(905)264–2099
Website www.rpe.on
DRAWN: V.K. CHECKED: G.R./T.S.
43R No. 13–125 CAD FILE No. 13–125R01




| NO | DATE | REVISION DESCRIPTION | NOTE |
|---|---|---|---|
| 01 | 12/06/2022 | ISSUED | |
| | | | |
| | | | |

RD

Rezvani Design Corp.
1505-105 Harrison Garden Blvd,
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com

CONSULTING ENGINEER:

PROPOSED

TWO STORY DETACHED HOUSE

FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: EXISTING SITE PLAN

DRAWN BY: Kamran Rezvani

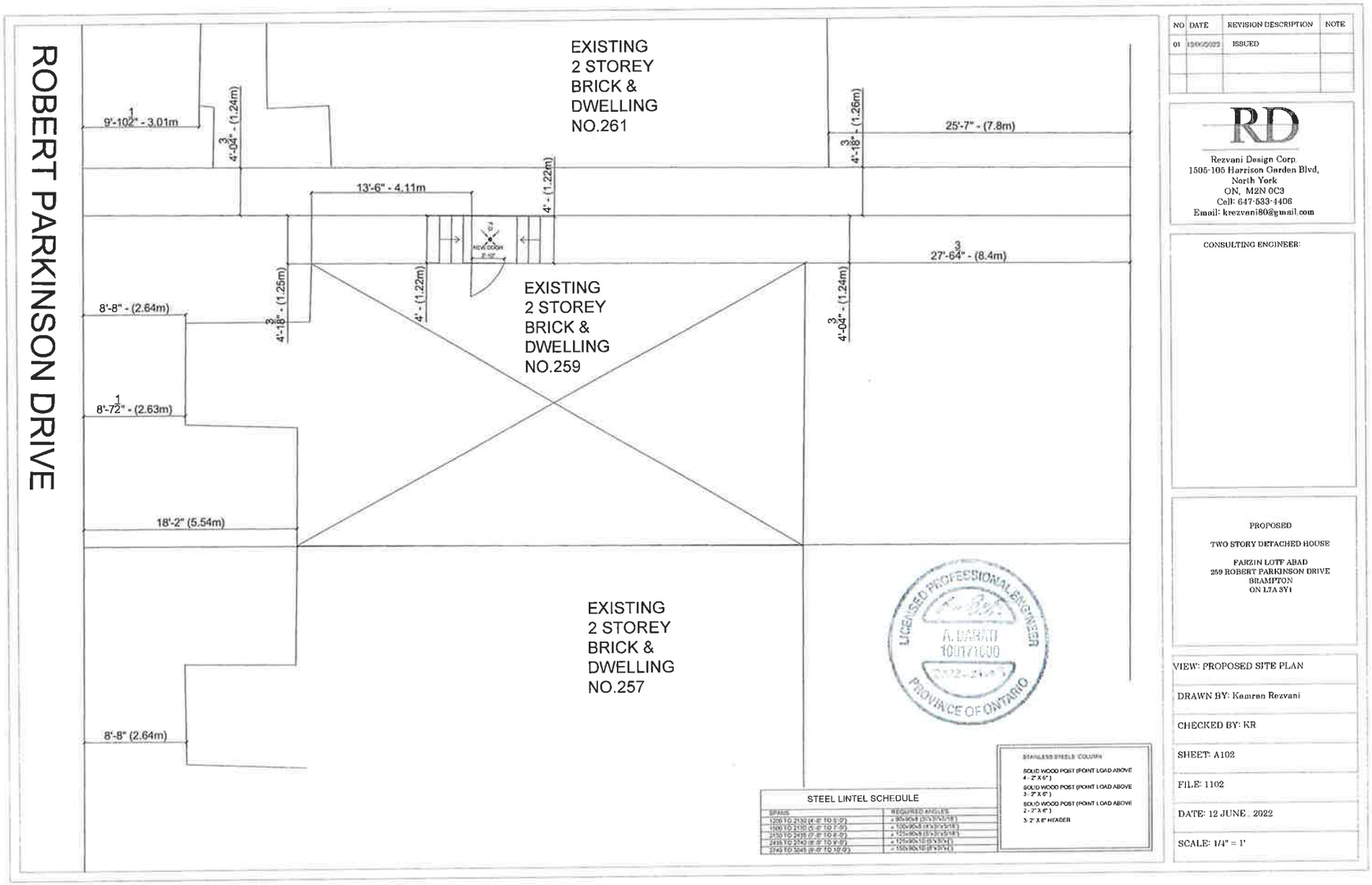
CHECKED BY: KR

SHEET: A101

FILE: 1102

DATE: 12 JUNE , 2022

SCALE: 1/4" = 1'




| NO | DATE | REVISION DESCRIPTION | NOTE |
|---|---|---|---|
| 01 | 15/05/2022 | ISSUED | |
| | | | |
| | | | |


RD

Rezvani Design Corp.
1505-105 Harrison Garden Blvd,
North York
ON, M2N 0C3
Cell: 647-533-1406
Email: krezvani80@gmail.com

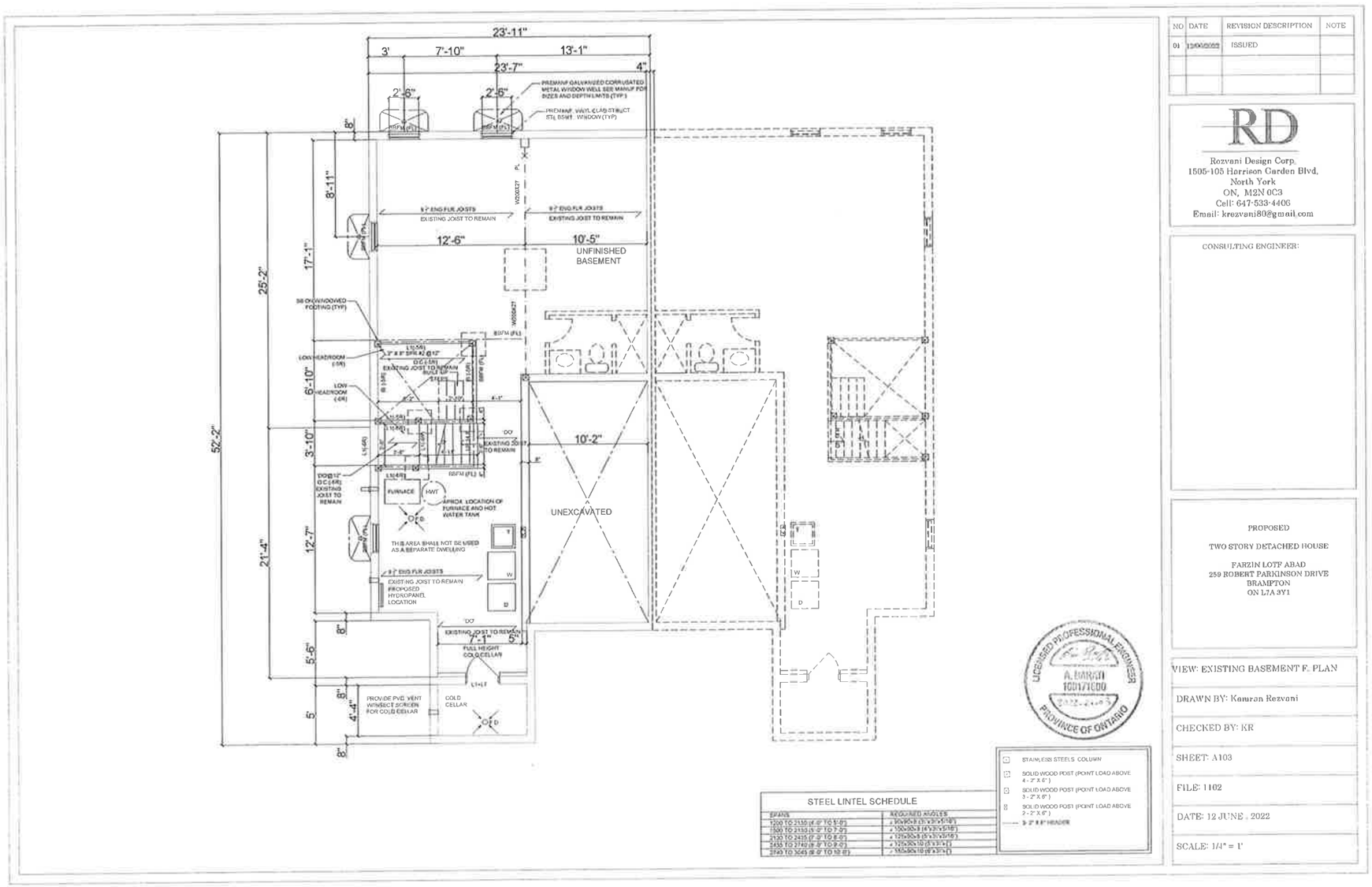

CONSULTING ENGINEER:

PROPOSED

TWO STORY DETACHED HOUSE

FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

| | |
|---|---|
| VIEW: | PROPOSED SITE PLAN |
| DRAWN BY: | Kamran Rezvani |
| CHECKED BY: | KR |
| SHEET: | A102 |
| FILE: | 1102 |
| DATE: | 12 JUNE , 2022 |
| SCALE: | 1/4" = 1' |




| NO | DATE | REVISION DESCRIPTION | NOTE |
|---|---|---|---|
| 01 | [illegible] | ISSUED | |
| | | | |
| | | | |


RD

Rezvani Design Corp.
1505-105 Harrison Garden Blvd,
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com


CONSULTING ENGINEER:

PROPOSED

TWO STORY DETACHED HOUSE

FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

LICENSED PROFESSIONAL ENGINEER
A. BARAN
100170100
PROVINCE OF ONTARIO

VIEW: EXISTING BASEMENT F. PLAN

DRAWN BY: Kamran Rezvani

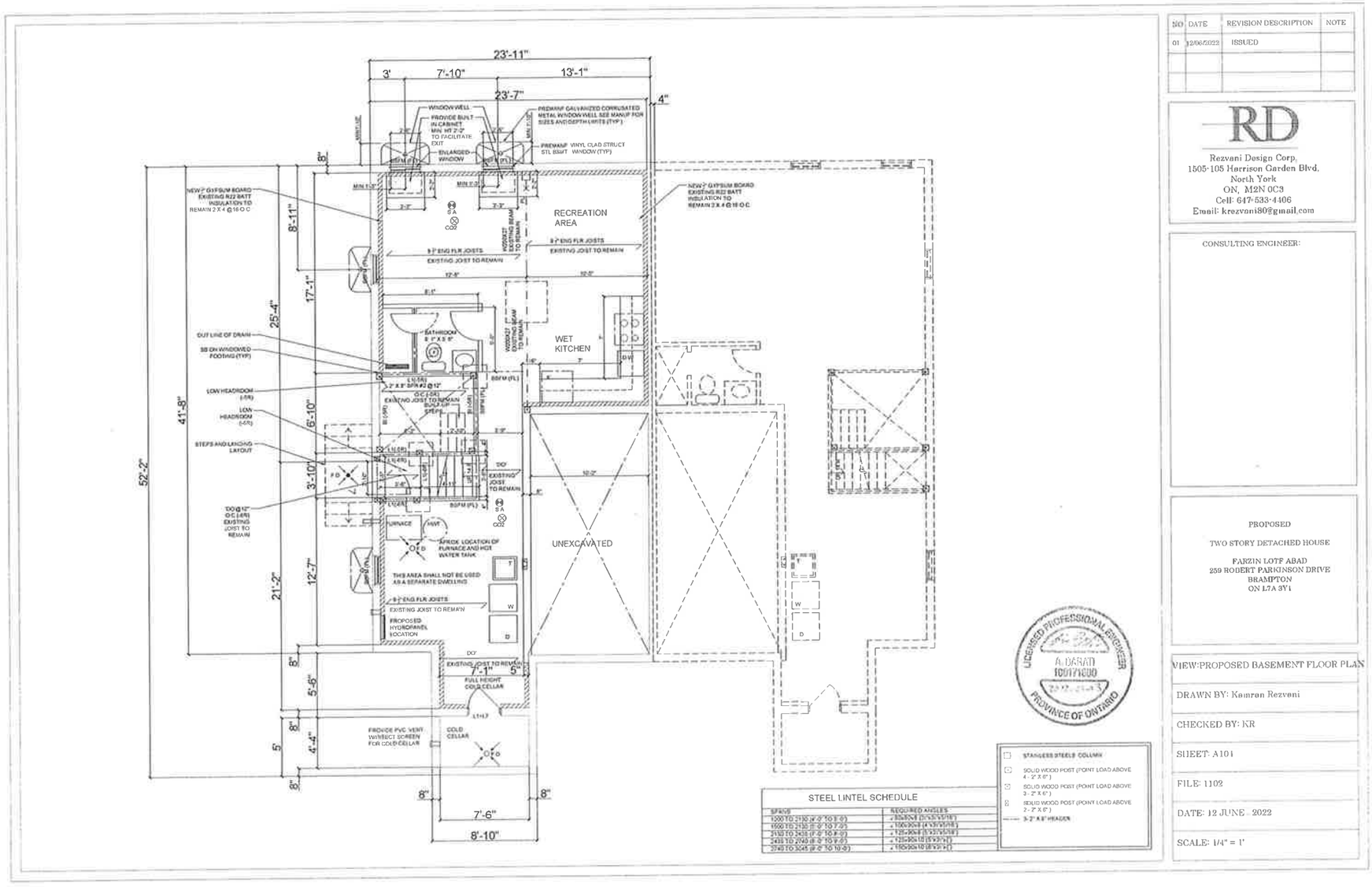
CHECKED BY: KR

SHEET: A103

FILE: 1102

DATE: 12 JUNE , 2022

SCALE: 1/4" = 1'




| NO | DATE | REVISION DESCRIPTION | NOTE |
|---|---|---|---|
| 01 | 12/06/2022 | ISSUED | |
| | | | |
| | | | |


RD

Rezvani Design Corp.
1505-105 Harrison Garden Blvd.
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com


CONSULTING ENGINEER:

PROPOSED

TWO STORY DETACHED HOUSE

FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

LICENSED PROFESSIONAL ENGINEER
A. DARAD
100171600
PROVINCE OF ONTARIO

VIEW:PROPOSED BASEMENT FLOOR PLAN

DRAWN BY: Kamran Rezvani

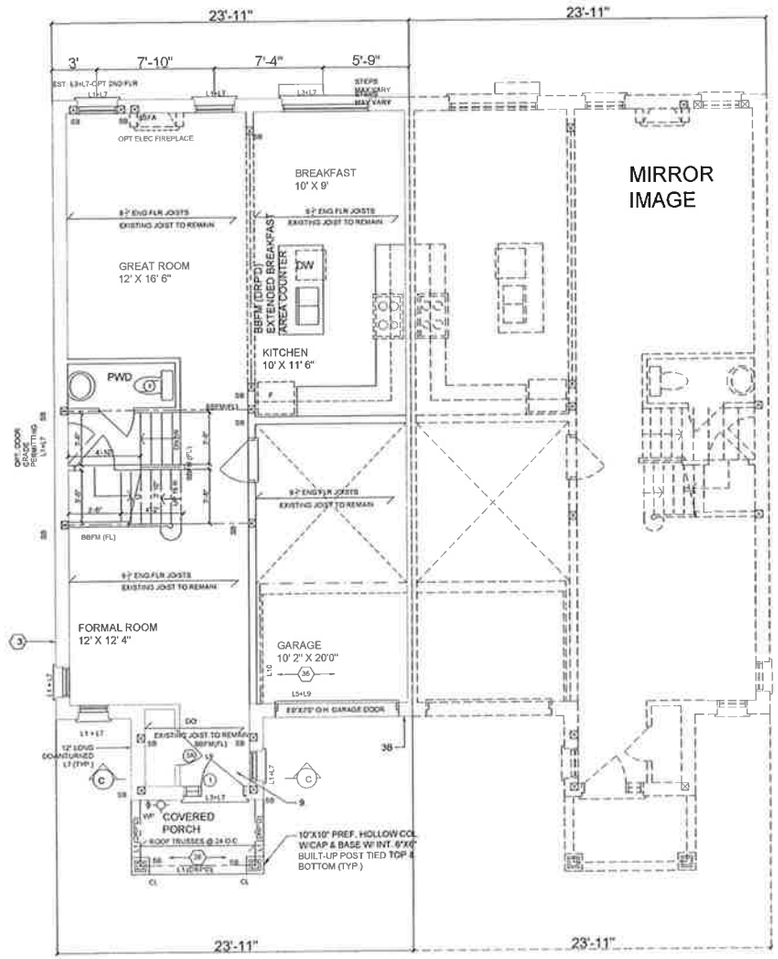
CHECKED BY: KR

SHEET: A101

FILE: 1102

DATE: 12 JUNE , 2022

SCALE: 1/4" = 1'




| STEEL LINTEL SCHEDULE | |
|---|---|
| SPANS | REQUIRED ANGLES |
| 1200 TO 1530 (4'-0" TO 5'-0") | 2 - 90x90x8 (3½"x3½"x5/16") |
| 1500 TO 2130 (5'-0" TO 7'-0") | 2 - 100x100x8 (4"x4"x5/16") |
| 2130 TO 2430 (7'-0" TO 8'-0") | 2 - 125x90x8 (5"x3½"x5/16") |
| 2430 TO 2740 (8'-0" TO 9'-0") | 2 - 125x90x10 (5"x3½") |
| 2740 TO 3045 (9'-0" TO 10'-0") | 2 - 150x90x10 (6"x3½") |

| | |
|---|---|
| SC | STAINLESS STEELS COLUMN |
| 3C | SOLID WOOD POST (POINT LOAD ABOVE 4 - 2" X 6" ) |
| 2C | SOLID WOOD POST (POINT LOAD ABOVE 3 - 2" X 6" ) |
| 1C | SOLID WOOD POST (POINT LOAD ABOVE 2 - 2" X 6" ) |
| | 3- 2" X 8" HEADER |

LICENSED PROFESSIONAL ENGINEER
A. BARATI
100171600
PROVINCE OF ONTARIO

| NO | DATE | REVISION DESCRIPTION | NOTE |
|---|---|---|---|
| 01 | 23/06/2022 | ISSUED | |

RD
Rezvani Design Corp.
1505-105 Harrison Garden Blvd,
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com

CONSULTING ENGINEER:

PROPOSED

TWO STORY DETACHED HOUSE

FARZIN LOTF ABAD
289 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: EXISTING FIRST FLOOR PLAN

DRAWN BY: Kamran Rezvani

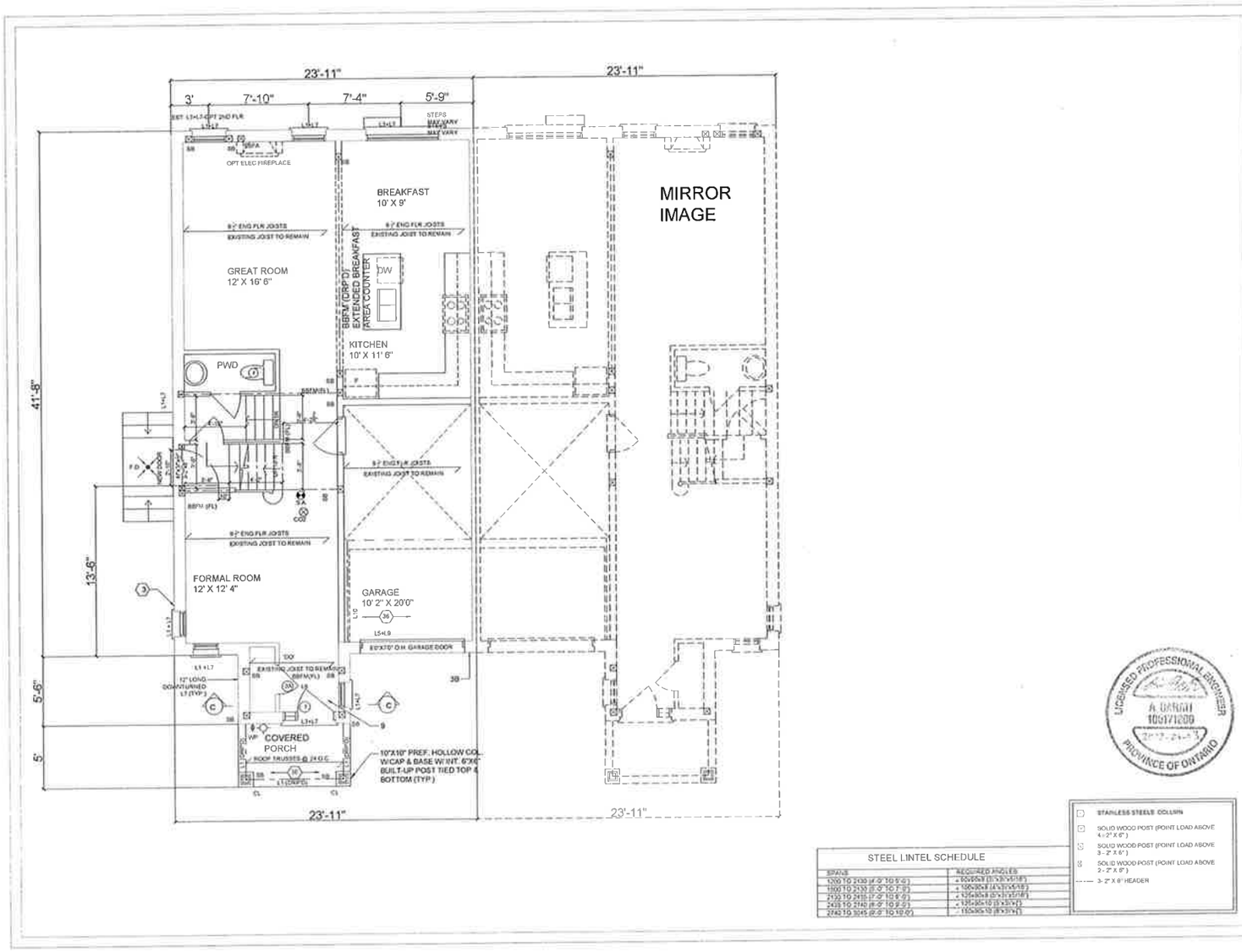
CHECKED BY: KR

SHEET: A105

FILE: 1102

DATE: 12 JUNE , 2022

SCALE: 1/4" = 1'




| NO | DATE | REVISION DESCRIPTION | NOTE |
|---|---|---|---|
| 01 | 12/06/2022 | ISSUED | |

RD
Rezvani Design Corp.
1505-105 Harrison Garden Blvd,
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com

CONSULTING ENGINEER:

PROPOSED

TWO STORY DETACHED HOUSE

FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

LICENSED PROFESSIONAL ENGINEER
A. DARAH
100171200
PROVINCE OF ONTARIO

VIEW: PROPOSED FIRST FLOOR PLAN

DRAWN BY: Kamran Rezvani

CHECKED BY: KR

SHEET: A106

FILE: 1102

DATE: 12 JUNE , 2022

SCALE: 1/4" = 1'

STEEL LINTEL SCHEDULE

| SPANS | REQUIRED ANGLES |
|---|---|
| 1200 TO 2130 (4'-0" TO 5'-0") | [illegible] |
| 1500 TO 2130 (5'-0" TO 7'-0") | [illegible] |
| 2130 TO 2435 (7'-0" TO 8'-0") | [illegible] |
| 2435 TO 2740 (8'-0" TO 9'-0") | [illegible] |
| 2740 TO 3045 (9'-0" TO 10'-0") | [illegible] |

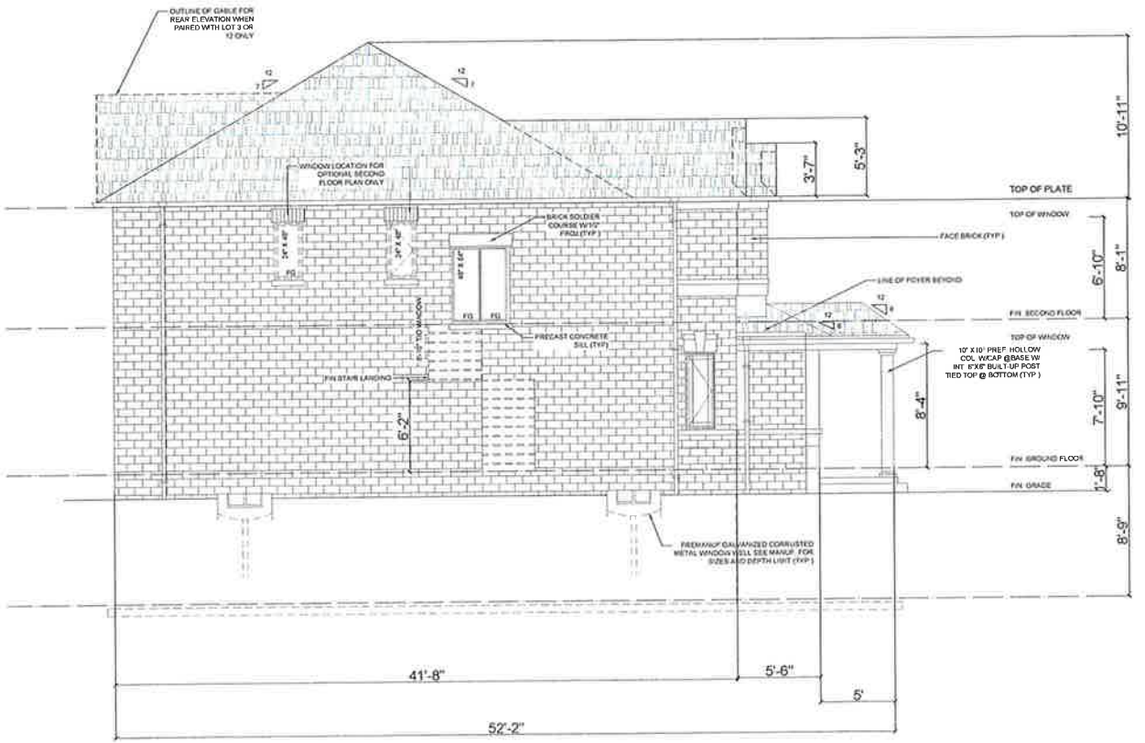
STAINLESS STEELS COLUMN

SOLID WOOD POST (POINT LOAD ABOVE 4 - 2" X 6")

SOLID WOOD POST (POINT LOAD ABOVE 3 - 2" X 6")

SOLID WOOD POST (POINT LOAD ABOVE 2 - 2" X 6")

3- 2" X 6" HEADER




STEEL LINTEL SCHEDULE

| SPANS | REQUIRED ANGLES |
|---|---|
| 1200 TO 2130 (4'-0" TO 7'-0") | 1 - 90x90x8 (3½"x3½"x5/16") |
| 1500 TO 2130 (5'-0" TO 7'-0") | 2 - 100x90x8 (4"x3½"x5/16") |
| 2130 TO 2438 (7'-0" TO 8'-0") | 2 - 125x90x8 (5"x3½"x5/16") |
| 2438 TO 2740 (8'-0" TO 9'-0") | 2 - 125x90x10 (5"x3½"x⅜") |
| 2740 TO 3045 (9'-0" TO 10'-0") | 2 - 150x90x10 (6"x3½"x⅜") |

- STAINLESS STEELD COLUMN
- SOLID WOOD POST (POINT LOAD ABOVE 4 - 2" X 6")
- SOLID WOOD POST (POINT LOAD ABOVE 3 - 2" X 6")
- SOLID WOOD POST (POINT LOAD ABOVE 2 - 2" X 6")
- 3- 2" X 8" HEADER

LICENSED PROFESSIONAL ENGINEER
A. GANJI
100171600
PROVINCE OF ONTARIO

| NO | DATE | REVISION DESCRIPTION | NOTE |
|---|---|---|---|
| 01 | 12/06/2022 | ISSUED | |
| | | | |
| | | | |


RD
Rezvani Design Corp.
1505-105 Harrison Garden Blvd,
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com


CONSULTING ENGINEER:

PROPOSED

TWO STORY DETACHED HOUSE

FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: EXISTING LEFT ELEVATION

DRAWN BY: Kamran Rezvani

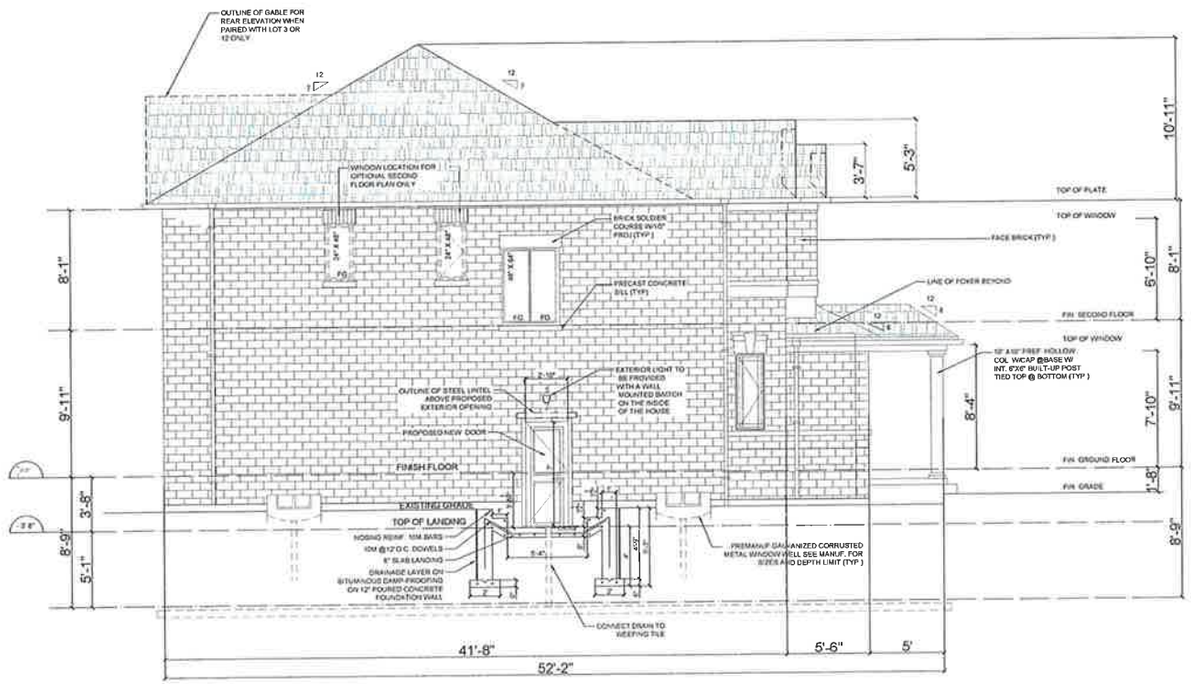
CHECKED BY: KR

SHEET: A107

FILE: 1102

DATE: 12 JUNE 2022

SCALE: 1/1" = 1'




STEEL LINTEL SCHEDULE

| SPANS | REQUIRED ANGLES |
|---|---|
| 1200 TO 2130 (4'-0" TO 5'-0") | ± 80x80x8 (3"x3"x5/16") |
| 1500 TO 2130 (5'-0" TO 7'-0") | ± 100x90x8 (4"x3"x5/16") |
| 2130 TO 2435 (7'-0" TO 8'-0") | ± 125x90x8 (5"x3"x5/16") |
| 2435 TO 2740 (8'-0" TO 9'-0") | ± 125x90x10 (5"x3"x1") |
| 2740 TO 3045 (9'-0" TO 10'-0") | ± 150x90x10 (6"x3"x1") |

STAINLESS STEELS COLUMN

SOLID WOOD POST (POINT LOAD ABOVE 4 - 2" X 6")

SOLID WOOD POST (POINT LOAD ABOVE 3 - 2" X 6")

SOLID WOOD POST (POINT LOAD ABOVE 2 - 2" X 6")

3- 2" X 8" HEADER

LICENSED PROFESSIONAL ENGINEER
A. SANATI
100171650
2022-06-03
PROVINCE OF ONTARIO

| NO | DATE | REVISION DESCRIPTION | NOTE |
|---|---|---|---|
| 01 | 12/06/2022 | ISSUED | |

RD
Rezvani Design Corp.
1505-105 Harrison Garden Blvd,
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com

CONSULTING ENGINEER:

PROPOSED

TWO STORY DETACHED HOUSE

FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: PROPOSED LEFT ELEVATION

DRAWN BY: Kamran Rezvani

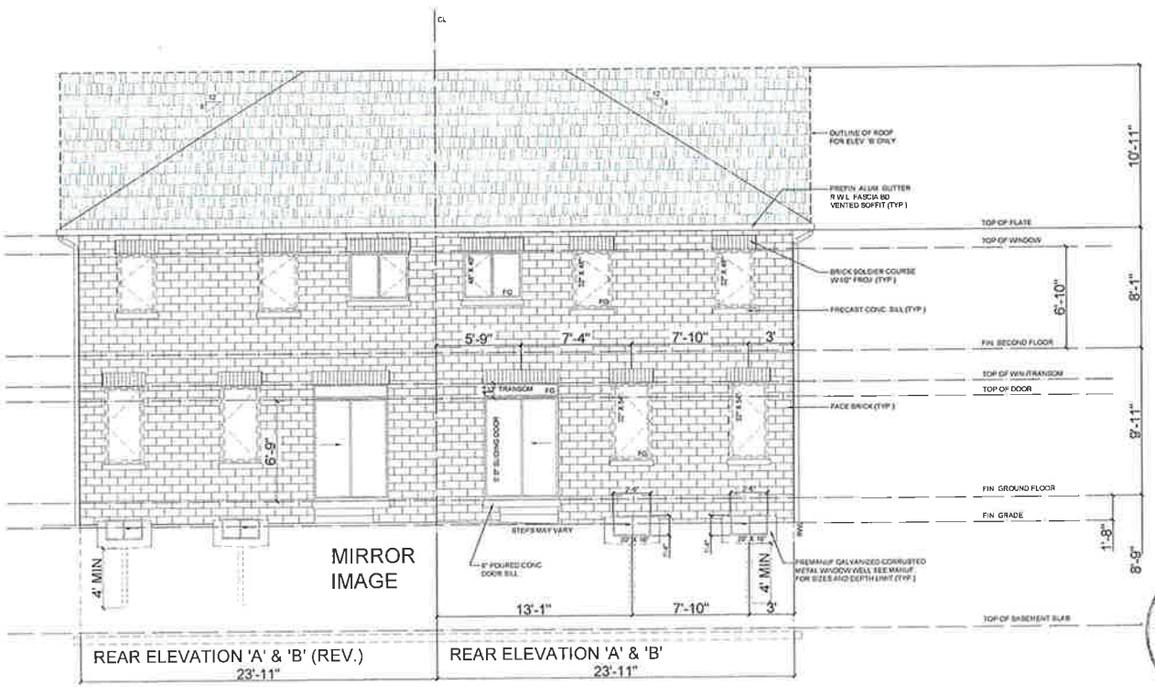
CHECKED BY: KR

SHEET: A108

FILE: 1102

DATE: 12 JUNE , 2022

SCALE: 1/4" = 1'




STEEL LINTEL SCHEDULE

| SPANS | REQUIRED ANGLES |
|---|---|
| 1200 TO 2130 (4'-0" TO 7'-0") | |
| 1500 TO 2130 (5'-0" TO 7'-0") | |
| 2130 TO 2430 (7'-0" TO 8'-0") | |
| 2430 TO 2740 (8'-0" TO 9'-0") | |
| 2740 TO 3045 (9'-0" TO 10'-0") | |

- STAINLESS STEELS COLUMN
- SOLID WOOD POST (POINT LOAD ABOVE 4 - 2" X 6" )
- SOLID WOOD POST (POINT LOAD ABOVE 3 - 2" X 6" )
- SOLID WOOD POST (POINT LOAD ABOVE 2 - 2" X 6" )
- 3- 2" X 8" HEADER

| NO | DATE | REVISION DESCRIPTION | NOTE |
|---|---|---|---|
| 01 | 12/06/2022 | ISSUED | |


RD

Rezvani Design Corp.
1505-105 Harrison Gordon Blvd,
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com


CONSULTING ENGINEER:

PROPOSED

TWO STORY DETACHED HOUSE

FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

LICENSED PROFESSIONAL ENGINEER
A. KAMRAN
100178200
PROVINCE OF ONTARIO

VIEW: EXISTING SOUTH ELEVATION

DRAWN BY: Kamran Rezvani

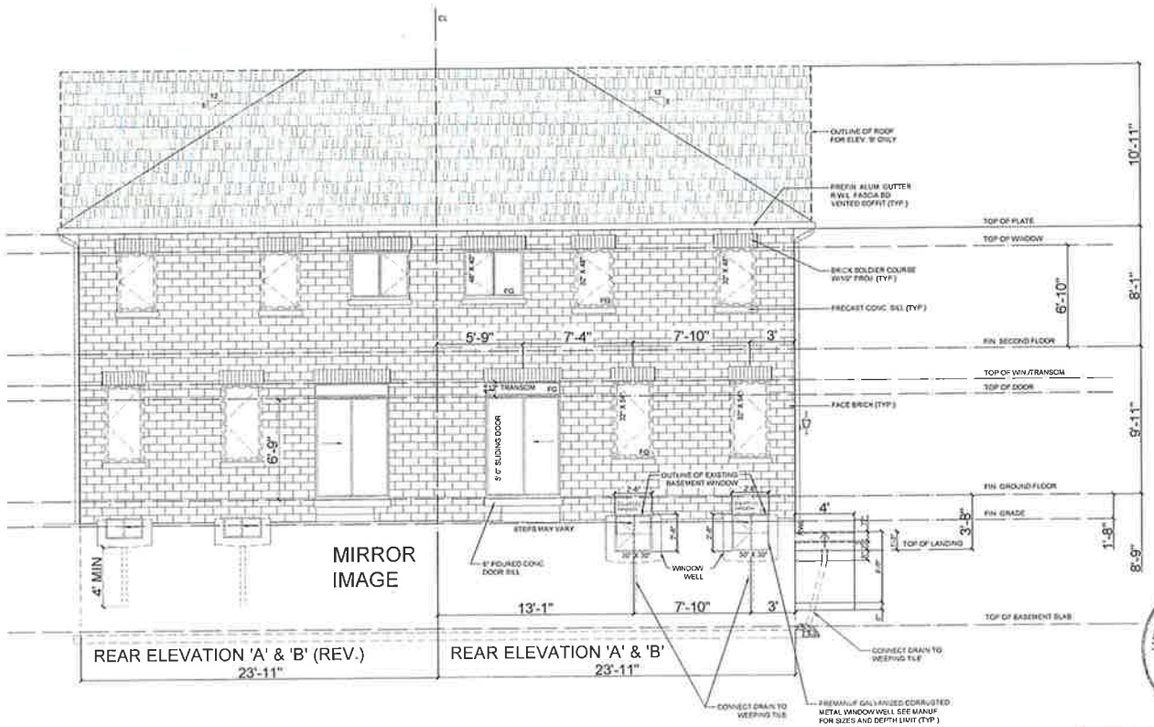
CHECKED BY: KR

SHEET: A109

FILE: 1102

DATE: 12 JUNE, 2022

SCALE: 1/4" = 1'




STEEL LINTEL SCHEDULE

| SPANS | REQUIRED ANGLES |
|---|---|
| 1200 TO 2130 (4'-0" TO 6'-0") | ∠ 90x90x8 (3"x3"x5/16") |
| 1300 TO 2130 (7'-0" TO 7'-0") | ∠ 100x90x8 (4"x3"x5/16") |
| 2130 TO 2435 (7'-0" TO 8'-0") | ∠ 125x90x8 (5"x3"x5/16") |
| 2435 TO 2740 (8'-0" TO 9'-0") | ∠ 125x90x10 (5"x3"x3/8") |
| 2740 TO 3045 (9'-0" TO 10'-0") | ∠ 150x90x10 (6"x3"x3/8") |

STAINLESS STEELS COLUMN

SOLID WOOD POST (POINT LOAD ABOVE 4 - 2" X 6")

SOLID WOOD POST (POINT LOAD ABOVE 3 - 2" X 6")

SOLID WOOD POST (POINT LOAD ABOVE 2 - 2" X 6")

3- 2" X 8" HEADER

LICENSED PROFESSIONAL ENGINEER
A. BARATI
100171600
PROVINCE OF ONTARIO

| NO | DATE | REVISION DESCRIPTION | NOTE |
|---|---|---|---|
| 01 | 12/06/2022 | ISSUED | |


RD
Rezvani Design Corp.
1505-105 Harrison Garden Blvd,
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com


CONSULTING ENGINEER:

PROPOSED

TWO STORY DETACHED HOUSE

FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: PROPOSED SOUTH ELEVATION

DRAWN BY: Kamron Rezvani

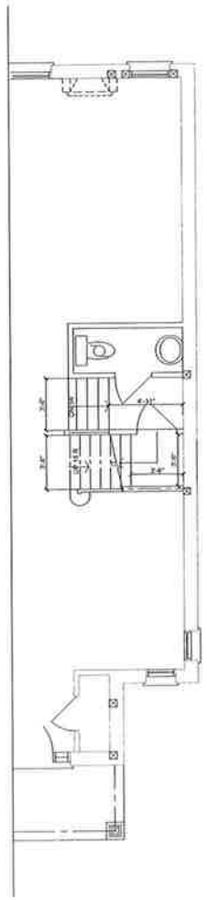
CHECKED BY: KR

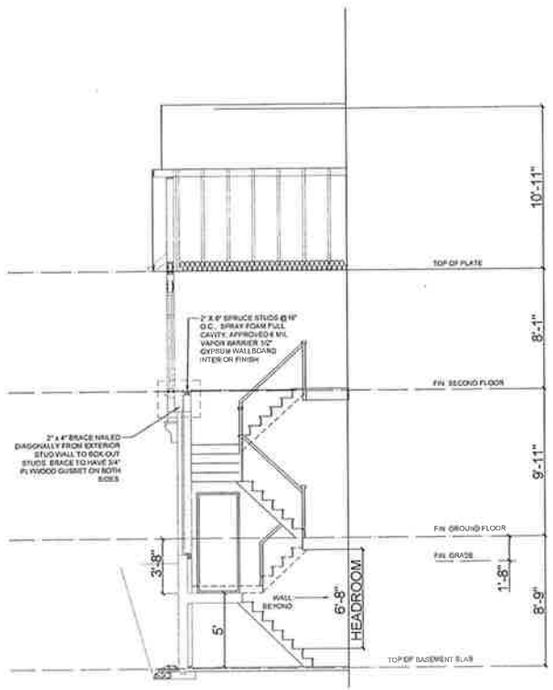
SHEET: A110

FILE: 1102

DATE: 12 JUNE 2022

SCALE: 1/4" = 1'






STEEL LINTEL SCHEDULE

| SPANS | REQUIRED ANGLES |
|---|---|
| 1300 TO 2130 (4'-3" TO 7'-0") | 2 - 90x90x8 (3½"x3½"x5/16") |
| 1500 TO 2130 (5'-0" TO 7'-0") | 2 - 100x90x8 (4"x3½"x5/16") |
| 2130 TO 2435 (7'-0" TO 8'-0") | 2 - 125x90x8 (5"x3½"x5/16") |
| 2435 TO 2740 (8'-0" TO 9'-0") | 2 - 125x90x10 (5"x3½"x⅜") |
| 2740 TO 3045 (9'-0" TO 10'-0") | 2 - 150x90x10 (6"x3½"x⅜") |

- STAINLESS STEELS COLUMN
- SOLID WOOD POST (POINT LOAD ABOVE 3 - 2" X 6" )
- SOLID WOOD POST (POINT LOAD ABOVE 2 - 2" X 6" )
- 3- 2" X 6" HEADER

LICENSED PROFESSIONAL ENGINEER
A. GARATI
100171800
PROVINCE OF ONTARIO

| NO | DATE | REVISION DESCRIPTION | NOTE |
|---|---|---|---|
| 01 | 12/06/2022 | ISSUED | |
| | | | |
| | | | |


RD
Rezvani Design Corp.
1505-105 Harrison Garden Blvd,
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com


CONSULTING ENGINEER:

PROPOSED

TWO STORY DETACHED HOUSE

FARZIN LOTF ABAD
259 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

VIEW: EXISTING SECTION

DRAWN BY: Kamran Rezvani

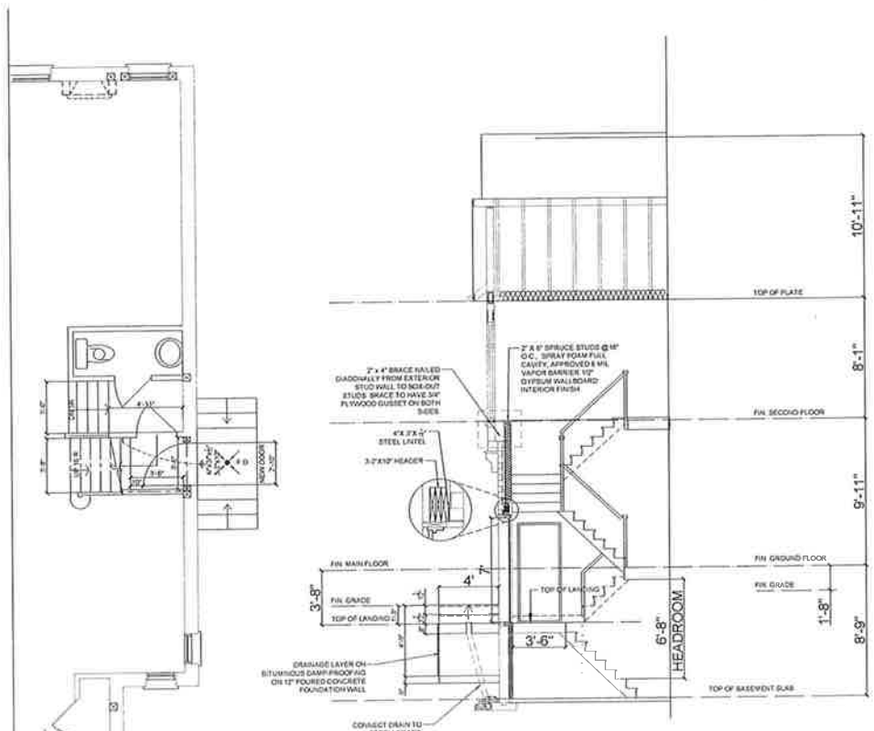
CHECKED BY: KR

SHEET: A111

FILE: 1102

DATE: 12 JUNE , 2022

SCALE: 1/4" = 1'




| NO | DATE | REVISION DESCRIPTION | NOTE |
|---|---|---|---|
| 01 | 12/05/2023 | ISSUED | |
| | | | |
| | | | |


RD

Rezvani Design Corp.
1505-105 Harrison Garden Blvd,
North York
ON, M2N 0C3
Cell: 647-533-4406
Email: krezvani80@gmail.com


CONSULTING ENGINEER:

PROPOSED

TWO STORY DETACHED HOUSE

PARZIN LOTF ABAD
269 ROBERT PARKINSON DRIVE
BRAMPTON
ON L7A 3Y1

LICENSED PROFESSIONAL ENGINEER
A. DARZI
100171600
PROVINCE OF ONTARIO

STEEL LINTEL SCHEDULE

| SPANS | RECOMMENDED ANGLES |
|---|---|
| 1205 TO 2130 (4'-0" TO 7'-0") | 2 - 90x90x8 (3½"x3½"x5/16") |
| 1500 TO 2130 (5'-0" TO 7'-0") | 2 - 100x100x8 (4"x4"x5/16") |
| 2130 TO 2435 (7'-0" TO 8'-0") | 2 - 125x125x8 (5"x5"x5/16") |
| 2435 TO 2745 (8'-0" TO 9'-0") | 2 - 125x125x10 (5"x5"x⅜") |
| 2745 TO 3045 (9'-0" TO 10'-0") | 2 - 150x90x10 (6"x3½"x⅜") |

- STAINLESS STEELS COLUMN
- SOLID WOOD POST (POINT LOAD ABOVE 4 - 2" X 6" )
- SOLID WOOD POST (POINT LOAD ABOVE 3 - 2" X 6" )
- SOLID WOOD POST (POINT LOAD ABOVE 2 - 2" X 6" )
- 3 - 2" X 8" HEADER

VIEW: PROPOSED SECTION

DRAWN BY: Kamran Rezvani

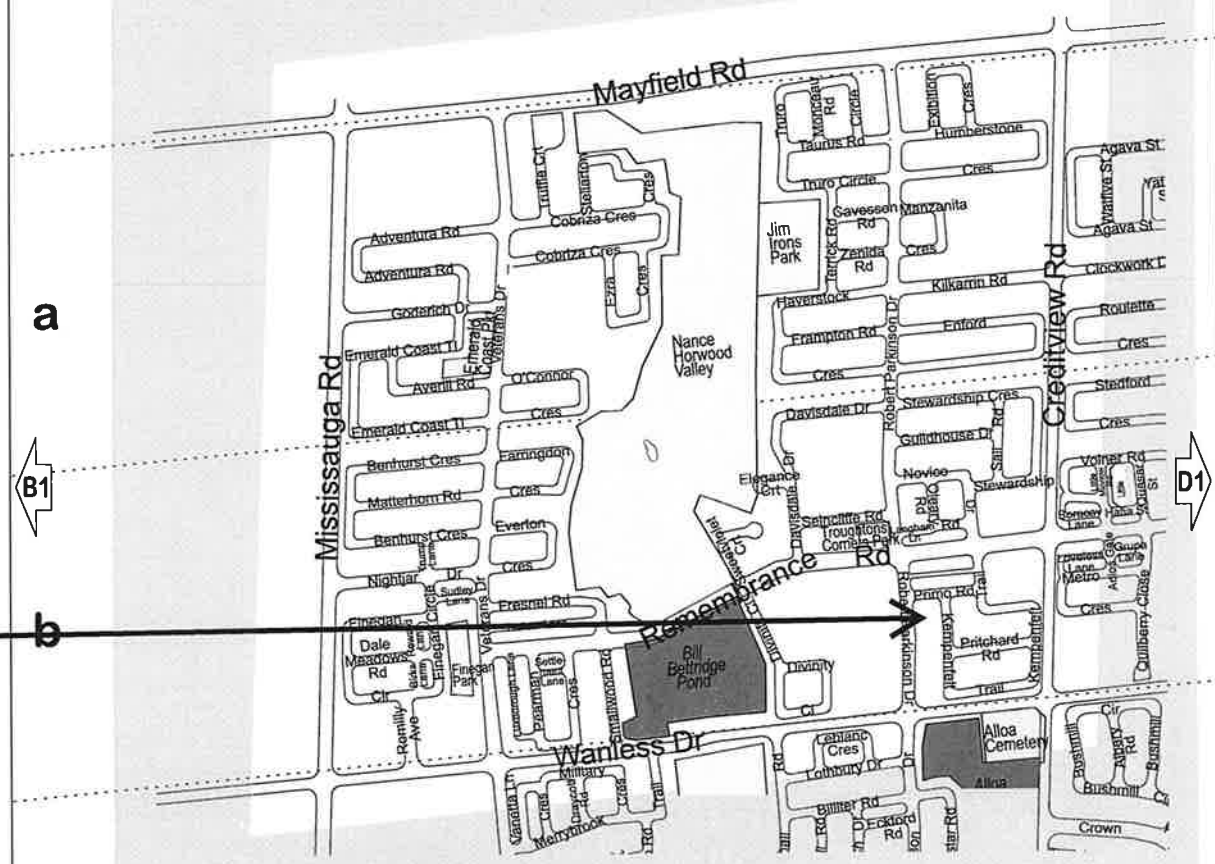
CHECKED BY: KR

SHEET: A112

FILE: 1102

DATE: 12 JUNE , 2022

SCALE: 1/4" = 1'


Mayfield Rd
Mississauga Rd
Creditview Rd
Remembrance Rd
Wanless Dr
Nance Horwood Valley
Jim Irons Park
Bill Bettridge Pond
Alloa Cemetery
a
b
B1
D1
C1
C2
A-2022-0357

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0358***
**WARD 6**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **GURPREET KALRA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 82, Plan 43M-2063 municipally known as **46 ABIGAL GRACE CRESCENT,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a deck and associated landing encroachment of 4.95m (16.24 ft.) into the required rear yard resulting in a rear yard setback of 2.55m (8.37 ft.) whereas the by-law permits a deck encroachment of 3m (9.84 ft.) resulting in rear yard setback of 4.5m (14.76 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

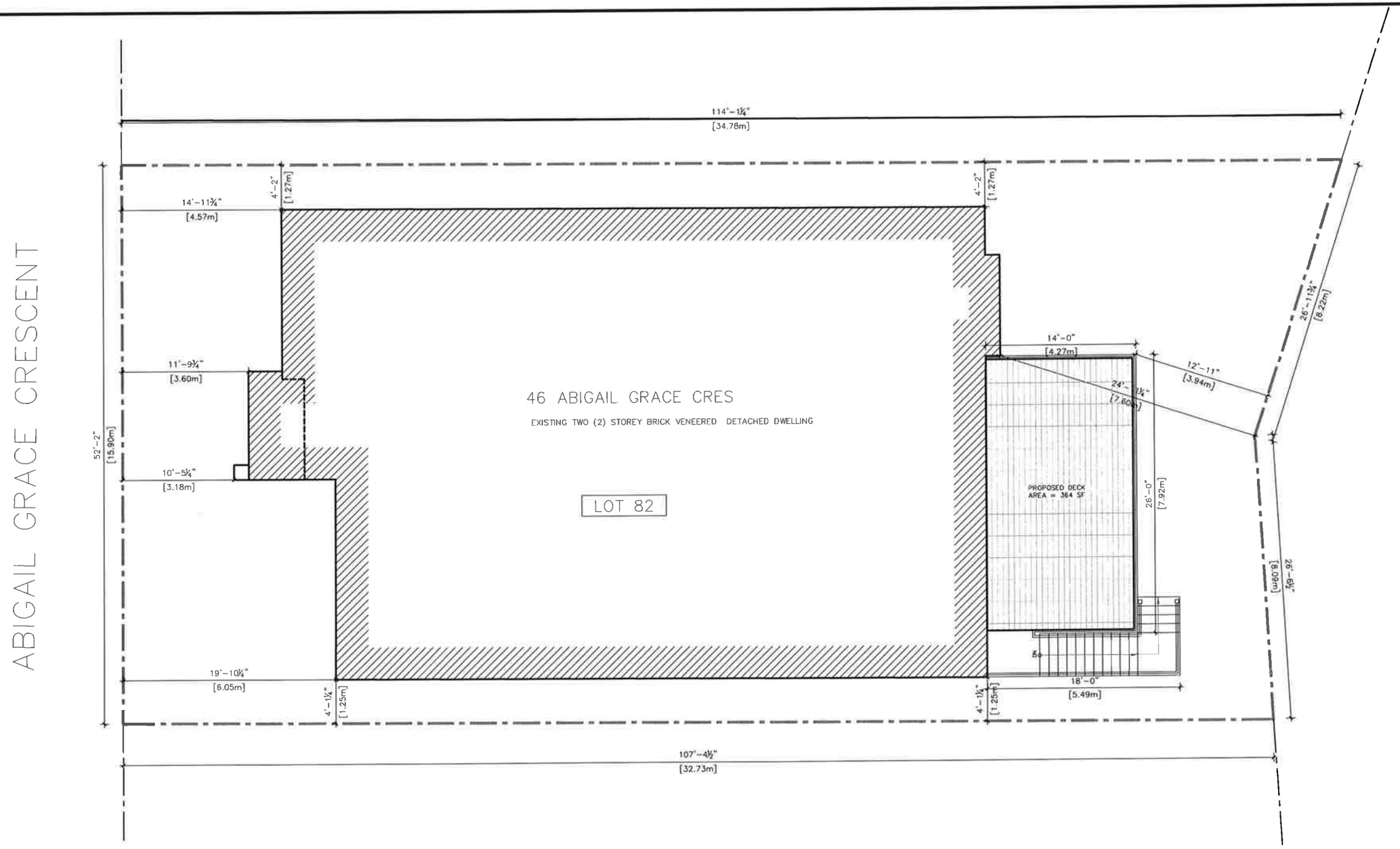
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




# 46 ABIGAIL GRACE CRES, BRAMPTON

SITE PLAN - SCALE: 3/32"=1'-0" - DATE: NOV 11, 2022

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

FILE NUMBER: A-2022-0358

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

## APPLICATION
## Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** GURPREET KALRA
   **Address** 46 ABIGAIL GRACE CRES, BRAMPTON, ON, L6X 5R2
   **Phone #** 4163006300 **Fax #**
   **Email** ROMAKALRA@LIVE.CA

2. **Name of Agent** LAXMAN PATEL
   **Address** 1601-21 MARKBROOK LANE, TORONTO, ON, M9V 5E4
   **Phone #** 6479677937 **Fax #**
   **Email** laxman@kalparchitect.com

3. **Nature and extent of relief applied for (variances requested):**
   1. REAR YARD SETBACK RELIEF REQUIRED FROM THE PROPOSED DECK = 2.55 m

4. **Why is it not possible to comply with the provisions of the by-law?**
   1. SLIGHTLY LARGER DECK SIZE IS REQUIRED TO ACCOMODATE FAMILY ENTERTAINMENT FUNCTIONS

5. **Legal Description of the subject land:**
   **Lot Number** 82
   **Plan Number/Concession Number** PLAN M2063
   **Municipal Address** 46 ABIGAIL GRACE CRES, BRAMPTON

6. **Dimension of subject land (in metric units)**
   **Frontage** 15.90m
   **Depth** 34.78 m - 32.73m
   **Area** 524.78 SQ.M.

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| Provincial Highway | ☐ | Seasonal Road | ☐ |
| Municipal Road Maintained All Year | ☒ | Other Public Road | ☐ |
| Private Right-of-Way | ☐ | Water | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

1. HOUSE - GROUND COVERAGE AREA = 263.94 SQ.M. GFA= 448.6 SQ. M.
WIDTH= 13.40 m, LENGTH =20.0 m, HEIGHT= 2 STOREY

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

PROPOSED DECK - WIDTH 4.27 m LENGTH =7.92 m, HEIGHT = 3.15 m

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| Front yard setback | 3.18m, 4.57m,6.05 m |
| Rear yard setback | 7.60 m |
| Side yard setback | 1.25m, |
| Side yard setback | 1.27m |

**PROPOSED**

| | |
|---|---|
| Front yard setback | 3.18m, 4.57m,6.05 m |
| Rear yard setback | 2.55 m |
| Side yard setback | 1.25m, |
| Side yard setback | 1.27m |

10. **Date of Acquisition of subject land:** 07/02/2020

11. **Existing uses of subject property:** RESIDENTIAL

12. **Proposed uses of subject property:** RESIDENTIAL

13. **Existing uses of abutting properties:** RESIDENTIAL

14. **Date of construction of all buildings & structures on subject land:** 04/28/2021

15. **Length of time the existing uses of the subject property have been continued:** 1 year

16. (a) **What water supply is existing/proposed?**

- [X] Municipal
- [ ] Well

Other (specify) _____

(b) **What sewage disposal is/will be provided?**

- [X] Municipal
- [ ] Septic

Other (specify) _____

(c ) **What storm drainage system is existing/proposed?**

- [X] Sewers
- [ ] Ditches
- [ ] Swales

Other (specify) _____

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. **Has a pre-consultation application been filed?**

Yes ☐ No ☒

19. **Has the subject property ever been the subject of an application for minor variance?**

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Digitally signed by Laxman Patel
DN: cn=Laxman Patel, o=LPA, email=laxman@kalparchitect.com, c=Canada
Date: 2022.11.02 17:05:28 -04'00'

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 4th DAY OF November, 20 22.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, LAXMAN PATEL, OF THE CITY OF TORONTO

IN THE PROVINCE OF ONTARIO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 4th DAY OF
Nov., 20 22

A Commissioner etc.

Signature of Applicant or Authorized Agent

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** R1E 14 2503

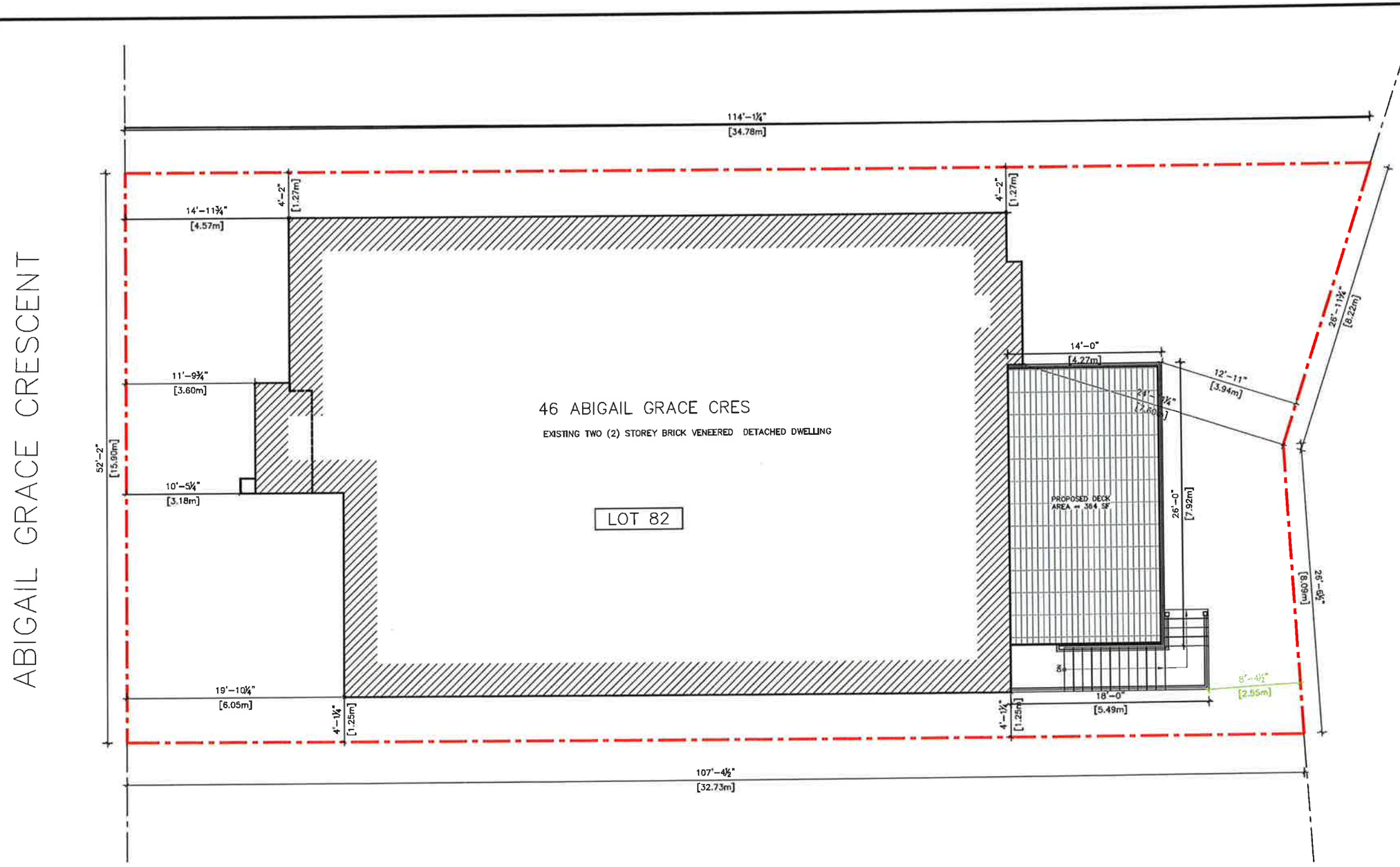
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Rose Bruno
Zoning Officer

October 28, 2022
Date

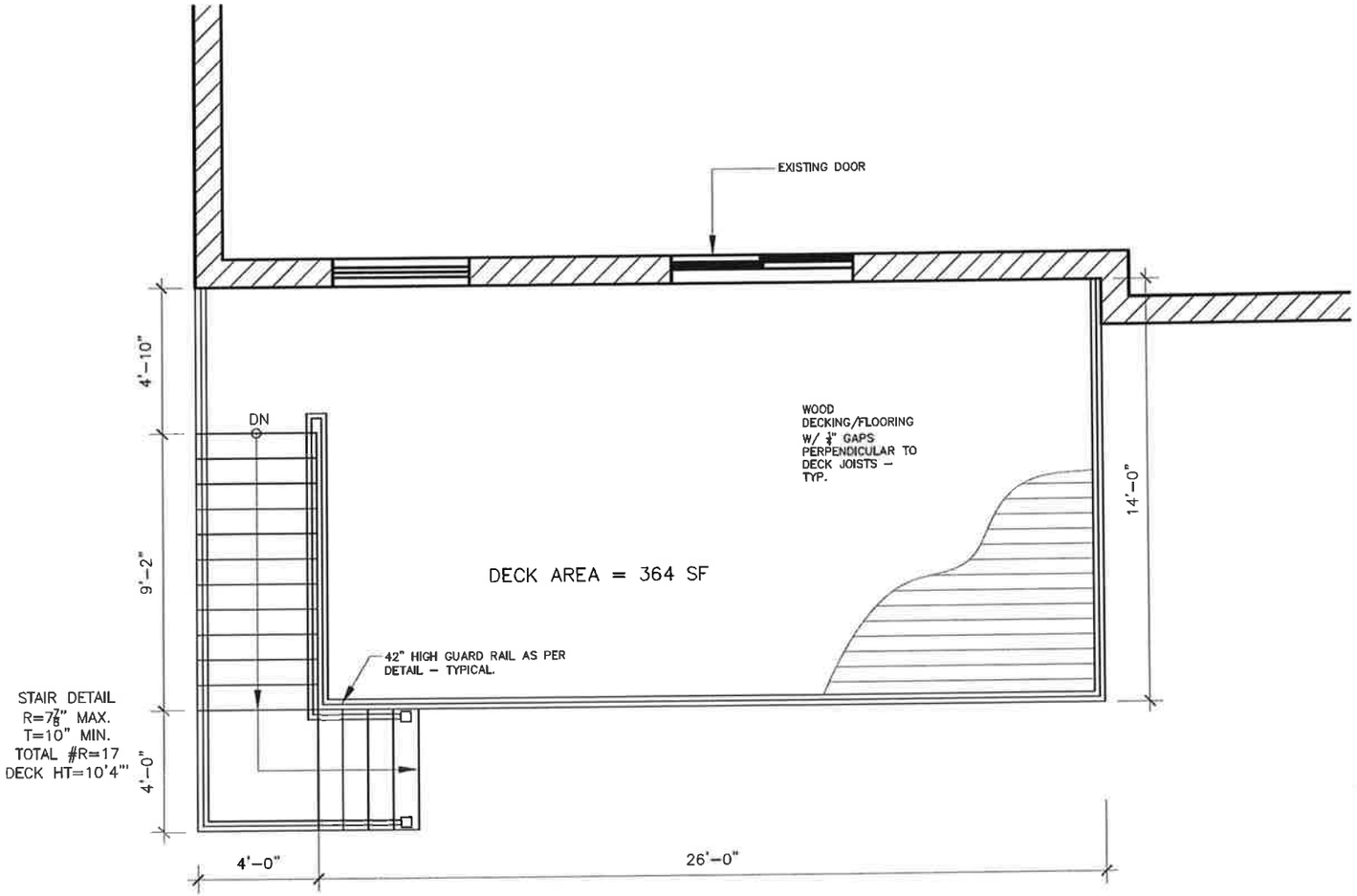
**DATE RECEIVED** November 4, 2022

Revised 2021/01/15




# 46 ABIGAIL GRACE CRES, BRAMPTON

SITE PLAN - SCALE: 3/32"=1'-0" - DATE: NOV 11, 2022




# 46 ABIGAIL GRACE CRES, BRAMPTON

DECK PLAN - SCALE: 3/32"=1'-0" - DATE: NOV 11, 2022

Credit Valley Conservation
inspired by nature

# Credit Valley Conservation Authority

**Date of Issuance: November 1, 2022**

**PERMIT 22/303**

*IN ACCORDANCE WITH:*

**ONTARIO REGULATION 160/06, PURSUANT TO SECTION 28 OF THE CONSERVATION AUTHORITIES ACT (R.S.O. 1990 Chapter C.27).**

*PERMISSION HAS BEEN GRANTED TO:*

| | | | |
|---|---|---|---|
| **Owner Name:** | Gurpreet Kalra | **Tel:** | 416 300-6300 |
| **Address:** | 46 Abigail Grace Cres, Brampton ON L6X 5R2 | | |
| **Agent Name:** | Laxman Patel Architect (Laxman Patel) | **Tel:** | 647 967-7937 |
| **Address:** | 21 Markbrook Lane, Suite 1601, Toronto ON M9V 5E4 | | |
| **Property Location:** | **46 Abigail Grace Crescent<br>Part Lot 7, Concession 5 WHS<br>City of Brampton** | | |

This permit is issued for the above noted property for the purpose of:

**Development in the Regulated Area for the purpose of constructing a deck in the rear yard.**

This permit is valid for 2 (two) years and is **subject to the following conditions:**

**Expiry Date: November 1, 2024**

## CONDITIONS:

1. That the work be carried out in accordance with the following plans which are marked: **22/303**

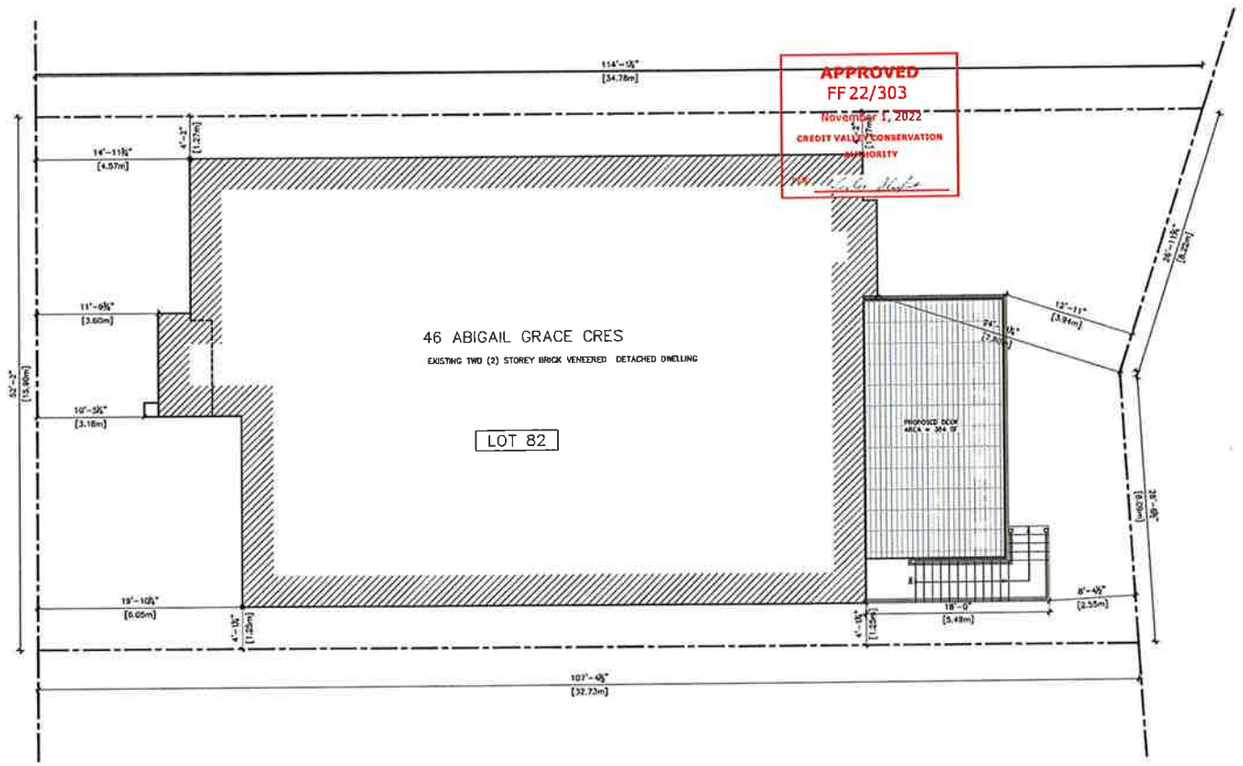
   - **Site Plan, prepared by Laxman Patel Architects on Oct 12, 2022 and stamped by CVC on November 1, 2022.**

2. That permission granted herein shall lapse on the above noted expiry date, unless the work for which the permission has been given has been completed. If the work has not been completed by the aforementioned date, this permit is invalid and all on-going and future work must cease and a new application be submitted to the Credit Valley Conservation Authority. New applications will be assessed in accordance with information, policies and practices in place as of the date of receipt of the new submission. What shall be deemed as "complete" is within the sole discretion of the Credit Valley Conservation Authority.
3. That the Credit Valley Conservation Authority be notified 48 hours prior to the commencement of any works and be notified of the completion of the project.
4. That appropriate erosion and sediment control measures must be installed prior to construction and maintained until all disturbed areas have been stabilized.
5. That all disturbed areas be stabilized and restored to existing conditions or better immediately upon completion of the works.

**INSPECTIONS MAY BE CARRIED OUT BY CVC STAFF MEMBERS TO ENSURE THAT THE WORK IS UNDERTAKEN AND COMPLETED ACCORDING TO THE APPROVED PLANS.**

Be advised that the Credit Valley Conservation Authority may, at any time, withdraw this permission, if, in the opinion of the Authority, the conditions of the permit are not being complied with. This approval does not exempt the property owner/applicant/agent from the provisions of any other Federal, Provincial or Municipal statutes, regulations or by-laws, or any rights under common law.

Regulations Officer




1 / A01 SITE PLAN
SCALE: 3/32"=1'-0"

LAXMAN PATEL ARCHITECT
1601-21 MARKBROOK LANE, TORONTO, ON, M9V 5E4
647 957 7937 E: LAXMAN@KALPARCHITECT.COM

ALL INFORMATION AND DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE, DO NOT SCALE DRAWINGS, ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER PRIOR TO COMMENCEMENT OF THE WORK. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH ALL BY-LAWS AND CODES HAVING JURISDICTION OVER THIS CONSTRUCTION SITE. THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

| NO. | BY | DESCRIPTION | DATE |
|---|---|---|---|
| 3 | | | |
| 2 | LP | | |
| 1 | LP | ISSUED FOR CVC REVIEW | 2022,10,12 |

PROJECT:
PROPOSED DECK
46 ABIGAIL GRACE CRES, BRAMPTON, ON

DRAWING TITLE.
SITE PLAN

| | |
|---|---|
| DRAWN BY: | LP |
| CHECKED BY: | LP |
| DATE: | 2022,10,12 |
| SCALE: | AS NOTED |
| DRAWING NO. | A01 |

N

ONTARIO ASSOCIATION OF ARCHITECTS
LAXMANBHAI M. PATEL
LICENCE
7611

B2
Bovaird Dr
a
b
c
d
e
A3
C3
Heritage Rd
Mississauga Rd
Prestige Crt
Germain
Circle
Vezna Cres
Vezna Cres
Royal West Dr
Hango Crt
Lillestone Dr
Hutt Cen
Walkercleave Dr
Rolling Acres Dr
Midmorning Rd
Longevity
Lyle
Way
Beachville
Circle
Dairymaid Rd
Dairymaid Park
Settlers Field Rd
Beacon Hill Dr
Silo
Ernst St
Settlers Field Channel
Terrace
Rolling Acres Dr
Longevity Rd
Longevity Pond
Abigail Grace Pond
Ostrander Park North
Adamsville Rd
Ostrander Park South
Ostrander Blvd
Rivercrest Crt
River Rd
Huttonville Dr
Huttonville Parkette
Grandview Crt
Agincourt
Circle
Royal West Dr
Beacon Hill Dr
Armistead Parkette
Huttonville Community Centre
Huttonville P.S.
Embleton Rd
River Rd
B3
B4


A-2022-0358

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0359***
**WARD 8**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **NILAM SHAH AND BHAVIN SHAH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 60, Plan 43M-3030 municipally known as **42 LYLE WAY,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an accessory structure (gazebo) having a building height of 3.327m (10.92 ft.) whereas the by-law permits a maximum building height of 3.0m (9.84 ft.) for an accessory structure;

2. To permit an accessory structure (gazebo) having a gross floor area of 22.67 sq. m (244 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;

3. To permit setbacks of 0.66m (2.17 ft.) and 0.58m (1.90 ft.) to an uncovered pool or recreational facility whereas the by-law requires a minimum setback of 1.2m (3.94 ft.) to the nearest lot lines;

4. To permit a driveway width of 10.28m (33.73 ft.) whereas the by-law permits a maximum driveway width of 9.14m (30 ft.);

5. To permit 0.0m of permeable landscaping abutting the property line whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip abutting both property lines;

6. To permit a recreational facility to be located within a required interior side yard resulting in an interior side yard setback of 0.782m (2.57 ft.) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.) to a recreational facility.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  File Number: _____
Application for Consent: NO  File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

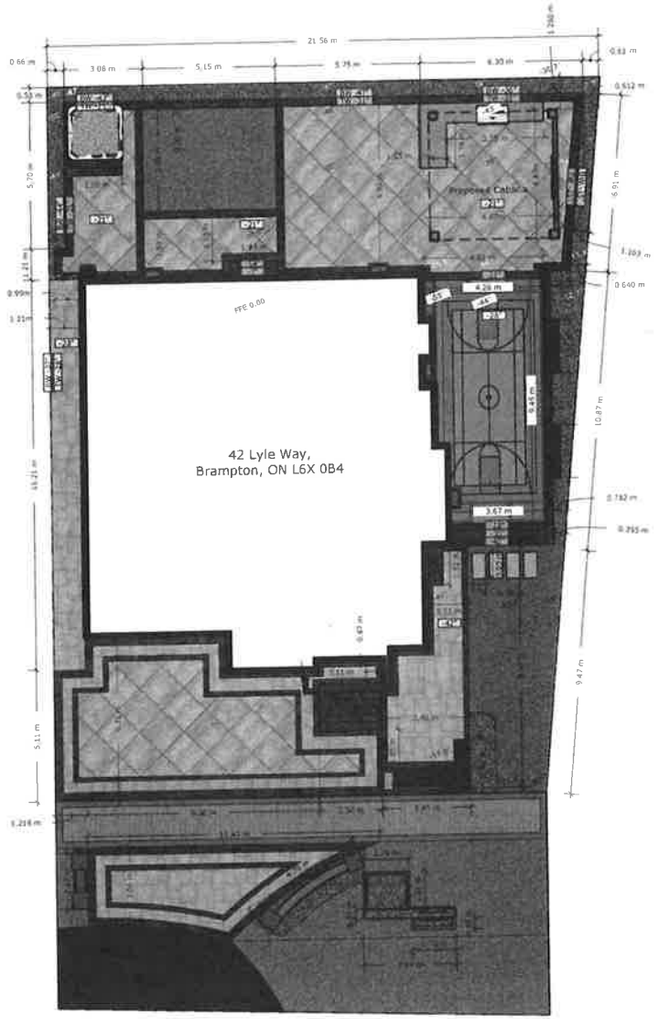
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




Legend

0 Existing Grades

0 Proposed Grades

Square Design Group

Contractors must verify all dimensions and conditions on the project and must report any discrepancies to the designer before proceeding with construction. Construction, Site Information and Planting Plans must only be used for budgetary pricing. The material and information is for general information and is solely to help the contractor price the concept design.

## Landscape Project

42 Lyle Way, Brampton, ON L6X 0B4

Construction Plan

Scale:1:200
Date:2022/06/17

**A1**

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer after application is deemed complete)

FILE NUMBER: A-2022-0359

*The Personal information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

## APPLICATION
## Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Bhavin Shah / NILAM SHAH
   **Address** 42 Lyle Way, Brampton, ON L6X 0B4
   **Phone #** [redacted] **Fax #**
   **Email** bhavinshah45@gmail.com

2. **Name of Agent** Anthony Bartolini
   **Address** 1204 Hill Street, Innisfil, ON, L9S 1X8
   **Phone #** [redacted] **Fax #**
   **Email** squaredesigngroup@outlook.com

3. **Nature and extent of relief applied for (variances requested):**

To permit height for an accessory structure of 3.327 m is proposed.
The maximum permitted gross floor area proposed is 22.67m2
To permit a hot tub setback of 0.66m to the rear and 0.58m to the side yard.
To permit a driveway width of 10.28m (maximum permitted is 9.14m)
To permit a 0.0m permeable landscaping strip abutting the property line (minimum o f0.6m is required)
To permit a recreational facility (hot tub) to be located within a required interior side yard resulting in a setback of 0.782m (minimum required is 1.2m)

4. **Why is it not possible to comply with the provisions of the by-law?**

Can not comply with the allowable gross floor area of one accessory structure of 15m2.
Can not comply with the maximum permitted height of 3meters.
Can not comply with the setbacks to the hot tub.
Can not comply with the allowable driveway width of 9.14m.
Can not comply with the permeable landscaping strip abutting the property line (minimum of 0.6m is required)

5. **Legal Description of the subject land:**
   **Lot Number** 60
   **Plan Number/Concession Number** 43M-2030
   **Municipal Address** 42 Lyle Wy, Brampton, ON L6X 0B4

6. **Dimension of subject land (in metric units)**
   **Frontage** 19.155 M
   **Depth** 27.610m
   **Area** 528.8M2

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)
Existing 2 storey dwelling
House Footprint: 200m2

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**
Proposed cabana footprint: 24.6m2
Cabana Height: 3.327m

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**
**Front yard setback** 3.07m
**Rear yard setback** 7.5m
**Side yard setback** 1.24m
**Side yard setback** 4.34m

**PROPOSED**
**Front yard setback** N/A
**Rear yard setback** 1.260m2
**Side yard setback** 1.103m2
**Side yard setback** N/A

10. **Date of Acquisition of subject land:** 22-MARCH-2017

11. **Existing uses of subject property:** Residential

12. **Proposed uses of subject property:** Residential

13. **Existing uses of abutting properties:** Residential

14. **Date of construction of all buildings & structures on subject land:** N/A

15. **Length of time the existing uses of the subject property have been continued:** Present

6. (a) **What water supply is existing/proposed?**
**Municipal** ☒
**Well** ☐
**Other (specify)**

(b) **What sewage disposal is/will be provided?**
**Municipal** ☒
**Septic** ☐
**Other (specify)**

(c) **What storm drainage system is existing/proposed?**
**Sewers** ☒
**Ditches** ☐
**Swales** ☐
**Other (specify)**

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ■

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ■

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ■ **Unknown** ☐

**If answer is yes, provide details:**

| | | |
|---|---|---|
| **File #** _____ | **Decision** _____ | **Relief** _____ |
| **File #** _____ | **Decision** _____ | **Relief** _____ |
| **File #** _____ | **Decision** _____ | **Relief** _____ |

B. G. Shah

Signature of Applicant(s) or Authorized Agent

DATED AT THE BRAMPTON OF ON.

THIS 4th DAY OF NOVEMBER, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, BHAVIN SHAH, OF THE ~~BP~~ CITY OF BRAMPTON.

IN THE PEEL OF _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE City OF Brampton

IN THE Region OF Peel THIS 4th DAY OF Nov., 2022

Jeanie Myers

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

G. Shah

Signature of Applicant or Authorized Agent

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

_____ Zoning Officer

_____ Date

**DATE RECEIVED** November 4, 2022

Revised 2020/01/07

Legend

| | |
|---|---|
| 0 | Existing Grades |
| 0 | Proposed Grades |

Square Design Group

Contractors must verify all dimensions and conditions on the project and must report any discrepancies to the designer before proceeding with construction. Construction, Site Information and Planting Plans must only be used for budgetary pricing. The material and information is for general information and is solely to help the contractor price the concept design.

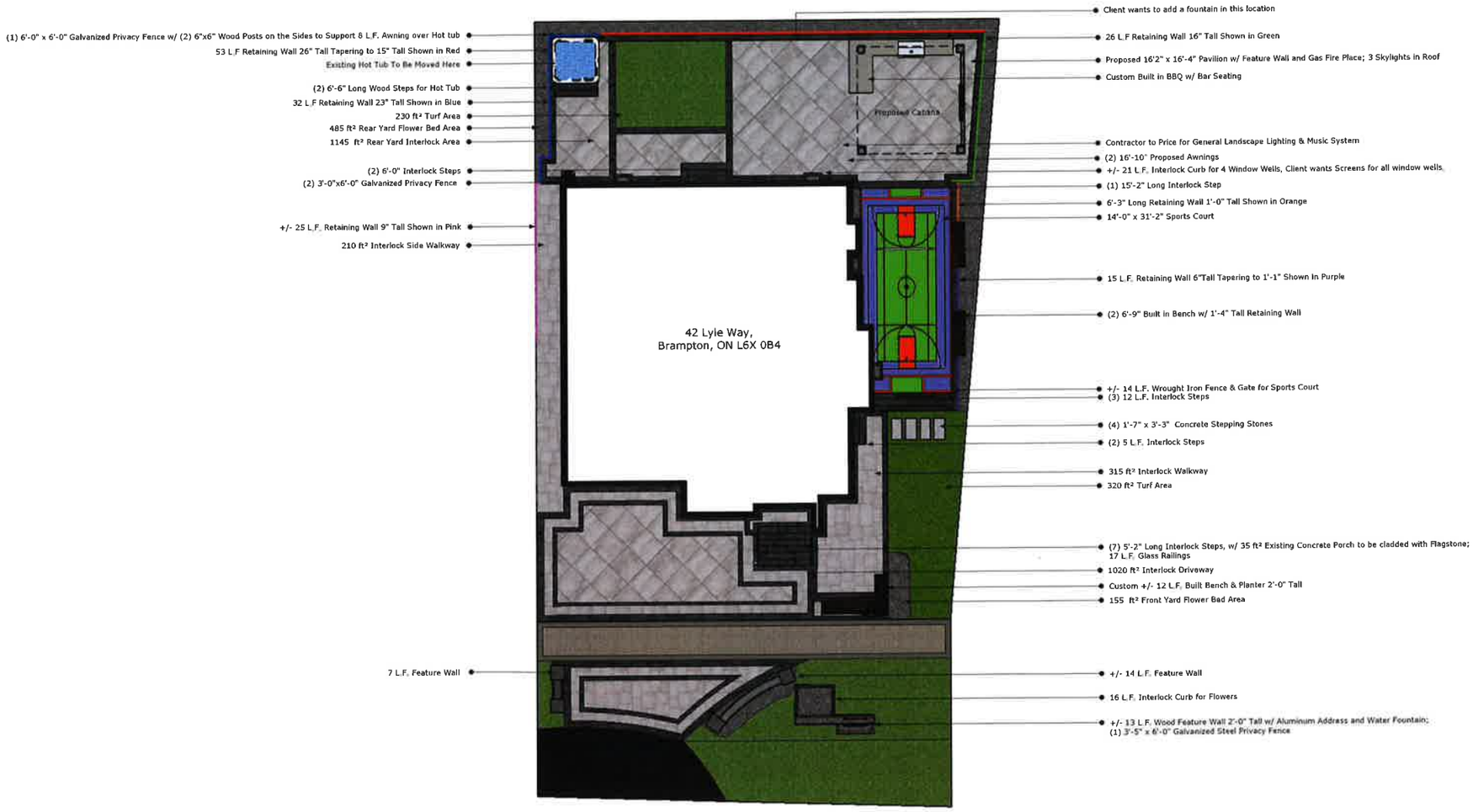
# Landscape Project

42 Lyle Way, Brampton, ON L6X 0B4

Construction Plan

Scale:1:200
Date:2022/06/17

**A1**




| | | | |
|---|---|---|---|
| Square Design Group | Contractors must verify all dimensions and conditions on the project and must report any discrepancies to the designer before proceeding with construction. Construction, Site Information and Planting Plans must only be used for budgetary pricing. The material and information is for general information and is solely to help the contractor price the concept design. | Landscape Project<br>42 Lyle Way, Brampton, ON L6X 0B4 | Site Information Plan<br>Scale:1:200<br>Date:2022/06/17 | A2 |

| | | | |
|---|---|---|---|
| Square Design Group | Contractors must verify all dimensions and conditions on the project and must report any discrepancies to the designer before proceeding with construction. Construction, Site Information and Planting Plans must only be used for budgetary pricing. The material and information is for general information and is solely to help the contractor price the concept design. | Landscape Project<br>42 Lyle Way, Brampton, ON L6X 0B4 | Planting Plan<br>Scale:1:200<br>Date:2022/06/17 | A3 |

10m 20metres

VEYING LTD., O.L.S.

.AN ARE IN METRES AND CAN
VIDING BY 0.3048.

ISSUED BY THE SURVEYOR
in accordance with
Regulation 1026, Section 29(3).

BEARINGS ARE GRID AND ARE REFERRED TO THE NORTHWEST LIMIT OF LYLE WAY AS SHOWN ON PLAN 43M-2030 HAVING A BEARING OF N37°50'25"E.

... THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 2nd DAY OF JUNE ,2017.

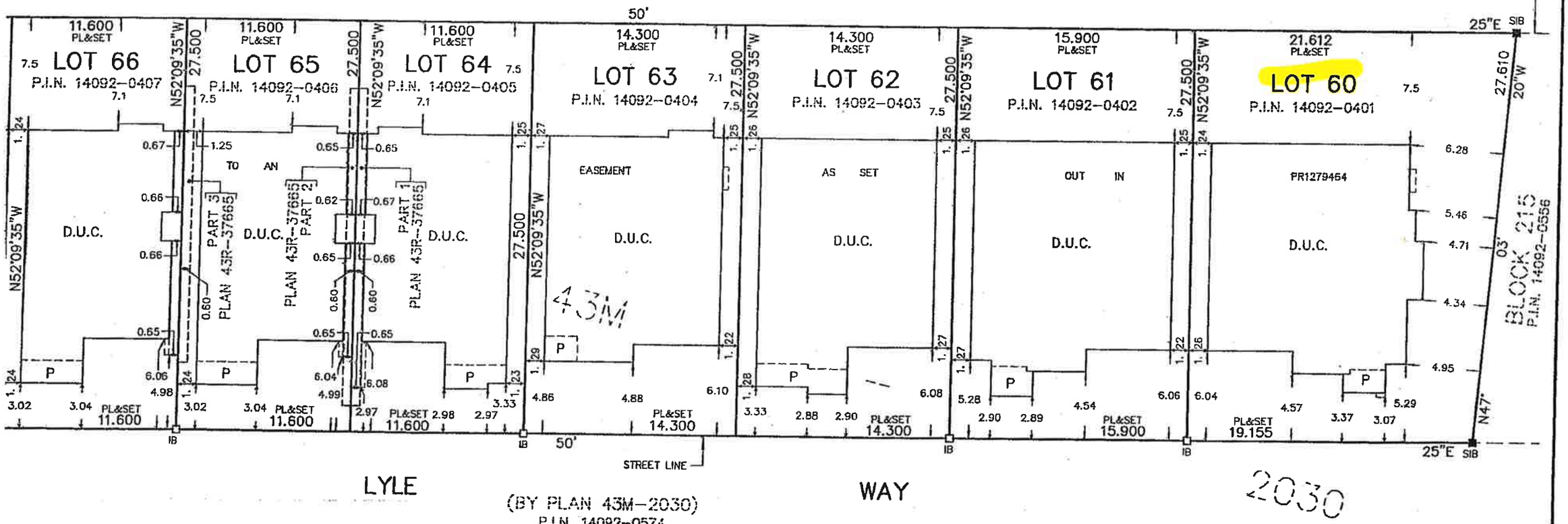
DATE: JUNE 14 , 2017.

T. SINGH
ONTARIO LAND SURVEYOR

LOT 8, CONCESSION 5, WEST OF HURONTARIO STREET

PART 1, PLAN 43R - 31442

P.I.N. 14092 - 0340




RADY-PENTEK & EDWARD SURVEYING LTD.
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A3
Tel.(416)635-5000 Fax (416)635-5001
Tel.(905)264-0881 Fax (905)264-2099
Website: www.r-pe.ca

DRAWN: V.K.
CAD FILE No.2030-60

CHECKED: G.Y./T.S.
JOB No. 17-033

RTIES.

7.

PROPOSED PAVILION
42 LYLE WY
BRAMPTON, ON L6X 0B4

A00-COVER PAGE
A1-SITE PLAN
A2-FLOOR PLAN
A3-FOUNDATION PLAN
A4-ROOF PLAN
A5-ELEVATIONS
A6-ELEVATIONS
A7-ELEVATIONS
A8-ELEVATIONS
A9-DETAIL 1

Square
Design
Group

## STRUCTURAL NOTES:

1. Workmanship and materials shall be in accordance with part 9 of the Ontario Building Code and local regulations.
2. See Architectural drawings for dimensions, elevations and finishes.
3. All structural components shall be interconnected to resist code mandated live, dead and environmental loads.
4. DESIGN LIVE LOADS ARE:
   ROOF : SS = 1.3 KPA, Sr =0.4 KPA
   FLOORS : 40 PSF
   WIND 1/50 : 0.44 KPA BASIC
   EARTHQUAKE : Sa(0.2) = 0.19
5. Contractor is responsible for safe execution of work, as per osha and other applicable safety codes. a temporary shoring plan and construction sequence duly signed by an Ontario licensed professional engineer to be submitted for approval before start of any relevant work. Approved shop drawings along with approve permit drawings shall be always available at site for reference.

### Foundations

1. Footings shall be placed on undisturbed soil capable of supporting 2000 psf.
2. Footings excavations shall be inspected by soils engineer before concrete is placed.
3. Footings exposed to freezing shall be placed at least 4'-0" below finished grade.
4. Protect footings exposed to frost action during construction by 4'-0" minimum of soil or its equivalent.
5. The line of slope between adjacent footings or excavations or along stepped footings shall not exceed a rise of 7 in a run of 10. maximum step shall be 2'-0".
6. Where a foundation wall retains soil on each side, place backfill on both sides simultaneously.
7. Foundation walls retaining earth between slabs at different levels shall be shored until the slab at higher level is in place and has reached its required strength.

### Concrete specification

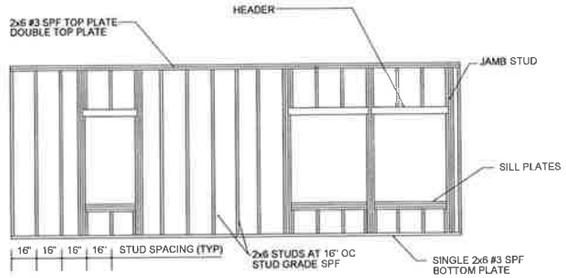
1. The ultimate 28 days compressive strength of concrete shall be 20.0 MPA unless noted otherwise.
2. The ultimate 28 days compressive strength of concrete exposed to freezing and thawing (exterior slabs, garage floor slab, side walks, curbs,retaining walls, etc.) shall be 32 MPA with minimum air entrainment content of 5%-8% and maximum water/cement ratio by mass of 0.45.
3. Do not use calcium chloride or other salts in concrete.
4. Reinforcing steel shall be deformed bars to CSA G30.18 with a minimum yield strength of 400 MPA.
5. Welded wire mesh shall conform to CSA G30.5, welded steel wire fabric for concrete reinforcement.
6. Detail reinforcing in accordance with reinforcing steel manual of standard practice prepared by RSIO.
7. Only ready mix concrete is permitted on this job, the concrete supplier shall be responsible for concrete mix design.
8. Supply and install concrete, reinforcing steel and formwork including placing, finishing and curring as shown on the drawings in accordance with CSA A23 and CSA G 30.
9. Non-shrink, non-metallic grout shall be used by Sika Canada inc. or an approved equal.

### Structural Steel

1. Structural steel shall be as follows
   W, S, HP, WWF SHAPES CAN/CSA G40.21-350W.
   HSS CAN/CSA G40.21-350W, CLASS C
   L, PL CAN/CSA G40.21-300W
2. Obtain field measurements as required.
3. Provide holes where required for attachment of other work to steel, place holes so as not to cause any appreciable reduction in strength of the member.
4. Fabricate, supply and erect structural steel work in accordance with the following standards:
   Design, fabrication and erection CSA-S16.1
   Welding CSA-W47
   Cleaning SSPC-SP3-63
   Bolts 3/4" Ø U.N.O ASTM-325-80A
   Paint (1 shop coat + field touch up) CGSB-1.40-M89
5. Design connections for the reactions produced by the loading conditions.
6. No splices in new beams and columns shall be allowed unless approved by the engineer.
7. All steel lintels bearing on masonry to have minimum 6" bearing

### Wood

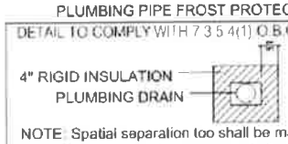
1. All wood construction to be in accordance with CSA standard CAN3-086-01.
2. All lumber to be grade stamped and shall be dry spruce #1 or #2 conforming to CSA-086-01 u/n otherwise.
3. Lumber for stud walls shall be spruce stud grade u/n otherwise.
4. Trus joists, LSL and PSL beams shall be as manufactured by Trus Joist Canada ltd. or an approved equal. the supplier shall be responsible for design of all connections and shall submit shop drawings bearing a stamp of P. Eng. responsible for the design.
5. All connections, unless noted otherwise, to be in accordance with O.B.C. 2012
6. All load bearing stud walls shall have one row of solid blocking at mid height unless noted otherwise.
7. Bridging for trus joists shall be as recommended by the manufacturer, however, spacing of bridging shall not exceed 12 feet.
8. Metal hangers shall be made from light gauge galvanized metal and shall have allowable load capacity (as per manufacturer's data) greater than reactions produced by loading conditions. Use Simpson Strong-tie or equal.
9. Protect lumber in direct contact with concrete or mortar with 10 mil. polyethylene sheet
10. Provide adequate temporary bracing for all stud walls during construction.
11. Double up studs at each end of an opening unless noted otherwise.
12. Plywood as per CSA O 86.1




TYP. WALL

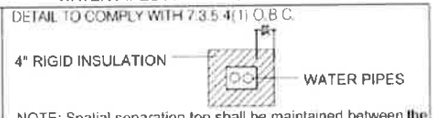
NOTES:
1. TOP AND BOTTOM PLATE TO STUD WITH (3) .131x3" P.D. NAILS
2. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS
3. WALL TO WALL AND CEILING #8x3" SCREW 16" O.C.

PLUMBING PIPE FROST PROTECTION DETAIL




NOTE: Spatial separation too shall be maintained between the Sanitary sewer and the water supply lines. Plumbing to have winterizing shut off installed in the basement. All drains to be winterized to prevent freezing during winter months. Plumbing to be blow out and filled with Anti-Freeze as req.

WATER PIPES FROST PROTECTION DETAIL




NOTE: Spatial separation too shall be maintained between the Sanitary sewer and the water supply lines. Plumbing to have winterizing shut off installed in the basement. All drains to be winterized to prevent freezing during winter months. Plumbing to be blow out and filled with Anti-Freeze as req.

## STEEL LINTEL SCHEDULE

| | | |
|---|---|---|
| L1 | Up to 4'-6" Opening | L 3 1/2" x 3 1/2" x 5/16" |
| L2 | Up to 5'-6" Opening | L 4" x 3 1/2" x 5/16" |
| L3 | Up to 6'-6" Opening | L 5" x 3 1/2" x 5/16" |
| L4 | Up to 7'-6" Opening | L 5" x 3 1/2" x 3/8" |
| L5 | Up to 9'-10" Opening | L 6" x 4" x 3/8" |
| L6 | Up to 11'-0" Opening | L 7" x 4" x 3/8" |
| L7 | Up to 19'-0" Opening | (I-BEAM) W8x15 BEARING ON BRICK |
| | | |

## WOOD LINTEL SCHEDULE

| | | |
|---|---|---|
| WB1 | Up to 3'-6" Opening | 3 - 2" x 6" |
| WB2 | Up to 5'-6" Opening | 3 - 2" x 8" |
| WB3 | Up to 6'-6" Opening | 3 - 2" x 10" |
| WB4 | Up to 7'-6" Opening | 3 - 2" x 12" |
| | | |

1 / A0.9 NOTES

NTS

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

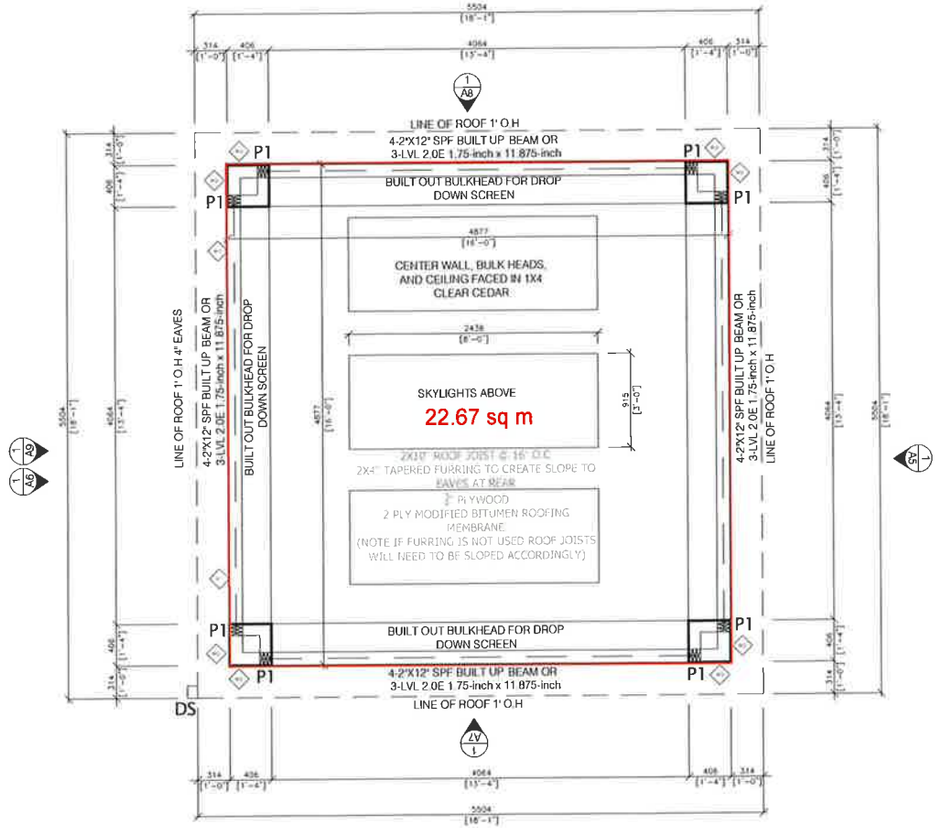
PROJECT NAME:
42 Lyle Wy Brampton, ON L6X 0B4

DRAWING TITLE:
CONSTRUCTION NOTES

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A0.9




W1 FEATURE WALL
1X4" CLEAR CEDAR
2X4" (38X89) SPF WOOD STUDS @ 16" O.C.
DBL. TOP PLATE
1X4" CLEAR CEDAR

W2 EXTERIOR WALL
STONE OR SIDING AS PER CLIENT CHOICE
½" EXTERIOR PLYWOOD SHEATHING
OR CONCRETE BOARD
2X4" (38X89) SPF WOOD STUDS DOUBLE
TOP PLATE @ 16" O.C

-ALL POSTS TO BE ON STEEL POST SHOE
-ANY FRAMING TO BE ON SIL GASKET
-ANY LVL BEAMS EXPOSED TO EXTERIOR TO BE PROTECTED FROM ELEMENTS BASED ON MANUFACTURE SPECS
-ANY LUMBER EXPOSED TO OUTDOOR ELEMENTS TO BE WEATHER TREATED
-ANY CONNECTION TO BE DONE WITH PROPER SIMPSON STRONG TIE OR COMPLY WITH OBC

POST SCHEDULE
P1 3- (2"X6") BUILT UP PST. (OR SOLID PST)

1/A2 FLOOR PLAN
1:50

| rev | description | by | date |
|---|---|---|---|
| REV. | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

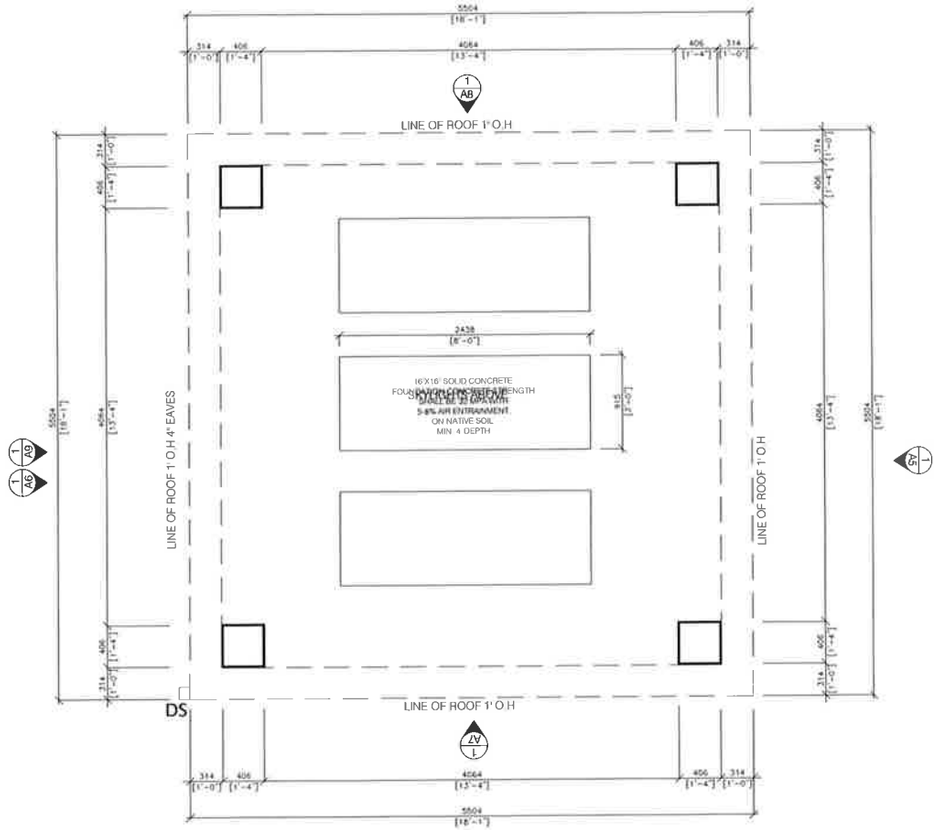
PROJECT NAME:
42 Lyle Wy Brampton, ON L6X 0B4

DRAWING TITLE:
FLOOR PLAN

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A2




## 1 A3.0 FOUNDATION PLAN

1:50

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

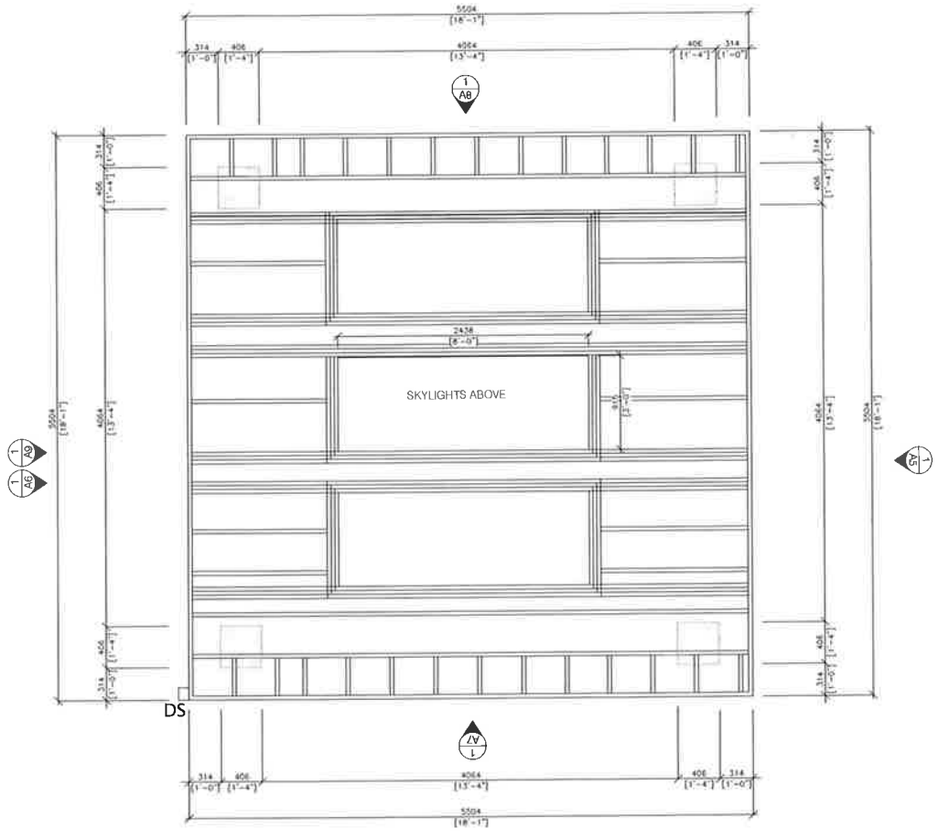
PROJECT NAME:
42 Lyle Wy Brampton, ON L6X 0B4

DRAWING TITLE:
FOUNDATION PLAN

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A3




1 A4.0 ROOF FRAMING PLAN

1:50

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

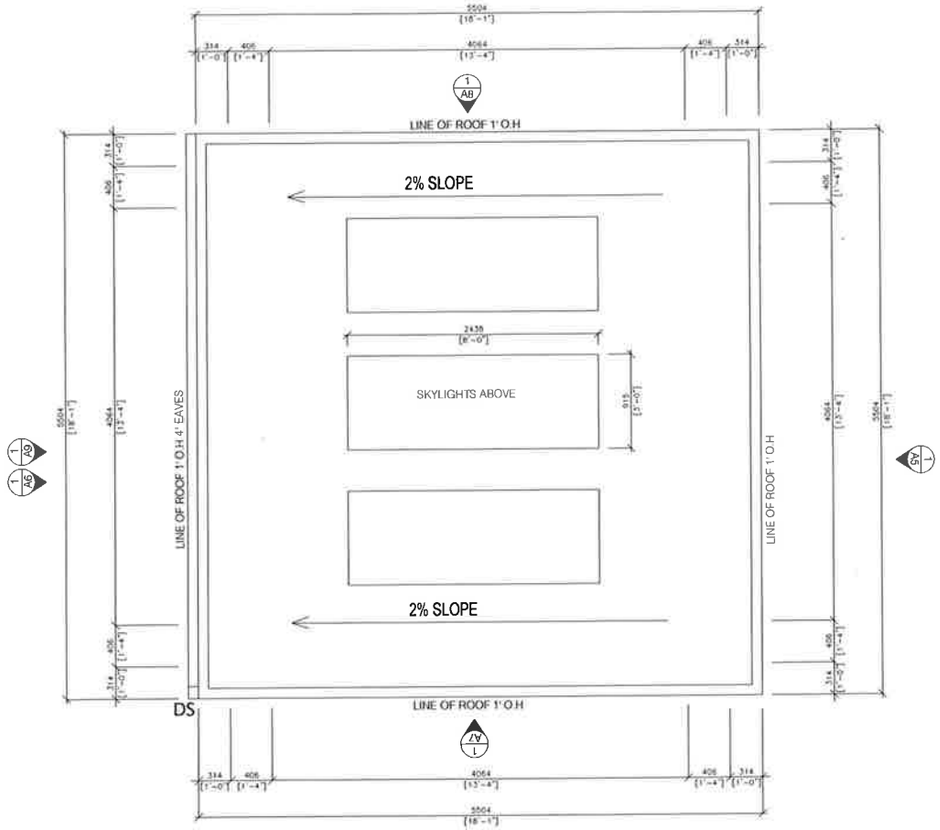
PROJECT NAME:
42 Lyle Wy Brampton, ON L6X 0B4

DRAWING TITLE:
ROOF FRAMING PLAN

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A4




## 1 A4.1 ROOF DRAINAGE PLAN

1:50

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

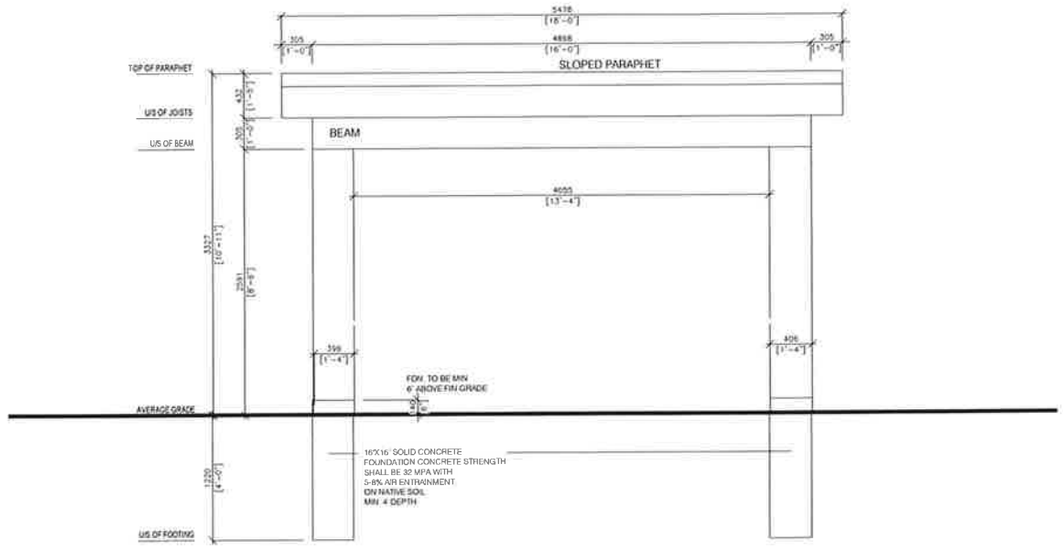
PROJECT NAME:
42 Lyle Wy Brampton, ON L6X 0B4

DRAWING TITLE:
ROOF DRAINAGE PLAN

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A4.1




1 A5.0 ELEVATION A

1:50

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

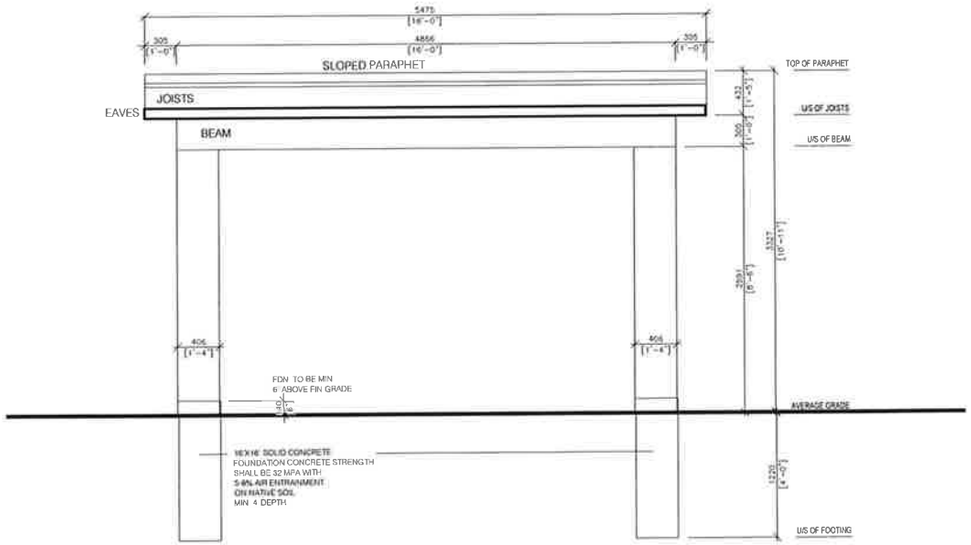
PROJECT NAME:
42 Lyle Wy Brampton, ON L6X 0B4

DRAWING TITLE:
ELEVATION

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A5.0




1 A6.0 **ELEVATION B**

1:50

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

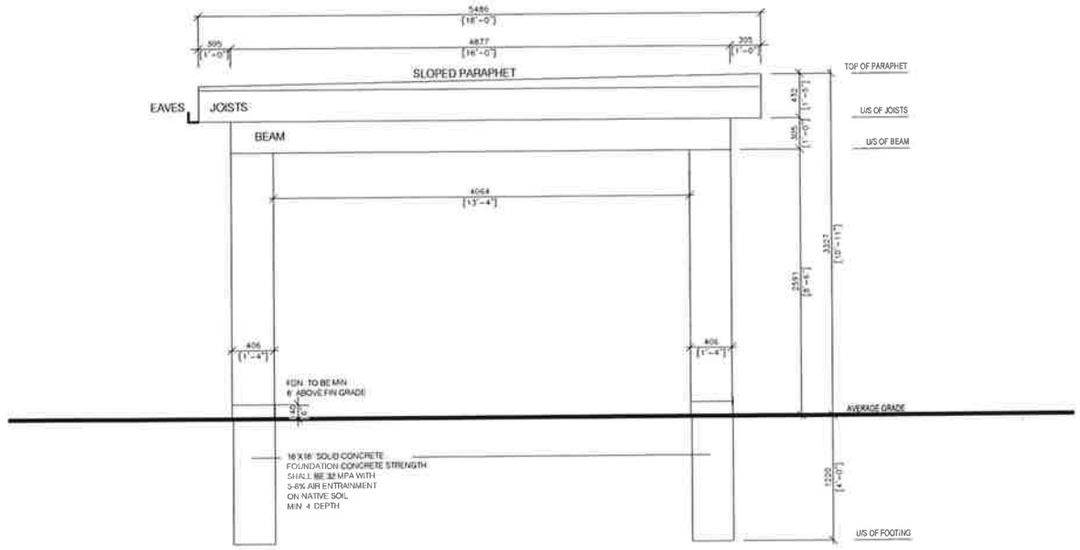
PROJECT NAME:
42 Lyle Wy Brampton, ON L6X 0B4

DRAWING TITLE:
ELEVATION

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A6.0




1 / A7.0 ELEVATION C

1:50

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

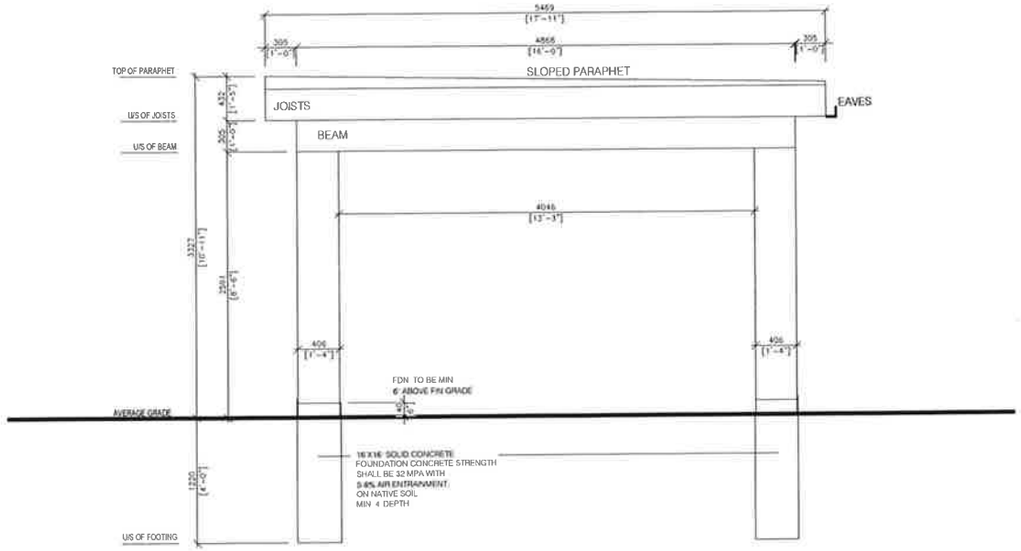
PROJECT NAME:
42 Lyle Wy Brampton, ON L6X 0B4

DRAWING TITLE:
ELEVATION

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A7.0




1 A8.0 **ELEVATION D**

1:50

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

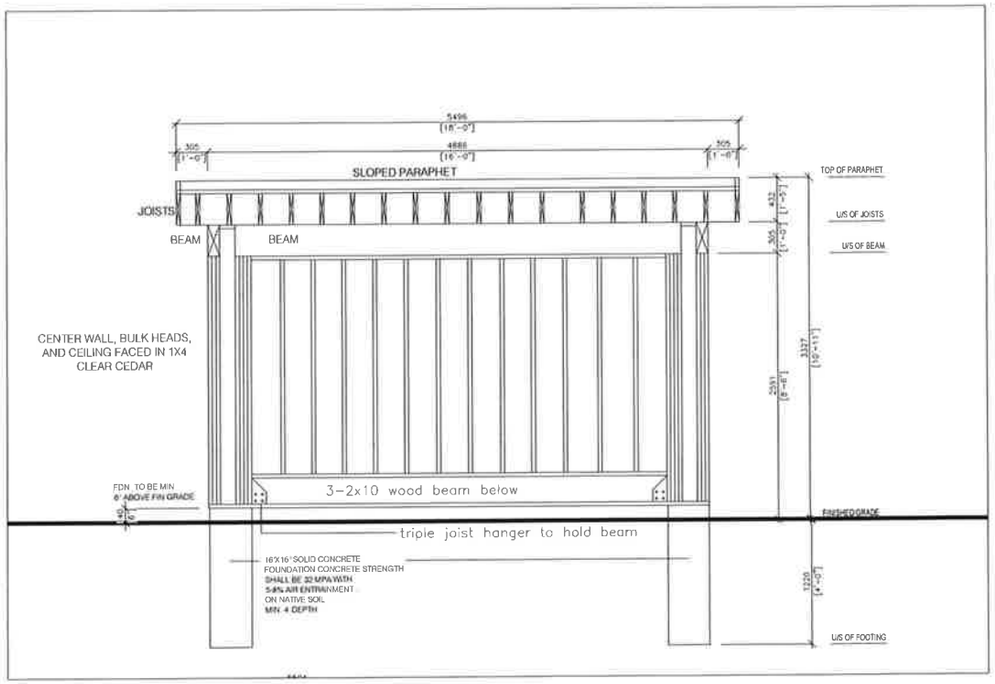
PROJECT NAME:
42 Lyle Wy Brampton, ON L6X 0B4

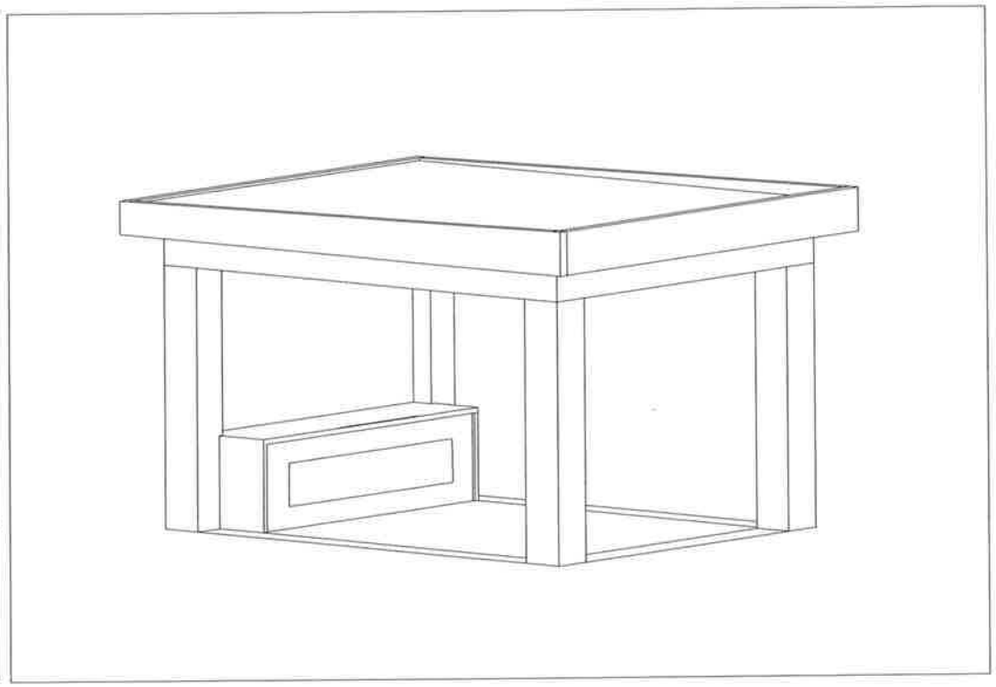
DRAWING TITLE:
ELEVATION

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A8.0



1 A9.0 **DETAIL 1**
1:50

1 A9.0 **DETAIL 2**
1:50

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:
42 Lyle Wy Brampton, ON L6X 0B4

DRAWING TITLE:
ELEVATION

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A9.0

B2
Bovaird Dr
a
b
c
d
e
A3
C3
Heritage Rd
Mississauga Rd
Prestige Crt
Germain Circle
Vezna Cres
Royal West Dr
Hango Crt
Hutt Cen
Walkercleave Dr
Rolling Acres Dr
Midmorning Rd
Longevity
Lyle Way
Beachville Circle
Dairymaid Rd
Dairymaid Park
Settlers Field Rd
Beacon Hill Dr
Silo Way
Frost St
Terrace
Raindrop
Rolling Acres Dr
Longevity Rd
Settlers Field Channel
Abigail Grace Pond
Longevity Pond
Ostrander Park North
Ostrander Park South
Adamsville Rd
Black Diamond Cres
Royal West Dr
Beacon Hill Dr
Rivercrest Crt
Ostrander Blvd
River Rd
Huttonville Dr
Huttonville Parkette
Grandview Crt
Agincourt Circle
Royal West Dr
Armistead Parkette
Huttonville Community Centre
Huttonville P.S.
Embleton Rd
River Rd
B3
B4


A-2022-0359

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0360***
**WARD 3**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **2418851 ONTARIO LTD.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of lot 3, Concession 2 EHS municipally known as **159 RUTHERFORD ROAD SOUTH,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an office use (not accessory to a permitted use) having a proposed gross floor area of 214 square metres whereas the by-law does not permit an office.

***Note: Approval granted under application A-2020-0044 limited the office area to a maximum of 78 square metres.***

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

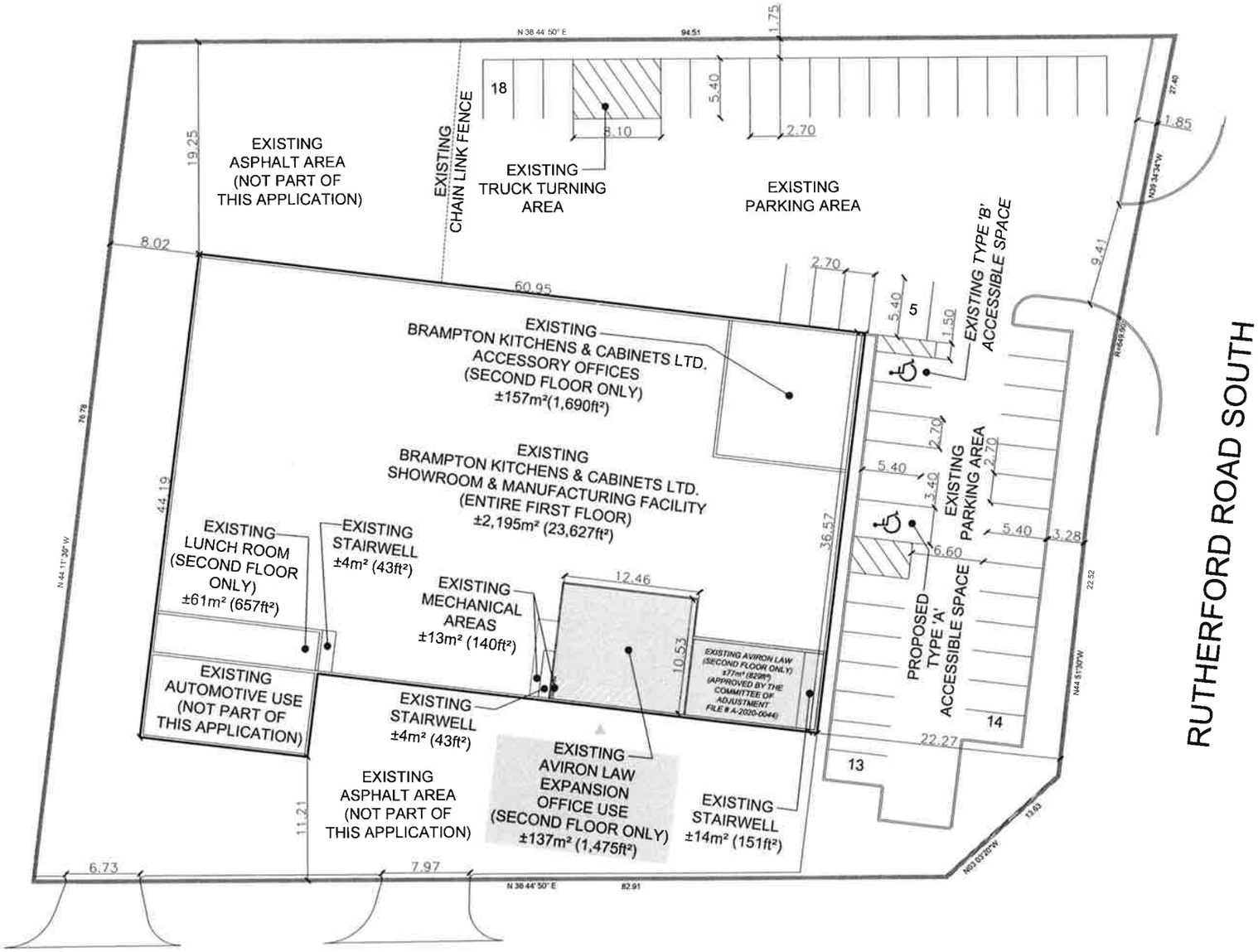
**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

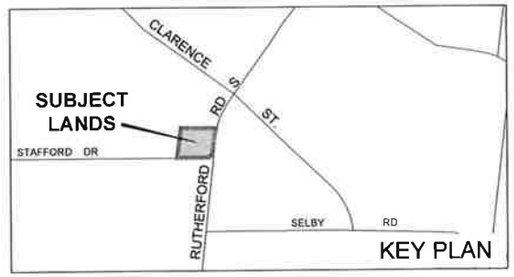
DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

P:\637-001B\7. Drawings\7.1 GSAI\2022 11 November\MV Sketch Nov 9 22.dwg




# MINOR VARIANCE SKETCH
# 2148551 ONTARIO LIMITED

159 RUTHERFORD ROAD SOUTH
PART OF LOT 3, CONCESSION 2,
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

**REQUIRED VARIANCE**

TO PERMIT FOR AN OFFICE USE (NOT ACCESSORY TO A PERMITTED USE) ON THE SUBJECT SITE, WHEREAS THE INDUSTRIAL 2 (M2) ZONE DOES NOT PERMIT FOR AN OFFICE USE ON SITE THAT IS NOT ACCESSORY TO A PERMITTED USE.

**DEVELOPMENT STATISTICS**

| | |
|---|---|
| SITE AREA: | 0.70ha (1.73ac) |
| TOTAL PARKING REQUIRED: | 50 SPACES |
| TOTAL PARKING PROVIDED: | 50 SPACES |
| BARRIER FREE REQUIRED: | 2 SPACES |
| BARRIER FREE PROVIDED: | 2 SPACES |

**AVIRON LAW OFFICE STATISTICS**

| | |
|---|---|
| APPROXIMATE GFA: | 214m² (2,303ft²) |

***PARKING STATISTICS - 1 SPACE PER 25m²***

| | |
|---|---|
| PARKING REQUIRED: | 9 SPACES |
| PARKING PROVIDED: | 9 SPACES |

**BRAMPTON KICHENS & CABINETS OFFICE STATISTICS**

| | |
|---|---|
| APPROXIMATE GFA: | 2,413m² (25,973ft²) |
| *GFA BREAKDOWN:* | |
| *SHOWROOM:* | *880m² (9,472ft²)* |
| *OFFICES:* | *157m² (1,690ft²)* |
| *MANUFACTURING:* | *1,315m² (14,155ft²)* |
| *LUNCH ROOM:* | *61m² (657ft²)* |

***PARKING STATISTICS - 1 SPACE PER 60m²***

| | |
|---|---|
| PARKING REQUIRED: | 41 SPACES |
| PARKING PROVIDED: | 41 SPACES |

**NOTES:**

TYPICAL PERPENDICULAR PARKING SPACE: 2.7m x 5.4m
TYPICAL TYPE 'A' BARRIER FREE SPACE: 4.9m x 5.4m
TYPICAL TYPE 'B' BARRIER FREE SPACE: 4.2m x 5.4m
TYPICAL DRIVE AISLE: 6.6m

SCALE 1:500
NOVEMBER 9, 2022

GSAI
Glen Schnarr & Associates Inc.

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

GSAI
Glen Schnarr & Associates Inc.

Partners:
**Glen Broll,** MCIP, RPP
**Colin Chung,** MCIP, RPP
**Jim Levac,** MCIP, RPP
**Jason Afonso,** MCIP, RPP
**Karen Bennett,** MCIP, RPP

*In Memoriam, Founding Partner:*
**Glen Schnarr**

October 28, 2022

Our File: 637-001B

Committee of Adjustment
City of Brampton
2 Wellington Street
Brampton, ON
L5B 3C1

A-2022-0360

Attention: Jeanie Myers
Secretary Treasurer, Committee of Adjustment

**Re: Minor Variance Application 2418851 Ontario Ltd**
**159 Rutherford Road South Part of Lot 3, Concession 2 EHS**
**City of Brampton, Ontario**

Glen Schnarr & Associates Inc. (GSAI) is pleased to submit this Application for a Minor Variance on behalf of our client 2418851 Ontario Ltd, owner of the property municipally addressed as 159 Rutherford Road South. The subject property is legally described as Part lot 3, Concession 2 EHS and is located on the northwest corner of Rutherford Road and Stafford Drive.

The subject property has a lot area of approximately 0.70 ha (1.73 ac), with a lot frontage of approximately 50 metres on Rutherford Road South and a lot depth of approximately 94 metres. The property is designated "Industrial" in the City of Brampton Official Plan (Schedule A - General Land Use Designations) and zoned Industrial 2 (M2) under City of Brampton Zoning by-law 270-2004. The subject property is currently occupied by a single two-storey building.

The two-storey building is currently occupied by Aviron Law, Brampton Kitchen and Cabinets Ltd and Ali Baba Motors, respectively. Brampton Kitchen and Cabinets Ltd (identified as "Brampton Kitchen and Cabinets Ltd." on the Minor Variance sketch) is a use permitted as of right under the Industrial 2 (M2) zone, whereas the Ali Baba ' s Motors (identified as "Existing Automotive Use" on the Minor Variance sketch) was permitted through Minor Variance Application A10-180. The subject of this Minor Variance Application is the existing " Aviron Law Office Use" as identified on the Minor Variance sketch provided.

We confirm for staff that Aviron Law Office had been previously granted a conditional approval to permit the use under minor variance A-2020-0044, approved in August of 2020. One of the conditions of the approval was that the Law Office Use occupy a maximum Gross

Floor Area of 77 square metres. While the owner did begin the process to satisfy the conditions of approval stipulated under the previous application, the owner has since chosen to pursue an additional expansion to the Law Office Use. As such, the purpose of the application before staff today is to request a permission for a further enlargement or expansion, of the law office use, beyond that which was permitted under the original application (City File No. A-2020-0044). This would effectively render the previous approval for the smaller Law Office Use as null and void and put into place a new approval for a Law Office Use occupying a greater GFA than that which was previously approved. We would be agreeable to those same conditions imposed through the original approval, to carry over as conditions of approval for the application before staff today.

To summarize, in order to permit for the Law Office Use, our client will require relief from the relevant zoning law requirements for the Industrial 2 (M2) zone as outlined under the City of Brampton Zoning by-law 270-2004. The requested variance is as follows:

> *Relief from the City of Brampton Zoning by-law 270-2004 to permit for an Office use on the subject site, whereas the Industrial 2 (M2) zone does not permit for an Office use on site that is not accessory to a permitted use.*

For complete clarity, our client is seeking permission for a Law Office use of approximately 130 square metres (whereas 77 square metres was previously approved under file No. A-2020-0044), as shown on the attached Minor Variance Sketch submitted in support of this application.

As a part of this application, and for staff information, GSAI has conducted a review of the parking requirements for the Brampton Kitchen and Cabinets Ltd, defined in the Zoning By-law as: *Industrial-Manufacturing, Cleaning, Packaging, Processing, Repairing, Assembling or Printing,* as well as the Aviron Law (defined in the Zoning By-law as *Other Office* use).

The required parking ratios are as follows:

Brampton Kitchen and Cabinets Ltd: *a. If the associated office, retail, and educational gross floor areas are 15% or less of the total gross floor area: Up to 5,000 square metres: 1 parking space per 60 square metres gross floor area or portion thereof*

Aviron Law: *Other office: 1 parking space for each 25 square metres of gross commercial floor area or portion thereof*

Based on the Gross Floor Area definition as outlined under the City of Brampton Zoning By-law 270-2004, the Gross Floor Area for each use is as follows:

| USE | GFA | PARKING REQUIRED | PARKING PROVIDED |
|---|---|---|---|
| Brampton Kitchen | 2,314 $m^2$ | 41 | 41 |
| Aviron Law | 214$m^2$ | 9 | 9 |
| | | 50 | 50 |

Based on the above, the subject site provides sufficient parking in order to accommodate for both uses currently on site per the requirements of City of Brampton Zoning by-law 270 - 2004.

We wish to note for staff that the existing automotive use was not considered as part of this application beyond its delineation on the Minor Variance sketch. As shown on the Minor Variance sketch, the automotive use operating area is restricted by an existing chain link fence where it interfaces with the Brampton Kitchen & Cabinets Ltd./Aviron Law Office Use parking lot. This chain link fence prohibits use by employees /customers of the Brampton Kitchen & Cabinets Ltd./Aviron Law Office Use. On this basis, the existing automotive use was found not necessary or relevant to this application.

We have reviewed relevant Official Plan policies and Zoning By-law provisions in the context of the prescribed criteria to authorize a minor variance under Section 45(1) of the Planning Act and we are of the opinion that the variance , in this case, is minor in nature, is desirable for the development of the property and maintains the general intent of both the relevant Official Plan and Zoning By-law.

**Supporting Information**

The following are enclosed in support of this application:

- One (1) cheque in the amount of $2,662.00 made payable to the "City of Brampton" in payment of the Minor Variance Applications fee;
- One (1) completed Application for Minor Variance; and,
- One (1) sketch prepared by Glen Schnarr & Associates Inc. dated October 7, 2022.

We trust this information is sufficient for the submission of the Application for Minor Variance and look forward to appearing before the Committee of Adjustment on the first available meeting agenda. Please do not hesitate to contact us if you have any questions or require any additional information.

Yours very truly,

GLEN SCHNARR & ASSOCIATES INC.

**Sarah Clark, MCIP, RPP, Associate**

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0360

***The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.***

## APPLICATION
## Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** 2418851 Ontario Ltd (c/o: Tejinder Tatter)
   **Address** 159 Rutherford Road South, 2nd Floor, Brampton, L6W 3N5
   **Phone #** 416-587-9695 **Fax #**
   **Email** Tejindertatter@hotmail.com

2. **Name of Agent** Glen Schnarr & Associates Inc (c/o Sarah Clark)
   **Address** 700 - 10 Kingsbridge Garden Circle, Mississauga ON L5R 3K6
   **Phone #** 905-568-8888 x 237 **Fax #** 905-568-8894
   **Email** sarahc@gsai.ca

3. **Nature and extent of relief applied for (variances requested):**
   Relief from City of Brampton Zoning By-Law 270-2004 to permit an Office use (not accessory to a permitted use) on the subject site, whereas the Industrial 2 (M2) zone does not permit for an Office use on site, where the office use is not accessory to a permitted use. The applicant has receieved permission through a previous minor variance to operate a Law office on the subject property. The purpose of this application is to seek an increase in GFA for the previously approved office.

4. **Why is it not possible to comply with the provisions of the by-law?**
   Industrial 2 (M2) zone does not permit for an Office use on site, where the office use is not accessory to a permitted use.

5. **Legal Description of the subject land:**
   **Lot Number** Part Lot 3
   **Plan Number/Concession Number** Concession 2 EHS
   **Municipal Address** 159 Rutherford Road South

6. **Dimension of subject land (in metric units)**
   **Frontage** ~50 m
   **Depth** ~94.51 m
   **Area** 0.71 ha (1.73 ac)

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 storey Industrual Building with permission for Motor Vehicle Sales, Leasing, and Rental Establishment 2,637 square metres

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No Change

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

EXISTING

| | |
|---|---|
| Front yard setback | 22.27 m |
| Rear yard setback | 8.0 m |
| Side yard setback | 11.21 m |
| Side yard setback | 19.25 m |

PROPOSED

| | |
|---|---|
| Front yard setback | N/A |
| Rear yard setback | N/A |
| Side yard setback | N/A |
| Side yard setback | N/A |

10. Date of Acquisition of subject land: 2007

11. Existing uses of subject property: Industrial and Office (with additional office permission)

12. Proposed uses of subject property: Industrial and Office (with increase additional office permission)

13. Existing uses of abutting properties: Industrial (manufacturing, auto repair/storage)

14. Date of construction of all buildings & structures on subject land: 1972

15. Length of time the existing uses of the subject property have been continued: 50 years

16. (a) What water supply is existing/proposed?
Municipal ☑ Other (specify) _____
Well ☐

(b) What sewage disposal is/will be provided?
Municipal ☑ Other (specify) _____
Septic ☐

(c ) What storm drainage system is existing/proposed?
Sewers ☑
Ditches ☐ Other (specify) _____
Swales ☐

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☑ **No** ☐ **Unknown** ☐

**If answer is yes, provide details:**

| | | |
|---|---|---|
| **File #** A-2020-0044 | **Decision** Approved | **Relief** To allow additional office permission |
| **File #** A10-180 | **Decision** Approved | **Relief** To allow Motor Vehicle Sales, Leasing and Rental |
| **File #** _____ | **Decision** _____ | **Relief** _____ |

_____
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Mississauga

THIS _____ DAY OF October, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Sarah Clark, OF THE Town OF Halton Hills

IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Mississauga

IN THE Region OF

Peel THIS 2nd DAY OF

November, 2022.

Laura Kim Amorim, a **Commissioner, etc., Province of Ontario, for Glen Schnarr & Associates Inc. Expires March 3, 2023.**

A Commissioner etc.

_____
Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** M2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

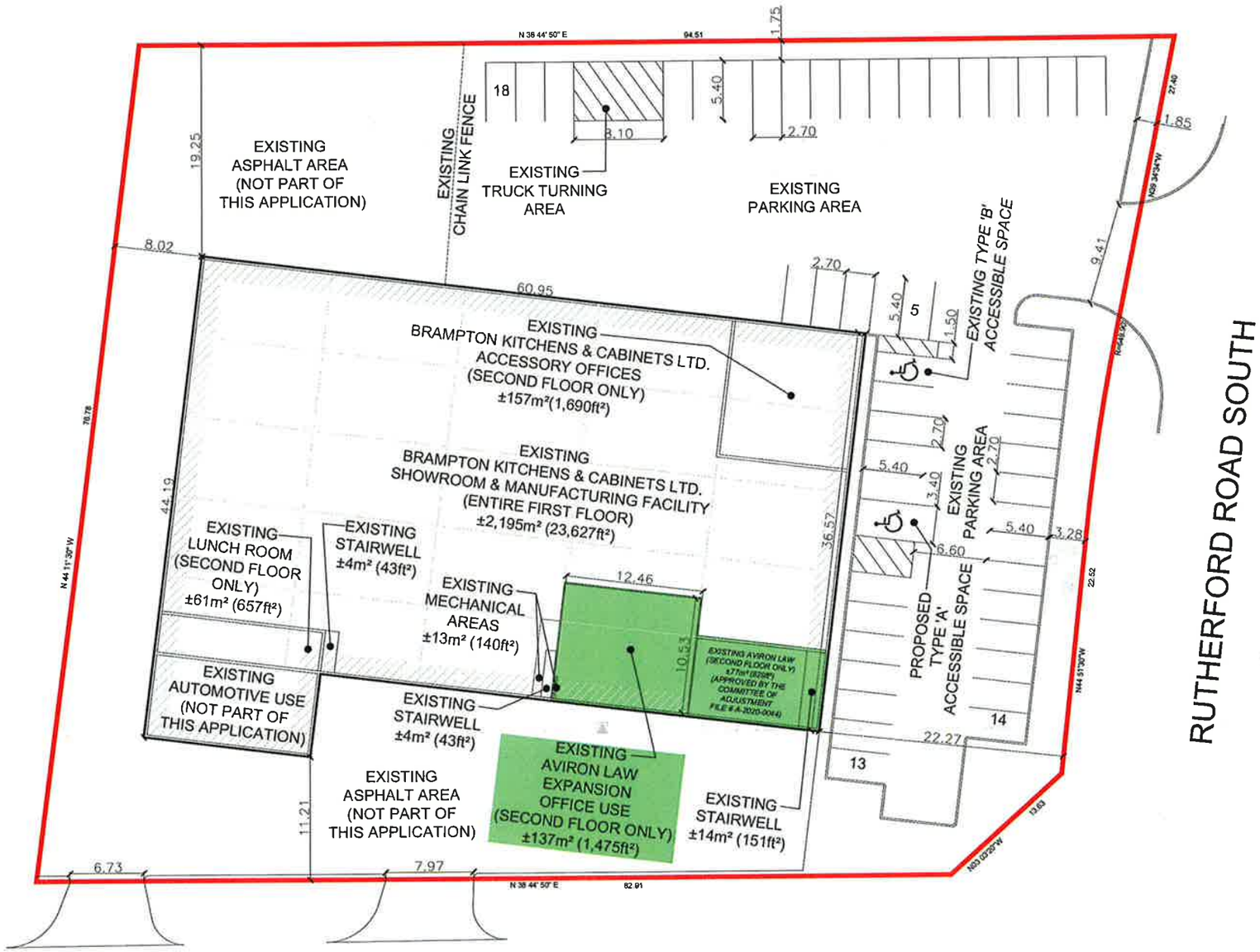
_____ Nov 8, 2022
Zoning Officer — Date

**DATE RECEIVED** _____

**Date Application Deemed Complete by the Municipality** _____

Revised 2022/02/17

P:\637-001B\7. Drawings\7.1 GSAI\2022 11 November\MV Sketch Nov 9 22.dwg



# MINOR VARIANCE SKETCH
# 2148551 ONTARIO LIMITED

159 RUTHERFORD ROAD SOUTH
PART OF LOT 3, CONCESSION 2,
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

**REQUIRED VARIANCE**
TO PERMIT FOR AN OFFICE USE (NOT ACCESSORY TO A PERMITTED USE) ON THE SUBJECT SITE, WHEREAS THE INDUSTRIAL 2 (M2) ZONE DOES NOT PERMIT FOR AN OFFICE USE ON SITE THAT IS NOT ACCESSORY TO A PERMITTED USE.

**DEVELOPMENT STATISTICS**

| | |
|---|---|
| SITE AREA: | 0.70ha (1.73ac) |
| TOTAL PARKING REQUIRED: | 50 SPACES |
| TOTAL PARKING PROVIDED: | 50 SPACES |
| BARRIER FREE REQUIRED: | 2 SPACES |
| BARRIER FREE PROVIDED: | 2 SPACES |

**AVIRON LAW OFFICE STATISTICS**

| | |
|---|---|
| APPROXIMATE GFA: | 214m² (2,303ft²) |

***PARKING STATISTICS - 1 SPACE PER 25m²***

| | |
|---|---|
| PARKING REQUIRED: | 9 SPACES |
| PARKING PROVIDED: | 9 SPACES |

**BRAMPTON KICHENS & CABINETS OFFICE STATISTICS**

| | |
|---|---|
| APPROXIMATE GFA: | 2,413m² (25,973ft²) |
| *GFA BREAKDOWN:* | |
| *SHOWROOM:* | *880m² (9,472ft²)* |
| *OFFICES:* | *157m² (1,690ft²)* |
| *MANUFACTURING:* | *1,315m² (14,155ft²)* |
| *LUNCH ROOM:* | *61m² (657ft²)* |

***PARKING STATISTICS - 1 SPACE PER 60m²***

| | |
|---|---|
| PARKING REQUIRED: | 41 SPACES |
| PARKING PROVIDED: | 41 SPACES |

**NOTES:**
TYPICAL PERPENDICULAR PARKING SPACE: 2.7m x 5.4m
TYPICAL TYPE 'A' BARRIER FREE SPACE: 4.9m x 5.4m
TYPICAL TYPE 'B' BARRIER FREE SPACE: 4.2m x 5.4m
TYPICAL DRIVE AISLE: 6.6m

SCALE 1:500
NOVEMBER 9, 2022

GSAI
Glen Schnarr & Associates Inc.

BRAMPTON
Flower City
brampton.ca

# Notice of Decision

## Committee of Adjustment

**FILE NUMBER** A-2020-0044 **HEARING DATE** AUGUST 18, 2020

**APPLICATION MADE BY** 2418851 ONTARIO LTD.

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; **ZONING BY-LAW 270-2004** AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION **FOR THE FOLLOWING VARIANCE(S):**

1. **To permit an office use (not accessory to a permitted use).**

**(159 RUTHERFORD ROAD SOUTH, PT. OF LOT 3, CONC. 2, EHS.)**

**THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS (APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)**

## SEE SCHEDULE "A" ATTACHED

REASONS:
This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and

2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

Any and all written submissions relating to this application that were made to the Committee of Adjustment before its decision and any and all oral submissions related to this application that were made at the Committee of Adjustment meeting, held under the *Planning Act*, have been, on balance, taken into consideration by the Committee as part of its deliberations and final decision on this matter.

**MOVED BY:** D. Colp **SECONDED BY:** D. Doerfler

**CHAIR OF MEETING:** RON CHATHA

**WE THE COMMITTEE MEMBERS NOTED BELOW HEREBY CONCUR IN THE DECISION**

***AUTHORIZED BY VOTE HELD AT A MEETING ON AUGUST 18, 2020***

**RON CHATHA, MEMBER** **DESIREE DOERFLER, MEMBER**

**ROD POWER, MEMBER** **DAVID COLP, MEMBER**

**ANA CRISTINA MARQUES, MEMBER**

**DATED THIS** 18TH **DAY OF** AUGUST, 2020

***NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE LOCAL PLANNING APPEAL TRIBUNAL WILL BE SEPTEMBER 7, 2020***

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.

Jeanie Myers

SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City

brampton.ca

THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A-2020-0044**

DATED: **AUGUST 18, 2020**

Conditions:

1. That the extent of the variances be limited to that shown on the sketch attached to the Public Notice and that the area of the permitted office be limited to a maximum of 78 square metres (840 square feet);

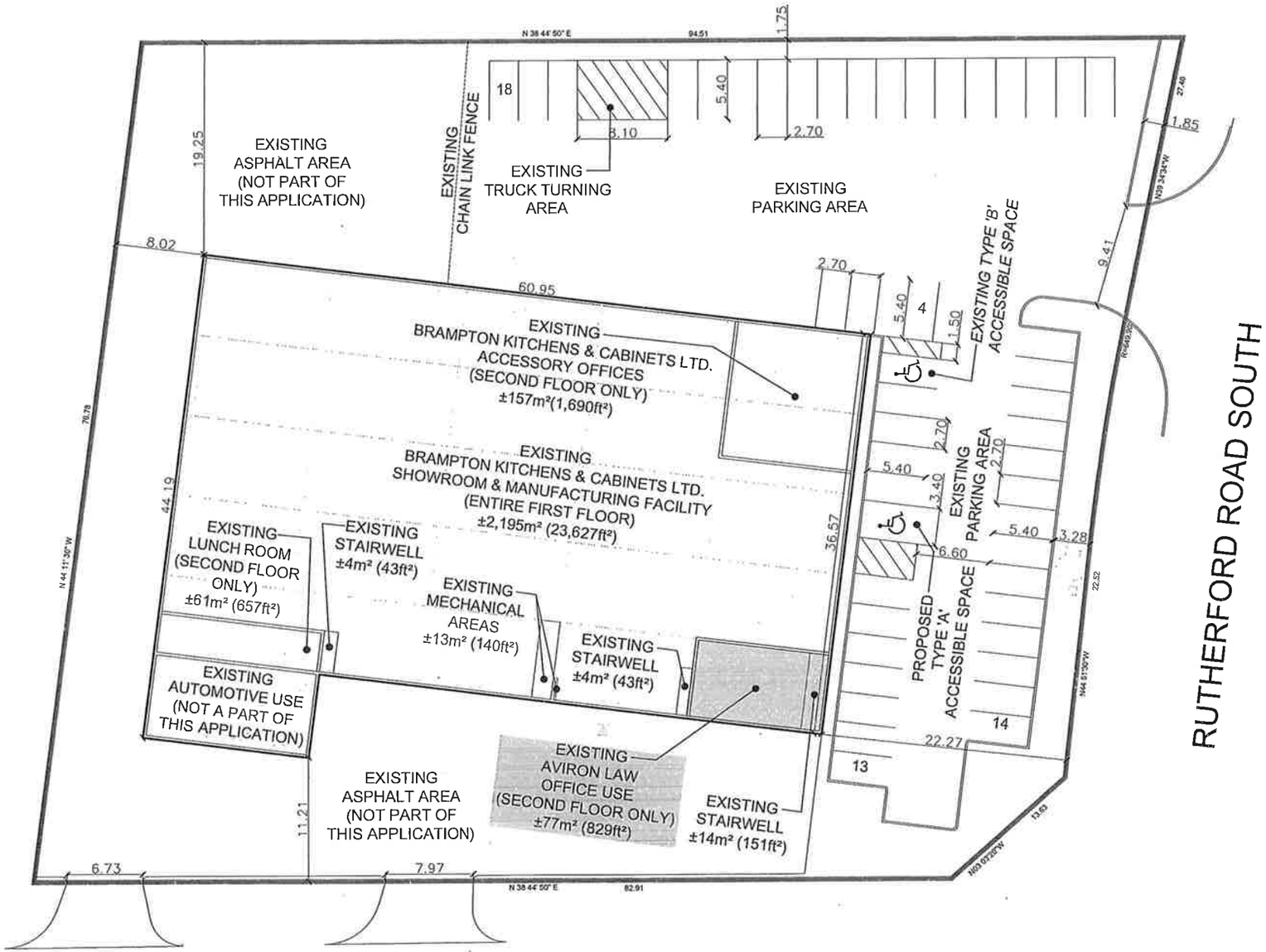
2. That, prior to occupancy of the building, the owner shall obtain a permit for a change of use from "industrial" to "business and personal service", to the satisfaction of the Chief Building Official;

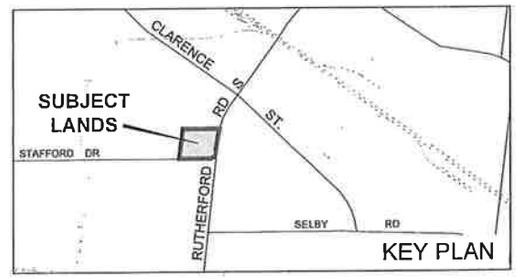
3. That, prior to occupany of the building, the owner shall contact the City's Development Finance Department and pay any required fees or Development Charges that may be applicable to the change of use, to the satisfaction of the Development Finance Department; and

4. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.

Jeanie Myers
Secretary-Treasurer
Committee of Adjustment

P:\637-001b\2020 03 March\MV Sketch Mar 10 20.dwg




# MINOR VARIANCE SKETCH
# 2148551 ONTARIO LIMITED

159 RUTHERFORD ROAD SOUTH
PART OF LOT 3, CONCESSION 2,
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

**REQUIRED VARIANCE**
TO PERMIT FOR AN OFFICE USE ON THE SUBJECT SITE, WHEREAS THE INDUSTRIAL 2 (M2) ZONE DOES NOT PERMIT FOR AN OFFICE USE ON SITE THAT IS NOT ACCESSORY TO A PERMITTED USE.

**DEVELOPMENT STATISTICS**

| | |
|---|---|
| SITE AREA: | 0.70ha (1.73ac) |
| TOTAL PARKING REQUIRED: | 45 SPACES |
| TOTAL PARKING PROVIDED: | 49 SPACES |
| BARRIER FREE REQUIRED: | 2 SPACES |
| BARRIER FREE PROVIDED: | 2 SPACES |

**AVIRON LAW OFFICE STATISTICS**
APPROXIMATE GFA: 77m² (829ft²)

***PARKING STATISTICS - 1 SPACE PER 25m²***

| | |
|---|---|
| PARKING REQUIRED: | 4 SPACES |
| PARKING PROVIDED: | 4 SPACES |

**BRAMPTON KICHENS & CABINETS OFFICE STATISTICS**

| | |
|---|---|
| APPROXIMATE GFA: | 2,413m² (25,973ft²) |
| *GFA BREAKDOWN:* | |
| *SHOWROOM:* | *880m² (9,472ft²)* |
| *OFFICES:* | *157m² (1,690ft²)* |
| *MANUFACTURING:* | *1,315m² (14,155ft²)* |
| *LUNCH ROOM:* | *61m² (657ft²)* |

***PARKING STATISTICS - 1 SPACE PER 60m²***

| | |
|---|---|
| PARKING REQUIRED: | 41 SPACES |
| PARKING PROVIDED: | 45 SPACES |

**NOTES:**
TYPICAL PERPENDICULAR PARKING SPACE: 2.7m x 5.4m
TYPICAL TYPE 'A' BARRIER FREE SPACE: 4.9m x 5.4m
TYPICAL TYPE 'B' BARRIER FREE SPACE: 4.2m x 5.4m
TYPICAL DRIVE AISLE: 6.6m

SCALE 1:500
MARCH 10, 2020

GSAI
Glen Schnarr & Associates Inc.

Flower City
brampton.ca

Brampton

# Notice of Decision

Committee of Adjustment

**FILE NUMBER** A10-180 **HEARING DATE** SEPTEMBER 21, 2010

**APPLICATION MADE BY** 2148851 ONTARIO LIMITED

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; ZONING BY-LAW 270-2004 AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION **FOR THE FOLLOWING VARIANCE:**

1. **To allow Motor Vehicle Sales, Leasing and Rental Establishment from an existing 116 sq.m (1249 sq. ft) office;**

**(159 RUTHERFORD ROAD SOUTH – PT. LOT 3, CONCESSION 2 EHS)**

THE REQUEST IS HEREBY APPROVED SUBJECT TO THE FOLLOWING CONDITIONS
**(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)**

## SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and

2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

**MOVED BY:** P .S. CHAHAL **SECONDED BY:** F.TURNER

**SIGNATURE OF CHAIR OF MEETING:**

**WE THE UNDERSIGNED HEREBY CONCUR IN THE DECISION**

**MEMBER** **MEMBER**

**MEMBER** **MEMBER**

H Nurse
**MEMBER**

**DATED THIS** 21ST **DAY OF** SEPTEMBER, 2010

***NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE ONTARIO MUNICIPAL BOARD WILL BE OCTOBER 11TH, 2010***

I, JEANIE MYERS, ACTING SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.

Jeanie Myers
ACTING SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City

brampton.ca

THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A10-180**

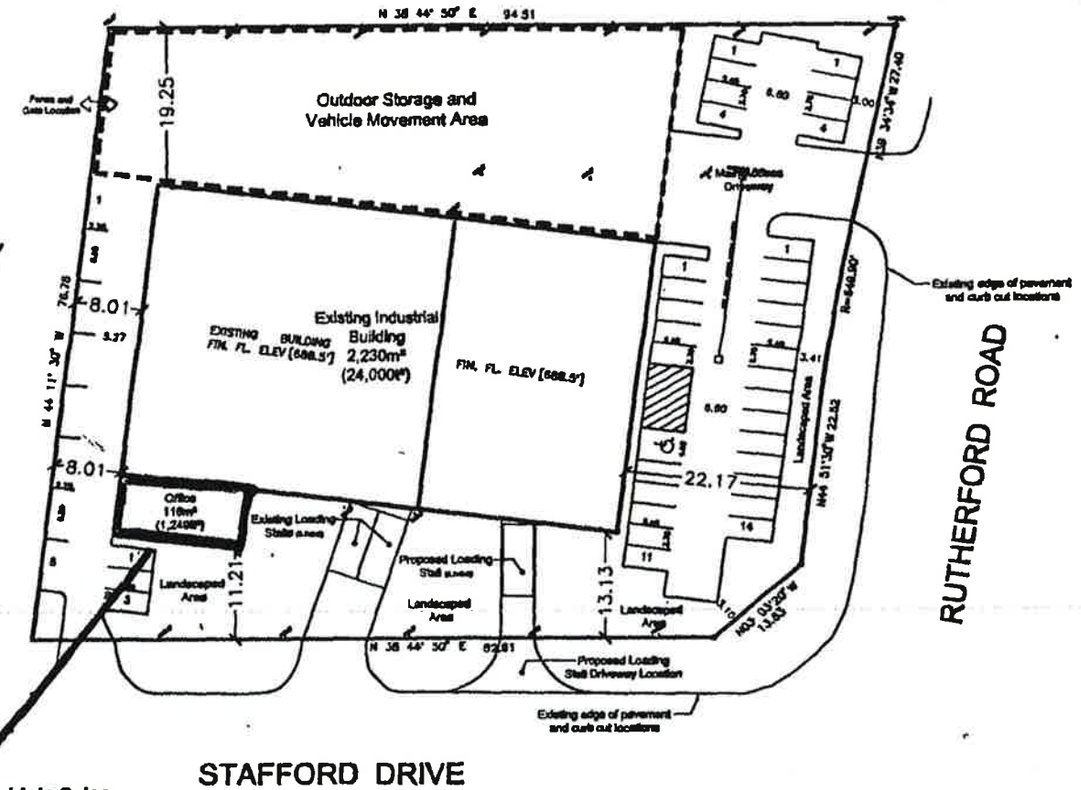
DATED **SEPTEMBER 21, 2010**

Conditions:

1. That the outdoor storage of vehicles for the motor vehicle sales, leasing and rental establishment be limited to the "Outdoor Storage and Vehicle Movement Area" shown on the Public Notice.

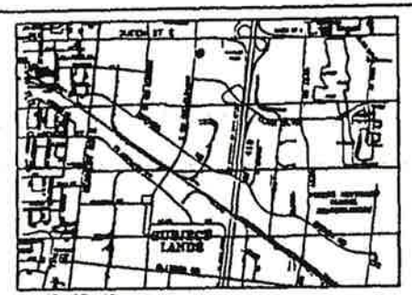
Jeanie Myers
Acting Secretary-Treasurer
Committee of Adjustment

Industrial/Commercial




Industrial/ Commercial

Proposed Motor Vehicle Sales Leasing and Rental Establishment



KEY PLAN

# 2148851 ONTARIO LTD.
# DEVELOPMENT CONCEPT PLAN
## NORTH-EAST CORNER RUTHERFORD RDS & STAFFORD DRIVE

PART OF LOT 3 RP RD93 PART OF PART 1
CONCESSION 2, E.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

Development Statistics

| | |
|---|---|
| 0.24ha (0.59ac) Building Area | 34.3% |
| 0.33ha (0.82ac) Paved Area | 47.1% |
| 0.13ha (0.32ac) Landscaped Area | 18.6% |
| 0.70ha (1.73ac) TOTAL Area | 100.0% |
| 2,230m² (24,000ft²) Industrial Portion | 95.1% |
| 116m² (1,249ft²) Office Portion | 4.9% |
| 2,346m² (25,249ft²) Total | 100% |

2 Loading Stalls Required
3 Loading Stalls Provided
Loading Stall Size = 3.7m x 9.0m

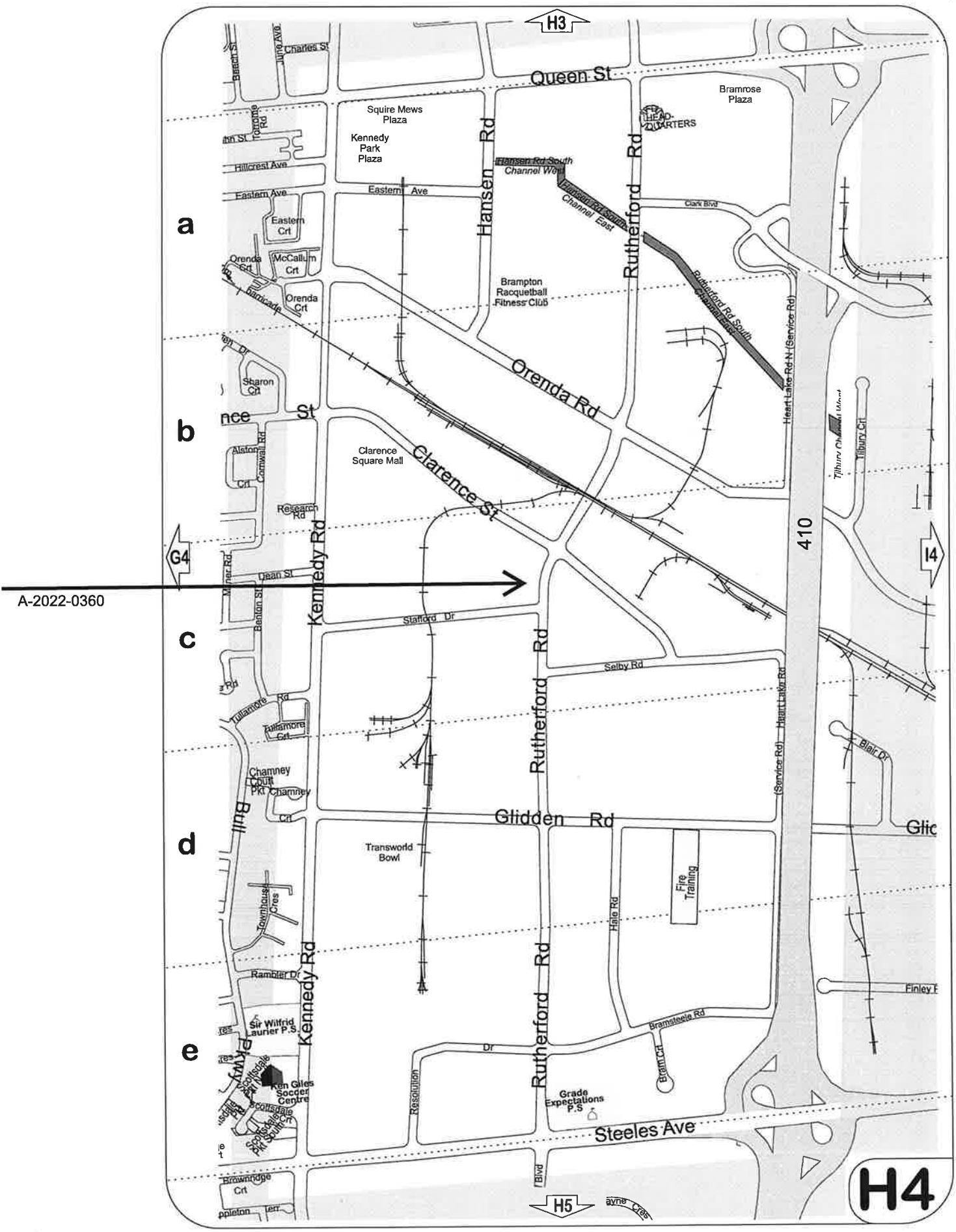
40 Parking Stalls Required (1 per 60m²)
44 Parking Stalls Provided
Parking Stall Size = 2.7m x 5.4m

# RUTHERFORD & STAFFORD DRIVE
# DEVELOPMENT CONCEPT PLAN

SCALE 1:400
DECEMBER 13, 2006

"Preliminary Development Concept Plan for Discussion Purposes Only."

GLEN SCHNARR & ASSOCIATES INC.


H3
Queen St
Charles St
Beach St
June Ave
Torrome Rd
Squire Mews Plaza
Kennedy Park Plaza
Hillcrest Ave
Eastern Ave
Eastern Ave
Hansen Rd
Hansen Rd South Channel West
Hansen Rd South Channel East
Rutherford Rd
Bramrose Plaza
HEAD-QUARTERS
Clark Blvd
Eastern Crt
Orenda Crt
McCallum Crt
Orenda Crt
Barricade
Brampton Racquetball Fitness Club
Rutherford Rd South Channel East
Heart Lake Rd N (Service Rd)
Orenda Rd
Sharon Crt
nce St
Alston Crt
Cornwall Rd
Clarence Square Mall
Clarence St
Tilbury Channel West
Tilbury Crt
Research Rd
410
G4
I4
Dean St
Miner Rd
Benton St
Kennedy Rd
Stafford Dr
Selby Rd
Rutherford Rd
Heart Lake Rd
(Service Rd)
Tullamore Rd
Tullamore Crt
Blair Dr
Chamney Court Pkt
Chamney Crt
Bull
Glidden Rd
Glic
Transworld Bowl
Fire Training
Townhouse Cres
Hale Rd
Rambler Dr
Kennedy Rd
Rutherford Rd
Finley F
Sir Wilfrid Laurier P.S.
Bramsteele Rd
Dr
Bram Crt
Resolution
Ken Giles Soccer Centre
Scottsdale Pkt N
Scottsdale Pkt South
Grade Expectations P.S
Steeles Ave
Brownridge Crt
Blvd
H5
H4
a
b
c
d
e

A-2022-0360

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0361***
**WARD 3**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **SONEIL MISSISSAUGA INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of lot 1, Concession 2 EHS municipally known as **350 RUTHERFORD ROAD SOUTH, UNIT 10,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a private school to operate from Unit 10 whereas the by-law does not permit the proposed use.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

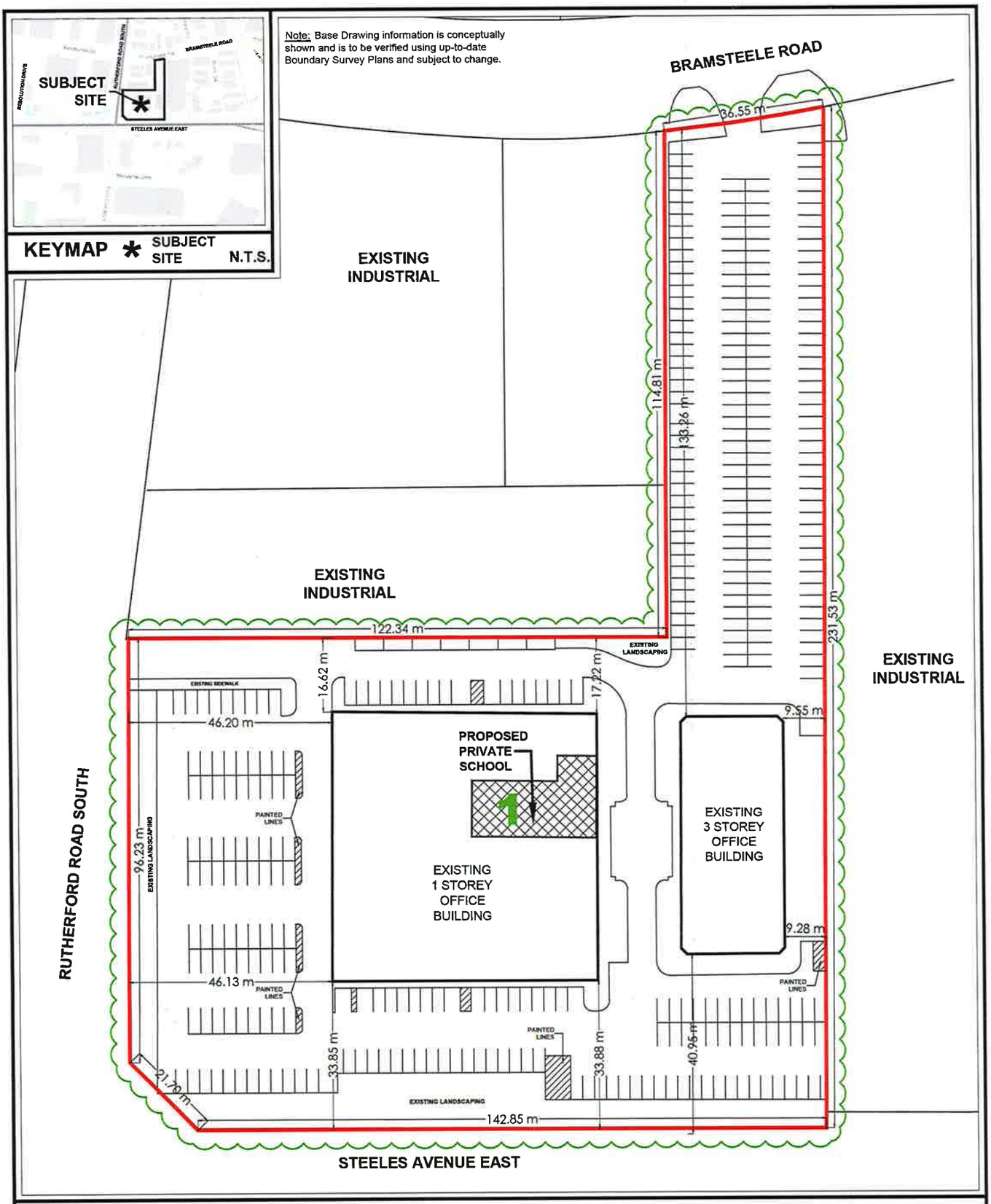
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




## MINOR VARIANCE

1. To permit a Private School in Unit 10 - Plaza 1 whereas the By-law does not permit a Private School.

### LEGEND

- PROPERTY BOUNDARY
- 1 MINOR VARIANCE
- PROPOSED PRIVATE SCHOOL

**SITE STATISTICS**

**SITE AREA: 0.749 ha (1.851 ac)**
**BUILDING A - G.C.F.A.: 2,624m² (28,242ft²)**
**BUILDING B - G.C.F.A.: 2,984m² (32,126ft²)**
**TOTAL G.C.F.A.: 5,608m² (60,364ft²)**

**PROPOSED**
**PRIVATE SCHOOL - G.C.F.A.: 346m² (3,724ft²)**

**PARKING PROVIDED: 385 SPACES**

# MINOR VARIANCE PLAN

**CANSTEM EDUCATION PRIVATE SCHOOL INC.**
**350 RUTHERFORD ROAD SOUTH**
**CITY of BRAMPTON**

| | |
|---|---|
| P.N.: 20.2716.00 | Date: October 20, 2022 |
| Scale: N.T.S. | Revised: |
| Drawn By: D.S. | File No.: PN 2716_SP_(10_20_2022) |


21 Queen Street East
Suite 500
Brampton, ON
L6W 3P1
P (905) 796 - 5790

GWD
Toll Free
1 (866) 771-7266
www.gwdplanners.com

3601 Highway 7 East
Suite 310
Markham, ON
L3R 0M3
P (905) 477 - 6556

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Principals

Michael Gagnon
Lena Gagnon
Andrew Walker
Richard Domes

**November 8, 2022**

**GWD File:**
**20.2716.00 COA**

**The Corporation of the City of Brampton**
**2 Wellington Street West**
**Brampton, Ontario**
**L6Y 4R2**

A-2022-0361

**Attention:** **Ms. Jeanie Myers**
**Secretary-Treasurer, Committee of Adjustment**

**Subject:** **Application to the Committee of Adjustment – Minor Variance**
**CanSTEM Education Private School Inc.**
**350 Rutherford Road South, 'Plaza 1' – Unit 10**
**Brampton, Ontario**

**Dear Jeanie:**

Gagnon Walker Domes Ltd. (GWD) acts as Planning Consultant to CanSTEM Education Private School Inc. (CanSTEM) who has entered into a lease agreement with Soneil Mississauga Inc. (Soneil), the Registered Owner 350 Rutherford Road South in the City of Brampton; hereinafter referred to as the 'subject site'.

The subject site is irregular in shape having a total area of approximately 2.06 hectare (5.09 acres) with street frontages along Steeles Avenue West, Rutherford Road South, and Bramsteele Road. It is occupied by two (2) buildings (referred to as 'Plaza 1' and 'Plaza 2') which are utilized for a mix of commercial and office uses; including seven (7) Commercial, Technical or Recreation Schools. The buildings are generally described as follows:

'Plaza 1' Building
- Location: Southwest corner of subject site
- Height: 1-storey
- Gross Commercial Floor Area (GCFA): ~ 2,624m$^2$ (~ 28,242ft$^2$)
- Use: Commercial Building
- Unit 10 (CanSTEM) GCFA: ~ 346m$^2$ (~ 3,724ft$^2$)

'Plaza 2' Building
- Location: Southeast corner of subject site
- Height: 3-storeys
- Approximate GCFA: ~ 2,984m$^2$ (~ 32,126ft$^2$)
- Use: Office Building

GAGNON WALKER DOMES LTD.
7685 Hurontario Street, Suite 501 • Brampton ON Canada L6W 0B4 • P: 905-796-5790
www.gwdplanners.com • Toll Free: 1-855-771-7266

CONFIDENTIALITY CAUTION
This document is Consultant-Client privileged and contains confidential information intended only for person(s) named above. Any distribution, copying or disclosure is strictly prohibited. If you have received this document in error, please notify us immediately by telephone and return the original to us by mail without making a copy.

**Appendix 1** includes aerial photography of the subject site.

## Overview of the Proposal

CanSTEM operates a Commercial, Technical or Recreation School from Unit 10 – Plaza 1 which provides private tutoring, computer and language services for students at elementary, secondary, college and university levels. In addition it operates a small Private School featuring both in-person and on-line instruction. The Private School, which is registered with the Ministry of Education and limited to forty (40) in-person students, provides education to students enrolled between Grades 1 through 12.

**Appendix 2** includes a Site Plan (A01) and Existing Floor Plan (A02) prepared by Technoarch Inc.

The subject site's zoning does not permit a Private School use. On April 22, 2021 a Pre-Application Consultation Request seeking the City's preliminary comments, observations and recommendations was filed (City File: PRE-2021-0080). A meeting was held by the City Planning & Development Services Department on May 26, 2021 and thereafter a consolidated report inclusive of comments from City Departments/Divisions was issued. It was determined that a Committee of Adjustment Minor Variance was most appropriate planning approvals process to legalize the Private School in conjunction with the Commercial, Technical or Recreation School.

## Minor Variance Application

GWD is pleased to submit the attached Application to the Committee of Adjustment to permit the following Variance:

1. To permit a Private School in Unit 10 – Plaza 1 whereas the By-law does not permit a Private School.

In support of the Application, we submit the following:

- Completed Application Form;
- Covering Letter;
- Variance Plan (8½"x14") highlighting the requested Variance;
- Transportation Impact and Parking Brief; and
- One (1) cheque in the amount of $2,662.00 payable to the "City of Brampton".

## The Four Tests

Pursuant to Section 45(1) of the *Planning Act*, a Minor Variance Application must satisfy all 'Four Tests' as follows:

1. Does the Variance conform to the intent of the Official Plan?
2. Does the Variance conform to the intent of the Zoning By-law?
3. Is the proposal desirable for the appropriate development or use of the lands?
4. Is the proposal minor in nature?

**Test 1 – Does the Minor Variance Conform to the Intent of the Official Plan?**

The subject site is designated '*Business Corridor*' in the City of Brampton Official Plan. This designation permits a broad range of business, service, and institutional uses to serve the general public and adjacent employment areas (Official Plan – Section 4.4.1).

The subject site is designated '*Service Commercial*' and '*General Employment Two*' in the Highway 410 and Steeles Secondary Plan (Area 5). The General Employment Two designation applies to the northeast limits of the subject site used as a vehicular parking area. The Service Commercial designation applies to the southern half of the subject site coinciding with the two (2) buildings and its abutting parking areas.

The Service Commercial designation permits service commercial uses comprising of small-scale retail and convenience stores, service uses, restaurants, recreation facilities, and small offices (Secondary Plan – Section 1.2.1). While the Private School use is not permitted outright, City Staff indicated during the Pre-Application Consultation process that a Municipal Comprehensive Review (MCR) is not required as the designation is a non-employment category.

The subject site is predominately utilized for office uses along with seven (7) Commercial/Technical Schools. The Private School is similar to the aforementioned schools and is compatible with the office uses.

The requested Variance is considered to conform to the general intent of the City Official Plan and Secondary Plan.

**Test 2 – Does the Minor Variance Conform to the Intent of the Zoning By-Law?**

Zoning By-law 270-2004 zones the subject site '*Service Commercial – Special Section 3098 (SC-3098)*' and '*Industrial Two (M2)*'. The M2 Zone applies to the northeast limits of the subject site whereas the SC-3098 Zone applies to the southern half.

The SC-3098 permits a range of uses; including, but not limited to:

1. Office Uses (excluding medical);
2. Commercial, Technical or Recreation Schools;
3. Retail Establishment (having no outside storage);
4. Bank, Trust and Finance Company; and
5. Health or Fitness Centre.

SC-3098 includes several restrictions and minimum requirements related to structural setbacks, parking, building height, lot coverage, gross leasable floor area, and landscaped open space.

Variance #1 – Private School

CanSTEM is desirous of allowing a Private School whereas the By-law does not permit the use. The request is specific to Unit 10 – 'Plaza 1' having a total area of approximately 346m$^2$ (3,724ft$^2$).

The intent of restricting institutional uses is to protect against conflicting land uses. Institutional uses typically operate under specific hours and restrictions, and have their own set of safety and regulatory concerns. Commercial uses can offer a very broad list of services, and typically generate several trips to the site from vehicles and oversized deliveries. Commercial uses also do not have permissions for outdoor amenity areas and are open to the public.

According to Zoning By-law 270-2004, a Private School provides the same services as a Public School, whereas, a Commercial, Technical or Recreational School provides training in trades skill, languages skills, etc. To allow a Private School use will not be a significant departure from the By-law's permissions for a Commercial, Technical or Recreational School given their similar operations in a classroom-style setting. The Private School is not anticipated to adversely impact the subject site and should not pose any incompatibility concerns. Lease restrictions with the Registered Owner do not allow for the provision for an outdoor recreation area.

At present the subject site consists of 385 parking spaces which are accessed by driveways fronting onto Rutherford Road and Bramsteele Road. The general intent and purpose of the Zoning By-law in regulating the minimum number of parking spaces is to ensure that the parking provided on a site can accommodate the demand generated by the existing and future uses on the site..

For Private Schools that are located within commercial plazas utilization of the existing parking spaces is a common arrangement. A Traffic Impact and Parking Brief, which is to be read in conjunction with this letter, was commissioned by a qualified transportation consultant in support of the Variance (**Appendix 3**). The Brief concluded that CanSTEM's Private School will have a negligible impact on the area road network and the 385 parking spaces are sufficient to accommodate the needs of all uses combined on site.

The Variance is considered to conform to the general intent of Zoning By-law No. 270-2004.

**Test #3 – Is the Minor Variance Desirable and Appropriate for the Area?**

The subject site is located on the periphery of the greater Employment Area with commercial uses to the west and south. Permitting the Private School in conjunction with Commercial, Technical or Recreation School is not anticipated to adversely affect the existing uses operating on site or on neighbouring properties nor will it jeopardize the character or function of the surrounding area. CanSTEM does not propose to renovate the interior or exterior of the building or site.

The Variance is considered desirable and appropriate for the area.

**Test #4 – Is the Minor Variance Minor in Nature?**

The Variance does not pose a departure from the intended or historical use of the lands. CanSTEM's schools are complimentary to one another will not interfere with the daily operations of other uses on-site. No building alterations, expansions, or additional accessory structures are proposed. No significant on-site or off-site impacts are anticipated.

The requested Variance is considered to be minor in nature.

## Conclusions

The requested Variance has been reviewed in the context of the relevant provisions of the *Planning Act*. We are of the opinion that the Variance satisfies the four (4) tests and can be supported from a land use and policy perspective and represent good planning. We respectfully request that it be approved by the Committee of Adjustment.

Should you require additional information or have any questions, please do not hesitate to contact the undersigned.

**Yours truly,**

**Marc De Nardis, B.U.R.Pl., M.C.I.P., R.P.P.**
**Planning Associate**
mdenardis@gwdplanners.com

**Michelle Harris, M. Sc.**
**Planning Associate**
mharris@gwdplanners.com

**C.c.** **R. Tiwari, CanSTEM Education Private School Inc.**
**M. Gagnon, Gagnon Walker Domes Ltd.**

# APPENDIX 1

# AERIAL IMAGE - SUBJECT SITE

350 RUTHERFORD ROAD SOUTH
CITY of BRAMPTON

| LEGEND | P.N.: 20.2716.00 | Date: May 19, 2022 |
|---|---|---|
| SUBJECT SITE | Scale: N.T.S | Revised: |
| | Drawn By: D.S. | File No.: PN 2716_ Aerial_Images_May_2022 |

21 Queen Street East
Suite 500
Brampton, ON
L6W 3P1
P (905) 796 - 5790

GWD

3601 Highway 7 East
Suite 310
Markham, ON
L3R 0M3
P (905) 477 - 6556

# APPENDIX 2

01 SITE PLAN
1:500

KEY

| REV | ISSUED FOR | DATE |
|---|---|---|
| 00 | ISSUED FOR REVIEW | 2020-07-28 |

PROJECT NAME AND ADDRESS :
REZONING FOR INSTITUTION AT 350 RUTHERFORD RD S, BRAMPTON

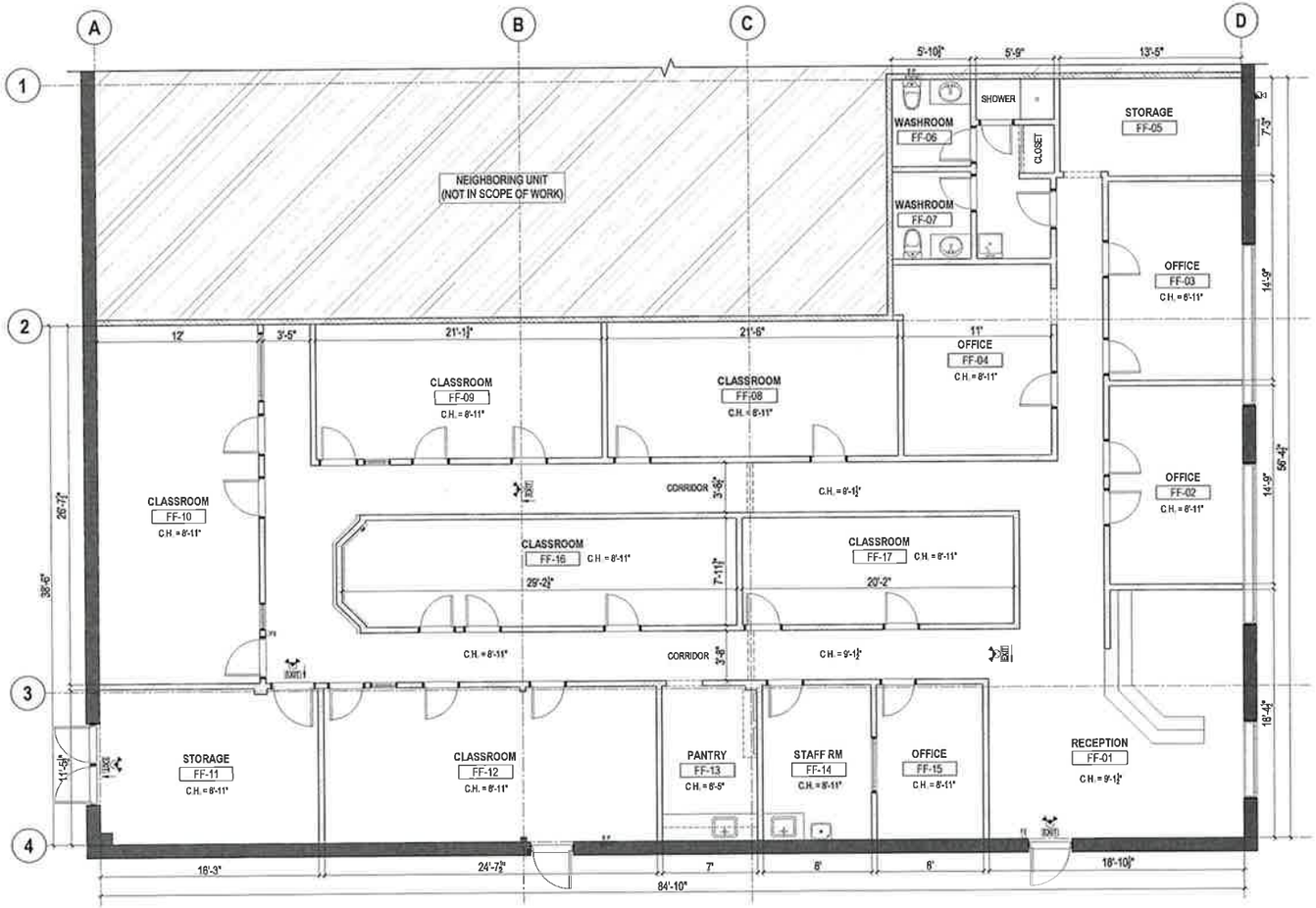

LEAD CONSULTANT :
technoarch
architecture + design group
2250 Bovaird Drive E, Suite 612 ,
Brampton, ON L6R 0W3, Canada
Tel : +1-905-792-0038
Cell : +1-416-729-9454
Email: hbhons@technoarch.ca
www.technoarch.ca


STRUCTURAL CONSULTANT :

MEP CONSULTANT :

DRAWING TITLE :
SITE PLAN

| | |
|---|---|
| DRAWN BY | JS |
| CHECKED BY | HB |
| APPROVED BY | HB |
| SCALE 1:500 | SIZE A3 |
| SHEET NO A01 | STAGE REVIEW |
| PHASE 00 | REV 00 |
| ISSUED DATE | 2020-07-28 |




01 EXISTING FLOOR PLAN

N

KEY

| REV | ISSUED FOR | DATE |
|---|---|---|
| 00 | ISSUED FOR REVIEW | 2020-07-28 |

PROJECT NAME AND ADDRESS :
REZONING FOR INSTITUTION
AT 350 RUTHERFORD RD S,
BRAMPTON


LEAD CONSULTANT :
technoarch
architects + designers
2250 Bovaird Drive E, Suite 612 ,
Brampton, ON L6R 0W3, Canada
Tel : +1-905-792-0038
Cell : +1-416-729-9454
Email: hbhons@technoarch.ca
www.technoarch.ca


STRUCTURAL CONSULTANT :

MEP CONSULTANT :

DRAWING TITLE :
EXISTING FLOOR PLAN

| | |
|---|---|
| DRAWN BY | JS |
| CHECKED BY | HB |
| APPROVED BY | HB |
| SCALE 1/8"=1'-0" | SIZE A3 |
| SHEET NO A02 | STAGE REVIEW |
| PHASE 00 | REV 00 |
| ISSUED DATE | 2020-07-28 |

# APPENDIX 3

520 Industrial Parkway South, Suite 201
Aurora ON L4G 6W8

Phone: 905-503-2563
www.nextrans.ca

nexTrans CONSULTING ENGINEERS

NextEng Consulting Group Inc.

August 15, 2022

CanSTEM Education Private School Inc
350 Rutherford Road South
Brampton ON, L6W 3M2

**Attention:** **Rajesh Tiwari**

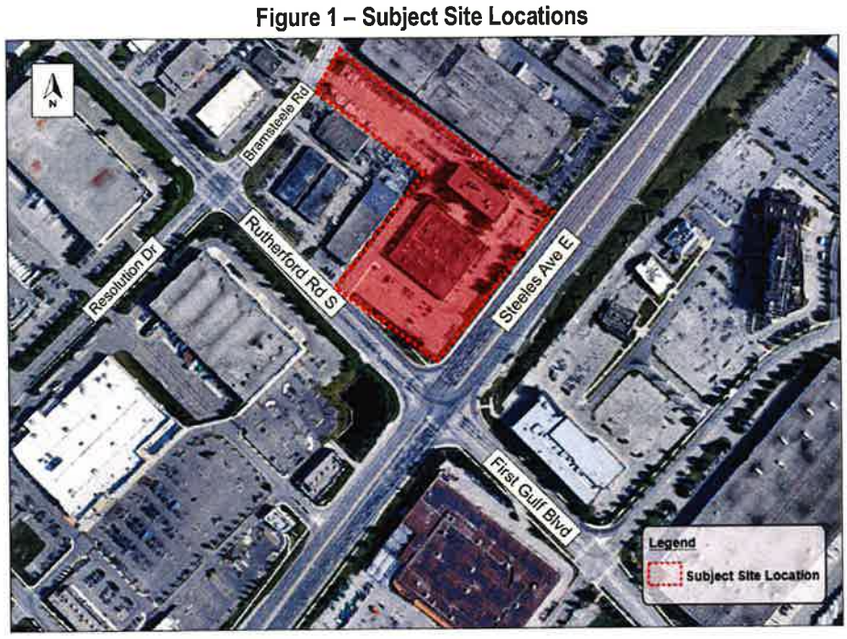
**Re:** **Engineering Service – Traffic Brief**
**Proposed Private School Redevelopment**
**350 Rutherford Road South, City of Brampton**
**Our Project No. NT-21-336**

## 1.0 INTRODUCTION

Nextrans Consulting Engineers (A Division of NextEng Consulting Group Inc.) was retained by CanSTEM Education Private School Inc. (the Client) to prepare a Traffic Brief in support of a Minor Variance application for a proposed private school use within Unit 10 of 350 Rutherford Road South. The subject property is located northeast of the intersection of Steeles Avenue East and First Gulf Boulevard/Rutherford Road South municipally addressed as 350 Rutherford Road South, in the City of Brampton.

The location of the proposed development is illustrated in **Figure 1-1**.

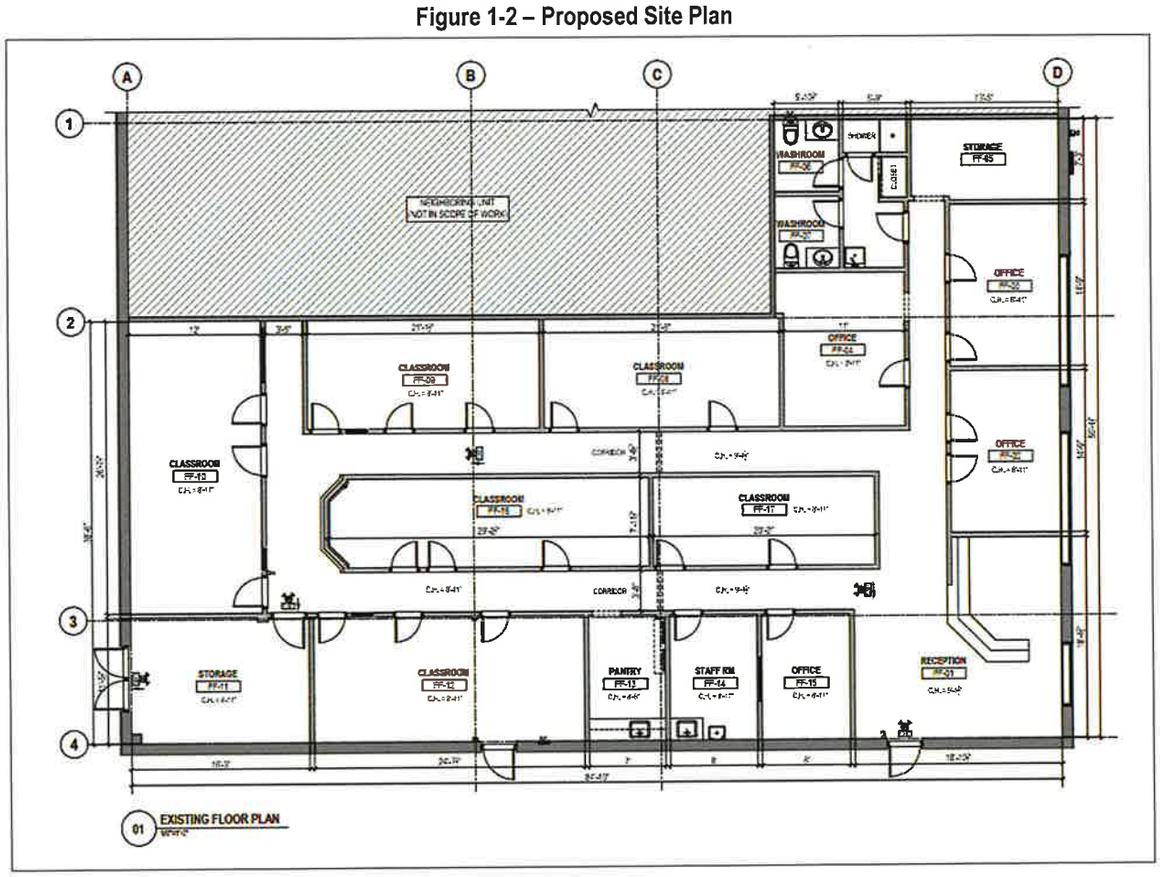
**Figure 1 – Subject Site Locations**



The subject site is currently occupied by two (2) buildings, a single storey commercial building and an existing three (3)-storey office building. Based on the preliminary site plan prepared by Technoarch dated July 28, 2020, the development proposal is to develop Unit 10 of the commercial building into a private school, with Unit 10 having a gross commercial floor area (GFA) of 346 $m^2$ (3,724 $ft^2$). A total of 385 parking spaces are located on the subject site to serve the existing buildings. Vehicular access to the site is proposed via a full movement entrance onto Rutherford Road South and via a full movement entrance onto Bramsteele Road.

The proposed site plan is provided in **Figure 1-2**, and **Appendix A** provides the site plan in full detail.

**Figure 1-2 – Proposed Site Plan**




## 2.0 EXISTING CONDITIONS

### 2.1 Existing Road Network

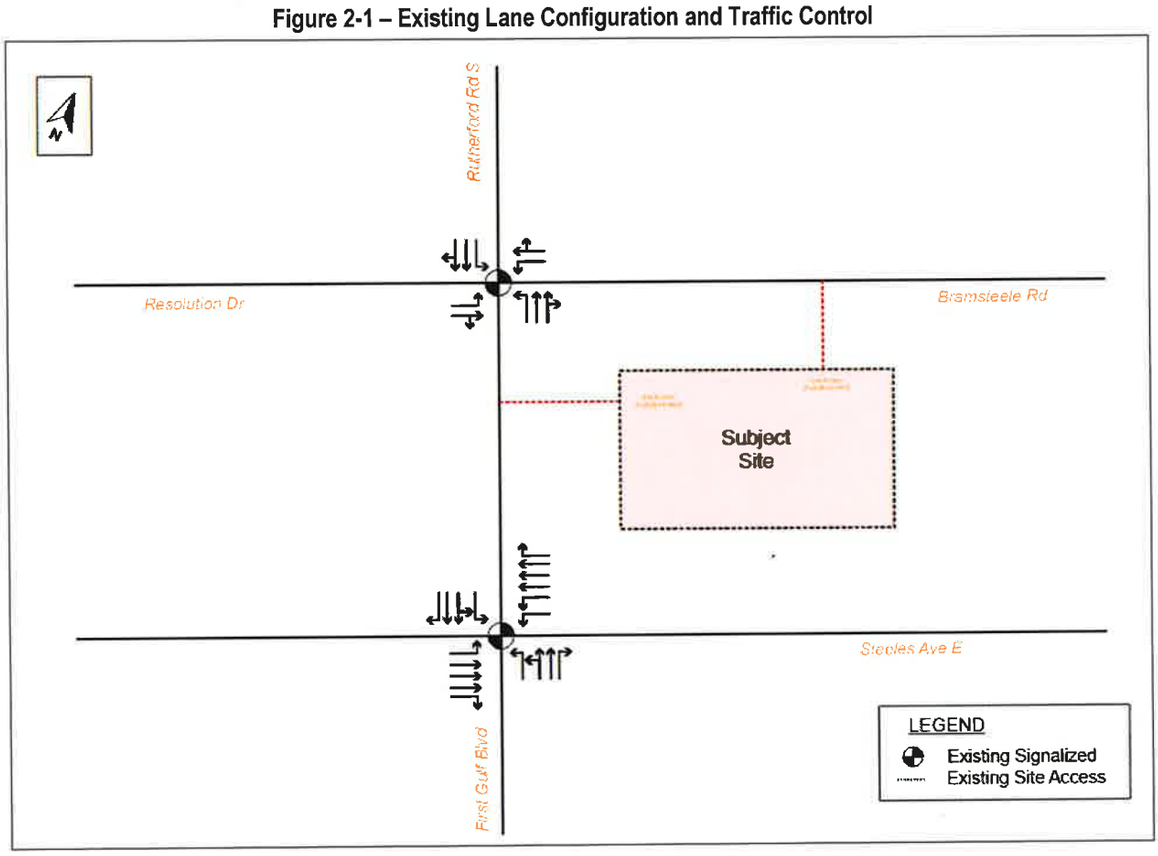
As previously indicated, the proposed development is located northeast of the intersection of Steeles Avenue East and First Gulf Boulevard/Rutherford Road South, in the City of Brampton. The existing road network, lane configuration and existing traffic control for the study are illustrated in **Figure 2-1** and detailed below:

- **Rutherford Road South / First Gulf Boulevard** is a generally north-south minor arterial road consisting of a five (5) lane cross-section (two (2) travel lanes per direction and one (1) center left turn lane), north of Steeles Avenue East and a four (4) lane cross-section (two (2) travel lanes per direction), south of Steeles Avenue East and

maintains a posted speed limit of 60 km/h near the subject site. Within the City, Rutherford Road South/First Gulf Boulevard run to and from Kennedy Road.

- **Steeles Avenue East** is an east-west major arterial road consisting of an existing six (6) lane cross-section (three (3) travel lanes per direction) and maintains a posted speed limit of 70 km/h near the subject site. Within the City, Steeles Avenue runs from City limits to the west and from City limits to the east.
- **Resolution Drive** is a generally east-west local road consisting of an existing two (2) lane cross-section (one (1) travel lane per direction) and maintains an assumed and unposted speed limit of 50 km/h near the subject site. Within the City, Resolution Drive runs from Steeles Avenue East to the southwest and to Rutherford Road South to the northeast.
- **Bramsteele Road** is a generally east-west local road consisting of an existing two (2) lane cross-section (one (1) travel lane per direction) and maintains an assumed and unposted speed limit of 50 km/h near the subject site. Within the City, Resolution Drive converges into Heart Lake Road South to the east and to Rutherford Road South to the west.

**Figure 2-1 – Existing Lane Configuration and Traffic Control**



## 2.2 Existing Active Transportation Network

**Sidewalks**

Currently, concrete sidewalks available as follows:

- On both sides of First Gulf Boulevard;
- On both sides of Steeles Avenue East, west of Rutherford Road South;
- On the north side of Steeles Avenue East, east of Rutherford Road South;
- On both sides of Rutherford Road South;
- On the south side of Resolution Drive; and
- On the north side of Bramsteele Road.

Sidewalks are adequately maintained, and no improvements are required at this time.

**Cycling**

There are currently no dedicated cycling facilities within the immediate area of the subject site.

# 3.0 SITE TRAFFIC

## 3.2 Site Trip Generation

Trip rates and site generated trips were derived from the information contained in the Trip Generation Manual, 10th edition, published by the Institute of Transportation Engineers (ITE) for "Private School" (LUC 532). The trip generation summary is shown in **Table 3.2**.

**Table 3.2 – Site Traffic Trip Generation**

| ITE Land Use | Parameter | Morning Peak Hour | | | Afternoon Peak Hour | | |
|---|---|---|---|---|---|---|---|
| | | In | Out | Total | In | Out | Total |
| Private School (LUC 532) | Gross New Trips | 20 | 12 | 32 | 8 | 12 | 20 |
| | Gross Rate | 0.50 | 0.30 | 0.80 | 0.20 | 0.29 | 0.49 |
| | **Net New Trips** | **20** | **12** | **32** | **8** | **12** | **20** |

The proposed development is expected to generate 32 new auto trips (20 inbound and 12 outbound) during the AM peak period, and 20 new auto trips (eight (8) inbound and 12 outbound) during the PM peak period. **Based on the expected number of trips that the proposed development is expected to generate, it is our opinion that the proposed development will have a negligible impact on the adjacent road network**.

# 4.0 PARKING ASSESSMENT

## 4.1 Vehicular Parking Requirements

The subject lands are under the City of Brampton Zoning by-Law 270-2004. The parking requirements in accordance with By-law 270-2004 are summarized in **Table 4.1**.

**Table 4.1 – City of Brampton Zoning By-law 270-2004**

| Unit No. | Land Use | GCFA / No. of Classrooms | Parking Rates | Parking Requirement | Parking Provided | (+) Surplus / (-) Shortfall |
|---|---|---|---|---|---|---|
| **Plaza 1** | | | | | | |
| 1 | All Other Commercial Uses | 580 $m^2$ | 1 space / 23 $m^2$ of GCFA | 25 spaces | **385 parking spaces** | **+244 spaces** |
| 16 | | 112.4 $m^2$ | | 5 spaces | | |
| 2 | Commercial School | 425 $m^2$ | 4 spaces for each classroom or 1 space for every 20 $m^2$ of GCFA, whichever is greater | 21 spaces based on GCFA | | |
| 3, 8, 15 | | 246.8 $m^2$ | | 12 spaces based on GCFA | | |
| 10, 14, 15 (Subject Site) | | 346 $m^2$ 6 classrooms | | 24 spaces based on classrooms | | |
| 6 | | 303.8 $m^2$ | | 15 spaces based on GCFA | | |
| 4 | Office | 152.7 $m^2$ | 1 space / 30 $m^2$ of GCFA | 5 spaces | | |
| 12 | | 127.1 $m^2$ | | 4 spaces | | |
| 7 | Finance Company | 321.3 $m^2$ | 1 space / 15 $m^2$ of GCFA | 21 spaces | | |
| 9 | Health Centre | 194.2 $m^2$ | 1 space / 22 $m^2$ of GCFA | 9 spaces | | |
| **Total** | - | **2,819.3 $m^2$** | - | **141 spaces** | | |
| **Plaza 2** | | | | | | |
| 102 | Office | 85.7 $m^2$ | 1 space / 30 $m^2$ of GCFA | 3 spaces | **385 parking spaces** | **+233 spaces** |
| 202 | | 131.9 $m^2$ | | 4 spaces | | |
| 210 | | 44.6 $m^2$ | | 1 space | | |
| 212 | | 32.5 $m^2$ | | 1 space | | |
| 220B | | 146.3 $m^2$ | | 5 spaces | | |
| 222 | | 111.5 $m^2$ | | 4 spaces | | |
| 223 | | 114.1 $m^2$ | | 4 spaces | | |

| | | | | | | |
|---|---|---|---|---|---|---|
| 225A | Office | 185.8 m² | 1 space / 30 m² of GCFA | 6 spaces | 385 parking spaces | +233 spaces |
| 225B | | 92.9 m² | | 3 spaces | | |
| 305 | | 171.7 m² | | 6 spaces | | |
| 310 | | 150.1 m² | | 5 spaces | | |
| 320 | | 589 m² | | 20 spaces | | |
| 103 | Finance Company | 95.6 m² | 1 space / 15 m² of GCFA | 6 spaces | | |
| 104 | | 133.3 m² | | 9 spaces | | |
| 106 | | 312.4 m² | | 21 spaces | | |
| 208 | | 133.8 m² | | 9 spaces | | |
| 100 & 110 | Commercial School | 417.1 m² | 4 spaces for each classroom or 1 space for every 20 m² of GCFA, whichever is greater | 21 spaces | | |
| 220A | | 111.5 m² | | 6 spaces | | |
| 221 | | 96.7 m² | | 5 spaces | | |
| 300 | Health Centre | 294.8 m² | 1 space / 22 m² of GCFA | 13 spaces | | |
| **Total** | - | **3,451.3 m²** | - | **152 spaces** | | |
| **Grand Total** | - | **6,270.6 m²** | - | **293 spaces** | **385 parking spaces** | **+92** |

In accordance with by-law 270-2004, the subject site requires 24 vehicular parking spaces for the proposed private school and 293 vehicular parking spaces for all uses on-site, including the proposed private school. In comparing the parking requirement for all uses on-site with the current existing supply of 385 vehicular parking spaces, there is a surplus of 92 parking spaces. Thus, the proposed parking supply can adequately accommodate the parking demands of all uses on-site.

## 5.0 CONCLUSION

The findings and conclusions of this analysis are as follows:

- The subject site is currently occupied by two (2) buildings, a single storey commercial building and an existing three (3)-storey office building. Based on the preliminary site plan prepared by Technoarch dated July 28, 2020, the development proposal is to develop Unit 10 of the commercial building into a private school, with Unit 10 having a gross commercial floor area (GFA) of 346 m² (3,724 ft²). A total of 385 parking spaces are located on the subject site to serve the existing buildings. Vehicular access to the site is proposed via a full movement entrance onto Rutherford Road South and via a full movement entrance onto Bramsteele Road.

- The proposed development is expected to generate 32 new auto trips (20 inbound and 12 outbound) during the AM peak period, and 20 new auto trips (eight (8) inbound and 12 outbound) during the PM peak period. Based on the expected number of trips that the proposed development is expected to generate, it is our opinion that the proposed development will have a negligible impact on the adjacent road network.

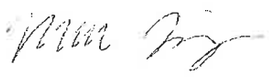
- In accordance with by-law 270-2004, the subject site requires 24 vehicular parking spaces for the proposed private school and 293 vehicular parking spaces for all uses on-site, including the proposed private school. In comparing the parking requirement for all uses on-site with the current existing supply of 385 vehicular parking spaces, there is a surplus of 92 parking spaces. Thus, the proposed parking supply can adequately accommodate the parking demands of all uses on-site.

We trust the enclosed sufficiently addresses your needs. Should you have any questions, please do not hesitate to contact the undersigned.

Yours truly,

**Nextrans Consulting Engineers**
A Division of NextEng Consulting Group Inc.

Prepared by:

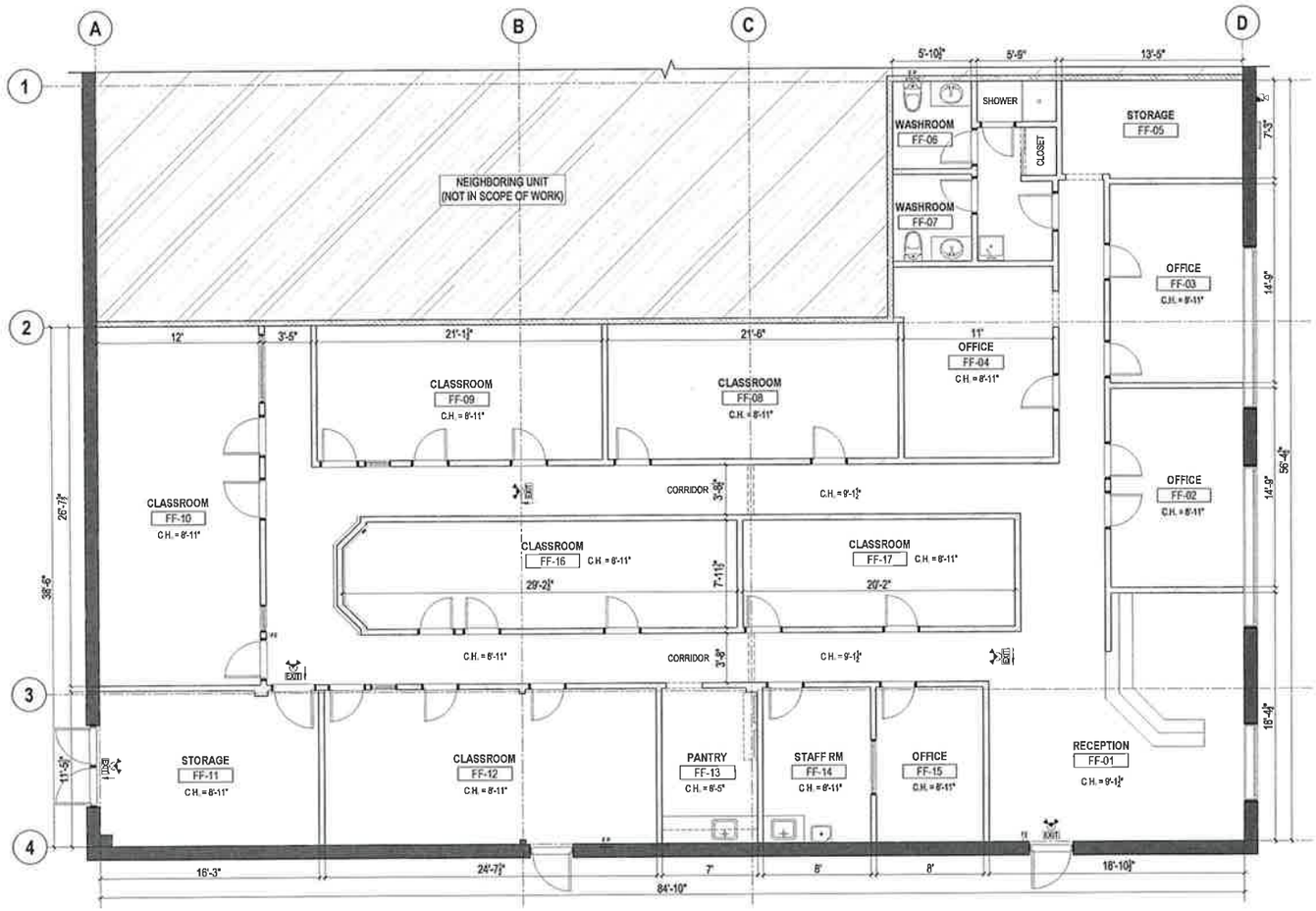


Marc Dimayuga
Transportation Analyst

Approved by:

Richard Pernicky, MITE
Principal

# Appendix A - Proposed Site Plan




01 EXISTING FLOOR PLAN
1/8"=1'-0"

N

KEY

| REV | ISSUED FOR | DATE |
|---|---|---|
| 00 | ISSUED FOR REVIEW | 2020-07-28 |

PROJECT NAME AND ADDRESS :
REZONING FOR INSTITUTION AT 350 RUTHERFORD RD S, BRAMPTON

LEAD CONSULTANT :

technoarch
2250 Bovaird Drive E, Suite 612 ,
Brampton, ON L6R 0W3, Canada
Tel : +1-905-792-0038
Cell : +1-416-729-9454
Email: hbhons@technoarch.ca
www.technoarch.ca


STRUCTURAL CONSULTANT :

MEP CONSULTANT :

DRAWING TITLE :
EXISTING FLOOR PLAN

| | |
|---|---|
| DRAWN BY | JS |
| CHECKED BY | HB |
| APPROVED BY | HB |
| SCALE 1/8"=1'-0" | SIZE A3 |
| SHEET NO A02 | STAGE REVIEW |
| PHASE 00 | REV 00 |
| ISSUED DATE | 2020-07-28 |

# Appendix B – Existing Transit Information

# 10 10

# South Industrial

notes

Route 10 does not operate on Saturdays, Sundays or Holidays.

## Monday – Friday

Effective: September 3, 2019

While every effort will be made to keep to the timetables, Brampton Transit does not undertake that its buses will be operated in accordance with them, or at all. Brampton Transit will not be responsible for any loss, damage or inconvenience caused by any operating failure or in consequence of any inaccuracies in this timetable. Timings highlighted in blue indicate the trip is in a.m. hours. Timings highlighted in red indicate the trip is in p.m. hours.

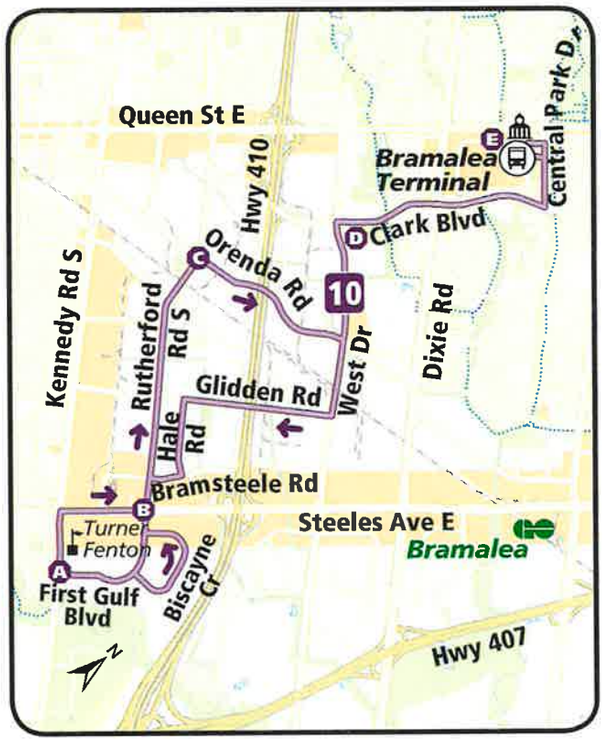
For more information, call 905-874-2999.

| | |
|---|---|
| Monday to Friday | 7:00 a.m. to 9:00 p.m. |
| Saturday | 7:00 a.m. to 7:00 p.m. |
| Sunday | 9:00 a.m. to 6:00 p.m. |

Alternate formats available upon request.

MIX
Paper from responsible sources
FSC® C021329

BRAMPTON
Flower City
brampton.ca




Brampton Transit
YOURS. FOR LIFE.

zum

bramptontransit.com

Brampton Transit
YOURS. FOR LIFE.

zum

bramptontransit.com

## EASTBOUND: Saturday

| Route Branch | A Lisgar GO Station | B Steeles Ave & Winston Churchill Blvd | C Steeles Ave & Mississauga Rd | D Steeles Ave & Chinguacousy Rd | E Sheridan College | F Brampton Gateway Terminal | G Steeles Ave & Kennedy Rd | H Steeles Ave & Dixie Rd | I Steeles Ave & Bramalea Rd | J Steeles Ave & Torbram Rd | K Steeles Ave & Airport Rd | L Steeles Ave & Signal Hill Ave | M Albion Rd & Humberline Dr | N Humber College |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 11A | | | | | | 4:55 | 5:00 | 5:06 | 5:09 | 5:12 | 5:15 | 5:25 | 5:28 | 5:33 |
| 11 | 4:57 | 5:01 | 5:05 | 5:10 | 5:15 | 5:18 | | | | | | | | |
| 11 | 5:02 | 5:06 | 5:10 | 5:15 | 5:20 | 5:25 | 5:29 | 5:34 | 5:37 | 5:41 | 5:44 | 5:53 | 5:56 | 6:01 |
| 11 | 5:32 | 5:36 | 5:40 | 5:45 | 5:50 | 5:55 | 5:59 | 6:05 | 6:08 | 6:11 | 6:14 | 6:24 | 6:27 | 6:32 |
| 11 | 5:50 | 5:54 | 5:58 | 6:04 | 6:10 | 6:15 | 6:19 | 6:25 | 6:28 | 6:31 | 6:34 | 6:44 | 6:47 | 6:52 |
| 11A | | | | | | 6:25 | 6:30 | 6:36 | 6:39 | 6:42 | 6:45 | 6:55 | 6:58 | 7:03 |
| 11 | 6:15 | 6:20 | 6:25 | 6:31 | 6:37 | 6:42 | 6:46 | 6:52 | 6:55 | 6:58 | 7:01 | 7:11 | 7:15 | 7:21 |
| 11A | | | | | | 6:55 | 7:00 | 7:06 | 7:09 | 7:12 | 7:15 | 7:25 | 7:28 | 7:33 |
| 11 | 6:58 | 7:03 | 7:07 | 7:13 | 7:19 | 7:25 | 7:30 | 7:37 | 7:40 | 7:43 | 7:46 | 7:56 | 8:00 | 8:06 |
| 11A | | | | | | 7:55 | 8:00 | 8:07 | 8:10 | 8:13 | 8:16 | 8:26 | 8:30 | 8:36 |
| 11 | 7:58 | 8:03 | 8:07 | 8:13 | 8:19 | 8:25 | 8:30 | 8:37 | 8:40 | 8:43 | 8:46 | 8:56 | 9:00 | 9:06 |
| 11A | | | | | | 8:55 | 9:00 | 9:07 | 9:10 | 9:14 | 9:17 | 9:27 | 9:31 | 9:37 |
| 11 | 8:57 | 9:02 | 9:06 | 9:12 | 9:19 | 9:25 | 9:30 | 9:37 | 9:40 | 9:44 | 9:47 | 9:57 | 10:01 | 10:07 |
| 11A | | | | | | 9:55 | 10:00 | 10:07 | 10:10 | 10:14 | 10:17 | 10:28 | 10:32 | 10:38 |
| 11 | 10:00 | 10:05 | 10:09 | 10:15 | 10:21 | 10:26 | 10:32 | 10:39 | 10:42 | 10:46 | 10:49 | 11:00 | 11:04 | 11:10 |
| 11A | | | | | | 10:52 | 10:58 | 11:06 | 11:09 | 11:13 | 11:16 | 11:27 | 11:31 | 11:37 |
| 11 | 10:58 | 11:04 | 11:08 | 11:14 | 11:19 | 11:25 | 11:30 | 11:38 | 11:41 | 11:45 | 11:48 | 11:59 | 12:02 | 12:08 |
| 11A | | | | | | 11:55 | 12:00 | 12:07 | 12:10 | 12:13 | 12:16 | 12:27 | 12:30 | 12:36 |
| 11 | 11:55 | 12:01 | 12:05 | 12:11 | 12:18 | 12:25 | 12:31 | 12:38 | 12:41 | 12:44 | 12:47 | 12:58 | 1:01 | 1:07 |
| 11A | | | | | | 12:55 | 1:01 | 1:09 | 1:12 | 1:15 | 1:18 | 1:28 | 1:31 | 1:37 |
| 11 | 12:55 | 1:01 | 1:05 | 1:12 | 1:19 | 1:25 | 1:32 | 1:40 | 1:43 | 1:46 | 1:49 | 1:59 | 2:03 | 2:09 |
| 11A | | | | | | 1:53 | 2:00 | 2:08 | 2:11 | 2:15 | 2:18 | 2:28 | 2:32 | 2:38 |
| 11 | 1:53 | 1:59 | 2:03 | 2:10 | 2:18 | 2:24 | 2:31 | 2:39 | 2:42 | 2:46 | 2:49 | 2:59 | 3:02 | 3:08 |
| 11A | | | | | | 2:54 | 3:01 | 3:10 | 3:13 | 3:16 | 3:19 | 3:30 | 3:33 | 3:39 |
| 11 | 2:55 | 3:01 | 3:05 | 3:12 | 3:18 | 3:23 | 3:29 | 3:38 | 3:41 | 3:44 | 3:47 | 3:58 | 4:01 | 4:07 |
| 11 | 3:14 | 3:20 | 3:24 | 3:31 | 3:37 | 3:42 | 3:48 | 3:57 | 4:00 | 4:03 | 4:06 | 4:17 | 4:20 | 4:26 |
| 11A | | | | | | 3:55 | 4:01 | 4:09 | 4:12 | 4:15 | 4:18 | 4:29 | 4:32 | 4:38 |
| 11 | 3:56 | 4:02 | 4:06 | 4:12 | 4:19 | 4:25 | 4:31 | 4:39 | 4:42 | 4:45 | 4:48 | 4:59 | 5:02 | 5:08 |
| 11A | | | | | | 4:56 | 5:02 | 5:10 | 5:13 | 5:16 | 5:19 | 5:29 | 5:32 | 5:38 |
| 11 | 4:57 | 5:03 | 5:08 | 5:14 | 5:20 | 5:25 | 5:31 | 5:39 | 5:42 | 5:45 | 5:48 | 5:58 | 6:01 | 6:07 |
| 11A | | | | | | 5:55 | 6:01 | 6:08 | 6:11 | 6:14 | 6:17 | 6:28 | 6:32 | 6:38 |
| 11 | 5:56 | 6:02 | 6:07 | 6:13 | 6:19 | 6:25 | 6:31 | 6:38 | 6:41 | 6:44 | 6:47 | 6:58 | 7:02 | 7:08 |
| 11 | 6:26 | 6:32 | 6:37 | 6:43 | 6:49 | 6:55 | 7:01 | 7:07 | 7:09 | 7:12 | 7:16 | 7:25 | 7:29 | 7:35 |
| 11 | 6:57 | 7:03 | 7:07 | 7:13 | 7:19 | 7:25 | 7:30 | 7:36 | 7:38 | 7:41 | 7:45 | 7:54 | 7:58 | 8:04 |
| 11A | | | | | | 7:55 | 8:00 | 8:06 | 8:08 | 8:11 | 8:14 | 8:23 | 8:26 | 8:32 |
| 11 | 7:58 | 8:04 | 8:08 | 8:14 | 8:19 | 8:25 | 8:30 | 8:36 | 8:38 | 8:41 | 8:44 | 8:53 | 8:56 | 9:02 |
| 11A | | | | | | 8:55 | 9:00 | 9:06 | 9:08 | 9:11 | 9:14 | 9:23 | 9:26 | 9:32 |
| 11 | 8:58 | 9:03 | 9:07 | 9:12 | 9:19 | 9:25 | 9:30 | 9:36 | 9:38 | 9:41 | 9:44 | 9:53 | 9:56 | 10:02 |
| 11A | | | | | | 9:55 | 10:00 | 10:07 | 10:09 | 10:12 | 10:15 | 10:25 | 10:28 | 10:34 |
| 11 | 9:57 | 10:02 | 10:06 | 10:11 | 10:17 | 10:23 | 10:28 | 10:35 | 10:37 | 10:40 | 10:43 | 10:53 | 10:56 | 11:02 |
| 11A | | | | | | 10:55 | 11:00 | 11:06 | 11:09 | 11:12 | 11:15 | 11:25 | 11:29 | 11:35 |
| 11 | 10:57 | 11:02 | 11:06 | 11:11 | 11:17 | 11:23 | 11:28 | 11:35 | 11:37 | 11:40 | 11:43 | 11:53 | 11:56 | 12:02 |
| 11A | | | | | | 11:55 | 11:59 | 12:04 | 12:06 | 12:09 | 12:12 | 12:21 | 12:24 | 12:30 |
| 11 | 12:02 | 12:07 | 12:11 | 12:16 | 12:21 | 12:27 | 12:31 | 12:36 | 12:38 | 12:41 | 12:44 | 12:53 | 12:56 | 1:02 |

## WESTBOUND: Saturday

| Route Branch | N Humber College | M Finch Ave & Humberline Dr | L Steeles Ave & Goreway Dr | K Steeles Ave & Airport Rd | J Steeles Ave & Torbram Rd | I Steeles Ave & Bramalea Rd | H Steeles Ave & Dixie Rd | G Steeles Ave & Kennedy Rd | F Brampton Gateway Terminal | E Sheridan College | D Steeles Ave & Chinguacousy Rd | C Steeles Ave & Mississauga Rd | B Steeles Ave & Winston Churchill Blvd | A Lisgar GO Station |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 11 | 5:39 | 5:44 | 5:53 | 5:56 | 5:59 | 6:03 | 6:07 | 6:13 | 6:19 | 6:24 | 6:29 | 6:34 | 6:39 | 6:42 |
| 11 | | | | | | | | | 6:34 | 6:39 | 6:44 | 6:49 | 6:54 | 6:57 |
| 11A | 6:09 | 6:15 | 6:23 | 6:26 | 6:29 | 6:33 | 6:37 | 6:43 | 6:48 | | | | | |
| 11 | 6:39 | 6:45 | 6:53 | 6:56 | 6:59 | 7:02 | 7:05 | 7:12 | 7:18 | 7:23 | 7:28 | 7:33 | 7:38 | 7:41 |
| 11A | 7:09 | 7:15 | 7:23 | 7:26 | 7:29 | 7:32 | 7:35 | 7:42 | 7:47 | | | | | |
| 11 | 7:39 | 7:45 | 7:53 | 7:56 | 7:59 | 8:02 | 8:05 | 8:12 | 8:18 | 8:23 | 8:29 | 8:33 | 8:37 | 8:41 |
| 11A | 8:09 | 8:15 | 8:24 | 8:27 | 8:29 | 8:32 | 8:35 | 8:42 | 8:47 | | | | | |
| 11 | 8:39 | 8:45 | 8:54 | 8:57 | 8:59 | 9:02 | 9:05 | 9:12 | 9:18 | 9:23 | 9:29 | 9:34 | 9:39 | 9:43 |
| 11A | 9:09 | 9:15 | 9:24 | 9:27 | 9:29 | 9:32 | 9:35 | 9:42 | 9:47 | | | | | |
| 11 | 9:39 | 9:45 | 9:54 | 9:57 | 9:59 | 10:02 | 10:05 | 10:12 | 10:18 | 10:23 | 10:29 | 10:34 | 10:39 | 10:43 |
| 11A | 10:09 | 10:15 | 10:23 | 10:26 | 10:29 | 10:32 | 10:35 | 10:42 | 10:47 | | | | | |
| 11 | 10:39 | 10:46 | 10:54 | 10:57 | 11:00 | 11:03 | 11:06 | 11:14 | 11:20 | 11:25 | 11:31 | 11:36 | 11:41 | 11:49 |
| 11A | 11:12 | 11:18 | 11:27 | 11:30 | 11:32 | 11:35 | 11:38 | 11:47 | 11:52 | | | | | |
| 11 | 11:39 | 11:45 | 11:54 | 11:57 | 11:59 | 12:03 | 12:06 | 12:14 | 12:20 | 12:25 | 12:31 | 12:37 | 12:43 | 12:49 |
| 11A | 12:09 | 12:15 | 12:23 | 12:26 | 12:29 | 12:33 | 12:36 | 12:45 | 12:50 | | | | | |
| 11 | 12:39 | 12:45 | 12:53 | 12:56 | 12:59 | 1:03 | 1:06 | 1:15 | 1:21 | 1:26 | 1:33 | 1:40 | 1:46 | 1:51 |
| 11A | 1:09 | 1:15 | 1:24 | 1:27 | 1:30 | 1:34 | 1:37 | 1:46 | 1:51 | | | | | |
| 11 | 1:39 | 1:45 | 1:54 | 1:57 | 2:00 | 2:04 | 2:07 | 2:16 | 2:22 | 2:27 | 2:33 | 2:38 | 2:44 | 2:48 |
| 11A | 2:10 | 2:16 | 2:25 | 2:28 | 2:31 | 2:35 | 2:38 | 2:47 | 2:52 | | | | | |
| 11 | 2:41 | 2:47 | 2:56 | 2:59 | 3:02 | 3:06 | 3:09 | 3:19 | 3:25 | 3:30 | 3:36 | 3:41 | 3:47 | 3:51 |
| 11A | 3:09 | 3:16 | 3:25 | 3:28 | 3:31 | 3:35 | 3:38 | 3:48 | 3:53 | | | | | |
| 11 | 3:41 | 3:48 | 3:57 | 4:00 | 4:03 | 4:07 | 4:10 | 4:20 | 4:26 | 4:31 | 4:37 | 4:43 | 4:49 | 4:54 |
| 11A | 4:09 | 4:15 | 4:24 | 4:28 | 4:31 | 4:35 | 4:38 | 4:48 | 4:53 | | | | | |
| 11 | 4:39 | 4:45 | 4:54 | 4:58 | 5:01 | 5:05 | 5:08 | 5:17 | 5:23 | 5:28 | 5:35 | 5:40 | 5:46 | 5:50 |
| 11 | 5:09 | 5:15 | 5:23 | 5:27 | 5:30 | 5:34 | 5:37 | 5:46 | 5:52 | 5:57 | 6:04 | 6:10 | 6:16 | 6:20 |
| 11 | 5:40 | 5:46 | 5:54 | 5:58 | 6:01 | 6:04 | 6:07 | 6:16 | 6:22 | 6:27 | 6:34 | 6:40 | 6:46 | 6:50 |
| 11A | 6:09 | 6:15 | 6:24 | 6:27 | 6:29 | 6:32 | 6:35 | 6:44 | 6:49 | | | | | |
| 11 | 6:12 | 6:18 | 6:27 | 6:30 | 6:32 | 6:35 | 6:38 | 6:47 | 6:53 | 6:58 | 7:04 | 7:10 | 7:15 | 7:19 |
| 11 | 6:39 | 6:45 | 6:54 | 6:57 | 6:59 | 7:02 | 7:05 | 7:12 | 7:18 | 7:23 | 7:29 | 7:35 | 7:40 | 7:44 |
| 11A | 7:09 | 7:15 | 7:23 | 7:26 | 7:29 | 7:32 | 7:35 | 7:42 | 7:47 | | | | | |
| 11 | 7:39 | 7:45 | 7:53 | 7:56 | 7:59 | 8:03 | 8:06 | 8:13 | 8:19 | 8:24 | 8:30 | 8:36 | 8:40 | 8:43 |
| 11A | 8:09 | 8:15 | 8:23 | 8:26 | 8:29 | 8:33 | 8:36 | 8:43 | 8:48 | | | | | |
| 11 | 8:39 | 8:45 | 8:53 | 8:56 | 8:59 | 9:03 | 9:06 | 9:14 | 9:20 | 9:25 | 9:31 | 9:36 | 9:41 | 9:45 |
| 11A | 9:09 | 9:14 | 9:22 | 9:25 | 9:28 | 9:32 | 9:35 | 9:43 | 9:48 | | | | | |
| 11 | 9:39 | 9:44 | 9:52 | 9:55 | 9:58 | 10:02 | 10:06 | 10:14 | 10:20 | 10:25 | 10:31 | 10:36 | 10:40 | 10:44 |
| 11A | 10:09 | 10:15 | 10:23 | 10:26 | 10:29 | 10:33 | 10:37 | 10:45 | 10:50 | | | | | |
| 11 | 10:39 | 10:45 | 10:53 | 10:56 | 10:59 | 11:03 | 11:07 | 11:14 | 11:20 | 11:25 | 11:30 | 11:35 | 11:39 | 11:44 |
| 11A | 11:09 | 11:15 | 11:23 | 11:26 | 11:29 | 11:33 | 11:37 | 11:44 | 11:49 | | | | | |
| 11 | 11:39 | 11:45 | 11:53 | 11:56 | 11:59 | 12:03 | 12:06 | 12:14 | 12:20 | 12:25 | 12:30 | 12:35 | 12:39 | 12:43 |
| 11A | 12:09 | 12:15 | 12:24 | 12:27 | 12:30 | 12:34 | 12:37 | 12:44 | 12:49 | | | | | |
| 11 | 12:39 | 12:45 | 12:54 | 12:57 | 1:00 | 1:04 | 1:07 | 1:15 | 1:21 | 1:26 | 1:31 | 1:35 | 1:40 | 1:44 |
| 11A | 1:09 | 1:15 | 1:24 | 1:27 | 1:30 | 1:34 | 1:37 | 1:44 | 1:49 | | | | | |

## EASTBOUND: Sunday / Holidays

| Route Branch | A Lisgar GO Station | B Steeles Ave & Winston Churchill Blvd | C Steeles Ave & Mississauga Rd | D Steeles Ave & Chinguacousy Rd | E Sheridan College | F Brampton Gateway Terminal | G Steeles Ave & Kennedy Rd | H Steeles Ave & Dixie Rd | I Steeles Ave & Bramalea Rd | J Steeles Ave & Torbram Rd | K Steeles Ave & Airport Rd | L Steeles Ave & Signal Hill Ave | M Albion Rd & Humberline Dr | N Humber College |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 11 | 5:50 | 5:55 | 6:00 | 6:05 | 6:11 | 6:25 | 6:29 | 6:34 | 6:38 | 6:41 | 6:44 | 6:54 | 6:57 | 7:03 |
| 11 | 6:20 | 6:25 | 6:30 | 6:35 | 6:41 | 6:55 | 6:59 | 7:04 | 7:08 | 7:11 | 7:14 | 7:24 | 7:27 | 7:33 |
| 11 | 6:58 | 7:03 | 7:08 | 7:13 | 7:19 | 7:25 | 7:29 | 7:34 | 7:38 | 7:41 | 7:44 | 7:54 | 7:57 | 8:03 |
| 11A | | | | | | 7:55 | 7:59 | 8:05 | 8:09 | 8:13 | 8:17 | 8:27 | 8:31 | 8:37 |
| 11 | 7:58 | 8:03 | 8:08 | 8:13 | 8:19 | 8:25 | 8:29 | 8:34 | 8:38 | 8:41 | 8:44 | 8:54 | 8:57 | 9:03 |
| 11A | | | | | | 8:55 | 8:59 | 9:05 | 9:09 | 9:13 | 9:17 | 9:27 | 9:31 | 9:37 |
| 11 | 8:58 | 9:03 | 9:08 | 9:13 | 9:19 | 9:25 | 9:29 | 9:34 | 9:38 | 9:41 | 9:44 | 9:54 | 9:57 | 10:03 |
| 11A | | | | | | 9:55 | 9:59 | 10:05 | 10:09 | 10:13 | 10:17 | 10:27 | 10:31 | 10:37 |
| 11 | 9:58 | 10:03 | 10:08 | 10:13 | 10:19 | 10:25 | 10:29 | 10:34 | 10:38 | 10:41 | 10:44 | 10:54 | 10:57 | 11:03 |
| 11A | | | | | | 10:55 | 10:59 | 11:05 | 11:09 | 11:13 | 11:17 | 11:27 | 11:31 | 11:37 |
| 11 | 10:58 | 11:03 | 11:08 | 11:13 | 11:19 | 11:25 | 11:29 | 11:34 | 11:38 | 11:41 | 11:44 | 11:54 | 11:57 | 12:03 |
| 11A | | | | | | 11:55 | 11:59 | 12:05 | 12:09 | 12:13 | 12:17 | 12:27 | 12:31 | 12:37 |
| 11 | 11:58 | 12:03 | 12:08 | 12:13 | 12:19 | 12:25 | 12:29 | 12:34 | 12:38 | 12:41 | 12:44 | 12:54 | 12:57 | 1:03 |
| 11A | | | | | | 12:55 | 12:59 | 1:06 | 1:10 | 1:14 | 1:18 | 1:28 | 1:33 | 1:39 |
| 11 | 12:55 | 1:00 | 1:05 | 1:10 | 1:16 | 1:22 | 1:27 | 1:33 | 1:37 | 1:40 | 1:43 | 1:53 | 1:56 | 2:02 |
| 11A | | | | | | 1:53 | 1:58 | 2:05 | 2:09 | 2:13 | 2:17 | 2:27 | 2:32 | 2:38 |
| 11 | 1:58 | 2:03 | 2:08 | 2:13 | 2:19 | 2:25 | 2:30 | 2:36 | 2:40 | 2:43 | 2:46 | 2:56 | 2:59 | 3:05 |
| 11A | | | | | | 2:52 | 2:57 | 3:04 | 3:08 | 3:12 | 3:16 | 3:26 | 3:31 | 3:37 |
| 11 | 2:57 | 3:02 | 3:07 | 3:12 | 3:18 | 3:24 | 3:29 | 3:35 | 3:39 | 3:42 | 3:45 | 3:55 | 3:58 | 4:04 |
| 11A | | | | | | 3:55 | 4:00 | 4:07 | 4:11 | 4:15 | 4:19 | 4:29 | 4:34 | 4:40 |
| 11 | 3:56 | 4:01 | 4:06 | 4:11 | 4:17 | 4:23 | 4:28 | 4:34 | 4:38 | 4:41 | 4:44 | 4:54 | 4:57 | 5:03 |
| 11A | | | | | | 4:54 | 4:59 | 5:06 | 5:10 | 5:14 | 5:18 | 5:28 | 5:33 | 5:39 |
| 11 | 4:58 | 5:03 | 5:08 | 5:13 | 5:19 | 5:25 | 5:30 | 5:36 | 5:40 | 5:43 | 5:46 | 5:56 | 5:59 | 6:05 |
| 11A | | | | | | 5:55 | 6:00 | 6:07 | 6:11 | 6:15 | 6:19 | 6:29 | 6:34 | 6:40 |
| 11 | 5:58 | 6:03 | 6:08 | 6:13 | 6:19 | 6:25 | 6:30 | 6:36 | 6:40 | 6:43 | 6:46 | 6:56 | 6:59 | 7:05 |
| 11 | 6:13 | 6:18 | 6:23 | 6:28 | 6:34 | 6:40 | 6:45 | 6:51 | 6:55 | 6:58 | 7:01 | 7:11 | 7:14 | 7:20 |
| 11 | 6:14 | 6:19 | 6:24 | 6:29 | 6:35 | 6:39 | | | | | | | | |
| 11A | | | | | | 6:55 | 7:00 | 7:06 | 7:10 | 7:14 | 7:18 | 7:28 | 7:32 | 7:38 |
| 11 | 6:57 | 7:02 | 7:07 | 7:12 | 7:18 | 7:24 | 7:28 | 7:33 | 7:37 | 7:40 | 7:43 | 7:53 | 7:56 | 8:02 |
| 11A | | | | | | 7:55 | 7:59 | 8:05 | 8:09 | 8:13 | 8:17 | 8:27 | 8:31 | 8:37 |
| 11 | 7:57 | 8:02 | 8:07 | 8:12 | 8:18 | 8:24 | 8:28 | 8:33 | 8:37 | 8:40 | 8:43 | 8:53 | 8:56 | 9:02 |
| 11A | | | | | | 8:55 | 8:59 | 9:05 | 9:09 | 9:13 | 9:17 | 9:27 | 9:31 | 9:37 |
| 11 | 8:57 | 9:02 | 9:07 | 9:12 | 9:18 | 9:24 | 9:28 | 9:33 | 9:37 | 9:40 | 9:43 | 9:53 | 9:56 | 10:02 |
| 11A | | | | | | 9:55 | 9:59 | 10:05 | 10:09 | 10:13 | 10:17 | 10:27 | 10:31 | 10:37 |
| 11 | 9:57 | 10:02 | 10:07 | 10:12 | 10:18 | 10:24 | 10:28 | 10:33 | 10:37 | 10:40 | 10:43 | 10:53 | 10:56 | 11:02 |
| 11A | | | | | | 10:55 | 10:59 | 11:05 | 11:09 | 11:13 | 11:17 | 11:27 | 11:31 | 11:37 |
| 11 | 10:50 | 10:55 | 11:00 | 11:05 | 11:11 | 11:17 | 11:21 | 11:26 | 11:30 | 11:33 | 11:36 | 11:46 | 11:49 | 11:55 |

## WESTBOUND: Sunday / Holidays

| Route Branch | N Humber College | M Finch Ave & Humberline Dr | L Steeles Ave & Goreway Dr | K Steeles Ave & Airport Rd | J Steeles Ave & Torbram Rd | I Steeles Ave & Bramalea Rd | H Steeles Ave & Dixie Rd | G Steeles Ave & Kennedy Rd | F Brampton Gateway Terminal | E Sheridan College | D Steeles Ave & Chinguacousy Rd | C Steeles Ave & Mississauga Rd | B Steeles Ave & Winston Churchill Blvd | A Lisgar GO Station |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| 11 | 6:39 | 6:44 | 6:52 | 6:55 | 6:58 | 7:02 | 7:06 | 7:12 | 7:18 | 7:22 | 7:25 | 7:29 | 7:34 | 7:41 |
| 11A | 7:09 | 7:14 | 7:22 | 7:26 | 7:29 | 7:33 | 7:36 | 7:44 | 7:49 | | | | | |
| 11 | 7:39 | 7:44 | 7:52 | 7:55 | 7:58 | 8:02 | 8:05 | 8:12 | 8:18 | 8:22 | 8:25 | 8:29 | 8:34 | 8:41 |
| 11A | 8:09 | 8:14 | 8:22 | 8:26 | 8:29 | 8:33 | 8:36 | 8:44 | 8:49 | | | | | |
| 11 | 8:39 | 8:44 | 8:52 | 8:55 | 8:58 | 9:02 | 9:05 | 9:12 | 9:18 | 9:22 | 9:25 | 9:29 | 9:34 | 9:41 |
| 11A | 9:09 | 9:14 | 9:23 | 9:27 | 9:30 | 9:34 | 9:37 | 9:45 | 9:50 | | | | | |
| 11 | 9:39 | 9:44 | 9:53 | 9:56 | 9:59 | 10:03 | 10:06 | 10:13 | 10:19 | 10:23 | 10:26 | 10:30 | 10:35 | 10:42 |
| 11A | 10:09 | 10:14 | 10:23 | 10:27 | 10:30 | 10:34 | 10:37 | 10:45 | 10:50 | | | | | |
| 11 | 10:39 | 10:44 | 10:53 | 10:56 | 10:59 | 11:03 | 11:06 | 11:13 | 11:19 | 11:23 | 11:26 | 11:30 | 11:35 | 11:42 |
| 11A | 11:09 | 11:14 | 11:23 | 11:27 | 11:30 | 11:34 | 11:37 | 11:45 | 11:50 | | | | | |
| 11 | 11:39 | 11:44 | 11:53 | 11:56 | 11:59 | 12:03 | 12:06 | 12:13 | 12:20 | 12:24 | 12:27 | 12:31 | 12:36 | 12:43 |
| 11A | 12:09 | 12:15 | 12:24 | 12:28 | 12:31 | 12:35 | 12:38 | 12:46 | 12:52 | | | | | |
| 11 | 12:39 | 12:45 | 12:54 | 12:57 | 1:00 | 1:04 | 1:07 | 1:14 | 1:21 | 1:25 | 1:28 | 1:32 | 1:37 | 1:44 |
| 11A | 1:07 | 1:13 | 1:22 | 1:26 | 1:29 | 1:33 | 1:36 | 1:44 | 1:50 | | | | | |
| 11 | 1:41 | 1:47 | 1:56 | 1:59 | 2:02 | 2:06 | 2:09 | 2:17 | 2:24 | 2:28 | 2:31 | 2:35 | 2:40 | 2:47 |
| 11A | 2:06 | 2:12 | 2:21 | 2:26 | 2:29 | 2:33 | 2:36 | 2:45 | 2:51 | | | | | |
| 11 | 2:40 | 2:46 | 2:55 | 2:59 | 3:02 | 3:06 | 3:09 | 3:17 | 3:24 | 3:28 | 3:31 | 3:35 | 3:40 | 3:47 |
| 11A | 3:09 | 3:15 | 3:24 | 3:29 | 3:32 | 3:36 | 3:39 | 3:48 | 3:54 | | | | | |
| 11 | 3:41 | 3:47 | 3:56 | 4:00 | 4:03 | 4:07 | 4:10 | 4:18 | 4:25 | 4:29 | 4:32 | 4:36 | 4:41 | 4:48 |
| 11A | 4:08 | 4:14 | 4:23 | 4:28 | 4:31 | 4:35 | 4:38 | 4:47 | 4:53 | | | | | |
| 11 | 4:42 | 4:48 | 4:57 | 5:01 | 5:04 | 5:08 | 5:11 | 5:18 | 5:25 | 5:29 | 5:32 | 5:36 | 5:41 | 5:48 |
| 11 | 5:07 | 5:13 | 5:22 | 5:26 | 5:29 | 5:33 | 5:36 | 5:43 | 5:50 | 5:54 | 5:57 | 6:01 | 6:06 | 6:13 |
| 11 | 5:41 | 5:47 | 5:56 | 6:00 | 6:03 | 6:07 | 6:10 | 6:17 | 6:24 | 6:28 | 6:31 | 6:35 | 6:40 | 6:47 |
| 11A | 6:09 | 6:15 | 6:24 | 6:28 | 6:31 | 6:35 | 6:38 | 6:46 | 6:52 | | | | | |
| 11 | 6:17 | 6:23 | 6:32 | 6:35 | 6:38 | 6:42 | 6:45 | 6:52 | 6:59 | 7:03 | 7:06 | 7:10 | 7:15 | 7:22 |
| 11 | 6:44 | 6:50 | 6:59 | 7:02 | 7:05 | 7:09 | 7:12 | 7:19 | 7:26 | 7:30 | 7:33 | 7:37 | 7:42 | 7:49 |
| 11A | 7:09 | 7:15 | 7:24 | 7:28 | 7:31 | 7:35 | 7:38 | 7:46 | 7:52 | | | | | |
| 11 | 7:39 | 7:45 | 7:54 | 7:57 | 8:00 | 8:04 | 8:07 | 8:14 | 8:21 | 8:25 | 8:28 | 8:32 | 8:37 | 8:44 |
| 11A | 8:09 | 8:15 | 8:24 | 8:28 | 8:31 | 8:35 | 8:38 | 8:46 | 8:52 | | | | | |
| 11 | 8:39 | 8:45 | 8:54 | 8:57 | 9:00 | 9:04 | 9:07 | 9:13 | 9:20 | 9:24 | 9:27 | 9:31 | 9:36 | 9:43 |
| 11A | 9:09 | 9:14 | 9:23 | 9:27 | 9:30 | 9:34 | 9:37 | 9:44 | 9:50 | | | | | |
| 11 | 9:39 | 9:44 | 9:53 | 9:56 | 9:59 | 10:03 | 10:06 | 10:12 | 10:19 | 10:23 | 10:26 | 10:30 | 10:35 | 10:42 |
| 11A | 10:09 | 10:14 | 10:23 | 10:27 | 10:30 | 10:34 | 10:37 | 10:44 | 10:50 | | | | | |
| 11 | 10:39 | 10:44 | 10:53 | 10:56 | 10:59 | 11:03 | 11:06 | 11:12 | 11:18 | 11:22 | 11:25 | 11:29 | 11:34 | 11:41 |
| 11A | 11:09 | 11:14 | 11:22 | 11:26 | 11:29 | 11:33 | 11:36 | 11:43 | 11:48 | | | | | |
| 11 | 11:39 | 11:44 | 11:52 | 11:55 | 11:58 | 12:02 | 12:05 | 12:11 | 12:17 | 12:21 | 12:24 | 12:28 | 12:33 | 12:40 |
| 11 | 12:09 | 12:14 | 12:22 | 12:25 | 12:28 | 12:32 | 12:35 | 12:41 | 12:45 | | | | | |

While every effort will be made to keep to the timetables, Brampton Transit does not undertake that its buses will be operated in accordance with them, or at all. Brampton Transit will not be responsible for any loss, damage or inconvenience caused by any operating failure or in consequence of any inaccuracies in this timetable. Timings highlighted in blue indicate the trip is in a.m. hours. Timings highlighted in red indicate the trip is in p.m. hours.

For more information, call 905-874-2999.

| | |
|---|---|
| Monday to Friday | 7:00 a.m. to 9:00 p.m. |
| Saturday | 7:00 a.m. to 7:00 p.m. |
| Sunday | 9:00 a.m. to 6:00 p.m. |

BRAMPTON Flower City

Alternate formats available upon request.

MIX Paper from responsible sources FSC® C021329

# 11/11A

# Steeles

Monday – Sunday

Effective: March 2, 2020

Brampton Transit YOURS. FOR LIFE.

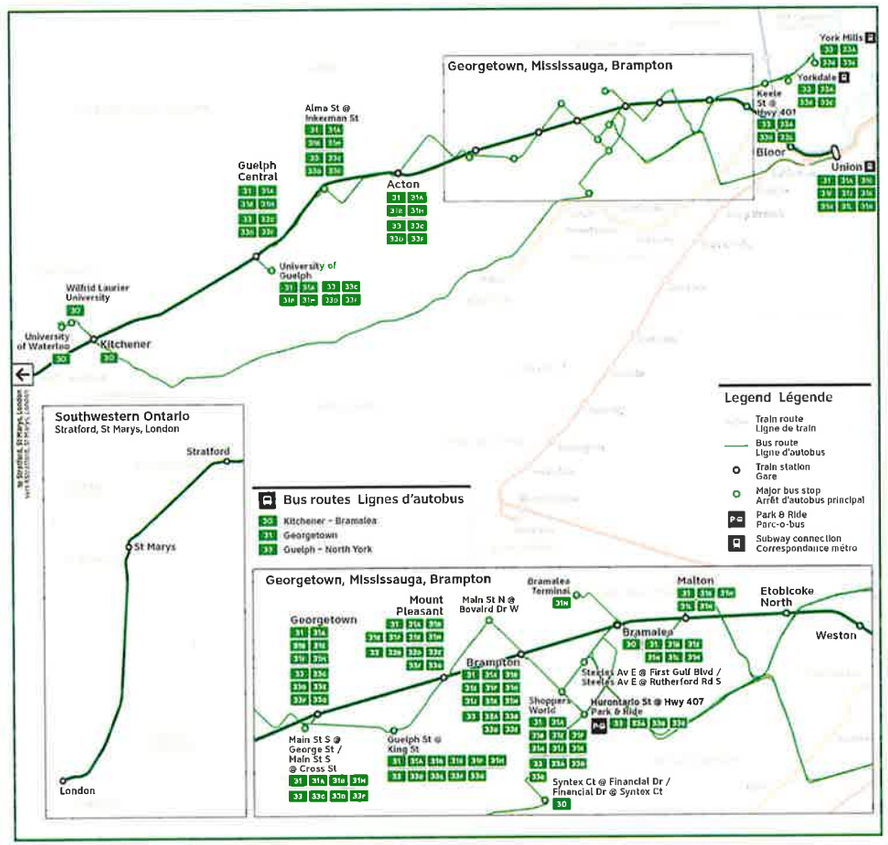
zum

bramptontransit.com

# 30-31-33

Route number
Numéro du trajet

## Kitchener




## CONTACT US

1-888-438-6646
416-869-3200
TTY/ATS:
1-800-387-3652

gotransit.com/schedules

@GOtransitKT

See Something?
Say Something.
24/7 Transit Safety Dispatch:
1-877-297-0642

prestocard.ca

Sign-up for email or text alerts/ Inscrivez-vous pour recevoir des alertes par courriel ou message texte.
gotransit.com/OnTheGO

*Face coverings are mandatory on GO Transit. Let's keep each other safe.*

*Le port d'un masque est obligatoire lors de vos trajets sur GO Transit. Protégeons notre santé les uns les autres.*

# Kitchener

GO Train and Bus Schedule/
Horaire des trains et des autobus GO

METROLINX

KT 30 31 33

- London
- St. Marys
- Stratford
- Waterloo
- Kitchener
- Guelph
- Rockwood
- Acton
- Georgetown
- Brampton
- Toronto

**Daily / Quotidiennement**
Includes GO Bus routes 30, 31, and 33 / Inclut les trajets 30, 31, et 33 d'autobus GO

**Effective / À partir de:**
25 JUNE JUIN 2022

# 511 511A 511C Lisgar GO Station • Steeles Avenue East • Humber College

## EASTBOUND: Saturday

| Route Branch | Lisgar GO Station | Steeles Ave & Winston Churchill Blvd | Steeles Ave & Mississauga Rd | Steeles Ave & Chinguacousy Rd | Sheridan College | Brampton Gateway Terminal | Steeles Ave & Kennedy Rd | Steeles Ave & Dixie Rd | Steeles Ave & Bramalea Rd | Steeles Ave & Airport Rd | Steeles Ave & Goreway Dr | Steeles Ave & Finch Ave | Humber College |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| | A | B | C | D | E | F | G | H | I | J | K | L | M | N |
| 511 | | | 4:06 | 4:15 | 4:19 | 4:44 | 4:55 | 5:15 | 5:17 | 5:20 | 5:23 | 5:26 | 5:31 | 5:34 |
| 511 | 4:48 | 4:54 | 4:58 | 5:08 | 5:12 | 5:38 | 5:50 | 6:08 | 6:10 | 6:13 | 6:16 | 6:19 | 6:24 | 6:27 |
| 511 | 5:15 | 5:20 | 5:24 | 5:28 | 5:32 | 5:58 | 6:10 | 6:28 | 6:30 | 6:33 | 6:36 | 6:39 | 6:44 | 6:47 |
| 511 | | | 5:54 | 5:58 | 6:02 | 6:28 | 6:40 | 6:58 | 7:00 | 7:03 | 7:06 | 7:09 | 7:14 | 7:17 |
| 511A | | | | | | 6:19 | 6:34 | 6:50 | 6:52 | 6:55 | 6:58 | 7:01 | 7:06 | 7:09 |
| 511A | | | | | | 6:50 | 7:04 | 7:20 | 7:22 | 7:25 | 7:28 | 7:31 | 7:36 | 7:39 |
| 511A | | | | | | 7:18 | 7:34 | 7:50 | 7:52 | 7:55 | 7:58 | 8:01 | 8:06 | 8:09 |
| 511A | | | | | | 7:50 | 8:04 | 8:20 | 8:22 | 8:25 | 8:28 | 8:31 | 8:36 | 8:39 |
| 511A | | | | | | 8:20 | 8:34 | 8:50 | 8:52 | 8:55 | 8:58 | 9:01 | 9:06 | 9:09 |
| 511A | | | | | | 8:50 | 9:04 | 9:20 | 9:22 | 9:25 | 9:28 | 9:31 | 9:36 | 9:39 |
| 511A | | | | | | 9:20 | 9:34 | 9:50 | 9:52 | 9:55 | 9:58 | 10:01 | 10:06 | 10:09 |
| 511A | | | | | | 9:50 | 10:04 | 10:20 | 10:22 | 10:25 | 10:28 | 10:31 | 10:36 | 10:39 |
| 511A | | | | | | 10:20 | 10:34 | 10:50 | 10:52 | 10:55 | 10:58 | 11:01 | 11:06 | 11:09 |
| 511A | | | | | | 10:50 | 11:04 | 11:20 | 11:22 | 11:25 | 11:28 | 11:31 | 11:36 | 11:39 |
| 511A | | | | | | 11:20 | 11:34 | 11:50 | 11:52 | 11:55 | 11:58 | 12:01 | 12:06 | 12:09 |
| 511A | | | | | | 11:50 | 12:04 | 12:20 | 12:22 | 12:25 | 12:28 | 12:31 | 12:36 | 12:39 |
| 511A | | | | | | 12:20 | 12:34 | 12:50 | 12:52 | 12:55 | 12:58 | 13:01 | 13:06 | 13:09 |
| 511A | | | | | | 12:50 | 13:04 | 13:20 | 13:22 | 13:25 | 13:28 | 13:31 | 13:36 | 13:39 |
| 511A | | | | | | 13:20 | 13:34 | 13:50 | 13:52 | 13:55 | 13:58 | 14:01 | 14:06 | 14:09 |
| 511A | | | | | | 13:50 | 14:04 | 14:20 | 14:22 | 14:25 | 14:28 | 14:31 | 14:36 | 14:39 |
| 511A | | | | | | 14:20 | 14:34 | 14:50 | 14:52 | 14:55 | 14:58 | 15:01 | 15:06 | 15:09 |
| 511A | | | | | | 14:50 | 15:04 | 15:20 | 15:22 | 15:25 | 15:28 | 15:31 | 15:36 | 15:39 |
| 511A | | | | | | 15:20 | 15:34 | 15:50 | 15:52 | 15:55 | 15:58 | 16:01 | 16:06 | 16:09 |
| 511A | | | | | | 15:50 | 16:04 | 16:20 | 16:22 | 16:25 | 16:28 | 16:31 | 16:36 | 16:39 |
| 511A | | | | | | 16:20 | 16:34 | 16:50 | 16:52 | 16:55 | 16:58 | 17:01 | 17:06 | 17:09 |
| 511A | | | | | | 16:50 | 17:04 | 17:20 | 17:22 | 17:25 | 17:28 | 17:31 | 17:36 | 17:39 |
| 511A | | | | | | 17:20 | 17:34 | 17:50 | 17:52 | 17:55 | 17:58 | 18:01 | 18:06 | 18:09 |
| 511A | | | | | | 17:50 | 18:04 | 18:20 | 18:22 | 18:25 | 18:28 | 18:31 | 18:36 | 18:39 |
| 511A | | | | | | 18:20 | 18:34 | 18:50 | 18:52 | 18:55 | 18:58 | 19:01 | 19:06 | 19:09 |
| 511A | | | | | | 18:50 | 19:04 | 19:20 | 19:22 | 19:25 | 19:28 | 19:31 | 19:36 | 19:39 |
| 511A | | | | | | 19:20 | 19:34 | 19:50 | 19:52 | 19:55 | 19:58 | 20:01 | 20:06 | 20:09 |
| 511A | | | | | | 19:50 | 20:04 | 20:20 | 20:22 | 20:25 | 20:28 | 20:31 | 20:36 | 20:39 |
| 511A | | | | | | 20:20 | 20:34 | 20:50 | 20:52 | 20:55 | 20:58 | 21:01 | 21:06 | 21:09 |
| 511A | | | | | | 20:50 | 21:04 | 21:20 | 21:22 | 21:25 | 21:28 | 21:31 | 21:36 | 21:39 |
| 511A | | | | | | 21:20 | 21:34 | 21:50 | 21:52 | 21:55 | 21:58 | 22:01 | 22:06 | 22:09 |
| 511A | | | | | | 21:50 | 22:04 | 22:20 | 22:22 | 22:25 | 22:28 | 22:31 | 22:36 | 22:39 |
| 511A | | | | | | 22:20 | 22:34 | 22:50 | 22:52 | 22:55 | 22:58 | 23:01 | 23:06 | 23:09 |
| 511A | | | | | | 22:50 | 23:04 | 23:20 | 23:22 | 23:25 | 23:28 | 23:31 | 23:36 | 23:39 |
| 511A | | | | | | 23:20 | 23:34 | 23:50 | 23:52 | 23:55 | 23:58 | 24:01 | 24:06 | 24:09 |
| 511 | | | 5:58 | 6:07 | 6:11 | 6:37 | 6:51 | 7:13 | 7:15 | 7:18 | 7:21 | 7:24 | 7:29 | 7:32 |
| 511 | 5:45 | 5:50 | 5:54 | 5:58 | 6:02 | 6:28 | 6:42 | 7:04 | 7:06 | 7:09 | 7:12 | 7:15 | 7:20 | 7:23 |
| 511A | | | | | | 6:49 | 7:04 | 7:20 | 7:22 | 7:25 | 7:28 | 7:31 | 7:36 | 7:39 |
| 511A | | | | | | 7:20 | 7:34 | 7:50 | 7:52 | 7:55 | 7:58 | 8:01 | 8:06 | 8:09 |
| 511A | | | | | | 7:50 | 8:04 | 8:20 | 8:22 | 8:25 | 8:28 | 8:31 | 8:36 | 8:39 |
| 511A | | | | | | 8:20 | 8:34 | 8:50 | 8:52 | 8:55 | 8:58 | 9:01 | 9:06 | 9:09 |
| 511A | | | | | | 8:50 | 9:04 | 9:20 | 9:22 | 9:25 | 9:28 | 9:31 | 9:36 | 9:39 |
| 511A | | | | | | 9:20 | 9:34 | 9:50 | 9:52 | 9:55 | 9:58 | 10:01 | 10:06 | 10:09 |
| 511A | | | | | | 9:50 | 10:04 | 10:20 | 10:22 | 10:25 | 10:28 | 10:31 | 10:36 | 10:39 |
| 511A | | | | | | 10:20 | 10:34 | 10:50 | 10:52 | 10:55 | 10:58 | 11:01 | 11:06 | 11:09 |
| 511A | | | | | | 10:50 | 11:04 | 11:20 | 11:22 | 11:25 | 11:28 | 11:31 | 11:36 | 11:39 |
| 511A | | | | | | 11:20 | 11:34 | 11:50 | 11:52 | 11:55 | 11:58 | 12:01 | 12:06 | 12:09 |
| 511A | | | | | | 11:50 | 12:04 | 12:20 | 12:22 | 12:25 | 12:28 | 12:31 | 12:36 | 12:39 |
| 511A | | | | | | 12:20 | 12:34 | 12:50 | 12:52 | 12:55 | 12:58 | 13:01 | 13:06 | 13:09 |
| 511A | | | | | | 12:50 | 13:04 | 13:20 | 13:22 | 13:25 | 13:28 | 13:31 | 13:36 | 13:39 |
| 511A | | | | | | 13:20 | 13:34 | 13:50 | 13:52 | 13:55 | 13:58 | 14:01 | 14:06 | 14:09 |
| 511A | | | | | | 13:50 | 14:04 | 14:20 | 14:22 | 14:25 | 14:28 | 14:31 | 14:36 | 14:39 |
| 511A | | | | | | 14:20 | 14:34 | 14:50 | 14:52 | 14:55 | 14:58 | 15:01 | 15:06 | 15:09 |
| 511A | | | | | | 14:50 | 15:04 | 15:20 | 15:22 | 15:25 | 15:28 | 15:31 | 15:36 | 15:39 |
| 511A | | | | | | 15:20 | 15:34 | 15:50 | 15:52 | 15:55 | 15:58 | 16:01 | 16:06 | 16:09 |
| 511A | | | | | | 15:50 | 16:04 | 16:20 | 16:22 | 16:25 | 16:28 | 16:31 | 16:36 | 16:39 |
| 511A | | | | | | 16:20 | 16:34 | 16:50 | 16:52 | 16:55 | 16:58 | 17:01 | 17:06 | 17:09 |
| 511A | | | | | | 16:50 | 17:04 | 17:20 | 17:22 | 17:25 | 17:28 | 17:31 | 17:36 | 17:39 |
| 511A | | | | | | 17:20 | 17:34 | 17:50 | 17:52 | 17:55 | 17:58 | 18:01 | 18:06 | 18:09 |
| 511A | | | | | | 17:50 | 18:04 | 18:20 | 18:22 | 18:25 | 18:28 | 18:31 | 18:36 | 18:39 |
| 511A | | | | | | 18:20 | 18:34 | 18:50 | 18:52 | 18:55 | 18:58 | 19:01 | 19:06 | 19:09 |
| 511A | | | | | | 18:50 | 19:04 | 19:20 | 19:22 | 19:25 | 19:28 | 19:31 | 19:36 | 19:39 |
| 511A | | | | | | 19:20 | 19:34 | 19:50 | 19:52 | 19:55 | 19:58 | 20:01 | 20:06 | 20:09 |
| 511A | | | | | | 19:50 | 20:04 | 20:20 | 20:22 | 20:25 | 20:28 | 20:31 | 20:36 | 20:39 |
| 511A | | | | | | 20:20 | 20:34 | 20:50 | 20:52 | 20:55 | 20:58 | 21:01 | 21:06 | 21:09 |
| 511A | | | | | | 20:50 | 21:04 | 21:20 | 21:22 | 21:25 | 21:28 | 21:31 | 21:36 | 21:39 |
| 511A | | | | | | 21:20 | 21:34 | 21:50 | 21:52 | 21:55 | 21:58 | 22:01 | 22:06 | 22:09 |
| 511A | | | | | | 21:50 | 22:04 | 22:20 | 22:22 | 22:25 | 22:28 | 22:31 | 22:36 | 22:39 |
| 511A | | | | | | 22:20 | 22:34 | 22:50 | 22:52 | 22:55 | 22:58 | 23:01 | 23:06 | 23:09 |
| 511A | | | | | | 22:50 | 23:04 | 23:20 | 23:22 | 23:25 | 23:28 | 23:31 | 23:36 | 23:39 |
| 511A | | | | | | 23:20 | 23:34 | 23:50 | 23:52 | 23:55 | 23:58 | 24:01 | 24:06 | 24:09 |

## WESTBOUND: Saturday

| Route Branch | Humber College | Steeles Ave & Finch Ave | Steeles Ave & Goreway Dr | Steeles Ave & Tolkien Rd | Steeles Ave & Bramalea Rd | Steeles Ave & Dixie Rd | Steeles Ave & Kennedy Rd | Brampton Gateway Terminal | Sheridan College | Steeles Ave & Chinguacousy Rd | Steeles Ave & Mississauga Rd | Steeles Ave & Winston Churchill Blvd | Lisgar GO Station |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| | N | M | L | K | J | I | H | G | F | E | D | C | B | A |
| 511 | | | | | | | | | 6:21 | 6:26 | 6:28 | 6:29 | 6:34 | 6:39 |
| 511 | 5:52 | 5:58 | 6:00 | 6:02 | 6:05 | 6:08 | 6:10 | 6:16 | 6:20 | 6:26 | 6:28 | 6:31 | 6:36 | 6:42 |
| 511 | 6:16 | 6:23 | 6:24 | 6:26 | 6:29 | 6:32 | 6:34 | 6:40 | 6:47 | 6:50 | 6:52 | 6:55 | 7:00 | 7:07 |
| 511A | 6:45 | 6:52 | 6:54 | 6:56 | 6:59 | 7:02 | 7:04 | 7:10 | 7:13 | | | | | |
| 511A | | | | | | | | | 7:02 | 7:05 | 7:07 | 7:10 | 7:15 | 7:21 |
| 511A | 7:05 | 7:12 | 7:14 | 7:16 | 7:19 | 7:22 | 7:24 | 7:30 | 7:33 | | | | | |
| 511A | 7:25 | 7:32 | 7:34 | 7:36 | 7:39 | 7:42 | 7:44 | 7:50 | 7:52 | | | | | |
| 511A | 7:45 | 7:52 | 7:54 | 7:56 | 7:59 | 8:02 | 8:04 | 8:10 | 8:13 | | | | | |
| 511A | 8:05 | 8:12 | 8:14 | 8:17 | 8:20 | 8:23 | 8:25 | 8:31 | 8:34 | | | | | |
| 511A | 8:25 | 8:32 | 8:34 | 8:37 | 8:40 | 8:43 | 8:45 | 8:51 | 8:54 | | | | | |
| 511A | 8:45 | 8:52 | 8:54 | 8:57 | 9:00 | 9:03 | 9:05 | 9:11 | 9:14 | | | | | |
| 511A | 9:05 | 9:12 | 9:14 | 9:17 | 9:20 | 9:23 | 9:25 | 9:31 | 9:34 | | | | | |
| 511A | 9:25 | 9:32 | 9:34 | 9:37 | 9:40 | 9:43 | 9:45 | 9:51 | 9:54 | | | | | |
| 511A | 9:45 | 9:52 | 9:54 | 9:57 | 10:00 | 10:03 | 10:05 | 10:11 | 10:14 | | | | | |
| 511A | 10:05 | 10:12 | 10:14 | 10:17 | 10:20 | 10:23 | 10:25 | 10:31 | 10:34 | | | | | |
| 511A | 10:25 | 10:32 | 10:34 | 10:37 | 10:40 | 10:43 | 10:45 | 10:51 | 10:54 | | | | | |
| 511A | 10:45 | 10:52 | 10:54 | 10:57 | 11:00 | 11:03 | 11:05 | 11:11 | 11:14 | | | | | |
| 511A | 11:05 | 11:12 | 11:14 | 11:17 | 11:20 | 11:23 | 11:25 | 11:31 | 11:34 | | | | | |
| 511A | 11:25 | 11:32 | 11:34 | 11:37 | 11:40 | 11:43 | 11:45 | 11:51 | 11:54 | | | | | |
| 511A | 11:47 | 11:54 | 11:56 | 11:59 | 12:02 | 12:05 | 12:08 | 12:14 | 12:17 | | | | | |
| 511A | 12:07 | 12:15 | 12:17 | 12:20 | 12:23 | 12:26 | 12:29 | 12:37 | 12:41 | | | | | |
| 511A | 12:29 | 12:37 | 12:39 | 12:42 | 12:45 | 12:48 | 12:51 | 12:59 | 1:03 | | | | | |
| 511A | 12:50 | 12:58 | 1:00 | 1:03 | 1:06 | 1:09 | 1:12 | 1:20 | 1:24 | | | | | |
| 511A | 1:10 | 1:18 | 1:20 | 1:23 | 1:26 | 1:29 | 1:32 | 1:40 | 1:44 | | | | | |
| 511A | 1:27 | 1:35 | 1:37 | 1:40 | 1:43 | 1:46 | 1:49 | 1:57 | 2:01 | | | | | |
| 511A | 1:46 | 1:48 | 1:50 | 1:53 | 1:56 | 1:59 | 2:02 | 2:11 | 2:15 | | | | | |
| 511A | 2:05 | 2:08 | 2:10 | 2:13 | 2:16 | 2:19 | 2:22 | 2:31 | 2:35 | | | | | |
| 511A | 2:30 | 2:38 | 2:40 | 2:43 | 2:46 | 2:49 | 2:52 | 3:01 | 3:05 | | | | | |
| 511A | 2:55 | 3:03 | 3:05 | 3:08 | 3:11 | 3:14 | 3:17 | 3:27 | 3:31 | | | | | |
| 511A | 3:20 | 3:28 | 3:30 | 3:33 | 3:36 | 3:39 | 3:42 | 3:52 | 3:56 | | | | | |
| 511A | 3:45 | 3:53 | 3:55 | 3:58 | 4:01 | 4:04 | 4:07 | 4:17 | 4:21 | | | | | |
| 511A | 4:10 | 4:18 | 4:20 | 4:23 | 4:26 | 4:29 | 4:32 | 4:42 | 4:46 | | | | | |
| 511A | 4:35 | 4:43 | 4:45 | 4:48 | 4:51 | 4:54 | 4:57 | 5:07 | 5:11 | | | | | |
| 511A | 4:55 | 5:03 | 5:05 | 5:08 | 5:11 | 5:14 | 5:17 | 5:28 | 5:32 | | | | | |
| 511A | 5:10 | 5:18 | 5:20 | 5:23 | 5:26 | 5:29 | 5:32 | 5:43 | 5:48 | | | | | |
| 511A | 5:25 | 5:33 | 5:35 | 5:38 | 5:41 | 5:44 | 5:47 | 5:58 | 6:01 | | | | | |
| 511 | | | | | | | | | 5:32 | 5:35 | 5:37 | 5:40 | 5:45 | 5:52 |
| 511A | 5:40 | 5:48 | 5:50 | 5:53 | 5:56 | 5:59 | 6:02 | 6:10 | 6:13 | | | | | |
| 511A | 5:53 | 6:01 | 6:03 | 6:06 | 6:09 | 6:12 | 6:15 | 6:23 | 6:28 | | | | | |
| 511A | 6:03 | 6:11 | 6:13 | 6:16 | 6:19 | 6:22 | 6:25 | 6:33 | 6:38 | | | | | |
| 511A | 6:28 | 6:36 | 6:38 | 6:41 | 6:44 | 6:47 | 6:50 | 6:58 | 7:02 | | | | | |
| 511A | 6:42 | 6:54 | 6:56 | 6:58 | 7:02 | 7:05 | 7:08 | 7:15 | 7:18 | | | | | |
| 511A | 7:02 | 7:14 | 7:16 | 7:18 | 7:22 | 7:25 | 7:28 | 7:35 | 7:38 | | | | | |
| 511A | 7:27 | 7:34 | 7:36 | 7:38 | 7:42 | 7:45 | 7:48 | 7:55 | 7:58 | | | | | |
| 511A | 7:45 | 7:52 | 7:54 | 7:57 | 8:00 | 8:03 | 8:06 | 8:13 | 8:15 | | | | | |
| 511A | 8:05 | 8:12 | 8:14 | 8:17 | 8:20 | 8:23 | 8:26 | 8:32 | 8:33 | | | | | |
| 511A | 8:25 | 8:32 | 8:34 | 8:37 | 8:40 | 8:43 | 8:46 | 8:52 | 8:53 | | | | | |
| 511A | 8:45 | 8:53 | 8:54 | 8:57 | 9:00 | 9:03 | 9:06 | 9:13 | 9:15 | | | | | |
| 511A | 9:05 | 9:13 | 9:14 | 9:17 | 9:19 | 9:22 | 9:25 | 9:31 | 9:34 | | | | | |
| 511A | 9:25 | 9:33 | 9:34 | 9:37 | 9:39 | 9:42 | 9:45 | 9:51 | 9:54 | | | | | |
| 511A | 9:45 | 9:53 | 9:54 | 9:57 | 9:59 | 10:02 | 10:05 | 10:11 | 10:14 | | | | | |
| 511A | 10:05 | 10:13 | 10:14 | 10:17 | 10:19 | 10:22 | 10:25 | 10:31 | 10:34 | | | | | |
| 511A | 10:25 | 10:33 | 10:34 | 10:37 | 10:39 | 10:42 | 10:45 | 10:51 | 10:54 | | | | | |
| 511A | 10:45 | 10:53 | 10:54 | 10:57 | 10:59 | 11:02 | 11:05 | 11:11 | 11:14 | | | | | |

## EASTBOUND: Sunday / Holidays

| Route Branch | Lisgar GO Station | Steeles Ave & Winston Churchill Blvd | Steeles Ave & Mississauga Rd | Steeles Ave & Chinguacousy Rd | Sheridan College | Brampton Gateway Terminal | Steeles Ave & Kennedy Rd | Steeles Ave & Dixie Rd | Steeles Ave & Bramalea Rd | Steeles Ave & Airport Rd | Steeles Ave & Goreway Dr | Steeles Ave & Finch Ave | Humber College |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| | A | B | C | D | E | F | G | H | I | J | K | L | M | N |
| 511 | | | 4:56 | 5:05 | 5:09 | 5:34 | 5:46 | 6:06 | 6:08 | 6:11 | 6:14 | 6:17 | 6:22 | 6:25 |
| 511 | 4:40 | 4:47 | 4:52 | 4:57 | 5:01 | 5:26 | 5:38 | 5:53 | 5:55 | 5:58 | 6:01 | 6:04 | 6:09 | 6:12 |
| 511 | 5:15 | 5:20 | 5:24 | 5:28 | 5:33 | 5:48 | 5:58 | 6:13 | 6:15 | 6:18 | 6:21 | 6:24 | 6:29 | 6:32 |
| 511 | 5:45 | 5:48 | 5:52 | 5:55 | 5:58 | 6:08 | 6:18 | 6:33 | 6:35 | 6:38 | 6:41 | 6:44 | 6:49 | 6:52 |
| 511 | 6:10 | 6:15 | 6:20 | 6:23 | 6:28 | 6:38 | 6:48 | 6:58 | 7:00 | 7:03 | 7:06 | 7:09 | 7:14 | 7:17 |
| 511A | | | | | | 7:10 | 7:24 | 7:39 | 7:41 | 7:44 | 7:47 | 7:50 | 7:55 | 7:58 |
| 511A | | | | | | 7:50 | 8:04 | 8:19 | 8:21 | 8:24 | 8:27 | 8:30 | 8:35 | 8:38 |
| 511A | | | | | | 8:30 | 8:44 | 8:59 | 9:01 | 9:04 | 9:07 | 9:10 | 9:15 | 9:18 |
| 511A | | | | | | 9:10 | 9:24 | 9:39 | 9:41 | 9:44 | 9:47 | 9:50 | 9:55 | 9:58 |
| 511A | | | | | | 9:50 | 10:04 | 10:19 | 10:21 | 10:24 | 10:27 | 10:30 | 10:35 | 10:38 |
| 511A | | | | | | 10:30 | 10:44 | 10:59 | 11:01 | 11:04 | 11:07 | 11:10 | 11:15 | 11:18 |
| 511A | | | | | | 11:10 | 11:24 | 11:39 | 11:41 | 11:44 | 11:47 | 11:50 | 11:55 | 11:58 |
| 511A | | | | | | 11:50 | 12:04 | 12:19 | 12:21 | 12:24 | 12:27 | 12:30 | 12:35 | 12:38 |
| 511A | | | | | | 12:30 | 12:44 | 12:59 | 1:01 | 1:04 | 1:07 | 1:10 | 1:15 | 1:18 |
| 511A | | | | | | 1:10 | 1:24 | 1:39 | 1:41 | 1:44 | 1:47 | 1:50 | 1:55 | 1:58 |
| 511A | | | | | | 1:50 | 2:04 | 2:19 | 2:21 | 2:24 | 2:27 | 2:30 | 2:35 | 2:38 |
| 511A | | | | | | 2:30 | 2:44 | 2:59 | 3:01 | 3:04 | 3:07 | 3:10 | 3:15 | 3:18 |
| 511A | | | | | | 3:10 | 3:24 | 3:39 | 3:41 | 3:44 | 3:47 | 3:50 | 3:55 | 3:58 |
| 511A | | | | | | 3:50 | 4:04 | 4:19 | 4:21 | 4:24 | 4:27 | 4:30 | 4:35 | 4:38 |
| 511A | | | | | | 4:30 | 4:44 | 4:59 | 5:01 | 5:04 | 5:07 | 5:10 | 5:15 | 5:18 |
| 511A | | | | | | 5:10 | 5:24 | 5:39 | 5:41 | 5:44 | 5:47 | 5:50 | 5:55 | 5:58 |
| 511A | | | | | | 5:50 | 6:04 | 6:19 | 6:21 | 6:24 | 6:27 | 6:30 | 6:35 | 6:38 |
| 511A | | | | | | 6:30 | 6:44 | 6:59 | 7:01 | 7:04 | 7:07 | 7:10 | 7:15 | 7:18 |
| 511A | | | | | | 7:10 | 7:24 | 7:39 | 7:41 | 7:44 | 7:47 | 7:50 | 7:55 | 7:58 |
| 511A | | | | | | 7:50 | 8:04 | 8:19 | 8:21 | 8:24 | 8:27 | 8:30 | 8:35 | 8:38 |
| 511A | | | | | | 8:30 | 8:44 | 8:59 | 9:01 | 9:04 | 9:07 | 9:10 | 9:15 | 9:18 |
| 511A | | | | | | 9:10 | 9:24 | 9:39 | 9:41 | 9:44 | 9:47 | 9:50 | 9:55 | 9:58 |
| 511A | | | | | | 9:50 | 10:04 | 10:19 | 10:21 | 10:24 | 10:27 | 10:30 | 10:35 | 10:38 |
| 511A | | | | | | 10:30 | 10:44 | 10:59 | 11:01 | 11:04 | 11:07 | 11:10 | 11:15 | 11:18 |
| 511A | | | | | | 11:10 | 11:24 | 11:39 | 11:41 | 11:44 | 11:47 | 11:50 | 11:55 | 11:58 |
| 511A | | | | | | 11:50 | 12:04 | 12:19 | 12:21 | 12:24 | 12:27 | 12:30 | 12:35 | 12:38 |
| 511A | | | | | | 12:30 | 12:44 | 12:59 | 1:01 | 1:04 | 1:07 | 1:10 | 1:15 | 1:18 |
| 511A | | | | | | 1:10 | 1:24 | 1:39 | 1:41 | 1:44 | 1:47 | 1:50 | 1:55 | 1:58 |
| 511A | | | | | | 1:50 | 2:04 | 2:19 | 2:21 | 2:24 | 2:27 | 2:30 | 2:35 | 2:38 |
| 511A | | | | | | 2:30 | 2:44 | 2:59 | 3:01 | 3:04 | 3:07 | 3:10 | 3:15 | 3:18 |
| 511A | | | | | | 3:10 | 3:24 | 3:39 | 3:41 | 3:44 | 3:47 | 3:50 | 3:55 | 3:58 |
| 511A | | | | | | 3:50 | 4:04 | 4:19 | 4:21 | 4:24 | 4:27 | 4:30 | 4:35 | 4:38 |
| 511A | | | | | | 4:30 | 4:44 | 4:59 | 5:01 | 5:04 | 5:07 | 5:10 | 5:15 | 5:18 |
| 511A | | | | | | 5:10 | 5:24 | 5:39 | 5:41 | 5:44 | 5:47 | 5:50 | 5:55 | 5:58 |
| 511A | | | | | | 5:50 | 6:04 | 6:19 | 6:21 | 6:24 | 6:27 | 6:30 | 6:35 | 6:38 |
| 511 | 5:35 | 5:40 | 5:45 | 5:50 | 5:54 | 6:01 | 6:06 | 6:12 | 6:15 | 6:18 | 6:21 | 6:23 | 6:25 | 6:34 |
| 511 | | | | 5:53 | 5:58 | 6:02 | 6:08 | 6:14 | 6:20 | 6:23 | 6:26 | 6:29 | 6:31 | 6:40 |
| 511A | | | | | | 6:10 | 6:15 | 6:21 | 6:24 | 6:27 | 6:29 | 6:32 | 6:34 | 6:43 |
| 511 | 5:45 | 5:50 | 5:55 | 5:55 | 6:00 | 6:04 | 6:11 | 6:16 | 6:22 | 6:25 | 6:28 | 6:31 | 6:33 | 6:44 |
| 511A | | | | | | 6:20 | 6:25 | 6:31 | 6:34 | 6:37 | 6:39 | 6:42 | 6:44 | 6:53 |
| 511 | | | | 6:23 | 6:27 | 6:31 | 6:38 | 6:43 | 6:50 | 6:53 | 6:56 | 7:00 | 7:02 | 7:11 |
| 511 | 6:38 | 6:43 | 6:48 | 6:29 | 6:34 | 6:38 | 6:45 | 6:50 | 6:56 | 6:59 | 7:02 | 7:05 | 7:07 | 7:16 |
| 511A | | | | | | 6:50 | 6:55 | 7:01 | 7:04 | 7:07 | 7:09 | 7:12 | 7:14 | 7:23 |
| 511A | | | | | | 7:20 | 7:34 | 7:39 | 7:43 | 7:46 | 7:49 | 7:51 | 7:53 | 8:02 |
| 511A | | | | | | 7:50 | 8:04 | 8:09 | 8:13 | 8:16 | 8:19 | 8:21 | 8:23 | 8:32 |
| 511A | | | | | | 8:20 | 8:34 | 8:39 | 8:43 | 8:46 | 8:49 | 8:51 | 8:53 | 9:02 |
| 511A | | | | | | 8:50 | 9:04 | 9:09 | 9:13 | 9:16 | 9:19 | 9:21 | 9:23 | 9:32 |
| 511A | | | | | | 9:20 | 9:34 | 9:39 | 9:43 | 9:46 | 9:49 | 9:51 | 9:53 | 10:02 |

## WESTBOUND: Sunday / Holidays

| Route Branch | Humber College | Steeles Ave & Finch Ave | Steeles Ave & Goreway Dr | Steeles Ave & Airport Rd | Steeles Ave & Bramalea Rd | Steeles Ave & Dixie Rd | Steeles Ave & Kennedy Rd | Brampton Gateway Terminal | Sheridan College | Steeles Ave & Chinguacousy Rd | Steeles Ave & Mississauga Rd | Steeles Ave & Winston Churchill Blvd | Lisgar GO Station |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| | N | M | L | K | J | I | H | G | F | E | D | C | B | A |
| 511 | 5:54 | 5:59 | 6:01 | 6:03 | 6:06 | 6:09 | 6:11 | 6:16 | 6:20 | 6:26 | 6:28 | 6:31 | 6:36 | 6:41 |
| 511 | 6:12 | 6:18 | 6:21 | 6:24 | 6:27 | 6:30 | 6:32 | 6:38 | 6:42 | 6:48 | 6:50 | 6:53 | 6:58 | 7:03 |
| 511 | 6:36 | 6:43 | 6:45 | 6:48 | 6:51 | 6:54 | 6:56 | 7:02 | 7:06 | 7:12 | 7:14 | 7:17 | 7:22 | 7:27 |
| 511A | 7:00 | 7:07 | 7:09 | 7:12 | 7:15 | 7:18 | 7:20 | 7:26 | 7:30 | | | | | |
| 511A | 7:20 | 7:27 | 7:29 | 7:32 | 7:35 | 7:38 | 7:40 | 7:46 | 7:50 | | | | | |
| 511A | 7:40 | 7:47 | 7:49 | 7:52 | 7:55 | 7:58 | 8:00 | 8:06 | 8:10 | | | | | |
| 511A | 8:00 | 8:07 | 8:09 | 8:12 | 8:15 | 8:18 | 8:20 | 8:26 | 8:30 | | | | | |
| 511A | 8:20 | 8:27 | 8:29 | 8:32 | 8:35 | 8:38 | 8:40 | 8:46 | 8:50 | | | | | |
| 511A | 8:40 | 8:47 | 8:49 | 8:52 | 8:55 | 8:58 | 9:00 | 9:06 | 9:10 | | | | | |
| 511A | 9:00 | 9:07 | 9:09 | 9:12 | 9:15 | 9:18 | 9:20 | 9:26 | 9:30 | | | | | |
| 511A | 9:20 | 9:27 | 9:29 | 9:32 | 9:35 | 9:38 | 9:40 | 9:46 | 9:50 | | | | | |
| 511A | 9:40 | 9:47 | 9:49 | 9:52 | 9:55 | 9:58 | 10:00 | 10:06 | 10:10 | | | | | |
| 511A | 10:00 | 10:07 | 10:09 | 10:12 | 10:15 | 10:18 | 10:20 | 10:26 | 10:30 | | | | | |
| 511A | 10:20 | 10:27 | 10:29 | 10:32 | 10:35 | 10:38 | 10:40 | 10:46 | 10:50 | | | | | |
| 511A | 10:40 | 10:47 | 10:49 | 10:52 | 10:55 | 10:58 | 11:00 | 11:06 | 11:10 | | | | | |
| 511A | 11:00 | 11:07 | 11:09 | 11:12 | 11:15 | 11:18 | 11:20 | 11:26 | 11:30 | | | | | |
| 511A | 11:20 | 11:27 | 11:29 | 11:32 | 11:35 | 11:38 | 11:40 | 11:46 | 11:50 | | | | | |
| 511A | 11:40 | 11:47 | 11:49 | 11:52 | 11:55 | 11:58 | 12:00 | 12:06 | 12:10 | | | | | |
| 511A | 12:00 | 12:07 | 12:09 | 12:12 | 12:15 | 12:18 | 12:20 | 12:26 | 12:30 | | | | | |
| 511A | 12:20 | 12:27 | 12:29 | 12:32 | 12:35 | 12:38 | 12:40 | 12:46 | 12:50 | | | | | |
| 511A | 12:40 | 12:47 | 12:49 | 12:52 | 12:55 | 12:58 | 1:00 | 1:06 | 1:10 | | | | | |
| 511A | 1:00 | 1:07 | 1:09 | 1:12 | 1:15 | 1:18 | 1:20 | 1:26 | 1:30 | | | | | |
| 511A | 1:20 | 1:27 | 1:29 | 1:32 | 1:35 | 1:38 | 1:40 | 1:46 | 1:50 | | | | | |
| 511A | 1:40 | 1:47 | 1:49 | 1:52 | 1:55 | 1:58 | 2:00 | 2:06 | 2:10 | | | | | |
| 511A | 2:00 | 2:07 | 2:09 | 2:12 | 2:15 | 2:18 | 2:20 | 2:26 | 2:30 | | | | | |
| 511A | 2:20 | 2:27 | 2:29 | 2:32 | 2:35 | 2:38 | 2:40 | 2:46 | 2:50 | | | | | |
| 511A | 2:40 | 2:47 | 2:49 | 2:52 | 2:55 | 2:58 | 3:00 | 3:06 | 3:10 | | | | | |
| 511A | 3:00 | 3:07 | 3:09 | 3:12 | 3:15 | 3:18 | 3:20 | 3:26 | 3:30 | | | | | |
| 511A | 3:20 | 3:27 | 3:29 | 3:32 | 3:35 | 3:38 | 3:40 | 3:46 | 3:50 | | | | | |
| 511A | 3:40 | 3:47 | 3:49 | 3:52 | 3:55 | 3:58 | 4:00 | 4:06 | 4:10 | | | | | |
| 511A | 4:00 | 4:07 | 4:09 | 4:12 | 4:15 | 4:18 | 4:20 | 4:26 | 4:30 | | | | | |
| 511A | 4:20 | 4:27 | 4:29 | 4:32 | 4:35 | 4:38 | 4:40 | 4:46 | 4:50 | | | | | |
| 511A | 4:40 | 4:47 | 4:49 | 4:52 | 4:55 | 4:58 | 5:00 | 5:06 | 5:10 | | | | | |
| 511A | 5:00 | 5:07 | 5:09 | 5:12 | 5:15 | 5:18 | 5:20 | 5:26 | 5:30 | | | | | |
| 511A | 5:20 | 5:27 | 5:29 | 5:32 | 5:35 | 5:38 | 5:40 | 5:46 | 5:50 | | | | | |
| 511A | 5:40 | 5:47 | 5:49 | 5:52 | 5:55 | 5:58 | 6:00 | 6:06 | 6:10 | | | | | |
| 511 | | | | | | | | | 6:18 | 6:23 | 6:25 | 6:28 | 6:33 | 6:37 |
| 511A | 6:07 | 6:15 | 6:18 | 6:21 | 6:24 | 6:27 | 6:30 | 6:36 | 6:40 | | | | | |
| 511A | 6:27 | 6:35 | 6:38 | 6:41 | 6:44 | 6:47 | 6:50 | 6:56 | 7:00 | | | | | |
| 511A | 6:45 | 6:53 | 6:56 | 6:59 | 7:02 | 7:05 | 7:08 | 7:14 | 7:18 | | | | | |
| 511A | 7:05 | 7:13 | 7:15 | 7:18 | 7:21 | 7

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0361

***The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.***

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** Soneil Mississauga Inc.
   **Address** 46 West Drive, Brampton, Ontario L6T 3T6
   **Phone #** (905) 565-0360 X401 **Fax #** N/A
   **Email** neil.jain@soneil.com

2. **Name of Agent** Gagnon Walker Domes Ltd.
   **Address** 7685 Hurontario Street, Suite 501, Brampton, Ontario L6W 0B4
   **Phone #** (905) 796-5760 X257 **Fax #** (905) 796-5792
   **Email** mdenardis@gwdplanners.com

3. **Nature and extent of relief applied for (variances requested):**
   To permit a Private School in conjunction with a Commercial, Technical and Recreational School within Unit 10 - 'Plaza 1'

4. **Why is it not possible to comply with the provisions of the by-law?**
   Section 3098.1 does not permit a Private School

5. **Legal Description of the subject land:**
   **Lot Number** Part Lot 1, Chinguacousy
   **Plan Number/Concession Number** Con. 2 E.H.S., Part Lot 1 RP 43R-408, Part 18, 25 RP 43R-1012, Part 1, 2 RP 43R-1386 Part 5
   **Municipal Address** 350 Rutherford Road South, Unit 10 - 'Plaza 1'

6. **Dimension of subject land (in metric units)**
   **Frontage** 96.23
   **Depth** 158.28
   **Area** 2.06

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Two (2) Commercial Buildings
PLAZA #1 - 2,624 M2
PLAZA #2 - 2,984 M2.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

No new structures. Recognize a small Private School featuring both in-person and on-line instruction from within Unit 10 - 'Plaza 1' in conjunction with a Commercial, Technical and Recreational School.

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 46.13 |
| **Rear yard setback** | 9.28 |
| **Side yard setback** | 16.62 |
| **Side yard setback** | 33.85 |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | No changes, same as above. |
| **Rear yard setback** | No changes, same as above. |
| **Side yard setback** | No changes, same as above. |
| **Side yard setback** | No changes, same as above. |

10. **Date of Acquisition of subject land:** ~~N/A~~ MAY 02, 2017.

11. **Existing uses of subject property:** Commercial

12. **Proposed uses of subject property:** Private School in conjunction with the permitted Commercial, Technical or Recreation School

13. **Existing uses of abutting properties:** Commercial and Office

14. **Date of construction of all buildings & structures on subject land:** 1990s

15. **Length of time the existing uses of the subject property have been continued:** ~~N/A~~ 30 YEARS.

16. (a) **What water supply is existing/proposed?**
**Municipal** ☑ **Other (specify)** _____
**Well** ☐

(b) **What sewage disposal is/will be provided?**
**Municipal** ☑ **Other (specify)** _____
**Septic** ☐

(c ) **What storm drainage system is existing/proposed?**
**Sewers** ☑
**Ditches** ☐ **Other (specify)** _____
**Swales** ☐

**17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

**18. Has a pre-consultation application been filed?**

**Yes** ☑ **No** ☐

**19. Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☑ **No** ☐ **Unknown** ☐

**If answer is yes, provide details:**

| | | |
|---|---|---|
| **File #** A142/00 | **Decision** May 09, 2000 | **Relief** Front yard setback of 12.0 metre, etc. |
| **File #** A031/03 | **Decision** February 18, 2003 | **Relief** Training facility/commercial school |
| **File #** A13-065 | **Decision** February 12, 2013 | **Relief** Commercial, technical and recreational school |

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 08 DAY OF November, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Marc De Nardis, OF THE City OF Vaughan

IN THE Region OF York SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 08 DAY OF

November, 2022.

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J.M.

Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** _____

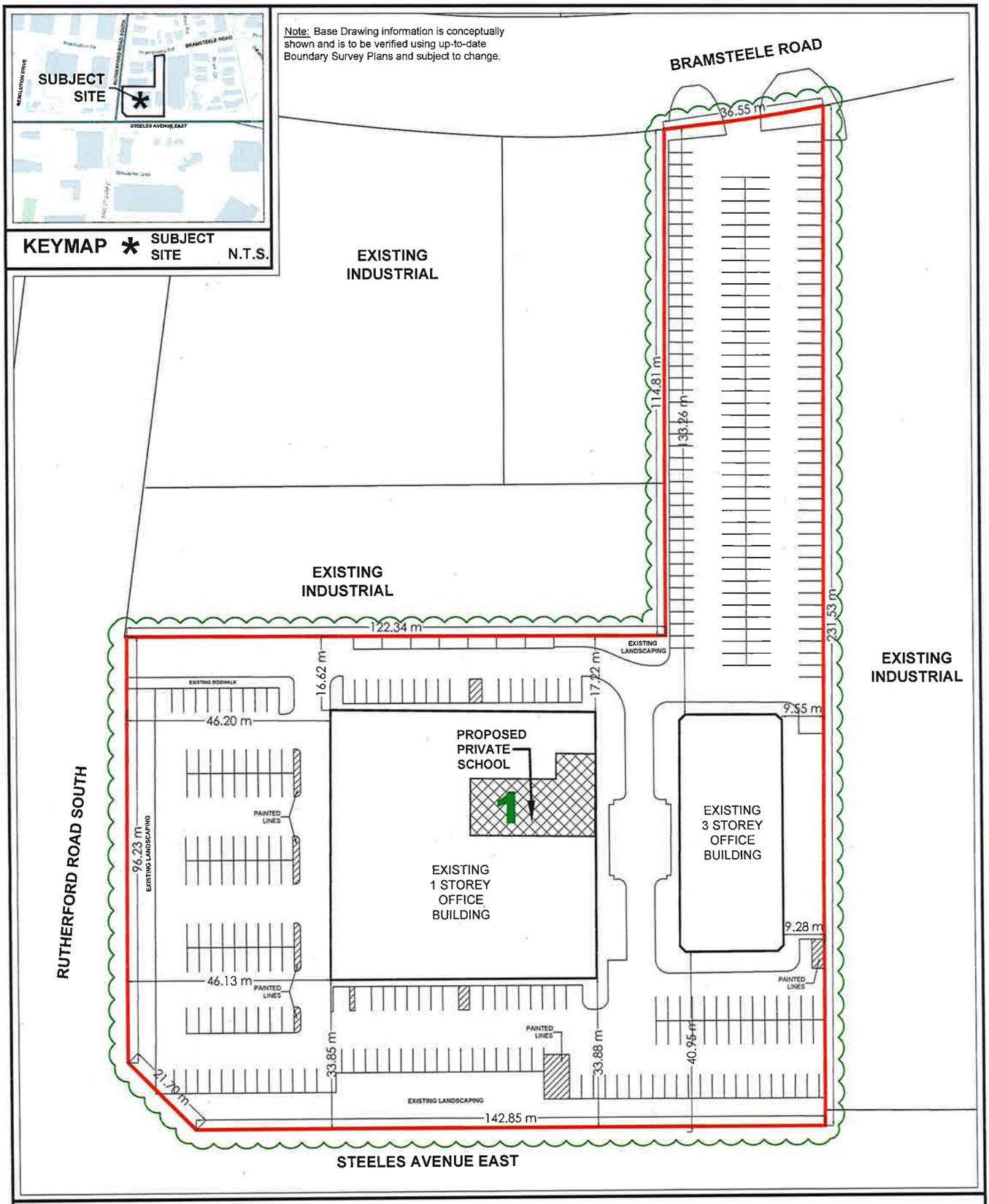
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer _____ Date _____

**DATE RECEIVED** NOVEMBER 8, 2022

**Date Application Deemed Complete by the Municipality** _____

Revised 2022/02/17




## MINOR VARIANCE

1. To permit a Private School in Unit 10 - Plaza 1 whereas the By-law does not permit a Private School.

### LEGEND

- PROPERTY BOUNDARY
- 1 MINOR VARIANCE
- PROPOSED PRIVATE SCHOOL

**SITE STATISTICS**

SITE AREA: 0.749 ha (1.851 ac)
BUILDING A - G.C.F.A.: 2,624m² (28,242ft²)
BUILDING B - G.C.F.A.: 2,984m² (32,126ft²)
TOTAL G.C.F.A.: 5,608m² (60,364ft²)

PROPOSED
PRIVATE SCHOOL - G.C.F.A.: 346m² (3,724ft²)

PARKING PROVIDED: 385 SPACES

# MINOR VARIANCE PLAN

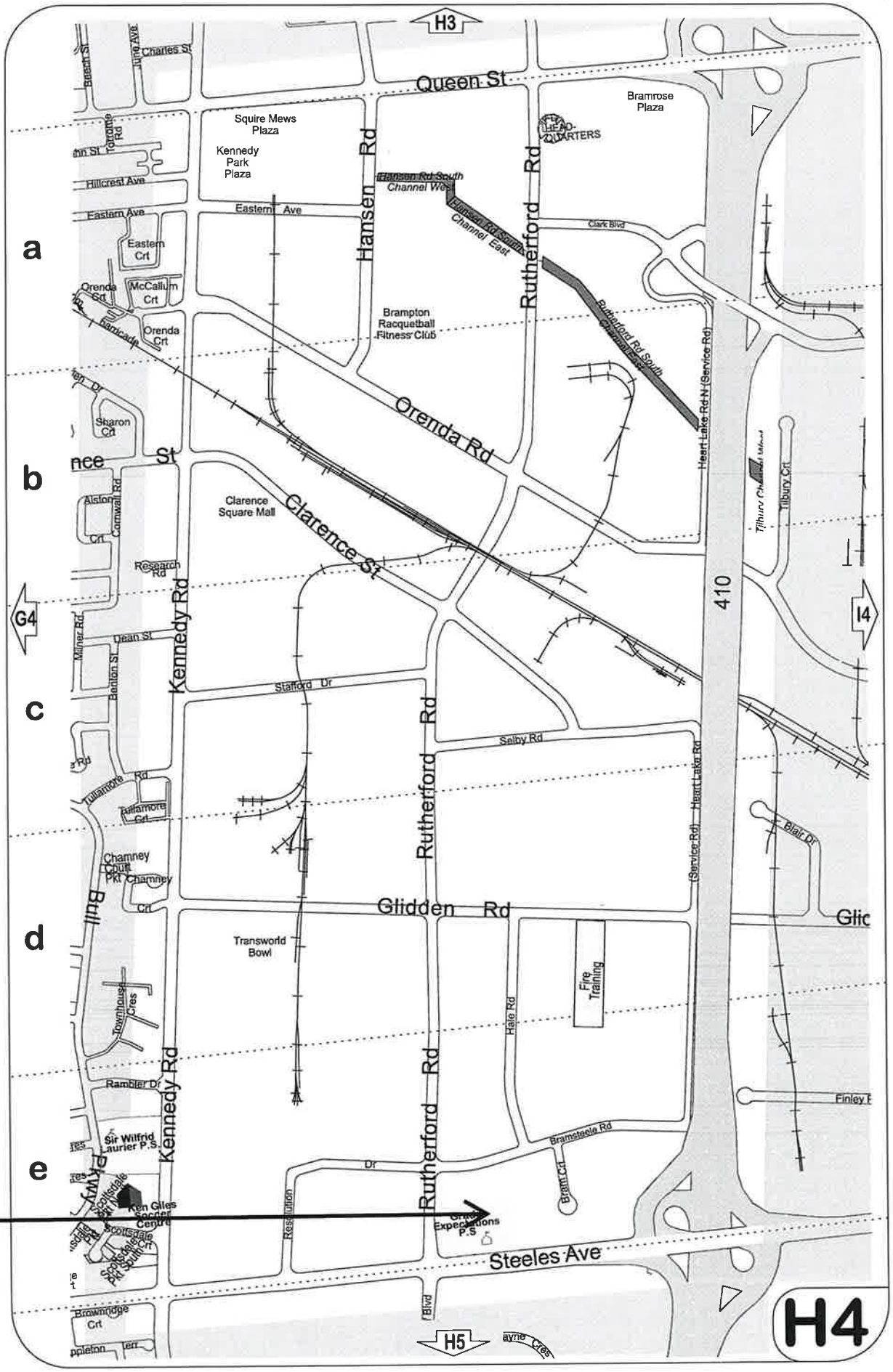
**CANSTEM EDUCATION PRIVATE SCHOOL INC.**
**350 RUTHERFORD ROAD SOUTH**
**CITY of BRAMPTON**

| | |
|---|---|
| P.N.: 20.2716.00 | Date: October 20, 2022 |
| Scale: N.T.S | Revised: |
| Drawn By: D.S. | File No.: PN 2716_SP_(10_20_2022) |


BRAMPTON
21 Queen Street East
Suite 500
Brampton, ON
L6W 3P1
P (905) 796 - 5790

GWD
Toll Free
1 (855) 771-7266
www.gwdplanners.com

MARKHAM
3801 Highway 7 East
Suite 310
Markham, ON
L3R 0M3
P (905) 477 - 6556


H3
Queen St
Charles St
Squire Mews Plaza
Kennedy Park Plaza
Bramrose Plaza
HEAD-QUARTERS
Hansen Rd
Hansen Rd South Channel West
Hansen Rd South Channel East
Rutherford Rd
Clark Blvd
Hillcrest Ave
Eastern Ave
Eastern Crt
Orenda Crt
McCallum Crt
Brampton Racquetball Fitness Club
Rutherford Rd South Channel East
Heart Lake Rd N (Service Rd)
Orenda Rd
Sharon Crt
Clarence Square Mall
Clarence St
Alston Crt
Cornwall Rd
Research Rd
Kennedy Rd
Dean St
Milner Rd
Benton St
Stafford Dr
Selby Rd
Tilbury Crt
410
G4
I4
Tullamore Rd
Tullamore Crt
Chamney Court Pkt
Chamney Crt
Bull
Glidden Rd
Transworld Bowl
Fire Training
Hale Rd
Townhouse Cres
Rambler Dr
Sir Wilfrid Laurier P.S.
Bramsteele Rd
Bram Crt
Resolution Dr
Ken Giles Soccer Centre
Scottsdale Pkt
Scottsdale Crt
Scottsdale Pkt South
Grade Expectations P.S
Steeles Ave
Brownridge Crt
H5
H4
a
b
c
d
e

A-2022-0361

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0362***
**WARD 6**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **THAKUR VIRSINGH AND HARPREET KAUR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of lot 1, Concession 2 EHS municipally known as **31 BROWLEY DRIVE,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance between the main wall of a dwelling and the flankage lot line whereas the by-law prohibits below grade entrances between the main wall of a dwelling and a flankage lot line;

2. To permit an exterior side yard setback of 1.2m (3.94 ft.) to a proposed below grade entrance whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

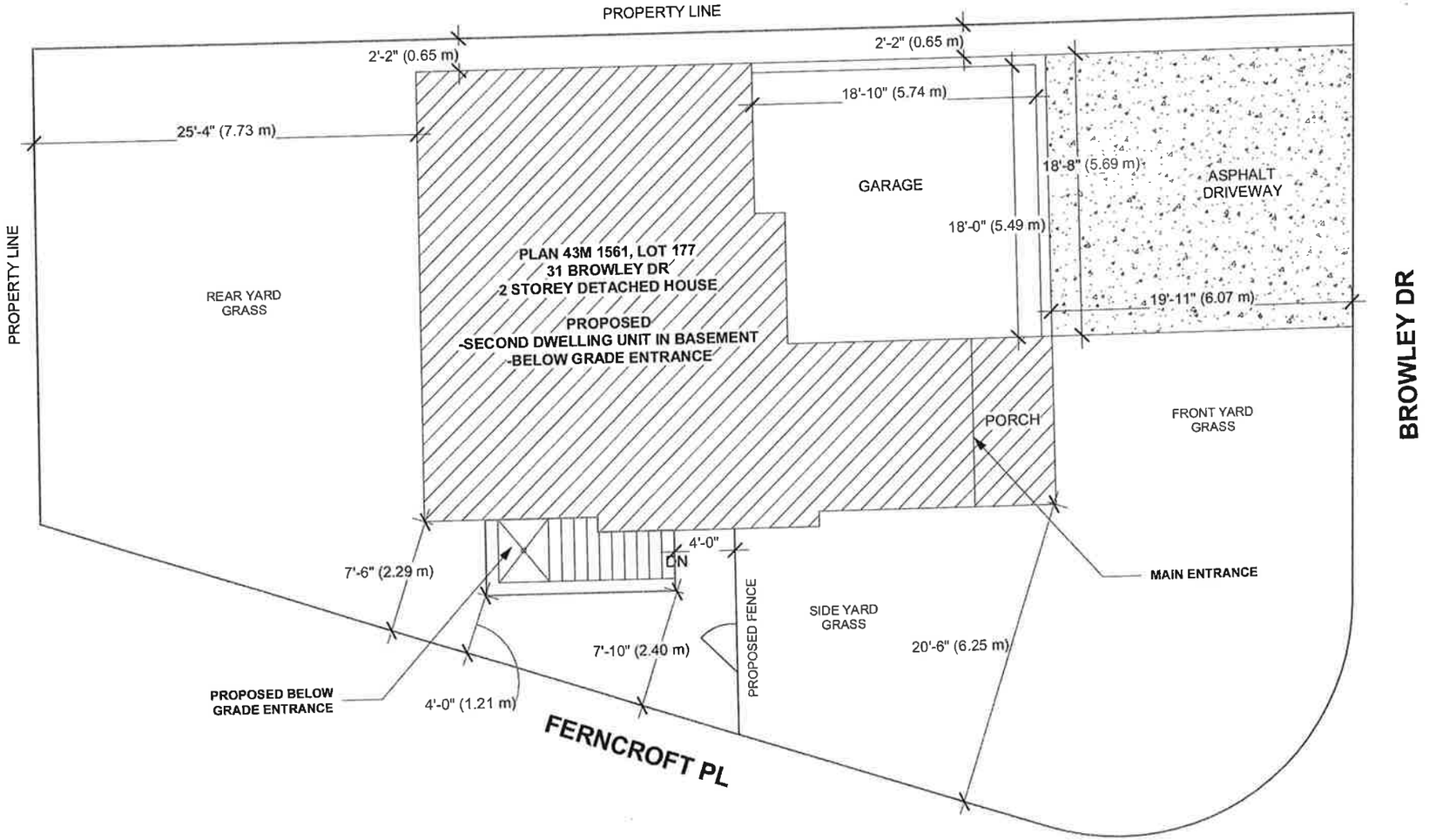
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

**MINOR VARIANCE**

**-TO PERMIT A PROPOSED BELOW GRADE ENTRANCE BETWEEN THE MAIN WALL OF A DWELLING AND THE FLANKAGE LOT LINE, WHEREAS THE BY-LAW DOES NOT PERMIT BELOW GRADE ENTRANCES BETWEEN THE MAIN WALL OF THE DWELLING AND THE FLANKAGE LOT LINE;**

**-TO PERMIT AN EXTERIOR SIDE YARD SETBACK OF 1.2M TO A PROPOSED BELOW GRADE ENTRANCE, WHEREAS THE BY-LAW REQUIRES A MINIMUM EXTERIOR SIDE YARD SETBACK OF 3.0M**




**LOT AREA: 359.25 SQM**
**LOT FRONTAGE: 13.45 M**
**LOT DEPTH: 26.63 M**

SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

| | | |
|---|---|---|
| 01 | ISSUED FOR PERMIT | OVT 21/22 |

ADDRESS:
31 BROWLEY DR,
BRAMPTON, ON.

DRAWN BY: NK | CHECKED BY: TR

PROJECT NUMBER: 22R-26734


**NOBLE PRIME SOLUTIONS LTD**
2131WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800


DATE: OVT 21/22 | DWG No: A-1

SCALE: 1 : 90

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0362

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** THAKURVIR SINGH KARIR AND HARPREET KAUR
   **Address** 31 BROWLEY DR. BRAMPTON ON L7A 2Z6
   **Phone #** 647-569-0906 **Fax #**
   **Email** thakur.vir@hotmail.com

2. **Name of Agent**
   **Address**
   **Phone #** **Fax #**
   **Email**

3. **Nature and extent of relief applied for (variances requested):**

-TO PERMIT A PROPOSED BELOW GRADE ENTRANCE BETWEEN THE MAIN WALL OF A DWELLING AND THE FLANKAGE LOT LINE, WHEREAS THE BY-LAW DOES NOT PERMIT BELOW GRADE ENTRANCES BETWEEN THE MAIN WALL OF THE DWELLING AND THE FLANKAGE LOT LINE

-TO PERMIT AN EXTERIOR SIDE YARD SETBACK OF 1.2M TO A PROPOSED BELOW GRADE ENTRANCE, WHEREAS THE BY-LAW REQUIRES A MINIMUM EXTERIOR SIDE YARD SETBACK OF 3.0M

4. **Why is it not possible to comply with the provisions of the by-law?**

-THE BY-LAW DOES NOT PERMIT BELOW GRADE ENTRANCES BETWEEN THE MAIN WALL OF THE DWELLING AND THE FLANKAGE LOT LINE WHEREAS BELOW GRADE ENTRANCE BETWEEN THE MAIN WALL OF A DWELLING AND THE FLANKAGE LOT LINE IS PROPOSED

5. **Legal Description of the subject land:**
   **Lot Number** LOT 177
   **Plan Number/Concession Number** PLAN M1561
   **Municipal Address** 31 BROWLEY DR. BRAMPTON ON L7A2Z6

6. **Dimension of subject land (in metric units)**
   **Frontage** 13.45 M
   **Depth** 26.63 M
   **Area** 359.25 SQM

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE (Approx 180 SQM)

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

BELOW GRADE ENTRANCE

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 6.07 M |
| **Rear yard setback** | 7.73 M |
| **Side yard setback** | 0.65 M |
| **Side yard setback** | 2.29 M |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 6.07 M |
| **Rear yard setback** | 7.73 M |
| **Side yard setback** | 0.65 M |
| **Side yard setback** | 1.21 M |

10. **Date of Acquisition of subject land:** JANUARY 5, 2018

11. **Existing uses of subject property:** RESIDENTIAL

12. **Proposed uses of subject property:** RESIDENTIAL

13. **Existing uses of abutting properties:** RESIDENTIAL

14. **Date of construction of all buildings & structures on subject land:** 2003

15. **Length of time the existing uses of the subject property have been continued:** 19 YEARS

16. (a) **What water supply is existing/proposed?**

- **Municipal** ☑
- **Well** ☐

**Other (specify)** _____

(b) **What sewage disposal is/will be provided?**

- **Municipal** ☑
- **Septic** ☐

**Other (specify)** _____

(c ) **What storm drainage system is existing/proposed?**

- **Sewers** ☑
- **Ditches** ☐
- **Swales** ☐

**Other (specify)** _____

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☐ **Unknown** ☑

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

_____
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS ~~26~~ 8th DAY OF ~~OCTOBER~~ November, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Thakurvir Kairn, OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 8th DAY OF

Nov., 2022

Jeanie Myers

A Commissioner etc.

J. M.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

_____
Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** R1D-1129

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

_____
Zoning Officer

Oct 28, 2022
Date

**DATE RECEIVED** November 8, 2022

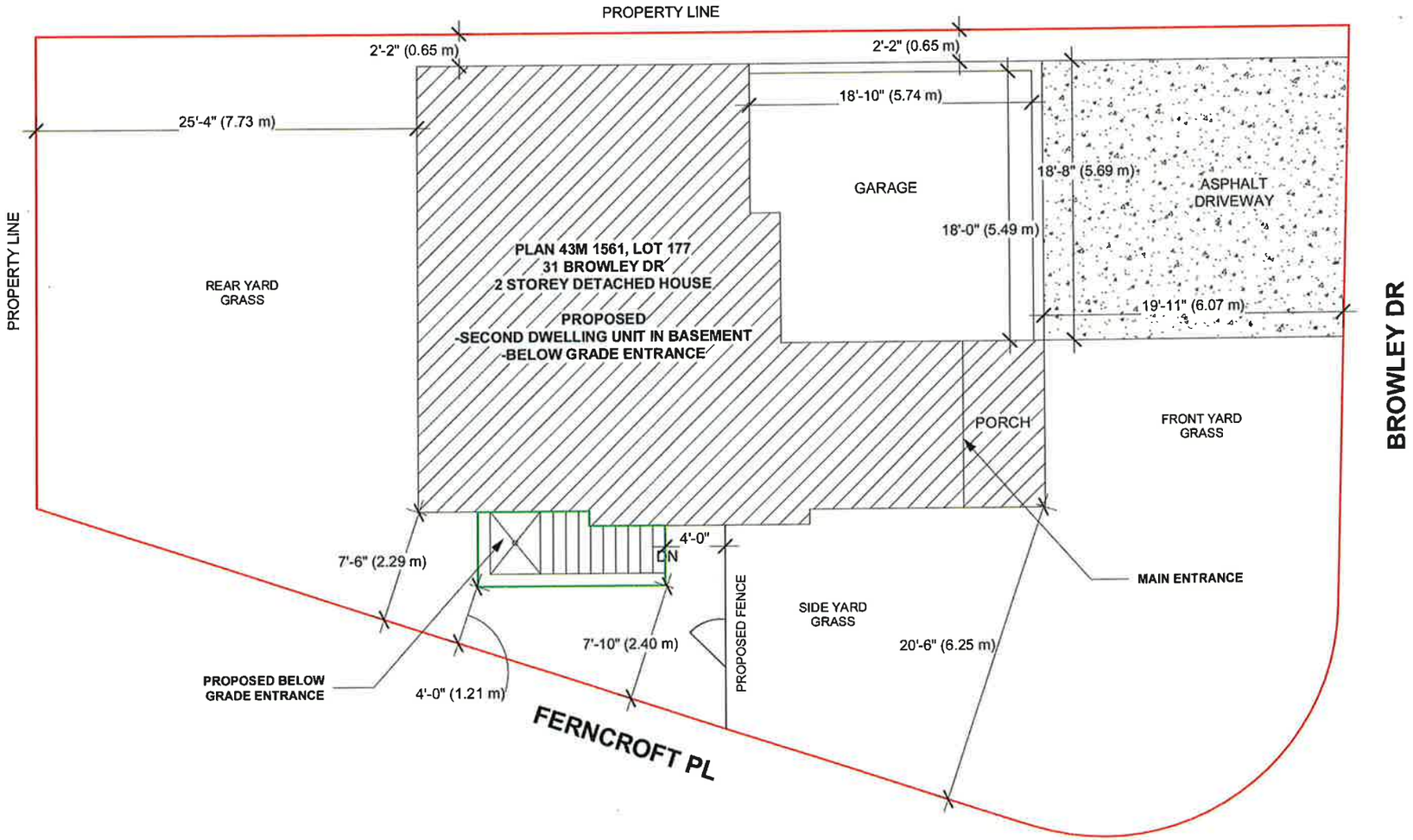
**Date Application Deemed Complete by the Municipality** _____

Revised 2022/02/17

**MINOR VARIANCE**

**-TO PERMIT A PROPOSED BELOW GRADE ENTRANCE BETWEEN THE MAIN WALL OF A DWELLING AND THE FLANKAGE LOT LINE, WHEREAS THE BY-LAW DOES NOT PERMIT BELOW GRADE ENTRANCES BETWEEN THE MAIN WALL OF THE DWELLING AND THE FLANKAGE LOT LINE;**

**-TO PERMIT AN EXTERIOR SIDE YARD SETBACK OF 1.2M TO A PROPOSED BELOW GRADE ENTRANCE, WHEREAS THE BY-LAW REQUIRES A MINIMUM EXTERIOR SIDE YARD SETBACK OF 3.0M**




**LOT AREA: 359.25 SQM**
**LOT FRONTAGE: 13.45 M**
**LOT DEPTH: 26.63 M**

# SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

| | | |
|---|---|---|
| 01 | ISSUED FOR PERMIT | OVT 21/22 |

ADDRESS:
31 BROWLEY DR,
BRAMPTON, ON.

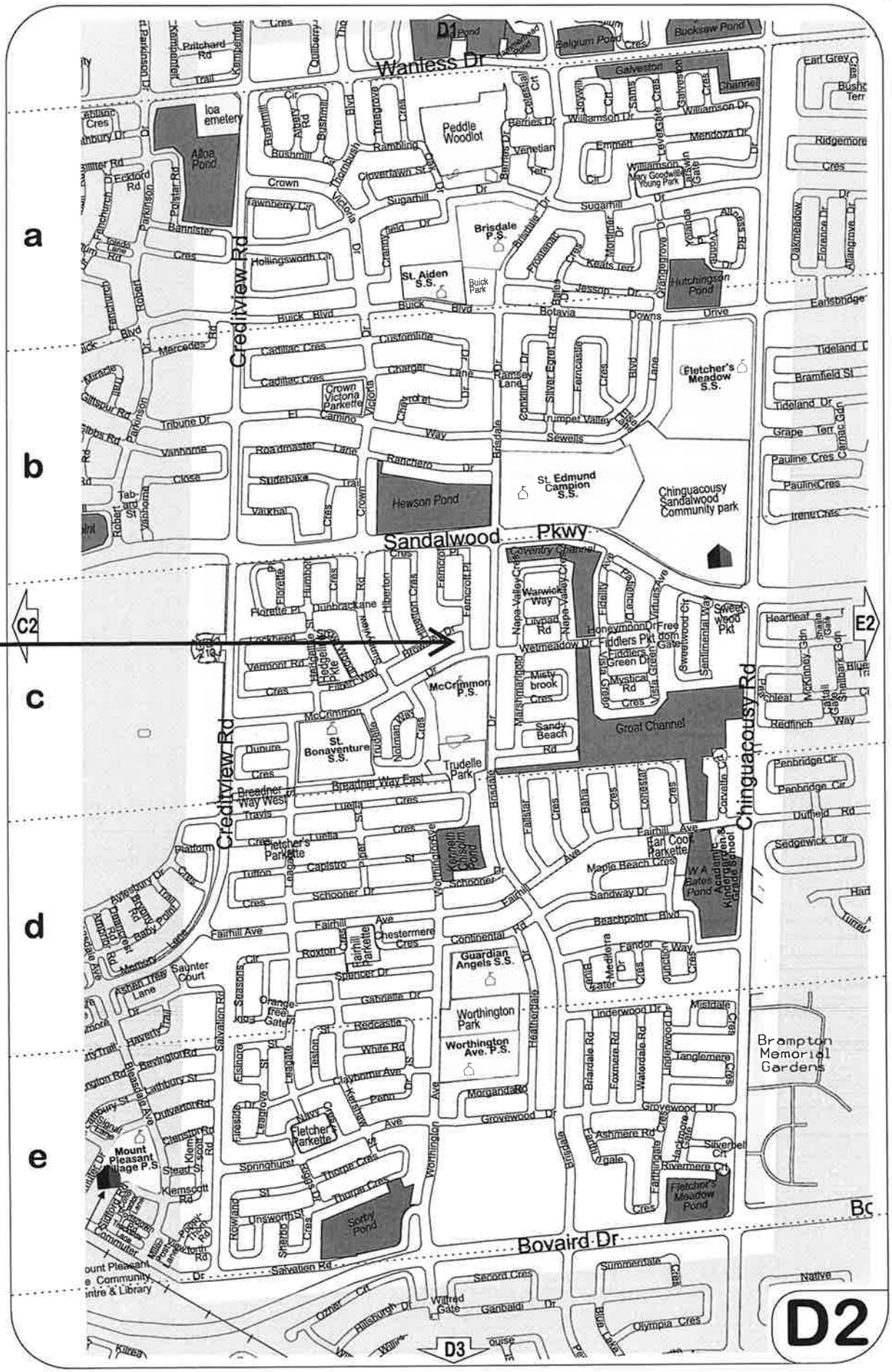
DRAWN BY: NK | CHECKED BY: TR

PROJECT NUMBER: 22R-26734


**NOBLE PRIME SOLUTIONS LTD**
2131WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800


DATE: OVT 21/22 | DWG No: A-1

SCALE: 1 : 90


D1
Wanless Dr
Credit view Rd
Sandalwood Pkwy
Chinguacousy Rd
Bovaird Dr
D3
C2
E2
a
b
c
d
e
Ioa emetery
Alloa Pond
Peddle Woodlot
Brisdale P.S.
St. Aiden S.S.
Hutchingson Pond
Fletcher's Meadow S.S.
Crown Victoria Parkette
Hewson Pond
St. Edmund Campion S.S.
Chinguacousy Sandalwood Community park
McCrimmon P.S.
St. Bonaventure S.S.
Trudelle Park
Great Channel
Fletcher's Parkette
Guardian Angels S.S.
Worthington Park
Worthington Ave. P.S.
Brampton Memorial Gardens
Mount Pleasant Village P.S
Sorby Pond
Fletcher's Meadow Pond
Mount Pleasant Community Centre & Library
D2

A-2022-0362

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0363***
**WARD 6**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **SANJANA PATIL AND SACHIN PATIL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 133, Plan 43M-1532 municipally known as **10 HOWLAND CRESCENT,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a rear yard setback of 3.14m (10.30 ft.) to a building addition whereas the by-law requires a minimum rear yard setback of 6.0m (19.68 ft.) provided the area of the rear yard is at least 25% of the minimum required lot area;

2. To permit a rear yard setback of 1.54m (8.05 ft.) to an as-built deck whereas the by-law requires a minimum rear yard setback of 3.0m (9.84 ft.);

3. To permit a maximum height of 2.0m (6.56 ft.) for a fence/privacy screen on the deck whereas the by-law permits a maximum height of 1.8m (5.91 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  File Number: _____
Application for Consent: NO  File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

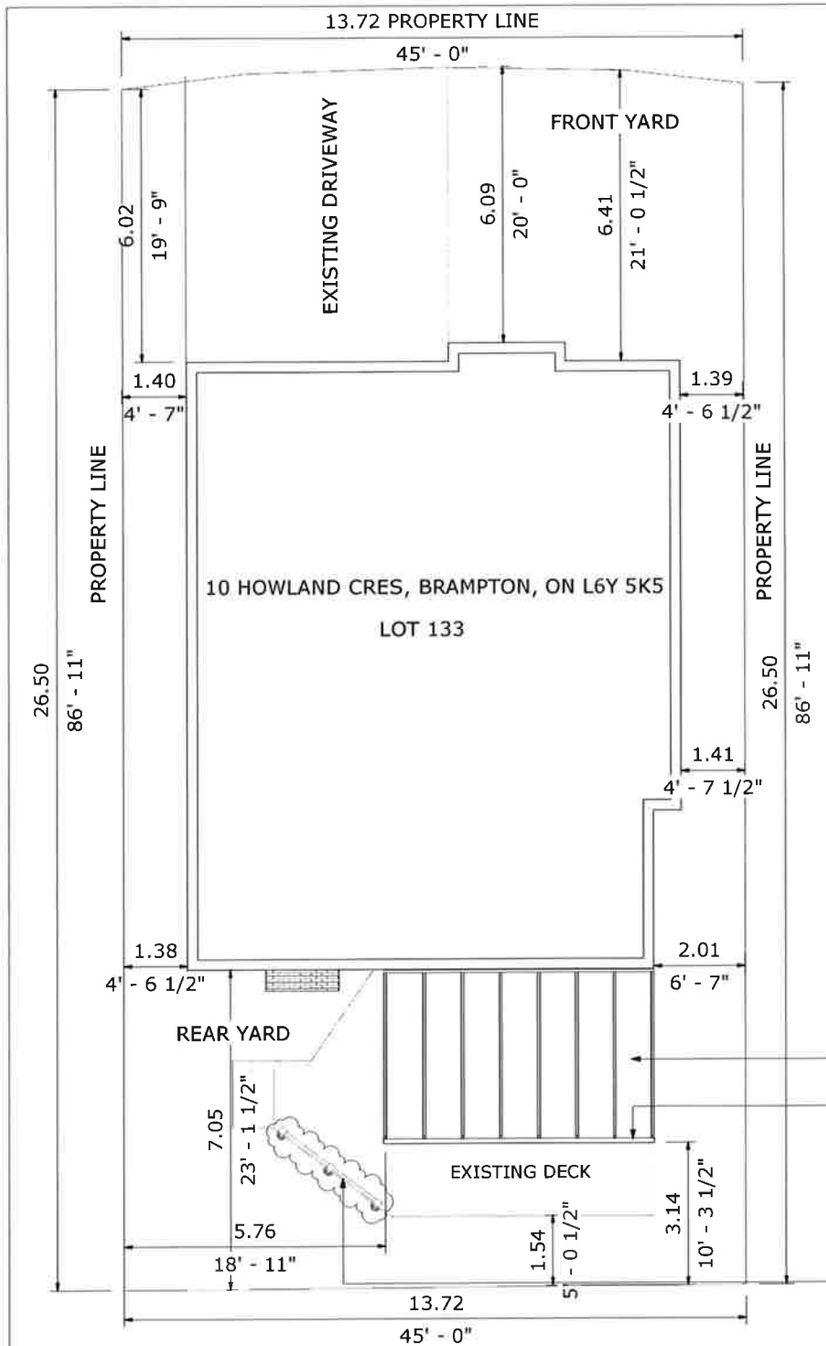
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




SITE STATS:

| DESCRIPTION | EXISTING | PROPOSED |
|---|---|---|
| BUILDING HEIGHT | --- | --- |
| NO. OF STOREYS | 2 | 2 |
| PROPOSED SUNROOM | --- | 16.8 M² |
| FRONT YARD SETBACK | 6.09 M | 6.09 M |
| REAR YARD SETBACK | 1.54 M | 3.14 M |
| RIGHT SIDE YARD SETBACK | 1.39 M | 1.39 M |
| LEFT SIDE YARD SETBACK | 1.38 M | 1.38 M |
| LOT AREA | 363.6 M² | 363.6 M² |


600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com


LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |
| B.1 | ISSUED FOR SQUAD CHECK | 07.10.2022 |
| 0 | ISSUED FOR PERMIT | 01.11.2022 |
| 0.1 | ISSUED FOR PERMIT | 16.11.2022 |

ISSUE TABLE

| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

# SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

PLOT PLAN

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |

L0.4

Scale 1 : 109

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer after application is deemed complete)

**FILE NUMBER:** A-2022-0363

***The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.***

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** SANJANA PATIL & SACHIN PATIL
   **Address** 10 HOWLAND CRES, BRAMPTON, L6Y 5K5
   **Phone #** 416-7092212, 416-7093399 **Fax #**
   **Email** sachinpatil285@yahoo.ca, sanjanapatil09@yahoo.ca

2. **Name of Agent** TARUNPREET KAUR
   **Address** UNIT-5, 600 ZENWAY BLVD, VAUGHAN, L4H3M9
   **Phone #** 2268214294 **Fax #**
   **Email** TARUNPREET.KAUR@LUMON.COM

3. **Nature and extent of relief applied for (variances requested):**

Nature- RAER YARD SETBACK
1. To permit a rear yard setback of 3.14m to a proposed building addition (minimum required is 6.0m provided the area of the rear yard is at least 25% of the minimum required lot area.
2. To permit a rear yard setback of 1.54m to an as-built deck (minimum requires is 3.0m).
3. To allow the existing privacy screening on the deck to be 2.0 meters.

4. **Why is it not possible to comply with the provisions of the by-law?**

1. Because the allowable rear yard setback to the proposed addition is 6.0m provided the area of the rear yard is at least 25% of the minimum required lot area.
2. Because rear yard setback from an as-built deck is 3.0m
2. Because the existing privacy screen on the deck is 2.0 meters.

5. **Legal Description of the subject land:**
   **Lot Number** 133
   **Plan Number/Concession Number** PLAN M-1532
   **Municipal Address** 10 HOWLAND CRES, BRAMPTON, ON, L6Y5K5

6. **Dimension of subject land (in metric units)**
   **Frontage** 13.72M
   **Depth** 26.50M
   **Area** 363.58 SQM

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Ground Coverage w Porch=14.85sqm
Ground Coverage w/out Porch=134.98sqm
Main floor+Second Floor=213.67sqm
No. of Storeys=2
Length=45'-4" Width=35'-10"

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

PROPOSING 3 SEASON SUNROOM ATTACHED WITH THE EXITING HOUSE AT THE REAR SIE WITH THE AREA = 16.77SQM WITHOUT OVERHANGS FROM ALL SIDES.

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 6.02m |
| **Rear yard setback** | 1.54m |
| **Side yard setback** | 1.38m |
| **Side yard setback** | 1.39m |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 6.02m |
| **Rear yard setback** | 1.54m |
| **Side yard setback** | 1.38m |
| **Side yard setback** | 1.39m |

10. **Date of Acquisition of subject land:** AUGUST 2010

11. **Existing uses of subject property:** RESIDENTIAL

12. **Proposed uses of subject property:** RESIDENTIAL

13. **Existing uses of abutting properties:** RESIDENTIAL

14. **Date of construction of all buildings & structures on subject land:** OCTOBER 2004

15. **Length of time the existing uses of the subject property have been continued:** 18 YEARS

16. (a) **What water supply is existing/proposed?**
- **Municipal** ☑
- **Well** ☐
- **Other (specify)** _____

(b) **What sewage disposal is/will be provided?**
- **Municipal** ☑
- **Septic** ☐
- **Other (specify)** _____

(c ) **What storm drainage system is existing/proposed?**
- **Sewers** ☑
- **Ditches** ☐
- **Swales** ☐
- **Other (specify)** _____

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☑ **Unknown** ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

Tarunpreet Kaur

Digitally signed by Tarunpreet Kaur
DN: cn=Tarunpreet Kaur, c=CA, o=Lumon Canada, email=Tarunpreet.kaur@lumon.com
Reason: Tarunpreet Kaur
Location: Lumon Canada
Date: 2022.10.31 12:35:37 -04'00'

Signature of Applicant(s) or Authorized Agent

DATED AT THE 31 OF October, 2022

THIS 31 DAY OF OCTOBER, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Sachin Patil., OF THE City OF Brampton.

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 8th DAY OF

Nov., 2022

Jeanie Myers

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

S Patil

Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

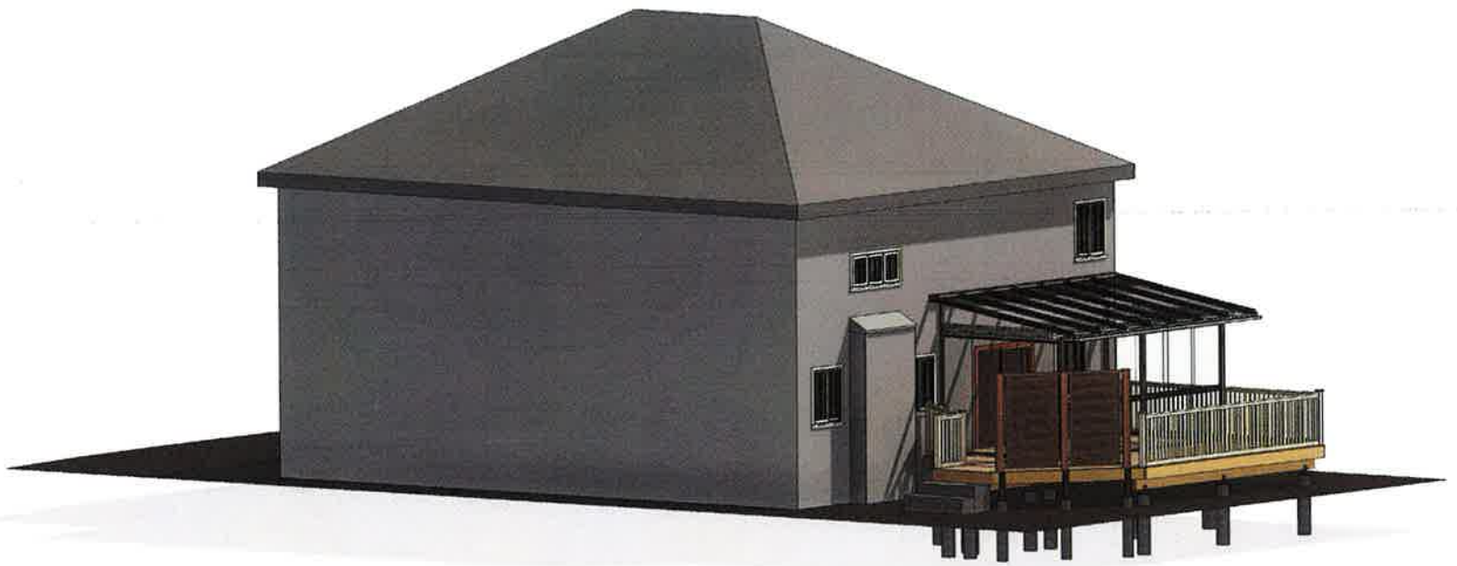
_____ Zoning Officer

_____ Date

**DATE RECEIVED** NOVEMBER 8, 2022

**Date Application Deemed Complete by the Municipality** _____

Revised 2022/02/17



## SHEET LIST

| NO. | TITLE |
|---|---|
| L0.1 | COVER PAGE |
| L0.2 | NOTES |
| L0.3 | SITE PLAN |
| L0.4 | PLOT PLAN |
| L1.1 | LAYOUT |
| L1.2 | LAYOUT |
| L1.3 | LAYOUT |
| L2.1 | ELEVATIONS |
| L2.2 | ELEVATIONS |
| L2.3 | ELEVATIONS |
| L3.1 | SECTIONS |
| L3.2 | SECTIONS |
| L3.3 | SECTIONS |
| L4.1 | DETAILS |
| L4.2 | DETAILS |

## MEMBER LEGEND

| NO. | MEMBER |
|---|---|
| 01 | LUMON VT4 ALUMINUM 90x90 POST |
| 02 | LUMON VT4 ALUMINUM 70x70 POST |
| 03 | LUMON VT4 ALUMINUM HEAVY DUTY FRONT BEAM |
| 04 | LUMON VT4 ALUMINUM HEAVY DUTY RETURN BEAM |
| 05 | LUMON VT4 ALUMINUM ROOF RAFTER & COVER |
| 06 | LUMON VT4 ALUMINUM REAR BEAM |
| 07 | LUMON VT4 ALUMINUM GUTTER |
| 08 | LUMON GLAZED FIXED WALL |
| 09 | LUMON RAILING SYSTEM |
| 10 | LUMON GLAZED SLIDING SYSTEM (LGS) |
| 11 | LUMON HEATSTOP COOL BLUE ACRYLIC MIN 16 mm |

LUMON

600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com


LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |
| B | ISSUED FOR SQUAD CHECK | 06.10.2022 |

ISSUE TABLE

| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

# SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

## COVER PAGE

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | |

L0.1

Scale

# GENERAL NOTES

1. THESE DRAWINGS DETAIL THE INSTALLATION.
2. DESIGN IN ACCORDANCE WITH CAN3-S157-M83 STRENGTH.
3. STRUCTURE AND ALL MATERIALS ARE IN ACCORANCE WITH CURRENT EDITIONS OF THE NATIONAL BUILDING CODE OF CANADA 2015 AND THE 2012 ONTARIO BUILDING CODE.
4. CONSTRUCTION OF EXISTING STRUCTURE (i.e FOUNDATION WALLS, FOOTING, EXTERIOR WALLS AND SHEATHING ARE ASSUMED TO BE IN ACCORDANCE WITH REQUIREMENT OF PART 4 OR PART 9 OF ONTARIO BUILDING CODE. LATERAL LOAD OF THE SUNROOM (WIND AND SEISMIC) IS ASSUMED TO BE RESISTED BY THE MAIN STRUCTURE. EXISTING STRUCTURE WHICH SUPPORTS THE SUNROOM IS REQUIRED TO SATISFY THE FOLLOWING REQUIREMENTS (TO BE VERIFIED):
   * STUD WALL WITH SHEATHING: 2 x 6 SPRUCE-PINE-FIR NO. 1 / NO. 2 @ 16" OR BETTER.
   * OPENING LINTELS: 4 PLY 1 3/4" 9 1/2" 2.0 E MICROLLAM LVL OR BETTER.
   * MINIMUM FOOTING SIZE 29" WIDE AND 10.5" THICK
   * MINIMUM CONCRETE WALL THICKNESS: 8" AND LATERALLY SUPPORTED TO THE FLOOR

- FOLLOW ALL NOTES AND RECOMMENDATIONS CONTAINED WITHIN THESE DRAWINGS.
- CONSULT SEALING ENGINEER IF SITE CONDITIONS ARE DIFFERENT FROM WHAT SHOWN ON THE DRAWINGS OR ABOVE MENTIONED ASSUMPTIONS
- DECK FOUNDATION, ATTACHMENTS AND THE CONDITION OF THE EXISTING STRUCTURE IS EXCLUDED FROM THE SCOPE OF THESE DRAWINGS AND RESPONSIBILITY OF SEALING ENGINEERS. ABOVE MENTIONED CRITERIA MUST BE ENGINEERED/VERIFIED BY OTHERS.

# MATERIAL NOTES

1. LUMON PROFILE COLOR TO BE TBD.
2. LUMON BALUSTRADE GLAZING COLOR TO BE TBD.
3. LUMON RETRACTABLE GLAZING COLOR TO BE CLEAR (UNLESS OTHERWISE NOTED)
4. ANY SPAN LARGER THAN 4.7m REQUIRES 220 GUARDRAIL
5. LATERAL DEFLECTION LOADS FOR THE GLASS IS 80MM
6. LATERAL DEFLECTION LOADS FOR THE PROFILES IS 30MM
7. LUMON RECTRABLE GLAZING WEIGHT kg/m²
   - 8mm GLASS : 20 kg/m²
   - 10mm GLASS : 25 kg/m²
   - 12mm GLASS : 30 kg/m²
8. MAXIMUM GLAZING PANEL WIDTH = 1000MM
9. MAXIMUM BALUSTRADE GLASS PANEL WIDTH = 1200MM

VERIFICATION OF EXISTING DECK STRUCTURE IS NOT IN THE SCOPE OF THIS DRAWINGS AND STAMP - TO BE VERIFIED BY OTHERS.

VERIFICATION OF EXISTING CONCRETE STRUCTURE IS NOT IN THE SCOPE OF THIS DESIGN

# DESIGN CRITERIA

1. PREVAILING CODE : OBC 2012
2. SNOW LOAD : Ss = 2.4 kPa
3. RAIN LOAD : Sr = 0.3 kPa
4. WIND LOAD :
   a. 1 in 10 : 0.34 kPa
   b. 1 in 50 : 0.44 kPa
5. DEAD LOAD : 0.49 kPa
6. SEISMIC DATA
   a. Sa (0.2) : 0.644
   b. Sa (0.5) : 0.550
   c. Sa (1.0) : 0.327
   d. Sa (2.0) : 0.204
   e. PGA : 0.283

SITE CLASS: D (STIFF SOIL) - TO BE SITE VERIFIED
RD=R0=1
SEISMIC BASE SHEAR = TBD
WIND BASE SHEAR (LONGITUDINAL)= TBD
WIND BASE SHEAR (TRANSVERSE) = TBD

DEFLECTION CRITERIA

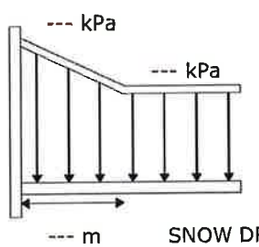
| | |
|---|---|
| ROOF BEAM | :L/200 |
| INTERMEDIATE BEAM | :L/300 |
| FRONT BEAM | :L/300 |
| ACRYLIC HEATSTOP | :MIN (W/20, 76.22mm) |
| TEMPERED GLASS | :MIN (W/20,76.2mm) |

# LUMON NOTES

1. THESE DRAWINGS ARE FOR STRUCTURAL SIGNOFF OF LUMON SYSTEMS AND LUMON CONNECTION ONLY, INCLUDING RELEVANT SCHEDULES.
2. ALL OTHER DETAILS ARE FOR REFERENCE ONLY.THOSE ARE DESIGNED, INSTALLED, REVIEWED AND APPLIED BY OTHERS.
3. OPENINGS ARE TO BE CONSTRUCTED LEVEL AND TRUE TO LINE.
4. OPENINGS ARE TO BE SQUARE TO 6MM (1/4") TOLERANCE. CURBS/BALCONY SLAB TO BE LEVEL TO 6MM (1/4") TOLERANCE. HEADER/BALCONY SLAB ABOVE TO BE LEVEL TO 6MM (1/4") TOLERANCE.
5. LUMON RETRACTABLE GLAZING SYSTEM IS TOP HUNG AND BOTTOM GUIDE. ALLOWABLE DEFLECTION IS 10MM.
6. AT THE CONNECTION POINT, THE LUMON RAILING SYSTEM REQUIRES MIN 3 PLIES OF 2X WOOD BLOCKING OR MIN 4" THICK CONCRETE OR STEEL/ALUMINUM PLATES/BRACKETS DESIGNED AND INSTALLED BY OTHERS.

| LOCATION: | CASE: | VERTICAL: | HORIZONTAL: |
|---|---|---|---|
| MIDDLE COLUMN (kN) | DEAD | TBD | TBD |
| | SNOW | TBD | TBD |
| | WIND(L) | TBD | TBD |
| | WIND(T) | TBD | TBD |
| | SEISMIC | TBD | TBD |
| CORNER COLUMN (kN) | DEAD | TBD | TBD |
| | SNOW | TBD | TBD |
| | WIND(L) | TBD | TBD |
| | WIND(T) | TBD | TBD |
| | SEISMIC | TBD | TBD |

* LOADS ARE UN-FACTORED
* L IS PARALLEL TO THE MAIN BLDG WALL
* T IS PERPENDICULAR TO MAIN BLDG WALL
* +/- TO BE CONSIDERED FOR WIND AND SEISMIC
* + IS DOWNWARD LOAD



SNOW DRIFT

LUMON
600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com

LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |

ISSUE TABLE

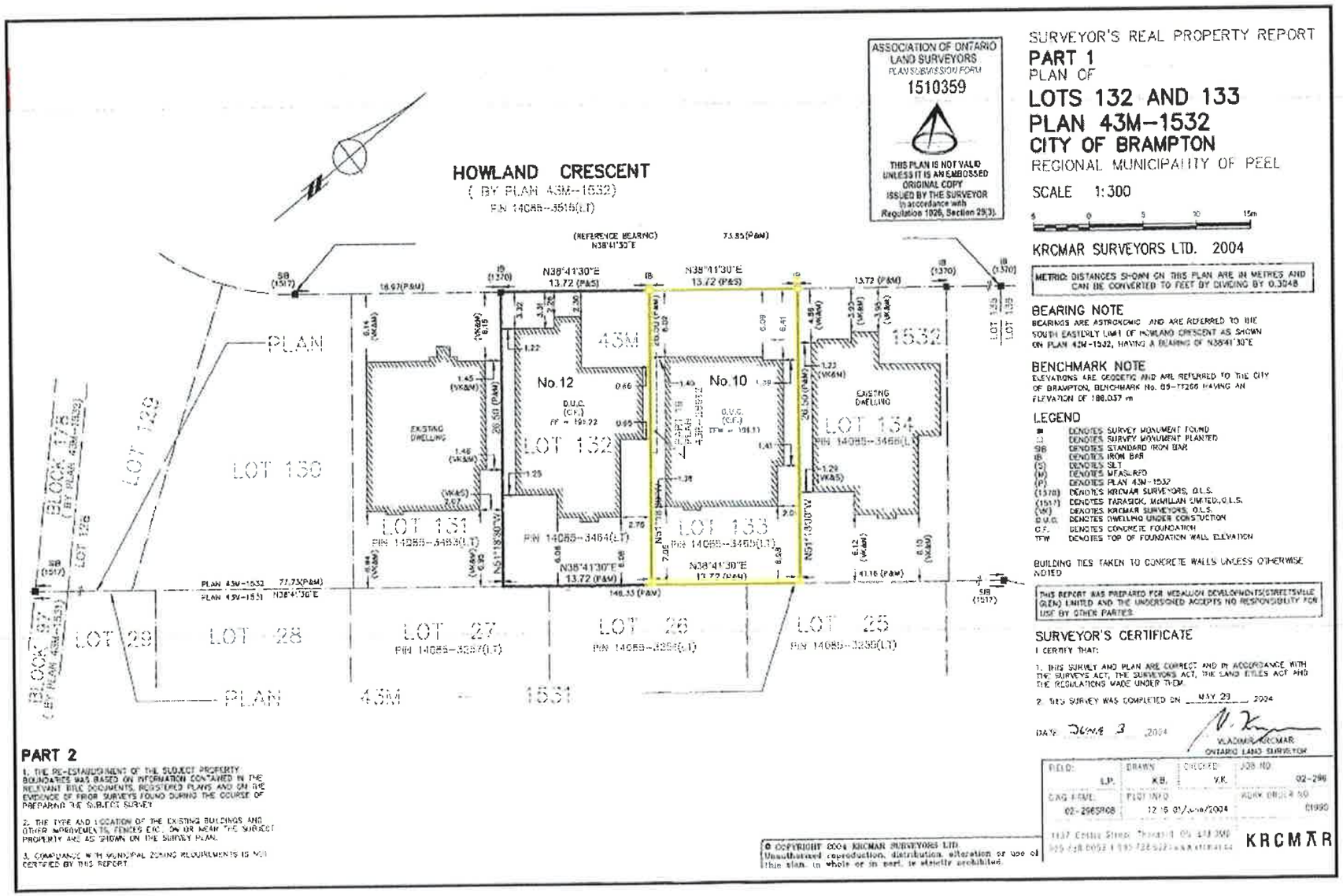
| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

NOTES

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |
| L0.2 | |
| Scale | 1 : 20 |




ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
1510359

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3).

SURVEYOR'S REAL PROPERTY REPORT

**PART 1**

PLAN OF

# LOTS 132 AND 133
# PLAN 43M-1532
## CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

5 0 5 10 15m

KROMAR SURVEYORS LTD. 2004

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**BEARING NOTE**

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTH EASTERLY LIMIT OF HOWLAND CRESCENT AS SHOWN ON PLAN 43M-1532, HAVING A BEARING OF N38°41'30"E

**BENCHMARK NOTE**

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF BRAMPTON, BENCHMARK No. 09-17266 HAVING AN ELEVATION OF 188.037 m

**LEGEND**

| | |
|---|---|
| ■ | DENOTES SURVEY MONUMENT FOUND |
| ⊡ | DENOTES SURVEY MONUMENT PLANTED |
| SIB | DENOTES STANDARD IRON BAR |
| IB | DENOTES IRON BAR |
| (S) | DENOTES SILT |
| (M) | DENOTES MEASURED |
| (P) | DENOTES PLAN 43M-1532 |
| (1370) | DENOTES KROMAR SURVEYORS, O.L.S. |
| (1517) | DENOTES TARASICK, McMILLAN LIMITED, O.L.S. |
| (W) | DENOTES KROMAR SURVEYORS, O.L.S. |
| D.U.C. | DENOTES DWELLING UNDER CONSTRUCTION |
| C.F. | DENOTES CONCRETE FOUNDATION |
| TFW | DENOTES TOP OF FOUNDATION WALL ELEVATION |

BUILDING TIES TAKEN TO CONCRETE WALLS UNLESS OTHERWISE NOTED

This REPORT WAS PREPARED FOR MEDALLION DEVELOPMENTS(STREETSVILLE GLEN) LIMITED AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES.

**SURVEYOR'S CERTIFICATE**

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THIS SURVEY WAS COMPLETED ON MAY 29 2024

DATE June 3 2024

VLADIMIR KROMAR
ONTARIO LAND SURVEYOR

**PART 2**

1. THE RE-ESTABLISHMENT OF THE SUBJECT PROPERTY BOUNDARIES WAS BASED ON INFORMATION CONTAINED IN THE RELEVANT TITLE DOCUMENTS, REGISTERED PLANS AND ON THE EVIDENCE OF PRIOR SURVEYS FOUND DURING THE COURSE OF PREPARING THE SUBJECT SURVEY.
2. THE TYPE AND LOCATION OF THE EXISTING BUILDINGS AND OTHER IMPROVEMENTS, FENCES ETC. ON OR NEAR THE SUBJECT PROPERTY ARE AS SHOWN ON THE SURVEY PLAN.
3. COMPLIANCE WITH MUNICIPAL ZONING REQUIREMENTS IS NOT CERTIFIED BY THIS REPORT.

| FIELD: | DRAWN | CHECKED | JOB NO |
|---|---|---|---|
| I.P. | K.B. | V.K. | 02-296 |
| CAD FILE: | PLOT INFO | | WORK ORDER NO |
| 02-296PRO8 | 12:15 01/June/2024 | | 01990 |

1537 Cornell Street Thornhill ON L4J 3W9
905 738 8052 1 800 726 5122 www.kromar.ca

KROMAR

© COPYRIGHT 2004 KROMAR SURVEYORS LTD.
Unauthorized reproduction, distribution, alteration or use of this plan, in whole or in part, is strictly prohibited.

LUMON
600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com

LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |

ISSUE TABLE

| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

# SANJANA & SACHIN

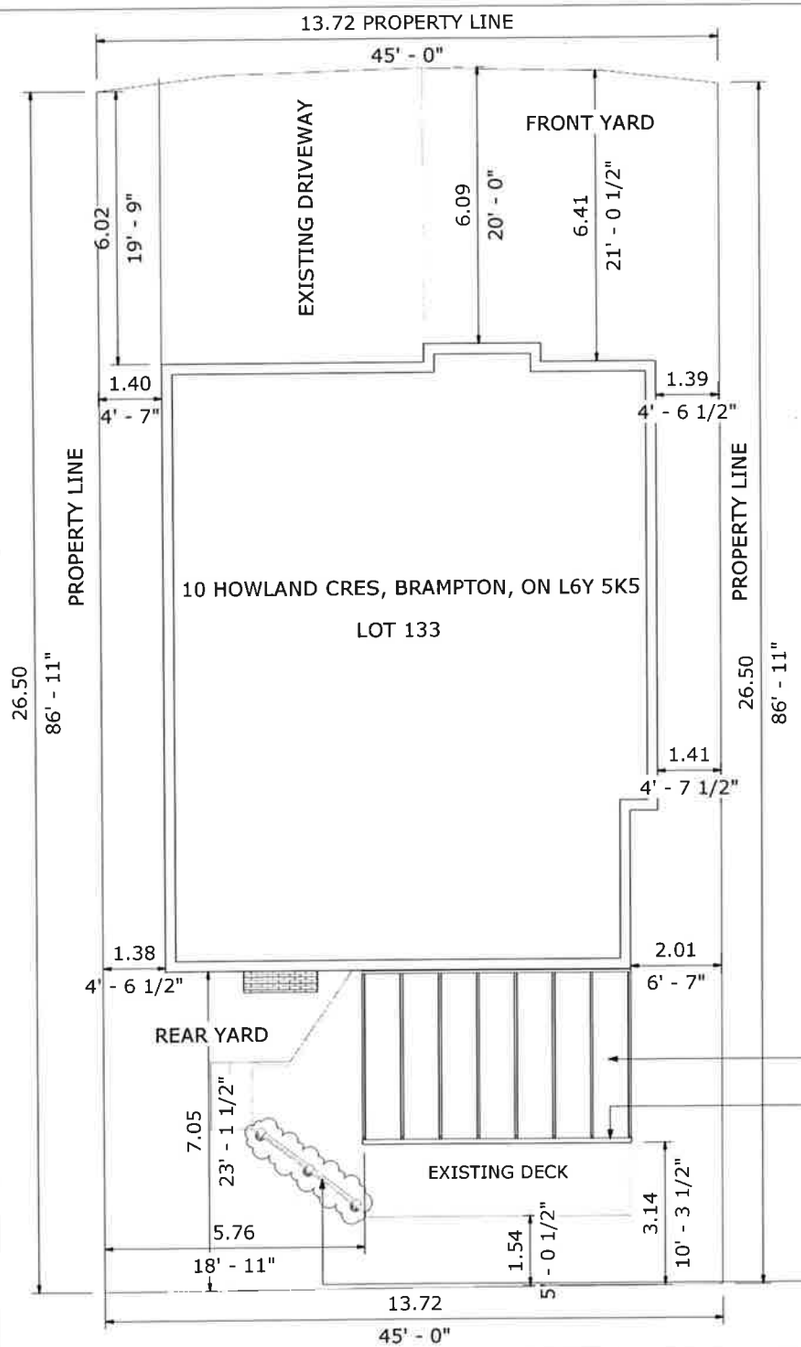
10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

SITE PLAN

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |

L0.3

Scale 1 : 6




SITE STATS:

| DESCRIPTION | EXISTING | PROPOSED |
|---|---|---|
| BUILDING HEIGHT | --- | --- |
| NO. OF STOREYS | 2 | 2 |
| PROPOSED SUNROOM | --- | 16.8 $M^2$ |
| FRONT YARD SETBACK | 6.09 M | 6.09 M |
| REAR YARD SETBACK | 1.54 M | 3.14 M |
| RIGHT SIDE YARD SETBACK | 1.39 M | 1.39 M |
| LEFT SIDE YARD SETBACK | 1.38 M | 1.38 M |
| LOT AREA | 363.6 $M^2$ | 363.6 $M^2$ |


LUMON

600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com


LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |
| B.1 | ISSUED FOR SQUAD CHECK | 07.10.2022 |
| 0 | ISSUED FOR PERMIT | 01.11.2022 |
| 0.1 | ISSUED FOR PERMIT | 16.11.2022 |

ISSUE TABLE

| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

# SANJANA & SACHIN

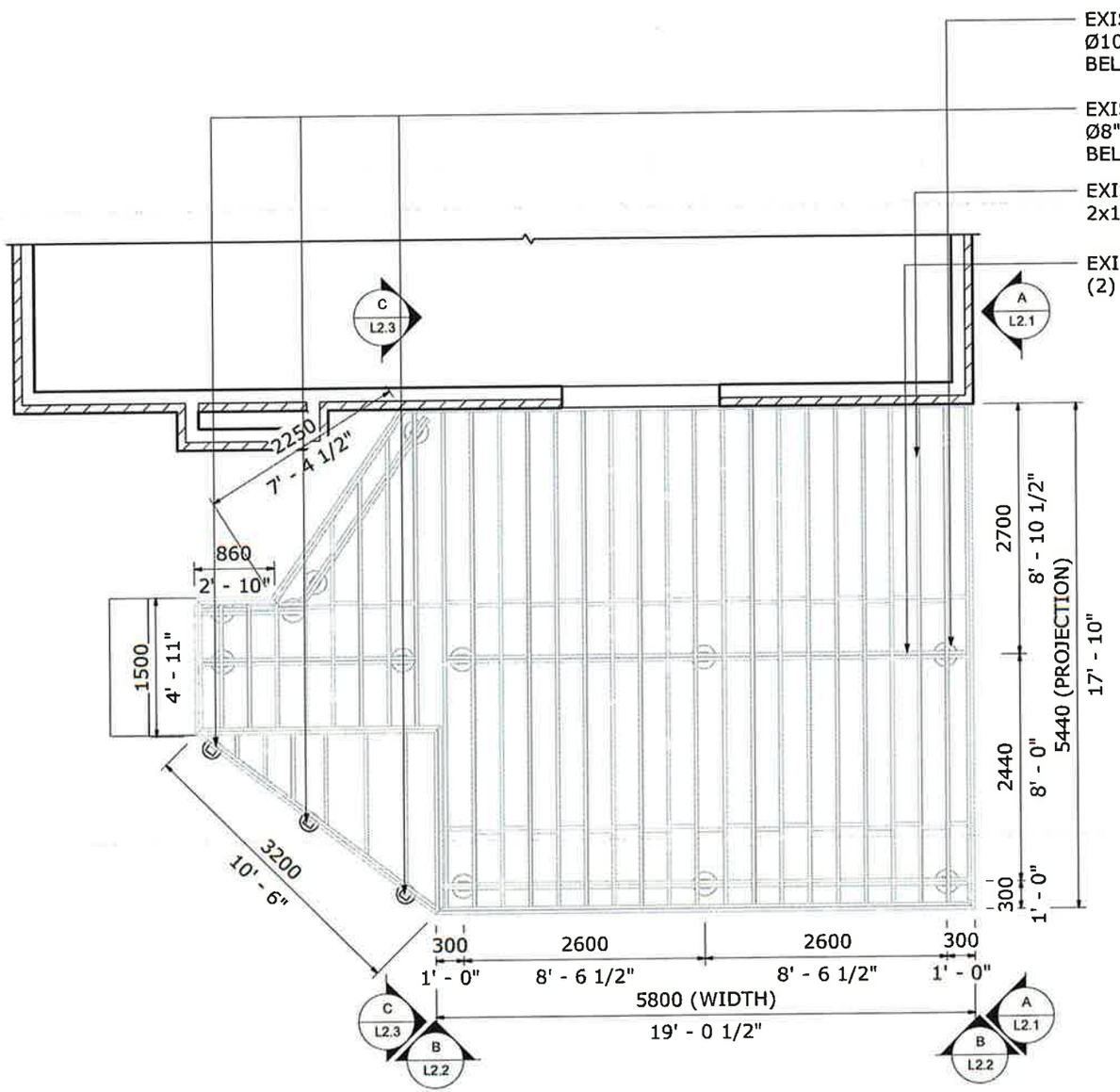
10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

## PLOT PLAN

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |

L0.4

Scale 1 : 109




## DECK DETAILS

1 : 50



LUMON
600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com

LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |
| B | ISSUED FOR SQUAD CHECK | 06.10.2022 |

ISSUE TABLE

| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

# SANJANA & SACHIN

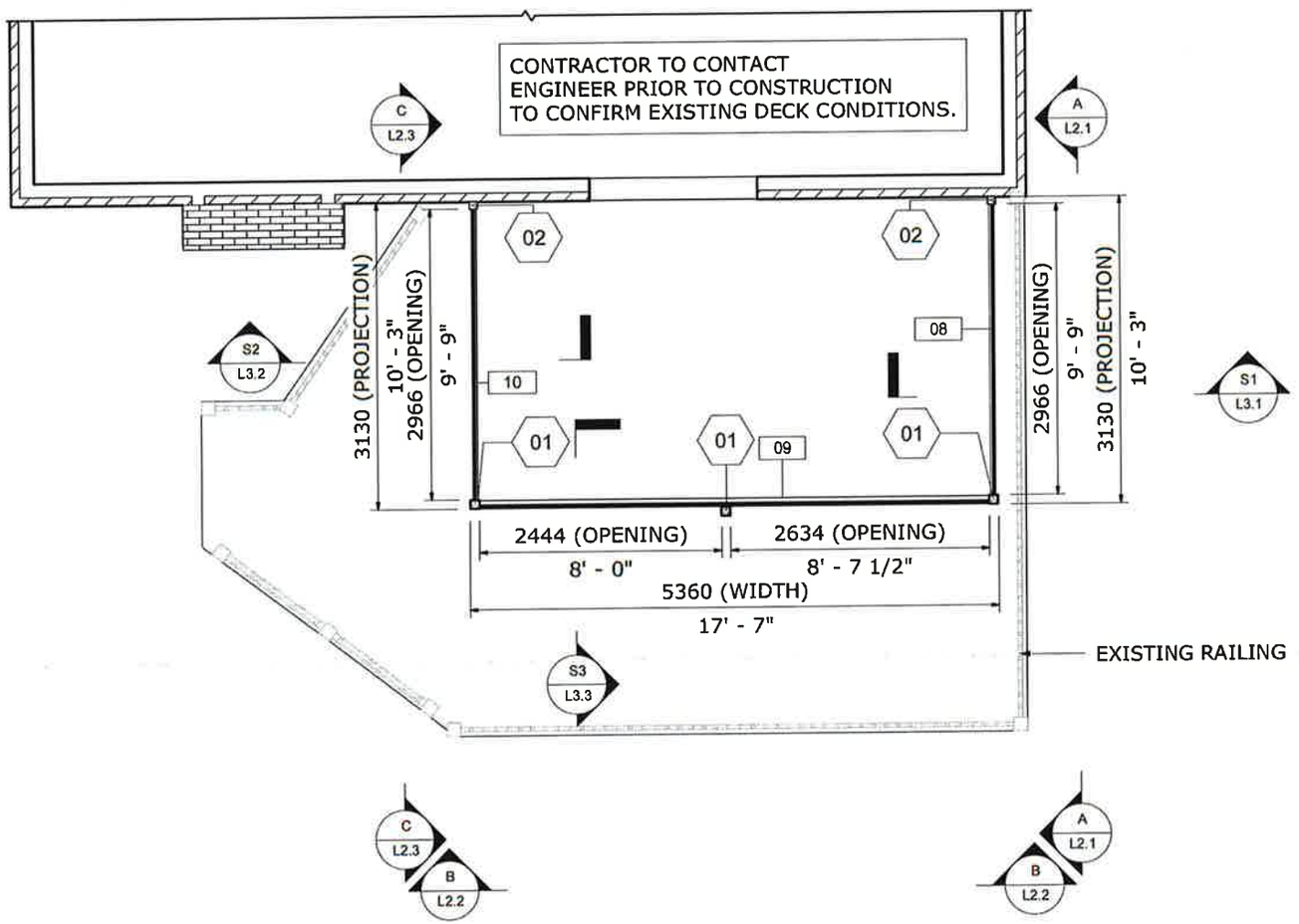
10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

LAYOUT

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |

L1.1

Scale 1 : 50




## PLAN ON POSTS

1 : 50


LUMON

600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com


LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |
| B | ISSUED FOR SQUAD CHECK | 06.10.2022 |

ISSUE TABLE

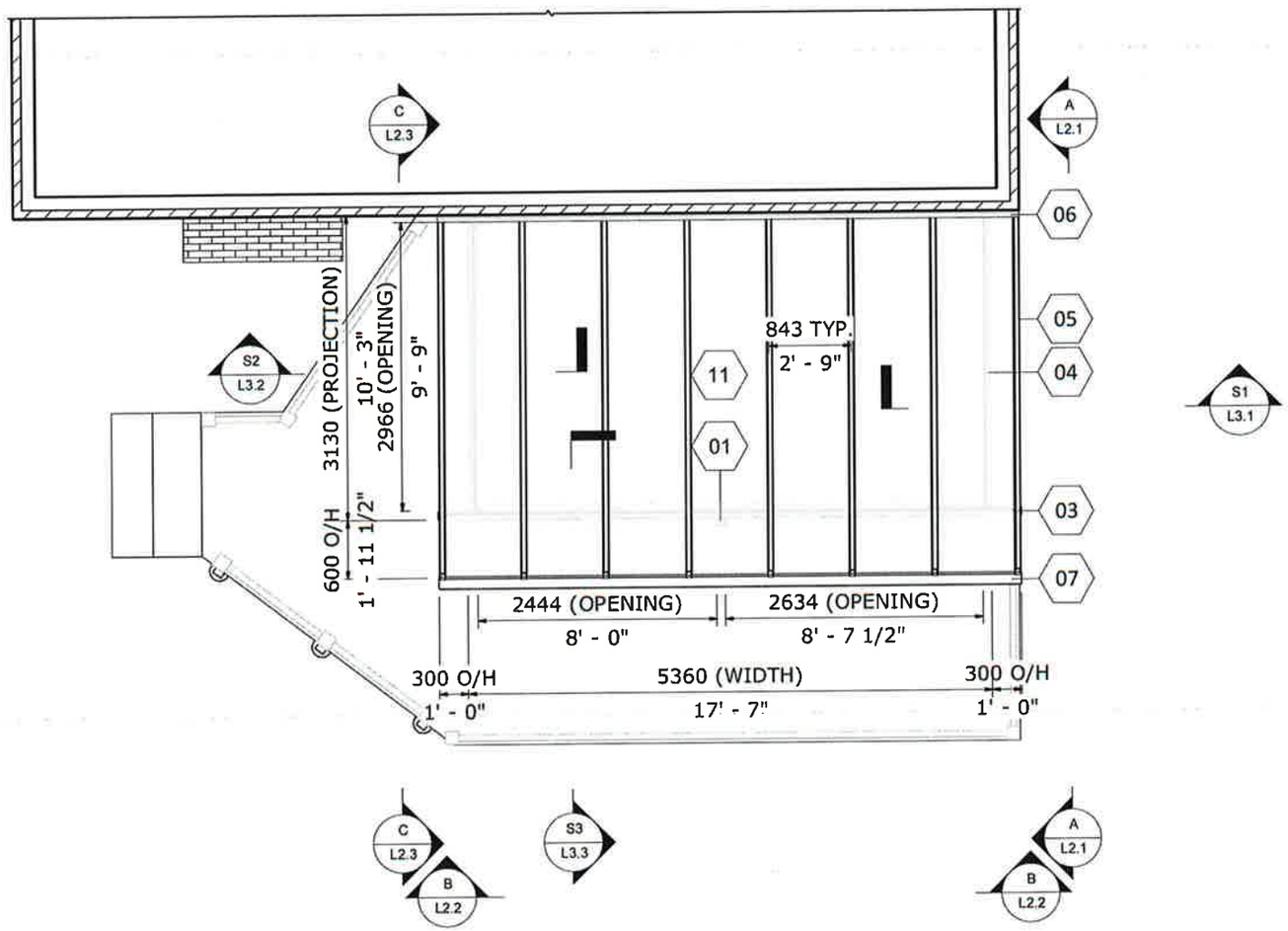
| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

## SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

LAYOUT

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |
| | L1.2 |
| Scale | 1 : 50 |




## PLAN ON COVER

1 : 50


LUMON

600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com


LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |
| B | ISSUED FOR SQUAD CHECK | 06.10.2022 |

ISSUE TABLE

| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

# SANJANA & SACHIN

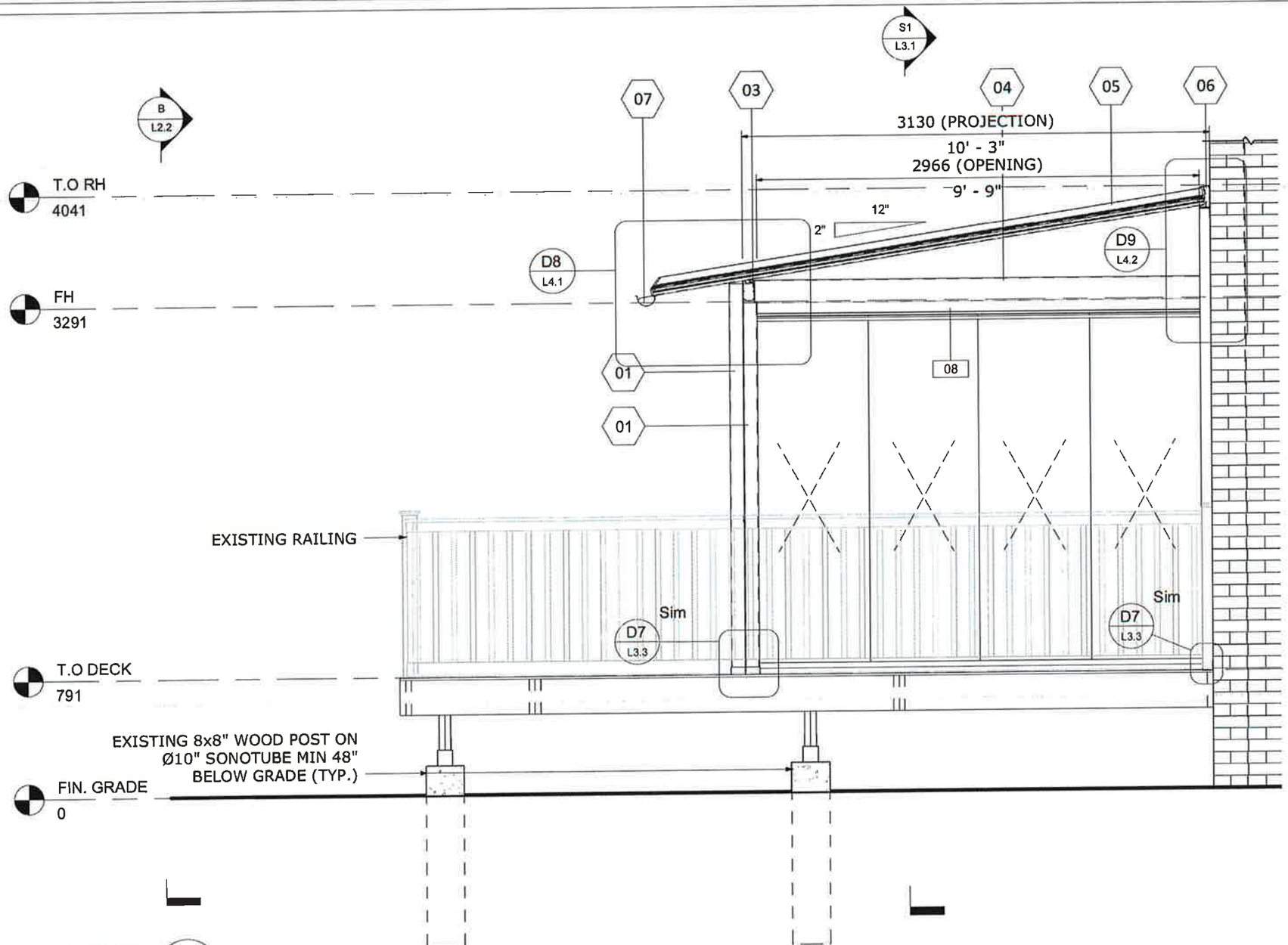
10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

LAYOUT

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |

L1.3

Scale 1 : 50




ELEVATION A L1.1
1 : 25

LUMON
600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com

LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO
Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |

ISSUE TABLE

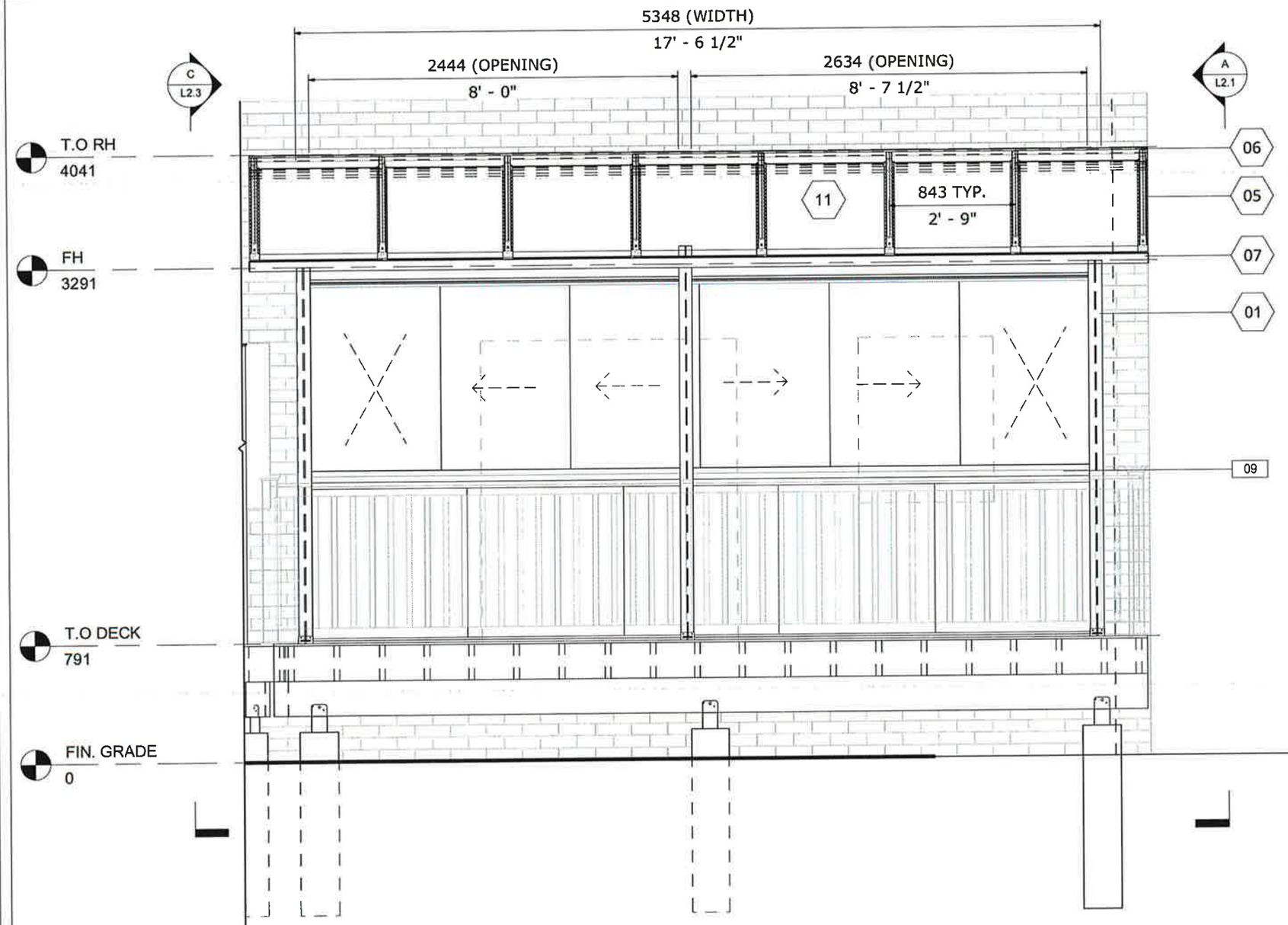
| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

# SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

## ELEVATIONS

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |
| | L2.1 |
| Scale | 1 : 25 |




ELEVATION B L1.1
1 : 25

LUMON
600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com

LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |

ISSUE TABLE

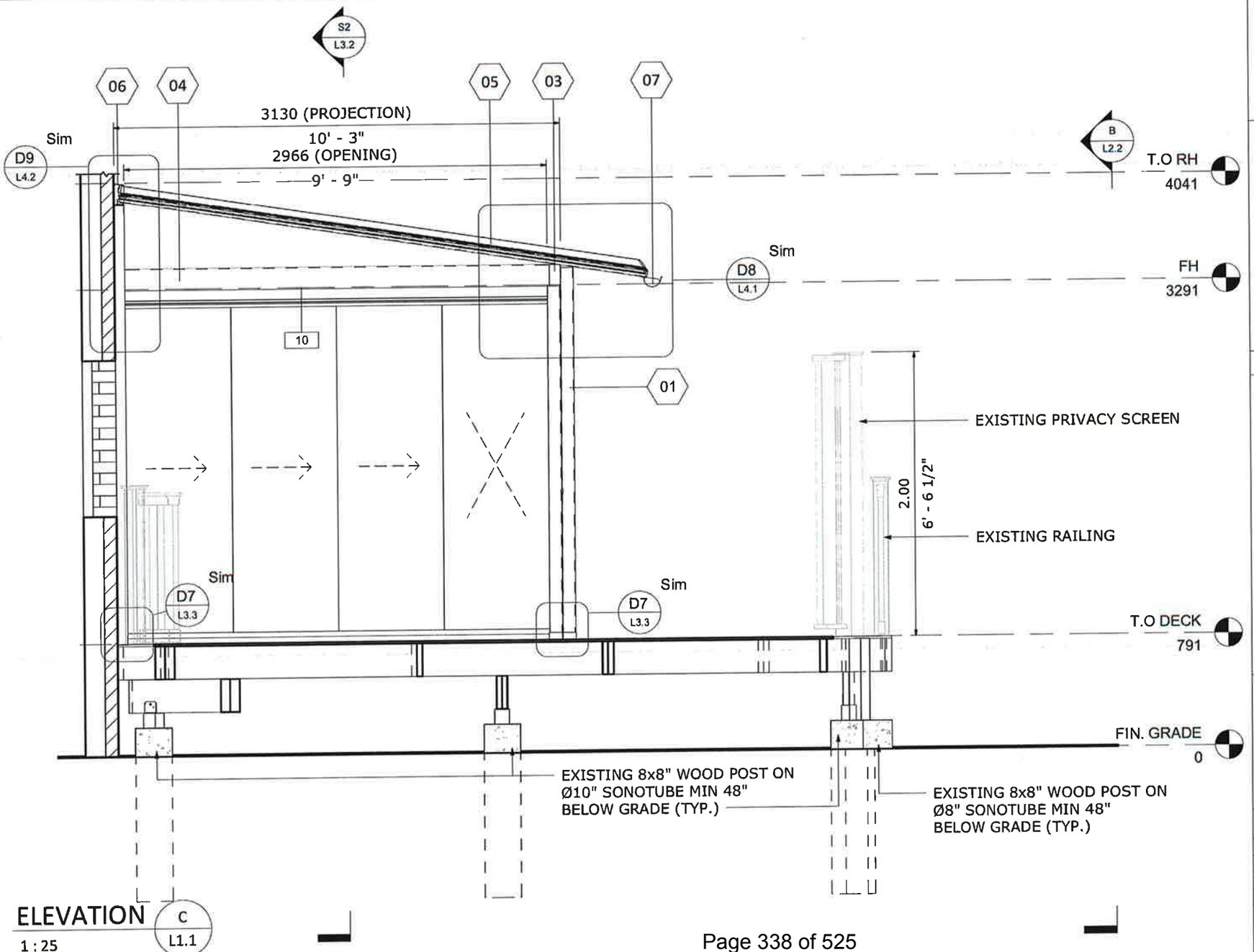
| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

ELEVATIONS

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |
| | L2.2 |
| Scale | 1 : 25 |




ELEVATION C L1.1
1 : 25



LUMON
600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com

LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO
Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |
| B | ISSUED FOR SQUAD CHECK | 06.10.2022 |
| 0.1 | ISSUED FOR PERMIT | 16.11.2022 |

ISSUE TABLE

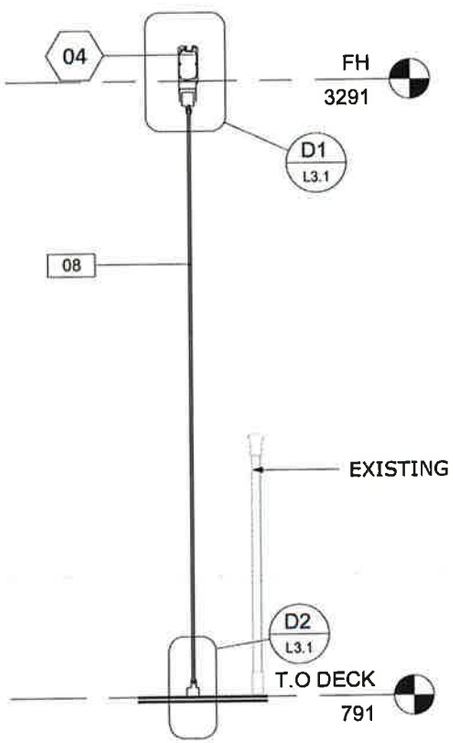
| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

# SANJANA & SACHIN

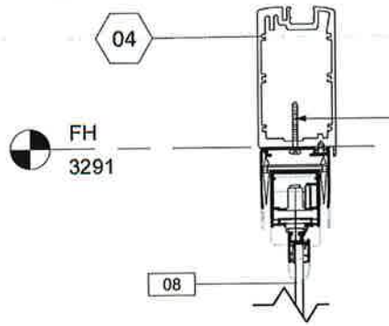
10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

## ELEVATIONS

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |
| | L2.3 |
| Scale | 1 : 25 |

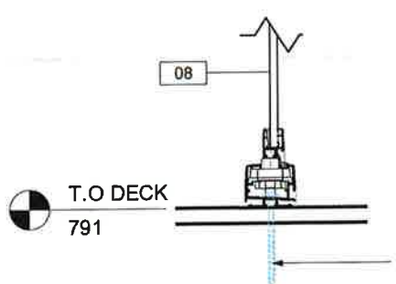



SECTION S1 L1.2
1 : 20




M8 x 20 S.S BOLTED INTO ALUMINUM BEAM
(1 SCREW AT EACH END & 1 SCREW PER GLASS PANEL.)

DETAIL D1 L3.1
SCALE: 1 : 5




HECO TOPIX 8.0 x 100mm SCREWS INTO SOLID WOOD. 1 SCREW @ EACH PANEL JOINT

DETAIL D2 L3.1
SCALE: 1 : 5

LUMON
600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com

LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |

ISSUE TABLE

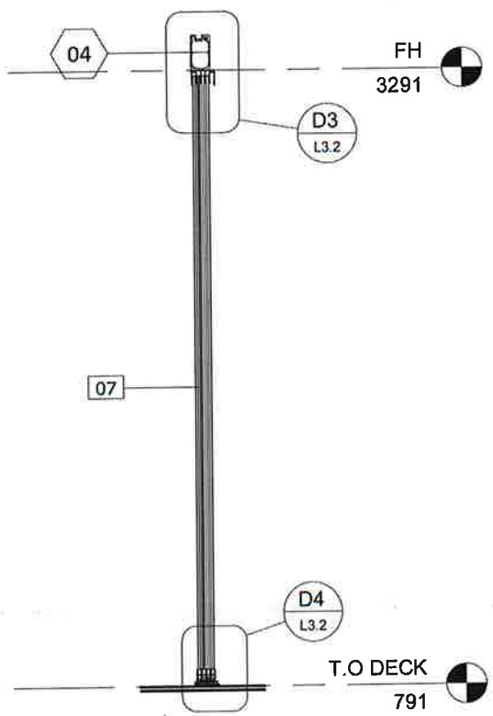
| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

# SANJANA & SACHIN

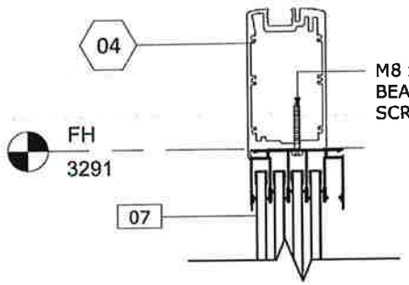
10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

SECTIONS

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |
| L3.1 | |
| Scale | As indicated |

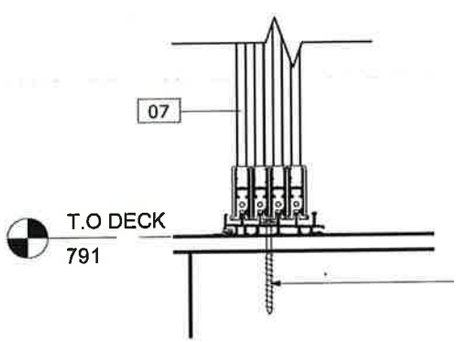



SECTION S2 L1.2
1 : 20




M8 x 20 S.S BOLTED INTO ALUMINUM BEAM (1 SCREW AT EACH END & 1 SCREW PER GLASS PANEL.)

DETAIL D3 L3.2
SCALE: 1 : 5




HECO TOPIX 8.0 x 100mm SCREWS INTO SOLID WOOD DECK (1) EACH AT THE START AND END OF PROFILE & (1) PER GLAZING PANEL

DETAIL D4 L3.2
SCALE: 1 : 5



LUMON
600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com

LICENSED PROFESSIONAL ENGINEER
N. AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |

ISSUE TABLE

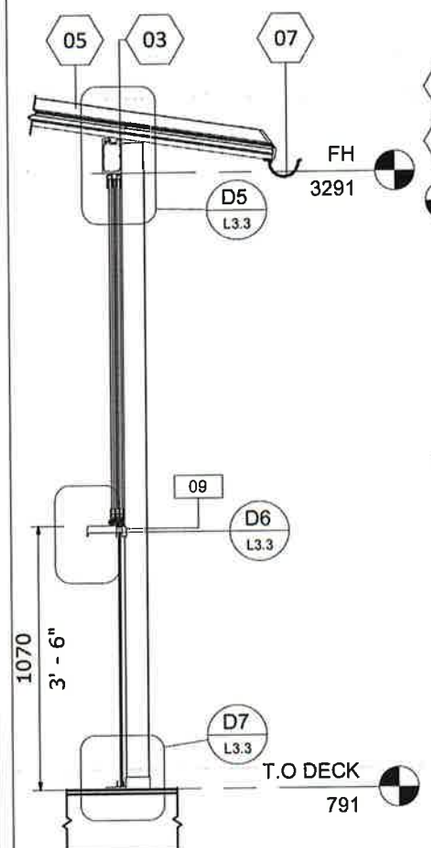
| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

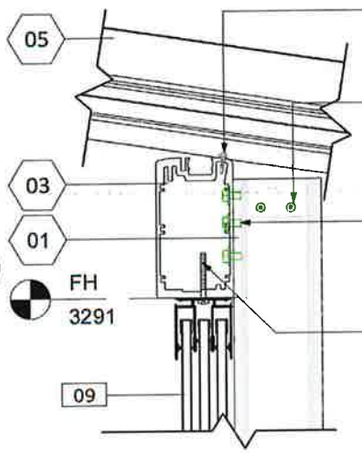
SECTIONS

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |
| L3.2 | |
| Scale | As indicated |




## SECTION

1 : 20 — S3 / L1.2




(2) #10 - 16 x ¾" SELF DRILLING HEX HEAD SCREW @ ROOF RAFTER TO FRONT BEAM

(4) ¼" - 14 x 1 ¼" HEX HEAD 410SS SELF DRILLING SCREW TO POST CONNECTOR AT 2 SIDES. (2 SIDES CLEAR OF GLAZING)

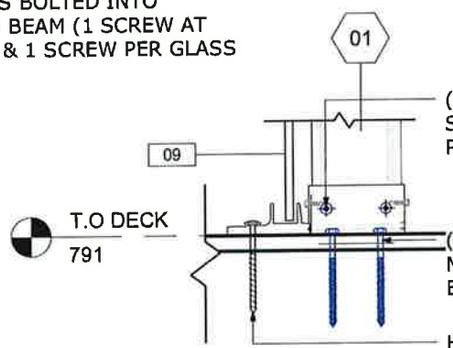
(6) M8 x 20 S.S BOLT DRILLED AND TAPPED INTERMEDIATE POST TO FRONT BEAM

M8 x 20 S.S BOLTED INTO ALUMINUM BEAM (1 SCREW AT EACH END & 1 SCREW PER GLASS PANEL.)

## DETAIL

SCALE: 1 : 5 — D5 / L3.3

THE SAME NUMBER AND SIZE OF LAG SCREWS SHALL BE USED FOR THE 70x70 POST AS WELL AS 90x90 POST.



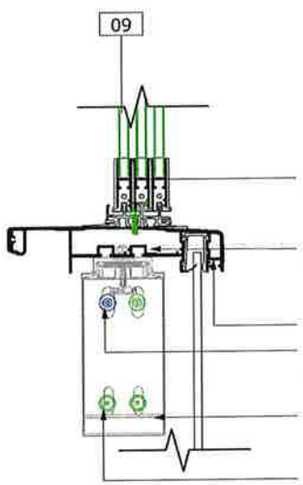

(4) M5.5 x 38 TX25 PAN HEAD SCREW @ POST CONNECTOR TO POST CONNECTION

(2) 8.0 LAG SCREW W/ 76 MINIMUM THHREAD LENGTH EMBEDMENT INTO SOLID WOOD

HECO TOPIX 8.0 x 100 mm SCREWS INTO SOLID WOOD DECK (1) EACH AT THE START AND END OF PROFILE & (1) PER GLAZING JOINT.

## DETAIL

SCALE: 1 : 5 — D7 / L2.1




(1) M6 x 20 S.S BOLTED THROUGH AT EACH LGS GLAZING PANEL

(1) M8 x 20 S.S BOLT & NUT AT EACH HANDRAIL SUPPORT PIECE & HORIZONTAL HANDRAIL BRACKET

160 HANDRAIL

(2) M12 x 40 S.S BOLT INTO 90 x 90 LUMON POST.

HANDRAIL BRACKET

(2) M8 x 20 S.S BOLT INTO 90 x 90 LUMON POST

## DETAIL

SCALE: 1 : 5 — D6 / L3.3

LUMON
600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com

LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |

ISSUE TABLE

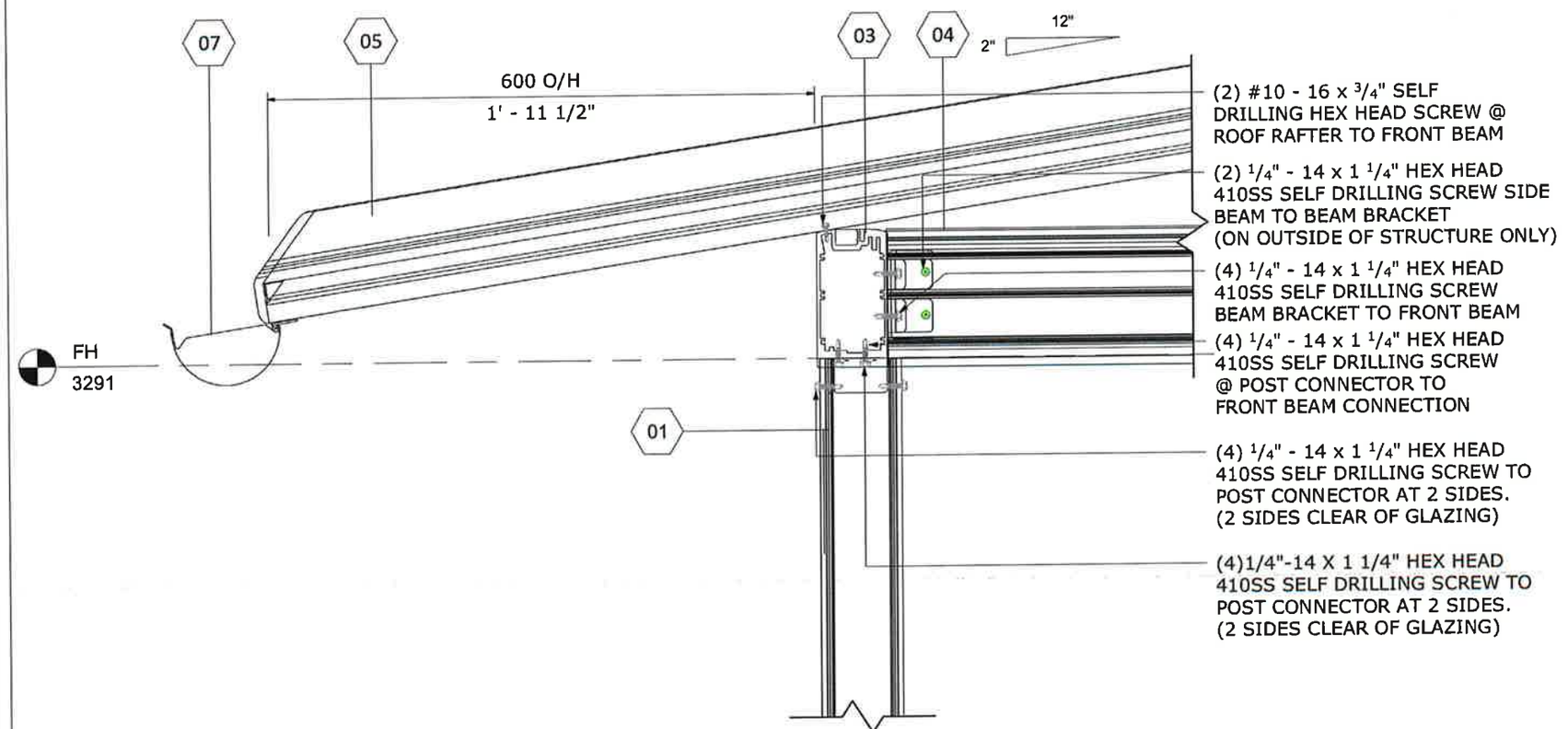
| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

# SANJANA & SACHIN

10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

## SECTIONS

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |
| | L3.3 |
| Scale | As indicated |




DETAIL D8 / L2.1

SCALE: 1 : 5

LUMON

600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com

LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |

ISSUE TABLE

| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

SANJANA & SACHIN

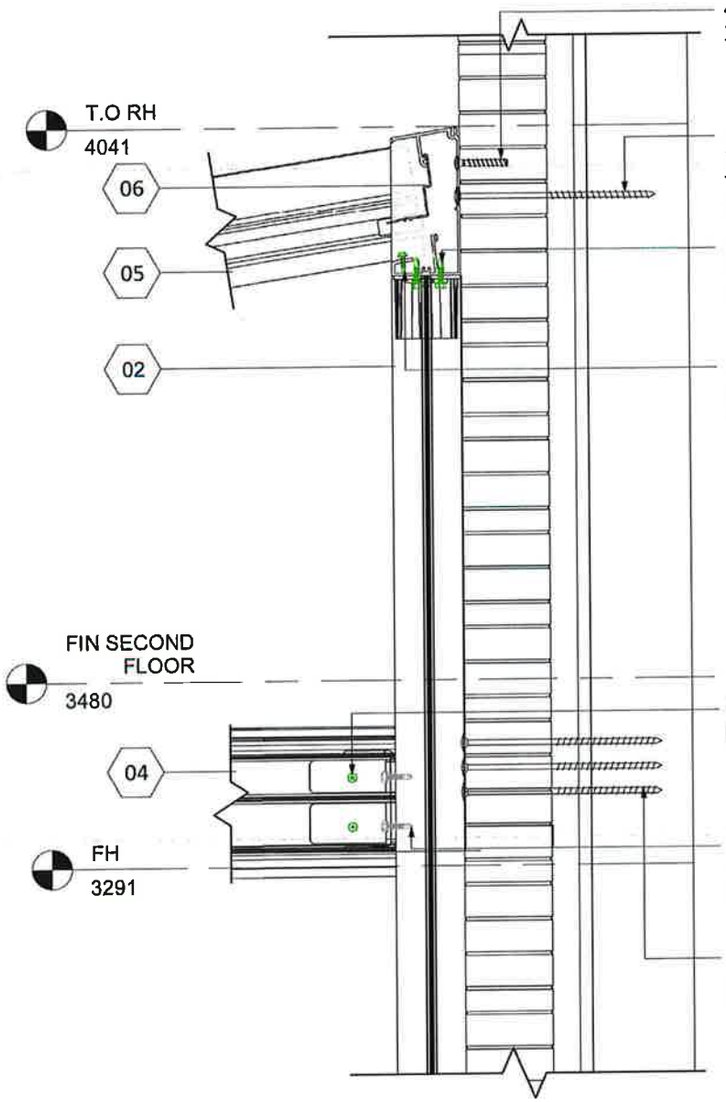
10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

DETAILS

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |

L4.1

Scale 1 : 5




4.76 Ø 64 ANCHORS INTO BRICK @ 400 o/c.

2) 8.00 Ø HEX HEAD LAG BOLTS THRU BRICK INTO SOLID WOOD SUPPORT W/ MINIMUM 76 THREAD LENGTH EMBEDMENT INTO SOLID WOOD @ 400 o/c.

(3) 1/4" - 14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW @ POST CONNECTOR TO REAR BEAM & RETURN BEAM CONNECTION

(2) #10 - 16 x 3/4" SELF DRILLING PAN HEAD SCREW @ ROOF BEAM TO REAR BEAM CONNECTION

(2) 1/4"-14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW BEAM TO BEAM BRACKET (ON OUTSIDE OF STRUCTURE ONLY)

(4) 1/4"-14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW BEAM BRACKET TO REAR POST

(3) 7.94 Ø HEX HEAD LAG BOLTS THRU BRICK INTO SOLID WOOD SUPPORT W/ MINIMUM 76 THREAD LENGTH EMBEDMENT INTO SOLID WOOD.

## DETAIL D9 / L2.1

SCALE: 1 : 5

LUMON

600 Zenway Blvd Unit 5
Woodbridge, ON, L4H 3M9
PH: +1 887 707 7427
info.canada@lumon.com

LICENSED PROFESSIONAL ENGINEER
N AHMAD
100543745
PROVINCE OF ONTARIO

Oct 10, 2022

PERMIT TO PRACTICE:

REVISION

| No. | Description | Date |
|---|---|---|
| A | NEW DRAWING | 29.09.2022 |

ISSUE TABLE

| No. | Description | Date |
|---|---|---|
| 01 | ISSUED FOR DRAWING | 05.10.2022 |
| 02 | ISSUED FOR REVIEW | 06.10.2022 |
| 03 | ISSUED FOR ENGINEERING | 07.10.2022 |
| 04 | ISSUED PERMIT | 01.11.2022 |
| 05 | ISSUED FOR PERMIT | 16.11.2022 |

SANJANA & SACHIN

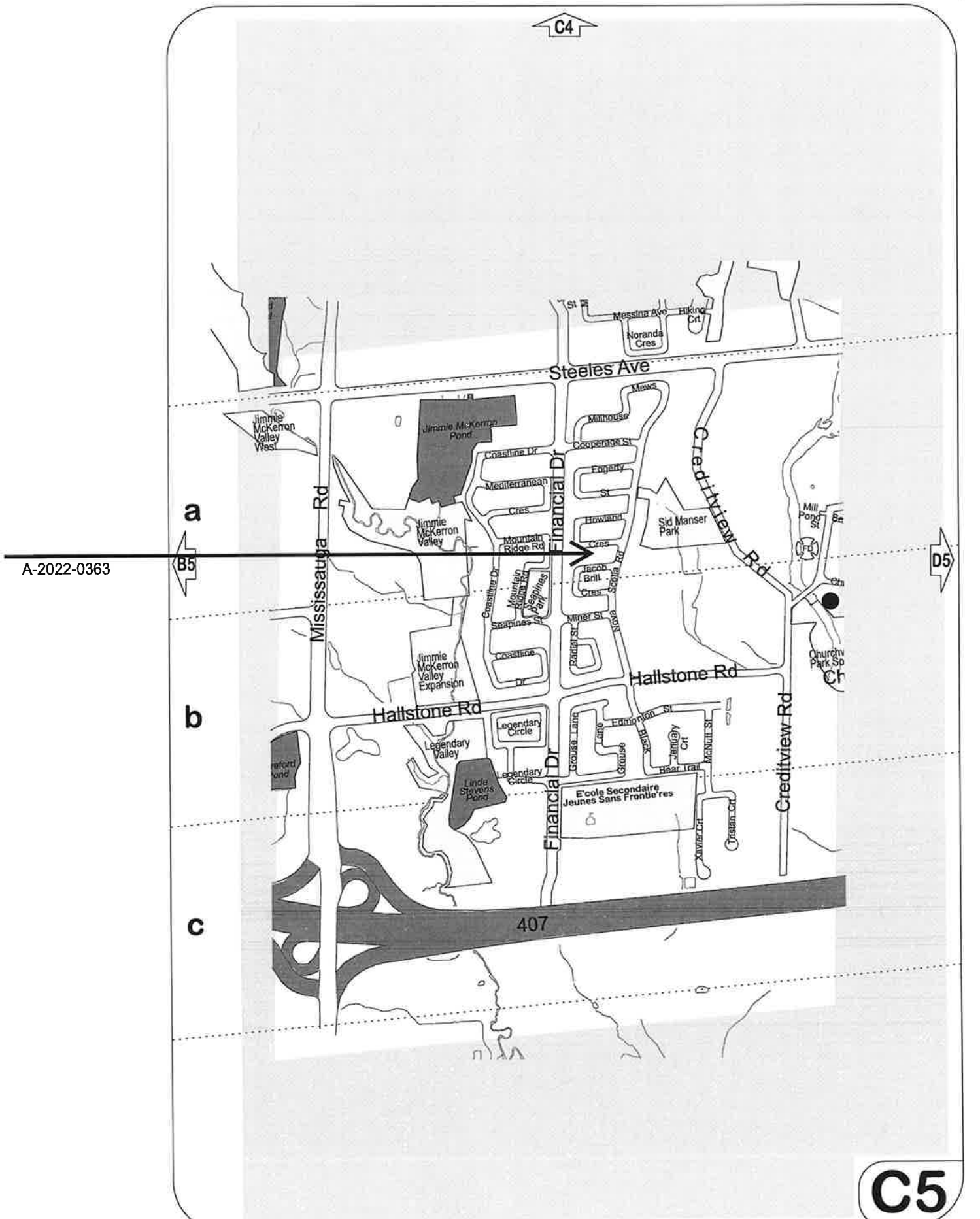
10 HOWLAND CRES,
BRAMPTON, ON L6Y 5K5

DETAILS

| | |
|---|---|
| PROJECT NUMBER | 5058 4083 |
| DATE | 29.09.2022 |
| DRAWN BY | X.D |
| CHECKED BY | Checker |

L4.2

Scale 1 : 5


C4
Steeles Ave
Messina Ave
Hiking Crt
Noranda Cres
Mews
Millhouse
Cooperage St
Fogerty St
Howland Cres
Jimmie McKerron Pond
Jimmie McKerron Valley West
Coastline Dr
Mediterranean Cres
Mountain Ridge Rd
Jimmie McKerron Valley
Financial Dr
Creditview Rd
Sid Manser Park
Mill Pond St
Jacob Brill Cres
Nova Scotia Rd
Mississauga Rd
Seapines Park
Seapines St
Miner St
Radial St
Coastline Dr
Jimmie McKerron Valley Expansion
Hallstone Rd
Legendary Circle
Legendary Valley
Linda Stevens Pond
Grouse Lane
Edmonton St
Black Bear Trail
January Crt
McNutt St
E'cole Secondaire Jeunes Sans Frontie'res
Xavier Crt
Tristan Crt
407
a
b
c
B5
D5
A-2022-0363
C5

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0364***
**WARD 2**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **2840388 ONTARIO INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Block 111, Plan M-653 , Part 4, Plan 43R-21300 municipally known as **4 RAVINDER COURT,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit interior side yard setbacks of 1.48m (4.86 ft.) and 1.31m (4.30 ft.) to a second storey whereas the by-law requires minimum side yard setbacks of 1.8m (5.91 ft.) to a second storey;

2. To permit a building height of 10.75m (35.27 ft.) whereas the by-law permits a maximum building height of 10.5m (34.45 ft.);

3. To permit lot coverage of 44.5% whereas the by-law permits a maximum lot coverage of 35%;

4. To permit a 0.19m (0.62 ft.) wide permeable landscape strip abutting the side lot line whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip abutting the side lot line.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

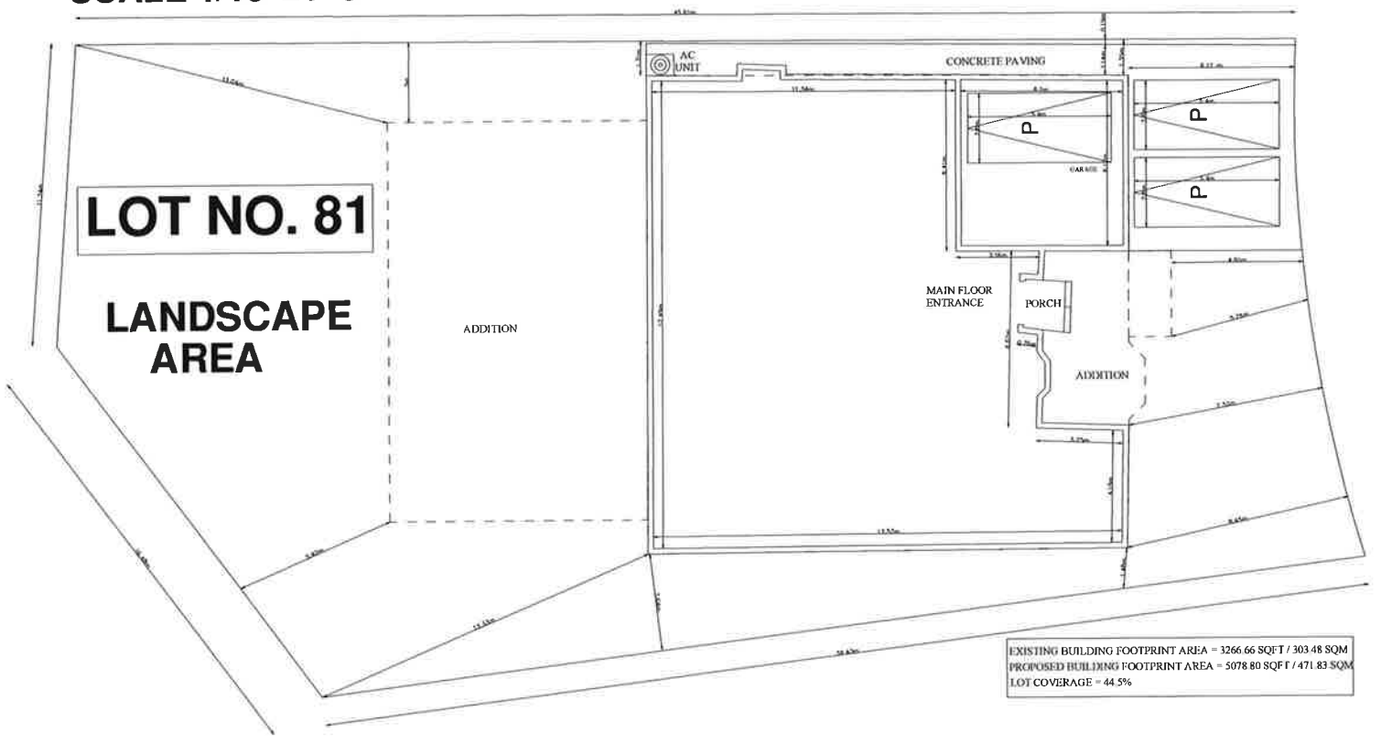
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

# PROPOSED SITE PLAN

SCALE 1/16"=1'-0"

## 4 RAVINDER COURT




GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDEN.
ANY REPRODUCTIONS MUST BE AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

PROPOSAL TO CONSTRUCT SECONDARY UNIT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C-3.2.5.1 OF THE BUILDING CODE

| SHIVANG TARIKA | | 106440 |
|---|---|---|
| NAME | SIGNATURE | BCIN |

SHIVANG TARIKA

| NO | REVISION / ISSUE | DATE |
|---|---|---|
| | | |

EXISTING SITE PLAN

4 RAVINDER COURT

EXISTING DWELLING

| PROJECT | SHEET |
|---|---|
| JUNE 2022 | A1 |
| SCALE 1/16"=1'-0" | |

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0364

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** 2840388 ONTARIO INC.
**Address** 4 RAVINDER CRT,
BRAMPTON, ON, L6Z3M8

**Phone #** 416-903-4715 **Fax #**
**Email** Ritusanjiv@gmail.com

2. **Name of Agent** Pardeep Gogna
**Address** 106 Morningside DrNorval, ON L0P 1K0

**Phone #** 416-821-2630 **Fax #**
**Email** Shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**

1) To permit an interior side yard setback of 1.48m and 1.31m whereas the by-law two storey requires 1.8 meter setback in both side yards.
2) To permit the maximum height of 10.75m whereas by-law the maximum height permitted is 10.50m.
3) To permit lot coverage of 44.5% whereas the by-law permits a maximum lot coverage of 35%
4) To permit a 0.19m permeable landscape strip abutting the side lot line whereas the by-law requires a minimum 0.6m

4. **Why is it not possible to comply with the provisions of the by-law?**

Because of the changes owner wants to construct on the site we are not able to comply those change within the by-laws.

5. **Legal Description of the subject land:**
**Lot Number** 81
**Plan Number/Concession Number** M653
**Municipal Address** 4 RAVINDER CRT, BRAMPTON, ON, L6Z3M8

6. **Dimension of subject land (in metric units)**
**Frontage** 19.66m
**Depth** 45.61m
**Area** 896.69

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area = 122.63 Sq Meter, Gross Floor Area= 369.59 Sq Meter, No. of Storeys = 2 storeys, Width = 10.97 Meter, Length = 17.88 Meter

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Indoor Swimming Pool = 147.09 Sq Meter
Front Foyer = 19.91 Sq Meter
Ground Floor Area = 431.57 Sq Meter
Gross Floor Area = 950.87 Sq Meter

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 6.19 m |
| **Rear yard setback** | 14.72 m |
| **Side yard setback** | 1.48 m |
| **Side yard setback** | 1.35 m |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 4.91 m |
| **Rear yard setback** | 7.58 m |
| **Side yard setback** | 1.48 m |
| **Side yard setback** | 1.35 m |

10. **Date of Acquisition of subject land:** 2014

11. **Existing uses of subject property:** Single Dwelling unit

12. **Proposed uses of subject property:** Single Dwelling unit

13. **Existing uses of abutting properties:** Residential

14. **Date of construction of all buildings & structures on subject land:** 2012

15. **Length of time the existing uses of the subject property have been continued:** 10 Years

16. (a) **What water supply is existing/proposed?**
**Municipal** ☑ **Other (specify)** _____
**Well** ☐

(b) **What sewage disposal is/will be provided?**
**Municipal** ☑ **Other (specify)** _____
**Septic** ☐

(c ) **What storm drainage system is existing/proposed?**
**Sewers** ☑
**Ditches** ☐ **Other (specify)** _____
**Swales** ☐

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☑ **Unknown** ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

Avninder Singh.
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton.

THIS 8 DAY OF November 20 22

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Avninder Singh., OF THE city OF Brampton.

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 8th DAY OF

Nov., 20 22

Jeanie Myers
A Commissioner etc.

Avninder Singh.
Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

_____ Zoning Officer

_____ Date

**DATE RECEIVED** NOVEMBER 8, 2022.

**Date Application Deemed Complete by the Municipality** _____

Revised 2020/01/07

BRAMPTON
Flower City
brampton.ca

# Notice of Decision

## Committee of Adjustment

**FILE NUMBER** A14-059 **HEARING DATE** APRIL 15, 2014

**APPLICATION MADE BY** MICHAEL & KATHERINE CAPKO

IN THE MATTER OF SECTION 45 OF THE PLANNING ACT; **ZONING BY-LAW 270-2004** AND AN APPLICATION FOR MINOR VARIANCE OR SPECIAL PERMISSION **FOR THE FOLLOWING VARIANCES ASSOCIATED WITH A PROPOSED TWO STOREY DETACHED DWELLING:**

1. **To allow a rear yard setback of 5.92m (19.42 feet);**
2. **To allow a maximum lot coverage of 44.5%.**

**(4 RAVINDER COURT – LOT 181, PLAN M-653)**

**THE REQUEST IS HEREBY** APPROVED SUBJECT TO THE FOLLOWING CONDITIONS **(APPROVAL IS GRANTED SUBJECT TO A BUILDING PERMIT BEING ISSUED BY THE CITY OF BRAMPTON WHERE REQUIRED AND DEVELOPMENT CHARGES MAY BE APPLICABLE)**

## SEE SCHEDULE "A" ATTACHED

REASONS:

This decision reflects that in the opinion of the Committee:

1. The variance authorized is desirable for the appropriate development or use of the land, building, or structure referred to in the application, and
2. The general intent and purpose of the zoning by-law and the City of Brampton Official Plan are maintained and the variance is minor.

**MOVED BY:** P.S. CHAHAL **SECONDED BY:** R. NURSE

**SIGNATURE OF CHAIR OF MEETING:**

**WE THE UNDERSIGNED HEREBY CONCUR IN THE DECISION**

**MEMBER** **MEMBER**

**MEMBER** **MEMBER**

**MEMBER**

**DATED THIS** 15TH **DAY OF** APRIL, 2014

***NOTICE IS HEREBY GIVEN THAT THE LAST DAY FOR APPEALING THIS DECISION TO THE ONTARIO MUNICIPAL BOARD WILL BE*** MAY 5, 2014.

I, JEANIE MYERS, SECRETARY-TREASURER OF THE COMMITTEE OF ADJUSTMENT CERTIFY THAT THE FOREGOING IS A CORRECT COPY OF THE DECISION OF THE COMMITTEE WITH RESPECT TO THE ABOVE APPLICATION.

Jeanie Myers
SECRETARY-TREASURER
COMMITTEE OF ADJUSTMENT

Flower City

brampton.ca

THIS IS SCHEDULE "A" REFERRED TO ON THE NOTICE OF DECISION

APPLICATION NO: **A14-059**

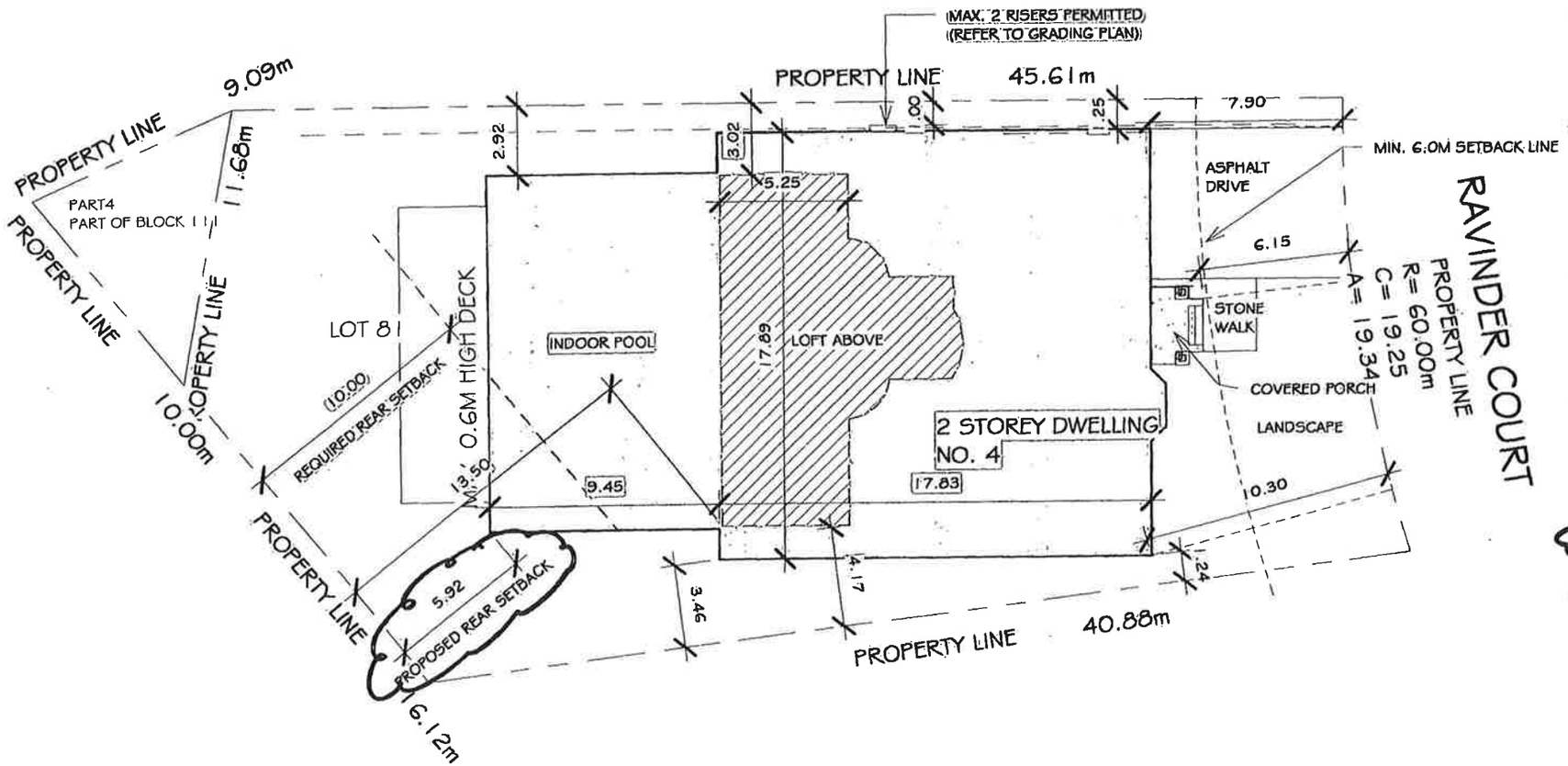
DATED: **APRIL 15, 2014**

Conditions:

1. That the total Gross Floor Area of the subject dwelling shall not exceed 512.46 square metres (5,516.07 square feet) as reflected in the plan submitted and attached to the Public Notice;

2. Failure to comply with the above condition shall render the variances null and void.

Jeanie Myers
Secretary-Treasurer
Committee of Adjustment




SITE PLAN

## LEGAL DESCRIPTION

LOT 81
REGISTERED PLAN 43M-653

## ZONING REQUIREMENTS

| | |
|---|---|
| ZONE R1B(1)- SECTION 343 | |
| MAX. PERMITTED COVERAGE | 35% |
| MINOR VARIANCE (FILE A176/88) | 39% COVERAGE GRANTED |
| MIN. REQUIRED INTERIOR LOT AREA | 630 SM |
| MIN. REQUIRED INTERIOR LOT FRONTAGE | 18.0M |
| MIN. REQUIRED LOT DEPTH | 35.0M |
| MIN. FRONT YARD SETBACK | 6.0M |
| MIN. SIDE YARD SETBACK FOR 1 STOREY | 1.2M |
| MIN. SIDE YARD SETBACK FOR 2 STOREY | 1.8M |
| MIN. REAR YARD SETBACK | 10.0M |
| MAX. BUILDING HEIGHT | 10.5M |
| MIN. LANDSCAPE OPEN SPACE | 50% |

## GROSS FLOOR AREA

| | |
|---|---|
| FIRST FLOOR AREA | 269.53 SM |
| POOL | 141.12 SM |
| LOFT AREA | 101.81 SM |
| TOTAL | 512.46 SM |

## PROPOSED LOT COVERAGE

| | |
|---|---|
| LOT AREA | 1,048.57 SM |
| GARAGE | 50.88 SM |
| FRONT PORCH AREA | 5.05 SM |
| FIRST FLOOR AREA | 269.53 SM |
| POOL AREA | 141.12 SM |
| LOT COVERAGE (44.5%) | 466.58 SM |

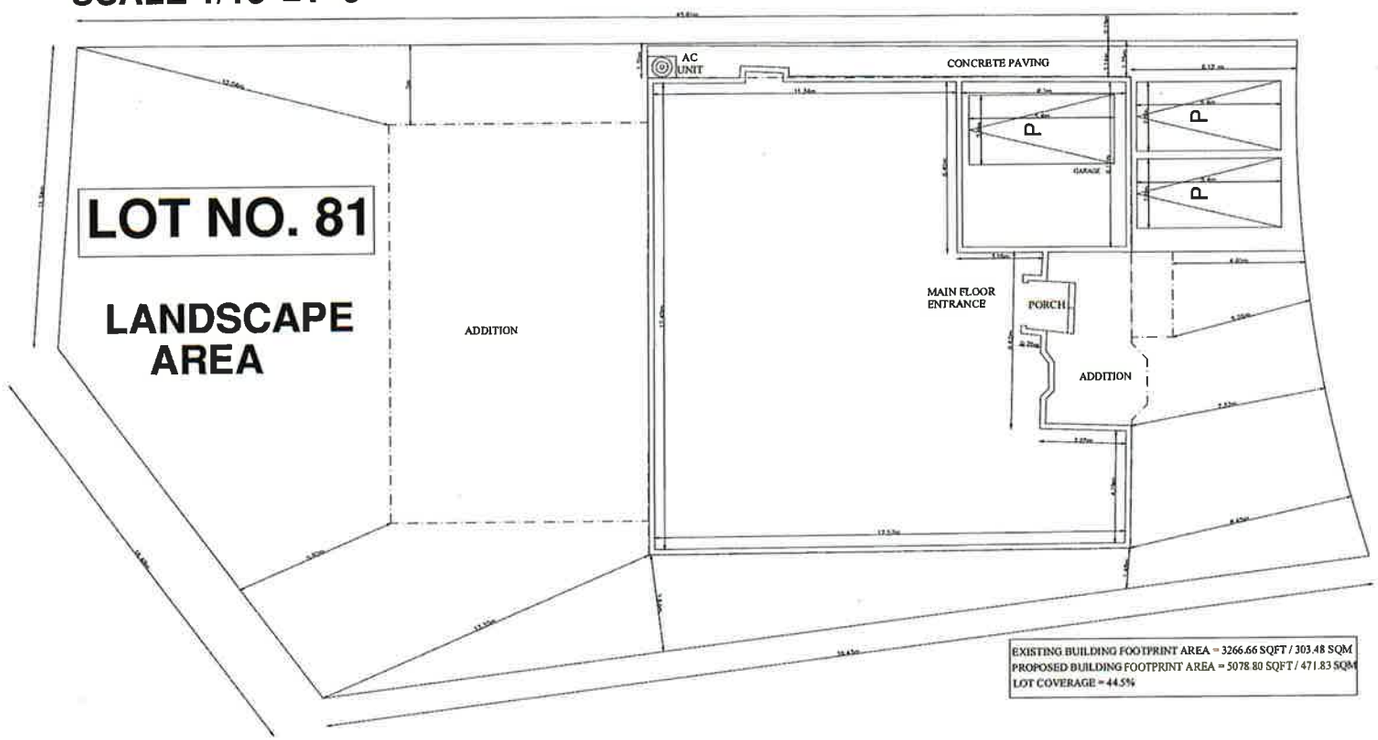
## LANDSCAPE CALCULATIONS

| | |
|---|---|
| FRONT YARD AREA | 172.70 SM |
| DRIVEWAY AREA | 50.43 SM |
| PORCH & STAIR AREA | 6.42 SM |
| WALK AREA | 7.75 SM |
| TOTAL | 64.60 SM |
| LANDSCAPE AREA (62.6%) | 108.10 SM |

# PROPOSED SITE PLAN

SCALE 1/16"=1'-0"

## 4 RAVINDER COURT




**GENERAL NOTES**

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDEN.
ANY REPRODUCTIONS MUST BE AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

**SCOPE OF WORK**

PROPOSAL TO CONSTRUCT SECONDARY UNIT.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C-3.2.5.1 OF THE BUILDING CODE

| SHIVANG TARIKA | | 106440 |
|---|---|---|
| NAME | SIGNATURE | BCIN |

SHIVANG TARIKA

| NO | REVISION / ISSUE | DATE |
|---|---|---|
| | | |
| | | |
| | | |

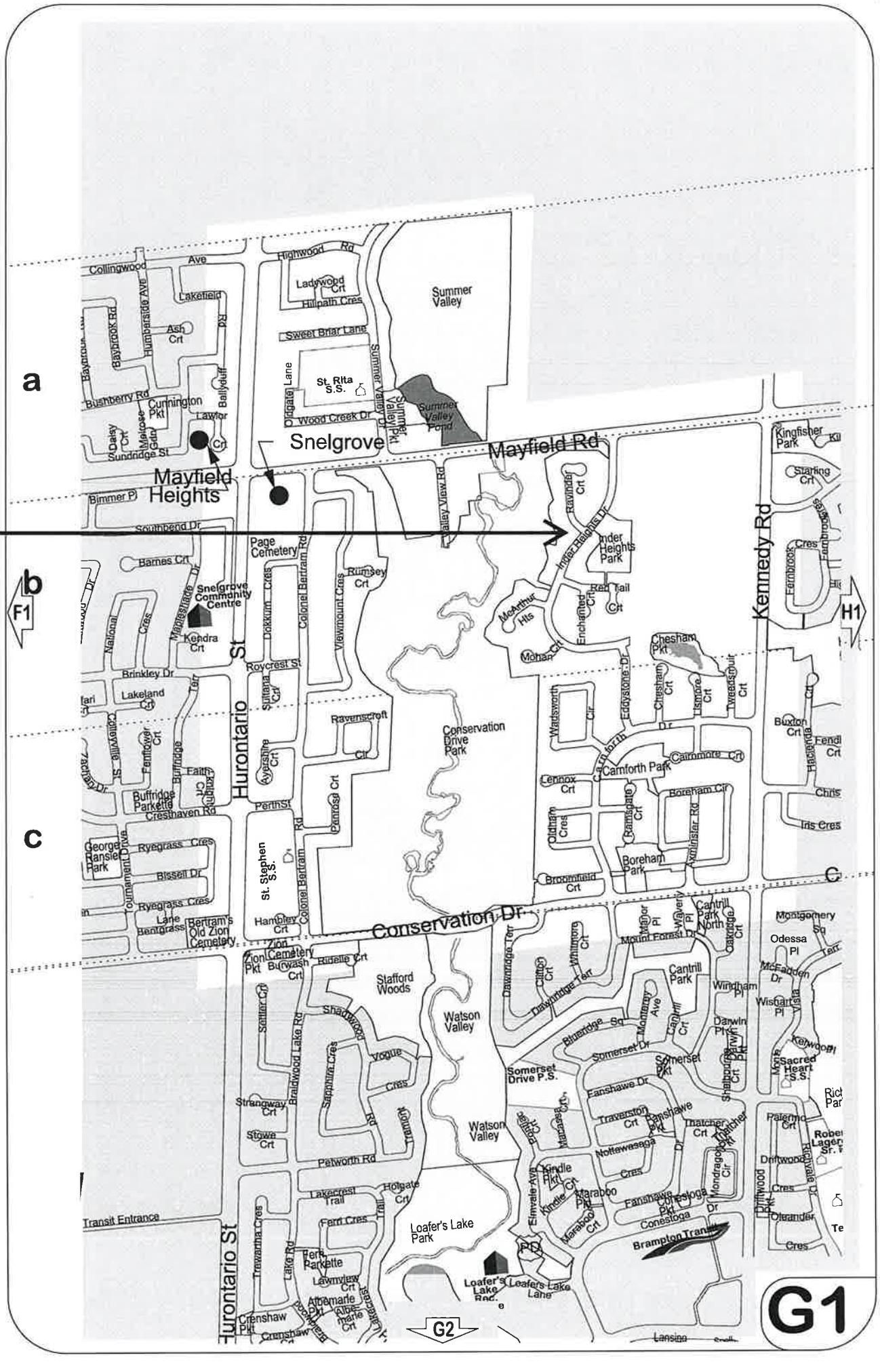
EXISTING SITE PLAN

4 RAVINDER COURT

EXISTING DWELLING

| PROJECT | SHEET |
|---|---|
| JUNE 2022 | A1 |
| SCALE 1/16"=1'-0" | |

A-2022-0364



a
b
c
F1
H1
G2
G1
Mayfield Heights
Snelgrove
Mayfield Rd
Kennedy Rd
Hurontario St
Conservation Dr
Summer Valley
Summer Valley Pond
St. Rita S.S.
Snelgrove Community Centre
Page Cemetery
Conservation Drive Park
Inder Heights Park
Camforth Park
Boreham Park
Cantrill Park
Stafford Woods
Watson Valley
Loafer's Lake Park
Loafer's Lake Rec.
Brampton Transit
Somerset Drive P.S.
Sacred Heart S.S.
St. Stephen S.S.
Bertram's Old Zion Cemetery
Zion Cemetery
Transit Entrance
Collingwood Ave
Highwood Rd
Ladywood Crt
Hillpath Cres
Sweet Briar Lane
Wood Creek Dr
Summer Valley Dr
Summer Valley Pkt
Lakefield Rd
Ash Crt
Bushberry Rd
Cunnington Pkt
Lawlor Crt
Sundridge St
Bimmer Pl
Southbend Dr
Barnes Crt
Kendra Crt
Brinkley Dr
Lakeland Crt
Roycrest St
Ravenscroft Cir
Ayershire Crt
Perth St
Cresthaven Rd
Ryegrass Cres
Bissell Dr
Hambley Crt
Zion Pkt
Burwash Crt
Ridelle Crt
Shadwood Rd
Vogue Cres
Strangway Crt
Stowe Crt
Petworth Rd
Lakecrest Trail
Holgate Crt
Ferri Cres
Ferri Parkette
Lawnview Crt
Albemarle Pkt
Crenshaw Pkt
Trewartha Cres
Lake Rd
Braidwood Lake Rd
Sapphire Cres
Tremont Rd
Dawnridge Terr
Whitmore Crt
Clifton Crt
Bluebridge Sq
Somerset Dr
Somerset Pkt
Fanshawe Dr
Traverston Crt
Thatcher Crt
Nottawasaga Cres
Kindle Pkt
Maraboo Pkt
Maraboo Crt
Conestoga Pkt
Conestoga Dr
Elmvale Ave
Mount Forest Dr
Cantrill Park North
Montgomery Sq
Odessa Pl
McFadden Dr
Windham Pl
Wishart Pl
Darwin Pl
Palermo Crt
Driftwood Cres
Oleander Cres
Kingfisher Park
Starling Crt
Fernbrook Cres
Ravinder Crt
Inder Heights Dr
Red Tail Crt
McArthur Hts
Mohan Crt
Enchanted Crt
Chesham Pkt
Chesham Crt
Lismore Crt
Tweedsmuir Crt
Wadsworth Cir
Eddystone Dr
Carnforth Dr
Cairnmore Crt
Lennox Crt
Boreham Cir
Oldham Cres
Ramsgate Crt
Axminster Rd
Broomfield Crt
Buxton Crt
Hacienda Crt
Iris Cres
Chris
Valley View Rd
Rumsey Crt
Colonel Bertram Rd
Viewmount Cres
Dokkum Cres
Sultana Crt
Penrose Crt
Buffridge Parkette
Faith Crt
Fenflower Crt
Colleyville St
Zachan Dr
Tournament Drive
Lane Bentgrass
Lake Rd
Trail
Lansing

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0365***
**WARD 5**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **RAJIV KRISHNA AND YASHIKAA ARORA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 107, Plan 43M-1818 municipally known as **2 INTRIQUE TRAIL,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a 0.18m (0.60 ft.) wide permeable landscape strip between the side lot line and the driveway whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip between the side lot line and the driveway;

2. To permit two (2) existing accessory structures (sheds) to be located in the exterior side yard whereas the by-law does not permit accessory structures in the exterior side yard;

3. To permit a side yard setback of 0.56m (1.84 ft.) to two (existing 2) accessory structures (sheds) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to an accessory structure.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

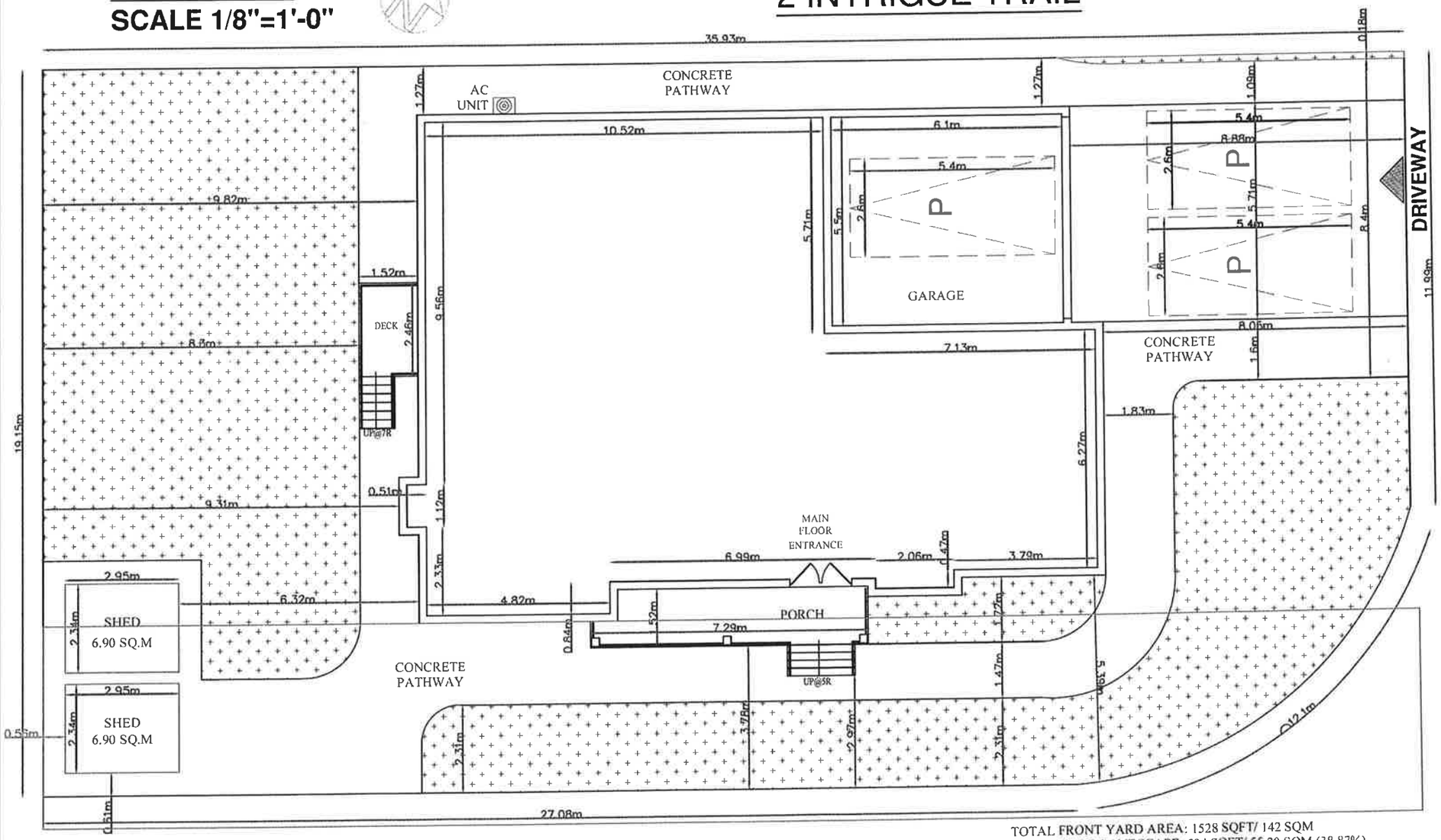
DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

# SITE PLAN
## SCALE 1/8"=1'-0"

# 2 INTRIGUE TRAIL




TOTAL FRONT YARD AREA: 1528 SQFT/ 142 SQM
FRONT YARD LANDSCAPE: 594 SQFT/ 55.20 SQM (38.87%)

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDEN.
ANY REPRODUCTIONS MUST BE AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

MINOR VARIANCE FOR FRONT YARD LANDSCAPE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV.C-3.2.5.1 OF THE BUILDING CODE

| NAME | SIGNATURE | BCIN |
|---|---|---|
| SHIVANG TARIKA | SHIVANG TARIKA | 106440 |

| NO | REVISION / ISSUE | DATE |
|---|---|---|
| | | |

SITE PLAN

CITY : BRAMPTON

2 INTRIGUE TRAIL

EXISTING DWELLING

| PROJECT | SHEET |
|---|---|
| OCT 2022 | A1 |
| SCALE 1/8"=1'-0" | |

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0365

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** Rajiv Krishna & Yashikaa Arora
   **Address** 2 Intrigue Trail, Brampton, L6X0W8, ON
   **Phone #** 6478304286 **Fax #**
   **Email** krishnar@gmail.com

2. **Name of Agent** Shivang Tarika
   **Address** 106 Morningside Dr, Georgetown, L7G0M2, ON
   **Phone #** 4168212630 **Fax #**
   **Email** shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**

1. To permit a 0.18m of permeable landscaping between the side lot line and the driveway , whereas the by-law requires a minimum 0.6m permeable landscaping between the side lot line and the driveway.
2. To permit two accessory structures to be located in the exterior side yard, whereas the by-law does not permit accessory structures in the exterior side yard.
3. To permit a setback of 0.56m to two existing accessory structures, whereas the by-law requires a minimum 0.6m setback to an accessory structure.

4. **Why is it not possible to comply with the provisions of the by-law?**

The property has hard surface in the front yard which is already constructed and owner would like to retail the existing condition on site

5. **Legal Description of the subject land:**
   **Lot Number** 107
   **Plan Number/Concession Number** M1818
   **Municipal Address** 2 Intrigue Trail, Brampton, ON, L6X0W8

6. **Dimension of subject land (in metric units)**
   **Frontage** 11.99m
   **Depth** 35.93m
   **Area** 666.79 Sqm

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Main Dwelling Unit & Deck

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

NA

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 8.05m |
| **Rear yard setback** | 8.3m |
| **Side yard setback** | 1.27m |
| **Side yard setback** | 3.78m |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 8.05m |
| **Rear yard setback** | 8.3m |
| **Side yard setback** | 1.27m |
| **Side yard setback** | 3.78m |

10. **Date of Acquisition of subject land:** 2019

11. **Existing uses of subject property:** Residential - Single Dwelling unit

12. **Proposed uses of subject property:** Residential - Single Dwelling Unit

13. **Existing uses of abutting properties:** Residential

14. **Date of construction of all buildings & structures on subject land:** 2013

15. **Length of time the existing uses of the subject property have been continued:** 9yrs

16. (a) **What water supply is existing/proposed?**

- **Municipal** ☑
- **Well** ☐
- **Other (specify)** _____

(b) **What sewage disposal is/will be provided?**

- **Municipal** ☑
- **Septic** ☐
- **Other (specify)** _____

(c ) **What storm drainage system is existing/proposed?**

- **Sewers** ☑
- **Ditches** ☐
- **Swales** ☐
- **Other (specify)** _____

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☑ **Unknown** ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

Arvinder Singh
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton.

THIS 8 DAY OF Nov, 2022

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Arvinder Singh, OF THE City OF Brampton.

IN THE Region OF Peel. SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 8th DAY OF

Nov., 2022

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J.M.

Arvinder Singh
Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

_____ _____
Zoning Officer Date

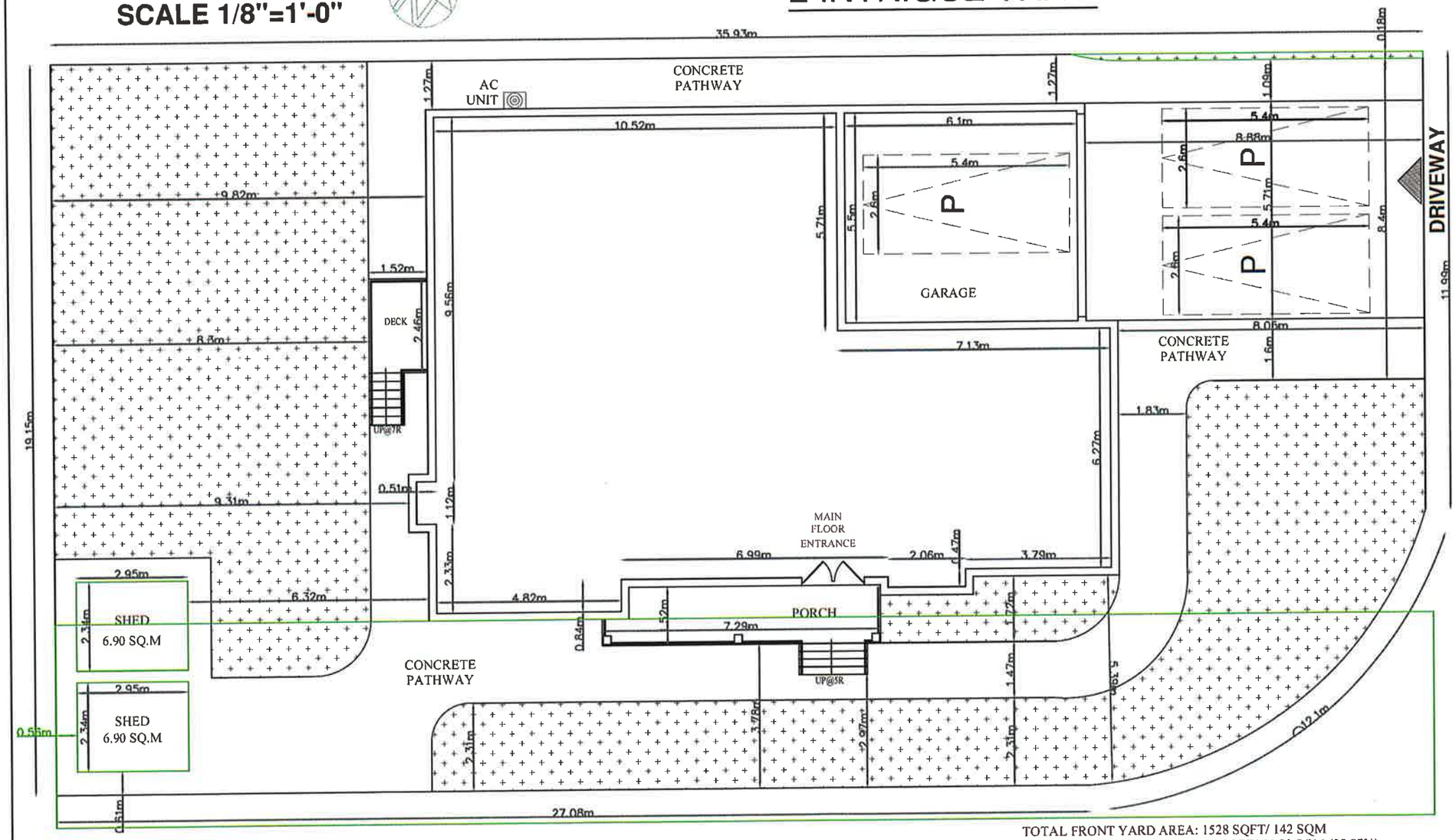
**DATE RECEIVED** November 8, 2022

**Date Application Deemed Complete by the Municipality** _____

Revised 2020/01/07

# SITE PLAN
## SCALE 1/8"=1'-0"

# 2 INTRIGUE TRAIL




**GENERAL NOTES**

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDEN.
ANY REPRODUCTIONS MUST BE AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

**SCOPE OF WORK**

MINOR VARIANCE FOR FRONT YARD LANDSCAPE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C-3.2.5.1 OF THE BUILDING CODE

| NAME | SIGNATURE | BCIN |
|---|---|---|
| SHIVANG TARIKA | SHIVANG TARIKA | 106440 |

| NO | REVISION / ISSUE | DATE |
|---|---|---|
| | | |

SITE PLAN

CITY : BRAMPTON

2 INTRIGUE TRAIL

EXISTING DWELLING

| PROJECT | SHEET |
|---|---|
| OCT 2022 | A1 |
| SCALE 1/8"=1'-0" | |

C2
Bovaird Dr
James Potter
Ashby Field Rd
Mount Pleasant Village Community Centre & Library
Andrew Mccandless Park
Andrew McCandless Pond
James Potter Rd
James Potter P.S.
Damatta Pond
Damat Park
Valleyway Dr
Creditview Rd
Laidlaw Park
Andrew Mccandless Valley
Mississauga Rd
Huttonville Cemetery
Williams Pkwy
Wolf Country Pond
Samuel Connor Pond
Wolf Country Valley
Lorenville P.S.
Emerick Pond
Emerick Channel
Ingleborough P.S.
Maxwell & Lois Rice Park
David Heggie Pond
Intrigue Pond
Intrigue Channel
Wolf Country Valley South
Haywood Pond
Abraham Block Pond
Arthur Warner Pond
Queen St
B3
D3
C4
C3
a
b
c
d
e

A-2022-0365

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0366***
**WARD 5**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **GURBINDER SINGH AND SANDEEP KAUR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 108, Plan 43M-1818 municipally known as **4 INTRIQUE TRAIL,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a driveway width of 8.89m (29.17 ft.) whereas the by-law permits a maximum driveway width of 6.17m (22 ft.);

2. To permit a 0.27m (0.89 ft.) wide permeable landscape strip between the side lot line and the driveway whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip between the side lot line and the driveway.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

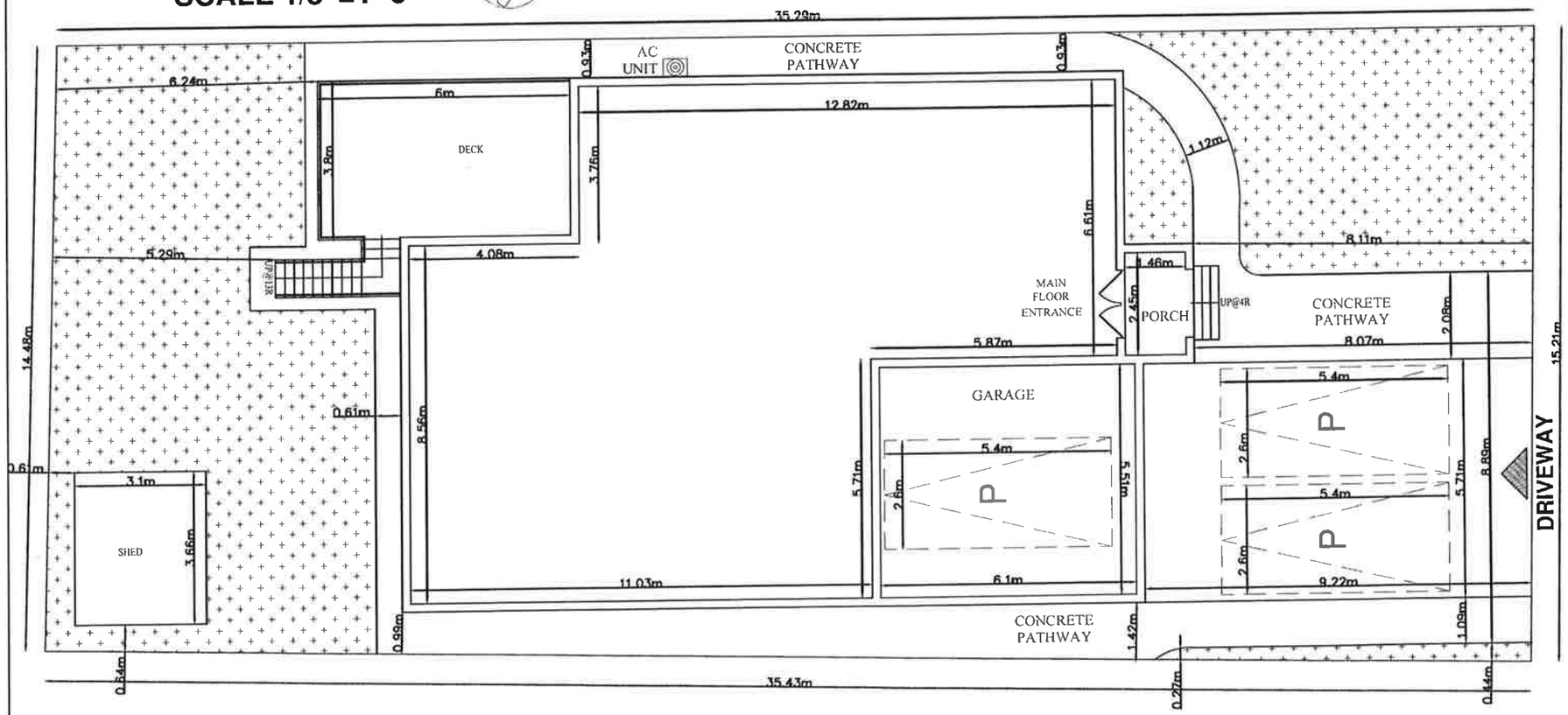
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

# SITE PLAN

**SCALE 1/8"=1'-0"**

## 4 INTRIGUE TRAIL




FRONT YARD AREA: 1502.00 SQFT/ 139.59 SQM
FRONT YARD LANDSCAPE: 565.06 SQFT/ 52.51 SQM
(37.62%)

**GENERAL NOTES**

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDEN.
ANY REPRODUCTIONS MUST BE AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

**SCOPE OF WORK**

MINOR VARIANCE FOR FRONT YARD LANDSCAPE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

**QUALIFICATION INFORMATION**
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV.C-3.2.5.1 OF THE BUILDING CODE

| SHIVANG TARIKA | | 106440 |
|---|---|---|
| NAME | SIGNATURE | BCIN |

SHIVANG TARIKA

| NO | REVISION / ISSUE | DATE |
|---|---|---|
| | | |

SITE PLAN

CITY : BRAMPTON

4 INTRIGUE TRAIL

EXISTING DWELLING

| PROJECT | SHEET |
|---|---|
| OCT 2022 | A1 |
| SCALE 1/8"=1'-0" | |

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0366

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** Gurbinder Singh, Sandeep Kaur
   **Address** 4 Intrigue Trail, Brampton, L6X0W8, ON
   **Phone #** 6478505686 **Fax #**
   **Email** gurbinder_mba@yahoo.co.in

2. **Name of Agent** Shivang tarika
   **Address** 106 Morningside Dr, Georgetown, L7G0M2, ON
   **Phone #** 4168212630 **Fax #**
   **Email** shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**

1) To permit a driveway width of 8.89m whereas the by-law permits a maximum driveway width of 6.17m.

2) To permit a 0.27m of permeable landscaping between the side lot line and the driveway , whereas the by-law requires a minimum 0.6m permeable landscaping between the side lot line and the driveway.

4. **Why is it not possible to comply with the provisions of the by-law?**

The property has hard surface in the front yard which is already constructed and owner would like to retail the existing condition on site

5. **Legal Description of the subject land:**
   **Lot Number** 108
   **Plan Number/Concession Number** M1818
   **Municipal Address** 4 Intrigue Trail

6. **Dimension of subject land (in metric units)**
   **Frontage** 15.21m
   **Depth** 35.29m
   **Area** 536.76

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Main Dwelling unit, Shed & Deck.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

NA

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 8.11m |
| **Rear yard setback** | 6.24m |
| **Side yard setback** | 0.93m |
| **Side yard setback** | 0.99m |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 8.11m |
| **Rear yard setback** | 6.24m |
| **Side yard setback** | 0.93m |
| **Side yard setback** | 0.99m |

10. **Date of Acquisition of subject land:** 2019

11. **Existing uses of subject property:** Residential - Single Dwelling Unit

12. **Proposed uses of subject property:** Residential - Single Dwelling Unit

13. **Existing uses of abutting properties:** Residential

14. **Date of construction of all buildings & structures on subject land:** 2013

15. **Length of time the existing uses of the subject property have been continued:** 9yrs

16. (a) **What water supply is existing/proposed?**

- **Municipal** ☑
- **Well** ☐
- **Other (specify)** _____

(b) **What sewage disposal is/will be provided?**

- **Municipal** ☑
- **Septic** ☐
- **Other (specify)** _____

(c ) **What storm drainage system is existing/proposed?**

- **Sewers** ☑
- **Ditches** ☐
- **Swales** ☐
- **Other (specify)** _____

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Main Dwelling unit, Shed & Deck.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

NA

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 8.11m |
| **Rear yard setback** | 6.24m |
| **Side yard setback** | 0.93m |
| **Side yard setback** | 0.99m |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 8.11m |
| **Rear yard setback** | 6.24m |
| **Side yard setback** | 0.93m |
| **Side yard setback** | 0.99m |

10. **Date of Acquisition of subject land:** 2019

11. **Existing uses of subject property:** Residential - Single Dwelling Unit

12. **Proposed uses of subject property:** Residential - Single Dwelling Unit

13. **Existing uses of abutting properties:** Residential

14. **Date of construction of all buildings & structures on subject land:** 2013

15. **Length of time the existing uses of the subject property have been continued:** 9yrs

16. (a) **What water supply is existing/proposed?**
- **Municipal** ☑
- **Well** ☐
- **Other (specify)** _____

(b) **What sewage disposal is/will be provided?**
- **Municipal** ☑
- **Septic** ☐
- **Other (specify)** _____

(c ) **What storm drainage system is existing/proposed?**
- **Sewers** ☑
- **Ditches** ☐
- **Swales** ☐
- **Other (specify)** _____

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☑ **Unknown** ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

Shivang Tarika
Signature of Applicant(s) or Authorized Agent

DATED AT THE city OF Halton Hills

THIS 04 DAY OF November, 20 22.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Avninder Singh, OF THE City OF Brampton

IN THE region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 8TH DAY OF
Nov., 20 22.

Jeanie Cecilia Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Avninder Singh
Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

_____ Zoning Officer

_____ Date

**DATE RECEIVED** November 8, 2022

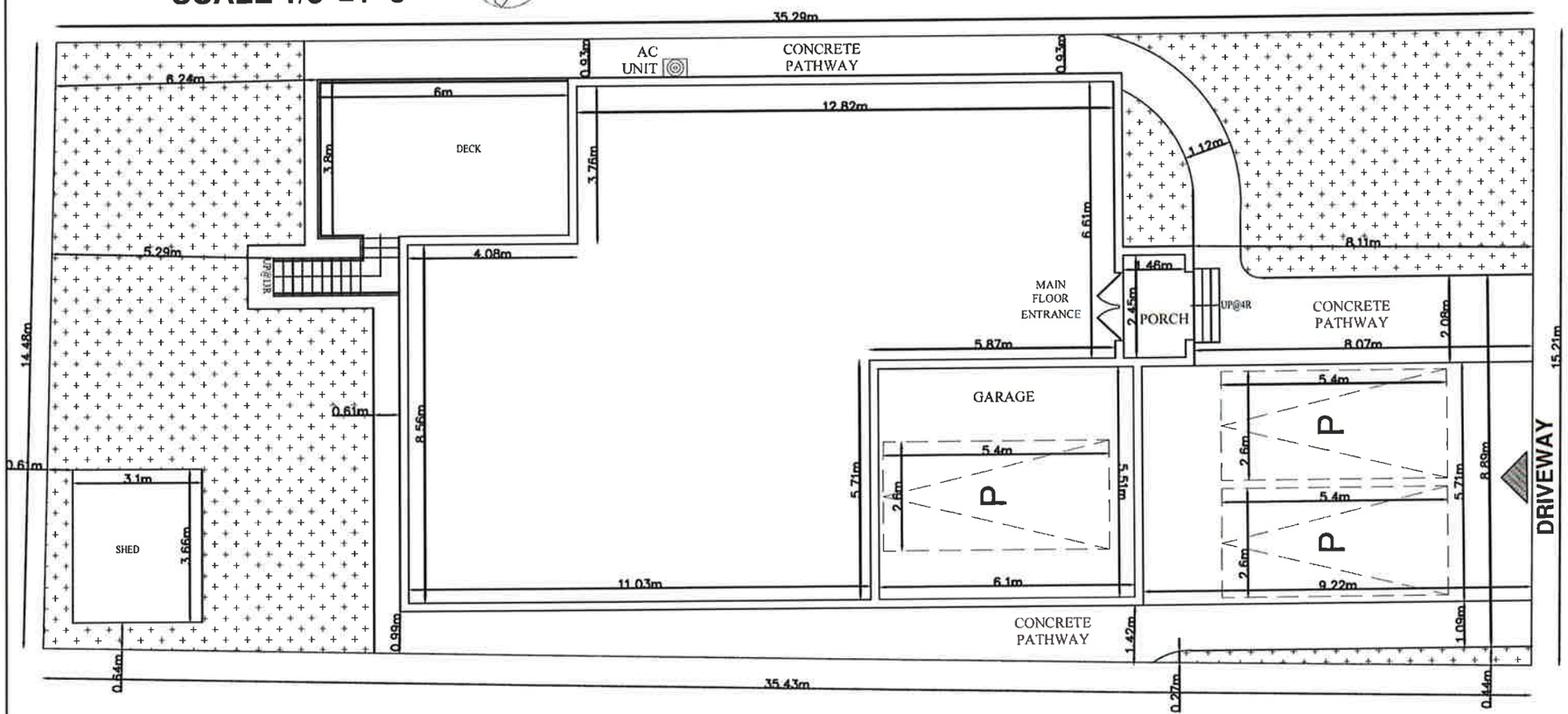
**Date Application Deemed Complete by the Municipality** _____

Revised 2020/01/07

# SITE PLAN

**SCALE 1/8"=1'-0"**

## 4 INTRIGUE TRAIL




FRONT YARD AREA: 1502.00 SQFT/ 139.59 SQM
FRONT YARD LANDSCAPE: 565.06 SQFT/ 52.51 SQM
(37.62%)

**GENERAL NOTES**

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDEN.
ANY REPRODUCTIONS MUST BE AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

**SCOPE OF WORK**

MINOR VARIANCE FOR FRONT YARD LANDSCAPE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C-3.2.5.1 OF THE BUILDING CODE

| SHIVANG TARIKA | | 106440 |
|---|---|---|
| NAME | SIGNATURE | BCIN |

SHIVANG TARIKA

| NO | REVISION / ISSUE | DATE |
|---|---|---|
| | | |

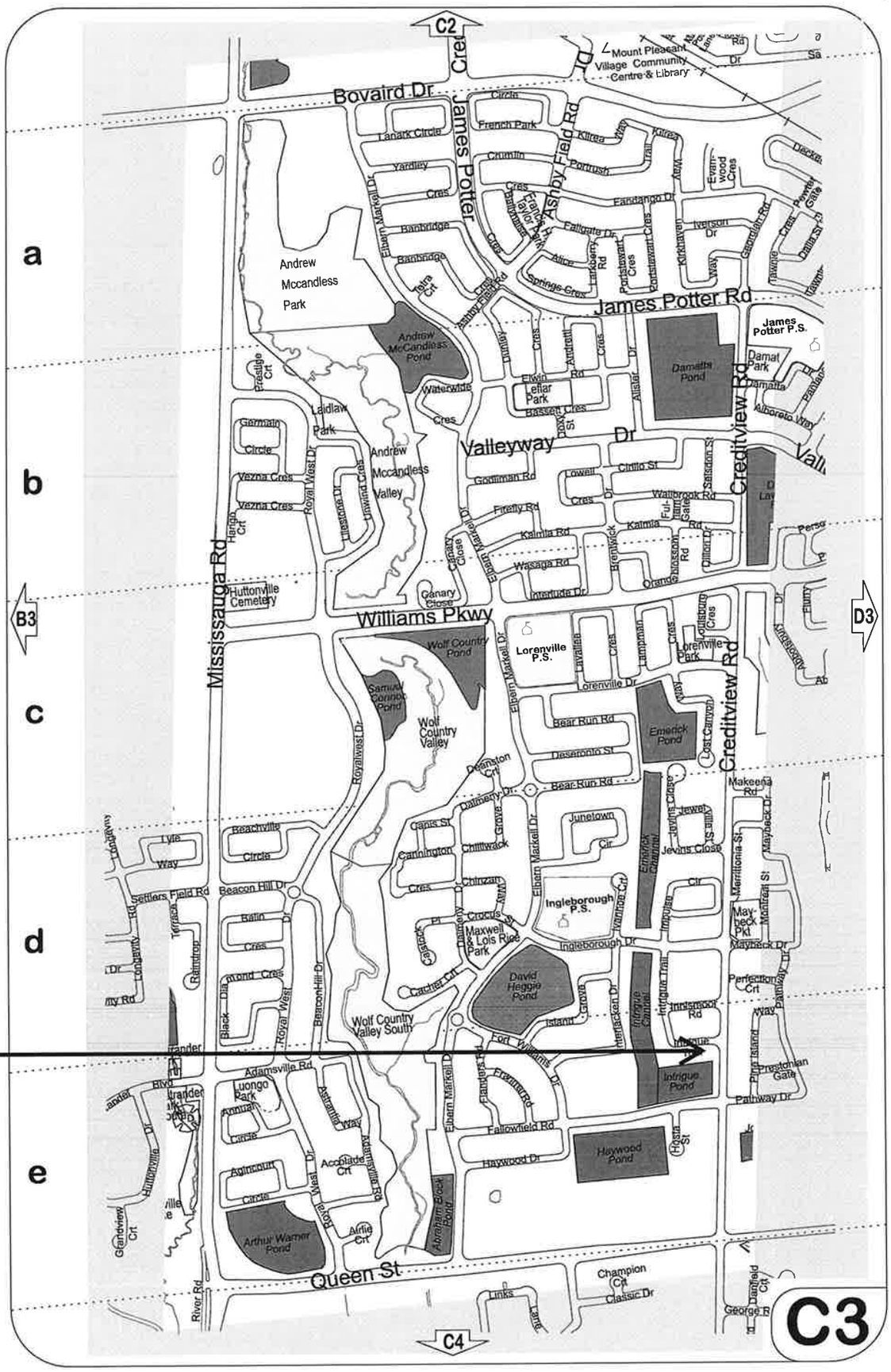
SITE PLAN

CITY : BRAMPTON

4 INTRIGUE TRAIL

EXISTING DWELLING

| PROJECT | SHEET |
|---|---|
| OCT 2022 | A1 |
| SCALE 1/8"=1'-0" | |


C2
Bovaird Dr
James Potter Rd
Ashby Field Rd
Mount Pleasant Village Community Centre & Library
Andrew Mccandless Park
Andrew Mccandless Pond
James Potter P.S.
Damatta Park
Damatta Pond
Creditview Rd
Valleyway Dr
Andrew Mccandless Valley
Laidlaw Park
Mississauga Rd
Huttonville Cemetery
Williams Pkwy
B3
D3
Lorenville P.S.
Wolf Country Pond
Samuel Dennis Pond
Wolf Country Valley
Emerick Pond
Bear Run Rd
Ingleborough P.S.
Maxwell & Lois Rice Park
David Heggie Pond
Wolf Country Valley South
Intrigue Pond
Haywood Pond
Adamsville Rd
Luongo Park
Arthur Warner Pond
Abraham Brick Pond
Queen St
Champion Cir
Classic Dr
C4
C3
A-2022-0366

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0367***
**WARD 9**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **TAN DAI HUYNH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 60, Plan 43M-1934 municipally known as **9 BROWN BUSH WAY,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an exterior side yard setback of 1.73m (5.68 ft.) to an addition (enclosed below grade entrance) whereas the by-law requires a minimum exterior side yard setback of 3.0m (93.84 ft.);

2. To permit 0.0m of permeable landscaping between the side lot line and the driveway whereas the by-law requires a minimum 0.6m (1.97 ft.) wide permeable landscape strip between the side lot line and the driveway.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  File Number: _____
Application for Consent: NO  File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

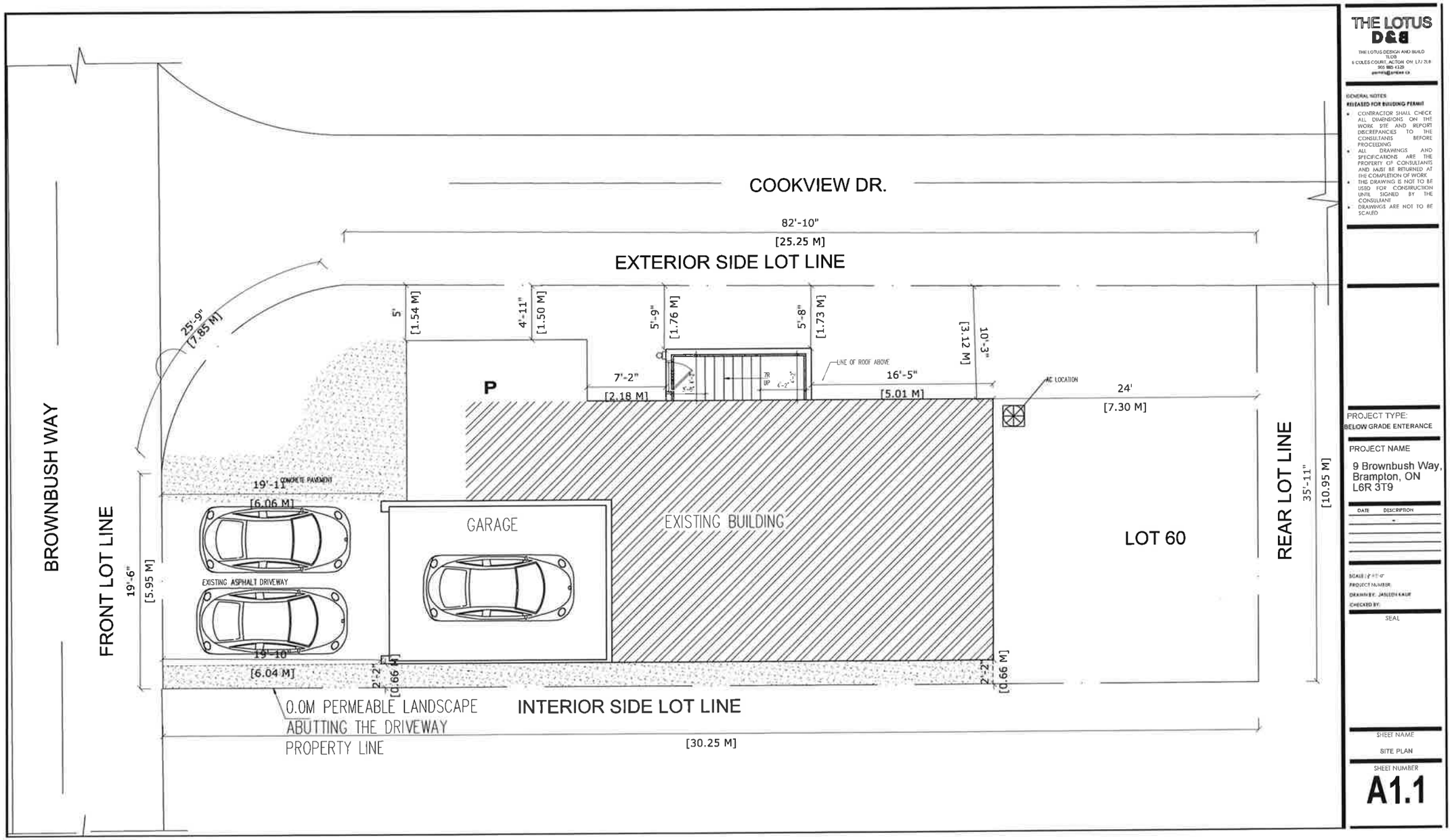
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




THE LOTUS D&B

THE LOTUS DESIGN AND BUILD LTD.
6 COLES COURT, ACTON ON L7J 2L8
905 880 4328

GENERAL NOTES:

RELEASED FOR BUILDING PERMIT

- CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK
- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT
- DRAWINGS ARE NOT TO BE SCALED

PROJECT TYPE:
BELOW GRADE ENTERANCE

PROJECT NAME
9 Brownbush Way, Brampton, ON L6R 3T9

| DATE | DESCRIPTION |
|---|---|
| - | |

SCALE: 1/8"=1'-0"
PROJECT NUMBER:
DRAWN BY: JASLEEN KAUR
CHECKED BY:

SEAL

SHEET NAME
SITE PLAN

SHEET NUMBER
A1.1

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html** .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

FILE NUMBER: A-2022-0367

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

## APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** TAN DAI HUYNH, THI MY YEN LE
   **Address** 9 BROWNBUSH WAY,
   BRAMPTON, ON, L6R3T9
   **Phone #** (647) 262-8029 **Fax #**
   **Email** TANDAIHUYNH@HOTMAIL.COM

2. **Name of Agent** ARPANA SAINI
   **Address** 6 COLES COURT , ACTON, ON, L7J 2L8
   **Phone #** (647) 545-9091 **Fax #**
   **Email** Permits@ambee.ca

3. **Nature and extent of relief applied for (variances requested):**
   COVERED BELOW GRADE ENTERANCE WHERE ENTERANCE IS NOT PERMITTED
   SETBACK FROM EXTERIOR SIDE LOT LINE
   TO PERMIT AN ADDITION TO THE EXTERIOR SIDE YARD WITH A SIDE YARD SETBACK OF 1.73 M.

4. **Why is it not possible to comply with the provisions of the by-law?**
   PROPOSED BELOW GRADE ENTRANCE IS NOT COMPLY WITH THE BYLAW REQUIREMENTS

5. **Legal Description of the subject land:**
   **Lot Number** 60
   **Plan Number/Concession Number** PLAN M1934 LOT 60
   **Municipal Address** 9 BROWNBUSH WAY

6. **Dimension of subject land (in metric units)**
   **Frontage** 13.8 m
   **Depth** 30.25 m
   **Area** 328.29 sq m

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

2 STOREY BRICK DWELLING
GROUND FLOOR AREA= 128.60 SQ M
GROSS FLOOR AREA=287.45 SQ M

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

ENCLOSED BELOW GARDE ENTERANCE IN EXTERIOR SIDE YARD
FLOOR AREA=5.71 SQ M
LENGTH OF ENCLOSED STAIRS=4.01M
WIDTH =1.42 M
SETBACK FROM EXTERIOR SIDE YARD= 1.76

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 6.06m |
| **Rear yard setback** | 7.30 m |
| **Side yard setback** | 3.12m |
| **Side yard setback** | 0.66 m |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 6.06 m |
| **Rear yard setback** | 7.30 m |
| **Side yard setback** | 1.76 m |
| **Side yard setback** | 0.66 m |

10. **Date of Acquisition of subject land:** Oct 2017

11. **Existing uses of subject property:** RESIDENTIAL

12. **Proposed uses of subject property:** RESIDENTIAL

13. **Existing uses of abutting properties:** RESIDENTIAL

14. **Date of construction of all buildings & structures on subject land:** 2015

15. **Length of time the existing uses of the subject property have been continued:** 7 years.

16. (a) **What water supply is existing/proposed?**
**Municipal** ☑ **Other (specify)** _____
**Well** ☐

(b) **What sewage disposal is/will be provided?**
**Municipal** ☑ **Other (specify)** _____
**Septic** ☐

(c ) **What storm drainage system is existing/proposed?**
**Sewers** ☑
**Ditches** ☐ **Other (specify)** _____
**Swales** ☐

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☑ **Unknown** ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

ARPANA SAINI Arpana.
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON.

THIS 8th DAY OF NOVEMBER, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, ARPANA SAINI, OF THE TOWN OF ACTON

IN THE REGION OF HALTON HILLS SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 8th DAY OF
Nov., 2022

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J. M.

ARPANA SAINI Arpana.
Signature of Applicant or Authorized Agent

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** R1E 9 1404

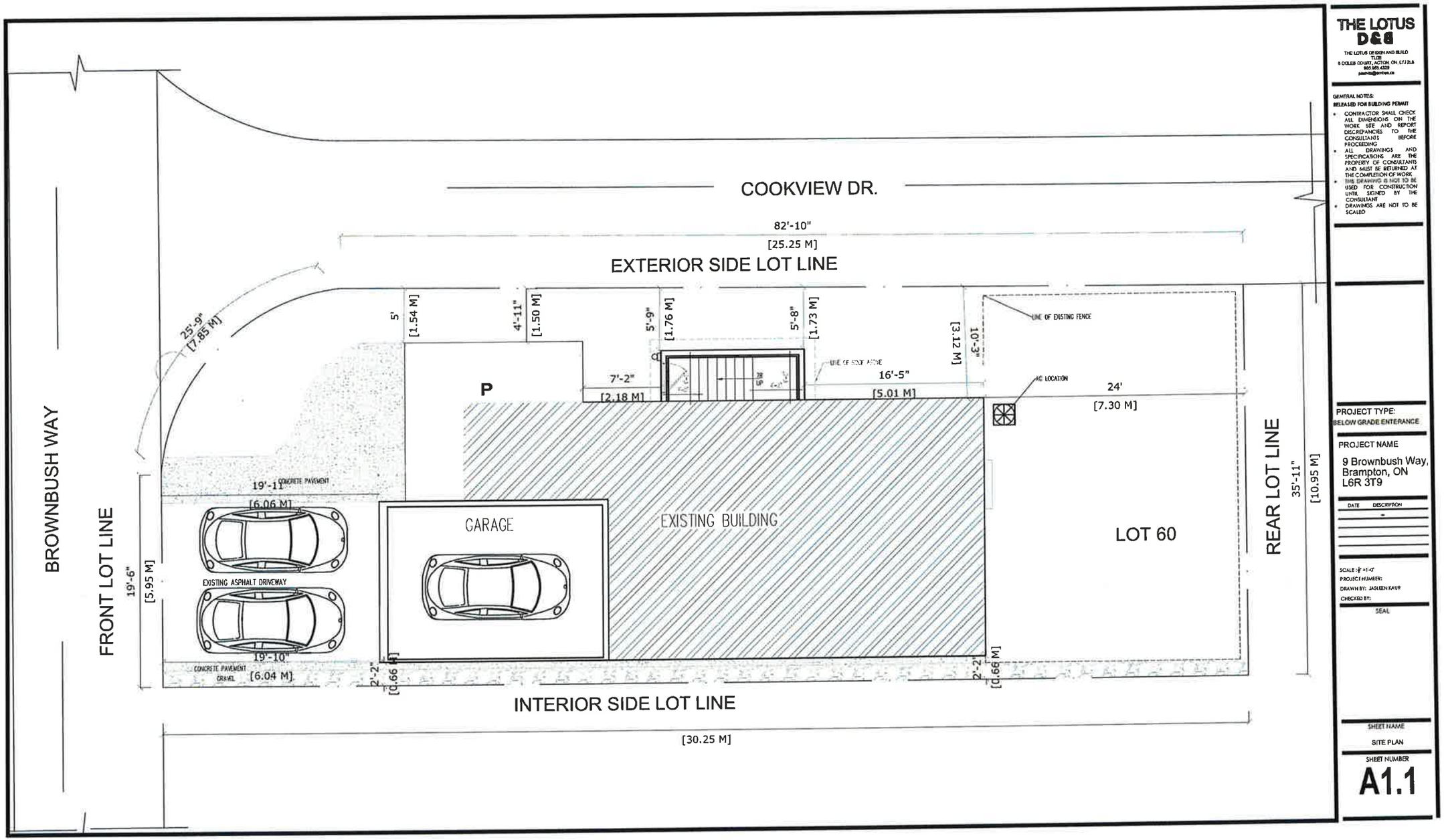
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Rose Bruno
Zoning Officer

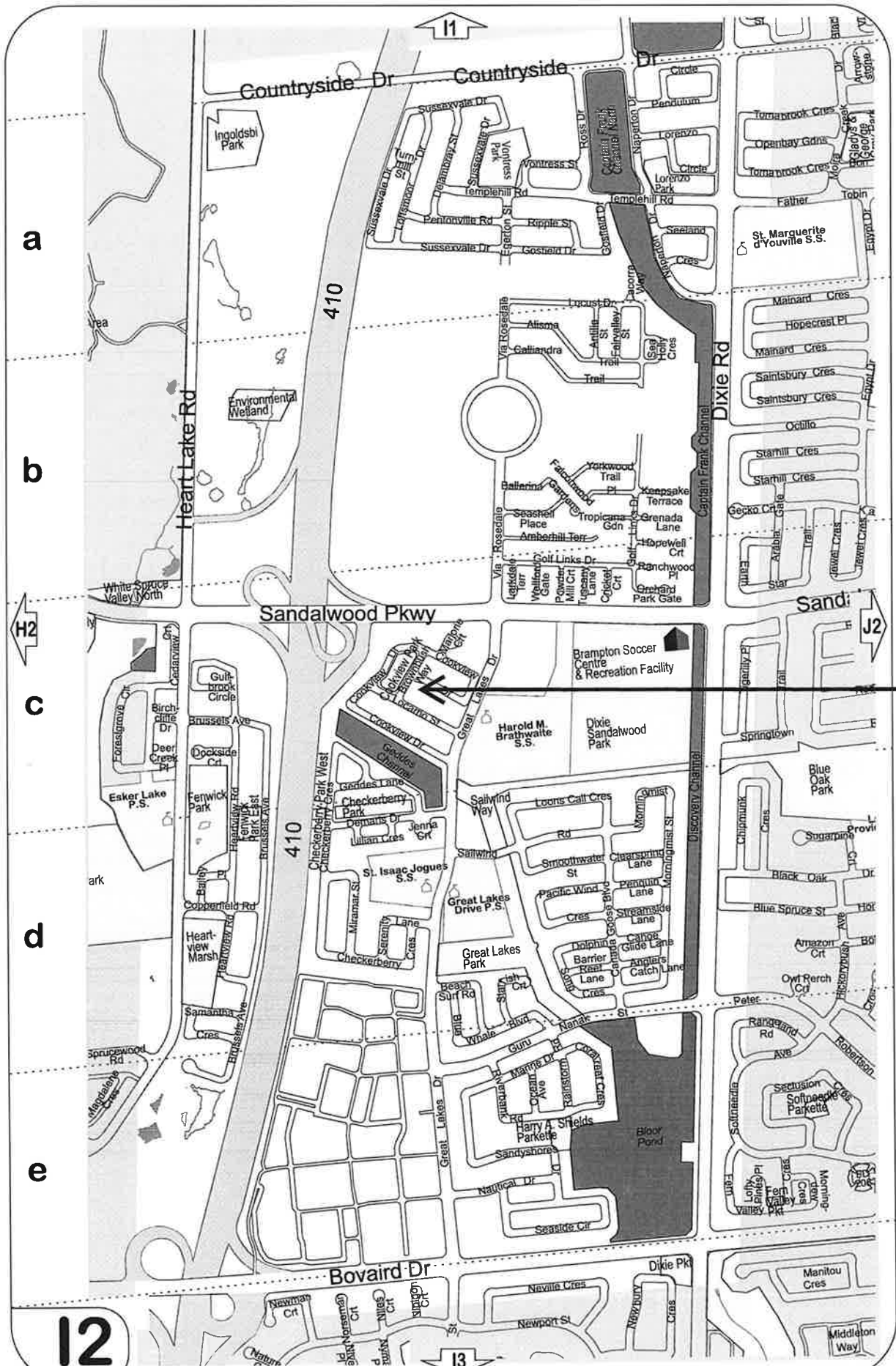
November 8,2022
Date

**DATE RECEIVED** November 8, 2022

Revised 2022/02/17


COOKVIEW DR.
82'-10"
[25.25 M]
EXTERIOR SIDE LOT LINE
BROWNBUSH WAY
FRONT LOT LINE
REAR LOT LINE
INTERIOR SIDE LOT LINE
25'-9"
[7.85 M]
5'
[1.54 M]
4'-11"
[1.50 M]
5'-9"
[1.76 M]
5'-8"
[1.73 M]
[3.12 M]
10'-3"
LINE OF EXISTING FENCE
LINE OF ROOF ABOVE
AC LOCATION
7'-2"
[2.18 M]
16'-5"
[5.01 M]
24'
[7.30 M]
P
19'-11"
CONCRETE PAVEMENT
[6.06 M]
EXISTING ASPHALT DRIVEWAY
19'-10"
CONCRETE PAVEMENT
GRAVEL
[6.04 M]
19'-6"
[5.95 M]
GARAGE
EXISTING BUILDING
LOT 60
35'-11"
[10.95 M]
2'-2"
[0.66 M]
2'-2"
[0.66 M]
[30.25 M]
THE LOTUS
D&G
THE LOTUS DESIGN AND BUILD
GENERAL NOTES:
RELEASED FOR BUILDING PERMIT
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT
DRAWINGS ARE NOT TO BE SCALED
PROJECT TYPE:
BELOW GRADE ENTERANCE
PROJECT NAME
9 Brownbush Way,
Brampton, ON
L6R 3T9
DATE
DESCRIPTION
PROJECT NUMBER:
DRAWN BY: JASLEEN KAUR
CHECKED BY:
SEAL
SHEET NAME
SITE PLAN
SHEET NUMBER
A1.1

TOP OF PLATE
FINE SECOND FLOOR
FINE GROUND FLOOR PORCH LEVEL
FINE GRADE
TOP OF SLAB
FINE GRADE
EXISTING WINDOW
25"X57"
49"X57"
F.G
25"X60"
49"X60"
6" WOOODEN STUD WALL AROUND THE STAIRS WITH VINYL CLADDING
THE LOTUS D&B
THE LOTUS DESIGN AND BUILD
GENERAL NOTES
RELEASED FOR BUILDING PERMIT
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING
ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT
DRAWINGS ARE NOT TO BE SCALED
PROJECT TYPE:
BELOW GRADE ENTERANCE
PROJECT NAME
9 Brownbush Way, Brampton, ON L6R 3T9
DATE
DESCRIPTION
SCALE: 3/16" =1'-0"
PROJECT NUMBER:
DRAWN BY: JASLEEN KAUR
CHECKED BY:
SEAL
SHEET NAME
SIDE ELEVATION
SHEET NUMBER
A1.2


I1
I2
I3
H2
J2
a
b
c
d
e
Countryside Dr
Countryside Dr
Ingoldsbi Park
Heart Lake Rd
410
Environmental Wetland
White Spruce Valley North
Sandalwood Pkwy
Dixie Rd
Captain Frank Channel
St. Marguerite d'Youville S.S.
Brampton Soccer Centre & Recreation Facility
A-2022-0367
Harold M. Brathwaite S.S.
Dixie Sandalwood Park
Esker Lake P.S.
St. Isaac Jogues S.S.
Great Lakes Drive P.S.
Great Lakes Park
Harry A. Shields Parkette
Bloor Pond
Discovery Channel
Geddes Channel
Blue Oak Park
Fern Valley Park
Bovaird Dr
Dixie Pkwy
Manitou Cres
Middleton Way
Newport St
Neville Cres
Templehill Rd
Sussexvale Dr
Ross Dr
Napoleon Dr
Lorenzo Park
Pendulum Circle
Lorenzo Circle
Tomabrook Cres
Openbay Gdns
Father Tobin
Mainard Cres
Hopecrest Pl
Saintsbury Cres
Ocbillo
Starhill Cres
Gecko Crt
Arabia Trail
Jewel Cres
Laurel Creek
Earth Star
Via Rosedale
Locust Dr
Alisma
Calliandra
Trail
Antille St
Fairyvalley St
Sea Holly Cres
Jacorra Way
Yorkwood Trail Pl
Keepsake Terrace
Grenada Lane
Tropicana Gdn
Seashell Place
Amberhill Terr
Hopewell Crt
Ranchwood Pl
Orchard Park Gate
Golf Links Dr
Lakeside Terr
Wellington Gate
Powder Mill Crt
Tuscany Lane
Cricket Crt
Ballerina
Fairlawn Wood
Garrison Crt
Crookview Dr
Great Lakes Dr
Crookview Park
Brownhurst Way
Chatsworth Crt
Geddes Lane
Checkerberry Park West
Checkerberry Park
Checkerberry Cres
Dennans Dr
Jenna Crt
Lillian Cres
Miramar St
Serenity Lane
Cres
Sailwind Way
Loons Call Cres
Morningmist St
Smoothwater St
Clearspring Lane
Pacific Wind Cres
Penguin Lane
Streamside Lane
Goose Blvd
Dolphin Barrier Reef Cres
Caribe Glide Lane
Anglers Catch Lane
Beach Surf Rd
Starfish Crt
Whale Blvd
Nanak
Guru
Marine Dr
Coastal Cres
Rainstorm Rd
Ocean Ave
Sandyshores
Nautical Dr
Seaside Cir
Guilbrook Circle
Brussels Ave
Dockside Crt
Ferwick Park
Ferwick Park East
Heartview Rd
Heartview Marsh
Copperfield Rd
Bailey Pl
Samantha Cres
Brussels Ave
Spruceswood Rd
Madeleine Cres
Cedarview Crt
Cedarview Dr
Birchcliffe Dr
Deer Creek Pl
Forestgrove Crt
Springtown
Sugarpine Crt
Chipmunk Cres
Black Oak Dr
Blue Spruce St
Amazon Crt
Owl Perch Crt
Hickorybush
Peter St
Rangeland Rd
Robertson Ave
Softmeadow Parkette
Seclusion Crt
Softmeadow Crt
Morningdew Cres
Valley Pkt
Fern Valley Cres
Newman Crt
Norseman Crt
Nile Crt
Kingston Crt
Newbury Cres

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0368***
**WARD 10**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **BHUPINDERJEET DHILLON AND HARJINDER DHILLON** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 60, Plan 43M-1934 municipally known as **12 MOONLIGHT PLACE,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a building height of 13.26m (45.50 ft.) whereas the by-law permits a maximum building height of 10.6m (34.78 ft.);

2. To permit a fence height of 2.0m (6.56 ft.) in the minimum required front yard whereas the by-law permits a maximum height of 1.0m (3.28 ft.) for a fence in the minimum required front yard;

3. To permit a fence height of 2.5m (8.20 ft.) in the side and rear yards whereas the by-law permits a maximum height of 2.0m (6.56 ft.) for a fence in the side and rear yards;

4. To permit an accessory structure (cabana) having a gross floor area of 30 sq. m (322.92 sq. ft.) whereas the by-law permits a maximum gross floor area of 23 sq. m (247.57 sq. ft.) for an individual accessory structure;

5. To permit an accessory structure (cabana) having a height of 5.0m (16.40 ft.) to the top of the flat roof whereas the by-law permits a maximum height of 3.5m (11.48 ft.) for a flat roof;

6. To provide 67% of the required front yard as landscaped open space whereas the by-law requires a minimum of 70% of the required front yard to be landscaped open space;

7. To permit a height of 2.74m (9.0 ft.) for garage doors whereas the by-law permits a maximum garage door height of 2.4m (7.87 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

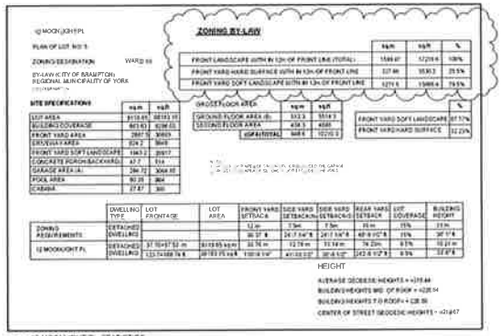
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

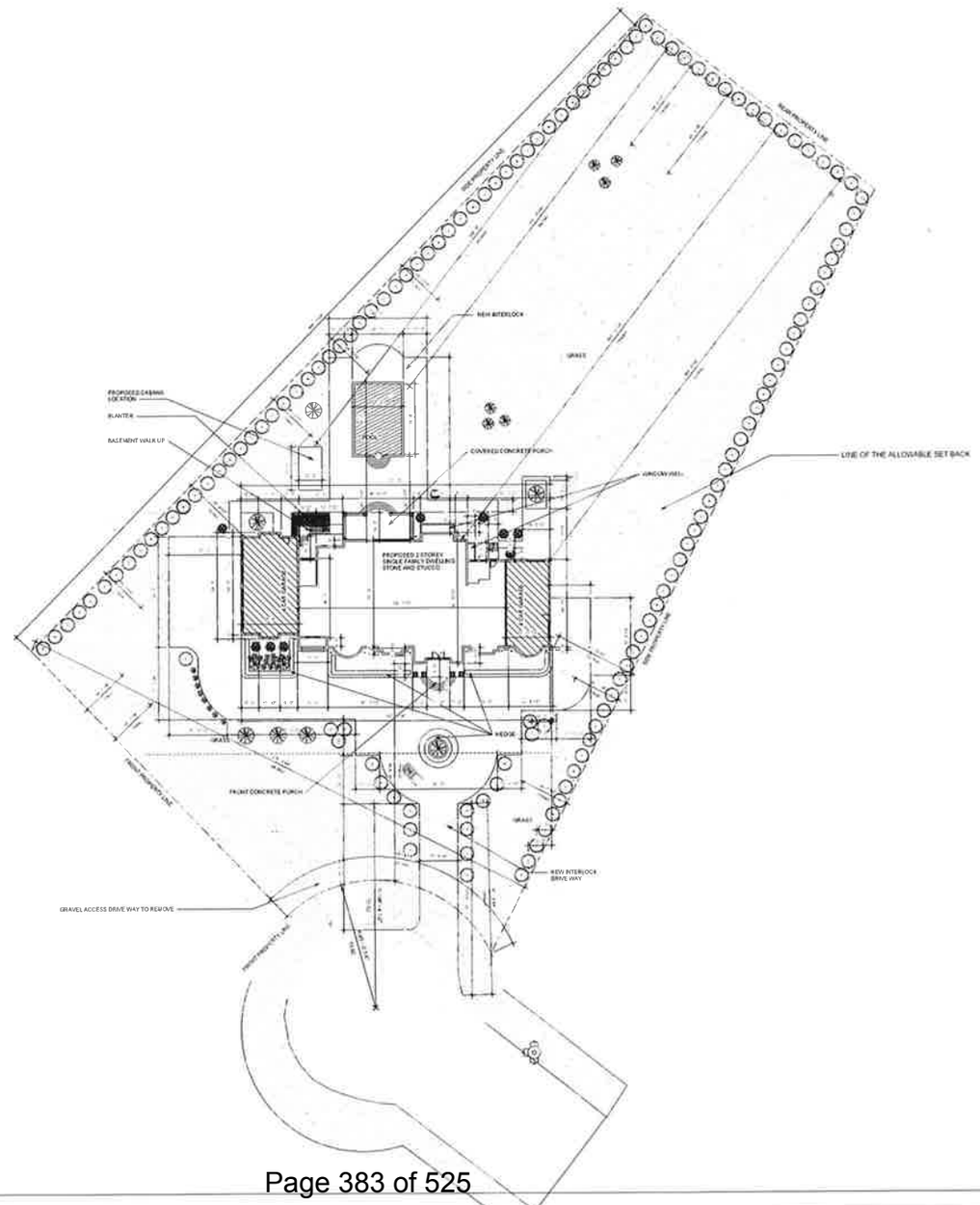
DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




12 MOONLIGHT PL STATISTICS
1/8" = 1'-0"




12 MOONLIGHT PL (SITE PLAN)
3/64" = 1'-0"

EZOL

31 BALES AVE.# 803
TORONTO, ON
M2N 7L6
Tell:(416)828-2434
www.ezol.ca
info@ezol.ca
@ezol_design

| No. | Description | Date |
|---|---|---|
| 02 | CLIENT REVISION | [illegible] |
| 03 | CLIENT REVISION | [illegible] |
| 04 | CLIENT REVISION | [illegible] |
| 05 | CLIENT REVISION | [illegible] |
| 06 | CLIENT REVISION | [illegible] |
| 07 | ISSUE FOR STRUCTURAL DESIGN | [illegible] |
| 08 | ISSUE FOR TOPO & GRADING DESIGN | [illegible] |
| 09 | ISSUE FOR MUNI | [illegible] |
| 10 | ISSUE FOR SEPTIC DESIGN | [illegible] |
| 11 | ISSUE FOR ROOF TRUSS | [illegible] |
| 12 | [illegible] | [illegible] |

12 MOONLIGHT PLACE
(LOT 5 )
BRAMPTON, ONTARIO
L6P 0G8

SITE PLAN/
LANDSCAPE

| | |
|---|---|
| Project number | 191024 |
| Date | 2022/11/03 |
| Drawn by | BEHZAD SABBAGHI |
| Checked by | BEHZAD SABBAGHI |

A000-1

Scale As indicated

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

FILE NUMBER: A-2022-0368

*The Personal information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

## APPLICATION
## Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** BHUPINDERJEET DHILLON & HARJINDER DHILLON
   **Address** 5 PORTMAN STREET-BRAMPTON ON - L7C 4G5
   **Phone #** 416-419-0043 **Fax #**
   **Email** JEET.DHILLON@TD.COM

2. **Name of Agent** Behzad sabbaghi
   **Address** 803-31 Bales ave.
   Toronto-ON
   M2N 7L6
   **Phone #** 416-828-2434 **Fax #**
   **Email** info@EZOL.ca

3. **Nature and extent of relief applied for (variances requested):**
   1-PROPOSED BUILDING HEIGHT OF 10.21m TO THE MIDDLE OF THE SLOPED ROOF AND 13.26m TO THE TOP OF THE SLOPED ROOF.
   2-PROPOSED FRONT YARD SOFT LANDSCAPE OF 67%
   3-PROPOSED GARAGE DOOR HEIGHT OF 2.74m
   4-PROPOSED NEW FENCING OF 2m FOR FRONT AND 2.5m OF THE SIDE AND REAR YARD AND FRONT GATE OF 3m.
   5-PROPOSED GFA OF 30sq.m FOR CABANA (ACCESSORY STRUCTURE) AND HEIGHT OF 5m TO TOP OF FLAT ROOF

4. **Why is it not possible to comply with the provisions of the by-law?**
   1-PERMITED MAXIMUM HIGHT IS 10.6m (IF TO THE TOPE OF THE ROOF NEED MORE SPACE FOR CITY LOOK.)
   2-PERMITED MINIMUM SOFT LANDSCAPE IS 70% AND WE NEED A LARGER DIVEWAY BECAUSE OF FIRE TRUCK ACCESSIBILITY.
   3-PERMITED MAXIMUM GARAGE DOOR HEIGHT IS 2.4m AND TOO LOW FOR THE HIGH TRUCK.
   4-PERMITED MAXIMUM FENCING HEIGHT IS 1m IN THE FRONT AND 2m ON THE SIDE AND BACK YARD, AND WE NEED HEIGHR FOR THE SECURITY.
   5-PERMITED 23sq.m GFA AND 3.5m HEIGHT BUT FOR THIS SIZE OF HOUSE AND LAND AND RESIDENTS IT WILL NOT BE ENOUGH.

5. **Legal Description of the subject land:**
   **Lot Number** PLAN OF LOT NO. 5 WARD #10
   **Plan Number/Concession Number** 43M-612
   **Municipal Address** 12 MOONLIGHT PL. BRAMPTON,ON L6P0G8

6. **Dimension of subject land (in metric units)**
   **Frontage** 57.53+37.70
   **Depth** 133.12
   **Area** 9119.65 m2

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| Provincial Highway | ☐ | Seasonal Road | ☐ |
| Municipal Road Maintained All Year | ☒ | Other Public Road | ☐ |
| Private Right-of-Way | ☐ | Water | ☐ |

Powered by CamScanner

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

NO
THER IS NO EXISTING
BUILDING ON THE LAND

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

NEW 2 STORY STONE AND STUCCO SINGLE FAMILY DWELLING

GROUND FLOOR PLAN AREA:512.3 m
GFA: 948.6 m2 (HOUSE) AND GFA : 30 m2 (CABANA)
2 STOREYS
WIDTH :48.9 m LENGHT :26.57 m HEIGHT TO THE TOP OF ROOF:13.26 m

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| Front yard setback | N/A |
| Rear yard setback | N/A |
| Side yard setback | N/A |
| Side yard setback | N/A |

**PROPOSED**

| | |
|---|---|
| Front yard setback | 33.76 m |
| Rear yard setback | 74.23m |
| Side yard setback | 12.76 m (NORTH) |
| Side yard setback | 11.14 m (SOUTH) |

10. **Date of Acquisition of subject land:** November 30th, 2018

11. **Existing uses of subject property:** LAND IN RESIDENTIAL AREA

12. **Proposed uses of subject property:** RESIDENTIAL

13. **Existing uses of abutting properties:** LAND IN RESIDENTIAL AREA

14. **Date of construction of all buildings & structures on subject land:** N/A

15. **Length of time the existing uses of the subject property have been continued:** SINCE CONSTRUCTION

16. (a) **What water supply is existing/proposed?**
Municipal ☐
Well ☐
Other (specify) _____

(b) **What sewage disposal is/will be provided?**
Municipal ☐
Septic ☒
Other (specify) _____

(c) **What storm drainage system is existing/proposed?**
Sewers ☐
Ditches ☐
Swales ☐
Other (specify) _____

Powered by CamScanner

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☒

**If answer is yes, provide details:** **File #**_____ **Status**_____

18. **Has a pre-consultation application been filed?**

**Yes** ☑ **No** ☐

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☐ **Unknown** ☑

**If answer is yes, provide details:**

**File #**_____ **Decision**_____ **Relief**_____
**File #**_____ **Decision**_____ **Relief**_____
**File #**_____ **Decision**_____ **Relief**_____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City of ~~Brampton~~ OF Brampton

THIS 09 DAY OF NOVEMBER, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Behzad Sabbaghi, OF THE city OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 9th DAY OF

November, 2022

Jeanie Myers

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J.M.

Signature of Applicant or Authorized Agent

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

**DATE RECEIVED** November 9, 2022

Revised 2022/02/17

## Consolidated Comment Report

**Date:** September 28, 2022

**File:** SPA-2022-0126

**Applicant/Owner:** Behzad Sabbaghi / Bhupinder Jeet & Harhinder Dhillon

**Location:** 12 Moonlight Pl

**Proposal:** New build 2 story single family dwelling (Stone and stucco)

This report contains comments from the technical groups who have reviewed the proposal. Additional comments may be forthcoming pending the review of any revised drawings/reports/etc. The applicant/owner must address all of the comments by creating a "Comment Response Table" identifying how all comments have been addressed. In order to resubmit, please upload all revised drawings/reports/etc., and as a final step, upload the "Comment Response Table". If you have any questions or concerns, please contact the planner assigned to your file: Mohammed Jalabi- (mohammed.jalabi@brampton.ca), or 647-656-2912.

| **Development Review**<br>Mohammed Jalabi - mohammed.jalabi@brampton.ca | **Not Cleared** |
|---|---|
| *Conditions* | N/A |
| *Final Comments* | Minor Variances may be required for this property. It is recommended that the applicant consult with City staff to determine the variances required to facilitate the development. Staff are likely to support the requested variances. Prior to the issuing of building permit, the site plan must conform to zoning and/or have approved variances.<br><br>All resubmissions are to be accompanied by a detailed cover letter that responds to all comments identified within this report. Prior to resubmission of the application, please provide a copy of the Cover Letter to the Assigned Development Planner via email for review. The applicant must resubmit development application materials through BramPlanOnline. (Please inform the assigned planner once the resubmitted documents are uploaded)<br><br>Development Charges (DCs) may be due on this property prior to the issuance of a Building Permit. Please email the COB Finance Development Administration department at admin.development@brampton.ca several days prior to picking up your building permit to have your DC amounts calculated. The COB collects Development Charges on behalf of the City, the Region of Peel and local school boards.<br><br>Cash-in-lieu (CIL) of parkland dedication may be due on this property prior to the issuance |



The Corporation of The City of Brampton
2 Wellington Street West, Brampton, ON L6Y 4R2 311

| | |
|---|---|
| | of a Building Permit. Please consult the Parkland Dedication webpage on Brampton.ca (=) for more information. As CIL amounts can only be calculated just prior to issuance of a Building Permit (per the Parkland Dedication by-law) please send an email to COB Finance Development Administration department at admin.development@brampton.ca a minimum of 5 business days prior to picking up your Building Permit, to have your CIL amounts calculated. If Development Charges are also payable on this property, then only a single email requesting both DC and CIL calculations is needed |
| **Accessibility Review** | **Cleared** |
| Sabrina Cook - sabrina.s.cook@brampton.ca | |
| *Conditions* | |
| *Final Comments* | no comments from Accessibility- private residence |
| **Building Review** | **Not Cleared** |
| Akemi Mizusawa - akemi.mizusawa@brampton.ca | |
| *Conditions* | |
| *Final Comments* | Please show on the site plan, DWG. A000-1<br><br>- OBC Matrix<br>- Designate a principal entrance and proposed access routes for fire department vehicles.<br>- The distance from the access route(s) to the building face measured the closest portion of the access route to the building face (min.3 m and max. 15 m measured from the closest portion of the access route to the face of the building.)<br>- Show the centre line turning radius of the access routes (not less than 12 m).<br>- Show the location of an access opening from the basement to an access route for fire department vehicles.<br>- The distance from the fire hydrant to the perimeter of the house (90 m measured horizontally of any portion of a building perimeter that is required to face a street in Subsection 3.2.2.). |
| **Capital Works Review** | **Cleared** |
| Devang Panchal - devang.panchal@brampton.ca | |
| *Conditions* | All proposed grade at the property line shall match the existing grade.<br><br>Provide curb depression at the proposed entrance and ensure that the driveway grades are included.<br><br>Sidewalk replacement, if required, is to be by the full bay with straight cuts. See also City of Brampton Standard 229. |
| *Final Comments* | All proposed grade at the property line shall match the existing grade.<br><br>Provide curb depression at the proposed entrance and ensure that the driveway grades are included.<br><br>Sidewalk replacement, if required, is to be by the full bay with straight cuts. See also City of Brampton Standard 229. |
| **Development Engineering Review** | **Not Cleared** |
| Anton Stoeckl - anton.stoeckl@brampton.ca | |
| *Conditions* | |
| *Final Comments* | Development Engineering Services Section has received the grading and servicing plan, |



The Corporation of The City of Brampton
2 Wellington Street West, Brampton, ON L6Y 4R2 311

| | |
|---|---|
| | Redlined comments have been provided directly to the consultant |

**Heritage Review** — **Cleared**
Anastasia Abrazhevich - anastasia.abrazhevich@brampton.ca

| | |
|---|---|
| *Conditions* | The Owner acknowledges and agrees that should any archaeological resources be discovered they may constitute a new archaeological site, and therefore be subject to Section 48 (1) of the Ontario Heritage Act. Upon the discovery of the archaeological resource(s) any alteration of the Lands must immediately be ceased, a licensed archaeologist shall be engaged to carry out the archaeological field work in compliance with Section 48 (1) of the Ontario Heritage Act, and the Policy Division (Heritage Section) of the City's Planning and Development Services Department shall be notified. The Owner acknowledges and agrees that the Funeral, Burial and Cremation Services Act, 2002 requires any persons discovering human remains to notify the police or coroner and the Registrar of Cemeteries at the Ministry of Government and Consumer Services. No further work will be permitted on the Lands until such permission, in the form of a written notice from the City is provided to the Owner. The Owner agrees that it releases and forever discharges the City, its elected officials, employees, agents and contractors, and any others for whom it is responsible at law, from any and all claims, demands, actions, cause of actions and other proceedings and any liability for damages, costs and expenses for or relating to any loss which the Owner may suffer arising out of, incidental to, or in connection with (a) an archaeological assessment(s) and/or field work that is inaccurate, incomplete, misleading or fraudulent; or (b) the issuance of any written notice from the Policy Division (Heritage Section) of the City's Planning and Development Services Department permitting the Owner to continue to work on the Lands; or (c) the period of time during which the Owner is not allowed to work on the Lands. The Owner further agrees to indemnify and forever save harmless the City, its elected officials, employees, agents and contractors, and any others for whom it is responsible at law from and against any claim, suit, demand, causes of action, and proceedings by whomsoever made or brought, in respect of any costs, expenses, loss, damage or injury including death as well as legal fees arising out of, incidental to or in connection with items (a), (b), or (c) listed immediately above. |
| *Final Comments* | There are no issues to comment on at this time. Any changes to the site plan may require further review. |

**Noise Review** — **Cleared**
Daniel Tang - daniel.tang@brampton.ca

| | |
|---|---|
| *Conditions* | |
| *Final Comments* | No Noise Requirement |

**Open Space Development Review** — **Not Cleared**
Patrick Berlett - patrick.berlett@brampton.ca

| | |
|---|---|
| *Conditions* | |
| *Final Comments* | - Please show existing street trees on Moonlight Place on the Landscape Plan<br>- Ensure all trees adjacent to the construction zone are protected. No construction debris or equipment will encroach on the tree protection zone. Show all tree hoarding and include the City's tree hoarding details (L110) with the next submission. The applicant will be responsible for replacement of trees if damage occurs. |

**Peel Region Review** — **Not Cleared**
Mohammed Jalabi - mohammed.jalabi@brampton.ca

| | |
|---|---|
| *Conditions* | N/A |



The Corporation of The City of Brampton
2 Wellington Street West, Brampton, ON L6Y 4R2 311

| | |
|---|---|
| *Final Comments* | Region of Peel comments have not been received. They will be forwarded to applicant once made available. |

**Plumbing Review** **Cleared**
Elizabeth TersigniOrefice - elizabeth.tersigniorefice@brampton.ca

| | |
|---|---|
| *Conditions* | |
| *Final Comments* | 1. At this time there are no concerns with the site services. Should anything change a further review may be required.<br><br>Note: The design of the septic system will be reviewed at the building permit stage. |

**Sign Review** **Cleared**
Ross Campbell - ross.campbell@brampton.ca

| | |
|---|---|
| *Conditions* | |
| *Final Comments* | There are no issues to comment on at this time. Any changes to the proposal may require further review. |

**Traffic Services Review** **Not Cleared**
Smeeta Adiga - smeeta.adiga@brampton.ca

| | |
|---|---|
| *Conditions* | |
| *Final Comments* | 1) Provide a note in site plan drawing where the existing gravel driveway to be close. "Existing Driveway to be removed. Boulevard and curbs to be reinstalled as per municipal standard."<br>2) Site Plan is to include all above ground utilities such as street lighting, hydro poles and fire hydrants if any; |

**Transit Review** **Cleared**
Andrea Mikkila - andrea.mikkila@brampton.ca

| | |
|---|---|
| *Conditions* | |
| *Final Comments* | Comments from Andrea Mikkila, Planning Coordinator:<br><br>Please note that portions of the above referenced development will be beyond Brampton Transit standards for service coverage. Portions of this development will be outside the 400 metre walk distance standard to transit. We have no further comments from a transit planning perspective.<br><br>Comments from Kumar Ranjan, Manager, Higher Order Transit:<br><br>The property is backing off to Countryside Dr Rd. that is identified as transit support corridor and the right-of-way needs to be protected for any future transit infrastructure. The City OP identifies the Countryside Dr right-of-way mid-block width as 36m, please protect 18m from the road centreline to the property. |

**Urban Design Review** **Not Cleared**
Hugh Chen - hugh.chen@brampton.ca

| | |
|---|---|
| *Conditions* | |
| *Final Comments* | • The proposed development shall conform to the City of Brampton's Development Design Guidelines available at<br>https://www.brampton.ca/EN/Business/planning-development/guidelines- |



The Corporation of The City of Brampton
2 Wellington Street West, Brampton, ON L6Y 4R2 311

| | |
|---|---|
| | manuals/Pages/development-design-guidelines.aspx<br>• Provide an exterior finishing material schedule that includes detailed information about the types of materials that shall be used for the elevations. This should include the product name, type, color and manufacture.<br>• Please ensure that the stone cladding be applied to the facades so that no more than ~250 mm of exposed concrete foundation wall is publicly visible.<br>• The municipal address should be placed prominently on the front façade of the dwelling or garage in a well-lit location as required by Canada Post.<br>• The applicant shall clearly indicate the placeholder for air-conditioning unit on the Floor Plans, Site Plan, and Building Elevations. All A/C units shall be screened from public view.<br>• Indicate in plan and on all relevant elevations, the location of all gas and utility metres. All utility meters should be located away from pedestrian routes and all utility pipes are to be screened from public view.<br><br>• Add the following notes to the site plan and elevation drawings:<br>• "Utility meters shall not be located on building facades that face public streets and shall be located discreetly, away from pedestrian travel routes and screened from public view".<br>• Incorporate pedestrian-scaled lighting into the façade design that provide appropriate visibility at night and indicate their locations on the elevation drawings.<br>• Lighting shall be placed at each entrance to the dwelling.<br>• Lighting shall be placed at all garage openings at the minimum rate of 1 light fixture per garage door.<br>• A written response identifying how the comments have been addressed must ac-company the next submission as well as all requested paperwork, or a review will not commence until they have been received. |

**Zoning Review** **Not Cleared**
Jennifer Chau - jennifer.chau@brampton.ca

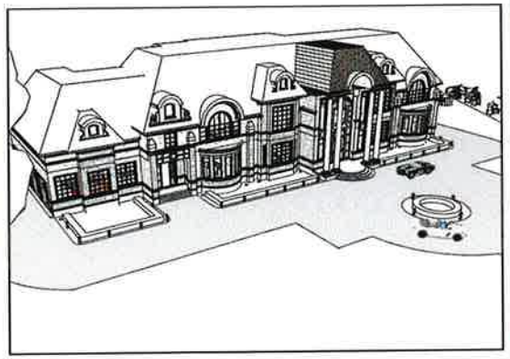
| | |
|---|---|
| *Conditions* | Prior to issue of building permit, the site plan must comply to zoning and/or variances must be approved through the committee of adjustment. |
| *Final Comments* | NOTES:<br><br>1. The maximum permitted building height (main dwelling) is 10.6 m and 13.26 m is proposed. Building height is measured to the deck line in the case of a mansard roof.<br><br>2. Please identify the Landscaped Open Space correctly. The minimum Landscaped Open Space required is 70% of the required front yard (within 12 m of the front lot line). The current calculation is for the entire front yard.<br><br>3. The maximum permitted garage door height is 2.4 m and 2.74 m is proposed.<br><br>4. Please identify the height and location of any existing / proposed fencing. Maximum 1m in the required front yard (within 12 m of the front lot line). Maximum 2m in the side and rear yard.<br><br>5. The GFA of an individual accessory structure shall not exceed 23 sq. m and 24.53 sq. m is proposed. Architectural drawings for the accessory structure is required to complete zoning review. Please identify the proposed height. Maximum height 4.5 m for peaked roofs and maximum height 3.5 m for flat roofs.<br><br>6. Please revise plans/drawings to conform to all Zoning requirements or seek advice from |

Development Planning staff on options to resolve the Zoning compliance issues identified. Any changes made to the plans/drawings will require further Zoning review.



The Corporation of The City of Brampton
2 Wellington Street West, Brampton, ON L6Y 4R2 311

# 12 MOONLIGHT PLACE
# BRAMPTON, ONTARIO
# L6P0G8
# (LOT5)



177 FRONT VIEW

EZOL


31 BALES AVE.# 803
TORONTO, ON
M2N 7L6

Tell:(416)828-2434

www.ezol.ca

info@ezol.ca

@ezol_design

| No. | Description | Date |
|---|---|---|
| 01 | PROJECT STARTS | [illegible] |
| 02 | CLIENT REVISION | [illegible] |
| 03 | CLIENT REVISION | [illegible] |
| 04 | CLIENT REVISION | [illegible] |
| 05 | CLIENT REVISION | [illegible] |
| 06 | CLIENT REVISION | [illegible] |
| 07 | ISSUE FOR STRUCTURAL DESIGN | [illegible] |
| 08 | ISSUE FOR TOPO & GRADING BUSH | [illegible] |
| 09 | ISSUE FOR MEAC | [illegible] |
| 10 | ISSUE FOR ASPEC DESIGN | [illegible] |
| 11 | ISSUE FOR ROOF TRUSS | [illegible] |
| 12 | [illegible] | [illegible] |

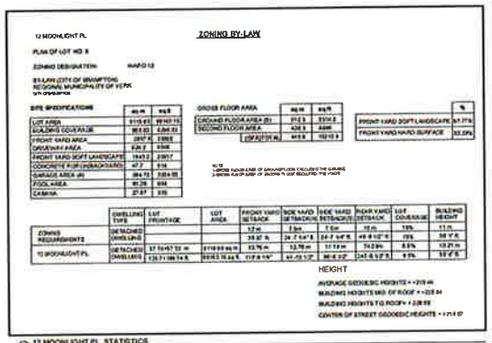
12 MOONLIGHT PLACE
(LOT 5)
BRAMPTON, ONTARIO
L6P 0G8

COVER

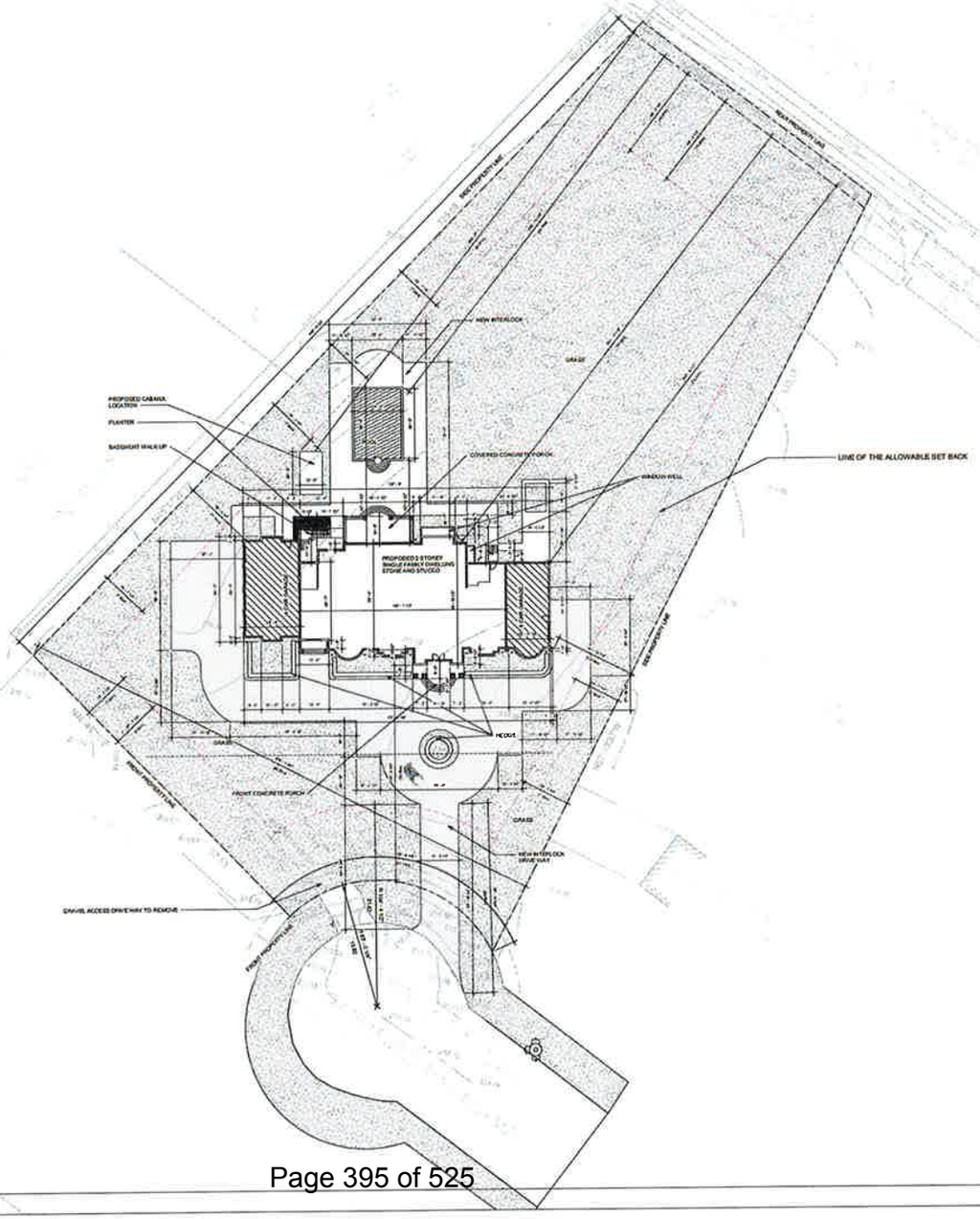
| | |
|---|---|
| Project number | [illegible] |
| Date | [illegible] |
| Drawn by | [illegible] |
| Checked by | [illegible] |

A000

Scale




2 12 MOONLIGHT PL STATISTICS
1/8" = 1'-0"




1 12 MOONLIGHT PL (SITE PLAN)
3/64" = 1'-0"

EZOL

31 BALES AVE.# 803
TORONTO, ON
M2N 7L6
Tell:(416)828-2434
www.ezol.ca
info@ezol.ca
@ezol_design

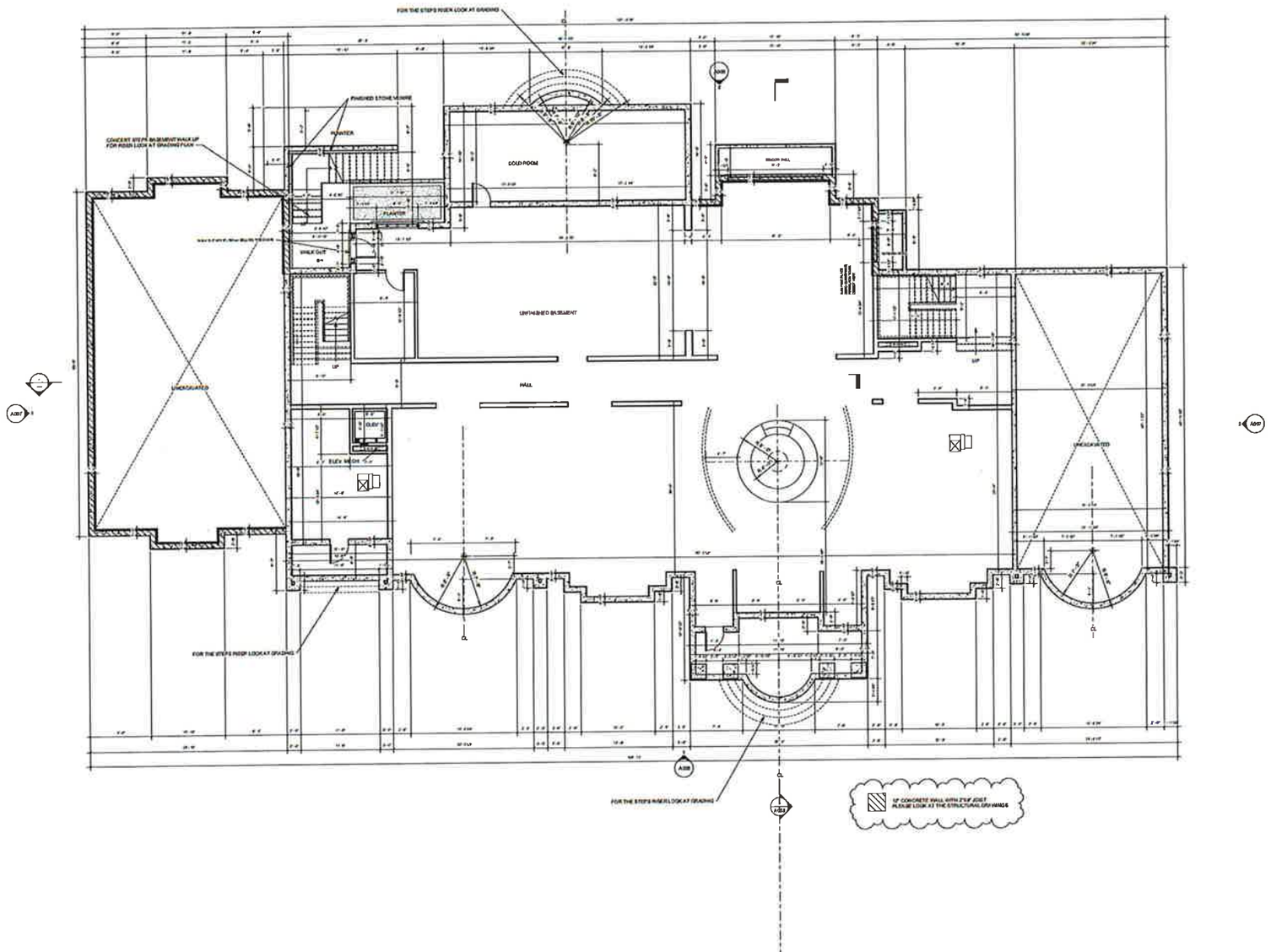
| No. | Description | Date |
|---|---|---|
| 01 | PROJECT STARTS | [illegible] |
| 02 | CLIENT REVISION | [illegible] |
| 03 | CLIENT REVISION | [illegible] |
| 04 | CLIENT REVISION | [illegible] |
| 05 | CLIENT REVISION | [illegible] |
| 06 | CLIENT REVISION | [illegible] |
| 07 | ISSUE FOR STRUCTURAL DESIGN | [illegible] |
| 08 | ISSUE FOR TORO & GRADING SUBM. | [illegible] |
| 09 | ISSUE FOR HVAC | [illegible] |
| 10 | ISSUE FOR SEPTIC DESIGN | [illegible] |
| 11 | ISSUE FOR ROOF TRUSS | [illegible] |
| 12 | [illegible] | [illegible] |

12 MOONLIGHT PLACE
(LOT 5)
BRAMPTON, ONTARIO
L6P 0G8

SITE PLAN

| | |
|---|---|
| Project number | [illegible] |
| Date | [illegible] |
| Drawn by | MICHAD SABBAGHI |
| Checked by | MICHAD SABBAGHI |
| Scale | As indicated |

A000-1




1 BASEMENT FLOOR PLAN
3/16" = 1'-0"

EZOL
31 BALES AVE. # 803
TORONTO, ON
M2N 7L6
Tell:(416)828-2434
www.ezol.ca
info@ezol.ca
@ezol_design

| No. | Description | Date |
|---|---|---|
| 01 | PRELIMINARY STUDIES | 2020-03-04 |
| 02 | CLIENT REVISION | 2020-03-18 |
| 03 | CLIENT REVISION | 2020-04-22 |
| 04 | CLIENT REVISION | 2020-06-30 |
| 05 | CLIENT REVISION | 2020-08-10 |
| 06 | CLIENT REVISION | 2021-11-05 |
| 07 | ISSUE FOR STRUCTURAL DESIGN | 2021-12-15 |
| 08 | ISSUE FOR TCPO & GRADING SUBMI | 2022-04-11 |
| 09 | ISSUE FOR PERMIT | 2022-05-31 |
| 10 | ISSUE FOR SEPTIC DESIGN | 2022-06-13 |
| 11 | ISSUE FOR BUILDING PERMIT | 2022-08-16 |
| 12 | CLIENT REVISION - NEW SEPTIC DESIGN | 2022-09-14 |

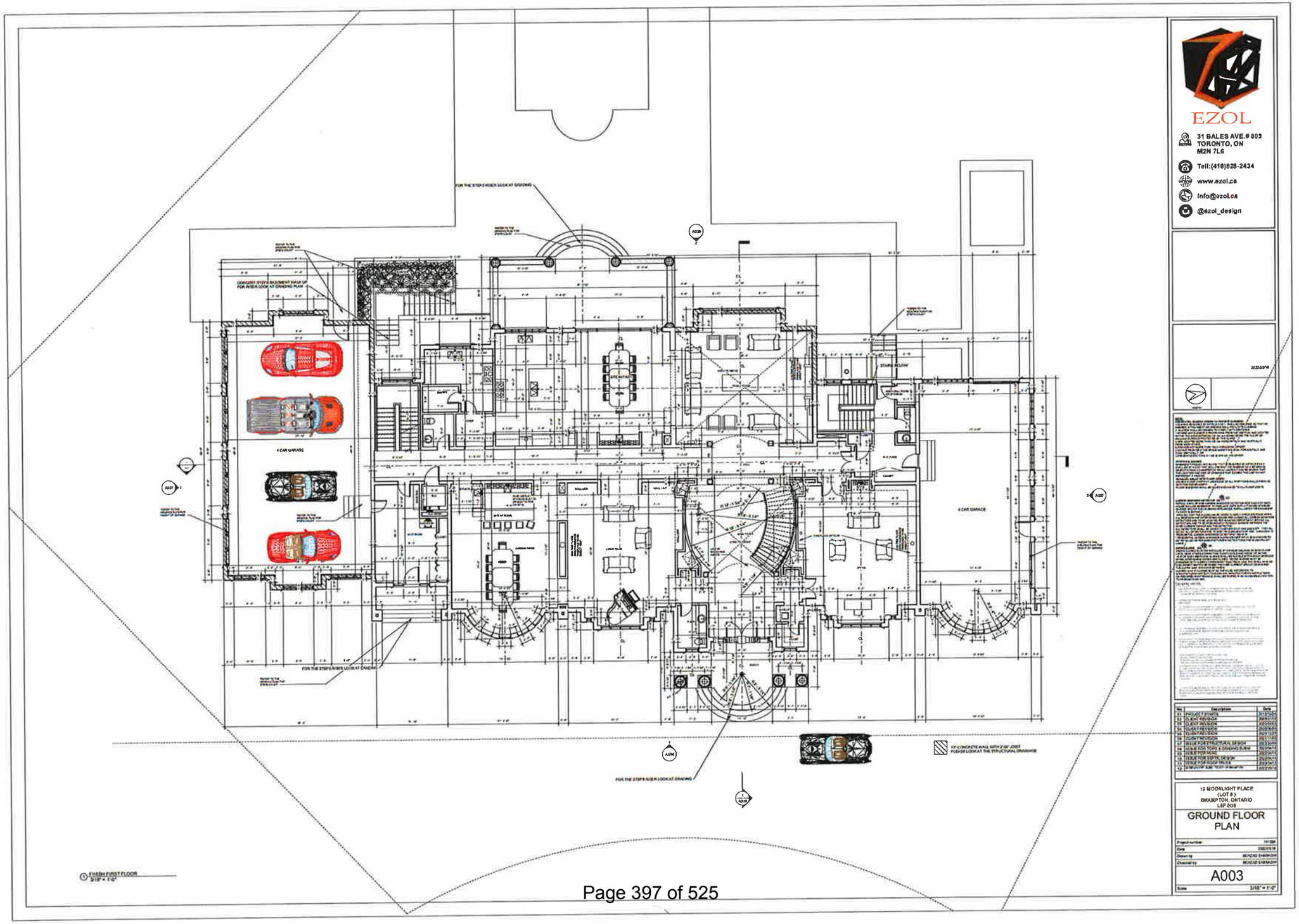
12 MOONLIGHT PLACE
(LOT 5)
BRAMPTON, ONTARIO
L6P 0G6

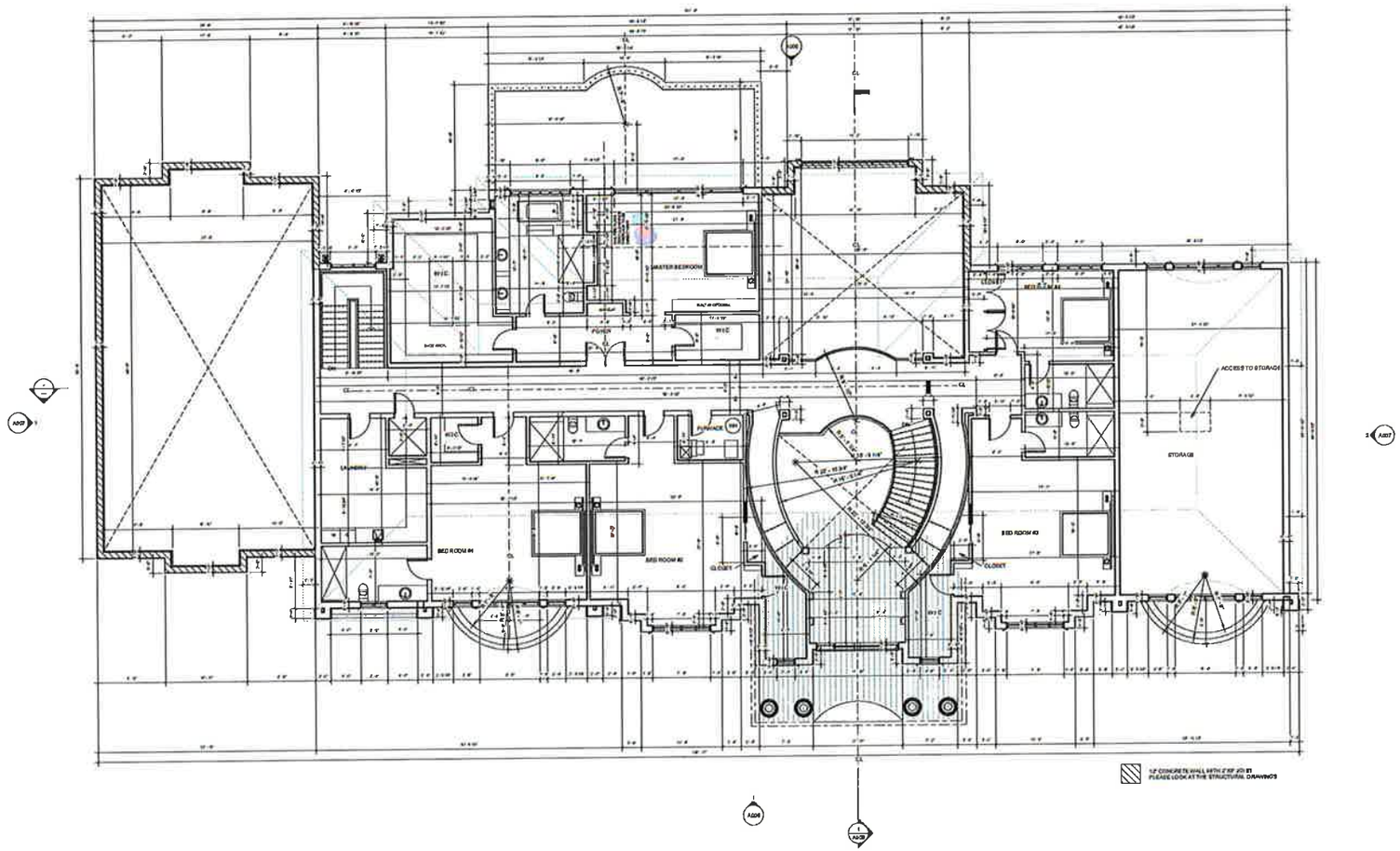
BASEMENT FLOOR PLAN

| | |
|---|---|
| Project number | 191204 |
| Date | 2020-03-18 |
| Drawn by | REYZAD DARBANDI |
| Checked by | REYZAD DARBANDI |

A002

Scale 3/16" = 1'-0"


EZOL
31 BALES AVE.# 803
TORONTO, ON
M2N 7L6
Tell:(416)828-2434
www.ezol.ca
info@ezol.ca
@ezol_design
4 CAR GARAGE
4 CAR GARAGE
12 MOONLIGHT PLACE
(LOT 6)
BRAMPTON, ONTARIO
L6P 0G8
GROUND FLOOR
PLAN
A003




1 SECOND FLOOR PLAN
3/16" = 1'-0"


EZOL
31 BALES AVE.# 803
TORONTO, ON
M2N 7L6
Tell:(416)828-2434
www.ezol.ca
info@ezol.ca
@ezol_design


| No. | Description | Date |
|---|---|---|
| 01 | PROJECT STATUS | [illegible] |
| 02 | CLIENT REVISION | [illegible] |
| 03 | CLIENT REVISION | [illegible] |
| 04 | CLIENT REVISION | [illegible] |
| 05 | CLIENT REVISION | [illegible] |
| 06 | CLIENT REVISION | [illegible] |
| 07 | ISSUE FOR STRUCTURAL DESIGN | [illegible] |
| 08 | ISSUE FOR TOWN & DRAWING SUBM | [illegible] |
| 09 | ISSUE FOR MUNC | [illegible] |
| 10 | ISSUE FOR SEPTIC DESIGN | [illegible] |
| 11 | ISSUE FOR ROOF TRUSS | [illegible] |
| 12 | [illegible] | [illegible] |

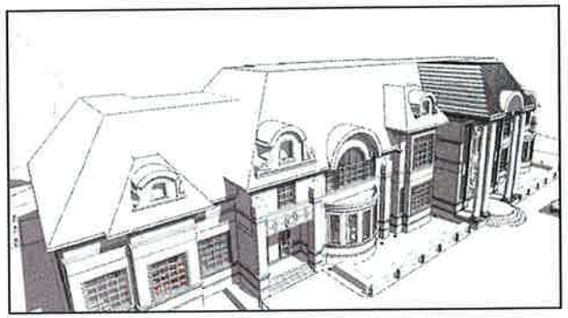
12 MOONLIGHT PLACE
(LOT 5)
BRAMPTON, ONTARIO
L6P 0G8

SECOND FLOOR PLAN

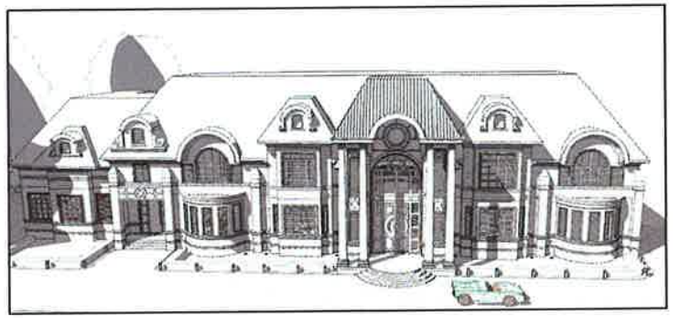
| | |
|---|---|
| Project number | [illegible] |
| Date | [illegible] |
| Drawn by | [illegible] |
| Checked by | [illegible] |

A004

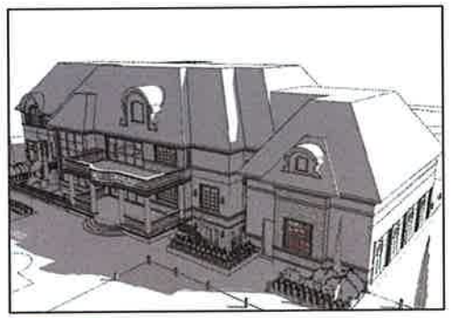
Scale 3/16" = 1'-0"



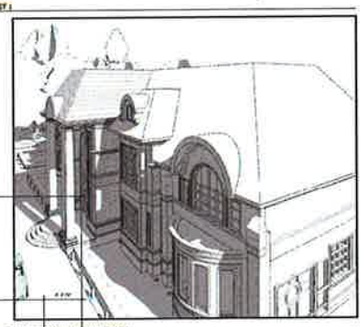
ROOF 3D View ( SOUTH-EAST )



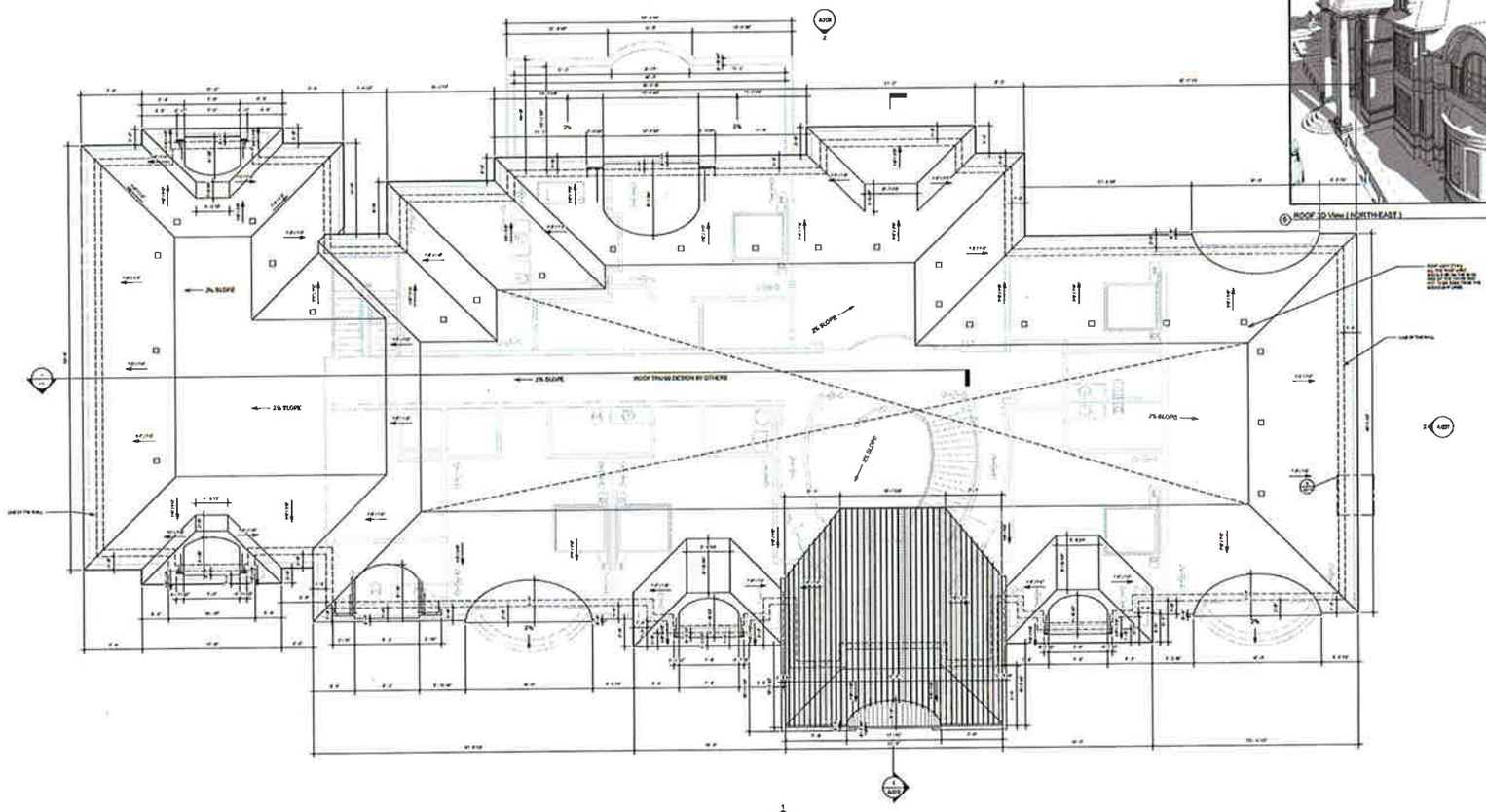
ROOF 3D View ( EAST )



ROOF 3D View ( WEST )



ROOF 3D View ( NORTH-EAST )

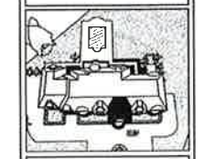



ROOF PLAN
3/16" = 1'-0"

NOTE: ALL THE VENT, EXHAUST AND FIRE PLACE EXHAUST SHOULD BE LOCATED ON SITE

EZOL


31 BALES AVE.# 803
TORONTO, ON
M2N 7L6
Tell:(416)828-2434
www.ezol.ca
info@ezol.ca
@ezol_design

| No. | Description | Date |
|---|---|---|
| 01 | PROJECT STARTS | [illegible] |
| 02 | CLIENT REVISION | [illegible] |
| 03 | CLIENT REVISION | [illegible] |
| 04 | CLIENT REVISION | [illegible] |
| 05 | CLIENT REVISION | [illegible] |
| 06 | CLIENT REVISION | [illegible] |
| 07 | ISSUE FOR STRUCTURAL DESIGN | [illegible] |
| 08 | ISSUE FOR TOPO & GRADING SURVEY | [illegible] |
| 09 | ISSUE FOR MEAS | [illegible] |
| 10 | ISSUE FOR SEPTIC DESIGN | [illegible] |
| 11 | ISSUE FOR ROOF TRUSS | [illegible] |
| 12 | [illegible] | [illegible] |

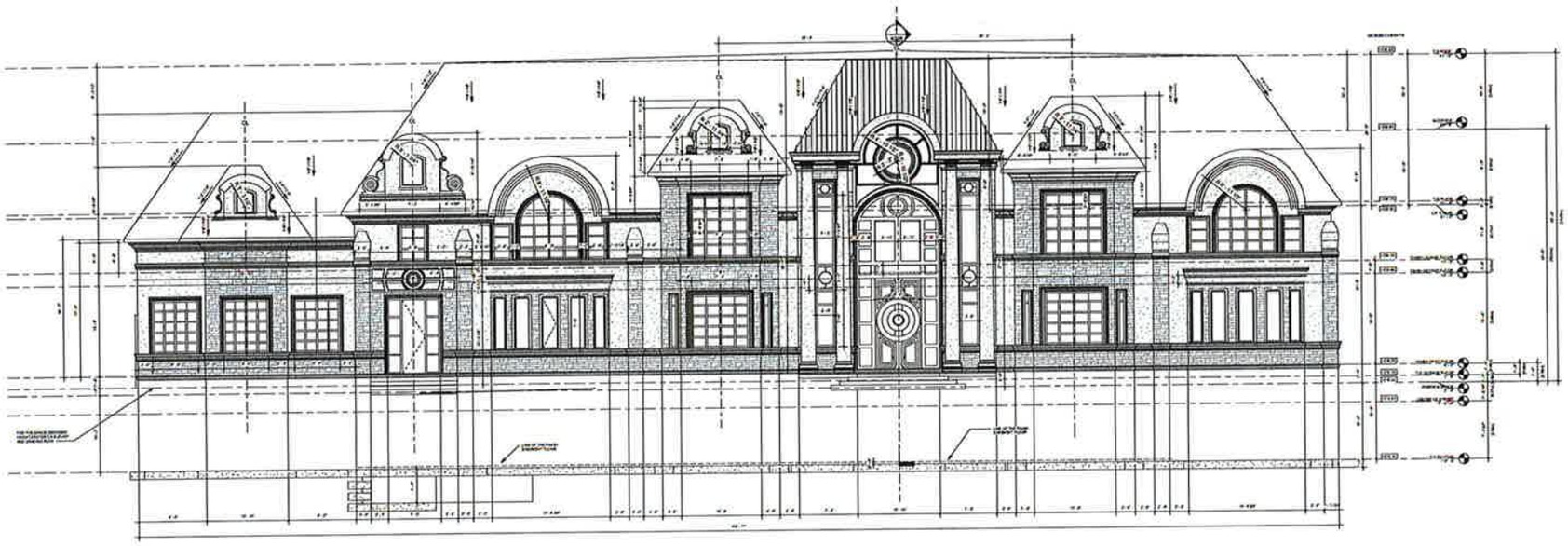
12 MOONLIGHT PLACE
(LOT 5 )
BRAMPTON, ONTARIO
L6P 0G8

ROOF PLAN

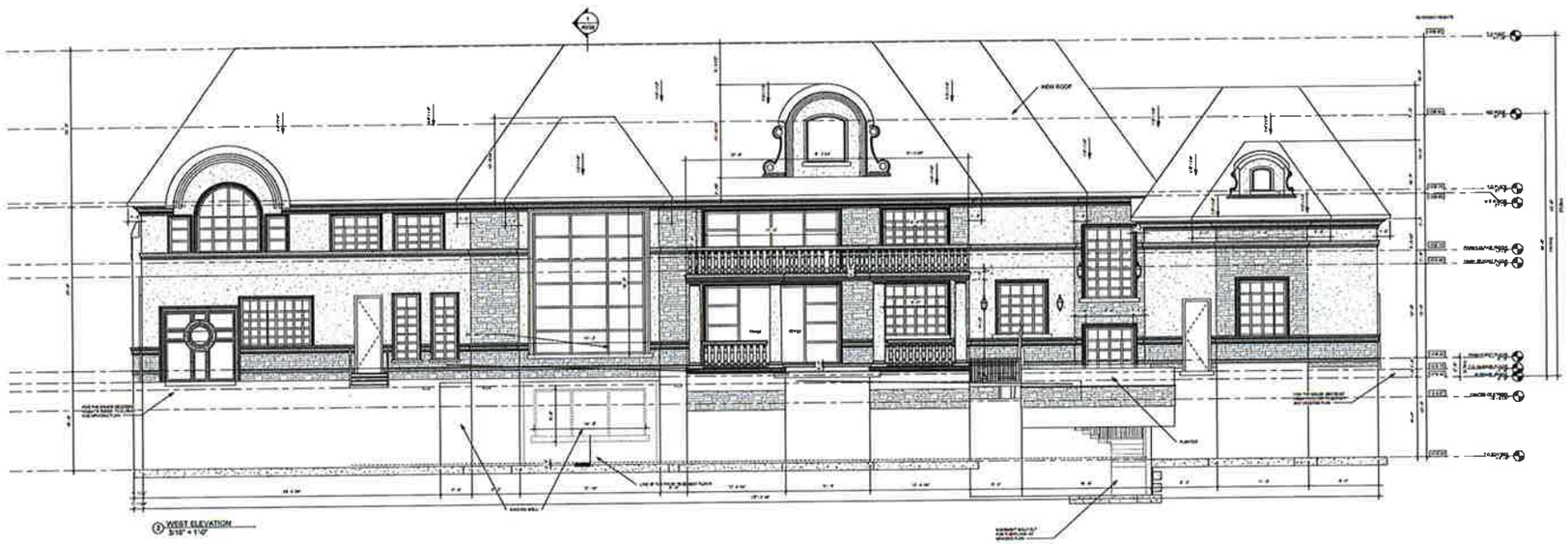
| | |
|---|---|
| Project number | [illegible] |
| Date | [illegible] |
| Drawn by | [illegible] |
| Checked by | [illegible] |

A005

Scale 3/16" = 1'-0"



① EAST ELEVATION
3/16" = 1'-0"



② WEST ELEVATION
3/16" = 1'-0"


EZOL
31 BALES AVE.# 803
TORONTO, ON
M2N 7L6
Tell:(416)828-2434
www.ezol.ca
info@ezol.ca
@ezol_design

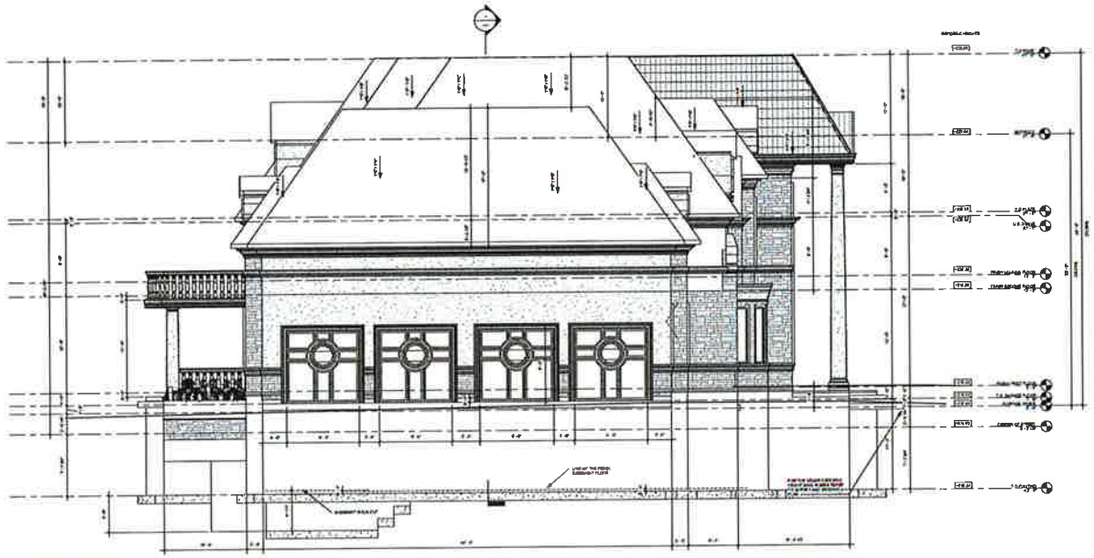

| No. | Description | Date |
|---|---|---|
| 01 | PROJECT STARTS | [illegible] |
| 02 | CLIENT REVISION | [illegible] |
| 03 | CLIENT REVISION | [illegible] |
| 04 | CLIENT REVISION | [illegible] |
| 05 | CLIENT REVISION | [illegible] |
| 06 | CLIENT REVISION | [illegible] |
| 07 | ISSUE FOR STRUCTURAL DESIGN | [illegible] |
| 08 | ISSUE FOR TOPO & DRAWING SUBM | [illegible] |
| 09 | ISSUE FOR MUNC | [illegible] |
| 10 | ISSUE FOR SEPTIC DESIGN | [illegible] |
| 11 | ISSUE FOR ROOF TRUSS | [illegible] |
| 12 | [illegible] | [illegible] |

12 MOONLIGHT PLACE
(LOT 5)
BRAMPTON, ONTARIO
L6P 0G8

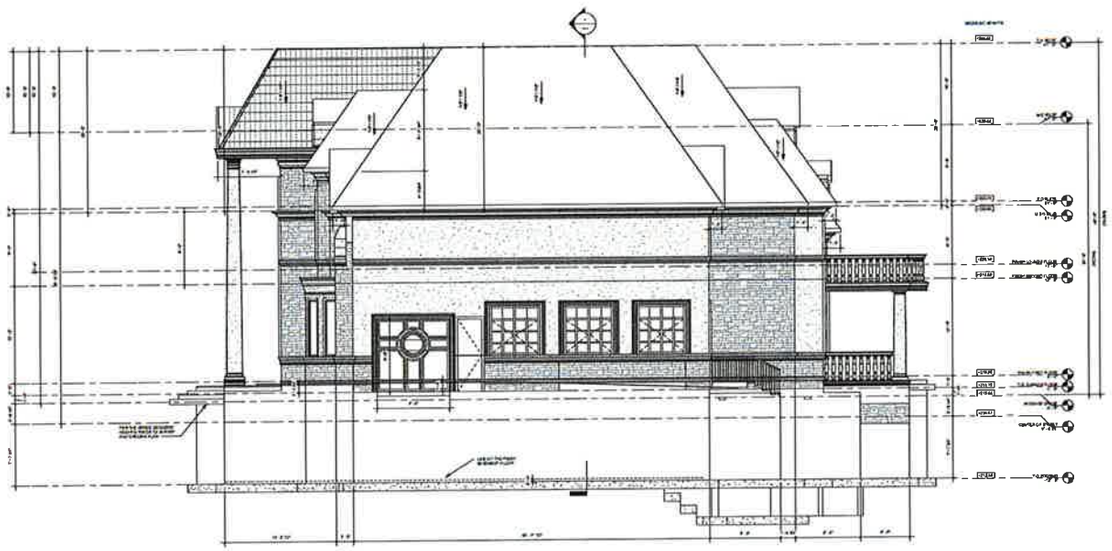
EAST & WEST
ELEVATIONS

| | |
|---|---|
| Project number | [illegible] |
| Date | [illegible] |
| Drawn by | BEHZAD SABBAGH |
| Checked by | BEHZAD SABBAGH |
| Scale | 3/16" = 1'-0" |

A006



① SOUTH ELEVATION
3/16" = 1'-0"



② NORTH ELEVATION
3/16" = 1'-0"


EZOL

31 BALES AVE.# 503
TORONTO, ON
M2N 7L6

Tell:(416)828-2434

www.ezol.ca

info@ezol.ca

@ezol_design


| No. | Description | Date |
|---|---|---|
| 01 | PROJECT STARTS | [illegible] |
| 02 | CLIENT REVISION | [illegible] |
| 03 | CLIENT REVISION | [illegible] |
| 04 | CLIENT REVISION | [illegible] |
| 05 | CLIENT REVISION | [illegible] |
| 06 | CLIENT REVISION | [illegible] |
| 07 | ISSUE FOR STRUCTURAL DESIGN | [illegible] |
| 08 | ISSUE FOR TOPO & GRADING SURVEY | [illegible] |
| 09 | ISSUE FOR HVAC | [illegible] |
| 10 | ISSUE FOR DIP DC DESIGN | [illegible] |
| 11 | ISSUE FOR ROOF DRIVER | [illegible] |
| 12 | [illegible] | [illegible] |

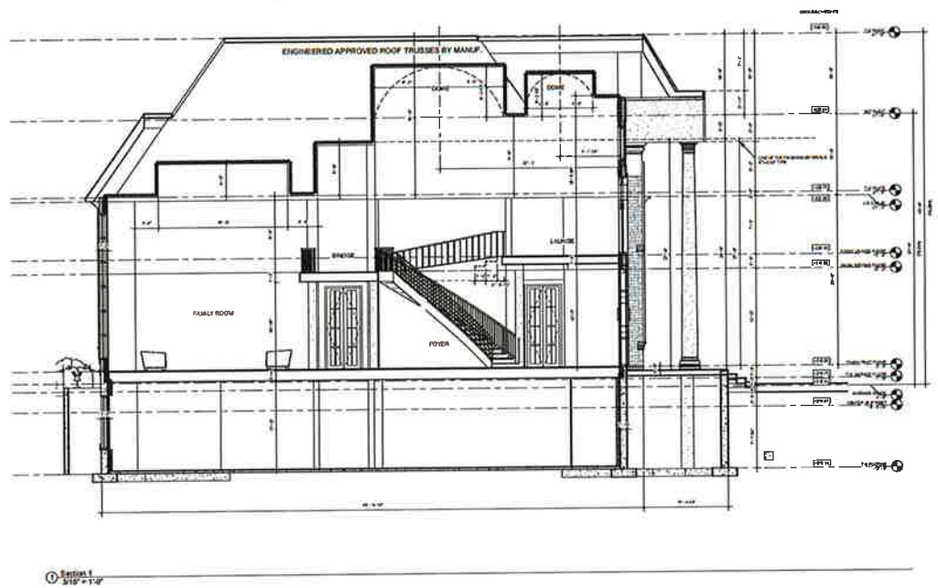
12 MOONLIGHT PLACE
(LOT 5)
BRAMPTON, ONTARIO
L6P 0G2

NORTH & SOUTH ELEVATIONS

| | |
|---|---|
| Project number | [illegible] |
| Date | [illegible] |
| Drawn by | [illegible] |
| Checked by | [illegible] |

A007

Scale 3/16" = 1'-0"




EZOL

31 BALES AVE.# 803
TORONTO, ON
M2N 7L6
Tell:(416)828-2434
www.ezol.ca
info@ezol.ca
@ezol_design

| No. | Description | Date |
|---|---|---|
| 51 | PROJECT STARTS | [illegible] |
| 52 | CLIENT REVISION | [illegible] |
| 53 | CLIENT REVISION | [illegible] |
| 54 | CLIENT REVISION | [illegible] |
| 55 | CLIENT REVISION | [illegible] |
| 56 | CLIENT REVISION | [illegible] |
| 57 | ISSUE FOR STRUCTURAL DESIGN | [illegible] |
| 58 | ISSUE FOR TOPO & GRADING SUBM | [illegible] |
| 59 | ISSUE FOR MUNC | [illegible] |
| 60 | ISSUE FOR SEPTIC DESIGN | [illegible] |
| 61 | ISSUE FOR ROOF TRUSS | [illegible] |
| 62 | [illegible] | [illegible] |

12 MOONLIGHT PLACE
(LOT 5)
BRAMPTON, ONTARIO
L6P 0G8

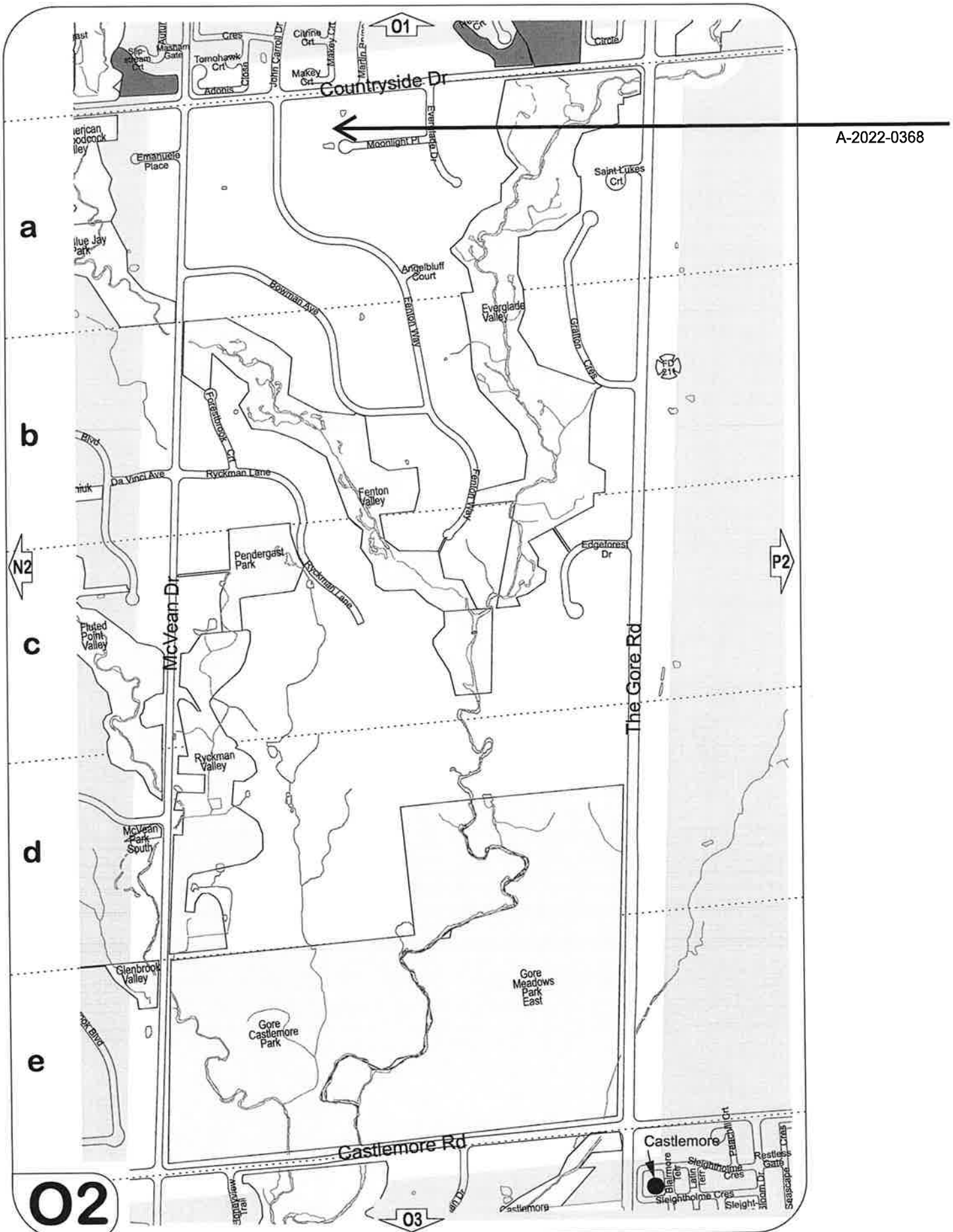
SECTION

| | |
|---|---|
| Project number | [illegible] |
| Date | [illegible] |
| Drawn by | [illegible] |
| Checked by | [illegible] |

A009

Scale 3/16" = 1'-0"

COUNTRYSIDE DRIVE
ROAD ALLOWANCE BETWEEN WEST HALVES OF LOTS 15 AND
PIN 14215-0129
LIGHT DUTY SILT FENCE BARRIER
OPSD – 219.110
PERSPECTIVE VIEW
SECTION VIEW
PLAN OF SILT FENCE BARRIER
SECTION A-A
KEY MAP (N.T.S)
SUBJECT PROPERTY
LEGEND:
BRAMPTON Flower City
REGISTERED PLAN 43M-612
LOT 5
MOONLIGHT PLACE
PROPOSED DWELLING
NOTES:
SERVICING NOTES:
REGION OF PEEL SERVICING NOTES
SEDIMENT AND EROSION CONTROL NOTES:
TYPICAL SWALE CROSS-SECTION
TOPSOIL & SOD FULL WIDTH
MAX SIDE SLOPE 3:1
BOUNDARIES NOT VERIFIED
THE LOCATION OF PROPERTY BOUNDARIES SHOWN ON THIS PLAN ARE BASED ON INFORMATION PROVIDED BY OTHERS AND HAVE NOT BEEN VERIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT DESIGN FEATURES CAN BE CONSTRUCTED AT THE STATED SETBACKS FROM BOUNDARIES AS REQUIRED.
TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS
THE TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED TO VAN HARTEN SURVEYING FOR THEIR USE BY THEIR CLIENT. THESE ELEVATIONS WERE GATHERED BY RUDY MAK SURVEYING LTD. AND HAVE NOT BEEN VERIFIED BY VAN HARTEN SURVEYING. THE BOUNDARY INFORMATION SHOWN HAS NOT BEEN SURVEYED BY VAN HARTEN SURVEYING. IT IS THE RESPONSIBILITY OF THE BUILDER TO HAVE THE LIMITS OF THE PARCEL AND ELEVATION BENCHMARKS (IF PROVIDED) SURVEYED PRIOR TO EXCAVATION TO ENSURE THE ACCURACY OF EXISTING ELEVATIONS AND THAT THE LOCATION(S) OF PROPOSED BUILDING(S) FALL WITHIN THE SUBJECT PARCEL.
BENCHMARK
ELEVATIONS ARE BASED ON GPS OBSERVATIONS TO PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM AND HAVE BEEN CORRECTED TO ORTHOMETRIC ELEVATIONS ON THE CGVD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTV2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.
PROPOSED DWELLING:
TOP OF FOUNDATION = (215.90) MIN
UNDERSIDE OF FOOTING = (212.02)±
UNDERSIDE OF FROST FOOTING = (211.27) MAX
BASEMENT FLOOR = (212.64)
FINISHED FLOOR = (216.20)
GARAGE SLAB = (215.75)
GARAGE CUT = (0.15)±
NOTES:
1. ELEVATIONS DERIVED FROM ARCHITECTURAL PLANS
2. CONSTRUCTION DRAWINGS NOT AVAILABLE AT THIS TIME
METRIC:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
GRADING PLAN FOR:
PROPOSED DWELLING
12 MOONLIGHT PLACE
LOT 5
REGISTERED PLAN 43M-612
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
DRAWING REVISION SCHEDULE
PREPARED FOR: JIM DHILLON
PROJECT No. 29738-21
SPA - 2022 - 0126
DRAWING SCALE: 1:300
CAUTION:
SOIL BEARING CAPACITY SHOULD BE VERIFIED AT THE TIME OF CONSTRUCTION.
THIS SKETCH IS PROTECTED BY COPYRIGHT
M.A.M. VAUGHAN
100135983
OCT 14-22
Van Harten
SURVEYING INC.
www.vanharten.com
Oct 14,2022-10:14am


A-2022-0368
01
Countryside Dr
Moonlight Pl
Everglade Dr
Emanuele Place
Saint Lukes Crt
Angelbluff Court
Bowman Ave
Fenton Way
Everglade Valley
Grafton Cres
FD 21
Forestbrook Crt
Ryckman Lane
Da Vinci Ave
Fenton Valley
Pendergast Park
Edgeforest Dr
N2
P2
McVean Dr
The Gore Rd
Fluted Point Valley
Ryckman Valley
McVean Park South
Glenbrook Valley
Gore Meadows Park East
Gore Castlemore Park
Castlemore Rd
Castlemore
Sleighholme Cres
Restless Gate
Seascape Cres
03
a
b
c
d
e
O2

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0369***
**WARD 6**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **BIJOY PAUL KALLIKKATTUKUDY AND REEMA KURIAKO THEKKEKUNNEL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 277, Plan 43M-1496municipally known as **45 SEDGEWICK CIRCLE,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit a below grade entrance in a required interior side yard;

2. To permit an interior side yard setback of 0.15m (0.50 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);

3. To permit an existing accessory structure (gazebo) having a side yard setback and a rear yard setback of 0.15m (0.50 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest property lines;

4. To permit an existing accessory structure (shed) having a side yard setback and a rear yard setback of 0.3m (0.98 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest property lines.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  File Number: _____
Application for Consent: NO  File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

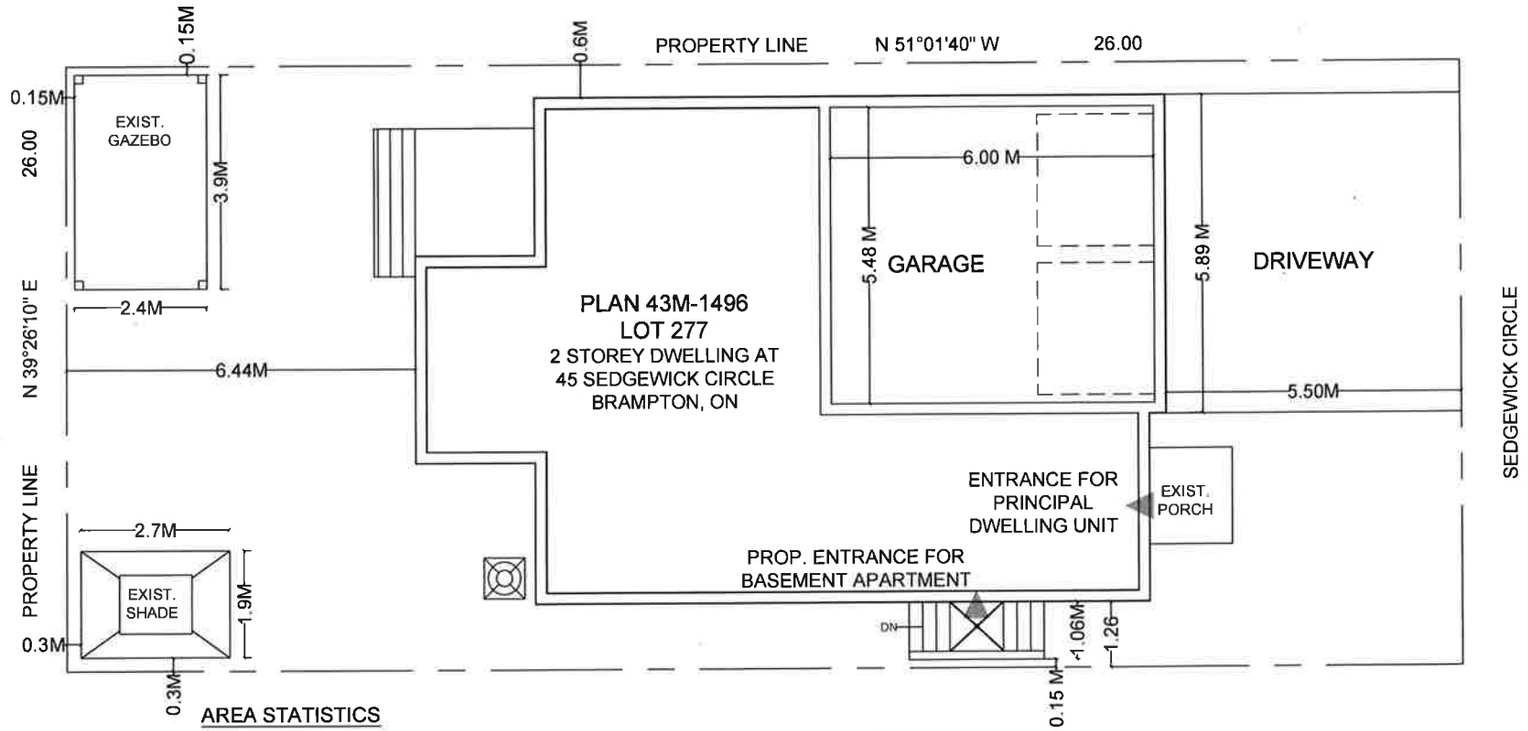
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

| PRINCIPAL RESIDENCE | |
|---|---|
| EXISTING MAIN FLOOR G.F.A | = 81.5 M² |
| EXISTING SECOND FLOOR GFA | = 94.3 M² |
| TOTAL GFA | = 175.8 M² |

| | |
|---|---|
| BASEMENT G.F.A | = 81.56 M² |
| OWNER OCCUPIED AREA | = 23.5 M² |
| BASEMENT APARTMENT G.F.A | = 57.9 M² |

▲ ENTRANCE / EGRESS

SCOPE OF WORK

A- PROPOSED BASEMENT APARTMENT

B-ENLARGEMENT OF ONE EXISTING WINDOW

C-PROPOSED TWO NEW WINDOWS

D- PROPOSED SIDE ENTRANCE FROM SIDE YARD

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC.REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER.IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
V.MOHAMMED
100216807
NOV 18,2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 2 | REVISION | NOV 18,2022 |
| 1 | ISSUED FOR BUILDING PERMIT | OCT 02, 2022 |

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON L4T 1G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

45 SEDGEWICK CIR,
BRAMPTON, ON

SHEET TITLE:

SITE PLAN

CHECKED: MSS
DRAWN: MSA
SCALE: 1/16"=1'
DATE: OCT 02, 2022

DRAWING:

A0.1

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

**FILE NUMBER:** A-2022-0369

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

## APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** Bijoy Paul Kallikkattukudy, Reema Thekkekunnel Kuriakose
   **Address** 45 Sedgewick Cir, Brampton , L7A 2P6
   **Phone #** 647 881 4402 **Fax #**
   **Email** bijoykpaul@yahoo.co.in

2. **Name of Agent** Valiuddin Mohammed
   **Address** 2751 Thamesgate Dr, Mississauga, L4T 1G5
   **Phone #** 647 786 5940 **Fax #**
   **Email** info@mechways.com

3. **Nature and extent of relief applied for (variances requested):**

   To seek relief for the proposed below grade entrance in the side yard with a setback of 0.15 m.due to the encroachment of the stairwell into the side yard

   To seek relief for the existing Gazebo with a side yard setback of 0.15 m and rear yard setback of 0.15 m from the property line. To seek relief for the existing shed with a side yard setback of 0.3 m and rear yard setback of 0.3 m from the property line.

4. **Why is it not possible to comply with the provisions of the by-law?**

   As per the zoning by law, a minimum setback of 1.2 m is required in the side yard for the proposed below grade entrance.
   whereas the proposed side yard set back is 0.15m due to the encroachment of the stairwell in the side yard.
   As per the by law, a minimum side yard setback of 0.6 m and a rear yard setback of 0.6 m is required from the property line for the existing Gazebo and shed
   Hence seeking relief for the shed, existing Gazebo and prop. below grade entrance.

5. **Legal Description of the subject land:**
   **Lot Number** 277
   **Plan Number/Concession Number** 43 M - 1496
   **Municipal Address** 45 Sedgewick Cir, Brampton, L7A 2P6

6. **Dimension of subject land (in metric units)**
   **Frontage** 11.28 M
   **Depth** 26 M
   **Area** 293.28 SQ M

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

A 2 storied detached dwelling with an attached double car garage. The gross floor area is 175.8 sq m

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Legalisation of the proposed basement apartment with a below grade entrance in the side yard.

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 5.5 M |
| **Rear yard setback** | 6.4 M |
| **Side yard setback** | 1.26 M |
| **Side yard setback** | 0.6 M |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 5.5 M |
| **Rear yard setback** | 6.4 M |
| **Side yard setback** | 1.11 M |
| **Side yard setback** | 0.6 M |

10. **Date of Acquisition of subject land:** 2020

11. **Existing uses of subject property:** Residential

12. **Proposed uses of subject property:** Residential

13. **Existing uses of abutting properties:** Residential

14. **Date of construction of all buildings & structures on subject land:** 2002

15. **Length of time the existing uses of the subject property have been continued:** 2002

16. (a) **What water supply is existing/proposed?**

- [x] **Municipal**
- [ ] **Well**

**Other (specify)** _____

(b) **What sewage disposal is/will be provided?**

- [x] **Municipal**
- [ ] **Septic**

**Other (specify)** _____

(c ) **What storm drainage system is existing/proposed?**

- [x] **Sewers**
- [ ] **Ditches**
- [ ] **Swales**

**Other (specify)** _____

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☑ **Unknown** ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

Valiuddin Mohammed
Digitally signed by Valiuddin Mohammed
DN: cn=Valiuddin Mohammed, c=CA, o=Mechways Inc., email=info@mechways.com
Date: 2022.11.08 13:42:34 -05'00'

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Mississauga

THIS 08 DAY OF November, 20 22.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Valiuddin Mohammed, OF THE city OF Mississauga

IN THE region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

city OF Toronto

IN THE Province OF

Ontario THIS 8th DAY OF

November, 20 22.

RAMESHBHAI SOMABHAI PATEL NOTARY PUBLIC ONTARIO

Valiuddin Mohammed
Digitally signed by Valiuddin Mohammed
DN: cn=Valiuddin Mohammed, c=CA, o=Mechways Inc., email=info@mechways.com
Date: 2022.11.08 13:42:44 -05'00'

Signature of Applicant or Authorized Agent

A Commissioner etc.

Rameshbhai Somabhai Patel
Ramesh Patel Law Professional Corporation
127 Westmore Dr. Unit # 101,
Toronto, ON. M9V 3Y6
Tel: 416-742-2999 Fax: 416-742-3688

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

_____ Zoning Officer

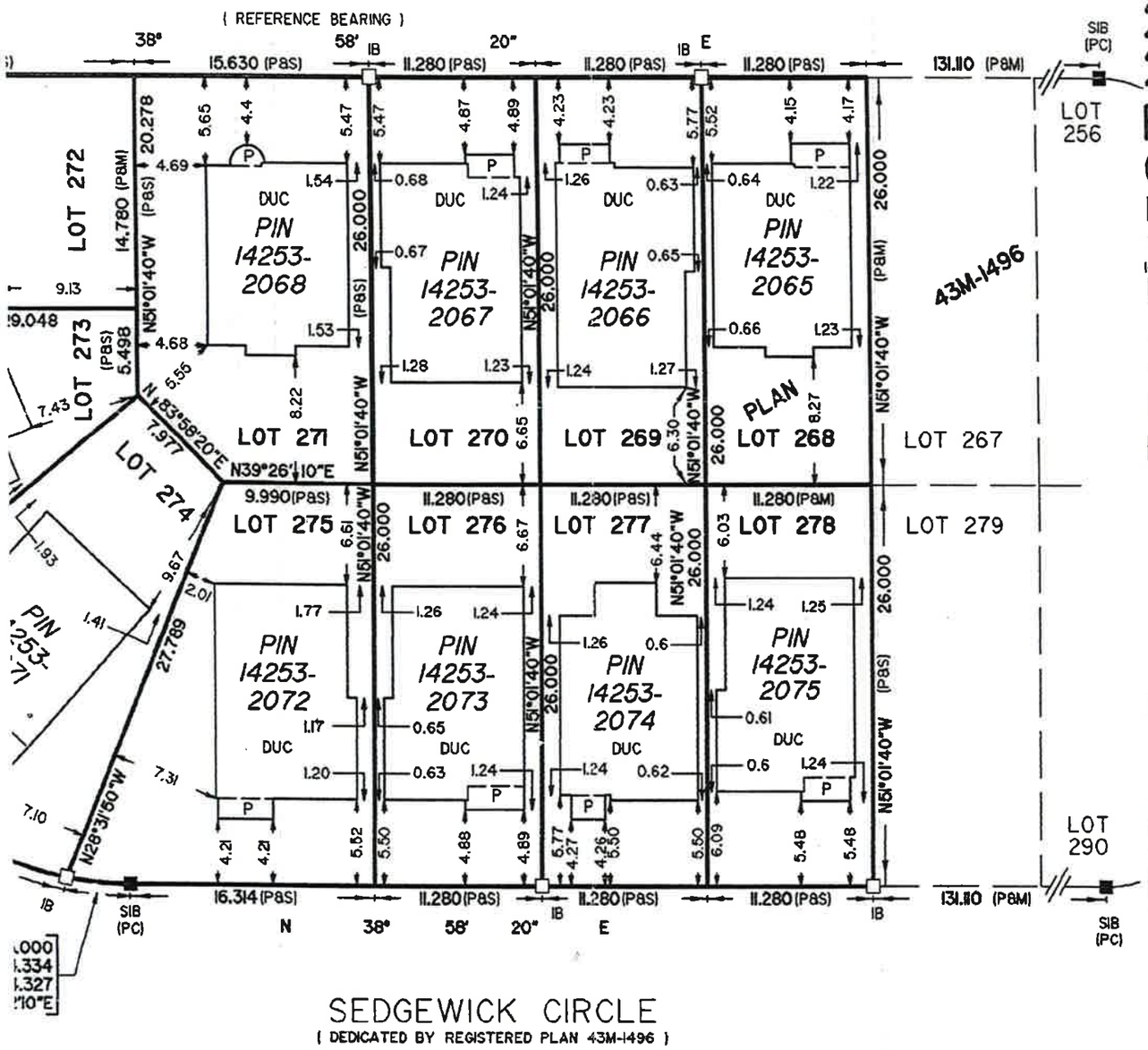
_____ Date

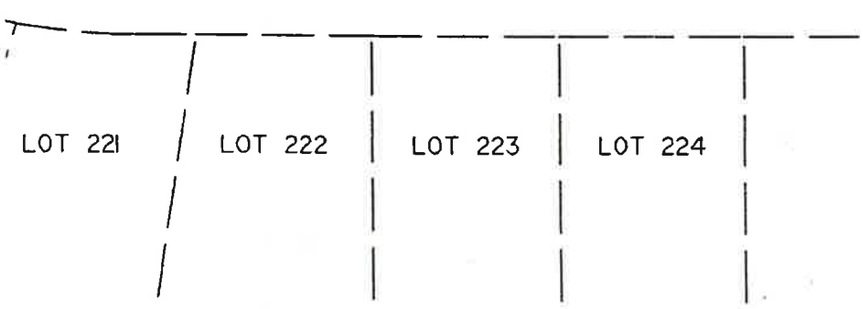
**DATE RECEIVED** November 9, 2022

Revised 2020/01/07

DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS




SURVEY(
PART 1 -
LOTS
272, 2
277 A
REGIS
CITY
REGIONAL
SCALE 1 :
10

J. D. BAR
© COPYRIGH

METRIC

PART 2
- DESCRIPTION
LOTS 268, 2
REGISTERED
REGIONAL MU
- REGISTERED
NONE
- ADDITIONAL
THE LOTS A
IN CONFORM

NOTES

BEARINGS ARE
SOUTHEASTER
ON REGISTERE

■ DENOTE
□ DENOTE
SIB DENOTE
IB DENOTE
DUC DENOTE
P&S DENOTE
P&M DENOTE
PC DENOTE
P DENOTE

ALL BUILDING
FOUNDATIONS.
ALL FOUND SU
UNLESS NOTED

SURVEY(

I CERTIFY TH
1. THIS SURVE
THE SURVE
MADE UNDE
2. THE SURVE

DATE MAY

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
1394946

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3).

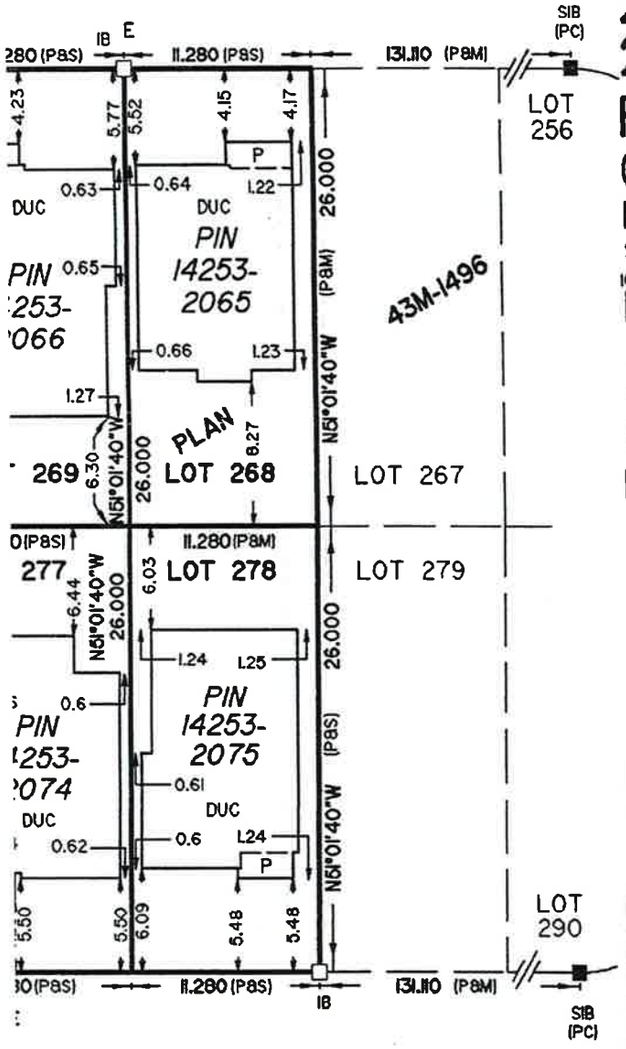
PREPARED FOR: FERNBROOK HOMES

450 BRIT.
T:

# SURVEYOR'S REAL PROPERTY REPORT
## PART 1 - PLAN SHOWING
# LOTS 268, 269, 270, 271, 272, 273, 274, 275, 276, 277 AND 278
# REGISTERED PLAN 43M-1496
# CITY OF BRAMPTON
## REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 400

10 0 10 20 30 metres




J. D. BARNES LIMITED

© COPYRIGHT

**METRIC** DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

## PART 2 - SURVEY REPORT

- DESCRIPTION
  LOTS 268, 269, 270, 271, 272, 273, 274, 275, 276, 277 AND 278 REGISTERED PLAN 43M-1496, CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL
- REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY
  NONE
- ADDITIONAL REMARKS
  THE LOTS ARE NOT FENCED AND SETBACKS ARE IN CONFORMITY WITH R1C-SECTION 1074 ZONING.

## NOTES

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHEASTERLY LIMIT OF SEDGEWICK CIRCLE, AS SHOWN ON REGISTERED PLAN 43M-1496, HAVING A BEARING OF N38° 58'20"E.

| | | |
|---|---|---|
| ■ | DENOTES | SURVEY MONUMENT FOUND |
| □ | DENOTES | SURVEY MONUMENT SET |
| SIB | DENOTES | STANDARD IRON BAR |
| IB | DENOTES | IRON BAR |
| DUC | DENOTES | DWELLING UNDER CONSTRUCTION |
| P&S | DENOTES | REGISTERED PLAN 43M-1496 AND SET |
| P&M | DENOTES | REGISTERED PLAN 43M-1496 AND MEASURED |
| PC | DENOTES | POINT OF CURVATURE |
| P | DENOTES | PORCH |

ALL BUILDING TIES ARE SHOWN TO THE UNFINISHED CONCRETE FOUNDATIONS.
ALL FOUND SURVEY MONUMENTS SET BY J.D. BARNES LTD. UNLESS NOTED OTHERWISE.

## SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON APRIL 18, 2002.

DATE MAY 21, 2002

DAVID A. BLACK
ONTARIO LAND SURVEYOR

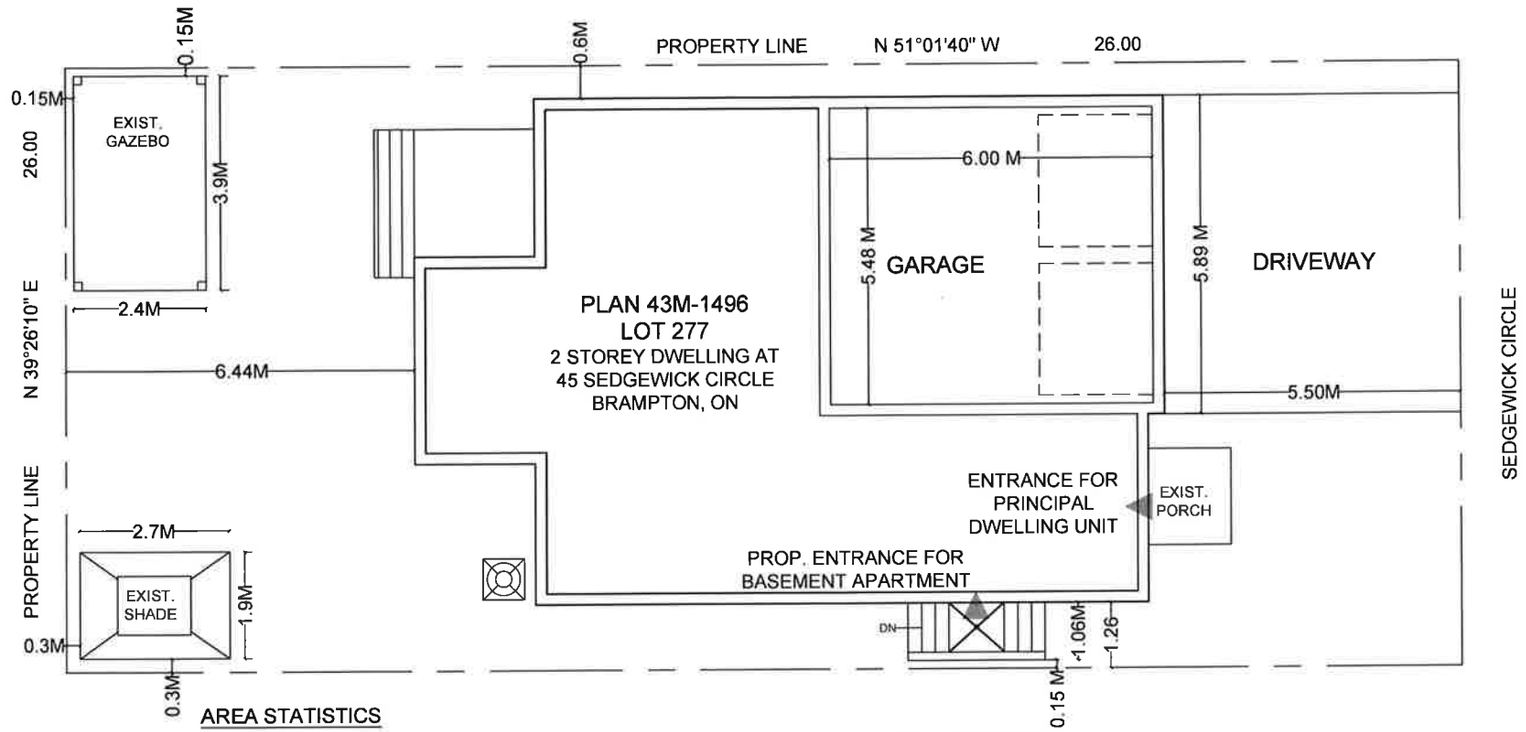
ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
1394946
THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3).

PREPARED FOR: FERNBROOK HOMES

J.D. BARNES LIMITED
SURVEYING MAPPING GIS
MARKED BY INNOVATION . MEASURED BY REPUTATION™
450 BRITANNIA ROAD EAST, SUITE 450B MISSISSAUGA, ON L4Z 1X9
T: (905) 507-6767 F: (905) 507-6977 www.jdbarnes.com

DRAWN BY: WG/WJ/VI
CHECKED BY: Boyd
DATE: 05/02/2002
Ref. No. 01-28-678-00-268

PLOTTED 21 MAY 2002 g:\12867800\srpr\sr268-278.dgn




## AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

| PRINCIPAL RESIDENCE | |
|---|---|
| EXISTING MAIN FLOOR G.F.A | = 81.5 M² |
| EXISTING SECOND FLOOR GFA | = 94.3 M² |
| TOTAL GFA | = 175.8 M² |

| | |
|---|---|
| BASEMENT G.F.A | = 81.56 M² |
| OWNER OCCUPIED AREA | = 23.5 M² |
| BASEMENT APARTMENT G.F.A | = 57.9 M² |

▲ ENTRANCE / EGRESS

## SCOPE OF WORK

A- PROPOSED BASEMENT APARTMENT

B-ENLARGEMENT OF ONE EXISTING WINDOW

C-PROPOSED TWO NEW WINDOWS

D- PROPOSED SIDE ENTRANCE FROM SIDE YARD

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC.REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER.IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
VMOHAMMED
100216807
NOV 18,2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 2 | REVISION | NOV 18,2022 |
| 1 | ISSUED FOR BUILDING PERMIT | OCT 02, 2022 |

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON L4T 1G5
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

45 SEDGEWICK CIR, BRAMPTON, ON

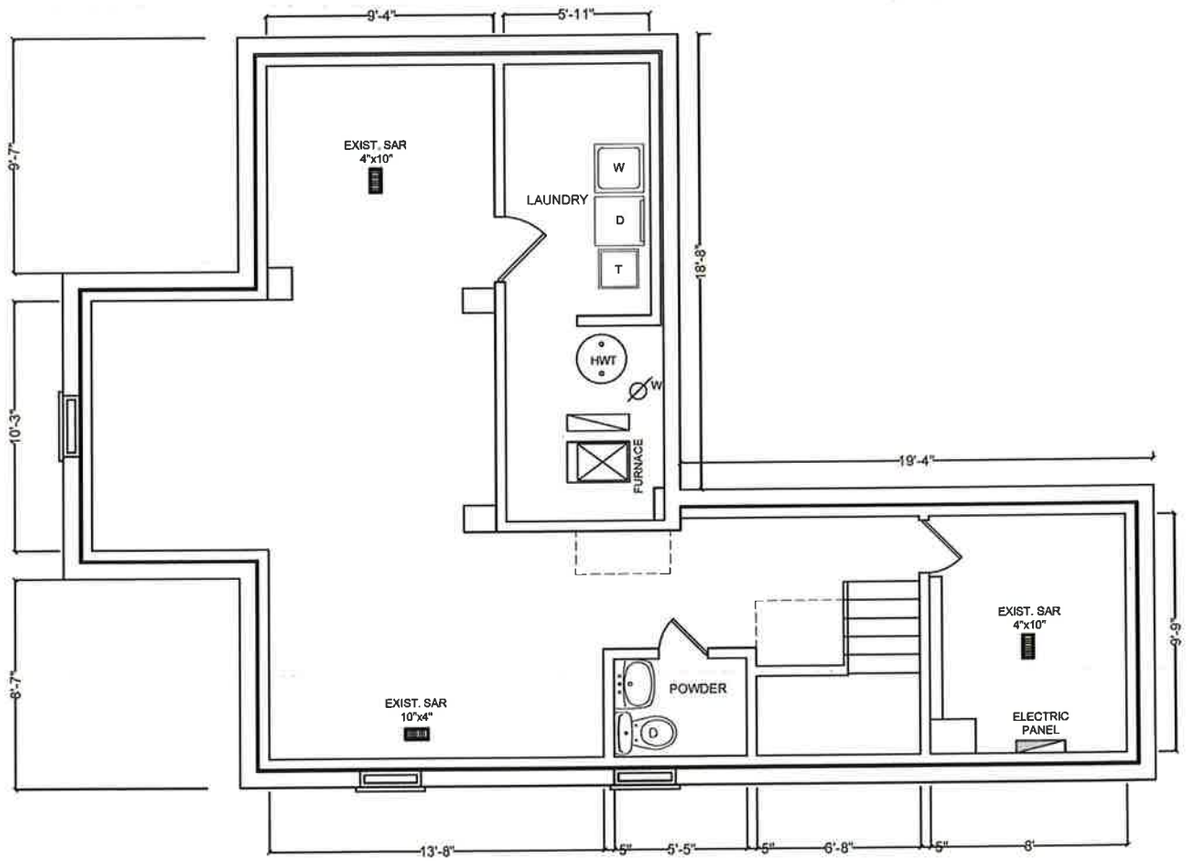
SHEET TITLE:

SITE PLAN

CHECKED: MSS
DRAWN: MSA
SCALE: 3/16"=1'
DATE: OCT 02, 2022

DRAWING:

A0.1




EXISTING BASEMENT PLAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC.REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER.IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
V.MOHAMMED
100216807
OCT 03, 2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 1 | ISSUED FOR BUILDING PERMIT | OCT 03, 2022 |

ENGINEER:

Mechways Inc.


ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON. L4T 1G5
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM


CONSULTANT:

PROJECT:

45 SEDGEWICK CIR, BRAMPTON, ON

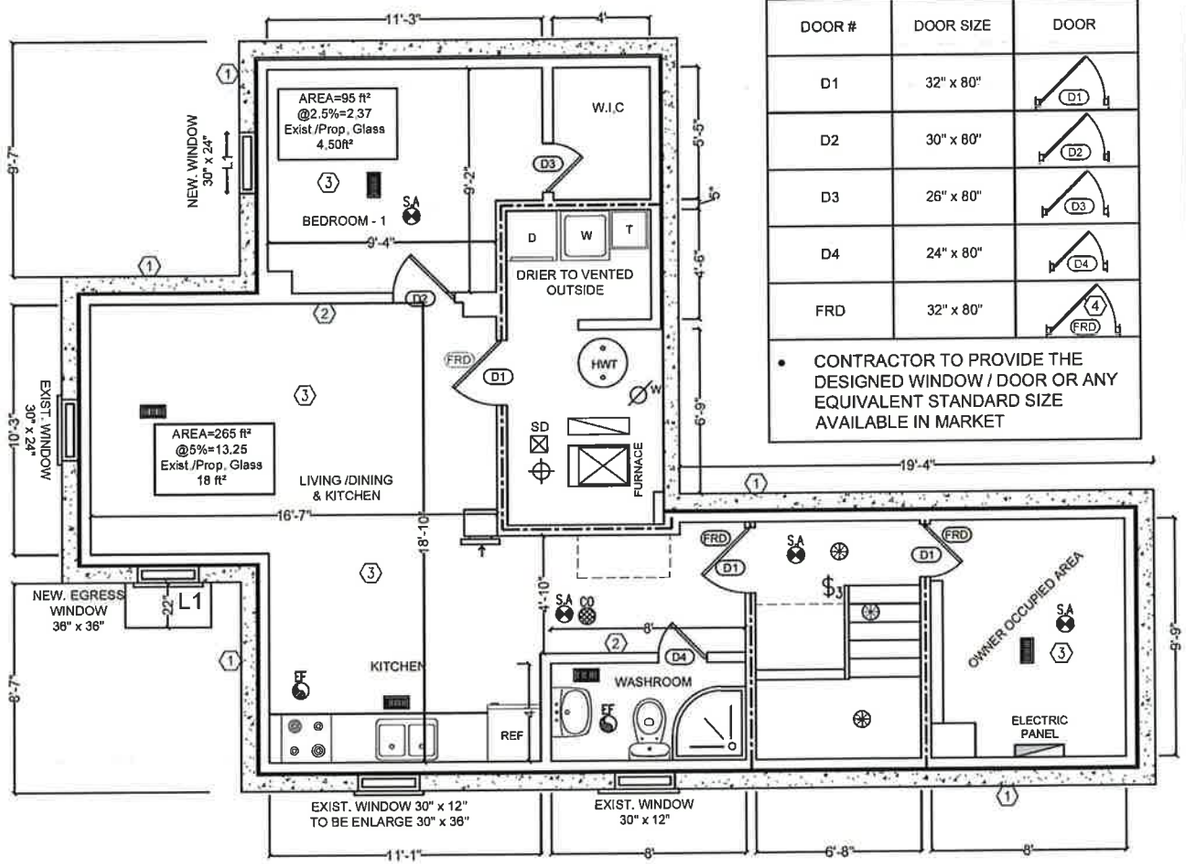
SHEET TITLE:

EXIST. BASEMENT PLAN

CHECKED: MBS
DRAWN: MSA
SCALE: 1/4"=1'
DATE: OCT 03, 2022

DRAWING:

A1.1




| DOOR SCHEDULE | | |
|---|---|---|
| DOOR # | DOOR SIZE | DOOR |
| D1 | 32" x 80" | |
| D2 | 30" x 80" | |
| D3 | 26" x 80" | |
| D4 | 24" x 80" | |
| FRD | 32" x 80" | |

- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

## LEGEND

| | |
|---|---|
| | EXISTING FOUNDATION WALL |
| | DRY WALL |
| | PROVIDE 30 MINUTE F.R.R (SB3 W1C 38 x 89 mm WOOD STUDS @ 610 mm O.C W/ 12.7 mm REGULAR GYPSUM ON EACH SIDE W/ 89 mm THICK ABSORPTIVE MATERIAL (ROCKWOOL INSULATION)) TO NEW/EXISTING WALL |
| SD | DUCT-TYPE SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM SERVING THE ENTIRE BUILDING THAT MUST TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION |
| SA | SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING |
| CO | CARBON MONO OXIDE ALARM |
| | SPRINKLER |
| 3 | NEW/ EXISTING HORIZONTAL SEPARATION 15 MINUTE F.R.R (EXISTING 1/2" GYPSUM BOARD CEILING) |
| EF | EXHAUST FAN |
| | EMERGENCY LIGHT |
| | SAR (SUPPLY AIR REGISTER) 10" x 4" |
| | RAG (RETURN AIR GRILLE) 12" x 6" |
| | PROVIDE 30 MINUTE F.R.R (2 x ½" THICK TYPE 'X' BOARD) UNDER THE STAIR SOFFIT/CEILING AND ON THE WALLS ENCLOSING STAIRWAYS CONNECTING BASEMENT TO MAIN FLOOR |
| | LIGHT |
| FRD | 20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE |
| L1 | 2-2"x8" WOOD LINTEL & 1-3.5"x3.5"x0.25" STEEL LINTEL. MINIMUM BEARING OF STEEL LINTEL 150 mm EACH SIDE. MINIMUM BEARING OF WOOD LINTEL 90 mm ON EACH SIDE |
| | STEEL POST |

## PROPOSED BASEMENT PLAN

| | |
|---|---|
| BASEMENT G.F.A | = 878 ft² / 81.56 m² |
| BASEMENT APARTMENT G.F.A | = 624 ft² / 57.9m² |
| OWNER OCCUPIED G.F.A | = 256 ft² / 23.5 m² |
| CEILING HEIGHT | = 7'-6" |
| CEILING HEIGHT U/S OF DUCT | = 6'-5" |

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS A MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC.REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER.IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
V.MOHAMMED
100216807
OCT 02, 2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 1 | ISSUED FOR BUILDING PERMIT | OCT 02, 2022 |


ENGINEER:
Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON, L4T 1G5
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

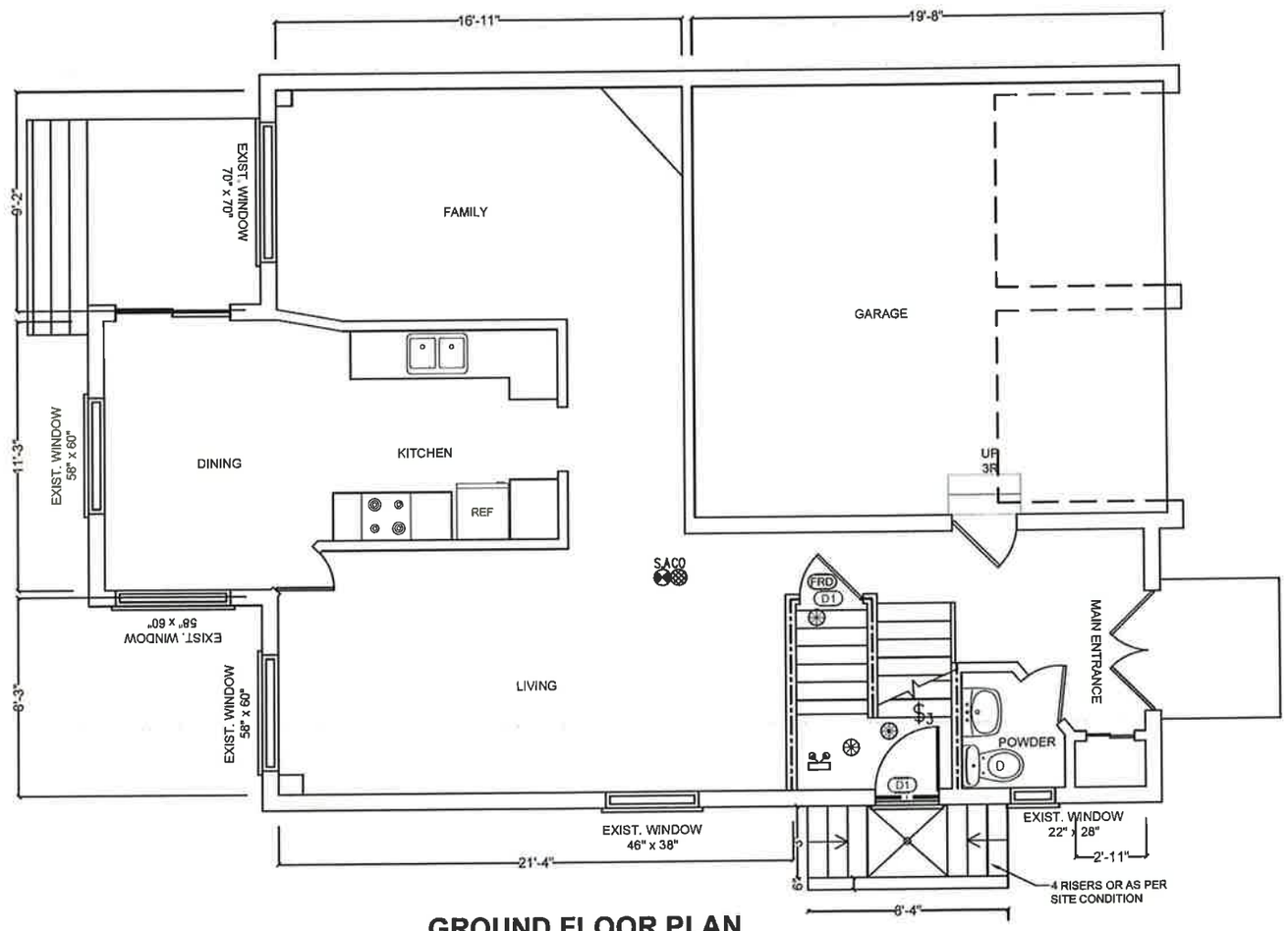

CONSULTANT:

PROJECT:
45 SEDGEWICK CIR, BRAMPTON, ON

SHEET TITLE:
PROP. BASEMENT PLAN

CHECKED: MSB
DRAWN: MSA
SCALE: 1/4"=1'
DATE: OCT 02, 2022

DRAWING:
A1.2




## GROUND FLOOR PLAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC.REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER.IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
V.MOHAMMED
100216807
OCT 02, 2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 1 | ISSUED FOR BUILDING PERMIT | OCT 02, 2022 |

ENGINEER:

Mechways Inc.


ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON. L4T 1G5
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM


CONSULTANT:

PROJECT:

45 SEDGEWICK CIR, BRAMPTON, ON

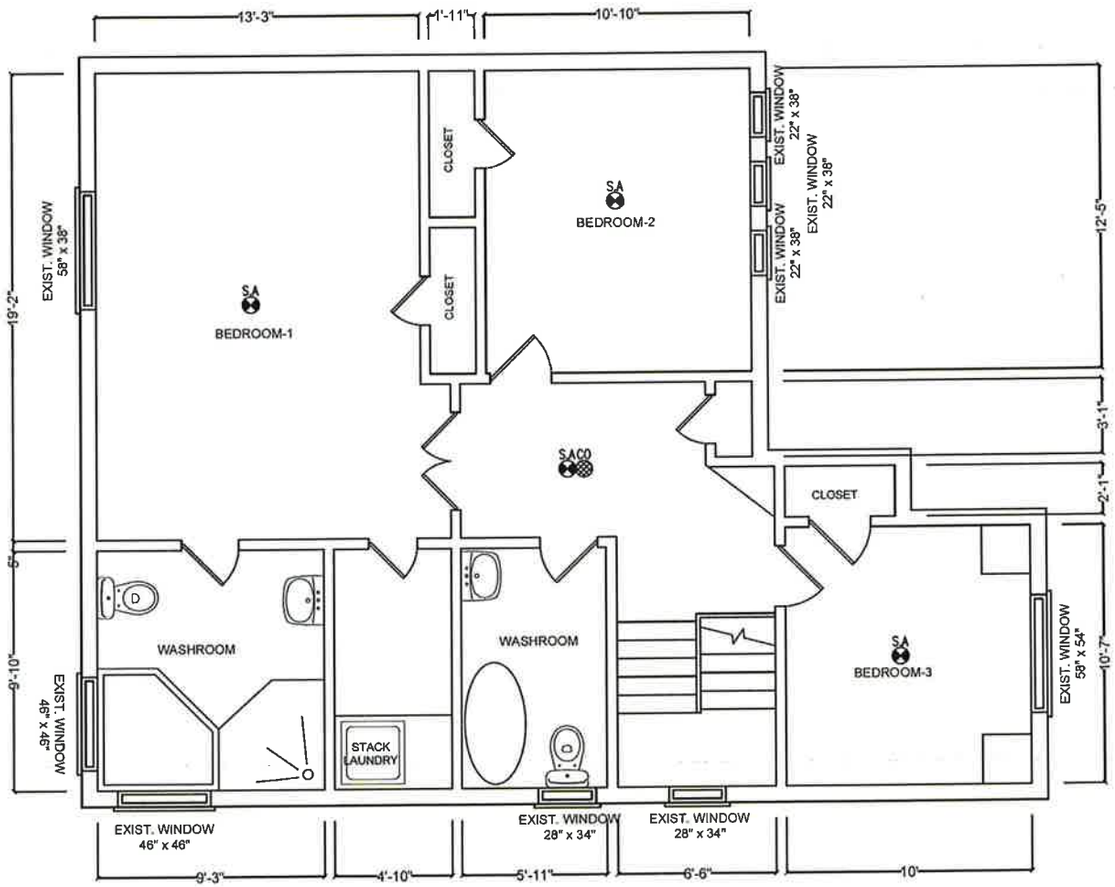
SHEET TITLE:

GROUND FLOOR PLAN

CHECKED: MBS
DRAWN: MSA
SCALE: 3/16"=1'
DATE: OCT 02, 2022

DRAWING:

A1.3




## SECOND FLOOR PLAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC.REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER.IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
V.MOHAMMED
100216807
OCT 02, 2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 1 | ISSUED FOR BUILDING PERMIT | OCT 02, 2022 |

ENGINEER:

Mechways Inc.


ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON. L4T 1G5
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM


CONSULTANT:

PROJECT:

45 SEDGEWICK CIR, BRAMPTON, ON

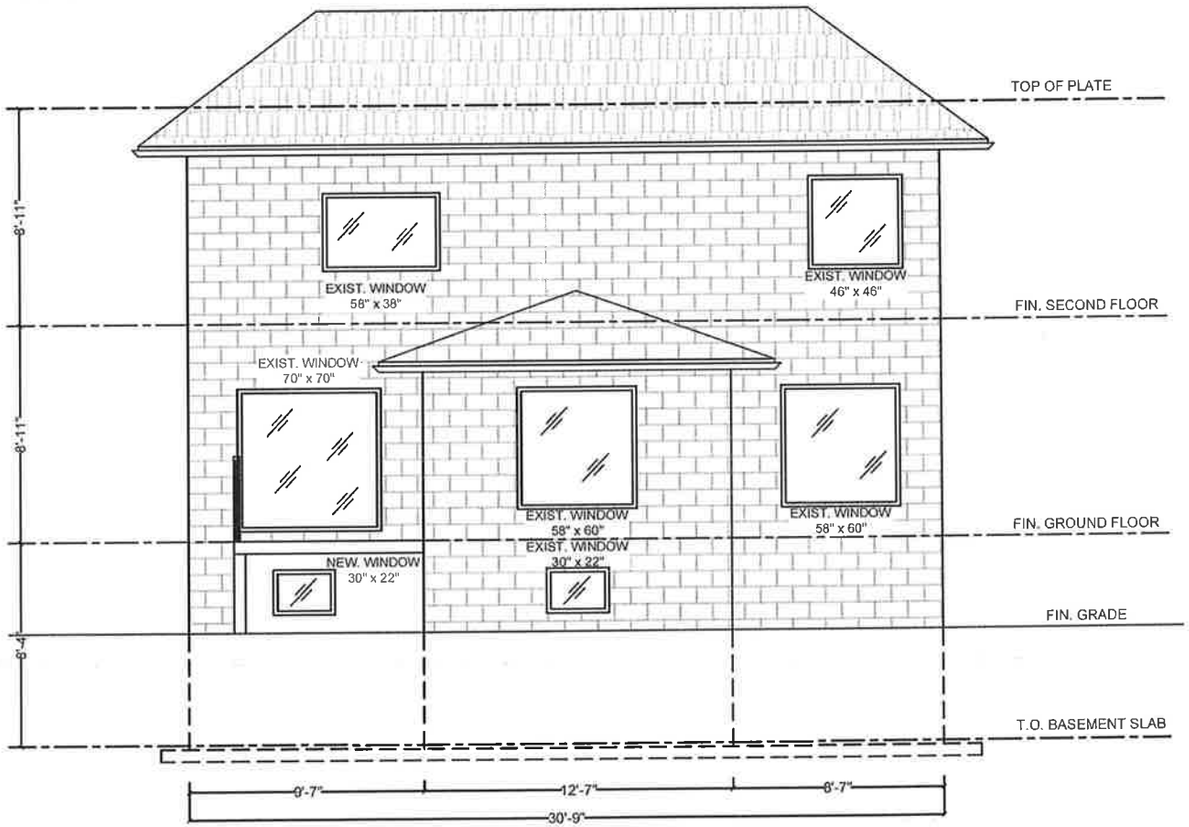
SHEET TITLE:

SECOND FLOOR PLAN

CHECKED: MSS
DRAWN: MSA
SCALE: 1/4"=1'
DATE: OCT 02, 2022

DRAWING:

A1.4




REAR SIDE ELEVATION

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC.REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER.IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
V.MOHAMMED
100210807
OCT 02, 2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 1 | ISSUED FOR BUILDING PERMIT | OCT 02, 2022 |

ENGINEER:

Mechways Inc.
ADDRESS : 2251 THAMESGATE DRIVE MISSISSAUGA, ON, L4T 1G8
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:
45 SEDGEWICK CIR, BRAMPTON, ON

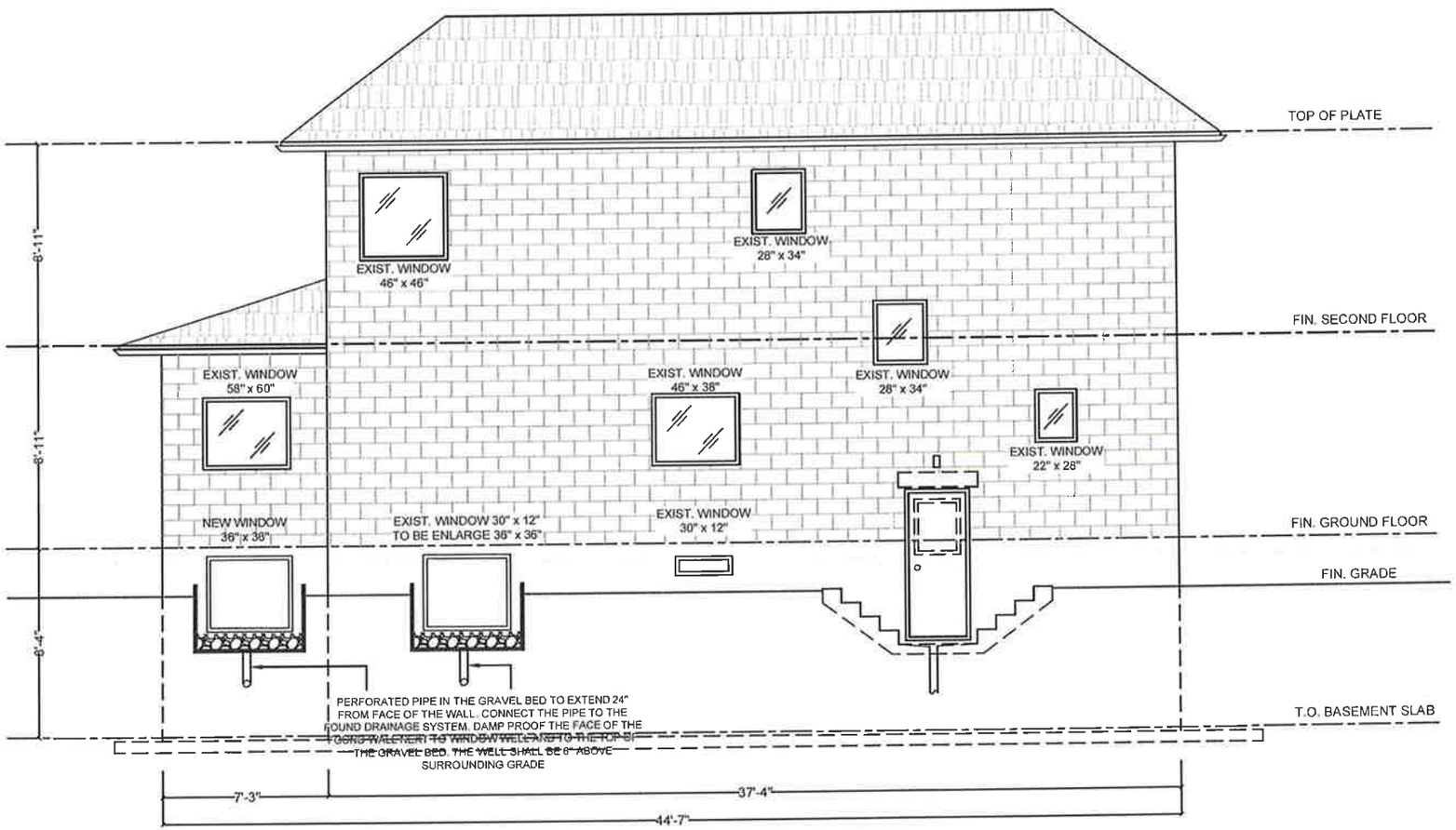
SHEET TITLE:
REAR SIDE ELEVATION

CHECKED: MSS
DRAWN: MSA
SCALE: 3/16"=1'
DATE: OCT 02, 2022

DRAWING:
A2.1

## SPATIAL AREA CALCULATION

| | |
|---|---|
| TOTAL WALL AREA / BUILDING FACE | = 731 ft² / 67.91 m² |
| LIMITING DISTANCE | = 1.26 m |
| MAXIMUM ALLOWABLE GLAZED AREA @ 7% | = 51.17 ft² / 4.7 m² |
| EXISTING GLAZED AREA ABOVE GRADE | = 43.6 ft² / 4 m² |
| PROPOSED GLAZED AREA ABOVE GRADE | = 3.69 ft² / 0.3 m² |
| TOTAL GLAZED AREA ABOVE GRADE | = 47.2 ft² / 4.3 m² = 6.4 % |




LEFT SIDE ELEVATION

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC.REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER.IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
V.MOHAMMED
100216807
OCT 02, 2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 1 | ISSUED FOR BUILDING PERMIT | OCT 02, 2022 |

ENGINEER:

Mechways Inc.


ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON, L4T 1G5
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM


CONSULTANT:

PROJECT:

45 SEDGEWICK CIR, BRAMPTON, ON

SHEET TITLE:

LEFT SIDE ELEVTAION

CHECKED: MSS
DRAWN: MSA
SCALE: 3/16"=1'
DATE: OCT 02, 2022

DRAWING:

A2.2

| ROOM FINISHED SCHEDULE - BASEMENT | | | | | | | | |
|---|---|---|---|---|---|---|---|---|
| ROOM NAME | FLOOR | | WALL | | CEILING | | HEIGHT | REMARKS |
| | MATERIAL | FINISH | MATERIAL | FINISH | MATERIAL | FINISH | | |
| LIVING, DINING, & KITCHEN | WOOD | | DRYWALL | PAINT | GYPSUM BD. | PAINT | 2286 | |
| BEDROOM | WOOD | | DRYWALL | PAINT | GYPSUM BD. | PAINT | 2286 | |
| OWNER OCCUPIED | WOOD | | DRYWALL | PAINT | GYPSUM BD. | PAINT | 2286 | |
| WASHROOM | CERAMIC | | DRYWALL | PAINT | GYPSUM BD. | PAINT | 2286 | |
| COLD ROOM | CONCRETE | | CONCRETE | | CONCRETE | | | |
| UTILITY ROOM | CONCRETE | | DRYWALL | | GYPSUM BD. | | 2286 | |

## DOOR SCHEDULE

1. ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE. THE SIZES ARE MENTIONED ON THE FLOOR PLAN. THE HEIGHT OF ALL DOORS ARE 80"
2. EGRESS DOOR - EXISTING ABOVE GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

## WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1m ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

## CONSTRUCTION NOTES

(1) FOUNDATION WALL INSULATION
FOUNDATION WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C. WITH EXIST. INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED

(2) INTERNAL WALLS
EXISTING WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES

(3) EXISTING CEILING
EXISTING DRYWALL CEILING (1/2" GYPSUM BOARD) ATTACHED TO BOTTOM OF FLOOR JOISTS OF GROUND FLOOR ASSEMBLY SATISFIES THE HORIZONTAL FIRE SEPARATION OF 15 MINUTES AS PER COMPLIANCE ALTERNATIVE C-152(b)

(4) 20 MIN. FIRE RESISTANCE RATED DOOR FOR COMMON AREA AND BETWEEN BASEMENT APARTMENT AND PRINCIPAL RESIDENCE WITH SELF CLOSING DEVICE

(5) EXISTING DUCT WORK LOCATED IN THE CEILING AND WALL HAS THE DIRECTION OF THE HEAT FLOW TOWARDS THE FLOOR

(6) MECHANICAL VENTILATION
50 CFM EXHAUST FANS IN KITCHEN AND WASHROOM

(7) IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING

(8) PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET

(9) FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

## GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

$ SWITCH

$3 3 WAY SWITCH
INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE, WITH WHITE COVER PLATE SHALL BE INSTALLED AT THE ENDS OF EACH STAIRWAYS

GFI C WP 15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE WHITE, C/W WHITE COVER PLATE
GFI - GROUND FAULT TYPE
WP -WEATHERPROOF COVER
C - ABOVE COUNTER

RECEPTACLE 50A, 208V, STOVE OR DRIER OUTLET.

RECEPTACLE

LIGHT

SPOT LIGHT

EMERGENCY LIGHT

FD: FLOOR DRAIN

SPRINKLER

DUCT TYPE SMOKE DETECTOR

SA SMOKE ALARM

CO CARBON MONOXIDE DETECTOR

EF EXHAUST FAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK.THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC.REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER.IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
V.MOHAMMED
100216807
OCT 02, 2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 1 | ISSUED FOR BUILDING PERMIT | OCT 02, 2022 |

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON. L4T 1G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

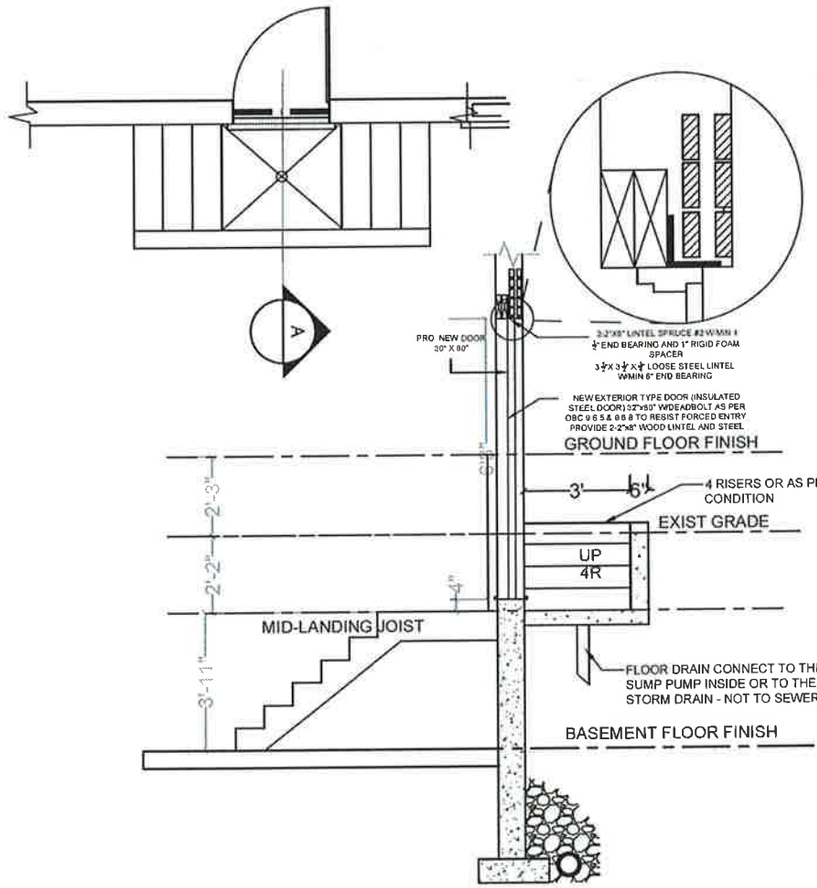
CONSULTANT:

PROJECT:
45 SEDGEWICK CIR, BRAMPTON, ON

SHEET TITLE:
GENERAL NOTES

CHECKED: MSS
DRAWN: NTS
SCALE: 3/16"=1'
DATE: OCT 02, 2022

DRAWING:
A 4.1




## GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY OF BRAMPTON BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OF LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

### 1. CONCRETE

1. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPa @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.
2. MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

### 3. EXTERIOR STAIRS

RISE 7 7/8" MAXIMUM 4 7/8" MINIMUM
RUN 8 1/2" MINIMUM 14" MAXIMUM
TREAD 9 1/4" MINIMUM 14" MAXIMUM
ADJUST STEP SIZE TO SUIT SITE

### 4. INSULATION

4a. MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.
4B PROVIDE 4" THICK RIGID STYROFOAM INSULATION UNDER THE STAIR SLAB AND LOWER LANDING AND OUTWARD FACE OF RETAINING WALLS.

### 5. RETAINING WALL

10" POURED CONCRETE WALL W/NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 1200mm, UNLESS MENTIONED OTHERWISE.

PROVIDE 15M VERTICAL STEEL REINFORCEMENT @ 12" O.C. AND 10M DISTRIBUTION REINFORCEMENT @12" O.C. PROVIDE MINIMUM 3" CONCRETE COVER FOR MAIN REINFORCEMENT PLACED TOWARD EARTH SIDE

### 6. GUARDS -

42" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11" 36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

### 7. EXTERIOR DOOR

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-8"x6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8TO RESIST FORCED ENTRY. PROVIDE LINTEL AS FOLLOWS:
WOOD LINTEL: 2-2x8 SPF NO.1 OR NO.2
STEEL LINTEL: 1L 3 1/2"x3 1/2"x1/4" THICK ANGLE STEEL LINTELS WITH MINIMUM BEARING OF 150MM

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:

LICENSED PROFESSIONAL ENGINEER
V.MOHAMMED
100216807
OCT 03, 2022
PROVINCE OF ONTARIO

| NO. | DESCRIPTION | DATE |
|---|---|---|
| 1 | ISSUED FOR BUILDING PERMIT | OCT 02, 2022 |

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON. L4T 1G5
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

45 SEDGEWICK CIR. BRAMPTON, ON

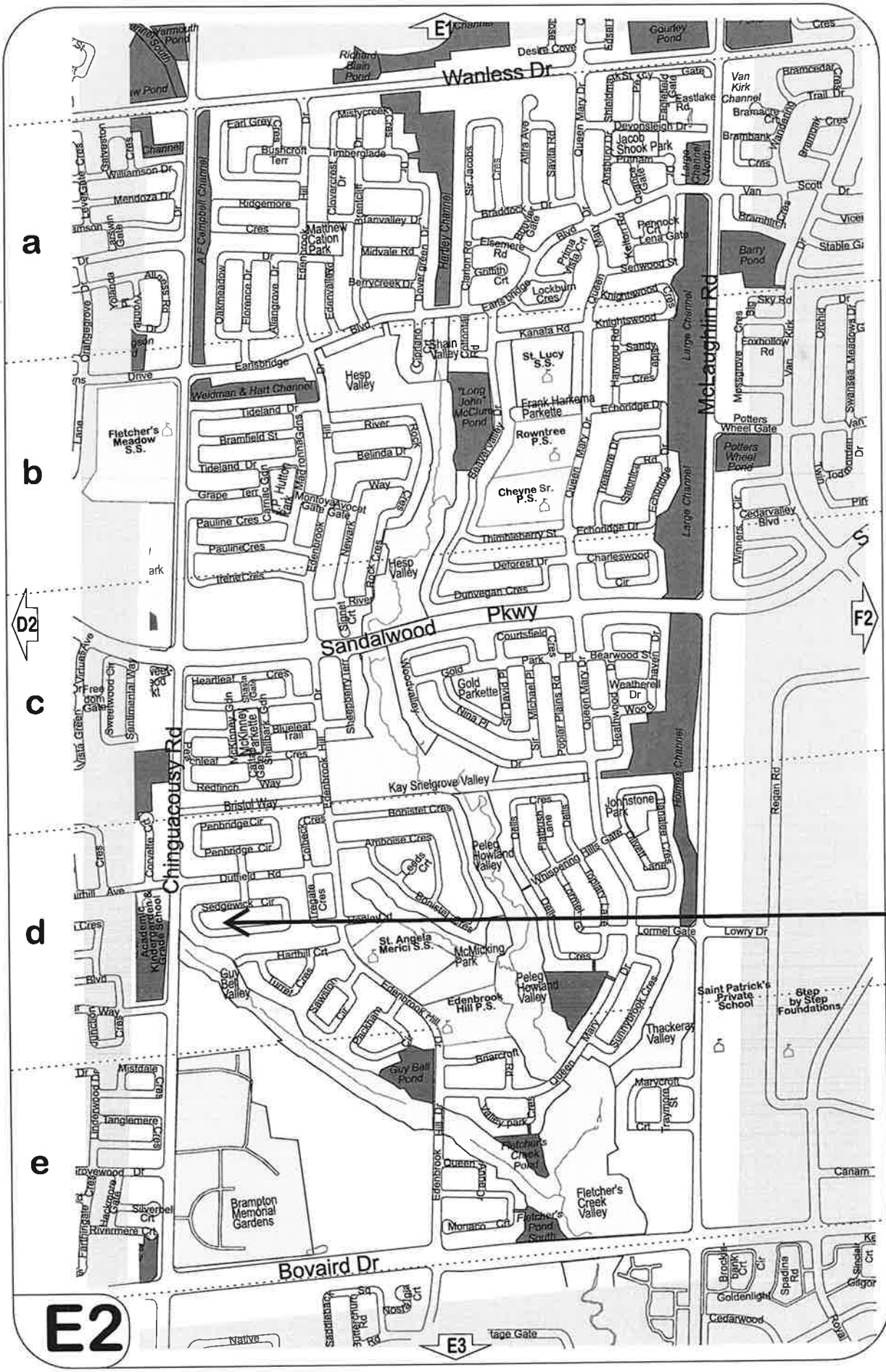
SHEET TITLE:

SECTION PLAN

CHECKED: MSS
DRAWN: MSA
SCALE: NTS
DATE: OCT 02, 2022

DRAWING:

S1



E1
E2
E3
D2
F2
a
b
c
d
e
Wanless Dr
Sandalwood Pkwy
Chinguacousy Rd
McLaughlin Rd
Bovaird Dr
Hartley Channel
Large Channel
Holmes Channel
Weldman & Hart Channel
A.F. Campbell Channel
Richard Blain Pond
Gourley Pond
Van Kirk Channel
Barry Pond
Potters Wheel Pond
Jacob Shook Park
Matthew Cation Park
Fletcher's Meadow S.S.
Hesp Valley
"Long John" McClure Pond
St. Lucy S.S.
Frank Harkema Parkette
Rowntree P.S.
Cheyne Sr. P.S.
Gold Parkette
Johnstone Park
Peleg Howland Valley
St. Angela Merici S.S.
McMicking Park
Edenbrook Hill P.S.
Guy Bell Valley
Guy Bell Pond
Thackeray Valley
Saint Patrick's Private School
Step by Step Foundations
Fletcher's Creek Valley
Fletcher's Creek Pond
Fletcher's Pond South
Brampton Memorial Gardens
Academic Kindergarden & Grade School
Kay Snelgrove Valley
Regan Rd
Lowry Dr
Lormel Gate
Cedarwood
Goldenlight
Spadina Rd
Canam
Bristol Way
Redfinch Way
Sedgewick Cir
Duffield Rd
Penbridge Cir
Bonistel Cres
Amboise Cres
Hartbill Crt
Edenbrook Hill Dr
Queen Mary Dr
Sunnybrook Cres
Marycroft
Valley park
Monaco Crt
Bearwood St
Weatherell Dr
Courtsfield
Nina Pl
Sir David Pl
Michael Pl
Poplar Plains Rd
Heathwood
Heartleaf Cres
Blueleaf Trail
Sheepberry Terr
Woodvalley
Kanata Rd
Knightswood
Echoridge Dr
Charleswood Cir
Thimbleberry St
Deforest Dr
Dunvegan Cres
Earlsbridge
Tideland Dr
Bramfield St
Grape Terr
Pauline Cres
Irene Cres
Belinda Dr
Rock Cres
Newark
Edenbrook
Montoya Avocet Gate
Hutton Park
Madronna Gdns
Carmac Gdn
Ridgemore Cres
Mistycreek
Timberglade
Bushcroft Terr
Earl Grey Cres
Williamson Dr
Mendoza Dr
Oakmeadow
Florence Dr
Allangrove Dr
Edenvalley
Tranvalley Dr
Midvale Rd
Berrycreek Dr
Dover green Dr
Clarton Rd
Sir Jacobs Cres
Alfra Ave
Savita Rd
Queen Mary Dr
Anshury Dr
Devonsleigh Dr
Eastlake Rd
Bramcedar Cres
Trail Dr
Bramacre Cres
Brambank Cres
Van Scott Dr
Bramhirch
Stable Gate
Sky Rd
Foxhollow Rd
Potters Wheel Gate
Cedarvalley Blvd
Winners Cir
Mossgrove Cres
Orchid Dr
Swansea Meadows Dr
Van Kirk
Sandy Cres
Harwood Rd
Treasure Dr
Salonica Rd
Echoridge Dr
Queen Mary Dr
Knightswood Cres
Lockburn Cres
Prima Vista Crt
Elsemere Rd
Griffith Crt
Pennock Crt
Lena Gate
Kelton Rd
Senwood St
Brambirch Cres
Vicent
Van Kirk
Orangegrove Dr
Yolanda Pl
Allness Rd
Vista Green
Virtues Ave
Freedom Gate
Sweetwood Cir
Sentimental Way
Pearl Cres
Redfinch Way
Bristol Way
Penbridge Cir
Duffield Rd
Sedgewick Cir
Tregate Cres
Harthill Crt
Turret Cres
Sawston Cir
Packham Cir
Bnarcroft Rd
Valley park Cres
Queen Mary Dr
Sunnybrook Cres
Marycroft Crt
Traymore St
Mistdale Cres
Tanglemere Cres
Silverbell Crt
Rivermere Crt
Farthingate Cres
Hackmore Gate
Linderwood Dr
Junction Way
Brockbank Crt
Sinclair Crt
Gilgor
Royal
Native
Saddleback Sq
Butterchurn Rd
Nostalgia Crt
Cottage Gate


A-2022-0369

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0022***
**WARD #4**

**DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **BRANTHAVEN CREDITVIEW INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 5, Concession 4 W.H.S., Part 1, Plan 43R-14727 municipally known as **8940 CREDITVIEW ROAD,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a temporary sales office for a period of three (3) years whereas the by-law does not permit the proposed use in an Agricultural Zone.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

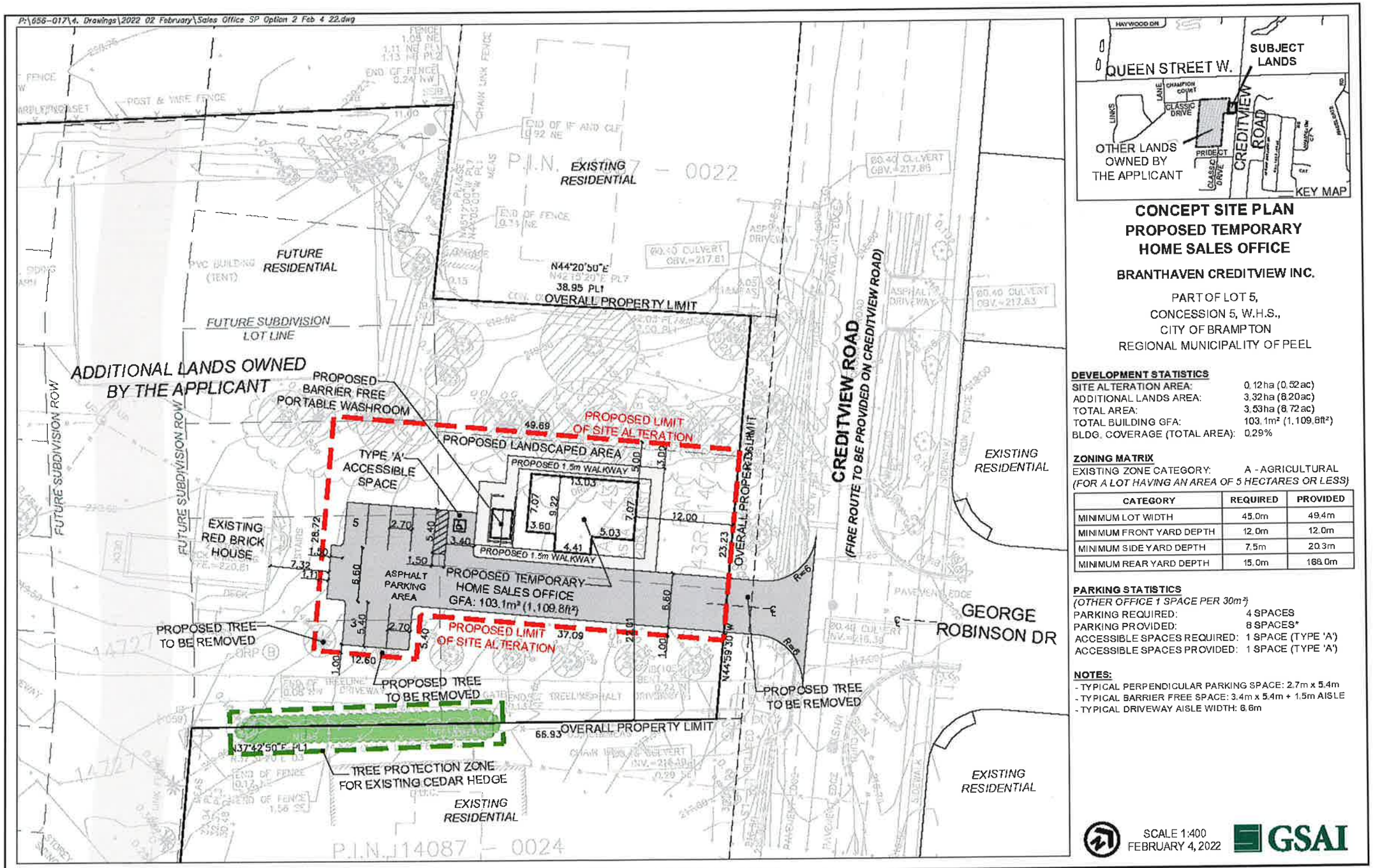
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




# CONCEPT SITE PLAN
# PROPOSED TEMPORARY HOME SALES OFFICE

**BRANTHAVEN CREDITVIEW INC.**

PART OF LOT 5,
CONCESSION 5, W.H.S.,
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

**DEVELOPMENT STATISTICS**

| | |
|---|---|
| SITE ALTERATION AREA: | 0.12ha (0.52ac) |
| ADDITIONAL LANDS AREA: | 3.32ha (8.20ac) |
| TOTAL AREA: | 3.53ha (8.72ac) |
| TOTAL BUILDING GFA: | 103.1m² (1,109.8ft²) |
| BLDG. COVERAGE (TOTAL AREA): | 0.29% |

**ZONING MATRIX**

EXISTING ZONE CATEGORY: A - AGRICULTURAL
*(FOR A LOT HAVING AN AREA OF 5 HECTARES OR LESS)*

| CATEGORY | REQUIRED | PROVIDED |
|---|---|---|
| MINIMUM LOT WIDTH | 45.0m | 49.4m |
| MINIMUM FRONT YARD DEPTH | 12.0m | 12.0m |
| MINIMUM SIDE YARD DEPTH | 7.5m | 20.3m |
| MINIMUM REAR YARD DEPTH | 15.0m | 168.0m |

**PARKING STATISTICS**

*(OTHER OFFICE 1 SPACE PER 30m²)*

| | |
|---|---|
| PARKING REQUIRED: | 4 SPACES |
| PARKING PROVIDED: | 8 SPACES* |
| ACCESSIBLE SPACES REQUIRED: | 1 SPACE (TYPE 'A') |
| ACCESSIBLE SPACES PROVIDED: | 1 SPACE (TYPE 'A') |

**NOTES:**

- TYPICAL PERPENDICULAR PARKING SPACE: 2.7m x 5.4m
- TYPICAL BARRIER FREE SPACE: 3.4m x 5.4m + 1.5m AISLE
- TYPICAL DRIVEWAY AISLE WIDTH: 6.6m

SCALE 1:400
FEBRUARY 4, 2022

GSAI

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

GLEN SCHNARR & ASSOCIATES INC.
URBAN & REGIONAL PLANNERS, LAND DEVELOPMENT CONSULTANTS

PARTNERS:
GLEN SCHNARR, MCIP, RPP
GLEN BROLL, MCIP, RPP
COLIN CHUNG, MCIP, RPP
JIM LEVAC, MCIP, RPP

March 7, 2022

GSAI File: 656-017

Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

**Attention:** Jeanie Myers
Secretary Treasurer

**RE: Request for Deferral (Committee of Adjustment)**
**City File No.: A-2022-0022**
**8940 Creditview Road**
**City of Brampton, Regional Municipality of Peel**

Glen Schnarr & Associates Inc. (GSAI) are the authorized agents and planning consultants for Branthaven Creditview Inc., owners of the property municipally addressed as 8940 Creditview Road (herein referred to as the "subject property"). As per conversations with City Staff and understanding the published Staff Report, we receive staff's recommendation for deferral for our application for Minor Variance and respectfully request a deferral for the application which was to proceed to the Committee of Adjustment on March 8, 2022 (A-2022-0022).

This deferral will provide the opportunity for staff to review the recently submitted development proposal (OZS 2022-0014) and provide opportunity for the surrounding community to be notified. Granting the deferral request, the related development application can be reviewed in order for staff to gain a better understanding of the issues relating to the overall development of the land. This additional time will give staff an opportunity to have greater discussions with the public prior to the approval and construction of a temporary sales pavilion on the property.

We hope to be on agenda in the near future to seek a Minor Variance to permit a temporary sales office on the subject property.

Yours very truly,
GLEN SCHNARR & ASSOCIATES INC.

Sanjam Raisuada
Planner

10 KINGSBRIDGE GARDEN CIRCLE
SUITE 700
MISSISSAUGA, ONTARIO
L5R 3K6
TEL (905) 568-8888
FAX (905) 568-8894
www.gsai.ca

GLEN SCHNARR & ASSOCIATES INC.
URBAN & REGIONAL PLANNERS, LAND DEVELOPMENT CONSULTANTS

PARTNERS:
GLEN SCHNARR, MCIP, RPP
GLEN BROLL, MCIP, RPP
COLIN CHUNG, MCIP, RPP
JIM LEVAC, MCIP, RPP

February 7, 2022

GSAI File: 656-017

A - 2022-0022

Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

**Attention:** Jeanie Myers
Secretary Treasurer

**RE: Minor Variance Application**
**Branthaven Creditview Inc.**
**8940 Creditview Road**
**Part Lot 5, Concession 5, WHS**
**City of Brampton, Regional Municipality of Peel**

Glen Schnarr & Associates Inc. (GSAI) are the authorized agents and planning consultants for Branthaven Creditview Inc., owners of the property municipally addressed as 8940 Creditview Road (herein referred to as the "subject property"). As such, we are pleased to submit this application for Minor Variance to permit a temporary sales office.

## Site Description

The subject property is municipally addressed as 8940 Creditview Road, located on the west side of Creditview Road, generally south of the intersection of Queen Street West and Creditview Road in the City of Brampton. The subject property is legally described as Part Lot 5, Concession 5, WHS. The subject property has a frontage of approximately 49.79m (163.18ft) along Creditview Road, a depth of 89.21m (292.68ft) and a total site area of approximately 3.49ha (8.62ac).

The subject property is designated 'Residential' in the City of Brampton Official Plan and Executive Residential' in Credit Valley Secondary Plan (SPA45). Additionally, the subject property is zoned 'Agricultural (A)' in the City of Brampton Zoning Bylaw (270-2004) and is currently occupied by eight freestanding structures: a residential dwelling, a small timber frame barn, a large timber frame barn with a cement silo, a concrete block milk house, a modern fabric Quonset hut, two (2) horse stables, and a modular home.

10 KINGSBRIDGE GARDEN CIRCLE
SUITE 700
MISSISSAUGA, ONTARIO
L5R 3K6
TEL (905) 568-8888
FAX (905) 568-8894
www.gsai.ca

We note for staff that there is a recently submitted Draft Plan of Subdivision and Official Plan and Zoning By-law Amendment Application (PRE-2021-0055) application which proposes the redevelopment of the subject property. Under this application, the applicant is proposing to redevelop the subject property with sixty-two (62) lots comprised of single detached residential dwellings. Three (3) of the proposed lots will front onto Creditview Road and the remaining fifty-nine (59) lots are proposed along the internal road network, fronting along the extension of Classic Drive as well as the proposed street, Street 'A'. The Official Plan and Zoning By-law Amendment propose to redesignate the lands as 'Low Density 2' in the Credit Valley Secondary Plan and rezone the lands 'Residential Single Detached F – 11.6 – Special Exception (R1F-XX)'. The application is currently undergoing a completeness review and we anticipate it will be presented at a public meeting in short order.

**The Proposed Development**

Branthaven Creditview Inc. is proposing to develop a portion of the subject property for a single-storey temporary sales office with a gross floor area of approximately 103.1 $m^2$ (1,109.8 $ft^2$) along with eight (8) on-site parking spaces. One vehicular access point is proposed on Creditview Drive, adjacent to George Robinson Drive. The portion of the subject property intended to be used for the proposed temporary sales office comprises 0.12 ha (0.52 ac) of the overall property. A 1.5 m walkway is proposed along the periphery of the sales office and will context to the asphalt parking area. Further, a barrier free portable washroom is also proposed adjacent to the sales office for customer use. The existing red brick house is proposed to be maintained as part of the development of the sales office.

As per the submitted Minor Variance Sketch, prepared by GSAI dated February 2, 2022, the proposed sales office meets all the setback requirements of the 'Agricultural (A)' zone. A minimum front yard depth of 12.0m is required and 12.0m is provide. A minimum side yard depth of 7.5m is required and 20.3m is provided. A minimum rear yard depth of 15m is required and 168m is provided. The subject property also meets the minimum lot width requirement of 45m, having a lot width of 49.4m. Parking is required at the 'Other Office' rate of 1 space per 30$m^2$ for a total of four (4) spaces. Eight (8) spaces are provided, including a required Type 'A' accessible space.

The sales office is intended to be used for the sale of homes proposed under the above-noted Draft Plan of Subdivision, Official Plan and Zoning By-law Amendment application.

In order to permit the proposed sales office, we are proposing a Minor Variance to request relief from the Zoning By-law to permit a temporary sales office use whereas the zoning by-law does not permit the use in this instance. The temporary use is being requested for a period of three (3) years from date of opening.

## The Proposed Variance

We propose the following variance in order to permit the proposed temporary sales office:

1. To permit the use of a temporary sales office for a period of three (3) years, whereas Zoning By-law 270-2004 does not permit this use in an *Agricultural (A)* zone.

## Planning Rationale for Proposed Variances

Section 45(1) of the Planning Act, as amended, identifies the four tests which must be satisfied in order for the Committee to approve this application. The following section provides an analysis demonstrating how the variances satisfies these tests.

*1. The variance maintains the general intent and purpose of the Official Plan.*

The subject property is designated 'Residential' in the City's Official Plan and 'Executive Residential' in the Credit Valley Secondary Plan (SPA45). The 'Residential' designation of the Official Plan is intended to permit predominantly residential land uses (Policy 4.2.1.1) with an objective to provide opportunities for the development of a broad mix of housing. The 'Executive Residential' designation of the Secondary Plan also intends to permit residential uses, but those with larger lot sizes and frontages. As previously mentioned, an Official Plan Amendment has been applied for to amend the Secondary Plan designation to 'Low Density 2', which permits residential uses with smaller lot sizes and frontages than the "Executive Residential" designation.

In light of the submitted Official Plan Amendment and given the current land use designations, the temporary home sales office will permit the sale of a new residential development within an establish residential area. The sales office is only proposed on the lands for a temporary basis, until the sale of the units is complete while the Draft Plan, Official Plan and Zoning By-law Amendment applications are being processed. As such, the proposed variances to permit a temporary sales office is consistent with the land use intent and purpose of the Official Plan.

*2. The variance maintains the general intent and purpose of the Zoning By-law.*

The subject property is zoned 'Agricultural (A)' in the City of Brampton Zoning By-law 270-2004. Similar to the justification above, while the Zoning By-law allows for agricultural uses, the temporary nature of the proposed sales office does not preclude the long-term use of the property for agricultural purposes. As previously mentioned, a Zoning By-law Amendment application has been submitted to the City to rezone the subject lands for single-detached residential uses and the temporary sales office is required to facilitate the sales of the future residential lots.

Further, the proposed temporary sales office maintains all other zoning requirements of the 'Agricultural (A)' zone, including setback requirements, lot width requirements and parking requirements. The variance simply seeks the permission of the sales office use on a temporary

basis. Based on the temporary nature of the proposed variance, the general intent and purpose of the Zoning By-law is maintained.

3. *The variance is desirable for the appropriate development or use of the land.*

The proposed sales office will not interfere with the achievement of the City's future land use objectives of the long-term viability of agricultural uses as per the existing zoning. Further, as the Official Plan and Secondary Plan designate the lands for residential purposes, the temporary sales office will also not interfere in the long-term viability of its residential use. Instead, the variance seeks to uphold that use by facilitating the sale of the upcoming residential units. The proposed sales office is therefore minor in nature by virtue of being temporary.

4. *The variance is minor in nature.*

The subject property is subject to forthcoming residential construction activity where it is common to find new home sales offices. As such, the proposed temporary sales office will be appropriate in terms of compatibility with surrounding land uses. Further, the proposed location for the temporary sales office is desirable as it is located at prominent and highly visible intersection in close proximity to the lands within which the units to be sold from this sales office.

**Application Materials:**

In support of the application, please find enclosed the following materials:

- One (1) copy of the completed Minor Variance Application Form with the signed Authorization and Permission to Enter Forms;
- One (1) copy of Minor Variance Sketch, prepared by Glen Schnarr and Associates Inc., dated January 26, 2022;
- One (1) cheque in the amount of $2,560.00 for Minor Variance Application Fees.

We trust that these materials are sufficient for Staff's review and look forward to being considered for the March 8, 2022, hearing date. Please contact the undersigned at colinc@gsai.ca if you require additional information or wish to clarify any thing contained in this application.

Yours very truly,
GLEN SCHNARR & ASSOCIATES INC.

Colin Chung, MCIP, RPP
Partner

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0022

***The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.***

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** Branthaven Creditview Inc. (c/o Arden Semper)
**Address** 720 Oval Court, Burlington ON
**Phone #** 905.333.8364 ext. 240 **Fax #**
**Email** asemper@branthaven.com

2. **Name of Agent** Glen Schnarr and Associates Inc. (c/o Colin Chung)
**Address** 700-10 Kingsbridge Garden Circle, Mississauga ON L5R 3K6
**Phone #** 905.568.8888 x224 **Fax #**
**Email** colinc@gsai.ca

3. **Nature and extent of relief applied for (variances requested):**

To permit the use of a temporary sales office for a period of three (3) years, whereas Zoning By-law 270-2004 does not permit this use in an Agricultural (A) zone.

4. **Why is it not possible to comply with the provisions of the by-law?**

A temporary sales office is not a permitted use within the 'Agricultural (A)' zone.

5. **Legal Description of the subject land:**
**Lot Number** Part Lot 5
**Plan Number/Concession Number** Concession 5 WHS
**Municipal Address** 8940 Creditview Road, Brampton, ON, L6Y 0G4

6. **Dimension of subject land (in metric units)**
**Frontage** 49.79 m
**Depth** 155.77 m
**Area** 34, 923 m2

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Single Detached Dwelling (red brick house); a small timber frame barn; a large timber frame barn with a concrete silo; a concrete block milk house; two (2) horse stables; a modern fabric Quonset hut; a modular home

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

A 1-storey temporary sales office with a gross floor area of 103.1 square metres. Eight (8) parking spaces are proposed as part of the development application.

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 19.32m |
| **Rear yard setback** | |
| **Side yard setback** | |
| **Side yard setback** | |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 12m |
| **Rear yard setback** | 168m |
| **Side yard setback** | 20.3m |
| **Side yard setback** | 22.01 |

10. **Date of Acquisition of subject land:** July 30, 2021

11. **Existing uses of subject property:** Agricultural/Vacant

12. **Proposed uses of subject property:** Temporary Home Sales Office

13. **Existing uses of abutting properties:** Low Density Residential

14. **Date of construction of all buildings & structures on subject land:** Approx. 1987

15. **Length of time the existing uses of the subject property have been continued:** 20+ Years

16. (a) **What water supply is existing/proposed?**
**Municipal** ☑ **Other (specify)** _____
**Well** ☐

(b) **What sewage disposal is/will be provided?**
**Municipal** ☑ **Other (specify)** _____
**Septic** ☐

(c ) **What storm drainage system is existing/proposed?**
**Sewers** ☑
**Ditches** ☐ **Other (specify)** _____
**Swales** ☐

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☐

**If answer is yes, provide details:** **File #** PRE-2021-0055 **Status** In Review

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☐

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☐ **Unknown** ☐

**If answer is yes, provide details:**

**File #** A-2021-0153 **Decision** Approved **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Burlington

THIS 8th DAY OF February, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Glen Schnarr and Associates Inc. (c/o Colin Chung), OF THE City OF Burlington

IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Mississauga

IN THE Region OF

Peel THIS 7th DAY OF

February, 2022.

A Commissioner etc.

Laura Kim Amorim, a Commissioner, etc.,
Province of Ontario, for
Glen Schnarr & Associates Inc.
Expires March 3, 2023.

Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** Agricultural

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

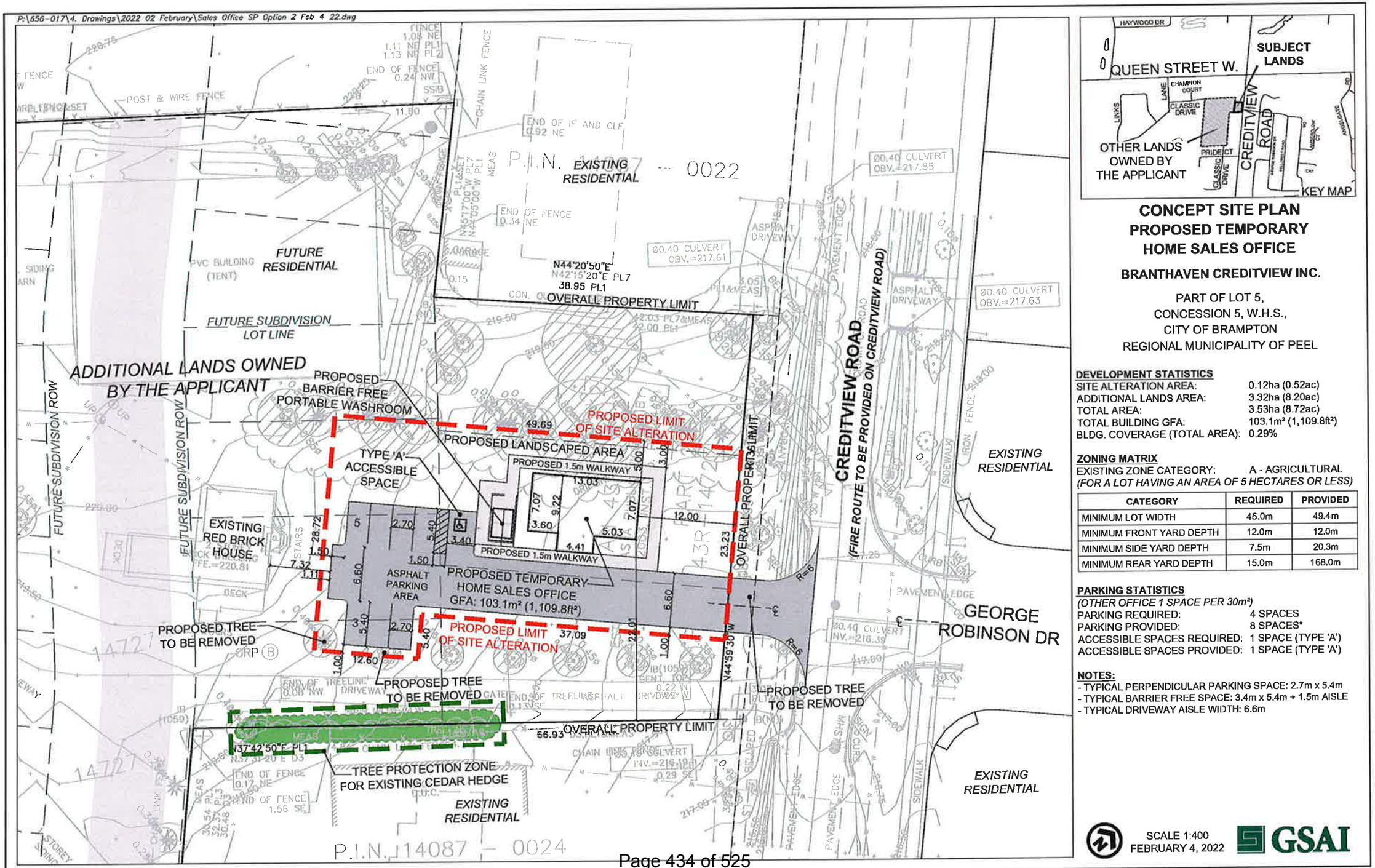
Zoning Officer

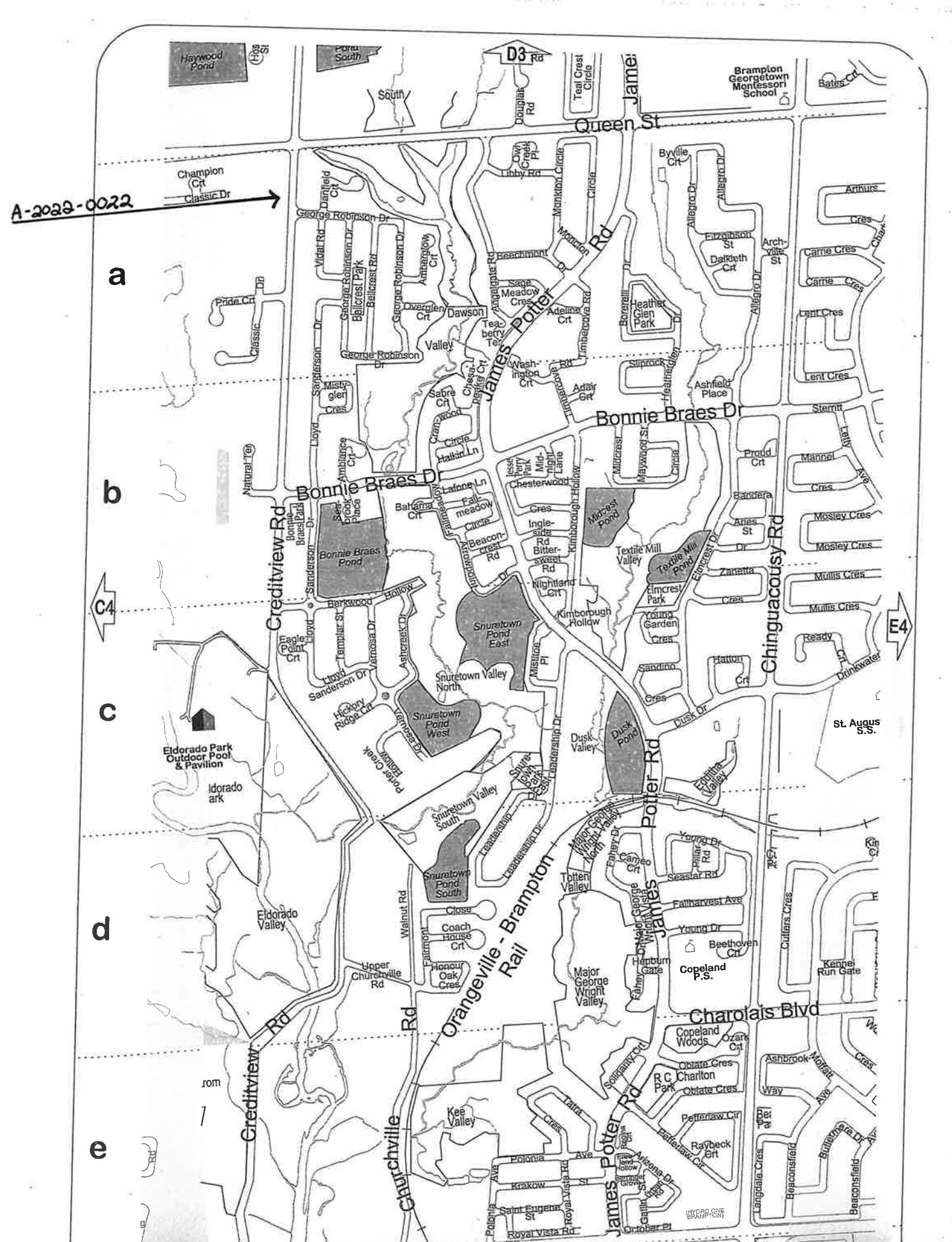
Feb 8 22
Date

**DATE RECEIVED** February 8, 2022

**Date Application Deemed Complete by the Municipality** February 8, 2022

Revised 2020/01/07


P:\656-017\4. Drawings\2022 02 February\Sales Office SP Option 2 Feb 4 22.dwg
HAYWOOD DR
QUEEN STREET W.
SUBJECT LANDS
CHAMPION COURT
LANE
CLASSIC DRIVE
LINKS
CREDITVIEW ROAD
PRIDE CT
OTHER LANDS OWNED BY THE APPLICANT
KEY MAP
CONCEPT SITE PLAN
PROPOSED TEMPORARY
HOME SALES OFFICE
BRANTHAVEN CREDITVIEW INC.
PART OF LOT 5,
CONCESSION 5, W.H.S.,
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
DEVELOPMENT STATISTICS
SITE ALTERATION AREA: 0.12ha (0.52ac)
ADDITIONAL LANDS AREA: 3.32ha (8.20ac)
TOTAL AREA: 3.53ha (8.72ac)
TOTAL BUILDING GFA: 103.1m² (1,109.8ft²)
BLDG. COVERAGE (TOTAL AREA): 0.29%
ZONING MATRIX
EXISTING ZONE CATEGORY: A - AGRICULTURAL
(FOR A LOT HAVING AN AREA OF 5 HECTARES OR LESS)
CATEGORY | REQUIRED | PROVIDED
MINIMUM LOT WIDTH | 45.0m | 49.4m
MINIMUM FRONT YARD DEPTH | 12.0m | 12.0m
MINIMUM SIDE YARD DEPTH | 7.5m | 20.3m
MINIMUM REAR YARD DEPTH | 15.0m | 168.0m
PARKING STATISTICS
(OTHER OFFICE 1 SPACE PER 30m²)
PARKING REQUIRED: 4 SPACES
PARKING PROVIDED: 8 SPACES*
ACCESSIBLE SPACES REQUIRED: 1 SPACE (TYPE 'A')
ACCESSIBLE SPACES PROVIDED: 1 SPACE (TYPE 'A')
NOTES:
- TYPICAL PERPENDICULAR PARKING SPACE: 2.7m x 5.4m
- TYPICAL BARRIER FREE SPACE: 3.4m x 5.4m + 1.5m AISLE
- TYPICAL DRIVEWAY AISLE WIDTH: 6.6m
P.I.N. 0022
EXISTING RESIDENTIAL
FUTURE RESIDENTIAL
FUTURE SUBDIVISION LOT LINE
OVERALL PROPERTY LIMIT
ADDITIONAL LANDS OWNED BY THE APPLICANT
PROPOSED BARRIER FREE PORTABLE WASHROOM
PROPOSED LIMIT OF SITE ALTERATION
PROPOSED LANDSCAPED AREA
PROPOSED 1.5m WALKWAY
TYPE 'A' ACCESSIBLE SPACE
EXISTING RED BRICK HOUSE
ASPHALT PARKING AREA
PROPOSED TEMPORARY HOME SALES OFFICE
GFA: 103.1m² (1,109.8ft²)
PROPOSED TREE TO BE REMOVED
TREE PROTECTION ZONE FOR EXISTING CEDAR HEDGE
CREDITVIEW ROAD
(FIRE ROUTE TO BE PROVIDED ON CREDITVIEW ROAD)
GEORGE ROBINSON DR
P.I.N. 14087 - 0024
SCALE 1:400
FEBRUARY 4, 2022
GSAI


A-2022-0022
a
b
c
d
e
C4
E4
Haywood Pond
Pond South
South
D3 Rd
Queen St
James
Brampton Georgetown Montessori School
Bates Crt
Champion Crt
Classic Dr
Danfield Crt
George Robinson Dr
Vidal Rd
Pride Crt
Classic Dr
George Robinson Dr
Bellcrest Park
Bellcrest Rd
George Robinson Dr
Amberglow Crt
Overglen Crt
Dawson
Valley
Sanderson Dr
George Robinson Dr
Misty-glen Cres
Lloyd
Natural Ter
Ambiance Crt
Bonnie Braes Dr
Bonnie Braes Park
Sandbrook Place
Bonnie Braes Pond
Creditview Rd
Berkwood Hollow
Eagle Point Crt
Templar St
Lloyd Sanderson Dr
Vernosa Dr
Ashcreek Dr
Hickory Ridge Crt
Eldorado Park Outdoor Pool & Pavilion
Eldorado Park
Potter Creek Hollow
Snuretown Valley North
Snuretown Pond West
Snuretown Valley South
Snuretown Pond South
Eldorado Valley
Walnut Rd
Close
Coach House Crt
Fairmont
Honour Oak Cres
Upper Churchville Rd
Creditview Rd
Churchville Rd
Orangeville - Brampton Rail
Kee Valley
Polonia Ave
Krakow St
Saint Eugene St
Royal Vista Rd
Royal Vista Rd
Leadership Dr
Snuretown Pond East
Mistuna Pl
Snuretown Valley
Dusk Valley
Dusk Pond
Dusk Dr
Potter Rd
James
Major George Wright Valley North
Fahey Dr
Cameo Crt
Totten Valley
Major George Wright Valley
Major George Wright Valley
Young Dr
Phillips Rd
Seastar Rd
Fallharvest Ave
Young Dr
Beethoven Crt
Hepburn Gate
Copeland P.S.
Charolais Blvd
Copeland Woods
Ozark Crt
Oblate Cres
R.C. Charlton Park
Oblate Cres
Solidarity Crt
Tatra Cres
Pfefferlaw Cir
Raybeck Crt
Pfefferlaw Cir
Arizona Dr
Gatlin Crt
Ortober Pl
Ashbrook Moffatt Way
Butterhera Dr
Beaconsfield Ave
Langdale Cres
Beaconsfield
Cutlers Cres
Kennel Run Gate
St. Augus S.S.
Chinguacousy Rd
Arthurs Cres
Carrie Cres
Lent Cres
Stemit
Mannel Cres
Mosley Cres
Mullis Cres
Ready Crt
Drinkwater
Hatton Crt
Sandino Cres
Young Garden Cres
Elmcrest Park
Zanetta
Aries St
Bandera
Proud Crt
Ashfield Place
Sliprock
Heather Glen Park
Borgetell Dr
Allegro Dr
Byville Crt
Erzgibson St
Dalkeith Crt
Archville St
Monkton Circle
Libby Rd
Beechmont Dr
Sage Meadow Cres
Adeline Crt
Timbercove Rd
Wash-ington Crt
Adair Crt
Sabre Crt
Cranwood Circle
Halkirk Ln
Lafone Ln
Fall-meadow Circle
Bahama Crt
Fallmeadow Rd
Ingle-side Rd
Bitter-sweet Rd
Beacon-crest Rd
Nightland Crt
Kimborough Hollow
Chesterwood Cres
Jesse Perry Park
Mid-night Lane
Midcrest
Maywood St
Circle
Textile Mill Valley
Textile Mill Pond
Elmcrest Dr
Kimborough Hollow
Creditview Rd
Chinguacousy Rd
Potter Rd
James Potter Rd

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0047***
**WARD #1**

**DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **MANUPRIYA SHARMA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 24, Plan BR-32, Part of Lot 23, Plan 43R-9448 municipally known as **43 DAVID STREET,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s) associated with the proposed "retained" lot under consent application B-2022-0003:

1. To permit a lot area of 438.2 square metres whereas the by-law requires a minimum lot area of 450 square metres;

2. To permit a lot width of 9.07 metres whereas the by-law requires a minimum lot width of 15 metres;

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO — File Number: _____
Application for Consent: YES — File Number: B-2022-0003

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

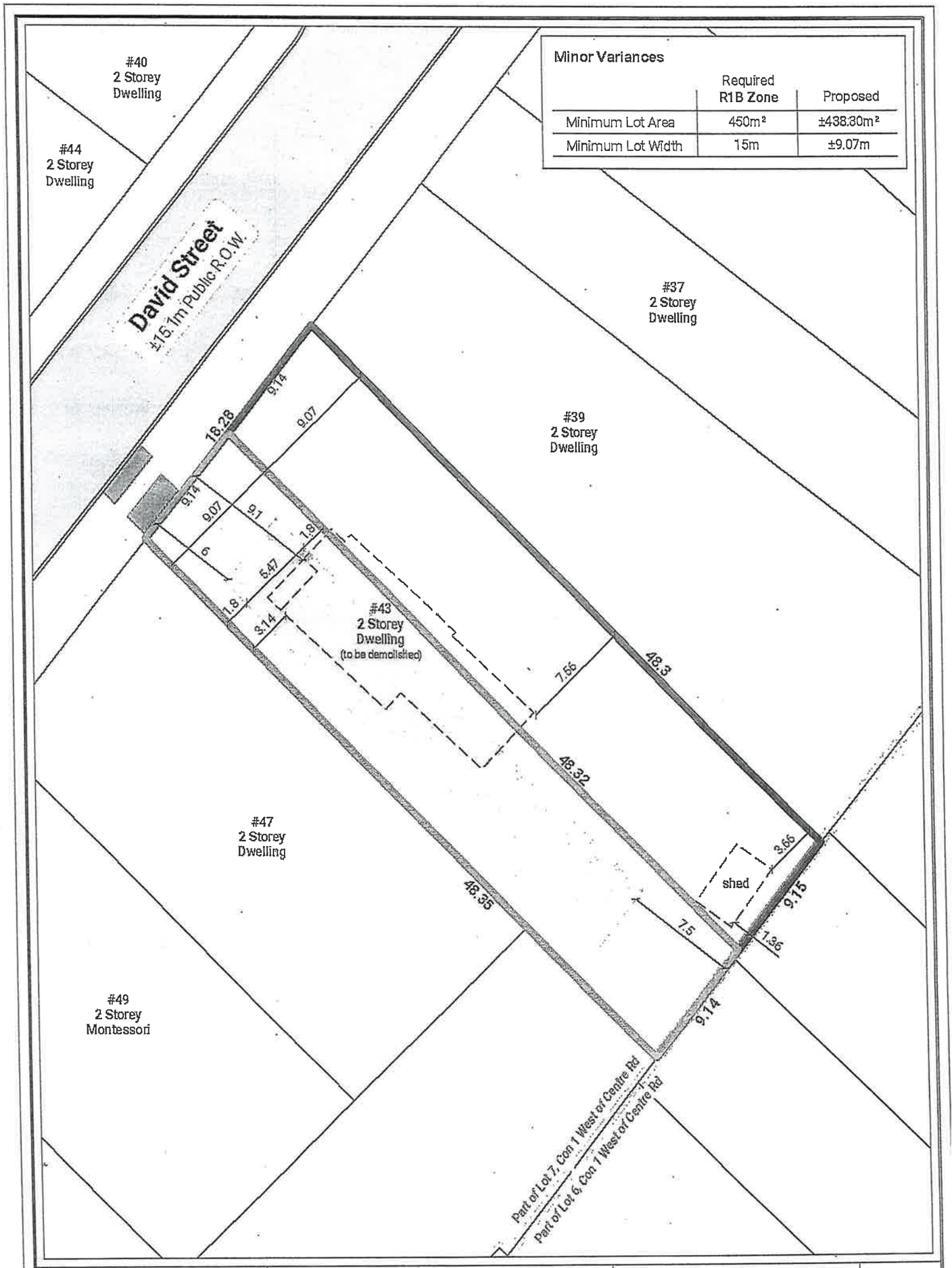
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 17th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




**Minor Variances**

| | Required R1B Zone | Proposed |
|---|---|---|
| Minimum Lot Area | 450m² | ±438.30m² |
| Minimum Lot Width | 15m | ±9.07m |

Appendix B

# Minor Variance Sketch

43 David Street,
City of Brampton

Legend

- Lands Subject to Minor Variance
  Lot Area: ±438.30m² (0.11ac)
  Lot Width: ±9.07m
- Other Lands Owned by Applicant
  Lot Area: ±438.18m² (0.11ac)
  Lot Width: ±9.07m
- Proposed 2 Storey Building Envelopes
- Existing Structures to be Demolished

0 2.5 5 7.5 10 12.5m
Scale: 1 : 300

N

Note: This drawing is for discussion purposes only. Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M. Date: March 28, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

# AMENDMENT LETTER

March 28, 2022

To: Committee of Adjustment

**RE: APPLICATIONS FOR MINOR VARIANCE**
**MANUPRIYA SHARMA**
**LOT 24, PLAN BR-32, PART 2, PLAN 43R-9448**
**43 DAVID STREET**
**A-2022-0047 AND A-2022-0048**

---

Please **amend** applications **A-2022-0047 AND a-2022-0048** to reflect the following:

1. To permit a lot area of 438.2 square metres whereas the by-law requires a minimum lot area of 450 square metres;

2. To permit a lot width of 9.07 metres whereas the by-law requires a minimum lot width of 15 metres;

Applicant/Authorized Agent

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2022-0047

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Manupriya Sharma
   **Address** 43 David Street, Brampton, L6X 1J3
   **Phone #** 647-960-0007 **Fax #**
   **Email** gouravbhanot@yahoo.com

2. **Name of Agent** Powell Planning & Associates c/o Aimee Powell
   **Address** 202 Eighth Avenue, New Tecumseth, ON L9R 0H5
   **Phone #** 647-828-2467 **Fax #**
   **Email** aimee@powellplanning.ca

3. **Nature and extent of relief applied for (variances requested):**
   RETAINED LANDS APPLICATION
   1. to permit a minimum lot area of 438.2 square metres
   2. to permit a minimum lot frontage of 9.1 metres

4. **Why is it not possible to comply with the provisions of the by-law?**
   1. the by-law requires a minimum lot area of 450 square metres
   2. the by-law requires a minimum lot frontage of 15 metres

5. **Legal Description of the subject land:**
   **Lot Number** 24
   **Plan Number/Concession Number** Plan BR-32 Part 2, Plan 43R-9448
   **Municipal Address** 43 David Street

6. **Dimension of subject land (in metric units)**
   **Frontage** 18.3 m (existing) 9.1 m proposed, pending approval of consent
   **Depth** 48.3
   **Area** 876.5 metres square (existing), 438.2 square metres, proposed pending approval of consent

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

1 existing house and 1 existing shed. GFA for existing dwelling is 213.4 square metres. GFA for existing shed is 13.6 square metres. Both the existing shed and existing dwelling are to be demolished.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

single detached residential unit once severed

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 11.2 m |
| **Rear yard setback** | 21 m |
| **Side yard setback** | 8 m |
| **Side yard setback** | 3.4 m |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 6 m |
| **Rear yard setback** | 7.5 m |
| **Side yard setback** | 1.2 m |
| **Side yard setback** | 1.2 m |

10. **Date of Acquisition of subject land:** June 8, 2021

11. **Existing uses of subject property:** residential

12. **Proposed uses of subject property:** residential

13. **Existing uses of abutting properties:** residential

14. **Date of construction of all buildings & structures on subject land:** 1890

15. **Length of time the existing uses of the subject property have been continued:** 132 years

16. (a) **What water supply is existing/proposed?**
**Municipal** ☑ **Other (specify)** _____
**Well** ☐

(b) **What sewage disposal is/will be provided?**
**Municipal** ☑ **Other (specify)** _____
**Septic** ☐

(c) **What storm drainage system is existing/proposed?**
**Sewers** ☑
**Ditches** ☐ **Other (specify)** _____
**Swales** ☐

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

Yes ☑ No ☐

If answer is yes, provide details: File # B-2022-0003 unassigned Status CONCURRENT pending

18. **Has a pre-consultation application been filed?**

Yes ☐ No ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

Yes ☐ No ☐ Unknown ☑

**If answer is yes, provide details:**

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Manu Pooja Sharma
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 16th DAY OF March, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Manu Pooja Sharma, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 16th DAY OF
March, 2022

Jeanie Cecilia Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Manu Pooja Sharma
Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** R1B (Mature)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

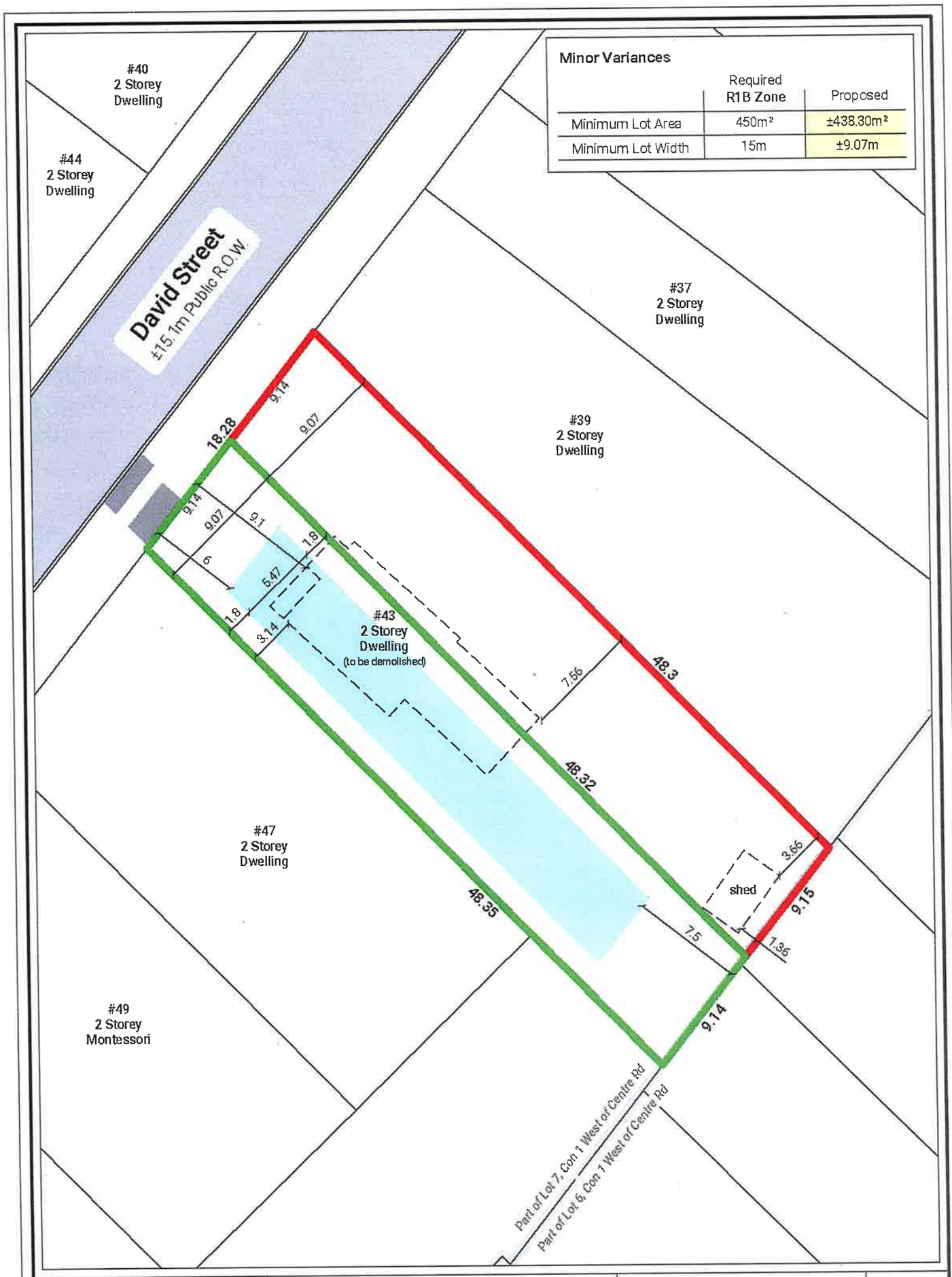
Zoning Officer

March 24, 2022.
Date

**DATE RECEIVED** March 16, 2022

**Date Application Deemed Complete by the Municipality** MARCH 24, 2022

Revised 2022/02/17




**Minor Variances**

| | Required R1B Zone | Proposed |
|---|---|---|
| Minimum Lot Area | 450m² | ±438.30m² |
| Minimum Lot Width | 15m | ±9.07m |

Appendix B

# Minor Variance Sketch

43 David Street,
City of Brampton

Legend

- Lands Subject to Minor Variance
  Lot Area: ±438.30m² (0.11ac)
  Lot Width: ±9.07m
- Other Lands Owned by Applicant
  Lot Area: ±438.18m² (0.11ac)
  Lot Width: ±9.07m
- Proposed 2 Storey Building Envelopes
- Existing Structures to be Demolished

0 2.5 5 7.5 10 12.5m

Scale: 1 : 300

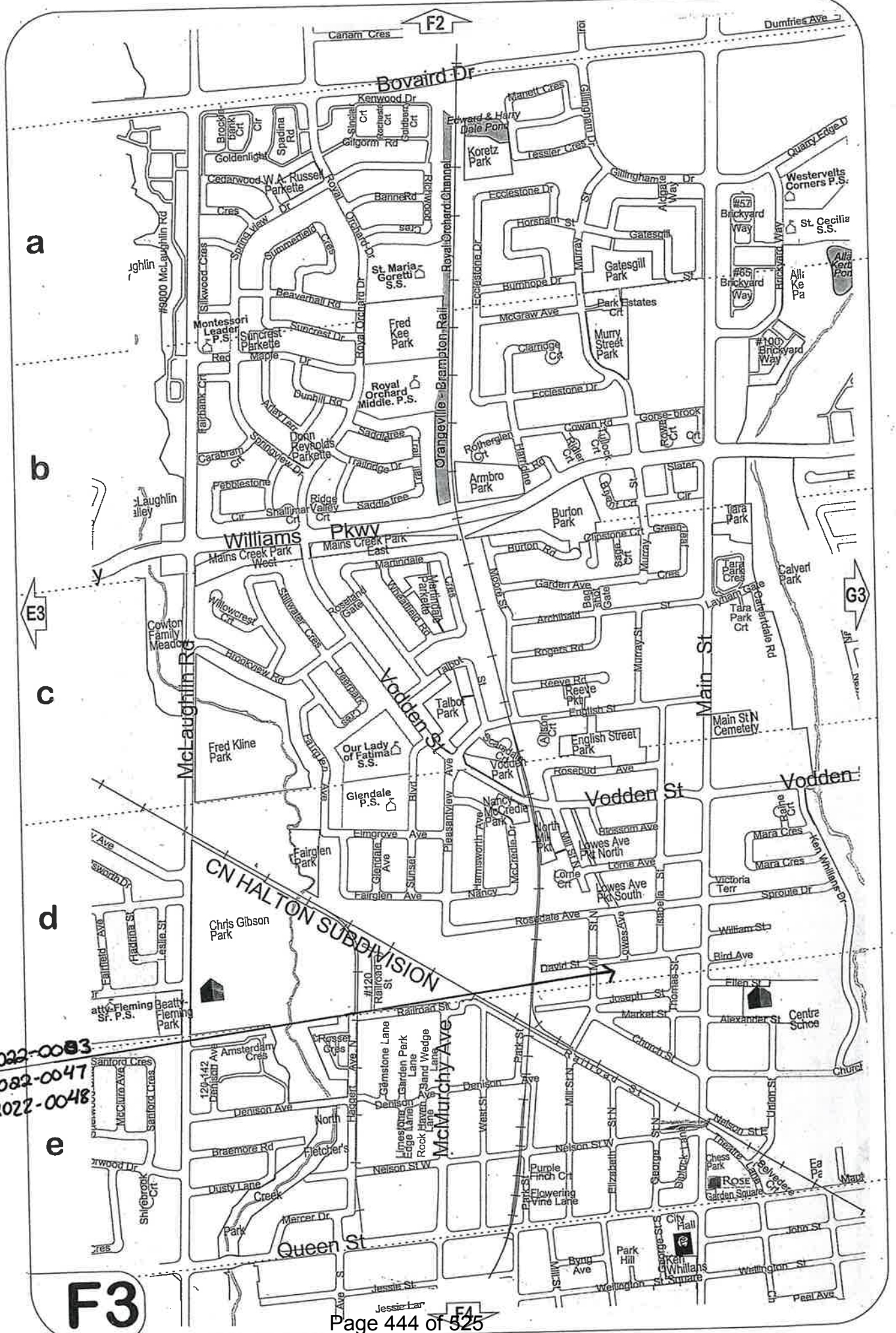
N

Note: This drawing is for discussion purposes only. Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M. | Date: March 28, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca




B-2022-0003
A-2022-0047
A-2022-0048

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0048***
**WARD #1**

**DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **MANUPRIYA SHARMA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 24, Plan BR-32, Part of Lot 23, Plan 43R-9448 municipally known as **43 DAVID STREET,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s) associated with the proposed "severed" lot under consent application B-2022-0003:

1. To permit a lot area of 438.2 square metres whereas the by-law requires a minimum lot area of 450 square metres;

2. To permit a lot width of 9.07 metres whereas the by-law requires a minimum lot width of 15 metres;

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: YES File Number: B-2022-0003

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

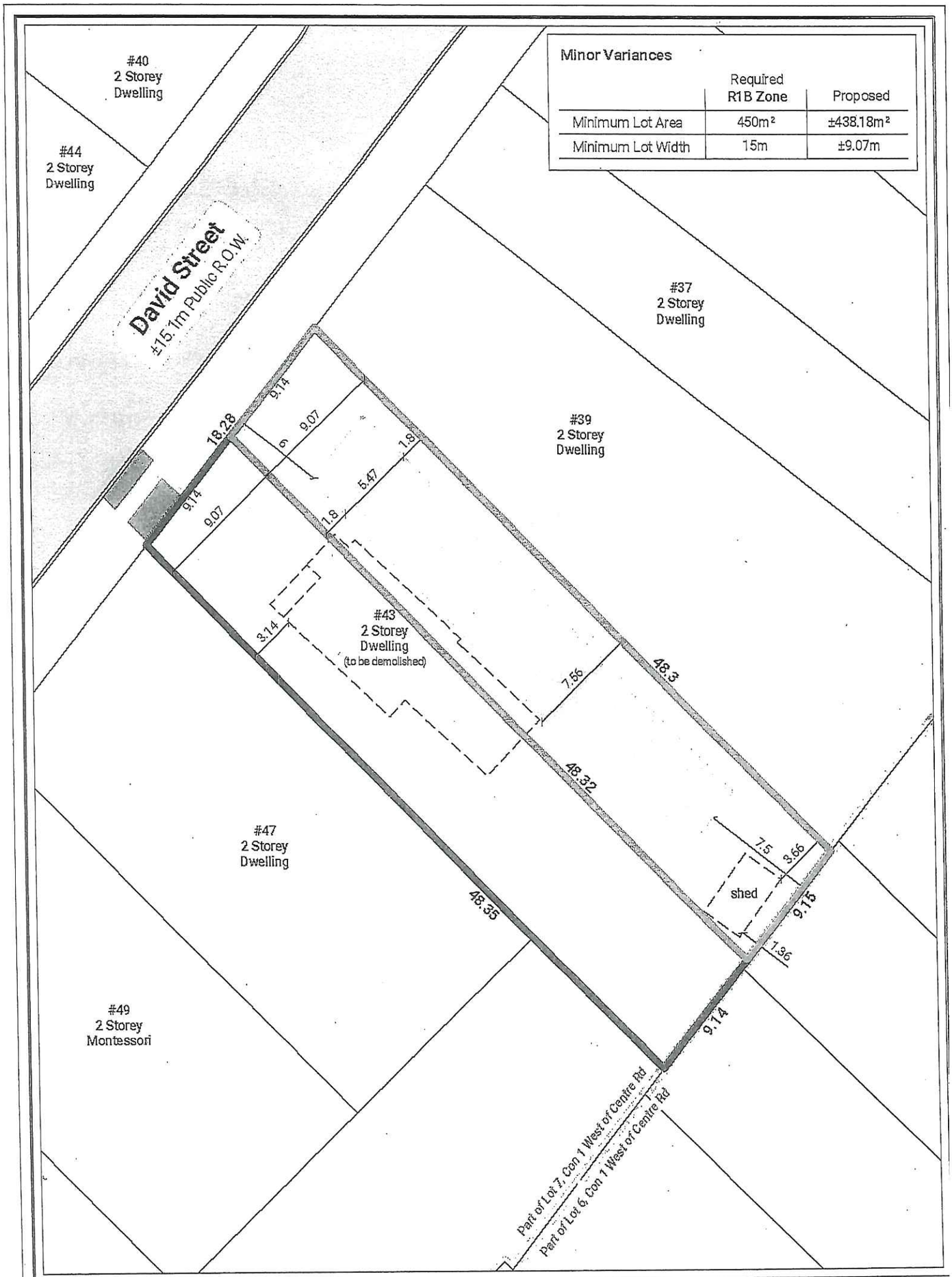
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 17th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




**Minor Variances**

| | Required R1B Zone | Proposed |
|---|---|---|
| Minimum Lot Area | 450m² | ±438.18m² |
| Minimum Lot Width | 15m | ±9.07m |

Appendix C

## Minor Variance Sketch

49 David Street,
City of Brampton

Legend

- Lands Subject to Minor Variance
  Lot Area: ±438.18m² (0.11ac)
  Lot Width: ±9.07m
- Other Lands Owned by Applicant
  Lot Area: ±438.30m² (0.11ac)
  Lot Width: ±9.07m
- Proposed 2 Storey Building Envelopes
- Existing Structures to be Demolished

0 2.5 5 7.5 10 12.5m
Scale: 1 : 300

N

Note: This drawing is for discussion purposes only. Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M. | Date: March 23, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

# AMENDMENT LETTER

March 28, 2022

To: Committee of Adjustment

**RE: APPLICATIONS FOR MINOR VARIANCE**
**MANUPRIYA SHARMA**
**LOT 24, PLAN BR-32, PART 2, PLAN 43R-9448**
**43 DAVID STREET**
**A-2022-0047 AND A-2022-0048**

---

Please **amend** applications **A-2022-0047 AND a-2022-0048** to reflect the following:

1. To permit a lot area of 438.2 square metres whereas the by-law requires a minimum lot area of 450 square metres;

2. To permit a lot width of 9.07 metres whereas the by-law requires a minimum lot width of 15 metres;

Applicant/Authorized Agent

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2022-0048

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

## APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Manupriya Sharma
   **Address** 43 David Street, Brampton, L6X 1J3

   **Phone #** 647-960-0007 **Fax #**
   **Email** gouravbhanot@yahoo.com

2. **Name of Agent** Powell Planning & Associates c/o Aimee Powell
   **Address** 202 Eighth Avenue, New Tecumseth, ON L9R 0H5

   **Phone #** 647-828-2467 **Fax #**
   **Email** aimee@powellplanning.ca

3. **Nature and extent of relief applied for (variances requested):**

   SEVERED LANDS APPLICATION
   1. to permit a minimum lot area of 438.2 square metres
   2. to permit a minimum lot frontage of 9.1 metres

4. **Why is it not possible to comply with the provisions of the by-law?**

   1. the by-law requires a minimum lot area of 450 square metres
   2. the by-law requires a minimum lot frontage of 15 metres

5. **Legal Description of the subject land:**
   **Lot Number** 24
   **Plan Number/Concession Number** Plan BR-32 Part 2, Plan 43R-9448
   **Municipal Address** 43 David Street

6. **Dimension of subject land (in metric units)**
   **Frontage** 18.3 m (existing) 9.1 m proposed, pending approval of consent
   **Depth** 48.3
   **Area** 876.5 metres square (existing), 438.2 square metres, proposed pending approval of consent

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

1 existing house and 1 existing shed. GFA for existing dwelling is 213.4 square metres. GFA for existing shed is 13.6 square metres. Both the existing shed and existing dwelling are to be demolished.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

single detached residential unit once severed

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 11.2 m |
| **Rear yard setback** | 21 m |
| **Side yard setback** | 8 m |
| **Side yard setback** | 3.4 m |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 6 m |
| **Rear yard setback** | 7.5 m |
| **Side yard setback** | 1.2 m |
| **Side yard setback** | 1.2 m |

10. **Date of Acquisition of subject land:** June 8, 2021

11. **Existing uses of subject property:** residential

12. **Proposed uses of subject property:** residential

13. **Existing uses of abutting properties:** residential

14. **Date of construction of all buildings & structures on subject land:** 1890

15. **Length of time the existing uses of the subject property have been continued:** 132 years

16. (a) **What water supply is existing/proposed?**
- **Municipal** ☑
- **Well** ☐
- **Other (specify)** _____

(b) **What sewage disposal is/will be provided?**
- **Municipal** ☑
- **Septic** ☐
- **Other (specify)** _____

(c) **What storm drainage system is existing/proposed?**
- **Sewers** ☑
- **Ditches** ☐
- **Swales** ☐
- **Other (specify)** _____

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

Yes ☑ No ☐

**If answer is yes, provide details:** File # B-2022-0003 unassigned Status CONCURRENT pending

18. **Has a pre-consultation application been filed?**

Yes ☐ No ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

Yes ☐ No ☐ Unknown ☑

**If answer is yes, provide details:**

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Manu Priya Sharma
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 16th DAY OF March, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Manu Priya Sharma, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 16TH DAY OF
March, 2022.
Jeanie M. Cecilia
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J. M.

Manu Priya Sharma
Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** R1B (Mature)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

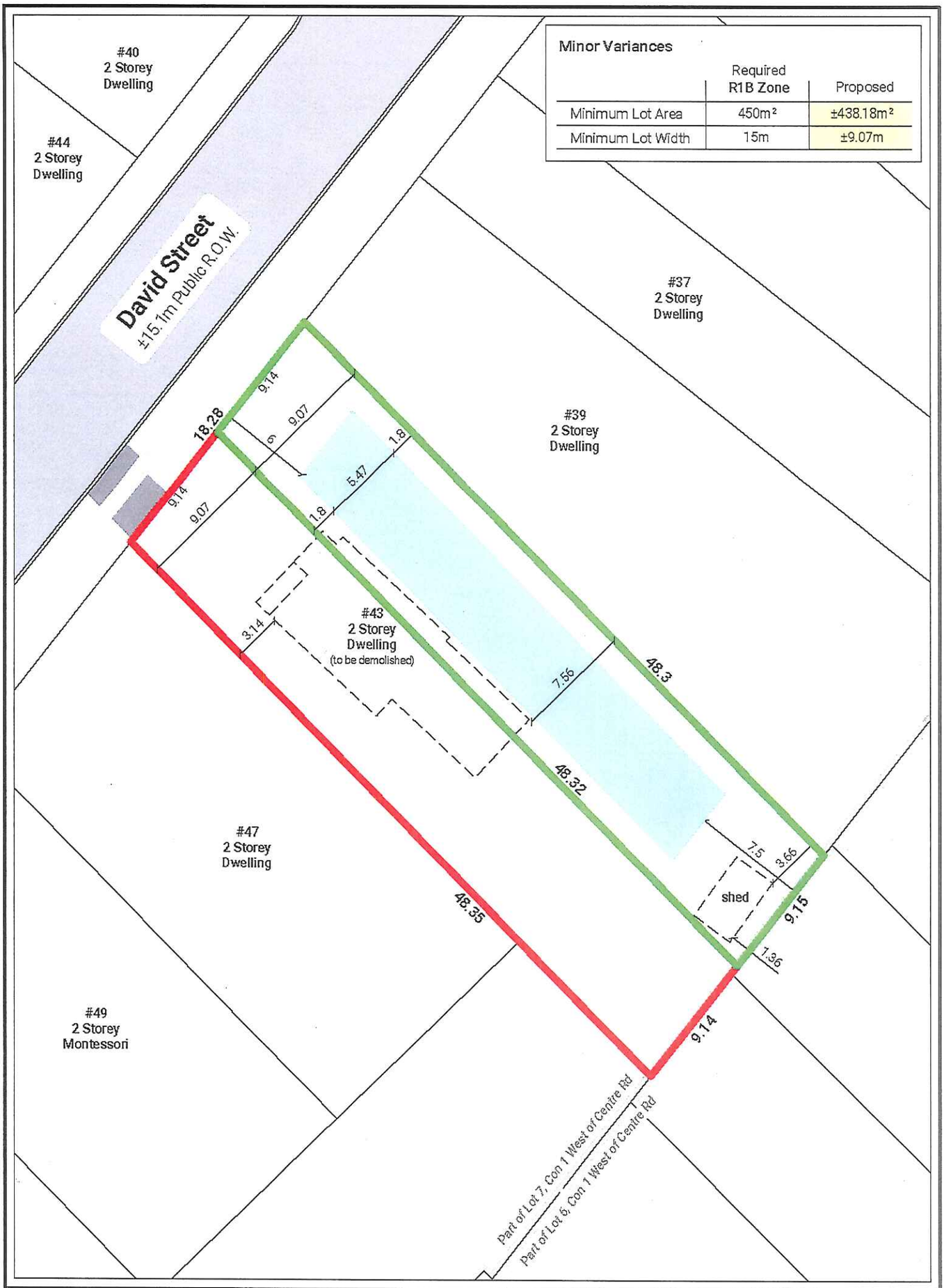
Todd Payne
Zoning Officer

March 24, 2022.
Date

**DATE RECEIVED** March 16, 2022

**Date Application Deemed Complete by the Municipality** MARCH 25, 2022

Revised 2022/02/17




**Minor Variances**

| | Required R1B Zone | Proposed |
|---|---|---|
| Minimum Lot Area | 450m² | ±438.18m² |
| Minimum Lot Width | 15m | ±9.07m |

Appendix C

## Minor Variance Sketch

43 David Street,
City of Brampton

Legend

- Lands Subject to Minor Variance
  Lot Area: ±438.18m² (0.11ac)
  Lot Width: ±9.07m
- Other Lands Owned by Applicant
  Lot Area: ±438.30m² (0.11ac)
  Lot Width: ±9.07m
- Proposed 2 Storey Building Envelopes
- Existing Structures to be Demolished

0 2.5 5 7.5 10 12.5m
Scale: 1 : 300

N

Note: This drawing is for discussion purposes only. Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M. | Date: March 23, 2022

File No: 132-22

Powell Planning & Associates
Town of New Tecumseth
County of Simcoe, ON
Mobile: 647.828.2467
Email: aimee@powellplanning.ca

B-2022-0083
A-2022-0047
A-2022-0048

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0050***
**WARD #6**

**DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **BHUPINDER SINGH CHOPRA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 107, Plan 43M-2074 municipally known as **9 BOOTHILL DRIVE,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a below grade entrance in the required interior side yard whereas the by-law does not permit a below grade entrance in a required side yard, except where a 1.2m (3.94ft.) width is provided on the opposite side of the dwelling;

2. To permit an interior side yard setback of 0.06m (0.20 ft.) to a below grade entrance whereas the by-law requires a minimum side yard setback of 1 .2m (3.94 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

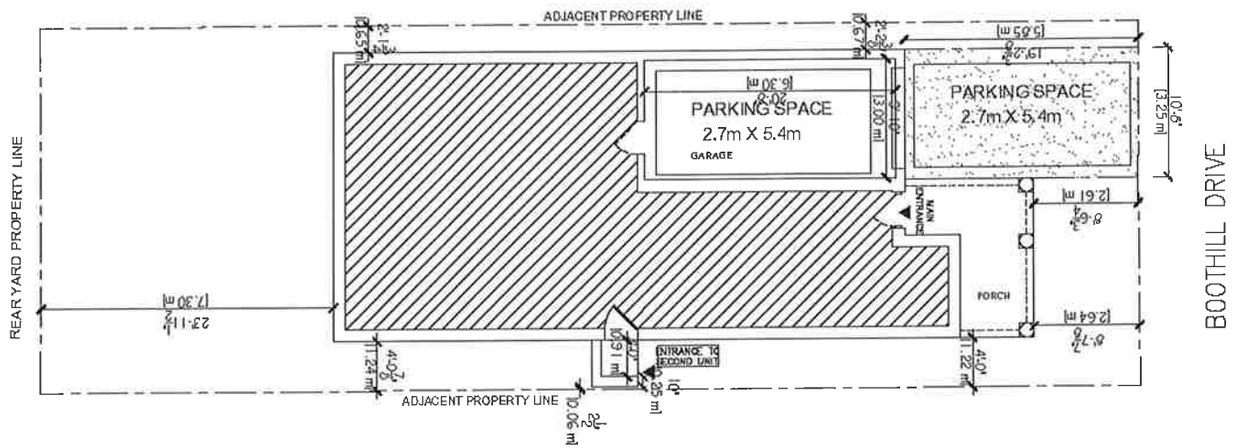
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




GENERAL NOTES:
- ALL EXISTING SITE CONDITIONS & ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
- ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE.
- ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
- IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
- DO NOT SCALE THE DRAWINGS.
- THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

| No | Date | Revisions |
|---|---|---|

10 MARCH 2022

LICENSED PROFESSIONAL ENGINEER
B. V. JOSHI
100130684
PROVINCE OF ONTARIO

ADDRESS:-
9 BOOTHILL DR
BRAMPTON, ON,
PLAN M2074 LOT 107

| | | | |
|---|---|---|---|
| DRAWN BY | MH | DATE | |
| CHECKED BY | BJ | SCALE | 3/32"= 1' |

DRAWING TITLE & NO.:
SITE PLAN A-1

OUT OF THE BOX ENGINEERING INC.
7 ARCHWAY TRAIL
BRAMPTON, ON.
L6P 4E3
bhaskar@outoftheboxeng.com
416-835-6620

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

FILE NUMBER: A-2022-0050

*The Personal information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

## APPLICATION
## Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** BHUPINDER SINGH CHOPRA
   **Address** 9 BOOTHILL DR, BRAMPTON, ON, L7A 5E5
   **Phone #** 647-528-2400 **Fax #**
   **Email**

2. **Name of Agent** BHASKAR JOSHI, AAKASH JOSHI
   **Address** 7 ARCHWAY TRAIL, BRAMPTON, ON, L6P4E3
   **Phone #** 416-835-6620 **Fax #**
   **Email** info@outoftheboxeng.com

3. **Nature and extent of relief applied for (variances requested):**
   ALLOW ONE STEP BELOW GRADE SIDE ENTRANCE.

4. **Why is it not possible to comply with the provisions of the by-law?**
   AS PER BY LAWS BELOW GRADE IS NOT ALLOWED ON THE SIDE , IF ONE DOES NOT HAVE 1.5 SIDE YARD ON ONE SIDE AND 1.2M ON THE OTHER SIDE

5. **Legal Description of the subject land:**
   **Lot Number** 197
   **Plan Number/Concession Number** PLAN M2074
   **Municipal Address** 9 BOOTHILL DR

6. **Dimension of subject land (in metric units)**
   **Frontage** 9.1M
   **Depth** 27.4M
   **Area** 252.1M

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☑ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☐ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

HOUSE
FIRST FLOOR-73.2M
SECOND FLOOR-94.2M

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

N/A

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| Front yard setback | 2.61 |
| Rear yard setback | 7.3 |
| Side yard setback | 1.24 |
| Side yard setback | 1.24 |

**PROPOSED**

| | |
|---|---|
| Front yard setback | 2.61 |
| Rear yard setback | 7.3 |
| Side yard setback | 1.24 |
| Side yard setback | 1.24 |

10. **Date of Acquisition of subject land:** 14/10/20

11. **Existing uses of subject property:** RESIDENTIAL

12. **Proposed uses of subject property:** RESIDENTIAL

13. **Existing uses of abutting properties:** RESIDENTIAL

14. **Date of construction of all buildings & structures on subject land:** 17/12/19

15. **Length of time the existing uses of the subject property have been continued:** 2 YEARS

16. (a) **What water supply is existing/proposed?**
- **Municipal** ☑ **Other (specify)** _____
- **Well** ☐

(b) **What sewage disposal is/will be provided?**
- **Municipal** ☑ **Other (specify)** _____
- **Septic** ☐

(c) **What storm drainage system is existing/proposed?**
- **Sewers** ☑
- **Ditches** ☐ **Other (specify)** _____
- **Swales** ☐

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

Yes ☐ No ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

Yes ☐ No ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

Yes ☐ No ☑ Unknown ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

_____
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 21 DAY OF 03MARCH, 20 22

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, AAKASH JOSHI, OF THE CITY OF MISSISSAUGA

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 21st DAY OF
March, 20 22

_____
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

_____
Signature of Applicant or Authorized Agent

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

_____ Zoning Officer

_____ Date

**DATE RECEIVED** March 21, 2022.

Revised 2020/01/07

17. Is the subject property the subject of an application under the Planning Act for approval of a plan of subdivision or consent?

Yes ☐ No ☑

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☑

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☑ Unknown ☐

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 21 DAY OF ~~03~~ MARCH, 20 22

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, AAKASH JOSHI, OF THE CITY OF MISSISSAUGA

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTICUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE City OF Brampton

IN THE Region OF Peel THIS 21st DAY OF March, 20 22

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

**FOR OFFICE USE ONLY**

Present Official Plan Designation: _____

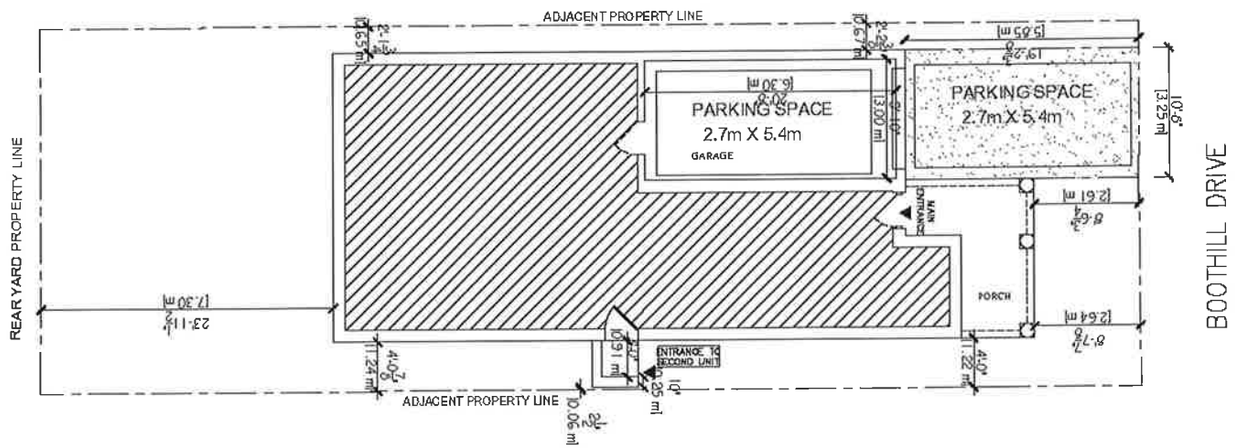
Present Zoning By-law Classification: R1F-9.0-2888

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

MARCH 21, 2022
Date

DATE RECEIVED March 21, 2022.




GENERAL NOTES:
- ALL EXISTING SITE CONDITIONS & ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
- ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST YEARBOOK OF ONTARIO BUILDING CODE.
- ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
- IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
- DO NOT SCALE THE DRAWINGS.
- THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

| No | Date | Revisions |
|---|---|---|

10 MARCH 2022

LICENSED PROFESSIONAL ENGINEER
B. V. JOSHI
100130684
PROVINCE OF ONTARIO

ADDRESS:-
9 BOOTHILL DR
BRAMPTON, ON,
PLAN M2074 LOT 107

| | | | |
|---|---|---|---|
| DRAWN BY | MH | DATE | |
| CHECKED BY | BJ | SCALE | 3/32": 1' |

DRAWING TITLE & NO.:
SITE PLAN A-1

OUT OF THE BOX ENGINEERING INC.
7 ARCHWAY TRAIL
BRAMPTON, ON.
L6P 4E3
bhaskar@outoftheboxeng.com
416-835-6620

a
b
A-2022-0050
D1
F1
E1
E2
Mayfield Rd
Chinguacousy Rd
McLaughlin Rd
Remembrance Rd
Wanless Dr
Richard Blain Park
Richard Blain Pond
Gourley Pond
Tuffley Pond
Barry Pond
Hutchingson Pond
Hesp Valley
St. Lucy S.S.
Jacob Shook Park
Matthew Cation Park
Hartley Channel
A.F. Campbell Channel
Weidman & Hart Channel
Icelandic Channel North
Van Kirk Channel
Large Channel North
Shain Valley
"Long John"
Frank Harkema
Doniamont
Circle
Ringway
Troyer St
Mincing
Jemima Rd
Clockwork Dr
Minna
Redfern St
Iguana Trail
Abercrombie
Cres
Baffin
Felix
Desire Cove
Eastlake Rd
Devonsleigh Dr
Putnam
Braddock
Elsemere Rd
Griffith Crt
Lockburn Cres
Knightswood
Kanata Rd
Earlsbridge
Midvale Rd
Tanvalley Dr
Timberglade
Bushcroft Terr
Ridgemore
Mistycreek
Earl Grey
Williamson Dr
Mendoza Dr
Oakmeadow
Florence Dr
Allangrove Dr
Edenbrook
Edenvalley Rd
Dover green Dr
Clarion Rd
Sir Jacobs
Savila Rd
Alira Ave
Queen Mary Dr
Ansbury Dr
Kelton Rd
Pennock Crt
Lena Gate
Senwood St
Harwood Rd
Sandy Lake
Sky Rd
Foxhollow Rd
Mossgrove
Orchid
Van Kirk
Brambirch
Scott
Brambank
Bramcedar
Trail Dr
Bramtrail
Gate
Chalkfarm
Hardgate
Perkins Dr
Baylor Dr
St. Josephine Bakhita
Amaryllis Dr
Callality Rd
Whitepoppy Dr
Clovetree Gate
Amaranth
Accent
Cir
Windflower Rd
Bramtrail North
Boundbrook
Orangegrove Dr
Yolanda
Allness Rd
Yvonne
Drive
Eagleflield Gate
Shieldmark
Lever Gate Cres
Galveston
Cres
Hill
Trail
Mincing Trail
Edenbrook
Callandar Rd
Feeder St
Queen Mary Dr
Golden
Hoover Rd
Daylight St
Givemay St
Francesco St
Sandys Dr
Fryant St
Banas Park Way
Clinton St
Rookie St
Close
Edsel Rd
Cipriano Crt
Cottontail Rd
Harwood Rd
Sandy Lake
Cres
Van Kirk
Orchid
Mossgrove
Stable G
Vice
Van
Bramtrail
Gate

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0203***
**WARD #6**

**DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **ADAI KALARAJ POTHAGA AND MARIA ANTHONY KUVEENA PRAKASAM** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described Lot 113, Plan 43M-2022 municipally known as **24 JEMINA ROAD,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit exterior stairways constructed below the established grade within a required interior side yard;

2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

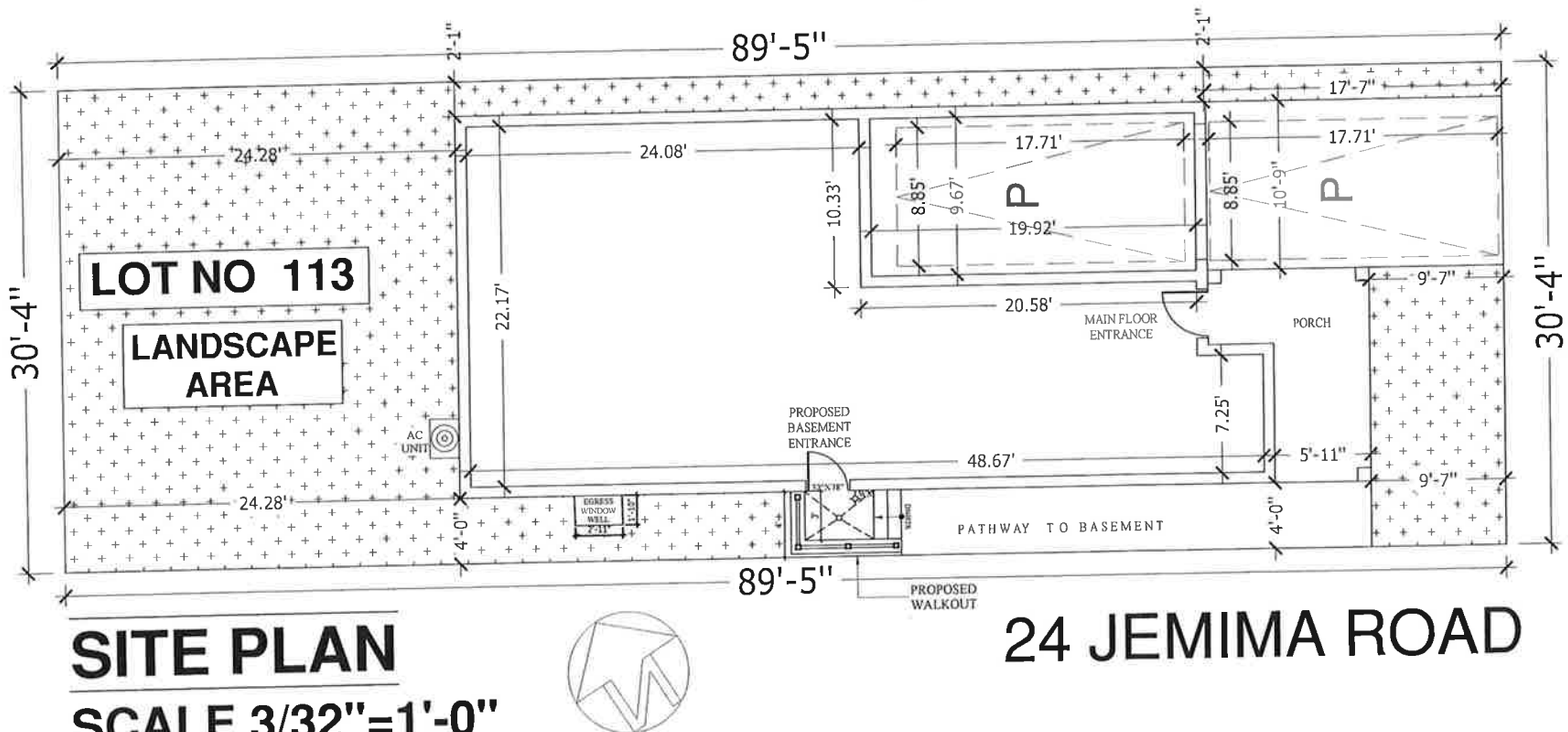
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 24th Day of November, 2022.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




# SITE PLAN

## SCALE 3/32"=1'-0"

# 24 JEMIMA ROAD

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDEN.
ANY REPRODUCTIONS MUST BE AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

PROPOSAL TO CONSTRUCT SECONDARY UNIT AND SIDE DOOR FROM SIDE YARD

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C 3.2.5.1 OF THE BUILDING CODE

| NAME | SIGNATURE | BCIN |
|---|---|---|
| SHIVANG TARIKA | SHIVANG TARIKA | 10440 |

| NO | REVISION / ISSUE | DATE |
|---|---|---|

SITE PLAN

CITY : BRAMPTON

24 JEMIMA ROAD

EXISTING DWELLING

| PROJECT | SHEET |
|---|---|
| FEB 2022 | A1 |
| SCALE 3/32"=1'-0" | |

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0203

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** Adai Kalaraj Pothagal, Maria Antony kuveena Prakasam
   **Address** 24 JEMIMA RD, BRAMPTON, ON, L7A4T6
   **Phone #** 647-326-1877 **Fax #**
   **Email** Lawrence.raj@gmail.com

2. **Name of Agent** Pardeep Gogna
   **Address** 106 Morningside drive, Georgetown, L0P 1K0
   **Phone #** 416-821-2630 **Fax #**
   **Email** Shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**

   1) To permit a below grade entrance within a required interior side yard, whereas the by-law does not permit a below grade entrance within a required interior side yard.

   2) To permit an interior side yard setback of 0.0 metres whereas the by-law requires a minimum interior side yard setback of 1.2 metres.

4. **Why is it not possible to comply with the provisions of the by-law?**

   The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide a second dwelling unit the entrance has to be below the grade which is not possible on rear yard and the other side of the property due to insufficient space and privacy reason. So the only space where owner can construct the entrance is the right side of the property. The entrance is designed in such a way that it doesn't block the passage to

5. **Legal Description of the subject land:**
   **Lot Number** 113
   **Plan Number/Concession Number** M2022
   **Municipal Address** 24 JEMIMA RD, BRAMPTON, ON, L7A4T6

6. **Dimension of subject land (in metric units)**
   **Frontage** 9.04 M
   **Depth** 26.97 M
   **Area** 243.80 M2

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area = 83.88 Sq Meter
Gross Floor Area= 272.86 Sq Meter
No. of Storeys = 2 storeys
Width = 7.16 Meter
Lenght = 17.07 Meter

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Ground Floor Area = 83.88 Sq Meter
Gross Floor Area= 272.86 Sq Meter
No. of Storeys = 2 storeys
Width = 7.16 Meter
Lenght = 17.07 Meter

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 2.5 m |
| **Rear yard setback** | 7.4 m |
| **Side yard setback** | 1.23 m |
| **Side yard setback** | 0.65 m |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 2.5 m |
| **Rear yard setback** | 7.4 m |
| **Side yard setback** | 0.00 m |
| **Side yard setback** | 0.65 m |

10. **Date of Acquisition of subject land:** 2014

11. **Existing uses of subject property:** Single Dwelling Unit

12. **Proposed uses of subject property:** Two Dwelling Unit

13. **Existing uses of abutting properties:** Residential

14. **Date of construction of all buildings & structures on subject land:** 2014

15. **Length of time the existing uses of the subject property have been continued:** 8 Years

16. (a) **What water supply is existing/proposed?**
**Municipal** ☑ **Other (specify)** _____
**Well** ☐

(b) **What sewage disposal is/will be provided?**
**Municipal** ☑ **Other (specify)** _____
**Septic** ☐

(c ) **What storm drainage system is existing/proposed?**
**Sewers** ☑
**Ditches** ☐ **Other (specify)** _____
**Swales** ☐

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☑ **Unknown** ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

Pardeep Gogna
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Halton Hills

THIS 02 DAY OF June, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Amindar Singh, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 24TH DAY OF
June, 2022.

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Amindar Singh
Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

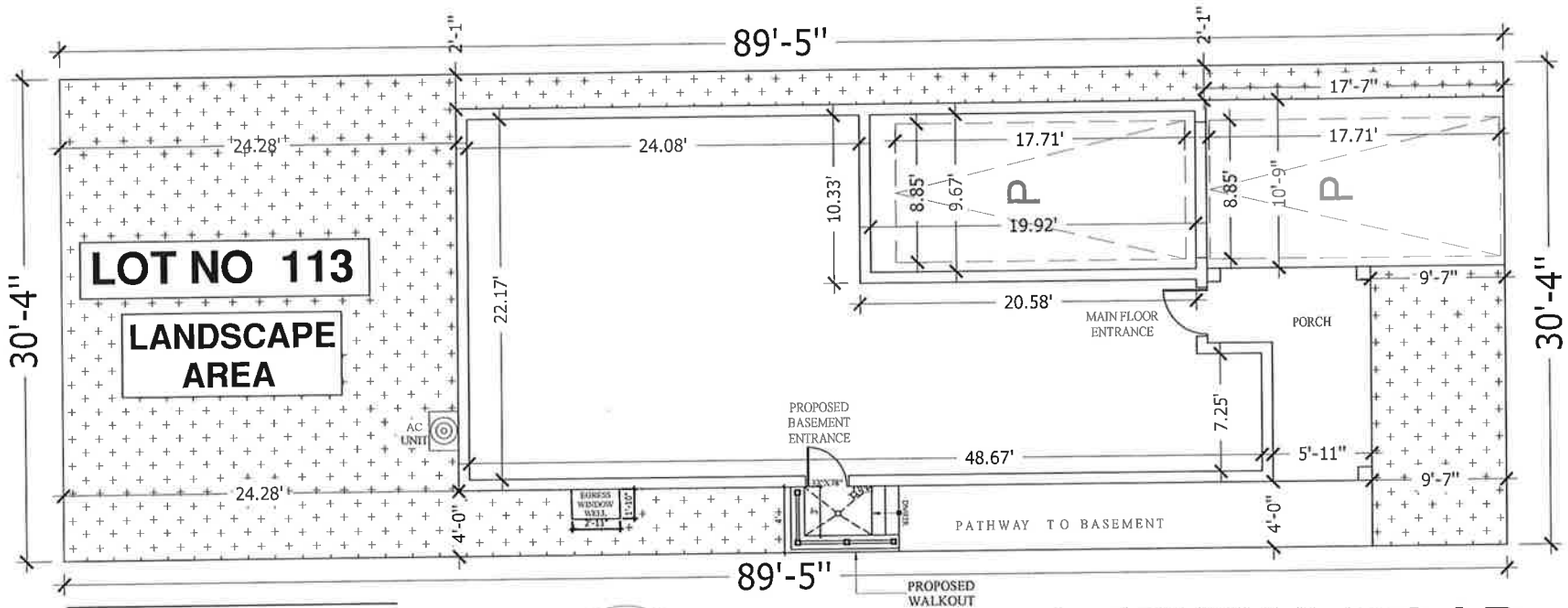
_____ Zoning Officer

_____ Date

**DATE RECEIVED** June 24, 2022

**Date Application Deemed Complete by the Municipality** _____

Revised 2020/01/07




# SITE PLAN

## SCALE 3/32"=1'-0"

# 24 JEMIMA ROAD

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDEN.
ANY REPRODUCTIONS MUST BE AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

PROPOSAL TO CONSTRUCT SECONDARY UNIT AND SIDE DOOR FROM SIDE YARD

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV.C-3.2.5.1 OF THE BUILDING CODE

| SHIVANG TARIKA | | 106440 |
|---|---|---|
| NAME | SIGNATURE | BCIN |

SHIVANG TARIKA

| NO | REVISION / ISSUE | DATE |
|---|---|---|
| | | |

SITE PLAN

CITY : BRAMPTON

24 JEMIMA ROAD

EXISTING DWELLING

| PROJECT | SHEET |
|---|---|
| FEB 2022 | A1 |
| SCALE 3/32"=1'-0" | |

A-2022-0203

a

b

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0205***
**WARD #8**

**DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **1630604 ONTARIO LTD**. under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described Block 3, Plan 43M-874, Part 1, Plan 43R-23561 municipally known as **125 CHRYSLER DRIVE, UNITS 5-7,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To provide 278 parking spaces whereas the by-law requires a minimum of 331parking spaces.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

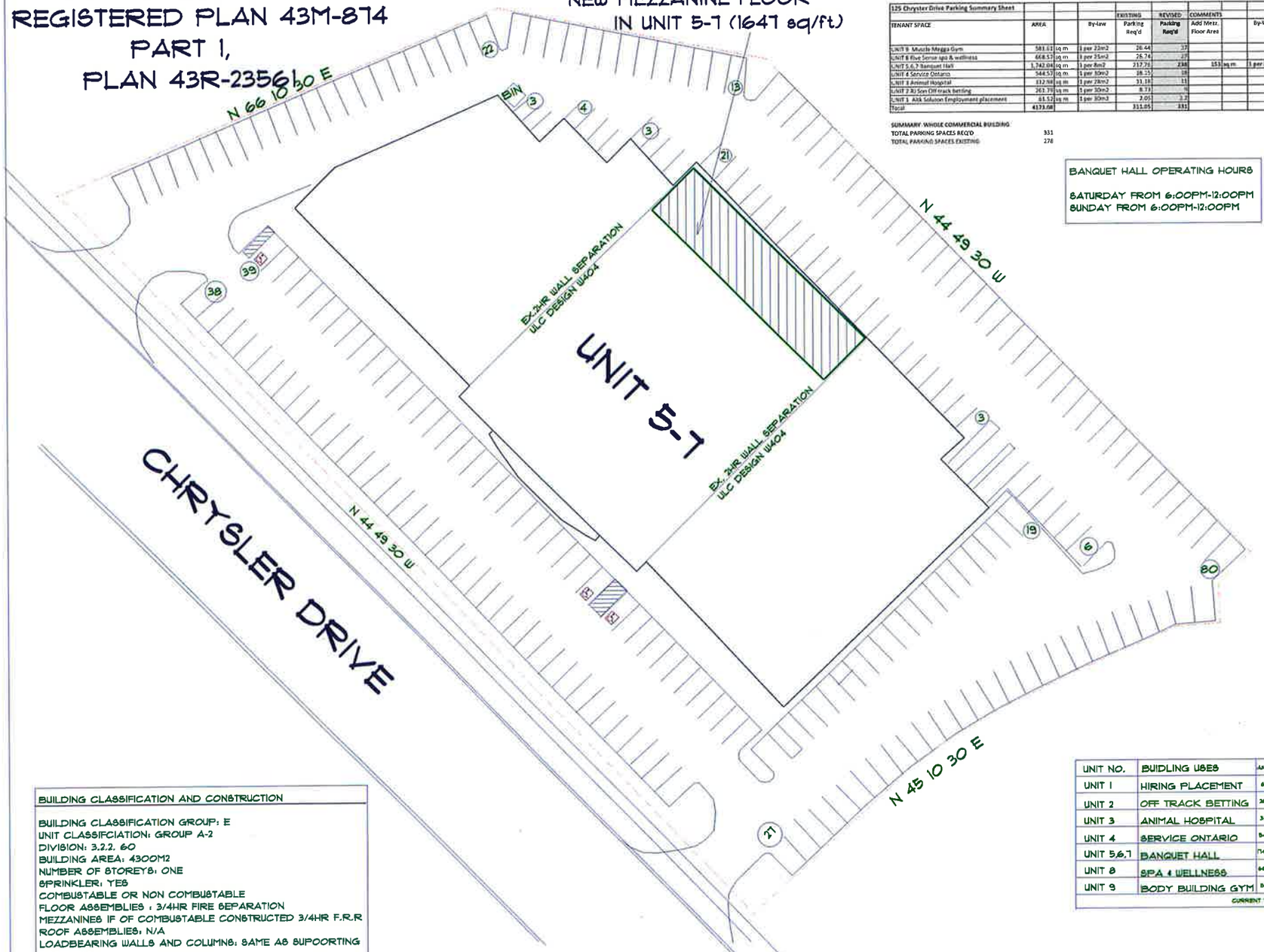
DATED at Brampton Ontario, 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

PART OF BLOCK 3
REGISTERED PLAN 43M-874
PART 1,
PLAN 43R-23561

PROPOSED
NEW MEZZANINE FLOOR
IN UNIT 5-7 (1647 sq/ft)




| 125 Chrysler Drive Parking Summary Sheet | | | | EXISTING | REVISED | COMMENTS | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|
| TENANT SPACE | AREA | | By-Law | Parking Req'd | Parking Req'd | Add Mezz. Floor Area | | By-law | Parking Req'd | Existing Parking | New Parking Req'd |
| UNIT 9 Muscle Meggs Gym | 583.61 | sq m | 1 per 22m2 | 26.44 | 27 | | | | | | |
| UNIT 8 Five Senses spa & wellness | 668.57 | sq m | 1 per 25m2 | 26.74 | 27 | | | | | | |
| UNIT 5,6,7 Banquet Hall | 1,742.04 | sq m | 1 per 8m2 | 217.76 | 218 | 153 | sq m | 1 per 8m2 | 19 | 217.76 | 236.76 |
| UNIT 4 Service Ontario | 544.57 | sq m | 1 per 30m2 | 18.15 | 19 | | | | | | |
| UNIT 3 Animal Hospital | 332.98 | sq m | 1 per 28m2 | 11.18 | 11 | | | | | | |
| UNIT 2 RJ Sen Off-track betting | 263.79 | sq m | 1 per 30m2 | 8.73 | 9 | | | | | | |
| UNIT 1 Aldi Solution Employment placement | 61.52 | sq m | 1 per 30m2 | 2.05 | 2.2 | | | | | | |
| Total | 4173.68 | | | 311.05 | 331 | | | | | | |

SUMMARY- WHOLE COMMERCIAL BUILDING
TOTAL PARKING SPACES REQ'D 331
TOTAL PARKING SPACES EXISTING 278

BANQUET HALL OPERATING HOURS

SATURDAY FROM 6:00PM-12:00PM
SUNDAY FROM 6:00PM-12:00PM

| UNIT NO. | BUILDING USES | AREA M2 | BY-LAW | REQ'D PARKING |
|---|---|---|---|---|
| UNIT 1 | HIRING PLACEMENT | 61.83 | 1 SPACE PER 30 M2 | 2.05 |
| UNIT 2 | OFF TRACK BETTING | 261.79 | 1 SPACE PER 30 M2 | 8.73 |
| UNIT 3 | ANIMAL HOSPITAL | 312.98 | 1 SPACE PER 28 M2 | 11.18 |
| UNIT 4 | SERVICE ONTARIO | 544.57 | 1 SPACE PER 30 M2 | 18.15 |
| UNIT 5,6,7 | BANQUET HALL | 1742.04 | 1 SPACE PER 8 M2 | 217.76 |
| UNIT 8 | SPA & WELLNESS | 668.57 | 1 SPACE PER 25 M2 | 26.74 |
| UNIT 9 | BODY BUILDING GYM | 583.61 | 1 SPACE PER 22 M2 | 26.44 |
| | | | CURRENT TOTAL REQUIRED | 311 |

BUILDING CLASSIFICATION AND CONSTRUCTION

BUILDING CLASSIFICATION GROUP: E
UNIT CLASSIFICIATION: GROUP A-2
DIVISION: 3.2.2. 60
BUILDING AREA: 4300M2
NUMBER OF STOREYS: ONE
SPRINKLER: YES
COMBUSTABLE OR NON COMBUSTABLE
FLOOR ASSEMBLIES : 3/4HR FIRE SEPARATION
MEZZANINES IF OF COMBUSTABLE CONSTRUCTED 3/4HR F.R.R
ROOF ASSEMBLIES: N/A
LOADBEARING WALLS AND COLUMNS: SAME AS SUPOORTING ASSEMBLY

Project contractor shall check and verify all dimensions and report all discrepancies, errors and omissions to the Architect before proceeding with the work. Do not scale drawings. This drawing shall not be used for construction purposes until sealed and signed by the Architect.

ALL TENTS SHALL BE SO AWAY FROM PROPERTY LINES AND ON OTHER TENTS BASE ON 100 PEOPLE LOADING

BASE ON 100 PEOPLE LOADING 14 TEMPORARY PORTABLE TOILETS NEED TO BE ON HAND

CHAPTER 5.9.5. DISTANCE THAT THE NEW STRUCTURE CAN BE CONSTRUCTED FROM ABOVE HYDRO LINES WITH BRAMPTON HYDRO (MIN. 4.5 m OR 15'-0")

INSTALLATION GUIDE SHOULD BE FOLLOWED AS PER MANUFACTURE OF TENT SUPPLIER
THESE DRAWINGS ARE LAYOUT REFERENCE

LEGEND:

| | |
|---|---|
| 000.00 | EXISTING GRADES |
| (000.00) | PROPOSED GRADES |
| ☐ | PORTABLE WASHROOMS |

| | |
|---|---|
| ALT @ 2021 | CITY COMMENTS |

STAMP:

STAMP:

DESIGNER:

BATTAGLIA ARCHITECT INC

ADMIN:

CAM PIETRANGELO C.E.T

CLIENT/SMART:

Chandni
BANQUET HALLS

Chandni Banquet Halls
125 Chrysler Unit 5-7 Drive
Brampton, Ontario

| No. | Date | Issued / Addendum / Revisions |
|---|---|---|
| 5 | | |
| 4 | | CITY COMMENTS |
| 3 | DEC 22, 2021 | CITY COMMENTS |
| 2 | | ISSUED FOR PERMIT |
| 1 | NOV 21, 2021 | FOR CLIENT DESIGN APPROVAL |

DRAWING STATUS: FOR PERMIT

PROJECT

PROPOSED MEZZANINE FLOOR
125 Chrysler Drive Unit 5-7
Brampton, Ontario

DRAWING TITLE

SITE PLAN

| NORTH | AREA | TYPE |
|---|---|---|
| | - | - |

| DRAWN | CHECKED |
|---|---|
| C.P. | J.B. |

SCALE
3/16" = 1'-0"

PROJ.NO. 014

DRAW.NO SP-1

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

**AMENDMENT LETTER**

July 20, 2022

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE**
**1630604 ONTARIO LTD.**
**BLOCK 3, PLAN M-874, PART 1, PLAN 43R-23561**
**A-2022-0205 – 125 CHRYSLER DRIVE**

---

Please **amend** application **A-2022-0205** to reflect the following:

1. To provide 278 parking spaces whereas the by-law requires a minimum of 331 parking spaces.

Applicant/Authorized Agent

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0205

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** 1630604 ONTARIO LTD
   **Address** 16 APPENINE COURT BRAMPTON ONTARIO L6R 1H4
   **Phone #** 416 662-3607 **Fax #**
   **Email** laddichandni@hotmail.com

2. **Name of Agent** Cam Pietrangelo C.E.T.
   **Address** 108 Leander Street Brampton Ontario L6S 3N8
   **Phone #** 647 542-8147 **Fax #**
   **Email** c.pietrangelo@sympatico.ca

3. **Nature and extent of relief applied for (variances requested):**

   To provide 278 parking spaces whereas the the by-law requires a minimum of 312 parking spaces
   Exist commercial building operating as banquet hall has added 153m2 of mezzanine floor above the existing ground floor.

4. **Why is it not possible to comply with the provisions of the by-law?**

   by-law requirements is 312 parking space , provided 278 parking spaces

5. **Legal Description of the subject land:**
   **Lot Number** part of block 3
   **Plan Number/Concession Number** PLAN 43M-874
   **Municipal Address** 125 Chrysler Drive Unit 5,6,7

6. **Dimension of subject land (in metric units)**
   **Frontage** 21.983m
   **Depth** 90.407m
   **Area** 12,218.6sm

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Banquet Hall ground floor 1742.04 sm one storey

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Banquet Hall ground floor 1742.04 m2 one storey. Proposed mezzanine floor added 153m2 to existing space

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 21.983m |
| **Rear yard setback** | 20.129m |
| **Side yard setback** | 24.75m |
| **Side yard setback** | 14.152m |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 21.983m |
| **Rear yard setback** | 20.129m |
| **Side yard setback** | 24.75m |
| **Side yard setback** | 14.152m |

10. **Date of Acquisition of subject land:** 09/08/03

11. **Existing uses of subject property:** Commercial

12. **Proposed uses of subject property:** Commercial

13. **Existing uses of abutting properties:** Plaza and warehousing

14. **Date of construction of all buildings & structures on subject land:** Jan 28 2005

15. **Length of time the existing uses of the subject property have been continued:** 17 years

16. (a) **What water supply is existing/proposed?**

**Municipal** ☑ **Other (specify)** _____
**Well** ☐

(b) **What sewage disposal is/will be provided?**

**Municipal** ☑ **Other (specify)** _____
**Septic** ☐

(c) **What storm drainage system is existing/proposed?**

**Sewers** ☑
**Ditches** ☐ **Other (specify)** _____
**Swales** ☐

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☐ **Unknown** ☑

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

C Pietrangelo
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton.

THIS 4 DAY OF July, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Cam Pietrangelo, OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 4th DAY OF
July, 2022.

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J. M.

C Pietrangelo
Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

_____ Zoning Officer

_____ Date

**DATE RECEIVED** July 4, 2022

**Date Application Deemed Complete by the Municipality** _____

Revised 2020/01/07

| 125 Chryster Drive Parking Summary Sheet | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|
| | | | | EXISTING | REVISED | COMMENTS | | | | | |
| TENANT SPACE | AREA | | By-law | Parking Req'd | Parking Req'd | Add Mezz. Floor Area | | By-law | Parking Req'd | Existing Parking | New Parking Req'd |
| UNIT 9 Muscle Megga Gym | 581.61 | sq m | 1 per 22m2 | 26.44 | 27 | | | | | | |
| UNIT 8 Five Sense spa & wellness | 668.57 | sq m | 1 per 25m2 | 26.74 | 27 | | | | | | |
| UNIT 5,6,7 Banquet Hall | 1,742.04 | sq m | 1 per 8m2 | 217.76 | **238** | **153** | **sq m** | **1 per 8m2** | **19** | **217.76** | **236.76** |
| UNIT 4 Service Ontario | 544.57 | sq m | 1 per 30m2 | 18.15 | 18 | | | | | | |
| UNIT 3 Animal Hospital | 312.98 | sq m | 1 per 28m2 | 11.18 | 11 | | | | | | |
| UNIT 2 RJ Son Off track betting | 261.79 | sq m | 1 per 30m2 | 8.73 | 9 | | | | | | |
| UNIT 1 Aitk Soluton Employment placement | 61.52 | sq m | 1 per 30m2 | 2.05 | 2.2 | | | | | | |
| Total | **4173.08** | | | **311.05** | **331** | | | | | | |

**SUMMARY WHOLE COMMERCIAL BUILDING**

| | |
|---|---|
| **TOTAL PARKING SPACES REQ'D** | **331** |
| TOTAL PARKING SPACES EXISTING | 278 |

PART OF BLOCK 3
REGISTERED PLAN 43M-874
PART 1,
PLAN 43R-23566

PROPOSED
NEW MEZZANINE FLOOR
IN UNIT 5-7 (1647 sq/ft)

125 Chrysler Drive Parking Summary Sheet

| TENANT SPACE | AREA | | By-law | EXISTING Parking Req'd | REVISED Parking Req'd | COMMENTS Add'l Mezz. Floor Area | | By-law | Parking Req'd | Existing Parking | New Parking Req'd |
|---|---|---|---|---|---|---|---|---|---|---|---|
| UNIT 9 Muscle Mega Gym | 581.81 | sq m | 1 per 22m2 | 26.44 | 27 | | | | | | |
| UNIT 8 Five Sense spa & wellness | 608.57 | sq m | 1 per 23m2 | 26.74 | 27 | | | | | | |
| UNIT 5,6,7 Banquet Hall | 3,742.04 | sq m | 1 per 8m2 | 217.76 | 218 | 353 | sq m | 1 per 8m2 | 35 | 217.76 | 226.76 |
| UNIT 4 Service Ontario | 544.57 | sq m | 1 per 30m2 | 18.15 | 18 | | | | | | |
| UNIT 3 Animal Hospital | 312.59 | sq m | 1 per 28m2 | 11.16 | 11 | | | | | | |
| UNIT 2 RJ Sim Off track Betting | 261.75 | sq m | 1 per 30m2 | 8.73 | 9 | | | | | | |
| UNIT 1 ARS Solution Employment placement | 61.52 | sq m | 1 per 30m2 | 2.05 | 2.2 | | | | | | |
| Total | 4179.08 | | | 311.05 | 331 | | | | | | |

SUMMARY WHOLE COMMERCIAL BUILDING

| | |
|---|---|
| TOTAL PARKING SPACES REQ'D | 331 |
| TOTAL PARKING SPACES EXISTING | 278 |

BANQUET HALL OPERATING HOURS

SATURDAY FROM 6:00PM-12:00PM
SUNDAY FROM 6:00PM-12:00PM

BUILDING CLASSIFICATION AND CONSTRUCTION

BUILDING CLASSIFICATION GROUP: E
UNIT CLASSIFICIATION: GROUP A-2
DIVISION: 3.2.2. 60
BUILDING AREA: 4300M2
NUMBER OF STOREYS: ONE
SPRINKLER: YES
COMBUSTABLE OR NON COMBUSTABLE
FLOOR ASSEMBLIES : 3/4HR FIRE SEPARATION
MEZZANINES IF OF COMBUSTABLE CONSTRUCTED 3/4HR F.R.R
ROOF ASSEMBLIES: N/A
LOADBEARING WALLS AND COLUMNS; SAME AS SUPOORTING ASSEMBLY

| UNIT NO. | BUIDLING USES | AREA M2 | BY-LAW | REQ'D PARKING |
|---|---|---|---|---|
| UNIT 1 | HIRING PLACEMENT | 61.52 | 1 SPACE PER 30 M2 | 2.05 |
| UNIT 2 | OFF TRACK BETTING | 261.75 | 1 SPACE PER 30 M2 | 8.73 |
| UNIT 3 | ANIMAL HOSPITAL | 312.59 | 1 SPACE PER 28 M2 | 11.16 |
| UNIT 4 | SERVICE ONTARIO | 544.57 | 1 SPACE PER 30 M2 | 18.15 |
| UNIT 5,6,7 | BANQUET HALL | 1742.04 | 1 SPACE PER 8 M2 | 217.76 |
| UNIT 8 | SPA & WELLNESS | 608.57 | 1 SPACE PER 23 M2 | 26.74 |
| UNIT 9 | BODY BUILDING GYM | 581.81 | 1 SPACE PER 22 M2 | 26.44 |
| | | | CURRENT TOTAL REQUIRED | 311 |

Project contractor shall check and verify all dimensions and report all discrepancies, errors and omissions to the Architect before proceeding with the work. Do not scale drawings. This drawing shall not be used for construction purposes until sealed and signed by the Architect.

ALL TENTS SHALL BE AWAY FROM PROPERTY LINES AND ICE ENTRY TENTS SHALL BE 10M PEOPLE LOADING

BASE ON 100 PEOPLE LOADING 16 TEMPORARY PORTABLE TOILETS NEED TO BE PROVIDED

CONFIRM MIN. DISTANCE THAT THE NEW STRUCTURE CAN BE CONSTRUCTED FROM ABOVE HYDRO LINES WITH BRAMPTON HYDRO (MIN. 4.5 m OR 15'-0")

INSTALLATION GUIDE SHOULD BE FOLLOWED AS PER MANUFACTURE OF TENT SUPPLIER

TENTS DRAWINGS ARE LAYOUT REFERENCE

| No. | |
|---|---|
| 200.00 | EXISTING SPACES |
| 000.00 | PROPOSED SPACES |
| ☒ | PORTABLE WASHROOMS |

| No. | CITY COMMENTS |
|---|---|

STAMP:

DESIGNER:
BATTAGLIA ARCHITECT INC

AGENT:
CAM PIETRANGELO C.E.T

| No. | Date | Issued / Addendum / Revisions |
|---|---|---|
| 5 | | |
| 4 | | CITY COMMENTS |
| 3 | DEC 22, 2021 | CITY COMMENTS |
| 2 | | ISSUED FOR PERMIT |
| 1 | NOV 21, 2021 | FOR CLIENT DESIGN APPROVAL |

DRAWING STATUS: FOR PERMIT

CLIENT/TENANT:
Chandni BANQUET HALLS
Chandni Banquet Halls
125 Chrysler Unit 5-7 Drive
Brampton, Ontario

PROJECT
PROPOSED MEZZANINE FLOOR
125 Chrysler Drive Unit 5-7
Brampton, Ontario

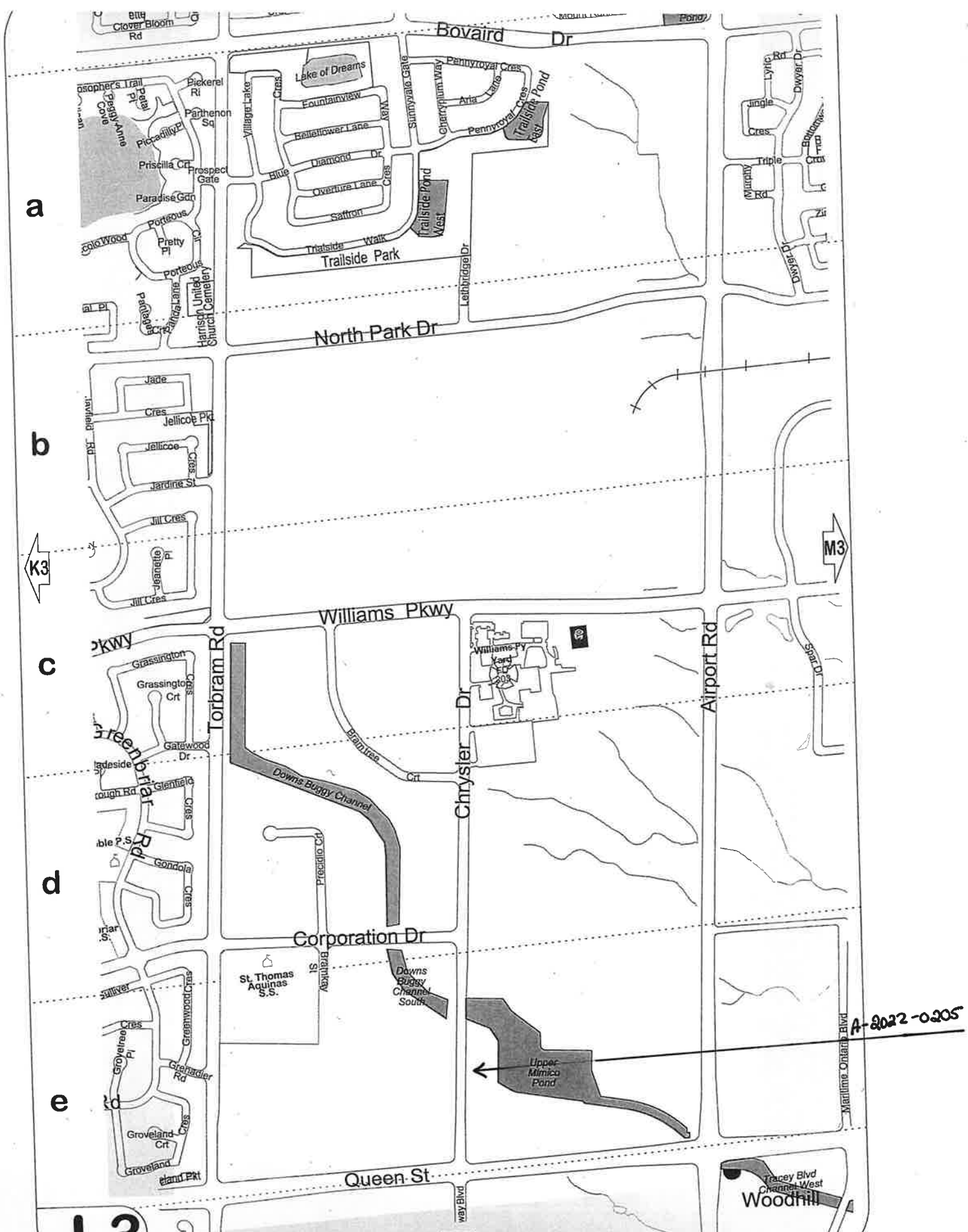
DRAWING TITLE
SITE PLAN

| NORTH | AREA | TYPE |
|---|---|---|
| | - | - |

| DRAWN | CHECKED |
|---|---|
| C.P. | J.B. |

SCALE
3/16" = 1'-0"

| PROJ.NO. | DRAW.NO |
|---|---|
| 014 | SP-1 |


Bovaird Dr
Lake of Dreams
Fountainview Way
Bellflower Lane
Diamond Dr
Overture Lane
Saffron
Trailside Walk
Trailside Pond West
Trailside Pond East
Trailside Park
Sunnyvale Gate
Pennyroyal Cres
Aria Lane
Lethbridge Dr
Lyric Rd
Dwyer Dr
Jingle Cres
Triple Murphy Rd
Pickerel Ri
Parthenon Sq
Piccadilly Pl
Priscilla Cr
Prospect Gate
Paradise Gdn
Porteous Pretty Pl
Harrison United Church Cemetery
North Park Dr
Jade Cres
Jellicoe Pkt
Jellicoe Cres
Jardine St
Jill Cres
Jeanette Pl
K3
M3
Williams Pkwy
Williams Py Yard
Torbram Rd
Chrysler Dr
Airport Rd
Grassington Cres
Grassington Crt
Gatewood Dr
Glenfield Cres
Gondola Cres
Greenbriar Rd
Braintree Crt
Downs Buggy Channel
Precidio Cr
Corporation Dr
St. Thomas Aquinas S.S.
Braikay St
Downs Buggy Channel South
Upper Mimico Pond
A-2022-0205
Maritime Ontario Blvd
Greenwood Cres
Groveland Cres
Grenadier Rd
Queen St
Tracey Blvd
Channel West
Woodhill
a
b
c
d
e

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0262***
**WARD 10**

**APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **SEWA SINGH BASRA AND HARJIT KAUR BASRA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 1, Plan M-90, Part 10, Plan 43R-3592 municipally known as **28 TORTOISE COURT,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an accessory structure (cabana) having a gross floor area of 103.4 sq. m (1,113 sq. ft.) whereas the by-law permits a maximum gross floor area 23 sq. m (247.57 sq. ft.) for an individual accessory structure;

2. To permit an accessory structure (cabana) to include habitable floor area (kitchen and washroom) whereas the by-law does not permit an accessory structure to be used for human habitation.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO  File Number: _____
Application for Consent: NO  File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

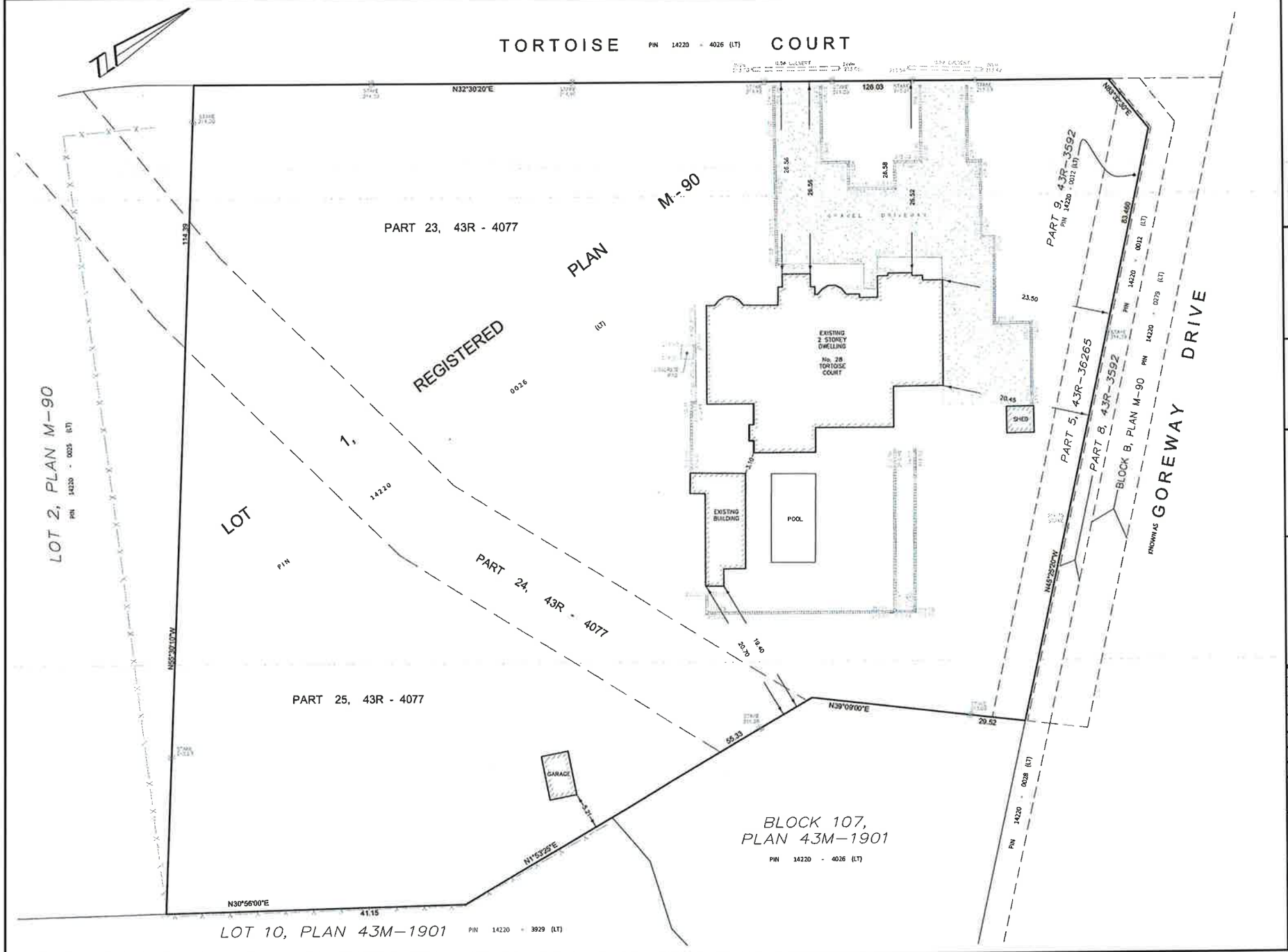
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

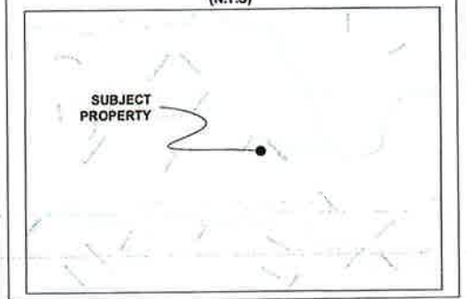
DATED at Brampton Ontario, this 24th Day of Novemberr, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca




**KEY MAP (N.T.S)**




**LEGEND:**

EXISTING ELEVATION

FENCELINE

CONCRETE EDGING

GRAVEL STONES

**SURVEY INFORMATION:**

**BENCHMARK REFERENCE:**
ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CVGD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTv2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

**TOPOGRAPHIC SURVEY DATE:**
THIS TOPOGRAPHIC SURVEY WAS COMPLETED ON THE 22nd DAY OF OCTOBER, 2022.

## AS-BUILT TOPOGRAPHIC SURVEY FOR:

**28 TORTOISE COURT**
**PART OF LOT 1, REGISTERED PLAN M-90**
BEING PARTS 23, 24 & 25, DEPOSITED PLAN 43R-4077
**CITY OF BRAMPTON**
**REGIONAL MUNICIPALITY OF PEEL**

| NO. | REVISION | BY | DATE |
|---|---|---|---|
| | | | |

**DRAWING REVISION SCHEDULE**

**PREPARED FOR: SEWA BASRA**

**PROJECT No. 24562-17**

**DRAWING SCALE 1 : 300**

CAUTION:
- THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.
- THIS SKETCH IS PROTECTED BY COPYRIGHT.

M.M.M. VAUGHAN 100135963 NOV 8-22

Van Harten SURVEYING INC.
LAND SURVEYORS and ENGINEERS
Kitchener Ph: 519-742-8371 | Guelph Ph: 519-821-2763 | Orangeville Ph: 519-940-4110
www.vanharten.com info@vanharten.com

DRAWN BY: NCH CHECKED BY: MMV

Nov 8, 2022-11:36:41 AM
I:\Brampton\M-90\acad\ASBUILT TOPO (24562-17 BASRA).dwg

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer after application is deemed complete)

FILE NUMBER: A-2022-0262

*The Personal information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

## APPLICATION
## Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Sewa Singh Basra & Harjit Kaur Basra
   Address 28 Tortoise Court, Brampton, ON L6P 0A1
   Phone # 647-[illegible]-3448 Fax #
   Email harjit@rerush.com

2. Name of Agent Anthony Bartolini
   Address 48 Cayton Crescent, Bradford ON L3Z 0V9
   Phone # 647[illegible]0 Fax #
   Email squaredesigngroup@outlook.com

3. Nature and extent of relief applied for (variances requested):

   1.To permit an accessory structure (cabana) having a gross floor area of 103.4 sq. m. whereas the by-law permits a maximum gross floor area of 23 sq. m for an individual accessory structure.

   2.To permit a kitchen and washroom in the accessory structure (cabana) whereas the by-law doe not permit an accessory structure to be used for human habitation.

4. Why is it not possible to comply with the provisions of the by-law?

   can not comply with gross floor area.
   can not comply with the cabana having a washroom and kitchen.

5. Legal Description of the subject land:
   Lot Number lot 1
   Plan Number/Concession Number m-90
   Municipal Address 28 Tortoise Court, Brampton, ON L6P 0A1

6. Dimension of subject land (in metric units)
   Frontage 114.391
   Depth 126.028m
   Area 12526.3 M2

7. Access to the subject land is by:

| | | | |
|---|---|---|---|
| Provincial Highway | ☐ | Seasonal Road | ☐ |
| Municipal Road Maintained All Year | ☑ | Other Public Road | ☐ |
| Private Right-of-Way | ☐ | Water | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)
Existing 2 storey dwelling
House Footprint: 587.8 m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:
Proposed cabana footprint: 103.4 m2
Cabana Height: 3.150m 4.7m

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

EXISTING
Front yard setback 28.584m
Rear yard setback 18.051m
Side yard setback 45.906m
Side yard setback 69.980m

PROPOSED
Front yard setback N/A
Rear yard setback 33.885m
Side yard setback 20.497m
Side yard setback 71.658m

10. Date of Acquisition of subject land: Sep 2015

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: April 2019

15. Length of time the existing uses of the subject property have been continued: 7 YEARS

16. (a) What water supply is existing/proposed?
Municipal ☑
Well ☐
Other (specify)

(b) What sewage disposal is/will be provided?
Municipal ☑
Septic ☐
Other (specify)

(c) What storm drainage system is existing/proposed?
Sewers ☑
Ditches ☐
Swales ☐
Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ■

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ■

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ■ Unknown ☐

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 12th DAY OF August, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, SEWA SINGH BASRA, OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE City OF Brampton

IN THE Region OF Peel THIS 12th DAY OF August, 2022

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: RE2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

J. Chau
Zoning Officer

July 20, 2022
Date

DATE RECEIVED August 12, 2022

Revised 2020/01/07

## NOTES:

[illegible]

## SERVICING NOTES:

[illegible]

## REGION OF PEEL SERVICING NOTES:

[illegible]

12. The contractor(s) shall be solely responsible for locates, exposing, supporting and protecting of all underground and overhead utilities and structures existing at the time of construction in the area of their work. Whether shown on the plans or not and for all repairs and consequences resulting from damage to same.

13. [illegible]

14. All proposed water piping must be isolated through a temporary connection that shall include an appropriate cross-connection control device, consistent with the degree of hazard, for backflow prevention of the active distribution system, conforming to Region of Peel standards 1-7-7 or 1-7-8.

## SEDIMENT AND EROSION CONTROL NOTES:

[illegible]

## MIGRATORY BIRDS CONVENTION ACT:

ANY TREE CLEARING WILL BE AVOIDED BETWEEN APRIL 1 - AUGUST 31 AS OUTLINED IN THE MIGRATORY BIRDS CONVENTION ACT, AND TREES WILL BE INSPECTED FOR NESTS PRIOR TO CLEARING

## PROPERTY DESCRIPTION:

[illegible]

## LEGEND:

| | |
|---|---|
| —□— | DENOTES SURVEY MONUMENT SET |
| —■— | DENOTES SURVEY MONUMENT FOUND |
| SIB | DENOTES .025 x .025 x 1.20 STANDARD IRON BAR |
| IB | DENOTES .015 x .015 x 0.60 IRON BAR |
| DICB | DENOTES DOUBLE INLET CATCHBASIN |
| DI | DENOTES DITCH INLET CATCHBASIN |
| EXISTING GRADE | OVERHEAD TELEPHONE |
| PROPOSED GRADE | NATURAL GAS |
| DIRECTION OF FLOW | WATERMAIN |
| CATCHBASIN | SANITARY SEWER |
| MANHOLE | STORM SEWER |
| WATER VALVE | FENCE |
| FIRE HYDRANT | PROPOSED SWALE |
| HYDRO POLE | EXISTING DRAINAGE |
| GUY WIRE | DECIDUOUS TREE |
| LIGHT STANDARD | SLOPE |
| HYDRO METER | CONIFEROUS TREE |
| GAS METER | TREE TO BE REMOVED |

**CAUTION:** THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.
THIS SKETCH IS PROTECTED BY COPYRIGHT. ©

## BENCHMARK

ELEVATIONS ARE BASED ON GPS OBSERVATIONS TO PERMANENT REFERENCE STATIONS IN THE NAD83 (CSRS-2010) COORDINATE SYSTEM AND HAVE BEEN CORRECTED TO ORTHOMETRIC ELEVATIONS ON THE CGVD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HT2.0, AS SUPPLIED BY NATURAL RESOURCES CANADA.

SITE BM1:

SITE BM2:

## PROPOSED DWELLING

- BASEMENT SLAB ELEVATION = 213.21
- TOP OF FOOTING ELEVATION = 216.23
- UNDERSIDE OF FOOTING ELEVATION = 212.91
- FINISHED FLOOR ELEVATION = 216.58
- 9'-11" TOP OF FOUNDATION TO BASEMENT SLAB
- 6" FOOTING

**ZONING:**
**RESIDENTIAL RURAL ESTATE 2 (RE2)**

**REQUIRED**

- MINIMUM LOT AREA = 0.8ha
- MINIMUM LOT WIDTH = 45m
- MINIMUM FRONT YARD = 12m
- MINIMUM INTERIOR SIDE YARD = 7.5m
- MINIMUM EXTERIOR SIDE YARD = 7.5m
- MINIMUM REAR YARD = 15.0m

## LOT DEVELOPMENT PLAN FOR:

**28 TORTOISE COURT**
**ALL OF LOT 1**
**PLAN M-90**
**CITY OF BRAMPTON**
**REGIONAL MUNICIPALITY OF PEEL**

| NO. | REVISION | BY | DATE |
|---|---|---|---|
| 12 | REGION OF PEEL COMMENTS | AS | NOV 25, 2019 |
| 11 | REVISED SITE SERVICING DETAILS | MMV | JUL 16, 2019 |
| 10 | DRAFT - UPDATED GRADING DETAILS | MMV | APR 29, 2019 |
| 9 | REVISED HOUSE LOCATION | MMV | APR 10, 2019 |
| 8 | TRCA REVISIONS | MMV | APR 8, 2019 |
| 7 | TRCA REVISIONS | MMV | NOV 21, 2018 |
| 6 | TRCA DEVELOPMENT SHEET ADDED | MMV | SEP 28, 2018 |
| 5 | PERGOLA AND GAZEBO MARKED TO BE REMOVED | MMV | AUG 9, 2018 |
| 4 | CITY OF BRAMPTON COMMENTS | MMV | JUL 7, 2018 |
| 3 | NEW HOUSE LOCATION | MMV | JUN 7, 2018 |
| 2 | GRADING DESIGN ADDED | MMV | APR 25, 2018 |
| 1 | FOR CLIENT REVIEW | MMV | APR 18, 2018 |

**DRAWING REVISION SCHEDULE**

**PREPARED FOR: SEWA BASRA**

**PROJECT No. 24562-17**

**DRAWING SCALE 1 : 250**

Van Harten SURVEYING INC.

| Elmira | Guelph | Orangeville |
|---|---|---|
| Ph: 519-669-5070 | Ph: 519-821-2763 | Ph: 519-940-4110 |

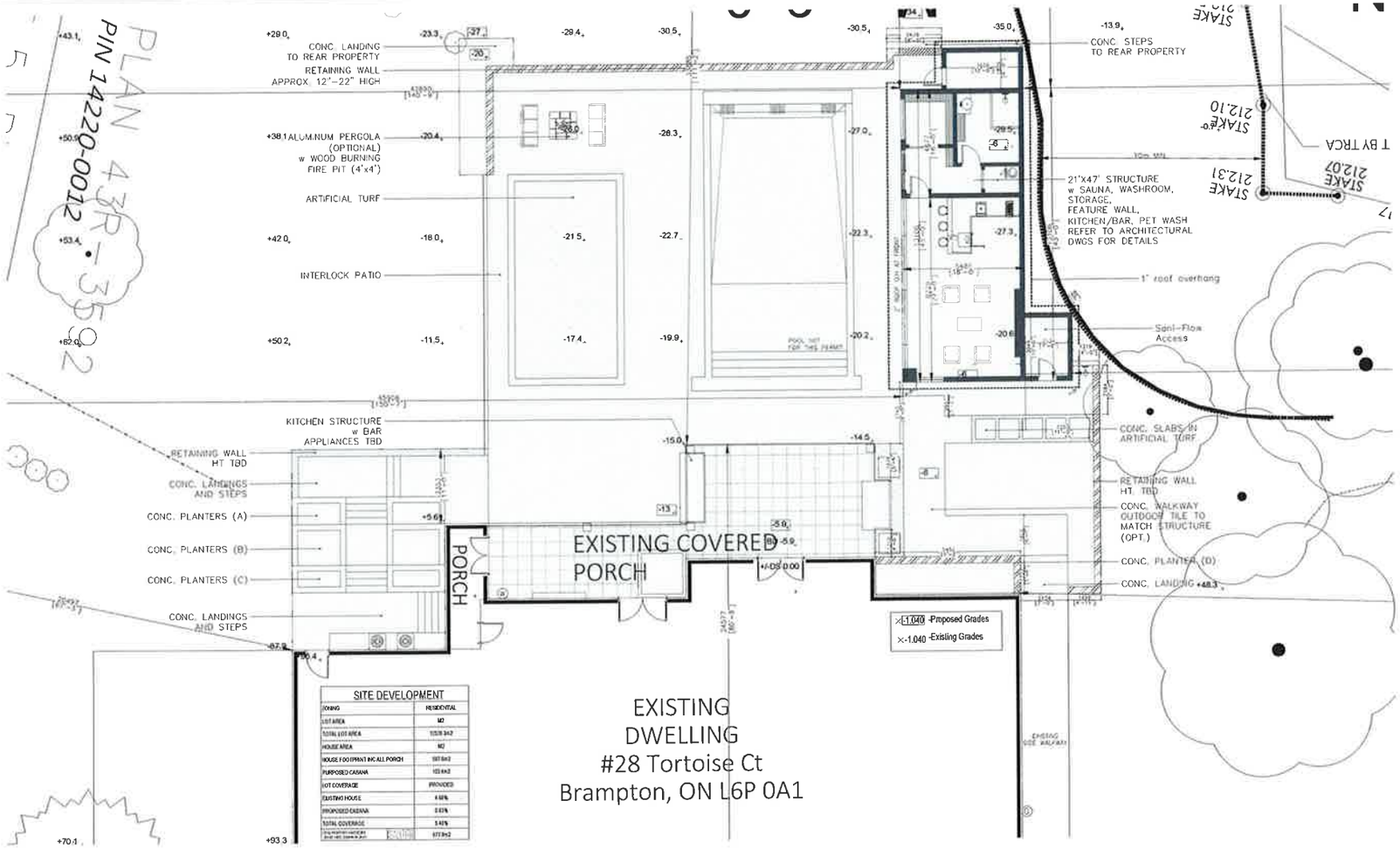
www.vanharten.com info@vanharten.com

DRAWN BY: AFV CHECKED BY: MMV

PROPOSED CABANA
28 Tortoise Ct Brampton, ON L6P 0A1

A00-COVER PAGE
A1.1-SITE PLAN (ZOOMED)
A1-SITE PLAN
A2-FLOOR PLAN
A3-FOUNDATION PLAN
A4-ROOF PLAN
A4.1-ROOF DRAINAGE
A5-ELEVATIONS
A6-ELEVATIONS
A7-ELEVATIONS
A8-WALL FRAMING

Square
Design
Group




FOR STRUCTURAL ONLY

LICENSED PROFESSIONAL ENGINEER
E. TAWHIDI
100132131
JUL.07/22
PROVINCE OF ONTARIO

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

1 / A1 SITE PLAN
1:200

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

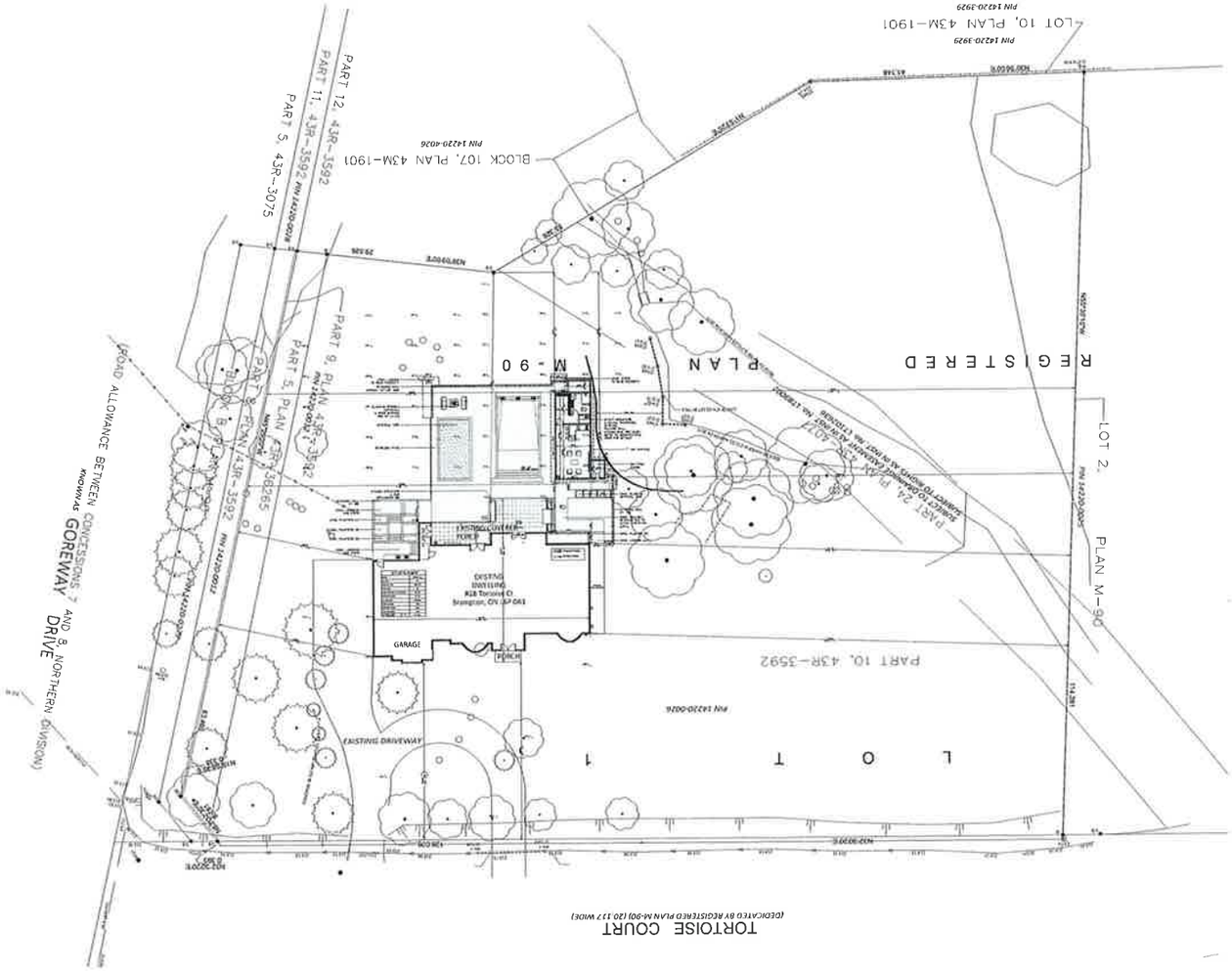
PROJECT NAME:
28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE:
Site Plan (ZOOMED)

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A1




1 A1.1 SITE PLAN
1:750

FOR STRUCTURAL ONLY

LICENSED PROFESSIONAL ENGINEER
E. TAWHIDI
100132131
JUL.07/22
PROVINCE OF ONTARIO

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:
28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE:
Site Plan (FULL)

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A1.1

## STRUCTURAL NOTES:

1. Workmanship and materials shall be in accordance with part 9 of the Ontario Building Code and local regulations.
2. See Architectural drawings for dimensions, elevations and finishes.
3. All structural components shall be interconnected to resist code mandated live, dead and environmental loads.
4. **DESIGN LIVE LOADS ARE:**
   **ROOF : SS 1/50 = 1.3KPA, SR = 0.4 KPA**
   **FLOORS : 40 PSF**
   WIND 1/50 : 0.44 KPA BASIC
   **EARTHQUAKE : SA (0.2) 0.21**
5. Contractor is responsible for safe execution of work, as per osha and other applicable safety codes. a temporary shoring plan and construction sequence duly signed by an Ontario licensed professional engineer to be submitted for approval before start of any relevant work. Approved shop drawings along with approve permit drawings shall be always available at site for reference.

### Foundations

1. Footings shall be placed on undisturbed soil capable of supporting 2000 psf.
2. Footings excavations shall be inspected by soils engineer before concrete is placed.
3. Footings exposed to freezing shall be placed at least 4'-0" below finished grade.
4. Protect footings exposed to frost action during construction by 4'-0" minimum of soil or its equivalent.
5. The line of slope between adjacent footings or excavations or along stepped footings shall not exceed a rise of 7 in a run of 10. maximum step shall be 2'-0".
6. Where a foundation wall retains soil on each side, place backfill on both sides simultaneously.
7. Foundation walls retaining earth between slabs at different levels shall be shored until the slab at higher level is in place and has reached its required strength.

### Concrete specification

1. The ultimate 28 days compressive strength of concrete shall be 20.0 MPA unless noted otherwise.
2. The ultimate 28 days compressive strength of concrete exposed to freezing and thawing (exterior slabs, garage floor slab, side walks, curbs,retaining walls, etc.) shall be 32 MPA with minimum air entrainment content of 5%-8% and maximum water/cement ratio by mass of 0.45.
3. Do not use calcium chloride or other salts in concrete.
4. Reinforcing steel shall be deformed bars to CSA G30.18 with a minimum yield strength of 400 MPA.
5. Welded wire mesh shall conform to CSA.G30.5, welded steel wire fabric for concrete reinforcement.
6. Detail reinforcing in accordance with reinforcing steel manual of standard practice prepared by RSIO.
7. Only ready mix concrete is permitted on this job. the concrete supplier shall be responsible for concrete mix design.
8. Supply and install concrete, reinforcing steel and formwork including placing, finishing and curring as shown on the drawings in accordance with CSA A23 and CSA G 30.
9. Non-shrink, non-metallic grout shall be used by Sika Canada inc. or an approved equal.

### Structural Steel

1. Structural steel shall be as follows
   W, S, HP, WWF SHAPES CAN/CSA G40.21-350W.
   HSS CAN/CSA G40.21-350W. CLASS C
   L, PL. CAN/CSA G40.21-300W
2. Obtain field measurements as required.
3. Provide holes where required for attachment of other work to steel. place holes so as not to cause any appreciable reduction in strength of the member.
4. Fabricate, supply and erect structural steel work in accordance with the following standards:
   Design, fabrication and erection CSA-S16.1
   Welding CSA-W47
   Cleaning SSPC-SP3-63
   Bolts 3/4" Ø U.N.O ASTM-325-80A
   Paint (1 shop coat + field touch up) CGSB-1.40-M89
5. Design connections for the reactions produced by the loading conditions.
6. No splices in new beams and columns shall be allowed unless approved by the engineer.
7. All steel lintels bearing on masonry to have minimum 6" bearing

### Wood

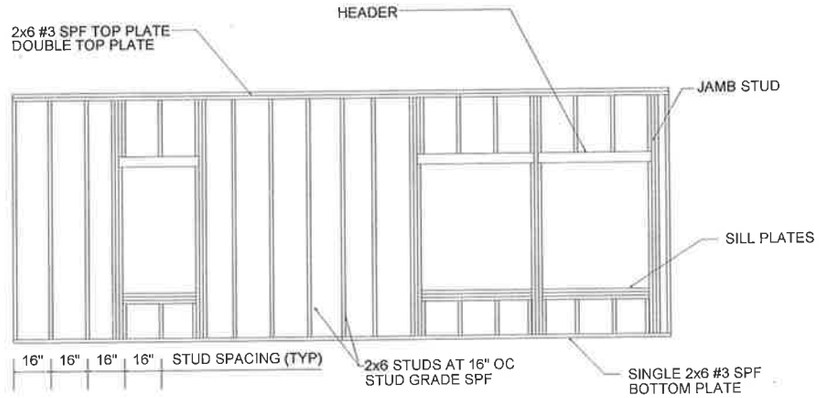
1. All wood construction to be in accordance with CSA standard CAN3-086-01.
2. All lumber to be grade stamped and shall be dry spruce #1 or #2 conforming to CSA-086-01 u/n otherwise.
3. Lumber for stud walls shall be spruce stud grade u/n otherwise.
4. Trus joists, LSL and PSL beams shall be as manufactured by Trus Joist Canada ltd. or an approved equal. the supplier shall be responsible for design of all connections and shall submit shop drawings bearing a stamp of P. Eng. responsible for the design.
5. All connections, unless noted otherwise, to be in accordance with O.B.C. 2012
6. All load bearing stud walls shall have one row of solid blocking at mid height unless noted otherwise.
7. Bridging for trus joists shall be as recommended by the manufacturer. however, spacing of bridging shall not exceed 12 feet.
8. Metal hangers shall be made from light gauge galvanized metal and shall have allowable load capacity (as per manufacturer's data) greater than reactions produced by loading conditions. Use Simpson Strong-tie or equal.
9. Protect lumber in direct contact with concrete or mortar with 10 mil. polyethylene sheet.
10. Provide adequate temporary bracing for all stud walls during construction.
11. Double up studs at each end of an opening unless noted otherwise.
12. Plywood as per CSA O 86.1

## STEEL LINTEL SCHEDULE

| | | |
|---|---|---|
| | Up to 4'-6" Opening | L 3 1/2" x 3 1/2" x 5/16" |
| | Up to 5'-6" Opening | L 4" x 3 1/2" x 5/16" |
| | Up to 6'-6" Opening | L 5" x 3 1/2" x 5/16" |
| | Up to 7'-6" Opening | L 5" x 3 1/2" x 3/8" |
| | Up to 9'-10" Opening | L 6" x 4" x 3/8" |
| | Up to 11'-0" Opening | L 7" x 4" x 3/8" |
| | Up to 25' Opening | (I-BEAM) W8x15 BEARING ON BRICK |
| | | |

## WOOD LINTEL SCHEDULE

| | | |
|---|---|---|
| | Up to 3'-6" Opening | 3 - 2" x 6" |
| | Up to 5'-6" Opening | 3 - 2" x 8" |
| | Up to 6'-6" Opening | 3 - 2" x 10" |
| | Up to 7'-6" Opening | 3 - 2" x 12" |
| | | |




## TYP. WALL

NOTES:
1. TOP AND BOTTOM PLATE TO STUD WITH (3) .131x3" P.D. NAILS.
2. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS
3. WALL TO WALL AND CEILING #8x3" SCREW 16" O.C.

LICENSED PROFESSIONAL ENGINEER
E. TAWHIDI
100132131
JUN.21/22
PROVINCE OF ONTARIO

1 / A1.2 SITE NOTES

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

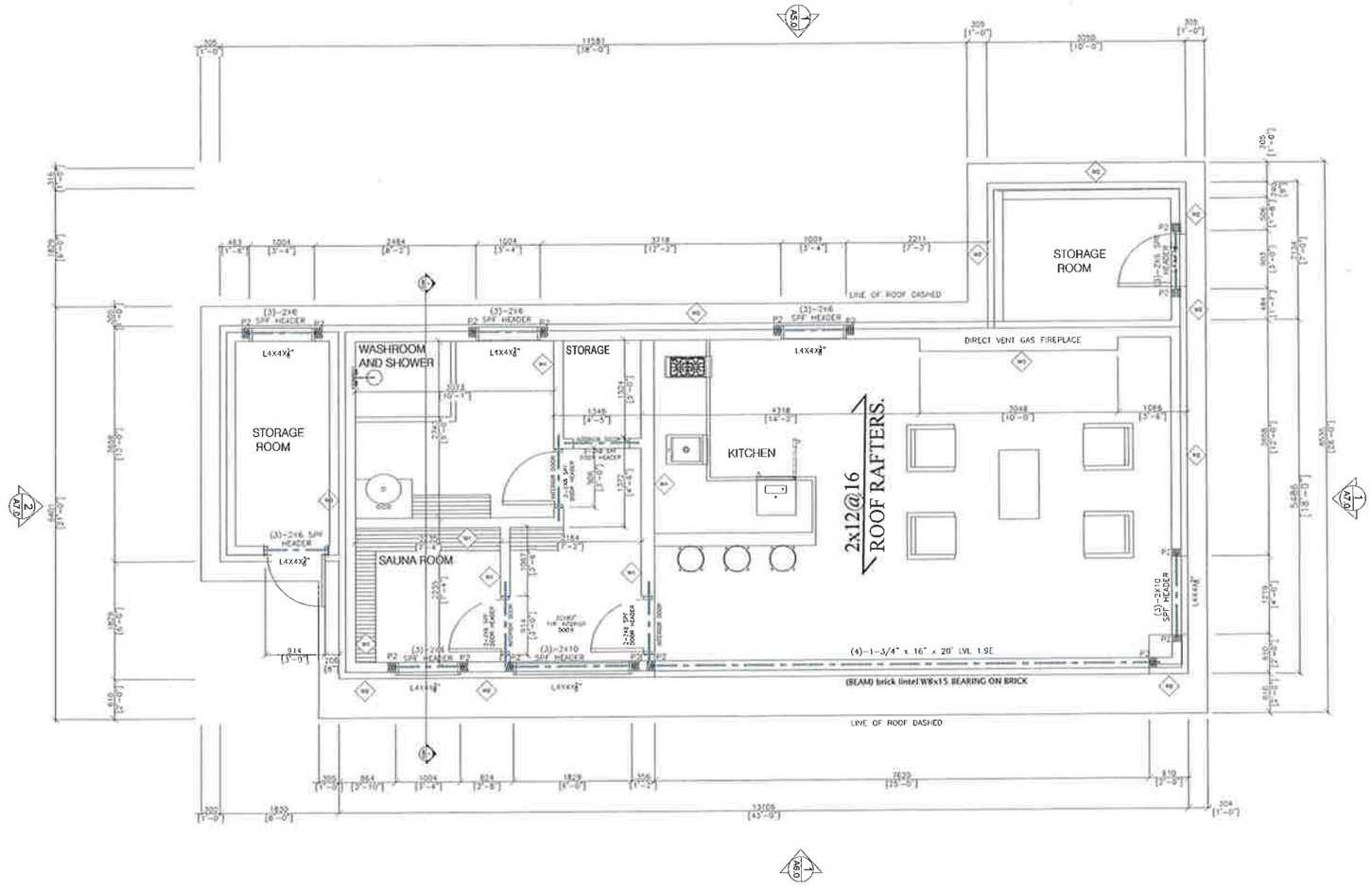
PROJECT NAME: 28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE: SITE NOTES

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO: A1.2




W1 INTERIOR WALL PARTITION
DRYWALL INTERIOR FINISH
OR VERTICAL WOOD SIDING T & G
2X4" WOOD STUDS @ 406mm O.C, DBL
TOP PLATE VERTICAL WOOD SITING
T & G or DRYWALL INTERIOR FINISH

W2 STONE WALL
1/2 in gypsum board
2 in x 6 in wood studs @ 406 O.C DBL TOP
PLATE - Exterior sheeting
Air-barrier
1 in air gap
3 1/2 Masonry Veneer

W3 FIRE PLACE WALL PARTITION
VERTICAL WOOD SIDING T & G
TYVEC AIR BARRIER
13mm EXTERIOR PLYWOOD SHEATHING
38X89 STEEL STUDS @ 406mm O.C.(SEE
MANUFACTURE INSTALLATION DETAILS)

P1 (6"X6") BUILT UP PST.

P2 (2"X6") BUILT UP PST.

STEEL LINTEL SCHEDULE
L1 L4X4X 3/8"
L2 L7x4x3/8 L.L.V
L3 (BEAM) W8x15 BEARING ON BRICK

1 / A2 FLOOR PLAN
1:75

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:
28 Tortoise Ct Brampton, ON L6P 0A1

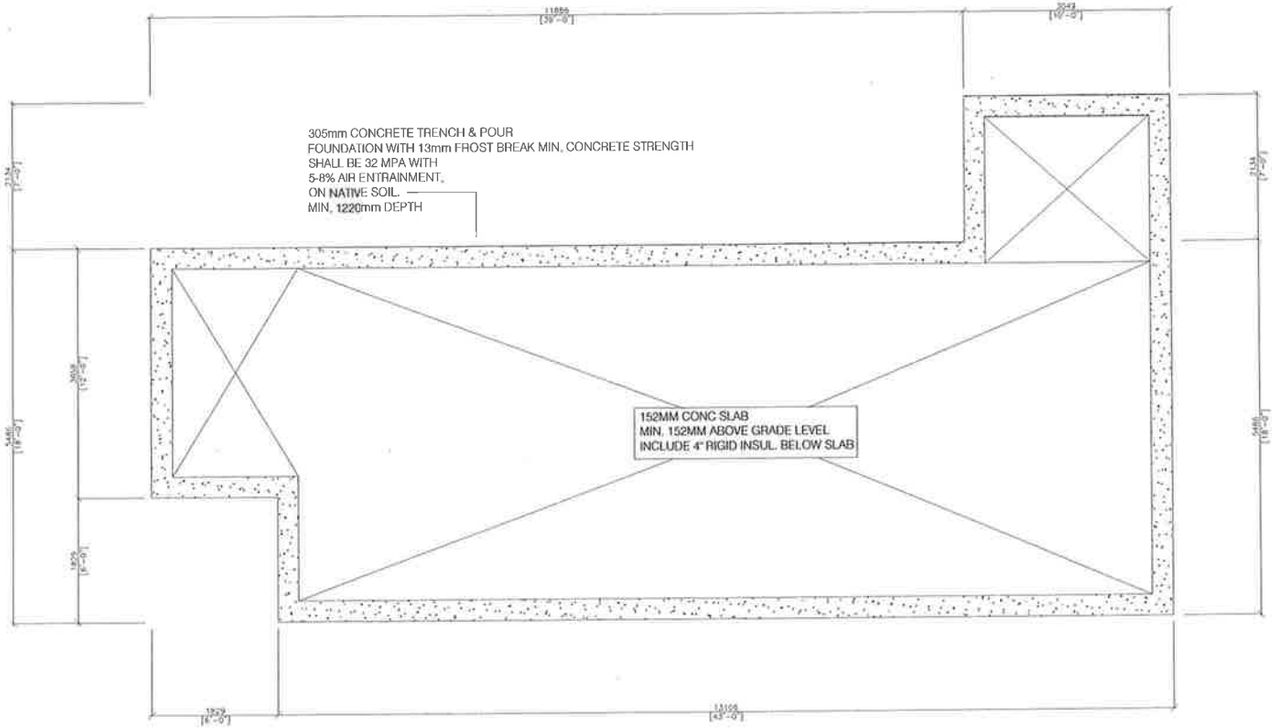
DRAWING TITLE:
FLOOR PLAN

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

LICENSED PROFESSIONAL ENGINEER
E. TAWHIDI
100132131
JUN.21/22
PROVINCE OF ONTARIO

Square Design Group

SHEET NO:
A2




1 A3.0 FOUNDATION PLAN

1:75

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:
28 Tortoise Ct Brampton, ON L6P 0A1

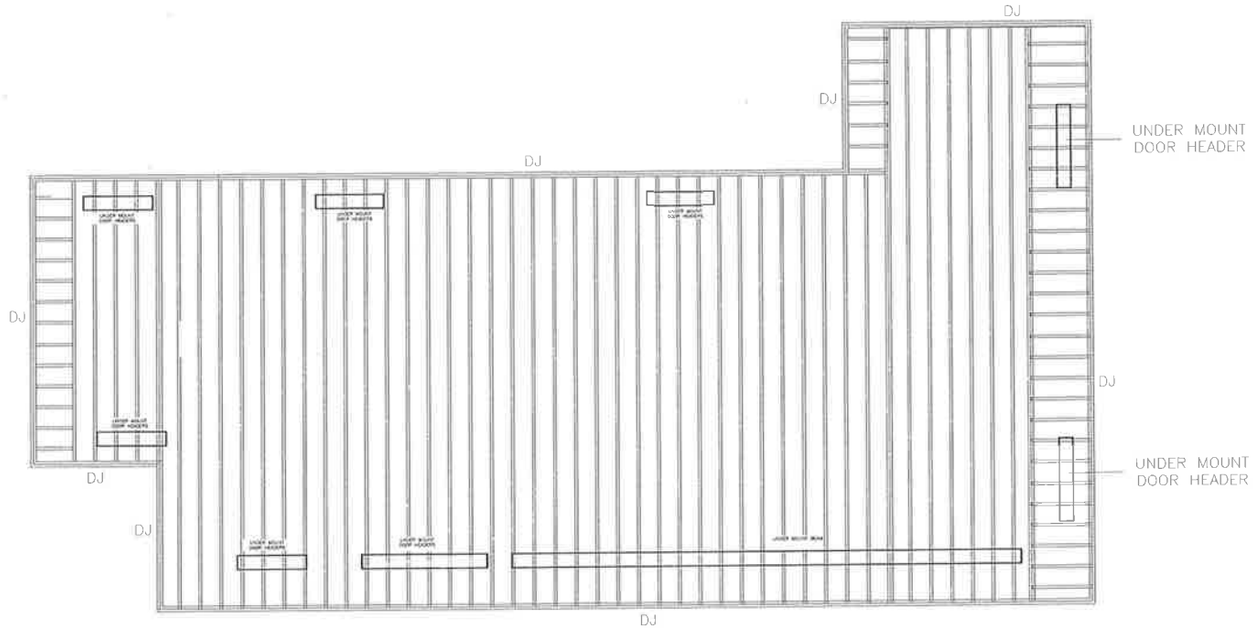
DRAWING TITLE:
FOUNDATION PLAN

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

LICENSED PROFESSIONAL ENGINEER
E. TAWHIDI
100132131
JUN.21/22
PROVINCE OF ONTARIO

Square Design Group

SHEET NO:
A3




1 A4.0 ROOF FRAMING PLAN

1:75

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:
28 Tortoise Ct Brampton, ON L6P 0A1

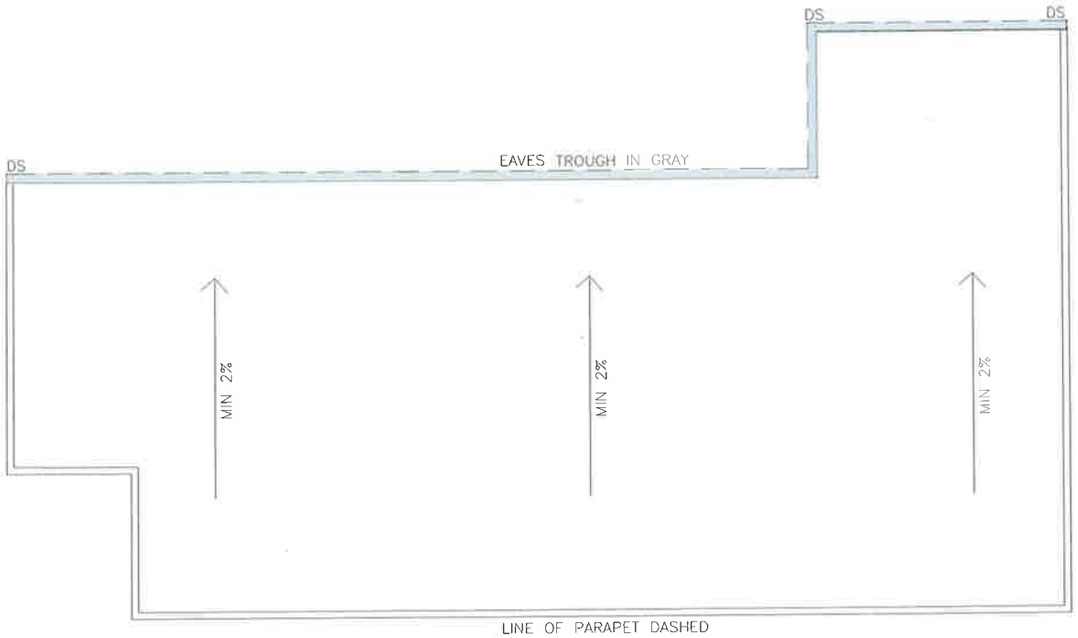
DRAWING TITLE:
ROOF FRAMING PLAN

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

LICENSED PROFESSIONAL ENGINEER
E. TAWHIDI
100132131
JUN.21/22
PROVINCE OF ONTARIO

Square Design Group

SHEET NO:
A4




1 / A4.1 ROOF DRAINAGE PLAN

1:75

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:
28 Tortoise Ct Brampton, ON L6P 0A1

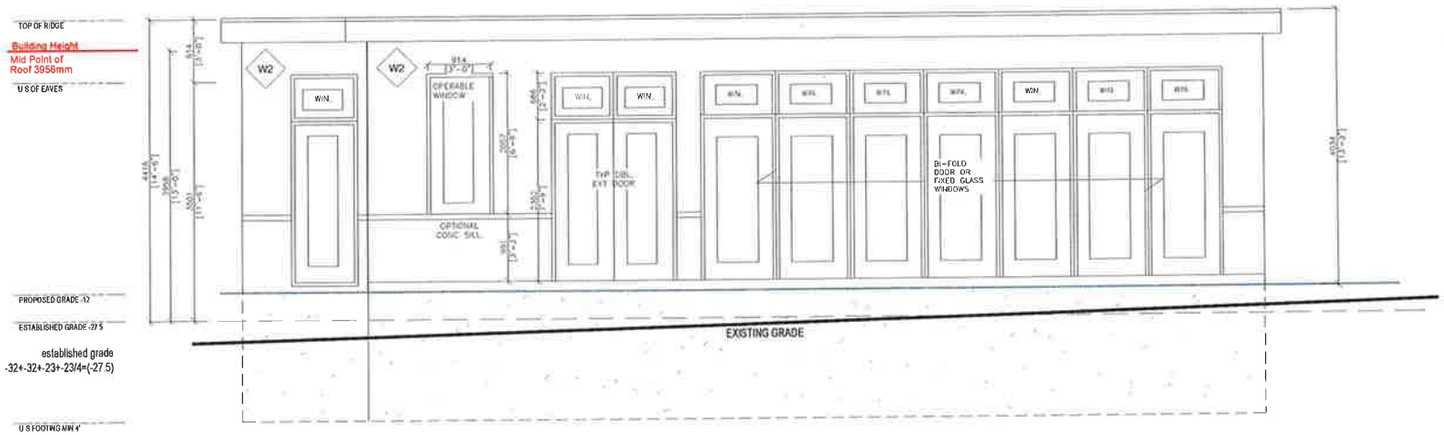
DRAWING TITLE:
ROOF DRAINAGE PLAN

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

LICENSED PROFESSIONAL ENGINEER
E. TAWHIDI
100132131
JUN.21/22
PROVINCE OF ONTARIO

Square Design Group

SHEET NO:
A4.1




LICENSED PROFESSIONAL ENGINEER
E. TAWHIDI
100132131
JUL.07/22
PROVINCE OF ONTARIO

1 A5.0 ELEVATION A

1:75

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

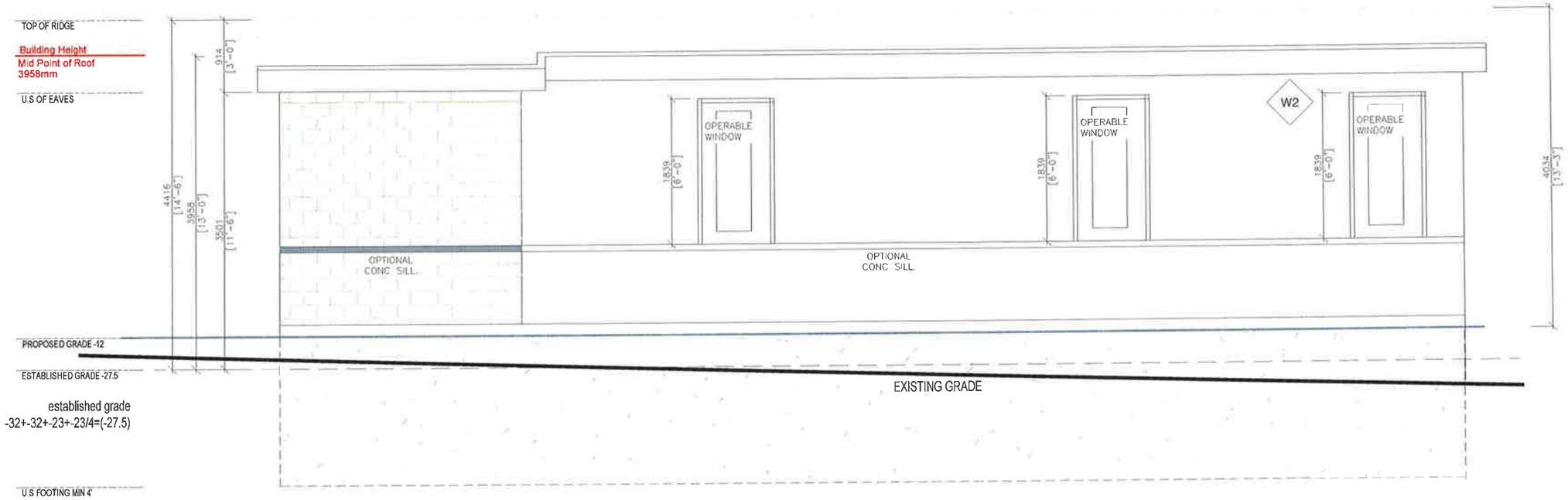
PROJECT NAME:
28 Tortoise Ct Brampton, ON L6P 0A1

DRAWING TITLE:
ELEVATION

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A5.0




1 A6.0 ELEVATION B
1:50

LICENSED PROFESSIONAL ENGINEER
E. TAWHIDI
100132131
JUL.07/22
PROVINCE OF ONTARIO

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME:
28 Tortoise Ct Brampton, ON L6P 0A1

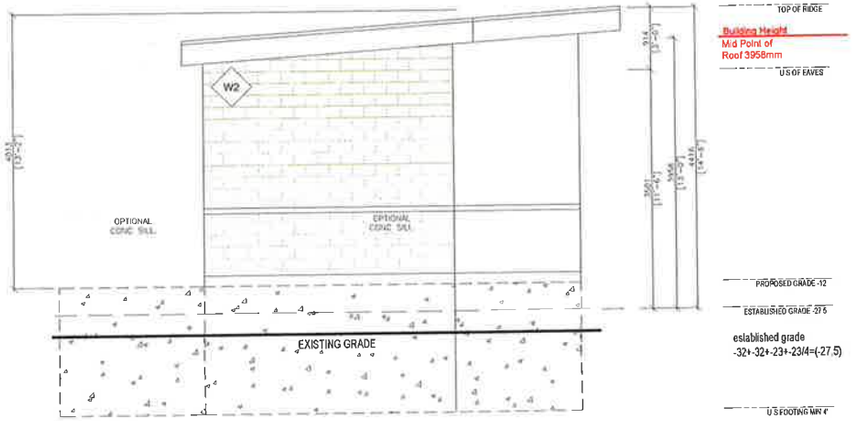
DRAWING TITLE:
ELEVATION

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A6.0

1 A7.0 ELEVATION
1:75




2 A7.0 ELEVATION
1:75

LICENSED PROFESSIONAL ENGINEER
E. TAWHIDI
100132131
JUL.07/22
PROVINCE OF ONTARIO

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

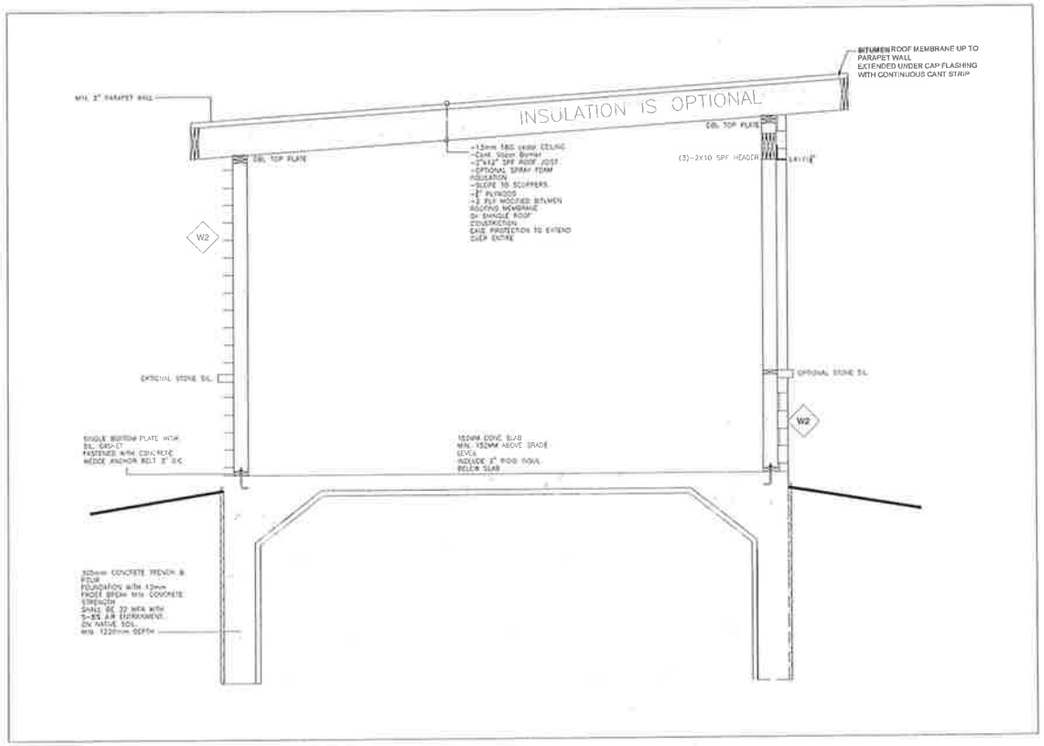
PROJECT NAME:
28 Tortoise Ct Brampton, ON L6P 0A1

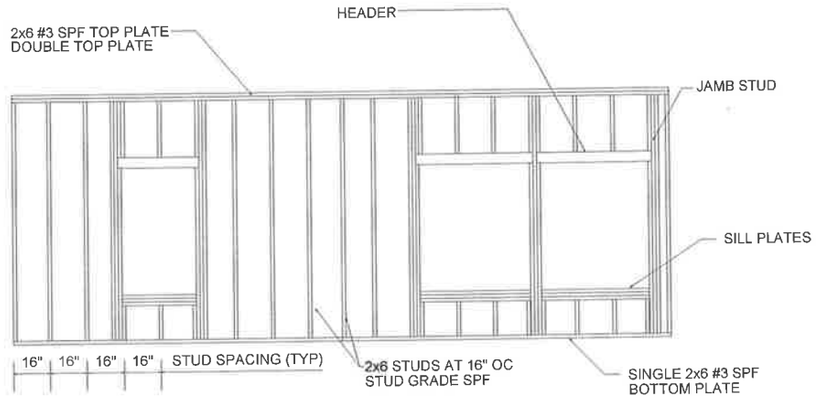
DRAWING TITLE:
DETAIL

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

Square Design Group

SHEET NO:
A7.0




TYP. WALL

NOTES:
1. TOP AND BOTTOM PLATE TO STUD WITH (3) .131x3" P.D. NAILS.
2. WALL TO FLOOR #8x3" SREW 16" O.C. AND (2) .131x3" P.D. NAILS
3. WALL TO WALL AND CEILING #8x3" SCREW 16" O.C.

2 / A8.0 WALL SECTION
1:50

| rev | description | by | date |
|---|---|---|---|
| REV: | DESCRIPTION: | BY: | DATE: |

GENERAL NOTES

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH CONSTRUCTION.

THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SEALED AND SIGNED BY THE DESIGNER.

PROJECT NAME: 28 Tortoise Ct Brampton, ON L6P 0A1

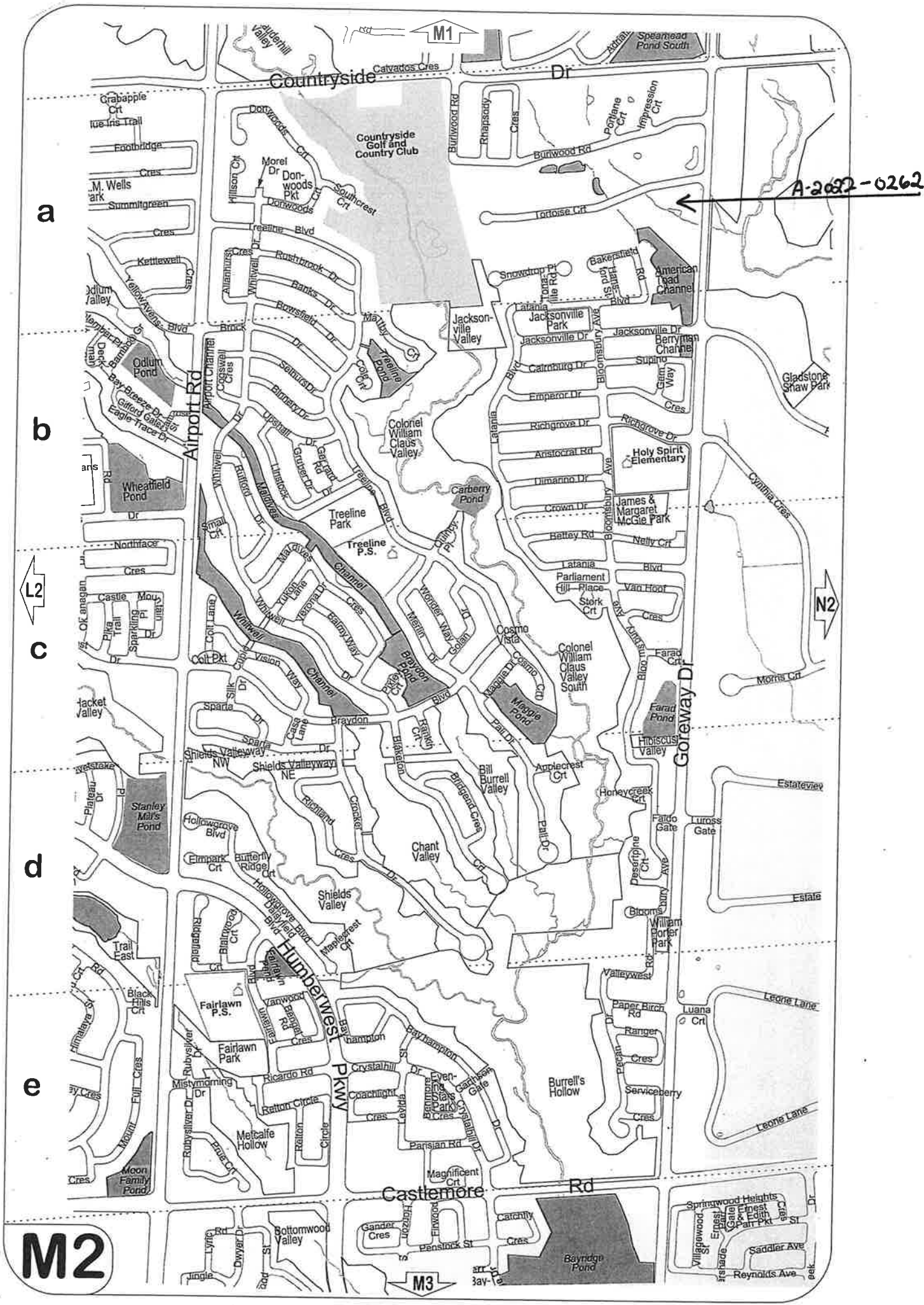
DRAWING TITLE: DETAILS

| DRAWN BY: | CHECKED BY: | APPROVED BY: | DATE: |
|---|---|---|---|
| | | | |

LICENSED PROFESSIONAL ENGINEER
E. TAWHIDI
100132131
JUN.21/22
PROVINCE OF ONTARIO

Square Design Group

SHEET NO: A8.0


M1
Countryside Dr
Calvados Cres
Grabapple Crt
Footbridge
Cres
M. Wells
Summitgreen
Cres
Kettlewell
Cres
Yellow Avens Blvd
Odlum Pond
Bay Breeze Dr
Gifford Gate
Eagle Trace Dr
Airport Rd
Wheatfield Pond
Dr
Northface
Cres
Castle Mountain
Pl
Dr
Sparkling Pl
Dr
Colt Pkt
Colt Lane
Whitwell
Channel
Dr
Sparta
Dr
Shields Valleyway NW
Shields Valleyway NE
Stanley Mill's Pond
Hollowgrove Blvd
Elmpark Crt
Butterfly Ridge Crt
Trail East
Black Hills Crt
Fairlawn P.S.
Fairlawn Park
Fairlawn Blvd
Hollowgrove Blvd
Humberwest Pkwy
Ricardo Rd
Misty Morning Dr
Metcalfe Hollow
Moon Family Pond
Shields Valley
Chant Valley
Richland
Crooker
Cres
Dr
Braydon
Blvd
Braydon Pond
Merlin Dr
Wonder Way
Solan
Cosmo Vista
Maggie Dr
Cosmo Cres
Maggie Pond
Colonel William Claus Valley South
Farad Crt
Farad Pond
Hibiscus Valley
Goreway Dr
Morris Crt
Applecrest Crt
Honeycreek Crt
Faido Gate
Luross Gate
Estateview
Estate
Bill Burrell Valley
Pair Dr
Bridgend Cres
Blakeston
Rankin Crt
Dessripline Crt
Ave
Bloomsbury
William Porter Park
Valleywest Rd
Paper Birch Dr
Ranger
Cres
Pecan
Serviceberry
Burrell's Hollow
Luana Crt
Leonie Lane
Bayhampton
Crystalhill Dr
Coachlight
Cres
Even-ing Star Park
Garthsen Gate
Parsian Rd
Magnificent Crt
Castlemore Rd
Gander Cres
Horizon
Elmwood
Pennstock St
Catchfly
Cres
Bayridge Pond
Springwood Heights
Villagewood St
Ernest
Gate
Ernest
Edith
Pair Pkt
Crais St
Dr
Saddler Ave
Reynolds Ave
Bottomwood Valley
Lyric Rd
Dwyer Dr
Jingle
M3
L2
N2
M2
a
b
c
d
e
Deadman Valley
Glen Eagles Golf and Country Club
Grabapple Crt
Footbridge
Cres
Summitgreen
Cres
Kettlewell
Cres
Yellow Avens Blvd
Odlum Pond
Bay Breeze Dr
Gifford Gate
Eagle Trace Dr
Airport Rd
Wheatfield Pond
Dr
Northface
Cres
Castle Mountain
Pl
Dr
Sparkling Pl
Dr
Colt Pkt
Colt Lane
Whitwell
Channel
Dr
Sparta
Dr
Shields Valleyway NW
Shields Valleyway NE
Stanley Mill's Pond
Hollowgrove Blvd
Elmpark Crt
Butterfly Ridge Crt
Trail East
Black Hills Crt
Fairlawn P.S.
Fairlawn Park
Fairlawn Blvd
Hollowgrove Blvd
Humberwest Pkwy
Ricardo Rd
Misty Morning Dr
Metcalfe Hollow
Moon Family Pond
Shields Valley
Chant Valley
Richland
Crooker
Cres
Dr
Braydon
Blvd
Braydon Pond
Merlin Dr
Wonder Way
Solan
Cosmo Vista
Maggie Dr
Cosmo Cres
Maggie Pond
Colonel William Claus Valley South
Farad Crt
Farad Pond
Hibiscus Valley
Goreway Dr
Morris Crt
Applecrest Crt
Honeycreek Crt
Faido Gate
Luross Gate
Estateview
Estate
Bill Burrell Valley
Pair Dr
Bridgend Cres
Blakeston
Rankin Crt
Dessripline Crt
Ave
Bloomsbury
William Porter Park
Valleywest Rd
Paper Birch Dr
Ranger
Cres
Pecan
Serviceberry
Burrell's Hollow
Luana Crt
Leonie Lane
Bayhampton
Crystalhill Dr
Coachlight
Cres
Even-ing Star Park
Garthsen Gate
Parsian Rd
Magnificent Crt
Castlemore Rd
Gander Cres
Horizon
Elmwood
Pennstock St
Catchfly
Cres
Bayridge Pond
Springwood Heights
Villagewood St
Ernest
Gate
Ernest
Edith
Pair Pkt
Crais St
Dr
Saddler Ave
Reynolds Ave
Bottomwood Valley
Lyric Rd
Dwyer Dr
Jingle
M3
L2
N2
M2
a
b
c
d
e
Donwoods Crt
Morel Dr
Donwoods Pkt
Donwoods
Southcrest Crt
Hillson Crt
Treeline Blvd
Allanhurst Cres
Whitwell Dr
Rushbrook Dr
Banks Dr
Bowsfield Dr
Brock Dr
Selmurs Dr
Binnary Dr
Upshall Dr
Gruber Dr
Garland Rd
Dr
Cogswell Cres
Airport Channel
Linacrox Dr
Ruttkay Dr
Whitwell Dr
Small Cir
Maldives
Channel
Treeline Park
Treeline P.S.
Treeline Pond
Colonel William Claus Valley
Carberry Pond
Outlook Pl
Treeline Blvd
Yukon Lane
Verona Dr
Cres
Balmy Way
Whitwell Channel
Countryside Golf and Country Club
Burlwood Rd
Rhapsody Cres
Burlwood Rd
Pontiac Crt
Impression Crt
Tortoise Crt
Snowdrop Pl
Tonalille Rd
Bakersfield Rd
Harbourfront Blvd
American Toad Channel
Latania Blvd
Jacksonville Valley
Jacksonville Park
Jacksonville Dr
Bloomsbury Ave
Berryman Channel
Calmsburg Dr
Supino Gate
Way
Cres
Emperor Dr
Richgrove Dr
Aristocrat Rd
Holy Spirit Elementary
Dimarino Dr
Crown Dr
James & Margaret McGie Park
Bellhey Rd
Nelly Crt
Latania Blvd
Parliament Hill Place
Van Hoof Cres
Stork Crt
Ave
Cynthia Cres
Gladstone Shaw Park
Jackson-ville Valley
Mallory Crt
Cog Crt
Deadman Valley
Glen Eagles Golf and Country Club
Donwoods Crt
Morel Dr
Donwoods Pkt
Donwoods
Southcrest Crt
Hillson Crt
Treeline Blvd
Allanhurst Cres
Whitwell Dr
Rushbrook Dr
Banks Dr
Bowsfield Dr
Brock Dr
Selmurs Dr
Binnary Dr
Upshall Dr
Gruber Dr
Garland Rd
Dr
Cogswell Cres
Airport Channel
Linacrox Dr
Ruttkay Dr
Whitwell Dr
Small Cir
Maldives
Channel
Treeline Park
Treeline P.S.
Treeline Pond
Colonel William Claus Valley
Carberry Pond
Outlook Pl
Treeline Blvd
Yukon Lane
Verona Dr
Cres
Balmy Way
Whitwell Channel
Countryside Golf and Country Club
Burlwood Rd
Rhapsody Cres
Burlwood Rd
Pontiac Crt
Impression Crt
Tortoise Crt
Snowdrop Pl
Tonalille Rd
Bakersfield Rd
Harbourfront Blvd
American Toad Channel
Latania Blvd
Jacksonville Valley
Jacksonville Park
Jacksonville Dr
Bloomsbury Ave
Berryman Channel
Calmsburg Dr
Supino Gate
Way
Cres
Emperor Dr
Richgrove Dr
Aristocrat Rd
Holy Spirit Elementary
Dimarino Dr
Crown Dr
James & Margaret McGie Park
Bellhey Rd
Nelly Crt
Latania Blvd
Parliament Hill Place
Van Hoof Cres
Stork Crt
Ave
Cynthia Cres
Gladstone Shaw Park
Jackson-ville Valley
Mallory Crt
Cog Crt

A-2022-0262

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0290***
**WARD 4**

**DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an application for minor variance has been made by **INDERPREET SINGH SHOKAR, AMANDEEP SINGH SHOKAR, NEHA JAIN AND SHIKHA BEDI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 46, Plan 43M-1721 municipally known as **6 OLIVIA MARIE ROAD,** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a driveway width of 7.37m (24.18 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

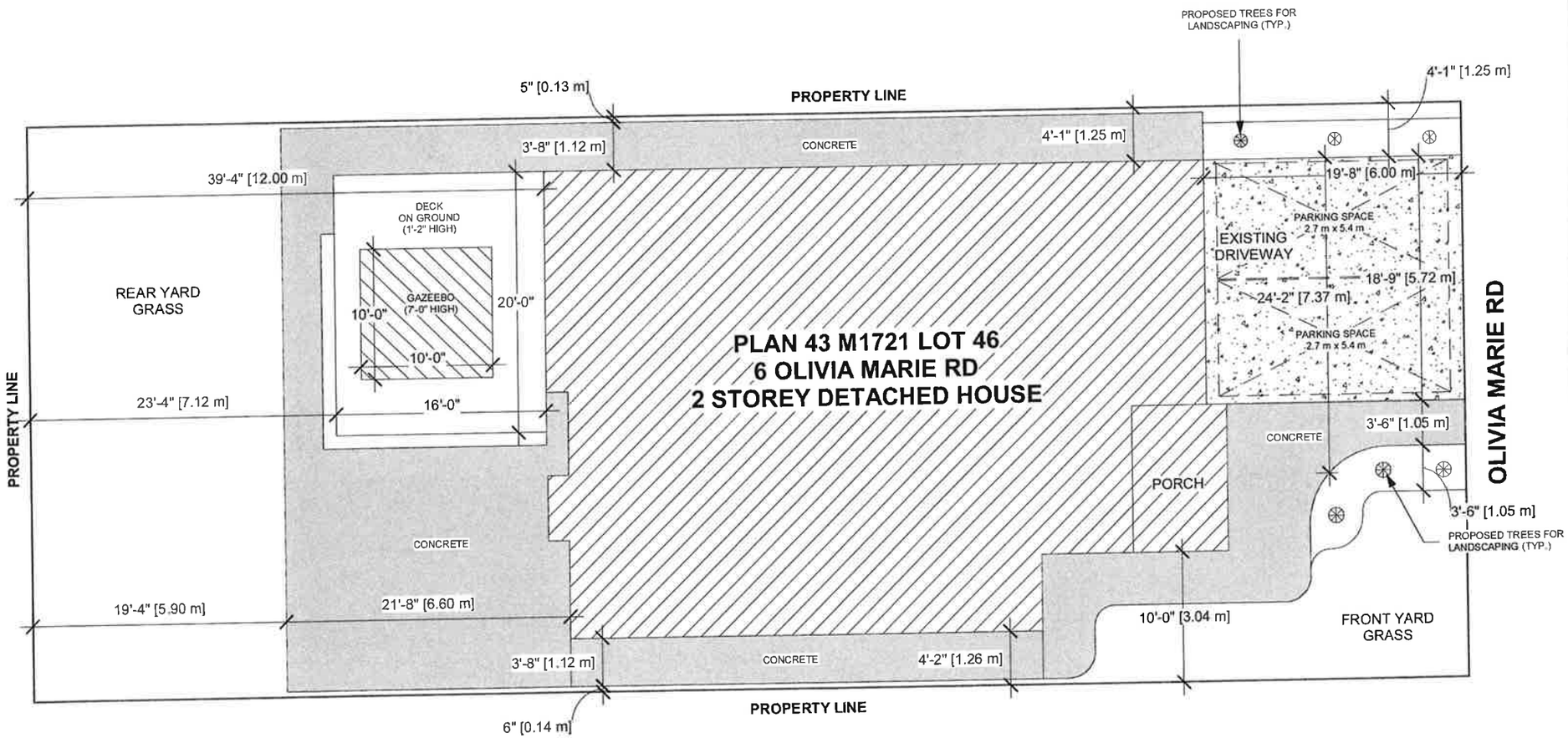
DATED at Brampton Ontario, this 24th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

## MINOR VARIANCE

**-TO PERMIT A DRIVEWAY WIDTH OF 7.37M, WHEREAS ZONING BY LAW ALLOWS MAXIMUM DRIVEWAY WIDTH OF 6.71M FOR THIS LOT.**




SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

| | | |
|---|---|---|
| 01 | ISSUED FOR PERMIT | SEP 02/22 |

ADDRESS:
6 OLIVIA MARIE RD,
BRAMPTON, ON

DRAWN BY: NK | CHECKED BY: JB

PROJECT NUMBER: 22R-26373


**NOBLE PRIME SOLUTIONS LTD**
2131WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800


DATE: SEP 02/22 | DWG No: A-1

SCALE: 1 : 100

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

November 23, 2022

To: Committee of Adjustment

RE: APPLICATION FOR MINOR VARIANCE INDERPREET SHOKAR, AMANDEEP SHOKAR, SHIKHA BEDI, NEHA JAIN A-2022-0290 – 6 OLIVIA MARIE ROAD

---

Please amend application A-2022-0290 to reflect the following:

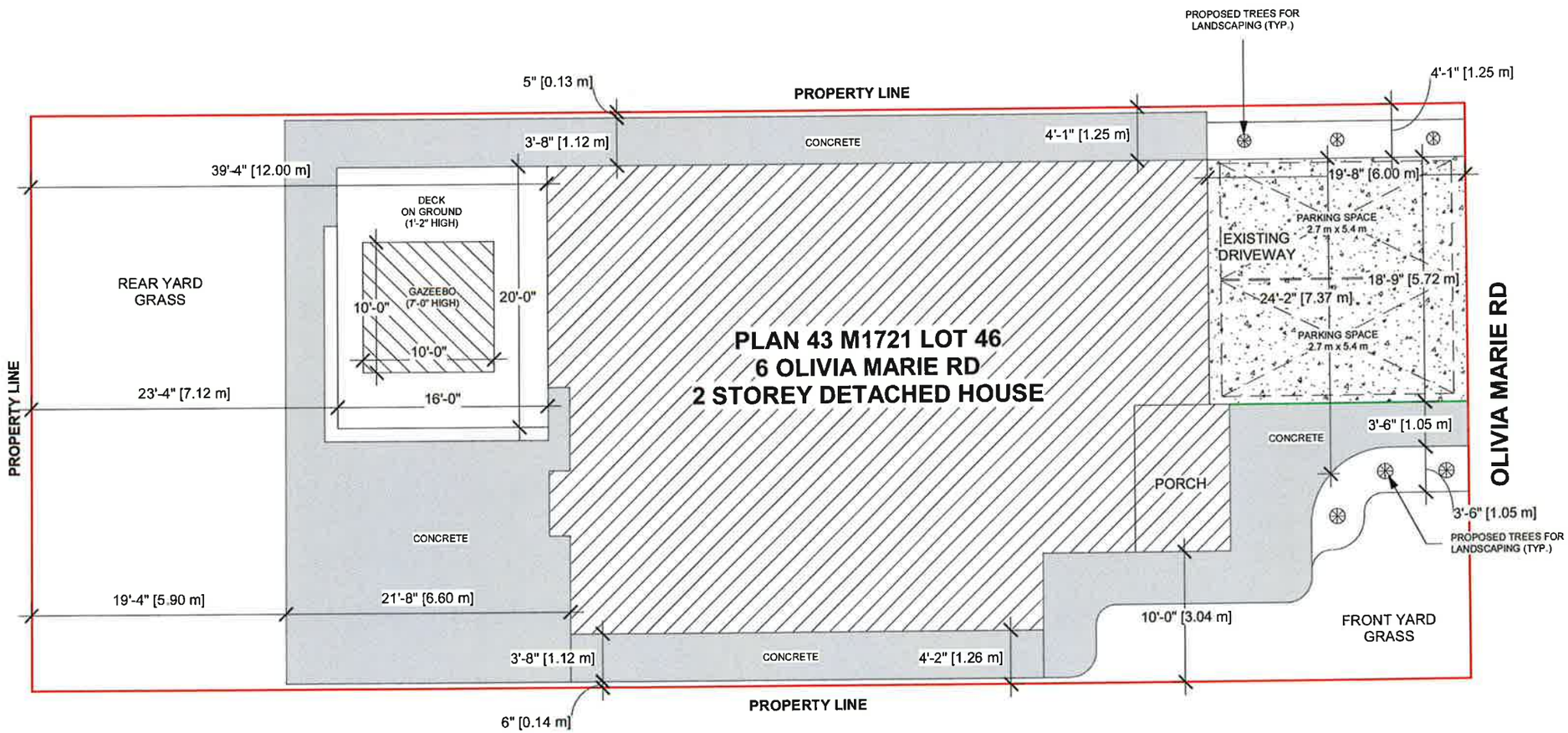
1. To permit an existing driveway width of 7.37m, whereas the by-law permits a maximum driveway width of 6.71m

Tanvir Rai

Applicant/Authorized Agent

## MINOR VARIANCE

**-TO PERMIT A DRIVEWAY WIDTH OF 7.37M, WHEREAS ZONING BY LAW ALLOWS MAXIMUM DRIVEWAY WIDTH OF 6.71M FOR THIS LOT.**




# SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

| | | |
|---|---|---|
| 01 | ISSUED FOR PERMIT | SEP 02/22 |

ADDRESS:
6 OLIVIA MARIE RD,
BRAMPTON, ON

DRAWN BY: NK | CHECKED BY: JB

PROJECT NUMBER: 22R-26373


**NOBLE PRIME SOLUTIONS LTD**
2131WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800


DATE: SEP 02/22

SCALE: 1 : 100

DWG No: A-1

**AMENDMENT LETTER**

September 20, 2022

To: Committee of Adjustment

**RE: APPLICATION FOR MINOR VARIANCE**
**INDERPREET SHOKAR, AMANDEEP SHOKAR, SHIKHA BEDI, NEHA JAIN**
**A-2022-0290 – 6 OLIVIA MARIE ROAD**

---

Please **amend** application **A-2022-0278** to reflect the following:

1. To an existing driveway width of 9.78 m, whereas the by-law permits a maximum driveway width of 6.71m

Ravkirat Sandhu
Applicant/Authorized Agent

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0290

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** INDERPREET SHOKAR, AMANDEEP SHOKAR, SHIKHA BEDI, NEHA JAIN
   **Address** 6 OLIVIA MARIE RD. BRAMPTON ON L6Y 0M6
   **Phone #** 647-286-4066 **Fax #**
   **Email** ISHOKAR1@GMAIL.COM

2. **Name of Agent** NOBLE PRIME SOLUTIONS LTD.
   **Address** UNIT #19, 2131 WILLIAMS PKWY, BRAMPTON L6S5Z4
   **Phone #** 437-886-1800 **Fax #**
   **Email** applications@nobleltd.ca

3. **Nature and extent of relief applied for (variances requested):**
   -TO PERMIT A DRIVEWAY WIDTH OF 8.47 m

4. **Why is it not possible to comply with the provisions of the by-law?**
   -ZONING BY LAW ALLOWS MAXIMUM DRIVEWAY WIDTH OF 6.71M FOR THIS LOT

5. **Legal Description of the subject land:**
   **Lot Number** 46
   **Plan Number/Concession Number** M1721
   **Municipal Address** 6 OLIVIA MARIE RD BRAMPTON ON L6Y 0M6

6. **Dimension of subject land (in metric units)**
   **Frontage** 13.72 m
   **Depth** 33.5 m
   **Area** 459.62 sqm

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE WITH THE AREA OF 362.32 sqm

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

TO PERMIT A DRIVEWAY WIDTH OF 8.95M

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | 6.00 m |
| **Rear yard setback** | 12.00 m |
| **Side yard setback** | 1.12 m |
| **Side yard setback** | 1.12 m |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 6.00 m |
| **Rear yard setback** | 12.00 m |
| **Side yard setback** | 1.12 m |
| **Side yard setback** | 1.12 m |

10. **Date of Acquisition of subject land:** 24-June-2009

11. **Existing uses of subject property:** RESIDENTIAL

12. **Proposed uses of subject property:** RESIDENTIAL

13. **Existing uses of abutting properties:** RESIDENTIAL

14. **Date of construction of all buildings & structures on subject land:** 2008

15. **Length of time the existing uses of the subject property have been continued:** 14 YEARS

16. (a) **What water supply is existing/proposed?**

- **Municipal** ☑
- **Well** ☐
- **Other (specify)** _____

(b) **What sewage disposal is/will be provided?**

- **Municipal** ☑
- **Septic** ☐
- **Other (specify)** _____

(c ) **What storm drainage system is existing/proposed?**

- **Sewers** ☑
- **Ditches** ☐
- **Swales** ☐
- **Other (specify)** _____

17. **Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?**

**Yes** ☐ **No** ☑

**If answer is yes, provide details:** **File #** _____ **Status** _____

18. **Has a pre-consultation application been filed?**

**Yes** ☐ **No** ☑

19. **Has the subject property ever been the subject of an application for minor variance?**

**Yes** ☐ **No** ☑ **Unknown** ☐

**If answer is yes, provide details:**

**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____
**File #** _____ **Decision** _____ **Relief** _____

Ravkirat Sandhu
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 6TH DAY OF SEPTEMBER, 2022.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, TANVIR RAI, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
CITY OF Brampton
IN THE Region OF
Peel THIS 6th DAY OF
September, 20 22

Jeanie Cecilia Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

_____ Zoning Officer

_____ Date

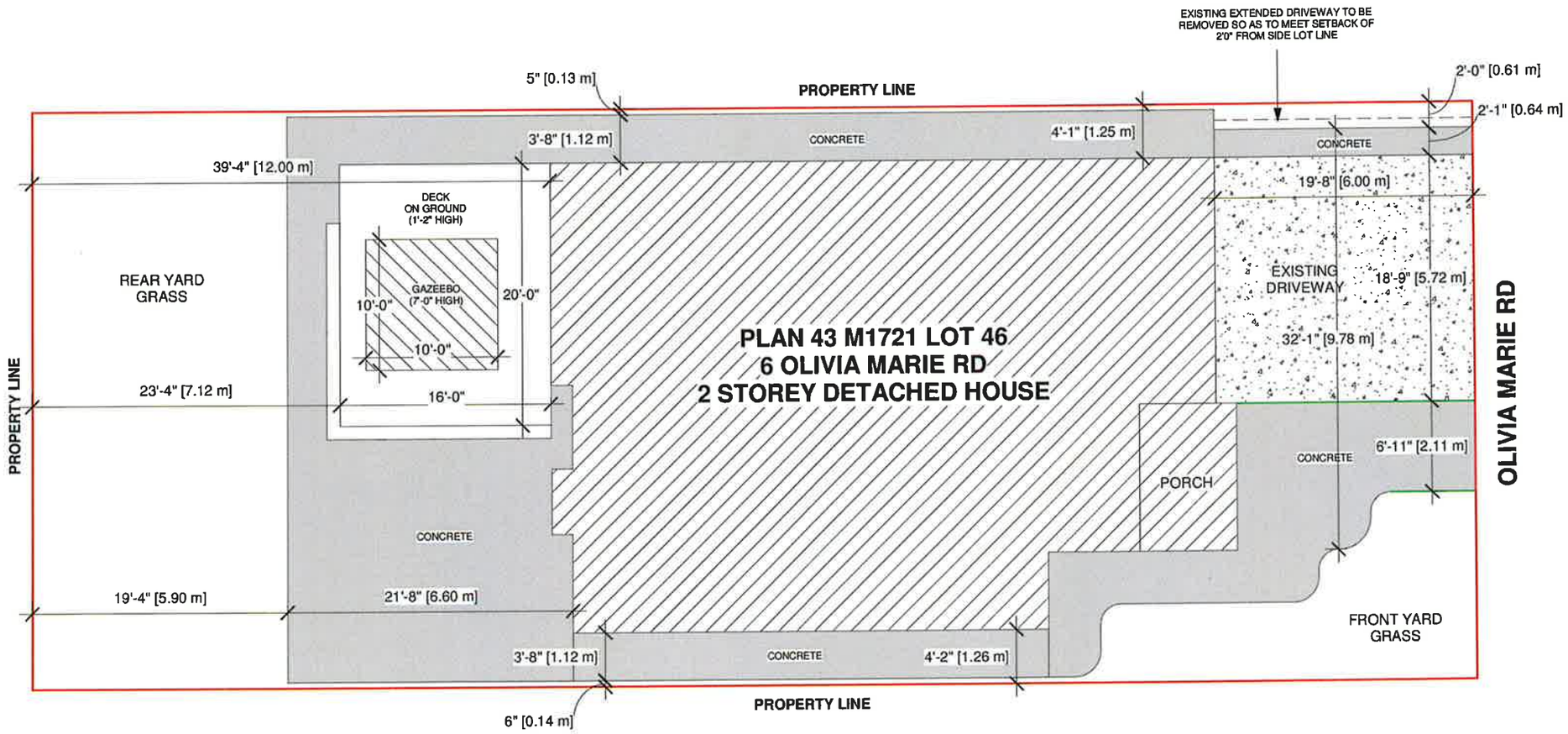
**DATE RECEIVED** September 6, 2022

**Date Application Deemed Complete by the Municipality** _____

Revised 2022/02/17

## MINOR VARIANCE

## -TO PERMIT A DRIVEWAY WIDTH OF 9.78M, WHEREAS ZONING BY LAW ALLOWS MAXIMUM DRIVEWAY WIDTH OF 6.71M FOR THIS LOT.




SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

| | | |
|---|---|---|
| 01 | ISSUED FOR PERMIT | SEP 02/22 |

ADDRESS:
6 OLIVIA MARIE RD,
BRAMPTON, ON

DRAWN BY: NK | CHECKED BY: JB

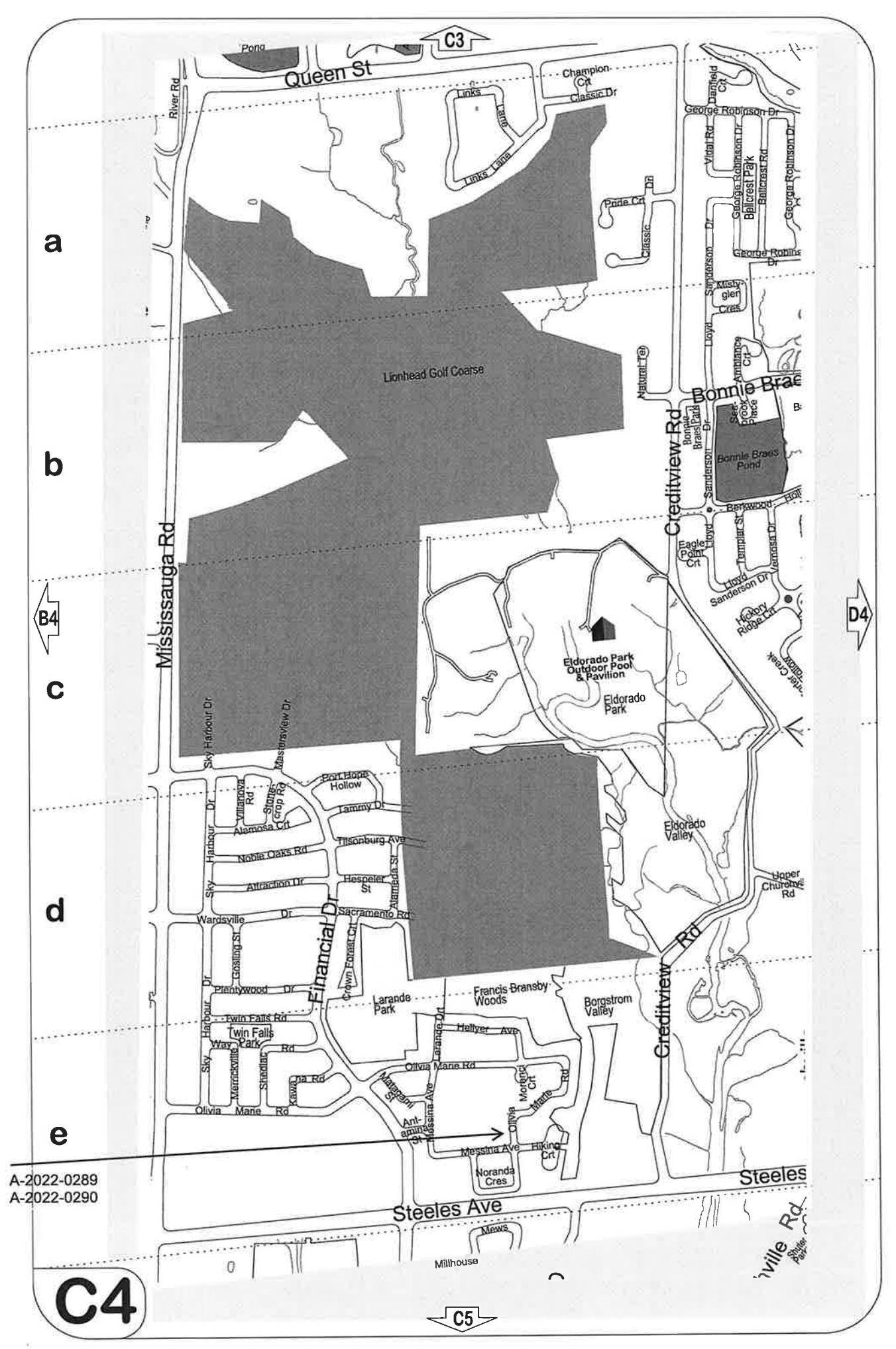
PROJECT NUMBER: 22R-26373


**NOBLE PRIME SOLUTIONS LTD**
2131WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800


DATE: SEP 02/22

SCALE: 1 : 100

DWG No: A-1


C3
Queen St
Pond
River Rd
Champion Crt
Classic Dr
Links Lane
George Robinson Dr
Vidal Rd
Danfield Crt
Ballcrest Park
Ballcrest Rd
Porte Crt
Classic Dr
Sanderson Dr
Mistyglen Cres
Lionhead Golf Coarse
Natural Ter
Ambiance Crt
Bonnie Brae
Bonnie Braes Park
Bonnie Braes Pond
Creditview Rd
Mississauga Rd
Barkwood
Templar St
Vanessa Dr
Eagle Point Crt
Lloyd Sanderson Dr
Hickory Ridge Crt
B4
D4
Eldorado Park Outdoor Pool & Pavilion
Eldorado Park
Eldorado Valley
Upper Churchill Rd
Sky Harbour Dr
Masterview Dr
Port Hope Hollow
Tammy Dr
Villanova Rd
Stonecrop Rd
Alamosa Crt
Tilsonburg Ave
Noble Oaks Rd
Hespeler St
Alameda St
Attraction Dr
Sacramento Rd
Wardsville Dr
Financial Dr
Crown Forest Cir
Gosling St
Plentywood Dr
Twin Falls Rd
Twin Falls Park
Merrickville Way
Shieldac Rd
Kawartha Rd
Olivia Marie Rd
Larande Park
Larande Dr
Heltyer Ave
Francis Bransby Woods
Borgstrom Valley
Creditview Rd
Matamani St
Messina Ave
Antaminas St
Olivia Marie Rd
Morenci Crt
Marie Rd
Hiking Crt
Noranda Cres
Steeles Ave
Millhouse
Mews
C5
A-2022-0289
A-2022-0290
C4

BRAMPTON
Flower City
brampton.ca

# Public Notice

## Committee of Adjustment

**APPLICATION # *A-2022-0319***
**WARD 5**

**DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an **amended** application for minor variance has been made by **13172589 CANADA INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 7, Concession 4 W.H.S municipally known as **9224 CREDITVIEW ROAD,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s) for construction of a new single detached dwelling in conjunction with the proposed severed lot under Consent Application B-2022-0013:

1. To permit a minimum lot width of 20.3 metres whereas the by-law requires a minimum lot width of 45.0 metres;

2. To permit a front yard depth of 4.50 metres whereas the by-law requires a minimum front yard depth of 12.0 metres;

3. To permit a side yard depth of 2.0 metres whereas the by-law requires a minimum side yard depth of 7.5 metres;

4. To permit a rear yard depth of 7.50 metres whereas the by-law requires a minimum rear yard depth of 15.0 metres;

5. To permit a minimum lot area of 0.07 hectares whereas the by-law requires a minimum lot area of 0.4 hectares.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: YES File Number: B-2022-0013

The Committee of Adjustment has appointed **TUESDAY, December 6, 2022 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton,** for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT**. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.

**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

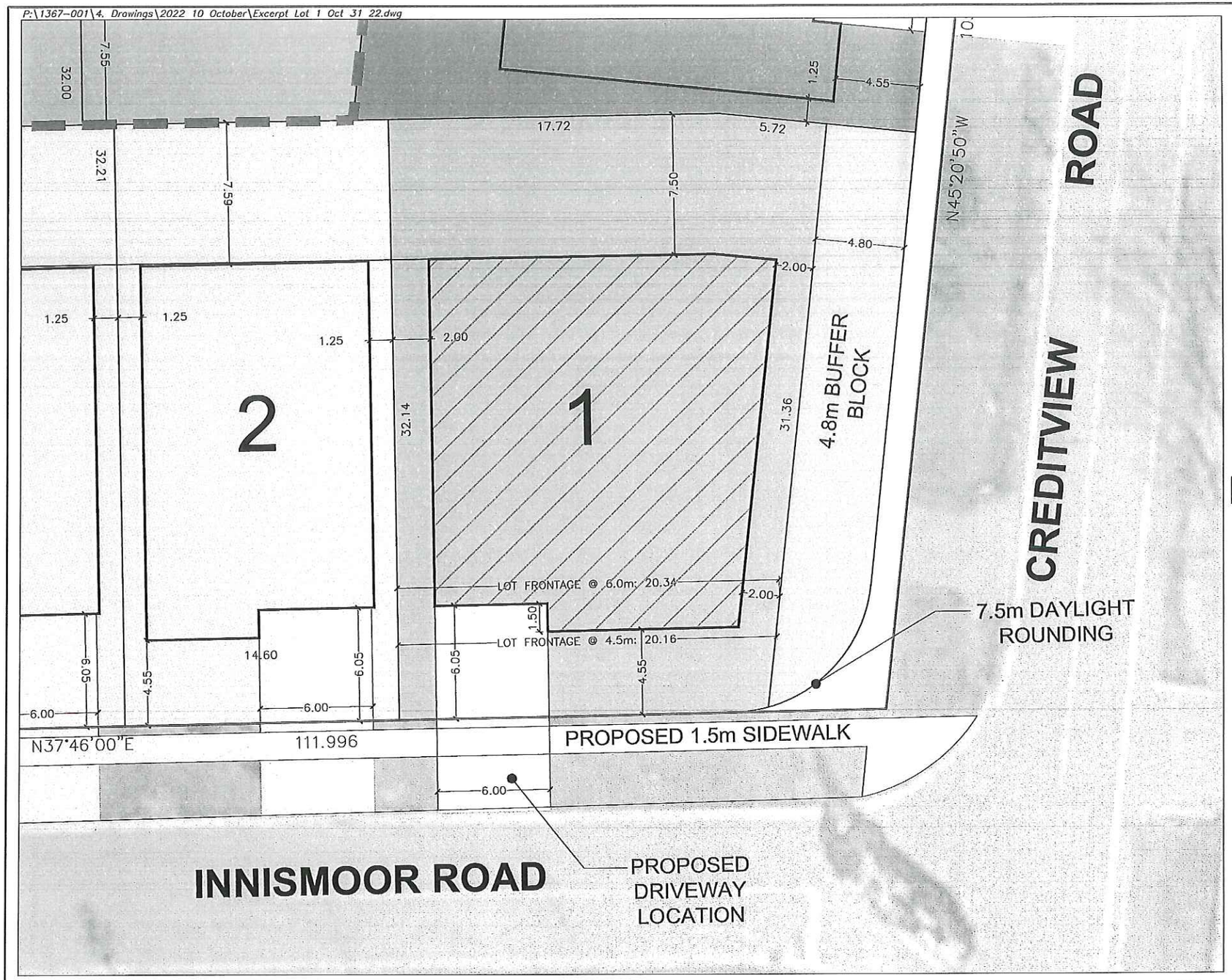
**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

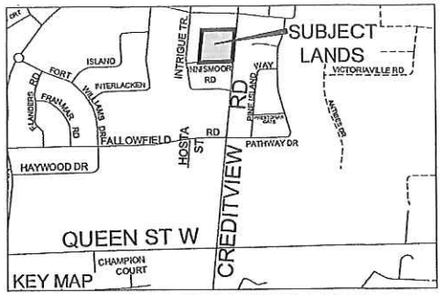
DATED at Brampton Ontario, this 17th Day of November, 2022

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

P:\1367-001\4. Drawings\2022 10 October\Excerpt Lot 1 Oct 31 22.dwg




**DEVELOPMENT CONCEPT PLAN**
**MR. TEJINDER SINGH**
**(EXCERPT - LOT 1)**

9224 & 9230 CREDITVIEW ROAD
PART OF LOT 7,
CONCESSION 4, W.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

AREA OF LOT 1 - 689.4m²

PROPOSED BUILDING ENVELOPE LOT 1

*PRELIMINARY DEVELOPMENT CONCEPT PLAN FOR DISCUSSION PURPOSES ONLY*

SCALE 1:200
OCTOBER 31, 2022

GSAI
Glen Schnarr & Associates Inc.

**Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures**
**How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **December 6, 2022** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, December 1, 2022.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:

1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, December 1, 2022.**

- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, December 1, 2022.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at: **https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx** or **http://video.isilive.ca/brampton/live.html .**

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

GSAI
Glen Schnarr & Associates Inc.

Partners:
**Glen Broll,** MCIP, RPP
**Colin Chung,** MCIP, RPP
**Jim Levac,** MCIP, RPP
**Jason Afonso,** MCIP, RPP
**Karen Bennett,** MCIP, RPP

*In Memoriam, Founding Partner:*
**Glen Schnarr**

**November 2, 2022** **GSAI File: 1367-001**

City of Brampton
Committee of Adjustment
2 Wellington Street
Brampton, ON
L5B 3C1

**Attention:** **Jeanie Myers**
Secretary-Treasurer, Committee of Adjustment

**Re:** **Consent Application B-2022-0013 and**
**Minor Variance Application A-2022-0319**
9224 Creditview Road
Part of Lot 7, Concession 4 WHS
13172589 Canada Inc. (c/o Tejinder Singh)
Related files: OZS-2022-001
City of Brampton, Regional Municipality of Peel

Glen Schnarr & Associates Inc. (GSAI) would like to formally submit this amendment to our previous Consent and Minor Variance applications to the Committee of Adjustment with regard to the lands municipally addressed as 9224 Creditview Road (hereafter the 'Subject Property') on behalf of our client, 13172589 Canada Inc. (c/o Tejinder Singh). Our applications have been deferred by the Committee of Adjustment during the October 25th, 2022 hearing, to the December 6th, 2022 hearing.

Our original Consent sketch for application B-2022-0013 has been amended to remove the buffer block located at the southeast corner of the Subject Property from the Consent Sketch. This decision was concluded based on a conversation with Francois Hemon-Morneau from Development Services regarding concerns related to the daylight triangle, road widening, and noise barriers within the proposed Buffer Block. We will address these issues through the Draft Plan of Subdivision and Zoning By-law Amendment Application currently being processed by the City under the City File Number OZS-2022-0013.

Amendments to our Minor Variance application (A-2022-0319), also deferred during the October 25th hearing, are required due to changes in the corresponding consent application noted above.

The minor variances sought for the severed lot are now as follows:

1. (REVISED) To permit a minimum lot width of 20.3 metres (measured at 6 metres back from front lot line), whereas the by-law requires a minimum lot width of 45.0 metres;

2. (REVISED) To permit a minimum front yard depth of 4.50 metres, whereas the by-law requires a minimum front yard depth of 12.0 metres;

3. (UNCHANGED) To permit a minimum side yard depth of 2.0 metres, whereas the by-law requires a minimum side yard depth of 7.5 metres;

4. (REVISED) To permit a minimum rear yard depth of 7.5 metres whereas the by-law requires a minimum rear yard depth of 15.0 metres. Please note this variance has been revised to be consistent with the proposed zoning on the balance of the Draft Plan; and,

5. (REVISED) To permit a minimum lot area of 0.07 hectares whereas the by-law requires a minimum lot area of 0.40 hectares.

Please find attached the following documents in support of our amended applications:

- Revised Consent application forms (pages 2 and 3 revised) dated October 26, 2022;
- Revised Consent Sketch prepared by Glen Schnarr & Associates Inc., dated October 31, 2022;
- Revised Minor Variance application forms (pages 2 and 3 revised) dated November 1, 2022;
- Revised Lot 1 Citing Plan prepared by Glen Schnarr & Associates Inc., dated October 31, 2022; and,
- Revised Development Concept Plan prepared by Glen Schnarr & Associates Inc., dated November 1, 2022.

We trust that this letter is sufficient for amending our applications and to be placed on the December 6th 2022 hearing. Please do not hesitate to contact the undersigned at 416-459-2424 or colinc@gsai.ca if you have any questions.

Yours very truly,

**GLEN SCHNARR & ASSOCIATES INC.**

**Colin Chung** MCIP, RPP
**Managing Partner**

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0319
AMENDED Page 1

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** 13172589 Canada Inc. (c/o Tejinder Singh)
**Address** 9224 Creditview Rd. Brampton, Ontario, L6X 0W9

**Phone #** _____ **Fax #** _____
**Email** tejinder@rogers.com

2. **Name of Agent** Glen Schnarr & Associates Inc. (c/o Colin Chung)
**Address** 700-10 Kingsbridge Garden Circle, Mississauga, ON L5R 3K6

**Phone #** 416-459-2424 **Fax #** _____
**Email** colinc@gsai.ca

3. **Nature and extent of relief applied for (variances requested):**

Minimum Lot width of 20.3 metres is proposed at 6 metres from the front lot line (45 metres is required)
Minimum front yard depth of 4.50 metres is proposed (12 metres is required)
Minimum side yard depth of 2.00 metres is proposed (7.5 metres is required)
Minimum rear yard depth of 7.50 metres is proposed (15 meters is required)
Minimum Lot Area of 0.07 Hectares is proposed (0.4 hectares is required)

4. **Why is it not possible to comply with the provisions of the by-law?**

The severed lot triggers zoning variance for the Agricultural zone since the size of the severed lot is not typical of agricultural farm properties.

5. **Legal Description of the subject land:**
**Lot Number** 7
**Plan Number/Concession Number** 43R-30530 Concession No. 4
**Municipal Address** 9224 Creditview Road

6. **Dimension of subject land (in metric units)**
**Frontage** 20.34 metres (at 6 metres back)
**Depth** 31.36 metres- 32.14 metres
**Area** 0.07 ha (0.17 ac)

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

AMENDED Page 2.



8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

There is an existing one-storey residential detached dwelling which is approximately 2100 square feet on the Lands to be retained which will not be demolished at this time.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

one (1) two-storey single detached dwelling approximately 18.51 metres wide, by 18.30 meters in length. Please see the attached Lot 1 citing plan for further details.

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | N/A |
| **Rear yard setback** | N/A |
| **Side yard setback** | N/A |
| **Side yard setback** | N/A |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 4.50 metres |
| **Rear yard setback** | 7.50 metres |
| **Side yard setback** | 2.00 metres |
| **Side yard setback** | 2.00 metres |

10. **Date of Acquisition of subject land:** August 4, 2021

11. **Existing uses of subject property:** residential

12. **Proposed uses of subject property:** residential

13. **Existing uses of abutting properties:** residential

14. **Date of construction of all buildings & structures on subject land:** Unknown

15. **Length of time the existing uses of the subject property have been continued:** Unknown

16. (a) **What water supply is existing/proposed?**

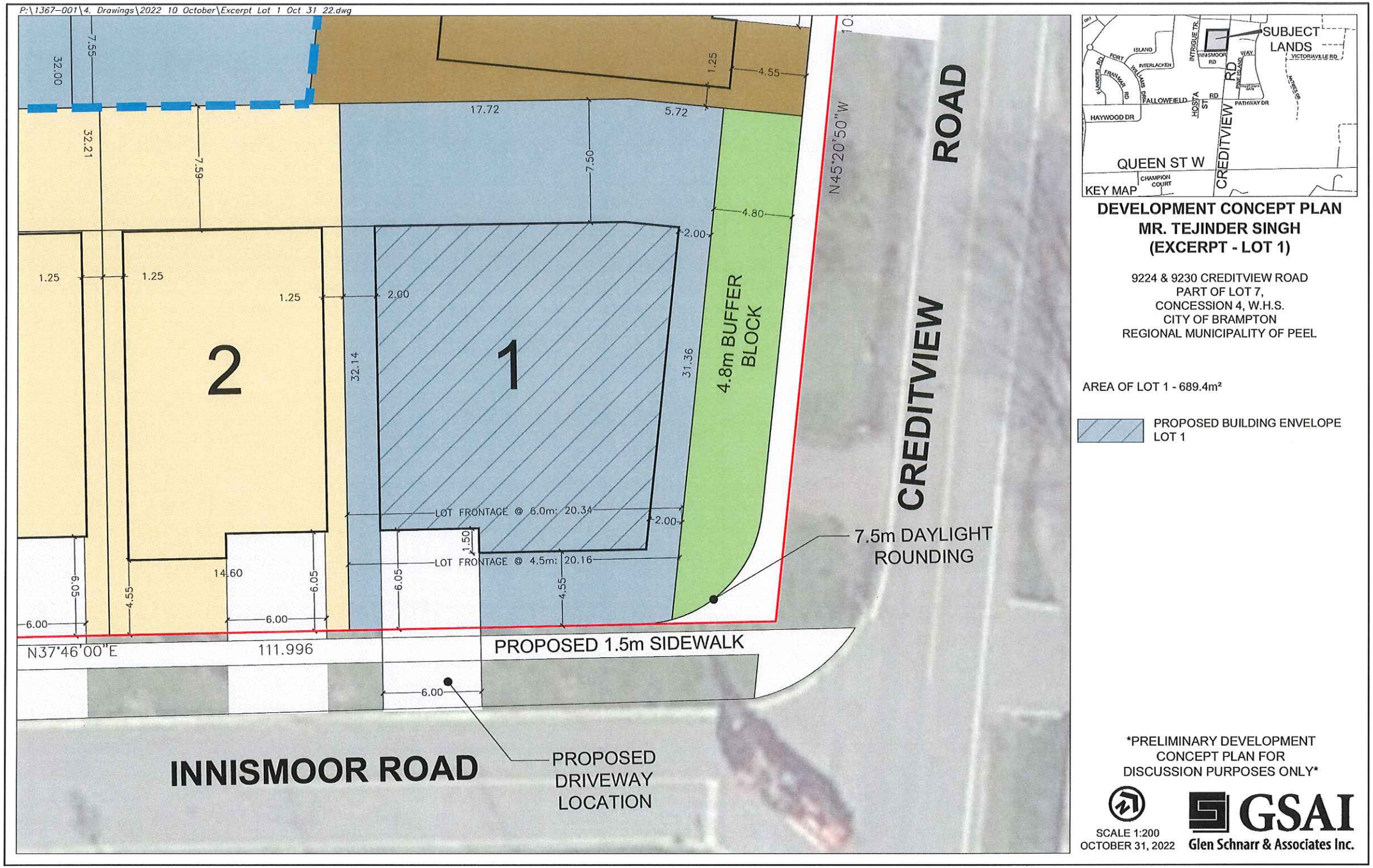
- **Municipal** ☑
- **Well** ☐
- **Other (specify)** _____

(b) **What sewage disposal is/will be provided?**

- **Municipal** ☑
- **Septic** ☐
- **Other (specify)** _____

(c ) **What storm drainage system is existing/proposed?**

- **Sewers** ☑
- **Ditches** ☐
- **Swales** ☐
- **Other (specify)** _____




## DEVELOPMENT CONCEPT PLAN
## MR. TEJINDER SINGH
## (EXCERPT - LOT 1)

9224 & 9230 CREDITVIEW ROAD
PART OF LOT 7,
CONCESSION 4, W.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

AREA OF LOT 1 - 689.4m²

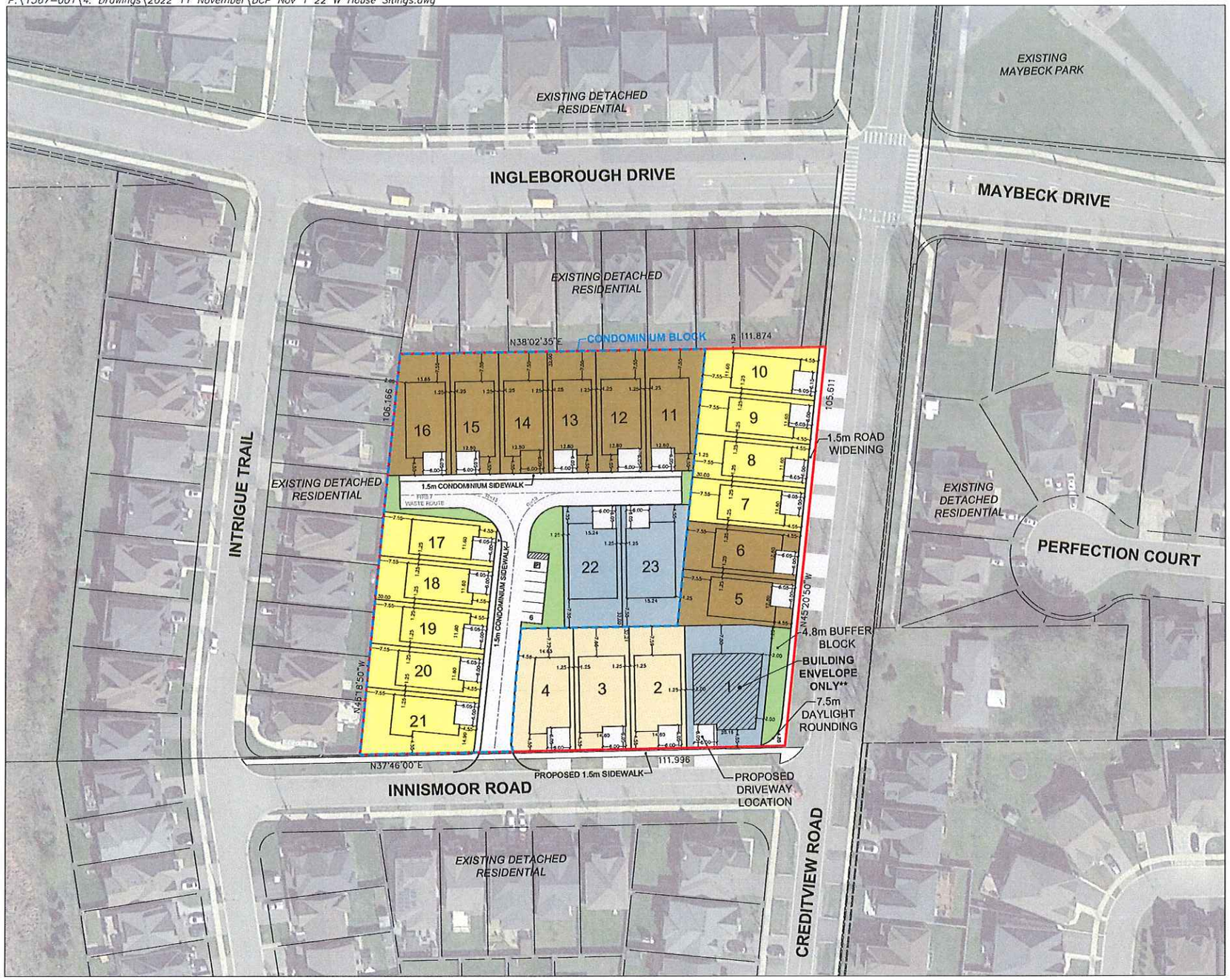
PROPOSED BUILDING ENVELOPE LOT 1

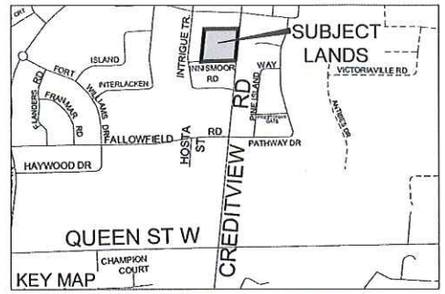
*PRELIMINARY DEVELOPMENT CONCEPT PLAN FOR DISCUSSION PURPOSES ONLY*

SCALE 1:200
OCTOBER 31, 2022

GSAI
Glen Schnarr & Associates Inc.

P:\1367-001\4. Drawings\2022 11 November\DCP Nov 1 22 W House Sitings.dwg




## DEVELOPMENT CONCEPT PLAN
## MR. TEJINDER SINGH

9224 & 9230 CREDITVIEW ROAD
PART OF LOT 7,
CONCESSION 4, W.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

**DEVELOPMENT STATISTICS**

| | |
|---|---|
| TOTAL AREA: | 1.18ha (2.92ac) |
| CONDOMINIUM AREA: | 0.71ha (1.75ac) |
| FREEHOLD RESIDENTIAL AREA: | 0.43ha (1.06ac) |
| ROAD WIDENING AREA: | 0.02ha (0.05ac) |
| 4.8m BUFFER AREA: | 0.02ha (0.05ac) |
| RESIDENTIAL DENSITY: | 20 upnha (8.1 upnac) |

**CONDOMINIUM VISITOR PARKING STATISTICS**

| | |
|---|---|
| VISITOR PARKING REQUIRED: | 4 SPACES |
| VISITOR PARKING PROVIDED: | 6 SPACES |
| ACCESSIBLE PARKING REQUIRED: | 1 TYPE 'A' SPACE |
| ACCESSIBLE PARKING PROVIDED: | 1 TYPE 'A' SPACE |

**FREEHOLD UNIT BREAKDOWN**

| | |
|---|---|
| 11.60m (38') DETACHED: | 4 UNITS |
| 12.80m (42') DETACHED: | 2 UNITS |
| 14.60m (48') DETACHED: | 3 UNITS |
| 15.24m (50') DETACHED: | 1 UNIT |
| **TOTAL UNITS:** | **10 UNITS** |

**CONDOMINIUM UNIT BREAKDOWN**

| | |
|---|---|
| 11.60m (38') DETACHED: | 5 UNITS |
| 12.80m (42') DETACHED: | 6 UNITS |
| 15.24m (50') DETACHED: | 2 UNITS |
| **TOTAL UNITS:** | **13 UNITS** |

**TOTAL UNIT BREAKDOWN**

| | |
|---|---|
| **11.60m (38') DETACHED:** | **9 UNITS** |
| **12.80m (42') DETACHED:** | **8 UNITS** |
| **14.60m (48') DETACHED:** | **3 UNITS** |
| **15.24m (50') DETACHED:** | **3 UNITS** |
| **TOTAL UNITS:** | **23 UNITS** |

***LOT 1 SHOWS A BUILDING ENVELOPE ONLY, FINAL HOUSE SITING TO BE DETERMINED***

*PRELIMINARY DEVELOPMENT CONCEPT PLAN FOR DISCUSSION PURPOSES ONLY*

SCALE 1:1000
NOVEMBER 1, 2022

GSAI
Glen Schnarr & Associates Inc.

Flower City

brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

**FILE NUMBER:** A-2022-0319

*The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.*

# APPLICATION
# Minor Variance or Special Permission
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004.**

1. **Name of Owner(s)** 13172589 Canada Inc. (c/o Tejinder Singh)
   **Address** 9224 Creditview Rd, Brampton, Ontario, [redacted] L6X 0E3
   **Phone #** [redacted] **Fax #**
   **Email** tejinder@rogers.com

2. **Name of Agent** Glen Schnarr & Associates Inc. (c/o Colin Chung)
   **Address** 700-10 Kingsbridge Garden Circle, Mississauga, ON L5R 3K6
   **Phone #** 416-459-2424 **Fax #**
   **Email** colinc@gsai.ca

3. **Nature and extent of relief applied for (variances requested):**

Minimum Lot Width of 20.16 metres is proposed ( 45 metres is required)
Minimum front yard depth of 4.55 metres is proposed (12 metres is required)
Minimum side yard depth of 2.00 metres is proposed (7.5 metres is required)
Minimum rear yard depth of 7.71 metres is proposed (15 meters is required)
Minimum Lot Area of 0.09 Hectares is proposed (0.4 hectares is required)

4. **Why is it not possible to comply with the provisions of the by-law?**

The severed lot triggers zoning variance for the Agricultural zone since the size of the severed lot is not typical of agricultural farm properties.

5. **Legal Description of the subject land:**
   **Lot Number** 7
   **Plan Number/Concession Number** 43R-30530 Concession No. 4
   **Municipal Address** 9224 Creditview Road

6. **Dimension of subject land (in metric units)**
   **Frontage** 20.16 metres
   **Depth** 3214 metres
   **Area** 0.07 ha (0.17 ac)

7. **Access to the subject land is by:**

| | | | |
|---|---|---|---|
| **Provincial Highway** | ☐ | **Seasonal Road** | ☐ |
| **Municipal Road Maintained All Year** | ☑ | **Other Public Road** | ☐ |
| **Private Right-of-Way** | ☐ | **Water** | ☐ |

8. **Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)**

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

There is an existing one-storey residential detached dwelling with approximately 2100 square feet on the Lands to be retained which will not be demolished at this time.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

one (1) ~~[redacted]~~ one-storey single detached dwelling approximately 14.68 metres wide, aby 18.30 meters in length. Please see the attached Lot 1 citing plan for further details.
GROUND FLOOR AREA OF 2100 sq. ft.

9. **Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)**

**EXISTING**

| | |
|---|---|
| **Front yard setback** | |
| **Rear yard setback** | |
| **Side yard setback** | |
| **Side yard setback** | |

**PROPOSED**

| | |
|---|---|
| **Front yard setback** | 4.55 metres |
| **Rear yard setback** | 7.71 metres |
| **Side yard setback** | 2.00 metres |
| **Side yard setback** | 4.55 metres |

10. **Date of Acquisition of subject land:** August 4, 2021

11. **Existing uses of subject property:** residential

12. **Proposed uses of subject property:** residential

13. **Existing uses of abutting properties:** residential

14. **Date of construction of all buildings & structures on subject land:** Unknown

15. **Length of time the existing uses of the subject property have been continued:** Unknown

16. (a) **What water supply is existing/proposed?**

**Municipal** ☑ **Other (specify)** _____
**Well** ☐

(b) **What sewage disposal is/will be provided?**

**Municipal** ☑ **Other (specify)** _____
**Septic** ☐

(c ) **What storm drainage system is existing/proposed?**

**Sewers** ☑
**Ditches** ☐ **Other (specify)** _____
**Swales** ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☑ No ☐ CONSENT B-2022-6013 - CONCURRENT

If answer is yes, provide details: File # OZS-2022-2013 Status In Review

18. Has a pre-consultation application been filed?

Yes ☐ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☑ Unknown ☐

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

_____
Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ OF _____

THIS _____ DAY OF _____, 20____.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Colin Chung, OF THE City OF Burlington

IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Mississauga

IN THE Region OF

Peel THIS 26th DAY OF

September, 2022

A Commissioner etc.

Laura Kim Amorim, a Commissioner, etc.
Province of Ontario, for
Glen Schnarr & Associates Inc.
Expires March 3, 2023.

_____
Signature of Applicant or Authorized Agent

Submit by Email

**FOR OFFICE USE ONLY**

**Present Official Plan Designation:** _____

**Present Zoning By-law Classification:** Agricultural

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

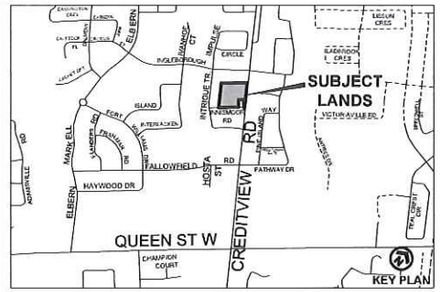
_____ Sept 27.22
Zoning Officer Date

DATE RECEIVED September 29, 2022

Date Application Deemed Complete by the Municipality _____

Revised 2022/02/17

P:\1367-001\4. Drawings\2022 09 September\DP Sept 27 22.dwg




# DRAFT PLAN OF SUBDIVISION

**9224 & 9230 CREDITVIEW ROAD**
**13172589 CANADA INC.**
***FILE # 21T-***

*PART OF LOT 7, CONCESSION 4 W.H.S.,*
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

**OWNERS CERTIFICATE**

I HEREBY AUTHORIZE GLEN SCHNARR & ASSOCIATES INC. TO PREPARE AND SUBMIT THIS DRAFT PLAN OF SUBDIVISION TO THE CITY OF BRAMPTON FOR APPROVAL.

SIGNED _____ DATE:
TEJINDER SINGH, ASO
13172589 CANADA INC.

**SURVEYORS CERTIFICATE**

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AS SHOWN ON THIS PLAN AND THEIR RELATIONSHIP TO ADJACENT LANDS ARE CORRECTLY AND ACCURATELY SHOWN.

SIGNED _____ DATE:
JEFFREY E. BUISMAN, OLS
VAN HARTEN SURVEYING INC.
660 RIDDLE ROAD
ORANGEVILLE ON. L9W 5G5
PHONE: (519) 940-4110
WEB www.vanharten.com

**ADDITIONAL INFORMATION**

(UNDER SECTION 51(17) OF THE PLANNING ACT) INFORMATION REQUIRED BY CLAUSES A,B,C,D,E,F,G, J & L ARE SHOWN ON THE DRAFT AND KEY PLANS.

H) MUNICIPAL AND PIPED WATER TO BE PROVIDED
I) SANDY LOAM AND CLAY LOAM
K) SANITARY AND STORM SEWERS TO BE PROVIDED

**LAND USE SCHEDULE**

| LAND USE | LOTS / BLOCKS | AREA (ha) | AREA (ac) | UNITS |
|---|---|---|---|---|
| SINGLE DETACHED - 11.60m (38') | 7-10 | 0.14 | 0.36 | 4 |
| SINGLE DETACHED - 12.80m (42') | 5,6 | 0.08 | 0.20 | 2 |
| SINGLE DETACHED - 14.60m (48') | 1-3 | 0.14 | 0.36 | 3 |
| SINGLE DETACHED - 15.24m (50') | 4 | 0.07 | 0.17 | 1 |
| CONDOMINIUM DETACHED AND SEMI-DETACHED | 11 | 0.71 | 1.75 | 13 |
| BUFFER BLOCK | 12 | 0.01 | 0.02 | |
| ROAD WIDENING | 13 | 0.02 | 0.05 | |
| TOTAL | 13 | 1.18 | 2.91 | 23 |

**NOTES**

- EXISTING STRUCTURES TO BE REMOVED

Scale 1:400
(24 x 36)
SEPTEMBER 27, 2022

GSAI
Glen Schnarr & Associates Inc.

C2
Bovaird Dr
James Potter Rd
Mount Pleasant Village Community Centre & Library
Andrew Mccandless Park
Andrew McCandless Pond
James Potter P.S.
Damatt Park
Dametta Pond
Creditview Rd
Valleyway Dr
Andrew Mccandless Valley
Laidlaw Park
Huttonville Cemetery
Canary Close
Williams Pkwy
Wolf Country Pond
Lorenville P.S.
Lorenville Park
Samuel Connor Pond
Wolf Country Valley
Emerick Pond
Bear Run Rd
Deseronto St
Junetown Cir
Ingleborough P.S.
Maxwell Lois Rice Park
David Beagle Pond
Intrigue Pond
Haywood Pond
Wolf Country Valley South
Luongo Park
Arthur Warner Pond
Abraham Block Pond
Queen St
Champion Cir
Classic Dr
Mississauga Rd
Creditview Rd
B3
D3
C4
C3
a
b
c
d
e
B-2022-0013
A-2022-0319