



Agenda

Brampton Heritage Board

The Corporation of the City of Brampton

Date: Tuesday, January 24, 2023
Time: 7:00 p.m.
Location: Hybrid Meeting - Virtual Option & In-Person in Council Chambers – 4th Floor – City Hall
Members: Peter Dymond (Co-Chair)
Douglas McLeod (Co-Chair)
Stephen Collie
Nick Craniotis
Roy de Lima
Kathryn Fowlston
Palvinder Gill
Leroy Onuoha
Daniel Rollings
Keba Tamara Thomas
Paul Willoughby
Regional Councillor P. Vicente - Wards 1 and 5

For inquiries about this agenda, or to make arrangements for accessibility accommodations for persons attending (some advance notice may be required), please contact: Chandra Urquhart, Legislative Coordinator,
Telephone 905.874.2106, TTY 905.874.2130 cityclerksoffice@brampton.ca

Note: Meeting information is also available in alternate formats upon request.

1. Call to Order
2. Approval of Agenda
3. Declarations of Interest under the Municipal Conflict of Interest Act
4. Previous Minutes
 - 4.1 Minutes - Brampton Heritage Board - December 13, 2022

The minutes are pending consideration by Planning and Development Committee on January 23, 2023, and approval by Council on January 25, 2023. The minutes are provided for the Board's information.
5. Consent

No items listed under Consent
6. Presentations\Delegations
7. Current Heritage Issues
8. Sub-Committees
9. Designation Program
10. Heritage Impact Assessment (HIA)
 - 10.1 Report from Merissa Lompart, Assistant Heritage Planner, re: Heritage Impact Assessment and Heritage Conservation Plan for 69 Elliott Street, Memorial Arena – Ward 3

Recommendation
 - 10.2 Report by Harsh Padhya, Heritage Planner, re: Heritage Impact Assessment – 8520 Creditview Road (Eldorado Park) – Ward 4 (File H.EX. 8520 Creditview Road).

Recommendation

11. Correspondence

12. Other/New Business

- 12.1 Report by Merissa Lompart, Assistant Heritage Planner, re: Removal of Non-Designated Properties from the City of Brampton's Municipal Register of Cultural Heritage Resources

Recommendation

- 12.2 Report by Merissa Lompart, Assistant Heritage Planner, re: Heritage Conservation Plan - 10431 The Gore Road – Ward 10

Recommendation

- 12.3 Update by City Clerk's Office, re: Resignation of Basavaraj Toranagal, Member

13. Referred/Deferred Items

14. Information Items

- 14.1 Report by Harsh Padhya, Heritage Planner, re: Property Standards for Vacant Heritage Properties

Recommendation

15. Question Period

16. Public Question Period

15 Minute Limit (regarding any decision made at this meeting)

17. Closed Session

18. Adjournment

Next Meeting: Tuesday, February 21, 2023 at 7:00 p.m.



Minutes

Brampton Heritage Board

The Corporation of the City of Brampton

Tuesday, December 13, 2022

Members Present: Peter Dymond (Co-Chair)
Douglas McLeod (Co-Chair)
Stephen Collie
Kathryn Fowlston
Paul Willoughby
Daniel Rollings
Roy de Lima
Keba Tamara Thomas
Leroy Onuoha
Regional Councillor P. Vicente - Wards 1 and 5

Members Absent: Palvinder Gill
Janet Millington
Basavaraj Toranagal
Ken Wilde
Nick Craniotis

Staff Present: Charlton Carscallen, Principal Planner/Supervisor
Anastasia Abrashevich, Assistant Heritage Planner
Harsh Padhya, Heritage Planner
Chandra Urquhart, Legislative Coordinator

1. Call to Order

The meeting was called to order at 7:03 p.m. and adjourned at 8:21 p.m.

2. Approval of Agenda

Board discussion took place with respect to proposed amendments to the agenda.

The following motion was considered:

HB068-2022

That the agenda for the Brampton Heritage Board meeting of December 13, 2022 be approved, as amended as follows:

To defer to a future meeting:

13.1 - Report by Shelby Swinfield, Heritage Planner, re: Cultural Heritage Evaluation Report – Creation of Standalone Terms of Reference

13.3 - Discussion re: Re-establishment of Research Committee

To withdraw:

13.4 - Discussion at the request of Ken Wilde, Member, re: 30 McLaughlin Road

Carried

3. Declarations of Interest under the Municipal Conflict of Interest Act

Nil

4. Previous Minutes

4.1 Minutes - Brampton Heritage Board - September 20, 2022

The minutes were considered by Planning and Development Committee on September 26, 2022, and approved by Council on September 26, 2022. The minutes were provided for the Board's information.

5. Consent

Nil

6. Presentations\Delegations

6.1 Presentation by Charlton Carscallen, Principal Planner/Supervisor, Planning, Building and Growth Management, re: Changes to Ontario Heritage Act resulting from the implementation of the More Homes Built Faster Act (Bill 23)

Charlton Carscallen, Principal Planner/Supervisor, provided an overview of the Changes to the Ontario Heritage Act which resulted from the implementation of the More Homes Built Faster Act (Bill 23). He highlighted the key changes proposed to the Act on the heritage designation process and its impact on the following:

- Inclusion of a property on the Heritage Register as a designated property

- Inclusion of a property on the Heritage Register as a listed property
- Evaluation of Heritage Conservation Districts
- Availability of information on a publicly-accessible website
- Prescribed timeline for the removal of non-designated properties from the municipal register
- Criteria to determine the cultural value of interest of Heritage Conservation Districts (HCD)
- Regulations to the process to amend or repeal existing HCD designation plans and by-laws

Mr. Carscallen advised that the link to the government website for Bill 23 will be forwarded to the Board.

Item 14.2 was brought forward and dealt with at this time.

The following motion was considered:

HB069-2022

1. That the presentation from Charlton Carscallen, Principal Planner/Supervisor, Planning, Building and Growth Management, to the Brampton Heritage Board meeting of December 13, 2022, re: **Changes to Ontario Heritage Act resulting from the Implementation of the More Homes Built Faster Act (Bill 23)** be received;
2. That the report by Charlton Carscallen, Principal Planner/Supervisor, Planning, Building and Growth Management, dated December 6, 2022, to the Brampton Heritage Board meeting of December 13, 2022, re: **Changes to Ontario Heritage Act resulting from the implementation of the More Homes Built Faster Act (Bill 23)** be received; and,
3. That staff be directed by Council to implement the changes to the Heritage Act and provide a report on the outcome to the Brampton Heritage Board at a later date.

Carried

- 6.2 Delegation by Michael Gagnon and Marc De Nardis, Gagnon Walker Domes Ltd., Mark Driedger and Jason Truelove, ATA Architects re: 22, 24, 26, 28 and 32 John Street – Heritage Impact Assessment - Ward 3 (File H.EX.)

Michael Gagnon, Gagnon Walker Domes, expressed support for the staff recommendations and noted that ATA Architects were present to respond to questions.

Item 9.1 was brought forward and dealt with at this time.

Harsh Padhya, Heritage Planner, provided an overview of the report noting that the subject properties were evaluated for their cultural value or interest and it was determined that they were not worthy of designation under the Ontario Regulation Heritage Act. A proposal has been submitted for development of a new 39-storey building with 353-unit residential apartment on the site.

In response to questions, the delegation and staff provided clarification with respect to the following;

- The podium for the new development referenced in the staff report
- Traffic mitigation measures proposed for John Street to accommodate increased traffic
- Configuration of the properties and impact on Queen Street
- Details on controls that will be required to maintain the heritage appearance and connection to the neighbourhood

The following motion was considered:

HB070-2022

1. That the delegation by Michael Gagnon and Marc De Nardis, Gagnon Walker Domes Ltd., Mark Driedger and Jason Truelove, ATA Architects, re: **22, 24, 26, 28 and 32 John Street – Heritage Impact Assessment - Ward 3 (File H.EX.)** to the Brampton Heritage Board meeting of December 13, 2022 be received; and
2. That the report by Harsh Padhya, Heritage Planner, re: **Heritage Impact Assessment of the properties at 22, 24, 26, 28 and 32 John Street**, dated December 6, 2022, prepared by ATA Architects Inc., and attached as Appendix A to the report (“HIA”) to the Brampton Heritage Board meeting of December 13, 2022 be received.

Carried

7. Sub-Committees

Nil

8. Designation Program

Nil

9. Heritage Impact Assessment (HIA)

- 9.1 Report by Harsh Padhya, Heritage Planner, re: 22, 24, 26, 28 and 32 John Street – Heritage Impact Assessment - Ward 3 (File H.EX.)

Dealt with under Item 6.2, Recommendation HB070-2022

10. Correspondence

Nil

11. Other/New Business

- 11.1 Update by City Clerk's Office, re: Resignation of Janet Millington, Member

Item 11.2 was brought forward and dealt with at this time.

City Clerk's Office staff advised that Board members Janet Millington and Ken Wilde have resigned from the Board. Both Members wished to thank the Board and the City for the opportunity to contribute and participate at Board meetings and other events.

The Board and staff thanked, acknowledged and noted their appreciation for Ms. Millington and Mr. Wilde for the many years of dedicated and heartfelt service to the Board and the City.

Katherine Fowlston, Member, advised that Ken Wilde delivered a large volume of heritage material collected over the years. Staff advised that the material will be donated for reference to the Peel Art Gallery Museum and Archives (PAMA).

The following motion was considered:

HB071-2022

1. That the resignation of Ken Wilde, Member, from the Brampton Heritage Board be accepted;
2. That Mr. Wilde be thanked for his contributions to the Board;
3. That the resignation of Janet Millington, Member, from the Brampton Heritage Board be accepted; and
4. That Ms. Millington be thanked for her contributions to the Board.

Carried

- 11.2 Update by City Clerk's Office, re: Resignation of Ken Wilde, Member

Dealt with under Item 11.1, Recommendation HB071-2022

- 11.3 Report by Anastasia Abrazhevich, Assistant Heritage Planner, re: Heritage Permit Application and Designated Heritage Property Incentive Grant Application – 160 Salvation Road – Ward 6

Anastasia Abrazhevich, Assistant Heritage Planner, provided an overview of the subject report noting that the owner has applied for a Heritage Permit and requested a grant to help cover cost of the conservation work on the property which is a designated heritage resource.

The Board was advised that a permit has already been issued due to an emergency repair situation at the site.

The following motion was considered:

HB072-2022

1. That the report from Anastasia Abrazhevich, Assistant Heritage Planner, dated November 25, 2022 to the Brampton Heritage Board meeting of December 12, 2022, **re: Heritage Permit Application and Designated Heritage Property Incentive Grant Application – 160 Salvation Rd – Ward 6**, be received;
2. That the Heritage Permit application for 160 Salvation Road to repair the roof and insert black asphalt shingles be approved;
3. That the Designated Heritage Property Incentive Grant application for the repair of the roof and re-shingling of 160 Salvation Road be approved, to a maximum of \$10,000.00, and;
4. That the owner shall enter into a designated Heritage Property Incentive Grant Agreement with the City after City Council agrees to support the Grant.

Carried

- 11.4 Discussion Item at the Request of Steve Collie, Board Member, re: Brampton Heritage Board Annual “Highlights on Heritage” Event

Steve Collie, Board Member, provided information on the Board’s Annual “Highlights on Heritage” event, which takes place every February (the month in which Heritage Week is celebrated). Groups such as, The Historical Society, Ebenezer Group, Peel Art Gallery Museum and Archives (PAMA), and Bovaird House, were invited to participate. An invite was also sent to the Peel Aboriginal Network.

In response to a question, Mr. Collie advised that tables are organized with displays all intended to educate the community on heritage resources in the City. He suggested that Keba Thomas, Member, reach out to Ontario Black Historical Society to gauge interest in the event which will be held on Saturday, February 11, 2023. The Board was invited to the event.

The following motion was considered:

HB073-2022

That the Brampton Heritage Board organize and participate in the **Board's Annual "Highlights on Heritage" Event** during the current Term of Council (2022-2026).

Carried

12. Current Heritage Issues

Nil

13. Referred/Deferred Items

- 13.1 Report by Shelby Swinfield, Heritage Planner, re: Cultural Heritage Evaluation Report – Creation of Standalone Terms of Reference

This item was deferred under Approval of Agenda HB068-2022.

- 13.2 Report by Merissa Lompart, Assistant Heritage Planner, re: Heritage Conservation Plan, 10244 Mississauga Road, Part of Lot 12, Concession 5 West of Center Road, Chinguacousy Township, Now City of Brampton, Regional Municipality of Peel – Ward 6

Charlton Carscallen, Principal Planner/Supervisor, provided an overview of the subject report noting that the Heritage Conservation Plan was before the Board for approval. He advised that staff will continue to work with the applicant to ensure that the requirements of the plan were fulfilled.

The following motion was considered:

HB074-2022

1. That the report from Merissa Lompart, Assistant Heritage Planner, dated September 12, 2022, to the Brampton Heritage Board Meeting of December 13, 2022, re: **Heritage Conservation Plan, 10244 Mississauga Road, Part of Lot 12, Concession 5 West of Center Road, Chinguacousy Township, Now City of Brampton, Regional Municipality of Peel – Ward 6** be received;

2. That the recommendations and requirements as detailed in the Heritage Conservation Plan by Parslow Heritage Consultancy Inc. be fulfilled; and
3. That any alterations to the Heritage Conservation Plan must be approved in written form by the Principal Planner/ Supervisor of Heritage.

Carried

13.3 Discussion re: Re-establishment of Research Committee

This item was deferred under Approval of Agenda, Recommendation HB068-2022

13.4 Discussion at the request of Ken Wilde, Member, re: 30 McLaughlin Road

This item was withdrawn under Approval of Agenda, Recommendation HB068-2022

13.5 Verbal Update from City Clerk's Office, re: Brampton Heritage Board - New Term of Council and Next Steps

City Clerk's Office outlined the next steps with respect to the role of the existing Board and the application process Members would be required to follow should they wish to continue as Board members.

14. Information Items

14.1 Report by Harsh Padhya, Heritage Planner, re: 11690 Chinguacousy Road – Project Completion Report - Ward 6 (File H.EX.)

Harsh Padhya, Heritage Planner, provided an overview of the subject property noting that the property has been completely restored and now linked to the subdivision as part of the neighbourhood.

Mitch Taleski, Project Manager, provided details on the status of efforts to sell the property which has been on the market for a few months.

The following motion was considered:

HB075-2022

That the report by Harsh Padhya, Heritage Planner, to the Brampton Heritage Board meeting of December 13, 2022, re: **11690 Chinguacousy Road – Project Completion Report - Ward 6 (File H.EX.)** be received.

Carried

- 14.2 Report by Charlton Carscallen, Principal Planner/Supervisor, re: Changes to Ontario Heritage Act resulting from the implementation of the More Homes Built Faster Act (Bill 23)

Dealt with under Item 6.1, Recommendation HB069-2022

15. **Question Period**

Nil

16. **Public Question Period**

Nil

17. **Closed Session**

Nil

18. **Adjournment**

The following motion was considered:

HB076-2022

That Brampton Heritage Board do now adjourn to meet again on a date to be determined.

Carried

Douglas McLeod (Co-Chair)

Peter Dymond (Co-Chair)

Date: 2022-12-29

Subject: **Heritage Impact Assessment and Heritage Conservation Plan for 69 Elliott Street, Memorial Arena – Ward 3**

Contact: Merissa Lompart, Assistant Heritage Planner,
Merissa.Lompart@brampton.ca, 905-874-2618

Report Number: Planning, Bld & Growth Mgt-2023-049

Recommendations:

1. That the report from Merissa Lompart, Assistant Heritage Planner, dated December 29, 2022 to the Brampton Heritage Board Meeting of January 24, 2023, regarding the **Heritage Impact Assessment and Heritage Conservation Plan for 69 Elliott Street, Memorial Arena – Ward 3**, dated **February 2022**, with minor edits in April 2022, be received; and
2. That the following recommendations as per the Heritage Impact Assessment by ATA Architects be followed:
 - 1) The schematic design of the addition has minimal impact on the heritage value of the Brampton Memorial Arena. Its form and massing complement the existing building and the addition is designed to be subordinate to the heritage arena. Refinement only is required.
 - 2) The architectural detailing of the addition requires further development to be fully compatible and sympathetic to the original building. Specific direction is noted in the HIA report that addresses that the design of the addition should borrow approaches and elements visible on the Arena exterior. Specific elements to be addressed include:
 - i. Structure cladding and roof line above the existing fascia line of the Hipel roof
 - ii. Consideration of the materials and articulation of the addition relative to the existing structure for compatibility and scale.
 - iii. Revise the window design for a continuous sill and variability in materials to emphasize horizontal nature of the window placement

- iv. Various brick and cladding options to enhance visual effect of the design and support compatibility with existing.
3. That the partial Heritage Conservation Plan prepared by ATA Architects Inc., which was included in the Heritage Impact Assessment pages 59-61 be referenced and followed as it addresses conservation requirements during construction and for the longer term maintenance of the building. The Conservation Plan shall be amended and expanded, and should further articulate the final design direction.
4. That the Heritage Conservation Plan be submitted and approved prior to the issuance of Demolition or Building Permits for the project.

Overview:

- **69 Elliott Street, also known as Memorial Arena was designated under the *Ontario Heritage Act* under By-Law 223-2010 in 2010.**
- **A Heritage Impact Assessment was requested by Heritage Staff when the proponent, the City of Brampton, brought forward plans for an addition on the west side of the arena.**
- **The HIA demonstrated that the proposed addition will be appropriately designed to support the heritage character of the building.**
- **The HIA recommends the proposed design with some minor revisions be accepted and that a complete Heritage Conservation Plan be prepared that incorporates the design guidance provided in the Heritage Impact Assessment.**
- **The HIA is considered to be complete as per the City's Terms of Reference.**

Background:

Memorial Arena, located within Old Fairgrounds Park at 69 Elliot Street is Designated under Part IV of the Heritage Act for its Design/Physical Value, Historical/Associative Value and for Contextual Value. A complete list of Heritage Attributes is provided in the attached Heritage Impact Assessment report.

The arena was constructed in 1949-50 and commemorates those who lost their lives in the Second World War. The building was designed by noted architect Norman Otto Hipel using his distinct patented roof design. The Premier T.L. Kennedy attended the sod turning at the start of construction in April of 1949.

The Arena is a good example of a mid-20th century community sports complex and incorporates a distinctive roof system. Few similar examples remain in Ontario.

Current Situation:

The Heritage Impact Assessment has been prepared to address proposed changes to the building to accommodate additional dressing rooms, offices, equipment and meeting rooms and storage as well as additional circulation space. This requires an approximately 3,000-square foot, single-story addition be constructed on the west side of the existing building. The building is currently in excellent condition.

The HIA provides details of the impacts of the proposed addition on the heritage attributes of the building and provides guidance on how the design can be further refined to best support the existing heritage character and attributes of the arena. The report specifically addresses the location, form, massing, window and door openings, construction and finish materials and architectural details for the additional. As a key element, the addition will be subordinate to the existing building and will not detract from the main northern façade. Specific note is also made that the proposed design has minimal impact on the character-contributing elements in the interior of the arena.

Following approval of the HIA, the design for the addition will be finalized and a complete Heritage Conservation Plan will be prepared to address potential impacts related to construction and long term maintenance of the building once the new space is operational.

Corporate Implications:

Financial Implications:

The maintenance, and renovations of City owned properties has been budgeted for, and no additional expenses have been accrued.

Other Implications:

The City is maintaining and updating their recreation and heritage properties for public use and enjoyment.

Term of Council Priorities:

This project meets the Term of Council Priorities for promoting a *Healthy and Safe* city by focusing on community safety, improving mental health support, and encouraging active and healthy lifestyles. It also covers the *Green* Term of Council Priorities by promoting re-use and restoration, the more sustainable option.

Conclusion:

The Heritage Impact Assessment for the proposed changes to Brampton Memorial Arena has reviewed and confirmed the Heritage Values and character of the building. It provides a thorough review of the building's design and how it reflects the period of its design and construction and remains a significant landmark in the City. The recommendations of the report provide a thorough basis on which the project team can move forward to finalize the design of the addition and move forward to construction.

The recommendation for the development and implementation of a Heritage Conservation Plan as the next step is clearly reasoned and articulated.

Once completed, the new addition will act as a sympathetic enhancement to the building that Bramptonians can be proud of for decades to come while continuing to serve as a public memorial to those who lost their lives in the Second World War.

Authored by:

Reviewed by:

Merissa Lompart
Assistant Heritage Planner



Charlton Carscallen
Principal Planner/Supervisor Heritage

Approved by:



Henrik Zbogor
Director of City Planning & Design

Attachments:

Appendix A – Heritage Impact Assessment by ATA Architects
Appendix B – Drawings for 69 Elliott Street, Memorial Arena



69 ELLIOTT STREET,
BRAMPTON, ON
BRAMPTON MEMORIAL ARENA

HERITAGE IMPACT ASSESSMENT
AND
HERITAGE CONSERVATION PLAN

FEBRUARY 2022



Roof structure in the Brampton Memorial Arena

5

EXECUTIVE SUMMARY
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APPENDIX
BIBLIOGRAPHY
ALEXANDER TEMPORALE CV
RYAN LEE CV

Prepared for:
City of Brampton
C/O Tasmin Haque
C/O Alex Burgos

Prepared by:
ATA Architects Inc.
3221 North Service Road, Suite 101
Burlington Ontario L7N 3G2

Project Team:
Alexander Temporale
Ryan Lee
Victoria Beck

ATA Architects Inc. (ATA) undertook the following Heritage Impact Assessment and Heritage Conservation Plan of the property designated at 69 Elliott Street, Brampton, Ontario. The purpose was to:

- To determine the impact of the proposed addition on cultural heritage resource
- Provide a preliminary conservation strategy and recommended next steps to mitigate any impacts on the identified cultural heritage resource.

ATA's findings conclude that the proposed schematic design of the addition has minimal impact on the heritage value of the Brampton Memorial Arena. Its form and massing compliment the existing building and the addition is designed to be subordinate to the heritage arena. Refinement is only required.

The architectural detailing of the addition requires further development to be fully compatible and sympathetic to the original building. The following options are provided in more detail in the section "Conserve Heritage Value". They borrow approaches and elements visible on the arena's exterior.

- A change in material to a lighter structure and cladding above the fascia line of the existing Hipel roof in the new addition (all three sides).
- The introduction of a sloped roof above the fascia line of the Hipel roof in the new addition.
- A change in materials/construction only at the triangular junction points is not recommended. It would appear visually as a mistake or afterthought.
- Additional articulation of the addition wall to increase compatibility and human scale.
- Linking the group of 3 windows with a continuous sill to compliment what is visible in the adjacent wall behind the addition. Changing the material between window clusters to add interest and increase the horizontal nature of the window placement.
- Contrasting brick banding at windowsills, window heads and at cornice lines could be considered.

- Consider window placement and window size in relationship to wall mass and placement in the heritage building.
- Use of dichromatic brick detailing (scale and visual interest)
- Control joints to divide the length and create panels of brick (scale and visual interest)
- Utilize different coursing to differentiate the use of brick (scale and visual interest created by texture and pattern)
- The introduction of a secondary material and colour as an architectural detail to enhance the proposed use of brick as the main exterior material.
- The canopies could be extended further outward to more strongly identify the entrances and reinforce the linear/horizontal form of the building.

The preceding list of mitigating measures is based on the provided schematic design. As the design is further developed and refined additional measures may need to be considered. Ideally all of these measures should be incorporated into the final design, no one measure is superior to the others.

ATA Architects Inc. (ATA) was retained to undertake a Heritage Impact Assessment and Heritage Conservation Plan of the property designated at 69 Elliott Street, Brampton, Ontario ("the site"). This report has been prepared by ATA in order to:

- To determine the impact of the proposed addition on cultural heritage resource
- Provide a preliminary conservation strategy and recommended next steps to mitigate any impacts on the identified cultural heritage resource.

The property is designated under Part IV, Section 29 of the Ontario Heritage Act, Brampton By-Law 223-2010.

ATA undertook the following process in completing this report:

ATA Architects visited the site and viewed in detail the existing building on the property. The existing context was documented, and an assessment was undertaken to evaluate the impact of the proposed addition.

- Reviewed the historical background of the property
- Reviewed the heritage district plan and current zoning regulations
- Reviewed the proposed addition; plans and elevations.
- Prepared recommendations to further improve the compatibility of the addition and to minimize any negative impacts.
- Provided an evaluation, utilizing accepted heritage standards as noted.

ATA Architects Inc. has utilized the criterion for determining cultural heritage values as outlined in the Ontario Heritage Act.



Key plan showing location of Brampton Memorial Arena
Source: Google Maps (2018)

SITE LOCATION AND
CURRENT PROPERTY DESCRIPTION

Municipal Address:

69 Elliott Street
Brampton, Ontario
L6Y 1W2

Legal Description:

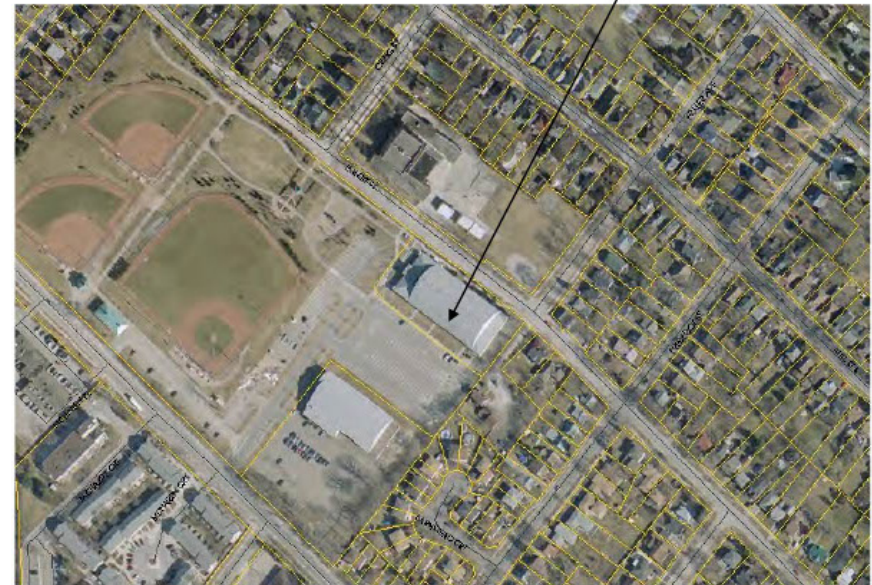
PL BR 17 LOTS 6,7,11 to 13 PL BR21 PT
LOTS 14, 15,
roll number 10-03-0-024-05700-0000,
pin number 140670049.

69 Elliott Street is located in the City of Brampton (formerly the Chinguacousy Township) in the Regional Municipality of Peel (informally Region of Peel, and formerly Peel County). The property is part of Lot 5 in the First Concession West of Hurontario Street (WHS). In the current Brampton land division, it is part of Ward 3. The area is a part of Brampton Secondary Plan 7, also known as Downtown Brampton.

The subject property is located adjacent to the Brampton Curling Club to the south west, as well as Old Fairgrounds Park and Memorial Skate Park to the west. McHugh Public School is on the other side of Elliott Street, north of the property. The arena is next to an expansive residential area in the south-east and south-west.



**Brampton
Memorial
Arena, 69
Elliott Street**



Aerial Photograph of 69 Elliott Street, Brampton
Source: Statement of Reasons for Heritage Designation - March 15 2007

HERITAGE RECOGNITION OVERVIEW

The property known as Memorial Area at 69 Elliot Street is designated under Part IV of the Ontario Heritage Act as being of cultural heritage value or interest. It was passed in 2010 under Brampton By-Law 223-2010.

The following are documents provided by the City of Brampton

- Designation By-Law 223-2010
- Heritage Report: Statement of Reasons for Heritage Designation



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

Number 223-2010

To designate the property known as Memorial Arena at 69 Elliott Street as being of cultural heritage value or interest.

WHEREAS Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O. 18 (as amended) authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;

WHEREAS the Brampton Heritage Board supports the designation of the properties described herein;

WHEREAS a Notice of Intention to Designate has been published and served in accordance with the Act, and there has been no Notice of Objection served on the Clerk;

NOW THEREFORE the Council of the Corporation of the City of Brampton HEREBY ENACTS as follows:

1. The property known as Memorial Arena at 69 Elliott Street more particularly described in Schedule "A" is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the *Ontario Heritage Act*.
2. The City Clerk shall cause a copy of this by-law to be registered against the property described in Schedule "A" to this by-law in the proper Land Registry Office.
3. The City Clerk shall cause a copy of this by-law to be served upon the owners of the property known as Memorial Arena at 69 Elliott Street and upon the Ontario Heritage Trust and to cause notice of this by-law to be published to the City's website in accordance with Council's Procedure By-law.
4. The City Clerk shall serve and provide notice of this by-law in accordance with the Act.
5. The short statement of the reason for the designation of the property, including a description of the heritage attributes are set out in Schedule "B" to this by-law.
6. The affidavit of Peter Fay attached, as Schedule "C" hereto shall form part of this by-law.

READ A FIRST, SECOND AND THIRD TIME AND PASSED IN OPEN COUNCIL THIS ~~23rd~~ DAY OF June, 2010.

Approved as
to form
GF
June 10/10

SUSAN FENNELL - MAYOR

PETER FAY - CLERK

Approved as to Content:

Karl Walsh, Director, Community Design, Parks Planning and Development

SCHEDULE "A" TO BY-LAW 223-2010

LEGAL DESCRIPTION

14067-0129 (LT)

PT LTS 13 TO 15 PL BR21 AS IN BR31084; S/T BR31084 ; BRAMPTON

SCHEDULE "B" TO BY-LAW 223-2010

**STATEMENT OF THE REASON FOR THE DESIGNATION OF MEMORIAL ARENA,
69 ELLIOTT STREET:**

The property known as Memorial Arena at 69 Elliott Street is worthy of designation under Part IV of the Ontario Heritage Act for its cultural heritage value. The property meets the criteria for designation prescribed by the Province of Ontario under the three categories of design or physical value, historical value and contextual value.

**STATEMENT EXPLAINING THE CULTURAL HERITAGE VALUE OR INTEREST OF
THE PROPERTY:**

The cultural heritage value of the Brampton Memorial Arena is related to its design or physical value as an exceptional example of a community hockey rink. The building exhibits an excellent state of preservation and this is especially evident with regard to the exterior main façade and the interior spaces. The front façade faces Old Fairgrounds Park. This one storey masonry wing houses the main lobby and dressing rooms. The interior of the building is distinguished by its expansive and structurally complex roof system of long spanning arches and trusses. The roof system is a heavy timber frame, open span bowstring truss ceiling with wood purlins and plank sheathing. The interior space is also noted for its original hinged wooden spectator seating and boxes, along with bench seating, and beaded tongue-in-groove wood paneled interior walls, ceilings and wainscoting in lobby and main hallways. Sports structures of this nature and degree of architectural heritage integrity have become rare in Ontario.

Overall the building reflects a high degree of craftsmanship and is a good example of a mid 20th century sports complex. The building and its impressive roof system was designed by Norman Otto Hipel (1890-1953) of Preston, Ontario. Hipel was an accomplished builder who patented his arena roofing system in 1928.

The property has considerable historical or associative value as it reflects the optimism of a small Ontario community in the immediate post World War Two era. The Brampton Memorial arena was constructed in 1949-1950. It was built to honour those who lost their lives in the Second World War. It was also the first artificial ice rink (i.e. mechanically-refrigerated) constructed in the City of Brampton. Premier T.L. Kennedy officiated at the sod turning ceremony in April 1949. The arena was opened to the public on January 14, 1950 at a gala event.

The property also has important associations with the history of hockey, and lacrosse. The Brampton Novice Lions Hockey Tournament was staged in this arena from 1960 to the 1980s. Future National Hockey League (NHL) stars played in this event over the years including: Darryl Sittler, Bob Gainey, Denis Savard, Bob Goodenow, Ron Ellis, Greg Stefan, Rick MacLeish and Dale Hawerchuk. Gordie Howe was in attendance to watch his two young sons Mark and Marty play in the 1964 tournament. Wayne Gretzky played in the 1972 event. Gretzky scored 19 goals in the first three games of

that tournament. Canadian female hockey legend, and Brampton native, Cassie Campbell played bantam hockey at the Memorial Arena with the Brampton Canadettes Girls Hockey Association.

For several decades the Memorial Arena was home to the Brampton Excelsiors, one of the leading teams in major series box lacrosse. Sports anchor Chris Cuthbert describes the Excelsiors as "Canada's most historic sports franchise." Lacrosse legend, John Tavares played several games on the floor of the Memorial Arena. The Excelsiors have eight Mann Cup championships and their banners hang from the ceiling of the arena.

The building is directly associated with recreational pursuits. Several concerts, fall fairs, figure skating meets, rallies and other events have been staged in this arena.

The cultural heritage value of the property is also connected to its contextual value. The property helps to maintain, support and define the character of Elliott Street and the former Brampton Fair Grounds. The property contributes to the character and identity of the area. It is a conspicuous landmark established in a neighbourhood developed during the early and mid 20th century. It is linked to its surroundings in that it is the key focal point in the Fairgrounds Park, has links to the nearby corner variety store, McHugh public school and residential neighbourhoods. It is also the last surviving vintage building on the Fairgrounds site. The property also holds deep symbolic and emotive value to many Brampton citizens.

DESCRIPTION OF THE HERITAGE ATTRIBUTES OF THE PROPERTY:

Unless otherwise indicated, the reasons for designation apply generally to all exterior elevations, facades, foundation, roof and roof trim, all doors, windows, other structural openings and associated trim, all architectural detailing; all interior spaces, structural elements, design elements, finishes and detailing; construction materials of wood, stone, brick, plaster, parging, metal and glazing and related building techniques, fencing, all trees, shrubs, hedgerows, other vegetation and the grounds and vistas generally.

To help ensure that the cultural heritage value of this property and its heritage attributes, contributing to its value, have been identified. They include:

- the name of the facility being "Brampton Memorial Arena";
- heavy timber frame, open span bowstring truss ceiling, designed by Norman Otto Hipel and all related structural elements including wood purlins and plank sheathing;
- existing dimensions of the ice surface being 90 x 190 feet; Brampton's first artificial ice surface;
- all hockey and lacrosse championship banners hanging from ceiling;

- wood press box with wood ladder;
- original hinged, slated wooden spectator seating, painted in either green or blue and all paneled boxes with tongue in groove wainscoting;
- wooden bench seating;
- vintage metal sign warning patrons not to stand on seats (located in seating area on east side of rink area);
- remaining ticket wicket near the west side entrance;
- cast bronze memorial plaque at east lobby entrance commemorating construction;
- front lobby with beaded wood paneled walls and ceiling, wainscoting, and row of square spectator windows facing rink;
- simple plank door and window surrounds;
- original one storey masonry section, forming principle exterior façade, facing Fairgrounds Park;
- existing fenestration on principle façade;
- central frontispiece on principle façade with "Brampton Memorial Arena" in individual letters affixed to masonry wall;
- round, metal roof vents along ridge of roof;
- unpainted exterior masonry walls with wire cut brick and dichromatic patterning;
- exterior side walls with buttresses bearing load of vaulted roof;
- exterior massing and built form, barn-like profile and roof pitch;

SCHEDULE "C" TO BY-LAW 223-2010

AFFIDAVIT OF PETER FAY

I, **PETER FAY**, of the City of Mississauga in the Region of Peel, **MAKE OATH AND SAY:**

1. I am the Clerk for the Corporation of the City of Brampton and as such I have knowledge of the facts herein contained.
2. The public notice of intention to designate the property known as Memorial Arena at 69 Elliott Street was served on the owner of the property and was advertised, in the form attached as Exhibit A to this my affidavit, on the City's website in accordance with Council's Procedure By-law.
3. The by-law to designate the property known as Memorial Arena at 69 Elliott Street came before City Council at a Council meeting on June 23, 2010 and was approved.
4. A copy of the by-law, including a short statement of the reason for the designation has been served upon the owner of the property and the Ontario Heritage Trust and notice of such by-law was published on the City of Brampton website on July 20, 2010.

SWORN before me at the City)
of Brampton, in the Region)
of Peel, this 28th)
day of June, 2010)



Earl Evans

A Commissioner for Taking Affidavits, etc.

EARL EVANS, Deputy City Clerk
The Corporation of The City of Brampton
2 Wellington Street West
Brampton, Ontario L6Y 4R2
A Commissioner, etc., etc.
in the Regional Municipality of Peel

HERITAGE REPORT

STATEMENT OF REASONS FOR HERITAGE DESIGNATION

2.0 GENERAL PROPERTY DESCRIPTION:

The lot is rectangular in shape. The principle structure is on an north to south orientation, from front to rear. The frontage covers approximately 1.26 acres. The plan of the building is a simple rectangle with the principle façade facing into Fairgrounds Park. The building is aligned very close to Elliott Street with the east façade on a shallow setback from the street.

The principle elevation is emphasized by the following elements: one storey masonry structure with frontispiece; masonry walls of wire cut brick with some dichromatic patterning using buff brick; landmark building with a distinctive barn like roof profile. The brick frontispiece has "Brampton Memorial Arena" displayed in individual, white lettering. The side elevations have repeating buttresses, which bear the roof load. Several round metal air vents punctuate the ridge portion of the roofline.

Landscaping elements immediately surrounding the subject property are minimal with only a row of small cedar bushes along the east elevation Elliott Street and small trees along the boulevard. A small-grassed front lawn is present off the principle façade. The west elevation faces a large parking lot.

Adjacent property features include: the historic McHugh Public School and its playground, Fairgrounds Park and nearby residential housing ranging in time period from early Edwardian era to the 1960s and a nearby corner variety store.

Brampton Memorial Arena is the home to the Brampton Capitals Junior A hockey team and the Junior Excelsiors lacrosse team.

3.0 HERITAGE EVALUATION / CRITERIA NOTE:

The property meets the criteria for designation prescribed by the Province of Ontario under Ontario Heritage Act Regulation 9/06.

In April 2004, at the request of staff and Brampton Heritage Board, City Council listed the Memorial Arena in the Municipal Register of Cultural Heritage Resources. It was rated a "Category A" property based on its architectural, historical and contextual attributes.

4.0 DESIGN OR PHYSICAL VALUE:

The building's structural engineering was very innovative and challenging, employing a massive timber frame roof with several uninterrupted roof spans over the ice surface and seating. This type of roof system, also known as a bowstring truss roof, was ideal for arenas since it did not require supporting vertical columns, thus no obstructed views.

The Memorial Arena was designed by Norman Otto Hipel (1890-1953) of Preston, Ontario. Hipel was granted roofing design patents for buildings that need a large, unobstructed floor area. Hipel designs were ideal for skating rinks, barns and arenas. The intact roof of the Memorial Arena is an excellent example of Norman Hipel's work.

Hipel's roof design was selected for the Memorial Arena because it was determined that high, expansive roofs were essential for playing lacrosse. These roof systems also reduced indoor fog that is sometimes a problem with artificial ice rinks.

Hipel's design for the Brampton Memorial Arena is virtually identical to the arenas he built for the Towns of Hespeler and Simcoe, Ontario. Hipel promised that the Brampton arena would combine the best of his previous designs. The building would include 6 rows of seats "of the hinged, turn-up, wood variety" a large lobby area with refreshment centre, 6 dressing rooms, a first aid room and players lunch room on the lower level, seating capacity for 1535 people, plus considerable space under the seating to house ice compressors and 'snow melting pits'.

The roof is among the most dramatic elements associated with the interior of the building. In addition, the 1950s era wood seats, beaded tongue-in-groove paneled walls and ceilings, wainscoting and other elements exhibit a high degree of craftsmanship. The interior is a virtual 'time capsule' documenting a once typical community arena.

The front exterior façade is highly evocative of mid 20th century civic architecture as well as civic arena architecture of the period that is often referred to as being barn like due to the shape of the roof and overall massing.

5.0 HISTORICAL OR ASSOCIATIVE VALUE:

The building is directly associated with several significant persons related to hockey. Darryl Sittler, Bob Gainey, Denis Savard, Bob Goodenow, Ron Ellis, Greg Stefan, Rick MacLeish and Dale Hawerchuk played in the Brampton Novice Lions Tournament at the Memorial Arena. Gordie Howe was in attendance to watch his two young sons Mark and Marty play in the 1964 tournament. Wayne Gretzky dominated the 1972 event. He scored 19 goals in the first three games of that tournament.

The Memorial Arena has also been a part of Canadian women's hockey. Olympic Gold Medallist, Cassie Campbell played bantam hockey at the Memorial Arena with the Brampton Canadettes Girls Hockey Association. Cassie Campbell was raised in Brampton. She has been instrumental in developing Canadian women's hockey. In 1997 the Memorial Arena was used as a "satellite venue" in the Women's World Hockey Championships.

The building is also associated with the Brampton Excelsiors Lacrosse Team. It was the team's home arena for several years. Lacrosse legend, John Tavares played several games on the floor of the Memorial Arena. He was the Excelsior's leading scorer when they won the 1992 Mann Cup.

For some years the Arena was home to the Brampton Regents, Junior B hockey team and in the early 1960s, the Brampton 7-Ups.

Brampton Memorial Arena is currently the home to Brampton's O.H.A. Junior A hockey club, the Brampton Capitals and the Junior Excelsiors lacrosse team.

The building is directly associated with important sports reporters including: Ken Giles and Ted Reeve.

Ontario Premier Thomas Laird Kennedy (1878-1959) was present for both the official sod turning and the official opening of the Memorial Arena. Kennedy was Premier of Ontario from October 1948 to April 1949. He was also Minister of Agriculture for several years. T. L. Kennedy was MPP for Mississauga.

Norman Otto Hipel was the designer of the Memorial Arena. Hipel was a noteworthy builder and was considered an authority on the design of vaulted arena roof systems. In addition to being a successful building contractor, Hipel was also an accomplished politician. He served as Speaker of the House at Queens Park from 1935 to 1938. In 1938 he was named to the cabinet of Premier Mitch Hepburn as Minister of Labour.

Recreation events have been stated in the Memorial Arena. In June 1950 for example, Big Band legend Tex Beneke and his orchestra performed. Other recreational events include: regular public skating, fall fairs, figure skating, wrestling events, shows, roller-skating and the like.

The distinctive, vintage interior has been used as the backdrop in several film productions and television commercials, including the feature film "Men with Brooms", "Net Worth" a CBC television production, along with television commercials for Tim Horton's and other companies.

In 1948 the Peel County Agricultural Society offered land on Elliott Street for the construction of the Memorial Arena. The Society also offered a share of their annual grant. The competing site was Rosalie Park. The matter was debated in the community and the issue was put to a referendum in the January 1949 municipal election. The ratepayers approved the Elliott Street land for construction by a margin of 751 votes to 352. Rosalie Park was deemed less suitable because the area flooded regularly.

The sod turning event of April 16, 1949, was a gala affair. The Brampton Citizen's Band led a procession from Gage Park, down Wellington Street to the construction site on Elliott Street. The procession included members of the Royal Canadian Legion, Chamber of Commerce, Boy Scouts and Girl Guides, the Town Building Committee, Mayor and Councillors, Norman Hipel (designer/builder) and Ontario Premier T.L. Kennedy. Kennedy performed the official sod turning. A few days later the "Brampton Conservator" newspaper published a deferential editorial cartoon depicting the Premier pushing the spade into the soil, with members of the Legion in the background. The caption read simply, "Another Forward Step In The Life Of Our Community". Some 2000 people attended the opening of the Memorial Arena just nine months later on January 14, 1950.

Canadian identity is directly tied to hockey and lacrosse. These sports are part of the cultural fabric of large and small communities throughout Canada. Brampton is certainly no exception. The Memorial Arena is part of this cultural fabric. From an historical perspective, the arena is directly associated with the greater cultural and social importance of these two iconic Canadian sports. The building is a tangible reflection of our sports heritage and Canadian culture. The Brampton Memorial Arena could be designated on the historical or associative value alone.

The Memorial Arena is also reflective of a key period in Brampton's history. In the immediate post World War Two era, the civic spirit seemed buoyant. The economy was growing and a sense of optimism flourished. The Town of Brampton took out debentures to build the arena. The risk was deemed low because the town was growing. The Dixie Cup Company had just announced it was relocating its factory from Toronto to Brampton, the Flood Diversion channel was in the works, A.V. Roe was hiring workers and it would, within a few years, win the contract to build the Avro Arrow, Malton and its airport were growing and the Bramalea development was in the offing. Expansions to McHugh Public School and the Peel Memorial Hospital had also just been announced.

The Memorial Arena was considered a very important civic building project. A new arena had been promised for decades, but the Depression and Second World War delayed construction. So when the Town was finally ready to proceed, in the late 1940s, the project had a high profile in the community. Virtually all news stories relating to the Memorial Arena in this period were front-page items.

The community was justifiably proud of their new arena. The Conservator newspaper printed an editorial in 1950 admonishing children for stand and walking across the seats. Soon after a metal sign was affixed near the seats, it read: "Please do not stand on seats. Do not sit on back of seats. Thank you". This vintage sign survives and is included within the scope of heritage designation.

6.0 CONTEXTUAL VALUE:

6.1 General Description of Area - Cultural Heritage Landscapes:

The property helps to maintain, support and define the character of Elliott Street and the former Brampton Fair Grounds. The property contributes to the character and identity of the area. It is a conspicuous landmark established in a neighbourhood developed during the early and mid 20th century. It is linked to its surroundings in that it is the key focal point in the Fairgrounds Park, has links to the nearby corner variety store, McHugh public school and residential neighbourhoods. It is also the last surviving vintage building on the Fairgrounds site. The property also has deep symbolic and emotive value to many Brampton citizens.

6.2 Landmark Status / Symbolic Value:

The building has obvious landmark status. The distinctive and massive barn like roof and large footprint along Elliott Street make this a conspicuous structure.

The Memorial Arena possesses considerable symbolic and emotive value that is well described and documented in Chris Cuthbert's book, "The Rink: Stories from Hockey's Home Towns". Many people recall watching hockey or lacrosse games in years past or recall this as the site where they scored their first goal in a minor hockey.

Cuthbert writes that the Memorial Arena is "...a throwback to another era which is why it was used as a stand-in for the Detroit Olympia in CBC's docudrama "Net Worth". Several television commercials and movies have taken advantage of the rare, dramatic vintage interior in recent years.

Ben Knight writes about the "Brampton Excelsiors" long connection to the building stating: "Let's stand up as one and cheer one of the truly great barns in the history of the sport (lacrosse).... The Excelsiors are keenly aware of their history, of which this building is an irreplaceable part...who knows how much longer that astonishing ceiling of crosshatched wooden beams will continue to stand. Forever and ever I hope."

7.0 ALTERATION HISTORY AND HERITAGE INTEGRITY NOTE:

In January 1978 the Memorial Arena was condemned because of suspected weakness in the roof structure. While other wooden roofed arenas in Canada were demolished or replaced with modern roof systems, the City of Brampton wisely elected to simply reinforce the original wooden structure. In later years additional upgrades were made to the roof and front facade. However today it remains essentially as it was when first built in 1950.

Some inappropriate alterations include: replacing sash windows with less compatible window forms, inappropriate door replacements, some inappropriate signage and installation of box like corrugated metal elements over the front entrances.

Basic maintenance of exterior masonry walls on principle façade is required. Brick needs repointing and graffiti on some walls must be removed.

7.1 Recommended Restoration Measures:

The following recommendations for future restoration and conservation are included for information purposes only. They are provided for the benefit of present and future property owners. These recommendations are non-binding. Property owners are under no obligation to restore any lost or missing attributes or features under heritage designation.

The front façade could be restored to its original state with relative ease, considering the state of preservation it already exhibits.

As required, sash windows should be used when window replacements are scheduled.

All remaining grilles covering front windows should be removed.

Where possible use signage that echoes the 1950s aesthetic.

Masonry repairs should include appropriate mortar mix; colour of existing mortar and mortar profiles should be replicated.

Great care should be taken with all future capital works and major renovation cycles to ensure heritage character is not diminished. The use of a qualified heritage architect is strongly encouraged.

8.0 RARITY NOTE:

The subject property is a 'one of a kind' in Brampton. Wood barrel vaulted ceilings, as exhibited by the subject property, are becoming rare in Ontario. Buildings of this nature, with vaulted wood ceilings, are considered rare in North America generally.

The degree of architectural integrity is unusual with virtually all interior wood finishes and details are intact. The principle exterior façade is also intact.

There are only a handful of similar arenas still standing in the province. Most of these have had their wood roofs structures replaced or front facades have been greatly altered. However, a few well-preserved examples survive and they include: the Niagara Falls Memorial Arena, Stratford Arena, Windsor Arena and Kingston Memorial Arena.

9.0 NOTE ON ARCHAEOLOGICAL POTENTIAL:

Not applicable.

10.0 EXCLUSIONS:

There are no exclusions to the scope of designation.

The preceding reports are the “Designation By-law” and “Statement of Reasons for Designation” prepared by the City of Brampton. To summarize, the arena was determined to have architectural, historical and contextual value. The building is well preserved and an excellent example of a mid 20th century community hockey rink. It features a high degree of the work of Norman Otto Hipel (1890-1953) of Preston, Ontario who was an accomplished builder who patented his arena roofing system in 1928.

The historical value of the arena is related to its reflection of the optimism of the community in the immediate aftermath of World War Two. The building itself is a memorial to those who lost their lives in the Second World War and was the first artificial ice rink in Brampton. The arena also has a strong association with hockey and lacrosse history as both the home of the Brampton Novice Lions Hockey Tournament, in which a roster of future NHL stars had participated, and the Brampton Excelsiors lacrosse team, a leading team in major series box lacrosse.

Contextually the arena helps maintain, support and define the character of Elliott Street and the former Brampton Fair Grounds. It is a landmark within its neighbourhood and it is linked to its surroundings as a focal point of Fairgrounds Park with links to the surrounding community.

The documents establish a list of the key heritage attributes. A description of past significant alteration and maintenance work is provided in section 7.0 of the “Statement of Reasons for Designation”. The arena had at one point been condemned because of suspected weakness in the roof structure which was reinforced rather than replaced. Additional upgrades were made to the roof and front façade over the years while essentially maintaining it as it was when first built in 1950. The document goes on to provide suggestions of possible future restoration and conservation work.

The following pages, 13 to 23, include the figures provided with the “Statement of Reasons for Designation”.

13.0 IMAGES:



Exterior views of main façade facing Old Fairgrounds Park.



Views of west side of building showing barn-like roof profile and side elevation with repeating buttresses.





View of east façade, abutting Elliott Street. Image shows landscaping elements flanking the sidewalk and series of roof vents at ridge of roof.



Details showing wire cut buff brick course providing dichromatic decorative relief on front façade.

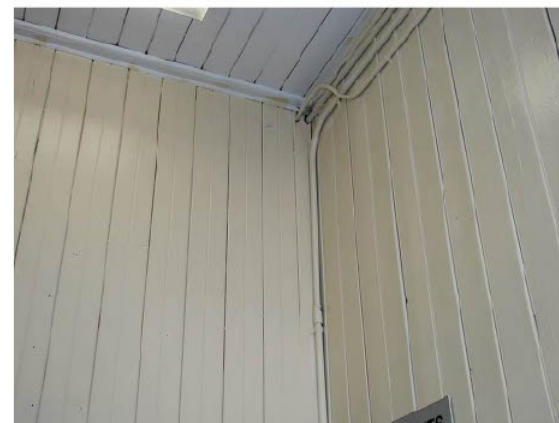


Detail showing portion of masonry wall on front façade. This image shows the brick arch of the east entrance. Note step crack. Masonry repairs are required.





Detail of frontispiece on front façade with original "Brampton Memorial Arena" lettering. Every effort should be made to retain this detail. If letters are replaced in future, the 1950s era typeface and form must be replicated. Alterations that would result in new openings being cut into the masonry walls should be avoided. Masonry repairs should only be made using compatible mortar mix, taking care to match original colour and mortar profile.



Detail of beaded tongue in groove wood paneling on walls and ceiling in main hallways. (east entrance).



Detail showing beaded tongue in groove wood paneling throughout main hallways and lobby area, along with simple planks used as door surrounds. This photo is taken near the east entrance.



Detail of the tongue in groove wood wainscoting located throughout main hallways and lobby area.



Detail in main lobby showing counter and spectator windows facing the ice rink.



Surviving ticket wicket on west side main hallway.



Views of the timber frame arena roof system designed by Norman Otto Hipel.





Images showing original hinged wooden spectator seating and boxes.





Bronze plaque commemorating Brampton Memorial Arena. The plaque is affixed to wall just inside east entrance.



Original wooden bench seating along aisle ways surrounding rink.



Detail view of some of the championship banners hanging from the arena ceiling.



Detail showing vintage metal sign warning patrons not to stand on seats. This sign dates to 1950.



Broadcast booth overlooking ice surface.

The following regulatory and policy documents were reviewed in preparing this report:

- Ontario Heritage Act;
- Standards and Guidelines for the Conservation of Historic Places in Canada, 2010;
- Ontario's Provincial Policy Statement;
- Growth Plan for the Greater Golden Horseshoe, 2017;
- Ontario Heritage Toolkit, 2006;
- Region of Peel Official Plan;
- City of Brampton Official Plan;

ONTARIO HERITAGE ACT

ONTARIO REGULATION 9/06

CRITERIA FOR DETERMINING CULTURAL HERITAGE VALUE OR INTEREST

Criteria

1. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act.
- (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:
 1. The property has design value or physical value because it,
 - i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
 2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

Criteria (continued)

3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings,
 - iii. is a landmark.

Transition

2. This Regulation does not apply in respect of a property if notice of intention to designate it was given under subsection 29 (1.1) of the Act on or before January 24, 2006.

Note:

The designation of properties of heritage value by municipalities in Ontario is based on the above criteria evaluated in the context of that municipality's jurisdiction. Buildings need not be of provincial or national importance to be worthy of designation and preservation.

Schedule D of the 2018 Region of Peel Official Plan notes the subject property to be part of the Urban System, and as such it is subject to Region's policies.

Part 3.6 of the Region of Peel Official Plan contains the following cultural heritage policies and objectives relevant to the site:

3.6 Cultural Heritage

The Region of Peel encourages and supports heritage preservation and interpretation of the cultural heritage features, structures, archaeological resources, and cultural heritage landscapes in Peel (including properties owned by the Region), according to the criteria and guidelines established by the Province.

3.6.1 Objectives

- 3.6.1.1 To identify, preserve and promote *cultural heritage resources*, including the material, cultural, archaeological and *built heritage* of the region for present and future generations.
- 3.6.1.2 To promote awareness and appreciation, and encourage public and private stewardship of Peel's heritage.
- 3.6.1.4 To support the heritage policies and programs of the area municipalities

3.6.2 Policies

It is the policy of the Regional Council to:

- 3.6.2.2 Support the designation of Heritage Conservation Districts in area municipal official plans.

3.6.2 Policies (continued)

- 3.6.2.3. Ensure that there is adequate assessment, preservation, interpretation and/or rescue excavation of cultural heritage resources in Peel, as prescribed by the Ministry of Tourism, Culture and Sport's archaeological assessment and mitigation guidelines, in cooperation with the area municipalities.
- 3.6.2.5. Direct the area municipalities to require, in their official plans, that the proponents of development proposals affecting heritage resources provide for sufficient documentation to meet Provincial requirements and address the Region's objectives with respect to cultural heritage resources.
- 3.6.2.8 Direct the area municipalities to only permit development and site alteration on adjacent lands to protected heritage property where the proposed property has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Under its Glossary on page 235, the Peel Regional Official Plan also defines significant cultural heritage and archaeology resources as "resources that are valued for the important contribution they make to our understanding of the history of a place, an event, or a people."

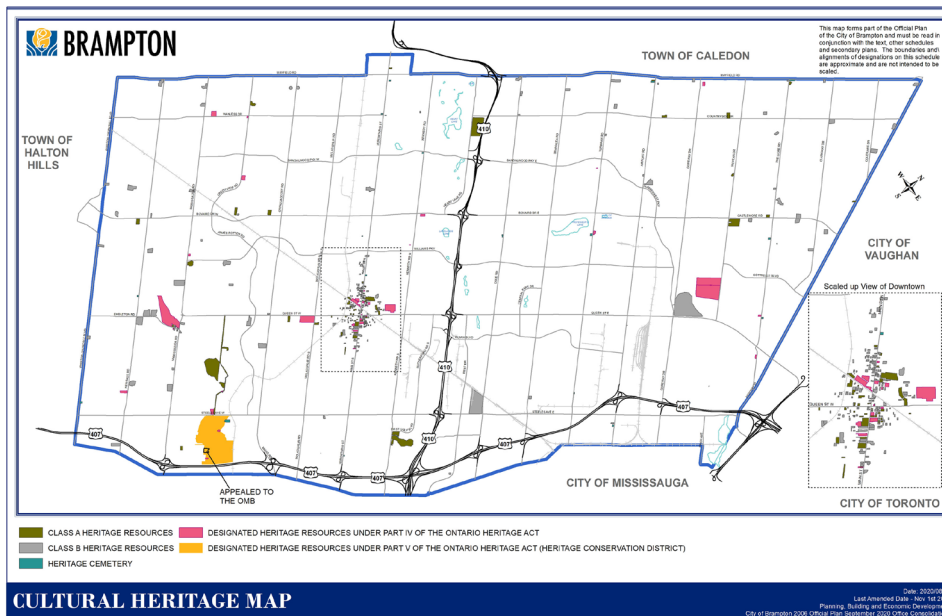
Built heritage: one or more buildings, structures, monuments, installations, or remains associated with architectural, cultural, social, political, economic, or military history, and identified as being important to a community.

The City of Brampton Official Plan addresses the management of cultural heritage resources within its Flower City Strategy and in Section 4.10 of Official Plan which outlines its policies. Section 4.10 of the Official Plan is concerned specifically with cultural heritage resources with “policies aimed at preserving heritage resources consistent with the City’s ‘Six Pillars’ Strategic Plan that forms the underlying foundation of this Plan, in particular Pillar Three: ‘Protecting Our Environment, Enhancing Our Community’ and Pillar Five: ‘Community Lifestyle and Participation.’” The following objectives guide the City of Brampton’s cultural heritage resource policies (taken from Section 4.10 of the Plan)”

Objectives

- a) Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations;
- b) Preserve, restore and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and, preserve cultural heritage landscapes; including significant public views; and,
- c) Promote public awareness of Brampton’s heritage and involve the public in heritage resource decisions affecting the municipality.

The following policies from Section 4.10.1 Built Heritage are relevant to the proposed development. 4.10.1.4 describes the criteria according to which the heritage significance of cultural resources shall be assessed. Section 4.10.1.8 states the policies in accordance with heritage resources are to be protected. Section 4.10.1.9 and 4.10.1.10 gives the City the authority to request an HIA and require a heritage permit prior to allowing any proposed changes to heritage properties.



City of Brampton Official Plan - Cultural Heritage Map

Source: City of Brampton Official Plan (2020), <https://www.brampton.ca/en/Business/planning-development/Documents/CD/UD/OP/Cultural%20Heritage%20Map.pdf>

4.10.1.4 Criteria for assessing the heritage significance of cultural heritage resources shall be developed. Heritage significance refers to the aesthetic, historic, scientific, cultural, social or spiritual importance or significance of a resource for past, present or future generations. The significance of a cultural heritage resource is embodied in its heritage attributes and other character defining elements including: materials, forms, location, spatial configurations, uses and cultural associations or meanings. Assessment criteria may include one or more of the following core values:

- Aesthetic, Design or Physical Value;
- Historical or Associative Value; and/or,
- Contextual Value.

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted

for the approval of the City.

4.10.1.10 A Heritage Impact Assessment, prepared by qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes. Due consideration will be given to the following factors in reviewing such applications:

- (i) The cultural heritage values of the property and the specific heritage attributes that contribute to this value as described in the register;
- (ii) The current condition and use of the building or structure and its potential for future adaptive re-use;
- (iii) The property owner's economic circumstances and ways in which financial impacts of the decision could be mitigated;
- (iv) Demonstrations of the community's interest and investment (e.g. past grants);
- (v) Assessment of the impact of loss of the building or structure on the property's cultural heritage value, as well as on the character of the area and environment; and,
- (vi) Planning and other land use considerations.

SITE
EXTERIOR PHOTOS OF
MEMORIAL ARENA



View of the Front of Brampton Memorial Arena
Source: ATA Architects, 2022



Memorial Arena Signage
Source: ATA Architects, 2022



South View of Elliott Street
Source: ATA Architects, 2022



View Along Elliott Street

Source: ATA Architects, 2022



View of West Elevation from Parking Lot
Source: ATA Architects, 2022



Entrance to Brampton Memorial Arena
Source: ATA Architects, 2022



View of the rear of the Brampton Memorial Arena
Source: ATA Architects, 2022

INTERIOR PHOTOS OF
MEMORIAL ARENA



Interior View of the Brampton Memorial Arena
Source: ATA Architects, 2022



Interior View of the Brampton Memorial Arena
Source: ATA Architects, 2022



View of Detail of the roof structure
Source: ATA Architects, 2022



View of Detail of the roof structure
Source: ATA Architects, 2022



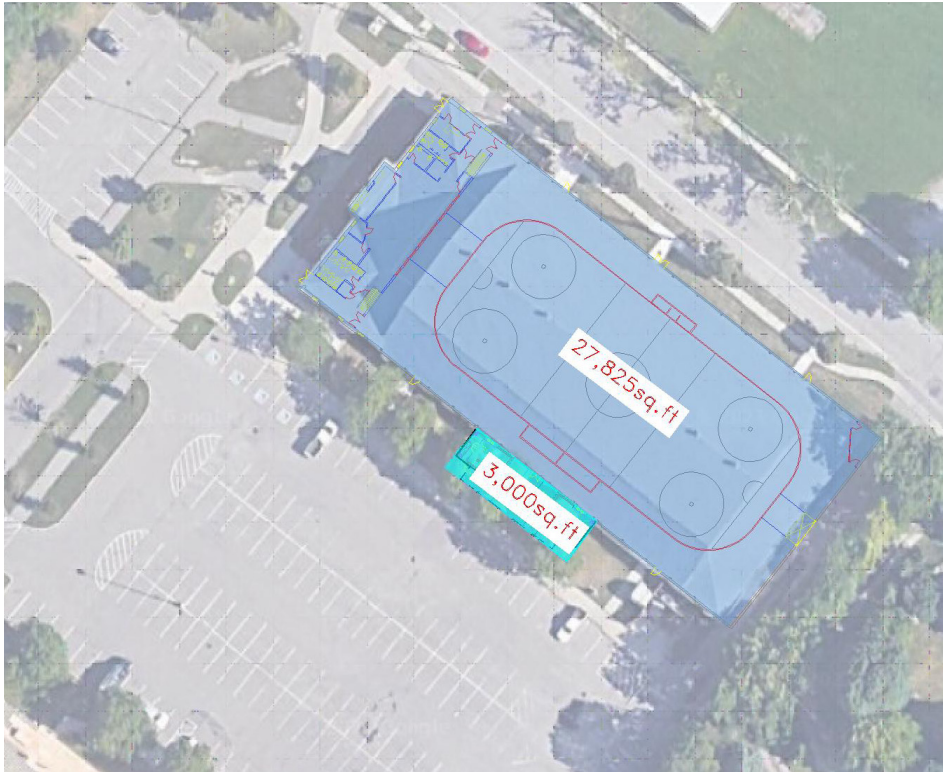
View of interior where new addition is to be located
Source: ATA Architects, 2022



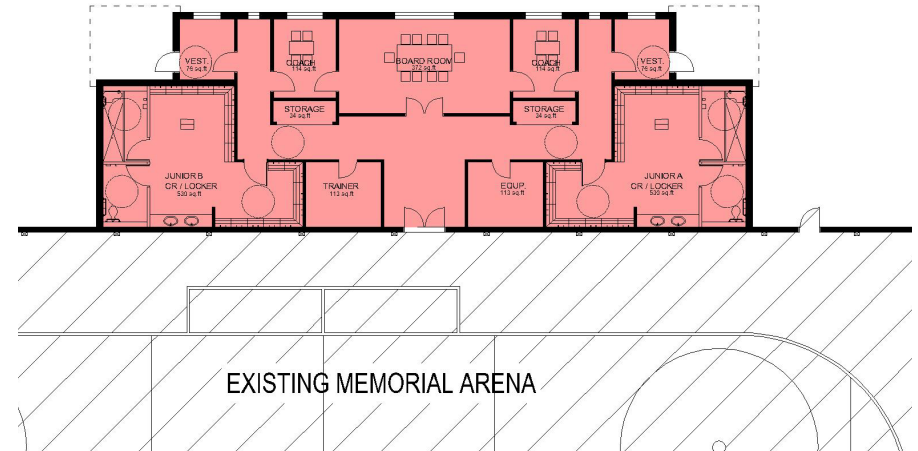
View of boxed seating
Source: ATA Architects, 2022



View of Interior Window
Source: ATA Architects, 2022



Overall Site Plan showing location of Addition
Source: City of Brampton, 2021



Preliminary Schematic Plan of New Addition
Source: City of Brampton, 2021

The City of Brampton intends on adding supplementary programming for the Brampton Bombers Junior A and B hockey clubs to the Brampton Memorial Arena. The new spaces to be included in the addition are as follows:

- 2 change rooms/locker rooms
- 2 coach offices
- 1 equipment room
- 1 trainer room
- 1 boardroom/meeting room
- 2 storage rooms
- Circulation space

The proposed addition has a long rectangular form, with a lower elevation (one-story) than the arena building. It is located on the west side of the building and has an area of 3,000 square feet. Brick cladding is proposed. Similar to the existing building, the proposal has punched openings for windows.



Renders of Proposed Addition
Source: City of Brampton, 2021



Renders of Proposed Addition
Source: City of Brampton, 2021

Attributes

In order to evaluate the impact of the proposed addition on the Brampton Memorial Arena, a review of the proposed design is required in regard to the character contributing attributes identified in the reasons for heritage designation.

The following excerpts are taken from the City of Brampton Heritage Report, Statement of Reasons for Heritage Designation, March 15, 2007.

There is an introductory statement that in general the designation applies to the building as a whole that is followed by a list of attributes that should be conserved, that contribute to the heritage value. They are as follows:

- 1) the name of the facility being “Brampton Memorial Arena”;
- 2) heavy timber frame, open span bowstring truss ceiling, designed by Norman Otto Hipel and all related structural elements including wood purlins and plank sheathing;
- 3) existing dimensions of the ice surface being 90 x 190 feet; Brampton’s first artificial ice surface;
- 4) all hockey and lacrosse championship banners hanging from ceiling;
- 5) wood press box with wood ladder;
- 6) original hinged, slated wooden spectator seating, painted in either green or blue and all paneled boxes with tongue in groove wainscoting;
- 7) wooden bench seating;
- 8) vintage metal sign warning patrons not to stand on seats (located in seating area on east side of rink area);
- 9) remaining ticket wicket near the west side entrance;

- 10) cast bronze memorial plaque at east lobby entrance commemorating construction;
- 11) front lobby with beaded wood paneled walls and ceiling, wainscoting, and row of square spectator windows facing rink;
- 12) simple plank door and window surrounds;
- 13) original one story masonry section, forming principle exterior façade, facing Fairgrounds Park;
- 14) existing fenestration on principle façade;
- 15) central frontispiece on principle façade with “Brampton Memorial Arena” in individual letters affixed to masonry wall;
- 16) round, metal roof vents along ridge of roof;
- 17) unpainted exterior masonry walls with wire cut brick and dichromatic patterning;
- 18) exterior side walls with buttresses bearing load of vaulted roof;
- 19) exterior massing and built form, barn-like profile and roof pitch;

The proposed addition is located at the parking lot side of the addition and well back of the entrance. The location will be quite visible to the public, but it will not affect the views of or the appearance of the front entry.

The attributes that will be affected by the addition are:

1. The overall brick masonry heritage feature
3. Exterior side wall buttresses
4. The barn-like profile of the vaulted roof

Other elements of the building are included in the more general list. That list includes:

All exterior elevations, facades, foundation, roof and roof trim, all doors, windows, other structural openings and associated trim, all architectural detailing; all interior spaces, structural elements, design elements, finishes and detailing; construction materials of wood, stone, brick, plaster parging, metal and glazing and related building techniques, fencing, all trees, shrubs, hedgerows, other vegetation and the grounds and vistas generally.

The specific secondary attributes that are part of the affected elevation are:

1. Windows (vertical in unpainted brick and infilled horizontal window openings in painted arena wall)
2. Horizontal sills (infilled windows)
3. Roof edge (and height)
4. Brick pilasters (architectural details)

The accepted standards for guiding and evaluating the conservation of heritage buildings and therefore the proposal addition to the Brampton Memorial Arena are Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada*. The general standards for Preservation, Rehabilitation and Restoration are:

1. Conserve the *heritage value* of an *historic place*. Do not remove, replace or substantially alter its intact or repairable *character-defining elements*. Do not move a part of an historic place if its current location is a character-defining element.
2. Conserve changes to an *historic place* that, over time, have become *character-defining elements* in their own right.
3. Conserve *heritage value* by adopting an approach calling for *minimal intervention*.
4. Recognize each *historic place* as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
5. Find a use for an *historic place* that requires minimal or no change to its *character-defining elements*.
6. Protect and, if necessary, stabilize an *historic place* until any subsequent *intervention* is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

7. Evaluate the existing condition of the *character-defining elements* to determine the appropriate *intervention* needed. Use the gentlest means possible for any intervention. Respect *heritage value* when undertaking an intervention.

8. Maintain *character-defining elements* on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving *prototypes*.

9. Make any *intervention* needed to preserve *character-defining elements* physically and visually compatible with the *historic place* and identifiable on close inspection. Document any intervention for future reference.

The following additional standards relating to Rehabilitation in particular should be considered in the design of the addition to the historic arena:

10. Repair rather than replace *character-defining elements*. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements to match existing forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the *historic place*.

11. Conserve the *heritage value* and *character-defining elements* when creating any new additions to an *historic place* or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

12. Create any new additions or related new construction so that the essential form and integrity of an *historic place* will not be impaired if the new work is removed in the future.

Standard 11 can and has been interpreted by heritage architects and conservationists in two ways. The first approach which is reflected in the current design is to take architectural elements in the design of the heritage building and either repeat or reinterpret their application in the design of the new building. It may include a wide range of elements such as building height, window shapes, floor lines, materials, bay sizes, etc. The intent of the approach is to create a sympathetic addition of a similar character while distinguishing it from the existing heritage structure. The second approach focuses on the word “distinguishable” and applies contrast through the use of contemporary or contrasting materials, forms, styles and details to distinguish new from old/addition from existing.

In evaluating the heritage impact of the addition on the heritage value of Brampton Memorial Arena, ATA Architects have evaluated the addition based on Approach 1 and the key standards that apply to heritage buildings.

1. Subordinate

1.1 Location

The location on the side of the arena's main Hipel roof section over the ice rink does not detract from the entrance façade. Its long linear mass reduces its projection outward into the parking lot and thus reduces the potential to appear as a "wing" to the arena. The mass rather tends to visually blend with the arena form and will appear subordinate to the large mass of the roof structure.

1.2 Form

The proposed flat roof rectangular form is distinguishable from the brick portion of the façade (with its sloped roof). The fact that the height of the addition is lower than the arena roof adjacent makes it visually subordinate to the heritage building. The edge of the flat roof projects well above the fascia of the barn roof. There will be a need for a parapet to contain water and snow coming down from the "barn-shaped" roof. The clean rectangular lines of the addition are complimentary through contrast to the form of the roof, however the junction of the two must be resolved. It would require walls or additional structure to be introduced into the interior of the arena to carry the brick above.

Options:

- a) A change in material to a lighter structure and cladding above the fascia line of the existing Hipel roof in the new addition (all three sides).
- b) The introduction of a sloped roof above the fascia line of the Hipel roof in the new addition.
- c) A change in materials/construction only at the triangular junction points is not recommended. It would appear visually as a mistake or afterthought.

2. Compatibility

2.1 Mass

Both the exposed brick one-story portion of the heritage building and the main ice rink portion employ pilasters and buttresses. The buttresses are structural, but both provide a secondary function in subdividing the mass and the length of the building's wall area.

Option:

The wall of the proposed addition is long and flat. Additional articulation using such devices may be considered to increase compatibility and human scale.

2.2 Windows

Windows in the existing and proposed addition are punched openings. The windows in the proposed addition, however, have neither the shape nor the location of those in the heritage building.

Options:

- a) The center window and the two clusters of three windows visually appear to add a horizontal appearance to the addition. Consider linking the group of three with a continuous sill. Wall openings with long sills are visible in the adjacent wall behind the addition. Consider changing the material between window clusters to add interest and increase the horizontal nature of the window placement.
- b) The wire cut brick front façade utilizes a dichromatic band of brick to emphasize the sill height and add detail. Contrasting brick banding at windowsills, window heads and at cornice lines could be considered.
- c) The windows are placed low in the building wall leaving a visually heavy mass of brick above. Consider window placement and window size in relationship to wall mass and placement in the heritage building.

2.3 Materials

The proposed addition utilizes a limited number of materials. The use of wire cut brick compatible with the brick on the building façade is a simple and direct means of creating compatibility.

Options:

- a) Use of dichromatic brick detailing (scale and visual interest)
- b) Control joints to divide the length and create panels of brick (scale and visual interest)
- c) Utilize different coursing to differentiate the use of brick (scale and visual interest created by texture and pattern)

d) The introduction of a secondary material and colour as an architectural detail may enhance the proposed use of brick as the main exterior material. Metal finishes are a potential choice, already used for fascias and flashings.

2.4 Architectural Details

The use of the corner cut-outs to create entrances at both ends of the addition is a positive reminder of similar corner entrances on the façade of the arena. The flat canopies over the entrances reinforce the horizontality of the addition's form and the adjacent wall supporting the Hipel roof.

Option:

The canopies could be extended further outward to more strongly identify the entrances and reinforce the linear/horizontal form of the building.

3. Interior

The entrance from the proposed addition appears to have minimal impact on the character-contributing attributes in the interior of the arena.

CONCLUSIONS

The schematic design of the proposed arena addition has minimal impact on the heritage value of the Brampton Memorial Arena. Its form and massing are complimentary to the existing building and the addition will not be visually overwhelming, but rather it has been designed to be subordinate to the heritage arena.

The architectural detailing, however, requires development to be fully compatible with and sympathetic to the arena. Options for consideration are provided. Many of the options borrow approaches and elements visible on the heritage buildings exterior. Given that the location, massing, form and approach to the building are acceptable, refinement only is required.

Prepared by


Alexander Temporale, B.Arch, OAA, CAHP, FRAIC

Preservation: the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of an historic place, or of an individual component, while protecting its heritage value.

Rehabilitation: the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value.

Restoration: the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Key Definitions in relation to the Conservation Process

Source: Standards and Guidelines for the Conservation of Historic Places in Canada (2010) pg. 17

Based on the Heritage Impact Assessment and Schematic Design, the Heritage Conservation Plan will mainly focus on the area of the new addition. The proposed rehabilitation approach described in this report will conserve and protect the heritage attributes of the building identified in the designation by-law.

Sections "Conservation Standards" and "Conserve Heritage Value" highlights key accepted standards and evaluating the conservation of the heritage building and the proposed addition.

A list of conservation notes have been prepared below to describe the extent of the conservation work. A full conservation plan of the entire building is not required. A revised Heritage Conservation Plan may be required once the design is finalized.

Exterior Wall – West Elevation

A list of the primary and secondary attributes that will be affected are listed on pages 46 and 47. The overall goal is to rehabilitate the areas where the new addition will meet with the heritage attributes.

Prior to construction

- An evaluation and assessment of the exterior brick plaster wall, window and horizontal sills, exterior side wall buttresses and barn-like profile of the vaulted roof should be carried out to identify areas of repair.
- A detail review of how the addition structure is to connect to the existing arena building, roof edge and profile of the vaulted roof.
- Connection of the new brick with the exterior side wall buttresses and brick plaster detail.

During Construction

- Use compatible construction methods so that the new addition will not impact the integrity of the arena if the new work is to be removed in the future

Interior Space – West Elevation

The entrance from the proposed addition appears to have minimal impact on the character contributing attributes in the interior of the arena.

Post Construction – Maintenance

As part of the on-going maintenance of any cultural heritage resource, regular maintenance is required. Brampton Memorial Arena receives regular maintenance, the last major maintenance was in 2018.

Below are suggestions within the following time frames:

Yearly: Inspect the building envelope for damages due to weather, natural life cycle of materials, disturbances, or damages by others.

Every 5 Years: Complete an updated condition assessment of the building and exterior envelope to evaluate the performance of the masonry, sealants, windows and doors, flashings, roofing, and adjacent grade conditions.

Every 10-15 Years: Review and replacement of caulking, inspection of window and door hardware, as required.

Every 25-30 Years: Review and replacement of asphalt shingles, membrane, and flashings, mechanical and electrical systems, as required.

Ongoing: Basic repairs of regular operation of the building and site.

Cost Estimate

There is not cost estimate at this time.

CONCLUSION

The schematic design of the proposed arena addition has minimal impact on the heritage value of the Brampton Memorial Arena. The Heritage Conservation Plan finds that proposed rehabilitation approach described in this section will conserve and protect the heritage value and attributes set out under the designation by-law for the property while facilitating a new addition to better serve the function of the building.

APPENDIX
BIBLIOGRAPHY
ALEXANDER TEMPORALE CV
RYAN LEE CV

APPENDIX
BIBLIOGRAPHY

City of Brampton

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APPENDIX

ALEXANDER TEMPORALE CV

Alexander Louis Temporale, B.Arch., O.A.A., F.R.A.I.C

Education

University of Toronto, B.Arch.

Background

Alexander Temporale has had a long history of involvement in heritage conservation, downtown revitalization, and urban design. As a founding partner of Stark Temporale Architects, Mr. Temporale was involved in a variety of restoration projects and heritage conservation studies, including: the Peel County Courthouse and Jail Feasibility Study, the Brampton Four Corners Study and the Meadowvale Village Heritage District Study. The study led to the creation of the first heritage district in Ontario.

His involvement and interest in history and conservation resulted in a long association with the heritage conservation movement, as a lecturer, resource consultant, and heritage planner. He was a member of the Brampton Local Architectural Conservation Advisory Committee, a director of the Mississauga Heritage Foundation, and chairman of the Mississauga LACAC Committee. As a member of LACAC, Alex Temporale was also a member of the Architectural Review Committee for Meadowvale Village. He is also a former Director of the Columbus Centre, Toronto and Visual Arts Ontario. Mr. Temporale has been a lecturer for the Ontario Historical Society on Urban Revitalization and a consultant to Heritage Canada as part of their "Main Street" program.

In 1982, Alexander Temporale formed his own architectural firm and under his direction the nature and scope of commissions continued to grow with several major urban revitalization studies as well as specialized Heritage Conservation District Studies. His work in this field has led to numerous success stories. The Oakville Urban Design and Streetscape Guidelines was reprinted and used for approximately 20 years. The study of the Alexander Homestead (Halton Region Museum Site) led to the Museum's rehabilitation and a significant increase in revenue. The Master Plan reorganized the site and its uses, as well as facilitating future growth. During this time, Alex received numerous awards and his contribution to architecture was recognized in 2007 in becoming a Fellow of the Royal Architectural Institute of Canada. Many projects have

become community landmarks, received awards or been published. These include Lionhead Golf Clubhouse, Brampton; the Emerald Centre, Mississauga; St. David's Church, Maple; Gutowski Residence, Shelburne; Martin Residence, Mississauga and Stormy Point, Muskoka, to name a few.

Mr. Temporale is recognized at the OMB as an expert in urban design and restoration architecture. He is a member of the advisory committee of Perspectives, a journal published by the Ontario Association of Architects. He is a frequent author on design issues. He has also authored numerous urban design studies and heritage studies for a variety of municipalities i.e. Brantford, Grimsby, Brampton, Flamborough and Burlington. The firm has been a recent recipient of the Lieutenant Governor's Award for Excellence in Conservation and the National Heritage Trust's Award for Heritage Rehabilitation of Oakville's historic Bank of Montreal Building. Below are other previous offices held:

Past Offices

- > Jurist, 2010 Mississauga Urban Design Awards
- > Chairman, Mississauga Local Architectural Conservation Advisory Committee
- > Director, Visual Arts Ontario
- > President, Port Credit Business Association
- > Director, Brampton Heritage Board
- > Director, Mississauga Heritage Foundation
- > Director, Columbus Centre
- > Director, Villa Columbo, Toronto
- > Resource Consultant, Heritage Canada

APPENDIX

ALEXANDER TEMPORALE CV

Heritage Assessment and Urban Design Studies

- > High Park Forest School Retrofit Feasibility Study, Toronto
- > 2494 Mississauga Road Heritage Impact Assessment, Mississauga
- > 1187 Burnhamthorpe Road East Heritage Assessment, Oakville
- > 103 Dundas Street Heritage Assessment, Oakville
- > 3060 Seneca Drive Heritage Assessment, Oakville
- > 491 Lakeshore Road (Captain Morden Residence) Heritage Assessment, Oakville
- > 2347 Royal Windsor Drive Heritage Assessment, Oakville
- > 107 Main St. E. Heritage Assessment, Grimsby
- > 74 & 76 Trafalgar Road Heritage Assessment and Urban Design Brief, Oakville
- > 7005 Pond Street Heritage Assessment, Meadowvale
- > 7015 Pond Street (Hill House) Heritage Assessment, Meadowvale
- > 44 and 46 Queen Street South Heritage Assessment, Streetsville
- > 264 Queen Street South (Bowie Medical Hall) Heritage Assessment, Streetsville
- > Fred C. Cook Public School Heritage Assessment, Bradford West Gwillimbury
- > Harris Farm Feasibility Study, City of Mississauga
- > Benares Condition Assessment Report, City of Mississauga
- > Lyon Log Cabin Relocation, Oakville, Ontario
- > 42 Park Avenue Heritage Assessment, Oakville, Ontario
- > The Old Springer House Heritage Assessment, Burlington, Ontario
- > 2625 Hammond Road Heritage Impact Study, Mississauga, Ontario
- > 153 King Street West Heritage Assessment, Dundas, Ontario
- > Brampton Civic Centre Study, Brampton, Ontario
- > 139 Thomas Street Heritage Impact Study, Oakville, Ontario
- > Historic Alderlea Adaptive Reuse and Business Case Study, Brampton, Ontario
- > Trafalgar Terrace Heritage Impact Study, Oakville, Ontario
- > Binbrook Heritage Assessment, Glanbrook, Ontario
- > Fergusson Residence, 380 Mountainbrow Road, Burlington, Ontario, Heritage Assessment
- > Canadian Tire Gas Bar, 1212 Southdown Road, Mississauga, Ontario, Heritage
- > Donald Smith Residence, 520 Hazelhurst Road, Mississauga, Ontario, Heritage Assessment
- > Hannon Residence, 484 Brant Street, Burlington, Ontario, Heritage Assessment
- > Bodkin Residence, 490 Brant Street, Burlington, Ontario, Heritage Assessment

- > Fuller Residence, 8472 Mississauga Road, Brampton, Ontario, Heritage Assessment
- > 1953 Creditview Road, Chinguacousy Township, Brampton, Ontario Assessment
- > Historic Meadowvale Village Inventory/Heritage Assessment Study (Stark Temporale)
- > Brampton Four Corners Urban Design Study (Stark Temporale)
- > Erindale Village Urban Design Study (Stark Temporale)
- > Oakville Downtown Urban Design and Site Plan Guidelines Study
- > Burlington Downtown, Urban Design and Façade Improvement Study
- > Burlington East Waterfront Study
- > Victoria Park Square Heritage District Study, Brantford
- > Bullock's Corners Heritage Conservation District Study, Town of Flamborough
- > Brant Avenue Heritage Conservation District Study, Brantford
- > Urban Design Guidelines for Infill Development, Town of Oakville
- > 111 Forsythe, OMB Urban Design Consultant, Town of Oakville
- > Trafalgar Village Redevelopment, Urban Design Consultant, Town of Oakville
- > Eagle Ridge (Three Condominium Towers) Development, Urban Design Consultant
- > Trafalgar Market Redevelopment, Urban Design Consultant, Town of Oakville
- > St. Mildred Lightbourne Private School Expansion, Urban Design Consultant, Town of Oakville
- > OPP Academy (Art Deco Heritage Building), Feasibility Study, City of Brampton
- > Kennedy Road, Victorian Farmhouse Study, City of Brampton
- > Chisholm Estate Feasibility Study, City of Brampton
- > Urban Design Guidelines, Hurontario and 403, Housing for Ontario Realty Corporation, Mississauga
- > Urban Design Study Canadian General Tower Site, Oakville
- > Port Credit Storefront Urban Design Study (Townpride)
- > Port Credit Streetlighting Phases I and II, Lakeshore Road
- > Urban Design Study for the Town of Grimsby Downtown Area
- > Clarkson Village Community Improvement Study as a member of the Townpride Consortium
- > Richmond Hill Downtown Study, as a member of the Woods Gordon Consortium
- > Heritage Building, 108 – 116 Sparks Street, Ottawa, Feasibility Study for National Capital Commission
- > Niagara Galleries Project, Niagara-on-the-Lake, Design Concept/Feasibility Study

APPENDIX

ALEXANDER TEMPORALE CV

- > Aurora Library/Public Square Study (Townpride)
- > Oakville Dorval Glen Abbey Study of High Density Residential
- > Halton Regional Museum (Feasibility Study and Master Plan) Phase I construction including conversion of the Alexander Barn to Museum and Exhibits Building to Visitor Centre.

Partial List of Heritage Restoration Projects

- > St Mark's Church Restoration/Rehabilitation, Hamilton
- > Pinchin Barn Foundation Repairs & Landscape Improvements, Mississauga
- > Stewart Memorial Church Heritage Grant Application Package, Hamilton
- > 126-128 Lakeshore Road East Façade Restoration, Oakville
- > Oakville Radial Railway Station, Contract Drawings, May construction start, Oakville
- > Old Springer House, Addition Design, Burlington
- > 505 Church and Wellesley, Schematic Design, Rehabilitation and Addition, Toronto
- > Adamson House Roof Repair, Mississauga
- > Restoration/Maintenance of 4 City of Mississauga Properties, Adamson Estate, Restoration Benares Historic House, Derry House and Chappell Estate
- > The Old Springer House Renovation and Replacement of Existing Banquet Hall, Burlington, Ontario
- > Historic Bank of Montreal Building, Restoration and Addition, Oakville, Ontario
- > Fergusson House Restoration, Burlington, Ontario
- > Bovaird House Window Restoration, Brampton, Ontario
- > Vickerman Residence Renovations Design, Oakville, Ontario
- > Ontario Agricultural Museum, Master Plan Revisions (Stark Temporale with Prof. Anthony Adamson)
- > Restoration of Lucas Farmhouse and Women's Institute (Stark Temporale with Prof. Anthony Adamson).
- > Backus Conservation Area, Master Plan of Historical Museum (Stark Temporale)
- > Peel County Courthouse & Jail Feasibility Study (Stark Temporale)
- > Port Credit Streetscape Improvements (Stark Temporale)
- > Miller Residence, Stone Farmhouse, Brampton (Stark Temporale)
- > Salkeld Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Bridges Residence, Brick, Late Victorian, Brampton (Stark Temporale)
- > Graff Residence, Brick, Late Victorian, Brampton (Stark Temporale)

- > Sheridan Day Care Centre, Late Victorian Farmhouse (Stark Temporale)
- > St. Paul's Church Renovation/Restoration, Brampton (Stark Temporale)
- > McInnis Residence, Second Empire Style Renovation/Addition, Brampton (Stark Temporale)
- > Shore Residence, Main Street, Victorian Addition/Renovation Brampton (Stark Temporale)
- > Watts Residence, Late Victorian, Renovation and Addition, Brampton
- > Faculty Club Renovations and Interiors, Heritage Building, University of Toronto
- > Cawthra Elliot Estate Conference Centre (Feasibility Study; Restoration and Renovations), Mississauga
- > Springbank Centre for the Visual Arts, Renovation Phases I-IV, Mississauga
- > Wilcox Inn Renovations and Restoration, Mississauga
- > Chappel Riverwood Estate, Restoration and Alterations Concepts for residential use
- > Thomas Street Mews, Streetsville, conversion of existing heritage residence to shops
- > Owens-Baylay House, Mississauga, relocation and renovation to designated Century Farmhouse
- > Queen Street Store, Streetsville, exterior restoration and renovations/addition
- > Atchinson Residence, Brick Late Victorian, Brampton
- > Cameron Residence, Design Victorian, Brampton
- > Reid Residence, Victorian Farmhouse, Caledon
- > Stonehaven Farm, restoration of stone heritage building, Ajax
- > National Competition: Spark Street Mall (Honourable Mention)
- > Strathrobyn Feasibility Study and Restoration Project, Defence Canada, Toronto
- > Medical Arts Building, Toronto, Feasibility Study and Restoration of Art Deco Lobby
- > Heritage Strategy for City of Brampton re Municipality owned heritage buildings.

Ryan C. Lee, M. Arch, B. Arch Sci. CAHP Intern Associate (Intern Architect)

Education

Master of Architecture/Ryerson University/ Toronto, Ontario/ 2013-2016

Bachelor of Architectural Science/ Ryerson University/ Toronto, Ontario/ 2009-2013

Associations

- > Intern Architect OAA (Ontario Association of Architects)
- > Intern CAHP (Canadian Association of Heritage Professional)
- > Member TSA (Toronto Society of Architects)
- > Member ACO (Architectural Conservancy Ontario)

Heritage Assessment/Impact Study

- > 7593 Creditview Road Heritage Assessment | Brampton, Ontario | Heritage Impact Assessment
- > 181 Main St. Interpretation Plan | Georgetown, Ontario | Interpretation Plan
- > 181 Main St. Heritage Assessment | Georgetown, Ontario | Heritage Assessment
- > 66 Queen St S Heritage Impact Assessment | Mississauga, Ontario | Heritage Impact Assessment
- > Cedarvale Park Heritage Assessment | Georgetown, Ontario | Heritage Assessment (Design)
- > Lowville Schoolhouse | Burlington, Ontario | Impact Study (Design)
- > 5780 Cedar Springs Road Assessment | Burlington, Ontario | Heritage Assessment
- > James McClure Farm Assessment | Mississauga, Ontario | Impact Study (Design)
- > 7887 Churchville Road Assessment | Mississauga, Ontario | Heritage Impact Assessment

Heritage Restoration

- > Guelph Bible Conference Centre | Guelph, Ontario | Renovation/Restoration
- > Auchmar Estate Coach House | Hamilton, Ontario | Renovation

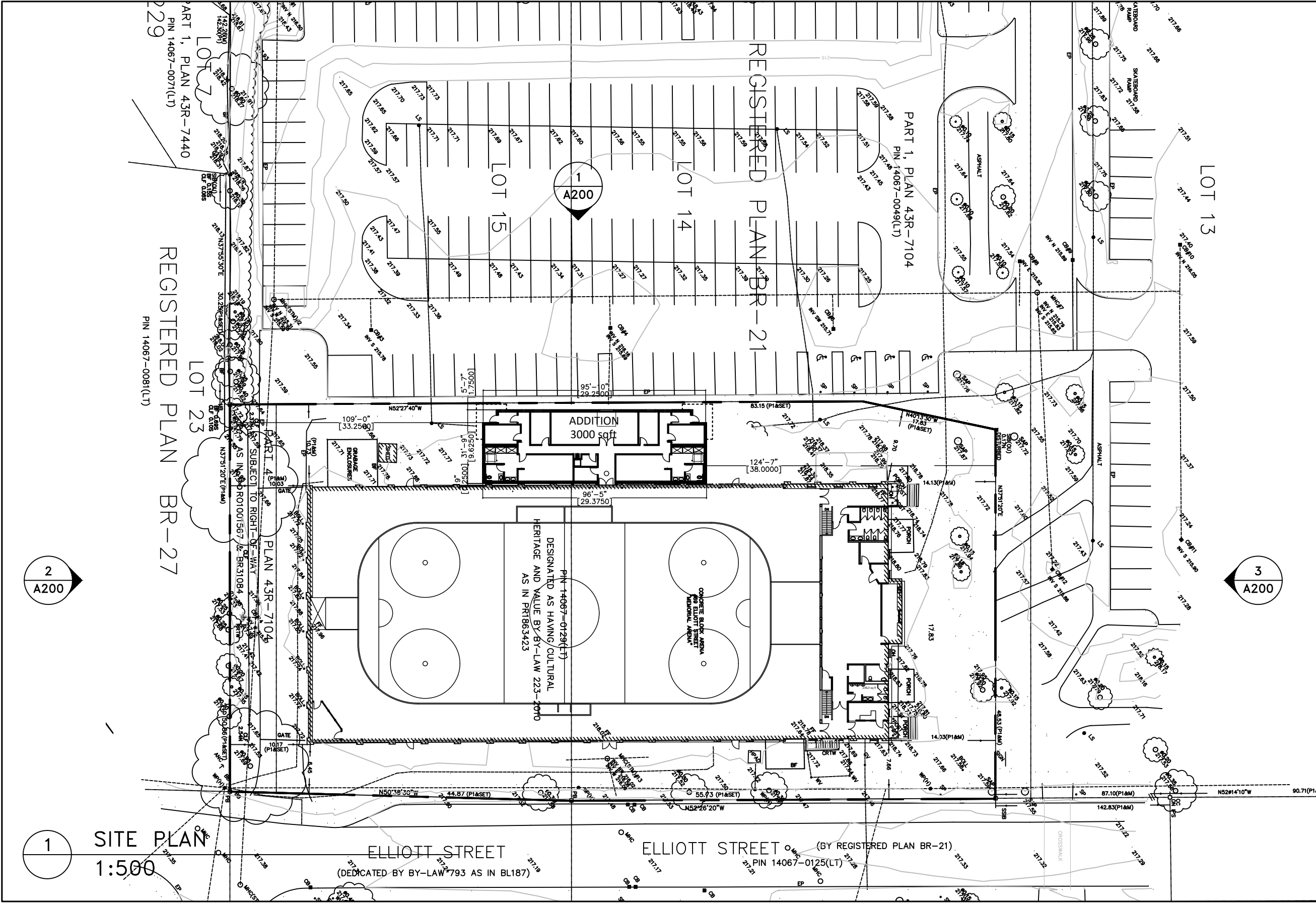
- > Lowville Schoolhouse| Burlington, Ontario| Renovation
- > 915 North Service Road | Mississauga, Ontario | New Construction

Publications

- > The Future of the Past: Toronto's Palimpsest Thesis publication and presentation at Ryerson University in Toronto, Canada| Winter 2016
- > Inundation 3 - Design research presentation at Cilwung Merdeka in Jakarta, Indonesia and exhibition at Ryerson University in Toronto, Canada| Summer 2015
- > Siloe Playground and Community Centre: A Public Intervention Design publication in Una Nueva Luz: A New Light Architectural Intervention in Cali's Comuna 20 at Ryerson University in Toronto, Canada| Fall 2013
- > Water Science Centre - Design Presentation at China Three Gorges University in Yi Chang, Hubei, China | Summer 2012

Speaking Engagements

- (2018) - National Trust Conference: Opportunity Knocks - National Trust for Canada - The Future of the Past: The Story of Toronto's Palimpsest



NOTES:

- Memorial Arena Addition - 3,000 sq.ft





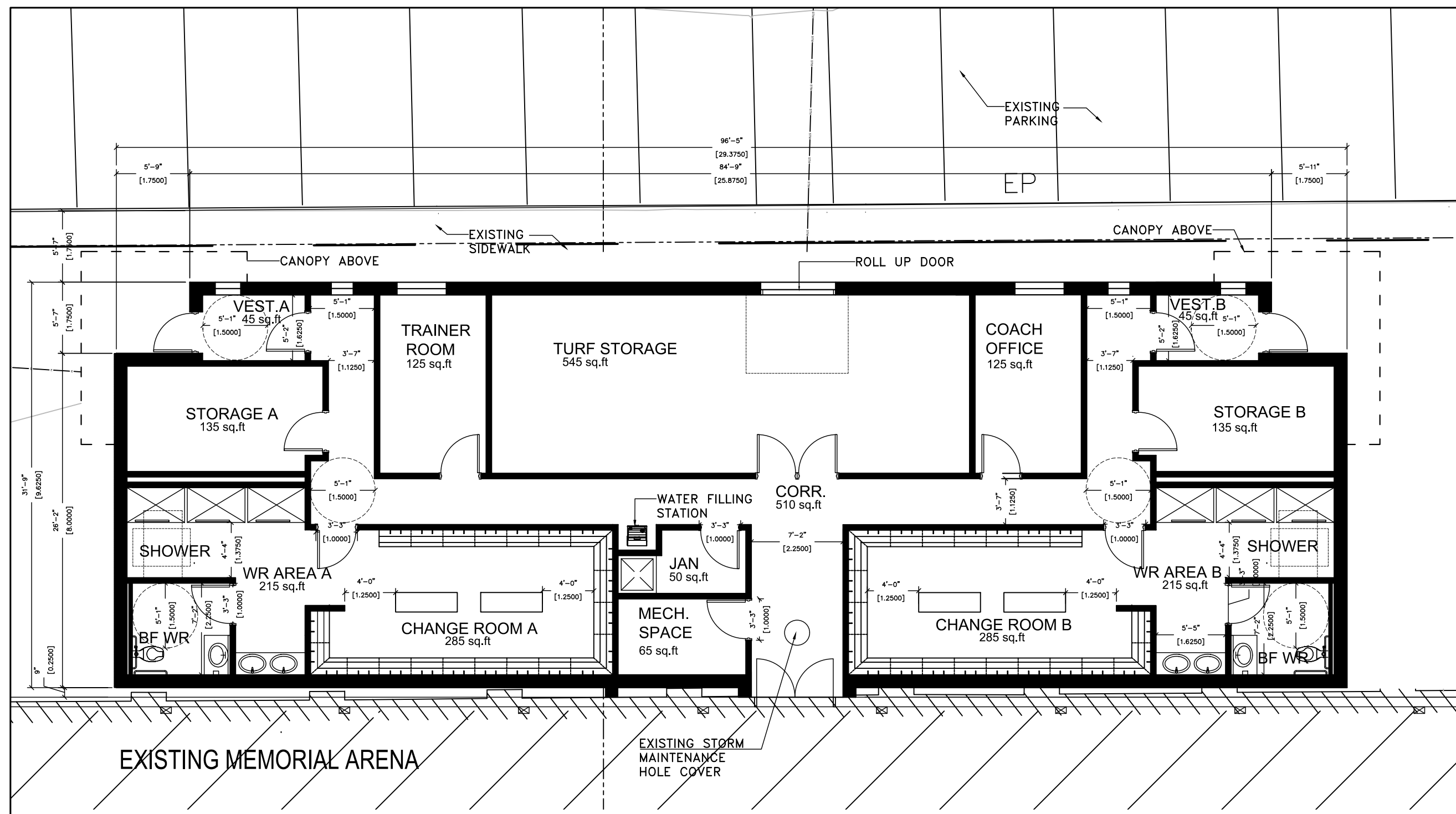
ADDRESS:
69 ELLIOTT STREET, BRAMPTON

PROJECT:
MEMORIAL ARENA
ADDITION

DATE: 06/12/22	SHEET: A100
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NOTES:

-  Memorial Arena Addition
- 3,000 sq.ft
-  Existing Memorial Arena
- 27,825 sq.ft



1 PLAN
A100 1:100

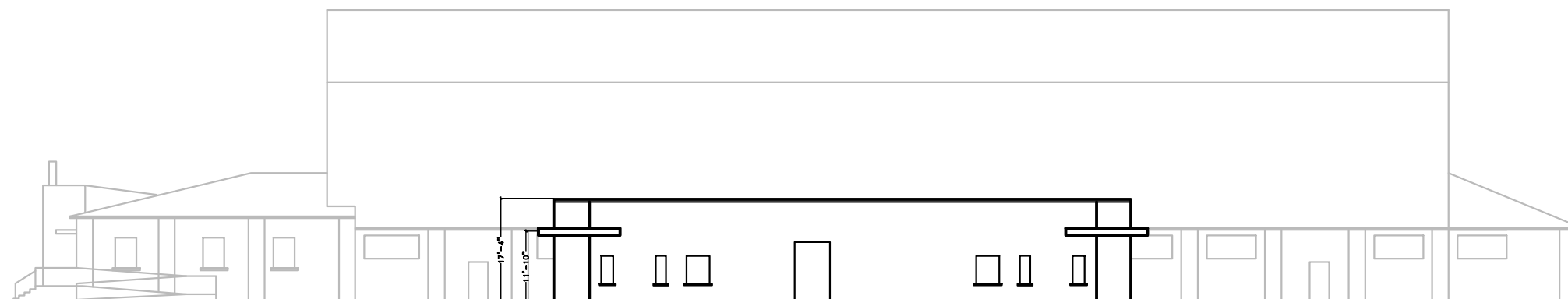


ADDRESS:
69 ELLIOTT STREET, BRAMPTON

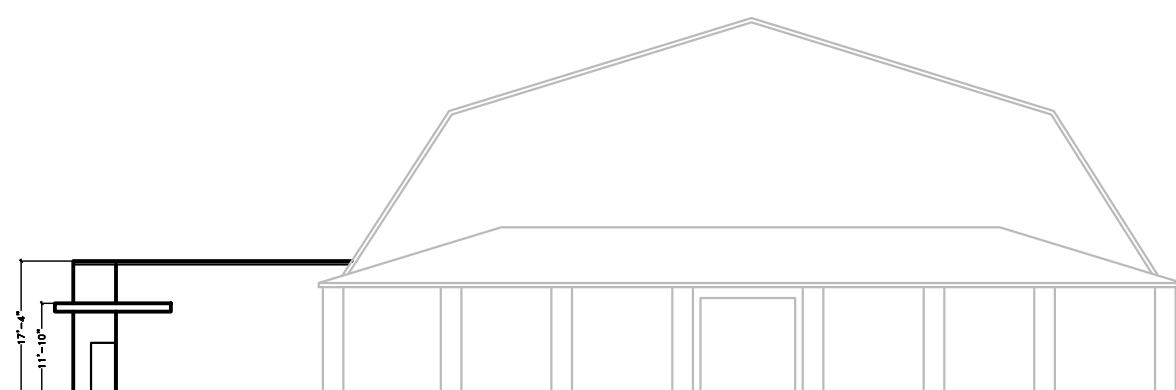
PROJECT:
**MEMORIAL ARENA
ADDITION**

DATE: 06/12/22	SHEET: A110
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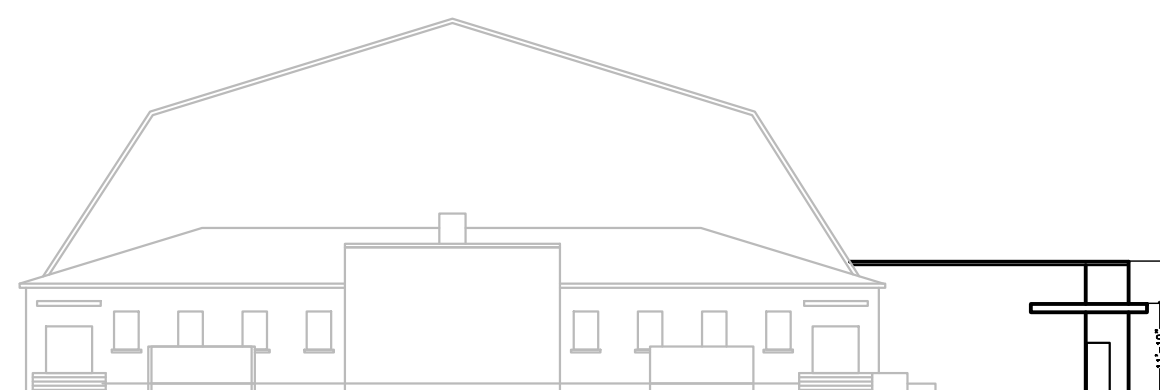
NOTES:



1 WEST ELEVATION
A100 1:300



2 SOUTH ELEVATION
A100 1:300



3 NORTH ELEVATION
A100 1:300

ADDRESS:
69 ELLIOTT STREET, BRAMPTON

PROJECT:
MEMORIAL ARENA
ADDITION

DATE:
06/12/22

SHEET:
A200

Date: 2022-12-28

Subject: Heritage Impact Assessment – 8520 Creditview Road (Eldorado Park) – Ward 4 (File H.EX. 8520 Creditview Road).

Contact: Harsh Padhya, Heritage Planner; City Planning & Design
Harsh.Padhya@brampton.ca, 905-874-3825

Report Number: Planning, Bld & Growth Mgt-2023-046

Recommendations:

1. That the report titled: Heritage Impact Assessment – 8520 Creditview Road (Eldorado Park) – Ward 4 (File H.EX. 8520 Creditview Road) and its recommendations to the Brampton Heritage Board Meeting of January 23, 2023, be received and accepted.

Overview:

- The Eldorado Park property at 8520 Creditview Road is owned and managed by the City of Brampton.
- The Eldorado Park property at 8520 Creditview Road is “Listed” on the City of Brampton’s Municipal Register of Cultural Heritage Resources.
- The City of Brampton is planning to upgrade Park facilities and is proposing changes to the site. This includes resurfacing of historical circulation routes and construction of a new Parks yard and Parks building that will incorporate a new splash pad, seating areas, and expanded parking.
- A Heritage Impact Assessment (HIA) was prepared to determine the impacts of the proposed park improvements on the cultural heritage value of the park and on the cultural heritage value of an adjacent cultural heritage resource, Camp Naivelt (8596 Creditview Road, Designated).
- The HIA recommends preservation of the rural and scenic quality of the park with minimum impact to the heritage attributes through the proposed development.

Background:

The Eldorado Park property at 8520 Creditview Road consists of two playgrounds, an outdoor pool, pedestrian pathways, open fields/ picnic areas, trees and a diverse mix of vegetation, and the Credit River. Eldorado Park is located on Creditview Road which is an identified Cultural Heritage Landscape and has been included on the Municipal Register as a Listed Heritage property. Eldorado Mill Pond, Dam and Sluice (8292 Creditview Road, Listed) is located to the south of Eldorado Park along the Credit River and has been recognized as being part of a much larger heritage landscape which includes Eldorado Park and Camp Naivelt as well as other sites within the area.

Eldorado Park is located on lands associated with Camp Naivelt which was owned by the United Jewish People's Order and its predecessor, the Labour League. Camp Naivelt was established in 1936 on lands formerly owned by the Canadian National Railway (CNR). Eldorado Park has been used for recreational purposes since its establishment and was the primary recreational space serving Camp Naivelt until the property was divided as it is today, Camp Naivelt and present-day Eldorado Park. The earliest iteration of the park made use of the Eldorado Mill Pond which no longer exists, but which has remnants of a dam and sluice downstream at the rear of 8292 Creditview Road.

The HIA was required to determine the impacts of the proposed park improvements on the cultural heritage value of the park and on the cultural heritage value of an adjacent cultural heritage resource, Camp Naivelt (8596 Creditview Road, Designated).

Current Situation:**Heritage Impact Assessment**

Heritage Staff have reviewed the Heritage Impact Assessment dated September 2021 prepared by Archaeological Services Inc. (ASI).

Based on evaluation it has been determined that the Eldorado Park property at 8520 Creditview Road has design and physical value, historical and associative value, and contextual value and therefore meets the criteria contained in Ontario Regulation 9/06. Future designation will be considered based on the statement of significance provided through this report.

The rural cross section of the existing circulation routes will be impacted by the design of the new circulation routes. The existing circulation routes are gravel with no curbs or ditches. The rural character is a significant feature of this park and integral to its context with the larger cultural heritage landscape particularly that of Creditview Road and Camp Naivelt. The rural cross-section of Creditview Road has been identified as a heritage attribute and the designation by-law for Camp Naivelt describes the rural, pastoral and scenic character of the area as being significant. The proposed development includes

some consolidation of parking areas which are currently along the circular driveway into a parking lot which will increase the number of available parking spots. This parking lot will alter the southern portion of the park, changing it from open grassed space to paved space.

The rural and scenic quality of the park – expressed through a combination of large trees, open fields, narrow gravel circulation routes, dense vegetation, the meandering course of the Credit River, topography, and park setting – must be preserved with minimum impact to the above attributes through the proposed development. Further, heritage staff concurs with the following recommendations made through this HIA.

1. Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
 - a. The existing main north-south circulation route which parallels the Credit River should be maintained in its current location which is a long-standing pathway and passes between rows of trees on either side. The circulation route may be changed from vehicular traffic to a pedestrian pathway with minimal impact to the heritage value of Eldorado Park.
2. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
 - a. Maintain existing circulation routes wherever possible. Existing and new circulation routes should be designed with a selection of materials that harmonize with the natural environment while still being accessible. Circulation routes should maintain a rural cross section which should not include curbs and minimize width. A strategy of separating pedestrian pathways from vehicular pathways should also be explored.
 - b. Circulation routes should not encroach on the rural cross section of Creditview Road as an identified cultural heritage landscape which is included on the Municipal Register as a non-designated property.
 - c. New buildings, landscape features, and park amenities should be suitably designed with natural materials and to maintain the rural character of the park. The choice of materials that harmonize with the natural environment and taking design cues from the cottages of Camp Naivelt would further mitigate impacts.
 - d. The new south parking lot should include a vegetative buffer or plantings at strategic locations around the new parking lot to reduce the visual impact of the parking lot.
3. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

Corporate Implications:

Financial Implications:

There are no financial implications resulting from the adoption of the recommendations in this report.

Other Implications:

Not applicable.

Term of Council Priorities:

This report aligns with a “City of Opportunities”, supporting the creation of complete communities by supporting the diversity and distinctiveness of the City through the preservation and conservation of its cultural heritage resources.

Living the Mosaic – 2040 Vision:

The report aligns with Vision 5 of *Living the Mosaic*: in 2040, Brampton will be a rich mosaic of cultures and lifestyle, coexisting in social responsibility, respect, enjoyment and justice.

Conclusion:

Heritage planning staff reviewed the application and submission material for conformity with the *Ontario Heritage Act*, the *Planning Act*, the *Provincial Policy Statement (2020)*, the Cultural Heritage policies of the City’s *Official Plan* and the *Standards and Guidelines for the Conservation of Historic Places in Canada*. The proposed upgrade to the park and measures to mitigate the impact on significant heritage attributes is acceptable. Heritage Staff concurs with the HIA and the recommendation therein.

Authored by:

Reviewed by:

Harsh Padhya
Heritage Planner

Charlton Carscallen, CAHP
Principal Planner/Supervisor, Heritage

Reviewed by:

Approved by:

Jeffrey Humble, MCIP, RPP
Manager, Policy, Program &
Implementation



Henrik Zbogor, MCIP, RPP
Acting Director, City Planning & Design

Attachments:

Appendix A – Heritage Impact Assessment - Eldorado Park, 8520 Creditview Road
Brampton, Ontario

Report authored by: Harsh Padhya, Heritage Planner

HERITAGE IMPACT ASSESSMENT

ELDORADO PARK, 8520 CREDITVIEW ROAD

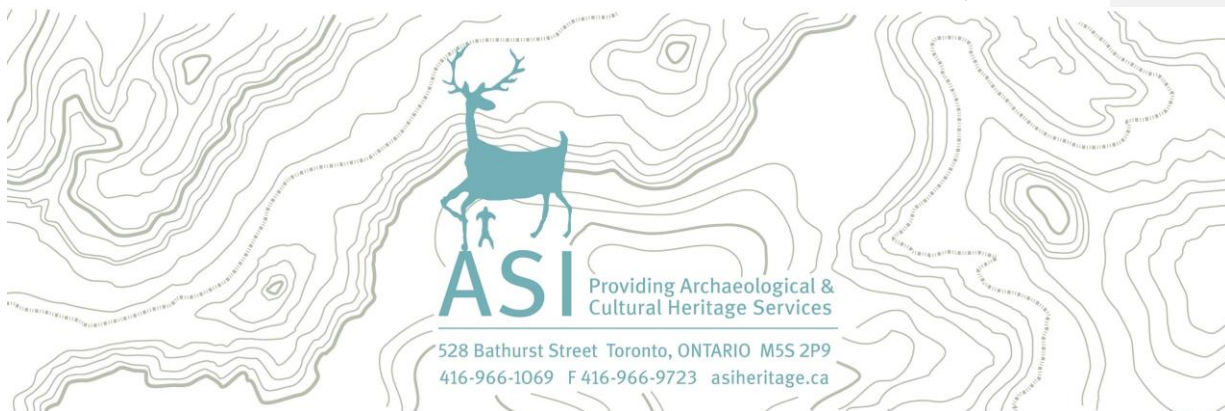
**CITY OF BRAMPTON
REGION OF PEEL, ONTARIO**

DRAFT REPORT

Serdika Consulting
3 Church Street, Suite 506
Toronto, ON M5E 1M2

ASI File: 21CH-110

September 2021



HERITAGE IMPACT ASSESSMENT

ELDORADO PARK, 8520 CREDITVIEW ROAD CITY OF BRAMPTON

EXECUTIVE SUMMARY

ASI was contracted by Serdika Consulting to prepare a Heritage Impact Assessment (HIA) for the Eldorado Park property at 8520 Creditview Road in Brampton, Ontario. The property is owned and managed by the City of Brampton. The property consists of two playgrounds, an outdoor pool, pedestrian pathways, open fields/picnic areas, trees and a diverse mix of vegetation, and the Credit River. The Eldorado Park property at 8520 Creditview Road is found on the City of Brampton's Municipal Register of Cultural Heritage Resources: 'Listed' Heritage Properties.

This report includes an evaluation of the cultural heritage value of the property as determined by the criteria in Ontario Regulation 9/06. This evaluation determined that the property has historical and contextual value.

The HIA is required to determine the impacts of the proposed park improvements on the cultural heritage value of the park and on the cultural heritage value of an adjacent cultural heritage resource, Camp Naivelt (8596 Creditview Road, Designated). Eldorado Park is located on Creditview Road which is an identified Cultural Heritage Landscape and has been included on Municipal Register as a non-designated (Listed) property. Eldorado Mill Pond, Dam and Sluice (8292 Creditview Road, Listed) is located to the south of Eldorado Park along the Credit River and has been recognized as being part of a much larger heritage landscape which includes Eldorado Park and Camp Naivelt as well as other sites within the area. While Creditview Road and Eldorado Mill Pond, Dam and Sluice do not meet the Provincial Policy Statement definition of adjacent, these sites have also been considered as part of this HIA.

Eldorado Park is located on lands associated with Camp Naivelt which was owned by the United Jewish People's Order and its predecessor, the Labour League. Camp Naivelt was established on the site in 1936 following ownership by the Canadian National Railway (CNR). The CNR operated the Toronto Suburban Railway/Canadian National Electric Railway which travelled through the subject property and ran an amusement park called Eldorado Park on the current park's grounds between 1925 and 1935 having been granted the land by Walter Ward and his wife who operated a privately-owned park called Eldorado since at c.1910. Eldorado Park has been used for recreational purposes since its establishment by Ward and was the primary recreational space serving Camp Naivelt until the property was divided into what is today Camp Naivelt and present-day Eldorado Park. The earliest iteration of the park made use of the Eldorado Mill Pond which is no longer extant, but which has remnants of the Dam and Sluice downstream at the rear of 8292 Creditview Road.

Based on the results of archival research, site survey, and analysis, and in accordance with the Parks Canada Standards and Guidelines, a rehabilitation approach should be adopted to guide the expansion and improvements proposed as part of the Master Plan for Eldorado Park. Rehabilitation involves "the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value" (Parks Canada 2010: 16). As a result, the following



general recommendations have been made based on the determined heritage values of the resources and in consideration of the overall impacts of the proposal:

The proposed changes to the site include the resurfacing of historical circulation routes, addition of new circulation routes, and the removal of historical circulation routes. As well as the proposed changes to circulation routes, an existing concrete block building is being removed, a new fieldhouse is being constructed and a new parks yard and parks building are being added. New amenities are being added such as accessible picnic shelters, splash pad, and surrounding landscape features. The proposed undertaking includes improvements to the park incorporating a new splash pad, seating areas, circulation routes, and expanded parking lots. Anticipated impacts include removal of heritage attributes such as select trees throughout the project area, removal and relocation of circulation routes, replacement of open grassed area with asphalt parking lot, and the paving of both vehicular and pedestrian circulation routes.

The following recommendations are proposed regarding the Eldorado Park improvements at 8520 Creditview Road:

1. Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
 - a. The existing main north-south circulation route which parallels the Credit River should be maintained in its current location which is a long-standing pathway and passes between rows of trees on either side. The circulation route may be changed from vehicular traffic to a pedestrian pathway with minimal impact to the heritage value of Eldorado Park.
2. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
 - a. Maintain existing circulation routes wherever possible. Existing and new circulation routes should be designed with a selection of materials that harmonize with the natural environment while still being accessible. Circulation routes should maintain a rural cross section which should not include curbs and minimize width. A strategy of separating pedestrian pathways from vehicular pathways should also be explored.
 - b. Circulation routes should not encroach on the rural cross section of Creditview Road as an identified cultural heritage landscape which is included on the Municipal Register as a non-designated property.
 - c. New buildings, landscape features, and park amenities should be suitably designed with natural materials and to maintain the rural character of the park. The choice of materials that harmonize with the natural environment and taking design cues from the cottages of Camp Naivelt would further mitigate impacts.
 - d. The new south parking lot should include a vegetative buffer or plantings at strategic locations around the new parking lot to reduce the visual impact of the parking lot.
3. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.



PROJECT PERSONNEL

<i>Senior Project Manager:</i>	Annie Veilleux, MA, CAHP Senior Cultural Heritage Specialist Manager - Cultural Heritage Division
<i>Project Administration:</i>	Jessica Bisson, BFA Project Coordinator – Cultural Heritage Division
<i>Project Manager:</i>	Kristina Martens, Dipl. Heritage Conservation Cultural Heritage Specialist Project Manager - Cultural Heritage Division
<i>Historical Research:</i>	Michael Wilcox, PhD Cultural Heritage Technician Technical Writer and Researcher - Cultural Heritage Division
<i>Field Review:</i>	Kristina Martens Annie Veilleux
<i>Report Production:</i>	Kristina Martens Michael Wilcox
<i>Graphics Production:</i>	Peter Bikoulis, PhD Archaeologist GIS Technician – Operations Division
<i>Report Reviewer(s):</i>	Kristina Martens Annie Veilleux



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1.0 INTRODUCTION

ASI was contracted by Serdika Consulting, on behalf of the City of Brampton, to prepare a Heritage Impact Assessment (HIA) for the Eldorado Park property at 8520 Creditview Road in Brampton, Ontario. The property is owned and managed by the City of Brampton. This HIA is structured to evaluate the cultural heritage value of the subject property and to provide an assessment of the proposed impacts to any identified cultural heritage value within the subject property in accordance with the City of Brampton's Official Plan (City of Brampton 2020) and the City of Brampton's Heritage Impact Assessment Terms of Reference (City of Brampton n.d.).

The subject property at 8520 Creditview Road is located on the west side of the road, approximately halfway between Steeles Avenue West to the south and Queen Street West to the north (**Error! Reference source not found.**). The property consists of two playgrounds, an outdoor pool, pedestrian pathways, open fields and picnic areas, trees and a diverse mix of vegetation, and the Credit River. The property is found on the City of Brampton's Municipal Register of Cultural Heritage Resources: 'Listed' Heritage Properties (City of Brampton 2021a).

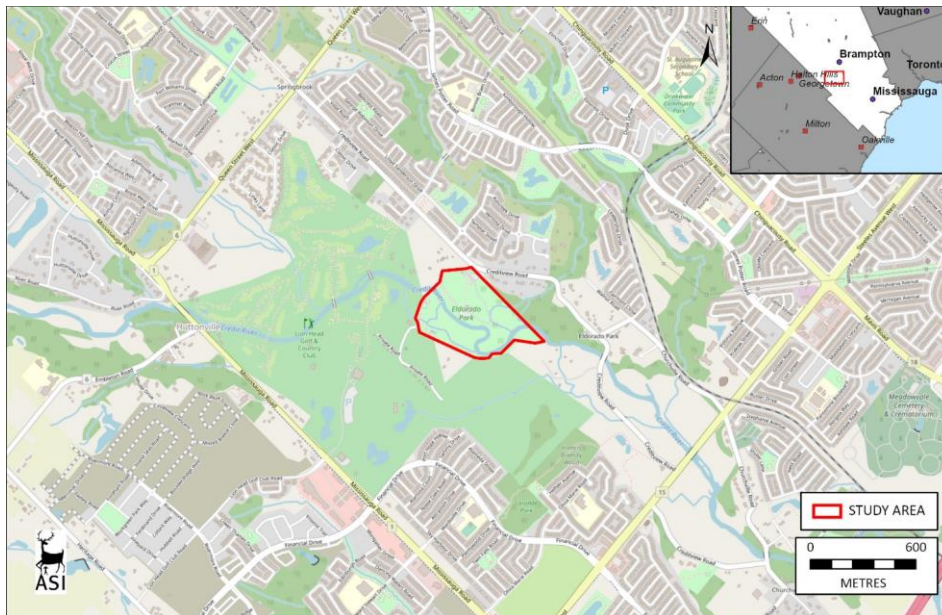


Figure 1: Location of the study area

The proposed undertaking includes improvements to the park incorporating a new splash pad, seating areas, circulation routes, and expanded parking lots.



The research, analysis, and fieldwork were conducted by Michael Wilcox and Kristina Martens, under the senior project direction of Annie Veilleux, all of ASI. This HIA follows the Ministry of Tourism, Culture and Sports' (now administered by the Ministry of Heritage, Sport, Tourism and Culture Industries) *Ontario Heritage Tool Kit* (Ministry of Culture 2006), the City of Brampton's Official Plan (City of Brampton 2020), the City of Brampton's Heritage Impact Assessment Terms of Reference (City of Brampton n.d.), and the *Standards and Guidelines for Conservation of Historic Places in Canada* (Ministry of Tourism, Culture and Sports 2010). Research was completed to investigate, document, and evaluate the cultural heritage resources within and adjacent to the study area.

This document will provide:

- a description of the subject property, including a detailed land use history of the site (Section 2.2) and photographic documentation (Section 3.0);
- an evaluation and description of the subject property's cultural heritage value based on archival research and site analysis, and contribution to the surrounding area (Section 4.0);
- an assessment of impacts of the proposed undertaking (Section 5.0); and,
- a description of potential mitigation measures and recommendations (Section 5.0 and 6.0).

1.1. Location and Study Area Description

The Eldorado Park property at 8520 Creditview Road in Brampton, Ontario is 21.4 hectares (53 acres) and is located on the west side of the road, approximately halfway between Steeles Avenue West to the south and Queen Street West to the north (**Error! Reference source not found.**). The property consists of two playgrounds, an outdoor pool, pedestrian pathways, open fields and picnic areas, trees and a diverse mix of vegetation, and the Credit River (see Plates 1-14 in Section 3.0 below). The surrounding area consists of dense tree coverage associated with Camp Naivelt to the west and north, a residential subdivision to the east (across Creditview Road), residences along Creditview Road to the east, and dense trees and Lionhead Golf Club and Conference Centre to the south (Figure 2).





Figure 2: Ortho image of the Eldorado Park property at 8520 Creditview Road

Base Map: Google

1.2. Policy Framework

The authority to request this Heritage Impact Assessment arises from the *Ontario Heritage Act* (Ministry of Citizenship and Culture 1990), Section 2(d) of the *Planning Act* (1990), the Provincial Policy Statement (2020), and the City of Brampton's *Official Plan* (City of Brampton 2020).

The list below includes the legislation reviewed in the preparation of this HIA:

- *Ontario Heritage Act* and Ontario Regulation 9/06 Criteria (1990);
- *Planning Act* (1990);
- Provincial Policy Statement (PPS) (2020);
- City of Brampton's *Official Plan* (City of Brampton 2020); and
- City of Brampton's Heritage Impact Assessment Terms of Reference (City of Brampton n.d.).

1.3. Project Consultation

A number of resources were consulted to confirm the existing or potential cultural heritage value of the property at 8520 Creditview Road and to request additional information generally. These resources include:



- The City of Brampton Municipal Register of Cultural Heritage Resources: 'Listed' Heritage Properties (City of Brampton 2021a);
- The City of Brampton's Municipal Register of Cultural Heritage Resources Designated under the *Ontario Heritage Act* (City of Brampton 2021b);
- Historical photos and Listing/Designation information for subject property and adjacent properties (City of Brampton Heritage Planning);
- Ontario Jewish Archives;
- Historical and genealogical records at Ancestry.com;
- The *Ontario Heritage Act Register* (Ontario Heritage Trust n.d.);
- The inventory of Ontario Heritage Trust easements (Ontario Heritage Trust n.d.);
- The *Places of Worship Inventory* (Ontario Heritage Trust n.d.);
- *Ontario Heritage Plaque Database* (Ontario Heritage Trust n.d.);
- Database of known cemeteries/burial sites curated by the Ontario Genealogical Society (Ontario Genealogical Society n.d.);
- *Canada's Historic Places* website (Parks Canada n.d.);
- *Directory of Federal Heritage Designations* (Parks Canada n.d.);
- Canadian Heritage River System (Canadian Heritage Rivers Board and Technical Planning Committee n.d.); and
- United Nations Educational, Scientific and Cultural Organization (UNESCO) World Heritage Sites (UNESCO World Heritage Centre n.d.).

The following stakeholders were contacted with inquiries regarding the heritage status and for information concerning the subject property and any additional adjacent cultural heritage resources (Table 1).

Table 1: Results of Stakeholder Consultation

Contact	Organization	Date(s) of Communications	Description of Information Received
Pascal Doucet	City of Brampton Planning, Building and Economic Development	14 and 29 June 2021 and 6, 7, and 8 July 2021	Provided listing and designation reports for nearby/adjacent properties and Eldorado Park as well as clarification regarding 'adjacent lands' as defined by the City of Brampton. Provided historical images of Eldorado Park and Eldorado Dam.
Michael Avis	Brampton Historical Society	18 August 2021	Response was outstanding at the time of report submission.
Karla Barboza, (A) Team Lead, Heritage	Ministry of Heritage, Sport, Tourism, and Culture Industries	18 and 27 August 2021	Response confirmed that there are no properties designated by the Minister and no provincial heritage properties within or adjacent to the study area.
Kevin De Mille, Natural Heritage Coordinator	Ontario Heritage Trust	18 and 19 August 2021	Response confirmed that the OHT does not have any conservation easements or Trust-owned properties within or adjacent to the study area.



1.4. Adjacent Heritage Properties

The subject property is adjacent to Camp Naivelt at 8596 Creditview Road which is a designated heritage property (By-Law 290-2010), recognized under Part IV, Section 29 of the *Ontario Heritage Act*. Eldorado Park is located along Creditview Road. Creditview Road itself has been identified as a Cultural Heritage Landscape (between Steeles Avenue West and Queen Street West) and is included on the Municipal Register as a non-designated (Listed) property. The subject property is also close to the site of the Eldorado Mill Pond, Dam and Sluice at the rear of 8292 Creditview Road. This property is included as a non-designated (Listed) property on the Municipal Register (City of Brampton 2021a). The Eldorado Mill Pond, Dam and Sluice has been identified in the listing report as being directly associated with a much larger heritage landscape which includes Eldorado Park and Camp Naivelt as well as other sites within the area. Figures 3 and 4 show the general relationships between these properties. See Appendix A for Listing and Designation reports.

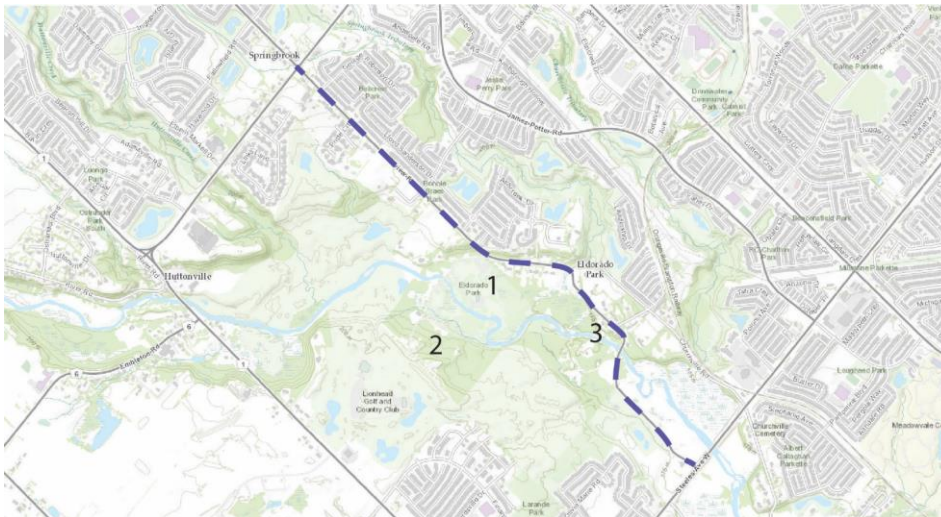


Figure 3: Adjacent heritage properties with Creditview Road CHL indicated by the dashed line, and numbered as 1 Eldorado Park, 2 Camp Naivelt, 3 Eldorado Mill Pond, Dam and Sluice.



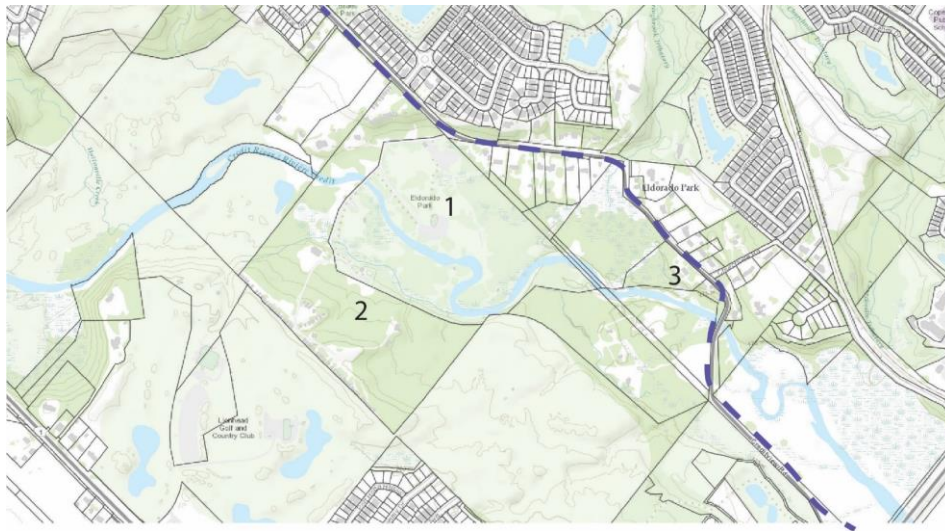


Figure 4: Adjacent heritage properties with Creditview Road CHL indicated by the dashed line, and numbered as 1 Eldorado Park, 2 Camp Naivelt, 3 Eldorado Mill Pond, Dam and Sluice.

2.0 HISTORICAL RESEARCH

A review of available primary and secondary source material was undertaken to produce a historical overview of the subject property, including a general description of Indigenous and Euro-Canadian settlement and land-use. The following section provides the results of this research.

The vast majority of the property is located in Lot 3, Concession 4, West of Hurontario Street (WHS) in the former Township of Chinguacousy, Ontario. A small section on the property's south side is located in Lot 2, Concession 4, WHS.

2.1. Summary of Early Indigenous History in Southern Ontario

Southern Ontario has been occupied by human populations since the retreat of the Laurentide glacier approximately 13,000 years ago, or 11,000 Before the Common Era (B.C.E.) (Ferris 2013).¹ During the Paleo period (c. 11,000 B.C.E. to 9,000 B.C.E), groups tended to be small, nomadic, and non-stratified. The population relied on hunting, fishing, and gathering for sustenance, though their lives went far beyond subsistence strategies to include cultural practices including but not limited to art and astronomy. Fluted points, beaked scrapers, and gravers are among the most important artifacts to have

¹ While many types of information can inform the precontact settlement of Ontario, such as oral traditions and histories, this summary provides information drawn from archaeological research conducted in southern Ontario over the last century.



been found at various sites throughout southern Ontario, and particularly along the shorelines of former glacial lakes. Given the low regional population levels at this time, evidence concerning Paleo-Indian period groups is very limited (Ellis and Deller 1990).

Moving into the Archaic period (c. 9,000 B.C.E. to 1,000 B.C.E.), many of the same roles and responsibilities continued as they had for millennia, with groups generally remaining small, nomadic, and non-hierarchical. The seasons dictated the size of groups (with a general tendency to congregate in the spring/summer and disperse in the fall/winter), as well as their various sustenance activities, including fishing, foraging, trapping, and food storage and preparation. There were extensive trade networks which involved the exchange of both raw materials and finished objects such as polished or ground stone tools, beads, and notched or stemmed projectile points. Furthermore, mortuary ceremonialism was evident, meaning that there were burial practices and traditions associated with a group member's death (Ellis and Deller 1990; Ellis et al. 2009).

The Woodland period (c. 1,000 B.C.E. to 1650 C.E.) saw several trends and aspects of life remain consistent with previous generations. Among the more notable changes, however, was the introduction of pottery, the establishment of larger occupations and territorial settlements, incipient horticulture, more stratified societies, and more elaborate burials. Later in this period, settlement patterns, foods, and the socio-political system continued to change. A major shift to agriculture occurred in some regions, and the ability to grow vegetables and legumes such as corn, beans, and squash ensured long-term settlement occupation and less dependence upon hunting and fishing. This development contributed to population growth as well as the emergence of permanent villages and special purpose sites supporting those villages. Furthermore, the socio-political system shifted from one which was strongly kinship based to one that involved tribal differentiation as well as political alliances across and between regions (Ellis and Deller 1990; Williamson 1990; Dodd et al. 1990; Birch and Williamson 2013).

The arrival of European trade goods in the sixteenth century, Europeans themselves in the seventeenth century, and increasing settlement efforts in the eighteenth century all significantly impacted traditional ways of life in Southern Ontario. Over time, war and disease contributed to death, dispersion, and displacement of many Indigenous peoples across the region. The Euro-Canadian population grew in both numbers and power through the eighteenth and nineteenth centuries and treaties between colonial administrators and First Nations representatives began to be negotiated.

The study area is located within Treaty 14 (Head of the Lake Treaty) territory. Treaty #14 was signed on September 5, 1806 by the Crown's representative, William Claus, Deputy Superintendent of Indian Affairs, and the Mississaugas of the Credit following the provisional agreement of 1805 (Treaty #13a). The land negotiated under this purchase consisted of 85,000 acres stretching along the north shore of Lake Ontario from the western boundary of the Toronto Purchase to the Brant Tract and the eastern boundary of the Head of the Lake Purchase (Treaty #3) in the east to a depth of 6 miles. As part of the terms of this purchase, the Mississaugas of the Credit retained sole right of fisheries at 12 and 16 Mile Creeks along with the possession of each creek's flats. In addition, the Mississaugas also reserved the sole right of fishing at the Credit River and were to retain a one-mile strip of land on each of its banks (Mississaugas of the Credit First Nation 2017a). In payment for these lands the Mississaugas of the Credit First Nation received a payment of £2,000.00 Quebec currency in goods (Surtees 1984:62–63; Crown-Indigenous Relations and Northern Affairs 2016). Modern cities found within the lands of the Head of the Lake Purchase include Oakville, Mississauga, and parts of Burlington (Mississaugas of the



Credit First Nation 2017a). These lands were further negotiated over the following two decades through Treaty #22 and #23, which saw the remaining Mississauga lands reduced to a 200 acre parcel on the east bank of the Credit River for the establishment of a mission village (Mississaugas of the Credit First Nation 2017b).

The signees on the British side included William Claus on behalf of the Crown, Commissioner D. Cameron on behalf of the province, Captain George R. Ferguson son the Canadian Regiment, Lieutenant William L. Crowther of the 41 Regiment, Hospital staff James Davidson, H.M Smith, P. Shelby assistant secretary of Indians Affairs, J.B. Rousseau, and interpreter David Price. The signees on the side of the Mississaugas included Chechalk, Quenepenon, Wabukanyne, Okemapennesse, Wabenose, Kebonecence, Osenego, Acheton, Pataquan, and Wabakagego.

2.2. Township and Settlement History

2.2.1 Township of Chinguacousy

The land within Chinguacousy Township was acquired by the British from the Mississaugas in 1818. The first legal settlers occupied their land holdings in the same year. Chinguacousy was initially settled by Loyalists who had served during the War of 1812, and by immigrants from England, Scotland, and Ireland. The township was originally included within the limits of the Home District until 1849, when the old Upper Canadian Districts were abolished. It formed part of the United Counties of York, Ontario, and Peel until 1851, when Peel was elevated to independent county status. A provisional council for Peel was not established until 1865, and the first official meeting of the Peel County council did not occur until January 1867. In 1974, part of the township was amalgamated with the City of Brampton, and the remainder was annexed to the Town of Caledon (Armstrong 1985; Mika and Mika 1977; Pope 1877; Rayburn 1997).

2.2.2 Land Use History – 8520 Creditview Road

The following land use history relies upon historical mapping, Ontario Land Registry Access records, listing and designation reports for surrounding properties, archival information and photographs, and websites.

The crown patent for 100 acres on the east half of Lot 3, Concession 4 WHS went to John Forest in 1863. However, the chain of title indicates that a Peter Walker secured a mortgage for the property in 1822, and by 1823, the occupant was Samuel Ridout. Soon thereafter, he sold the 100 acres to D'Arcy Boulton who in turn sold the land to James Forrest. Over the course of the rest of the 1820s and 1830s, the property seems to have been bought and sold by several members of the Forrest family, including James, David, John, and Robert Forrest (OLRA n.d.). The Forrest family also owned other properties on nearby lots around this time.

In 1841, Robert Forrest and his wife agreed to sell a small portion of their land on Lot 3 to Joseph Bradt et al for "Water privilege." This may indicate that a mill was constructed in this location soon



thereafter.² In 1842, Robert Forrest sold the property to James Forrest (OLRA n.d.). The 1859 Tremaine Map (Figure 5) shows the property under the ownership of Mrs. Mary Ann Forrest (as well as Lot 4 to the north, where a house is located), though her name does not appear in the Abstract/Parcel Register Book. A sawmill is located on the property but is west of the subject study area.

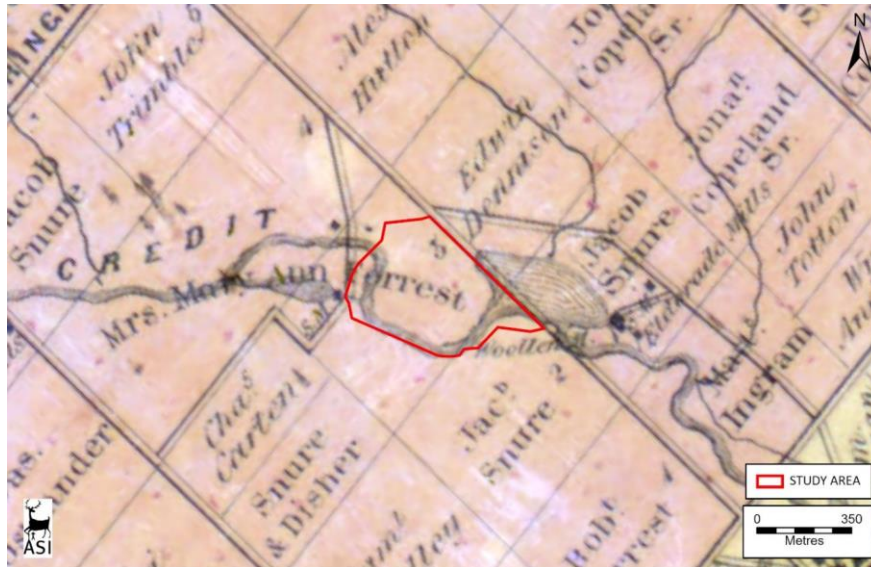


Figure 5: The study area overlaid on the 1859 Tremaine's Map of the County of Peel

Base Map: (Tremaine 1859)

Following James Forrest's death in 1862, the property came into John Forrest's ownership. An agreement was then reached between Forrest and William Hughes et al in 1863 whereby the latter appears to have taken over possession (OLRA n.d.). Lot 3 remained in Hughes' possession until c. 1876, when it was sold to Kenneth Chisholm et al (OLRA n.d.). Chisholm already owned and operated the Eldorado Mills on Lot 2, Concession 3 W.H.S., which he had purchased from Jacob Snure (City of Brampton 2006). On the Illustrated Historical Atlas, Chisholm's name appears as the property owner on the east half of Lots 2 and 3 and the full Lot 4, all on the 4th Concession, W.H.S. (Figure 6).

² It is known that in 1856 Jacob Snure built the Eldorado Dam and Mills on the Credit River a little further southwest of the subject property, on Lot 2, Concession 3 W.H.S. (now the rear of 8292 Creditview Road). The mills produced flour, wool, and lumber. The area was known as Edditha, followed by Snoortown or Snuretown after Jacob Snure, but the term Eldorado Mills was in use by 1859 (City of Brampton 2006).





Figure 6: The study area overlaid on the 1877 Historical Atlas of the County of Peel
Base Map: (Walker and Miles 1877)

Chisholm was an important local businessman and politician in Brampton. Besides running a grain-weighing business and general store, he was postmaster from 1855-1873, was reeve from 1867-71, 1873-75, 1876-77, and 1879, and was a Peel County warden from 1868-1870. He also served as a Liberal Member of Provincial Parliament from 1873-1892 and was a director of the Central Bank of Canada from 1883-1887 (Comeau-Vasilopoulos 1994). Chisholm retained ownership of the subject study area until 1887.³ That year, he sold the property to William B. Smith et al. In 1899, Smith sold the 100 acres to Alfred C. Passmore and in 1909, Passmore and his wife sold to Fred A. Hutton. Hutton immediately sold the property to Walter Ward (OLRA n.d.).

The 1909 topographic map (Figure 7) shows the subject study area in a rural context. Forested areas line the Credit River banks, and a Grist Mill is located in the same location as in earlier mapping. A few houses dot the landscape in the surrounding countryside, including along Creditview Road. The Canadian Pacific Railway is operating a track to the east of the study area.

³ It is unlikely that he ever lived on site as he erected an Italianate villa and estate property on Main Street in Brampton in 1867, now known as The Alderlea.



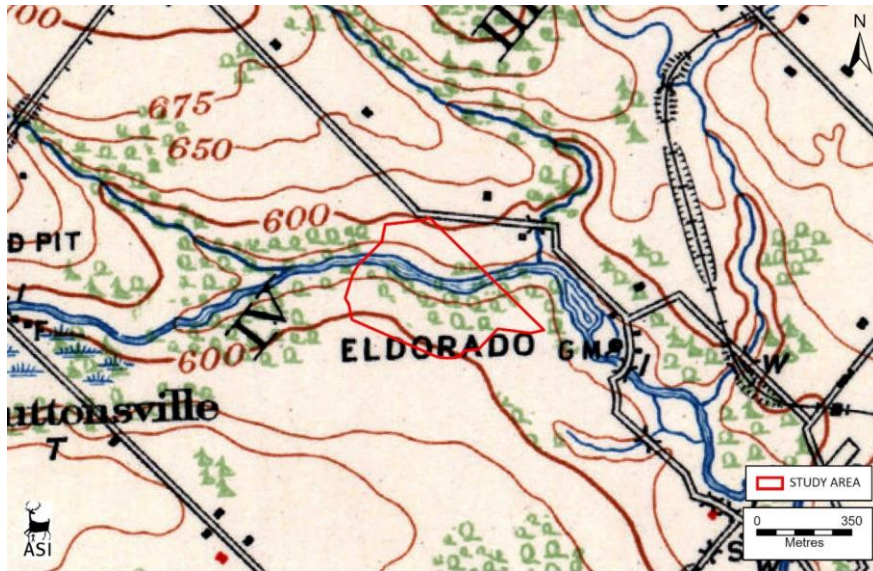


Figure 7: The study area overlaid on the 1909 topographic map (Brampton Sheet)
Base Map: (Department of Militia and Defence 1909)

It seems most probably that it was Walter Ward who transformed the property into a large private recreational area known as Eldorado Park (Figure 8 to Figure 12). He is listed as the park's proprietor on at least two postcards, and the earliest images of a park at Eldorado date to c. 1910.

Ward sold a small portion (3.23 acres) through the centre of the property to the Toronto Suburban Railway Co. in 1916 (OLRA n.d.). A railway track was built through the property soon thereafter. The 1918 topographic map (Figure 13) depicts the railway running along an east-west orientation through the study area, on the south side of the river.





Figure 8: Eldorado Park Picnic Grounds, c. 1910 (PAMA)

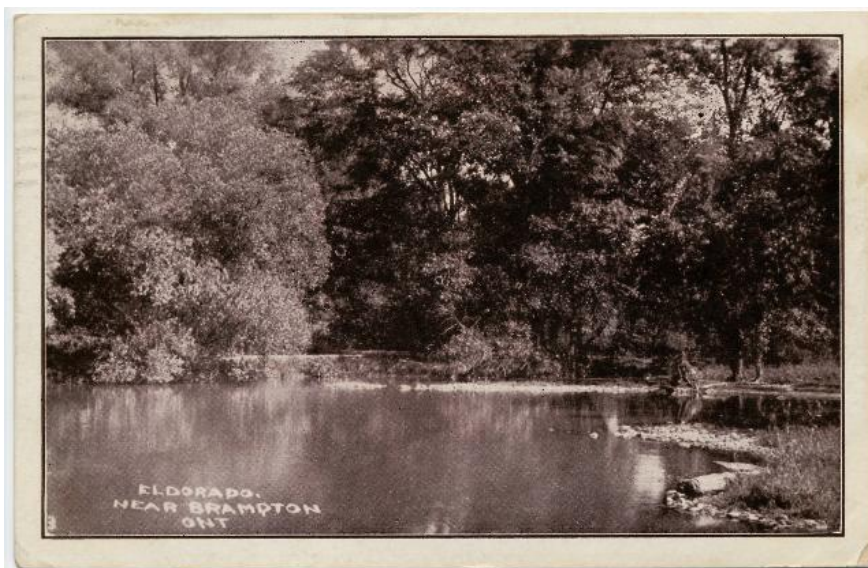


Figure 9: Eldorado Park, c. 1910 (PAMA)





Figure 10: Ideal Boating, Eldorado Park, c. 1910 (PAMA)



Figure 11: Sectional View, Eldorado Park, c. 1915 (PAMA)





Figure 12: Eldorado Park, near Brampton, c. 1920 (PAMA)

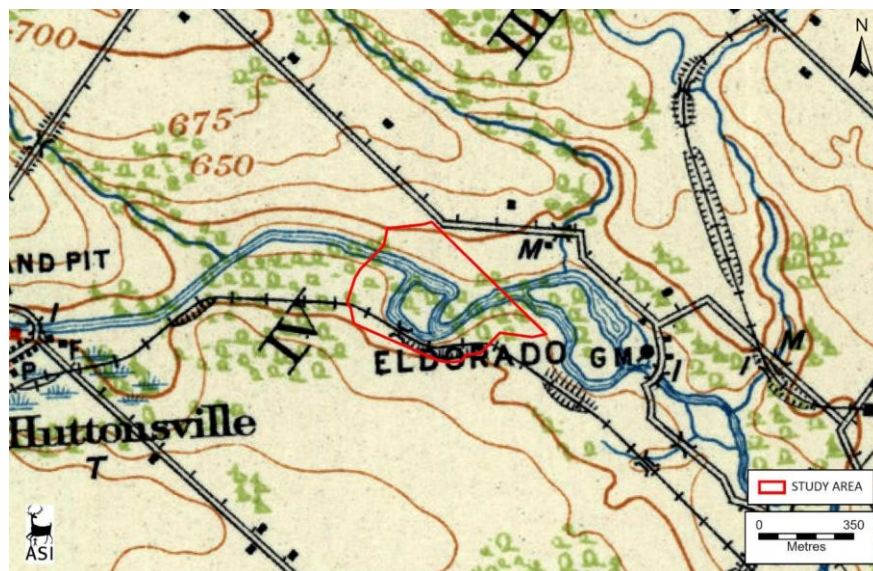


Figure 13: The study area overlaid on the 1918 topographic map (Brampton Sheet)
Base Map: (Department of Militia and Defence 1918)



The Toronto Suburban Railway ultimately connected Toronto with Guelph in 1917, and included 100 official stops, though a significant number of these stops likely only had a small shelter, if anything at all. Eldorado Park was a popular stop along the route, with day trippers venturing to the park for picnics and recreational activities.⁴ The Toronto Suburban Railway was overtaken by the Canadian Northern Railway in 1918 and was later taken over by Canadian National Railways (CNR) in the early 1920s. In 1923, CNR created the Canadian National Electric Railways to operate most of its electric railways, including the line through Eldorado Park (Kennedy 2009).

In 1925, Walter Ward and his wife granted the land to the Eldorado Suburban Park Co. Ltd., which was a company connected with (or a subsidiary of) the CNR (OLRA n.d.). That summer, the CNR opened an amusement and recreational park to encourage Sunday ridership and a c. 1930 photograph shows people gathered beside the electric rail car (Figure 14). The site included a Ferris wheel, dance hall, merry-go-round, and picnic areas (Kennedy 2009). A schedule of trips between Toronto and Guelph shows the Eldorado Park stop between Churchville and Huttonville (Figure 15).

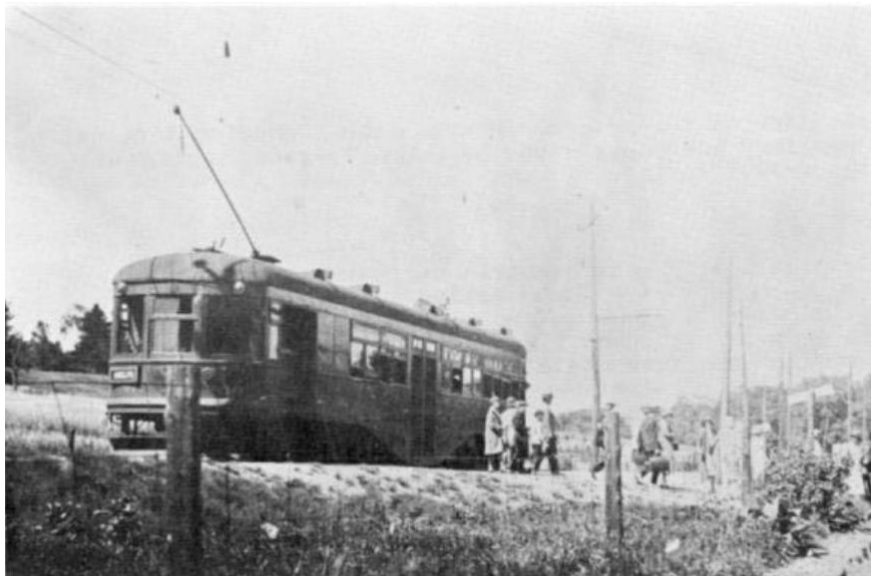


Figure 14: Radial car 106 stopped eastbound at Eldorado Park entrance, c. 1930 (Old Time Trains 2009)

⁴ The railway between Guelph and Toronto remained operational until 1931, when it went into receivership and shut down (http://www.trainweb.org/oldtimetrains/TSR/guelph_radial.htm) and the rails were removed during the Second World War (Hiking the GTA).



TORONTO SUBURBAN DISTRICT TORONTO-GEORGETOWN-ACTON-GUELPH									
TABLE No. 166									
Eastern Time									
Miles									
May 21st to Sept. 5th, Saturdays, Sundays and Holidays only, additional trains leave Toronto for Georgetown 1.30 p.m., 3.30 p.m., 5.30 p.m., and 7.30 p.m.	A.M.	A.M.	A.M.						
	10*30	*8.30	+6.30	0	Lv Toronto, Ont.	Ar.	*8.20	11*00	
	and every 2 hrs. to 8.30 P.M. also 11*00 P.M.				(St. Clair Ave. & Keele St.)				
		8.42	6.42	4.3	Islington		8.09	10.48	
		8.52	6.52	8.5	Dixie		8.00	10.39	
		8.56	6.56	10.0	Cooksville		7.56	10.34	
		9.06	7.06	15.3	Streetsville		7.46	10.23	
		9.10	7.10	17.3	Meadowvale		7.42	10.19	
		9.15	7.15	18.8	Churchville		7.38	10.15	
		9.18	7.18	20.4	Eldorado Park		7.35	10.12	
		9.21	7.21	21.4	Huttonville		7.32	10.09	
		9.27	7.27	24.5	Norval		7.27	10.03	
		9.35	7.35	28.0	Georgetown		7.19	9.57	
		9.55	7.55	34.7	Acton		6.58	9.37	
		10.00	8.00	37.6	Blue Springs		6.50	9.30	
		10.10	8.10	42.0	Eden Mills		6.39	9.19	
		10*30	+8.30	49.4	Ar Guelph, Ont.	Lv	*6.20	+9.00	11*00
A.M. A.M. A.M. A.M. A.M. A.M. A.M. A.M. A.M.									
FOR STEAM TRAIN SERVICES—Toronto-Guelph, see Tables 178 and 179.									

Figure 15: Travel information for the Toronto Suburban District of the Canadian National Electric Railways, 26 June 1927 (Kennedy 2009)

In 1928, Eldorado Suburban Park Co. Ltd. granted the land to the Canadian National Electric Railways who continued to operate the park. The 1929 topographic map (Figure 16) depicts “Eldorado Park” instead of just “Eldorado” as on previous mapping and shows the electric railway running through the study area, which remains in a rural context on the banks of the Credit River.





Figure 16: The study area overlaid on the 1929 topographic map (Brampton Sheet)
Base Map: (Department of National Defence 1929)

Facing declining attendance and costs during the challenging Great Depression, Eldorado Park was sold in 1935. It was purchased by Eldorado Camp & Amusements Limited, a holding company operating on behalf of, or with some kind of connection to, the Jewish-run Labour League. The holding company was necessary because, evidently, the CNR refused to sell the property to Jews. Several sources note that a sign outside the park read “No Jews or Dogs allowed” (United Jewish People’s Order 2020; Leonard 2010; Reiter 2004). The Labour League had been operating Camp Kindervelt for children since 1928 when they took over operations from the Jewish Women’s Labour League, who had begun the original camp at Long Branch in 1925 and who moved it to the Rouge Hills in 1926. Camp Kindervelt became Camp Kinderland when it officially opened on the former Eldorado Park property in June 1936. Camp Naivelt, a Yiddish word meaning New World, was added at the same time and later came to be the main name associated with the property. The United Jewish People’s Order, a successor organization to the Labour League, took over the camp’s operations in 1945.

The 1942 topographic map (Figure 17) depicts structures on the ground and shows that the former railway line is now a route for the Ontario Power Commission.



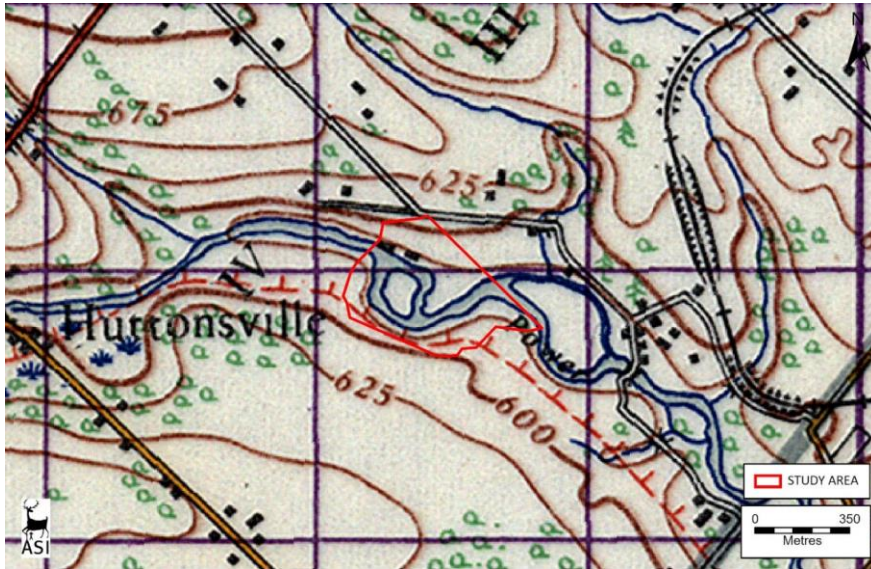


Figure 17: The study area overlaid on the 1942 topographic map (Brampton Sheet)
Base Map: (Department of National Defence 1942)

Located on 103 acres, the camp provided an escape from urban life and provided a safe space for working-class Jewish children. Working-class Jews had limited options to send their children places during the summer, either because of limited funds or because anti-Semitism meant that they were banned from attending other camps. As a result, Jewish camps sprang up across North America in the post-First World War era (Leonard 2010).

Camp Naivelt promoted secular Jewish cultural traditions such as music, art, dance, and the Yiddish language. Furthermore, the camp fostered political activism and social justice among the youth and tried to instill progressive ideas and socialist values. According to the United Jewish People's Order:

At its peak in the 1950's, Camp Kinderland housed 12 bunks, the Camp Director's cabin, an Arts & Crafts cabin, an infirmary and the "Ritz" (communal washrooms). The three rolling hills of Camp Naivelt had a swimming pool, some 90 small cottages, a communal dining hall, a dance hall, a youth recreation hall, a grocery store and a camp office. Activities ranged from lectures on current issues, films, poetry readings, Yiddish theatre, kultur vinkls (cultural corners), folk dancing and singing to the annual 'campaign for Mayor', boating and swimming, volleyball and other sports tournaments, hikes and nature walks and campfires (United Jewish People's Order 2020).

Famous American singers such as Paul Robeson (Figure 18), Pete Seeger (Figure 19), and Phil Ochs performed at the camp, which was known as an important site for promoting and engendering a folk



music scene in Canada. Amongst the most famous camp alumni are Sharon Hampson of Sharon, Lois, and Bram, Eddie Schwartz, Estelle Klein, Zal Yanovsky, and the founding members of The Travellers (Leonard 2010).



Figure 18: Paul Robeson at Camp Naivelt, 1949 (United Jewish People's Order 2020)



Figure 19: Pete Seeger performing at Camp Naivelt, 1955 (Leonard 2010)

The 1954 aerial photograph (Figure 20) depicts the subject area as a mix of dense trees along the Credit River as well as a large open space. There are cottages, trail networks, and open recreation areas associated with Camp Naivelt.





Figure 20: The study area overlaid on a 1954 aerial photograph
Base Map: (Hunting Survey Corporation Limited 1954)

In 1970, Eldorado Camp and Amusements Limited granted 53 acres of the land (on the east part) to the Corporation of the Township of Chinguacousy for use as a municipal park (OLRA n.d.) which today constitutes the boundary of Eldorado Park. A 1973 aerial image (Figure 21) depicts the study area with significant vegetation and tree coverage, as well as a large open field. A pool has been constructed south of the Credit River. The facilities associated with Camp Naivelt continue to be visible to the west and north. The 1994 topographic map (Figure 22) continues to show Eldorado Park as a large public park with picnic tables. At least three structures are found within the boundary. The cottages associated with Camp Naivelt continue to remain prominently visible to the north and west of the study area. The 2011 aerial image (Figure 23) shows a parking lot, trail network, trees, bridge, and other recreational facilities. A golf course has been built to the southwest.





Figure 21: The study area overlaid on a 1973 aerial image

Base Map: (City of Toronto Archives)

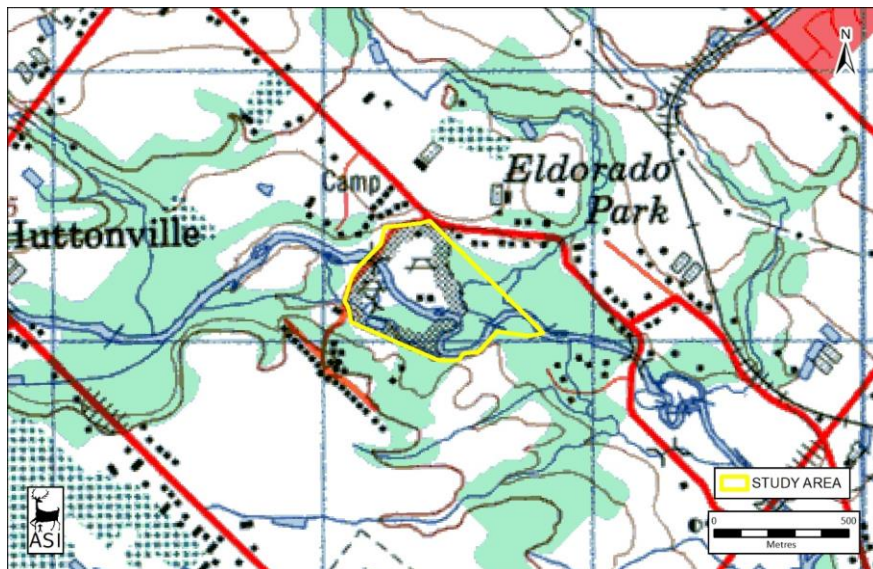


Figure 22: The study area overlaid on the 1994 NTS map (Brampton Sheet)

Base Map: (Department of Energy, Mines and Resources 1994)





Figure 23: The study area overlaid on a 2011 aerial image

Base Map: (City of Brampton 2011)

3.0 EXISTING CONDITIONS

Serdika Consulting informed the City of Brampton that ASI staff would be visiting Eldorado Park to survey and document the study area. The field review was conducted by Kristina Martens and Annie Veilleux on 19 August 2021. Site access was limited to a small degree as the southeast portion of the property was the site of a children's day camp and therefore public access was closed. No photographs were taken of any areas where children were playing, including the open fields of the day camp and the playground and swimming pool areas.

3.1. Landscape

The subject property at 8520 Creditview Road consists of a 21.4-hectare property located on the western edge of the City of Brampton. The area surrounding the park consists of dense tree coverage associated with Camp Naivelt to the west and north, a residential subdivision to the east (across Creditview Road), residences along Creditview Road to the east, and dense trees and Lionhead Golf Club and Conference Centre to the south.



While not officially organized into separate sections, the Eldorado Park property has three main areas: north of the Credit River, south of the Credit River, and the outdoor pool area at the most southwestern section of the park (Figure 24).

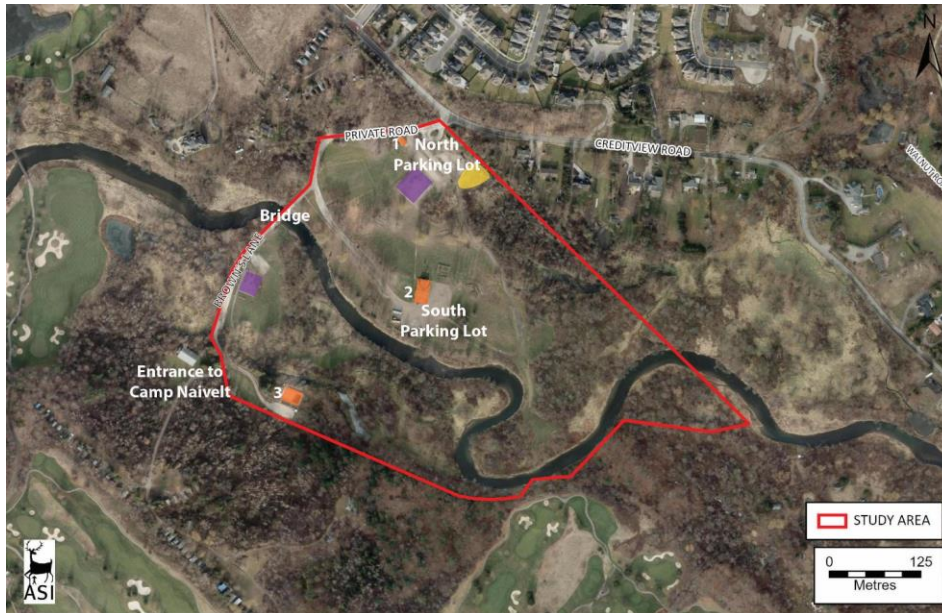


Figure 24: General arrangement of the park. Buildings are indicated in orange: 1 parks maintenance buildings, 2 pavilion/washroom, 3 outdoor swimming pool; playgrounds are indicated in purple; remnant orchard is indicated in yellow.

The area north of the river is the largest and most utilized area of the park. It features large open fields and picnic areas, trees, a playground, and a diverse mix of vegetation. The eastern half of the northern section is primarily filled with dense tree coverage (Plate 1 to Plate 3). This section of the property also has two parking areas, both of which are gravel (Plate 4). The northern parking lot features a rectangular concrete block building painted green, northwest of the playground (Plate 5). This building serves parks maintenance functions. To the south of this parking lot there is a remnant orchard and a wetland area. The other parking lot is located adjacent to the pavilion building/washroom facility, a stone structure with a green aluminum roof. At the time of inspection, the southeast portion of the park was closed to the public for day camp use, indicated by a temporary black chain fence (Plate 6). Additionally, there was a large open field that had been cordoned off for overflow parking by temporary fencing (Plate 7). All of the buildings on the site are in working condition.

Circulation routes allow for vehicular and pedestrian traffic to move throughout this section of the property (Plate 8 and Plate 9). The main vehicular roadway, Brown's Lane, runs from Creditview Road in an east-west direction before curving to move in a southeast-northwest direction – roughly parallel with the Credit River – toward the pavilion/washroom facility and parking lot. Southeast of the pavilion, the



roadway continues along this southeast-northwest direction before curving sharply to move in a north-south direction toward the parking lot associated with the playground area near the main entrance. This eastern portion of the roadway was closed off to vehicles during the site review due to day camp use. Pedestrians are free to walk throughout this whole section of the park. Of particular note is that frequent pedestrian usage has produced a 'desire line' representing the shortest and easiest route between the playground area and the pavilion (Plate 10).

The Credit River runs along a meandering course through the Eldorado Park property. One bridge allows vehicular and pedestrian traffic to cross the river (Plate 11). The area south of the river consists primarily of dense vegetation and tree coverage, with pedestrian pathways running through, particularly evident near the river (Plate 12 and Plate 13). This section of the property also includes a second playground, a public picnic area, and a small parking area.

The third main area of the park consists of an outdoor pool and surrounding lands at the most southwestern part of the property. It is located at the end of the main roadway and there is a small parking lot. Except for this parking lot, dense trees surround the pool on all sides (Plate 14). The main access gate for Camp Naivelt is located in this area.



Plate 1: Open field with large trees looking southeast from north of pavilion/washroom building (ASI 2021)



Plate 2: Trees and vegetation, with playground equipment in the background looking north from north side of pavilion/washroom building (ASI 2021)



Plate 3: Open field and picnic area looking east from the centre of the park (ASI 2021)



Plate 4: Gravel northern parking lot looking north from the southern corner of the lot (ASI 2021)





Plate 5: Parks building (ASI 2021)



Plate 6: Pavilion/washroom building and fencing for day camp use looking south (ASI 2021)



Plate 7: Overflow parking area with large trees in background looking north (ASI 2021)



Plate 8: Tree-lined gravel driveway looking south (ASI 2021)

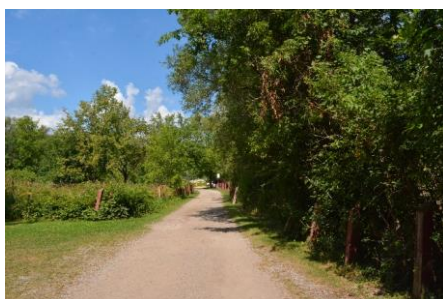


Plate 9: Tree-lined pathway looking north (ASI 2021)



Plate 10: Pedestrian desire line running along north-south axis connecting playground area with pavilion (Google Maps)





Plate 11: Bridge over Credit River looking northwest from south side of bridge (ASI 2021)

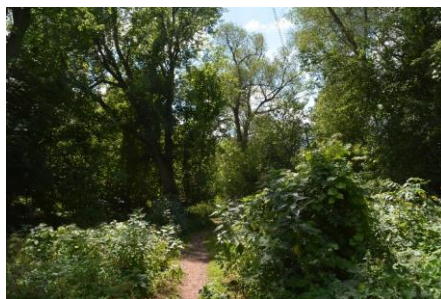


Plate 12: Walking trail and dense vegetation on south side of Credit River looking southeast (ASI 2021)



Plate 13: Trees and vegetation along the south side of Credit River looking southeast (ASI 2021)



Plate 14: Eldorado Park pool and trees (Google Maps)



4.0 CULTURAL HERITAGE VALUE

4.1. Existing Cultural Heritage Value

The Eldorado Park property at 8520 Creditview Road is included on the City of Brampton's Municipal Register of Cultural Heritage Resources: 'Listed' Heritage Properties (City of Brampton 2021a).

Eldorado Park has been identified as part of a larger heritage landscape that also encompasses Camp Naivelt (Designated), and the remains of Eldorado Mill Pond, Dam and Sluice (Listed). Other natural and built features that contribute to this larger heritage landscape include the small community of Churchville, the Bowstring Bridge, Creditdale Farm, Bonnie Braes, the Credit River, two rail lines (Credit Valley Railroad and Toronto Suburban Radial Railway), several archaeological sites, and the natural and scenic elements of the Credit River valley (City of Brampton 2006). This larger heritage landscape has been described as such within the listing report for Eldorado Mill Pond, Dam and Sluice. The boundary of this larger landscape is unknown.

The entire landscape began to take shape in the mid-nineteenth century when Jacob Snure built the Eldorado Dam and Mill along the Credit River south of what is now Eldorado Park. To help regulate water flow to power the mills, a mill pond was formed which – along with the Credit River's meandering course – required a substantial curve along Creditview Road. This scenic and narrow roadway has maintained this configuration ever since. Creditview Road between Steeles Avenue West and Queen Street West has been identified as a cultural heritage landscape and included on the Municipal Register as a Listed property. Heritage attributes of Creditview Road include: a rural cross-section with grassy swales, tree canopies and tree lines, individual mature specimen trees, hedgerows, gently curving, narrow roadway, and structures that are set back deep from the roadway, the Bowstring Bridge over the Credit River, Creditdale Farm and the rural character and scenic vistas (City of Brampton 2006).

4.2. Ontario Regulation 9/06 Evaluation

Table 2: Evaluation of Eldorado Park using Ontario Regulation 9/06

1. The property has design value or physical value because it:	
<i>Ontario Heritage Act Criteria</i>	<i>Analysis</i>
i. is a rare, unique, representative or early example of a style, type, expression, material or construction method;	The subject property meets this criterion in that it is an early example of a park in the City of Brampton. Established as early as 1910 for recreational use, the park has been continuously maintained as a recreational property through various ownerships.
ii. displays a high degree of craftsmanship or artistic merit, or;	The subject property does not meet this criterion. Eldorado Park is primarily known for its natural features and not its designed structures, which do not display a high degree of craftsmanship or artistic merit.
iii. demonstrates a high degree of technical or scientific achievement.	The subject property does not meet this criterion. Neither the structures nor the landscape demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it:	
<i>Ontario Heritage Act Criteria</i>	<i>Analysis</i>
i. has direct associations with a theme, event, belief, person,	The subject property meets this criterion. Eldorado Park has direct associations with secular Jewish organizations and with the Canadian



activity, organization or institution that is significant to a community;	National Railway. Eldorado Park is located on lands associated with Camp Naivelt which was owned by the United Jewish People's Order and its predecessor, the Labour League. Both of these organizations, as well as the Jewish Women's Labour League, were important secular Jewish organizations that were politically active and socially progressive with an emphasis on labour organization, social justice, and leftist action. Eldorado Park also has direct association with railway infrastructure generally and the Canadian National Railway (CNR) in particular. The CNR operated the Toronto Suburban Railway/Canadian National Electric Railway which travelled through the subject property and ran an amusement park called Eldorado Park on the current park's grounds.
ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or;	The property at 8520 Creditview Road is not known to meet this criterion. It is not anticipated that the property yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	The subject property does not meet this criterion. No architects or designers have been identified as being associated with Eldorado Park.
3. The property has contextual value because it:	
<i>Ontario Heritage Act Criteria</i>	<i>Analysis</i>
i. is important in defining, maintaining or supporting the character of an area;	The property at 8520 Creditview Road meets this criterion. Eldorado Park is an integral part of the area's rural and scenic character. It is situated in the Credit River valley with the river meandering through the park. The topography of the park, set lower than the immediate surroundings provide a sense of seclusion from residential development in the vicinity. It has a large tree canopy and many individual mature trees. The combination of large trees, open fields, dense vegetation, narrow gravel circulation routes, meandering course of the Credit River, topography and park setting are all important in defining and supporting the scenic rural character of the area. The site is a key component of the Credit Valley in Brampton.
ii. is physically, functionally, visually or historically linked to its surroundings, or;	The property at 8520 Creditview Road meets this criterion. The property is physically, historically and visually linked to its surroundings. The park is historically linked to the original Eldorado Park, which operated on the subject property from c. 1910 to 1936 and to Camp Naivelt as this property was once part of the larger camp. The park's landscape maintains the mature trees, large open spaces, topography, natural vegetation, and meandering Credit River and contains many of the same recreational options as it did in its original incarnation. The park is also physically linked to Camp Naivelt as the roadway through the park provides access to the Camp's main gate. The park maintains visual connections to Camp Naivelt.
iii. is a landmark.	The property at 8520 Creditview Road is not known to be a landmark.

Based on available information, it has been determined that the Eldorado Park property at 8520 Creditview Road has design and physical value, historical and associative value, and contextual value and therefore meets the criteria contained in Ontario Regulation 9/06.



4.3. Draft Statement of Significance

Description of Property

The Eldorado Park property at 8520 Creditview Road is located approximately halfway between Steeles Avenue West to the south and Queen Street West to the north in the City of Brampton. The property consists of recreational features, such as playgrounds and swimming pool, formal circulation routes, open fields and picnic areas, trees and a diverse mix of vegetation, and the Credit River.

Cultural Heritage Value or Interest

Eldorado Park is an early example of a park in the City of Brampton. Established as early as 1910 for recreational use, the park has been continuously maintained as a recreational place through various ownerships.

The Eldorado Park property has direct associations with secular Jewish organizations and with the Canadian National Railway. Eldorado Park is located on lands associated with Camp Naivelt which was owned by the United Jewish People's Order and its predecessor, the Labour League. Both of these organizations, as well as the Jewish Women's Labour League, were important secular Jewish organizations that were politically active and socially progressive. Camp Naivelt promoted secular Jewish cultural traditions such as music, art, dance, and the Yiddish language and emphasized labour organization, social justice, and leftist action. Eldorado Park also has direct association with railway infrastructure generally and the Canadian National Railway (CNR) in particular. The CNR operated the Toronto Suburban Railway/Canadian National Electric Railway which travelled through the subject property and ran an amusement park called Eldorado Park on the current park's grounds.

Eldorado Park has contextual value as an integral part of the area's rural and scenic character. It is situated in the Credit River valley with the river meandering through the park and has a sense of seclusion from residential development in the vicinity. The park's combination of mature trees and tree canopy, open fields, dense vegetation, meandering course of the Credit River, and park setting are all important in defining and supporting the scenic and rural character of the area. The site is a key component of the Credit Valley in Brampton.

The park is historically linked to the original Eldorado Park, which operated on the subject property from c. 1910 to 1936 and to Camp Naivelt as this property was once part of the larger camp. The park's landscape maintains the mature trees, large open spaces, topography, natural vegetation, and meandering Credit River and contains many of the same recreational options as it did in its original incarnation. The park is also functionally linked to Camp Naivelt as the roadway through the park provides access to the Camp's main gate.

Description of Heritage Attributes

- Rural and scenic quality of the park which is expressed through the combination of large trees, open fields, narrow gravel circulation routes, dense vegetation, meandering course of the Credit River, topography, and park setting.



- Brown's Lane as a key circulation route in the park, serving as a connection to Camp Naivelt providing access to the Camp's main gate and with its bridge crossing which provide access across the Credit River.
- The main north-south driveway running parallel to the Credit River which is a long-standing circulation route on the site and the trees which line this driveway which have been added over time.
- Dense tree canopy along the Credit River and throughout the eastern, southern and western areas of the park which include walking trails.
- Open areas used for a variety of recreational activities.
- Mature trees, including willows, through the open areas of the park.
- Swimming pool and its building.
- Rural cross-section of the driveways and circulation routes.
- Credit River which runs through the centre of the park.

5.0 PROPOSED DEVELOPMENT

5.1. Description of Proposed Development

The proposed development involves a series of improvements to the park incorporating a new splash pad, seating areas, circulation routes, and expanded parking lots. All of the work is occurring on the northeast side of the Credit River between the river and Creditview Road. This work represents Phase 1 of a Master Plan for the site. Phases 2 and 3 will occur on the southwest side of the Credit River. The Master Plan also indicates an area of wetland restoration and restoration and buffer areas.

Commented [KM1]: Zori – Can you please let me know if any of this work will be conducted as part of this phase of work.

A splash pad will be added as a feature on the north side of the existing playground area. The splash pad is proposed to be an irregular shape surrounded by coloured concrete edges that will be extended between and around the existing playground area. The splash pad will include a green island which will also provide a seating area. An additional seating area will be included on a concrete pad to the northeast side of the splash pad. A vegetative edge will be created along between the splash pad/existing playground area and the existing parking lot at the northeast part of the park.

The circulation routes and associated parking lots are proposed to undergo the most changes. The existing circular entrance will be removed as well as the existing concrete block building near to the entrance. Brown's Lane will be paved with asphalt and concrete and asphalt sidewalks will be provided along the southern edge of the roadway. An asphalt sidewalk extends onto Creditview Road. A new fieldhouse will be constructed. The existing parking lot at the northeast part of the park will also be paved with asphalt and will be reduced somewhat in size. The existing narrow gravel road which extends southward from this parking lot will be removed and a new roadway will be constructed through the existing wetland area. An accessible picnic shelter will be installed to the east of the new roadway midway between the north parking lot and the newly expanded south parking lot. The south parking lot is proposed to be enlarged to accommodate 225 vehicles. The parking lot will include eight islands for tree plantings. This parking lot will continue to serve the existing field house which will have a renewed area of colour concrete surrounding the building. An asphalt sidewalk will connect the parking lot to the existing playground area. A second accessible picnic shelter will be provided to the northwest of the existing field house.

Commented [KM2]: Zori – Can you please provide me the current number of parking spots broken down by the area where they are located?



The existing driveway and parking lot which extends in a southeasterly direction from Brown's Lane will be removed. A curvilinear asphalt sidewalk will provide a pedestrian connection between Brown's Lane and the south parking lot. Three trees are proposed for removal in this general location. This sidewalk will continue along the southern edge of the parking lot and continue along the Credit River to the southern point of the limits of the work. The intention is to create a future pathway beyond this point.

A new parks yard and parks building is proposed to be constructed at the north end of the park along Brown's Lane.

To carry out the above work, twenty-two trees are anticipated to be removed to accommodate the new circulation routes.

Drawings showing the Eldorado Park Master Plan, removals and layout are included as Appendix B.

Commented [KM3]: Arborists report is in progress and information on trees will be updated and refined when this report is finalized.

5.2. Impact Assessment – 8250 Creditview Road

To assess the potential impacts of the undertaking, identified cultural heritage resources are considered against a range of possible impacts, based on the *Ontario Heritage Tool Kit InfoSheet #5: Heritage Impact Assessments and Conservation Plans* (Ministry of Tourism and Culture 2006). These include:

- Destruction of any, or part of any, significant heritage attributes or features;
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance;
- Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;
- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;
- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces;
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.

Additional guidance is outlined in a document set out by the Ministry of Culture and Communications (now Ministry of Heritage, Sport, Tourism and Culture Industries) and the Ministry of the Environment entitled *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (October 1992) and include:

- Magnitude: the amount of physical alteration or destruction which can be expected;
- Severity: the irreversibility or reversibility of an impact;
- Duration: the length of time an adverse impact persists;
- Frequency: the number of times an impact can be expected;
- Range: the spatial distribution, widespread or site specific, of an adverse impact; and
- Diversity: the number of different kinds of activities to affect a heritage resource.



Impacts beyond those identified within the *Ontario Heritage Toolkit* were also considered, including potential vibration impacts related to the proposed development. Possible impacts are further discussed in Table 3 below.

Table 3: Impact Assessment – 8520 Creditview Road

Impact	
Destruction, removal or relocation	<p>The proposed development will result in the removal of twenty-two trees from the property.</p> <p>The proposed development will result in the removal and relocation of the main north-south driveway which parallels the Credit River. This circulation route has been present on the site since prior to its documentation in 1954. This driveway will be replaced with a pedestrian pathway constructed of asphalt and relocated slightly eastward and in a curving configuration.</p>
Alteration	<p>The rural cross section of the existing circulation routes will be impacted by the design of the new circulation routes. The existing circulation routes are gravel with no curbs or ditches. The rural character is a significant feature of this park and integral to its context with the larger cultural heritage landscape particularly that of Creditview Road and Camp Naivelt. The rural cross-section of Creditview Road has been identified as a heritage attribute and the designation by-law for Camp Naivelt describes the rural, pastoral and scenic character of the area as being significant. The proposed development indicates circulation routes will be paved with asphalt both for vehicular and pedestrian routes. A paved sidewalk is proposed to extend onto Creditview Road which will impact the rural cross section of the identified cultural heritage landscape.</p> <p>The proposed development includes some consolidation of parking areas which are currently along the circular driveway into a parking lot which will overall increase the number of available parking spots. This parking lot will alter the southern portion of the park, changing it from open grassed space to paved space.</p> <p>New amenities and features will be added to the park including a splash pad, concrete surrounds, a fieldhouse, parks yard and parks building. These changes are not anticipated to have a negative impact on heritage attributes.</p>
Shadows	There are no impacts related to shadows that would alter the appearance of a heritage attribute or change the viability of a natural feature or plantings.
Isolation	The proposed development will not result in the isolation of any heritage attributes from its surrounding environment, context or a significant relationship.
Direct or indirect obstruction of significant views	The proposed development will not result in the direct or indirect obstruction of significant views.
A change in land use	Eldorado Park will continue to serve as a park and provide recreational uses.
Land disturbance	Drainage patterns may be altered by the proposed changes to the circulation routes and the paving of the new routes. Archaeological reporting should be referred to determine if these changes may have an adverse affect on any archaeological resources.
Vibration	The proposed development is not anticipated to result in vibration impacts.

Commented [KM4]: Zori – this is an area we will refine through review of the arborists work to understand the rationale for the removals.



The City of Brampton's Official Plan identifies Eldorado Park as a Community Park (Schedule E: Major Recreational Open Space). Policies which apply to Community Parks, where feasible, include being focal points for the community, being served by transit, provide a range of outdoor active and passive recreation, incorporate natural or cultural heritage features, contain a recreational centre complex, generally be 10 to 12 hectares (25 to 30 acres) of tableland, and generally be located to serve 15,000 to 20,000 persons within a 3-kilometre radius.

The City of Brampton's *Parks and Recreation Master Plan* (June 2017) does not reference Eldorado Park specifically, only referring to the Eldorado Outdoor Pool which is recommended for an architectural study. The Master Plan refers to a Parkland Renewal Plan which is tasked with developing a prioritized list of parks to be redeveloped over the next fifteen years. The Master Plan states, "Renewal of existing parks is advanced given the aging state of certain municipal parks, the need to cost-effectively co-ordinate lifecycle renewals within individual parks, and respond to change demographics of neighbourhoods surrounding parks due to aging populations, infilling and intensification development pressures, etc." (2017: ii).

5.3. Alternatives and Mitigation

The alternative option is to do nothing. While doing nothing may result in less intervention to Eldorado Park in the short term, it does not meet the City of Brampton's objective for parks to respond to the changing demographics of neighbourhoods. The proposed developments and improvements within the park will result in greater accessibility to better meet the needs of the aging population.

The results of archival research and the site visit indicate that the proposed improvements to Eldorado Park have the potential to impact identified heritage attributes of the site and associated buildings and landscape features. Accordingly, mitigation measures should be developed to demonstrate that the cultural heritage values of these resources are appropriately conserved. Mitigation measures have been developed in accordance with Parks Canada's *Standards and Guidelines for the Conservation of Historic Places in Canada* (*Standards and Guidelines* hereafter) and the Ministry of Culture's *Eight Guiding Principles in the Conservation of Built Heritage Properties*.

Based on the cultural heritage value of Eldorado Park, and in accordance with the *Standards and Guidelines*, a rehabilitation approach should be adopted to guide introduction of new park amenities in this location. Rehabilitation involves "the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value" (Parks Canada 2010: 16). The following Standards have also been identified as relevant to the proposed project:

1. Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
2. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
3. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

Commented [KM5]: Zori – this is where more information on the accessibility objectives may be useful.



The following Guidelines have also been identified as they relate to the conservation of circulation systems with Eldorado Park:

1. Recommended: Retaining sound circulation systems or deteriorated circulation systems that can be repaired.
2. Recommended: Documenting all intervention that affect the circulation system, and ensuring that this documentation is available to those responsible for future interventions.
3. Recommended: Replacing a deteriorated circulation feature by using the physical evidence of its form, detailing and alignment to reproduce it. If using the same kind of material is not technically, economically or environmentally feasible, then a compatible substitute material may be considered; for example, replacing the decayed timber edge in kind along an historic trail. The replacement feature should be as similar as possible to the original, both visually and functionally. Not Recommended: Replacing an irreparable feature with a new feature that does not convey the same visual appearance.
4. Recommended: Designing and installing a new circulation feature, when required by a new use, that is compatible with the heritage value of the historic place, including controlling and limiting new access points and intersections along an historic road. Not Recommended: Installing a new circulation feature in a way that detracts from the historic circulation pattern; for example, creating a new bike path when an existing path can accommodate the new use. Introducing a new circulation feature this is visually incompatible in terms of scale, alignment, surface treatment, width, edge treatment, grade, materials or infrastructure.
5. Recommended: Complying with accessibility requirements in a manner that conserves character-defining circulation systems or features. Not Recommended: damaging character defining circulation systems or features while making modifications to comply with accessibility requirements.

The proposed changes to the site include the resurfacing of historical circulation routes, addition of new circulation routes, and the removal of historical circulation routes. As well the proposed changes to circulation routes, an existing concrete block building is being removed, a new fieldhouse is being constructed, and a new parks yard and parks building are being added. New amenities are being added such as accessible picnic shelters, splash pad, and surrounding landscape features.

These changes are anticipated to impact identified heritage attributes. However, some of the changes will also provide important improvements to accessibility on the site, a consideration encouraged by the Parks Canada Standards and Guidelines:

Providing people of all ages, interests and abilities with access to historic places is highly desirable and a frequently mandated social goal. Generally, the solutions that best balance accessibility needs with heritage value are those that enhance the use and appreciation of an historic place for everyone. Work should be carefully planned and undertaken so that impact on an historic place's heritage value and character-defining elements is minimized: the objective is to provide the highest level of access with the lowest level of impact (Parks Canada 2010:42).



Improved accessibility will make the site a more attractive place for new and existing users alike, thereby providing increased exposure to the cultural heritage value of the site and offering opportunities to provide interpretation and education about its history.

6.0 CONCLUSION AND RECOMMENDATIONS

Eldorado Park is located on lands associated with Camp Naivelt which was owned by the United Jewish People's Order and its predecessor, the Labour League. Camp Naivelt was established on the site in 1936 following ownership by the Canadian National Railway (CNR). The CNR operated the Toronto Suburban Railway/Canadian National Electric Railway which travelled through the subject property and ran an amusement park called Eldorado Park on the current park's grounds between 1925 and 1935 having been granted the land by Walter Ward and his wife who operated a privately-owned park called Eldorado since at c.1910. Eldorado Park has been used for recreational purposes since its establishment by Ward and was the primary recreational space serving Camp Naivelt until the property was divided into what is today Camp Naivelt and present-day Eldorado Park. The earliest iteration of the park made use of the Eldorado Mill Pond which is no longer extant, but which has remnants of the Dam and Sluice downstream at the rear of 8292 Creditview Road.

Based on the results of archival research, site survey, and analysis, and in accordance with the Parks Canada Standards and Guidelines, a rehabilitation approach should be adopted to guide the expansion and improvements proposed as part of the Master Plan for Eldorado Park. Rehabilitation involves "the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value" (Parks Canada 2010: 16). As a result, the following general recommendations have been made based on the determined heritage values of the resources and in consideration of the overall impacts of the proposal:

1. Conserve the heritage value of an historic place. Do not remove, replace or substantially alter its intact or repairable character-defining elements. Do not move a part of a historic place if its current location is a character-defining element.
 - a. The existing main north-south circulation route which parallels the Credit River should be maintained in its current location which is a long-standing pathway and passes between rows of trees on either side. The circulation route may be changed from vehicular traffic to a pedestrian pathway with minimal impact to the heritage value of Eldorado Park.
2. Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
 - a. Maintain existing circulation routes wherever possible. Existing and new circulation routes should be designed with a selection of materials that harmonize with the natural environment while still being accessible. Circulation routes should maintain a rural cross section which should not include curbs and minimize width. A strategy of separating pedestrian pathways from vehicular pathways should also be explored.
 - b. Circulation routes should not encroach on the rural cross section of Creditview Road as an identified cultural heritage landscape which is included on the Municipal Register as a non-designated property.



- c. New buildings, landscape features, and park amenities should be suitably designed with natural materials and to maintain the rural character of the park. The choice of materials that harmonize with the natural environment and taking design cues from the cottages of Camp Naivelt would further mitigate impacts.
 - d. The new south parking lot should include a vegetative buffer or plantings at strategic locations around the new parking lot to reduce the visual impact of the parking lot.
3. Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.



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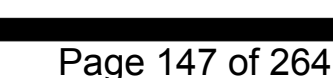


APPENDIX A: Listing and Designation Reports



APPENDIX B: Eldorado Park Master Plan, Removals and Layout Plans





Date: 2022-12-29

Subject: Removal of Non-Designated Properties from the City of
Brampton's Municipal Register of Cultural Heritage Resources

Contact: Merissa Lompart, Assistant Heritage Planner
Merissa.Lompart@brampton.ca

Report Number: Planning, Bld & Growth Mgt-2023-048

Recommendations:

1. That the report from Merissa Lompart, Assistant Heritage Planner, Planning, Building and Growth Management, dated, December 29, 2022, to the Brampton Heritage Board Meeting of January 23, 2021, re: **Recommendation Report: Removal of Non-Designated Properties from the City of Brampton's Municipal Register of Cultural Heritage Resources**, be received;
2. That the Brampton Heritage Board recommend removal of the properties listed in this report from the City of Brampton's Municipal Register of Cultural Heritage Resources as required under Part IV, Section 27 (4) of the Ontario Heritage Act (the "Act") for approval by Council;
3. That, following approval by Council to remove properties listed in this report, staff be authorized to publish a Notice of Removal on the City of Brampton's website, and to serve this Notice to applicable property owners.

Overview:

- The Province of Ontario's *Bill 23, More Homes Built Faster Act, 2022*, proposes changes to the *Ontario Heritage Act* that impact non-designated properties on the City of Brampton's Municipal Heritage Register. Staff have undertaken a review of the non-designated properties, to remove those which do not meet criteria for *Designation under Part IV of the Ontario Heritage Act*.

- Upon research and evaluation, it has been determined that the properties listed in this report do not meet the provincial criteria for municipal designation prescribed by *Ontario Regulation 9/06* under the categories of design/physical value, historical/ associative value and contextual value. The subject properties no longer retain Cultural Heritage Value or Interest due to demolition or loss to fire of the resources on the property.
- Upon Council approval, staff will remove these properties from the Municipal Register of Cultural Heritage Resources as required under the *Act*.

Background:

The City of Brampton has maintained a list of culturally significant properties comprising both designated resources under the *Ontario Heritage Act*, as well as non-designated or “listed” properties. This list is referred to as the Municipal Register of Cultural Heritage Resources (the Register). The Register includes over 600 properties identified as having Cultural Heritage Value or Interest. Of these, 386 of are non-designated/listed.

Current Situation:

As part of an ongoing Register update, Heritage Staff have brought forward for removal twenty-one (21) properties currently identified on the Register as listed or non-designated for removal. The resources listed below have been identified as not meeting criteria for designation under *O.Reg. 9/06 for Part IV of the Ontario Heritage Act*. The majority of them have already been demolished with a select few that have had Heritage Impact Assessments previously brought to the Brampton Heritage Board recommending removal from the Register although they remain standing. The following table provides the complete list of properties that are to be removed from the Heritage Register.

Property Address	Property Name and Construction Date	Heritage Status	Demolition Date	Reason for Loss	Ward Number
10671 Clarkway Drive	c. 1910	Listed	January 31, 2015	Fire	10
11 Nelson Street West	c. 1930s	Listed	Fall 2011	Demolition	1

11825 Torbram Road	c.1850-70	Listed	Summer 2013	Demolition (poor state of repair)	10
11903 Airport Road	Pre-1900	Listed	Fall 2017	Demolition (poor state of repair)	10
11962 The Gore Road	Ontario Gothic Farmhouse c.1871	Listed	Summer 2020	Demolition	10
172 Church Street East	Jennie Moodie Estate c.1887-90	Listed	October 31, 2019	Fire	1
2054 Embleton Road		Listed	Near Future	Demolition	6
30 Nelson Street West	c.1870	Listed	Fall 2019	Demolition	1
46 Elizabeth Street North		Listed	Fall 2019	Demolition	1
5 Railroad Street		Listed	Fall 2019	Demolition	1
50 Elizabeth Street North		Listed	Fall 2019	Demolition	1
55 Beech Street		Listed	Near Future	Demolition (Heritage Impact Assessment completed; does not meet O.Reg. 9/06)	1
59 Beech Street		Listed	Near Future	Demolition (Heritage Impact Assessment completed; does not meet O.Reg. 9/06)	1
61 Beech Street		Listed	Near Future	Demolition (Heritage Impact Assessment completed; does not meet O.Reg. 9/06)	1
6029 Mayfield Road	c.1861-71	Listed	Winter 2018	Demolition	10

6791 Mayfield Road		Listed	February 9, 2016	Fire	10
69 Queen Street West		Listed	Spring 2020	Demolished	3
7575 Kennedy Road	Pre 1877	Listed	Fall 2019	Demolished	3
7715 Kennedy Road South	Post 1877	Listed	Spring 2010	Fire	3
8472 Mississauga Road	c. 1876-77	Listed	Summer 2009	Demolished	6
8799 Heritage Road	c.1931	Listed	Near Future	Demolished	6

Corporate Implications:

Financial Implications:

None.

Other Implications:

None.

Term of Council Priorities:

None.

Conclusion:

Staff are seeking approval of the Brampton Heritage Board, and subsequently Brampton City Council, to remove the properties listed in this report from the City of Brampton's Municipal Register of Cultural Heritage Resources as required under Part IV, Section 27 (4) of the Ontario Heritage Act (the "Act") as amended by *Bill 23, More Homes Built Faster Act, 2022*.

Authored by:

Merissa Lompart
Assistant Heritage Planner

Reviewed by:



Charlton Carscallen
Principal Planner/Supervisor Heritage

Approved by:



Henrik Zbogor
Director of City Planning & Design

Approved by:

Steve Ganesh
Commissioner of Planning, Growth and
Economic Development

Attachments:

None.

Date: 2023-01-09

Subject: **Heritage Conservation Plan for 10431 The Gore Road – Ward 10**

Contact: Merissa Lompart, Assistant Heritage Planner
Merissa.Lompart@brampton.ca, 905-874-2618

Report Number: Planning, Bld & Growth Mgt-2023-078

Recommendations:

1. That the report from Merissa Lompart, Assistant Heritage Planner, dated January 9, 2023 to the Brampton Heritage Board Meeting of January 24, 2023, regarding the **Heritage Conservation Plan, 10431 The Gore Road – Ward 10, dated November 2022** be received; and
2. That the following recommendations as per the Heritage Conservation Plan by WSP be followed:
 - a. Sympathetic rehabilitation of the house will retain the building's late 19th century heritage attributes, reflect its changes through time, and accommodate contemporary use without compromising its authenticity or cultural heritage significance.
 - b. Secondary treatments, selected to conserve the heritage attributes of the 10431 The Gore Road for the future, are stabilization, preservation, and commemoration.
3. That the following conservation strategies be implemented. A complete and detailed explanation can be found in section 6 of the Heritage Conservation Plan.
 - a. Stabilize the structure
 - i. Monitor and secure
 - ii. Protect from adjacent construction
 - b. Rehabilitate
 - i. Draft architectural designs for a rehabilitated 10431 The Gore Road
 - ii. Relocate the structure

- iii. Inspect the sill and floor joists, and repair or strengthen if necessary
 - iv. Build the concrete foundation with basement and seat the house
 - v. Repair the main block roof and features
 - vi. Repoint and repair masonry and install drainage system if required
 - vii. Install new wood windows and exterior doors
 - viii. Rehabilitate the interior
 - ix. Rehabilitate the setting
 - c. Preserve
 - i. Develop and follow a maintenance and monitoring program
 - d. Commemorate
 - i. Designate the 10431 The Gore Road property and erect an interpretive plaque
- 4. That the table in *Section 7: Implementation Plan* of the Heritage Conservation Plan be followed.
- 5. That any changes to the Heritage Conservation Plan must be approved by Heritage Staff prior to any work on the resource being done, and that Heritage Staff will keep the Brampton Heritage Board updated on the progression of this conservation project.

Overview:

- **10431 The Gore Road was listed on Brampton's Municipal Register of Cultural Heritage Resources in 2011.**
- **A Heritage Impact Assessment (HIA) was requested by Heritage staff when Cachet Developments submitted a development application to the City of Brampton. The HIA demonstrated that the heritage resource at 10341 The Gore Road was worthy of Designation under *Part IV of the Ontario Heritage Act*. The HIA recommended a Heritage Conservation Plan be completed.**
- **The Heritage Conservation Plan was completed by WSP in November 2022. It is considered to be complete as per the City's Terms of Reference.**

Background:

10431 The Gore Road was built c. 1925, and is recognized for its Craftsman style of architecture. It was added to the City of Brampton's Municipal Register of Cultural Heritage Resources in 2011. A Heritage Impact Assessment was completed in 2017, and it concluded that the property meets designation criteria for *Part IV of the Ontario Heritage Act*.

As part of the subdivision development for this area, a Heritage Conservation Plan was required, and WSP was contracted to prepare this report.

Current Situation:

WSP has submitted a Heritage Conservation Plan (HCP) for the property at 10431 The Gore Road, a one-and-a-half storey Craftsman-style house. The HCP has been prepared to address the procedures and practices for moving the resource to its new lot within the subdivision, and restoring it. The building is currently in good condition.

The HCP contains a detailed outline of conservation strategies under the four main categories of Stabilize and Secure, Rehabilitate, Preserve, and Commemorate. The HCP also includes as-built drawings for reference, up to date photographs, a structural engineering report, and other information pertinent to conserving this resource.

Drawings for the reconstruction were completed by Sedgwick Marshall Heritage Homes and added as an appendix to the Conservation Plan.

Heritage Staff recommend this report to the Brampton Heritage Board as it meets the City of Brampton's Terms of Reference for Heritage Conservation Plans, as outlined in Section 8 of the Heritage Impact Assessment Terms of Reference.

Heritage Staff will continue to work with the applicant to ensure the best outcome for this Heritage Resource. Staff will also update the Brampton Heritage Board as this application progresses. This may be in the form of delegations or staff reports.

Corporate Implications:Financial Implications:

None.

Other Implications:

None.

Term of Council Priorities:

This project meets the Term of Council Priorities for promoting a *Healthy and Safe* city by focusing on community safety, improving mental health support, and encouraging active and healthy lifestyles. It also covers the *Green* Term of Council Priorities by promoting re-use and restoration, the more sustainable option.

Conclusion:

It is recommended that the **Heritage Conservation Plan for 10431 The Gore Road – Ward 10** be received by the Brampton Heritage Board as being complete.

Authored by:

Merissa Lompart
Assistant Heritage Planner

Reviewed by:

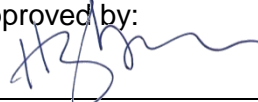


Charlton Carscallen
Principal Planner/Supervisor Heritage

Approved by:

Jeffrey Humble, MCIP RPP
Manager, Policy, Program and
Implementation

Approved by:



Henrik Zbogor, MCIP, RPP
Acting Director, City Planning & Design

Attachments:

Appendix A – Heritage Conservation Plan, WSP November 2022

CACHET DEVELOPMENTS (EMERALD CASTLE) INC.

HERITAGE CONSERVATION PLAN FOR 10431 THE GORE ROAD

LOT 13, CONCESSION 10 NERN DIV,
FORMER TOWNSHIP OF TORONTO GORE,
PEEL COUNTY NOW CITY OF BRAMPTON,
REGIONAL MUNICIPALITY OF PEEL,
ONTARIO

NOVEMBER 11, 2022





HERITAGE CONSERVATION PLAN FOR 10431 THE GORE ROAD

LOT 13, CONCESSION 10
NERN DIV, FORMER
TOWNSHIP OF
TORONTO GORE, PEEL
COUNTY NOW CITY OF
BRAMPTON, REGIONAL
MUNICIPALITY OF
PEEL, ONTARIO

CACHET DEVELOPMENTS (EMERALD
CASTLE) INC.

PROJECT NO.: OCUL2205
DATE: NOVEMBER 10, 2022

WSP E&I Canada Limited
3450 Harvester Road

Burlington, ON, L7N 3W5

T: +1 905-335-2353

WSP.com

Effective September 21, 2022, Wood Environment & Infrastructure Solutions Canada Limited is now operating as WSP E&I Canada Limited. No other aspects of our legal entity, contractual terms or capabilities have changed in relation to this report submission.

EXECUTIVE SUMMARY

WSP E&I Canada Limited (WSP) (formerly Wood Environment & Infrastructure Solutions Canada Limited) was retained by the Cachet Developments (Emerald Castle) Inc (the Client) to complete a Heritage Conservation Plan (HCP) to support the relocation and rehabilitation of the circa 1925 Craftsman Bungalow style house at 10431 The Gore Road in the City of Brampton, Ontario. The property is listed on the City of Brampton's Heritage Register as a "rare example of an early 20th century Craftsman style farmhouse in a rural context". It is understood that the Client intends to relocate and rehabilitate the house within a new residential development (the Project).

The purpose of an HCP is to describe the current understanding of the historic place, then recommend interventions that recognize and respect what is important about the historic place. The HCP has been prepared in accordance with the City of Brampton's *Heritage Impact Assessment Terms of Reference* and Sections 2.3.556 and 2.3.557 from the City of Brampton's *Official Plan* (2020a). This HCP is also informed by the Canada's Historic Places (CHP) *Standards and Guidelines for the Conservation of Historic Places in Canada* (CHP 2010), Public Works and Government Services Canada (PWGSC) *Architectural Conservation Technology Manual* (1994), Historic England *Informed Conservation* (Clark 2001), the *Practical Building Conservation* (Historic England 2018a-c) series, ICOMOS Australia *The Illustrated Burra Charter* (Walker & Kyle 2004) and *The Conservation Plan* (Kerr 2013), and *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation* (Fram 2003).

Following international, federal, provincial, and municipal guidance, this plan takes an understanding, planning and intervening approach to conserving 10431 The Gore Road, with goals to:

- Relocate and rehabilitate 10431 The Gore Road as a significant built heritage resource in the community.

To achieve these goals, WSP has recommended eleven (11) rehabilitation, preservation, and commemoration strategies to be implemented within two (2) years.

PROJECT PERSONNEL

Project Manager:	Henry Cary, PhD, CAHP, RPA
Field Investigation:	Chelsea Dickinson, BA Heidy Schopf, MES, CAHP
Report Preparation:	Chelsea Dickinson, BA Henry Cary, PhD, CAHP, RPA
Graphics:	Chelsea Dickinson, BA
Report Reviewers:	Heidy Schopf, MES, CAHP Henry Cary, PhD, CAHP, RPA

ACKNOWLEDGEMENTS

Shelby Swinfield	Development Planner at City of Brampton
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ABBREVIATIONS

CHRA	Cultural Heritage Resource Assessment
CHER	Cultural Heritage Evaluation Report
CHSR	Cultural Heritage Screening Report
CHVI	Cultural Heritage Value or Interest
HCP	Heritage Conservation Plan
HIA	Heritage Impact Assessment
MCM	Ministry of Citizenship and Multiculturalism
OHA	Ontario Heritage Act
PHP	Provincial Heritage Property
PPS	Provincial Policy Statement
SCHV	Statement of Cultural Heritage Value

GLOSSARY

Adjacent lands	Those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (Government of Ontario 2020).
Built Heritage Resource:	Means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the <i>Ontario Heritage Act</i> , or that may be included on local, provincial, federal and/or international registers (Government of Ontario 2020).
Conserved:	Means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (Government of Ontario 2020).
Cultural Heritage Landscape:	Means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the <i>Ontario Heritage Act</i> , or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms (Government of Ontario 2020).
Heritage Attributes:	Means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property) (Government of Ontario 2020).
Protected Heritage Property:	Means property designated under Parts IV, V or VI of the <i>Ontario Heritage Act</i> ; property subject to a heritage conservation easement under Parts II or IV of the <i>Ontario Heritage Act</i> ; property identified by the Province and prescribed public bodies as provincial heritage property under the <i>Standards and Guidelines for Conservation of Provincial Heritage Properties</i> ; property protected under federal legislation, and UNESCO World Heritage Sites (Government of Ontario 2020).

Significant:

In regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act* (Government of Ontario 2020).

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APPENDICES

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1 INTRODUCTION

WSP E&I Canada Limited (WSP) (formerly Wood Environment & Infrastructure Solutions Canada Limited) was retained by the Cachet Developments (Emerald Castle) Inc (the Client) to complete a Heritage Conservation Plan (HCP) to support the relocation and rehabilitation of the circa 1925 Craftsman Bungalow style house at 10431 The Gore Road in the City of Brampton, Ontario (Figure 1). The property is listed on the City of Brampton's Heritage Register as a "rare example of an early 20th century Craftsman style farmhouse in a rural context". It is understood that the Client intends to relocate and rehabilitate the house within a new residential development (the Project).

The purpose of an HCP is to describe the current understanding of the historic place, then recommend interventions that recognize and respect what is important about the historic place. The HCP has been prepared in accordance with the City of Brampton's *Heritage Impact Assessment Terms of Reference* and Sections 2.3.556 and 2.3.557 from the City of Brampton's *Official Plan* (2020a). This HCP is also informed by the following guidance documents:

- *Standards and Guidelines for the Conservation of Historic Places in Canada* (CHP 2010),
- *Architectural Conservation Technology Manual* (PWGSC 1994),
- *Informed Conservation* (Clark 2001),
- *Practical Building Conservation* series (Historic England 2018a-c),
- *The Illustrated Burra Charter* (Walker & Kyle 2004),
- *The Conservation Plan* (Kerr 2013), and
- *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation* (Fram 2003)

This HCP describes the current understanding of 10431 The Gore Road, then recommends planning and intervening measures that recognize and respect what is important about the historic place (CHP 2010:4). Overall, this HCP:

- Summarizes the heritage policies relevant to conserving 10431 The Gore Road;
- Provides an overview of the building's setting and structural history;
- Provides a draft Statement of CHVI and list of heritage attributes to reflect the current understanding of the building;
- Describes the building's physical condition;
- Develops goals for the building and identifies the objectives to achieve those goals;
- Recommends the primary and secondary conservation treatment options and a series of strategies to ensure the heritage attributes of 10431 The Gore Road are conserved; and,
- Outlines the schedule to achieve the goals and objectives and complete the recommended strategies.

Following guidance from heritage conservation pioneer James Kerr (2013:2), this HCP only includes what is relevant to conserving 10431 The Gore Road and does not extensively cover the previous historical research nor the theoretical basis for heritage conservation.

1.1 SCOPE OF WORK

WSP completed the following tasks for this HCP:

- **Background Review:** Existing documents were reviewed and summarized to provide a comprehensive understanding of the work completed to date, and planning tools in place for the property.
- **Information Gathering:** Information gathering requests were sent to the City of Brampton to obtain up-to-date heritage-related information about the property.
- **Field Review:** A site visit was conducted to document the properties heritage attributes and existing conditions.
- **Review of Condition Assessment:** The results of the 10431 The Gore Road structural condition assessment prepared by Tacoma Engineers (Appendix AAppendix B) was reviewed to identify structural constraints.
- **Planning Considerations and Approvals:** The City of Brampton planning requirements and municipal approvals were identified for each of the short-, medium-, and long-term conservation strategies for the property.
- **Conservation Strategy:** A conservation strategy for 10431 The Gore Road was prepared using the following guidance documents:
 - *Conservation Plans for Heritage Properties* (Ontario Heritage Trust 2012)
 - *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (MHSTCI 2010)
 - *Information Bulletin 2, Strategic Conservation Plans for Provincial Heritage Properties* (MHSTCI 2017b)
 - *Standards and Guidelines for the Conservation of Historic Places in Canada* (CHP 2010).
- **Action Plan, Implementation and Monitoring:** This HCP provides an action plan, implementation, and monitoring plan to conserve the property over the short, medium, and long terms



PROJECT: HERITAGE CONSERVATION PLAN FOR 10431 THE GORE ROAD, CITY OF BRAMPTON, ONTARIO		
TITLE: LOCATION OF THE STUDY AREA		
LEGEND: <div><div></div> STUDY AREA</div>		
NOTES: THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH THE WOOD ENVIRONMENT & INFRASTRUCTURE SOLUTIONS Report No. OCUL2118. ALL LOCATIONS ARE APPROXIMATE. REFERENCES: BASE AERIAL MICROSOFT® BING™		
<div>0 75 150 225 m</div> <div>SCALE:1:6,750</div>		
CLIENT: CACHET DEVELOPMENTS (EMERALD CASTLE) INC 361 CONNIE CRESCENT, SUITE 200 CONCORD, ONTARIO, L4K 5R2		
wood. Wood Environment & Infrastructure Solutions 50 TROOP AVENUE UNIT 300 DARTMOUTH, NOVA SCOTIA B3B 1Z1		
DWN BY: CD	CHK'D BY: HC	DATE: 2 JUNE 2022
DATUM: WGS 84	PROJECTION: UTM ZONE 17	PROJECT No.: OCUL2218
REV No.: 0		FIGURE No.: 1

2 PLANNING FRAMEWORK

Heritage properties are subject to provincial and municipal planning and policy requirements, as well as guidance developed at the federal and international levels. These have varying levels of authority at the local level, though generally are all considered when making decisions about heritage assets.

2.1 INTERNATIONAL & FEDERAL HERITAGE POLICIES

No federal heritage policies apply to the property, although many of the provincial and municipal policies detailed below align in approach to that of Canada's Historic Places (CHP) *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010; hereafter *CHP Standards and Guidelines*). Drafted in response to international and national agreements such as the *International Charter for the Conservation and Restoration of Monuments and Sites* (the *Venice Charter*, 1964), *Australia ICOMOS* [International Council on Monuments & Sites] *Charter for Places of Cultural Significance* (the *Burra Charter*, updated 2013) and *Canadian Appleton Charter for the Protection and Enhancement of the Built Environment* (the *Appleton Charter*, 1983), the *CHP Standards and Guidelines* define three conservation treatments – preservation, rehabilitation, and restoration – and outline the process and required and suggested actions relevant to each treatment. The principles provided in the *CHP Standards and Guidelines* form the basis of this HCP and are outlined in greater detail in Sections 5 and Section 6.

2.2 PROVINCIAL HERITAGE LEGISLATION & POLICIES

2.2.1 PLANNING ACT

Development and land use on privately owned or municipally owned property in Ontario is subject to the *Planning Act, R.S.O. 1990, c.P.13* (Government of Ontario 1990b). The *Planning Act* lays out the “ground rules” for land use planning in Ontario and includes direction for the provincial and local administration on planning matters in the province. The *Planning Act* also enables municipalities to develop Official Plans, which are to set goals, objectives, and policies to manage and direct local land use (Government of Ontario 1990b). Under the *Planning Act*, planning authorities are responsible for local planning decisions and creating local planning documents (i.e. Official Plans, Secondary Plans, and Heritage Conservation District Plans) that are consistent with the Provincial Policy Statement (PPS) and other applicable provincial legislation, such as the *Ontario Heritage Act*.

2.2.2 PROVINCIAL POLICY STATEMENT

The PPS provides policy direction on matters of provincial interest related to land use planning and development (Government of Ontario 2020:1). The PPS is applicable to the entire Province of Ontario. Under the PPS, the conservation of cultural heritage is identified as a matter of provincial interest. Section 2.6 of the PPS gives direction on the consideration of cultural heritage and archaeology (Government of Ontario 2020:31). Specifically, the following direction is given regarding built heritage resources, cultural heritage landscapes, and protected heritage properties:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

(Government of Ontario 2020)

2.2.3 ONTARIO HERITAGE ACT AND ONTARIO REGULATION 9/06

The *Ontario Heritage Act*, R.S.O. 1990, c. O.18, gives municipalities and the provincial government powers to protect heritage properties and archaeological sites (Government of Ontario 1990a). For Provincially owned and administered heritage properties, compliance with the Ministry of Heritage, Sport, Tourism and Culture Industries (MHTSCI) *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (MHSTCI S&Gs) is mandatory under Part III of the OHA and holds the same authority for ministries and prescribed public bodies as a Management Board or Cabinet directive.

For municipalities, Part IV and Part V of the OHA empowers council to “designate” individual properties (Part IV), or properties within a heritage conservation district (HCD; Part V), as being of “cultural heritage value or interest” (CHVI). Evaluation for CHVI under the OHA (or *significance* under PPS 2020) at the municipal level is guided by *Ontario Regulation 9/06* (O. Reg. 9/06), which prescribes the criteria for determining cultural heritage value or interest. O. Reg. 9/06 has three categories of absolute or non-ranked criteria, each with three sub-criteria:

- 1) The property has **design value or physical value** because it:
 - i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method;
 - ii) Displays a high degree of craftsmanship or artistic merit; or
 - iii) Demonstrates a high degree of technical or scientific achievement.
- 2) The property has **historic value or associative value** because it:
 - i) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;
 - ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or
 - iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.
- 3) The property has **contextual value** because it:
 - i) Is important in defining, maintaining or supporting the character of an area;
 - ii) Is physically, functionally, visually or historically linked to its surroundings; or
 - iii) Is a landmark.

A property needs to meet only one criterion of O. Reg. 9/06 to be considered for designation under Part IV of the OHA. If found to meet one or more criterion, the property's CHVI is then described with a Statement of Cultural Heritage Value or Interest (SCHVI) that includes a brief property description, a succinct statement of the property's cultural heritage significance, and a list of its heritage attributes. In the OHA heritage attributes are defined slightly differently to the PPS 2020 and directly linked to real property; therefore, in most cases a property's CHVI applies to the entire land parcel, not just individual buildings or structures.

Once a municipal council decides to designate a property, it is recognized through a by-law and added to a "Register" maintained by the municipal clerk. A municipality may also "list" a property on the Register to indicate it as having potential cultural heritage value or interest. The Study Area property at 10431 The Gore Road is listed on the Cities Heritage List under its municipal address.

2.2.4 PROVINCIAL GUIDANCE

As mentioned above, heritage conservation on provincial properties must comply with the MHSTCI S&Gs, but these also provide "best practice" approaches for evaluating cultural heritage resources not under provincial jurisdiction. The *Standards and Guidelines for the Conservation of Provincial Heritage Properties - Info Bulletin 2* advises on the contents and possible strategies for an HCP. The Ontario Heritage Trust, an agency of the province, has also developed terms of reference and suggested contents for conservation plans under their management, although these are less detailed (OHT 2012a; OHT 2012b).

To advise municipalities, organizations and individuals on heritage protection and conservation, the MHSTCI developed a series of products under the *Ontario Heritage Tool Kit*. Of these, *Heritage Resources in the Land Use Planning Process* (MHSTCI 2006) provides an outline for the contents of a HCP, which it defines as:

- A document that details how a cultural heritage resource can be conserved. The conservation plan may be supplemental to a heritage impact assessment but is typically a separate document. The recommendations of a plan should include description of repairs, stabilization and preservation activities as well as long term conservation, monitoring and maintenance measures.

Determining the optimal conservation strategy is further guided by the MHSTCI *Eight Guiding Principles in the Conservation of Historic Properties* (2012), which encourage respect for:

- 1) **Documentary evidence** – restoration should not be based on conjecture
- 2) **Original location** – do not move buildings unless there is no other means to save them since any change in site diminishes heritage value considerably
- 3) **Historic material** – follow "minimal intervention" and repair or conserve building materials rather than replace them
- 4) **Original fabric** – repair with like materials
- 5) **Building history** – do not destroy later additions to reproduce a single period
- 6) **Reversibility** – any alterations should be reversible
- 7) **Legibility** – new work should be distinguishable from old
- 8) **Maintenance** – historic places should be continually maintained

2.3 MUNICIPAL HERITAGE POLICIES

2.3.1 CITY OF BRAMPTON OFFICIAL PLAN

The City's Official Plan, last consolidated in 2020, informs decisions on issues such as future land use, transportation, infrastructure and community improvement within the City's limits. Section 4.10 of the Official Plan outlines the goal and policies for cultural heritage resources, with the latter defined as:

"Structures, sites, environments, artefacts and traditions which are of historical, architectural, archaeological, cultural and contextual values, significance or interest. These include, but are not necessarily restricted to, structures such as buildings, groups of buildings, monuments, bridges, fences and gates; sites associated with a historic event; natural heritage features such as landscapes, woodlots, and valleys, streetscapes, flora and fauna within a defined area, parks, scenic roadways and historic corridors; artefacts and assemblages from an archaeological site or a museum; and traditions reflecting the social, cultural or ethnic heritage of the community" (City of Brampton 2020a: Section 4.10-1).

The City's three objectives for cultural heritage policies include:

- Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations;
- Preserve, restore and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and, preserve cultural heritage landscapes; including significant public views; and,
- Promote public awareness of Brampton's heritage and involve the public in heritage resource decisions affecting the municipality.

For built heritage, the Official Plan states that "retention, integration and adaptive reuse...are the overriding objectives in heritage planning" and, importantly, that the "immediate environs including roads, vegetation, and landscape that are an integral part of the main constituent building or of significant contextual value or interest should be provided with the same attention and protection" (City of Brampton 2020a: Section 4.10.1). Guidance to conserve built heritage in the City looks to the *CHP Standards and Guidelines* (2010) as well as the *Appleton Charter* (City of Brampton 2020a: Section 4.10.1.8). Additionally, "Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects" (City of Brampton 2020a: Section 4.10.1.8) and "alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided" (City of Brampton 2020a: Section 4.10.1.9). Sections 4.10.1.15 through 4.10.1.18 address maintenance and minimum standards for heritage properties.

2.3.2 MUNICIPAL GUIDANCE

Cultural resource management can be addressed under Secondary Plans or other special policies. 10431 Gore Road is situated within the Highway 427 Industrial Secondary Plan Area 47. The Secondary Plan is partially under appeal with some components under appeal. The plan lists two main objectives for cultural heritage, one for built

heritage (4.2.7) and one for archaeological resources (4.2.8), for built heritage the plan, neither of which are under appeal:

4.2.7 *Retain and conserve buildings of architectural or historic merit on their original sites, where appropriate, and promote the integration of these resources into any plans which may be prepared for development on such sites in order that their heritage values, attributes and integrity are retained.*

(City of Brampton 2020b: 11)

The City has produced guidance for property owners and proponents such as the *Heritage Property Owner's Guide* (2022a) and the *Heritage Building Protection Plan: Terms of Reference* (2022b). The latter outlines the steps required to maintain and protect vacant buildings while a development application is being reviewed, while the *Heritage Property Owner's Guide* provides practical advice on heritage conservation as well as eight "heritage principles".

These are:

- 1) Conserve and repair rather than replace historic materials and finishes.
- 2) Repair with like materials.
- 3) Respect the building's whole history by not removing important elements in order to restore it to a single time period.
- 4) Use historic documents such as old photographs and drawings to guide your work.
- 5) Appreciate the original location of a structure by not moving it to a different location.
- 6) Make alterations reversible so that the future building restoration remains an option.
- 7) Make a distinction between new work and old.
- 8) Care for your building through continuous maintenance.

Although not specifically referenced, these match the "eight guiding principles in the conservation of historic properties" prepared by the MHSTCI and endorsed by the Ontario Heritage Trust.

3 UNDERSTANDING

The information provided in the following sections is excerpted from the CHC Limited 2017 *Heritage Impact Assessment 10431 The Gore Road Brampton* report. Figure references and footnotes have been removed for clarity.

2.1 Description

The subject property is comprised of a 48.8 acre (19.75 ha) remnant of the original 100 acre (40.4 ha) farm settled in 1873. Situated on the property are a house, driveshed and remnants of a former barn/ shed complex. A north-south oriented hedgerow divides the property into roughly two-thirds and one-third and a small tributary stream cuts diagonally across the southeast corner. Farmstead plantings of Colorado Spruce, White Spruce, Scot's Pine, Black Walnut, Norway Maple, Sugar Maple, etc. surround the house and site of the former barn. The house is set approximately 60' (18 m) from The Gore Road. The driveshed is behind the house and to the north side of it.

(CHC Limited 2017: 4-5)

2.2 Context

10431 The Gore Road is located in a mostly rural context that contains a number of residential estate lots and is rapidly becoming urbanized. The lands on the east side of The Gore Road are currently agricultural and being actively farmed. A few rural residential homes are dotted along the east side of the road, whereas there is more rural residential development on the west side. Immediately adjacent and to the south are two rural residences of the latter part of the 20th century on land that was part of the original farm. Immediately across The Gore Road is a very large recently constructed residence.

(CHC Limited 2017: 5-6)

2.3 Apparent physical condition, security, critical maintenance concerns and integrity of structures

The house appears to be in generally good condition. Woodwork is in need of paint; the chimneys need attention; otherwise, the exterior appears to be sound. The interior retains its original woodwork and other than requiring redecorating, it appears to be in good condition. A modern, high-efficiency, natural gas furnace heats the house. The house is occupied and the land is being actively farmed. There appear to be no immediate security issues. The driveshed is a modern steel-sided pole barn in apparently good condition.

(CHC Limited 2017: 6)

3.1 House

The 1½ storey polychromatic brick "California" or "Craftsman Bungalow" style house is set square to The Gore Road. It is nearly square in shape at approximately 40' x 32' (12m x 10m), including a slightly narrower tail. It is typical of the early 20th century Craftsman Bungalow style with its broad, low-pitched, almost bell-cast roof, large enclosed porch, overhangs, and large shed dormer with exposed roof rafters.

Window placement is reminiscent of the Arts and Crafts period, reflecting the interior layout. Windows are 3 over 1 throughout, including the dormer windows. An oriel window graces the south side, opening into the interior side staircase. The north side of the house sports a bay window. Window lintels are arched brick; sills are cast concrete. A door at a half-storey level leads outdoors on the south elevation and another door

leads to the south from the tail. The same polychrome brick is used for the corbelled chimneys, the north side chimney serving a fireplace and the south side a wood-burning, kitchen cook stove. The foundation is parged granite fieldstone, perhaps collected from the farm. The roof is clad with asphalt shingles as is the side of the shed dormer and roof of the bay and oriel windows. An outdoor 2nd storey porch is found on the tail of the house.

Details typical of the Bungalow-style are found throughout the exterior. The interior is typical of the style as well and has Arts and Crafts influences in its woodwork and leaded glass. A side staircase leads from the front entrance to the second floor, enhanced by a south-facing oriel window. Leaded and bevelled glass French doors lead from the vestibule to the living room and from the kitchen to the dining room and from the dining room to the living room. Doors and mouldings in the principal rooms and vestibule of the downstairs are varnished oak which appears to have its original finish. Floors are oak hardwood. The kitchen is divided into two rooms, one containing a wood-burning cookstove, cupboards and eating area; the other, a sink, appliances and pantry. Upstairs trim and doors are painted pine. Floors are pine, partly stripped and varnished, and partly painted or stained. There is a full basement of full height with a concrete floor, wood beams and joists and massive concrete support posts.

(CHC Limited 2017: 7-14)

3.2 Chronological History

Tremaine's Map of Peel County, 1859 shows the 100 acre west half of Lots 12 and 13 in the ownership of John Adams. The property remained intact until 1970 when it was subdivided. Further subdivision occurred in the 1970s and in 1982, easements dividing the original 100 acres into two nearly equal parts (48.8 and 43.8 acres) were granted (Trans Canada Pipelines and the Region of Peel).

A 1986 survey shows the property subdivisions from 1970 to date. The survey also shows the former barn/shed complex east of the house and the easement through the centre.

The house on the subject property is circa 1920s and obviously not the first house on the property. Tremaine's 1859 map shows no buildings on the John Adams property, the first house likely built by/for James M. Adams, his son and successor in the 1870s. Why that frame or log house⁴ was replaced by the current structure is not known, and why an urban Craftsman Bungalow style house was built in the 1920s for or by George Hunter in this rural setting is also unknown and unusual. Alterations to the house since it was built include the enclosed front porch which was originally open. At some point it was closed in with windows and a door being added. The only other obvious exterior alteration to the house is the replacement of the rear door to the porch with a window.

The interior of the house is remarkably unchanged, including the oak woodwork and staircase. A fireplace insert has been added in the living room which is the only obvious alteration.

The former barn/shed complex was demolished sometime between 1994 and 2000. The outline of the former buildings is still evident in the 2014 airphoto.

What is today the City of Brampton was surveyed as part of the New Survey in 1819. It is comprised of the Township of Chinguacousy and parts of the Townships of Toronto and Toronto Gore. Toronto Gore (Gore of Toronto) was surveyed into "double-front" 200-acre lots, with the exception of triangular shaped lots (gores) along the eastern border. The township was broken into a north and south district. Concessions were arranged as continuations of those concessions west of Hurontario Street, and ranged from 7 to 12. Lots

were numbered from South to North, with the terminus of the south district and beginning of the north district at modern Steeles Avenue. The south district contained 15 lots, while the north district contained 17 lots. The northern terminus of Toronto Gore is at modern Mayfield Road.⁵ Appendix 1 is a chain of title from 1859 to the present. Until 1986, the subject property had been in the ownership of three families, the Adams, Hunters and Bells. John Adams, farmer, was born in Ireland in 1797⁶. He was a member of the Church of England. In 1873 he sold the farm to his son, James M. Adams who was 49 years old at the time. The 1877 Atlas shows the farm in James Adams's name and a house in the location of the current house with an orchard behind.

In 1887, James Adams sold the farm to William Hunter. Hunter was born in Ontario of Irish parents in 1859. Also a member of the Church of England, he was married with two children. William Hunter sold the farm to George Hunter (1883 - 1949) in 1903. In the 1901 Census, Hunter is listed as a farm labourer. In the 1911 Census, George is listed as married with two children with his sister living with them on the farm. George E. Hunter is buried in St. John's Anglican Cemetery in Toronto Gore (Brampton).¹⁰ The farm was sold to Richard A. Bell and William J. H. Bell. After Richard's death in 1960, William and Helen Bell sold two lots and the southerly portion of the farm, and in 1986, sold the subject property to Antonio, Cecilia, Camillo and Rosa Casciato. The Casciatos sold the subject property to Emerald Castle Developments Inc. in 2012.

(CHC Limited 2017: 14-20)

3.1 EXISTING CONDITIONS

A field review of the Study Area was completed on April 28, 2022, by Chelsea Dickinson and Heidy Schopf, both Cultural Heritage Specialists at WSP. The purpose of the field review was to establish the existing conditions of the property. Weather conditions were sunny and warm and access to the building interior was provided by the client.

A 3-D model of the property, generated via Matterport Capture (v. 1.5.1), is available at the following link: [10431 The Gore Rd - 3D Model](#)

As-built drawings of the residence are provided in Appendix A. These drawings depict the existing conditions of the house prior to any alteration.

Additionally, the following the following pages include the associated ground/second floor plans generated by CHC Limited in 2017 (Plate 1 and Plate 2).

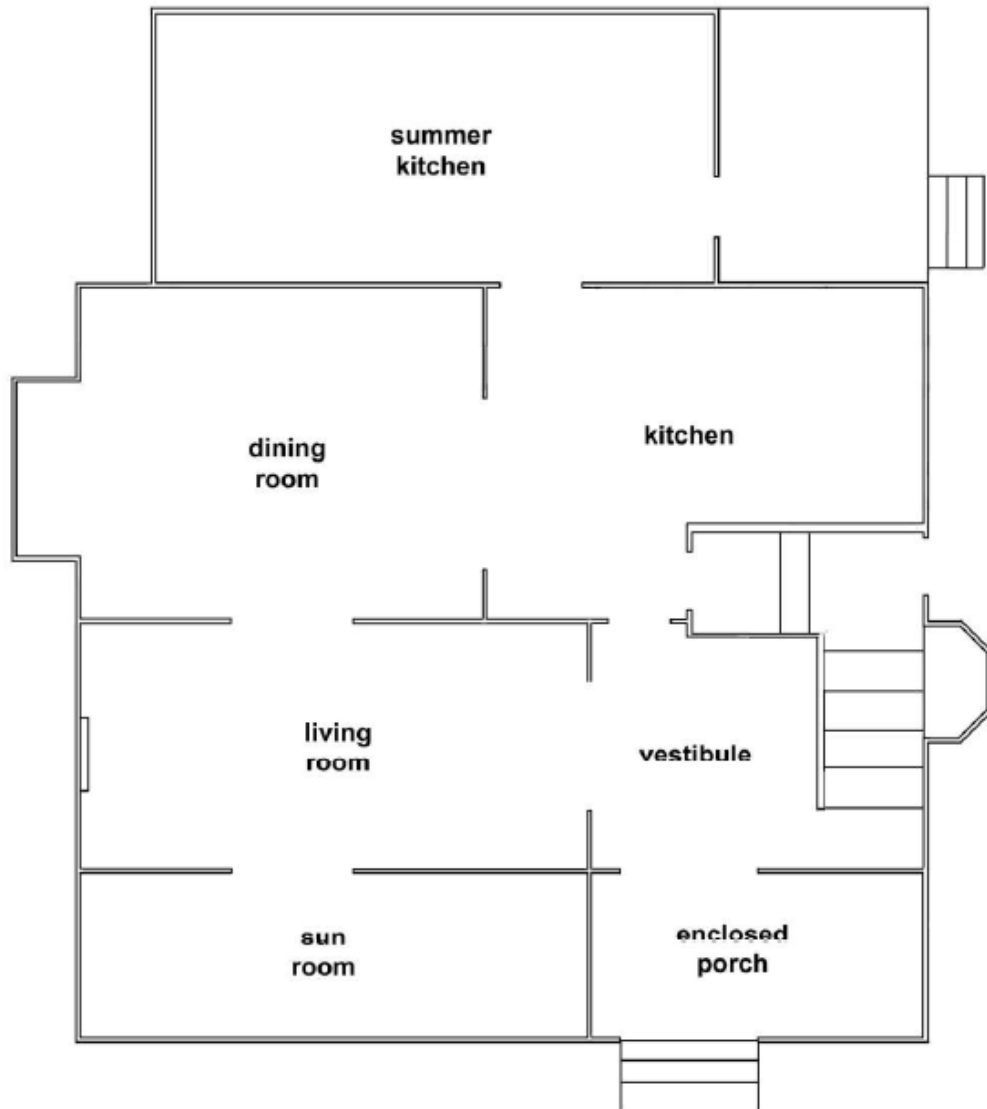


Plate 1: Ground Floor Plan (CHC Limited 2017: 13)

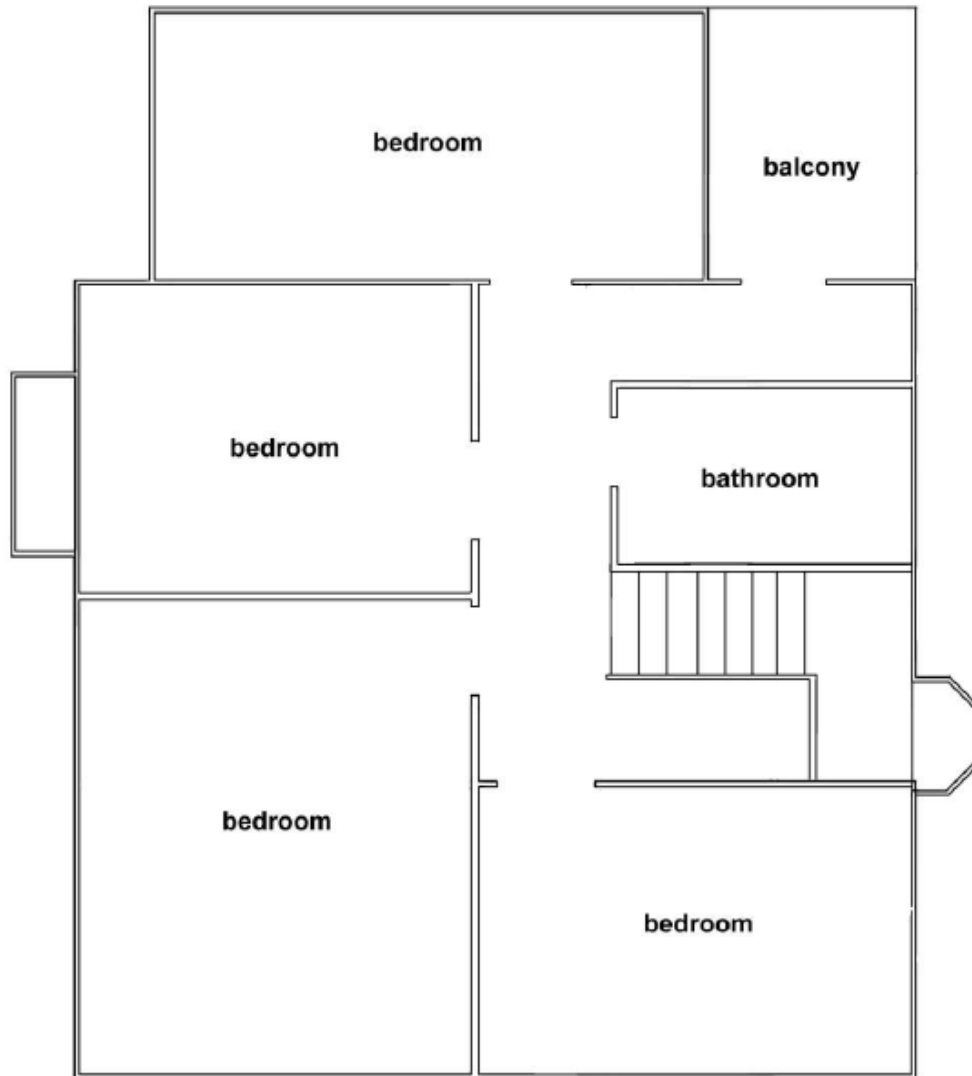


Plate 2: Second Floor Plan (CHC Limited 2017: 14)

3.1.1 LANDSCAPE

The property at 10431 The Gore Road is accessible from a northeast/southwest orientated driveway that passes on the north side of the main residence and south of the driveshed/outbuilding. The circulation route then continues northeast passing a pond on the right and a tributary and leading to a rear former barn complex that was demolished between 1994 and 2000 (CHC Limited 2017: 18; Plate 3-Plate 6). Mr. Dave Morgan, who actively farms the property, noted that the former barn complex was destroyed by fire.



Plate 3: Northeast view of rear landscape towards pond and tributary



Plate 4: Southwest view of main residence from rear circulation path and a pond to the left



Plate 5: Southeast view of the remnant west elevation of the barn complex (located at the end of the circulation path)






Plate 6: West view of the remnant north elevation of the barn complex showing a grassed gangway

3.1.2 EXTERIOR

The property conditions observed by WSP staff in 2022 are consistent with those from the 2017 HIA. The property features a one and a half storey early 20th century “California”, or “Craftsman Bungalow” style residence clad in polychromatic brick with stone foundations. The roof is set in a broad, low-pitched, almost bell-cast roof with asphalt singles, wooden soffits and fascia and shed dormer with exposed roof decking soffits. Photographs of the building elevations with exterior measurements and notable features are provided in Table 1.

Table 1: 10431 The Gore Road elevation treatments and measurements

PHOTO	ELEVATION	MEASUREMENTS	EXTERIOR ATTRIBUTES
	West	<p>Width</p> <ul style="list-style-type: none"> • Base – 25' • Dormer – 24' 5" <p>Height</p> <ul style="list-style-type: none"> • Base to Roof – 10' 11" • Height Dormer base to Roof – 4' 6" 	<ul style="list-style-type: none"> • Large, enclosed porch accessible via concrete steps and a glass panelled doorway • Three over one and one over one rectangular windows with plain concrete sills
	South	<p>Width</p> <ul style="list-style-type: none"> • Total – 42' 6" • Left edge to porch edge – 34' <p>Height</p> <ul style="list-style-type: none"> • Left – 10' 11" • Centre – 26' 5" • Right – 19' 4" • Chimney Base to top – 21' 1" 	<ul style="list-style-type: none"> • Segmental arched three over one windows with double course brick voussoirs and plain concrete sills • Three-light basement segmental arched windows with brick voussoirs Oriel window • Paired one over one window with plain concrete sills • Concrete steps leading to rear side entrance on open porch with upper balcony • Chimney • Two exterior doorways on ground

	East	<p>Width</p> <ul style="list-style-type: none"> • Bottom of the house (not including steps) – 21' 6" • Edge of porch to edge of house - 15' 7" • Porch – 5' 9" • Edge to main house – 3' 9" <p>Height</p> <ul style="list-style-type: none"> • Total - 15' 8" • Porch to bottom of balcony – 8' 10" • Stoop 2' 5" • Depth • Main to dormer – 1' 5" 	<ul style="list-style-type: none"> • One over one rectangular window with plain concrete sills • Three-light basement segmental arched windows with brick voussoirs • Porch with single light window and doorway and second floor balcony
	North	<p>Width</p> <ul style="list-style-type: none"> • Total – 34' 6" (Red) • Dormer – 6' 11" (Orange) • Dormer to Edge 1 – 2' 11" (Green) • Edge 1 to Edge 2 – 7' 7" (Blue) <p>Height</p> <ul style="list-style-type: none"> • Left – 15' • Centre – 27' 5" • Right – 11' 2" • Chimney – 29' 10" 	<ul style="list-style-type: none"> • Segmental arched windows and bay window with double course brick voussoirs and plain concrete sills • Three-light basement window with brick voussoir and plain concrete sills • Rectangular single light window with plain concrete sills • Paired decorative stained glass window glass with a flower pattern on either side of chimney • Concrete steps leading to rear side entrance on open porch with upper balcony • Corbelled chimney

3.1.3 INTERIOR

3.1.3.1 GROUND FLOOR

The ground floor features an enclosed porch that leads to the front vestibule which includes the main floor stairwell and oriel window. From the vestibule there are entryways to the living room, exterior side exit/basement stairway and kitchen (Plate 7-Plate 9). The living room is accessible from the vestibule via leaded and bevelled glass French doors. The living room feature two decorative single light-stained glass windows with flower patterns on either side of a brick fireplace. The brick fireplace connects to the chimney on the north elevation of the residence. Directly off of the living room is the sunroom and dining room, the latter of which is accessible via leaded and bevelled glass French doors (Plate 10 and Plate 11). The main kitchen features a large wood burning stove that connects to the chimney on the south elevation of the residence. The doors and mouldings on the ground floor are varnished oak that appears to have its original finish. Additional features include the dining room's decorative picture rail moulding in the same material/finish and oak hardwood floors throughout the main floor. The last room on the ground floor is the summer kitchen that includes a small single piece bathroom and an exterior exit that leads to the rear open porch (Plate 12-Plate 13). There is a visible transition between the main kitchen and summer kitchen area that includes a change in doors and mouldings indicating this room underwent later alterations.

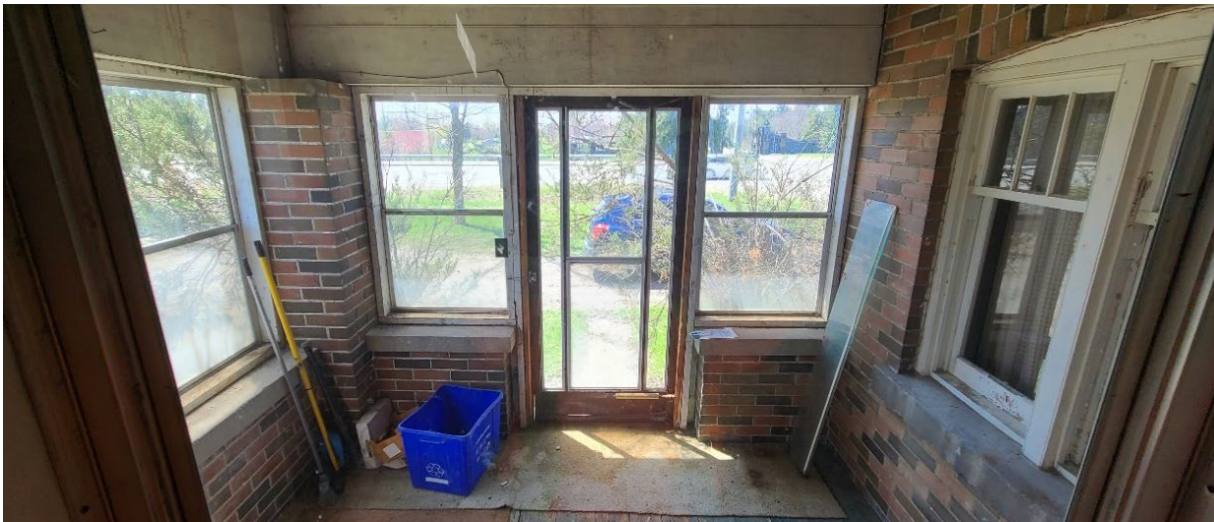


Plate 7: View of enclosed porch with mix of one-over-one windows and three over one segmentally arched windows with double course brick voussoirs



Plate 8: Vestibule with living room French doors and upper-level stairway facing towards rear/basement entryway



Plate 9: Interior view of oriel window directly off the main floor staircase



Plate 10: View of sunroom (left), living room with fireplace (centre) and the dining room (right)



Plate 11: View of dining room facing towards the living room via French doors



Plate 12: Main kitchen with wood stove



Plate 13: Summer kitchen and single-piece washroom accessible via the rear open porch

3.1.3.2 SECOND FLOOR

The second floor features four bedrooms, one three piece washroom, a linen closet and the second floor balcony. Doorways and trim on the upper floor are painted pine and the pine floors are partly varnished/painted/stained or covered by carpet/laminate. The first two bedrooms are located directly to the left and across from the stairwell the latter of which is located next to the linen cupboard (Plate 14-Plate 16). The third bedroom is located on the either side of the linen cupboard directly across from the bathroom (Plate 17-Plate 18). The final bedroom entryway is situated to the right of the third bedroom next to the second floor balcony (Plate 19-Plate 20).



Plate 14: View of Bedroom No. 1 & 2 entryways and linen cupboard from top of stairwell



Plate 15: View of Bedroom No. 1 facing towards second floor hallway



Plate 16: View of Bedroom No. 2 facing from second floor hallway entryway



Plate 17: View of Bedroom No. 3 facing towards second floor hallway



Plate 18: View of second floor three-piece bathroom



Plate 19: Bedroom No. 4 accessible via stairwell



Plate 20: Second floor balcony

3.1.3.3 BASEMENT

The basement features a large main area, accessible from the main floor vestibule and southern elevation. The basement has concrete floors and a machine cut summer beam supported by two trapezoidal concrete support posts (Plate 21-Plate 22). Additional rooms from the basement include a small closet and cellar (Plate 23).



Plate 21: Basement main area including summer beams and concrete pilasters



Plate 22: Basement main area showing the machine cut summer beam and concrete pilasters



Plate 23: Cellar off of the main basement area

3.2 PHYSICAL CONDITION

On May 12, 2022, Tacoma Engineers conducted a structural condition assessment of 10431 The Gore Road (Appendix B). Tacoma made the following observations:

- General Observations:
 - The masonry walls appear to be in good condition
 - Wood framed floors and roof are in generally good condition
- Roof
 - The asphalt shingles are at or near the end of their service life
 - Soffit and fascia boards were also found to be in poor condition.
- Second Floor

- Floor finishes, where present, are in poor condition
- Cracking is visible in several locations including walls and ceilings however there is no cracking to suggest there is structurally significant deterioration or damage.
- Ground Floor
 - Framing members are in generally good repair and have sustained limited damage/deterioration.
 - A vertical crack was noted above the door from the front hall into the living room
- Basement
 - The foundation is generally in good condition
 - Limited cracking was noted on the interior and exterior faces
 - Upper structure is relatively free of step-cracking and other signs of settlement.
- Exterior
 - The exterior is in good condition.
 - Mortar joints are generally sound and in place, and very few damaged brick units were noted during the review.
 - The chimneys are in fair condition however, the upper 5-6 courses of each chimney appear to have sustained some damage and several bricks appear to be loose.

(Tacoma Engineering 2022: 4-7; Appendix B)

4 STATEMENT OF CULTURAL HERITAGE SIGNIFICANCE

Understanding a built heritage resource or cultural heritage landscape includes not only being able to trace its dates of construction or modifications through time, but also its overall cultural heritage significance and what elements should be prioritized for conservation. In Ontario, the cultural heritage significance is usually summarized through a “Statement of Cultural Heritage Value of Interest” (SCHVI) which includes a “Description” (where the resource is located), its “Heritage Value” (why a resource is important) and its “Heritage Attributes” (what elements demonstrate the heritage value and therefore should be prioritized for conservation). In the CHP *Standards and Guidelines*, the latter are referred to as “character-defining elements,” explicitly referencing why an element is important to the significance of a historic place.

The 2017 HIA does not include a Statement of CHVI for the property at 10431 The Gore Road; in its absence, one is proposed below.

4.1 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

4.1.1 DESCRIPTION OF THE PROPERTY – 10431 THE GORE ROAD

10431 The Gore Road comprises of a 48.8-acre (19.75 ha) remnant of the original 100-acre (40.4 ha) farm and features a one and a half storey early twentieth century California Bungalow style residence, a driveshed/outbuilding, and remnants of a former barn/shed complex accessible via circulation path/driveway.

4.1.2 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The cultural heritage value of 10431 The Gore Road lies in it being one of the best examples of the Second Craftsman Bungalow style private dwelling architecture set in the unique rural setting of Brampton. Typical of this style, the residence features a shed dormer, oriel windows and projecting bays, and a large, enclosed porch. Built in 1925, the residence also demonstrates a high degree of craftsmanship evident in the use of several interior features in the Arts and Crafts style.

The property has historical significance since it contributes to an understanding of the City of Brampton’s agricultural landscape and reflects the themes of early 20th century settlement and agricultural practice.

4.1.3 HERITAGE ATTRIBUTES

Key attributes that reflect the design or physical value of 10431 The Gore Road include:

- Typical Craftsman Bungalow style architectural elements:
 - One-and-a-half storey residence,
 - Broad “bungaloid” massing with low-pitched, roof that blankets the building,

- Enclosed porch
- Large, shed dormer roof overhangs constructed with exposed structural framing,
- Granite fieldstone foundation
- Bay and oriel windows.

5 PLANNING AND CONSERVATION TREATMENT

5.1 PLANNING FOR FUTURE USE: CONSERVATION TREATMENTS

5.1.1 CONSERVATION TREATMENTS

The CHP *Standards and Guidelines* outline three “treatments” to guide intervention on a historic place. Although in theory a single treatment would be selected, nearly all projects involve a combination of all three depending on a variety of factors including level of understanding, practicality, and projected future uses.

“Conservation”, as presented in the CHP *Standards and Guidelines*, includes:

All actions or processes that are aimed at safeguarding the character-defining elements of an historic place to retain its heritage value and extend its physical life. This may involve Preservation, Rehabilitation, Restoration, or a combination of these actions or processes.

The latter actions or processes are then defined in the CHP *Standards and Guidelines*, but perhaps are best summarized in illustrations provided in Volume 4 of the PWGSC *Architectural Conservation Technology Manual* (1994). The first shows a resource “as found”, with the remaining four depicting a conservation treatment.



Figure 2: A historic resource as found



Figure 3: Preservation (Interim Protection)



Figure 4: Preservation (Stabilization)



Figure 5: Rehabilitation

Rehabilitation (or adaptive reuse): the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value (Figure 5).

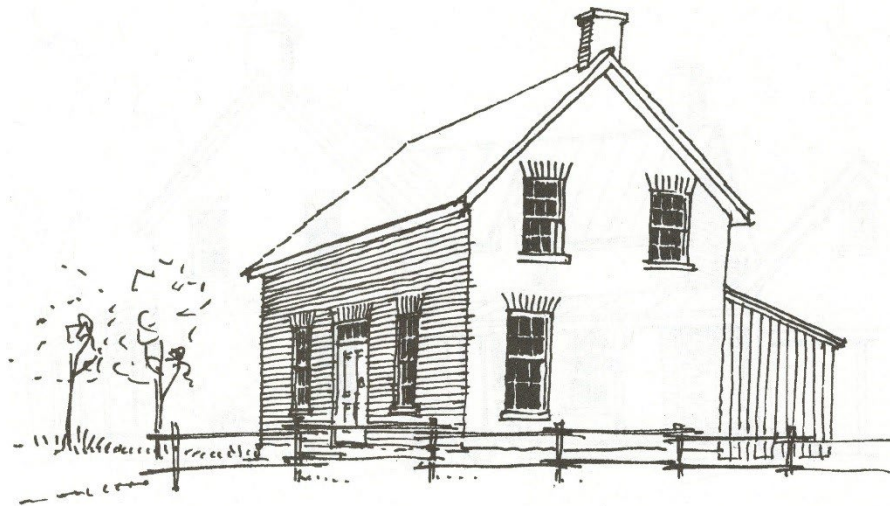


Figure 6: Restoration

Restoration: the action or process of accurately revealing, recovering or representing the state of an historic place, or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value (Figure 6).

A closely related treatment is reconstruction, defined in the Burra Charter as “returning a place to a known or earlier state and is distinguished from restoration by the introduction of new material” (ICOMOS 2013:1.8). It is

most often applied when “a historic place...has been lost or is unsalvageable” but requires that the reconstructed work be identifiable as a new work to ensure it is not mistaken as an “authentic historic place” (Kalman & Letourneau 2021: 226).

A fourth treatment, which does not appear in the CHP Standards and Guidelines yet is occasionally applied is redevelopment. As defined in the PWGSC Manual (1994:7), redevelopment is “construction of compatible contemporary facilities to replace missing element [sic] or to increase density in a historic environment.” As the illustration in Figure 7 shows, what sets redevelopment apart from the other treatments is “that there is no direct emphasis on protection”, and “procedures are used which are basically unrelated to the preservation of historic fabric”. There is also a “continual interaction between contemporary design intentions and the constraints of existing historic resources” (PWGSC 1994:7). Conservation of heritage value remains central in this approach, even if it is expressed less tangibly than that seen in the other treatments.

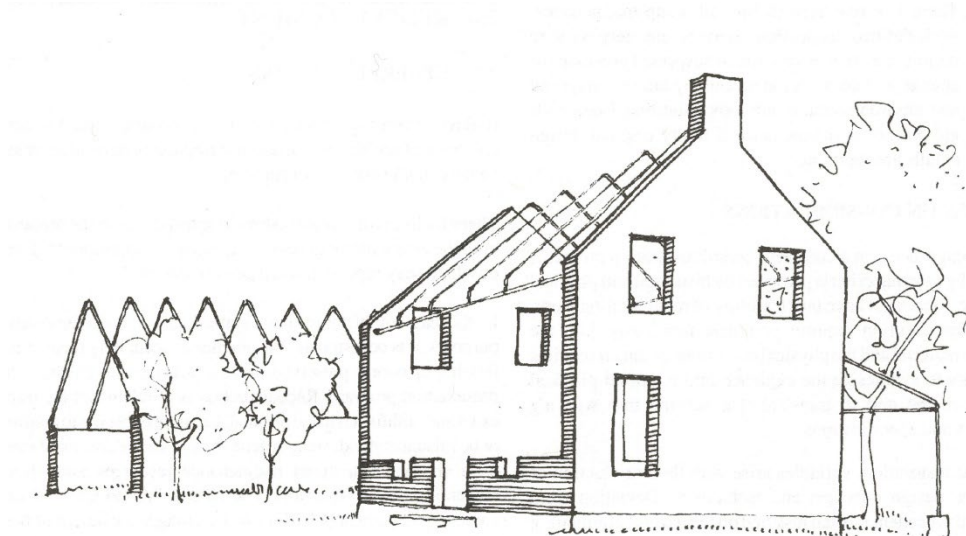


Figure 7: Redevelopment

Another treatment applicable to this HCP is **reassembly** or **reconstitution**, which refers to the rebuilding a dismantled historic place. It is referred to in the *Venice Charter* as “anastylosis” and an acceptable approach if there is a clear delineation between what material is new and what is original (Kalman & Létourneau 2020: 231). The most famous example of reconstitution was the effort to relocate the Great Temple at Abu Simbel during construction of the Aswan Dam in Egypt between 1964 and 1968.

5.1.2 CONSERVATION STANDARDS

The CHP *Standards & Guidelines* presents nine standards that apply to the preservation, rehabilitation, and restoration treatments, with a further three added for rehabilitation and two for restoration. The nine standards for all treatments are:

- 1 Conserve the heritage value of an historic place. Do not remove, replace, or substantially alter its intact or repairable character-defining elements. Do not move a part of an historic place if its current location is a character-defining element.

- 2 Conserve changes to a historic place that, over time, have become character-defining elements in their own right.
- 3 Conserve heritage value by adopting an approach calling for minimal intervention.
- 4 Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.
- 5 Find a use for an historic place that requires minimal or no change to its character-defining elements.
- 6 Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.
- 7 Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.
- 8 Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.
- 9 Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

The additional standards that apply to **Rehabilitation** are:

- 10 Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.
- 11 Conserve the heritage value and character-defining elements when creating new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.
- 12 Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

The additional standards that apply to **Restoration** are:

- 13 Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements
- 14 Replace missing features from the restoration period with new features whose forms, materials and details are based on sufficient physical, documentary and/or oral evidence.

A key principle explicitly or implicitly repeated in the *CHP Standards and Guidelines* is “minimal intervention”, that is, “doing enough, but only enough to meet realistic objectives while protecting heritage values” (CHP 2010: 26). On any given project, minimal intervention can mean very little work, or a significant amount —the degree is based on whatever is required to protect the heritage value of a place.

5.2 PROPOSED FUTURE USE, GOALS & OBJECTIVES

The current proposed plan for 10431 The Gore Road is to lift the house and move the structure 20m to the east. Draft Plans of the proposed development are provided in Appendix C.

The goals¹ of this conservation plan are therefore to:

- Conserve 10431 The Gore Road as an early 20th century Craftsman Bungalow style house with cultural heritage significance to the community
- Convert 10431 The Gore Road to a comfortable and desirable single-family dwelling within a contemporary housing development.

Based on these goals, the objectives of this HCP are to:

- Select the most appropriate conservation treatments for 10431 The Gore Road;
- Provide conservation strategies that are sustainable, and adaptable to the new proposed use; and,
- Complete conservation of 10431 The Gore Road within two years.

5.3 RECOMMENDED CONSERVATION TREATMENT FOR 10431 THE GORE ROAD

Based on the identified goals, this HCP recommends that the preferred primary treatment for the 10431 The Gore Road is rehabilitation. Sympathetic rehabilitation of the house will retain the building's late 19th century heritage attributes, reflect its changes through time, and accommodate contemporary use without compromising its authenticity or cultural heritage significance. Secondary treatments, selected to conserve the heritage attributes of the 10431 The Gore Road for the future, are stabilization, preservation, and commemoration. Strategies to achieve these conservation treatments are provided in Section 6.

¹ The importance of setting goals and objectives in heritage conservation planning is outlined in Kalman & Letourneau (2021: 343).

6 CONSERVATION STRATEGIES

This section provides a series of conservation strategies —in priority order and linked to the CHP *Standards and Guidelines* — to enact as part of the future stabilization, preservation, restoration and reconstruction, and commemoration of the 10431 The Gore Road. As stressed above, the overall goal is to conserve the heritage attributes of the house through minimal intervention yet adapt it for contemporary use.

The strategies are also ordered with the aim of ensuring the building remains stable throughout the conservation effort; as each strategy is completed, the cultural heritage value or interest and heritage attributes will be maintained on an ongoing basis, even if resources become limited or local events delay completing the next strategy in the sequence.

The work should be undertaken by individuals who have demonstrated to City staff that they have expertise in heritage conservation. The trades and expertise required for each action are also included under each conservation strategy.

6.1 STABILIZE

Several actions should be undertaken to stabilize 10431 The Gore Road and prepare the property for further interventions. These include immediate action items and those for during adjacent construction. Where relevant, it is noted where an action is complete or currently underway. As the demands of the maintenance and stabilization will only increase through time, it is integral that the house be rehabilitated at the earliest opportunity. The rehabilitation effort is currently planned to begin in spring of 2023.

6.1.1 MONITOR & SECURE

- Initiate and conduct regular (weekly or bi-weekly) exterior and interior monitoring (ongoing)
- Comply with actions outlined in the City of Brampton [Minimum Maintenance By-law 104-96 \(Property Standards\)](#)
- Implement site stabilization measures that include the following actions:
 - Secure and cover windows and doors with plywood hoarding to prevent damage and unauthorized entry (complete)
 - Care should be taken when installing the hoarding to ensure the masonry or other features of the house are not damaged.
 - Erect a modular chain-link fence to prevent or dissuade unauthorized entry
 - As a deterrent, install prominent “No Trespassing” on the fencing or a location where the house fabric will not be impacted (such as affixed to the plywood hoarding over the windows and doors)
- Document all stabilization work with photographs and notes as necessary (ongoing).

Related Conservation Standards:

No. 6: Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

Required Trades and Expertise:

- No cultural heritage expertise required.
-

6.1.2 PROTECT FROM ADJACENT CONSTRUCTION

Masonry is particularly vulnerable to damage from vibration (Randl 2001) produced by adjacent construction, including heavy vehicle traffic. To ensure the house is protected during construction in the immediate vicinity, the following actions are recommended:

- Enact site control & communication by indicating 10431 The Gore Road on Cachet Developments (Emerald Castle) Inc. project mapping and communicating its location to all personnel.
- Establish a buffer of least 5 m (15 feet) around the structure to minimize the potential for vibration damage. The buffer should be enclosed with interlocking construction site protection fencing and indicated on the construction plans provided to supervisors.
- Temporary roads anticipated to have heavy equipment traffic should not be routed in the vicinity of the house. If this cannot be avoided, the section of temporary road nearest the house should be underlain with rig mats to further dampen vibration.
- The building should be monitored every week for new cracks or slumping while the temporary road is in use. If any changes are noted, equipment operation in the area should be suspended.
- Weekly monitoring should also be conducted during the period of adjacent construction, to ensure that the structural integrity of the building is not being compromised.
- Cachet Developments (Emerald Castle) Inc. staff or a designate should keep brief inspection reports recording the date, any changes to the building's status, and actions taken.

Related Conservation Standards:

No. 6: Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken. Protect and preserve archaeological resources in place. Where there is potential for disturbing archaeological resources, take mitigation measures to limit damage and loss of information.

Required Trades and Expertise:

- No cultural heritage expertise required.
-

6.2 REHABILITATE

6.2.1 DRAFT ARCHITECTURAL DESIGNS FOR A REHABILITATED 10431 THE GORE ROAD

New additions and alterations to 10431 The Gore Road should be compatible and subordinate in design to the existing building, not exceeding it in scale, massing, and ornamentation. Although additions to the 10431 The Gore Road are not constrained by municipal heritage conservation district design guidelines, best practice is to follow the guidance provided in local plans or more general manuals such as the *Historic Preservation Plan for the Central Area General Neighbourhood Renewal Area, Savannah, Georgia* (Housing Authority of Savannah 1973), *Get Your*

House Right (Cusato et al. 2007), and *Traditional Construction Patterns* (Mouzon 2004) (for general principles see Figure 8). Since the house is listed, the design of the additions may need to be vetted by City staff.

Any new elements will therefore need to be designed to:

- Be subordinate to the original design of the residence at 10431 The Gore Road
- Be visually distinguishable, but compatible with the architectural form and character of 10431 The Gore Road
- Restore damaged, lost or missing architectural decoration.

Related Conservation Standards:

No. 4: Recognize each historic place as a physical record of its time, place and use. Do not create a false sense of historical development by adding elements from other historic places or other properties, or by combining features of the same property that never coexisted.

No. 5: Find a use for an historic place that requires minimal or no change to its character-defining elements.

No. 9: Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

No. 11: Conserve the heritage value and character-defining elements when creating new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

No. 12: Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

Required Trades and Expertise:

- A qualified heritage designer or architect to draft the additions to compliment, but not replicate, the original construction.
- A general contractor experienced with heritage structures to ensure the additions to the 10431 The Gore Road does not damage or destroy any original fabric.

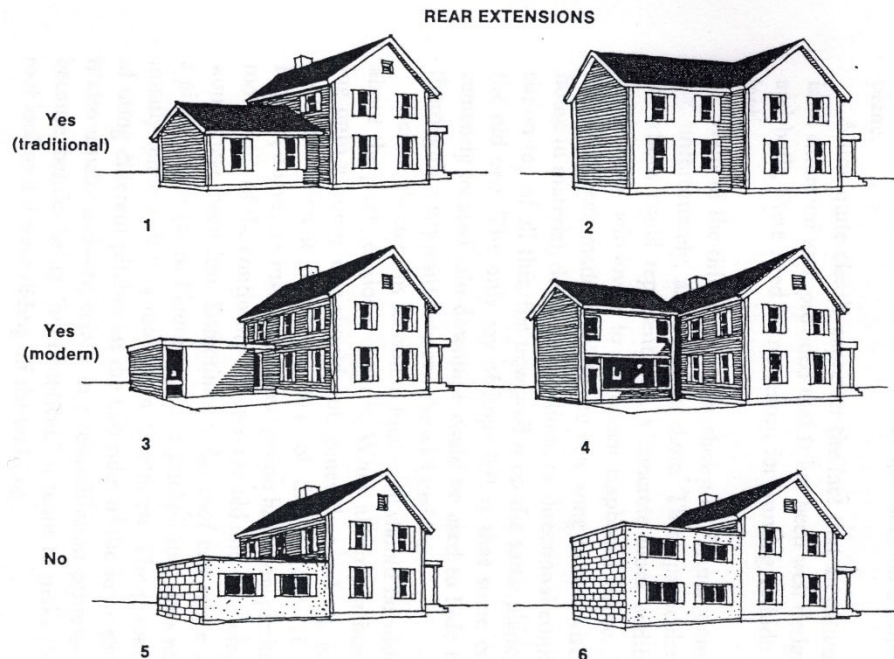


Figure 8: General guidance for adding “rear extensions” to a heritage building (from Stephen 1972:108)

6.2.2 RELOCATE 10431 THE GORE ROAD

Overall, the relocation effort should follow standard industry safety and engineering practices to disconnect utilities, carefully demolish and remove all elements but the main block, and separate and lift the building from its foundations. Temporarily moving hydroelectric line and other obstacles, and escort by police services, is not required as 10431 The Gore Road will remain within its current property.

The relocation contractor has provided a scope of work (Appendix D) but the following actions should also be undertaken:

- Photo-document the building immediately prior to relocation and all stages of the lift and transport;
- After the main block of 10431 The Gore Road is lifted and moved, salvage a proportion of the fieldstone foundation to face the exterior the new concrete foundation.

Related Conservation Standards:

No. 9: Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

Required Trades and Expertise:

- Specialized building re-location contractor with expertise in historic structures.

6.2.3 INSPECT THE SILL AND FLOOR JOISTS, AND REPAIR OR STRENGTHEN IF NECESSARY

Lifting the building for relocation will provide an opportunity to inspect all sill and flooring members before it is placed on its new foundations. Any rotted or damaged sections should be repaired using a minimal intervention approach. It may also be necessary to install bridging members and jack posts to increase the ability of the floor to withstand increased loads.

Related Conservation Standards:

No. 3: Conserve heritage value by adopting an approach calling for minimal intervention.

No. 7: Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

No. 9: Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

Required Trades and Expertise:

- Heritage carpenter to carry out any required repairs or replacement

6.2.4 BUILD THE CONCRETE FOUNDATION WITH BASEMENT AND SEAT THE HOUSE

As is true of roofs, a sound foundation is critical to the survival of a historic structure. The new concrete foundation should be well drained with grading sloped away from the walls on all sides, as well as well-ventilated to keep the wood flooring dry and free of mould and rot (Fram 2003:114). A foundation built in concrete will not only ensure long-term preservation of the house structurally, but it will also create a functional basement space desirable for future buyers.

On the exterior, the walls should stand a sufficient height above surface to prevent saturation and water damage to the original masonry in the splash zone (Davy, Simpson & Brown 2005:39). As the house will be suspended directly above the work area for the foundation, care should be exercised to ensure the main portion masonry or flooring is not damaged while the new work is under construction, the temporary supports or piers holding up the house are not undermined, or that wet or dry concrete comes in contact with the original masonry.

Rubble stone from the original foundation should not be used to face the visible sections of the concrete foundation, as this can introduce additional maintenance to ensure the joints remain sound and can cause water infiltration between the concrete wall and facing stones.

Once the foundation is completed, the main portion of the house can be seated on its new base and secured. This operation should be photo-documented and overseen by a heritage mason to ensure the masonry at the base of the walls is not damaged or subject to differential loading. At this stage, the flooring should also be inspected to ensure it is stable and intact.

Related Conservation Standards:

No. 12: Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

No. 13: Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.

Required Trades and Expertise:

- Qualified contractor to excavate and build the concrete foundation.
- Heritage mason to repair and repoint the historical masonry at its connection with the concrete foundation, if necessary.

6.2.5 REPAIR THE MAIN BLOCK ROOF AND FEATURES

A sound roof and associated drainage are one of the most significant components for ensuring the long-term survival of a heritage building. Therefore, it is integral that the roofing be well sealed, and all water be directed away from the walls.

While a detailed assessment has not been carried out, it is likely that the existing roof can be repaired rather than replaced. Following the rehabilitation treatment and principle of minimal intervention, as well as the most sustainable economically and practically, recladding the roof should be in high quality asphalt shingle (such as IKO Cambridge Architectural Shingles) rather than wood shingle.

New metal gutters, downspouts and rainwater leaders should be installed to ensure water is transported away from the walls. For the purposes of rehabilitation, a system should be selected (such as aluminium) that can be easily maintained or repaired, does not impact the original construction, and compliments the historic appearance of the building.

Care should be taken to ensure that as much of the existing exterior architectural finishes, are repaired or restored as necessary, and are protected and visible when the roof work is complete. All repairs should be in wood or compatible alternative such as Maibec® or HardieTrim®.

Repairing the roof will provide an opportunity to ensure it is properly vented, sealed, insulated, and that all rot is removed. To reduce a visual impact, new venting should be via a grill drilled into the soffit.

Related Conservation Standards:

No. 3: Conserve heritage value by adopting an approach calling for minimal intervention.

No. 7: Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

No. 9: Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

No. 10: Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.

Required Trades and Expertise:

- Roofing contractor with experience rehabilitating heritage properties.
- Heritage carpenter to repair and replace the fascia, soffit, and frieze and to address any rot in the roof system.

6.2.6 REPOINT AND REPAIR MASONRY AND INSTALL DRAINAGE SYSTEM IF REQUIRED

The masonry should be thoroughly investigated and repointed or repaired as necessary once the foundation work is complete. This should address all cracked, eroded, spalled or loose brick —such as the noted in the chimneys in the structural engineering report— as well as involve investigative work to identify additional areas of concern.

It is integral that repointing for both the stone and brick construction uses a lime mortar mix that is durable enough to survive the weather yet soft enough not to damage the individual stones or bricks (Weaver 1993:134). Stable, soft, and flexible lime mortar is an important “safety valve” to ensure the long-term conservation of masonry as it allows “moisture to migrate and evaporate through the mortar” rather than through stone or brick (Fram 2003:126). Repairs can be undertaken during repointing and include filling cracks with mortar and making dutchman repairs.

However, it should be noted that a complete re-pointing effort is rarely necessary since more common sources of water infiltration is failure in the flashing, roof covering, gutters, or window seals, and that retaining historic mortar contributes to the character and significance of a heritage structure (Pieper 1998:75; Historic England 2017).

Related Conservation Standards:

No. 3: Conserve heritage value by adopting an approach calling for minimal intervention.

No. 7: Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

No. 8: Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

No 9: Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

No. 10: Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.

Required Trades and Expertise:

- Heritage mason to repoint and repair all brick and stone construction as required.

6.2.7 INSTALL NEW WOOD WINDOWS AND EXTERIOR DOORS

Due to their poor condition, all existing wood windows and frames will need to be replaced. Three-over-six, one-over-one and three light basement window panes in a relatively heavy, double-hung frame —as are existing currently— are the most appropriate windows for a house of early 20th century construction date such as the 10431 The Gore Road. New wood Kolbe® windows with simulated divided lights can be used to replicate the current pane arrangement and can have surrounds with either wood or PVC trim. To ensure long-term maintenance, the wood lug sills can be replaced in concrete of the same dimension.

WSP is preferred over synthetic materials for historic places; although wood windows can be expensive or difficult to replace and require additional maintenance, their authentic character outweighs other types and they often match or exceed the efficiency performance of PVC inserts (Sedovic & Gotthelf 2005).

Since Building Code requires that the front door be fire-proof, the existing should be replaced with a fire-proof type that approximate heritage panel design and construction. A metal door that mimics wood should be avoided.

Related Conservation Standards:

No. 10: Repair rather than replace character-defining elements. Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements. Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.

No. 15: Replace missing features from the restoration period with new features whose forms, materials and details are based on sufficient physical, documentary and/or oral evidence.

Required Trades and Expertise:

- Heritage carpenter to install the new wood windows and form sills and surrounds to the appropriate design specifications, and to install the front door.

6.2.8 REHABILITATE THE INTERIOR

The HIA and HCP fieldwork have identified several interior features in the Arts and Crafts style that should be conserved. Any repairs to these interior features should follow a minimal intervention approach.

The existing knob-and-tube wiring should be replaced with a 200-amp ESA approved system. All sewer and water connections to local infrastructure should also be restored in coordination with the Municipality of Brampton. The heating system is currently forced/central air with floor registers that does not cause adverse effects to the internal heritage attributes. However, any new system should be routed with flexible flue to exit the building with a non-visually intrusive cap.

Related Conservation Standards:

No. 3: Conserve heritage value by adopting an approach calling for minimal intervention

No. 5: Find a use for an historic place that requires minimal or no change to its character-defining elements.

No. 7: Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed. Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.

No. 9: Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection. Document any intervention for future reference.

No. 11: Conserve the heritage value and character-defining elements when creating new additions to an historic place or any related new construction. Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.

No. 12: Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.

No. 13: Repair rather than replace character-defining elements from the restoration period. Where character-defining elements are too severely deteriorated to repair and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements

Required Trades and Expertise:

- Heritage carpenter and interior designer experienced in heritage structure rehabilitation.
-

6.2.9 REHABILITATE THE SETTING

As the 10431 The Gore Road will be rehabilitated to a residential context, the new plantings do not need to precisely replicate what was present historically but should include native tree and bush species. Flower beds with native species selected from contemporary or historic sources can be established (Skinner 1983; Unterman & McPhail 1996: A5-5), as can wood fencing in a heritage or heritage compatible design. However, it is critical that new plantings be situated where they will not impact the building in the future, either through excessive shading that prevents the stone walls from adequately drying, or through chemical and physical weathering, such as that caused by clinging ivy. New plantings should also not obscure clear views of the house and the landscaping elevations should ensure all water is drained away from the foundations.

Related Conservation Standards:

No. 14: Replace missing features from the restoration period with new features whose forms, materials and details are based on sufficient physical, documentary and/or oral evidence.

Required Trades and Expertise:

- Landscape architect with heritage expertise.
-

6.3 PRESERVE

6.3.1 DEVELOP AND FOLLOW A MAINTENANCE AND MONITORING PROGRAM

Cyclical building maintenance is vital for the short and long-term conservation of any building, and historic structures are no exception. In addition to cyclical maintenance schedules, heritage properties

should also have a detailed monitoring program to establish a baseline condition for the property and monitor any deterioration that may require more frequent maintenance or periodic repair. The Province of Manitoba and Canada's Historic Places have produced a comprehensive [maintenance manual](#) for heritage buildings that can be adapted to 10431 The Gore Road once restoration and rehabilitation actions are completed.

Related Conservation Standards:

No. 8: Maintain character-defining elements on an ongoing basis. Repair character-defining elements by reinforcing their materials using recognized conservation methods. Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.

Required Trades and Expertise:

- No special expertise or skills required.

6.4 COMMEMORATE

6.4.1 DESIGNATE THE 10431 THE GORE ROAD PROPERTY AND ERECT AN INTERPRETIVE PLAQUE

Once 10431 The Gore Road is rebuilt within a new residential setting, its cultural heritage significance can be protected through designation by City by-law enabled under Part IV of the *Ontario Heritage Act* and interpreted through a heritage property plaque. The plaque should be installed in a location that will be visible from public rights of way but on a free-standing mounting, preferably using stone salvaged from the 10431 The Gore Road. The plaque should not be mounted on the main portion of the house as it may adversely impact the wall masonry.

7 IMPLEMENTATION AND ACTION PLAN

The strategies identified in this HCP can be implemented in four phases over the next two years. Table 2 lists the conservation strategies by phase and includes a relative scale of importance and resource requirements. Table 3 provides a schedule for each phase, as well as any dependencies such as City approvals.

The cost to relocate the house is estimated to be \$320,000 +HST (see quote in Appendix D).

The estimated cost to rehabilitate the residence is approximately \$300/sq ft and that the overall cost will be between \$500,000 to \$600,000. ***WSP notes that this cost is a ballpark estimate only and is subject to change as the project progresses.***

Table 2: Implementation Plan (adapted from Kalman & Létourneau 2020:411)

PHASE	STRATEGY	NO.	ACTION	IMPORTANCE	RESPONSIBILITY	RESOURCES
1	Stabilize	6.1.1	Monitor & secure	H	Cachet Developments (Emerald Castle) Inc.	\$
		6.1.2	Protect from adjacent construction	H	Cachet Developments (Emerald Castle) Inc.	\$
2	Rehabilitate	6.2.1	Draft architectural designs for a rehabilitated 10431 The Gore Road	H	Cachet Developments (Emerald Castle) Inc.	\$\$
		6.2.2	Relocate 10431 The Gore Road	M	Cachet Developments (Emerald Castle) Inc.	\$
		6.2.3	Inspect the sill and floor joists, and repair or strengthen if necessary	M	Cachet Developments (Emerald Castle) Inc.	\$
		6.2.4	Build the concrete foundation with basement and seat the house	H	Cachet Developments (Emerald Castle) Inc.	\$\$\$
		6.2.5	Repair the main block roof and features	H	Cachet Developments (Emerald Castle) Inc.	\$\$\$
		6.2.6	Repoint and repair masonry and install drainage system if required	H	Cachet Developments (Emerald Castle) Inc.	\$\$\$
		6.2.7	Install new wood windows and exterior doors	H	Cachet Developments (Emerald Castle) Inc.	\$\$
		6.2.8	Rehabilitate the interior	M	Cachet Developments (Emerald Castle) Inc.	\$\$
		6.2.9	Rehabilitate the setting	H	Cachet Developments (Emerald Castle) Inc.	\$\$
3	Preserve	6.3.1	Develop and follow a maintenance and monitoring program	M	New owner	\$
	Commemorate	6.4.1	Designate the 10431 The Gore Road property and erect an interpretive plaque	L	Cachet Developments (Emerald Castle) Inc.	\$

SYMBOL KEY FOR TABLE 3					
Importance	H	High	Resources	\$	Low cost
	M	Medium		\$\$	Moderate Cost
	L	Low		\$\$\$	High Cost

² A key to symbols used in the table is provided on the following page.

Table 3: Implementation Schedule.

PHASE	DURATION	YEAR	DEPENDENCY
1	First 3 months	Spring 2023	None
2	Within first 12 months	2023-2024	City approval of HCP
3	Within 12 months of completing Phase 2	2024-2024	None

8 SUMMARY STATEMENT

This HCP has recommended thirteen strategies to rehabilitate and conserve the 10431 The Gore Road as a valued built heritage resource in the City of Brampton, and one with a sustainable future within a contemporary housing development. However, these strategies are based only on our current understanding of the building and its setting, and it is expected that new conditions will be discovered throughout the rehabilitation effort and require changes to this plan. Although dynamic, this HCP nevertheless aims to provide a clear set of goals and objectives for the house, as well as an overall framework to approach new challenges or opportunities.

9 ASSESSOR QUALIFICATIONS

This report was prepared and reviewed by the undersigned, employees of WSP. WSP is one of North America's leading engineering firms, with more than 50 years of experience in the earth and environmental consulting industry. The qualifications of the assessors involved in the preparation of this report are provided in Appendix E.

10 CLOSURE

This report was prepared for the exclusive use of the Client and is intended to provide a Heritage Conservation Plan of the Study Area. The Study Area consists of 10431 The Gore Road in the City of Brampton, Ontario.

Any use which a third party makes of this report, or any reliance on or decisions to be made based on it, are the responsibility of the third party. Should additional parties require reliance on this report, written authorization from WSP will be required. With respect to third parties, WSP has no liability or responsibility for losses of any kind whatsoever, including direct or consequential financial effects on transactions or property values, or requirements for follow-up actions and costs.

The report is based on data and information collected during the cultural heritage assessment conducted by WSP. It is based solely a review of historical information, a property reconnaissance conducted in April 2022 and data obtained by WSP as described in this report. Except as otherwise maybe specified, WSP disclaims any obligation to update this report for events taking place, or with respect to information that becomes available to WSP after the time during which WSP conducted the cultural heritage assessment. In evaluating the Study Area, WSP has relied in good faith on information provided by other individuals noted in this report. WSP has assumed that the information provided is factual and accurate. In addition, the findings in this report are based, to a large degree, upon information provided by the current owner/occupant. WSP accepts no responsibility for any deficiency, misstatement or inaccuracy contained in this report as a result of omissions, misinterpretations or fraudulent acts of persons interviewed or contacted.

WSP makes no other representations whatsoever, including those concerning the legal significance of its findings, or as to other legal matters touched on in this report, including, but not limited to, ownership of any property, or the application of any law to the facts set forth herein. With respect to regulatory compliance issues, regulatory statutes are subject to interpretation and change. Such interpretations and regulatory changes should be reviewed with legal counsel.

This report is also subject to the further Standard Limitations contained in Appendix F. We trust that the information presented in this report meets your current requirements. Should you have any questions, or concerns, please do not hesitate to contact the undersigned.

Respectfully Submitted,

WSP E&I Canada Limited

Prepared By:



Chelsea Dickinson, B.A. Hons. (R1194)

Cultural Heritage Specialist

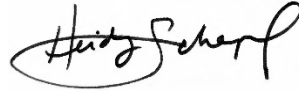
Prepared/Reviewed By:



Henry Cary, PhD, CAHP, RPA P327

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Reviewed By:



Heidi Schopf, MES, CAHP

Built and Landscape Heritage Team Lead

11 SOURCES

Canada's Historic Places (CHP)

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Appendix A:

As-Built Drawings



SOUTH ELEVATION



AS FOUND PLANS
OCTOBER 20, 2022

SITE VIEW AND MEASURE WAS ACCOMPLISHED BY THIS OFFICE
ON WEDNESDAY SEPTEMBER 21, 2022
FOR SEDGWICK MARSHALL HERITAGE HOMES
ALL REMOVED MATERIAL SHALL HAVE SAMPLES
SAVED FOR ACCURATE REPLACEMENT OR REPRODUCTION.
ALL DIMENSIONS ARE + OR -

P.A.F. DRAWINGS SHALL BE READ IN CONJUNCTION WITH
CHC LIMITED HERITAGE IMPACT ASSESSMENT
UPDATED APRIL 19, 2017

WEST
ELEVATION

GENERAL NOTES

SEDGWICK MARSHALL HERITAGE HOMES

PAMELA FARROW MAATO

THESE DRAWINGS SHALL NOT BE COPIED
FOR ANY OTHER PURPOSE THAN
REQUIRED FOR THIS PROJECT.

Pamela Farrow
ARCHITECTURAL TECHNOLOGIST

519 334 3456
pfarrow@pamhouse.ca

SEDGWICK MARSHALL
HERITAGE HOMES
AS FOUND
10431 THE GORE ROAD
FOR CACHET HOMES
TOWN OF BRAMPTON

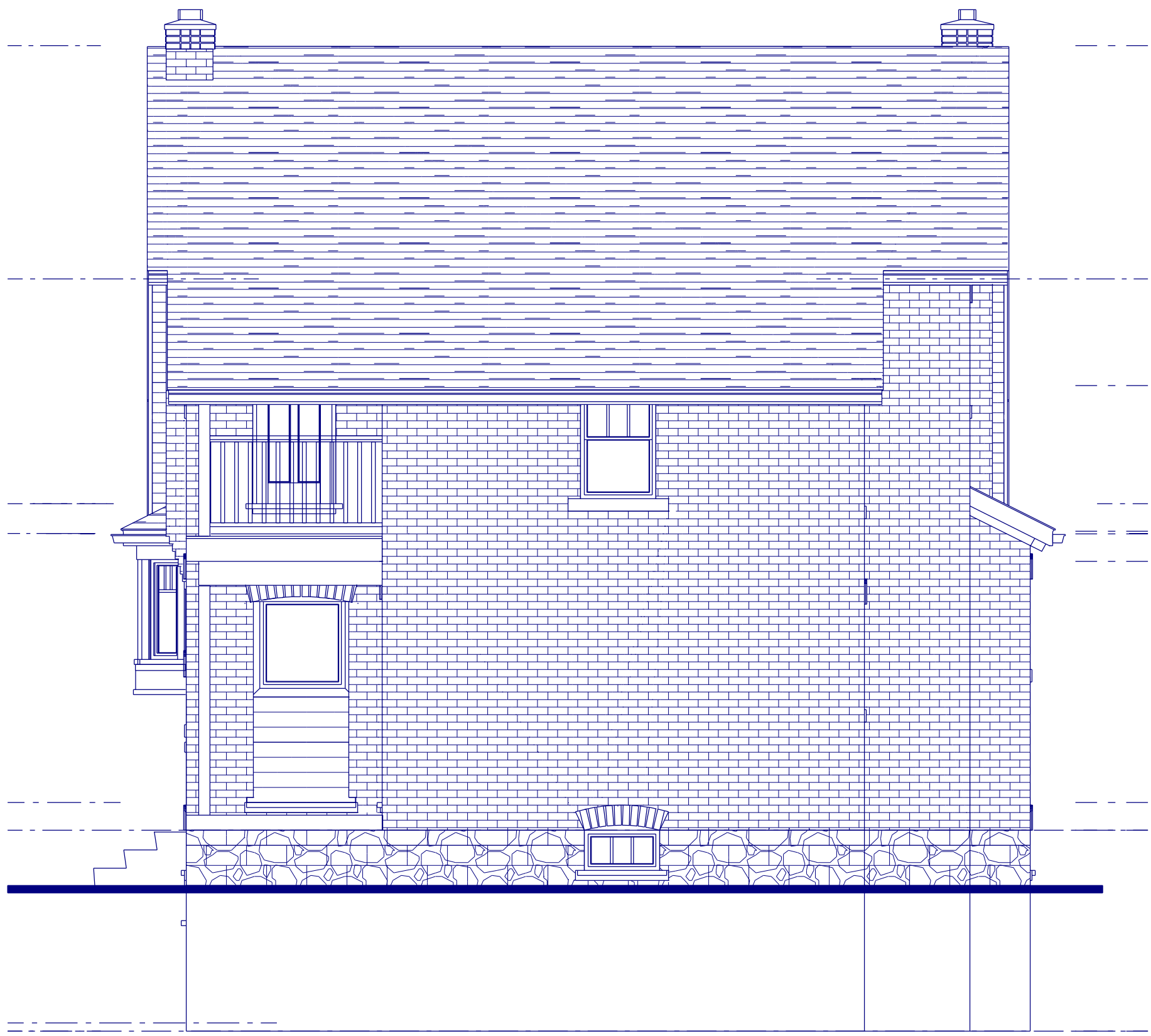
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DESIGN DATE
SEPTEMBER 2022

PROJECT NUMBER
22-30

ISSUE DATE



EAST ELEVATION



NORTH ELEVATION

AS FOUND PLANS
OCTOBER 20, 2022

GENERAL NOTES

SEDGWICK MARSHALL HERITAGE HOMES

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SEDGWICK MARSHALL
HERITAGE HOMES
AS FOUND
10431 THE GORE ROAD
FOR CACHET HOMES
TOWN OF BRAMPTON
NORTH EAST

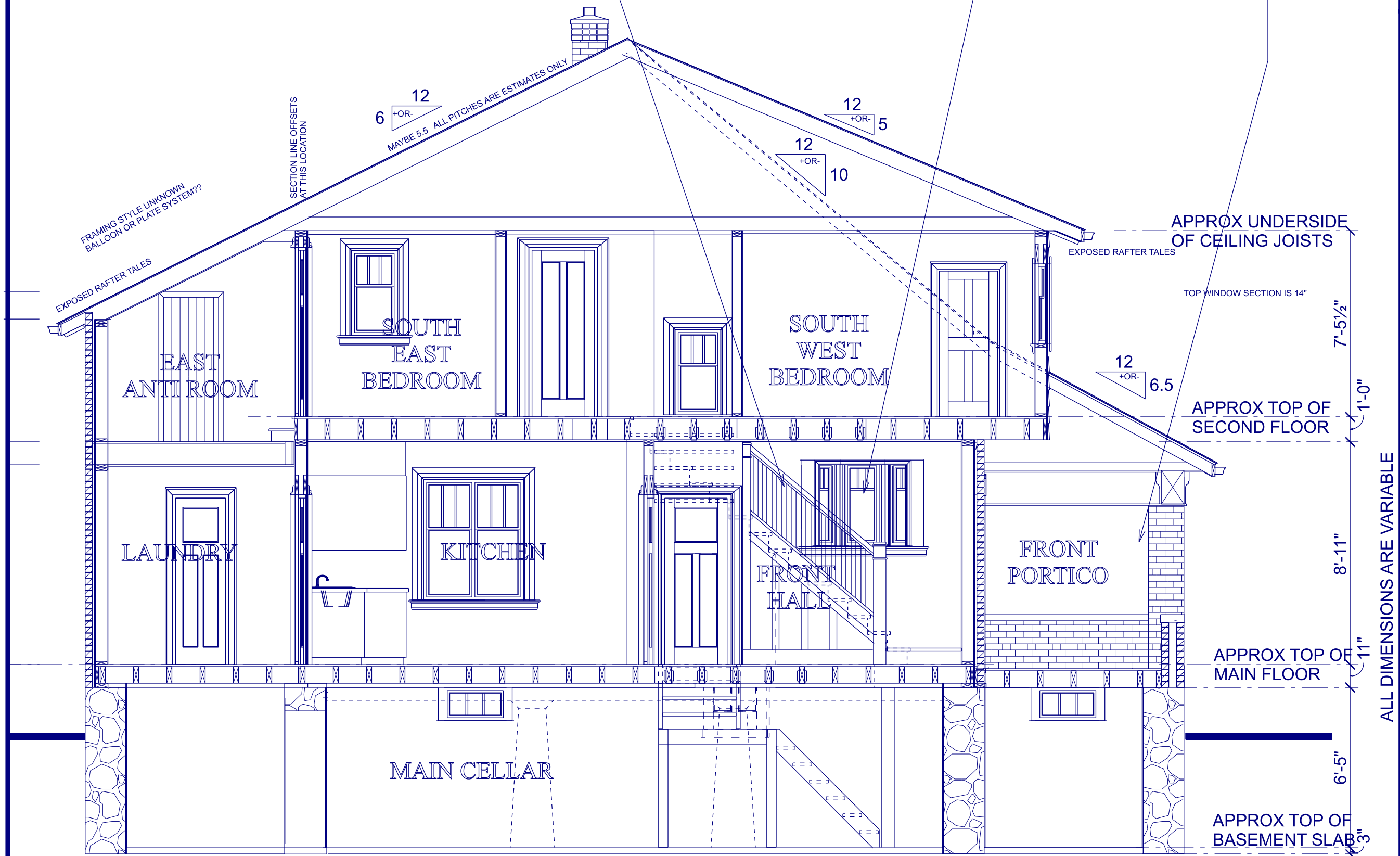
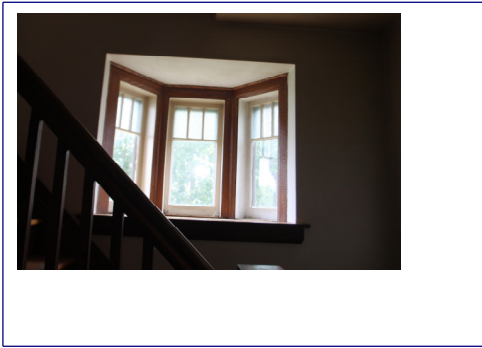
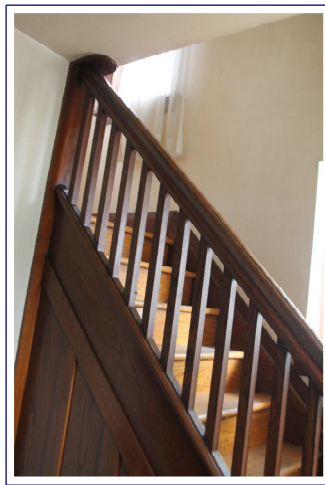
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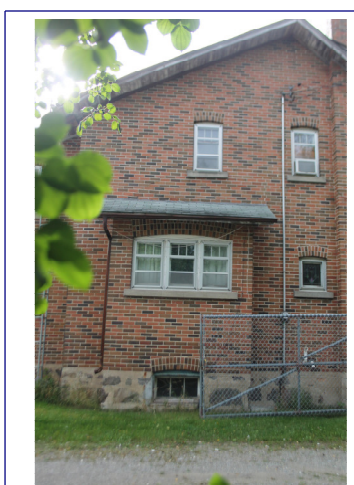
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SEPTEMBER 2022

PROJECT NUMBER
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SECTION A



EXTERIOR IMAGES

AS FOUND PLANS
OCTOBER 20, 2022

GENERAL NOTES

SEDGWICK MARSHALL HERITAGE HOMES

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SEDGWICK MARSHALL
HERITAGE HOMES
AS FOUND
10431 THE GORE ROAD
FOR CACHET HOMES
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SECTION A

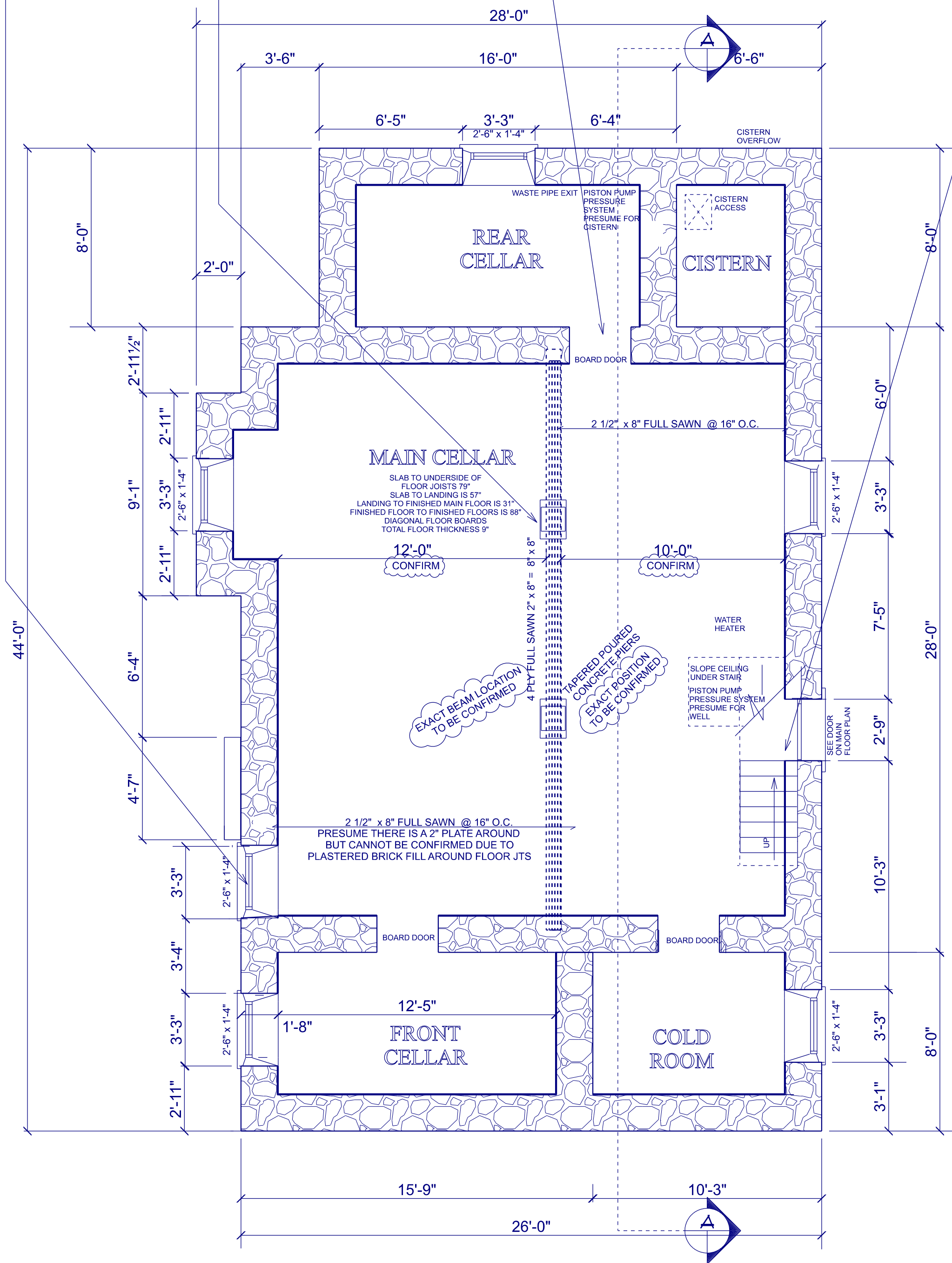
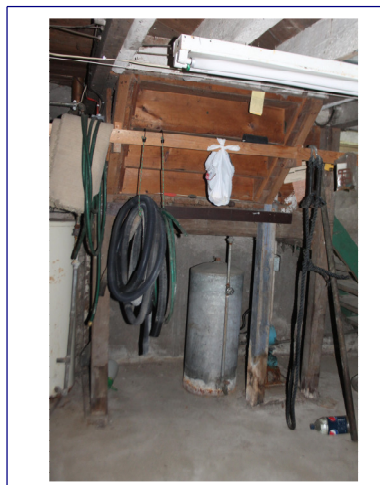
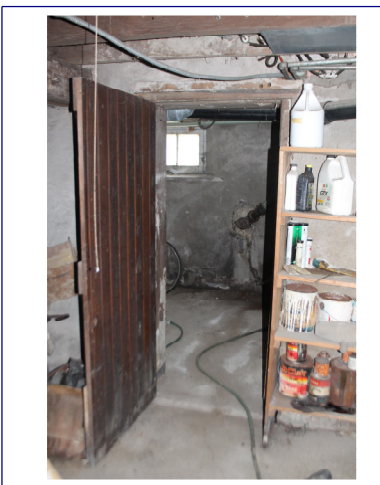
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DESIGN DATE
SEPTEMBER 2022

PROJECT NUMBER
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ISSUE DATE



FOUNDATION

AS FOUND
OCTOBER 20, 2022

GENERAL NOTES

SEDGWICK MARSHALL HERITAGE HOMES

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Pamela Farrow
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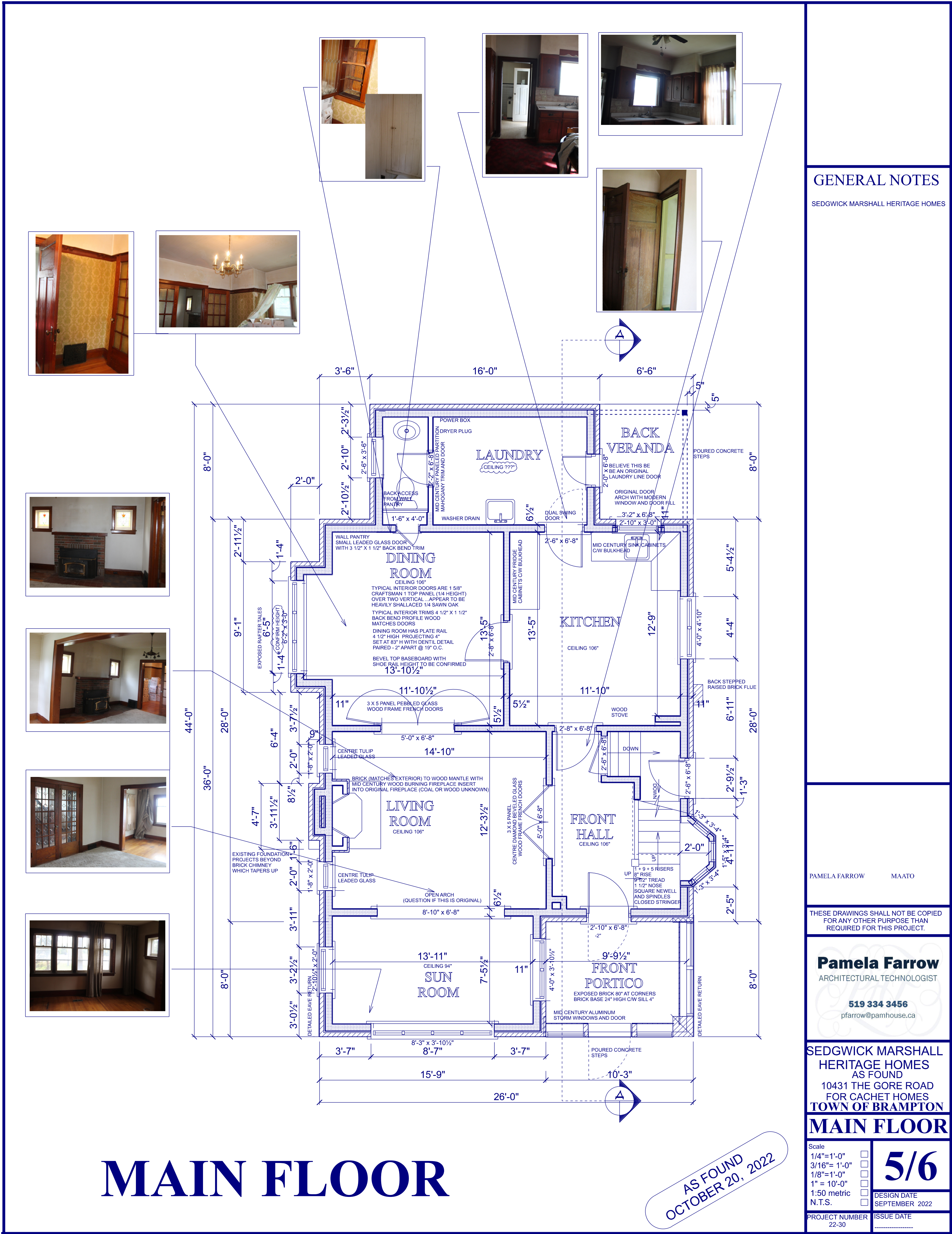
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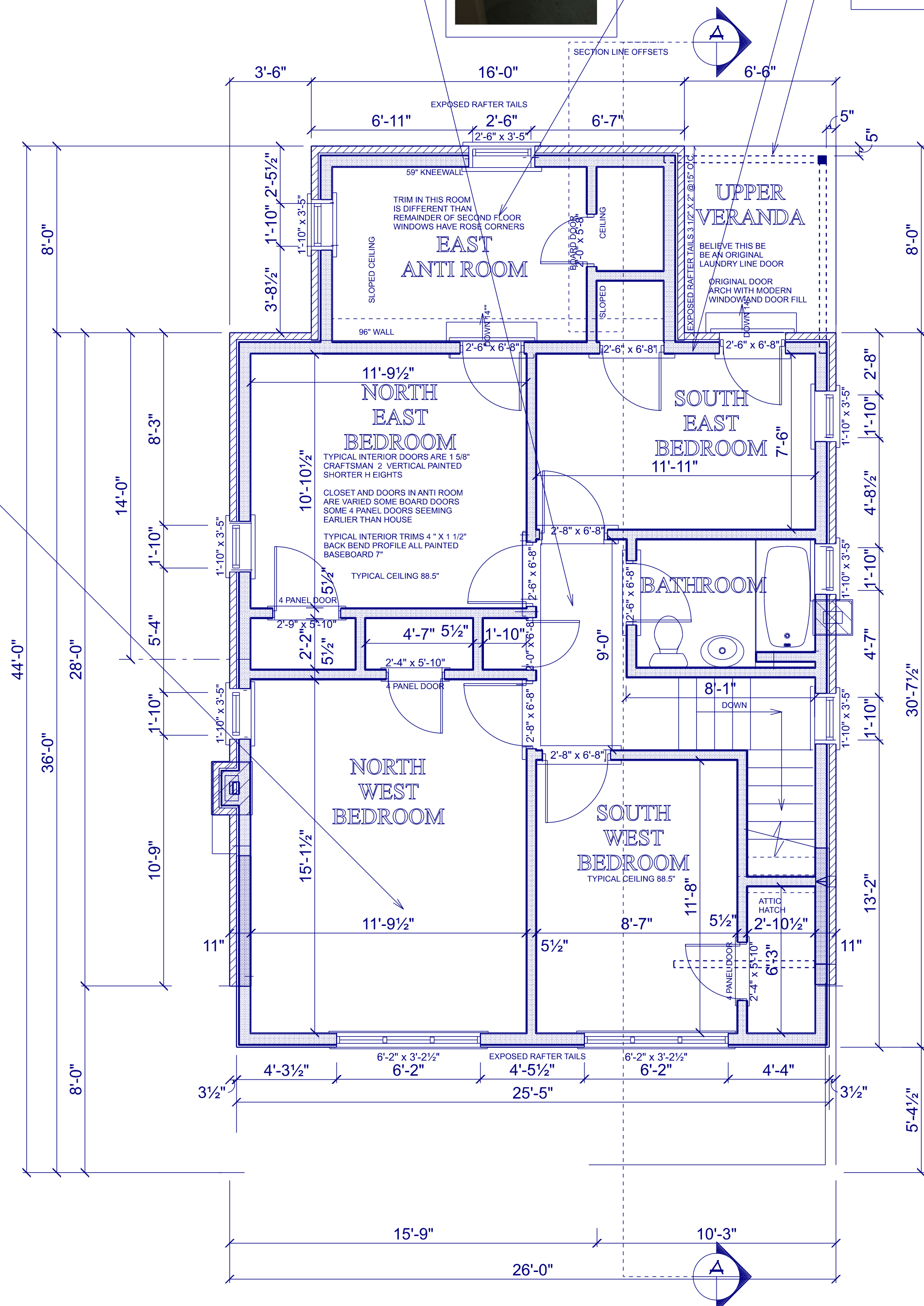
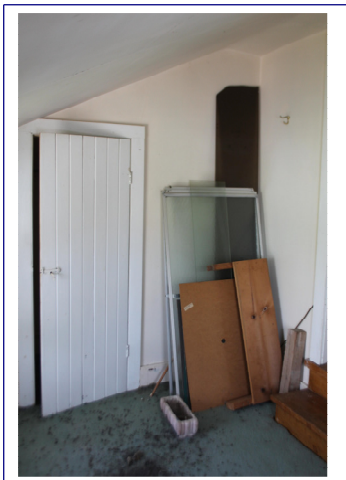
SEDGWICK MARSHALL
HERITAGE HOMES
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10431 THE GORE ROAD
FOR CACHET HOMES
TOWN OF BRAMPTON

FOUNDATION

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PROJECT NUMBER 22-30	ISSUE DATE SEPTEMBER 2022

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GENERAL NOTES

SEDGWICK MARSHALL HERITAGE HOMES

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SEDGWICK MARSHALL
HERITAGE HOMES
AS FOUND
10431 THE GORE ROAD
FOR CACHET HOMES
TOWN OF BRAMPTON

SECOND FLOOR

Scale
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DESIGN DATE
SEPTEMBER 2022

PROJECT NUMBER
22-30

ISSUE DATE

SECOND FLOOR

AS FOUND
OCTOBER 20, 2022

Appendix B:

Structural Engineering Report

10431 The Gore Road Condition Assessment

10431 The Gore Road
Brampton, Ontario



Prepared by:



176 Speedvale Avenue West
Guelph, ON
TE-40216-22

May 27, 2022

Executive Summary

Tacoma Engineers has been retained by Cachet Developments of Vaughan to carry out a structural condition assessment of an existing house located at 10431 The Gore Road in Brampton. The primary purpose of this assessment is to provide a summary of the existing construction and conditions, recommendations for repair and/or stabilization, and comment on the suitability of the structure for relocation.

The building is constructed as a two-storey masonry building, complete with wood-framed floors, roof, and interior walls. It measures approximately 200 m² in building area. A site visit was carried out by Gerry Zegerius, P.Eng., on May 12th, 2022, and a visual review of all accessible spaces was completed on this date.

In general, the building is in good condition. The masonry walls appear to be in good condition and do not show evidence of structurally significant deterioration or settlement. Wood framed floors and the roof are in generally good condition and do not appear to have sustained structurally significant damage.

It is recommended that the building be secured against water and animal ingress, and that loose masonry at the top of the chimneys be secured or removed to mitigate risk of falling material.

Current planning includes the relocation of the house on the same site approximately 20m to the north of its current location. The building has a relatively small footprint, and its stable condition makes it a good candidate for relocation using standard building moving techniques.

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1. Introduction

Tacoma Engineers has been retained by Cachet Developments of Vaughan to carry out a structural condition assessment of an existing house located at 10431 The Gore Road in Brampton.

Tacoma Engineers was retained by Cachet Developments on April 21st, 2022. The undersigned attended the site on May 12th, 2022, to assess the existing conditions.

This report includes a summary of the following items for the building:

- major structural systems;
- existing structural conditions and areas of potential concern;
- conceptual repair options for any areas that may require remedial work; and
- comments on the suitability of the structure for relocation onsite.

2. Background

Cachet Developments owns the building in question, and Tacoma Engineers is being retained as a Consultant directly by the Owner.

This assessment is being undertaken by the Owner and is intended to form part of the conservation plan, being prepared by others. This report is not being prepared as a response to an Order, recommendations, or request by any regulatory body.

The primary purpose of this assessment is to provide a summary of the existing construction and conditions, recommendations for repair and/or stabilization, and comment on the suitability of the structure for relocation.

This report is based on a visual inspection only and does not include any destructive testing. Where no concerns were noted the structure is assumed to be performing adequately. The structure is assumed to have been constructed in accordance with best building practices common at the time of construction. No further structural analysis or building code analysis has been carried out as part of this report unless specifically noted.

No previous work has been completed by Tacoma Engineers on this building for this or any other owner.

No sub-consultants have been retained by Tacoma Engineers to participate in this assessment.

3. Building History

As reported in the Heritage Impact Assessment Report prepared by cHc Limited, 2017, the house was constructed in the 1920s and is thought to have replaced previous log or frame houses and structures that were likely part of the initial European settlement of the area. The property has changed hands several times over the years, it and was sold to Cachet Developments (or Emerald Castle Developments) in 2012.

The building is constructed as a two-storey masonry building, complete with wood-framed floors and partition walls. It measures approximately 200 m² in building area.

4. Scope and Methods

The following documents were provided to the undersigned prior to the preparation of this report:

- Draft Subdivision Plan, GSAI, July 23rd, 2021
- Site plan, RNDesign, June 18th, 2021
- *Heritage Impact Assessment - 10341 The Gore Road*, cHc Limited, April 19th, 2017

The assessment of the building is based on a visual assessment from grade. Access to all sides of the building and the interior spaces was available at the time of the review. Limited access to the attic was available through an attic hatch in a second storey closet.

Note that most the spaces in the building have applied finishes that preclude a direct visual assessment of the structural systems. Limited areas are unfinished, primarily in the basement, and a review of the primary structure was possible in these areas.

A site visit was carried out by Gerry Zegerius, P.Eng., on May 12th, 2022. A visual review of all accessible spaces was completed on this date, and photographs were taken of all noted deficiencies.

5. Definitions

The following is a summary of definitions of terms used in this report describing the condition of the structure as well as recommended remedial actions. Detailed material condition definitions are included in Appendix A of this report.

- **Condition States¹:**
 1. Excellent – Element(s) in “new” condition. No visible deterioration type defects present, and remedial action is not required.
 2. Good – Element(s) where the first signs of minor defects are visible. These types of defects would not normally trigger remedial action since the overall performance is not affected.
 3. Fair – Element(s) where medium defects are visible. These types of defects may trigger a “preventative maintenance” type of remedial action where it is economical to do so.
 4. Poor – Element(s) where severe or very severe defects are visible. These types of defects would normally trigger rehabilitation or replacement if the extent and location affect the overall performance of that element.
- **Immediate remedial action¹:** these are items that present an immediate structural and/or safety hazards (falling objects, tripping hazards, full or partial collapse, etc.). The remedial recommendations will need to be implemented immediately and may include restricting access, temporary shoring/supports or removing the hazard.
- **Priority remedial action¹:** these are items that do not present an immediate hazard but still require action in an expedited manner. The postponement of these items will likely result in the further degradation of the structural systems and finishes. This may include interim repairs, further investigations, etc. and are broken down into timelines as follows:
 1. **Short-term:** it is recommended that items listed as short-term remedial action are acted on within the next 6 months (**before the onset of the next winter season**).

¹ Adapted from “Structural Condition Assessment”, 2005, American Society of Civil Engineers/Structural Engineering Institute

2. **Medium-term:** it is recommended that items listed as medium-term remedial action are acted on within the next 24 months.
 3. **Long-term:** it is recommended that items listed as long-term remedial action are acted on within the next 5-10 years. Many of these items include recommendations of further review/investigation.
- **Routine maintenance¹:** these are items that can be performed as part of a regularly scheduled maintenance program.

In addition to the definitions listed above, it should be noted that the building in question is listed on the Municipal Register of Cultural Heritage Resources. The Standards and Guidelines for the Conservation of Historic Places in Canada provide direction when a structural system is identified as a character-defining element of an historic place. They also provide direction on maintaining, repairing, and replacing structural components or systems². Refer to the General Guidelines for Preservation, Rehabilitation, and Restoration to further inform the development of more detailed remedial actions.

² "Standards and Guidelines for the Conservation of Historic Places in Canada", 2nd Edition, 2010, www.historicplaces.ca

6. General Structural Conditions

The building is constructed as a two-storey masonry and wood-framed structure. Exterior walls are constructed with brick (likely multi-wythe), and the interior walls, roof, and floors are constructed with wood framing.

6.1. Roof

Construction

The roof is framed with regularly spaced wood rafters and lateral roof boards. Access to the attic space was limited and the exact configuration of the roof framing could not be confirmed at the time of the review.

Conditions

The asphalt shingles are at or near the end of their service life. Several shingle tabs were missing at the time of the review and limited evidence of water ingress was noted on the second floor ceiling.



Photograph 1: Minor ceiling damage

Soffit and fascia boards were also found to be in poor condition. It is likely that animals are accessing the attic space. The roof ridge line and roof planes are relatively flat and straight.

The roof framing is likely in fair condition throughout, and isolated repairs to the decking should be expected when the roof shingle is replaced.

Recommended Actions

The following **immediate** remedial actions are recommended for the roof:

- Replace roofing shingles.

- Repair and replace damaged flashing, fascia, and soffits.

6.2. Second Floor

Construction

The floor is expected to be constructed with regularly spaced wood floor joists overlaid with wood decking. Based on the direction of the floor decking visible above, and on the direction of the floor framing visible from the basement, it is assumed that the floor framing is oriented side to side. In addition to this, the lathe is visible running front to back from the rooms below, further evidence that the framing is oriented side to side.

Conditions

Floor finishes, where present, are in poor condition. Cracking is visible in several locations including walls and ceilings.



Photograph 2: Previously repaired ceiling damage

There is no cracking visible on the second floor that suggests there is structurally significant deterioration or damage.

Recommended Actions

There are no recommended actions for the second floor.

6.3. Ground Floor

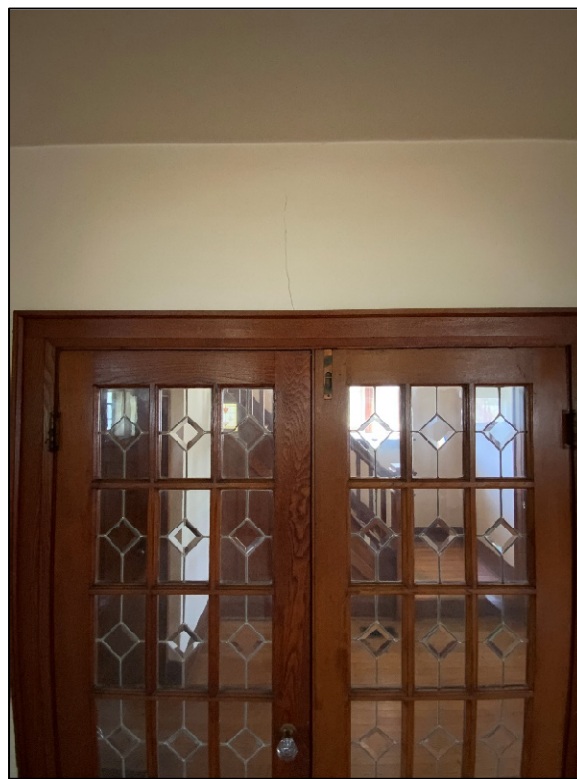
Construction

The floor is constructed with 2¼" x 8" wood floor joists spaced at 16" on centre, overlaid with diagonal wood decking. The joists are supported at the mid-span of the house on a built-up 4-2"x8" wood beam. The floor of the rear addition is constructed with modern wood framing and wood decking.

Conditions

The ground floor is generally in good condition. The framing members are in generally good repair and have sustained limited damage/deterioration.

A vertical crack was noted above the door from the front hall into the living room, and the door was found to be rubbing against the floor below.



Photograph 3: Minor settlement at door opening

This settlement is likely a result of the combination of offset loadbearing elements between the second floor and ground floor framing and the lintel above the double swing door opening.

Recommended Actions

The following **long term** (after relocation) remedial actions are recommended for the ground floor:

- Reinforce lintel above door opening.

6.4. Basement / Foundation

Construction

The foundations are constructed with a combination of parged brick and granite fieldstone. The floor is placed concrete of undetermined thickness. Ground floor joists are pocketed directly into the foundation walls.

Conditions

The foundation is generally in good condition. Limited cracking was noted on the interior and exterior faces, and the upper structure is relatively free of step-cracking and other signs of settlement.

Recommended Actions

There are no recommended actions for the basement/foundation.

6.5. Exterior

Construction

The exterior of the building is constructed primarily with brick, assumed to be multi-wythe and the primary loadbearing element of the building. The exposed foundations are constructed with uncut granite stone and a variety of mortars.

Soffits are primarily wood or exposed roof decking. Window and door openings are provided with shallow soldier brick arches of two (2) courses.

Brick chimneys are located on the northwest and southeast elevations, extending to approximately 20-25 brick courses above the top of the roof framing.

Conditions

The exterior is in good condition. Mortar joints are generally sound and in place, and very few damaged brick units were noted during the review.

The chimneys are in fair condition for the majority of the height, with some open mortar joints; however, the upper 5-6 courses of each chimney appear to have sustained some damage and several bricks appear to be loose.



Photograph 4: Damaged masonry at southeast chimney (typical to both chimneys)

This could be the result of freeze-thaw damage due to the increased exposure of these elements. In cases where the chimneys are no longer required to vent mechanical equipment, the reduction in secondary heat can lead to accelerated deterioration.

Recommended Actions

The following **short term** remedial actions are recommended for the exterior:

- Secure the building against animal ingress.
- Remove or secure damaged and loose masonry at each of the two (2) chimneys.

7. Relocation Feasibility

The current planning for the site includes the relocation of the existing house to a siting approximately 20m further back from The Gore Road on Lot number 132. The site is relatively flat and the elevation change of the existing grade would be negligible between the existing and proposed locations.

The relocation of a building is generally carried out as follows:

- Complete the design and construction of a new foundation at the proposed location of the building's final site. Make accommodations (pockets, openings, etc.) to suit temporary supports such that the structure can be set on top of the new foundation without interference of the temporary supports.
- Install temporary supports around the primary structural support locations of the building at the lowest level in its original location, including:
 - exterior walls;
 - interior loadbearing walls;
 - interior pad footings; and
 - interior strip footings.
- Cut all connections between the house and its foundation.
- Cut all service connections to the house, including all plumbing and electrical connection.
- Remove any and all material from the structure, including finishes that are intended for replacement in the new location.
- Install jacking beams to lift the house from its original foundation.
- Move the temporarily supported structure from its original location to the proposed site.
- Secure the structure to the new foundation.
- Carry out restoration and renovation work as planned, including repairs or replacement of damaged and brittle finishes and/or other materials.

The building at 10431 The Gore Road would require, at minimum, supports at the following locations:

- the exterior perimeter;
- the centre beam line in the basement; and
- the front porch piers, if retained.

Structures that are smaller in size and constructed of materials that can accommodate some movement are the best candidates for relocation. While this house is built primarily of brick, a material that does not accommodate movement, it does have a relatively small footprint. The distance that the house is moving is small and the building is currently in good repair. It is expected that a contractor experienced in moving buildings can successfully reinstate the building in its new proposed location with minimal damage during the process.

8. Summary of Recommendations

The following provides a summary of the recommendations for the existing structure.

Items requiring immediate remedial action:

1. Replace roofing shingles.
2. Repair and replace damaged flashing, fascia, and soffits.

Items requiring short-term remedial action:

3. Secure the building against animal ingress.
4. Remove or secure damaged and loose masonry at each of the two (2) chimneys.

Items requiring long-term (after relocation) remedial action:

5. Reinforce lintel above door opening.

9. Conclusions

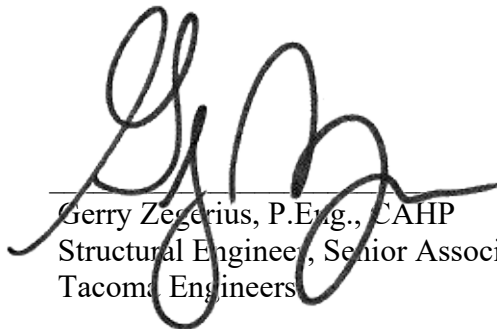
In general, the building is in good condition. The masonry walls appear to be in good condition and do not show evidence of structurally significant deterioration or settlement. Wood framed floors and the roof are in generally good condition and do not appear to have sustained structurally significant damage.

It is recommended that the building be secured against water and animal ingress, and that loose masonry at the top of the chimneys be secured or removed to mitigate risk of falling material.

Current planning includes the relocation of the house on the same site approximately 20m to the north of its current location. The building has a relatively small footprint, and its stable condition makes it a good candidate for relocation using standard building moving techniques.

Please contact the undersigned with any further questions or comments.

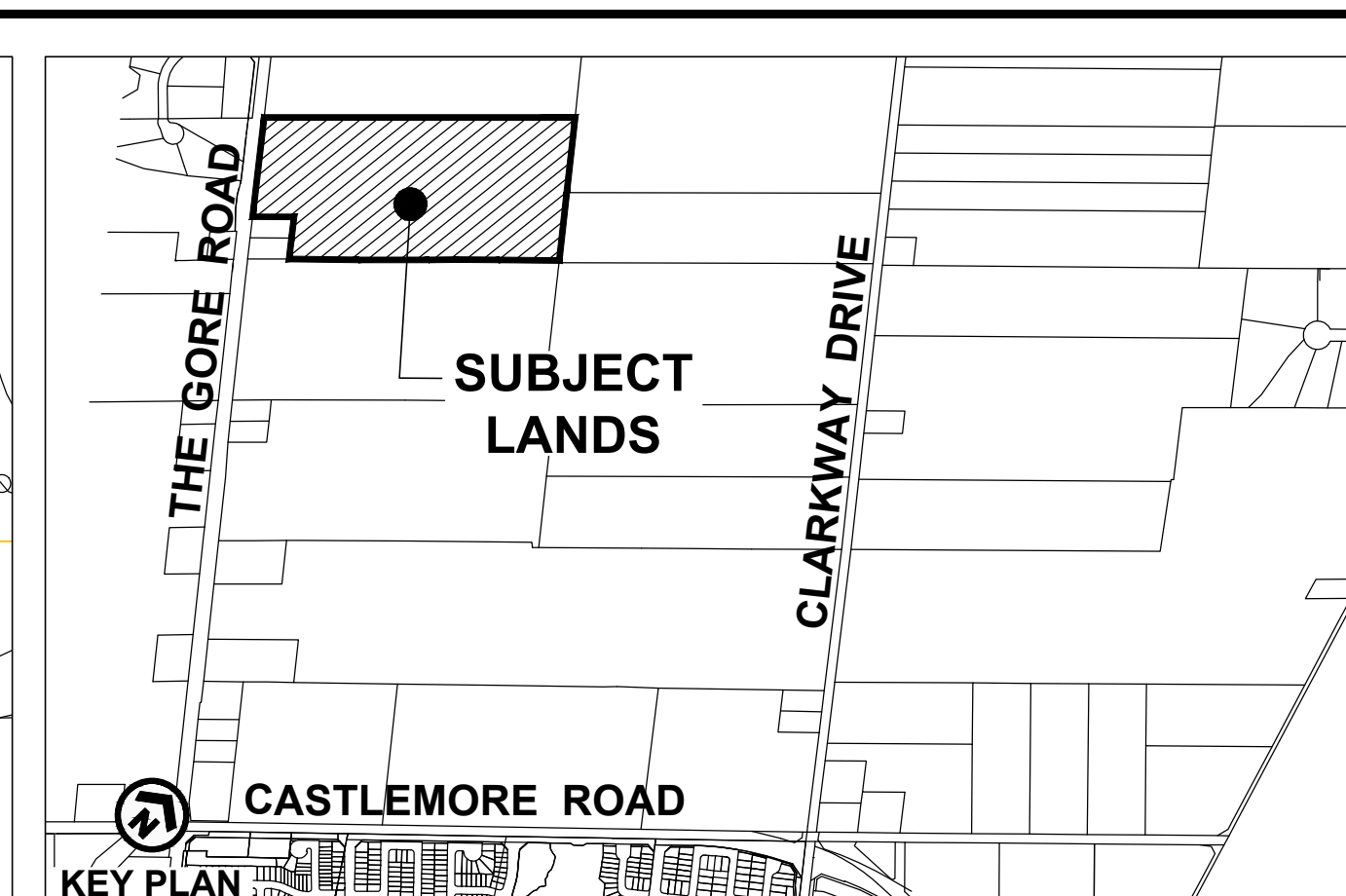
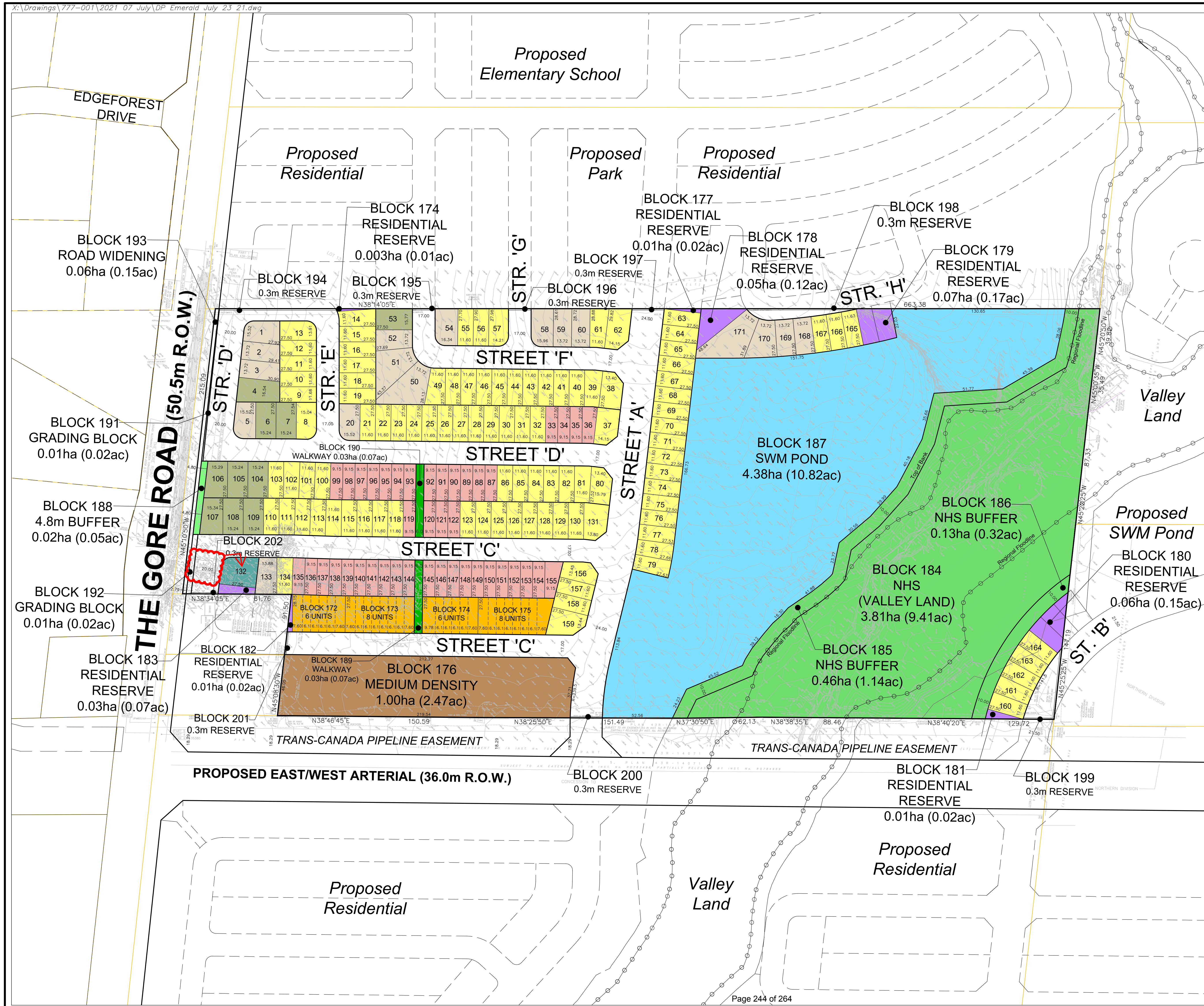
Per


Gerry Zegerius, P.Eng., CAHP
Structural Engineer, Senior Associate
Tacoma Engineers



Appendix C:

Proposed Development



DRAFT PLAN OF SUBDIVISION EMERALD CASTLE DEVELOPMENT INC. FILE # 21T-

PART OF LOT 13, CONCESSION 10 N.D.,
BLOCK PLAN 47-1
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

OWNERS CERTIFICATE
I HEREBY AUTHORIZE GLEN SCHNARR & ASSOCIATES INC. TO PREPARE AND SUBMIT
THIS DRAFT PLAN OF SUBDIVISION TO THE CITY OF BRAMPTON FOR APPROVAL.

SIGNED _____ DATE: _____
RAMSEY SHAHEEN
EMERALD CASTLE DEVELOPMENT INC.

SURVEYORS CERTIFICATE
I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LANDS TO BE SUBDIVIDED AS
SHOWN ON THIS PLAN AND THEIR RELATIONSHIP TO ADJACENT LANDS ARE
CORRECTLY AND ACCURATELY SHOWN.

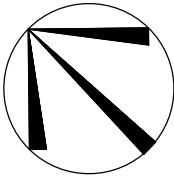
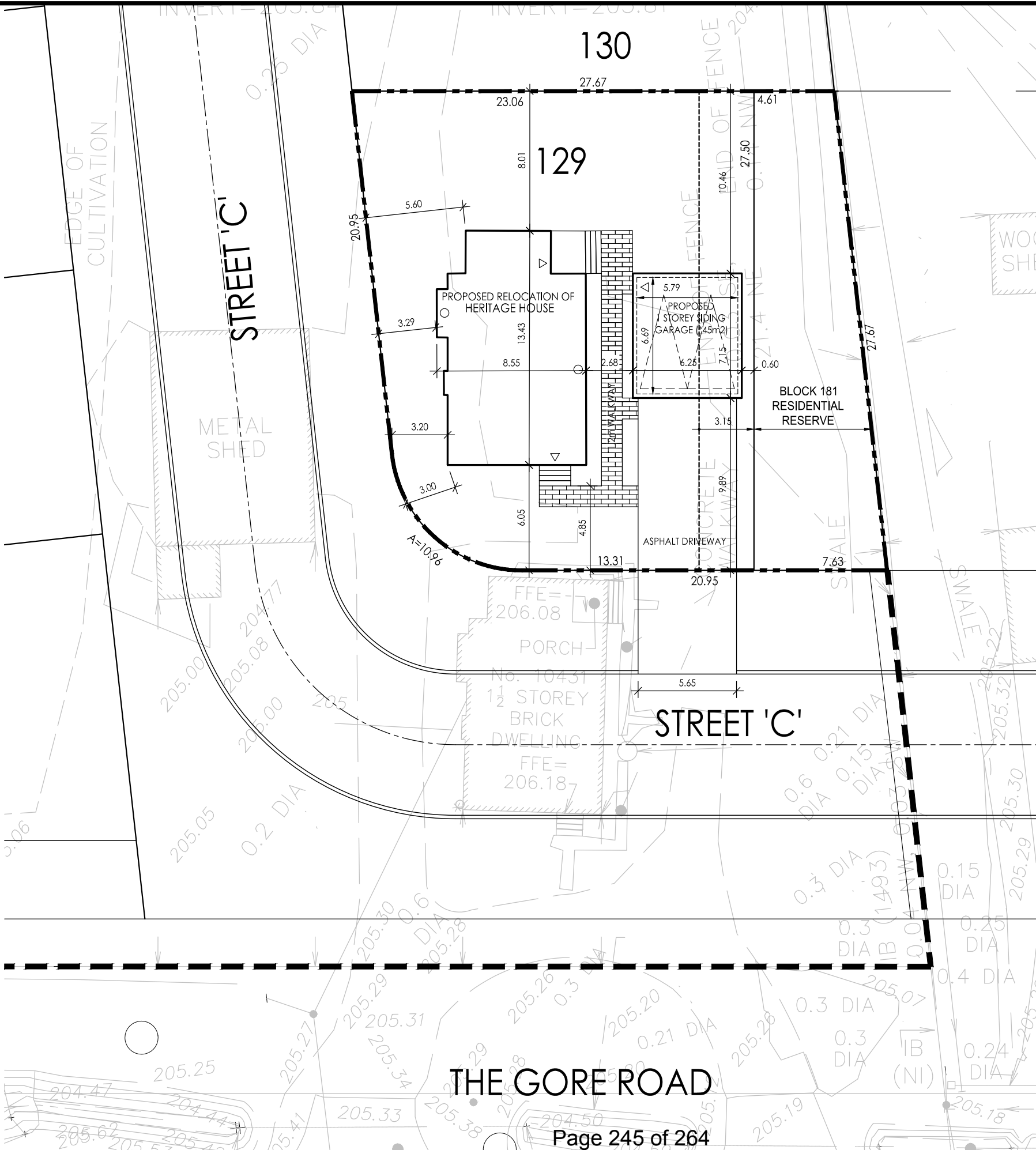
SIGNED _____ DATE: _____
GRANT T. STIDWILL, OLS
J.D. BARNES LIMITED
401 WHEELABRATOR WAY, SUITE A
MILTON, ON
PHONE: (905) 875-9955
WEB: www.jdbarnes.co

ADDITIONAL INFORMATION
(UNDER SECTION 51(17) OF THE PLANNING ACT) INFORMATION REQUIRED BY
CLAUSES A,B,C,D,E,F,G, & J ARE SHOWN ON THE DRAFT AND KEY PLANS.

- H) MUNICIPAL AND PIPED WATER TO BE PROVIDED
- I) SANDY LOAM AND CLAY LOAM
- K) SANITARY AND STORM SEWERS TO BE PROVIDED

LAND USE	LOTS / BLOCKS	AREA (ha)	AREA (ac)	UNITS
DETACHED - 15.24m (50')	4,6,7,53,104-109	0.44	1.09	10
DETACHED - 13.72m (45')	1-3,5,20,50-52,54,58-60,133,168-171	0.84	2.08	17
DETACHED - 11.60m (38')	8-19,21-32,37-49,55-57,61-66,100-103, 110-118,123-131,134,156-167	3.36	8.30	101
DETACHED - 9.15m (30')	33-36,87-99,119-122,135-155	1.07	2.64	42
HERITAGE LOT	132	0.06	0.15	1
STREET TOWNHOUSES - 6.1m (20')	172-175	0.52	1.28	28
MEDIUM DENSITY	176	1.00	2.47	
RESIDENTIAL RESERVE	177-183	0.23	0.57	
NHS (VALLEY LAND)	184	3.81	9.41	
NHS BUFFER	185,186	0.59	1.46	
SWM POND	187	4.38	10.82	
4.8m BUFFER	188	0.02	0.05	
WALKWAY	189,190	0.06	0.15	
GRADING BLOCK	191,192	0.02	0.05	
ROAD WIDENING	193	0.06	0.15	
0.3m RESERVE	194-202	0.00	0.00	
24.0m R.O.W. - (311m Length)		0.75	1.85	
20.0m R.O.W. - (36m Length)		0.32	0.79	
17.0m - 20.0m R.O.W. - (1,319m Length)		2.07	5.12	
TOTAL	202	19.60	48.43	199

Notes
-Daylight triangle collector to local: 7.5m x 7.5m



NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

BUILDING STATISTICS	
REG. PLAN No.	R1F-11.6 AAA
ZONE	
LOT NUMBER	
LOT AREA(m) ²	
BLDG AREA(m) ²	NA
LOT COVERAGE(%)	NA
No. OF STOREYS	EXISTING
MEAN HEIGHT(m)	EXISTING
PEAK HEIGHT(m)	NA
DECK LINE(m)	NA

LEGEND			
FFE	FINISHED FLOOR ELEVATION	SP	SUMP PUMP
TFW	TOP OF FOUNDATION WALL	BP	BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB	CP	CABLE PEDESTAL
USF	UNDER SIDE FOOTING	CB	CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR	DBL	DBL. CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE	EF	ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL	HC	HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE	HL	FIRE HYDRANT
WOD	WALKOUT DECK	SL	STREET LIGHT
LOB	LOOKOUT BASEMENT	MB	MAIL BOX
WOB	WALK OUT BASEMENT	TR	TRANSFORMER
WUB	WALK UP BASEMENT	SC2	SEWER CONNECTIONS 2 LOTS
REV	REVERSE PLAN	SC1	SEWER CONNECTIONS 1 LOT
STD	STANDARD PLAN	WC	WATER CONNECTION
△	DOOR	WVC	WATER VALVE CHAMBER
○	WINDOW	HV	HYDRANT AND VALVE
AC	AIR CONDITIONING	HM	HYDRO METER
DS	DOWN SPOUT TO SPLASH PAD	GM	GAS METER
DS	DOWNSPOUT CONNECTED TO STM	MS	MANHOLE - STORM
→	SWALE DIRECTION	MS	MANHOLE - SANITARY
---	X---		CHAINLINK FENCE
---	XX---		PRIVACY FENCE
---	XXX---		SOUND BARRIER
---	---		FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	JUN-18-21	RP	MS



WWW.RNDESIGN.COM
T:905-738-3177
WWW.THEPLUSGROUP.CA

I, MARCO SANTOS DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION-3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 21036
FIRM BCIN: 26995
DATE:

SIGNATURE: _____

CLIENT	CACHET ESTATE HOMES
PROJECT/LOCATION	EMERALD CASTLE DEVELOPMENT BRAMPTON, ON.
DRAWING	SITE PLAN
DRAWN BY	SCALE
RP	1:250
PROJECT No.	LOT NUMBER
21044	SP100

Appendix D:

Relocation Contractor Quote

Laurie McCulloch Building Moving

960 Taunton Rd E
Whitby, ON L1R 3L8
Phone: (905) 728-0884
Fax: (905) 743-0528
www.mccullochmovers.ca

Thursday, May 5, 2022

Hatim Jafferjee
Land Development Coordinator
Tel: 647.772.3759
361 Connie Crescent, Ste 200, Vaughan ON L4K 5R2
hatim@cachetdevelopments.com

Budgetary Quotation

RE: The Craftsmen style Bungalow located at 10341 The Gore Road, Brampton

Background

The building in question one storey and a half storey brick farmhouse moving onsite

Site Preparation

Excavation around the perimeter of the building down to footing level to allow for placement of steel beams will need to be completed by others.

New excavation for basement will be done so building can be rolled through into final elevation.

Placement

After the building is at its final location, as verified by your surveyors, a new concrete block foundation wall is installed by others leaving openings for the steel beam removal. Once the steel is removed then the holes will be filled in

Scope of Work

We will provide labour and materials necessary to:

- Install steel framework under historic building
- Jack building free of existing foundation
- Prepare structure for move
- Move building to final location
- Place building as per surveyors pins
- Hold in place while new foundation built by others
- Relieve and remove steel framework

Exclusions:

- Site works at site including demolitions of additions, porches, decks, well decommissioning, foundation removal, fill removal to allow steel placement and backfill to make site safe after move
- Roadways between existing and final locations
- Arrange and pay for building and demolition permits required including service removals
- Clearance of basements of all organic materials and mechanical.
- Provide surveyors as required
- Build new foundation

Assumptions

The following is assumed in the pricing

- Adequate laydown/staging area
- Onsite parking for company trucks
- At least a five-foot tall basement under both current and final locations

Cost

The cost for above typical scope of work will be Three Hundred Twenty Thousand plus HST.

Based on supplied information and is to be used for budget purposes only

Yours Truly,

Greg McCulloch

Greg McCulloch
Laurie McCulloch Building Moving

Appendix E:

Assessor Qualifications

ASSESSOR QUALIFICATIONS

Heidy Schopf, MES, CAHP – Built Heritage and Cultural Landscape Team Lead - Ms. Schopf is a Senior Cultural Heritage Specialist at WSP and has worked in the field of Cultural Resource Management since 2007. She is a Professional Member of CAHP. She has worked on a wide variety of projects throughout Ontario, including cultural heritage resources assessments, heritage impact assessments, heritage documentation reports (photographic and 3D/LiDAR), cultural heritage evaluations, strategic conservation plans, HCD studies and plans, heritage feasibility studies, and archaeological assessments. Ms. Schopf has extensive experience applying local, Provincial, and Federal heritage guidelines and regulations to evaluate protected and potential cultural heritage properties. She is skilled at carrying out impact assessments and developing mitigation measures to conserve the heritage attributes of properties where changes are proposed. Ms. Schopf has completed hundreds of cultural heritage projects under a variety of processes, including: Environmental Assessment Act, Planning Act, Ontario Heritage Act, Transit Project Assessment Process, Renewable Energy Approval, and Ontario Energy Board.

Henry Cary, Ph.D., CAHP, RPA – Senior Cultural Heritage Specialist and Staff Archaeologist - Dr. Henry Cary has over 20 years of public and private-sector experience directing archaeological and cultural heritage projects in urban, rural, Arctic and Sub-Arctic environments in Canada as well as the Republic of South Africa, Italy, and France. His career has included positions as project archaeologist and cultural resource management specialist for Parks Canada's Fort Henry National Historic Site Conservation Program and Western Arctic Field Unit, Heritage Manager for the Town of Lunenburg UNESCO World Heritage Site, and senior-level archaeologist and cultural heritage specialist for CH2M and Golder Associates. He currently holds a Professional Archaeology Licence (P327) issued by the Ontario MCM, is MTO RAQs certified in Archaeology/Heritage and is a member of the Canadian Association of Heritage Professionals (CAHP) and Register of Professional Archaeologists (RPA). His education includes a B.A. in Prehistoric Archaeology and Anthropology from Wilfrid Laurier University, a MA in Historical Archaeology from Memorial University, and a Ph.D. in War Studies from the Royal Military College of Canada. Currently, Henry also holds academic positions as Adjunct Professor of Anthropology at Saint Mary's University and lecturer in Visual & Material Culture at Mount Allison University.

Chelsea Dickinson, B.A. Hons, Cultural Heritage Specialist - Ms. Dickinson holds an Honours B.A. Degree in Near Eastern and Classical Archaeology from Wilfrid Laurier University, and a Post-Graduate Certificate in Geographical Information Systems from Fanshawe College and is currently completing a Master of Planning from the University of Waterloo. She has been working in the field of archaeological consulting since 2015 and holds an Applied Research license (License R1194) in Archaeology from the Ontario Ministry of Tourism, Culture and Sport. Ms. Dickinson has conducted all aspects of Stage 1 to 4 archaeological assessments (AAs) throughout Ontario, including environmental assessments (EA) conducted for the development of wind and solar farms, hydro line corridors and municipal roadway improvements. Ms. Dickinson has been the co-author on a multitude of AAs and cultural heritage reports and has experience working on cultural heritage assessment reports, heritage impact assessments, and documentation reports specializing in historical background research spanning across Southern Ontario. Ms. Dickinson has had the privilege of working alongside a multitude of First Nation community members while conducting archaeological and cultural heritage assessments in both Northern and Southern Ontario. Ms. Dickinson has experience using high precision GPS technologies, specifically Top Con Hi SR and FC5000 positioning systems, used to map in architectural features, diagnostic artifacts, as well as topographical anomalies and site boundaries and has experience using ArcGIS while conducting archaeological assessments

Robert Pinchin, B.A. Hons. - Cultural Heritage Technician – Mr. Pinchin holds a B.A. Honors Degree in Canadian History from McMaster University and is currently working towards a Graduate Certificate in GIS from Toronto Metropolitan University. Mr. Pinchin has experience working with cultural heritage preservation and assessing heritage reports from his time volunteering with the City of Hamilton Municipal Heritage Committee. He has experience conducting Environmental

Assessments and authoring Cultural Heritage Resource Assessments and Heritage Impact Assessments. Mr. Pinchin has field experience as an archaeologist during which he conducted stage 1-4 excavations, identified and catalogued artifacts, and worked with GIS technologies to map units and site boundaries.

Appendix F:

Limitations

Limitations

1. The work performed in the preparation of this report and the conclusions presented are subject to the following:
 - a. The Standard Terms and Conditions which form a part of our Professional Services Contract;
 - b. The Scope of Services;
 - c. Time and Budgetary limitations as described in our Contract; and
 - d. The Limitations stated herein.
2. No other warranties or representations, either expressed or implied, are made as to the professional services provided under the terms of our Contract, or the conclusions presented.
3. The conclusions presented in this report were based, in part, on visual observations of the Site and attendant structures. Our conclusions cannot and are not extended to include those portions of the Site or structures, which are not reasonably available, in WSP's opinion, for direct observation.
4. The environmental conditions at the Site were assessed, within the limitations set out above, having due regard for applicable environmental regulations as of the date of the inspection. A review of compliance by past owners or occupants of the Site with any applicable local, provincial or federal bylaws, orders-in-council, legislative enactments and regulations was not performed.
5. The Site history research included obtaining information from third parties and employees or agents of the owner. No attempt has been made to verify the accuracy of any information provided, unless specifically noted in our report.
6. Where testing was performed, it was carried out in accordance with the terms of our contract providing for testing. Other substances, or different quantities of substances testing for, may be present on-site and may be revealed by different or other testing not provided for in our contract.
7. Because of the limitations referred to above, different environmental conditions from those stated in our report may exist. Should such different conditions be encountered, WSP must be notified in order that it may determine if modifications to the conclusions in the report are necessary.
8. The utilization of WSP's services during the implementation of any remedial measures will allow WSP to observe compliance with the conclusions and recommendations contained in the report. WSP's involvement will also allow for changes to be made as necessary to suit field conditions as they are encountered.
9. This report is for the sole use of the party to whom it is addressed unless expressly stated otherwise in the report or contract. Any use which any third party makes of the report, in whole or the part, or any reliance thereon or decisions made based on any information or conclusions in the report is the sole responsibility of such third party. WSP accepts no responsibility whatsoever for damages or loss of any nature or kind suffered by any such third party as a result of actions taken or not taken or decisions made in reliance on the report or anything set out therein.
10. This report is not to be given over to any third party for any purpose whatsoever without the written permission of WSP.
11. Provided that the report is still reliable, and less than 12 months old, WSP will issue a third-party reliance letter to parties that the client identifies in writing, upon payment of the then current fee for such letters. All third parties relying on WSP's report, by such reliance agree to be bound by our proposal and WSP's standard reliance letter. WSP's standard reliance letter indicates that in no event shall WSP be liable for any damages, howsoever arising, relating to third-party reliance on WSP's report. No reliance by any party is permitted without such agreement.

Date: 2022-12-28

Subject: **Property Standards for Vacant Heritage Properties**

Contact: Harsh Padhya, Heritage Planner; City Planning & Design
Harsh.Padhya@brampton.ca

Report Number: Planning, Bld & Growth Mgt-2023-047

Recommendations:

1. That the report titled: Property Standards for Vacant Heritage Properties to the Brampton Heritage Board Meeting of January 23, 2023, be received and accepted.

Overview:

- The Official Plan for the Corporation of the City of Brampton includes conditions of maintenance and occupancy of properties.
- The *Building Code Act, 1992* provides that a by-law may be passed requiring a Property that does not conform with the standards to be repaired and maintained according to standards or cleared of all Buildings, structures, debris or Refuse and left in graded and leveled condition.
- The City of Brampton and their representative, under Property Standard By-law 165-2022, has the authority to administer and enforce the provisions of this by-law.
- The *Municipal Act, 2001* authorizes a municipality to impose fees or charges for services and activities carried out under this By-law.
- The City has several heritage properties which are vacant and unattended throughout the year. This creates a serious threat to its heritage attributes and the property at large if Property Standards are not complied with under the said By-law.

Background:

Over the past several years the City has lost heritage properties, both designated and listed, under circumstances of neglect and lack of adherence to existing Property Standards. The City staff has been proactively working with By-law Enforcement, Legal, Building and other staff to enforce minimum property standards on Heritage Properties. This is achieved either by contacting the owners directly, reaching out to the family members or other interested parties and, as a last resort, issuing a Property Standard Order.

Over the past 3-4 years it has been common practice that new subdivisions integrate existing heritage properties and undertake any required restoration, relocation and/or rehabilitation work. This, at a minimum, provides assurance that the heritage property will be safe and well secured. Similarly, several City-owned heritage properties are updated and maintained periodically under the supervision of Facilities Management. The process of maintaining and conserving heritage resources is important especially under direction of the *Ontario Heritage Act*. Several provisions under the *Provincial Policy Statement*, the *Planning Act*, *Region Official Plan* and *Brampton Official Plan* directs/recommends minimum property standards for all heritage properties.

City of Brampton Property Standard By-law 165-2022 – Part X explicitly addresses provisions for Heritage Buildings. Whereas Section 45 elaborates provisions for Vacant Heritage properties. The City has issued several notices in the past years where the property owners have not met the standard under the By-law; invariably most of these properties are vacant.

Current Situation:

The By-law Enforcement team in consultation with City heritage staff have recently issued Property Standard Orders to a few owners of vacant heritage properties. All these properties are located in greenfield areas of the City and had failed to comply with minimum property standards. This report is to inform the Board about the current situation and staff's approach to avoid or at least minimize the anticipated loss to the heritage resource. A summary of Property Standard Orders from the previous year is attached as Appendix A to this report.

Corporate Implications:Financial Implications:

There are no financial implications resulting from the adoption of the recommendations in this report.

Other Implications:

Not applicable.

Term of Council Priorities:

This report aligns with a 'City of Opportunities', supporting the creation of complete communities by supporting the diversity and distinctiveness of the City through the preservation and conservation of its cultural heritage resources.

Living the Mosaic – 2040 Vision:

The report also aligns with Vision 5 of *Living the Mosaic*: in 2040, Brampton will be a rich mosaic of cultures and lifestyle, coexisting in social responsibility, respect, enjoyment and justice.

Conclusion:

Heritage planning staff shall continue to work with property owners and monitor the status of work undertaken. If required, the vacant heritage properties will be restored to meet minimum property standards and the costs will be levied on the property tax bill.

Authored by:

Reviewed by:

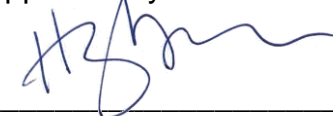


Harsh Padhya
Heritage Planner

Charlton Carscallen, CAHP
Principal Planner/Supervisor, Heritage

Reviewed by:

Approved by:



Jeffrey Humble, MCIP, RPP
Manager, Policy, Program &
Implementation

Henrik Zbogar, MCIP, RPP
Acting Director, City Planning & Design

Attachments:

Appendix A – Summary of Property Standard Orders - 2022

Report authored by: Harsh Padhya, Heritage Planner

PROPERTY STANDARD FOR VACANT HERITAGE PROPERTIES



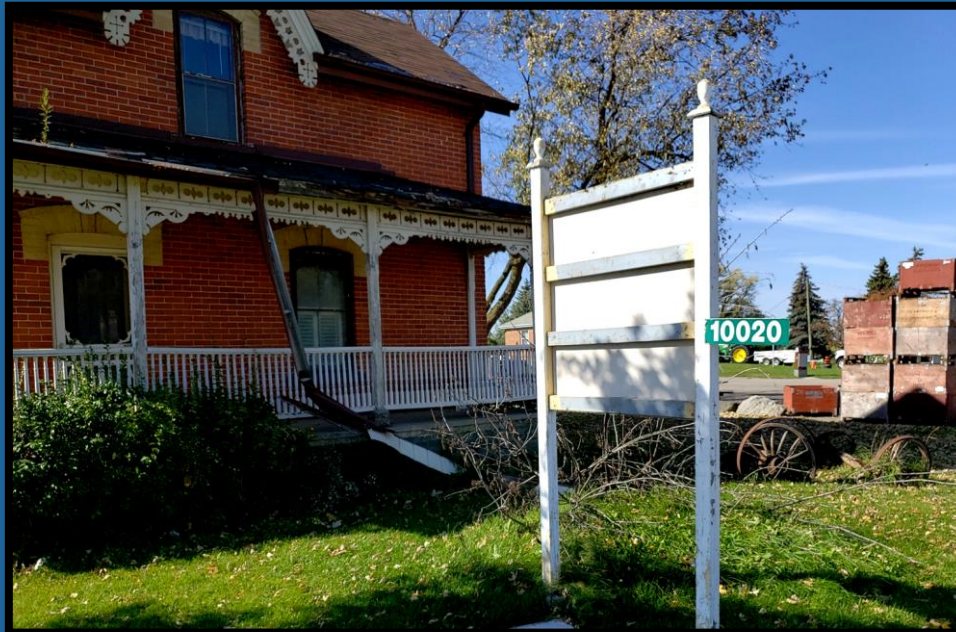
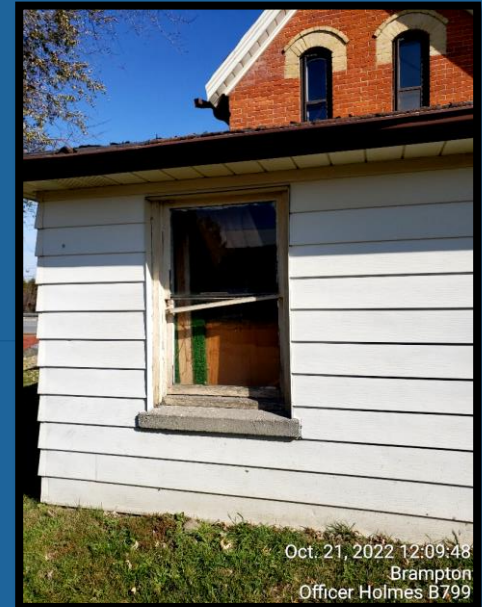


11722 Mississauga Road

December 28, 2022

11722 Mississauga Road

Property Standard Order issued	Major Concerns	Concerns Addressed
First – May 2019 Second – December 2022 PSO registered on title.	<ul style="list-style-type: none">• Exterior walls and their components• Roof including flashings• Windows, exterior doors and basement or cellar hatchways• Steps, walks, driveways and parking areas of a yard	<ul style="list-style-type: none">• Partially done during the 1st PSO• Conditions have deteriorated over the time and hence a 2nd PSO is issued recently

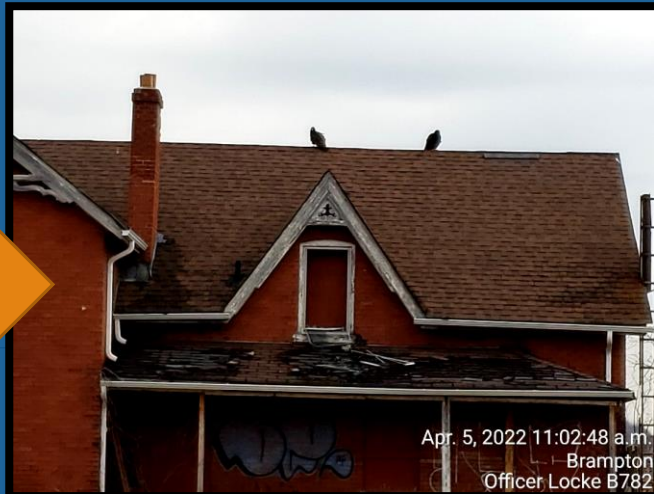


10020 Mississauga Road

10020 Mississauga Road

Property Standard Order issued	Major Concerns	Concerns Addressed
November 2022	<ul style="list-style-type: none">• Front Yard Porch - Exterior landing, stair, porch, deck and all components thereof, including the coverings, treads, risers, guards and handrails• Front Yard and South Side of Building - exterior sign that is in a state of disrepair, unused, not cared for, or discarded, shall be removed• Hedges, shrubs, bushes, trees, and vegetation not maintained or trimmed• West side - damaged or defective window frames, shutters, screens, sashes, casings and weather stripping must be replaced	<ul style="list-style-type: none">• None. Currently under appeal.

BEFORE



AFTER



8331 Heritage Road

Property Standard Order issued	Major Concerns	Concerns Addressed
<ul style="list-style-type: none">November 2022	<ul style="list-style-type: none">Remove vegetation within 10 meters of the BuildingSecure the Building with fencingRemove markings and graffiti from the exterior wallsBoard-up and secure all entrancesRepair roof to patch existing holes or leaksStabilization of Building masonry as appropriate under the supervision of an experienced heritage professional	<ul style="list-style-type: none">Completed

Thank you!

