



Agenda
Committee of Adjustment
The Corporation of the City of Brampton

Date: Tuesday, March 28, 2023
Time: 9:00 a.m.
Location: Hybrid Meeting - Virtual Option & In-Person in Council Chambers – 4th Floor – City Hall
Members: Ron Chatha (Chair)
Desiree Doerfler (Vice-Chair)
Ana Cristina Marques
David Colp

The CoA meeting agenda, including minor variance and consent applications only, is published two Fridays prior to the scheduled Hearing date and the revised agenda, including staff reports and additional correspondence, etc. related to each application, is published the Friday prior to the scheduled Tuesday Hearing date.

NOTICE: In-person public attendance at the meeting may be limited due to prevailing public health gathering requirements. Public and other meeting participants are encouraged to observe meetings online or participate remotely by contacting the City Clerk's Office through the contact details below.

For inquiries about this agenda, or to make arrangements for accessibility accommodations (some advance notice may be required), please contact:
Jeanie Myers, Secretary-Treasurer, Telephone 905.874.2117, cityclerksoffice@brampton.ca

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1. Call to Order
 2. Adoption of Minutes
 3. Region of Peel Comments
 4. Declarations of Interest under the Municipal Conflict of Interest Act
 5. Withdrawals/Deferrals

Letter dated March 07, 2023 from Bhaskar Joshi, Out Of The Box Engineering Inc., advising that application A-2022-0050 is withdrawn.

Letter dated March 10, 2023 from Aimee Powell, Powell Planning & Associates, requesting a deferral for applications B-2022-0003, A-2022-0047 & A-2022-0048 (Agenda Items 7.1, 9.1 & 9.2).

Letter dated March 14, 2023 from Mustafa Ghassan, Delta Urban Inc., requesting a deferral for application B-2022-0027 (Agenda Item 7.4).

Letter dated March 15, 2023 from Tanvir Rai, Noble Prime Solutions Ltd, requesting a deferral for application B-2022-0026, (Agenda Item 7.3).

Letter dated March 15, 2023 from Sami Abu Shanb, Viewport Studio Inc., requesting a deferral for application A-2022-0268, (Agenda Item 9.5).

6. NEW CONSENT APPLICATIONS

6.1

B-2022-0025

SRADHANANDA MISHRA

9893 TORBRAM ROAD

PART OF LOTS 9 AND 10, CONCESSION 6 E.H.S., WARD 8

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 0.54 hectares (1.33 acres); together with a mutual access easement. The proposed severed lot has a frontage of approximately 17.01 metres (55.81 feet), a depth of approximately 44.40 metres (145.67 feet) and an area of approximately 0.09 hectares (0.22 acres). The effect of the application is to provide for a lot addition to the land occupied by an existing Place of Worship which will continue to operate. Future development of the proposed retained lot (vacant land) is contemplated.

Related Minor Variance Applications: A-2022-0372 & A-2022-0373 (Agenda Items 8.1 & 8.2)

6.2

B-2023-0004

IRENE RAMSAMMY AND RON RAMSAMMY

11467 GOREWAY DRIVE

BLOCK 4, PLAN M-312, WARD 10

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 3,873.77 square metres (0.957 acres). The proposed severed lot has a frontage of approximately 21.42m (70.26 feet); a depth of approximately 40.70 metres (133.53 feet) and an area of approximately 1,334.90 square metres (0.329 acres). It is proposed that 2 lots be established from the existing lot for future residential development of a single detached dwelling on the proposed severed lot.

Related Minor Variance Applications: A-2023-0047 & A-2023-0048 (Agenda Items 8.9 & 8.10)

6.3

B-2023-0005

PRIMONT PROPERTIES INC.

10629 MISSISSAUGA ROAD

BLOCK 1, PLAN 43M-1985, WARD 6

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 22893.78 square metres (5.657 acres); together with a shared access easement. The proposed severed lot has a frontage of approximately 124.51 metres (408.50 feet); a depth of approximately 163.59 metres (536.71 feet) and an area of approximately 17,042.32 square metres (4.21 acres). It is proposed that 2 lots be established from the existing lot for future mixed use development.

6.4

B-2023-0006

CONSEIL SCOLAIRE VIAMONDE AND CONSEIL SCOLAIRE CATHOLIQUE
MONAVENIR

VETERANS DRIVE (SOUTHWEST CORNER OF VETERANS DRIVE &
CREDITVIEW ROAD)

PART OF BLOCK 304, PLAN 43M-1878, WARD 6

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 64,085 square metres (6.4 hectares). The proposed severed lot has a frontage of approximately 124 metres (406.82 feet); a depth of approximately 187 metres (613.52 feet) and an area of approximately 43043 square metres (4.3 hectares). It is proposed that 2 lots be established from the existing lot for future development of a French Language high school and a French language elementary school.

6.5

B-2023-0007

MAY JUNIOR HOLDINGS LIMITED

0 WINSTON CHURCHILL BOULEVARD

PART OF LOT 1, CONCESSION 6 WHS, WARD 6

The purpose of the application is to request the consent of the Committee of Adjustment to the grant of an easement having a width of approximately 8.0 metres (26.25 feet); a depth of approximately 62.0 metres (203.41 feet) and an area of approximately 0.050 hectares (0.124 acres). It is proposed that a service utility and sanitary force-main sewer easement be established in favour of the abutting properties municipally known as 8175 and 8310 Winston Churchill Boulevard.

7. DEFERRED CONSENT APPLICATIONS

7.1 B-2022-0003

MANUPRIYA SHARMA

43 DAVID STREET

LOT 24, PLAN BR-32, PART 2, PLAN 43R-9448, WARD 1

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 876.5 square metres (0.22 acres). The proposed severed lot has a frontage of approximately 9.07 metres (29.76 feet); a depth of approximately 48.3 metres (158.46 feet) and an area of approximately 438.2 square metres (0.011 acres). It is proposed that 2 lots be established from the existing lot for future residential development of a single detached dwelling on each lot.

Related Minor Variance Applications: A-2022-0047 & A-2022-0048 (Agenda Items 9.1 & 9.2)

7.2 B-2022-0014

MEHNA AUTO SALES INC.

93 JOHN STREET

PART OF LOT 43, PLAN BR-2, PART 4, PLAN 43R-13441, WARD 3

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 0.063 hectares (1.55 acres). The proposed severed lot has a frontage of approximately 7.93 metres (26 feet), a depth of approximately 37.27 metres (122.28 feet) and an area of approximately 0.029 hectares (0.073 acres). The effect of the application is to create two individual lots from the existing lot for future residential development of a new semi-detached dwelling on each proposed lot.

Related Minor Variance Applications: A-2022-0320 & A-2022-0321 (Agenda Items 9.6 & 9.7)

7.3

B-2022-0026

KULBIR RAO AND NAVNEET RAO

33 SILKTOP TRAIL

LOT 30, PLAN 43M-1300, WARD 9

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 762.16 square metres (0.188 acres). The proposed severed lot has a frontage of approximately 13.95 metres (45.77 feet), a depth of approximately 25 metres (82.02 feet) and an area of approximately 387.25 square metres (0.096 acres). The effect of the application is to create a new residential lot for future development of a single detached dwelling.

7.4

B-2022-0027

AECON CONSTRUCTION AND MATERIALS LIMITED

45, 55 VAN KIRK DRIVE/12 CANAM CRESCENT

PART OF LOT 11, CONCESSION 1 W.H.S., WARD 2

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 60,192.90 square metres (6.02 hectares). The proposed severed lot has a frontage of approximately 112.09 metres (367.75 feet), a depth of approximately 118.63 metres (389.20 feet) and an area of approximately 6,457.97 square metres (0.65 hectares). The effect of the application is to establish two separate lots from the existing lot to facilitate the sale of the proposed severed lot for future development.

8.

NEW MINOR VARIANCE APPLICATIONS

8.1

A-2022-0372

SRADHANANDA MISHRA

9893 TORBRAM ROAD

PART OF LOTS 9 AND 10, CONCESSION 6 E.H.S., WARD 8

The applicant is requesting the following variance(s) in conjunction with the proposed severed lot under Consent Application B-2022-0025:

1. To permit a minimum lot area of 1,500 square metres whereas the by-law requires a minimum lot area of 6500 square metres;
2. To permit a minimum landscaped open space strip of 1.5 metres along the site limits whereas the by-law requires a minimum landscaped open space strip of 3.0 metres, except at the location of a driveway.

Related Consent Application: B-2022-0025 (Agenda Item 6.1)

8.2

A-2022-0373

SRADHANANDA MISHRA

9893 TORBRAM ROAD

PART OF LOTS 9 AND 10, CONCESSION 6 E.H.S., WARD 8

The applicant is requesting the following variance(s) in conjunction with the proposed severed lot under Consent Application B-2022-0025:

1. To permit a minimum lot area of 4,500 square metres whereas the by-law requires a minimum lot area of 6500 square metres;
2. To permit a minimum interior side yard setback of 2.4m (7.87 ft.) to an existing building whereas the by-law requires a minimum interior side yard setback of 7.5m (24.60 ft.) or half of the height of the building, whichever is less.

Related Consent Application: B-2022-0025 (Agenda Item 6.1)

8.3

A-2023-0024

SURJAN SINGH JASSON

20 GARSIDE CRESCENT

LOT 165, PLAN 866, WARD 8

The applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an interior side yard setback of 2.18m (7.15 ft.) to the exterior stairway leading to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 3.0m (9.84 ft.);
3. To permit an existing accessory structure (shed) having a side yard setback of 0.13m (0.43 ft) whereas the by-law requires a minimum setback of 0.6m (1.97 ft) for an accessory structure to the nearest lot line;
4. To permit a rear yard setback of 7.34m (24.08 ft) whereas the by-law requires a minimum rear yard setback of 7.6m (24.94 ft).

8.4

A-2023-0037

ALWIN ANTONY AND MARINA MARIYACHAN

23 FERRI CRESCENT

PART OF LOT 191, PLAN M-105, PART 8, PLAN 43R-9047, WARD 2

The applicants are requesting the following variance(s):

1. To permit a below grade entrance in the exterior side yard whereas the by-law does not permit a below grade entrance in an exterior side yard;
2. To permit an exterior side yard setback of 2.31m (7.58 ft.) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.);
3. To permit an accessory structure in the exterior side yard having a setback of 0.23m (0.75 ft.) to the flankage lot line whereas the by-law does not permit an accessory structure in an exterior side yard.

8.5

A-2023-0042

DANTE LIMBAGA AND FRANCIS LIMBAGA

96 RUTHERFORD ROAD NORTH

LOT 529, PLAN 889, WARD 1

The applicants are requesting the following variance(s):

1. To permit a rear yard setback of 7.49m (24.57 ft.) whereas the by-law requires a minimum rear yard setback of 8.48m (27.82 ft.);
2. To permit a driveway width of 7.74m (25.39 ft.) whereas the by-law permits a maximum driveway width of 7.32m (24 ft.).

8.6

A-2023-0044

JEFFERY CADENA AND ANISHA CADENA

54 ESKER DRIVE

LOT 47, PLAN M-537, WARD 2

The applicants are requesting the following variance(s):

1. To permit a deck encroachment of 3.63m (11.91 ft.) into the required rear yard, resulting in a rear yard setback of 4.37m (14.34 ft.) whereas the by-law permits a maximum deck encroachment of 3.0m (9.84 ft.), resulting in a rear yard setback of 5.0m (16.40 ft.);
2. To permit an interior side yard setback of 0.54m (1.77 ft.) to an as-built deck whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.) to the second storey.

8.7

A-2023-0045

BALJIT SINGH THIARA

16 SAINT EUGENE STREET

PART OF LOT 65, PLAN 43M-1707, PART 26, PLAN 43R-31556, WARD 4

The applicant is requesting the following variance(s):

1. To permit a below grade entrance in the required side yard whereas the by-law does not permit a below grade entrance in a required side yard;
2. To permit a 0.13m (0.43 ft.) setback to the below grade stairs whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

8.8

A-2023-0046

DIAN LANDURIE AND WALTER DE BRUYN KOPS

7558 CREDITVIEW ROAD

PART OF LOT 13, CONCESSION 4 WHS, PART 2, PLAN 43R-22577, WARD 6

The applicants are requesting the following variance(s):

1. To permit a garden suite located above an existing detached garage with a residential gross floor area of 66 sq. m (710.42 sq. ft.) and a combined gross floor area for the detached garage with a garden suite above of 148.26 sq. m (1,595.86 sq. ft.), whereas the by-law permits a maximum gross residential floor area of 48 sq. m (516.67 sq. ft.) for a garden suite located above a detached garage and a maximum combined gross floor area of 96 sq. m (1,033.34 sq. ft.) for the detached garage with a garden suite above.

8.9

A-2023-0047

IRENE RAMSAMMY AND RON RAMSAMMY

11467 GOREWAY DRIVE

BLOCK 4, PLAN M-312, WARD 10

The applicants are requesting the following variance(s) associated with the proposed “retained” lot under Consent Application B-2023-0004:

1. To permit a lot area of 0.24 hectares whereas the by-law requires a minimum lot area of 0.8 hectares;
2. To permit a lot width of 9.49m (31.14 ft.) whereas the by-law requires a minimum lot width of 45m (147.64 ft.);
3. To permit an interior side yard setback of 6.87m (22.54 ft.) whereas the by-law requires a minimum interior side yard setback of 7.5m (24.60 ft.);
4. To permit 51.23% front yard landscape open space whereas the by-law requires a minimum of 70% of the front yard to be landscaped open space.

Related Consent Application: B-2023-0004 (Agenda Item 6.2)

8.10

A-2023-0048

IRENE RAMSAMMY AND RON RAMSAMMY

11467 GOREWAY DRIVE

BLOCK 4, PLAN M-312, WARD 10

The applicants are requesting the following variance(s) associated with the proposed “retained” lot under Consent Application B-2023-0004:

1. To permit a lot area of 0.13 hectares whereas the by-law requires a minimum lot area of 0.8 hectares;
2. To permit a lot width of 21.42m (70.28 ft.) whereas the by-law requires a minimum lot width of 45m (147.64 ft.);
3. To permit an interior side yard setback of 1.2m (3.94 ft.) whereas the by-law requires a minimum interior side yard setback of 7.5m (24.60 ft.);
4. To permit a rear yard setback of 7.5m (24.60 ft.) whereas the by-law requires a minimum rear yard setback of 15.0m (49.22 ft.);
5. To permit a front yard setback of 8.0m (26.25 ft.) whereas the by-law requires a minimum front yard setback of 12m (39.37 ft.).

Related Consent Application: B-2023-0004 (Agenda Item 6.2)

8.11

A-2023-0049

JAYASANKAR RAMANATHAN

84 SLEIGHTHOLME CRESCENT

LOT 36, PLAN 43M-1804, WARD 10

The applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an interior side yard setback of 0.07m (0.23 ft.) to a proposed below grade entrance whereas the by-law requires a minimum interior side yard setback of 0.3m (0.98 ft.) provided that a continuous side yard width of no less than 1.2m (3.94 ft.) is provided on the opposite side.

8.12

A-2023-0050

ROSE GARDEN NOMINEE INC.

122-130 MAIN STREET NORTH, 6 AND 7 NELSON STREET EAST AND 7 AND 11
CHURCH STREET EAST

Part of Lots 49, 50, 51, 52, 57, 58, 59 and 85 and All of Lots 53 and 54, Plan BR-2,
WARD 1

The applicant is requesting the following variance(s):

1. To permit a maximum of 676 dwelling units whereas the by-law permits a maximum of 590 dwelling units;
2. To permit a maximum floor plate area of 2,800 square metres for floors 1 to 6 whereas the by-law permits a maximum floor plate area of 800 square metres.

8.13

A-2023-0051

PARTH SHAH AND HINAL PARTH SHAH

4 RAIN LILY LANE

PART OF LOT 65, PLAN M-1114, PART 16, PLAN 43R-20429, WARD 9

The applicants are requesting the following variance(s):

1. To permit a below grade entrance on a lot containing a quattroplex whereas the by-law only permits a below grade entrance in a single detached, semi detached or townhouse dwelling;
2. To permit a side yard setback of 1.29m (4.23 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.).

8.14 A-2023-0052

MAANVIR SINGH SIDHU, SHELJA SHARMA AND KARANVIR SINGH SIDHU
29 KEATS TERRACE

PART OF LOT 112, PLAN M-1600, Part 14, PLAN 43R-29149, WARD 6

The applicants are requesting the following variance(s):

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit a below grade entrance in the required interior side yard;
2. To permit an interior side yard setback of 0.03m (0.10 ft.) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

8.15 A-2023-0053

KIMPREET JASSAL AND GURVINDER JASSAL
9 KEEWATIN GATE

LOT 71, PLAN M-470, WARD 3

The applicants are requesting the following variance(s):

1. To permit a building height of 8.76m (28.74 ft.) whereas the by-law permits a maximum building height of 7.6m (24.93 ft.).

8.16 A-2023-0054

BHAGYESH KALPITKUMAR PATEL AND ISHIYA BHAGYESH PATEL
51 NATHANIEL CRESCENT

PART OF LOT 163, PLAN 43M-1590, PART 62, PLAN 43R-28947, WARD 6

The applicants are requesting the following variance(s):

1. To permit a below grade entrance between the main wall of a dwelling and the flankage lot line whereas the by-law does not permit below grade entrances between the main wall of the dwelling and the flankage lot line.

8.17

A-2023-0056

ABHISHEK SINGH TANWAR AND MANISHA TANWAR

24 GRAND RIVER COURT

PART OF BLOCK G, PLAN M-95, PARTS 53, 53A AND 53B, PLAN 43R-3631,
WARD 8

The applicants are requesting the following variance(s):

1. To vary Schedule 'C', Section 128 of the by-law to permit a carport located outside the approved building envelope whereas the by-law requires that all buildings be constructed in accordance with Schedule 'C', Section 128 to the by-law;
2. To permit an existing accessory structure (shed) having a setback of 0.54m (1.78 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest lot lines for an accessory structure.

8.18

A-2023-0057

ASHIMA DHINGRA AND SHREYA DHINGRA

9 NATIONAL CRESCENT

LOT 5, PLAN 43M-1201, WARD 2

The applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an interior side yard setback of 0.2m (0.66 ft.) to a proposed below grade entrance whereas the by-law requires a minimum setback of 0.3m (0.98 ft.) provided that a continuous side yard width of no less than 1.2m(3.94 ft.) is provided on the opposite side.

8.19

A-2023-0059

KARLENE REID STEWART AND REID CHARLES

17 NIGHTJAR DRIVE

LOT 112, PLAN 43M-2043, WARD 6

The applicants are requesting the following variance(s):

1. To permit a below grade entrance in the required interior side yard whereas the by-law does not permit a below grade entrance in a required interior side yard;
2. To permit a 0.16m (0.52 ft) interior side yard setback to the below grade stairs whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

8.20

A-2023-0060

ASHISH KUMAR AND BHUMIKA MIGLANI

65 SUGARBERRY DRIVE

PART OF LOT 152, PLAN 43M-1718, PART 18, PLAN 43R-1846, WARD 5

The applicants are requesting the following variance(s):

1. To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an exterior side yard setback of 2.44m (8.0 ft.) whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.);
3. To permit a driveway width of 5.64m (18.50 ft.) whereas the by-law permits a maximum driveway width of 5.2m (17 ft.).

8.21

A-2023-0061

MARCIA LAWRENCE

102 SWENNEN DRIVE

LOT 56, PLAN M-174, WARD 1

The applicant is requesting the following variance(s):

1. To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an exterior side yard setback of 2.22m (7.28 ft.) whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.).
3. To permit a driveway width of 8.1m (26.57 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.).
4. To permit 0.0m permeable landscaping between the driveway and the side lot line whereas the by-law requires a minimum 0.6m (1.97 ft.) permeable landscaping between the side lot line and the driveway.

8.22

A-2023-0062

DAVID CLOUTIER

31 LINKS LANE

LOT 38, PLAN 43M-1379, WARD 4

The applicant is requesting the following variance(s):

1. To permit an accessory structure (gazebo) having a gross floor area of 40.26 sq. m (433.36 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
2. To permit habitable space within an accessory structure (installation of a washroom) whereas the by-law does not permit habitable space within an accessory structure.

8.23

A-2023-0063

BIKRAM SINGH AND MANDEEP GILL

34 ABIGAIL GRACE CRESCENT

LOT 88, PLAN 43M-2063, WARD 6

The applicants are requesting the following variance(s):

1. To permit a landing to encroach 4.4m (14.44 ft.) into the minimum required rear yard resulting in a rear yard setback of 3.1m (10.17 ft.) whereas the by-law permits a maximum encroachment of 3.0m (9.84 ft.) resulting in a rear yard setback of 4.5m (14.76 ft.).

9.

DEFERRED MINOR VARIANCE APPLICATIONS

9.1

A-2022-0047

MANUPRIYA SHARMA

43 DAVID STREET

LOT 24, PLAN BR-32, PART 2, PLAN 43R-9448, WARD 1

The applicant is requesting the following variance(s) associated with the proposed “retained” lot under consent application B-2022-0003:

1. To permit a lot area of 438.2 square metres whereas the by-law requires a minimum lot area of 450 square metres;
2. To permit a lot width of 9.07 metres whereas the by-law requires a minimum lot width of 15 metres;

Related Consent Application: B-2022-0003 (Agenda Item 7.1)

9.2

A-2022-0048

MANUPRIYA SHARMA

43 DAVID STREET

LOT 24, PLAN BR-32, PART 2, PLAN 43R-9448, WARD 1

The applicant is requesting the following variance(s) associated with the proposed “retained” lot under consent application B-2022-0003:

1. To permit a lot area of 438.2 square metres whereas the by-law requires a minimum lot area of 450 square metres;
2. To permit a lot width of 9.07 metres whereas the by-law requires a minimum lot width of 15 metres;

Related Consent Application: B-2022-0003 (Agenda Item 7.1)

9.3

A-2022-0203

ADAI KALARAJ POTHAGAL AND MARIA ANTONY KOVEENA PRAKASAM

24 JEMIMA ROAD

LOT 113, PLAN 43M-2022, WARD 6

The applicants are requesting the following variance(s):

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit exterior stairways constructed below the established grade within a required interior side yard;
2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

9.4**A-2022-0264**

GURPREET UBHI AND KULJEET UBHI

8884 CREDITVIEW ROAD

PART OF LOT 5, CONCESSION 4 WHS, WARD 4

The applicants are proposing construction of a 2 storey dwelling and are requesting the following variance(s):

1. To permit interior side yard setbacks of 2.66m (8.73 ft.) and 2.89m (9.48 ft.) whereas the by-law requires a minimum side yard setback of 7.5m (24.60 ft.);
2. To permit 56% of the required front yard to be landscaped open space whereas the by-law requires a minimum 70% of the required front yard to be landscaped open space.

9.5**A-2022-0268**

MOHAMMED ILYAS

2257 AND 2267 EMBLETON ROAD

PART OF LOT 5, CONCESSION 5 WHS, WARD 6

The applicant is requesting the following variance(s):

1. To permit a Day Nursery whereas the by-law does not permit the proposed use;
2. To permit 40% of the required front yard to be landscaped open space whereas the by-law requires a minimum 70% of the required front yard to be landscaped open space;
3. To permit a front yard setback of 8.0m (22.25 ft.) whereas the by-law requires a minimum front yard setback of 12m.0m (39.37 ft.);
4. To permit a side yard setback of 6.0m (19.68 ft.) whereas the by-law requires a minimum side yard setback of 7.5m (24.60 ft.);
5. To permit a building height of 12.0m (39.37 ft.) whereas the by-law permits a maximum building height of 10.0m (32.80 ft.).

9.6

A-2022-0320

MEHNA AUTO SALES INC.

93 JOHN STREET

PART OF LOT 43, PLAN BR-2, PART 4, PLAN 43R-13441, WARD 3

The applicant is requesting the following variance(s) for construction of a new semi-detached dwelling in conjunction with the proposed severed lot under Consent Application B-2022-0014:

1. To permit a semi-detached dwelling whereas the by-law does not permit a semi-detached dwelling within an R1B zone;
2. To permit a minimum lot area of 290 square metres whereas the by-law requires a minimum lot area of 450 square metres;
3. To permit a minimum lot width of 7.90 metres whereas the by-law requires a minimum lot width of 15 metres;

Related Consent Application: B-2022-0014 (Agenda Item 7.2)

9.7

A-2022-0321

MEHNA AUTO SALES INC.

93 JOHN STREET

PART OF LOT 43, PLAN BR-2, PART 4, PLAN 43R-13441, WARD 3

The applicant is requesting the following variance(s) for construction of a new semi-detached dwelling in conjunction with the proposed severed lot under Consent Application B-2022-0014:

1. To permit a semi-detached dwelling whereas the by-law does not permit a semi-detached dwelling within an R1B zone;
2. To permit a minimum lot area of 290 square metres whereas the by-law requires a minimum lot area of 450 square metres;
3. To permit a minimum lot width of 7.90 metres whereas the by-law requires a minimum lot width of 15 metres;

Related Consent Application: B-2022-0014 (Agenda Item 7.2)

9.8 A-2022-0353

KAVALJIT KAUR

693 PETER ROBERTSON BOULEVARD

LOT 71, PLAN M-1085, WARD 9

The applicant is requesting the following variance(s):

1. To permit a driveway width of 7.877m (25.84 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
2. To permit a rear yard setback of 3.12m (10.24 ft.) to an existing deck whereas the by-law requires a minimum rear yard setback of 4.5m (14.76 ft.).

9.9 A-2022-0371

MOHAMMED FASIULLAH MASOOD AND MUMTAZ SHABANA MOHAMMED

14 DUBLIN ROAD

LOT 90, PLAN 43M-1878, WARD 6

The applicants are requesting the following variance(s):

1. To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an exterior side yard setback of 2.84m (9.32 ft.) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.).

9.10 A-2022-0400

CHIRAG NANALAL SHAH AND KESHA RAMESHBHAI SHAH

23 GORE VALLEY TRAIL

LOT 37, PLAN 43M-1545, WARD 8

The applicants are requesting the following variance(s):

1. To permit a driveway width of 7.92m (26 ft) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.).

9.11 **A-2022-0401**

SUKHPAL SINGH AND GURJANT SINGH

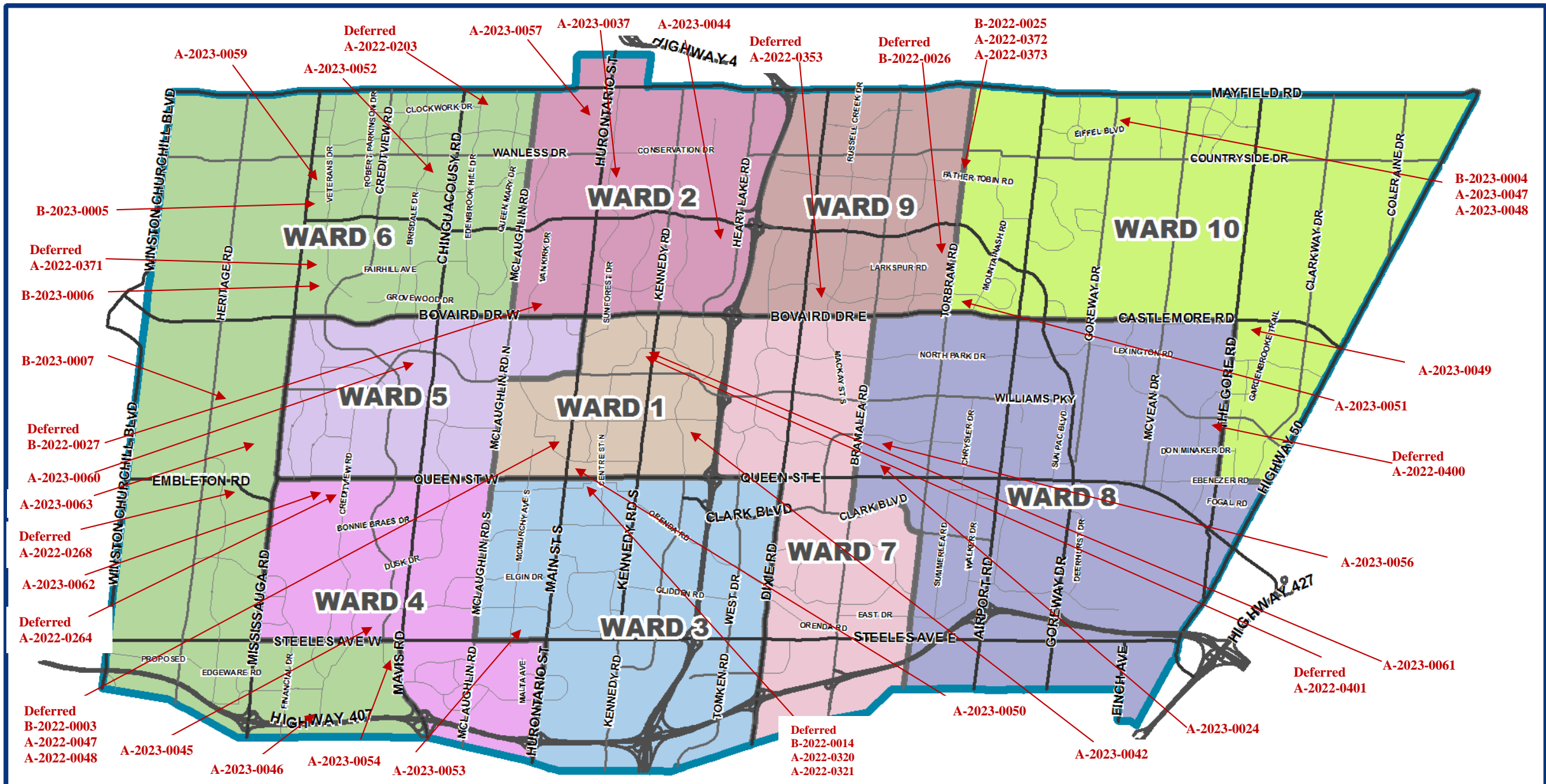
73 BLACKTHORN LANE

LOT 160, PLAN M-175, WARD 1

The applicants are requesting the following variance(s):

1. To permit a proposed below grade entrance between the main wall of a dwelling and the flankage lot line whereas the by-law does not permit below grade entrances between the main wall of the dwelling and the flankage lot line.

10. **Adjournment**



Out Of The Box Engineering Inc.

7 Archway Trail, Brampton, On, L6p 4E3

bhaskar@outoftheboxeng.com, 416-835-6620



07 MARCH 2023

Reference No :- 23-0707

Property Address :- 9 BOOTHILL DR

Work/Project Description:- WITHDRAWAL OF MINOR VARIANCE APPLICATION

Building Permit no:- A-2022-0050

Notes/Comments:-

We had applied for minor variance for 9 Boothill Dr as owner was planning to propose a side door. However, Owner has decided to go with proposing below grade entrance in the rear yard and so minor variance is no longer necessary and would like to withdraw the application.

Trusting this is the information you require. If you have any further questions, please contact our office.

Out Of The Box Engineering Inc.



Bhaskar Joshi, P.Eng. (Date 07 MARCH 2023)

Report Given to: City of BRAMPTON



Powell Planning & Associates

evolution through planning & development

Attn: **Ms. Jeanie Myers** March 10, 2023
City of Brampton Committee of Adjustment Secretary-Treasurer

Re: **Files B-2022-0003, A-2022-0047, & A-2022-0048**

Address: 43 David Street, Brampton (Lot 24, PLAN BR-32, PART 2, PLAN 43R-9448)

From: **Agent, Aimee Powell c/o Powell Planning & Associates**

Dear Ms. Myers,

Powell Planning & Associates are the land use planning consultants representing the landowner, Manupriya Sharma, for the subject applications that are to be heard at the City of Brampton's March 28th, 2023 Committee of Adjustment meeting.

In accordance with the City of Brampton's Heritage and Open Space Staff comments received on the Consent and Minor Variance applications submitted for the subject site, a Heritage Impact Assessment (HIA) and tree preservation strategy have been requested. Today I met with City Staff following their recent review of the subject HIA to discuss the findings of the subject HIA. Coming out of this meeting, it was determined that Staff require revised Plans to be submitted in order for alternative site design to be explored.

We are therefore respectfully asking for a **deferral** of the subject applications for a period of three (3) months so that alternative site design can be explored in lieu of recent conversations with Staff.

With the requested deferral, we will be able to provide Staff with updated Plans and site statistics as necessary. We appreciate the opportunity to appear before the Committee of Adjustment at a later date in time, in accordance with the requested deferral time period.

We look forward to continuing to work with City Staff on this file in efforts of achieving good planning for the subject site. We also look forward to the opportunity to discuss the subject applications in further detail at a future Committee of Adjustment Hearing date, resulting in the Committee of Adjustment's Decisions on the subject applications concerning 43 David Street.

Respectfully submitted,

Aimee Powell, B.URPI, MPA, MCIP, RPP
Chief Planning Officer
Powell Planning & Associates





March 14th, 2023

City of Brampton
2 Wellington Street West,
Brampton, ON L6Y 4R2

Attention: Jeanie Myers, Legislative Coordinator
The Secretary-Treasurer, Committee of Adjustment

Re: Request for Deferral
Application for Consent for Severance | City File: B-2022-0027
45 & 55 Van Kirk Drive and 12 Canam Crescent, City of Brampton

We are writing to you on behalf of Aeon Construction and Materials Limited, the registered owner of the property municipally addressed as 45 & 55 Van Kirk and 12 Canam Crescent in the City of Brampton (the "Subject Lands"), as outlined in Schedule A attached herewith.

We submitted a Consent Application on November 29th, 2022 (City File No. B-2022-0027) to facilitate the severance of the Subject Property and establish two separate lots as depicted in Schedule B attached. We understand that additional information is required by City Staff before they can approve the Consent Application. Although the application was presented in front of the Committee of Adjustment on January 3rd, 2023, for approval, it was deferred to a hearing date no later than the last hearing of March 2023 due to the concerns of the staff that were not addressed at the time.

We would like to inform you that we have been working closely with City Staff to address the requirements of the Severance Application. As part of the ongoing discussion, additional fieldwork is necessary to confirm the easement requirement and alignment. We are coordinating with our consulting team to complete all the required fieldwork within the next couple of weeks. Unfortunately, we will not be able to address staff's comments in time for the upcoming March 28th, 2023, Committee of Adjustment Meeting. Therefore, we respectfully request that you bring this letter to the attention of the Committee of Adjustment Members as our formal request to defer our application B-2022-0027 to a later date.

We will continue to work with City Staff and yourself to ensure that all the necessary information is provided, and the requirements are met to the satisfaction of the City Staff. We anticipate that this will occur no later than August 2023, and we will coordinate with you to schedule the next available Committee of Adjustment Hearing Date.

Please feel free to contact us if you need any further information. Thank you for your time and consideration.



Yours Very Truly,

Mustafa Ghassan
Delta Urban Inc.

Enclosed: Schedule A – Land Location Reference
Schedule B – Severance Plan



LEGEND

-  SITE BOUNDARY
-  ASSESSMENT AREA



DELTA URBAN

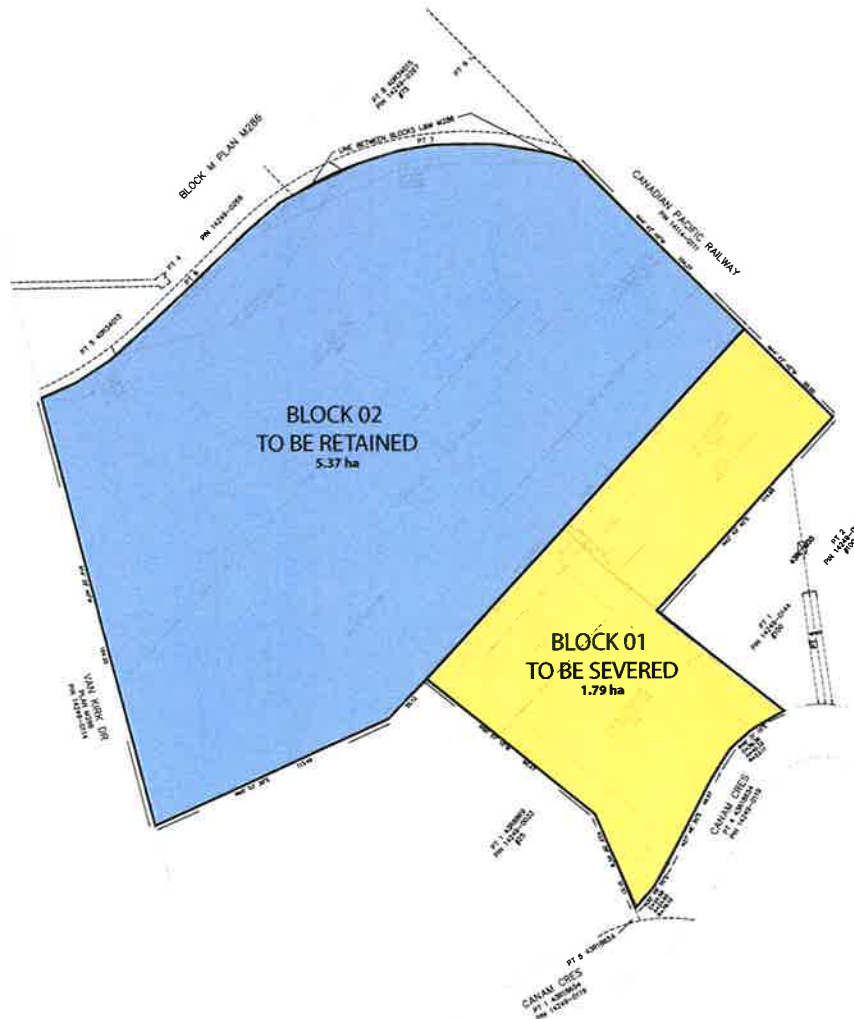
8800 Dufferin St, Suite 104
Vaughan, ON, L4K 0C5
Tel: (905) 660-7667 | Fax: (905) 660-7076

SCHEDULE B

SEVERANCE SKETCH BRAMPTON ASPHALT PLANT COMPILED TITLE SEARCH AND SURVEY

METRIC

SCALE: 1:1000

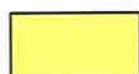


FOR DISCUSSION PURPOSES ONLY

LEGEND



LANDS TO BE RETAINED



LANDS TO BE SEVERED



DELTA URBAN

8800 Dufferin St, Suite 104
Vaughan, ON, L4K 0C5
Tel: (905) 660-7667 | Fax: (905) 660-7076

Consent Application No.: B-2022-0026

Property Address: 33 Silktop Trail, Brampton

Owner: Kulbir Rao, Navneet Rao

Applicant: Noble Prime Solutions Ltd

Ward: 9

Attention: Committee of Adjustment

In the matter of a Consent application to the Committee of Adjustment of the City of Brampton.

Noble Prime Solutions Ltd is an applicant for this application. We want to request a deferral on hearing to the next available date to allow additional time for the surveyor to prepare plans that include the proposed cul-de-sac for the development.

As you may be aware, the proposed development involves significant changes to the current site plan. In order to ensure that all of the necessary details are included in the plans, it is crucial that the surveyor has sufficient time to prepare them. Unfortunately, due to unforeseen circumstances, the surveyor requires additional time to complete this task.

Thank you for your understanding and consideration of my request.

Tanvir Rai



Date : 2023/03/15

Noble Prime Solutions Ltd

Date: March 15, 2023

Subject: Request for Deferral of Minor Variance Application - A-2022-0268 - 2267 Embleton Rd

From: Sami Abu Shanb / Agent
Viewport Studio Inc.
20-3665 Flamewood Dr, Mississauga ON L4Y 3P5
437.238.4004

To: Committee of Adjustment
City of Brampton
Attention: Jeanie Myers / Secretary-Treasure

Dear Jeanie,

I am writing to request that our minor variance application number A-2022-0268 for 2267 Embleton Rd be deferred from March 2023 to the end of May. We have not been able to submit the SPA requirements so far and would like to have more time to do so.

I would like to note that this application was previously deferred on September 13th, 2022 upon the advice of the Planning Department until we have the outcomes of the SPA submission to enable us to have a clear vision of the needed variances.

We apologize for any inconvenience this may cause and appreciate your understanding in this matter.

Thank you for considering our request.

Sami Abu Shanb



Date: March 15, 2023

APPLICATION # B-2022-0025
Ward # 8

NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made by **SRADHANANDA MISHRA**

Purpose and Effect

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 0.54 hectares (1.33 acres); together with a mutual access easement. The proposed severed lot has a frontage of approximately 17.01 metres (55.81 feet), a depth of approximately 44.40 metres (145.67 feet) and an area of approximately 0.09 hectares (0.22 acres). The effect of the application is to provide for a lot addition to the land occupied by an existing Place of Worship which will continue to operate. Future development of the proposed retained lot (vacant land) is contemplated.

Location of Land:

Municipal Address: 9893 Torbram Road

Former Township: Chinguacousy

Legal Description: Part of Lots 9 and 10, Concession 6 E.H.S.

Meeting

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. **This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment Decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.**

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

=====

LAST DAY FOR RECEIVING COMMENTS: MARCH 23, 2023

=====

NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	YES	File Number: A-2022-0372 and A-2022-0373

Decision and Appeal

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Ontario Land Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Ontario Land Tribunal Act, 2021*. The appeal form is available from the Environment and Land Tribunals Ontario website at <https://olt.gov.on.ca/appeals-process/forms/>

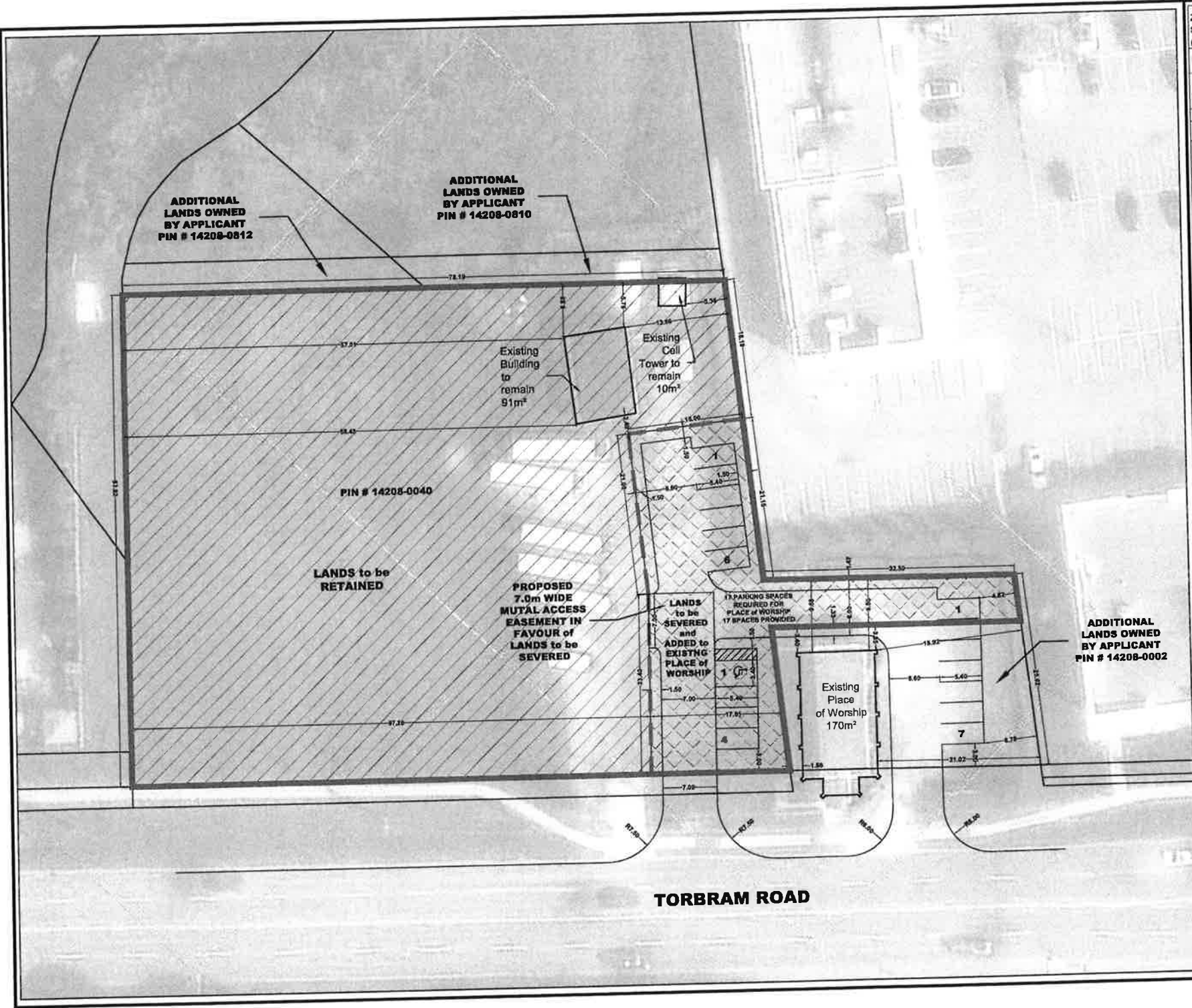
If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS 9th Day of March, 2023

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2

Phone: (905)874-2117 Fax: (905)874-2119
Jeanie.myers@brampton.ca



ZONING BY-LAW MATRIX - INSTITUTIONAL ONE ZONE - (I1) and SPECIAL SECTION 676 (I1-676)			
(SITE AREA: 0.64ha (1.33ac))			
Description	Required	Severed Lands	Retained Lands
Minimum Lot Area	0.65 ha (1.60ac) 6,500m²	0.09 ha (0.22ac) 913m²	0.45 ha (1.11ac) 4,504m²
Minimum Lot Width	n/a	17.07m	67.26m
Minimum Front Yard Depth	7.5m	n/a	n/a
Minimum Interior Side Yard Width	7.5m or half the height of the building, whichever is greater	n/a	n/a
Minimum Rear Yard Depth	7.5m or half the height of the building, whichever is greater	n/a	n/a
Maximum Building Height	3 storeys	TBD	TBD
Maximum Lot Coverage	none		
Minimum Landscaped Open Space	a minimum landscaped open space strip of 3m in width shall be provided along the site limits except at the location of the driveway	1.4m	TBD

STATISTICS OVERVIEW

TOTAL LOT AREA:	0.54 ha (1.33 ac)
LANDS to be SEVERED:	0.09 ha (0.22 ac)
LANDS to be RETAINED:	0.45 ha (1.11 ac)

LEGEND

- PROPERTY BOUNDARY
- SEVERANCE BOUNDARY
- LANDS to be SEVERED
- LANDS to be RETAINED

CONCEPTUAL SEVERANCE PLAN
PROPOSED LOT ADDITION
9893 TORBRAM ROAD
CITY of BRAMPTON

P.N.: 22.3135.00	Date: November 3, 2022
Scale: N.T.S	Revised:
Drawn By: D.S.	File No.: PN 3135 Concept Plan

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



Principals

Michael Gagnon
Lena Gagnon
Andrew Walker
Richard Domes

November 16, 2022

Corporation of the City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

B-2022-0025; A-2022-0372; A-2022-0373

Attn: Jeanie Myers – Secretary Treasurer, Committee of Adjustment

**Re: Committee of Adjustment
Consent to Sever and Minor Variance Applications
9893 Torbram Road, City of Brampton
Part of Lots 9 and 10, Concession 6, E.H.S.
Registered Plan 43M-1571 Part of Blocks 393 and 397, and
Registered Plan 43R-19972, Parts 1, 2 and 4, and 43R-30902
Parts 1 and 2
(GWD File: 22.3135.00)**

Dear Jeanie:

Gagnon Walker Domes Ltd. (GWD) represents Sradhananda Mishra, the Registered Owner of 9893 Torbram Road in the City of Brampton (hereinafter referred to as the subject site).

In support of the Committee of Adjustment – Consent to Sever and Minor Variance Applications, and further to the initial Zoning Compliance review following the initial submission made on November 8, 2022, GWD is pleased to submit the following:

- One (1) completed application form (Committee of Adjustment – Consent);
- Two (2) completed application forms (Committee of Adjustment – Minor Variance);
- One (1) Cover Letter, prepared by GWD dated November 16, 2022;
- Two (2) cheques in the amount of \$656.00 made payable to the “Treasurer, City of Brampton” (Minor Variance Applications);
- One (1) cheque in the amount of \$4,119.00 made payable to the “Treasurer, City of Brampton” (Consent Application);
- One (1) copy of the Conceptual Severance Plan, prepared by GWD dated November 3 2022; and

GAGNON WALKER DOMES LTD.

21 Queen Street East, Suite 500 • Brampton ON Canada L6W 3P1 • P: 905-796-5790
3601 Highway 7 East, Suite 310 • Markham ON Canada L3R 0M3 • P: 905-477-6556
www.gwdplanners.com • Toll Free: 1-855-771-7266

**CONFIDENTIALITY
CAUTION**

This document is Consultant-Client privileged and contains confidential information intended only for person(s) named above. Any distribution, copying or disclosure is strictly prohibited. If you have received this document in error, please notify us immediately by telephone and return the original to us by mail without making a copy.



- Two (2) copies of the Minor Variance Plans, prepared by GWD dated November 10, 2022.

1.0 Existing Land Use

Subject Property & Surrounding Area

The subject site is irregular in shape, measures approximately 0.60 ha (1.48 ac) in size and is located on the east side of Torbram Road, north of the intersection of Torbram Road and North Park Drive. The subject site has a lot depth of approximately 63.92 m (209.71 ft), a street frontage of 117.56 m (385.70 ft) along Torbram Road and is occupied by an existing Place of Worship (Hindu Temple, operating as Jagannath Temple Toronto). Driveway access is provided from Torbram Road.

Surrounding land uses generally include Residential, with a commercial plaza immediately abutting the subject site to the south (located at the southeast corner of the intersection of Torbram Road and North Park Drive), as well as at the southwest corner of Torbram Road and North Park Drive.

TAB 1 includes Air Photos from Google Earth of the subject site and area context

A review of Land Registry Office (LRO) files and parcel abstracts reveals that the subject site consists of four (4) parcels with four (4) separate PIN numbers. PIN # 14208-0002 and PIN # 14208-0040 have been assigned the municipal address of 9893 Torbram Road, with the existing Place of Worship building being located on the parcel identified as PIN # 14208-0002.

The other two (2) parcels identified as PIN # 14208-0810 and PIN #14208-0812 are two (2) open space buffer blocks that were created at the time of the approval of the adjacent Draft Plan of Subdivision to the north and east, and are also owned by my Client. These two (2) parcels are not part of this application.

A review of the City of Brampton Assessment Roll information reveals that all four (4) parcels (being PIN # 14208-0002, 14208-0040, 14208-0810 and 14208-0812) are all assigned the same roll number; 10-10-0-025-03800-0000.

In addition, the existing Place of Worship building located at 9893 Torbram Road, on the parcel identified as PIN # 14208-0002, is a heritage designated resource on the City's Heritage Register. The property and the structure were designated heritage on August 13, 1984 under By-Law #180-84. The building has historically and continues to be used for Place of Worship services; it is currently the home of the Jagannath Temple Toronto. The heritage designation and the continued use of the site for the Jagannath Temple Toronto is recognized and will be respected by the proposed Severance and Minor Variance Applications.



2.0 Consent to Sever Application

It is proposed that the portion of the subject site consisting of Parcel PIN # 14208-0040 be severed into two (2) Lots; Lot 1 – Retained Lands and Lot 2 – Severed Lands, with the severed lands being added to and merged with the lands comprising Parcel PIN # 14208-0002.

The purpose of the Severance Application is to sever the Place of Worship lands from the remainder of the subject site which is contemplated for future development purposes. A Pre-Consultation Application was submitted for the future development of the vacant portion of the subject site on October 22, 2021. The Pre-Consultation Meeting was held, under File # PRE-2021-0204 and the Consolidated Comments Report dated November 22, 2021 was issued. The intent to sever the heritage resource (Place of Worship) was discussed during the Pre-Consultation with Staff. The Tertiary Plan noted in the Consolidated Comments Report is a requirement of the future development application and is not required for this application.

The lands comprising Parcel PIN # 14208-0040 measure approximately 0.54 ha (1.33 ac) in size. It is proposed that a portion of the Parcel PIN # 14208-0040 abutting Parcel PIN #14208-0002 to the north and west, along with a portion extending northerly along the southern boundary, measuring approximately 0.09 ha (0.22 ac) be severed. The retained lands comprising the remainder of Parcel PIN # 14208-0040 measure approximately 0.45 ha (1.11 ac).

It is further proposed that the severed lands measuring approximately 0.09 ha (0.22 ac) be added to and merged with the lands comprising Parcel PIN # 14208-0002. Parcel PIN # 14208-0002 measures approximately 0.06 ha (0.15 ac). The resultant parcel with the addition of the severed lands would measure approximately 0.15 ha (0.37 ac).

Access to both lots shall continue to be provided from Torbram Road via two (2) separate individual driveways. The southerly driveway is shown in the location of the current access location, and the northerly driveway

TAB 2 includes the proposed Conceptual Severance Plan prepared by Gagnon Walker Domes Ltd. dated November 3, 2022.

The following is a brief summary of the proposed Conceptual Severance Plan:

- Parcel ID PIN # 14208-0040
- Total Site Area: 0.54 hectares (1.33 acres)

Lot 1 – Retained Lands

- Area: 0.45 hectares (1.11 acres)
- Width: 67.26 metres (220.67 feet)
- Depth: 63.92 metres (209.71 feet)



Lot 2 – Severed Lands

- Area: 0.09 hectares (0.22 acres)
- Width: 17.07 metres (56.00 feet)
- Depth: 44.40 metres (145.67 feet)

3.0 Planning Analysis

The proposed Consent to Sever Application has been analyzed in the context of governing planning documents. The following represents a summary of the highlights of the Planning Analysis.

Planning Act

With regard to the Consent to Sever Application, our office has taken into consideration the provisions prescribed within Section 51(24) of the Planning Act (as summarized in the Chart below), and we are of the opinion that the proposed Consent to Sever Application represents good planning and should be supported from a land use perspective.

<u>Criteria To Be Considered</u>	<u>Analysis</u>
The effect of development of the proposed subdivision on matters of provincial interest;	The proposed severance has no significant effect on matters of provincial interest.
Whether the proposal is premature or in the public interest;	The proposed severance is neither premature nor contrary to any matters of public interest.
Whether the plan conforms to the official plan and adjacent plans of subdivision, if any;	The proposed severance conforms to the Official Plan, which designates the site Residential, which permits Places of Worship. The Secondary Plan designates the site Place of Worship, and the existing Place of Worship is to be maintained with the application on the severed and lot addition lands. The Retained lands are to be maintained in its current form and consists of a potential future development block, subject to a separate, future Amendment Application as noted under Pre-Consultation file PRE-2021-0204. In addition, the Official Plan identifies the site as a designated heritage resource. The severed lands from PIN 14208-0040 and the addition to PIN 14208-0002 will maintain the existing designated Place of Worship/Heritage resource in situ, and on a separate parcel from the lands under review for future development purposes.



The suitability of the land for the purposes for which it is to be subdivided;	The subject site is suitable for the purposes of the severance. The use of the subject site for a Place of Worship is in keeping with the character of the surrounding area, which consists of community and residential purposes, and is what the lands are designated for. The Proposal also maintains the designated heritage resource in situ.
The number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them;	The proposed severance does not present any concern with regard to the adequacy of the roadway network. The adjacent road network is suitable for residential purposes, including a Place of Worship, and the proposal serves to maintain the current use of the site for Place of Worship purposes, in addition to maintaining a designated heritage resource in situ.
The dimensions and shapes of the proposed lots;	The proposed lots to be created are appropriate in size and shape for the Place of Worship use. An associated Minor Variance Application has been filed to address various performance related standards for the severed and combined lot (Place of Worship lands), which are minor in nature. The performance standards for the retained lot, such as the lot area, will be addressed through a future Amendment Application for those lands.
The restrictions or proposed restrictions, if any, on the land proposed to be subdivided; or the buildings or structures proposed to be erected on it and the restrictions, if any, on adjoining land;	There are no known restrictions or proposed restrictions on the lands to be subdivided. The Heritage Designated resource is being maintained, and is not impacted by the proposed severance.
The conservation of natural resources and flood control;	The proposed severance presents no concerns with regard to flood control and the conservation of natural resources.
The adequacy of utilities and municipal services;	There are no concerns with regard to the adequacy of utilities and municipal services.



The adequacy of school sites;	The proposed severance presents no concerns with regard to the adequacy of school sites.
The area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes;	There are no concerns related to conveyances for public as part of the Consent Application.
The extent to which the plan's design optimizes the available supply, means of supplying, efficient use and conservation of energy;	The proposed severance has no impact on matters of energy conservation.
The interrelationship between the design of the proposal and site plan control matters relating to any development on the land, if the land is also located within a site plan control area designated under subsection 41(2) of this Act.	The existing Place of Worship building is being maintained, and will continue to operate as a Place of Worship. No new buildings are proposed; No Site Plan Approval is required. The retained lands will remain in its current existing condition (vacant lands) and any future development potential will be addressed through a future amendment application. As noted in the Consolidated Comments Report for PRE-2021-0204, a Tertiary Plan will be prepared as part of that future amendment application process.

4.0 Minor Variance Application

Concurrent with the Consent to Sever Application for the subject site, two (2) associated Committee of Adjustment Minor Variance Applications are also being submitted to the City of Brampton, seeking relief from the Zoning By-law in order to address various performance standards in relation to the newly created Place of Worship site (the addition of the severed lands to the lands identified as PIN #14208-0002) and the retained lands.

The requested relief from the Zoning By-law, for the severed lands (Place of Worship site), is as follows:

1. To permit a minimum lot area of 1,500m² whereas the Zoning By-law requires a minimum lot area of 6,500m².
2. To permit a minimum landscaped open space strip of 1.50m along the site limits except at the location of the driveways, whereas the Zoning By-law requires a minimum landscaped open space strip of 3.0m to be provided along the site limits except at the location of a driveway.



The requested relief from the Zoning By-law, for the retained lands, are as follows:

1. To permit a minimum lot area of 4,500m² whereas the Zoning By-law requires a minimum lot area of 6,500m².
2. To permit a minimum interior side yard width to a new property line of 2.40m, whereas the Zoning By-law requires a minimum interior side yard width of 7.5m.

The proposed Committee of Adjustment Minor Variance Applications have been analyzed in the context of the governing planning documents. The following represents a summary of the highlights of the Planning Analysis.

TAB 3 includes the proposed Minor Variance Plans prepared by Gagnon Walker Domes Ltd. dated November 10, 2022.

City of Brampton Official Plan (September 2020)

The City of Brampton Official Plan (BOP) provides policy direction to guide future development, protect the health and quality of life of its residents, protect the natural environment as well as preserve, protect and enhance the character and economy of the City.

Residential

According to the BOP, the subject site is designated '*Residential*' on Schedule A: General Land Use Designations. The general policies of the *Residential* designation notes that Places of Worship shall be permitted on lands designated Residential on Schedule A, with the exception of those lands designated "Estate Residential" (Policy 4.2.1.1). It is noteworthy that the subject site is designated '*Residential*' and is not designated '*Estate Residential*.'

In addition, Policy 4.2.1.1 notes that Places of Worship shall generally be located on arterial and collector roads, and not on local residential roads. Torbram Road is designated as a "Minor Collector" on Schedule B: City Road Hierarchy.

Lastly Policy 4.2.1.1 notes that a Place of Worship shall be located on a site of sufficient size to accommodate the required performance standards such as parking, landscaping, pedestrian connections and setbacks that will result in land use compatibility with the host area.

The requested variances, in addition to the Consent to Sever and lot addition component of the application, will facilitate the advancement of a proposal which serves to maintain the existing heritage designated Place of Worship building in situ, and for the continued use as a Place of Worship. The existing parcel of land on which the existing Place of Worship is located (PIN 14208-0002) is not being changed, and the additional land severed from parcel identified as PIN 14208-0040 and added to the parcel identified as PIN 14208-0002 will serve to provide the required parking standards and proper site circulation. Pedestrian access is maintained, and the reduction in landscape strip is minor



in nature (when incorporated with the landscape strip on either side of the property limit, the full landscape buffer is accommodated). Similarly, the existing parcel which is identified in this application as the retained lands is not being changed, and the variances requested reflect the existing conditions in relation to the lot area, and the existing structure to the newly created lot line. The function of the site and the inter-relationship of the various structures, parking and circulation that exists today will continue with the approval of this application.

Places of Worship

As it pertains to Places of Worship, it is the objective of the BOP to:

- Be permitted on lands designated Residential, where it has been demonstrated that they are compatible with the character of the surrounding residential area (Policy 4.9.8.1).
- Provide on-site parking to accommodate regular worship attendance and other regular events in accordance with the City's Zoning By-Law standards, which are based on the worship area / person capacity of the Place of Worship (Policy 4.9.8.1 i)).
- Be properly integrated into the surrounding neighbourhood in a manner that will not adversely impact adjacent land uses. (Policy 4.9.8.1 ii)).
- Be generally located on arterial and collector roads, and not on local residential roads (Policy 4.9.8.1 iv)).

The requested variances will facilitate the advancement of a proposal that serves to maintain an existing Place of Worship (heritage resource) in situ, on a site that is sufficiently sized to accommodate the use and the required parking, located on a Minor Collector Road. The variances will not alter the subject site as it currently function, and reflects a combination of variances that acknowledge existing conditions, or are minor in nature to reflect an efficient use of the site.

Consent

The proposed variances are consistent with the Consent policies of the BOP, and are supportive of the associated Consent to Sever Application, as it will facilitate the creation of two (2) parcels of land which are:

- Of a size, shape and use of the severed land is compatible with the current neighbouring parcel fabric and permitted Official Plan and Secondary Plan uses (Policies 5.17.4, 5.17.8).
- Serviced by public water and sanitary sewers (Policy 5.17.5).
- Each new lot created fronts onto Torbram Road (Policy 5.17.13).



The variance in connection with the reduction in the lot area of the subject site for the Place of Worship use is in keeping with the intent and policies of the Official Plan, as it maintains an existing Place of Worship (heritage resource) in situ, on a site currently designated for such a use, and which is sufficiently sized to accommodate the existing building and the required parking in keeping with the provisions of the City's Zoning By-Law. It also represents a Place of Worship site that efficiently utilizes the lot on which it is situated, and which is compatible with and respects the current neighbouring residential parcel fabric. The reduction in lot area for the retained lands is reflective of the existing conditions of the site, and there is no change to the use of the lands (currently vacant).

The submitted Minor Variance and Consent to Sever Applications will facilitate the development of two (2) parcels; the severed portion of the parcel identified as PIN 14208-0040 added to the parcel identified as PIN 14208-0002, accommodating the existing Place of Worship (identified as a heritage resource), and the retained portion of the parcel identified as PIN 14208-0040 to remain vacant (current condition) as a potential future development parcel, as discussed with City of Brampton staff through City File PRE-2021-0204. A mutual access easement between the two resultant parcels will also be established to accommodate future shared ingress and egress to the two (2) lots from Torbram Road.

It is our opinion that the proposed severance, minor variances and use of the subject site for the maintenance of, and continued operation of a Place of Worship (designated heritage resource) in situ, conforms to the general intent and purpose of the Official Plan.

**Springdale Secondary Plan (Area 2) (October 2019) and
Airport Intermodal Secondary Plan (Area 4) (December 2021)**

The subject site is designated 'Place of Worship' on Schedule 2 of the Springdale Secondary Plan (Area 2) and on Schedule 4 of the Airport Intermodal Secondary Plan (Area 4).

Place of Worship

In both the Springdale Secondary Plan and the Airport Intermodal Secondary Plan, it is noted that lands designated Institutional on Schedules 2 and 4 (respectively) includes Schools, Places of Worship and Fire Stations, and shall be developed in accordance with the Institutional and Public Uses policies of Section 4.9 and other relevant policies of the Official Plan (Policy 6.1 in both Plans). In addition, Policy 6.2 (in both Plans) notes that Places of Worship shall also be developed in accordance with Sections 4.2.1.1, 4.3.1.8, 4.4.1.2 4.4.2.5 and other relevant policies of the Official Plan.

The Residential and Places of Worship policies of the Official Plan have been reviewed in the previous section of this letter.

It is our opinion that the proposed Consent to Sever and Minor Variance(s) and use of the subject site for the continued operation of the existing Place of Worship (heritage resource) in situ, conforms to the general intent and purpose of the Secondary Plan(s).



City of Brampton Zoning By-Law 270-2004

The Subject Site is zoned ‘Institutional One – Section 676 (I1 – Section 676)’.

The Institutional One – Section 676 zone permits the following uses:

- Shall only be used for the purposes permitted in an I1 Zone of this By-Law:
 - A public or private school
 - **A place of worship**
 - A day nursery
 - A park, playground or recreation facility operated by a public authority
 - Supportive housing residence Type 1 or Type 2
 - Purposes accessory to the other permitted purposes
- Shall be subject to the following requirements and restrictions:
 - Minimum Lot Size – 6,500 square metres
 - Minimum landscaped open space strip of 3 metres in width shall be provided along the site limits except at the location of the driveway
 - No maximum lot coverage requirement.

The following table summarizes the ‘Institutional One’ Zone provisions (not modified by the above noted requirements of Site-Specific Section 676:

(a) Minimum Front Yard Depth	7.5 metres
(b) Minimum Interior Side Yard Width	7.5 metres or half of the height of the building, whichever is the greater
(c) Minimum Exterior Side Yard Width	7.5 metres or half of the height of the building, whichever is the greater
(d) Minimum Rear Yard Depth	7.5 metres or half of the height of the building, whichever is the greater
(e) Maximum Building Height	3 Storeys
(g) Parking	Parking spaces shall be provided and maintained in accordance with Sections 6, 10, and 20 of this By-Law

The requested variances will facilitate the advancement of a proposal which promotes and maintains an existing Place of Worship which is a designated heritage resource in situ, and serves to maintain the manner in which the site currently functions. The variance for the lot area reflects the total area of the Parcel on which the existing Place of Worship is located (and as noted in the Heritage listing) being Parcel PIN 14208-0002, with the addition of a portion of the severed lands from the parcel identified as PIN 14208-0040, thereby accommodating the required parking as set out in the Zoning By-Law in a compact and efficient manner. The variance for the lot area for the retained parcel (PIN 14208-0040) from the accompanying Consent Application reflects the existing condition being the remainder of the parcel.



Variance #2 for the severed lands reflects a minor reduction in the required landscaped open space strip along the site limits. The reduction to 1.5 metres around the existing commercial plaza to the south and east is supportable as there is a wide landscape space on the commercial plaza, and similar to the existing building, is reflective of the existing conditions on the subject site. When combined between the two (2) sites, a more than sufficient landscape open space buffer is provided. Additional landscape strip and buffer will be provided through the future Amendment Application for the retained lands on the parcel identified as PIN 14208-0040 in the associated Consent Application and the subject site. The proposal represents a compact and efficient urban form.

Variance #2 for the retained lands reflects a minor adjustment in the minimum interior side yard width to the existing structure as a result of the new property line created through the severance, and is along a portion of the new property limits between the two (2) parcels owned and retained by my client. It is noteworthy that the impact is interior; no reductions are required to any of the property limits to external parcels. The parking and circulation layout shown on the concept plans for the severed lands reflects the existing parking conditions for the Place of Worship, and as such, there is no impact from the reduced setback from the new “property line” to the existing structure. No changes to the existing use of the retained lands are contemplated, and future development potential is being explored through a separate and distinct development approval process (PRE-2021-0204).

It is our opinion that the proposed severance and minor variance(s) conform to the general intent of the Zoning By-law.

Desirable and Appropriate Development of the Land

The submitted Minor Variance and Consent Applications will facilitate the creation of two (2) new lots for the maintenance of the existing heritage designated Place of Worship in situ, and to continue to be utilized for such a purpose, and the creation of a lot for consideration and review for future development opportunities (as currently being explored through City File PRE-2021-0204). The new lots are of a size, shape and land use which is compatible, respects the current neighbouring residential parcel fabric, and efficiently utilizes existing and planned local transit and infrastructure.

The subject site is located in an area that is designated for residential purposes, which includes Places of Worship. In this regard, we are of the opinion that the proposed variances are considered desirable and appropriate for the development of the land.

Minor in Nature

In determining whether the Variances are minor it is imperative that it not become an exercise of arithmetic but a contextual analysis. The Variances are not expected to have an adverse impact on the adjacent properties or the neighbourhood in general. To the contrary; they will serve to maintain the existing, heritage designated Place of Worship in situ, with a circulation pattern allowing it continue to operate as it currently does today, while meeting required parking standards.



The Variances are modest deviations from the Zoning By-law standards, and reflect technical adjustments and/or acknowledgements, and existing conditions on the subject site. The requested Variances are considered to be minor in nature and should be supported.

Should you require additional information or have any questions, please do not hesitate to contact the undersigned.

Yours truly,

A handwritten signature in black ink, appearing to read 'Andrew Walker', with a long horizontal flourish extending to the right.

**Andrew Walker, B.E.S., M.C.I.P., R.P.P.
Principal Planner**

**c.c.: Sradhananda Mishra
Anthony Sirianni, Gagnon Walker Domes Ltd.
Michael Gagnon, Gagnon Walker Domes Ltd.**



The personal Information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Consent**

(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) **Name of Owner/Applicant** Sradhananda Mishra
(print given and family names in full)

Address 7 Grenville Street, Suite 6205, Toronto, Ontario, M4Y 0E9

Phone # 416-554-8384 **Fax #** _____

Email dan@4thwaves.com

(b) **Name of Authorized Agent** Gagnon Walker Domes Ltd. (Andrew Walker / Anthony Sirianni)

Address 7685 Hurontario Street, Suite 501, Brampton, Ontario, L6W 0B4

Phone # 905-796-5790 **Fax #** _____

Email awalker@gwdplanners.com

2. **The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.**

Specify: Creation of a new Lot, Lot Addition and Easement

3. **If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.**

Sradhananda Mishra

4. **Description of the subject land ("subject land" means the land to be severed and retained):**

a) **Name of Street** Torbram Road **Number** 9893

b) **Concession No.** 6 E.H.S. **Lot(s)** Part of Lots 9 and 10

c) **Registered Plan No.** 43M-1571 **Lot(s)** Part of Blocks 393 and 397

d) **Reference Plan No.** 43R-19972 and 43R-30902 **Lot(s)** Parts 1, 2 and 4, Parts 1 and 2

e) **Assessment Roll No.** 10-10-0-025-03800-0000 **Geographic or Former Township** Chinguacousy

5. **Are there any easements or restrictive covenants affecting the subject land?**

Yes ☐ **No** ☒
Specify: _____

6. Description of severed land: (in metric units)

a)	Frontage	<u>17.01 metres</u>	Depth	<u>44.40 metres</u>	Area	<u>0.09 hectares (0.22 acres)</u>
b)	Existing Use	<u>Institutional (Place of Worship)</u>		Proposed Use	<u>No Change</u>	
c)	Number and use of buildings and structures (both existing and proposed) on the land to be severed:					
	(existing)	<u>One (1) - Existing Heritage Resource - Place of Worship building</u>				
	(proposed)	<u>Existing Building to be maintained - no new buildings</u>				
d)	Access will be by:	Existing	Proposed			
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>			
	Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>			
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>			
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>			
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>			
e)	If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?					
	<u>N/A</u>					
f)	Water supply will be by:	Existing	Proposed			
	Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>			
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>			
	Other (specify):	<u>N/A</u>				
g)	Sewage disposal will be by:	Existing	Proposed			
	Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
	Privy	<input type="checkbox"/>	<input type="checkbox"/>			
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>			
	Other (specify):	<u>N/A</u>				

7. Description of retained land: (in metric units)

a)	Frontage	<u>67.26 metres</u>	Depth	<u>63.92 metres</u>	Area	<u>0.45 hectares (1.11 acres)</u>
b)	Existing Use	<u>Vacant (Institutional)</u>		Proposed Use	<u>No Change</u>	
c)	Number and use of buildings and structures (both existing and proposed) on the land to be retained:					
	(existing)	<u>One (1) existing structure, and one (1) Cell Tower</u>				
	(proposed)	<u>Existing structures to remain, no new buildings</u>				

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	N/A	

g)	Sewage disposal will be by:	Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	N/A	

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	I1 - 676	I1 - 676
Official Plans		
City of Brampton	Residential	Residential
Region of Peel	Urban System	Urban System

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☐ No ☒

File # N/A Status/Decision N/A

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☒

Date of Transfer N/A Land Use N/A

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment	N/A	N/A
Zoning By-law Amendment	N/A	N/A
Minister's Zoning Order	N/A	N/A
Minor Variance	N/A <u>A-2022-0372</u> <u>- 0373</u>	N/A <u>CONCURRENT</u>
Validation of the Title	N/A	N/A
Approval of Power and Sale	N/A	N/A
Plan of Subdivision	N/A	N/A

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*?
Yes ☒ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan?
Yes ☒ No ☐

14. If the answer is yes, does the application conform to the applicable Provincial Plan?
Yes ☒ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the City of Brampton

this 8 day of November, 2022.


Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:

☐ I have the authority to bind the Corporation

DECLARATION

I, Anthony Sirianni of the Town of Halton Hills
in the County/District/Regional Municipality of Halton

solemnly declare that all the statements contained in t

application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the CITY of BRAMPTON

in the Province of ONTARIO

this 8th day of NOVEMBER, 2022.


Signature of applicant/solicitor/authorized agent, etc.

Submit by Email


Priya Kaushal | Notary Public
193 Main Street North, Suite 100
Brampton, Ontario CANADA L6X 1N2
Tel: (905) 452-7734 Fax: (905) 453-3560
LSO # P16387 No Legal Advice Given


Signature of a Commissioner, etc.

As To ANTONIO NICOLA SIRIANNI

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.


Zoning Officer

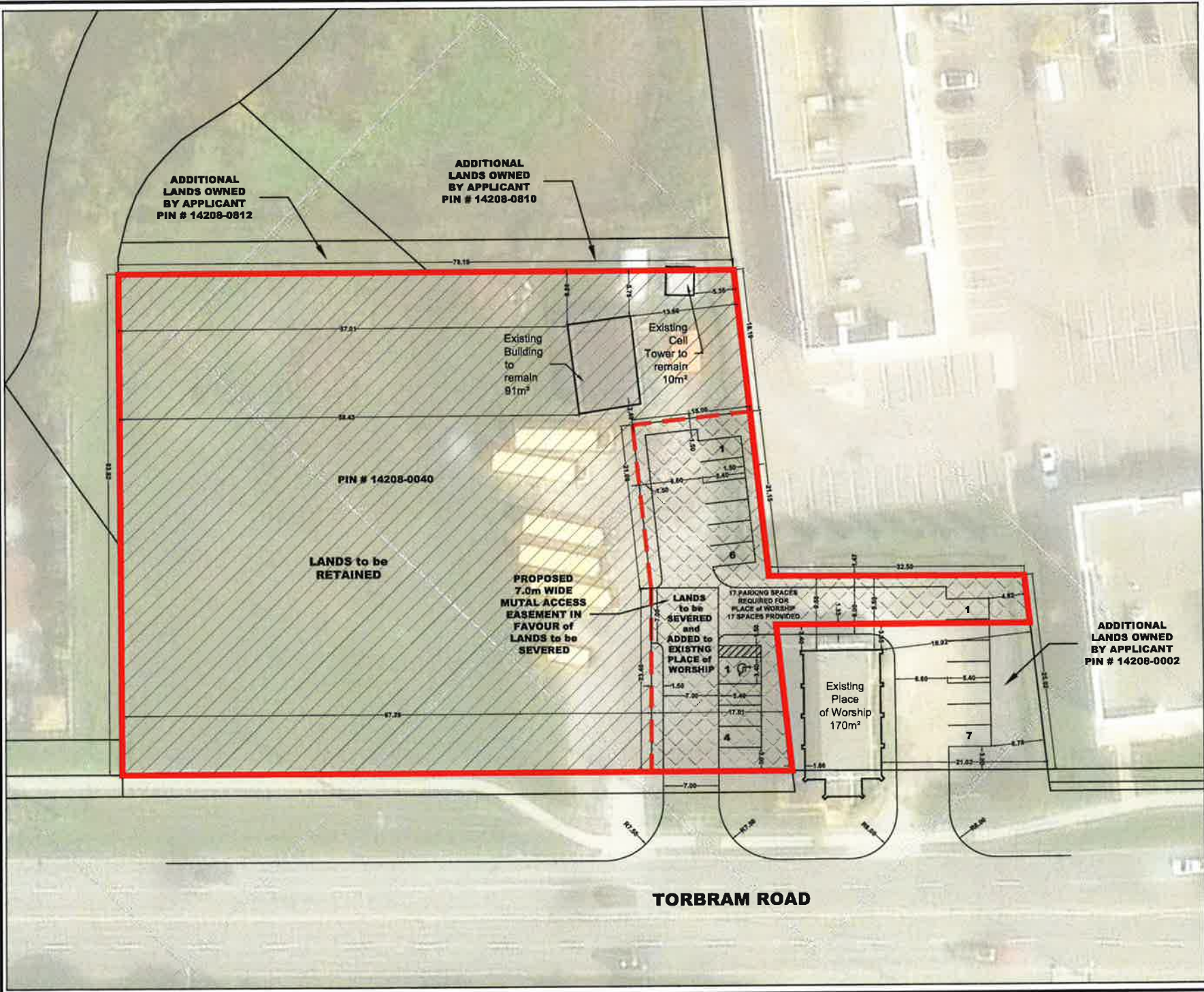
Nov 17, 2022

Date

DATE RECEIVED

November 17, 2022

Date Application Deemed
Complete by the Municipality



ZONING BY-LAW MATRIX - INSTITUTIONAL ONE ZONE - (I1) and SPECIAL SECTION 676 (1-676)			
(SITE AREA: 0.54ha (1.33ac))			
Description	Required	Severed Lands	Retained Lands
Minimum Lot Area	0.65 ha (1.60ac) 6,500m²	0.09 ha (0.22ac) 913m²	0.45 ha (1.11ac) 4,504m²
Minimum Lot Width	n/a	17.07m	67.26m
Minimum Front Yard Depth	7.5m	n/a	n/a
Minimum Interior Side Yard Width	7.5m or half the height of the building, whichever is greater	n/a	n/a
Minimum Rear Yard Depth	7.5m or half the height of the building, whichever is greater	n/a	n/a
Maximum Building Height	3 storeys	TBD	TBD
Maximum Lot Coverage	none		
Minimum Landscaped Open Space	a minimum landscaped open space strip of 3m in width shall be provided along the site limits except at the location of the driveway	1.4m	TBD

STATISTICS OVERVIEW

TOTAL LOT AREA:	0.54 ha (1.33 ac)
LANDS to be SEVERED:	0.09 ha (0.22 ac)
LANDS to be RETAINED:	0.45 ha (1.11 ac)

LEGEND

- PROPERTY BOUNDARY
- SEVERANCE BOUNDARY
- LANDS to be SEVERED
- LANDS to be RETAINED




CONCEPTUAL SEVERANCE PLAN
PROPOSED LOT ADDITION
9893 TORBRAM ROAD
CITY of BRAMPTON

P.N.: 22.3135.00	Date: November 3, 2022
Scale: N.T.S	Revised:
Drawn By: D.S.	File No.: PN 3135 Concept Plan



AERIAL IMAGE - CONTEXT PLAN
9893 TORBRAM ROAD
CITY of BRAMPTON
REGION of PEEL




Image Source: Google Earth

LEGEND		P.N.: 22.3135.00	Date: August 31, 2022
	SUBJECT SITE	Scale: N.T.S	Revised:
		Drawn By: D.S.	File No.: PN 3135_ Aerial_Images_AUG_2022
		 	

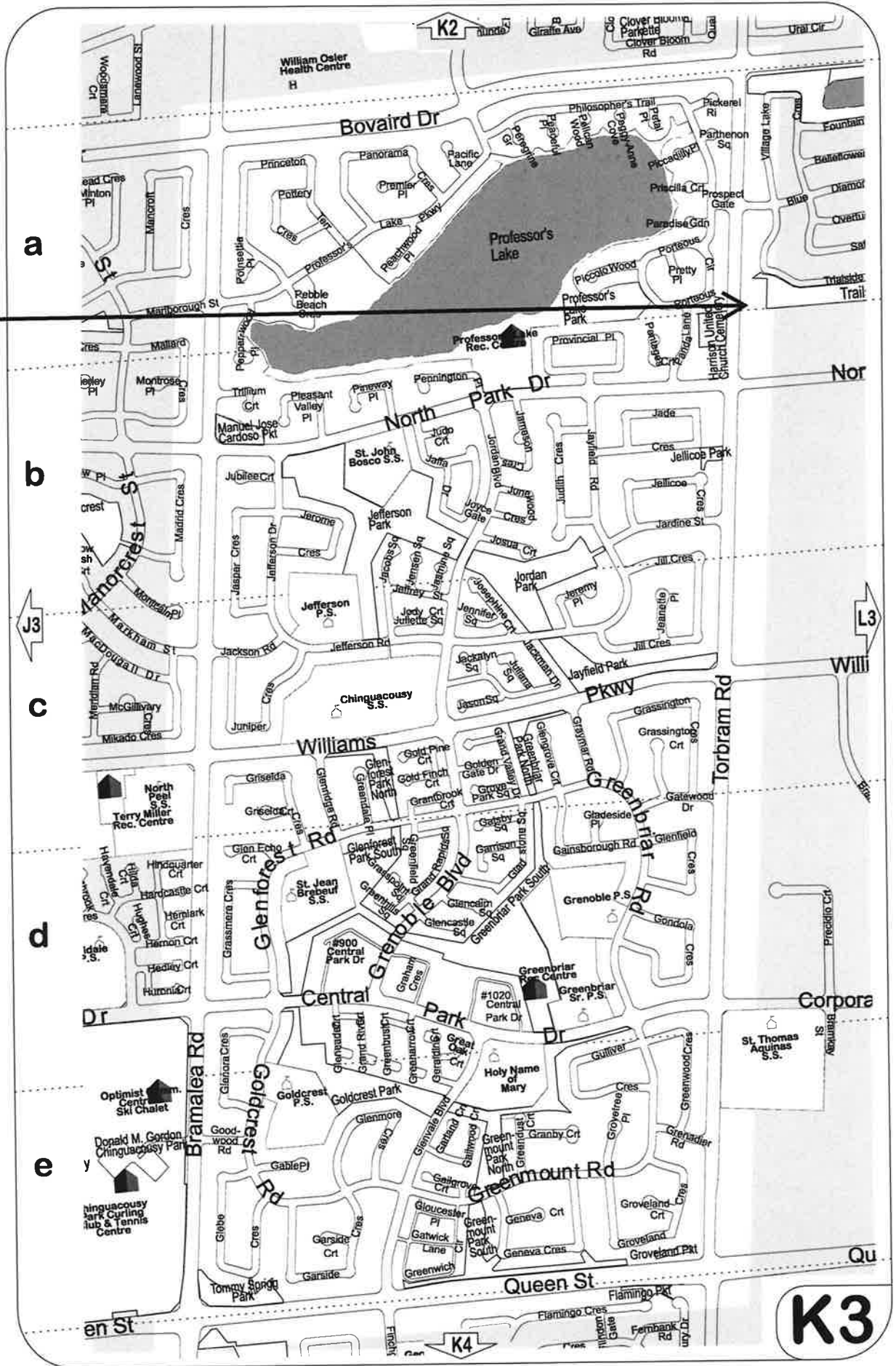


AERIAL IMAGE - SUBJECT SITE
9893 TORBRAM ROAD
CITY of BRAMPTON
REGION of PEEL

Image Source: Google Earth

LEGEND		P.N.: 22.3135.00	Date: August 31, 2022
	SUBJECT SITE	Scale: N.T.S	Revised:
		Drawn By: D.S.	File No.: PN 3135_ Aerial_Images_AUG_2022
			

B-2022-0025
A-2022-0372
A-2022-0373



FINAL REPORT:

Scoped Heritage Impact Assessment
9893 Torbram Road
Brampton, ON



**LHC Heritage
Planning &
Archaeology Inc.**

Kingston | Toronto
Ottawa | Huntsville

837 Princess Street, Suite 400
Kingston, ON
K7L 1G8

Phone: 613-507-7817
Toll Free: 1-833-210-7817
E-mail: info@lhcheritage.com

13 March 2023

Project # LHC0355

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Report prepared for:

Sradhananda Mishra
c/o Andrew Walker
Principal Planner
Gagnon Walker Domes
7685 Hurontario Street, Suite 501
Brampton, Ontario
L6W 0B4

Report prepared by:

Lisa Coles, MPI

Graphics prepared by:

Jordan Greene, BA

Reviewed by:

Christienne Uchiyama, MA, CAHP
Benjamin Holthof, MPI, MMA, MCIP, RPP, CAHP

RIGHT OF USE

The information, recommendations and opinions expressed in this report are for the sole benefit of the Owner of the Property (the 'Owner') and the City of Brampton. Any other use of this report by others without permission is prohibited and is without responsibility to LHC. The report, all plans, data, drawings and other documents as well as all electronic media prepared by LHC are considered its professional work product and shall remain the copyright property of LHC, who authorizes only the Owner and approved users (including municipal review and approval bodies as well as any appeal bodies) to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of the Owner and approved users.

REPORT LIMITATIONS

The qualifications of the heritage consultants who authored this report are provided in Appendix A. All comments regarding the condition of the Property are based on a superficial visual inspection and are not a structural engineering assessment unless directly quoted from an engineering report. The findings of this report do not address any structural or physical condition related issues associated with the Property or the condition of any heritage attributes.

Concerning historical research, the purpose of this report is to assess potential impacts of the proposed site alteration on the cultural heritage value or interest and heritage attributes of the Property. The authors are fully aware that there may be additional historical information that has not been included. Nevertheless, the information collected, reviewed, and analyzed is sufficient to conduct this assessment. This report reflects the professional opinion of the authors and the requirements of their membership in various professional and licensing bodies.

The review of policy and legislation was limited to that information directly related to cultural heritage management and is not a comprehensive planning review. Additionally, soundscapes, cultural identity, and sense of place analyses were not integrated into this report.

EXECUTIVE SUMMARY

The Executive Summary only provides key points from the report. The reader should examine the complete report including background, results as well as limitations.

LHC Heritage Planning and Archaeology Inc. (LHC) was retained on 22 December 2022 by Sradhananda Mishra (the “Owner”) to undertake a Scoped Heritage Impact Assessment (HIA) for the property located at 9893 Torbram Road (the “Property”) in the City of Brampton (the “City”), Ontario. The Property is designated under Section 29 Part IV of the *Ontario Heritage Act* (OHA) through By-law 180-84. The designation by-law for the Property includes a brief description of the Property and its cultural heritage value or interest; however, it does not include a list of heritage attributes.

This HIA is being prepared as part of the Consent to Sever and Minor Variance application for 9893 Torbram Road. The owner is proposing to sever 0.09 hectares (ha) of land from the vacant parcel and add it to the temple parcel to provide additional parking. No alterations are proposed for the temple building. The purpose of this HIA is to describe the heritage attributes of the Property; review the proposed alterations; identify adverse impacts on those heritage attributes; and, identify alternatives and mitigation measures to lessen or avoid identified impacts. This HIA was undertaken in accordance with the recommended methodology outlined within the *Ontario Heritage Toolkit* and the *Scoped Heritage Impact Assessment Terms of Reference* for the project, provided by City of Brampton heritage staff.

Based on the preceding review of the designation by-law, the Property’s history and morphology, and the 27 January 2023 site visit, draft heritage attributes were prepared by LHC.

In our Professional Opinion this scoped HIA finds that the proposed severance and addition of parking will not result in any adverse impacts on the cultural heritage value and heritage attributes of the Property. As a result, alternatives and mitigation measures were not explored.

It is recommended that the owner provide a legal survey to City of Brampton heritage staff to allow staff the opportunity to update the temple’s designation by-law with the new legal description. It is also recommended that the designation by-law be updated to remove reference to interior features.

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1.0 INTRODUCTION

LHC Heritage Planning & Archaeology Inc. (LHC) was retained on 22 December 2022 by Sradhananda Mishra (**the “Owner”**) to undertake a Scoped Heritage Impact Assessment (**HIA**) for the property located at 9893 Torbram Road (**the “Property”**) – consisting of two parcels: a vacant parcel and the temple parcel - in the City of Brampton (**the “City”**), Ontario.

The building on this Property was constructed as a Methodist Church in the late nineteenth century. In 1983, it was purchased by the Har Tikvah congregation and converted to a synagogue. In 2018, it became a Hindu Temple.

This HIA is being prepared as part of the Consent to Sever and Minor Variance application for 9893 Torbram Road. The owner is proposing to sever 0.09 hectares (ha) of land from the vacant parcel and add it to the temple parcel to provide additional parking. This HIA was undertaken in accordance with the recommended methodology outlined within the *Ontario Heritage Toolkit* and the *Scoped Heritage Impact Assessment Terms of Reference* for the project, provided by City of Brampton heritage staff for the project.

1.1 Property Owner

The Property is owned by Sradhananda Mishra of 7 Grenville Street, Suite 6205, Toronto, Ontario.

1.2 Property Location

The Property is located on the north side of Torbram Road between North Park Drive and Blue Diamond Drive in the City of Brampton, Ontario (Figure 1).

1.3 Property Description

The Property consists of two parcels: a vacant parcel and the temple parcel. Both parcels are associated with the same municipal address. The vacant parcel is differentiated on the proposal maps as “additional lands owned by the applicant with PIN 14208-0002.” The Property is an irregularly-shaped lot with a total area of 0.07 ha (Figure 2). There is one building associated with the additional lands owned by the applicant (the temple parcel): a one-storey Hindu temple, Jagannath Mandir. A driveway extends from the road past the southeastern corner of the building. A parking area is located from the driveway on the east side of the building to the area behind the building to the north.

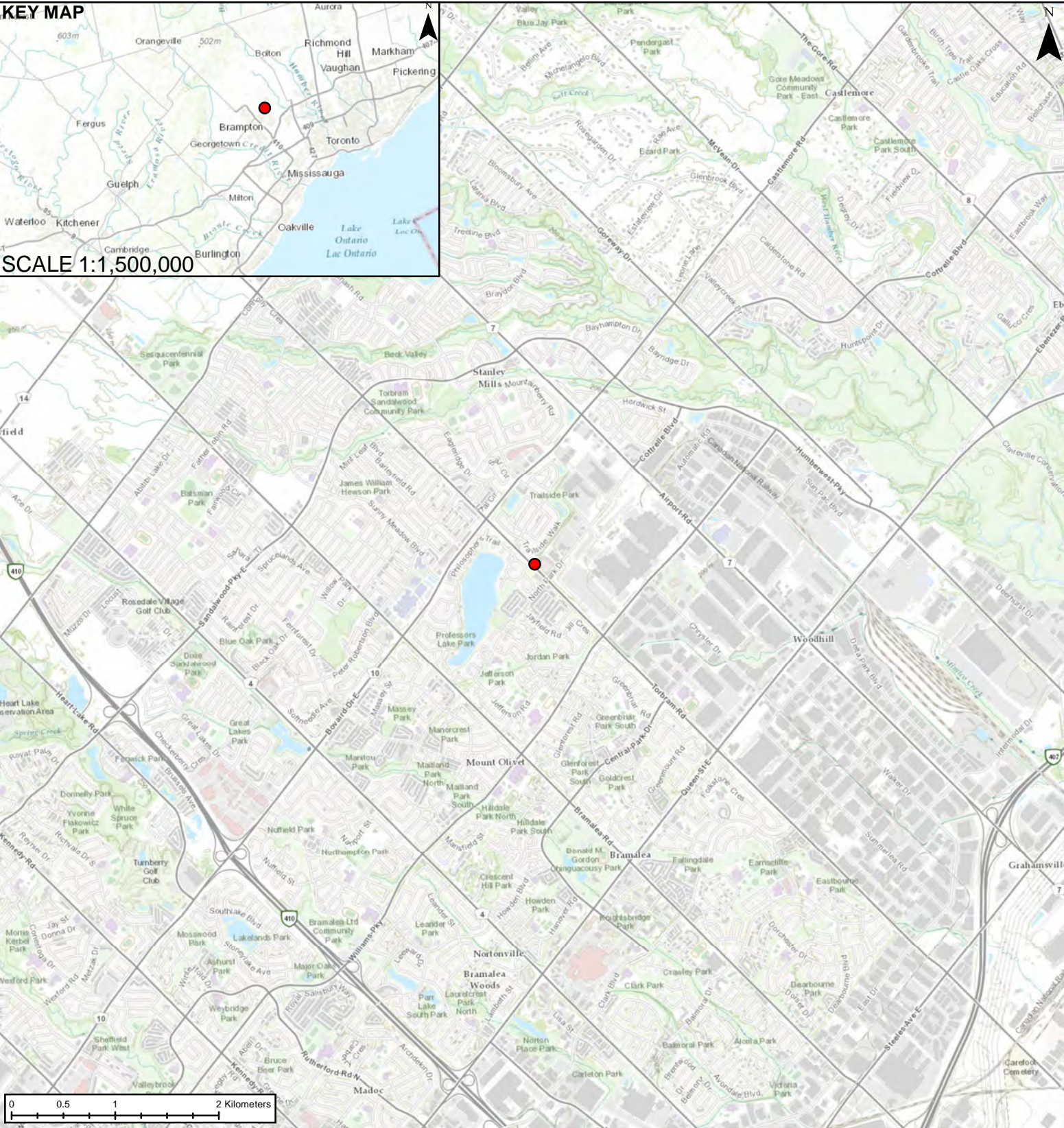
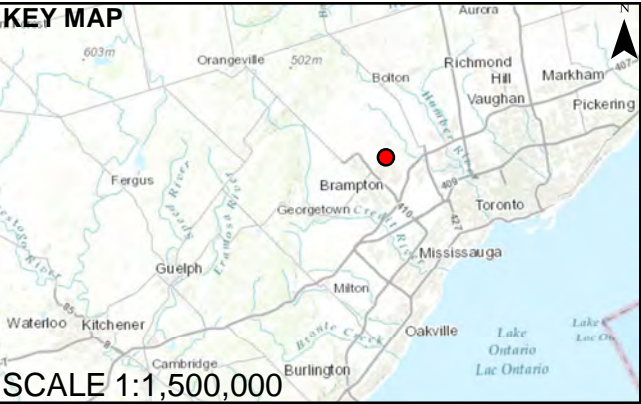
1.4 Property Heritage Status


The Property is designated under *Section 29 Part IV* of the *Ontario Heritage Act (OHA)* through By-Law 180-84. The designation by-law for the Property does not include a list of heritage attributes (see Appendix C).

1.5 Adjacent Properties

The *Provincial Policy Statement (PPS)* defines adjacency for cultural heritage resources as “those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan.”¹ The City of Brampton *Official Plan* does not define adjacent. No protected heritage properties are adjacent to the subject Property. However, Harrison United Church Cemetery, located across the street from the Property, is currently being evaluated for designation under Section 29, Part IV of the *Ontario Heritage Act*.

¹ Province of Ontario, “Provincial Policy Statement,” last modified 1 May 2020, accessed 6 February 2023, <https://files.ontario.ca/mmah-provincial-policy-statement-2020-accessible-final-en-2020-02-14.pdf>, 39.



Legend ● Property	TITLE Location of Property		
	CLIENT Gagnon Walker Domes		
	PROJECT Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON		PROJECT NO. LHC0355
	CONSULTANT	YYYY-MM-DD	2023-03-02
		PREPARED	LHC
NOTE(S) 1. All locations are approximate. REFERENCE(S) 1. Service Layer Credits: Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.	DESIGNED		JG
	FIGURE #		1



<div><div>Legend</div><div><div></div>Property</div><div><div></div>Temple Parcel, PIN#14208-0002</div><div><div></div>Vacant Parcel</div></div> <div><div>NOTE(S) 1. All locations are approximate.</div><div>REFERENCE(S) 1. Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.</div></div>		TITLE Current Conditions	
		CLIENT Gagnon Walker Domes	
		PROJECT Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON	PROJECT NO. LHC0355
		CONSULTANT	YYYY-MM-DD 2023-03-03
<div><div>Page 67 of 1189</div><div><div>LHC</div></div></div>		PREPARED	LHC
		DESIGNED	JG
		FIGURE #	2

2.0 STUDY APPROACH

LHC follows a three-step approach to understanding and planning for cultural heritage resources based on the understanding, planning and intervening guidance from the Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* and the *Ontario Heritage Tool Kit*.² Understanding the cultural heritage resource involves:

- Understanding the significance of the cultural heritage resource (known and potential) through research, consultation and evaluation—when necessary.
- Understanding the setting, context and condition of the cultural heritage resource through research, site visit and analysis.
- Understanding the heritage planning regulatory framework around the cultural heritage resource.

The impact assessment is guided by the *Ontario Heritage Tool Kit*, *Heritage Resources in the Land Use Planning Process*, *Information Sheet #5, Heritage Impact Assessments and Conservation Plans* and the *Scoped Heritage Impact Assessment Terms of Reference* for this project, provided by the City of Brampton. A description of the proposed development or site alteration, measurement of development or site impact and consideration of alternatives, mitigation and conservation methods are included as part of planning for the cultural heritage resource. The HIA includes recommendations for design and heritage conservation to guide interventions to the Property.

2.1 City of Brampton Heritage Impact Assessment Terms of Reference

The City has developed guidelines for HIAs produced for properties within the City. The HIA Guidelines require an HIA for a development or redevelopment of a property proposed:

- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is subject to land use planning applications;
- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is facing possible demolition; or
- Any property that is subject to land use planning applications and is adjacent to a property designated in the municipal heritage register, pursuant to Section 27 (1.1) of the *Ontario Heritage Act*.³

The Property meets this criterion as a property designated under Section 29 Part IV of the *OHA*.

² Parks Canada, "Standards and Guidelines for the Conservation of Historic Places in Canada," *Canada's Historic Places*, last modified 2010, accessed 6 February 2023, 3.; Ministry of Citizenship and Multiculturalism, "Heritage Property Evaluation," in the *Ontario Heritage Toolkit* (Toronto: Queen's Printer for Ontario, 2006), 18.

³ City of Brampton, "Heritage Impact Assessment Terms of Reference," 2.

2.1.1 Scoped Heritage Impact Assessment Requirements

According to Section 2.3 of the Heritage Impact Assessment Terms of Reference:

Heritage Impact Assessments may be ‘scoped’ based on the specific circumstances and characteristics that apply to a heritage resource. Further consultation with heritage staff will be required to determine when a scoped HIA may be required, as well as requirements for the content.⁴

In consultation with heritage staff at the City of Brampton, this HIA has been scoped to the following:

Table 1: City of Brampton’s Scoped Heritage Impact Assessment Requirements

Requirement	Location
Background Provide a background on the purpose of the HIA by outlining why it was undertaken, by whom, and the date(s) the evaluation took place.	Section 1.0
Background Briefly outline the methodology used to prepare the assessment.	Section 2.0
Introduction to the Subject Property Provide a location plan specifying the subject property, including a site map and aerial photograph at an appropriate scale that indicates the context in which the property and heritage resource is situated.	Figure 1 and Figure 2
Introduction to the Subject Property Briefly document and describe the subject property, identifying all significant features, buildings, landscape, and vistas.	Section 6.0
Introduction to the Subject Property Indicate whether the property is part of any heritage register (e.g. Municipal Register of Cultural Heritage Resources Designated under the Ontario Heritage Act, or Municipal Register of Cultural Heritage Resources).	Section 1.4
Introduction to the Subject Property Document and describe the context including adjacent properties, land uses, etc.	Section 6.0

⁴ City of Brampton, “Heritage Impact Assessment Terms of Reference,” 2.

Requirement	Location
Evaluation of Cultural Heritage Value or Interest Thoroughly document and describe all heritage resources within the subject property, including cultural heritage landscapes, structures, buildings, building elements, building materials, architectural features, interior finishes, natural elements, vistas, landscaping and potential archaeological resources	Section 7.0
Description and Examination of Proposed Development / Site Alterations Provide a description of the proposed development or site alteration in relation to the heritage resource	Section 8.0
Description of Examination of Proposed Development / Site Alterations Indicate how the proposed development or site alteration will impact the heritage resource(s) and neighbouring properties. These may include: <ul style="list-style-type: none"> • Destruction of any, or part of any, significant heritage attributes or features; • Alteration to the historic fabric and appearance; • Shadow impacts on the appearance of a heritage attribute or an associated natural feature or plantings, such as a garden; • Isolation of a heritage attribute from its surrounding environment, context or a significant relationship; • Impact on significant views or vistas within, from, or of built and natural features; • A change in land use where the change in use may impact the property's cultural heritage value or interest; • Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource. 	Section 9.0

Requirement	Location
Mitigation Options, Conservation Methods, and Proposed Alternatives Provide mitigation measures, conservation methods, and / or alternative development options that avoid or limit the direct and indirect impacts to the heritage resource	N/A
Mitigation Options, Conservation Methods, and Proposed Alternatives Evaluate the advantages and disadvantages (pros and cons) of each proposed mitigation measure / option. The mitigation options may include, but are not limited to: <ul style="list-style-type: none"> • Alternative development approaches; • Appropriate setbacks between the proposed development and the heritage resources; • Design guidelines that harmonize mass, setback, setting, and materials; • Limiting height and density; • Compatible infill and additions; • Refer to Appendix 2 for additional mitigation strategies. 	N/A
Mitigation Options, Conservation Methods, and Proposed Alternatives Identify any site planning and landscaping measures that may ensure significant heritage resources are protected and / or enhanced by the development or redevelopment.	N/A
Recommendations Provide clear recommendations for the most appropriate course of action for the subject property and any heritage resources within it.	Section 10.0
Recommendations Failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.	Recommendations provided in Section 10.0

Requirement	Location
Executive Summary Provide an executive summary of the assessment findings at the beginning of the report	Page IV
Executive Summary Outline and summarize all recommendations including mitigation strategies, need for the preparation of follow-up plans such as conservation and adaptive reuse plans and other requirements as warranted. Please rank mitigation options from most preferred to least.	Page IV

The HIA must be prepared by qualified heritage professionals qualifications provided in Appendix A) and the final HIA will be submitted in hard copy (5 copies) and in digital copy (PDF or Word).

2.2 Understanding and Describing Cultural Heritage Value or Interest

A Statement of Cultural Heritage Value or Interest has been prepared for the Property; however, the statement – which comprises page 2 of By-Law 180-84 – predates the 2005 amendments to the *OHA* which require a list of heritage attributes be included in the Statement of Cultural Heritage Value or Interest. Based on the existing by-law, augmented by the research and analysis presented in Sections 5.0 and 6.0, a list of heritage attributes for the Property was prepared by LHC and is provided in Section 7.0 of this HIA.

2.3 Legislation and Policy Review

The HIA includes a review of provincial legislation, plans and cultural heritage guidance, and relevant municipal policy and plans. This review outlines the cultural heritage legislative and policy framework that applies to the Property. The impact assessment considers the proposed project against this framework.

2.4 Historical Research

Historical research was undertaken to outline the history and development of the Property and its broader community context. Primary historic material, including air photos and mapping, were obtained from:

- The Ontario Council of University Libraries, Historical Topographic Map Digitization Project;
- The Canadian County Atlas Digital Project;
- University of Toronto;
- National Air Photo Library; and,

- The Region of Peel Archives.

Secondary research was compiled from sources such as: historical atlases, local histories, architectural reference texts, available online sources, and previous assessments. All sources and persons contacted in the preparation of this report are listed as footnotes and in the report's reference list.

2.5 Site Visit

A site visit was undertaken by Cultural Heritage Specialist Colin Yu on 27 January 2023. The primary objective of the site visit was to document and gain an understanding of the Property and its surrounding context. The site visit included documentation of the surrounding area, exterior, and interior views of the structure. Access to the interior was granted by the Property owner.

2.6 Impact Assessment

*Information Sheet #5: Heritage Impact Assessments and Conservation Plans*⁵ and the City's HIA guidelines outline seven potential negative impacts to be considered with any proposed development or property alteration. The impacts include, but are not limited to:

- 1) **Destruction** of any part of any significant heritage attribute or features;
- 2) **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
- 3) **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
- 4) **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
- 5) **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
- 6) **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- 7) **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.

The HIA includes a consideration of direct and indirect adverse impacts on adjacent properties with known or potential cultural heritage value or interest. No adjacent heritage properties have been identified.

⁵ "Info Sheet #5: Heritage Impact Assessments and Conservation Plans," in *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement*, prepared by the Ministry of Culture (Toronto: Queen's Printer for Ontario, 2006), 1-4.

3.0 POLICY AND LEGISLATION CONTEXT

3.1 Provincial Context

In Ontario, cultural heritage is established as a matter of provincial interest directly through the provisions of the *Planning Act*, the Provincial Policy Statement (*PPS*) and the *Ontario Heritage Act* (*OHA*). Cultural heritage resources are managed under Provincial legislation, policy, regulations, and guidelines. Other provincial legislation deals with cultural heritage indirectly or in specific cases. These various acts and the policies under these acts indicate broad support for the protection of cultural heritage by the Province. They also provide a legal framework through which minimum standards for heritage evaluation are established. What follows is an analysis of the applicable legislation and policy regarding the identification and evaluation of cultural heritage.

3.1.1 *Planning Act*, R.S.O. 1990

The *Planning Act* is the primary document for municipal and provincial land use planning in Ontario and was consolidated on 1 January 2023. This Act sets the context for provincial interest in heritage. It states under Part I (2, d):

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as...the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.⁶

Under Section 1 of *The Planning Act*:

A decision of the council of a municipality, a local board, a planning board, a minister of the Crown and a ministry, board, commission or agency of the government, including the Tribunal, in respect of the exercise of any authority that affects a planning matter...shall be consistent with [the *PPS*].⁷

Details about provincial interest as it relates to land use planning and development in the province are outlined in the *PPS* which makes the consideration of cultural heritage equal to all other considerations concerning planning and development within the province.

3.1.2 Provincial Policy Statement (2020)

The *PPS* provides further direction for municipalities regarding provincial requirements and sets the policy foundation for regulating the development and use of land in Ontario. Land use planning decisions made by municipalities, planning boards, the Province, or a commission or agency of the government must be consistent with the *PPS*. The Province deems cultural

⁶ Province of Ontario, "Planning Act, R.S.O. 1990, c. P.13," last modified 1 January 2023, accessed 7 February 2023, <https://www.ontario.ca/laws/statute/90p13>, Part I (2, d).

⁷ Province of Ontario, "Planning Act," Part I S.5.

heritage and archaeological resources to provide important environmental, economic, and social benefits, and *PPS* directly addresses cultural heritage in Section 1.7.1e and Section 2.6.

Section 1.7 of the *PPS* regards long-term economic prosperity and promotes cultural heritage as a tool for economic prosperity. The relevant subsection states that long-term economic prosperity should be supported by:

1.7.1e encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.

Section 2.6 of the *PPS* articulates provincial policy regarding cultural heritage and archaeology. The subsections state:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.⁸

The *PPS* makes the consideration of cultural heritage equal to all other considerations and recognizes that there are complex interrelationships among environmental, economic and social factors in land use planning. It is intended to be read in its entirety and relevant policies applied in each situation.

A HIA may be required by a municipality in response to Section 2.6.1 and 2.6.3 to conserve built heritage resources, cultural heritage landscapes, and the heritage attributes of a protected heritage property.

⁸ Province of Ontario, "Provincial Policy Statement," 29.

3.1.3 Ontario Heritage Act, R.S.O. 1990, c. O.18

The *Ontario Heritage Act*, R.S.O. 1990, c O.18 (**Ontario Heritage Act** or **OHA**) enables the provincial government and municipalities powers to conserve, protect, and preserve the heritage of Ontario. The *Act* is administered by a member of the Executive Council (provincial government cabinet) assigned to it by the Lieutenant Governor in Council. At the time of writing, the *Ontario Heritage Act* is administered by the MCM.⁹ The *OHA* (consolidated on 1 January 2023) and associated regulations set minimum standards for the evaluation of heritage resources in the province and give municipalities power to identify and conserve individual properties, districts, or landscapes of cultural heritage value or interest.¹⁰

Part I (2) of the *OHA* enables the Minister to determine policies, priorities, and programs for the conservation, protection, and preservation of the heritage of Ontario. Individual heritage properties are designated by municipalities under Section 29, Part IV of the *OHA*. An *OHA* designation applies to real property rather than individual structures.

As amended by Regulation 385/21, Section 30.1 of the *OHA* permits municipalities to amend designating by-laws. Formal amendment by-laws are not required in the following cases:

1. Clarify or correct the statement explaining the property's cultural heritage value or interest or the description of the property's heritage attributes.
2. Correct the legal description of the property.
3. Otherwise revise the by-law to make it consistent with the requirements of this Act or the regulations, including revisions that would make a by-law passed before subsection 7 (6) of Schedule 11 to the More Homes, More Choice Act, 2019 comes into force satisfy the requirements prescribed for the purposes of paragraph 2 of subsection 29 (8), if any.¹¹

⁹ Since 1975 the Ontario ministry responsible for culture and heritage has included several different portfolios and had several different names and may be referred to by any of these names or acronyms based on them:

- Ministry of Culture and Recreation (1975-1982),
- Ministry of Citizenship and Culture (1982-1987),
- Ministry of Culture and Communications (1987-1993),
- Ministry of Culture, Tourism and Recreation (1993-1995),
- Ministry of Citizenship, Culture and Recreation (1995-2001),
- Ministry of Tourism, Culture and Recreation (2001-2002),
- Ministry of Culture (2002-2010),
- Ministry of Tourism, Culture and Sport (2011-2019),
- Ministry of Heritage, Sport, Tourism, and Culture Industries (2019-2022),
- Ministry of Tourism, Culture and Sport (2022),
- Ministry of Citizenship and Multiculturalism (2022-present).

¹⁰ Province of Ontario, "Ontario Heritage Act, R.S.O. 1990, c. O.18," last modified 1 January 2023, accessed 7 February 2023, <https://www.ontario.ca/laws/statute/90o18>.

¹¹ Province of Ontario, "Ontario Heritage Act," Section 30.1 (2).

Updating the heritage attributes in this Property's heritage designation by-law would not require a formal amending by-law.

3.1.4 Places to Grow Act, 2005 S.O. 2005

The *Places to Grow Act* guides growth in the province and enables the *Growth Plan* (described below). It was consolidated 1 June 2021 and is intended:

- a) to enable decisions about growth to be made in ways that sustain a robust economy, build strong communities and promote a healthy environment and a culture of conservation;
- b) to promote a rational and balanced approach to decisions about growth that builds on community priorities, strengths and opportunities and makes efficient use of infrastructure;
- c) to enable planning for growth in a manner that reflects a broad geographical perspective and is integrated across natural and municipal boundaries;
- d) to ensure that a long-term vision and long-term goals guide decision-making about growth and provide for the co-ordination of growth policies among all levels of government. A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020).

The Property is located within the area regulated by *A Place to Grow: Growth Plan for the Greater Golden Horseshoe (the Growth Plan)*, which came into effect on 16 May 2019 and was consolidated on 28 August 2020.

In Section 1.2.1, the *Growth Plan* states that its policies are based on key principles, which includes:

Conserve and promote cultural heritage resources to support the social, economic, and cultural well-being of all communities, including First Nations and Métis communities.¹²

Section 4.1 Context, in the *Growth Plan* describes the area it covers as containing:

...a broad array of important hydrologic and natural heritage features and areas, a vibrant and diverse agricultural land base, irreplaceable cultural heritage resources, and valuable renewable and non-renewable resources.¹³

It describes cultural heritage resources as:

The *Growth Plan* also contains important cultural heritage resources that contribute to a sense of identity, support a vibrant tourism industry, and attract

¹² Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," last modified 28 August 2020, accessed 7 February 2023, <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>, 6.

¹³ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 39.

investment based on cultural amenities. Accommodating growth can put pressure on these resources through development and site alteration. It is necessary to plan in a way that protects and maximizes the benefits of these resources that make our communities unique and attractive places to live.¹⁴

Policies specific to cultural heritage resources are outlined in Section 4.2.7, as follows:

- i. Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas;
- ii. Municipalities will work with stakeholders, as well as First Nations and Métis communities, in developing and implementing official plan policies and strategies for the identification, wise use and management of cultural heritage resources; and,
- iii. Municipalities are encouraged to prepare archaeological management plans and municipal cultural plans and consider them in their decision-making.¹⁵

Amendment 1 to *A Place to Grow* aligns the definitions of *A Place to Grow* with the PPS 2020.

3.1.5 Provincial Planning Context Summary

In summary, cultural heritage resources are considered an essential part of the land use planning process with their own unique considerations. As the province, these policies and guidelines must be considered by the local planning context. In general, the province requires significant cultural heritage resources to be conserved.

Multiple layers of municipal legislation enable a municipality to require a HIA for alterations, demolition or removal of a building or structure from a listed or designated heritage property. These requirements support the conservation of cultural heritage resources in Ontario following provincial policy direction. The application of these policies to this specific project are discussed in Section 9.0 of this report.

3.2 Local Framework

3.2.1 Region of Peel Official Plan (2022)

The *Region of Peel Official Plan (ROP)* was adopted by Regional Council on 28 April 2022 - through By-law 20-2022 - and was approved with modifications by the Ministry of Municipal Affairs and Housing on 4 November 2022.

The *ROP*'s purpose is to guide land use planning policies and "provide a holistic approach to planning through an overarching sustainable development framework that integrates

¹⁴ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 39.

¹⁵ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 47.

environmental, social, economic and cultural imperatives.”¹⁶ The *ROP* recognizes the importance of cultural heritage for the region to develop healthy and sustainable communities.

Section 3.6 of the *ROP* outlines cultural heritage policies and states that:

The Region encourages and supports conservation of the cultural heritage resources of all peoples whose stories inform the history of Peel. The Region recognizes the significant role of heritage in establishing a shared sense of place, contributing to environmental sustainability and developing the overall quality of life for residents and visitors to Peel. The Region supports the identification, conservation and interpretation of cultural heritage resources, including but not limited to the built heritage resources, structures, archaeological resources, and cultural heritage landscapes (including properties owned by the Region or properties identified in Regional infrastructure projects), according to the criteria and guidelines established by the Province.¹⁷

The objectives of the Region’s cultural heritage policies are as follows:

3.6.1 To identify, conserve and promote Peel’s non-renewable cultural heritage resources, including but not limited to built heritage resources, cultural heritage landscapes and archaeological resources for the well-being of present and future generations.

3.6.4 To support the heritage policies and programs of the local municipalities.

The policies established to attain these goals, and those that pertain to the Property are as follows:

3.6.7 In cooperation with the local municipalities, ensure the adequate assessment, preservation or mitigation, where necessary or appropriate, of archaeological resources, as prescribed by the Ministry of Heritage, Sport, Tourism and Culture Industries’ archaeological assessment standards and guidelines.

3.6.10 Require local municipal official plans to include policies where the proponents of development proposals affecting cultural heritage resources provide sufficient documentation to meet provincial requirements and address the Region’s objectives with respect to cultural heritage resources.

Region of Peel policies and objectives outline their commitment to the conservation of cultural heritage resources and their encouragement and support of municipal policies to further this

¹⁶ Region of Peel, “Region of Peel Official Plan,” last modified 4 November 2022, accessed 7 February 2023, https://www.peelregion.ca/officialplan/download/_media/region-of-peel-official-plan-approved-final.pdf.

¹⁷ Region of Peel, “Region of Peel Official Plan,” 110.

goal. The Region requires that municipalities implement policies requiring heritage impact assessments for development proposals that impact cultural heritage resources. This HIA meets the requirements set out by the Region for conservation and sufficient documentation.

3.2.2 City of Brampton Official Plan (2006, consolidated 2020)

The *City of Brampton Official Plan (OP)* was adopted on 11 October 2006, partially approved by the Region of Peel on 24 January 2008 and partially approved by the Ontario Municipal Board on 7 October 2008. The City has been developing a new *OP* since 2019 which will plan for 2040. The most recent consolidation dates to September 2020.

The *OP*'s purpose is to guide land use planning decisions until 2031 with clear guidelines for how land use should be directed, and which ensures that "cultural heritage will be preserved and forms part of the functional components of the daily life".¹⁸ Regarding cultural heritage the *OP* notes that:

Brampton's rich cultural heritage also provides a foundation for planning the future of the City as our heritage resources and assets contribute to the identity, character, vitality, economic prosperity, quality of life and sustainability of the community as a whole. Cultural heritage is more than just buildings and monuments, and includes a diversity of tangible and intangible resources, including structures, sites, natural environments, artifacts and traditions that have historical, architectural, archaeological, cultural and contextual values, significance or interest.¹⁹

Section 4.10 (Cultural Heritage) of the *OP* identifies the conservation of heritage resources as providing a "vital link with the past and a foundation for planning the future..." and highlights the importance of cultural heritage landscapes, intangible heritage, and maintaining of context.²⁰

Section 4.10 states the objectives of its cultural heritage policies are to:

- a) Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations; and,
- b) Preserve, restore and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and preserve cultural heritage landscapes, including significant public views.

¹⁸ City of Brampton, "Official Plan," last modified September 2020, accessed 7 February 2023, https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf, 1.

¹⁹ City of Brampton, "Official Plan," 2-4.

²⁰ City of Brampton, "Official Plan," 4.9 -1.

Cultural heritage policies relevant to the Property include the following:

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

The *OP* includes cultural heritage policies related to the preparation of an HIA. These include the following:

4.10.1.10 A Heritage Impact Assessment, prepared by qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes. Due consideration will be given to the following factors in reviewing such applications:

- (i) The cultural heritage values of the property and the specific heritage attributes that contribute to this value as described in the register;
- (ii) The current condition and use of the building or structure and its potential for future adaptive re-use; and,
- (vi) Planning and other land use considerations.

4.10.1.11 A Heritage Impact Assessment may also be required for any proposed alteration work or development activities involving or adjacent to heritage resources to ensure that there will be no adverse impacts caused to the resources and their heritage attributes. Mitigation measures shall be imposed as a condition of approval of such applications.

The City of Brampton's policies require the conservation of cultural heritage resources and the submission of a heritage impact assessment to assess potential impacts and determine mitigation measures. This HIA meets these requirements.

3.2.3 Local Planning Context Summary

The Region of Peel and the City of Brampton consider cultural heritage resources to be of value to the community and values them in the land use planning process. Through their *OP* policies, the Region and the City have committed to identifying and conserving cultural heritage resources.

4.0 RESEARCH AND ANALYSIS

The following section provides an overview of supplemental historical context that has been reviewed in addition to the history of the Property presented on page two of the designation by-law, in order to articulate the Property's heritage attributes.

4.1 Early Indigenous History

4.1.1 Paleo Period (9500 – 8000 BCE)

The cultural history of southern Ontario began around 11,000 years ago following the retreat of the Wisconsin glacier.²¹ During this archaeological period, known as the Paleo period (9500-8000 BCE), the climate was similar to the present-day sub-arctic and vegetation was largely spruce and pine forests.²² The initial occupants of the province had distinctive stone tools. They were nomadic big-game hunters (i.e., caribou, mastodon, and mammoth) who lived in small groups and travelled over vast areas, possibly migrating hundreds of kilometres in a single year.²³

4.1.2 Archaic Period (8000 – 1000 BCE)

During the Archaic archaeological period (8000-1000 BCE) the occupants of southern Ontario continued their migratory lifestyles, although living in larger groups and transitioning towards a preference for smaller territories of land – possibly remaining within specific watersheds. People refined their stone tools during this period and developed polished or ground stone tool technologies. Evidence of long-distance trade has been found on archaeological sites from the Middle and Later Archaic times; including items such as copper from Lake Superior, and marine shells from the Gulf of Mexico.²⁴

4.1.3 Woodland Period (1000 BCE – CE 1650)

The Woodland archaeological period in southern Ontario (1000 BCE – CE 1650) represents a marked change in subsistence patterns, burial customs, and tool technologies, as well as the introduction of pottery making. The Woodland period is sub-divided into the Early Woodland (1000–400 BCE), Middle Woodland (400 BCE – CE 500) and Late Woodland (CE 500 - 1650).²⁵ The Early Woodland is defined by the introduction of clay pots which allowed for preservation and easier cooking.²⁶ During the Early and Middle Woodland, communities grew and were

²¹ Christopher Ellis and D. Brian Deller, "Paleo-Indians," in *The Archaeology of Southern Ontario to A.D. 1650*, ed. Christopher Ellis and Neal Ferris (London, ON: Ontario Archaeological Society, London Chapter, 1990), 37.

²² Toronto Region Conservation Authority, "Chapter 3: First Nations," in *Greening Our Watersheds: Revitalization Strategies for Etobicoke and Mimico Creeks*, prepared by the Toronto Region Conservation Authority (Toronto, ON, 2001).

²³ Toronto Region Conservation Authority, "Chapter 3: First Nations."

²⁴ Toronto Region Conservation Authority, "Chapter 3: First Nations."

²⁵ Toronto Region Conservation Authority, "Chapter 3: First Nations."

²⁶ Toronto Region Conservation Authority, "Chapter 3: First Nations."

organized at a band level. Peoples continued to follow subsistence patterns focused on foraging and hunting.

Woodland populations transitioned from a foraging subsistence strategy towards a preference for agricultural village-based communities around during the Late Woodland. During this period people began cultivating maize in southern Ontario. The Late Woodland period is divided into three distinct stages: Early Iroquoian (CE 1000–1300); Middle Iroquoian (CE 1300–1400); and Late Iroquoian (CE 1400–1650).²⁷ The Late Woodland is generally characterised by an increased reliance on cultivation of domesticated crop plants, such as corn, squash, and beans, and a development of palisaded village sites which included more and larger longhouses. By the 1500s, Iroquoian communities in southern Ontario – and more widely across northeastern North America – organized themselves politically into tribal confederacies. South of Lake Ontario, the Haudenosaunee Confederacy comprised the Mohawks, Oneidas, Onondagas, Cayugas, and Senecas, while Iroquoian communities in southern Ontario included the Petun, Huron, and Neutral Confederacies.²⁸

4.2 Seventeenth- and Eighteenth-Century Historic Context

French explorers and missionaries began arriving in southern Ontario during the first half of the 17th century, bringing with them diseases for which the Indigenous peoples had no immunity, contributing to the collapse of the three southern Ontario Iroquoian confederacies. Also contributing to the collapse and eventual dispersal of the Huron, Petun, and Attiwandaron, was the movement of the Haudenosaunee Confederacy from south of Lake Ontario. Between 1649 and 1655, the Haudenosaunee Confederacy waged war on the Huron, Petun, and Attiwandaron, pushing them out of their villages and the general area.²⁹

As the Haudenosaunee Confederacy moved across a large hunting territory in southern Ontario, they began to threaten communities further from Lake Ontario, specifically the Ojibway (Anishinaabe). The Anishinaabe had occasionally engaged in conflict with the Haudenosaunee Confederacy over territories rich in resources and furs, as well as access to fur trade routes; but in the early 1690s, the Ojibway, Odawa and Patawatomi, allied as the Three Fires, initiated a series of offensive attacks on the Haudenosaunee Confederacy, eventually forcing them back to the south of Lake Ontario.³⁰ Oral tradition indicates that the Mississauga played an important role in the Anishinaabe attacks against the Haudenosaunee.³¹ A large group of Mississauga established themselves in the area between present-day Toronto and Lake Erie around 1695, the descendants of whom are the Mississaugas of the Credit.³² Artifacts from all major

²⁷ Toronto Region Conservation Authority, “Chapter 3: First Nations.”

²⁸ Toronto Region Conservation Authority, “Chapter 3: First Nations.”; Haudenosaunee Confederacy, “Who Are We,” accessed 9 February 2023, <https://www.haudenosauneeconfederacy.com/who-we-are/>.

²⁹ Mississaugas of the Credit First Nation, “Community Profile,” accessed 9 February 2023, <https://mncfn.ca/about-mncfn/community-profile/>.

³⁰ Mississaugas of the Credit First Nation, “Community Profile.”

³¹ Mississaugas of the Credit First Nation, “Community Profile.”

³² Mississaugas of the Credit First Nation, “Community Profile.”

Indigenous communities have been discovered in the Greater Toronto Area at over 300 archaeological sites.³³

4.3 Survey and Early Euro-Canadian Settlement

The Seven Years War (1756-1763) between Great Britain and France and the American Revolution (1775-1783) lead to a push by the British Crown for greater British settlement in Canada leading to treaties.³⁴ The Property is located within the Treaty Lands and Territory of the Mississaugas of the Credit First Nation and the Ajetance, Treaty No. 19 (1818) which expanded on the Head of the Lake, Treaty No. 14 (1806) along Lake Ontario (Figure 3).³⁵

As the Mississaugas of the Credit First Nation write:

In addition to their three small reserves located on the Lake Ontario shoreline, the Mississaugas of the Credit held 648,000 acres of land north of the Head of the Lake Purchase lands and extending to the unceded territory of the Chippewa of Lakes Huron and Simcoe. In mid-October 1818, the Chippewa ceded their land to the Crown in the Lake Simcoe-Nottawasaga Treaty and, by the end of October, the Crown sought to purchase the adjacent lands of the Mississaugas of the Credit.

The Deputy Superintendent of the Indian Department, William Claus, met with the Mississaugas from October 27-29, 1818, and proposed that the Mississaugas sell their 648,000 acres of land in exchange for an annual amount of goods. The continuous inflow of settlers into their lands and fisheries had weakened the Mississaugas' traditional economy and had left them in a state of impoverishment and a rapidly declining population. In their enfeebled state, Chief Ajetance, on behalf of the assembled people, readily agreed to the sale of their lands for £522.10 of goods paid annually.³⁶

The Property is also within the traditional territory of the Haudenosaunee and Huron Wendat.

³³ Toronto Region Conservation Authority, "Archaeology Opens a Window on the History of Indigenous Peoples in the GTA," last modified 21 June 2018, accessed 9 February 2023, <https://trca.ca/news/archaeology-indigenous-peoples-gta/>.

³⁴ Peel Art Gallery, Museum, and Archives, "About Peel," *Peeling the Past*, accessed 9 February 2023, <https://peelarchivesblog.com/about-peel/>.

³⁵ Donna Duric, "Ajetance Treaty, No. 19 (1818)," *Mississaugas of the Credit First Nations*, last modified 4 November 2020, accessed 9 February 2023, <https://mncfn.ca/ajetance-treaty-no-19-1818/>; Peel Art Gallery, Museum, and Archives, "About Peel."

³⁶ Duric, "Ajetance Treaty, No. 19 (1818)."

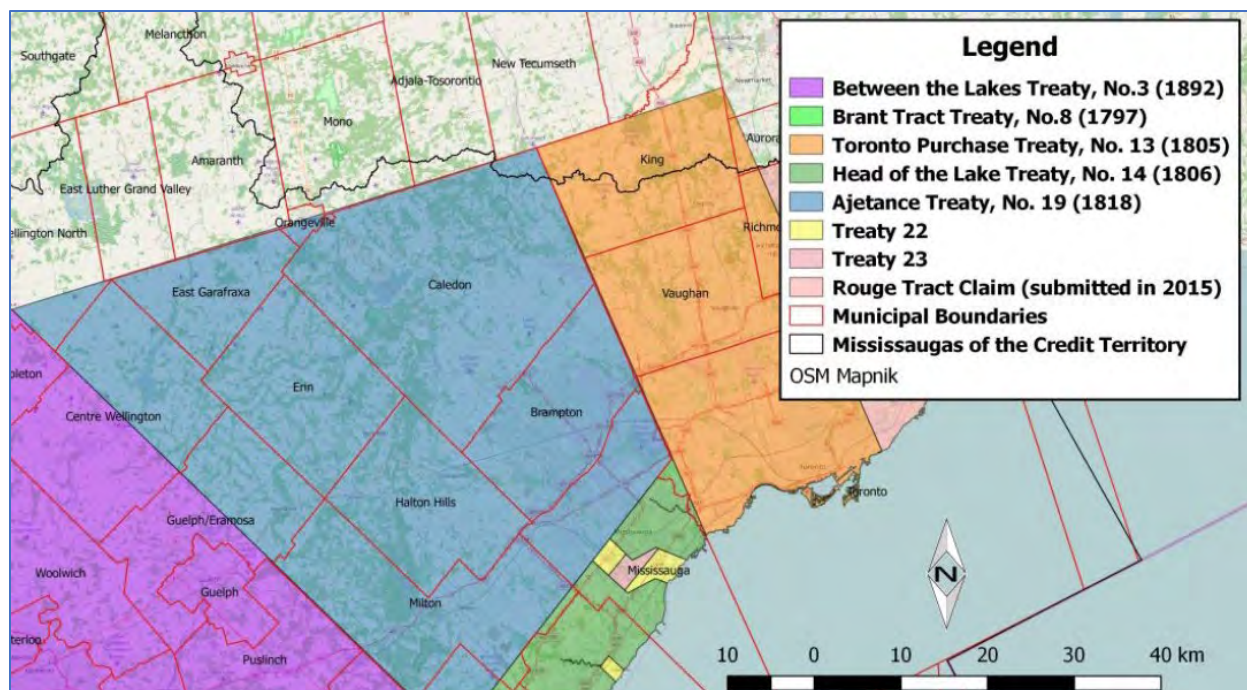


Figure 3: Ajetance Treaty, No. 19 Map³⁷

4.4 Chinguacousy Township and Peel County

In 1788, the Province of Quebec's government created districts and counties to serve as administrative bodies from the local level.³⁸ The first Districts were Hesse, Nassau, Mecklenburg, and Lunenburg. These four Districts would be renamed Western, Home, Midland, and Eastern, respectively, in 1792.³⁹ The Property is located in the former Nassau or Home district.

Until the signing of the Ajetance Treaty, the land that would become Chinguacousy Township and Peel County was owned and occupied by Indigenous groups. The Ajetance Treaty was signed in 1818. In 1819, the Townships of Albion, Caledon, and Chinguacousy were surveyed by Richard Bristol and Timothy Street on the newly acquired Ajetance Treaty lands.⁴⁰ They described the land as "low, swampy and covered with dense hardwood".⁴¹ Chinguacousy Township was named by Lieutenant Governor Sir Peregrine Maitland for the Mississauga

³⁷ Mississaugas of the Credit First Nation, "Community Profile."

³⁸ Archives of Ontario, "The Changing Shape of Ontario: Early Districts and Counties 1788-1899," *Government of Ontario*, accessed 9 February 2023, <http://www.archives.gov.on.ca/en/maps/ontario-districts.aspx>.

³⁹ Archives of Ontario, "The Changing Shape of Ontario."

⁴⁰ Town of Caledon, "Arts, Culture, and Heritage," accessed 9 February 2023, <https://www.caledon.ca/en/living-here/arts-culture-and-heritage.aspx#:~:text=Originally%20surveyed%20in%201818%20and,rivers%20and%20at%20various%20crossroads>.

⁴¹ Tourism Brampton, "Brampton History," *City of Brampton*, accessed 9 February 2023, <https://www.brampton.ca/en/Arts-Culture-Tourism/Tourism-Brampton/Visitors/Pages/BramptonHistory.aspx>.

designation for the Credit River which means “young pine”. The name also resembles the name of Ottawa chief Shingacouse, but this is believed to be a coincidence.⁴²

A “New Survey” method was used in the creation of smaller Townships within the County of Peel. Traditionally, 200 acre lots were the preferred method of surveying a town. However, these townships granted 100-acre square lots in order to provide everyone with access to a transportation route and ease of farming.⁴³ They also used the ‘double-front’ system and established concession numbers running east (E.H.S) and west (W.H.S) from a baseline laid through the centre of the township (today Hurontario Street/Main Street). Lot numbers were assigned running south to north. The first township in Peel was Toronto Township.⁴⁴ The name Peel was given in honour of Sir Robert Peel, who held many senior British government posts.⁴⁵

Many early settlers to Chinguacousy Township came from New Brunswick, parts of Upper Canada including the Niagara region, and the United States, as descendants of United Empire Loyalists.⁴⁶ Chinguacousy and Toronto Gore Township operated together until the latter separated in 1831.⁴⁷ Chinguacousy Township would reach a population peak of 7,469 inhabitants, a figure that was not reached by other townships until the 1870s.⁴⁸

The Townships were initially run by the elected Home District Council for York County which was dissolved in 1850 in favour of smaller counties.⁴⁹ The authority of self-governance before the dissolution of the Home District Council was minor.⁵⁰ The County of Peel was established in 1851 as a subsection of the United Counties of York, Ontario, and Peel, and included Toronto, Toronto Gore, Chinguacousy, Caledon, and Albion Townships.⁵¹ In 1854, Ontario County separated from the United Counties and in 1866, Peel became an independent county, with the village of Brampton chosen as the County seat in 1867.⁵² Peel quickly grew and by the late 19th century a shift from small self-sustaining family farms to larger business/export-oriented farms contributed to its growth. By 1873, the construction of the Toronto Grey & Bruce, Hamilton &

⁴² Alan Rayburn, *Place Names of Ontario* (Toronto, ON: University of Toronto Press, 1997), <https://archive.org/details/placenamesofonta0000rayb>, 68.

⁴³ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867,” last modified 25 April 2017, accessed 9 February 2023, <https://peelarchivesblog.com/2017/04/25/the-creation-of-the-county-of-peel-1851-1867/>.

⁴⁴ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867.”

⁴⁵ Alan Rayburn, *Place Names of Ontario*, 266.

⁴⁶ J.H. Pope, *Illustrated Historical Atlas of the County of Peel* (Toronto, ON: Walker and Miles, 1877), 64.

⁴⁷ Corporation of the County of Peel, *A History of Peel County to Mark its Centenary* (Peel, ON: Charters Publishing Company, 1967).

⁴⁸ Corporation of the County of Peel, *A History of Peel County to Mark its Centenary*, 249.

⁴⁹ Peel Art Gallery, Museum, and Archives, “About Peel.”

⁵⁰ Peel Art Gallery, Museum, and Archives, “About Peel.”

⁵¹ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867.”

⁵² Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953* (Toronto, ON: Charters Publishing Company Limited, 1953), <https://archive.org/details/brampton-centennial-souvenir/page/n15/mode/2up>, 29.

Northwestern, and Credit Valley rails throughout Peel County allowed the county to prosper and local products were shipped to other parts of Ontario.⁵³

Growth following World War II led to the creation of the Regional Municipality of Peel in 1974.⁵⁴ Caledon, Brampton, and Mississauga became the three lower tier municipalities and Peel Region became the Upper Tier. Responsibility of the Upper Tier was for many over arching services, such as: public health, utility services, and policing.⁵⁵ Lower Tier municipalities were responsible for local matters and included: property assessment, tax collection, public transit, and libraries. In 1974, Peel Region had a total population of 334,750⁵⁶ and by 2021, it had a total population of 1,451,022.⁵⁷

4.5 City of Brampton

Between 1827 and 1832, the only building in the area was a small tavern at Salisbury, on Concession 1, Lot 8, E.H.S. Martin Salisbury operated a tavern and inn which contained most of the business in the area. The 1827 assessment roll indicates Salisbury only had one horse and one cow but assessed him as having £211.⁵⁸ Soon after, William Buffy constructed a tavern at the Four Corners (now the intersection of Main Street and Queen Street). John Scott, a magistrate, built a small store, a potashery, a distillery, and a mill.⁵⁹ By 1834, the first lots in the settlement were surveyed out by John Elliott, who also gave the settlement the name of Brampton, in homage to his hometown of Brampton, Cumberland, England. He and another settler named William Lawson were staunch members of the Primitive Methodist movement and they established a strong Methodist presence in the area.⁶⁰ According to the 1837 *Toronto and Home District Directory*, there were 18 inhabitants.⁶¹

The village began to grow from the intersection of Hurontario and Queen Streets, on a floodplain of the Etobicoke Creek. By 1846, the village had two stores, a tavern, tannery, cabinetmaker, two blacksmiths and two tailors and the population had reached 150 people. In 1853, Brampton was officially incorporated as a village with a population of over 500 inhabitants. Several churches were built, along with a grammar school, distilleries, several

⁵³ Town of Caledon, "Arts, Culture and Heritage."

⁵⁴ Peel Art Gallery, Museum, and Archives, "About Peel."

⁵⁵ Peel Art Gallery, Museum, and Archives, "About Peel."

⁵⁶ Peel Art Gallery, Museum, and Archives, "About Peel."

⁵⁷ Statistics Canada, "Census Profile, 2021 Census of Population, Profile Table," accessed 9 February 2023, <https://www12.statcan.gc.ca/census-recensement/2021/dp-pd/prof/details/page.cfm?Lang=E&SearchText=Peel&DGUIDlist=2021A00033521&GENDERlist=1,2,3&STATISTIClist=1&HEADERlist=0>.

⁵⁸ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 13.

⁵⁹ Brampton Historical Society, "A Tavern in the Town," *Buffy's Corner* 3, No. 1 (2001): 6, accessed 9 February 2023, <http://nebula.wsimg.com/ab724bf29292825400659426003351b8?AccessKeyId=B6A04BC97236A848A092&disposition=0&alloworigin=1>.

⁶⁰ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 13.

⁶¹ George Walton, *The City of Toronto and the Home District Commercial Directory and Register with Almanack and Calendar for 1837* (Toronto: T. Dalton & W.J. Coates, 1837).

stores and John Haggert's agricultural implements factory. The local economy was growing, and the village supported the surrounding farms and rural hamlets in the township.⁶²

The village of Brampton was chosen as the County seat in 1867 as the government buildings were built at a cost of \$40,000.⁶³ In 1873, Brampton was incorporated as a town with John Haggert elected as the first mayor. By 1877, there were 2,551 inhabitants and the town had two bank branches, two telegraph offices, five hotels, a curling and skating rink, several mills, and carriage factories.⁶⁴

A new industry was emerging in Brampton by the mid-Victorian era. In 1863, Edward Dale and his young family arrived in Brampton from England, where Edward had struggled through hard economic times as a market gardener.⁶⁵ Within a few short years, Brampton became known as the "Flowertown of Canada" and soon Dale's Nursery was Brampton's largest employer. By the turn of the century, hundreds of acres of land were filled with greenhouses growing prize orchids, hybrid roses and many other quality flowers. Most of these flowers were grown for export around the world.⁶⁶

The twentieth century brought new industries to the town, mostly along the railway line, including the Williams Shoe factory, the Copeland-Chatterson Loose-Leaf Binder company and the Hewetson Shoe factory. Major banks established branches on the Four Corners.⁶⁷ In 1907, American industrialist Andrew Carnegie's Andrew Carnegie Foundation donated \$12,500 to construct a library in Brampton⁶⁸ and the population reached 4,000 people by 1910.⁶⁹ Brampton's citizens endured two world wars and the Great Depression during the first half of the twentieth century. These major world events took their toll on the local economy. Some factories closed and the flower industry began a slow but steady decline.

The City slowly transformed after the Second World War. In the late 1940s and 1950s, the automobile began to change the landscape, as did rapid urban growth in Toronto as new subdivisions began to develop. In 1959, Bramalea was created and touted as "Canada's first satellite city". Bramalea was a planned community built to accommodate 50,000 people by integrating houses, shopping centres, parks, commercial business and industry.⁷⁰

⁶² Tourism Brampton, "Brampton History."

⁶³ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*.

⁶⁴ Pope, *The Illustrated Atlas of the County of Peel, Ont.*, 87-88.

⁶⁵ Thomas H.B. Symons, "Brampton's Dale Estate," *Ontario Heritage Trust*, accessed 9 February 2023, <https://www.heritagetrust.on.ca/en/pages/programs/education-and-outreach/presentations/bramptons-dale-estate>.

⁶⁶ Tourism Brampton, "Brampton History."

⁶⁷ Tourism Brampton, "Brampton History."

⁶⁸ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 57.

⁶⁹ Tourism Brampton, "Brampton History."

⁷⁰ Nick Moreau, "Brampton," *The Canadian Encyclopedia*, last modified 28 November 2022, accessed 9 February 2023, <https://www.thecanadianencyclopedia.ca/en/article/brampton>.

The Province of Ontario began reviewing various municipalities in the mid-1960s. Peel County was facing increasing growth and urbanization. The abilities of its ten municipal governments varied greatly. By combining them into three municipalities, each could better react to and plan for the complex needs of residents at a regional level. In 1974, the provincial government created Caledon, Mississauga, and Brampton. The City of Brampton was created from the combination of the Town of Brampton, Toronto Gore Township, the southern half of Chinguacousy Township, and a portion of the Town of Mississauga.⁷¹ Brampton is now Canada's ninth-largest municipality with a population of 656,480 according to the 2021 Census.⁷²

4.6 Property History

In the early 1800s, Methodist ministers travelled from community to community in a pre-determined circuit to preach to their congregations. Similarly, Methodist congregations did not initially have a church where they worshiped. Instead, they worshipped in a public building or a local community member's house until a church could be constructed. Emmanuel Harrison's log house served as the original meeting house for the Methodist congregation in the area from 1821 until the 1840s when the first church was constructed.⁷³

On 2 May 1840, Emmanuel Harrison Senior granted one acre of land to the Trustees of the Wesleyan Methodist Church for the establishment of a cemetery and the construction of a church. The first church was a wood frame construction with a roughcast exterior measuring approximately forty by sixty feet. It was located in the centre of the cemetery and was used by the congregation until the second church was constructed (Figure 5). After the congregation moved to the second church, the original church was used for social events like concerts and tea meetings until it was torn down in 1880. The cemetery remained.⁷⁴ It is still extant and located across the street from the Property.

On 13 November 1875, John Stubbings granted the Property to the Trustees of the church for the construction of a new church (Figure 5). A large portion of the building fund for the new church was comprised of legacies left by Emmanuel Harrison Sr. and George Elliott. The Building Committee was comprised of Trustees Fennel Winters, William Elliott, and Thomas Holtby with James Voakes as Contractor and William McCulla as mason. Trustee John Stubbings and his wife - who lived adjacent to the cemetery - offered accommodations and meals to the Building Committee for the duration of construction. Compensation was only expected for meals. The church officially opened in February of 1876.⁷⁵

The Ladies Aid, later known as the Harrison United Church Women, was established on 2 November 1911. Their first resolution was to establish the practice that the women of the

⁷¹ Moreau, "Brampton."

⁷² Moreau, "Brampton."

⁷³ Barbara Stanley, *Harrison United Church Centennial Jubilee 1876-1976* (Bramalea, ON: Harrison United Church Women, 1976), Region of Peel Archives Collection, 2-3.

⁷⁴ Stanley, *Harrison United Church*, 3.

⁷⁵ Stanley, *Harrison United Church*, 4.

congregation clean the church and the men of the congregation facilitate repairs to the building. This resolution was initially intended for a specific instance, but it became the general practice of the congregation. In 1925, the Methodist, Congregational Union, and much of the Presbyterian Churches amalgamated forming the United Church of Canada. At this time, Harrison Methodist Church changed its name to Harrison United Church.⁷⁶

The rose window was part of the original construction. The vestibule initially had a flat roof with “a steeple-shaped tower on each front corner (Photo 1).”⁷⁷ The interior originally contained a balcony over the south end of the building and a two-storey section on the north end. The upper part of the east end balcony was used by the choir while the lower section was used by the Sunday School. In 1947, the congregation undertook renovations of the church. The basement, several windows, and new lighting were added. With the Sunday School occupying the new basement, the lower level of the north end balcony was removed. Additionally, the window on the north elevation was covered leaving only the arch. In 1959, the balcony at the south end of the interior was remodeled as a raised platform. In 1968, Grant Elliott gifted an acre of adjacent land to the church for future expansion (Figure 6 and Figure 7). It is unclear when the vestibule was given its current roof (Photo 2). However, the drawing on the front cover of the church history compiled by the United Church Women suggests that it was in place by the book’s date of publication.⁷⁸

In 1983, the Har Tikvah Congregation of Brampton purchased the building and converted it into a synagogue. New stained glass windows were installed on the east elevation and an ark was constructed to house the Torahs. In 1998, additional land was purchased to the north of the building to accommodate growth. A year later, portables were added to the site to accommodate the Hebrew School.⁷⁹ In 2018, Jagannath Mandir of Toronto purchased the Property and converted it into a temple.⁸⁰

⁷⁶ Stanley, *Harrison United Church*, 4-6.; United Church of Canada, “History of the United Church of Canada,” accessed 13 February 2023, <https://united-church.ca/community-and-faith/welcome-united-church-canada/history-united-church-canada#:~:text=The%20history%20of%20the%20United,Canada%20entered%20into%20a%20union.>

⁷⁷ Stanley, *Harrison United Church*, 4.

⁷⁸ Stanley, *Harrison United Church*, 4-8.

⁷⁹ Waymarking.com, “Har Tikvah Reform Synagogue – Brampton, Ontario, Canada,” last modified 3 January 2010, accessed 9 March 2023,

https://www.waymarking.com/waymarks/wm80HM_Har_Tikvah_Reform_Synagogue_Brampton_Ontario_Canada

⁸⁰ Jagannath Temple Toronto, “History of Jagannath Temple, Toronto,” accessed 9 March 2023, <https://jagannathmandir.com/history.>



Photo 1: Harrison Wesleyan Methodist Church, date unknown⁸¹



Photo 2: Harrison United Church, date unknown⁸²

⁸¹ Brampton East Women's Institute, "Tweedsmuir History," digital copy provided by the Region of Peel Archives.

⁸² Brampton East Women's Institute, "Tweedsmuir History."



Photo 3: Harrison United Church, July 1978⁸³




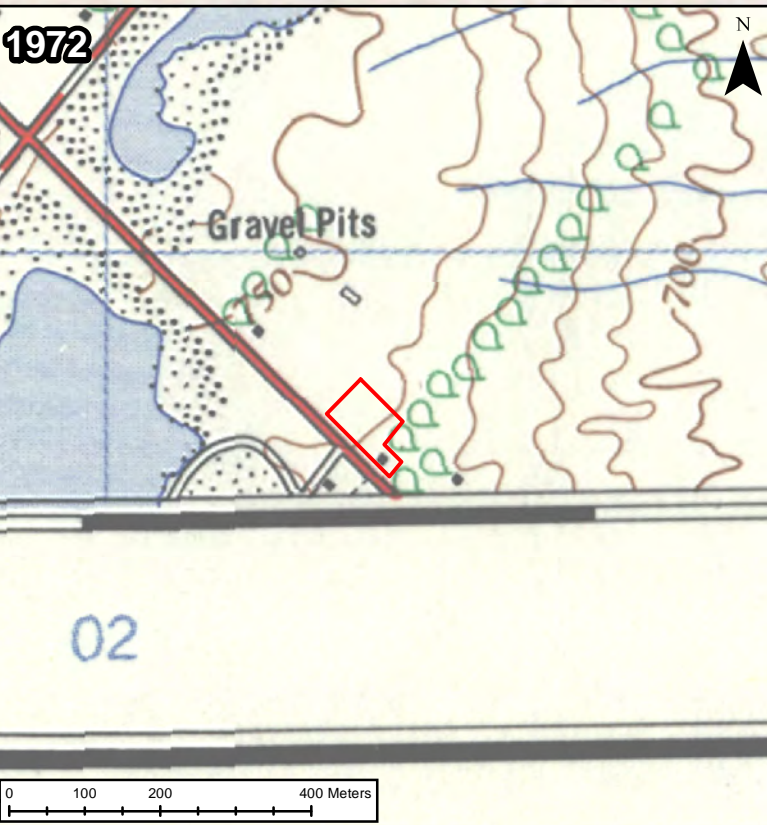
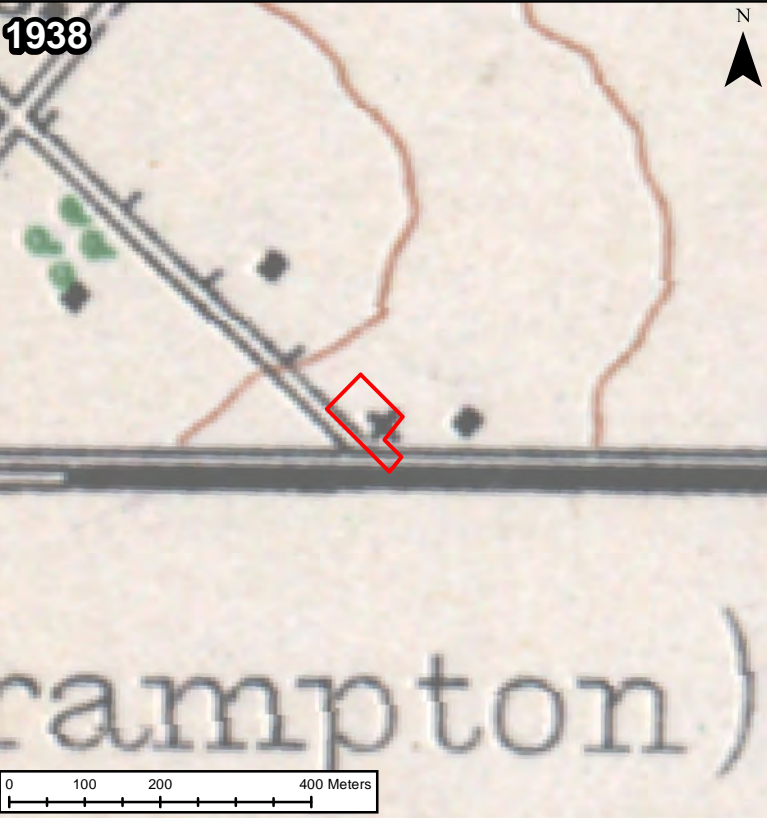
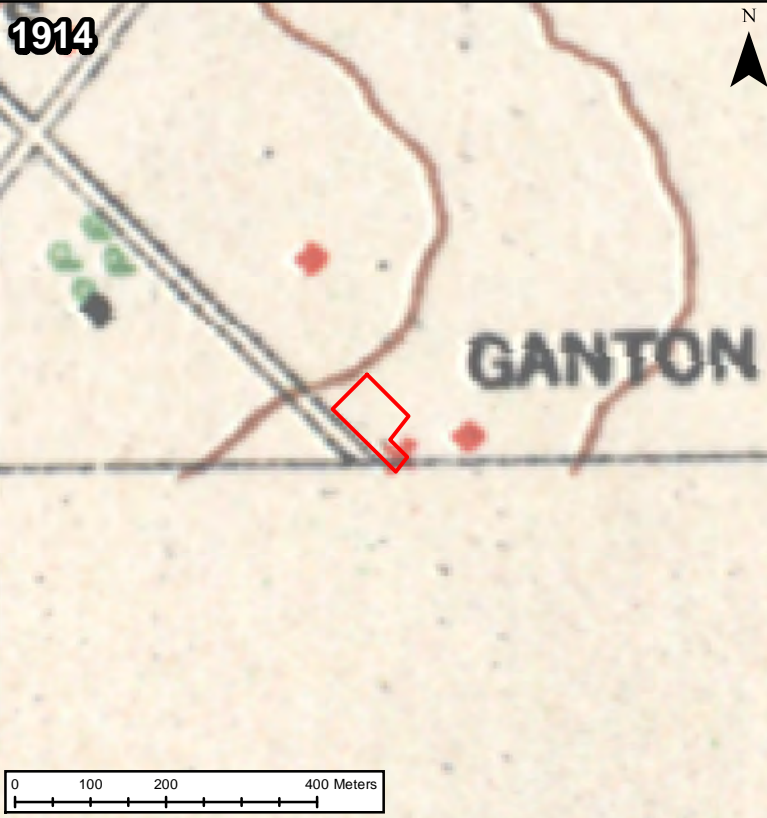
Photo 4: Har Tikvah Synagogue, Date Unknown⁸⁴

⁸³ Image provided by the Region of Peel Archives

⁸⁴ Waymarking.com, "Har Tikvah Reform Synagogue."




Legend <div style="border: 2px solid red; width: 50px; height: 20px; display: inline-block; margin-right: 5px;"></div> Property		
TITLE 1819, 1859, and 1877 historic maps showing the Property		
CLIENT Gagnon Walker Domes		
PROJECT Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON		PROJECT NO. LHC0355
NOTE(S) 1. All locations are approximate. REFERENCE(S) 1. Bristol, R., "A-30 Map of the Northern Part of the Township of Toronto", scale unknown, n.p.: The Crown, 1819. 2. Geo. R. Tremaine, "Tremaine's Map of the County of Peel, Canada West.", (https://maps.library.utoronto.ca/hgis/countymaps/peel/Peel2.jpg ; accessed March 3, 2023), digitized map, scale 1:39,600, Toronto, C.W.: G.R. & G.M. Tremaine, 1859. 3. J.H. Pope, Esq., "Southern Part of Chinguacousy", In: J.H. Pope, Esq., "Illustrated Historical Atlas of the County of Peel Ont.", (https://digital.library.mcgill.ca/countyatlas/searchmapframes.php ; accessed March 3, 2023), digitized map, scale unknown, Toronto: Walker & Miles, 1877. Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.		
CONSULTANT 	YYYY-MM-DD PREPARED DESIGNED FIGURE #	2023-03-03 LHC JG 5

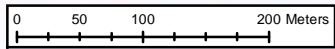
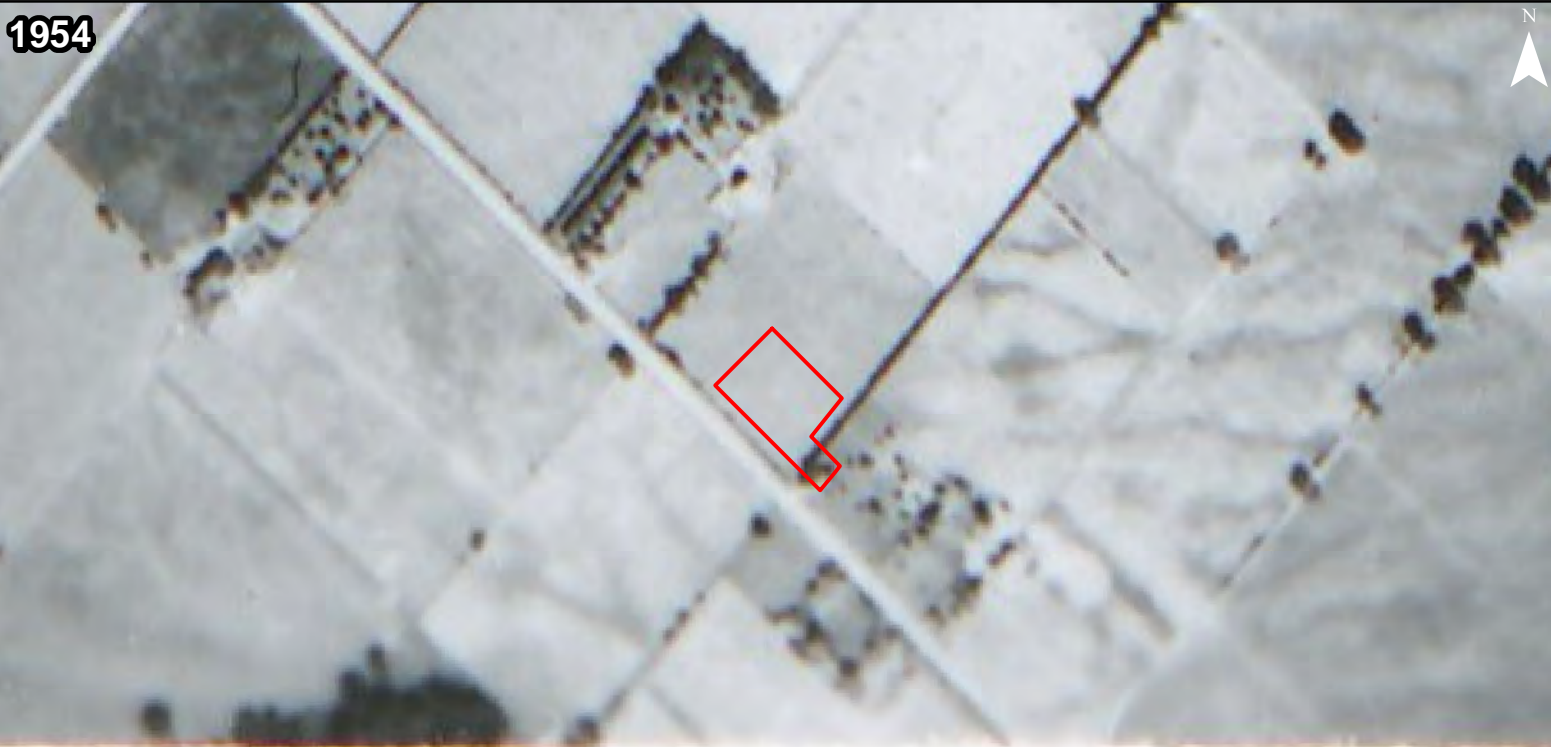


Legend Property

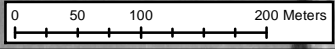
REFERENCE(S)
1. Department of Militia and Defence, "Topographic Map, Ontario, Bolton Sheet", (http://geo1.scholarsportal.info/#r/details/_uri@=564032357&_add:true: accessed March 3, 2023), digitized map, sheet 30 M/13, scale 1:63,360, Ottawa: Department of Militia and Defence, 1914.
2. Department of National Defence, "Topographic Map, Ontario, Bolton Sheet", (http://geo1.scholarsportal.info/#r/details/_uri@=564032357&_add:true: accessed March 3, 2023), digitized map, sheet 30 M/13, scale 1:63,360, Ottawa: Department of National Defence, 1938.
3. Army Survey Establishment, R.C.E., "Wildfield, Ontario", (http://geo2.scholarsportal.info/#r/details/_uri@=847590539&_add:true: accessed March 3, 2023), digitized map, sheet 30 M/13b, edition 1, scale 1:25,000, Ottawa: Army Survey Establishment, R.C.E., 1963.
4. Department of Energy, Mines and Resources, "Wildfield, Ontario", (http://geo2.scholarsportal.info/#r/details/_uri@=847590539&_add:true: accessed March 3, 2023), digitized map, sheet 30 M/13b, edition 2, scale 1:25,000, Ottawa: Department of Energy, Mines and Resources, 1972.
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TITLE 1914, 1938, 1963, and 1972 topographic maps showing the Property	
CLIENT Gagnon Walker Domes	
PROJECT Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON	PROJECT NO. LHC0355
NOTE(S) 1. All locations are approximate.	
CONSULTANT 	YYYY-MM-DD 2023-03-03
	PREPARED LHC
	DESIGNED JG
	FIGURE # 6

1954



1969



Legend

 Property

NOTE(S) 1. All locations are approximate.

REFERENCE(S)

1. University of Toronto, "1954 Air Photos of Southern Ontario", (<https://mdl.library.utoronto.ca/collections/air-photos/1954-air-photos-southern-ontario/index>: accessed March 3, 2023), 1954.
2. National Air Photo Library, "A19506-037", (<https://madgic.trentu.ca/airphoto/>: accessed March 3, 2023), scanned and georeferenced by the Maps, Data and Government Information Centre at Trent University, roll A19506 line 26W photo 37, scale 1:30,000, 1969.
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TITLE
1954 and 1969 Aerial Images showing the Property

CLIENT
Gagnon Walker Domes

PROJECT
Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON

PROJECT NO. LHC0355

CONSULTANT
YYYY-MM-DD 2023-03-03

 PREPARED LHC

DESIGNED JG

FIGURE # 7

4.7 Places of Worship, History

4.7.1 Ontario Methodist Church History

The Methodist faith began in the mid-1700s by a group of students at Oxford University under John Wesley's leadership. It started as a "method of ordering their lives so that they might encompass both scholarship and good work" and grew into a formal sect of the Christian faith.⁸⁵ The first houses of worship were called preaching halls with all official events (Holy Communion, marriage, baptism, and priest ordainment) requiring the aid of the Church of England. By 1791, the Methodist Church was autonomous and able to ordain its own priests as well as conduct its own affairs.⁸⁶

Methodism was brought to Canada in the late 1770s when second generation Palatine German refugees arrived in New York. Of this group, Loyalists Paul and Barbara Heck moved to Quebec in 1778 then to Augusta Township, Ontario in 1784. Barbara - alongside Philip Embury - established the first Methodist class in North America in New York and brought her faith with her to Ontario. The Methodist class that Barbara Heck helped establish influenced the disbanded 2nd Battalion, King's Royal Regiment of New York, who settled around the Bay of Quinte and constructed one of the first meeting houses in Ontario in 1791.⁸⁷

Initially, the faith was built around a circuit system by which a preacher would travel to set gathering places according to a set schedule and preach to his congregation. Locations for services were generally settler's homes or barns until an area became densely populated enough to warrant the construction of a meeting house. Due to the size and the demands of each circuit, this usually meant that congregations would only attend church once every two weeks. However, as the needs of larger congregations grew, they would be assigned a preacher of their own resulting in weekly services.⁸⁸

4.7.2 Har Tikvah Synagogue

The Har Tikvah congregation of Brampton was founded in 1979 to serve the Jewish community of North Peel and Halton Region. This was a Reform Jewish congregation with a popular Hebrew School. The congregation is a registered charitable organization and is the only synagogue in Brampton. In 2018, the congregation moved to Bovaird Drive.⁸⁹

4.7.3 Jagannath Mandir

Jagannath Mandir of Toronto was established in 2008 and is the first and only Puri Style Temple in Canada. The four deities that reside at the temple were "procured from odisa during July

⁸⁵ Marion MacRae and Andrew Adamson, *Hallowed Walls: Church Architecture of Upper Canada* (Toronto: Clarke, Irwin & Company Limited, 1975), 29.

⁸⁶ MacRae and Adamson, *Hallowed Walls*, 29.

⁸⁷ MacRae and Adamson, *Hallowed Walls*, 29.

⁸⁸ MacRae and Adamson, *Hallowed Walls*, 29-30.; Stanley, *Harrison United Church*, 4-8.

⁸⁹ Waymarking.com, "Har Tikvah Reform Synagogue."; Charitable Impact, "Har Tikvah Congregation of Brampton," accessed 9 March 2023, <https://my.charitableimpact.com/charities/har-tikvah-congregation-of-brampton>.

2008 by GTA odia community.”⁹⁰ They initially rented a space in the Bharat Sevashram Sangha temple. A large donation was granted to Jagannath Mandir from Canadian philanthropist Sradananda (Dan) Mishra allowing the temple to purchase a space of their own. Since its move to its current location, the temple has been able to expand its services and staff to better serve its community.⁹¹

4.8 Places of Worship, Architecture

4.8.1 Methodist Church Architecture

Initially, methodism viewed buildings as tools for preaching and mission with some preference for specific shapes such as John Wesley’s interest in octagonal buildings. Functionality and simple proportions were the main aspects of design resulting in vernacular architectural designs based on early Christian churches and meeting houses. Although this remained a key aspect of methodist meeting houses and churches, there was a growing interest in classical architectural details, especially in urban areas.⁹²

By the mid-nineteenth century, the appropriate style for Methodist churches became a key issue within the faith. Several papers were written on the subject with Reverend Frederick Jobson’s being the most influential. As a trained architect, Reverend Jobson argued for a balance between beauty and perfection in design without unnecessary adornment. The Gothic architectural style was his style of choice. His papers were adopted by the Methodist Conference and the Gothic style gained prominence, especially in Wesleyan Methodism.⁹³

Between the late 1800s and the 1950s, the Methodist denomination experienced substantial growth. In response to this growth, the Methodist Episcopal Board of Church Extension published the *Catalogue of Architectural Plans for Churches and Parsonages*. It was first published in 1870 and contained plans created by architect Benjamin D. Price. The plans ranged in cost, size, and ornamentation with options for wood, brick, or stone construction and advertisements for suppliers of materials and equipment such as bells, stained glass, and stoves.⁹⁴

The basis church design contained in the catalogue was a simple rectangular plan, wood frame building with a medium pitch gable roof, a projecting and gabled vestibule on the façade, a rose window above the projecting vestibule, and options for plain or gothic windows (Figure 4). The

⁹⁰ Jagannath Temple Toronto, “History of Jagannath Temple, Toronto.”

⁹¹ Jagannath Temple Toronto, “History of Jagannath Temple, Toronto.”

⁹² Ian Serjeant, “Historic Methodist Architecture and its Protection,” accessed 2 March 2023, <https://www.buildingconservation.com/articles/methodistarch/methodistarch.htm>; George Dolbey, *The Architectural Expression of Methodism: The First Hundred Years* (London, England: Epworth Press, 1964): 16-21, accessed 3 March 2023, <https://archive.org/details/architecturalex0000dolb/page/16/mode/2up>.

⁹³ Serjeant, “Historic Methodist Architecture and its Protection.”; Dolbey, *The Architectural Expression of Methodism: The First Hundred Years*, 120-122.

⁹⁴ United Methodist Communications, “Methodist History: Church Plans Catalog,” last modified 24 January 2018, accessed 2 March 2023, <https://www.umc.org/en/content/methodist-history-church-plans-catalog>.

proceeding plans in the catalogue build on this design by adding towers, basements, classrooms, and ornamentation. In general, the key features contained in these designs include:

- Simple proportions;
- Plain decoration;
- Rectangular Plan;
- Orientation to the street;
- One-storey;
- Gabled roof;
- Lancet windows;
- Rose window;
- Main entrance(s) on the façade;
- Vestibule (projecting or integrated); and,
- Central pulpit.

Materials and ornamentation vary by design and congregation preference. Many of the more complex designs have an L-shaped plan appearance and projecting wings.⁹⁵

⁹⁵ A.J. Kynett, *Catalogue of Architectural Plans for Churches and Parsonages* (Philadelphia: Board of Church Extension, 1889): 8-50, accessed 2 March 2023, <https://archives.gcah.org/handle/10516/10008>.; Dolbey, *The Architectural Expression of Methodism: The First Hundred Years*, 16-21, 67-99.

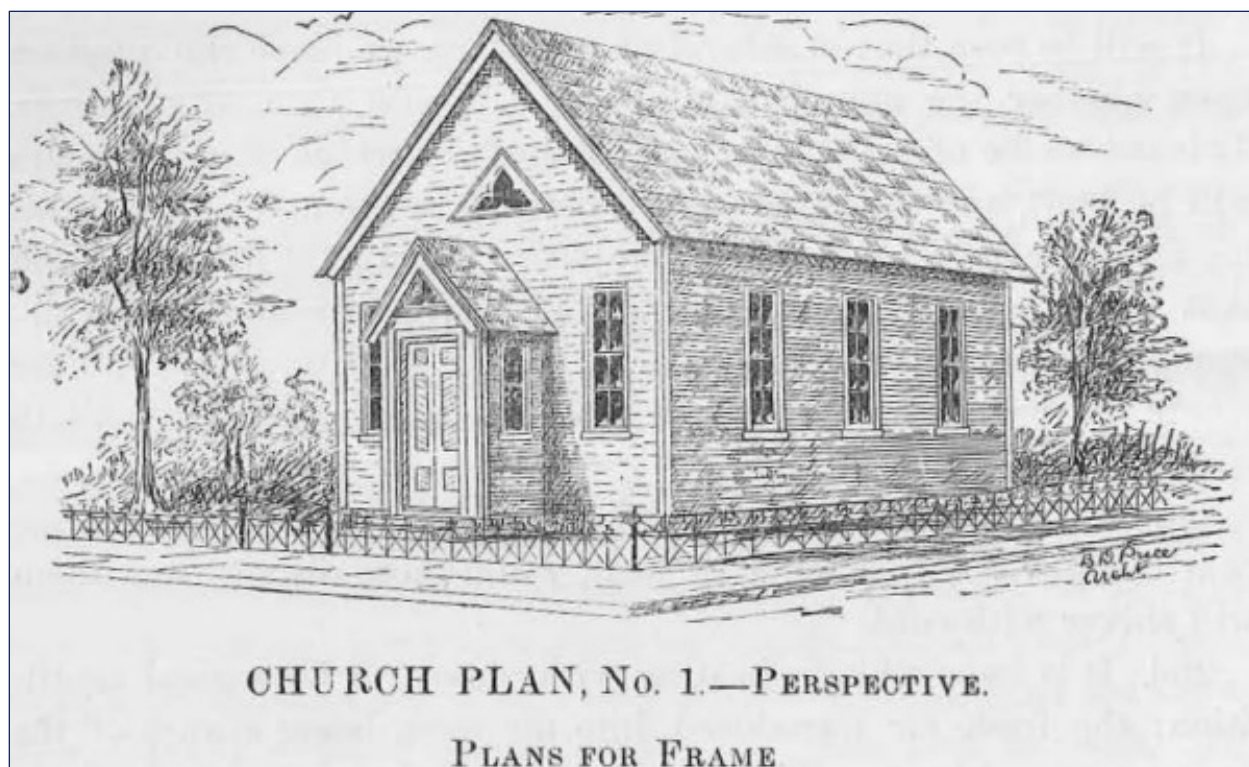


Figure 7: Basis Church Design in the *Catalogue of Architectural Plans for Churches and Parsonages*, 1889

4.8.2 Gothic Church Architecture

Gothic Revival was most popular in the later 1800s, which coincided with population increases in towns and cities and demand for more churches, leading the style to dominate the Ontario church landscape.⁹⁶ The Gothic Revival style was inspired by European Medieval Gothic churches and went through various stylistic changes throughout the era. Indicating their importance in a community, Gothic Revival churches were commonly built on an elevated separate plot of land, accentuating their spires which dominated the viewscape of many Canadian communities.⁹⁷

Gothic Revival defining church architectural attributes include:

- Stone or brick construction;
- Located on elevated separate parcels of land easily seen across the community;

⁹⁶ Ontario Heritage Trust, "Architectural Style," accessed 3 March 2023, <https://www.heritagetrust.on.ca/places-of-worship/places-of-worship-database/architecture/architectural-style>; T.F. McIlwraith, *Looking for Old Ontario* (Toronto, ON: University of Toronto Press, 1998), 150.

⁹⁷ S. Ricketts, L. Maitland, & J. Hucker, *A Guide to Canadian Architectural Styles*, 2nd Edition (Toronto: University of Toronto Press, 2004), 55.

- Pointed lancet windows;
- Arched doorways;
- Buttresses;
- Towers;
- Steeply pitched roofs;
- Pointed spires;
- Ornate stonework detailing;
- Emphasis on vertically in all attributes; and,
- Rib-lined ceilings.

4.8.3 Hindu Temple Architecture

The height of Hindu Temple construction began during the Gupta Dynasty.⁹⁸ These early temples were made of wood, but stone and brick were eventually used in their construction.⁹⁹ Early temples may have borrowed building layouts from Buddhist temples.¹⁰⁰ The surviving Gupta temples all have a similar design aesthetic. These features include a small central chamber, constructed with stone, with a verandah at the entrance or on all sides of the building.¹⁰¹

4.9 Significant Person History

4.9.1 Emmanuel Harrison Senior

Emmanuel Harrison Senior (1790-1871) was born in Yorkshire, England and settled on Concession 5 Lot 9 in Chinguacousy Township around 1820 as a cattle breeder. From 1823 to 1826, Emmanuel served as pathmaster. He was elected Warden in 1824, juryman in 1829, fenceviewer in 1836, and poundkeeper in 1838. In 1852, he won 4th place for best bull at the Grand Provincial Fair in Toronto. He was the namesake of the church and the community. His nephew – whom he raised following the death of his brother Thomas – continued the family name and remained active in the church.¹⁰²

⁹⁸ Wendy Doniger, Brian K. Smith, et al, "Hinduism," *The Encyclopedia Britannica*, last modified 27 February 2023, accessed 9 March 2023, <https://www.britannica.com/topic/Hinduism>.

⁹⁹ Doniger, Smith, et al, "Hinduism."

¹⁰⁰ Doniger, Smith, et al, "Hinduism."

¹⁰¹ Doniger, Smith, et al, "Hinduism."

¹⁰² William Perkins Bull, "Harrison Family File," digital file provided by the Region of Peel Archives.



Photo 5: Emmanuel Harrison¹⁰³

4.9.2 George Elliott

George Elliott (1789-1873) was born in Ireland and moved to York Township in York County with his wife in the early 1830s. In 1834, he purchased Lot 13 Concession 5 in Chinguacousy Township and established a farm. They were one of the first families to settle in this area. In 1846, he purchased a second farm. Both farms remained in the family for several generations. He later purchased two more farms (no longer in the family) and granted one of his four farms to each of his four sons. George and his wife Nancy remained on their original farm until their passing. Both were active members of the Wesleyan Methodist Church.¹⁰⁴

4.9.3 John Stubbings Senior

John Stubbings Senior (1819-1896) was born in Yorkshire and moved to Canada in the late 1800s. He first settled in Elmbank and established himself as a blacksmith. In 1867, he purchased Lot 17 on the 4th line and became a farmer. By 1880, he had purchased a new property and returned to his occupation as a blacksmith. Throughout his lifetime, he was an active member of Harrison Wesleyan Methodist Church through his roles as trustee and class leader. His descendants remained active in the church for many years.¹⁰⁵

¹⁰³ Image from the Region of Peel Archives

¹⁰⁴ Region of Peel Archives, "Elliott Family File (#3)," digital copy provided by the Region of Peel Archives.; Find a Grave, "George Elliott," accessed 1 March 2023, <https://www.findagrave.com/memorial/225687456/george-elliott>.

¹⁰⁵ Stanley, *Harrison United Church*, 9.; Find A Grave, "John Stubbings," accessed 1 March 2023, <https://www.findagrave.com/memorial/223683885/john-stubbings>.

4.9.4 William McCulla

William Armstrong McCulla (1838 – 1923) was born in Ireland. His family moved to Brampton in 1849. He served on the Brampton School Board for several years and was appointed Justice of the Peace from 1862 to 1864. In 1880, he was elected mayor of Brampton. Three years later, he was elected Reeve followed by Warden in 1885. From 1887 to 1891, he served as the Member of Parliament for Peel County. In addition to his political achievements, William served as a mason, builder, and contractor from 1865 to 1895. He is associated with several churches and public buildings in Brampton and Peel County including Brampton's first central school – which was constructed alongside his father John McCulla – and Grace Methodist Church. In 1895, he was granted the position of postmaster, which he held until his death in 1923.¹⁰⁶ According to an article in the Brampton conservator to celebrate his 85th birthday, “he has had an unusually compelling part in shaping the destinies of the town in which he has spent so many years.”¹⁰⁷



Photo 6: William McCulla¹⁰⁸

¹⁰⁶ Ata Architects Inc., “22, 24, 26, 28 and 32 John Street, City of Brampton, Ontario Heritage Impact Assessment,” last modified November 2022, accessed 1 March 2023, <https://pub-brampton.escribemeetings.com/filestream.ashx?DocumentId=70537>, 120.; William Perkins Bull, “McCulla Family File,” accessed 1 March 2023, <https://archive.org/details/mcculla-family-file/page/n45/mode/1up?q=compelling>.

¹⁰⁷ Perkins, “McCulla Family File,” 46.

¹⁰⁸ Perkins, “McCulla Family File,” 15.

5.0 EXISTING CONDITIONS

5.1 Surrounding Context

The Property is in Southwestern Ontario in the City of Brampton. It is approximately 23.64 kilometres (km) from the northern shore of Lake Ontario and approximately 7.4 km northeast of downtown Brampton.

The topography of the area is comprised of slight slopes along the street, steeper slopes descending away from the street to the east, a steeper slope descending away from the Property to the north, and a steeper slope ascending towards the residences to the west. The vegetation of the area consists of young and mature deciduous and coniferous trees and manicured landscaped yard fronting residential and commercial properties (Photo 7 and Photo 8).

The Property is bounded by Torbram Road to the south, residential properties to the west, and commercial properties to the north and east. Torbram Road is a municipally maintained arterial road running southeast to northwest from Highway 5 to Old School Road. It is a four-lane road flanked by sidewalks and curbs with streetlights on the south side of the street (Photo 7 to Photo 9).

The surrounding area includes commercial, residential and some industrial properties. Commercial properties are one to two-storeys in height with shallow to moderate setbacks. Residential properties are one to two storeys in height with moderate setbacks. Industrial properties that are one-storey with deep setbacks. Building material primarily consist of brick with some stone and some more modern materials like steel and stucco (Photo 7 and Photo 9).

The Harrison's United / Wesleyan Methodist Cemetery is located across Torbram Road from the Property (Photo 10).



Photo 7: View northwest along Torbram Road



Photo 8: View southeast along Torbram Road



Photo 9: View of the commercial plaza north of the Property






Photo 10: View of Harrison United / Wesleyan Methodist Cemetery

5.2 The Property


The property landscape is relatively unchanged. From its construction (see Section 4.6), the site has only contained the brick building with parking being added as needed. The portables were added by the Synagogue for their Hebrew school. The exterior of the brick building - as described in Section 5.8 - demonstrates the simple proportions, plain decoration, rectangular plan, orientation to the street, one-storey, brick construction, gabled roof, lancet windows, rose window, main entrance on the façade, projecting vestibule, and central pulpit of traditional Methodist church architecture. The church also demonstrates the brick construction, pointed lancet windows, buttresses, emphasis on verticality, and rib lined ceilings of the Gothic architectural style. It is unclear if the interior has been subject to alterations as its continued religious use changed from a church to a synagogue to its current use as a temple. The overall arrangement of the interior (choir loft, basement, raised first floor to accommodate the basement) appear to be the same. An overview of the existing conditions of the Property and its components is presented below in Table 1.



Table 2: Overview of Existing Conditions



Component	Discussion	Image(s)
South Elevation	<p>The temple, constructed in 1876, is a one-storey, rectangular plan, brick construction with a full basement fronting onto Torbram Road. The building has a medium pitch front gable roof. The south elevation has a projecting vestibule with a shallow pitch front gable roof with vinyl soffits. A small rose window is present above the vestibule. The main flat-headed double door entrance with an arched transom and dichromatic brick voussoir with pointed brick trim coursing is located on the south elevation of the projecting vestibule. Buttresses are present on the corners of the south elevation of both the main building and the projecting vestibule. Lancet windows with cut stone lug sills and beige brick voussoirs with pointed brick trim coursing flank the projecting vestibule. Slightly shorter lancet windows with cut stone lug sills and beige brick voussoirs with pointed stone trim coursing are present on the east and west elevations of the projecting vestibule. Wooden stairs with a small uncovered porch lead to the entrance with an accessibility ramp leading away from the west side of the porch to the west side of the building. A metal cast heritage plaque is located immediately west of the entrance.</p> <p>This is the portion of the Property that is associated with the following descriptions from page 2 of the designation by-law:</p> <ul style="list-style-type: none"> • Originally built in 1876 as a Methodist Church on land donated by John Stubbings; • Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund; • Gothic Revival style; • Simple proportions; 	

Component	Discussion	Image(s)
	<ul style="list-style-type: none"> • Somewhat severe planes; • Symmetry; • Eclectic detailing; • Single storey; • Red brick accented with beige brick; • Buttresses; • Corner keying; • Corbelling; • Pointed brick trim coursing in voussoirs; and, • Stained glass rose window. 	
East and West Elevations	<p>The east elevation has four bays each containing a lancet window with beige brick voussoirs, pointed stone trim coursing, and cut stone lug sills. The lancet windows on each end of the elevation have a symbol in the arch of the window on the exterior of the protective glazing. Each bay is separated by beige brick buttresses. A buff brick dog tooth pattern cornice is present along the length of the east elevation. The central two bays have rectangular sliding windows on the basement level. The rubble stone foundation is visible on this side of the building. There is a flat-headed single door entrance fit into a segmental opening with a beige brick voussoir offset to the north side.</p> <p>The west elevation similarly has four bays containing lancet windows with beige brick voussoirs, pointed stone trim coursing, and cut stone lug sills. Each bay is separated by beige brick buttresses. A buff brick dog tooth pattern cornice is present along the length of the west elevation. Part of the southernmost lancet window is covered with a sign. The lancet windows on each end of the elevation have a symbol in the arch of the window on the exterior of the protective</p>	 <p>East Elevation</p> 

Component	Discussion	Image(s)
	<p>glazing. The rubble stone foundation is also visible from this elevation.</p> <p>This is the portion of the Property that is associated with the following descriptions from page 2 of the designation by-law:</p> <ul style="list-style-type: none"> • Originally built in 1876 as a Methodist Church on land donated by John Stubbings; • Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund; • Gothic Revival style; • Simple proportions; • Somewhat severe planes; • Symmetry; • Eclectic detailing; • Four bay; • Single storey; • Full basement; • Stone foundation; • Red brick accented with beige brick; • Buttresses; • Corner keying; and, • Pointed brick trim coursing in voussoirs. 	West Elevation

Component	Discussion	Image(s)
North Elevation	<p>The north elevation is largely plain. It contains the arch of a former lancet window (mostly bricked up in 1947 – See Section 5.6) that is currently obscured by a sign. There is a flat-headed modern window and a solid transom fit into a segmental opening with a beige brick voussoir and a concrete lug sill offset to the west side. Some beige brick quoins are visible near the roofline. The rubble stone foundation is also visible from this elevation.</p> <p>This is the portion of the Property that is associated with the following descriptions from page 2 of the designation by-law:</p> <ul style="list-style-type: none"> • Originally built in 1876 as a Methodist Church on land donated by John Stubbings; • Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund; • Simple proportions; • Eclectic detailing; • Single storey; • Stone foundation; • Red brick accented with beige brick; and, • Corner keying. 	

Component	Discussion	Image(s)
Interior	<p>The interior of the temple contains four main rooms: vestibule, foyer, sanctuary, and basement. The northern end of the sanctuary has a raised platform with central stairs for the altar. Elongated rib vaults supported by brackets are present. Wood panelling is just visible along the bottom half of the perimeter of the room. The southern end of the sanctuary has a balcony with decorative wood railings. Elongated rib vaults supported by brackets are also present on this side of the room. The rose window is visible above the balcony. Just below and supporting the balcony are wood brackets attached to the vertical wood panel wall separating the sanctuary and the foyer. Two door openings are located in the wood panel wall. The wood panelling continues along the bottom half of the east and west walls. Two small sets of stairs lead through the door openings up to the raised floor of the sanctuary. The room is otherwise unadorned and plain and simple in design.</p> <p>The foyer has a ceiling that slopes from the vestibule side of the building to the sanctuary. Wood panelling is present along the bottom half of the perimeter of the room. Half columns are located on either side of the central wood coat rack on the south wall connecting to the vestibule. The staircase to the balcony of the sanctuary is located on the east wall of the foyer. The room is otherwise unadorned and plain and simple in design.</p> <p>The vestibule is a plain white room. On the south wall is the double door main entrance with arched transom. The east and west walls have small lancet windows. The north wall, connecting to the foyer, has two flat-headed doors. The</p>	 <p>View north of sanctuary</p>  <p>View south of sanctuary</p>

Component	Discussion	Image(s)
	<p>basement is similarly plain and simple with white walls and no adornment.</p> <p>It is important to note that the interior has been altered over the years and the basement is an addition from the 1947 renovations (Section 5.6).</p> <p>This is the portion of the Property that is associated with the following descriptions from page 2 of the designation by-law:</p> <ul style="list-style-type: none"> • Gothic Revival style; • Unadorned; • Good sight lines; and, • Good acoustics. 	 <p>View west of foyer</p>  <p>View west of the interior of the vestibule</p>

6.0 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

Heritage Designation By-Law 180-84 describes the cultural heritage value or interest of the Property as follows:

The Har Tikvah Synagogue was originally built in 1876 as a Methodist Church on land donated by John Stubbings. Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund for the church.

The building is representative of the Gothic Revival style which flourished during the mid Victorian era, particularly in ecclesiastic architecture.

The characteristic simple proportions, somewhat severe planes, symmetry of plan and elevation, eclectic detailing throughout truly reflect the vernacular tradition of the region.

The four bay single storey structure, with full basement, on a stone foundation is of red brick accented with beige brick in the buttresses, corner keying, corbelling at the rooflines, and particularly at the window openings. Here the lancet arches are edged in beige brick with distinctive pointed brick trim coursing; elsewhere alternating brick colours were used for picturesque effect complimenting a large stained glass rose window above the main entry. The austere unadorned nature of the interior spaces – sanctuary, choir gallery, pulpit platform and vestibule remain consistent with the primary functional considerations of good sight lines and acoustics, valid to this day.

See Appendix C for the full by-law.

7.0 IDENTIFICATION OF HERITAGE ATTRIBUTES

As previously noted, the Property is designated under Section 29 Part IV of the OHA and a description of the significance of the Property has been prepared as part of By-Law 180-84, which describes the Property as follows:

The Har Tikvah Synagogue was originally built in 1876 as a Methodist Church on land donated by John Stubbings. Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund for the church.

The building is representative of the Gothic Revival style which flourished during the mid Victorian era, particularly in ecclesiastic architecture.

The characteristic simple proportions, somewhat severe planes, symmetry of plan and elevation, eclectic detailing throughout truly reflect the vernacular tradition of the region.

The four bay single storey structure, with full basement, on a stone foundation is of red brick accented with beige brick in the buttresses, corner keying, corbelling at the rooflines, and particularly at the window openings. Here the lancet arches are edged in beige brick with distinctive pointed brick trim coursing; elsewhere alternating brick colours were used for picturesque effect complimenting a large stained glass rose window above the main entry. The austere unadorned nature of the interior spaces – sanctuary, choir gallery, pulpit platform and vestibule remain consistent with the primary functional considerations of good sight lines and acoustics, valid to this day.

Although the Property is understood to have cultural heritage value or interest, LHC undertook an evaluation of the cultural heritage value or interest of 9893 Torbram Road – based on the by-law and supplemented by research and analysis presented in Section 5.0 and 6.0 of this HIA – in order to describe the heritage attributes of the Property (Table 2).

Table 3: LHC's Evaluation against *O. Reg. 9/06*

Criteria for Determining Cultural Heritage Value or Interest	Assessment (Yes/No)	Rationale
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	Y	The Property has design or physical value because it is a representative example of a vernacular Methodist church with Gothic influences. Based on historical accounts (Section 5.0), the building was constructed in 1875 indicating that this is not an early example of a Methodist church with Gothic influences.

Criteria for Determining Cultural Heritage Value or Interest	Assessment (Yes/No)	Rationale
		<p>As described in Section 6.2, the building demonstrates typical features of vernacular Methodist Church architecture with Gothic influences.</p> <p>The Property does not have design or physical value as a rare, unique, or early example of a style, type, expression, material, or construction method.</p>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N	<p>There is no evidence to suggest that the Property was constructed with a high degree of craftsmanship or artistic merit. It is largely a plain and simple building with some decorative elements and dichromatic brick accents. The pattern of bricks reinforces the simple construction. The building appears to be consistent with standard buildings from the time.</p>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.	N	<p>The Property does not demonstrate a high degree of technical or scientific achievement. There is no evidence to suggest that the building was constructed with a higher degree of technical or scientific achievement than a standard building at the time.</p>
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	Y	<p>The Property has historical or associative value because it has direct associations with a theme, person, and organization that are significant to the community. As discussed in Sections 5.6, 5.7, and 5.9, the temple is associated with the development of the City of Brampton and its religious history, various religious organizations, and the personage of Emmanuel Harrison Senior. Emmanuel Harrison Senior was one of the first settlers to the area and one of the founders of Harrison church. His house served as the first meeting place for the area's methodist congregation until the</p>

Criteria for Determining Cultural Heritage Value or Interest	Assessment (Yes/No)	Rationale
		<p>congregation was large enough to construct a church. The Methodist church later amalgamated with other churches to become the United Church.</p> <p>Originally constructed as a Methodist Church, the Property has served as a place of worship throughout its history. It is associated with the Methodist and United Churches, with the Har Tikvah Synagogue, and more recently with Jagannath Mandir.</p>
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	N	The Property does not have historical or associative value because it yields or has the potential to yield information that contributes to an understanding of a community or culture. There is no evidence to suggest that the Property meets this criterion.
1. The property has historical or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	Y	The Property has historical or associative value because it demonstrates or reflects the work or ideas of a builder who is significant to the community. As outlined in Sections 5.6 and 5.9.4, Harrison church was constructed by William McCulla and James Voakes. William McCulla was a mason, politician, and postmaster who is attributed with having a significant influence on the community.
2. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	N	The Property does not have contextual value because it is not important in supporting the character of the area. As outlined in Section 6.0, the area is characterised by commercial properties that are one to two-storeys in height, residential properties that are one to two-storeys in height, and some one-storey industrial properties. Building materials primarily

Criteria for Determining Cultural Heritage Value or Interest	Assessment (Yes/No)	Rationale
		<p>consist of brick with some stone and some more modern materials.</p> <p>The building is one of few places of worship in the area. Its brick construction is consistent with the character of the area.</p>
3. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	Y	<p>The Property has contextual value because it is functionally and historically linked to its surroundings. As noted in Section 5.6, the cemetery across the street was the site of the congregation's first church and was associated with the congregation throughout its history. Many of the founding members of the Methodist congregation are buried in the cemetery.</p> <p>There is no evidence to suggest that the Property is physically or visually linked to its surroundings.</p>
4. The property has contextual value because it is a landmark.	Y	<p>The Property is considered to be a landmark. A landmark is defined as:</p> <p style="padding-left: 40px;">“a recognizable natural or human-made feature used for a point of reference that helps orienting in a familiar or unfamiliar environment; it may mark an event or development; it may be conspicuous.”¹⁰⁹</p> <p>The building has been a place of worship and a community gathering place throughout its history. It is well known within the community, located close to the road and easily recognizable within its surrounding contemporary context.</p>

¹⁰⁹ Ministry of Tourism, Culture & Sport (MTCS), Standards & Guidelines for Conservation of Provincial Heritage properties, Heritage Identification & Evaluation Process. Sept 1, 2014.

7.1 Heritage Attributes

Heritage attributes that illustrate the cultural heritage value of 9893 Torbram Road include:

- The building itself, including its:
 - Scale, massing and form (*O. Reg. 9/06*, criteria 1 and 4);
 - Alignment of building features and their symmetrical arrangement (*O. Reg. 9/06*, criteria 1 and 4);
 - Orientation to the street (*O. Reg. 9/06*, criteria 1, 4, and 8);
 - Emphasis on verticality (*O. Reg. 9/06*, criteria 1 and 4);
 - Rectangular plan (*O. Reg. 9/06*, criteria 1 and 4);
 - Rubble stone foundation (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Red brick construction (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Buff brick string course immediately above foundation (*O. Reg. 9/06*, criteria 1, 4, and 6);
 - Front-facing gable roof (*O. Reg. 9/06*, criteria 1 and 4);
 - Buff brick dog tooth pattern cornice below the roofline on the south, east, and west elevations (*O. Reg. 9/06*, criteria 1, 4, and 6);
 - Buff brick box ends and vertical bands on the south elevation (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Projecting vestibule (*O. Reg. 9/06*, criteria 1 and 4);
 - Buff brick buttresses (*O. Reg. 9/06*, criteria 1, 4, and 6);
 - Rose window with a dichromatic brick and pointed stone trim coursing surround on the south elevation (*O. Reg. 9/06*, criteria 1 and 4);
 - Pointed lancet window openings with buff brick voussoirs, pointed stone trim coursing, and cut stone lug sills with (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Arch of a filled-in lancet window on the north elevation (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Buff brick projecting accents below lug sills on the south, east, and west elevations (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Main flat-headed double door entrance with an arched transom, dichromatic brick voussoir, and pointed brick trim coursing that is located on the south elevation of the projecting vestibule (*O. Reg. 9/06*, criteria 1, 4 and 6); and,
 - Carved and slightly projecting date stone above the rose window that reads “Harrison Church 1875” (*O. Reg. 9/06*, criteria 1, 4, 6, and 8).

The existing designation by-law describes interior heritage attributes (see Section 6.0). Based on the evolving use of the temple, we recommend removing reference to the interior features in an updated version of the designation by-law.

8.0 DESCRIPTION OF PROPOSED ALTERATION

This scoped HIA is being prepared as part of a Consent to Sever and Minor Variance application for 9893 Torbram Road. The proposal is to remove 0.09 ha from the vacant parcel, add it to the temple parcel, and expand the parking lot for the temple. Ten parking spaces will be added to the temple parcel. One of these parking spaces - to be located at the northwest corner of the building – will be an accessible parking space.

The new temple parcel will be an L-shaped lot of 0.15 ha in size. The remaining portion of the vacant parcel will be 0.45 ha in size (Figure 8). No alterations to the building are proposed.

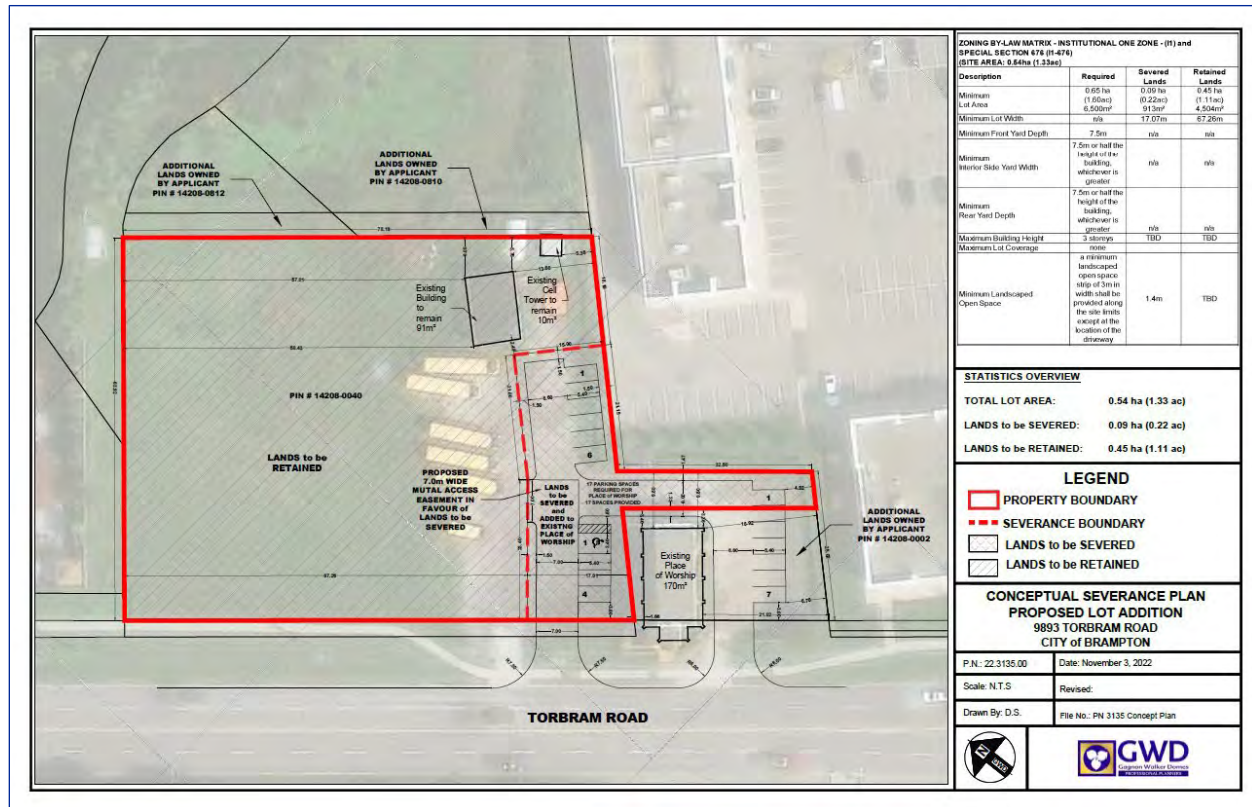


Figure 8: Severance proposal concept

9.0 IMPACT OF DEVELOPMENT ON HERITAGE ATTRIBUTES

Based on the heritage attributes identified in Section 7.0, a review of the proposal for potential adverse impacts was undertaken. As described in Section 2.0, the impact assessment was guided by the MCM's *Information Sheet #5: Heritage Impact Assessments and Conservation Plans*¹¹⁰ and the City's HIA guidelines which outline seven potential negative impacts to be considered with any proposed development or property alteration. The impacts include, but are not limited to:

- 1) **Destruction** of any part of any significant heritage attribute or features;
- 2) **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
- 3) **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
- 4) **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
- 5) **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
- 6) **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- 7) **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.

The temple building will not be destroyed or altered by the proposed severance and minor variance. There will be no direct negative impact on this property's heritage attributes. The proposed severance and minor variance will not create shadows. It will not isolate a heritage attribute from its surrounding environment, context, or a significant relationship. It will not cause direct or indirect obstruction of a significant view or vista within or from the built heritage resource. It will not result in a change in land use, nor will it result in a land disturbance. There will be no indirect negative impacts to the temple.

The impact assessment process involved consideration of the existing policy and consideration of the proposed works' ability to meet this policy. The proposal was found to be in compliance with heritage policy at both the provincial and local levels.

¹¹⁰ "Info Sheet #5: Heritage Impact Assessments and Conservation Plans," in *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005*, prepared by the Ministry of Culture, (Queen's Printer for Ontario, 2006), 1-4.

10.0 CONCLUSION AND RECOMMENDATIONS

LHC was retained on 22 December 2022 by Sradhananda Mishra to undertake a Scoped Heritage Impact Assessment for the property located at 9893 Torbram Road in the City of Brampton, Ontario. The Property is designated under Section 29 Part IV of the *OHA* through By-law 180-84. The designation by-law for the Property includes a brief description of the Property and its cultural heritage value or interest; however, it does not include a list of heritage attributes.

This HIA was prepared as part of the Consent to Sever and Minor Variance application for 9893 Torbram Road. The owner is proposing to sever 0.09 hectares (ha) of land from the vacant parcel and add it to the temple parcel to provide additional parking. No alterations are proposed for the temple building. This purpose of this HIA was to describe the heritage attributes of the Property; review the proposed alterations; identify adverse impacts on those heritage attributes; and, identify alternatives and mitigation measures to lessen or avoid identified impacts. This HIA was undertaken in accordance with the recommended methodology outlined within the *Ontario Heritage Toolkit* and the *Scoped Heritage Impact Assessment Terms of Reference* for the project, provided by City of Brampton Heritage Staff.

Based on the review of the designation by-law, the Property's history and morphology, and the 27 January 2023 site visit, draft heritage attributes were prepared by LHC.

In our Professional Opinion, this scoped HIA finds that the proposed severance and addition of parking will not result in any adverse impacts on the cultural heritage value and heritage attributes of the Property. As a result, alternatives and mitigation measures were not explored.

It is recommended that the owner provide a legal survey to City of Brampton heritage staff to allow staff the opportunity to update the temple's designation by-law with the new legal description. It is also recommended that any update to the designation by-law remove reference to interior features.

SIGNATURES



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Principal, Manager Heritage Consulting Services



Lisa Coles, MPI
Intermediate Heritage Planner

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APPENDIX A: PROJECT PERSONNEL

Lisa Coles, MPI – Intermediate Heritage Planner

Lisa Coles is an Intermediate Heritage Planner with LHC. She holds a Master of Arts in Planning from the University of Waterloo, a Graduate Certificate in Museum Management & Curatorship from Fleming College, and a B.A. (Hons) in History and French from the University of Windsor.

Lisa has worked in the heritage industry for over five years, starting out as a historic interpreter at a museum in Kingsville in 2016. Since then, she has acquired additional experience through various positions in museums and public sector heritage planning. Lisa is an intern member of the Canadian Association of Heritage Professionals (CAHP) and a candidate member with the Ontario Professional Planning Institute (OPPI).

At LHC, Lisa has worked on numerous projects dealing with all aspects of Ontario's cultural heritage. She has been lead author or co-author of over fifteen cultural heritage technical reports for development proposals including Cultural Heritage Evaluation Reports, Heritage Impact Assessments, Environmental Assessments, and Interpretation and Commemoration Plans. Lisa has also provided heritage planning support to municipalities including work on heritage permit applications and work with municipal heritage committees. Her work has involved a wide range of cultural heritage resources including institutional, industrial, and residential sites in urban, suburban, and rural settings.

Christienne Uchiyama, MA, CAHP – Principal, LHC

Christienne Uchiyama MA CAHP is Principal and Manager - Heritage Consulting Services with LHC. She is a Heritage Consultant and Professional Archaeologist (P376) with two decades of experience working on heritage aspects of planning and development projects. She is currently Past President of the Board of Directors of the Canadian Association of Heritage Professionals and received her MA in Heritage Conservation from Carleton University School of Canadian Studies. Her thesis examined the identification and assessment of impacts on cultural heritage resources in the context of Environmental Assessment.

Chris has provided archaeological and heritage conservation advice, support and expertise as a member of numerous multi-disciplinary project teams for projects across Ontario, including such major projects as: all phases of archaeological assessment at the Canadian War Museum site at LeBreton Flats, Ottawa; renewable energy projects; natural gas pipeline routes; railway lines; hydro powerline corridors; and highway/road realignments. She has completed more than 300 cultural heritage technical reports for development proposals at all levels of government, including cultural heritage evaluation reports, heritage impact assessments, and archaeological licence reports and has a great deal of experience undertaking peer reviews. Her specialties include the development of Cultural Heritage Evaluation Reports, under both O. Reg. 9/06 and 10/06, and Heritage Impact Assessments.

Benjamin Holthof, M.Pl., M.M.A., MCIP, RPP, CAHP – Senior Heritage Planner

Ben Holthof is a heritage consultant, planner and marine archaeologist with experience working in heritage consulting, archaeology and not-for-profit museum sectors. He holds a Master of Urban and Regional Planning degree from Queens University; a Master of Maritime

Archaeology degree from Flinders University of South Australia; a Bachelor of Arts degree in Archaeology from Wilfrid Laurier University; and a certificate in Museum Management and Curatorship from Fleming College.

Ben has consulting experience in heritage planning, cultural heritage screening, evaluation, heritage impact assessment, cultural strategic planning, cultural heritage policy review, historic research and interpretive planning. He has been a project manager for heritage consulting projects including archaeological management plans and heritage conservation district studies. Ben has also provided heritage planning support to municipalities including work on heritage permit applications, work with municipal heritage committees, along with review and advice on municipal cultural heritage policy and process. His work has involved a wide range of cultural heritage resources including on cultural landscapes, institutional, industrial, commercial, and residential sites as well as infrastructure such as wharves, bridges and dams. Ben was previously a Cultural Heritage Specialist with Golder Associates Ltd. from 2014-2020.

Ben is experienced in museum and archive collections management, policy development, exhibit development and public interpretation. He has written museum policy, strategic plans, interpretive plans and disaster management plans. He has been curator at the Marine Museum of the Great Lakes at Kingston, the Billy Bishop Home and Museum, and the Owen Sound Marine and Rail Museum. These sites are in historic buildings and he is knowledgeable with extensive collections that include large artifacts including, ships, boats, railway cars, and large artifacts in unique conditions with specialized conservation concerns.

Ben is also a maritime archaeologist having worked on terrestrial and underwater sites in Ontario and Australia. He has an Applied Research archaeology license from the Government of Ontario (R1062). He is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Jordan Greene, BA – Mapping Technician

Jordan Greene, B.A., joined LHC as a mapping technician following the completion of her undergraduate degree. In addition to completing her B.A. in Geography at Queen's University, Jordan also completed certificates in Geographic Information Science and Urban Planning Studies. During her work with LHC Jordan has been able to transition her academic training into professional experience and has deepened her understanding of the applications of GIS in the fields of heritage planning and archaeology. Jordan has contributed to over 100 technical studies and has completed mapping for projects including, but not limited to, cultural heritage assessments and evaluations, archaeological assessments, environmental assessments, hearings, and conservation studies. In addition to GIS work she has completed for studies Jordan has begun developing interactive maps and online tools that contribute to LHC's internal data management. In 2021 Jordan began acting as the health and safety representative for LHC.

APPENDIX B: GLOSSARY

Definitions are based on those provided in the *Provincial Policy Statement (PPS)*, *Ontario Heritage Act (OHA)*, the *Region of Peel Official Plan (ROP)*, and the *City of Brampton Official Plan (OP)*. In some instances, documents have different definitions for the same term, all definitions have been included and should be considered.

Adjacent Lands means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (*PPS*).

Adjacent Lands means lands that are:

- a) contiguous to a specific natural heritage feature or area where it is likely that development or site alteration would have a negative impact on the feature or area. The extent of the adjacent lands may be recommended by the Province or based on municipal approaches which achieve the same objectives; and
- b) contiguous to a protected heritage property or as otherwise defined in a local municipal official plan (*ROP*).

Adjacent Lands means lands that are contiguous to a specific natural heritage feature or area where it is likely that development or site alteration would have a negative impact on the feature, or area. The extent of the adjacent lands to specific natural heritage features or areas are provided in Ontario Ministry of Natural Resources' Natural Heritage Reference Manual (*OP*).

Alter means to change in any manner and includes to restore, renovate, repair, or disturb and "alteration" has a corresponding meaning ("transformer", "transformation") (*OHA*).

Archaeological Resources include artifacts, archaeological sites and marine archaeological sites. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the *Ontario Heritage Act (PPS)*.

Archaeological Resources includes artifacts, archaeological sites and marine archaeological sites, as defined under the Ontario Heritage Act. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the Ontario Heritage Act. Archaeological resources may include the remains of a building, structure, activity or cultural feature or object which, because of the passage of time, is on or below the surface of land or water and is of significance to the understanding of the history of a people or place (*ROP*).

Area of Archaeological Potential means areas with the likelihood to contain archaeological resources. Criteria to identify archaeological potential are established by the Province. The Ontario Heritage Act requires archaeological potential to be confirmed by a licensed archaeologist (*PPS*).

Area of Archaeological Potential means areas with the likelihood to contain archaeological resources. Criteria to identify archaeological potential are established by the Province. The Ontario Heritage Act requires archaeological potential to be confirmed by a licensed archaeologist (*ROP*).

Built Heritage Resource means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers (*PPS*).

Built Heritage Resource means one or more buildings, structures, monuments, installations, or any manufactured or constructed part of remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on a property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included in local, provincial, federal and/or international registers (*ROP*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*PPS*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*ROP*).

Cultural Heritage Landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms (*PPS*).

Cultural Heritage Resources means built heritage resources, cultural heritage landscapes and archaeological resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people. While some cultural heritage resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation (*ROP*).

Development means the creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the Planning Act, but does not include:

- c) activities that create or maintain infrastructure authorized under an environmental assessment process;
- d) works subject to the Drainage Act; or
- e) for the purposes of policy 2.1.4(a), underground or surface mining of minerals or advanced exploration on mining lands in significant areas of mineral potential in Ecoregion 5E, where advanced exploration has the same meaning as under the Mining Act. Instead, those matters shall be subject to policy 2.1.5(a) (*PPS*).

Development means the creation of a new lot, a change in land use or construction of buildings and structures, requiring approval under the Planning Act but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the Drainage Act (*ROP*).

Development means the subdivision of land, or construction of buildings and structures, requiring approval under the Planning Act but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the Drainage Act (*OP*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., significant views or vistas to or from a protected heritage property) (*PPS*).

Heritage Attributes means in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest; ("attributs patrimoniaux") (*OHA*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., views or vistas to or from a protected heritage property) (*ROP*).

Property means real property and includes all buildings and structures thereon (*OHA*).

Protected Heritage Property means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*PPS*).

Protected Heritage Property means property listed by council resolution on a heritage register or designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*ROP*).

Significant in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act (*PPS*).

Significant in regard to cultural heritage and archaeology, resources that are valued for the important contribution they make to our understanding of the history of a place, an event, or a people (*OP*).

APPENDIX C: DESIGNATION BY-LAW 180-84

John
Ralph A. Everett,
City Clerk



Paul Gault
150 Central Park Drive
Brampton, Ont. L6T 2T9
793-4110

The Corporation Of The City Of Brampton

Office of the City Clerk

June 25th, 1984

Ontario Heritage Foundation
Ministry of Culture & Recreation
Heritage Administration Branch
77 Bloor Street West
Toronto, Ontario
M7A 2R9

RECEIVED

JUN 28 1984

ONTARIO HERITAGE
FOUNDATION

Dear Sir/Madam;

In accordance with Section 29(3) of the Ontario Heritage Act 1980, enclosed for your information is a notice of intention to designate the property described therein to be of historic or architectural value or interest.

The property referred to is the building known formerly in the City as Harrison United Church.

Yours truly,

A large, stylized handwritten signature in black ink, likely belonging to R. A. Everett.

R. A. Everett
Director of Administration
and City Clerk

RAE:kb
Encl.

THE CORPORATION OF THE CITY OF BRAMPTON

PUBLIC NOTICE

TAKE NOTICE that the Council of The Corporation of the City of Brampton proposes to designate, as a property of historical or architectural value or interest, pursuant to section 29 of the Ontario Heritage Act (R.S.O. 1980, c. 337) the property known as the Har Tikvah Synagogue (formerly Harrison United Church) located at 9893 Torbram Road and more particularly described as follows:

ALL AND SINGULAR that certain parcel or tract of land and premises, situate, lying and being in the City of Brampton, in the Regional Municipality of Peel (formerly in the Township of Chinguacousy, in the County of Peel), being part of the West half of Lot 9, Concession 6, East of Hurontario Street, in the said City of Brampton, the boundaries of which said parcel may be more particularly described as follows:

PREMISING that the road allowance between Concessions 5 and 6, East of Hurontario Street, through the said Lot 9, has a governing bearing of North 44 degrees, 13 feet, 30 inches West and relating all bearings quoted herein thereto;

COMMENCING at the northwesterly angle of the West half of the said Lot 9;

THENCE North 39 degrees, 46 minutes, 30 seconds East, 26.83 metres to a standard iron bar planted;

THENCE South 44 degrees, 5 minutes, 20 seconds East, parallel to the southwesterly limit of the said half lot 32.61 metres to a standard iron bar planted;

THENCE South 39 degrees, 46 minutes, 30 seconds West 26.82 metres to a point in the said road allowance between Concessions 5 and 6, East of Hurontario Street;

THENCE North 44 degrees, 5 minutes, 20 seconds West, 32.61 metres along the northeasterly limit of the said road allowance between Concessions 5 and 6, East of Hurontario Street to the point of commencement.

Reasons for the proposed designation

The Har Tikvah Synagogue was originally built in 1876 as a Methodist Church on land donated by John Stubbings. Legacies from Emmanuel Harrison and George Elliott formed the nucleus of the building fund for the church.

The building is representative of the Gothic Revival style which flourished during the mid Victorian era, particularly in ecclesiastic architecture.

The characteristic simple proportions, somewhat severe planes, symmetry of plan and elevation, eclectic detailing throughout truly reflect the vernacular tradition of the region.

The four bay single storey structure, with full basement, on a stone foundation is of red brick accented with beige brick in the buttresses, corner keying, corbelling at the rooflines, and particularly at window openings. Here the lancet arches are edged in beige brick with distinctive pointed brick trim coursing; elsewhere alternating brick colours were used for picturesque effect complimenting a large stained glass rose window above the main entry. The austere unadorned nature of the interior spaces - sanctuary, choir gallery, pulpit platform and vestibule remain consistent with the primary functional considerations of good sight lines and accoustics, valid to this day.

.../3

- 3 -

NOTICE OF OBJECTION TO THE PROPOSED DESIGNATION
MAY BE SERVED ON THE CLERK WITHIN 30 DAYS OF
THE 3rd DAY OF August, 1984.

This notice is given in accordance with section 29(3) of the
Ontario Heritage Act.

DATED at the City of Brampton this 4th day of July, 1984.

R. A. Everett
City Clerk
The Corporation of the
City of Brampton
150 Central Park Drive
Brampton, Ontario
L6T 2T9

APPLICATION # B-2023-0004
Ward # 10

NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made by **IRENE RAMSAMMY AND RON RAMSAMMY**

Purpose and Effect

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 3,873.77 square metres (0.957 acres). The proposed severed lot has a frontage of approximately 21.42m (70.26 feet); a depth of approximately 40.70 metres (133.53 feet) and an area of approximately 1,334.90 square metres (0.329 acres). It is proposed that 2 lots be established from the existing lot for future residential development of a single detached dwelling on the proposed severed lot.

Location of Land:

Municipal Address: 11467 Goreway Drive

Former Township: Toronto Gore

Legal Description: Block 4, Plan M-312

Meeting

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

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LAST DAY FOR RECEIVING COMMENTS: MARCH 23, 2023

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NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	YES	File Number: A-2023-0047 and A-2023-0048

Decision and Appeal

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Local Planning Appeal Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Local Planning Appeal Tribunal Act*. The appeal form is available from the Environment and Land Tribunals Ontario website at www.elfto.gov.on.ca

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS **9th Day of March, 2023**

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
Jeanie.myers@brampton.ca

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

IDM (2005) Consultants Inc.

B-2023-0004; A-2023-0047; A-2023-0048

To: Jeanie Myers

Legislative Coordinator
Secretary-Treasurer
Committee of Adjustment
City of Brampton

February 10, 2023

Subject: Minor Variance Application
Address: 11467 Goreway Drive – City of Brampton - ON

Dear Ms. Myers,

Our client owns a property at 11467 Goreway Drive, Brampton – ON, for the last 26 years, The lot size is 0.957 acres (3873.77 Sq.m).

Our firm IDM (2005) Consultants has been retained to apply to sever the lot into two lots – one retained lot and the other one as a severed lot (please see the attached sketch).

The retained and the severed lot will not meet the current zoning requirements. Therefore, we are applying for minor variances for the said lots to bring them into compliance.

The house on the retained lot is on septic system. Once the lots are created, the existing septic system will be decommissioned and the house will be connected to a municipal sanitary service line. The newly severed lot will be connected to municipal services as well.

Should you require further information, please contact me.

Yours Sincerely,

Name: Prem Tewari / P.Eng

Signature:



Date: February 10, 2023

IDM(2005)Consultants Inc.
5325 Harvester Rd, Burlington ON, L7L 5K4, Phone (905) 928-2542



The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Consent
(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the PLANNING ACT, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a)

Name of Owner/Applicant

IRENE RAMSAMMY & RON RAMSAMMY

(print given and family names in full)

Address

11467 GOREWAY DRIVE - BRAMPTON

L6P-0M9

Phone #

(647)-283-4700

Fax #

Email

irene.ramsammy1@gmail.com
- (b)

Name of Authorized Agent

IDM(2005)CONSULTANTS INC.

Address

5325 HARVESTER Rd. - BURLINGTON - ON L7L-5K4

Phone #

(905)-928-2542

Fax #

Email

prem_tewari@hotmail.com
2.

The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.

Specify:

CREATE A NEW LOT BY SEVERING AN EXISTING LOT
3.

If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.

UNKNOWN
4.

Description of the subject land ("subject land" means the land to be severed and retained):

a) Name of Street

GOREWAY DRIVE

Number

11467

b) Concession No.

Lot(s)

c) Registered Plan No.

M-312 - BLOCK 4

Lot(s)

d) Reference Plan No.

Lot(s)

e) Assessment Roll No.

211012000211310

Geographic or Former Township
5.

Are there any easements or restrictive covenants affecting the subject land?

Yes

☐

No

☒

Specify:

6. Description of severed land: (in metric units)

a)	Frontage	<u>21.42m</u>	Depth	<u>40.70m</u>	Area	<u>1334.90 Sq.m</u>
b)	Existing Use	<u>RESIDENTIAL</u>	Proposed Use	<u>SINGLE FAMILY RESIDENTIAL</u>		
c)	Number and use of buildings and structures (both existing and proposed) on the land to be severed:					
	(existing) <u>NONE</u>					
	(proposed) <u>ONE SINGLE FAMILY DWELLING.</u>					
d)	Access will be by:	Existing	Proposed			
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>			
	Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>			
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>			
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>			
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>			
e)	If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?					
	<hr/>					
f)	Water supply will be by:	Existing	Proposed			
	Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>			
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>			
	Other (specify):	<hr/>				
g)	Sewage disposal will be by:	Existing	Proposed			
	Publicly owned and operated sanitary sewer system	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
	Privy	<input type="checkbox"/>	<input type="checkbox"/>			
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>			
	Other (specify):	<hr/>				

7. Description of retained land: (in metric units)

a)	Frontage	<u>80.14m</u>	Depth	<u>30.14m</u>	Area	<u>2538.87 Sq.m</u>
b)	Existing Use	<u>SINGLE FAMILY RESIDENTIAL</u>	Proposed Use	<u>SINGLE FAMILY RESIDENTIAL</u>		
c)	Number and use of buildings and structures (both existing and proposed) on the land to be retained:					
	(existing) <u>ONE HOUSE AND A SHED</u>					
	(proposed) <u>ONE HOUSE</u>					

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>

Other (specify): _____

g)	Sewage disposal will be by:	Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>

Other (specify): _____

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	<u>RE2 RESIDENTIAL</u>	<u>RE2 RESIDENTIAL</u>
Official Plans		
City of Brampton	<u>RESIDENTIAL</u>	<u>RESIDENTIAL</u>
Region of Peel	<u>URBAN SYSTEM</u>	<u>URBAN SYSTEM</u>

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☐ No ☒

File # _____ Status/Decision _____

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☒

Date of Transfer _____ Land Use _____

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment		
Zoning By-law Amendment		
Minister's Zoning Order		
Minor Variance	A-2023-0048 A-2023-0048	CONCURRENT
Validation of the Title		
Approval of Power and Sale		
Plan of Subdivision		

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*?
Yes ☒ No ☐
13. Is the subject land within an area of land designated under any Provincial Plan?
Yes ☒ No ☐
14. If the answer is yes, does the application conform to the applicable Provincial Plan?
Yes ☒ No ☐
15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the CITY of BURLINGTON
this 07 day of FEBRUARY, 2023


Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:
☐ I have the authority to bind the Corporation

DECLARATION

I, PREM TEWARI / Haytham Elgendy of the CITY of BURLINGTON Oakville
in the County/District/Regional Municipality of HALTON solemnly declare that all the statements contained in this application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Brampton
in the Region of Peel
this 07/16 day of FEBRUARY, 2023

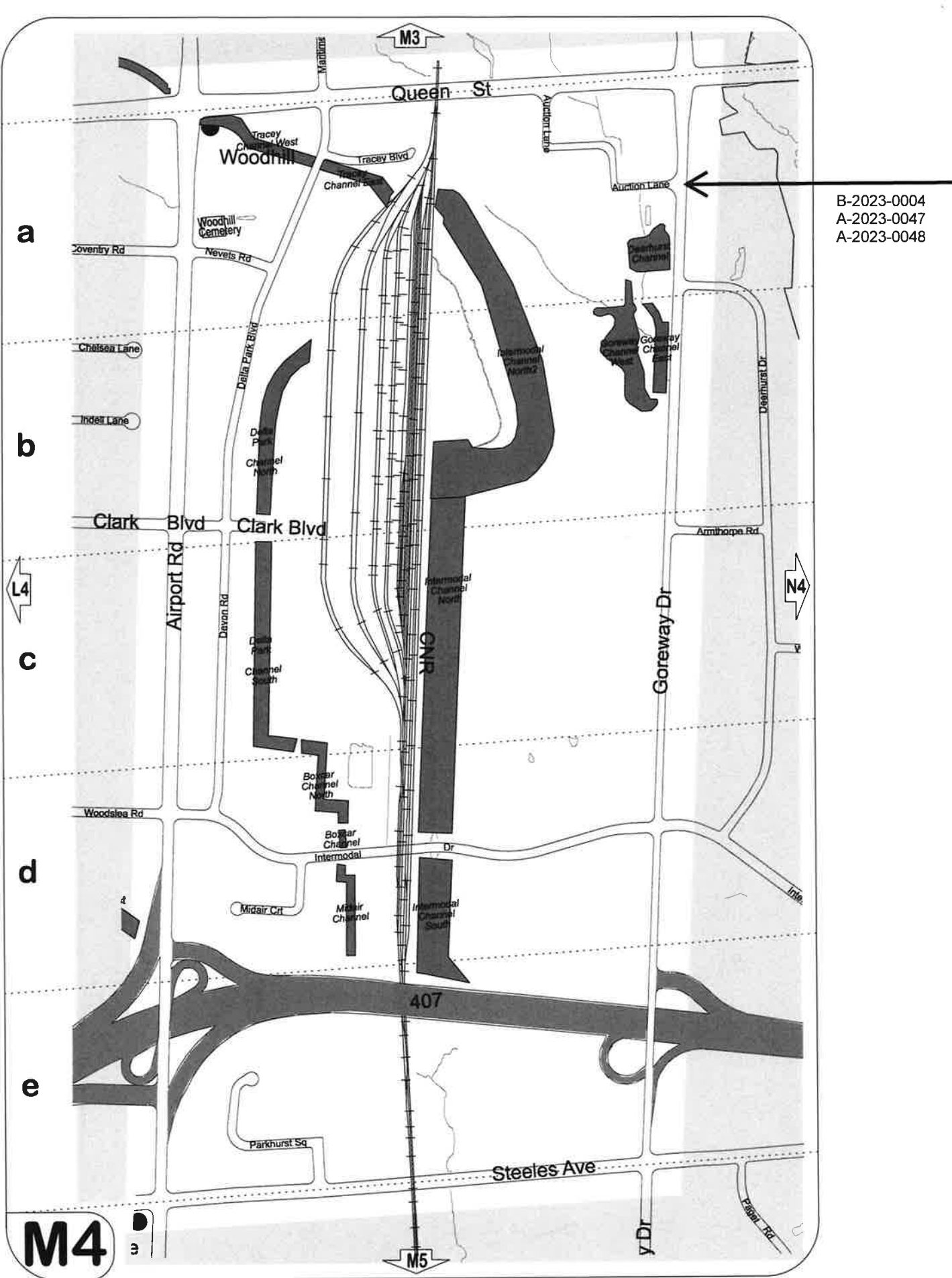

Signature of applicant/solicitor/authorized agent, etc.


Signature of a Commissioner, etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division	
This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.	
<u>L Barbuto</u> Zoning Officer	<u>February 13, 2023</u> Date

DATE RECEIVED Feb. 16, 2023
Date Application Deemed Complete by the Municipality



B-2023-0004
A-2023-0047
A-2023-0048

a

b

c

d

e

M4

M5

APPLICATION # B-2023-0005
Ward # 6

NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made by PRIMONT PROPERTIES INC.

Purpose and Effect

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 22893.78 square metres (5.657 acres); together with a shared access easement. The proposed severed lot has a frontage of approximately 124.51 metres (408.50 feet); a depth of approximately 163.59 metres (536.71 feet) and an area of approximately 17,042.32 square metres (4.21 acres). It is proposed that 2 lots be established from the existing lot for future mixed use development.

Location of Land:

Municipal Address: 10629 Mississauga Road

Former Township: Chinguacousy

Legal Description: Block 1, Plan 43M-1985

Meeting

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

=====

LAST DAY FOR RECEIVING COMMENTS: MARCH 23, 2023

=====

NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	NO	File Number:

Decision and Appeal

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Local Planning Appeal Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Local Planning Appeal Tribunal Act*. The appeal form is available from the Environment and Land Tribunals Ontario website at www.elt.o.gov.on.ca

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

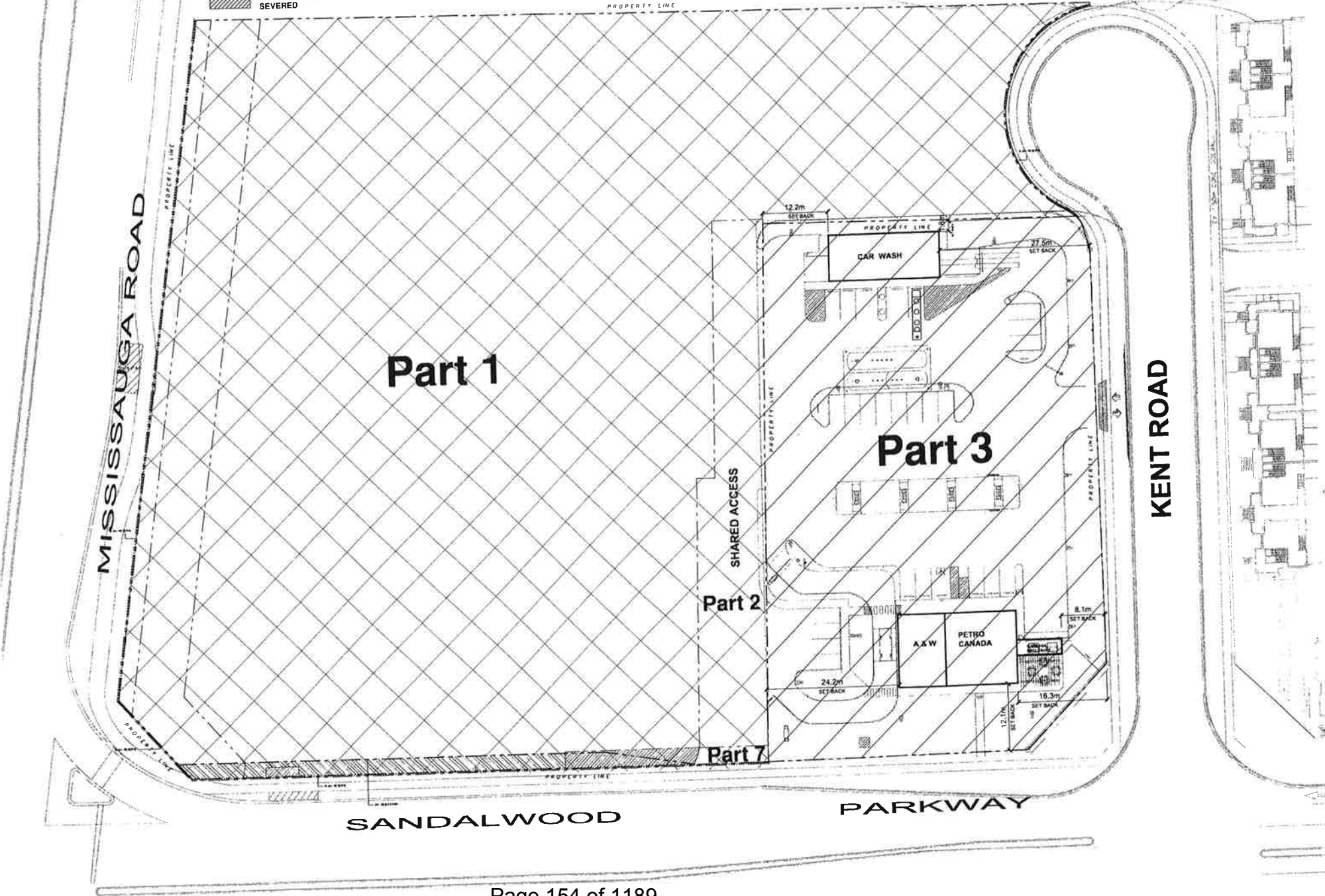
DATED AT THE CITY OF BRAMPTON THIS 9th Day of March, 2023

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
Jeanie.Myers@brampton.ca

Severance & Easement Plan

- LANDS TO BE RETAINED
- LANDS TO BE SEVERED



Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



Monday February 27th, 2023

City of Brampton
City Clerk's Office
2 Wellington Street West
Brampton, ON L6Y 4R2

Attn: Jeanie Myers, Legislative Coordinator, Secretary-Treasurer

RE: COA – Consent Application
10629 Mississauga Road
Primont Properties Inc.

B-2023-0005

Dear Jeanie,

Please accept this letter and enclosed application as Primont Properties Inc. formal consent application to sever the lands located at 10625 Mississauga Road, and establish a surface access easement.

The intent of this application is outlined in the attached Severance & Easement Plan where Part 1 will be retained, and will remain within Primont Properties Inc. ownership, and the area identified as Part 3 will form the severed portion, with the ownership unknown at this time, (as indicated on the application form)

The land identified as Parts 2 & 7 on the Plan will form a shared driveway between Parts 1 & 3 with a surface easement being established in favour of Part 3, refer to the attached Severance & Easement Plan.

Should you have any additional questions or concerns regarding this consent application please contact the undersigned.

Thank you,

A handwritten signature in blue ink, appearing to read "Carmela". The signature is fluid and cursive, with a long horizontal stroke at the end.

Carmela Liggio,
Director – Land Development
Primont Homes

9130 Leslie Street, Suite 301
Richmond Hill, ON L4B 0B9
T. 905-770-7002

The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Consent
(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) Name of Owner/Applicant Primont Properties Inc.
(print given and family names in full)
Address 9130 Leslie Street, Suite 301, Richmond Hill, ON L4B 0B9
Phone # 905-770-7002 ext 867 Fax #
Email Carmela@primont.com

(b) Name of Authorized Agent Primont Properties Inc.
Address 9130 Leslie Street, Suite 301, Richmond Hill, ON L4B 0B9
Phone # 905-770-7002 Fax #
Email Carmela@primont.com

2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.
Specify: Creation of a new lot and to establish surface access easement

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.
Unknown at this time.

4. Description of the subject land ("subject land" means the land to be severed and retained):
a) Name of Street Mississauga Road Number 10629
b) Concession No. 4 Lot(s) Part of Lot 14
c) Registered Plan No. Block 1, 43M-1985 Lot(s)
d) Reference Plan No. Lot(s)
e) Assessment Roll No. 10-06-0-002-13417-0000 Geographic or Former Township City of Brampton, Regional Municipality of Peel

5. Are there any easements or restrictive covenants affecting the subject land?
Yes ☒ No ☐
Specify: INST. No. PR2711856 & PR2711857

6. Description of severed land: (in metric units)

a)

Frontage

124.51 m

Depth

163.59

Area

17,042.32 m2

b)

Existing Use

Convenience Retail & Residential

Proposed Use

Residential Area (Medium Density & High Density)

c)

Number and use of buildings and structures (both existing and proposed) on the land to be severed:

(existing)

None vacant

(proposed)

Condominium Mixed-Use Development under application SP2022-0225 (Tower A1-30 storey, Tower A2: 27 storey, Tower B: 12 storey) grade related non-residential & 3 Stacked Townhouse blocks

d)

Access will be by:

Existing

Proposed

Provincial Highway

☐

☐

Municipal Road - Maintained all year

☒

☐

Other Public Road

☐

☐

Regional Road

☒

☐

Seasonal Road

☐

☐

Private Right of Way

☐

☐

e)

If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

f)

Water supply will be by:

Existing

Proposed

Publicly owned and operated water system

☒

☐

Lake or other body of water

☐

☐

Privately owned and operated individual or communal well

☐

☐

Other (specify):

g)

Sewage disposal will be by:

Existing

Proposed

Publicly owned and operated sanitary sewer system

☒

☐

Privy

☐

☐

Privately owned and operated individual or communal septic system

☐

☐

Other (specify):

7. Description of retained land: (in metric units)

a)

Frontage

46.88 m

Depth

98.05 m

Area

5,851.46 m2

b)

Existing Use

Vacant

Proposed Use

Mixed use development

c)

Number and use of buildings and structures (both existing and proposed) on the land to be retained:

(existing)

vacant land

(proposed)

Proposed mixed use development. Per application SP2022-0225 the proposed development consists of Tower A1-30 storey, Tower A2: 27 storey, Tower B: 12 storey) grade related non-residential

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):		

g)	Sewage disposal will be by:	Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):		

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	<u>Commercial 3 Section 2294 (C3-2294)</u>	<u>Commercial 3 Section 2294 (C3-2294)</u>
Official Plans City of Brampton	<u>Residential</u>	<u>Residential</u>
Region of Peel	<u>Settlement Areas Outside the Greenbelt</u>	<u>Settlement Areas Outside the Greenbelt</u>

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☒ No ☐

File # OZS-2021-0002 Status/Decision ongoing

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☒

Date of Transfer _____ Land Use _____

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment	OZS-2021-0002	ongoing
Zoning By-law Amendment	OZS-2021-0002	ongoing
Minister's Zoning Order		
Minor Variance		
Validation of the Title		
Approval of Power and Sale		
Plan of Subdivision		

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*?

Yes ☒ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan?

Yes ☒ No ☐

14. If the answer is yes, does the application conform to the applicable Provincial Plan?

Yes ☒ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the City of Brampton
this 28 day of Feb., 2023


Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:

☒ I have the authority to bind the Corporation

DECLARATION

I, Carmela Ligero of the City of Vaughan
in the County/District/Regional Municipality of York solemnly declare that all the statements contained in this application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Brampton
in the Region of Peel
this 28th day of Feb., 2023


Signature of applicant/solicitor/authorized agent, etc.


Signature of a Commissioner, etc.

Submit by Email
Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 6, 2024.

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

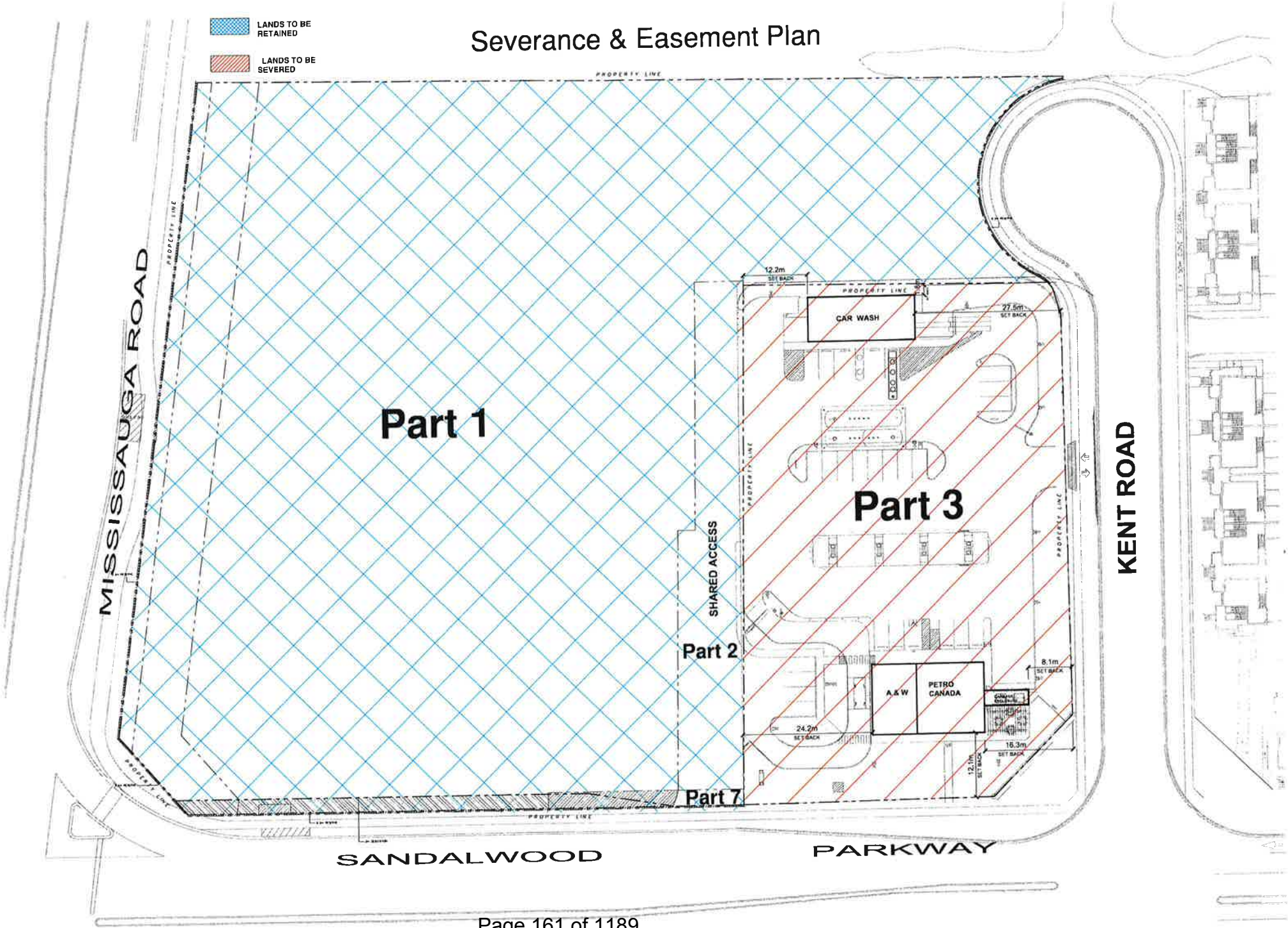
Zoning Officer

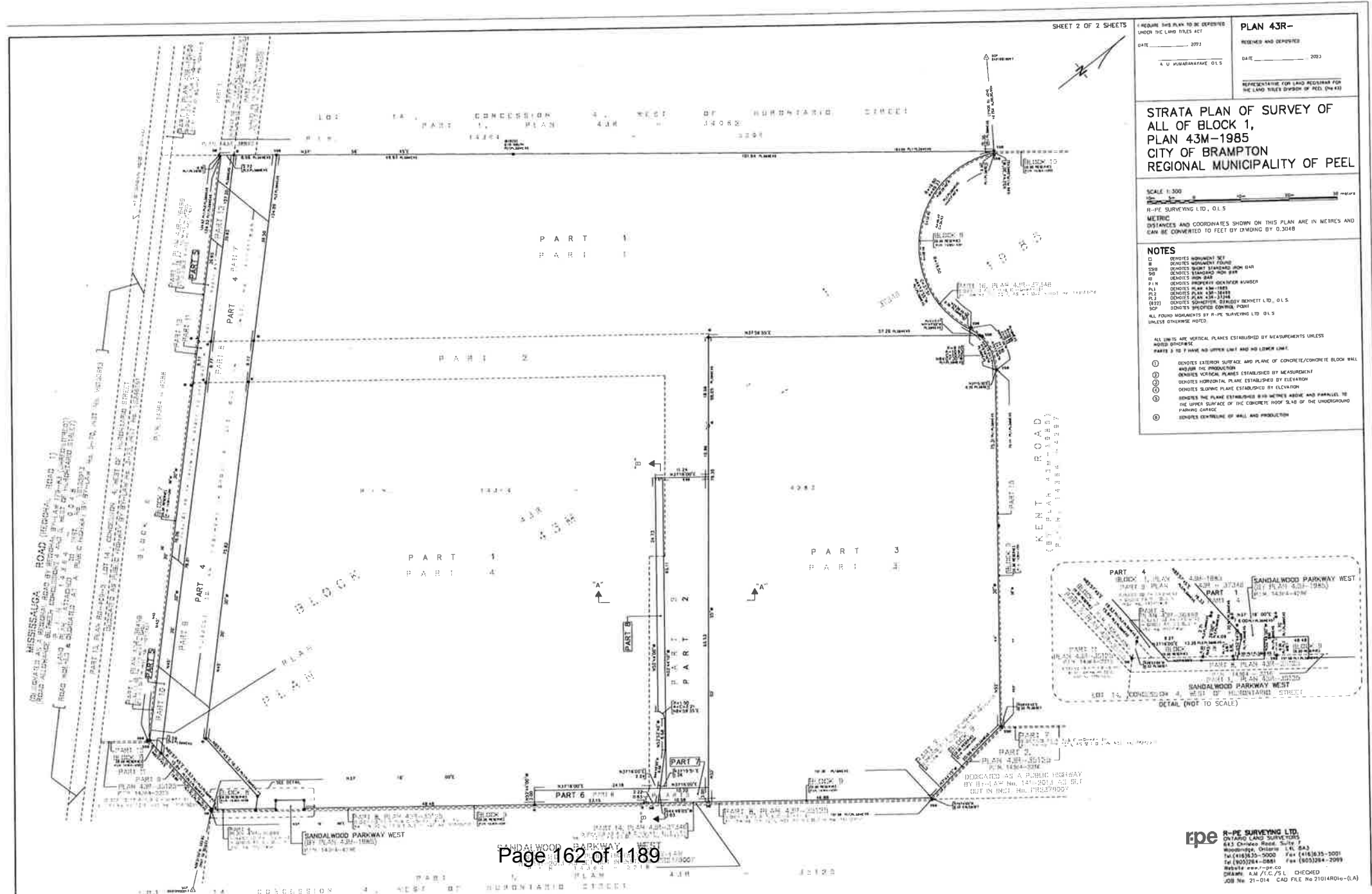
Date

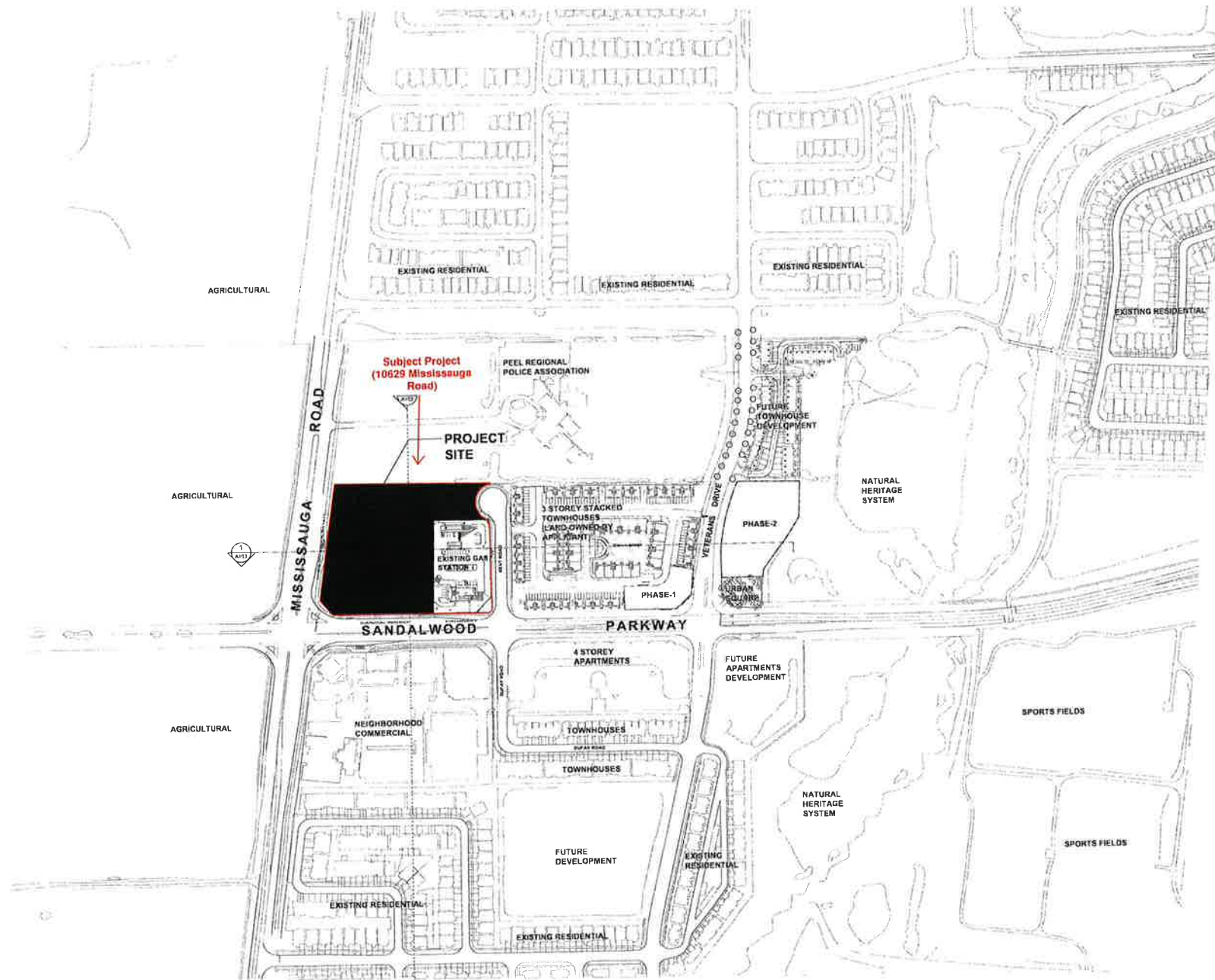
DATE RECEIVED February 28, 2023

Date Application Deemed _____

Severance & Easement Plan







1. TITLE SHEET	2. SITE PLAN
3. EXISTING CONDITIONS	4. DEVELOPMENT PLAN
5. LANDSCAPE ARCHITECTURE	6. TRAFFIC STUDY
7. ENVIRONMENTAL IMPACT STATEMENT	8. OTHER STUDIES
9. REPORTS	10. DATA

THIS DRAWING, SPECIFICATIONS AND ALL OTHER DOCUMENTS ARE THE SOLE PROPERTY OF COREARCHITECTS. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF COREARCHITECTS.

CONSTRUCTION MUST BE IN ACCORDANCE WITH THE CITY OF MISSISSAUGA ZONING BY-LAW.

COREARCHITECTS
 130 QUEEN ST. EAST, SUITE 700, WEST TORONTO
 TORONTO, ON CANADA M5A 0B6
 TEL: 416 593 5000 • FAX: 416 593 5401
 INFO@COREARCHITECTS.COM
 WWW.COREARCHITECTS.COM

SANDALWOOD PARKWAY
 10629 MISSISSAUGA ROAD
 MISSISSAUGA, ONTARIO, L4X 1A5
 CITY OF MISSISSAUGA, 2015-2016

Scale: 1" = 100'

Drawn by: [Signature]

Checked by: [Signature]

Date: 18.10.2015



B-2023-0005

C2

APPLICATION # B-2023-0006
Ward # 6

NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made by **CONSEIL SCOLAIRE VIAMONDE AND CONSEIL SCOLAIRE CATHOLIQUE MONAVENIR**

Purpose and Effect

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 64,085 square metres (6.4 hectares). The proposed severed lot has a frontage of approximately 124 metres (406.82 feet); a depth of approximately 187 metres (613.52 feet) and an area of approximately 43043 square metres (4.3 hectares). It is proposed that 2 lots be established from the existing lot for future development of a French Language high school and a French language elementary school.

Location of Land:

Municipal Address: Veterans Drive (Southwest Corner of Veteran's Drive & Creditview Road) Former Township: Chinguacousy

Legal Description: Part of Block 304, Plan 43M-1878

Meeting

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

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LAST DAY FOR RECEIVING COMMENTS: MARCH 23, 2023

=====

NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	NO	File Number:

Decision and Appeal

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Local Planning Appeal Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Local Planning Appeal Tribunal Act*. The appeal form is available from the Environment and Land Tribunals Ontario website at www.elfto.gov.on.ca

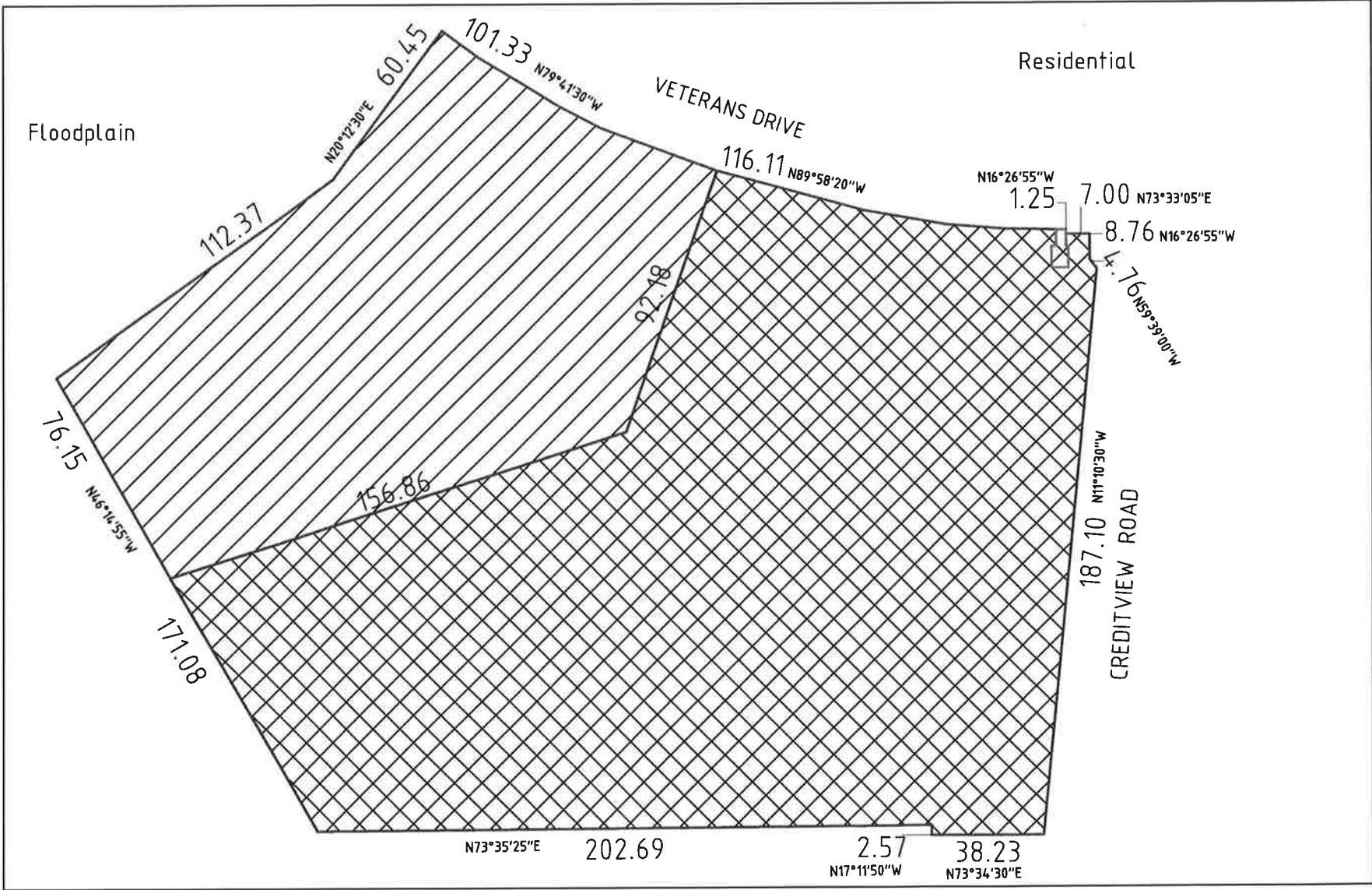
If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.




DATED AT THE CITY OF BRAMPTON THIS **9th Day of March, 2023**

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Phone: (905) 874-2117 Fax: (905) 874-2119
Page 165 of 180
Jeanie.myers@brampton.ca

Severance Sketch



-  Retained Land (Future Elementary School Site Frontage: ~102m Lot Area: 21,042.5m²)
-  Severed Land (Future High School Site Frontage: ~124m Lot Area: 43,043.4m²)
-  Hydro Easement



Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

February 16th, 2023

Project: VT.BR

B-2023-0006

VIA EMAIL

Jeanie Myers
Legislative Coordinator/Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON
L6Y 4R2

Re: Consent Application – 20 Veteran’s Drive, Brampton

Dear Madam Secretary-Treasurer,

SGL Planning & Design Inc. has been retained by Conseil Scolaire Viamonde to provide planning consulting services for a consent application for the property located at the southwest corner of Veteran’s Drive and Creditview Road (Part of Block 304, Registered Plan 43M-1878) in Brampton, Ontario (the “subject site”), as shown in **Figure 1** below.



Figure 1. Subject Site

Source: Google Maps

sglplanning.ca

The subject site has roughly 226 metres of frontage on Veteran's Drive and is approximately 6.4 hectares in area. It is owned by both Conseil Scolaire Viamonde (34.8%) and Conseil Scolaire Catholique Monavenir (65.2%). The lands are currently vacant.

The intent is to sever the lot and create a total of two lots, as shown in **Figure 2** below. One lot will be approximately 4.3 hectares in area and will become the future site of a French language high school for Conseil Scolaire Catholique Monavenir. The other lot will be approximately 2.1 hectares in area and will become the future home of a French language elementary school for Conseil Scolaire Viamonde. Each lot will be transferred to the appropriate owner at the appropriate time.

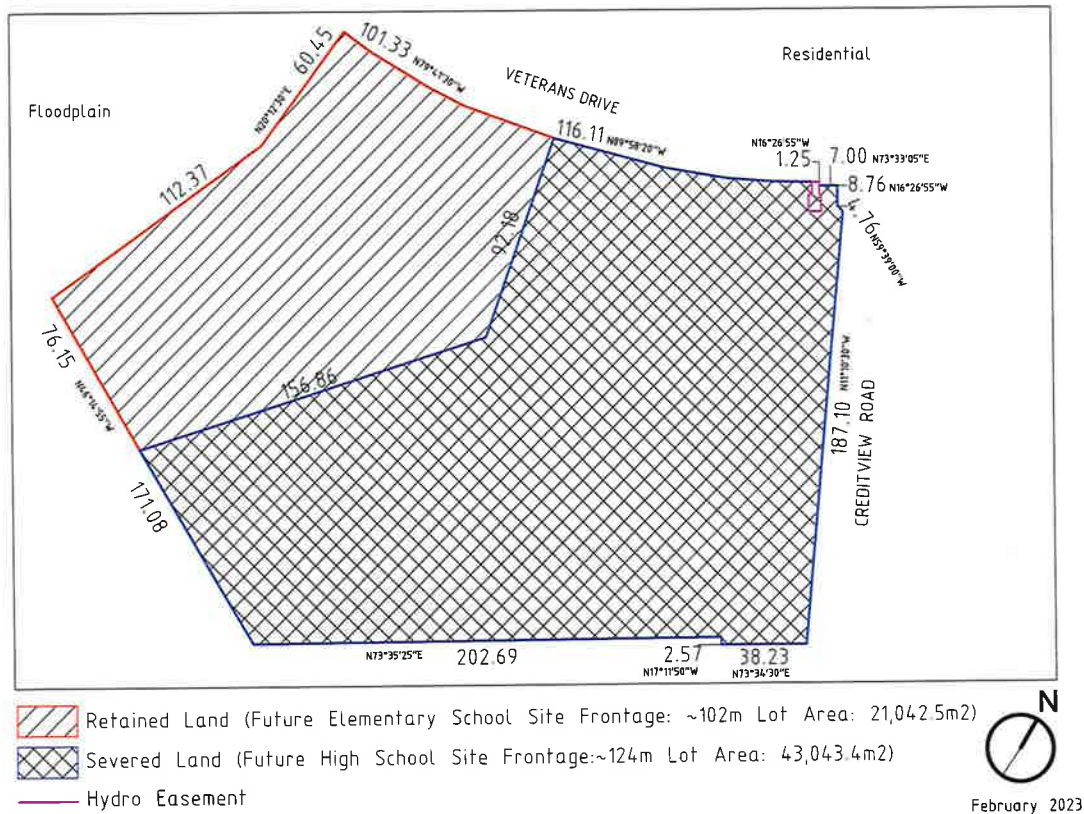


Figure 2. Severance Sketch

Source: SGL Planning & Design Inc.

Designs have **not** been prepared for either school at this time. Our client would like to ensure that the consent application is approved prior to proceeding with design work. They are aware that, should it be determined that minor variances are required to accommodate future designs, additional application(s) to the Committee of Adjustment will be necessary. It is expected, however, that each lot will be of a sufficient size to build a school on, while complying with the requirements of the zoning by-law. An Official Plan amendment or Zoning By-law amendment is not required.

The subject site is located in the Residential land use designation under the current City of Brampton Official Plan and the Neighbourhoods land use designation under the Draft Brampton Plan (December 2022). It is zoned Institutional 1. A public or private school is a permitted use in both the Residential and Neighbourhoods land use designations, and the Institutional 1 zone.

The subject site is an appropriate location for severance to accommodate two schools. We would be pleased to discuss this proposal further with City of Brampton staff.

Yours very truly,
SGL PLANNING & DESIGN INC.



Graham Barrett, Planner

c.c. David Riley, SGL Planning & Design



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)
"B"-2023-0006

APPLICATION NUMBER:

The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Consent
(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) Name of Owner/Applicant Conseil Scolaire Viamonde & Conseil Scolaire Catholique Monavenir
(print given and family names in full)
Address Conseil Scolaire Viamonde, 1 Vanier Drive, Welland, ON, L3B 1A1
Conseil Scolaire Catholique Monavenir, 110 Drewry Avenue, Toronto, ON, M2M 1C8
Phone # 905-732-7809/416-427-7478 Fax #
Email rodriguej@csvgiamonde.ca, dchin@cscmonavenir.ca

(b) Name of Authorized Agent SGL Planning & Design Inc. (c/o Graham Barrett)
Address 1547 Bloor Street West, Toronto, ON, M6P 1A5
Phone # 416-923-6630 x31/416-825-6992 Fax #
Email gbarrett@sglplanning.ca

2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.
Specify: Creation of a new lot

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.
Conseil Scolaire Viamonde/Conseil Scolaire Catholique Monavenir

4. Description of the subject land ("subject land" means the land to be severed and retained):
a) Name of Street Veteran's Drive Number
b) Concession No. Lot(s)
c) Registered Plan No. Lot(s)
d) Reference Plan No. 43M-1878 (Part of Block 304) Lot(s) 1, 2, 3
e) Assessment Roll No. 21 10 060 002 14433 0000 Geographic or Former Township

5. Are there any easements or restrictive covenants affecting the subject land?
Yes ☒ No ☐
Specify: Hydro easement

6. Description of severed land: (in metric units)

a)

Frontage ~124m

Depth ~187m

Area 43,043.4m2

b)

Existing Use Vacant

Proposed Use High School

c)

Number and use of buildings and structures (both existing and proposed) on the land to be severed:

(existing) None

(proposed) N/A - proposal for school to be finalized when consent application is complete

d)

Access will be by:

	Existing	Proposed
Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e)

If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f)

Water supply will be by:

	Existing	Proposed
Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>

Other (specify):

g)

Sewage disposal will be by:

	Existing	Proposed
Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Privy	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>

Other (specify):

7. Description of retained land: (in metric units)

a)

Frontage ~102m

Depth 173m

Area 21,042.5m2

b)

Existing Use Vacant

Proposed Use Elementary School

c)

Number and use of buildings and structures (both existing and proposed) on the land to be retained:

(existing) None

(proposed) N/A - proposal for school to be finalized when consent application is complete

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

1. *Journal of the American Medical Association*, 1997; 277: 1039-1043.

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):		

g) Sewage disposal will be by:		Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify): _____		

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	<u>Institutional 1</u>	<u>Institutional 1</u>
Official Plans		
City of Brampton	<u>Residential</u>	<u>Residential</u>
Region of Peel	<u>Urban system</u>	<u>Urban System</u>

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☐ No ☒

[illegible]

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☒

Date of Transfer _____ **Land Use** _____

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment		
Zoning By-law Amendment		
Minister's Zoning Order		
Minor Variance		
Validation of the Title		
Approval of Power and Sale		
Plan of Subdivision		

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*?
Yes ☒ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan?
Yes ☐ No ☒

14. If the answer is yes, does the application conform to the applicable Provincial Plan?
Yes ☐ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the CITY of TORONTO
this 16TH day of FEBRUARY, 2023.


Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:
☐ I have the authority to bind the Corporation


DECLARATION

I, GRAHAM BARRETT of the CITY of TORONTO
in the County/District/Regional Municipality of solemnly declare that all the statements contained in t
application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the CITY of TORONTO
in the Province of Ontario
this 16TH day of FEBRUARY, 2023.

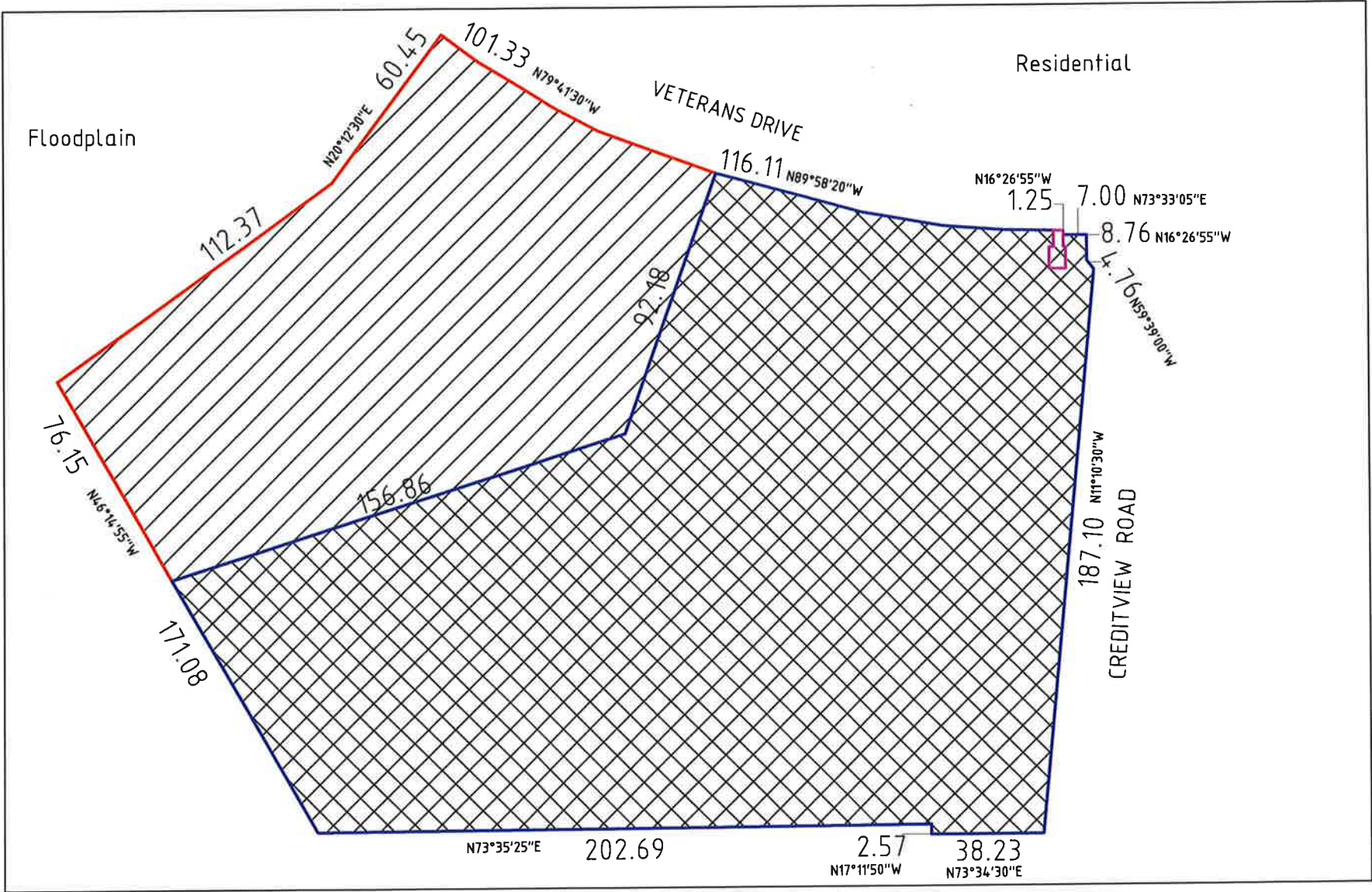

Signature of applicant/solicitor/authorized agent, etc.



Submit by Email

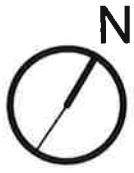
DocuSigned by:

09A760CF401B48E...
Leslie Robinson
LSO #81562T
Signature of a Commissioner, etc.

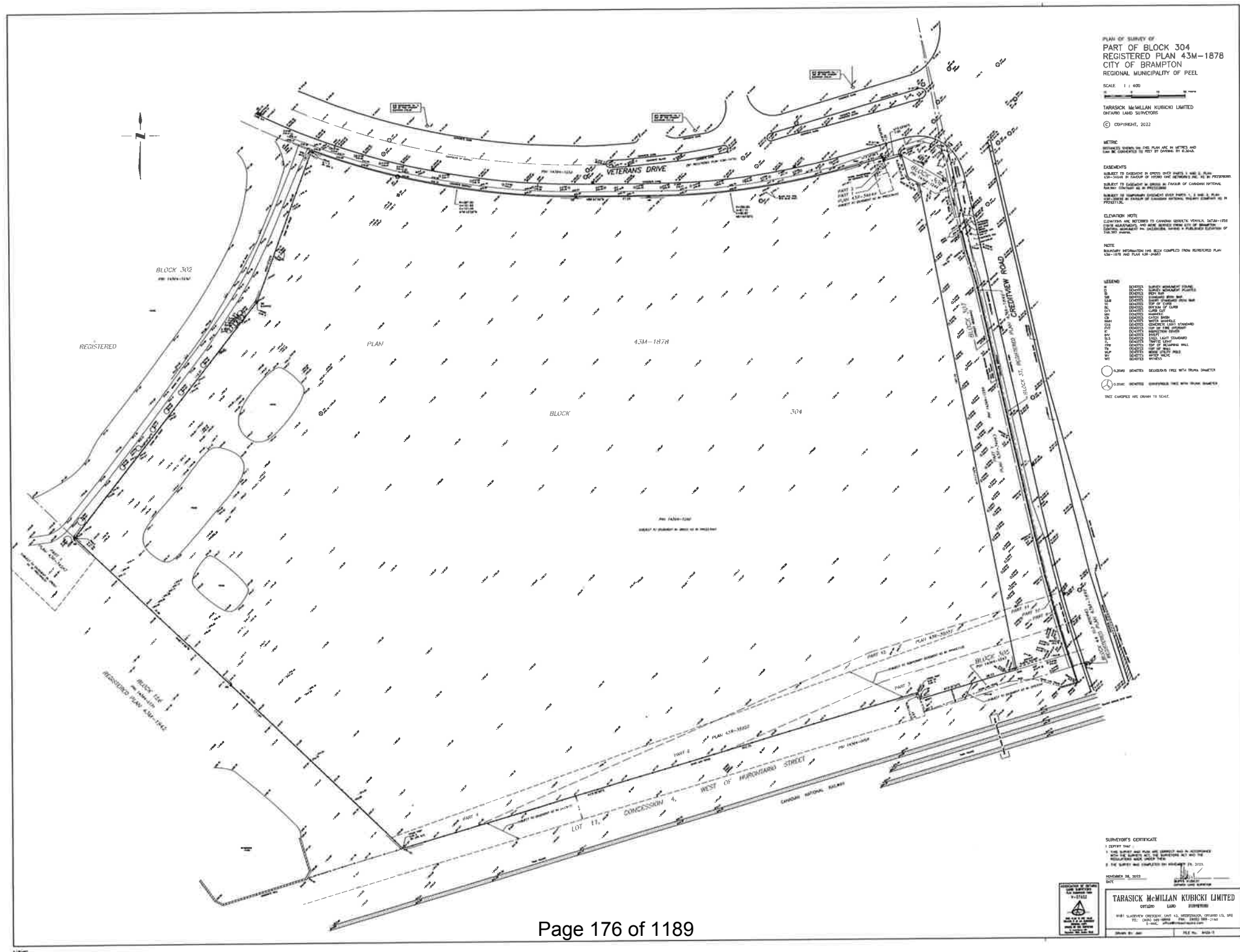
FOR OFFICE USE ONLY - To Be Completed By the Zoning Division	
This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.	
Zoning Officer	Date

Severance Sketch



-  Retained Land (Future Elementary School Site Frontage: ~102m Lot Area: 21,042.5m²)
-  Severed Land (Future High School Site Frontage: ~124m Lot Area: 43,043.4m²)
-  Hydro Easement





SCHEDULE				
PART	BLOCK	REGISTERED PLAN	PIV	AREA (m ²)
1	PART OF	43M-1878	ALL OF 14364-1200(LT)	21 841.5
2				42 887.2
3				58.2

PARTS 1, 2 & 3 - SUBJECT TO EASEMENT IN GROSS AS IN PR2223969
 PART 3 - SUBJECT TO EASEMENT IN GROSS AS IN PR2223969
 PARTS 1, 2 & 3 COMPRISE ALL OF P.I.N. 14364-1200 (L.T.)

PLAN OF SURVEY OF
 PART OF BLOCK 304
 REGISTERED PLAN 43M-1878
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1 : 500

THE INTENDED PLOT SIZE OF THIS PLAN IS 814mm IN WIDTH BY 610mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:500

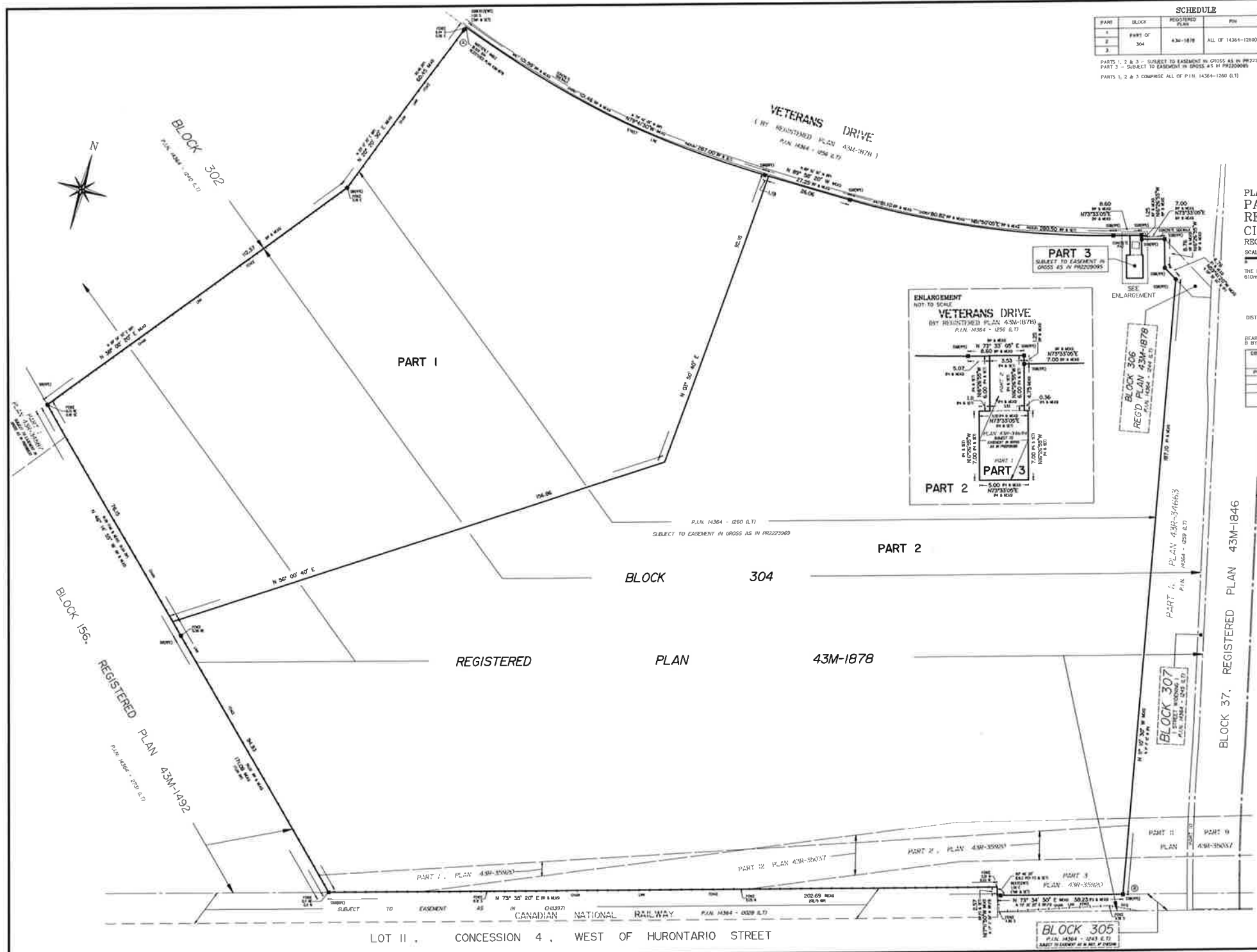
METRIC NOTE
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES, AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DISTANCE NOTE
 DISTANCE SHOWN ON THIS PLAN ARE SHOWN, AND CAN BE CONVERTED TO GRID BY MULTIPLYING THE COMBINED SCALE FACTOR OF 0.999676

BEARING NOTE
 BEARINGS ARE (C/D) DERIVED FROM OBSERVED REFERENCE POINTS (C/D) A AND B BY REAL TIME NETWORK OBSERVATION, UTM ZONE 17, NAD83 (CSRS) (2010.D).

POINT ID	BEARING	EASTING	NORTHING
A	4 18 34.1	594 149.28	598
B	4 18 33.28	594 418.1	598

COORDINATES CANNOT, IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.



BLOCK 43
 PLAN 43M-1846
 REG'D

ROAD
 CREDITVIEW

LEGEND	
Q	MONUMENT PLANTED
W	MONUMENT FOUND
WT	WITNESS
C/C	CUT CROSS
IB	IRON BAR
SB	STANDARD IRON BAR
SP	SHORT STANDARD IRON BAR
P1	REGISTERED PLAN 43M-1878
P2	PLAN 43M-34663
P3	PLAN 43M-35057
P4	PLAN 43M-35920
TMK	PLAN OF SURVEY BY TARASOK MCILLAN KUBICKI LIMITED, O.L.S., DATED NOVEMBER 28TH, 2022
923	TARASOK MCILLAN KUBICKI LIMITED, O.L.S.
RPE	RAY-POWERS & EDWARDS SURVEYING LTD., O.L.S.
NI	NOT IDENTIFIED
P.I.N.	PROPERTY IDENTIFICATION NUMBER
N.S.E.W.	NORTH, SOUTH, EAST, WEST
MEAS	MEASURED

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON 11TH, 2023

DATE 11TH, 2023 SCOTT DALZIEL
 ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN SUBMISSION FORM NUMBER V-1000

GENESIS

10 TEAM SQUARES PLACE, 10TH FLOOR
 TORONTO, ONT M6J 1B7
 T 416-469-2996 F 416-469-3074 WWW.GENESISLANDSURVEY.COM
 DRAFTED BY: JALM CHECKED BY: S.D. PROJECT No. G.S-1567



B-2023-0006

C2

APPLICATION # B-2023-0007
Ward # 6

NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made by **MAY JUNIOR HOLDINGS LIMITED**

Purpose and Effect

The purpose of the application is to request the consent of the Committee of Adjustment to the grant of an easement having a width of approximately 8.0 metres (26.25 feet); a depth of approximately 62.0 metres (203.41 feet) and an area of approximately 0.050 hectares (0.124 acres). It is proposed that a service utility and sanitary force-main sewer easement be established in favour of the abutting properties municipally known as 8175 and 8310 Winston Churchill Boulevard.

Location of Land:

Municipal Address: 0 Winston Churchill Boulevard

Former Township: Chinguacousy

Legal Description: Part of Lot 1, Concession 6 WHS

Meeting

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

=====

LAST DAY FOR RECEIVING COMMENTS: MARCH 23, 2023

=====

NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	NO	File Number:

Decision and Appeal

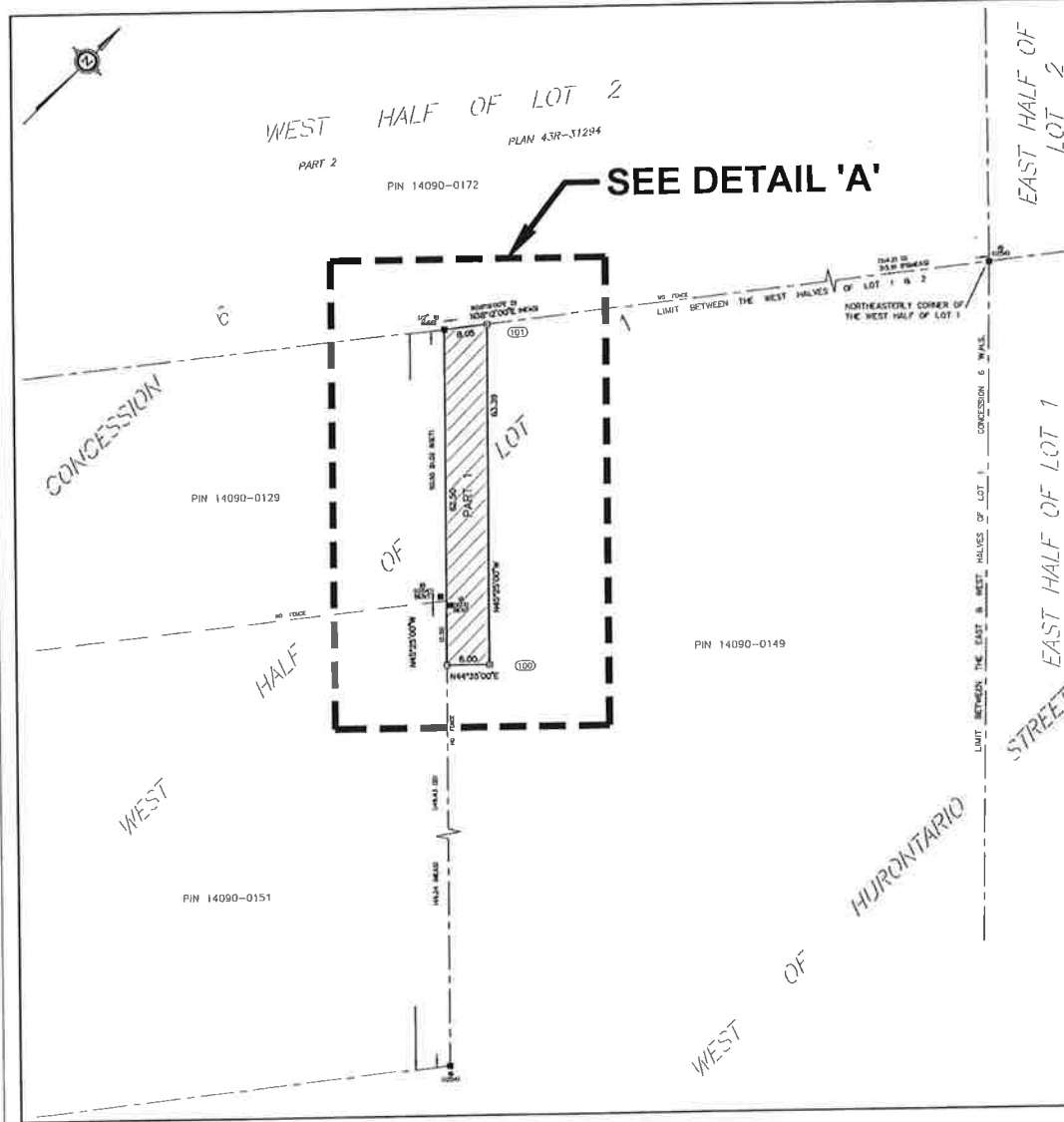
Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Local Planning Appeal Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Local Planning Appeal Tribunal Act*. The appeal form is available from the Environment and Land Tribunals Ontario website at www.eltlo.gov.on.ca

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS **9th Day of March, 2023**

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
Email: jeanie.myers@brampton.ca



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 43R-
RECEIVED AND DEPOSITED
DATE: DRAFT
DATE: _____

A. MARK ALTON
ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR THE LAND REGISTRATION FOR THE LAND TITLES DIVISION OF PEEL REGION (No. 43)

PART	PART OF LOT	CONCESSION	PART OF PIN
1	WEST HALF OF LOT 1	WEST OF HURONTARIO STREET	14090-0149(LT)

SCHEDULE

PLAN OF SURVEY OF
PART OF THE WEST
HALF OF LOT 1
CONCESSION 6 W.H.S.
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
(GEOGRAPHIC TOWNSHIP OF CHINGWACOUS)

SCALE 1:500

THE RETURNED PART OF THIS PLAN IS 50mm IN WIDTH BY 430mm IN HEIGHT WHEN PLATED AT 1:500

CLARKE WILKINSON ALTON SURVEYING ONTARIO LAND SURVEYORS

METRIC DISTANCES AND COORDINATES ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARINGS ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR 0.999668

BEARINGS BEARINGS ARE UTM GRID DERIVED FROM SPECIFIED CONTROL POINTS 042050236 AND 042010227, UTM ZONE 17, RAD 83 (ORIGINAL)

FOR BEARING COMPASSIONS, A ROTATION OF 0°21'00" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON D, D1 & D2, AND A ROTATION OF 0°25'15" COUNTERCLOCKWISE TO BEARING ON P

POINT ID	NORTHING	EASTING
SCP 042050236	4 828 407.301	597 457.014
SCP 042010227	4 830 485.613	567 562.128

COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

POINT	NORTHING	EASTING
D1	4 828 711.XX	598 875.XX
D2	4 828 761.XX	598 836.XX

LEGEND

■ DENOTES SURVEY MONUMENT FOUND
□ DENOTES SURVEY MONUMENT SET
B DENOTES IRON BAR
SB DENOTES STANDARD IRON BAR
666 DENOTES A. DEATH D.L.S.
123 DENOTES TAWASKE KAMALAN KUDJOLO LIMITED D.L.S.
1234 DENOTES R.E. CLIPSHAM D.L.S.
P DENOTES DEPOSITED PLAN 43R-31294
D DENOTES INSTRUMENT NUMBER V5120345 (PIN 14090-0149)
D1 DENOTES INSTRUMENT NUMBER R0782351 (PIN 14090-0129)
D2 DENOTES INSTRUMENT NUMBER R0823566 (PIN 14090-0151)

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM

2. THE SURVEY WAS COMPLETED ON _____

DRAFT

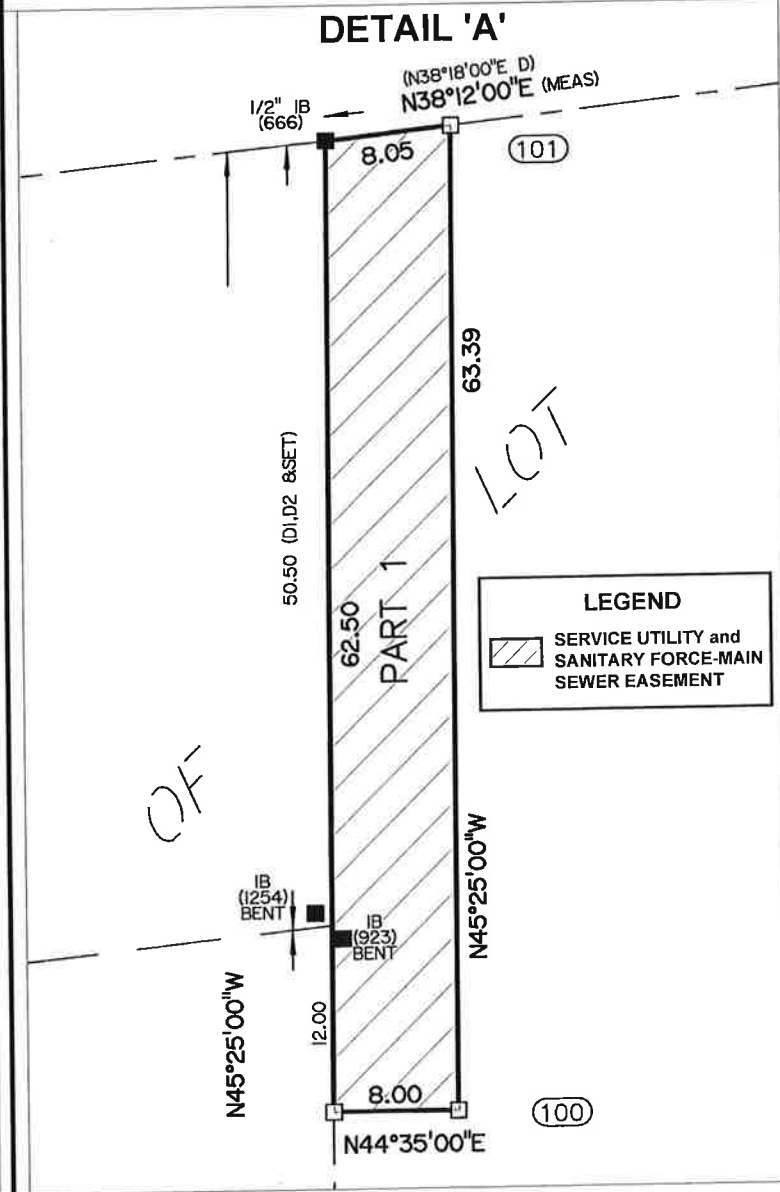
J. MARK ALTON
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO A05 PLAN SUBMISSION FORM NUMBER XXXXXXX

CLARKE WILKINSON ALTON SURVEYING
ONTARIO LAND SURVEYORS

SUITE 3, 43-D INDUSTRIAL STREET
TORONTO, ONTARIO M4G 1Z2
PH:416-750-3018 FX:416-491-7101
email: cwa@pathcom.com

FILE: B18-3RFD1-DRAFT DATE: JULY 29/22 PROJECT No: B18-3



CONSENT SKETCH - PROPOSED EASEMENT

SITE PLAN APPLICATION: SPA-2022-0043



'0' WINSTON CHURCHILL BOULEVARD

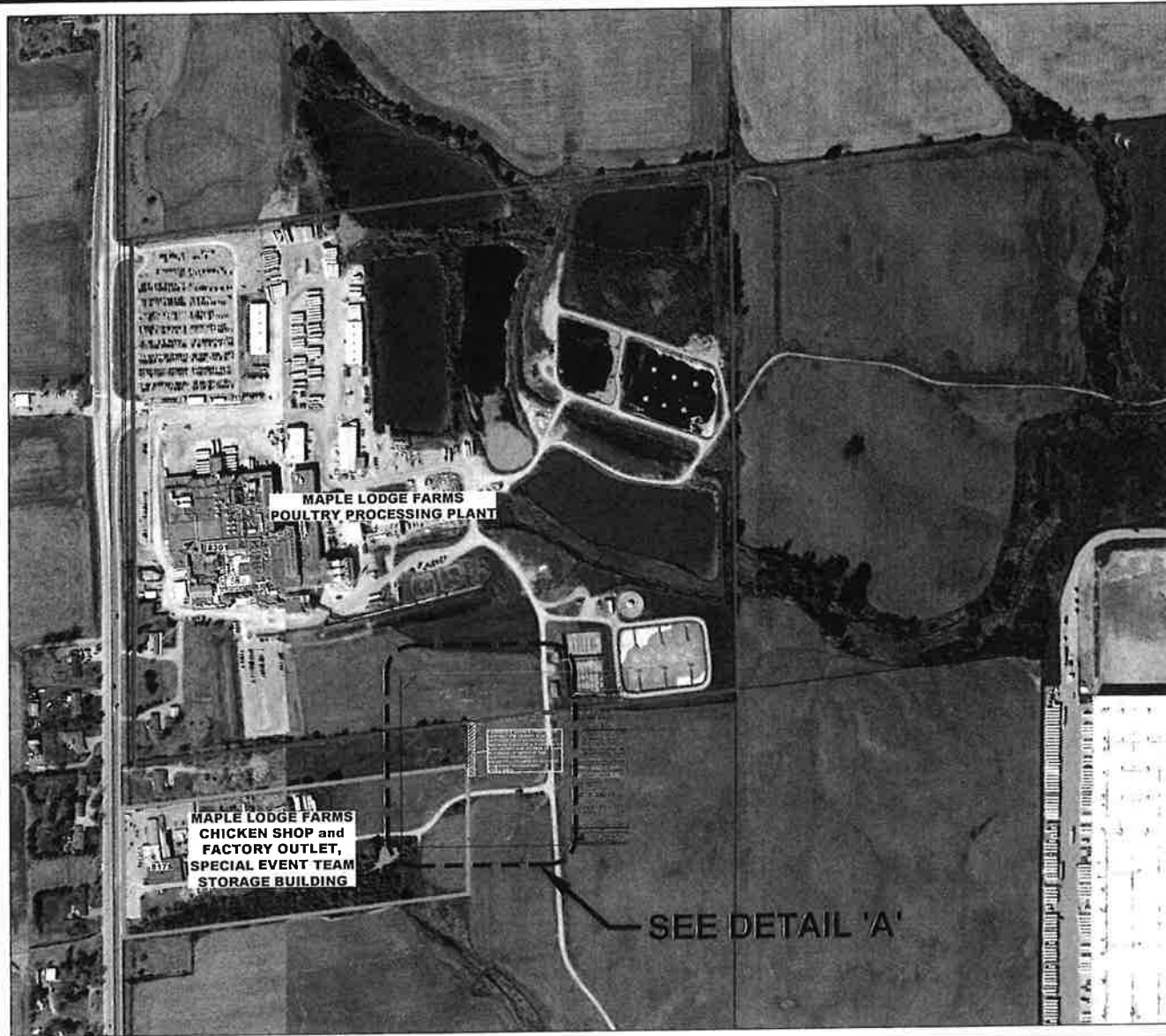
CITY of BRAMPTON

REGION of PEEL

PROPOSED EASEMENT:

1. To grant a service utility and sanitary force-main sewer easement with an approximate width of 8.0 metres, a length of 62.0 metres, and an area of 0.050 hectares, in favor of the abutting properties municipally known as 8175 and 8310 Winston Churchill Boulevard.

P.N.: 11.1768.00	Date: February 27, 2023
Scale: N.T.S	Revised:
Drawn By: D.S.	File No.: PN 1768_Consent_Plan
	 GWD Gagnon Walker Domes PROFESSIONAL ENGINEERS



CONSENT SKETCH - PROPOSED EASEMENT




SITE PLAN APPLICATION: SPA-2022-0043

'O' WINSTON CHURCHILL BOULEVARD

CITY of BRAMPTON

REGION of PEEL

LEGEND

-  Maple Lodge Farms Poultry Processing Plant (MLF)
-  Maple Lodge Farms Chicken Shop and Factory Outlet, Special Event Team Storage Building
-  Service Utility and Sanitary Force-main Sewer Easement 8.0m, 0.050 hectares (0.124 acres)

P.N.: 11,1768,00

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Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



Principals

Michael Gagnon
Lena Gagnon
Andrew Walker
Richard Domes

February 28, 2023

GWD File:
11.1768.00 COA

The Corporation of the City of Brampton
2 Wellington Street West
City of Brampton, Ontario
L6Y 4R2

Attention: Ms. Jeanie Myers
Secretary-Treasurer, Committee of Adjustment

Subject: Application to the Committee of Adjustment – Consent
'0' Winston Churchill Boulevard
Part of West Half Lot 1, Concession 6, W.H.S.
City of Brampton, Ontario
City Related File: SPA-2022-0043
Ward 6

Dear Jeanie:

B-2023-0007

Gagnon Walker Domes Ltd. (GWD) acts as Planning Consultant to Maple Lodge Farms Ltd. (MLF) and its affiliated companies, who own properties totaling approximately 366 hectares (904 acres), located on both the east and west sides of Winston Churchill Boulevard, north of Steeles Avenue. The properties consist of a broad range of uses; including, a Processing Plant, a Retail Outlet Store, a Water Pollution Control Plant, as well as fields on which commodity grains are farmed.

Proposal

Our office is pleased to submit the enclosed Consent Application for the purpose of granting a service utility and sanitary force-main sewer easement with an approximate width of 8.0 metres, a length of 62.0 metres, and an area of 0.050 hectares, in favor of the abutting properties municipally known as 8175 and 8310 Winston Churchill Boulevard.

8301 Winston Churchill Boulevard

At any given time some 1,600 to 1,800 individuals are employed at the main MLF Poultry Processing Plant located at 8301 Winston Churchill Boulevard. In recent years a series of renovations and upgrades to the facility have been completed. In the very near future MLF is planning to commence the next phase of its facility expansion and site improvements.

GAGNON WALKER DOMES LTD.

7685 Hurontario Street, Suite 501 • Brampton ON Canada L6W 0B4 • P: 905-796-5790
www.gwdplanners.com • Toll Free: 1-855-771-7266

**CONFIDENTIALITY
CAUTION**

This document is Consultant-Client privileged and contains confidential information intended only for person(s) named above. Any distribution, copying or disclosure is strictly prohibited. If you have received this document in error, please notify us immediately by telephone and return the original to us by mail without making a copy.



Figure 1 – Air Photo Poultry Processing Plant

8175 Winston Churchill Boulevard

By way of background, MLF completed a Zoning By-law Amendment Application on the lands known municipally as 8175 Winston Churchill Boulevard in 2021 (City File: C06W01.005). A formal Site Plan Approval Application was filed on March 7, 2022 to facilitate the construction of its new Chicken Shop and Factory Outlet and Special Event Team Storage Building (City File: SPA-2022-0043). The Application is anticipated to be approved in Q2-2023.

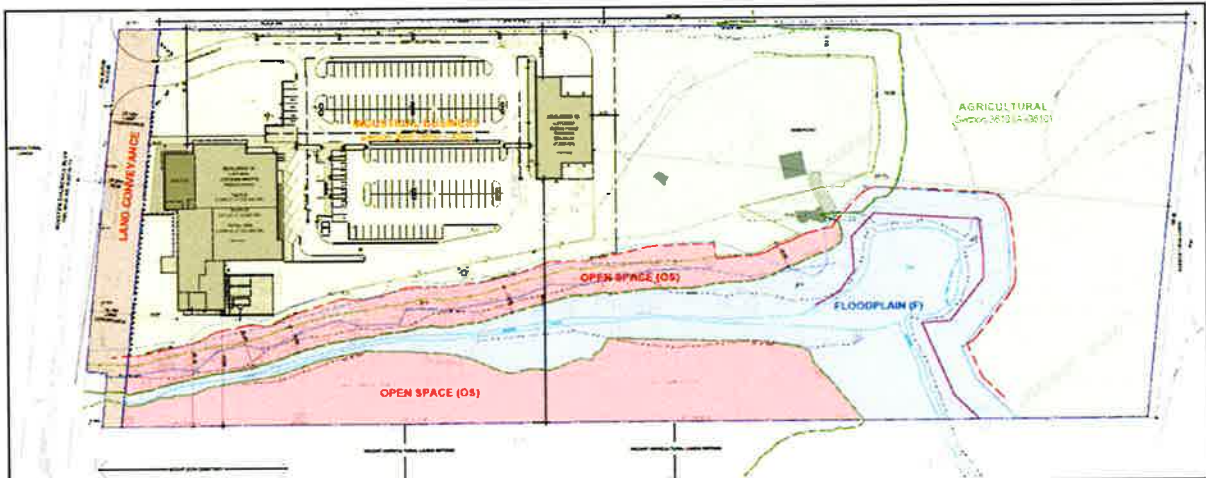


Figure 2 – Zoning Master Site Plan



Figure 3 – Northwest Perspective View of Chicken Shop and Factory Outlet

The proposed easement (PART 1) which is sited on abutting and intervening lands is intended to house infrastructure including a 100mm diameter sanitary force-main, fiber optics, and other necessary utilities connecting 8175 and 8310 Winston Churchill Boulevard.

Deliverables

The easement has been reviewed in the context of the relevant provisions prescribed within Section 53(12) and 51(24) of the *Planning Act*. We are of the opinion that it represents proper and orderly planning and can be supported from a land use perspective.

In support of the Application we submit the following:

- Completed Application Form;
- Covering Letter;
- Parcel Registry serving as Proof of Ownership;
- Draft Reference Plan prepared by Clarke Wilkinson Alton Surveying;
- Consent Sketch prepared by Gagnon Walker Domes Ltd.; and
- \$4,391.00 processing fee payable to the "City of Brampton".

Should you require additional information or have any questions, please do not hesitate to contact the undersigned.

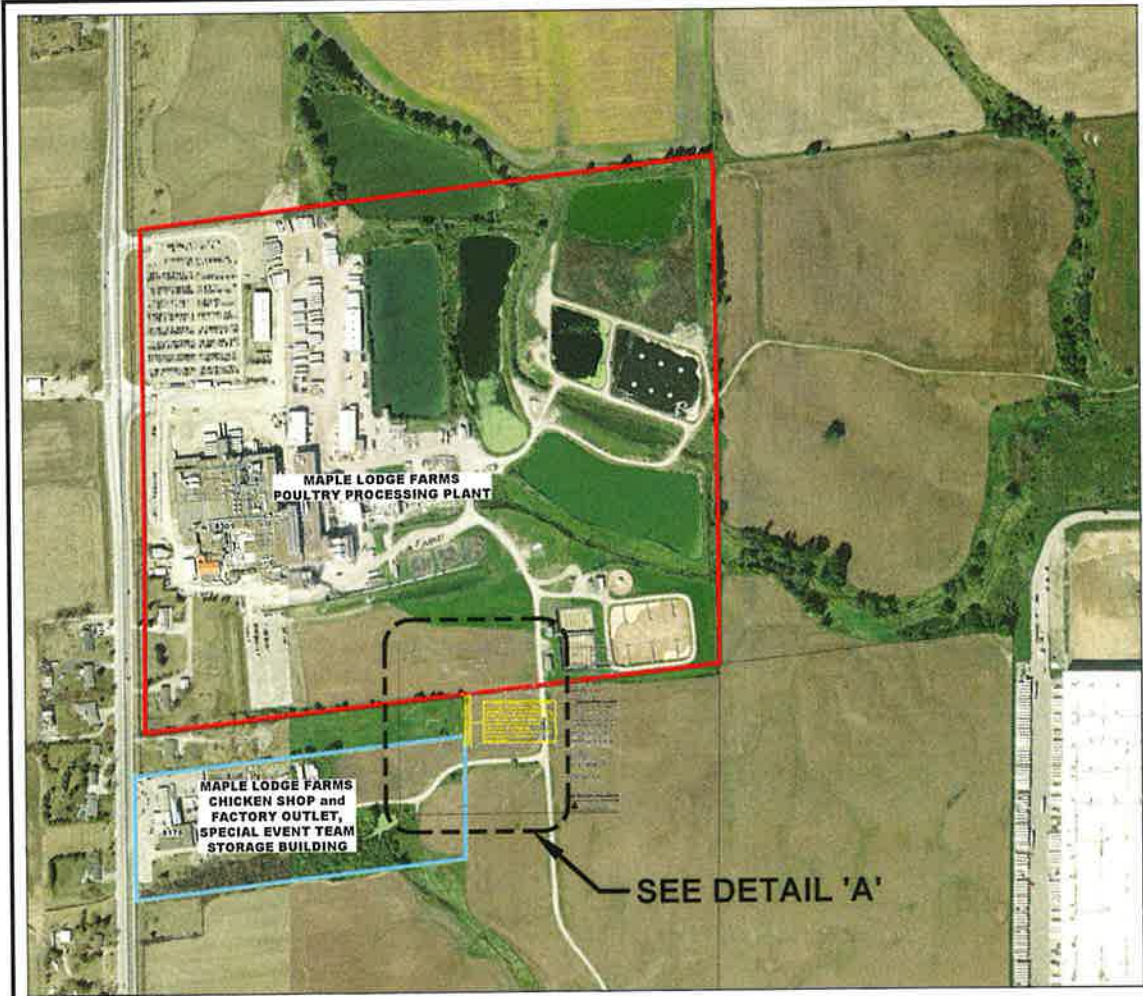


Yours truly,

Marc De Nardis, B.U.R.Pl., M.C.I.P., R.P.P.
Planning Associate

mdenardis@gwdplanners.com

C.c. M. Gerolini, City of Brampton
Maple Lodge Farms Ltd.
IFAB Engineering Partners Ltd.
M. Gagnon, Gagnon Walker Domes Ltd.



CONSENT SKETCH - PROPOSED EASEMENT

SITE PLAN APPLICATION: SPA-2022-0043

'0' WINSTON CHURCHILL BOULEVARD

CITY of BRAMPTON

REGION of PEEL

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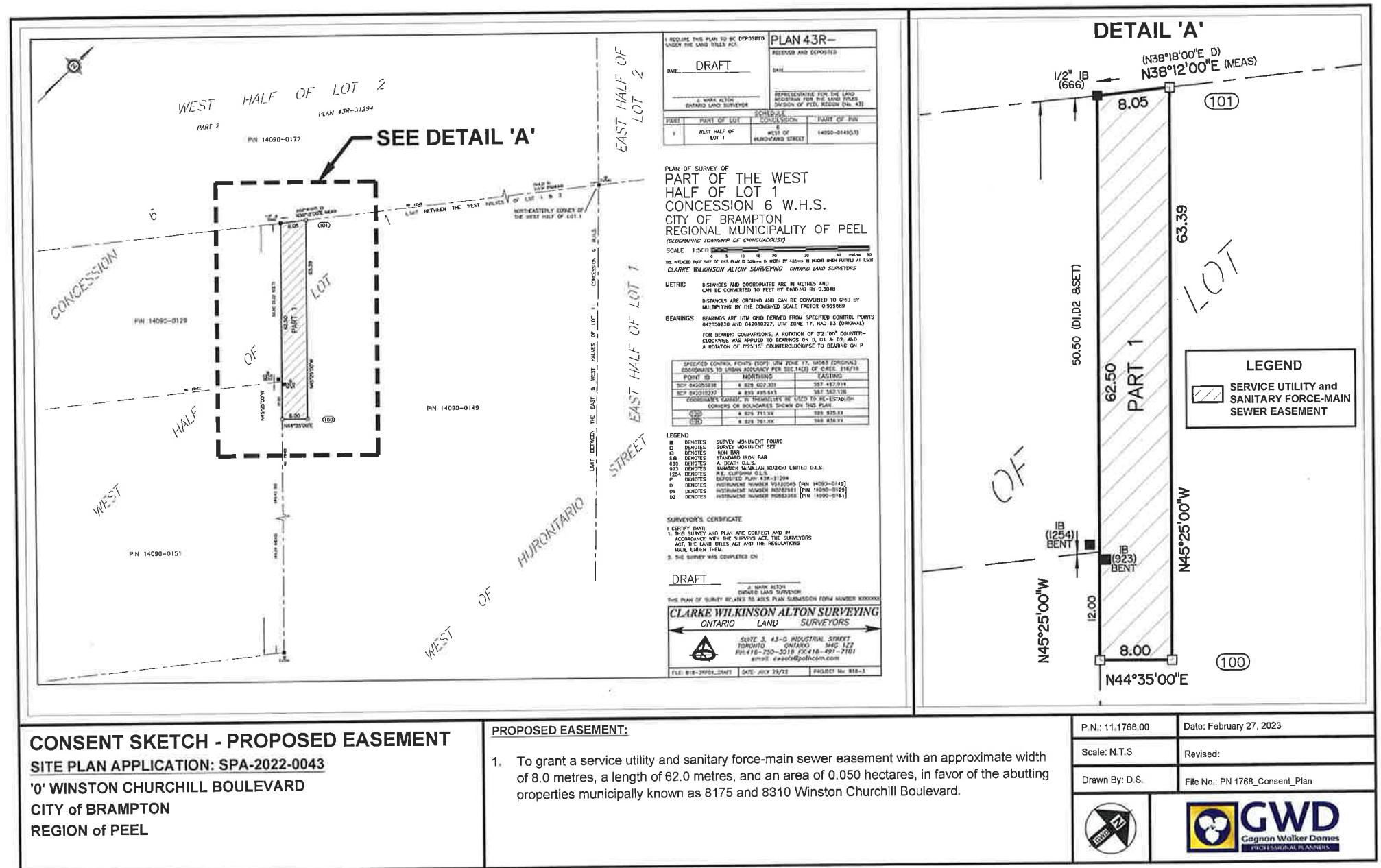
Scale: N.T.S

Revised:

Drawn By: D.S.

File No.: PN 1768_Consent_Plan





LAND
REGISTRY
OFFICE #43

14090-0149 (LT)

PAGE 1 OF 1
PREPARED FOR Marc De Nardis
ON 2023/02/24 AT 17:36:58

ONLAND

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LT 1 CON 6 WHS (CHINGUACOUSY) AS IN VS120545 EXCEPT PTS 13, 14, PL 43R671, PT 1, PL 43R24112, PT 1, PL 43R31865; BRAMPTON; S/T VS120545, IF ANY

PROPERTY REMARKS:

ESTATE/QUALIFIER:
FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:
DIVISION FROM 14090-0056

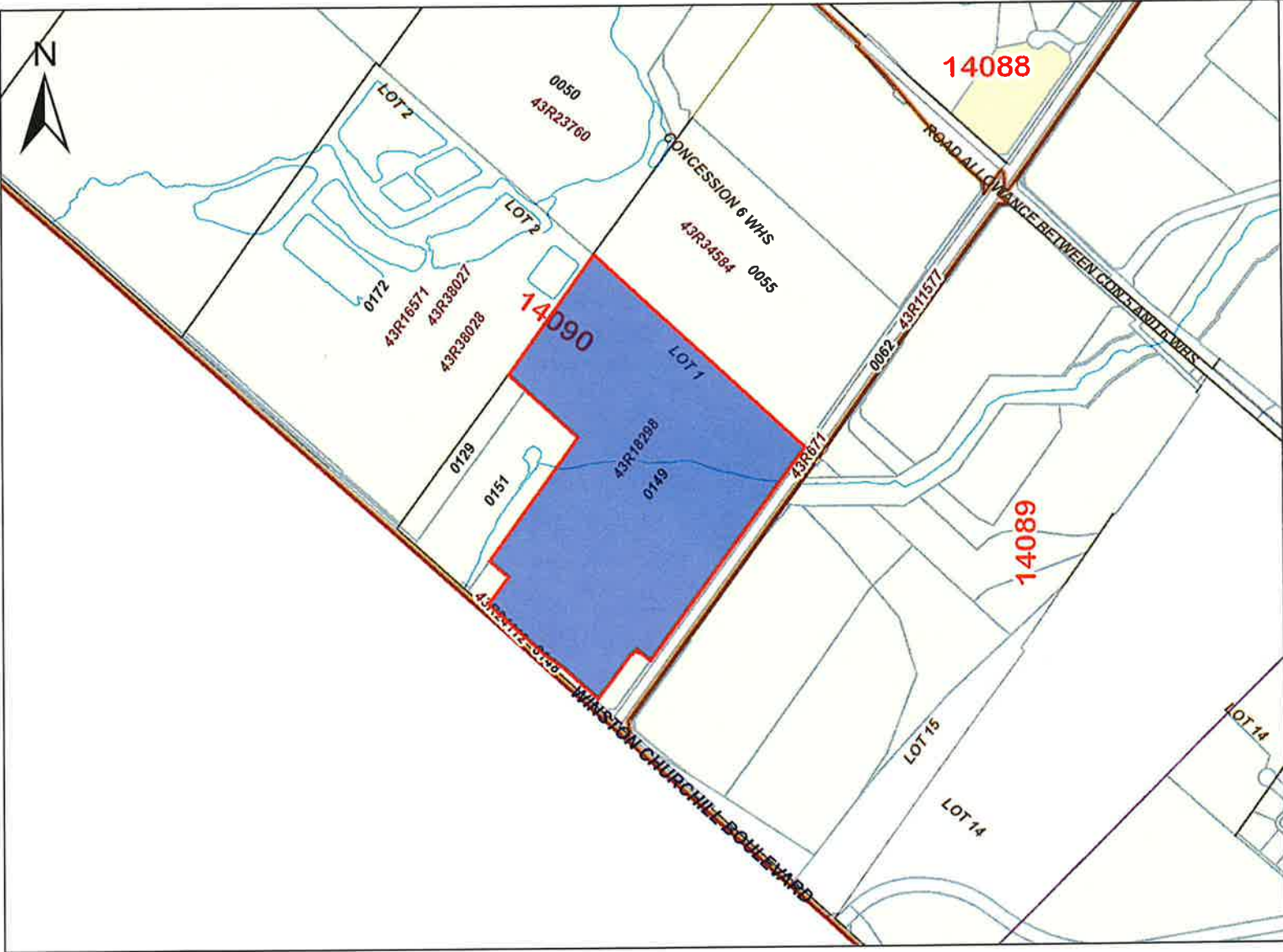
PIN CREATION DATE:
2008/01/14

OWNERS' NAMES
MAY JUNIOR HOLDINGS LIMITED

CAPACITY SHARE
BENO

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
<div><div>** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **</div><div>**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:</div><div>** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES</div><div>** AND ESCHEATS OR FORFEITURE TO THE CROWN.</div><div>** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF</div><div>** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY</div><div>** CONVENTION.</div><div>** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.</div><div>**DATE OF CONVERSION TO LAND TITLES: 1999/01/26 **</div></div>						
VS120545	1969/09/10	TRANSFER	\$2		MAY JUNIOR HOLDINGS LIMITED	C
43R18298	1990/12/24	PLAN REFERENCE				C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.



ServiceOntario

PRINTED ON 24 FEB, 2023 AT 17:33:36
FOR MARC DE NARDIS



PROPERTY INDEX MAP
PEEL(No. 43)

LEGEND

FREEHOLD PROPERTY	
LEASEHOLD PROPERTY	
LIMITED INTEREST PROPERTY	
CONDOMINIUM PROPERTY	
RETIRED PIN (MAP UPDATE PENDING)	
PROPERTY NUMBER	0449
BLOCK NUMBER	08050
GEOGRAPHIC FABRIC	
EASEMENT	

THIS IS NOT A PLAN OF SURVEY

NOTES

REVIEW THE TITLE RECORDS FOR COMPLETE
PROPERTY INFORMATION AS THIS MAP MAY
NOT REFLECT RECENT REGISTRATIONS

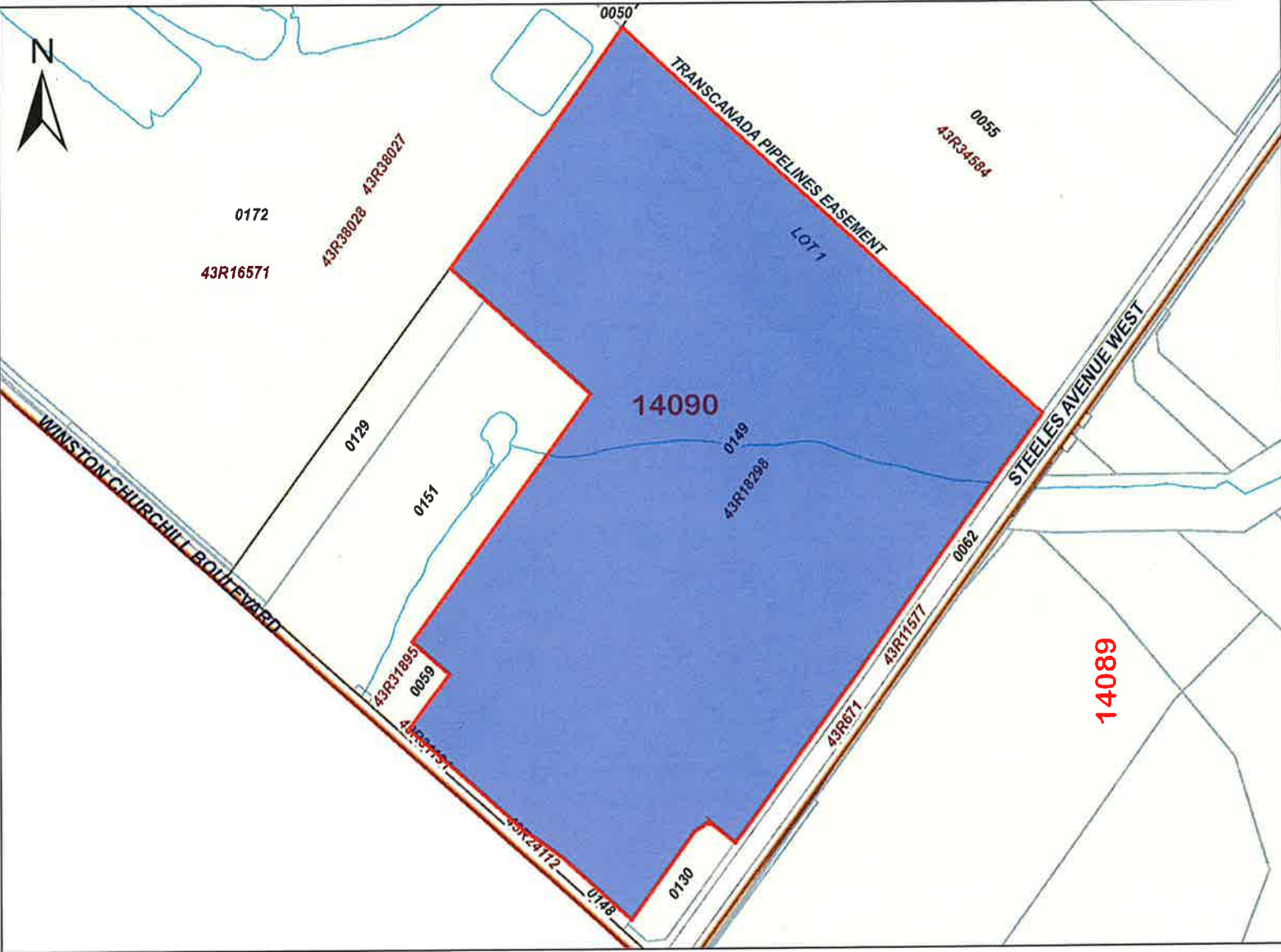
THIS MAP WAS COMPILED FROM PLANS AND
DOCUMENTS RECORDED IN THE LAND
REGISTRATION SYSTEM AND HAS BEEN PREPARED
FOR PROPERTY INDEXING PURPOSES ONLY

FOR DIMENSIONS OF PROPERTIES BOUNDARIES SEE
RECORDED PLANS AND DOCUMENTS

ONLY MAJOR EASEMENTS ARE SHOWN

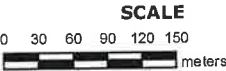
REFERENCE PLANS UNDERLYING MORE RECENT
REFERENCE PLANS ARE NOT ILLUSTRATED





ServiceOntario

PRINTED ON 24 FEB, 2023 AT 17:34:10
FOR MARC DE NARDIS



PROPERTY INDEX MAP
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REFERENCE PLANS ARE NOT ILLUSTRATED





The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Consent

(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the PLANNING ACT, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) Name of Owner/Applicant May Junior Holdings Limited
(print given and family names in full)

Address 8310 Winston Churchill Boulevard, Brampton, ON, L6W 0A2

Phone # (905) 455-8340 x2236, x2243 Fax # N/A

Email Nigel Bourke, Alaa Alanqar

(b) Name of Authorized Agent Gagnon Walker Domes Ltd.

Address 7685 Hurontario Street, Suite 501, Brampton, ON, L6W 0B4

Phone # (905) 796-5790 X257 Fax # N/A

Email mdenardis@gwdplanners.com

2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.

Specify: To grant a service utility and sanitary force-main sewer easement with an approximate width of 8.0 metres, a length of 62.0 metres, and an area of 0.050 hectares in favor of the abutting properties municipally known as 8175 and 8310 Winston Churchill Boulevard.

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.

Maple Lodge Farms Ltd.

4. Description of the subject land ("subject land" means the land to be severed and retained):

a) Name of Street Winston Churchill Boulevard Number N/A

b) Concession No. 6 W.H.S Lot(s) 1

c) Registered Plan No. N/A Lot(s) N/A

d) Reference Plan No. N/A Lot(s) N/A

e) Assessment Roll No. 10-08-0-012-07900-0000 Geographic or Former Township Chinguacousy

5. Are there any easements or restrictive covenants affecting the subject land?

Yes ☐ No ☒
Specify:

6. Description of severed land: (in metric units)

a)	Frontage	<u>8.0 (Width)</u>	Depth	<u>62.0 (Length)</u>	Area	<u>0.050</u>
b)	Existing Use	<u>Vacant - Farmland</u>	Proposed Use	<u>Vacant - Farmland</u>		
c)	Number and use of buildings and structures (both existing and proposed) on the land to be severed:					
	(existing)	<u>Vacant - No Buildings or Structures</u>				
	(proposed)	<u>Vacant - No Buildings or Structures</u>				
d)	Access will be by:	Existing	Proposed			
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>			
	Municipal Road - Maintained all year	<input type="checkbox"/>	<input type="checkbox"/>			
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>			
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>			
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>			
	Private Right of Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
e)	If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?					
	<u>N/A</u>					
f)	Water supply will be by:	Existing	Proposed			
	Publicly owned and operated water system	<input type="checkbox"/>	<input type="checkbox"/>			
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>			
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>			
	Other (specify):	<u>N/A</u>				
g)	Sewage disposal will be by:	Existing	Proposed			
	Publicly owned and operated sanitary sewer system	<input type="checkbox"/>	<input type="checkbox"/>			
	Privy	<input type="checkbox"/>	<input type="checkbox"/>			
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>			
	Other (specify):	<u>N/A</u>				

7. Description of retained land: (in metric units)

a)	Frontage	<u>~310 (Winston Churchill Blvd.)</u>	Depth	<u>~700</u>	Area	<u>~33</u>
b)	Existing Use	<u>Vacant - Farmland</u>	Proposed Use	<u>Vacant - Farmland</u>		
c)	Number and use of buildings and structures (both existing and proposed) on the land to be retained:					
	(existing)	<u>Vacant - No Buildings or Structures</u>				
	(proposed)	<u>Vacant - No Buildings or Structures</u>				

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input type="checkbox"/>	<input type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input checked="" type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input type="checkbox"/>	<input type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	N/A	

g)	Sewage disposal will be by:	Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input type="checkbox"/>	<input type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	N/A	

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	<u>Agricultural (A)</u>	<u>Agricultural (A)</u>
Official Plans		
City of Brampton	<u>Industrial, Standard Industrial, Highway & Service Commercial</u>	<u>Industrial, Open Space, Business Corridor, Standard Industrial, Highway & Service Commercial, Prestige Industrial, Valleyland</u>
Region of Peel	<u>Urban System</u>	<u>Urban System</u>

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☐ No ☒

File # N/A Status/Decision N/A

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☒

Date of Transfer N/A Land Use N/A

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment	N/A	N/A
Zoning By-law Amendment	N/A	C06WD1.005 Approved (8175 Winston Churchill)
Minister's Zoning Order	N/A	N/A
Minor Variance	N/A	N/A
Validation of the Title	N/A	N/A
Approval of Power and Sale	N/A	N/A
Plan of Subdivision	N/A	N/A

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*?
Yes ☒ No ☐


13. Is the subject land within an area of land designated under any Provincial Plan?
Yes ☒ No ☐

14. If the answer is yes, does the application conform to the applicable Provincial Plan?
Yes ☒ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the City of Brampton
this 28 day of February, 2023.

Check box if applicable:


Signature of Applicant, or Authorized Agent, see note on next page


☐ I have the authority to bind the Corporation

DECLARATION

I, Marc De Nardis of the City of Vaughan
in the County/District/Regional Municipality of York solemnly declare that all the statements contained in this application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Brampton
in the Region of Peel
this 28 day of February, 2023.


Signature of applicant/solicitor/authorized agent, etc.


Signature of a Commissioner, etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.


Zoning Officer

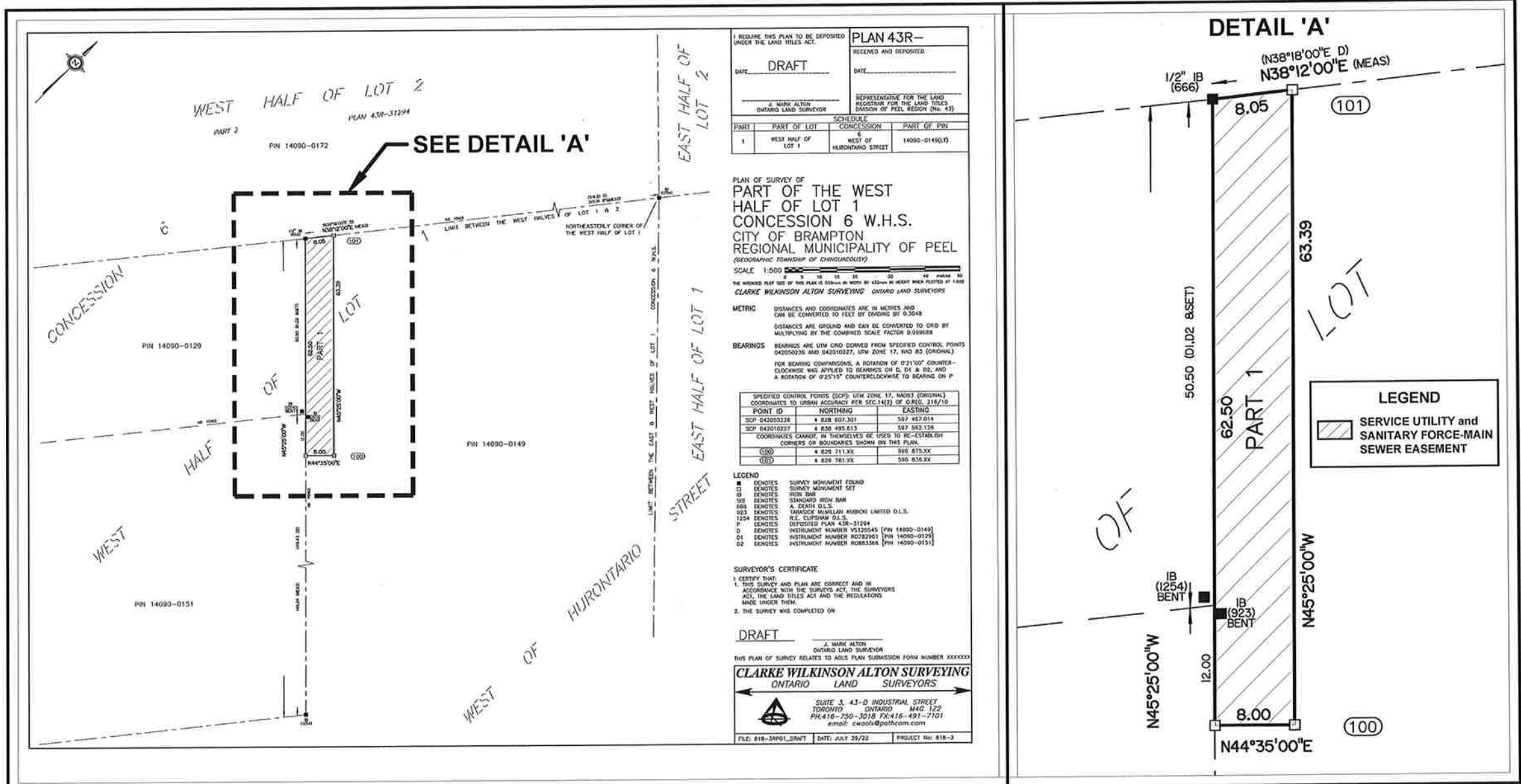
Feb 28, 2023

Date

DATE RECEIVED

February 28, 2023

Date Application Deemed Complete by the Municipality



CONSENT SKETCH - PROPOSED EASEMENT

SITE PLAN APPLICATION: SPA-2022-0043

'0' WINSTON CHURCHILL BOULEVARD

CITY of BRAMPTON

REGION of PEEL

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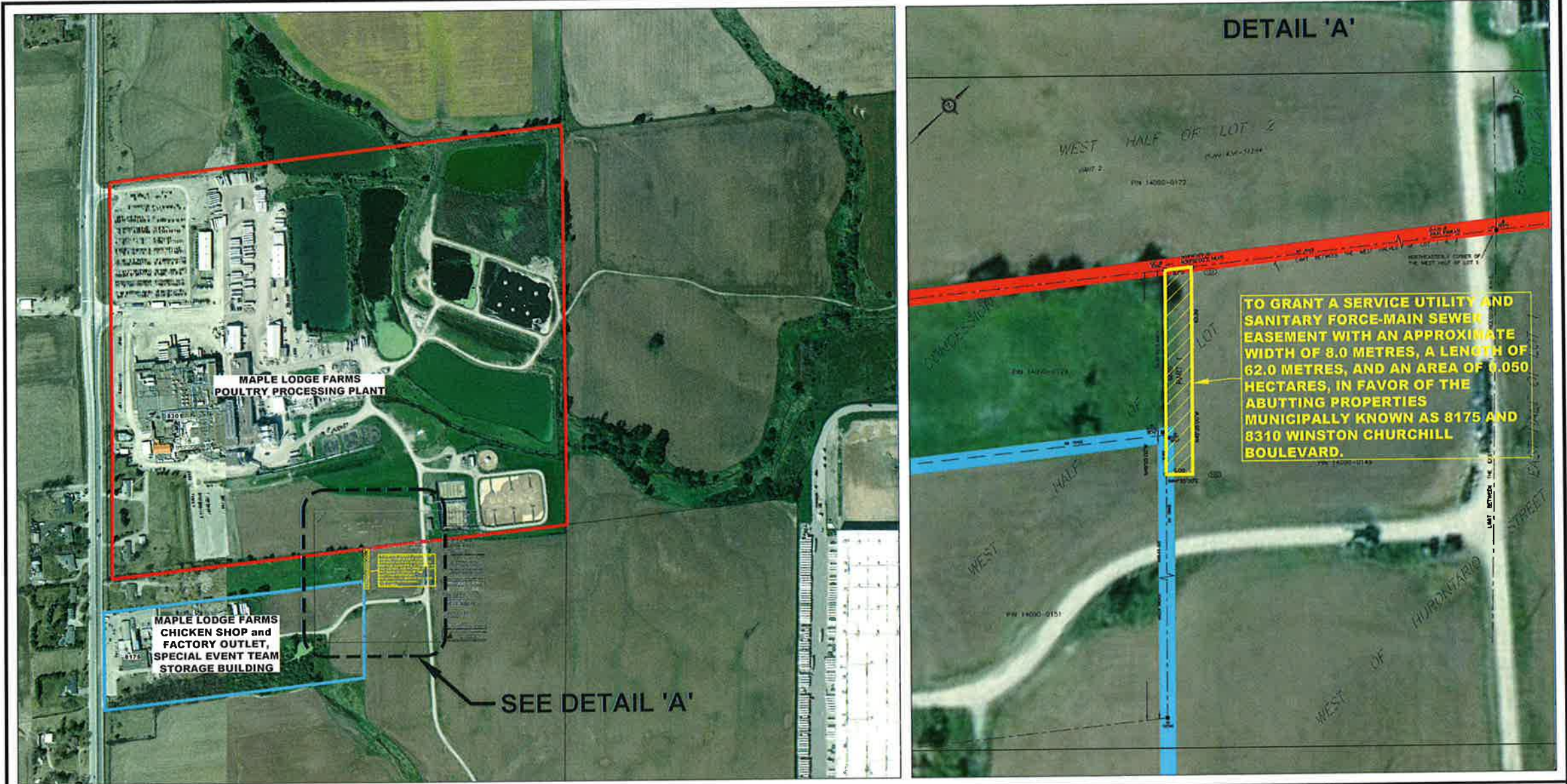
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Revised:

Drawn By: D.S.

File No.: PN 1768_Consent_Plan



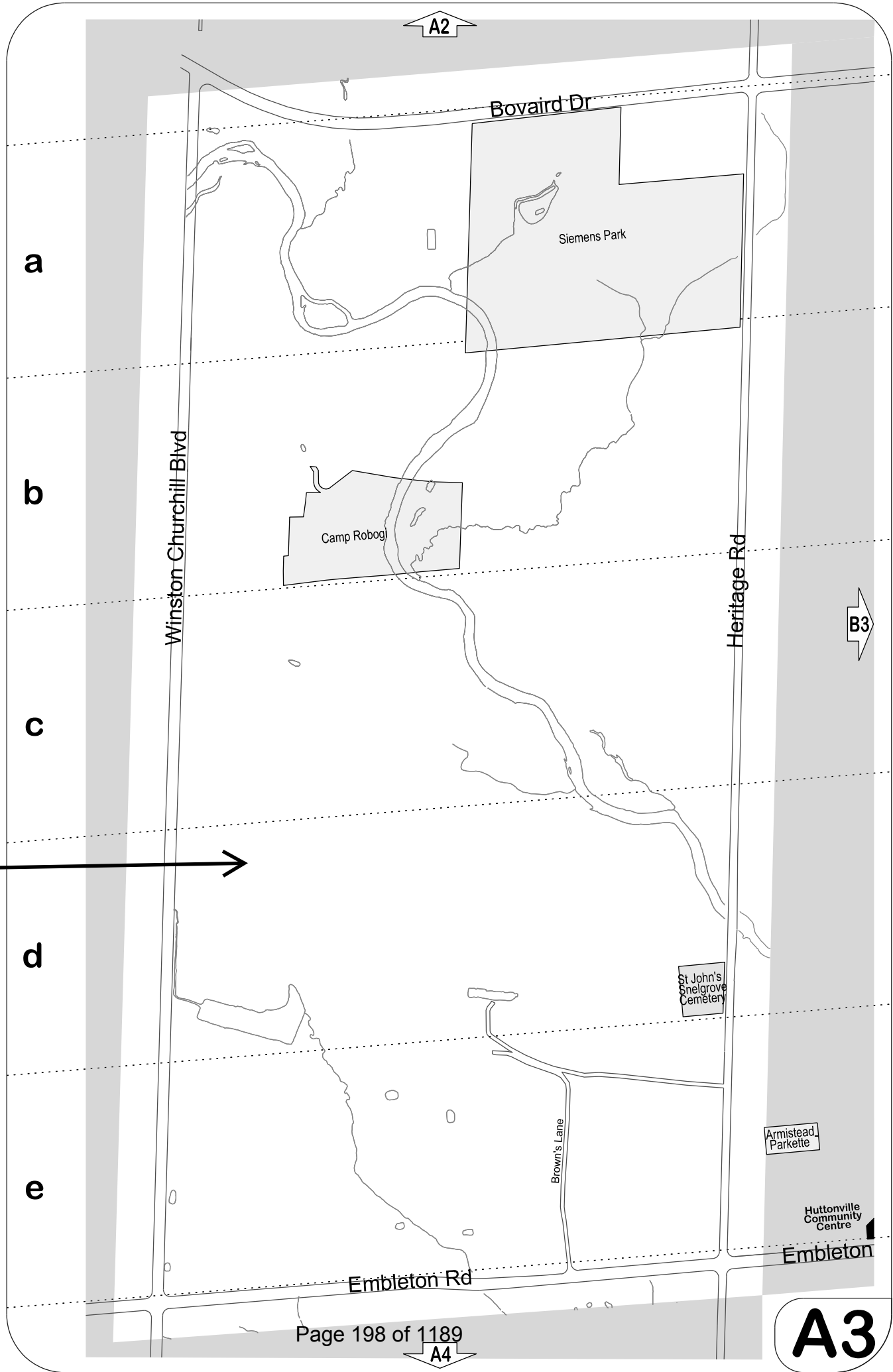


CONSENT SKETCH - PROPOSED EASEMENT
 SITE PLAN APPLICATION: SPA-2022-0043
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 CITY of BRAMPTON
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B-2023-0007



APPLICATION # B-2022-0003
Ward # 1

DEFERRED NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made by **MANUPRIYA SHARMA**

Purpose and Effect

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 876.5 square metres (0.22 acres). The proposed severed lot has a frontage of approximately 9.07 metres (29.76 feet); a depth of approximately 48.3 metres (158.46 feet) and an area of approximately 438.2 square metres (0.011 acres). It is proposed that 2 lots be established from the existing lot for future residential development of a single detached dwelling on each lot.

Location of Land:

Municipal Address: 43 David Street

Former Township: Town of Brampton

Legal Description: Lot 24, Plan BR-32, Part 2, Plan 43R-9448

Meeting

The Committee of Adjustment has appointed **TUESDAY, MARCH 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

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LAST DAY FOR RECEIVING COMMENTS: MARCH 23, 2023

=====

NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	YES	File Number: A-2022-0047 AND A-2022-0048

Decision and Appeal

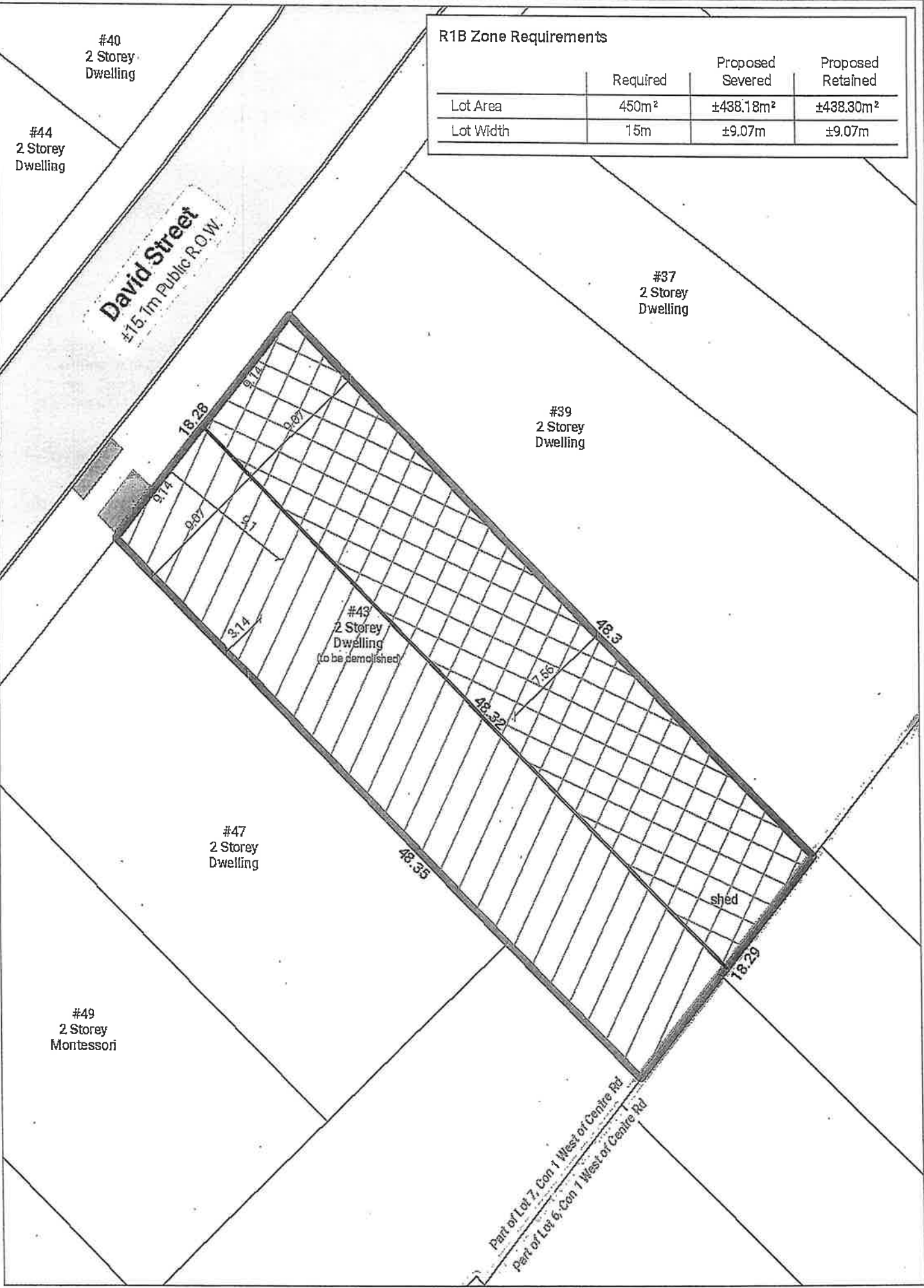
Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Local Planning Appeal Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Local Planning Appeal Tribunal Act*. The appeal form is available from the Environment and Land Tribunals Ontario website at www.elfto.gov.on.ca

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS **9th Day of March, 2023.**

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
Jeanie.myers@brampton.ca




R1B Zone Requirements			
	Required	Proposed Severed	Proposed Retained
Lot Area	450m ²	±438.18m ²	±438.30m ²
Lot Width	15m	±9.07m	±9.07m


Appendix A


Consent Sketch

43 David Street,
City of Brampton

Legend

 Subject Lands
Total Area: ±876.48m² (0.22ac)
Lot Width: ±18.13m


 Lands to be Severed
Lot Area: ±438.18m²
Lot Width: ±9.07m

 Lands to be Retained
Lot Area: ±438.30m²
Lot Width: ±9.07m

Existing Structures to be Demolished

02557.51012.5m


Scale: 1 : 300



Note: This drawing is for discussion purposes only.
Property boundary to be verified by an O.L.S.
Source: MyBrampton interactive map.

Drawn By: A.M. Date: March 23, 2022

File No: 132-22



Powell Planning & Associates

Town of New Tecumseth Mobile: 647.828.2467
County of Simcoe, ON Email: almea@powellplanning.ca

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



Powell Planning & Associates

Evolution through planning & development

B-2022-0003; A-2022-0047; A-2022-0048

43 DAVID STREET
BRAMPTON, ONTARIO

PLANNING JUSTIFICATION REPORT

MARCH 2022



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647-828-2467



PLANNING JUSTIFICATION REPORT

Applications for Severance and Minor Variance

PREPARED BY:

POWELL PLANNING & ASSOCIATES



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647-828-2467



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1.0 Introduction

1.1 Overview

Powell Planning & Associates (PPA) has been retained by Manupriya Sharma (the Landowner) to provide a request for consideration for Consent (Severance) for the purpose of creating one new residential lot, and Minor Variance to provide relief for the minimum lot area as well as the minimum lot frontage on the lands municipally known as 43 David Street, City of Brampton, and legally described as Lot 24, Plan BR-32, Part2, Plan 43R-9448, City of Brampton, Region of Peel.

See Figure 1: Context Map

This Report will review the merits of the proposed development in accordance with Provincial and Municipal land use policy to establish how the proposal demonstrates good planning. The following documents have been reviewed in this regard:

- Planning Act, R.S.O., 1990
- Provincial Policy Statement (2020)
- A Place to Grow (2020)
- Region of Peel Official Plan (2021)
- City of Brampton Official Plan (2020)
- City of Brampton Zoning By-laws (204-2010) (253-2021)



2.0 Site Description & Surrounding Land Uses

2.1 The Site

Generally rectangular in shape, the site, sloping to the north east, is located west of Main Street North, on the south side of David Street, in Brampton's central Urban Growth Centre. See **Figure 2: Aerial Photo** for site specific context. The total site area is approximately 876.5 m² (0.22 ac) and has 18.3 m (60 ft) of frontage on David Street, a Local Road, bordered by a Collector Road, Mill Street North, and a Major Arterial (City) Road, Main Street North, in accordance with **Figure 3: City of Brampton Official Plan Schedule B: City Road Hierarchy**.

In accordance with the City of Brampton's Official Plan, 2020, the lands are designated as 'Central Area' (See **Figure 4: City of Brampton Official Plan Schedule A: General Land Use Designations**) and zoned as 'Residential Single Detached B- R1B Zone' in accordance with the City of Brampton's Zoning By-laws (204-2010) (253-2021) See **Figure 5: City of Brampton Zoning By-law (204-2010) and (253-2021)**. The property currently has a 2-storey single-detached house on it with a shed located to the rear of the site. The lands are immediately surrounded by low to medium density residential uses as well as service commercial. Located on the periphery of the Mobility Hub- Anchor in accordance with **Figure 6: Region of Peel Official Plan Schedule G: Rapid Transit Corridor**, the lands are well serviced by transit, including Routes #2 and 502 Zum, while also being within a .5 km radius from the Downtown Brampton Terminal & Main Street Zum Stations, that are serviced by Routes 1, 1A, 2, 24, 25, 52, 501, 501A 502, 561 GO Train and Bus Connections and Via Rail. The subject lands are also located within the Urban Growth Centre as per the Region of Peel's Official Plan, see **Figure 7: Region of Peel Official Plan Schedule D4: The Growth Plan Policy Areas in Peel**. The lands are serviced with full municipal water and sewer, as well as waste collection services. The subject site is located outside of the Toronto Region Conservation Authority Regulated Area and is outside of the City of Brampton's Downtown Floodplain Regulations. No environmental or natural heritage features are identified on the subject lands.



The specific land uses surrounding the subject site are as follows:

North: Low to medium density residential, public green space

East: Low to medium density residential, institutional uses

South: Low to medium density residential, Downtown Brampton (Transit) Terminal

West: Low to medium density residential, industrial uses



3.0 Proposed Development

3.1 The Development

The proposed development would result in the creation of one new R1B Residential lot located on the northern portion of the subject lands through a Severance, under Section 53 of the *Planning Act*. Minor Variances under Section 45 of the *Planning Act* are also required to allow for a reduced lot area of 438.2 square metres and a reduced lot frontage of 9.1 metres. This development will allow for the creation of two new, two-storey, single-detached residential units with private rear yard amenity space in accordance with the current RB1 zoning provisions. See **Appendix A** for the proposed Consent sketch detailing the proposed Severance and Minor Variances. All existing structures on the land would be removed to facilitate future development.

The Severed lands are anticipated to be developed for residential uses permitted within the existing designation 'Central Area', however a Minor Variance would be required to provide relief for the minimum lot size and the front yard setback in order for the development to be brought into fruition. Both the Severed and Retained lands would be approximately 438.2 m² (0.1 ac) in size each with 9.1 m frontage onto David Street. Please see **Appendices B and C** for the respective Minor Variances required and the proposed future building envelopes on each site. Separate access would be required for each site via a private drive way serving each lot. Please see **Appendix D** for the Existing Dwelling Plan.

It is anticipated that the severed lot will be serviced by public water, wastewater and waste collection. The proposed development will be an opportunity to contribute to an under-supplied housing market, increase density and population targets, and aims to enhance the neighbourhood while respecting the existing character.



4.0 Planning Analysis

This section of the Planning Justification Report provides a detailed analysis of the proposed development in the context of the following provincial, regional and local policy.

4.1 The *Planning Act*

The *Planning Act*, R.S.O. 1990 (the “*Planning Act*”), as amended, is the legislative document that controls land use planning and development approvals in the Province of Ontario. Section 2 in the *Planning Act* outlines matters of Provincial Interest, which municipalities shall have regard to when making land use planning decisions, including the orderly development of safe and healthy communities, the appropriate location of growth and development, and the promotion of built form that is well designed and encourages a sense of place.

The subject proposal particularly aligns with the following Provincial Interests as outlined in the *Planning Act*:

(a) the protection of ecological systems, including natural areas, features and functions;

The proposed development does not negatively impact the ecological system nor its natural areas, features and functions as it is being proposed on a lot that is absent of said features.

(b) the protection of the agricultural resources of the Province;

The proposed development does not affect agricultural resources as it is being proposed on a lot that is absent of said features.

(f) the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems;

The proposed development aims to make efficient use of the existing transportation network, infrastructure, water and wastewater services and waste management systems by allowing for appropriately scaled density to an urban area, and better developing an underutilized site.

(h) the orderly development of safe and healthy communities;

The proposed development would allow for an additional urban residential lot to be created, fostering urban regeneration as well as the potential for diversified densities to the corridor. The



subject site also benefits from an existing sidewalk therefore is connected to the municipality's existing active transportation network, that will be better utilized through the creation of additional housing. Through adding more housing on the subject lands, there is a greater contribution to 'eyes on the street' therefore aiming to enhance neighbourhood safety.

(p) the appropriate location of growth and development;

By creating a lot on lands that are already serviced and located in an Urban Growth Centre, this proposal is successful in fostering growth and development where it is meant to occur.

(q) the promotion of development that is designed to be sustainable, to support public transit and to be oriented to pedestrians;

The subject site is located on a Local Road that is within close proximity to a Collector and Major (City) Arterial Road, is within a five-minute walk from a Regional Mobility Hub – Anchor, within the Urban Growth Centre, abuts active transportation infrastructure and benefits from its proximity to Downtown Brampton. This proposal offers to make better use of the existing site by allowing for greater density into this urban area, increasing transit use and ideally contributing to growth targets.

(r) the promotion of built form that,

(i) is well-designed,

(ii) encourages a sense of place, and

(iii) provides for public spaces that are of high quality, safe, accessible, attractive and vibrant;

With the creation of the severed lot and the required relief, there is an opportunity for the promotion of a new built form that is sympathetic to the existing character of the neighbourhood, attractive and enhances the streetscape while maintaining the present built form.

The proposed development aligns with the aforementioned Provincial Interests therefore represents good planning in accordance with the *Planning Act*.



4.2 The Provincial Policy Statement, 2020

The 2020 Provincial Policy Statement (PPS) is a broad-range policy document that provides direction for managing and directing land use to achieve efficient development and land use patterns across Ontario. The PPS promotes the focus of urban growth to settlement areas and away from significant or sensitive resources. Growth is to be obtained through efficient development patterns which optimize the use of land, resources public investment in infrastructure and public service facilities. The PPS promotes intensification within the urban area and the efficient use of municipal services in order to create sustainable living environments.

Part V of the PPS identifies the following sections that align with the objectives of the proposed development:

- 1.1 Managing and Directing Land Use to Achieve Efficient and Resilient Development Patterns
- 1.4 Housing
- 1.6 Infrastructure and Public Service Facilities
- 1.8 Energy Conservation, Air Quality and Climate Change; and
- 2.2 Water

The following PPS policies are of particular relevance to the redevelopment of the subject lands:

Section 1.1.1 states that *“healthy, liveable and safe communities are sustained by:*

- a) promoting efficient development and land use patterns which sustain the financial well-being of the Province and municipalities over the long term;*
- b) accommodating an appropriate...range and mix of residential types (including single-detached housing)...and other uses to meet long-term needs;*
- c) avoiding development and land use patterns which may cause environmental public health and safety concerns; ...*
- d) avoiding development and land use patterns that would prevent the efficient expansion of settlement areas in those areas which are adjacent or close to settlement areas; and*
- e) promoting the integration of land use planning, growth management, transit supportive development, intensification and infrastructure planning to achieve cost effective*



development patterns, optimization of transit investments, and standards to minimize land consumption and servicing costs;...”

The proposed development meets these broad policies of the PPS. The proposed development seeks to implement an efficient land use pattern, provides additional residential housing, and makes efficient use of land and resources through the desired development. Finally, the proposal supports existing public transit and active transportation as it is located within walking distance of existing higher-order transit services. The proposal also fosters active transportation and connectivity as the subject site benefits from an existing sidewalk.

The proposed development offers opportunities for intensification of an underutilized site that is consistent with the policies of the PPS. It promotes the efficient and intensified use of land located in an urban area, where municipal services are available, as directed by the PPS. The proposed development contributes to the overall density targets within the Urban Growth Centre and does not require an expansion to the built boundary.

The proposed residential development is located in an appropriate area to accommodate additional growth, as evidenced by the designation of the lands within Regional and Local Official Plans. The proposed development will not have impact on the natural environment, as there are no natural heritage features identified on the subject property. Similarly, due to both the subject land's location and current state, the development is not anticipated to have an impact on stormwater management or groundwater resources.

The proposed development aligns with many provincial policies and the overall direction of the province as to how and where growth is to occur. Therefore, the proposal represents good planning in accordance with the 2020 Provincial Policy Statement.



4.3 A Place to Grow, 2020

The Growth Plan for the Greater Golden Horseshoe (the “Growth Plan”) 2020 provides a policy framework for implementing Ontario’s vision for building stronger communities by better managing growth in the Greater Golden Horseshoe, which includes the City of Brampton. The Growth Plan directs growth to settlement areas, the utilization of existing infrastructure, prioritizes intensification and a compact built form.

Similar to the PPS, the Growth Plan contains land use planning objectives which must be considered when planning decisions are being made within the Greater Golden Horseshoe Area. The Growth Plan identifies how a change in direction for land use planning is necessary as traditional means of analysis and approval have led to an unhealthy population and environment with inefficient land use patterns. Below is an analysis of the policy statements from this key provincial policy document that are relevant to the proposed development.

The subject property is located within the City of Brampton’s built boundary. Urban development is permitted within the built boundary, based on the principle of supporting the achievement of forecasted growth within ‘Complete Communities’. These communities are defined as “Places such as mixed-use neighbourhoods or other areas within cities, towns, and settlement areas that offer and support opportunities for people of all ages and abilities to conveniently access most of the necessities for daily living, including an appropriate mix of jobs, local stores, and services, a full range of housing, transportation options and public service facilities. Complete communities are age-friendly and may take different shapes and forms appropriate to their contexts.” The City of Brampton’s Urban Growth Centre is successful at being a complete community, with plans to enhance these features.

The subject application aligns well with the broad policies of the Growth Plan. Specifically, the directions of the following sections are evident in the proposed development:

- 1.2.1 Guiding Principles
- 2.2.1 Managing Growth
- 2.2.2 Delineated Built-up Areas
- 2.2.3 Urban Growth Centres
- 2.2.4 Transit Corridors and Station Areas



- 2.2.6 Housing
- 3.2.2 Transportation – General; and
- 3.2.3 Moving People

The proposed development would abide by the policies detailed within the aforementioned sections in the Growth Plan by adding much needed residential intensification (housing) within the Urban Growth Centre, better utilizing existing infrastructure, including water and wastewater servicing, waste collection and multi-modal transit services. The proposed development aligns with many provincial policies and the overall direction of the province as to how and where growth is to occur. Therefore, the proposal represents good planning in accordance with the 2020 Growth Plan.



4.4 Region of Peel Official Plan, 2021

The consolidated Peel Region Official Plan, 2021 contains policies and related schedules that guide the type and location of land uses in the Region until 2031. These policies serve as refinements to the policies found within the PPS, the Growth Plan and are specific to the context of the Region and the composition of its lands. The subject lands are located in the 'Urban Growth Centre' according to the Region of Peel's Official Plan, where population growth and development, are meant to occur; the proposed use also aligns with the subject designation. Land uses are meant to be compact and efficient in form while maximizing available municipal services to reduce their overall costs, which aligns with the objectives of the proposed Consent and supporting Minor Variance.

The following Sections within the Region of Peel's Official Plan are of particular relevance to the redevelopment of the subject lands:

- 1.3.6 General Goals of the Plan
- Chapter 2: The Natural Environment
- Chapter 3: Resources
- Chapter 4: Regional Forecasts
- Chapter 5: Regional Structure
- Chapter 6: Regional Services
- Chapter 7: Implementation

The proposed development would align with the policies in the aforementioned Sections of the Region of Peel's Official Plan by:

- Supporting sustainable growth and development
- Not directing growth towards or within natural or cultural heritage features
- Promoting efficient land use and development patterns, efficient transportation and new, more efficient housing development
- Wisely managing the Region's resources
- Implementing growth management that improves lifestyle quality through appropriate intensification, the efficient and cost-effective utilization of land uses and existing services
- Offering additional housing in an under-supplied market, better meeting a community need



- Promoting orderly growth that is sympathetic to the existing neighbourhood character
- Offering redevelopment that will better utilize, revitalize and reuse the existing site with a use that aligns with the direction and goals of the Regional Official Plan
- Intensifying a site that benefits from an active transportation network via its sidewalk
- Adding to Urban Growth Centre Targets for population and household growth
- Directing growth to where it is meant to occur in the Urban Growth Centre to better achieve a complete community, that is also within close proximity to the Downtown Area where density benefits from mixed-uses and commercial land uses
- Fostering development that offers diversity in housing stock urban areas
- Supporting the integration of the transportation system
- Making better use of the existing sewers, watermain, utilities, municipal water, wastewater and waste disposal collection services
- Fostering the development of healthy communities

The proposal is compatible, makes better use of existing municipal services and creates a more urban compact form, while adding needed housing. The proposed development represents good planning in accordance with the policies of Region of Peel's Official Plan.



4.5 City of Brampton Official Plan, 2020

The City of Brampton's Official Plan offers policy context for the continuation of a sustainable community planning for growth and development to the year 2031. This plan is designed to assist with growth management through diverse land uses, guide strategic development and infrastructure and preserve the environment, to the benefit of existing and future residents. The City of Brampton's Official Plan designates the subject lands as 'Central Area' where the proposed use is permitted alongside encouraged mixed activities/uses. The proposed development aligns with the following Sections of the City of Brampton's Official Plan:

- 1.1 Purpose of the Official Plan
- 2.1 Physical and Environmental Considerations
- 2.2 Social and Cultural Considerations
- 2.4 The Strategic Plan: Six Pillars Supporting Our Great City
- 2.5 Policies of Other Levels of Government
- 3. Sustainable City Concept
- 4.1 Central Area
- 4.2 Residential
- 4.5 Transportation
- 4.6 Natural Heritage and Environmental Management
- 4.8 Infrastructure and Utilities

The proposed development fosters the policies in the aforementioned Sections of the City of Brampton's Official Plan by:

- Offering a development that meets the current and future needs of residents through appropriate growth management
- Directing development away from environmental features and functions and aiming to make efficient of water systems
- Diversifying and adding to the existing housing stock
- Increasing potential participation/ridership on the City's existing transportation network including active transportation



- Achieving the objectives of Provincial and Regional direction for how and where growth is meant to occur and in what form
- Encouraging development that respects the City’s resources, natural systems and growth management
- Adding to the existing complement of healthy community development
- Increasing density and compatible land uses within the Central Area
- Promoting appropriately scaled residential growth
- Providing the opportunity for better utilization of the City’s active transportation network
- Making more efficient use of existing and planned for infrastructure and utilities
- Complying with the requirements for Consent including, but not limited to, being serviced by public water and sanitary sewers

The proposed development represents good planning in accordance with the policies of City of Brampton’s Official Plan.

43 DAVID STREET

PLANNING JUSTIFICATION REPORT

MARCH 2022



4.6 City of Brampton Zoning By-law (204-2010) and (253-2021)

The purpose of the Zoning By-law is to implement the policies and objectives of the Official Plan, by regulating the use of land, buildings, and structures. The subject lands are currently zoned “Residential Single Detached B (R1B)” The R1B Zone allows for the following uses:

- a) Residential
 - a. A single detached dwelling
 - b. Supportive Housing Residence Type 1
- b) Non-Residential
 - a. A place of worship
 - b. Purposes accessory to the other permitted purposes

The proposed development for the creation of an additional R1B lot on the subject parcel therefore aligns with the permitted uses in the applicable zone. Two standards for the proposed development do not conform with the R1B Zone, whereas relief of the minimum lot area and minimum lot width are being sought through this proposal, however relief in this regard overall is minor in nature. The proposed development and any future development following the pending decision of the Consent, are expected to align with the majority of the standards in the R1B zone including:

- Minimum Lot Depth
- Minimum Front Yard Depth
- Minimum Interior Side Yard Width
- Minimum Rear Yard Depth
- Maximum Building Height
- Minimum Landscaped Open Space

Overall, the subject proposal aligns well with the City of Brampton’s Zoning By-laws (204-2010) and (253-2021) and therefore represents good planning.



4.7 Four Tests of a Minor Variance

When evaluating the merits of a Minor Variance application, the *Planning Act*, under Section 45 establishes Four Tests that are required to be satisfied, which are:

- 1- Does the proposal meet the intent of the Zoning By-law;
- 2- Does the proposal meet the intent of the Official Plan
- 3- Is the proposal desirable
- 4- Is the proposal, in fact, minor in nature.

Test #1 - Does the proposal meet the intent of the Zoning By-law

In review of the Four Fests, the requested relief from the minimum lot area and minimum lot frontage would meet the intent of the Zoning By-law. The subject lands are currently zoned ‘Residential Single Detached B-R1B Zone’ where single-detached dwellings are permitted. It is anticipated that future development on the subject lands would result in the creation of a single-detached structure on each lot. The proposed lot areas and frontages closely align with other frontages in the immediate and surrounding area with the same R1B zoning. These standards require very minor relief in accordance with the proposed development. As noted in Section 4.6 of this Report, the vast majority of the standards for the R1B zone have been respected by the subject proposal and demonstrate good planning in accordance with the City of Brampton’s Zoning.

Below is a Table that demonstrates the relief that is required for the subject development:

Table 1: Minor Variance Requested Relief in Accordance with the R1B Zone

Standard	R1B	Required	Relief
Minimum Lot Size (m²)	450	438.3	11.7
Minimum Lot Frontage (m)	15	9.1	5.9

Test #2 – Does the proposal meet the intent of the Official Plan

The development proposal would meet the intent of the Official Plan, as outlined earlier in this report. The proposed development provides an opportunity for residential intensification which is compatible with the existing area; is located in an area on full municipal services and in proximity to transit services; provides adequate off-street parking; and is appropriate in terms of scale and massing.

Test #3 – Is the proposal desirable

The proposal is desirable, as it provides an attainable housing option in a currently under-supplied market, in a stable, residential neighbourhood. The proposal would also contribute to the development of a healthy, attractive, complete and sustainable community and offers a higher and better use of fully serviced lands in the Urban Area. The proposed lot fabric is similar to that on adjacent streets such as Market Street where urban residential uses are within close proximity. Having nominally smaller lot frontages and areas in order to accommodate a larger-scale public benefit, like additional housing, represents good planning. The greater public good is being achieved through the creation of additional housing and better utilization of existing municipal infrastructure and services on the subject lot. The proposal's strategic design will enhance the neighbourhood, without impacting its character or streetscape.

Test #4 – Is the proposal minor in nature

Finally, the impact of the variances from the Zoning By-law requirements would be considered to be minor as they are within the general requirements of the Residential Zones and the single detached residential use proposed is permitted as of right in this zone category. The proposed development only requests 11.7 square metres relief for the minimum lot size of 450 square metres and 5.9 metres relief for the minimum lot frontage of the required 15 metres; therefore, the relief being sought is minor in nature.

Overall, the proposed development meets the Four Tests of a Minor Variance as it aligns with:

- 1- The intent of the Zoning By-law
- 2- The intent of the Official Plan
- 3- Being desirable for the subject lands and the neighbourhood; and
- 4- Being minor in nature



Therefore, in accordance with Section 45 of the *Planning Act*, the proposed development represents good planning.



5.0 Conclusion

The subject lands are located at 43 David Street, Brampton, and are legally described as Lot 24, Plan BR-32, Part2, Plan 43R-9448. The lands are located within the Urban Growth Centre, where growth and development are meant to occur. Applications for Consent (Severance) and Minor Variance are being made to facilitate the development for one new Singe Detached residential lot on the subject lands.

In order to develop a professional opinion regarding the consistency and conformity of the proposed development and to determine if the proposal represents good planning, a review of all relevant planning policy documents was undertaken in this report, including the *Planning Act*, the Provincial Policy Statement (2020), A Place to Grow (2020), the Region of Peel’s Official Plan (2021), the City of Brampton Official Plan (2020), the City of Brampton Zoning By-laws (204-2010) and (253-2021) and the Four Tests of a Minor Variance in accordance with Section 45 of the *Planning Act*.

The proposed development of an under-utilized residential property within an urban area offers a higher and better use of the subject property. It also offers an opportunity to intensify the land uses within the neighbourhood, while respecting its existing character, which aligns with the Provincial Policy Statement. The proposed development conforms to the intent of the Regional and City Official Plans for the development of Urban Growth Centres. The proposed development also conforms to the City’s Zoning By-laws (204-2021) and (253-2021). The proposed development will be designed to be compatible with the adjacent properties and will make efficient use of existing municipal water and sewer services.

Through this analysis it has been determined that:

- i. The proposed development is appropriate within the Urban Growth Centre as these boundaries are where growth and development are meant to occur;
- ii. The subject lands are and will be serviced by transit, full municipal water and sewer services and regional waste collection services; and
- iii. The proposed development is in character with and compatible to the surrounding area.

Based on the detailed analysis contained within this report, it is my professional opinion that the proposed development:



- i. has regard to matters of provincial interest as detailed in Section 2 of the *Planning Act*, R.S.O., 1990, as amended;
- ii. is consistent with the Provincial Policy Statement (2020);
- iii. conforms to the Provincial Growth Plan, A Place to Grow (2020);
- iv. conforms to the Region of Peel's Official Plan (2021);
- v. conforms to the City of Brampton's Official Plan (2020)
- vi. conforms to the City of Brampton's Zoning By-laws (204-2021) and (253-2021)
- vii. meets the Four Tests of a Minor Variance in accordance with Section 45 of the *Planning Act* R.S.O., 1990, as amended; and
- viii. has substantial merit, is within the best interest of the public and represents good planning

Respectfully submitted,



Aimee Powell, B.URPL., MPA, MCIP, RPP
Chief Planning Officer
Powell Planning & Associates



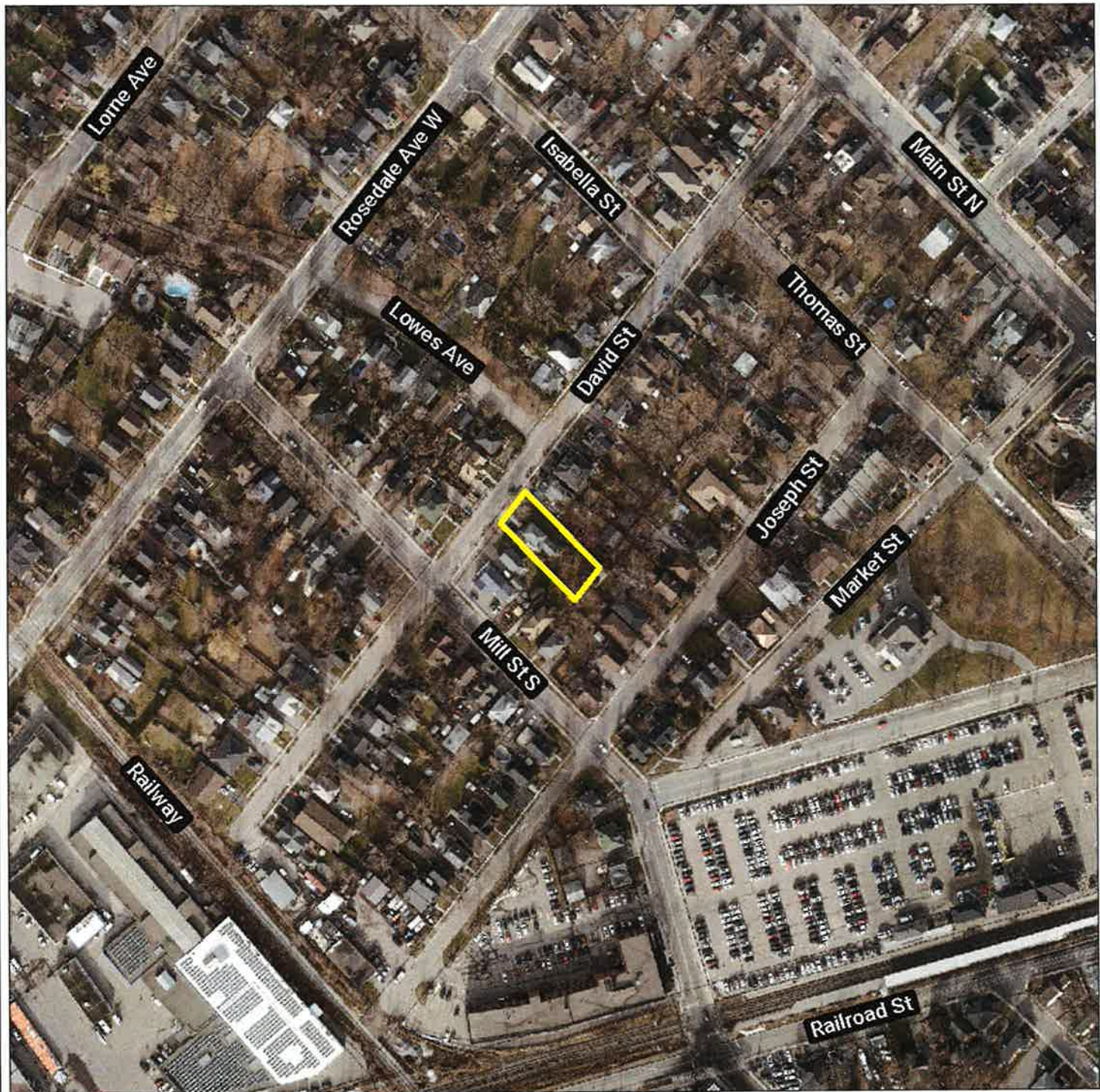



Figure 1

Context Map

43 David Street,
City of Brampton

Legend

 Subject Lands

0 25 50 75 100m
Scale: 1 : 2,500



Source: MyBrampton Interactive map.

Drawn By: A.M.

Date: February 16, 2022

File No: 132-22



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County of Simcoe, ON

Mobile: 647.828.2467
Email: aimee@powellplanning.ca



Figure 2

Aerial Photo

43 David Street,
City of Brampton

Legend

Subject Lands

051015m

Scale: 1 : 400

Source: MyBrampton Interactive map.

Drawn By: A.M.

Date: February 16, 2022

File No: 132-22

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Figure 3

**City of Brampton
Official Plan
Schedule B:
Road Hierarchy**

43 David Street,
City of Brampton

- Legend**
-  Subject Lands
 -  Collector
 -  Major Arterial (City)
 -  Major Arterial (Regional)
 -  Urban Collector

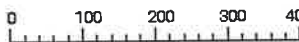


 Scale: 1 : 10,000		
Source: City of Brampton Official Plan Schedule B: Road Hierarchy, August 2020		
Drawn By: A.M.	Date: February 16, 2022	
File No: 132-22		
		
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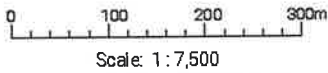
Figure 4

**City of Brampton
Official Plan
Schedule A: General
Land Use Designations**

43 David Street,
City of Brampton

Legend

-  Subject Lands
-  Central Area
-  Residential
-  Industrial
-  Open Space



Source: City of Brampton Official Plan Schedule A: General Land Use Designations, August 2021.

Drawn By: A.M.

Date: February 16, 2022

File No: 132-22



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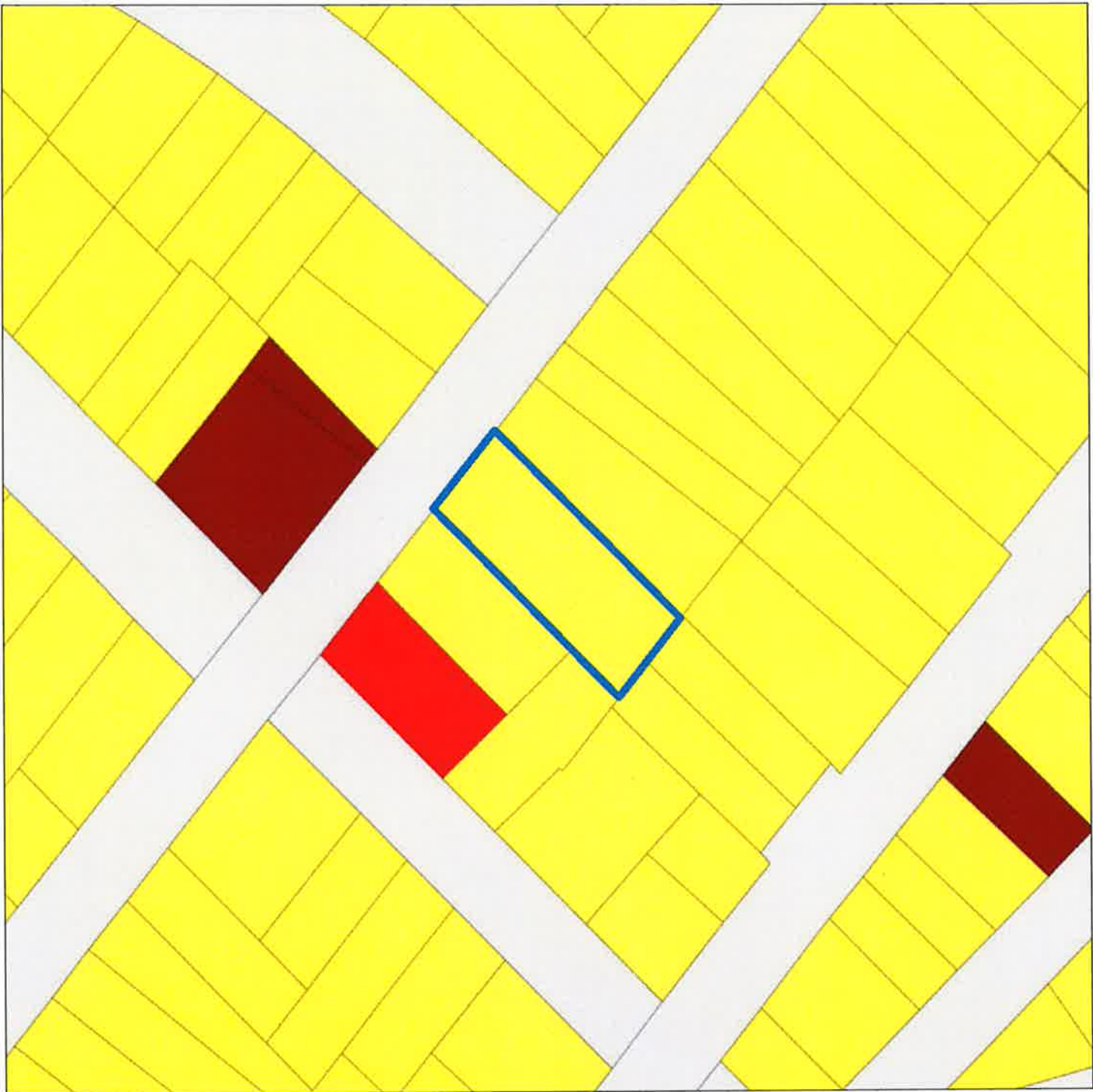


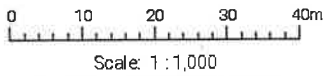
Figure 5

**City of Brampton
Zoning By-law
(204-2010) and
(253-2021)**

43 David Street,
City of Brampton

Legend

-  Subject Lands
-  Residential Single Detached B (R1B)
-  Service Commercial (SC)
-  Residential Apartment A (R4A)



Source: Brampton Planning Viewer website, February 2022.

Drawn By: A.M.

Date: February 16, 2022

File No: 132-22



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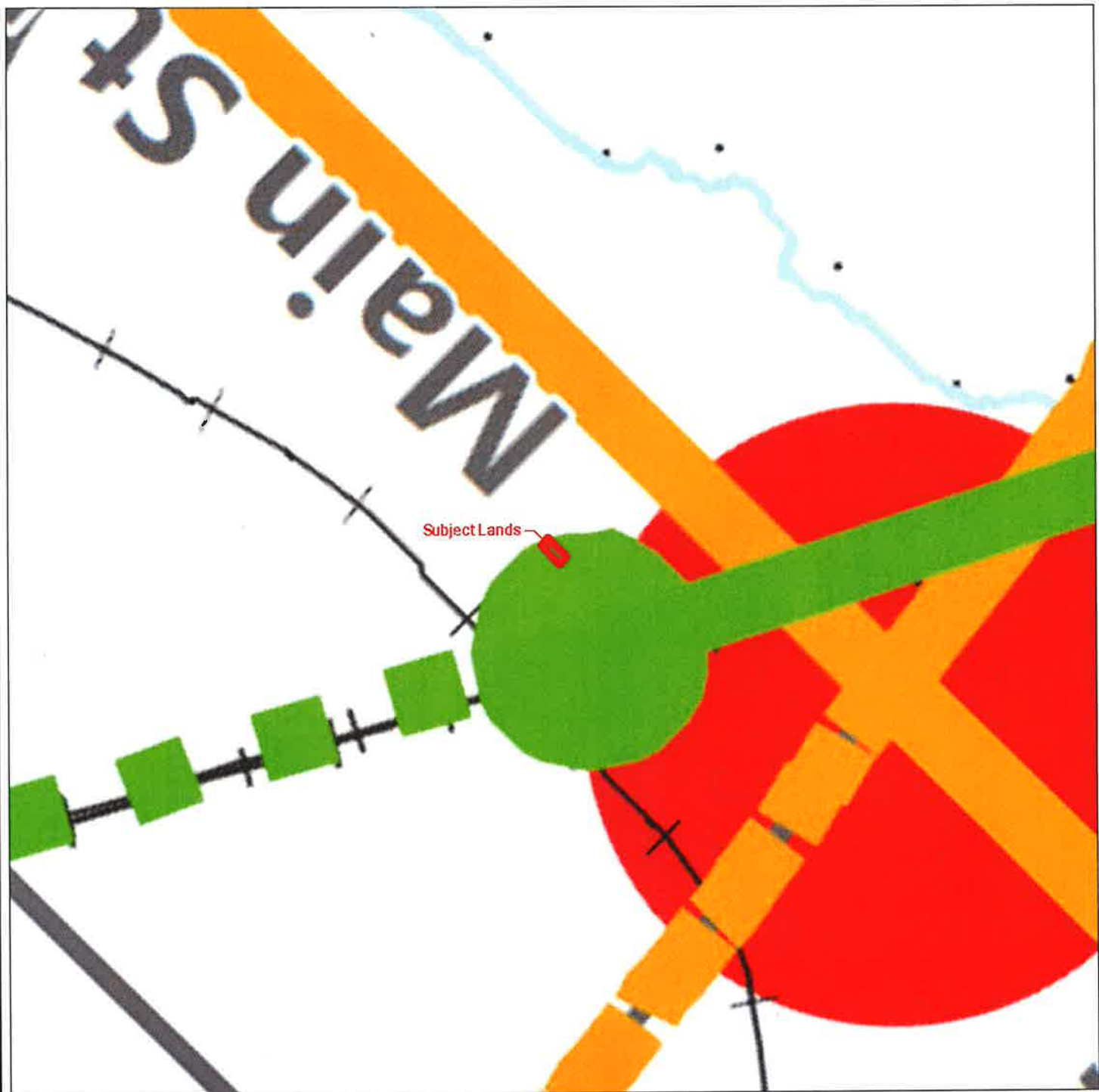


Figure 6

**Region of Peel
Official Plan
Schedule G:
Rapid Transit Corridor**

43 David Street,
City of Brampton

Legend

- Subject Lands
- Existing GO Rail Station
- Mobility Hub - Anchor
- Other Rapid Transit Corridor
- Other Potential Rapid Transit Corridor

0 100 200 300 400m
Scale: 1 : 10,000



Source: Region of Peel Official Plan Schedule G: Rapid Transit Corridor, September 2021

Drawn By: A.M. Date: February 16, 2022

File No: 132-22



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Figure 7

**Region of Peel
Official Plan
Schedule D4:
The Growth Plan
Policy Areas in Peel**

43 David Street,
City of Brampton

Legend

- Subject Lands
- Urban Growth Centre
- Built Up Area

0 100 200 300 400m
Scale: 1 : 10,000



Source: Region of Peel Official Plan Schedule D4: The Growth Plan Policy Areas in Peel, September 2021.

Drawn By: A.M.

Date: February 16, 2022

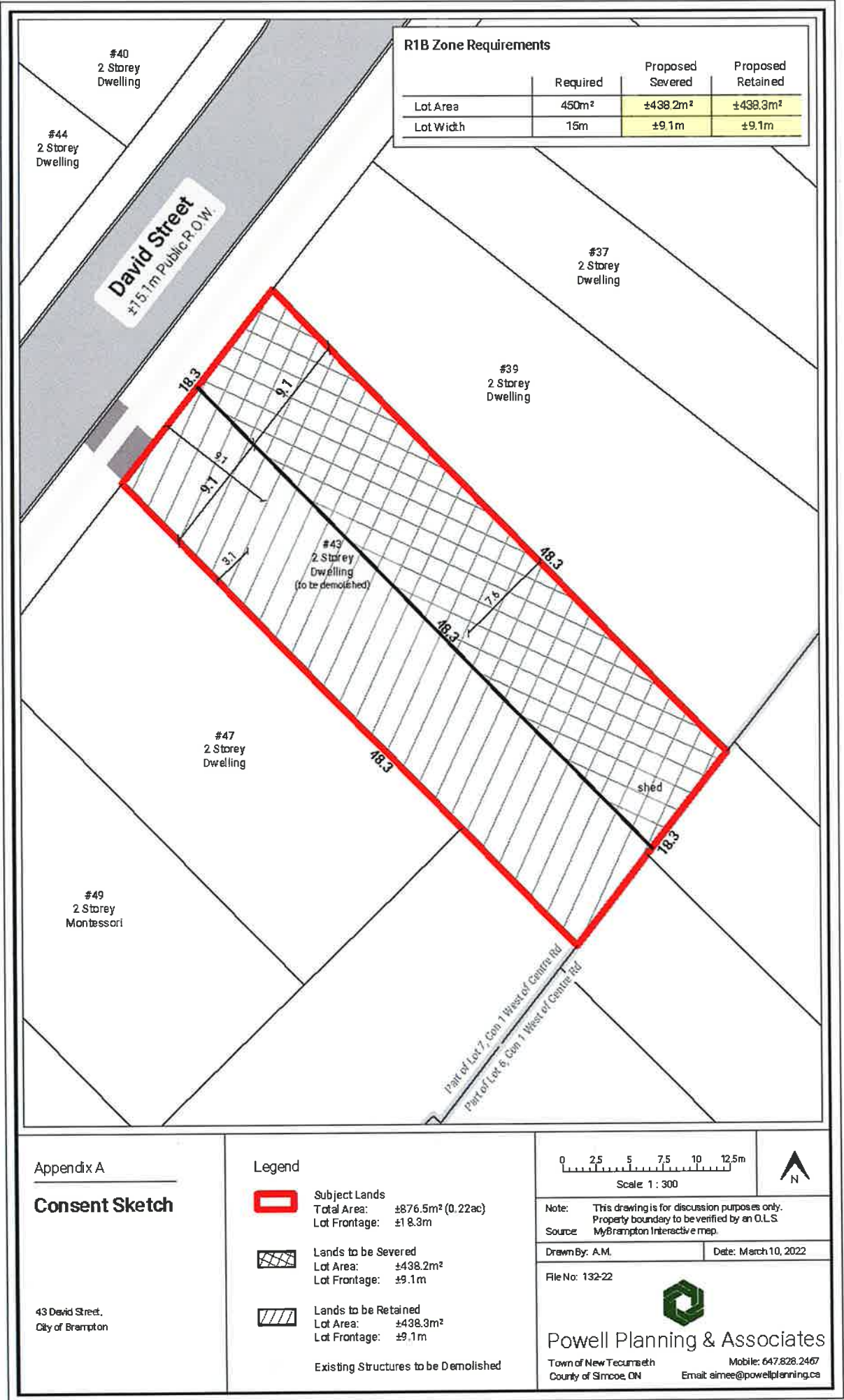
File No: 132-22

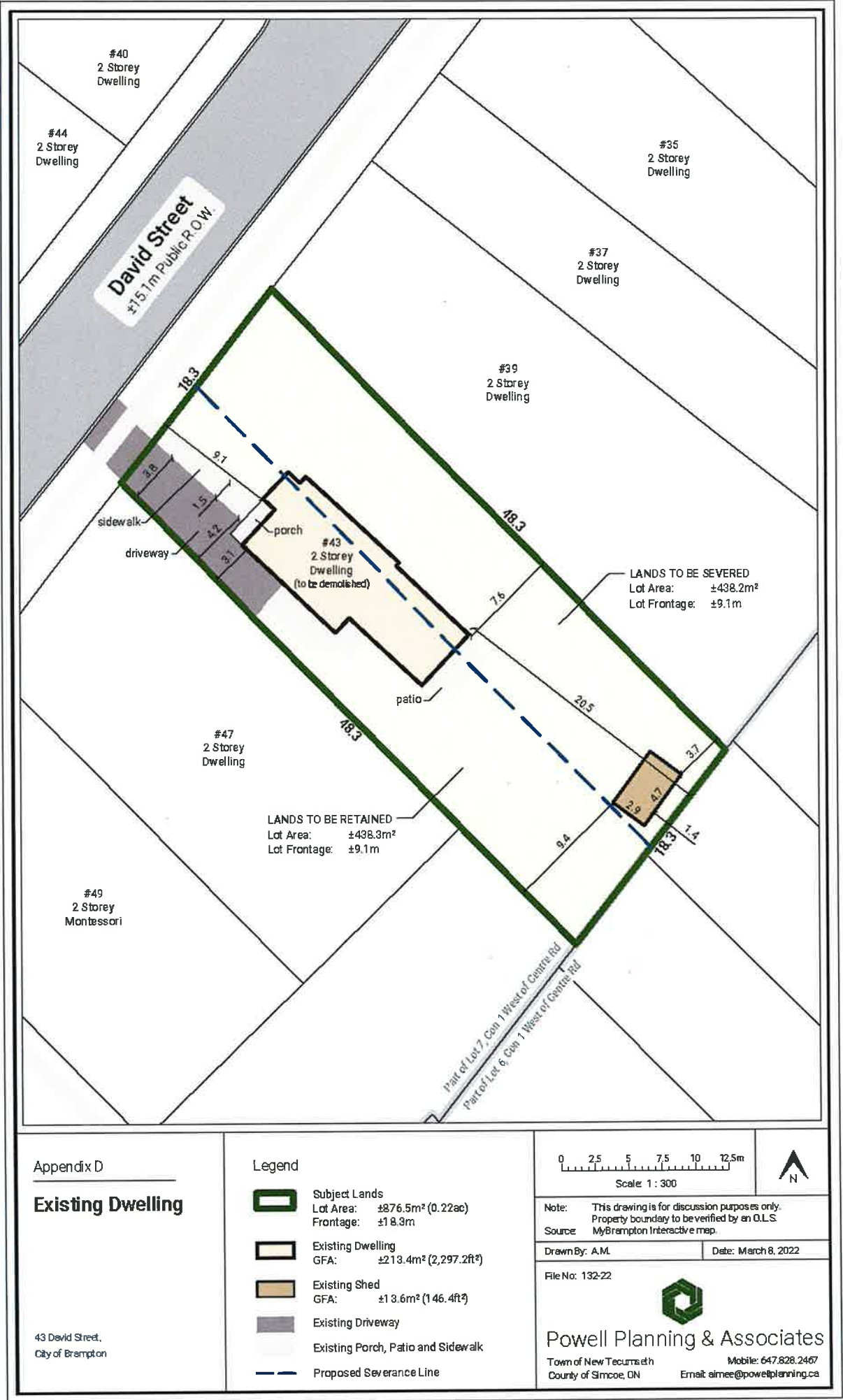


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647-828-2467





The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Consent
(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) Name of Owner/Applicant Manupriya Sharma
(print given and family names in full)
Address 43 David Street, Brampton, L6X 1J3
Phone # 647-960-0007 Fax #
Email gouravbhanot@yahoo.com

(b) Name of Authorized Agent Powell Planning & Associates c/o Aimee Powell
Address 202 Eighth Avenue, New Tecumseth, ON L9R 0H5
Phone # 647-828-2467 Fax #
Email aimee@powellplanning.ca

2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.
Specify: creation of a new lot

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.
unknown - to be sold

4. Description of the subject land ("subject land" means the land to be severed and retained):
a) Name of Street David Street Number 43
b) Concession No. Lot(s) 24
c) Registered Plan No. Plan BR-32 Part 2, Lot(s)
d) Reference Plan No. Plan 43R-9448 Lot(s)
e) Assessment Roll No. 10-04-0-035-03000-0000 Geographic or Former Township

5. Are there any easements or restrictive covenants affecting the subject land?
Yes No
Specify:

6. Description of severed land: (in metric units)

a) Frontage 9.15 m Depth 48.3 m Area 442 sq.m

b) Existing Use residential Proposed Use residential

c) Number and use of buildings and structures (both existing and proposed) on the land to be severed:
 (existing) portion of 1 existing house, and an existing shed
 (proposed) 1 residential dwelling on severed lands

d) Access will be by:

	Existing	Proposed
Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f) Water supply will be by:

	Existing	Proposed
Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify):	<u></u>	

g) Sewage disposal will be by:

	Existing	Proposed
Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Privy	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify):	<u></u>	

7. Description of retained land: (in metric units)

a) Frontage 9.15 m Depth 48.3 m Area 442 sq. m

b) Existing Use residential dwelling Proposed Use residential dwelling

c) Number and use of buildings and structures (both existing and proposed) on the land to be retained:
 (existing) portion of 1 existing house
 (proposed) 1 residential dwelling on retained lands

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	_____	

g)	Sewage disposal will be by:	Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	_____	

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	R1B _____	R1B _____
Official Plans		
City of Brampton	Central Area _____	Central Area _____
Region of Peel	Urban Growth Centre _____	Urban Growth Centre _____

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☐ No ☒

File # _____ Status/Decision _____

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☒

Date of Transfer _____ Land Use _____

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment		
Zoning By-law Amendment		
Minister's Zoning Order		
Minor Variance	A-2022-0047 A-2022-0048	CONCURRENT
Validation of the Title		
Approval of Power and Sale		
Plan of Subdivision		

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the Planning Act?
Yes ☒ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan?
Yes ☒ No ☐

14. If the answer is yes, does the application conform to the applicable Provincial Plan?
Yes ☒ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the City of Brampton
this 16th day of March, 2022.

Check box if applicable:

Signature of Applicant, or Authorized Agent, see note on next page

☐ I have the authority to bind the Corporation

DECLARATION

I, Manu Priya Sharma of the City of Brampton
in the County/District/Regional Municipality of Peel solemnly declare that all the statements contained in t
application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Brampton
in the Region of Peel
this 16th day of March, 2022

Manu Priya Sharma

Signature of applicant/solicitor/authorized agent, etc.

Signature of a Commissioner, etc.

Submit by Email

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

Tall [Signature]

Zoning Officer

March 24, 2022

Date

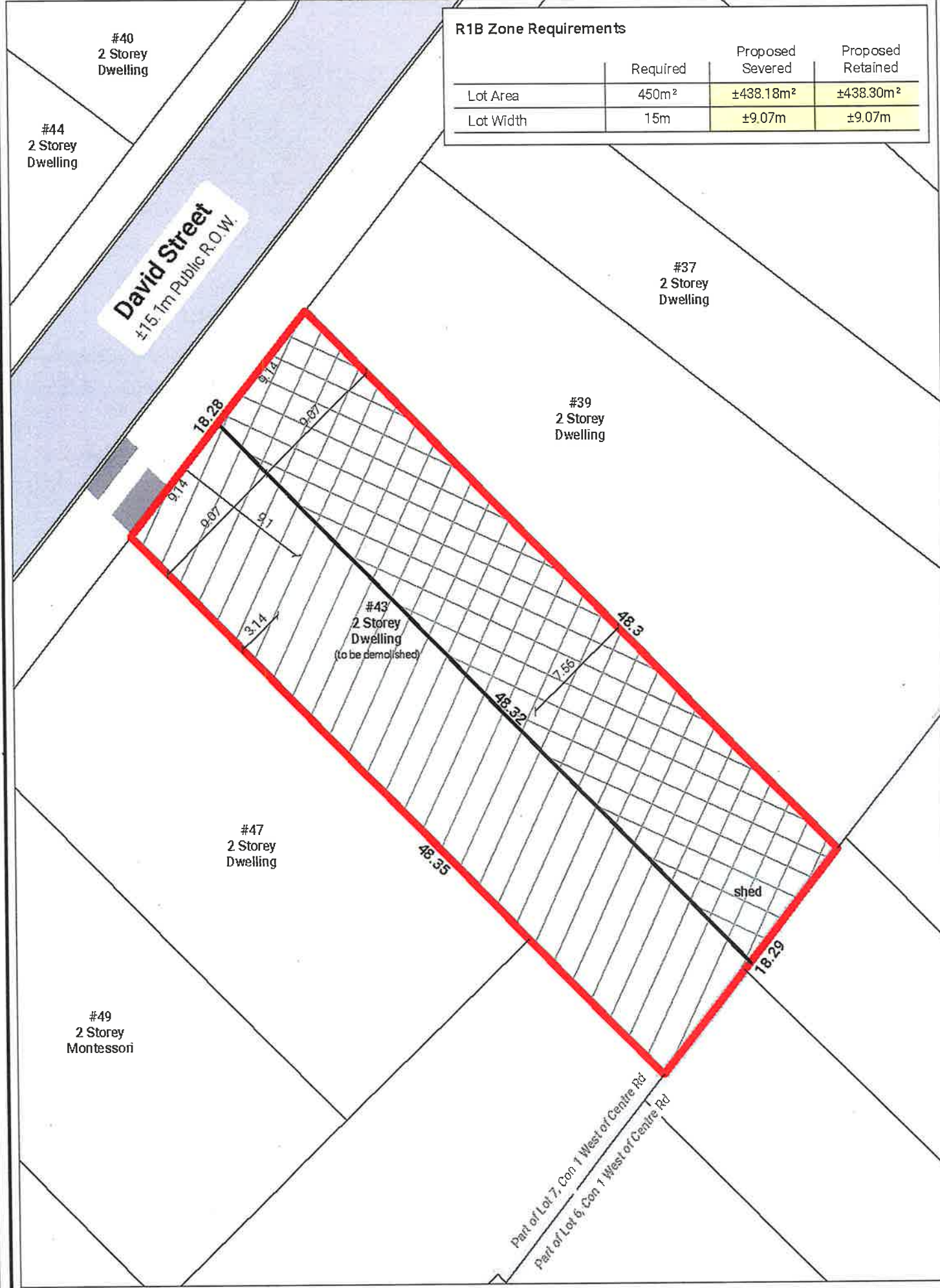
DATE RECEIVED

March 16, 2022

Date Application Deemed Complete by the Municipality

MARCH 24, 2022

R1B Zone Requirements			
	Required	Proposed Severed	Proposed Retained
Lot Area	450m ²	±438.18m ²	±438.30m ²
Lot Width	15m	±9.07m	±9.07m




Appendix A

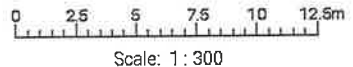
Consent Sketch

43 David Street,
City of Brampton

Legend

-  **Subject Lands**
Total Area: ±876.48m² (0.22ac)
Lot Width: ±18.13m
-  **Lands to be Severed**
Lot Area: ±438.18m²
Lot Width: ±9.07m
-  **Lands to be Retained**
Lot Area: ±438.30m²
Lot Width: ±9.07m

Existing Structures to be Demolished



Note: This drawing is for discussion purposes only.
Property boundary to be verified by an O.L.S.

Source: MyBrampton Interactive map.

Drawn By: A.M.

Date: March 23, 2022

File No: 132-22



Powell Planning & Associates

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County of Simcoe, ON

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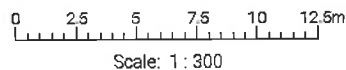
Appendix D

Existing Dwelling

43 David Street,
City of Brampton

Legend

- Subject Lands
Lot Area: ±876.5m² (0.22ac)
Frontage: ±18.3m
- Existing Dwelling
GFA: ±213.4m² (2,297.2ft²)
- Existing Shed
GFA: ±13.6m² (146.4ft²)
- Existing Driveway
- Existing Porch, Patio and Sidewalk
- Proposed Severance Line



Note: This drawing is for discussion purposes only.
Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M.

Date: March 8, 2022

File No: 132-22

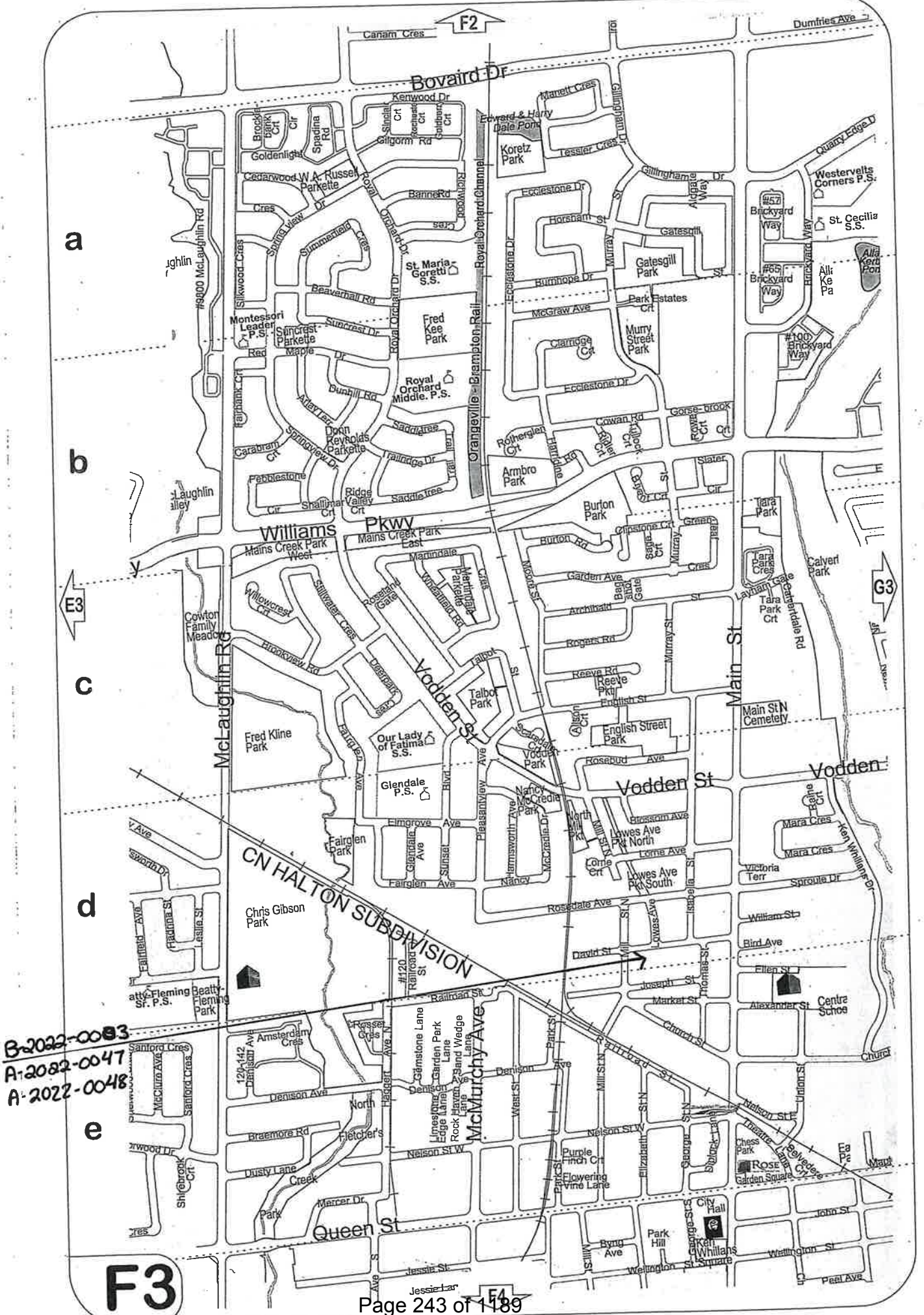


Powell Planning & Associates

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County of Simcoe, ON

Mobile: 647.828.2467
Email: almee@powellplanning.ca

B-2022-0083
A-2082-0047
A-2022-0048





Heritage Impact Assessment, 43 David Street, City of Brampton, Ontario

Project number: 2022-0122

Report Type: Original

Report Date: July 2022

Proponent: Manu Pryia Sharma

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Appendix D – Contact Sheet of All Available Photo Documentation

1. Executive Summary

Parslow Heritage Consultancy, Inc. (PHC) was retained Manu Pryia Sharma (the Proponent) to conduct a Heritage Impact Assessment (HIA) for the property located at 43 David Street, Brampton, Ontario. The proponent is applying for a consent and minor variance application as well as a demolition permit to facilitate severance of the property into two lots and eventual re-development of the property with two single or two semi-detached homes.

The purpose of this assessment is to review relevant historical documents and identify any cultural heritage resources associated with the property. To evaluate the cultural heritage value or interest (CHVI) associated with the property, provisions in the Ontario Heritage Act (OHA) under Ontario Regulation (O.Reg.) 9/06 and the Planning Act (1990) were applied.

The Subject Property is located on the southeast side of David Street, between Mill Street North and Lowes Avenue. The property contains a single late-19th century vernacular two-storey red brick residence with rear addition. Historic research indicates that 43 David Street was constructed c.1885 when the property was under the ownership of John Stewart.

The Subject Property is not currently listed or designated, per the City of Brampton's Municipal Register of Cultural Heritage Resources (Brampton 2020).

Evaluation of 43 David Street against O.Reg. 9/06 finds the structure and property to have CHVI; as such, the property is a candidate for designation under Part IV of the OHA.

In keeping with provisions of the OHA, Regulation 9/06, and the City of Brampton's *Official Plan* (2020) the following recommendation are made:

- ▶ 43 David Street be added to the Municipal Register of Cultural Heritage Resources and considered as a candidate for designation by municipal by-law under Part IV of the OHA.
- ▶ Any future alterations to the structure be limited to the rear of the structure and not impede the street exposure of the front façade or east side.
- ▶ The front veranda be subject to conservation and restored in a way that reflects the antiquity of the structure
- ▶ The development team work to incorporate the extant structure into any future redevelopment plans pertaining to 43 David Street.
- ▶ A historical commemoration be undertaken that details the history of the area and unique topography of the property and its connection to a historic tributary of Etobicoke Creek.
- ▶ Should retention in situ not be possible it is recommended that the Proponent work with the City of Brampton to relocate the extant structure to another prominent area in proximity to its current location.

The Provincial Policy Statement (2020) notes that CHVI is identified for cultural heritage resources by communities. Thus, the system by which heritage is administered in Ontario places emphasis on the decision-making of local municipalities in determining CHVI. It is hoped that the information presented in this report will be useful in those determinations.

2. Personnel

Jamie Lemon, M.A.	Project Manager
Carla Parslow, Ph.D., CAHP	Senior Cultural Resource Specialist
Christopher Lemon, B.Sc., Dip. Heritage	Lead Cultural Heritage Specialist
Paulina Scheck, M.A.	Archival Research

Acknowledgements

Marissa Lompart	Assistant Heritage Planner, City of Brampton
Manu Pryia Sharma	Proponent
Gourav Bhanot	Proponent

3. Introduction

Parslow Heritage Consultancy, Inc. (PHC) was retained Manu Pryia Sharma (the Proponent) to conduct a Heritage Impact Assessment (HIA) for the property located at 43 David Street, Brampton, Ontario (the Subject Property). The proponent is applying for a consent and minor variance application as well as a demolition permit to facilitate severance of the property into two lots and eventual re-development of the property with two single or two semi-detached homes.

The purpose of this assessment is to review relevant historical documents and identify any cultural heritage resources associated with the property. To evaluate the cultural heritage value or interest (CHVI) associated with the property, provisions in the *Ontario Heritage Act* (OHA) under Ontario Regulation (O.Reg.) 9/06 and the *Planning Act* (1990) were applied.

The site visit to assess the CHVI associated with 43 David Street was conducted by Chris Lemon on June 29, 2022.

Documentation of the property took the form of high-resolution photographs using a Nikon D5600 DSLR camera, the collection of field notes and the creation of measured drawings. This assessment strategy was derived from the *National Historic Parks and Sites Branch Canadian Inventory of Historic Buildings* (Parks Canada 1980), *Well Preserved: The Ontario Heritage Foundation Manual on the Principles and Practice of Architectural Conservation* (Fram 2003), the *Historic American Building Survey - Guide to Field Documentation* (HABS 2011) and the *Standards and Guidelines for the Conservation of Historic Places in Canada* (Parks Canada 2010). All accessible areas of the property and associated structures were assessed and documented.

The Subject Property is comprised of an approximate 883.89 square metre (0.21 acre) rectangular residential lot located in old downtown Brampton. The Subject Property fronts onto David Street and is bound by 39 David Street to the northeast and 47 David Street to the southwest. The topography of the property slopes to the northeast and contains what remains of a historic tributary of Etobicoke Creek.

The Subject Property is located in a mature residential neighborhood adjacent to the historic downtown core of Brampton and is not currently listed or designated on the City of Brampton's Municipal Register of Cultural Heritage Resources. A number of listed and designated properties are located within 150m of the Subject Property; none of the listed or designated properties are adjacent to 43 David Street (Figure 3).

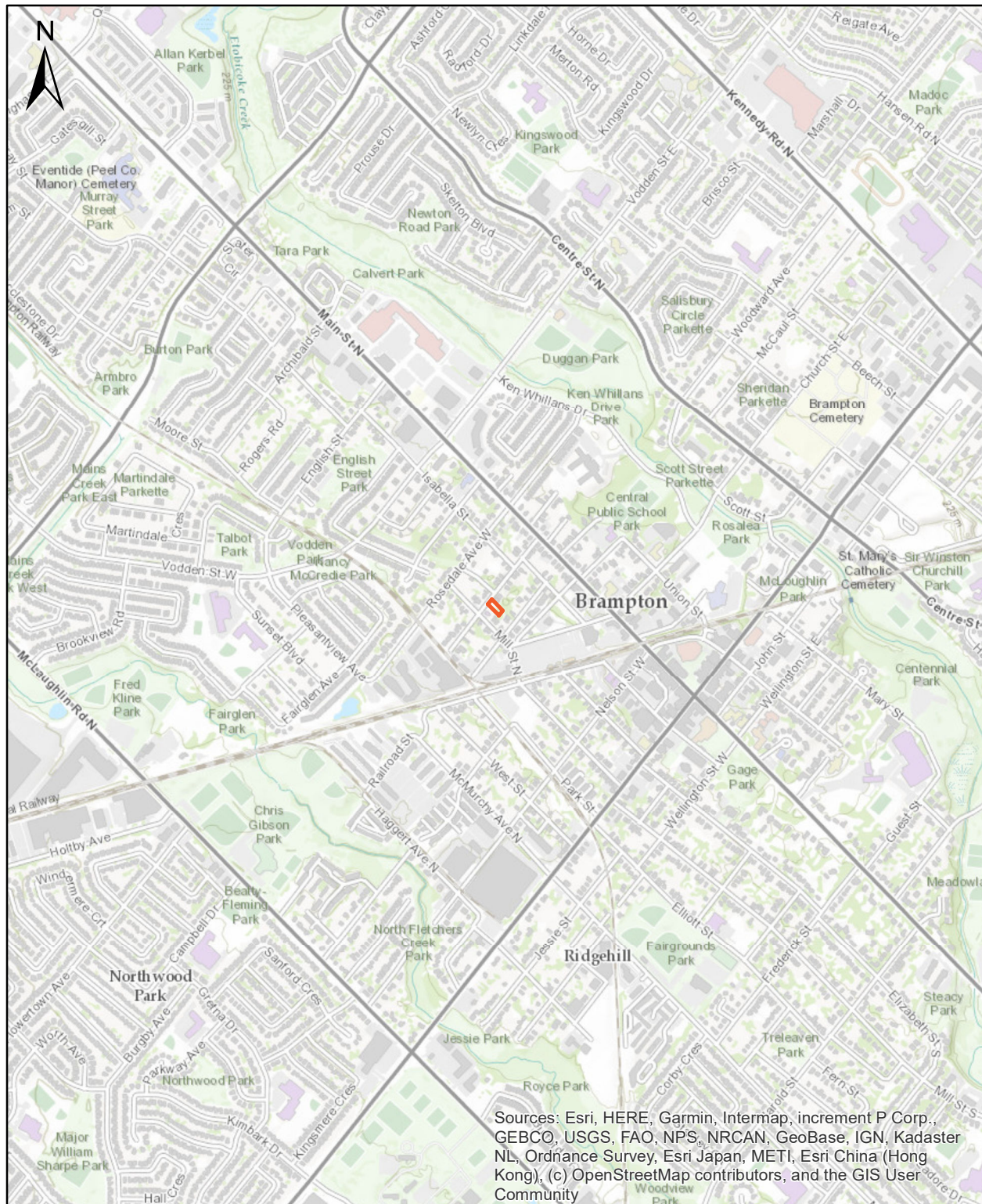
The Subject Property is most readily visible when viewed from the northeast (Figure 7). The set back of the residence and presence of mature trees in front of the structure largely obscures 43 David Street, when foliage is present, when viewed from the northwest.

Historic research indicates that 43 David Street was constructed c.1885 when the property was under the ownership of John Stewart.

3.1 Contact Information


Manu Pryia Sharma
449 Brisdale Drive
Brampton, ON
L7A 0G4

Map 1 - Study Area on Topographic Map



0 0.25 0.5 1 1:25,000
Kilometers

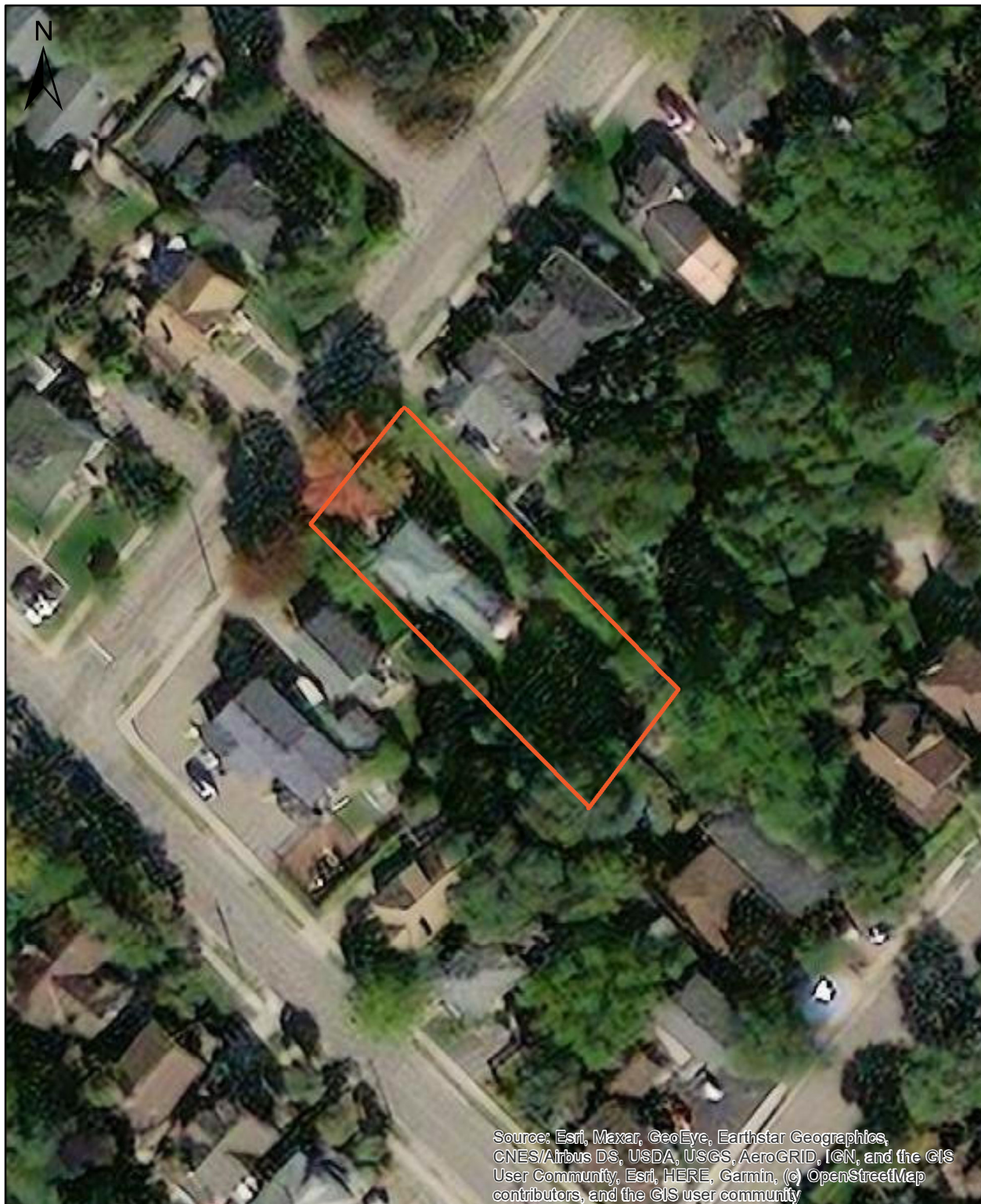
Legend

 Study Area

Heritage Impact Assessment
43 David Street, Brampton, ON




Map 2 - Study Area on Modern Aerial



0 10 20 40 1:1,000
Meters

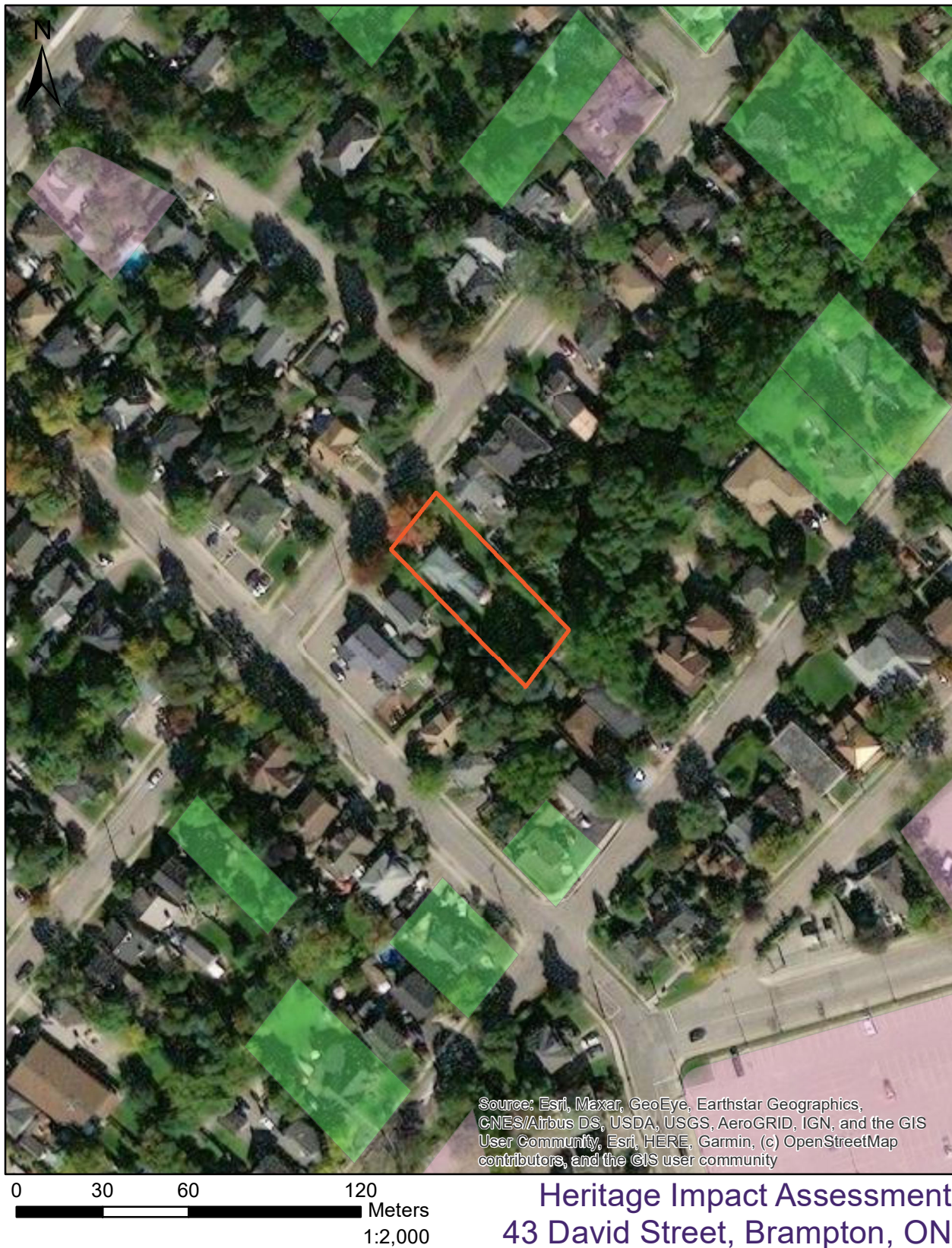
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 Study Area

Heritage Impact Assessment
43 David Street, Brampton, ON



Map 3 - Heritage Properties Near Study Area



Legend

	Study Area		DESIGNATED
			LISTED

4. Legislative and Policy Framework

The following assessment reviews provincial and municipal legislation and policies designed to protect cultural heritage resources that may be affected by development in the City of Brampton. This HIA has been prepared to meet the terms of reference set forth by the *Ontario Heritage Act*, the *Planning Act*, the *Provincial Policy Statement*, the *City of Brampton Official Plan*, as described in the 2020 Terms of Reference for Heritage Impact Assessments (Milton, 2020).

4.1 Provincial Legislation and Policy

4.1.1 Ontario Heritage Act

The criteria for determining cultural heritage value or interest are outlined in the *Ontario Heritage Act* (OHA) under Regulation 9/06. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i) is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii) displays a high degree of craftsmanship or artistic merit, or
 - iii) demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i) has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii) yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii) demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i) is important in defining, maintaining or supporting the character of an area,
 - ii) is physically, functionally, visually or historically linked to its surroundings, or
 - iii) is a landmark.

4.1.2 Planning Act

The *Planning Act* (1990) provides the legislative framework for land use planning in Ontario. Part 1, Section 2 (d) and (r) of the Act identifies matters of provincial interest.

Part I, Section 2

The Minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as,

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

(e) the promotion of built form that,

(i) is well-designed,

(ii) encourages a sense of place, and

(iii) provides for public spaces that are of high quality, safe, accessible, attractive and vibrant.

4.1.3 Provincial Policy Statement (2020)

The Provincial Policy Statement (PPS), issued under Section 3 of the *Planning Act*, came into effect on May 1, 2020. It applies to all planning decisions made on or after that date and replaced the PPS, 2014. The PPS provides direction for the appropriate regulation for land use and development while protecting resources of provincial interest, and the quality of the natural and built environment, which includes cultural heritage and archaeological resources. These policies are specifically addressed in Part V, Sections 1.7 and 2.6.

Section 1.7.1e of the PPS addresses long-term economic prosperity by “encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes”.

Section 2.6 of the PPS addresses the protection and conservation cultural heritage and archaeological resources in land use planning and development and requires the following:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.

4.2 Municipal Policy Framework

4.2.1 City of Brampton Official Plan

The *City of Brampton Official Plan* was first adopted in 2006 and was most recently consolidated in September 2020 (City of Brampton 2020a). The Official Plan states that Cultural Heritage will be preserved, and Section 4.10 of the Official Plan specifically addresses cultural heritage resources and outlines the of the City's cultural heritage resource policies:

- ▶ Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations
- ▶ Preserve, restore, and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and, preserve cultural heritage landscapes; including significant public views; and,
- ▶ Promote public awareness of Brampton's heritage and involve the public in heritage resource decisions affecting the municipality.

Section 4.10.11 of the Official Plan addresses the preferred hierarchy of options to conserve Cultural Heritage Resources, stating that:

All options for the on-site retention of properties of cultural heritage significance shall be exhausted before resorting to relocation. The following alternatives shall be given due consideration in order of priority:

- i. On-site retention in the original use and integration with the surrounding or new development;*
- ii. On-site retention in an adaptive re-use;*
- iii. Relocation to another site within the same development; and,*
- iv. Relocation to a sympathetic site within the city.*

4.2.2 City of Brampton Heritage Impact Assessment Terms of Reference 2020

HIAs in the City of Brampton are conducted under the standards set forth by their terms of reference adopted in 2020 (City of Brampton 2020b). A PDF of the TOR is available on the City of Brampton's webpage.

5. Background Research

The lands that would eventually form the Subject Property enter the historic record as part of Lot 7, Concession 1 West of Centre Road (WCR), Township of Chinguacousy on 22 February 1831, when the Crown granted the east half of Lot 7 (100 acres) to Robert Lowes and his wife. On 18 September 1855 Robert Lowes was granted a plan of subdivision for part of the east half of Lot 7, Concession 1 WCR. Following the issuing of plan of subdivision, known as BR-32, Robert commences selling small plots of land to various buyers; this process continues into the beginning of the 20th century.

The current 43 David Street property was originally identified as Lot 24 BP-32 and was sold to John Stewart on 4 October 1884. By 1891, John Stewart is listed on the census as being 54 years of age and living in a brick two-storey, 10 room house with his wife Mary (age 38), and children William (age 15), John (age 14), Annie (age 12), Alexander (age 11) and Elizabeth (age 9). It is likely this house represents the extant brick house. On 10 August 1891, John Stewart sold Lot 24 BP-32 to Edwin O. Runians. Runians secured a mortgage against the property on 16 May 1898; the property is mortgaged to Wyld, Grasett and Company, and on 28 February 1903, the mortgage is transferred to Wyld Darling Company. Later that year, Edwin O. Runians appears to default on the mortgage as Wyld Darling Company sells Lot 24 BP-32 on 1 April 1903, to Robert Broddy. Census records list Robert Broddy as a widower who was employed as a Sherrif. On 3 October 1903, Robert Broddy sold Lot 24 BP-32 to Daniel Armstrong; the 1921 Canada Census lists Daniel Armstrong, age 68, as living with his wife Sarah (age 58) and daughter Mary E. (age 33) in a brick veneered house with eight rooms (occupied by the family for living purposes). The change from 10 rooms to eight rooms between 1891 and 1921 suggest the house undergoes a renovation during this time. On 2 August 1955, the estate of a Sarah Armstrong granted 24 BP-32 to Mary E. Armstrong. On 22 August 1963, the estate of Mary E. Armstrong granted Lot 24 BP-32 to Annie E. Campbell. On 28 August 1980, Annie Campbell granted Lot 24 BP-32 to Deborah L. Bodiam. On 1 October 1985, Deborah L. Bodiam granted an unspecified part of Lot 24 BP-32 to Antonio Carson Silva, Joan I. Pacheco, Grace Pacheco, and Tony. In the same year, on 4 November, Deborah L. Bodiam granted Antonio Carson Silva, Joan I. Pacheco, Grace Pacheco, and Tony Pacheco the remainder of Lot 24 BR-32, described as part 2. On 29 July 1988, Antonio Carson Silva, Joan I. Pacheco, Grace Pacheco, and Tony Pacheco granted the property to Paul John and Judith Elizabeth Pynicky (Pynsky). The latter sold the property to Joseph Jager on 11 February 2021, who sold it to its current owner, Priya Manu Sharma, on 8 June 2021.

Table 1: Pertinent land transactions for 43 David Street

Reg. #	Inst.	Date	Grantor	Grantee	Comment
	Crown Patent	22 February 1831	The Crown	Robert Lowes	E ½ Lot No. 7 1 st concession WCR, 100 acres
BR-8	Plan of Subdivision	18 Sept 1855	Robert Lowes	Robert Lowes	Part of E ½
3572	B&S	4 October 1884	Robert Lowes et ux	John Stewart	Part of E ½ BR-8 and BR-32
5096	B&S	10 August 1891	John Stewart et ux	Edwin O. Runians	B&S, LOT 24 BP-32
5985	Mortgage	16 May 1898	Edwin Oscar Runians et ux	Frederick Wyld; Arthur W. Grasett;	Mortgage; Part as collateral security for the repayment of the sum of \$64000 and OL

				Andrew Darling under the name of Wyld; Grasett and Andrew Darling	
5667	Assumption of mortgage	28 February 1903	Wyld, Grasett & Company	Wyld Darling Company	And the premises
6688	B&S	1 April 1903	Wyld Darling Co. Ltd.	Robert Broddy	B&S, LOT 24 BR-32
6767	B&S	3 October 1903	Robert Broddy et ux	Daniel Armstrong	B&S, LOT 24 BR-32
30302	Grant	2 August 1955	Mary E. Armstrong Extrs. Sarah Armstrong Estate	Mary E. Armstrong	Grant, LOT 24 BR-32; Part Comm at NEL W along David St. 47'. Thence W 8' x S 160' x E 29' x 60' to p of b.
48353	Grant	22 August 1963	Annie A. Young in her personal capacity & as Extrx. of Mary E. Armstrong Est.	Annie N. Campbell	Grant, LOT 24 BR-32
556874	Grant	28 August 1980	Annie N. Campbell	Deborah L., Bodiam	Grant, LOT 24 BP-32; Part Comm at WL. Thence NE 8' x SE 157.24' x SW 29' x NW to p of c & O.L.
732963	Grant	1 October 1985	Bodiam, Deborah L.	Silva, Antonio Carson; Joan I. Pacheco; Grace Pacheco; Tony	Grant, LOT 24 BP-32
732963	Grant	4 November 1985	Bodiam, Deborah L.	Silva, Antonio Carson; Joan I. Pacheco; Grace Pacheco; Tony	Grant, LT24 PL BR-32; All & OL designated as PT 2 on 43R-9448
856521	Grant	29 July 1988	Silva, Antonio Carson; Joan I. Pacheco; Grace Pacheco; Tony	Pynicky, Paul John; Pynicky, Judith Elizabeth	Grant, LT24 PL BR-32; All & OL designated as PT 2 on 43R-9448
PR3780 856	Transfer	11 February 2021	Pynsky, Judith Elizabeth	Jager, Joseph Charles; Pynsky, Judith Elizabeth Estate	Transmission-Land, LT24 PL BR-32 Brampton; PT LT 23 PL BR-32 Brampton PT 2, 43R-9448
PR3848 086	Transfer	8 June 2021	Jager, Joseph Charles	Sharma, Manu Pryia	Transfer Pers Rep, LT 24 PL BR-32 Brampton; PT LT 23 PL BR-32 Brampton PT 2, 43R-9448
3572	B&S	4 October 1884	Robert Lowes et ux	John Stewart	Part of E ½ BR-8 and BR-32
5096	B&S	10 August 1891	John Stewart et ux	Edwin O. Runians	B&S, LOT 24 BP-32
5985	Mortgage	16 May 1898	Edwin Oscar Runians et ux	Frederick Wyld; Arthur W. Grasett; Andrew Darling under the name of Wyld; Grasett and Andrew Darling	Mortgage; Part as collateral security for the repayment of the sum of \$64000 and OL
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PR3848 086	Transfer	8 June 2021	Jager, Joseph Charles	Sharma, Manu Pryia	Transfer Pers Rep, LT 24 PL BR-32 Brampton; PT LT 23 PL BR-32 Brampton PT 2, 43R-9448



Figure 1: Portion of 1855 Plan of Subdivision BR-32, red outline indicates Lot 24, municipal address 43 David Street. (Plan on file with OnLand)



Figure 2: Portion of 1859 Tremaine's Map of Brampton, red outline indicates Subject Property



Figure 3: Portion of 1877 Walker and Miles Map of Peel County, Chinguacousy Township, red star indicates approximate location of Subject Property

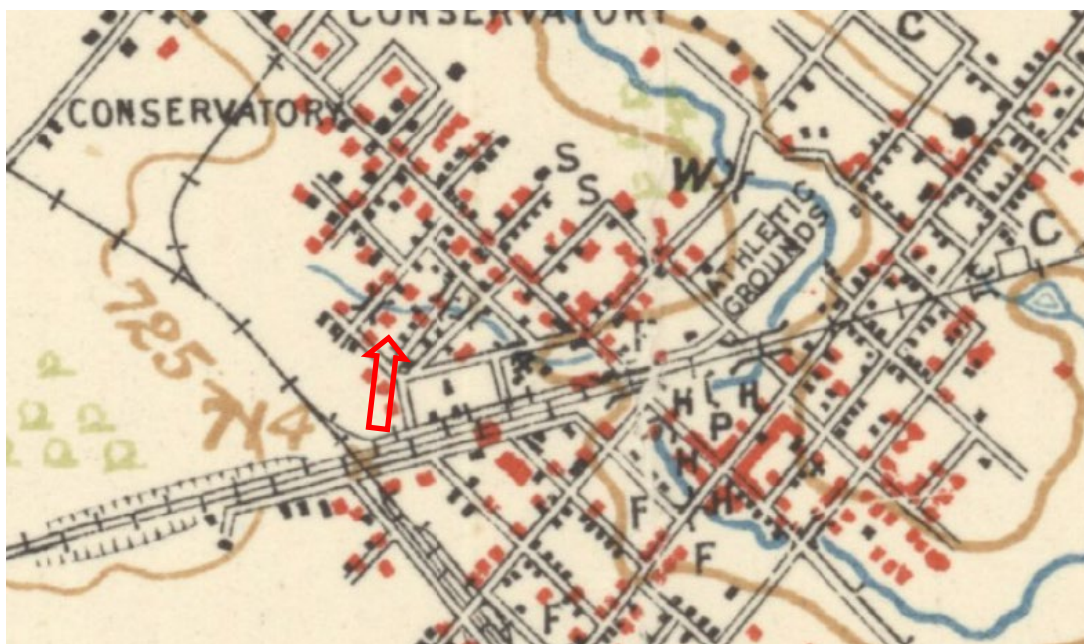


Figure 4: Portion of a 1915 topographic map of Brampton, red arrow indicates location of 43 David Street on the banks of a tributary of Etobicoke creek (map on file at McMaster University)

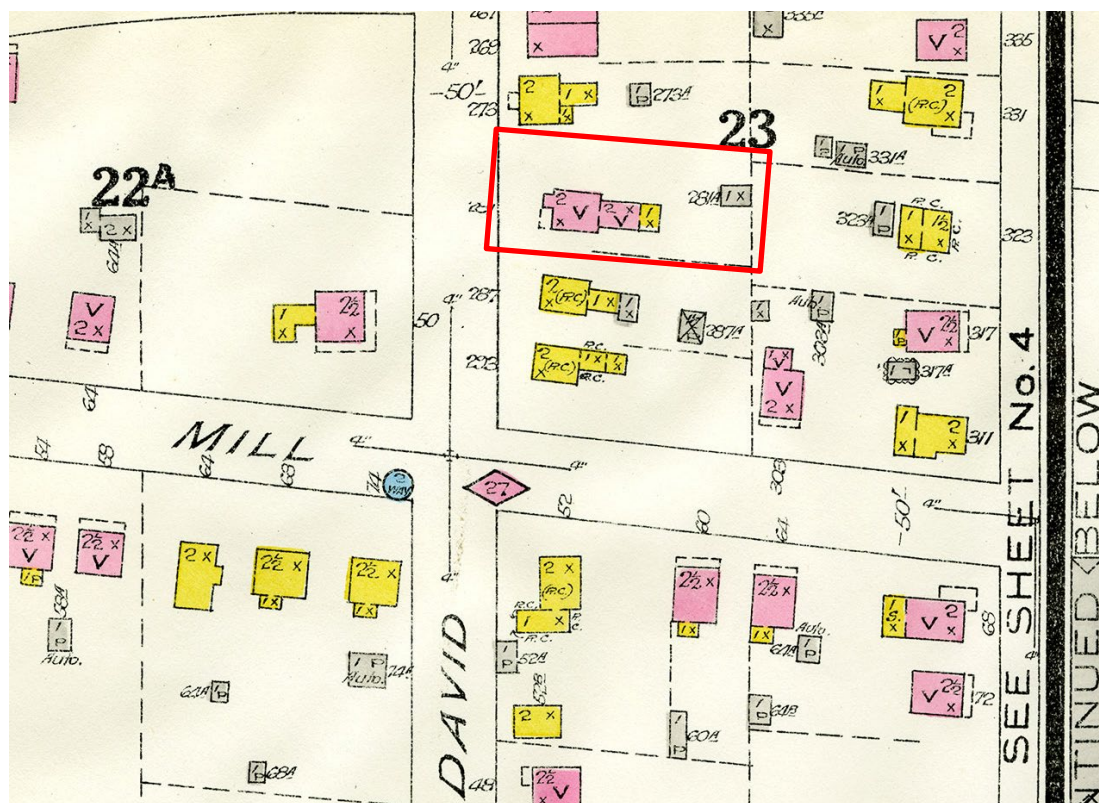


Figure 5: Portion of 1921 Fire Insurance Plan of City of Brampton, red outline indicates 43 David Street (map on file Peel Archives)



Figure 6: Portion of 1968 Aerial image, red outline indicates Subject Property (image on file with City of Toronto Library)

6. Assessment of Existing Conditions

6.1 Surrounding Area

The Subject Property is located in a mature residential neighborhood adjacent to the historic downtown core of Brampton.



Figure 7: Looking southwest down David Street from Lowes Avenue, red arrow indicates 43 David Street



Figure 8: Looking northeast down David Street from Mill Street North, red arrow indicates location of 43 David Street



Figure 9: Looking southeast down Lowes Avenue towards David Street, red arrow indicates 43 David Street

6.2 Subject Property

6.2.1 Exterior



Figure 10: Out of season image of 43 David Street, photo taken from ZOLO real-estate, date of image is unknown



Figure 11: Front façade of 43 David Street



Figure 12: Front façade of 43 David Street during site visit



Figure 13: East side of 43 David Street



Figure 14: Closeup of east side of rear addition



Figure 15: Rear face of structure

6.2.2 Exterior Details



Figure 16: Typical original two over two sash window with replacement cast lug sill (original sills were wood)



Figure 17: Close up of millwork associated with front veranda



Figure 18: Example of remaining millwork at eaves



Figure 19: Original brackets on bay window



Figure 20: Detail of field stone foundation

6.2.3 Interior



Figure 21: Entrance foyer, facing southeast



Figure 22: Main room first floor, facing southeast



Figure 23: Main room first floor, facing northwest



Figure 24: Kitchen located on first floor of rear addition, facing southeast



Figure 25: Kitchen, facing northwest



Figure 26: Rear room first floor of rear addition, facing south



Figure 27: Rear room first floor of rear addition, facing north



Figure 28: First floor bedroom, facing northwest



Figure 29: First floor bedroom, facing south



Figure 30: First floor washroom, facing northwest



Figure 31: First floor washroom, facing southeast



Figure 32: Composite image of original staircase, front foyer



Figure 33: Landing at top of stairs second floor, facing northwest



Figure 34: Hallway and landing of second floor, facing south



Figure 35: Siting room, southwest corner of second floor main structure, facing west



Figure 36: Siting room, southwest corner of second floor main structure, facing north



Figure 37: Second floor bedroom, northeast corner of original structure, facing northwest



Figure 38: Second floor bedroom, northeast corner of original structure, facing southeast



Figure 39: Second bedroom, second floor, southeast corner of main structure, facing southeast



Figure 40: Second bedroom, second floor, southeast corner of main structure, facing north



Figure 41: Second floor rear addition, facing southeast



Figure 42: Second floor rear wing, facing northwest



Figure 43: Washroom second floor, rear addition

6.2.4 Interior Details



Figure 44: Close up of original balustrade and trim as seen in front entrance



Figure 45: Detail of decorative scroll work on staircase



Figure 46: Example of original metal heat register



Figure 47: Example of original doors



Figure 48: Original multi-coloured glass as seen in original 'Queen Anne' style bay window.

7. Evaluation of Cultural Heritage Value or Interest

O.Reg. 9/06 prescribes the criteria for determining the CHVI of a property. The regulation requires that, to be designated, a property must meet “one or more” of the criteria grouped into the categories of Design/Physical Value, Historical/Associative Value, and Contextual Value (MTCS 2006a). Table 2 lists these criteria and identifies if the criteria were met at 43 David Street; these criteria are expanded on below.

7.1 Regulation 9/06 Evaluation of 43 David Street

Table 2: Criteria for determining CHVI as per Ontario Regulation 9/06

O.Reg 9/06 Criteria	Criteria Met (Y/N)	Justification
The property has design value of physical value because it:		
I. Is a rare, unique, representative or early example of a style, type, expression, material, or construction method	Y	The residence is representative of common vernacular design that does not adhere to a specific architectural style. Structure dates to the Victorian Period (1840-1900) and incorporates decorative millwork popular in the Victorian period and incorporates a Queen Anne Style window in front bay. Has a unique squat appearance due to lack of separation between second story structural openings and soffit.
II. Displays a high degree of craftsmanship or artistic merit, or	N	Structure depicts standard frame construction with red brick veneer, typical of the late 19th century.
III. Demonstrates a high degree of technical or scientific achievement.	N	Structure does not deviate from standard construction practices of the era.
The property has historical value or associative value because it,		
I. Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community,	Y	The property and structure are associated with the general theme of community growth. 43 David Street appears to be one of the earlier examples of residential expansion in the area. Historic records do not indicate a connection to any events or persons of significance to a community.
II. Yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or	N	Property does not have potential to yield new information that would contribute to the understanding of a community or culture.
III. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	N	None observed, structure is of vernacular form reflecting the standard architectural tastes of the day.
The property has contextual value because it,		

I. Is important in defining, maintaining, or supporting the character of an area	Y	Structure contributes to supporting the historic residential development of Brampton. The structure is important to supporting the heritage atmosphere and character of the area.
II. Is physically, functionally, visually, or historically linked to its surroundings	Y	Structure is visually linked to the surrounding streetscape. Property is part of the overall heritage viewscape of the area. Structure is historically linked to the surrounding area as it represents one of the older structures on the south side of David Street.
III. Is a landmark	N	Property is not a landmark.

7.1.1 Design Value or Physical Value

43 David Street is a vernacular example of Victorian era residential construction that does not conform to established major architectural styles. The structure displays well executed decorative millwork and a unique window finish on front bay. The lack of separation between second storey structural openings and soffit line give the structure a squat appearance.

7.1.2 Historic Value or Associative Value

43 David Street is an example of early suburban residential growth and is one of the earlier examples of residential growth as shown by historic mapping.

7.1.3 Contextual Value

43 David Streets displays significant contextual value. The residence is unique in the area as is its positioning within its lot. The property depicts one of the earlier expansions of the historic core of Brampton and the topography of the lot reflects the construction of the structure on a historic tributary of Etobicoke creek. The property is part of a well-defined collection of heritage homes and is a contributing factor to the historic streetscape and character of the area.

7.2 Character Defining Attributes of 43 David Street

- ▶ Massing of two-storey residential structure, “T” shaped plan
- ▶ Hip roof with gable rear addition
- ▶ Unique presentation at soffit, no space between structural openings and soffit, resulting in a squat appearance to the front façade.
- ▶ Decorative millwork at corners
- ▶ Decorative millwork and brackets associated with bay window and veranda
- ▶ Original wooden sash windows
- ▶ Unique design of front bay window incorporating coloured glass
- ▶ Unique placement on lot, structure originally constructed on the bank of a tributary of Etobicoke Creek, this is reflected in the steep slope on northeast side of property

8. Draft Statement of Significance

43 David Street is a vernacular example of late 19th century Victorian era residential construction that does not conform to established major architectural styles. The structure displays well executed decorative millwork on the front veranda and at eave corners, as well as a unique 'Queen Anne style' window finish on front bay. The lack of separation between second storey structural openings and soffit line gives the structure a unique squat appearance. Historic research indicates that 43 David Street was constructed c.1885 when the property was under the ownership of John Stewart.

The property is also unique in that it retains the historic topography of the area related to a former tributary of Etobicoke Creek.

43 David Street retains examples of original wood sash windows as well as original examples of bracketing, and mill work associated with the front veranda and bay window.

The interior has been extensively re-modeled but retains examples of original trim work and some original doors. The most striking feature of the interior is the original staircase and balustrade coupled with curved plaster work. The rear wing appears original to the structure, but all original interior finishes have been lost. While examples of original trim work remain most of the trim in the house is (well executed) modern reproduction.

Character Defining Attributes of 43 David Street

- ▶ Massing of two-storey residential structure, "T" shaped plan
- ▶ Hip roof with gable rear addition
- ▶ Unique presentation at soffit, no space between structural openings and soffit, resulting in a squat appearance to the front façade.
- ▶ Decorative millwork at corners
- ▶ Decorative millwork and brackets associated with bay window and veranda
- ▶ Original wooden sash windows
- ▶ Unique design of front bay window incorporating coloured glass
- ▶ Unique placement on lot, structure originally constructed on the bank of a tributary of Etobicoke Creek, this is reflected in the steep slope on northeast side of property

9. Description of the Proposed Development or Alteration

The proponent is applying for a consent and minor variance application as well as a demolition permit to facilitate severance of the property into two lots and eventual re-development of the property with two single or two semi-detached homes. Available development mapping is provided in Appendix B.



Figure 49: Excerpt of proposed lot severance in relation to extant structure

10. Impact of Development or Alteration on Heritage Status

In keeping with the guidelines of the MTCS *Info Sheet #5 Heritage Impact Assessment and Conservation Plans* and the City of Brampton's Heritage Impact Assessment Terms of Reference, the following were reviewed to further assess any potential negative impacts on the property's CHVI arising from the proposed site re-development (MTCS 2006b):

Removal of any, or part of any significant heritage attributes or features:

- ▶ Demolition of 43 David Street would remove all identified heritage attributes of the property
- ▶ Demolition of 43 David Street would result in direct impact the heritage character of the surrounding area
- ▶ Alteration of grade would negate the topographic connection to historic tributary of Etobicoke Creek

Alteration that impacts the historic fabric and appearance:

- ▶ The demolition of 43 David Street would result in direct impact to the historic fabric of the area and the overall appearance of the surrounding streetscape.

Shadow impacts that alter the appearance and/or setting of a heritage attribute, or change in the viability of an associated natural feature or plantings, such as a garden:

- ▶ Retention of the structure is not being considered and as such no shadow studies are available at this time.
- ▶ Structure is not intended to be retained and as such future shadows will have no impact on identified heritage attributes.

Isolation of a heritage attribute from its surrounding environment, context, or a significant relationship:

- ▶ Demolition of 43 David Street would alter the relationship between structures that currently abut the Subject Property.
- ▶ Demolition would result in the loss of context and subsequent redevelopment of the lot would alter the topography of the lot and result in the loss of connection to the historic tributary of Etobicoke Creek

Direct or indirect obstruction of significant view or vistas within, from, or of built and natural features:

- ▶ No significant views into or out of the Subject Property or residence were identified

A change in land use where the change in use negates the property's cultural heritage value:

- ▶ Proposed redevelopment of the lot would require demolition of the existing structure and eliminate the property's CHVI.

Land disturbances such as a change in grade that alters soil and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources:

- ▶ Property exhibits archaeological potential given its connection to a historic tributary of Etobicoke creek.
- ▶ Property should be subject to archaeological assessment prior to any alteration of the property.

11. Considered Alternatives and Mitigation Strategies

Evaluation of 43 David Street against the terms of O.Reg. 9/06 (Table 2) shows the property to have CHVI and to be a candidate for designation under Part IV of the OHA.

The following mitigation strategies should be considered by the City of Brampton during review of the associated application:

1. The property is a candidate for designation under Part IV of the OHA and should be considered for designation by the City of Brampton
2. Per the City of Brampton's Official Plan, every effort should be made to retain and restore 43 David Street as a single-family home. Retention and retrofit would include:
 - a. Restoration of the original 'T' shaped structure, structure could be augmented with a rear addition.
 - b. Interior and exterior renovation to provide for a contemporary living experience, and be in keeping with the antiquity of the structure
3. Implement a historical commemoration on the property that details the history of the area and unique topography of the property.
4. The Proponent has indicated that the retention of 43 David Street is not feasible given their desire to subdivide the lot; Per the City of Brampton's Official Plan, if the City approves the forthcoming demolition permit, relocation of the structure should be considered.

12. Recommendations

Evaluation of 43 David Street against O.Reg. 9/06 finds the structure and property to have CHVI; as such, the property is a candidate for designation under Part IV of the OHA.

In keeping with provisions of the OHA, Regulation 9/06, and the City of Brampton's *Official Plan* (2020) the following recommendation are made:

- ▶ 43 David Street be added to the Municipal Register of Cultural Heritage Resources and considered as a candidate for designation by municipal by-law under Part IV of the OHA.
- ▶ Any future alterations to the structure be limited to the rear of the structure and not impede the street exposure of the front façade or east side.
- ▶ The front veranda be subject to conservation and restored in a way that reflects the antiquity of the structure
- ▶ The development team work to incorporate the extant structure into any future redevelopment plans pertaining to 43 David Street.
- ▶ A historical commemoration be undertaken that details the history of the area and unique topography of the property and its connection to a historic tributary of Etobicoke Creek.
- ▶ Should retention in situ not be possible it is recommended that the Proponent work with the City of Brampton to relocate the extant structure to another prominent area in proximity to its current location.

The Provincial Policy Statement (2020) notes that CHVI is identified for cultural heritage resources by communities. Thus, the system by which heritage is administered in Ontario places emphasis on the decision-making of local municipalities in determining CHVI. It is hoped that the information presented in this report will be useful in those determinations.

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Appendix A



Senior Heritage Specialist – Carla Parslow, PhD, CAHP Member in Good Standing: Dr. Carla Parslow has over 20 years of experience in the cultural heritage resource management (CHRM) industry in Canada. As the President of PHC Inc., Dr. Parslow is responsible for the management of CHRM projects, as well as the technical review and quality assurance of all archaeological and cultural heritage projects completed by PHC. Throughout her career, Carla has managed both large and small offices of CHRM professionals and has mobilized both large (50+) and small (4+) teams of CHRM and Environmental projects offices throughout the province of Ontario. Dr. Parslow has served as either Project Manager or Project Director on hundreds of Archaeological and Cultural Heritage Assessments. Dr. Parslow is a professional member of the Canadian Association of Heritage Professionals (CAHP).

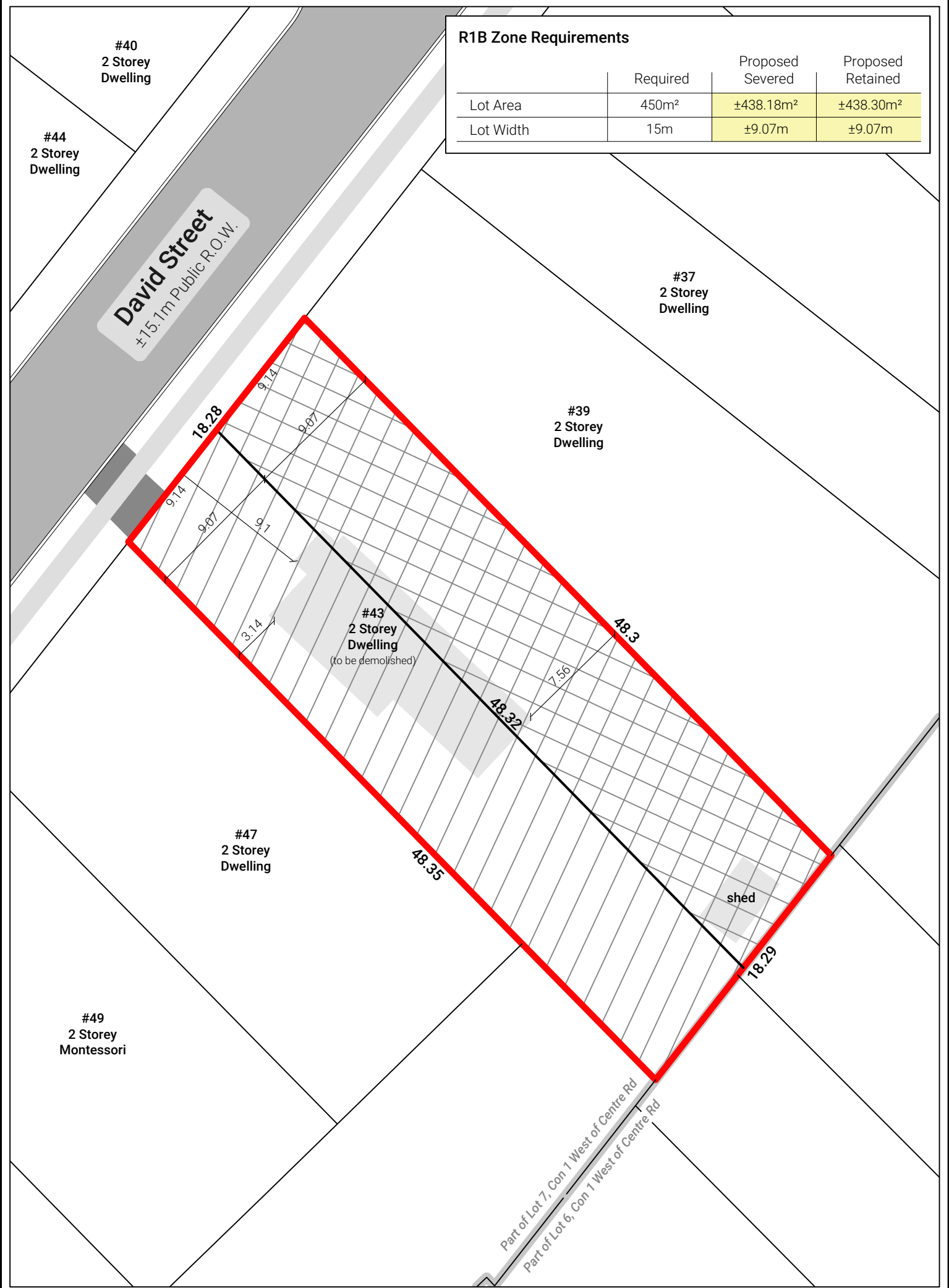
Dr. Parslow is also responsible for the overall quality assurance.

Heritage Specialist – Chris Lemon, B.Sc., Dip. CAHP Member in Good Standing: Chris Lemon is a Cultural Heritage Specialist and Licensed Archaeologist (R289) with 15 years' experience. He received an Honours B.Sc. in Anthropology from the University of Toronto and has completed course work towards an M.A. from the University of Western Ontario. Mr. Lemon has a Diploma in Heritage Carpentry and Joinery and a Certificate in Heritage Planning from Algonquin College. During his career Mr. Lemon has participated in cultural heritage assessments across Ontario as both a Senior Field Director in archaeology and as a Built Heritage Practitioner. Chris's previous experience includes representation on Joint Health and Safety Committees; he is dedicated to maintaining a safety-first focus on all job sites. Chris is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Mr. Lemon is responsible for research, reporting and analysis.

Appendix B





R1B Zone Requirements			
	Required	Proposed Severed	Proposed Retained
Lot Area	450m ²	±438.18m ²	±438.30m ²
Lot Width	15m	±9.07m	±9.07m

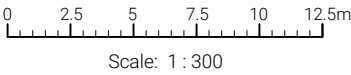
Appendix A

Consent Sketch

43 David Street,
City of Brampton

Legend

- Subject Lands**
Total Area: ±876.48m² (0.22ac)
Lot Width: ±18.13m
- Lands to be Severed**
Lot Area: ±438.18m²
Lot Width: ±9.07m
- Lands to be Retained**
Lot Area: ±438.30m²
Lot Width: ±9.07m
- Existing Structures to be Demolished**



Note: This drawing is for discussion purposes only.
Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

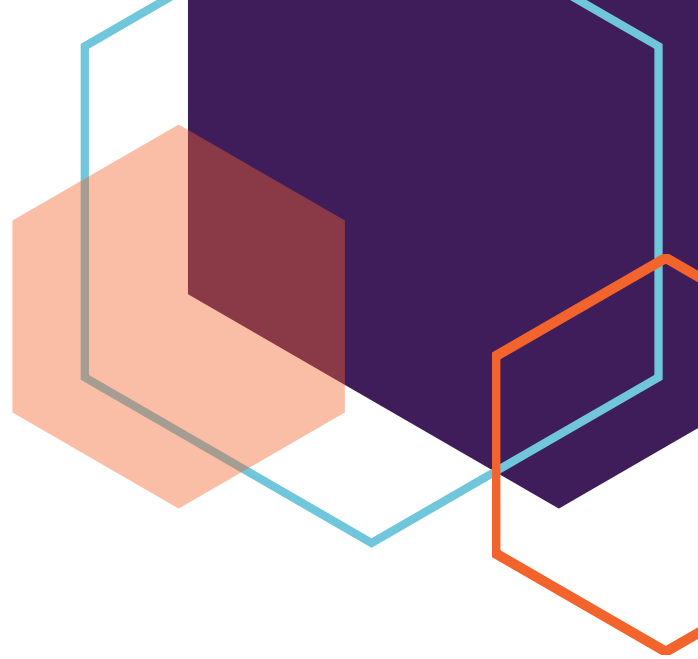
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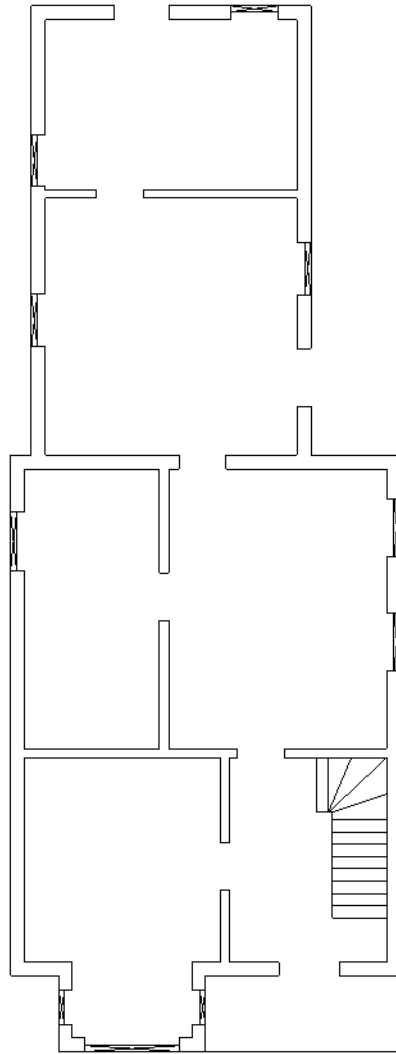
Powell Planning & Associates
Town of New Tecumseth Mobile: 647.828.2467
County of Simcoe, ON Email: aimee@powellplanning.ca

Appendix C

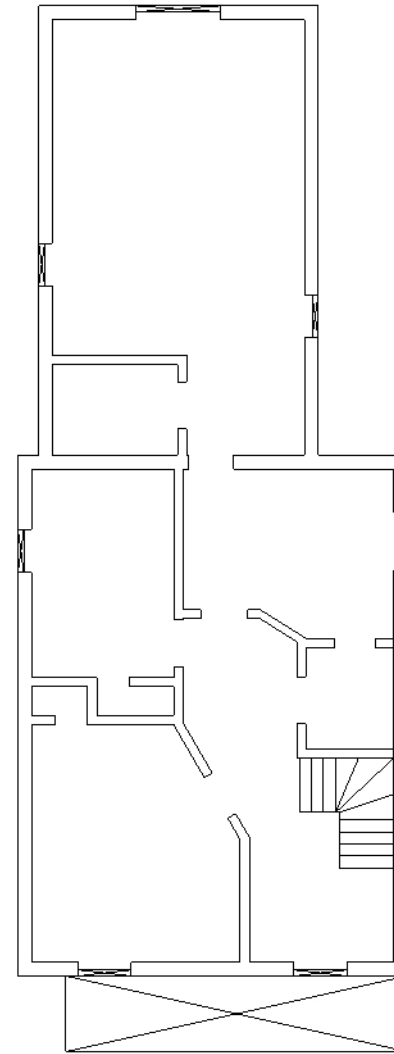


Floor Plan 43 David Street

First Floor



Second Floor



Appendix D





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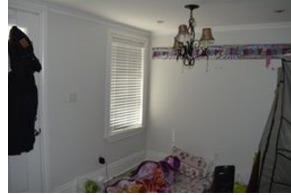
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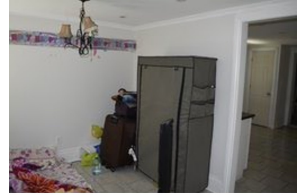
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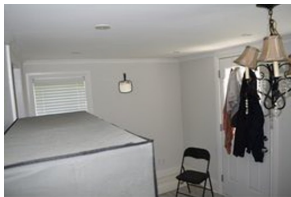
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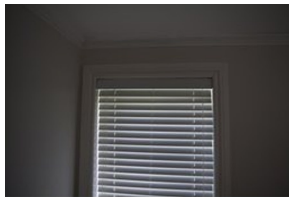
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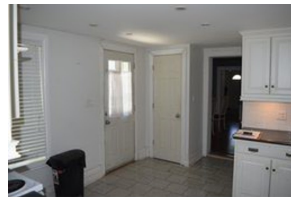
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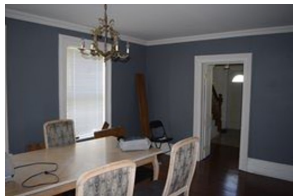
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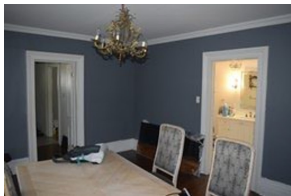
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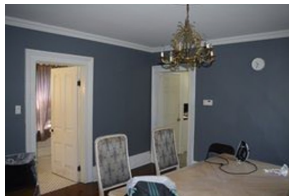
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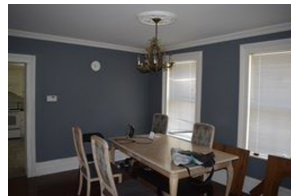
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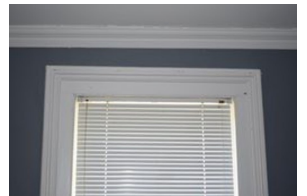
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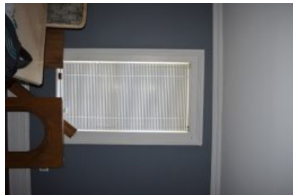
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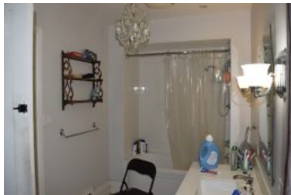
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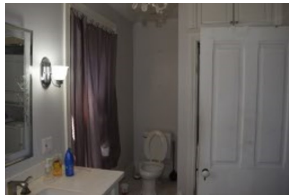
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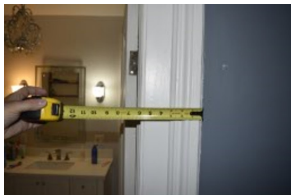
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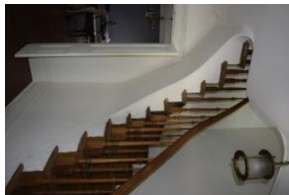
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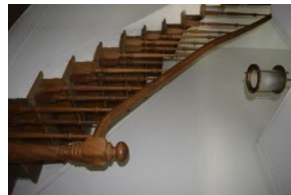
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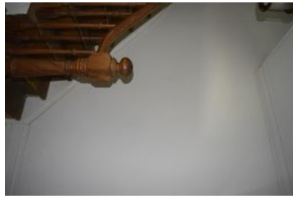
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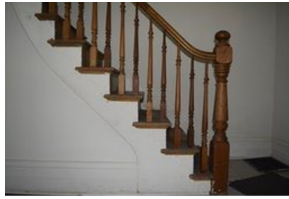
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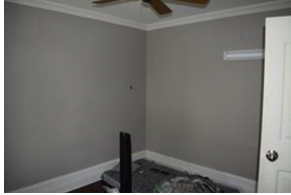
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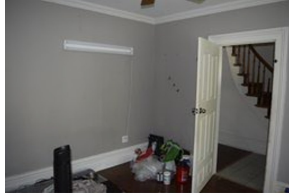
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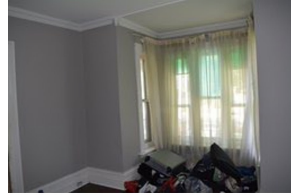
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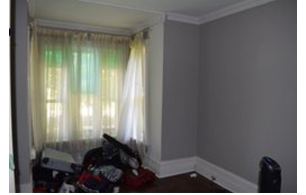
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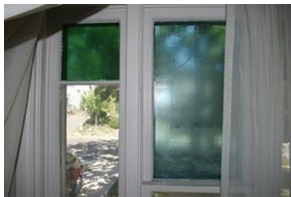
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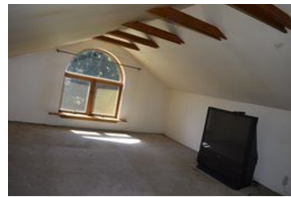
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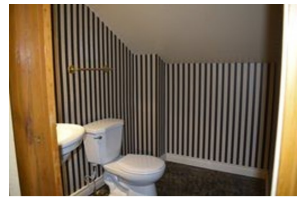
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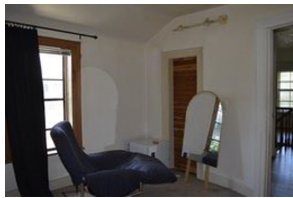
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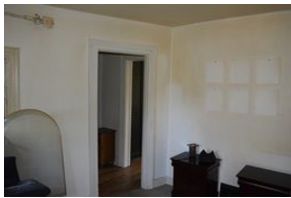
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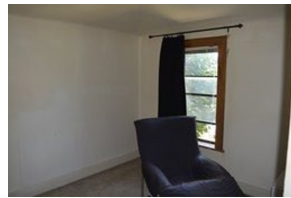
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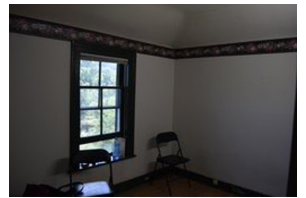
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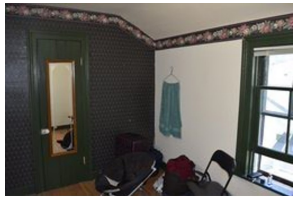
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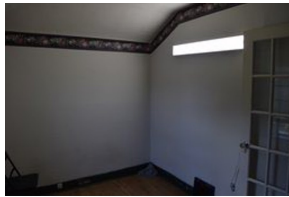
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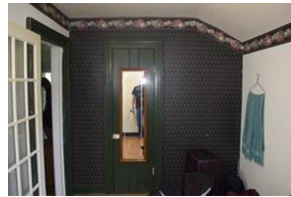
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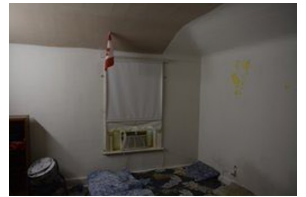
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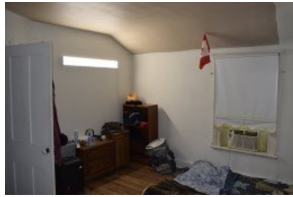
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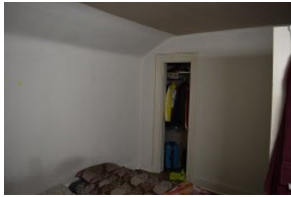
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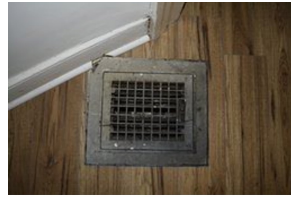
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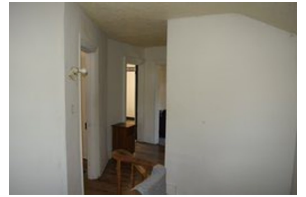
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Email: admin@phcgroup.ca

Website: www.phcgroup.ca

APPLICATION # B-2022-0014
Ward # 3

DEFERRED NOTICE OF AN APPLICATION FOR CONSENT

An **amended** application for consent has been made by **MEHNA AUTO SALES INC.**

Purpose and Effect

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 0.063 hectares (1.55 acres). The proposed severed lot has a frontage of approximately 7.93 metres (26 feet), a depth of approximately 37.27 metres (122.28 feet) and an area of approximately 0.029 hectares (0.073 acres). The effect of the application is to create two individual lots from the existing lot for future residential development of a new semi-detached dwelling on each proposed lot.

Location of Land:

Municipal Address: 93 John Street

Former Township: Town of Brampton

Legal Description: Part of Lot 43, Plan BR-2, Part 4, Plan 43R-13441

Meeting

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. **This will also entitle you to be advised of a possible Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment Decision may be appealed to the Local Planning Appeal Tribunal by the applicant, the Minister, a specified person or a public body.**

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

=====

LAST DAY FOR RECEIVING COMMENTS: MARCH 23, 2023

=====

NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	YES	File Number: A-2022-0320 and A-2022-0321

Decision and Appeal

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Ontario Land Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Ontario Land Tribunal Act, 2021*. The appeal form is available from the Environment and Land Tribunals Ontario website at <https://olt.gov.on.ca/appeals-process/forms/>

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

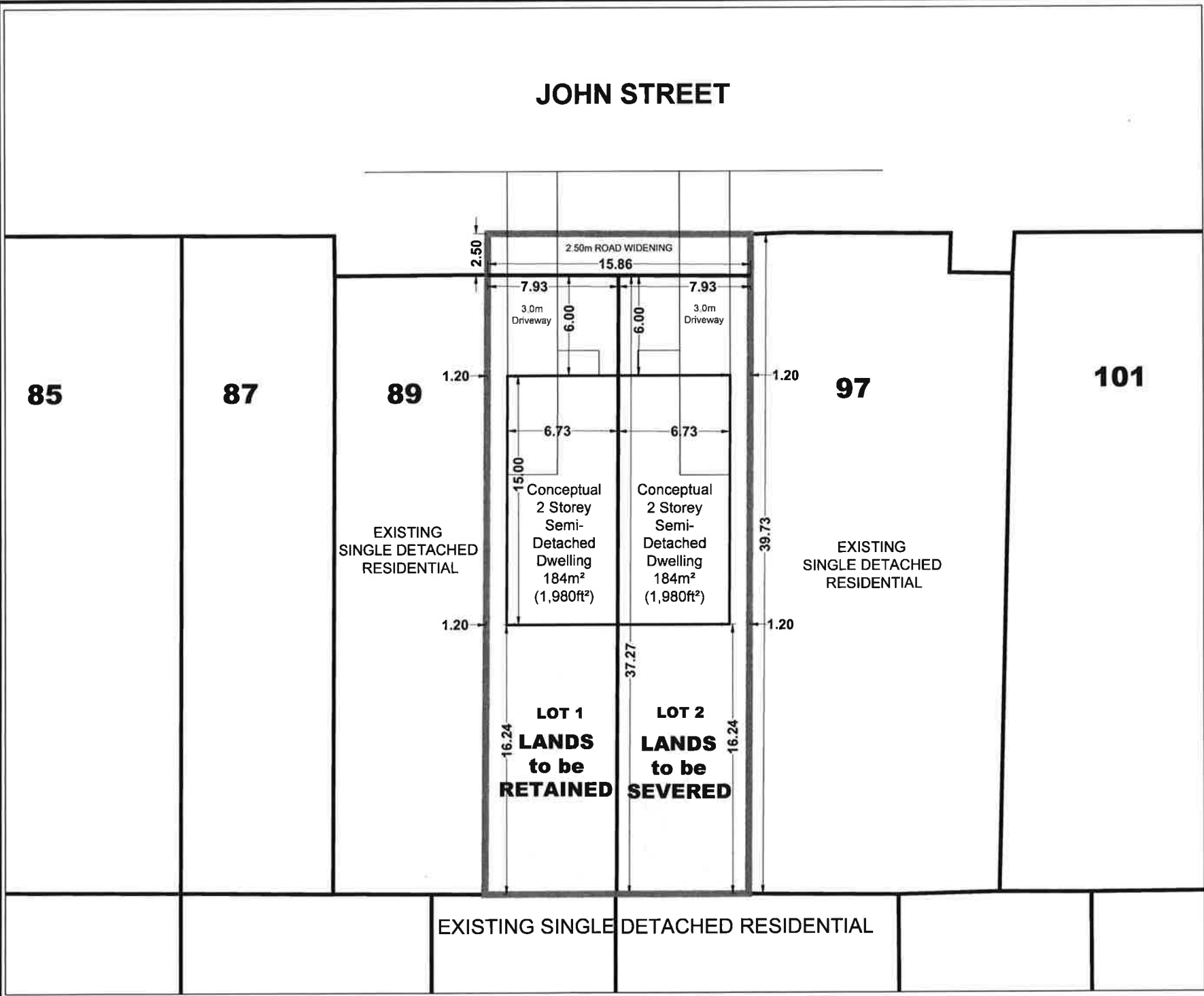
DATED AT THE CITY OF BRAMPTON THIS 9th Day of March, 2023.

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2

Phone: (905)874-2117 Fax: (905)874-2119

jeanie.myers@brampton.ca



ZONING BY-LAW MATRIX - RESIDENTIAL SINGLE DETACHED B - (R1B)
TOTAL SITE AREA: 0.063ha (0.155ac)
2.50m ROAD WIDENING: 0.004ha (0.010ac)
TOTAL NET SITE AREA: 0.059ha (0.146ac)

Description	Required	Retained Lands	Severed Lands
Minimum Interior Lot Area	0.04 ha (0.11ac) 450m²	0.029 ha (0.073ac) 295m²	0.029 ha (0.073ac) 295m²
Minimum Interior Lot Width	15m	7.93m	7.93m
Minimum Front Yard Depth	6.0m	6.0m	6.0m
Minimum Interior Side Yard Width	1.2m for 1st Storey or part thereof plus 0.6m for each additional storey or part thereof	1.20m (west) 1.20m (east)	1.20m (west) 1.20m (east)
Minimum Rear Yard Depth	7.5m	16.24m	16.24m
Maximum Building Height	8.5m	TBD	TBD
Building Gross Floor Area (excluding 18m² of garage area per dwelling)	n/a	184m² (1,980ft²)	184m² (1,980ft²)
Minimum Landscaped Open Space	60% of the minimum front yard of an interior lot	62%	62%

STATISTICS OVERVIEW

TOTAL LOT AREA: 0.063 ha (0.155 ac)

2.50m ROAD WIDENING: 0.004 ha (0.010 ac)

LANDS to be RETAINED: 0.029 ha (0.073 ac)

LANDS to be SEVERED: 0.029 ha (0.073 ac)

LEGEND

- PROPERTY BOUNDARY
- LANDS to be RETAINED
- LANDS to be SEVERED

**CONCEPTUAL SEVERANCE PLAN
PROPOSED SEMI-DETACHED LOTS
93 JOHN STREET
CITY of BRAMPTON**

P.N.: 22.2994.00	Date: January 4, 2023
Scale: N.T.S	Revised:
Drawn By: D.S.	File No.: PN 2994 Concept Plan

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023**.

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023**.
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023**.
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023**. City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FINAL REPORT:

Heritage Impact Assessment – Cultural Heritage Evaluation Report

93 John Street, Brampton, Ontario



LHC Heritage Planning & Archaeology Inc.

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2 February 2023

Project # LHC0352

LHC

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Report prepared for:	Mehna Auto Sales Inc. c/o Gagandeep Singh Gill 21 Possession Crescent Brampton, ON L6P 0V2
Report prepared by:	Colin Yu, MA, CAHP
Graphics prepared by:	Jordan Greene, B.A. (Hons)
Reviewed by:	Christienne Uchiyama, MA, CAHP Benjamin Holthof, M.Pl., M.M.A., MCIP, RPP, CAHP

RIGHT OF USE

The information, recommendations and opinions expressed in this report are for the sole benefit of the ‘Client’. Any other use of this report by others without permission is prohibited and is without responsibility to LHC. The report, all plans, data, drawings and other documents as well as all electronic media prepared by LHC are considered its professional work product and shall remain the copyright property of LHC, who authorizes only the Client and approved users (including municipal review and approval bodies) to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of the Client and approved users.

REPORT LIMITATIONS

The qualifications of the heritage consultants who authored this report are provided in Appendix A. All comments regarding the condition of any buildings on the Property are based on a superficial visual inspection and are not a structural engineering assessment of the buildings unless directly quoted from an engineering report. The findings of this report do not address any structural or physical condition related issues associated with any buildings on the property or the condition of any heritage attributes.

Concerning historical research, the purpose of this report is to evaluate the property for cultural heritage value or interest. The authors are fully aware that there may be additional historical information that has not been included. Nevertheless, the information collected, reviewed, and analyzed is sufficient to conduct an evaluation using *Ontario Regulation 9/06 Criteria for Determining Cultural Heritage Value or Interest* as amended by *Ontario Regulation 569/22*. This report reflects the professional opinion of the authors and the requirements of their membership in various professional and licensing bodies.

Historical documentation related to the location and movement of Indigenous peoples in Ontario’s history is largely based on the documentary record of the experiences and biases of early European explorers, traders and settlers. This record provides only a brief account of the long, varied, and continuing occupation of the area.

The review of policy and legislation was limited to that information directly related to cultural heritage management and is not a comprehensive planning review. Additionally, soundscapes, cultural identity, and sense of place analyses were not integrated into this report.

Archaeological potential has not been assessed as part of this HIA. A separate archaeological assessment may be required as part of a complete application.

EXECUTIVE SUMMARY

The Executive Summary only provides key points from the report. The reader should examine the complete report including background, results as well as limitations.

LHC Heritage Planning & Archaeology Inc. (LHC) was retained in November 2022 by Mehna Auto Sales Inc. in care of Gagandeep Singh Gill (the Client) to prepare a Scoped Heritage Impact Assessment (HIA) on the Property at 93 John Street, Brampton, ON (the Property). The Property is located in the City of Brampton (the City), in the Region of Peel (the Region).

The Client is planning to sever the Property, demolish the existing house and construct a new two-storey semi detached residence. It is understood the Client has submitted a Committee of Adjustment – Consent to Sever and Minor Variance Application (City File: B-2022-0014, A-2022-0320, and A2022-0321).

The City has requested a Scoped HIA to be submitted as part of a complete Consent to Sever and Minor Variance Applications to facilitate demolition and future use of the Property under the Planning Act. This HIA is scoped to evaluate the cultural heritage value or interest of the Property and to outline heritage planning constraints affected by the proposal. This HIA reviewed the proposal to demolish the existing structures and sever the Property. Design of a future residence on the future severed lots has not commenced and therefore has not been assessed in this HIA.

This HIA was undertaken in accordance with the recommended methodology outlined within the Ministry of Citizenship and Multiculturalism’s (MCM) Ontario Heritage Tool Kit and the City of Brampton’s Heritage Impact Assessment Terms of Reference (HIA TOR). The City’s heritage planner, Harsh Padhya, has provided the Client and LHC with the requirements for this Scoped HIA.

In LHC’s professional opinion, the Property does not meet any criteria of Ontario Regulation 9/06 (O. Reg. 9/06) as amended through Ontario Regulation 569/22 (O. Reg. 569/22) and does not meet the threshold for designation under Part IV Section 29 of the OHA.

The proposed demolition to facilitate severance and future construction of a two-storey semi-detached residence was reviewed for potential direct or indirect impacts to the Property. As the Property does not exhibit CHVI, the proposed development will not directly or indirectly impact the CHVI of the Property. Additionally, the adjacent properties were evaluated for potential direct and indirect impacts with respect to the demolition and severance of 93 John Street and no direct or indirect impacts were identified.

Although new dwellings are not required to comply with a specific Heritage Plan or Guidelines, the new structure(s) are subject to Section 4.10.4 of the OP and may be subject to SPA7, the Secondary Plan Area 7: Downtown Brampton Secondary Plan (2019).

It is recommended that once a design for the new structure(s) has been developed, an updated HIA or Addendum may be required by the City to assess potential impacts of the proposed design on adjacent properties.

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1 INTRODUCTION TO THE PROPERTY

LHC Heritage Planning & Archaeology Inc. (LHC) was retained by Mehna Auto Sales Inc. (the “Client”) to undertake a Scoped Heritage Impact Assessment (HIA) for the Property located at 93 John Street (the “Property”) in the City of Brampton, Ontario (the “City”).

The Client is seeking to sever the Property, demolish the existing house and construct a new two-storey semi detached residence. It is understood the Client has submitted a Committee of Adjustment – Consent to Sever and Minor Variance Applications (City File: B-2022-0014, A-2022-0320, and A2022-0321) to facilitate the redevelopment.

The City has requested a Scoped HIA to be completed as part of a complete Consent to Sever and Minor Variance Applications to facilitate demolition and future use of the Property under the *Planning Act*. This HIA was undertaken in accordance with the recommended methodology outlined within the Ministry of Citizenship and Multiculturalism’s (MCM) *Ontario Heritage Toolkit* and the City of Brampton’s Heritage Impact Assessment Terms of Reference (HIA TOR). The City’s heritage planner, Harsh Padhya, has provided the Client and LHC with the requirements for this Scoped HIA.

1.1 Property Location

Due to the nature of the layout of Peel Region, Queen and John Streets are described in this HIA as traveling east-west and Main and Mary Streets are said to travel north-south.

The Property is located at 93 John Street in the City of Brampton, Ontario. The Property is located on the south side of John Street, east of Mary Street. An active rail corridor is approximately 50m to the north of the Property (Figure 1 and Figure 2).

1.2 Property Description

The Property measures approximately 631m² and is in the Downtown Brampton neighbourhood. The Property is located southeast of the major intersection of Main Street and Queen Street. There are two structures located on the Property: a two-storey vinyl clad house; and a one-storey outbuilding/shed.

1.3 Property Heritage Status

The Property is not listed on the City of Brampton’s Municipal Heritage Register under Section 27 Part IV of the *Ontario Heritage Act*. The Property is not designated under Section 29 Part IV or Section 41 Part V of the *Ontario Heritage Act*.

1.4 Property Context

The surrounding area is primarily residential with a mixture of commercial and institutional buildings nearby. Commercial buildings tend to be located at the intersection of Main Street and Queen Street, while institutional buildings such as Government, Community, and Educational structures are interspersed between residential and commercial sections of the City. Etobicoke Creek, which the City has recognized as an important part of the Greenbelt’s Natural System, is

approximately 170m to the east of the Property and flows through park lands with walking trails.



1.5 Adjacent Heritage Properties

The City of Brampton *Official Plan* does not define adjacency with respect to built cultural heritage. The *PPS* defines adjacency as:

“those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan.”

Using the definition provided by the *PPS*, the Property is adjacent to two properties Listed on the Municipal Heritage Register under Part IV Section 27 of the OHA.

Table 1: Adjacent heritage properties

Address	Heritage Recognition	Notes	Image
89 John Street	Section 27 Part IV Listed	One-storey vinyl clad strucutre	
74 Wellington Street East	Section 27 Part IV Listed	Two-storey brick clad structure	 (Google Earth 2023)

1.6 Physical Condition, Security, Physical Maintenance Concerns, and Integrity

Based on visual identifiers from LHC’s site visit, there are no concerns related to the residence’s physical condition, security, physical maintenance, or integrity.



Legend

 Property

NOTE(S) 1. All locations are approximate.
REFERENCE(S)
1. Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
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TITLE Current Conditions of Property		
CLIENT Mehna Auto Sales Inc.		
PROJECT Heritage Impact Assessment, 93 John Street, Brampton, Ontario		PROJECT NO LHC0352
CONSULTANT	YYYY-MM-DD	2023-01-12
	PREPARED	LHC
	DESIGNED	JG
	FIGURE #	2

2 STUDY APPROACH

LHC follows a three-step approach to understanding and planning for cultural heritage resources based on the understanding, planning and intervening guidance from the Canada’s Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* and MCM’s *Ontario Heritage Tool Kit*.¹ Understanding the cultural heritage resource involves:

- Understanding the significance of the cultural heritage resource (known and potential) through research, consultation, and evaluation—when necessary.
- Understanding the setting, context, and condition of the cultural heritage resource through research, site visit and analysis.
- Understanding the heritage planning regulatory framework around the cultural heritage resource.

This report is guided by the *Ontario Heritage Tool Kit, Heritage Resources in the Land Use Planning Process, Information Sheet #5, Heritage Impact Assessments and Conservation Plans* and the City of Brampton’s Heritage Impact Assessment Terms of Reference (HIA TOR), as scoped for this project.

2.1 Legislative/Policy Review

The HIA includes a review of provincial legislation, plans and cultural heritage guidance, and relevant municipal policy and plans. This review outlines the cultural heritage legislative and policy framework that applies to the Property.

2.2 Historic Research

Historical research was undertaken to outline the history and development of the Property and its broader community context. Primary historic material, including air photos and mapping, were obtained from:

- Ontario Council of University Libraries;
- Library and Archives Canada;
- Ancestry; and,
- OnLand.

Secondary research was compiled from sources such as: historical atlases, local histories, architectural reference texts, available online sources, and previous assessments. All sources and persons contacted in the preparation of this report are listed as footnotes and in the report's reference list.

¹ Canada’s Historic Places, “Standards and Guidelines for the Conservation of Historic Places in Canada”, 3; MCM, “Heritage Property Evaluation” Ontario Heritage Tool Kit, 18.

2.3 Site Visit

A site visit was conducted by Cultural Heritage Specialist Colin Yu on 8 December 2022. The primary objective of the site visit was to document and gain an understanding of the Property and its surrounding context. The site visit included documentation of the interior and exterior of the house on the Property, the surrounding area and exterior views of nearby structures.

2.4 Impact Assessment

2.5 City of Brampton Heritage Impact Assessment Terms of Reference

Section 4.9.1.10 of the City's *OP* indicates that:

A Heritage Impact Assessment, prepared by a qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes.

4.10.1.11 A Heritage Impact Assessment may also be required for any proposed alteration work or development activities involving or adjacent to heritage resources to ensure that there will be no adverse impacts caused to the resources and their heritage attributes. Mitigation measures shall be imposed as a condition of approval of such applications.

Section 2.1 of the City's HIA Terms of Reference provides additional information surrounding when a HIA is required, and presents the following scenarios:

- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the Ontario Heritage Act that is subject to land use planning applications;
- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the Ontario Heritage Act that is facing possible demolition;
- Any property that is subject to land use planning applications and is adjacent to a property designated in the municipal heritage register, pursuant to Section 27 (1.1) of the Ontario Heritage Act.

The City of Brampton's heritage planner, Harsh Padhya, was contacted on 16 November 2022 and LHC received confirmation a Scoped HIA for the Property was provided on 17 November 2022. The City required this scoped HIA to address Section 3.1, 3.2, and 3.3 of the HIA TOR as part of this report.

Table 2: City of Brampton HIA Terms of Reference

Requirement	Location
3.1.1 Provide a background on the purpose of the HIA by outlining why it was undertaken, by whom, and the date(s) the evaluation took place.	Found in Section 1 of this HIA
3.1.2 Briefly outline the methodology used to prepare the assessment.	Found in Section 2 of this HIA
3.2.1 Provide a location plan specifying the subject property, including a site map and aerial photograph at an appropriate scale that indicates the context in which the property and heritage resource is situated.	Found in Section 1.1 of this HIA; Figure 1 and Figure 2
3.2.2 Briefly document and describe the subject property, identifying all significant features, buildings, landscapes, and vistas.	Found in Section 1.2 of this HIA
3.2.3 Indicate whether the property is part of any heritage register (e.g., Municipal Register of Cultural Heritage Resources Designated under the Ontario Heritage Act, or Municipal Register of Cultural Heritage Resources)	Found in Section 1.3 of this HIA
3.2.4 Document and describe the context including adjacent properties, land uses, etc.	Found in Section 1.4 and 1.5 of this HIA
3.2.5 Document, describe, and assess the apparent physical condition, security, and critical maintenance concerns, as well as the integrity of standing buildings and structures found on the subject property.	Found in Section 1.6 of this HIA
3.2.6 If the structural integrity of existing structures appears to be a concern, recommend the undertaking of a follow-up structural and engineering assessment to confirm if conservation, rehabilitation and/or restoration are feasible. Assessments must be conducted by qualified professionals with heritage property experience.	n/a
3.3.1 Thoroughly document and describe all heritage resources within the subject property,	Found in Section 5 of this HIA

Requirement	Location
including cultural heritage landscapes, structures, buildings, building elements, building materials, architectural features, interior finishes, natural elements, vistas, landscaping and potential archaeological resources.	
3.3.2 Provide a chronological history of the site and all structure(s), including additions, deletions, conversions, etc.	Found in Section 4.8 of this HIA
3.3.3 Provide a list of owners from the Land Registry office and other resources, as well as a history of the site use(s) to identify, describe, and evaluate the significance of any persons, groups, trends, themes, and/or events that are historically or culturally associated with the subject properly.	Found in Section 4.8 of this HIA
3.3.4 Document heritage resource(s) using current photographs of each elevation, and/or measured drawings, floor plans, and a site map at an appropriate scale for the given application (i.e., site plan as opposed to subdivision). Also include historical photos, drawings, or other archival material that is available and relevant.	Found in Section 5 of this HIA
3.3.5 Using Regulation 9/06 [569/22] of the Ontario Heritage Act (Criteria for Determining Cultural Heritage Value or Interest), identify, describe, and evaluate the cultural heritage value or interest of the subject property as a whole, outlining in detail all significant heritage attributes and other heritage elements.	Found in Section 6 of this HIA
3.3.6 Provide a summary of the evaluation in the form of a table (see Appendix 1) outlining each criterion (design or physical value; historical or associative value; contextual value), the conclusion for each criterion, and a brief explanation for each conclusion.	Found in Section 6.1 of this HIA

3 POLICY AND LEGISLATIVE CONTEXT

3.1 Provincial Context

In Ontario, cultural heritage is considered a matter of provincial interest and cultural heritage resources are managed under Provincial legislation, policy, regulations, and guidelines. Cultural heritage is established as a key provincial interest directly through the provisions of the *Planning Act*, the *PPS* and the *OHA*. Other provincial legislation deals with cultural heritage indirectly or in specific cases. These various acts and the policies under these acts indicate broad support for the protection of cultural heritage by the Province. They also provide a legal framework through which minimum standards for heritage evaluation are established. What follows is an analysis of the applicable legislation and policy regarding the identification and evaluation of built heritage resources and cultural heritage landscapes and the assessment of impacts on their cultural heritage value or interest and heritage attributes.

3.1.1 *Planning Act*, R.S.O. 1990

The *Planning Act* is the primary document for municipal and provincial land use planning in Ontario and was consolidated on 1 January 2023. This *Act* sets the context for provincial interest in heritage. It states under Part I (2, d):

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as...the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.²

Part 1, Section 3 (1) of *The Planning Act* states:

The Minister, or the Minister together with any other minister of the Crown, may from time to time issue policy statements that have been approved by the Lieutenant Governor in Council on matters relating to municipal planning that in the opinion of the Minister are of provincial interest.³

Under Part 1, Section 3 (5) of *The Planning Act*:

A decision of the council of a municipality, a local board, a planning board, a minister of the Crown and a ministry, board, commission or agency of the government, including the Tribunal, in respect of the exercise of any authority that affects a planning matter...

- (a) shall be consistent with the policy statements issued under subsection (1) that are in effect on the date of the decision; and

² Province of Ontario, "Planning Act, R.S.O. 1990, c. P.13," last modified December 2, 2021, <https://www.ontario.ca/laws/statute/90p13>, Part I (2, d).

³ Province of Ontario, "Planning Act," Part 1 S.3 (1).

- (b) shall conform with the provincial plans that are in effect on that date, or shall not conflict with them, as the case may be.⁴

Section 3 (1) refers to the *PPS*. Decisions of Council must be consistent with the *PPS* and relevant provincial plans. Details about provincial interest as it relates to land use planning and development in the province are outlined in the *PPS* which makes the consideration of cultural heritage equal to all other considerations concerning planning and development in the province.

3.1.2 Provincial Policy Statement (2020)

The *Provincial Policy Statement (PPS)* provides further direction for municipalities regarding provincial requirements and sets the policy foundation for regulating the development and use of land in Ontario. Land use planning decisions made by municipalities, planning boards, the Province, or a commission or agency of the government must be consistent with the *PPS*. The Province deems cultural heritage and archaeological resources to provide important environmental, economic, and social benefits, and *PPS* directly addresses cultural heritage in Section 1.7.1e and Section 2.6.

Section 1.7 of the *PPS* regards long-term economic prosperity and promotes cultural heritage as a tool for economic prosperity. The relevant subsection states that long-term economic prosperity should be supported by:

- 1.7.1e encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.

Section 2.6 of the *PPS* articulates provincial policy regarding cultural heritage and archaeology. The subsections state:

- 2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.
- 2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.
- 2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.
- 2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

⁴ Province of Ontario, "Planning Act," Part I S. 3 (5).

2.6.5 Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.⁵

The definition of significance in the *PPS* states that criteria for determining significance for cultural heritage resources are determined by the Province under the authority of the *OHA*.⁶ The *PPS* makes the consideration of cultural heritage equal to all other considerations and recognizes that there are complex interrelationships among environmental, economic and social factors in land use planning. It is intended to be read in its entirety and relevant policies applied in each situation.

An HIA may be required by a municipality in response to Section 2.6.1 and 2.6.3 to conserve built heritage resources, cultural heritage landscapes, and the heritage attributes of a protected heritage property.

3.1.3 Ontario Heritage Act, R.S.O. c.O.18

The *Ontario Heritage Act, R.S.O. 1990, c O.18 (Ontario Heritage Act or OHA)* enables the provincial government and municipalities powers to conserve, protect, and preserve the heritage of Ontario. The *Act* is administered by a member of the Executive Council (provincial government cabinet) assigned to it by the Lieutenant Governor in Council. At the time of writing the *Ontario Heritage Act* is administered by the Minister—Ministry of Citizenship and Multiculturalism (MCM).⁷

The *OHA* (consolidated on 1 January 2023) and associated regulations set minimum standards for the evaluation of heritage resources in the province and give municipalities power to identify and conserve individual properties, districts, or landscapes of cultural heritage value or interest. Individual heritage properties are designated by municipalities under Part IV, Section 29 and heritage conservation districts are designated by municipalities under Part V, Section 41

⁵ Province of Ontario, "Provincial Policy Statement," last modified May 2020, <https://files.ontario.ca/mmah-provincial-policy-statement-2020-accessible-final-en-2020-02-14.pdf>, 29.

⁶ Province of Ontario, "Provincial Policy Statement," 51.

⁷ Since 1975 the Ontario ministry responsible for culture and heritage has included several different portfolios and had several different names and may be referred to by any of these names or acronyms based on them:

- Ministry of Culture and Recreation (1975-1982),
- Ministry of Citizenship and Culture (1982-1987),
- Ministry of Culture and Communications (1987-1993),
- Ministry of Culture, Tourism and Recreation (1993-1995),
- Ministry of Citizenship, Culture and Recreation (1995-2001),
- Ministry of Tourism, Culture and Recreation (2001-2002),
- Ministry of Culture (2002-2010),
- Ministry of Tourism, Culture and Sport (2011-2019),
- Ministry of Heritage, Sport, Tourism, and Culture Industries (2019-2022),
- Ministry of Tourism, Culture and Sport (2022),
- Ministry of Citizenship and Multiculturalism (2022-present).

of the *OHA*. Generally, an *OHA* designation applies to real property rather than individual structures.⁸

Part I (2) of the *OHA* enables the Minister to determine policies, priorities, and programs for the conservation, protection, and preservation of the heritage of Ontario. The *OHA* gives municipalities power to identify and conserve individual properties, districts, or landscapes of cultural heritage value or interest.⁹ Regulations under the *OHA* set minimum standards for the evaluation of heritage resources in the province.

A municipality may list a property on a municipal heritage register under Section 27, Part IV of the *OHA* if it meets one of the nine criteria from *O. Reg. 9/06*. Individual heritage properties are designated by municipalities under Section 29, Part IV of the *OHA*. A municipality may designate heritage conservation districts under Section 41, Part V of the *OHA*. An *OHA* designation applies to real property rather than individual structures.

O. Reg. 9/06 as amended by *O. Reg. 569/22*—in force and effect 1 January 2023—identifies the criteria for determining cultural heritage value or interest under Part IV, Section 29 of the *OHA* and is used to create a Statement of Cultural Heritage Value or Interest. *O. Reg 569/22* revokes Section 1 and 2 of *O. Reg. 9/06*, substituting the following nine criteria, of which two must be met to designate a property under Section 29 of the *OHA*:

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.

⁸ Province of Ontario, "Ontario Heritage Act R.S.O. 1990, c. O. 18," last modified July 1, 2021, <https://www.ontario.ca/laws/statute/90o18>

⁹ Province of Ontario, "Ontario Heritage Act."

8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark.¹⁰

If a property has been determined to meet two or more of the above criteria, and the decision is made to pursue designation, the *OHA* prescribes the process by which a designation must occur.

3.1.4 Places to Grow Act, 2005 S.O. 2005

The *Places to Grow Act* guides growth in the province and was consolidated 1 June 2021. It is intended:

- a) to enable decisions about growth to be made in ways that sustain a robust economy, build strong communities and promote a healthy environment and a culture of conservation;
- b) to promote a rational and balanced approach to decisions about growth that builds on community priorities, strengths and opportunities and makes efficient use of infrastructure;
- c) to enable planning for growth in a manner that reflects a broad geographical perspective and is integrated across natural and municipal boundaries;
- d) to ensure that a long-term vision and long-term goals guide decision-making about growth and provide for the co-ordination of growth policies among all levels of government.¹¹

This act is administered by the Ministry of Infrastructure and enables decision making across municipal and regional boundaries for more efficient governance in the Greater Golden Horseshoe area.

3.1.5 A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020)

The Property is located within the area regulated by *A Place to Grow: Growth Plan for the Greater Golden Horseshoe (the Growth Plan)*, which came into effect on 16 May 2019 and was consolidated on 28 August 2020.

In Section 1.2.1, the *Growth Plan* states that its policies are based on key principles, which includes:

Conserve and promote cultural heritage resources to support the social, economic, and cultural well-being of all communities, including First Nations and Métis communities.¹²

¹⁰ Province of Ontario, "O. Reg. 9/06: Criteria for Determining Cultural Heritage Value or Interest under Ontario Heritage Act, R.S.O. 1990, c. O.18," as amended by Ontario Regulation 569/22, 2022.

¹¹ Province of Ontario, "Places to Grow Act, 2005, S.O. 2005, c. 13," last modified June 1, 2021, <https://www.ontario.ca/laws/statute/05p13>, 1.

¹² Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," last modified August 28, 2020, <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>, 6.

Section 4.1 Context, in the *Growth Plan* describes the area it covers as containing:

...a broad array of important hydrologic and natural heritage features and areas, a vibrant and diverse agricultural land base, irreplaceable cultural heritage resources, and valuable renewable and non-renewable resources.¹³

It describes cultural heritage resources as:

The *GGH* also contains important cultural heritage resources that contribute to a sense of identity, support a vibrant tourism industry, and attract investment based on cultural amenities. Accommodating growth can put pressure on these resources through development and site alteration. It is necessary to plan in a way that protects and maximizes the benefits of these resources that make our communities unique and attractive places to live.¹⁴

Policies specific to cultural heritage resources are outlined in Section 4.2.7, as follows:

- i. Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas;
- ii. Municipalities will work with stakeholders, as well as First Nations and Métis communities, in developing and implementing official plan policies and strategies for the identification, wise use and management of cultural heritage resources; and,
- iii. Municipalities are encouraged to prepare archaeological management plans and municipal cultural plans and consider them in their decision-making.¹⁵

Amendment 1 to *A Place to Grow* aligns the definitions of *A Place to Grow* with the PPS 2020.

3.1.6 Provincial Planning Context Summary

In summary, cultural heritage resources are considered an essential part of the land use planning process with their own unique considerations. As the province, these policies and guidelines must be considered by the local planning context. In general, the province requires significant cultural heritage resources to be conserved.

Multiple layers of municipal legislation enable a municipality to require an HIA for alterations, demolition or removal of a building or structure from a listed or designated heritage property. These requirements support the conservation of cultural heritage resources in Ontario following provincial policy direction.

3.2 Local Planning Context

3.2.1 Region of Peel Official Plan (2022)

The *Region of Peel Official Plan (ROP)* was adopted by Regional Council on 28 April 2022 through By-law 20-2022 and was approved with modifications by the Ministry of Municipal

¹³ Province of Ontario, “A Place to Grow: Growth Plan for the Greater Golden Horseshoe,” 39.
¹⁴ Province of Ontario, “A Place to Grow: Growth Plan for the Greater Golden Horseshoe,” 39.
¹⁵ Province of Ontario, “A Place to Grow: Growth Plan for the Greater Golden Horseshoe,” 47.

Affairs and Housing on 4 November 2022. However, Under the *More Homes Built Faster Act, 2022* Peel Region has been classified as an upper tier municipality without planning responsibilities. Planning responsibilities from the Region will shift to lower tier municipalities. The effective date for this change has not come into force and effect at the time of writing. When this change comes into force and effect the upper tier Official Plan will become an Official Plan for the lower tier municipality until the lower tier municipality revokes or amends it. In the event of a conflict between the upper tier and lower tier Official Plan the upper tier plan will prevail.¹⁶

The *ROP*'s purpose is to guide land use planning policies and "provide a holistic approach to planning through an overarching sustainable development framework that integrates environmental, social, economic and cultural imperatives."¹⁷ The *ROP* recognizes the importance of cultural heritage for the region to develop healthy and sustainable communities.

Section 3.6 of the *ROP* outlines cultural heritage policies and states that:

The Region encourages and supports conservation of the cultural heritage resources of all peoples whose stories inform the history of Peel. The Region recognizes the significant role of heritage in establishing a shared sense of place, contributing to environmental sustainability and developing the overall quality of life for residents and visitors to Peel. The Region supports the identification, conservation and interpretation of cultural heritage resources, including but not limited to the built heritage resources, structures, archaeological resources, and cultural heritage landscapes (including properties owned by the Region or properties identified in Regional infrastructure projects), according to the criteria and guidelines established by the Province.

The objectives of the Region's cultural heritage policies are as follows:

3.6.1 To identify, conserve and promote Peel's non-renewable cultural heritage resources, including but not limited to built heritage resources, cultural heritage landscapes and archaeological resources for the well-being of present and future generations.

3.6.2 To encourage stewardship of Peel's built heritage resources and cultural heritage landscapes and promote well-designed built form to support a sense of place, help define community character, and contribute to Peel's environmental sustainability goals.

3.6.3 To strengthen the relationship between the local municipalities, Indigenous communities and the Region when a matter having inter-municipal cultural heritage significance is involved.

3.6.4 To support the heritage policies and programs of the local municipalities.

¹⁶ Province of Ontario. *Planning Act* Part VII, Section 70.13.

¹⁷ Region of Peel, "*Region of Peel Official Plan*," 2022.

The policies established to attain these goals, and those that pertain to the Property are as follows:

3.6.5 Work with the local municipalities, stakeholders and Indigenous communities in developing and implementing official plan policies and strategies for the identification, wise use and management of cultural heritage resources.

3.6.7 In cooperation with the local municipalities, ensure the adequate assessment, preservation or mitigation, where necessary or appropriate, of archaeological resources, as prescribed by the Ministry of Heritage, Sport, Tourism and Culture Industries' archaeological assessment standards and guidelines.

3.6.8 Require cultural heritage resource impact assessments, where appropriate for infrastructure projects, including Region of Peel projects and ensure that recommended conservation outcomes resulting from the impact assessment are considered.

3.6.10 Require local municipal official plans to include policies where the proponents of development proposals affecting cultural heritage resources provide sufficient documentation to meet provincial requirements and address the Region's objectives with respect to cultural heritage resources.

3.2.2 City of Brampton Official Plan (2006, consolidated 2020)

The *City of Brampton Official Plan (OP)* was adopted on 11 October 2006, partially approved by the Region of Peel on 24 January 2008 and partially approved by the Ontario Municipal Board on 7 October 2008. The City has been developing a new *OP* since 2019 which will plan for 2040. The most recent consolidation dates to September 2020.

The *OP*'s purpose is to guide land use planning decisions until 2031 with clear guidelines for how land use should be directed, and which ensures that "cultural heritage will be preserved and forms part of the functional components of the daily life".¹⁸ Regarding cultural heritage the *OP* notes that:

Brampton's rich cultural heritage also provides a foundation for planning the future of the City as our heritage resources and assets contribute to the identity, character, vitality, economic prosperity, quality of life and sustainability of the community as a whole. Cultural heritage is more than just buildings and monuments, and includes a diversity of tangible and intangible resources, including structures, sites, natural environments, artifacts and traditions that have historical, architectural, archaeological, cultural and contextual values, significance or interest.¹⁹

¹⁸ City of Brampton Official Plan, prepared by the City of Brampton, (Brampton, ON, 2006, office consolidation September 2020), https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf, 1.

¹⁹ City of Brampton, *Official Plan*, 2-4.

In Section 4.10 (Cultural Heritage) of the *OP* identifies the conservation of heritage resources as providing a “vital link with the past and a foundation for planning the future...” and highlights the importance of cultural heritage landscapes, intangible heritage, and maintaining of context.²⁰

Section 4.10 states the objectives of its cultural heritage policies are to:

- a) Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations;
- b) Preserve, restore and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and, preserve cultural heritage landscapes, including significant public views; and,
- c) To promote greater awareness of Brampton’s heritage resources and involve the public in heritage resource decisions affecting the municipality.

Cultural heritage policies relevant to the Property include the following:

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

4.10.1.12 All options for on-site retention of properties of cultural heritage significance shall be exhausted before resorting to relocation. The following alternatives shall be given due consideration in order of priority:

- (i) On-site retention in the original use and integration with the surrounding or new development;
- (ii) On site retention in an adaptive re-use;
- (iii) Relocation to another site within the same development; and,
- (iv) Relocation to a sympathetic site within the City.

²⁰ City of Brampton, Official Plan, 4.9 -1.

4.10.1.13 In the event that relocation, dismantling, salvage or demolition is inevitable, thorough documentation and other mitigation measures shall be undertaken for the heritage resource. The documentation shall be made available to the City for archival purposes.

4.10.1.15 Minimum standards for the maintenance of the heritage attributes of designated heritage properties shall be established and enforced.

4.10.1.17 The City shall modify its property standards and by-laws as appropriate to meet the needs of preserving heritage structures.

4.10.1.18 The City's "Guidelines for Securing Vacant and Derelict Heritage Buildings" shall be complied with to ensure proper protection of these buildings, and the stability and integrity of their heritage attributes and character defining elements.

The *OP* includes cultural heritage policies related to the preparation of an HIA. These include the following:

4.10.1.10 A Heritage Impact Assessment, prepared by qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes. Due consideration will be given to the following factors in reviewing such applications:

- (i) The cultural heritage values of the property and the specific heritage attributes that contribute to this value as described in the register;
- (ii) The current condition and use of the building or structure and its potential for future adaptive re-use;
- (iii) The property owner's economic circumstances and ways in which financial impacts of the decision could be mitigated;
- (iv) Demonstrations of the community's interest and investment (e.g., past grants);
- (v) Assessment of the impact of loss of the building or structure on the property's cultural heritage value, as well as on the character of the area and environment; and,
- (vi) Planning and other land use considerations.

4.10.1.11 A Heritage Impact Assessment may also be required for any proposed alteration work or development activities involving or adjacent to heritage resources to ensure that there will

be no adverse impacts caused to the resources and their heritage attributes. Mitigation measures shall be imposed as a condition of approval of such applications.

4.10.4 Areas of Cultural Heritage Character, including Downtown Brampton neighbourhood. Although Downtown Brampton is not designated under Section 41 Part V of the *Ontario Heritage Act* as a Heritage Conservation District, the City has identified the neighbourhood as an Area of Cultural Heritage Character. Under Section 4.10.4 the neighbourhood is subject to

4.10.4.1 Areas with Cultural Heritage Character shall be established through secondary plan, block plan or zoning by-law.

4.10.4.2 Land use and development design guidelines shall be prepared for each zoned area to ensure that the heritage conservation objectives are met.

4.10.4.3 Cultural Heritage Character Area Impact Assessment shall be required for any development, redevelopment and alteration works proposed within the area.

3.2.3 Local Planning Context Summary

The Region and the City consider cultural heritage resources to be of value to the community and values them in the land use planning process. Through its *OP* policies, the Region and the City have committed to identifying and conserving cultural heritage resources.

4 INDIGENOUS PRE-CONTACT HISTORY

Human occupation of present-day Ontario began during the retreat of the Wisconsin glaciation and the final retreat of the Laurentide Ice Sheet, which had covered much of the Great Lakes area until 12,000 BCE. This led to the formation of the Champlain Sea – an extension of the Atlantic Ocean, between 11,800 and 10,000 BCE. The Champlain Sea covered the most of Southern Ontario and its surroundings until about 10,000 years ago when the area's first inhabitants were able to move into the region.²¹

4.1 Paleo Period (9500-8000 BCE)

The earliest human occupation of Southern Ontario dates to around 11,000 BCE. These early populations consisted of small groups of hunter gatherers who ranged long distances, relying on caribou and other resources available in forests dominated by Spruce trees. Archaeologists identify this as the Paleo period and the stone tools are characterized by lanceolate (a narrow oval pointed at the ends like the head of a lance) shaped points with a channel or flute extending from the base. There is substantial evidence of early Paleo Period occupation in Southwestern Ontario, however evidence in Eastern Ontario is largely limited to reported finds from the Rideau Lakes²² and along the north shore of Lake Ontario.²³

Archaeological evidence suggests that people in the later half of the Paleo Period still covered large areas but were more restricted in their movements. This suggests that food resources were more readily available. People in the Late Paleo Period made smaller non-fluted points produced from a broader range of lithic materials. A number of Late Paleo sites have been identified along the north shore of Lake Ontario.²⁴

4.2 Archaic Period (8000-1000 BCE)

During the Archaic archaeological period (8000-1000 BCE), the occupants of southern Ontario continued their migratory lifestyles, although living in larger groups and transitioning towards a preference for smaller territories of land – possibly remaining within specific watersheds. People refined their stone tools during this period and developed polished or ground stone tool technologies. Evidence of long-distance trade has been found on archaeological sites from the Middle and Later Archaic times including items such as copper from Lake Superior, and marine shells from the Gulf of Mexico.²⁵

²¹ Lyman John Chapman and Donald F. Putnam, *The Physiography of Southern Ontario*, Toronto: University of Toronto Press, 1984, 38-40.

²² Gordon Watson, "Prehistoric Peoples of the Rideau Waterway" (Ontario Archaeology 1982), 5-26, accessed January 18, 2021, <https://ontarioarchaeology.org/Resources/Publications/oa50-1-watson.pdf>

²³ Arthur Roberts, "Paleo-Indian on the North Shore of Lake Ontario" (Archaeology of Eastern North America No. 8 1984), 28-45.

²⁴ Arthur Roberts, Paleo-Indian, "Preceramic Occupations Along the North Shore of Lake Ontario" (National Museum of Man, Archaeological Survey of Canada, Mercury Series, Paper 132, 1985).

²⁵ EMCWFT, "Chapter 3: The First Nations," (Toronto: TRCA, 2002).

4.3 Woodland Period (1000 BCE – 1650 CE)

The Woodland period in southern Ontario (1000 BCE – 1650 CE) represents a marked change in subsistence patterns, burial customs, and tool technologies, as well as the introduction of pottery making. The Woodland period is sub-divided into the Early Woodland (1000–400 BCE), Middle Woodland (400 BCE – CE 500) and Late Woodland (CE 500 - 1650).²⁶ The Early Woodland is defined by the introduction of clay pots which allowed for preservation and easier cooking.²⁷ During the Early and Middle Woodland, communities grew and were organized at a band level. Peoples continued to follow subsistence patterns focused on foraging and hunting.

Woodland populations transitioned from a foraging subsistence strategy towards a preference for agricultural village-based communities around during the Late Woodland. During this period people began cultivating maize in southern Ontario. The Late Woodland period is divided into three distinct stages: Early (CE 1000–1300); Middle (CE 1300–1400); and Late (CE 1400–1650).²⁸ The Late Woodland is generally characterised by an increased reliance on cultivation of domesticated crop plants, such as corn, squash, and beans, and a development of palisaded village sites which included more and larger longhouses. By the 1500s, Iroquoian communities in southern Ontario – and more widely across northeastern North America – organized themselves politically into tribal confederacies. Communities south of Lake Ontario at this time included the Haudenosaunee Confederacy, made up of the Mohawks, Oneidas, Cayugas, Senecas, Onondagas, and Tuscarora, and groups including the Anishinaabe and Neutral (Attiwandaron).²⁹

4.4 Seventeenth- and Eighteenth-Century Historic Context (1600s and 1700s)

French explorers and missionaries began arriving in southern Ontario during the first half of the 17th century. Early European contact with Indigenous peoples in the area coincided with ongoing movement of various peoples, and other social and political changes amongst various peoples who lived in the area such as the movement of the Haudenosaunee Confederacy from south of Lake Ontario. Between 1649 and 1655. The Haudenosaunee Confederacy waged war on the Huron, Petun, and Attawandaron, pushing them out of their villages and the general area.³⁰ European contact also introduced disease to which the Indigenous peoples had no immunity, which contributed to the collapse of the three southern Ontario Iroquoian confederacies.

²⁶ EMCWFT, “Chapter 3: The First Nations,” (Toronto: TRCA, 2002).

²⁷ EMCWFT, “Chapter 3: The First Nations,” (Toronto: TRCA, 2002).

²⁸ EMCWFT, “Chapter 3: The First Nations,” (Toronto: TRCA, 2002).

²⁹ Six Nations Elected Council, “About,” *Six Nations of the Grand River*, accessed 12 January 2023, <https://www.sixnations.ca/about>; University of Waterloo, “Land acknowledgment,” *Faculty Association*, accessed 12 January 2023, <https://uwaterloo.ca/faculty-association/about/land-acknowledgement>; Six Nations Tourism, “History,” accessed March 5, 2022, <https://www.sixnationstourism.ca/history/>.

³⁰ Mississaugas of the Credit First Nation, “The History of the Mississaugas of the New Credit First Nation,” Mississaugas of the New Credit First Nation, 2018, <http://mncfn.ca/wp-content/uploads/2018/04/The-History-of-MNCFN-FINAL.pdf>

As the Haudenosaunee Confederacy moved across a large hunting territory in southern Ontario, they began to threaten communities further from Lake Ontario, specifically the Ojibway (Anishinaabe). The Anishinaabe had occasionally engaged in conflict with the Haudenosaunee Confederacy over territories rich in resources and furs, as well as access to fur trade routes; but in the early 1690s, the Ojibway, Odawa and Potawatomi, allied as the Three Fires, initiated a series of offensive attacks on the Haudenosaunee Confederacy, eventually forcing them back to the south of Lake Ontario.³¹ Oral tradition indicates that the Mississauga played an important role in the Anishinaabe attacks against the Haudenosaunee.³² A large group of Mississauga established themselves in the area between present-day Toronto and Lake Erie around 1695, the descendants of whom are the Mississaugas of the New Credit.³³

4.5 Survey and Early Euro-Canadian Settlement

The Treaty of Paris concluding the Seven Years War (1756-1763) transferred control of New France to Great Britain. The *British Royal Proclamation* (1763) defined the British boundaries of the Province of Quebec and represents early British administrative control over territories in what would become Canada. The boundaries were defined as extending from the Gaspé to a line just west of the Ottawa River.³⁴ In 1774, British Parliament passed the *Quebec Act* extending the boundaries into what is now Ontario south of the Arctic watershed and including land that would become much of Ontario and several midwestern states in the United States.³⁵ Loyalists to the British who left the United States following the American Revolution (1775-1783) put pressure on the British administration in the remaining British North American colonies to open land for more settlement. The Crown rushed to purchase land and signed Treaties with local Indigenous groups.

In 1788, the area formed a part of the Nassau District, which then was renamed to the Home District.³⁶ In 1798, the Government of Upper Canada constructed a post-house or inn at the east bank of the Credit River, near Lakeshore Road, becoming the first structure built between Burlington Beach and the Etobicoke Creek.³⁷

³¹ Mississaugas of the Credit First Nation, "History", 3-4.

³² Mississaugas of the Credit First Nation, "History", 3-4.

³³ Mississaugas of the Credit First Nation, "History", 3-4.

³⁴ Randall White, 1985, *Ontario 1610-1985 a political and economic history*, Toronto, ON: Dundurn Press Limited, 51.

³⁵ Randall White, 1985, *Ontario 1610-1985 a political and economic history*, Toronto, ON: Dundurn Press Limited, 51; Archives of Ontario, 2015a, The Changing Shape of Ontario, "The Evolution of Ontario's Boundaries 1774-1912", <http://www.archives.gov.on.ca/en/maps/ontario-boundaries.aspx>

³⁶ J.H. Pope, *The Illustrated Atlas of the County of Peel, Ont.*, Toronto: Walker & Miles, 1877, 84.

³⁷ Regional Municipality of Peel, *A Settlement History of Peel*, Brampton, ON: Regional Municipality of Peel, 1977, 17, <https://archive.org/details/ASettlementHistoryOfPeelOcr/page/n11/mode/2up>.

4.5.1 Ajetance Treaty (Treaty 19)

The Property is located in the Lands and Territory of the Mississaugas of the Credit First Nation and the Ajetance Treaty No. 19 (1818) which expanded on the Head of the Lake, Treaty No. 14 (1806) along Lake Ontario (Figure 3).³⁸

As the Mississaugas of the Credit First Nation write:

In addition to their three small reserves located on the Lake Ontario shoreline, the Mississaugas of the Credit held 648,000 acres of land north of the Head of the Lake Purchase lands and extending to the unceded territory of the Chippewa of Lakes Huron and Simcoe. In mid-October 1818, the Chippewa ceded their land to the Crown in the Lake Simcoe-Nottawasaga Treaty, and, by the end of October, the Crown sought to purchase the adjacent lands of the Mississaugas of the Credit.

The Deputy Superintendent of the Indian Department, William Claus, met with the Mississaugas from October 27-29, 1818, and proposed that the Mississaugas sell their 648,000 acres of land in exchange for an annual amount of goods. The continuous inflow of settlers into their lands and fisheries had weakened the Mississaugas' traditional economy and had left them in a state of impoverishment and a rapidly declining population. In their enfeebled state, Chief Ajetance, on behalf of the assembled people, readily agreed to the sale of their lands for £522.10 of goods paid annually.³⁹

³⁸ Donna Duric, "Ajetance Treaty, No. 19 (1818)," Mississaugas of the Credit First Nations Treaty Lands & Territory, 2017, <http://mncfn.ca/treaty19/>; Peel Art Gallery, Museum, and Archives, "About Peel", 2017.

³⁹ Donna Duric, "Ajetance Treaty, No. 19 (1818)"

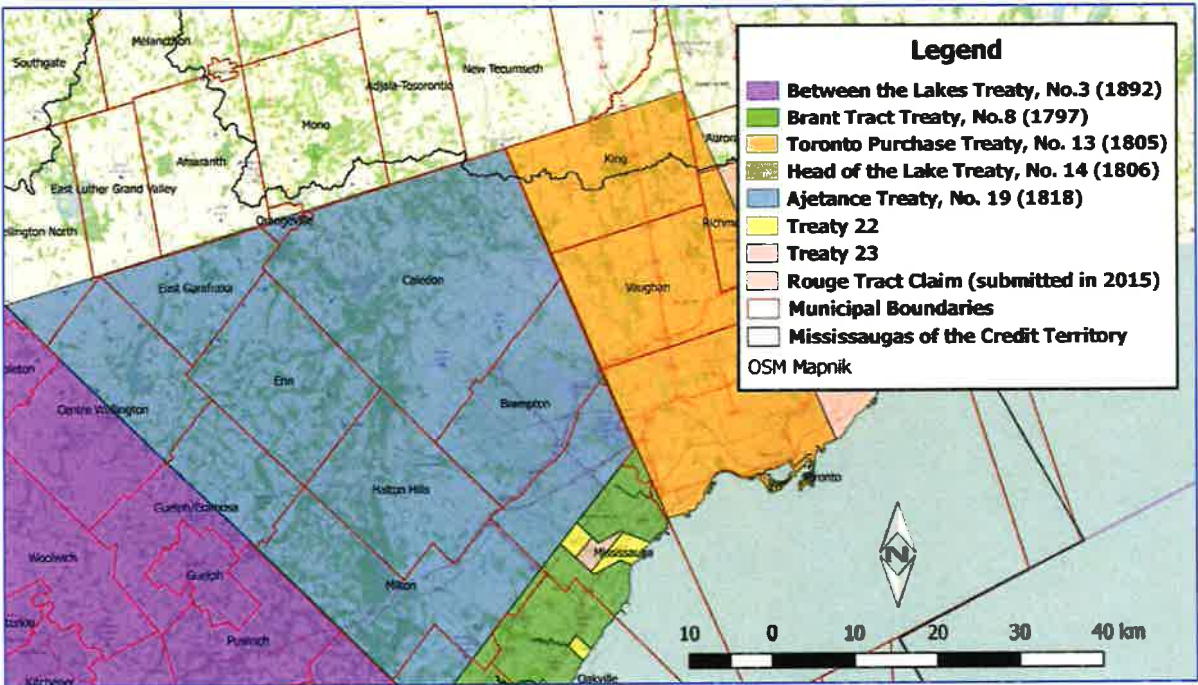


Figure 3: Ajetance Treaty, No. 19 Map (Mississaugas of the Credit First Nations, 2017)

4.6 Chinguacousy Township and Peel County

In 1788, the Province of Quebec’s government created districts and counties to serve as administrative bodies from the local level.⁴⁰ The first Districts were Hesse, Nassau, Mecklenburg, and Lunenburg. These four Districts would be renamed Western, Home, Midland, and Eastern, respectively, in 1792.⁴¹

In 1819, the Townships of Albion, Caledon, and Chinguacousy were surveyed by Richard Bristol and Timothy Street on the newly acquired Ajetance Treaty lands.⁴² They described the land as “low, swampy and covered with dense hardwood”.⁴³ Chinguacousy Township was named by Lieutenant Governor Sir Peregrine Maitland for the Mississauga designation for the Credit River which means “young pine”. The name also resembles the name of Ottawa chief Shingacouse, but this is believed to be a coincidence.⁴⁴

A “New Survey” method was used in the creation of smaller Townships within the County of Peel. Traditionally, 200 acre lots were the preferred method of surveying a town. However, these townships granted 100-acre square lots in order to provide everyone with access to a

⁴⁰ Ontario.ca, “The Changing Shape of Ontario: Early Districts and Counties 1788-1899,” accessed <http://www.archives.gov.on.ca/en/maps/ontario-districts.aspx>
⁴¹ Ontario.ca, “The Changing Shape of Ontario”
⁴² Town of Caledon, “Local History”, 2019.
⁴³ City of Brampton, “Brampton History,” Tourism Brampton, 2021, <https://www.brampton.ca/en/Arts-Culture-Tourism/Tourism-Brampton/Visitors/Pages/BramptonHistory.aspx>
⁴⁴ Alan Rayburn, *Place Names of Ontario*, Toronto, ON: University of Toronto Press, 1997, 68, <https://archive.org/details/placenamesofonta0000rayb>.

transportation route and ease of farming.⁴⁵ They also used the 'double-front' system and established concession numbers running east (E.H.S) and west (W.H.S) from a baseline laid through the centre of the township (today Hurontario Street/Main Street). Lot numbers were assigned running south to north. The first township in Peel was Toronto Township.⁴⁶ The name Peel was given in honour of Sir Robert Peel, who held many senior British government posts.⁴⁷

Many early settlers to Chinguacousy Township came from New Brunswick, parts of Upper Canada including the Niagara region, and the United States, as descendants of United Empire Loyalists.⁴⁸ Chinguacousy and Toronto Gore Township operated together until the latter separated in 1831.⁴⁹ The Townships were initially run by the elected Home District Council for York County which was dissolved in 1850 in favour of smaller counties.⁵⁰

All the townships within Peel were initially administered by the Home District Court and authority of self-governance was minor.⁵¹ Chinguacousy Township would reach a population peak of 7,469 inhabitants, a figure that was not reached by other townships until the 1870s.⁵²

The County of Peel was established in 1851 as a subsection of the United Counties of York, Ontario, and Peel, and included Toronto, Toronto Gore, Chinguacousy, Caledon, and Albion Townships.⁵³ In 1854, Ontario County separated from the United Counties and in 1866, Peel became an independent county, with the village of Brampton chosen as the County seat in 1867.⁵⁴ Peel quickly grew and by the late 19th century a shift from small self-sustaining family farms to larger business/export-oriented farms contributed to its growth. By 1873, the construction of the Toronto Grey & Bruce, Hamilton & Northwestern, and Credit Valley rails throughout Peel County allowed the county to prosper and local products were shipped to other parts of Ontario.⁵⁵

Growth following World War II led to the creation of the Regional Municipality of Peel in 1974.⁵⁶ Caledon, Brampton, and Mississauga became the three lower tier municipalities and Peel Region became the Upper Tier. Responsibility of the Upper Tier was for many over arching

⁴⁵ Peel Art Gallery, Museum, and Archives, "The Creation of the County of Peel", 1851-1867, 2017.

⁴⁶ Peel Art Gallery, Museum, and Archives, "The Creation of the County of Peel", 1851-1867, 2017.

⁴⁷ Alan Rayburn, *Place Names of Ontario*, Toronto, ON: University of Toronto Press, 1997, 266, <https://archive.org/details/placenamesofonta0000rayb>.

⁴⁸ J.H. Pope, *Illustrated Historical Atlas of the County of Peel*, Toronto, ON: Walker and Miles, 1877, 64.

⁴⁹ Corporation of the County of Peel, *A History of Peel County to Mark its Centenary*, Peel, ON: Charters Publishing Company, 1967.

⁵⁰ Peel Art Gallery, Museum, and Archives, "About Peel", 2017.

⁵¹ Peel Art Gallery, Museum, and Archives, "About Peel", 2017.

⁵² Corporation of the County of Peel, *A History of Peel County to Mark its Centenary*, Peel, ON: Charters Publishing Company, 1967, 249.

⁵³ Peel Art Gallery, Museum, and Archives. 2017. The Creation of the County of Peel, 1851-1867.

⁵⁴ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, Toronto, ON: Charters Publishing Company Limited, 1953, 29, accessed 3 November 2022, <https://archive.org/details/brampton-centennial-souvenir/page/n15/mode/2up>

⁵⁵ Town of Caledon, 2019, Local History.

⁵⁶ Peel Art Gallery, Museum, and Archives, "About Peel", 2017.

services, such as: public health, utility services, and policing.⁵⁷ Lower Tier municipalities were responsible for local matters and included: property assessment, tax collection, public transit, and libraries. In 1974, Peel Region had a total population of 334,750⁵⁸ and by 2021, it had a total population of 1,451,022.⁵⁹

4.7 City of Brampton

Between 1827 and 1832, the only building in the area was a small tavern at Salisbury, on Concession 1, Lot 8, E.H.S. Martin Salisbury operated a tavern and inn which contained most of the business in the area. The 1827 assessment roll indicates Salisbury only had one horse and one cow but assessed him as having £211.⁶⁰ Soon after, William Buffy constructed a tavern at the Four Corners (now the intersection of Main Street and Queen Street). John Scott, a magistrate, built a small store, a potashery, a distillery, and a mill.⁶¹ By 1834, the first lots in the settlement were surveyed out by John Elliott, who also gave the settlement the name of Brampton, in homage to his hometown of Brampton, Cumberland, England. He and another settler named William Lawson were staunch members of the Primitive Methodist movement and they established a strong Methodist presence in the area.⁶² According to the 1837 *Toronto and Home District Directory*, there were 18 inhabitants.⁶³

The village began to grow from the intersection of Hurontario and Queen Streets, on a floodplain of the Etobicoke Creek. By 1846, the village had two stores, a tavern, tannery, cabinetmaker, two blacksmiths and two tailors and the population had reached 150 people. In 1853, Brampton was officially incorporated as a village with a population of over 500 inhabitants. Several churches were built, along with a grammar school, distilleries, several stores and John Haggert's agricultural implements factory. The local economy was growing, and the village supported the surrounding farms and rural hamlets in the township.⁶⁴

⁵⁷ Peel Art Gallery, Museum, and Archives, "About Peel", 2017.

⁵⁸ Peel Art Gallery, Museum, and Archives, "About Peel", 2017.

⁵⁹ Statistics Canada, "2021 Census of Population geographic summary, 2021 Census, accessed from <https://www12.statcan.gc.ca/census-recensement/2021/search-recherche/productresults-resultatsproduits-eng.cfm?LANG=E&GEOCODE=2021A00033521>.

⁶⁰ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, Toronto, ON: Charters Publishing Company Limited, 1953, 13, accessed 19 August 2022, <https://archive.org/details/brampton-centennial-souvenir/page/n15/mode/2up>

⁶¹ Brampton Historical Society, *Buffy's Corner*, Vol. 3, No. 1, Brampton, ON: Peel Graphics Inc, March 2001, 6, accessed 18 October 2022, <http://nebula.wsimg.com/ab724bf29292825400659426003351b8?AccessKeyId=B6A04BC97236A848A092&disposition=0&alloworigin=1>

⁶² Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, Toronto, ON: Charters Publishing Company Limited, 1953, 13, accessed 19 August 2022, <https://archive.org/details/brampton-centennial-souvenir/page/n15/mode/2up>

⁶³ George Walton, *The City of Toronto and the Home District Commercial Directory and Register with Almanack and Calendar for 1837*, Toronto: T. Dalton & W.J. Coates, 1837.

⁶⁴ City of Brampton, "Brampton History", Tourism Brampton, no date given, accessed 19 August 2022, <https://www.brampton.ca/en/Arts-Culture-Tourism/Tourism-Brampton/Visitors/Pages/BramptonHistory.aspx>

The village of Brampton was chosen as the County seat in 1867 as the government buildings were built at a cost of \$40,000.⁶⁵ In 1873, Brampton was incorporated as a town with John Haggert elected as the first mayor. By 1877, there were 2,551 inhabitants and the town had two bank branches, two telegraph offices, five hotels, a curling and skating rink, several mills, and carriage factories.⁶⁶

A new industry was emerging in Brampton by the mid-Victorian era. In 1863, Edward Dale and his young family arrived in Brampton from England, where Edward had struggled through hard economic times as a market gardener.⁶⁷ Within a few short years, Brampton became known as the “Flowertown of Canada” and soon Dale's Nursery was Brampton's largest employer. By the turn of the century, hundreds of acres of land were filled with greenhouses growing prize orchids, hybrid roses and many other quality flowers. Most of these flowers were grown for export around the world.⁶⁸

The twentieth century brought new industries to the town, mostly along the railway line, including the Williams Shoe factory, the Copeland-Chatterson Loose-Leaf Binder company and the Hewetson Shoe factory. Major banks established branches on the Four Corners.⁶⁹ In 1907, American industrialist Andrew Carnegie’s Andrew Carnegie Foundation donated \$12,500 to construct a library in Brampton⁷⁰ and the population reached 4,000 people by 1910.⁷¹ Brampton's citizens endured two world wars and the Great Depression during the first half of the twentieth century. These major world events took their toll on the local economy. Some factories closed and the flower industry began a slow but steady decline.

The City slowly transformed after the Second World War. In the late 1940s and 1950s, the automobile began to change the landscape, as did rapid urban growth in Toronto as new subdivisions began to develop. In 1959, Bramalea was created and touted as "Canada's first satellite city". Bramalea was a planned community built to accommodate 50,000 people by integrating houses, shopping centres, parks, commercial business and industry.⁷²

The Province of Ontario began reviewing various municipalities in the mid-1960s. Peel County was facing increasing growth and urbanization. The abilities of its ten municipal governments varied greatly. By combining them into three municipalities, each could better react to and plan for the complex needs of residents at a regional level. In 1974, the provincial government created Caledon, Mississauga, and Brampton. The City of Brampton was created from the combination of the Town of Brampton, Toronto Gore Township, the southern half of

⁶⁵ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*
⁶⁶ J.H. Pope, *The Illustrated Atlas of the County of Peel, Ont.*, Toronto: Walker & Miles, 1877, 87-88.
⁶⁷ Thomas H.B. Symons, “Brampton’s Dale Estate”, Ontario Heritage Trust, accessed 19 August 2022, <https://www.heritagetrust.on.ca/en/pages/programs/education-and-outreach/presentations/bramptons-dale-estate>
⁶⁸ City of Brampton, “Brampton History”
⁶⁹ City of Brampton, “Brampton History”
⁷⁰ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 57
⁷¹ City of Brampton, “Brampton History”
⁷² Nick Moreau, “Brampton”, *The Canadian Encyclopedia*, 17 October 2012, accessed 19 August 2022, <https://www.thecanadianencyclopedia.ca/en/article/brampton>

Chinguacousy Township, and a portion of the Town of Mississauga.⁷³ Brampton is now Canada’s ninth-largest municipality with a population of 656,480 according to the 2021 Census.⁷⁴

4.8 Property History – Lot 5, Concession 1 East of Center Road

The Property is located on part of the west half of Lot 5, Concession 1 East of Center Road in the Township of Chinguacousy, in Peel Region. The 100-acre lot was first granted to Samuel Henry in 1821 by way of Crown Patent.⁷⁵ The Lot was purchased by John Elliott in December 1821 for £62.⁷⁶⁷⁷ It is unknown whether John Elliott resided on Lot 5 as he was likely a land speculator, who subdivided the Lot and sold it to other people until at least 1865.⁷⁸ According to historic atlases, John Elliott retained ownership of Lot 5 in 1859 and was considered the principal owner until 1877 (Figure 4).⁷⁹ Land registry records show that Elliott had already severed the lot and the parcel which contains 93 John Street was vested to P. Menzies on 25 October 1869 via a court order.⁸⁰ Between 1859 and 1875, the Property was owned by Isabelle Martin⁸¹, who sold it to Vipon Sparks on 26 July 1875 for \$390.⁸² Sparks retained the Property for a couple of years before they sold it to E.H. Crandell for \$600.⁸³ Between 1883 and 1896 the Property was sold for successively lesser value, from \$700 in 1883⁸⁴ to \$600 the same year⁸⁵ to \$400 in 1890⁸⁶ and finally settling at \$400 in 1896.⁸⁷ The value of the Property between these years likely suggesting it was used for speculative purposes.

Mary May, who purchased the Property 1896 retained ownership of it until her death c.1900 and willed it to Martha Leotta May, her adopted daughter⁸⁸, that same year.⁸⁹ Around 1900,

⁷³ Nick Moreau, “Brampton”

⁷⁴ Nick Moreau, “Brampton”

⁷⁵ Land Registry Office, Peel County [LRO 43], “Peel County (43), Chinguacousy, Book A, East Hurontario Street; Concession 1 to 6; West Hurontario Street; Concession 1 to 2,” accessed <https://www.onland.ca/ui/43/books/501865/viewer/572209282?page=11>, Instrument No. Patent

⁷⁶ LRO 43, Instrument No. 14096

⁷⁷ Before Canadian Confederation, multiple banks issued their own separate bank notes and many people continued to use the pound sterling. The Uniform Currency Act of 1867 established the Canadian dollar, cent, and mill as standard currency.

⁷⁸ Land registry abstract for west half of Lot 5, Concession 1 between 1821 and 1865 shows several smaller parcels, ranging in various acre sizes being sold to other individuals.

⁷⁹ University of McGill, “The Canadian County Atlas Digital Project, Full record for Elliott John,” accessed <https://digital.library.mcgill.ca/countyatlas/showrecord.php?PersonID=122216>

⁸⁰ LRO 43, Instrument No. 223

⁸¹ LRO 43, Instrument No. 1763

⁸² LRO 43, Instrument No. 1763

⁸³ LRO 43, Instrument No. 2928

⁸⁴ LRO 43, Instrument No. 3260

⁸⁵ LRO 43, Instrument No. 3289

⁸⁶ LRO 43, Instrument No. 4927

⁸⁷ LRO 43, Instrument No. 5770

⁸⁸ Library and Archives Canada [LAC], Census of Canada 1891, Province of Ontario, District of Peel, Sub-district Chinguacousy, Schedule No. 1 Nominal Return of the Living, page 5, line 23, microfilm T-6361, Reference RG31, Item Number 2381652

⁸⁹ LRO 43, Instrument No. 6190 and 6208

Martha married George R. Wedgewood,⁹⁰ however in 1901 Martha died due to an embolism and was buried at Mount Zion Methodist Church in Brampton.⁹¹ In 1913, George Wedgewood, Martha's widowed husband sold the Property to George H. Pickering for \$1600.⁹² According to a historic fire insurance plan from 1894 revised 1911, a two-storey wooden structure with a one-storey rear tail was located on the Property (Figure 5). Although less accurate, a topographic map from 1909 depicts a wooden structure on the Property (Figure 6). It is unknown who constructed the current structure but historic records and maps suggest it was built between 1900-1911, before Pickering's purchase. In 1916, Elsie R. Savage purchased the Property for \$1850 and in 1917 built an outbuilding at the rear of the Property (Figure 5).⁹³ By 1924, a front porch was added to the two-storey structure which included a shingled or board roof (Figure 5). Topographic maps between 1922 and 1929 depict a wooden structure on the Property; however, post 1929 topographic maps do not provide the built material of the structure and additional information concern the structure is unknown (Figure 6 and Figure 7).

Elsie Savage owned the Property until 1929 when she sold it to John R. Giffen, who took out a \$2200 mortgage for the Property.⁹⁴ In 1942 Harry A. Morrison and Elsie P. Morrison⁹⁵ purchased the Property and in turn sold it a year later to Edith and Stanley Cowton⁹⁶ who granted it to Wilbert Cowton in 1989.⁹⁷ The current owner of the Property is Gagandeep Gill.

⁹⁰ Ancestry.ca, "Martha Leotta Wedgewood," accessed 10 January 2023

https://www.findagrave.com/memorial/134853312/martha-leotta-wedgewood?_gl=1*10g1tmp*_ga*OTI4MDQyNDU4LjE2Njg2OTU1MTc.*_ga_4QT8FMEX30*MTY3MzM2ODg0NS4zLjEuMTY3MzM4MDM5My4xMS4wLjA.

⁹¹ Ancestry.ca, "Leona May Wedgewood," accessed 10 January 2023 <https://www.ancestry.ca/discoveryui-content/view/1647815:8946>

⁹² LRO 43, Instrument No. 11256

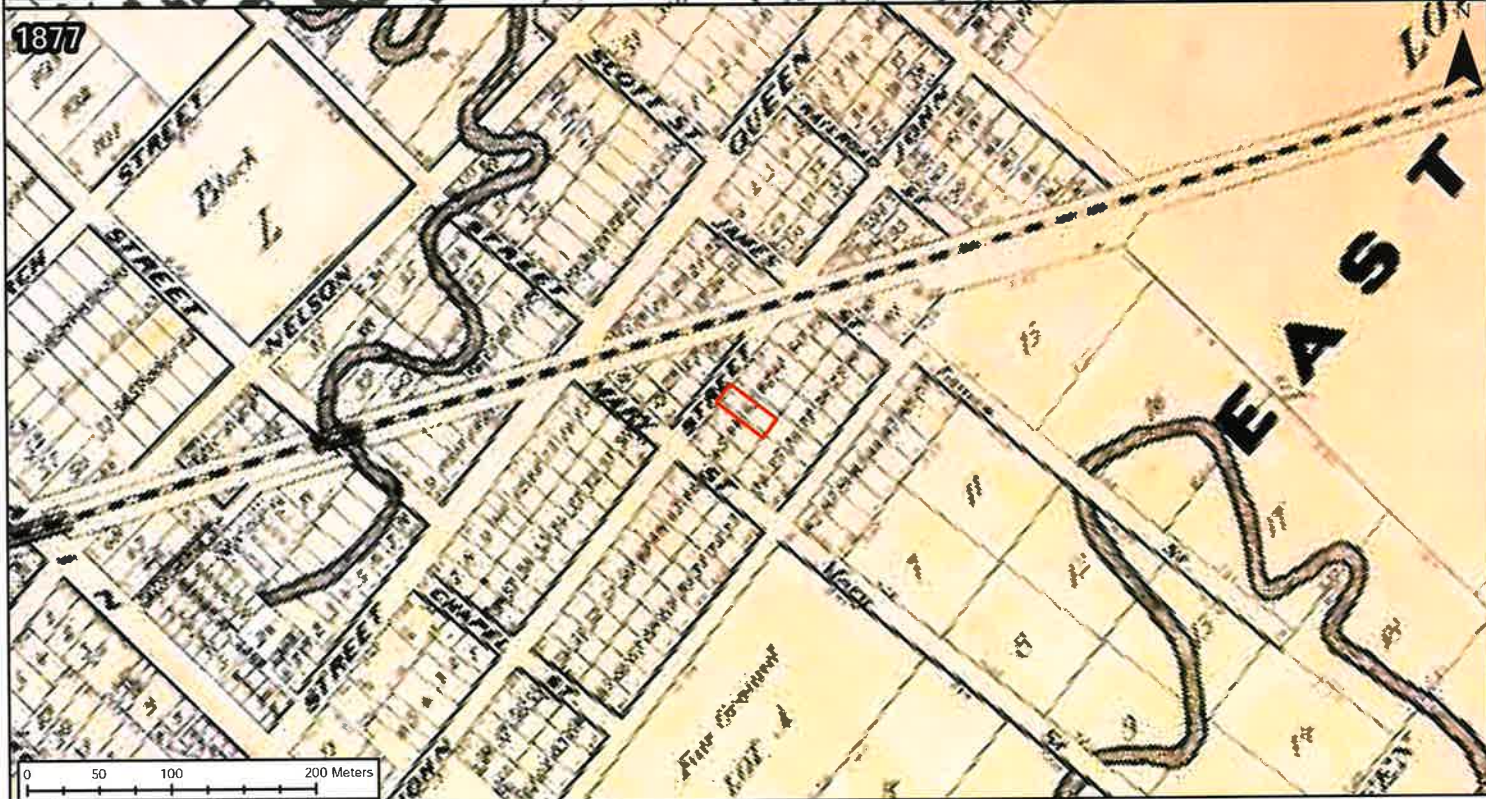
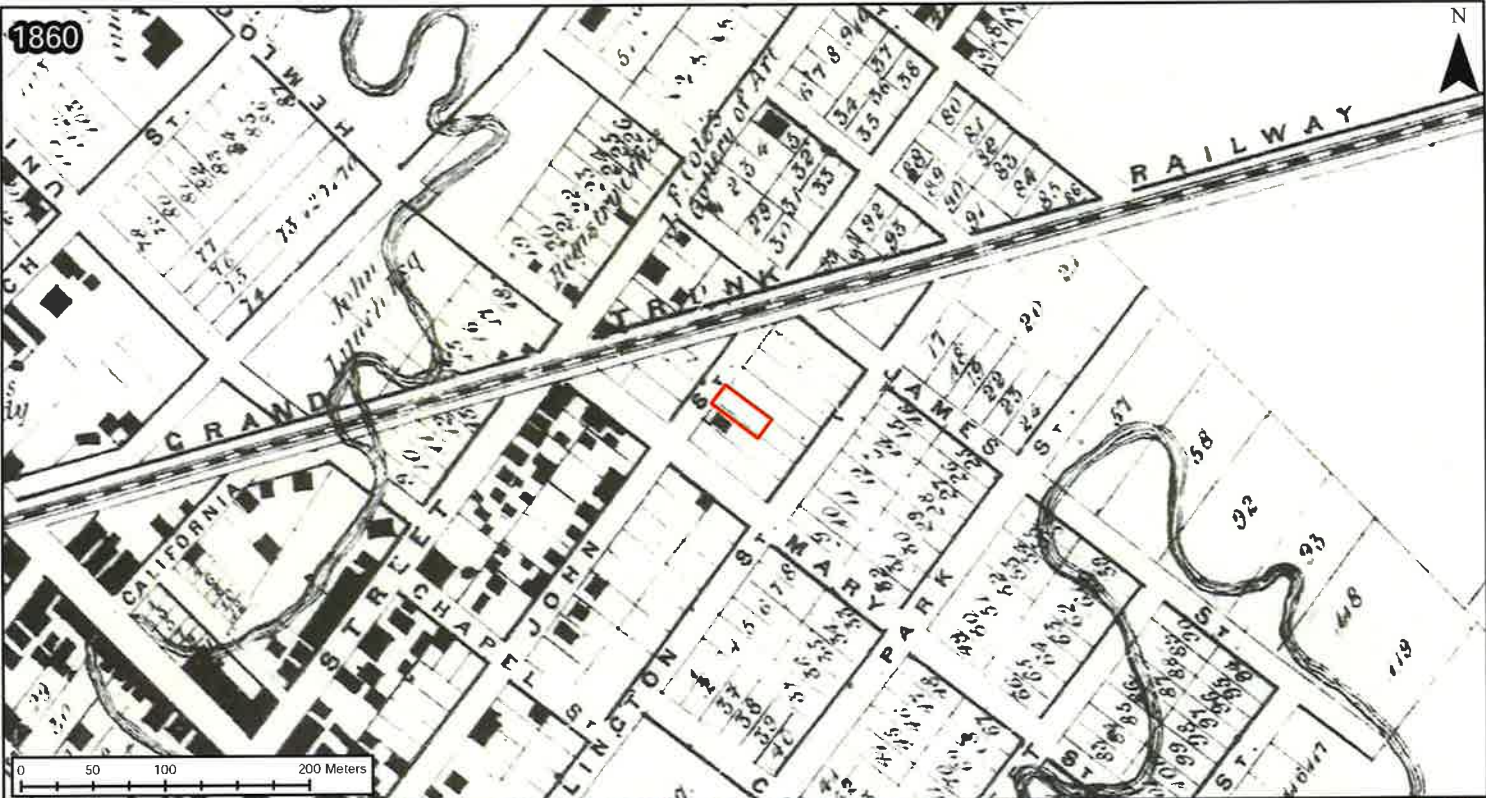
⁹³ LRO 43, Instrument No. 12392

⁹⁴ LRO 43, Instrument No. 16769 and 16768

⁹⁵ LRO 43, Instrument No. 20314

⁹⁶ LRO 43, Instrument No. 20733

⁹⁷ LRO 43, Instrument No. 896975



Legend

 Property


NOTE(S) 1. All locations are approximate.

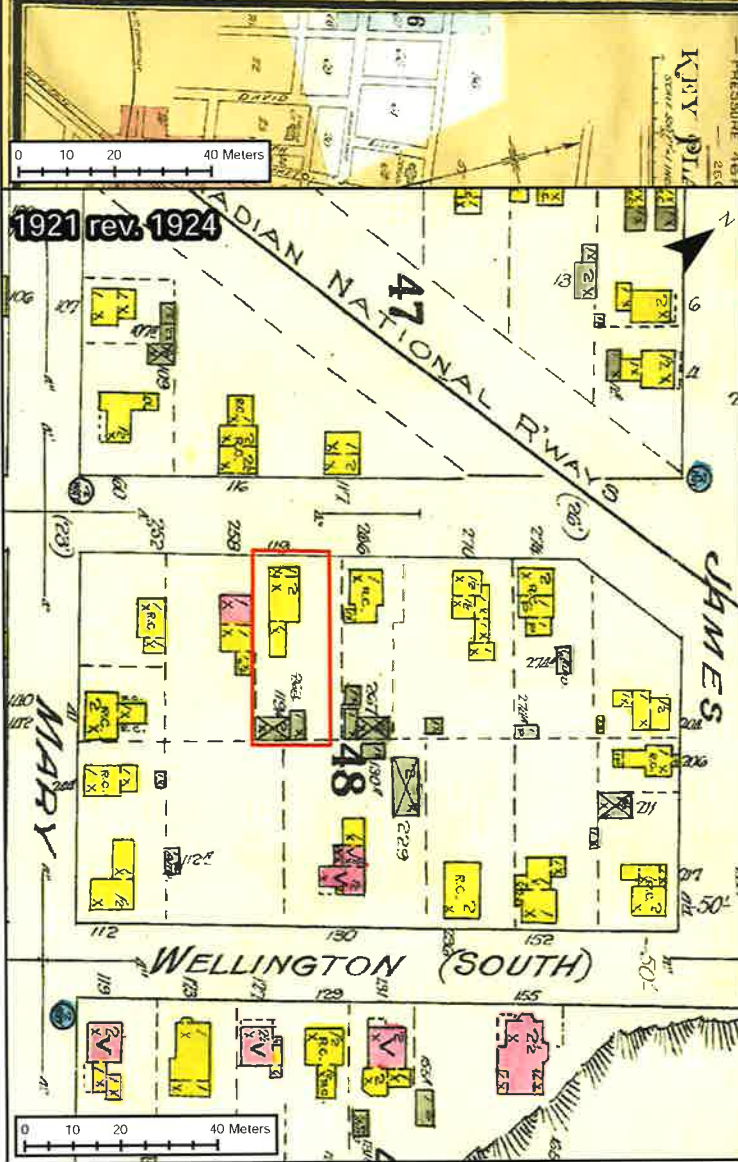
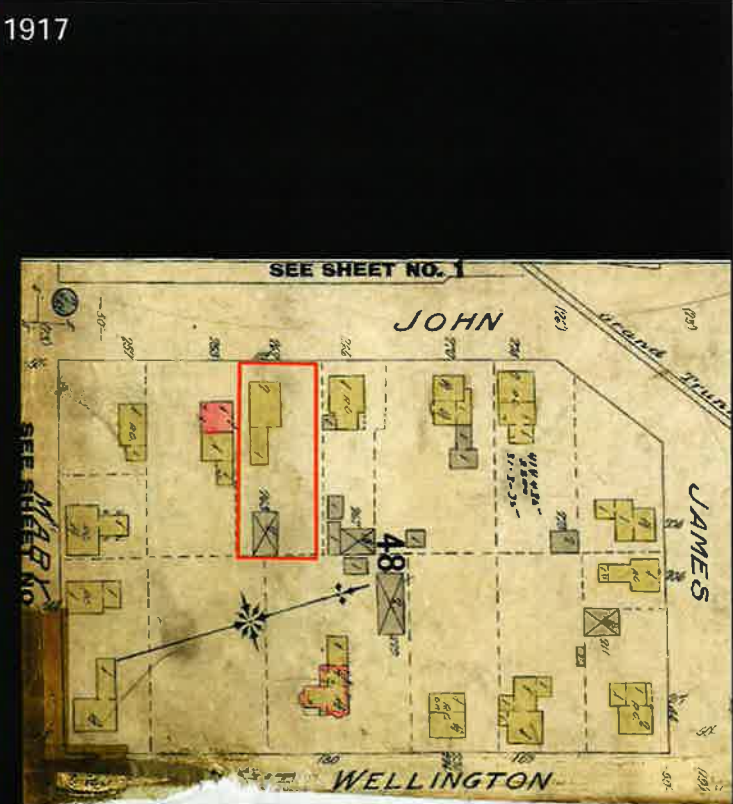
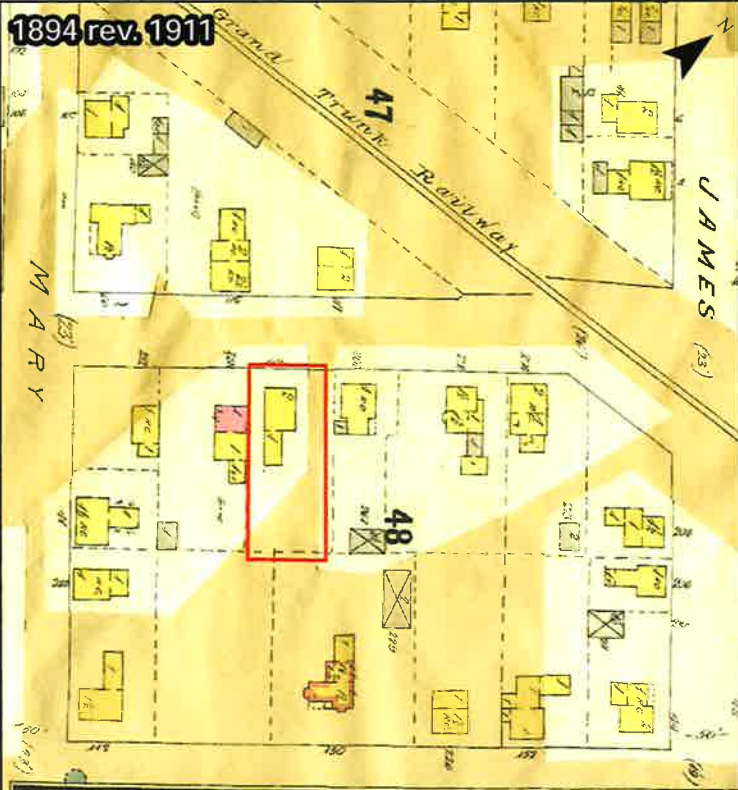
REFERENCE(S)

1. Geo. R. Tremain, "Tremain's Map of the County of Peel, Canada West", (<https://www.arcgis.com/apps/webappviewer/index.html?id=8cc6be34f6b54992b27da17467492d2f>; accessed January 12, 2023), scale 39,600, Toronto: G.R. & G.M. Tremain, 1859.

2. J.H. Pope, "Consolidated Plan of Brampton", In: Walker & Miles, "Illustrated Historical Atlas of the County of Peel, Ont.", scale 1:6,336, Toronto: Walker & Miles, 1877.


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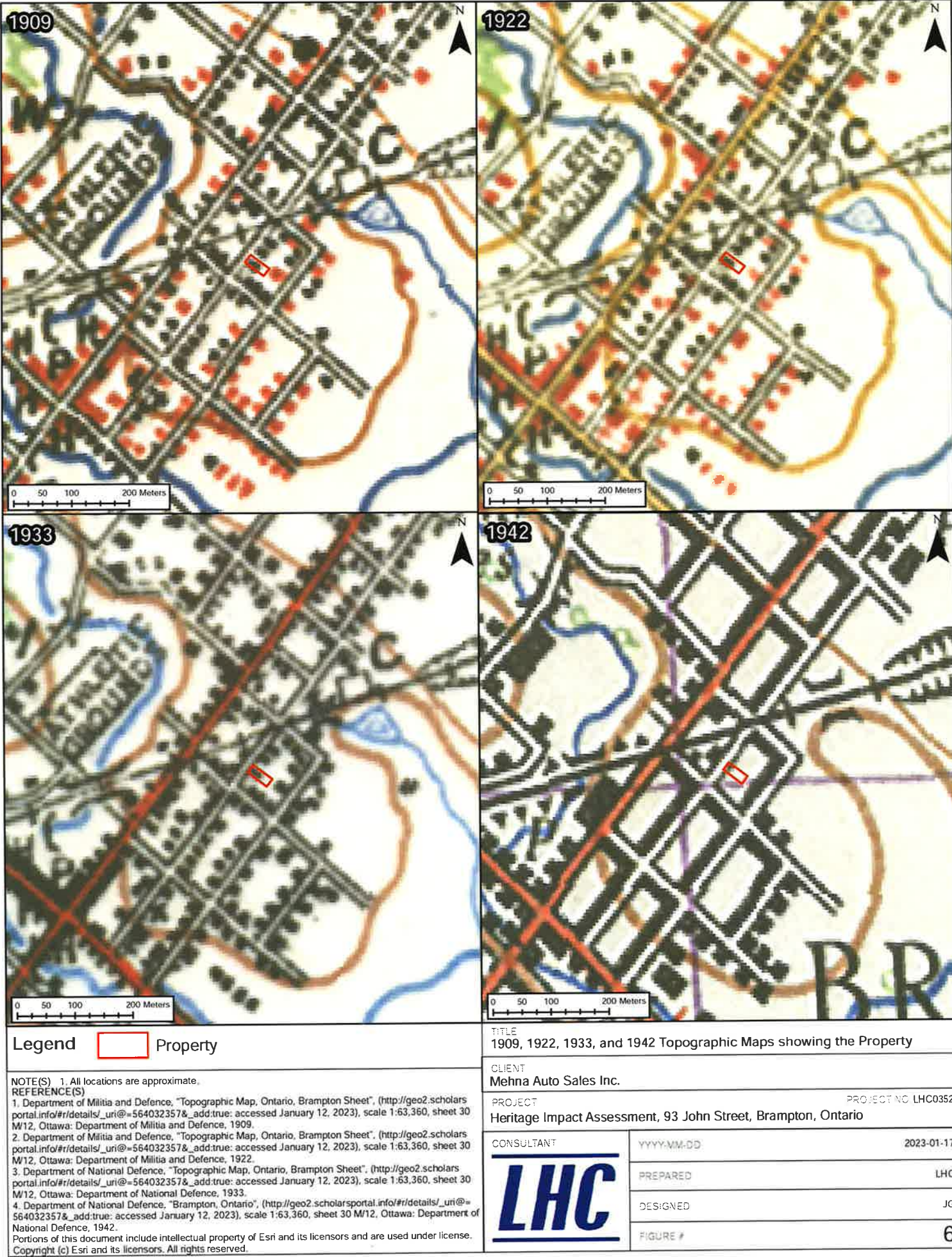
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CLIENT Mehna Auto Sales Inc.		
PROJECT Heritage Impact Assessment, 93 John Street, Brampton, Ontario		PROJECT NO LHC0352
CONSULTANT	YYYYAA-DD	2023-01-17
	PREPARED	LHC
	DESIGNED	JG
	FIGURE #	4

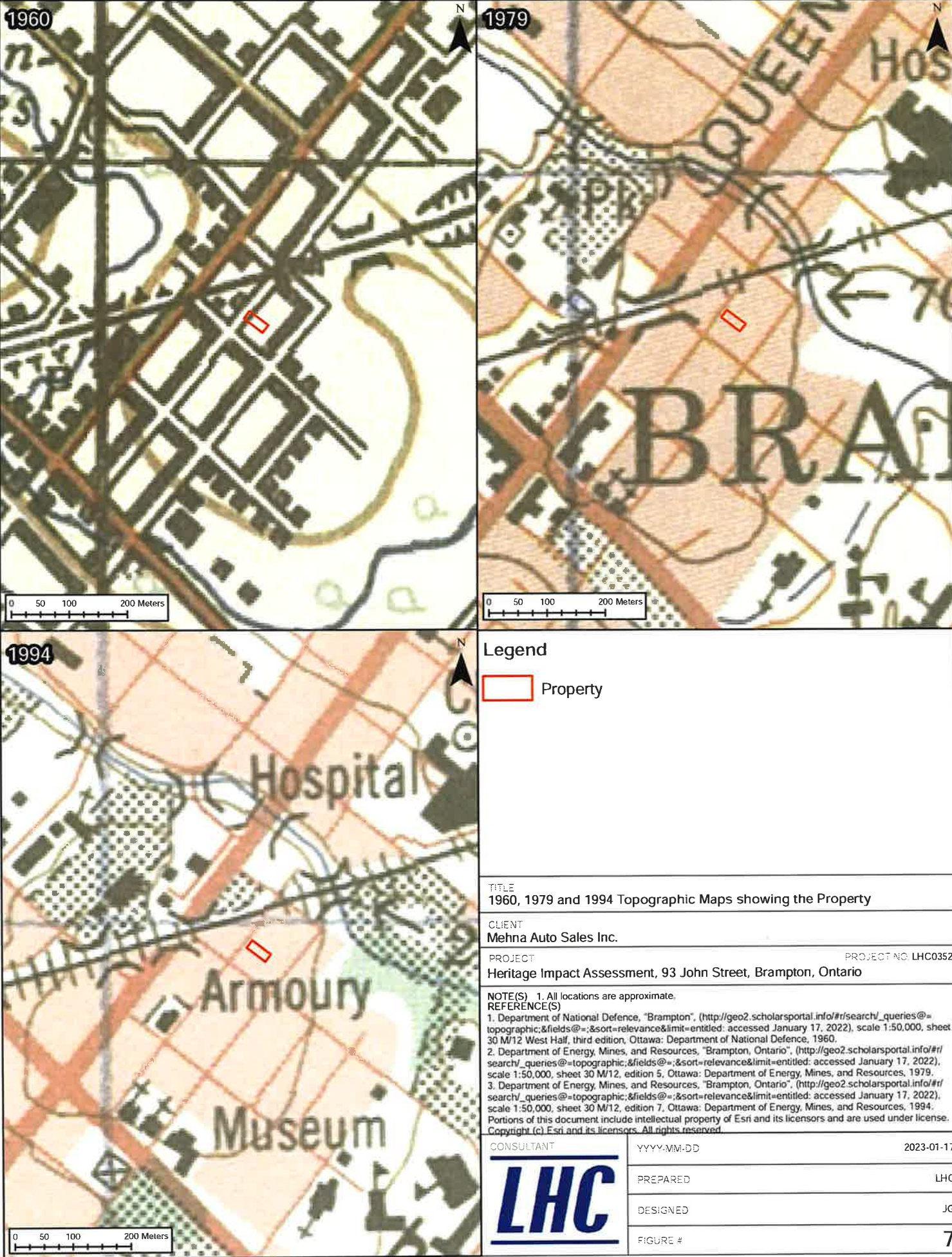


Legend

Property

TITLE	
1911, 1917 and 1924 Fire Insurance Plans showing the Property	
CLIENT	
Mehna Auto Sales Inc.	
PROJECT	PROJECT NO LHC0352
Heritage Impact Assessment, 93 John Street, Brampton, Ontario	
NOTE(S) 1. All locations are approximate. REFERENCE(S) 1. Chas. E. Goad, "Brampton, Ont.", (https://www.archeion.ca/fire-insurance-plans: accessed January 17, 2022), scale 1:600, sheet 1, Toronto, Montreal, Winnipeg, & London: Chas. E. Goad, 1894 rev. 1911. 2. Chas. E. Goad Co., "Brampton, Ont., Peel County", (https://www.archeion.ca/fire-insurance-plans: accessed January 17, 2022), scale 1:600, sheet 3, Toronto, Montreal, Winnipeg, & London: Chas. E. Goad Co. 1917. 3. Underwriters Survey Bureau Limited, "Brampton, Ont.", (https://www.archeion.ca/fire-insurance-plans: accessed January 17, 2022), scale 1:1,200, sheet 10, Montreal & Toronto: Underwriters Survey Bureau, 1921 rev. 1924. Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.	
CONSULTANT	YYYY-MM-DD 2023-01-17
	PREPARED LHC
	DESIGNED JG
	FIGURE # 5





5 ASSESSMENT OF EXISTING CONDITIONS

5.1 Surrounding Context

The surrounding area is largely urban and is predominantly made up of residential properties. There are some commercial and institutional buildings nearby (Photo 1 though Photo 5).

Residential buildings are generally one-to-two-storeys in height with a fairly equal distribution of brick and vinyl clad structures. Generally, residences within the immediate area around 93 John Street are vinyl clad, symmetrically places fenestrations, and have a rectangular shaped footprint. These residences tend to share a simplistic design and are draw inspiration from the Ontario Gothic Cottage, which includes a three-bay, rectangular shaped footprint, symmetrically placed window openings, and centralized main entrance. Other structures share the Georgian architectural style and include two-storeys in height, symmetrically placed window with a centralized entrance. However, these structures do not share a cohesive character such as those exhibited west of Mary Street.

Residences along Wellington Street East and Chapel Street south of Wellington Street are larger and are generally brick. These structures tend to draw inspiration from Victorian and Edwardian architectural elements. Victorian architectural elements include a front porch, turrets, two-storeys in height, bay windows, dichromatic quoins, and asymmetrical window placement (Photo 6). Edwardian architectural elements include a simpler façade and may include a front porch, symmetrical window placement, dormers, and square shaped footprint (Photo 7).

Institutional buildings include the Brampton Public Library (Photo 8), the Brampton Armoury (Photo 9), and Bell Canada structure (Photo 10). An active railway traverses east-west and is located approximately 50m north of the Property. The Etobicoke Creek is approximately 170m to the east of the Property and consists of park lands and walking trail.



Photo 1: View west of John Street



Photo 2: View east of Wellington Street East



Photo 3: View west of Wellington Street East



Photo 4: View northeast of Mary Street



Photo 5: View west of John Street



Photo 6: View west of 17 Chapel Street



Photo 7: View south of 33 Wellington Street



Photo 8: View west of Brampton Public Library



Photo 9: View west of Brampton Armoury



Photo 10: View south of Bell Canada structure

5.2 Residence Exterior

The structure located on the Property is a two-storey single detached house with a square shaped floor plan. The vinyl clad residence has a hipped roof with asphalt shingles and a rear facing brick chimney (Photo 11 through Photo 13). Windows are located on the north, east, and west elevation. Exterior windows have been replaced with modern one-over-one sash windows with new glazing and vinyl casings. Windows are symmetrically placed on the north elevation, while the east and west elevation windows are placed asymmetrically. There are two entrances to the residence, the main entrance is located on the north elevation, and one located at the rear. The main entrance is a wooden door with a central fixed pane glass panel in the top half. The door includes a non-functioning doorbell (Photo 14) and ornate doorknob (Photo 15).

A covered porch is located on the north elevation (Photo 11). The entrance into the porch is accessed via four riser wooden stairs with a simple wooden door that is flanked on both sides by three-segmented sidelites with wooden surrounds. The porch is surrounded by windows, which all consist of a six-pane over two-pane encased in wooden surrounds (Photo 16 and Photo 17). It is unknown whether the windows can be opened; however, hinges located on some windows suggest they can swing outward. At the corners of the porch are wooden engaged columns.



Photo 11: View south of north elevation of residence



Photo 12: View southeast of northwest elevation of residence



Photo 13: View north of south elevation of residence



Photo 14: View of doorbell



Photo 15: View of doorknob



Photo 16: View east of interior of covered porch



Photo 17: View west of interior of covered porch

5.3 Residence Interior

Access to the residence is on the north elevation. The building has two floors and a basement. The ground floor is divided into the foyer, kitchen, living room, and bedroom. The foyer consists of the stairwell and connects the front entrance to the kitchen (Photo 18). The main entrance and entry into the kitchen are framed with Victorian style wood casing with rosettes in the top corners (Photo 18 and Photo 19). The staircase consists of two sections with a 10-risers section followed by a left turn and additional three-riser steps. The stair treads are historic with a wood railing and balusters; however, some of these components are missing (Photo 20).

The kitchen is located at the rear of the residence and is a square shaped room with a lowered ceiling and contemporary wooden floorboards. Major appliances located against the southern and western elevation (Photo 21). Wooden cabinets painted blue are located above the appliances. Directly to the east of the kitchen is the living room (Photo 22). The living room has a lowered ceiling with a wooden floorboard, and yellow painted walls with a baseboard. The rear entrance, a double glass sliding door, is located in this room. The final room on the ground floor is connected to the living room and contains the bedroom (Photo 23). The bedroom shares similar architectural elements as most rooms except the floor has a linoleum or vinyl-like applied finish.

The second floor consists of the top of the stairwell and a rectangular shaped hallway that branches out into three bedrooms and a bathroom. The bedrooms are all square shaped and

consist of a contemporary six-panel wooden door with a simple wood trim or Victorian style casing, contemporary wooden floorboards, drywall, and lowered ceilings (Photo 24). Individual differences are the locations of closets and the colour of paint. The windows retain the same configuration as exterior except for the presence of the associated wooden casings (Photo 24 and Photo 25).

The basement is accessed from the kitchen, located behind the main staircase. The basement is divided into two rooms and is unfinished (Photo 26 and Photo 27). Both rooms consist of poured concrete floor and concrete walls. The floor joists for the first floor are milled lumber and the basement includes wooden support pillars. Towards the rear of the residence is the lower half of the chimney, which is painted blue (Photo 28). An iron soot door with the engraving "Pease Fdy. Co. Toronto 6 x 9 Soot Door" is present (Photo 30). Other more contemporary components include modern HVAC systems and an electrical pane.



Photo 18: View south of foyer into the kitchen



Photo 19: View north of main entrance door and hardware



Photo 20: View of stairwell and associated components



Photo 21: View south of kitchen



Photo 22: View east of the living room



Photo 23: View north of the ground floor bedroom



Photo 24: View of typical bedroom on second floor



Photo 25: View of window located on second floor

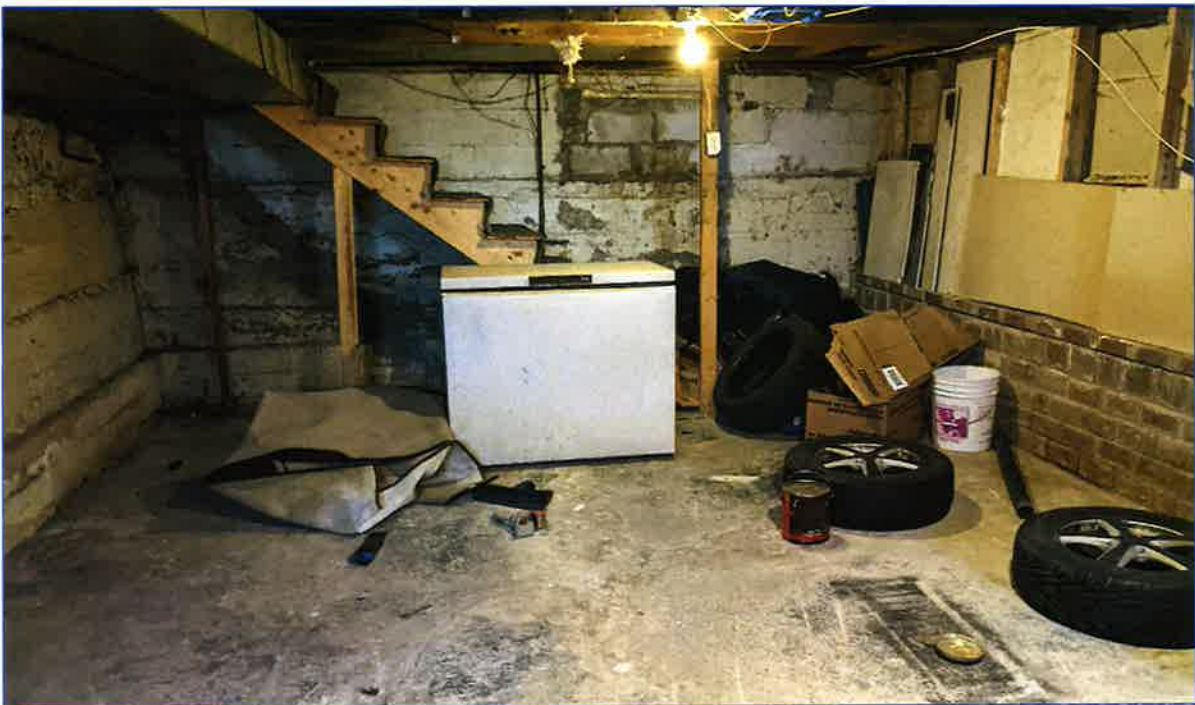


Photo 26: View west of basement



Photo 27: View east of basement



Photo 28: View of chimney



Photo 29: View of soot door on chimney

5.4 Outbuilding

A one storey shed is located at the back of the Property (Photo 30). The building’s north and south elevation is clad in vinyl; while the east and west elevations show an exposed wooden fiberboard construction of the shed. The shed has a side gable roof with asphalt shingles and overhang eaves. A contemporary four-panel wooden door and small rectangular window is located on the north elevation.



Photo 30: View south of north elevation of outbuilding/shed

5.5 Analysis

The residence on the Property, built c.1900-1911, is a vernacular structure incorporating Edwardian architectural elements.

The Edwardian style architecture was popular in Ontario at the turn of the century.⁹⁸ This style of house was often seen as “beautifully designed” with modern conveniences.⁹⁹ The popularity of this type of style was derived from its simplicity in construction.¹⁰⁰ Pattern books and house plans were widely available and plans, components – and sometimes entire houses - could be ordered from a catalogue.¹⁰¹ Typically, the Edwardian style is characterized by a two-and-a-half-

⁹⁸ ERA Architects Inc., *Village of Bolton: Heritage Conservation District Plan*, (ERA Architects Inc., 2015), 19

⁹⁹ Ontario Architecture, Edwardian (1890-1916), accessed 16 January 2023

<http://www.ontarioarchitecture.com/Edwardian.htm>

¹⁰⁰ ERA Architects Inc., *Village of Bolton: Heritage Conservation District Plan*, 19

¹⁰¹ ERA Architects Inc., *Village of Bolton: Heritage Conservation District Plan*, 19

storey square house, with a hipped roof, a front porch, smooth brick finish, plenty of windows with stone sills.¹⁰²

The residence has some Edwardian architectural properties, such as the square shaped footprint, hipped roof, and front porch. However, it differs significantly in terms of its lack of brick finish, its lack of numerous windows and the associated window elements as seen from a typical Edwardian residence.

The one-storey outbuilding/shed is a simple vernacular structure and does not share or draw inspiration from any specific architectural style.

¹⁰² Ontario Architecture, Edwardian (1890-1916)

6 EVALUATION

6.1 Ontario Regulation 9/06

The Property at 93 John Street was evaluated against *O. Reg. 9/06* as amended by *O. Reg. 569/22* under the *OHA* using research and analysis presented in Section 4 and 5 of this HIA. The findings are presented in Table 3 below.

Table 3: *Ontario Regulation 09/06* Evaluation for 5556 Countryside Drive

Criteria	Criteria Met	Justification
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N	<p>The Property is neither rare, unique, representative, or an early example of the Edwardian architectural style.</p> <p>The residence on the Property, built c.1900-1911, has elements incorporating Edwardian architectural style. Elements such as its square shaped footprint, hipped roof, and front porch are reminiscence of this style; however, it is significantly lacking in other elements such as the brick finish, generous use of window openings and its associated window hardware. Although the residence may appear Edwardian its lack of some features diminishes its physical value as a truly Edwardian structure. Numerous residences located in the surrounding area such as 47, 56, and 74 John Street, and 33, and 41 Wellington Street East are stronger candidates as representative of this style.</p>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N	<p>The Property does not display a high degree of craftsmanship or artistic merit. The building’s vernacular nature with Edwardian inspired design is typical of similar residences in the area and is generally standardized among similar properties.</p> <p>Accordingly, the craftsmanship and artistic merit of the Property does not supersede the standard quality or industry standard of the time.</p>

Criteria	Criteria Met	Justification
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.	N	The Property does not demonstrate a high degree of technical or scientific achievement. No evidence was found suggest that the Property meets this criterion.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	N	<p>The Property does not have direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to the community.</p> <p>The Property was owned by Mary May, who purchased the Property in 1896. The extant structure was built between 1900-1911 during the ownership of Martha Leotta May; however, there is no evidence Martha lived on the Property or that she was significant to the community.</p>
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	N	<p>The Property does not yield or have potential to yield information that contributes to an understanding of a community or culture.</p> <p>The vernacular residence built with Edwardian inspired architectural elements does not contribute to the understanding of the development of the community.</p>
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	N	<p>The Property does not demonstrate or reflect the work or ideas of an architect, artist, builder, designer, or theorist who is important to a community.</p> <p>The Property can not be connected to any architect, artist, builder, designer, or theorist who is significant to a community</p> <p>The house appears to be a vernacular building based on popular house styles at the time.</p>
7. The property has contextual value because it is important in	N	The Property is not important in defining, maintaining, or supporting the character of an area.

Criteria	Criteria Met	Justification
defining, maintaining or supporting the character of an area.		<p>As described and illustrated in Section 5.4 the surrounding area generally consists of older building stock, which includes residences that exhibit Victorian, Edwardian, or Ontario Gothic Cottage styles. Many of these nearby buildings are better executed examples of popular late 19th and early 20th century residential buildings. Many residences along John Street, west of Mary Street, and Wellington Street East are more likely to maintain and support the historic character of the area.</p> <p>The area in the immediate vicinity of the Property is a mixture of vernacular structures that do not share a cohesive design and there is no specific character to this area that the Property supports.</p>
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	N	<p>The Property is not physically, functionally, visually, or historically linked to its surroundings.</p> <p>The Property must have a relationship to its broader context in order to meet this criterion. While it is an old building in an area with many old buildings and has a comparable size and height as many nearby buildings. this is not a historically significant physical or visual link to the surrounding area.</p> <p>This Property is a typical vernacular residential property in a primarily residential area. No evidence was found that suggest this Property is part of any significant views or has any significant historical links to its surroundings.</p>
9. The property has contextual value because it is a landmark.	N	<p>The property is not a landmark. The MCM defines landmark as:</p> <p>a recognizable natural or human-made feature used for a</p>

Criteria	Criteria Met	Justification
		<p>point of reference that helps orienting in a familiar or unfamiliar environment; it may mark an event or development; it may be conspicuous.</p> <p>The vernacular nature of the residence is not memorable or easily discernible and is not a well-known marker in the community.</p>

6.1.1 Summary

In LHC’s professional opinion, the Property municipally known as 93 John Street does not meet any criteria under *O. Reg. 9/06*.

Amendments to the *Ontario Heritage Act* were enacted as part of Bill 23, the *More Homes Built Faster Act* which came into force on 1 January 2023. The threshold that a property is required to meet to qualify for designation under the *OHA* was among the changes. For a property to qualify for Part IV Section 29 designation, it must meet two of nine criteria established within *O. Reg. 569/22*. Because the Property does not meet any criteria, it would not be eligible for individual designation. A statement of cultural heritage value or interest was not prepared.

7 IMPACT ASSESSMENT

The MCM’s *Info Sheet #5 Heritage Impact Assessments and Conservation Plans* outlines seven potential negative impacts to be considered with any proposed development or site alteration. The impacts include:

- Destruction** of any part of any significant heritage attribute or features;
- Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
- Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
- Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
- Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
- A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.

The proposed development is to demolish the existing house on the Property to facilitate a severance and future construction of a new two-storey semi-detached residence.

Based upon the analysis and evaluation in Section 6, the Property does not exhibit CHVI and potential heritage attributes were not identified. It is the professional opinion that direct or indirect impacts related to the proposed development are unlikely to affect the CHVI of the Property.

The adjacent properties at 89 John Street and 74 Wellington Street East were evaluated for potential direct and indirect impacts with respect to the demolition and severance of 93 John Street and no direct or indirect impacts were identified.

It is recommended that once a design for the new structure(s) has been developed, an updated HIA or Addendum may be required by the City to assess potential impacts of the proposed design on adjacent properties.

8 CONCLUSIONS AND RECOMMENDATIONS

LHC Heritage Planning & Archaeology Inc. (LHC) was retained in November 2022 by Mehna Auto Sales Inc. care of Gagandeep Singh Gill (the **Client**) to prepare a Scoped Heritage Impact Assessment (HIA) on the Property at 93 John Street, Brampton, ON (the **Property**). The Property is located in the City of Brampton (the **City**), in the Region of Peel (the **Region**).

The Client is planning to sever the Property, demolish the existing house and construct a new two-storey semi detached residence. It is understood the Client has submitted a Committee of Adjustment – Consent to Sever and Minor Variance Application (City File: B-2022-0014, A-2022-0320, and A2022-0321).

The City has requested a Scoped HIA to be submitted as part of a complete Consent to Sever and Minor Variance Applications to facilitate demolition and future use of the Property under the *Planning Act*. This HIA is scoped to evaluate the cultural heritage value or interest of the Property and to outline heritage planning constraints affected by the proposal. This HIA reviewed the proposal to demolish the existing structures and sever the Property. Design of a future residence on the future severed lots has not commenced and therefore has not been assessed in this HIA.

This HIA was undertaken in accordance with the recommended methodology outlined within the Ministry of Citizenship and Multiculturalism's (MCM) *Ontario Heritage Tool Kit* and the City of Brampton's Heritage Impact Assessment Terms of Reference (HIA TOR). The City's heritage planner, Harsh Padhya, has provided the Client and LHC with the requirements for this Scoped HIA.

In LHC's professional opinion, the Property does not meet any criteria of *Ontario Regulation 9/06 (O. Reg. 9/06)* as amended through *Ontario Regulation 569/22 (O. Reg. 569/22)* and **does not** meet the threshold for designation under Part IV Section 29 of the *OHA*.

The proposed demolition to facilitate severance and future construction of a two-storey semi-detached residence was reviewed for potential direct or indirect impacts to the Property. As the Property does not exhibit CHVI, the proposed development will not directly or indirectly impact the CHVI of the Property. Additionally, the adjacent properties were evaluated for potential direct and indirect impacts with respect to the demolition and severance of 93 John Street and no direct or indirect impacts were identified.

Although new dwellings are not required to comply with a specific Heritage Plan or Guidelines, the new structure(s) are subject to Section 4.10.4 of the *OP* and may be subject to SPA7, the Secondary Plan Area 7: Downtown Brampton Secondary Plan (2019).

It is recommended that once a design for the new structure(s) has been developed, an updated HIA or Addendum may be required by the City to assess potential impacts of the proposed design on adjacent properties.

SIGNATURES



Christienne Uchiyama, MA, CAHP
Principal, Manager Heritage Consulting
Services



Colin Yu, MA, CAHP
Cultural Heritage Specialist

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APPENDIX A Qualifications



Christienne Uchiyama, MA CAHP - Principal, LHC

Christienne Uchiyama MA CAHP is Principal and Manager - Heritage Consulting Services with LHC. She is a Heritage Consultant and Professional Archaeologist (P376) with two decades of experience working on heritage aspects of planning and development projects. She is currently Past President of the Board of Directors of the Canadian Association of Heritage Professionals and received her MA in Heritage Conservation from Carleton University School of Canadian Studies. Her thesis examined the identification and assessment of impacts on cultural heritage resources in the context of Environmental Assessment.

Chris has provided archaeological and heritage conservation advice, support and expertise as a member of numerous multi-disciplinary project teams for projects across Ontario and New Brunswick, including such major projects as: all phases of archaeological assessment at the Canadian War Museum site at LeBreton Flats, Ottawa; renewable energy projects; natural gas pipeline routes; railway lines; hydro powerline corridors; and highway/road realignments. She has completed more than 300 cultural heritage technical reports for development proposals at all levels of government, including cultural heritage evaluation reports, heritage impact assessments, and archaeological licence reports. Her specialties include the development of Cultural Heritage Evaluation Reports, under both O. Reg. 9/06 and 10/06, and Heritage Impact Assessments.

Colin Yu, MA, CAHP Cultural Heritage Specialist and Archaeologist with LHC.

Colin Yu is a Cultural Heritage Specialist and Archaeologist with LHC. He holds a BSc with a specialist in Anthropology from the University of Toronto and a M.A. in Heritage and Archaeology from the University of Leicester. He has a special interest in identifying socioeconomic factors of 19th century Euro-Canadian settlers through quantitative and qualitative ceramic analysis.

Colin has worked in the heritage industry for over eight years, starting out as an archaeological field technician in 2013. He currently holds an active research license (R1104) with the Province of Ontario. Colin is a professional member of the Canadian Association of Heritage Professionals (CAHP) and member of the Board of Directors for the Ontario Association of Heritage Professionals (OAHP).

At LHC, Colin has worked on numerous projects dealing with all aspects of Ontario's cultural heritage. He has completed over thirty cultural heritage technical reports for development proposals and include Cultural Heritage Evaluation Reports, Heritage Impact Statements, Environmental Assessments, and Archaeological Assessments. Colin has worked on a wide range of cultural heritage resources including; cultural landscapes, institutions, commercial and residential sites as well as infrastructure such as bridges, dams, and highways.

Jordan Greene, B.A. (Hons) – Mapping Technician

Jordan Greene, B.A., joined LHC as a mapping technician following the completion of her undergraduate degree. In addition to completing her B.A. in Geography at Queen's University,

Jordan also completed certificates in Geographic Information Science and Urban Planning Studies. During her work with LHC Jordan has been able to transition her academic training into professional experience and has deepened her understanding of the applications of GIS in the fields of heritage planning and archaeology. Jordan has contributed to over 100 technical studies and has completed mapping for projects including, but not limited to, cultural heritage assessments and evaluations, archaeological assessments, environmental assessments, hearings, and conservation studies. In addition to GIS work she has completed for studies Jordan has begun developing interactive maps and online tools that contribute to LHC's internal data management. In 2021 Jordan began acting as the health and safety representative for LHC.

Benjamin Holthof, M.Pl., M.M.A., MCIP, RPP, CAHP – Senior Heritage Planner

Ben Holthof is a heritage consultant, planner and marine archaeologist with experience working in heritage consulting, archaeology and not-for-profit museum sectors. He holds a Master of Urban and Regional Planning degree from Queens University; a Master of Maritime Archaeology degree from Flinders University of South Australia; a Bachelor of Arts degree in Archaeology from Wilfrid Laurier University; and a certificate in Museum Management and Curatorship from Fleming College.

Ben has consulting experience in heritage planning, cultural heritage screening, evaluation, heritage impact assessment, cultural strategic planning, cultural heritage policy review, historic research and interpretive planning. He has been a project manager for heritage consulting projects including archaeological management plans and heritage conservation district studies. Ben has also provided heritage planning support to municipalities including work on heritage permit applications, work with municipal heritage committees, along with review and advice on municipal cultural heritage policy and process. His work has involved a wide range of cultural heritage resources including on cultural landscapes, institutional, industrial, commercial, and residential sites as well as infrastructure such as wharves, bridges and dams. Ben was previously a Cultural Heritage Specialist with Golder Associates Ltd. from 2014-2020.

Ben is experienced in museum and archive collections management, policy development, exhibit development and public interpretation. He has written museum policy, strategic plans, interpretive plans and disaster management plans. He has been curator at the Marine Museum of the Great Lakes at Kingston, the Billy Bishop Home and Museum, and the Owen Sound Marine and Rail Museum. These sites are in historic buildings and he is knowledgeable with extensive collections that include large artifacts including ships, boats, railway cars, and large artifacts in unique conditions with specialized conservation concerns.

Ben is also a maritime archaeologist having worked on terrestrial and underwater sites in Ontario and Australia. He has an Applied Research archaeology license from the Government of Ontario (R1062). He is a professional member of the Canadian Association of Heritage Professionals (CAHP).

APPENDIX B Glossary



Definitions are based on those provided in the *Provincial Policy Statement (PPS)*, *Ontario Heritage Act (OHA)*, *Environmental Assessment Act (EAA)*, the Ministry of Citizenship and Multiculturalism *Standards & Guidelines for Conservation of Provincial Heritage Properties – Heritage Identification & Evaluation Process*. In some instances, documents have different definitions for the same term, all definitions have been included and should be considered.

Where relevant terms are not defined in the Provincial documents, definitions from the City of Brampton *Official Plan (OP)* and the *Standards and Guidelines for the Conservation of Historic Places in Canada* (Federal S&Gs) are provided.

Adjacent lands mean for the purposes of policy 2.6.3, those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan. (PPS)

Alter means to change in any manner and includes to restore, renovate, repair, or disturb and “alteration” has a corresponding meaning (“transformer,” “transformation”). (OHA)

Built heritage means one or more significant buildings (including fixtures or equipment located in or forming part of a building), structures, monuments, installations, or remains associated with architectural, cultural, social, political, economic, or military history and identified as being important to a community. For the purposes of these Standards and Guidelines, “structures” does not include roadways in the provincial highway network and in-use electrical or telecommunications transmission towers. (I&E Process)

Built Heritage Resource means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community. *Built heritage resources* are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal, and/or international registers. (PPS)

Character the combination of physical elements that together provide a place with a distinctive sense of identity. It may include geomorphology, natural features, pattern of roads, open spaces, buildings and structures, but it may also include the activities or beliefs that support the perceptions associated with the character. (I&E Process)

Conservation (*conservation*) All actions or processes that are aimed at safeguarding the character-defining elements of a cultural resource so as to retain its heritage value and extend its physical life. This may involve “Preservation,” “Rehabilitation,” “Restoration,” or a combination of these actions or processes. (Federal S&Gs)

Conserved means the identification, protection, management and use of *built heritage resources*, *cultural heritage landscapes* and *archaeological resources* in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted

by the relevant planning authority and/or decisionmaker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments. (PPS)

Cultural heritage landscape means a defined geographical area of heritage significance that human activity has modified and that a community values. Such an area involves a grouping(s) of individual heritage features, such as buildings, spaces, archaeological sites, and natural elements, which together form a significant type of heritage form distinct from its constituent elements or parts. Heritage conservation districts designated under the Ontario Heritage Act, villages, parks, gardens, battlefields, main streets and neighbourhoods, cemeteries, trails, and industrial complexes of cultural heritage value are some examples. (PPS; I&E Process)

Cultural landscape (*paysage culturel*) Any geographical area that has been modified, influenced, or given special cultural meaning by people.

- Designed cultural landscapes were intentionally created by human beings;
- Organically evolved cultural landscapes developed in response to social, economic, administrative or religious forces interacting with the natural environment. They fall into two sub-categories:
 - Relict landscapes in which an evolutionary process came to an end. Its significant distinguishing features are, however, still visible in material form. Continuing landscapes in which the evolutionary process is still in progress.
 - They exhibit significant material evidence of their evolution over time.
- Associative cultural landscapes are distinguished by the power of their spiritual, artistic or cultural associations, rather than their surviving material evidence (Federal S&Gs).

Environment means,

- (a) air, land or water,
- (b) plant and animal life, including human life,
- (c) the social, economic and cultural conditions that influence the life of humans or a community,
- (d) any building, structure, machine or other device or thing made by humans,
- (e) any solid, liquid, gas, odour, heat, sound, vibration or radiation resulting directly or indirectly from human activities, or
- (f) any part or combination of the foregoing and the interrelationships between any two or more of them, in or of Ontario; ("*environment*") (EAA).

Fabric means all the physical material of the place including elements, fixtures, contents and objects. (Burra Charter)

Heritage attribute means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest ("*attributs patrimoniaux*"). (OHA)

Heritage attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., *significant* views or vistas to or from a protected heritage property). (PPS)

Heritage attributes means the physical features or elements that contribute to a property's cultural heritage value or interest, and may include the property's built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting. (I&E Process)

Heritage Impact Assessment means an activity-specific or project-level assessment that is focused on identifying the potential effect of a proposed activity or project on the heritage/conservation values of a natural and/or cultural heritage place. In the context of World Heritage properties, a Heritage Impact Assessment should be particularly focused on identifying and assessing negative and positive impacts on the attributes which convey the Outstanding Universal Value of the World Heritage property. (UNESCO G&T)

Heritage value (*valeur patrimoniale*) The aesthetic, historic, scientific, cultural, social or spiritual importance or significance for past, present or future generations. The heritage value of an historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings. (Federal S&Gs)

Historic place (*lieu patrimonial*) A structure, building, group of buildings, district, landscape, archaeological site or other place in Canada that has been formally recognized for its heritage value. (Federal S&Gs)

Integrity means the degree to which a property retains its ability to represent or support the cultural heritage value or interest of the property. (I&E Process)

Intervention (*intervention*) Any action, other than demolition or destruction, that results in a physical change to an element of a historic place. (Federal S&Gs)

Landmark a recognizable natural or human-made feature used for a point of reference that helps orienting in a familiar or unfamiliar environment; it may mark an event or development; it may be conspicuous (I&E Process)

Maintenance (*entretien*) Routine, cyclical, non-destructive actions necessary to slow the deterioration of an historic place. It entails periodic inspection; routine, cyclical, non-destructive cleaning; minor repair and refinishing operations; replacement of damaged or deteriorated materials that are impractical to save. (Federal S&Gs)

Minimal intervention (*intervention minimale*) The approach that allows functional goals to be met with the least physical intervention. (Federal S&Gs)

Patented Land means land originally granted by the Crown from public lands to persons which subsequently can be, or has been, resold (I&E Process)

Preservation (*préservation*) The action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value. (Federal S&Gs)

Rehabilitation means the action or process of making possible a continuing or compatible contemporary use of an historic place, or an individual component, while protecting its heritage value. (Federal S&Gs)

Restoration (*restauration*) The action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value. (Federal S&Gs)

Qualified person(s) means individuals – professional engineers, architects, archaeologists, etc. – having relevant, recent experience in the conservation of cultural heritage resources. (I&E Process)

Significant means in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*. (PPS)

Spatial configuration means the arrangement of a property's elements in relation to each other, to the site and to adjacent sites. (I&E Process)

Statement of Cultural Heritage Value means a concise statement explaining why a property is of heritage interest; this statement should reflect one or more of the criteria found in Ontario Heritage Act *O. Regs. 9/06 and 10/06*. (I&E Process)

View means a visual setting experienced from a single vantage point and includes the components of the setting at various points in the depth of field. (I&E Process)



Principals

Michael Gagnon
Lena Gagnon
Andrew Walker
Richard Domes

January 4, 2023

**Corporation of the City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2**

Attn: Jeanie Myers – Secretary Treasurer, Committee of Adjustment

**Re: Committee of Adjustment
Consent to Sever and Minor Variance Applications
Supplementary Cover Letter
93 John Street, City of Brampton
Part of Lot 44, Plan BR-6, and Part of Lot 43, Plan BR-2
City Files: A-2022-0320 and A-2022-0321
(GWD File: 22.2994.00)**

Dear Jeanie:

Gagnon Walker Domes Ltd. (GWD) represents Mehna Auto Sales Inc. (Gagandeep Singh Gill), the Registered Owner of 93 John Street in the City of Brampton (hereinafter referred to as the subject site).

Concurrent with the Consent to Sever Application for the subject site, two (2) associated Committee of Adjustment Minor Variance Applications were submitted to the City of Brampton on September 27, 2022, seeking relief from the Zoning By-law in order to permit the development of two (2) new single detached residential dwellings on both the Retained and Severed lands.

On October 25, 2022, in consultation with City of Brampton Planning Staff, Committee of Adjustment Applications B-2022-0014, A-2022-0320, and A-2022-0321 were deferred by the Committee of Adjustment to no later than the last Committee of Adjustment Hearing of January 2023. In working with City Staff, the minor modifications made to the proposal necessitated the reissuance of the Public Notice. The deferral allowed for sufficient time for this to occur.

Further discussion was had with City of Brampton Planning and Heritage Staff on November 7, 2022 regarding the above-mentioned Committee of Adjustment Applications. The Consent to Sever and Minor Variance Plans have been updated to reflect the following:

GAGNON WALKER DOMES LTD.

7685 Hurontario Street, Suite 501 • Brampton ON Canada L6W 0B4 • P: 905-796-5790
www.gwdplanners.com • Toll Free: 1-855-771-7266

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1. A 2.50m Road Widening;
2. A 2-storey Semi-Detached Dwelling is now proposed which is to occupy both the Severed and Retained Lands with a G.F.A of approximately 184m² (1,980 ft²) and an approximate height of 8.5m;
3. The proposed Semi-Detached Dwelling has been shifted slightly southward on the subject site;
4. An Interior Lot Area of 0.029 ha (0.073 ac); and
5. A Minimum Rear Yard Depth of 16.24 m (53.28 ft).

The requested variances for both Minor Variance Applications have been amended as follows:

1. To permit a semi-detached dwelling unit whereas the Zoning By-law does not permit a semi-detached dwelling unit within an R1B zone;
2. To permit a minimum lot area of 290m² whereas the Zoning By-law requires a minimum lot area of 450m²; and
3. To permit a minimum lot width of 7.90m for an interior lot whereas the Zoning By-law requires a minimum of 15.0m for an interior lot.

As discussed with City of Brampton Planning and Heritage Staff on November 7, 2022, a Scoped Heritage Impact Assessment is well underway and will be submitted in support of Committee of Adjustment Applications B-2022-0014, A-2022-0320, and A-2022-0321 under separate cover.

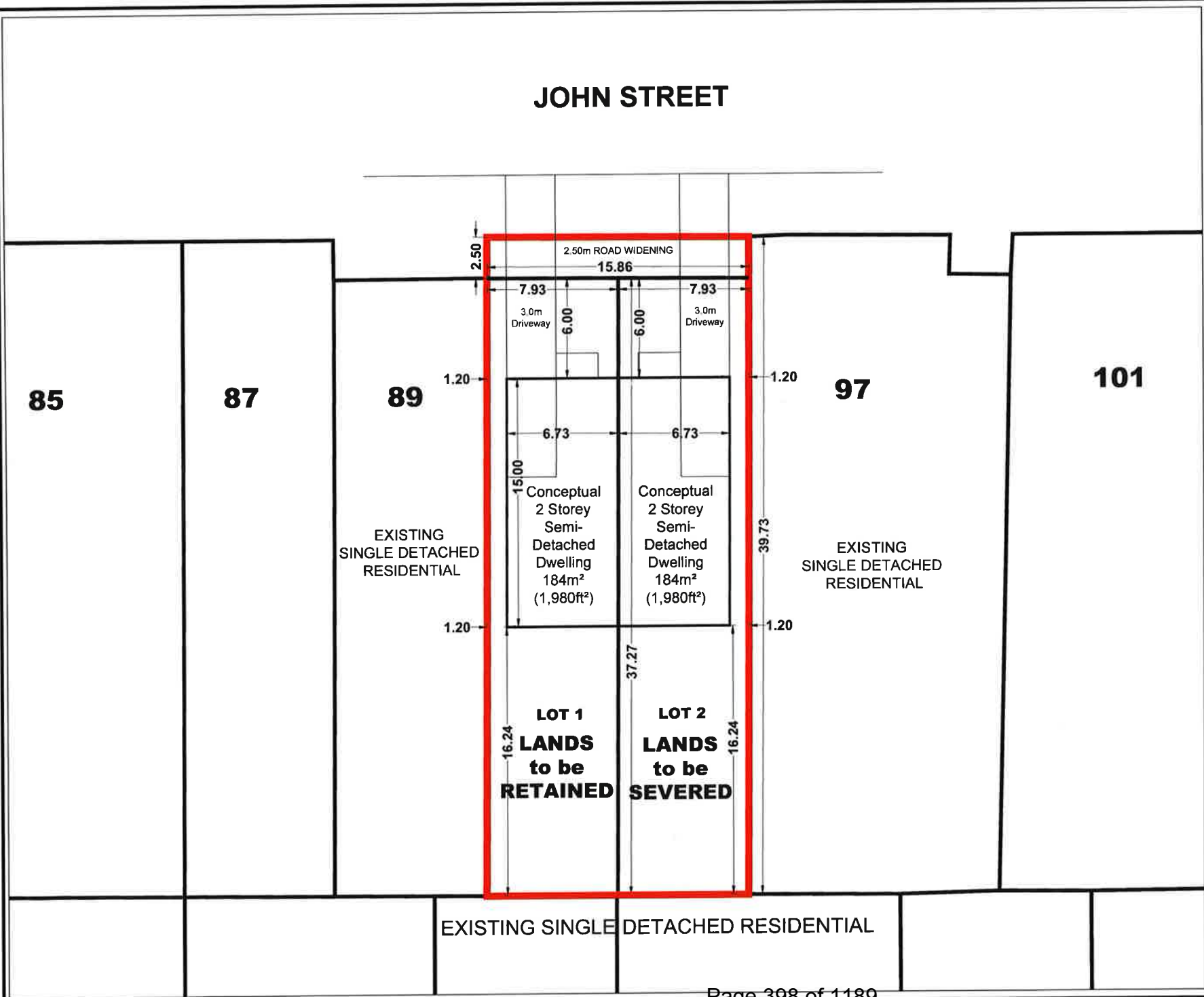
Should you require additional information or have any questions, please do not hesitate to contact the undersigned.

Yours truly,

A handwritten signature in black ink, appearing to read 'Anthony Sirianni', written over a horizontal line.

Anthony Sirianni, B.A.,
Associate Planner

c.c.: **Gagandeep Singh Gill, Client**
Andrew Walker, Gagnon Walker Domes Ltd.
Michael Gagnon, Gagnon Walker Domes Ltd.



ZONING BY-LAW MATRIX - RESIDENTIAL SINGLE DETACHED B - (R1B)
 TOTAL SITE AREA: 0.063ha (0.155ac)
 2.50m ROAD WIDENING: 0.004ha (0.010ac)
 TOTAL NET SITE AREA: 0.059ha (0.146ac)

Description	Required	Retained Lands	Severed Lands
Minimum Interior Lot Area	0.04 ha (0.11ac) 450m ²	0.029 ha (0.073ac) 295m ²	0.029 ha (0.073ac) 295m ²
Minimum Interior Lot Width	15m	7.93m	7.93m
Minimum Front Yard Depth	6.0m	6.0m	6.0m
Minimum Interior Side Yard Width	1.2m for 1st Storey or part thereof plus 0.6m for each additional storey or part thereof	1.20m (west) 1.20m (east)	1.20m (west) 1.20m (east)
Minimum Rear Yard Depth	7.5m	16.24m	16.24m
Maximum Building Height	8.5m	TBD	TBD
Building Gross Floor Area (excluding 18m ² of garage area per dwelling)	n/a	184m ² (1,980ft ²)	184m ² (1,980ft ²)
Minimum Landscaped Open Space	60% of the minimum front yard of an interior lot	62%	62%

STATISTICS OVERVIEW
 TOTAL LOT AREA: 0.063 ha (0.155 ac)
 2.50m ROAD WIDENING: 0.004 ha (0.010 ac)
 LANDS to be RETAINED: 0.029 ha (0.073 ac)
 LANDS to be SEVERED: 0.029 ha (0.073 ac)

LEGEND

PROPERTY BOUNDARY

LANDS to be RETAINED

LANDS to be SEVERED

CONCEPTUAL SEVERANCE PLAN
PROPOSED SEMI-DETACHED LOTS
 93 JOHN STREET
 CITY of BRAMPTON

P.N.: 22.2994.00	Date: January 4, 2023
Scale: N.T.S	Revised:
Drawn By: D.S.	File No.: PN 2994 Concept Plan



Principals

Michael Gagnon
Lena Gagnon
Andrew Walker
Richard Domes

October 7, 2022

Corporation of the City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

Attn: Jeanie Myers – Secretary Treasurer, Committee of Adjustment

**Re: Committee of Adjustment
Consent to Sever and Minor Variance Applications
Supplementary Cover Letter
93 John Street, City of Brampton
Part of Lot 44, Plan BR-6, and Part of Lot 43, Plan BR-2
City Files: A-2022-0320 and A-2022-0321
(GWD File: 22.2994.00)**

Dear Jeanie:

Gagnon Walker Domes Ltd. (GWD) represents Mehna Auto Sales Inc. (Gagandeep Singh Gill), the Registered Owner of 93 John Street in the City of Brampton (hereinafter referred to as the subject site).

Concurrent with the Consent to Sever Application for the subject site, two (2) associated Committee of Adjustment Minor Variance Applications are also being submitted to the City of Brampton, seeking relief from the Zoning By-law in order to permit the development of two (2) new single detached residential dwellings on both the Retained and Severed lands.

Further to the Consent to Sever and Minor Variance Applications submitted on September 27, 2022, and as discussed with City of Brampton Staff, the requested variances for both Minor Variance Applications have been amended as follows:

1. To permit a minimum lot area of 310m² whereas the Zoning By-law requires a minimum lot area of 450m².
2. To permit a minimum lot width of 7.90m for an interior lot whereas the Zoning By-law requires a minimum of 15.0 m for an interior lot.
3. To permit an interior side yard setback of 1.2m to the second storey whereas the Zoning By-law requires a minimum of 1.8m to the second storey.

GAGNON WALKER DOMES LTD.

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4. To permit an interior side yard setback of 1.2m to the third storey whereas the Zoning By-law requires a minimum of 2.4m to the third storey.
5. To permit a maximum building height of 10.6m whereas the Zoning By-law permits a maximum building height of 8.5m.

Should you require additional information or have any questions, please do not hesitate to contact the undersigned.

Yours truly,

A handwritten signature in black ink, appearing to read 'Anthony Sirianni', written over a horizontal line.

Anthony Sirianni, B.A.,
Associate Planner

c.c.: **Gagandeep Singh Gill, Client**
Andrew Walker, Gagnon Walker Domes Ltd.
Michael Gagnon, Gagnon Walker Domes Ltd.



Principals

Michael Gagnon
Lena Gagnon
Andrew Walker
Richard Domes

September 23, 2022

B-2022-0014; A-2022-0320; A-2022-0321

Corporation of the City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

Attn: Jeanie Myers – Secretary Treasurer, Committee of Adjustment

**Re: Committee of Adjustment
Consent to Sever and Minor Variance Applications
93 John Street, City of Brampton
Part of Lot 44, Plan BR-6, and Part of Lot 43, Plan BR-2
(GWD File: 22.2994.00)**

Dear Jeanie:

Gagnon Walker Domes Ltd. (GWD) represents Mehna Auto Sales Inc. (Gagandeep Singh Gill), the Registered Owner of 93 John Street in the City of Brampton (hereinafter referred to as the subject site).

In support of the Committee of Adjustment – Consent to Sever and Minor Variance Applications, GWD is pleased to submit the following:

- One (1) completed application form (Committee of Adjustment – Consent);
- Two (2) completed application forms (Committee of Adjustment – Minor Variance);
- One (1) Cover Letter, prepared by GWD dated September 23, 2022;
- One (1) cheque in the amount of \$1,312.00 made payable to the “Treasurer, City of Brampton” (Minor Variance Application);
- One (1) cheque in the amount of \$4,119.00 made payable to the “Treasurer, City of Brampton” (Consent Application);
- One (1) copy of the Conceptual Severance Plan, prepared by GWD dated August 30, 2022; and
- One (1) copy of the two (2) Minor Variance Plans, prepared by GWD dated August 30, 2022.

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1.0 Existing Land Use

Subject Property & Surrounding Area

The subject site is rectangular in shape, measures approximately 0.063 ha (0.155 ac) in size and is located southeast of the intersection of John Street and Mary Street. The subject site has a lot depth of approximately 39.73 m (130.35ft), a street frontage of 15.85 m (52.02 ft) along John Street and is occupied by a single detached residential dwelling. Driveway access is provided from John Street.

Surrounding land uses generally include Residential and the Canadian National Railway.

TAB 1 includes Air Photos from Google Earth of the subject site and area context

2.0 Consent to Sever Application

It is proposed that the subject site be severed into two (2) Lots; Lot 1 – Retained Lands and Lot 2 – Severed Lands, for the development of a 3-storey single detached residential dwelling on each lot measuring approximately 228 m² (2,454 ft²). Access to both lots shall continue to be provided from John Street via separate individual driveways.

TAB 2 includes the proposed Conceptual Severance Plan prepared by Gagnon Walker Domes Ltd. dated August 30, 2022.

The following is a brief summary of the proposed Conceptual Severance Plan:

- Total Site Area: 0.063 hectares (0.155 acres)

Lot 1 – Retained Lands

- Area: 0.031 hectares (0.077 acres)
- Width: 7.93 metres (26.01 feet)
- Depth: 39.73 metres (130.34 feet)

Lot 2 – Severed Lands

- Area: 0.031 hectares (0.077 acres)
- Width: 7.93 metres (26.01 feet)
- Depth: 39.73 metres (130.34 feet)

3.0 Planning Analysis

The proposed Consent to Sever Application has been analyzed in the context of governing planning documents. The following represents a summary of the highlights of the Planning Analysis.



Planning Act

With regard to the Consent to Sever Application, our office has taken into consideration the provisions prescribed within Section 51(24) of the Planning Act (as summarized in the Chart below), and we are of the opinion that the proposed Consent to Sever Application represents good planning and should be supported from a land use perspective.

Criteria To Be Considered	Analysis
The effect of development of the proposed subdivision on matters of provincial interest;	The proposed severance has no significant effect on matters of provincial interest.
Whether the proposal is premature or in the public interest;	The proposed severance is neither premature nor contrary to any matters of public interest.
Whether the plan conforms to the official plan and adjacent plans of subdivision, if any;	The proposed severance conforms to the Official Plan, which designates the site for residential purposes. The Official Plan designates the site Medium Density and the Secondary Plan permits typical residential typologies, but does not exclude single or semi-detached dwellings. The proposal will facilitate a single-detached residential use on the entirety of the subject site (being the severed and retained lands), and it is noted that the City's policies encourage any infill development that proposes an increase in density.
The suitability of the land for the purposes for which it is to be subdivided;	The subject site is suitable for the purposes of the severance. The use of the subject site for single-detached residential is in keeping with the character of the surrounding area, which consists of similar dwelling unit typologies (single and semi-detached) and lot configurations
The number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of	The proposed severance does not present any concern with regard to the adequacy of the roadway network. The adjacent road network is suitable for residential purposes, and the proposal serves to add one (1) additional residential dwelling unit



them;	beyond the current use of the site.
The dimensions and shapes of the proposed lots;	The proposed lots to be created are appropriate in size and shape for the 'single detached residential use and are in keeping with the existing neighbouring lot fabric. Associated Minor Variance Applications have been filed to address some performance related standards, which are minor in nature.
The restrictions or proposed restrictions, if any, on the land proposed to be subdivided; or the buildings or structures proposed to be erected on it and the restrictions, if any, on adjoining land;	There are no known restrictions or proposed restrictions on the lands to be subdivided.
The conservation of natural resources and flood control;	The proposed severance presents no concerns with regard to flood control and the conservation of natural resources.
The adequacy of utilities and municipal services;	There are no concerns with regard to the adequacy of utilities and municipal services.
The adequacy of school sites;	The proposed severance presents no concerns with regard to the adequacy of school sites. The effect of the Severance is to add one (1) additional residential dwelling unit.
The area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes;	There are no concerns related to conveyances for public as part of the Consent Application.
The extent to which the plan's design optimizes the available supply, means of supplying, efficient use and conservation of energy;	The proposed severance has no impact on matters of energy conservation.
The interrelationship between the design of the proposal and site plan control matters relating to any development on the land, if the land is also located within a site plan control area designated under subsection 41(2) of this Act.	This shall be dealt with at the appropriate time during the Site Plan Approval process in connection with the development of the two (2) single detached residential dwellings, as appropriate and as necessary.



4.0 Minor Variance Application

Concurrent with the Consent to Sever Application for the subject site, two (2) associated Committee of Adjustment Minor Variance Applications are also being submitted to the City of Brampton, seeking relief from the Zoning By-law in order to permit the development of two (2) new single detached residential dwellings on both the Retained and Severed lands.

The requested relief from the Zoning By-law, for both applications, is as follows:

1. To permit a minimum lot area of 310m² whereas the Zoning By-law requires a minimum lot area of 450m².
2. To permit a minimum lot width of 7.90m for an interior lot whereas the Zoning By-law requires a minimum of 15.0 m for an interior lot.
3. To permit a minimum interior side yard width of 1.20m above the first storey whereas the Zoning By-law requires 1.20m for the first storey or part thereof plus 0.6m for each additional storey or part thereof.
4. To permit a maximum building height of 10.6m whereas the Zoning By-law permits a maximum building height of 8.5m.

The proposed Committee of Adjustment Minor Variance Applications have been analyzed in the context of the governing planning documents. The following represents a summary of the highlights of the Planning Analysis.

TAB 3 includes the proposed Minor Variance Plans prepared by Gagnon Walker Domes Ltd. dated August 30, 2022.

City of Brampton Official Plan (September 2020)

The City of Brampton Official Plan (BOP) provides policy direction to guide future development, protect the health and quality of life of its residents, protect the natural environment as well as preserve, protect and enhance the character and economy of the City.

Central Area

According to the BOP, the subject site is designated '*Central Area*'. The *Central Area*, including the Urban Growth Centre, serves as the major location for free-standing or mixed-use development including:

- i. A full range of office, retail and service activities;
- ii. A variety of residential uses;
- iii. Entertainment and cultural uses such as movie theatres, museums;



- iv. Art galleries, live theatre and tourism, yet recognizing commercial trends for such uses in other parts of the City;
- v. Governmental, institutional and community facilities and uses including Places of Worship subject to Policy 4.9.8 of the BOP;
- vi. A high density employment centre that will attract provincially, nationally or internationally significant employment uses; and,
- vii. Major transit infrastructure (Policy 4.1.2).

The requested variances will facilitate the advancement of a proposal which promotes a residential redevelopment in an area where appropriate levels of infrastructure and public service facilities exist or are planned. The development of the two (2) new single detached dwellings units will support local transit service use and connections, as well as support active transportation by locating development that is in close proximity to existing and/or planned community facilities, retail services and open space features.

The requested variances will facilitate the advancement of a residential development proposal which is located within a Mobility Hub – Anchor, consists of housing in a compact urban form that is representative of an infill development that results in an increased density in the Urban Growth Centre, and will assist in maintaining the supply of residential units needed to meet demand and accommodate growth at a density that will optimize available services and infrastructure in accordance with Policies 3.1 and 3.2.1.1.

The following objectives of Brampton’s residential policy are supported by the proposed variances and residential development:

- v) Promoting and facilitating intensification throughout the built-up area and in particular within the Urban Growth Centre and Central Area, intensification corridors, Mobility Hubs, and Major Transit Station Areas;
- (vi) Promoting well planned, well designed and well built residential areas that will enhance the sense of place for residents as well as visitors (Policy 4.2 v) vi)).

The subject site is subject to the Old Housing Mix and Density Categories:

DENSITY CATEGORY	DENSITY RANGE	TYPICAL (BUT NOT RESTRICTIVE) HOUSING TYPES
<ul style="list-style-type: none">Single Detached Density orSingle Family Density	<ul style="list-style-type: none">0-25 units/ net hectare0-10 units/ net acre	<ul style="list-style-type: none">Single detached homes
<ul style="list-style-type: none">Semi-Detached Density	<ul style="list-style-type: none">26-35 units/ net hectare11-14 units/ net acre	<ul style="list-style-type: none">Semi-detached homesLink townhousesSmall-lot single detached homes



The variances will facilitate the advancement of a proposal which has been planned at a density that will encourage use of existing and planned local and regional transit that exists in the immediate vicinity. The density proposed will ensure greater efficiency and viability of existing and planned transit service.

The BOP states that the policies shall not be construed as limiting the City's housing mix and density flexibility, or its ability to narrow or expand such categories or the associated densities, or to use them in various combinations within a particular Secondary Plan. The City's Secondary Plans specify the overall residential density and housing mix targets for each planning area and specify, as per Policy 4.2.1.4 that minor variation to the housing density and mix targets in the applicable Secondary Plan, which do not alter the intent of the Plan, shall be considered without an Official Plan Amendment.

Communities

As it pertains to Communities, it is the objective of the BOP to:

- Promote the development of attractive, well-functioning and accessible Communities through design guidelines including the City of Brampton Accessibility Technical Standards and to recognize the importance of accessible, pedestrian-friendly and transit oriented development (Policy 2.4.3 b)).
- Plan for healthy, sustainable complete Communities that are compact, transit-oriented and pedestrian-friendly with a mix of uses and a variety of housing choices, employment, and supporting services and facilities (Section 3.1).
- Plan for and promote high physical design standards to create distinctive and attractive Communities with a strong sense of place (Section 3.1).

The requested variances will facilitate the advancement of a proposal that is ideally situated and is a form of development that supports the intent and spirit of the BOP as it proposes a pedestrian friendly, compact development that is within walking distance of transit and which can take advantage of existing services. The variances support the development of residential uses in a form and typology that is in keeping with the character of the surrounding lands.

Anchor Mobility Hub

The subject site is located within a "Mobility Hub – Anchor" per the BOP.

The BOP defines a "Mobility Hub" as a Major Transit Station Area which is located at the interchange of two or more current or planned regional rapid transit lines as identified in the Regional Transportation Plan. Mobility Hubs are places of connectivity where different modes of transportation come together and where there is, or is planned to be, an attractive, intensive concentration of employment, living, shopping and recreation. Mobility Hub areas generally are defined as the area within an approximate 800m radius of the interchange.



The BOP also, defines a “Mobility Hub – Anchor” as a Mobility Hub which has strategic importance due to its relationship within the Urban Growth Centre. An Anchor Mobility Hub has the potential to transform the regional urban structure and act as anchors of the regional transportation system.

According to Policy 3.1 of the BOP, at least 26,500 new dwelling units, between 2006 and 2031, to the built up area, with a focus on higher intensity in the Central Area, the Urban Growth Centre, intensification corridors, Mobility Hubs and major transit station areas.

The BOP indicates that development of greatest mass and highest densities must be located within the Urban Growth Centre and Central Area, along intensification corridors and within Mobility Hubs and Major Transit Station Areas (Policy 3.2.1.1)

The requested variances will facilitate the advancement of a proposal which will assist the City of Brampton in achieving objective of Policy 3.2.5.2.1, as it proposes additional residential within the vicinity of the Anchor Mobility Hub in order to accommodate the highest combined people and jobs per hectare within the Urban Growth Centre.

Residential development in areas outside of the Central Area, including the Urban Growth Centre, Mobility Hubs; Major Transit Station Areas or intensification corridors shall generally be limited to 50 units per net hectare. Furthermore, residential and non-residential development outside of these areas shall generally be limited to 4 stories in height (Policy 3.2.8.3). The variances support a residential development that is in keeping with these parameters.

Consent

The proposed variances are consistent with the Consent policies of the BOP, and are supportive of the associated Consent to Sever Application, as it will facilitate the creation of two (2) residential parcels of land which are:

- Of a size, shape and use of the severed land is compatible with the current neighbouring parcel fabric and residential uses (Policies 5.17.4, 5.17.8).
- Serviced by public water and sanitary sewers (Policy 5.17.5).
- Of a similar lot depth and shape as adjoining lots, where appropriate (Policy 5.17.10).
- Each new lot created fronts onto John Street (Policy 5.17.13).

The variance in connection with the reduction in the frontage of each proposed new parcel (7.93 m/26.01 ft) supports is in keeping with the intent and policies of the Official Plan, as it provides an intensified/infill residential development in an area that is planned for such a use, and the new residential lots are of a size, shape and land use (single detached residential) which is compatible with and respects the current neighbouring residential parcel fabric.



While Sections 5.17.4, 5.17.8 and 5.17.10 of this plan, notes that Consent to Sever applications shall be discouraged within the Central Area Medium Density designation of the Downtown Brampton and Queen Street Corridor Secondary Plans except to facilitate land assembly, it is noteworthy that the policy does not prohibit them. The subject site, and the proposed variances specifically, proposes an infill residential development that serves to increase the density of the subject site and surrounding area thereby supporting Official Plan policies and objectives, in form and typology that is supported and in keeping with the character of the surrounding area.

The submitted Minor Variance and Consent to Sever Applications will facilitate the development of two (2) new residential lots, consisting of two (2) single detached residential dwellings. The new residential lots are of a size, shape and land which is compatible, respects the current neighbouring residential parcel fabric, and due to its location efficiently utilizes existing and planned local transit and infrastructure.

It is our opinion that the proposed severance, minor variances and use of the subject site for two (2) single detached residential dwellings conforms to the general intent and purpose of the Official Plan.

See **TAB 4** for select BOP schedules.

Downtown Brampton Secondary Plan (Area 7) (February 2019)

The subject site is designated 'Medium Density' on Schedule SP7(A) of the Downtown Brampton Secondary Plan (Area 7).

Medium Density

In areas abutting the Central Area Mixed-Use designation, and those neighbourhoods in a state of transition, Medium Density housing is designated (Section 5.0).

Lands designated Medium Density on Schedule SP7(a) shall be developed to a maximum of 50 units per net residential hectare (15 to 20 units per net residential acre). Typical residential uses associated with the Medium Density designation include block townhouse, street townhouse, quaterplexes and interlot housing types (Policy 5.2.3.1).

It is noteworthy that while not specifically identified in the aforementioned policy, the Secondary Plan does not exclude single detached and semi-detached dwelling uses, and as such, the requested variances to facilitate the development of the subject site for two (2) single detached residential dwellings is appropriate given the current local residential context of the surrounding local community.

The intention of the Medium Density designation shown on Schedule SP7(a) is to encourage infill residential development of a sympathetic scale to existing building stock. The retention and conversion of existing homes is to be encouraged (Policy 5.2.3.2). The proposed development of the subject site through the Consent to Sever and Minor Variance Applications is an example of infill residential development that is supported by this policy.



The submitted Consent to Sever and Minor Variance Applications will facilitate the development of two (2) new residential lots consisting of two (2) single detached residential dwellings. The new residential lots are of a size, shape and land which is compatible, respects the current neighbouring residential parcel fabric, and due to its location efficiently utilizes existing and planned local transit and infrastructure.

It is our opinion that the proposed Consent to Sever and Minor Variance(s) and use of the subject site for single detached residential dwellings conforms to the general intent and purpose of the Secondary Plan.

See **TAB 5** for select Secondary Plan Schedules.

City of Brampton Zoning By-Law 270-2004

The Subject Site is zoned ‘Residential Single Detached B – R1B Zone’.

The Residential Single Detached B – R1B zone permits the following uses:

- A single detached dwelling;
- Supportive Housing Residence Type 1;
- A place of worship; and
- Purposes accessory to the other permitted purposes.

The following table summarizes the ‘Residential Single Detached B – R1B’ Zone provisions:

(a)	Minimum Lot Area	Interior Lot: 450 square metres Corner Lot: 540 square metres
(b)	Minimum Lot Width	Interior Lot: 15 metres Corner Lot: 18 metres
(c)	Minimum Lot Depth	30 metres
(d)	Minimum Front Yard Depth	6 metres
(e)	Minimum Interior Side Yard Width	1.2 metres for the 1 st storey or part thereof plus 0.6 metres for each additional storey or part thereof
(f)	Minimum Exterior Side Yard Width	3 metres
(g)	Minimum Rear Yard Depth	7.5 metres
(h)	Maximum Building Height	10.6 metres
(i)	Maximum Lot	No requirement

Coverage	
(j) Minimum Landscaped Open Space	60% of the minimum front yard area of an interior lot, 70% of the minimum front yard area of a corner lot, and 50% of the minimum front yard area of a lot where the side lot lines converge towards the front lot line

The subject site is also located within the Mature Neighbourhood Area designation of the Zoning By-Law. The Mature Neighbourhood Area Zoning Provisions are as follows:

- Minimum Rear Yard Depth – equal to 25% of the depth of the lot or the minimum rear yard required by the zone of the lot, whichever is greater.
- Minimum Interior Side Yard Width: 1.2 metres setback for the first storey plus 0.6 metres setback for each additional storey if your lot has a width of 16 metres or less.
- 1.8 metres setback if the lot has a width between 16 metres and 21 metres.
- 2.8 metres setback if the lot has a width between 21 metres and 30 metres.
- 3.0 metres setback for lots having a width of 30 metres or greater.
- Maximum Lot Coverage: 30% of the lot area, excluding permitted accessory structures.
- Maximum Building Height: 8.5 metres.

The requested variances will facilitate the advancement of a proposal which promotes a residential redevelopment in an area where appropriate levels of infrastructure and public service facilities exist or are planned. The development of the two (2) new single detached dwellings units will promote increased efficiencies in local transit service/connections and will support active transportation by locating development that is in close proximity to existing and/or planned community facilities, retail services and open space features.

The proposal is also of a compact urban form which will assist in maintaining and increasing the supply of residential units needed to meet demand and accommodate growth within the City of Brampton.

It is our opinion that the proposed severance, minor variance(s) and use of the subject site for a single detached residential dwelling conform to the Zoning By-law.

See **TAB 6** for an excerpt from the Zoning By-law Schedule.



Desirable and Appropriate Development of the Land

The submitted Minor Variance and Consent Applications will facilitate the development of two (2) new residential lots for the development of two (2) single detached residential dwellings. The new residential lots are of a size, shape and land which is compatible, respects the current neighbouring residential parcel fabric, and due to its location efficiently utilizes existing and planned local transit and infrastructure.

The subject site is located in an area that is designated for residential purposes and where increased density through infill or intensification proposals are encouraged. In this regard, we are of the opinion that the proposed variances are considered desirable and appropriate for the development of the land.

Minor in Nature

The requested severance and the associated variances will serve to create two (2) residential lots; one (1) dwelling each on both the Severed and Retained Lands which is in keeping with the character of the surrounding community. The lot sizes to be created by the proposed severances are also in keeping with lots located in the immediate area, and the proposed continued use of the subject site for residential purposes in an area designated residential meets the general intent and purpose of both the Official Plan and Zoning By-Law. The proposal makes efficient use of existing, available municipal services and is deemed appropriate and desirable.

In this regard, we are of the opinion that the proposed variances are considered minor in nature and should be supported.

Should you require additional information or have any questions, please do not hesitate to contact the undersigned.

Yours truly,

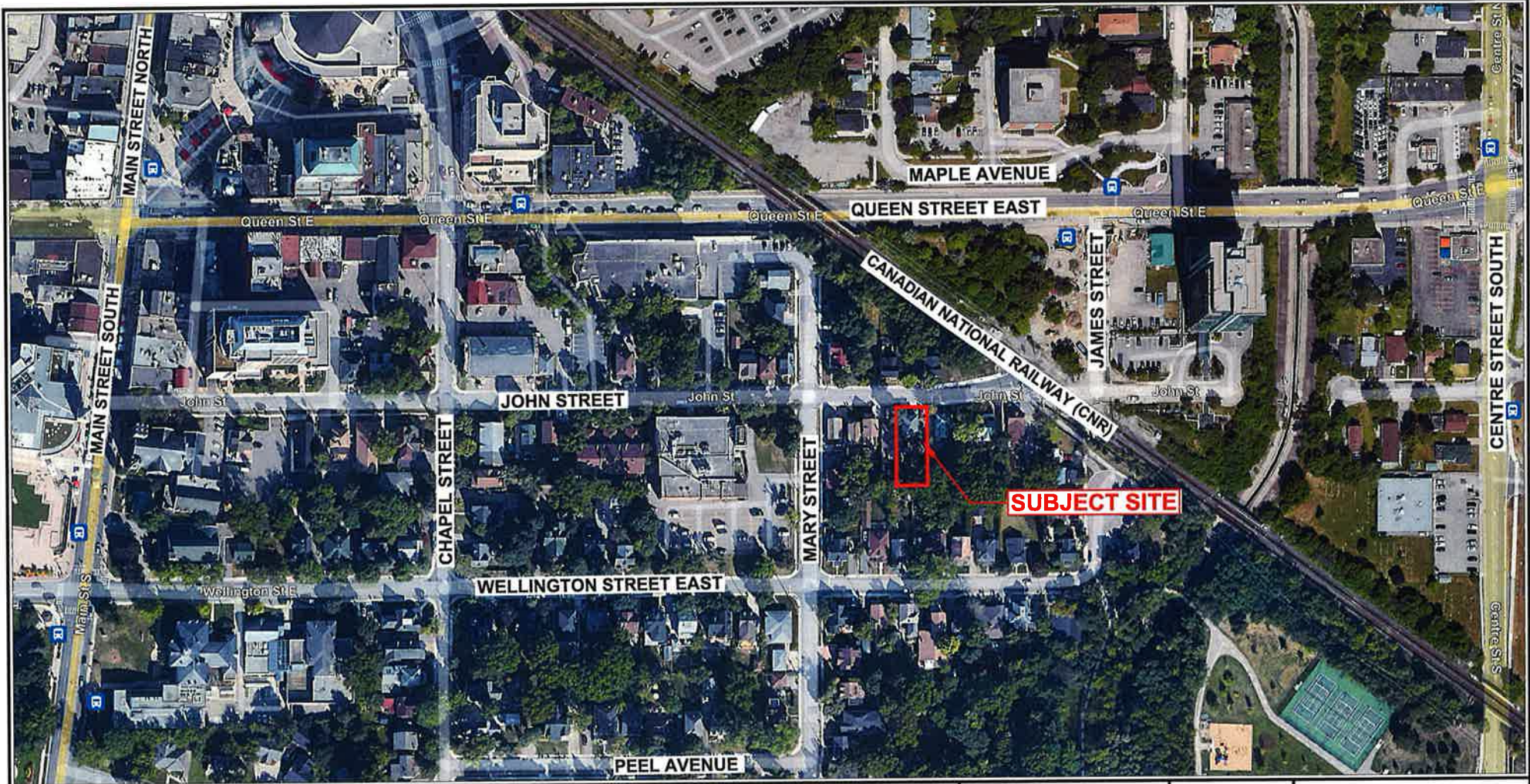
A handwritten signature in blue ink, reading 'Anthony Sirianni'.

**Anthony Sirianni, B.A.,
Associate Planner**

**c.c.: Gagandeep Singh Gill, Client
Andrew Walker, Gagnon Walker Domes Ltd.
Michael Gagnon, Gagnon Walker Domes Ltd.**





TAB 1



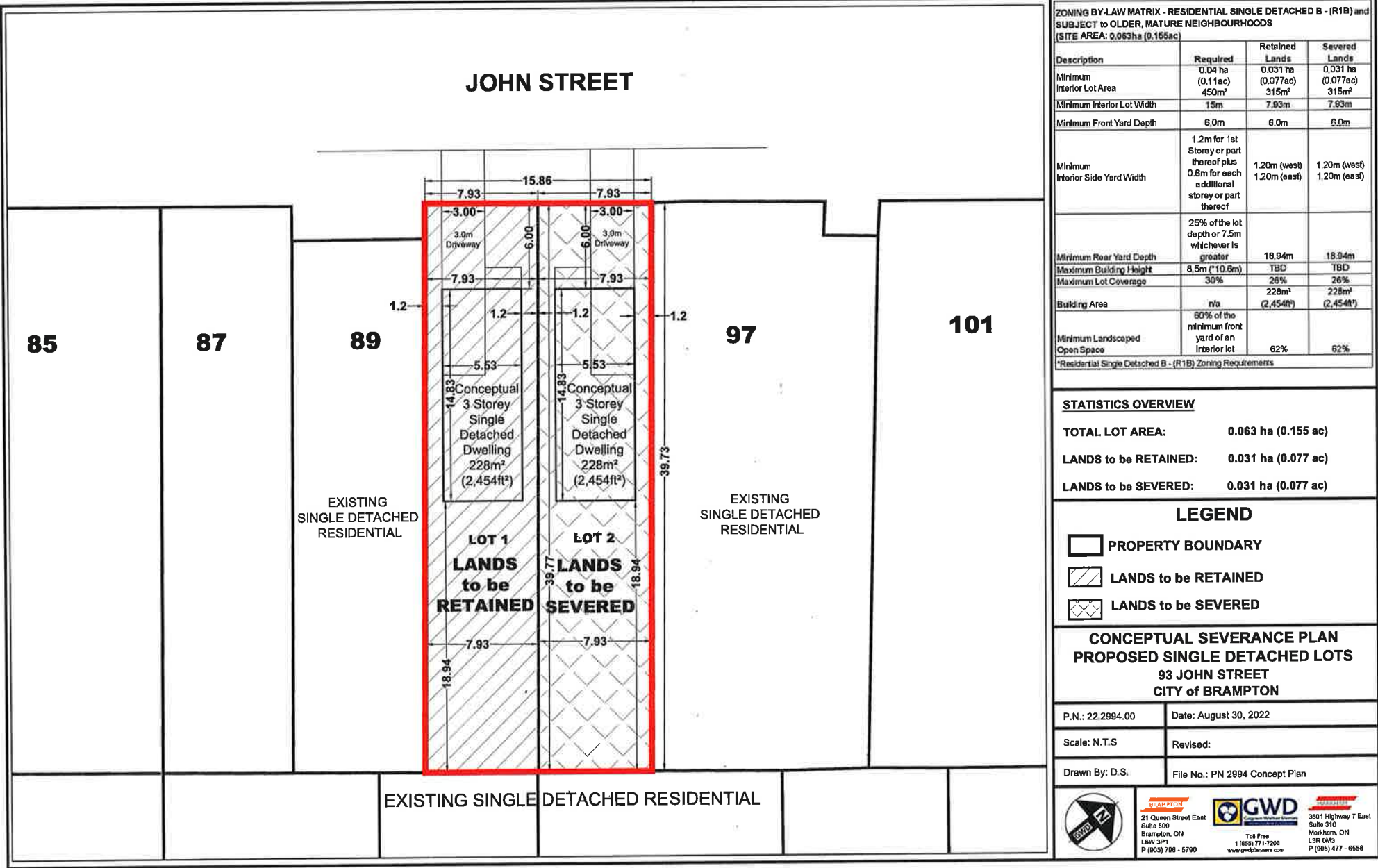


AERIAL IMAGE - CONTEXT PLAN
93 JOHN STREET
CITY of BRAMPTON
REGION of PEEL

Image Source: Google Earth

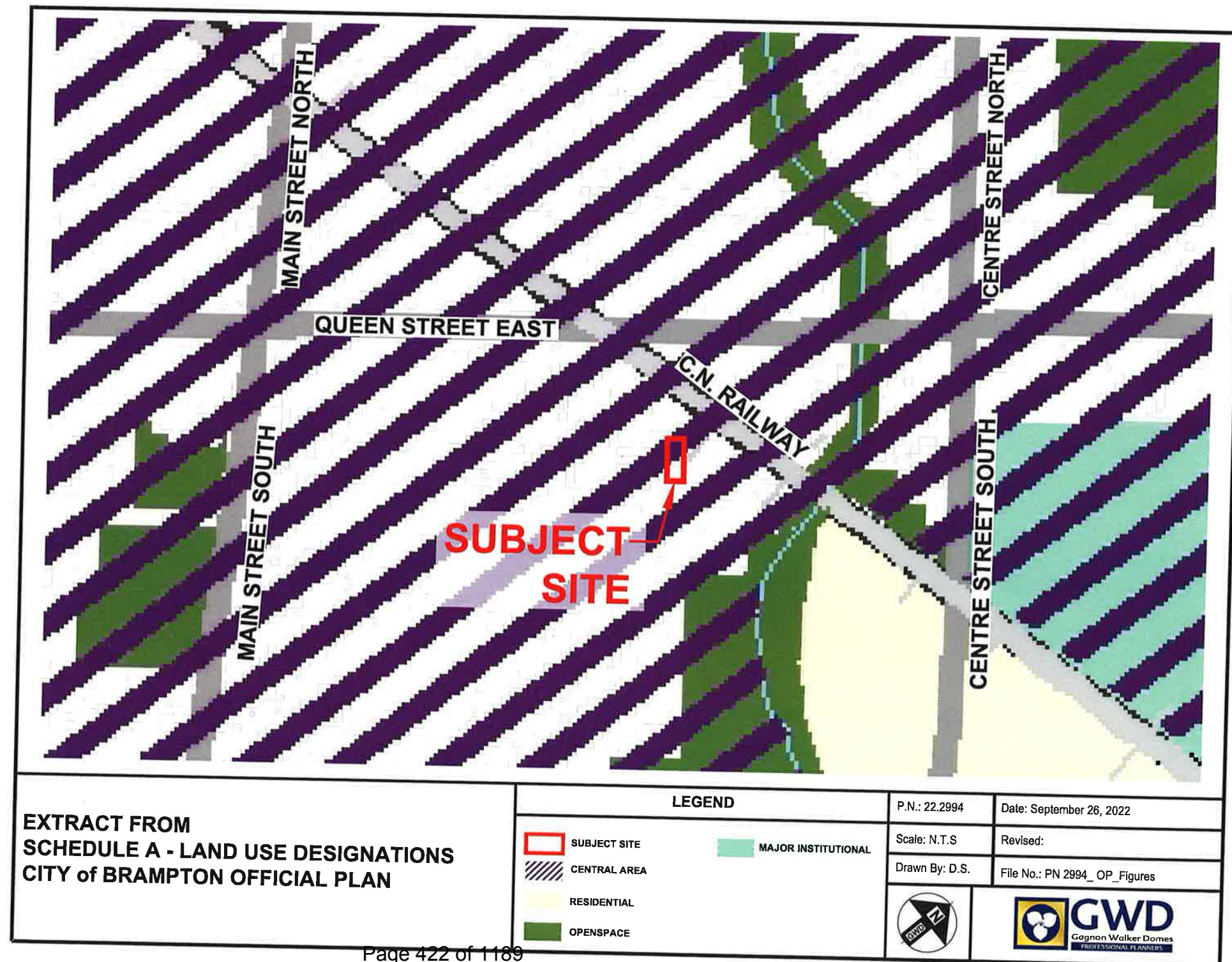
LEGEND	P.N.: 22.2994.00	Date: March 11, 2022
	Scale: N.T.S	Revised:
	Drawn By: D.S.	File No.: PN 2994_ Aerial_Images_MAR_2022
 SUBJECT SITE		 21 Queen Street East Suite 500 Brampton, ON L6W 3P1 P (905) 798 - 5790
		 3601 Highway 7 East Suite 310 Markham, ON L3R 9M3 Toll Free 1 (855) 771-7266 www.getplanning.com P (905) 477 - 6556

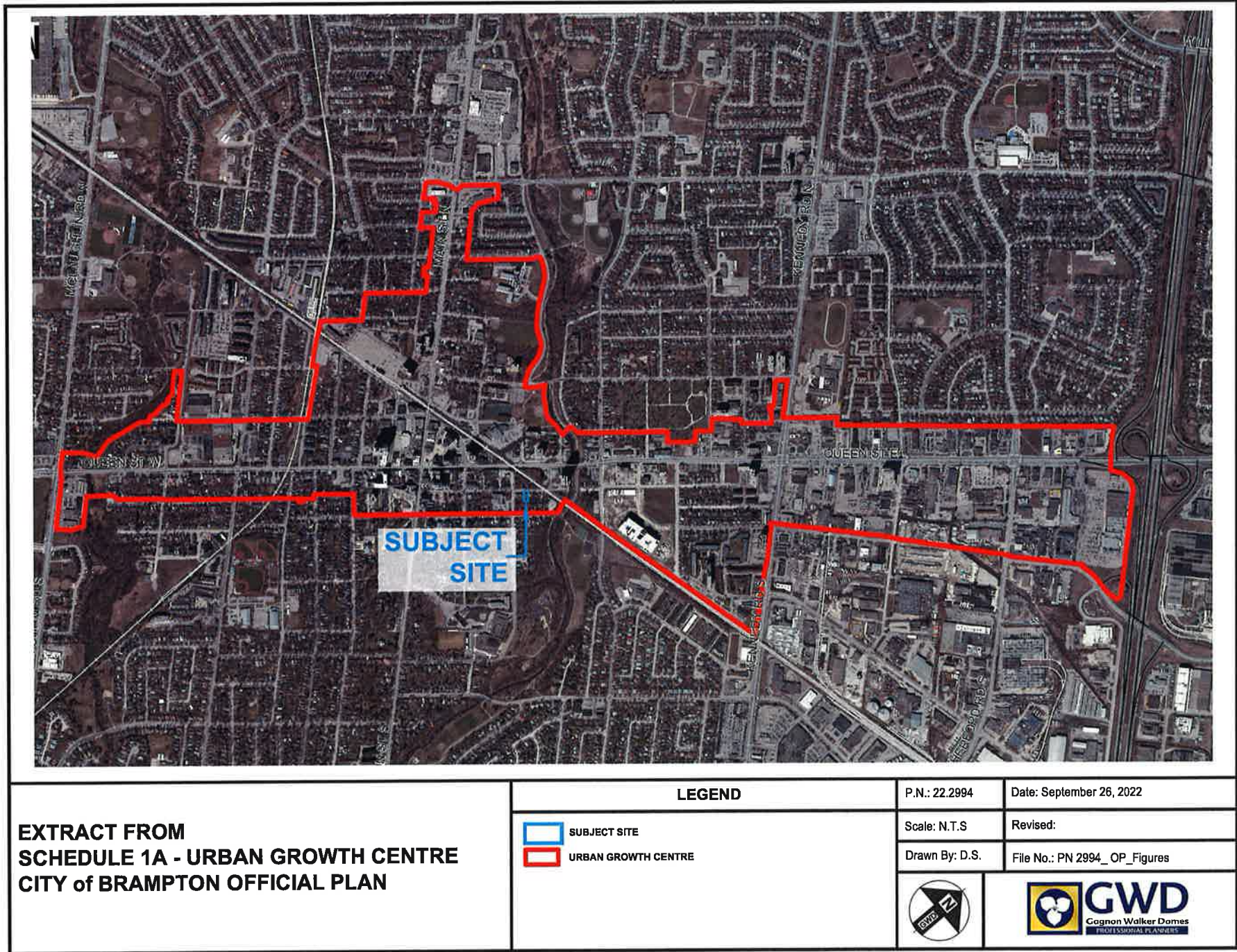
TAB 2

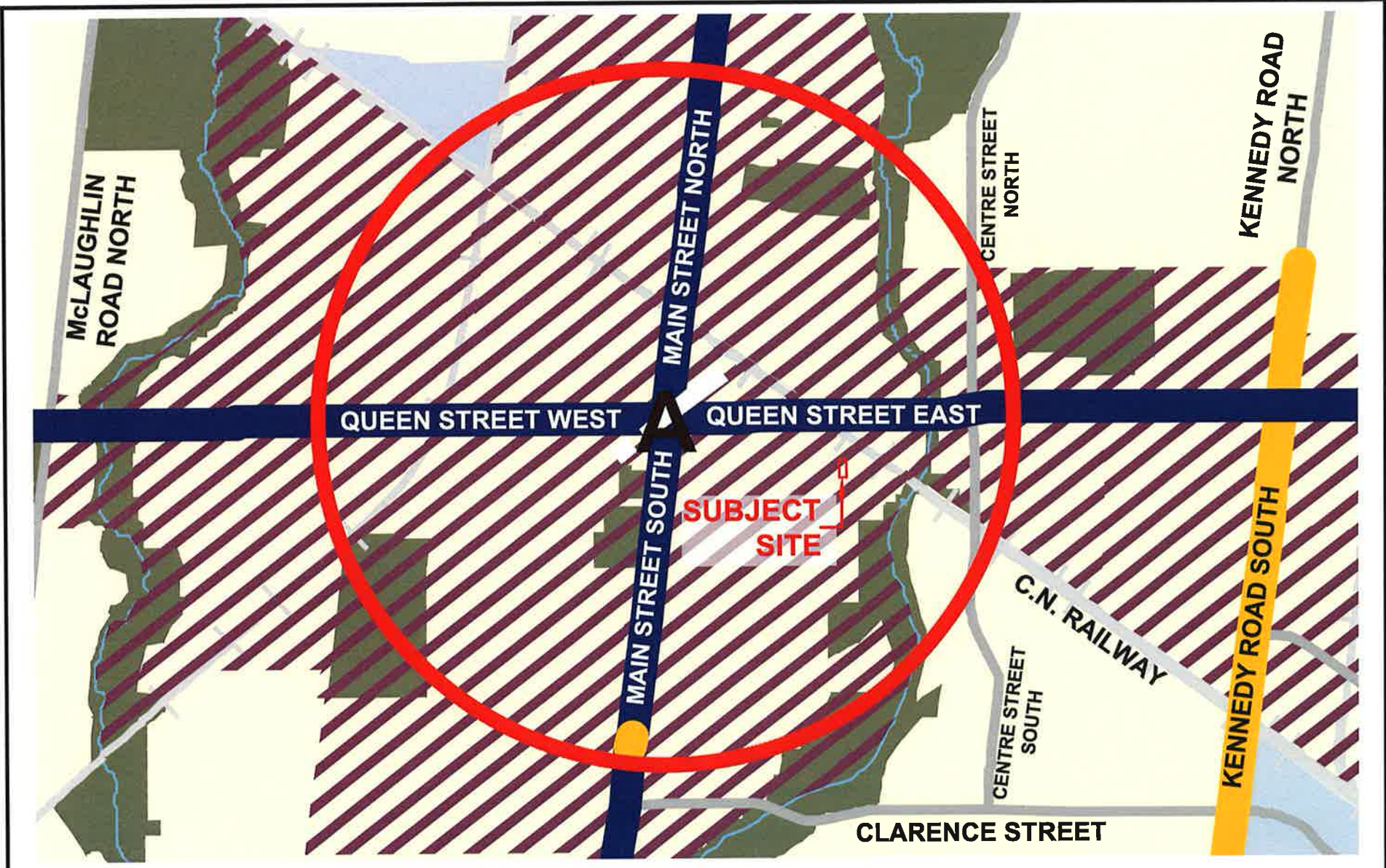


TAB 3

TAB 4

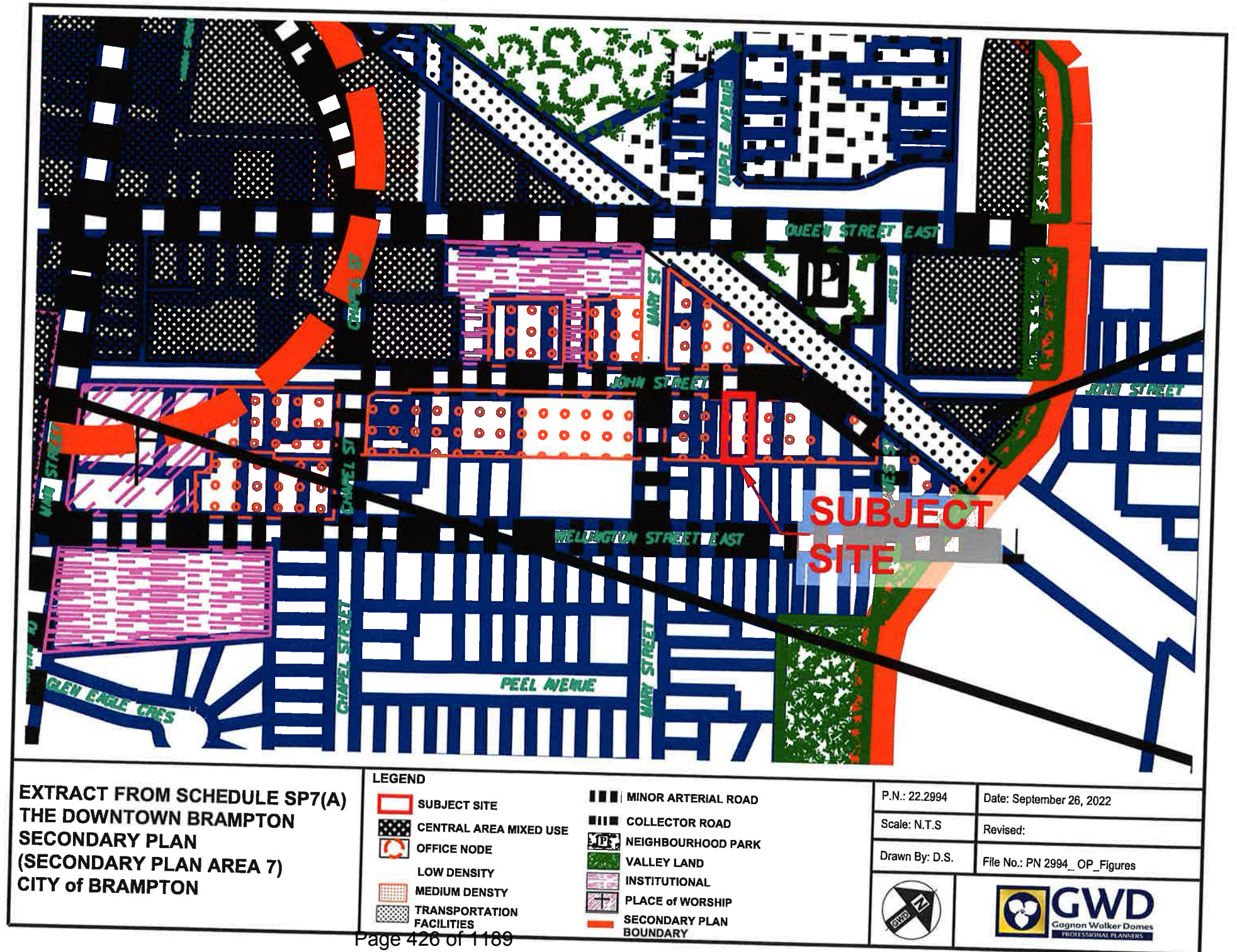




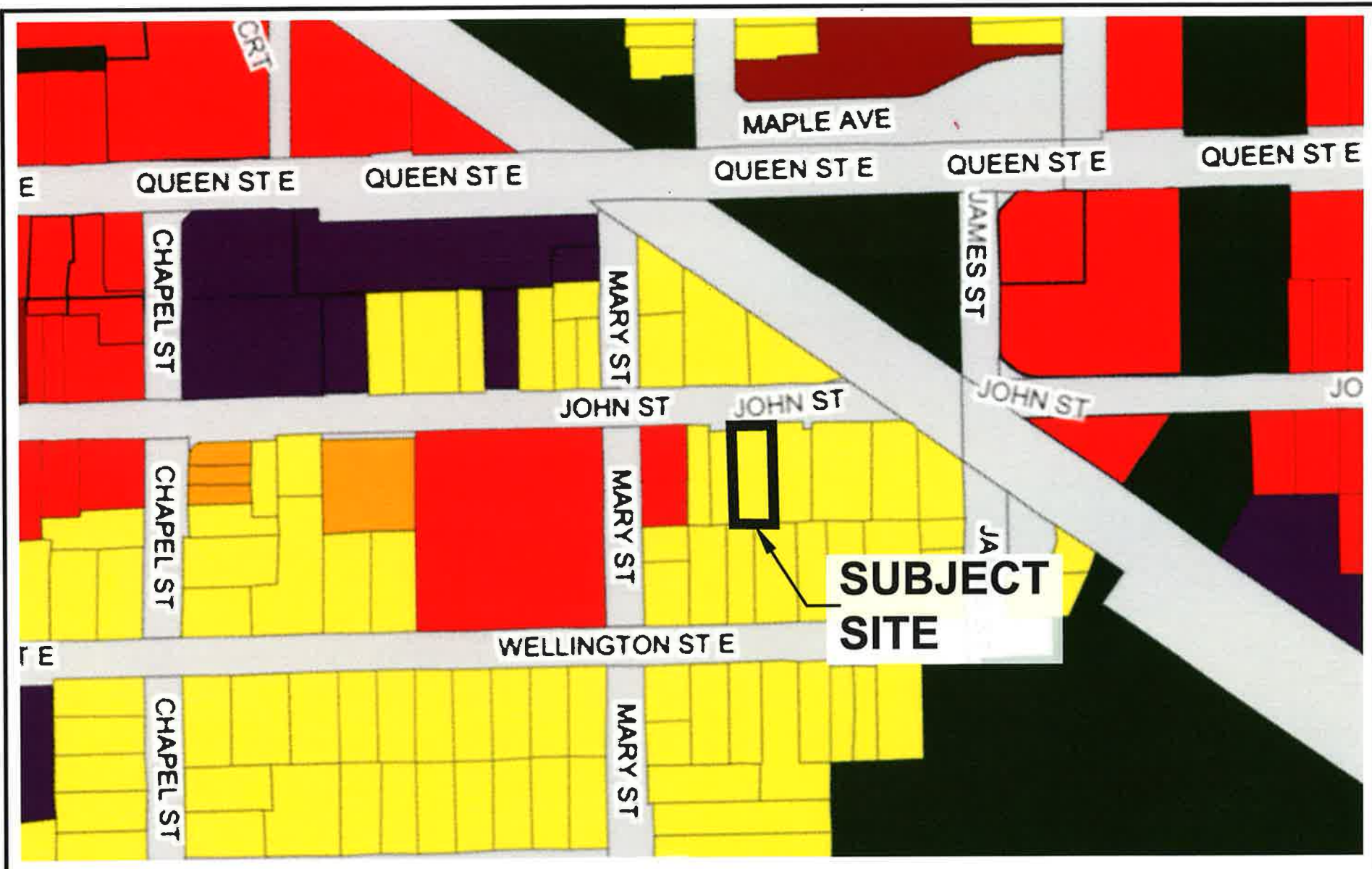


<div>EXTRACT FROM SCHEDULE 1 - CITY CONCEPT</div> <div>CITY of BRAMPTON OFFICIAL PLAN</div>	LEGEND		P.N.: 22.2994	Date: September 26, 2022
	<div><div><div></div>SUBJECT SITE</div><div><div></div>CENTRAL AREA</div><div><div></div>COMMUNITIES</div><div><div></div>EMPLOYMENT</div><div><div></div>OPEN SPACE</div></div>	<div><div><div></div>PRIMARY INTENSIFICATION CORRIDOR</div><div><div></div>SECONDARY INTENSIFICATION CORRIDOR</div><div><div></div>MOBILITY HUB A- ANCHOR</div><div><div></div>MAJOR TRANSIT STATION AREA</div></div>	Scale: N.T.S	Revised:
			Drawn By: D.S.	File No.: PN 2994_ OP_Figures
			<div><div></div></div>	<div><div></div></div>

TAB 5



TAB 6



**EXTRACT FROM
CITY of BRAMPTON
ZONING BY-LAW 270-2004**

- | | | | |
|---|------------------------------|---|---------------|
|  | SUBJECT SITE |  | INSTITUTIONAL |
|  | COMMERCIAL |  | OPEN SPACE |
|  | RESIDENTIAL - SINGLES/SEMI | | |
|  | RESIDENTIAL - MEDIUM DENSITY | | |
|  | RESIDENTIAL - HIGH DENSITY | | |

LEGEND

P.N.: 22.2994	Date: September 26, 2022
Scale: N.T.S	Revised:
Drawn By: D.S.	File No.: PN 2994_OP_Figures



Flower City



brampton.ca

APPLICATION NUMBER:

"B" 2022-0014

The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Consent

(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the PLANNING ACT, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) Name of Owner/Applicant Mehna Autosales Inc.
(print given and family names in full)

Address 21 Possession Crescent
Brampton, Ontario L6P 4K3

Phone # _____ Fax # _____

Email gaganent@outlook.com

(b) Name of Authorized Agent Gagron Walker Domes Ltd.

Address 21 Queen Street East Suite 500
Brampton Ontario L6W 3P2

Phone # (905) 796-5790 Fax # _____

Email asianianni@gauplanres.com

2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.

Specify: creation of a new lot

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.

Mehna Autosales Inc. (Gagandeep Singh Gill)

4. Description of the subject land ("subject land" means the land to be severed and retained):

a) Name of Street John Street Number 93

b) Concession No. _____ Lot(s) _____

c) Registered Plan No. BR-2 Lot(s) PT. Lot 43

d) Reference Plan No. 43R-13441 Lot(s) Part 4

e) Assessment Roll No. 10-02-0-009-11500-0000 Geographic or Former Township _____

5. Are there any easements or restrictive covenants affecting the subject land?

Yes ☐

No ☒

Specify: _____

6. Description of severed land: (in metric units)

a) Frontage 7.93m Depth 39.73m Area 0.031ha

b) Existing Use Residential Proposed Use Residential

c) Number and use of buildings and structures (both existing and proposed) on the land to be severed:

(existing) One (1) single detached Residential dwelling
(proposed) One (1) new single detached Residential dwelling

d) Access will be by:	Existing	Proposed
Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f) Water supply will be by:	Existing	Proposed
Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify):	<hr/>	

g) Sewage disposal will be by:	Existing	Proposed
Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Privy	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify):	<hr/>	

7. Description of retained land: (in metric units)

a) Frontage 7.93m Depth 39.73m Area 0.031ha

b) Existing Use Residential Proposed Use Residential

c) Number and use of buildings and structures (both existing and proposed) on the land to be retained:

(existing) One (1) single detached Residential Dwelling
(proposed) One (1) new single detached Residential Dwelling

d)

Access will be by:

Existing

Proposed

Provincial Highway

☐

☐

Municipal Road - Maintained all year

☒

☒

Other Public Road

☐

☐

Regional Road

☐

☐

Seasonal Road

☐

☐

Private Right of Way

☐

☐

e)

If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f)

Water supply will be by:

Existing

Proposed

Publicly owned and operated water system

☒

☒

Lake or other body of water

☐

☐

Privately owned and operated individual or communal well

☐

☐

Other (specify):

g)

Sewage disposal will be by:

Existing

Proposed

Publicly owned and operated sanitary sewer system

☒

☒

Privy

☐

☐

Privately owned and operated individual or communal septic system

☐

☐

Other (specify):

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	- R1B Zone	R1B Zone
Official Plans	- Central Area	
City of Brampton	- Medium Density	Same
Region of Peel	- Urban Growth Centre	Same

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☐ No ☒

File # _____ Status/Decision _____

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☒

Date of Transfer _____ Land Use _____

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment		
Zoning By-law Amendment		
Minister's Zoning Order		
Minor Variance	A-2022-0320 A-2022-0321	CONCURRENT
Validation of the Title		
Approval of Power and Sale		
Plan of Subdivision		

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*?
Yes ☒ No ☐
13. Is the subject land within an area of land designated under any Provincial Plan?
Yes ☒ No ☐
14. If the answer is yes, does the application conform to the applicable Provincial Plan?
Yes ☒ No ☐
15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the City of Brampton
this 27 day of September, 2022.

Anthony Sirio
Signature of Applicant or Authorized Agent, see note on next page

Check box if applicable:

☐ I have the authority to bind the Corporation

DECLARATION

I, Anthony Sirio of the Town of Halton Hills

In the County/District/Regional Municipality of Halton solemnly declare that all the statements contained in the application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the CITY of BRAMPTON
in the WEST of PEEL
this 27 day of Sept., 2022

Anthony Sirio
Signature of applicant/solicitor/authorized agent, etc.

Signature of a Commissioner, etc.

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

L Barbutto

Zoning Officer

September 27, 2022

Date

DATE RECEIVED

September 27, 2022

JOHN STREET

85

87

89

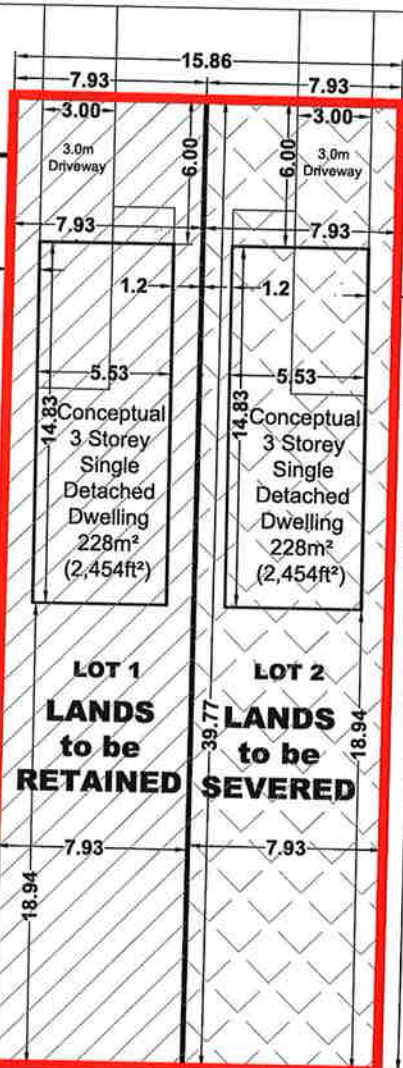
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101

EXISTING
SINGLE DETACHED
RESIDENTIAL

EXISTING
SINGLE DETACHED
RESIDENTIAL

EXISTING SINGLE DETACHED RESIDENTIAL



ZONING BY-LAW MATRIX - RESIDENTIAL SINGLE DETACHED B - (R1B) and SUBJECT to OLDER, MATURE NEIGHBOURHOODS (SITE AREA: 0.063ha (0.155ac))

Description	Required	Retained Lands	Severed Lands
Minimum Interior Lot Area	0.04 ha (0.11ac) 450m²	0.031 ha (0.077ac) 315m²	0.031 ha (0.077ac) 315m²
Minimum Interior Lot Width	15m	7.93m	7.93m
Minimum Front Yard Depth	6.0m	6.0m	6.0m
Minimum Interior Side Yard Width	1.2m for 1st Storey or part thereof plus 0.6m for each additional storey or part thereof	1.20m (west) 1.20m (east)	1.20m (west) 1.20m (east)
Minimum Rear Yard Depth	25% of the lot depth or 7.5m whichever is greater	18.94m	18.94m
Maximum Building Height	8.5m (*10.6m)	TBD	TBD
Maximum Lot Coverage	30%	26%	26%
Building Area	n/a	228m² (2,454ft²)	228m² (2,454ft²)
Minimum Landscaped Open Space	60% of the minimum front yard of an interior lot	62%	62%

*Residential Single Detached B - (R1B) Zoning Requirements

STATISTICS OVERVIEW

TOTAL LOT AREA:	0.063 ha (0.155 ac)
LANDS to be RETAINED:	0.031 ha (0.077 ac)
LANDS to be SEVERED:	0.031 ha (0.077 ac)

LEGEND

- PROPERTY BOUNDARY
- LANDS to be RETAINED
- LANDS to be SEVERED

CONCEPTUAL SEVERANCE PLAN PROPOSED SINGLE DETACHED LOTS 93 JOHN STREET CITY of BRAMPTON

P.N.: 22.2994.00	Date: August 30, 2022
Scale: N.T.S	Revised:
Drawn By: D.S.	File No.: PN 2994 Concept Plan



BRAMPTON
21 Queen Street East
Suite 500
Brampton, ON
L6W 3P1
P (905) 796 - 5790



MARKHAM
3601 Highway 7 East
Suite 310
Markham, ON
L3R 0M3
P (905) 477 - 6558

B-2022-0014
A-2022-0320
A-2022-0321

a

b

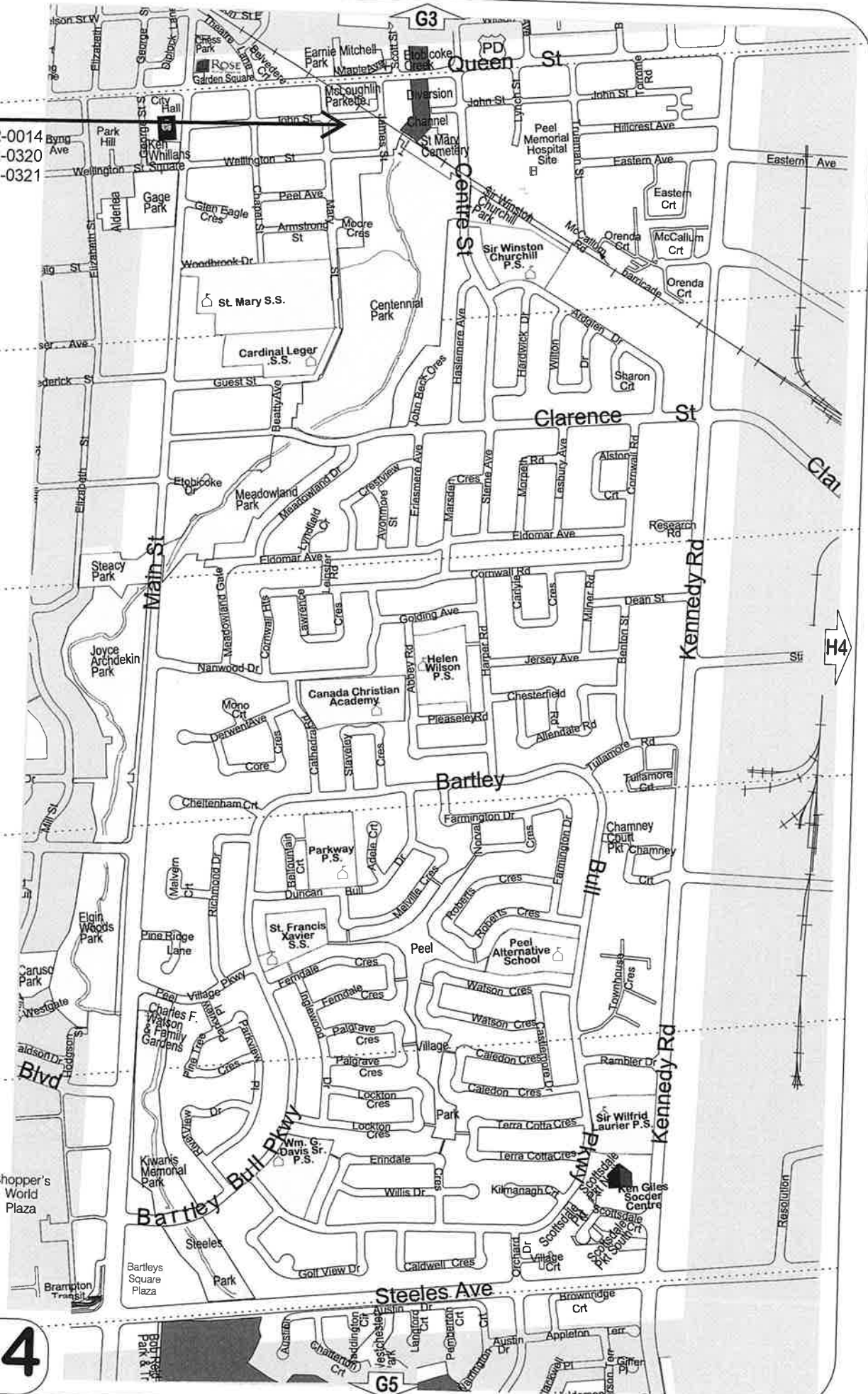


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G4



APPLICATION # B-2022-0026
Ward # 9

DEFERRED NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made by **KULBIR RAO AND NAVNEET RAO**

Purpose and Effect

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 762.16 square metres (0.188 acres). The proposed severed lot has a frontage of approximately 13.95 metres (45.77 feet), a depth of approximately 25 metres (82.02 feet) and an area of approximately 387.25 square metres (0.096 acres). The effect of the application is to create a new residential lot for future development of a single detached dwelling.

Location of Land:

Municipal Address: 33 Silktop Trail

Former Township: Chinguacousy

Legal Description: Lot 30, Plan 43M-1300

Meeting

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

=====

LAST DAY FOR RECEIVING COMMENTS: MARCH 23, 2023

=====

NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	NO	File Number:

Decision and Appeal

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Ontario Land Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Ontario Land Tribunal Act, 2021*. The appeal form is available from the Environment and Land Tribunals Ontario website at <https://olt.gov.on.ca/appeals-process/forms/>

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS 9th Day of March, 2023

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2

Phone: (905)874-2117 Fax: (905)874-2119

Page 435 of 1489
jeanie.myers@brampton.ca

A-1

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

NOBLE PRIME SOLUTIONS LTD

19-2131 WILLIAMS PKWY, BRAMPTON, L6S 5Z4

info@nobleltd.ca, (905) 782-5261, www.nobleltd.ca, 437-888-1800



November 23, 2022

City of Brampton
Clerks Division
2 Wellington Street West
Brampton, Ontario
L6T 4R2

ATTN: Ms. Jeanie Myers
City of Brampton Secretary-Treasurer

Re: Committee of Adjustment
Application for Consent to create new residential lot
33 Silktop Trail, Brampton

13-2022-0026

We enclose herewith the following documents pursuant to the above noted consent application:

- 1) One (1) digital application form with Authorization and Permission to Enter signed by the owner
- 2) One (1) digital copy of the application and drawing A-1 indicating the severed and retained lands,
- 3) One (1) Cheque in the amount of \$3,670.00, payable to the City of Brampton

The purpose of the application is to request consent to sever a parcel of land currently having a lot width of approximately 28.96 metre, a depth of approximately 25.0 metre and a total lot area of approximately 762.2 Square metres. The effect of the application is to create a new pie shape lot having a front width of approximately 13.95 metres, rear width of 17.04 metres, a depth of approximately 25.0 metre (Short-side) and 25.19 metre (long-side) and an area of approximately 387.2 square metres. Retained land will be rectangular lot with width of approximately 15.01 metre, a depth of 25.0 metres and an area of approximately 374.9 square metre. There is an existing residential lot on the retained lot which will remain as-is. It is proposed that the severed parcel be developed for future residential purposes (one single detached dwelling).

We trust the submitted materials fulfil the requirements of a consent application and are sufficient to facilitate a review of this application. Please contact the undersigned should you have any questions or require additional information.

Sincerely,

Tanvir Rai

Tanvir Rai, Project Lead

Noble Prime Solutions Ltd



The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Consent
(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a)

Name of Owner/Applicant

Kulbir Rao, Navneet Rao

(print given and family names in full)

Address

33 Silktop Trail, Brampton, ON L6R 2K6

Phone #

647-624-9124

Fax #

Email

nav_neet7@yahoo.ca
- (b)

Name of Authorized Agent

Noble Prime Solutions LTD.

Address

2131 Williams Pkwy Unit 19, Brampton, ON L6S 6B8

Phone #

437-888-1800

Fax #

Email

applications@nobleltd.ca
2.

The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.

Specify:

Consent to sever the existing over-size lot to create new residential lot for development for future residential single detached dwelling
3.

If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.

N/A
4.

Description of the subject land ("subject land" means the land to be severed and retained):

a) Name of Street

Silktop Trail

Number

33

b) Concession No.

Lot(s)

c) Registered Plan No.

43M-1300

Lot(s)

30

d) Reference Plan No.

Lot(s)

e) Assessment Roll No.

10-07-0-025-12155-0000

Geographic or Former Township

Brampton
5.

Are there any easements or restrictive covenants affecting the subject land?

Yes

☐

No

☒

Specify:

6. Description of severed land: (in metric units)

a)

Frontage

13.95 m

Depth

25 m

Area

387.25 sqm.

b)

Existing Use

Residential

Proposed Use

Residential

c)

Number and use of buildings and structures (both existing and proposed) on the land to be severed:

(existing)

0

(proposed)

1 Single Detached Dwelling

d)

Access will be by:

Existing

Proposed

Provincial Highway

☐

☐

Municipal Road - Maintained all year

☒

☐

Other Public Road

☐

☐

Regional Road

☐

☐

Seasonal Road

☐

☐

Private Right of Way

☐

☐

e)

If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

f)

Water supply will be by:

Existing

Proposed

Publicly owned and operated water system

☐

☒

Lake or other body of water

☐

☐

Privately owned and operated individual or communal well

☐

☐

Other (specify):

g)

Sewage disposal will be by:

Existing

Proposed

Publicly owned and operated sanitary sewer system

☐

☒

Privy

☐

☐

Privately owned and operated individual or communal septic system

☐

☐

Other (specify):

7. Description of retained land: (in metric units)

a)

Frontage

15.01 m

Depth

25 m

Area

374.91 sqm.

b)

Existing Use

Residential

Proposed Use

Residential

c)

Number and use of buildings and structures (both existing and proposed) on the land to be retained:

(existing)

2 Storey Detached House

(proposed)

0

d)

Access will be by:

Existing

Proposed

Provincial Highway

☐

☐

Municipal Road - Maintained all year

☒

☐

Other Public Road

☐

☐

Regional Road

☐

☐

Seasonal Road

☐

☐

Private Right of Way

☐

☐

e)

If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

N/A

f)

Water supply will be by:

Existing

Proposed

Publicly owned and operated water system

☒

☐

Lake or other body of water

☐

☐

Privately owned and operated individual or communal well

☐

☐

Other (specify):

g)

Sewage disposal will be by:

Existing

Proposed

Publicly owned and operated sanitary sewer system

☒

☐

Privy

☐

☐

Privately owned and operated individual or communal septic system

☐

☐

Other (specify):

8.

What is the current designation of the land in any applicable zoning by-law and official plan?

Land to be Severed

Land to be Retained

Zoning By-Law

R1C-856

R1C-856

Official Plans

City of Brampton

Residential

Residential

Region of Peel

Residential

Residential

9.

Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes

☐

No

☒

File #

Status/Decision

10.

Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes

☐

No

☒

Date of Transfer

Land Use

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment	<u>N/A</u>	<u>N/A</u>
Zoning By-law Amendment	<u>N/A</u>	<u>N/A</u>
Minister's Zoning Order	<u>N/A</u>	<u>N/A</u>
Minor Variance	<u>N/A</u>	<u>N/A</u>
Validation of the Title	<u>N/A</u>	<u>N/A</u>
Approval of Power and Sale	<u>N/A</u>	<u>N/A</u>
Plan of Subdivision	<u>N/A</u>	<u>N/A</u>

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*?
Yes ☒ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan?
Yes ☐ No ☒

14. If the answer is yes, does the application conform to the applicable Provincial Plan?
Yes ☐ No ☒

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the CITY of BRAMPTON
this 25th day of November, 2022.


Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:

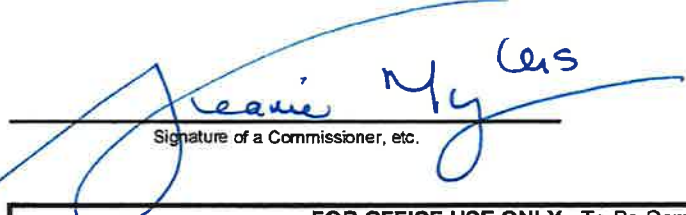
☐ I have the authority to bind the Corporation

DECLARATION

I, JIVTESH BHAILA of the CITY of BRAMPTON
in the County/District/Regional Municipality of PEEL solemnly declare that all the statements contained in this application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the CITY of BRAMPTON
in the REGION of PEEL
this 25th day of November, 2022.


Signature of applicant/solicitor/authorized agent, etc.


Signature of a Commissioner, etc.

Submit by Email

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

November 25, 2022

Date

DATE RECEIVED

November 25, 2022

Date Application Deemed
Complete by the Municipality



B-2022-0026

DEFERRED NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made by **AECON CONSTRUCTION AND MATERIALS LIMITED**

Purpose and Effect

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 60,192.90 square metres (6.02 hectares). The proposed severed lot has a frontage of approximately 112.09 metres (367.75 feet), a depth of approximately 118.63 metres (389.20 feet) and an area of approximately 6,457.97 square metres (0.65 hectares). The effect of the application is to establish two separate lots from the existing lot to facilitate the sale of the proposed severed lot for future development.

Location of Land:

Municipal Address: 45, 55 Van Kirk Drive/12 Canam Crescent

Former Township: Chinguacousy

Legal Description: Part of Lot 11, Concession 1 W.H.S.

Meeting

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. **This will also entitle you to be advised of a possible Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment Decision may be appealed to the Ontario Land Tribunal by the applicant or another member of the public.**

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

=====

LAST DAY FOR RECEIVING COMMENTS: MARCH 23, 2023

=====

NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	NO	File Number:

Decision and Appeal

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Ontario Land Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Ontario Land Tribunal Act, 2021*. The appeal form is available from the Ontario Land Tribunal website at <https://olt.gov.on.ca/appeals-process/forms/>

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Ontario Land Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS 9th Day of March, 2023

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

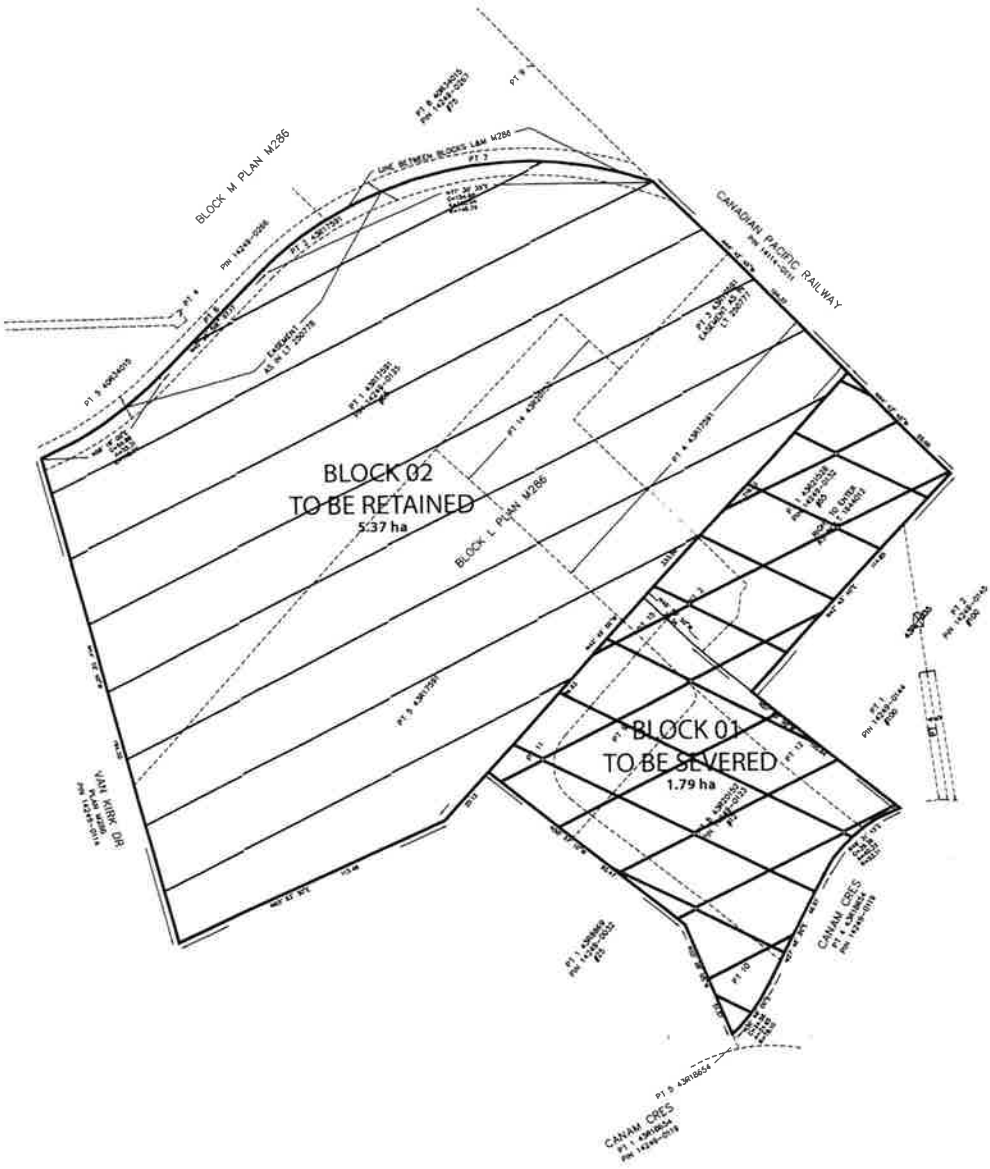
Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119

SCHEDULE B2

SEVERANCE SKETCH
BRAMPTON ASPHALT PLANT
COMPILED TITLE SEARCH AND SURVEY

METRIC

SCALE: 1:1000

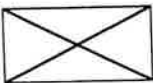


FOR DISCUSSION PURPOSES ONLY

LEGEND



LANDS TO BE RETAINED



LANDS TO BE SEVERED



DELTA URBAN

8800 Dufferin St, Suite 104
Vaughan, ON, L4K 0C5
Tel: (905)660-7667 | Fax: (905) 660-7076

Date: November 28, 2022

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



November 28th, 2022

Jeanie Myers
The Secretary-Treasurer
City of Brampton
2 Wellington Street West,
Brampton, ON L6Y 4R2

Re: Application for Consent
45 & 55 Van Kirk Drive and 12 Canam Crescent, City of Brampton

B-2022 - 0027

Dear Jeanie,

On behalf of our Client, Aecon Construction and Materials Limited, Delta Urban Inc. is pleased to make this formal submission of the attached application for a Consent for the above-noted lands in the City of Brampton. Enclosed within this application package please find the following:

- Digital copy of the completed Consent application form;
- Digital copy of the Planning Rationale Report, prepared by Delta Urban Inc., and dated November 28th, 2022.

We acknowledge that the application should be filed with the applicable fee in credit card for \$4,119. The payment will be arranged as soon as more details about the required payment are known.

Should you have any questions, please don't hesitate to contact the undersigned.

Yours Very Truly,

Mustafa Ghassan
Delta Urban Inc.



November 28th, 2022

The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West,
Brampton, ON L6Y 4R2

Attention: Jeanie Myers | The Secretary-Treasurer

**Re: Consent Application – Planning Rationale Memo
45 & 55 Van Kirk Drive and 12 Canam Crescent, City of Brampton**

1.0 INTRODUCTION

Delta Urban Inc. was retained by Aecon Construction and Materials Limited (the “Owner”), to assist in pursuing a Consent application to facilitate the creation of a new lot from the lands municipally addressed as 45 and 55 Van Kirk Drive, and 12 Canam Crescent (the “Subject Lands”). Notwithstanding the separate addresses, tax assessment number, and the lot fabric, as detailed in Schedule A1 and A2, the Subject Lands are part of one Block but contain separate tax assessment number and addresses.

2.0 SITE DESCRIPTION

The Subject Lands are in the City of Brampton and is generally located north of Bovaird Drive, east of Van Kirk Drive, west of Hurontario Street, and south of Sandalwood Parkway. The Subject Lands are all owned by Aecon Construction and Materials Limited. 45 and 55 Van Kirk Drive is currently operating as an Asphalt Plant, and 12 Canam Crescent contains a building used for the Owner’s commercial operation.

The severed lot will have approximately 112.09 metres of frontage along Canam Crescent, and an lot area of approximately 1.79 hectares (6,457.97 m²). Access to the proposed lot to be severed is currently provided by an entrance from Canam Crescent. We note that the retained lot is zoned as Industrial Four A (M4A). The lot to be severed is zoned as Highway Commercial One (HC1). The future lots are consistent with the policies of the PPS, promote and provide intensification and effectively use land and resources.

The proposed Consent concept plan has been included as Schedule B1.

3.0 PROPOSAL

The Subject Lands are part of one lot owned by Aecon Construction and Materials Limited but contain separate assessment numbers and addresses. The Owner of the Subject Lands wishes to sever the subject lands into two lots as illustrated in Schedule B2. No new buildings are proposed on the retain or to be severed lot at this time. The Owner wishes to sell the severed lot



with the intended use as Auto related (sales / service etc.). The Plan for the severed lot are to be determined by the future purchaser.

4.0 PLANNING ANALYSIS

The following is a review of the land use policy framework related to the Subject Lands. The Provincial Policy Statement, Growth Plan, Region of Peel Official Plan, City of Brampton Official Plan, and the City of Brampton Zoning By-law.

4.1 The Planning Act

The Planning Act establishes the legislative framework for land use planning in Ontario and effectively describes how the land uses can be controlled. Concerning the application made, Section 53 sets the legislative framework for Consents.

Section 2 and 3 of the Planning Act require that planning decisions have regard to matters of provincial interest, be consistent with the provincial policy statements and conform to the provincial plans that are in effect. Sections 4.2 and 4.3 of this report will examine the applicable provincial policy and plans as they relate to the Subject Lands.

Based on a comprehensive review of the proposal and applicable sections of the Planning Act, it is the opinion of the undersigned that the proposed lot compiles with the applicable Planning Act requirements. The proposed Consent complies with the Planning Act.

4.2 Provincial Policy Statement (2020)

The Provincial Policy Statement (the "PPS") is a statement of the government's policies on land use planning and the intention is to provide policy direction on land use matters all in the interest of the Province. All land use planning is required to be consistent with the PPS. Section 1.3.2.1 states *planning authorities shall plan for, protect and preserve employment areas for current and future uses and ensure that the necessary infrastructure is provided to support current and projected needs.*

The proposed Consent is consistent with the Provincial Policy Statement (PPS)

4.3 A Place to Grow - The Growth Plan for the Greater Golden Horseshoe (2020)

The Growth Plan was created by the Province to guide the building of stronger more prosperous communities through the management of growth. The Growth Plan contains various principles which are intended to guide decisions on how land is developed. These guiding principles include building compact, vibrant, and complete communities, managing growth, protecting natural resources, and optimizing the use of infrastructure, supporting a range and mix of housing options and providing for different approaches to managing growth that recognize the diversity of communities.

Section 1.1 of the Growth Plan outlines the several challenges that the Province and the Greater Golden Horseshoe (GGH) face when considering growth and development. The intent of the



Growth Plan is to guide decisions on a wide variety of issues in the interest of promoting economic prosperity.

Section 1.2 of the Growth Plan provides policies of the vision for the GGH, that the communities will be supported by a strong economy, ensure a cleaner environment and social equity and thriving, livable, vibrant, and productive urban and rural communities.

The proposed Consent conforms with the Growth Plan.

4.4 The Region of Peel Official Plan

The Region of Peel Official Plan outline provides strategies for growth and development for the period of 2005 - 2031. The Region is undergoing its Municipal Comprehensive Review (MCR) in accordance with the requirements of the Provincial Policy Statement and the Growth Plan. The new Region of Peel Official Plan, as modified, came into effect as of November 4, 2022, replacing the previous Region of Peel Official Plan.

As per Schedule C, the Subject Lands are in the "Employment Areas" in the Region Official Plan. Policies for Employment Areas are outlined in Section 5.8. Section 5.8.1 states:

To provide sufficient lands in Employment Areas in Peel to support a vibrant and sustainable regional economy, to further the economic development goals of the local municipalities and to contribute to complete communities, in accordance with the policies in the provincial Growth Plan and in accordance with the policies of this Plan including the forecasts set out in Table 3

The proposed are maintaining the existing use of employment areas. It is opinion of the undersigned that the proposed lot will support and maintain the Region's goals and would complement and be compatible with the Employment Area. The proposed Consent conforms to the Region of Peel Official Plan.

4.5 The City of Brampton Official Plan

As per Schedule D, the severed lot is zoned as Business Corridor and the retained lot is zoned as Industrial.

Regarding the Business Corridor, the permitted use for this designation is as follows:

A number of uses shall be prohibited on lands designated Business Corridor including auto-body paint and repair, automobile repair, commercial self-storage warehouses, and retail and industrial uses that involve outdoor storage and outdoor display of merchandise. In addition, a superior level of urban design is required to maintain the positive business image of the City's industrial areas, including restricting open storage and truck trailer parking areas away from their entrances.

The proposed Consent conforms to the City of Brampton Official Plan.

4.6 City of Brampton Zoning By Law 270-2004

As illustrated in Schedule E, the Subject Lands are zoned as Industrial Four A (M4A), and Highway Commercial One (HC1).



Permitted uses within **Industrial Four A (M4A)** are as follows:

- **Industrial**
 - the manufacturing, cleaning, packaging, processing, repairing, or assembly of goods, foods or materials within an enclosed building, but excluding a motor vehicle repair shop and a motor vehicle body shop as a principal or accessory use.
 - a printing establishment
 - a warehouse
 - a Parking lot
- **Non-Industrial**
 - Radio or television broadcasting and transmission establishment
 - a recreational facility or structure
 - a community club
 - an animal hospital
 - a place of worship only when located in a Business Corridor Area as shown on Schedule G to this by-law
- **Accessory**
 - an associated educational use
 - an associated office
 - A retail outlet operated in connection with a particular purpose permitted by (a)(1) and (a)(2) above provided that the total gross commercial floor area of the retail outlet is not more than 15% of the total gross industrial floor area of the particular industrial use
 - purposes accessory to the other permitted purposes

The following are the summary provisions relative to the M4A zone:

Provision	Development Metric
(a) Minimum Lot Width	30 metres
(b) Minimum Front Yard Depth	25 metres
(c) Minimum Interior Side Yard Width	6 metres except that where it abuts (1) a rail line, there is no requirement and (2) a property zoned Residential or Institutional
(d) Minimum Exterior Side Yard Width	8 metres
(e) Minimum Rear Yard Depth	20 metres except that where it abuts a rail line, there is no requirement



(f) Maximum Building Height	No restriction but maximum 2 storeys on a lot which abuts a residential zone
(g) Minimum Landscaped Open Space	Except at approved driveway locations, a minimum 3-metre-wide strip shall be provided along any lot line abutting a street or an Institutional Zone (ii) A minimum 6-metre-wide strip shall be provided along any lot line abutting a Residential Zone
(h) Outside Storage	Not permitted

Permitted uses within **Highway Commercial One (HC1)** are as follows:

- **Commercial**
 - a hotel or motel
 - a motor vehicle or boat sales, rental, leasing or service establishment,
 - a motor vehicle repair shop, and a motor vehicle or boat parts and accessories sales establishment
 - only in conjunction with a motor vehicle sales, rental, leasing or service establishment, a motor vehicle body shop
 - a parking lot
 - a dining room restaurant, a convenience restaurant, a take-out restaurant
 - a tavern
 - a taxi or bus station
 - banquet facilities
 - a community club
 - a tool and equipment rental establishment
 - an animal hospital
 - uses permitted by a HC2 Zone

The following are the summary provisions relative to the HC1 zone:

Provision	Development Metric
(a) Minimum Lot Width	38 metres
(b) Minimum Lot Depth	No requirement
(c) Minimum Front Yard Depth	15 metres



(d) Minimum Interior Side Yard Width	3 metres except that where the interior side yard abuts a Residential or Institutional Zone, the minimum interior side yard shall be 6 metres
(e) Minimum Rear Yard Depth	6 metres except that where the rear yard abuts a Residential or Institutional Zone, the minimum rear yard shall be 9 metres
(f) Maximum Building Height	3 storeys
(g) Minimum Landscaped Open Space	20% of the required front yard and 50% of the required exterior side yard
(h) Other	No underground or aboveground storage tanks for gasoline or propane, intake valves or fume exhaust outlets shall be located in the minimum required yard adjacent to any residential zones

The severed lot will provide a lot frontage of 112.09 and a lot area of 6,457.97 square metres and the retained lot will maintain a lot frontage of 194.41 metres and a lot area of 53,734.93 square metres, both far exceeding the minimums in the City Zoning By-laws.

The severed lot and retained lot are in keeping with the provisions of the City of Brampton Zoning By-law.

5.0 SUMMARY FINDINGS

Based on the analysis and findings presented in this report, it is in the opinion of the undersigned that the proposed Consent is in the public interest and represents good planning for the following reasons:

- The proposed Consent complies with the Planning Act
- The proposed Consent is consistent with the Provincial Policy Statement (PPS)
- The proposed Consent conforms with the Growth Plan
- The proposed Consent conforms to the Region of Peel Official Plan and the City of Brampton Official Plan.
- The proposed Consent is in keeping with the City of Brampton Zoning By-law.

Should you have any questions, please don't hesitate to contact the undersigned.
Yours Very Truly,



Mustafa Ghassan
Delta Urban Inc.



SCHEDULE A1



LEGEND

-  SITE BOUNDARY
-  ASSESSMENT AREA



8800 Dufferin St, Suite 104
Vaughan, ON, L4K 0C5
Tel: (905)660-7667 | Fax: (905) 660-7076

Date: November 28, 2022



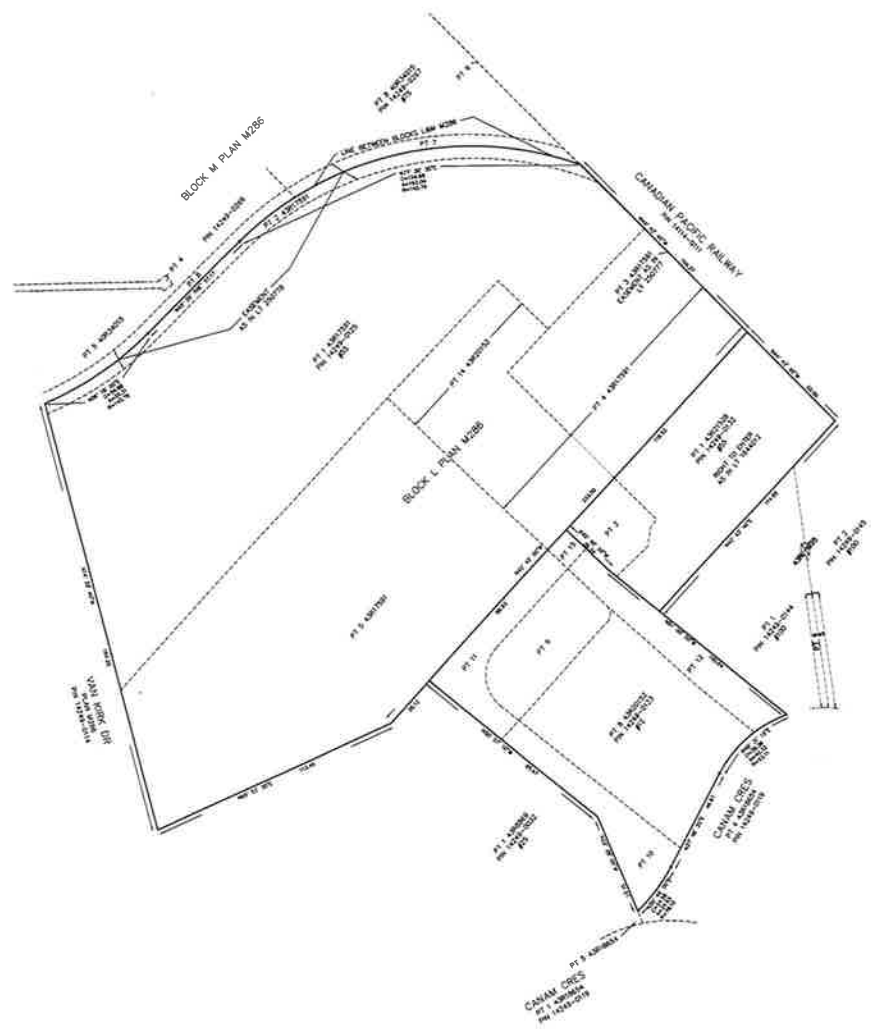
SCHEDULE A2

SCHEDULE A2

SEVERANCE SKETCH
BRAMPTON ASPHALT PLANT
COMPILED TITLE SEARCH AND SURVEY

METRIC

SCALE: 1:1000





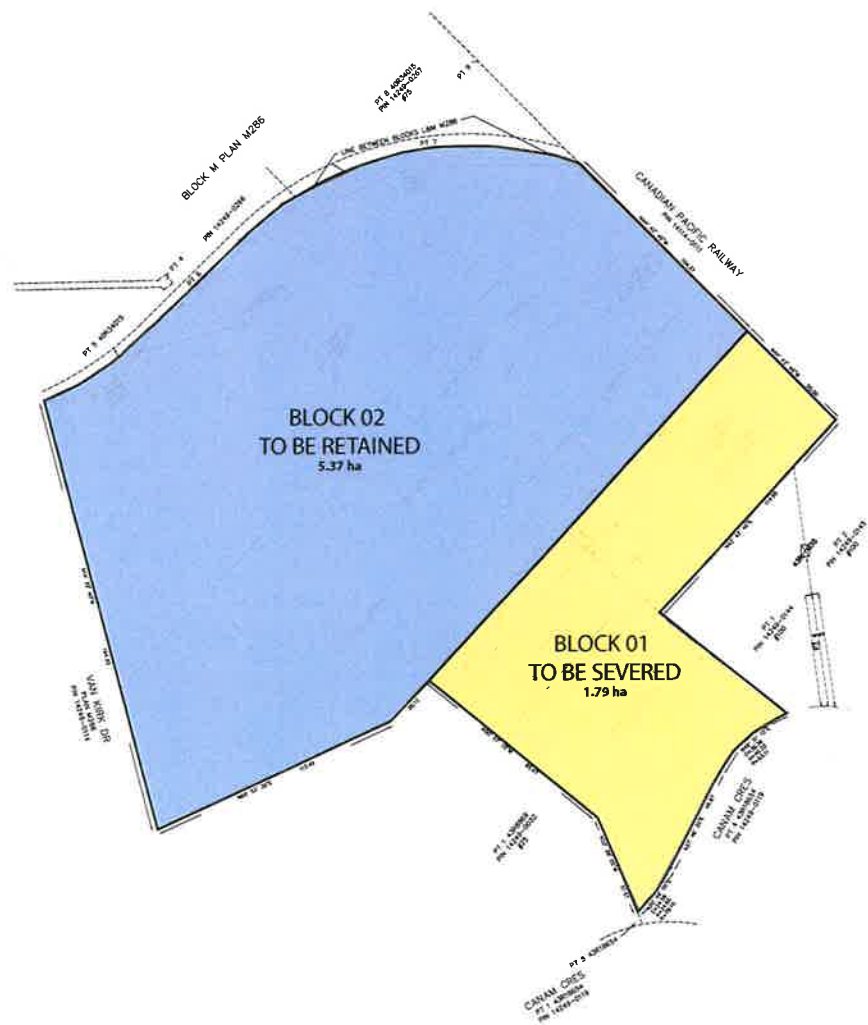
SCHEDULE B1

SCHEDULE B1

SEVERANCE SKETCH
BRAMPTON ASPHALT PLANT
COMPILED TITLE SEARCH AND SURVEY

METRIC

SCALE: 1:1000

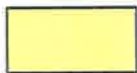


FOR DISCUSSION PURPOSES ONLY

LEGEND



LANDS TO BE RETAINED



LANDS TO BE SEVERED



DELTA URBAN

8800 Dufferin St, Suite 104
Vaughan, ON, L4K 0C5
Tel: (905)660-7667 | Fax: (905) 660-7076

Date: November 28, 2022



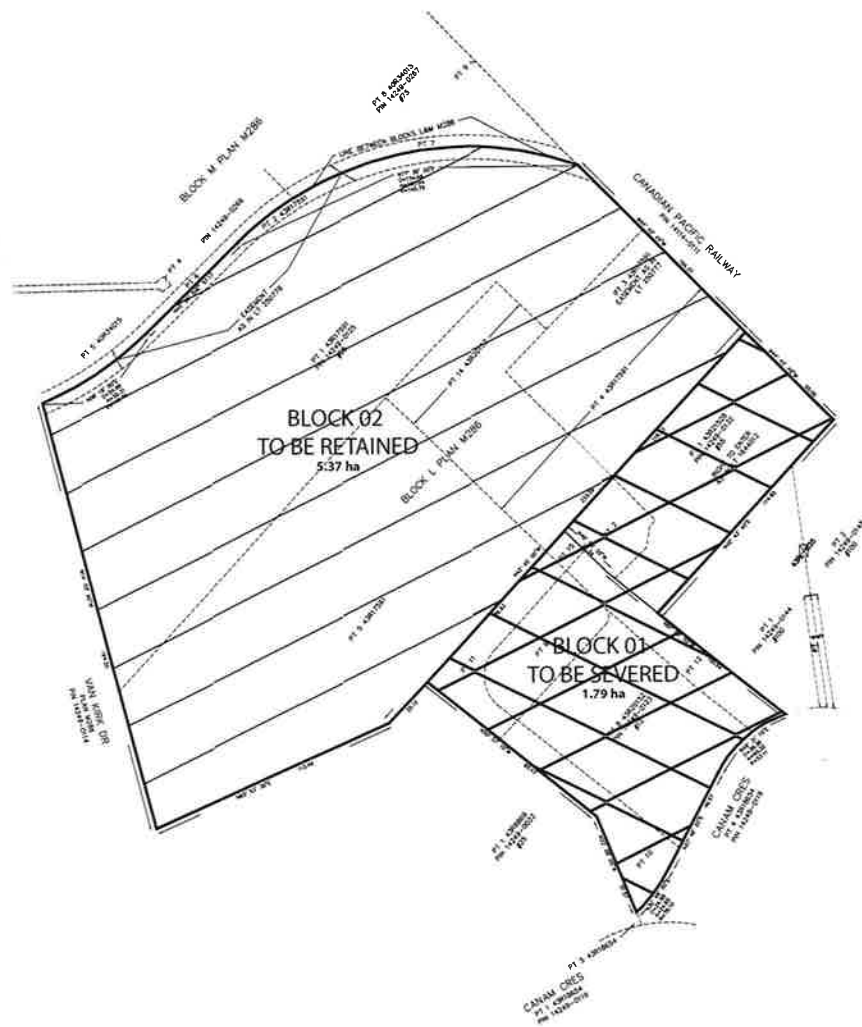
SCHEDULE B2

SEVERANCE SKETCH

BRAMPTON ASPHALT PLANT

COMPILED TITLE SEARCH AND SURVEY

SCALE: 1:1000



LEGEND



LANDS TO BE SEVERED



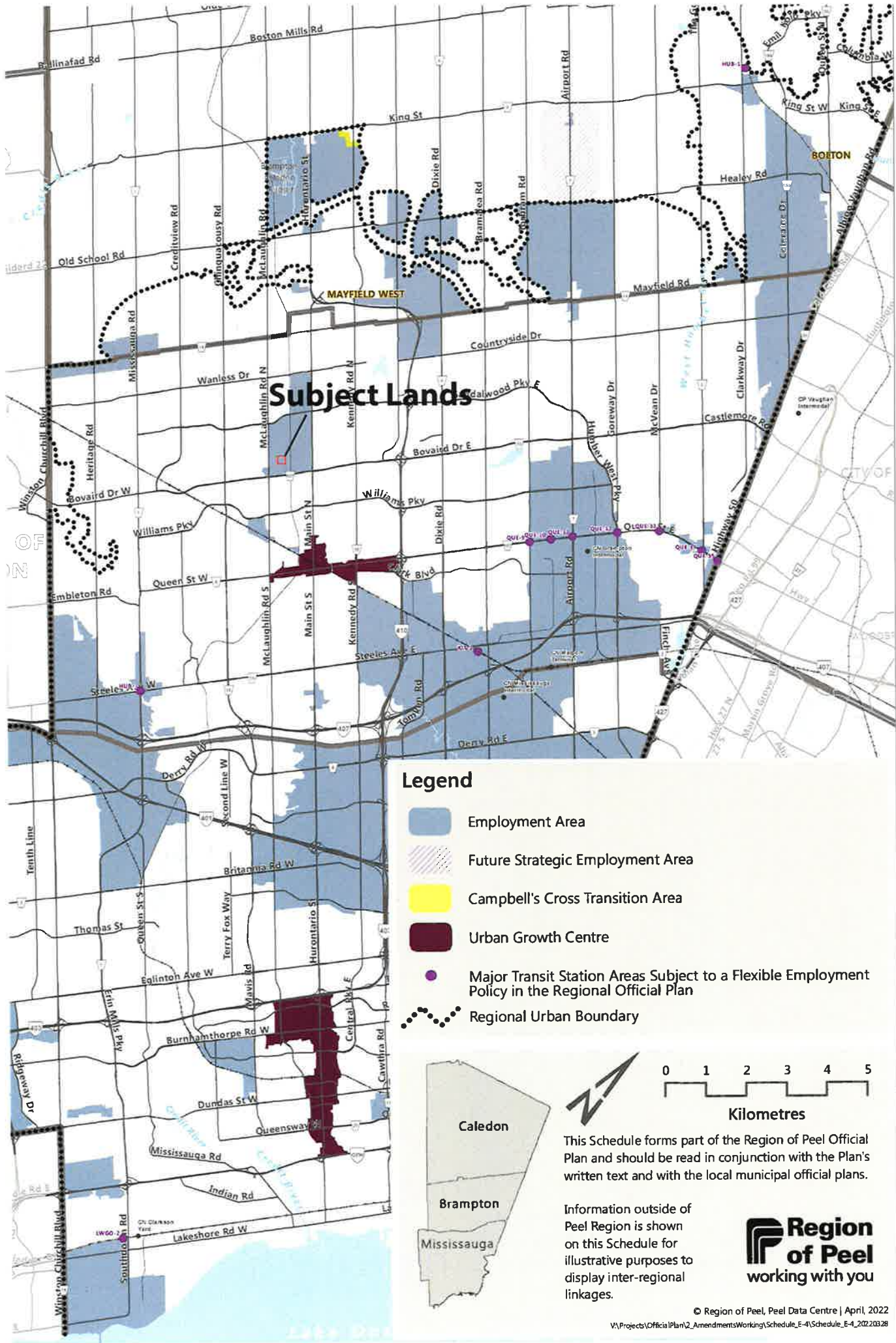
DELTA URBAN

8800 Dufferin St, Suite 104
Vaughan, ON, L4K 0C5
Tel: (905) 660-7667 | Fax: (905) 660-7076

Date: November 28, 2022



SCHEDULE C

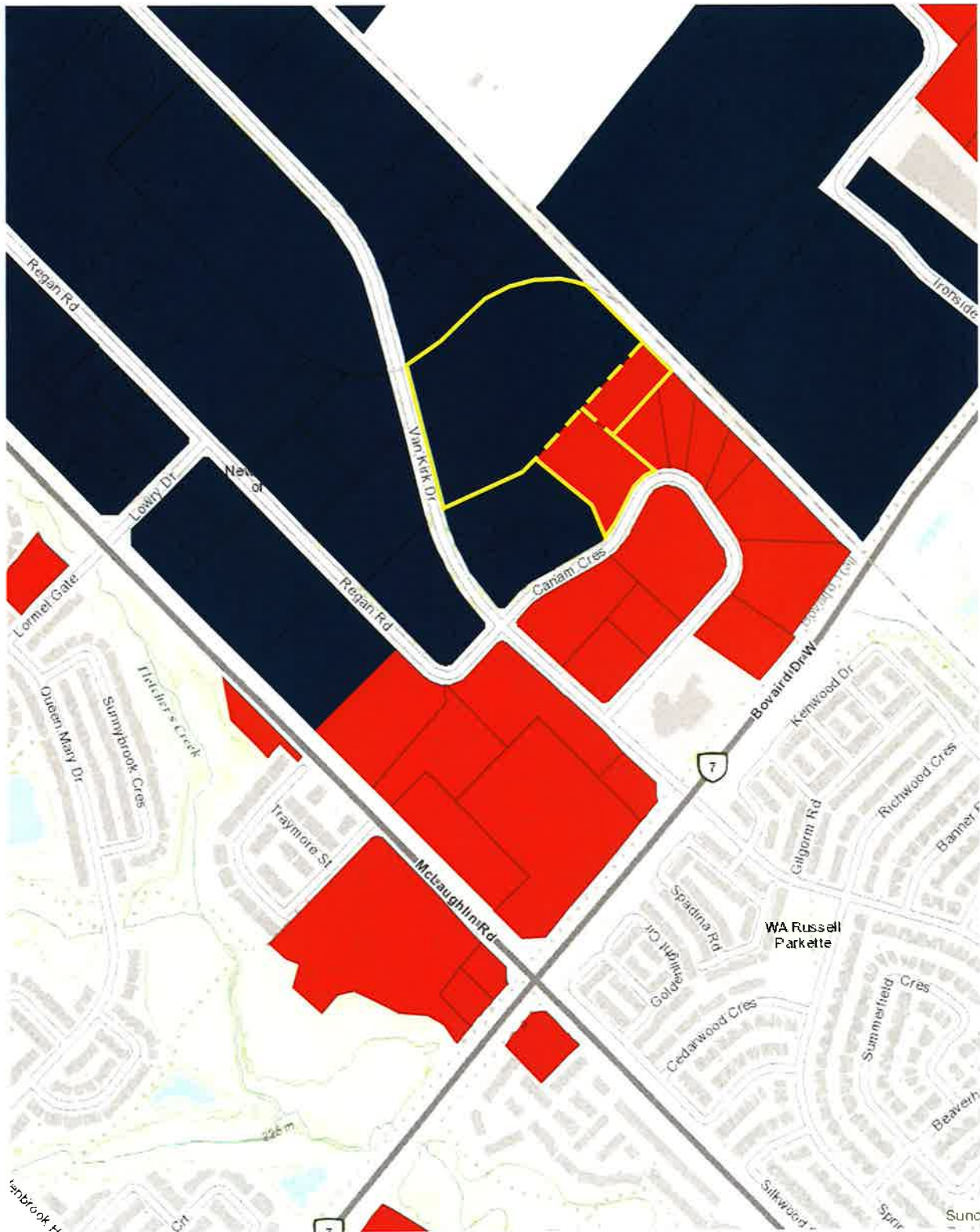








SCHEDULE D



SCHEDULE E



LEGEND

-  SITE BOUNDARY
-  SITE ASSESSMENT AREA
-  HIGHWAY COMMERCIAL ONE (HC1)
-  INDUSTRIAL FOUR ONE (M4A)



DELTA URBAN

8800 Dufferin St, Suite 104
Vaughan, ON, L4K 0C5
Tel: (905)660-7667 | Fax: (905) 660-7076

Date: November 28, 2022



The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Consent
(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) Name of Owner/Applicant AECON CONSTRUCTION AND MATERIALS LIMITED
(print given and family names in full)

Address 20 Carlson Court, Suite 105, Toronto, Ontario M9W 7K6

Phone # Fax #

Email PKarczmarczyk@aecon.com

(b) Name of Authorized Agent Mustafa Ghassan

Address 8800 Dufferin Street, Suite 104, Vaughan, Ontario L4K 0C5

Phone # 647-833-3047 Fax #

Email mustafag@deltaurban.com

2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.

Specify: Transfer for a creation of a new lot

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.

4. Description of the subject land ("subject land" means the land to be severed and retained):

a) Name of Street Van Kirk Drive & Canam Number 45 & 55 & 12

b) Concession No. CON.1 W.H.S. Lot(s) 11

c) Registered Plan No. M-286 Lot(s)

d) Reference Plan No. Lot(s)

e) Assessment Roll No. 10-6-0-001-28900-0000 Geographic or Former Township

5. Are there any easements or restrictive covenants affecting the subject land?

Yes No ☒

Specify:

6. Description of severed land: (in metric units)

a) Frontage 112.09 metres Depth 118.63 metres Area 6,457.97m2

b) Existing Use Commercial Proposed Use Commercial

c) Number and use of buildings and structures (both existing and proposed) on the land to be severed:
 (existing) One Building
 (proposed) No proposed Building at this time and is to be determined in the future

d) Access will be by:

	Existing	Proposed
Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f) Water supply will be by:

	Existing	Proposed
Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>

Other (specify): _____

g) Sewage disposal will be by:

	Existing	Proposed
Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Privy	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>

Other (specify): _____

7. Description of retained land: (in metric units)

a) Frontage 194.41 metres Depth 337.96 metres Area 53,734.93m2

b) Existing Use Industrial Proposed Use Industrial

c) Number and use of buildings and structures (both existing and proposed) on the land to be retained:
 (existing) No Buildings
 (proposed) No Buildings

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	<hr/>	

g)	Sewage disposal will be by:	Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	<hr/>	

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	<u>Commercial</u>	<u>Industrial (M4A)</u>
Official Plans		
City of Brampton	<u>Commercial</u>	<u>Industrial (M4A)</u>
Region of Peel	<u></u>	<u></u>

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☒ No ☐

File # M-286 Status/Decision 2/11/1996

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☒

Date of Transfer Land Use

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment		
Zoning By-law Amendment		
Minister's Zoning Order		
Minor Variance		
Validation of the Title		
Approval of Power and Sale		
Plan of Subdivision		

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*?

Yes ☒ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan?

Yes ☒ No ☐

14. If the answer is yes, does the application conform to the applicable Provincial Plan?

Yes ☒ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the _____ city _____ of _____ Toronto _____

this 28th _____ day of _____ November _____, 2022 _____

Check box if applicable:

☒ I have the authority to bind the Corporation

Signature of Applicant, or Authorized Agent, see note on next page
Peter Karczmarczyk - Sr. Director Procurement

DECLARATION

I, PETER KARZMARCZYK of the BURLINGTON City of MISSISSAUGA

in the County/District/Regional Municipality of PEEL HALTON solemnly declare that all the statements contained in this application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the _____ City _____ of _____ Brampton _____

in the _____ Region _____ of _____ Peel _____
this 28th _____ day of _____ November _____, 2022 _____

Signature of applicant/solicitor/authorized agent, etc.

Submit by Email

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

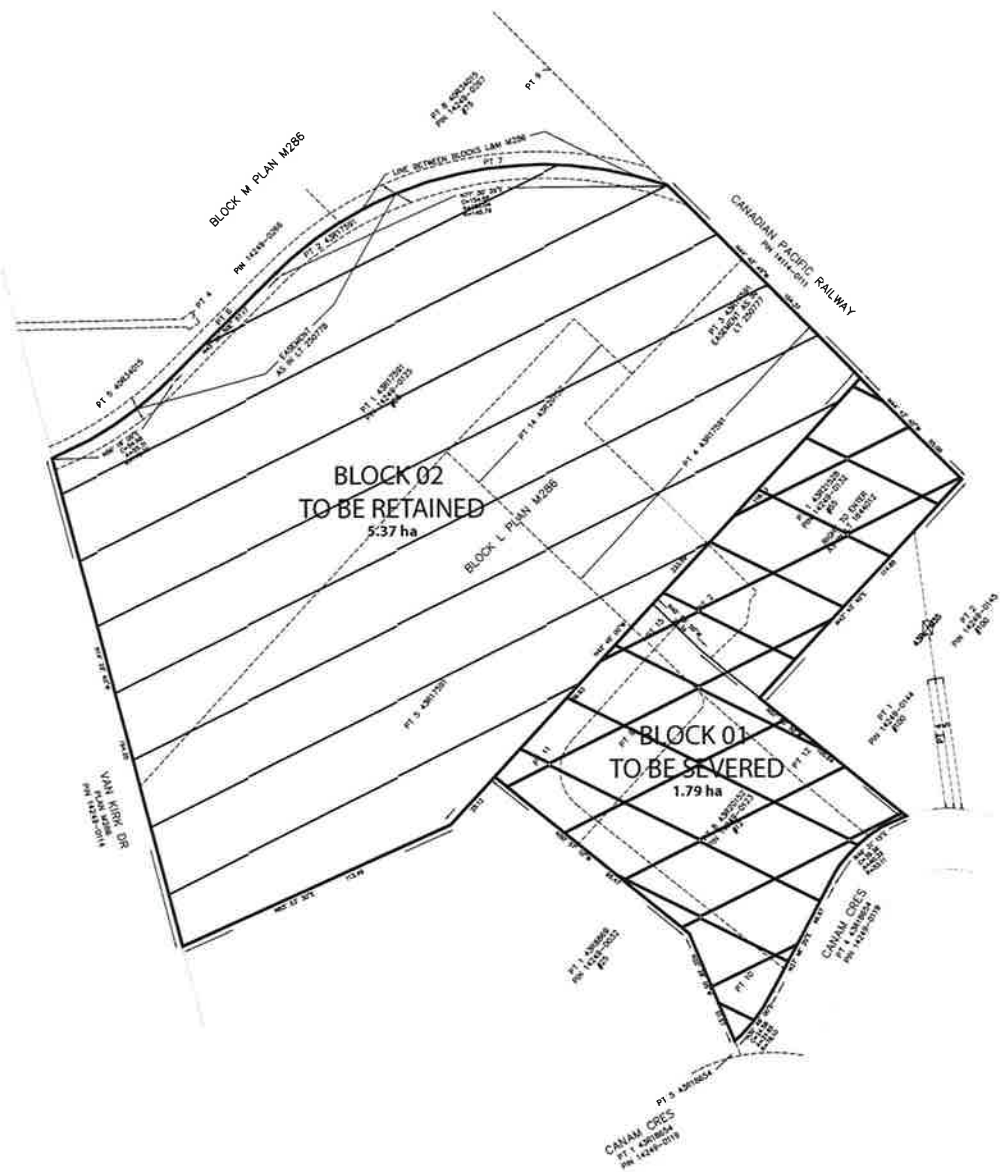
Nov. 29, 2022

SCHEDULE B2

SEVERANCE SKETCH
BRAMPTON ASPHALT PLANT
COMPILED TITLE SEARCH AND SURVEY

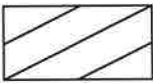
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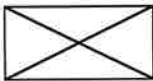


FOR DISCUSSION PURPOSES ONLY

LEGEND



LANDS TO BE RETAINED



LANDS TO BE SEVERED



DELTA URBAN

8800 Dufferin St, Suite 104
Vaughan, ON, L4K 0C5
Tel: (905)660-7667 | Fax: (905) 660-7076

Date: November 28, 2022

APPLICATION # A-2022-0372
WARD #8

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SRADHANANDA MISHRA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lots 9 and 10, Concession 6 E.H.S. municipally known as **9893 TORBRAM ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s) in conjunction with the proposed severed lot under Consent Application B-2022-0025:

1. To permit a minimum lot area of 1,500 square metres whereas the by-law requires a minimum lot area of 6500 square metres;
2. To permit a minimum landscaped open space strip of 1.5 metres along the site limits whereas the by-law requires a minimum landscaped open space strip of 3.0 metres, except at the location of a driveway.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: YES

File Number: _____
File Number: B-2022-0025

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

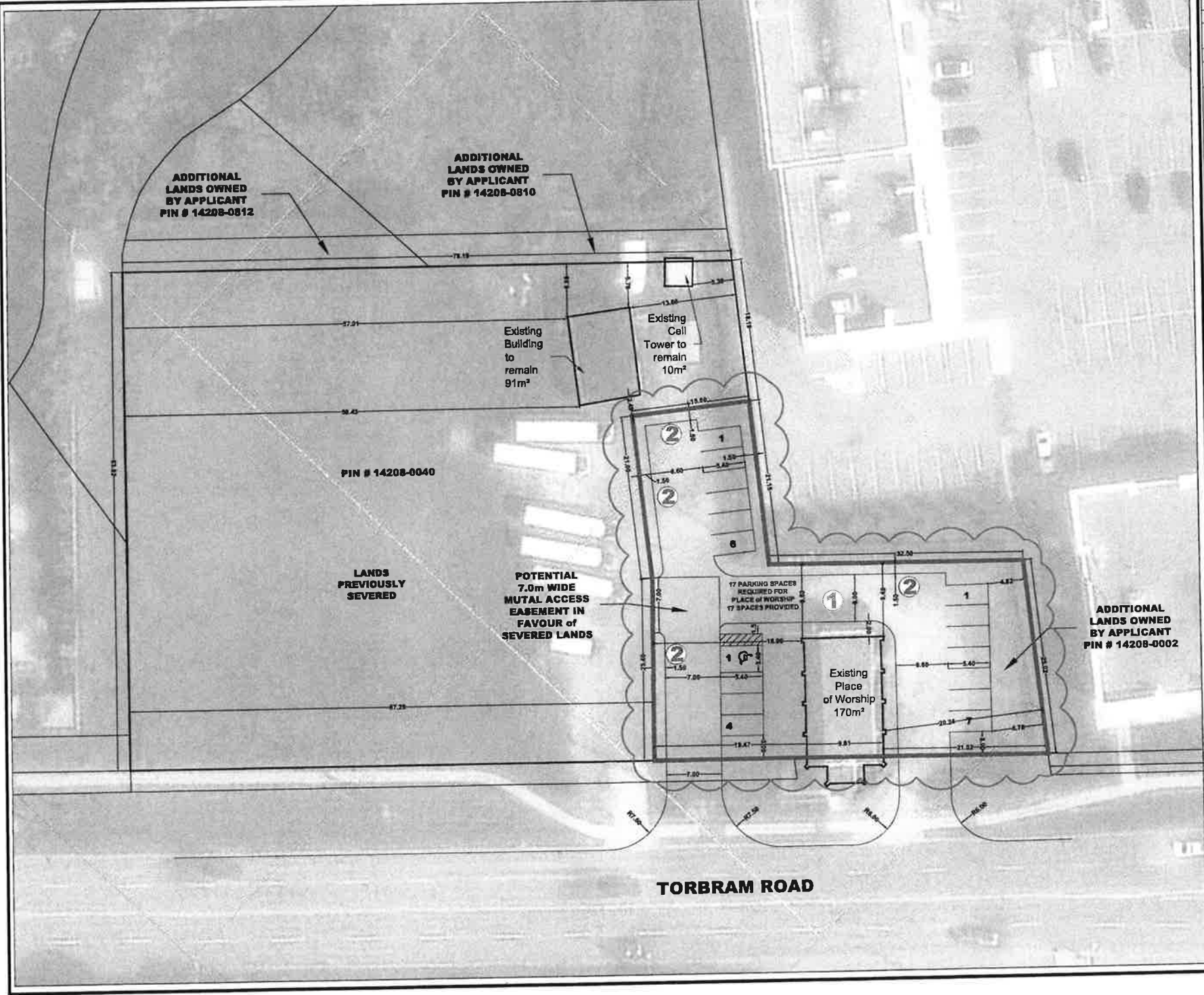
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, 9th Day of March, 2023

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



ZONING BY-LAW MATRIX - INSTITUTIONAL ONE ZONE - (I1) and SPECIAL SECTION 676 (I1-676)		
Description	Required	Provided
Minimum Lot Area	0.65 ha (1.60ac)	0.15 ha (0.37 ac)
Minimum Lot Area	6,500m ²	1,519m ²
Minimum Lot Width	n/a	49.45m
Minimum Front Yard Depth	7.5m	0.0m - existing
Minimum Interior Side Yard Width	7.5m or half the height of the building, whichever is greater	18.92m - east 18.96m - west
Minimum Rear Yard Depth	7.5m or half the height of the building, whichever is greater	9.49m
Maximum Building Height	3 storeys	1 storey (± 8.0m)
Maximum Lot Coverage	none	10%
Minimum Landscaped Open Space	a minimum landscaped open space strip of 3m in width shall be provided along the site limits except at the location of the driveway	0.0m - existing, 1.40m
Parking Required Place of Worship	17 spaces required (1 parking space for every 4 seats or for each 2 metres of bench space in the place of worship – main worship area, or 1 parking space for each 5 square metres of place of worship – net worship area when there is open floor seating.)	17 spaces (based on 83.61m ² (900ft ²) of open floor seating)

MINOR VARIANCES

- To permit a Minimum Lot Area of 1,500m² whereas the Zoning By-law requires a Minimum Lot Area of 6,500m²; and
- To permit a Minimum Landscaped Open Space strip of 1.50 metres along the site limits except at the location of the driveways; whereas the Zoning By-law requires a Minimum Landscaped Open Space strip of 3.0 metres to be provided along the site limits except at the location of driveway.

LEGEND

 PROPERTY BOUNDARY

 MINOR VARIANCES

**MINOR VARIANCE PLAN
RETAINED LANDS - LOT ADDITION to
EXISTING PLACE of WORSHIP
9893 TORBRAM ROAD, CITY of BRAMPTON**

P.N.: 22.3135.00	Date: November 10, 2022
Scale: N.T.S	Revised:
Drawn By: D.S.	File No.: PN 3135 Concept Plan



Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2022-0372

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Sradhananda Mishra
Address 7 Grenville Street, Suite 6205, Toronto, Ontario, M4Y 0E9

Phone # 416-554-8384 **Fax #** _____
Email dan@4thwaves.com

2. **Name of Agent** Gagnon Walker Domes Ltd. (Andrew Walker / Anthony Sirianni)
Address 7685 Hurontario Street, Suite 501, Brampton, Ontario, L6W 0B4

Phone # 905-796-5790 **Fax #** _____
Email awalker@gwdplanners.com

3. **Nature and extent of relief applied for (variances requested):**
1) To permit a Minimum Lot Area of 1,500 square metres
2) To permit a Minimum Landscaped Open Space Strip of 1.50 metres along the site limits except at the location of the driveways

4. **Why is it not possible to comply with the provisions of the by-law?**
1) Zoning By-Law requires a Minimum Lot Area of 6,500 square metres
2) Zoning By-Law requires a Minimum Landscaped Open Space Strip of 3.0 metres along site limits except at the location of a driveway

5. **Legal Description of the subject land:**
Lot Number Part of Lots 9 and 10, Conc. 6, E.H.S., Reg'd Plan 43M-1571, Part of Blocks 393 and 397, Reg'd Plan 43R-19972,
Plan Number/Concession Number Parts 1, 2 and 4, and 43R-30902, Parts 1 and 2
Municipal Address 9893 Torbram Road

6. **Dimension of subject land (in metric units)**
Frontage 49.45 metres
Depth 44.40 metres
Area 0.15 hectares (0.37 acres) (1,519 metres)

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

One (1) existing Place of Worship Building (170 square metres) heritage resource

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No Changes proposed

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 0.00 metres

Rear yard setback 9.49 metres

Side yard setback 18.92 metres

Side yard setback 18.96 metres

PROPOSED

Front yard setback 0.00 metres

Rear yard setback 9.49 metres

Side yard setback 18.92 metres

Side yard setback 18.96 metres

10. Date of Acquisition of subject land: February 2018

11. Existing uses of subject property: Institutional - Place of Worship

12. Proposed uses of subject property: No Change

13. Existing uses of abutting properties: Commercial (south), Residential (North, East and West)

14. Date of construction of all buildings & structures on subject land: 1876

15. Length of time the existing uses of the subject property have been continued: Continuous

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details:

File # B-2022-0025

Status Under Review

18. Has a pre-consultation application been filed?

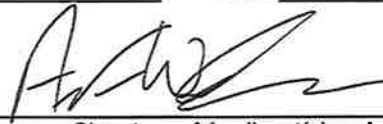
Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief



Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 15th DAY OF November, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Andrew Walker, OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON
IN THE REGION OF
PEEL THIS 15th DAY OF
November, 2022.



Signature of Applicant or Authorized Agent

ANDREW WALKER

Priya Kaushal | Notary Public
193 Main Street North, Suite 100
Brampton, Ontario CANADA L6X 1N2
Tel: (905) 452-7734 Fax: (905) 453-3560
LSO # P16387 No Legal Advice Given

Submit by Email

A Commissioner etc.


FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

11-676

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.



Zoning Officer

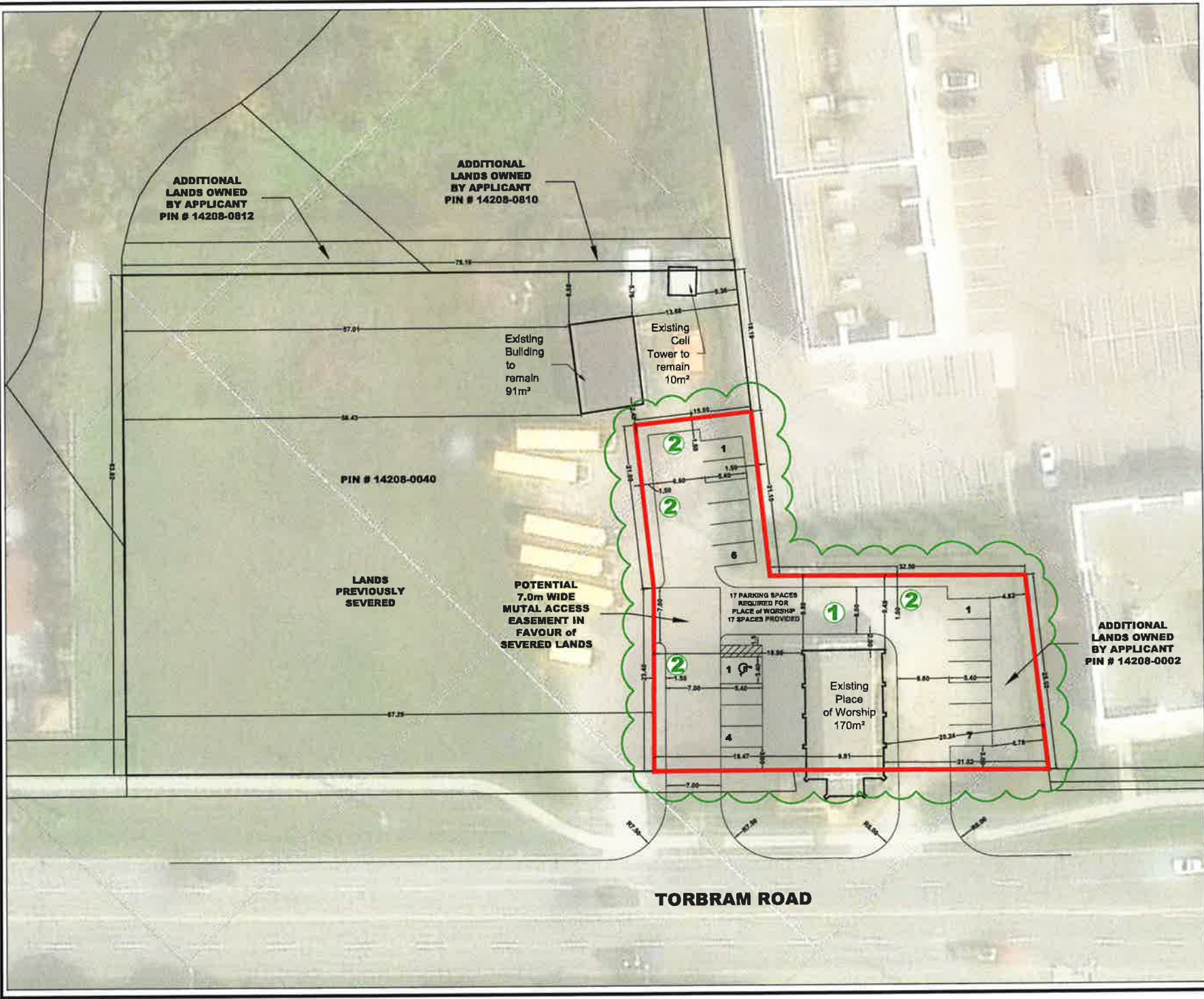
Nov 17, 2022

Date

DATE RECEIVED November 17, 2022

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17



ZONING BY-LAW MATRIX - INSTITUTIONAL ONE ZONE - (I1) and SPECIAL SECTION 676 (I1-676)		
Description	Required	Provided
Minimum Lot Area	0.65 ha (1.60ac)	0.15 ha (0.37 ac)
Lot Area	6,500m²	1,519m²
Minimum Lot Width	n/a	49.45m
Minimum Front Yard Depth	7.5m	0.0m - existing
Minimum Interior Side Yard Width	7.5m or half the height of the building, whichever is greater	18.92m - east 18.96m - west
Minimum Rear Yard Depth	7.5m or half the height of the building, whichever is greater	9.49m
Maximum Building Height	3 storeys	1 storey (± 8.0m)
Maximum Lot Coverage	none	10%
Minimum Landscaped Open Space	a minimum landscaped open space strip of 3m in width shall be provided along the site limits except at the location of the driveway	0.0m - existing, 1.40m
Parking Required Place of Worship	17 spaces required (1 parking space for every 4 seats or for each 2 metres of bench space in the place of worship – main worship area, or 1 parking space for each 5 square metres of place of worship – net worship area when there is open floor seating.)	17 spaces (based on 83,61m² (900ft²) of open floor seating)

MINOR VARIANCES

- To permit a Minimum Lot Area of 1,500m² whereas the Zoning By-law requires a Minimum Lot Area of 6,500m²; and
- To permit a Minimum Landscaped Open Space strip of 1.50 metres along the site limits except at the location of the driveways; whereas the Zoning By-law requires a Minimum Landscaped Open Space strip of 3.0 metres to be provided along the site limits except at the location of driveway.

LEGEND



MINOR VARIANCES

MINOR VARIANCE PLAN
RETAINED LANDS - LOT ADDITION to
EXISTING PLACE of WORSHIP
9893 TORBRAM ROAD, CITY of BRAMPTON

P.N.: 22.3135.00

Date: November 10, 2022

Scale: N.T.S

Revised:

Drawn By: D.S.

File No.: PN 3135 Concept Plan



a

b

c

d

e

B-2022-0025
A-2022-0372
A-2022-0373



FINAL REPORT:

Scoped Heritage Impact Assessment
9893 Torbram Road
Brampton, ON



**LHC Heritage
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13 March 2023

Project # LHC0355

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RIGHT OF USE

The information, recommendations and opinions expressed in this report are for the sole benefit of the Owner of the Property (the 'Owner') and the City of Brampton. Any other use of this report by others without permission is prohibited and is without responsibility to LHC. The report, all plans, data, drawings and other documents as well as all electronic media prepared by LHC are considered its professional work product and shall remain the copyright property of LHC, who authorizes only the Owner and approved users (including municipal review and approval bodies as well as any appeal bodies) to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of the Owner and approved users.

REPORT LIMITATIONS

The qualifications of the heritage consultants who authored this report are provided in Appendix A. All comments regarding the condition of the Property are based on a superficial visual inspection and are not a structural engineering assessment unless directly quoted from an engineering report. The findings of this report do not address any structural or physical condition related issues associated with the Property or the condition of any heritage attributes.

Concerning historical research, the purpose of this report is to assess potential impacts of the proposed site alteration on the cultural heritage value or interest and heritage attributes of the Property. The authors are fully aware that there may be additional historical information that has not been included. Nevertheless, the information collected, reviewed, and analyzed is sufficient to conduct this assessment. This report reflects the professional opinion of the authors and the requirements of their membership in various professional and licensing bodies.

The review of policy and legislation was limited to that information directly related to cultural heritage management and is not a comprehensive planning review. Additionally, soundscapes, cultural identity, and sense of place analyses were not integrated into this report.

EXECUTIVE SUMMARY

The Executive Summary only provides key points from the report. The reader should examine the complete report including background, results as well as limitations.

LHC Heritage Planning and Archaeology Inc. (LHC) was retained on 22 December 2022 by Sradhananda Mishra (the “Owner”) to undertake a Scoped Heritage Impact Assessment (HIA) for the property located at 9893 Torbram Road (the “Property”) in the City of Brampton (the “City”), Ontario. The Property is designated under Section 29 Part IV of the *Ontario Heritage Act* (OHA) through By-law 180-84. The designation by-law for the Property includes a brief description of the Property and its cultural heritage value or interest; however, it does not include a list of heritage attributes.

This HIA is being prepared as part of the Consent to Sever and Minor Variance application for 9893 Torbram Road. The owner is proposing to sever 0.09 hectares (ha) of land from the vacant parcel and add it to the temple parcel to provide additional parking. No alterations are proposed for the temple building. The purpose of this HIA is to describe the heritage attributes of the Property; review the proposed alterations; identify adverse impacts on those heritage attributes; and, identify alternatives and mitigation measures to lessen or avoid identified impacts. This HIA was undertaken in accordance with the recommended methodology outlined within the *Ontario Heritage Toolkit* and the *Scoped Heritage Impact Assessment Terms of Reference* for the project, provided by City of Brampton heritage staff.

Based on the preceding review of the designation by-law, the Property’s history and morphology, and the 27 January 2023 site visit, draft heritage attributes were prepared by LHC.

In our Professional Opinion this scoped HIA finds that the proposed severance and addition of parking will not result in any adverse impacts on the cultural heritage value and heritage attributes of the Property. As a result, alternatives and mitigation measures were not explored.

It is recommended that the owner provide a legal survey to City of Brampton heritage staff to allow staff the opportunity to update the temple’s designation by-law with the new legal description. It is also recommended that the designation by-law be updated to remove reference to interior features.

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1.0 INTRODUCTION

LHC Heritage Planning & Archaeology Inc. (LHC) was retained on 22 December 2022 by Sradhananda Mishra (**the “Owner”**) to undertake a Scoped Heritage Impact Assessment (**HIA**) for the property located at 9893 Torbram Road (**the “Property”**) – consisting of two parcels: a vacant parcel and the temple parcel - in the City of Brampton (**the “City”**), Ontario.

The building on this Property was constructed as a Methodist Church in the late nineteenth century. In 1983, it was purchased by the Har Tikvah congregation and converted to a synagogue. In 2018, it became a Hindu Temple.

This HIA is being prepared as part of the Consent to Sever and Minor Variance application for 9893 Torbram Road. The owner is proposing to sever 0.09 hectares (ha) of land from the vacant parcel and add it to the temple parcel to provide additional parking. This HIA was undertaken in accordance with the recommended methodology outlined within the *Ontario Heritage Toolkit* and the *Scoped Heritage Impact Assessment Terms of Reference* for the project, provided by City of Brampton heritage staff for the project.

1.1 Property Owner

The Property is owned by Sradhananda Mishra of 7 Grenville Street, Suite 6205, Toronto, Ontario.

1.2 Property Location

The Property is located on the north side of Torbram Road between North Park Drive and Blue Diamond Drive in the City of Brampton, Ontario (Figure 1).

1.3 Property Description

The Property consists of two parcels: a vacant parcel and the temple parcel. Both parcels are associated with the same municipal address. The vacant parcel is differentiated on the proposal maps as “additional lands owned by the applicant with PIN 14208-0002.” The Property is an irregularly-shaped lot with a total area of 0.07 ha (Figure 2). There is one building associated with the additional lands owned by the applicant (the temple parcel): a one-storey Hindu temple, Jagannath Mandir. A driveway extends from the road past the southeastern corner of the building. A parking area is located from the driveway on the east side of the building to the area behind the building to the north.

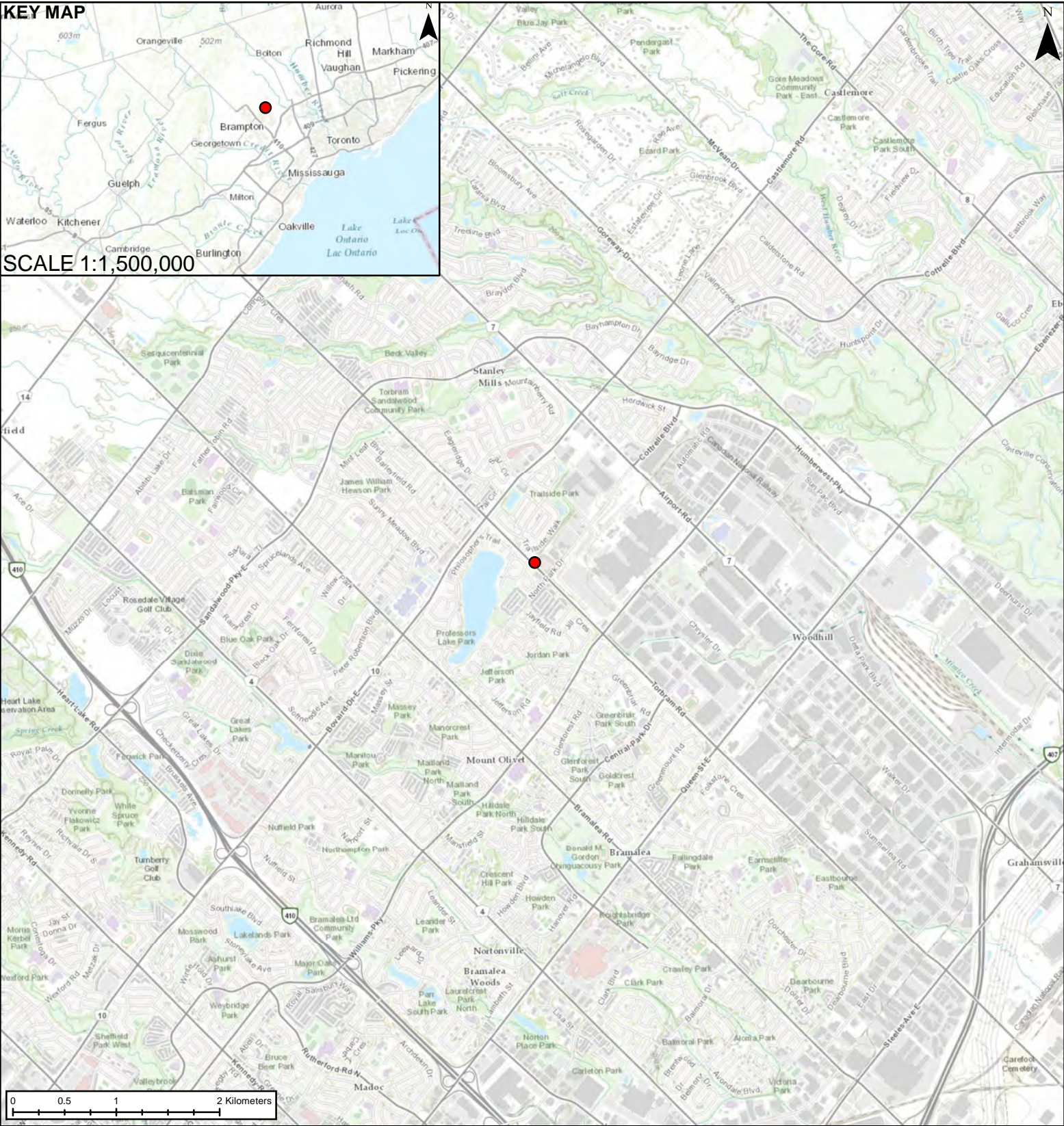
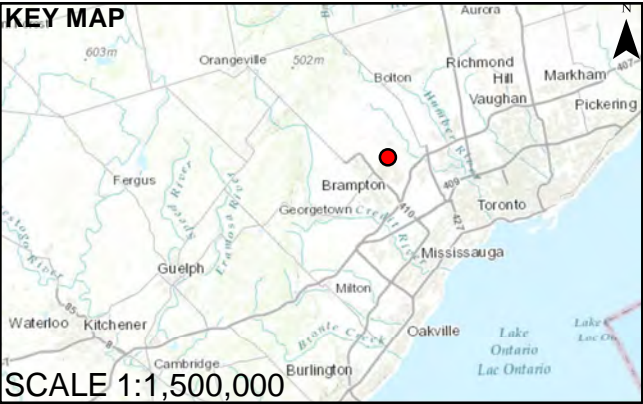
1.4 Property Heritage Status

The Property is designated under *Section 29 Part IV* of the *Ontario Heritage Act (OHA)* through By-Law 180-84. The designation by-law for the Property does not include a list of heritage attributes (see Appendix C).

1.5 Adjacent Properties

The *Provincial Policy Statement (PPS)* defines adjacency for cultural heritage resources as “those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan.”¹ The City of Brampton *Official Plan* does not define adjacent. No protected heritage properties are adjacent to the subject Property. However, Harrison United Church Cemetery, located across the street from the Property, is currently being evaluated for designation under Section 29, Part IV of the *Ontario Heritage Act*.

¹ Province of Ontario, “Provincial Policy Statement,” last modified 1 May 2020, accessed 6 February 2023, <https://files.ontario.ca/mmah-provincial-policy-statement-2020-accessible-final-en-2020-02-14.pdf>, 39.



Legend ● Property	TITLE Location of Property	
	CLIENT Gagnon Walker Domes	
	PROJECT Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON	
	CONSULTANT	PROJECT NO. LHC0355
NOTE(S) 1. All locations are approximate. REFERENCE(S) 1. Service Layer Credits: Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.	LHC	
	YYYY-MM-DD	
	PREPARED	
	DESIGNED	
	FIGURE #	
	2023-03-02	
	LHC	
	JG	
	1	



<div>Legend</div> <div><div></div>Property</div> <div><div></div>Temple Parcel, PIN#14208-0002</div> <div><div></div>Vacant Parcel</div> <div>NOTE(S) 1. All locations are approximate.</div> <div>REFERENCE(S) 1. Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.</div>	TITLE Current Conditions	
	CLIENT Gagnon Walker Domes	
	PROJECT Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON	
	PROJECT NO. LHC0355	
	CONSULTANT	YYYY-MM-DD 2023-03-03
<div>LHC</div>	PREPARED	LHC
	DESIGNED	JG
	FIGURE #	2

2.0 STUDY APPROACH

LHC follows a three-step approach to understanding and planning for cultural heritage resources based on the understanding, planning and intervening guidance from the Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* and the *Ontario Heritage Tool Kit*.² Understanding the cultural heritage resource involves:

- Understanding the significance of the cultural heritage resource (known and potential) through research, consultation and evaluation—when necessary.
- Understanding the setting, context and condition of the cultural heritage resource through research, site visit and analysis.
- Understanding the heritage planning regulatory framework around the cultural heritage resource.

The impact assessment is guided by the *Ontario Heritage Tool Kit, Heritage Resources in the Land Use Planning Process, Information Sheet #5, Heritage Impact Assessments and Conservation Plans* and the *Scoped Heritage Impact Assessment Terms of Reference* for this project, provided by the City of Brampton. A description of the proposed development or site alteration, measurement of development or site impact and consideration of alternatives, mitigation and conservation methods are included as part of planning for the cultural heritage resource. The HIA includes recommendations for design and heritage conservation to guide interventions to the Property.

2.1 City of Brampton Heritage Impact Assessment Terms of Reference

The City has developed guidelines for HIAs produced for properties within the City. The HIA Guidelines require an HIA for a development or redevelopment of a property proposed:

- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is subject to land use planning applications;
- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is facing possible demolition; or
- Any property that is subject to land use planning applications and is adjacent to a property designated in the municipal heritage register, pursuant to Section 27 (1.1) of the *Ontario Heritage Act*.³

The Property meets this criterion as a property designated under Section 29 Part IV of the *OHA*.

² Parks Canada, "Standards and Guidelines for the Conservation of Historic Places in Canada," *Canada's Historic Places*, last modified 2010, accessed 6 February 2023, 3.; Ministry of Citizenship and Multiculturalism, "Heritage Property Evaluation," in the *Ontario Heritage Toolkit* (Toronto: Queen's Printer for Ontario, 2006), 18.

³ City of Brampton, "Heritage Impact Assessment Terms of Reference," 2.

2.1.1 Scoped Heritage Impact Assessment Requirements

According to Section 2.3 of the Heritage Impact Assessment Terms of Reference:

Heritage Impact Assessments may be ‘scoped’ based on the specific circumstances and characteristics that apply to a heritage resource. Further consultation with heritage staff will be required to determine when a scoped HIA may be required, as well as requirements for the content.⁴

In consultation with heritage staff at the City of Brampton, this HIA has been scoped to the following:

Table 1: City of Brampton’s Scoped Heritage Impact Assessment Requirements

Requirement	Location
Background Provide a background on the purpose of the HIA by outlining why it was undertaken, by whom, and the date(s) the evaluation took place.	Section 1.0
Background Briefly outline the methodology used to prepare the assessment.	Section 2.0
Introduction to the Subject Property Provide a location plan specifying the subject property, including a site map and aerial photograph at an appropriate scale that indicates the context in which the property and heritage resource is situated.	Figure 1 and Figure 2
Introduction to the Subject Property Briefly document and describe the subject property, identifying all significant features, buildings, landscape, and vistas.	Section 6.0
Introduction to the Subject Property Indicate whether the property is part of any heritage register (e.g. Municipal Register of Cultural Heritage Resources Designated under the Ontario Heritage Act, or Municipal Register of Cultural Heritage Resources).	Section 1.4
Introduction to the Subject Property Document and describe the context including adjacent properties, land uses, etc.	Section 6.0

⁴ City of Brampton, “Heritage Impact Assessment Terms of Reference,” 2.

Requirement	Location
Evaluation of Cultural Heritage Value or Interest Thoroughly document and describe all heritage resources within the subject property, including cultural heritage landscapes, structures, buildings, building elements, building materials, architectural features, interior finishes, natural elements, vistas, landscaping and potential archaeological resources	Section 7.0
Description and Examination of Proposed Development / Site Alterations Provide a description of the proposed development or site alteration in relation to the heritage resource	Section 8.0
Description of Examination of Proposed Development / Site Alterations Indicate how the proposed development or site alteration will impact the heritage resource(s) and neighbouring properties. These may include: <ul style="list-style-type: none"> • Destruction of any, or part of any, significant heritage attributes or features; • Alteration to the historic fabric and appearance; • Shadow impacts on the appearance of a heritage attribute or an associated natural feature or plantings, such as a garden; • Isolation of a heritage attribute from its surrounding environment, context or a significant relationship; • Impact on significant views or vistas within, from, or of built and natural features; • A change in land use where the change in use may impact the property's cultural heritage value or interest; • Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource. 	Section 9.0

Requirement	Location
Mitigation Options, Conservation Methods, and Proposed Alternatives Provide mitigation measures, conservation methods, and / or alternative development options that avoid or limit the direct and indirect impacts to the heritage resource	N/A
Mitigation Options, Conservation Methods, and Proposed Alternatives Evaluate the advantages and disadvantages (pros and cons) of each proposed mitigation measure / option. The mitigation options may include, but are not limited to: <ul style="list-style-type: none"> • Alternative development approaches; • Appropriate setbacks between the proposed development and the heritage resources; • Design guidelines that harmonize mass, setback, setting, and materials; • Limiting height and density; • Compatible infill and additions; • Refer to Appendix 2 for additional mitigation strategies. 	N/A
Mitigation Options, Conservation Methods, and Proposed Alternatives Identify any site planning and landscaping measures that may ensure significant heritage resources are protected and / or enhanced by the development or redevelopment.	N/A
Recommendations Provide clear recommendations for the most appropriate course of action for the subject property and any heritage resources within it.	Section 10.0
Recommendations Failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.	Recommendations provided in Section 10.0

Requirement	Location
Executive Summary Provide an executive summary of the assessment findings at the beginning of the report	Page IV
Executive Summary Outline and summarize all recommendations including mitigation strategies, need for the preparation of follow-up plans such as conservation and adaptive reuse plans and other requirements as warranted. Please rank mitigation options from most preferred to least.	Page IV

The HIA must be prepared by qualified heritage professionals qualifications provided in Appendix A) and the final HIA will be submitted in hard copy (5 copies) and in digital copy (PDF or Word).

2.2 Understanding and Describing Cultural Heritage Value or Interest

A Statement of Cultural Heritage Value or Interest has been prepared for the Property; however, the statement – which comprises page 2 of By-Law 180-84 – predates the 2005 amendments to the *OHA* which require a list of heritage attributes be included in the Statement of Cultural Heritage Value or Interest. Based on the existing by-law, augmented by the research and analysis presented in Sections 5.0 and 6.0, a list of heritage attributes for the Property was prepared by LHC and is provided in Section 7.0 of this HIA.

2.3 Legislation and Policy Review

The HIA includes a review of provincial legislation, plans and cultural heritage guidance, and relevant municipal policy and plans. This review outlines the cultural heritage legislative and policy framework that applies to the Property. The impact assessment considers the proposed project against this framework.

2.4 Historical Research

Historical research was undertaken to outline the history and development of the Property and its broader community context. Primary historic material, including air photos and mapping, were obtained from:

- The Ontario Council of University Libraries, Historical Topographic Map Digitization Project;
- The Canadian County Atlas Digital Project;
- University of Toronto;
- National Air Photo Library; and,

- The Region of Peel Archives.

Secondary research was compiled from sources such as: historical atlases, local histories, architectural reference texts, available online sources, and previous assessments. All sources and persons contacted in the preparation of this report are listed as footnotes and in the report's reference list.

2.5 Site Visit

A site visit was undertaken by Cultural Heritage Specialist Colin Yu on 27 January 2023. The primary objective of the site visit was to document and gain an understanding of the Property and its surrounding context. The site visit included documentation of the surrounding area, exterior, and interior views of the structure. Access to the interior was granted by the Property owner.

2.6 Impact Assessment

*Information Sheet #5: Heritage Impact Assessments and Conservation Plans*⁵ and the City's HIA guidelines outline seven potential negative impacts to be considered with any proposed development or property alteration. The impacts include, but are not limited to:

- 1) **Destruction** of any part of any significant heritage attribute or features;
- 2) **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
- 3) **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
- 4) **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
- 5) **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
- 6) **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- 7) **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.

The HIA includes a consideration of direct and indirect adverse impacts on adjacent properties with known or potential cultural heritage value or interest. No adjacent heritage properties have been identified.

⁵ "Info Sheet #5: Heritage Impact Assessments and Conservation Plans," in *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement*, prepared by the Ministry of Culture (Toronto: Queen's Printer for Ontario, 2006), 1-4.

3.0 POLICY AND LEGISLATION CONTEXT

3.1 Provincial Context

In Ontario, cultural heritage is established as a matter of provincial interest directly through the provisions of the *Planning Act*, the Provincial Policy Statement (*PPS*) and the *Ontario Heritage Act* (*OHA*). Cultural heritage resources are managed under Provincial legislation, policy, regulations, and guidelines. Other provincial legislation deals with cultural heritage indirectly or in specific cases. These various acts and the policies under these acts indicate broad support for the protection of cultural heritage by the Province. They also provide a legal framework through which minimum standards for heritage evaluation are established. What follows is an analysis of the applicable legislation and policy regarding the identification and evaluation of cultural heritage.

3.1.1 *Planning Act*, R.S.O. 1990

The *Planning Act* is the primary document for municipal and provincial land use planning in Ontario and was consolidated on 1 January 2023. This Act sets the context for provincial interest in heritage. It states under Part I (2, d):

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as...the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.⁶

Under Section 1 of *The Planning Act*:

A decision of the council of a municipality, a local board, a planning board, a minister of the Crown and a ministry, board, commission or agency of the government, including the Tribunal, in respect of the exercise of any authority that affects a planning matter...shall be consistent with [the *PPS*].⁷

Details about provincial interest as it relates to land use planning and development in the province are outlined in the *PPS* which makes the consideration of cultural heritage equal to all other considerations concerning planning and development within the province.

3.1.2 Provincial Policy Statement (2020)

The *PPS* provides further direction for municipalities regarding provincial requirements and sets the policy foundation for regulating the development and use of land in Ontario. Land use planning decisions made by municipalities, planning boards, the Province, or a commission or agency of the government must be consistent with the *PPS*. The Province deems cultural

⁶ Province of Ontario, "Planning Act, R.S.O. 1990, c. P.13," last modified 1 January 2023, accessed 7 February 2023, <https://www.ontario.ca/laws/statute/90p13>, Part I (2, d).

⁷ Province of Ontario, "Planning Act," Part I S.5.

heritage and archaeological resources to provide important environmental, economic, and social benefits, and *PPS* directly addresses cultural heritage in Section 1.7.1e and Section 2.6.

Section 1.7 of the *PPS* regards long-term economic prosperity and promotes cultural heritage as a tool for economic prosperity. The relevant subsection states that long-term economic prosperity should be supported by:

1.7.1e encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.

Section 2.6 of the *PPS* articulates provincial policy regarding cultural heritage and archaeology. The subsections state:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.⁸

The *PPS* makes the consideration of cultural heritage equal to all other considerations and recognizes that there are complex interrelationships among environmental, economic and social factors in land use planning. It is intended to be read in its entirety and relevant policies applied in each situation.

A HIA may be required by a municipality in response to Section 2.6.1 and 2.6.3 to conserve built heritage resources, cultural heritage landscapes, and the heritage attributes of a protected heritage property.

⁸ Province of Ontario, "Provincial Policy Statement," 29.

3.1.3 Ontario Heritage Act, R.S.O. 1990, c. O.18

The *Ontario Heritage Act, R.S.O. 1990, c. O.18* (**Ontario Heritage Act** or **OHA**) enables the provincial government and municipalities powers to conserve, protect, and preserve the heritage of Ontario. The *Act* is administered by a member of the Executive Council (provincial government cabinet) assigned to it by the Lieutenant Governor in Council. At the time of writing, the *Ontario Heritage Act* is administered by the MCM.⁹ The *OHA* (consolidated on 1 January 2023) and associated regulations set minimum standards for the evaluation of heritage resources in the province and give municipalities power to identify and conserve individual properties, districts, or landscapes of cultural heritage value or interest.¹⁰

Part I (2) of the *OHA* enables the Minister to determine policies, priorities, and programs for the conservation, protection, and preservation of the heritage of Ontario. Individual heritage properties are designated by municipalities under Section 29, Part IV of the *OHA*. An *OHA* designation applies to real property rather than individual structures.

As amended by Regulation 385/21, Section 30.1 of the *OHA* permits municipalities to amend designating by-laws. Formal amendment by-laws are not required in the following cases:

1. Clarify or correct the statement explaining the property's cultural heritage value or interest or the description of the property's heritage attributes.
2. Correct the legal description of the property.
3. Otherwise revise the by-law to make it consistent with the requirements of this Act or the regulations, including revisions that would make a by-law passed before subsection 7 (6) of Schedule 11 to the More Homes, More Choice Act, 2019 comes into force satisfy the requirements prescribed for the purposes of paragraph 2 of subsection 29 (8), if any.¹¹

⁹ Since 1975 the Ontario ministry responsible for culture and heritage has included several different portfolios and had several different names and may be referred to by any of these names or acronyms based on them:

- Ministry of Culture and Recreation (1975-1982),
- Ministry of Citizenship and Culture (1982-1987),
- Ministry of Culture and Communications (1987-1993),
- Ministry of Culture, Tourism and Recreation (1993-1995),
- Ministry of Citizenship, Culture and Recreation (1995-2001),
- Ministry of Tourism, Culture and Recreation (2001-2002),
- Ministry of Culture (2002-2010),
- Ministry of Tourism, Culture and Sport (2011-2019),
- Ministry of Heritage, Sport, Tourism, and Culture Industries (2019-2022),
- Ministry of Tourism, Culture and Sport (2022),
- Ministry of Citizenship and Multiculturalism (2022-present).

¹⁰ Province of Ontario, "Ontario Heritage Act, R.S.O. 1990, c. O.18," last modified 1 January 2023, accessed 7 February 2023, <https://www.ontario.ca/laws/statute/90o18>.

¹¹ Province of Ontario, "Ontario Heritage Act," Section 30.1 (2).

Updating the heritage attributes in this Property's heritage designation by-law would not require a formal amending by-law.

3.1.4 Places to Grow Act, 2005 S.O. 2005

The *Places to Grow Act* guides growth in the province and enables the *Growth Plan* (described below). It was consolidated 1 June 2021 and is intended:

- a) to enable decisions about growth to be made in ways that sustain a robust economy, build strong communities and promote a healthy environment and a culture of conservation;
- b) to promote a rational and balanced approach to decisions about growth that builds on community priorities, strengths and opportunities and makes efficient use of infrastructure;
- c) to enable planning for growth in a manner that reflects a broad geographical perspective and is integrated across natural and municipal boundaries;
- d) to ensure that a long-term vision and long-term goals guide decision-making about growth and provide for the co-ordination of growth policies among all levels of government. A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020).

The Property is located within the area regulated by *A Place to Grow: Growth Plan for the Greater Golden Horseshoe (the Growth Plan)*, which came into effect on 16 May 2019 and was consolidated on 28 August 2020.

In Section 1.2.1, the *Growth Plan* states that its policies are based on key principles, which includes:

Conserve and promote cultural heritage resources to support the social, economic, and cultural well-being of all communities, including First Nations and Métis communities.¹²

Section 4.1 Context, in the *Growth Plan* describes the area it covers as containing:

...a broad array of important hydrologic and natural heritage features and areas, a vibrant and diverse agricultural land base, irreplaceable cultural heritage resources, and valuable renewable and non-renewable resources.¹³

It describes cultural heritage resources as:

The *Growth Plan* also contains important cultural heritage resources that contribute to a sense of identity, support a vibrant tourism industry, and attract

¹² Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," last modified 28 August 2020, accessed 7 February 2023, <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>, 6.

¹³ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 39.

investment based on cultural amenities. Accommodating growth can put pressure on these resources through development and site alteration. It is necessary to plan in a way that protects and maximizes the benefits of these resources that make our communities unique and attractive places to live.¹⁴

Policies specific to cultural heritage resources are outlined in Section 4.2.7, as follows:

- i. Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas;
- ii. Municipalities will work with stakeholders, as well as First Nations and Métis communities, in developing and implementing official plan policies and strategies for the identification, wise use and management of cultural heritage resources; and,
- iii. Municipalities are encouraged to prepare archaeological management plans and municipal cultural plans and consider them in their decision-making.¹⁵

Amendment 1 to *A Place to Grow* aligns the definitions of *A Place to Grow* with the PPS 2020.

3.1.5 Provincial Planning Context Summary

In summary, cultural heritage resources are considered an essential part of the land use planning process with their own unique considerations. As the province, these policies and guidelines must be considered by the local planning context. In general, the province requires significant cultural heritage resources to be conserved.

Multiple layers of municipal legislation enable a municipality to require a HIA for alterations, demolition or removal of a building or structure from a listed or designated heritage property. These requirements support the conservation of cultural heritage resources in Ontario following provincial policy direction. The application of these policies to this specific project are discussed in Section 9.0 of this report.

3.2 Local Framework

3.2.1 Region of Peel Official Plan (2022)

The *Region of Peel Official Plan (ROP)* was adopted by Regional Council on 28 April 2022 - through By-law 20-2022 - and was approved with modifications by the Ministry of Municipal Affairs and Housing on 4 November 2022.

The *ROP*'s purpose is to guide land use planning policies and "provide a holistic approach to planning through an overarching sustainable development framework that integrates

¹⁴ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 39.

¹⁵ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 47.

environmental, social, economic and cultural imperatives.”¹⁶ The *ROP* recognizes the importance of cultural heritage for the region to develop healthy and sustainable communities.

Section 3.6 of the *ROP* outlines cultural heritage policies and states that:

The Region encourages and supports conservation of the cultural heritage resources of all peoples whose stories inform the history of Peel. The Region recognizes the significant role of heritage in establishing a shared sense of place, contributing to environmental sustainability and developing the overall quality of life for residents and visitors to Peel. The Region supports the identification, conservation and interpretation of cultural heritage resources, including but not limited to the built heritage resources, structures, archaeological resources, and cultural heritage landscapes (including properties owned by the Region or properties identified in Regional infrastructure projects), according to the criteria and guidelines established by the Province.¹⁷

The objectives of the Region’s cultural heritage policies are as follows:

3.6.1 To identify, conserve and promote Peel’s non-renewable cultural heritage resources, including but not limited to built heritage resources, cultural heritage landscapes and archaeological resources for the well-being of present and future generations.

3.6.4 To support the heritage policies and programs of the local municipalities.

The policies established to attain these goals, and those that pertain to the Property are as follows:

3.6.7 In cooperation with the local municipalities, ensure the adequate assessment, preservation or mitigation, where necessary or appropriate, of archaeological resources, as prescribed by the Ministry of Heritage, Sport, Tourism and Culture Industries’ archaeological assessment standards and guidelines.

3.6.10 Require local municipal official plans to include policies where the proponents of development proposals affecting cultural heritage resources provide sufficient documentation to meet provincial requirements and address the Region’s objectives with respect to cultural heritage resources.

Region of Peel policies and objectives outline their commitment to the conservation of cultural heritage resources and their encouragement and support of municipal policies to further this

¹⁶ Region of Peel, “Region of Peel Official Plan,” last modified 4 November 2022, accessed 7 February 2023, https://www.peelregion.ca/officialplan/download/_media/region-of-peel-official-plan-approved-final.pdf.

¹⁷ Region of Peel, “Region of Peel Official Plan,” 110.

goal. The Region requires that municipalities implement policies requiring heritage impact assessments for development proposals that impact cultural heritage resources. This HIA meets the requirements set out by the Region for conservation and sufficient documentation.

3.2.2 City of Brampton Official Plan (2006, consolidated 2020)

The *City of Brampton Official Plan (OP)* was adopted on 11 October 2006, partially approved by the Region of Peel on 24 January 2008 and partially approved by the Ontario Municipal Board on 7 October 2008. The City has been developing a new *OP* since 2019 which will plan for 2040. The most recent consolidation dates to September 2020.

The *OP*'s purpose is to guide land use planning decisions until 2031 with clear guidelines for how land use should be directed, and which ensures that "cultural heritage will be preserved and forms part of the functional components of the daily life".¹⁸ Regarding cultural heritage the *OP* notes that:

Brampton's rich cultural heritage also provides a foundation for planning the future of the City as our heritage resources and assets contribute to the identity, character, vitality, economic prosperity, quality of life and sustainability of the community as a whole. Cultural heritage is more than just buildings and monuments, and includes a diversity of tangible and intangible resources, including structures, sites, natural environments, artifacts and traditions that have historical, architectural, archaeological, cultural and contextual values, significance or interest.¹⁹

Section 4.10 (Cultural Heritage) of the *OP* identifies the conservation of heritage resources as providing a "vital link with the past and a foundation for planning the future..." and highlights the importance of cultural heritage landscapes, intangible heritage, and maintaining of context.²⁰

Section 4.10 states the objectives of its cultural heritage policies are to:

- a) Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations; and,
- b) Preserve, restore and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and preserve cultural heritage landscapes, including significant public views.

¹⁸ City of Brampton, "Official Plan," last modified September 2020, accessed 7 February 2023, https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf, 1.

¹⁹ City of Brampton, "Official Plan," 2-4.

²⁰ City of Brampton, "Official Plan," 4.9 -1.

Cultural heritage policies relevant to the Property include the following:

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

The *OP* includes cultural heritage policies related to the preparation of an HIA. These include the following:

4.10.1.10 A Heritage Impact Assessment, prepared by qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes. Due consideration will be given to the following factors in reviewing such applications:

- (i) The cultural heritage values of the property and the specific heritage attributes that contribute to this value as described in the register;
- (ii) The current condition and use of the building or structure and its potential for future adaptive re-use; and,
- (vi) Planning and other land use considerations.

4.10.1.11 A Heritage Impact Assessment may also be required for any proposed alteration work or development activities involving or adjacent to heritage resources to ensure that there will be no adverse impacts caused to the resources and their heritage attributes. Mitigation measures shall be imposed as a condition of approval of such applications.

The City of Brampton's policies require the conservation of cultural heritage resources and the submission of a heritage impact assessment to assess potential impacts and determine mitigation measures. This HIA meets these requirements.

3.2.3 Local Planning Context Summary

The Region of Peel and the City of Brampton consider cultural heritage resources to be of value to the community and values them in the land use planning process. Through their *OP* policies, the Region and the City have committed to identifying and conserving cultural heritage resources.

4.0 RESEARCH AND ANALYSIS

The following section provides an overview of supplemental historical context that has been reviewed in addition to the history of the Property presented on page two of the designation by-law, in order to articulate the Property's heritage attributes.

4.1 Early Indigenous History

4.1.1 Paleo Period (9500 – 8000 BCE)

The cultural history of southern Ontario began around 11,000 years ago following the retreat of the Wisconsin glacier.²¹ During this archaeological period, known as the Paleo period (9500-8000 BCE), the climate was similar to the present-day sub-arctic and vegetation was largely spruce and pine forests.²² The initial occupants of the province had distinctive stone tools. They were nomadic big-game hunters (i.e., caribou, mastodon, and mammoth) who lived in small groups and travelled over vast areas, possibly migrating hundreds of kilometres in a single year.²³

4.1.2 Archaic Period (8000 – 1000 BCE)

During the Archaic archaeological period (8000-1000 BCE) the occupants of southern Ontario continued their migratory lifestyles, although living in larger groups and transitioning towards a preference for smaller territories of land – possibly remaining within specific watersheds. People refined their stone tools during this period and developed polished or ground stone tool technologies. Evidence of long-distance trade has been found on archaeological sites from the Middle and Later Archaic times; including items such as copper from Lake Superior, and marine shells from the Gulf of Mexico.²⁴

4.1.3 Woodland Period (1000 BCE – CE 1650)

The Woodland archaeological period in southern Ontario (1000 BCE – CE 1650) represents a marked change in subsistence patterns, burial customs, and tool technologies, as well as the introduction of pottery making. The Woodland period is sub-divided into the Early Woodland (1000–400 BCE), Middle Woodland (400 BCE – CE 500) and Late Woodland (CE 500 - 1650).²⁵ The Early Woodland is defined by the introduction of clay pots which allowed for preservation and easier cooking.²⁶ During the Early and Middle Woodland, communities grew and were

²¹ Christopher Ellis and D. Brian Deller, "Paleo-Indians," in *The Archaeology of Southern Ontario to A.D. 1650*, ed. Christopher Ellis and Neal Ferris (London, ON: Ontario Archaeological Society, London Chapter, 1990), 37.

²² Toronto Region Conservation Authority, "Chapter 3: First Nations," in *Greening Our Watersheds: Revitalization Strategies for Etobicoke and Mimico Creeks*, prepared by the Toronto Region Conservation Authority (Toronto, ON, 2001).

²³ Toronto Region Conservation Authority, "Chapter 3: First Nations."

²⁴ Toronto Region Conservation Authority, "Chapter 3: First Nations."

²⁵ Toronto Region Conservation Authority, "Chapter 3: First Nations."

²⁶ Toronto Region Conservation Authority, "Chapter 3: First Nations."

organized at a band level. Peoples continued to follow subsistence patterns focused on foraging and hunting.

Woodland populations transitioned from a foraging subsistence strategy towards a preference for agricultural village-based communities around during the Late Woodland. During this period people began cultivating maize in southern Ontario. The Late Woodland period is divided into three distinct stages: Early Iroquoian (CE 1000–1300); Middle Iroquoian (CE 1300–1400); and Late Iroquoian (CE 1400–1650).²⁷ The Late Woodland is generally characterised by an increased reliance on cultivation of domesticated crop plants, such as corn, squash, and beans, and a development of palisaded village sites which included more and larger longhouses. By the 1500s, Iroquoian communities in southern Ontario – and more widely across northeastern North America – organized themselves politically into tribal confederacies. South of Lake Ontario, the Haudenosaunee Confederacy comprised the Mohawks, Oneidas, Onondagas, Cayugas, and Senecas, while Iroquoian communities in southern Ontario included the Petun, Huron, and Neutral Confederacies.²⁸

4.2 Seventeenth- and Eighteenth-Century Historic Context

French explorers and missionaries began arriving in southern Ontario during the first half of the 17th century, bringing with them diseases for which the Indigenous peoples had no immunity, contributing to the collapse of the three southern Ontario Iroquoian confederacies. Also contributing to the collapse and eventual dispersal of the Huron, Petun, and Attiwandaron, was the movement of the Haudenosaunee Confederacy from south of Lake Ontario. Between 1649 and 1655, the Haudenosaunee Confederacy waged war on the Huron, Petun, and Attiwandaron, pushing them out of their villages and the general area.²⁹

As the Haudenosaunee Confederacy moved across a large hunting territory in southern Ontario, they began to threaten communities further from Lake Ontario, specifically the Ojibway (Anishinaabe). The Anishinaabe had occasionally engaged in conflict with the Haudenosaunee Confederacy over territories rich in resources and furs, as well as access to fur trade routes; but in the early 1690s, the Ojibway, Odawa and Patawatomi, allied as the Three Fires, initiated a series of offensive attacks on the Haudenosaunee Confederacy, eventually forcing them back to the south of Lake Ontario.³⁰ Oral tradition indicates that the Mississauga played an important role in the Anishinaabe attacks against the Haudenosaunee.³¹ A large group of Mississauga established themselves in the area between present-day Toronto and Lake Erie around 1695, the descendants of whom are the Mississaugas of the Credit.³² Artifacts from all major

²⁷ Toronto Region Conservation Authority, “Chapter 3: First Nations.”

²⁸ Toronto Region Conservation Authority, “Chapter 3: First Nations.”; Haudenosaunee Confederacy, “Who Are We,” accessed 9 February 2023, <https://www.haudenosauneeconfederacy.com/who-we-are/>.

²⁹ Mississaugas of the Credit First Nation, “Community Profile,” accessed 9 February 2023, <https://mncfn.ca/about-mncfn/community-profile/>.

³⁰ Mississaugas of the Credit First Nation, “Community Profile.”

³¹ Mississaugas of the Credit First Nation, “Community Profile.”

³² Mississaugas of the Credit First Nation, “Community Profile.”

Indigenous communities have been discovered in the Greater Toronto Area at over 300 archaeological sites.³³

4.3 Survey and Early Euro-Canadian Settlement

The Seven Years War (1756-1763) between Great Britain and France and the American Revolution (1775-1783) lead to a push by the British Crown for greater British settlement in Canada leading to treaties.³⁴ The Property is located within the Treaty Lands and Territory of the Mississaugas of the Credit First Nation and the Ajetance, Treaty No. 19 (1818) which expanded on the Head of the Lake, Treaty No. 14 (1806) along Lake Ontario (Figure 3).³⁵

As the Mississaugas of the Credit First Nation write:

In addition to their three small reserves located on the Lake Ontario shoreline, the Mississaugas of the Credit held 648,000 acres of land north of the Head of the Lake Purchase lands and extending to the unceded territory of the Chippewa of Lakes Huron and Simcoe. In mid-October 1818, the Chippewa ceded their land to the Crown in the Lake Simcoe-Nottawasaga Treaty and, by the end of October, the Crown sought to purchase the adjacent lands of the Mississaugas of the Credit.

The Deputy Superintendent of the Indian Department, William Claus, met with the Mississaugas from October 27-29, 1818, and proposed that the Mississaugas sell their 648,000 acres of land in exchange for an annual amount of goods. The continuous inflow of settlers into their lands and fisheries had weakened the Mississaugas' traditional economy and had left them in a state of impoverishment and a rapidly declining population. In their enfeebled state, Chief Ajetance, on behalf of the assembled people, readily agreed to the sale of their lands for £522.10 of goods paid annually.³⁶

The Property is also within the traditional territory of the Haudenosaunee and Huron Wendat.

³³ Toronto Region Conservation Authority, "Archaeology Opens a Window on the History of Indigenous Peoples in the GTA," last modified 21 June 2018, accessed 9 February 2023, <https://trca.ca/news/archaeology-indigenous-peoples-gta/>.

³⁴ Peel Art Gallery, Museum, and Archives, "About Peel," *Peeling the Past*, accessed 9 February 2023, <https://peelarchivesblog.com/about-peel/>.

³⁵ Donna Duric, "Ajetance Treaty, No. 19 (1818)," *Mississaugas of the Credit First Nations*, last modified 4 November 2020, accessed 9 February 2023, <https://mncfn.ca/ajetance-treaty-no-19-1818/>; Peel Art Gallery, Museum, and Archives, "About Peel."

³⁶ Duric, "Ajetance Treaty, No. 19 (1818)."

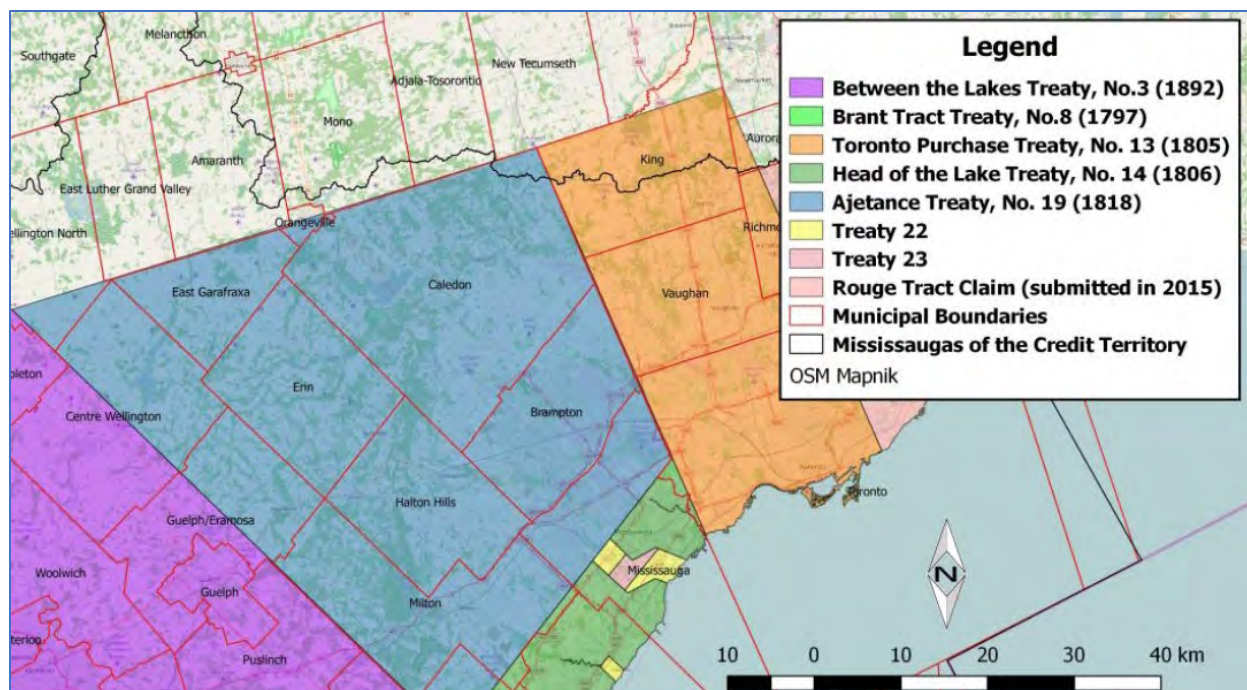


Figure 3: Ajetance Treaty, No. 19 Map³⁷

4.4 Chinguacousy Township and Peel County

In 1788, the Province of Quebec's government created districts and counties to serve as administrative bodies from the local level.³⁸ The first Districts were Hesse, Nassau, Mecklenburg, and Lunenburg. These four Districts would be renamed Western, Home, Midland, and Eastern, respectively, in 1792.³⁹ The Property is located in the former Nassau or Home district.

Until the signing of the Ajetance Treaty, the land that would become Chinguacousy Township and Peel County was owned and occupied by Indigenous groups. The Ajetance Treaty was signed in 1818. In 1819, the Townships of Albion, Caledon, and Chinguacousy were surveyed by Richard Bristol and Timothy Street on the newly acquired Ajetance Treaty lands.⁴⁰ They described the land as "low, swampy and covered with dense hardwood".⁴¹ Chinguacousy Township was named by Lieutenant Governor Sir Peregrine Maitland for the Mississauga

³⁷ Mississaugas of the Credit First Nation, "Community Profile."

³⁸ Archives of Ontario, "The Changing Shape of Ontario: Early Districts and Counties 1788-1899," *Government of Ontario*, accessed 9 February 2023, <http://www.archives.gov.on.ca/en/maps/ontario-districts.aspx>.

³⁹ Archives of Ontario, "The Changing Shape of Ontario."

⁴⁰ Town of Caledon, "Arts, Culture, and Heritage," accessed 9 February 2023, <https://www.caledon.ca/en/living-here/arts-culture-and-heritage.aspx#:~:text=Originally%20surveyed%20in%201818%20and,rivers%20and%20at%20various%20crossroads>.

⁴¹ Tourism Brampton, "Brampton History," *City of Brampton*, accessed 9 February 2023, <https://www.brampton.ca/en/Arts-Culture-Tourism/Tourism-Brampton/Visitors/Pages/BramptonHistory.aspx>.

designation for the Credit River which means “young pine”. The name also resembles the name of Ottawa chief Shingacouse, but this is believed to be a coincidence.⁴²

A “New Survey” method was used in the creation of smaller Townships within the County of Peel. Traditionally, 200 acre lots were the preferred method of surveying a town. However, these townships granted 100-acre square lots in order to provide everyone with access to a transportation route and ease of farming.⁴³ They also used the ‘double-front’ system and established concession numbers running east (E.H.S) and west (W.H.S) from a baseline laid through the centre of the township (today Hurontario Street/Main Street). Lot numbers were assigned running south to north. The first township in Peel was Toronto Township.⁴⁴ The name Peel was given in honour of Sir Robert Peel, who held many senior British government posts.⁴⁵

Many early settlers to Chinguacousy Township came from New Brunswick, parts of Upper Canada including the Niagara region, and the United States, as descendants of United Empire Loyalists.⁴⁶ Chinguacousy and Toronto Gore Township operated together until the latter separated in 1831.⁴⁷ Chinguacousy Township would reach a population peak of 7,469 inhabitants, a figure that was not reached by other townships until the 1870s.⁴⁸

The Townships were initially run by the elected Home District Council for York County which was dissolved in 1850 in favour of smaller counties.⁴⁹ The authority of self-governance before the dissolution of the Home District Council was minor.⁵⁰ The County of Peel was established in 1851 as a subsection of the United Counties of York, Ontario, and Peel, and included Toronto, Toronto Gore, Chinguacousy, Caledon, and Albion Townships.⁵¹ In 1854, Ontario County separated from the United Counties and in 1866, Peel became an independent county, with the village of Brampton chosen as the County seat in 1867.⁵² Peel quickly grew and by the late 19th century a shift from small self-sustaining family farms to larger business/export-oriented farms contributed to its growth. By 1873, the construction of the Toronto Grey & Bruce, Hamilton &

⁴² Alan Rayburn, *Place Names of Ontario* (Toronto, ON: University of Toronto Press, 1997), <https://archive.org/details/placenamesofonta0000rayb>, 68.

⁴³ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867,” last modified 25 April 2017, accessed 9 February 2023, <https://peelarchivesblog.com/2017/04/25/the-creation-of-the-county-of-peel-1851-1867/>.

⁴⁴ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867.”

⁴⁵ Alan Rayburn, *Place Names of Ontario*, 266.

⁴⁶ J.H. Pope, *Illustrated Historical Atlas of the County of Peel* (Toronto, ON: Walker and Miles, 1877), 64.

⁴⁷ Corporation of the County of Peel, *A History of Peel County to Mark its Centenary* (Peel, ON: Charters Publishing Company, 1967).

⁴⁸ Corporation of the County of Peel, *A History of Peel County to Mark its Centenary*, 249.

⁴⁹ Peel Art Gallery, Museum, and Archives, “About Peel.”

⁵⁰ Peel Art Gallery, Museum, and Archives, “About Peel.”

⁵¹ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867.”

⁵² Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953* (Toronto, ON: Charters Publishing Company Limited, 1953), <https://archive.org/details/brampton-centennial-souvenir/page/n15/mode/2up>, 29.

Northwestern, and Credit Valley rails throughout Peel County allowed the county to prosper and local products were shipped to other parts of Ontario.⁵³

Growth following World War II led to the creation of the Regional Municipality of Peel in 1974.⁵⁴ Caledon, Brampton, and Mississauga became the three lower tier municipalities and Peel Region became the Upper Tier. Responsibility of the Upper Tier was for many over arching services, such as: public health, utility services, and policing.⁵⁵ Lower Tier municipalities were responsible for local matters and included: property assessment, tax collection, public transit, and libraries. In 1974, Peel Region had a total population of 334,750⁵⁶ and by 2021, it had a total population of 1,451,022.⁵⁷

4.5 City of Brampton

Between 1827 and 1832, the only building in the area was a small tavern at Salisbury, on Concession 1, Lot 8, E.H.S. Martin Salisbury operated a tavern and inn which contained most of the business in the area. The 1827 assessment roll indicates Salisbury only had one horse and one cow but assessed him as having £211.⁵⁸ Soon after, William Buffy constructed a tavern at the Four Corners (now the intersection of Main Street and Queen Street). John Scott, a magistrate, built a small store, a potashery, a distillery, and a mill.⁵⁹ By 1834, the first lots in the settlement were surveyed out by John Elliott, who also gave the settlement the name of Brampton, in homage to his hometown of Brampton, Cumberland, England. He and another settler named William Lawson were staunch members of the Primitive Methodist movement and they established a strong Methodist presence in the area.⁶⁰ According to the 1837 *Toronto and Home District Directory*, there were 18 inhabitants.⁶¹

The village began to grow from the intersection of Hurontario and Queen Streets, on a floodplain of the Etobicoke Creek. By 1846, the village had two stores, a tavern, tannery, cabinetmaker, two blacksmiths and two tailors and the population had reached 150 people. In 1853, Brampton was officially incorporated as a village with a population of over 500 inhabitants. Several churches were built, along with a grammar school, distilleries, several

⁵³ Town of Caledon, "Arts, Culture and Heritage."

⁵⁴ Peel Art Gallery, Museum, and Archives, "About Peel."

⁵⁵ Peel Art Gallery, Museum, and Archives, "About Peel."

⁵⁶ Peel Art Gallery, Museum, and Archives, "About Peel."

⁵⁷ Statistics Canada, "Census Profile, 2021 Census of Population, Profile Table," accessed 9 February 2023, <https://www12.statcan.gc.ca/census-recensement/2021/dp-pd/prof/details/page.cfm?Lang=E&SearchText=Peel&DGUIDlist=2021A00033521&GENDERlist=1,2,3&STATISTIClist=1&HEADERlist=0>.

⁵⁸ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 13.

⁵⁹ Brampton Historical Society, "A Tavern in the Town," *Buffy's Corner* 3, No. 1 (2001): 6, accessed 9 February 2023, <http://nebula.wsimg.com/ab724bf29292825400659426003351b8?AccessKeyId=B6A04BC97236A848A092&disposition=0&alloworigin=1>.

⁶⁰ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 13.

⁶¹ George Walton, *The City of Toronto and the Home District Commercial Directory and Register with Almanack and Calendar for 1837* (Toronto: T. Dalton & W.J. Coates, 1837).

stores and John Haggert's agricultural implements factory. The local economy was growing, and the village supported the surrounding farms and rural hamlets in the township.⁶²

The village of Brampton was chosen as the County seat in 1867 as the government buildings were built at a cost of \$40,000.⁶³ In 1873, Brampton was incorporated as a town with John Haggert elected as the first mayor. By 1877, there were 2,551 inhabitants and the town had two bank branches, two telegraph offices, five hotels, a curling and skating rink, several mills, and carriage factories.⁶⁴

A new industry was emerging in Brampton by the mid-Victorian era. In 1863, Edward Dale and his young family arrived in Brampton from England, where Edward had struggled through hard economic times as a market gardener.⁶⁵ Within a few short years, Brampton became known as the "Flowertown of Canada" and soon Dale's Nursery was Brampton's largest employer. By the turn of the century, hundreds of acres of land were filled with greenhouses growing prize orchids, hybrid roses and many other quality flowers. Most of these flowers were grown for export around the world.⁶⁶

The twentieth century brought new industries to the town, mostly along the railway line, including the Williams Shoe factory, the Copeland-Chatterson Loose-Leaf Binder company and the Hewetson Shoe factory. Major banks established branches on the Four Corners.⁶⁷ In 1907, American industrialist Andrew Carnegie's Andrew Carnegie Foundation donated \$12,500 to construct a library in Brampton⁶⁸ and the population reached 4,000 people by 1910.⁶⁹ Brampton's citizens endured two world wars and the Great Depression during the first half of the twentieth century. These major world events took their toll on the local economy. Some factories closed and the flower industry began a slow but steady decline.

The City slowly transformed after the Second World War. In the late 1940s and 1950s, the automobile began to change the landscape, as did rapid urban growth in Toronto as new subdivisions began to develop. In 1959, Bramalea was created and touted as "Canada's first satellite city". Bramalea was a planned community built to accommodate 50,000 people by integrating houses, shopping centres, parks, commercial business and industry.⁷⁰

⁶² Tourism Brampton, "Brampton History."

⁶³ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*.

⁶⁴ Pope, *The Illustrated Atlas of the County of Peel, Ont.*, 87-88.

⁶⁵ Thomas H.B. Symons, "Brampton's Dale Estate," *Ontario Heritage Trust*, accessed 9 February 2023, <https://www.heritagetrust.on.ca/en/pages/programs/education-and-outreach/presentations/bramptons-dale-estate>.

⁶⁶ Tourism Brampton, "Brampton History."

⁶⁷ Tourism Brampton, "Brampton History."

⁶⁸ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 57.

⁶⁹ Tourism Brampton, "Brampton History."

⁷⁰ Nick Moreau, "Brampton," *The Canadian Encyclopedia*, last modified 28 November 2022, accessed 9 February 2023, <https://www.thecanadianencyclopedia.ca/en/article/brampton>.

The Province of Ontario began reviewing various municipalities in the mid-1960s. Peel County was facing increasing growth and urbanization. The abilities of its ten municipal governments varied greatly. By combining them into three municipalities, each could better react to and plan for the complex needs of residents at a regional level. In 1974, the provincial government created Caledon, Mississauga, and Brampton. The City of Brampton was created from the combination of the Town of Brampton, Toronto Gore Township, the southern half of Chinguacousy Township, and a portion of the Town of Mississauga.⁷¹ Brampton is now Canada's ninth-largest municipality with a population of 656,480 according to the 2021 Census.⁷²

4.6 Property History

In the early 1800s, Methodist ministers travelled from community to community in a pre-determined circuit to preach to their congregations. Similarly, Methodist congregations did not initially have a church where they worshiped. Instead, they worshipped in a public building or a local community member's house until a church could be constructed. Emmanuel Harrison's log house served as the original meeting house for the Methodist congregation in the area from 1821 until the 1840s when the first church was constructed.⁷³

On 2 May 1840, Emmanuel Harrison Senior granted one acre of land to the Trustees of the Wesleyan Methodist Church for the establishment of a cemetery and the construction of a church. The first church was a wood frame construction with a roughcast exterior measuring approximately forty by sixty feet. It was located in the centre of the cemetery and was used by the congregation until the second church was constructed (Figure 5). After the congregation moved to the second church, the original church was used for social events like concerts and tea meetings until it was torn down in 1880. The cemetery remained.⁷⁴ It is still extant and located across the street from the Property.

On 13 November 1875, John Stubbings granted the Property to the Trustees of the church for the construction of a new church (Figure 5). A large portion of the building fund for the new church was comprised of legacies left by Emmanuel Harrison Sr. and George Elliott. The Building Committee was comprised of Trustees Fennel Winters, William Elliott, and Thomas Holtby with James Voakes as Contractor and William McCulla as mason. Trustee John Stubbings and his wife - who lived adjacent to the cemetery - offered accommodations and meals to the Building Committee for the duration of construction. Compensation was only expected for meals. The church officially opened in February of 1876.⁷⁵

The Ladies Aid, later known as the Harrison United Church Women, was established on 2 November 1911. Their first resolution was to establish the practice that the women of the

⁷¹ Moreau, "Brampton."

⁷² Moreau, "Brampton."

⁷³ Barbara Stanley, *Harrison United Church Centennial Jubilee 1876-1976* (Bramalea, ON: Harrison United Church Women, 1976), Region of Peel Archives Collection, 2-3.

⁷⁴ Stanley, *Harrison United Church*, 3.

⁷⁵ Stanley, *Harrison United Church*, 4.

congregation clean the church and the men of the congregation facilitate repairs to the building. This resolution was initially intended for a specific instance, but it became the general practice of the congregation. In 1925, the Methodist, Congregational Union, and much of the Presbyterian Churches amalgamated forming the United Church of Canada. At this time, Harrison Methodist Church changed its name to Harrison United Church.⁷⁶

The rose window was part of the original construction. The vestibule initially had a flat roof with “a steeple-shaped tower on each front corner (Photo 1).”⁷⁷ The interior originally contained a balcony over the south end of the building and a two-storey section on the north end. The upper part of the east end balcony was used by the choir while the lower section was used by the Sunday School. In 1947, the congregation undertook renovations of the church. The basement, several windows, and new lighting were added. With the Sunday School occupying the new basement, the lower level of the north end balcony was removed. Additionally, the window on the north elevation was covered leaving only the arch. In 1959, the balcony at the south end of the interior was remodeled as a raised platform. In 1968, Grant Elliott gifted an acre of adjacent land to the church for future expansion (Figure 6 and Figure 7). It is unclear when the vestibule was given its current roof (Photo 2). However, the drawing on the front cover of the church history compiled by the United Church Women suggests that it was in place by the book’s date of publication.⁷⁸

In 1983, the Har Tikvah Congregation of Brampton purchased the building and converted it into a synagogue. New stained glass windows were installed on the east elevation and an ark was constructed to house the Torahs. In 1998, additional land was purchased to the north of the building to accommodate growth. A year later, portables were added to the site to accommodate the Hebrew School.⁷⁹ In 2018, Jagannath Mandir of Toronto purchased the Property and converted it into a temple.⁸⁰

⁷⁶ Stanley, *Harrison United Church*, 4-6.; United Church of Canada, “History of the United Church of Canada,” accessed 13 February 2023, <https://united-church.ca/community-and-faith/welcome-united-church-canada/history-united-church-canada#:~:text=The%20history%20of%20the%20United,Canada%20entered%20into%20a%20union.>

⁷⁷ Stanley, *Harrison United Church*, 4.

⁷⁸ Stanley, *Harrison United Church*, 4-8.

⁷⁹ Waymarking.com, “Har Tikvah Reform Synagogue – Brampton, Ontario, Canada,” last modified 3 January 2010, accessed 9 March 2023,

https://www.waymarking.com/waymarks/wm80HM_Har_Tikvah_Reform_Synagogue_Brampton_Ontario_Canada

⁸⁰ Jagannath Temple Toronto, “History of Jagannath Temple, Toronto,” accessed 9 March 2023, <https://jagannathmandir.com/history.>



Photo 1: Harrison Wesleyan Methodist Church, date unknown⁸¹



Photo 2: Harrison United Church, date unknown⁸²

⁸¹ Brampton East Women's Institute, "Tweedsmuir History," digital copy provided by the Region of Peel Archives.

⁸² Brampton East Women's Institute, "Tweedsmuir History."



Photo 3: Harrison United Church, July 1978⁸³




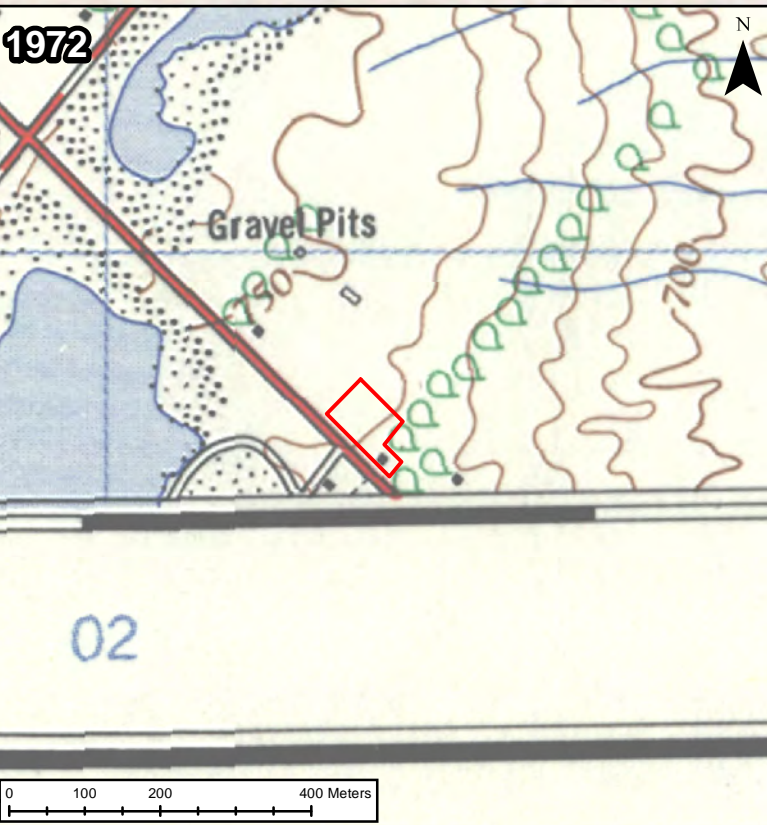
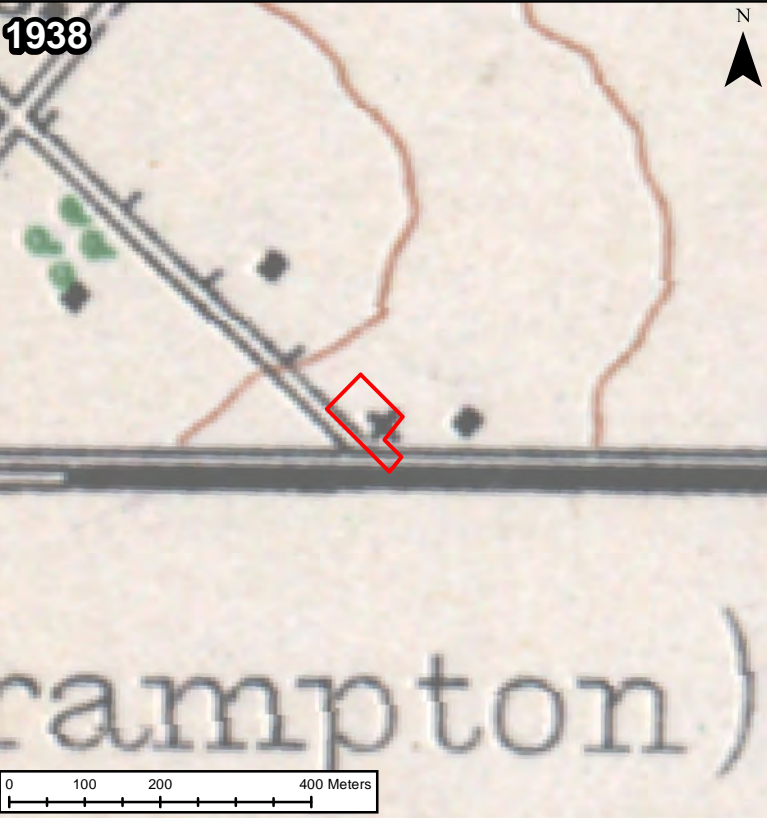
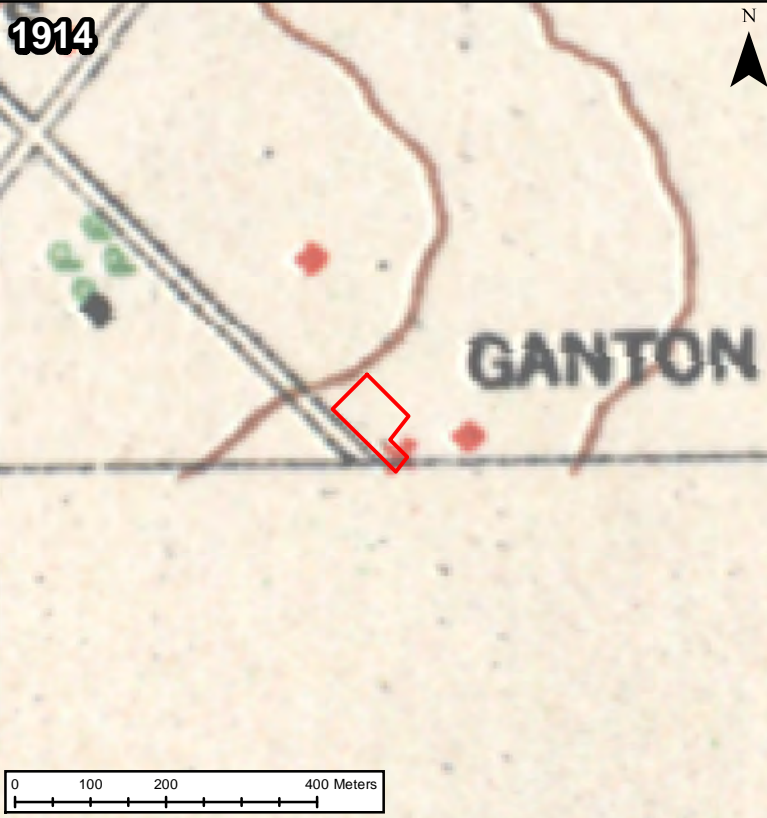
Photo 4: Har Tikvah Synagogue, Date Unknown⁸⁴

⁸³ Image provided by the Region of Peel Archives

⁸⁴ Waymarking.com, "Har Tikvah Reform Synagogue."




Legend <div style="border: 2px solid red; width: 50px; height: 20px; display: inline-block; margin-right: 5px;"></div> Property		
TITLE 1819, 1859, and 1877 historic maps showing the Property		
CLIENT Gagnon Walker Domes		
PROJECT Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON		PROJECT NO. LHC0355
NOTE(S) 1. All locations are approximate. REFERENCE(S) 1. Bristol, R., "A-30 Map of the Northern Part of the Township of Toronto", scale unknown, n.p.: The Crown, 1819. 2. Geo. R. Tremaine, "Tremaine's Map of the County of Peel, Canada West.", (https://maps.library.utoronto.ca/hgis/countymaps/peel/Peel2.jpg ; accessed March 3, 2023), digitized map, scale 1:39,600, Toronto, C.W.: G.R. & G.M. Tremaine, 1859. 3. J.H. Pope, Esq., "Southern Part of Chinguacousy", In: J.H. Pope, Esq., "Illustrated Historical Atlas of the County of Peel Ont.", (https://digital.library.mcgill.ca/countyatlas/searchmapframes.php ; accessed March 3, 2023), digitized map, scale unknown, Toronto: Walker & Miles, 1877. Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.		
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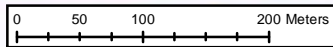
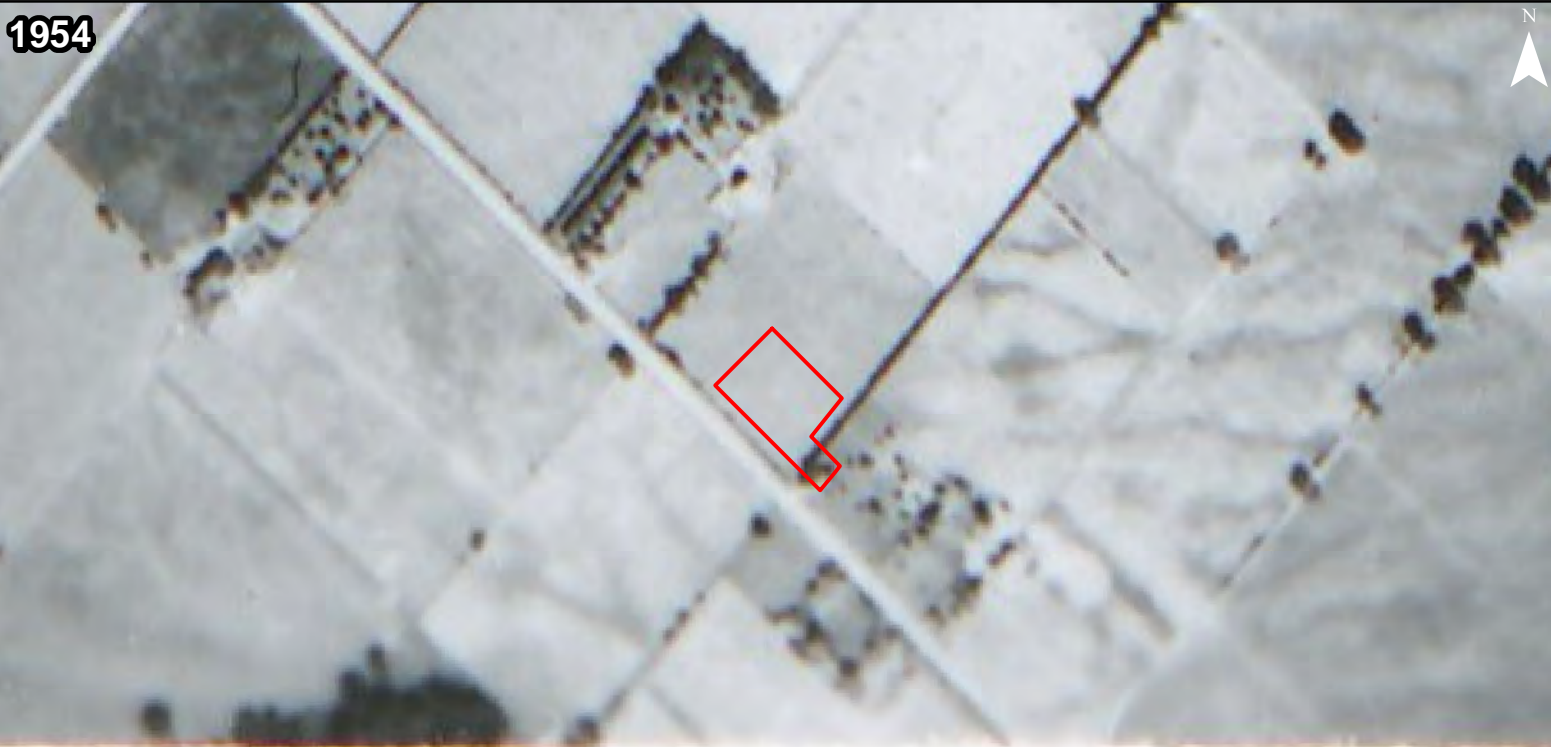


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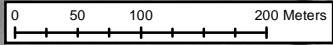
REFERENCE(S)
1. Department of Militia and Defence, "Topographic Map, Ontario, Bolton Sheet", (http://geo1.scholarsportal.info/#r/details/_uri@=564032357&_add:true: accessed March 3, 2023), digitized map, sheet 30 M/13, scale 1:63,360, Ottawa: Department of Militia and Defence, 1914.
2. Department of National Defence, "Topographic Map, Ontario, Bolton Sheet", (http://geo1.scholarsportal.info/#r/details/_uri@=564032357&_add:true: accessed March 3, 2023), digitized map, sheet 30 M/13, scale 1:63,360, Ottawa: Department of National Defence, 1938.
3. Army Survey Establishment, R.C.E., "Wildfield, Ontario", (http://geo2.scholarsportal.info/#r/details/_uri@=847590539&_add:true: accessed March 3, 2023), digitized map, sheet 30 M/13b, edition 1, scale 1:25,000, Ottawa: Army Survey Establishment, R.C.E., 1963.
4. Department of Energy, Mines and Resources, "Wildfield, Ontario", (http://geo2.scholarsportal.info/#r/details/_uri@=847590539&_add:true: accessed March 3, 2023), digitized map, sheet 30 M/13b, edition 2, scale 1:25,000, Ottawa: Department of Energy, Mines and Resources, 1972.
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TITLE 1914, 1938, 1963, and 1972 topographic maps showing the Property	
CLIENT Gagnon Walker Domes	
PROJECT Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON	PROJECT NO. LHC0355
NOTE(S) 1. All locations are approximate.	
CONSULTANT 	YYYY-MM-DD 2023-03-03
	PREPARED LHC
	DESIGNED JG
	FIGURE # 6

1954



1969



Legend

 Property

NOTE(S) 1. All locations are approximate.

REFERENCE(S)

1. University of Toronto, "1954 Air Photos of Southern Ontario", (<https://mdl.library.utoronto.ca/collections/air-photos/1954-air-photos-southern-ontario/index>: accessed March 3, 2023), 1954.
2. National Air Photo Library, "A19506-037", (<https://madgic.trentu.ca/airphoto/>: accessed March 3, 2023), scanned and georeferenced by the Maps, Data and Government Information Centre at Trent University, roll A19506 line 26W photo 37, scale 1:30,000, 1969.
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TITLE
1954 and 1969 Aerial Images showing the Property

CLIENT
Gagnon Walker Domes

PROJECT
Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON

PROJECT NO. LHC0355

CONSULTANT
YYYY-MM-DD 2023-03-03

 PREPARED LHC

DESIGNED JG

FIGURE # 7

4.7 Places of Worship, History

4.7.1 Ontario Methodist Church History

The Methodist faith began in the mid-1700s by a group of students at Oxford University under John Wesley's leadership. It started as a "method of ordering their lives so that they might encompass both scholarship and good work" and grew into a formal sect of the Christian faith.⁸⁵ The first houses of worship were called preaching halls with all official events (Holy Communion, marriage, baptism, and priest ordainment) requiring the aid of the Church of England. By 1791, the Methodist Church was autonomous and able to ordain its own priests as well as conduct its own affairs.⁸⁶

Methodism was brought to Canada in the late 1770s when second generation Palatine German refugees arrived in New York. Of this group, Loyalists Paul and Barbara Heck moved to Quebec in 1778 then to Augusta Township, Ontario in 1784. Barbara - alongside Philip Embury - established the first Methodist class in North America in New York and brought her faith with her to Ontario. The Methodist class that Barbara Heck helped establish influenced the disbanded 2nd Battalion, King's Royal Regiment of New York, who settled around the Bay of Quinte and constructed one of the first meeting houses in Ontario in 1791.⁸⁷

Initially, the faith was built around a circuit system by which a preacher would travel to set gathering places according to a set schedule and preach to his congregation. Locations for services were generally settler's homes or barns until an area became densely populated enough to warrant the construction of a meeting house. Due to the size and the demands of each circuit, this usually meant that congregations would only attend church once every two weeks. However, as the needs of larger congregations grew, they would be assigned a preacher of their own resulting in weekly services.⁸⁸

4.7.2 Har Tikvah Synagogue

The Har Tikvah congregation of Brampton was founded in 1979 to serve the Jewish community of North Peel and Halton Region. This was a Reform Jewish congregation with a popular Hebrew School. The congregation is a registered charitable organization and is the only synagogue in Brampton. In 2018, the congregation moved to Bovaird Drive.⁸⁹

4.7.3 Jagannath Mandir

Jagannath Mandir of Toronto was established in 2008 and is the first and only Puri Style Temple in Canada. The four deities that reside at the temple were "procured from odisa during July

⁸⁵ Marion MacRae and Andrew Adamson, *Hallowed Walls: Church Architecture of Upper Canada* (Toronto: Clarke, Irwin & Company Limited, 1975), 29.

⁸⁶ MacRae and Adamson, *Hallowed Walls*, 29.

⁸⁷ MacRae and Adamson, *Hallowed Walls*, 29.

⁸⁸ MacRae and Adamson, *Hallowed Walls*, 29-30.; Stanley, *Harrison United Church*, 4-8.

⁸⁹ Waymarking.com, "Har Tikvah Reform Synagogue."; Charitable Impact, "Har Tikvah Congregation of Brampton," accessed 9 March 2023, <https://my.charitableimpact.com/charities/har-tikvah-congregation-of-brampton>.

2008 by GTA odia community.”⁹⁰ They initially rented a space in the Bharat Sevashram Sangha temple. A large donation was granted to Jagannath Mandir from Canadian philanthropist Sradananda (Dan) Mishra allowing the temple to purchase a space of their own. Since its move to its current location, the temple has been able to expand its services and staff to better serve its community.⁹¹

4.8 Places of Worship, Architecture

4.8.1 Methodist Church Architecture

Initially, methodism viewed buildings as tools for preaching and mission with some preference for specific shapes such as John Wesley’s interest in octagonal buildings. Functionality and simple proportions were the main aspects of design resulting in vernacular architectural designs based on early Christian churches and meeting houses. Although this remained a key aspect of methodist meeting houses and churches, there was a growing interest in classical architectural details, especially in urban areas.⁹²

By the mid-nineteenth century, the appropriate style for Methodist churches became a key issue within the faith. Several papers were written on the subject with Reverend Frederick Jobson’s being the most influential. As a trained architect, Reverend Jobson argued for a balance between beauty and perfection in design without unnecessary adornment. The Gothic architectural style was his style of choice. His papers were adopted by the Methodist Conference and the Gothic style gained prominence, especially in Wesleyan Methodism.⁹³

Between the late 1800s and the 1950s, the Methodist denomination experienced substantial growth. In response to this growth, the Methodist Episcopal Board of Church Extension published the *Catalogue of Architectural Plans for Churches and Parsonages*. It was first published in 1870 and contained plans created by architect Benjamin D. Price. The plans ranged in cost, size, and ornamentation with options for wood, brick, or stone construction and advertisements for suppliers of materials and equipment such as bells, stained glass, and stoves.⁹⁴

The basis church design contained in the catalogue was a simple rectangular plan, wood frame building with a medium pitch gable roof, a projecting and gabled vestibule on the façade, a rose window above the projecting vestibule, and options for plain or gothic windows (Figure 4). The

⁹⁰ Jagannath Temple Toronto, “History of Jagannath Temple, Toronto.”

⁹¹ Jagannath Temple Toronto, “History of Jagannath Temple, Toronto.”

⁹² Ian Serjeant, “Historic Methodist Architecture and its Protection,” accessed 2 March 2023, <https://www.buildingconservation.com/articles/methodistarch/methodistarch.htm>; George Dolbey, *The Architectural Expression of Methodism: The First Hundred Years* (London, England: Epworth Press, 1964): 16-21, accessed 3 March 2023, <https://archive.org/details/architecturalex0000dolb/page/16/mode/2up>.

⁹³ Serjeant, “Historic Methodist Architecture and its Protection.”; Dolbey, *The Architectural Expression of Methodism: The First Hundred Years*, 120-122.

⁹⁴ United Methodist Communications, “Methodist History: Church Plans Catalog,” last modified 24 January 2018, accessed 2 March 2023, <https://www.umc.org/en/content/methodist-history-church-plans-catalog>.

proceeding plans in the catalogue build on this design by adding towers, basements, classrooms, and ornamentation. In general, the key features contained in these designs include:

- Simple proportions;
- Plain decoration;
- Rectangular Plan;
- Orientation to the street;
- One-storey;
- Gabled roof;
- Lancet windows;
- Rose window;
- Main entrance(s) on the façade;
- Vestibule (projecting or integrated); and,
- Central pulpit.

Materials and ornamentation vary by design and congregation preference. Many of the more complex designs have an L-shaped plan appearance and projecting wings.⁹⁵

⁹⁵ A.J. Kynett, *Catalogue of Architectural Plans for Churches and Parsonages* (Philadelphia: Board of Church Extension, 1889): 8-50, accessed 2 March 2023, <https://archives.gcah.org/handle/10516/10008>.; Dolbey, *The Architectural Expression of Methodism: The First Hundred Years*, 16-21, 67-99.

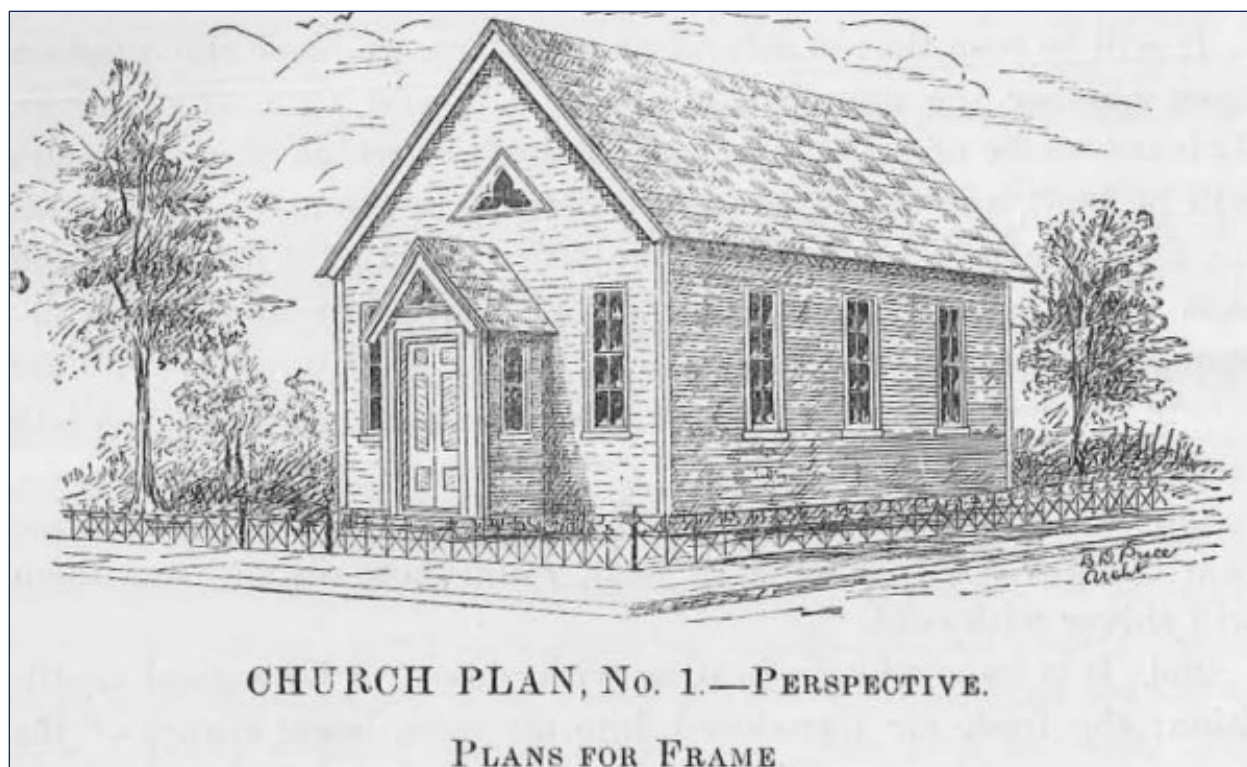


Figure 7: Basis Church Design in the *Catalogue of Architectural Plans for Churches and Parsonages*, 1889

4.8.2 Gothic Church Architecture

Gothic Revival was most popular in the later 1800s, which coincided with population increases in towns and cities and demand for more churches, leading the style to dominate the Ontario church landscape.⁹⁶ The Gothic Revival style was inspired by European Medieval Gothic churches and went through various stylistic changes throughout the era. Indicating their importance in a community, Gothic Revival churches were commonly built on an elevated separate plot of land, accentuating their spires which dominated the viewscape of many Canadian communities.⁹⁷

Gothic Revival defining church architectural attributes include:

- Stone or brick construction;
- Located on elevated separate parcels of land easily seen across the community;

⁹⁶ Ontario Heritage Trust, "Architectural Style," accessed 3 March 2023, [https://www.heritagetrust.on.ca/places-of-worship/places-of-worship-database/architecture/architectural-style.](https://www.heritagetrust.on.ca/places-of-worship/places-of-worship-database/architecture/architectural-style;); T.F. McIlwraith, *Looking for Old Ontario* (Toronto, ON: University of Toronto Press, 1998), 150.

⁹⁷ S. Ricketts, L. Maitland, & J. Hucker, *A Guide to Canadian Architectural Styles*, 2nd Edition (Toronto: University of Toronto Press, 2004), 55.

- Pointed lancet windows;
- Arched doorways;
- Buttresses;
- Towers;
- Steeply pitched roofs;
- Pointed spires;
- Ornate stonework detailing;
- Emphasis on vertically in all attributes; and,
- Rib-lined ceilings.

4.8.3 Hindu Temple Architecture

The height of Hindu Temple construction began during the Gupta Dynasty.⁹⁸ These early temples were made of wood, but stone and brick were eventually used in their construction.⁹⁹ Early temples may have borrowed building layouts from Buddhist temples.¹⁰⁰ The surviving Gupta temples all have a similar design aesthetic. These features include a small central chamber, constructed with stone, with a verandah at the entrance or on all sides of the building.¹⁰¹

4.9 Significant Person History

4.9.1 Emmanuel Harrison Senior

Emmanuel Harrison Senior (1790-1871) was born in Yorkshire, England and settled on Concession 5 Lot 9 in Chinguacousy Township around 1820 as a cattle breeder. From 1823 to 1826, Emmanuel served as pathmaster. He was elected Warden in 1824, juryman in 1829, fenceviewer in 1836, and poundkeeper in 1838. In 1852, he won 4th place for best bull at the Grand Provincial Fair in Toronto. He was the namesake of the church and the community. His nephew – whom he raised following the death of his brother Thomas – continued the family name and remained active in the church.¹⁰²

⁹⁸ Wendy Doniger, Brian K. Smith, et al, "Hinduism," *The Encyclopedia Britannica*, last modified 27 February 2023, accessed 9 March 2023, <https://www.britannica.com/topic/Hinduism>.

⁹⁹ Doniger, Smith, et al, "Hinduism."

¹⁰⁰ Doniger, Smith, et al, "Hinduism."

¹⁰¹ Doniger, Smith, et al, "Hinduism."

¹⁰² William Perkins Bull, "Harrison Family File," digital file provided by the Region of Peel Archives.



Photo 5: Emmanuel Harrison¹⁰³

4.9.2 George Elliott

George Elliott (1789-1873) was born in Ireland and moved to York Township in York County with his wife in the early 1830s. In 1834, he purchased Lot 13 Concession 5 in Chinguacousy Township and established a farm. They were one of the first families to settle in this area. In 1846, he purchased a second farm. Both farms remained in the family for several generations. He later purchased two more farms (no longer in the family) and granted one of his four farms to each of his four sons. George and his wife Nancy remained on their original farm until their passing. Both were active members of the Wesleyan Methodist Church.¹⁰⁴

4.9.3 John Stubbings Senior

John Stubbings Senior (1819-1896) was born in Yorkshire and moved to Canada in the late 1800s. He first settled in Elmbank and established himself as a blacksmith. In 1867, he purchased Lot 17 on the 4th line and became a farmer. By 1880, he had purchased a new property and returned to his occupation as a blacksmith. Throughout his lifetime, he was an active member of Harrison Wesleyan Methodist Church through his roles as trustee and class leader. His descendants remained active in the church for many years.¹⁰⁵

¹⁰³ Image from the Region of Peel Archives

¹⁰⁴ Region of Peel Archives, "Elliott Family File (#3)," digital copy provided by the Region of Peel Archives.; Find a Grave, "George Elliott," accessed 1 March 2023, <https://www.findagrave.com/memorial/225687456/george-elliott>.

¹⁰⁵ Stanley, *Harrison United Church*, 9.; Find A Grave, "John Stubbings," accessed 1 March 2023, <https://www.findagrave.com/memorial/223683885/john-stubbings>.

4.9.4 William McCulla

William Armstrong McCulla (1838 – 1923) was born in Ireland. His family moved to Brampton in 1849. He served on the Brampton School Board for several years and was appointed Justice of the Peace from 1862 to 1864. In 1880, he was elected mayor of Brampton. Three years later, he was elected Reeve followed by Warden in 1885. From 1887 to 1891, he served as the Member of Parliament for Peel County. In addition to his political achievements, William served as a mason, builder, and contractor from 1865 to 1895. He is associated with several churches and public buildings in Brampton and Peel County including Brampton's first central school – which was constructed alongside his father John McCulla – and Grace Methodist Church. In 1895, he was granted the position of postmaster, which he held until his death in 1923.¹⁰⁶ According to an article in the Brampton conservator to celebrate his 85th birthday, “he has had an unusually compelling part in shaping the destinies of the town in which he has spent so many years.”¹⁰⁷



Photo 6: William McCulla¹⁰⁸

¹⁰⁶ Ata Architects Inc., “22, 24, 26, 28 and 32 John Street, City of Brampton, Ontario Heritage Impact Assessment,” last modified November 2022, accessed 1 March 2023, <https://pub-brampton.escribemeetings.com/filestream.ashx?DocumentId=70537>, 120.; William Perkins Bull, “McCulla Family File,” accessed 1 March 2023, <https://archive.org/details/mcculla-family-file/page/n45/mode/1up?q=compelling>.

¹⁰⁷ Perkins, “McCulla Family File,” 46.

¹⁰⁸ Perkins, “McCulla Family File,” 15.

5.0 EXISTING CONDITIONS

5.1 Surrounding Context

The Property is in Southwestern Ontario in the City of Brampton. It is approximately 23.64 kilometres (km) from the northern shore of Lake Ontario and approximately 7.4 km northeast of downtown Brampton.

The topography of the area is comprised of slight slopes along the street, steeper slopes descending away from the street to the east, a steeper slope descending away from the Property to the north, and a steeper slope ascending towards the residences to the west. The vegetation of the area consists of young and mature deciduous and coniferous trees and manicured landscaped yard fronting residential and commercial properties (Photo 7 and Photo 8).

The Property is bounded by Torbram Road to the south, residential properties to the west, and commercial properties to the north and east. Torbram Road is a municipally maintained arterial road running southeast to northwest from Highway 5 to Old School Road. It is a four-lane road flanked by sidewalks and curbs with streetlights on the south side of the street (Photo 7 to Photo 9).

The surrounding area includes commercial, residential and some industrial properties. Commercial properties are one to two-storeys in height with shallow to moderate setbacks. Residential properties are one to two storeys in height with moderate setbacks. Industrial properties that are one-storey with deep setbacks. Building material primarily consist of brick with some stone and some more modern materials like steel and stucco (Photo 7 and Photo 9).

The Harrison's United / Wesleyan Methodist Cemetery is located across Torbram Road from the Property (Photo 10).



Photo 7: View northwest along Torbram Road



Photo 8: View southeast along Torbram Road



Photo 9: View of the commercial plaza north of the Property






Photo 10: View of Harrison United / Wesleyan Methodist Cemetery

5.2 The Property


The property landscape is relatively unchanged. From its construction (see Section 4.6), the site has only contained the brick building with parking being added as needed. The portables were added by the Synagogue for their Hebrew school. The exterior of the brick building - as described in Section 5.8 - demonstrates the simple proportions, plain decoration, rectangular plan, orientation to the street, one-storey, brick construction, gabled roof, lancet windows, rose window, main entrance on the façade, projecting vestibule, and central pulpit of traditional Methodist church architecture. The church also demonstrates the brick construction, pointed lancet windows, buttresses, emphasis on verticality, and rib lined ceilings of the Gothic architectural style. It is unclear if the interior has been subject to alterations as its continued religious use changed from a church to a synagogue to its current use as a temple. The overall arrangement of the interior (choir loft, basement, raised first floor to accommodate the basement) appear to be the same. An overview of the existing conditions of the Property and its components is presented below in Table 1.



Table 2: Overview of Existing Conditions



Component	Discussion	Image(s)
South Elevation	<p>The temple, constructed in 1876, is a one-storey, rectangular plan, brick construction with a full basement fronting onto Torbram Road. The building has a medium pitch front gable roof. The south elevation has a projecting vestibule with a shallow pitch front gable roof with vinyl soffits. A small rose window is present above the vestibule. The main flat-headed double door entrance with an arched transom and dichromatic brick voussoir with pointed brick trim coursing is located on the south elevation of the projecting vestibule. Buttresses are present on the corners of the south elevation of both the main building and the projecting vestibule. Lancet windows with cut stone lug sills and beige brick voussoirs with pointed brick trim coursing flank the projecting vestibule. Slightly shorter lancet windows with cut stone lug sills and beige brick voussoirs with pointed stone trim coursing are present on the east and west elevations of the projecting vestibule. Wooden stairs with a small uncovered porch lead to the entrance with an accessibility ramp leading away from the west side of the porch to the west side of the building. A metal cast heritage plaque is located immediately west of the entrance.</p> <p>This is the portion of the Property that is associated with the following descriptions from page 2 of the designation by-law:</p> <ul style="list-style-type: none"> • Originally built in 1876 as a Methodist Church on land donated by John Stubbings; • Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund; • Gothic Revival style; • Simple proportions; 	 <p>The photograph shows the front facade of the Jagannath Hindu Temple. It is a red brick building with a gabled roof. The central entrance features a wooden double door with an arched transom. Above the door is a small arched window with a white frame and a red 'Om' symbol. The entrance is flanked by two lancet windows with beige brick voussoirs. A wooden porch with stairs leads up to the entrance. Yellow and orange flags are visible on the porch. The sky is blue with some clouds.</p>

Component	Discussion	Image(s)
	<ul style="list-style-type: none"> • Somewhat severe planes; • Symmetry; • Eclectic detailing; • Single storey; • Red brick accented with beige brick; • Buttresses; • Corner keying; • Corbelling; • Pointed brick trim coursing in voussoirs; and, • Stained glass rose window. 	
East and West Elevations	<p>The east elevation has four bays each containing a lancet window with beige brick voussoirs, pointed stone trim coursing, and cut stone lug sills. The lancet windows on each end of the elevation have a symbol in the arch of the window on the exterior of the protective glazing. Each bay is separated by beige brick buttresses. A buff brick dog tooth pattern cornice is present along the length of the east elevation. The central two bays have rectangular sliding windows on the basement level. The rubble stone foundation is visible on this side of the building. There is a flat-headed single door entrance fit into a segmental opening with a beige brick voussoir offset to the north side.</p> <p>The west elevation similarly has four bays containing lancet windows with beige brick voussoirs, pointed stone trim coursing, and cut stone lug sills. Each bay is separated by beige brick buttresses. A buff brick dog tooth pattern cornice is present along the length of the west elevation. Part of the southernmost lancet window is covered with a sign. The lancet windows on each end of the elevation have a symbol in the arch of the window on the exterior of the protective</p>	 <p>East Elevation</p> 

Component	Discussion	Image(s)
	<p>glazing. The rubble stone foundation is also visible from this elevation.</p> <p>This is the portion of the Property that is associated with the following descriptions from page 2 of the designation by-law:</p> <ul style="list-style-type: none">• Originally built in 1876 as a Methodist Church on land donated by John Stubbings;• Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund;• Gothic Revival style;• Simple proportions;• Somewhat severe planes;• Symmetry;• Eclectic detailing;• Four bay;• Single storey;• Full basement;• Stone foundation;• Red brick accented with beige brick;• Buttresses;• Corner keying; and,• Pointed brick trim coursing in voussoirs.	West Elevation

Component	Discussion	Image(s)
North Elevation	<p>The north elevation is largely plain. It contains the arch of a former lancet window (mostly bricked up in 1947 – See Section 5.6) that is currently obscured by a sign. There is a flat-headed modern window and a solid transom fit into a segmental opening with a beige brick voussoir and a concrete lug sill offset to the west side. Some beige brick quoins are visible near the roofline. The rubble stone foundation is also visible from this elevation.</p> <p>This is the portion of the Property that is associated with the following descriptions from page 2 of the designation by-law:</p> <ul style="list-style-type: none"> • Originally built in 1876 as a Methodist Church on land donated by John Stubbings; • Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund; • Simple proportions; • Eclectic detailing; • Single storey; • Stone foundation; • Red brick accented with beige brick; and, • Corner keying. 	

Component	Discussion	Image(s)
Interior	<p>The interior of the temple contains four main rooms: vestibule, foyer, sanctuary, and basement. The northern end of the sanctuary has a raised platform with central stairs for the altar. Elongated rib vaults supported by brackets are present. Wood panelling is just visible along the bottom half of the perimeter of the room. The southern end of the sanctuary has a balcony with decorative wood railings. Elongated rib vaults supported by brackets are also present on this side of the room. The rose window is visible above the balcony. Just below and supporting the balcony are wood brackets attached to the vertical wood panel wall separating the sanctuary and the foyer. Two door openings are located in the wood panel wall. The wood panelling continues along the bottom half of the east and west walls. Two small sets of stairs lead through the door openings up to the raised floor of the sanctuary. The room is otherwise unadorned and plain and simple in design.</p> <p>The foyer has a ceiling that slopes from the vestibule side of the building to the sanctuary. Wood panelling is present along the bottom half of the perimeter of the room. Half columns are located on either side of the central wood coat rack on the south wall connecting to the vestibule. The staircase to the balcony of the sanctuary is located on the east wall of the foyer. The room is otherwise unadorned and plain and simple in design.</p> <p>The vestibule is a plain white room. On the south wall is the double door main entrance with arched transom. The east and west walls have small lancet windows. The north wall, connecting to the foyer, has two flat-headed doors. The</p>	 <p>View north of sanctuary</p>  <p>View south of sanctuary</p>

Component	Discussion	Image(s)
	<p>basement is similarly plain and simple with white walls and no adornment.</p> <p>It is important to note that the interior has been altered over the years and the basement is an addition from the 1947 renovations (Section 5.6).</p> <p>This is the portion of the Property that is associated with the following descriptions from page 2 of the designation by-law:</p> <ul style="list-style-type: none"> • Gothic Revival style; • Unadorned; • Good sight lines; and, • Good acoustics. 	 <p>View west of foyer</p>  <p>View west of the interior of the vestibule</p>

6.0 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

Heritage Designation By-Law 180-84 describes the cultural heritage value or interest of the Property as follows:

The Har Tikvah Synagogue was originally built in 1876 as a Methodist Church on land donated by John Stubbings. Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund for the church.

The building is representative of the Gothic Revival style which flourished during the mid Victorian era, particularly in ecclesiastic architecture.

The characteristic simple proportions, somewhat severe planes, symmetry of plan and elevation, eclectic detailing throughout truly reflect the vernacular tradition of the region.

The four bay single storey structure, with full basement, on a stone foundation is of red brick accented with beige brick in the buttresses, corner keying, corbelling at the rooflines, and particularly at the window openings. Here the lancet arches are edged in beige brick with distinctive pointed brick trim coursing; elsewhere alternating brick colours were used for picturesque effect complimenting a large stained glass rose window above the main entry. The austere unadorned nature of the interior spaces – sanctuary, choir gallery, pulpit platform and vestibule remain consistent with the primary functional considerations of good sight lines and acoustics, valid to this day.

See Appendix C for the full by-law.

7.0 IDENTIFICATION OF HERITAGE ATTRIBUTES

As previously noted, the Property is designated under Section 29 Part IV of the OHA and a description of the significance of the Property has been prepared as part of By-Law 180-84, which describes the Property as follows:

The Har Tikvah Synagogue was originally built in 1876 as a Methodist Church on land donated by John Stubbings. Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund for the church.

The building is representative of the Gothic Revival style which flourished during the mid Victorian era, particularly in ecclesiastic architecture.

The characteristic simple proportions, somewhat severe planes, symmetry of plan and elevation, eclectic detailing throughout truly reflect the vernacular tradition of the region.

The four bay single storey structure, with full basement, on a stone foundation is of red brick accented with beige brick in the buttresses, corner keying, corbelling at the rooflines, and particularly at the window openings. Here the lancet arches are edged in beige brick with distinctive pointed brick trim coursing; elsewhere alternating brick colours were used for picturesque effect complimenting a large stained glass rose window above the main entry. The austere unadorned nature of the interior spaces – sanctuary, choir gallery, pulpit platform and vestibule remain consistent with the primary functional considerations of good sight lines and acoustics, valid to this day.

Although the Property is understood to have cultural heritage value or interest, LHC undertook an evaluation of the cultural heritage value or interest of 9893 Torbram Road – based on the by-law and supplemented by research and analysis presented in Section 5.0 and 6.0 of this HIA – in order to describe the heritage attributes of the Property (Table 2).

Table 3: LHC's Evaluation against *O. Reg. 9/06*

Criteria for Determining Cultural Heritage Value or Interest	Assessment (Yes/No)	Rationale
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	Y	The Property has design or physical value because it is a representative example of a vernacular Methodist church with Gothic influences. Based on historical accounts (Section 5.0), the building was constructed in 1875 indicating that this is not an early example of a Methodist church with Gothic influences.

Criteria for Determining Cultural Heritage Value or Interest	Assessment (Yes/No)	Rationale
		<p>As described in Section 6.2, the building demonstrates typical features of vernacular Methodist Church architecture with Gothic influences.</p> <p>The Property does not have design or physical value as a rare, unique, or early example of a style, type, expression, material, or construction method.</p>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N	<p>There is no evidence to suggest that the Property was constructed with a high degree of craftsmanship or artistic merit. It is largely a plain and simple building with some decorative elements and dichromatic brick accents. The pattern of bricks reinforces the simple construction. The building appears to be consistent with standard buildings from the time.</p>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.	N	<p>The Property does not demonstrate a high degree of technical or scientific achievement. There is no evidence to suggest that the building was constructed with a higher degree of technical or scientific achievement than a standard building at the time.</p>
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	Y	<p>The Property has historical or associative value because it has direct associations with a theme, person, and organization that are significant to the community. As discussed in Sections 5.6, 5.7, and 5.9, the temple is associated with the development of the City of Brampton and its religious history, various religious organizations, and the personage of Emmanuel Harrison Senior. Emmanuel Harrison Senior was one of the first settlers to the area and one of the founders of Harrison church. His house served as the first meeting place for the area's methodist congregation until the</p>

Criteria for Determining Cultural Heritage Value or Interest	Assessment (Yes/No)	Rationale
		<p>congregation was large enough to construct a church. The Methodist church later amalgamated with other churches to become the United Church.</p> <p>Originally constructed as a Methodist Church, the Property has served as a place of worship throughout its history. It is associated with the Methodist and United Churches, with the Har Tikvah Synagogue, and more recently with Jagannath Mandir.</p>
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	N	The Property does not have historical or associative value because it yields or has the potential to yield information that contributes to an understanding of a community or culture. There is no evidence to suggest that the Property meets this criterion.
1. The property has historical or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	Y	The Property has historical or associative value because it demonstrates or reflects the work or ideas of a builder who is significant to the community. As outlined in Sections 5.6 and 5.9.4, Harrison church was constructed by William McCulla and James Voakes. William McCulla was a mason, politician, and postmaster who is attributed with having a significant influence on the community.
2. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	N	The Property does not have contextual value because it is not important in supporting the character of the area. As outlined in Section 6.0, the area is characterised by commercial properties that are one to two-storeys in height, residential properties that are one to two-storeys in height, and some one-storey industrial properties. Building materials primarily

Criteria for Determining Cultural Heritage Value or Interest	Assessment (Yes/No)	Rationale
		<p>consist of brick with some stone and some more modern materials.</p> <p>The building is one of few places of worship in the area. Its brick construction is consistent with the character of the area.</p>
<p>3. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.</p>	<p>Y</p>	<p>The Property has contextual value because it is functionally and historically linked to its surroundings. As noted in Section 5.6, the cemetery across the street was the site of the congregation's first church and was associated with the congregation throughout its history. Many of the founding members of the Methodist congregation are buried in the cemetery.</p> <p>There is no evidence to suggest that the Property is physically or visually linked to its surroundings.</p>
<p>4. The property has contextual value because it is a landmark.</p>	<p>Y</p>	<p>The Property is considered to be a landmark. A landmark is defined as:</p> <p style="padding-left: 40px;">“a recognizable natural or human-made feature used for a point of reference that helps orienting in a familiar or unfamiliar environment; it may mark an event or development; it may be conspicuous.”¹⁰⁹</p> <p>The building has been a place of worship and a community gathering place throughout its history. It is well known within the community, located close to the road and easily recognizable within its surrounding contemporary context.</p>

¹⁰⁹ Ministry of Tourism, Culture & Sport (MTCS), Standards & Guidelines for Conservation of Provincial Heritage properties, Heritage Identification & Evaluation Process. Sept 1, 2014.

7.1 Heritage Attributes

Heritage attributes that illustrate the cultural heritage value of 9893 Torbram Road include:

- The building itself, including its:
 - Scale, massing and form (*O. Reg. 9/06*, criteria 1 and 4);
 - Alignment of building features and their symmetrical arrangement (*O. Reg. 9/06*, criteria 1 and 4);
 - Orientation to the street (*O. Reg. 9/06*, criteria 1, 4, and 8);
 - Emphasis on verticality (*O. Reg. 9/06*, criteria 1 and 4);
 - Rectangular plan (*O. Reg. 9/06*, criteria 1 and 4);
 - Rubble stone foundation (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Red brick construction (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Buff brick string course immediately above foundation (*O. Reg. 9/06*, criteria 1, 4, and 6);
 - Front-facing gable roof (*O. Reg. 9/06*, criteria 1 and 4);
 - Buff brick dog tooth pattern cornice below the roofline on the south, east, and west elevations (*O. Reg. 9/06*, criteria 1, 4, and 6);
 - Buff brick box ends and vertical bands on the south elevation (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Projecting vestibule (*O. Reg. 9/06*, criteria 1 and 4);
 - Buff brick buttresses (*O. Reg. 9/06*, criteria 1, 4, and 6);
 - Rose window with a dichromatic brick and pointed stone trim coursing surround on the south elevation (*O. Reg. 9/06*, criteria 1 and 4);
 - Pointed lancet window openings with buff brick voussoirs, pointed stone trim coursing, and cut stone lug sills with (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Arch of a filled-in lancet window on the north elevation (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Buff brick projecting accents below lug sills on the south, east, and west elevations (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Main flat-headed double door entrance with an arched transom, dichromatic brick voussoir, and pointed brick trim coursing that is located on the south elevation of the projecting vestibule (*O. Reg. 9/06*, criteria 1, 4 and 6); and,
 - Carved and slightly projecting date stone above the rose window that reads “Harrison Church 1875” (*O. Reg. 9/06*, criteria 1, 4, 6, and 8).

The existing designation by-law describes interior heritage attributes (see Section 6.0). Based on the evolving use of the temple, we recommend removing reference to the interior features in an updated version of the designation by-law.

8.0 DESCRIPTION OF PROPOSED ALTERATION

This scoped HIA is being prepared as part of a Consent to Sever and Minor Variance application for 9893 Torbram Road. The proposal is to remove 0.09 ha from the vacant parcel, add it to the temple parcel, and expand the parking lot for the temple. Ten parking spaces will be added to the temple parcel. One of these parking spaces - to be located at the northwest corner of the building – will be an accessible parking space.

The new temple parcel will be an L-shaped lot of 0.15 ha in size. The remaining portion of the vacant parcel will be 0.45 ha in size (Figure 8). No alterations to the building are proposed.

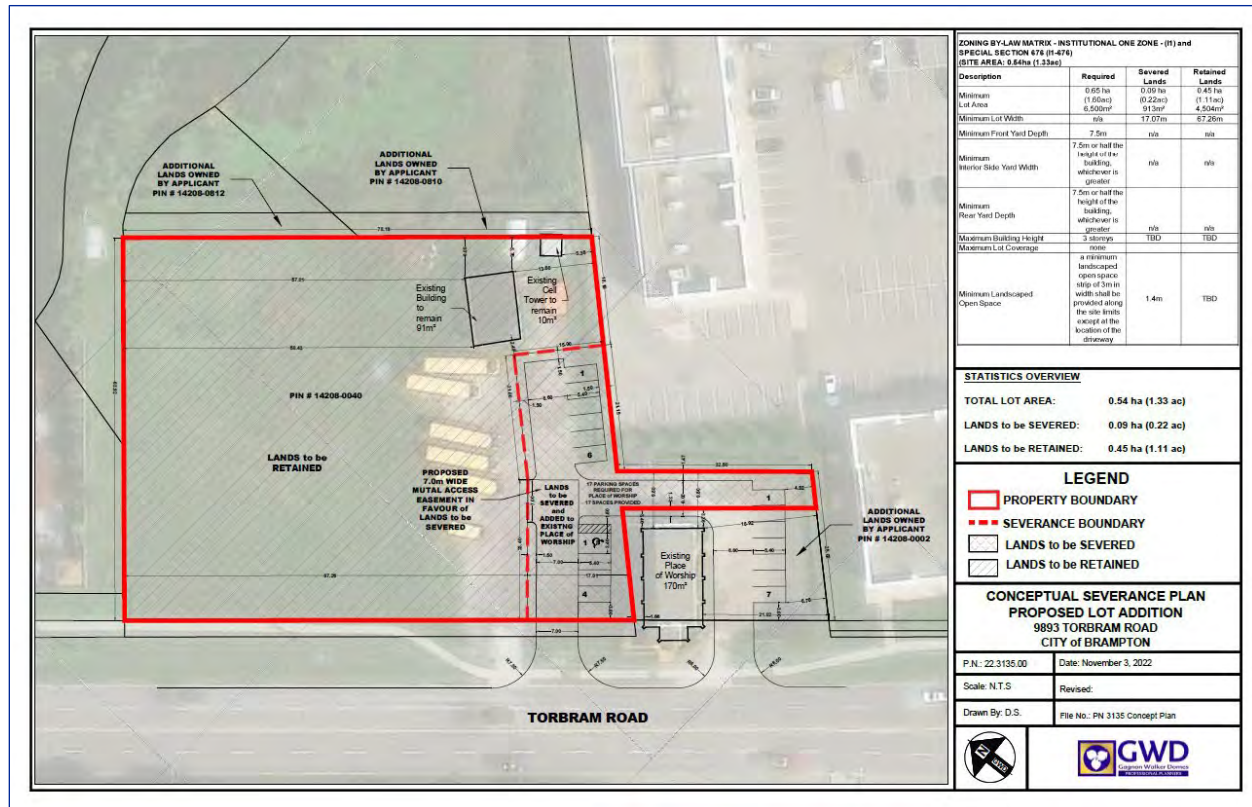


Figure 8: Severance proposal concept

9.0 IMPACT OF DEVELOPMENT ON HERITAGE ATTRIBUTES

Based on the heritage attributes identified in Section 7.0, a review of the proposal for potential adverse impacts was undertaken. As described in Section 2.0, the impact assessment was guided by the MCM's *Information Sheet #5: Heritage Impact Assessments and Conservation Plans*¹¹⁰ and the City's HIA guidelines which outline seven potential negative impacts to be considered with any proposed development or property alteration. The impacts include, but are not limited to:

- 1) **Destruction** of any part of any significant heritage attribute or features;
- 2) **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
- 3) **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
- 4) **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
- 5) **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
- 6) **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- 7) **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.

The temple building will not be destroyed or altered by the proposed severance and minor variance. There will be no direct negative impact on this property's heritage attributes. The proposed severance and minor variance will not create shadows. It will not isolate a heritage attribute from its surrounding environment, context, or a significant relationship. It will not cause direct or indirect obstruction of a significant view or vista within or from the built heritage resource. It will not result in a change in land use, nor will it result in a land disturbance. There will be no indirect negative impacts to the temple.

The impact assessment process involved consideration of the existing policy and consideration of the proposed works' ability to meet this policy. The proposal was found to be in compliance with heritage policy at both the provincial and local levels.

¹¹⁰ "Info Sheet #5: Heritage Impact Assessments and Conservation Plans," in *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005*, prepared by the Ministry of Culture, (Queen's Printer for Ontario, 2006), 1-4.

10.0 CONCLUSION AND RECOMMENDATIONS

LHC was retained on 22 December 2022 by Sradhananda Mishra to undertake a Scoped Heritage Impact Assessment for the property located at 9893 Torbram Road in the City of Brampton, Ontario. The Property is designated under Section 29 Part IV of the *OHA* through By-law 180-84. The designation by-law for the Property includes a brief description of the Property and its cultural heritage value or interest; however, it does not include a list of heritage attributes.

This HIA was prepared as part of the Consent to Sever and Minor Variance application for 9893 Torbram Road. The owner is proposing to sever 0.09 hectares (ha) of land from the vacant parcel and add it to the temple parcel to provide additional parking. No alterations are proposed for the temple building. This purpose of this HIA was to describe the heritage attributes of the Property; review the proposed alterations; identify adverse impacts on those heritage attributes; and, identify alternatives and mitigation measures to lessen or avoid identified impacts. This HIA was undertaken in accordance with the recommended methodology outlined within the *Ontario Heritage Toolkit* and the *Scoped Heritage Impact Assessment Terms of Reference* for the project, provided by City of Brampton Heritage Staff.

Based on the review of the designation by-law, the Property's history and morphology, and the 27 January 2023 site visit, draft heritage attributes were prepared by LHC.

In our Professional Opinion, this scoped HIA finds that the proposed severance and addition of parking will not result in any adverse impacts on the cultural heritage value and heritage attributes of the Property. As a result, alternatives and mitigation measures were not explored.

It is recommended that the owner provide a legal survey to City of Brampton heritage staff to allow staff the opportunity to update the temple's designation by-law with the new legal description. It is also recommended that any update to the designation by-law remove reference to interior features.

SIGNATURES



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APPENDIX A: PROJECT PERSONNEL

Lisa Coles, MPI – Intermediate Heritage Planner

Lisa Coles is an Intermediate Heritage Planner with LHC. She holds a Master of Arts in Planning from the University of Waterloo, a Graduate Certificate in Museum Management & Curatorship from Fleming College, and a B.A. (Hons) in History and French from the University of Windsor.

Lisa has worked in the heritage industry for over five years, starting out as a historic interpreter at a museum in Kingsville in 2016. Since then, she has acquired additional experience through various positions in museums and public sector heritage planning. Lisa is an intern member of the Canadian Association of Heritage Professionals (CAHP) and a candidate member with the Ontario Professional Planning Institute (OPPI).

At LHC, Lisa has worked on numerous projects dealing with all aspects of Ontario's cultural heritage. She has been lead author or co-author of over fifteen cultural heritage technical reports for development proposals including Cultural Heritage Evaluation Reports, Heritage Impact Assessments, Environmental Assessments, and Interpretation and Commemoration Plans. Lisa has also provided heritage planning support to municipalities including work on heritage permit applications and work with municipal heritage committees. Her work has involved a wide range of cultural heritage resources including institutional, industrial, and residential sites in urban, suburban, and rural settings.

Christienne Uchiyama, MA, CAHP – Principal, LHC

Christienne Uchiyama MA CAHP is Principal and Manager - Heritage Consulting Services with LHC. She is a Heritage Consultant and Professional Archaeologist (P376) with two decades of experience working on heritage aspects of planning and development projects. She is currently Past President of the Board of Directors of the Canadian Association of Heritage Professionals and received her MA in Heritage Conservation from Carleton University School of Canadian Studies. Her thesis examined the identification and assessment of impacts on cultural heritage resources in the context of Environmental Assessment.

Chris has provided archaeological and heritage conservation advice, support and expertise as a member of numerous multi-disciplinary project teams for projects across Ontario, including such major projects as: all phases of archaeological assessment at the Canadian War Museum site at LeBreton Flats, Ottawa; renewable energy projects; natural gas pipeline routes; railway lines; hydro powerline corridors; and highway/road realignments. She has completed more than 300 cultural heritage technical reports for development proposals at all levels of government, including cultural heritage evaluation reports, heritage impact assessments, and archaeological licence reports and has a great deal of experience undertaking peer reviews. Her specialties include the development of Cultural Heritage Evaluation Reports, under both O. Reg. 9/06 and 10/06, and Heritage Impact Assessments.

Benjamin Holthof, M.Pl., M.M.A., MCIP, RPP, CAHP – Senior Heritage Planner

Ben Holthof is a heritage consultant, planner and marine archaeologist with experience working in heritage consulting, archaeology and not-for-profit museum sectors. He holds a Master of Urban and Regional Planning degree from Queens University; a Master of Maritime

Archaeology degree from Flinders University of South Australia; a Bachelor of Arts degree in Archaeology from Wilfrid Laurier University; and a certificate in Museum Management and Curatorship from Fleming College.

Ben has consulting experience in heritage planning, cultural heritage screening, evaluation, heritage impact assessment, cultural strategic planning, cultural heritage policy review, historic research and interpretive planning. He has been a project manager for heritage consulting projects including archaeological management plans and heritage conservation district studies. Ben has also provided heritage planning support to municipalities including work on heritage permit applications, work with municipal heritage committees, along with review and advice on municipal cultural heritage policy and process. His work has involved a wide range of cultural heritage resources including on cultural landscapes, institutional, industrial, commercial, and residential sites as well as infrastructure such as wharves, bridges and dams. Ben was previously a Cultural Heritage Specialist with Golder Associates Ltd. from 2014-2020.

Ben is experienced in museum and archive collections management, policy development, exhibit development and public interpretation. He has written museum policy, strategic plans, interpretive plans and disaster management plans. He has been curator at the Marine Museum of the Great Lakes at Kingston, the Billy Bishop Home and Museum, and the Owen Sound Marine and Rail Museum. These sites are in historic buildings and he is knowledgeable with extensive collections that include large artifacts including, ships, boats, railway cars, and large artifacts in unique conditions with specialized conservation concerns.

Ben is also a maritime archaeologist having worked on terrestrial and underwater sites in Ontario and Australia. He has an Applied Research archaeology license from the Government of Ontario (R1062). He is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Jordan Greene, BA – Mapping Technician

Jordan Greene, B.A., joined LHC as a mapping technician following the completion of her undergraduate degree. In addition to completing her B.A. in Geography at Queen's University, Jordan also completed certificates in Geographic Information Science and Urban Planning Studies. During her work with LHC Jordan has been able to transition her academic training into professional experience and has deepened her understanding of the applications of GIS in the fields of heritage planning and archaeology. Jordan has contributed to over 100 technical studies and has completed mapping for projects including, but not limited to, cultural heritage assessments and evaluations, archaeological assessments, environmental assessments, hearings, and conservation studies. In addition to GIS work she has completed for studies Jordan has begun developing interactive maps and online tools that contribute to LHC's internal data management. In 2021 Jordan began acting as the health and safety representative for LHC.

APPENDIX B: GLOSSARY

Definitions are based on those provided in the *Provincial Policy Statement (PPS)*, *Ontario Heritage Act (OHA)*, the *Region of Peel Official Plan (ROP)*, and the *City of Brampton Official Plan (OP)*. In some instances, documents have different definitions for the same term, all definitions have been included and should be considered.

Adjacent Lands means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (*PPS*).

Adjacent Lands means lands that are:

- a) contiguous to a specific natural heritage feature or area where it is likely that development or site alteration would have a negative impact on the feature or area. The extent of the adjacent lands may be recommended by the Province or based on municipal approaches which achieve the same objectives; and
- b) contiguous to a protected heritage property or as otherwise defined in a local municipal official plan (*ROP*).

Adjacent Lands means lands that are contiguous to a specific natural heritage feature or area where it is likely that development or site alteration would have a negative impact on the feature, or area. The extent of the adjacent lands to specific natural heritage features or areas are provided in Ontario Ministry of Natural Resources' Natural Heritage Reference Manual (*OP*).

Alter means to change in any manner and includes to restore, renovate, repair, or disturb and "alteration" has a corresponding meaning ("transformer", "transformation") (*OHA*).

Archaeological Resources include artifacts, archaeological sites and marine archaeological sites. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the *Ontario Heritage Act (PPS)*.

Archaeological Resources includes artifacts, archaeological sites and marine archaeological sites, as defined under the Ontario Heritage Act. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the Ontario Heritage Act. Archaeological resources may include the remains of a building, structure, activity or cultural feature or object which, because of the passage of time, is on or below the surface of land or water and is of significance to the understanding of the history of a people or place (*ROP*).

Area of Archaeological Potential means areas with the likelihood to contain archaeological resources. Criteria to identify archaeological potential are established by the Province. The Ontario Heritage Act requires archaeological potential to be confirmed by a licensed archaeologist (*PPS*).

Area of Archaeological Potential means areas with the likelihood to contain archaeological resources. Criteria to identify archaeological potential are established by the Province. The Ontario Heritage Act requires archaeological potential to be confirmed by a licensed archaeologist (*ROP*).

Built Heritage Resource means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers (*PPS*).

Built Heritage Resource means one or more buildings, structures, monuments, installations, or any manufactured or constructed part of remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on a property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included in local, provincial, federal and/or international registers (*ROP*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*PPS*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*ROP*).

Cultural Heritage Landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms (*PPS*).

Cultural Heritage Resources means built heritage resources, cultural heritage landscapes and archaeological resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people. While some cultural heritage resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation (*ROP*).

Development means the creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the Planning Act, but does not include:

- c) activities that create or maintain infrastructure authorized under an environmental assessment process;
- d) works subject to the Drainage Act; or
- e) for the purposes of policy 2.1.4(a), underground or surface mining of minerals or advanced exploration on mining lands in significant areas of mineral potential in Ecoregion 5E, where advanced exploration has the same meaning as under the Mining Act. Instead, those matters shall be subject to policy 2.1.5(a) (*PPS*).

Development means the creation of a new lot, a change in land use or construction of buildings and structures, requiring approval under the Planning Act but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the Drainage Act (*ROP*).

Development means the subdivision of land, or construction of buildings and structures, requiring approval under the Planning Act but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the Drainage Act (*OP*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., significant views or vistas to or from a protected heritage property) (*PPS*).

Heritage Attributes means in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest; ("attributs patrimoniaux") (*OHA*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., views or vistas to or from a protected heritage property) (*ROP*).

Property means real property and includes all buildings and structures thereon (*OHA*).

Protected Heritage Property means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*PPS*).

Protected Heritage Property means property listed by council resolution on a heritage register or designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*ROP*).

Significant in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act (*PPS*).

Significant in regard to cultural heritage and archaeology, resources that are valued for the important contribution they make to our understanding of the history of a place, an event, or a people (*OP*).

APPENDIX C: DESIGNATION BY-LAW 180-84

John
Ralph A. Everett,
City Clerk



Paul Gault
150 Central Park Drive
Brampton, Ont. L6T 2T9
793-4110

The Corporation Of The City Of Brampton

Office of the City Clerk

June 25th, 1984

Ontario Heritage Foundation
Ministry of Culture & Recreation
Heritage Administration Branch
77 Bloor Street West
Toronto, Ontario
M7A 2R9

RECEIVED

JUN 28 1984

ONTARIO HERITAGE
FOUNDATION

Dear Sir/Madam;

In accordance with Section 29(3) of the Ontario Heritage Act 1980, enclosed for your information is a notice of intention to designate the property described therein to be of historic or architectural value or interest.

The property referred to is the building known formerly in the City as Harrison United Church.

Yours truly,

A large, stylized handwritten signature, likely of R. A. Everett, written in dark ink.

R. A. Everett
Director of Administration
and City Clerk

RAE:kb
Encl.

THE CORPORATION OF THE CITY OF BRAMPTON

PUBLIC NOTICE

TAKE NOTICE that the Council of The Corporation of the City of Brampton proposes to designate, as a property of historical or architectural value or interest, pursuant to section 29 of the Ontario Heritage Act (R.S.O. 1980, c. 337) the property known as the Har Tikvah Synagogue (formerly Harrison United Church) located at 9893 Torbram Road and more particularly described as follows:

ALL AND SINGULAR that certain parcel or tract of land and premises, situate, lying and being in the City of Brampton, in the Regional Municipality of Peel (formerly in the Township of Chinguacousy, in the County of Peel), being part of the West half of Lot 9, Concession 6, East of Hurontario Street, in the said City of Brampton, the boundaries of which said parcel may be more particularly described as follows:

PREMISING that the road allowance between Concessions 5 and 6, East of Hurontario Street, through the said Lot 9, has a governing bearing of North 44 degrees, 13 feet, 30 inches West and relating all bearings quoted herein thereto;

COMMENCING at the northwesterly angle of the West half of the said Lot 9;

THENCE North 39 degrees, 46 minutes, 30 seconds East, 26.83 metres to a standard iron bar planted;

THENCE South 44 degrees, 5 minutes, 20 seconds East, parallel to the southwesterly limit of the said half lot 32.61 metres to a standard iron bar planted;

THENCE South 39 degrees, 46 minutes, 30 seconds West 26.82 metres to a point in the said road allowance between Concessions 5 and 6, East of Hurontario Street;

THENCE North 44 degrees, 5 minutes, 20 seconds West, 32.61 metres along the northeasterly limit of the said road allowance between Concessions 5 and 6, East of Hurontario Street to the point of commencement.

Reasons for the proposed designation

The Har Tikvah Synagogue was originally built in 1876 as a Methodist Church on land donated by John Stubbings. Legacies from Emmanuel Harrison and George Elliott formed the nucleus of the building fund for the church.

The building is representative of the Gothic Revival style which flourished during the mid Victorian era, particularly in ecclesiastic architecture.

The characteristic simple proportions, somewhat severe planes, symmetry of plan and elevation, eclectic detailing throughout truly reflect the vernacular tradition of the region.

The four bay single storey structure, with full basement, on a stone foundation is of red brick accented with beige brick in the buttresses, corner keying, corbelling at the rooflines, and particularly at window openings. Here the lancet arches are edged in beige brick with distinctive pointed brick trim coursing; elsewhere alternating brick colours were used for picturesque effect complimenting a large stained glass rose window above the main entry. The austere unadorned nature of the interior spaces - sanctuary, choir gallery, pulpit platform and vestibule remain consistent with the primary functional considerations of good sight lines and accoustics, valid to this day.

.../3

NOTICE OF OBJECTION TO THE PROPOSED DESIGNATION
MAY BE SERVED ON THE CLERK WITHIN 30 DAYS OF
THE 3rd DAY OF August, 1984.

This notice is given in accordance with section 29(3) of the
Ontario Heritage Act.

DATED at the City of Brampton this 4th day of July, 1984.

R. A. Everett
City Clerk
The Corporation of the
City of Brampton
150 Central Park Drive
Brampton, Ontario
L6T 2T9

APPLICATION # A-2022-0373
WARD #8

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SRADHANANDA MISHRA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lots 9 and 10, Concession 6 E.H.S. municipally known as **9893 TORBRAM ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s) in conjunction with the proposed retained lot under Consent Application B-2022-0025:

1. To permit a minimum lot area of 4,500 square metres whereas the by-law requires a minimum lot area of 6500 square metres;
2. To permit a minimum interior side yard setback of 2.4m (7.87 ft.) to an existing building whereas the by-law requires a minimum interior side yard setback of 7.5m (24.60 ft.) or half of the height of the building, whichever is less.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: YES

File Number: _____
File Number: B-2022-0025

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

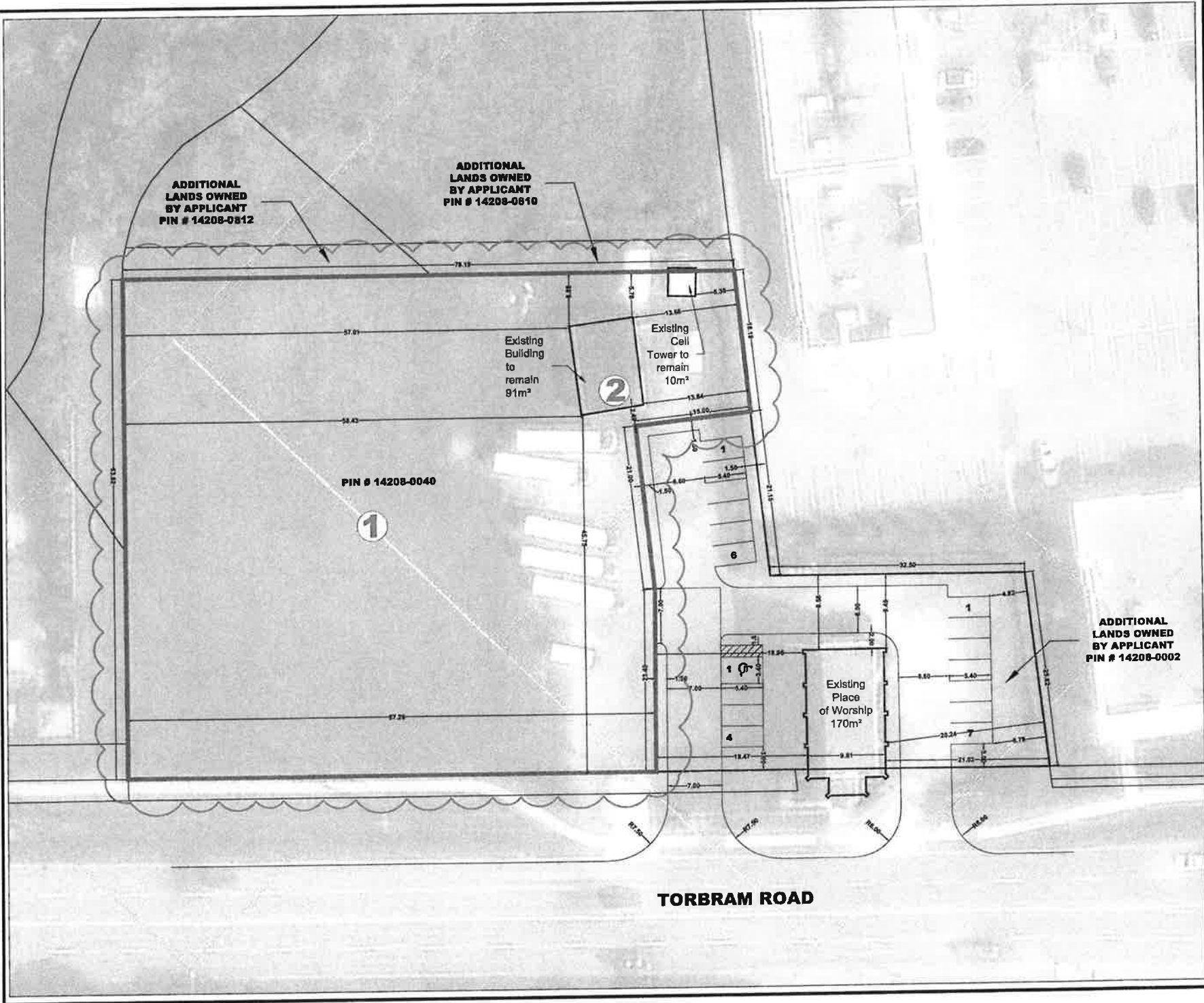
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 9th Day of March, 2023

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



ZONING BY-LAW MATRIX - INSTITUTIONAL ONE ZONE - (I1) and SPECIAL SECTION 676 (I1-676)		
Description	Required	Provided
Minimum Lot Area	0.65 ha (1.60ac) 6,500m²	0.45 ha (1.11 ac) 4,504m²
Minimum Lot Width	n/a	67.23m
Minimum Front Yard Depth	7.5m	45.75m
Minimum Interior Side Yard Width	7.5m or half the height of the building, whichever is greater	2.49m
Minimum Rear Yard Depth	7.5m or half the height of the building, whichever is greater	0.0m - existing
Maximum Building Height	3 storeys	1 storey
Maximum Lot Coverage	none	2%
Minimum Landscaped Open Space	a minimum landscaped open space strip of 3m in width shall be provided along the site limits except at the location of the driveway	0.0m - existing

MINOR VARIANCE

1. To permit a Minimum Lot Area of 4500m² whereas the Zoning By-law requires a Minimum Lot Area of 6,500m²; and
2. To permit a Minimum Interior Side Yard Width to a new property line of 2.40m whereas the Zoning By-law requires a Minimum Interior Side Yard Width of 7.5m

LEGEND

PROPERTY BOUNDARY

1-2 MINOR VARIANCES

**MINOR VARIANCE PLAN
RETAINED LANDS -
FUTURE DEVELOPMENT BLOCK
9893 TORBRAM ROAD, CITY of BRAMPTON**

P.N.: 22.3135.00 Date: November 10, 2022

Scale: N.T.S. Revised:

Drawn By: D.S. File No.: PN 3135 Concept Plan



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2022-0373

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Sradhanada Mishra
Address 7 Grenville Street, Suite 6205, Toronto, Ontario, M4Y 0E9

Phone # 416-554-8384 **Fax #** _____
Email dan@4thwaves.com

2. **Name of Agent** Gagnon Walker Domes Ltd. (Andrew Walker / Anthony Sirianni)
Address 7685 Hurontario Street, Suite 501, Brampton, Ontario, L6W 0B4

Phone # 905-796-5790 **Fax #** _____
Email awalker@gwdplanners.com

3. **Nature and extent of relief applied for (variances requested):**
1) To permit a Minimum Lot Area of 4,500 square metres
2) To permit a Minimum Interior Side Yard Width to a new property line of 2.40 metres

4. **Why is it not possible to comply with the provisions of the by-law?**
1) Zoning By-Law requires a Minimum Lot Area of 6,500 square metres
2) Zoning By-Law requires a Minimum Interior Side Yard Width of 7.5 metres

5. **Legal Description of the subject land:**
Lot Number Part of Lots 9 and 10, Conc 6, E.H.S., Reg'd Plan 43M-1571, Part of Blocks 393 and 397, Reg'd Plan 43R-19972
Plan Number/Concession Number Parts 1, 2 and 4, and 43R-30902, Parts 1 and 2
Municipal Address 9893 Torbram Road

6. **Dimension of subject land (in metric units)**
Frontage 67.26 metres
Depth 63.92 metres
Area 0.45 hectares (1.11 acres) (4,504 square metres)

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

One (1) existing structure (91 square metres) and one (1) cell tower and associated equipment structure

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No Changes proposed

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	45.75 metres
Rear yard setback	0.00 metres
Side yard setback	13.64 / 2.49 metres
Side yard setback	57.01 metres

PROPOSED

Front yard setback	45.75 metres
Rear yard setback	0.00 metres
Side yard setback	13.64 / 2.49 metres
Side yard setback	57.01 metres

10. Date of Acquisition of subject land: February 2018

11. Existing uses of subject property: Vacant / Institutional (Place of Worship)

12. Proposed uses of subject property: No Change

13. Existing uses of abutting properties: Commercial (South), Residential (North, East and West)

14. Date of construction of all buildings & structures on subject land: 1876

15. Length of time the existing uses of the subject property have been continued: Continuous

16. (a) What water supply is existing/proposed?

Municipal	<input checked="" type="checkbox"/>	Other (specify) _____
Well	<input type="checkbox"/>	

(b) What sewage disposal is/will be provided?

Municipal	<input checked="" type="checkbox"/>	Other (specify) _____
Septic	<input type="checkbox"/>	

(c) What storm drainage system is existing/proposed?

Sewers	<input checked="" type="checkbox"/>	Other (specify) _____
Ditches	<input type="checkbox"/>	
Swales	<input type="checkbox"/>	

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details: File # B-2022-0025 Status Under Review

18. Has a pre-consultation application been filed?

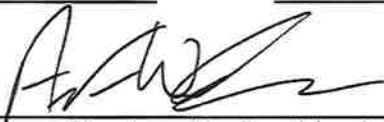
Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief


Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 15th DAY OF November, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Andrew Walker, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON
IN THE REGION OF
PEEL THIS 15th DAY OF
November, 2022.


Signature of Applicant or Authorized Agent

ANDREW WALKER


Priya Kaushal | Notary Public
193 Main Street North, Suite 100
Brampton, Ontario CANADA L6X 1N2
Tel: (905) 452-7734 Fax: (905) 453-3560
LSO # P16387 No Legal Advice Given

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: 11-676

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

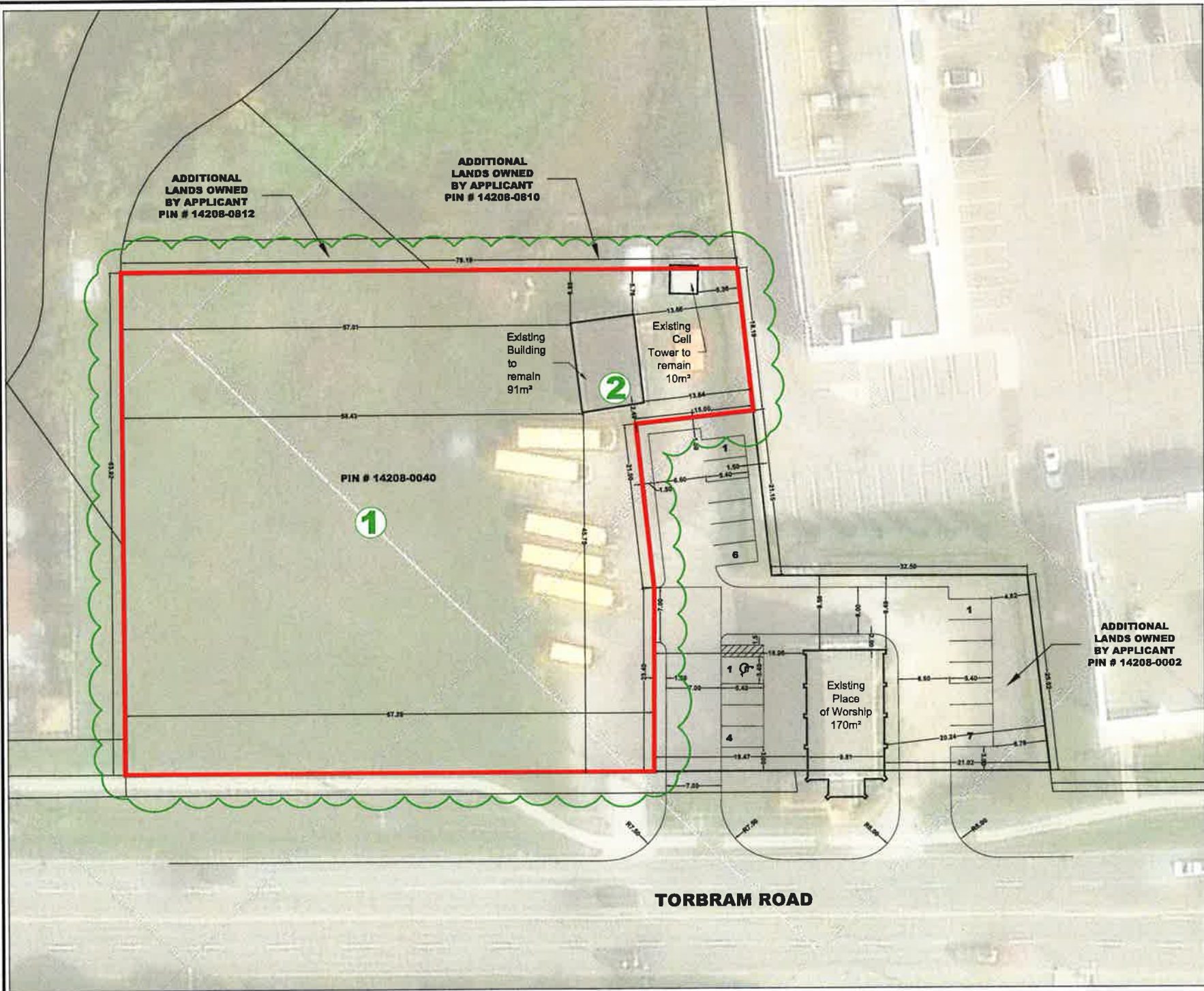

Zoning Officer

Nov 17, 2022
Date

DATE RECEIVED November 17, 2022

Date Application Deemed Complete by the Municipality _____

Revised 2022/02/17



ZONING BY-LAW MATRIX - INSTITUTIONAL ONE ZONE - (I1) and SPECIAL SECTION 676 (I1-676)		
Description	Required	Provided
Minimum Lot Area	0.65 ha (1.60ac) 6,500m²	0.45 ha (1.11 ac) 4,504m²
Minimum Lot Width	n/a	67.23m
Minimum Front Yard Depth	7.5m	45.75m
Minimum Interior Side Yard Width	7.5m or half the height of the building, whichever is greater	2.49m
Minimum Rear Yard Depth	7.5m or half the height of the building, whichever is greater	0.0m - existing
Maximum Building Height	3 storeys	1 storey
Maximum Lot Coverage	none	2%
Minimum Landscaped Open Space	a minimum landscaped open space strip of 3m in width shall be provided along the site limits except at the location of the driveway	0.0m - existing

MINOR VARIANCE

1. To permit a Minimum Lot Area of 4500m² whereas the Zoning By-law requires a Minimum Lot Area of 6,500m²; and
2. To permit a Minimum Interior Side Yard Width to a new property line of 2.40m whereas the Zoning By-law requires a Minimum Interior Side Yard Width of 7.5m

LEGEND

 PROPERTY BOUNDARY

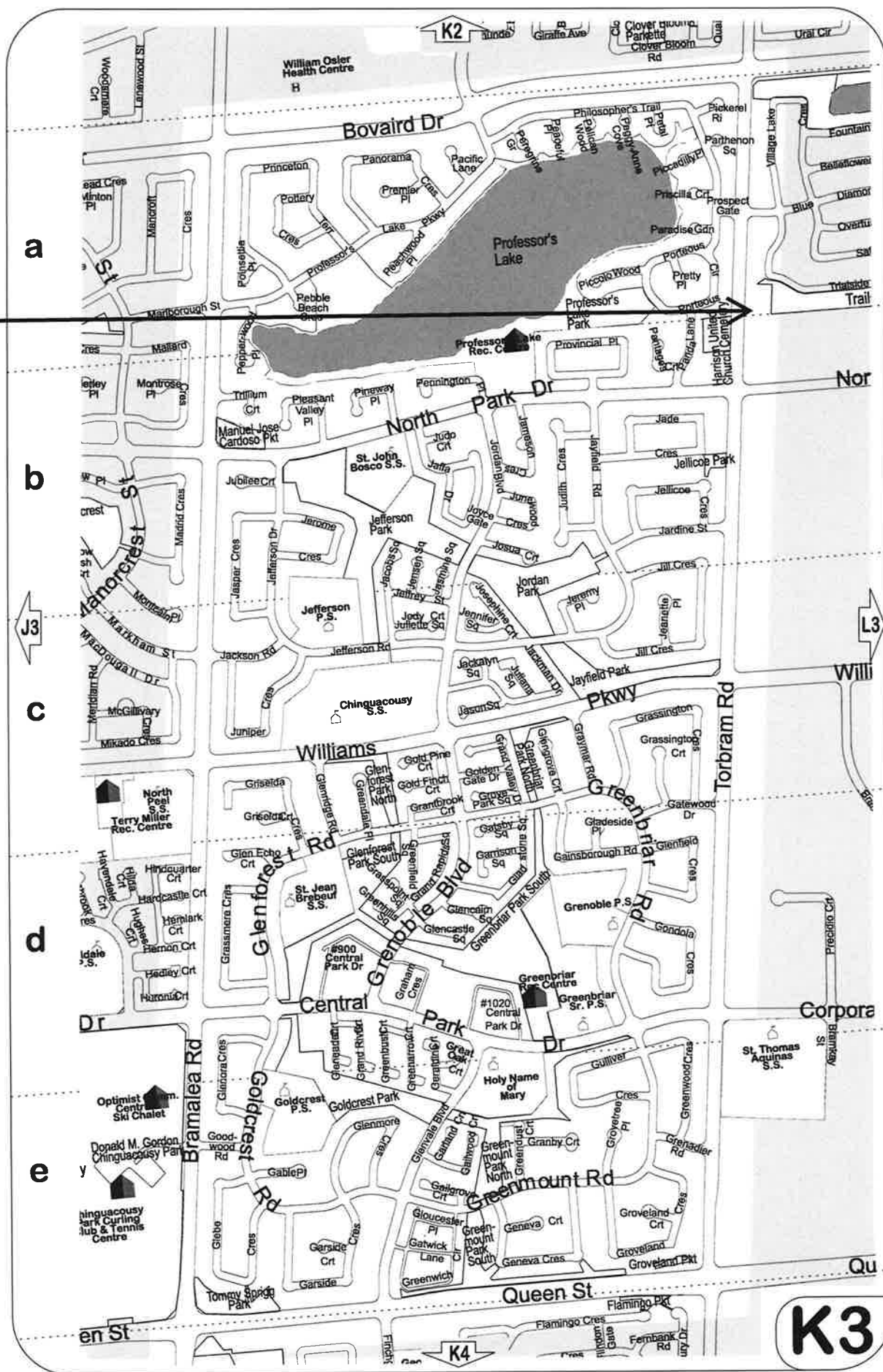
 1-2 MINOR VARIANCES

MINOR VARIANCE PLAN
RETAINED LANDS -
FUTURE DEVELOPMENT BLOCK
9893 TORBRAM ROAD, CITY of BRAMPTON

P.N.: 22.3135.00	Date: November 10, 2022
Scale: N.T.S	Revised:
Drawn By: D.S.	File No.: PN 3135 Concept Plan



K3



FINAL REPORT:

Scoped Heritage Impact Assessment
9893 Torbram Road
Brampton, ON



**LHC Heritage
Planning &
Archaeology Inc.**

Kingston | Toronto
Ottawa | Huntsville

837 Princess Street, Suite 400
Kingston, ON
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Phone: 613-507-7817
Toll Free: 1-833-210-7817
E-mail: info@lhcheritage.com

13 March 2023

Project # LHC0355

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Report prepared for:

Sradhananda Mishra
c/o Andrew Walker
Principal Planner
Gagnon Walker Domes
7685 Hurontario Street, Suite 501
Brampton, Ontario
L6W 0B4

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Reviewed by:

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Benjamin Holthof, MPI, MMA, MCIP, RPP, CAHP

RIGHT OF USE

The information, recommendations and opinions expressed in this report are for the sole benefit of the Owner of the Property (the 'Owner') and the City of Brampton. Any other use of this report by others without permission is prohibited and is without responsibility to LHC. The report, all plans, data, drawings and other documents as well as all electronic media prepared by LHC are considered its professional work product and shall remain the copyright property of LHC, who authorizes only the Owner and approved users (including municipal review and approval bodies as well as any appeal bodies) to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of the Owner and approved users.

REPORT LIMITATIONS

The qualifications of the heritage consultants who authored this report are provided in Appendix A. All comments regarding the condition of the Property are based on a superficial visual inspection and are not a structural engineering assessment unless directly quoted from an engineering report. The findings of this report do not address any structural or physical condition related issues associated with the Property or the condition of any heritage attributes.

Concerning historical research, the purpose of this report is to assess potential impacts of the proposed site alteration on the cultural heritage value or interest and heritage attributes of the Property. The authors are fully aware that there may be additional historical information that has not been included. Nevertheless, the information collected, reviewed, and analyzed is sufficient to conduct this assessment. This report reflects the professional opinion of the authors and the requirements of their membership in various professional and licensing bodies.

The review of policy and legislation was limited to that information directly related to cultural heritage management and is not a comprehensive planning review. Additionally, soundscapes, cultural identity, and sense of place analyses were not integrated into this report.

EXECUTIVE SUMMARY

The Executive Summary only provides key points from the report. The reader should examine the complete report including background, results as well as limitations.

LHC Heritage Planning and Archaeology Inc. (LHC) was retained on 22 December 2022 by Sradhananda Mishra (the “Owner”) to undertake a Scoped Heritage Impact Assessment (HIA) for the property located at 9893 Torbram Road (the “Property”) in the City of Brampton (the “City”), Ontario. The Property is designated under Section 29 Part IV of the *Ontario Heritage Act* (OHA) through By-law 180-84. The designation by-law for the Property includes a brief description of the Property and its cultural heritage value or interest; however, it does not include a list of heritage attributes.

This HIA is being prepared as part of the Consent to Sever and Minor Variance application for 9893 Torbram Road. The owner is proposing to sever 0.09 hectares (ha) of land from the vacant parcel and add it to the temple parcel to provide additional parking. No alterations are proposed for the temple building. The purpose of this HIA is to describe the heritage attributes of the Property; review the proposed alterations; identify adverse impacts on those heritage attributes; and, identify alternatives and mitigation measures to lessen or avoid identified impacts. This HIA was undertaken in accordance with the recommended methodology outlined within the *Ontario Heritage Toolkit* and the *Scoped Heritage Impact Assessment Terms of Reference* for the project, provided by City of Brampton heritage staff.

Based on the preceding review of the designation by-law, the Property’s history and morphology, and the 27 January 2023 site visit, draft heritage attributes were prepared by LHC.

In our Professional Opinion this scoped HIA finds that the proposed severance and addition of parking will not result in any adverse impacts on the cultural heritage value and heritage attributes of the Property. As a result, alternatives and mitigation measures were not explored.

It is recommended that the owner provide a legal survey to City of Brampton heritage staff to allow staff the opportunity to update the temple’s designation by-law with the new legal description. It is also recommended that the designation by-law be updated to remove reference to interior features.

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1.0 INTRODUCTION

LHC Heritage Planning & Archaeology Inc. (LHC) was retained on 22 December 2022 by Sradhananda Mishra (**the “Owner”**) to undertake a Scoped Heritage Impact Assessment (**HIA**) for the property located at 9893 Torbram Road (**the “Property”**) – consisting of two parcels: a vacant parcel and the temple parcel - in the City of Brampton (**the “City”**), Ontario.

The building on this Property was constructed as a Methodist Church in the late nineteenth century. In 1983, it was purchased by the Har Tikvah congregation and converted to a synagogue. In 2018, it became a Hindu Temple.

This HIA is being prepared as part of the Consent to Sever and Minor Variance application for 9893 Torbram Road. The owner is proposing to sever 0.09 hectares (ha) of land from the vacant parcel and add it to the temple parcel to provide additional parking. This HIA was undertaken in accordance with the recommended methodology outlined within the *Ontario Heritage Toolkit* and the *Scoped Heritage Impact Assessment Terms of Reference* for the project, provided by City of Brampton heritage staff for the project.

1.1 Property Owner

The Property is owned by Sradhananda Mishra of 7 Grenville Street, Suite 6205, Toronto, Ontario.

1.2 Property Location

The Property is located on the north side of Torbram Road between North Park Drive and Blue Diamond Drive in the City of Brampton, Ontario (Figure 1).

1.3 Property Description

The Property consists of two parcels: a vacant parcel and the temple parcel. Both parcels are associated with the same municipal address. The vacant parcel is differentiated on the proposal maps as “additional lands owned by the applicant with PIN 14208-0002.” The Property is an irregularly-shaped lot with a total area of 0.07 ha (Figure 2). There is one building associated with the additional lands owned by the applicant (the temple parcel): a one-storey Hindu temple, Jagannath Mandir. A driveway extends from the road past the southeastern corner of the building. A parking area is located from the driveway on the east side of the building to the area behind the building to the north.

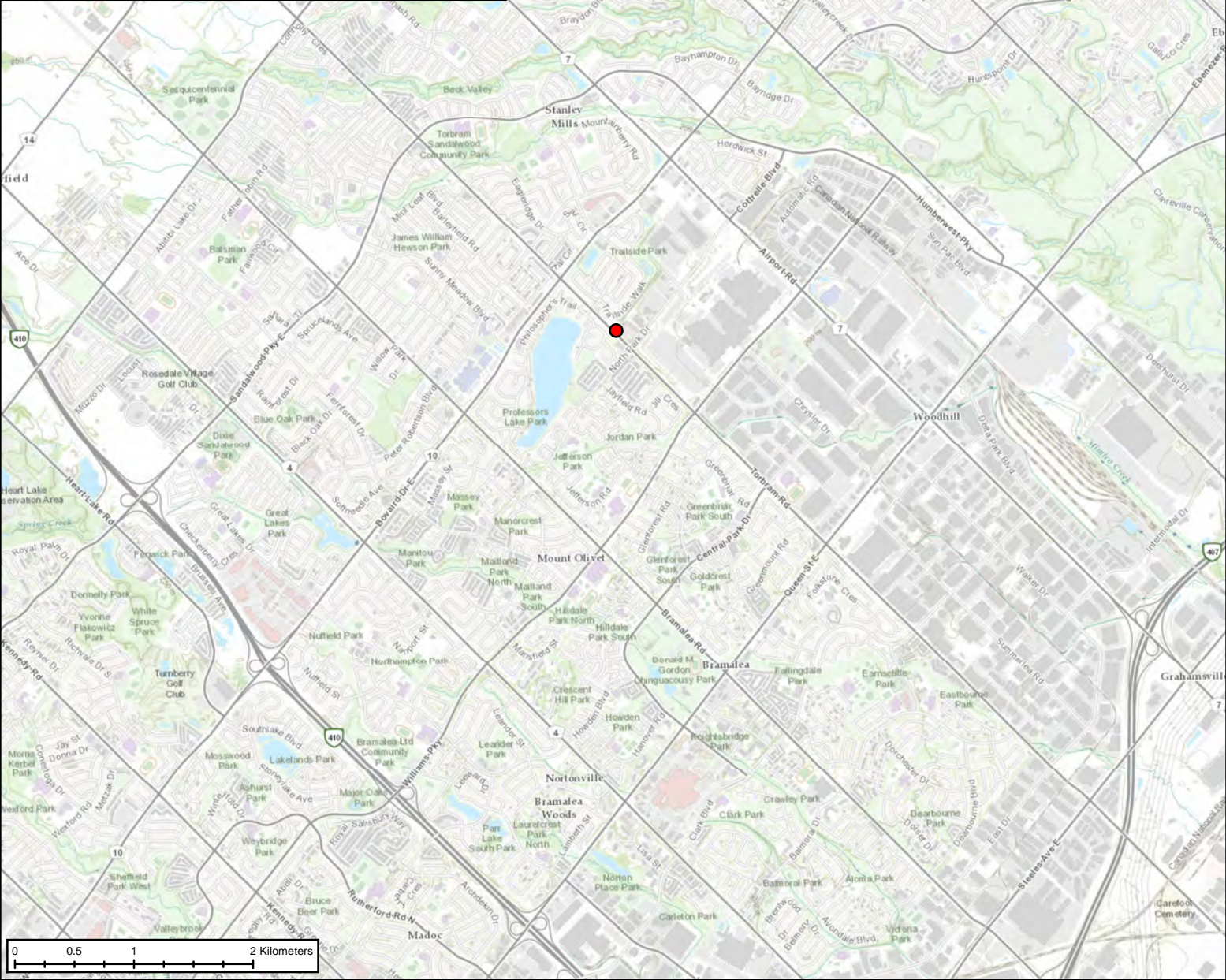
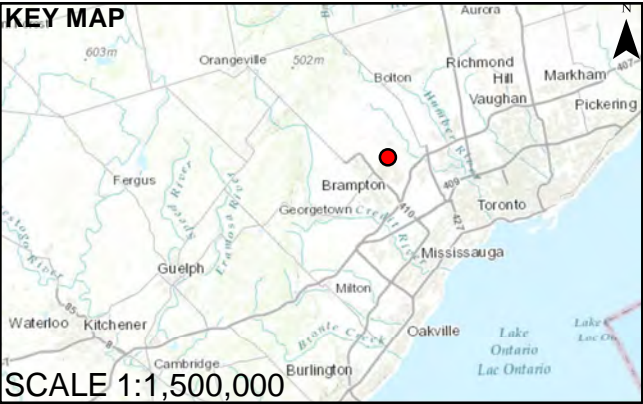
1.4 Property Heritage Status

The Property is designated under *Section 29 Part IV* of the *Ontario Heritage Act (OHA)* through By-Law 180-84. The designation by-law for the Property does not include a list of heritage attributes (see Appendix C).

1.5 Adjacent Properties

The *Provincial Policy Statement (PPS)* defines adjacency for cultural heritage resources as “those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan.”¹ The City of Brampton *Official Plan* does not define adjacent. No protected heritage properties are adjacent to the subject Property. However, Harrison United Church Cemetery, located across the street from the Property, is currently being evaluated for designation under Section 29, Part IV of the *Ontario Heritage Act*.

¹ Province of Ontario, “Provincial Policy Statement,” last modified 1 May 2020, accessed 6 February 2023, <https://files.ontario.ca/mmah-provincial-policy-statement-2020-accessible-final-en-2020-02-14.pdf>, 39.



<p>Legend</p> <p>● Property</p> <p>NOTE(S) 1. All locations are approximate.</p> <p>REFERENCE(S) 1. Service Layer Credits: Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community</p> <p>Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.</p>	<p>TITLE Location of Property</p>	
	<p>CLIENT Gagnon Walker Domes</p>	
	<p>PROJECT Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON</p>	
	<p>CONSULTANT</p>	<p>PROJECT NO. LHC0355</p>
	<p>LHC</p>	<p>2023-03-02</p>
		<p>PREPARED</p>
		<p>DESIGNED</p>
		<p>FIGURE #</p>
		<p>LHC</p>
		<p>JG</p>
		<p>1</p>



<div>Legend</div> <div><div></div>Property</div> <div><div></div>Temple Parcel, PIN#14208-0002</div> <div><div></div>Vacant Parcel</div> <div>NOTE(S) 1. All locations are approximate.</div> <div>REFERENCE(S) 1. Service Layer Credits: Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.</div>	TITLE Current Conditions		
	CLIENT Gagnon Walker Domes		
	PROJECT Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON		PROJECT NO. LHC0355
	CONSULTANT	YYYY-MM-DD	2023-03-03
	<div>LHC</div>	PREPARED	LHC
DESIGNED		JG	
FIGURE #		2	

2.0 STUDY APPROACH

LHC follows a three-step approach to understanding and planning for cultural heritage resources based on the understanding, planning and intervening guidance from the Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* and the *Ontario Heritage Tool Kit*.² Understanding the cultural heritage resource involves:

- Understanding the significance of the cultural heritage resource (known and potential) through research, consultation and evaluation—when necessary.
- Understanding the setting, context and condition of the cultural heritage resource through research, site visit and analysis.
- Understanding the heritage planning regulatory framework around the cultural heritage resource.

The impact assessment is guided by the *Ontario Heritage Tool Kit*, *Heritage Resources in the Land Use Planning Process*, *Information Sheet #5, Heritage Impact Assessments and Conservation Plans* and the *Scoped Heritage Impact Assessment Terms of Reference* for this project, provided by the City of Brampton. A description of the proposed development or site alteration, measurement of development or site impact and consideration of alternatives, mitigation and conservation methods are included as part of planning for the cultural heritage resource. The HIA includes recommendations for design and heritage conservation to guide interventions to the Property.

2.1 City of Brampton Heritage Impact Assessment Terms of Reference

The City has developed guidelines for HIAs produced for properties within the City. The HIA Guidelines require an HIA for a development or redevelopment of a property proposed:

- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is subject to land use planning applications;
- Any property listed or designated in the municipal heritage register, pursuant to Section 27 (1.1) or (1.2) of the *Ontario Heritage Act* that is facing possible demolition; or
- Any property that is subject to land use planning applications and is adjacent to a property designated in the municipal heritage register, pursuant to Section 27 (1.1) of the *Ontario Heritage Act*.³

The Property meets this criterion as a property designated under Section 29 Part IV of the *OHA*.

² Parks Canada, "Standards and Guidelines for the Conservation of Historic Places in Canada," *Canada's Historic Places*, last modified 2010, accessed 6 February 2023, 3.; Ministry of Citizenship and Multiculturalism, "Heritage Property Evaluation," in the *Ontario Heritage Toolkit* (Toronto: Queen's Printer for Ontario, 2006), 18.

³ City of Brampton, "Heritage Impact Assessment Terms of Reference," 2.

2.1.1 Scoped Heritage Impact Assessment Requirements

According to Section 2.3 of the Heritage Impact Assessment Terms of Reference:

Heritage Impact Assessments may be ‘scoped’ based on the specific circumstances and characteristics that apply to a heritage resource. Further consultation with heritage staff will be required to determine when a scoped HIA may be required, as well as requirements for the content.⁴

In consultation with heritage staff at the City of Brampton, this HIA has been scoped to the following:

Table 1: City of Brampton’s Scoped Heritage Impact Assessment Requirements

Requirement	Location
Background Provide a background on the purpose of the HIA by outlining why it was undertaken, by whom, and the date(s) the evaluation took place.	Section 1.0
Background Briefly outline the methodology used to prepare the assessment.	Section 2.0
Introduction to the Subject Property Provide a location plan specifying the subject property, including a site map and aerial photograph at an appropriate scale that indicates the context in which the property and heritage resource is situated.	Figure 1 and Figure 2
Introduction to the Subject Property Briefly document and describe the subject property, identifying all significant features, buildings, landscape, and vistas.	Section 6.0
Introduction to the Subject Property Indicate whether the property is part of any heritage register (e.g. Municipal Register of Cultural Heritage Resources Designated under the Ontario Heritage Act, or Municipal Register of Cultural Heritage Resources).	Section 1.4
Introduction to the Subject Property Document and describe the context including adjacent properties, land uses, etc.	Section 6.0

⁴ City of Brampton, “Heritage Impact Assessment Terms of Reference,” 2.

Requirement	Location
Evaluation of Cultural Heritage Value or Interest Thoroughly document and describe all heritage resources within the subject property, including cultural heritage landscapes, structures, buildings, building elements, building materials, architectural features, interior finishes, natural elements, vistas, landscaping and potential archaeological resources	Section 7.0
Description and Examination of Proposed Development / Site Alterations Provide a description of the proposed development or site alteration in relation to the heritage resource	Section 8.0
Description of Examination of Proposed Development / Site Alterations Indicate how the proposed development or site alteration will impact the heritage resource(s) and neighbouring properties. These may include: <ul style="list-style-type: none"> • Destruction of any, or part of any, significant heritage attributes or features; • Alteration to the historic fabric and appearance; • Shadow impacts on the appearance of a heritage attribute or an associated natural feature or plantings, such as a garden; • Isolation of a heritage attribute from its surrounding environment, context or a significant relationship; • Impact on significant views or vistas within, from, or of built and natural features; • A change in land use where the change in use may impact the property's cultural heritage value or interest; • Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource. 	Section 9.0

Requirement	Location
Mitigation Options, Conservation Methods, and Proposed Alternatives Provide mitigation measures, conservation methods, and / or alternative development options that avoid or limit the direct and indirect impacts to the heritage resource	N/A
Mitigation Options, Conservation Methods, and Proposed Alternatives Evaluate the advantages and disadvantages (pros and cons) of each proposed mitigation measure / option. The mitigation options may include, but are not limited to: <ul style="list-style-type: none"> • Alternative development approaches; • Appropriate setbacks between the proposed development and the heritage resources; • Design guidelines that harmonize mass, setback, setting, and materials; • Limiting height and density; • Compatible infill and additions; • Refer to Appendix 2 for additional mitigation strategies. 	N/A
Mitigation Options, Conservation Methods, and Proposed Alternatives Identify any site planning and landscaping measures that may ensure significant heritage resources are protected and / or enhanced by the development or redevelopment.	N/A
Recommendations Provide clear recommendations for the most appropriate course of action for the subject property and any heritage resources within it.	Section 10.0
Recommendations Failure to provide a clear recommendation as per the significance and direction of the identified cultural heritage resource will result in the rejection of the Heritage Impact Assessment.	Recommendations provided in Section 10.0

Requirement	Location
Executive Summary Provide an executive summary of the assessment findings at the beginning of the report	Page IV
Executive Summary Outline and summarize all recommendations including mitigation strategies, need for the preparation of follow-up plans such as conservation and adaptive reuse plans and other requirements as warranted. Please rank mitigation options from most preferred to least.	Page IV

The HIA must be prepared by qualified heritage professionals qualifications provided in Appendix A) and the final HIA will be submitted in hard copy (5 copies) and in digital copy (PDF or Word).

2.2 Understanding and Describing Cultural Heritage Value or Interest

A Statement of Cultural Heritage Value or Interest has been prepared for the Property; however, the statement – which comprises page 2 of By-Law 180-84 – predates the 2005 amendments to the *OHA* which require a list of heritage attributes be included in the Statement of Cultural Heritage Value or Interest. Based on the existing by-law, augmented by the research and analysis presented in Sections 5.0 and 6.0, a list of heritage attributes for the Property was prepared by LHC and is provided in Section 7.0 of this HIA.

2.3 Legislation and Policy Review

The HIA includes a review of provincial legislation, plans and cultural heritage guidance, and relevant municipal policy and plans. This review outlines the cultural heritage legislative and policy framework that applies to the Property. The impact assessment considers the proposed project against this framework.

2.4 Historical Research

Historical research was undertaken to outline the history and development of the Property and its broader community context. Primary historic material, including air photos and mapping, were obtained from:

- The Ontario Council of University Libraries, Historical Topographic Map Digitization Project;
- The Canadian County Atlas Digital Project;
- University of Toronto;
- National Air Photo Library; and,

- The Region of Peel Archives.

Secondary research was compiled from sources such as: historical atlases, local histories, architectural reference texts, available online sources, and previous assessments. All sources and persons contacted in the preparation of this report are listed as footnotes and in the report's reference list.

2.5 Site Visit

A site visit was undertaken by Cultural Heritage Specialist Colin Yu on 27 January 2023. The primary objective of the site visit was to document and gain an understanding of the Property and its surrounding context. The site visit included documentation of the surrounding area, exterior, and interior views of the structure. Access to the interior was granted by the Property owner.

2.6 Impact Assessment

*Information Sheet #5: Heritage Impact Assessments and Conservation Plans*⁵ and the City's HIA guidelines outline seven potential negative impacts to be considered with any proposed development or property alteration. The impacts include, but are not limited to:

- 1) **Destruction** of any part of any significant heritage attribute or features;
- 2) **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
- 3) **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
- 4) **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
- 5) **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
- 6) **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- 7) **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.

The HIA includes a consideration of direct and indirect adverse impacts on adjacent properties with known or potential cultural heritage value or interest. No adjacent heritage properties have been identified.

⁵ "Info Sheet #5: Heritage Impact Assessments and Conservation Plans," in *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement*, prepared by the Ministry of Culture (Toronto: Queen's Printer for Ontario, 2006), 1-4.

3.0 POLICY AND LEGISLATION CONTEXT

3.1 Provincial Context

In Ontario, cultural heritage is established as a matter of provincial interest directly through the provisions of the *Planning Act*, the Provincial Policy Statement (*PPS*) and the *Ontario Heritage Act* (*OHA*). Cultural heritage resources are managed under Provincial legislation, policy, regulations, and guidelines. Other provincial legislation deals with cultural heritage indirectly or in specific cases. These various acts and the policies under these acts indicate broad support for the protection of cultural heritage by the Province. They also provide a legal framework through which minimum standards for heritage evaluation are established. What follows is an analysis of the applicable legislation and policy regarding the identification and evaluation of cultural heritage.

3.1.1 *Planning Act*, R.S.O. 1990

The *Planning Act* is the primary document for municipal and provincial land use planning in Ontario and was consolidated on 1 January 2023. This Act sets the context for provincial interest in heritage. It states under Part I (2, d):

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as...the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest.⁶

Under Section 1 of *The Planning Act*:

A decision of the council of a municipality, a local board, a planning board, a minister of the Crown and a ministry, board, commission or agency of the government, including the Tribunal, in respect of the exercise of any authority that affects a planning matter...shall be consistent with [the *PPS*].⁷

Details about provincial interest as it relates to land use planning and development in the province are outlined in the *PPS* which makes the consideration of cultural heritage equal to all other considerations concerning planning and development within the province.

3.1.2 Provincial Policy Statement (2020)

The *PPS* provides further direction for municipalities regarding provincial requirements and sets the policy foundation for regulating the development and use of land in Ontario. Land use planning decisions made by municipalities, planning boards, the Province, or a commission or agency of the government must be consistent with the *PPS*. The Province deems cultural

⁶ Province of Ontario, "Planning Act, R.S.O. 1990, c. P.13," last modified 1 January 2023, accessed 7 February 2023, <https://www.ontario.ca/laws/statute/90p13>, Part I (2, d).

⁷ Province of Ontario, "Planning Act," Part I S.5.

heritage and archaeological resources to provide important environmental, economic, and social benefits, and *PPS* directly addresses cultural heritage in Section 1.7.1e and Section 2.6.

Section 1.7 of the *PPS* regards long-term economic prosperity and promotes cultural heritage as a tool for economic prosperity. The relevant subsection states that long-term economic prosperity should be supported by:

1.7.1e encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes.

Section 2.6 of the *PPS* articulates provincial policy regarding cultural heritage and archaeology. The subsections state:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.⁸

The *PPS* makes the consideration of cultural heritage equal to all other considerations and recognizes that there are complex interrelationships among environmental, economic and social factors in land use planning. It is intended to be read in its entirety and relevant policies applied in each situation.

A HIA may be required by a municipality in response to Section 2.6.1 and 2.6.3 to conserve built heritage resources, cultural heritage landscapes, and the heritage attributes of a protected heritage property.

⁸ Province of Ontario, "Provincial Policy Statement," 29.

3.1.3 Ontario Heritage Act, R.S.O. 1990, c. O.18

The *Ontario Heritage Act*, R.S.O. 1990, c. O.18 (**Ontario Heritage Act** or **OHA**) enables the provincial government and municipalities powers to conserve, protect, and preserve the heritage of Ontario. The *Act* is administered by a member of the Executive Council (provincial government cabinet) assigned to it by the Lieutenant Governor in Council. At the time of writing, the *Ontario Heritage Act* is administered by the MCM.⁹ The *OHA* (consolidated on 1 January 2023) and associated regulations set minimum standards for the evaluation of heritage resources in the province and give municipalities power to identify and conserve individual properties, districts, or landscapes of cultural heritage value or interest.¹⁰

Part I (2) of the *OHA* enables the Minister to determine policies, priorities, and programs for the conservation, protection, and preservation of the heritage of Ontario. Individual heritage properties are designated by municipalities under Section 29, Part IV of the *OHA*. An *OHA* designation applies to real property rather than individual structures.

As amended by Regulation 385/21, Section 30.1 of the *OHA* permits municipalities to amend designating by-laws. Formal amendment by-laws are not required in the following cases:

1. Clarify or correct the statement explaining the property's cultural heritage value or interest or the description of the property's heritage attributes.
2. Correct the legal description of the property.
3. Otherwise revise the by-law to make it consistent with the requirements of this Act or the regulations, including revisions that would make a by-law passed before subsection 7 (6) of Schedule 11 to the More Homes, More Choice Act, 2019 comes into force satisfy the requirements prescribed for the purposes of paragraph 2 of subsection 29 (8), if any.¹¹

⁹ Since 1975 the Ontario ministry responsible for culture and heritage has included several different portfolios and had several different names and may be referred to by any of these names or acronyms based on them:

- Ministry of Culture and Recreation (1975-1982),
- Ministry of Citizenship and Culture (1982-1987),
- Ministry of Culture and Communications (1987-1993),
- Ministry of Culture, Tourism and Recreation (1993-1995),
- Ministry of Citizenship, Culture and Recreation (1995-2001),
- Ministry of Tourism, Culture and Recreation (2001-2002),
- Ministry of Culture (2002-2010),
- Ministry of Tourism, Culture and Sport (2011-2019),
- Ministry of Heritage, Sport, Tourism, and Culture Industries (2019-2022),
- Ministry of Tourism, Culture and Sport (2022),
- Ministry of Citizenship and Multiculturalism (2022-present).

¹⁰ Province of Ontario, "Ontario Heritage Act, R.S.O. 1990, c. O.18," last modified 1 January 2023, accessed 7 February 2023, <https://www.ontario.ca/laws/statute/90o18>.

¹¹ Province of Ontario, "Ontario Heritage Act," Section 30.1 (2).

Updating the heritage attributes in this Property's heritage designation by-law would not require a formal amending by-law.

3.1.4 Places to Grow Act, 2005 S.O. 2005

The *Places to Grow Act* guides growth in the province and enables the *Growth Plan* (described below). It was consolidated 1 June 2021 and is intended:

- a) to enable decisions about growth to be made in ways that sustain a robust economy, build strong communities and promote a healthy environment and a culture of conservation;
- b) to promote a rational and balanced approach to decisions about growth that builds on community priorities, strengths and opportunities and makes efficient use of infrastructure;
- c) to enable planning for growth in a manner that reflects a broad geographical perspective and is integrated across natural and municipal boundaries;
- d) to ensure that a long-term vision and long-term goals guide decision-making about growth and provide for the co-ordination of growth policies among all levels of government. A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2020).

The Property is located within the area regulated by *A Place to Grow: Growth Plan for the Greater Golden Horseshoe (the Growth Plan)*, which came into effect on 16 May 2019 and was consolidated on 28 August 2020.

In Section 1.2.1, the *Growth Plan* states that its policies are based on key principles, which includes:

Conserve and promote cultural heritage resources to support the social, economic, and cultural well-being of all communities, including First Nations and Métis communities.¹²

Section 4.1 Context, in the *Growth Plan* describes the area it covers as containing:

...a broad array of important hydrologic and natural heritage features and areas, a vibrant and diverse agricultural land base, irreplaceable cultural heritage resources, and valuable renewable and non-renewable resources.¹³

It describes cultural heritage resources as:

The *Growth Plan* also contains important cultural heritage resources that contribute to a sense of identity, support a vibrant tourism industry, and attract

¹² Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," last modified 28 August 2020, accessed 7 February 2023, <https://files.ontario.ca/mmah-place-to-grow-office-consolidation-en-2020-08-28.pdf>, 6.

¹³ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 39.

investment based on cultural amenities. Accommodating growth can put pressure on these resources through development and site alteration. It is necessary to plan in a way that protects and maximizes the benefits of these resources that make our communities unique and attractive places to live.¹⁴

Policies specific to cultural heritage resources are outlined in Section 4.2.7, as follows:

- i. Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas;
- ii. Municipalities will work with stakeholders, as well as First Nations and Métis communities, in developing and implementing official plan policies and strategies for the identification, wise use and management of cultural heritage resources; and,
- iii. Municipalities are encouraged to prepare archaeological management plans and municipal cultural plans and consider them in their decision-making.¹⁵

Amendment 1 to *A Place to Grow* aligns the definitions of *A Place to Grow* with the PPS 2020.

3.1.5 Provincial Planning Context Summary

In summary, cultural heritage resources are considered an essential part of the land use planning process with their own unique considerations. As the province, these policies and guidelines must be considered by the local planning context. In general, the province requires significant cultural heritage resources to be conserved.

Multiple layers of municipal legislation enable a municipality to require a HIA for alterations, demolition or removal of a building or structure from a listed or designated heritage property. These requirements support the conservation of cultural heritage resources in Ontario following provincial policy direction. The application of these policies to this specific project are discussed in Section 9.0 of this report.

3.2 Local Framework

3.2.1 Region of Peel Official Plan (2022)

The *Region of Peel Official Plan (ROP)* was adopted by Regional Council on 28 April 2022 - through By-law 20-2022 - and was approved with modifications by the Ministry of Municipal Affairs and Housing on 4 November 2022.

The *ROP*'s purpose is to guide land use planning policies and "provide a holistic approach to planning through an overarching sustainable development framework that integrates

¹⁴ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 39.

¹⁵ Province of Ontario, "A Place to Grow: Growth Plan for the Greater Golden Horseshoe," 47.

environmental, social, economic and cultural imperatives.”¹⁶ The *ROP* recognizes the importance of cultural heritage for the region to develop healthy and sustainable communities.

Section 3.6 of the *ROP* outlines cultural heritage policies and states that:

The Region encourages and supports conservation of the cultural heritage resources of all peoples whose stories inform the history of Peel. The Region recognizes the significant role of heritage in establishing a shared sense of place, contributing to environmental sustainability and developing the overall quality of life for residents and visitors to Peel. The Region supports the identification, conservation and interpretation of cultural heritage resources, including but not limited to the built heritage resources, structures, archaeological resources, and cultural heritage landscapes (including properties owned by the Region or properties identified in Regional infrastructure projects), according to the criteria and guidelines established by the Province.¹⁷

The objectives of the Region’s cultural heritage policies are as follows:

3.6.1 To identify, conserve and promote Peel’s non-renewable cultural heritage resources, including but not limited to built heritage resources, cultural heritage landscapes and archaeological resources for the well-being of present and future generations.

3.6.4 To support the heritage policies and programs of the local municipalities.

The policies established to attain these goals, and those that pertain to the Property are as follows:

3.6.7 In cooperation with the local municipalities, ensure the adequate assessment, preservation or mitigation, where necessary or appropriate, of archaeological resources, as prescribed by the Ministry of Heritage, Sport, Tourism and Culture Industries’ archaeological assessment standards and guidelines.

3.6.10 Require local municipal official plans to include policies where the proponents of development proposals affecting cultural heritage resources provide sufficient documentation to meet provincial requirements and address the Region’s objectives with respect to cultural heritage resources.

Region of Peel policies and objectives outline their commitment to the conservation of cultural heritage resources and their encouragement and support of municipal policies to further this

¹⁶ Region of Peel, “Region of Peel Official Plan,” last modified 4 November 2022, accessed 7 February 2023, https://www.peelregion.ca/officialplan/download/_media/region-of-peel-official-plan-approved-final.pdf.

¹⁷ Region of Peel, “Region of Peel Official Plan,” 110.

goal. The Region requires that municipalities implement policies requiring heritage impact assessments for development proposals that impact cultural heritage resources. This HIA meets the requirements set out by the Region for conservation and sufficient documentation.

3.2.2 City of Brampton Official Plan (2006, consolidated 2020)

The *City of Brampton Official Plan (OP)* was adopted on 11 October 2006, partially approved by the Region of Peel on 24 January 2008 and partially approved by the Ontario Municipal Board on 7 October 2008. The City has been developing a new *OP* since 2019 which will plan for 2040. The most recent consolidation dates to September 2020.

The *OP*'s purpose is to guide land use planning decisions until 2031 with clear guidelines for how land use should be directed, and which ensures that "cultural heritage will be preserved and forms part of the functional components of the daily life".¹⁸ Regarding cultural heritage the *OP* notes that:

Brampton's rich cultural heritage also provides a foundation for planning the future of the City as our heritage resources and assets contribute to the identity, character, vitality, economic prosperity, quality of life and sustainability of the community as a whole. Cultural heritage is more than just buildings and monuments, and includes a diversity of tangible and intangible resources, including structures, sites, natural environments, artifacts and traditions that have historical, architectural, archaeological, cultural and contextual values, significance or interest.¹⁹

Section 4.10 (Cultural Heritage) of the *OP* identifies the conservation of heritage resources as providing a "vital link with the past and a foundation for planning the future..." and highlights the importance of cultural heritage landscapes, intangible heritage, and maintaining of context.²⁰

Section 4.10 states the objectives of its cultural heritage policies are to:

- a) Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations; and,
- b) Preserve, restore and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and preserve cultural heritage landscapes, including significant public views.

¹⁸ City of Brampton, "Official Plan," last modified September 2020, accessed 7 February 2023, https://www.brampton.ca/EN/City-Hall/Official-Plan/Documents/Sept2020_Consolidated_OP_2006.pdf, 1.

¹⁹ City of Brampton, "Official Plan," 2-4.

²⁰ City of Brampton, "Official Plan," 4.9 -1.

Cultural heritage policies relevant to the Property include the following:

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

The *OP* includes cultural heritage policies related to the preparation of an HIA. These include the following:

4.10.1.10 A Heritage Impact Assessment, prepared by qualified heritage conservation professional, shall be required for any proposed alteration, construction, or development involving or adjacent to a designated heritage resource to demonstrate that the heritage property and its heritage attributes are not adversely affected. Mitigation measures and/or alternative development approaches shall be required as part of the approval conditions to ameliorate any potential adverse impacts that may be caused to the designated heritage resources and their heritage attributes. Due consideration will be given to the following factors in reviewing such applications:

- (i) The cultural heritage values of the property and the specific heritage attributes that contribute to this value as described in the register;
- (ii) The current condition and use of the building or structure and its potential for future adaptive re-use; and,
- (vi) Planning and other land use considerations.

4.10.1.11 A Heritage Impact Assessment may also be required for any proposed alteration work or development activities involving or adjacent to heritage resources to ensure that there will be no adverse impacts caused to the resources and their heritage attributes. Mitigation measures shall be imposed as a condition of approval of such applications.

The City of Brampton's policies require the conservation of cultural heritage resources and the submission of a heritage impact assessment to assess potential impacts and determine mitigation measures. This HIA meets these requirements.

3.2.3 Local Planning Context Summary

The Region of Peel and the City of Brampton consider cultural heritage resources to be of value to the community and values them in the land use planning process. Through their *OP* policies, the Region and the City have committed to identifying and conserving cultural heritage resources.

4.0 RESEARCH AND ANALYSIS

The following section provides an overview of supplemental historical context that has been reviewed in addition to the history of the Property presented on page two of the designation by-law, in order to articulate the Property's heritage attributes.

4.1 Early Indigenous History

4.1.1 Paleo Period (9500 – 8000 BCE)

The cultural history of southern Ontario began around 11,000 years ago following the retreat of the Wisconsin glacier.²¹ During this archaeological period, known as the Paleo period (9500-8000 BCE), the climate was similar to the present-day sub-arctic and vegetation was largely spruce and pine forests.²² The initial occupants of the province had distinctive stone tools. They were nomadic big-game hunters (i.e., caribou, mastodon, and mammoth) who lived in small groups and travelled over vast areas, possibly migrating hundreds of kilometres in a single year.²³

4.1.2 Archaic Period (8000 – 1000 BCE)

During the Archaic archaeological period (8000-1000 BCE) the occupants of southern Ontario continued their migratory lifestyles, although living in larger groups and transitioning towards a preference for smaller territories of land – possibly remaining within specific watersheds. People refined their stone tools during this period and developed polished or ground stone tool technologies. Evidence of long-distance trade has been found on archaeological sites from the Middle and Later Archaic times; including items such as copper from Lake Superior, and marine shells from the Gulf of Mexico.²⁴

4.1.3 Woodland Period (1000 BCE – CE 1650)

The Woodland archaeological period in southern Ontario (1000 BCE – CE 1650) represents a marked change in subsistence patterns, burial customs, and tool technologies, as well as the introduction of pottery making. The Woodland period is sub-divided into the Early Woodland (1000–400 BCE), Middle Woodland (400 BCE – CE 500) and Late Woodland (CE 500 - 1650).²⁵ The Early Woodland is defined by the introduction of clay pots which allowed for preservation and easier cooking.²⁶ During the Early and Middle Woodland, communities grew and were

²¹ Christopher Ellis and D. Brian Deller, "Paleo-Indians," in *The Archaeology of Southern Ontario to A.D. 1650*, ed. Christopher Ellis and Neal Ferris (London, ON: Ontario Archaeological Society, London Chapter, 1990), 37.

²² Toronto Region Conservation Authority, "Chapter 3: First Nations," in *Greening Our Watersheds: Revitalization Strategies for Etobicoke and Mimico Creeks*, prepared by the Toronto Region Conservation Authority (Toronto, ON, 2001).

²³ Toronto Region Conservation Authority, "Chapter 3: First Nations."

²⁴ Toronto Region Conservation Authority, "Chapter 3: First Nations."

²⁵ Toronto Region Conservation Authority, "Chapter 3: First Nations."

²⁶ Toronto Region Conservation Authority, "Chapter 3: First Nations."

organized at a band level. Peoples continued to follow subsistence patterns focused on foraging and hunting.

Woodland populations transitioned from a foraging subsistence strategy towards a preference for agricultural village-based communities around during the Late Woodland. During this period people began cultivating maize in southern Ontario. The Late Woodland period is divided into three distinct stages: Early Iroquoian (CE 1000–1300); Middle Iroquoian (CE 1300–1400); and Late Iroquoian (CE 1400–1650).²⁷ The Late Woodland is generally characterised by an increased reliance on cultivation of domesticated crop plants, such as corn, squash, and beans, and a development of palisaded village sites which included more and larger longhouses. By the 1500s, Iroquoian communities in southern Ontario – and more widely across northeastern North America – organized themselves politically into tribal confederacies. South of Lake Ontario, the Haudenosaunee Confederacy comprised the Mohawks, Oneidas, Onondagas, Cayugas, and Senecas, while Iroquoian communities in southern Ontario included the Petun, Huron, and Neutral Confederacies.²⁸

4.2 Seventeenth- and Eighteenth-Century Historic Context

French explorers and missionaries began arriving in southern Ontario during the first half of the 17th century, bringing with them diseases for which the Indigenous peoples had no immunity, contributing to the collapse of the three southern Ontario Iroquoian confederacies. Also contributing to the collapse and eventual dispersal of the Huron, Petun, and Attiwandaron, was the movement of the Haudenosaunee Confederacy from south of Lake Ontario. Between 1649 and 1655, the Haudenosaunee Confederacy waged war on the Huron, Petun, and Attiwandaron, pushing them out of their villages and the general area.²⁹

As the Haudenosaunee Confederacy moved across a large hunting territory in southern Ontario, they began to threaten communities further from Lake Ontario, specifically the Ojibway (Anishinaabe). The Anishinaabe had occasionally engaged in conflict with the Haudenosaunee Confederacy over territories rich in resources and furs, as well as access to fur trade routes; but in the early 1690s, the Ojibway, Odawa and Patawatomi, allied as the Three Fires, initiated a series of offensive attacks on the Haudenosaunee Confederacy, eventually forcing them back to the south of Lake Ontario.³⁰ Oral tradition indicates that the Mississauga played an important role in the Anishinaabe attacks against the Haudenosaunee.³¹ A large group of Mississauga established themselves in the area between present-day Toronto and Lake Erie around 1695, the descendants of whom are the Mississaugas of the Credit.³² Artifacts from all major

²⁷ Toronto Region Conservation Authority, “Chapter 3: First Nations.”

²⁸ Toronto Region Conservation Authority, “Chapter 3: First Nations.”; Haudenosaunee Confederacy, “Who Are We,” accessed 9 February 2023, <https://www.haudenosauneeconfederacy.com/who-we-are/>.

²⁹ Mississaugas of the Credit First Nation, “Community Profile,” accessed 9 February 2023, <https://mncfn.ca/about-mncfn/community-profile/>.

³⁰ Mississaugas of the Credit First Nation, “Community Profile.”

³¹ Mississaugas of the Credit First Nation, “Community Profile.”

³² Mississaugas of the Credit First Nation, “Community Profile.”

Indigenous communities have been discovered in the Greater Toronto Area at over 300 archaeological sites.³³

4.3 Survey and Early Euro-Canadian Settlement

The Seven Years War (1756-1763) between Great Britain and France and the American Revolution (1775-1783) lead to a push by the British Crown for greater British settlement in Canada leading to treaties.³⁴ The Property is located within the Treaty Lands and Territory of the Mississaugas of the Credit First Nation and the Ajetance, Treaty No. 19 (1818) which expanded on the Head of the Lake, Treaty No. 14 (1806) along Lake Ontario (Figure 3).³⁵

As the Mississaugas of the Credit First Nation write:

In addition to their three small reserves located on the Lake Ontario shoreline, the Mississaugas of the Credit held 648,000 acres of land north of the Head of the Lake Purchase lands and extending to the unceded territory of the Chippewa of Lakes Huron and Simcoe. In mid-October 1818, the Chippewa ceded their land to the Crown in the Lake Simcoe-Nottawasaga Treaty and, by the end of October, the Crown sought to purchase the adjacent lands of the Mississaugas of the Credit.

The Deputy Superintendent of the Indian Department, William Claus, met with the Mississaugas from October 27-29, 1818, and proposed that the Mississaugas sell their 648,000 acres of land in exchange for an annual amount of goods. The continuous inflow of settlers into their lands and fisheries had weakened the Mississaugas' traditional economy and had left them in a state of impoverishment and a rapidly declining population. In their enfeebled state, Chief Ajetance, on behalf of the assembled people, readily agreed to the sale of their lands for £522.10 of goods paid annually.³⁶

The Property is also within the traditional territory of the Haudenosaunee and Huron Wendat.

³³ Toronto Region Conservation Authority, "Archaeology Opens a Window on the History of Indigenous Peoples in the GTA," last modified 21 June 2018, accessed 9 February 2023, <https://trca.ca/news/archaeology-indigenous-peoples-gta/>.

³⁴ Peel Art Gallery, Museum, and Archives, "About Peel," *Peeling the Past*, accessed 9 February 2023, <https://peelarchivesblog.com/about-peel/>.

³⁵ Donna Duric, "Ajetance Treaty, No. 19 (1818)," *Mississaugas of the Credit First Nations*, last modified 4 November 2020, accessed 9 February 2023, <https://mncfn.ca/ajetance-treaty-no-19-1818/>; Peel Art Gallery, Museum, and Archives, "About Peel."

³⁶ Duric, "Ajetance Treaty, No. 19 (1818)."

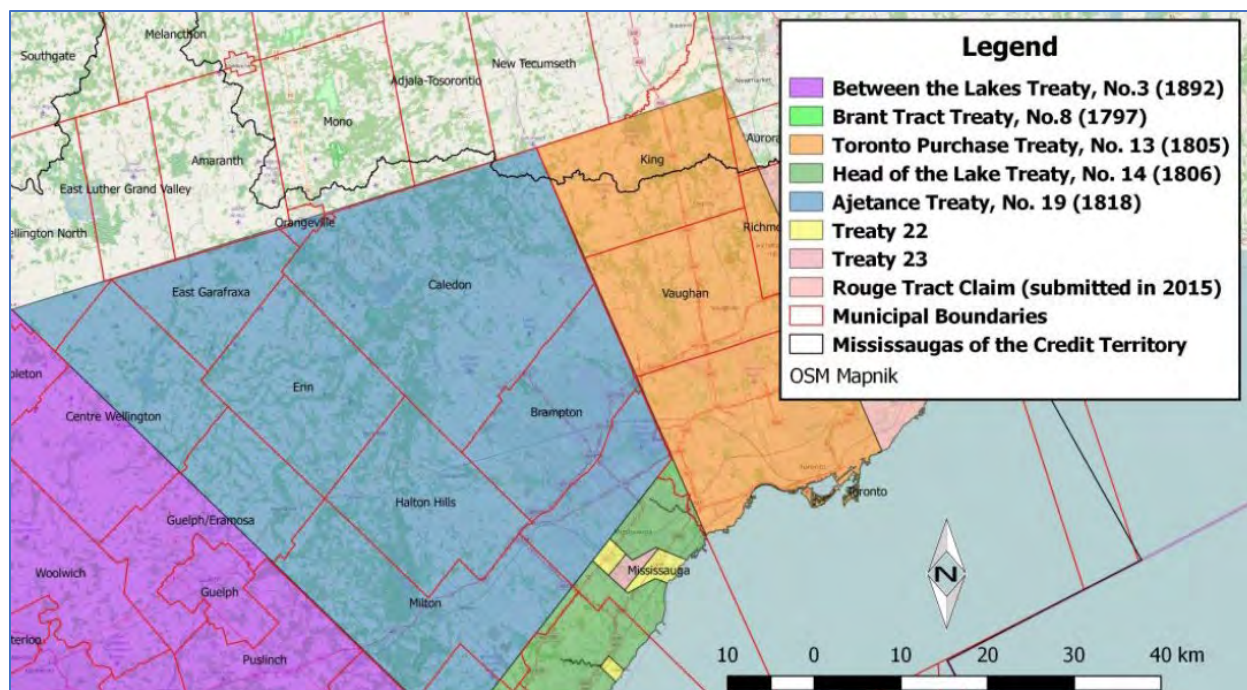


Figure 3: Ajetance Treaty, No. 19 Map³⁷

4.4 Chinguacousy Township and Peel County

In 1788, the Province of Quebec's government created districts and counties to serve as administrative bodies from the local level.³⁸ The first Districts were Hesse, Nassau, Mecklenburg, and Lunenburg. These four Districts would be renamed Western, Home, Midland, and Eastern, respectively, in 1792.³⁹ The Property is located in the former Nassau or Home district.

Until the signing of the Ajetance Treaty, the land that would become Chinguacousy Township and Peel County was owned and occupied by Indigenous groups. The Ajetance Treaty was signed in 1818. In 1819, the Townships of Albion, Caledon, and Chinguacousy were surveyed by Richard Bristol and Timothy Street on the newly acquired Ajetance Treaty lands.⁴⁰ They described the land as "low, swampy and covered with dense hardwood".⁴¹ Chinguacousy Township was named by Lieutenant Governor Sir Peregrine Maitland for the Mississauga

³⁷ Mississaugas of the Credit First Nation, "Community Profile."

³⁸ Archives of Ontario, "The Changing Shape of Ontario: Early Districts and Counties 1788-1899," *Government of Ontario*, accessed 9 February 2023, <http://www.archives.gov.on.ca/en/maps/ontario-districts.aspx>.

³⁹ Archives of Ontario, "The Changing Shape of Ontario."

⁴⁰ Town of Caledon, "Arts, Culture, and Heritage," accessed 9 February 2023, <https://www.caledon.ca/en/living-here/arts-culture-and-heritage.aspx#:~:text=Originally%20surveyed%20in%201818%20and,rivers%20and%20at%20various%20crossroads>.

⁴¹ Tourism Brampton, "Brampton History," *City of Brampton*, accessed 9 February 2023, <https://www.brampton.ca/en/Arts-Culture-Tourism/Tourism-Brampton/Visitors/Pages/BramptonHistory.aspx>.

designation for the Credit River which means “young pine”. The name also resembles the name of Ottawa chief Shingacouse, but this is believed to be a coincidence.⁴²

A “New Survey” method was used in the creation of smaller Townships within the County of Peel. Traditionally, 200 acre lots were the preferred method of surveying a town. However, these townships granted 100-acre square lots in order to provide everyone with access to a transportation route and ease of farming.⁴³ They also used the ‘double-front’ system and established concession numbers running east (E.H.S) and west (W.H.S) from a baseline laid through the centre of the township (today Hurontario Street/Main Street). Lot numbers were assigned running south to north. The first township in Peel was Toronto Township.⁴⁴ The name Peel was given in honour of Sir Robert Peel, who held many senior British government posts.⁴⁵

Many early settlers to Chinguacousy Township came from New Brunswick, parts of Upper Canada including the Niagara region, and the United States, as descendants of United Empire Loyalists.⁴⁶ Chinguacousy and Toronto Gore Township operated together until the latter separated in 1831.⁴⁷ Chinguacousy Township would reach a population peak of 7,469 inhabitants, a figure that was not reached by other townships until the 1870s.⁴⁸

The Townships were initially run by the elected Home District Council for York County which was dissolved in 1850 in favour of smaller counties.⁴⁹ The authority of self-governance before the dissolution of the Home District Council was minor.⁵⁰ The County of Peel was established in 1851 as a subsection of the United Counties of York, Ontario, and Peel, and included Toronto, Toronto Gore, Chinguacousy, Caledon, and Albion Townships.⁵¹ In 1854, Ontario County separated from the United Counties and in 1866, Peel became an independent county, with the village of Brampton chosen as the County seat in 1867.⁵² Peel quickly grew and by the late 19th century a shift from small self-sustaining family farms to larger business/export-oriented farms contributed to its growth. By 1873, the construction of the Toronto Grey & Bruce, Hamilton &

⁴² Alan Rayburn, *Place Names of Ontario* (Toronto, ON: University of Toronto Press, 1997), <https://archive.org/details/placenamesofonta0000rayb>, 68.

⁴³ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867,” last modified 25 April 2017, accessed 9 February 2023, <https://peelarchivesblog.com/2017/04/25/the-creation-of-the-county-of-peel-1851-1867/>.

⁴⁴ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867.”

⁴⁵ Alan Rayburn, *Place Names of Ontario*, 266.

⁴⁶ J.H. Pope, *Illustrated Historical Atlas of the County of Peel* (Toronto, ON: Walker and Miles, 1877), 64.

⁴⁷ Corporation of the County of Peel, *A History of Peel County to Mark its Centenary* (Peel, ON: Charters Publishing Company, 1967).

⁴⁸ Corporation of the County of Peel, *A History of Peel County to Mark its Centenary*, 249.

⁴⁹ Peel Art Gallery, Museum, and Archives, “About Peel.”

⁵⁰ Peel Art Gallery, Museum, and Archives, “About Peel.”

⁵¹ Peel Art Gallery, Museum, and Archives, “The Creation of the County of Peel, 1851-1867.”

⁵² Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953* (Toronto, ON: Charters Publishing Company Limited, 1953), <https://archive.org/details/brampton-centennial-souvenir/page/n15/mode/2up>, 29.

Northwestern, and Credit Valley rails throughout Peel County allowed the county to prosper and local products were shipped to other parts of Ontario.⁵³

Growth following World War II led to the creation of the Regional Municipality of Peel in 1974.⁵⁴ Caledon, Brampton, and Mississauga became the three lower tier municipalities and Peel Region became the Upper Tier. Responsibility of the Upper Tier was for many over arching services, such as: public health, utility services, and policing.⁵⁵ Lower Tier municipalities were responsible for local matters and included: property assessment, tax collection, public transit, and libraries. In 1974, Peel Region had a total population of 334,750⁵⁶ and by 2021, it had a total population of 1,451,022.⁵⁷

4.5 City of Brampton

Between 1827 and 1832, the only building in the area was a small tavern at Salisbury, on Concession 1, Lot 8, E.H.S. Martin Salisbury operated a tavern and inn which contained most of the business in the area. The 1827 assessment roll indicates Salisbury only had one horse and one cow but assessed him as having £211.⁵⁸ Soon after, William Buffy constructed a tavern at the Four Corners (now the intersection of Main Street and Queen Street). John Scott, a magistrate, built a small store, a potashery, a distillery, and a mill.⁵⁹ By 1834, the first lots in the settlement were surveyed out by John Elliott, who also gave the settlement the name of Brampton, in homage to his hometown of Brampton, Cumberland, England. He and another settler named William Lawson were staunch members of the Primitive Methodist movement and they established a strong Methodist presence in the area.⁶⁰ According to the 1837 *Toronto and Home District Directory*, there were 18 inhabitants.⁶¹

The village began to grow from the intersection of Hurontario and Queen Streets, on a floodplain of the Etobicoke Creek. By 1846, the village had two stores, a tavern, tannery, cabinetmaker, two blacksmiths and two tailors and the population had reached 150 people. In 1853, Brampton was officially incorporated as a village with a population of over 500 inhabitants. Several churches were built, along with a grammar school, distilleries, several

⁵³ Town of Caledon, "Arts, Culture and Heritage."

⁵⁴ Peel Art Gallery, Museum, and Archives, "About Peel."

⁵⁵ Peel Art Gallery, Museum, and Archives, "About Peel."

⁵⁶ Peel Art Gallery, Museum, and Archives, "About Peel."

⁵⁷ Statistics Canada, "Census Profile, 2021 Census of Population, Profile Table," accessed 9 February 2023, <https://www12.statcan.gc.ca/census-recensement/2021/dp-pd/prof/details/page.cfm?Lang=E&SearchText=Peel&DGUIDlist=2021A00033521&GENDERlist=1,2,3&STATISTIClist=1&HEADERlist=0>.

⁵⁸ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 13.

⁵⁹ Brampton Historical Society, "A Tavern in the Town," *Buffy's Corner* 3, No. 1 (2001): 6, accessed 9 February 2023, <http://nebula.wsimg.com/ab724bf29292825400659426003351b8?AccessKeyId=B6A04BC97236A848A092&disposition=0&alloworigin=1>.

⁶⁰ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 13.

⁶¹ George Walton, *The City of Toronto and the Home District Commercial Directory and Register with Almanack and Calendar for 1837* (Toronto: T. Dalton & W.J. Coates, 1837).

stores and John Haggert's agricultural implements factory. The local economy was growing, and the village supported the surrounding farms and rural hamlets in the township.⁶²

The village of Brampton was chosen as the County seat in 1867 as the government buildings were built at a cost of \$40,000.⁶³ In 1873, Brampton was incorporated as a town with John Haggert elected as the first mayor. By 1877, there were 2,551 inhabitants and the town had two bank branches, two telegraph offices, five hotels, a curling and skating rink, several mills, and carriage factories.⁶⁴

A new industry was emerging in Brampton by the mid-Victorian era. In 1863, Edward Dale and his young family arrived in Brampton from England, where Edward had struggled through hard economic times as a market gardener.⁶⁵ Within a few short years, Brampton became known as the "Flowertown of Canada" and soon Dale's Nursery was Brampton's largest employer. By the turn of the century, hundreds of acres of land were filled with greenhouses growing prize orchids, hybrid roses and many other quality flowers. Most of these flowers were grown for export around the world.⁶⁶

The twentieth century brought new industries to the town, mostly along the railway line, including the Williams Shoe factory, the Copeland-Chatterson Loose-Leaf Binder company and the Hewetson Shoe factory. Major banks established branches on the Four Corners.⁶⁷ In 1907, American industrialist Andrew Carnegie's Andrew Carnegie Foundation donated \$12,500 to construct a library in Brampton⁶⁸ and the population reached 4,000 people by 1910.⁶⁹ Brampton's citizens endured two world wars and the Great Depression during the first half of the twentieth century. These major world events took their toll on the local economy. Some factories closed and the flower industry began a slow but steady decline.

The City slowly transformed after the Second World War. In the late 1940s and 1950s, the automobile began to change the landscape, as did rapid urban growth in Toronto as new subdivisions began to develop. In 1959, Bramalea was created and touted as "Canada's first satellite city". Bramalea was a planned community built to accommodate 50,000 people by integrating houses, shopping centres, parks, commercial business and industry.⁷⁰

⁶² Tourism Brampton, "Brampton History."

⁶³ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*.

⁶⁴ Pope, *The Illustrated Atlas of the County of Peel, Ont.*, 87-88.

⁶⁵ Thomas H.B. Symons, "Brampton's Dale Estate," *Ontario Heritage Trust*, accessed 9 February 2023, <https://www.heritagetrust.on.ca/en/pages/programs/education-and-outreach/presentations/bramptons-dale-estate>.

⁶⁶ Tourism Brampton, "Brampton History."

⁶⁷ Tourism Brampton, "Brampton History."

⁶⁸ Corporation of the Town of Brampton, *Brampton Centennial Souvenir 1853-1953*, 57.

⁶⁹ Tourism Brampton, "Brampton History."

⁷⁰ Nick Moreau, "Brampton," *The Canadian Encyclopedia*, last modified 28 November 2022, accessed 9 February 2023, <https://www.thecanadianencyclopedia.ca/en/article/brampton>.

The Province of Ontario began reviewing various municipalities in the mid-1960s. Peel County was facing increasing growth and urbanization. The abilities of its ten municipal governments varied greatly. By combining them into three municipalities, each could better react to and plan for the complex needs of residents at a regional level. In 1974, the provincial government created Caledon, Mississauga, and Brampton. The City of Brampton was created from the combination of the Town of Brampton, Toronto Gore Township, the southern half of Chinguacousy Township, and a portion of the Town of Mississauga.⁷¹ Brampton is now Canada's ninth-largest municipality with a population of 656,480 according to the 2021 Census.⁷²

4.6 Property History

In the early 1800s, Methodist ministers travelled from community to community in a pre-determined circuit to preach to their congregations. Similarly, Methodist congregations did not initially have a church where they worshiped. Instead, they worshipped in a public building or a local community member's house until a church could be constructed. Emmanuel Harrison's log house served as the original meeting house for the Methodist congregation in the area from 1821 until the 1840s when the first church was constructed.⁷³

On 2 May 1840, Emmanuel Harrison Senior granted one acre of land to the Trustees of the Wesleyan Methodist Church for the establishment of a cemetery and the construction of a church. The first church was a wood frame construction with a roughcast exterior measuring approximately forty by sixty feet. It was located in the centre of the cemetery and was used by the congregation until the second church was constructed (Figure 5). After the congregation moved to the second church, the original church was used for social events like concerts and tea meetings until it was torn down in 1880. The cemetery remained.⁷⁴ It is still extant and located across the street from the Property.

On 13 November 1875, John Stubbings granted the Property to the Trustees of the church for the construction of a new church (Figure 5). A large portion of the building fund for the new church was comprised of legacies left by Emmanuel Harrison Sr. and George Elliott. The Building Committee was comprised of Trustees Fennel Winters, William Elliott, and Thomas Holtby with James Voakes as Contractor and William McCulla as mason. Trustee John Stubbings and his wife - who lived adjacent to the cemetery - offered accommodations and meals to the Building Committee for the duration of construction. Compensation was only expected for meals. The church officially opened in February of 1876.⁷⁵

The Ladies Aid, later known as the Harrison United Church Women, was established on 2 November 1911. Their first resolution was to establish the practice that the women of the

⁷¹ Moreau, "Brampton."

⁷² Moreau, "Brampton."

⁷³ Barbara Stanley, *Harrison United Church Centennial Jubilee 1876-1976* (Bramalea, ON: Harrison United Church Women, 1976), Region of Peel Archives Collection, 2-3.

⁷⁴ Stanley, *Harrison United Church*, 3.

⁷⁵ Stanley, *Harrison United Church*, 4.

congregation clean the church and the men of the congregation facilitate repairs to the building. This resolution was initially intended for a specific instance, but it became the general practice of the congregation. In 1925, the Methodist, Congregational Union, and much of the Presbyterian Churches amalgamated forming the United Church of Canada. At this time, Harrison Methodist Church changed its name to Harrison United Church.⁷⁶

The rose window was part of the original construction. The vestibule initially had a flat roof with “a steeple-shaped tower on each front corner (Photo 1).”⁷⁷ The interior originally contained a balcony over the south end of the building and a two-storey section on the north end. The upper part of the east end balcony was used by the choir while the lower section was used by the Sunday School. In 1947, the congregation undertook renovations of the church. The basement, several windows, and new lighting were added. With the Sunday School occupying the new basement, the lower level of the north end balcony was removed. Additionally, the window on the north elevation was covered leaving only the arch. In 1959, the balcony at the south end of the interior was remodeled as a raised platform. In 1968, Grant Elliott gifted an acre of adjacent land to the church for future expansion (Figure 6 and Figure 7). It is unclear when the vestibule was given its current roof (Photo 2). However, the drawing on the front cover of the church history compiled by the United Church Women suggests that it was in place by the book’s date of publication.⁷⁸

In 1983, the Har Tikvah Congregation of Brampton purchased the building and converted it into a synagogue. New stained glass windows were installed on the east elevation and an ark was constructed to house the Torahs. In 1998, additional land was purchased to the north of the building to accommodate growth. A year later, portables were added to the site to accommodate the Hebrew School.⁷⁹ In 2018, Jagannath Mandir of Toronto purchased the Property and converted it into a temple.⁸⁰

⁷⁶ Stanley, *Harrison United Church*, 4-6.; United Church of Canada, “History of the United Church of Canada,” accessed 13 February 2023, <https://united-church.ca/community-and-faith/welcome-united-church-canada/history-united-church-canada#:~:text=The%20history%20of%20the%20United,Canada%20entered%20into%20a%20union.>

⁷⁷ Stanley, *Harrison United Church*, 4.

⁷⁸ Stanley, *Harrison United Church*, 4-8.

⁷⁹ Waymarking.com, “Har Tikvah Reform Synagogue – Brampton, Ontario, Canada,” last modified 3 January 2010, accessed 9 March 2023, https://www.waymarking.com/waymarks/wm80HM_Har_Tikvah_Reform_Synagogue_Brampton_Ontario_Canada

⁸⁰ Jagannath Temple Toronto, “History of Jagannath Temple, Toronto,” accessed 9 March 2023, <https://jagannathmandir.com/history.>



Photo 1: Harrison Wesleyan Methodist Church, date unknown⁸¹



Photo 2: Harrison United Church, date unknown⁸²

⁸¹ Brampton East Women's Institute, "Tweedsmuir History," digital copy provided by the Region of Peel Archives.

⁸² Brampton East Women's Institute, "Tweedsmuir History."



Photo 3: Harrison United Church, July 1978⁸³




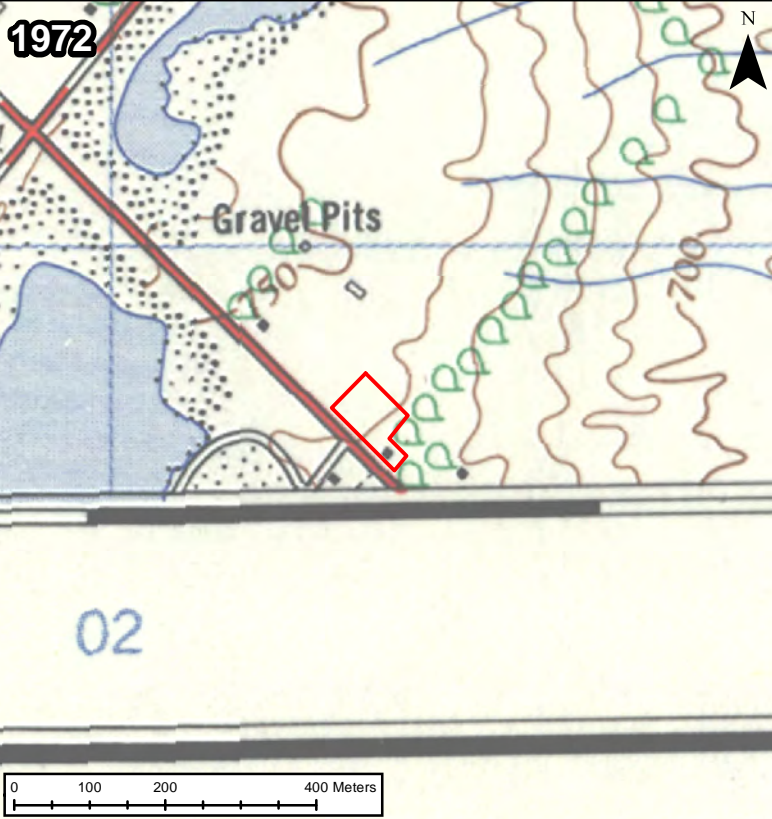
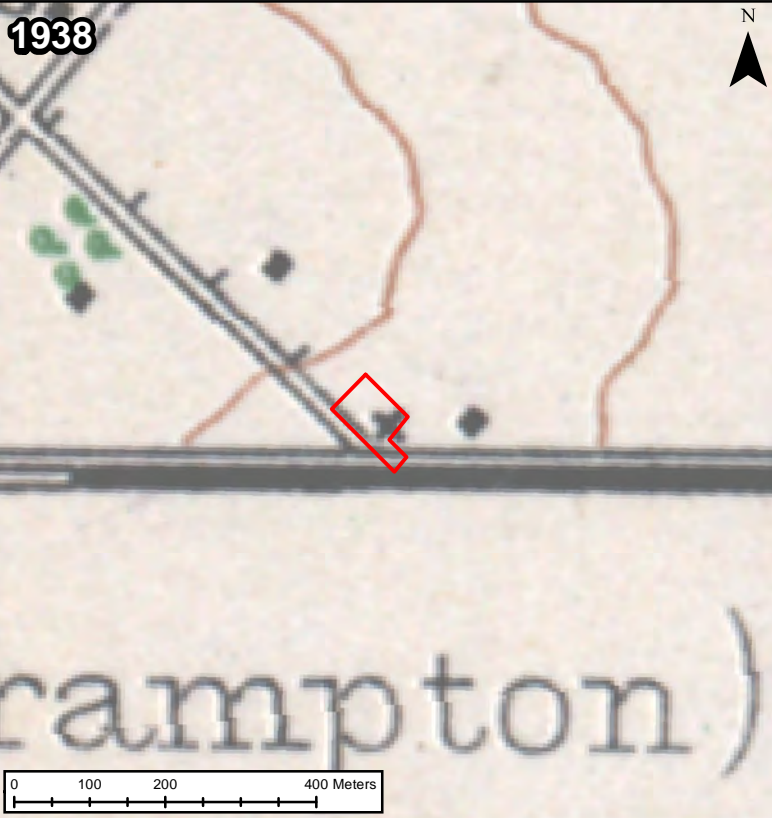
Photo 4: Har Tikvah Synagogue, Date Unknown⁸⁴

⁸³ Image provided by the Region of Peel Archives

⁸⁴ Waymarking.com, "Har Tikvah Reform Synagogue."




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TITLE 1819, 1859, and 1877 historic maps showing the Property		
CLIENT Gagnon Walker Domes		
PROJECT Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON		PROJECT NO. LHC0355
NOTE(S) 1. All locations are approximate. REFERENCE(S) 1. Bristol, R., "A-30 Map of the Northern Part of the Township of Toronto", scale unknown, n.p.: The Crown, 1819. 2. Geo. R. Tremaine, "Tremaine's Map of the County of Peel, Canada West.", (https://maps.library.utoronto.ca/hgis/countymaps/peel/Peel2.jpg ; accessed March 3, 2023), digitized map, scale 1:39,600, Toronto, C.W.: G.R. & G.M. Tremaine, 1859. 3. J.H. Pope, Esq., "Southern Part of Chinguacousy", In: J.H. Pope, Esq., "Illustrated Historical Atlas of the County of Peel Ont.", (https://digital.library.mcgill.ca/countyatlas/searchmapframes.php ; accessed March 3, 2023), digitized map, scale unknown, Toronto: Walker & Miles, 1877. Portions of this document include intellectual property of Esri and its licensors and are used under license. Copyright (c) Esri and its licensors. All rights reserved.		
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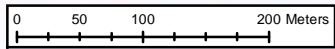
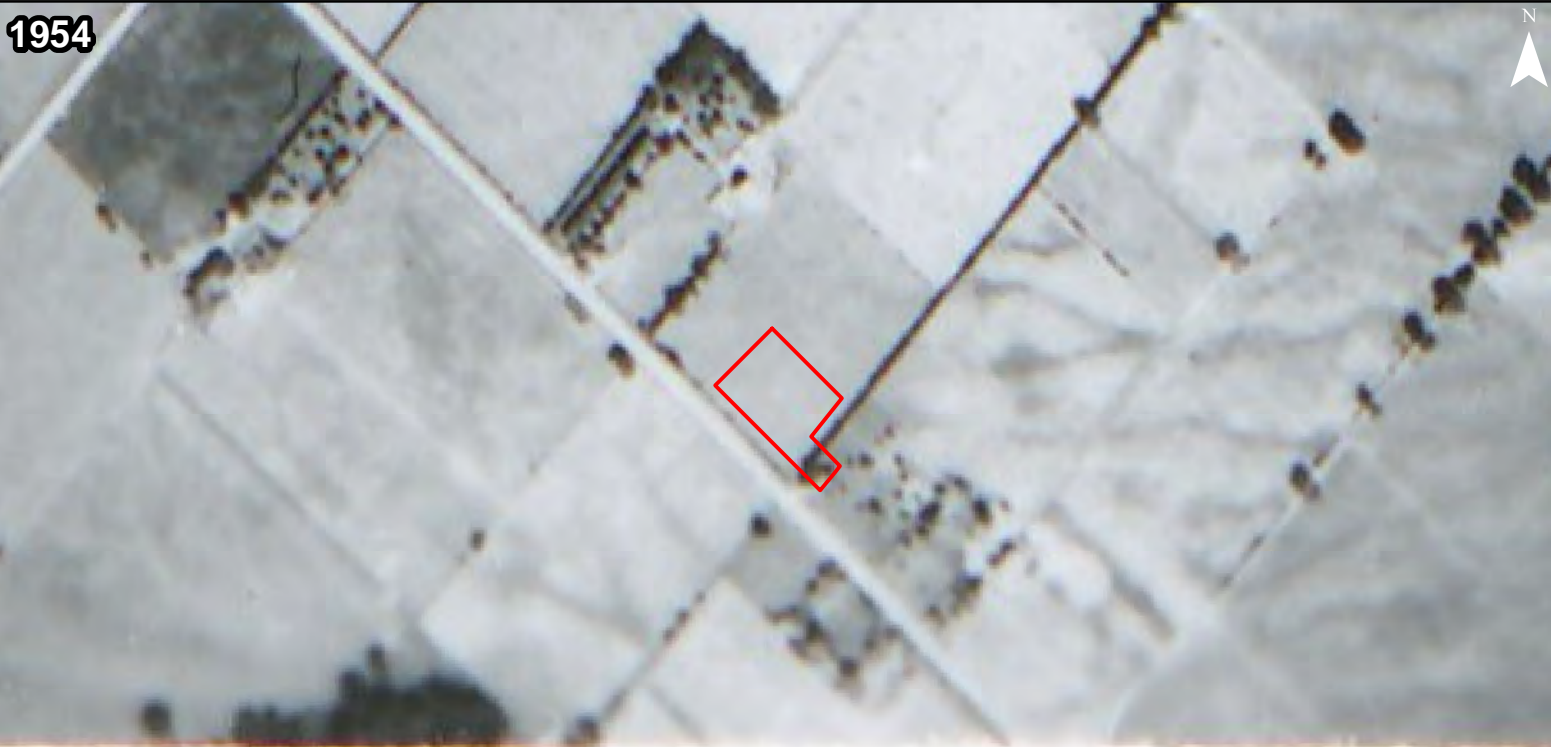


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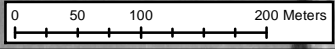
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1. Department of Militia and Defence, "Topographic Map, Ontario, Bolton Sheet", (http://geo1.scholarsportal.info/#r/details/_uri@=564032357&_add:true: accessed March 3, 2023), digitized map, sheet 30 M/13, scale 1:63,360, Ottawa: Department of Militia and Defence, 1914.
2. Department of National Defence, "Topographic Map, Ontario, Bolton Sheet", (http://geo1.scholarsportal.info/#r/details/_uri@=564032357&_add:true: accessed March 3, 2023), digitized map, sheet 30 M/13, scale 1:63,360, Ottawa: Department of National Defence, 1938.
3. Army Survey Establishment, R.C.E., "Wildfield, Ontario", (http://geo2.scholarsportal.info/#r/details/_uri@=847590539&_add:true: accessed March 3, 2023), digitized map, sheet 30 M/13b, edition 1, scale 1:25,000, Ottawa: Army Survey Establishment, R.C.E., 1963.
4. Department of Energy, Mines and Resources, "Wildfield, Ontario", (http://geo2.scholarsportal.info/#r/details/_uri@=847590539&_add:true: accessed March 3, 2023), digitized map, sheet 30 M/13b, edition 2, scale 1:25,000, Ottawa: Department of Energy, Mines and Resources, 1972.
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TITLE 1914, 1938, 1963, and 1972 topographic maps showing the Property	
CLIENT Gagnon Walker Domes	
PROJECT Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON	
PROJECT NO. LHC0355	
NOTE(S) 1. All locations are approximate.	
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	PREPARED LHC
	DESIGNED JG
	FIGURE # 6

1954



1969



Legend

 Property

NOTE(S) 1. All locations are approximate.

REFERENCE(S)


1. University of Toronto, "1954 Air Photos of Southern Ontario", (<https://mdl.library.utoronto.ca/collections/air-photos/1954-air-photos-southern-ontario/index>: accessed March 3, 2023), 1954.
2. National Air Photo Library, "A19506-037", (<https://madgic.trentu.ca/airphoto/>: accessed March 3, 2023), scanned and georeferenced by the Maps, Data and Government Information Centre at Trent University, roll A19506 line 26W photo 37, scale 1:30,000, 1969.
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TITLE
1954 and 1969 Aerial Images showing the Property

CLIENT
Gagnon Walker Domes

PROJECT PROJECT NO. LHC0355
Scoped Heritage Impact Assessment, 9893 Torbram Road, Brampton, ON

CONSULTANT YYYY-MM-DD 2023-03-03

 PREPARED LHC

DESIGNED JG

FIGURE # 7

4.7 Places of Worship, History

4.7.1 Ontario Methodist Church History

The Methodist faith began in the mid-1700s by a group of students at Oxford University under John Wesley's leadership. It started as a "method of ordering their lives so that they might encompass both scholarship and good work" and grew into a formal sect of the Christian faith.⁸⁵ The first houses of worship were called preaching halls with all official events (Holy Communion, marriage, baptism, and priest ordainment) requiring the aid of the Church of England. By 1791, the Methodist Church was autonomous and able to ordain its own priests as well as conduct its own affairs.⁸⁶

Methodism was brought to Canada in the late 1770s when second generation Palatine German refugees arrived in New York. Of this group, Loyalists Paul and Barbara Heck moved to Quebec in 1778 then to Augusta Township, Ontario in 1784. Barbara - alongside Philip Embury - established the first Methodist class in North America in New York and brought her faith with her to Ontario. The Methodist class that Barbara Heck helped establish influenced the disbanded 2nd Battalion, King's Royal Regiment of New York, who settled around the Bay of Quinte and constructed one of the first meeting houses in Ontario in 1791.⁸⁷

Initially, the faith was built around a circuit system by which a preacher would travel to set gathering places according to a set schedule and preach to his congregation. Locations for services were generally settler's homes or barns until an area became densely populated enough to warrant the construction of a meeting house. Due to the size and the demands of each circuit, this usually meant that congregations would only attend church once every two weeks. However, as the needs of larger congregations grew, they would be assigned a preacher of their own resulting in weekly services.⁸⁸

4.7.2 Har Tikvah Synagogue

The Har Tikvah congregation of Brampton was founded in 1979 to serve the Jewish community of North Peel and Halton Region. This was a Reform Jewish congregation with a popular Hebrew School. The congregation is a registered charitable organization and is the only synagogue in Brampton. In 2018, the congregation moved to Bovaird Drive.⁸⁹

4.7.3 Jagannath Mandir

Jagannath Mandir of Toronto was established in 2008 and is the first and only Puri Style Temple in Canada. The four deities that reside at the temple were "procured from odisa during July

⁸⁵ Marion MacRae and Andrew Adamson, *Hallowed Walls: Church Architecture of Upper Canada* (Toronto: Clarke, Irwin & Company Limited, 1975), 29.

⁸⁶ MacRae and Adamson, *Hallowed Walls*, 29.

⁸⁷ MacRae and Adamson, *Hallowed Walls*, 29.

⁸⁸ MacRae and Adamson, *Hallowed Walls*, 29-30.; Stanley, *Harrison United Church*, 4-8.

⁸⁹ Waymarking.com, "Har Tikvah Reform Synagogue."; Charitable Impact, "Har Tikvah Congregation of Brampton," accessed 9 March 2023, <https://my.charitableimpact.com/charities/har-tikvah-congregation-of-brampton>.

2008 by GTA odia community.”⁹⁰ They initially rented a space in the Bharat Sevashram Sangha temple. A large donation was granted to Jagannath Mandir from Canadian philanthropist Sradananda (Dan) Mishra allowing the temple to purchase a space of their own. Since its move to its current location, the temple has been able to expand its services and staff to better serve its community.⁹¹

4.8 Places of Worship, Architecture

4.8.1 Methodist Church Architecture

Initially, methodism viewed buildings as tools for preaching and mission with some preference for specific shapes such as John Wesley’s interest in octagonal buildings. Functionality and simple proportions were the main aspects of design resulting in vernacular architectural designs based on early Christian churches and meeting houses. Although this remained a key aspect of methodist meeting houses and churches, there was a growing interest in classical architectural details, especially in urban areas.⁹²

By the mid-nineteenth century, the appropriate style for Methodist churches became a key issue within the faith. Several papers were written on the subject with Reverend Frederick Jobson’s being the most influential. As a trained architect, Reverend Jobson argued for a balance between beauty and perfection in design without unnecessary adornment. The Gothic architectural style was his style of choice. His papers were adopted by the Methodist Conference and the Gothic style gained prominence, especially in Wesleyan Methodism.⁹³

Between the late 1800s and the 1950s, the Methodist denomination experienced substantial growth. In response to this growth, the Methodist Episcopal Board of Church Extension published the *Catalogue of Architectural Plans for Churches and Parsonages*. It was first published in 1870 and contained plans created by architect Benjamin D. Price. The plans ranged in cost, size, and ornamentation with options for wood, brick, or stone construction and advertisements for suppliers of materials and equipment such as bells, stained glass, and stoves.⁹⁴

The basis church design contained in the catalogue was a simple rectangular plan, wood frame building with a medium pitch gable roof, a projecting and gabled vestibule on the façade, a rose window above the projecting vestibule, and options for plain or gothic windows (Figure 4). The

⁹⁰ Jagannath Temple Toronto, “History of Jagannath Temple, Toronto.”

⁹¹ Jagannath Temple Toronto, “History of Jagannath Temple, Toronto.”

⁹² Ian Serjeant, “Historic Methodist Architecture and its Protection,” accessed 2 March 2023, <https://www.buildingconservation.com/articles/methodistarch/methodistarch.htm>; George Dolbey, *The Architectural Expression of Methodism: The First Hundred Years* (London, England: Epworth Press, 1964): 16-21, accessed 3 March 2023, <https://archive.org/details/architecturalex0000dolb/page/16/mode/2up>.

⁹³ Serjeant, “Historic Methodist Architecture and its Protection.”; Dolbey, *The Architectural Expression of Methodism: The First Hundred Years*, 120-122.

⁹⁴ United Methodist Communications, “Methodist History: Church Plans Catalog,” last modified 24 January 2018, accessed 2 March 2023, <https://www.umc.org/en/content/methodist-history-church-plans-catalog>.

proceeding plans in the catalogue build on this design by adding towers, basements, classrooms, and ornamentation. In general, the key features contained in these designs include:

- Simple proportions;
- Plain decoration;
- Rectangular Plan;
- Orientation to the street;
- One-storey;
- Gabled roof;
- Lancet windows;
- Rose window;
- Main entrance(s) on the façade;
- Vestibule (projecting or integrated); and,
- Central pulpit.

Materials and ornamentation vary by design and congregation preference. Many of the more complex designs have an L-shaped plan appearance and projecting wings.⁹⁵

⁹⁵ A.J. Kynett, *Catalogue of Architectural Plans for Churches and Parsonages* (Philadelphia: Board of Church Extension, 1889): 8-50, accessed 2 March 2023, <https://archives.gcah.org/handle/10516/10008>.; Dolbey, *The Architectural Expression of Methodism: The First Hundred Years*, 16-21, 67-99.

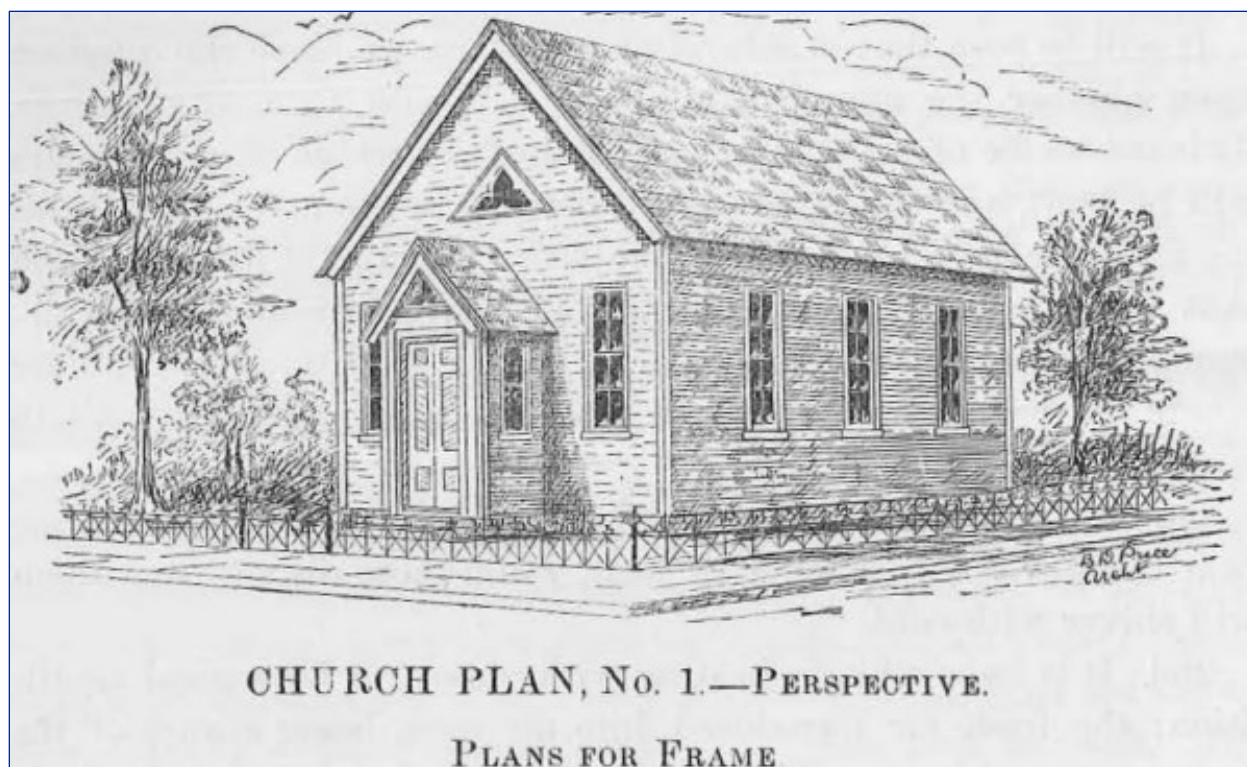


Figure 7: Basis Church Design in the *Catalogue of Architectural Plans for Churches and Parsonages*, 1889

4.8.2 Gothic Church Architecture

Gothic Revival was most popular in the later 1800s, which coincided with population increases in towns and cities and demand for more churches, leading the style to dominate the Ontario church landscape.⁹⁶ The Gothic Revival style was inspired by European Medieval Gothic churches and went through various stylistic changes throughout the era. Indicating their importance in a community, Gothic Revival churches were commonly built on an elevated separate plot of land, accentuating their spires which dominated the viewscape of many Canadian communities.⁹⁷

Gothic Revival defining church architectural attributes include:

- Stone or brick construction;
- Located on elevated separate parcels of land easily seen across the community;

⁹⁶ Ontario Heritage Trust, "Architectural Style," accessed 3 March 2023, [https://www.heritagetrust.on.ca/places-of-worship/places-of-worship-database/architecture/architectural-style.](https://www.heritagetrust.on.ca/places-of-worship/places-of-worship-database/architecture/architectural-style;); T.F. McIlwraith, *Looking for Old Ontario* (Toronto, ON: University of Toronto Press, 1998), 150.

⁹⁷ S. Ricketts, L. Maitland, & J. Hucker, *A Guide to Canadian Architectural Styles*, 2nd Edition (Toronto: University of Toronto Press, 2004), 55.

- Pointed lancet windows;
- Arched doorways;
- Buttresses;
- Towers;
- Steeply pitched roofs;
- Pointed spires;
- Ornate stonework detailing;
- Emphasis on vertically in all attributes; and,
- Rib-lined ceilings.

4.8.3 Hindu Temple Architecture

The height of Hindu Temple construction began during the Gupta Dynasty.⁹⁸ These early temples were made of wood, but stone and brick were eventually used in their construction.⁹⁹ Early temples may have borrowed building layouts from Buddhist temples.¹⁰⁰ The surviving Gupta temples all have a similar design aesthetic. These features include a small central chamber, constructed with stone, with a verandah at the entrance or on all sides of the building.¹⁰¹

4.9 Significant Person History

4.9.1 Emmanuel Harrison Senior

Emmanuel Harrison Senior (1790-1871) was born in Yorkshire, England and settled on Concession 5 Lot 9 in Chinguacousy Township around 1820 as a cattle breeder. From 1823 to 1826, Emmanuel served as pathmaster. He was elected Warden in 1824, juryman in 1829, fenceviewer in 1836, and poundkeeper in 1838. In 1852, he won 4th place for best bull at the Grand Provincial Fair in Toronto. He was the namesake of the church and the community. His nephew – whom he raised following the death of his brother Thomas – continued the family name and remained active in the church.¹⁰²

⁹⁸ Wendy Doniger, Brian K. Smith, et al, "Hinduism," *The Encyclopedia Britannica*, last modified 27 February 2023, accessed 9 March 2023, <https://www.britannica.com/topic/Hinduism>.

⁹⁹ Doniger, Smith, et al, "Hinduism."

¹⁰⁰ Doniger, Smith, et al, "Hinduism."

¹⁰¹ Doniger, Smith, et al, "Hinduism."

¹⁰² William Perkins Bull, "Harrison Family File," digital file provided by the Region of Peel Archives.



Photo 5: Emmanuel Harrison¹⁰³

4.9.2 George Elliott

George Elliott (1789-1873) was born in Ireland and moved to York Township in York County with his wife in the early 1830s. In 1834, he purchased Lot 13 Concession 5 in Chinguacousy Township and established a farm. They were one of the first families to settle in this area. In 1846, he purchased a second farm. Both farms remained in the family for several generations. He later purchased two more farms (no longer in the family) and granted one of his four farms to each of his four sons. George and his wife Nancy remained on their original farm until their passing. Both were active members of the Wesleyan Methodist Church.¹⁰⁴

4.9.3 John Stubbings Senior

John Stubbings Senior (1819-1896) was born in Yorkshire and moved to Canada in the late 1800s. He first settled in Elmbank and established himself as a blacksmith. In 1867, he purchased Lot 17 on the 4th line and became a farmer. By 1880, he had purchased a new property and returned to his occupation as a blacksmith. Throughout his lifetime, he was an active member of Harrison Wesleyan Methodist Church through his roles as trustee and class leader. His descendants remained active in the church for many years.¹⁰⁵

¹⁰³ Image from the Region of Peel Archives

¹⁰⁴ Region of Peel Archives, "Elliott Family File (#3)," digital copy provided by the Region of Peel Archives.; Find a Grave, "George Elliott," accessed 1 March 2023, <https://www.findagrave.com/memorial/225687456/george-elliott>.

¹⁰⁵ Stanley, *Harrison United Church*, 9.; Find A Grave, "John Stubbings," accessed 1 March 2023, <https://www.findagrave.com/memorial/223683885/john-stubbings>.

4.9.4 William McCulla

William Armstrong McCulla (1838 – 1923) was born in Ireland. His family moved to Brampton in 1849. He served on the Brampton School Board for several years and was appointed Justice of the Peace from 1862 to 1864. In 1880, he was elected mayor of Brampton. Three years later, he was elected Reeve followed by Warden in 1885. From 1887 to 1891, he served as the Member of Parliament for Peel County. In addition to his political achievements, William served as a mason, builder, and contractor from 1865 to 1895. He is associated with several churches and public buildings in Brampton and Peel County including Brampton's first central school – which was constructed alongside his father John McCulla – and Grace Methodist Church. In 1895, he was granted the position of postmaster, which he held until his death in 1923.¹⁰⁶ According to an article in the Brampton conservator to celebrate his 85th birthday, “he has had an unusually compelling part in shaping the destinies of the town in which he has spent so many years.”¹⁰⁷



Photo 6: William McCulla¹⁰⁸

¹⁰⁶ Ata Architects Inc., “22, 24, 26, 28 and 32 John Street, City of Brampton, Ontario Heritage Impact Assessment,” last modified November 2022, accessed 1 March 2023, <https://pub-brampton.escribemeetings.com/filestream.ashx?DocumentId=70537>, 120.; William Perkins Bull, “McCulla Family File,” accessed 1 March 2023, <https://archive.org/details/mcculla-family-file/page/n45/mode/1up?q=compelling>.

¹⁰⁷ Perkins, “McCulla Family File,” 46.

¹⁰⁸ Perkins, “McCulla Family File,” 15.

5.0 EXISTING CONDITIONS

5.1 Surrounding Context

The Property is in Southwestern Ontario in the City of Brampton. It is approximately 23.64 kilometres (km) from the northern shore of Lake Ontario and approximately 7.4 km northeast of downtown Brampton.

The topography of the area is comprised of slight slopes along the street, steeper slopes descending away from the street to the east, a steeper slope descending away from the Property to the north, and a steeper slope ascending towards the residences to the west. The vegetation of the area consists of young and mature deciduous and coniferous trees and manicured landscaped yard fronting residential and commercial properties (Photo 7 and Photo 8).

The Property is bounded by Torbram Road to the south, residential properties to the west, and commercial properties to the north and east. Torbram Road is a municipally maintained arterial road running southeast to northwest from Highway 5 to Old School Road. It is a four-lane road flanked by sidewalks and curbs with streetlights on the south side of the street (Photo 7 to Photo 9).

The surrounding area includes commercial, residential and some industrial properties. Commercial properties are one to two-storeys in height with shallow to moderate setbacks. Residential properties are one to two storeys in height with moderate setbacks. Industrial properties that are one-storey with deep setbacks. Building material primarily consist of brick with some stone and some more modern materials like steel and stucco (Photo 7 and Photo 9).

The Harrison's United / Wesleyan Methodist Cemetery is located across Torbram Road from the Property (Photo 10).



Photo 7: View northwest along Torbram Road



Photo 8: View southeast along Torbram Road



Photo 9: View of the commercial plaza north of the Property






Photo 10: View of Harrison United / Wesleyan Methodist Cemetery

5.2 The Property


The property landscape is relatively unchanged. From its construction (see Section 4.6), the site has only contained the brick building with parking being added as needed. The portables were added by the Synagogue for their Hebrew school. The exterior of the brick building - as described in Section 5.8 - demonstrates the simple proportions, plain decoration, rectangular plan, orientation to the street, one-storey, brick construction, gabled roof, lancet windows, rose window, main entrance on the façade, projecting vestibule, and central pulpit of traditional Methodist church architecture. The church also demonstrates the brick construction, pointed lancet windows, buttresses, emphasis on verticality, and rib lined ceilings of the Gothic architectural style. It is unclear if the interior has been subject to alterations as its continued religious use changed from a church to a synagogue to its current use as a temple. The overall arrangement of the interior (choir loft, basement, raised first floor to accommodate the basement) appear to be the same. An overview of the existing conditions of the Property and its components is presented below in Table 1.



Table 2: Overview of Existing Conditions



Component	Discussion	Image(s)
South Elevation	<p>The temple, constructed in 1876, is a one-storey, rectangular plan, brick construction with a full basement fronting onto Torbram Road. The building has a medium pitch front gable roof. The south elevation has a projecting vestibule with a shallow pitch front gable roof with vinyl soffits. A small rose window is present above the vestibule. The main flat-headed double door entrance with an arched transom and dichromatic brick voussoir with pointed brick trim coursing is located on the south elevation of the projecting vestibule. Buttresses are present on the corners of the south elevation of both the main building and the projecting vestibule. Lancet windows with cut stone lug sills and beige brick voussoirs with pointed brick trim coursing flank the projecting vestibule. Slightly shorter lancet windows with cut stone lug sills and beige brick voussoirs with pointed stone trim coursing are present on the east and west elevations of the projecting vestibule. Wooden stairs with a small uncovered porch lead to the entrance with an accessibility ramp leading away from the west side of the porch to the west side of the building. A metal cast heritage plaque is located immediately west of the entrance.</p> <p>This is the portion of the Property that is associated with the following descriptions from page 2 of the designation by-law:</p> <ul style="list-style-type: none"> • Originally built in 1876 as a Methodist Church on land donated by John Stubbings; • Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund; • Gothic Revival style; • Simple proportions; 	

Component	Discussion	Image(s)
	<ul style="list-style-type: none"> • Somewhat severe planes; • Symmetry; • Eclectic detailing; • Single storey; • Red brick accented with beige brick; • Buttresses; • Corner keying; • Corbelling; • Pointed brick trim coursing in voussoirs; and, • Stained glass rose window. 	
East and West Elevations	<p>The east elevation has four bays each containing a lancet window with beige brick voussoirs, pointed stone trim coursing, and cut stone lug sills. The lancet windows on each end of the elevation have a symbol in the arch of the window on the exterior of the protective glazing. Each bay is separated by beige brick buttresses. A buff brick dog tooth pattern cornice is present along the length of the east elevation. The central two bays have rectangular sliding windows on the basement level. The rubble stone foundation is visible on this side of the building. There is a flat-headed single door entrance fit into a segmental opening with a beige brick voussoir offset to the north side.</p> <p>The west elevation similarly has four bays containing lancet windows with beige brick voussoirs, pointed stone trim coursing, and cut stone lug sills. Each bay is separated by beige brick buttresses. A buff brick dog tooth pattern cornice is present along the length of the west elevation. Part of the southernmost lancet window is covered with a sign. The lancet windows on each end of the elevation have a symbol in the arch of the window on the exterior of the protective</p>	 <p>East Elevation</p> 

Component	Discussion	Image(s)
	<p>glazing. The rubble stone foundation is also visible from this elevation.</p> <p>This is the portion of the Property that is associated with the following descriptions from page 2 of the designation by-law:</p> <ul style="list-style-type: none">• Originally built in 1876 as a Methodist Church on land donated by John Stubbings;• Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund;• Gothic Revival style;• Simple proportions;• Somewhat severe planes;• Symmetry;• Eclectic detailing;• Four bay;• Single storey;• Full basement;• Stone foundation;• Red brick accented with beige brick;• Buttresses;• Corner keying; and,• Pointed brick trim coursing in voussoirs.	West Elevation

Component	Discussion	Image(s)
North Elevation	<p>The north elevation is largely plain. It contains the arch of a former lancet window (mostly bricked up in 1947 – See Section 5.6) that is currently obscured by a sign. There is a flat-headed modern window and a solid transom fit into a segmental opening with a beige brick voussoir and a concrete lug sill offset to the west side. Some beige brick quoins are visible near the roofline. The rubble stone foundation is also visible from this elevation.</p> <p>This is the portion of the Property that is associated with the following descriptions from page 2 of the designation by-law:</p> <ul style="list-style-type: none"> • Originally built in 1876 as a Methodist Church on land donated by John Stubbings; • Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund; • Simple proportions; • Eclectic detailing; • Single storey; • Stone foundation; • Red brick accented with beige brick; and, • Corner keying. 	

Component	Discussion	Image(s)
Interior	<p>The interior of the temple contains four main rooms: vestibule, foyer, sanctuary, and basement. The northern end of the sanctuary has a raised platform with central stairs for the altar. Elongated rib vaults supported by brackets are present. Wood panelling is just visible along the bottom half of the perimeter of the room. The southern end of the sanctuary has a balcony with decorative wood railings. Elongated rib vaults supported by brackets are also present on this side of the room. The rose window is visible above the balcony. Just below and supporting the balcony are wood brackets attached to the vertical wood panel wall separating the sanctuary and the foyer. Two door openings are located in the wood panel wall. The wood panelling continues along the bottom half of the east and west walls. Two small sets of stairs lead through the door openings up to the raised floor of the sanctuary. The room is otherwise unadorned and plain and simple in design.</p> <p>The foyer has a ceiling that slopes from the vestibule side of the building to the sanctuary. Wood panelling is present along the bottom half of the perimeter of the room. Half columns are located on either side of the central wood coat rack on the south wall connecting to the vestibule. The staircase to the balcony of the sanctuary is located on the east wall of the foyer. The room is otherwise unadorned and plain and simple in design.</p> <p>The vestibule is a plain white room. On the south wall is the double door main entrance with arched transom. The east and west walls have small lancet windows. The north wall, connecting to the foyer, has two flat-headed doors. The</p>	 <p>View north of sanctuary</p>  <p>View south of sanctuary</p>

Component	Discussion	Image(s)
	<p>basement is similarly plain and simple with white walls and no adornment.</p> <p>It is important to note that the interior has been altered over the years and the basement is an addition from the 1947 renovations (Section 5.6).</p> <p>This is the portion of the Property that is associated with the following descriptions from page 2 of the designation by-law:</p> <ul style="list-style-type: none"> • Gothic Revival style; • Unadorned; • Good sight lines; and, • Good acoustics. 	 <p>View west of foyer</p>  <p>View west of the interior of the vestibule</p>

6.0 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

Heritage Designation By-Law 180-84 describes the cultural heritage value or interest of the Property as follows:

The Har Tikvah Synagogue was originally built in 1876 as a Methodist Church on land donated by John Stubbings. Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund for the church.

The building is representative of the Gothic Revival style which flourished during the mid Victorian era, particularly in ecclesiastic architecture.

The characteristic simple proportions, somewhat severe planes, symmetry of plan and elevation, eclectic detailing throughout truly reflect the vernacular tradition of the region.

The four bay single storey structure, with full basement, on a stone foundation is of red brick accented with beige brick in the buttresses, corner keying, corbelling at the rooflines, and particularly at the window openings. Here the lancet arches are edged in beige brick with distinctive pointed brick trim coursing; elsewhere alternating brick colours were used for picturesque effect complimenting a large stained glass rose window above the main entry. The austere unadorned nature of the interior spaces – sanctuary, choir gallery, pulpit platform and vestibule remain consistent with the primary functional considerations of good sight lines and acoustics, valid to this day.

See Appendix C for the full by-law.

7.0 IDENTIFICATION OF HERITAGE ATTRIBUTES

As previously noted, the Property is designated under Section 29 Part IV of the OHA and a description of the significance of the Property has been prepared as part of By-Law 180-84, which describes the Property as follows:

The Har Tikvah Synagogue was originally built in 1876 as a Methodist Church on land donated by John Stubbings. Legacies from Emmanuel Harrison and George Elliot formed the nucleus of the building fund for the church.

The building is representative of the Gothic Revival style which flourished during the mid Victorian era, particularly in ecclesiastic architecture.

The characteristic simple proportions, somewhat severe planes, symmetry of plan and elevation, eclectic detailing throughout truly reflect the vernacular tradition of the region.

The four bay single storey structure, with full basement, on a stone foundation is of red brick accented with beige brick in the buttresses, corner keying, corbelling at the rooflines, and particularly at the window openings. Here the lancet arches are edged in beige brick with distinctive pointed brick trim coursing; elsewhere alternating brick colours were used for picturesque effect complimenting a large stained glass rose window above the main entry. The austere unadorned nature of the interior spaces – sanctuary, choir gallery, pulpit platform and vestibule remain consistent with the primary functional considerations of good sight lines and acoustics, valid to this day.

Although the Property is understood to have cultural heritage value or interest, LHC undertook an evaluation of the cultural heritage value or interest of 9893 Torbram Road – based on the by-law and supplemented by research and analysis presented in Section 5.0 and 6.0 of this HIA – in order to describe the heritage attributes of the Property (Table 2).

Table 3: LHC's Evaluation against *O. Reg. 9/06*

Criteria for Determining Cultural Heritage Value or Interest	Assessment (Yes/No)	Rationale
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	Y	The Property has design or physical value because it is a representative example of a vernacular Methodist church with Gothic influences. Based on historical accounts (Section 5.0), the building was constructed in 1875 indicating that this is not an early example of a Methodist church with Gothic influences.

Criteria for Determining Cultural Heritage Value or Interest	Assessment (Yes/No)	Rationale
		<p>As described in Section 6.2, the building demonstrates typical features of vernacular Methodist Church architecture with Gothic influences.</p> <p>The Property does not have design or physical value as a rare, unique, or early example of a style, type, expression, material, or construction method.</p>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N	There is no evidence to suggest that the Property was constructed with a high degree of craftsmanship or artistic merit. It is largely a plain and simple building with some decorative elements and dichromatic brick accents. The pattern of bricks reinforces the simple construction. The building appears to be consistent with standard buildings from the time.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.	N	The Property does not demonstrate a high degree of technical or scientific achievement. There is no evidence to suggest that the building was constructed with a higher degree of technical or scientific achievement than a standard building at the time.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	Y	<p>The Property has historical or associative value because it has direct associations with a theme, person, and organization that are significant to the community. As discussed in Sections 5.6, 5.7, and 5.9, the temple is associated with the development of the City of Brampton and its religious history, various religious organizations, and the personage of Emmanuel Harrison Senior.</p> <p>Emmanuel Harrison Senior was one of the first settlers to the area and one of the founders of Harrison church. His house served as the first meeting place for the area's methodist congregation until the</p>

Criteria for Determining Cultural Heritage Value or Interest	Assessment (Yes/No)	Rationale
		<p>congregation was large enough to construct a church. The Methodist church later amalgamated with other churches to become the United Church.</p> <p>Originally constructed as a Methodist Church, the Property has served as a place of worship throughout its history. It is associated with the Methodist and United Churches, with the Har Tikvah Synagogue, and more recently with Jagannath Mandir.</p>
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	N	The Property does not have historical or associative value because it yields or has the potential to yield information that contributes to an understanding of a community or culture. There is no evidence to suggest that the Property meets this criterion.
1. The property has historical or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	Y	The Property has historical or associative value because it demonstrates or reflects the work or ideas of a builder who is significant to the community. As outlined in Sections 5.6 and 5.9.4, Harrison church was constructed by William McCulla and James Voakes. William McCulla was a mason, politician, and postmaster who is attributed with having a significant influence on the community.
2. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	N	The Property does not have contextual value because it is not important in supporting the character of the area. As outlined in Section 6.0, the area is characterised by commercial properties that are one to two-storeys in height, residential properties that are one to two-storeys in height, and some one-storey industrial properties. Building materials primarily

Criteria for Determining Cultural Heritage Value or Interest	Assessment (Yes/No)	Rationale
		<p>consist of brick with some stone and some more modern materials.</p> <p>The building is one of few places of worship in the area. Its brick construction is consistent with the character of the area.</p>
3. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	Y	<p>The Property has contextual value because it is functionally and historically linked to its surroundings. As noted in Section 5.6, the cemetery across the street was the site of the congregation's first church and was associated with the congregation throughout its history. Many of the founding members of the Methodist congregation are buried in the cemetery.</p> <p>There is no evidence to suggest that the Property is physically or visually linked to its surroundings.</p>
4. The property has contextual value because it is a landmark.	Y	<p>The Property is considered to be a landmark. A landmark is defined as:</p> <p style="padding-left: 40px;">“a recognizable natural or human-made feature used for a point of reference that helps orienting in a familiar or unfamiliar environment; it may mark an event or development; it may be conspicuous.”¹⁰⁹</p> <p>The building has been a place of worship and a community gathering place throughout its history. It is well known within the community, located close to the road and easily recognizable within its surrounding contemporary context.</p>

¹⁰⁹ Ministry of Tourism, Culture & Sport (MTCS), Standards & Guidelines for Conservation of Provincial Heritage properties, Heritage Identification & Evaluation Process. Sept 1, 2014.

7.1 Heritage Attributes

Heritage attributes that illustrate the cultural heritage value of 9893 Torbram Road include:

- The building itself, including its:
 - Scale, massing and form (*O. Reg. 9/06*, criteria 1 and 4);
 - Alignment of building features and their symmetrical arrangement (*O. Reg. 9/06*, criteria 1 and 4);
 - Orientation to the street (*O. Reg. 9/06*, criteria 1, 4, and 8);
 - Emphasis on verticality (*O. Reg. 9/06*, criteria 1 and 4);
 - Rectangular plan (*O. Reg. 9/06*, criteria 1 and 4);
 - Rubble stone foundation (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Red brick construction (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Buff brick string course immediately above foundation (*O. Reg. 9/06*, criteria 1, 4, and 6);
 - Front-facing gable roof (*O. Reg. 9/06*, criteria 1 and 4);
 - Buff brick dog tooth pattern cornice below the roofline on the south, east, and west elevations (*O. Reg. 9/06*, criteria 1, 4, and 6);
 - Buff brick box ends and vertical bands on the south elevation (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Projecting vestibule (*O. Reg. 9/06*, criteria 1 and 4);
 - Buff brick buttresses (*O. Reg. 9/06*, criteria 1, 4, and 6);
 - Rose window with a dichromatic brick and pointed stone trim coursing surround on the south elevation (*O. Reg. 9/06*, criteria 1 and 4);
 - Pointed lancet window openings with buff brick voussoirs, pointed stone trim coursing, and cut stone lug sills with (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Arch of a filled-in lancet window on the north elevation (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Buff brick projecting accents below lug sills on the south, east, and west elevations (*O. Reg. 9/06*, criteria 1, 4 and 6);
 - Main flat-headed double door entrance with an arched transom, dichromatic brick voussoir, and pointed brick trim coursing that is located on the south elevation of the projecting vestibule (*O. Reg. 9/06*, criteria 1, 4 and 6); and,
 - Carved and slightly projecting date stone above the rose window that reads “Harrison Church 1875” (*O. Reg. 9/06*, criteria 1, 4, 6, and 8).

The existing designation by-law describes interior heritage attributes (see Section 6.0). Based on the evolving use of the temple, we recommend removing reference to the interior features in an updated version of the designation by-law.

8.0 DESCRIPTION OF PROPOSED ALTERATION

This scoped HIA is being prepared as part of a Consent to Sever and Minor Variance application for 9893 Torbram Road. The proposal is to remove 0.09 ha from the vacant parcel, add it to the temple parcel, and expand the parking lot for the temple. Ten parking spaces will be added to the temple parcel. One of these parking spaces - to be located at the northwest corner of the building – will be an accessible parking space.

The new temple parcel will be an L-shaped lot of 0.15 ha in size. The remaining portion of the vacant parcel will be 0.45 ha in size (Figure 8). No alterations to the building are proposed.

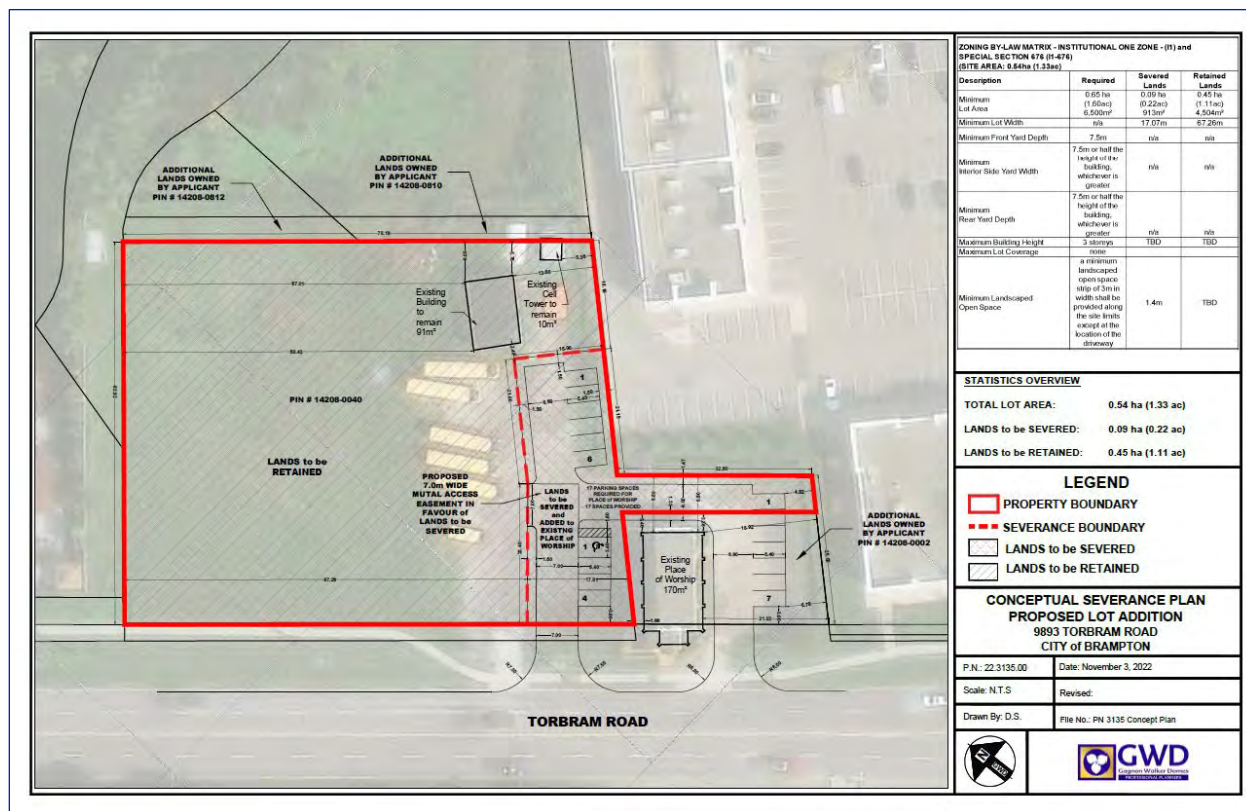


Figure 8: Severance proposal concept

9.0 IMPACT OF DEVELOPMENT ON HERITAGE ATTRIBUTES

Based on the heritage attributes identified in Section 7.0, a review of the proposal for potential adverse impacts was undertaken. As described in Section 2.0, the impact assessment was guided by the MCM's *Information Sheet #5: Heritage Impact Assessments and Conservation Plans*¹¹⁰ and the City's HIA guidelines which outline seven potential negative impacts to be considered with any proposed development or property alteration. The impacts include, but are not limited to:

- 1) **Destruction** of any part of any significant heritage attribute or features;
- 2) **Alteration** that is not sympathetic or is incompatible, with the historic fabric and appearance;
- 3) **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or planting, such as a garden;
- 4) **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship;
- 5) **Direct or indirect obstruction** of significant views or vistas within, from, or built and natural features;
- 6) **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- 7) **Land disturbances** such as a change in grade that alters soils, drainage patterns that adversely affect an archaeological resource.

The temple building will not be destroyed or altered by the proposed severance and minor variance. There will be no direct negative impact on this property's heritage attributes. The proposed severance and minor variance will not create shadows. It will not isolate a heritage attribute from its surrounding environment, context, or a significant relationship. It will not cause direct or indirect obstruction of a significant view or vista within or from the built heritage resource. It will not result in a change in land use, nor will it result in a land disturbance. There will be no indirect negative impacts to the temple.

The impact assessment process involved consideration of the existing policy and consideration of the proposed works' ability to meet this policy. The proposal was found to be in compliance with heritage policy at both the provincial and local levels.

¹¹⁰ "Info Sheet #5: Heritage Impact Assessments and Conservation Plans," in *Heritage Resources in the Land Use Planning Process: Cultural Heritage and Archaeology Policies of the Ontario Provincial Policy Statement, 2005*, prepared by the Ministry of Culture, (Queen's Printer for Ontario, 2006), 1-4.

10.0 CONCLUSION AND RECOMMENDATIONS

LHC was retained on 22 December 2022 by Sradhananda Mishra to undertake a Scoped Heritage Impact Assessment for the property located at 9893 Torbram Road in the City of Brampton, Ontario. The Property is designated under Section 29 Part IV of the *OHA* through By-law 180-84. The designation by-law for the Property includes a brief description of the Property and its cultural heritage value or interest; however, it does not include a list of heritage attributes.

This HIA was prepared as part of the Consent to Sever and Minor Variance application for 9893 Torbram Road. The owner is proposing to sever 0.09 hectares (ha) of land from the vacant parcel and add it to the temple parcel to provide additional parking. No alterations are proposed for the temple building. This purpose of this HIA was to describe the heritage attributes of the Property; review the proposed alterations; identify adverse impacts on those heritage attributes; and, identify alternatives and mitigation measures to lessen or avoid identified impacts. This HIA was undertaken in accordance with the recommended methodology outlined within the *Ontario Heritage Toolkit* and the *Scoped Heritage Impact Assessment Terms of Reference* for the project, provided by City of Brampton Heritage Staff.

Based on the review of the designation by-law, the Property's history and morphology, and the 27 January 2023 site visit, draft heritage attributes were prepared by LHC.

In our Professional Opinion, this scoped HIA finds that the proposed severance and addition of parking will not result in any adverse impacts on the cultural heritage value and heritage attributes of the Property. As a result, alternatives and mitigation measures were not explored.

It is recommended that the owner provide a legal survey to City of Brampton heritage staff to allow staff the opportunity to update the temple's designation by-law with the new legal description. It is also recommended that any update to the designation by-law remove reference to interior features.

SIGNATURES



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Lisa Coles, MPI
Intermediate Heritage Planner

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APPENDIX A: PROJECT PERSONNEL

Lisa Coles, MPI – Intermediate Heritage Planner

Lisa Coles is an Intermediate Heritage Planner with LHC. She holds a Master of Arts in Planning from the University of Waterloo, a Graduate Certificate in Museum Management & Curatorship from Fleming College, and a B.A. (Hons) in History and French from the University of Windsor.

Lisa has worked in the heritage industry for over five years, starting out as a historic interpreter at a museum in Kingsville in 2016. Since then, she has acquired additional experience through various positions in museums and public sector heritage planning. Lisa is an intern member of the Canadian Association of Heritage Professionals (CAHP) and a candidate member with the Ontario Professional Planning Institute (OPPI).

At LHC, Lisa has worked on numerous projects dealing with all aspects of Ontario's cultural heritage. She has been lead author or co-author of over fifteen cultural heritage technical reports for development proposals including Cultural Heritage Evaluation Reports, Heritage Impact Assessments, Environmental Assessments, and Interpretation and Commemoration Plans. Lisa has also provided heritage planning support to municipalities including work on heritage permit applications and work with municipal heritage committees. Her work has involved a wide range of cultural heritage resources including institutional, industrial, and residential sites in urban, suburban, and rural settings.

Christienne Uchiyama, MA, CAHP – Principal, LHC

Christienne Uchiyama MA CAHP is Principal and Manager - Heritage Consulting Services with LHC. She is a Heritage Consultant and Professional Archaeologist (P376) with two decades of experience working on heritage aspects of planning and development projects. She is currently Past President of the Board of Directors of the Canadian Association of Heritage Professionals and received her MA in Heritage Conservation from Carleton University School of Canadian Studies. Her thesis examined the identification and assessment of impacts on cultural heritage resources in the context of Environmental Assessment.

Chris has provided archaeological and heritage conservation advice, support and expertise as a member of numerous multi-disciplinary project teams for projects across Ontario, including such major projects as: all phases of archaeological assessment at the Canadian War Museum site at LeBreton Flats, Ottawa; renewable energy projects; natural gas pipeline routes; railway lines; hydro powerline corridors; and highway/road realignments. She has completed more than 300 cultural heritage technical reports for development proposals at all levels of government, including cultural heritage evaluation reports, heritage impact assessments, and archaeological licence reports and has a great deal of experience undertaking peer reviews. Her specialties include the development of Cultural Heritage Evaluation Reports, under both O. Reg. 9/06 and 10/06, and Heritage Impact Assessments.

Benjamin Holthof, M.Pl., M.M.A., MCIP, RPP, CAHP – Senior Heritage Planner

Ben Holthof is a heritage consultant, planner and marine archaeologist with experience working in heritage consulting, archaeology and not-for-profit museum sectors. He holds a Master of Urban and Regional Planning degree from Queens University; a Master of Maritime

Archaeology degree from Flinders University of South Australia; a Bachelor of Arts degree in Archaeology from Wilfrid Laurier University; and a certificate in Museum Management and Curatorship from Fleming College.

Ben has consulting experience in heritage planning, cultural heritage screening, evaluation, heritage impact assessment, cultural strategic planning, cultural heritage policy review, historic research and interpretive planning. He has been a project manager for heritage consulting projects including archaeological management plans and heritage conservation district studies. Ben has also provided heritage planning support to municipalities including work on heritage permit applications, work with municipal heritage committees, along with review and advice on municipal cultural heritage policy and process. His work has involved a wide range of cultural heritage resources including on cultural landscapes, institutional, industrial, commercial, and residential sites as well as infrastructure such as wharves, bridges and dams. Ben was previously a Cultural Heritage Specialist with Golder Associates Ltd. from 2014-2020.

Ben is experienced in museum and archive collections management, policy development, exhibit development and public interpretation. He has written museum policy, strategic plans, interpretive plans and disaster management plans. He has been curator at the Marine Museum of the Great Lakes at Kingston, the Billy Bishop Home and Museum, and the Owen Sound Marine and Rail Museum. These sites are in historic buildings and he is knowledgeable with extensive collections that include large artifacts including, ships, boats, railway cars, and large artifacts in unique conditions with specialized conservation concerns.

Ben is also a maritime archaeologist having worked on terrestrial and underwater sites in Ontario and Australia. He has an Applied Research archaeology license from the Government of Ontario (R1062). He is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Jordan Greene, BA – Mapping Technician

Jordan Greene, B.A., joined LHC as a mapping technician following the completion of her undergraduate degree. In addition to completing her B.A. in Geography at Queen's University, Jordan also completed certificates in Geographic Information Science and Urban Planning Studies. During her work with LHC Jordan has been able to transition her academic training into professional experience and has deepened her understanding of the applications of GIS in the fields of heritage planning and archaeology. Jordan has contributed to over 100 technical studies and has completed mapping for projects including, but not limited to, cultural heritage assessments and evaluations, archaeological assessments, environmental assessments, hearings, and conservation studies. In addition to GIS work she has completed for studies Jordan has begun developing interactive maps and online tools that contribute to LHC's internal data management. In 2021 Jordan began acting as the health and safety representative for LHC.

APPENDIX B: GLOSSARY

Definitions are based on those provided in the *Provincial Policy Statement (PPS)*, *Ontario Heritage Act (OHA)*, the *Region of Peel Official Plan (ROP)*, and the *City of Brampton Official Plan (OP)*. In some instances, documents have different definitions for the same term, all definitions have been included and should be considered.

Adjacent Lands means those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (*PPS*).

Adjacent Lands means lands that are:

- a) contiguous to a specific natural heritage feature or area where it is likely that development or site alteration would have a negative impact on the feature or area. The extent of the adjacent lands may be recommended by the Province or based on municipal approaches which achieve the same objectives; and
- b) contiguous to a protected heritage property or as otherwise defined in a local municipal official plan (*ROP*).

Adjacent Lands means lands that are contiguous to a specific natural heritage feature or area where it is likely that development or site alteration would have a negative impact on the feature, or area. The extent of the adjacent lands to specific natural heritage features or areas are provided in Ontario Ministry of Natural Resources' Natural Heritage Reference Manual (*OP*).

Alter means to change in any manner and includes to restore, renovate, repair, or disturb and "alteration" has a corresponding meaning ("transformer", "transformation") (*OHA*).

Archaeological Resources include artifacts, archaeological sites and marine archaeological sites. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the *Ontario Heritage Act (PPS)*.

Archaeological Resources includes artifacts, archaeological sites and marine archaeological sites, as defined under the Ontario Heritage Act. The identification and evaluation of such resources are based upon archaeological fieldwork undertaken in accordance with the Ontario Heritage Act. Archaeological resources may include the remains of a building, structure, activity or cultural feature or object which, because of the passage of time, is on or below the surface of land or water and is of significance to the understanding of the history of a people or place (*ROP*).

Area of Archaeological Potential means areas with the likelihood to contain archaeological resources. Criteria to identify archaeological potential are established by the Province. The Ontario Heritage Act requires archaeological potential to be confirmed by a licensed archaeologist (*PPS*).

Area of Archaeological Potential means areas with the likelihood to contain archaeological resources. Criteria to identify archaeological potential are established by the Province. The Ontario Heritage Act requires archaeological potential to be confirmed by a licensed archaeologist (*ROP*).

Built Heritage Resource means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included on local, provincial, federal and/or international registers (*PPS*).

Built Heritage Resource means one or more buildings, structures, monuments, installations, or any manufactured or constructed part of remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community. Built heritage resources are located on a property that may be designated under Parts IV or V of the Ontario Heritage Act, or that may be included in local, provincial, federal and/or international registers (*ROP*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*PPS*).

Conserved means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (*ROP*).

Cultural Heritage Landscape means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the Ontario Heritage Act or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms (*PPS*).

Cultural Heritage Resources means built heritage resources, cultural heritage landscapes and archaeological resources that have been determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people. While some cultural heritage resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation (*ROP*).

Development means the creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the Planning Act, but does not include:

- c) activities that create or maintain infrastructure authorized under an environmental assessment process;
- d) works subject to the Drainage Act; or
- e) for the purposes of policy 2.1.4(a), underground or surface mining of minerals or advanced exploration on mining lands in significant areas of mineral potential in Ecoregion 5E, where advanced exploration has the same meaning as under the Mining Act. Instead, those matters shall be subject to policy 2.1.5(a) (*PPS*).

Development means the creation of a new lot, a change in land use or construction of buildings and structures, requiring approval under the Planning Act but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the Drainage Act (*ROP*).

Development means the subdivision of land, or construction of buildings and structures, requiring approval under the Planning Act but does not include activities that create or maintain infrastructure authorized under an environmental assessment process or works subject to the Drainage Act (*OP*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., significant views or vistas to or from a protected heritage property) (*PPS*).

Heritage Attributes means in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest; ("attributs patrimoniaux") (*OHA*).

Heritage Attributes means the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g., views or vistas to or from a protected heritage property) (*ROP*).

Property means real property and includes all buildings and structures thereon (*OHA*).

Protected Heritage Property means property designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*PPS*).

Protected Heritage Property means property listed by council resolution on a heritage register or designated under Parts IV, V or VI of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites (*ROP*).

Significant in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act (*PPS*).

Significant in regard to cultural heritage and archaeology, resources that are valued for the important contribution they make to our understanding of the history of a place, an event, or a people (*OP*).

APPENDIX C: DESIGNATION BY-LAW 180-84

John
Ralph A. Everett,
City Clerk



Paul Gault
150 Central Park Drive
Brampton, Ont. L6T 2T9
793-4110

The Corporation Of The City Of Brampton

Office of the City Clerk

June 25th, 1984

Ontario Heritage Foundation
Ministry of Culture & Recreation
Heritage Administration Branch
77 Bloor Street West
Toronto, Ontario
M7A 2R9

RECEIVED

JUN 28 1984

ONTARIO HERITAGE
FOUNDATION

Dear Sir/Madam;

In accordance with Section 29(3) of the Ontario Heritage Act 1980, enclosed for your information is a notice of intention to designate the property described therein to be of historic or architectural value or interest.

The property referred to is the building known formerly in the City as Harrison United Church.

Yours truly,

A large, stylized handwritten signature, likely of R. A. Everett, written in dark ink.

R. A. Everett
Director of Administration
and City Clerk

RAE:kb
Encl.

THE CORPORATION OF THE CITY OF BRAMPTON

PUBLIC NOTICE

TAKE NOTICE that the Council of The Corporation of the City of Brampton proposes to designate, as a property of historical or architectural value or interest, pursuant to section 29 of the Ontario Heritage Act (R.S.O. 1980, c. 337) the property known as the Har Tikvah Synagogue (formerly Harrison United Church) located at 9893 Torbram Road and more particularly described as follows:

ALL AND SINGULAR that certain parcel or tract of land and premises, situate, lying and being in the City of Brampton, in the Regional Municipality of Peel (formerly in the Township of Chinguacousy, in the County of Peel), being part of the West half of Lot 9, Concession 6, East of Hurontario Street, in the said City of Brampton, the boundaries of which said parcel may be more particularly described as follows:

PREMISING that the road allowance between Concessions 5 and 6, East of Hurontario Street, through the said Lot 9, has a governing bearing of North 44 degrees, 13 feet, 30 inches West and relating all bearings quoted herein thereto;

COMMENCING at the northwesterly angle of the West half of the said Lot 9;

THENCE North 39 degrees, 46 minutes, 30 seconds East, 26.83 metres to a standard iron bar planted;

THENCE South 44 degrees, 5 minutes, 20 seconds East, parallel to the southwesterly limit of the said half lot 32.61 metres to a standard iron bar planted;

THENCE South 39 degrees, 46 minutes, 30 seconds West 26.82 metres to a point in the said road allowance between Concessions 5 and 6, East of Hurontario Street;

THENCE North 44 degrees, 5 minutes, 20 seconds West, 32.61 metres along the northeasterly limit of the said road allowance between Concessions 5 and 6, East of Hurontario Street to the point of commencement.

Reasons for the proposed designation

The Har Tikvah Synagogue was originally built in 1876 as a Methodist Church on land donated by John Stubbings. Legacies from Emmanuel Harrison and George Elliott formed the nucleus of the building fund for the church.

The building is representative of the Gothic Revival style which flourished during the mid Victorian era, particularly in ecclesiastic architecture.

The characteristic simple proportions, somewhat severe planes, symmetry of plan and elevation, eclectic detailing throughout truly reflect the vernacular tradition of the region.

The four bay single storey structure, with full basement, on a stone foundation is of red brick accented with beige brick in the buttresses, corner keying, corbelling at the rooflines, and particularly at window openings. Here the lancet arches are edged in beige brick with distinctive pointed brick trim coursing; elsewhere alternating brick colours were used for picturesque effect complimenting a large stained glass rose window above the main entry. The austere unadorned nature of the interior spaces - sanctuary, choir gallery, pulpit platform and vestibule remain consistent with the primary functional considerations of good sight lines and accoustics, valid to this day.

.../3

- 3 -

NOTICE OF OBJECTION TO THE PROPOSED DESIGNATION
MAY BE SERVED ON THE CLERK WITHIN 30 DAYS OF
THE 3rd DAY OF August, 1984.

This notice is given in accordance with section 29(3) of the
Ontario Heritage Act.

DATED at the City of Brampton this 4th day of July, 1984.

R. A. Everett
City Clerk
The Corporation of the
City of Brampton
150 Central Park Drive
Brampton, Ontario
L6T 2T9

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SURJAN SINGH JASSON** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 165, Plan 866 municipally known as **20 GARSIDE CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an interior side yard setback of 2.18m (7.15 ft.) to the exterior stairway leading to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 3.0m (9.84 ft.);
3. To permit an existing accessory structure (shed) having a side yard setback of 0.13m (0.43 ft) whereas the by-law requires a minimum setback of 0.6m (1.97 ft) fro an accessory structure top the nearest lot line;
4. To permit a rear yard setback of 7.34m (24.08 ft) whereas the by-law requires a minimum rear yard setback of 7.6m (24.94 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Garside Crescent

ONTARIO ASSOCIATION
OF
ARCHITECTS
MAZHAR IQBAL RAJA
LICENCE
7821

DWG. NO. A1'

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0024

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Surjan Singh Jasson
Address 20 Garside Crescent, Brampton, ON L6S 1H6

Phone # 416 826 8587 **Fax #** _____
Email surjanjasson@icloud.com

2. **Name of Agent** Mazhar Raja
Address 1465 Clark Blvd, Milton, ON L9T 6M5

Phone # 647 969 9595 **Fax #** _____
Email info@caprija.com

3. **Nature and extent of relief applied for (variances requested):**
1) Permitted interior side setback is 3m but 2.18m is available after addition of below grade entrance in the sideyard. Relief for only 0.82m for the decrease in interior setback is requested.
2) Existing shed of size 2.95mx1.25m in the backyard has set-back 0.13m from side lot line where as required setback is 0.6m. Relief for 0.47 is requested.
3) An attached addition of size 4.0mx2.6m has 7.34 setback from the back lot line where as required is 7.6m. Relief for 0.26m is requested.

4. **Why is it not possible to comply with the provisions of the by-law?**
It is not possible to build the below grade entrance in the backyard because the house has crawl space in the rear half, the access to the basement is not possible.
Moreover, after building this below grade entrance there will be no impact on the parking. The house has enough space for parking. Also, it is for personal use, not for a second unit. The shed has roof pitch towards own backyard, not to the neighbors.

5. **Legal Description of the subject land:**
Lot Number 165R
Plan Number/Concession Number 866 PEEL
Municipal Address 20 Garside Crescent, Brampton, ON L6S 1H6

6. **Dimension of subject land (in metric units)**
Frontage 10.67 m
Depth 33.53 m
Area 357.67 Sq.m

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Two storey House Building with gross floor area approximately 125 sq.m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

No separate structure, only below grade entrance is proposed.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	9.22m
Rear yard setback	12.67m
Side yard setback	3.47m
Side yard setback	0.0m

PROPOSED

Front yard setback	9.22m
Rear yard setback	12.67m
Side yard setback	2.18m
Side yard setback	0.0m

10. Date of Acquisition of subject land: Sep. 2022

11. Existing uses of subject property: Single Unit Dwelling

12. Proposed uses of subject property: Single Unit Dwelling

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1972

15. Length of time the existing uses of the subject property have been continued: 50 years

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE Town _____ OF Milton _____

THIS 08 DAY OF January, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Mazhar Raja, OF THE Town _____ OF Milton _____

IN THE Region _____ OF Halton _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel THIS 23rd DAY OF

January, 2023.


A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.



Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

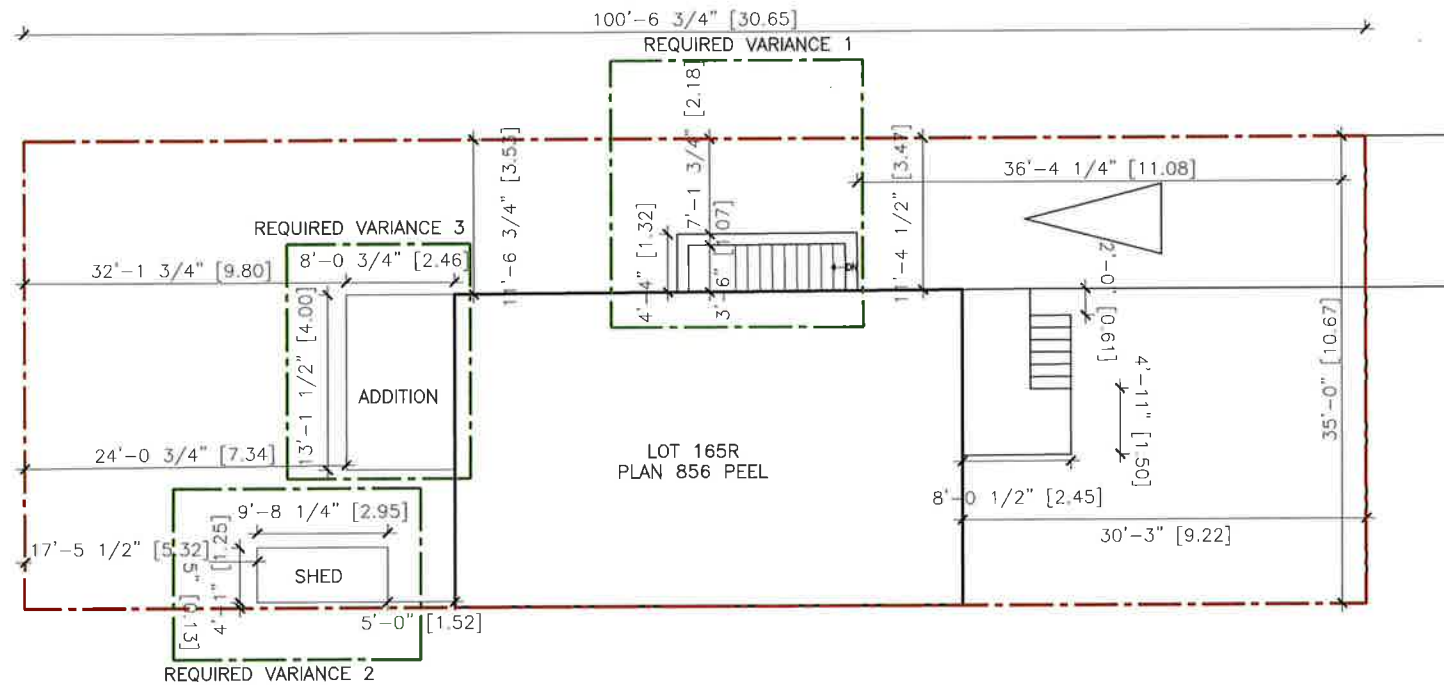
January 23, 2023

Revised 2022/02/17

FINISH BASEMENT 20 Garside Crescent, Brampton, ON L6S 1H6



AREA OF LOT = 3850.00 SFT = 357.67 SQM
AREA OF HOUSE = 898.06 SFT = 83.43 SQM



1 SITE PLAN FOR MV
A1' SCALE: 3/32"=1'-0"

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.
DRAWINGS NOT TO BE SCALED AND REPRODUCED.
ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.
THESE DRAWINGS ARE PREPARED ONLY FOR MENTIONED BELOW APPROVAL, NOT TO BE USED FOR ANY OTHER PURPOSE AND CONSTRUCTION

2	ISSUED FOR MINOR VARIANCE	JAN 2023
1	ISSUED FOR BUILDING PERMIT	SEP 2022
No.	ISSUED	DATE

STRUCTURE/MEP ENGINEER:

ARCHITECT MAZHAR RAJA
CAPRIJA CORPORATION
Architecture, Construction and
Project Management Consultants
1465 CLARK BLVD., MILTON, L9T 6M5
Tel: 647 693 6108, 647 969 9595
CAPRIJA Email: info@caprija.com; Web: www.caprija.com

CLIENT
20 Garside Crescent, Brampton,
ON L6S 1H6

PROJECT
FINISH BASEMENT

DRAWING
SITE PLAN

PROJECT NO
222158

DRAWN
SH

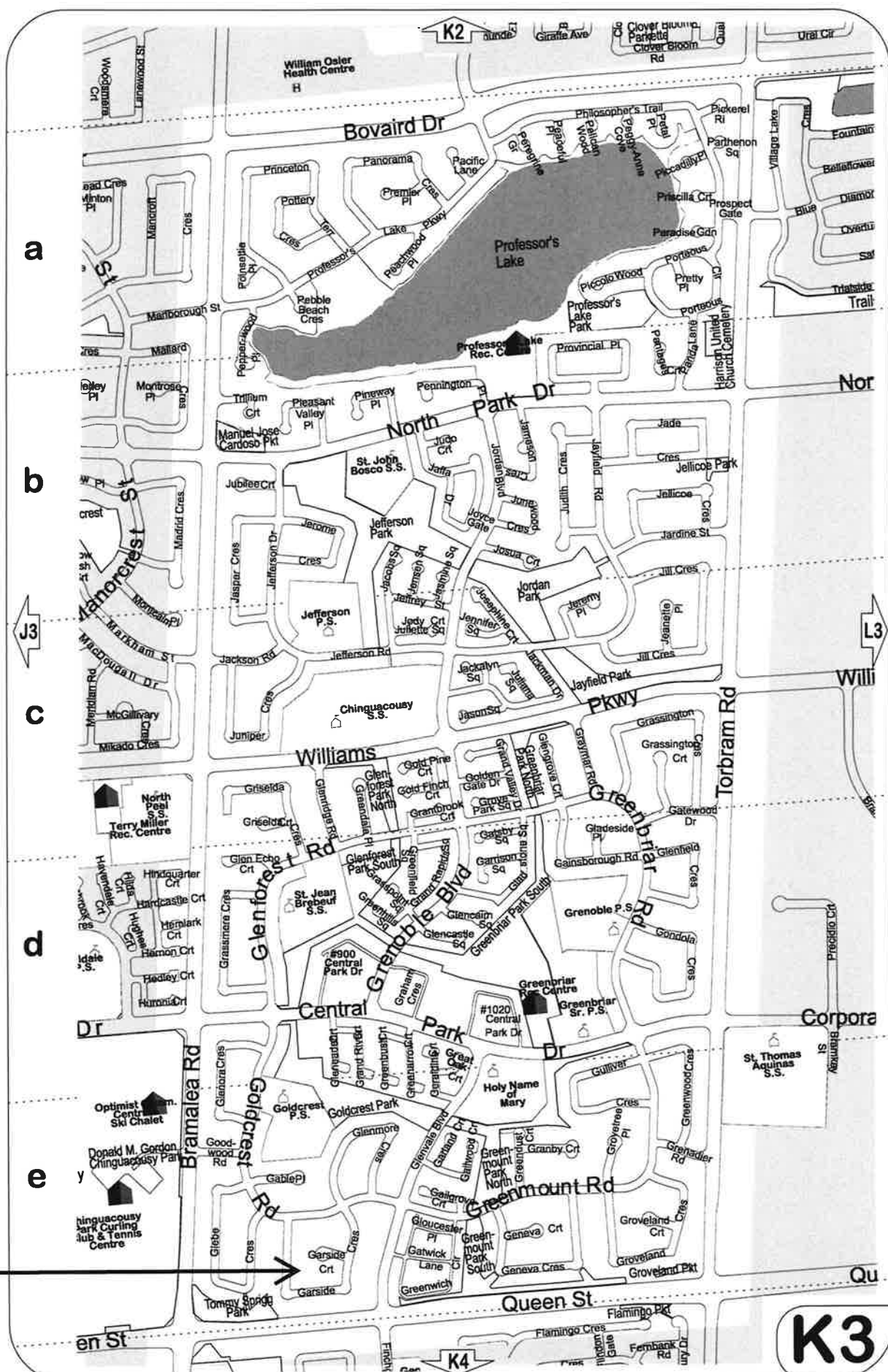
PLOTTED DATE
JAN 03, 2023

SCALE
AS NOTED

CHECKED
MR



DWG. NO
A1'



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ALWIN ANTONY AND MARINA MARIYACHAN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 191, Plan M-105, Part 8, Plan 43R-9047 municipally known as **23 FERRI CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance in the exterior side yard whereas the by-law does not permit a below grade entrance in an exterior side yard;
2. To permit an exterior side yard setback of 2.31m (7.58 ft.) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.);
3. To permit an accessory structure in the exterior side yard having a setback of 0.23m (0.75 ft.) to the flankage lot line whereas the by-law does not permit an accessory structure in an exterior side yard.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

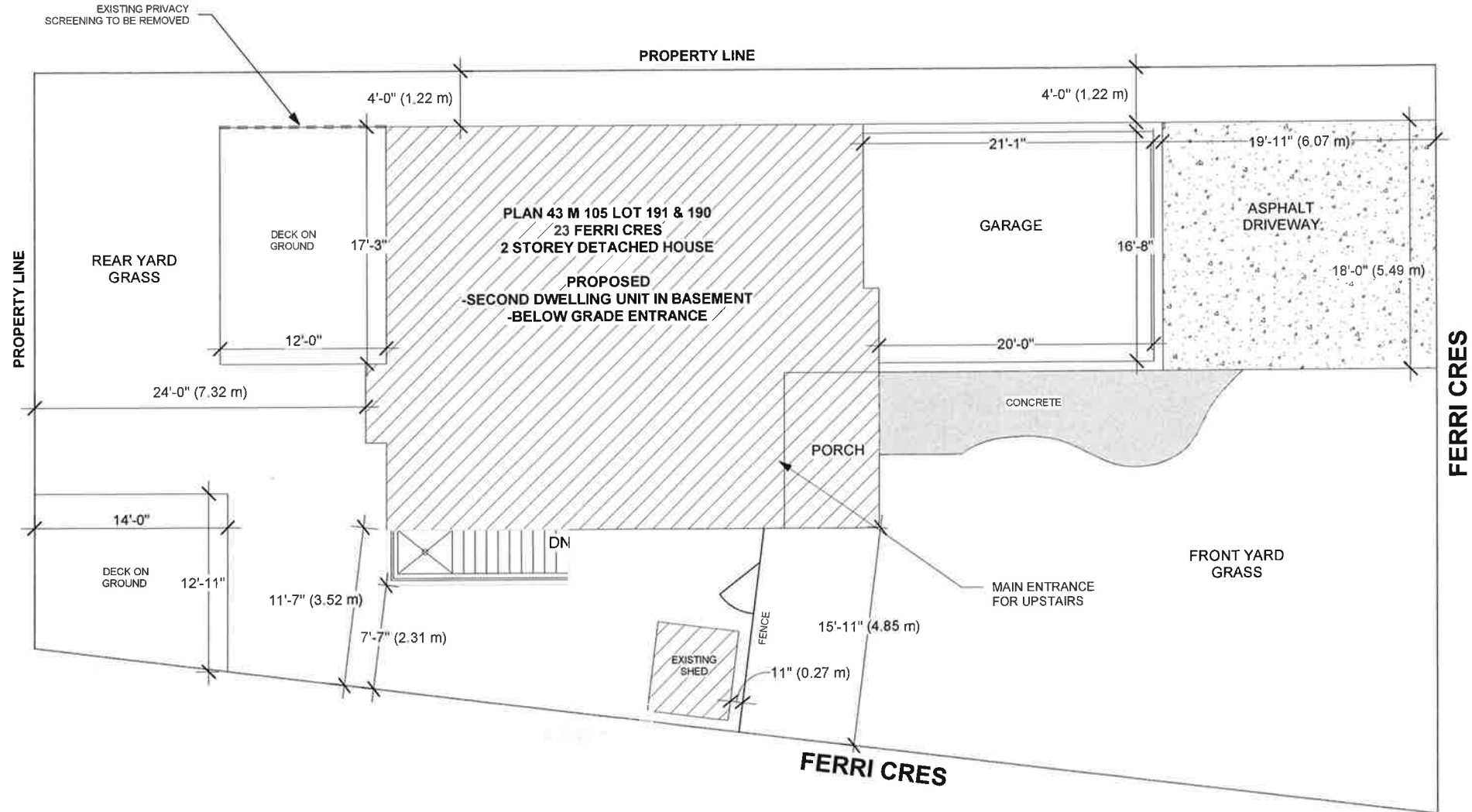
DATED at Brampton Ontario, this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

MINOR VARIANCE

- TO PERMIT A BELOW GRADE ENTRANCE IN THE EXTERIOR SIDE YARD OF A PROPERTY WHEREAS ZONING BY LAW DOES NOT ALLOW A BELOW GRADE ENTRANCE IN THE EXTERIOR SIDE YARD OF A PROPERTY;
- TO PERMIT A SHED IN THE EXTERIOR SIDE YARD OF A PROPERTY, WHEREAS ZONING DOES NOT ALLOW SHEDS IN EXTERIOR SIDE YARD OF A PROPERTY;
- TO PERMIT 0.23m AS A MINIMUM SETBACK REQUIRED FROM ANY PROPERTY LINE TO A STRUCTURE, WHEREAS ZONING REQUIRES 0.6m OF MINIMUM SETBACK FROM ANY PROPERTY LINE TO A STRUCTURE.



SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

01 ISSUED FOR VARIANCE JAN 31/23

ADDRESS:
23 FERRI CRES,
BRAMPTON, ON

DESIGNED BY: TX CHECKED BY: JB

PROJECT NUMBER: 22R-26386

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: JAN 31/23

SCALE: 1/8" = 1'-0"

A-1

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

March 14, 2023

To: Committee of Adjustment

RE: **ALWIN ANTONY AND MARINA MARIYACHAN**
PART OF LOT 191, PLAN M-105, PART 8, PLAN 43R-9047
A-2023-0037 – 23 FERRI CRESCENT

Please **amend** application **A-2023-0037** to reflect the following:

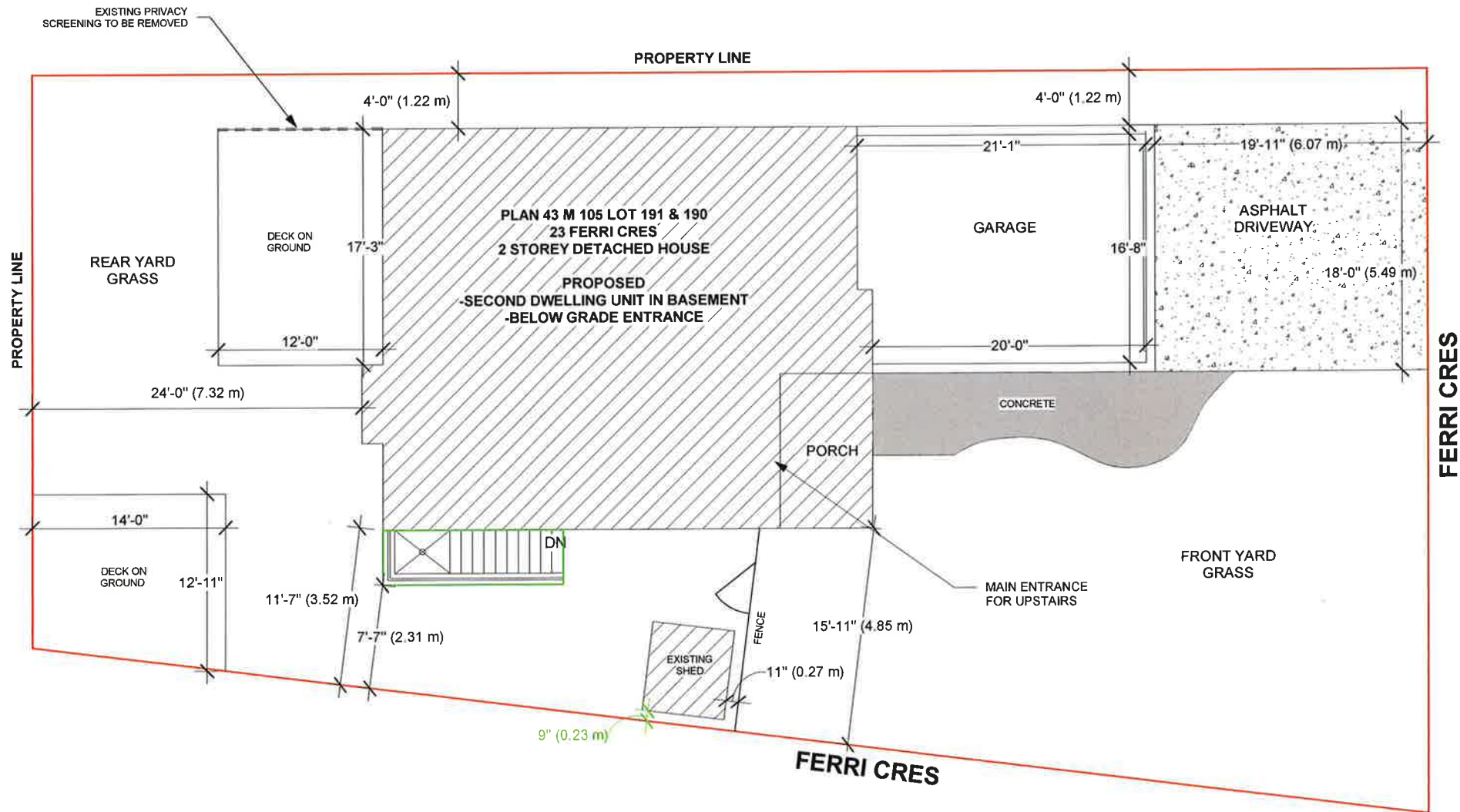
1. To permit a below grade entrance in the exterior side yard whereas the by-law does not permit a below grade entrance in an exterior side yard;
2. To permit an exterior side yard setback of 2.31m (7.58 ft.) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.);
3. To permit an accessory structure in the exterior side yard having a setback of 0.23m (0.75 ft.) to the flankage lot line whereas the by-law does not permit an accessory structure in an exterior side yard.

Navpreet Kaur

Applicant/Authorized Agent

MINOR VARIANCE

- TO PERMIT A BELOW GRADE ENTRANCE IN THE EXTERIOR SIDE YARD OF A PROPERTY WHEREAS ZONING BY LAW DOES NOT ALLOW A BELOW GRADE ENTRANCE IN THE EXTERIOR SIDE YARD OF A PROPERTY;
- TO PERMIT A SHED IN THE EXTERIOR SIDE YARD OF A PROPERTY, WHEREAS ZONING DOES NOT ALLOW SHEDS IN EXTERIOR SIDE YARD OF A PROPERTY;
- TO PERMIT 0.23m AS A MINIMUM SETBACK REQUIRED FROM ANY PROPERTY LINE TO A STRUCTURE, WHEREAS ZONING REQUIRES 0.6m OF MINIMUM SETBACK FROM ANY PROPERTY LINE TO A STRUCTURE.



SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

01 ISSUED FOR VARIANCE JAN 31/23

ADDRESS
23 FERRI CRES,
BRAMPTON, ON

DRAWN BY: TX CHECKED BY: JB
PROJECT NUMBER: 22R-26386

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: JAN 31/23
SCALE: 1/8" = 1'-0"

A-1

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) ALWIN ANTONY & MARINA MARIYACHAN

Address 23 FERRI CRES. BRAMPTON, ON, L6Z 1R8

Phone # 905-598-0230 Fax #

Email ALWINSTH@GMAIL.COM

2. Name of Agent NAVPREET KAUR

Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON, L6S 5Z4

Phone # 437-888-1800 Fax #

Email applications@nobleltd.ca

3. Nature and extent of relief applied for (variances requested):

-TO PERMIT A BELOW GRADE ENTRANCE IN THE EXTERIOR SIDE YARD OF A PROPERTY WHEREAS ZONING BY LAW DOES NOT ALLOW A BELOW GRADE ENTRANCE IN THE EXTERIOR SIDE YARD OF A PROPERTY.

4. Why is it not possible to comply with the provisions of the by-law?

-ZONING BY LAW DOES NOT ALLOW A BELOW GRADE ENTRANCE IN THE EXTERIOR SIDE YARD OF A PROPERTY WHEREAS A BELOW GRADE ENTRANCE IN THE EXTERIOR SIDE YARD OF A PROPERTY IS PROPOSED.

5. Legal Description of the subject land:

Lot Number LOT 191 PT LOT 190 RP 43R9047 PART 8

Plan Number/Concession Number PLAN M105

Municipal Address 23 FERRI CRES, BRAMPTON, ON, L6Z 1R8

6. Dimension of subject land (in metric units)

Frontage 14.71 M

Depth 30.48 M

Area 454.4 SQM

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE WITH AREA OF 168.43 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED BELOW GRADE ENTRANCE

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.07 M

Rear yard setback 7.32 M

Side yard setback 3.52 M

Side yard setback 1.22 M

PROPOSED

Front yard setback 6.07 M

Rear yard setback 7.32 M

Side yard setback 2.31 M

Side yard setback 1.22 M

10. Date of Acquisition of subject land: 7-DECEMBER-2022
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1988
15. Length of time the existing uses of the subject property have been continued: 35

16. (a) What water supply is existing/proposed?

Municipal

☒

Well

☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal

☒

Septic

☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers

☒

Ditches

☐

Swales

☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Navpreet Kaur

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 6th DAY OF February, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JIVTESH BHAILA, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 6th DAY OF

Feb., 2023

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

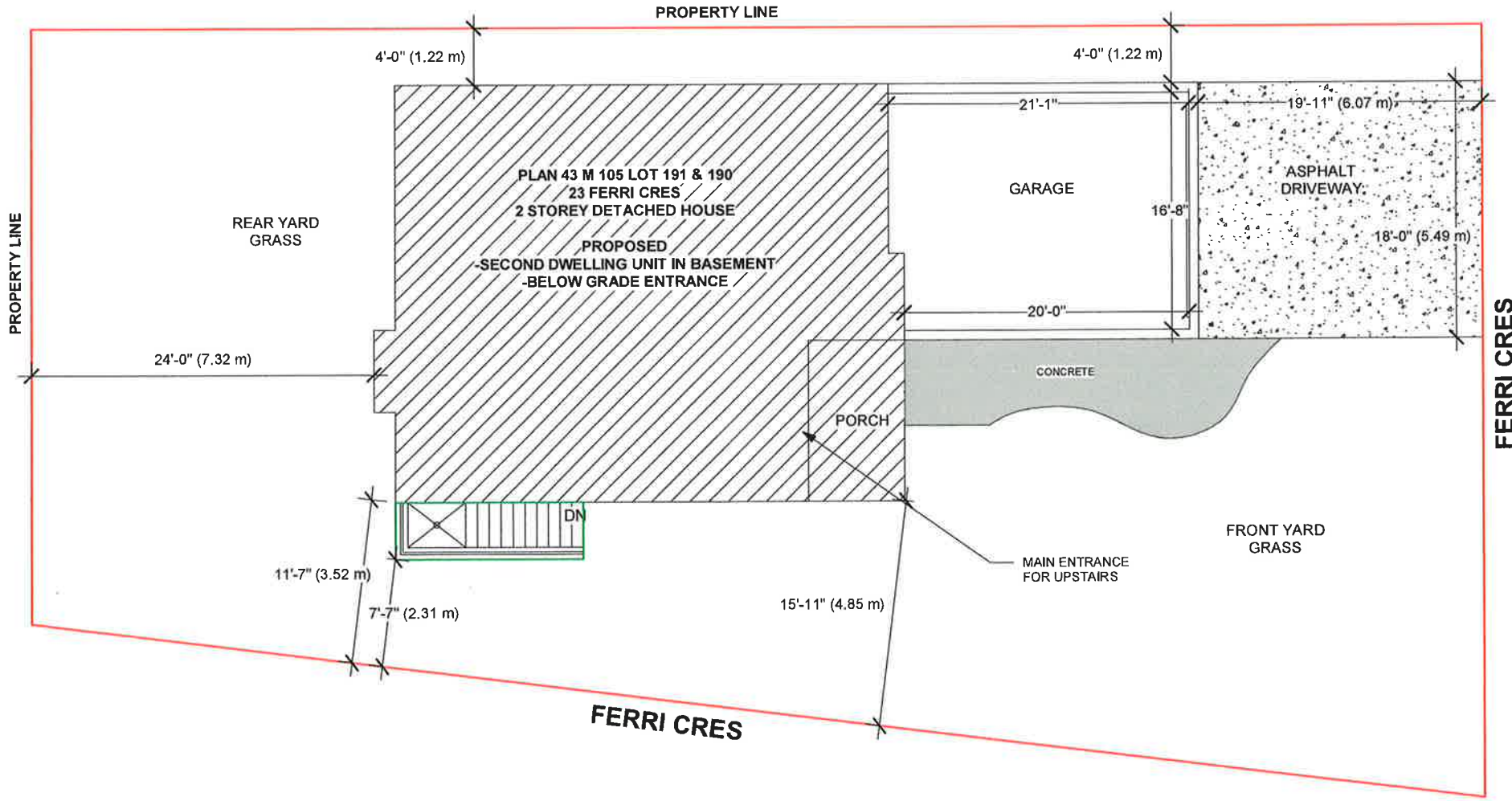
Date

DATE RECEIVED January 6, 2023

Revised 2020/01/07

MINOR VARIANCE

-TO PERMIT A BELOW GRADE ENTRANCE IN THE EXTERIOR SIDE YARD OF A
PROPERTY WHEREAS ZONING BY LAW DOES NOT ALLOW A BELOW GRADE
ENTRANCE IN THE EXTERIOR SIDE YARD OF A PROPERTY;



SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS
ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED
INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND
REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

01 ISSUED FOR VARIANCE JAN 31/23

ADDRESS:
23 FERRI CRES,
BRAMPTON, ON

DRAWN BY: TX CHECKED BY: JB
PROJECT NUMBER: 22R-26386

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: JAN 31/23
SCALE: 1/8" = 1'-0" DWG No. A-1

A-2023-0037

a

b

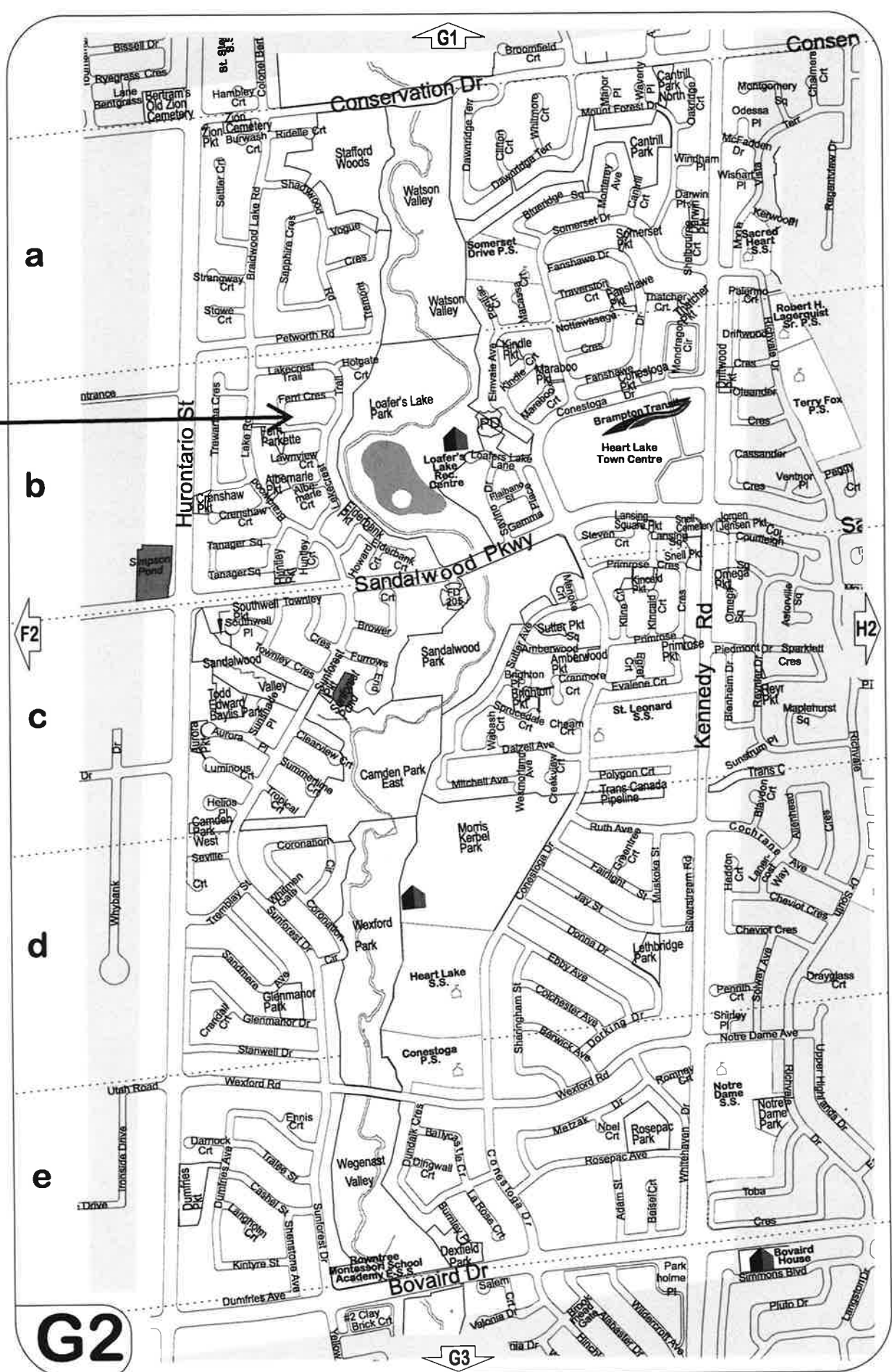
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G2

G3



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **DANTE LIMBAGA AND FRANCIS LIMBAGA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 529, Plan 889 municipally known as **96 RUTHERFORD ROAD NORTH**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a rear yard setback of 7.49m (24.57 ft.) whereas the by-law requires a minimum rear yard setback of 8.48m (27.82 ft.);
2. To permit a driveway width of 7.74m (25.39 ft.) whereas the by-law permits a maximum driveway width of 7.32m (24 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 16th Day of March, 2023.

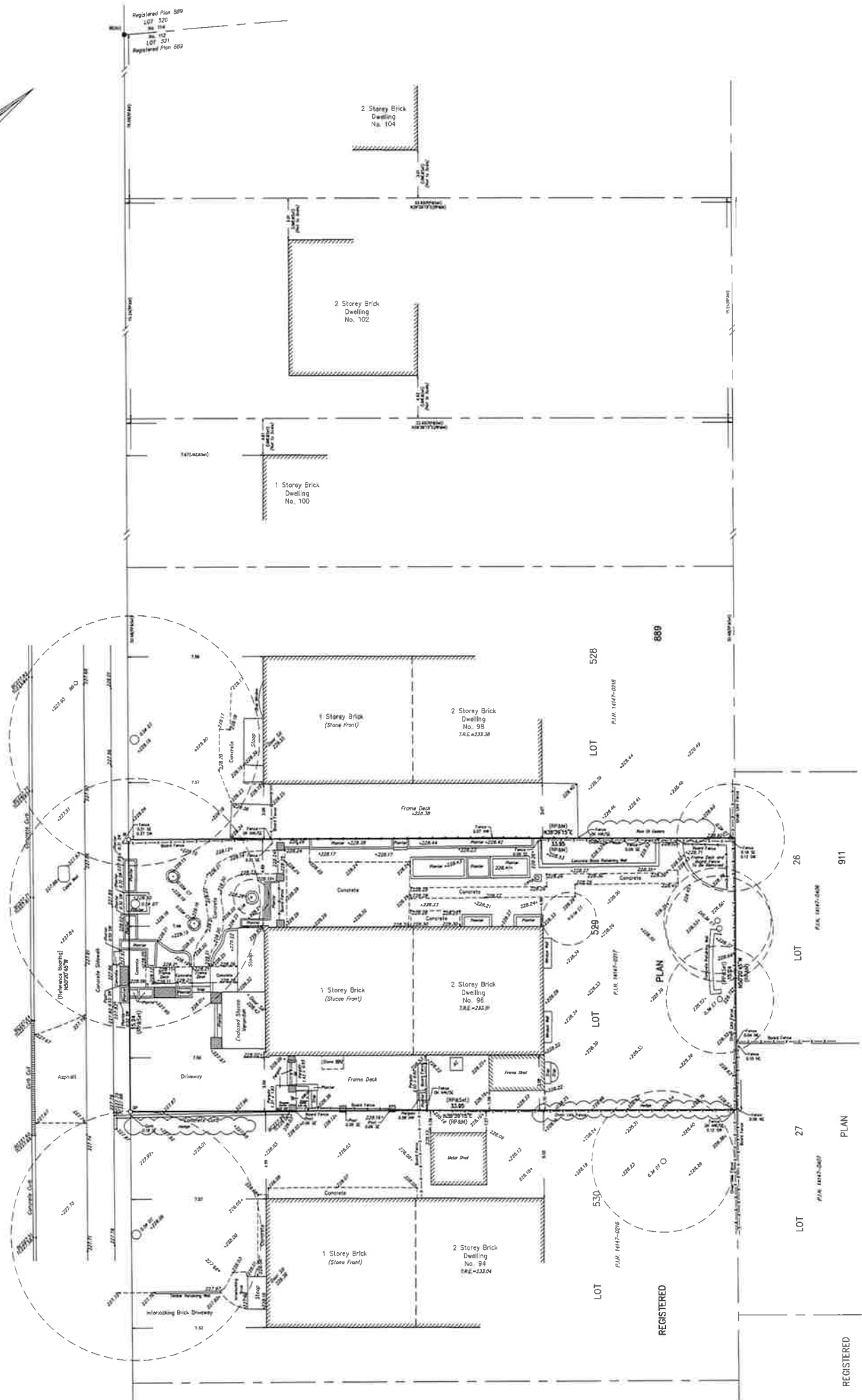
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF SURVEY OF
LOT 529
REGISTERED PLAN 889
CITY OF BRAMPTON
Regional Municipality of Peel
SCALE: 1 : 100
GTA SURVEYING INC.
© COPYRIGHT 2022



RUTHERFORD ROAD NORTH
(By Registered Plan 889)
P.L.N. 1147-0819



METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.
SURVEYOR'S CERTIFICATE
I, GORDON WAT,
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEY ACT, THE SURVEYORS ACT, AND THE
REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 17th DAY OF
JUNE, 2022.
DATE
JASON WILSON
ONTOARIO LAND SURVEYOR

THIS PLAN WAS PREPARED FOR
DAVIDE LUBACKA
ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
V-27835
THIS PLAN IS NOT VALID
UNLESS IT IS AN APPROVED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
IN ACCORDANCE WITH
REGULATION 2828, SECTION 28(2.1)

LEGEND
D = SURVEY MONUMENT SET
M = SURVEY MONUMENT FOUND
R = REGISTERED PLAN 889
U = PLAN BY DRAIN, MURPHY
& ESTER, O.L.S.
DATED NOVEMBER 27, 1970
N.S.E.W. = NORTH/SOUTHEAST/WEST
W = WEST
C = CONCRETE PIN
IB = IRON BAR
OU = CRUSHED LIMESTONE
WT = WITNESS
P.L.N. = PROPERTY IDENTIFIER NUMBER
AC = AIR CONDITIONER
BB = BELL BOX

LEGEND Continued
SC = BOTTOM OF CURB
TC = TOP OF CURB
CT = CONCRETE TREE
DT = DECIDUOUS TREE
MN = MANHOLE
T.R.E. = TOP OF ROOF ELEVATION
ELEVATION NOTE
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE
NAD83-CR84 COORDINATE SYSTEM DERIVED FROM THE
GLS84 POSITIVELY SYSTEM OBSERVATIONS.
BEARING NOTE
BEARINGS ARE ASTROMONIC AND ARE REFERRED TO THE
NORTH-EAST LANE OF RUTHERFORD ROAD NORTH,
HAVING A BEARING OF 85°22'45" W
ACCORDING TO REGISTERED PLAN 889.

PART 2 - SURVEY REPORT
1) PLEASE NOTE LOCATION OF FINISH PLANTING POSTS
AND CONCRETE CURB.
2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY NONE.
3) THIS PLAN DOES NOT CONFORM WITH EXISTING
BY-LAWS.

GTA
Greater Toronto Area
SURVEYING INC.
7008 Steeles Ave. West, Unit 12, Toronto ON M9W 0A2
Tel: (416) 679-2572
E-MAIL: jwg@gtasurveying.ca

DRAWN BY: [] CHECKED BY: [] PROJECT: 22130

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER:

A-2023-0042

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Dante Limbaga, Francis Limbaga
Address 96 Rutherford North Brampton, ON L6V2J2

Phone # 905-301 0148 **Fax #**
Email danfran_l@yahoo.com

2. **Name of Agent**
Address

Phone # **Fax #**
Email

3. **Nature and extent of relief applied for (variances requested):**
To permit a rear yard setback of 7.49 metres whereas the by-law requires a minimum rear yard setback of 8.48 metres.
To permit a driveway width 7.74 m

4. **Why is it not possible to comply with the provisions of the by-law?**
The property is within the Mature Neighbourhood must also comply with section 10.27 of the zoning by-law, and which is minimum Rear Yard Depth: equal to 25% of the depth of the lot or, the minimum rear yard depth required by the zone designation of the lot, whichever is greater. And here section 12.7 is greater.

5. **Legal Description of the subject land:**
Lot Number 529
Plan Number/Concession Number RP-889
Municipal Address 96 RUTHERFORD RD N

6. **Dimension of subject land (in metric units)**
Frontage 15.24
Depth 33.53
Area 511

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

One Single family dwelling unit and has gross area of 111.56m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Addition to the existing structure of 29.56m² gross area which equal to 3.28m depth x 8.9m width. The addition structure consists of one storey to match the existing main floor in order to obtain more bedrooms and space

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	4.9
Rear yard setback	16.4
Side yard setback	5.11
Side yard setback	2.92

PROPOSED

Front yard setback	4.9
Rear yard setback	7.5
Side yard setback	5.11
Side yard setback	1.22

10. Date of Acquisition of subject land: June 2013
11. Existing uses of subject property: One single family dwelling unit
12. Proposed uses of subject property: One single family dwelling unit and 2nd dwelling unit at the basement
13. Existing uses of abutting properties: Single family dwelling units
14. Date of construction of all buildings & structures on subject land: 1988
15. Length of time the existing uses of the subject property have been continued: 35 yrs

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE 23rd January OF 2023

THIS 23rd DAY OF January, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Dante Limbaga, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel THIS 7th DAY OF

February, 2023

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

February 7, 2023

Date Application Deemed
Complete by the Municipality

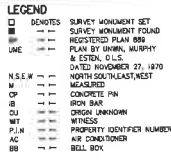
Revised 2022/02/17

Project : 96 Rutherford North Brampton, ON L6V2J2

PROPOSED ADDITIONAL & ALTERATION TO
EXISTING ONE STOREY DETACHED
DWELLING UNIT
BUILDING PERMIT



Rev:	Issue Date:	Description:
0	03/31/2022	Issued for approval
Owner Name & Address:		
Dante Limbaga, email: danfran_j@yahoo.com		
96 Rutherford North Brampton, ON L6V2J2		
Designer:		
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
Wissam Saifi		111825
Name		BCIN
Registration information		
Required unless design exempt under section C-3.2.4.1 of the Building Code		
WH Leaders Contracting Inc.		119716
Firm Name		BCIN
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Cover Sheet		
Designed WS	Checked: WS	Date: 03/31/2022
Discipline Architectural	Sheet no A0.1	Scale: 1/8"=1'



LEGEND Continued

BC	--- DENOTES	BOTTOM OF CURB
TC	---	TOP OF CURB
CT	---	CONIFEROUS TREE
DT	---	DECIDUOUS TREE
MR	---	MANHOLE
TRE	---	TOP OF ROOF ELEVATION

ELEVATION NOTE
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE NAD83-CORS COORDINATE SYSTEM DERIVED FROM THE GLOBAL POSITIONING SYSTEM OBSERVATIONS.

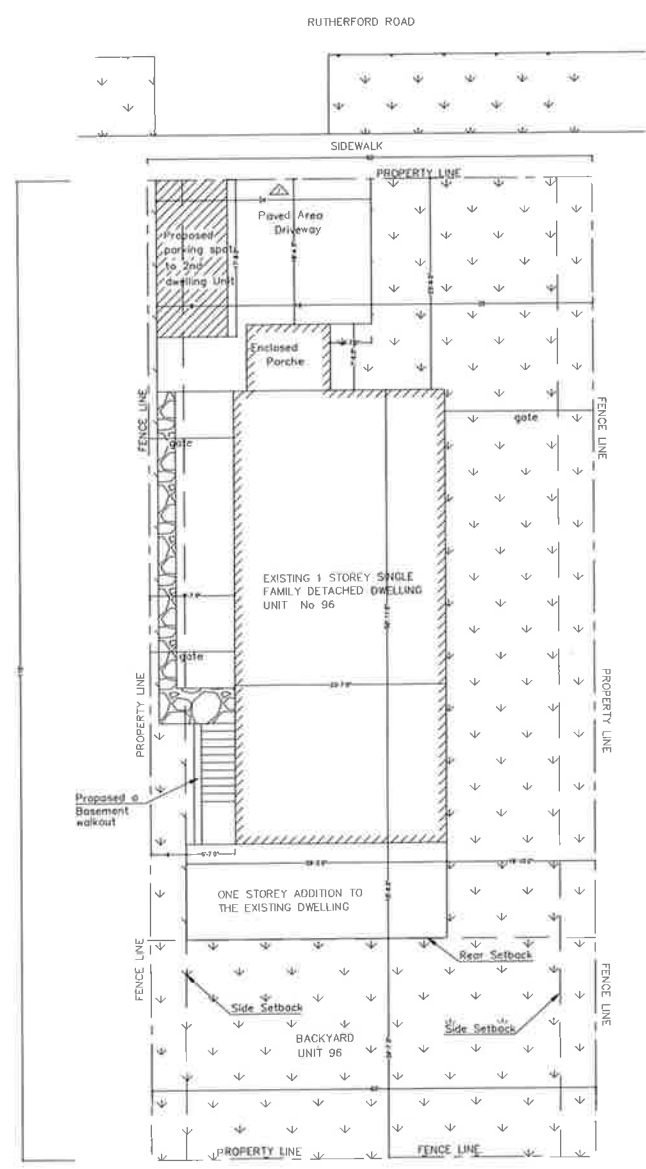
BEARING NOTE
BEARINGS ARE ASTROGNOMIC AND ARE REFERRED TO THE NORTH-EAST LIMIT OF RUTHERGLEN ROAD NORTH. HAVING A BEARING OF 100° 52' 11" N ACCORDING TO REGISTERED PLAN 886

PART 2 - SURVEY REPORT

1) PLEASE NOTE LOCATION OF FENCES, PLANTERS, POSTS, AND CONCREDE SIGNS

2) REVISITED EXISTING NOTES AND COMMENTS OF-MA, WORK

3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAW



ZONING	LOT NO.	PLAN NO.	LOT AREA	LOT FRONTAGE	LOT DEPTH
Residential R10	528	888	5,500.0 sqft (511.0 m2)	50'-0" (15.24 m)	110'-0" (33.53 m)
DESCRIPTION	EXISTING	ADDITION	TOTAL	% ALLOWED	% SETBACKS
LOT COVERAGE	1,325.84 sqft (123.20 m2)	318.2 sqft (29.56 m2)	1,644.04 sqft (152.76 m2)		FRONT YARD
GROSS FLOOR AREA	1,200.8 sqft (111.56 m2)	318.2 sqft (29.56 m2)	1,519.0 sqft (141.12 m2)		REAR YARD 25% OF THE LOT
LOWER FLOOR AREA	574.0 sqft (53.11 m2)	318.2 sqft (29.56 m2)	892.2 sqft (82.68 m2)		INTERIOR SIDE (West)
MAIN FLOOR AREA	1,200.8 sqft (111.56 m2)	318.2 sqft (29.56 m2)	1,519.0 sqft (141.12 m2)		INTERIOR SIDE (East)
NO. OF STOREY HEIGHT	1 STOREY 13'-5" (4.1 m)	1 STOREY 13'-5" (4.1 m)	1 STOREY 13'-5" (4.1 m)		
WIDTH	23'-7" (7.2 m)	5'-7" (1.71 m)	29'-2" (8.90 m)		
DEPTH	50'-11" (15.52 m)	10'-9" (3.28 m)	61'-7" (18.78 m)		
LANDSCAPE AREA	726.35 sqft (67.5 m2)	-98.0 sqft (-9.14 m2)	630.35 sqft (58.56 m2)	60%	
LOT COVERAGE UPPER DWELLING			1,644.04 sqft (152.76 m2)		
LOT COVERAGE LOWER DWELLING			892.2 sqft (82.68 m2)		

- Legend
- Existing structure
 - Additional structure
 - Outside landscaping

Rev.	Issue Date	Description
0	03 / 31 / 2022	Issued for approval
1	04 / 15 / 2022	Issued for approval
2	01 / 22 / 2022	Issued for approval

Owner Name & Address:
Dante Limbaga, email: denfran_1@yahoo.com
96 Rutherford North Brampton, ON L6V2J2

Designer:
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.

Qualification information
Wesam Safi
Name
111825
BCIN

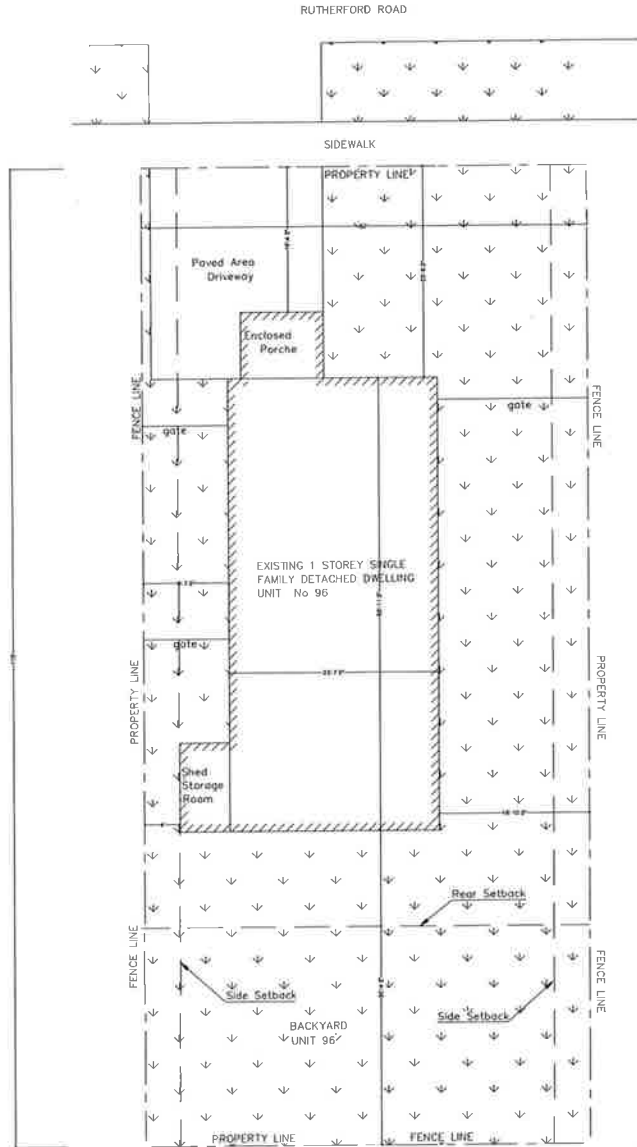
Registration information
Required unless design exempt under section C- 3.2.4.1 of the Building Code

WH Leaders Contracting Inc.
Firm Name
119 716
BCIN

Project Title:
Proposed Additional & Alteration to an existing one storey detached dwelling unit

Drawing Title:
Proposed Site Plan

Designed WS	Checked: WS	Date: 01/22/2022
Discipline Architectural	Sheet no A0.3	Scale: 1/8"=1'



ZONING	LOT NO.	PLAN NO.	LOT AREA	LOT FRONTAGE	LOT DEPTH
Residential R1B	529	889	5,500 Sqft. (511.0m ²)	50'-0" (15.24m)	110'-0" (33.53m)
DESCRIPTION	EXISTING	ADDITION	TOTAL	% ALLOWED	SETBACKS
LOT COVERAGE	1,325.84 sqft (123.20 m ²)		1,325.84 sqft (123.20 m ²)		FRONT YARD
GROSS FLOOR AREA	1200.8 sqft (111.56 m ²)		1200.8 sqft (111.56 m ²)		18'-0" (5.49 m)
LOWER FLOOR AREA	574.0 sqft (53.32 m ²)		574.0 sqft (53.32 m ²)		REAR YARD
MAIN FLOOR AREA	1200.8 sqft (111.56 m ²)		1200.8 sqft (111.56 m ²)		INTERIOR SIDE (West)
NO. OF STORES	1 STOREY		1 STOREY		INTERIOR SIDE (East)
HEIGHT	13'-5" (4.1m)		13'-5" (4.1m)		4'-0" (1.2 m)
WIDTH	23'-3" (7.2 m)		23'-3" (7.2 m)		18'-10.0" (5.13 m)
DEPTH	50'-11" (15.52 m)		50'-11" (15.52 m)		
Landscape area	726.35 sqft (67.5 m ²)		726.35 sqft (67.5 m ²)	60%	



Rev:	Issue Date:	Description:
0	03/31/2022	Issued for approval
Owner Name & Address:		
Dante Limbaga, email: danfran_j@yahoo.com 96 Rutherford North Broomplon, ON L6V2J2		
Designer:		
The Undersigned has reviewed & takes responsibility for the design work on behalf of a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
Wissam Sali	111855	BCIN
Registration information		
Required unless design exempt under section C-3.2.4.1 of the Building Code		
WH Leaders Contracting Inc.	119 718	BCIN
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Existing Site Plan		
Designed WS	Checked: WS	Date: 03/31/2022
Discipline Architectural	Sheet no A0.2	Scale: 1/8"=1'

ROOF RAFTERS (WHERE NO CEILING IS INSTALLED)

MAXIMUM CLEAR SPAN						
RAFTER SIZE	ROOF SNOW LOAD 1.0 kpa			ROOF SNOW LOAD 1.5 kpa		
	RAFTER SPACING			RAFTER SPACING		
	12" O.C.	16" O.C.	24" O.C.	12" O.C.	16" O.C.	24" O.C.
2X4	10'-2"	9'-3"	8'-1"	8'-11"	8'-1"	7'-1"
2X6	16'-0"	14'-7"	12'-9"	14'-0"	12'-9"	11'-1"
2X8	21'-1"	19'-2"	16'-9"	18'-5"	16'-9"	14'-5"

MAXIMUM CLEAR SPAN						
JOIST SIZE	ROOF SNOW LOAD 1.0 kpa			ROOF SNOW LOAD 1.5 kpa		
	JOIST SPACING			JOIST SPACING		
	12" O.C.	16" O.C.	24" O.C.	12" O.C.	16" O.C.	24" O.C.
2X4	8'-1"	7'-4"	6'-5"	7'-1"	6'-5"	5'-7"
2X6	12'-9"	11'-6"	10'-1"	11'-1"	10'-1"	8'-9"
2X8	16'-9"	15'-2"	13'-3"	14'-7"	13'-3"	11'-7"

JOIST SIZE	1"x3" STRAPPING OR DRYWALL CLG.				2"x2" CROSS BRIDGING			BOTH STRAPPING & BRIDGING			1 1/2"x2" CONCRETE TOPPING		
	JOIST SPACING				JOIST SPACING			JOIST SPACING			JOIST SPACING		
	12" o.c.	16" o.c.	24" o.c.		12" o.c.	16" o.c.	24" o.c.	12" o.c.	16" o.c.	24" o.c.	12" o.c.	16" o.c.	24" o.c.
2x4	6'-1"	5'-7"	5'-2"		6'-6"	5'-11"	5'-2"	6'-6"	5'-11"	5'-2"	6'-6"	5'-11"	5'-2"
2x6	9'-6"	8'-10"	8'-2"		10'-3"	9'-4"	8'-2"	10'-3"	9'-4"	8'-2"	10'-3"	9'-4"	8'-2"
2x8	11'-7"	11'-0"	10'-6"		12'-6"	11'-9"	10'-8"	13'-1"	12'-2"	10'-8"	13'-6"	12'-3"	10'-8"
2x10	13'-8"	12'-11"	12'-4"		14'-6"	13'-8"	12'-10"	15'-1"	14'-0"	13'-1"	17'-3"	15'-8"	13'-6"
2x12	15'-7"	14'-9"	14'-1"		16'-5"	15'-5"	14'-6"	16'-11"	15'-9"	14'-8"	20'-5"	19'-0"	15'-8"

DOOR SCHEDULE				
NO.	TYPE	SIZE	QTY.	REMARKS
001	SOLID CORE PLUS GLASS INSERT 2" x 5"	2'-6"x 6'-8"	1.	ENTRY DOOR STYLE PLUS DEAD BOLT KEY & TO COMPLY Div B 9.7.5.2
002	HOLLOW CORE	2'-8"x 6'-8"	1.	HCW - 2 PANELS
003	HOLLOW CORE	2'-8"x 6'-8"	1.	HCW - 2 PANELS
004	HOLLOW CORE	2'-8"x 6'-8"	1.	HCW - 2 PANELS
005	HOLLOW CORE	2'-8"x 6'-8"	1.	EXISTING DOOR
006	HOLLOW CORE	2'-8"x 6'-8"	1.	EXISTING DOOR
007	SOLID CORE	2'-8"x 6'-8"	1.	SCW - FR SLAB TYPE PLUS DOUBLE CYLINDER DEAD BOLT KEY.
008	SOLID CORE	2'-8"x 5'-0"	1.	EXISTING
009	HOLLOW CORE	2'-8"x 6'-8"	1.	HCW - 2 PANELS
010	FR - DOOR	2'-8"x 6'-8"	1.	20MIN FR DOOR PLUS SELF-CLOSING SYSTEM
012	HOLLOW CORE	2'-8"x 6'-8"	1.	HCW - 2 PANELS
013	HOLLOW CORE	2'-6"x 6'-8"	1	HCW - 2 PANELS

[illegible]

WALL TYPES

- EXISTING SUBFLOOR
- EXISTING WOOD JOIST 2"x8" SPACED 24" O.C
- 89mm THK ROXUL INSULATION
- PROVIDE RESILIENT CHANNEL 16" (406mm) SPACED O.C
- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD

- 2"x4" WOOD STUD SPACED @ 16" O.C
- R20ci INSULATION PLUS VAPOR/AIR BARRIER
- 1 LAYER OF 1/2" REGULAR GYPSUM BOARD

- BRICK VENEER 4" FACE TO FACE
- 2"x6" WOOD STUD SPACED @ 16" O.C
- R19 +5C1 INSULATION PLUS VAPOR/AIR BARRIER
- 12.7mm (1/2") EXTERIOR TYPE SHEATHING
- 1 LAYER OF 1/2" REGULAR GYPSUM BOARD

- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD
- 2"x4" WOOD STUD SPACED @ 16" O.C
- 89mm THK RXUL INSULATION
- PROVIDE RESILIENT CHANNEL 16" (406mm) SPACED O.C
- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD

- 1 LAYER OF 1/2" TYPE REGULAR GYPSUM BOARD
- 2"x4" WOOD STUD SPACED @ 16" O.C
- 1 LAYER OF 1/2" TYPE REGULAR GYPSUM BOARD


JOIST SIZE	JOIST SPACING		
	12" o.c.	16" o.c.	24" o.c.
2x4	10'-2"	9'-3"	8'-1"
2x6	16'-0"	14'-7"	12'-9"
2x8	21'-1"	19'-2"	16'-9"
2x10	26'-11"	24'-6"	21'-4"

FLOOR JOIST UP TO	SUBFLOORING		
	WAFER BD.	PLYWOOD	LUMBER
16" O.C.	5/8"	5/8"	11/16"
20" O.C.	5/8"	5/8"	3/4"
24" O.C.	3/4"	3/4"	3/4"

ROOF FRAMING	ROOF SHEATHING UNSUPPORTED EDGES	ROOF SHEATHING TONGUE & GROOVE, 'H'-CLIPS OR OTHER EDGE SUPPORT
12" O.C.	3/8" PLYWOOD, WAFER BD. OR 11/16" LUMBER	5/16" PLYWOOD, 3/8" WAFER BD. OR 11/16" LUMBER
16" O.C.	3/8" PLYWOOD, 7/16" WAFER BD. OR 1 1/8" LUMBER	5/16" PLYWOOD, 3/8" WAFER BD. OR 11/16" LUMBER
24" O.C.	1/2" PLYWOOD OR 3/4" LUMBER	3/8" PLYWOOD, 7/16" WAFER BD. OR 3/4" LUMBER

<div> <div>WINDOW SCHEDULE</div> <div> ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/ A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1M ABOVE FLOOR </div> </div>				
NO.	TYPE	SIZE	QTY.	REMARKS
W1	CASEMENT	3'-11" x 2'-1"	1	EXISTING WINDOW
W2	CASEMENT	3'-0" x 3'-4"	1	2 PANELS, EGRESS WINDOW OPERABLE 17"x40"
W3	CASEMENT	4'-10" x 3'-0"	1	EXISTING WINDOW
W4	CASEMENT	2'-11" x 2'-1"	1	CLOSED
W5	CASEMENT	5'-0" x 3'-2"	1	EXISTING WINDOW
W6	CASEMENT	1'-4" x 6'-0"	1	1 PANEL
W7	CASEMENT	1'-4" x 6'-0"	1	1 PANEL
W8	CASEMENT	1'-4" x 6'-0"	1	1 PANEL
W9	CASEMENT	1'-4" x 6'-0"	1	1 PANEL
W10	CASEMENT	3'-6" x 3'-0"	1	2 PANEL
W11	CASEMENT	2'-0" x 3'-0"	1	1 PANEL

Page 697 of 1189

Rev.	Issue Date:	Description
0	01/08/2021	issue of for approval
Owner Name & Address:		
Dante Limbaga, email: dantran_l@yahoo.com		
96 Rutherford North Brampton, ON L6V2J2		
Designer:		
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
 Wissam Safi Name		119 719 BCIN
Registration information		
Required unless design exempt under section C-3.2.4.1 of the Building Code		
W1 Leaders Contracting Inc. Firm Name		119 719 BCIN
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Door & Window schedules and Calculation Tables		
Designed WS	Checked: WS	Date: 01/08/2021
Discipline Architectural	Sheet no A0 4	Scale: 3/8"=1'

GENERAL NOTES

CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2012

ALL CONSTRUCTION PRACTICES TO COMPLY W/ ONTARIO BUILDING CODE REGULATIONS

ALL DIMENSIONS GIVEN FIRST IN METRIC (mm) FOLLOWED BY IMPERIAL

10 EXCAVATION & BACKFILL

(SEE O.B.C. 9.12.)

- EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES
- THE TOPSOIL & VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS & WOOD DEBRIS SHALL BE REMOVED TO A MIN. DEPTH OF 300mm (12") IN EXCAVATED AREAS UNDER A BUILDING & THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS & THE GROUND SHALL BE NO LESS THAN 450mm (18")
- BACKFILL WITHIN 600mm (24") OF THE FND. WALLS SHALL BE FREE OF DELETERIOUS DEBRIS & BOULDERS OVER 250mm (10") IN DIA.

20 FOOTINGS

(SEE O.B.C. 9.15.3.)

- FOOTING MIN. 15MPa POURED CONCRETE
- FOOTINGS SHALL BE MIN 1200mm (4'-0") BELOW FINISHED GRADE
- FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. BEARING CAPACITY OF 75KPa OR 100 KPa FOR ICW

FOOTING SIZES

FLOORS	SUPPORTING	SUPPORTING	COLUMN
LEVEL	EXT. WALL	INT. WALL	AREA
1	250mm (9 7/8")	250mm (9 7/8")	0.4m2 (4.3ft2)
2	350mm (13 3/4")	350mm (13 3/4")	0.75m2 (8.1ft2)
3	450mm (17 3/4")	450mm (17 3/4")	1.0m2 (10.8ft2)

- INCREASE EXTERIOR FOOTING WIDTH BY 65mm (2 5/8") FOR EACH STOREY OF BRICK VENEER SUPPORTED, BY 130mm FOR STOREY OF MASONRY (5 1/8") & BY 150mm (6") FOR ICW
- THE PROJECTION OF AN UNREINFORCED FOOTING BEYOND THE WALL SUPPORTED SHALL NOT BE GREATER THAN ITS THICKNESS

2.1 GRADE

- SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI-SOLID BLOCK COARSE (FOR CONCRETE BLOCK FND. WALL) AT OR BELOW GRADE LEVEL

FOUNDATION WALLS

(SEE O.B.C. 9.15.4.)

- FOUNDATION WALL TO BE POURED CONCRETE, UNIT MASONRY (CONC. BLOCK), ICW OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE & THICKNESS)
- DAMP-PROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL
- FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING
- FOUNDATION WALL TO EXTEND MIN. 150mm (6") ABOVE FIN. GRADE
- LATERAL SUPPORT OF WALL PROVIDED BY ANCHORED SILL PLATE
- DRAINAGE LAYER REQUIRED ON THE OUTSIDE OF A FND. WALL WHERE THE INTERIOR INSULATION EXTENDS 900mm (2'-11") BELOW FIN. GRADE
- A DRAINAGE LAYER SHALL CONSIST OF MIN. 19mm MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 57 kg/m3
- MIN. 100mm OF FREE DRAINAGE GRANULAR MATERIAL, OR

3.0 FOUNDATION WALL (REINF. CONC.)

(SEE O.B.C. 9.15.4.)

- 250mm (10") POURED CONC. WALL 20 MPa (2900 PSI) STRENGTH @ 28 DAYS REINF. W/ 15M BARS @ 16" O.C VERTICAL & 10M BARS HORIZ. @ 16" O.C TIED TO THE FOOTING W/ 15M BARS DOWELS. ALL BARS SHALL BE EPOXY COVERING
- BITUMINOUS DAMPPROOFING & DRAINAGE LAYER WHEN BSMT. INSULATION EXTENDS 900mm (2'-11") BELOW GRADE
- MAX. WALL HT. 2850mm (9'-4") USING 250mm (10") POURED CONC. 20 MPa (2900 PSI) @ 28 DAYS
- FOUNDATION WALL TO EXTEND MIN. 150mm (6") ABOVE FIN. GRADE
- WATERPROOF THE EXTERIOR FACE OF WALL BELOW GRADE IN CONFORMANCE W/ SUBSECTION 9.13.3. O.B.C
- DAMP-PROOF THE EXTERIOR FACE OF THE WALL BELOW GRADE IN CONFORMANCE W/ SECTION 9.13.2. OF THE O.B.C. & PROVIDE FOUNDATION WALL DRAINAGE CONFORMING TO 9.14.2 (2) OF THE O.B.C.
- DRAINAGE LAYER REQUIRED ON THE OUTSIDE OF A FND. WALL WHERE THE INTERIOR INSULATION EXTENDS 900mm (2'-11") BELOW FIN. GRADE

4.0 FLOOR FRAMING

(SEE O.B.C. 9.23.9.)

- JOISTS TO HAVE A MIN. 38mm (1 1/2") OF END BEARING
- JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FND. W/ 12.7mm (1/2") ANCHOR BOLTS @ 2400 (4'-0") O.C.
- HEADER JOISTS BETWEEN 1200mm (3'-11") & 3200mm (10'-6") IN LENGTH SHALL BE DOUBLED. HEADER JOISTS EXCEEDING 3200mm (10'-6") SHALL BE SIZED BY CALC.
- TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 800mm (2'-7") & 2000mm (6'-7")
- 38x38mm (2"x2") CROSS BRIDGING REQUIRED NOT MORE THAN 2100mm (6'-11") FROM EACH SUPPORT & FROM OTHER ROWS OF BRIDGING

- JOISTS SHALL BE SUPPORTED ON JOIST HANGERS @ ALL FLUSH BEAMS, TRIMMERS & HEADERS
- NON-LOAD BEARING PARTITIONS SHALL BE SUPPORTED ON A JOIST OR ON BLOCKING BETWEEN JOISTS
- JOISTS LOCATED UNDER PARALLEL, NON-LOAD BEARING PARTITIONS SHALL BE DOUBLED

NOTCHING & DRILLING OF JOISTS, TRUSSES & RAFTERS

(SEE O.B.C. 9.23.5.)

- HOLE IN FLOOR, ROOF & CEILING MEMBERS TO BE NOT LARGER THAN 1/4 THE ACTUAL DEPTH OF MEMBER & NOT LESS THAN 50mm (2") FROM EDGES
- NOTCHES IN FLOOR, ROOF & CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING & NOT GREATER THAN 1/3 THE JOIST DEPTH
- WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING, & 40mm (1 9/16") IF NON-LOAD BEARING
- ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN

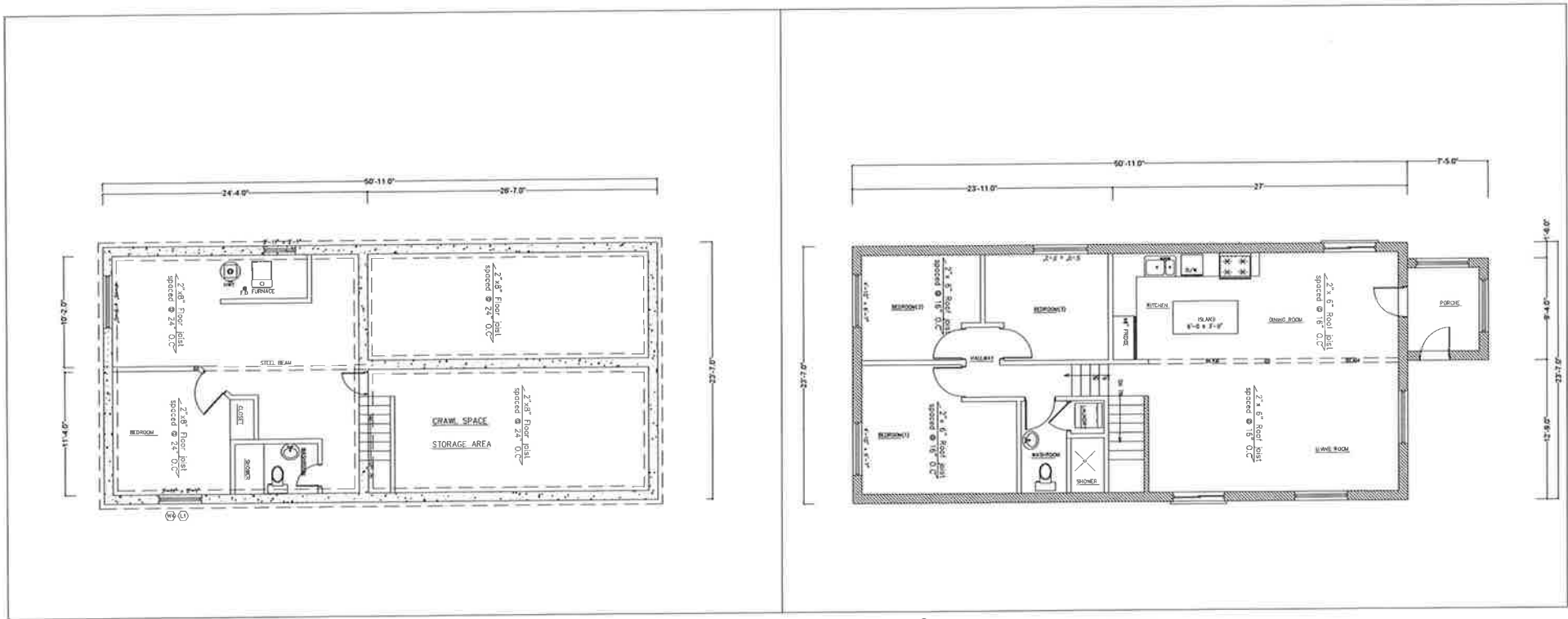
5.0 WOOD FRAME CONSTRUCTION

(SEE O.B.C. 9.23.)

- ALL LUMBER SHALL BE SPRUCE-PINE-FIR No. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP
- MAX. MOISTURE CONTENT 19% @ TIME OF INSTALLATION
- WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONC. IN DIRECT CONTACT W/ SOIL SHALL BE SEPARATED FROM THE CONC. W/ 0.05mm (0.002") POLYETHYLENE OR TYPE 'S' ROLL ROOFING

Legend

- Sections & elevations
- Construction Notes
- Reinforced Concrete Foundation wall
- Exterior partition wall
- Interior load bearing wall
- Interior non-load bearing wall
- guards
- Smoke Alarm
- Carbon monoxide detector
- Floor Drainage (F.D.)
- Exhaust Fan
- Ceiling Height
- Supply vent
- Return air
- Exterior Light
- Duct Smoke Detector



Existing Basement Floor Plan

Existing Main Floor Plan

Rev.	Issue Date:	Description
D	01 / 08 / 2021	Issued for approval
Owner Name & Address:		
Dante Limbaga, email: danfran_l@yahoo.com 96 Rutherford North Brampton, ON L6V2J2		
Designer:		
The Undersigned has reviewed & takes responsibility for the design work on behalf of a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
Vysamm Sath	111695	BCIN
Registration information		
Required unless design exempt under section C-3.2.4.1 of the Building Code		
WH Leaders Contracting Inc.	119 716	BCIN
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Existing Basement & Main Floor Plans		
Designed WS	Checked: WS	Date: 01/08/2021
Discipline Architectural	Sheet no A1.1	Scale: 3/16"=1'

GENERAL NOTES (Continued)

WALLS

- EXTERIOR WALLS SHALL CONSIST OF
 - CLADDING
 - AIR BARRIER SYSTEM LAPPED 100mm (4") @ JOINTS
 - LUMBER, PLYWOOD, OSB OR GYPSUM SHEATHING
 - WOOD STUDS @ 400mm (16") O.C. AS SIZED ON THE DRAWINGS
 - BOTTOM PLATE
 - DOUBLE TOP PLATE
 - MID-GIRTS IF NOT SHEATHED
- INTERIOR WALLS SHALL CONSIST OF
 - WOOD STUDS @ 400mm (16") O.C. AS SIZED ON THE DRAWINGS
 - BOTTOM PLATE
 - DOUBLE TOP PLATE
 - GYPSUM WALL BOARD

6.0 CEILING FINISH @ THE BASEMENT - 45min
(SEE SB-3 TYPE F5c)

- 89mm THK ROXUL INSULATION
- PROVIDE RESILIENT CHANNEL 16" (406mm) SPACED O.C
- PROVIDE 1 LAYER OF 5/8" FIRE RATED DRYWALL TO THE EXISTING FLOOR JOIST

5.1 BASEMENT INSULATION & FRAMING

- MIN. RSI 1.75 (R10c) 75mm (3") CONTINUOUS FOAM INSULATION BETWEEN WOOD FRAMING & CONC FOUNDATION WALL + MIN. RSI 2.11 (R12) BATT INSULATION WITHIN 38x89mm (2"x4") @ 400mm (16") O.C. WOOD FRAMING
- 0.15mm (0.006") POLY VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.4. OF THE O.B.C. TO EXTEND FROM THE INSIDE OF THE SUBFLOOR DOWN TO FULL BASEMENT HEIGHT
- MOISTURE BARRIER CONFORMING TO SUBSECTION 9.25.3. OF THE O.B.C. TO HEIGHT OF EXTERIOR GRADE BETWEEN FOUNDATION WALL & WOOD FRAMING

5.2 FRAME WALL CONSTRUCTION (2"x8") BRICK VENEER

- BRICK VENEER 4" FACE TO FACE
- 25x17x0.76mm (1"x7"x0.03") GALVANIZED METAL TIES @ 400mm (16") O.C. HORIZONTAL & 600mm (24") O.C. VERTICAL NOT TO COMPRESS THE EXTERIOR SHEATHING

- 25mm (1") AIR SPACE
- 0.7 Kg/m² (#15) BUILDING PAPER (AIR BARRIER) TO OVERLAP @ JOINTS
- 12.7mm (1/2") EXTERIOR TYPE SHEATHING
- 38x140mm (2"x6") WOOD STUDS @ 400mm (16") O.C.
- RSI 3.34 + 0.86 ci (R19 + 5 ci) INSULATION
- 0.15mm (0.006") AIR/VAPOUR BARRIER TO CONFORM TO CAN/CSA-S134-M & SUBSECTIONS 9.25.3. & 9.25.4 OF THE O.B.C.
- One layer of 12.7mm (1/2") REGULAR GYPSUM BOARD WALL FINISH
- PROVIDE WOODEN PANEL WITH SMALL HOLES IN THE BOTTOM OF EACH PANEL AND ACTS AS WEEP HOLES TO ALLOW MOISTURE ESCAPE ROUTE.
- PROVIDE BRICK, STONE OR PRECAST CONC. SILLS UNDER ALL OPENINGS & FLASH UNDER SILL

5.3 INTERIOR FIRE RATED STUD PARTITION-45min
(SEE SB-3 TYPE W3a)

- 38x140mm (2"x6") @ 400mm (16") O.C. FOR LOAD BEARING WALLS, 38x89mm (2"x4") @ 400mm (16") O.C. NON LOAD BEARING
- 15.9mm (5/8") TYPE X GYPSUM WALLBOARD ON BOTH SIDES
- PROVIDE RESILIENT CHANNEL 16" (406mm) SPACED O.C
- 89mm THK ROXUL INSULATION
- 38x89mm (2"x4") BOTTOM PLATE, 2-38x89mm (2"x4") TOP PLATE, TRIPLE STUDS @ CORNERS

5.4 INTERIOR NON FIRE RATED STUD PARTITION

- 38x89mm (2"x4") @ 400mm (16") O.C. NON LOAD BEARING
- 12.7mm (1/2") INT. GYPSUM WALLBOARD ON BOTH SIDES
- 38x89mm (2"x4") BOTTOM PLATE, 2-38x89mm (2"x4") TOP PLATE, TRIPLE STUDS @ CORNERS

LUMBER

- (SEE O.B.C. 9.3.2.)
- ALL LUMBER SHALL BE SPRUCE-PINE-FIR No. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP & HAVE A MAX. MOISTURE CONTENT 19% @ TIME OF INSTALLATION
- STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE
- LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE

- END BEARING JOISTS - 38mm (1 1/2") BEAMS - 89mm (3 1/2")

- PROVIDE METAL HANGERS FOR ALL JOISTS & BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS

- WOOD FRAMING NOT TREATED W/ A WOOD PRESERVATIVE & ARE IN CONTACT W/ CONCRETE THAT IS LESS THAN 150mm (6") ABOVE GROUND OR SLAB, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 0.15mm (0.006") POLYETHYLENE FILM OR NO. 50 (45lb) ROLL ROOFING DAMPPROOFING BETWEEN WOOD & CONCRETE

- BUILDINGS & THEIR STRUCTURAL MEMBERS MADE OF WOOD SHALL CONFORM TO CSA086, "ENGINEERING DESIGN IN WOOD"

6.0 SLAB ON GRADE

- POURED CONC. SLAB ON GRADE 4650 PSI @ 28 DAYS 5%-8% AIR ENTRAINMENT (OPTIONAL)
- 50mm (2") CONT. RIGID FOAM INSULATION (OPTIONAL)
- 100mm (4") CRUSHED STONE AND BEAR ON UNDISTRIBUTED SOIL

7.0 ROOF & CEILING

- (SEE O.B.C. 9.23.13.)
- SEE PLANS FOR RAFTER, ROOF JOIST & CEILING JOIST SIZE & SPACING REQUIREMENTS
- HIP & VALLEY RAFTER SHALL BE 38mm (2") DEEPER THAN COMMON RAFTERS
- 38x89mm (2"x4") COLLAR TIES @ RAFTER SPACING W/ 15x89mm (1"x4") CONTINUOUS BRACE @ MID-SPAN IF COLLAR TIE EXCEEDS 2400mm (7'-10") IN LENGTH
- SEE PLANS FOR SHEATHING REQUIREMENTS (SEE O.B.C. 9.23.15.)

ROOFING

- (SEE O.B.C. 9.26.)
- FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 12mm (1/2") INTO ROOF SHEATHING
- EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS FOR 1000mm (2'-11") WIDE SHINGLE (OR 6 11mm (0.43") STAPLES)

- EAVE PROTECTION SHALL EXTEND 900mm (2'-11") UP THE ROOF SLOPE FROM THE EDGE, & AT LEAST 300mm (11 3/4") FROM THE INSIDE FACE OF THE EXTERIOR WALL, & SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING & W/ MIN. 100mm (4") HEAD & END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTHER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL OR #15 SATURATED FELT LAPPED & CEMENTED. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED

- OPEN VALLEYS SHALL BE FLASHED W/ 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 600mm (23 5/8") WIDE
- FLASHING SHALL BE PROVIDED @ THE INTERSECTION OF SHINGLE ROOFS W/ EXTERIOR WALLS & CHIMNEYS
- SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 1.73mm (1/16") SHEET LEAD, 0.33mm (0.013") GALV. STEEL, 0.33mm (0.018") COPPER, 0.35mm (0.018") ZYNC, OR 0.48mm (0.019") ALUMINUM

7.1 ROOF CONSTRUCTION

- 20 YEAR ASPHALT SHINGLES W/ EAVES PROTECTION
- TYPE 'S' ROLL ROOFING FROM EDGE OF ROOF EXTENDING A MIN. DISTANCE OF 900mm (3') UP THE ROOF
- MIN. 9.5mm (3/8") PLYWOOD SHEATHING W/ 'H' CLIPS

ROOF INSULATION

- ATTIC VENTILATION 1 : 150 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED
- MIN. 54mm (2 1/2") RSI 5.46 (R31) FIBREGLOSS INSULATION
- 0.15mm (0.006") AIR/VAPOUR BARRIER CONFORMING TO SUBSECTIONS 9.25.3. & 9.25.4. OF THE O.B.C.
- MIN. 15.9mm (5/8") GYP. WALL BOARD OR APPROVED EQUAL

8.0 COLUMNS, BEAMS & LINTELS

STEEL (SEE O.B.C. 4.3.4.)

- BUILDINGS & THEIR STRUCTURAL MEMBERS MADE OF STRUCTURAL STEEL SHALL CONFORM TO CSA S16, "DESIGN OF STEEL STRUCTURES"
- REINFORCING STEEL SHALL CONFORM TO GRADE 400 IN CSA-G30-18M, "BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT"
- STRUCTURAL STEEL MEMBERS USED IN CONSTRUCTION REQUIRED TO HAVE A FIRE-RESISTANCE RATING SHALL BE PROTECTED TO PROVIDE THE REQUIRED FIRE-RESISTANCE RATING

- STEEL BEAMS & COLUMNS SHALL BE SHOP PRIMED 350W STEEL
- MIN. 89mm (3 1/2") END BEARING FOR WOOD & STEEL BEAMS, W/ 190mm (7 7/8") SOLID MASONRY BENEATH THE BEAM
- STEEL COLUMNS TO HAVE MIN. OUTSIDE DIA. OF 73mm & MIN. WALL THICKNESS OF 4.76mm (3/16")

- WOOD COLUMNS FOR CARPORTS & GARAGES SHALL BE MIN. 89x89mm (3 1/2"x3 1/2") IN ALL OTHER CASES EITHER 140x140mm 5 1/2"x5 1/2" OR 184mm (7 1/4") ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER
- MASONRY COLUMNS SHALL BE A MIN. OF 250x250mm (11 3/8"x11 3/8") OR 240x380mm (9 1/2"x15")

- PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS

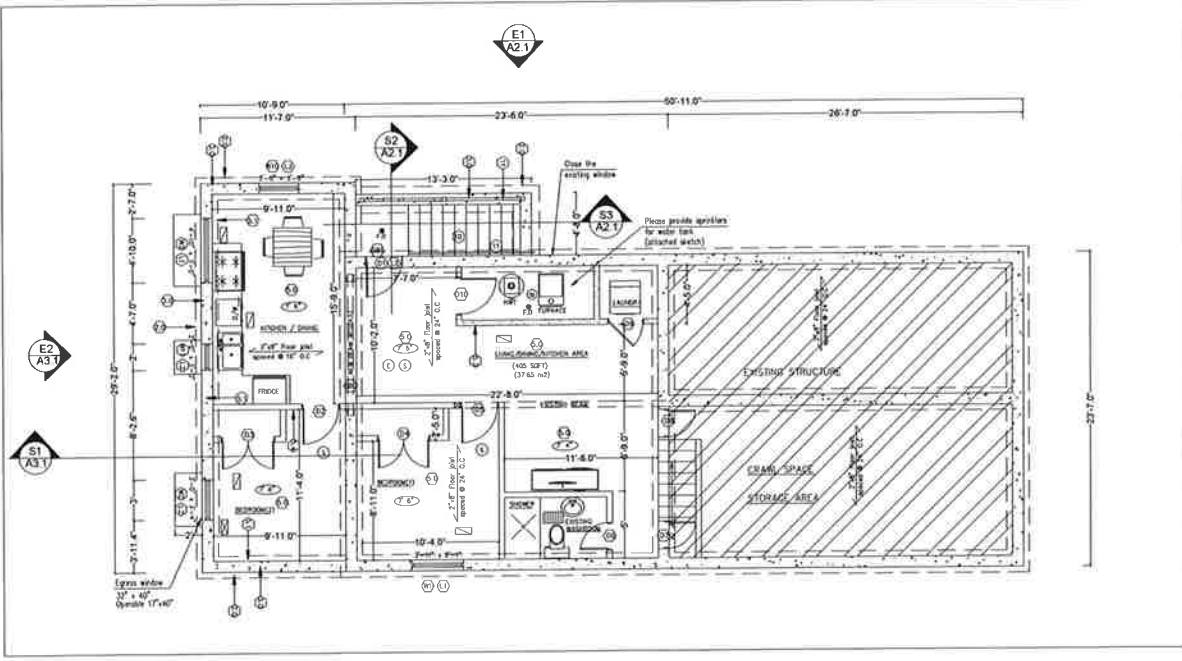
8.1 STEEL PIPE COLUMN (INT.)

- (SEE O.B.C. 9.17.3.)
- 90mm (3 1/2") DIA. W/ A WALL THICKNESS OF 4.76mm (3/16") NON ADJUSTABLE STEEL COLUMN W/ 150x150x9.5mm (6"x6"x3/8") STEEL TOP & BOTTOM PLATE. BASE PLATE 200x200x12.7mm (8"x8"x1/2") W/ 4-12.7mm DIA. x 350mm LONG x50mm (4-12") DIA. x 12" LONG x 2") HOOK ANCHORS

- FIELD WELD COLUMN TO BASE PLATE ON 1067x1067x457mm (42"x42"x18") POURED CONC. FTG. ON UNDISTURBED SOIL OR ENG. FILL CAPABLE OF SUSTAINING A PRESSURE OF 125kPa (18 1/2psi) MIN. AS PER SOIL REPORT

Legend

- Sections & elevations
- Construction Notes
- Reinforced Concrete Foundation wall
- Exterior partition wall
- Interior Fire rated partition wall
- Interior non-load bearing wall
- guards
- Smoke Alarm
- Carbon monoxide detector
- Floor Drainage (F.D.)
- Exhaust Fan
- Ceiling Height
- Supply vent
- Return air
- Exterior Light
- Duct Smoke Detector



Proposed Basement Floor Plan

Rev	Issue Date	Description
0	01/08/2021	Issued for approval

Owner Name & Address:
Dante Limbaga, email: danfran_l@yahoo.com
86 Rutherford North Brampton, ON L6V2J2

Designer:
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.

Qualification information
Wissam Saifi
Name 111855 BCIN

Registration information
Required unless design exempt under section C-3.2.4.1 of the Building Code

W1 Leaders Contracting Inc.
Firm Name 119 718 BCIN

Project Title:
Proposed Additional & Alteration to an existing one storey detached dwelling unit

Drawing Title:
Proposed Basement Floor Plan

Designed	Checked:	Date:
WS	WS	01/08/2021
Discipline	Sheet no	Scale:
Architectural	A1.2	3/16"=1'

GENERAL NOTES (Continued)

- 8.2 BEAMS
(SEE O.B.C. 9.23.4.2., O.B.C. 9.23.4.3. & 9.23.8.)
- SB-1 127x90x8 0mm (51/2"x3 1/2"x1 1/4")
 - SB-2 W150x37 ST. BEAM
 - SB-3 W200x31 ST. BEAM

8.3 WOOD COLUMNS & BUILT-UP BEAMS (SEE O.B.C. 9.17.3.)

•4" X 4" TREATED WOOD POST ANCHORED TO CONCRETE WALL W/METAL SHOE + 7/8" BOLT SHOE ANCHORED MIN 4" INTO 8" POURED CONCRETE WALL ON 1' 8" X 6" DEEP POURED CONCRETE FOOTING ON UNDISTRIBUTED SOIL

•ALL BUILT UP POSTS ARE TO BE CONSTRUCTED CONTINUOUSLY TO THE FOUNDATION WITH TRANSFER BLOCKING AT EACH FLOOR FRAMING POSTS ARE TO CONTINUE TO FOUNDATIONS EVEN IF SUPPORTED ON LOAD BEARING STUD WALLS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

•PROVIDE DOUBLE FLOOR JOISTS AT ALL NON-LOAD BEARING AND LOAD BEARING PARTITION WALLS SPANNING PARALLEL TO THE FLOOR FRAMING UNLESS OTHERWISE NOTED.

•PROVIDE SOLID BLOCKING, MATCHING JOIST MEMBER SIZE, UNDER ALL LOAD BEARING WALLS OFFSET FROM THE SUPPORTS BELOW FOR FLOOR JOISTS SPANNING PERPENDICULAR TO THE WALLS.

•ALL NAILERS TO BE ANCHORED WITH 12mm (1/2") DIAMETER ANCHOR BOLTS X300mm (12") LONG AT 1200mm (4'-0") ON CENTER STAGGER ANCHOR BOLTS

9.0 DOORS & WINDOWS

(SEE O.B.C. 9.7.)

•EVERY FLOOR LEVEL CONTAINING A BEDROOM & NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35m² (3.8FT²) AND NO DIMENSION LESS THAN 380mm (15"), WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS. MAX. SILL HEIGHT 1000mm (3'-3 3/8") FOR FIN FLOORS ABOVE GRADE

•EXT. HOUSE DOORS & WINDOWS WITHIN 2000mm (6'-7") FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK

•THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT

•MAX. U-VALUE 1.6 FOR WINDOWS & SLIDING GLASS DOORS OR TO CONFORM TO SB-12 SUBSECTION 2.1 OF THE O.B.C.

10.0 MAIN STAIRS & EXTERIOR STAIRS

(SEE O.B.C. 9.8.)

- MAX. RISE ————— 200mm (7 7/8")
- MAX. RUN ————— 210mm (8 1/4")
- MIN. TREAD ————— 235mm (9 1/4")
- MIN. HEAD ————— 25 (1")
- MIN. HEAD ROOM ————— 1950mm (6'-5")
- MIN. WIDTH ————— 890mm (2'-10")

•CURVED STAIRS SHALL HAVE A MIN. RUN OF 150mm (5 7/8") @ ANY POINT & A MIN. AVG. RUN OF 200mm (7 7/8")

•WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90°, W/ NO LESS THAN 30° OR MORE THAN 45° PER TREAD. SETS OF WINDERS MUST BE SEPARATED BY 1200mm ALONG THE RUN OF STAIRS

•A LANDING IS REQUIRED @ THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING & OTHER EXTERIOR ENTRANCES W/ MORE THAN 3 RISERS

•EXTERIOR CONC. STAIRS W/ MORE THAN 2 RISERS REQUIRE FOUNDATIONS

•STAIRS TO HAVE UNIFORM TREADS & RISERS EXCEPT AS NOTED IN O.B.C. 9.8.4.4

11.0 GUARDS & RAILINGS

(SEE O.B.C. 9.8.7. & 9.8.8.)

- INT. LANDINGS ————— 900mm (2'-11")
- EXT. BALCONY ————— 1070mm (3'-6")
- INT. STAIRS ————— 900mm (2'-11")
- EXT. STAIRS ————— 900mm (2'-11")
- MAX. BETWEEN PICKETS ————— 100mm (4")

•GUARD HEIGHT IF DECK TO GRADE IS GREATER THAN 1800mm (5'-11") ————— 1070mm (3'-6")

1800mm (5'-11") OR LESS ————— 900mm (2'-11")

•A HANDRAIL IS REQUIRED FOR INT. STAIRS CONTAINING MORE THAN 2 RISERS & EXT. STAIRS CONTAINING MORE THAN 3 RISERS

•GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600mm (23 5/8") ABOVE THE ADJACENT LEVEL & WHERE THE ADJACENT SURFACE HAS A SLOPE MORE THAN 1:2

•INTERIOR & EXTERIOR GUARDS MIN. 900mm (2'-11") HIGH

•EXTERIOR GUARDS SHALL BE 1070mm (3'-6") HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 1800mm (5'-11")

•GUARDS SHALL HAVE OPENINGS SMALLER THAN 100mm (4") & NO MEMBER BETWEEN 140mm (5 1/2") & 900mm (2'-11") THAT WILL FACILITATE CLIMBING

•CONSTRUCTION OF INTERIOR GUARDS & HANDRAILS TO COMPLY TO O.B.C. 9.8.9., SB-7 & SB-13

•EXTERIOR GUARDS SHALL BE ALUMINUM RAILING AND CONFORMING AS PER ATTACHED DETAIL STAMPED BY THE ENG.

•CONSTRUCTION OF RAILING FOR EXTERIOR GUARDS IS ALUMINUM ALLOY 6063-T5

12. WINDOWS

(SEE O.B.C. 9.7.)

•EVERY FLOOR LEVEL CONTAINING A BEDROOM & NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35m² (3.8FT²) AND NO DIMENSION LESS THAN 380mm (15"), WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS. MAX. SILL HEIGHT 1000mm (3'-3 3/8") FOR FIN FLOORS ABOVE GRADE

•5% OF FLOOR AREA OF BEDROOMS & 10% OF LIVING & DINING ROOMS TO EQUAL TRANSPARENT OPENINGS IN WINDOW (SEE 9.7.2.3. OF THE O.B.C.)

•WINDOWS DOUBLE GLAZED OR W/ STORM WINDOW

•WINDOWS LOCATED WITHIN 2 METERS (6'-7") OF ADJACENT GROUND LEVEL SHALL CONFORM TO THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY (SEE O.B.C. 9.7.5.3.)

•WINDOWS SHALL HAVE A MAX. U-VALUE 1.8 OR CONFORM TO SB-12 SUBSECTION 2.1. OF THE O.B.C.

13. ELECTRICAL

(SEE O.B.C. 9.34.)

•AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED @ EVERY ENTRANCE

•A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE & CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS & LIVING ROOMS

•STAIRS SHALL BE LIGHTED, & EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3-WAY SWITCH @ THE HEAD & FOOT OF THE STAIRS

•BASEMENTS REQUIRE A LIGHT FOR EACH 30m² (323FT²), CONTROLLED BY A SWITCH @ THE HEAD OF THE STAIRS

14. ALARMS & DETECTORS

SMOKE ALARMS (SEE O.B.C. 9.10.19.)

•SMOKE ALARMS CONFORMING TO CANULC-5531,

CEILING ON EACH STOREY OF A DWELLING UNIT "SMOKE ALARMS" SHALL BE INSTALLED ON OR NEAR THE ADJACENT LEVEL IN EACH SLEEPING ROOM AND IN A INCLUDING BASEMENTS 900mm (36") OR MORE ABOVE AN LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY

•SMOKE ALARMS SHALL BE INSTALLED W/ PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT, HAVE NOT DISCONNECT SWITCH BETWEEN OVERCURRENT DEVICE AND THE SMOKE ALARM, AND IN CASE OF POWER INTERRUPTION BE PROVIDED WITH BATTERIES OR AN ALTERNATIVE POWER SOURCE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM

•SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING TO SOUND AND SHOW VISUAL SIGNAL

•SMOKE ALARMS SHALL INCLUDE A VISUAL SIGNALING COMPONENT CONFORMING TO 18.5.3 (LIGHT, COLOR AND PULSE CHARACTERISTICS) OF NFPA 72, "NATIONAL FIRE ALARM AND SIGNALING CODE"

CARBON MONOXIDE DETECTORS

(SEE O.B.C. 9.33.4.)

•CARBON MONOXIDE DETECTOR CONFORMING TO CAN/CGA-619, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" OR UL 2034, "SINGLE & MULTIPLE STATION CARBON MONOXIDE ALARMS" SHALL BE INSTALLED ADJACENT TO EVERY SLEEPING AREA FOR DWELLINGS W/ FUEL BURNING FIREPLACE OR STOVE, OR AN ATTACHED GARAGE

•CARBON MONOXIDE ALARMS SHALL BE MECHANICALLY FIXED AT THE MANUFACTURERS RECOMMENDED HEIGHT OR ON OR NEAR THE CEILING

•CARBON MONOXIDE ALARMS SHALL BE INSTALLED W/ PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT, HAVE NOT DISCONNECT SWITCH BETWEEN OVERCURRENT DEVICE AND THE SMOKE ALARM, AND IN CASE OF POWER INTERRUPTION BE PROVIDED WITH BATTERIES OR AN ALTERNATIVE POWER SOURCE TO PROVIDE POWER TO THE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM

•CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED SO THAT ITS ACTIVATION WILL ACTIVATE ALL C.M. ALARMS LOCATED WITHIN THE DWELLING UNIT

•SMOKE ALARMS SHALL INCLUDE A VISUAL SIGNALING COMPONENT CONFORMING TO 18.5.3 (LIGHT, COLOR AND PULSE CHARACTERISTICS) OF NFPA 72, "NATIONAL FIRE ALARM AND SIGNALING CODE"

15. HEATING/ COOLING SYSTEMS

(SEE O.B.C. 9.33.)

•CHECK MECHANICAL DRAWINGS FOR SPECIFICATIONS AND CALCULATIONS

•THE DESIGN AND INSTALLATION OF CENTRAL HEATING AND AIR CONDITIONING SYSTEMS SHALL CONFORM TO O.B.C. PART 6 AND 9.33.

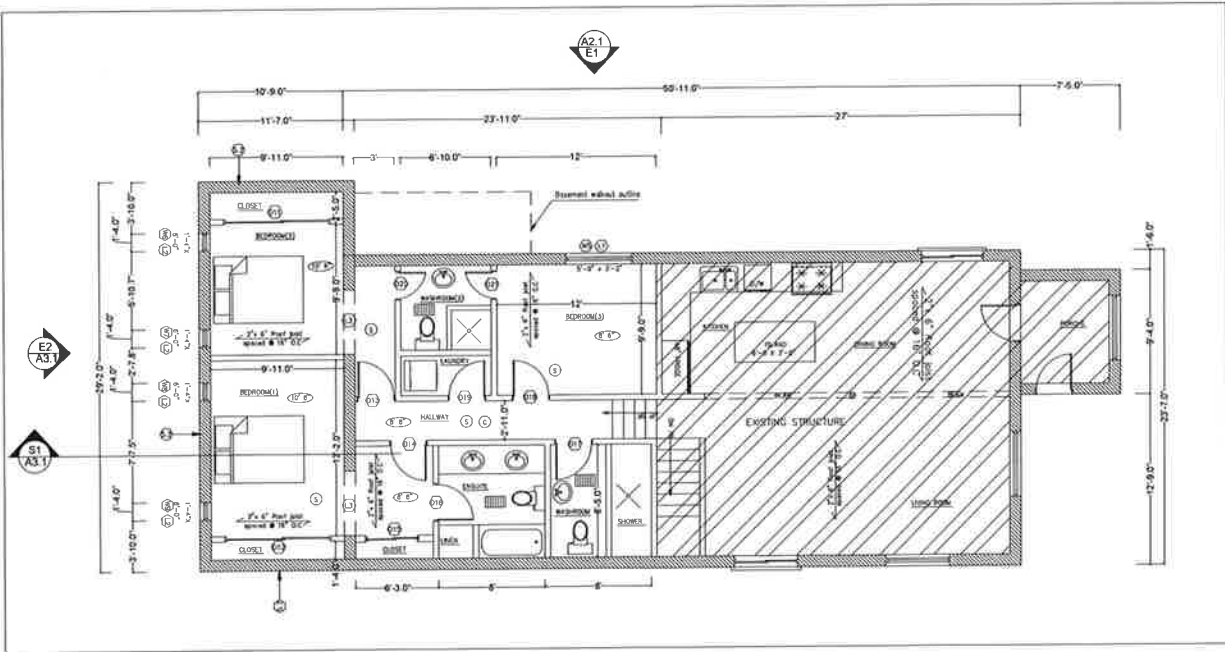
•HEATING/COOLING LOADS TO BE CALCULATED IN ACCORDANCE W/ SECTION O.B.C. 6.2.1.1.

•REQ'D HEATING SYSTEMS SHALL BE CAPABLE OF MAINTAINING AN INDOOR AIR TEMPERATURE OF NOT LESS THAN

- LIVING SPACES ————— 22°C
- UNFINISHED SPACES ————— 15°C
- HEATED CRAWL SPACES ————— 15°C

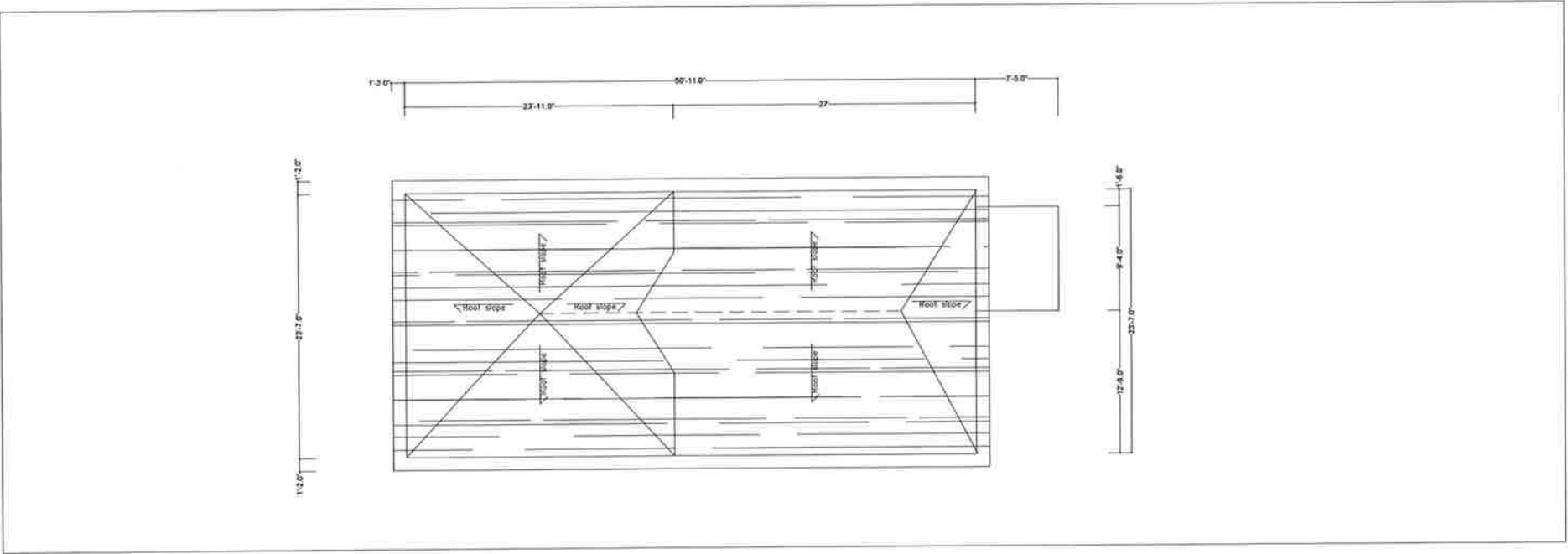
Legend

- Sections & elevations
- Construction Notes
- Unreinforced Concrete block Foundation wall
- Exterior partition wall
- Interior Fire rated partition wall
- Interior non-load bearing wall
- guards
- Smoke Alarm
- Carbon monoxide detector
- Floor Drainage (F.D.)
- Exhaust Fan
- Ceiling Height
- Supply vent
- Return air
- Exterior Light
- Duct Smoke Detector

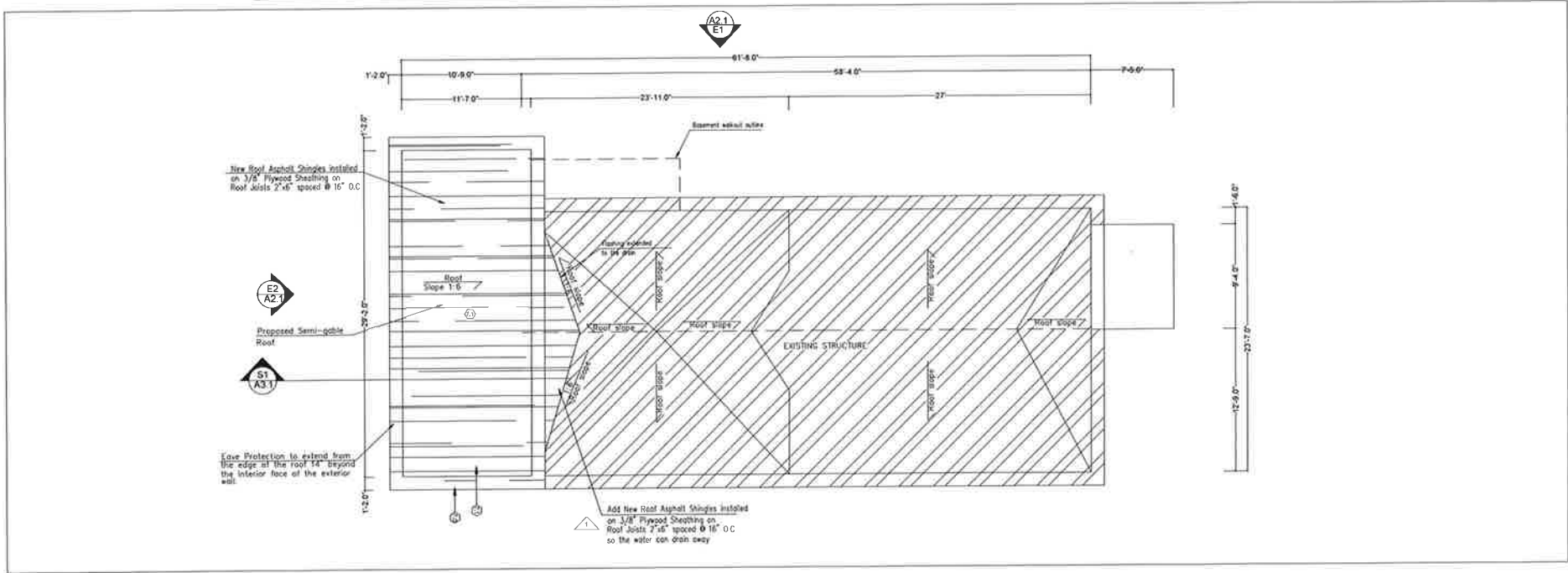


Proposed Main Floor Plan

Rev.	Issue Date	Description
0	01 / 08 / 2021	issued for approval
Owner Name & Address:		
Dante Limbaga, email: danfran_j@yahoo.com		
96 Rutherford North Brampton, ON L6V2J2		
Designer:		
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
Wissam Saifi	111895	BCIN
Registration information		
Required unless design exempt under section C- 3.2.4.1 of the Building Code		
WHL Leaders Contracting Inc.	119 718	BCIN
Firm Name		
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Proposed Main Floor Plan		
Designed	Checked:	Date:
VS		01/08/2021
Discipline	Sheet no	Scale:
Architectural	A1.3	3/16":1"



Existing Roof Floor Plan



Proposed Roof Floor Plan



Rev.	Issue Date:	Description
0	01/08/2021	issued for approval
1	11/28/2022	issued for approval

Owner Name & Address:
Dante Limbaga, email: danfran_l@yahoo.com
96 Rutherford North Brampton, ON L6V2J2

Designer:
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.

Qualification information
Wisam Saifi 111895
Name BCIN

Registration information
Required unless design exempt under section C-3.2.4.1 of the Building Code

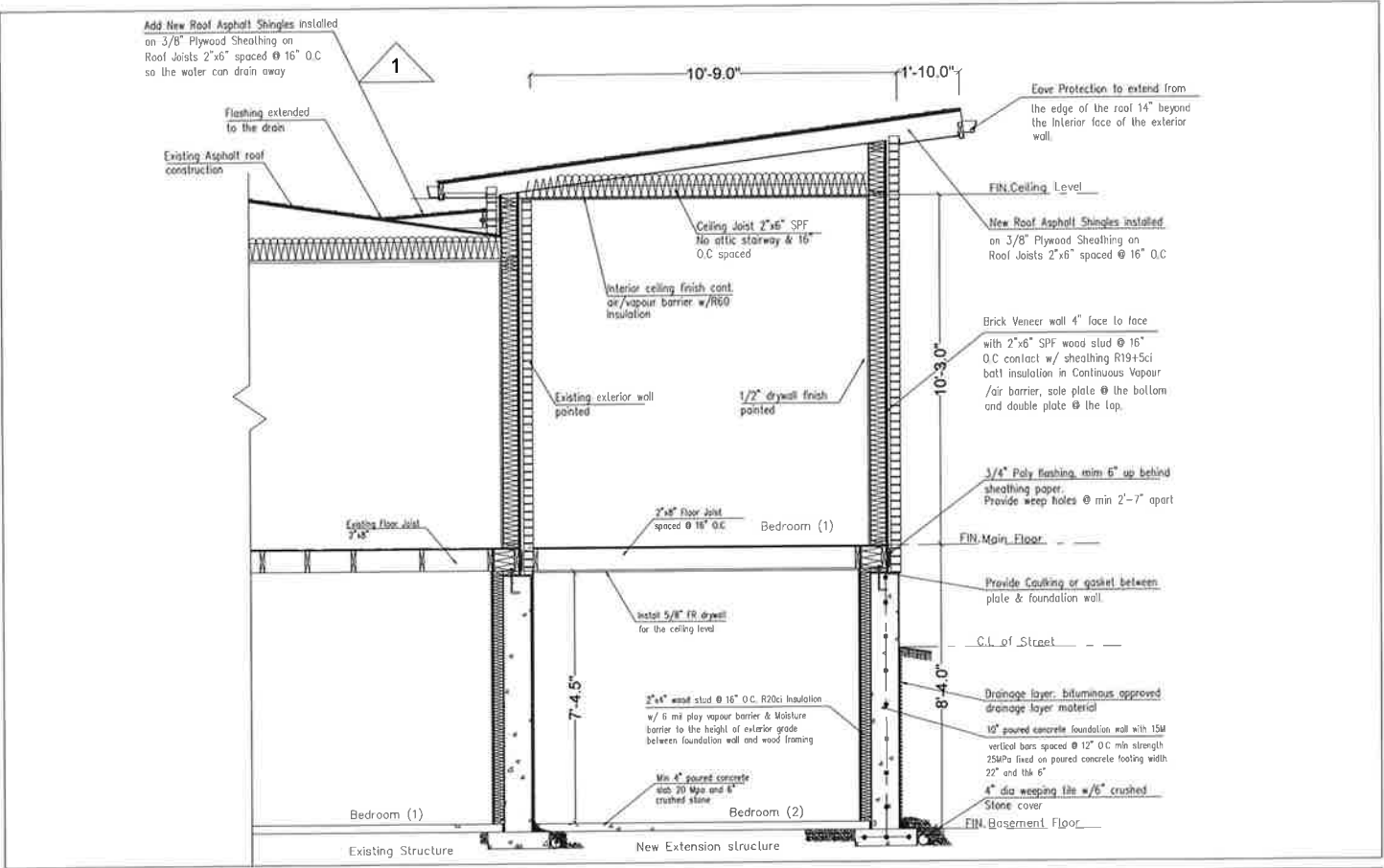
VH Leaders Contracting Inc. 119718
Firm Name BCIN

Project Title:
Proposed Additional & Alteration to an existing one storey detached dwelling unit

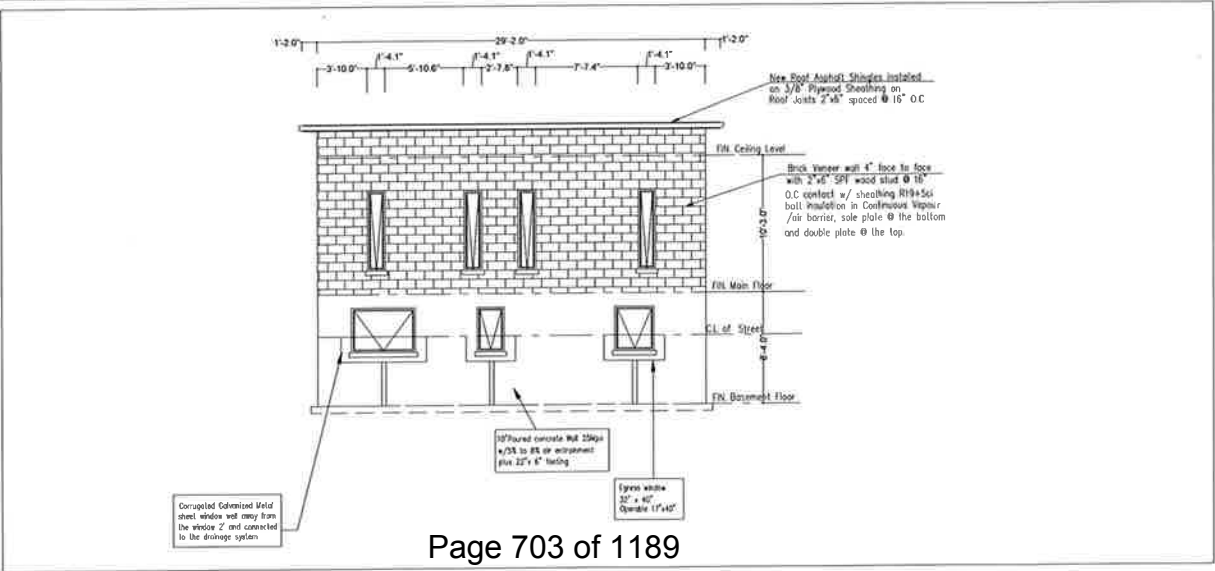
Drawing Title:
Existing & Proposed Roof Floor Plan

Designed WS	Checked: VS	Date: 11/28/2022
Discipline Architectural	Sheet no A1.4	Scale: 3/16"=1'

Proposed Section S1



Proposed Elevation E2



Rev.	Issue Date	Description
0	01 / 06 / 2021	Issued for approval
1	11 / 28 / 2022	Issued for approval

Owner Name & Address:
Dante Limbaga, email: danfran_l@yahoo.com
96 Rutherford North Brampton, ON L6V2J2

Designer:
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.

Qualification information
Wissam Sami
Name
111895
BCIN

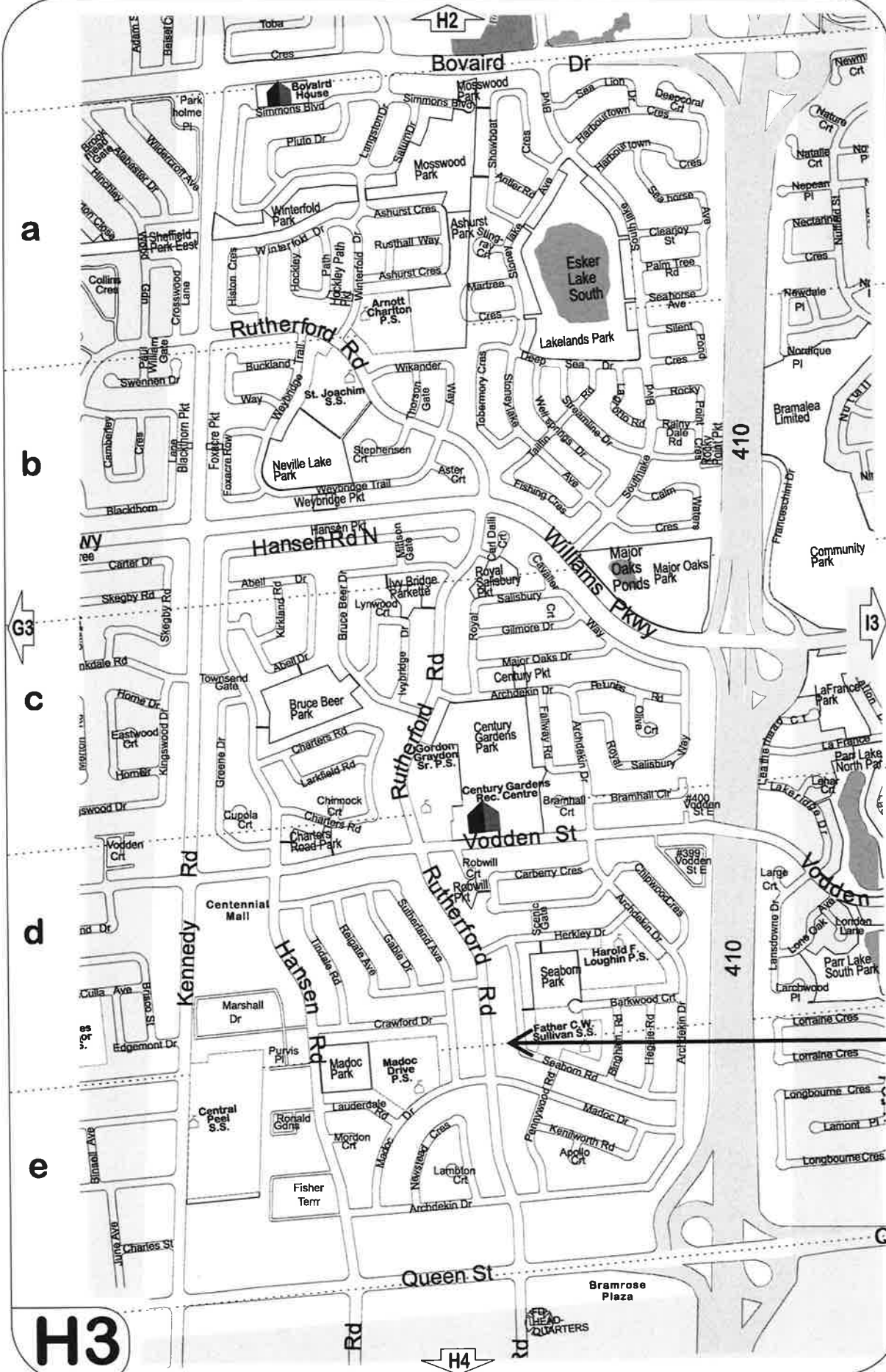
Registration information
Required unless design exempt under section C-3.2.4.1 of the Building Code

WH Leaders Contracting Inc.
Firm Name
118718
BCIN

Project Title:
Proposed Additional & Alteration to an existing one storey detached dwelling unit

Drawing Title:
Proposed Elevation & Sections (Sheet 2 of 2)

Designed WS	Checked: WS	Date: 11/28/2021
Discipline Architectural	Sheet no A3.1	Scale: 3/16"=1'



A-2023-0042

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **JEFFREY CADENA AND ANISHA CADENA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 47, Plan M-537 municipally known as **54 ESKER DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a deck encroachment of 3.63m (11.91 ft.) into the required rear yard, resulting in a rear yard setback of 4.37m (14.34 ft.) whereas the by-law permits a maximum deck encroachment of 3.0m (9.84 ft.), resulting in a rear yard setback of 5.0m (16.40 ft.);
2. To permit an interior side yard setback of 0.54m (1.77 ft.) to an as-built deck whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.) to the second storey.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

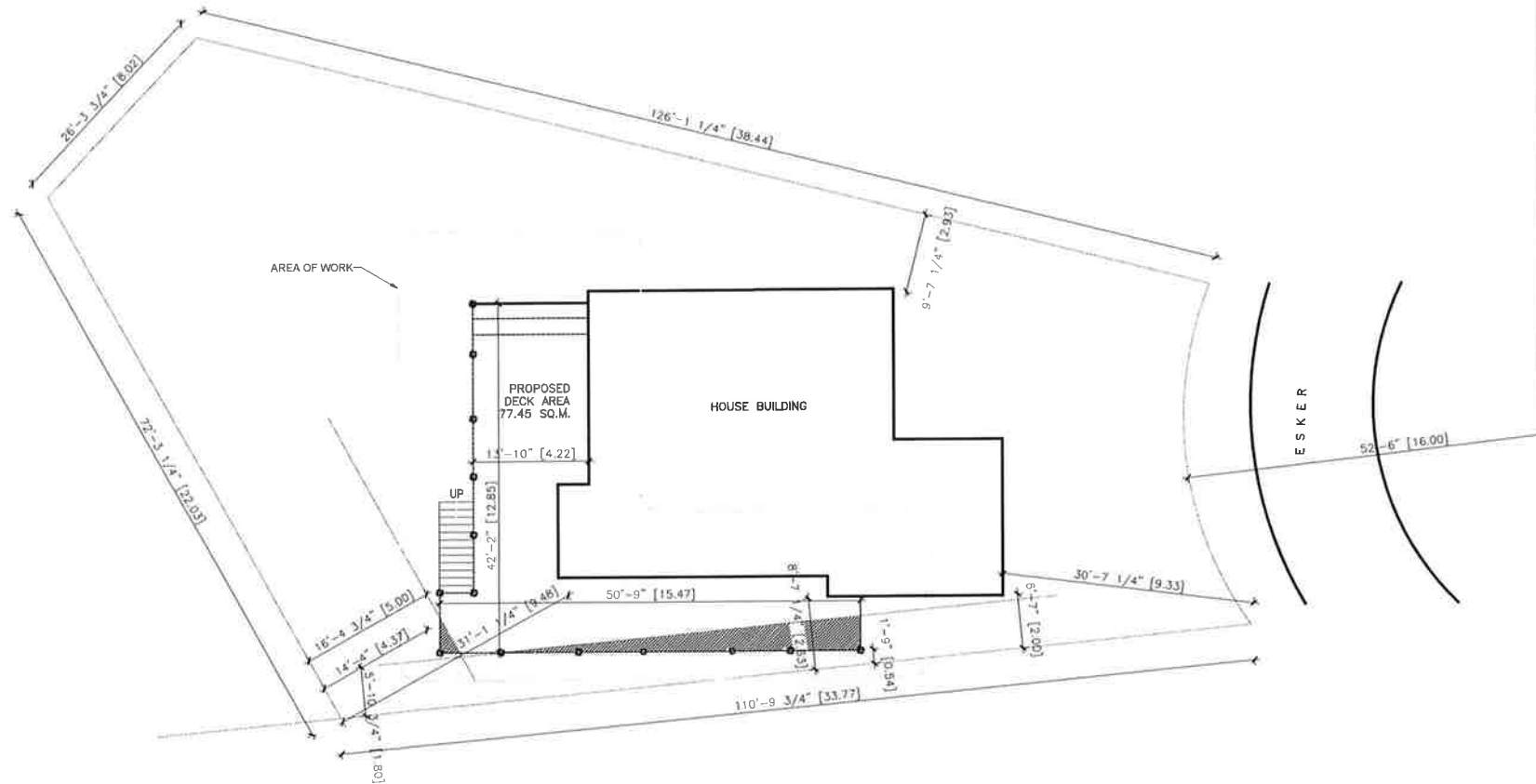
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

DRAWINGS NOT TO BE SCALED AND REPRODUCED.

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

THESE DRAWINGS ARE PREPARED ONLY FOR MENTIONED BELOW APPROVAL, NOT TO BE USED FOR ANY OTHER PURPOSE AND CONSTRUCTION.

1	ISSUED FOR MINOR VARIANCE	JAN. 2023
No.	ISSUED	DATE

STRUCTURE/MEP ENGINEER:

ARCHITECT MAZHAR RAJA
CAPRIJA CORPORATION
 Architecture, Construction and
 Project Management Consultants
 1465 CLARK BLVD., MILTON, L7T 6M5
 Tel: 647 693 6108, 647 969 9595
 Email: info@caprija.com; Web: www.caprija.com

CLIENT
 54 ESKER DRIVE, BRAMPTON,
 ONTARIO

PROJECT
 DECK IN BACKYARD

DRAWING
 SITE PLAN

PROJECT NO 222177	
DRAWN RK	
PLOTTED DATE	
SCALE AS NOTED	
CHECKED MR	
DWG. NO. A1	

1 SITE PLAN
 A1 SCALE: 1/16"=1'-0"

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Jeffrey Cadena and Anisha Cadena

Address 54 Esker Dr, Brampton, ON L6Z 3C9

Phone # 416 578 8804 Fax #

Email jcadena82@hotmail.com

2. Name of Agent Mazhar Raja

Address 1465 Clark Blvd. Milton ON, L9T 6M5

Phone # 647 969 9595 Fax #

Email info@caprija.com

3. Nature and extent of relief applied for (variances requested):

Deck encroachment in side-yard and back-yard. The required setback in the rear yard is 5m whereas the available is 4.37m.

A variance of 0.63m is requested for the rear yard.

and the required setback in the interior side yard is 1.8m whereas the available is 0.54m

A variance of 1.26m is requested for the sideyard.

4. Why is it not possible to comply with the provisions of the by-law?

Deck is already built and very difficult to remove and fix it.

Further, we are willing to have visual screen towards the neighbors side for the sake of their privacy.

5. Legal Description of the subject land:

Lot Number 47

Plan Number/Concession Number 43M-537

Municipal Address 54 ESKER DR. BRAMPTON.

6. Dimension of subject land (in metric units)

Frontage 13.20m

Depth 33.77, 38.44 (irregular)

Area 723.39 SQ.M.

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)
Main House Building - 2 Storeys, G.F area = 139.18 sq.m., Gross Floor Area = 241.17 sq.m.
width = 11.35m, Length= 15.70m, Height = 8

PROPOSED BUILDINGS/STRUCTURES on the subject land:
Deck Structure - Area=77.45 sq.m., Width 12.85m, Length 15.47m, (Irregular)
Height 2.7m. approx.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	9.33m
Rear yard setback	9.48m
Side yard setback	2.93m
Side yard setback	2.0m

PROPOSED

Front yard setback	9.33m
Rear yard setback	4.37m
Side yard setback	2.93m
Side yard setback	0.54m

10. Date of Acquisition of subject land: 2016
11. Existing uses of subject property: Residential - Single Unit Dwelling
12. Proposed uses of subject property: Residential - Single Unit Dwelling
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1985
15. Length of time the existing uses of the subject property have been continued: 31 Years.

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Uldz

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 16th DAY OF February, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Mazhar Raja, OF THE Town OF Milton
IN THE Region OF Haldon SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 16th DAY OF
Feb., 2023

Uldz

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1B(2) - SECTION 278

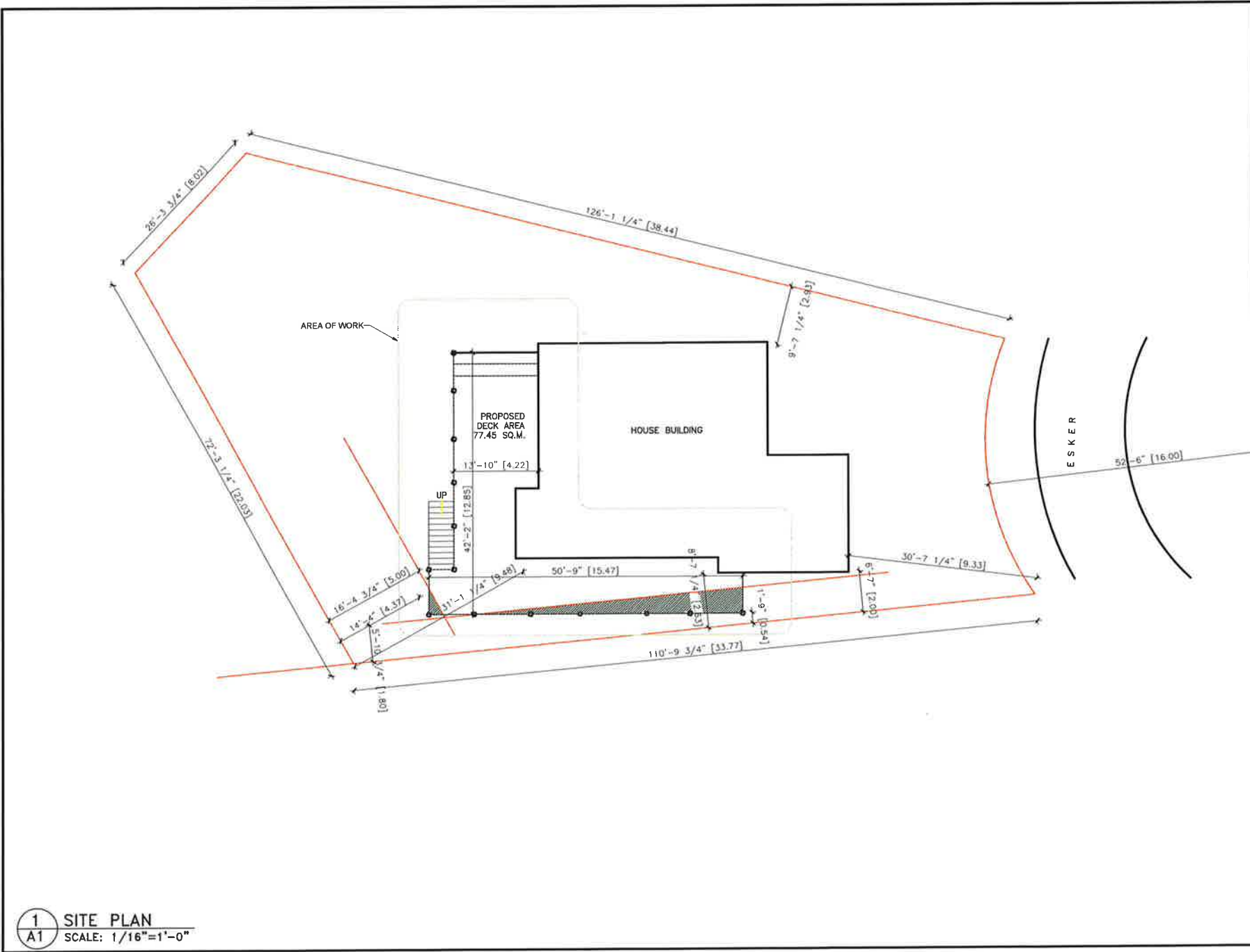
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.


J. Chau
Zoning Officer

February 16, 23
Date

DATE RECEIVED February 16, 2023

Revised 2020/01/07





ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM THE DESIGNER.

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

DRAWINGS NOT TO BE SCALED AND REPRODUCED.


ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

THESE DRAWINGS ARE PREPARED ONLY FOR MENTIONED BELOW APPROVAL, NOT TO BE USED FOR ANY OTHER PURPOSE AND CONSTRUCTION.

1	ISSUED FOR MINOR VARIANCE	JAN 2023
No.	ISSUED	DATE

STRUCTURE/MEP ENGINEER:

ARCHITECT MAZHAR RAJA



CAPRIJA CORPORATION
Architecture, Construction and
Project Management Consultants
1465 CLARK BLVD., MILTON, L1T 6M5
Tel: 647 693 6108, 647 969 9595
Email: info@caprija.com; Web: www.caprija.com

CLIENT


54 ESKE DRIVE, BRAMPTON,
ONTARIO

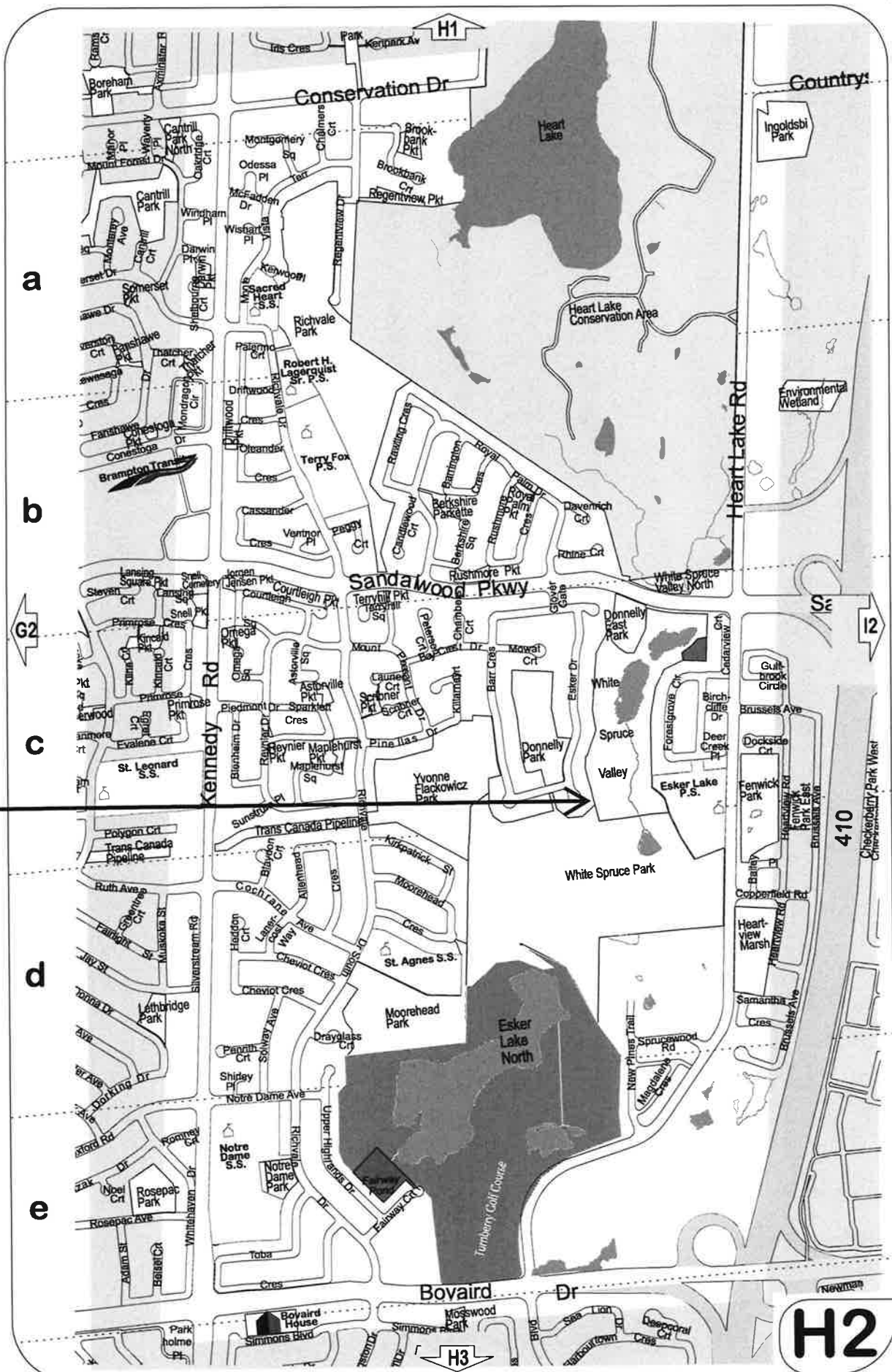
PROJECT

DECK IN BACKYARD

DRAWING

SITE PLAN

PROJECT NO	222177		
DRAWN	RK		
PLOTTED DATE			
SCALE	AS NOTED		
CHECKED	MR	DWG. NO.	A1



A-2023-0044

H2

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **BALJIT SINGH THIARA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 65, Plan 43M-1707, Part 26, Plan 43R-31556 municipally known as **16 SAINT EUGENE STREET**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a below grade entrance in the required side yard whereas the by-law does not permit a below grade entrance in a required side yard;
2. To permit a 0.13m (0.43 ft.) setback to the below grade stairs whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

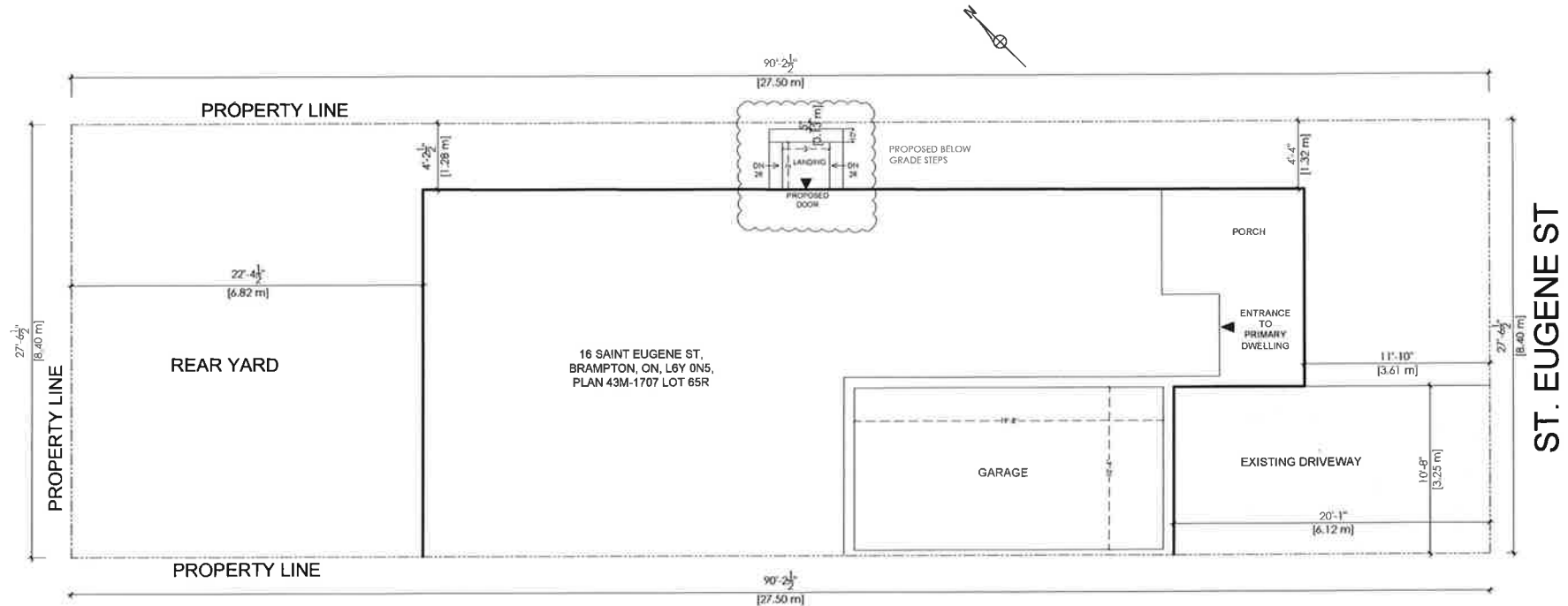
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE PLAN
SC: 1/8" - 1'-0"

General Notes

- * CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING
- * ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK
- * THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE CONSULTANT
- * DRAWINGS ARE NOT TO BE SCALED

LEGENDS:-

REVISION		
NO	DATE	DESCRIPTION

Firm Name and Address

MEM ENGINEERING INC
2355 DERRY ROAD EAST
MISSISSAUGA, ON, L5S 1V6
905-517-6755
Email: harry@memengineering.ca

PROJECT TITLE:

16 St Eugene St.,
BRAMPTON, ON

SHEET TITLE:

SITE PLAN

CLIENT EMAIL:

CLIENT CONTACT:

SCALE: 1/8" = 1'-0"	DRAWING NO.
PLOT DATE: 11-02-2023	A100
DRAWN BY: SB	
CHECKED BY: HS	

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

2023-02-12

COVERING LETTER

A-2023-0045

To
The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

Subject: Minor Variance application for 16 Saint Eugene St., Brampton, ON L6Y 0N5

Sir/ Madam,

We hope this letter finds you well. Please accept our minor variance application for our client at 16 Saint Eugene St., Brampton, ON, L6Y 0N5

We have proposal for proposed below grade steps with reduced setback of 0.13m from side lot line.

So, we request you to kindly consider our application for minor variance.

We appreciate your cooperation in this matter.

Thank You

Harjinder Singh

P Eng. PMP, CET, RCJI



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0045

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) BALJIT SINGH THIARA
Address 16 SAINT EUGENE ST., BRAMPTON L6Y 0N5

Phone # 647-287-5826 Fax # _____
Email RSThiara@hotmail.com

2. Name of Agent HARJINDER SINGH / MEM ENGINEERING INC.
Address UNIT - 28, 2355 DERRY ROAD EAST, MISSISSAUGA L5S1V6

Phone # 905-517-6755 Fax # _____
Email MEM.PENG@OUTLOOK.COM

3. Nature and extent of relief applied for (variances requested):
Proposed below grade steps in interior side yard with reduced setback of 0.13m from lot line.

4. Why is it not possible to comply with the provisions of the by-law?
Zoning by-law requires a minimum of 1.2 m from below grade retaining wall to lot line in the required side yard.

5. Legal Description of the subject land:
Lot Number 65R
Plan Number/Concession Number M1707
Municipal Address 16 St Eugene St, Brampton, ON L6Y 0N5

6. Dimension of subject land (in metric units)
Frontage 8.40 M
Depth 27.50 M
Area 231 M2

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

TWO STOREY SEMI DETACHED.
SINGLE FAMILY DWELLING
GFA -156.31 SQ.M.
HEIGHT OF PROPERTY - 8.7 M, LENGTH - 17.07 M, WIDTH- 7.10M

PROPOSED BUILDINGS/STRUCTURES on the subject land:

TWO UNIT DWELLING
PROPOSED BELOW GRADE STEPS IN REQUIRED SIDE YARD WITH REDUCED SETBACK OF 0.13 M FROM THE LOT LINE.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	3.61 M
Rear yard setback	6.82M
Side yard setback	1.28 M
Side yard setback	

PROPOSED

Front yard setback	3.61 M
Rear yard setback	6.82 M
Side yard setback	REDUCED TO 0.13 M FROM LOT LINE
Side yard setback	

10. Date of Acquisition of subject land: 2015
11. Existing uses of subject property: SINGLE FAMILY DWELLING
12. Proposed uses of subject property: TWO UNIT DWELLING
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2007
15. Length of time the existing uses of the subject property have been continued: 16 YEARS

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____


Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF MISSISSAUGA

THIS 13 DAY OF 02, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.


I, GURWINDER GREWAL, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 16th DAY OF
February, 2023


A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024. 


Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R2A-1324

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.


Zoning Officer

FEB 15.23

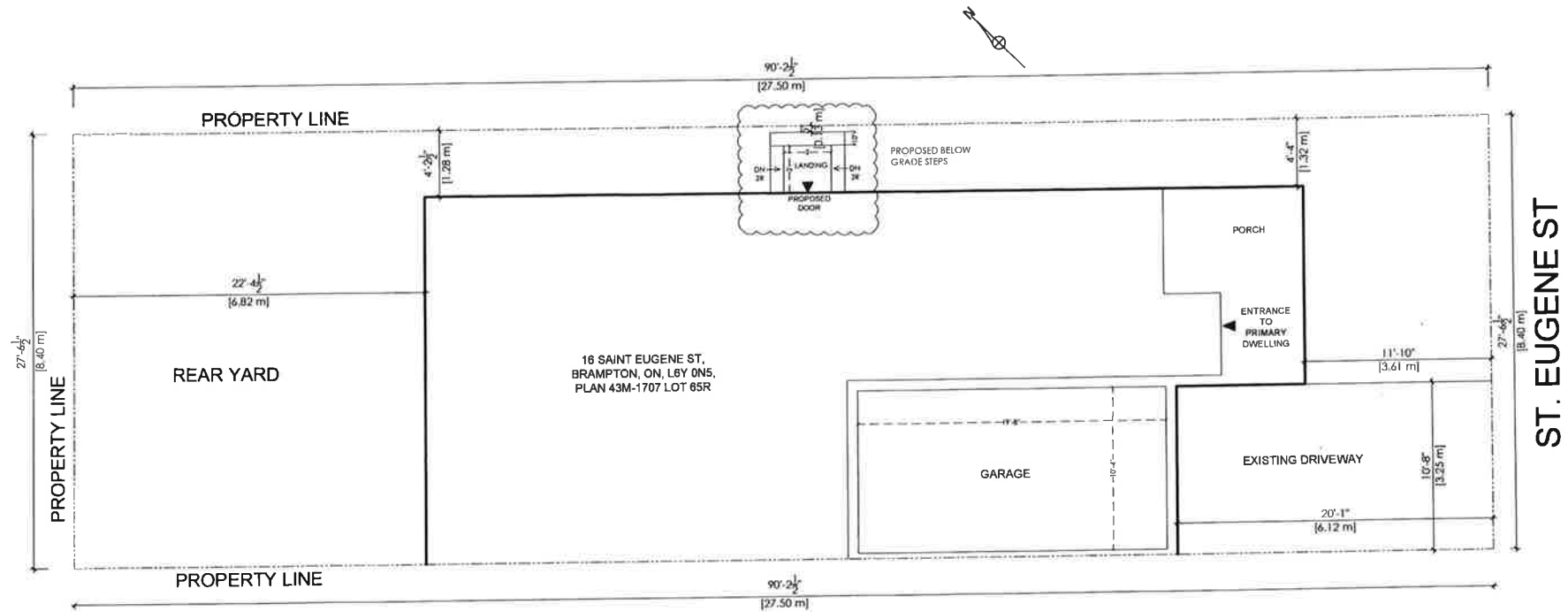
Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

February 16, 2023

Revised 2022/02/17



General Notes

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE CONSULTANT.

DRAWINGS ARE NOT TO BE SCALED.

LEGENDS:-

REVISION		
NO.	DATE	DESCRIPTION

Firm Name and Address

MEM ENGINEERING INC
2355 DERRY ROAD EAST
MISSISSAUGA, ON, L5S 1V8
905-517-8755
Email: harry@memengineering.ca

PROJECT TITLE:

16 St Eugene St.,
BRAMPTON, ON

SHEET TITLE:

SITE PLAN

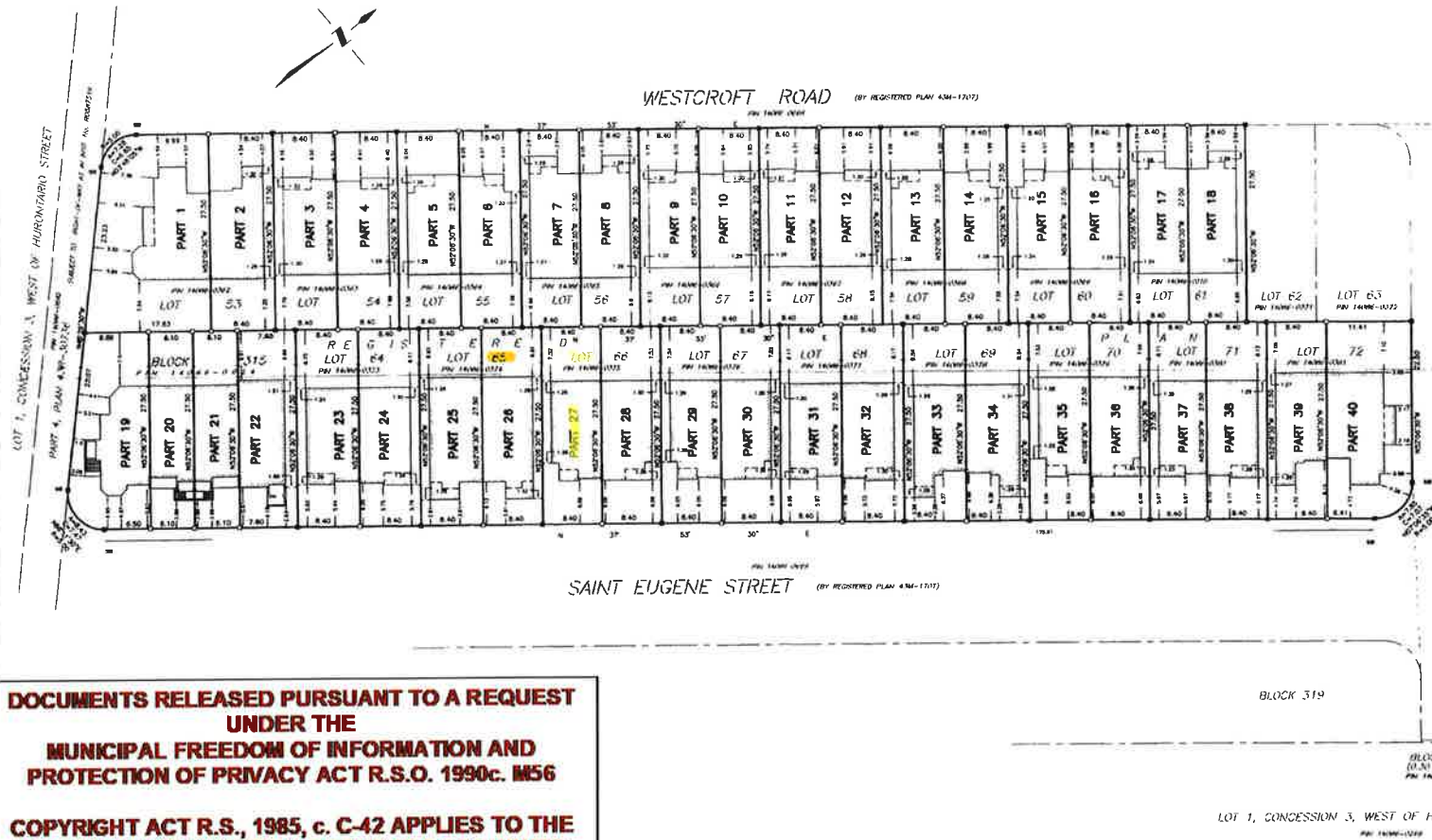
CLIENT EMAIL:

CLIENT CONTACT:

SCALE:	DRAWING NO.:
1/8" = 1'-0"	A100
PLOT DATE:	
DRAWN BY:	
CHECKED BY:	

SITE PLAN

SC: 1/8" - 1'-0"



DOCUMENTS RELEASED PURSUANT TO A REQUEST
UNDER THE
MUNICIPAL FREEDOM OF INFORMATION AND
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
USE AND REPRODUCTION OF THESE DOCUMENTS

PLAN 43R-31556
RECEIVED AND DEPOSITED
DATE: June 13, 2007
BY: [Signature]
ONTOARIO LAND SURVEYOR

PLAN OF SURVEY OF
LOTS 53, 54, 55, 56, 57, 58,
59, 60, 61, 64, 65, 66, 67,
68, 69, 70, 71, 72, 73, 74,
75, 76, 77 AND BLOCK 315
REGISTERED PLAN 43M-1707
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE 1 : 300
TARASICK, McMillan LIMITED
ONTOARIO LAND SURVEYORS

SCHEDULE			
PART	LOT	PLAN	FIN
1	53		ALL OF 14086-0363
2	54		ALL OF 14086-0363
3	55		ALL OF 14086-0364
4	56		ALL OF 14086-0365
5	57		ALL OF 14086-0366
6	58		ALL OF 14086-0367
7	59		ALL OF 14086-0368
8	60		ALL OF 14086-0369
9	61		ALL OF 14086-0370
10	64		ALL OF 14086-0371
11	65		ALL OF 14086-0372
12	66		ALL OF 14086-0373
13	67		ALL OF 14086-0374
14	68		ALL OF 14086-0375
15	69		ALL OF 14086-0376
16	70		ALL OF 14086-0377
17	71		ALL OF 14086-0378
18	72		ALL OF 14086-0379
19	73		ALL OF 14086-0380
20	74		ALL OF 14086-0381
21	75		ALL OF 14086-0382
22	76		ALL OF 14086-0383
23	77		ALL OF 14086-0384

METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE
BEARINGS ARE ATROPHIC AND ARE REFERRED TO THE
NORTHWESTERN CORNER OF THE LOT OR STREET AS SHOWN ON
REGISTERED PLAN 43M-1707, HAVING A BEARING OF N37°33'30"E

LEGEND
B DENOTES SURVEY MONUMENT PLANTING
C DENOTES SURVEY MONUMENT PLANTING
D DENOTES IRON BAR
E DENOTES STANDARD IRON BAR
F DENOTES WITNESS MONUMENT

ALL SET BARS ARE IRON BARS UNLESS OTHERWISE STATED
ALL FOUND BARS ARE IRON BARS UNLESS OTHERWISE STATED
ALL FOUND BARS WERE SET BY TARASICK, McMillan LIMITED UNLESS OTHERWISE STATED

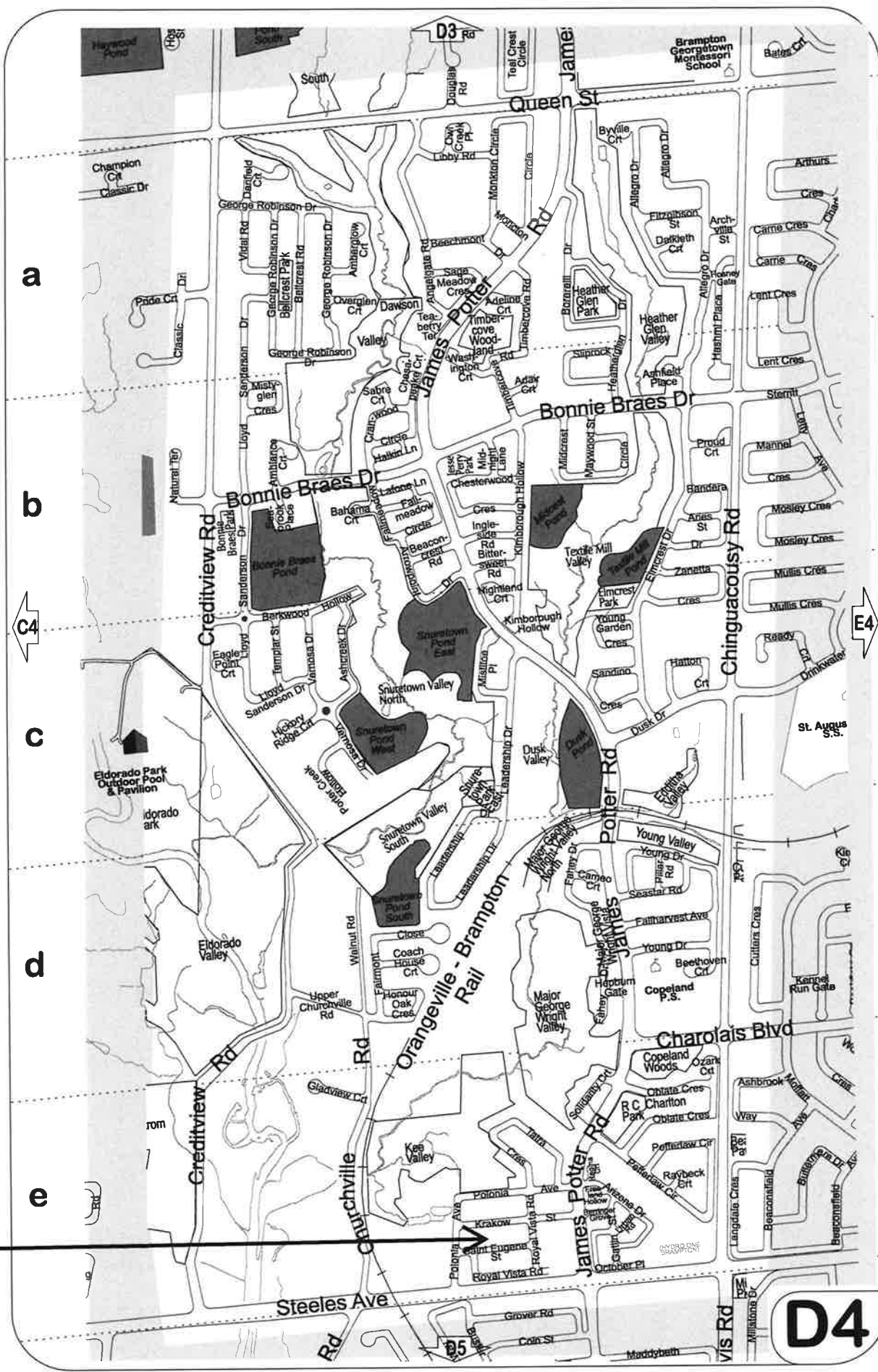
SURVEYOR'S CERTIFICATE
I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TITLES
ACT AND THE REGULATIONS MADE UNDER THEM
2. THE SURVEY WAS COMPLETED ON JUNE 7, 2007

JUNE 13, 2007
DATE
[Signature]
ONTOARIO LAND SURVEYOR

TARASICK, McMillan LIMITED
ONTOARIO LAND SURVEYORS

1181 GARDEN CRESCENT, UNIT 42
MISSISSAUGA, ONTARIO L5L 1S0
TEL: (905) 886-8800
FAX: (905) 886-3160
E-MAIL: [Email Address]

OWNER: [Name]
FILE NO.: 1809-P(42-107)



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **DIAN LANDURIE AND WALTER DE BRUYN KOPS** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 13, Concession 4 WHS, Part 2, Plan 43R-22577 municipally known as **7558 CREDITVIEW ROAD**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a garden suite located above an existing detached garage with a residential gross floor area of 66 sq. m (710.42 sq. ft.) and a combined gross floor area for the detached garage with a garden suite above of 148.26 sq. m (1,595.86 sq. ft.), whereas the by-law permits a maximum gross residential floor area of 48 sq. m (516.67 sq. ft.) for a garden suite located above a detached garage and a maximum combined gross floor area of 96 sq. m (1,033.34 sq. ft.) for the detached garage with a garden suite above.

Note: Approval was granted for the detached garage under minor variance application A05-262.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

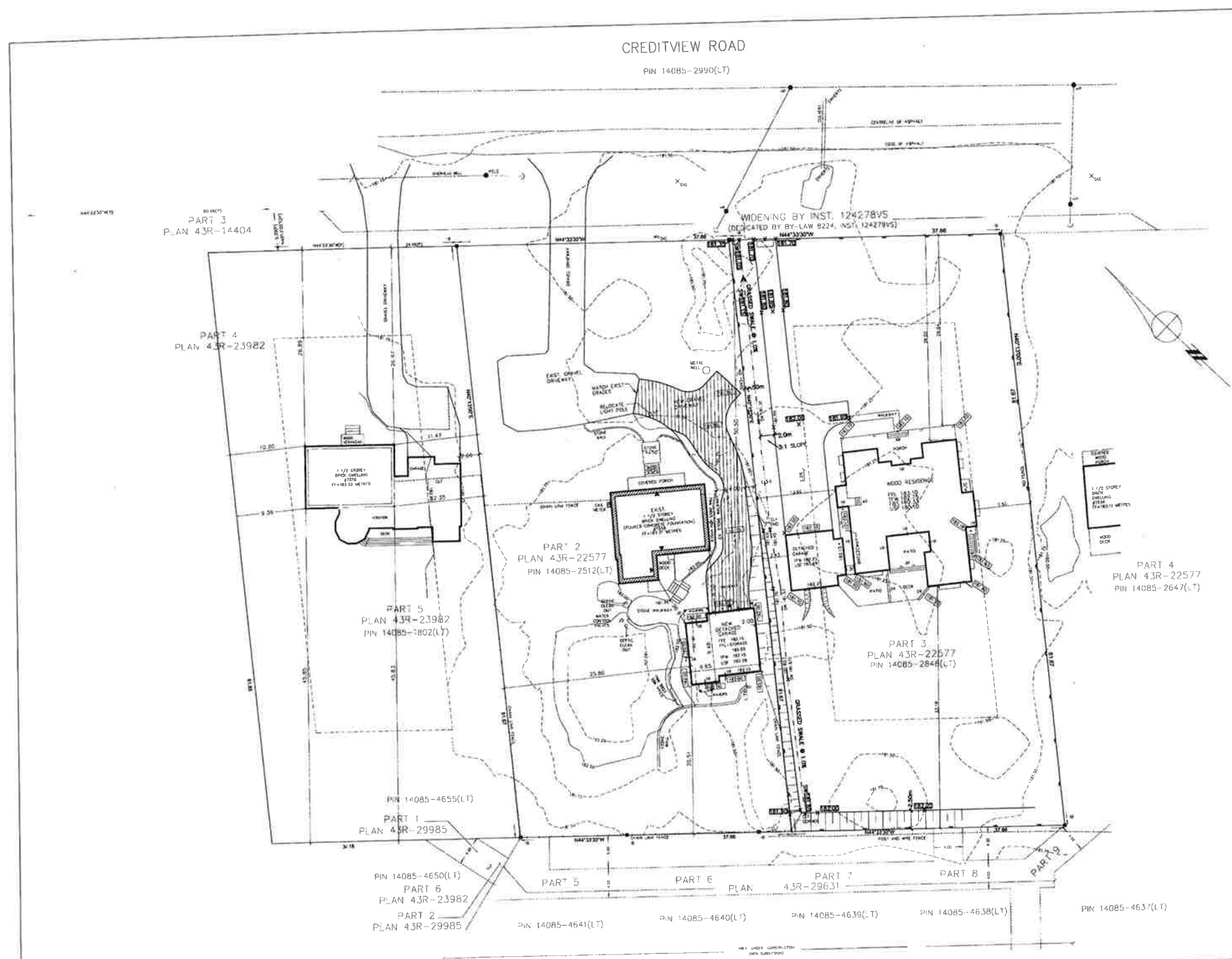
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



PART 3
PLAN 43R-14404

PART 4
PLAN 43R-23982

PART 2
PLAN 43R-22577
PIN 14085-2512(LT)

PART 5
PLAN 43R-23982
PIN 14085-2802(LT)

PART 4
PLAN 43R-22577
PIN 14085-2647(LT)

PART 3
PLAN 43R-22577
PIN 14085-2848(LT)

PART 1
PLAN 43R-29985
PIN 14085-4655(LT)

PART 6
PLAN 43R-23982
PIN 14085-4650(LT)
PART 2
PLAN 43R-29985
PIN 14085-4641(LT)

PART 5
PIN 14085-4640(LT)

PART 6
PIN 14085-4639(LT)

PART 7
PLAN 43R-29631
PIN 14085-4638(LT)

PART 8
PIN 14085-4637(LT)

PART 9
PIN 14085-4637(LT)

Date	Ref.	Description
OCT. 11/05	PP	GRANITE GARAGE AND DRIVEWAY
JULY 19/2005	LP	REVISION TO GARAGE POSITION AND LOT LINE DIMENSION

Revisions

Drawn	EH
Date	JUNE/05
Checked	
Approved	
Printed	JULY 20/05
CAD File	05-7955P.DWG

Single pages of documents are not to be read independently of all pages of the Contract Documents.

The contractor shall verify all dimensions on the Contract Documents. Any discrepancies are to be reported to the Architect prior to the commencement of the work.

Under no circumstances shall the Contractor or sub-contractors proceed in uncertainty. Do not scale drawings.

nanagan beresford & patterson architects
70 Sifton Road, Unit 1,
Woodbridge, Ontario
L4L 6B9 Tel. (905) 265-2688
Fax. (905) 265-2685

SP
C OF A APPROVAL A-262/05

**LANDURIE /
DE BRUYN KOPS
RESIDENCE**
7558 CREDITVIEW ROAD
BRAMPTON, ONTARIO
PROPOSED GARAGE

PART OF LOT 13,
CONCESSION 4
WEST OF HURONTARIO STREET
(GEOGRAPHIC TOWNSHIP OF TORONTO)
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEELE
DESIGNATED AS PART 2
PLAN 43R-22577

Sheet
Title SITE PLAN
Scale 1:250
Sheet
Number 05-795-01

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



FILE NUMBER: A-2023-0046

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) DIAN LANDURIE & WALTER DE BRUYN KOPS
Address 7558 CREDITVIEW RD
BRAMPTON, ON L6Y 0G5

Phone # 416-948-2158 Fax # _____
Email dian.landurie@gmail.com

2. Name of Agent _____
Address _____

Phone # _____ Fax # _____
Email _____

3. Nature and extent of relief applied for (variances requested):
- To allow a garden suite of 66m² (2nd floor already built).
over an existing 2-car garage
- The second story was already approved as storage area.
- Existing garage already obtained variance
FILE # A05-262
- Exterior of garage building will remain as is - no changes.

4. Why is it not possible to comply with the provisions of the by-law?
require a minor variance for garden suite size.

5. Legal Description of the subject land:
Lot Number 13
Plan Number/Concession Number CONC 4 WHS PT
Municipal Address 7558 CREDITVIEW RD, BRAMPTON, ON L6Y 0G5

6. Dimension of subject land (in metric units)
Frontage 37.66 meters
Depth 81.67 meters
Area 3075.69 m²

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

- HOUSE - 1 1/2 story. $\cong 2500 \text{ sq. ft} / 232 \text{ m}^2$
- GARAGE - 2-car + 2nd story. - 51 m^2
- SHED - $10' \times 11.8''$
- SHED - $7' \times 7'$

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NONE - ALL EXISTING.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

	HOUSE	GARAGE
EXISTING		
Front yard setback	32.7m	50.5m
Rear yard setback	38.48m	20.51m
Side yard setback	7.82m	2m
Side yard setback	17.755m	25.86m
PROPOSED		
Front yard setback	EXISTING BUILDINGS.	
Rear yard setback		
Side yard setback		
Side yard setback		

10. Date of Acquisition of subject land: DEC / 1999
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: ① EXISTING HOUSE WAS MOVED FROM 2ND LINE, MISSISSAUGA
② EXISTING GARAGE (2 STORY) - BUILDING BEGAN IN 2006
15. Length of time the existing uses of the subject property have been continued: _____

16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input type="checkbox"/> | Other (specify) _____ |
| Ditches | <input checked="" type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # <u>A05-262</u>	Decision <u>Approved</u>	Relief _____
File # <u>A97-256</u>	Decision <u>Approved</u>	Relief _____
File # _____	Decision _____	Relief _____

[Signature]
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 15 DAY OF FEBRUARY, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, DIAN LANDURIE, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF _____
Peel THIS 16th DAY OF
Feb., 2023

[Signature]
Signature of Applicant or Authorized Agent

[Signature]
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

Rhm2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuta
Zoning Officer

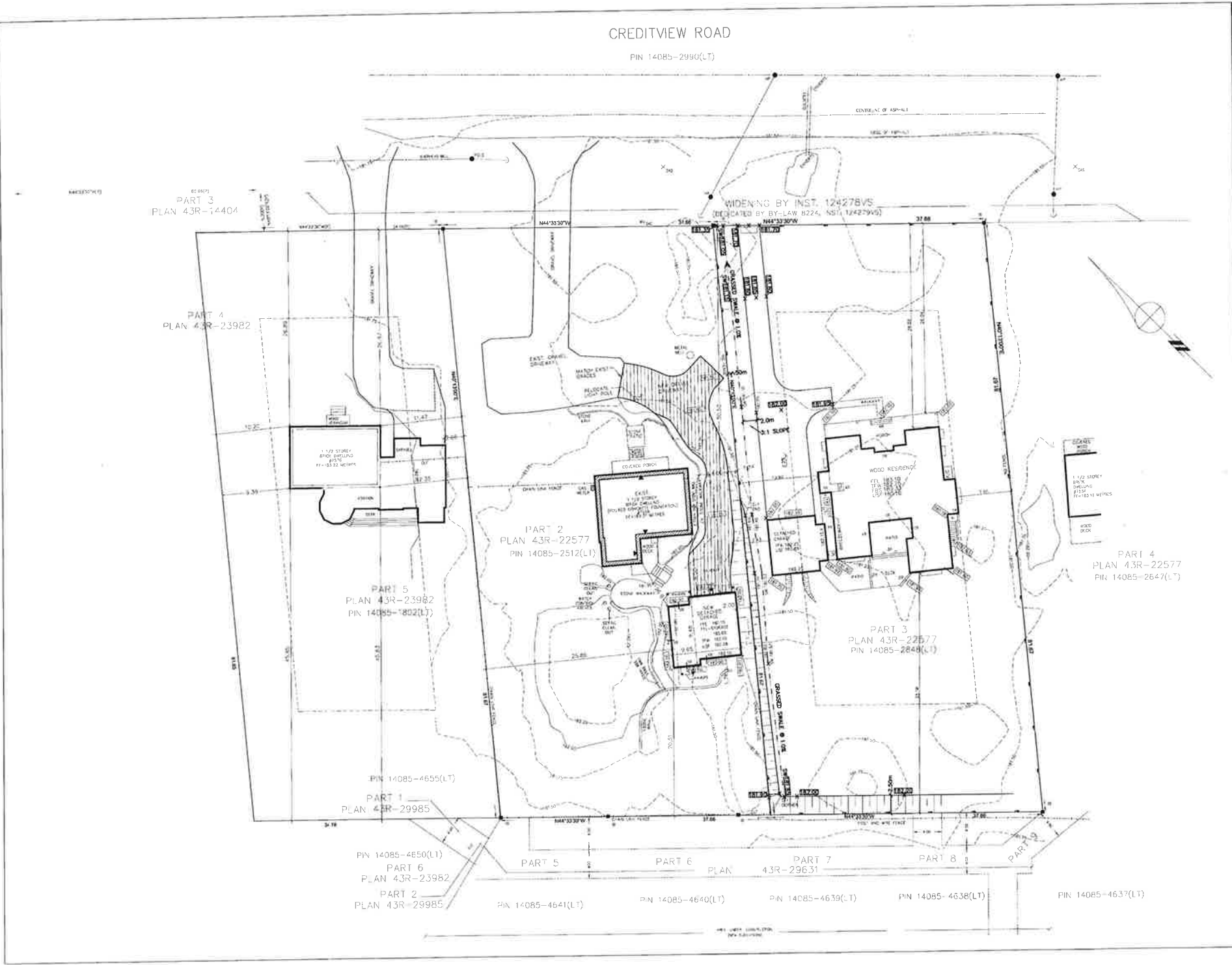
February 16, 2023
Date

DATE RECEIVED

Feb. 16, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17



REV. NO.	REV. DATE	REV. DESCRIPTION
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Drawn: EH
Date: JUNE/05
Checked:
Approved:
Printed: JULY 20/05
CAD File: 05-795SP.DWG

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Do not scale drawings.

flanagan berestford & patteson architects
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SP
C OF A APPROVAL A-262/05

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BRAMPTON, ONTARIO
PROPOSED GARAGE
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CITY OF BRAMPTON
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DESIGNATED AS PART 2
PLAN 43R-22577

Sheet Title: SITE PLAN
Scale: 1/250
Sheet Number: 05-795-01

18 Metal Flashing - 0.31 mm (0.013") painted galvanized steel, 75 mm (3") under wall sheathing & angles or 150mm (6") up birds face into roof. To comply with subsection 9.27.3.(1) and 9.28.4 of the O.B.C.

19 N/A

20 STEEL PIPE COLUMN

- 89 mm (3-1/2") diameter and a wall thickness of 4.76 mm (3/16") with clips at top AND 150 X 150 X 10 mm (6" X 6" X 3/8") bottom plate, (for both steel beams and wood beams), (for continuous beams only)
- Anchor bottom plate with 2 @ 18 mm (5/8") diameter 200 mm (8") long bolts 50 mm (2") back on poured concrete footing.
- Footing size to be: minimum footing size / max. column spacing
- 1000 X 1000 X 400 mm - 2997 mm
- (5'-4" X 5'-4" X 1'-4") - 9'10"
- 120 X 120 X 333 mm - 4880 mm
- (3'-6" X 3'-6" X 1'-9") - 16'0"
- Where columns sit on foundation soil use 100 x 200 x 16 mm (4" x 8" x 5/8") plate with 2 - 16 mm (5/8") anchor bolts.

21 150 X 150 mm (6" X 6") No. 1 S.P.F. post on 1/2 steel shoe anchored in 600 X 600 X 400 mm (2'-0" X 2'-0" X 1'-4") poured concrete footing.

22 580 X 710 mm (20" X 28") attic hatch weather-stripped and locked with RS 5+ (R23) insulation.

23 GARAGE SLAB

- minimum 100 mm (4") concrete slab on 130 mm (5") crushed stone
- reinforced with 150 X 150 x 3mm (6" X 6" X 1/8") welded wire mesh located near mid-depth of slab
- concrete strength 32 MPa at 28 days with 5 - 8% air entrainment
- any fill placed beneath the slab, other than coarse, clean granular fill, shall be compacted

24 N/A

25 Solid core door with weather-stripping, self closer and minimum 150 mm (6") sill.

26 Capped dryer vent.

27 Capped range hood vent.

28 RSI 4.4 (R25) insulation above vented soffit.

29 RSI 5.4 (R31) insulation above ceiling.

30 STARS / EXTERIOR STARS

- To comply with Ontario Building Code

Maximum Rise	= 200 mm (7-7/8")
Minimum Run	= 210mm (8-1/4")
Minimum Overall Tread	= 235mm (9-1/4")
Minimum Flot Tread	= 220mm (8-11/16")
Minimum Nosing	= 25 mm (1")
Minimum Headroom	= 1950 mm (6'-5")
Rail at Landing	= 915 mm (3'-0")
Rail at Stair	= 810 mm (2'-6")
Minimum Width	= 880 mm (2'-10")
For Curved Stairs	
Minimum Run	= 150 mm (5-7/8")
Minimum Average Run	= 200 mm (7-7/8")

31 Maximal on wood pickets maximum 100 mm (3-15/16") apart.

32 Angle ceiling above for headroom.

33 Liner closet with 4 shelves, minimum 330 mm (1'-2") deep.

34 Provide hanging rod and shelf above.

35 Mechanical ventilation to provide minimum 0.06 air change per hour and shall conform to subsection 9.32.3 of the O.B.C.

36 Masonry fireplace construction to comply with Ontario Building Code 9.22.1. Zero-Clearance / Direct vent gas fireplace construction to comply with Manufacturer's Specification.

37 N/A

38 GABLE END WALL CONSTRUCTION FRAME CONSTRUCTION

- Board & Batten siding as per elevation
- No. 15 (0.7 kg/m sq) building paper
- 13 mm (1/2") exterior type sheathing
- 38 X 140 mm (2" X 6") wood studs at 400 mm (16") o.c.

BRICK VENEER CONSTRUCTION

- 90 mm (4") or 75 mm (3") face brick or stone maximum 1000 mm (36"-7") high
- 25 X 180 X 0.76 mm (1" X 7" X 22 ga) corrosion resistant corrugated metal lath at 400 mm (16") o.c.
- horizontal 800 mm (24") vertical
- 25 mm (1") air space
- No. 15 (0.7 kg/m sq) building paper
- 13 mm (1/2") exterior type sheathing
- 38 X 140 mm (2" X 6") wood studs at 400 mm (16") o.c.

39 Smoke alarms shall be interconnected conforming to O.B.C. 9.3.3.1.3 & 4. Refer to plans for locations.

39a Carbon Monoxide Detectors shall be installed conforming to O.B.C. 9.3.3.1.2 & 3. Refer to plans for locations.

40 GARAGE WALL CONSTRUCTION 1 HOUR FIRE-RESISTANCE RATING

- Construction complies with supplemental guidelines to the O.B.C. 1997 table 8.1 wall number EW10
- 90 mm (4") or 75 mm (3") face brick or stone maximum 1000 mm (36"-7") high
- 25 X 180 X 0.76 mm (1" X 7" X 22 ga) corrosion resistant corrugated metal lath at 400 mm (16") o.c.
- Use exterior sheathing
- 25 mm (1") air space
- No. 15 (0.7 kg/m sq) building paper
- 13 mm (1/2") exterior type sheathing
- 38 mm x 89 mm (2" x 4") wood studs @ 400 mm (16") o.c.
- Mineral fibre processed from rock or slag 228g/m³ 2" x 4" const. completely filling the wall cavity
- Double top plate Single bottom plate
- 5/8" (9mm) type "X" gypsum board
- all joints taped and finished
- provide a sill under all windows and flash under all

41 N/A

42 N/A

WINDOWS As per O.B.C. 9.7

- 1 - Every floor level containing bedrooms shall be provided with one window to have minimum opening area of 0.35 m sq (3.8 sq ft.) with no dimension less than 380 mm (1'-3")
- 2 - At least 5% of floor area of bedrooms and at least 10% of living and dining rooms to equal transparent openings in windows
- 3 - Windows double glazed or with storm window and to conform to O.B.C. 9.7.1.2 and 9.7.2
- 4 - All dimensions shown are rough stud opening
- 5 - Windows located within 2 m (6'-7") of adjacent ground level, shall conform to the requirements for resistance to forced entry.
- 6 - As per Article 9.8.1 (2) (5) of O.B.C. where there is no dwelling unit above or below another dwelling unit the first floor of that unit shall be equipped with an egress window, providing unobstructed opening of not less than 1000mm (3'3") in height & 550mm (21 5/8") in width all located not more than 1000mm (3'3") above floor 7000 mm (23'0") above adjacent ground level or a direct access to a balcony

DOOR SCHEDULE

- 1 - Exterior doors to have a thermal resistance of RSI 0.7 or with storm door
- 2 - Glass in sidelights greater than 500 mm (19 3/4") in storm doors, in sliding patio doors and in shower doors to be safety glass.
- 3 - Doors to be resistant to forced entry in conformance to subsection 9.8.8 of the O.B.C.

- | | |
|------|---|
| 1 - | 2'-8" X 6'-8" X 1-3/4" insulated door |
| 1a - | 3'-0" X 6'-8" X 1-3/4" insulated door |
| 2 - | 2'-8" X 6'-8" X 1-3/4" insulated door |
| 3 - | 2'-8" X 6'-8" X 1-3/4" solid core door |
| 4 - | 1'-6" X 6'-8" X 1-3/8" slab |
| 5 - | 2'-0" X 6'-8" X 1-3/8" slab |
| 6 - | 2'-2" X 6'-8" X 1-3/8" slab |
| 7 - | 2'-4" X 6'-8" X 1-3/8" slab |
| 8 - | 2'-6" X 6'-8" X 1-3/8" slab |
| 9 - | 2'-8" X 6'-8" X 1-3/8" slab |
| 10 - | 2'-10" X 6'-8" X 1-3/8" slab |
| 11 - | 3'-0" X 6'-8" X 1-3/8" slab |
| 12 - | 2'-0" X 6'-8" X 1-3/8" slab, bifold |
| 13 - | 2'-6" X 6'-8" X 1-3/8" slab, bifold |
| 14 - | 2 - 2'-6" X 6'-8" X 1-3/8" slab, bifold |
| 15 - | 3'-0" X 6'-8" X 1-3/8" slab, bifold |
| 16 - | 2 - 3'-0" X 6'-8" X 1-3/8" slab, bifold |
| 17 - | 4'-0" X 6'-8" X 1-3/8" slab, bifold |
| 18 - | 2 - 4'-0" X 6'-8" X 1-3/8" slab, bifold |

LINTEL SCHEDULE

	metric	imperial
WB1	2 - 38 X 184 apf	2 - 2 x 8 apf
WB2	2 - 38 X 235 apf	2 - 2 x 10 apf
WB3	2 - 38 X 286 apf	2 - 2 x 12 apf
L1	90 X 90 X 8.0	1 3-1/2 X 3-1/2 X 5/8
L2	100 X 90 X 8.0	1 4 X 3-1/2 X 5/8
L3	125 X 90 X 8.0	1 4-7/8 X 3-1/2 X 5/8
L4	125 X 90 X 10.0	1 4-7/8 X 3-1/2 X 3/8
L5	150 X 100 X 10.0	1 8 X 4 X 3/8

NOTE

Provide slotted bolt holes at 900 mm (3'-0") o.c. Bolt angle to beam behind for lateral support and stability against twisting L2, L3 & L4.

FRAME CONSTRUCTION

- 1 - All framing lumber No. 1 grade spruce unless otherwise noted
- 2 - End bearing - joists 38 mm (1-1/2") beams 89 mm (3-1/2")
- 3 - Lateral support for masonry walls parallel to joist: metal anchors 40 X 5 mm (1-9/16" X 3/16") at 2000 mm (6'-7") spacing bent into masonry 80 mm (3") and extending over 3 parallel joists.
- 4 - Double studs at openings, triple studs at corners
- 5 - Double rim joist under studs which support triside in exterior walls
- 6 - Joist headers at floor openings 1000 mm to 3200 mm (3'-11" to 10'-6") doubled
- 7 - Joist trimmers at floor opening 800 mm to 2000 mm (2'-7" to 6'-7") doubled
- 8 - Double joist under parallel partitions
- 9 - FLOOR JOIST BRIDGING - 18 X 84 mm (1" X 3") cross bridging at 2000 mm (6'-11") o.c. maximum - OR 38 X 38 mm (2" X 2") cross bridging at 2000 mm (6'-11") o.c. maximum
- FLOOR JOIST STRAPPING - 18 X 84 mm (1" X 3") strapping nailed to u/s joists at 2000 mm (6'-11") o.c. maximum where no finished ceiling is provided
- 10 - Provide metal joist hangers for support of joist framing into sides of beams, trimmers and headers.
- 11 - Wood stud to be @ max 300mm (12") o/c at first storey of a three storey building
- 12 - DOUBLE STOREY WALL construction consist of 38 x 140 (2" x 6") apf #1 or 2 studs @ 8" o/c with 4 rows of solid blocking at equal spacing between studs for lateral support (typ)
- 13 - Squash blocking must be provided under all wood posts as follows:

built-up post	sq. block between floor 2/1 & 1/1
3-38 x 89	1-38 x 89
4-38 x 89	1-38 x 89
5-38 x 89	2-38 x 89
6-38 x 89	2-38 x 89
7-38 x 89	3-38 x 89
2-38 x 140	1-38 x 89
3-38 x 140	2-38 x 89

SOIL GAS CONTROL

Construction to comply with articles 9.33.3 and 9.37.1 of the O.B.C. where soil gas hazard exists.

- spec revised as per update sep/2001
- spec revised as per update mar/2004

CITY OF BRAMPTON
BUILDING DEPARTMENT
REVIEWED
DATE: 10/1/2005
BY: JANE BOYLE

DATE	REF.	DESCRIPTION

Engineered truss drawings to be submitted to the architect for co-ordination of structure.

The architect has not been retained to carry out general review of the work and assumes no responsibility for the failure of the contractor or sub-contractors to carry out the work in accordance with the contract documents.

Single pages of the contract documents are not to be read independently of all pages of the contract documents.

The contractor shall verify all dimensions on the contract documents. Any discrepancies are to be reported to the architect prior to the commencement of the work.

Under no circumstances shall the contractor or sub-contractors proceed in uncertainty.

My/are are issued to the client on the understanding that no changes are to be made to the contract documents without written consent of the architect.

DO NOT SCALE DRAWING



flanagan
beresford
& patteson
architects

70 Wilson Road, Unit 1
Woodbridge, Ontario, M1 2B9, (905) 265-2658

LANDURIE /
DE BRUYN KOPS
RESIDENCE
7558, CREDITVIEW ROAD,
BRAMPTON, ONT

PROPOSED GARAGE

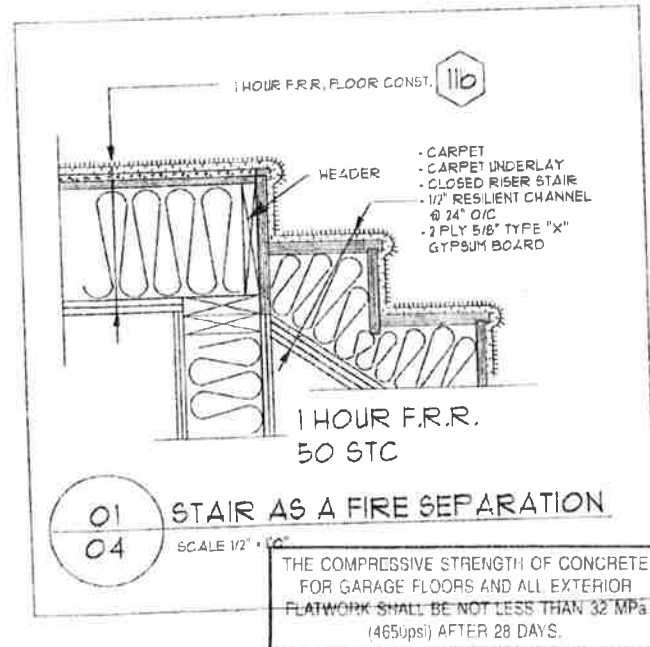
Date	Checked By
OCT 2005	
Job Number	Drawn By
05-795	KSP
Scale	
3/16" = 1'-0"	

Issued: Sheet Number

ALL WORK SHALL CONFORM TO O.B.C.,
O.REG. 403 / 97, AS AMENDED

ALL WORK SHALL CONFORM TO O.B.C.,
O.REG. 403 / 97, AS AMENDED

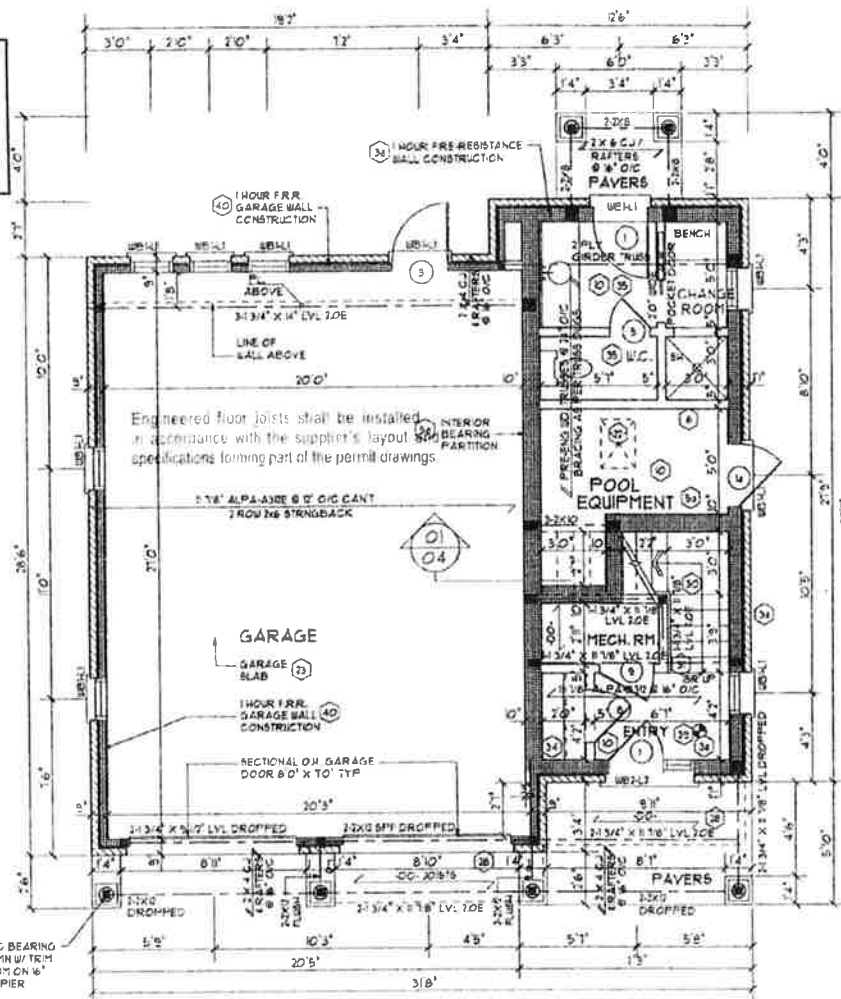
CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
AUG 8 2006
BY
DAVE GODLEY



The undersigned has reviewed and takes responsibility for the structural design
and has the qualifications and meet the requirements set out under subsection
2.1.4 in the Ontario Building Code to be a designer

Signature: [Signature] 21125 BCIN
Firm Name: MAS ENGINEERING INC. 29002 BCIN

10" DIA. LOAD BEARING
WOOD COLUMN W/ TRIM
TOP 1" BOTTOM ON 16"
WIDE BRICK PIER



FIRST FLOOR PLAN

NOTE-
REFER TO APPROVED MANUFACTURE
WOOD JOIST DRAWINGS FOR FLOOR JOIST
LAYOUT C/W SUPPORTING STRUCTURE

REFER TO APPROVED MANUFACTURE
WOOD TRUSS DRAWINGS FOR ROOF TRUSS
LAYOUT C/W SUPPORTING STRUCTURE

DATE	REV.	DESCRIPTION

Engineered floor drawings to be submitted to
the architect for co-ordination of structure

The architect has not been retained to carry
out general review of the work and assumes
no responsibility for the failure of the
contractor or sub-contractors to carry out
the work in accordance with the contract
documents

Single pages of the contract documents are
not to be read independently of all pages of
the contract documents

The contractor shall verify all dimensions on
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are to be reported to the architect prior to
the commencement of the work

Under no circumstances shall the contractor
or sub-contractors proceed in uncertainty

4 pages are issued to the client on the under-
standing that no changes are to be made to
the contract documents without written
consent of the architect

DO NOT SCALE DRAWING

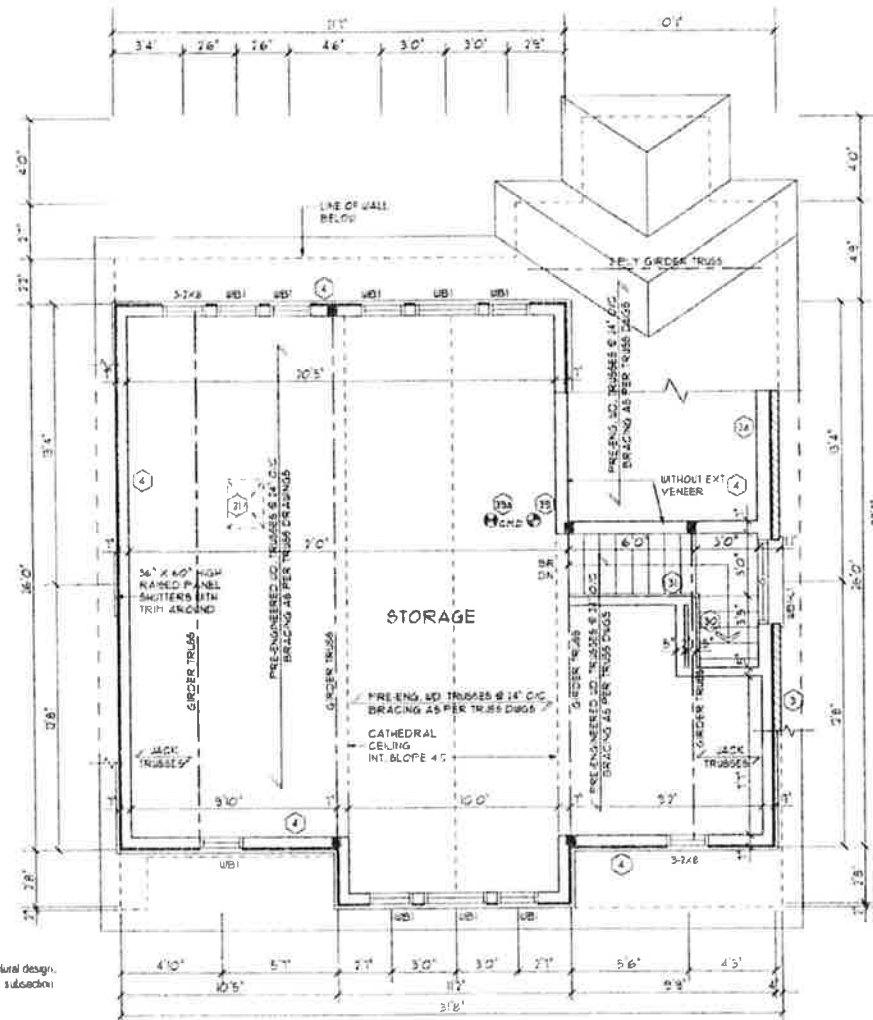


lanagan
beresford
& patterson
architects

70 Main Road, Unit 1
Woodbridge, Ontario, M1B 0G9, (905) 765-2688

LANDURIE /
DE BRUYN KOPS
RESIDENCE
7558, CREDITVIEW ROAD,
BRAMPTON, ONT
PROPOSED GARAGE

Date: OCT 2005
Joh. Number: 05-795
Scale: 3/16" = 1'-0"
Sheet Number: 1 of 1



SECOND FLOOR PLAN

NOTE -
REFER TO APPROVED MANUFACTURER
WOOD TRUSS DRAWINGS FOR ROOF TRUSS
LAYOUT & SUPPORT STRUCTURE

WITHIN DWELLING UNITS, SUFFICIENT SMOKE
ALARMS SHALL BE INSTALLED SO THAT
THERE IS AT LEAST ONE SMOKE ALARM ON EACH FLOOR LEVEL
(INCLUDING BASEMENT) THAT IS 90% OF MORE VENTILATED
EACH ROOM OR ADJACENT ROOM LEVEL.
EACH ROOM MUST BE PROTECTED BY A SMOKE ALARM, EITHER
IN THE ROOM OR IN OUTSIDE WITHIN 30' OF THE
FOLLOWING CORRIDORS AND DOORWAYS OF THE ROOM
DOOR, AND THE DISTANCE FROM ANY POINT ON A FLOOR LEVEL
TO A SMOKE ALARM ON THE SAME LEVEL DOES NOT EXCEED 15M.

THIS INSTALLATION OF CARBON MONOXIDE
DETECTOR(S) IS REQUIRED BY ONTARIO
REGULATION 283/01.

ALL WORK SHALL CONFORM TO C.B.C.,
O.REG. 403 / 97, AS AMENDED

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
AUG 8 2006
BY
DAVE GODLEY

DATE	NO.	DESCRIPTION
DEC 8/05	KSP	PROJ. / THIS DRAWING THAT IS CO-ORD.

Engineered drawings to be submitted to
the architect for co-ordination of structure.
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out general review of the work and assumes
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documents.

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the commencement of the work.

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or sub-contractors proceed in violation.

Myself are issued to the client or the order-
standing that no changes are to be made to
the contract documents without written
consent of the architect.

DO NOT SCALE DRAWING



Managan
beresford
& pattison
architects

70 elton road unit 1
windsor, ontario, M9B 1B9 (905) 265-7685

LANDURIE /
DE BRUYN KOPS
RESIDENCE

7558, CREDITVIEW ROAD,
BRAMPTON, ONT

PROPOSED GARAGE

Date: OCT 2005
Job Number: 05-795
Scale: 3/16" = 1'-0"

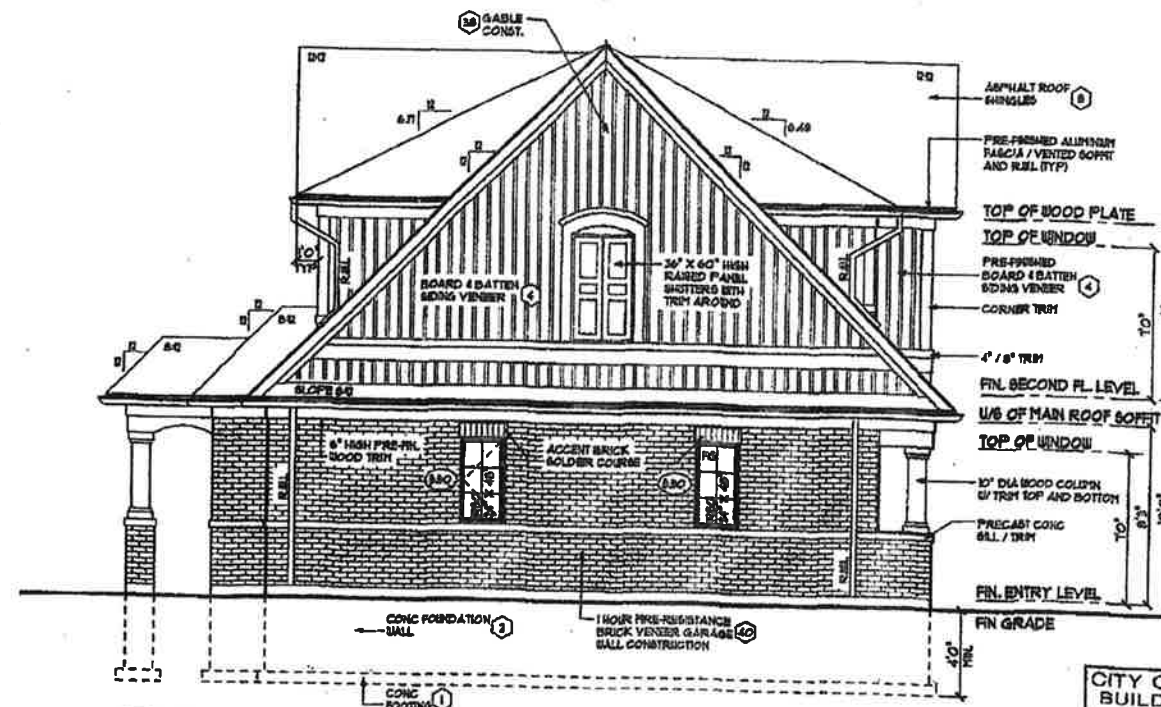
Sheet Number: 05 OF 11



The undersigned has reviewed and takes responsibility for the structural design,
and has the qualifications and meets the requirements set out under subsection
2.17.4 in the Ontario Building Code to be a designer.

Randy Ma
NAME: SIGNATURE: 21125
BCIN

MAS ENGINEERING INC.
FIRM NAME: 29002
BCIN



LEFT SIDE ELEVATION

UNPROTECTED OPENING	
Exposed Building Face	550.00 sqft
Limiting Distance	6'-1" (2.00m)
Unprotected Opening Permitted	8.00%
As Per Table 9.10.14A O.B.C.	44.00 sqft
Unprotected Opening Proposed	2.00%
	11.00 sqft

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JUL 7 2006
BY
DAVE GODLEY

ALL WORK SHALL CONFORM TO O.B.C.,
O.REG. 403 / 97, AS AMENDED

DATE	REV.	DESCRIPTION
02/05	KSP	LOCK / TRUSS SYSTEM STRUCTURAL CO-ORD

Engineered steel drawings to be submitted to the architect for co-ordination of structure.

The architect has not been retained to carry out general review of the work and carries no responsibility for the safety of the contractor or sub-contractors to carry out the work in accordance with the contract documents.

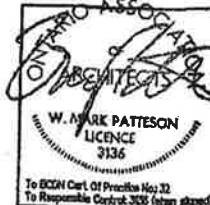
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DO NOT SCALE DRAWING



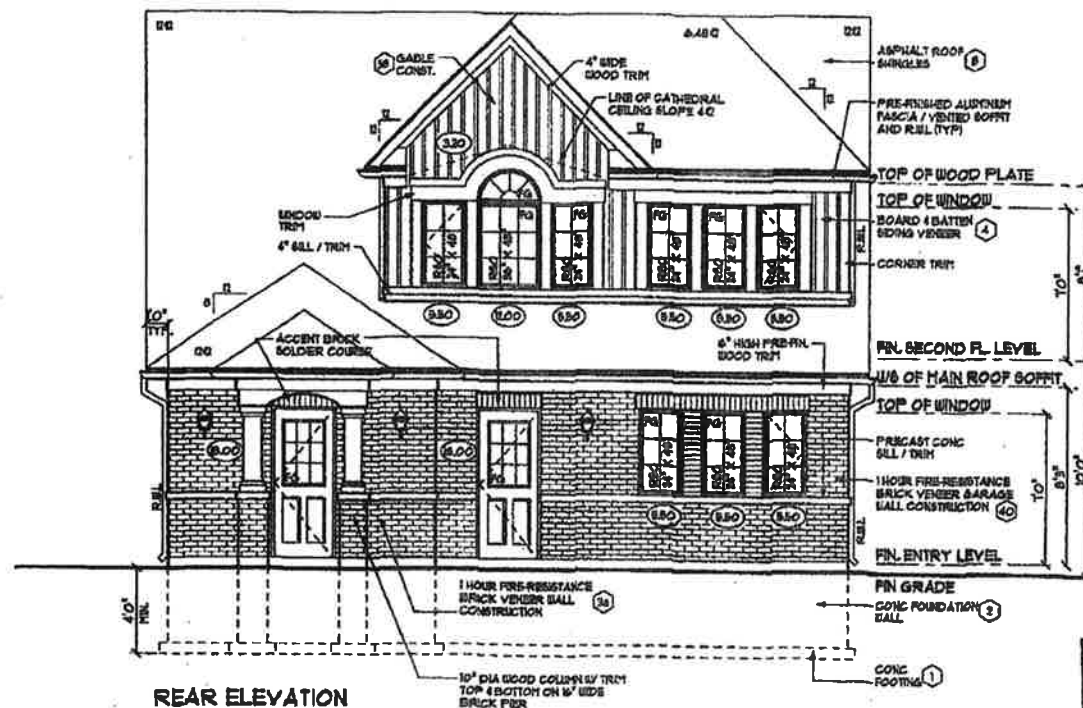
flanagan
beresford
& patteson
architects

70 allen road, unit 1
woodbridge, ontario, M1 1B1, (905) 225-2858

LANDURIE /
DE BRUYN KOPS
RESIDENCE
7558, CREDITVIEW ROAD,
BRAMPTON, ONT

PROPOSED GARAGE

Date	Checked By
OCT 2005	
Job Number	Drawn By
DS-795	KSP
Scale	
	3/16" = 1'-0"
Revised	Sheet No.



REAR ELEVATION

UNPROTECTED OPENING	
Exposed Building Face	400.00 sqft
Limiting Distance	61'-1\"/>

ALL WORK SHALL CONFORM TO O.B.C.,
O.REG. 403 / 97, AS AMENDED

DATE	REF.	DESCRIPTION
------	------	-------------

Engineered these drawings to be submitted to the architect for co-ordination of structure.

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DO NOT SCALE DRAWING



CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
JUL 7 2006
BY
DAVE GODLEY

flanagan
beresford
& patteson
architects

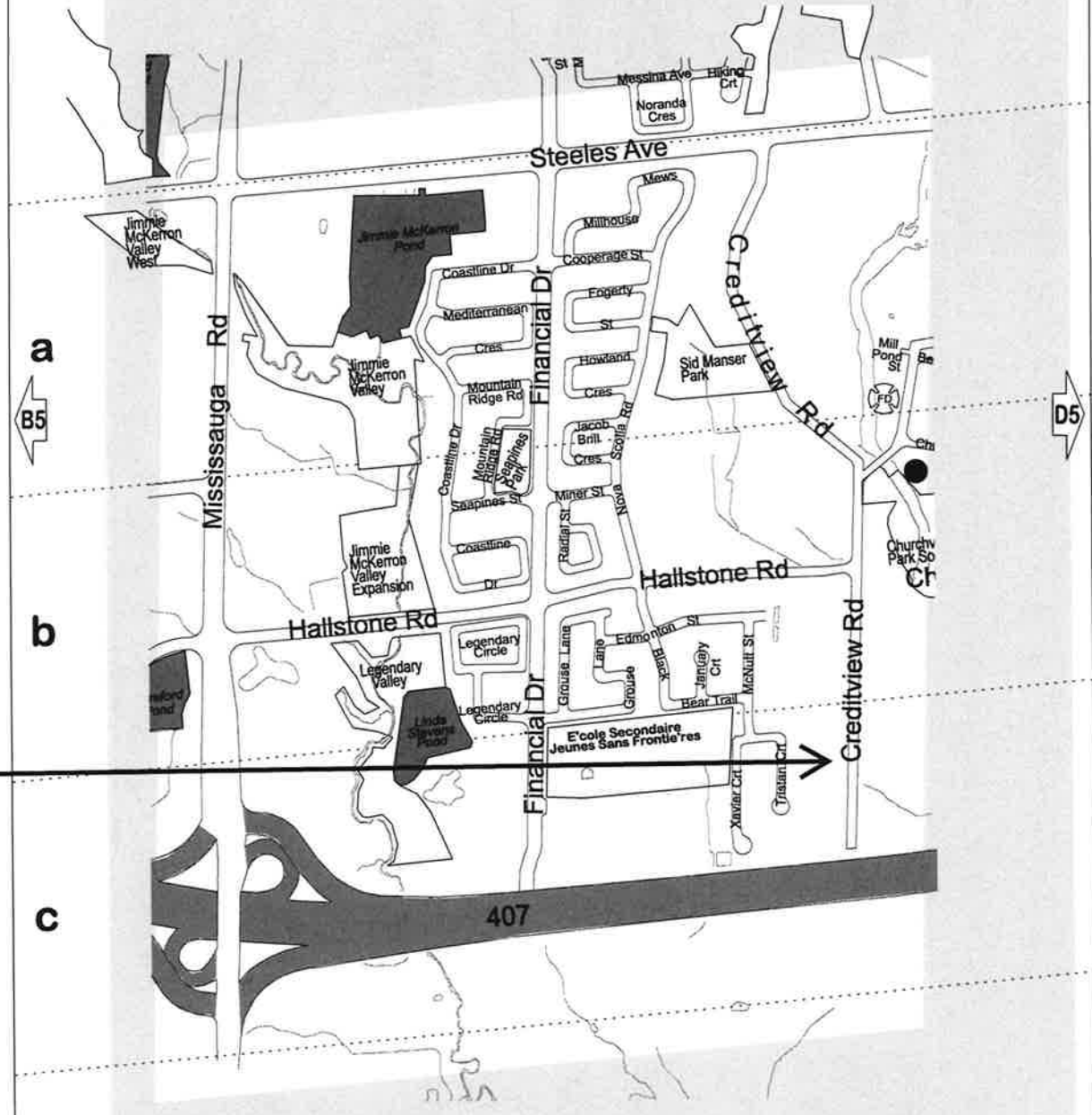
70 elton road, unit 1
woodbridge, ontario, M4B 2B8, (905) 280-2028

LANDURIE /
DE BRUYN KOPS
RESIDENCE
7558, CREDITVIEW ROAD,
BRAMPTON, ONT

PROPOSED GARAGE

Date	Checked By
OCT 2006	
Job Number	Drawn By
05-785	KSP
Scale	Sheet Number
3/16" = 1'-0"	40 OF 40

C4



a

b

c

B5

D5

A-2023-0046

C5

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **IRENE RAMSAMMY AND RON RAMSAMMY** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Block 4, Plan M-312, municipally known as **11467 GOREWAY DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s) associated with the proposed "retained" lot under Consent Application B-2023-0004:

1. To permit a lot area of 0.24 hectares whereas the by-law requires a minimum lot area of 0.8 hectares;
2. To permit a lot width of 9.49m (31.14 ft.) whereas the by-law requires a minimum lot width of 45m (147.64 ft.);
3. To permit an interior side yard setback of 6.87m (22.54 ft.) whereas the by-law requires a minimum interior side yard setback of 7.5m (24.60 ft.);
4. To permit 51.23% front yard landscape open space whereas the by-law requires a minimum of 70% of the front yard to be landscaped open space.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: YES

File Number: _____
File Number: B-2023-0004

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

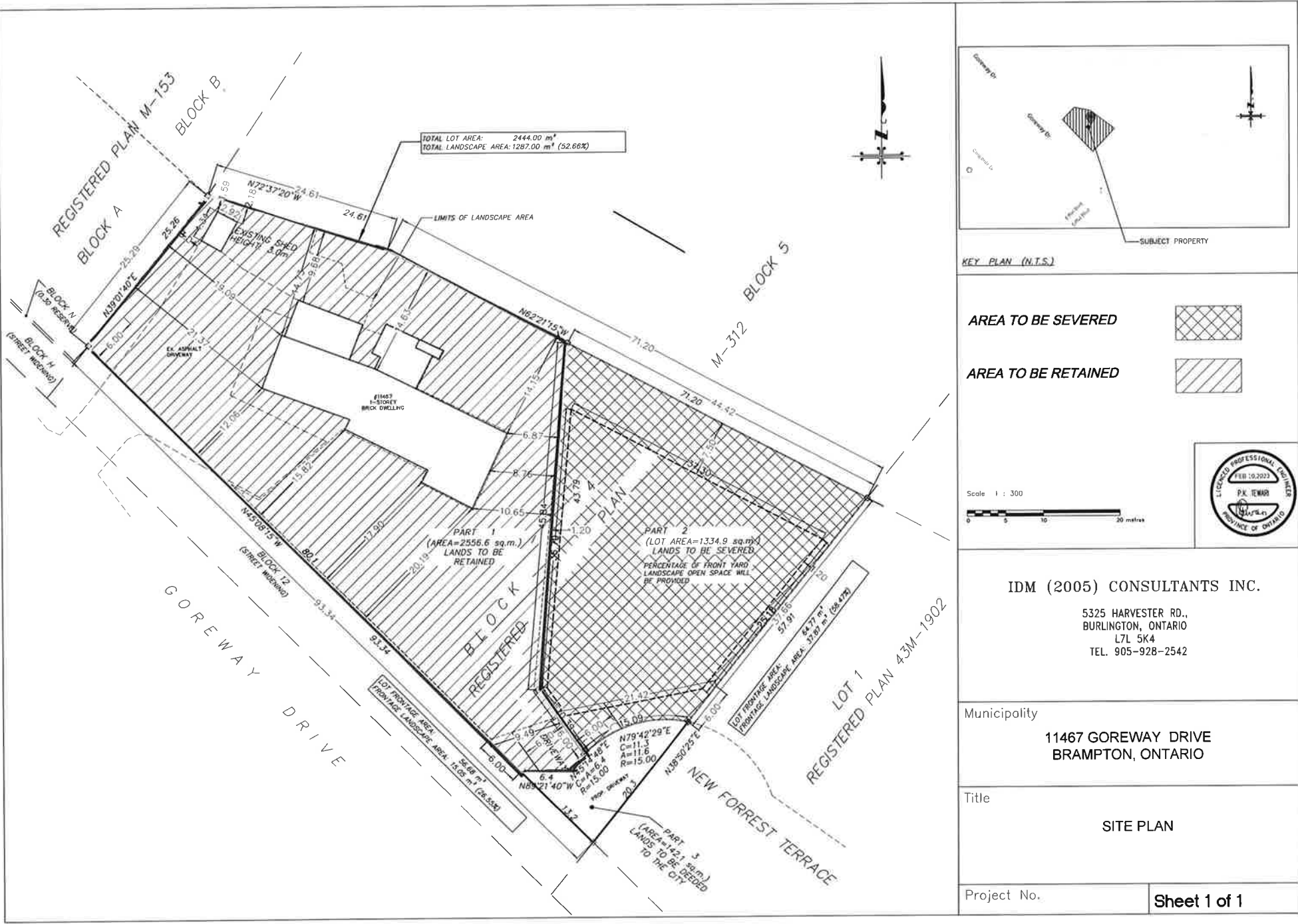
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 9th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0047

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** IRENE RAMSAMMY & RON RAMSAMMY
Address 11467 GOREWAY DRIVE - BRAMPTON
L6P-0M9
Phone # (647)-283-4700 **Fax #** _____
Email irene.ramsammy1@gmail.com
2. **Name of Agent** IDM(2005)CONSULTANTS INC.
Address 5325 HARVESTER Rd. - BURLINGTON - ON L7L-5K4
Phone # (905)-928-2542 **Fax #** _____
Email prem_tewari@hotmail.com
3. **Nature and extent of relief applied for (variances requested):**
1- To permit an interior side yard setback of 6.87m, whereas the by-law requires an interior side yard setback of 7.5m.
2- To permit a 51.23% front yard landscape open space, whereas the by-law requires a minimum of 70% of the front yard be landscaped open space.
3- To permit a lot area of 0.24 hectares, whereas the by-law requires a minimum lot area of 0.8 hectares.
4- To permit a lot width of 9.49m, whereas the by-law requires a lot width of 45m
4. **Why is it not possible to comply with the provisions of the by-law?**
DUE TO SITE RESTRICTIONS.
5. **Legal Description of the subject land:**
Lot Number _____
Plan Number/Concession Number M-312 - BLOCK 4
Municipal Address 11467 GOREWAY DRIVE - BRAMPTON - ON
6. **Dimension of subject land (in metric units)**
Frontage 80.14m
Depth 30.14m
Area 2538.87 Sq.m
7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

369.00 SQ.M. (3971.88 SQ.FT) - 1 STORY - SINGLE FAMILY RESIDENTIAL

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NO PROPOSED BUILDING ON THE RETAINED LANDS.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 12.06m

Rear yard setback 9.68m

Side yard setback 19.09m

Side yard setback 39.83m

PROPOSED

Front yard setback 12.06m

Rear yard setback 9.68m

Side yard setback 19.09m

Side yard setback 6.87m

10. Date of Acquisition of subject land: DECEMBER 1996'
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: UNKNOWN
15. Length of time the existing uses of the subject property have been continued: 40+ YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☒

If answer is yes, provide details: File # B-2023-0004 Status CONCURRENT

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief

Ram Tean

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BURLINGTON

THIS 07 DAY OF FEBRUARY, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, PREM TEWARI OF THE CITY OF BURLINGTON

IN THE 07 OF FEBRUARY SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

Town OF Oakville

IN THE Province OF

Ontario THIS 9th DAY OF

February, 2023.

Salma Nseir
A Commissioner etc.

Ram Tean

Signature of Applicant or Authorized Agent

Salma Nseir, a Commissioner, etc.,
Province of Ontario, for
Nachia Law Office Professional Corporation.
Expires April 14, 2025

Nachia Law Office Professional Corporation
242 Kerr Street, Unit 2
Oakville, Ontario L6K 3B2

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

RE2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

February 13, 2023

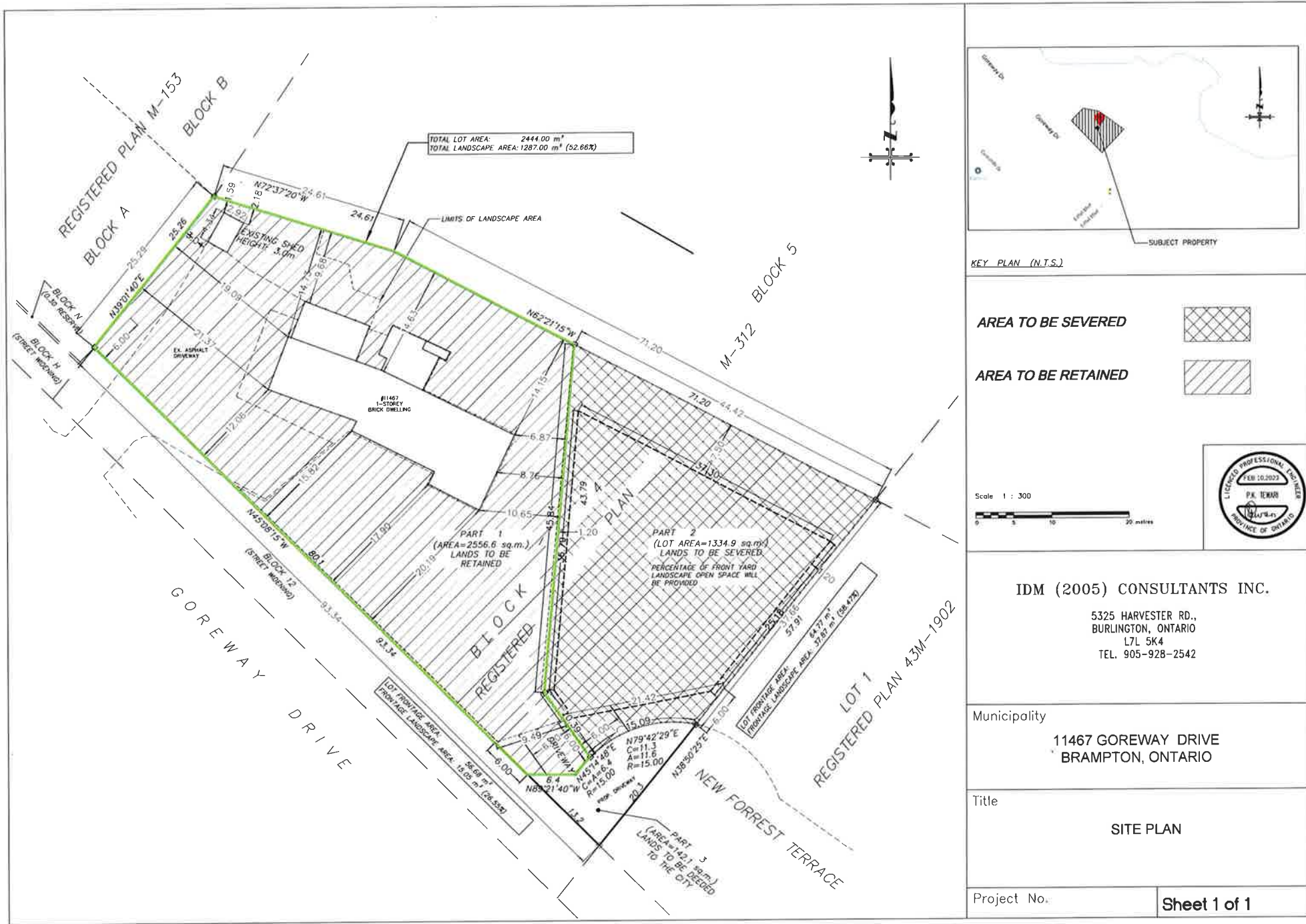
Date

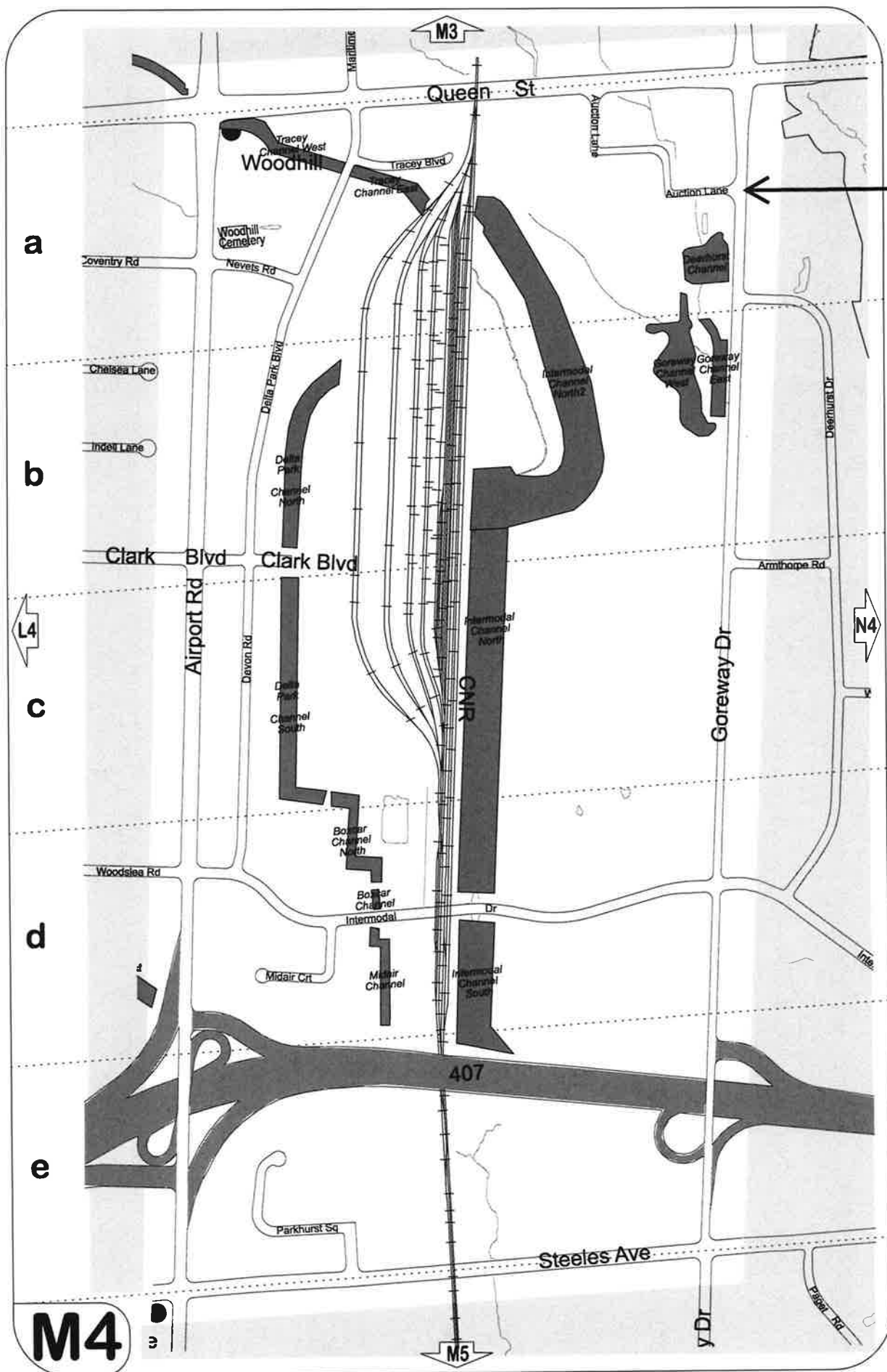
DATE RECEIVED

February 16, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17





B-2023-0004
A-2023-0047
A-2023-0048

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **IRENE RAMSAMMY AND RON RAMSAMMY** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Block 4, Plan M-312, municipally known as **11467 GOREWAY DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s) associated with the proposed "severed" lot under Consent Application B-2023-0004:

1. To permit a lot area of 0.13 hectares whereas the by-law requires a minimum lot area of 0.8 hectares;
2. To permit a lot width of 21.42m (70.28 ft.) whereas the by-law requires a minimum lot width of 45m (147.64 ft.);
3. To permit an interior side yard setback of 1.2m (3.94 ft.) whereas the by-law requires a minimum interior side yard setback of 7.5m (24.60 ft.);
4. To permit a rear yard setback of 7.5m (24.60 ft.) whereas the by-law requires a minimum rear yard setback of 15.0m (49.22 ft.);
5. To permit a front yard setback of 8.0m (26.25 ft.) whereas the by-law requires a minimum front yard setback of 12m (39.37 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: YES

File Number: _____
File Number: B-2023-0004

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

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RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 9th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0048

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** IRENE RAMSAMMY & RON RAMSAMMY

Address 11467 GOREWAY DRIVE - BRAMPTON
L6P-0M9

Phone # (647)-283-4700

Fax # _____

Email irene.ramsammy1@gmail.com

2. **Name of Agent** IDM(2005)CONSULTANTS INC.

Address 5325 HARVESTER Rd. - BURLINGTON - ON L7L 5K4

Phone # (905)-928-2542

Fax # _____

Email prem_tewari@hotmail.com

3. **Nature and extent of relief applied for (variances requested):**

- 1- To permit a lot area of 0.13 hectares, whereas the by-law requires a minimum lot area of 0.8 hectares.
- 2- To permit an interior side yard setback of 1.2m, whereas the by-law requires an interior side yard setback of 7.5m.
- 3- To permit an rear yard setback of 7.5m, whereas the by-law requires an rear yard setback of 15m.
- 4- To permit an front yard setback of 8m, whereas the by-law requires an front yard setback of 12m.
- 5- To permit a lot width of 21.42m, whereas the by-law requires a lot width of 45m

4. **Why is it not possible to comply with the provisions of the by-law?**

DUE TO SITE RESTRICTIONS.

5. **Legal Description of the subject land:**

Lot Number _____

Plan Number/Concession Number M-312 - BLOCK 4

Municipal Address 11467 GOREWAY DRIVE - BRAMPTON - ON

6. **Dimension of subject land (In metric units)**

Frontage 21.42m

Depth 40.70m

Area 1334.90 Sq.m

7. **Access to the subject land is by:**

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

NONE (NO EXISTING BUILDING)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

297.3 SQ.M (3200 SQ. FT.) - 2 STOREY - ONE SINGLE FAMILY DWELLING.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback N/A

Rear yard setback N/A

Side yard setback N/A

Side yard setback N/A

PROPOSED

Front yard setback 8.0m

Rear yard setback 7.50m

Side yard setback 1.20m

Side yard setback 1.20m

10. Date of Acquisition of subject land: DECEMBER 1996
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: JUNE 2023
15. Length of time the existing uses of the subject property have been continued: 40+ YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☒

If answer is yes, provide details: File # B-2023-0004 Status CONCURRENT

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief

Signature

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BURLINGTON

THIS 07 DAY OF FEBRUARY, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, PREM TEWARI, OF THE CITY OF BURLINGTON

IN THE 07 OF FEBRUARY SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

Town OF Oakville

IN THE Province OF

Ontario THIS 8th DAY OF

February, 2023

A Commissioner etc.

Signature

Signature of Applicant or Authorized Agent

Salma Nseir, a Commissioner, etc.,

Province of Ontario, for

Nachia Law Office Professional Corporation.

Expires April 14, 2025

Nachia Law Office Professional Corporation
242 Kerr Street, Unit 2
Oakville, Ontario L6K 3B2

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

RE2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

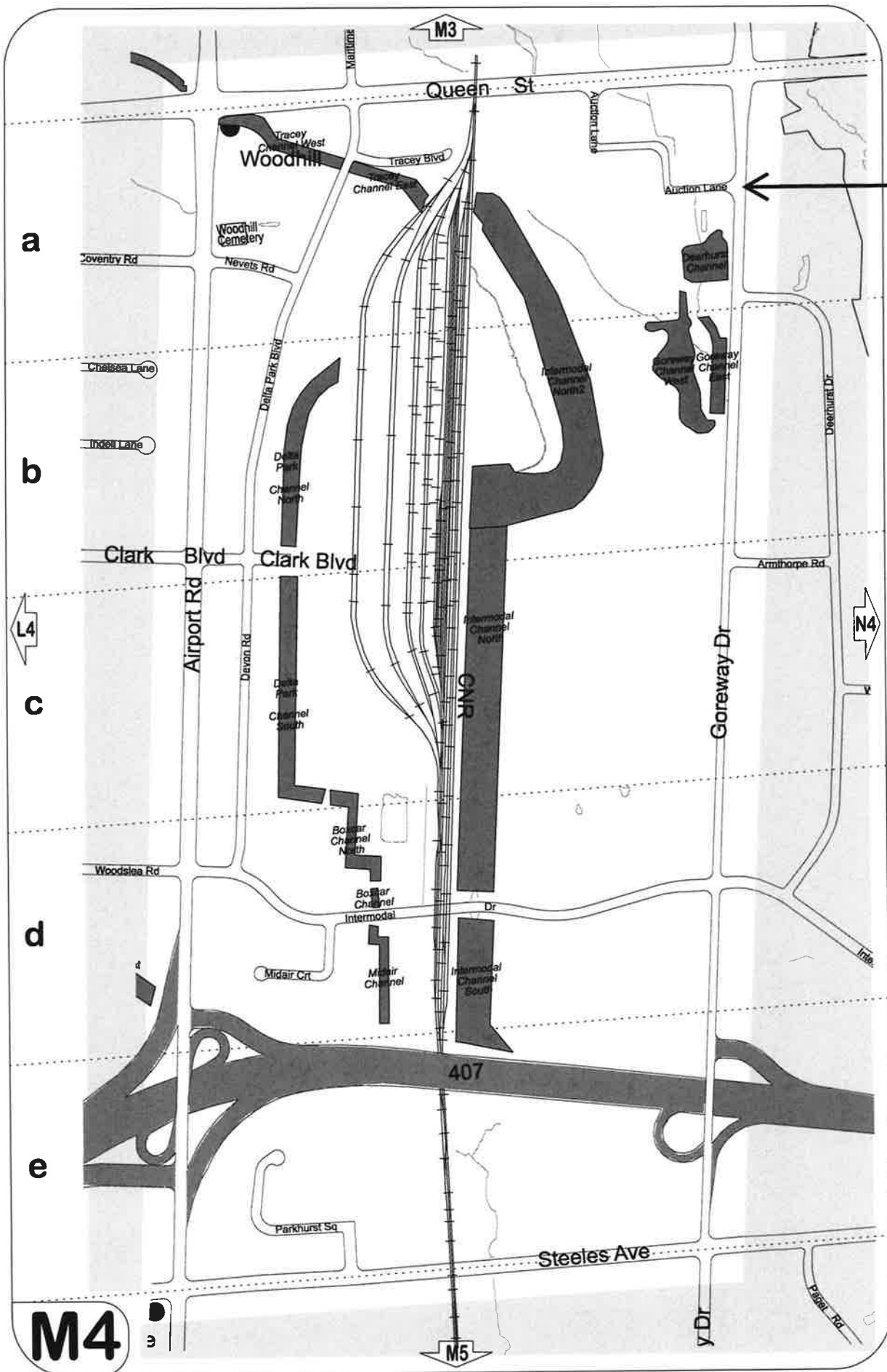
L Barbuto
Zoning Officer

February 13, 2023
Date

DATE RECEIVED February 16, 2023

Date Application Deemed Complete by the Municipality

Revised 2022/02/17



B-2023-0004
A-2023-0047
A-2023-0048

a

b

c

d

e

M4

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **JAYASANKAR RAMANTHAN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 36, Plan 43M-1804 municipally known as **84 SLEIGHTHOLME CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an interior side yard setback of 0.07m (0.23 ft.) to a proposed below grade entrance whereas the by-law requires a minimum interior side yard setback of 0.3m (0.98 ft.) provided that a continuous side yard width of no less than 1.2m (3.94 ft.) is provided on the opposite side.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

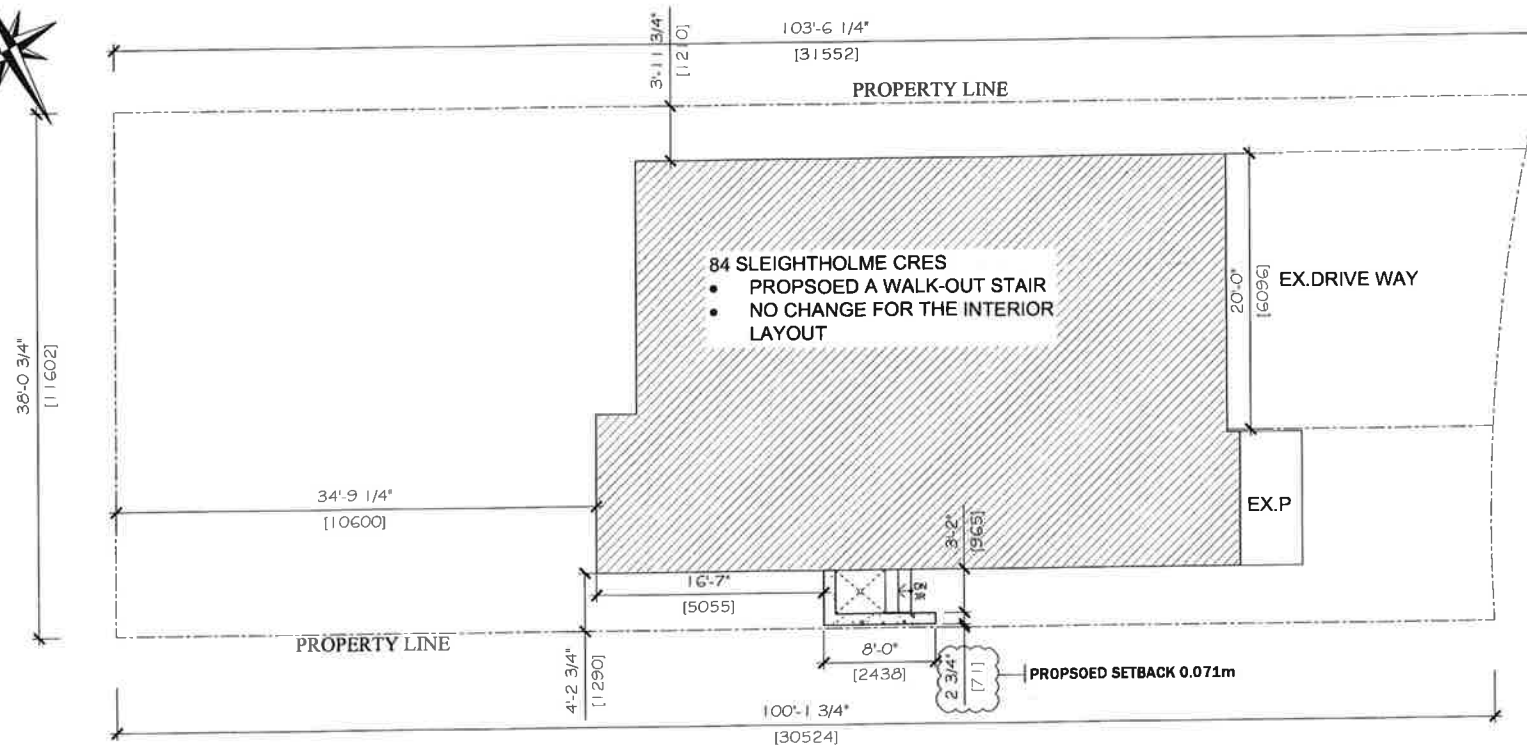
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SLEIGHTHOLME CRES

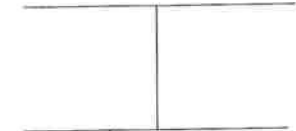
1

A-01

SITE PLAN

- THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
- THE DRAWING IS NOT TO BE SCALED.
- CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, MECHANICAL, ELECTRICAL, ETC. INFORMATION SHOWN ON THESE PLANS. REFER TO THE APPROPRIATE CONSULTANTS DRAWINGS BEFORE PROCEEDING WITH WORK.
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NO.	ISSUE FOR/REVISION	DATE
01	ISSUE FOR REVIEW	



WALK-OUT STAIRS
ZONING CERTIFICATE

84 Sleightholme Cres, Brampton,
ON L8P 3E7

Project No.

#2240

Drawn

KH

Scale

3/8"=1'-0"

Checked

Date

04.28.2022

Title

SITE PLAN

Drawing file

A-01

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

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How to Participate in the Hearing:

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- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
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APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Ramanathan Jayasankar
Address 84 Sleightholme CresBrampton, ON L6P 3E7

Phone # 4168894192 Fax #
Email sheyaa2011@gmail.com

2. Name of Agent Kris He
Address 8 Proud CtAurora, ON L4G 0Z1

Phone # 6476322266 Fax #
Email he-design@hotmail.com

3. Nature and extent of relief applied for (variances requested):
The below grade in the side yard is allowed as long as there is 0.3m (12") set back form the property line to the below grade. However, the proposed walk-out setback is 0.071m(2.75")

4. Why is it not possible to comply with the provisions of the by-law?
the walk-out stairs was built without permit.

5. Legal Description of the subject land:
Lot Number lot 36
Plan Number/Concession Number plan 43M1804
Municipal Address 84 Sleightholme CresBrampton, ON L6P 3E7

6. Dimension of subject land (in metric units)
Frontage A-11.67
Depth 31.5
Area 356

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

two storey detached.
Gross floor area about 220 sq.m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

wall-out stairs entrance to basement on the side yard

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	3.22m
Rear yard setback	10.6m
Side yard setback	1.25m
Side yard setback	1.21m

PROPOSED

Front yard setback	3.22m
Rear yard setback	10.6m
Side yard setback	0.071m
Side yard setback	1.21m

10. Date of Acquisition of subject land: 01/28/2010

11. Existing uses of subject property: single family dwelling

12. Proposed uses of subject property: single family dwelling

13. Existing uses of abutting properties: single family dwelling

14. Date of construction of all buildings & structures on subject land: 01/28/2010

15. Length of time the existing uses of the subject property have been continued: 12 years

16. (a) What water supply is existing/proposed?
Municipal ☒
Well ☐ Other (specify) _____

(b) What sewage disposal is/will be provided?
Municipal ☒
Septic ☐ Other (specify) _____

(c) What storm drainage system is existing/proposed?
Sewers ☒
Ditches ☐
Swales ☐ Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Ramanathan Jayasankar

Signature of Applicant(s) or Authorized Agent

DATED AT THE city of Brampton OF 84 Sleightholme Cres
THIS 28 DAY OF January, 20 23.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JAYASANKAR - RAMANATHAN OF THE City OF BRAMPTON
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel
THIS 16th DAY OF

Feb., 20 23

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J. Myers
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED Feb. 16, 2023

Revised 2022/02/17

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGN/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION

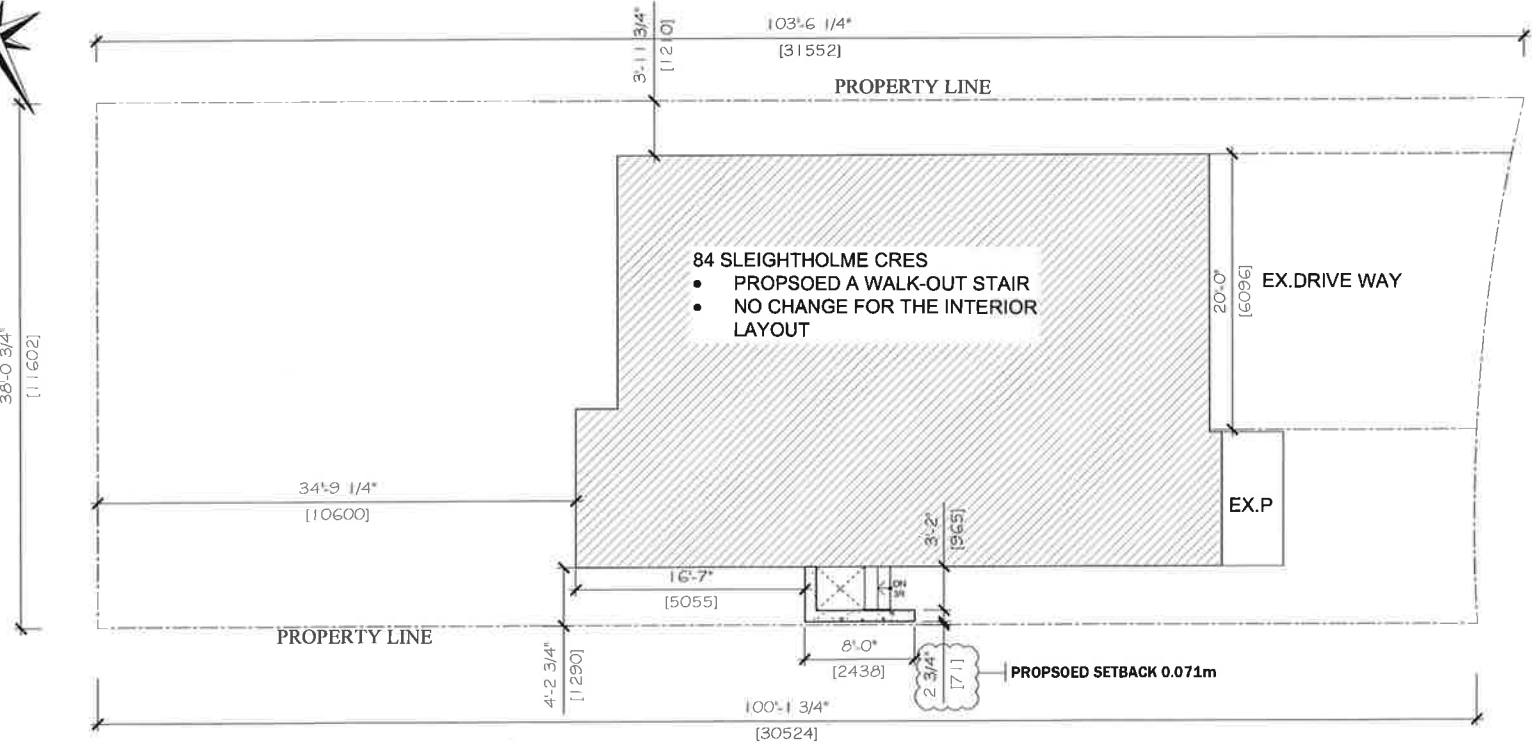
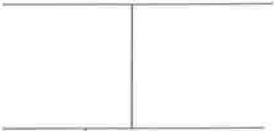
THE DRAWING IS NOT TO BE SCALED

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION

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THE DRAWINGS, AS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF DESIGNER. THE DESIGNER RETAINS OWNERSHIP OF COPYRIGHT IN ALL THESE DRAWINGS

NO.	ISSUE FOR/REVISION	DATE
01	ISSUE FOR REVIEW	



SLEIGHTHOLME CRES

1

A-01

SITE PLAN

WALK-OUT STAIRS
ZONING CERTIFICATE

84 Sleightholme Cres, Brampton,
ON L6P 3E7

Project No. #2240

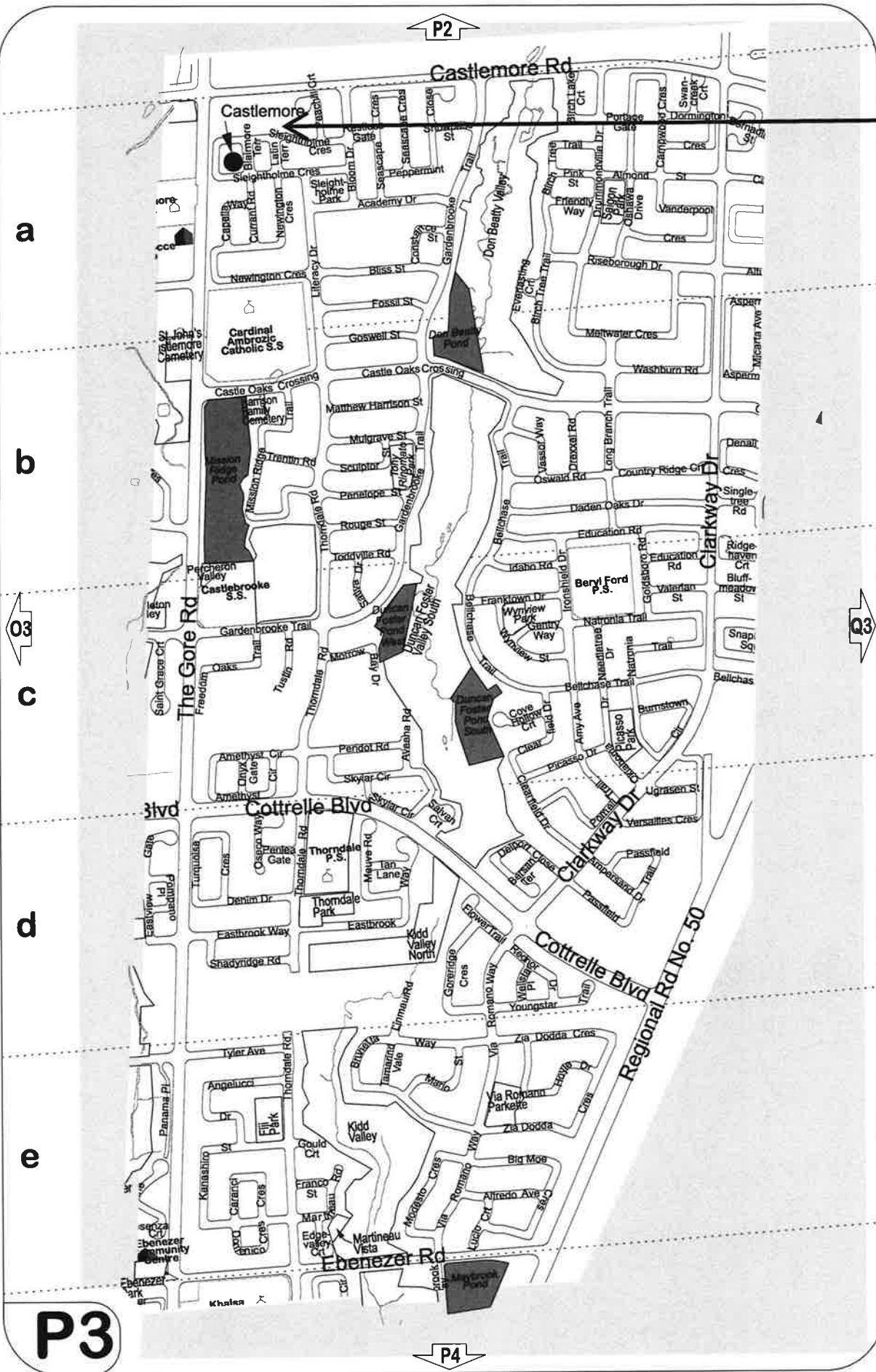
Drawn by KH Scale 3/8"=1'-0"

Checked Date 04.28.2022

Title

SITE PLAN

Drawing No. A-01



a

b

c

d

e

P3

P4

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ROSE GARDEN NOMINEE INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lots 49, 50, 51, 52, 57, 58, 59 and 85 and All of Lots 53 and 54, Plan BR-2 municipally known formally as **122-130 MAIN STREET NORTH, 6 AND 7 NELSON STREET EAST AND 7 AND 11 CHURCH STREET EAST**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a maximum of 676 dwelling units whereas the by-law permits a maximum of 590 dwelling units;
2. To permit a maximum floor plate area of 2,800 square metres for floors 1 to 6 whereas the by-law permits a maximum floor plate area of 800 square metres.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

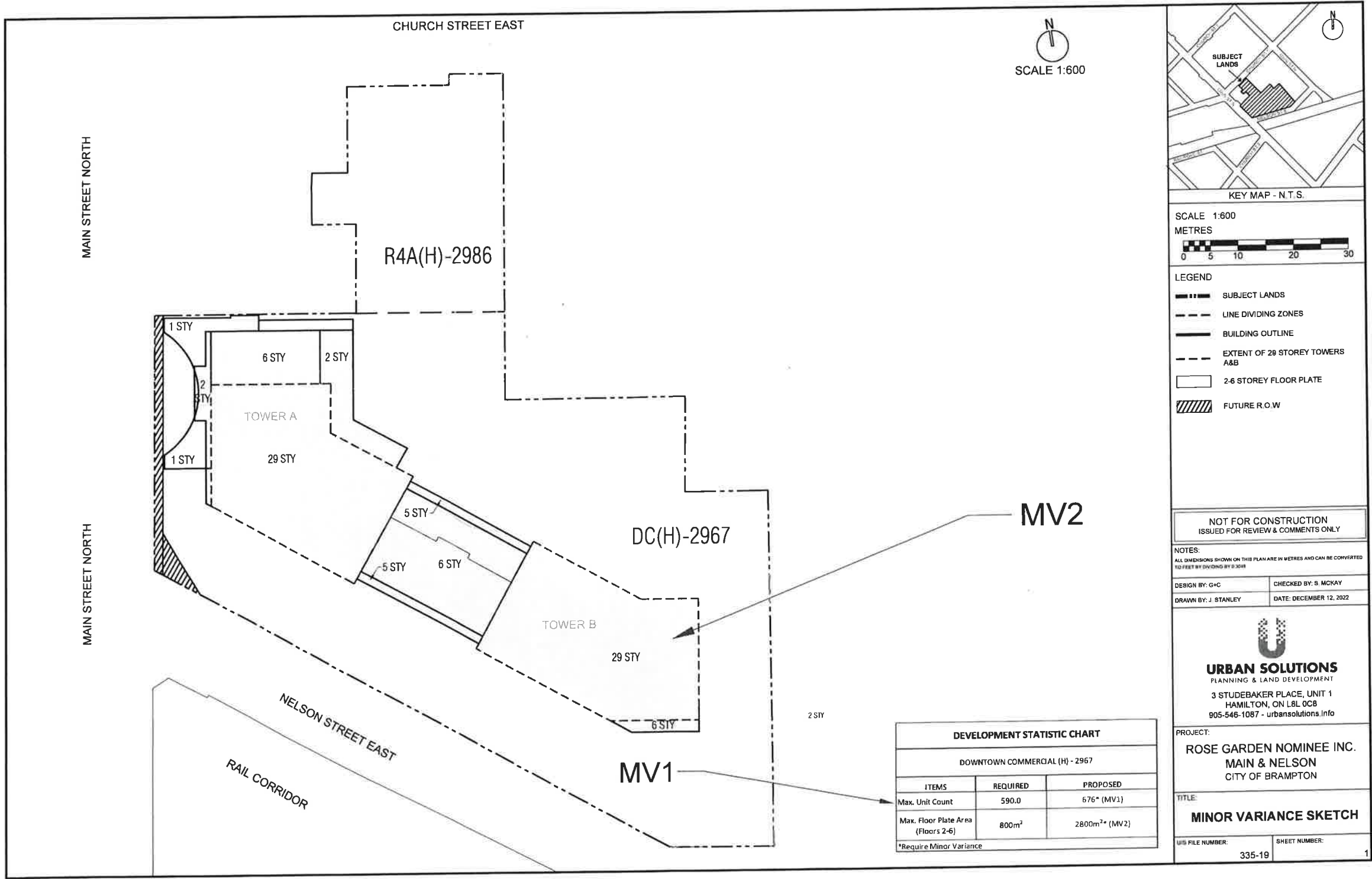
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



KEY MAP - N.T.S.

SCALE 1:600

METRES

0 5 10 20 30

LEGEND

- SUBJECT LANDS
- LINE DIVIDING ZONES
- BUILDING OUTLINE
- EXTENT OF 29 STOREY TOWERS A&B
- 2-6 STOREY FLOOR PLATE
- FUTURE R.O.W

NOT FOR CONSTRUCTION
ISSUED FOR REVIEW & COMMENTS ONLY

NOTES:
ALL DIMENSIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

DESIGN BY: G+C	CHECKED BY: S. MCKAY
DRAWN BY: J. STANLEY	DATE: DECEMBER 12, 2022

URBANSOLUTIONS
PLANNING & LAND DEVELOPMENT
3 STUDEBAKER PLACE, UNIT 1
HAMILTON, ON L8L 0C8
905-546-1087 - urbansolutions.info

PROJECT:
ROSE GARDEN NOMINEE INC.
MAIN & NELSON
CITY OF BRAMPTON

TITLE:
MINOR VARIANCE SKETCH

WHS FILE NUMBER:	SHEET NUMBER:
335-19	1

DEVELOPMENT STATISTIC CHART		
DOWNTOWN COMMERCIAL (H) - 2967		
ITEMS	REQUIRED	PROPOSED
Max. Unit Count	590.0	676* (MV1)
Max. Floor Plate Area (Floors 2-6)	800m ²	2800m ² * (MV2)
*Require Minor Variance		

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



February 8, 2023

335-19

Via Email

A-2023-0450

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment

City of Brampton,
2 Wellington Street West
Brampton, ON L6Y 4R2

Dear Ms. Myers,

**RE: 122-130 Main Street North, 6 & 7 Nelson Street East, 7 & 11 Church Street East, City of
Brampton
Minor Variance Application**

UrbanSolutions Planning & Land Development Consultants Inc. (UrbanSolutions) has been retained to act as the authorized planning consultant for Rose Garden Nominee Inc., the registered owner of the lands municipally known as 122-130 Main Street North, 6 & 7 Nelson Street East, and 7 & 11 Church Street East in the City of Brampton (subject lands). We are pleased to submit this Minor Variance application on their behalf to facilitate the proposed development.

The subject lands are approximately 0.87 hectares (2.14 acres) in size and are located within the Conceptual Urban Growth Centre as established in the Region of Peel Official Plan. The lands are also designated as 'Central Area' in the City of Brampton Official Plan and 'Central Area Mixed Use' within Special Policy Area 3A (SPA 3A) in the Downtown Brampton Secondary Plan (SPA7). On January 13, 2020, City of Brampton Council approved Zoning By-law Amendment No. 294-2019 which placed the subject lands in site-specific 'Downtown Commercial DC(H)-2967' and 'Residential Apartment R4A(H)-2968' Zones within Comprehensive Zoning By-law No. 270-2004. This site-specific zoning permits 590 residential units within two (2) 29-storey towers and a minimum of 2,000 m² of commercial space at grade within the portion of the site zoned DC(H)-2967. The lands are also subject to an H – Holding provision; requiring a number of studies to be updated and approved prior to removal.

On June 18, 2021, UrbanSolutions submitted a Pre-Application Consultation Request for a revised Concept consisting of 666 residential units, 504.7 m² of commercial space, 2,278.8 m² of office space, and 652 underground parking spaces. During the subsequent Pre-Application Consultation meeting held on July 20, 2021, we (UrbanSolutions) expressed our intent to address the increased unit count through a Minor Variance application.

Given that the anticipated timeline for addressing conditions of Site Plan approval exceeds the Minor Variance approval process, our office made an initial Site Plan submission on December 20, 2021 (SPA-2021-0269). This submission included a slightly revised concept consisting of 676 residential units within

two (2) 29-storey towers, 572.3 m² of low-rise residential, 538.3 m² of commercial space, 2,237 m² of office space, and 641 underground parking spaces.

As such, the purpose of this Minor Variance application is to bring the proposed development into conformity with the provisions of Zoning By-law No. 270-2004. The proposal requires two (2) variances with respect to the Downtown Commercial DC(H)-Section 2967 Zone, as outlined below:

Variances with Respect to the Downtown Commercial DC(H)-Section 2967 Zone

- **Variance No. 1:** To permit a maximum of 676 dwelling units on the subject lands whereas a maximum of 590 is currently permitted.
- **Variance No. 2:** To permit a maximum Floor Plate Area of 2,800 square metres for floors one (1) to six (6) whereas a maximum size of 800 square metres is currently permitted.

To assist in the evaluation of this application, please refer to the enclosed Minor Variance Sketch.

Justification for the proposed variances is provided below in accordance with Section 45(1) of the *Planning Act*:

1. Are the proposed minor variances minor in nature?

Variance No. 1 – Maximum Unit Count

On May 7, 2014, City of Brampton Council passed By-law No. 128-2014 to adopt Official Plan Amendment No. OP2006-099, and By-law No. 129-2014 to amend Comprehensive Zoning By-law 270-2004 to amend policies of the Downtown Brampton Secondary Plan (SP 7). These amendments established restrictions on development/redevelopment within the Downtown Brampton Special Policy Area 3 (SPA 3) – which the Toronto Region Conservation Authority (TRCA) identified as being susceptible to flooding during a major storm event. Among other restrictions, this amendment established a cap of 900 new residential units within Special Policy Area 3A, in addition to the number of units existing on May 7, 2014 (Section 5.6.3.3(a)(ii)). Accordingly, site-specific By-law No. 294-2019 prescribes a maximum unit count of 590 dwelling units for the subject lands, which was derived by subtracting the approximate 300 new residential units proposed in the easterly part of the nearby Sweeney development project from the 900 unit cap within SPA 3A.

On December 2, 2022, the TRCA issued Permit No. C-221416 to facilitate the proposed site servicing, development, and grading associated with the current 676 unit concept. Given that the City's comprehensive review and subsequent amendment to Special Policy Area 3 (via OP2006-099) – which established the 900 residential unit cap within SPA 3 – was based on the TRCA's 2012 floodline model (approved by the Province on April 30, 2014), it is our (UrbanSolutions') understanding that any public safety concerns associated with flooding susceptibility resulting from the additional 86 units have been adequately addressed through the issuance of this permit.

Further, as outlined in the Functional Servicing Report prepared by Valdor Engineering in support of our SPA-2021-0269, the proposed unit count can be adequately serviced with existing municipal services including watermain, sanitary sewer, and stormwater. Additionally, the Transportation Impact Study prepared by NexTrans Consulting Engineers in support of Site Plan application SPA-2021-0269 concludes

that the subject site's proximity to existing and planned transit infrastructure (including existing Brampton Transit bus routes 2, 24, 25, and 216 and the existing Brampton GO Station) will reduce the need for on-site vehicle parking and will mitigate any potential traffic concerns associated with the increased unit count. It should also be noted that the additional 86 units are to be primarily accommodated within the proposed 6-storey podium and that no height increase beyond the previously approved 29-storeys is being requested. For the above-noted reasons, the requested variance is considered to be minor in nature.

Variance No. 2 – Maximum Floorplate Area

As the previous development concept submitted in support of Zoning By-law Amendment File No. C01E06.056 consisted of two stand-alone 29-towers, the site-specific DC(H)-2967 Zone permits a maximum floorplate area of 800 m². This regulation aligns with the target established in Policy 3.1.1.39(c) of the City of Brampton Draft Official Plan which prescribes a maximum tower floorplate area of 800 m² to ensure that an adequate separation distance (at least 25 metres) is achieved between towers to allow for privacy, light, and sky view. As previously mentioned, the proposed concept has since evolved to include a 6-storey podium connecting the two 29-storey towers; for which the requested variance is required to accommodate. Given that the floorplate area of each proposed tower (800 m²) complies with site-specific zoning regulations and maintains the general intent and purpose of Official Plan Policy 2.3.36.b, the requested variance is considered to be minor in nature.

2. Are the proposed minor variances desirable for the appropriate development or use of the land, building or structure?

The requested variances will facilitate the redevelopment of an underutilized site with a transit-oriented, mixed-use development on lands that are: located within an Urban Growth Centre as defined on Schedule 2 of the Growth Plan and Schedule E-1 of the Region of Peel Official Plan, designated Mixed Use District in the City of Brampton Official Plan, and as 'Central Area Mixed Use' in the Downtown Brampton Secondary Plan (SPA7). Additionally, the proposed mixed-use development will provide a range and mix of housing options to aid the City in achieving the Population target of 2,280,000 people by the year 2051. The proposal will also increase employment opportunities for the area, thus aiding the City in achieving the Employment target of 1,070,000 jobs to be accommodated in the Region of Peel by 2051, as outlined in Schedule 3 of the Growth Plan. The proposed built form and land use will be in keeping with the character of the surrounding area and represent a use of land that maintains the intent of the City of Brampton Official Plan and Zoning By-law No. 270-2004. As such, the proposed development is considered to be desirable and appropriate for the subject lands.

3. Are the proposed minor variances in keeping with the general purpose and intent of the Zoning By-law?

As previously noted, City of Brampton Council approved Zoning By-law Amendment No. 294-2019 on January 13, 2020 which placed the subject lands in a site-specific 'Downtown Commercial and Residential Apartment DC(H)-2967' Zone within Comprehensive Zoning By-law No. 270-2004. To accommodate the proposed development, variances to the applicable zoning are required. A planning evaluation of the requested variances is provided below:

Variance No. 1 – Maximum Number of Dwelling Units

An increase in the maximum number of permitted residential units is required to facilitate the proposed development, whereas a maximum of 590 is currently permitted in the site-specific zone. As previously noted, this value was derived in accordance with Section 5.6.3.3(a)(ii) of the Downtown Brampton Secondary Plan which prescribes a maximum of 900 new residential units within SPA 3A due to flooding susceptibility concerns. Considering that this value was derived in accordance with the TRCA's 2012 floodline model, and that the TRCA recently issued Permit No. C-221416 to facilitate the proposed 676-unit development concept, it is our understanding that any public safety concerns previously raised in relation to flooding susceptibility have been adequately addressed. Therefore, the requested variance maintains the general purpose and intent of the site-specific Zoning By-law.

Further, the Functional Servicing Report prepared by Valdor Engineering in support of Site Plan Control application (SPA-2021-0269) concludes that the proposed unit count (676) can be adequately serviced with existing municipal services including watermain, sanitary sewer, and stormwater. Additionally, the subject property's proximity to both existing and planned transit infrastructure will mitigate any potential traffic concerns associated with the increased unit count. As such, the requested variance maintains the general intent and purpose of the site-specific Zoning By-law and is thus appropriate for the subject property.

Variance No. 2 – Maximum Floorplate Area

Given that the site-specific DC(H)-2967 zone permits a Maximum Floorplate Area of 800 m², a variance is required to accommodate the footprint of the proposed 6-storey podium. As per Section 2.3.36.b of the City of Brampton Official Plan, the intent of the Maximum Floorplate Area regulation is to ensure that an adequate separation distance (at least 25 metres) is achieved between tower portion(s) of a development to allow for privacy, light, and sky views. As previously noted, the concept submitted in support of Zoning By-law Amendment File No. C01E06.056 consisted of two stand-alone 29-storey towers (each with an 800 m² floorplate); thus, relief from this regulation was not included in the site-specific by-law. Given that the floorplate area of each proposed tower (800 m²) complies with the site-specific by-law and that 25 metres of separation is achieved between each tower, the requested relief maintains the intent of the Zoning By-law and is therefore appropriate for the subject property.

4. Are the proposed minor variances in keeping with the general purpose and intent of the Official Plan?

Variance No. 1 – Maximum Unit Count

As previously noted, the maximum number of dwelling units (590) permitted within the site-specific DC(H)-2967 Zone was derived in proportion to the maximum total number of new residential units (900) permitted within Special Policy Area 3A, as outlined in Section 5.6.3.3(a)(ii) of the Downtown Brampton Secondary Plan. Given that this unit cap was established in accordance with the TRCA's 2012 floodline model, and that the TRCA recently issued Permit No. C-221416 on December 2, 2022 which facilitates the proposed 676 unit concept, it is our understanding that any public safety concerns relating to flood susceptibility have been adequately addressed. As such, the requested variance is considered to be in keeping with the general purpose and intent of Section 5.6.3.3(a)(ii) of the Downtown Brampton Secondary Plan and the City of Brampton Official Plan as a whole.

Variance No. 2 – Maximum Floorplate Area

Policy 3.1.1.39(c) of the City of Brampton Draft Official Plan establishes a maximum tower floorplate area of 800 m² to ensure that an adequate separation distance is achieved (at least 25 metres) between towers, to allow for privacy, light, and sky views. As the two (2) proposed 29-storey towers have a floorplate area of 800 m² and maintain a separation distance of 25 metres between each, the requested variance is considered to be in keeping with the general purpose and intent of the City of Brampton Official Plan.

Further, the subject lands are located within the Conceptual Urban Growth Centre in the Region of Peel Official Plan. According to Section 5.6.18 of the Plan, lands within this designation are intended to accommodate intensification through compact built forms of urban development and redevelopment and act as focal areas for investment in region-wide services and infrastructure. In accordance with this objective, Section 5.3.3.1.4 of the Regional Official Plan states that each urban growth centre is intended to achieve a minimum gross density target of 200 residents and jobs combined per hectare by 2031 or earlier. The subject lands are also designated 'Mixed Use District' as identified on Schedule 5 – Designations of the City of Brampton Draft Official Plan. As per Policy 2.1.32, lands within this designation are also classified as Major Transit Station Areas (MTSAs) to provide appropriate use, form, and intensity requirements. According to Policy 2.2.49 (c), this designation is also intended to meet or exceed the minimum transit-supportive density targets established in Part 2.1 of the Plan; being 200 persons and jobs per hectare for the Downtown Urban Growth Centre. Additionally, Section 5.6.3.3 (a) – Special Policy Area 3A of the Downtown Brampton Secondary Plan indicates that this area is intended to evolve into a high-density, compact, contemporary urban setting with a mix of uses and potential for more intensive development to support Urban Growth Centre targets. As such, the requested variances are in keeping with the purpose and intent of the City of Brampton Draft Official Plan, the Downtown Brampton Secondary Plan, and the Region of Peel Official Plan, as they will aid both the City and Region in achieving their prescribed growth and intensification objectives.

Through consideration of the above, it is determined that the proposed variances satisfy the four tests outlined in Section 45(1) of the *Planning Act* as the relief requested is minor in nature, is desirable for the appropriate development of the lands, and meets the general intent and purpose of the Official Plan and Zoning By-law.


In support of this Minor Variance application, please find enclosed the following:

- One (1) copy of the completed and signed Minor Variance application form;
- One (1) copy of the Minor Variance Sketch prepared by UrbanSolutions
- One (1) cheque in the amount of **\$2,662.00** made payable to the City of Brampton.

We trust the enclosed is satisfactory and thank you in advance for your co-operation. If you need additional information or clarification regarding the above, please do not hesitate to contact the undersigned.

Regards,

UrbanSolutions


Matt Johnston, MCIP, RPP
Principal



Matthew LeBlanc, M.PL, BA (Hons)
Planner

cc: Rose Garden Nominee Inc. (via email)



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Rose Garden Nominee Inc.
Address 25 Imperial Street
Toronto, ON
L8L 1B9
Phone # (416) 258-4340 **Fax #** _____
Email asalomon@thehi-risegroup.com

2. **Name of Agent** UrbanSolutions Planning & Land Development Consultants Inc.
Address 3 Studebaker Place, Unit 1
Hamilton, ON
L8L 0C8
Phone # (905) 546-1087 **Fax #** _____
Email mjohnston@urbansolutions.info

3. **Nature and extent of relief applied for (variances requested):**
To bring the development, as proposed via SPA-2021-0269, into conformity with the site specific DC(H)-Section 2967 Zone, the following
variances are required:
Variance No. 1: To permit a maximum of 676 dwelling units on the subject lands whereas a maximum of 590 is currently permitted
Variance No. 2: To permit a maximum Floor Plate Area of 2,800 square metres for floors one (1) to six (6) whereas a maximum size of
800 square metres is currently permitted.

4. **Why is it not possible to comply with the provisions of the by-law?**
Variance No. 1: It is not possible to comply with the zoning provision relating to maximum unit count because the approved site-specific
Zoning By-law was not based on a development concept, but a modification to an initial request which contemplated 3 towers. Now, with
an actual development concept via SP-2021-0269, modifications to the By-law are required
Variance No. 2: It is not possible to comply with the zoning provision relating to maximum floor plate area as the wording of the site
specific zoning regulation does not account for a podium element.

5. **Legal Description of the subject land:**
Lot Number PARTS OF LOTS 49, 50, 51, 52, 57, 58, 59, 65, & 86 AND ALL LOTS 53 & 54 ON PLAN OF PART THE WEST HALF
OF LOT 5, CONCESSION 1 EAST OF HURONTARIO STREET PLAN BR-2, CITY OF BRAMPTON
Plan Number/Concession Number PL BR2
Municipal Address 122-130 Main Street North, 6 & 7 Nelson Street East, 7 & 11 Church Street East

6. **Dimension of subject land (in metric units)**
Frontage +/- 46.207 metres (Main Street North)
Depth +/- 119.237 metres
Area 8,686.12 square metres

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

Please note that buildings are labeled as they are shown on the enclosed Topographic Survey Plan

EXISTING BUILDINGS/STRUCTURES on the subject land:

2 STOREY BRICK BUILDING No. 7:	109.90 square metres
1 1/2 STOREY METAL-SIDED DWELLING No. 11:	87.19 square metres
1 STOREY STUCCO BUILDING No. 122-128:	750.86 square metres
1 STOREY CONCRETE BLOCK BUILDING No. 10:	243.78 square metres
1 STOREY CONCRETE BLOCK BUILDING No. 6:	260.47 square metres
1 STOREY CONCRETE BLOCK BUILDING:	78.68 square metres

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Stacked Townhouses:	572.4 square metres
Residential (29-storey Towers and 6-storey Podium):	43,886.4 square metres
Commercial:	455 square metres
Office:	2,237 square metres
Please refer to the enclosed Minor Variance Sketch prepared by UrbanSolutions for more information.	

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	+/- 1.657 metres (122-130 Main Street North)
Rear yard setback	+/- 0.274 metres (10 Nelson Street East Accessory Structure)
Side yard setback	+/- 2.469 metres (6 Nelson Street East)
Side yard setback	+/- 2.536 metres (7 Church Street East)

PROPOSED

Front yard setback	+/- 7.0 metres (to proposed podium - Main Street North)
Rear yard setback	+/- 12.5 metres (abutting Commercial Zone), +/- 27 metres to podium (abutting Residential Zone).
Side yard setback	+/- 3.0 metres (interior side yard setback to proposed podium - abutting Commercial Zone), +/- 12.5 metres to tower (abutting Commercial Zone), +/- 15 metres abutting Residential Zone (at angle to property line).
Side yard setback	+/- 15.0 metres (Exterior Side Yard Setback - Nelson Street East).

Please refer to the enclosed Minor Variance Sketch and Topographic Survey for more information.

10. Date of Acquisition of subject land: April 12, 2021
11. Existing uses of subject property: Commercial Plaza
12. Proposed uses of subject property: Two 29-storey Mixed-use Buildings
13. Existing uses of abutting properties: Residential/Commercial
14. Date of construction of all buildings & structures on subject land: 122-130 Main Street North - Mid 1920's
7 Church Street East - 1890's
All other buildings - unknown
15. Length of time the existing uses of the subject property have been continued: 122-130 Main St N: +/- 100 years
7 Church St E: +/- 130 years
All other buildings - unknown

16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

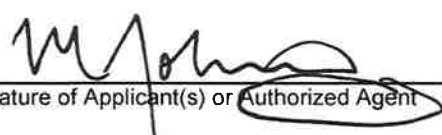
Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____


Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ City _____ OF _____ Hamilton _____

THIS 8th DAY OF February, 20 23.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Matt Johnston, OF THE City OF Hamilton

IN THE Province OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.


DECLARED BEFORE ME AT THE

City OF Hamilton

IN THE Province OF

Ontario THIS 8th DAY OF

February, 20 23.


Signature of Applicant or Authorized Agent


A Commissioner etc.

Laura Leigh Drennan, a Commissioner,
etc., Province of Ontario, for
UrbanSolutions Planning & Land
Development Consultants Inc.
Expires January 13, 2026.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

DC(H) - 2967

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

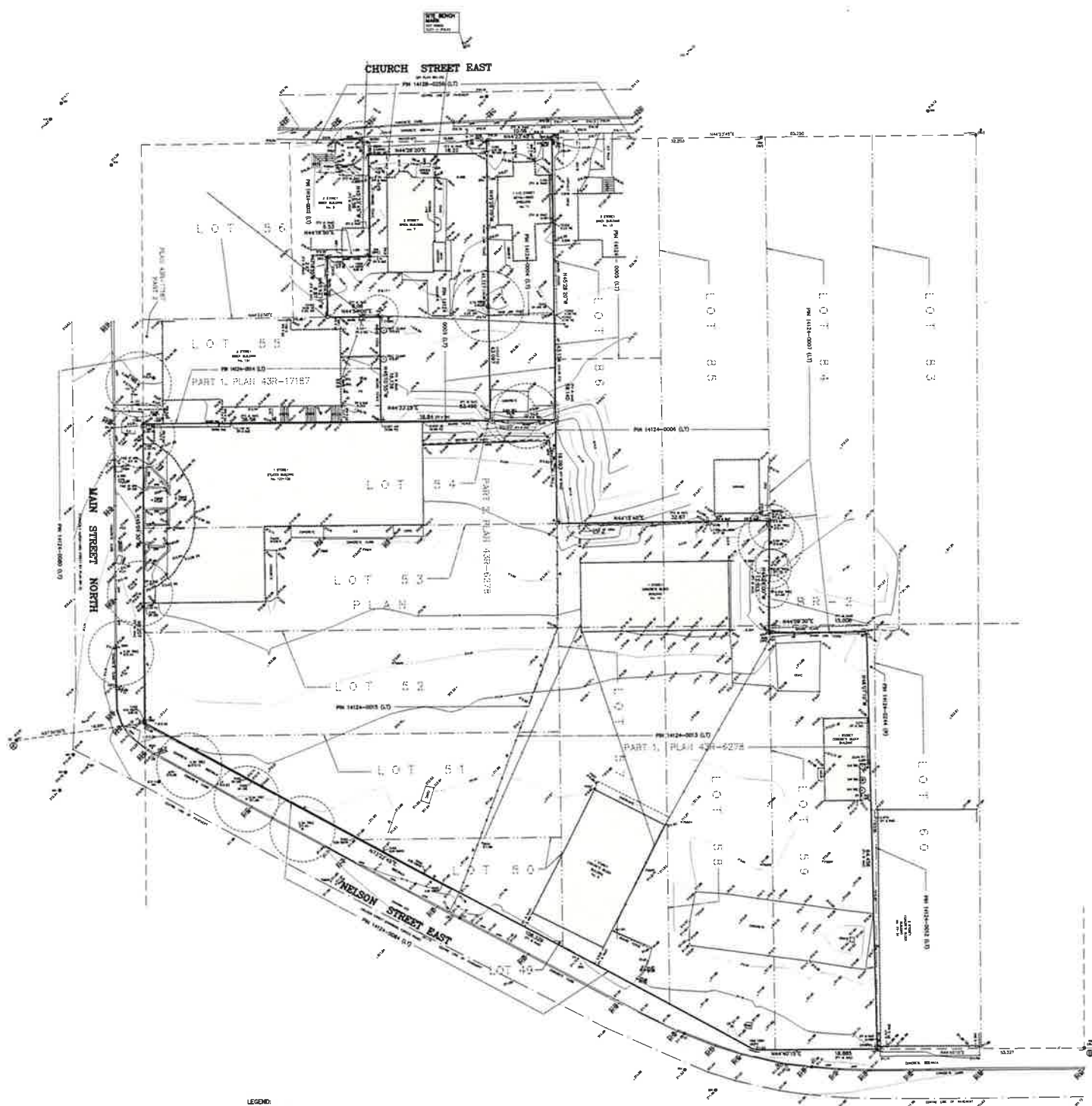
February 16, 2023

Date

DATE RECEIVED _____

Revised 2023/01/12

**SURVEYOR'S REAL PROPERTY REPORT
(PART 2)**
PART OF LOT 64, SEC. 33, T. 121,
R. 34, S. 17, 38, 39, 40 AND 41
AND ALL OF
LOT 33 AND 34
REGISTERED PLAIN-BOND
AS ILLUSTRATED ON THE PLAN.
THIS PLAN DOES NOT CERTIFY COMPLIANCE
WITH ZONING BY-LAWS.
THIS PLAN WAS PREPARED FOR
THE M-FINE GROUP OF COMPANIES



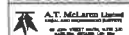
INTEGRATION DATA

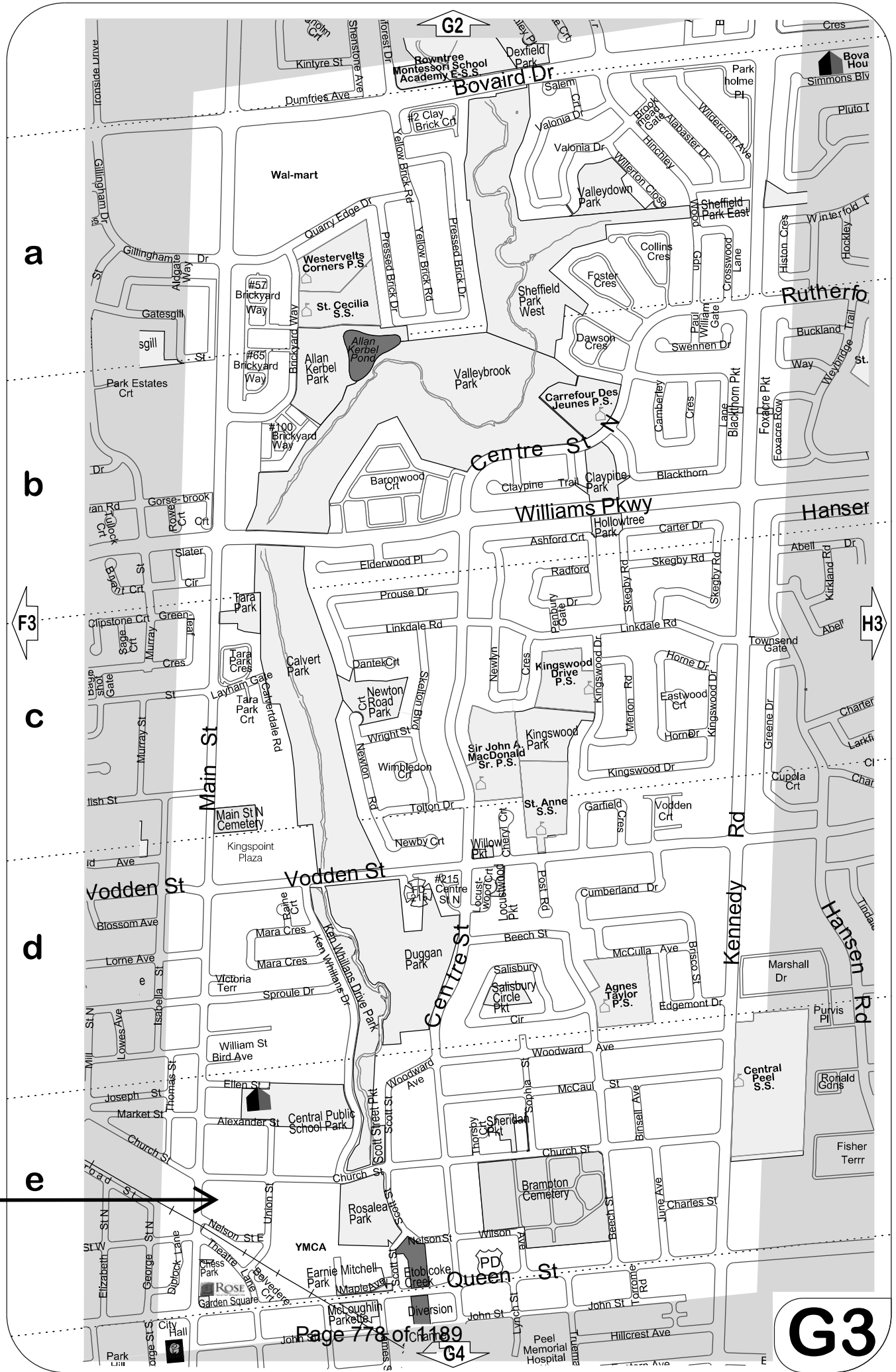
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1	10/1/2011	10/1/2011
2	10/1/2011	10/1/2011
3	10/1/2011	10/1/2011
4	10/1/2011	10/1/2011
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91	10/1/2011	10/1/2011

[illegible]

METRIC NOTE:
DISTANCE AND COOL-
SHIPPING ON THIS PLAN
METRES AND CAN BE
CONVERTED TO FEET
BY DIVIDING BY 0.30

SURVEYOR'S CERTIFICATE:





APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **PARTH SHAH AND HINAL PARTH SHAH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 65, Plan M-1114, Part 16, Plan 43R-20429 municipally known as **4 RAIN LILY LANE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance on a lot containing a quattroplex whereas the by-law only permits a below grade entrance in a single detached, semi detached or townhouse dwelling;
2. To permit a side yard setback of 1.29m (4.23 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

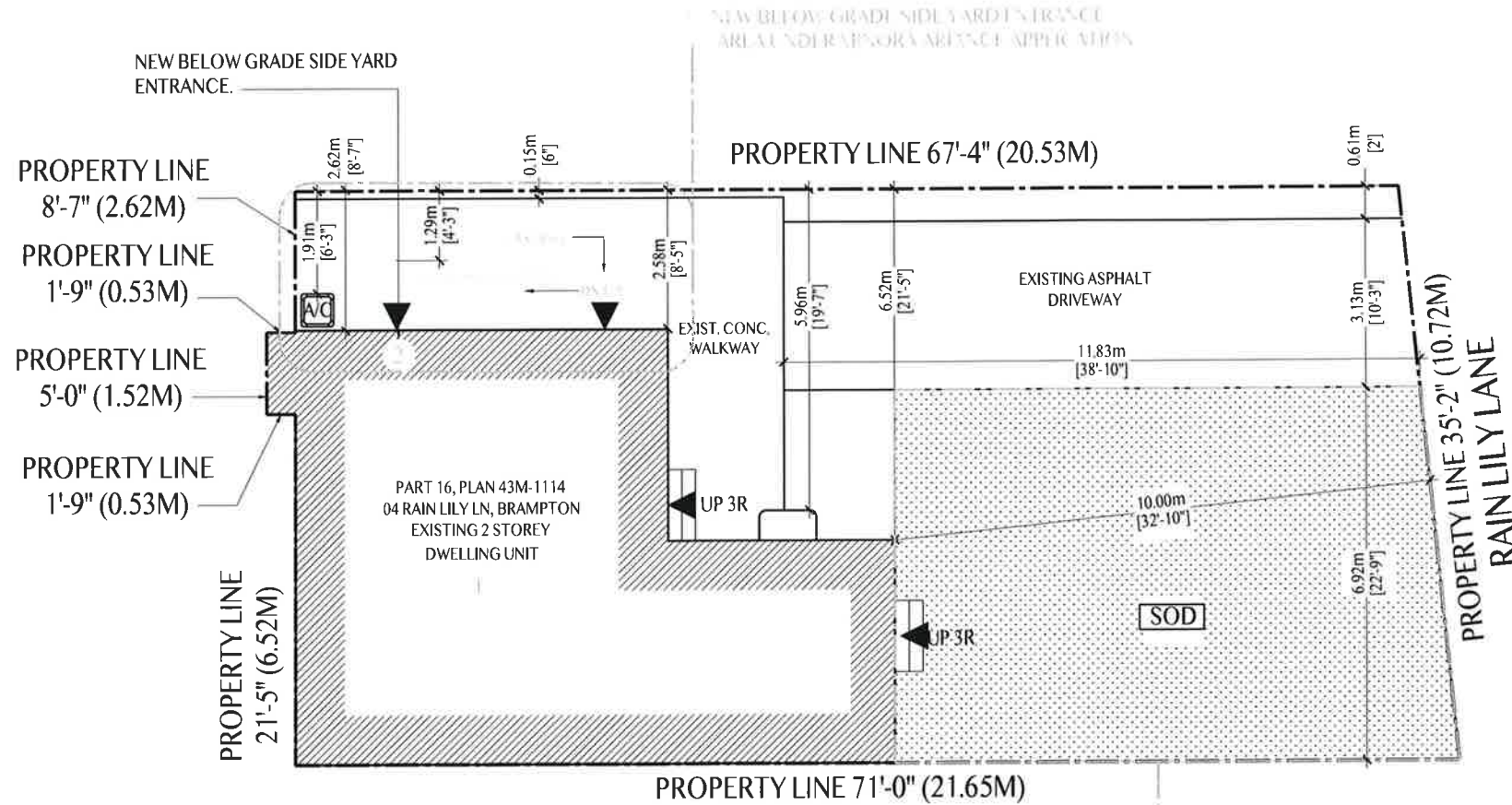
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

A -	
EXISTING MAIN FLOOR AREA	: 806.68 SFT / 74.97 M ²
EXISTING SECOND FLOOR AREA	: 806.68 SFT / 74.97 M ²
TOTAL GFA	: 1,613.36 SFT / 149.94 M ²
B -	
EXISTING BASEMENT	
BASEMENT FINISHED AREA GFA	: 628.74 SFT / 58.43 M ²
BASEMENT UNFINISHED AREA GFA	: 00.00 SFT / 00.00 M ²
TOTAL GFA	: 628.74 SFT / 58.43 M ²

GENERAL NOTES:

- 1. EXISTING REMAINS THE PROPERTY OF SHAFER INC. THESE PLANS, DESIGN AND SPECIFICATIONS ARE THE PROPERTY OF SHAFER INC. AND MUST NOT BE REPRODUCED, COPIED OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE FIRM.
- 2. THE OWNER SHALL VERIFY THAT ALL CONSTRUCTION IS IN ACCORDANCE WITH THE INFORMATION PROVIDED ON THESE DRAWINGS AND THAT ANY AT-RISK WORK, WITH SPECIFICALLY DETAILLED DEPARTMENTS, BE DISCUSSED TO THE SAME QUALITY & SAME STANDARDS THAT ARE SPECIFIED FOR SIMILAR WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT CANADIAN BUILDING CODE & RESPECTIVE CITY ZONING BY-LAWS AND STANDARDS.
- 3. WRITTEN CONSTRUCTION AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALE DRAWINGS AND GENERAL NOTES. THE DESIGNER SHALL BE RESPONSIBLE FOR CLARIFYING THE SITE CONDITIONS. DISCREPANCIES OR DISAGREEMENTS ARE SETTLED BY THE PLANS OR NOTES. IN A CONTRACTOR'S CASE, THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN. THE PLANS OR NOTES SHALL BE THE FINAL AUTHORITY. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN. THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN.

No.	Date	Revision/Issued
00	2023/01/05	Schematic Design
01	2023/02/25	Rev. Application

Consultants

SHAFER

BUILDING FOR FUTURE

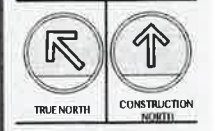
Permit Drawings | Construction | Project Management | Developments

126 Burnhamthorpe Rd. East | Unit A | Oakville | ON | L6H 0X9

m: 647.471.7441

e: info@shafereinc.com

www.shafereinc.com



Scale

Project Title:

FINISHED BASEMENT

Project Address:

04 Rain Lily Ln,
Brampton

Drawing title:

SITE PLAN

Project:

22-240

Scale:

1/8" = 1'-0"

Drawn	Checked
AK	YK

Drawing number:

A-01

Date Modified

FEB 25, 2023

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

March 14, 2023

To: Committee of Adjustment

**RE: PARTH SHAH AND HINAL PARTH SHAH
PART OF LOT 65, PLAN M-1114
PART 16, PLAN 43R-20429
A-2023-0051 – 4 RAIN LILY LANE**

Please **amend** application **A-2023-0051** to reflect the following:

1. To permit a below grade entrance on a lot containing a quattroplex whereas the by-law only permits a below grade entrance in a single detached, semi detached or townhouse dwelling;
2. To permit a side yard setback of 1.29m (4.23 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.).



DATED: Mar 15, 2023.

Applicant/Authorized Agent

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

PARTH SHAH & HINAL PARTH SHAH

Address

04 RAIN LILY LANE, BRAMPTON, ON L6R 1S2

Phone #

+1.647.717.8136

Fax #

Email

shahparthk1989@gmail.com
2.

Name of Agent

Salman Ellahi

Address

126 BURNHAMTHORPE ROAD EAST, OAKVILLE, L6H 0X9

Phone #

647 471 7441

Fax #

Email

salman@shafeinc.com
3.

Nature and extent of relief applied for (variances requested):

To create a below grade entrance in right side yard where set back of 1.8 required as per by law. we have only 1.2 m set back.
4.

Why is it not possible to comply with the provisions of the by-law?

In current zoning by laws below grade side yard is allowed with 1.8M set back. we have only 1.29 m set back.
5.

Legal Description of the subject land:

Lot Number

65

Plan Number/Concession Number

43M - 1114 RP 43R20429 PART 16

Municipal Address

04 RAIN LILY LANE, BRAMPTON, ON L6R 1S2
6.

Dimension of subject land (in metric units)

Frontage

10.72 M

Depth

21.65 M & 20.53

Area

225.64 SM
7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 Storey quattroplex Dwelling unit

Basement Area: 54.43 SM

Main Floor Area: 74.97 SM

Second Floor Area: 74.97 SM

Total for Floors Above Grade: 149.94 SM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

- single-Unit Dwelling Unit quattroplex

- below grade side yard entrance. entrance and exit for a finished basement.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 10.0 M

Rear yard setback N/A

Side yard setback N/A (left side)

Side yard setback 2.58 (right side)

PROPOSED

Front yard setback No Change in setback.

Rear yard setback No Change

Side yard setback No Change (left side)

Side yard setback 1.29 (right side)

10. Date of Acquisition of subject land: year 2017
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1994
15. Length of time the existing uses of the subject property have been continued: 29 year

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ City _____ OF _____ Brampton _____

THIS 26 DAY OF February, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Salman Ellahi, OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 28TH DAY OF February, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

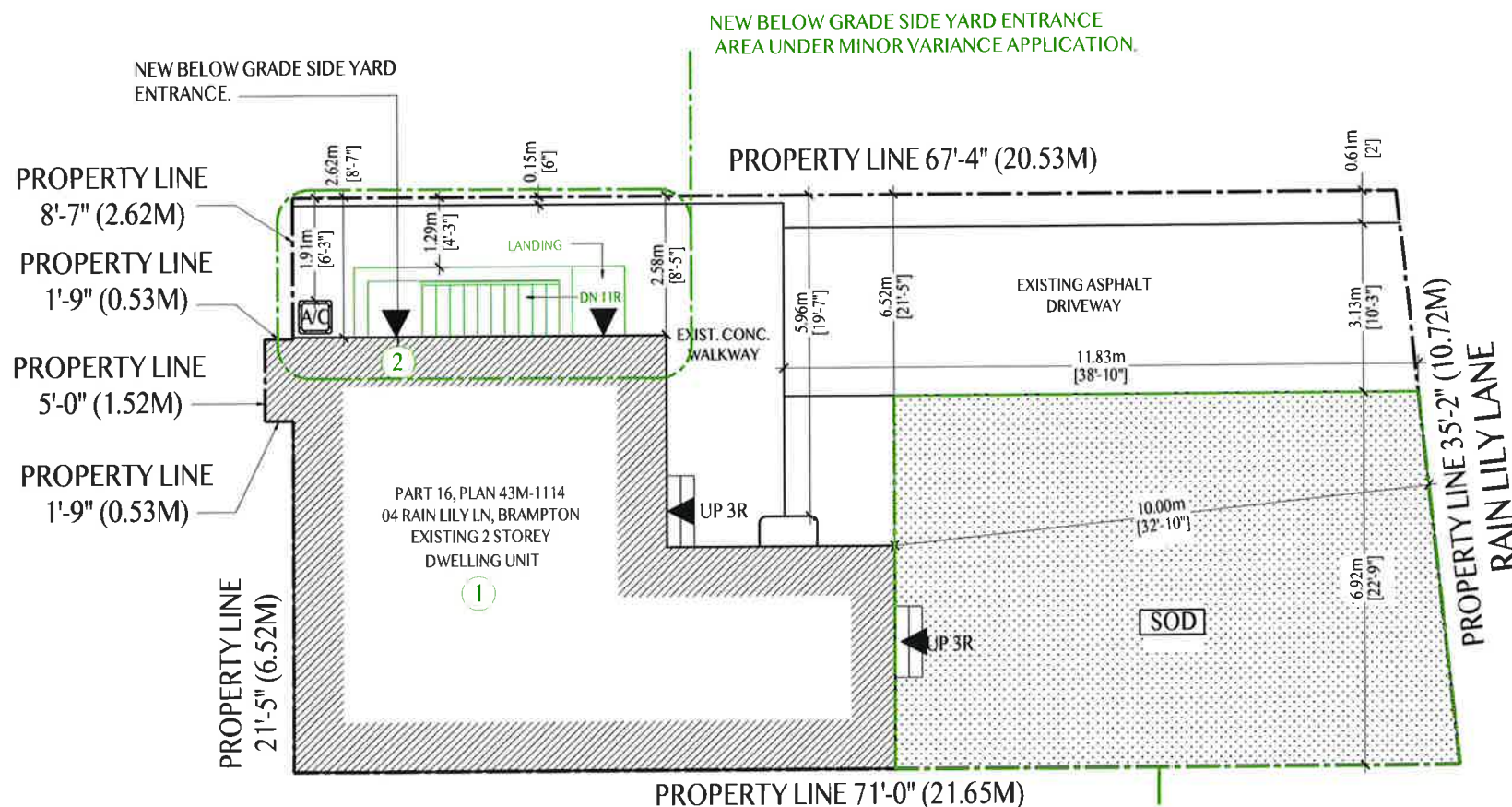
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

February 28, 2023



AREA STATISTICS

GROSS FLOOR AREA CALCULATIONS

A -	
EXISTING MAIN FLOOR AREA	: 806.68 SFT / 74.97 M ²
EXISTING SECOND FLOOR AREA	: 806.68 SFT / 74.97 M ²
TOTAL GFA	: 1,613.36 SFT / 149.94 M ²
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EXISTING BASEMENT	
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BASEMENT UNFINISHED AREA GFA	: 00.00 SFT / 00.00 M ²
TOTAL GFA	: 628.74 SFT / 58.43 M ²

SCOPE OF WORK

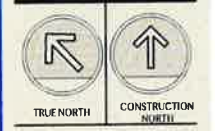
- ① FINISHED BASEMENT
- ② NEW BELOW GRADE SIDE YARD ENTRANCE

▲ ENTRANCE & EGRESS
 NOTE: EXISTING GRADE REMAINS AS IS

GENERAL NOTES:
 * COPYRIGHT REMAINS THE PROPERTY OF SHAFTE. THESE PLANS DESIGN AND INTELLECTUAL CONTENT ARE SOLELY THE PROPERTY OF SHAFTE. ANY REUSE OR REPRODUCTION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF SHAFTE IS PROHIBITED.
 * THE OWNER SHALL VERIFY THAT ALL CONDITIONS ARE CONSISTENT WITH THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE ANY CONSTRUCTION BEGINS. SHAFTE SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS IN THE PLANS OR FOR ANY DAMAGE TO THE PROPERTY OR PERSONS ARISING FROM THE USE OF THESE PLANS.
 * ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF BRAMPTON BUILDING CODE AND RESPECTIVE CITY BY-LAWS.
 * SHAFTE INC. 2023 FEB 25

No	Date	Revision/Issued
00	2023.01.01	Schematic Design
01	2023.02.25	REV Application

Consultants
SHAFTE
 BUILDING FOR FUTURE
 Permit Drawings | Construction | Project Management | Developments
 126 Burnhamthorpe Rd East | Unit A | Oakville | ON | L6H 0X9
 m: 647.471.7441
 e: info@shafteinc.com
 www.shafteinc.com



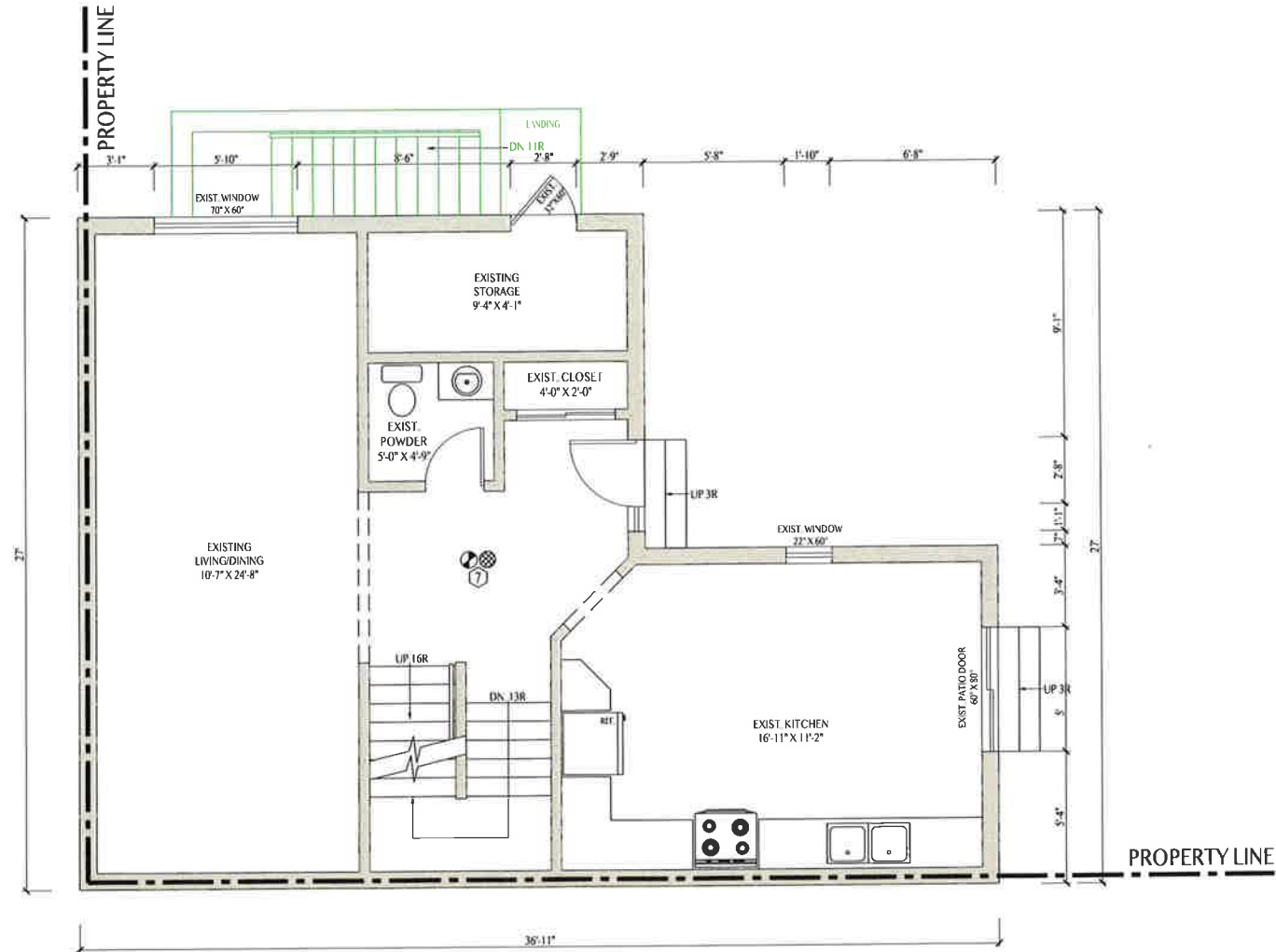
Seal

Project Title:
FINISHED BASEMENT
 Project Address:
 04 Rain Lily Ln,
 Brampton
 Drawing title:

SITE PLAN

Project:
 22-240
 Scale:
 1/8" = 1'-0"
 Drawn
 AK
 Checked
 YK
 Drawing number:

A-01
 Date Modified
 FEB 25, 2023



LEGEND:

- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS REFER TO G-01 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING COLUMNS

MAIN FLOOR PLAN

(FOR REFERENCE ONLY)

GROSS FLOOR AREA = 812.16 SFT / 75.47 M²
CEILING HEIGHT = 8'-10"

PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.

GENERAL NOTES:
COPYRIGHT REMAINS THE PROPERTY OF SHAFER INC. THESE PLANS, SPECIFICATIONS, AND SCHEDULES ARE THE PROPERTY OF SHAFER INC. AND MUST NOT BE REPRODUCED, COPIED, OR OTHERWISE COWED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
THESE PLANS, SPECIFICATIONS, AND SCHEDULES ARE FOR INFORMATION ONLY. THEY DO NOT CONSTITUTE A CONTRACT. THE CONTRACT SHALL BE THE BASIS OF THE WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE AND RESPECTIVE CITY, PROVINCIAL AND STANDARDS.
WHEN FOR INFORMATION AND SPECIFIC WATER SUPPLY, THESE PLANS, SPECIFICATIONS, AND SCHEDULES ARE FOR INFORMATION ONLY. THEY DO NOT CONSTITUTE A CONTRACT. THE CONTRACT SHALL BE THE BASIS OF THE WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CANADIAN NATIONAL BUILDING CODE AND RESPECTIVE CITY, PROVINCIAL AND STANDARDS.

No.	Date	Revision/Issued
01	2023.01.05	Schematic Design
02	2023.02.25	Rev. Application

Consultants
SHAFER
BUILDING FOR FUTURE
Permit Drawings | Construction |
Project Management |
Developments
126 Burnhamthorpe Rd. East |
Unit A | Oakville | ON | L6H 0X9
m: 647.471.7441
e: info@shafefinc.com
www.shafefinc.com

Seal

Project Title:
**FINISHED
BASEMENT**

Project Address:
04 Rain Lily Ln,
Brampton

Drawing title:
**MAIN FLOOR
PLAN**

Project:
22-240

Scale:
3/16" = 1'-0"

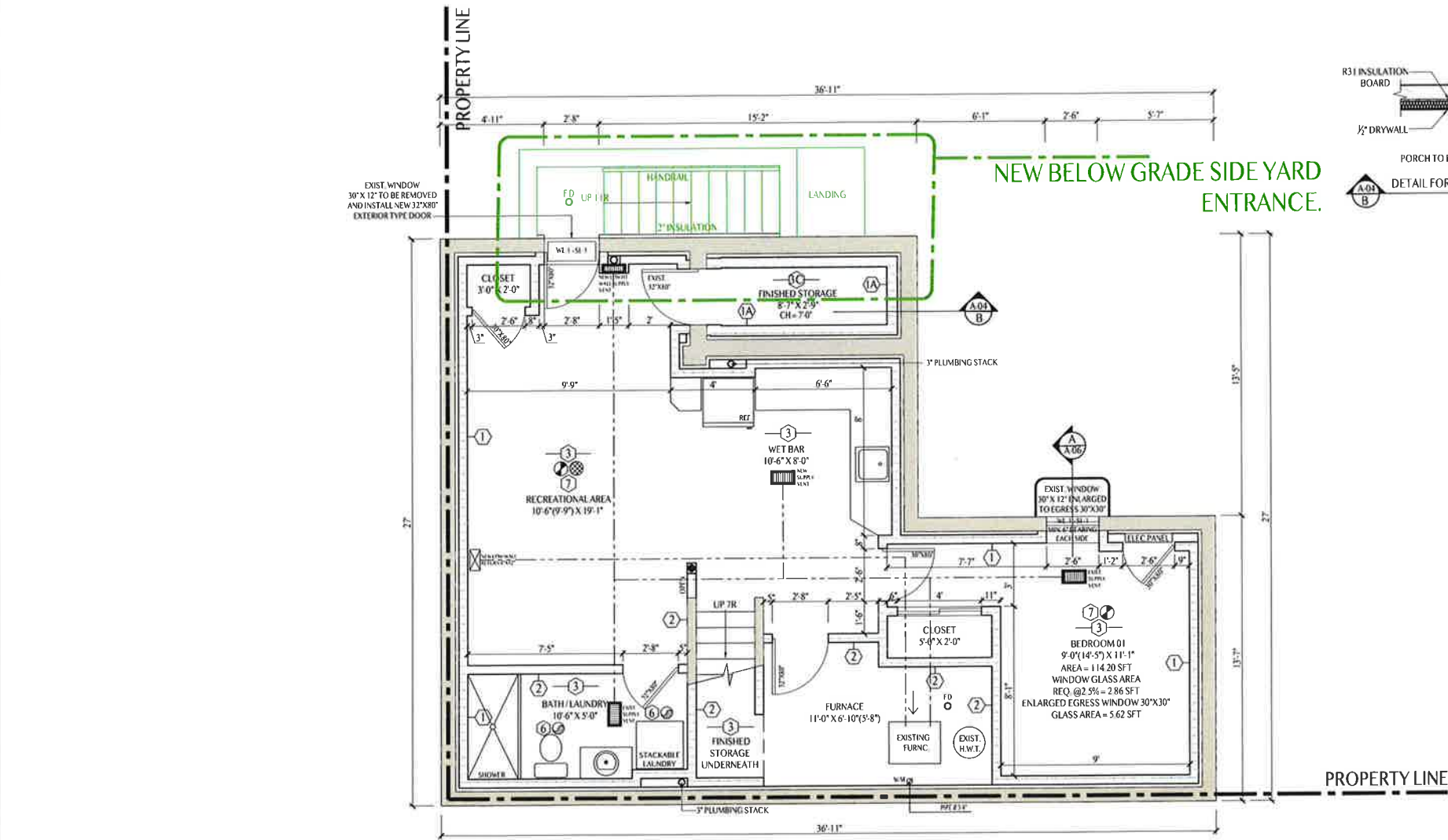
Drawn
AK
Checked
YK

Drawing number:

A-02

Date Modified
FEB 25, 2023

11x17



7

PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.

GENERAL NOTES

COPYRIGHT REMAINS THE PROPERTY OF SHAFER INC. THE SE PLANS DESIGN AND REFLECTS ALL CURRENT AND STATED THE PROPERTY OF SHAFER INC. AND MUST NOT BE REPRODUCED, COPIED, OR OTHERWISE CAPTURED WITHOUT THE WRITTEN CONSENT OF SHAFER INC.

THE BUILDER SHALL VERIFY THAT ALL CONDITIONS ARE AS SHOWN IN THESE DRAWINGS BEFORE CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO SHAFER INC. IMMEDIATELY. SHAFER INC. SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF BRAMPTON, ONTARIO, CANADA, AND THE NATIONAL BUILDING CODE OF CANADA (NBC).

SHAFER INC. SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BASEMENT. THE BUILDER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BASEMENT. SHAFER INC. SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BASEMENT.

No	Date	Revision/Issued
00	2023/01/05	Submittal Design
01	2023/02/25	After Application

Consultants

SHAFER

BUILDING FOR FUTURE

Permit Drawings | Construction | Project Management | Developments

126 Burnhamthorpe Rd. East | Unit A1 | Oakville | ON | L6H 0X9 | m: 647.471.7441 | e: info@shafinc.com | www.shafinc.com

Seal

Project Title:
FINISHED BASEMENT

Project Address:
04 Rain Lily Ln, Brampton

Drawing title:
PROPOSED BASEMENT PLAN

Project:
22-240

Scale:
3/16" = 1'-0"

Drawn
AK

Checked
YK

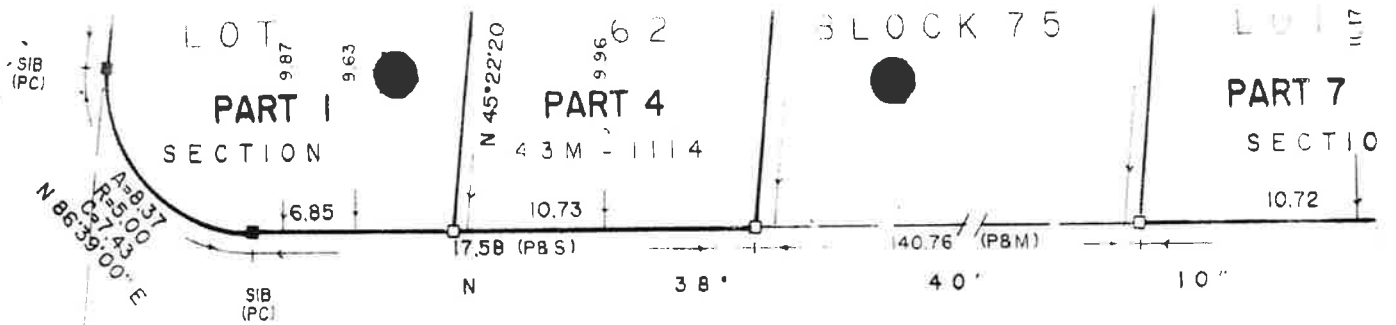
Drawing number:
A-04

Date Modified
FEB 25, 2023

WINDOW AREA ALLOWED: 14%



Date Modified
FEB 25, 2023



BISON RUN ROAD
 (DEDICATED BY REGISTERED PLAN 43M-1114)
 PARCEL STREETS AND STREET WIDENING - I SECTION



RAIN LILY LANE
 (DEDICATED BY REGISTERED PLAN 43M-1114)
 PARCEL STREETS AND STREET WIDENING - I SECTION 43M 111

**DOCUMENTS RELEASED PURSUANT TO A REQUEST
 UNDER THE
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 PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56**

**COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
 USE AND REPRODUCTION OF THESE DOCUMENTS**

SURVEYOR'S COPY

PLAN 43R-20429

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE JUNE 15, 1994

David A. Black

DAVID A. BLACK
ONTARIO LAND SURVEYOR

RECEIVED AND DEPOSITED

DATE June 15, 1994

Mark C. Hyde
LAND REGISTRAR FOR THE
LAND TITLES DIVISION OF
PEEL (N° 43)

PARTS 1,2,3,4,25 AND 26 - ALL OF PARCEL 62 - I SECTION 43M - III4
PARTS 5,6,7,8,27 AND 28 - ALL OF PARCEL 63 - I SECTION 43M - III4
PARTS 9,10,11,12,29 AND 30 - ALL OF PARCEL 64 - I SECTION 43M - III4
PARTS 13,14,15,16,31 AND 32 - ALL OF PARCEL 65 - I SECTION 43M - III4
PARTS 17,18,19,20,33 AND 34 - ALL OF PARCEL 73 - I SECTION 43M - III4
PARTS 21,22,23,24,35 AND 36 - ALL OF PARCEL 74 - I SECTION 43M - III4

DESCENT
43M - III4)
SECTION 43M - III4

65-92

PLAN OF SURVEY OF
LOTS 62,63,64,65,73 AND 74
REGISTERED PLAN 43M - III4
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 250
5m 0 5 10 15m

J. D. BARNES LIMITED
1994

DOCUMENTS RELEASED PURSUANT TO A REQUEST
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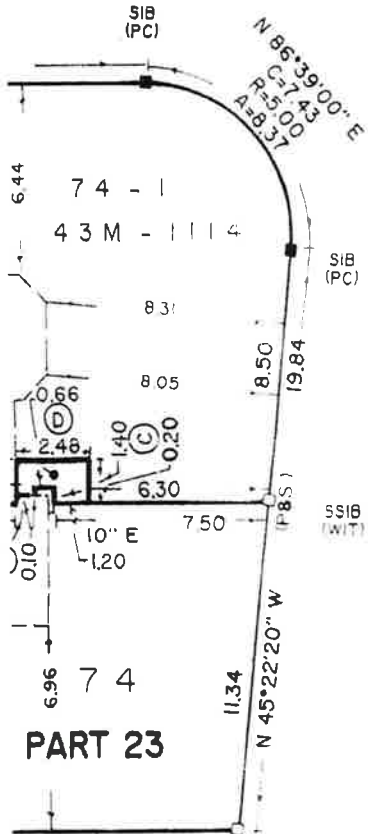
METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES:

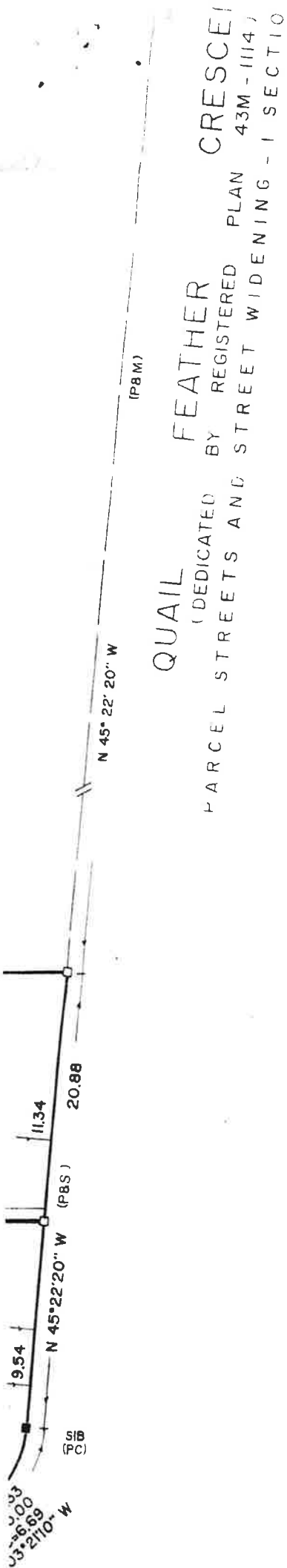
BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE
NORTHEASTERLY LIMIT OF POPPY BLOOM AVENUE AS SHOWN ON
REGISTERED PLAN 43M - III4, HAVING A BEARING OF N 45° 22' 20" W.

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- SB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- WIT DENOTES WITNESS
- PC DENOTES POINT OF CURVATURE
- DUC DENOTES DWELLING UNDER CONSTRUCTION
- F DENOTES FOUNDATION WALL
- DENOTES CENTRELINE OF FOUNDATION WALL



CRESCENT

REGISTERED PLAN 43M - III4)
STREET WIDENING - I SECTION 43M - III4



BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE
EASTHEASTERLY LIMIT OF POPPY BLOOM AS SHOWN ON
REGISTERED PLAN 43M - 1114, HAVING A BEARING OF N 45° 22' 20" W.

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- SB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- WIT DENOTES WITNESS
- PC DENOTES POINT OF CURVATURE
- DUC DENOTES DWELLING UNDER CONSTRUCTION
- F DENOTES FACE OF FOUNDATION WALL
- C DENOTES CENTRELINE OF FOUNDATION WALL
- CFW DENOTES CONCRETE FOUNDATION WALL
- PBS DENOTES REGISTERED PLAN 43M - 1114 AND SET
- PBM DENOTES REGISTERED PLAN 43M - 1114 AND MEASURED
- DENOTES BEARING

PLANTED MONUMENTS ARE IRON BARS UNLESS SHOWN OTHERWISE.
FOUND MONUMENTS SET BY MARSHALL MACKLIN MONAGHAN ONTARIO LIMITED
UNLESS SHOWN OTHERWISE.

CAUTION THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN
THE MEANING OF THE PLANNING ACT.

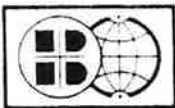
SURVEYOR'S CERTIFICATE

I CERTIFY THAT

- 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS
ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE THEREUNDER.
- 2 THE SURVEY WAS COMPLETED ON THE 20th DAY OF MAY, 1994.

DATE JUNE 13, 1994

David A. Black
DAVID A. BLACK
ONTARIO LAND SURVEYOR



J.D. BARNES
LIMITED

SURVEYING MAPPING
LAND INFORMATION SERVICES

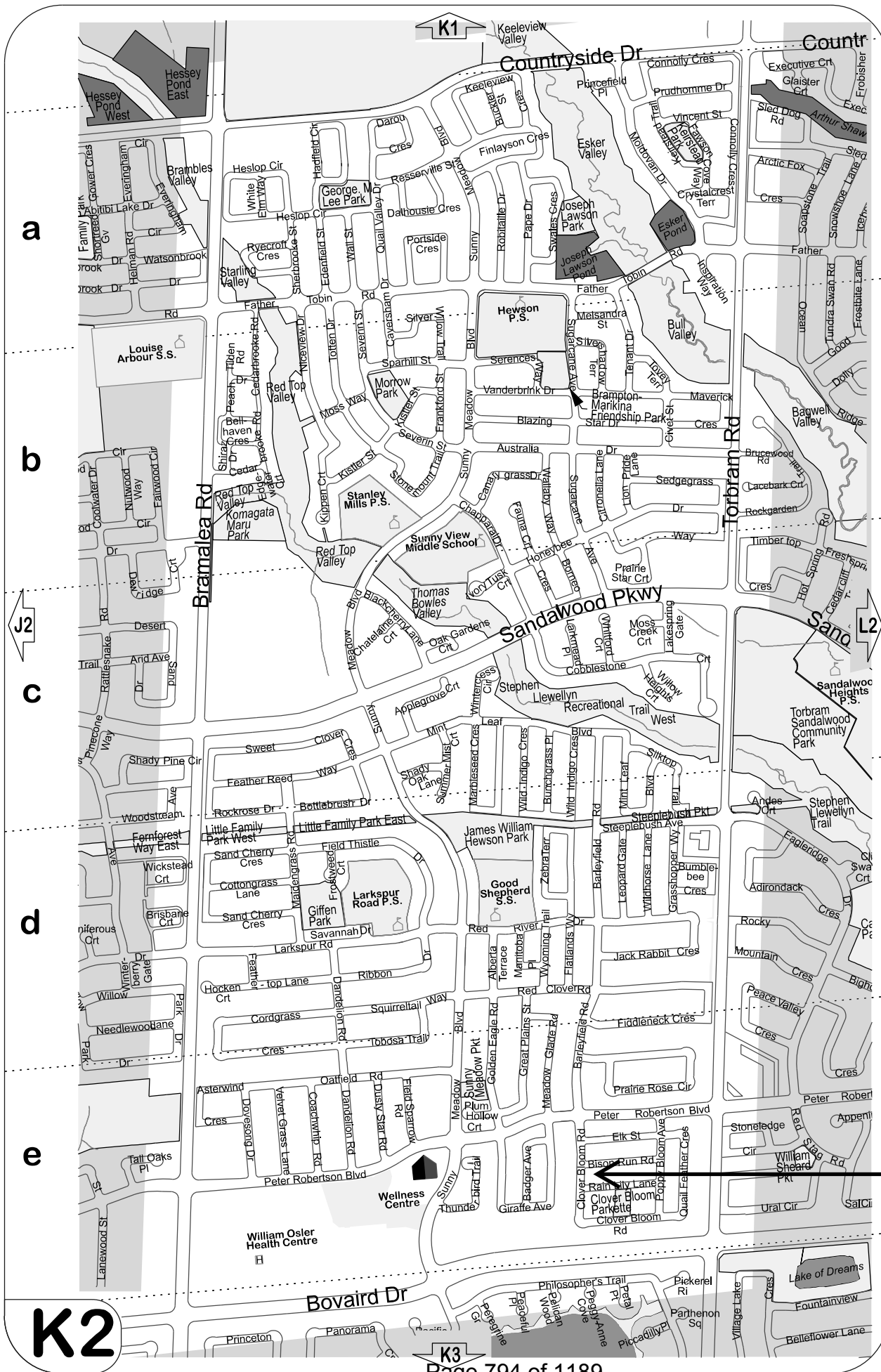
OFFICE OF ORIGIN
450 BRITANNIA ROAD EAST, SUITE 450B
MISSISSAUGA, ONTARIO L4Z 1X9
TELEPHONE (905) 507 - 6767
FAX (905) 507-6977

DRAWN BY W.J

CHECKED BY DB

REFERENCE NO.:
94-28-986-00-A

DOCUMENTS RELEASED PURSUANT TO A REQUEST
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A-2023-0051



APPLICATION # A-2023-0052

WARD #6

WHEREAS an application for minor variance has been made by **MAANVIR SINGH SIDHU, SHELJA SHARMA AND KARANVIR SINGH SIDHU** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 112, Plan M-1600, Part 14, Plan 43R-29149 municipally known as **29 KEATS TERRACE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit a below grade entrance in the required interior side yard;
2. To permit an interior side yard setback of 0.03m (0.10 ft.) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

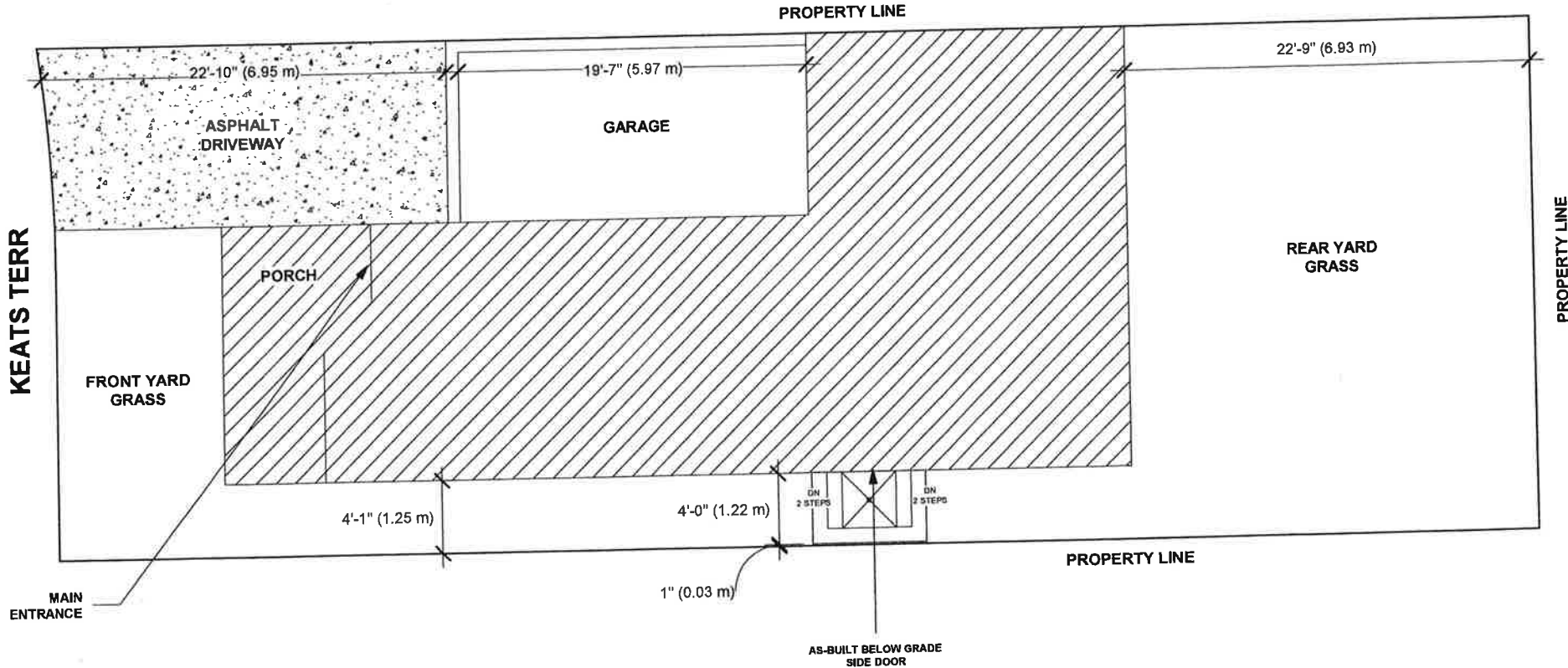
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

LOT : 112R
29 KEATS TERR
2 STOREY DETACHED HOUSE

MINOR VARIANCE

- TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD
- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.03M (0.09 FT.) WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.);



SITE PLAN

STAMP	
01 ISSUED FOR VARIANCE FEB 15/23	
ADDRESS 29 KEATS TERR, BRAMPTON, ON	
DRAWN BY: NK	CHECKED BY: JB
PROJECT NUMBER: 23R-27249	
NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY BRAMPTON, ON UNIT 19 (437)-888-1800	
DATE: FEB 15/23	DWG. NO. A-1
SCALE: 1 : 80	

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) MAANVIR SINGH SIDHU, SHELJA SHARMA AND KARANVIR SINGH SIDHU

Address 29 KEATS TERR. BRAMPTON, ON. L7A 3N1

Phone # 514-297-5421 Fax #

Email MAANVIR2611@GMAIL.COM

2. Name of Agent NAVPREET KAUR

Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON. L6S 5Z4

Phone # 437-868-1800 Fax #

Email applications@nobleltd.ca

3. Nature and extent of relief applied for (variances requested):

-TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD

-TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.03M (0.09 FT.) WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.);

4. Why is it not possible to comply with the provisions of the by-law?

-THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD WHEREAS A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD IS PROPOSED.

-THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.) WHEREAS A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING

5. Legal Description of the subject land:

Lot Number 112R

Plan Number/Concession Number M1600

Municipal Address 29 KEATS TERR, BRAMPTON, ON, L7A 3N1

6. Dimension of subject land (in metric units)

Frontage 8.79M

Depth 25.50M

Area 222.78SQM

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE WITH AREA OF 213.6 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED BELOW GRADE ENTRANCE

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.95M
Rear yard setback	6.93M
Side yard setback	1.22M
Side yard setback	0

PROPOSED

Front yard setback	6.95M
Rear yard setback	6.93 M
Side yard setback	0.03M
Side yard setback	0

10. Date of Acquisition of subject land: 12 APRIL, 2022

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: 2002

15. Length of time the existing uses of the subject property have been continued: 20 YEARS

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Naypreet Kaur

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 28th DAY OF February, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, INTESH BHAILA, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 28th DAY OF

Feb., 2023

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

February 28, 2023

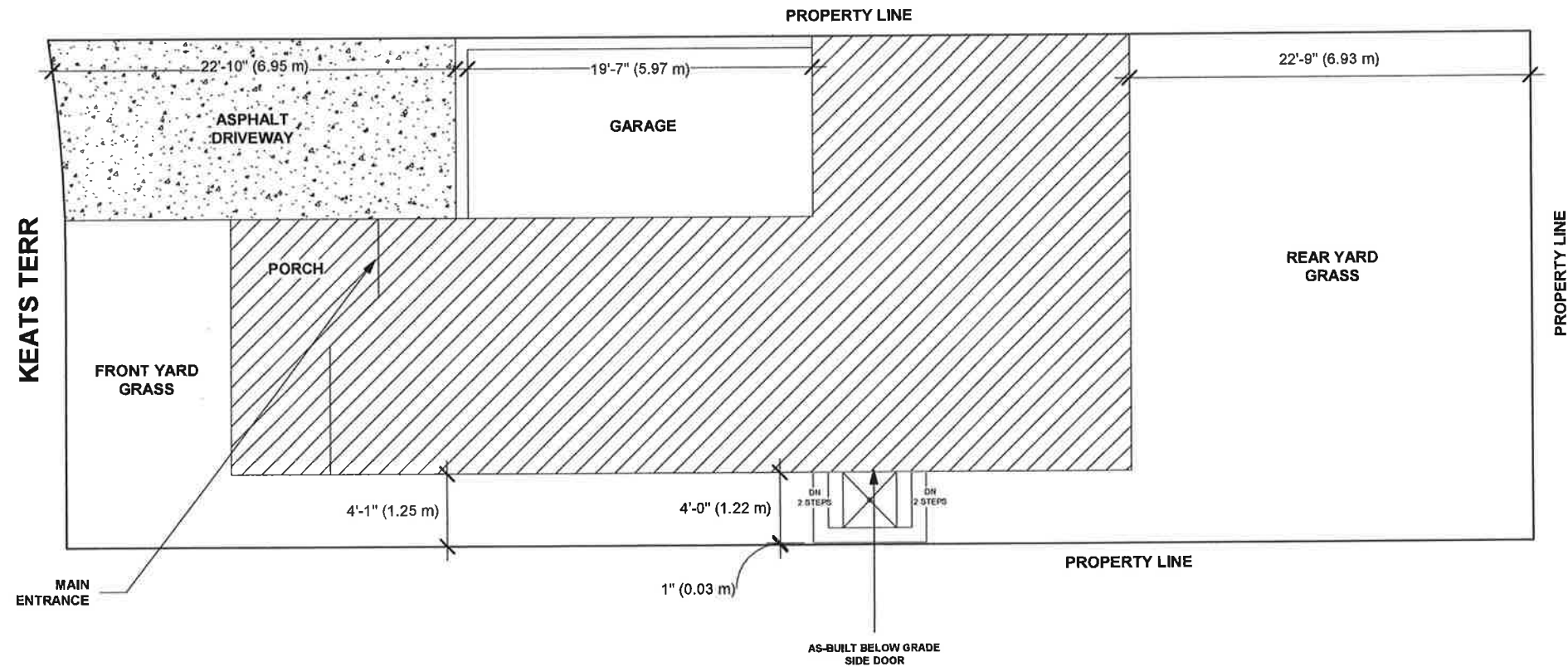
Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

LOT : 112R
29 KEATS TERR
2 STOREY DETACHED HOUSE

MINOR VARIANCE

- TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD
- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.03M (0.09 FT.) WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.);



SITE PLAN

STAMP

01 ISSUED FOR VARIANCE FEB 15/23

ADDRESS:
29 KEATS TERR,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB
PROJECT NUMBER: 23R-27249

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
BRAMPTON, ON
UNIT 19
(437)-888-1800

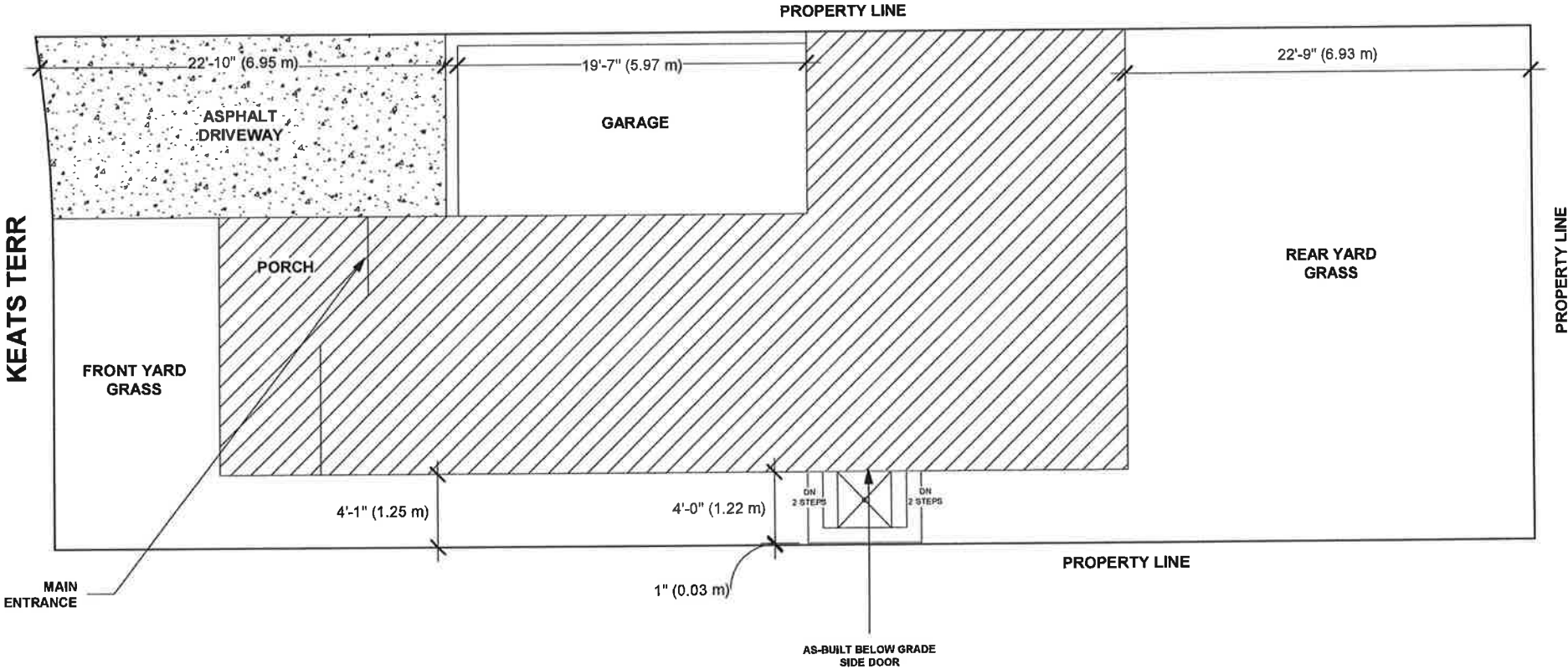
DATE: FEB 15/23
SCALE: 1 : 80
A-1

LOT : 112R
29 KEATS TERR
2 STOREY DETACHED HOUSE

MINOR VARIANCE

-TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW
DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD

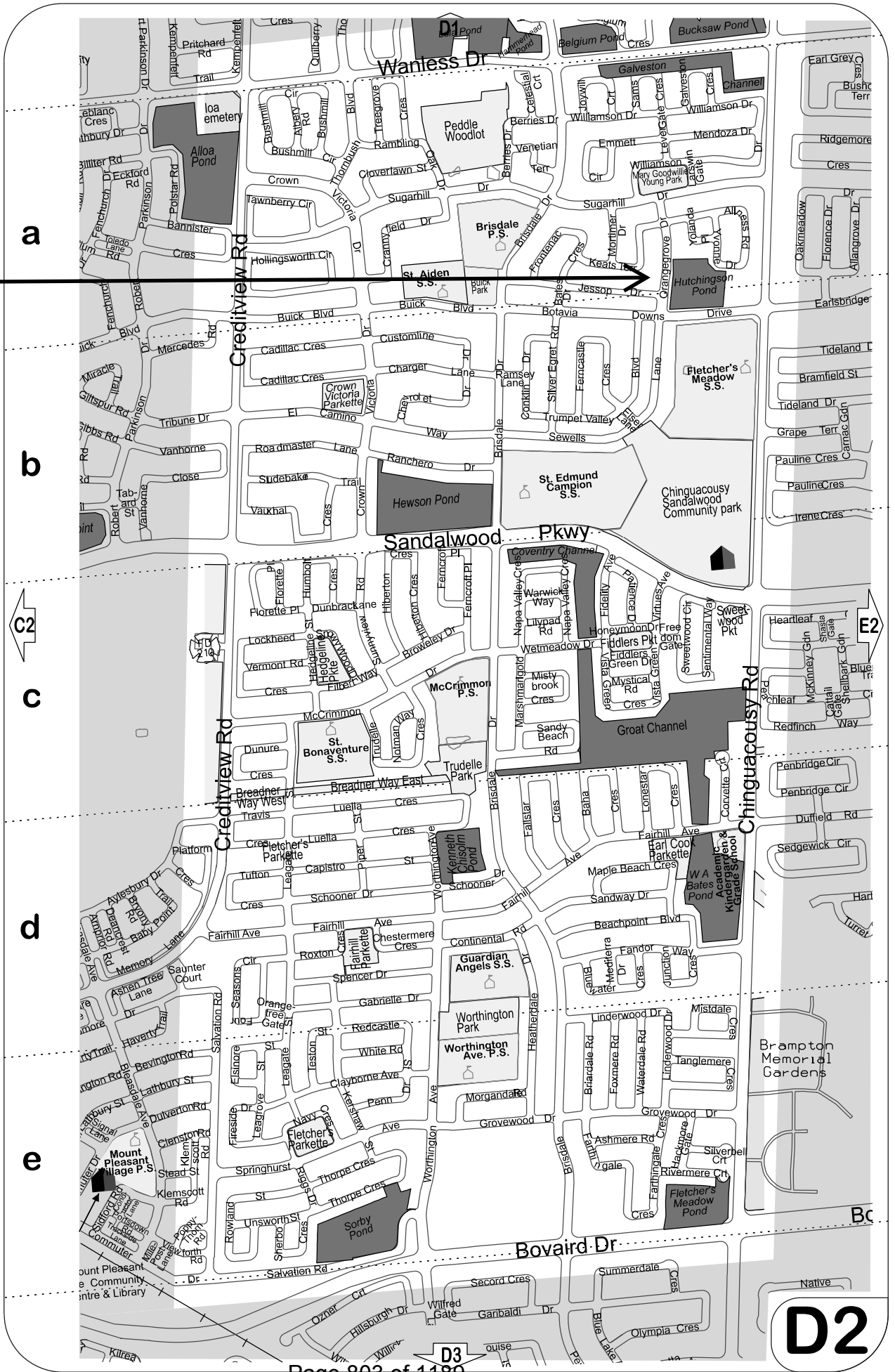
- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.03M (0.09 FT.)
WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.);



SITE PLAN

STAMP	
01 ISSUED FOR VARIANCE	FEB 15/23
ADDRESS: 29 KEATS TERR, BRAMPTON, ON	
ORIGINATOR: NK	CHECKED BY: JB
PROJECT NUMBER: 23R-27249	
NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY BRAMPTON, ON UNIT 19 (437)-888-1800	
DATE: FEB 15/23	UNIQUE: A-1
SCALE: 1 : 80	

A-2023-0052



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **KIMPREET JASSAL AND GURVINDER JASSAL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 71, Plan M-470 municipally known as **9 KEEWATIN GATE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a building height of 8.76m (28.74 ft.) whereas the by-law permits a maximum building height of 7.6m (24.93 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO _____
Application for Consent: _____ NO _____

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

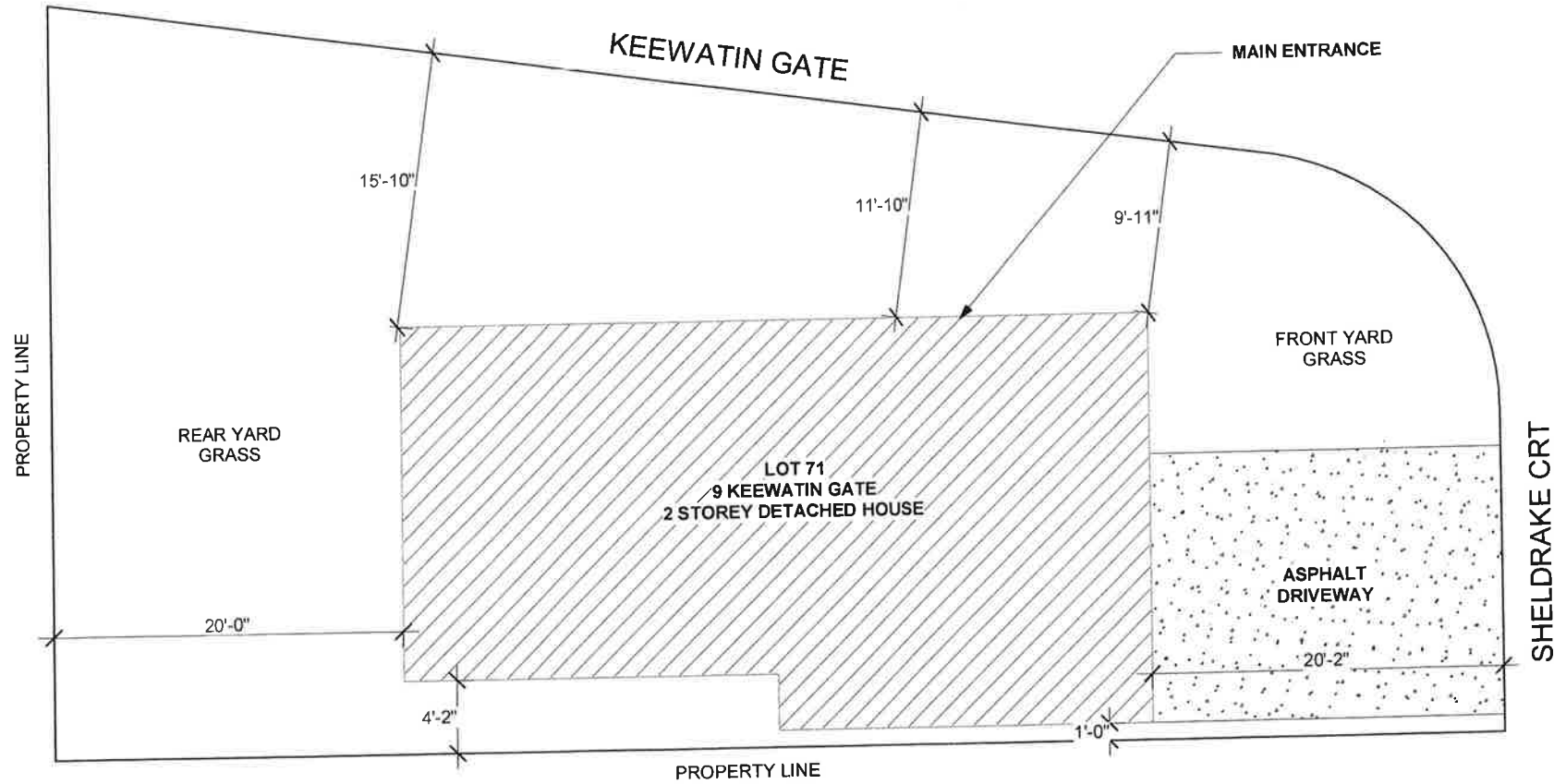
DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

MINOR VARIANCE

-TO PERMIT A BUILDING HEIGHT OF 8.76m, WHEREAS ZONING BY LAW PERMITS
MAXIMUM BUILDING HEIGHT OF 7.6m FOR THIS PROPERTY.



SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS
ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED
INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND
REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

01 ISSUED FOR VARIANCE FEB 21/23

ADDRESS
9 KEEWATIN GATE,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: TR
PROJECT NUMBER: 21R-23715

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: FEB 21/23
SCALE: 1" = 6'-4" DRAWING: A-1

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

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How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

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<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



FILE NUMBER: A-2023-0053

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** KIMPREET JASSAL & GURVINDER JASSAL
Address 9 KEEWATIN GATE, BRAMPTON, ON, L6Y 2X1

Phone # 416-878-3500 , 647-921-1314 **Fax #** _____
Email Beverleyhoward2010@gmail.com , Info@amrindersingh.ca

2. **Name of Agent** NAVPREET KAUR
Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON, L6S 5Z4

Phone # 437-888-1800 **Fax #** _____
Email applications@nobleltd.ca

3. **Nature and extent of relief applied for (variances requested):**

-TO PERMIT A BUILDING HEIGHT OF 8.76m, WHEREAS ZONING BY LAW PERMITS MAXIMUM BUILDING HEIGHT OF 7.6m FOR THIS PROPERTY.

4. **Why is it not possible to comply with the provisions of the by-law?**

-ZONING BY LAW PERMITS MAXIMUM BUILDING HEIGHT OF 7.6m FOR THIS PROPERTY WHEREAS A BUILDING HEIGHT OF 8.76m IS PROPOSED.

5. **Legal Description of the subject land:**
Lot Number 71
Plan Number/Concession Number 43M470
Municipal Address 9 KEEWATIN GATE, BRAMPTON, ON, L6Y 2X1

6. **Dimension of subject land (in metric units)**
Frontage 11.76 M
Depth 25.32 M
Area 286 SQM

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE WITH AREA OF 231 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED NEW BUILDING ON EXISTING FOOTPRINT

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.14M
Rear yard setback	6.09M
Side yard setback	3.04M
Side yard setback	0.30M

PROPOSED

Front yard setback	6.14M
Rear yard setback	6.09M
Side yard setback	3.04M
Side yard setback	0.30M

10. Date of Acquisition of subject land: 30 NOVEMBER, 2020
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1988
15. Length of time the existing uses of the subject property have been continued: 32 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Navpreet Kaur

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 28th DAY OF February, 20 23.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JINTESH BHAILA, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 28th DAY OF
February, 20 23

Jasmi Myer
A Commissioner etc.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1D - 3146, MATURE

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHIS.

Zoning Officer

FEB 23 2023

Date

DATE RECEIVED

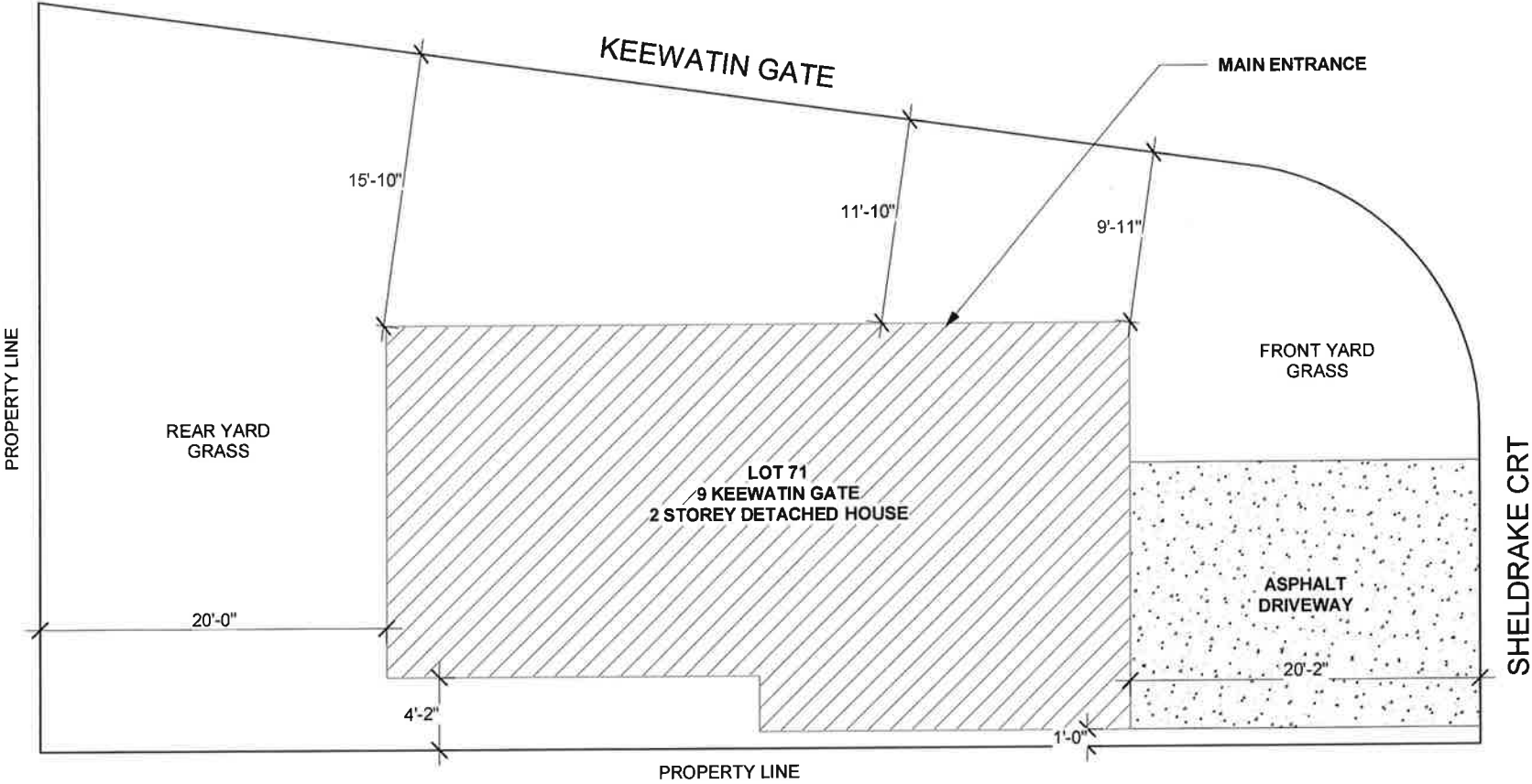
February 28, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

MINOR VARIANCE

**-TO PERMIT A BUILDING HEIGHT OF 8.76m, WHEREAS ZONING BY LAW PERMITS
MAXIMUM BUILDING HEIGHT OF 7.6m FOR THIS PROPERTY.**



SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

01 ISSUED FOR VARIANCE FEB 21/23

ADDRESS:
9 KEEWATIN GATE,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: TR
PROJECT NUMBER: 21R-23715

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobletd.ca
(437) 888 1800

DATE: FEB 21/23
SCALE: 1" = 8'-4" DRAWING: A-1



**PROPOSED
LEFT SIDE
ELEVATION**

DRAWN BY: TR CHECKED BY: TR
PROJECT NUMBER: 22R-26906

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
(Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER BCIN
Tanvir Rai 103482

Silla

FIRM BCIN
Noble Prime Solutions Ltd 118716

DEC 12/22

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

ADDRESS:
9 KEEWATIN GATE,
BRAMPTON, ON

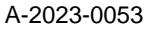
01 ISSUED FOR PERMIT DEC 12/22

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobleltd.ca
(437) 888 1800

DATE: DEC 12/22

SCALE: 3/16" = 1'-0"

A-6.2



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **BHAGYESH KALPITKUMAR PATEL AND ISHITA BHAGYESH PATEL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 163, Plan 43M-1590, Part 62, Plan 43R-28947 municipally known as **51 NATHANIEL CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance between the main wall of a dwelling and the flankage lot line whereas the by-law does not permit below grade entrances between the main wall of the dwelling and the flankage lot line.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

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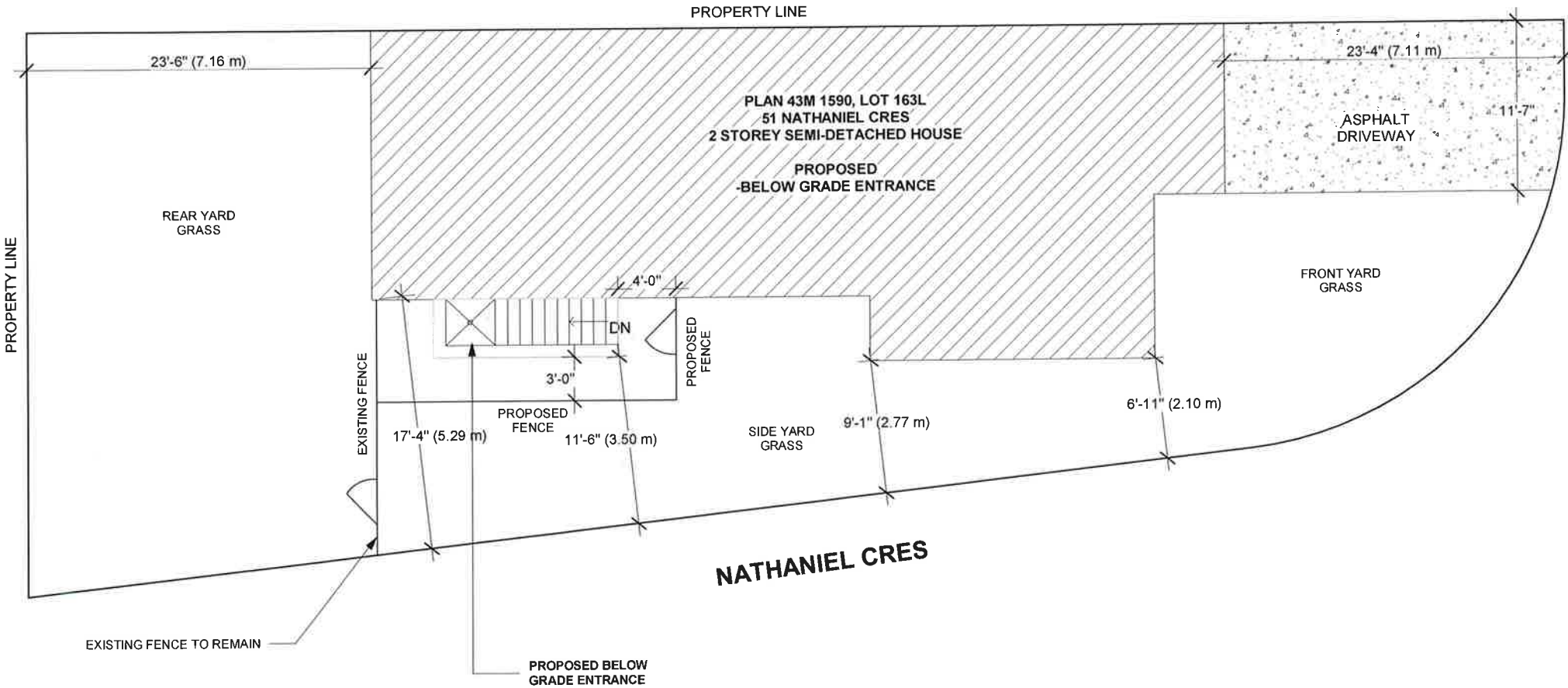
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Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

MINOR VARIANCE

-TO PERMIT A PROPOSED BELOW GRADE ENTRANCE BETWEEN THE MAIN WALL OF A DWELLING AND THE FLANKAGE LOT LINE, WHEREAS THE BY-LAW DOES NOT PERMIT BELOW GRADE ENTRANCES BETWEEN THE MAIN WALL OF THE DWELLING AND THE FLANKAGE LOT LINE;



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STAMP

01 ISSUED FOR PERMIT FEB 14/23

ADDRESS
51 NATHANIEL CRES,
BRAMPTON, ON.

PREPARED BY: NK CHECKED BY: TR
PROJECT NUMBER: 23R-27296

NOBLE PRIME SOLUTIONS LTD
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: FEB 14/23
SCALE: 1 : 90
A-1

LOT AREA: 307.7 SQM
LOT FRONTAGE: 9.78 M
LOT DEPTH: 32 M

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

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APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) BHAGYESH KALPITKUMAR PATEL & ISHITA BHAGYESH PATEL

Address 51 NATHANIEL CRES. BRAMPTON, ON. L6Y 5M5

Phone # 647-470-0871 Fax #

Email patel.bhagyesh93@gmail.com

2. Name of Agent NAVPREET KAUR

Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON. L6S 5Z4

Phone # 437-888-1800 Fax #

Email applications@nobleltd.ca

3. Nature and extent of relief applied for (variances requested):

-TO PERMIT A PROPOSED BELOW GRADE ENTRANCE BETWEEN THE MAIN WALL OF A DWELLING AND THE FLANKAGE LOT LINE, WHEREAS THE BY-LAW DOES NOT PERMIT BELOW GRADE ENTRANCES BETWEEN THE MAIN WALL OF THE DWELLING AND THE FLANKAGE LOT LINE;

4. Why is it not possible to comply with the provisions of the by-law?

-THE BY-LAW DOES NOT PERMIT BELOW GRADE ENTRANCES BETWEEN THE MAIN WALL OF THE DWELLING AND THE FLANKAGE LOT LINE WHEREAS BELOW GRADE ENTRANCE BETWEEN THE MAIN WALL OF A DWELLING AND THE FLANKAGE LOT LINE IS PROPOSED.

5. Legal Description of the subject land:

Lot Number 163L

Plan Number/Concession Number M1590

Municipal Address 51 NATHANIEL CRES, BRAMPTON, ON, L6Y 5M5

6. Dimension of subject land (in metric units)

Frontage 9.78M

Depth 32M

Area 307.7SQM

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STOREY SEMI-DETACHED HOUSE WITH AREA OF 185.80 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

-BELOW GRADE ENTRANCE

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.11M

Rear yard setback 7.16M

Side yard setback 0

Side yard setback 2.10M

PROPOSED

Front yard setback 7.11M

Rear yard setback 7.16M

Side yard setback 0

Side yard setback 2.10M

10. Date of Acquisition of subject land: 8 OCTOBER, 2021

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: 2003

15. Length of time the existing uses of the subject property have been continued: 18 YEARS

16. (a) What water supply is existing/proposed?

Municipal ☒
Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒
Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒
Ditches ☐
Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Navpreet Kaur

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 28th DAY OF February, 20 23.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JIVTESH BHAILA, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 28th DAY OF Feb., 20 23

Jm.
Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

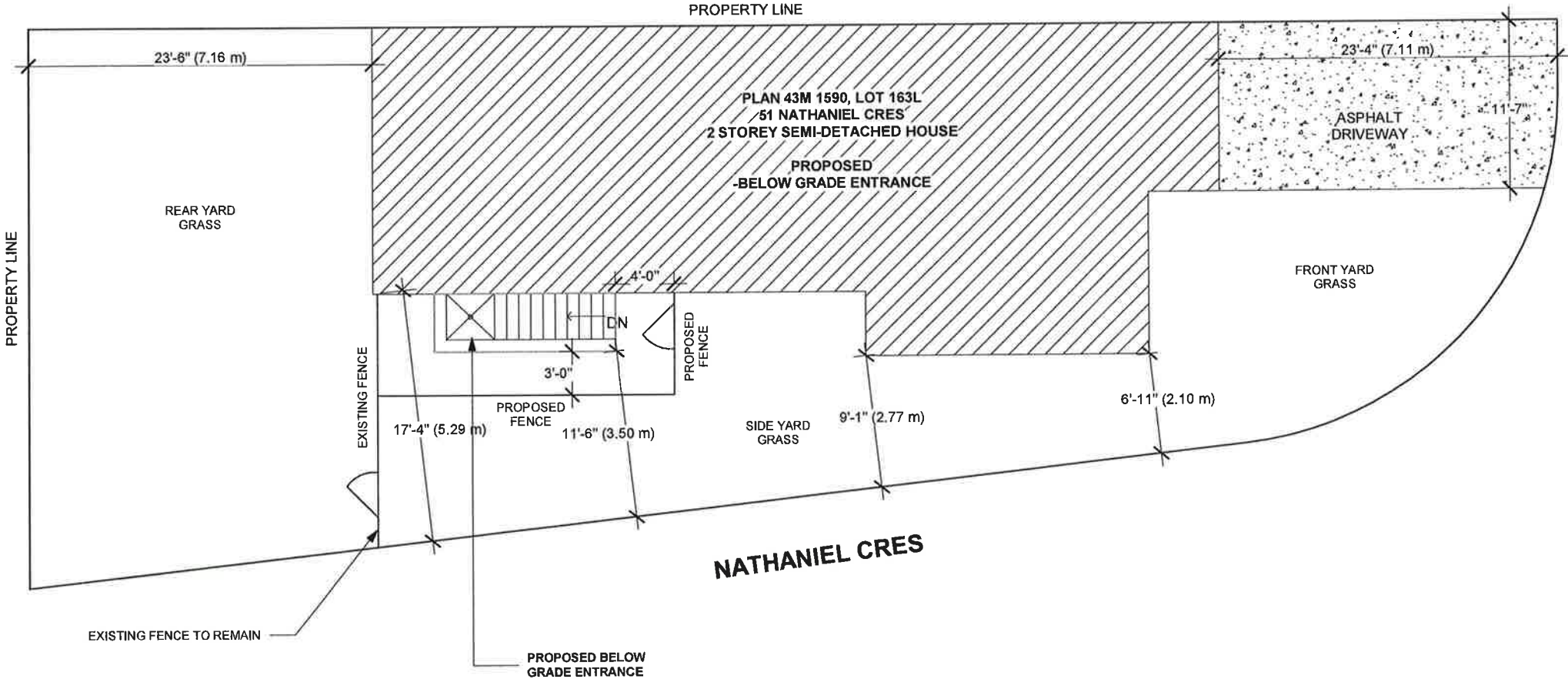
DATE RECEIVED

February 28, 2023

Revised 2020/01/07

MINOR VARIANCE

-TO PERMIT A PROPOSED BELOW GRADE ENTRANCE BETWEEN THE MAIN WALL OF A DWELLING AND THE FLANKAGE LOT LINE, WHEREAS THE BY-LAW DOES NOT PERMIT BELOW GRADE ENTRANCES BETWEEN THE MAIN WALL OF THE DWELLING AND THE FLANKAGE LOT LINE;



SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

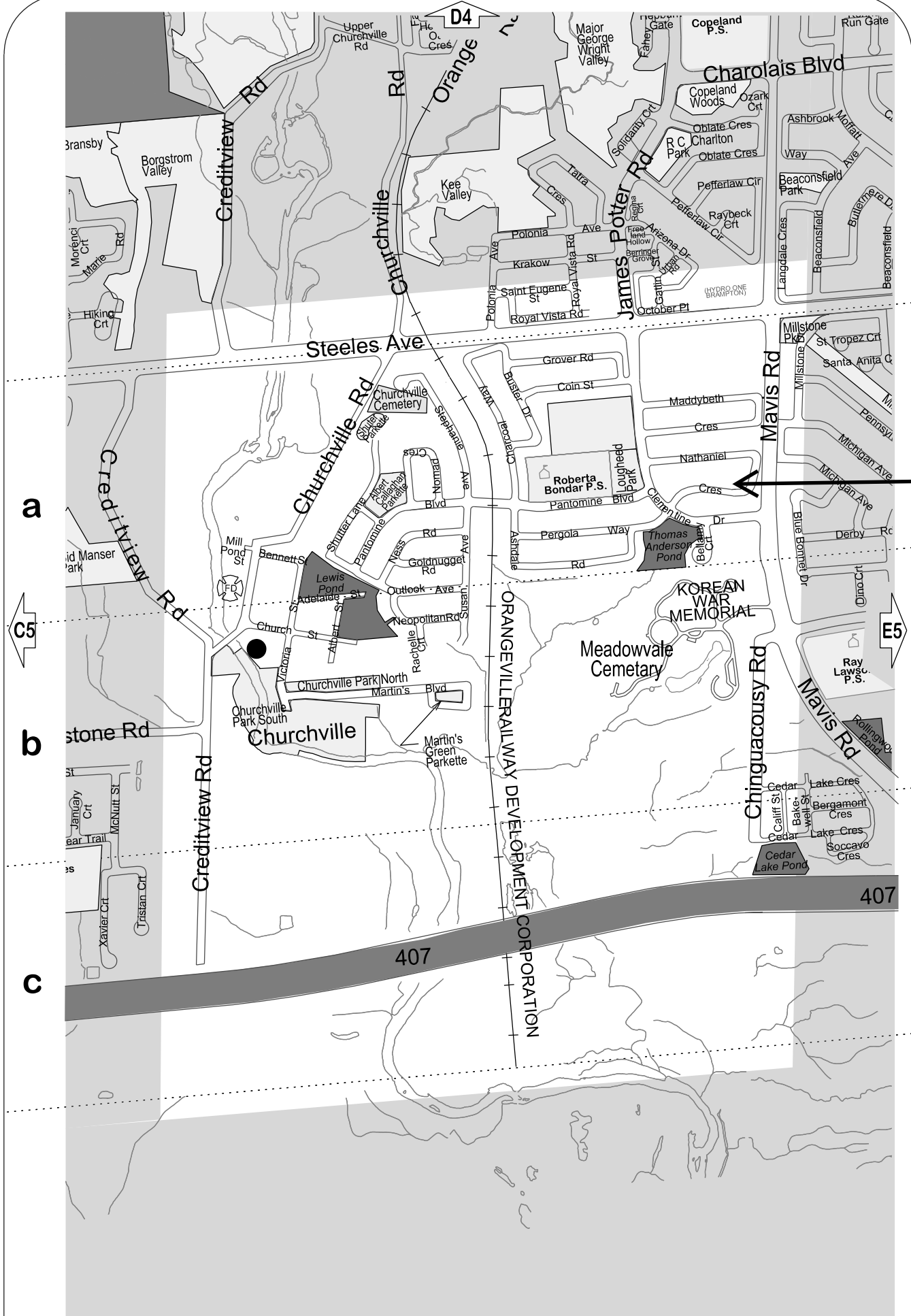
01 ISSUED FOR PERMIT FEB 14/23

ADDRESS:
51 NATHANIEL CRES,
BRAMPTON, ON.

DESIGNED BY: NK CHECKED BY: TR
PROJECT NUMBER: 23R-27296

NOBLE PRIME SOLUTIONS LTD
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: FEB 14/23
SCALE: 1 : 90
A-1



A-2023-0054

D5

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ABHISHEK SINGH TANWAR AND MANISHA TANWAR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Block G, Plan M-95, Parts 53, 53A and 53B, Plan 43R-3631 municipally known as **24 GRAND RIVER COURT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To vary Schedule 'C', Section 128 of the by-law to permit a carport located outside the approved building envelope whereas the by-law requires that all buildings be constructed in accordance with Schedule 'C', Section 128 to the by-law;
2. To permit an existing accessory structure (shed) having a setback of 0.54m (1.78 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest lot lines for an accessory structure.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

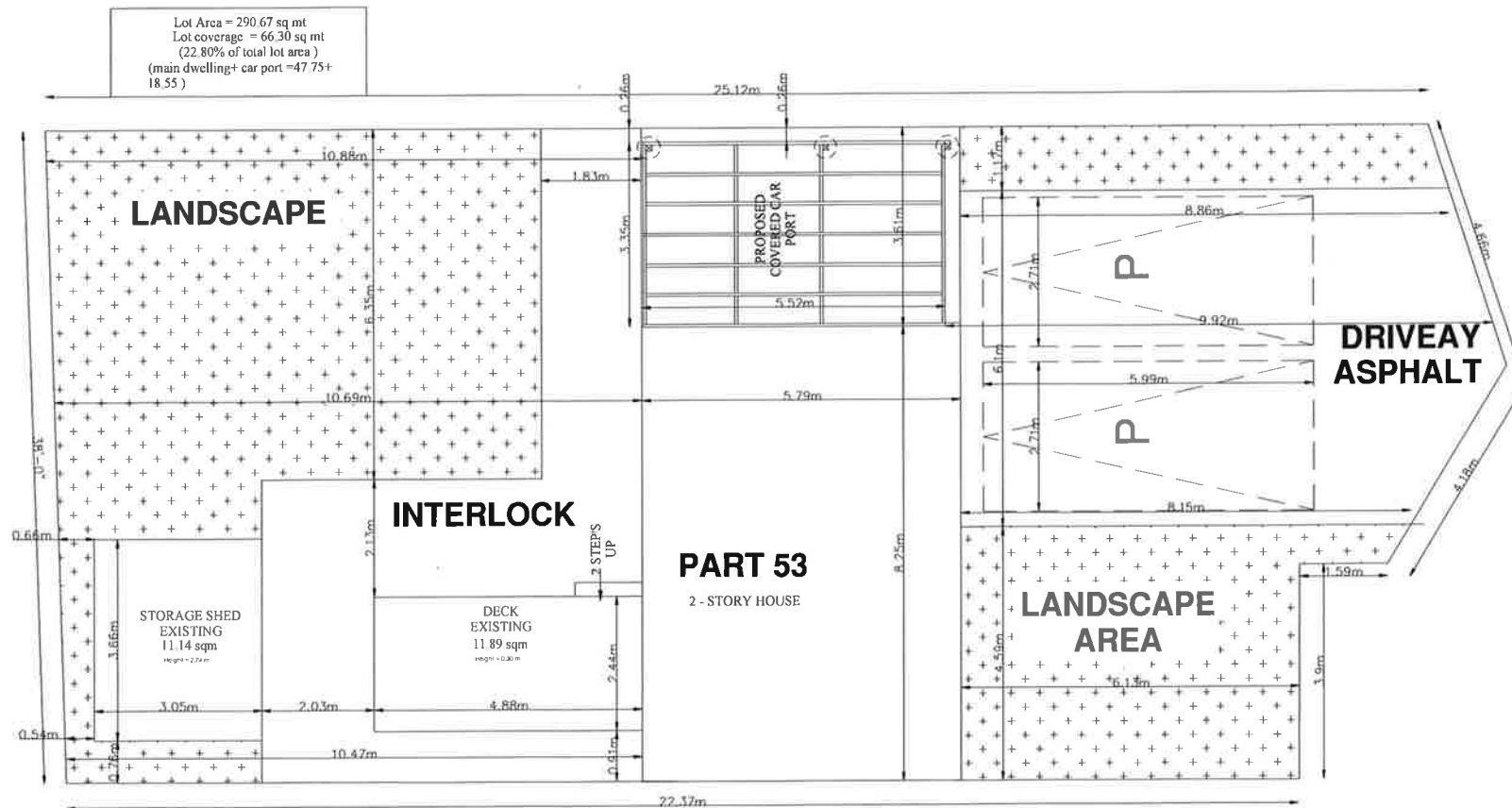
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

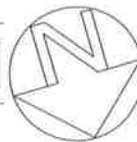
DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



PROPOSED SITE PLAN **SCALE 3/32"=1'-0"**



24 GRAND RIVER CT

GENERAL NOTES

DO NOT SCALE DRAWINGS
 PROPERTY RIGHTS RETAINED BY:
 BG CONSTRUCTION DESIGN
 ANY REPRODUCTION IN WHOLE OR IN PART
 UNDER THE RULES AND BY-LAWS OF THE
 CORPORATION IS STRICTLY FORBIDDEN.
 ANY REPRODUCTIONS MUST BE
 ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

PROPOSAL TO CONSTRUCT A COVERED CAR PORT

THE UNDERSIGNED HAS REVIEWED AND
 TAKES RESPONSIBILITY FOR THIS DESIGN,
 AND HAS THE QUALIFICATIONS AND
 MEETS THE REQUIREMENTS SET OUT
 IN THE ONTARIO BUILDING CODE
 TO BE A DESIGNER.

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT
 UNDER DIV. C.3.2.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440
 NAME SIGNATURE BCIN

SHIVANG TARIKA

NO REVISION / ISSUE DATE

PROPOSED SITE PLAN

CITY : BRAMPTON

24 GRAND RIVER CT

EXISTING DWELLING

PROJECT

SHEET

SEP 2022

SCALE 3/32"=1'-0"

A3

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

March 15, 2023

To: Committee of Adjustment
ABHISHEK SINGH TANWAR AND MANISHA TANWAR
PART OF BLOCK G, PLAN M-95
PARTS 53, 53A & 53B, PLAN 43R-3631
A-2023-0056 – 24 GRAND RIVER COURT

Please **amend** application **A-2023-0056** to reflect the following:

1. To vary Schedule 'C', Section 128 of the by-law to permit a carport located outside the approved building envelope whereas the by-law requires that all buildings be constructed in accordance with Schedule 'C', Section 128 to the by-law;
2. To permit an existing accessory structure (shed) having a setback of 0.54m (1.78 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest lot lines for an accessory structure.

Shivang Tarika

Applicant/Authorized Agent

FILE NUMBER: A-2023-0056

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Abhishek Singh Tanwar, Manisha Tanwar
Address 24 Grand River Ct, Brampton, ON, L6S 2J8

Phone # +1 (416) 575-3536 Fax # _____
Email Abhishektanwar12@gmail.com

2. Name of Agent Pardeep Gogna
Address 106 Morningside Dr, Georgetown, ON L7G0M2

Phone # 416-821-2630 Fax # _____
Email shivang@relysolution.com

3. Nature and extent of relief applied for (variances requested):
1) To Proposed a carport to encroach a maximum of 3.35m into the required side yard resulting in a side yard setback of 0.26m.
2) Proposing 3 accessory structures as permitted is 2 structures.
3) Proposing a accessory structure which have a set back of 0.54 m

4. Why is it not possible to comply with the provisions of the by-law?
The owner of the property needs a bigger area for car parking and the owner would like to ask for variance for the carport structure at the side yard.

5. Legal Description of the subject land:
Lot Number PART 53
Plan Number/Concession Number M95
Municipal Address 24 Grand River Ct, Brampton, ON, L6S 2J8

6. Dimension of subject land (in metric units)
Frontage 11.87m
Depth 25.12 m
Area 298.17

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing Main Dwelling = 354.71 sqm Height= 4m 2) Deck = 11.89 Sqm. Height = 0.30 m
3) Shed = 11.14 sqm, Height = 2.74m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Proposed Carport = 18.55 sqm height = 2.83m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.13m
Rear yard setback	10.47m
Side yard setback	0.0 m
Side yard setback	3.61 m

PROPOSED

Front yard setback	6.13m
Rear yard setback	10.47m
Side yard setback	0.0 m
Side yard setback	0.26m

10. Date of Acquisition of subject land: 2018
11. Existing uses of subject property: Single dwelling unit
12. Proposed uses of subject property: Single dwelling unit
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1989
15. Length of time the existing uses of the subject property have been continued: 33 years

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Shiraj Singh
Signature of Applicant(s) or Authorized Agent

DATED AT THE City of Town OF Brampton Halton Hills

THIS 28th DAY OF February, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Avinder Singh Shiraj Singh OF THE City of Town OF Brampton Halton Hills

IN THE Region OF Peel Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City of Brampton
IN THE Region OF
Peel THIS 28th DAY OF
Feb., 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Shiraj Singh
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R3A(4)-128

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Tall Taylor
Zoning Officer

Nov 15, 2022

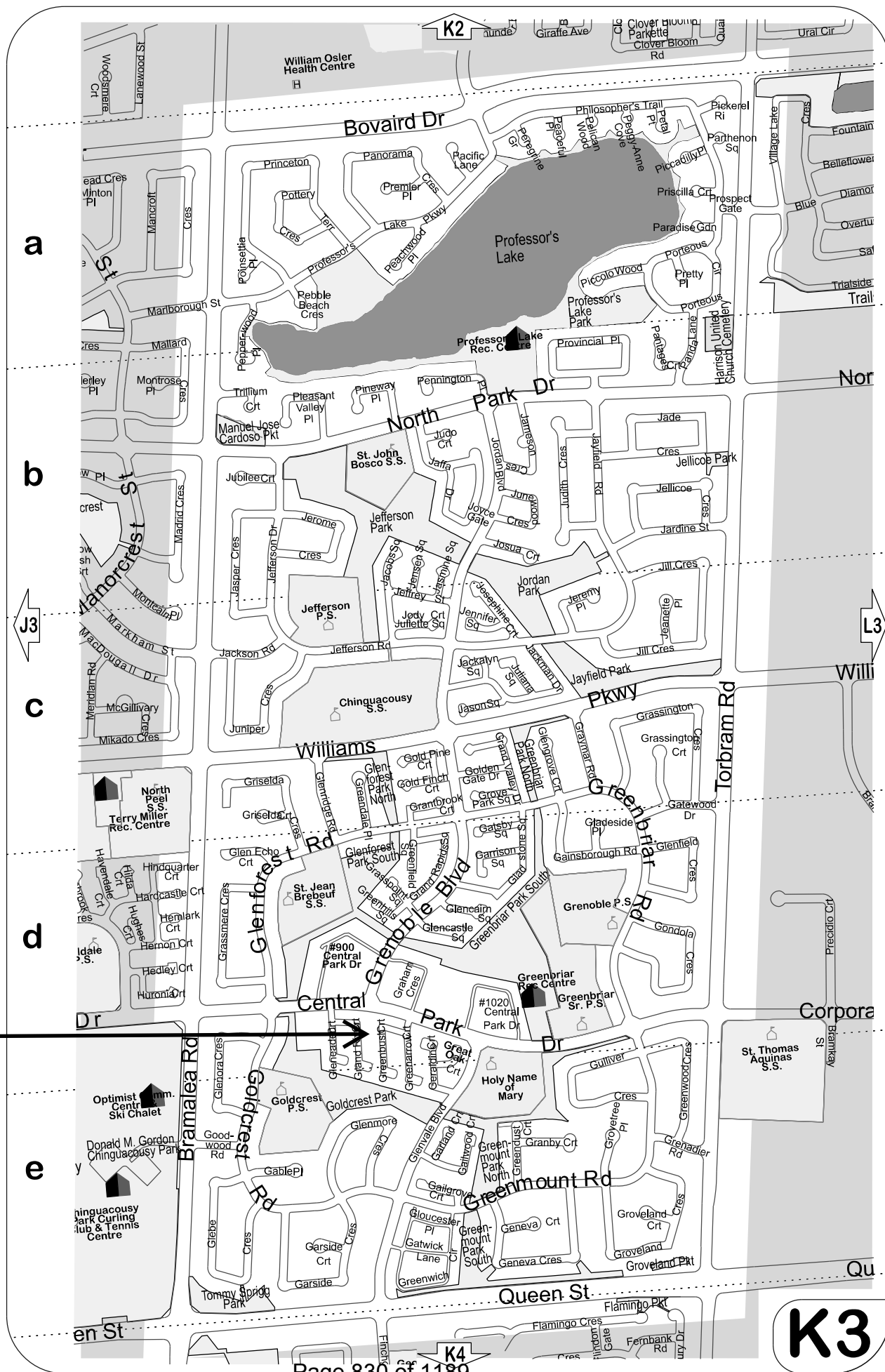
Date

DATE RECEIVED

Feb. 23, 2023

Date Application Deemed
Complete by the Municipality

Revised 2020/01/07



A-2023-0056

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ASHIMA DHINGRA AND SHEYA DHINGRA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 5, Plan 43M-1201 municipally known as **9 NATIONAL CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an interior side yard setback of 0.2m (0.66 ft.) to a proposed below grade entrance whereas the by-law requires a minimum setback of 0.3m (0.98 ft.) provided that a continuous side yard width of no less than 1.2m(3.94 ft.) is provided on the opposite side.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

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RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

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 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023**.
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<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

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APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Ashima Dhingra & Shreya Dhingra

Address 9 National Crescent, Brampton, ON, L7A1H1

Phone # +1 647 926 6726

Fax #

Email 9nationalcrescent@gmail.com

2. Name of Agent Shivang Tarika

Address 106 Morningside Dr. Georgetown, L7G0M2, ON

Phone # 4168212630

Fax #

Email shivang@relysolution.com

3. Nature and extent of relief applied for (variances requested):

A. To Propose an exterior stairway leading to a below grade entrance in the required interior side yard.

B. Proposed Interior side Yard Set back is 0.20m to the below Grade Stairway and the required is 1.21m.

4. Why is it not possible to comply with the provisions of the by-law?

The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide a second dwelling unit the entrance has to be below the grade which is not possible on rear yard and the other side of the property due to insufficient space and privacy reason. So the only space where owner can construct the entrance is the side of the property. The entrance is designed in such a way that it doesn't block the passage to

5. Legal Description of the subject land:

Lot Number 5

Plan Number/Concession Number 43M-1201

Municipal Address 9 National Crescent, Brampton, ON, L7A1H1

6. Dimension of subject land (in metric units)

Frontage 10.15 M

Depth 32.00 M

Area 324.00 SQM

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area: 128.06sqm
Gross Floor Area: 263.58 sqm,
No. of Levels: 2
Width: 7.92 m
Length: 17.90 m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.35 M
Rear yard setback 7.11 M
Side yard setback 1.27 M
Side yard setback 1.2 M

PROPOSED

Front yard setback 6.35 M
Rear yard setback 7.11 M
Side yard setback 0.20 M
Side yard setback 1.2 M

10. Date of Acquisition of subject land: 2022
11. Existing uses of subject property: Residential - Single Dwelling Unit
12. Proposed uses of subject property: Residential - Two Dwelling Unit
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2008
15. Length of time the existing uses of the subject property have been continued: 14yrs

16. (a) What water supply is existing/proposed?

Municipal ☒
Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒
Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒
Ditches ☐
Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Shivang
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 28 DAY OF February, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Shivang Torika, OF THE Town OF Halton Hills
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Halton
Feb THIS 28th DAY OF Feb., 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Shivang
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

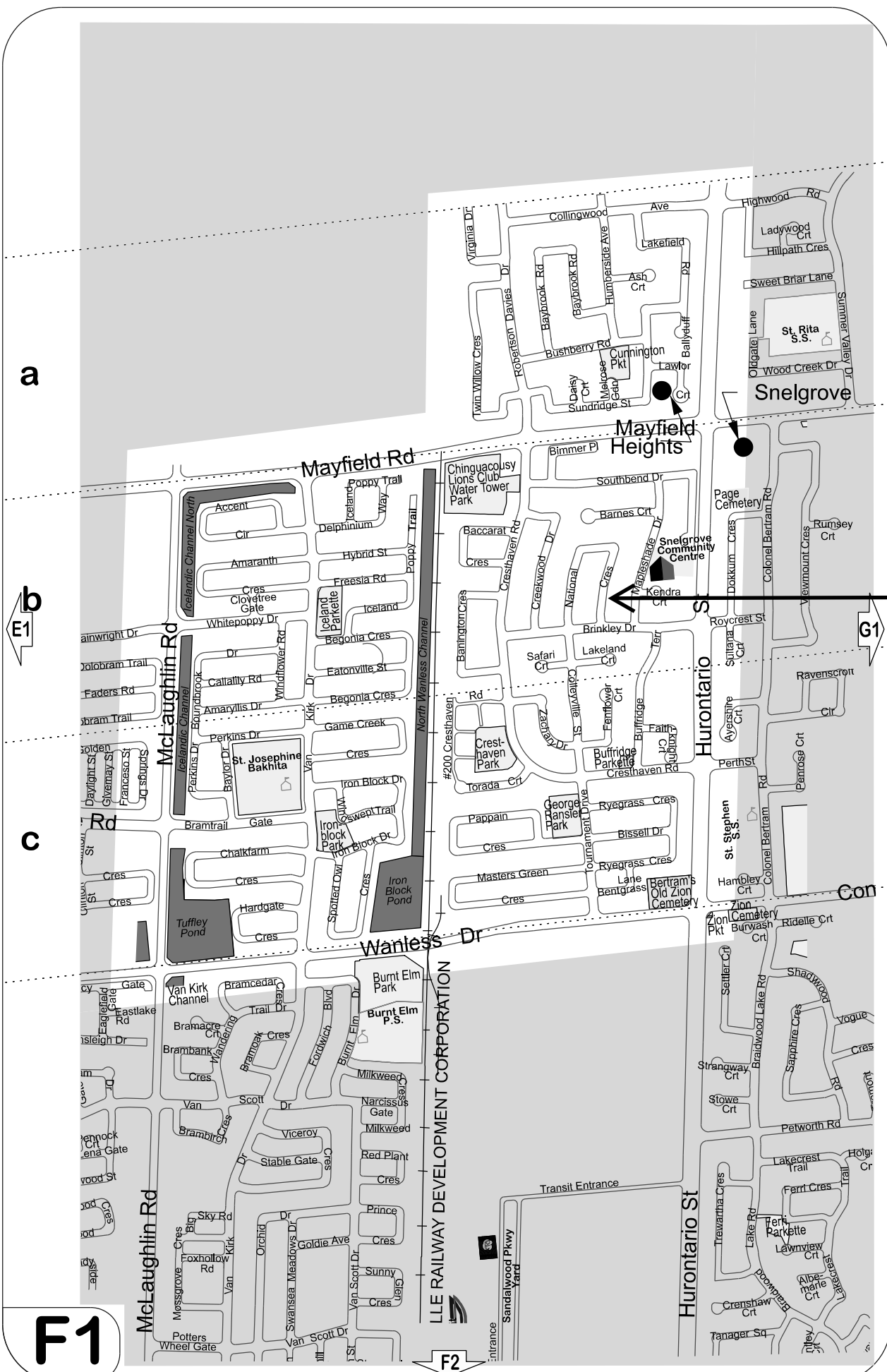
Date

DATE RECEIVED

Feb. 28, 2023

Date Application Deemed
Complete by the Municipality

Revised 2020/01/07



A-2023-0057

F1

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **KARLENE REID STEWART AND CHARLES REID** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 112, Plan 43M-2043 municipally known as **17 NIGHTJAR DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance in the required interior side yard whereas the by-law does not permit a below grade entrance in a required interior side yard;
2. To permit a 0.16m (0.52 ft) interior side yard setback to the below grade stairs whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

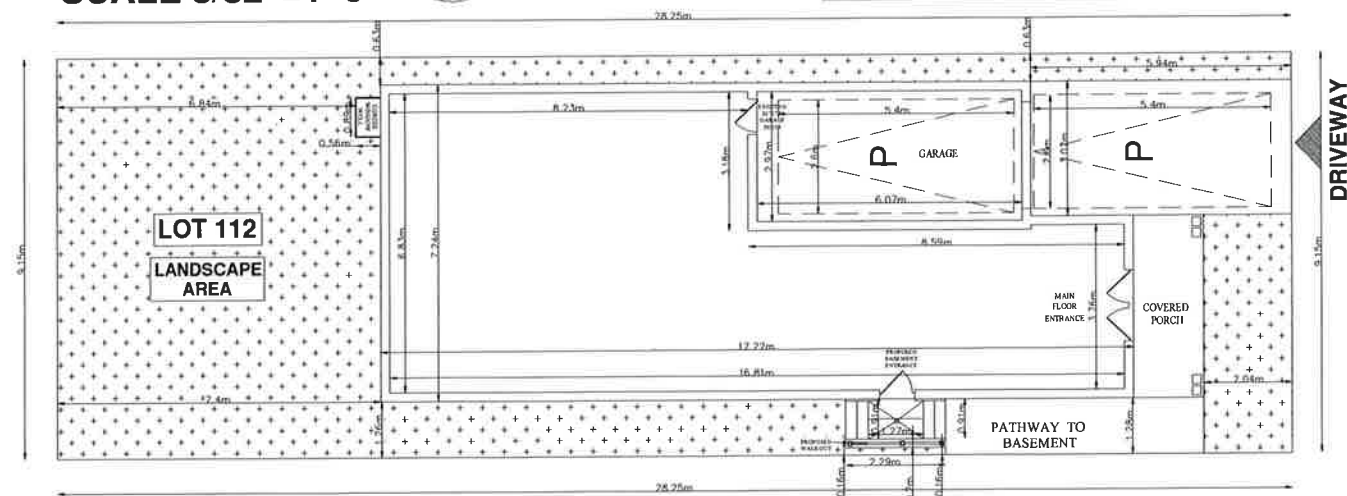
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

SITE PLAN
SCALE 3/32"=1'-0"



17 NIGHTJAR DRIVE



GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
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ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
SECONDARY UNIT AND
BELOW GRADE ENTRANCE
FROM SIDE YARD**

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C-325.1 OF THE BUILDING CODE

SHIVANG TARIKA **106440**
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

17 NIGHTJAR DRIVE

EXISTING DWELLING

PROJECT	SHEET
NOV 2022	A1
SCALE 3/32"=1'-0"	

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

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How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
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If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

March 16, 2023

To: Committee of Adjustment
KARLENE STERWART REID AND CHARLES REID
LOT 112, PLAN 43M-2043
A-2023-0059 – 17 NIGHTJAR DRIVE

Please **amend** application **A-2023-0059** to reflect the following:

1. To permit a below grade entrance in the required interior side yard whereas the by-law does not permit a below grade entrance in a required interior side yard;
2. To permit a 0.16m (0.52 ft) interior side yard setback to the below grade stairs whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

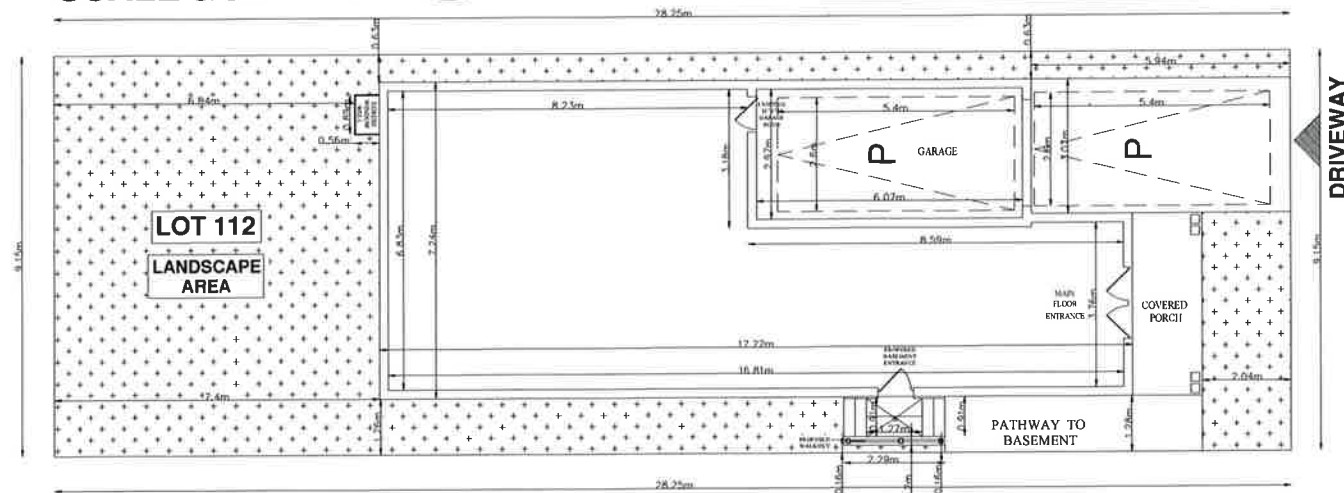
Shivang Tarika

Applicant/Authorized Agent

SITE PLAN **SCALE 3/32"=1'-0"**



17 NIGHTJAR DRIVE



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ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
SECONDARY UNIT AND
BELOW GRADE ENTRANCE
FROM SIDE YARD**

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C.325.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

17 NIGHTJAR DRIVE

EXISTING DWELLING

PROJECT	SHEET
NOV 2022	A1
SCALE 3/32"=1'-0"	



The Personal information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Stewart Reid Karlene, Reid Charles
Address 17 NIGHTJAR DR.
BRAMPTON, ON, L7A5A1

Phone # 9058663269 **Fax #** _____
Email Chrsreid747@gmail.com

2. **Name of Agent** Shivang Tarika
Address 106 Morningside Dr. Georgetown. L7G0M2

Phone # 416-821-2630 **Fax #** _____
Email Shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**

1) To permit a below grade entrance within a required interior side yard whereas the by-law does not permit a below grade entrance within a required interior side yard.

2) To permit an interior side yard setback of 0.01 meters to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2 meters.

4. **Why is it not possible to comply with the provisions of the by-law?**

The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide a second dwelling unit the entrance has to be below the grade which is not possible on rear yard and the other side of the property due to insufficient space and privacy reason. So the only space where owner can construct the entrance is the side of the property. The required interior side setback after the below grade entrance is 1.2

5. **Legal Description of the subject land:**
Lot Number 112
Plan Number/Concession Number M2043
Municipal Address 17 NIGHTJAR DR, BRAMPTON, ON, L7A5A1

6. **Dimension of subject land (in metric units)**
Frontage 9.15m
Depth 28.25m
Area 258.48 sqm

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor area= 96.85 sqm, Gross floor area=314.43 sqm, No. of storeys= 2
width= 7.24 m, length= 17.22m, Height=6.24m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Second dwelling area in existing basement = 102.58 Sqm
Below grade entrance = 4.62 Sqm

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	2.04m
Rear yard setback	7.40m
Side yard setback	1.26m
Side yard setback	0.63m

PROPOSED

Front yard setback	2.04m
Rear yard setback	7.40m
Side yard setback	0.01m
Side yard setback	0.63m

10. Date of Acquisition of subject land: 2020
11. Existing uses of subject property: Single family Dwelling
12. Proposed uses of subject property: Two family Dwelling
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2020
15. Length of time the existing uses of the subject property have been continued: 2 years

16. (a) What water supply is existing/proposed?
- | | | | |
|-----------|-------------------------------------|-----------------|--|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) | |
| Well | <input type="checkbox"/> | | |
- (b) What sewage disposal is/will be provided?
- | | | | |
|-----------|-------------------------------------|-----------------|--|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) | |
| Septic | <input type="checkbox"/> | | |
- (c) What storm drainage system is existing/proposed?
- | | | | |
|---------|-------------------------------------|-----------------|--|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) | |
| Ditches | <input type="checkbox"/> | | |
| Swales | <input type="checkbox"/> | | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Shivang Tonika
Signature of Applicant(s) or Authorized Agent

DATED AT THE City of Brampton OF Brampton

THIS 28th DAY OF February, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Shivang Tonika OF THE City of Brampton OF Halton Hills

IN THE Region of Peel OF Halton SOLEMNLY DECLARE THAT:

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DECLARED BEFORE ME AT THE

City of Brampton OF Brampton
IN THE Region of Peel OF Peel
THIS 28th DAY OF Feb., 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024. J.M.

Shivang Tonika
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

Feb. 28, 2023

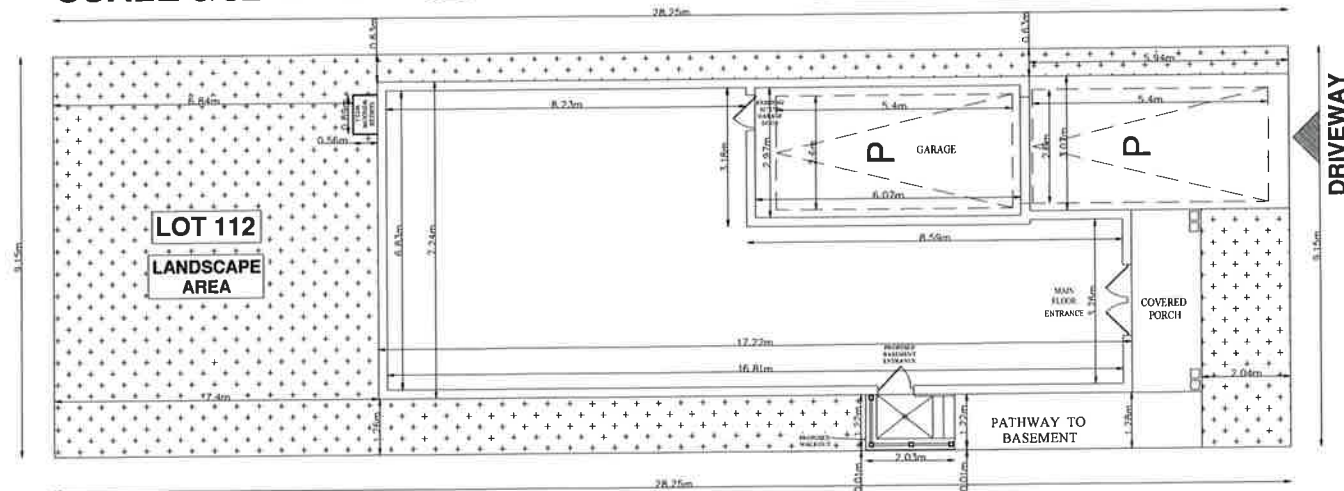
Date Application Deemed
Complete by the Municipality

Revised 2020/01/07

SITE PLAN **SCALE 3/32"=1'-0"**



17 NIGHTJAR DRIVE



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SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
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 FROM SIDE YARD**

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 AND HAS THE QUALIFICATIONS AND
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 TO BE A DESIGNER.

**QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT
 UNDER DIV. C.32.5.1 OF THE BUILDING CODE**

SHIVANG TARIKA 106440
 NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

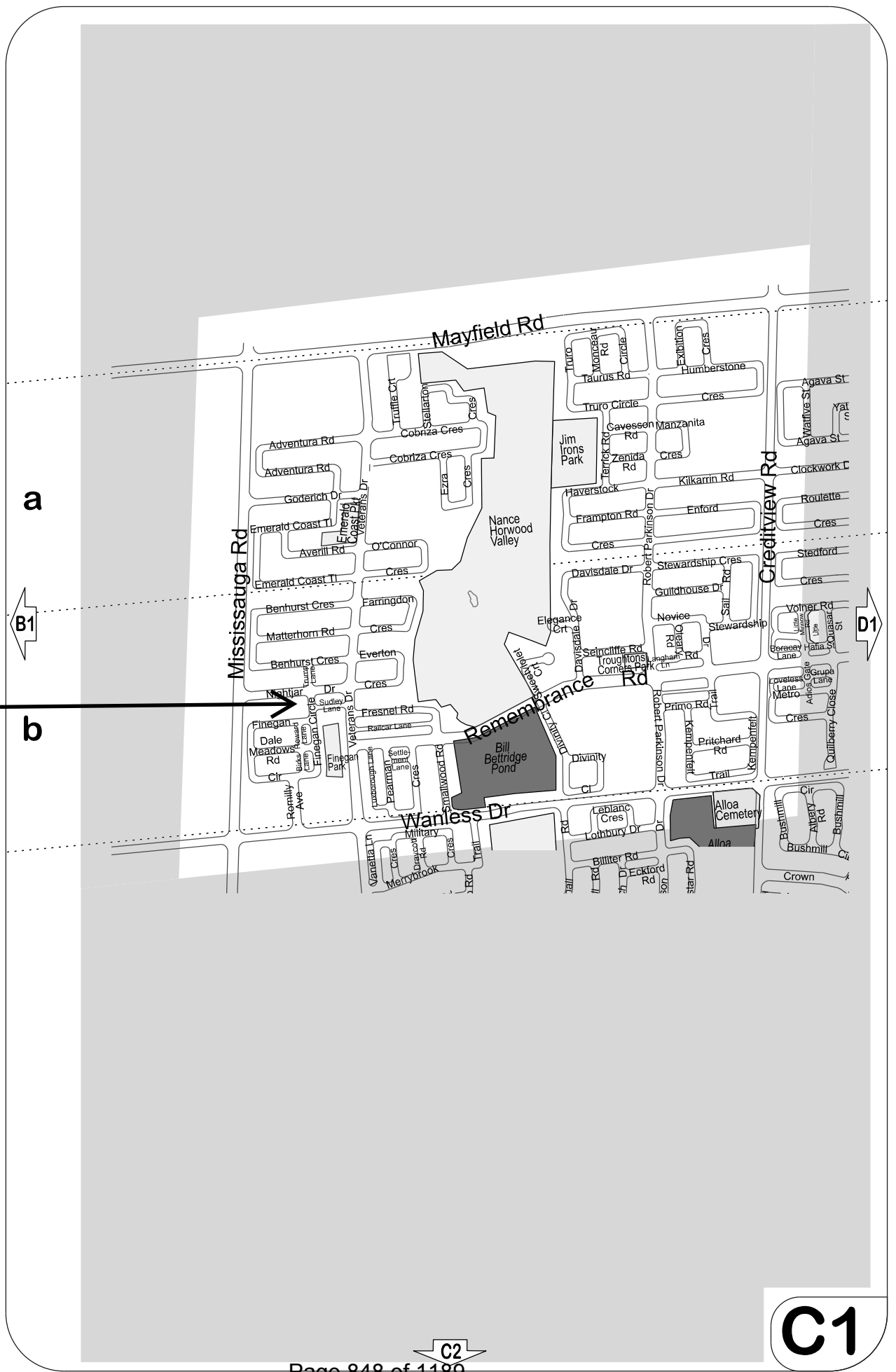
CITY : BRAMPTON

17 NIGHTJAR DRIVE

EXISTING DWELLING

PROJECT
 NOV 2022
 SCALE 3/32"=1'-0"

SHEET
A1



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ASHISH KUMAR AND BHUMIKA MIGLANI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 152, Plan 43M-1718, Part 18, Plan 43R-1846 municipally known as **65 SUGARBERRY DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an exterior side yard setback of 2.44m (8.0 ft.) whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.);
3. To permit a driveway width of 5.64m (18.50 ft.) whereas the by-law permits a maximum driveway width of 5.2m (17 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

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Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

This detailed site plan for Lot 152 illustrates the proposed house layout and landscaping. The lot is bounded by a 11.02m fence on the left and a 23.82m driveway on the right. The plan includes a large 'LANDSCAPE AREA' on the left, a 'HARDSCAPE' area in the center, and a 'DRIVEWAY' on the right. The house layout features a 'PROPOSED BASEMENT ENTRANCE', a 'MAIN FLOOR ENTRANCE', a 'PORCH', and a 'GARAGE'. Dimensions for various areas and setbacks are provided, such as 4.27m for the main floor entrance, 7.35m for the garage, and 1.52m for the porch. The plan also shows a 'PATHWAY TO BASEMENT' and a 'FENCING' line along the bottom boundary.

SHAWANG TARIKA

NO	REVISION / ISSUE	DATE

A1

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If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Ashish Kumar , Bhumika Miglani
Address 65 Sugarberry Dr. BRAMPTON, ON, L6X0K4

Phone # 2368866910 **Fax #**
Email ashishkumar23555@gmail.com

2. **Name of Agent** Shivang Tarika
Address 106 Morningside Dr. Georgetown, L7G0M2, ON

Phone # 4168212630 **Fax #**
Email shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**

1) To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line

2) To permit an exterior side yard setback of 2.44 meters whereas the by-law requires a minimum exterior side yard setback of 3.00 meters.

3) To permit a driveway width of 5.64m (18.06 ft.), whereas the by-law permits a maximum driveway width of 5.2 m (17.01 ft.);

4. **Why is it not possible to comply with the provisions of the by-law?**

The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide a second dwelling unit the entrance has to be below the grade which is not possible on rear yard and the other side of the property and privacy reason. So the only space where owner can construct the entrance is the side of the property. The entrance is designed in such a way that it doesn't block the passage to move to the rear yard. We

5. **Legal Description of the subject land:**
Lot Number 152L
Plan Number/Concession Number M1718
Municipal Address 65 Sugarberry Dr, BRAMPTON, ON, L6X0K4

6. **Dimension of subject land (in metric units)**
Frontage 8.58 m
Depth 33.26 m
Area 321.90

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area: 79.46 sqm
Gross Floor Area: 262.12 sqm, No. of storeys: 2, Width: 6.17 m, Length: 17.67m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Below Grade entrance = 5.65 sqm

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.95m
Rear yard setback	9.1m
Side yard setback	0
Side yard setback	1.79m

PROPOSED

Front yard setback	6.95m
Rear yard setback	9.1m
Side yard setback	0
Side yard setback	1.79m

10. Date of Acquisition of subject land: 2014
11. Existing uses of subject property: Residential - Single Dwelling Unit
12. Proposed uses of subject property: Residential - Two Dwelling Unit
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2012
15. Length of time the existing uses of the subject property have been continued: 11 Years

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Shivang Tarika

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 28 DAY OF February, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Shivang Tarika, OF THE Town OF Halton Hills

IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Feb THIS 28th DAY OF Feb., 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J.M.

Shivang Tarika

Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

Feb. 28, 2023

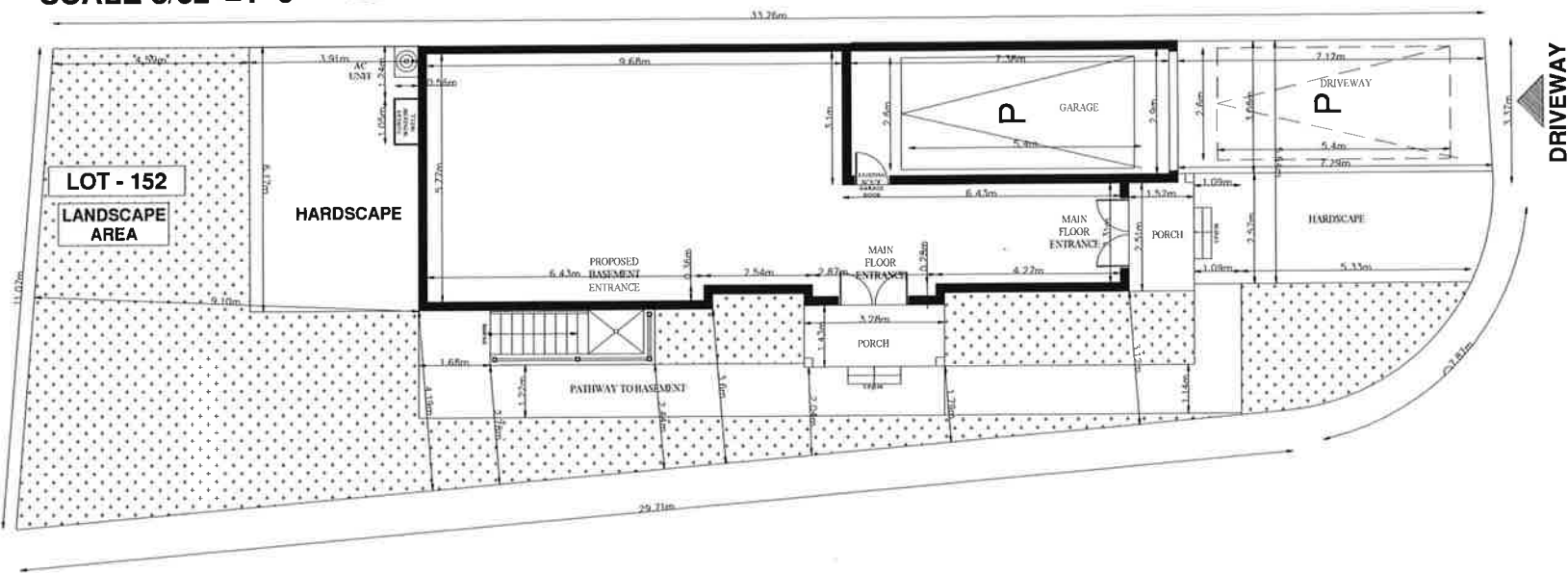
Date Application Deemed
Complete by the Municipality

Revised 2020/01/07

SITE PLAN
SCALE 3/32"=1'-0"



65 SUGARBERRY DRIVE



GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECONDARY UNIT AND
BELOW GRADE ENTRANCE
FROM LEFT SIDE.

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C.32.1 OF THE BUILDING CODE

SHIVANG TARIKA106440

NAMESIGNATUREBCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

65 SUGARBERRY DRIVE

EXISTING DWELLING

PROJECT

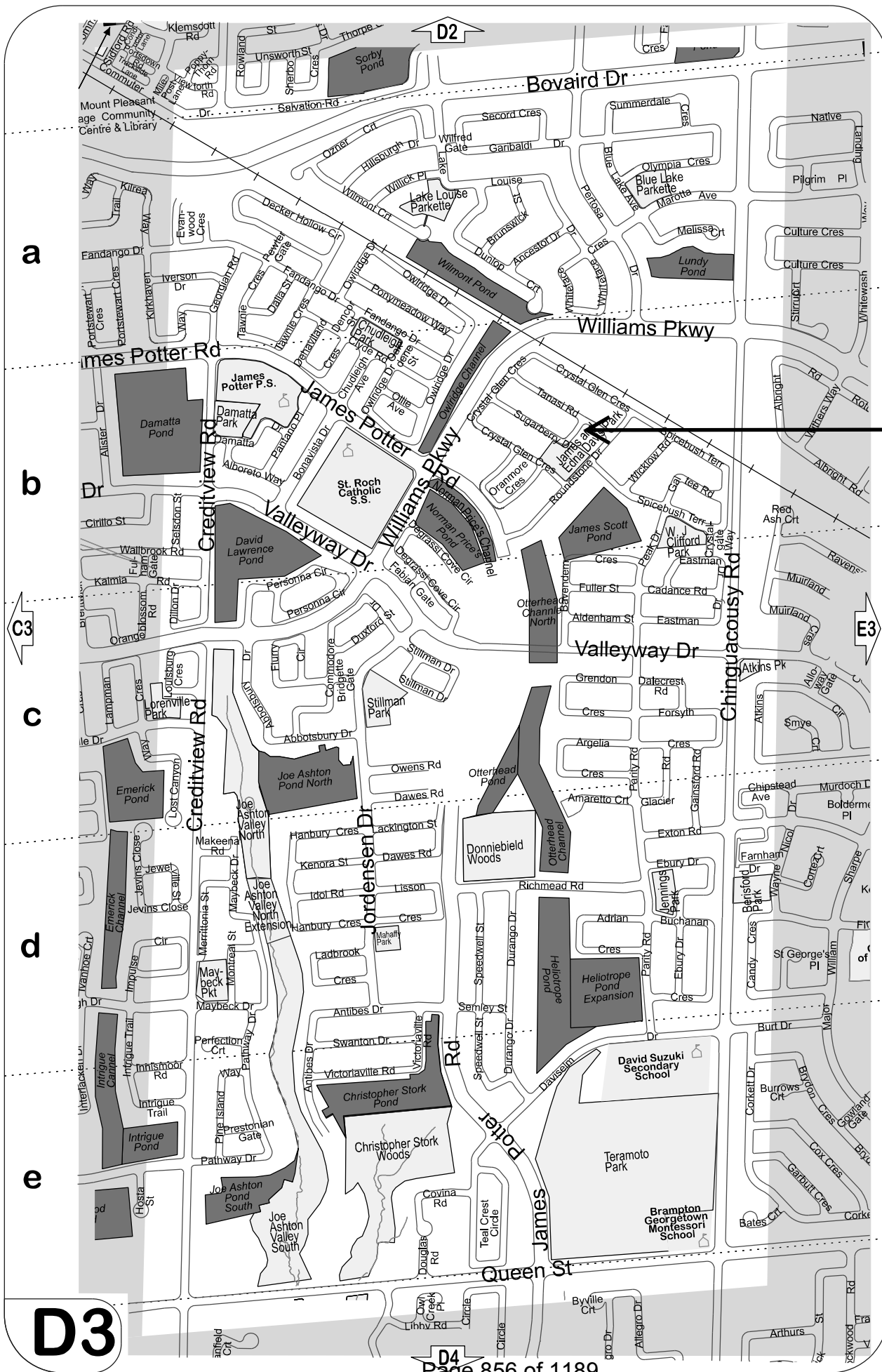
JAN 2023

SCALE 3/32"=1'-0"

SHEET

A1

Page 855 of 1189



A-2023-0060

D3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MARCIA LAWRENCE** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 56, Plan M-174 municipally known as **102 SWENNEN DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an exterior side yard setback of 2.22m (7.28 ft.) whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.).
3. To permit a driveway width of 8.1m (26.57 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.).
4. To permit 0.0m permeable landscaping between the driveway and the side lot line whereas the by-law requires a minimum 0.6m (1.97 ft.) permeable landscaping between the side lot line and the driveway.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

March 15, 2023

To: Committee of Adjustment
MARCIA LAWRENCE
LOT 56, PLAN M-495
A-2023-0061 – 102 SWENNEN DRIVE

Please **amend** application **A-2023-0061** to reflect the following:

1. To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an exterior side yard setback of 2.22m (7.28 ft.) whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.).
3. To permit a driveway width of 8.1m (26.57 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.).
4. To permit 0.0m permeable landscaping between the driveway and the side lot line whereas the by-law requires a minimum 0.6m (1.97 ft.) permeable landscaping between the side lot line and the driveway.

Shivang Tarika

Applicant/Authorized Agent

FILE NUMBER:

A-2023-0061

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Marcia Lawrence

Address 102 Swennen Dr. Brampton, ON, L6V4C9

Phone # +1 416 938 1676

Fax #

Email ma4law@gmail.com

2. Name of Agent Shivang Tarika

Address 106 Morningside Dr. Georgetown, L7G0M2, ON

Phone # 4168212630

Fax #

Email shivang@relysolution.com

3. Nature and extent of relief applied for (variances requested):

1. To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line

2) To permit an exterior side yard setback of 2.13meters whereas the by-law requires a minimum exterior side yard setback of 3.00 meters.

4. Why is it not possible to comply with the provisions of the by-law?

The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide a second dwelling unit the entrance has to be below the grade which is not possible on rear yard and the other side of the property and privacy reason. So the only space where owner can construct the entrance is the side of the property. The entrance is designed in such a way that it doesn't block the passage to move to the rear yard. We

5. Legal Description of the subject land:

Lot Number 56

Plan Number/Concession Number M495

Municipal Address 102 Swennen Dr, Brampton, ON, L6V4C9

6. Dimension of subject land (in metric units)

Frontage 12.22 M

Depth 30.48 M

Area 370.47

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area: 106.24sqm
Gross Floor Area: 219.5 sqm
No. of storeys: 2
Width: 7.68 m, Length: 15.24 m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area: 106.24sqm
Gross Floor Area: 219.5 sqm
No. of storeys: 2
Width: 7.68 m, Length: 15.24 m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	7.02 M
Rear yard setback	8.53 M
Side yard setback	3.54 M
Side yard setback	1.31 M

PROPOSED

Front yard setback	7.02 M
Rear yard setback	8.53 M
Side yard setback	2.22 M
Side yard setback	1.31 M

10. Date of Acquisition of subject land: 2012
11. Existing uses of subject property: Residential - Single Dwelling Unit
12. Proposed uses of subject property: Residential - Two Dwelling Unit
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2008
15. Length of time the existing uses of the subject property have been continued: 10yrs

16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Shivang Parikh
Signature of Applicant(s) or Authorized Agent

DATED AT THE Town City OF Haltan Hills Brampton
THIS 28th DAY OF February, 20 23.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Shivang Parikh, OF THE Town OF Haltan Hills
IN THE Town OF Haltan SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 28th DAY OF Feb., 20 23

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Shivang Parikh
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R3A(2)-237, MATURE

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHI S.

Zoning Officer

FEB 21 2023

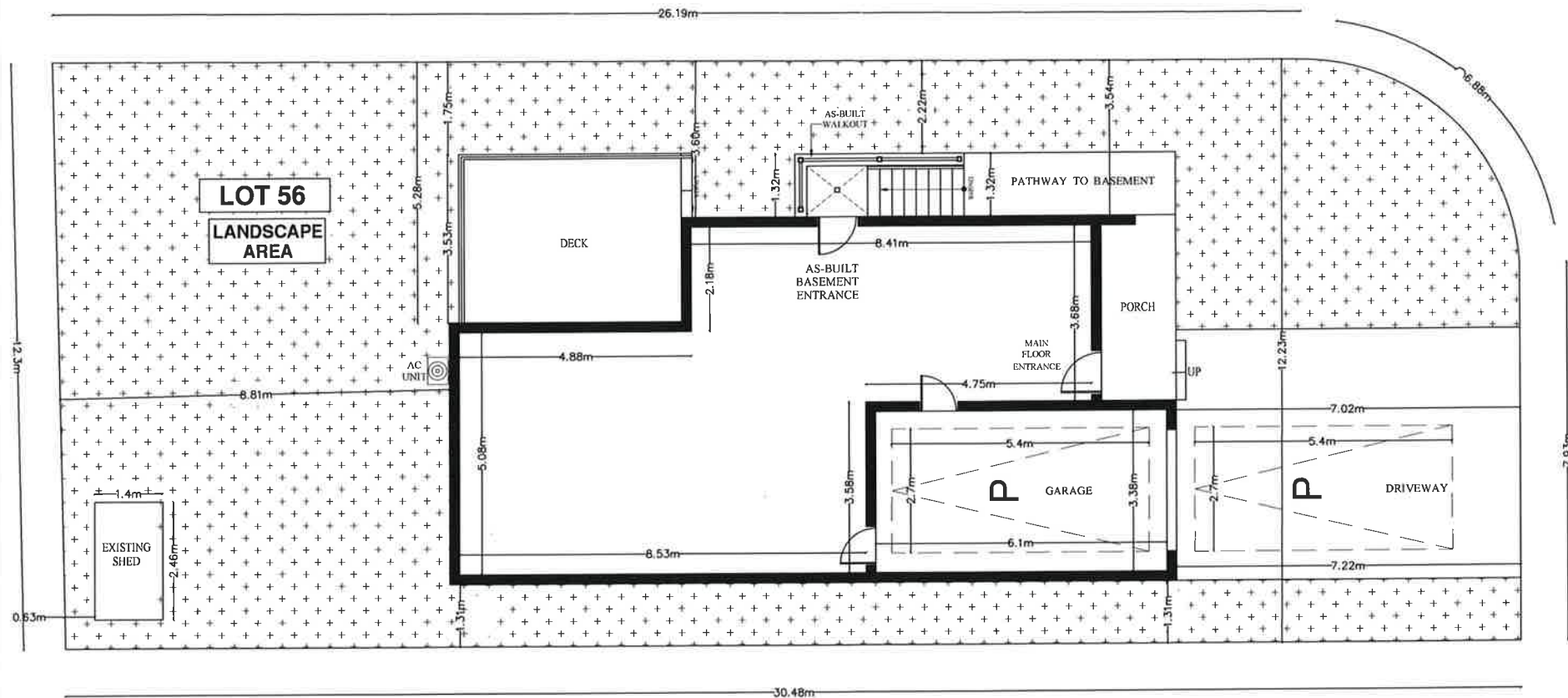
Date

DATE RECEIVED

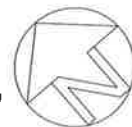
Feb. 28, 2023

Date Application Deemed
Complete by the Municipality

Revised 2020/01/07



SITE PLAN
SCALE 3/32"=1'-0"



102 SWENNEN DRIVE

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
SECONDARY UNIT AND
BELOW GRADE ENTRANCE
FROM RIGHT SIDE.**

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C-325.1 OF THE BUILDING CODE

SHIVANG TARIKA **10640**
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

102 SWENNEN DRIVE

EXISTING DWELLING

PROJECT
FEB 2023
SCALE 3/32"=1'-0"

SHEET
A1

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **DAVID CLOUTIER** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 38, Plan 43M-1379 municipally known as **31 LINKS LANE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an accessory structure (gazebo) having a gross floor area of 40.26 sq. m (433.36 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
2. To permit habitable space within an accessory structure (installation of a washroom) whereas the by-law does not permit habitable space within an accessory structure.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO
Application for Consent: _____ NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

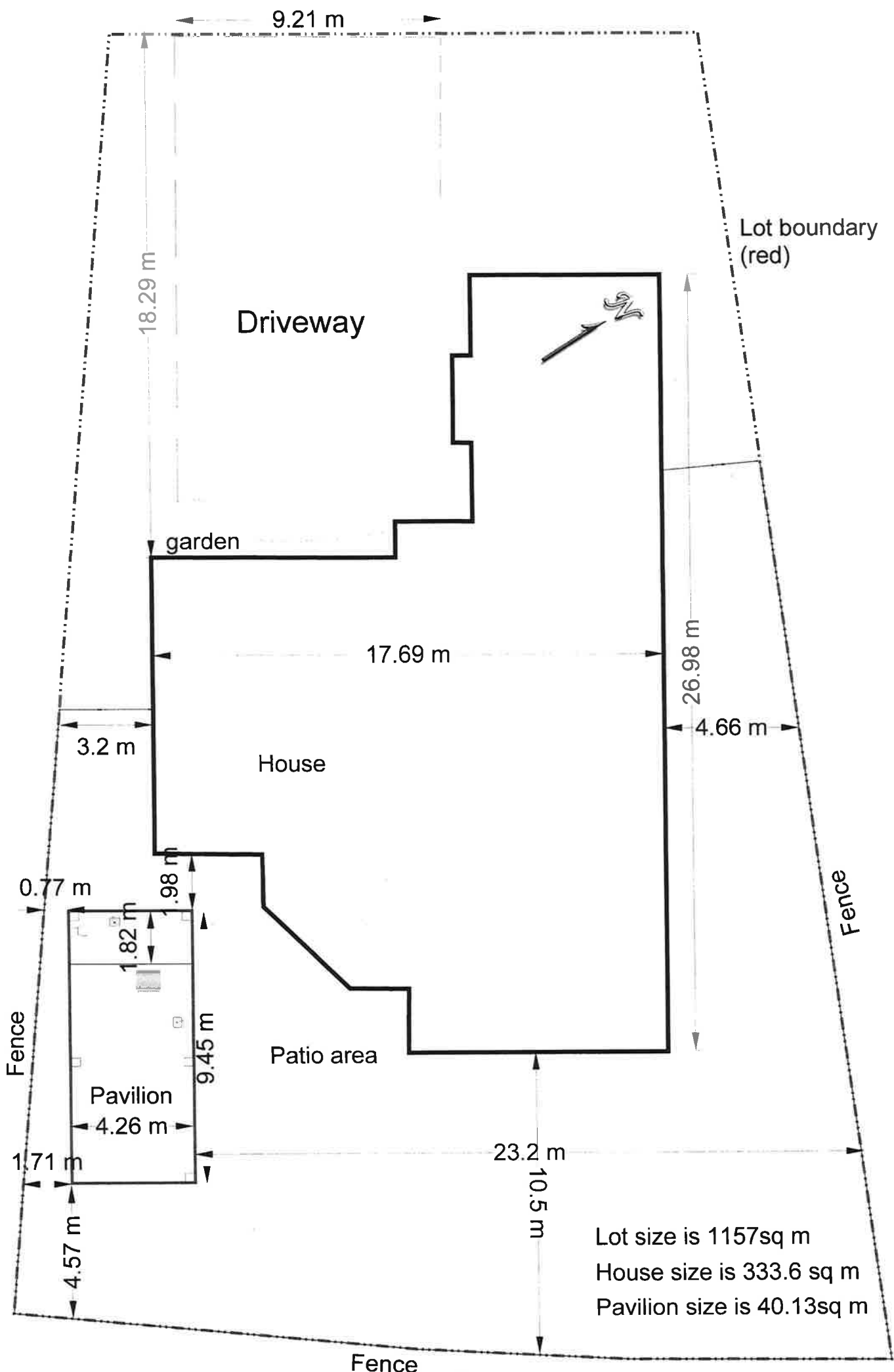
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



Lot placement of Links Lane pavilion

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

A-2023-00 62



January 16, 2023

To Whom it May Concern,

Please find attached a completed Application for a Minor Variance or Special Permission for the following property:

31 Links Lane
Brampton, ON

Thank you,

A handwritten signature in black ink, appearing to read 'Chris Kotowicz', is placed above the printed name.

Christopher A. Kotowicz
Clearkut Landscaping Inc.
416-617-7469
clearkutlandscaping@gamil.com

Flower City



brampton.ca

FILE NUMBER: A-2023-0062

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) DAVID CLOUTIER
Address 31 LINKS LANE
BRAMPTON, ONTARIO
L6Y 5H2
Phone # (416) 707-3010 Fax # _____
Email dcloutie@kelustech.com
2. Name of Agent Chris Kufowicz / Clear Kut Landscaping Inc
Address 13442 22nd Ave Rd Georgetown ON L1G 4S4
Phone # 416-617-7469 Fax # N/A
Email ClearKutLandscaping@gmail.com
3. Nature and extent of relief applied for (variances requested):
1) To permit an accessory structure having
area of 40.13 square metres
2) To permit an accessory building to be used as
habitable space (installation of a washroom)
4. Why is it not possible to comply with the provisions of the by-law?
The Proposed Pavilion is 40.13 sqm
Proposed - toilet and sink
5. Legal Description of the subject land:
Lot Number 38 R# 10-08-0-012-40120-0000
Plan Number/Concession Number PLM1379 LOT 38
Municipal Address 31 Links Lane Brampton ON L6Y 5H2
6. Dimension of subject land (in metric units)
Frontage 9.21 M
Depth 16.56 M
Area 157 Sq. M
7. Access to the subject land is by:
Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐
Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

Home

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

290 sq m Only
bungalow - 322.6 sq m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

New

14x31 Pavilion 40.32 m²

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback
Rear yard setback
Side yard setback
Side yard setback

18.29 M
10.5 M
North side 4.66 M
South side 3.2 M

PROPOSED

Front yard setback
Rear yard setback
Side yard setback
Side yard setback

30.5 M
4.97 M
North side 23.2 M
South side 27 M

10. Date of Acquisition of subject land: November 2020
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2003
15. Length of time the existing uses of the subject property have been continued: 10 years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☒
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☐

If answer is yes, provide details:

File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 11 DAY OF January, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Chris Klotowicz OF THE Town OF Georgetown
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Paul THIS 25th DAY OF

Feb., 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

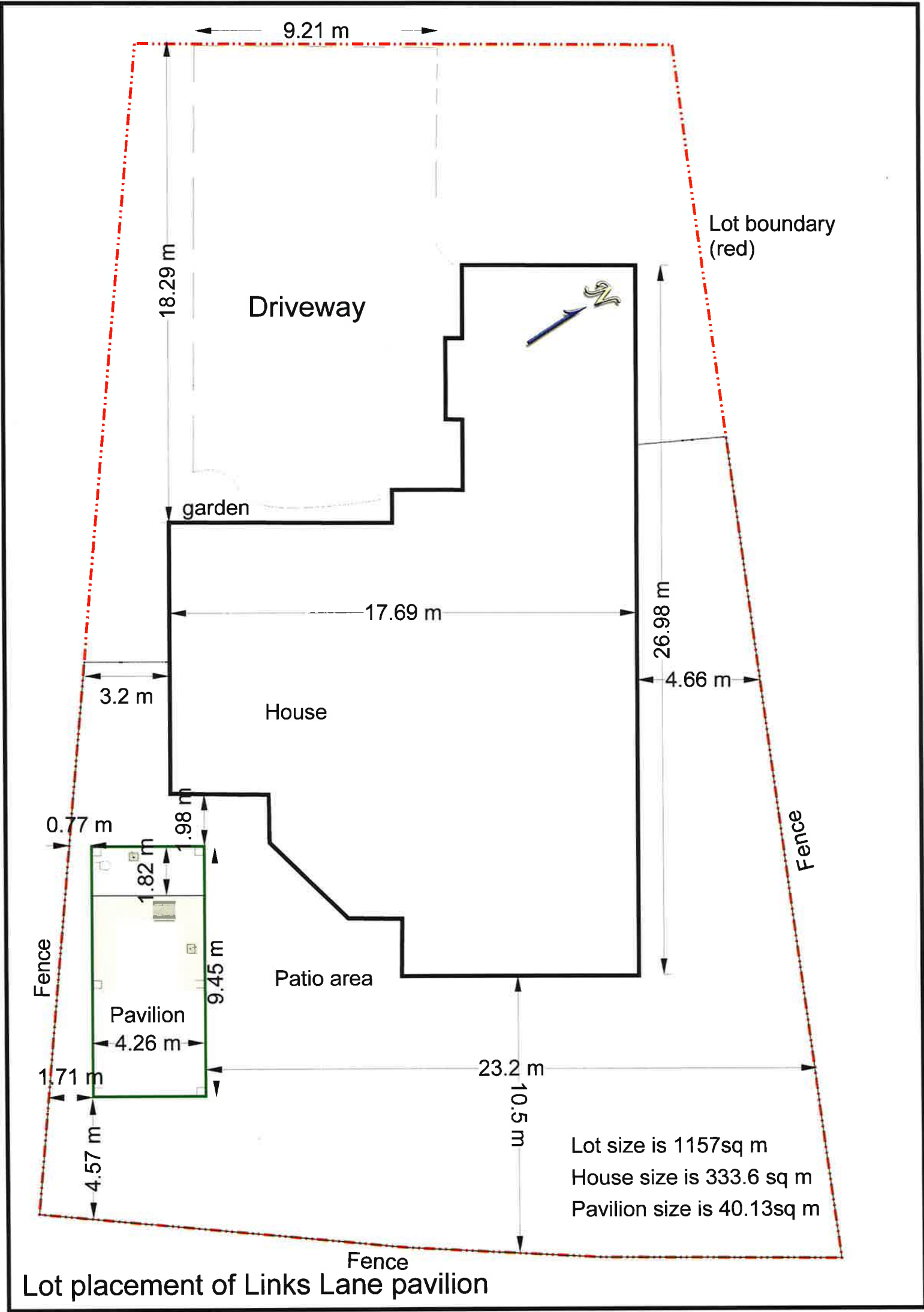
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

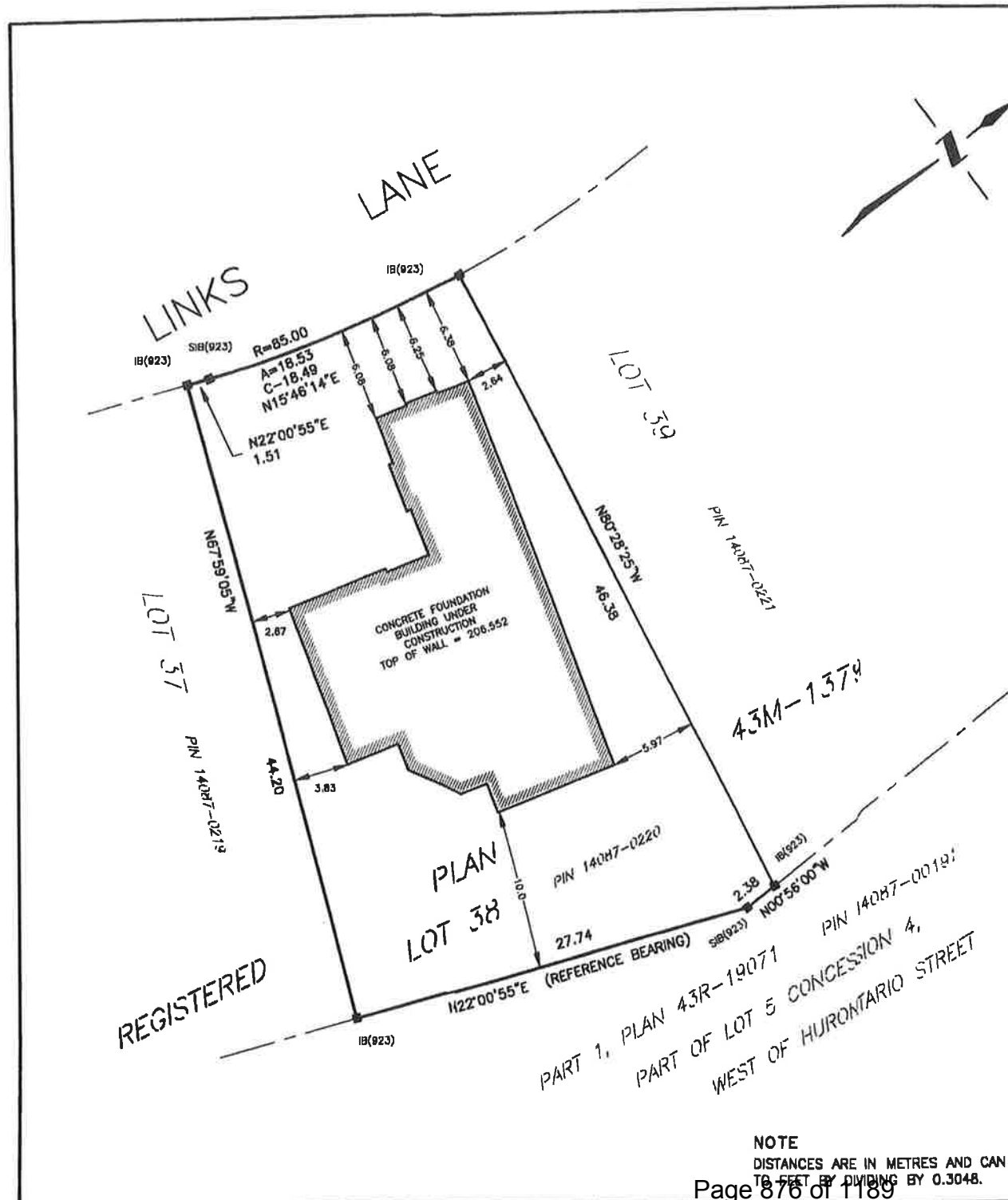
Zoning Officer

Date

DATE RECEIVED Feb. 23, 2023

Revised 2020/1/07





SURVEYOR'S REAL PROPERTY REPORT
 PART 1
 PLAN OF
LOT 38
REGISTERED PLAN 43M-1379
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

TARASICK, McMILLAN LIMITED
 ONTARIO LAND SURVEYORS
 © COPYRIGHT 2001

NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF LOT 38 AS SHOWN ON REGISTERED PLAN 43M-1379 HAVING A BEARING OF N22°00'55"E

■ DENOTES SURVEY MONUMENT FOUND
 □ DENOTES SURVEY MONUMENT SET
 SIB DENOTES STANDARD IRON BAR
 IB DENOTES IRON BAR
 MEAS. DENOTES MEASURED
 RP DENOTES REGISTERED PLAN

PART 2
 LOCATION: Lot 38, Registered Plan 43M-1379
 City of Brampton, Regional Municipality of Peel,
 Links Lane
 SUBJECT TO: there are no easements apparent on title
 COMMENTS: at the time of this survey the buildings were under construction.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON FEBRUARY 7, 2001

March 8th 2001
 DATE JOHN McMILLAN
 ONTARIO LAND SURVEYOR

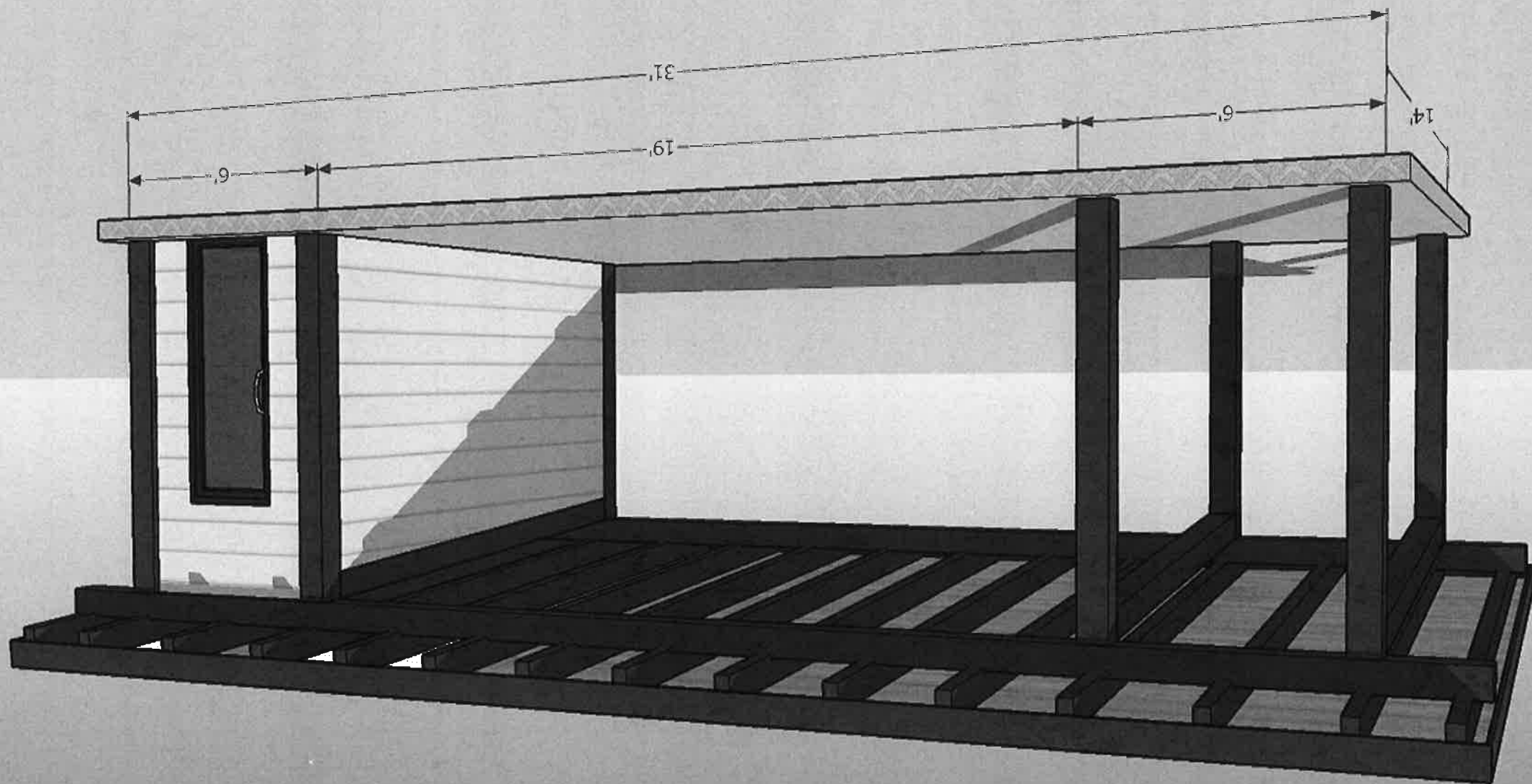
ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
 1340561

THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 in accordance with
 Regulation 1026, Section 29(3).

TARASICK, McMILLAN LIMITED
 ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42
 MISSISSAUGA, ONTARIO L5L 5R2
 TEL: (905) 589-8848
 FAX: (905) 589-3160

DRAWN BY: P.N. FILE No. 573-38





A-2023-0062

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **BIKRAM SINGH AND MANDEEP GILL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 88, Plan 43M-2063 municipally known as **34 ABIGAIL GRACE CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a landing to encroach 4.4m (14.44 ft.) into the minimum required rear yard resulting in a rear yard setback of 3.1m (10.17 ft.) whereas the by-law permits a maximum encroachment of 3.0m (9.84 ft.) resulting in a rear yard setback of 4.5m (14.76 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

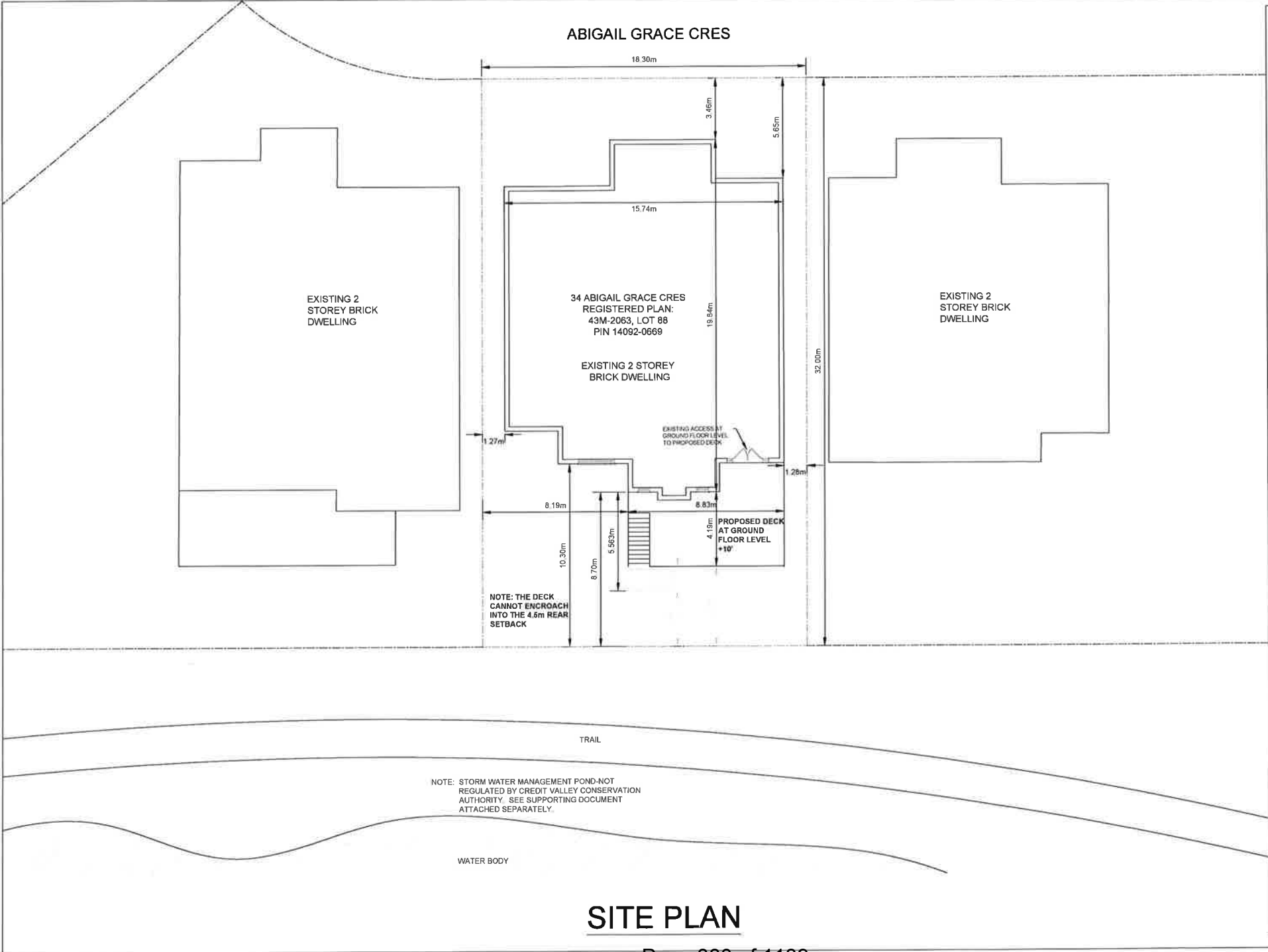
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE PLAN

General Notes





No.	Revision/Issue	Date

Firm Name and Address



NuCon
ENGINEERING

10-589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

Project Name and Address

34 ABIGAIL GRACE CRES
BRAMPTON ON L6X 5R2

Project	Sheet
	A102

Date

Scale
1/8" = 1'-0"

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

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How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
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You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

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Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0063

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Bikram Singh and Mandeep Gill
Address 34 Abigail Grace Cres.
Brampton, ON
L6X 5R2
Phone # 947-296-7420 Fax # _____
Email Info@avalontranslink.com
2. Name of Agent NANTHARUBAN RAJADURAI
Address 10-589 MIDDLEFIELD RD
SCARBOROUGH, ON
M1V 4Y6
Phone # 647-767-2035 Fax # _____
Email NANTHAN@NUCONENGINEERING.COM

3. Nature and extent of relief applied for (variances requested):

LANDING & A SMALL PORTION OF STAIRS OF THE DECK TO ENCROACH INTO THE MINIMUM REAR YARD SETBACK. 1.4 m ENCROACHMENT INTO 4.5m MINIMUM SETBACK FOR A SMALL PORTION OF THE STAIRS, SEE ARCHITECTURAL DRAWINGS.

4. Why is it not possible to comply with the provisions of the by-law?

ALREADY BUILT WITHOUT TAKING THE REAR SETBACK INTO CONSIDERATION.

PREVIOUSLY APPROVED PERMIT #: 22 289430 000 00 HM

5. Legal Description of the subject land:

Lot Number LOT 88
Plan Number/Concession Number 43M-2063
Municipal Address 34 ABIGAIL GRACE CRES, BRAMPTON, ON, L6X 5R2

6. Dimension of subject land (in metric units)

Frontage 18.3 m
Depth 32.0 m
Area 585.6 sq. m.

7. Access to the subject land is by:

Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐

Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING 2 STOREY BRICK DWELLING - 266.45 sq. m. FOOT PRINT
WIDTH - 15.74 m
LENGTH - 19.77 m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

DECK(8.83mX4.25m)

PREVIOUSLY APPROVED PERMIT #: 22 289430 000 00 HM

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	5.65 m	DWELLING
Rear yard setback	8.7 m	
Side yard setback	1.27 m	
Side yard setback	1.28 m	

PROPOSED

Front yard setback	N/A	DECK AT REAR YARD
Rear yard setback	3.0 m	FOR A SMALL PORTION OF THE STAIRS (SEE DRAWINGS), MINOR VARIANCE REQUIRED
Side yard setback	8.19 m	
Side yard setback	1.28 m	

10. Date of Acquisition of subject land: May 10, 2023
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: DWELLING = 2020-2021 & DECK = 2022
15. Length of time the existing uses of the subject property have been continued: AT LEAST 3 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 29 DAY OF 02, 20 23

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, NANTHARUBAN RAJADURAI OF THE SCARBORA OF NUCON ENGINEERING INC.

IN THE PROVINCE OF ONTARIO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Feb THIS 28th DAY OF

Feb, 20 23

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

R1E-18-2502

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Tall Manne
Zoning Officer

Feb 24, 2023
Date

DATE RECEIVED Feb. 28, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

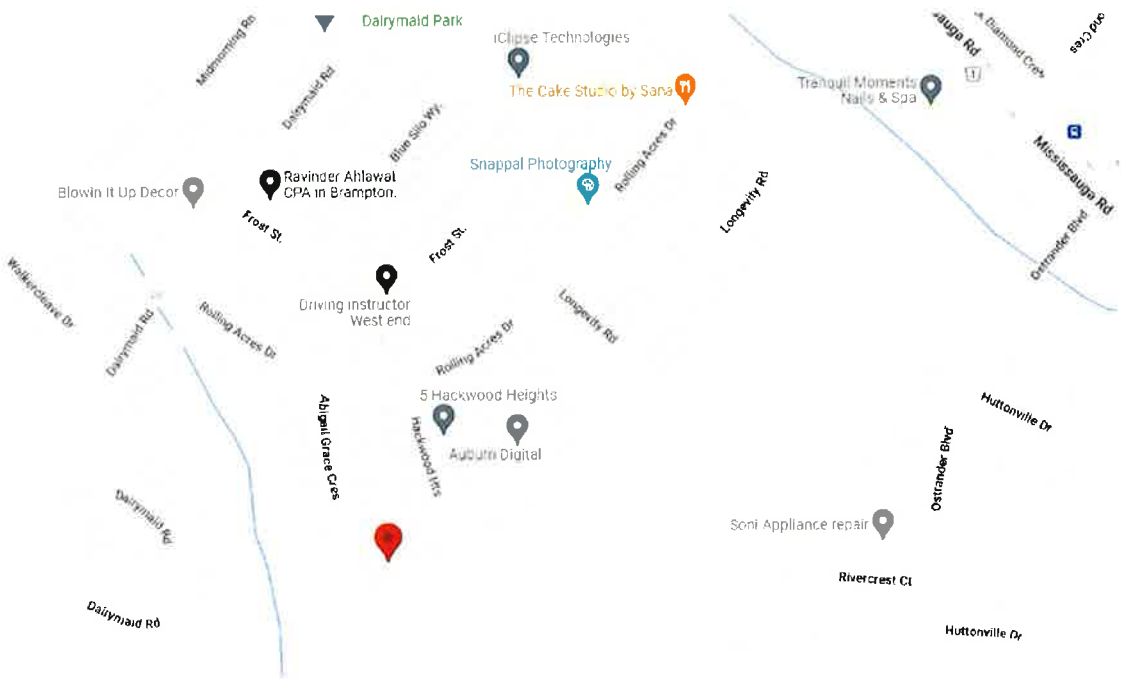
PROPOSED DECK

34 ABIGAIL GRACE CRES., BRAMPTON ON L6X 5R2

SCOPE: REVISION TO PERMIT
22 289430 000 00 HM
PROPOSED TO MAKE DECK
SMALLER (FROM 40 x 14 TO 25 x 14)

MINOR VARIANCE REQUIRED

RELIEF REQUIRED FOR STAIRS TO
ENCROACH 1.4m INTO THE MINIMUM
REAR YARD SETBACK OF 4.5m.



NEIGHBOURHOOD PLAN


DRAWING LIST

- A100 COVER SHEET
- A101 CONSTRUCTION NOTES
- A102 SITE PLAN
- A103 DECK FOUNDATION PLAN, BLOCKING & SPIGOT DETAIL
- A104 DECK SECTION/DECK SOUTH ELEVATION
- A105 STAIR SECTION
- A106 REFERENCE
LEGAL SURVEY DRAWING
REGISTERED PLAN: 43M-2063,
LOT 88, PIN 14092-0669

General Notes

No.	Revision/Issue	Date

Print Name and Address



10-589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

Print Name and Address

34 ABIGAIL GRACE CRES,
BRAMPTON, ON
L6X 5R2

Project	Sheet
Date	A100
Scale	

1. DESIGN LOADS FOR THE DECK SHALL BE THE FOLLOWING:
DEAD LOAD = 10 PSF
LIVE LOAD = 40 PSF.

2. PRESSURE TREATED LUMBER NUMBER 2 SPF OR BETTER WOOD AND CORROSION RESISTANT SPIRAL NAILS SHALL BE USED.

3. THE DECK SHALL NOT BE SUPPORTED ON BRICK VENEER.

4. CONCRETE PIERS SHALL BEAR ON UNDISTURBED SOIL AND THE FACTORED BEARING CAPACITY SHALL BE DETERMINED PRIOR TO CONSTRUCTION BY THE CONTRACTOR AND NOT BE LESS THAN 75 kPa.

5. THE ALLOWABLE BEARING CAPACITY SHALL BE REDUCED BY 50% WHEN WATER IS AT OR NEAR THE BOTTOM OF THE FOOTING EXCAVATION.

6. JOISTS SHALL HAVE BRIDGING, AT LEAST, EVERY 6'-0" O.C.

7. CONTRACTOR SHALL CONDUCT INDEPENDENT SURVEY TO VERIFY EXISTING SITE CONDITIONS. ANY DISCREPANCIES WITH CONTRACT DRAWINGS SHALL BE REPORTED TO THE ENGINEER FOR REVIEW AND CLARIFICATIONS PRIOR TO THE COMMENCEMENT OF THE WORK.

8. THE STRUCTURE IS DESIGNED TO RESIST DESIGN LOADS IN ITS COMPLETED STATE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING OF WITHSTANDING LOADS IMPOSED ON THE PARTIALLY COMPLETED STRUCTURE DURING ITS CONSTRUCTION AND FOR DESIGNING AND PROVIDING SHORING AND TEMPORARY SUPPORTS.

9. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVINCE OF ONTARIO HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.

10. CONSTRUCTION LOAD SHALL NOT EXCEED DESIGN LOADS.

11. ANY CHANGES TO THE DESIGN SHALL BE COMMUNICATED TO DESIGN ENGINEER TO OBTAIN APPROVAL PRIOR TO CONSTRUCTION.

12. INSTRUCTIONS AND CONSTRUCTION PROCEDURES OF MANUFACTURERS SHALL BE FOLLOWED FOR STRUCTURAL MEMBERS.

13. WOOD FRAMING SHALL MEET THE REQUIREMENTS OF OBC-2012, SECTION .

14. NAILS AND SPIKES SHALL MEET THE REQUIREMENTS OF CSA STANDARD B111.

15. ALL CONCRETE MATERIALS, METHODS OF CONSTRUCTION, AND CONCRETE TESTS SHALL CONFORM TO CSA A23.1-14 AND CSA A-23.2-14.

PIERS

- PIERS SHALL CONSIST OF POURED CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 15 mpa (2,200 psi AFTER 28 DAYS)
- PIERS MUST EXTEND A MINIMUM OF 1.2M (4') BELOW GRADE AND BEAR ON UNDISTURBED SOIL.
- PIERS SHALL NOT EXTEND MORE THAN 3 TIMES THEIR WIDTH ABOVE GRADE.
- PIERS SHALL EXTEND A MINIMUM OF 150 mm (6") ABOVE GRADE.
- NEW FOUNDATIONS MUST NOT INTERFERE WITH EXISTING FOUNDATION DRAINAGE SYSTEMS.

- ANCHOR BOLTS SHALL BE ATTACHED TO STRUCTURAL LUMBER.
- A LEDGER BOARD SHALL HAVE THE SAME DIMENSIONS AS THE FLOOR JOISTS IT SUPPORTS.
- THE ANCHOR BOLTS SHALL NOT BE ATTACHED TO HOLLOW MASONRY OR BRICK VENEER. BOLTS MUST PASS THROUGH HOLLOW MASONRY OR BRICK VENEER AND CARE MUST BE TAKEN TO NOT OVERTIGHTEN BOLTS. IF POSSIBLE, SPACERS SHALL BE PLACED IN THE AIR SPACE.

- BEAMS SHALL A BEARING SURFACE ON EACH OF THEIR SUPPORTING MEMBER OF NOT LESS THAN THEIR WIDTH AND NOT LESS THAN 89 (3.5") IN LENGTH.

- WHERE INDIVIDUAL MEMBERS ARE BUTTED TOGETHER TO FORM A JOINT, THE JOINT SHALL OCCUR OVER A SUPPORT.
- BUILT UP BEAMS SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS NOT LESS THAN 89 (3.5") IN LENGTH, NOT MORE THAN 450 (18") APART, AND NOT MORE THAN 100 (4") FROM THE END.

- 38X235 (2"X10") OR LARGER MAY NOT BE CANTILEVERED MORE THAN 600 (24")
- FLOOR JOISTS MAY BE SUPPORTED ON THE TOPS OF BEAMS OR MAY BE SUPPORTED WITH PROPER METAL JOIST HANGERS.
- THE FLOOR JOISTS MUST BE MECHANICALLY FASTENED TO THE SUPPORTING MEMBER WITH TWO 82mm (3-1/4") NAILS.
- BRIDGING SHALL CONSIST OF 19 X 64 (1"X3") CROSS BRIDGING, 38 X 38 (2"X2") CROSS BRIDGING OR SOLID BLOCKING THE SAME DIMENSION AS THE SUPPORTED FLOOR JOISTS.
- BRIDGING SHALL BE LOCATED NOT MORE THAN 2100 (6'-11") FROM EACH SUPPORT OR OTHER ROWS OF BRIDGING.
- BRIDGING SHALL BE FASTENED WITH TWO 57mm (2-1/4") NAILS AT EACH END.

- DECKING SHALL CONSIST OF SOLID LUMBER AT LEAST 25.4 mm (1") THICK WHEN JOISTS ARE SPACED 400mm (16") OR LESS AND AT LEAST 38 mm (1 ½") WHEN JOISTS ARE SPACED 600mm (24"). WHEN DECKING IS INSTALLED AT AN ANGLE, JOIST SPACING SHALL BE REDUCED FROM 400mm (16") TO 300mm (12") AND FROM 600mm (24") TO 400mm (16").

- ALL FASTENERS USED MUST BE PROPERLY TREATED/COATED TO PREVENT CORROSION.
- EQUIVALENT SCREWS MAY BE USED IN LIEU OF NAILS.

- STAIRS SHALL CONFORM TO SECTION 9.8 OF THE ONTARIO BUILDING CODE.
- STAIR WIDTH SHALL NOT EXCEED 1200mm WHEN RISERS SUPPORT THE FRONT OF TREADS UNLESS TREADS DESIGNED FOR WIDER SPACING.
- THICKNESS OF TREADS SHALL BE MIN. 1" WHEN RISERS SUPPORT THE FRONT OF TREADS AND 38mm WHEN TREADS UNSUPPORTED AT FRONT AND DISTANCE BETWEEN STRINGERS IS NO GREATER THAN 750mm.
- MAX. HEIGHT OF RISERS SHALL BE 200mm OR $7\frac{7}{8}"$.

- INSTALL GLAZED GUARDS AND RAILING AS PER MANUFACTURE'S SPECIFICATIONS
- MINIMUM HEIGHT OF GUARD RAILS MUST BE 1070mm.
- GUARDS SHALL HAVE NO OPENING GRATER THAN 100mm OR FACILITATE CLIMBING BETWEEN 150-1070mm.



No.	Revision/Issue	Date

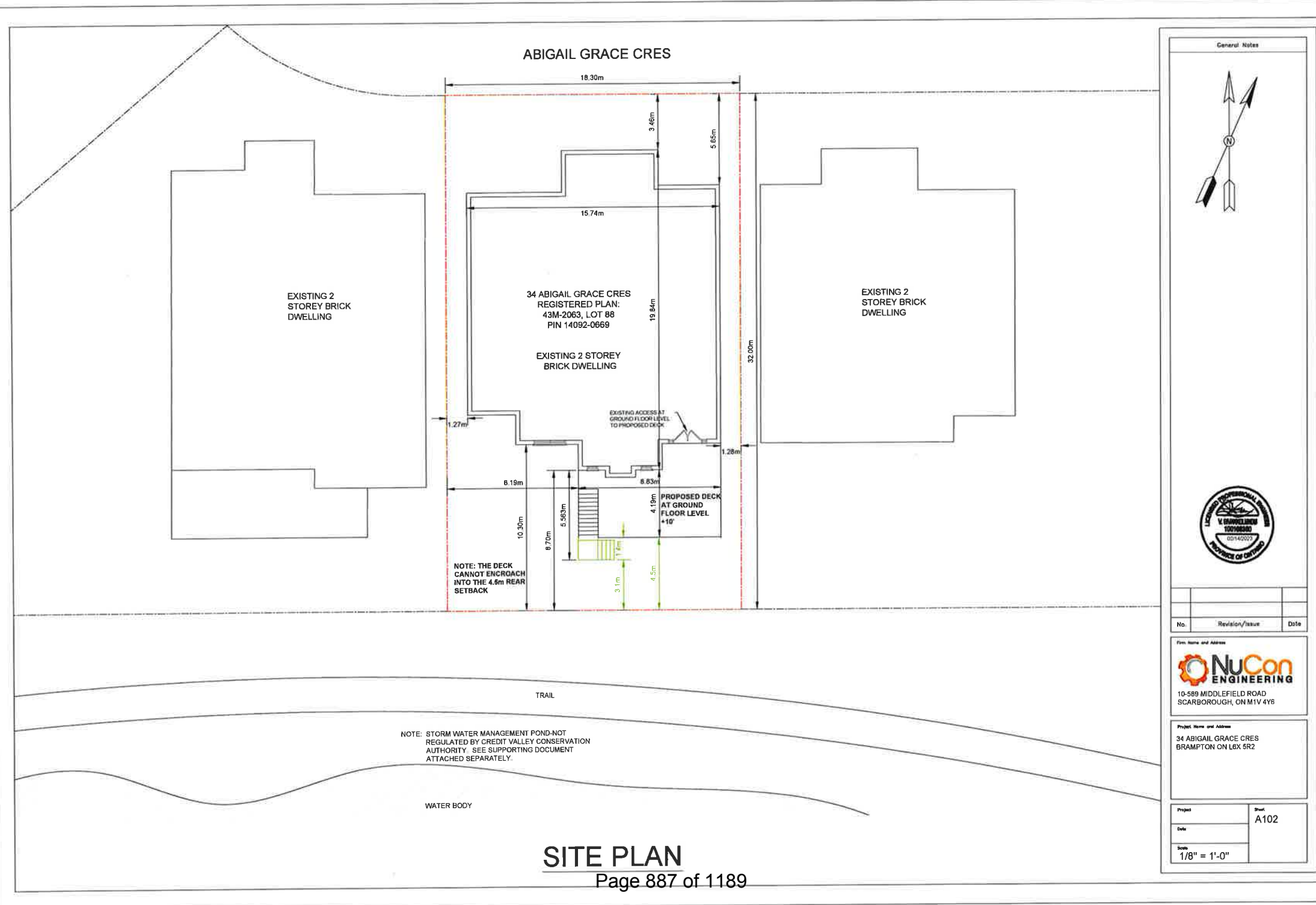
Firm Name and Address

10-589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

Project Name and Address

34 ABIGAIL GRACE CRES
BRAMPTON ON L6X 5R2

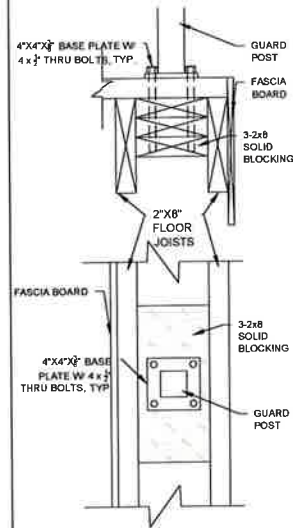
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Date	
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TRIBUTARY AREA CALCULATION-6X6 POST

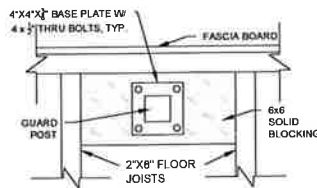
DEAD LOAD (DL) = 15 psf (0.72 kPa)
LIVE LOAD (LL) = 40 psf (1.92 kPa)
SNOW LOAD (SL) = 30.1 psf (1.45 kPa)

COMPRESSIVE RESISTANCE OF 6X6 POST, $P_r = 10550$ lbs
MAXIMUM FACTORED LOAD ON POST = 7,880 lbs (1.25 DL + 1.50 LL + 0.50 SL)



3 BLOCKING PARALLEL TO JOIST

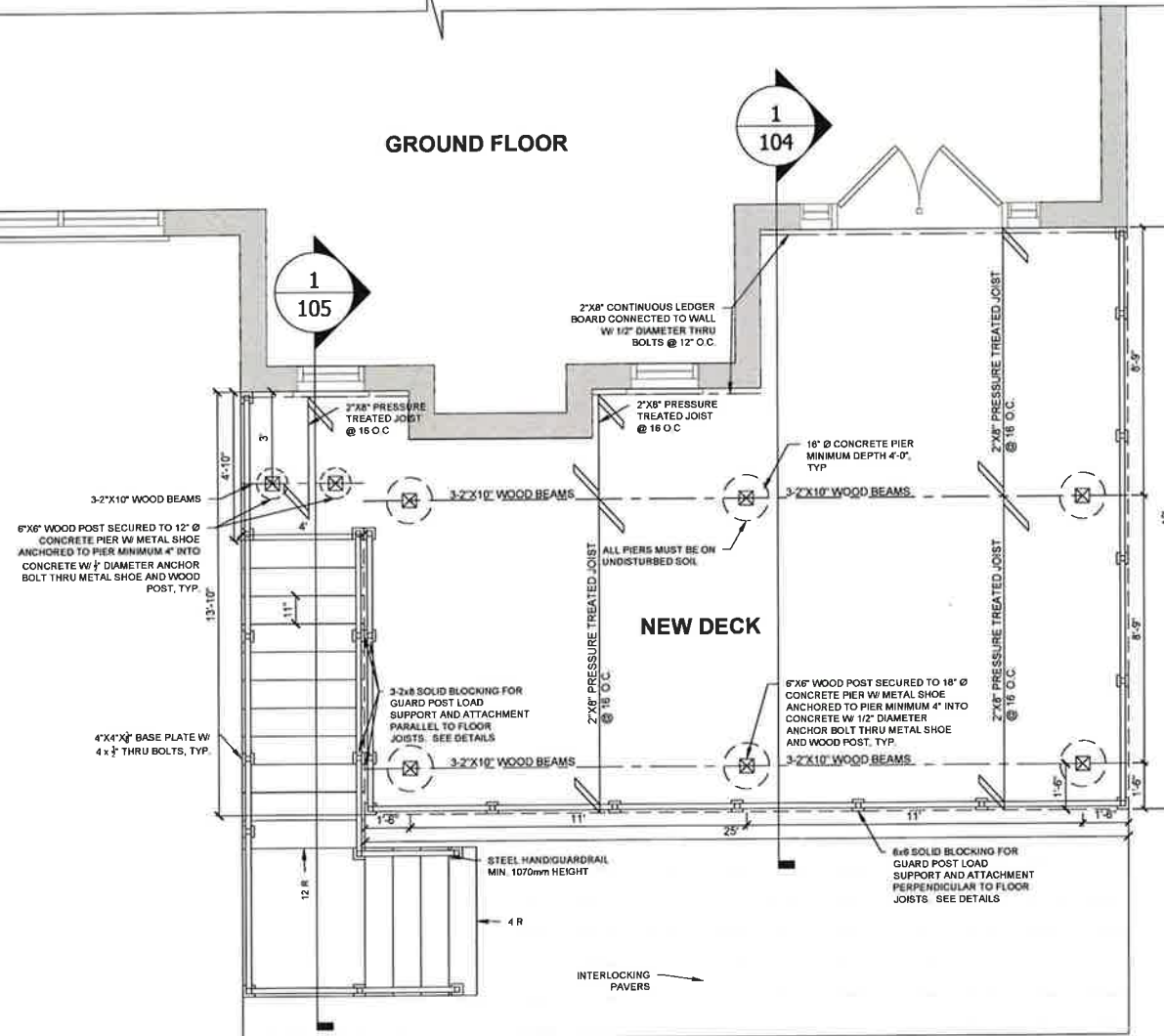
Scale: 1:5



2 BLOCKING PERPENDICULAR TO JOIST

Scale: 1:5

GROUND FLOOR



1 DECK FOUNDATION PLAN

Scale: 1:25

General Notes



No.	Revision/Issue	Date

Firm Name and Address

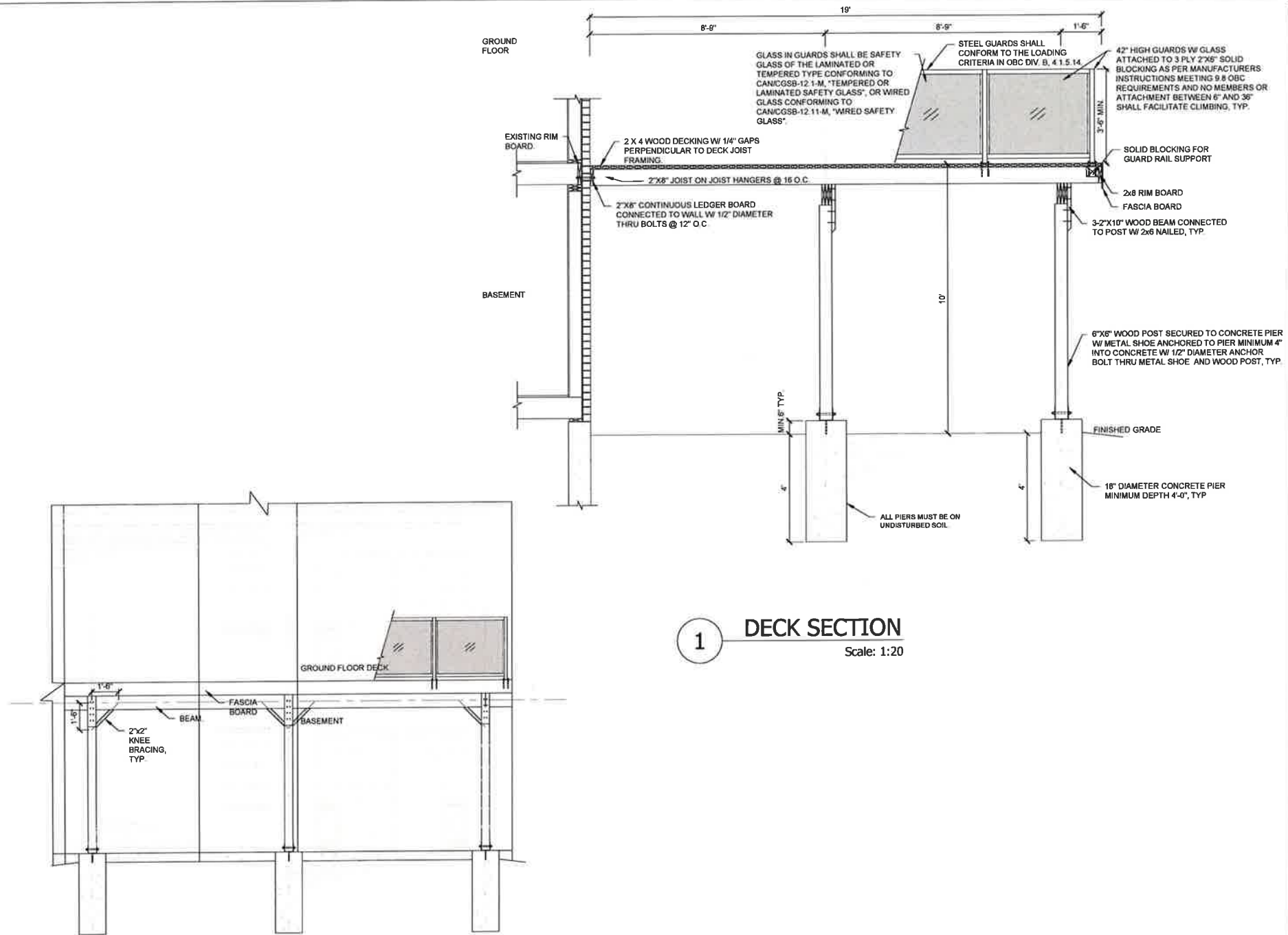


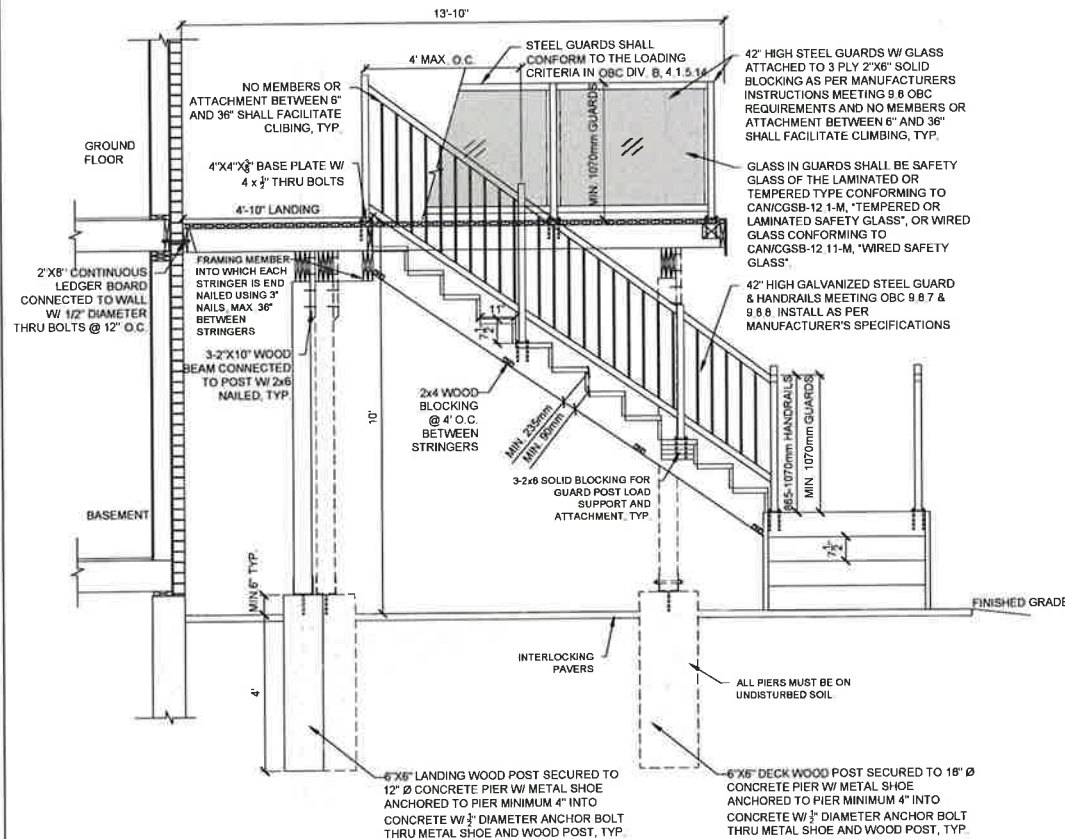
10-589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

Project Name and Address

34 ABIGAIL GRACE CRES
BRAMPTON ON L6X 5R2

Project	Sheet
	A103
Date	
Scale	





STAIR SECTION

STAIRS/HANDRAILS/GUARDRAILS

- STAIRS, HANDRAILS AND GUARD TAILS MUST BE BUILT ACCORDING TO O.B.C. 9.8.
- RISE SHALL BE MAX, 200mm OR $7\frac{7}{8}$
- THE HEIGHT OF HANDRAILS SHALL BE BETWEEN 865-1070mm
- HANDRAILS MUST BE ON AT LEAST ONE SIDES AND BE GRASPABLE AND CONTINUES ALONG THEIR ENTIRE LENGTH AND HAVE CIRCULAR CROSS-SECTION SHAPE WITH OUTSIDE DIAMETER BETWEEN 30-40mm.
- MINIMUM CLEARANCE BETWEEN GUARDRAILS AND HANDRAILS SHALL BE 50mm.
- HANDRAILS AND IT'S SUPPORT SHALL WITHSTAND LOADING VALUES OBTAINED FROM THE NON-CONCURRENT APPLICATION OF A CONCENTRATED LOAD NOT LESS THAN 0.9kN APPLIED AT ANY POINT AND IN ANY DIRECTION FOR ALL HANDRAILS AND A UNIFORM LOAD NOT LESS THAN 0.7 kN APPLIED IN ANY DIRECTION TO THE HANDRAIL.
- GUARDRAILS MUST BE 1070mm MEASURED VERTICALLY TO THE TOP OF GUARD FROM THE LEADING EDGE OF TREAD SURFACE..
- GLASS IN GUARDS SHALL BE,
 - SAFETY GLASS OF THE LAMINATED OR TEMPERED TYPE CONFORMING TO CAN/CGSB-12.1-M, "TEMPERED OR LAMINATED SAFETY GLASS", OR
 - WIRED GLASS CONFORMING TO CAN/CGSB-12.11-M, "WIRED SAFETY GLASS".
- WOODEN STAIR STRINGERS SHALL,
 - HAVE A MINIMUM EFFECTIVE DEPTH OF 90 MM, MEASURED PERPENDICULARLY TO THE BOTTOM OF THE STRINGER AT THE POINT OF MINIMUM CROSS-SECTION, AND AN OVERALL DEPTH OF NOT LESS THAN 235 MM,
 - BE SUPPORTED AND SECURED TOP AND BOTTOM,
 - BE NOT LESS THAN 25 MM ACTUAL THICKNESS IF SUPPORTED ALONG THEIR LENGTH AND 38 MM ACTUAL THICKNESS IF UNSUPPORTED ALONG THEIR LENGTH, AND
 - EXCEPT AS PERMITTED IN SENTENCE 11, BE SPACED NOT MORE THAN 900 MM O.C. FOR STAIRS SERVING A HOUSE
- FOR STAIRS SERVING A HOUSE, WHERE RISERS SUPPORT THE FRONT PORTION OF THE TREAD, THE SPACE BETWEEN STRINGERS SHALL BE NOT MORE THAN 1 200 MM.
- STAIR TREADS OF LUMBER, PLYWOOD OR O-2 GRADE OSB WITHIN DWELLING UNITS SHALL BE NOT LESS THAN 25 MM ACTUAL THICKNESS, EXCEPT THAT IF OPEN RISERS ARE USED AND THE DISTANCE BETWEEN STRINGERS EXCEEDS 750 MM, THE TREADS SHALL BE NOT LESS THAN 38 MM ACTUAL THICKNESS.

General Notes



No. Revision/Issue Date

Firm Name and Address

NuCon
ENGINEERING

10 589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

Project Name and Address

34 ABIGAIL GRACE CRES
BRAMPTON ON L6X 5R2

Project

Date

Scale

Sheet
A105

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOTS 87 AND 88
PLAN 43M-2063
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

10m 5m 0 10m 20metres

R-PE SURVEYING LTD., O.L.S.

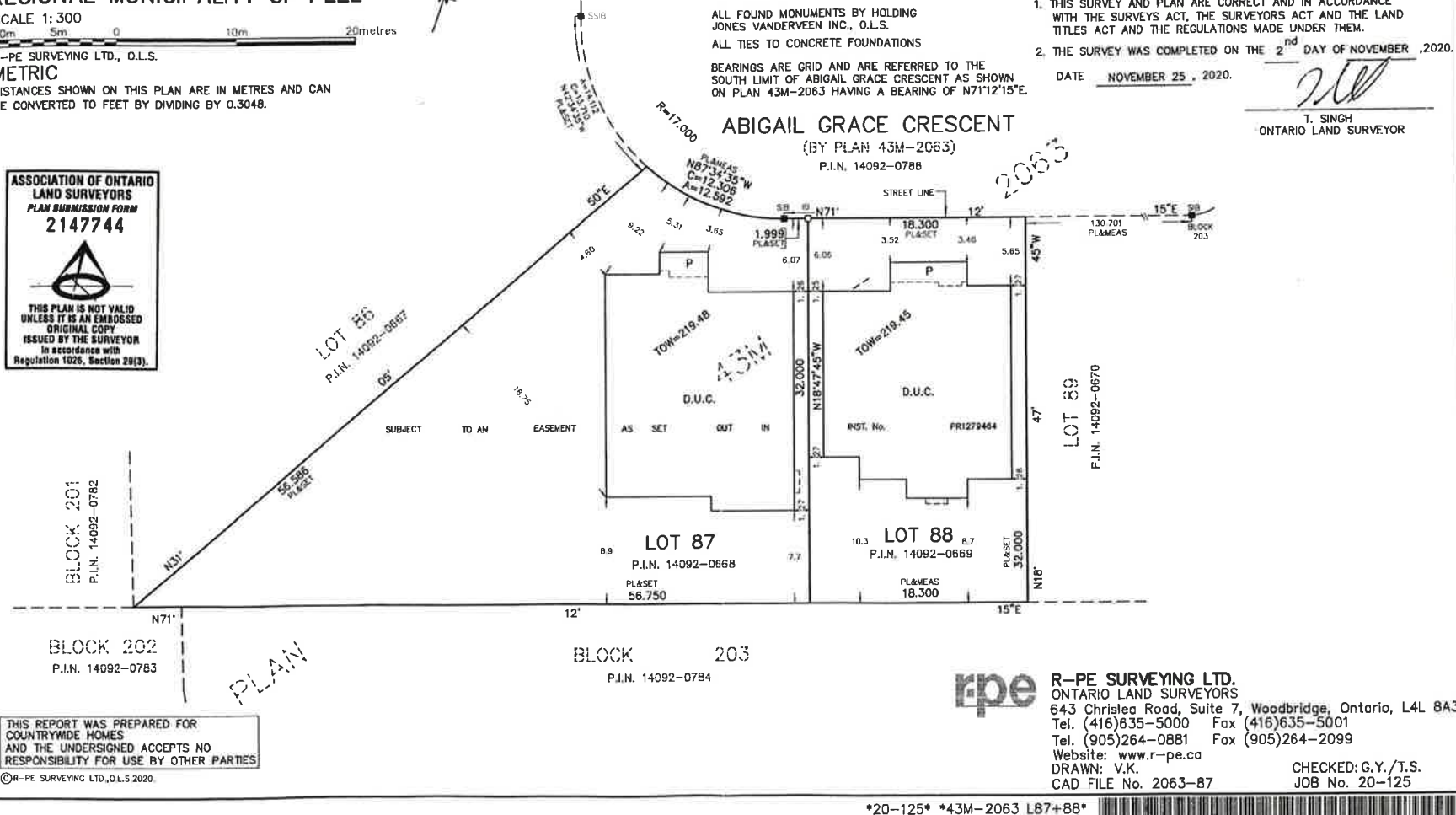
METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2147744



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
in accordance with
Regulation 1026, Section 29(3).



General Notes

No.	Revision/Issue	Date

Firm Name and Address

NuCon
ENGINEERING

10-589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

Project Name and Address

34 ABIGAIL GRACE CRES
BRAMPTON ON L6X 5R2

Project	Sheet
	A106
Date	
Scale	

RE: Property Inquiry to 34 and 36 Abigail Grace

2 messages

Bhatt, Stuti <stuti.bhatt@cvc.ca>

To: "Nanthan@nuconengineering.com" <Nanthan@nuconengineering.com>

Cc: "vermu@nuconengineering.com" <vermu@nuconengineering.com>

Wed, Jul 27, 2022 at 2:33 PM

Hi Nanthan,

Thanks for your inquiry.

We have checked our Upon reviewing our mapping and the documents you provided in regards to your property at to 34 and 36 Abigail Grace Cres in Brampton, we can provide the following comments.

The subject property does not contain any flood plains, watercourses, shorelines, wetlands, valley slopes or other environmental features of interest to Credit Valley Conservation (CVC). The subject property abuts a storm water management pond which is not regulated by CVC. Furthermore, the property is not subject to Ontario Regulation 160/06, (the Development, Interference with Wetlands and Alteration to Shorelines & Watercourses Regulation) or to the policies of the CVC at this time. On this basis, a CVC permit is not required for development on the site.

If you have any further questions, please do not hesitate to contact me.

Thanks,

Stuti Bhatt

Planning Technician, Planning and Development Services | Credit Valley Conservation

905-670-1615 ext 350 | M: 437-221-3614

stuti.bhatt@cvc.ca | cvc.ca



Nanthan Rajadurai <Nanthan@nuconengineering.com>

To: "Bhatt, Stuti" <stuti.bhatt@cvc.ca>, Amanda dickie@brampton.ca

Cc: "vermu@nuconengineering.com" <vermu@nuconengineering.com>

Wed, Jul 27, 2022 at 2:55 PM

Thank you for the information Stuti. We will contact the City of Brampton and let them know. Thank you very much for your clarification.


[Quoted text hidden]

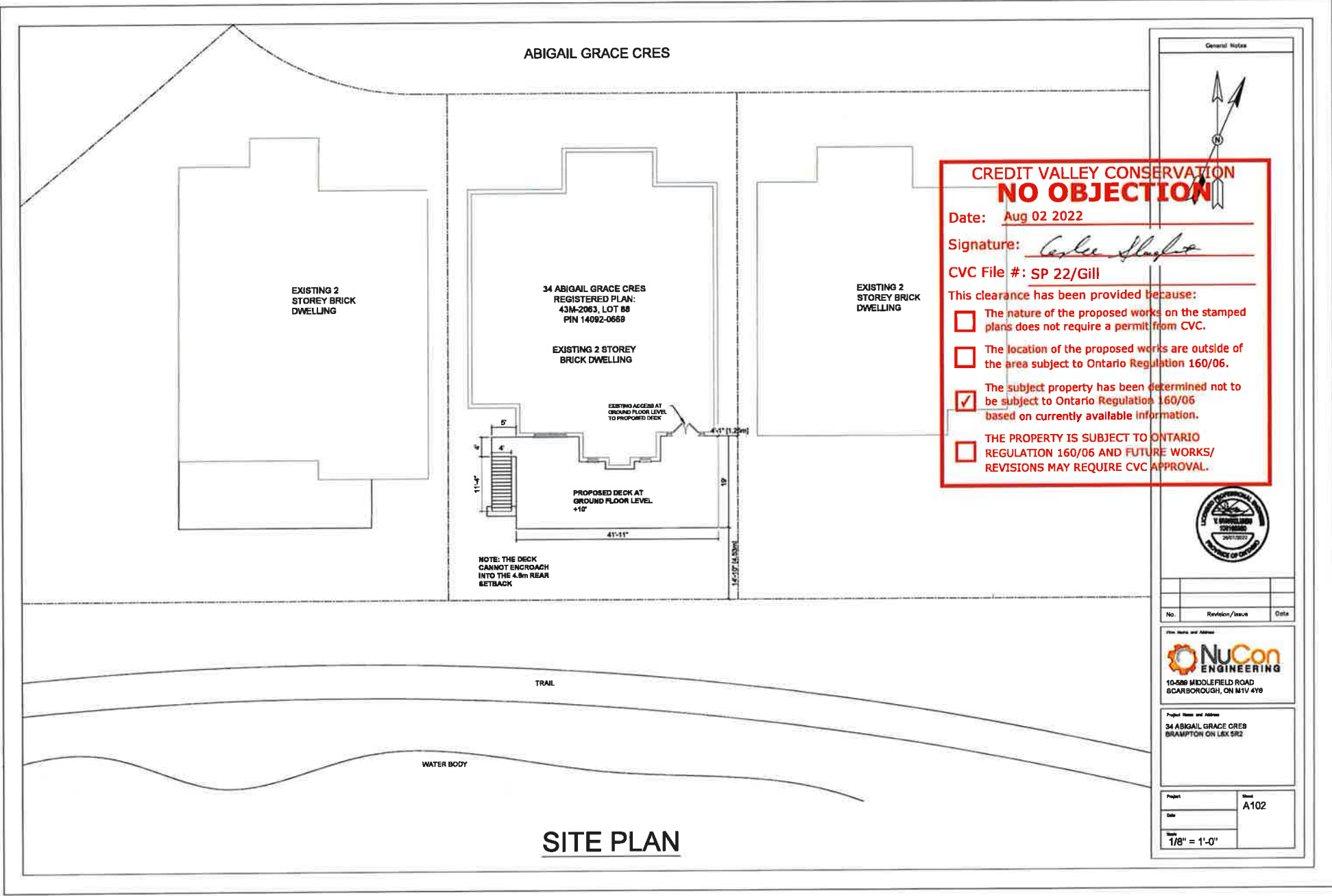
Regards,

Nantharuban Rajadurai

Architectural Technologist

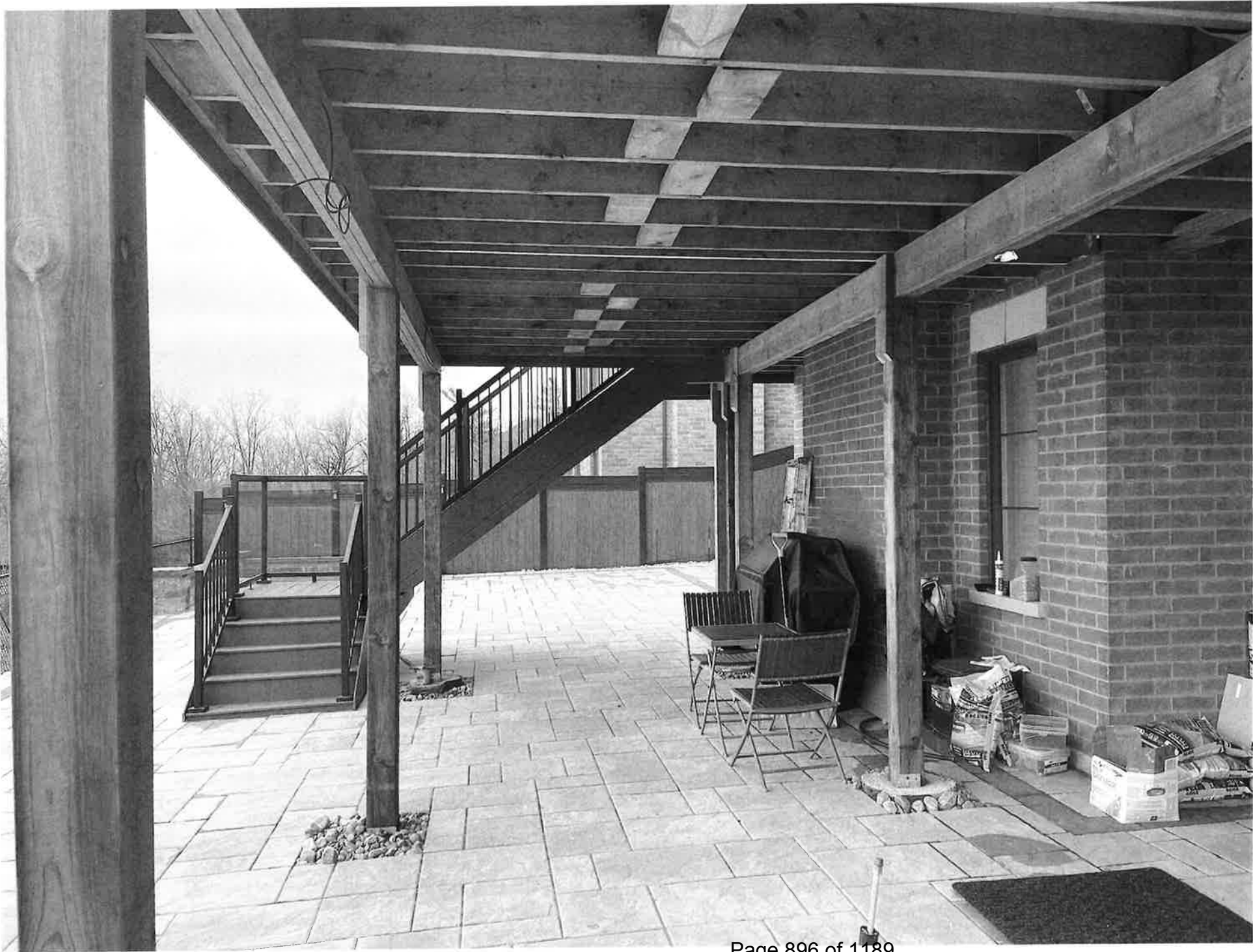
NuCon Engineering Inc.





















APPLICATION # A-2022-0047
WARD #1

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MANUPRIYA SHARMA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 24, Plan BR-32, Part of Lot 23, Plan 43R-9448 municipally known as **43 DAVID STREET**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s) associated with the proposed "retained" lot under consent application B-2022-0003:

1. To permit a lot area of 438.2 square metres whereas the by-law requires a minimum lot area of 450 square metres;
2. To permit a lot width of 9.07 metres whereas the by-law requires a minimum lot width of 15 metres;

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision:	<u>NO</u>	File Number:	<u></u>
Application for Consent:	<u>YES</u>	File Number:	<u>B-2022-0003</u>

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

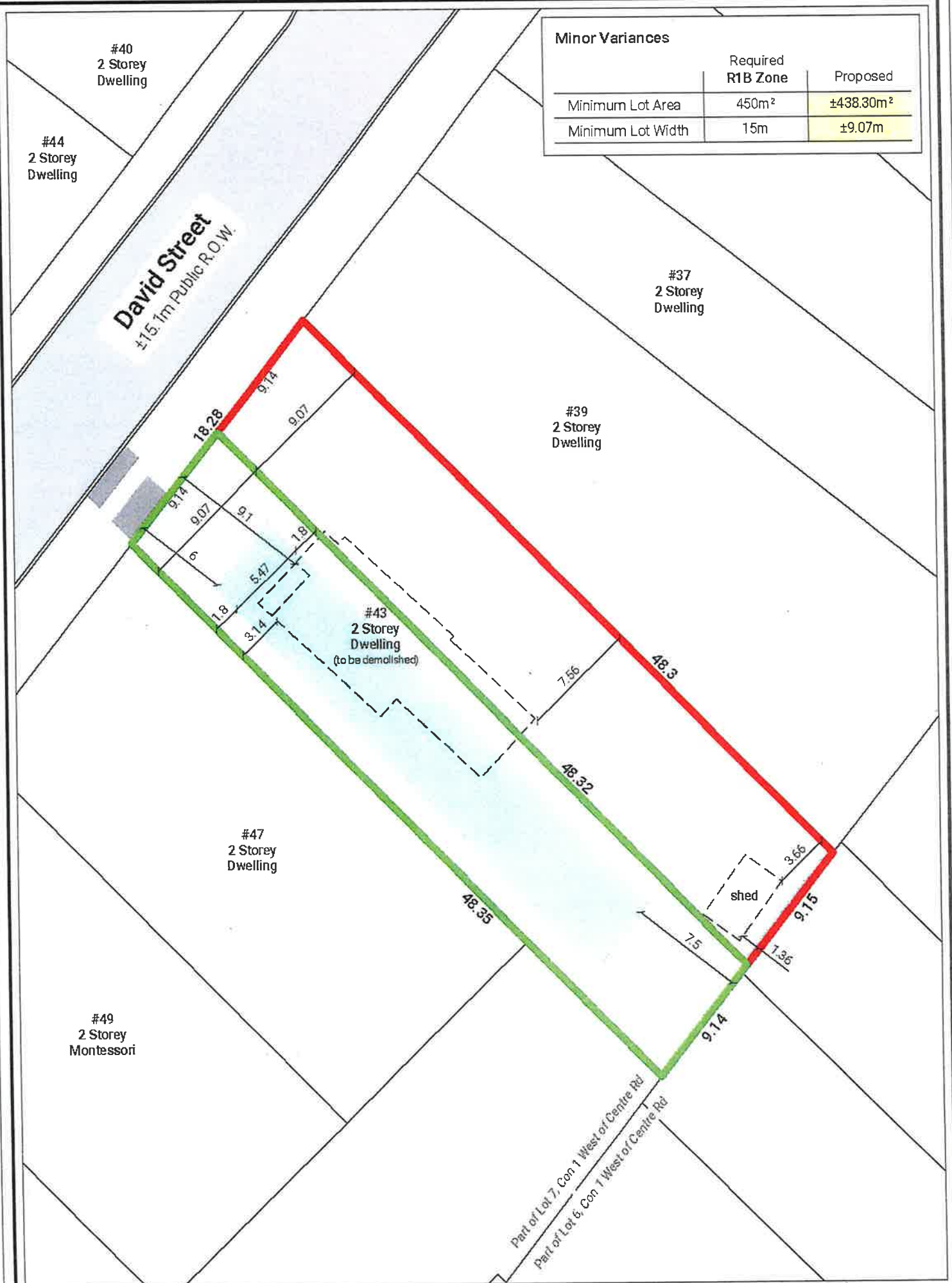
DATED at Brampton Ontario, this 9th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Minor Variances

	Required R1B Zone	Proposed
Minimum Lot Area	450m ²	±438.30m ²
Minimum Lot Width	15m	±9.07m



Appendix B

Minor Variance Sketch

43 David Street,
City of Brampton

Legend



Lands Subject to Minor Variance
 Lot Area: $\pm 438.30\text{m}^2$ (0.11 ac)
 Lot Width: $\pm 9.07\text{m}$

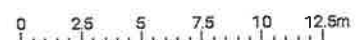


Other Lands Owned by Applicant
Lot Area: $\pm 438.18\text{m}^2$ (0.11 ac)
Lot Width: $\pm 9.07\text{m}$

Proposed 2 Storey Building Envelopes



Existing Structures to be Demolished



Scale: 1 : 300



Note: This drawing is for discussion purposes only.
Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M.

Date: March 23, 2022

File No: 132-22



Powell Planning & Associates

Town of New Tecumseth
County of Simcoe, ON

Mobile: 647.828.2467
Email: almees@powellplanning.ca

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

March 28, 2022

To: Committee of Adjustment

**RE: APPLICATIONS FOR MINOR VARIANCE
MANUPRIYA SHARMA
LOT 24, PLAN BR-32, PART 2, PLAN 43R-9448
43 DAVID STREET
A-2022-0047 AND A-2022-0048**

Please **amend** applications **A-2022-0047 AND a-2022-0048** to reflect the following:

1. To permit a lot area of 438.2 square metres whereas the by-law requires a minimum lot area of 450 square metres;
2. To permit a lot width of 9.07 metres whereas the by-law requires a minimum lot width of 15 metres;



Applicant/Authorized Agent

FILE NUMBER: A-2022-0047

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Manupriya Sharma
Address 43 David Street, Brampton, L6X 1J3

Phone # 647-960-0007 **Fax #** _____
Email gouravbhanot@yahoo.com

2. **Name of Agent** Powell Planning & Associates c/o Aimee Powell
Address 202 Eighth Avenue, New Tecumseth, ON L9R 0H5

Phone # 647-828-2467 **Fax #** _____
Email aimee@powellplanning.ca

3. **Nature and extent of relief applied for (variances requested):**
RETAINED LANDS APPLICATION
1. to permit a minimum lot area of 438.2 square metres
2. to permit a minimum lot frontage of 9.1 metres

4. **Why is it not possible to comply with the provisions of the by-law?**
1. the by-law requires a minimum lot area of 450 square metres
2. the by-law requires a minimum lot frontage of 15 metres

5. **Legal Description of the subject land:**
Lot Number 24
Plan Number/Concession Number Plan BR-32 Part 2, Plan 43R-9448
Municipal Address 43 David Street

6. **Dimension of subject land (in metric units)**
Frontage 18.3 m (existing) 9.1 m proposed, pending approval of consent
Depth 48.3
Area 876.5 metres square (existing), 438.2 square metres, proposed pending approval of consent

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

1 existing house and 1 existing shed. GFA for existing dwelling is 213.4 square metres. GFA for existing shed is 13.6 square metres. Both the existing shed and existing dwelling are to be demolished.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

single detached residential unit once severed

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	11.2 m
Rear yard setback	21 m
Side yard setback	8 m
Side yard setback	3.4 m

PROPOSED

Front yard setback	6 m
Rear yard setback	7.5 m
Side yard setback	1.2 m
Side yard setback	1.2 m

10. Date of Acquisition of subject land: June 8, 2021
11. Existing uses of subject property: residential
12. Proposed uses of subject property: residential
13. Existing uses of abutting properties: residential
14. Date of construction of all buildings & structures on subject land: 1890
15. Length of time the existing uses of the subject property have been continued: 132 years

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details: File # B-2022-0003 Status CONCURRENT
pending

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief

Manu Puga Sharma
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 16th DAY OF March, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Manu Puga Sharma, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 16th DAY OF
March, 2022.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Manu Puga Sharma
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1B (Mature)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Tom Payne
Zoning Officer

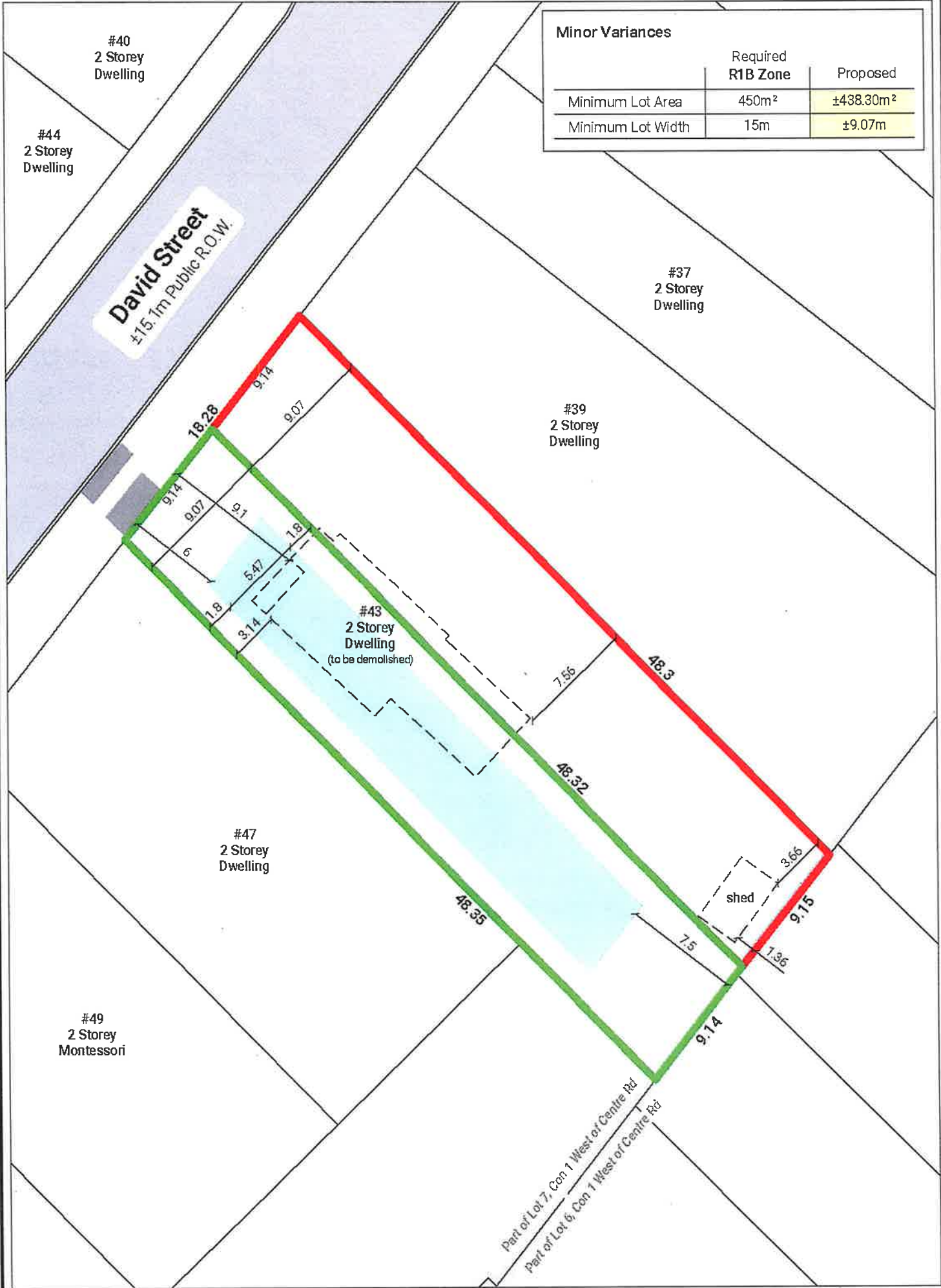
March 24, 2022.

Date

DATE RECEIVED March 16, 2022

Date Application Deemed Complete by the Municipality MARCH 24, 2022

Revised 2022/02/17



Minor Variances		
	Required R1B Zone	Proposed
Minimum Lot Area	450m ²	±438.30m ²
Minimum Lot Width	15m	±9.07m

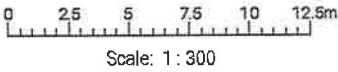
Appendix B

Minor Variance
Sketch

43 David Street,
City of Brampton

Legend

-  Lands Subject to Minor Variance
Lot Area: ±438.30m² (0.11 ac)
Lot Width: ±9.07m
-  Other Lands Owned by Applicant
Lot Area: ±438.18m² (0.11 ac)
Lot Width: ±9.07m
-  Proposed 2 Storey Building Envelopes
-  Existing Structures to be Demolished



Note: This drawing is for discussion purposes only.
Property boundary to be verified by an O.L.S.

Source: MyBrampton Interactive map.

Drawn By: A.M.

Date: March 23, 2022

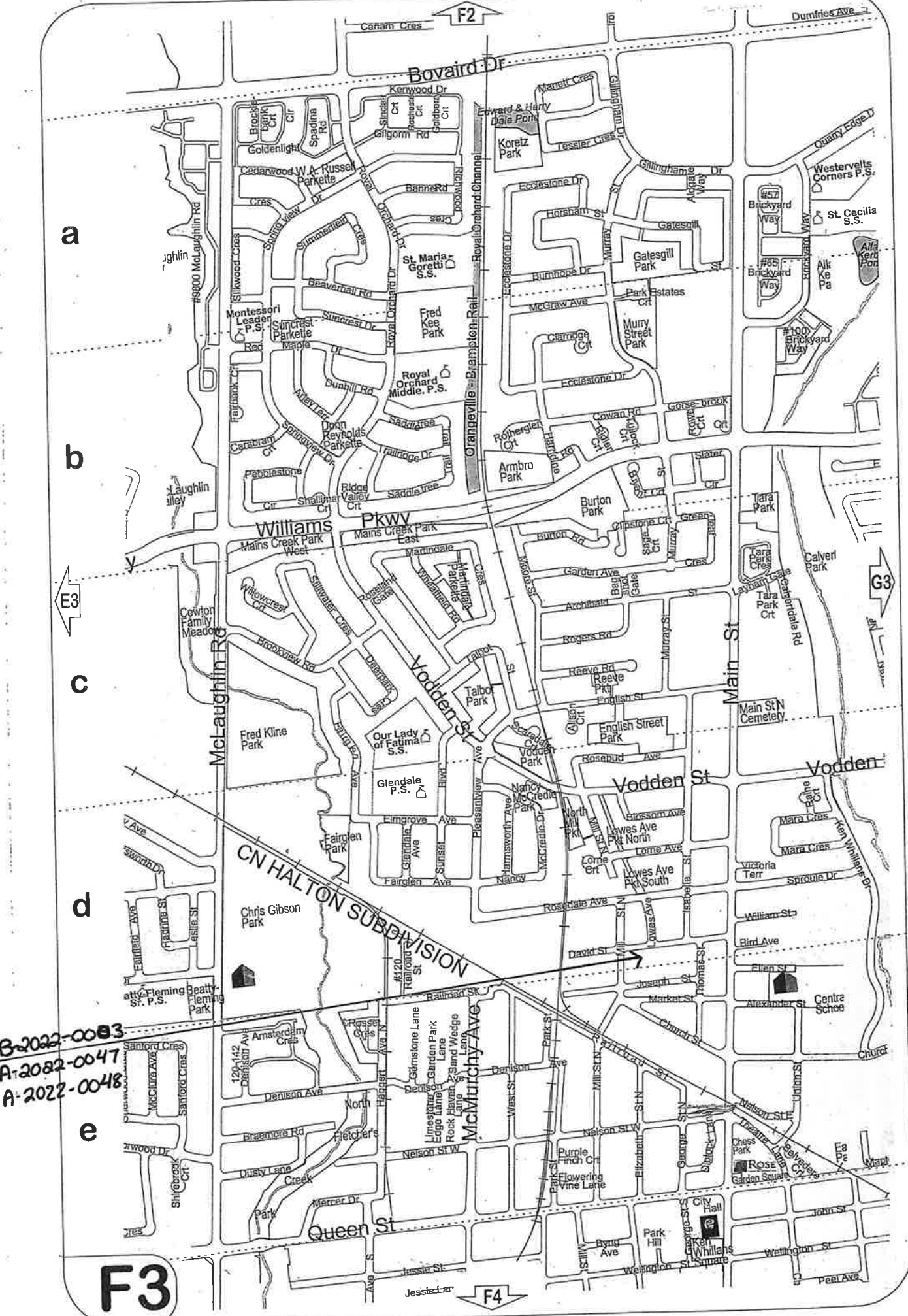
File No: 132-22



Powell Planning & Associates

Town of New Tecumseth
County of Simcoe, ON

Mobile: 647.828.2467
Email: almee@powellplanning.ca





Heritage Impact Assessment, 43 David Street, City of Brampton, Ontario

Project number: 2022-0122

Report Type: Original

Report Date: July 2022

Proponent: Manu Pryia Sharma

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1. Executive Summary

Parslow Heritage Consultancy, Inc. (PHC) was retained Manu Pryia Sharma (the Proponent) to conduct a Heritage Impact Assessment (HIA) for the property located at 43 David Street, Brampton, Ontario. The proponent is applying for a consent and minor variance application as well as a demolition permit to facilitate severance of the property into two lots and eventual re-development of the property with two single or two semi-detached homes.

The purpose of this assessment is to review relevant historical documents and identify any cultural heritage resources associated with the property. To evaluate the cultural heritage value or interest (CHVI) associated with the property, provisions in the Ontario Heritage Act (OHA) under Ontario Regulation (O.Reg.) 9/06 and the Planning Act (1990) were applied.

The Subject Property is located on the southeast side of David Street, between Mill Street North and Lowes Avenue. The property contains a single late-19th century vernacular two-storey red brick residence with rear addition. Historic research indicates that 43 David Street was constructed c.1885 when the property was under the ownership of John Stewart.

The Subject Property is not currently listed or designated, per the City of Brampton's Municipal Register of Cultural Heritage Resources (Brampton 2020).

Evaluation of 43 David Street against O.Reg. 9/06 finds the structure and property to have CHVI; as such, the property is a candidate for designation under Part IV of the OHA.

In keeping with provisions of the OHA, Regulation 9/06, and the City of Brampton's *Official Plan* (2020) the following recommendation are made:

- ▶ 43 David Street be added to the Municipal Register of Cultural Heritage Resources and considered as a candidate for designation by municipal by-law under Part IV of the OHA.
- ▶ Any future alterations to the structure be limited to the rear of the structure and not impede the street exposure of the front façade or east side.
- ▶ The front veranda be subject to conservation and restored in a way that reflects the antiquity of the structure
- ▶ The development team work to incorporate the extant structure into any future redevelopment plans pertaining to 43 David Street.
- ▶ A historical commemoration be undertaken that details the history of the area and unique topography of the property and its connection to a historic tributary of Etobicoke Creek.
- ▶ Should retention in situ not be possible it is recommended that the Proponent work with the City of Brampton to relocate the extant structure to another prominent area in proximity to its current location.

The Provincial Policy Statement (2020) notes that CHVI is identified for cultural heritage resources by communities. Thus, the system by which heritage is administered in Ontario places emphasis on the decision-making of local municipalities in determining CHVI. It is hoped that the information presented in this report will be useful in those determinations.

2. Personnel

Jamie Lemon, M.A.	Project Manager
Carla Parslow, Ph.D., CAHP	Senior Cultural Resource Specialist
Christopher Lemon, B.Sc., Dip. Heritage	Lead Cultural Heritage Specialist
Paulina Scheck, M.A.	Archival Research

Acknowledgements

Marissa Lompart	Assistant Heritage Planner, City of Brampton
Manu Pryia Sharma	Proponent
Gourav Bhanot	Proponent

3. Introduction

Parslow Heritage Consultancy, Inc. (PHC) was retained Manu Pryia Sharma (the Proponent) to conduct a Heritage Impact Assessment (HIA) for the property located at 43 David Street, Brampton, Ontario (the Subject Property). The proponent is applying for a consent and minor variance application as well as a demolition permit to facilitate severance of the property into two lots and eventual re-development of the property with two single or two semi-detached homes.

The purpose of this assessment is to review relevant historical documents and identify any cultural heritage resources associated with the property. To evaluate the cultural heritage value or interest (CHVI) associated with the property, provisions in the *Ontario Heritage Act* (OHA) under Ontario Regulation (O.Reg.) 9/06 and the *Planning Act* (1990) were applied.

The site visit to assess the CHVI associated with 43 David Street was conducted by Chris Lemon on June 29, 2022.

Documentation of the property took the form of high-resolution photographs using a Nikon D5600 DSLR camera, the collection of field notes and the creation of measured drawings. This assessment strategy was derived from the *National Historic Parks and Sites Branch Canadian Inventory of Historic Buildings* (Parks Canada 1980), *Well Preserved: The Ontario Heritage Foundation Manual on the Principles and Practice of Architectural Conservation* (Fram 2003), the *Historic American Building Survey - Guide to Field Documentation* (HABS 2011) and the *Standards and Guidelines for the Conservation of Historic Places in Canada* (Parks Canada 2010). All accessible areas of the property and associated structures were assessed and documented.

The Subject Property is comprised of an approximate 883.89 square metre (0.21 acre) rectangular residential lot located in old downtown Brampton. The Subject Property fronts onto David Street and is bound by 39 David Street to the northeast and 47 David Street to the southwest. The topography of the property slopes to the northeast and contains what remains of a historic tributary of Etobicoke Creek.

The Subject Property is located in a mature residential neighborhood adjacent to the historic downtown core of Brampton and is not currently listed or designated on the City of Brampton's Municipal Register of Cultural Heritage Resources. A number of listed and designated properties are located within 150m of the Subject Property; none of the listed or designated properties are adjacent to 43 David Street (Figure 3).

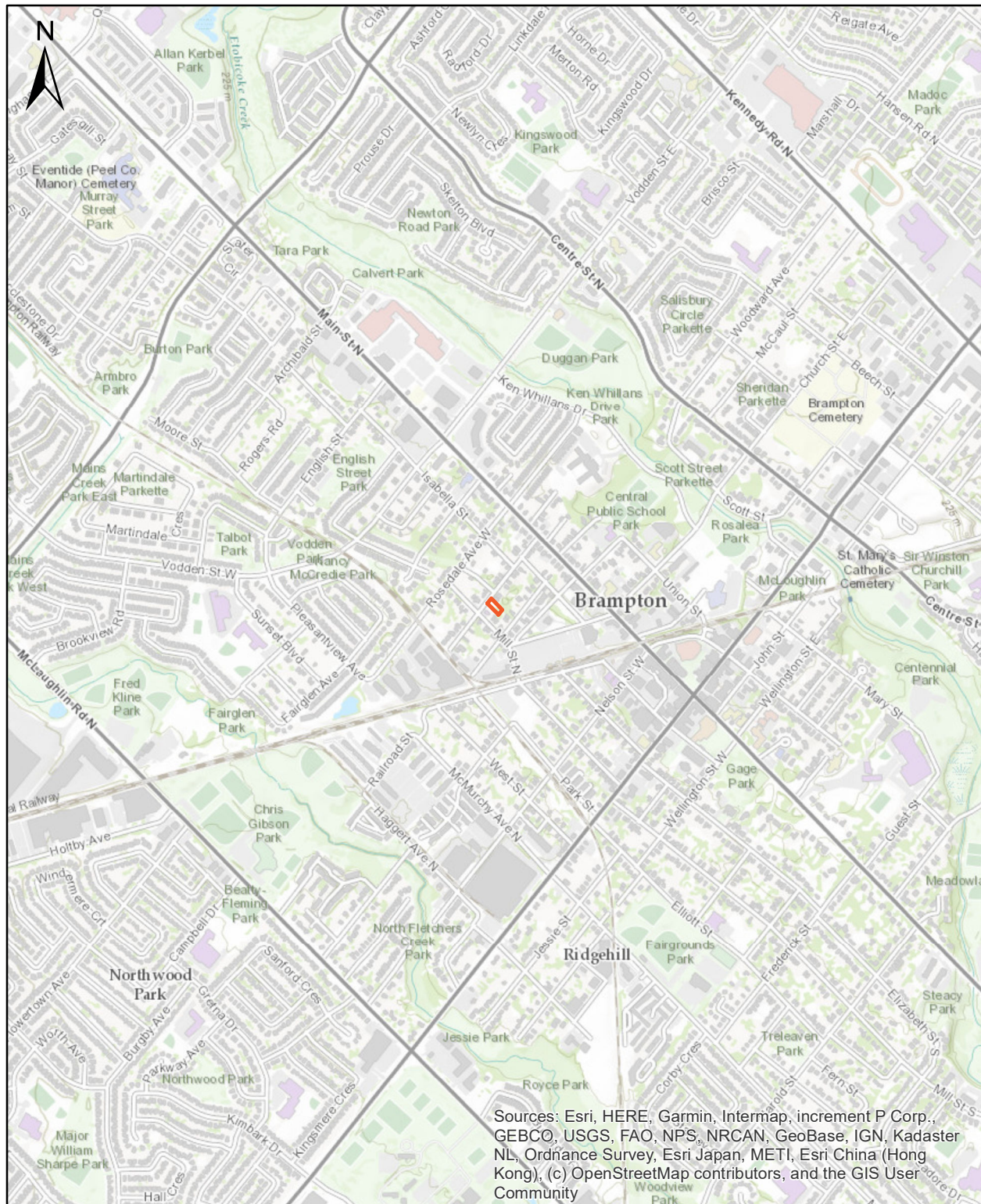
The Subject Property is most readily visible when viewed from the northeast (Figure 7). The set back of the residence and presence of mature trees in front of the structure largely obscures 43 David Street, when foliage is present, when viewed from the northwest.

Historic research indicates that 43 David Street was constructed c.1885 when the property was under the ownership of John Stewart.

3.1 Contact Information

Manu Pryia Sharma
449 Brisdale Drive
Brampton, ON
L7A 0G4

Map 1 - Study Area on Topographic Map



0 0.25 0.5 1 1:25,000
Kilometers

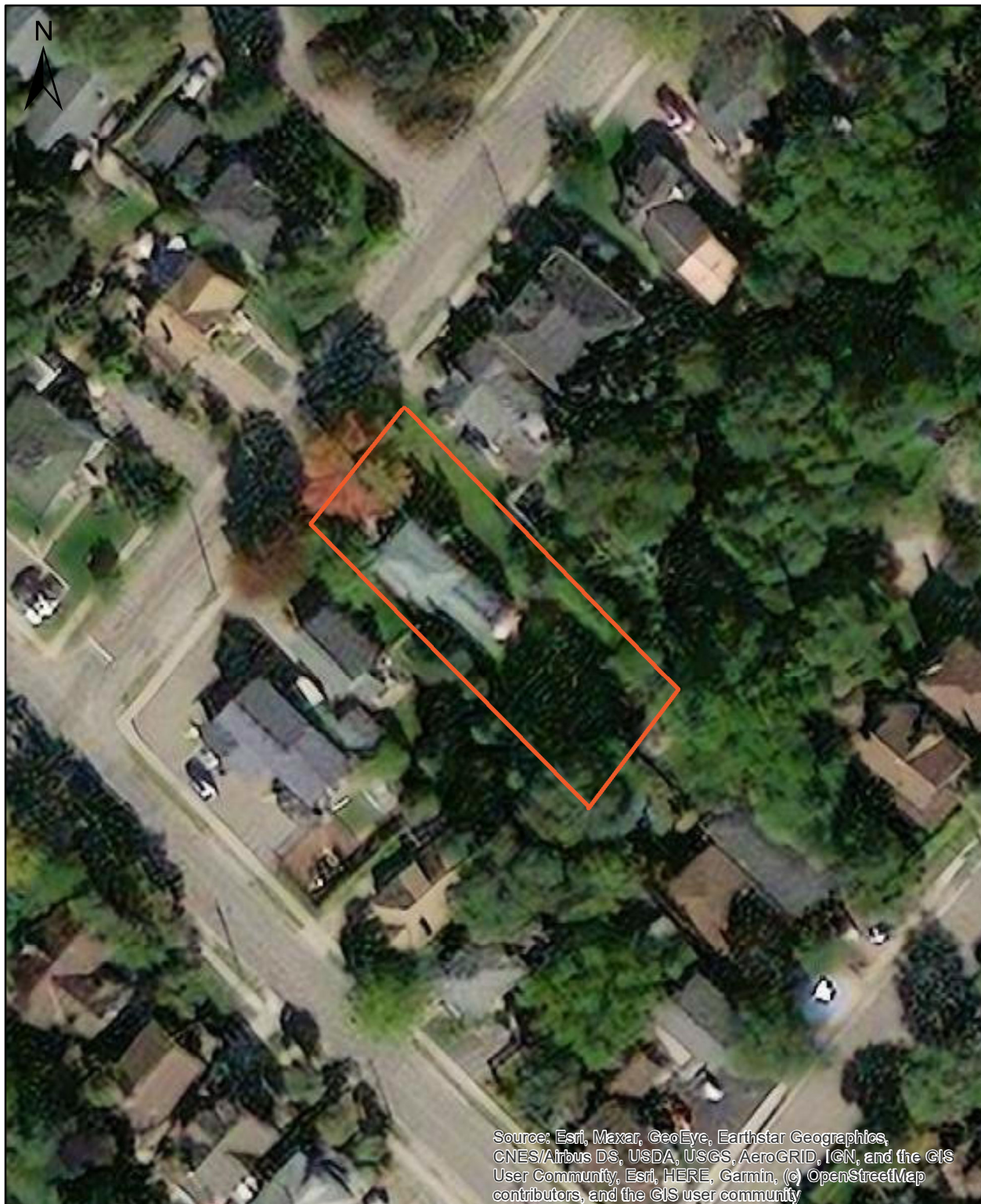
Legend

Study Area

Heritage Impact Assessment
43 David Street, Brampton, ON




Map 2 - Study Area on Modern Aerial



0 10 20 40 1:1,000
Meters

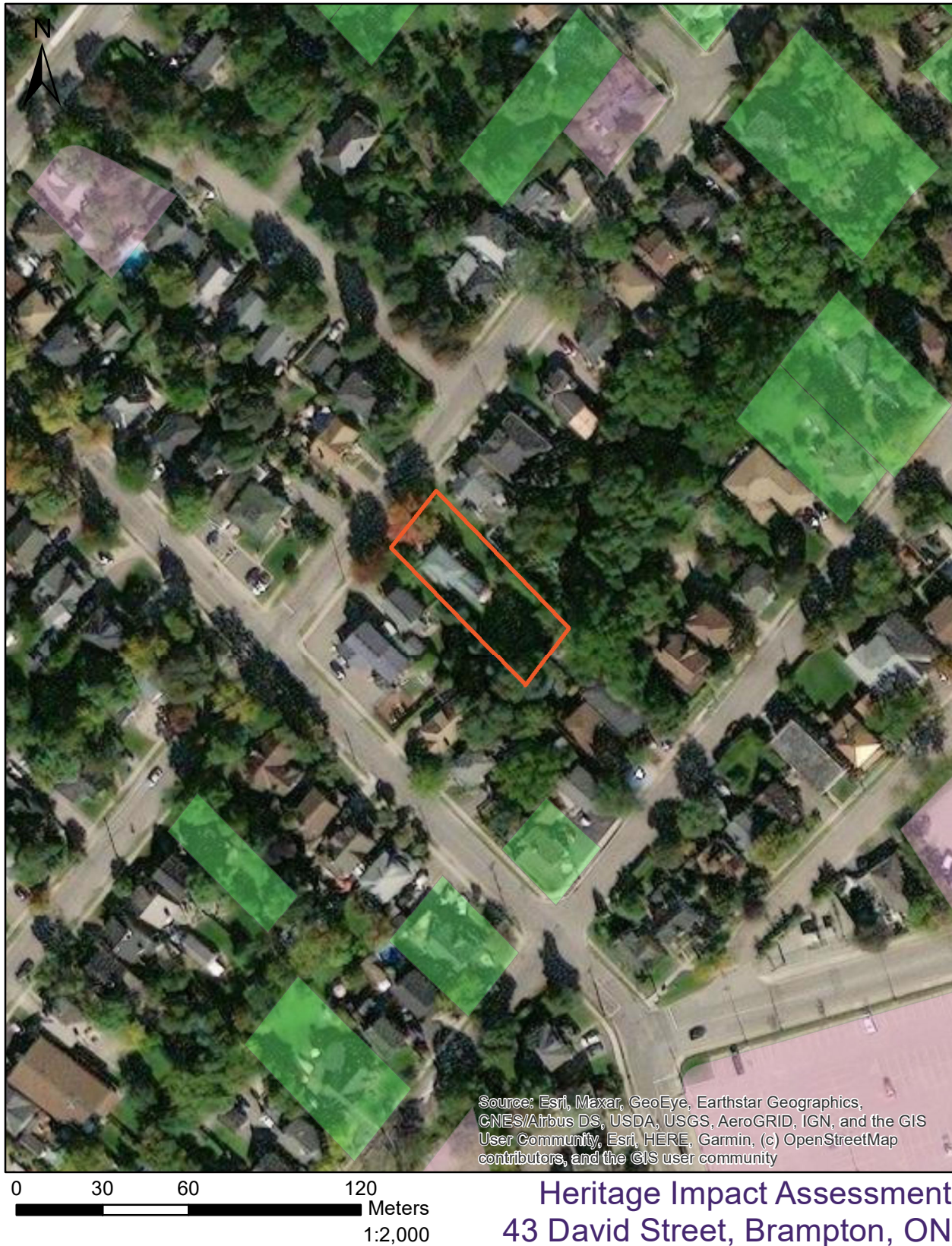
Legend

 Study Area

Heritage Impact Assessment
43 David Street, Brampton, ON



Map 3 - Heritage Properties Near Study Area



Legend

	Study Area		DESIGNATED
			LISTED

4. Legislative and Policy Framework

The following assessment reviews provincial and municipal legislation and policies designed to protect cultural heritage resources that may be affected by development in the City of Brampton. This HIA has been prepared to meet the terms of reference set forth by the *Ontario Heritage Act*, the *Planning Act*, the *Provincial Policy Statement*, the *City of Brampton Official Plan*, as described in the 2020 Terms of Reference for Heritage Impact Assessments (Milton, 2020).

4.1 Provincial Legislation and Policy

4.1.1 Ontario Heritage Act

The criteria for determining cultural heritage value or interest are outlined in the *Ontario Heritage Act* (OHA) under Regulation 9/06. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i) is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii) displays a high degree of craftsmanship or artistic merit, or
 - iii) demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i) has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii) yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii) demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i) is important in defining, maintaining or supporting the character of an area,
 - ii) is physically, functionally, visually or historically linked to its surroundings, or
 - iii) is a landmark.

4.1.2 Planning Act

The *Planning Act* (1990) provides the legislative framework for land use planning in Ontario. Part 1, Section 2 (d) and (r) of the Act identifies matters of provincial interest.

Part I, Section 2

The Minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as,

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

(e) the promotion of built form that,

(i) is well-designed,

(ii) encourages a sense of place, and

(iii) provides for public spaces that are of high quality, safe, accessible, attractive and vibrant.

4.1.3 Provincial Policy Statement (2020)

The Provincial Policy Statement (PPS), issued under Section 3 of the *Planning Act*, came into effect on May 1, 2020. It applies to all planning decisions made on or after that date and replaced the PPS, 2014. The PPS provides direction for the appropriate regulation for land use and development while protecting resources of provincial interest, and the quality of the natural and built environment, which includes cultural heritage and archaeological resources. These policies are specifically addressed in Part V, Sections 1.7 and 2.6.

Section 1.7.1e of the PPS addresses long-term economic prosperity by “encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes”.

Section 2.6 of the PPS addresses the protection and conservation cultural heritage and archaeological resources in land use planning and development and requires the following:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.

4.2 Municipal Policy Framework

4.2.1 City of Brampton Official Plan

The *City of Brampton Official Plan* was first adopted in 2006 and was most recently consolidated in September 2020 (City of Brampton 2020a). The Official Plan states that Cultural Heritage will be preserved, and Section 4.10 of the Official Plan specifically addresses cultural heritage resources and outlines the of the City's cultural heritage resource policies:

- ▶ Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations
- ▶ Preserve, restore, and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and, preserve cultural heritage landscapes; including significant public views; and,
- ▶ Promote public awareness of Brampton's heritage and involve the public in heritage resource decisions affecting the municipality.

Section 4.10.11 of the Official Plan addresses the preferred hierarchy of options to conserve Cultural Heritage Resources, stating that:

All options for the on-site retention of properties of cultural heritage significance shall be exhausted before resorting to relocation. The following alternatives shall be given due consideration in order of priority:

- i. On-site retention in the original use and integration with the surrounding or new development;*
- ii. On-site retention in an adaptive re-use;*
- iii. Relocation to another site within the same development; and,*
- iv. Relocation to a sympathetic site within the city.*

4.2.2 City of Brampton Heritage Impact Assessment Terms of Reference 2020

HIAs in the City of Brampton are conducted under the standards set forth by their terms of reference adopted in 2020 (City of Brampton 2020b). A PDF of the TOR is available on the City of Brampton's webpage.

5. Background Research

The lands that would eventually form the Subject Property enter the historic record as part of Lot 7, Concession 1 West of Centre Road (WCR), Township of Chinguacousy on 22 February 1831, when the Crown granted the east half of Lot 7 (100 acres) to Robert Lowes and his wife. On 18 September 1855 Robert Lowes was granted a plan of subdivision for part of the east half of Lot 7, Concession 1 WCR. Following the issuing of plan of subdivision, known as BR-32, Robert commences selling small plots of land to various buyers; this process continues into the beginning of the 20th century.

The current 43 David Street property was originally identified as Lot 24 BP-32 and was sold to John Stewart on 4 October 1884. By 1891, John Stewart is listed on the census as being 54 years of age and living in a brick two-storey, 10 room house with his wife Mary (age 38), and children William (age 15), John (age 14), Annie (age 12), Alexander (age 11) and Elizabeth (age 9). It is likely this house represents the extant brick house. On 10 August 1891, John Stewart sold Lot 24 BP-32 to Edwin O. Runians. Runians secured a mortgage against the property on 16 May 1898; the property is mortgaged to Wyld, Grasett and Company, and on 28 February 1903, the mortgage is transferred to Wyld Darling Company. Later that year, Edwin O. Runians appears to default on the mortgage as Wyld Darling Company sells Lot 24 BP-32 on 1 April 1903, to Robert Broddy. Census records list Robert Broddy as a widower who was employed as a Sherrif. On 3 October 1903, Robert Broddy sold Lot 24 BP-32 to Daniel Armstrong; the 1921 Canada Census lists Daniel Armstrong, age 68, as living with his wife Sarah (age 58) and daughter Mary E. (age 33) in a brick veneered house with eight rooms (occupied by the family for living purposes). The change from 10 rooms to eight rooms between 1891 and 1921 suggest the house undergoes a renovation during this time. On 2 August 1955, the estate of a Sarah Armstrong granted 24 BP-32 to Mary E. Armstrong. On 22 August 1963, the estate of Mary E. Armstrong granted Lot 24 BP-32 to Annie E. Campbell. On 28 August 1980, Annie Campbell granted Lot 24 BP-32 to Deborah L. Bodiam. On 1 October 1985, Deborah L. Bodiam granted an unspecified part of Lot 24 BP-32 to Antonio Carson Silva, Joan I. Pacheco, Grace Pacheco, and Tony. In the same year, on 4 November, Deborah L. Bodiam granted Antonio Carson Silva, Joan I. Pacheco, Grace Pacheco, and Tony Pacheco the remainder of Lot 24 BR-32, described as part 2. On 29 July 1988, Antonio Carson Silva, Joan I. Pacheco, Grace Pacheco, and Tony Pacheco granted the property to Paul John and Judith Elizabeth Pynicky (Pynsky). The latter sold the property to Joseph Jager on 11 February 2021, who sold it to its current owner, Priya Manu Sharma, on 8 June 2021.

Table 1: Pertinent land transactions for 43 David Street

Reg. #	Inst.	Date	Grantor	Grantee	Comment
	Crown Patent	22 February 1831	The Crown	Robert Lowes	E ½ Lot No. 7 1 st concession WCR, 100 acres
BR-8	Plan of Subdivision	18 Sept 1855	Robert Lowes	Robert Lowes	Part of E ½
3572	B&S	4 October 1884	Robert Lowes et ux	John Stewart	Part of E ½ BR-8 and BR-32
5096	B&S	10 August 1891	John Stewart et ux	Edwin O. Runians	B&S, LOT 24 BP-32
5985	Mortgage	16 May 1898	Edwin Oscar Runians et ux	Frederick Wyld; Arthur W. Grasett;	Mortgage; Part as collateral security for the repayment of the sum of \$64000 and OL

				Andrew Darling under the name of Wyld; Grasett and Andrew Darling	
5667	Assumption of mortgage	28 February 1903	Wyld, Grasett & Company	Wyld Darling Company	And the premises
6688	B&S	1 April 1903	Wyld Darling Co. Ltd.	Robert Broddy	B&S, LOT 24 BR-32
6767	B&S	3 October 1903	Robert Broddy et ux	Daniel Armstrong	B&S, LOT 24 BR-32
30302	Grant	2 August 1955	Mary E. Armstrong Extrs. Sarah Armstrong Estate	Mary E. Armstrong	Grant, LOT 24 BR-32; Part Comm at NEL W along David St. 47'. Thence W 8' x S 160' x E 29' x 60' to p of b.
48353	Grant	22 August 1963	Annie A. Young in her personal capacity & as Extrx. of Mary E. Armstrong Est.	Annie N. Campbell	Grant, LOT 24 BR-32
556874	Grant	28 August 1980	Annie N. Campbell	Deborah L., Bodiam	Grant, LOT 24 BP-32; Part Comm at WL. Thence NE 8' x SE 157.24' x SW 29' x NW to p of c & O.L.
732963	Grant	1 October 1985	Bodiam, Deborah L.	Silva, Antonio Carson; Joan I. Pacheco; Grace Pacheco; Tony	Grant, LOT 24 BP-32
732963	Grant	4 November 1985	Bodiam, Deborah L.	Silva, Antonio Carson; Joan I. Pacheco; Grace Pacheco; Tony	Grant, LT24 PL BR-32; All & OL designated as PT 2 on 43R-9448
856521	Grant	29 July 1988	Silva, Antonio Carson; Joan I. Pacheco; Grace Pacheco; Tony	Pynicky, Paul John; Pynicky, Judith Elizabeth	Grant, LT24 PL BR-32; All & OL designated as PT 2 on 43R-9448
PR3780 856	Transfer	11 February 2021	Pynsky, Judith Elizabeth	Jager, Joseph Charles; Pynsky, Judith Elizabeth Estate	Transmission-Land, LT24 PL BR-32 Brampton; PT LT 23 PL BR-32 Brampton PT 2, 43R-9448
PR3848 086	Transfer	8 June 2021	Jager, Joseph Charles	Sharma, Manu Pryia	Transfer Pers Rep, LT 24 PL BR-32 Brampton; PT LT 23 PL BR-32 Brampton PT 2, 43R-9448
3572	B&S	4 October 1884	Robert Lowes et ux	John Stewart	Part of E ½ BR-8 and BR-32
5096	B&S	10 August 1891	John Stewart et ux	Edwin O. Runians	B&S, LOT 24 BP-32
5985	Mortgage	16 May 1898	Edwin Oscar Runians et ux	Frederick Wyld; Arthur W. Grasett; Andrew Darling under the name of Wyld; Grasett and Andrew Darling	Mortgage; Part as collateral security for the repayment of the sum of \$64000 and OL
5667	Assumption of mortgage	28 February 1903	Wyld, Grasett & Company	Wyld Darling Company	And the premises

6688	B&S	1 April 1903	Wyld Darling Co. Ltd.	Robert Broddy	B&S, LOT 24 BR-32
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732963	Grant	4 November 1985	Bodiam, Deborah L.	Silva, Antonio Carson; Joan I. Pacheco; Grace Pacheco; Tony	Grant, LT24 PL BR-32; All & OL designated as PT 2 on 43R-9448
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PR3780 856	Transfer	11 February 2021	Pynsky, Judith Elizabeth	Jager, Joseph Charles; Pynsky, Judith Elizabeth Estate	Transmission-Land, LT24 PL BR-32 Brampton; PT LT 23 PL BR-32 Brampton PT 2, 43R-9448
PR3848 086	Transfer	8 June 2021	Jager, Joseph Charles	Sharma, Manu Pryia	Transfer Pers Rep, LT 24 PL BR-32 Brampton; PT LT 23 PL BR-32 Brampton PT 2, 43R-9448

BR 32



PLAN NO B

Figure 1: Portion of 1855 Plan of Subdivision BR-32, red outline indicates Lot 24, municipal address 43 David Street. (Plan on file with OnLand)



Figure 2: Portion of 1859 Tremain's Map of Brampton, red outline indicates Subject Property



Figure 3: Portion of 1877 Walker and Miles Map of Peel County, Chinguacousy Township, red star indicates approximate location of Subject Property

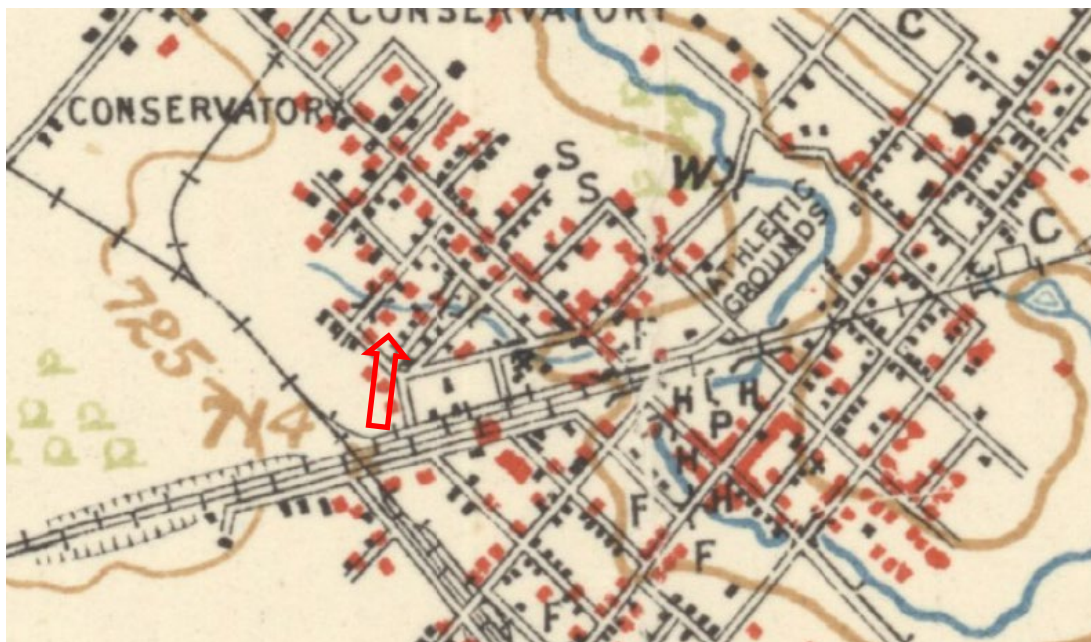


Figure 4: Portion of a 1915 topographic map of Brampton, red arrow indicates location of 43 David Street on the banks of a tributary of Etobicoke creek (map on file at McMaster University)

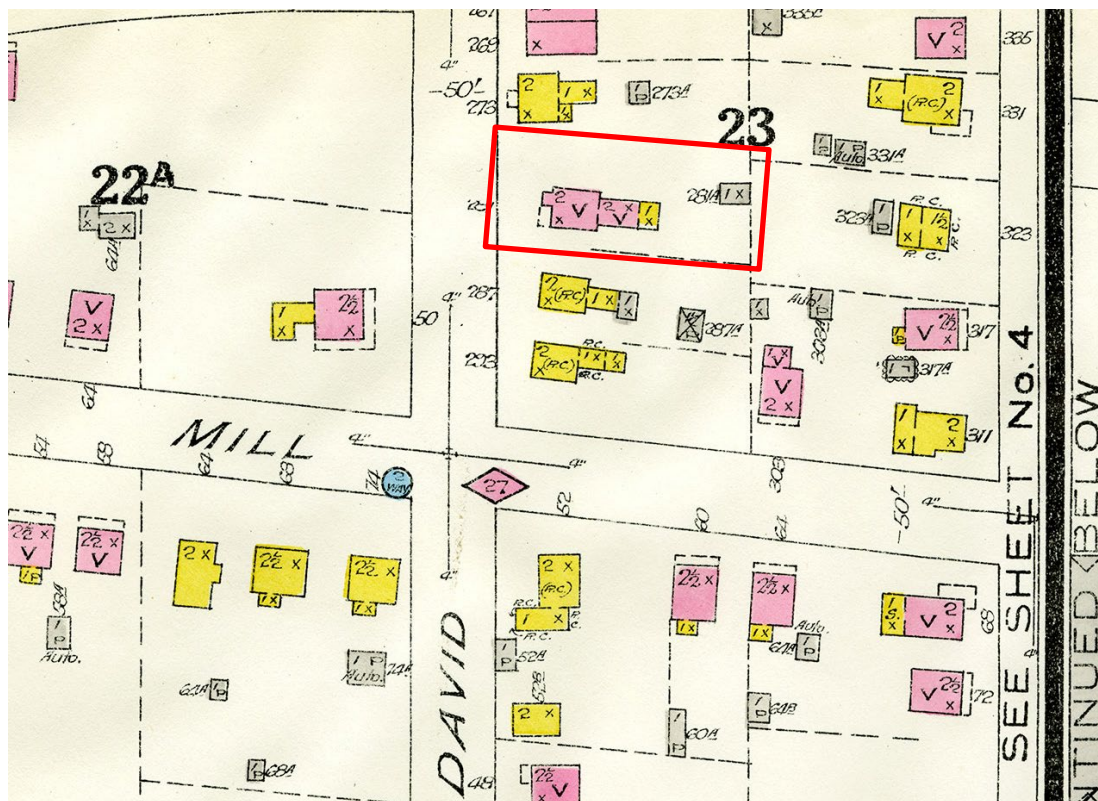


Figure 5: Portion of 1921 Fire Insurance Plan of City of Brampton, red outline indicates 43 David Street (map on file Peel Archives)



Figure 6: Portion of 1968 Aerial image, red outline indicates Subject Property (image on file with City of Toronto Library)

6. Assessment of Existing Conditions

6.1 Surrounding Area

The Subject Property is located in a mature residential neighborhood adjacent to the historic downtown core of Brampton.



Figure 7: Looking southwest down David Street from Lowes Avenue, red arrow indicates 43 David Street



Figure 8: Looking northeast down David Street from Mill Street North, red arrow indicates location of 43 David Street



Figure 9: Looking southeast down Lowes Avenue towards David Street, red arrow indicates 43 David Street

6.2 Subject Property

6.2.1 Exterior



Figure 10: Out of season image of 43 David Street, photo taken from ZOLO real-estate, date of image is unknown



Figure 11: Front façade of 43 David Street



Figure 12: Front façade of 43 David Street during site visit



Figure 13: East side of 43 David Street



Figure 14: Closeup of east side of rear addition



Figure 15: Rear face of structure

6.2.2 Exterior Details



Figure 16: Typical original two over two sash window with replacement cast lug sill (original sills were wood)



Figure 17: Close up of millwork associated with front veranda



Figure 18: Example of remaining millwork at eaves



Figure 19: Original brackets on bay window



Figure 20: Detail of field stone foundation

6.2.3 Interior



Figure 21: Entrance foyer, facing southeast



Figure 22: Main room first floor, facing southeast



Figure 23: Main room first floor, facing northwest



Figure 24: Kitchen located on first floor of rear addition, facing southeast



Figure 25: Kitchen, facing northwest



Figure 26: Rear room first floor of rear addition, facing south



Figure 27: Rear room first floor of rear addition, facing north



Figure 28: First floor bedroom, facing northwest



Figure 29: First floor bedroom, facing south



Figure 30: First floor washroom, facing northwest



Figure 31: First floor washroom, facing southeast



Figure 32: Composite image of original staircase, front foyer



Figure 33: Landing at top of stairs second floor, facing northwest



Figure 34: Hallway and landing of second floor, facing south



Figure 35: Siting room, southwest corner of second floor main structure, facing west



Figure 36: Siting room, southwest corner of second floor main structure, facing north



Figure 37: Second floor bedroom, northeast corner of original structure, facing northwest



Figure 38: Second floor bedroom, northeast corner of original structure, facing southeast



Figure 39: Second bedroom, second floor, southeast corner of main structure, facing southeast



Figure 40: Second bedroom, second floor, southeast corner of main structure, facing north



Figure 41: Second floor rear addition, facing southeast



Figure 42: Second floor rear wing, facing northwest



Figure 43: Washroom second floor, rear addition

6.2.4 Interior Details

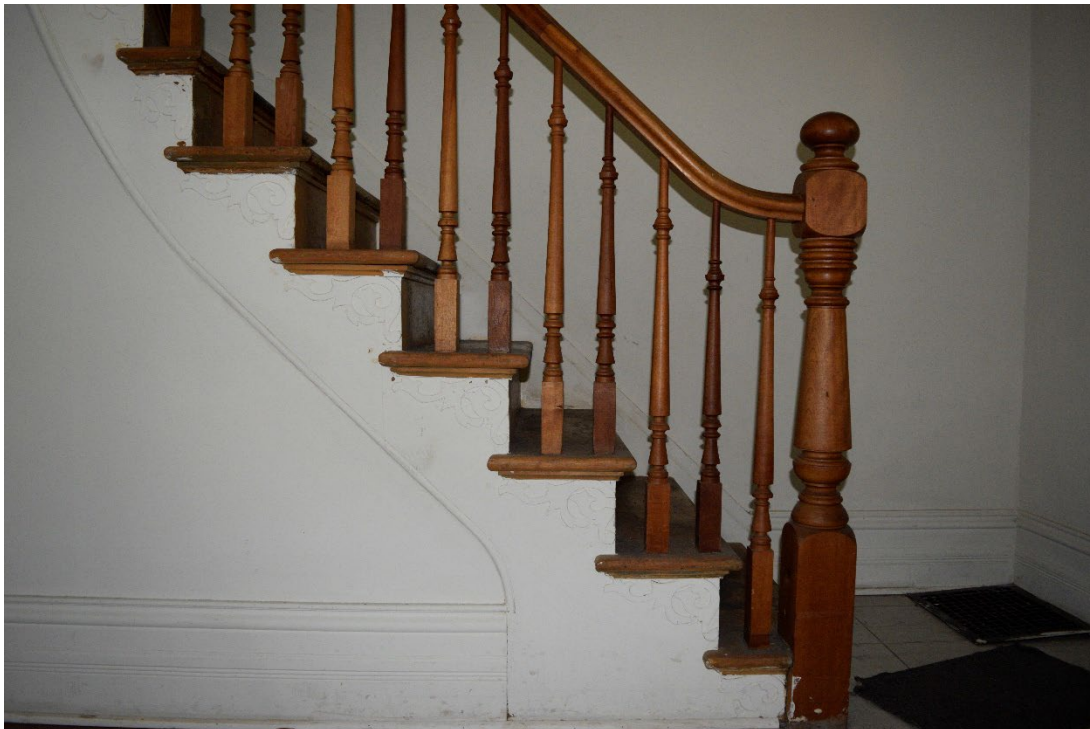


Figure 44: Close up of original balustrade and trim as seen in front entrance



Figure 45: Detail of decorative scroll work on staircase



Figure 46: Example of original metal heat register



Figure 47: Example of original doors



Figure 48: Original multi-coloured glass as seen in original 'Queen Anne' style bay window.

7. Evaluation of Cultural Heritage Value or Interest

O.Reg. 9/06 prescribes the criteria for determining the CHVI of a property. The regulation requires that, to be designated, a property must meet “one or more” of the criteria grouped into the categories of Design/Physical Value, Historical/Associative Value, and Contextual Value (MTCS 2006a). Table 2 lists these criteria and identifies if the criteria were met at 43 David Street; these criteria are expanded on below.

7.1 Regulation 9/06 Evaluation of 43 David Street

Table 2: Criteria for determining CHVI as per Ontario Regulation 9/06

O.Reg 9/06 Criteria	Criteria Met (Y/N)	Justification
The property has design value of physical value because it:		
I. Is a rare, unique, representative or early example of a style, type, expression, material, or construction method	Y	The residence is representative of common vernacular design that does not adhere to a specific architectural style. Structure dates to the Victorian Period (1840-1900) and incorporates decorative millwork popular in the Victorian period and incorporates a Queen Anne Style window in front bay. Has a unique squat appearance due to lack of separation between second story structural openings and soffit.
II. Displays a high degree of craftsmanship or artistic merit, or	N	Structure depicts standard frame construction with red brick veneer, typical of the late 19th century.
III. Demonstrates a high degree of technical or scientific achievement.	N	Structure does not deviate from standard construction practices of the era.
The property has historical value or associative value because it,		
I. Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community,	Y	The property and structure are associated with the general theme of community growth. 43 David Street appears to be one of the earlier examples of residential expansion in the area. Historic records do not indicate a connection to any events or persons of significance to a community.
II. Yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or	N	Property does not have potential to yield new information that would contribute to the understanding of a community or culture.
III. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	N	None observed, structure is of vernacular form reflecting the standard architectural tastes of the day.
The property has contextual value because it,		

I. Is important in defining, maintaining, or supporting the character of an area	Y	Structure contributes to supporting the historic residential development of Brampton. The structure is important to supporting the heritage atmosphere and character of the area.
II. Is physically, functionally, visually, or historically linked to its surroundings	Y	Structure is visually linked to the surrounding streetscape. Property is part of the overall heritage viewscape of the area. Structure is historically linked to the surrounding area as it represents one of the older structures on the south side of David Street.
III. Is a landmark	N	Property is not a landmark.

7.1.1 Design Value or Physical Value

43 David Street is a vernacular example of Victorian era residential construction that does not conform to established major architectural styles. The structure displays well executed decorative millwork and a unique window finish on front bay. The lack of separation between second storey structural openings and soffit line give the structure a squat appearance.

7.1.2 Historic Value or Associative Value

43 David Street is an example of early suburban residential growth and is one of the earlier examples of residential growth as shown by historic mapping.

7.1.3 Contextual Value

43 David Streets displays significant contextual value. The residence is unique in the area as is its positioning within its lot. The property depicts one of the earlier expansions of the historic core of Brampton and the topography of the lot reflects the construction of the structure on a historic tributary of Etobicoke creek. The property is part of a well-defined collection of heritage homes and is a contributing factor to the historic streetscape and character of the area.

7.2 Character Defining Attributes of 43 David Street

- ▶ Massing of two-storey residential structure, “T” shaped plan
- ▶ Hip roof with gable rear addition
- ▶ Unique presentation at soffit, no space between structural openings and soffit, resulting in a squat appearance to the front façade.
- ▶ Decorative millwork at corners
- ▶ Decorative millwork and brackets associated with bay window and veranda
- ▶ Original wooden sash windows
- ▶ Unique design of front bay window incorporating coloured glass
- ▶ Unique placement on lot, structure originally constructed on the bank of a tributary of Etobicoke Creek, this is reflected in the steep slope on northeast side of property

8. Draft Statement of Significance

43 David Street is a vernacular example of late 19th century Victorian era residential construction that does not conform to established major architectural styles. The structure displays well executed decorative millwork on the front veranda and at eave corners, as well as a unique 'Queen Anne style' window finish on front bay. The lack of separation between second storey structural openings and soffit line gives the structure a unique squat appearance. Historic research indicates that 43 David Street was constructed c.1885 when the property was under the ownership of John Stewart.

The property is also unique in that it retains the historic topography of the area related to a former tributary of Etobicoke Creek.

43 David Street retains examples of original wood sash windows as well as original examples of bracketing, and mill work associated with the front veranda and bay window.

The interior has been extensively re-modeled but retains examples of original trim work and some original doors. The most striking feature of the interior is the original staircase and balustrade coupled with curved plaster work. The rear wing appears original to the structure, but all original interior finishes have been lost. While examples of original trim work remain most of the trim in the house is (well executed) modern reproduction.

Character Defining Attributes of 43 David Street

- ▶ Massing of two-storey residential structure, "T" shaped plan
- ▶ Hip roof with gable rear addition
- ▶ Unique presentation at soffit, no space between structural openings and soffit, resulting in a squat appearance to the front façade.
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- ▶ Decorative millwork and brackets associated with bay window and veranda
- ▶ Original wooden sash windows
- ▶ Unique design of front bay window incorporating coloured glass
- ▶ Unique placement on lot, structure originally constructed on the bank of a tributary of Etobicoke Creek, this is reflected in the steep slope on northeast side of property

9. Description of the Proposed Development or Alteration

The proponent is applying for a consent and minor variance application as well as a demolition permit to facilitate severance of the property into two lots and eventual re-development of the property with two single or two semi-detached homes. Available development mapping is provided in Appendix B.



Figure 49: Excerpt of proposed lot severance in relation to extant structure

10. Impact of Development or Alteration on Heritage Status

In keeping with the guidelines of the MTCS *Info Sheet #5 Heritage Impact Assessment and Conservation Plans* and the City of Brampton's Heritage Impact Assessment Terms of Reference, the following were reviewed to further assess any potential negative impacts on the property's CHVI arising from the proposed site re-development (MTCS 2006b):

Removal of any, or part of any significant heritage attributes or features:

- ▶ Demolition of 43 David Street would remove all identified heritage attributes of the property
- ▶ Demolition of 43 David Street would result in direct impact the heritage character of the surrounding area
- ▶ Alteration of grade would negate the topographic connection to historic tributary of Etobicoke Creek

Alteration that impacts the historic fabric and appearance:

- ▶ The demolition of 43 David Street would result in direct impact to the historic fabric of the area and the overall appearance of the surrounding streetscape.

Shadow impacts that alter the appearance and/or setting of a heritage attribute, or change in the viability of an associated natural feature or plantings, such as a garden:

- ▶ Retention of the structure is not being considered and as such no shadow studies are available at this time.
- ▶ Structure is not intended to be retained and as such future shadows will have no impact on identified heritage attributes.

Isolation of a heritage attribute from its surrounding environment, context, or a significant relationship:

- ▶ Demolition of 43 David Street would alter the relationship between structures that currently abut the Subject Property.
- ▶ Demolition would result in the loss of context and subsequent redevelopment of the lot would alter the topography of the lot and result in the loss of connection to the historic tributary of Etobicoke Creek

Direct or indirect obstruction of significant view or vistas within, from, or of built and natural features:

- ▶ No significant views into or out of the Subject Property or residence were identified

A change in land use where the change in use negates the property's cultural heritage value:

- ▶ Proposed redevelopment of the lot would require demolition of the existing structure and eliminate the property's CHVI.

Land disturbances such as a change in grade that alters soil and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources:

- ▶ Property exhibits archaeological potential given its connection to a historic tributary of Etobicoke creek.
- ▶ Property should be subject to archaeological assessment prior to any alteration of the property.

11. Considered Alternatives and Mitigation Strategies

Evaluation of 43 David Street against the terms of O.Reg. 9/06 (Table 2) shows the property to have CHVI and to be a candidate for designation under Part IV of the OHA.

The following mitigation strategies should be considered by the City of Brampton during review of the associated application:

1. The property is a candidate for designation under Part IV of the OHA and should be considered for designation by the City of Brampton
2. Per the City of Brampton's Official Plan, every effort should be made to retain and restore 43 David Street as a single-family home. Retention and retrofit would include:
 - a. Restoration of the original 'T' shaped structure, structure could be augmented with a rear addition.
 - b. Interior and exterior renovation to provide for a contemporary living experience, and be in keeping with the antiquity of the structure
3. Implement a historical commemoration on the property that details the history of the area and unique topography of the property.
4. The Proponent has indicated that the retention of 43 David Street is not feasible given their desire to subdivide the lot; Per the City of Brampton's Official Plan, if the City approves the forthcoming demolition permit, relocation of the structure should be considered.

12. Recommendations

Evaluation of 43 David Street against O.Reg. 9/06 finds the structure and property to have CHVI; as such, the property is a candidate for designation under Part IV of the OHA.

In keeping with provisions of the OHA, Regulation 9/06, and the City of Brampton's *Official Plan* (2020) the following recommendation are made:

- ▶ 43 David Street be added to the Municipal Register of Cultural Heritage Resources and considered as a candidate for designation by municipal by-law under Part IV of the OHA.
- ▶ Any future alterations to the structure be limited to the rear of the structure and not impede the street exposure of the front façade or east side.
- ▶ The front veranda be subject to conservation and restored in a way that reflects the antiquity of the structure
- ▶ The development team work to incorporate the extant structure into any future redevelopment plans pertaining to 43 David Street.
- ▶ A historical commemoration be undertaken that details the history of the area and unique topography of the property and its connection to a historic tributary of Etobicoke Creek.
- ▶ Should retention in situ not be possible it is recommended that the Proponent work with the City of Brampton to relocate the extant structure to another prominent area in proximity to its current location.

The Provincial Policy Statement (2020) notes that CHVI is identified for cultural heritage resources by communities. Thus, the system by which heritage is administered in Ontario places emphasis on the decision-making of local municipalities in determining CHVI. It is hoped that the information presented in this report will be useful in those determinations.

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Appendix A



Senior Heritage Specialist – Carla Parslow, PhD, CAHP Member in Good Standing: Dr. Carla Parslow has over 20 years of experience in the cultural heritage resource management (CHRM) industry in Canada. As the President of PHC Inc., Dr. Parslow is responsible for the management of CHRM projects, as well as the technical review and quality assurance of all archaeological and cultural heritage projects completed by PHC. Throughout her career, Carla has managed both large and small offices of CHRM professionals and has mobilized both large (50+) and small (4+) teams of CHRM and Environmental projects offices throughout the province of Ontario. Dr. Parslow has served as either Project Manager or Project Director on hundreds of Archaeological and Cultural Heritage Assessments. Dr. Parslow is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Dr. Parslow is also responsible for the overall quality assurance.

Heritage Specialist – Chris Lemon, B.Sc., Dip. CAHP Member in Good Standing: Chris Lemon is a Cultural Heritage Specialist and Licensed Archaeologist (R289) with 15 years' experience. He received an Honours B.Sc. in Anthropology from the University of Toronto and has completed course work towards an M.A. from the University of Western Ontario. Mr. Lemon has a Diploma in Heritage Carpentry and Joinery and a Certificate in Heritage Planning from Algonquin College. During his career Mr. Lemon has participated in cultural heritage assessments across Ontario as both a Senior Field Director in archaeology and as a Built Heritage Practitioner. Chris's previous experience includes representation on Joint Health and Safety Committees; he is dedicated to maintaining a safety-first focus on all job sites. Chris is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Mr. Lemon is responsible for research, reporting and analysis.

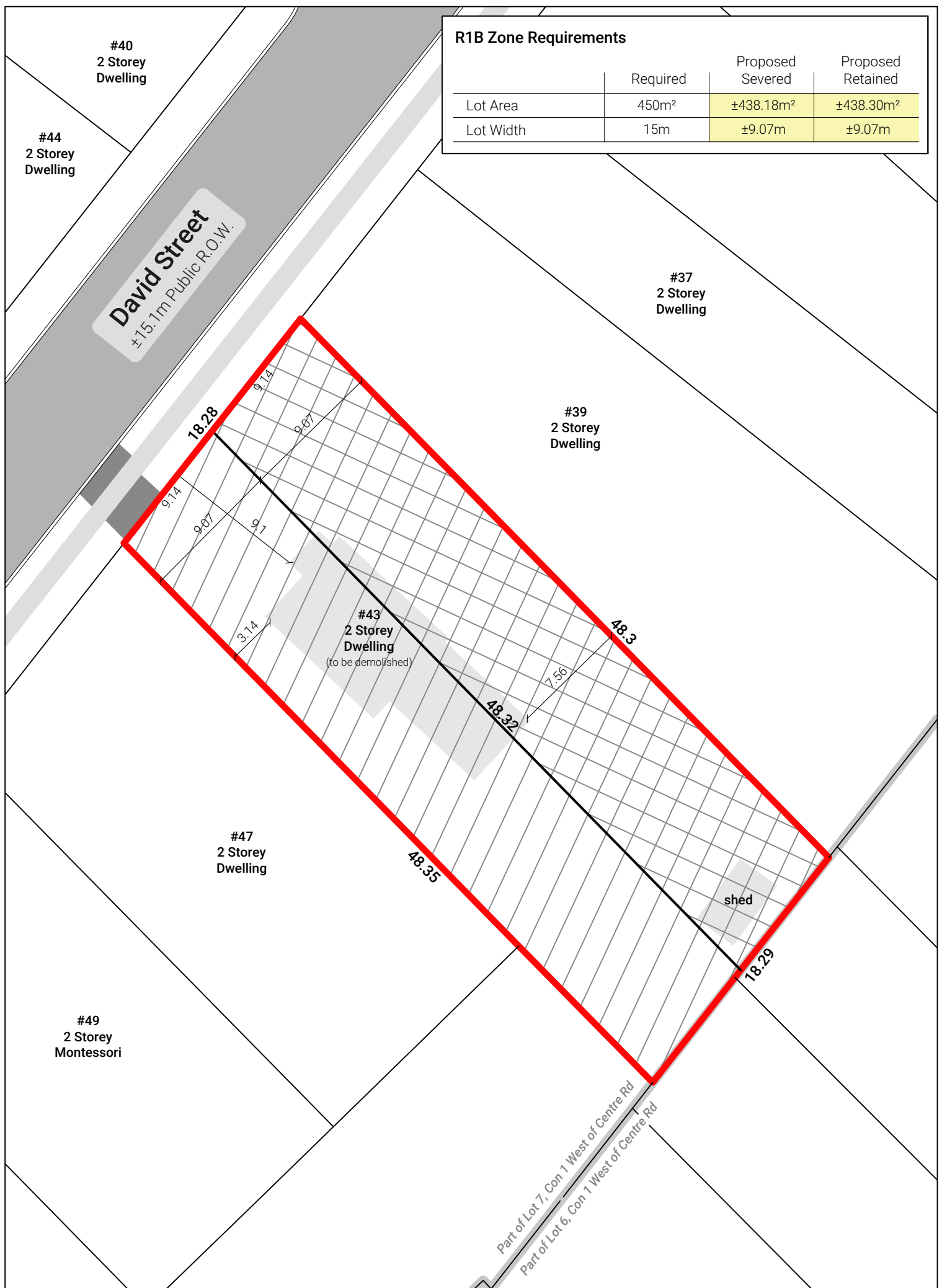
Appendix B



#49
2 Storey
Montessori

R1B Zone Requirements

	Required	Proposed Severed	Proposed Retained
Lot Area	450m ²	±438.18m ²	±438.30m ²
Lot Width	15m	±9.07m	±9.07m



Appendix A

Consent Sketch

43 David Street,
City of Brampton

Legend



Subject Lands

Total Area: ±876.48m² (0.22ac)
Lot Width: ±18.13m



Lands to be Severed

Lot Area: $\pm 438.18\text{m}^2$
Lot Width: $\pm 9.07\text{m}$



Lands to be Retained

Lot Area: $\pm 438.30\text{m}^2$
Lot Width: $\pm 9.07\text{m}$

Existing Structures to be Demolished

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Scale: 1 : 300



Note: This drawing is for discussion purposes only.
Property boundary to be verified by an O.L.S.

Source: MyBrampton Interactive map.

Drawn By: A.M.

Date: March 23, 2022

File No: 132-22

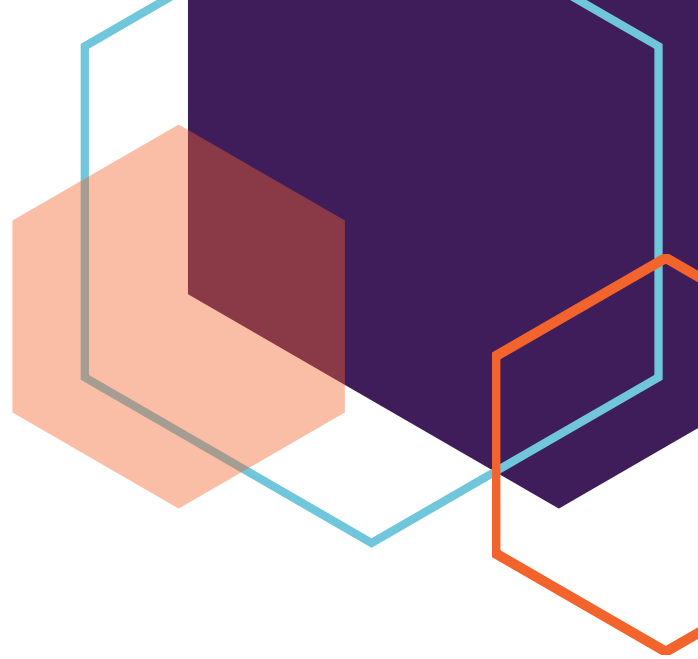


Powell Planning & Associates

Town of New Tecumseth
County of Simcoe, ON

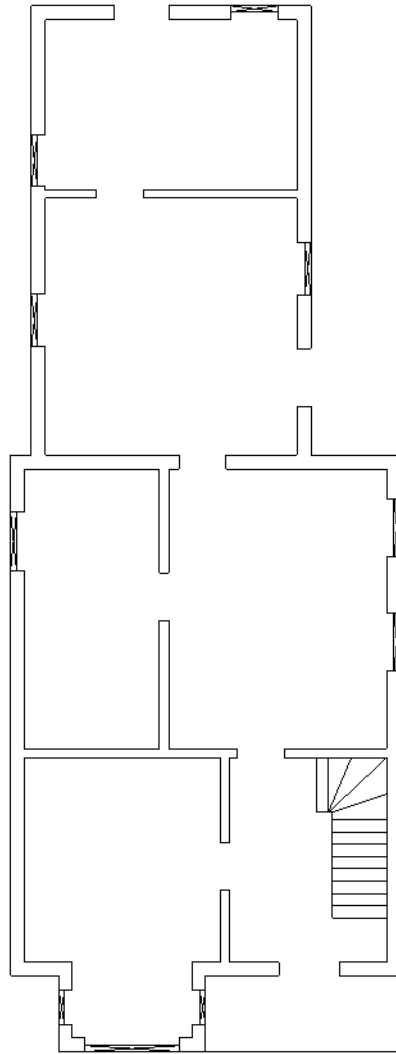
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Email: aimee@powellplanning.ca

Appendix C

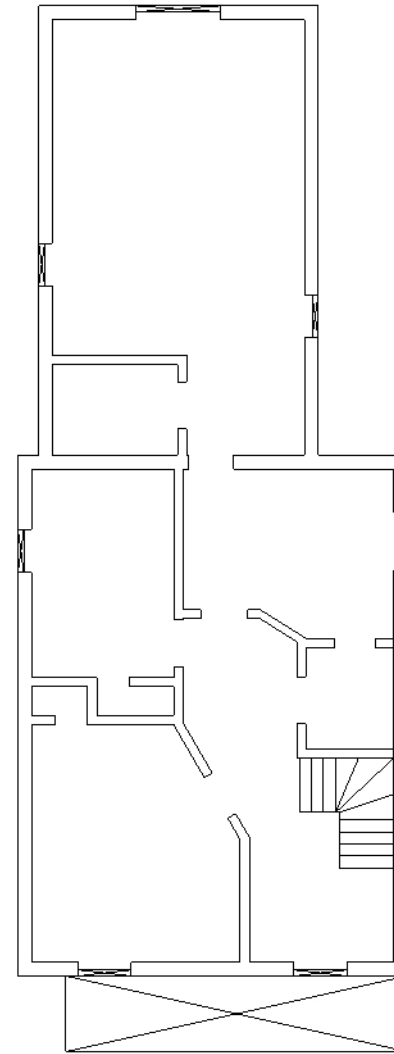


Floor Plan 43 David Street

First Floor



Second Floor



Appendix D





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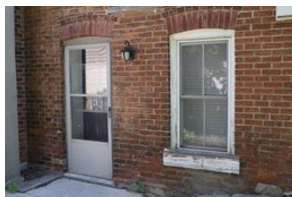
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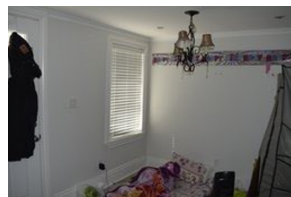
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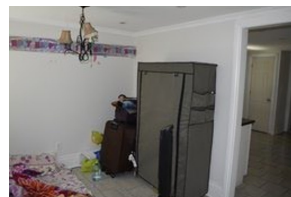
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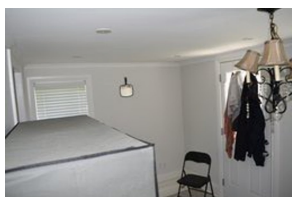
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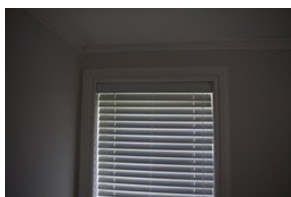
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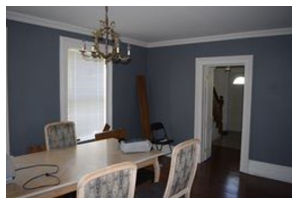
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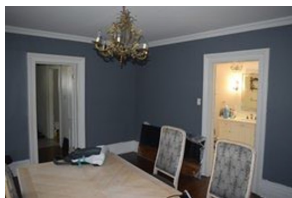
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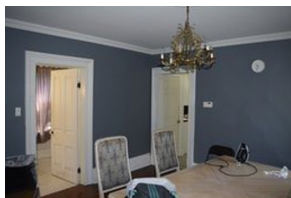
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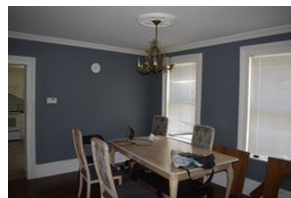
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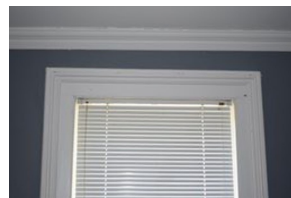
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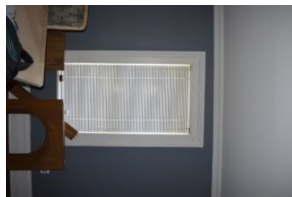
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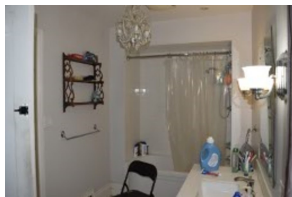
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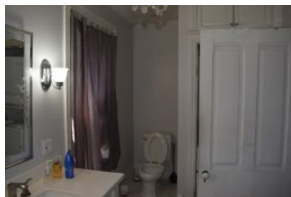
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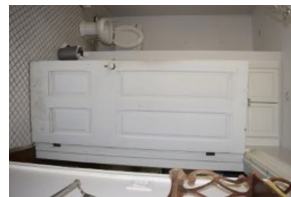
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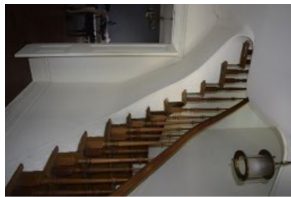
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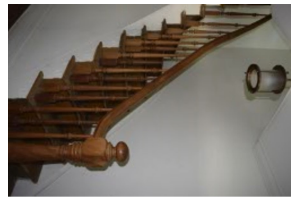
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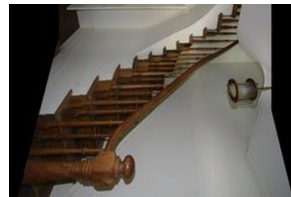
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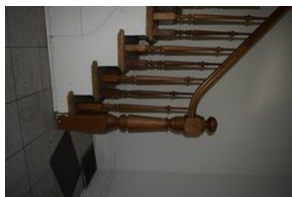
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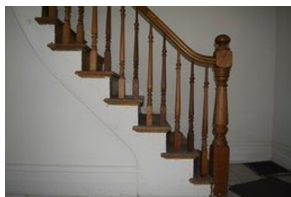
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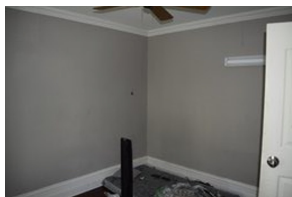
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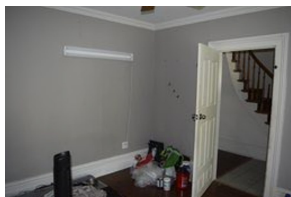
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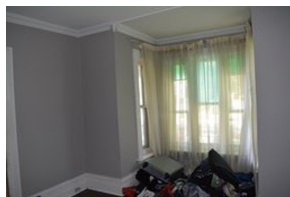
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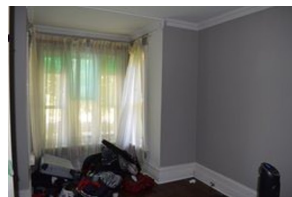
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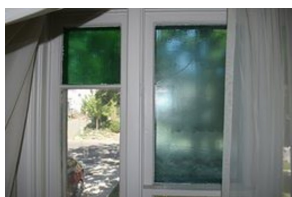
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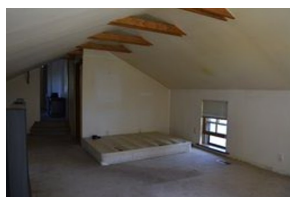
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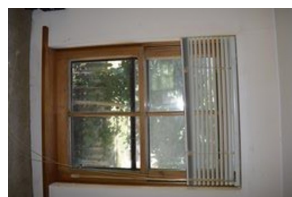
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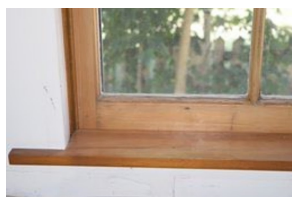
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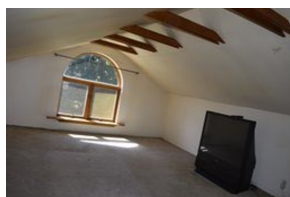
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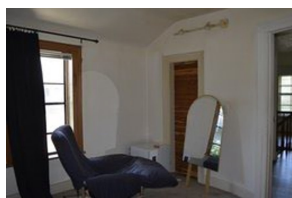
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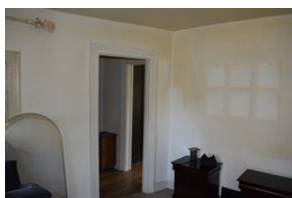
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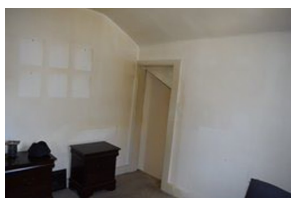
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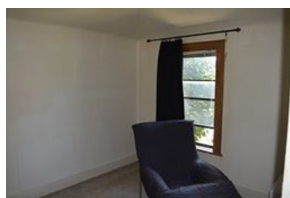
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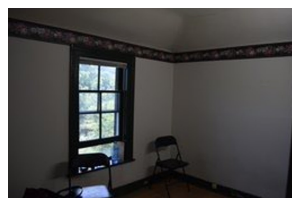
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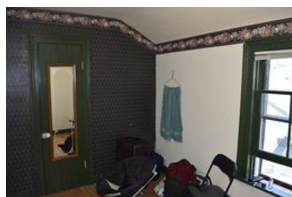
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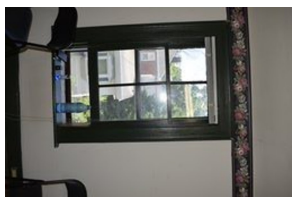
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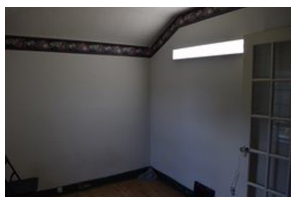
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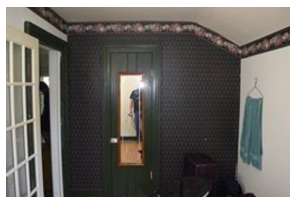
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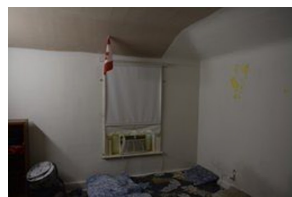
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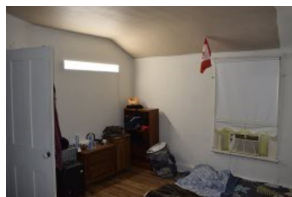
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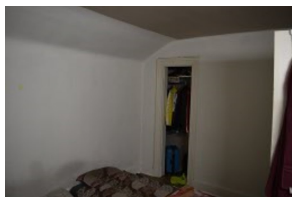
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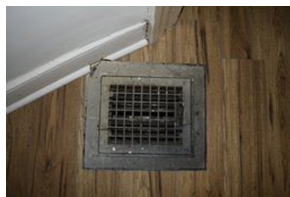
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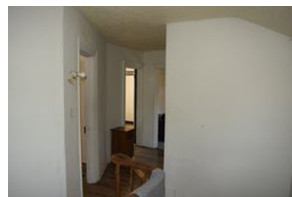
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883 St. Clair Avenue West, Rear, Toronto, ON, M6C 1C4

Telephone: 647-348-4887

Email: admin@phcgroup.ca

Website: www.phcgroup.ca

APPLICATION # A-2022-0048
WARD #1

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MANUPRIYA SHARMA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 24, Plan BR-32, Part of Lot 23, Plan 43R-9448 municipally known as **43 DAVID STREET**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s) associated with the proposed "severed" lot under consent application B-2022-0003:

1. To permit a lot area of 438.2 square metres whereas the by-law requires a minimum lot area of 450 square metres;
2. To permit a lot width of 9.07 metres whereas the by-law requires a minimum lot width of 15 metres;

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: YES

File Number: _____
File Number: B-2022-0003

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

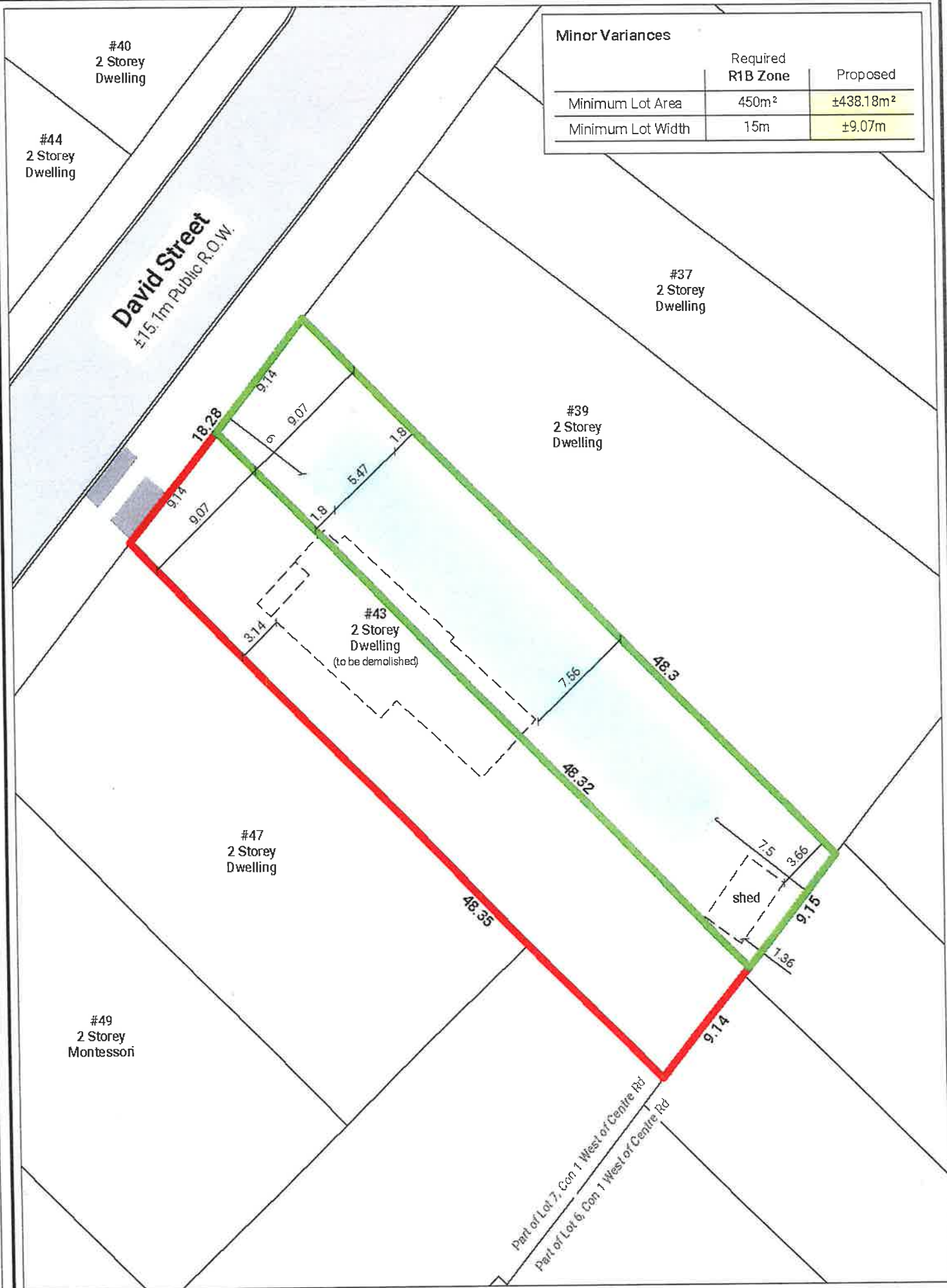
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 9th Day of March, 2023

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Minor Variances		
	Required R1B Zone	Proposed
Minimum Lot Area	450m ²	±438.18m ²
Minimum Lot Width	15m	±9.07m



Appendix C

Minor Variance Sketch

43 David Street,
City of Brampton

Legend



Lands Subject to Minor Variance
Lot Area: ±438.18m² (0.11 ac)
Lot Width: ±9.07m



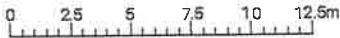
Other Lands Owned by Applicant
Lot Area: ±438.30m² (0.11 ac)
Lot Width: ±9.07m



Proposed 2 Storey Building Envelopes



Existing Structures to be Demolished



Scale: 1 : 300



Note: This drawing is for discussion purposes only.
Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M.

Date: March 23, 2022

File No: 132-22



Powell Planning & Associates

Town of New Tecumseth
County of Simcoe, ON

Mobile: 647.828.2467
Email: aimee@powellplanning.ca

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

March 28, 2022

To: Committee of Adjustment

**RE: APPLICATIONS FOR MINOR VARIANCE
MANUPRIYA SHARMA
LOT 24, PLAN BR-32, PART 2, PLAN 43R-9448
43 DAVID STREET
A-2022-0047 AND A-2022-0048**

Please **amend** applications **A-2022-0047 AND a-2022-0048** to reflect the following:

1. To permit a lot area of 438.2 square metres whereas the by-law requires a minimum lot area of 450 square metres;
2. To permit a lot width of 9.07 metres whereas the by-law requires a minimum lot width of 15 metres;



Applicant/Authorized Agent



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2022-6048

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Manupriya Sharma
Address 43 David Street, Brampton, L6X 1J3

Phone # 647-960-0007 **Fax #** _____
Email gouravbhanot@yahoo.com

2. **Name of Agent** Powell Planning & Associates c/o Aimee Powell
Address 202 Eighth Avenue, New Tecumseth, ON L9R 0H5

Phone # 647-828-2467 **Fax #** _____
Email aimee@powellplanning.ca

3. **Nature and extent of relief applied for (variances requested):**
SEVERED LANDS APPLICATION
1. to permit a minimum lot area of 438.2 square metres
2. to permit a minimum lot frontage of 9.1 metres

4. **Why is it not possible to comply with the provisions of the by-law?**
1. the by-law requires a minimum lot area of 450 square metres
2. the by-law requires a minimum lot frontage of 15 metres

5. **Legal Description of the subject land:**
Lot Number 24
Plan Number/Concession Number Plan BR-32 Part 2, Plan 43R-9448
Municipal Address 43 David Street

6. **Dimension of subject land (in metric units)**
Frontage 18.3 m (existing) 9.1 m proposed, pending approval of consent
Depth 48.3
Area 876.5 metres square (existing), 438.2 square metres, proposed pending approval of consent

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

1 existing house and 1 existing shed. GFA for existing dwelling is 213.4 square metres. GFA for existing shed is 13.6 square metres. Both the existing shed and existing dwelling are to be demolished.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

single detached residential unit once severed

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	11.2 m
Rear yard setback	21 m
Side yard setback	8 m
Side yard setback	3.4 m

PROPOSED

Front yard setback	6 m
Rear yard setback	7.5 m
Side yard setback	1.2 m
Side yard setback	1.2 m

10. Date of Acquisition of subject land: June 8, 2021
11. Existing uses of subject property: residential
12. Proposed uses of subject property: residential
13. Existing uses of abutting properties: residential
14. Date of construction of all buildings & structures on subject land: 1890
15. Length of time the existing uses of the subject property have been continued: 132 years

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details: File # B-2022-0003 Status CONCURRENT
pending

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief

Mamie Priya Sharma
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 16th DAY OF March, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Mamie Priya Sharma OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 16th DAY OF
March, 2022.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Mamie Priya Sharma
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1B (Mature)

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Todd Payne
Zoning Officer

March 24, 2022.

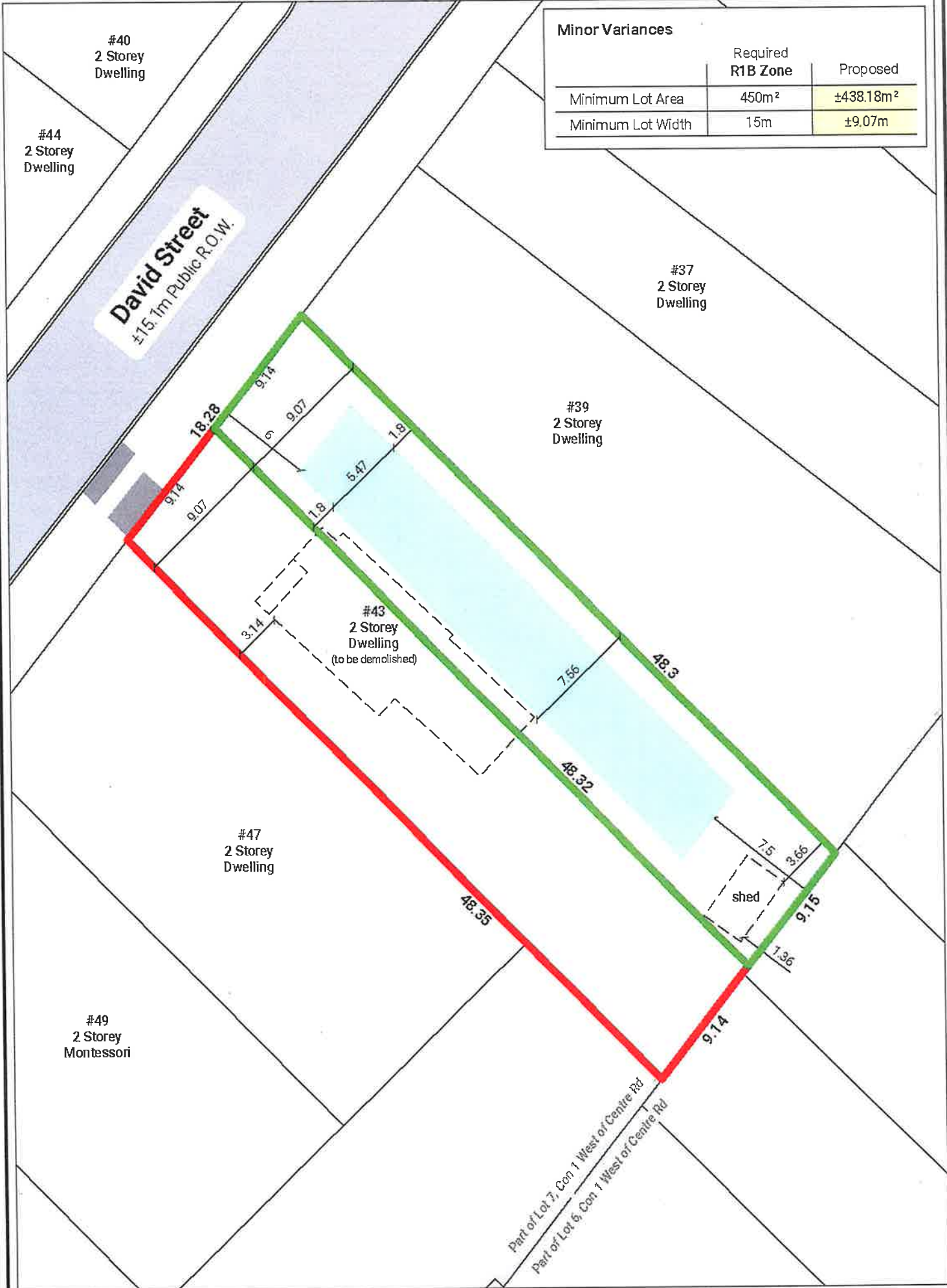
Date

DATE RECEIVED March 16, 2022

Date Application Deemed
Complete by the Municipality

March 25, 2022

Revised 2022/02/17



Minor Variances		
	Required R1B Zone	Proposed
Minimum Lot Area	450m ²	±438.18m ²
Minimum Lot Width	15m	±9.07m

Appendix C

Minor Variance Sketch

43 David Street,
City of Brampton

Legend



Lands Subject to Minor Variance
Lot Area: ±438.18m² (0.11ac)
Lot Width: ±9.07m



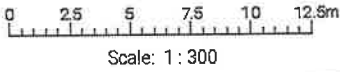
Other Lands Owned by Applicant
Lot Area: ±438.30m² (0.11ac)
Lot Width: ±9.07m



Proposed 2 Storey Building Envelopes



Existing Structures to be Demolished



Note: This drawing is for discussion purposes only.
Property boundary to be verified by an O.L.S.

Source: MyBrampton Interactive map.

Drawn By: A.M.

Date: March 23, 2022

File No: 132-22



Powell Planning & Associates

Town of New Tecumseth
County of Simcoe, ON

Mobile: 647.828.2467
Email: aimee@powellplanning.ca

B-2022-0083
A-2082-0047
A-2022-0048

a

b

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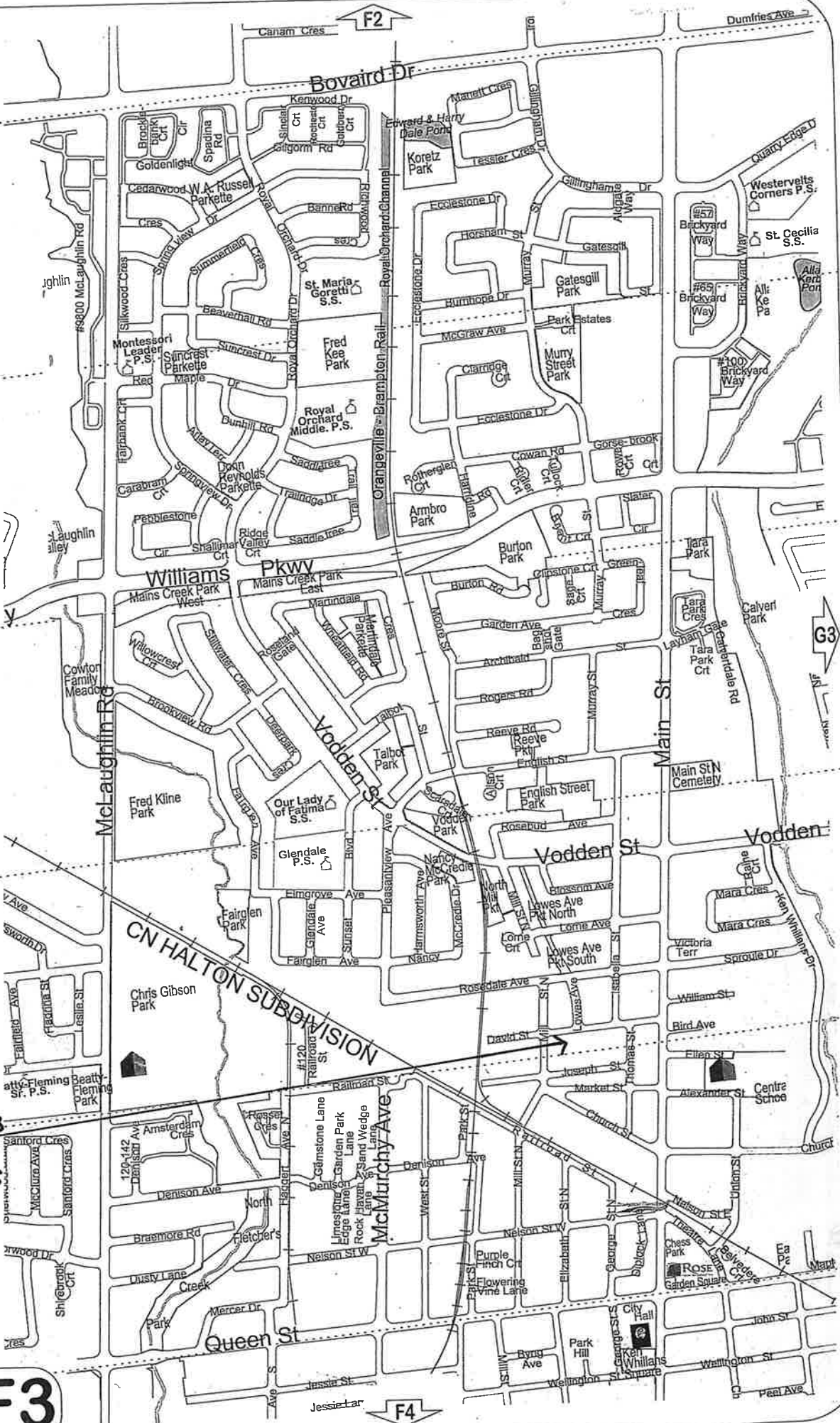
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Heritage Impact Assessment, 43 David Street, City of Brampton, Ontario

Project number: 2022-0122

Report Type: Original

Report Date: July 2022

Proponent: Manu Pryia Sharma

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1. Executive Summary

Parslow Heritage Consultancy, Inc. (PHC) was retained Manu Pryia Sharma (the Proponent) to conduct a Heritage Impact Assessment (HIA) for the property located at 43 David Street, Brampton, Ontario. The proponent is applying for a consent and minor variance application as well as a demolition permit to facilitate severance of the property into two lots and eventual re-development of the property with two single or two semi-detached homes.

The purpose of this assessment is to review relevant historical documents and identify any cultural heritage resources associated with the property. To evaluate the cultural heritage value or interest (CHVI) associated with the property, provisions in the Ontario Heritage Act (OHA) under Ontario Regulation (O.Reg.) 9/06 and the Planning Act (1990) were applied.

The Subject Property is located on the southeast side of David Street, between Mill Street North and Lowes Avenue. The property contains a single late-19th century vernacular two-storey red brick residence with rear addition. Historic research indicates that 43 David Street was constructed c.1885 when the property was under the ownership of John Stewart.

The Subject Property is not currently listed or designated, per the City of Brampton's Municipal Register of Cultural Heritage Resources (Brampton 2020).

Evaluation of 43 David Street against O.Reg. 9/06 finds the structure and property to have CHVI; as such, the property is a candidate for designation under Part IV of the OHA.

In keeping with provisions of the OHA, Regulation 9/06, and the City of Brampton's *Official Plan* (2020) the following recommendation are made:

- ▶ 43 David Street be added to the Municipal Register of Cultural Heritage Resources and considered as a candidate for designation by municipal by-law under Part IV of the OHA.
- ▶ Any future alterations to the structure be limited to the rear of the structure and not impede the street exposure of the front façade or east side.
- ▶ The front veranda be subject to conservation and restored in a way that reflects the antiquity of the structure
- ▶ The development team work to incorporate the extant structure into any future redevelopment plans pertaining to 43 David Street.
- ▶ A historical commemoration be undertaken that details the history of the area and unique topography of the property and its connection to a historic tributary of Etobicoke Creek.
- ▶ Should retention in situ not be possible it is recommended that the Proponent work with the City of Brampton to relocate the extant structure to another prominent area in proximity to its current location.

The Provincial Policy Statement (2020) notes that CHVI is identified for cultural heritage resources by communities. Thus, the system by which heritage is administered in Ontario places emphasis on the decision-making of local municipalities in determining CHVI. It is hoped that the information presented in this report will be useful in those determinations.

2. Personnel

Jamie Lemon, M.A.	Project Manager
Carla Parslow, Ph.D., CAHP	Senior Cultural Resource Specialist
Christopher Lemon, B.Sc., Dip. Heritage	Lead Cultural Heritage Specialist
Paulina Scheck, M.A.	Archival Research

Acknowledgements

Marissa Lompart	Assistant Heritage Planner, City of Brampton
Manu Pryia Sharma	Proponent
Gourav Bhanot	Proponent

3. Introduction

Parslow Heritage Consultancy, Inc. (PHC) was retained Manu Pryia Sharma (the Proponent) to conduct a Heritage Impact Assessment (HIA) for the property located at 43 David Street, Brampton, Ontario (the Subject Property). The proponent is applying for a consent and minor variance application as well as a demolition permit to facilitate severance of the property into two lots and eventual re-development of the property with two single or two semi-detached homes.

The purpose of this assessment is to review relevant historical documents and identify any cultural heritage resources associated with the property. To evaluate the cultural heritage value or interest (CHVI) associated with the property, provisions in the *Ontario Heritage Act* (OHA) under Ontario Regulation (O.Reg.) 9/06 and the *Planning Act* (1990) were applied.

The site visit to assess the CHVI associated with 43 David Street was conducted by Chris Lemon on June 29, 2022.

Documentation of the property took the form of high-resolution photographs using a Nikon D5600 DSLR camera, the collection of field notes and the creation of measured drawings. This assessment strategy was derived from the *National Historic Parks and Sites Branch Canadian Inventory of Historic Buildings* (Parks Canada 1980), *Well Preserved: The Ontario Heritage Foundation Manual on the Principles and Practice of Architectural Conservation* (Fram 2003), the *Historic American Building Survey - Guide to Field Documentation* (HABS 2011) and the *Standards and Guidelines for the Conservation of Historic Places in Canada* (Parks Canada 2010). All accessible areas of the property and associated structures were assessed and documented.

The Subject Property is comprised of an approximate 883.89 square metre (0.21 acre) rectangular residential lot located in old downtown Brampton. The Subject Property fronts onto David Street and is bound by 39 David Street to the northeast and 47 David Street to the southwest. The topography of the property slopes to the northeast and contains what remains of a historic tributary of Etobicoke Creek.

The Subject Property is located in a mature residential neighborhood adjacent to the historic downtown core of Brampton and is not currently listed or designated on the City of Brampton's Municipal Register of Cultural Heritage Resources. A number of listed and designated properties are located within 150m of the Subject Property; none of the listed or designated properties are adjacent to 43 David Street (Figure 3).

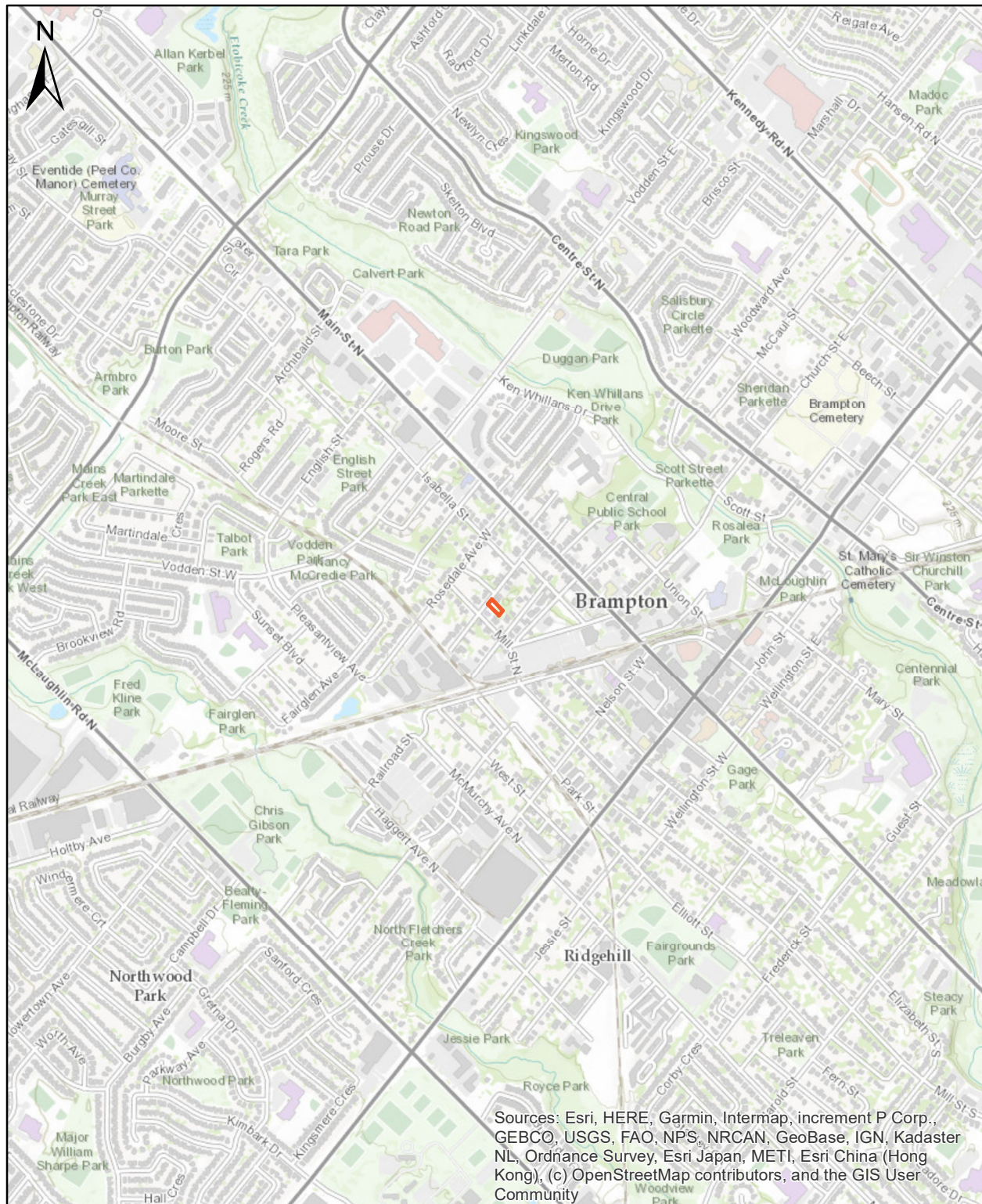
The Subject Property is most readily visible when viewed from the northeast (Figure 7). The set back of the residence and presence of mature trees in front of the structure largely obscures 43 David Street, when foliage is present, when viewed from the northwest.

Historic research indicates that 43 David Street was constructed c.1885 when the property was under the ownership of John Stewart.

3.1 Contact Information


Manu Pryia Sharma
449 Brisdale Drive
Brampton, ON
L7A 0G4

Map 1 - Study Area on Topographic Map



0 0.25 0.5 1 1:25,000
Kilometers

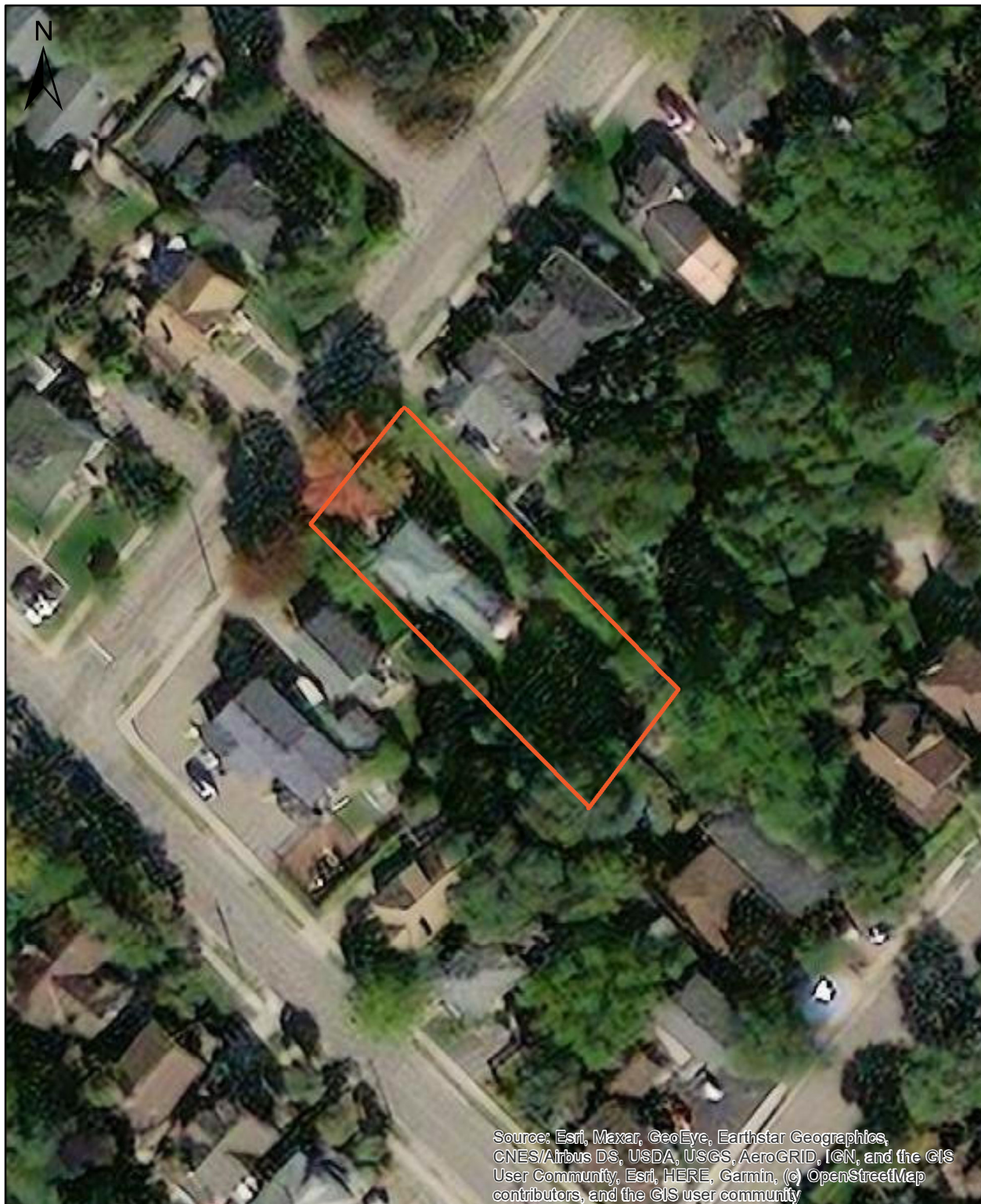
Legend

 Study Area

Heritage Impact Assessment
43 David Street, Brampton, ON




Map 2 - Study Area on Modern Aerial



0 10 20 40 1:1,000
Meters

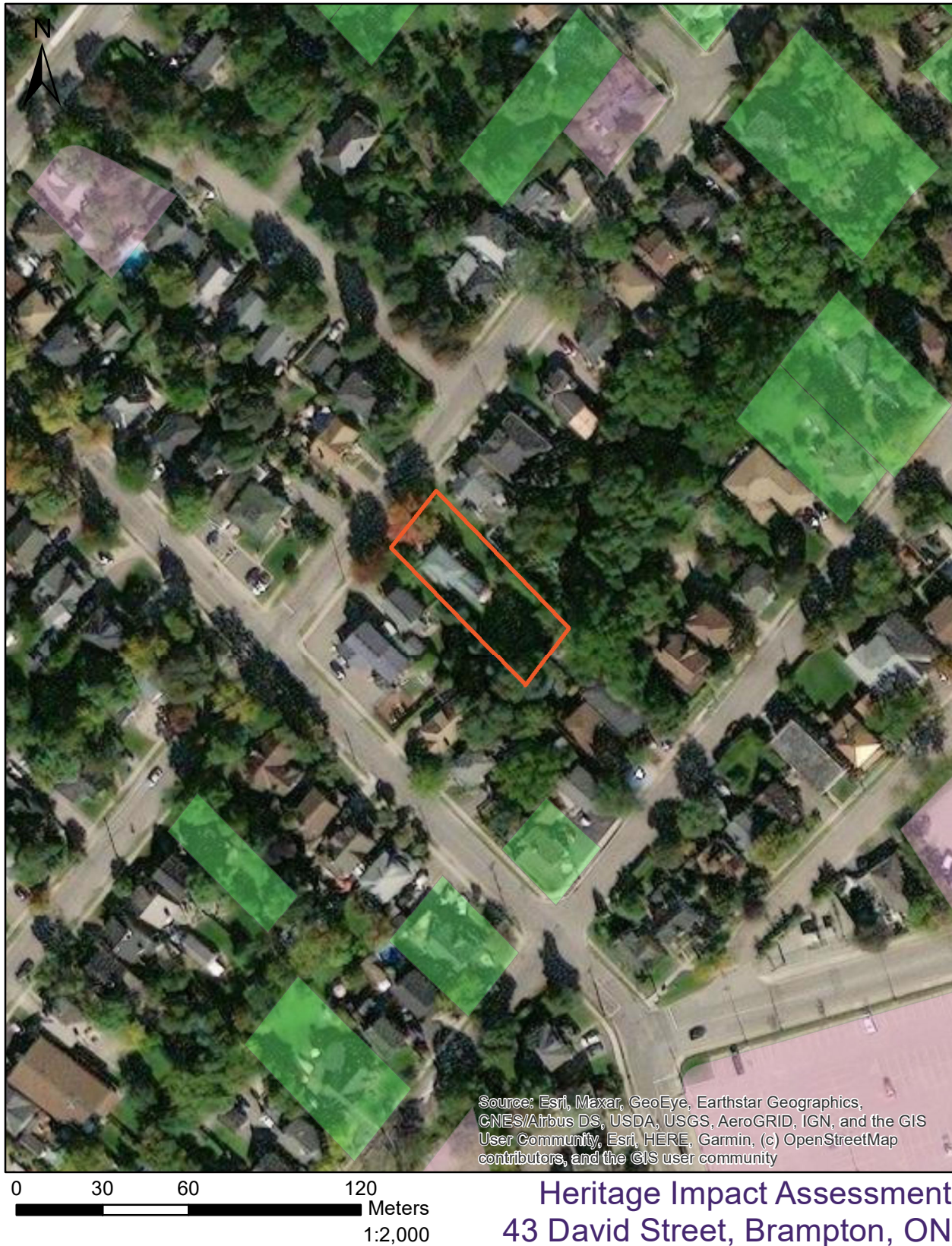
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 Study Area

Heritage Impact Assessment
43 David Street, Brampton, ON



Map 3 - Heritage Properties Near Study Area



Legend

	Study Area		DESIGNATED
			LISTED

4. Legislative and Policy Framework

The following assessment reviews provincial and municipal legislation and policies designed to protect cultural heritage resources that may be affected by development in the City of Brampton. This HIA has been prepared to meet the terms of reference set forth by the *Ontario Heritage Act*, the *Planning Act*, the *Provincial Policy Statement*, the *City of Brampton Official Plan*, as described in the 2020 Terms of Reference for Heritage Impact Assessments (Milton, 2020).

4.1 Provincial Legislation and Policy

4.1.1 Ontario Heritage Act

The criteria for determining cultural heritage value or interest are outlined in the *Ontario Heritage Act* (OHA) under Regulation 9/06. (1) The criteria set out in subsection (2) are prescribed for the purposes of clause 29 (1) (a) of the Act. (2) A property may be designated under section 29 of the Act if it meets one or more of the following criteria for determining whether it is of cultural heritage value or interest:

1. The property has design value or physical value because it,
 - i) is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii) displays a high degree of craftsmanship or artistic merit, or
 - iii) demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i) has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii) yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii) demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i) is important in defining, maintaining or supporting the character of an area,
 - ii) is physically, functionally, visually or historically linked to its surroundings, or
 - iii) is a landmark.

4.1.2 Planning Act

The *Planning Act* (1990) provides the legislative framework for land use planning in Ontario. Part 1, Section 2 (d) and (r) of the Act identifies matters of provincial interest.

Part I, Section 2

The Minister, the council of a municipality, a local board, a planning board and the Tribunal, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as,

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

(e) the promotion of built form that,

(i) is well-designed,

(ii) encourages a sense of place, and

(iii) provides for public spaces that are of high quality, safe, accessible, attractive and vibrant.

4.1.3 Provincial Policy Statement (2020)

The Provincial Policy Statement (PPS), issued under Section 3 of the *Planning Act*, came into effect on May 1, 2020. It applies to all planning decisions made on or after that date and replaced the PPS, 2014. The PPS provides direction for the appropriate regulation for land use and development while protecting resources of provincial interest, and the quality of the natural and built environment, which includes cultural heritage and archaeological resources. These policies are specifically addressed in Part V, Sections 1.7 and 2.6.

Section 1.7.1e of the PPS addresses long-term economic prosperity by “encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes”.

Section 2.6 of the PPS addresses the protection and conservation cultural heritage and archaeological resources in land use planning and development and requires the following:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.2 Development and site alteration shall not be permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources have been conserved.

2.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

2.6.4 Planning authorities should consider and promote archaeological management plans and cultural plans in conserving cultural heritage and archaeological resources.

2.6.5 Planning authorities shall engage with Indigenous communities and consider their interests when identifying, protecting and managing cultural heritage and archaeological resources.

4.2 Municipal Policy Framework

4.2.1 City of Brampton Official Plan

The *City of Brampton Official Plan* was first adopted in 2006 and was most recently consolidated in September 2020 (City of Brampton 2020a). The Official Plan states that Cultural Heritage will be preserved, and Section 4.10 of the Official Plan specifically addresses cultural heritage resources and outlines the of the City's cultural heritage resource policies:

- ▶ Conserve the cultural heritage resources of the City for the enjoyment of existing and future generations
- ▶ Preserve, restore, and rehabilitate structures, buildings or sites deemed to have significant historic, archaeological, architectural or cultural significance and, preserve cultural heritage landscapes; including significant public views; and,
- ▶ Promote public awareness of Brampton's heritage and involve the public in heritage resource decisions affecting the municipality.

Section 4.10.11 of the Official Plan addresses the preferred hierarchy of options to conserve Cultural Heritage Resources, stating that:

All options for the on-site retention of properties of cultural heritage significance shall be exhausted before resorting to relocation. The following alternatives shall be given due consideration in order of priority:

- i. On-site retention in the original use and integration with the surrounding or new development;*
- ii. On-site retention in an adaptive re-use;*
- iii. Relocation to another site within the same development; and,*
- iv. Relocation to a sympathetic site within the city.*

4.2.2 City of Brampton Heritage Impact Assessment Terms of Reference 2020

HIAs in the City of Brampton are conducted under the standards set forth by their terms of reference adopted in 2020 (City of Brampton 2020b). A PDF of the TOR is available on the City of Brampton's webpage.

5. Background Research

The lands that would eventually form the Subject Property enter the historic record as part of Lot 7, Concession 1 West of Centre Road (WCR), Township of Chinguacousy on 22 February 1831, when the Crown granted the east half of Lot 7 (100 acres) to Robert Lowes and his wife. On 18 September 1855 Robert Lowes was granted a plan of subdivision for part of the east half of Lot 7, Concession 1 WCR. Following the issuing of plan of subdivision, known as BR-32, Robert commences selling small plots of land to various buyers; this process continues into the beginning of the 20th century.

The current 43 David Street property was originally identified as Lot 24 BP-32 and was sold to John Stewart on 4 October 1884. By 1891, John Stewart is listed on the census as being 54 years of age and living in a brick two-storey, 10 room house with his wife Mary (age 38), and children William (age 15), John (age 14), Annie (age 12), Alexander (age 11) and Elizabeth (age 9). It is likely this house represents the extant brick house. On 10 August 1891, John Stewart sold Lot 24 BP-32 to Edwin O. Runians. Runians secured a mortgage against the property on 16 May 1898; the property is mortgaged to Wyld, Grasett and Company, and on 28 February 1903, the mortgage is transferred to Wyld Darling Company. Later that year, Edwin O. Runians appears to default on the mortgage as Wyld Darling Company sells Lot 24 BP-32 on 1 April 1903, to Robert Broddy. Census records list Robert Broddy as a widower who was employed as a Sherrif. On 3 October 1903, Robert Broddy sold Lot 24 BP-32 to Daniel Armstrong; the 1921 Canada Census lists Daniel Armstrong, age 68, as living with his wife Sarah (age 58) and daughter Mary E. (age 33) in a brick veneered house with eight rooms (occupied by the family for living purposes). The change from 10 rooms to eight rooms between 1891 and 1921 suggest the house undergoes a renovation during this time. On 2 August 1955, the estate of a Sarah Armstrong granted 24 BP-32 to Mary E. Armstrong. On 22 August 1963, the estate of Mary E. Armstrong granted Lot 24 BP-32 to Annie E. Campbell. On 28 August 1980, Annie Campbell granted Lot 24 BP-32 to Deborah L. Bodiam. On 1 October 1985, Deborah L. Bodiam granted an unspecified part of Lot 24 BP-32 to Antonio Carson Silva, Joan I. Pacheco, Grace Pacheco, and Tony. In the same year, on 4 November, Deborah L. Bodiam granted Antonio Carson Silva, Joan I. Pacheco, Grace Pacheco, and Tony Pacheco the remainder of Lot 24 BR-32, described as part 2. On 29 July 1988, Antonio Carson Silva, Joan I. Pacheco, Grace Pacheco, and Tony Pacheco granted the property to Paul John and Judith Elizabeth Pynicky (Pynsky). The latter sold the property to Joseph Jager on 11 February 2021, who sold it to its current owner, Priya Manu Sharma, on 8 June 2021.

Table 1: Pertinent land transactions for 43 David Street

Reg. #	Inst.	Date	Grantor	Grantee	Comment
	Crown Patent	22 February 1831	The Crown	Robert Lowes	E ½ Lot No. 7 1 st concession WCR, 100 acres
BR-8	Plan of Subdivision	18 Sept 1855	Robert Lowes	Robert Lowes	Part of E ½
3572	B&S	4 October 1884	Robert Lowes et ux	John Stewart	Part of E ½ BR-8 and BR-32
5096	B&S	10 August 1891	John Stewart et ux	Edwin O. Runians	B&S, LOT 24 BP-32
5985	Mortgage	16 May 1898	Edwin Oscar Runians et ux	Frederick Wyld; Arthur W. Grasett;	Mortgage; Part as collateral security for the repayment of the sum of \$64000 and OL

				Andrew Darling under the name of Wyld; Grasett and Andrew Darling	
5667	Assumption of mortgage	28 February 1903	Wyld, Grasett & Company	Wyld Darling Company	And the premises
6688	B&S	1 April 1903	Wyld Darling Co. Ltd.	Robert Broddy	B&S, LOT 24 BR-32
6767	B&S	3 October 1903	Robert Broddy et ux	Daniel Armstrong	B&S, LOT 24 BR-32
30302	Grant	2 August 1955	Mary E. Armstrong Extrs. Sarah Armstrong Estate	Mary E. Armstrong	Grant, LOT 24 BR-32; Part Comm at NEL W along David St. 47'. Thence W 8' x S 160' x E 29' x 60' to p of b.
48353	Grant	22 August 1963	Annie A. Young in her personal capacity & as Extrx. of Mary E. Armstrong Est.	Annie N. Campbell	Grant, LOT 24 BR-32
556874	Grant	28 August 1980	Annie N. Campbell	Deborah L., Bodiam	Grant, LOT 24 BP-32; Part Comm at WL. Thence NE 8' x SE 157.24' x SW 29' x NW to p of c & O.L.
732963	Grant	1 October 1985	Bodiam, Deborah L.	Silva, Antonio Carson; Joan I. Pacheco; Grace Pacheco; Tony	Grant, LOT 24 BP-32
732963	Grant	4 November 1985	Bodiam, Deborah L.	Silva, Antonio Carson; Joan I. Pacheco; Grace Pacheco; Tony	Grant, LT24 PL BR-32; All & OL designated as PT 2 on 43R-9448
856521	Grant	29 July 1988	Silva, Antonio Carson; Joan I. Pacheco; Grace Pacheco; Tony	Pynicky, Paul John; Pynicky, Judith Elizabeth	Grant, LT24 PL BR-32; All & OL designated as PT 2 on 43R-9448
PR3780 856	Transfer	11 February 2021	Pynsky, Judith Elizabeth	Jager, Joseph Charles; Pynsky, Judith Elizabeth Estate	Transmission-Land, LT24 PL BR-32 Brampton; PT LT 23 PL BR-32 Brampton PT 2, 43R-9448
PR3848 086	Transfer	8 June 2021	Jager, Joseph Charles	Sharma, Manu Pryia	Transfer Pers Rep, LT 24 PL BR-32 Brampton; PT LT 23 PL BR-32 Brampton PT 2, 43R-9448
3572	B&S	4 October 1884	Robert Lowes et ux	John Stewart	Part of E ½ BR-8 and BR-32
5096	B&S	10 August 1891	John Stewart et ux	Edwin O. Runians	B&S, LOT 24 BP-32
5985	Mortgage	16 May 1898	Edwin Oscar Runians et ux	Frederick Wyld; Arthur W. Grasett; Andrew Darling under the name of Wyld; Grasett and Andrew Darling	Mortgage; Part as collateral security for the repayment of the sum of \$64000 and OL
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PR3780 856	Transfer	11 February 2021	Pynsky, Judith Elizabeth	Jager, Joseph Charles; Pynsky, Judith Elizabeth Estate	Transmission-Land, LT24 PL BR-32 Brampton; PT LT 23 PL BR-32 Brampton PT 2, 43R-9448
PR3848 086	Transfer	8 June 2021	Jager, Joseph Charles	Sharma, Manu Pryia	Transfer Pers Rep, LT 24 PL BR-32 Brampton; PT LT 23 PL BR-32 Brampton PT 2, 43R-9448



Figure 1: Portion of 1855 Plan of Subdivision BR-32, red outline indicates Lot 24, municipal address 43 David Street. (Plan on file with OnLand)



Figure 2: Portion of 1859 Tremaine's Map of Brampton, red outline indicates Subject Property



Figure 3: Portion of 1877 Walker and Miles Map of Peel County, Chinguacousy Township, red star indicates approximate location of Subject Property



Figure 4: Portion of a 1915 topographic map of Brampton, red arrow indicates location of 43 David Street on the banks of a tributary of Etobicoke creek (map on file at McMaster University)

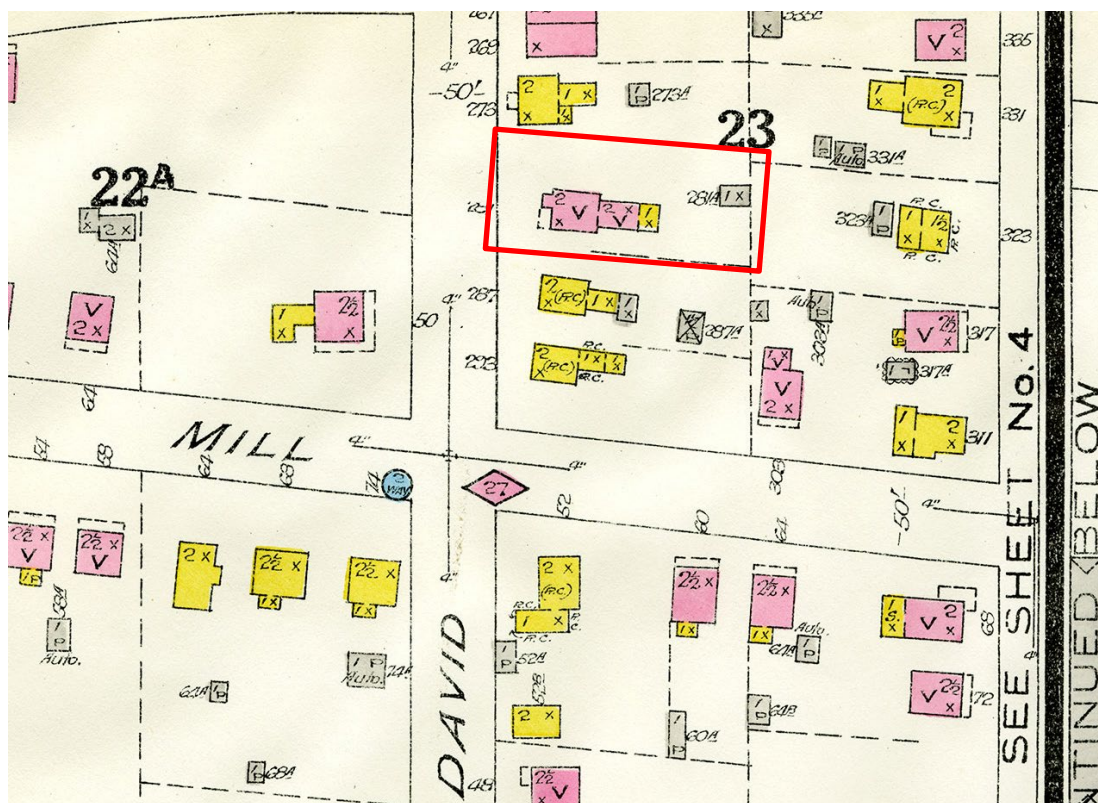


Figure 5: Portion of 1921 Fire Insurance Plan of City of Brampton, red outline indicates 43 David Street (map on file Peel Archives)



Figure 6: Portion of 1968 Aerial image, red outline indicates Subject Property (image on file with City of Toronto Library)

6. Assessment of Existing Conditions

6.1 Surrounding Area

The Subject Property is located in a mature residential neighborhood adjacent to the historic downtown core of Brampton.



Figure 7: Looking southwest down David Street from Lowes Avenue, red arrow indicates 43 David Street



Figure 8: Looking northeast down David Street from Mill Street North, red arrow indicates location of 43 David Street



Figure 9: Looking southeast down Lowes Avenue towards David Street, red arrow indicates 43 David Street

6.2 Subject Property

6.2.1 Exterior



Figure 10: Out of season image of 43 David Street, photo taken from ZOLO real-estate, date of image is unknown



Figure 11: Front façade of 43 David Street



Figure 12: Front façade of 43 David Street during site visit



Figure 13: East side of 43 David Street



Figure 14: Closeup of east side of rear addition



Figure 15: Rear face of structure

6.2.2 Exterior Details



Figure 16: Typical original two over two sash window with replacement cast lug sill (original sills were wood)



Figure 17: Close up of millwork associated with front veranda



Figure 18: Example of remaining millwork at eaves



Figure 19: Original brackets on bay window



Figure 20: Detail of field stone foundation

6.2.3 Interior



Figure 21: Entrance foyer, facing southeast



Figure 22: Main room first floor, facing southeast



Figure 23: Main room first floor, facing northwest



Figure 24: Kitchen located on first floor of rear addition, facing southeast



Figure 25: Kitchen, facing northwest



Figure 26: Rear room first floor of rear addition, facing south



Figure 27: Rear room first floor of rear addition, facing north



Figure 28: First floor bedroom, facing northwest



Figure 29: First floor bedroom, facing south



Figure 30: First floor washroom, facing northwest



Figure 31: First floor washroom, facing southeast



Figure 32: Composite image of original staircase, front foyer



Figure 33: Landing at top of stairs second floor, facing northwest



Figure 34: Hallway and landing of second floor, facing south



Figure 35: Siting room, southwest corner of second floor main structure, facing west



Figure 36: Siting room, southwest corner of second floor main structure, facing north



Figure 37: Second floor bedroom, northeast corner of original structure, facing northwest



Figure 38: Second floor bedroom, northeast corner of original structure, facing southeast



Figure 39: Second bedroom, second floor, southeast corner of main structure, facing southeast



Figure 40: Second bedroom, second floor, southeast corner of main structure, facing north



Figure 41: Second floor rear addition, facing southeast



Figure 42: Second floor rear wing, facing northwest



Figure 43: Washroom second floor, rear addition

6.2.4 Interior Details



Figure 44: Close up of original balustrade and trim as seen in front entrance



Figure 45: Detail of decorative scroll work on staircase



Figure 46: Example of original metal heat register



Figure 47: Example of original doors



Figure 48: Original multi-coloured glass as seen in original 'Queen Anne' style bay window.

7. Evaluation of Cultural Heritage Value or Interest

O.Reg. 9/06 prescribes the criteria for determining the CHVI of a property. The regulation requires that, to be designated, a property must meet “one or more” of the criteria grouped into the categories of Design/Physical Value, Historical/Associative Value, and Contextual Value (MTCS 2006a). Table 2 lists these criteria and identifies if the criteria were met at 43 David Street; these criteria are expanded on below.

7.1 Regulation 9/06 Evaluation of 43 David Street

Table 2: Criteria for determining CHVI as per Ontario Regulation 9/06

O.Reg 9/06 Criteria	Criteria Met (Y/N)	Justification
The property has design value of physical value because it:		
I. Is a rare, unique, representative or early example of a style, type, expression, material, or construction method	Y	The residence is representative of common vernacular design that does not adhere to a specific architectural style. Structure dates to the Victorian Period (1840-1900) and incorporates decorative millwork popular in the Victorian period and incorporates a Queen Anne Style window in front bay. Has a unique squat appearance due to lack of separation between second story structural openings and soffit.
II. Displays a high degree of craftsmanship or artistic merit, or	N	Structure depicts standard frame construction with red brick veneer, typical of the late 19th century.
III. Demonstrates a high degree of technical or scientific achievement.	N	Structure does not deviate from standard construction practices of the era.
The property has historical value or associative value because it,		
I. Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community,	Y	The property and structure are associated with the general theme of community growth. 43 David Street appears to be one of the earlier examples of residential expansion in the area. Historic records do not indicate a connection to any events or persons of significance to a community.
II. Yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or	N	Property does not have potential to yield new information that would contribute to the understanding of a community or culture.
III. Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.	N	None observed, structure is of vernacular form reflecting the standard architectural tastes of the day.
The property has contextual value because it,		

I. Is important in defining, maintaining, or supporting the character of an area	Y	Structure contributes to supporting the historic residential development of Brampton. The structure is important to supporting the heritage atmosphere and character of the area.
II. Is physically, functionally, visually, or historically linked to its surroundings	Y	Structure is visually linked to the surrounding streetscape. Property is part of the overall heritage viewscape of the area. Structure is historically linked to the surrounding area as it represents one of the older structures on the south side of David Street.
III. Is a landmark	N	Property is not a landmark.

7.1.1 Design Value or Physical Value

43 David Street is a vernacular example of Victorian era residential construction that does not conform to established major architectural styles. The structure displays well executed decorative millwork and a unique window finish on front bay. The lack of separation between second storey structural openings and soffit line give the structure a squat appearance.

7.1.2 Historic Value or Associative Value

43 David Street is an example of early suburban residential growth and is one of the earlier examples of residential growth as shown by historic mapping.

7.1.3 Contextual Value

43 David Streets displays significant contextual value. The residence is unique in the area as is its positioning within its lot. The property depicts one of the earlier expansions of the historic core of Brampton and the topography of the lot reflects the construction of the structure on a historic tributary of Etobicoke creek. The property is part of a well-defined collection of heritage homes and is a contributing factor to the historic streetscape and character of the area.

7.2 Character Defining Attributes of 43 David Street

- ▶ Massing of two-storey residential structure, “T” shaped plan
- ▶ Hip roof with gable rear addition
- ▶ Unique presentation at soffit, no space between structural openings and soffit, resulting in a squat appearance to the front façade.
- ▶ Decorative millwork at corners
- ▶ Decorative millwork and brackets associated with bay window and veranda
- ▶ Original wooden sash windows
- ▶ Unique design of front bay window incorporating coloured glass
- ▶ Unique placement on lot, structure originally constructed on the bank of a tributary of Etobicoke Creek, this is reflected in the steep slope on northeast side of property

8. Draft Statement of Significance

43 David Street is a vernacular example of late 19th century Victorian era residential construction that does not conform to established major architectural styles. The structure displays well executed decorative millwork on the front veranda and at eave corners, as well as a unique 'Queen Anne style' window finish on front bay. The lack of separation between second storey structural openings and soffit line gives the structure a unique squat appearance. Historic research indicates that 43 David Street was constructed c.1885 when the property was under the ownership of John Stewart.

The property is also unique in that it retains the historic topography of the area related to a former tributary of Etobicoke Creek.

43 David Street retains examples of original wood sash windows as well as original examples of bracketing, and mill work associated with the front veranda and bay window.

The interior has been extensively re-modeled but retains examples of original trim work and some original doors. The most striking feature of the interior is the original staircase and balustrade coupled with curved plaster work. The rear wing appears original to the structure, but all original interior finishes have been lost. While examples of original trim work remain most of the trim in the house is (well executed) modern reproduction.

Character Defining Attributes of 43 David Street

- ▶ Massing of two-storey residential structure, "T" shaped plan
- ▶ Hip roof with gable rear addition
- ▶ Unique presentation at soffit, no space between structural openings and soffit, resulting in a squat appearance to the front façade.
- ▶ Decorative millwork at corners
- ▶ Decorative millwork and brackets associated with bay window and veranda
- ▶ Original wooden sash windows
- ▶ Unique design of front bay window incorporating coloured glass
- ▶ Unique placement on lot, structure originally constructed on the bank of a tributary of Etobicoke Creek, this is reflected in the steep slope on northeast side of property

9. Description of the Proposed Development or Alteration

The proponent is applying for a consent and minor variance application as well as a demolition permit to facilitate severance of the property into two lots and eventual re-development of the property with two single or two semi-detached homes. Available development mapping is provided in Appendix B.



Figure 49: Excerpt of proposed lot severance in relation to extant structure

10. Impact of Development or Alteration on Heritage Status

In keeping with the guidelines of the MTCS *Info Sheet #5 Heritage Impact Assessment and Conservation Plans* and the City of Brampton's Heritage Impact Assessment Terms of Reference, the following were reviewed to further assess any potential negative impacts on the property's CHVI arising from the proposed site re-development (MTCS 2006b):

Removal of any, or part of any significant heritage attributes or features:

- ▶ Demolition of 43 David Street would remove all identified heritage attributes of the property
- ▶ Demolition of 43 David Street would result in direct impact the heritage character of the surrounding area
- ▶ Alteration of grade would negate the topographic connection to historic tributary of Etobicoke Creek

Alteration that impacts the historic fabric and appearance:

- ▶ The demolition of 43 David Street would result in direct impact to the historic fabric of the area and the overall appearance of the surrounding streetscape.

Shadow impacts that alter the appearance and/or setting of a heritage attribute, or change in the viability of an associated natural feature or plantings, such as a garden:

- ▶ Retention of the structure is not being considered and as such no shadow studies are available at this time.
- ▶ Structure is not intended to be retained and as such future shadows will have no impact on identified heritage attributes.

Isolation of a heritage attribute from its surrounding environment, context, or a significant relationship:

- ▶ Demolition of 43 David Street would alter the relationship between structures that currently abut the Subject Property.
- ▶ Demolition would result in the loss of context and subsequent redevelopment of the lot would alter the topography of the lot and result in the loss of connection to the historic tributary of Etobicoke Creek

Direct or indirect obstruction of significant view or vistas within, from, or of built and natural features:

- ▶ No significant views into or out of the Subject Property or residence were identified

A change in land use where the change in use negates the property's cultural heritage value:

- ▶ Proposed redevelopment of the lot would require demolition of the existing structure and eliminate the property's CHVI.

Land disturbances such as a change in grade that alters soil and drainage patterns that adversely affect a cultural heritage resource, including archaeological resources:

- ▶ Property exhibits archaeological potential given its connection to a historic tributary of Etobicoke creek.
- ▶ Property should be subject to archaeological assessment prior to any alteration of the property.

11. Considered Alternatives and Mitigation Strategies

Evaluation of 43 David Street against the terms of O.Reg. 9/06 (Table 2) shows the property to have CHVI and to be a candidate for designation under Part IV of the OHA.

The following mitigation strategies should be considered by the City of Brampton during review of the associated application:

1. The property is a candidate for designation under Part IV of the OHA and should be considered for designation by the City of Brampton
2. Per the City of Brampton's Official Plan, every effort should be made to retain and restore 43 David Street as a single-family home. Retention and retrofit would include:
 - a. Restoration of the original 'T' shaped structure, structure could be augmented with a rear addition.
 - b. Interior and exterior renovation to provide for a contemporary living experience, and be in keeping with the antiquity of the structure
3. Implement a historical commemoration on the property that details the history of the area and unique topography of the property.
4. The Proponent has indicated that the retention of 43 David Street is not feasible given their desire to subdivide the lot; Per the City of Brampton's Official Plan, if the City approves the forthcoming demolition permit, relocation of the structure should be considered.

12. Recommendations

Evaluation of 43 David Street against O.Reg. 9/06 finds the structure and property to have CHVI; as such, the property is a candidate for designation under Part IV of the OHA.

In keeping with provisions of the OHA, Regulation 9/06, and the City of Brampton's *Official Plan* (2020) the following recommendation are made:

- ▶ 43 David Street be added to the Municipal Register of Cultural Heritage Resources and considered as a candidate for designation by municipal by-law under Part IV of the OHA.
- ▶ Any future alterations to the structure be limited to the rear of the structure and not impede the street exposure of the front façade or east side.
- ▶ The front veranda be subject to conservation and restored in a way that reflects the antiquity of the structure
- ▶ The development team work to incorporate the extant structure into any future redevelopment plans pertaining to 43 David Street.
- ▶ A historical commemoration be undertaken that details the history of the area and unique topography of the property and its connection to a historic tributary of Etobicoke Creek.
- ▶ Should retention in situ not be possible it is recommended that the Proponent work with the City of Brampton to relocate the extant structure to another prominent area in proximity to its current location.

The Provincial Policy Statement (2020) notes that CHVI is identified for cultural heritage resources by communities. Thus, the system by which heritage is administered in Ontario places emphasis on the decision-making of local municipalities in determining CHVI. It is hoped that the information presented in this report will be useful in those determinations.

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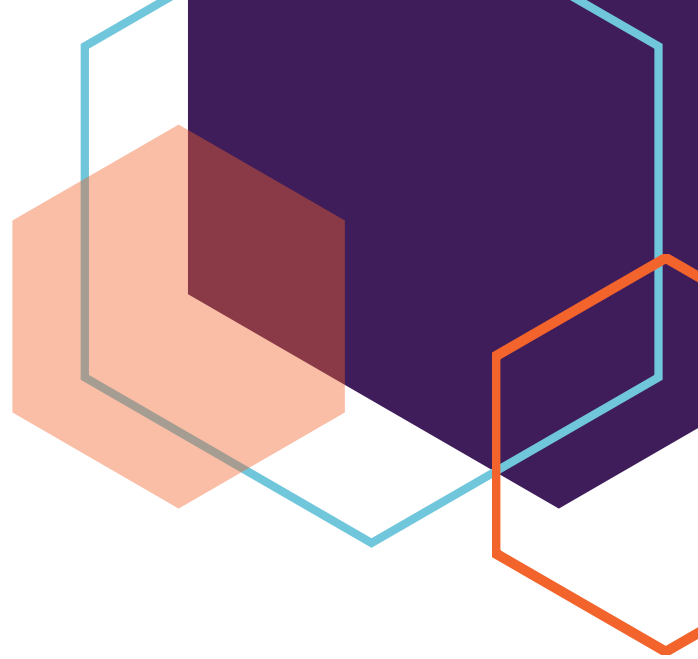
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Appendix A



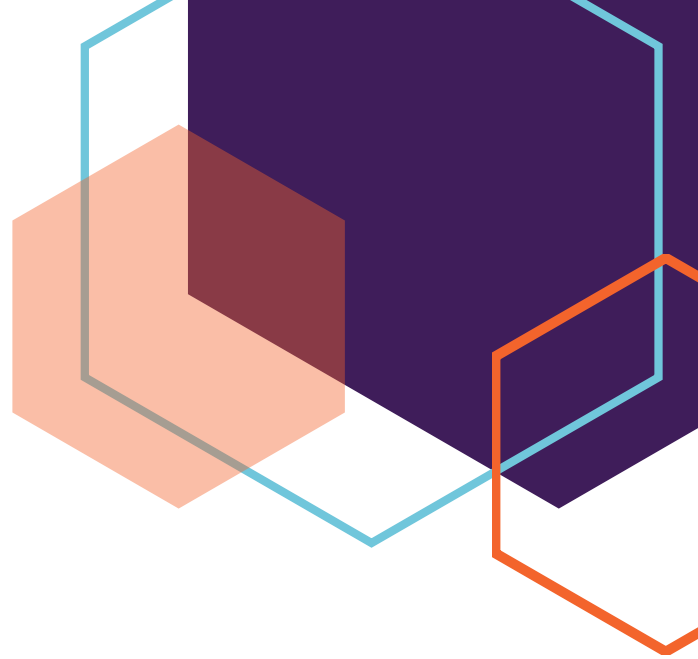
Senior Heritage Specialist – Carla Parslow, PhD, CAHP Member in Good Standing: Dr. Carla Parslow has over 20 years of experience in the cultural heritage resource management (CHRM) industry in Canada. As the President of PHC Inc., Dr. Parslow is responsible for the management of CHRM projects, as well as the technical review and quality assurance of all archaeological and cultural heritage projects completed by PHC. Throughout her career, Carla has managed both large and small offices of CHRM professionals and has mobilized both large (50+) and small (4+) teams of CHRM and Environmental projects offices throughout the province of Ontario. Dr. Parslow has served as either Project Manager or Project Director on hundreds of Archaeological and Cultural Heritage Assessments. Dr. Parslow is a professional member of the Canadian Association of Heritage Professionals (CAHP).

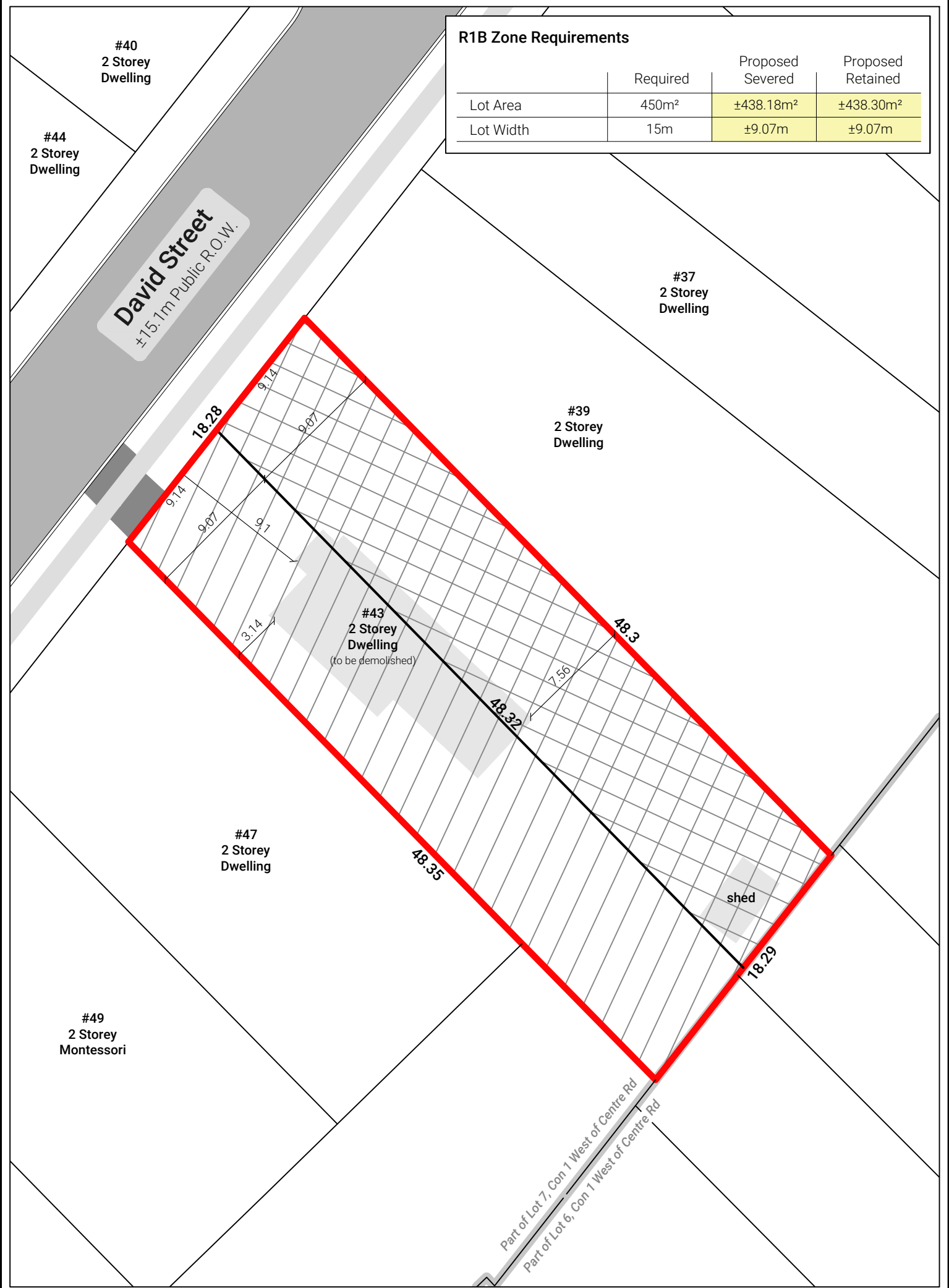
Dr. Parslow is also responsible for the overall quality assurance.

Heritage Specialist – Chris Lemon, B.Sc., Dip. CAHP Member in Good Standing: Chris Lemon is a Cultural Heritage Specialist and Licensed Archaeologist (R289) with 15 years' experience. He received an Honours B.Sc. in Anthropology from the University of Toronto and has completed course work towards an M.A. from the University of Western Ontario. Mr. Lemon has a Diploma in Heritage Carpentry and Joinery and a Certificate in Heritage Planning from Algonquin College. During his career Mr. Lemon has participated in cultural heritage assessments across Ontario as both a Senior Field Director in archaeology and as a Built Heritage Practitioner. Chris's previous experience includes representation on Joint Health and Safety Committees; he is dedicated to maintaining a safety-first focus on all job sites. Chris is a professional member of the Canadian Association of Heritage Professionals (CAHP).

Mr. Lemon is responsible for research, reporting and analysis.

Appendix B





R1B Zone Requirements			
	Required	Proposed Severed	Proposed Retained
Lot Area	450m ²	±438.18m ²	±438.30m ²
Lot Width	15m	±9.07m	±9.07m

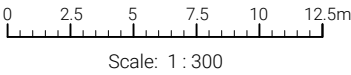
Appendix A

Consent Sketch

43 David Street,
City of Brampton

Legend

- Subject Lands**
Total Area: ±876.48m² (0.22ac)
Lot Width: ±18.13m
- Lands to be Severed**
Lot Area: ±438.18m²
Lot Width: ±9.07m
- Lands to be Retained**
Lot Area: ±438.30m²
Lot Width: ±9.07m
- Existing Structures to be Demolished**



Note: This drawing is for discussion purposes only.
Property boundary to be verified by an O.L.S.
Source: MyBrampton Interactive map.

Drawn By: A.M. Date: March 23, 2022

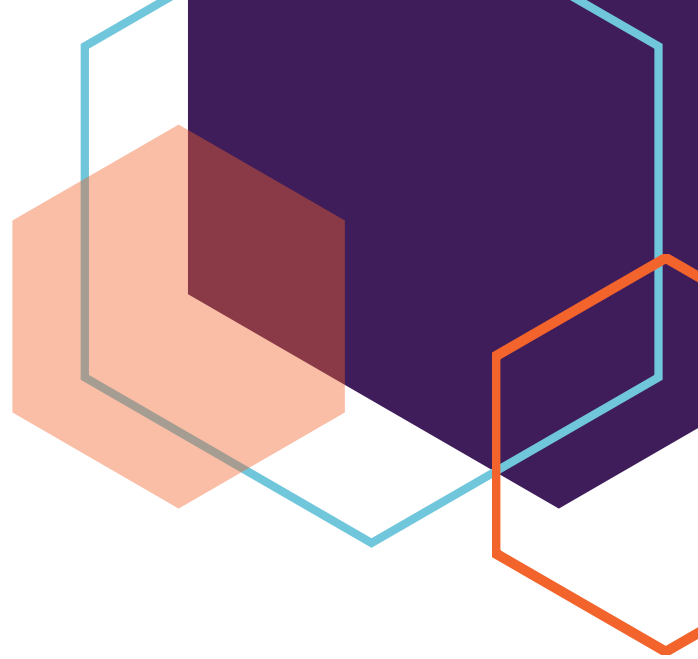
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Powell Planning & Associates

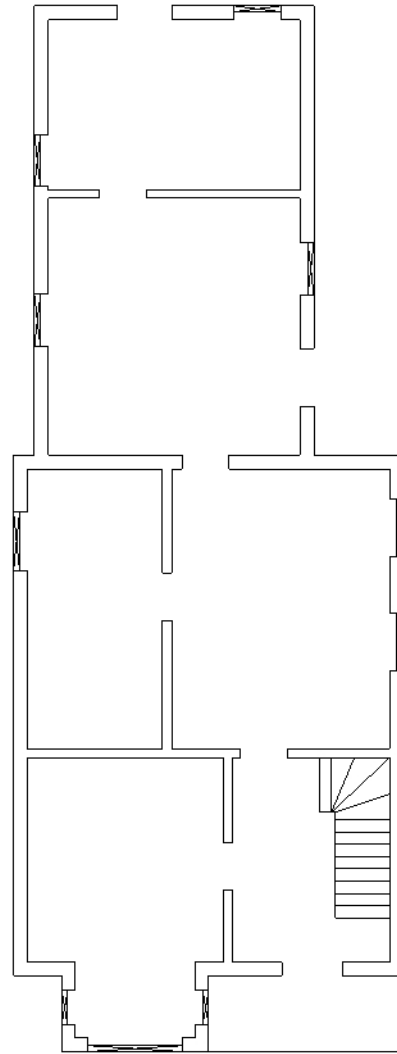
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County of Simcoe, ON Email: aimee@powellplanning.ca

Appendix C

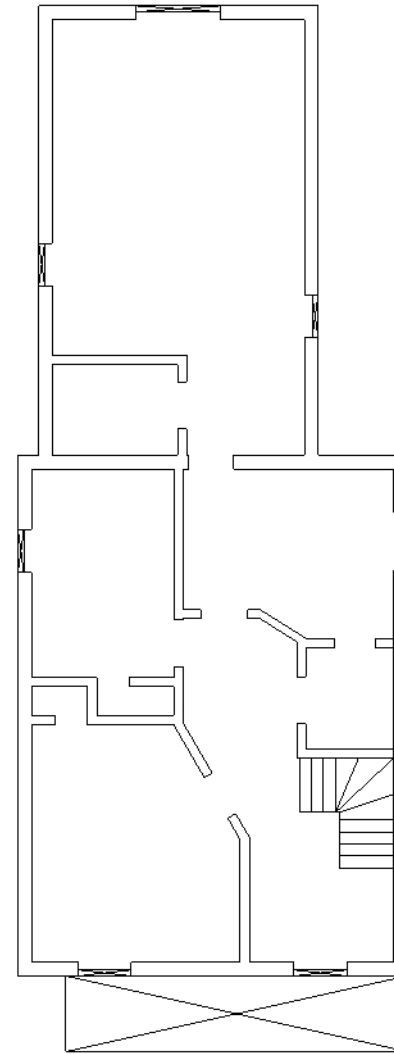


Floor Plan 43 David Street

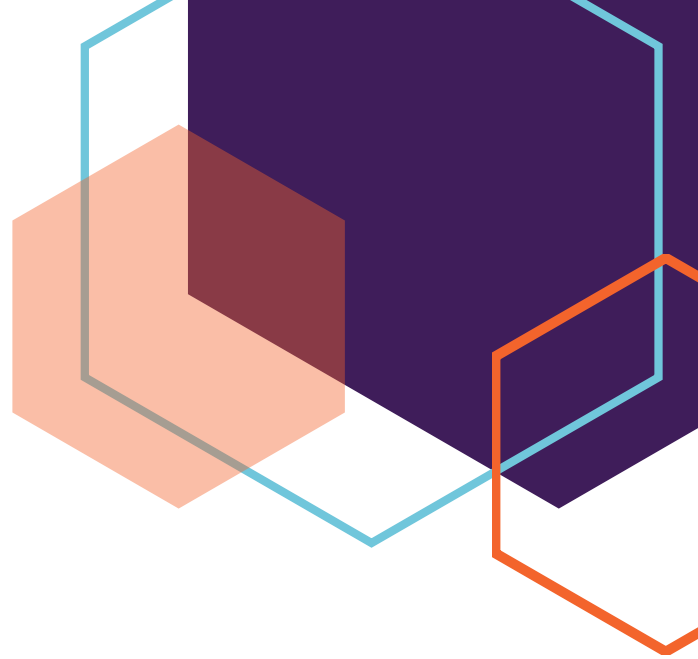
First Floor



Second Floor



Appendix D





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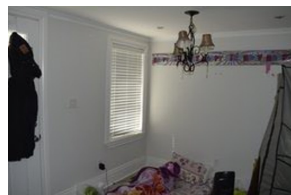
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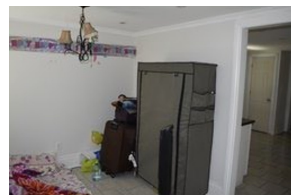
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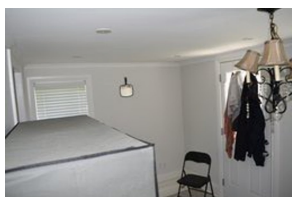
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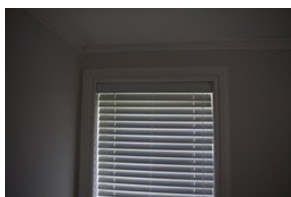
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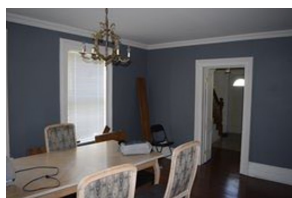
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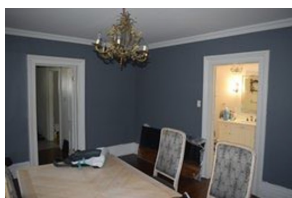
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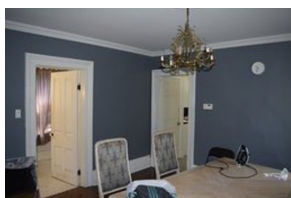
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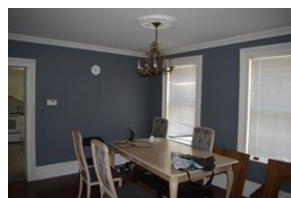
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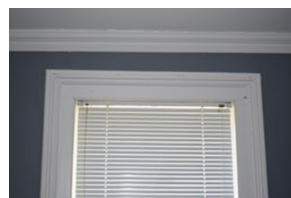
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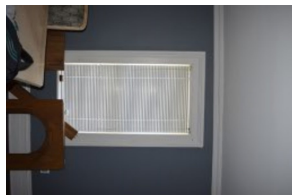
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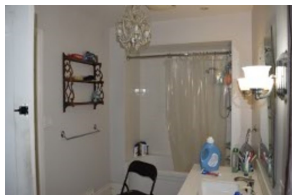
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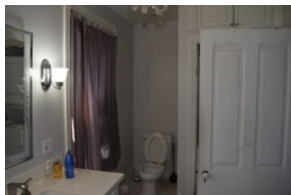
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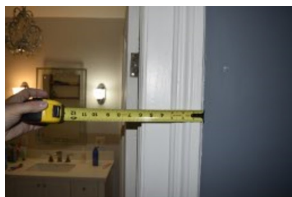
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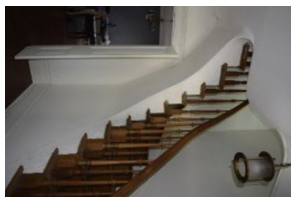
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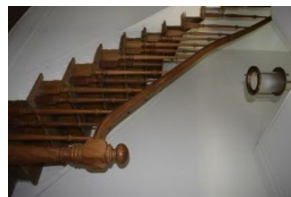
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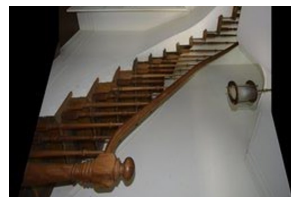
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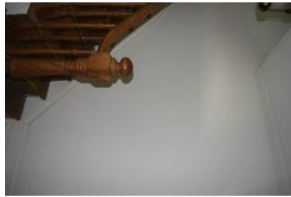
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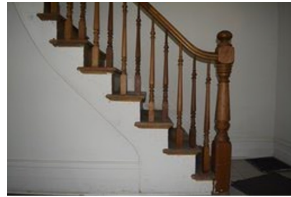
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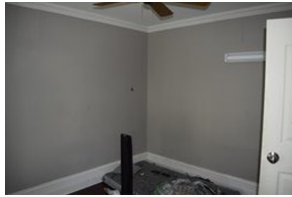
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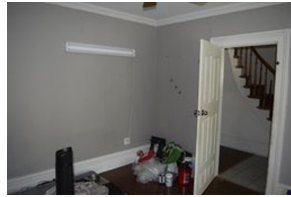
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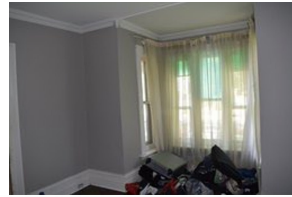
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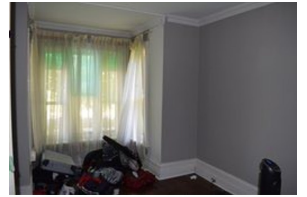
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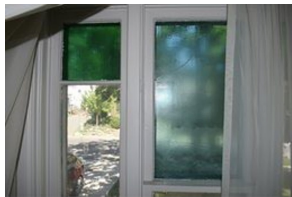
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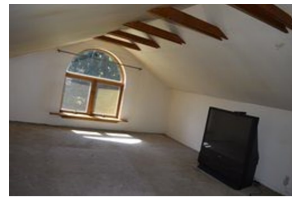
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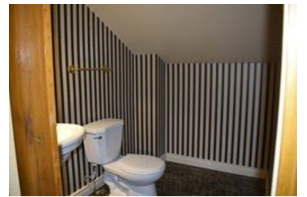
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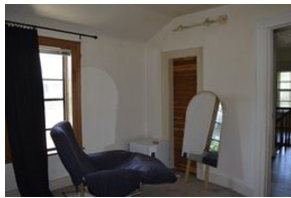
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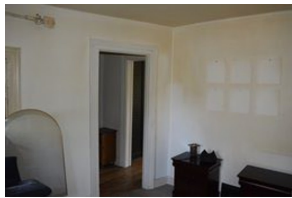
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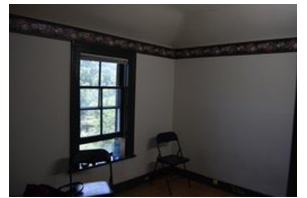
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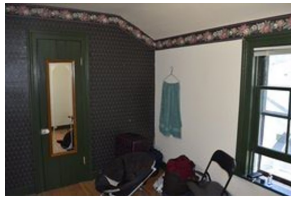
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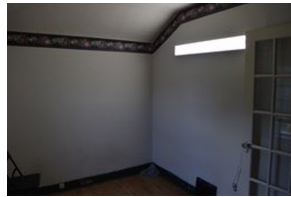
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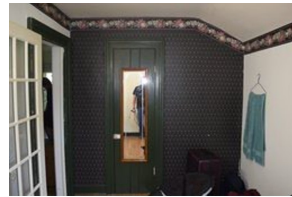
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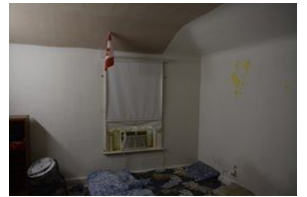
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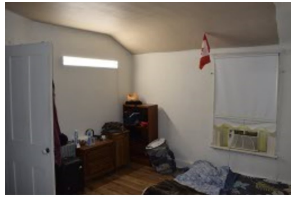
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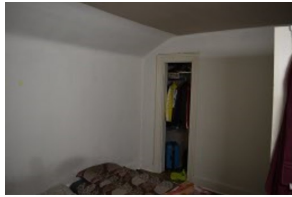
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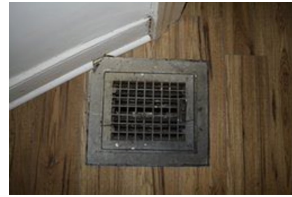
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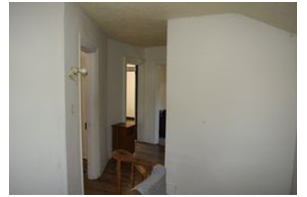
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Telephone: 647-348-4887

Email: admin@phcgroup.ca

Website: www.phcgroup.ca

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ADAI KALARAJ POTHAGA AND MARIA ANTHONY KOVEENA PRAKASAM** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described Lot 113, Plan 43M-2022 municipally known as **24 JEMINA ROAD**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance within a required interior side yard whereas the by-law does not permit exterior stairways constructed below the established grade within a required interior side yard;
2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

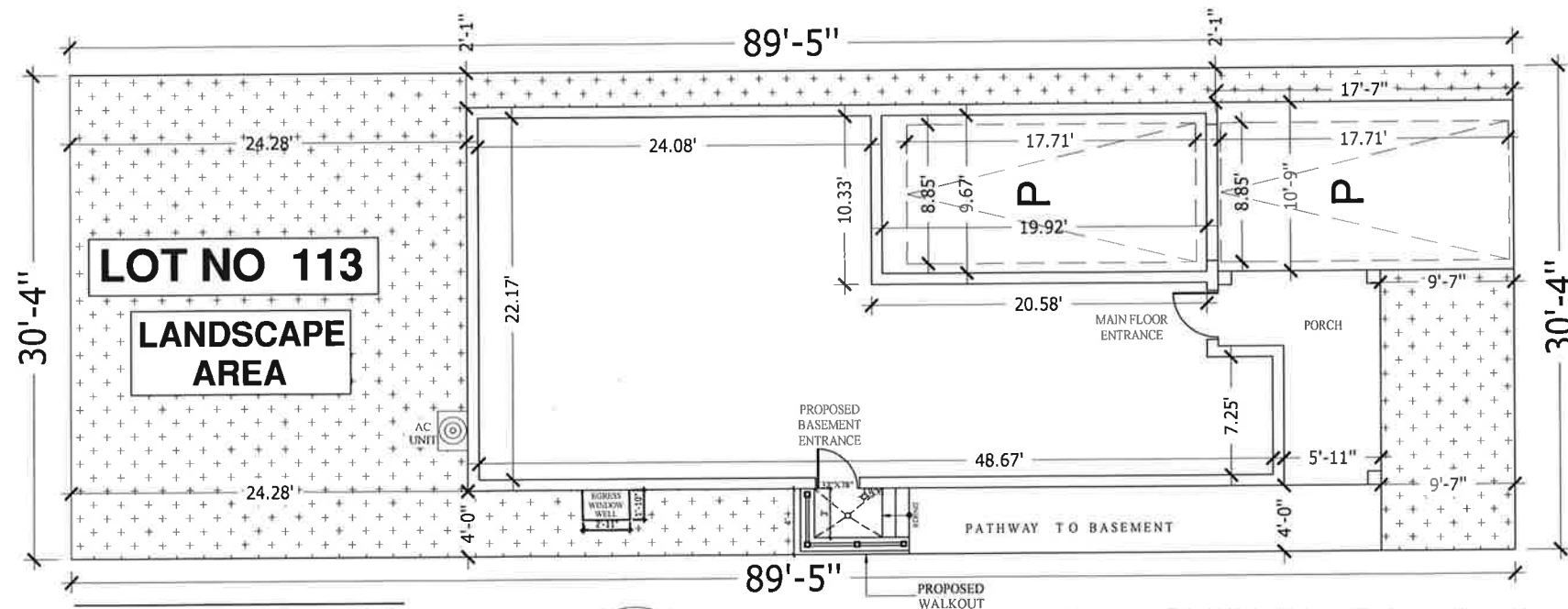
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE PLAN

SCALE 3/32"=1'-0"



24 JEMIMA ROAD

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
SECONDARY UNIT AND
SIDE DOOR FROM SIDE
YARD**

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C.32.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

24 JEMIMA ROAD

EXISTING DWELLING

PROJECT SHEET
FEB 2022
SCALE 3/32"=1'-0"

A1

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2022-0203

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Adai Kalaraj Pothagal, Maria Antony kuveena Prakasam
Address 24 JEMIMA RD. BRAMPTON, ON. L7A4T6

Phone # 647-326-1877 **Fax #** _____
Email Lawrence.raj@gmail.com

2. **Name of Agent** Pardeep Gogna
Address 106 Morningside drive, Georgetown, L0P 1K0

Phone # 416-821-2630 **Fax #** _____
Email Shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**

1) To permit a below grade entrance within a required interior side yard, whereas the by-law does not permit a below grade entrance within a required interior side yard.

2) To permit an interior side yard setback of 0.0 metres whereas the by-law requires a minimum interior side yard setback of 1.2 metres.

4. **Why is it not possible to comply with the provisions of the by-law?**

The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide a second dwelling unit the entrance has to be below the grade which is not possible on rear yard and the other side of the property due to insufficient space and privacy reason. So the only space where owner can construct the entrance is the right side of the property. The entrance is designed in such a way that it doesn't block the passage to

5. **Legal Description of the subject land:**
Lot Number 113
Plan Number/Concession Number M2022
Municipal Address 24 JEMIMA RD, BRAMPTON, ON, L7A4T6

6. **Dimension of subject land (in metric units)**
Frontage 9.04 M
Depth 26.97 M
Area 243.80 M2

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area = 83.88 Sq Meter
Gross Floor Area= 272.86 Sq Meter
No. of Storeys = 2 storeys
Width = 7.16 Meter
Lenght = 17.07 Meter

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area = 83.88 Sq Meter
Gross Floor Area= 272.86 Sq Meter
No. of Storeys = 2 storeys
Width = 7.16 Meter
Lenght = 17.07 Meter

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 2.5 m
Rear yard setback 7.4 m
Side yard setback 1.23 m
Side yard setback 0.65 m

PROPOSED

Front yard setback 2.5 m
Rear yard setback 7.4 m
Side yard setback 0.00 m
Side yard setback 0.65 m

10. Date of Acquisition of subject land: 2014

11. Existing uses of subject property: Single Dwelling Unit

12. Proposed uses of subject property: Two Dwelling Unit

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 2014

15. Length of time the existing uses of the subject property have been continued: 8 Years

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Pardeep Jogna
Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ City _____ OF _____ Halton Hills _____

THIS 02 _____ DAY OF June _____, 2022 _____.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Avininder Singh, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF _____
Peel THIS 24TH DAY OF June, 2022

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024. JCM

[Signature]
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

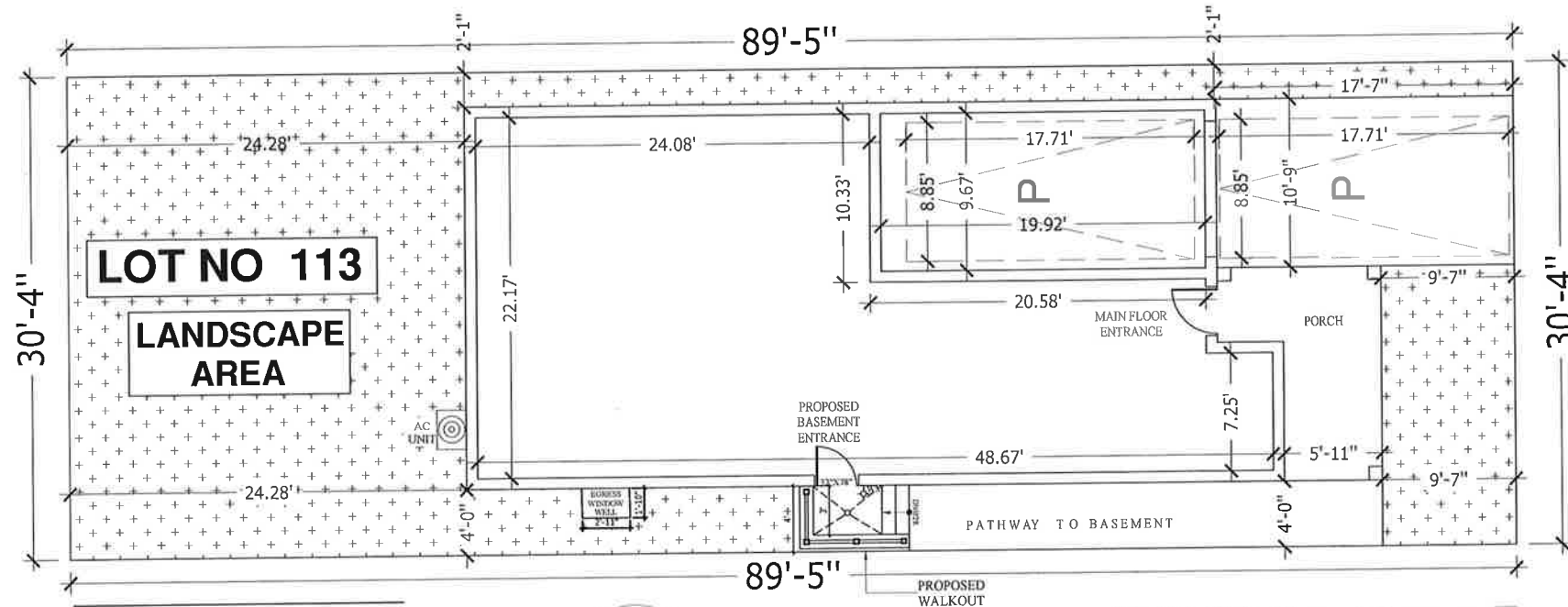
Zoning Officer

Date

DATE RECEIVED June 24, 2022

Date Application Deemed Complete by the Municipality _____

Revised 2020/01/07



SITE PLAN
SCALE 3/32"=1'-0"



24 JEMIMA ROAD

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 ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
 SECONDARY UNIT AND
 SIDE DOOR FROM SIDE
 YARD**

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 AND HAS THE QUALIFICATIONS AND
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 IN THE ONTARIO BUILDING CODE
 TO BE A DESIGNER.

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT
 UNDER DIV. C3.2.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440
 NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

24 JEMIMA ROAD

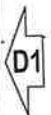
EXISTING DWELLING

PROJECT	SHEET
FEB 2022	A1
SCALE 3/32"=1'-0"	

A-2022-0203

a

b



E1

E2

APPLICATION # A-2022-0264
WARD 4

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **GURPREET UBHI AND KULJEET UBHI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 5, Concession 4 WHS from the land municipally known as **8884 CREDITVIEW ROAD**, Brampton;

AND WHEREAS the applicants are proposing construction of a 2 storey dwelling and are requesting the following variance(s):

1. To permit interior side yard setbacks of 2.66m (8.73 ft.) and 2.89m (9.48 ft.) whereas the by-law requires a minimum side yard setback of 7.5m (24.60 ft.);
2. To permit 56% of the required front yard to be landscaped open space whereas the by-law requires a minimum 70% of the required front yard to be landscaped open space.

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

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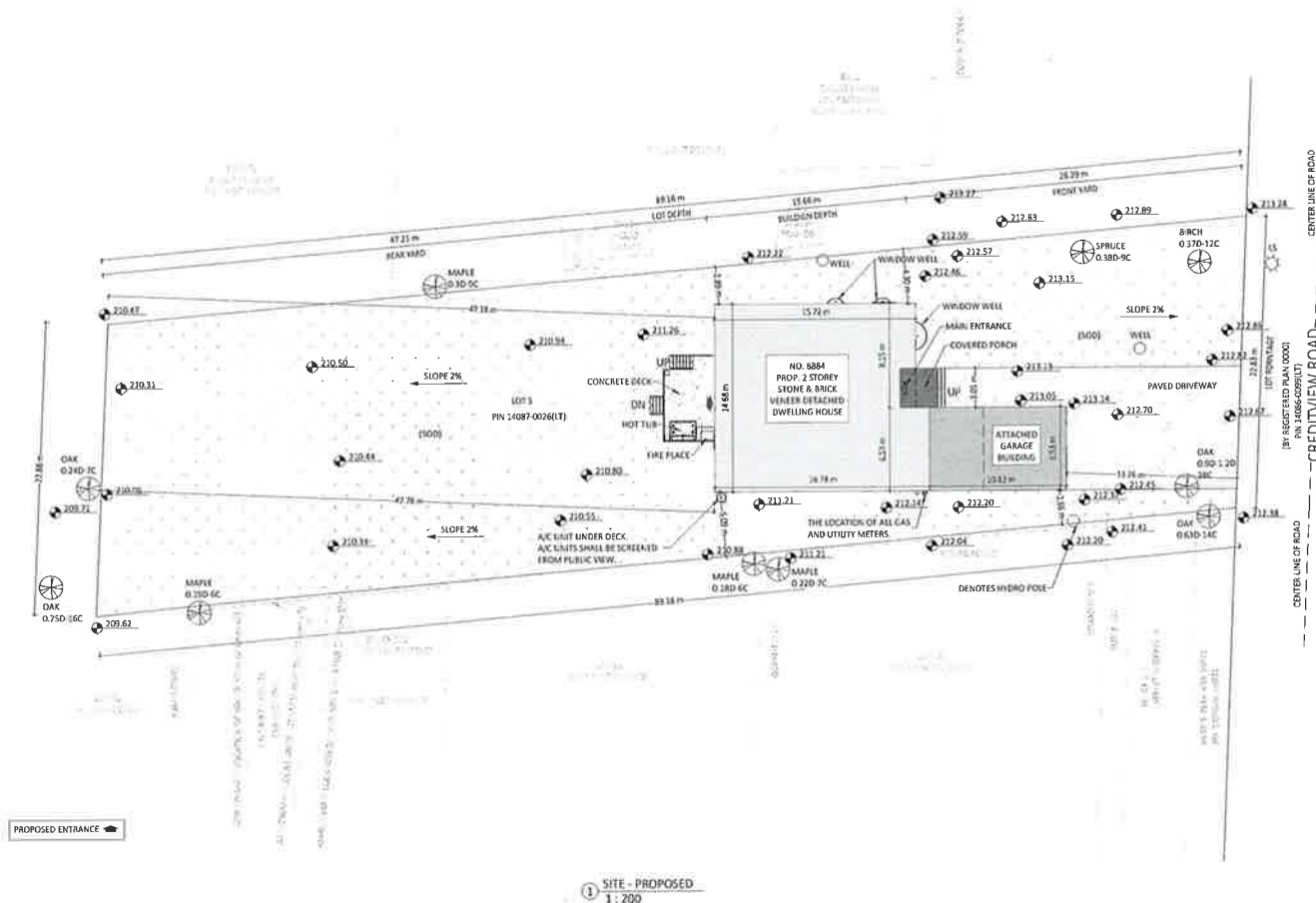
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Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

ZONING INFO (METRIC)									
LOT AREA: 2016.34		LOT No: 5		LOT FRONTAGE: 22.83		LOT DEPTH (AVE): 89.17			
GROUND FLOOR AREA	EXISTING	PROPOSED	TOTAL	%	ALLOWED	%	SETBACKS	EXISTING	PROPOSED
1 ST FLOOR		214.04					FRONT	17.41	13.26
2 ND FLOOR		311.27					REAR	51.86	47.18
ROOF TOP							SIDE (N)	2.02	2.89
TOTAL G.F.A.		455.31					SIDE (S)	8.31	2.88
SOFT COVERAGE	214.26	500.27	310.43	55.84%					



GENERAL NOTE:
 1. THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF EXCERIS DRAFTING SERVICES LTD.
 2. THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SCALED AND SIGNED BY ENGINEER AND OBTAINED PERMISSION BY THE AUTHORITIES.
 3. DO NOT SCALE THESE DRAWINGS.
 4. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.
 5. ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.



NOTE
 UTILITY METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC STREETS AND SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW.

FRONT YARD AREA: 462.21 M²
 PROPOSED DRIVEWAY AREA: 157.58 M²
 PROPOSED PORCH AND STEPS AREA: 19.30 M²
 PROPOSED LAWN AREA: 796.37 M²
 PROPOSED LANDSCAPING PERCENTAGE: 165.84 M²/462.21 M² = 35.87 %
 PROPOSED SOFT LANDSCAPING PERCENTAGE: 296.37 M²/462.21 M² = 64.12 %

REAR YARD AREA: 1083.49 M²
 PROPOSED CONCRETE DECK & STEPS: 27.82 M²
 PROPOSED LAWN AREA: 1055.66 M²
 PROPOSED SOFT LANDSCAPING PERCENTAGE: 1055.66 M²/1083.49 M² = 97.43 %

No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

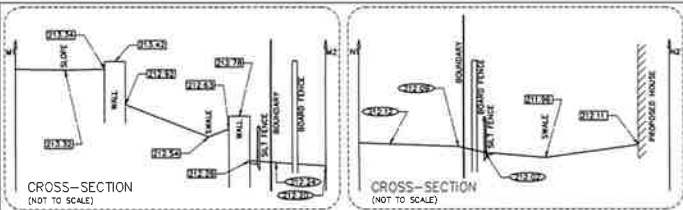
CLIENT:

PROJECT NAME:
 NEW CONSTRUCTION

PROJECT ADDRESS:
 1000 CREDITVIEW RD., MARKHAM, ONTARIO

SHEET NAME:
 SITE PLAN PROPOSED

DATE:	PROJECT No.:
SCALE: As Indicated	21-02-10
DRAWN BY: P. FORZAN	SHEET No.:
CHECKER: Checker	A0-04



CROSS-SECTION
(NOT TO SCALE)

CROSS-SECTION
(NOT TO SCALE)

EXISTING SANITARY LATERAL, PROPOSED
TEST FITTING, DEPTH OF PLUG = 200.10 (P)
PROPOSED BASEMENT FLOOR ELEVATION OF 200.10
WORK, A GROUND PUMP WILL BE REQUIRED AS
PER ONTARIO BUILDING CODE REQUIREMENTS

CONSTRUCTION STANDARDS AS SET BY REGIONAL MUNICIPALITY OF PEEL:

1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS
2. WATERMAIN AND/OR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE PVC, SIZE 50 MM (2") AND SMALLER TO BE TYPE K 50FT COPPER ASTM B88-49 STD DWG 1-7-1
3. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2m (4'0") FROM THEMSELVES AND OTHER UTILITIES
4. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING ETC. MUST BE PROVIDED WITH AT LEAST A 50MM (2") OUTLET ON 100MM (4") AND LARGER LINES. CUPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOLED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN, ON FIRE LINES, FLUSHING OUTLET TO BE 75MM (3") DIAMETER ON A WYOMANT
5. ALL CURB STOPS TO BE 3.0m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED
6. HYDRANT AND VALVE SET TO REGION STANDARD 1-5-1 DIMENSION A AND B, 0.7m (2') AND 0.9m (3') AND TO HAVE PUMPER NOZZLE
7. WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR
8. WATERMAIN MUST HAVE A MIN VERTICAL CLEARANCE OF 0.30m (12") OVER OR 0.5m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS
10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTRACTING THE OPERATIONS AND MAINTENANCE DIVISION
11. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR
12. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK. WHERE WORK IS ON THE PLAN OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME
13. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO OBTAINING LOCATES. FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION. THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION
14. ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE GROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8

SITE PLAN NOTES:

1. ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMITY WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION
2. THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE PROTECTION HOARDING PLACED AT THE GRP LINE OF THE TREES IS MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION. IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS (E.G. BUILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING
3. SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED PLANNING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. WHERE AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DETERMINE THE LOCATION OF THE VEGETATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION
4. THE EXISTING ON-SITE DRAINAGE PATTERN SHALL BE MAINTAINED
5. GRADES WILL BE MET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE
6. ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA
7. THE APPLICANT WILL BE REQUIRED FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN APPROVAL AND BUILDING PERMIT
8. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60m (2'00") IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEERING FOR THE PROJECT
9. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE OWNER AT THEIR EXPENSE
10. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE
11. ALL PROPOSED CURBING AT THE ENTRANCE TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK
12. CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION
13. ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATE WITH TOPSOIL AND SOIL FOLLOWING CONSTRUCTION. ANY CITY BOULEVARD TREES DAMAGED OR REMOVED ARE TO BE REPLACED WITH 75MM CHLIPER DECIDUOUS TREES TO THE SATISFACTION OF THE CITY AT THE OWNER'S EXPENSE
14. ALL EXCESS EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE
15. THERE ARE ON EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY

GENERAL NOTES:

1. AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE
2. SIDEWALK TO BE REMOVED AND REPLACED AS PER O.P.S.D. 310.010
3. DOWNSPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS. DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS
4. DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 6%
5. LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6%
6. WHERE GRADES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE
7. ALL DISTURBED AREAS MUST BE SEEDED OR SOODED, TOPSOIL TO BE AT LEAST 100MM
8. THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m
9. GRADE DIFFERENCES BETWEEN ADJACENT UNITS SHALL BE MINIMIZED ESPECIALLY WHERE NEW DEVELOPMENTS ADJUT EXISTING DEVELOPMENTS. THE VERTICAL DISTANCE BETWEEN THE TOP OF THE CURB AT THE REAR WALL OF HOUSES WHICH BACK ONTO EACH OTHER SHALL NOT BE GREATER THAN THAT ACHIEVED BY STRIKING A 3% GRADE BETWEEN THE UNITS
10. DRIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED
11. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNSEPARABLE FILL
12. WHEREVER POSSIBLE, A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN THE DRIVEWAYS
13. IN THE EVENT THAT THE GRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE OWNER OF THAT PROPERTY SHALL BE OBTAINED AND ENDORSED BY THE CITY OF BRAMPTON WORKS AND TRANSPORTATION DEPARTMENT
14. ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED
15. THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE CENTRINGS OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6%
16. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS
17. THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA

ESTABLISHED GRADE CALCULATIONS

LINE	SEGMENT	START	END	LENGTH	EA+BU/2(SLO)
AS	213.42	213.02	0	0.00	
BC	213.02	212.26	35.13	7491.45	
CD	212.26	212.42	0.00	1408.91	
DE	212.42	211.58	35.13	2723.85	
EF	211.58	213.32	20.00	4249.80	
FG	213.32	213.30	3.33	708.74	
GH	213.30	213.42	6.52	1386.84	
HI	213.42	213.42	11.77	2511.95	
JA	213.42	213.42	6.52	1386.84	
TOTALS			202.28	21724.99	
			ESTABLISHED GRADE	213.28	

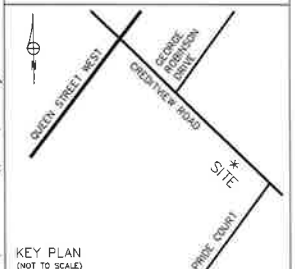
DRAINAGE CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF THE PROPOSED TWO STOREY RESIDENTIAL DWELLING LOCATED AT 8884 CREDITVIEW ROAD AND I HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSED TO THE EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERING TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES

THE SURVEY WAS COMPLETED ON THE 9th DAY OF
DATE: FEBRUARY 22, 2022
BY: [Signature]

TED VAN LANKVELD
ONTARIO LAND SURVEYORS
110 GOLDCREST ROAD
BRAMBLEA, ONTARIO
L6S 3H4
TEL(905) 792-5641
eMAIL: V.L.G.-S@OUTLOOK.COM

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Unauthorized reproduction, distribution, alteration or use of
this plan, in whole or in part, is strictly prohibited.
FIELD: M.V.DRAWN: M.V. CHECKED: T.V. JOB No: 21-2516-S
DWG NAME: 21-2516-SUBDIVISION DATE: 2022-09-09



KEY PLAN
(NOT TO SCALE)

APPLICATION No:
PROPOSED TWO STOREY
RESIDENTIAL DWELLING
No: 8884 CREDITVIEW ROAD
BRAMPTON, ONTARIO
GRADING PLAN OF
PART OF LOT 5
CONCESSION 4
WEST OF HURONTARIO STREET
CITY OF BRAMPTON
(GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)
REGIONAL MUNICIPALITY OF PEEL
SCALE 1:150
2.5 5.0 7.5 10.0 12.5m
TED VAN LANKVELD, O.L.S. 2022

METHOD: DISTANCES SHOWN HEREIN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048
BENCH MARK:
ELEVATIONS SHOWN HEREIN ARE GEODETIC AND ARE REFERRED TO
CITY OF BRAMPTON CONTROL MONUMENT #542010231, WITH AN
ELEVATION OF 209.357m
NOTE:
BOUNDARY INFORMATION HAVE NOT BEEN VERIFIED BY FIELD
MEASUREMENTS
BUSHES, TREES LESS THAN 0.150 AND DEAD TREE WERE NOT
LOCATED UNLESS NOTED OTHERWISE

- LEGEND
- DENOTES DECIDUOUS TREE WITH TRUNK (D) AND CANOPY (C) DIMENSIONS INDICATED
 - DENOTES CONIFEROUS TREE WITH TRUNK (D) AND CANOPY (C) DIMENSIONS INDICATED
 - DENOTES TREE STUMP WITH TRUNK (D) DIMENSIONS INDICATED
 - (TW) DENOTES INVERT
 - (TW) DENOTES TOP OF LOOSE ROCK WALL
 - (BW) DENOTES BOTTOM OF LOOSE ROCK WALL
 - DENOTES MANHOLE
 - DENOTES HYDRO POLE
 - DENOTES LIGHT STANDARD
 - DENOTES LIGHT POLE
 - DENOTES GUY WIRE
 - (TW) DENOTES TOP OF WALL
 - (BW) DENOTES BOTTOM OF WALL
 - DENOTES EXISTING GRADE ELEVATION
 - A/C DENOTES AIR CONDITIONER
 - DENOTES GAS METER
 - DENOTES HYDRO METER
 - DENOTES ESTABLISHED GRADE POINT
 - DENOTES FENCE
 - DENOTES OVERHEAD WIRES
 - DENOTES WATER VALVE
 - DENOTES BELL BOX
 - DENOTES POST
 - DENOTES PROPOSED GRADE ELEVATION
 - DENOTES EXISTING GROUND ELEVATION
 - DENOTES INVERT
 - DENOTES FIRST FINISHED FLOOR ELEVATION
 - BS DENOTES BASEMENT SLAB
 - USF DENOTES UNDERSTORY OF FOOTING
 - DS DENOTES DOWNPOUT
 - S.I. DENOTES SHALE INVERT
 - R DENOTES RISER
 - △ DENOTES ENTRANCE
 - △ DENOTES FLOW
 - DENOTES SALT FENCE
 - DENOTES TREE PROTECTION FENCE

DATE: FEBRUARY 22, 2022

BY: [Signature]

DATE: FEBRUARY 22, 2022

BY: [Signature]

DATE: FEBRUARY 22, 2022

BY: [Signature]

DATE: FEBRUARY 22, 2022

BY: [Signature]

DATE: FEBRUARY 22, 2022

BY: [Signature]

DATE: FEBRUARY 22, 2022

BY: [Signature]

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER: A-2022-0264

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Gurpreet Ubhi , KULJEET UBHI
Address 8884 Creditview RD Brampton, ON L6Y0G4

Phone # 416-737-0544 **Fax #** _____
Email reese@medikaplastics.com

2. **Name of Agent** Elen Abunahla
Address 74 Guelph St Georgetown, ON L7G3Z5

Phone # 416-602-9367 **Fax #** _____
Email elen@antaradesign.ca

3. **Nature and extent of relief applied for (variances requested):**

1. he Proposed Site Plan you are providing an interior side yard setback of 2.66m on one side and 2.89m on the other proposed 2 storey dwelling, whereas the Zoning By-law requires a side yard setback 7.5m

2. To permit 56% of the required front yard to be landscaped open space, whereas the Zoning By-law requires a minimum 70% of the required front yard to be landscaped open space.

4. **Why is it not possible to comply with the provisions of the by-law?**

The Property Width is 22.83m (very Narrow)it will be hard to comply with the zoning and regarding the Landscaping Small area for the front yard to comply with 70% to be landscaped open space.

5. **Legal Description of the subject land: Lot Number** Part of Lot 5, Concession 4 WHs, Part 3, Plan 43R-40144.
Plan Number/Concession Number _____

Municipal Address 8884 Creditview RD Brampton, ON L6Y0G4

6. **Dimension of subject land (in metric units)**
Frontage Frontage 22.83m and 22.88m from the back
Depth 81.80m from left & 89.16m from the right
Area 2016.14m2

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area 162.6m²
Gross Floor Area 162.6m²
Number of Storeys 1
Width 11.05m Length 14.72m Height 4.87m
the existing structure will be demolished.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area 214.04m Second Floor 241.07m
Gross Floor Area 455.31 m²
Number of Storeys 2
Width 14.68 Length 16.78 house +Garage 10.62 Building Height 9.17m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING the existing structure will be demolished.

Front yard setback 17.41m
Rear yard setback 51.66m
Side yard setback 2.02m
Side yard setback 3.31m from the Garage side and 8.27m from the house

PROPOSED

Front yard setback 13.26m
Rear yard setback 47.78m
Side yard setback 2.89m
Side yard setback 2.66m

10. Date of Acquisition of subject land: March 30, 2022
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1990
15. Length of time the existing uses of the subject property have been continued: 32 years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Ela
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS Aug 15 DAY OF 10 August, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, GURPREET UBHI, OF THE CITY OF BRAMPTON
IN THE Region OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF _____
Peel THIS 15th DAY OF August, 2022

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024. J.C.M.

Ela
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: Agricultural

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

August 15, 2022

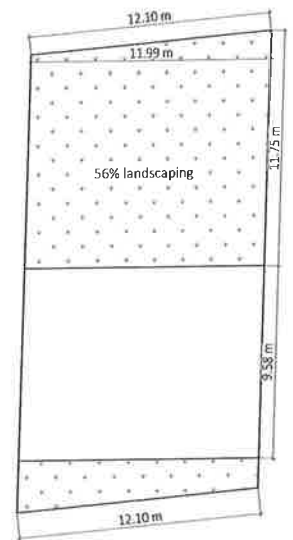
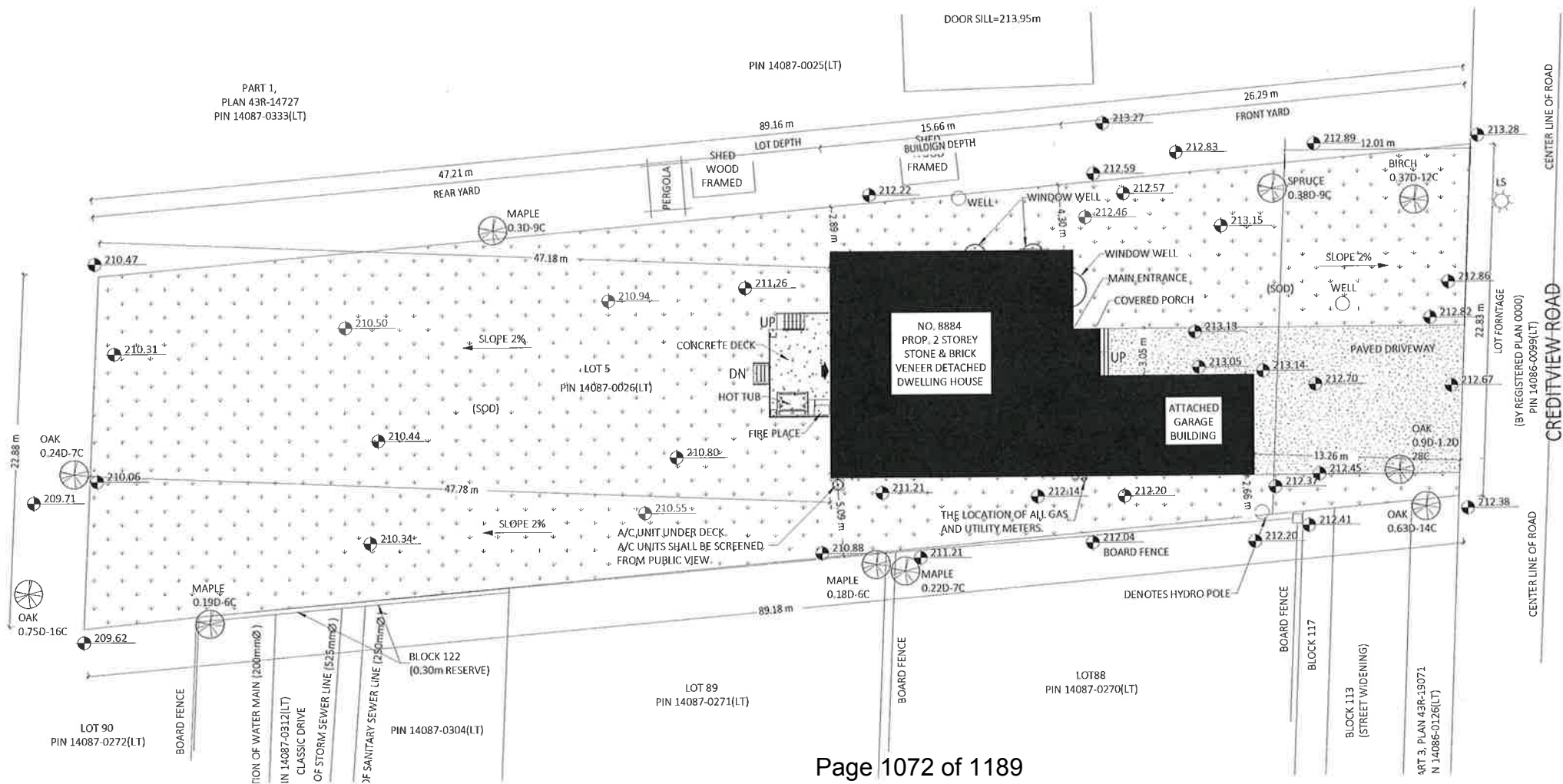
Date

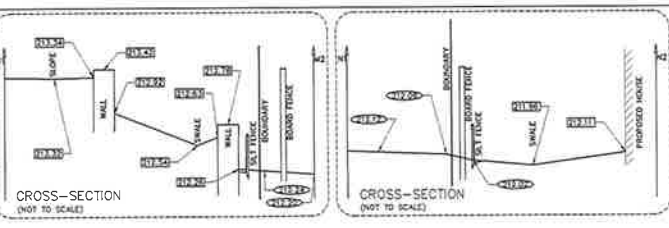
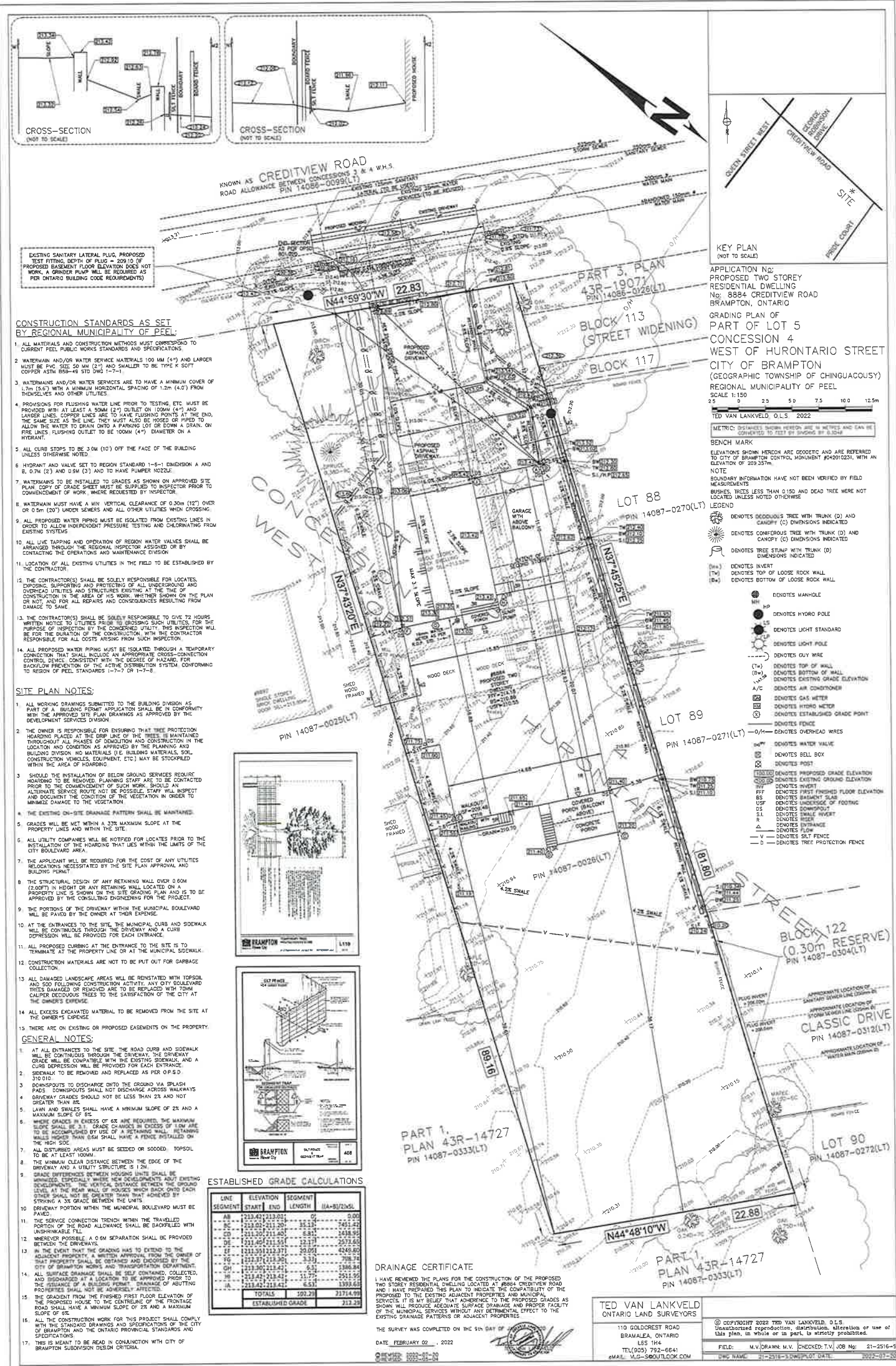
DATE RECEIVED August 15, 2022

Date Application Deemed
Complete by the Municipality

Revised 2020/01/07

PART 1,
PLAN 43R-14727
PIN 14087-0333(LT)





KNOWN AS CREDITVIEW ROAD
ROAD ALLOWANCE BETWEEN CONCESSIONS 3 & 4 W.H.S.
PIN 14086-0099(LT)

EXISTING SANITARY LATERAL PLUG, PROPOSED TEST FITTING, DEPTH OF PLUG = 209.10 (IF PROPOSED BASEMENT FLOOR ELEVATION DOES NOT WORK, A GRINDER PUMP WILL BE REQUIRED AS PER ONTARIO BUILDING CODE REQUIREMENTS)

CONSTRUCTION STANDARDS AS SET BY REGIONAL MUNICIPALITY OF PEE:

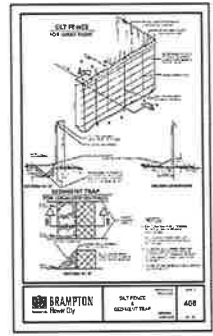
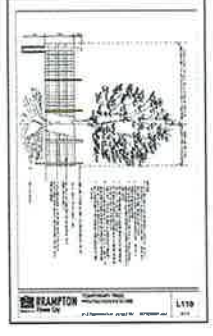
1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT PEE PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. WATERMAIN AND/OR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE PVC SIZE 30 MM (2") AND SMALLER TO BE TYPE K SOFT COPPER ASTM B36-48 STD DWG (7-7).
3. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m (5.6') WITH A MINIMUM HORIZONTAL SPACING OF 1.2m (4.0') FROM THEMSELVES AND OTHER UTILITIES.
4. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50MM (2") OUTLET ON 100MM (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN INTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES FLUSHING OUTLET TO BE 100MM (4") DIAMETER ON A HYDRANT.
5. ALL CURB STOPS TO BE 304 (10") OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
6. HYDRANT AND VALVE SET TO REGION STANDARD 1-5-1 DIMENSION A AND B, 0.7m (2') AND 0.9m (3') AND TO HAVE PUMPER NOZZLE.
7. WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
8. WATERMAIN MUST HAVE A MIN. VERTICAL CLEARANCE OF 0.30m (12") OVER OR 0.5m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND COLORMATING FROM EXISTING SYSTEMS.
10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
11. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
12. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSURE, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK, WHETHER SHOWN ON PLAN OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
13. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
14. ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEE STANDARDS (7-7) OR (7-7-5).

SITE PLAN NOTES:

1. ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMITY WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION.
2. THE OWNER IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING PLACED AT THE DRIP LINE OF THE TREES IS MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS (IE: BUILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES, EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING.
3. SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
4. THE EXISTING ON-SITE DRAINAGE PATTERN SHALL BE MAINTAINED.
5. GRADES WILL BE SET WITHIN A 3% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
6. ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA.
7. THE APPLICANT WILL BE REQUIRED FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN APPROVAL AND BUILDING PERMIT.
8. THE STRUCTURAL DESIGN OF ANY RETAINING WALL LOCATED OVER 0.80m (2.60ft) IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEERING FOR THE PROJECT.
9. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE OWNER AT THEIR EXPENSE.
10. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
11. ALL PROPOSED CURBING AT THE ENTRANCE TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.
12. CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION.
13. ALL DAMAGED LANDSCAPE AREAS WILL BE RESTORED WITH TOPSOIL AND SOIL FOLLOWING CONSTRUCTION. ANY CITY SIDEWALK, DRIVEWAY, OR PAVEMENT DAMAGED OR REMOVED ARE TO BE REPLACED WITH 70MM CALIBER DECIDUOUS TREES TO THE SATISFACTION OF THE CITY AT THE OWNER'S EXPENSE.
14. ALL EXCESS EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.
15. THERE ARE ON EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY.

GENERAL NOTES:

1. AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADES WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK, AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
2. SIDEWALK TO BE REMOVED AND REPLACED AS PER O.P.S.D. 310.010.
3. DOWNPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS. DOWNPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
4. DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.
5. LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 8%.
6. WHERE GRADES IN EXCESS OF 8% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.5m ARE TO BE ACCOMPANIED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
7. ALL DISTURBED AREAS MUST BE SEEDS OR SOODED. TOPSOIL TO BE AT LEAST 100mm.
8. THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
9. GRADE DIFFERENCES BETWEEN HOUSING UNITS SHALL BE MINIMIZED. ESPECIALLY WHERE NEW DEVELOPMENTS ADJACENT EXISTING DEVELOPMENTS. THE VERTICAL DISTANCE BETWEEN THE GROUND LEVEL AT THE REAR WALL OF HOUSES WHICH BACK-ONTO EACH OTHER SHALL NOT BE GREATER THAN THAT ACHIEVED BY STRIKING A 3% GRADE BETWEEN THE LOTS.
10. DRIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED.
11. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNCOMPRESSIBLE FILL.
12. WHEREVER POSSIBLE, A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN THE DRIVEWAYS.
13. IN THE EVENT THAT THE GRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE OWNER OF THAT PROPERTY SHALL BE OBTAINED PRIOR TO THE GRADING BY THE CITY OF BRAMPTON WORKS AND TRANSPORTATION DEPARTMENT, AND DISCONTINUED AT A LOCATION TO BE APPROVED PRIOR TO THE RELEVANCE OF A BUILDING PERMIT. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
14. ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE RELEVANCE OF A BUILDING PERMIT. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
15. THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE FINISHED TOP OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 8%.
16. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD WORKS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
17. THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.



ESTABLISHED GRADE CALCULATIONS

LINE	START	END	SEGMENT LENGTH	(A-B)/2xSL
AB	213.42	213.01	0.00	2.00
BC	213.02	211.20	35.10	7491.42
CD	211.20	211.00	0.00	2118.00
DE	211.00	210.00	0.00	2118.00
EF	210.00	210.00	0.00	2118.00
FG	210.00	210.00	0.00	2118.00
GH	210.00	210.00	0.00	2118.00
HI	210.00	210.00	0.00	2118.00
JI	210.00	210.00	0.00	2118.00
KL	210.00	210.00	0.00	2118.00
TOTALS	202.20	2171.40		
ESTABLISHED GRADE		212.20		

DRAINAGE CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF THE PROPOSED TWO STOREY RESIDENTIAL DWELLING LOCATED AT 8864 CREDITVIEW ROAD AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSED TO THE EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

THE SURVEY WAS COMPLETED ON THE 9th DAY OF

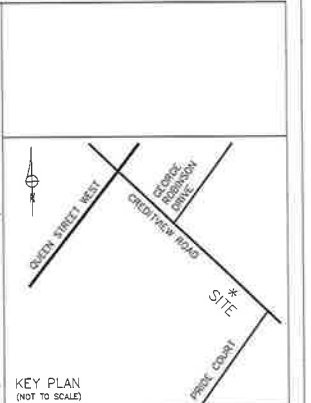
DATE: FEBRUARY 02, 2022

TED VAN LANKVELD
ONTARIO LAND SURVEYORS

110 GOLDCREST ROAD
BRAMALEA, ONTARIO
L6S 1H4
TEL: (905) 752-6641
EMAIL: M.C-SURV@GMAIL.COM

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FIELD: M.V.DRAWE M.V. CHECKED: T.V. JOB No: 21-2516-5
DWC NAME: 21-2516-5-DWC.DWG DATE: 2022-07-05



APPLICATION NO:
PROPOSED TWO STOREY
RESIDENTIAL DWELLING
No. 8864 CREDITVIEW ROAD
BRAMPTON, ONTARIO

GRADING PLAN OF
PART OF LOT 5
CONCESSION 4
WEST OF HURONTARIO STREET
CITY OF BRAMPTON
(GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)
REGIONAL MUNICIPALITY OF PEE
SCALE 1:150

TED VAN LANKVELD, O.L.S. 2022

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BENCH MARK
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO CITY OF BRAMPTON CONTROL MONUMENT #042010231, WITH AN ELEVATION OF 220.357m.

NOTE
BOUNDARY INFORMATION HAVE NOT BEEN VERIFIED BY FIELD MEASUREMENTS.
BUSHES, TREES LESS THAN 0.150 AND DEAD TREE WERE NOT LOCATED UNLESS NOTED OTHERWISE

LEGEND
DENOTES DECIDUOUS TREE WITH TRUNK (C) AND CANOPY (O) DIMENSIONS INDICATED
DENOTES CONIFEROUS TREE WITH TRUNK (D) AND CANOPY (C) DIMENSIONS INDICATED
DENOTES TREE STUMP WITH TRUNK (B) DIMENSIONS INDICATED
DENOTES INVERT
DENOTES TOP OF LOOSE ROCK WALL
DENOTES BOTTOM OF LOOSE ROCK WALL
DENOTES MANHOLE
DENOTES HYDRO POLE
DENOTES LIGHT STANDARD
DENOTES LIGHT POLE
DENOTES OUT WIRE
DENOTES TOP OF WALL
DENOTES BOTTOM OF WALL
DENOTES EXISTING GRADE ELEVATION
DENOTES AIR CONDITIONER
DENOTES GAS METER
DENOTES HYDRO METER
DENOTES EXISTING GRADE POINT
DENOTES FENCE
DENOTES OVERHEAD WIRES
DENOTES WATER VALVE
DENOTES BELL BOX
DENOTES PROPOSED GRADE ELEVATION
DENOTES EXISTING GROUND ELEVATION
DENOTES INVERT
DENOTES FIRST FINISHED FLOOR ELEVATION
DENOTES BASEMENT SLAB
DENOTES UNDERGROUND FOOTING
DENOTES DOWNPOUT
DENOTES SLOPE INVERT
DENOTES RIVER
DENOTES ENTRANCE
DENOTES SPLIT FENCE
DENOTES TREE PROTECTION FENCE



SHEET LIST	
SHEET NUMBER	SHEET NAME
A0-01	COVER PAGE
A0-02	SURVEY PLAN
A0-03	SITE PLAN EXISTING
A0-04	SITE PLAN PROPOSED
A1-01	BASEMENT PROP. PLAN
A1-02	MAIN FLOOR PROP. PLAN
A1-03	2ND FLOOR PROP. PLAN
A1-04	ROOF PROP. PLAN
A2-01	EAST & WEST ELEVATION
A2-02	NORTH & SOUTH ELEVATION
A3-01	SECTION 1 & 2
A3-02	SECTION 3 & 4
A3-03	SCHEMATIC & LEGEND

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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:
8884 CREDITVIEW RD., BRAMPTON, ON L6Y 0G4

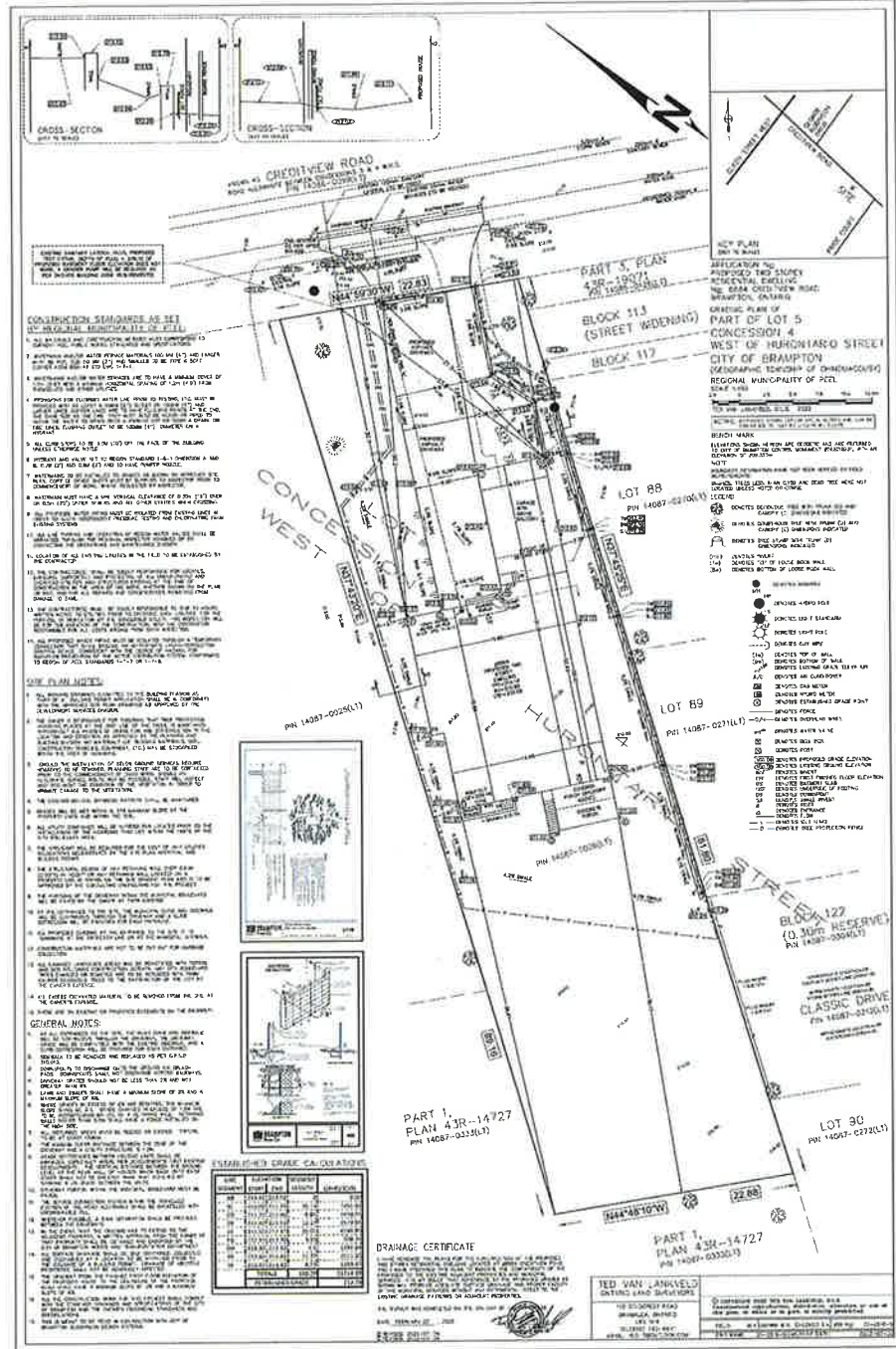
SHEET NAME:

COVER PAGE

DATE:	PROJECT No.:
SCALE:	21-02-10
DRAWN BY: P. FOROZAN	SHEET No.:
CHECKER: Chicker	A0-01



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- CONSTRUCTION REQUIREMENTS AS SET BY THE MUNICIPALITY OF KITCHENER:**
1. ALL LOT LINES AND PROPERTY LINES SHALL BE CONFORMED TO THE REQUIREMENTS OF THE MUNICIPALITY OF KITCHENER.
 2. ALL LOT LINES AND PROPERTY LINES SHALL BE CONFORMED TO THE REQUIREMENTS OF THE MUNICIPALITY OF KITCHENER.
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 20. ALL LOT LINES AND PROPERTY LINES SHALL BE CONFORMED TO THE REQUIREMENTS OF THE MUNICIPALITY OF KITCHENER.

- GENERAL NOTES:**
1. THE PROPERTY LINES AND LOT LINES SHALL BE CONFORMED TO THE REQUIREMENTS OF THE MUNICIPALITY OF KITCHENER.
 2. THE PROPERTY LINES AND LOT LINES SHALL BE CONFORMED TO THE REQUIREMENTS OF THE MUNICIPALITY OF KITCHENER.
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 20. THE PROPERTY LINES AND LOT LINES SHALL BE CONFORMED TO THE REQUIREMENTS OF THE MUNICIPALITY OF KITCHENER.

ESTIMATED GRADE CALCULATIONS

LINE	STATION	EXISTING GRADE	PROPOSED GRADE	DIFFERENCE
1	1+00	100.00	100.00	0.00
1	1+25	100.00	100.00	0.00
1	1+50	100.00	100.00	0.00
1	1+75	100.00	100.00	0.00
1	2+00	100.00	100.00	0.00
1	2+25	100.00	100.00	0.00
1	2+50	100.00	100.00	0.00
1	2+75	100.00	100.00	0.00
1	3+00	100.00	100.00	0.00
1	3+25	100.00	100.00	0.00
1	3+50	100.00	100.00	0.00
1	3+75	100.00	100.00	0.00
1	4+00	100.00	100.00	0.00
1	4+25	100.00	100.00	0.00
1	4+50	100.00	100.00	0.00
1	4+75	100.00	100.00	0.00
1	5+00	100.00	100.00	0.00
1	5+25	100.00	100.00	0.00
1	5+50	100.00	100.00	0.00
1	5+75	100.00	100.00	0.00
1	6+00	100.00	100.00	0.00
1	6+25	100.00	100.00	0.00
1	6+50	100.00	100.00	0.00
1	6+75	100.00	100.00	0.00
1	7+00	100.00	100.00	0.00
1	7+25	100.00	100.00	0.00
1	7+50	100.00	100.00	0.00
1	7+75	100.00	100.00	0.00
1	8+00	100.00	100.00	0.00
1	8+25	100.00	100.00	0.00
1	8+50	100.00	100.00	0.00
1	8+75	100.00	100.00	0.00
1	9+00	100.00	100.00	0.00
1	9+25	100.00	100.00	0.00
1	9+50	100.00	100.00	0.00
1	9+75	100.00	100.00	0.00
1	10+00	100.00	100.00	0.00

DRAINAGE CERTIFICATE

THE UNDERSIGNED, JED VAN LANKVELD, ENGINEER, HAS EXAMINED THE DRAINAGE PLAN AND CERTIFICATE OF THE MUNICIPALITY OF KITCHENER, AND IS SATISFIED THAT THE DRAINAGE PLAN IS IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY OF KITCHENER.

SIGNED: JED VAN LANKVELD
DATE: 2010-02-21

JED VAN LANKVELD
ENGINEER
1000 SHEPPARD AVENUE EAST
SUITE 100
SCARBOROUGH, ONTARIO M1S 1T5
TEL: (416) 291-1111
FAX: (416) 291-1112
WWW.JEDVANLANKVELD.COM

REVISIONS

No.	DATE	ISSUED FOR	APVD
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			



ENGINEER:

CLIENT:

PROJECT NAME:
NEW CONSTRUCTION

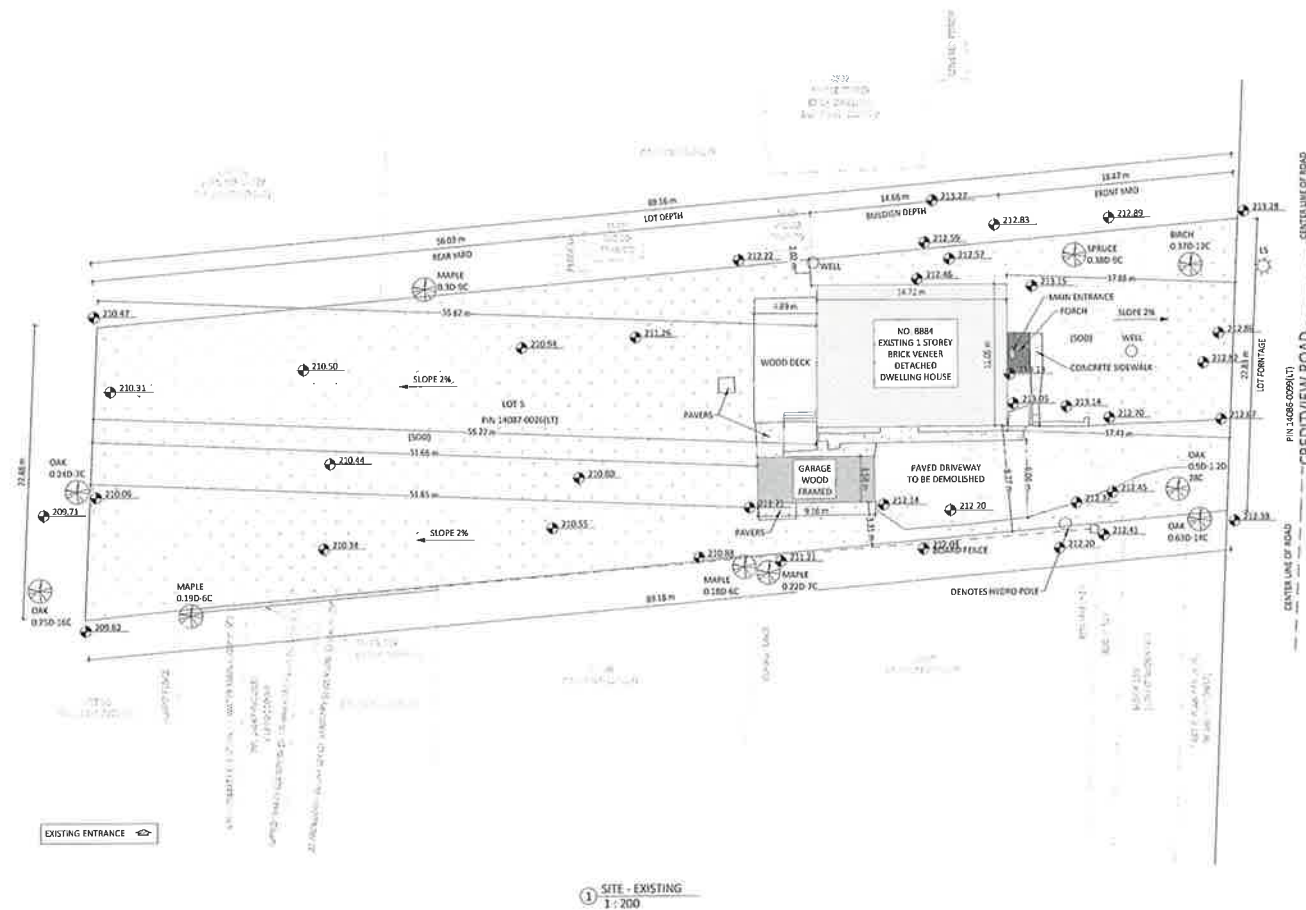
PROJECT ADDRESS:
888 CREDITVIEW RD. BRAMPTON, ON L6Y 0G1

SHEET NAME:
SURVEY PLAN

DATE:	PROJECT No.:
SCALE:	21-02-10
DRAWN BY: J. FORZAN	SHEET No.:
CHECKED: J. FORZAN	A0-02



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NOTE
UTILITY METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC STREETS AND SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW.

No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

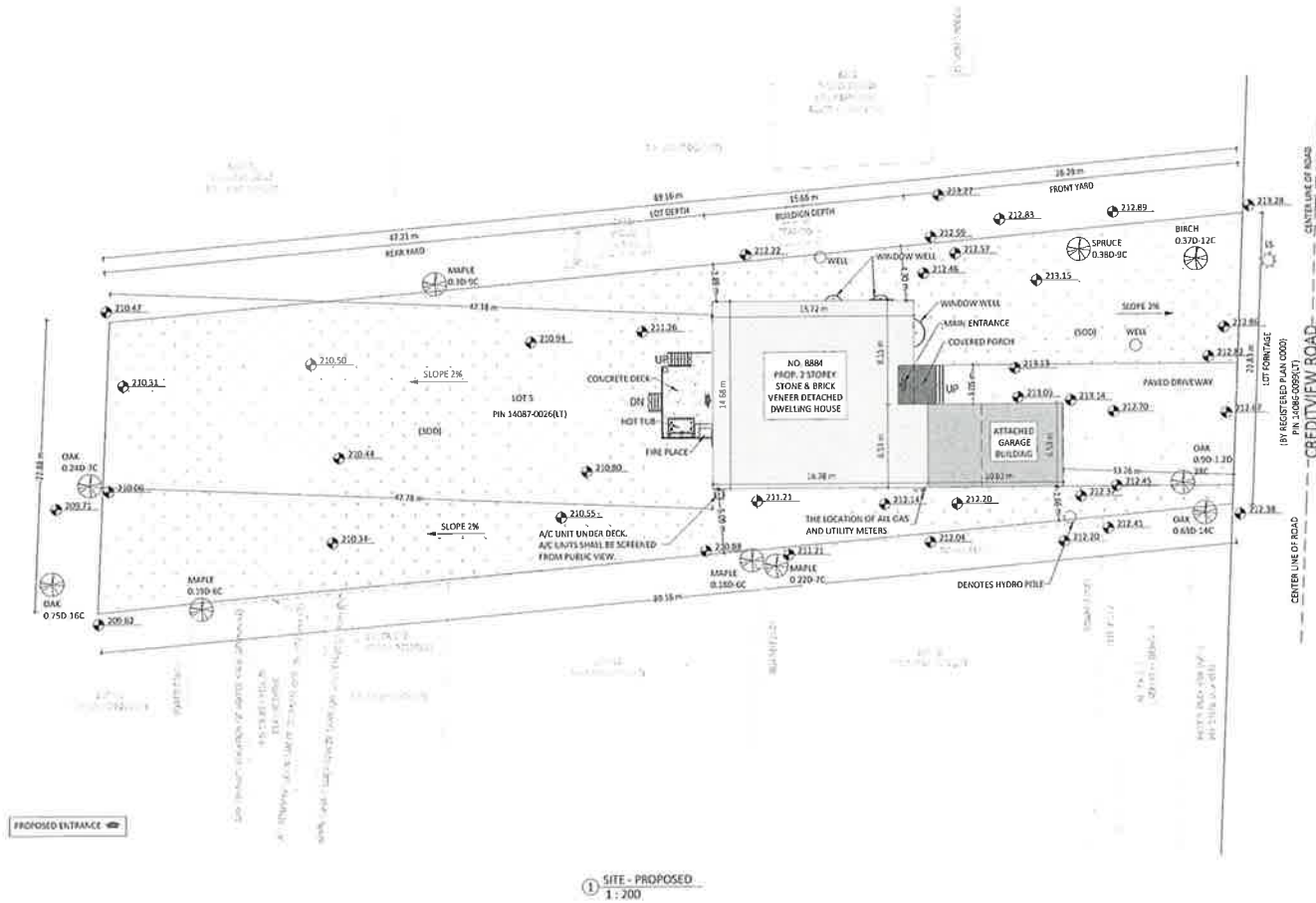
PROJECT NAME:
NEW CONSTRUCTION

PROJECT ADDRESS:
8004 CREDITVIEW RD., DRAFTER, ON L3Y 6G4

SHEET NAME:
SITE PLAN EXISTING

DATE:	PROJECT No.:
SCALE: As indicated	21-02-10
DRAWN BY: P. JORDAN	SHEET No:
CHECKER: Checker	A0-03

ZONING INFO					
(MTRIC)					
LOT AREA: 2016.14		LOT No.: 5		LOT DEPTH (AVE.): 89.17	
2nd FLOOR AREA		LOT FOOTAGE:		LOT DEPTH (AVE.): 89.17	
EXISTING	PROPOSED	TOTAL	%	ALLOWED	%
2nd FLOOR	214.04			FRONT	17.41 13.16
2nd FLOOR	214.27			REAR	51.66 47.18
ROOF TOP				SIDE (N)	2.02 2.89
TOTAL GFA	455.31			SIDE (S)	8.31 2.55
LOT COVERAGE	214.16	106.17	319.43	15.84%	



NOTE

UTILITY METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC STREETS AND SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW.

FRONT YARD AREA: 462.21 M²
PROPOSED DRIVEWAY AREA: 157.58 M²
PROPOSED PORCH AND STEPS AREA: 19.30 M²
PROPOSED LAWN AREA: 296.37 M²
PROPOSED LANDSCAPING PERCENTAGE: 165.84 M²/462.21 M² = 35.87 %
PROPOSED SOFT LANDSCAPING PERCENTAGE: 296.37 M²/462.21 M² = 64.12 %

REAR YARD AREA: 1083.49 M²
PROPOSED CONCRETE DECK & STEPS: 27.82 M²
PROPOSED LAWN AREA: 1055.66 M²
PROPOSED SOFT LANDSCAPING PERCENTAGE: 1055.66 M²/1083.49 M² = 97.43 %



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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

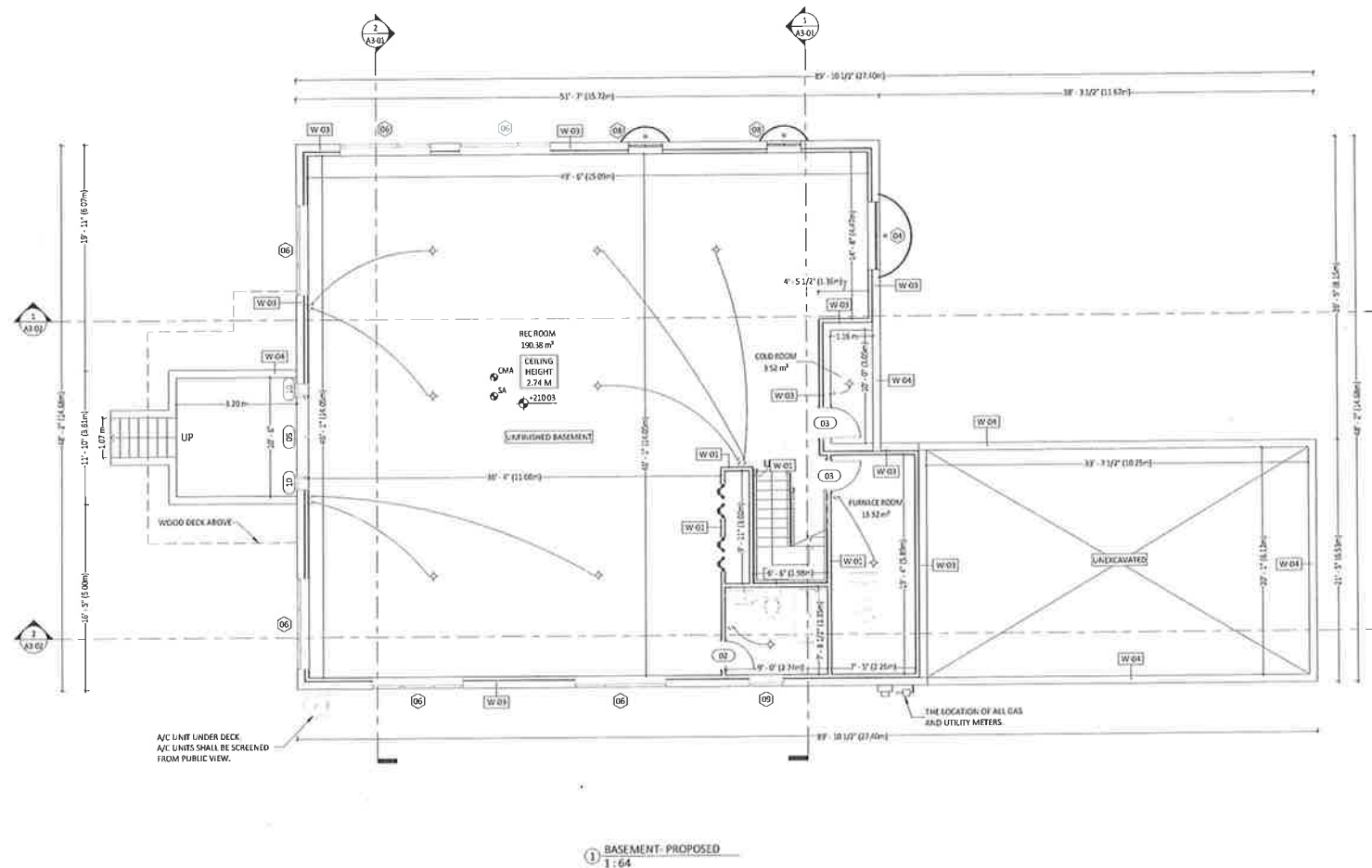
CLIENT:

PROJECT NAME:
NEW CONSTRUCTION

PROJECT ADDRESS:
6004 CREDITVIEW RD, GRAMPYON, ON 167 064

SHEET NAME:
SITE PLAN PROPOSED

DATE: PROJECT No.:
SCALE: As indicated 21-02-10
DRAWN BY: P. FORZAN SHEET No.:
CHECKER: Checker A0-04



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NO.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:

4001 CRENSHAW RD., BARRINGTON, ON L4Y 0G4

SHEET NAME:

BASEMENT PROP. PLAN

DATE:

SCALE: 1:64

DRAWN BY: P. FERDINAND

CHECKER: Checker

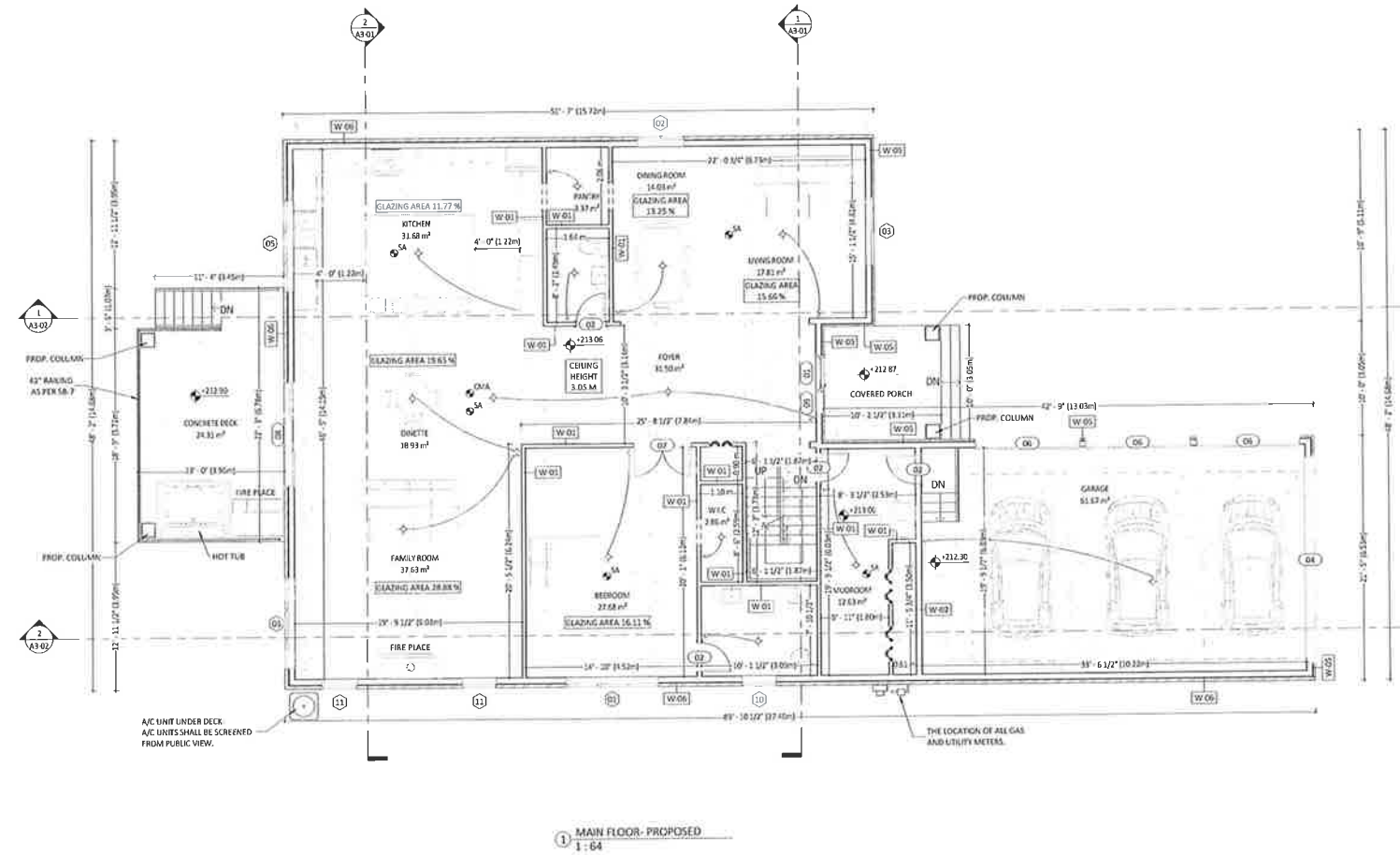
PROJECT No.:

21-02-10

SHEET No.:

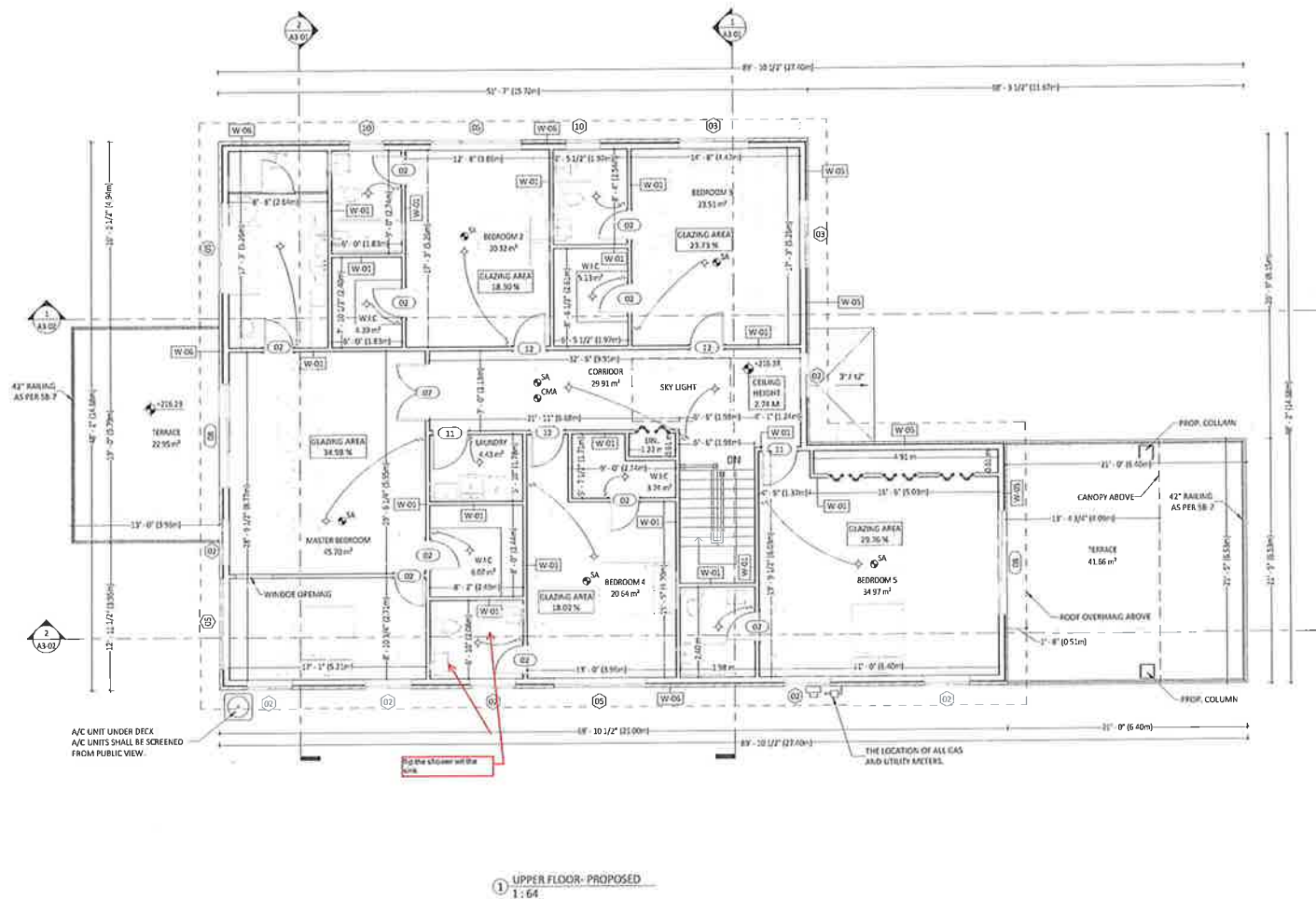
A1-01

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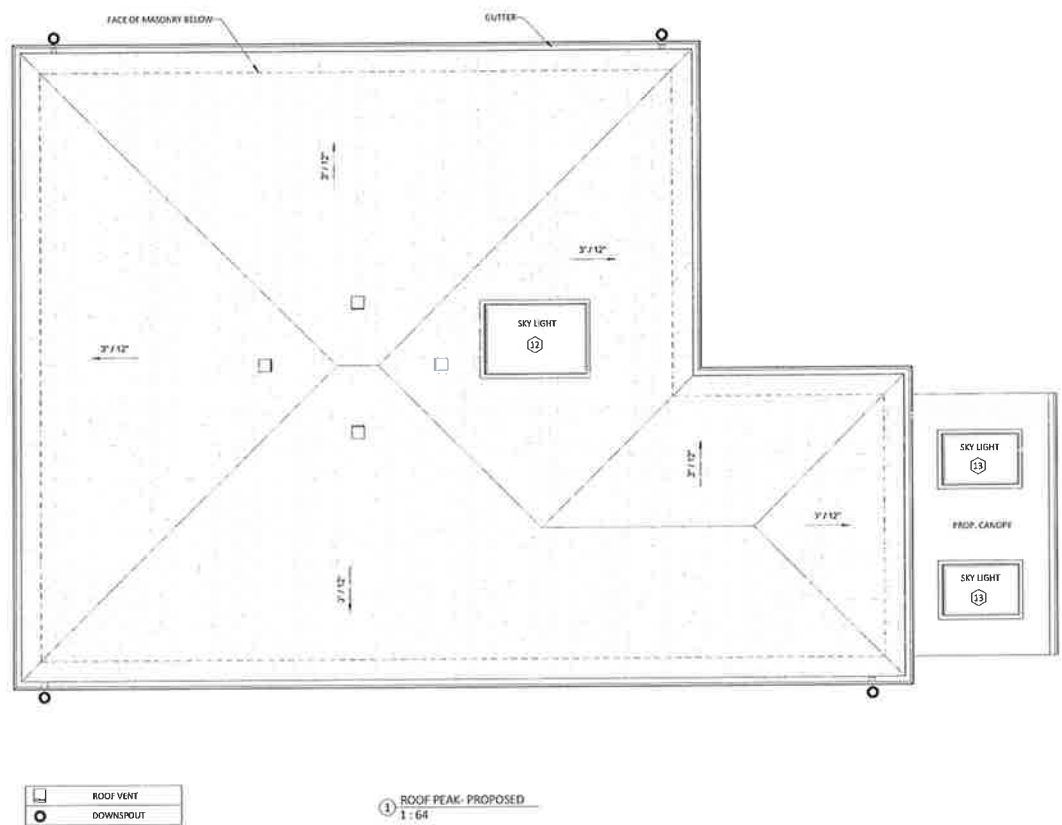
No.	DATE	ISSUED FOR	APVD
REVISIONS			
			
ENGINEER:			
CLIENT:			
PROJECT NAME: NEW CONSTRUCTION			
PROJECT ADDRESS: 8884 CROFTVIEW RD., BRAMPTON, ON L6Y 0G4			
SHEET NAME: MAIN FLOOR PROP. PLAN			
DATE: SCALE: 1:64 DRAWN BY: P. FOROZAN CHECKER: Checker	PROJECT No.: 21-02-10 SHEET No.: A1-02		

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No.	DATE	ISSUED FOR	APVD
REVISIONS			
<div> ANTARA ARCHITECTS & ENGINEERS P.L.C.</div>			
ENGINEER:			
CLIENT:			
PROJECT NAME: NEW CONSTRUCTION			
PROJECT ADDRESS: BABA CREDITVIEW RD., BABAOTON, ON L4Y 0G4			
SHEET NAME: 2ND FLOOR PROP. PLAN			
DATE: SCALE: 1:64 DRAWN BY: P. JORDAN CHECKER: Chokher	PROJECT No.: 21-02-10 SHEET No.: A1-03		

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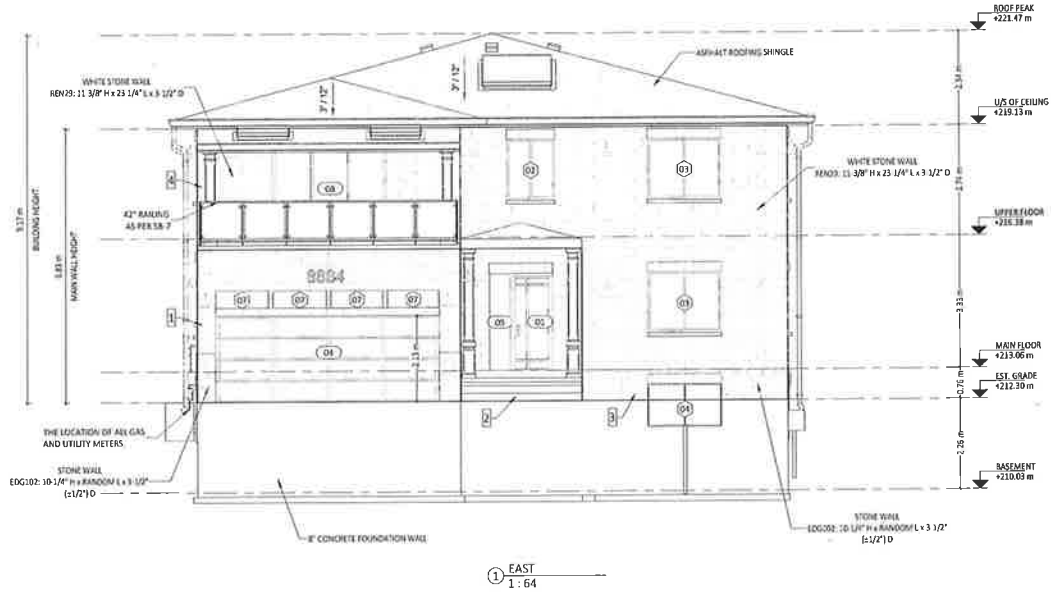
No.	DATE	ISSUED FOR	APVD
REVISIONS			
 ANTARA ENGINEERING & ARCHITECTURE WWW.ANTARAENGINEERING.COM			
ENGINEER:			
CLIENT:			
PROJECT NAME: NEW CONSTRUCTION			
PROJECT ADDRESS: 8888 CREDITVIEW RD., BRAMPTON, ON L6Y 0G4			
SHEET NAME: ROOF PROP. PLAN			
DATE: SCALE: 1:64	PROJECT No.: 21-02-10		
DRAWN BY: P. FORDEN	SHEET No:		
CHECKER: Checker	A1-04		

1
BUILDING FACE: 24.87 M²
OPENING: 2.41 M² (9.69%)
LIMITING DISTANCE: 13.26 M
ALLOWED OPENING: N/A

2
BUILDING FACE: 11.61 M²
OPENING: 1.21 M² (10.42%)
LIMITING DISTANCE: 26.43 M
ALLOWED OPENING: N/A

3
BUILDING FACE: 44.09 M²
OPENING: 8.18 M² (18.55%)
LIMITING DISTANCE: 25.18 M
ALLOWED OPENING: N/A

4
BUILDING FACE: 19.73 M²
OPENING: 6.69 M² (33.90%)
LIMITING DISTANCE: 19.66 M
ALLOWED OPENING: N/A



BUILDING FACE: 114.85 M²
OPENING: 35.32 M² (30.75%)
LIMITING DISTANCE: 47.18 M
ALLOWED OPENING: N/A



NOTE
UTILITY METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC
STREETS AND SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES
AND SCREENED FROM PUBLIC VIEW.

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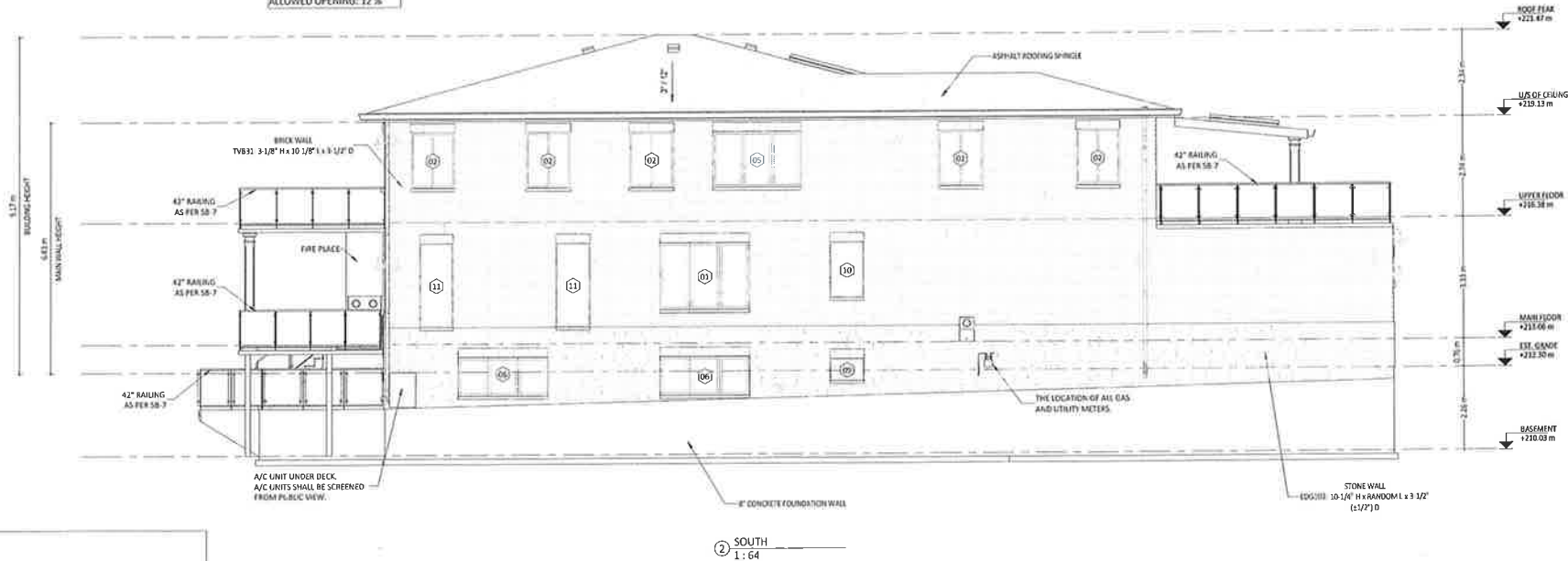
No.	DATE	ISSUED FOR	APVD
REVISIONS			
<div></div>			
ENGINEER:			
CLIENT:			
PROJECT NAME:			
NEW CONSTRUCTION			
PROJECT ADDRESS:			
8881 CROFTVIEW RD., BRAMPTON, QUEENSLD			
SHEET NAME:			
EAST & WEST ELEVATION			
DATE:		PROJECT No.:	
SCALE: As indicated		21-02-10	
DRAWN BY: P. FORDAN		SHEET No:	
CHECKER: Checker		A2-01	

1
BUILDING FACE: 61.04 M²
OPENING: 3.62 M² (5.93 %)
LIMITING DISTANCE: 12.42 M
ALLOWED OPENING: N/A

2
BUILDING FACE: 114.87 M²
OPENING: 17.45 M² (15.19 %)
LIMITING DISTANCE: 2.89 M
ALLOWED OPENING: 9 %



BUILDING FACE: 186.52 M²
OPENING: 28.81 M² (15.44 %)
LIMITING DISTANCE: 5.09 M
ALLOWED OPENING: 12 %



NOTE
UTILITY METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC STREETS AND SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW.

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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:
8884 CREDITVIEW RD., GRANVILLE, OH 43104

SHEET NAME:

NORTH & SOUTH
ELEVATION

DATE: 21-02-10
SCALE: As Indicated
DRAWN BY: P. FORSMAN
CHECKER: Chatter
SHEET NO: A2-02

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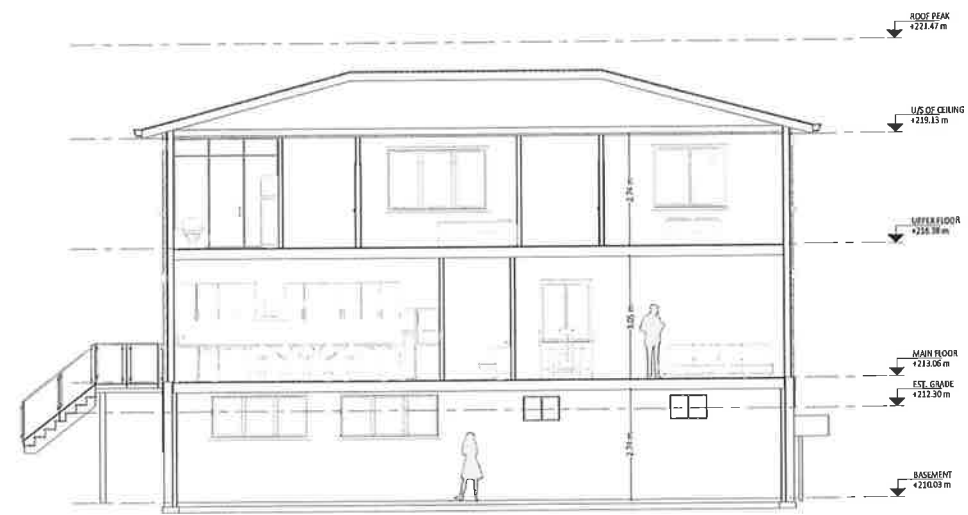
① SECTION 1
1 : 64



② SECTION 2
1 : 64

No.	DATE	ISSUED FOR	APVD
REVISIONS			
ENGINEER:			
CLIENT:			
PROJECT NAME: NEW CONSTRUCTION			
PROJECT ADDRESS: 6004 CROFTVIEW RD., BRAMPTON, ON L6Y 0G4			
SHEET NAME: SECTION 1 & 2			
DATE: 21-02-10		PROJECT No.:	
SCALE: 1 : 64		SHEET No.:	
DRAWN BY: J. FORDAN		CHECKER: Chokan	
		A3-01	


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① SECTION 3
1 : 64



② SECTION 4
1 : 64

No.	DATE	ISSUED FOR	APVD
REVISIONS			
			
ENGINEER:			
CLIENT:			
PROJECT NAME: NEW CONSTRUCTION			
PROJECT ADDRESS: 8884 CREEKVIEW RD, BRAMPTON, ON L6Y 0G4			
SHEET NAME: SECTION 3 & 4			
DATE:		PROJECT No.:	
SCALE: 1 : 64		21-02-10	
DRAWN BY: P. FORDEAN		SHEET No.:	
CHECKER: Checker		A3-02	

DOOR SCHEDULE					
TYPE MARK	LEVEL	COUNT	WIDTH	HEIGHT	AREA(SM)
BASEMENT					
D2	BASEMENT	1	0.76 m	2.03 m	1.55 m²
D3	BASEMENT	2	0.83 m	2.03 m	1.65 m²
D5	BASEMENT	1	2.13 m	2.03 m	4.34 m²
D10	BASEMENT	2	0.25 m	2.03 m	0.52 m²

BASEMENT: 6

EST. GRADE

D4	EST. GRADE	1	5.49 m	2.13 m	11.71 m²
D6	EST. GRADE	3	2.24 m	2.13 m	5.85 m²

EST. GRADE: 4

MAIN FLOOR

D1	MAIN FLOOR	1	0.80 m	2.26 m	1.81 m²
D2	MAIN FLOOR	4	0.76 m	2.03 m	1.55 m²
D7	MAIN FLOOR	1	1.52 m	2.03 m	3.10 m²
D8	MAIN FLOOR	1	2.24 m	2.44 m	6.60 m²
D9	MAIN FLOOR	1	0.53 m	2.40 m	1.22 m²

MAIN FLOOR: 8

UPPER FLOOR

D2	UPPER FLOOR	10	0.76 m	1.03 m	1.55 m²
D7	UPPER FLOOR	1	1.52 m	2.03 m	3.10 m²
D8	UPPER FLOOR	2	2.24 m	2.44 m	5.63 m²
D11	UPPER FLOOR	2	0.91 m	1.03 m	1.86 m²
D12	UPPER FLOOR	3	0.86 m	2.03 m	1.75 m²

UPPER FLOOR: 18

16

WINDOW SCHEDULE					
TYPE MARK	LEVEL	COUNT	WIDTH	HEIGHT	AREA(SM)

BASEMENT

W4	BASEMENT	1	1.83 m	1.07 m	1.95 m²
W6	BASEMENT	6	2.44 m	1.07 m	2.60 m²
W8	BASEMENT	2	0.91 m	0.61 m	0.56 m²
W9	BASEMENT	1	0.91 m	0.61 m	0.56 m²

BASEMENT: 10

EST. GRADE

W7	EST. GRADE	10	1.32 m	0.86 m	0.60 m²
----	------------	----	--------	--------	---------

EST. GRADE: 10

MAIN FLOOR

W1	MAIN FLOOR	1	2.44 m	1.83 m	4.46 m²
W2	MAIN FLOOR	1	1.22 m	1.52 m	1.86 m²
W3	MAIN FLOOR	1	1.83 m	1.52 m	2.79 m²
W5	MAIN FLOOR	2	2.44 m	1.52 m	1.72 m²
W8	MAIN FLOOR	1	0.91 m	1.52 m	1.39 m²
W11	MAIN FLOOR	2	0.91 m	2.28 m	2.08 m²

MAIN FLOOR: 8

UPPER FLOOR

W2	UPPER FLOOR	7	1.22 m	1.52 m	1.86 m²
W3	UPPER FLOOR	2	1.83 m	1.52 m	2.79 m²
W5	UPPER FLOOR	4	1.46 m	1.52 m	5.72 m²
W10	UPPER FLOOR	7	0.91 m	1.52 m	1.39 m²

UPPER FLOOR: 15

US OF CEILING

W12	US OF CEILING	1	1.10 m	2.60 m	4.42 m²
W13	US OF CEILING	2	1.22 m	1.83 m	2.23 m²

US OF CEILING: 3

46

SYMBOL LEGEND	
	AIR RETURN
	EXHAUST FAN SOCF/M/W 5" DUCT
	HEAT REGISTER
	LIGHT PICTURE
	SINGLE SWITCH
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	WATER HEATER
	EXISTING
	PROPOSED

WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

CEILING SCHEDULE	
	FULL HEIGHT CEILING - EXISTING WOOD JOISTS - SOUND INSULATION (OPTIONAL) - 1/2" GYPSUM
	LOWERED CEILING - 2" X 4" @ 16" O.C. CEILING JOISTS - SOUND INSULATION (OPTIONAL) - 1/2" GYPSUM

WALL LEGEND	
INTERIOR WALL	
	W-01 2x4 STUD PARTITION 1/2" GYPSUM WALL BOARD 2x4" @ 16" O.C. WOOD STUDS 1/2" GYPSUM WALL BOARD
	W-02 2x6 STUD PARTITION 1/2" GYPSUM WALL BOARD 2x6" @ 16" O.C. WOOD STUDS /W R19 BATT INSULATION 1/2" GYPSUM WALL BOARD
FOUNDATION WALL	
	W-03 8" CONCRETE + INSULATION WALL, 2x4 STUDS BATT INSULATION LAYER 1/2" PANGLOSS 8" POURED CONCRETE 1" AIR GAP 2x4" @ 16" O.C. WOOD STUDS /W R14 BATT INSULATION 1/2" POLY AIR/VAPOUR BARRIER 1/2" GWS FINISH
	W-04 8" CONCRETE, POURED 8" POURED CONCRETE
EXTERIOR WALLS	
	W-05 2x6 STONE VENEER WALL 3/4" STONE VENEER 1" AIR GAP AIR BARRIER 1/2" PLYWOOD 2x4" @ 16" O.C. SPF STUDS /W MIN SPECIFIED R VALUE 1/2" POLY AIR/VAPOUR BARRIER 1/2" GYPSUM WALL BOARD
	W-06 2x6 BRICK VENEER WALL 3/4" BRICK VENEER 1" AIR GAP AIR BARRIER 1/2" PLYWOOD 2x4" @ 16" O.C. SPF STUDS /W MIN SPECIFIED R VALUE 1/2" POLY AIR/VAPOUR BARRIER 1/2" GYPSUM WALL BOARD

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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

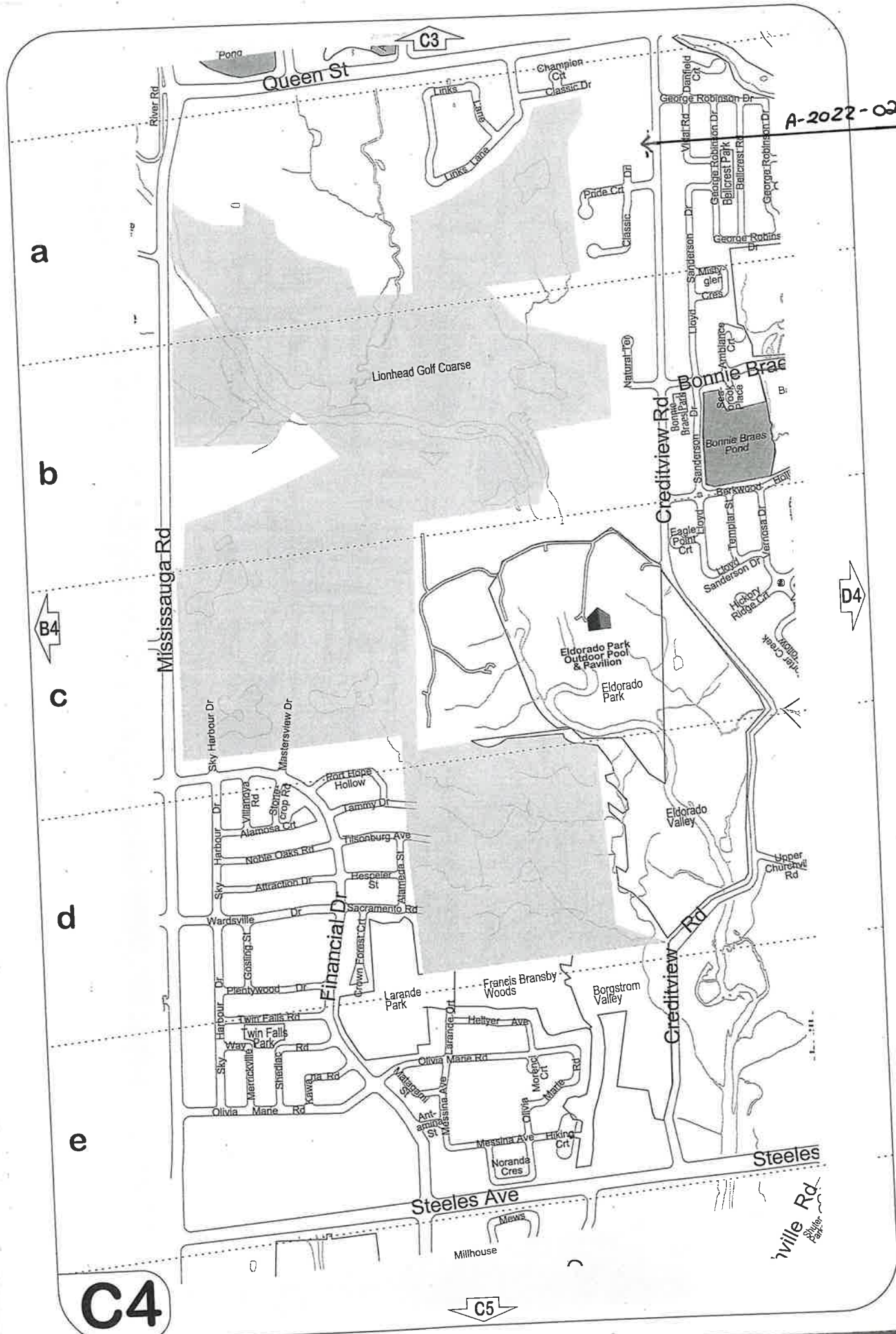
CLIENT:

PROJECT NAME:
NEW CONSTRUCTION

PROJECT ADDRESS:
888A KENNEDY RD., BRANTFORD, ON L6Y 0G4

SHEET NAME:
SCHEDULE & LEGEND

DATE:	PROJECT No.:
SCALE: As indicated	21-02-10
DRAWN BY: J. FORZANI	SHEET No.:
CHECKER: J. FORZANI	A3-05



APPLICATION # A-2022-0268
WARD 6

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MOHAMMED ILYAS** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 5, Concession 5 WHS municipally known formally as **2257 AND 2267 EMBLETON ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a Day Nursery whereas the by-law dos not permit the proposed use;
2. To permit 40% of the required front yard to be landscaped open space whereas the by-law requires a minimum 70% of the required front yard to be landscaped open space;
3. To permit a front yard setback of 8.0m (22.25 ft.) whereas the by-law requires a minimum front yard setback of 12m.0m (39.37 ft.);
4. To permit a side yard setback of 6.0m (19.68 ft.) whereas the by-law requires a minimum side yard setback of 7.5m (24.60 ft.);
5. To permit a building height of 12.0m 39.37 ft.) whereas the by-law permits a maximum building height of 10.0m (32.80 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO

Application for Consent: NO

File Number: _____

File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

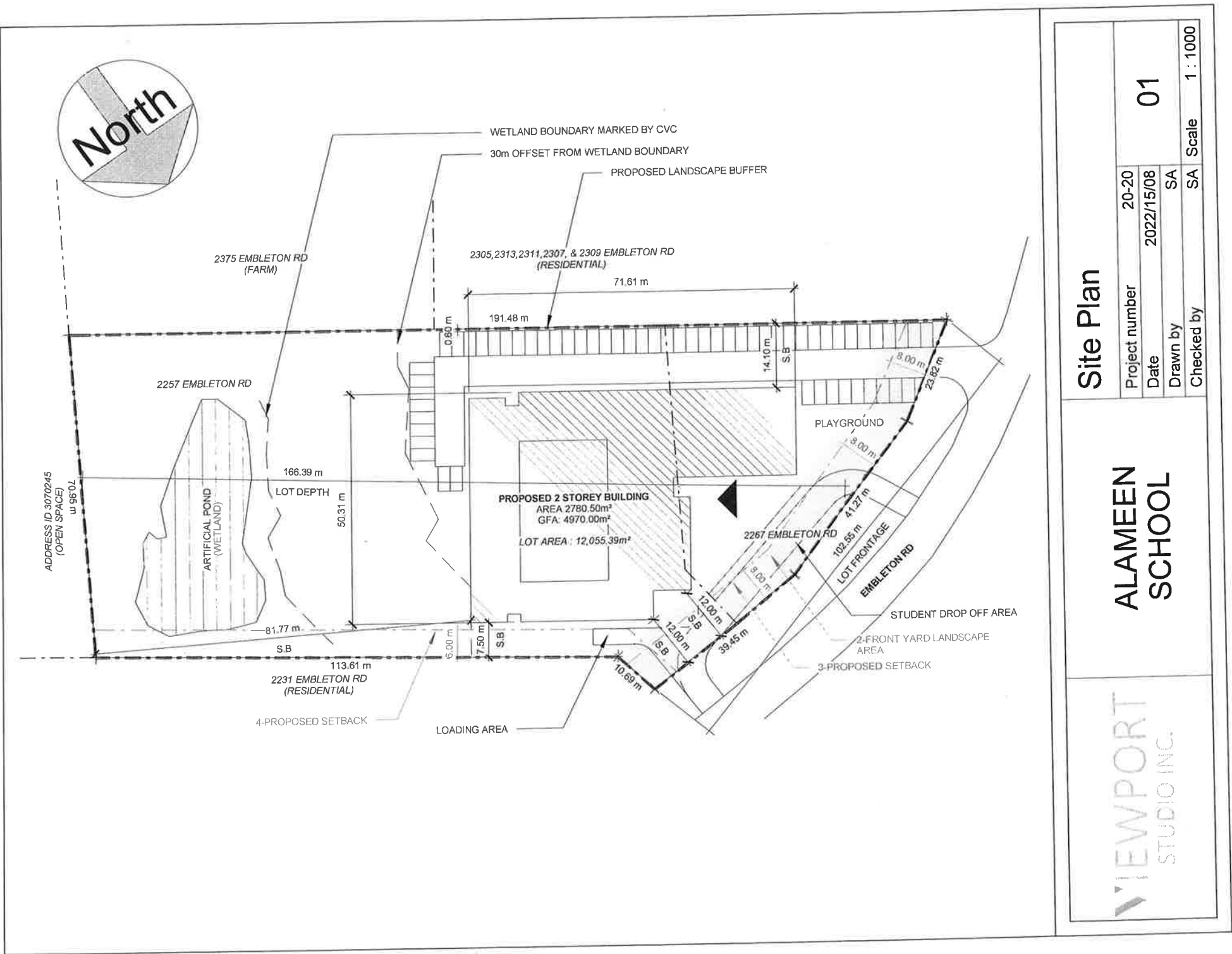
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

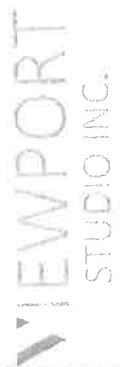
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 16th Day of March, 2023..

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca





ALAMEEN
SCHOOL

Site Plan

Project number	20-20
Date	2022/15/08
Drawn by	SA
Checked by	SA
Scale	1 : 1000

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Mohammed Ilyas
Address 389 Main Street North, Brampton, ON L6X 3P1

Phone # 905.598.2930 Fax # _____
Email ilyas@al-ameenschool.com

2. Name of Agent Sami Abu Shanb
Address 20-3665 Flamewood Dr, Mississauga, ON L4Y 3P5

Phone # 437.238.4004 Fax # _____
Email sami@viewportstudio.ca

3. Nature and extent of relief applied for (variances requested):
1-Permitting " Day Nursery /Day Care" for the lot use.
2-Reducing the ratio of landscape area in front yard to be 40% of total front yard instead of 70%.
3-Reducing the front setback to be 8.0 m instead of 12.0m.
4-Reducing East side setback to be 6.0m instead of 7.5m.
5- Increasing permitted height to 12.0 m instead of 10.0m.

"Refer to site plan drawing "

4. Why is it not possible to comply with the provisions of the by-law?
The subjected lot consisted of two properties 2257 and 2267 Embleton Rd. (consolidated) the proposed development on this lot is a private school with a daycare. The lot is located in the CVC regulation area, a setback of 30m from the wetland boundary at the South is required to comply with CVC regulations. After deducting the wetland area and the 30m setback, the remaining portion of the lot is only 6690 m² (55 % of the lot area).
Approving our minor variance application will allow us to create a building with a total coverage area of 25% along with the required car parking.

5. Legal Description of the subject land:
Lot Number 5
Plan Number/Concession Number CON.5 W.H.S.
Municipal Address 2257 & 2267 Embleton Rd. Brampton, ON L6Y 0G2

6. Dimension of subject land (in metric units)
Frontage 102.55m
Depth 166.39m
Area 12,055.39 m²

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2267 Embleton Rd - Single family house, building area:270m² , GFA :220m², 2 storeys

- Shad building area:270m²7.75m² , 1storey

2257 Embleton Rd - Single family house, building area 268m², GFA: 210m², 1 storey

-Storage / Barn, building area:240m², 1 storey

- Shad, building area 12m², 1 storey

- Shad, building area 13m², 1 storey

Note: all structures in both properties to be demolished.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Private school for students from per-school to grade 12 (day nursery is included), building area: 2,780.50 m², gross floor area: 4,970 m² , number of storeys: 2, building width: 50.31m, building depth: 71.61m maximum building height: 12.00m.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback

Rear yard setback

Side yard setback

Side yard setback

PROPOSED

Front yard setback

12.00 Side and front yard are subjected to be reduced in minor variance

Rear yard setback

81.77

Side yard setback

7.50

Side yard setback

14.10

10. Date of Acquisition of subject land: 2267 Embleton Rd: Jan /2018
2257 Embleton Rd: April/2021
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Private school and day nursery.
13. Existing uses of abutting properties: Residential, Farm, Other use (refer to attached site plan)
14. Date of construction of all buildings & structures on subject land: 2267 Embleton Rd: 1908
2257 Embleton Rd: 1959
15. Length of time the existing uses of the subject property have been continued: 2267 Embleton Rd: 114 Years
2257 Embleton Rd: 63 Years

16. (a) What water supply is existing/proposed?

Municipal

☒

Well

☒

Other (specify)

- (b) What sewage disposal is/will be provided?

Municipal

☐

Septic

☒

Other (specify)

- (c) What storm drainage system is existing/proposed?

Sewers

☐

Ditches

☐

Swales

☒

Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE city OF Brampton
THIS 16th DAY OF August, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Sami Abu Shanb, OF THE city OF Mississauga
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF Peel
THIS 16th DAY OF
August, 2022

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

RHm1

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

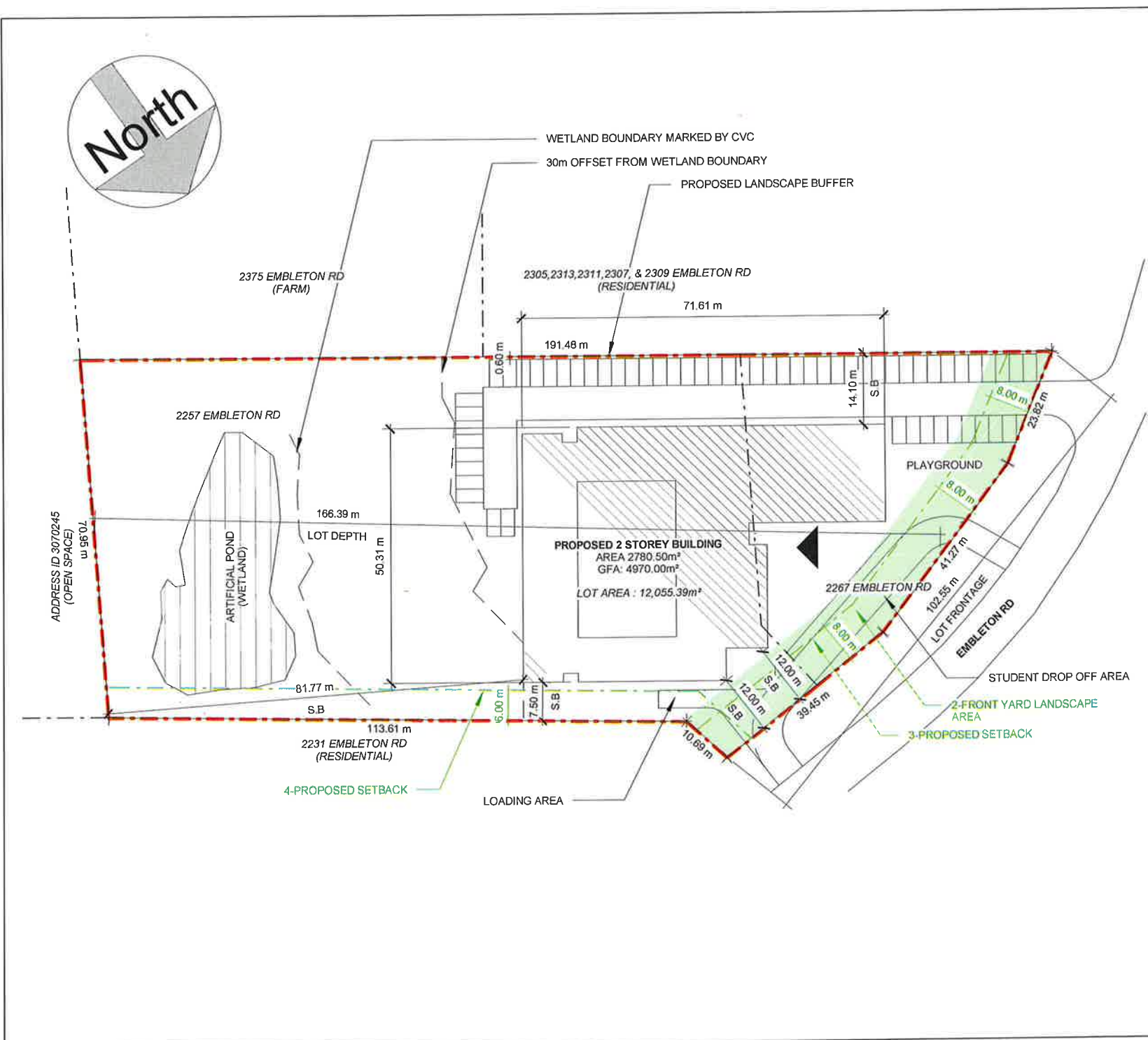
August 15, 2022


Date

DATE RECEIVED

August 16th, 2022

Revised 2022/02/17





NEWPORT
STUDIO INC.

Site Plan

ALAMEEN
SCHOOL

Project number	20-20	01
Date	2022/15/08	
Drawn by	SA	
Checked by	SA	Scale 1 : 1000

Bovaird Dr

a

b

Heritage Rd

A3

C

Mississauga Rd

C3

d

e

Armistead Parkette

Huttonville Community Centre

Huttonville P.S.

Embleton Rd

B3

B4

A-2022-0268

Prestige Crt

Germain Circle

Vesna Cres

Vesna Cres

Hango Crt

Hutt Cen

Royal West Dr

Limestone Dr

Longevity Rd

Lyle Way

Darymald Rd

Silo West

Frost St

Rolling Acres Dr

Longevity Rd

Settlers Field Rd

Terrace

Reindrop

Beachville Circle

Beacon Hill Dr

Bain Cres

Black Diamond Cres

Royal West

Beacon Hill Dr

Ostrander Park North

Ostrander Park South

Huttonville Blvd

River Rd

River Glen Crt

Huttonville Dr

Huttonville

Gandview Crt

Huttonville Parkette

Adamsville Rd

Luoi Park

Agincourt Circle

Accolade Crt

West Dr

Queer

River Rd

APPLICATION # A-2022-0320
WARD 3

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an **amended** application for minor variance has been made by **MEHNA AUTO SALES INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 43, Plan BR-2, Part 4, Plan 43R-13441 municipally known as **93 JOHN STREET**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s) for construction of a new semi-detached dwelling in conjunction with the proposed severed lot under Consent Application B-2022-0014:

1. To permit a semi-detached dwelling whereas the by-law does not permit a semi-detached dwelling within an R1B zone;
2. To permit a minimum lot area of 290 square metres whereas the by-law requires a minimum lot area of 450 square metres;
3. To permit a minimum lot width of 7.90 metres whereas the by-law requires a minimum lot width of 15 metres;

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: YES

File Number: _____
File Number: B-2022-0014

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

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RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 9th Day of March, 2023

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



Principals

Michael Gagnon
Lena Gagnon
Andrew Walker
Richard Domes

January 4, 2023

**Corporation of the City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2**

Attn: Jeanie Myers – Secretary Treasurer, Committee of Adjustment

**Re: Committee of Adjustment
Consent to Sever and Minor Variance Applications
Supplementary Cover Letter
93 John Street, City of Brampton
Part of Lot 44, Plan BR-6, and Part of Lot 43, Plan BR-2
City Files: A-2022-0320 and A-2022-0321
(GWD File: 22.2994.00)**

Dear Jeanie:

Gagnon Walker Domes Ltd. (GWD) represents Mehna Auto Sales Inc. (Gagandeep Singh Gill), the Registered Owner of 93 John Street in the City of Brampton (hereinafter referred to as the subject site).

Concurrent with the Consent to Sever Application for the subject site, two (2) associated Committee of Adjustment Minor Variance Applications were submitted to the City of Brampton on September 27, 2022, seeking relief from the Zoning By-law in order to permit the development of two (2) new single detached residential dwellings on both the Retained and Severed lands.

On October 25, 2022, in consultation with City of Brampton Planning Staff, Committee of Adjustment Applications B-2022-0014, A-2022-0320, and A-2022-0321 were deferred by the Committee of Adjustment to no later than the last Committee of Adjustment Hearing of January 2023. In working with City Staff, the minor modifications made to the proposal necessitated the reissuance of the Public Notice. The deferral allowed for sufficient time for this to occur.

Further discussion was had with City of Brampton Planning and Heritage Staff on November 7, 2022 regarding the above-mentioned Committee of Adjustment Applications. The Consent to Sever and Minor Variance Plans have been updated to reflect the following:

CAGNON WALKER DOMES LTD.

7685 Hurontario Street, Suite 501 • Brampton ON Canada L6W 0B4 • P: 905-796-5790
www.gwdplanners.com • Toll Free: 1-855-771-7266

**CONFIDENTIALITY
CAUTION**

This document is Consultant-Client privileged and contains confidential information intended only for person(s) named above. Any distribution, copying or disclosure is strictly prohibited. If you have received this document in error, please notify us immediately by telephone and return the original to us by mail without making a copy.



1. A 2.50m Road Widening;
2. A 2-storey Semi-Detached Dwelling is now proposed which is to occupy both the Severed and Retained Lands with a G.F.A of approximately 184m² (1,980 ft²) and an approximate height of 8.5m;
3. The proposed Semi-Detached Dwelling has been shifted slightly southward on the subject site;
4. An Interior Lot Area of 0.029 ha (0.073 ac); and
5. A Minimum Rear Yard Depth of 16.24 m (53.28 ft).

The requested variances for both Minor Variance Applications have been amended as follows:

1. To permit a semi-detached dwelling unit whereas the Zoning By-law does not permit a semi-detached dwelling unit within an R1B zone;
2. To permit a minimum lot area of 290m² whereas the Zoning By-law requires a minimum lot area of 450m²; and
3. To permit a minimum lot width of 7.90m for an interior lot whereas the Zoning By-law requires a minimum of 15.0m for an interior lot.

As discussed with City of Brampton Planning and Heritage Staff on November 7, 2022, a Scoped Heritage Impact Assessment is well underway and will be submitted in support of Committee of Adjustment Applications B-2022-0014, A-2022-0320, and A-2022-0321 under separate cover.

Should you require additional information or have any questions, please do not hesitate to contact the undersigned.

Yours truly,

A handwritten signature in black ink, appearing to read 'Anthony Sirianni'.

Anthony Sirianni, B.A.,
Associate Planner

c.c.: **Gagandeep Singh Gill, Client**
Andrew Walker, Gagnon Walker Domes Ltd.
Michael Gagnon, Gagnon Walker Domes Ltd.

Flower City



brampton.ca

FILE NUMBER: A-2022-0320

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Mehra Autosales Inc.
Address 21 Possession Crescent
Brampton, Ontario, L6P 4K3
Phone # _____ Fax # _____
Email gaganent@att.net

2. Name of Agent Gagron Walter Dinos (tr.)
Address 21 Queen Street East, Suite 500
Brampton, Ontario L6W 3P1
Phone # (905) 796-5190 Fax # _____
Email gsiranni@guidplanners.com

3. Nature and extent of relief applied for (variances requested):
① To permit a minimum lot area of 310m²
② To permit a minimum lot width of 7.90m for an interior lot
③ To permit a minimum interior side yard width of 1.20m above the first storey
④ To permit a maximum building height of 10.6m

4. Why is it not possible to comply with the provisions of the by-law?
① The Zoning By-law requires a minimum lot area of 450m²
② The Zoning By-law requires a minimum of 15.0m for an interior lot
③ The Zoning By-law requires 1.20m for the first storey or part thereof plus 0.60m for each additional storey or part thereof
④ The Zoning By-law permits a maximum building height of 8.5m

5. Legal Description of the subject land:
Lot Number PT. Lot 43
Plan Number/Concession Number BR-2
Municipal Address 93 John Street

6. Dimension of subject land (in metric units)
Frontage 15.85m
Depth 39.73m
Area 0.063 ha

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

One (1) 2-Storey single detached residential dwelling with an approximate GFA of 158 m² (1,700 ft²)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

One (1) new 3-Storey single detached residential dwelling with a GFA of 218 m² (2,344 ft²)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 0.88m (to porch) / 2.92m (to house)
Rear yard setback 27.3 m
Side yard setback 2.89 m (west)
Side yard setback 6.05 m (east)

PROPOSED

Front yard setback 6.0m (to house)
Rear yard setback 18.94m
Side yard setback 1.2m
Side yard setback 1.2m

10. Date of Acquisition of subject land: January 31, 2022
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1980's
15. Length of time the existing uses of the subject property have been continued: Since Construction

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

-3-

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # B-2622-0014 Status CONCURRENT

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Anthony Sinianni
Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ OF _____

THIS _____ DAY OF _____, 20____.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Anthony Sinianni, OF THE Region OF Halton
IN THE Town OF Halton Hills SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City of Burlington
IN THE CC OF _____
THIS 27 DAY OF _____
, 2022

A Commissioner etc.

Anthony Sinianni
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B, Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbutto
Zoning Officer

September 27, 2022
Date

DATE RECEIVED September 27, 2022

Revised 2022/02/17

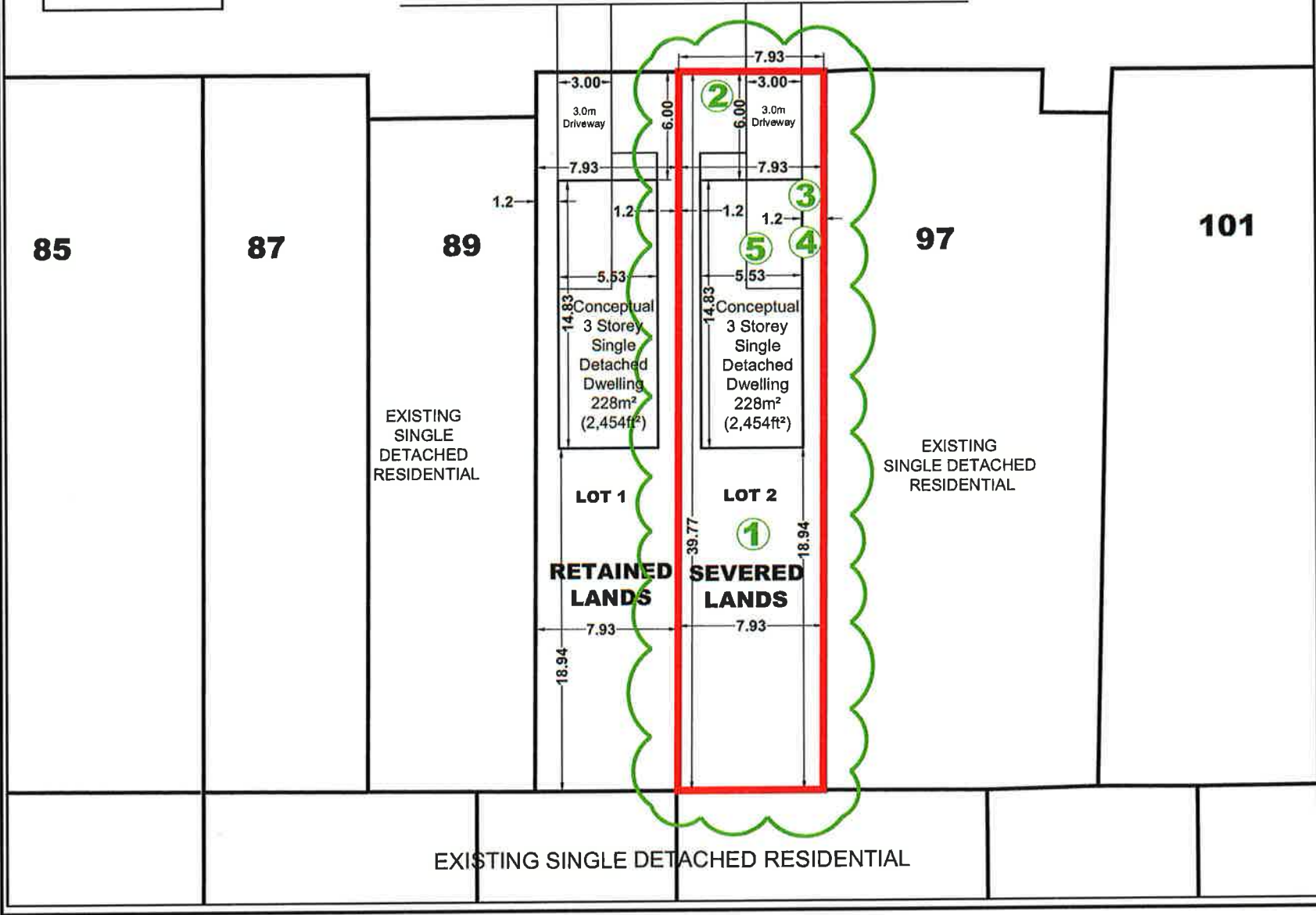
LEGEND

PROPERTY
BOUNDARY

1-4

MINOR
VARIANCES

JOHN STREET



ZONING BY-LAW MATRIX - RESIDENTIAL SINGLE DETACHED B - (R1B) and SUBJECT to OLDER, MATURE NEIGHBOURHOODS		
Description	Required	Provided
Minimum Interior Lot Area	0.04 ha (0.11ac) 450m²	0.031 ha (0.077ac) 315m²
Minimum Interior Lot Width	15m	7.93m
Minimum Front Yard Depth	6.0m	6.0m
Minimum Interior Side Yard Width	1.2m for 1st Storey or part thereof plus 0.6m for each additional storey or part thereof	1.20m (west) 1.20m (east)
Minimum Rear Yard Depth	25% of the lot depth or 7.5m whichever is greater	18.94m
Maximum Building Height	8.5m (*10.6m)	10.6m
Maximum Lot Coverage	30%	26%
Building Area	n/a	228m² (2,454ft²)
Minimum Landscaped Open Space	60% of the minimum front yard of an interior lot	62%

*Residential Single Detached B - (R1B) Zoning Requirements

- MINOR VARIANCES
1.

To permit a minimum lot area of 310m² whereas the Zoning By-law requires a minimum lot area of 450m²;
2.

To permit a minimum lot width of 7.90m for an Interior lot whereas the Zoning By-law requires a minimum of 15.0m for an Interior lot.
3.

To permit an Interior side yard setback of 1.2 metres to the second storey whereas the by-law requires a minimum of 1.8 metres to the second storey;
4.

To permit an interior side yard setback of 1.2 metres to the third storey whereas the by-law requires a minimum of 2.4 metres to the third storey;
5.

To permit a maximum building height of 10.6m whereas the Zoning By-law permits a maximum building height of 8.5m.

MINOR VARIANCE PLAN
SEVERED LANDS - LOT 2
PROPOSED SINGLE DETACHED LOT
93 JOHN STREET, CITY of BRAMPTON

P.N.: 22.2994.00

Date: October 6, 2022

Scale: N.T.S.

Revised:

Drawn By: D.S.

File No.: PN 2994 Concept Plan

21 Queen Street East
Suite 500
Brampton, ON
L6Y 3P1
P (905) 798 - 5790

3601 Highway 7 East
Suite 310
Markham, ON
L3R 0M3
P (905) 477 - 6556

Page 1105 of 1189

B-2022-0014
A-2022-0320
A-2022-0321

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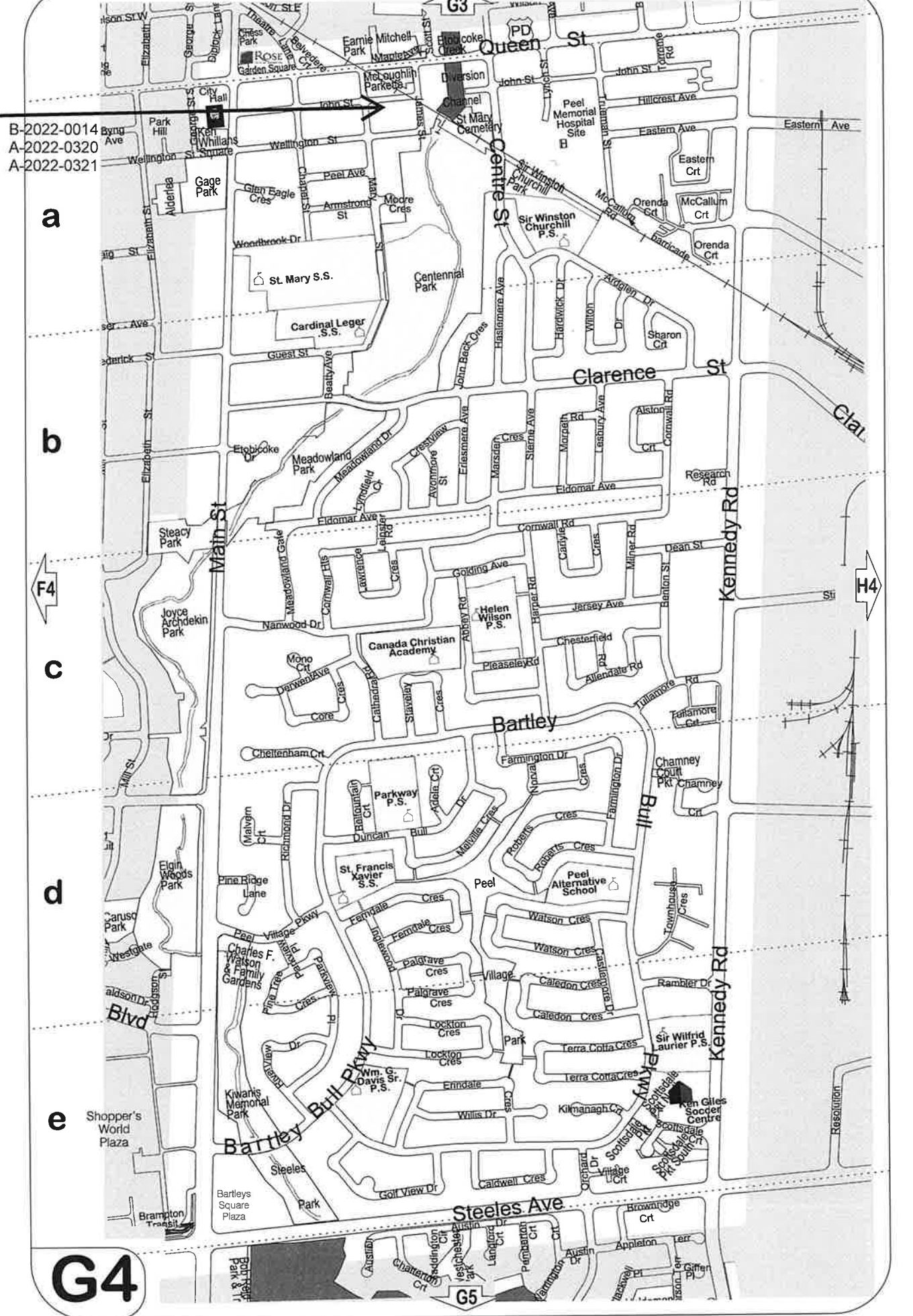
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e

G4



H4

G5

APPLICATION # A-2022-0321
WARD 3

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AND WHEREAS the applicant is requesting the following variance(s) for construction of a new semi-detached dwelling in conjunction with the proposed retained lot under Consent Application B-2022-0014:

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3. To permit a minimum lot width of 7.90 metres whereas the by-law requires a minimum lot width of 15 metres;

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: YES

File Number: _____
File Number: B-2022-0014

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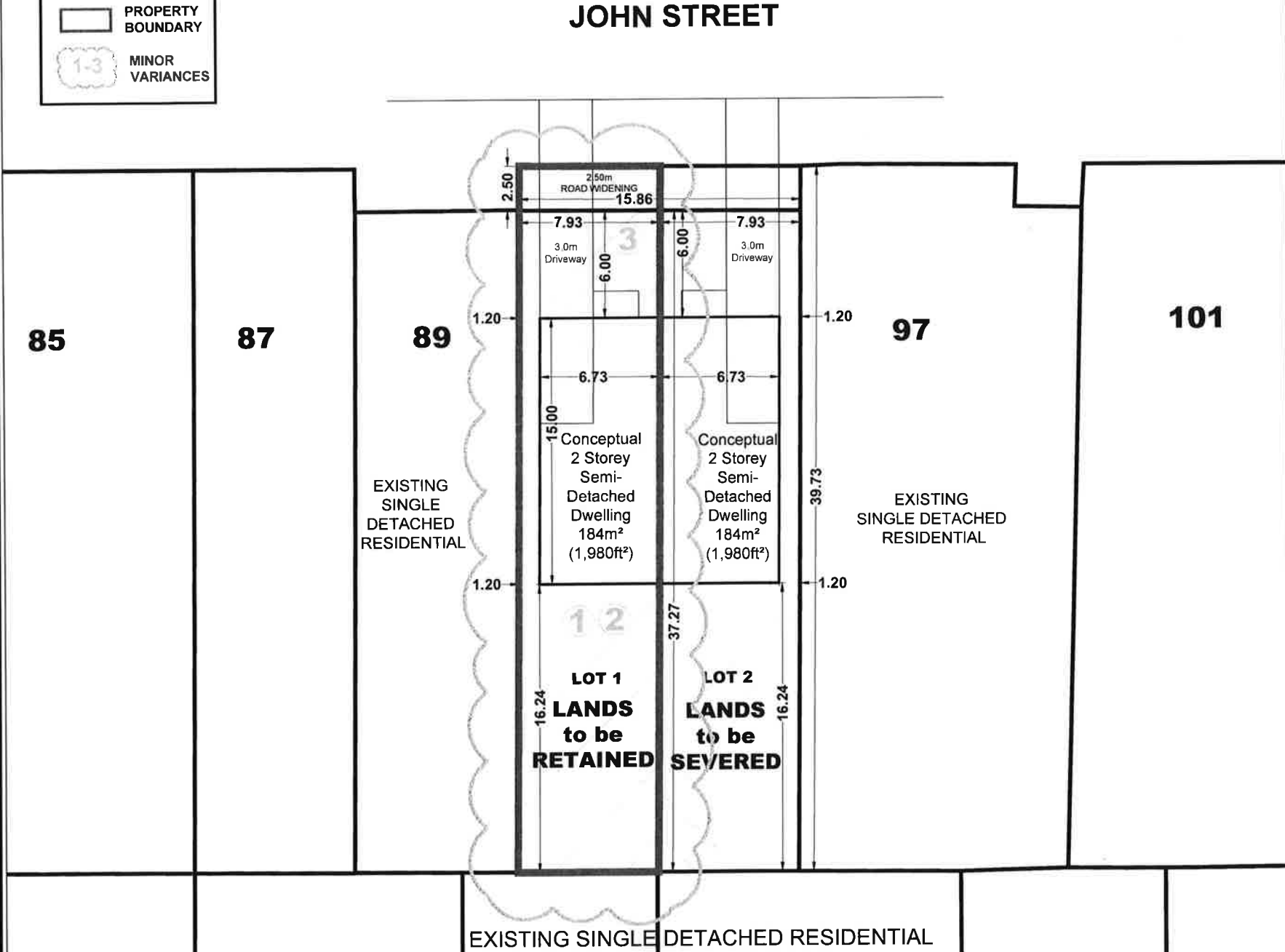
Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

LEGEND

PROPERTY BOUNDARY

1-3

MINOR VARIANCES



ZONING BY-LAW MATRIX		
CURRENT ZONING DESIGNATION:		
RESIDENTIAL SINGLE DETACHED B - (R1B)		
Description	Required	Provided
Minimum Interior Lot Area	0.04 ha (0.11ac) 450m ²	0.029 ha (0.073ac) 295m ²
Minimum Interior Lot Width	15m	7.93m
Minimum Front Yard Depth	6.0m	6.0m
Minimum Interior Side Yard Width	1.2m for 1st Storey or part thereof plus 0.6m for each additional storey or part thereof	1.20m (west) 1.20m (east)
Minimum Rear Yard Depth	7.5m	16.24m
Maximum Building Height	8.5m	TBD
Building Gross Floor Area (excluding 18m ² of garage area per dwelling)	n/a	184m ² (1,980ft ²)
Minimum Landscaped Open Space	60% of the minimum front yard of an interior lot	62%

- MINOR VARIANCES
1.

To permit a semi-detached dwelling unit whereas the Zoning By-law does not permit a semi-detached dwelling unit within an R1B zone;
2.

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3.

To permit a minimum lot width of 7.90m for an interior lot whereas the Zoning By-law requires a minimum of 15.0m for an interior lot.

MINOR VARIANCE PLAN

RETAINED LANDS - LOT 1

PROPOSED SEMI-DETACHED LOT

93 JOHN STREET, CITY of BRAMPTON

P.N.: 22.2994.00

Date: January 4, 2023

Scale: N.T.S

Revised:

Drawn By: D.S.

File No.: PN 2994 Concept Plan

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How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



Principals

Michael Gagnon
Lena Gagnon
Andrew Walker
Richard Domes

January 4, 2023

**Corporation of the City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2**

Attn: Jeanie Myers – Secretary Treasurer, Committee of Adjustment

**Re: Committee of Adjustment
Consent to Sever and Minor Variance Applications
Supplementary Cover Letter
93 John Street, City of Brampton
Part of Lot 44, Plan BR-6, and Part of Lot 43, Plan BR-2
City Files: A-2022-0320 and A-2022-0321
(GWD File: 22.2994.00)**

Dear Jeanie:

Gagnon Walker Domes Ltd. (GWD) represents Mehna Auto Sales Inc. (Gagandeep Singh Gill), the Registered Owner of 93 John Street in the City of Brampton (hereinafter referred to as the subject site).

Concurrent with the Consent to Sever Application for the subject site, two (2) associated Committee of Adjustment Minor Variance Applications were submitted to the City of Brampton on September 27, 2022, seeking relief from the Zoning By-law in order to permit the development of two (2) new single detached residential dwellings on both the Retained and Severed lands.

On October 25, 2022, in consultation with City of Brampton Planning Staff, Committee of Adjustment Applications B-2022-0014, A-2022-0320, and A-2022-0321 were deferred by the Committee of Adjustment to no later than the last Committee of Adjustment Hearing of January 2023. In working with City Staff, the minor modifications made to the proposal necessitated the reissuance of the Public Notice. The deferral allowed for sufficient time for this to occur.

Further discussion was had with City of Brampton Planning and Heritage Staff on November 7, 2022 regarding the above-mentioned Committee of Adjustment Applications. The Consent to Sever and Minor Variance Plans have been updated to reflect the following:

GAGNON WALKER DOMES LTD.

7685 Hurontario Street, Suite 501 • Brampton ON Canada L6W 0B4 • P: 905-796-5790
www.gwdplanners.com • Toll Free: 1-855-771-7266

**CONFIDENTIALITY
CAUTION**

This document is Consultant-Client privileged and contains confidential information intended only for person(s) named above. Any distribution, copying or disclosure is strictly prohibited. If you have received this document in error, please notify us immediately by telephone and return the original to us by mail without making a copy.



1. A 2.50m Road Widening;
2. A 2-storey Semi-Detached Dwelling is now proposed which is to occupy both the Severed and Retained Lands with a G.F.A of approximately 184m² (1,980 ft²) and an approximate height of 8.5m;
3. The proposed Semi-Detached Dwelling has been shifted slightly southward on the subject site;
4. An Interior Lot Area of 0.029 ha (0.073 ac); and
5. A Minimum Rear Yard Depth of 16.24 m (53.28 ft).

The requested variances for both Minor Variance Applications have been amended as follows:

1. To permit a semi-detached dwelling unit whereas the Zoning By-law does not permit a semi-detached dwelling unit within an R1B zone;
2. To permit a minimum lot area of 290m² whereas the Zoning By-law requires a minimum lot area of 450m²; and
3. To permit a minimum lot width of 7.90m for an interior lot whereas the Zoning By-law requires a minimum of 15.0m for an interior lot.

As discussed with City of Brampton Planning and Heritage Staff on November 7, 2022, a Scoped Heritage Impact Assessment is well underway and will be submitted in support of Committee of Adjustment Applications B-2022-0014, A-2022-0320, and A-2022-0321 under separate cover.

Should you require additional information or have any questions, please do not hesitate to contact the undersigned.

Yours truly,

A handwritten signature in black ink, appearing to read 'Anthony Sirianni'.

Anthony Sirianni, B.A.,
Associate Planner

c.c.: **Gagandeep Singh Gill, Client**
Andrew Walker, Gagnon Walker Domes Ltd.
Michael Gagnon, Gagnon Walker Domes Ltd.

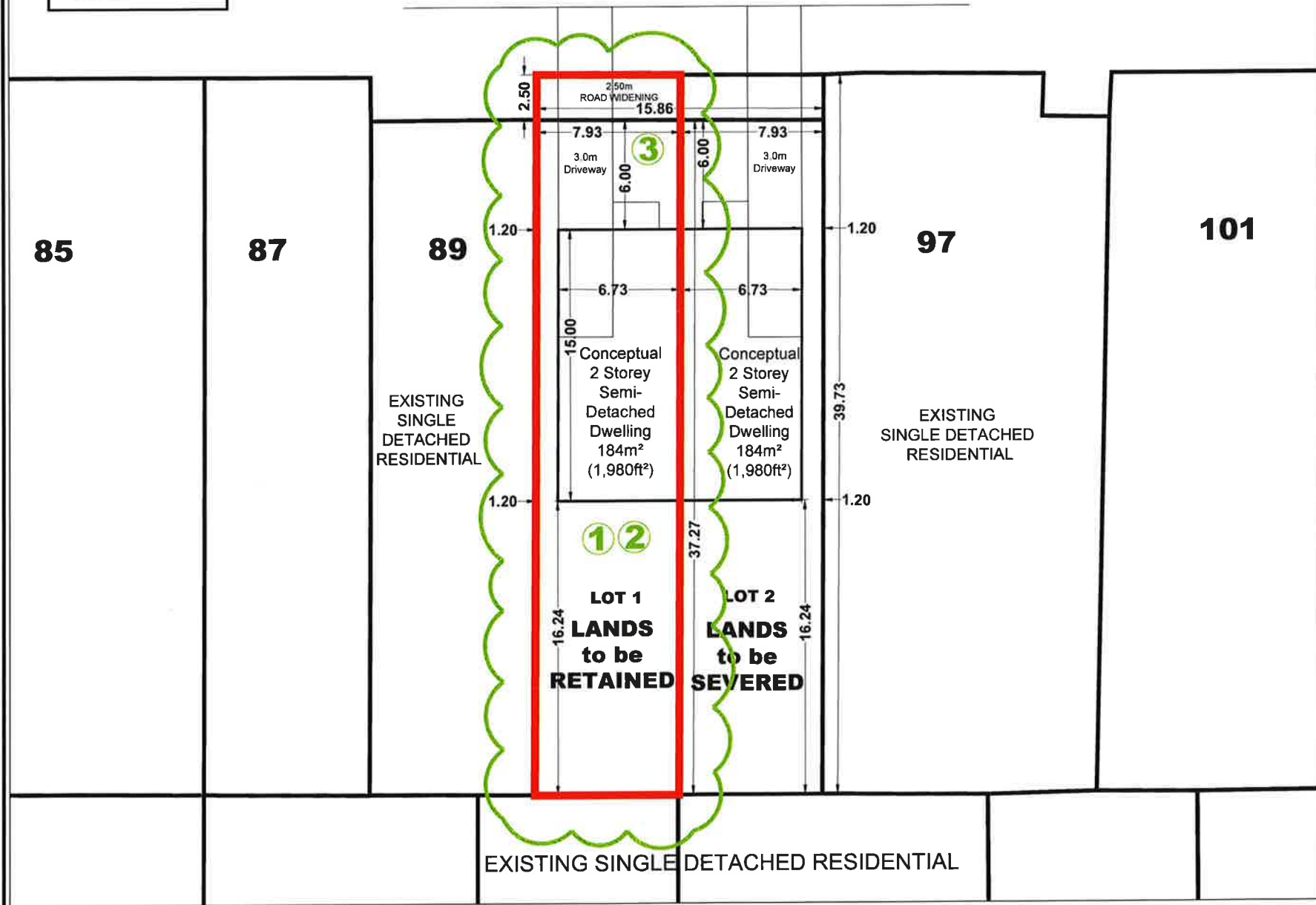
LEGEND

PROPERTY
BOUNDARY

1-3

MINOR
VARIANCES

JOHN STREET



ZONING BY-LAW MATRIX

CURRENT ZONING DESIGNATION:

RESIDENTIAL SINGLE DETACHED B - (R1B)

Description	Required	Provided
Minimum Interior Lot Area	0.04 ha (0.11ac)	0.029 ha (0.073ac)
Minimum Interior Lot Width	15m	7.93m
Minimum Front Yard Depth	6.0m	6.0m
Minimum Interior Side Yard Width	1.2m for 1st Storey or part thereof plus 0.6m for each additional storey or part thereof	1.20m (west) 1.20m (east)
Minimum Rear Yard Depth	7.5m	16.24m
Maximum Building Height	8.5m	TBD
Building Gross Floor Area (excluding 18m² of garage area per dwelling)	n/a	184m² (1,980ft²)
Minimum Landscaped Open Space	60% of the minimum front yard of an interior lot	62%

- MINOR VARIANCES
- To permit a semi-detached dwelling unit whereas the Zoning By-law does not permit a semi-detached dwelling unit within an R1B zone;
 - To permit a minimum lot area of 290m² whereas the Zoning By-law requires a minimum lot area of 450m²; and
 - To permit a minimum lot width of 7.90m for an interior lot whereas the Zoning By-law requires a minimum of 15.0m for an interior lot.

MINOR VARIANCE PLAN

RETAINED LANDS - LOT 1

PROPOSED SEMI-DETACHED LOT

93 JOHN STREET, CITY of BRAMPTON

P.N.: 22.2994.00	Date: January 4, 2023
Scale: N.T.S	Revised:
Drawn By: D.S.	File No.: PN 2994 Concept Plan

Flower City



brampton.ca

FILE NUMBER: A-2022-0321

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Melina Autosales Inc.
Address 21 Possession Crescent
Brampton, Ontario, L6P 4K3
Phone # _____ Fax # _____
Email gaganenterprises.com

2. Name of Agent Gagan Walker Domes Ltd.
Address 21 Queen Street East Suite 500
Brampton, Ontario L6W 3P1
Phone # (905) 746-5190 Fax # _____
Email gsiriani@gsiriani.com

3. Nature and extent of relief applied for (variances requested):
① To permit a minimum lot area of 310m²
② To permit a minimum lot width of 9.90m for an interior lot
③ To permit a minimum interior side yard width of 1.00m above the first storey
④ To permit a maximum building height of 10.6m

4. Why is it not possible to comply with the provisions of the by-law?
① The Zoning By-law requires a minimum lot area of 450m²
② The Zoning By-law requires a minimum of 15.0m for an interior lot
③ The Zoning By-law requires 1.00m for the first storey or part thereof plus 0.6m for each additional storey or part thereof
④ The Zoning By-law permits a maximum building height of 8.5m

5. Legal Description of the subject land:
Lot Number PT. Lot 43
Plan Number/Concession Number BK-2
Municipal Address 93 John Street

6. Dimension of subject land (in metric units)
Frontage 15.85m
Depth 39.73m
Area 0.063 ha

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

One (1) 2-Storey single detached residential dwelling with an approximate GFA of 158 m² (1,700 ft²)

PROPOSED BUILDINGS/STRUCTURES on the subject land:

One (1) new 3-Storey single detached residential dwelling with a GFA of 278 m² (2,984 ft²)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 0.88m (to porch) / 2.92m (to house)
Rear yard setback 27.3m
Side yard setback 2.89m (west)
Side yard setback 6.05m (east)

PROPOSED

Front yard setback 6.0m (to house)
Rear yard setback 18.94m
Side yard setback 1.2m
Side yard setback 1.2m

10. Date of Acquisition of subject land: January 31, 2022
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1980's
15. Length of time the existing uses of the subject property have been continued: Since Construction

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # B-2022-0014 Status CONCURRENT

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief

Anthony Sinianni
Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ OF _____

THIS _____ DAY OF _____, 20____.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Anthony Sinianni, OF THE Region OF Halton
IN THE Town OF Halton Hills SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City of Burlington
IN THE Reg. OF _____
THIS 27 DAY OF _____, 2022

A Commissioner etc.

Anthony Sinianni
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B, Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuta

Zoning Officer

September 27, 2022

Date

DATE RECEIVED September 27, 2022

Revised 2022/02/17

B-2022-0014
A-2022-0320
A-2022-0321

a

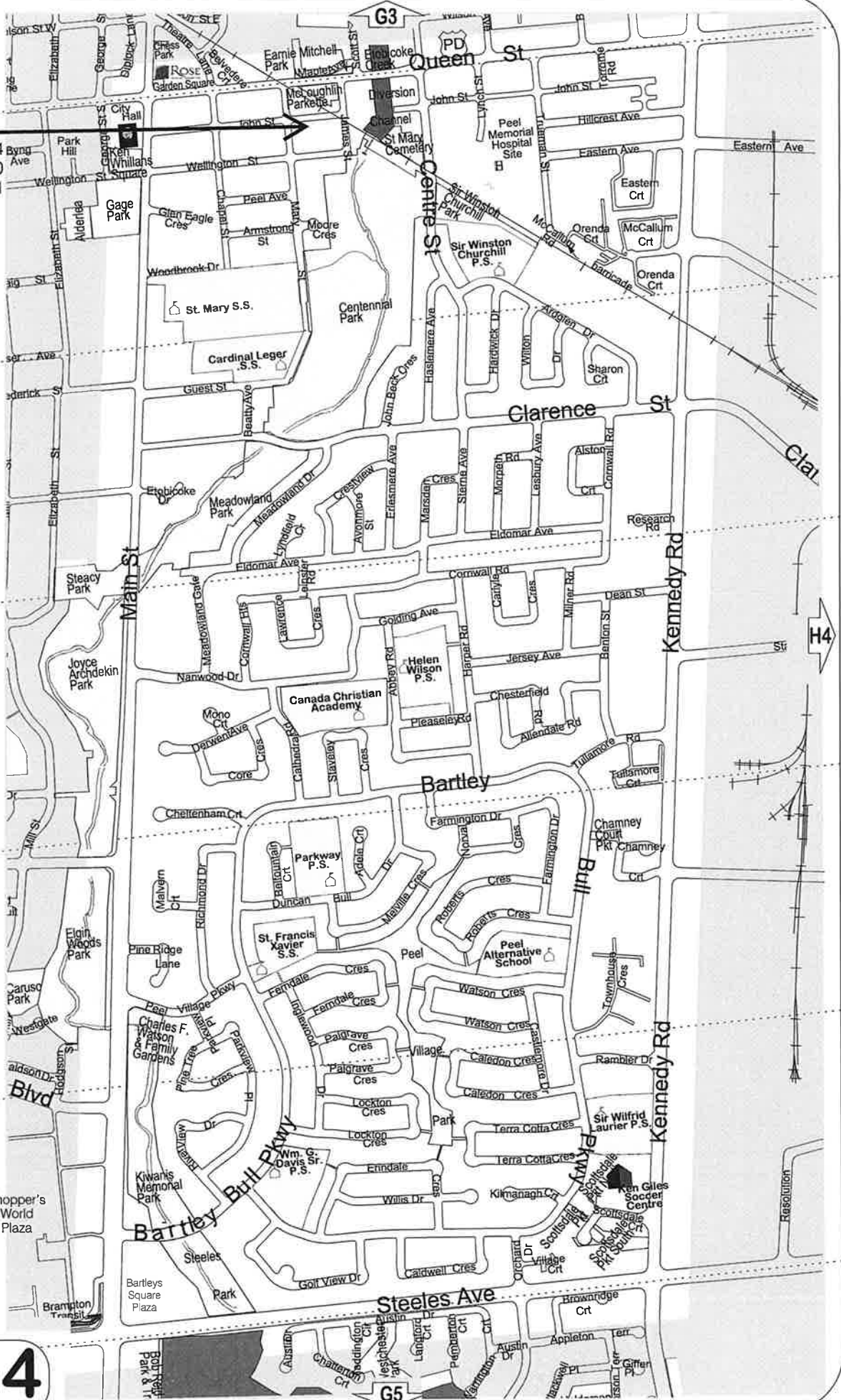
b

c

d

e

G4



APPLICATION # A-2022-0353
WARD 9**DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an **amended** application for minor variance has been made by **KAVALJIT KAUR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 71, Plan M-1085 municipally known as **693 PETER ROBERTSON BOULEVARD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a driveway width of 7.877m (25.84 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
2. To permit a rear yard setback of 3.12m (10.24 ft.) to an existing deck whereas the by-law requires a minimum rear yard setback of 4.5m (14.76 ft.).

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO

Application for Consent: NO

File Number: _____

File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

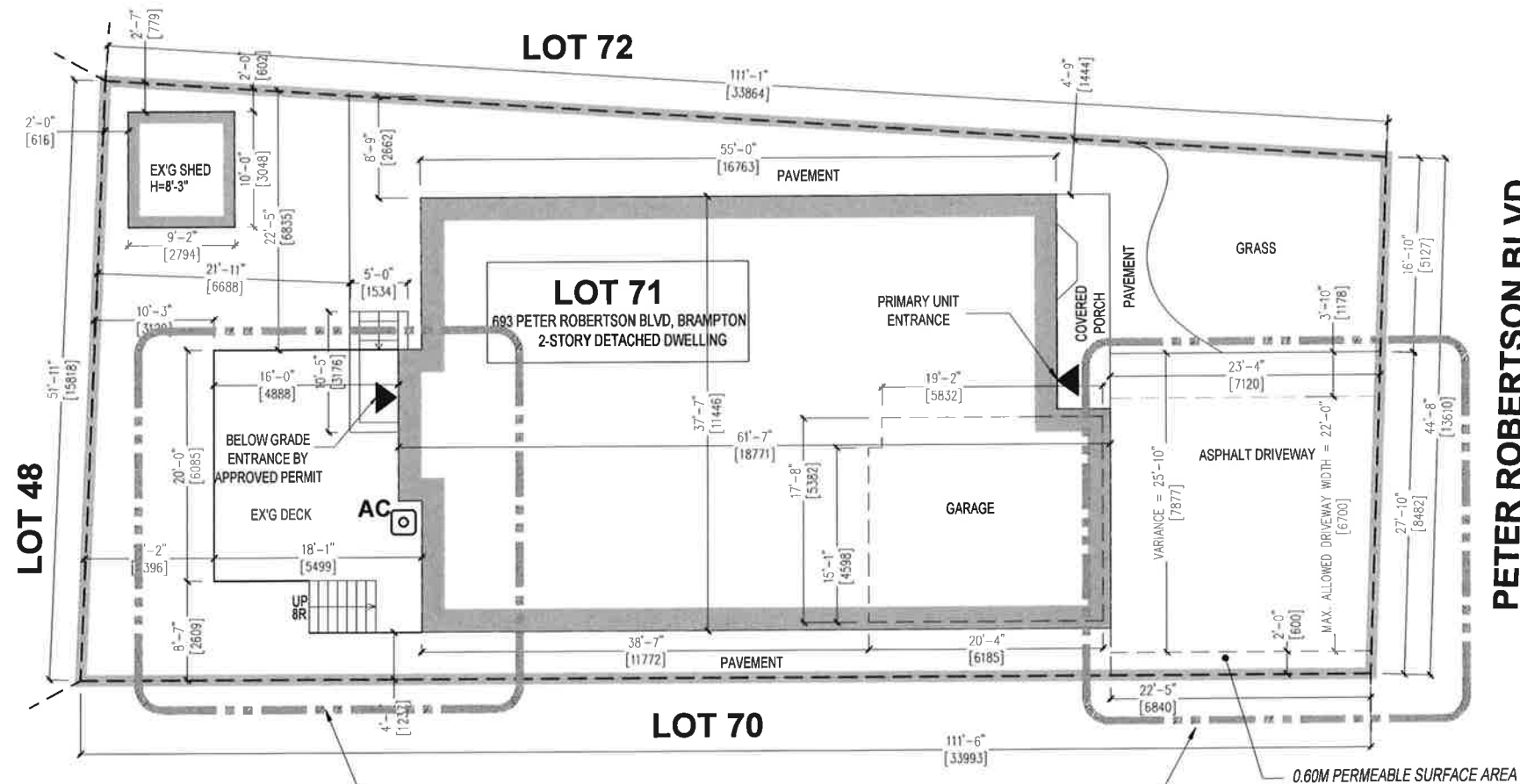
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SCOPE OF APPLICATION TO COMMITTEE OF ADJUSTMENT:
THE DRIVEWAY WIDTH

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
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- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

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AMENDMENT LETTER

March 15, 2023

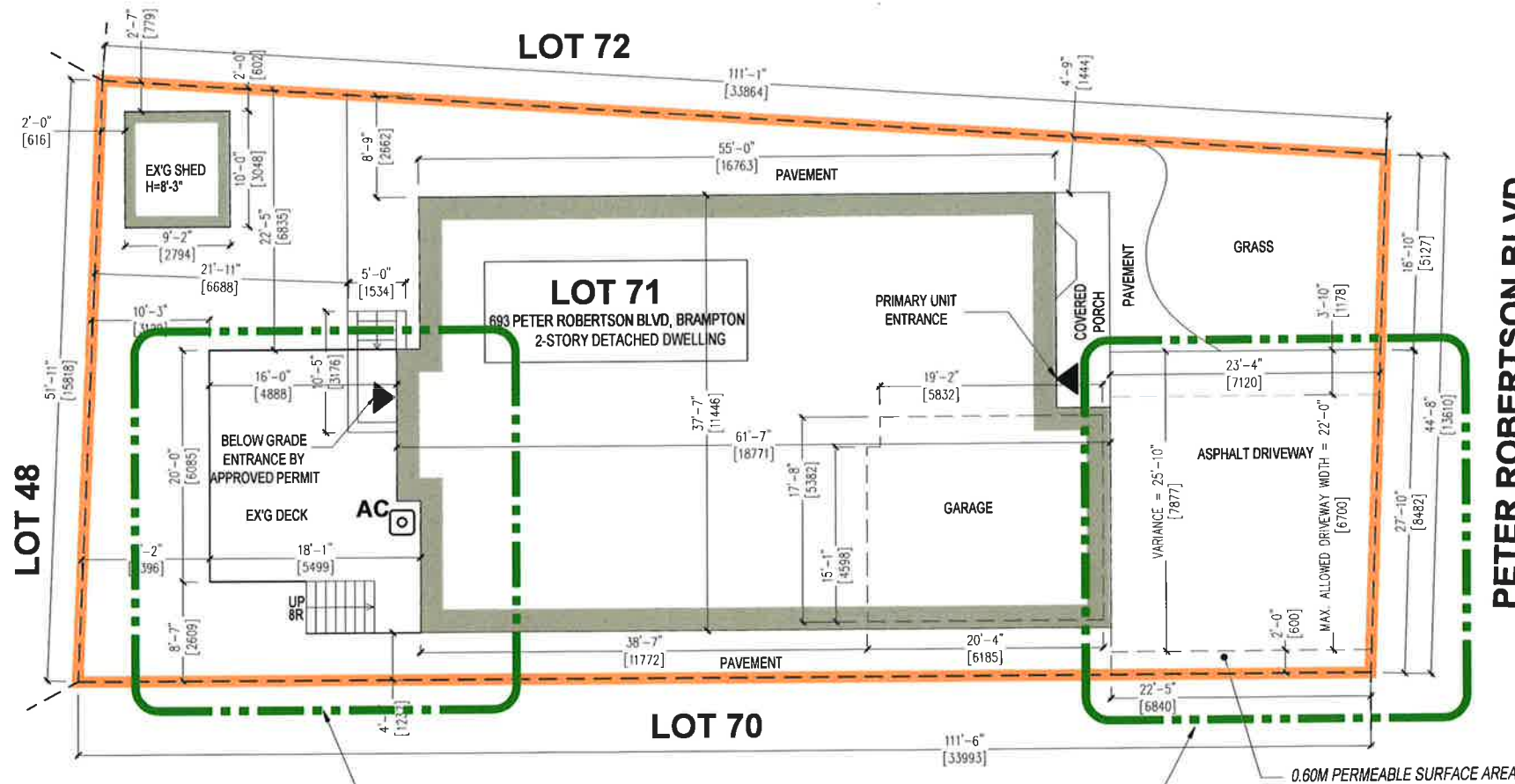
To: Committee of Adjustment
KAVALJIT KAUR
LOT 71, PLAN M-1805
A-2022-0353 – 693 PETER ROBERTSON BOULEVARD

Please **amend** application **A-2022-0353** to reflect the following:

1. To permit a driveway width of 7.877m (25.84 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
2. To permit a rear yard setback of 3.12m (10.24 ft.) to an existing deck whereas the by-law requires a minimum rear yard setback of 4.5m (14.76 ft.).



Applicant/Authorized Agent



SCOPE OF APPLICATION TO COMMITTEE OF ADJUSTMENT:
THE DRIVEWAY WIDTH

$$\text{LOT FRONTAGE} = \frac{13.610 + 15.818}{2} = 14.714 \text{ M}$$

1 SITE PLAN
3/32" = 1'-0"



No.	Description	Date

AS-BUILT SECOND UNIT IN BASEMENT
693 PETER ROBERTSON BLVD, BRAMPTON

Drawing by:
NESTA DESIGN CO.
48 COVEBANK CRESCENT
BRAMPTON, ON, L6P 2Y1
PHONE: 647-741-4552
EMAIL: arni@nestadesign.ca

Checked by:

Drawn by
Date: 14/03/2023
DRAWING NAME
SITE PLAN
SHEET NUMBER
COA



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) KAVALJIT KAUR
Address 693 PETER ROBERTSON BLVD, BRAMPTON ON L6R 1L7

Phone # +1 (416) 875-3737 Fax # _____
Email jasleen.singthdhatt@gmail.com

2. Name of Agent ISMATULLAH AMIRI
Address 48 COVEBANK CRES, BRAMPTON, ON - L6P 2Y1

Phone # 647-741-4552 Fax # _____
Email amiri@nestadesign.ca

3. Nature and extent of relief applied for (variances requested):
1. To permit a driveway width of 8.3 m, whereas the by-law permits a maximum driveway width of 6.7 m.
2. To permit pavement of 0.0m of permeable landscaping between the driveway and the side lot line.
3. To permit a rear yard setback of 3.12m to an existing deck whereas the by-law requires a minimum rear yard setback of 4.5m to a deck

4. Why is it not possible to comply with the provisions of the by-law?
1. The by-law permits a maximum driveway width of 6.7 m.
2. The by-law does not permit paving the permeable surface area

5. Legal Description of the subject land:
Lot Number LOT 71
Plan Number/Concession Number PLAN M1085
Municipal Address 693 PETER ROBERTSON BLVD L6R 1L7

6. Dimension of subject land (in metric units)
Frontage 14.714 M
Depth 33.8 M
Area 145.95 M2

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

SINGLE FAMILY DWELLING 18.77M X 37.7 M 2-STOREY (DETACHED) - GROSS FLR AREA =202.3 M2

EX'G SHED 3.05 M X 2.8 M

EX'G DECK 5.5 M X 6.09 M

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NULL. EXISTING TO REMAIN

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.82

Rear yard setback 8.11 m

Side yard setback 1.44 RIGHT SIDE

Side yard setback 1.23 LEFT SIDE

PROPOSED

Front yard setback N/A

Rear yard setback N/A

Side yard setback N/A

Side yard setback N/A

10. Date of Acquisition of subject land: 2010
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1993
15. Length of time the existing uses of the subject property have been continued: 29 YEARS

16. (a) What water supply is existing/proposed?

Municipal

☒

Well

☐

Other (specify)

- (b) What sewage disposal is/will be provided?

Municipal

☒

Septic

☐

Other (specify)

- (c) What storm drainage system is existing/proposed?

Sewers

☒

Ditches

☐

Swales

☐

Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ CITY _____ OF _____ BRAMPTON _____

THIS 27 DAY OF oct, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, ISMATULLAH AMIRI, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF _____
Peel THIS 27th DAY OF
October, 2022.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B - 612

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

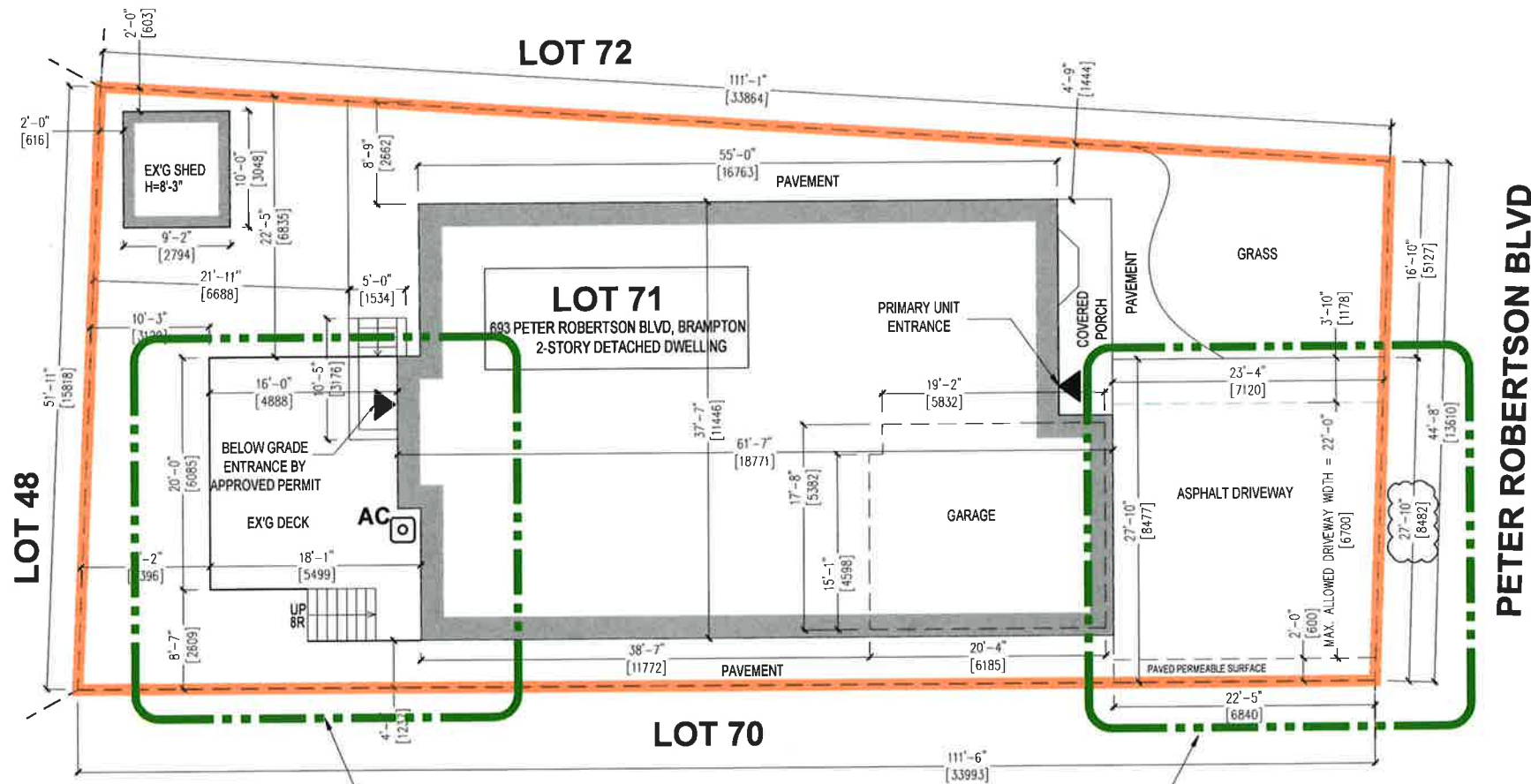
HOTHU S.

Zoning Officer

OCT 26 2022

Date

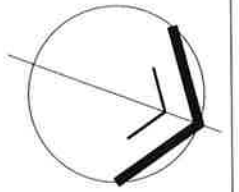
DATE RECEIVED October 27, 2022



SCOPE OF APPLICATION TO COMMITTEE OF ADJUSTMENT:
THE DRIVEWAY WIDTH

$$\text{LOT FRONTAGE} = \frac{13.610 + 15.818}{2} = 14.714 \text{ M}$$

1 SITE PLAN
3/32" = 1'-0"



No.	Description	Date

**AS-BUILT SECOND
UNIT IN
BASEMENT**

693 PETER ROBERTSON
BLVD, BRAMPTON

Drawing by:
NESTA DESIGN CO.
48 COVEBANK CRESCENT
BRAMPTON, ON, L6P 2Y1
PHONE: 647-741-4552
EMAIL: amin@nestadesign.ca

Checked by:

Drawn by:
Date: 16/11/2022
DRAWING NAME:

SITE PLAN

SHEET NUMBER
COA

a

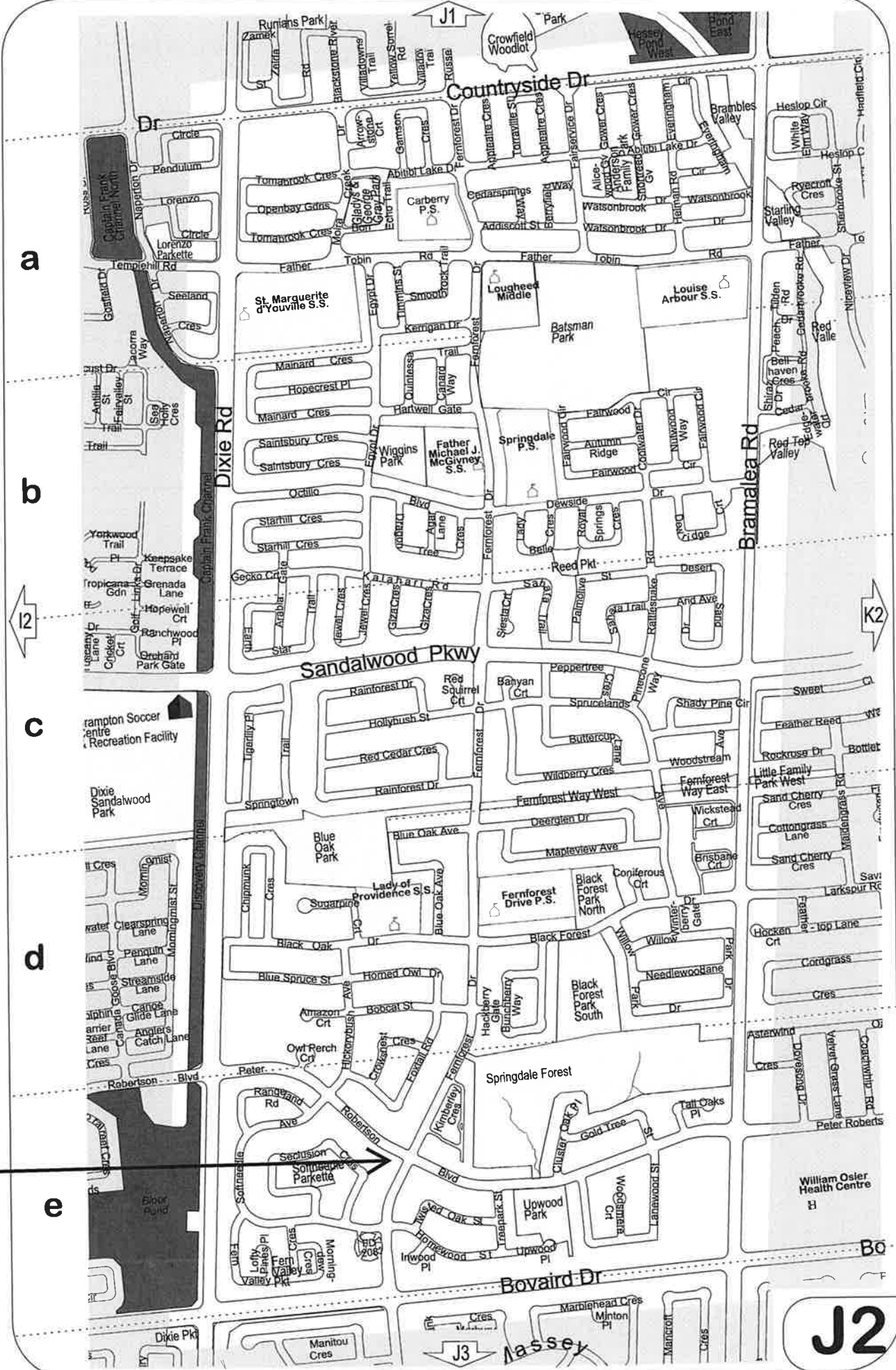
b

c

d

e

A-2022-0353



J2

APPLICATION # A-2022-0371
WARD #6

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an **amended** application for minor variance has been made by **MOHAMMED FASIULLAH MASOOD AND MUMTAZ SHABANA MOHAMMED** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 90, Plan 43M-1878 municipally known as **14 DUBLIN ROAD**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an exterior side yard setback of 2.84m (9.32 ft.) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 16th Day of March, 2023.

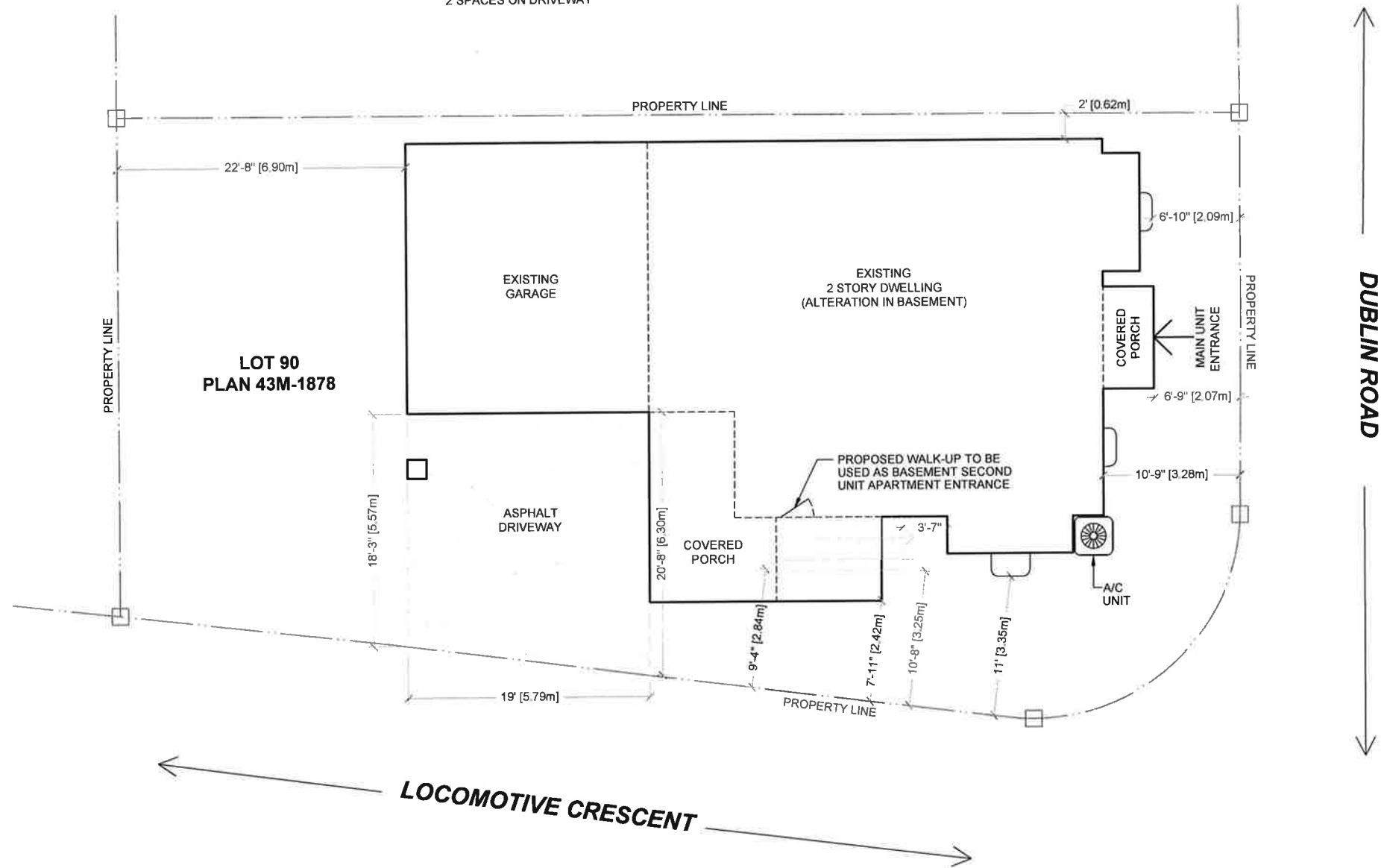
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



EXISTING SECOND FLOOR AREA: 116.06 m²
EXISTING MAIN FLOOR AREA EXCLUDING GARAGE & FRONT PORCH: 96.73 m²
PROPOSED BASEMENT APARTMENT AREA: 89.13 m²

PARKING SPACES REQUIRED: 2 SPACES
PARKING SPACES PROVIDED / AVAILABLE: 1 SPACE INSIDE GARAGE
2 SPACES ON DRIVEWAY



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	00	21.02.23	ISSUED FOR BUILDING PERMIT		Name: Mohammed Masood Tel: 647-222-4455 Email:		Drawing Title: SITE PLAN		Project No. DBR-2942	Sheet No. A1.0	Scale: 1:100

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

March 15, 2023

To: Committee of Adjustment
MOHAMMED FASIULLAH MASOOD AND MUMTAZ SHABANA MOHAMMED
LOT 90, PLAN 43M-1878
A-2022-0371 – 14 DUBLIN ROAD

Please **amend** application **A-2022-0371** to reflect the following:

1. To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an exterior side yard setback of 2.84m (9.32 ft.) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.).



Applicant/Authorized Agent

A-2022-0371 – 14 DUBLIN ROAD

REVISED SITE PLAN AND DRAWINGS

LOTS 84, 85, 86, 87, 88, 89 AND 90
4-1878
BRAMPTON
MUNICIPALITY OF PEEL

DOWN ON THIS PLAN ARE IN METRES AND CAN
D TO FEET BY DIVIDING BY 0.3048.

1864804



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

IB DENOTES MONUMENT
SSIB DENOTES IRON BAR
D.U.C. DENOTES SHORT STANDARD IRON BAR
P.I.N. DENOTES DWELLING UNDER CONSTRUCTION
P DENOTES PROPERTY IDENTIFIER NUMBER
DENOTES PORCH

ALL FOUND MONUMENTS BY RADY-PENTEK & EDWARD
SURVEYING LTD., O.L.S.
ALL TIES TO CONCRETE FOUNDATION.

BEARINGS ARE GRID AND ARE REFERRED TO THE
NORTHWEST LIMIT OF DUBLIN ROAD AS SHOWN ON
PLAN 43M-1878 HAVING A BEARING OF N36°48'25"E.

AND OF DESIGN. ARE SUBJECT TO AN EASEMENT AS SET OUT IN THESE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

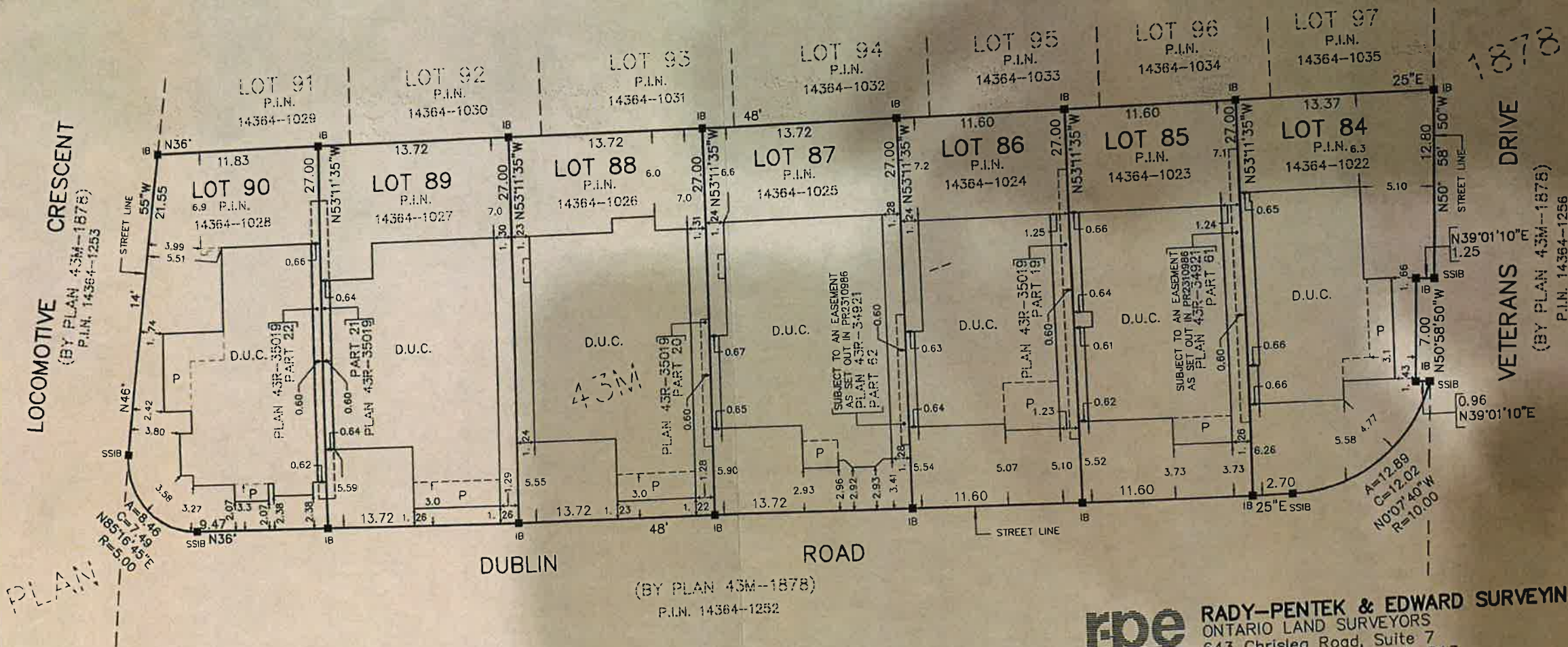
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 12 DAY OF Dec., 2012
DATE Feb. 5, 2013 S. H. L.

T. SINGH
ONTARIO LAND SURVEYOR



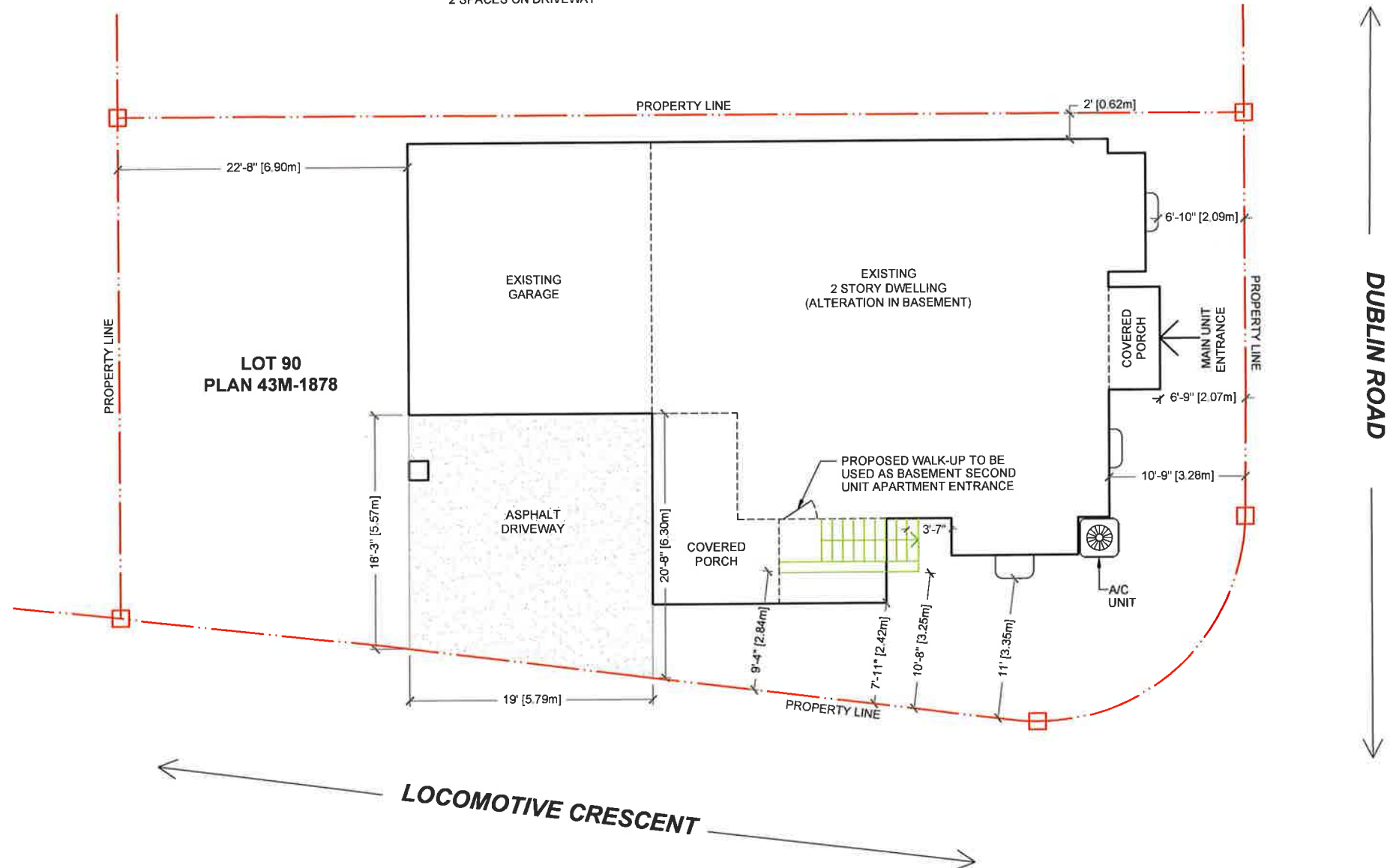
WAS PREPARED FOR
JMES
IDERSIGNED ACCEPTS NO
ITY FOR USE BY OTHER PARTIES.

rpe **RADY-PENTEK & EDWARD SURVEYING LTD.**
ONTARIO LAND SURVEYORS
643 Chrislea Road, Suite 7
Woodbridge, Ontario L4L 8A3
Tel. (416) 635-5000 Fax (416) 635-5001
Website: www.r-pe.ca
DRAWN: V.K.
CAD FILE No. 1878-84
CHECKED: G.Y./T.S.
JOB No. 12-090

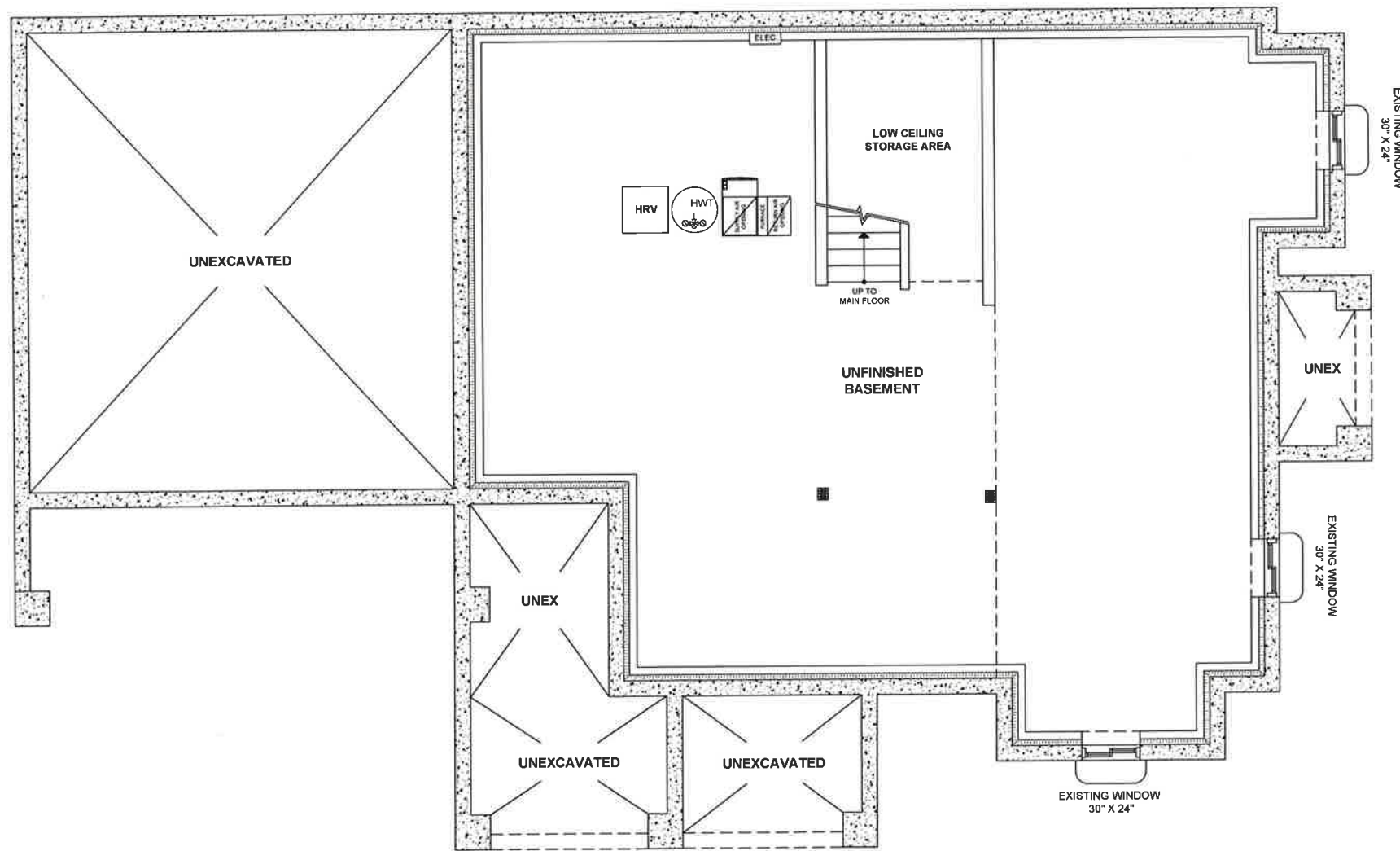


EXISTING SECOND FLOOR AREA: 116.06 m²
EXISTING MAIN FLOOR AREA EXCLUDING GARAGE & FRONT PORCH: 96.73 m²
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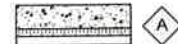
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	00	21.02.23	ISSUED FOR BUILDING PERMIT				Project No. DBR-2942	Sheet No. A1.0	Scale: 1:100



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	00	21.02.23	ISSUED FOR BUILDING PERMIT		Name: Mohammed Masood		Drawing Title: EXISTING BASEMENT FLOOR PLAN		Project No. DBR-2942	Sheet No. A2.0	Scale: 1:60
					Tel: 647-222-4455						
					Email:						
					Customer Info:						

CEILING CONSTRUCTION
15 MIN FIRE SEPARATION
OBC COMPLIANCE C147 (b) ON CEILING

EXISTING FINISHED FLOOR
EXISTING 5/8" T&G SUB FLOOR
EXISTING WOOD FLOOR JOIST
ONE LAYER 1/2" GYPSUM BOARD ON CEILING SIDE



EXTERIOR WALL CONSTRUCTION "TYPE A"

- 1/2" GYPSUM BOARD
- 2" X 4" WOOD STUD @ 16" O.C.
- EXISTING R12 MINERAL FIBER BLANKET INSULATION WITH VAPOR BARRIER
- EXISTING CONCRETE FOUNDATION WALL



INTERIOR WALL CONSTRUCTION
"TYPE B" 30 MIN. FIRE SEPARATION
WALL OBC COMPLIANCE C147 (a)

Option 1: SB3-W1c

- 1/2" GYPSUM BOARD
- 89mm THICK ABSORPTIVE MATERIAL (ROXUL SAFE&SOUND)
- 2" X 4" WOOD STUD @ 16" O.C.
- 1/2" GYPSUM BOARD



INTERIOR WALL CONSTRUCTION
"TYPE C"

- 1/2" GYPSUM BOARD
- 2" X 4" WOOD STUD @ 16" O.C.
- 1/2" GYPSUM BOARD

- (S) SMOKE ALARM
- SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM
 - SHALL HAVE A BATTERY BACKUP
 - SHALL BE INTERCONNECTED

- (C) CARBON MONOXIDE ALARM

GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND REGULATIONS.

2. FRAMING NOTES:

- 2.1. DIMENSIONAL LUMBER TO BE S-P-F GRADE 1 OR 2.

3. EF-1/2" MIN. 50CFM EXHAUST FAN WITH 1.5 SONES OR LOWER W/ 5"Ø DUCT DISCHARGING DIRECTLY TO OUTDOOR

4. ALL FIRE SEPARATION SHALL BE CONTINUOUS TO ANOTHER FIRE SEPARATION OR TO THE EXTERIOR

5. BASEMENT CEILING HEIGHT TO CONFIRM TO DIVISION B, TABLE 9.5.3.1

6. CEILING HEIGHT UNDER BEAMS & DUCTS IN THE BASEMENT SHALL MEET THE OBC REQUIREMENT & NOT BE LESS THAN 1950mm

7. SMOKE ALARM:

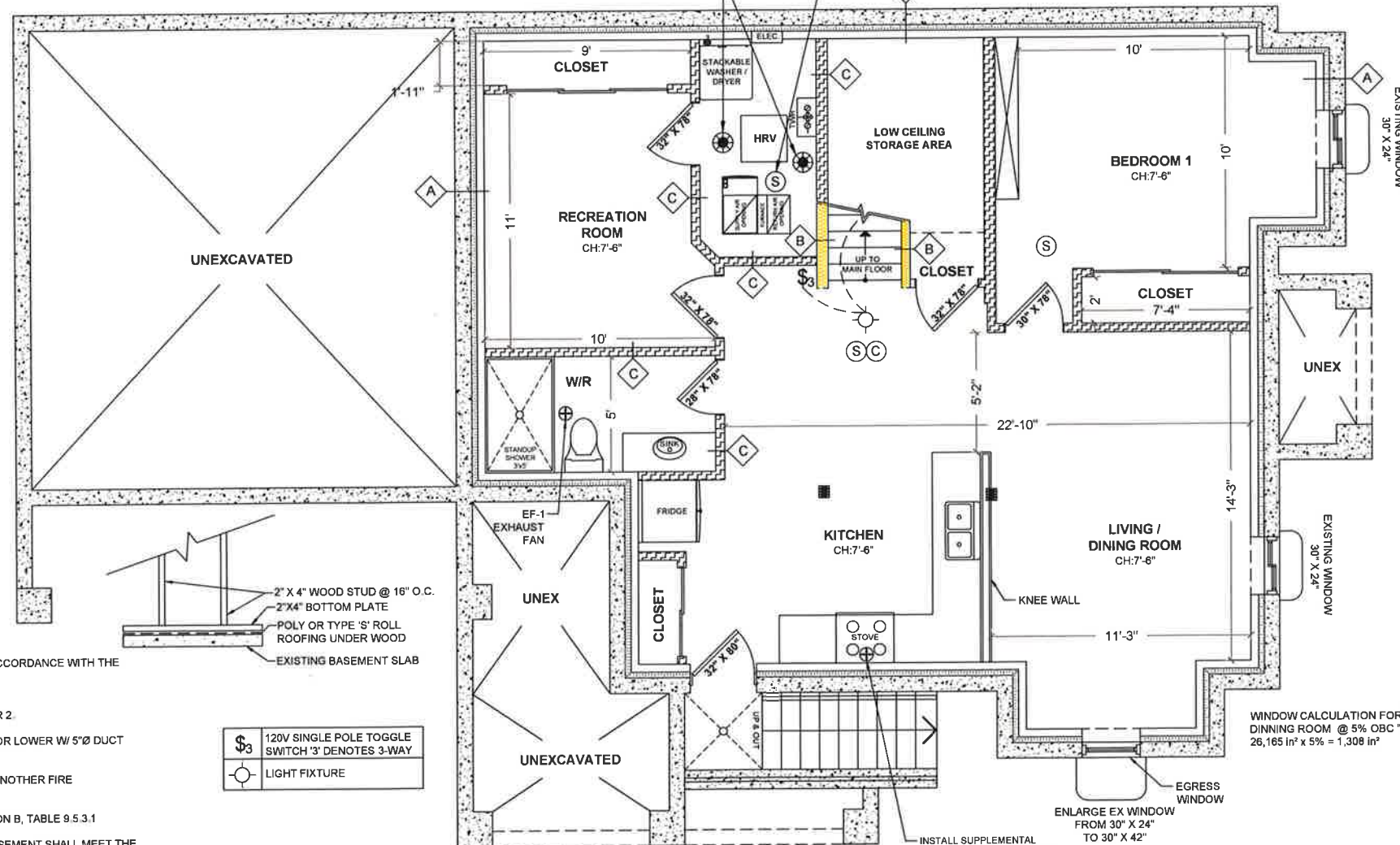
- 7.1. SMOKE ALARMS IN BASEMENT TO BE INTERCONNECTED WITH SMOKE ALARM ON MAIN FLOOR & SMOKE ALARMS ON SECOND FLOOR COMMON AREA & BEDROOMS (SMOKE ALARM TO BE INSTALLED IN EVERY BEDROOM ON SECOND FLOOR)

- 7.2. SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19

SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR

GLASS BULB TYPE SPRINKLER
HEAD FED BY CITY WATER SUPPLY

WINDOW CALCULATION FOR
BEDROOM 1 @ 2.5% OBC "C79(a)":
18,807 in² x 2.5% = 470 in²



2" X 4" WOOD STUD @ 16" O.C.
2" X 4" BOTTOM PLATE
POLY OR TYPE 'S' ROLL
ROOFING UNDER WOOD
EXISTING BASEMENT SLAB

\$3 120V SINGLE POLE TOGGLE
SWITCH '3' DENOTES 3-WAY
LIGHT FIXTURE

WINDOW CALCULATION FOR LIVING /
DINING ROOM @ 5% OBC "C79(a)":
26,165 in² x 5% = 1,308 in²

ENLARGE EX WINDOW
FROM 30" X 24"
TO 30" X 42"
INSTALL SUPPLEMENTAL
EXHAUST AS PER OBC 9.32.3.5.
MIN. 100CFM & 6"Ø DUCT
DISCHARGING TO OUTSIDE

Rev.	Date	Description
00	21.02.23	ISSUED FOR BUILDING PERMIT



ALFA ENGINEERING SOLUTIONS
ENGINEERING FOR A BETTER FUTURE

67 Woodvalley Drive, Brampton, Ontario, L7A 1Z3

Tel: 647-227-3227, www.alfasolutions.com

Email: info@alfasolutions.com

Project Address:
14 Dublin Road
Brampton, Ontario
Canada, L7A 0T6

Name: Mohammed Masood
Tel: 647-222-4455
Email:

Project Title:
TWO UNIT DWELLING

Drawing Title:
PROPOSED BASEMENT FLOOR PLAN

Designed:
M.AF

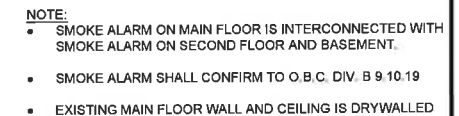
Project No.
DBR-2942

Checked:
M.AF

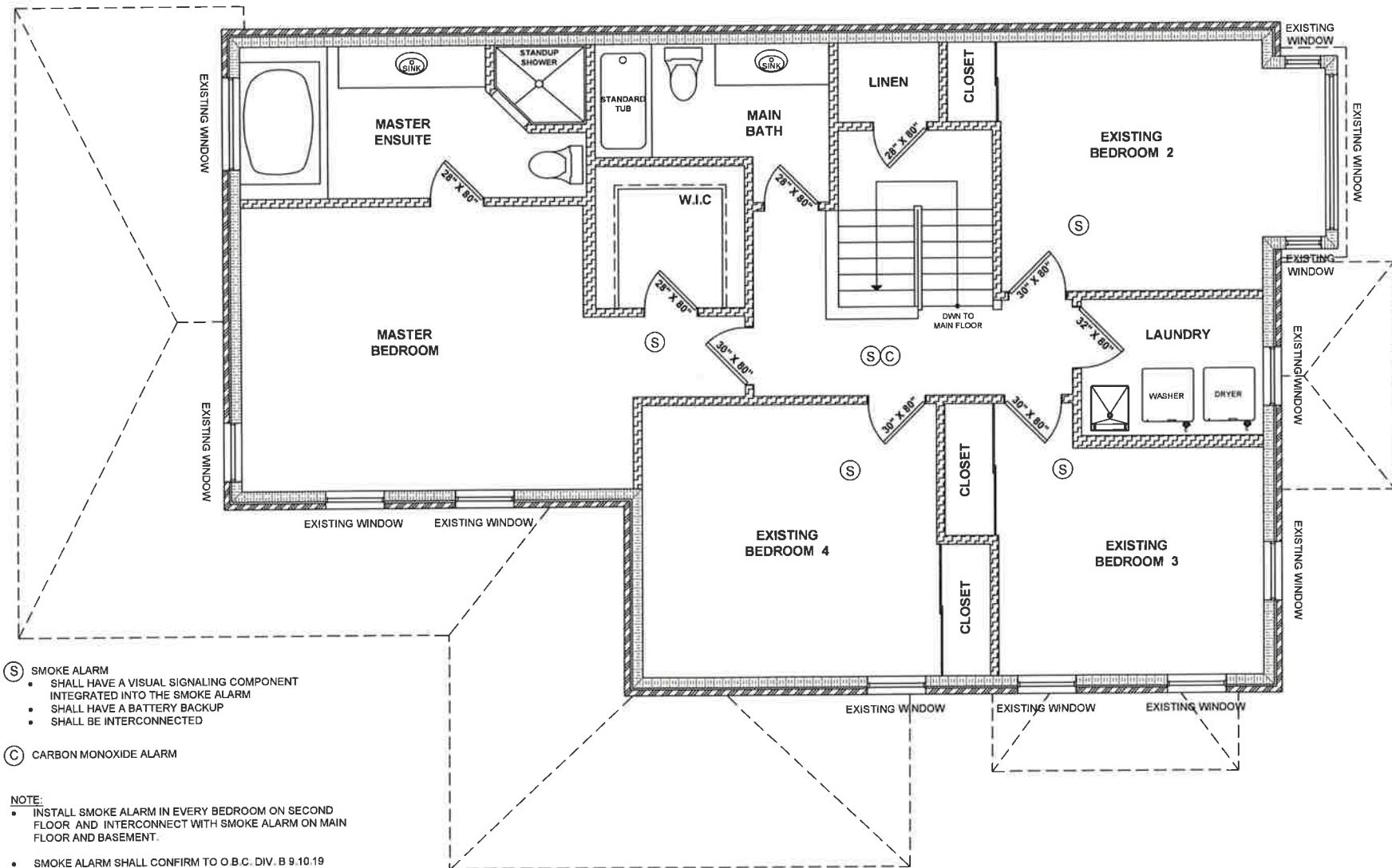
Sheet No.
A2.1

Date:
dd mm yyyy
21.02.2023

Scale:
1:60



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	00	21.02.23	ISSUED FOR BUILDING PERMIT			<div>Drawing Title: PROPOSED GROUND FLOOR PLAN</div> <div>Project No. DBR-2942</div> <div>Sheet No. A2.3</div> <div>Scale: 1:60</div>			



- (S) SMOKE ALARM
- SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM
 - SHALL HAVE A BATTERY BACKUP
 - SHALL BE INTERCONNECTED

- (C) CARBON MONOXIDE ALARM

- NOTE:
- INSTALL SMOKE ALARM IN EVERY BEDROOM ON SECOND FLOOR AND INTERCONNECT WITH SMOKE ALARM ON MAIN FLOOR AND BASEMENT.
 - SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19
 - EXISTING SECOND FLOOR WALL & CEILING IS ½" DRYWALLED

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ALFA ENGINEERING SOLUTIONS
ENGINEERING FOR A BETTER FUTURE

67 Woodvalley Drive, Brampton, Ontario, L7A 1Z3
Tel: 647-227-3227, www.alfasolutions.com
Email: info@alfasolutions.com

Project Address:
14 Dublin Road
Brampton, Ontario
Canada, L7A 0T6

Customer Info:
Name: Mohammed Masood
Tel: 647-222-4455
Email:

Project Title:
TWO UNIT DWELLING

Drawing Title:
SECOND FLOOR PLAN

Designed:
M.AF

Project No.
DBR-2942

Checked:
M.AF

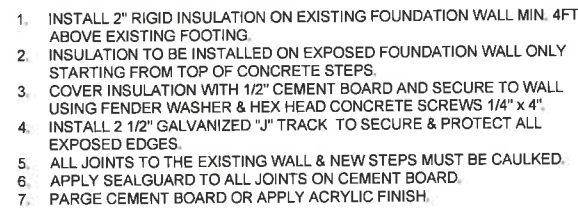
Sheet No.
A2.4

Date:
dd.mm.yyyy
21.02.2023

Scale:
1:60



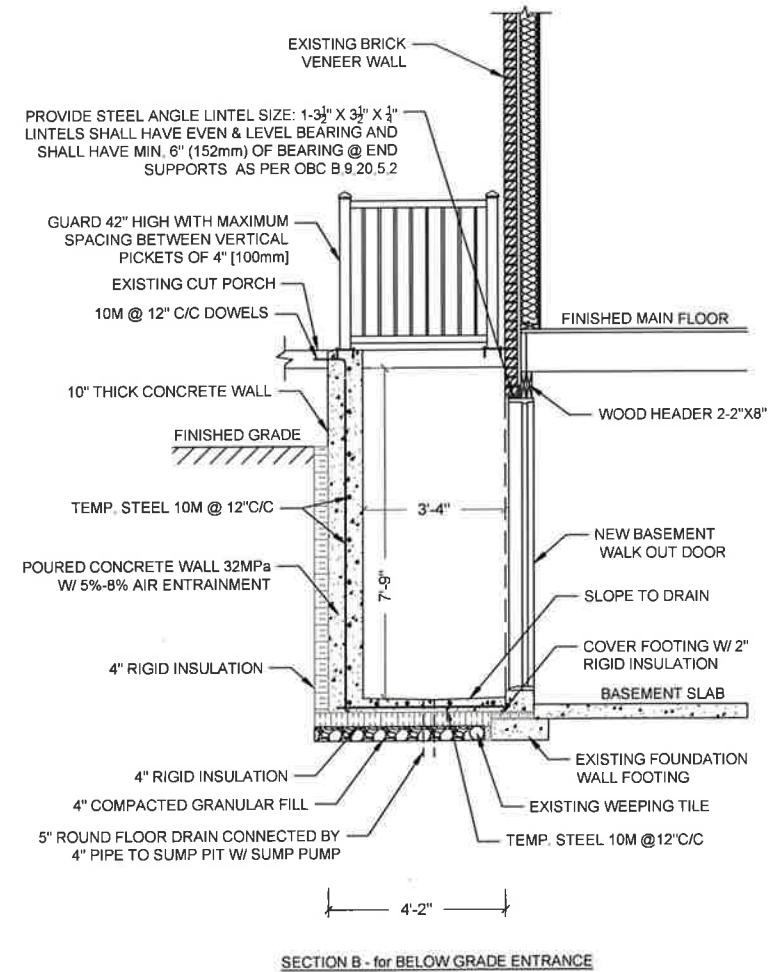
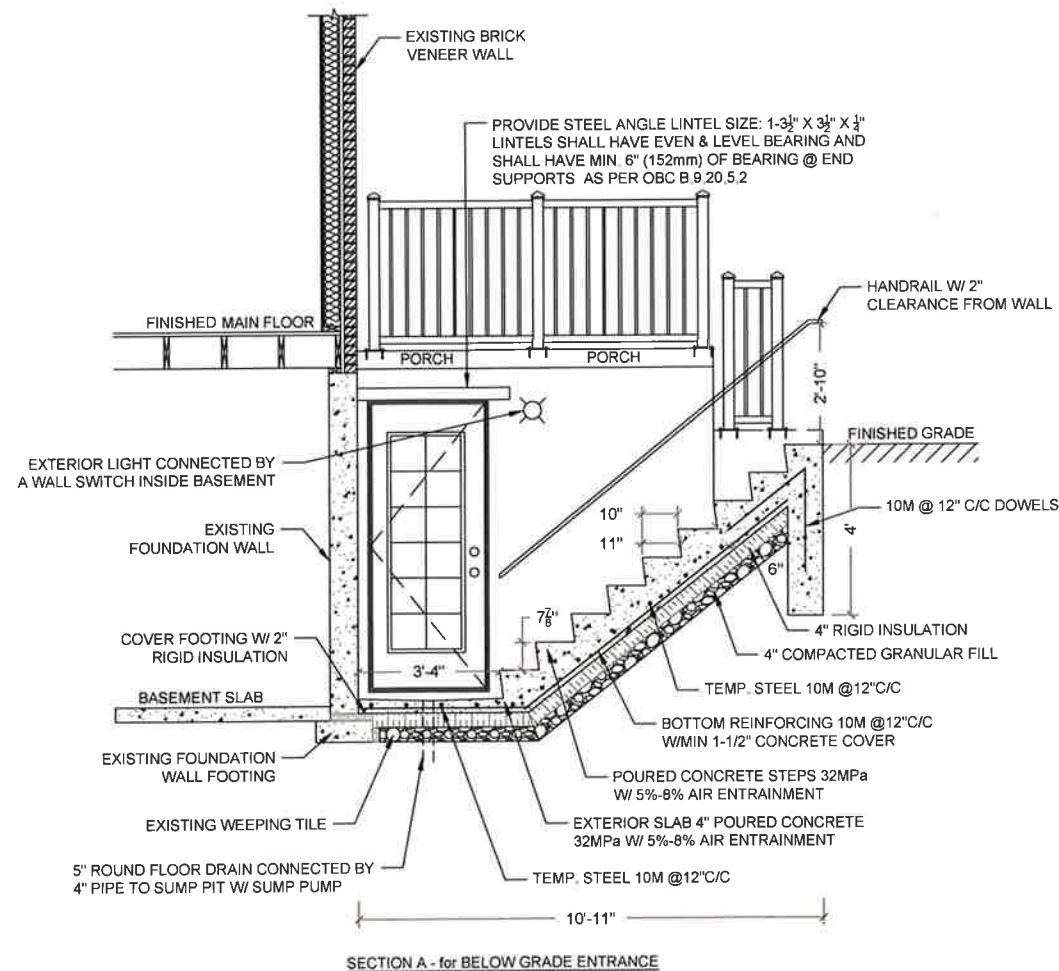
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND REGULATIONS.
2. MATERIALS SHALL BE AS FOLLOWS:
 - 2.1. CONCRETE 32MPA AT 28 DAYS WITH 5% TO 8% AIR ENTRAINMENT.
 - 2.2. REINFORCEMENT STEEL, CSA G30, 18M, GRADE 400
 - 2.3. GROUT, HILTI HIT HY 200 OR EQUAL
 - 2.4. REBAR CONNECTIONS USING HILTI HIT-HY 200 OR EQUAL
 - 2.5. 4" & 2" STYROFOAM SM INSULATION MANUFACTURED BY DOW CHEMICALS CANADA W/ THE FOLLOWING PHYSICAL PROPERTIES:
 - a) THERMAL RESISTANCE PER INCH: R-VALUE 5.0
 - b) COMPRESSIVE STRENGTH: 30PSI, 210KPa
3. BACKFILL TO BE OPS GRANULAR B1, OR SUITABLE EXCAVATED MATERIAL.
4. ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT.
5. EXTERIOR DOOR SHALL CONFORM TO STANDARD AS PER OBC AND RESIST FORCE ENTRY.



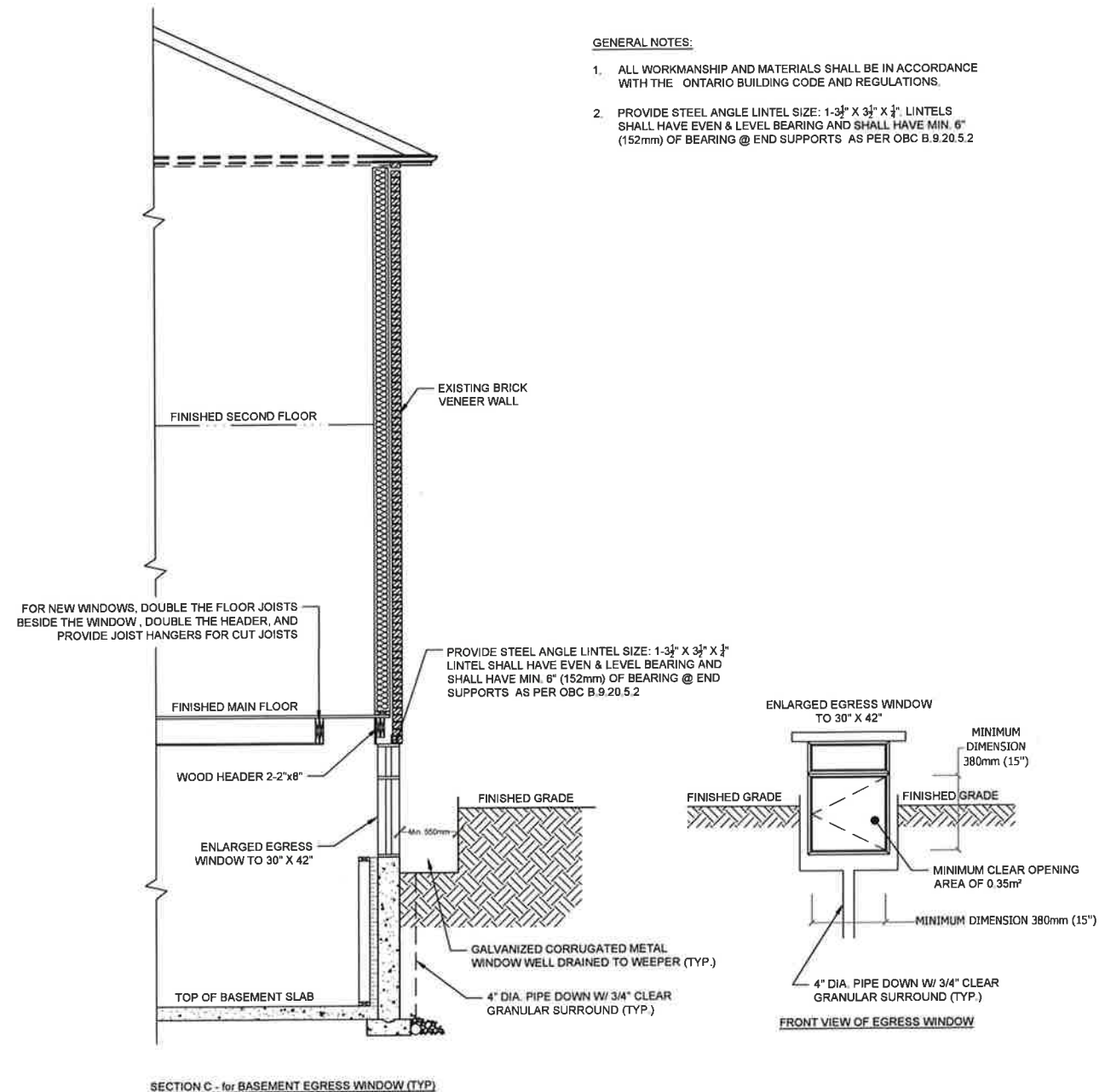
5" ROUND FLOOR DRAIN CONNECTED BY
4" PIPE TO SUMP PIT W/ SUMP PUMP

TIE NEW CONCRETE TO EXISTING W/1-10M
ROD 8" LONG, 4" INTO WALL EVERY 12" C/C

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SECTION C - for BASEMENT EGRESS WINDOW (TYP)

FRONT VIEW OF EGRESS WINDOW

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Tel: 647-227-3227, www.alfaengsolutions.com
Email: info@alfaengsolutions.com

Project Address:
**14 Dublin Road
Brampton, Ontario
Canada, L7A 0T6**

Customer Info:
Name: **Mohammed Masood**
Tel: **647-222-4455**
Email:

Project Title:
TWO UNIT DWELLING

Drawing Title:
WINDOW SECTIONAL DETAILS

Designed:
M.AF

Project No.
DBR-2942

Checked:
M.AF

Sheet No.
A3.2

Date:
dd mm yyyy
21.02.2023

Scale:
1:45

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

Mohammed Fasiullah Masood & Mumtaz Shabana Mohammed

Address

14 Dublin Road, Brampton

Phone #

416-389-8850

Fax #

Email

fasimasood@gmail.com
2.

Name of Agent

Marwan AL-Farraj

Address

67 Woodvalley Drive, Brampton, ON

Phone #

647-227-3227

Fax #

Email

malfarraj@AlfaEngSolutions.com

3.

Nature and extent of relief applied for (variances requested):

Variance #1: A below grade entrance is not permitted in a yard located between the main wall of a dwelling and a front of flankage lot line.

Variance #2: Front yard setback. The minimum required front yard setback is 3.0 m & we are proposing 1.96m

4.

Why is it not possible to comply with the provisions of the by-law?

Because the entrance is located at the front of a flankage lot line and no where else a basement entrance can be proposed.

5.

Legal Description of the subject land:

Lot Number

90

Plan Number/Concession Number

43M-1878

Municipal Address

14 Dublin Road, Brampton, ON, L7A 0T6

6.

Dimension of subject land (in metric units)

Frontage

14.46m

Depth

27.00m

Area

355.30m2

7.

Access to the subject land is by:

Provincial Highway

☐

Seasonal Road

☐

Municipal Road Maintained All Year

☒

Other Public Road

☐

Private Right-of-Way

☐

Water

☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Dwelling Footprint area including porches & garage: 154.42 m2

G.F.A: 301.92 m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

below grade entrance at the front of the house

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 2.07m

Rear yard setback 6.90m

Side yard setback 0.66m

Side yard setback _____

PROPOSED

Front yard setback 1.96m

Rear yard setback 6.90m

Side yard setback 0.66m

Side yard setback _____

10. Date of Acquisition of subject land: 2016
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 10 years old house
15. Length of time the existing uses of the subject property have been continued: 6 years

16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____


Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ city _____ OF _____ Brampton _____

THIS 27 _____ DAY OF _____ October _____, 2022 _____

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Marwan AL-Farraj _____, OF THE _____ city _____ OF _____ Brampton _____

IN THE _____ Region _____ OF _____ Peel _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.


DECLARED BEFORE ME AT THE


City OF Brampton

IN THE Region OF _____

Peel THIS 16th DAY OF _____

Nov., 2022


Signature of Applicant or Authorized Agent


A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1F-9 2201

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Rose Bruno

Zoning Officer

October 28, 2022

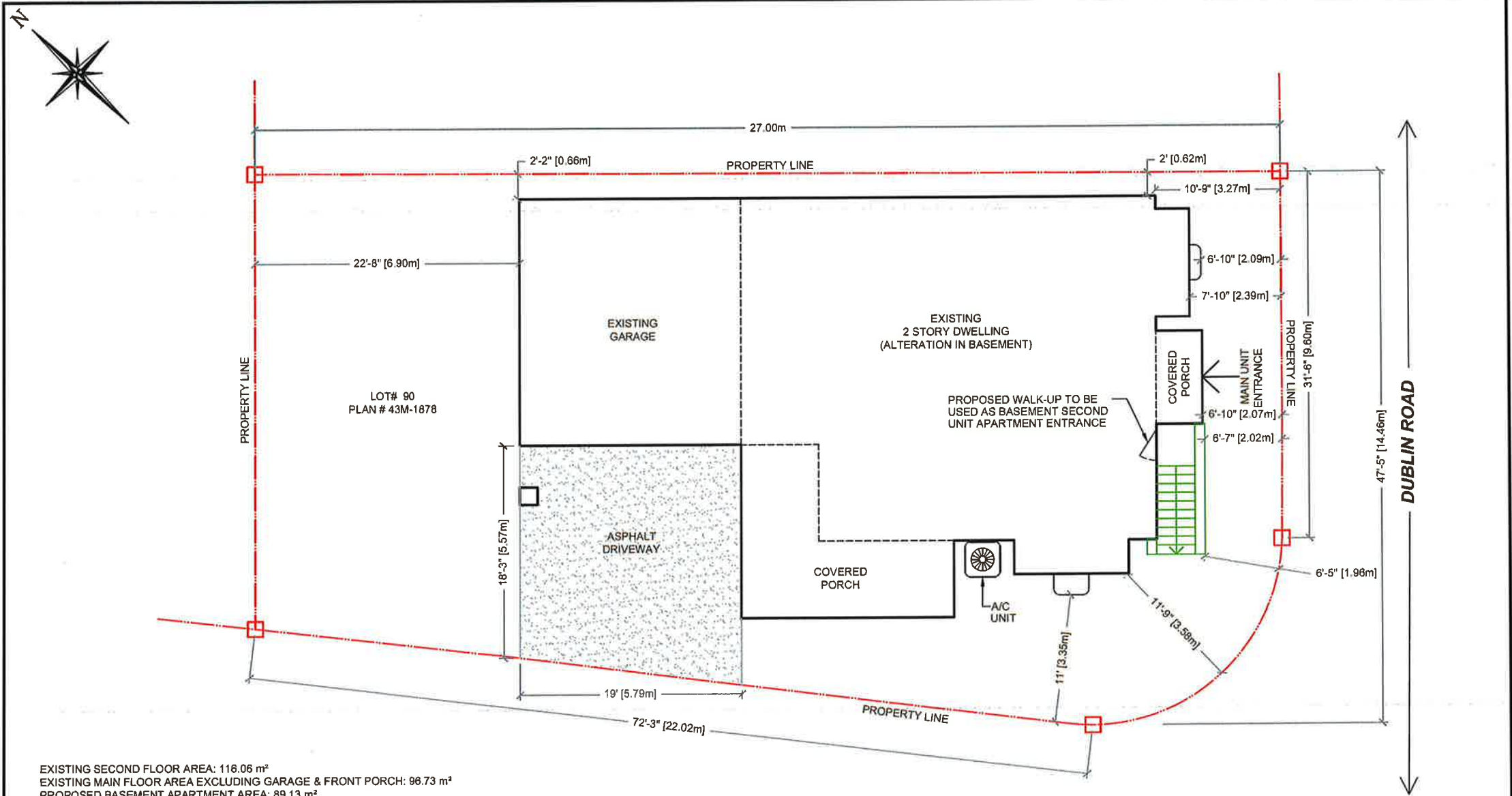
Date

DATE RECEIVED

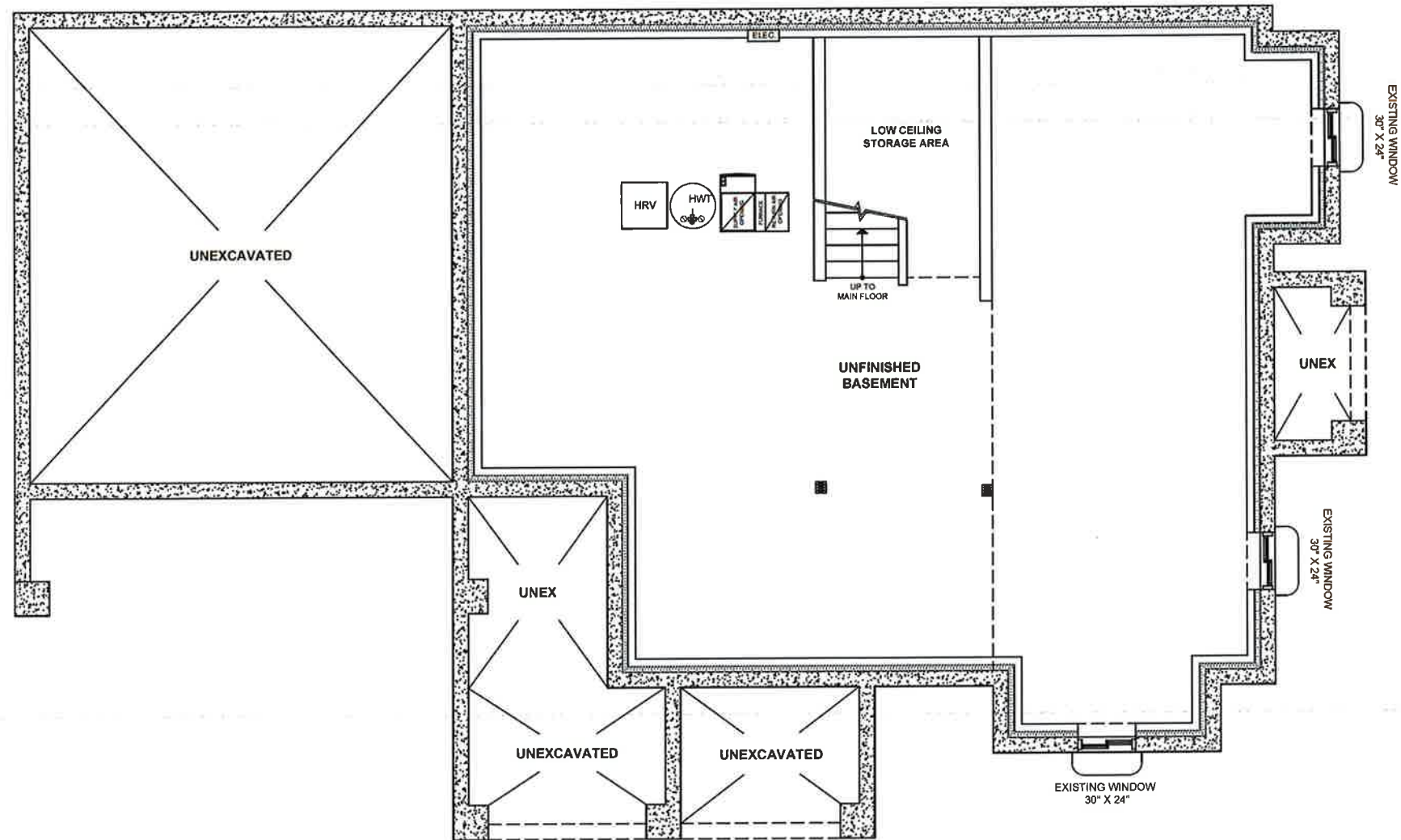
November 16, 2022

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17



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	00	20-10-22	ISSUED FOR BUILDING PERMIT							
					<div>Customer Info:</div> <div>Name: Mohammed Masood</div> <div>Tel: 647-222-4455</div> <div>Email:</div>		<div>Drawing Title:</div> <div>SITE PLAN</div>	<div>Project No.</div> <div>DBR-2942</div>	<div>Sheet No.</div> <div>A1.0</div>	<div>Scale:</div> <div>1:100</div>



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Email: malfarraj@alfaengineersolutions.com

Project Address:
**14 Dublin Road
Brampton, Ontario
Canada, L7A 0T6**

Customer Info:
Name: **Mohammed Masood**
Tel: **647-222-4455**
Email:

Project Title:
TWO UNIT DWELLING

Drawing Title:
EXISTING BASEMENT FLOOR PLAN

Designed:
M.AF

Project No.
DBR-2942

Checked:
M.AF

Sheet No.
A2.0

Date:
dd mm yyyy
20-10-2022

Scale:
1:60

CEILING CONSTRUCTION
15 MIN FIRE SEPARATION
OBC COMPLIANCE C147 (b) ON CEILING

- EXISTING FINISHED FLOOR
- EXISTING 5/8" T&G SUB FLOOR
- EXISTING WOOD FLOOR JOIST
- ONE LAYER 1/2" GYPSUM BOARD ON CEILING SIDE



EXTERIOR WALL CONSTRUCTION "TYPE A"

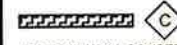
- 1/2" GYPSUM BOARD
- 2" X 4" WOOD STUD @ 16" O.C.
- EXISTING R12 MINERAL FIBER BLANKET INSULATION WITH VAPOR BARRIER
- EXISTING CONCRETE FOUNDATION WALL



INTERIOR WALL CONSTRUCTION "TYPE B" 30 MIN FIRE SEPARATION
WALL OBC COMPLIANCE C147 (a)

Option 1: SB3-W1c

- 1/2" GYPSUM BOARD
- 89mm THICK ABSORPTIVE MATERIAL (ROXUL SAFE&SOUND)
- 2" X 4" WOOD STUD @ 16" O.C.
- 1/2" GYPSUM BOARD



INTERIOR WALL CONSTRUCTION "TYPE C"

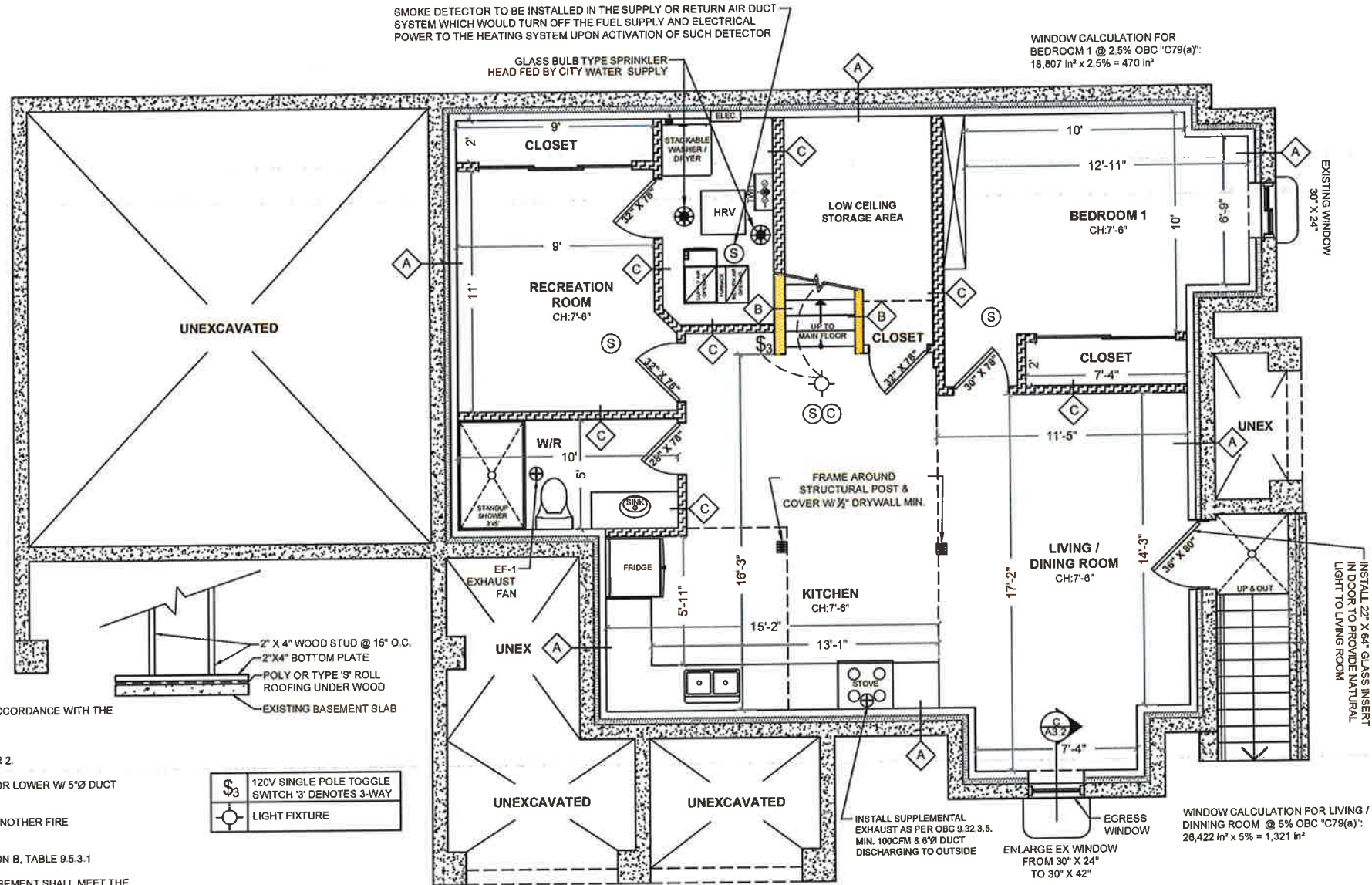
- 1/2" GYPSUM BOARD
- 2" X 4" WOOD STUD @ 16" O.C.
- 1/2" GYPSUM BOARD

- (S) SMOKE ALARM
- SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM
 - SHALL HAVE A BATTERY BACKUP
 - SHALL BE INTERCONNECTED

- (C) CARBON MONOXIDE ALARM

GENERAL NOTES:

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND REGULATIONS.
- FRAMING NOTES:**
 - DIMENSIONAL LUMBER TO BE S-P-F GRADE 1 OR 2.
 - EF-1/2 : MIN. 50CFM EXHAUST FAN WITH 1.5 SONES OR LOWER W 5"Ø DUCT DISCHARGING DIRECTLY TO OUTDOOR
- ALL FIRE SEPARATION SHALL BE CONTINUOUS TO ANOTHER FIRE SEPARATION OR TO THE EXTERIOR
- BASEMENT CEILING HEIGHT TO CONFIRM TO DIVISION B, TABLE 9.5.3.1
- CEILING HEIGHT UNDER BEAMS & DUCTS IN THE BASEMENT SHALL MEET THE OBC REQUIREMENT & NOT BE LESS THAN 1950mm
- SMOKE ALARM:**
 - SMOKE ALARMS IN BASEMENT TO BE INTERCONNECTED WITH SMOKE ALARM ON MAIN FLOOR & SMOKE ALARMS ON SECOND FLOOR COMMON AREA & BEDROOMS (SMOKE ALARM TO BE INSTALLED IN EVERY BEDROOM ON SECOND FLOOR)
 - SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19



	120V SINGLE POLE TOGGLE SWITCH '3' DENOTES 3-WAY
	LIGHT FIXTURE

Rev	Date	Description
00	20-10-22	ISSUED FOR BUILDING PERMIT

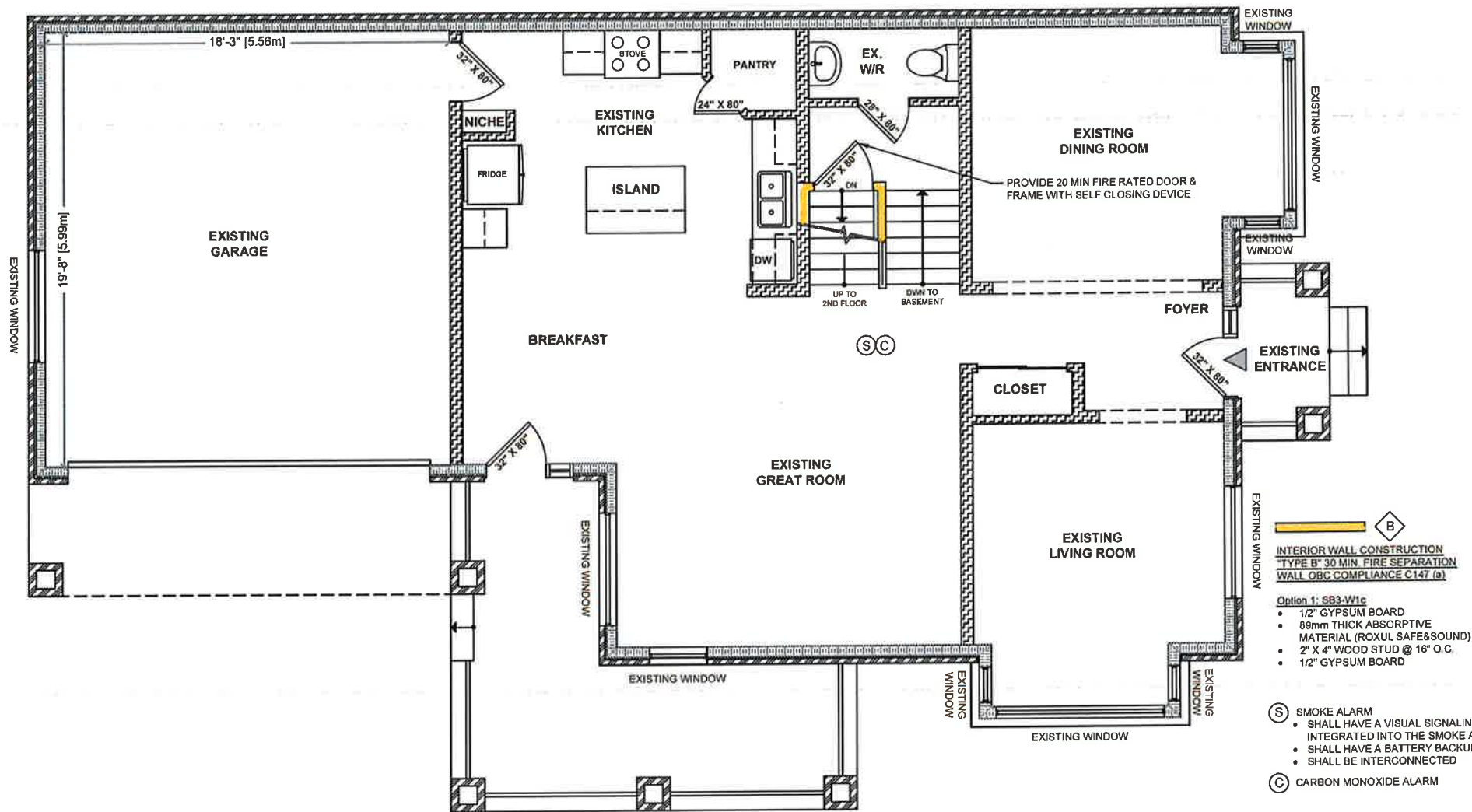


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Email: malfarraji@alfaengsolutions.com

Project Address:
14 Dublin Road
Brampton, Ontario
Canada, L7A 0T6
Customer Info:
Name: Mohammed Masood
Tel: 647-222-4455
Email:

Project Title:
TWO UNIT DWELLING
Drawing Title:
PROPOSED BASEMENT FLOOR PLAN

Designed: M.AF	Checked: M.AF	Date: 20-10-2022
Project No. DBR-2942	Sheet No. A2.1	Scale: 1:60



- INTERIOR WALL CONSTRUCTION**
"TYPE B" 30 MIN. FIRE SEPARATION
WALL OBC COMPLIANCE C147 (a)
- Option 1: SB3-W1c**
- 1/2" GYPSUM BOARD
 - 69mm THICK ABSORPTIVE MATERIAL (ROXUL SAFE&SOUND)
 - 2" X 4" WOOD STUD @ 16" O.C.
 - 1/2" GYPSUM BOARD

- (S) SMOKE ALARM**
- SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM
 - SHALL HAVE A BATTERY BACKUP
 - SHALL BE INTERCONNECTED
- (C) CARBON MONOXIDE ALARM**

- NOTE:**
- SMOKE ALARM ON MAIN FLOOR IS INTERCONNECTED WITH SMOKE ALARM ON SECOND FLOOR AND BASEMENT.
 - SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19
 - EXISTING MAIN FLOOR WALL AND CEILING IS DRYWALLED

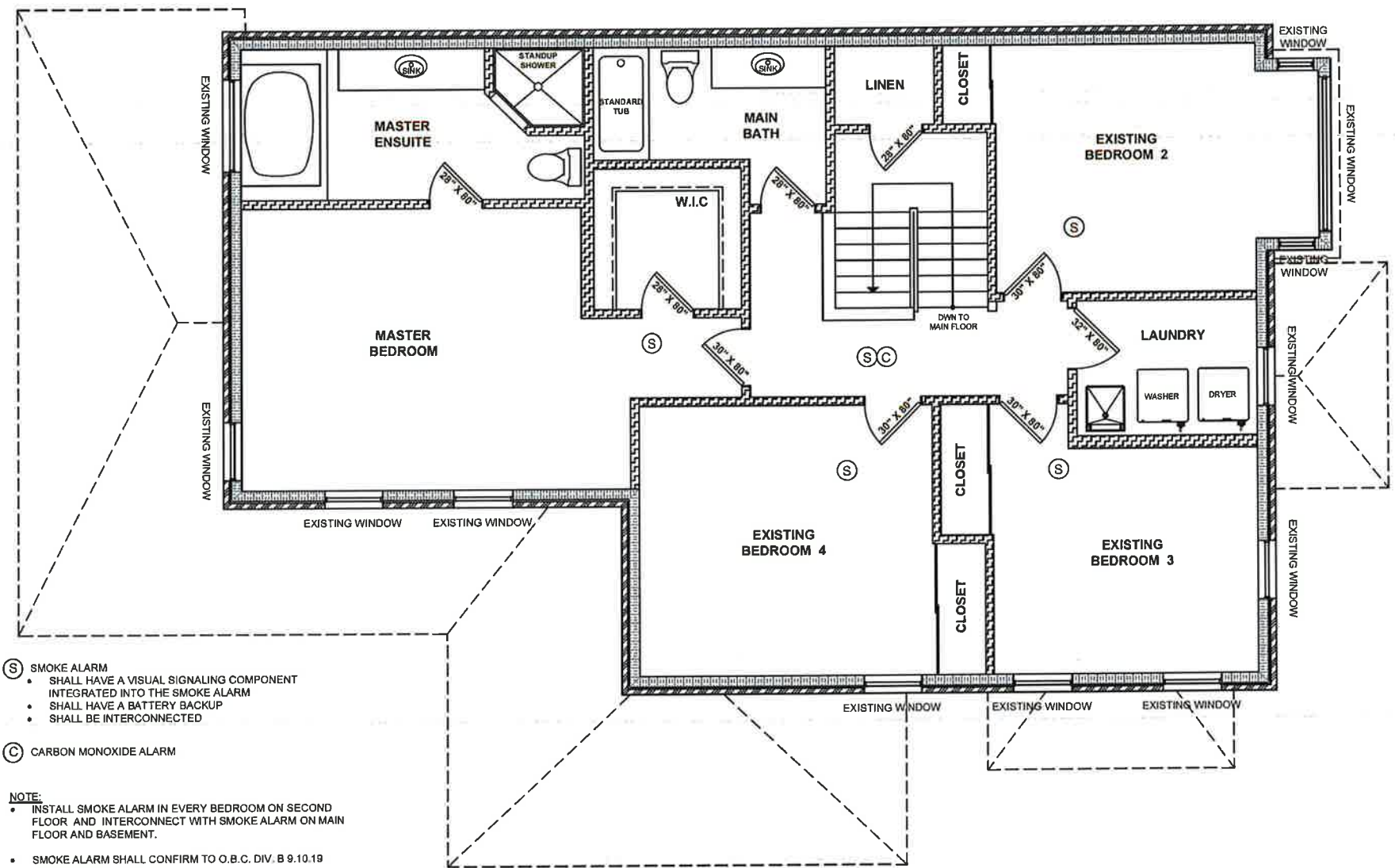
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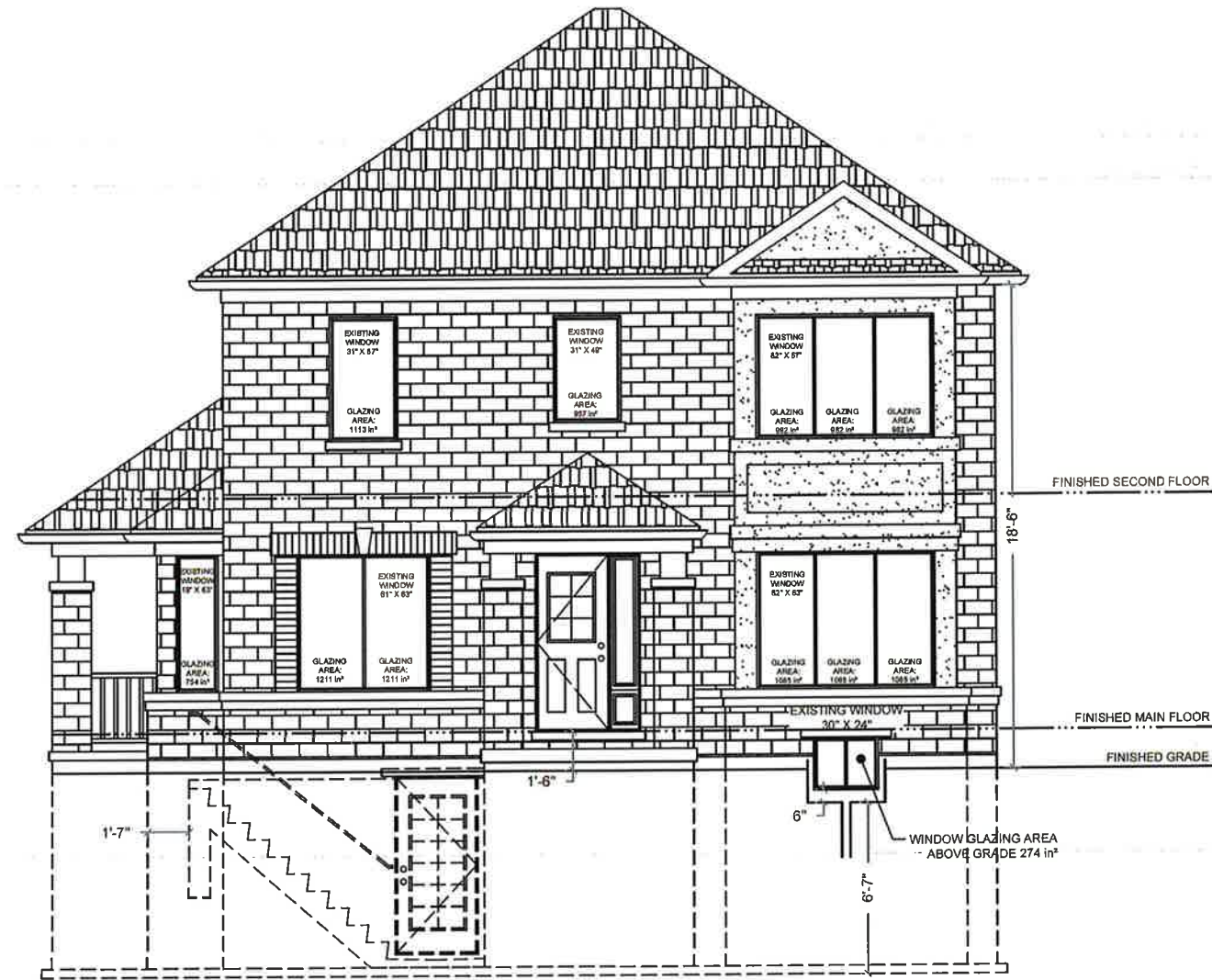
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Tel: 647-227-3227, www.alfaengsolutions.com
Email: malfarraj@alfaengsolutions.com

Customer Info: Project Address: 14 Dublin Road Brampton, Ontario Canada, L7A 0T6 Name: Mohammed Masood Tel: 647-222-4456 Email:	Project Title: TWO UNIT DWELLING	Designed: M.AF	Checked: M.AF	Date: dd.mm.yyyy 20-10-2022
	Drawing Title: GROUND FLOOR PLAN	Project No. DBR-2942	Sheet No. A2.2	Scale: 1:60



- (S) SMOKE ALARM
- SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM
 - SHALL HAVE A BATTERY BACKUP
 - SHALL BE INTERCONNECTED
- (C) CARBON MONOXIDE ALARM
- NOTE:**
- INSTALL SMOKE ALARM IN EVERY BEDROOM ON SECOND FLOOR AND INTERCONNECT WITH SMOKE ALARM ON MAIN FLOOR AND BASEMENT.
 - SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19
 - EXISTING SECOND FLOOR WALL & CEILING IS ½" DRYWALLED

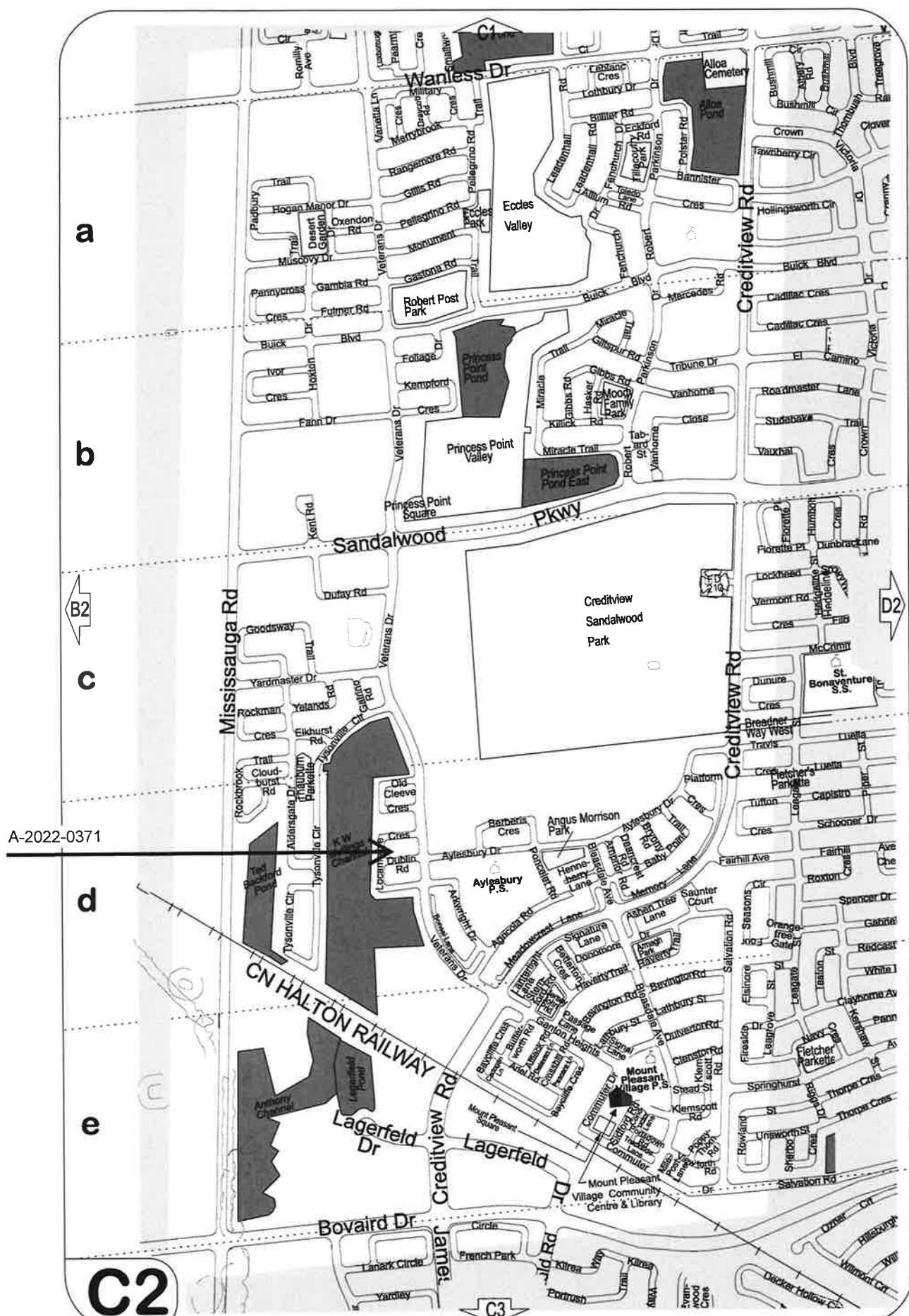
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							Name: Mohammed Masood Tel: 647-222-4455 Email:		Drawing Title: SECOND FLOOR PLAN	Project No. DBR-2942	Sheet No. A2.3	Scale: 1:60



FRONT ELEVATION

TOTAL WALL AREA OPENING
PROVIDED: 7.56 m²

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	00	20-10-22	ISSUED FOR BUILDING PERMIT			M.AF	M.AF	20-10-2022	
						Project No.	Sheet No.	Scale:	
						DBR-2942	A2.5	1:60	



a

b

c

d

e

C2

C3

A-2022-0371

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an **amended** application for minor variance has been made by **CHIRAG NANALAL SHAH AND KESHA RAMESHBHAI SHAH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 37, Plan 43M-1545 municipally known as **23 GORE VALLEY TRAIL**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a driveway width of 7.92m (26 ft) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

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How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023**.

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023**.
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<http://video.isilive.ca/brampton/live.html> .

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NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

March 14, 2023

To: Committee of Adjustment

**RE: CHIRAG NANALAL SHAH AND RAMESHBHAI SHAH
LOT 37, PLAN 43M-1545
A-2022-0400 – 23 GORE VALLEY TRAIL**

Please **amend** application **A-2022-0400** to reflect the following:

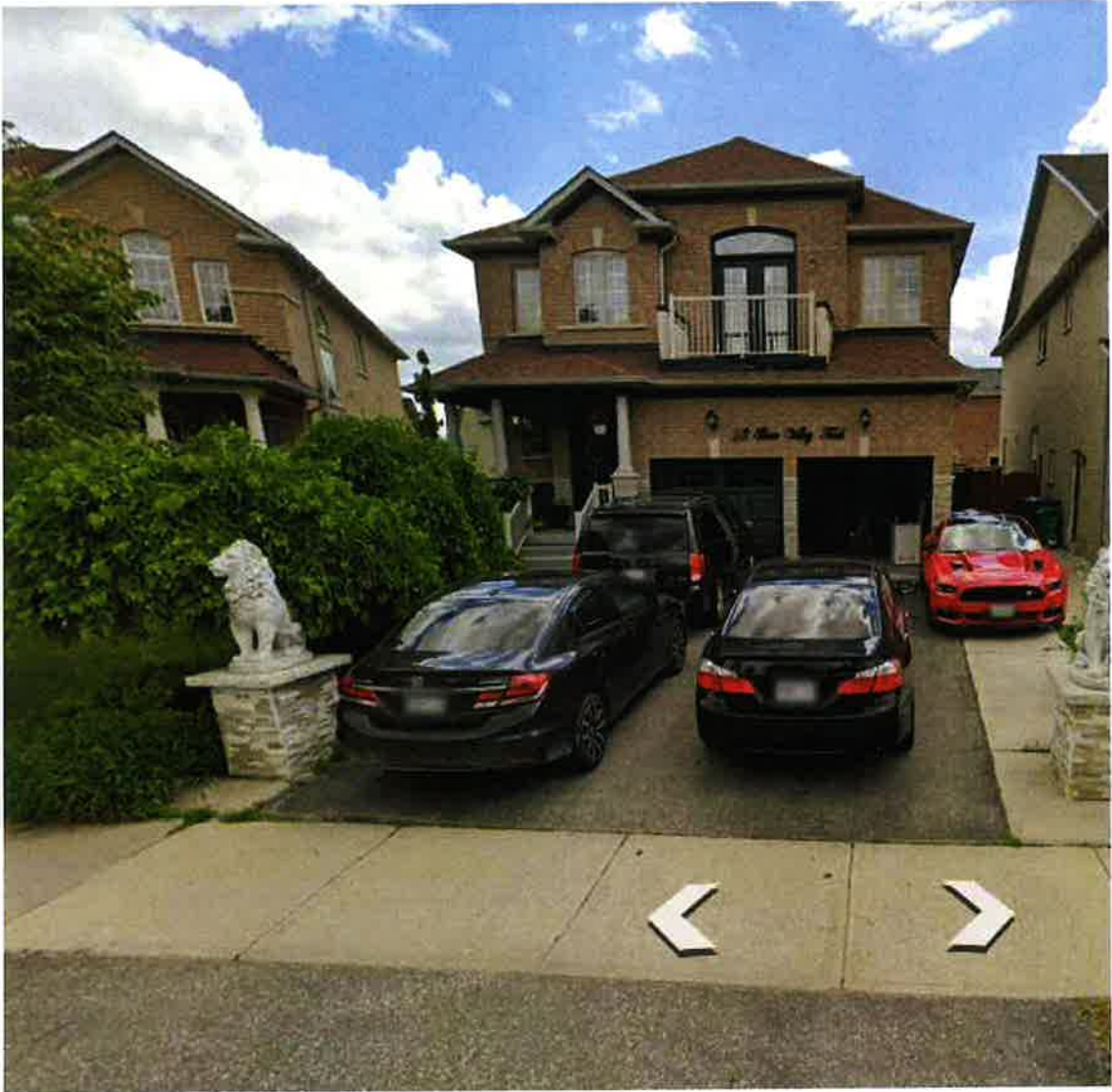
1. To permit a driveway width of 7.92m (26 ft) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.).

A handwritten signature in black ink, appearing to read 'Chirag Shah', written over a horizontal line.

Applicant/Authorized Agent

A-2022-0400 – 23 GORE VALLEY TRAIL


REVISED DRAWINGS

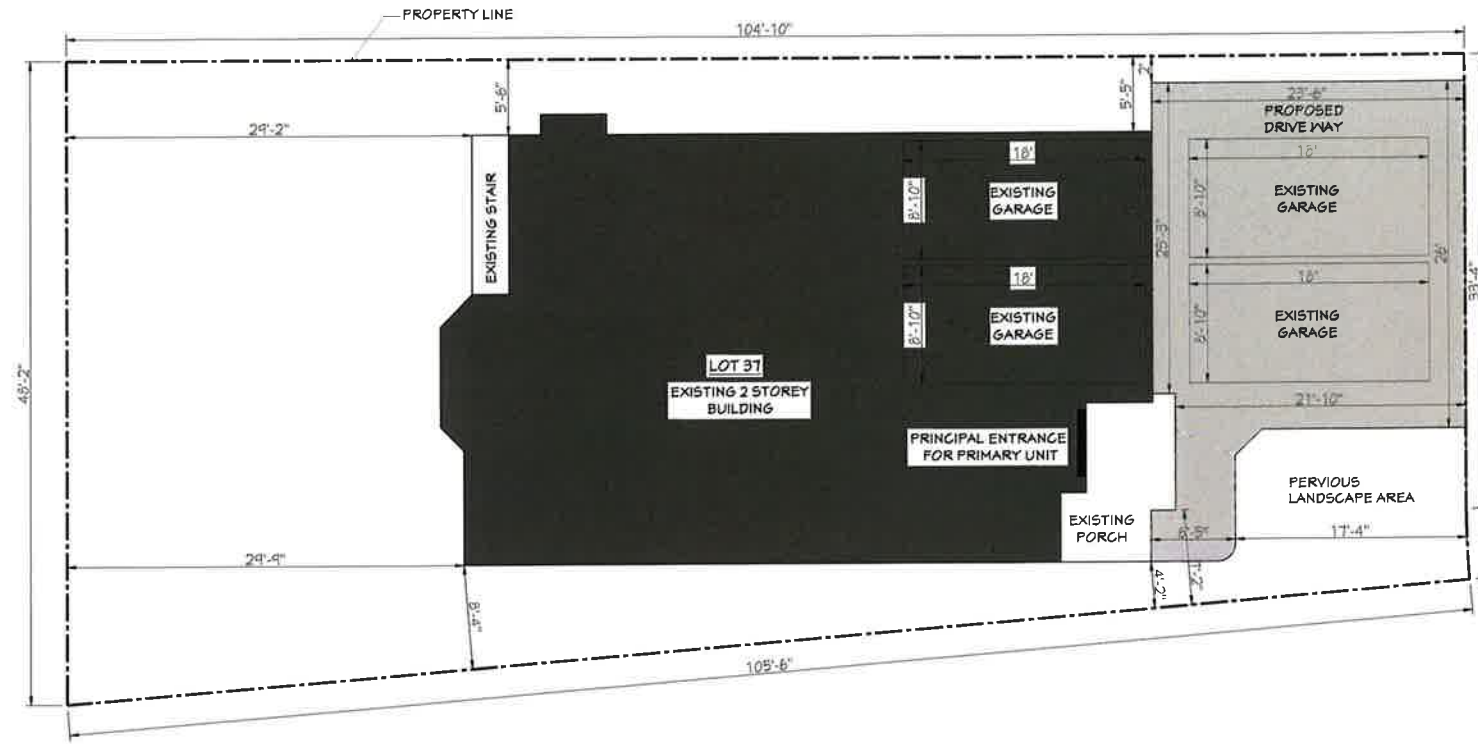


23 GORE VALLEY TRAIL, BRAMPTON

DRIVEWAY WIDENING

DRAWING INDEX	
SHEET	DESCRIPTION
A101	COVER PAGE
A102	SITE PLAN

TITLE		23 GORE VALLEY TRAIL, BRAMPTON, ON COVER PAGE	
PROJECT INFORMATION			
PROJECT NO		22-199	
CUSTOMER			
PROJECT		23 GORE VALLEY TRAIL	
DESIGNER INFORMATION			
BY		BPP	
TITLE			
SCALE		N.T.S.	
REV		DATE	
1		2022 02 20	
2			
ENGINEER		MS	
DRAWN BY		DET	
CHECKED BY			
ALL DRAWINGS ARE THE PROPERTY OF BLUE PRINTS PERMIT AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM BLUE PRINTS PERMIT. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER UNITS AS MENTIONED ON THE DRAWINGS. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE			
SHEET		A101	
REV		00	
83 Garth Massey Drive, Cambridge, ON, Canada, N1T2G1 M: 647-770-2966 O: 905-566-9690 Email: info@blueprintspermit.com Website: www.blueprintspermit.com			



SITE LAYOUT
(SCALE : 3/32" = 1'-0")



TITLE
**23 GORE VALLEY TRAIL,
BRAMPTON, ON
SITE PLAN**

PROJECT INFORMATION	
PROJECT NO.	22-199
CUSTOMER	
PROJECT	23 GORE VALLEY TRAIL

DESIGNER INFORMATION	
BY	ENGINEER STAMPS
BPP	
TITLE	
SCALE	3/32" = 1'-0"
REV.	DATE
1	2022-02-28
2	
ENGINEER	MS
DRAWN BY	BET
CHECKED BY	

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SHEET A102	 Blue Prints Permit <small>ALSO P.T. ENGINEERING</small>
REV 00	
23 Garth Massey Drive, Cambridge, ON, Canada, N1T2G7 M: 647-770-2966 O: 905-566-9690 Email: info@blueprintspermitwork Website: www.blueprintspermitwork	

Flower City



brampton.ca

FILE NUMBER: A-2022-0400

The Personal Information collected on this form is collected pursuant to section 46 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) CHIRAG NANALAL SHAH & KESHA RAMESHBHAI SHAH
Address 23 GORE VALLEY TRAIL
BRAMPTON, ON, L6P 1N6

Phone # 647-706-9785
Email cnshah085@gmail.com

Fax # _____

2. Name of Agent BLUE PRINTS PERMIT C/O MALAV SHAH
Address 88 GARTH MASSEY DRIVE
CAMBRIDGE, ON, N1T 2G7

Phone # 647-770-2966
Email info@blueprintspermit.work

Fax # _____

3. Nature and extent of relief applied for (variances requested):

REQUESTING THE RELIEF FOR THE EXTENDED DRIVEWAY
TO BE 10.5m THAN ALLOWABLE TO BE 6.71M

4. Why is it not possible to comply with the provisions of the by-law?

DUE TO MISGUIDED BY THE CONTRACTOR, HOME OWNER
SPENT MONEY TO COMPLETE THE DRIVEWAY AND IT COSTED
HIM FORTUNE. WE REQUEST THE ACCEPTANCE AS PER
SITE PLAN

5. Legal Description of the subject land: PL 43M 1545 LOT 37
Lot Number _____
Plan Number/Concession Number _____
Municipal Address 23 GORE VALLEY TRAIL

6. Dimension of subject land (in metric units)

Frontage 12m
Depth 31.96m / 32.15m
Area 396.94 m²

7. Access to the subject land is by:
Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐

Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

DWELLING UNIT , GAZEBO IN BACK YARD

5.76 M2 OF gazebo area

227 m2 of the Gross Floor area

PROPOSED BUILDINGS/STRUCTURES on the subject land:

N/A

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.60m

Rear yard setback 8.86m

Side yard setback 1.64m / 1.65m

Side yard setback 1.26m 2.53m

PROPOSED

Front yard setback No Change

Rear yard setback No Change

Side yard setback No Change

Side yard setback No Change

10. Date of Acquisition of subject land: 2022
11. Existing uses of subject property: SINGLE FAMILY DWELLING UNIT
12. Proposed uses of subject property: NO CHANGE
13. Existing uses of abutting properties: RESIDENTIAL USE
14. Date of construction of all buildings & structures on subject land: 2003
15. Length of time the existing uses of the subject property have been continued: 19 YEARS

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

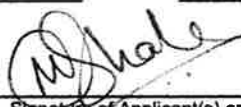
Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF CAMBRIDGE

THIS 03 DAY OF NOVEMBER, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

BLUE PRINTS PERMIT
I, C/O MALAY SHAH, OF THE CITY OF CAMBRIDGE.
IN THE REGION OF WATERLOO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF Brampton
IN THE Region OF _____
9th THIS DAY OF Dec, 2022


A Commissioner etc.

Jm.
Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.


Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1C - 1689

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHU S.

Zoning Officer

NOV 30 2022

Date

DATE RECEIVED December 9, 2022

Revised 2020/1/07

23 GORE VALLEY TRAIL, BRAMPTON

DRIVEWAY WIDENING

DRAWING INDEX

SHEET	DESCRIPTION
A101	COVER PAGE
A102	SITE PLAN



TITLE
23 GORE VALLEY TRAIL,
BRAMPTON, ON
COVER PAGE

PROJECT INFORMATION

PROJECT NO
22-199

CUSTOMER

PROJECT
23 GORE VALLEY TRAIL

DESIGNER INFORMATION

BY	ENGINEER STAMPS
BPP	
TITLE	
SCALE	N.T.S.
REV	DATE
1	2022.11.19
2	
3	
ENGINEER	
M5	
DRAWN BY	
BET	
CHECKED BY	

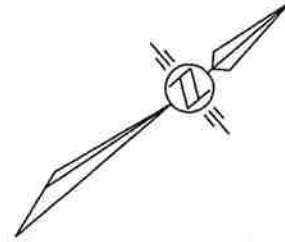
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SHEET
A101
REV
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53 Garth Massey Drive, Cambridge,
ON, Canada, N1T2G1
M: 647-770-2966 O: 905-566-9690
Email: info@blueprintspermit.work
Website: www.blueprintspermit.work

SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN OF
LOTS 36 TO 41 BOTH INCLUSIVE
REGISTERED PLAN 43M-1545
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE 1:400
P. SALNA Co. LTD., O.L.S.



GORE VALLEY TRAIL
(BY REGISTERED PLAN 43M-1545)

PIN 14211 - 0677

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1461832



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
in accordance with
Regulation 1026, Section 29(3).

REVISION OF NEW DWELLING		
LOT	DATE	O.L.S.
37	OCT. 21, 2005	<i>U. Dole</i>

LEGEND

□ DENOTES SURVEY MONUMENT PLANTED
■ DENOTES SURVEY MONUMENT FOUND
SIB DENOTES STANDARD IRON BAR
IB DENOTES IRON BAR
WIT DENOTES WITNESS
OU DENOTES ORIGIN UNKNOWN
CC DENOTES CUT CROSS
S DENOTES SET
M DENOTES MEASURED
N DENOTES NOTES BY P.SALNA CO.LTD., O.L.S.
PC DENOTES POINT OF CURVATURE
PRC DENOTES POINT OF REVERSE CURVATURE

CF DENOTES CONCRETE FOUNDATION WALLS
TWE DENOTES TOP OF WALL ELEVATION
GSE DENOTES GARAGE SILL ELEVATION
PL DENOTES REGISTERED PLAN 43M-1545
BR DENOTES 2 STOREY BRICK DWELLING
• DENOTES FOUND TEMPORARY WITNESS MONUMENTS BY P.SALNA Co.LTD., O.L.S.
C DENOTES CALCULATED

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF P.SALNA O.L.S.

NOTES

BEARINGS ARE ASTRONOMIC AND ARE DERIVED FROM THE SOUTH EASTERLY LIMIT OF GORE VALLEY TRAIL AS SHOWN ON REGISTERED PLAN 43M-1545 HAVING A BEARING OF N 40°18'20" E

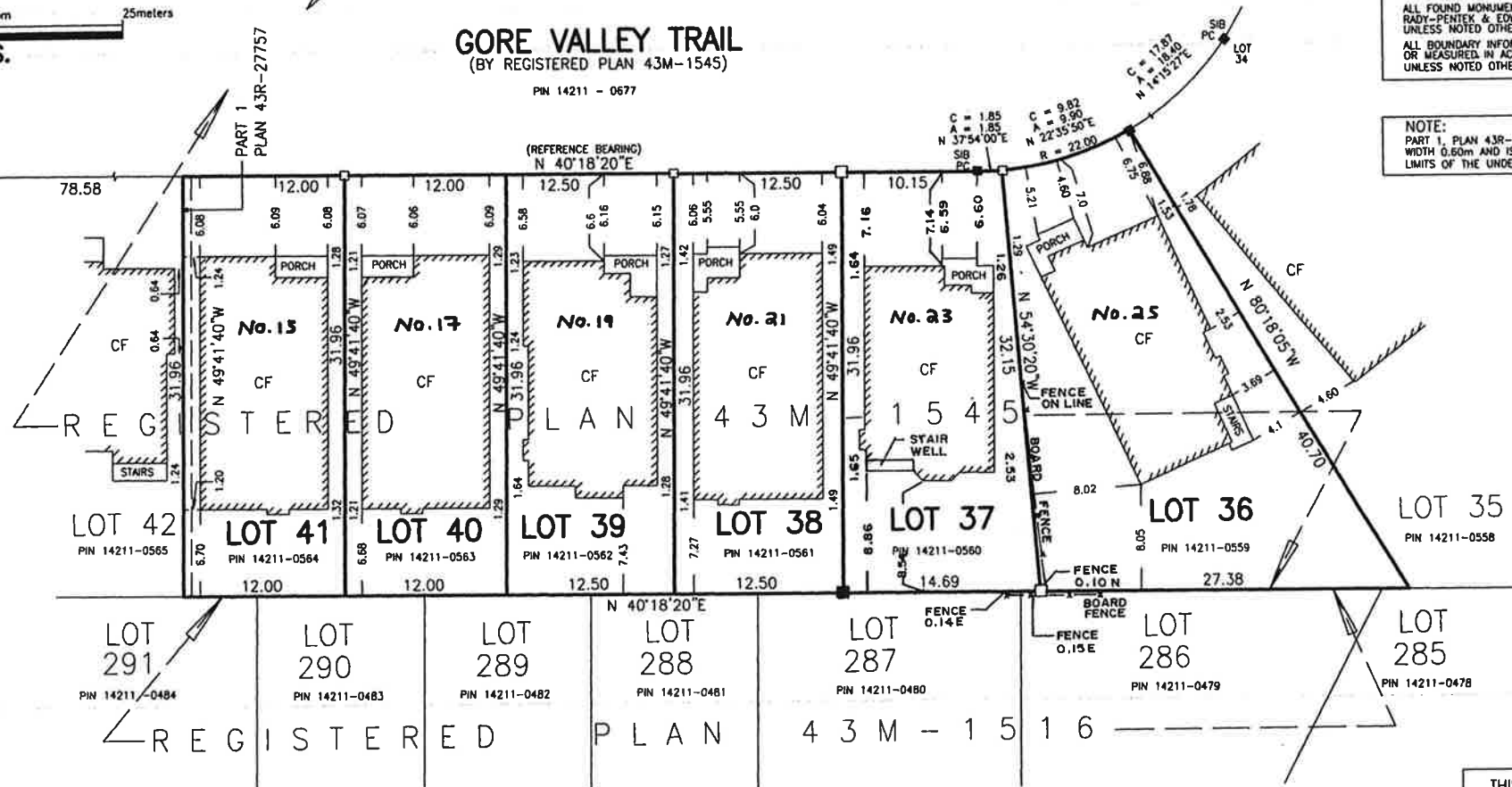
PART 2) SURVEY REPORT
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
NO EASEMENTS OR RIGHT OF WAYS ARE REGISTERED.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTE:
ALL FOUND OR PLANTED MONUMENTS SHOWN HEREON ARE IRON BARS UNLESS NOTED OTHERWISE.
ALL FOUND MONUMENTS SHOWN HEREON WERE PLANTED BY RADY-PENTEX & EDWARD SURVEYING LTD., O.L.S. UNLESS NOTED OTHERWISE
ALL BOUNDARY INFORMATION SHOWN HEREON HAS BEEN SET OR MEASURED IN ACCORDANCE WITH REGISTERED PLAN 43M-1545 UNLESS NOTED OTHERWISE

NOTE:
PART 1: PLAN 43R-27757 HAS A PERPENDICULAR WIDTH 0.60m AND IS WHOLLY CONTAINED WITHIN THE LIMITS OF THE UNDERLYING LOTS



THIS REPORT WAS PREPARED FOR
ERIN DANCER PROPERTIES LTD.
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY
OTHER PARTIES

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 30th DAY OF JUNE 2003.

AUGUST 21st, 2003

DATE

P. Salna

R. SALNA, B.Sc.
ONTARIO LAND SURVEYOR

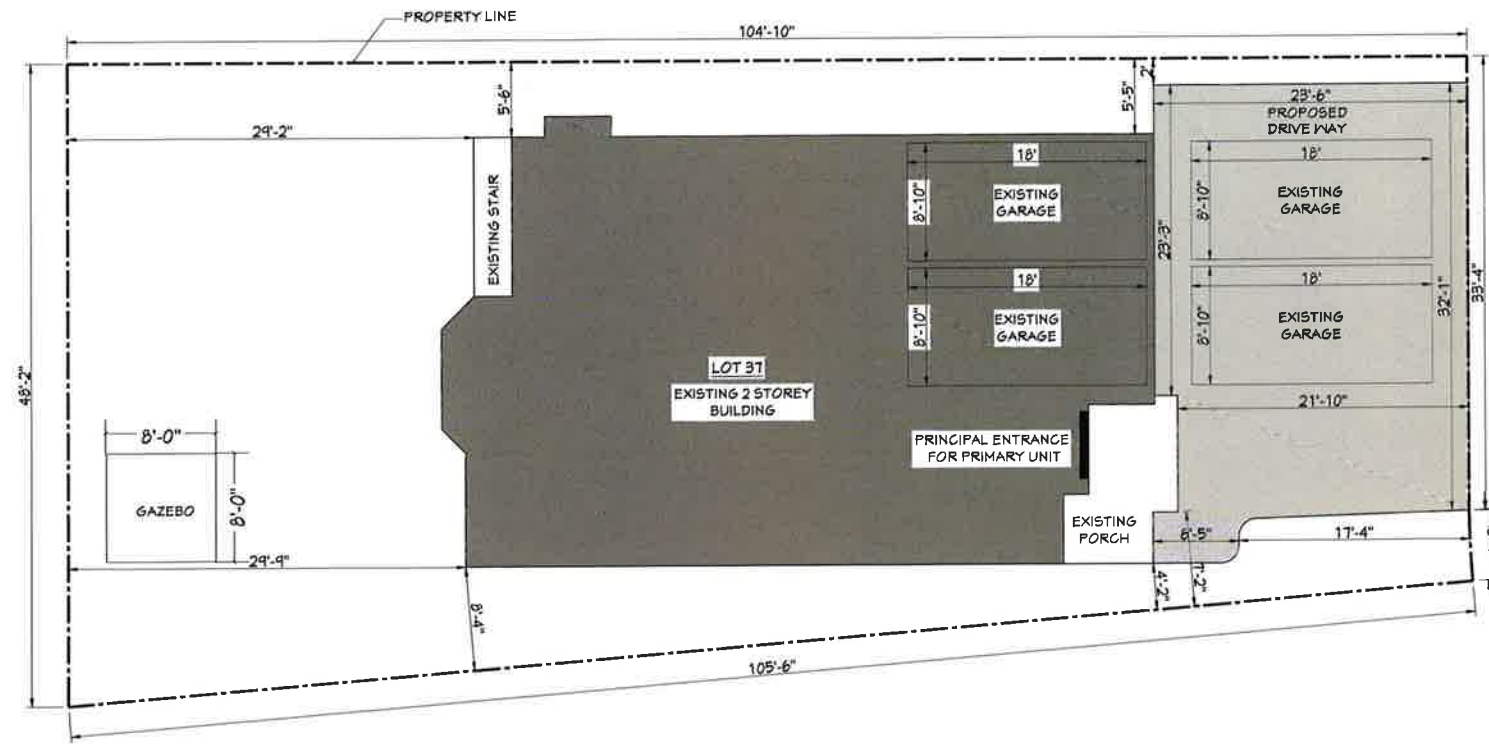
P.SALNA COMPANY LTD.
ONTARIO LAND SURVEYORS

10225 YONGE STREET
RICHMOND HILL, ONTARIO L4C 3B2
PHONE(905) 884-3988 FAX:(905)737-7516

PARTY CHIEF: PAT
DRAWN BY: JASNA B.
CHECKED BY: SRI

CAD FILE: 1545J

FILE: 02-030



SITE LAYOUT
(SCALE : 3/32" = 1'-0")



TITLE
23 GORE VALLEY TRAIL,
BRAMPTON, ON
SITE PLAN

PROJECT INFORMATION
PROJECT NO. 22-199

CUSTOMER
PROJECT 23 GORE VALLEY TRAIL

DESIGNER INFORMATION	
BY	ENGINEER STAMPS
BPP	
TITLE	
SCALE	3/32" = 1'-0"
REV	DATE
1	2022.11.17
2	
ENGINEER	MS
DRAWN BY	BET
CHECKED BY	

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SHEET
REV A102
00



63 Garth Massey Drive, Cambridge,
ON, Canada, N1T2G1
M: 647-770-2966 C: 905-566-9690
Email: info@blueprintspermit.work
Website: www.blueprintspermit.work



A-2022-0400



APPLICATION # A-2022-0401
WARD #1

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SUKHPAL SINGH AND GURJANT SINGH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 160, Plan M-175 municipally known as **73 BLACKTHORN LANE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a proposed below grade entrance between the main wall of a dwelling and the flankage lot line whereas the by-law does not permit below grade entrances between the main wall of the dwelling and the flankage lot line

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
 Committee of Adjustment, City Clerk's Office,
 Brampton City Hall, 2 Wellington Street West,
 Brampton, Ontario L6Y 4R2
 Phone: (905)874-2117
 Fax: (905)874-2119
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The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Sukhpal Singh and Gurjant Singh
Address 73 Blackthorn Lane, Brampton, ON, L6V 3K9

Phone # 3062622018 **Fax #** _____
Email aulakhsukhpal@gmail.com

2. **Name of Agent** Blue Prints Permit c/o Malav Shah
Address 83 Garth Massey Drive, Cambridge, ON, N1T 2G7

Phone # 6477702966 **Fax #** _____
Email info@blueprintspermit.work

3. **Nature and extent of relief applied for (variances requested):**
Requesting to approve the constructed below grade entrance in side yard towards
flankage lot line.

4. **Why is it not possible to comply with the provisions of the by-law?**
Below grade stairs not permitted. This application request it to permit constructed below
grade entrance.

5. **Legal Description of the subject land:**
Lot Number 160
Plan Number/Concession Number M175
Municipal Address 73 Blackthorn Lane

6. **Dimension of subject land (in metric units)**
Frontage 13.22m
Depth 30.48m
Area

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Dwelling Unit

1450 Sq. Ft / 135.546 m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Single family dwelling unit with second unit dwelling in basement

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.89m

Rear yard setback 11.683m

Side yard setback 1.67m

Side yard setback 5.182m / 7.46m

PROPOSED

Front yard setback No Change

Rear yard setback No Change

Side yard setback No Change

Side yard setback No Change

10. Date of Acquisition of subject land: 2021
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land:
15. Length of time the existing uses of the subject property have been continued: 25 years

16. (a) What water supply is existing/proposed?

Municipal

☒

Well

☐

Other (specify)

- (b) What sewage disposal is/will be provided?

Municipal

☒

Septic

☐

Other (specify)

- (c) What storm drainage system is existing/proposed?

Sewers

☒

Ditches

☐

Swales

☐

Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Malav Shah
Signature of Applicant(s) or Authorized Agent

Digitally signed by Malav Shah
DN: C=CA, E=info@blueprintspermit.work, O=Blue Prints Permit,
CN=Malav Shah
Location: Cambridge
Reason: I am the author of this document
Contact info: 847 770 2986
Date: 2022.12.07 13:37:27-0500'

DATED AT THE CITY _____ OF CAMBRIDGE

THIS 07 DAY OF DECEMBER, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, MALAV SHAH, OF THE CITY OF CAMBRIDGE

IN THE CITY OF CAMBRIDGE SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Reel THIS 9th DAY OF
December, 2022

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024

Malav Shah
Signature of Applicant or Authorized Agent

Digitally signed by Malav Shah
DN: C=CA, E=info@blueprintspermit.work, O=Blue Prints Permit,
CN=Malav Shah
Location: Cambridge
Reason: I am the author of this document
Contact info: 847 770 2986
Date: 2022.12.07 13:37:48-0500'

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1B(3)-153, Mature N'hood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

December 8, 2022

Date

DATE RECEIVED

December 9, 2022

Revised 2020/01/07



73 BLACKTHORN LANE, BRAMPTON

SECOND UNIT DWELLING

DRAWING INDEX	
SHEET	DESCRIPTION
A101	COVER PAGE
A102	LEGEND & SCHEDULES
A103	GENERAL NOTES
A104	SITE PLAN
A105	EXISTING BASEMENT
A106	PROPOSED BASEMENT
A107	EXISTING FIRST FLOOR
A108	PROPOSED FIRST FLOOR
A109	EXISTING SECOND FLOOR
A110	WALKOUT PLAN
A111	SECTION - AA
A112	SECTION - BB
A113	GUARDRAIL DETAILS AND NOTES

TITLE
73 BLACKTHORN LANE,
BRAMPTON, ON
COVER PAGE

PROJECT INFORMATION

PROJECT NO
22-196

CUSTOMER

PROJECT
73 BLACKTHORN LANE

DESIGNER INFORMATION

BY
BPP

TITLE

SCALE

N.T.S

REV

DATE

2022-11-11

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ENGINEER

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DRAWN BY

BET

CHECKED BY

MS



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UNITS AS MENTIONED ON THE DRAWINGS. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

SHEET

A101

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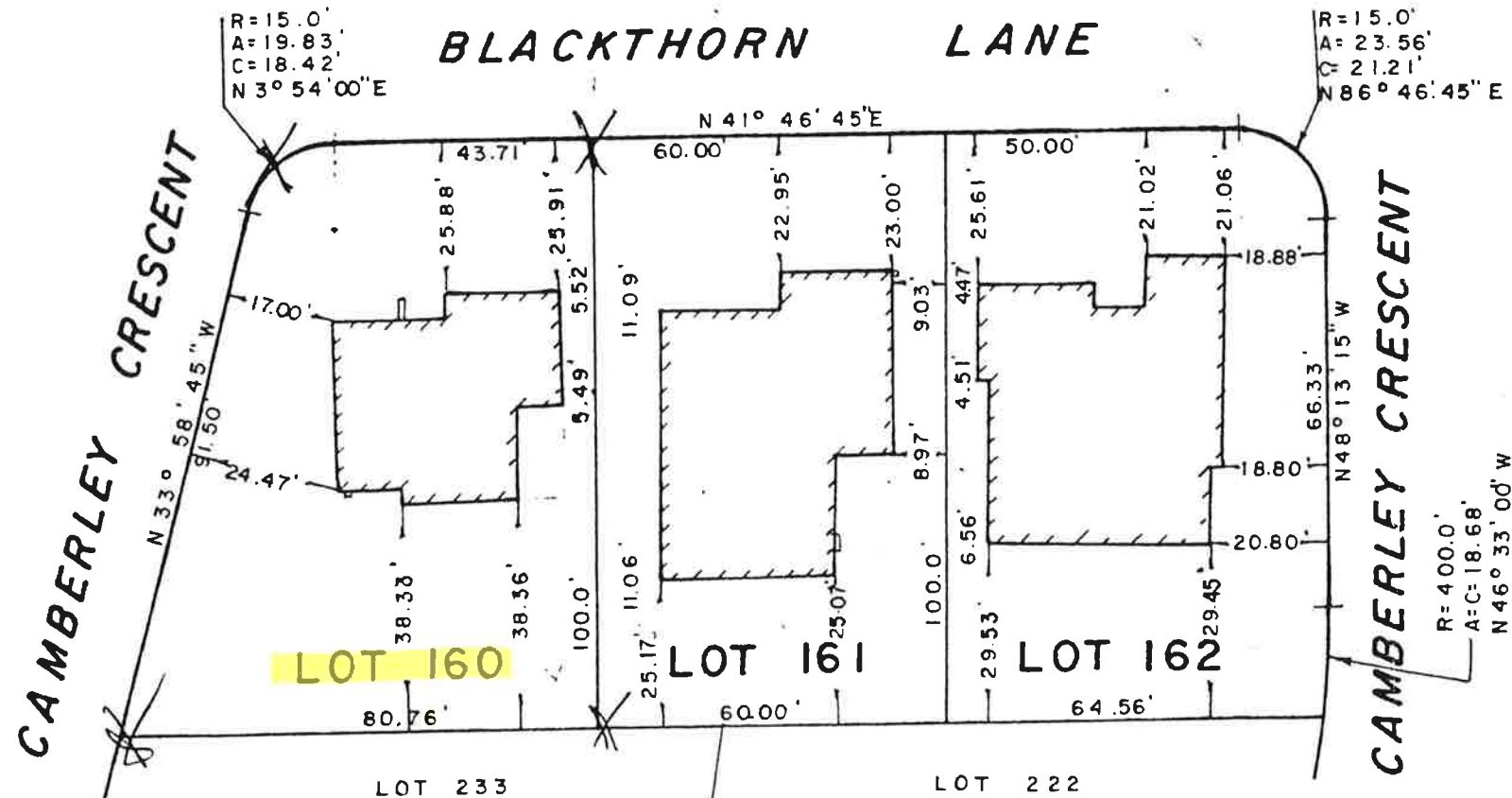
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Email: info@blueprintspermit.work
Website: www.blueprintspermit.work

PLAN SHOWING
 LOTS 160, 161 AND 162 PLAN M-175
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1" = 30'

DOCUMENTS RELEASED PURSUANT TO A REQUEST
 UNDER THE
 MUNICIPAL FREEDOM OF INFORMATION AND
 PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56
 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
 USE AND REPRODUCTION OF THESE DOCUMENTS



P. SALNA CO. LTD.
 125, WELDRICK ROAD
 RICHMOND HILL, ONT.
 PHONE 884-3988

NOTE: STRUCTURES SHOWN HEREON ARE CONCRETE BASEMENTS.

P. Salna
 P. SALNA
 ONTARIO LAND SURVEYOR
 RICHMOND HILL, OCT. 3, 1976.



EXHAUST



SPRINKLER



SUPPLY VENT



RETURN GRILLE



LIGHT FIXTURE



POT LIGHT



30 MIN FRR



EXISTING WALL



NEW WALL



DEMOLISHED WALL



9.10.19 LOCATION OF PROPOSED INTERCONNECTED SMOKE DETECTORS & CARBON MONOXIDE DETECTOR (CONNECTED TO A DUCT TYPE SMOKE DETECTOR)



DUCT TYPE SMOKE DETECTOR



EXISTING CONC. WALL
2"X4 STUDS @24 O.C. WALL
W/ 6MIL POLY
R12 BATT EXISTING INSULATION
6MIL VAPOR BARRIER
1/2" GYPSUM BOARD



INTERIOR DRYWALL PARTITION
1/2" GYP. BOARD
2"X4 SPRUCE STUD @16 O.C.
1/2" GYPSUM BOARD



INTERIOR DRYWALL PARTITION (30 MIN. FRR)
1/2" GYP. BOARD
2"X4 SPRUCE STUD @16 O.C. W/ SAFE & SOUND INSULATION
89MM THICK
1/2" GYP. BOARD



DUPLEX RECEPTACLE OUTLET



SINGLE POLE SWITCH



3 WAY SWITCH AT TOP AND BOTTOM OF THE STAIR TO A LIGHT FIXTURE



DOOR SIZE
24" W X 80" H



DOOR SIZE
28" W X 80" H



DOOR SIZE
30" W X 80" H



DOOR SIZE
32" W X 80" H



DOOR SIZE
34" W X 80" H



DOOR SIZE
36" W X 80" H



DOOR SIZE
48" W X 80" H



COLUMN - 15 MIN FIRE RESISTING RATING



EMERGENCY LIGHT



EXTERIOR LIGHT



20 MIN FIRE RATED LOCKABLE & SELF-CLOSING DOOR



UNDERSIDE & CEILING OF STAIRS - FIRE RATING
2 LAYERS 5/8" TYPE X GYP. BOARD (1HR FFR)

DOOR SCHEDULE

TAG	DOOR TYPE				
	FLUSH	FRR	SLIDING	DBL DOOR	EXTERIOR
D24	1				
D28	1				
D30	1	1			
D32	3				1
D34					
D36					

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL THE DIMENSIONS, SITE CONDITION AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF THE WORK.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF THE ONTARIO BUILDING CODE 2012, AND THE CITY BYLAWS AND STANDARDS.
3. IT IS ASSUMED THAT ALL THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCE REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
4. BY COMMENCING THE CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGE THAT THE GENERAL NOTES HAVE BEEN UNDERSTOOD.

TITLE 73 BLACKTHORN LANE,
BRAMPTON, ON
LEGEND & GENERAL NOTES

PROJECT INFORMATION

PROJECT NO. 22-196

CUSTOMER

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

DESIGNER BPP

SCALE

N.T.S.

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CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER.
UNITS AS MENTIONED ON THE DRAWINGS. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE

SHEET

A102

REV

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Email: info@blueprintspermit.work
Website: www.blueprintspermit.work

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO • BUILDING CODE, O.REG. 332/12; AND ANY CONSTRUCTION CHANGES MADE THAT ARE NOT A PART OF THE ISSUED REVIEWED PERMIT DRAWINGS WILL REQUIRE AN ADDITIONAL REVISION PERMIT.
- EXCEPT FOR PERMITTED OPENINGS SUCH AS TIGHTLY FITTER ELECTRICAL OUTLET BOXES, CERTAIN DUCT; FIRE SEPARATION SHALL BE CONTINUOUS TO ANOTHER FIRE SEPARATION, EXTERIOR WALL OR ROOF.
- DOORS IN A FIRE SEPARATION MUST BE 20 MINUTE RATED OR BE 45mm SOLID CORE WOOD DOORS WITH A SELF CLOSING DEVICE. UNRATED WOOD DOOR FRAMES MUST BE A MINIMUM OF 38mm THICK. DOOR FRAME INSTALLATION MUST BE SMOKE TIGHT.
- FIRE BLOCKS SHALL BE PROVIDED AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES IN INTERIOR COVERED CEILINGS, DROP CEILINGS AND SOFFITS WHERE THE EXPOSED CONSTRUCTION MATERIALS WITHIN THE CONCEALED SPACES HAVE A SURFACE FLAME-SPREAD RATING GREATER THAN 25.
- EXCEPT FOR BATHROOMS, PUBLIC CORRIDORS AND EXITS, INTERIOR WALL AND CEILING FINISHES SHALL HAVE A SURFACE FLAME SPREAD RATING OF NOT MORE THAN 150.
- NEW SPRINKLERS IN THE FURNACE ROOM MUST BE INSTALLED IN ACCORDANCE WITH THEIR LISTING, SPRINKLER PIPING SHALL BE A RESIDENTIAL FULL FLOW-THROUGH SYSTEM CONSISTING OF MIN. 3/4" COPPER OR PEX SUPPLY PIPE AND FITTINGS.
- SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING AND IN CONFORMANCE WITH CAN/ULC-S553, "INSTALLATION OF SMOKE ALARMS". SMOKE SHALL INCLUDE A VISUAL SIGNALING COMPONENT AND BE HARDWIRED AND INTERCONNECTED IN ACCORDANCE WITH THE REVIEWED DRAWINGS. SMOKE ALARMS SHALL HAVE BATTERY BACKUP POWER CAPABLE OF LASTING FOR 7 DAYS WHILE IN THE NORMAL CONDITION, FOLLOWED BY 4M MINUTES OF ALARM SIGNALING.
- BATTERY POWERED EMERGENCY LIGHTING UNITS CONFORMING TO CSA C22.2 NO. 14. EMERGENCY LIGHTING EQUIPMENT SHALL BE PROVIDED IN ALL COMMON MEANS OF ESCAPE.
- PROVIDE CARBON MONOXIDE ALARMS CONFORMING TO CAN/CSA-6.19,"RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO AN ELECTRICAL OUTLET.
- WHERE NEW CONSTRUCTION COULD RESTRICT THE SUPPLY OF COMBUSTION AIR OF ANY EXISTING FUEL-FIRE APPLIANCE, AN ADEQUATE COMBUSTION AIR SUPPLY SHALL BE PROVIDED TO ENSURE PROPER COMBUSTION AND SAFE OPERATION OF THE FURNACE AND/OR SERVICE WATER SUPPLY.
- PROVISIONS SHALL BE MADE FOR RETURN-AIR FROM ALL ROOMS BY LEAVING GAPS BENEATH DOORS, USING LOUVERED DOORS OR INSTALLING RETURN-AIR INLETS SHALL NOT BE INSTALLED IN AN ENCLOSED ROOM OR CRAWL SPACE THAT PROVIDES COMBUSTION AIR TO THE FURNACE OR SERVICE WATER HEATER.
- NATURAL VENTILATION FOR LIVING ROOM, DINING ROOM, BEDROOMS AND KITCHEN MUST BE PROVIDED BY MEANS OF AN OPENABLE WINDOW AREA OF 0.28M2 PER ROOM OR COMBINATION OF ROOMS. NATURAL VENTILATION FOR BATHROOMS OR WATER CLOSET ROOMS MUST BE PROVIDED BY MEANS OF AN OPENABLE WINDOW AREA OF 0.09M2. WHERE A ROOM OR SPACE IS NOT PROVIDED WITH NATURAL VENTILATION, MECHANICAL VENTILATION SHALL BE PROVIDED. EXHAUST FANS SHALL DISCHARGE DIRECTLY TO THE EXTERIOR.
- ELECTRICAL WORK MUST BE INSPECTED BY THE ELCTRICAL SAFETY AUTHORITY.

NOTES

- MINIMUM HEADROOM : 6'5" (1950mm)
- MIN. 15 MIN. FIRE SEPARATION FOR ALL CEILINGS
- 15 MIN HORIZONTAL FIRE SEPARATION IS ACCEPTABLE WHERE, SMOKE ALARMS INSTALLED IN EVERY DWELLING UNIT AND IN COMMON AREA IN CONFORMANCE WITH 9.10.195MOKE ALARMS ARE INTERCONNECTED AND HAVE A VISUAL SIGNAL
- FURNACE MAY SERVE BOTH UNITS PROVIDE A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH WOULD TURN OFF FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR.
- TWO SPRINKLERS REQUIRED IN THE FURNACE ROOM
- INSTALL MECHANICAL VENTILATION AS PER OBC DIV B 9.32.1.3(3) REQ'5.
- EXHAUST FAN SHALL DISCHARGE DIRECTLY TO OUTSIDE.
- RETURN AIR FROM A DWELLING UNIT SHALL NOT BE RECIRCULATED TO ANY OTHER DWELLING UNIT - 6.2.4.7 (10).
- EXIT STAIR IS TO BE PROTECTED FROM FIRE EXPOSURE.

PLUMBING NOTES

- ONLY A LICENSED, INSURED, CERTIFIED PLUMBER SHALL BE USED FOR THE WORK.
- THE MAXIMUM HOT WATER TEMPERATURE SUPPLIED TO FIXTURES IN RESIDENTIAL OCCUPANCIES SHALL NOT EXCEED 49° C(120° F) AS PER OBC ARTICLE 7.6.5.1.
- DISHWASHERS AND CLOTHES WASHERS ARE EXEMPT FROM THIS REQUIREMENT.
- ALL THERMOSTATIC MIXING VALVES SHALL CONFORM TO CAN/CSA-B125,"PLUMBING FIXTURES" AND SHALL BE LABELED ACCORDINGLY.
- ALL SOLDER JOINTS MUST BE LEAD FREE AND MEET ALL REGULATORY REQUIREMENTS.
- ALL SANITARY PIPING TO HAVE CLEANOUTS TO SUIT OBC & PLUMBING CODES.
- SUPPLY AND INSTALL CLEAN OUTS WHETHER SHOWN OR NOT, AS REQUIRED BY CODE OR BY AUTHORITIES HAVING JURSDICTION ON SANITARY DRAINS.
- VENT ALL SANITARY FIXTURES AS REQUIRED BY THE ONTARIO BUILDING CODE.
- PROVIDE ONE PIECE CHROME PLATE ESCUTCHEONS ON ALL PIPING PASSING INTO EXPOSED AREAS.
- REFER TO OBC 2012 DIV. B 9.23.5 FOR NOTCHING AND DRILLING OF WOOD STRUCTURAL MEMBERS.

TITLE
73 BLACKTHORN LANE,
BRAMPTON, ON
GENERAL NOTES

PROJECT INFORMATION

PROJECT NO. 22-196

CUSTOMER

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

BY

BPP

TITLE

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ENGINEER

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CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER.
UNITS AS MENTIONED ON THE DRAWINGS. ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.

SHEET

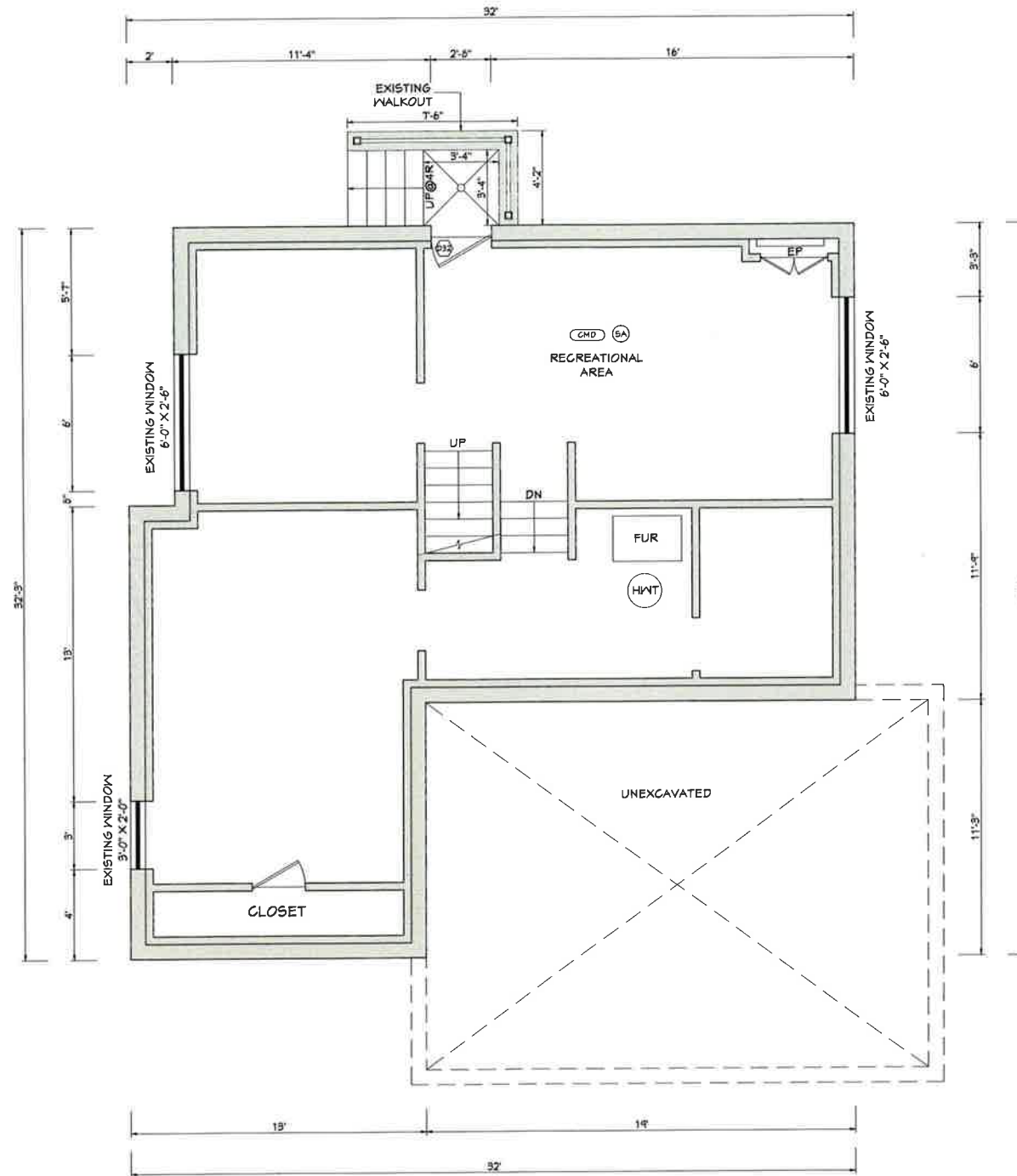
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Email: info@blueprintspermit.work
Website: www.blueprintspermit.work



EXISTING BASEMENT
(SCALE : 3/16" = 1'-0")

TITLE
73 BLACKTHORN LANE,
BRAMPTON, ON
EXISTING BASEMENT

PROJECT INFORMATION

PROJECT NO. 22-196

CUSTOMER

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

BY BPP

TITLE SCALE
3/16" = 1'-0"

REV DATE

1 2022-11-11

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ENGINEER MS

DRAWN BY BET

CHECKED BY

DATE



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PERMIT.
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS
BEFORE COMMENCING WORK AND TO REPORT ANY
DISCREPANCIES TO THE ENGINEER.
UNITS AS MENTIONED ON THE DRAWINGS. ALL
CONSTRUCTION TO BE ACCORDING TO BEST COMMON
INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO
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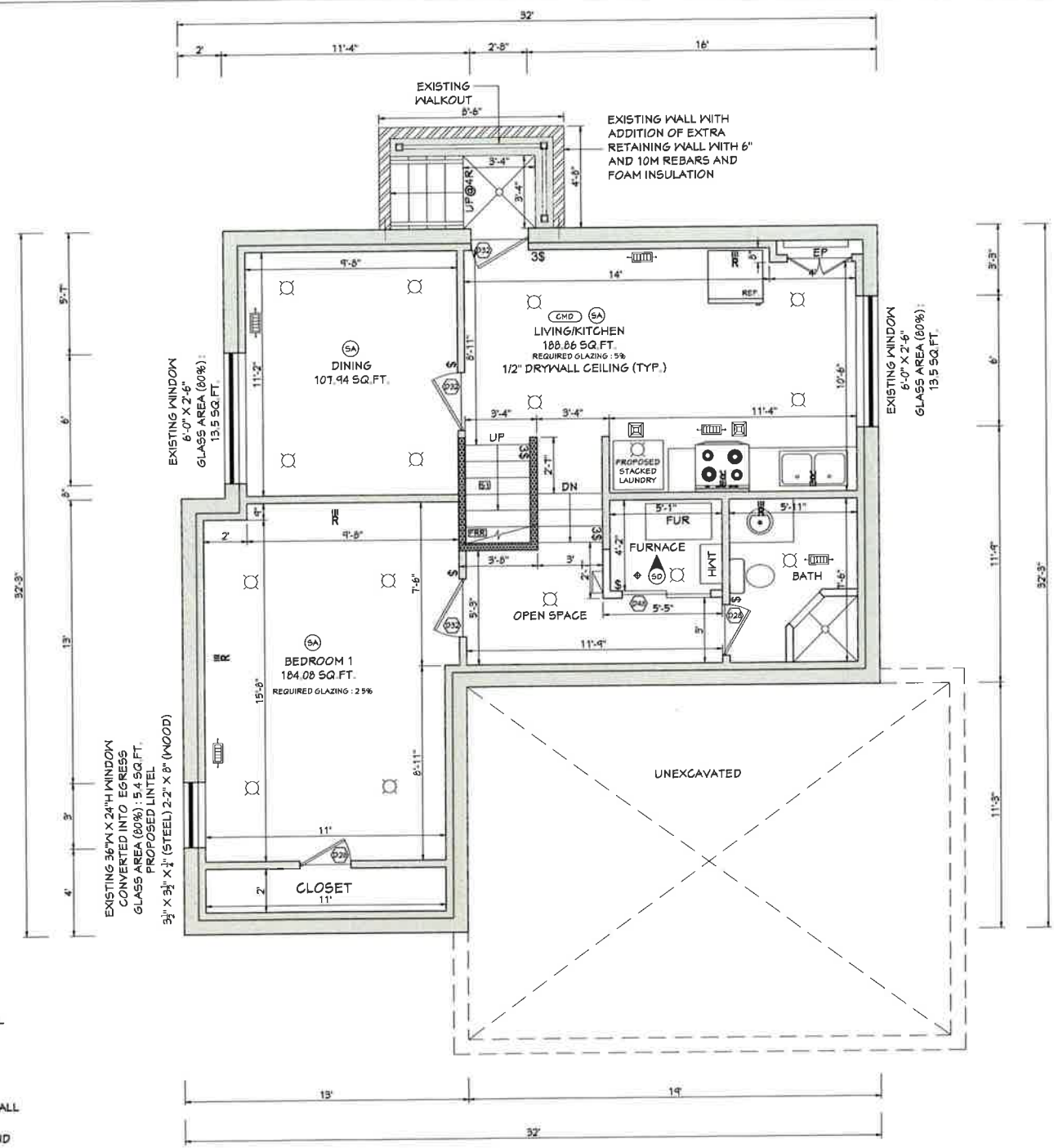
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- EXISTING WALL
- NEW WALL
- FIRE RATED WALL
- 6" WALL AROUND THE EXISTING RETAINING WALL



PROPOSED BASEMENT
(SCALE : 3/16" = 1'-0")

TITLE
73 BLACKTHORN LANE,
PROPOSED BASEMENT

PROJECT INFORMATION

PROJECT NO
22-196

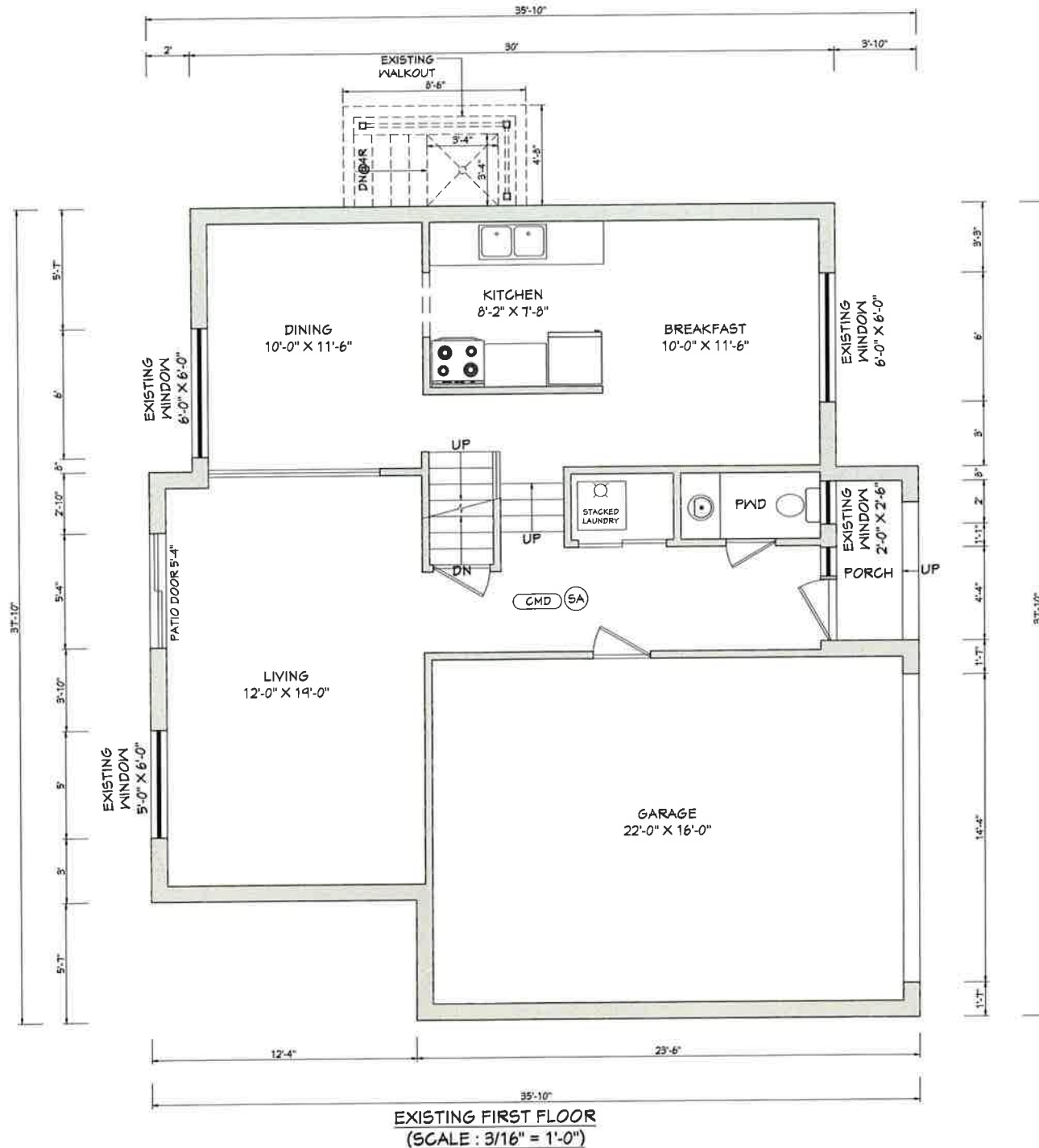
CUSTOMER

73 BLACKTHORN LANE

DESIGNER INFORMATION

ENGINEER
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EXISTING FIRST FLOOR
(SCALE : 3/16" = 1'-0")

TITLE
73 BLACKTHORN LANE,
BRAMPTON, ON
EXISTING FIRST FLOOR

PROJECT INFORMATION

PROJECT
NO. 22-196

CUSTOMER

PROJECT
73 BLACKTHORN LANE

DESIGNER INFORMATION

BY
BPP

TITLE
3/16" = 1'-0"

REV DATE

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UNITS AS MENTIONED ON THE DRAWINGS. ALL
CONSTRUCTION TO BE ACCORDING TO BEST COMMON
INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO
BUILDING CODE

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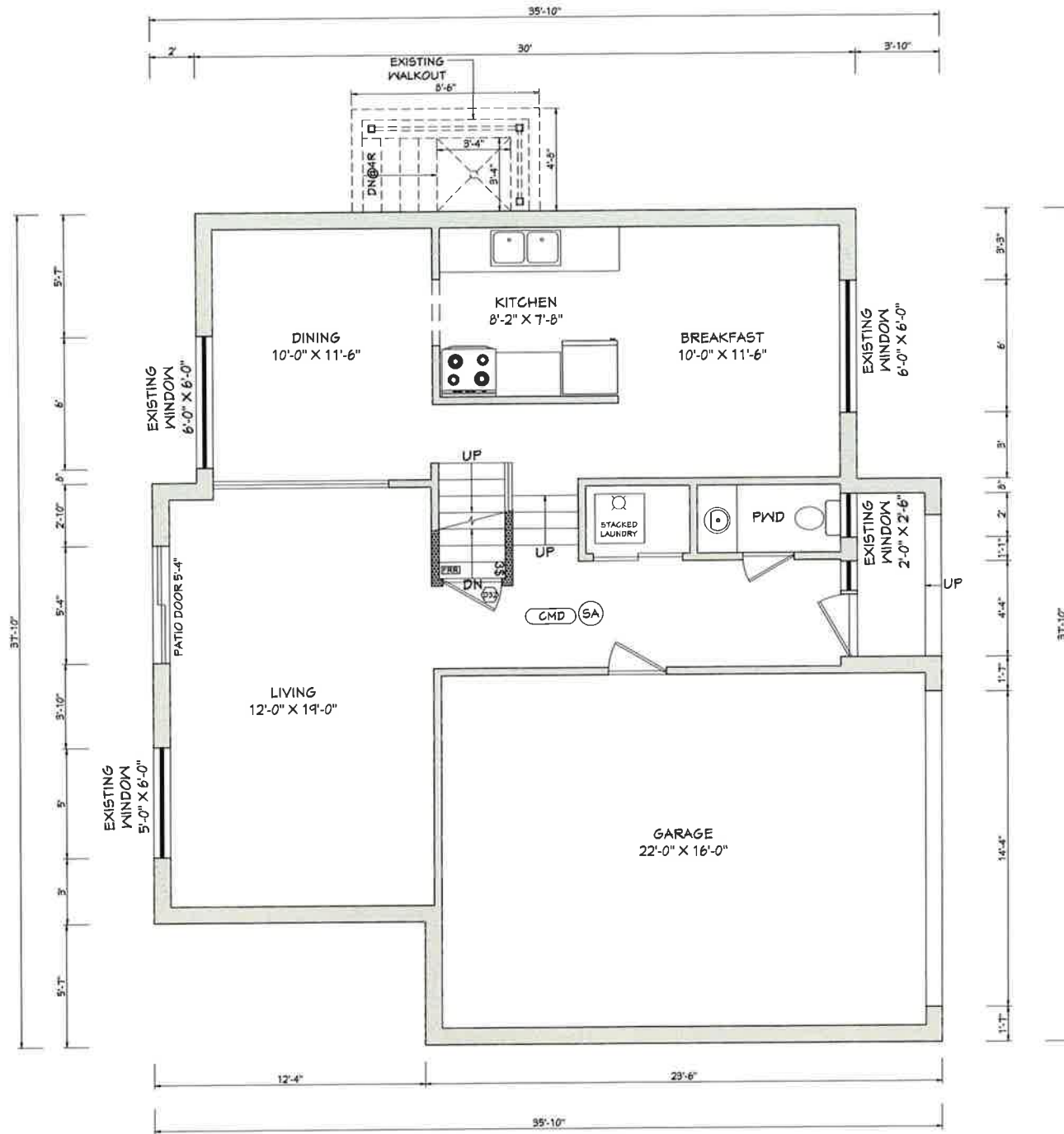
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PROPOSED FIRST FLOOR
(SCALE: 3/16" = 1'-0")

TITLE
73 BLACKTHORN LANE,
BRAMPTON, ON
PROPOSED FIRST FLOOR

PROJECT INFORMATION

PROJECT NO.
22-196

CUSTOMER

PROJECT
73 BLACKTHORN LANE

DESIGNER INFORMATION

ENGINEER
BPP

TITLE
SCALE
3/16" = 1'-0"

REV DATE

1 2022 11 11

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ENGINEER
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INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO
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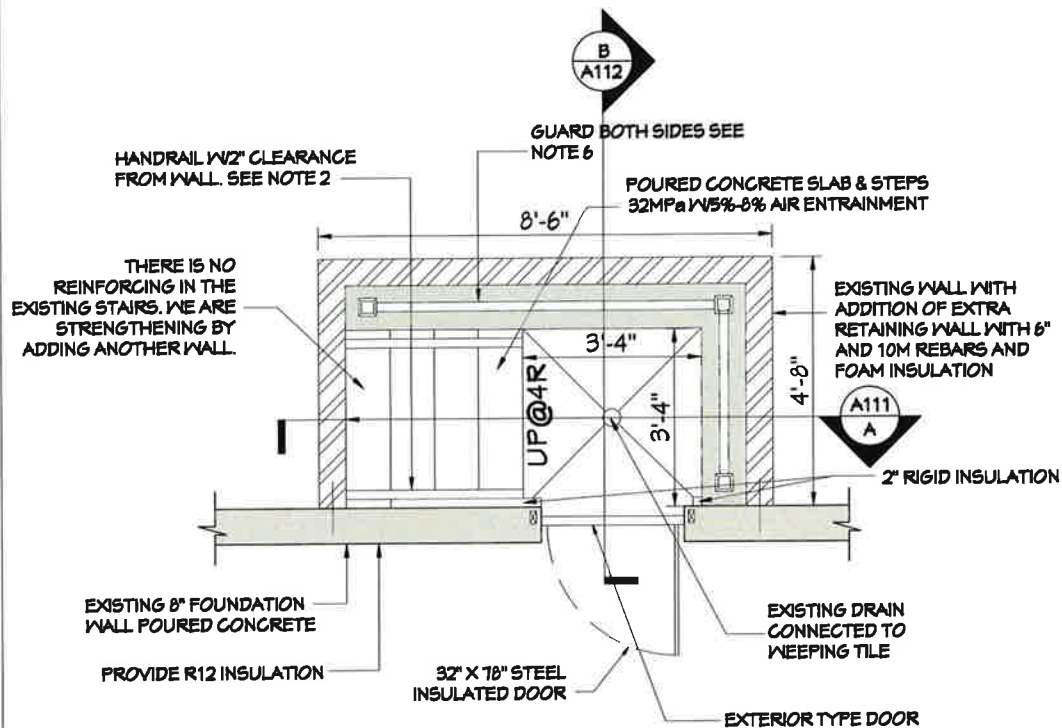
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WALKOUT PLAN
(SCALE : 3/8" = 1'-0")

GENERAL NOTES:

1. THE CONSTRUCTION OF GUARDS SHALL CONFORM TO THE LOADING CRITERIA IN OBC DIVISION B. ARTICLE 4.1.5.15 OR SUPP. STD SB-7

2. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH OBC AND REGULATIONS

3. MATERIALS SHALL BE AS FOLLOWS -

- 3.1 - CONC. 32Mpa AT 28 DAYS WITH 5-8% AIR ENTRAINMENT
- 3.2 - REINFORCEMENT STEEL, CSA G30, 18M GRADE 400
- 3.3 - GROUT, HILTI HIT HY 150 OR EQUAL
- 3.4 - INSULATION, 100mm DOW STYROFOAM SM
- 3.5 - BACKFILL TO BE OPS GRANULAR OR SUITABLE EXCAVATED MATERIAL

4. ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT

5. EXTERIOR DOOR SHALL CONFORM TO O.B.C. STANDARD 9.7.5. AND RESIST FORCED ENTRY PER O.B.C. STD. 9.7.5.2

6. EXTRUDED POLY STYRENE TO ACHIEVE A MINIMUM COMPRESSIVE STRENGTH OF 30PSI/207KPA AND A MINIMUM R-VALUE AS PER THE EXISTING INSULATION.

TITLE 73 BLACKTHORN LANE,
BRAMPTON, ON
WALKOUT PLAN

PROJECT INFORMATION

PROJECT NO. 22-196

CUSTOMER

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

BY ENGINEER STAMP

BPP

TITLE

SCALE

3/8" = 1'-0"

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DATE

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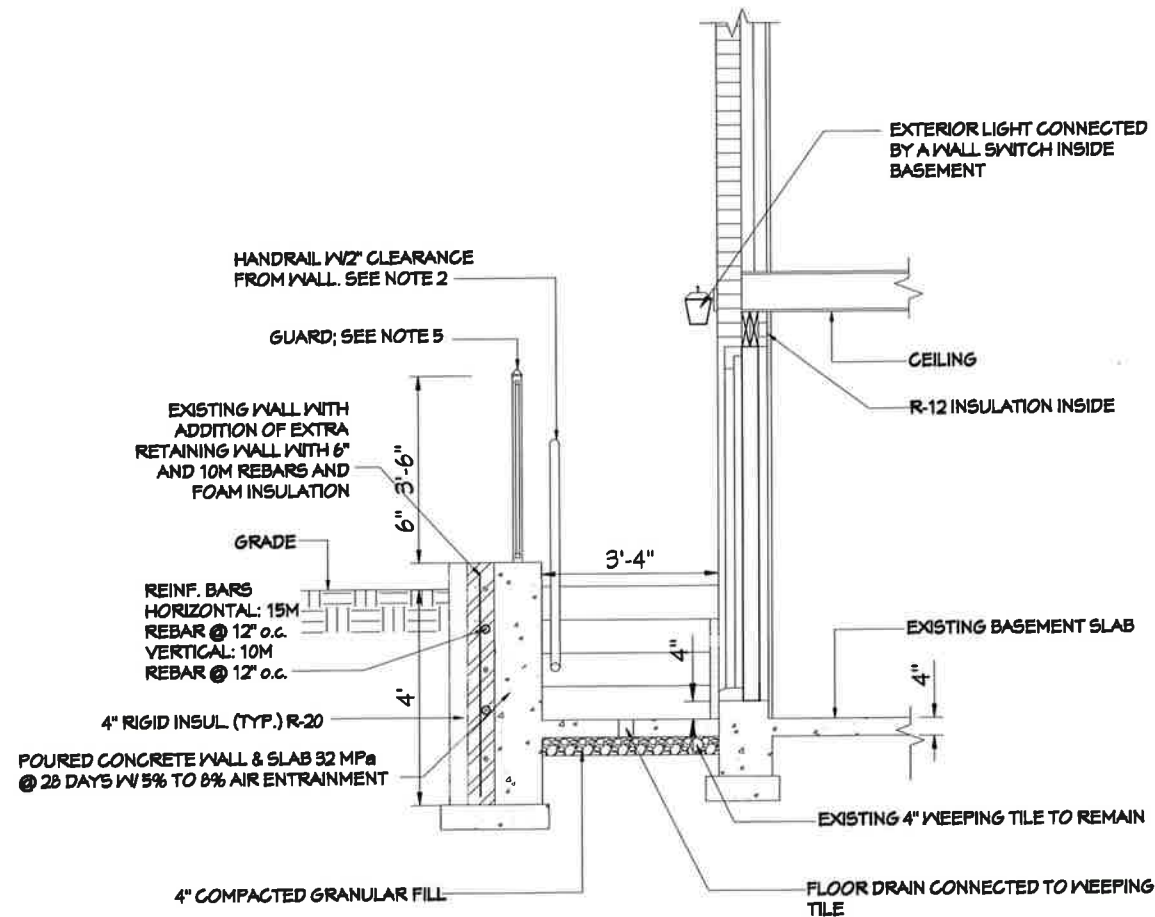
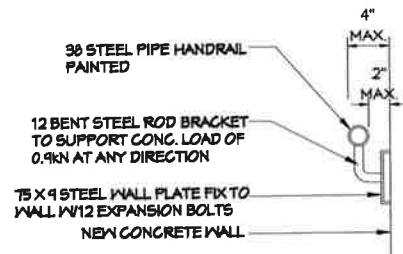
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SECTION -BB
(SCALE : 3/8" = 1'-0")

TITLE 73 BLACKTHORN LANE,
BRAMPTON, ON
SECTION B-B

PROJECT INFORMATION

PROJECT NO. 22-196

CUSTOMER

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

DESIGNER

ENGINEER

SCALE

3/8" = 1'-0"

REV DATE

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DISCREPANCIES TO THE ENGINEER.
UNITS AS MENTIONED ON THE DRAWINGS. ALL
CONSTRUCTION TO BE ACCORDING TO BEST COMMON
INDUSTRY PRACTICE AND CONFORM TO THE ONTARIO
BUILDING CODE.

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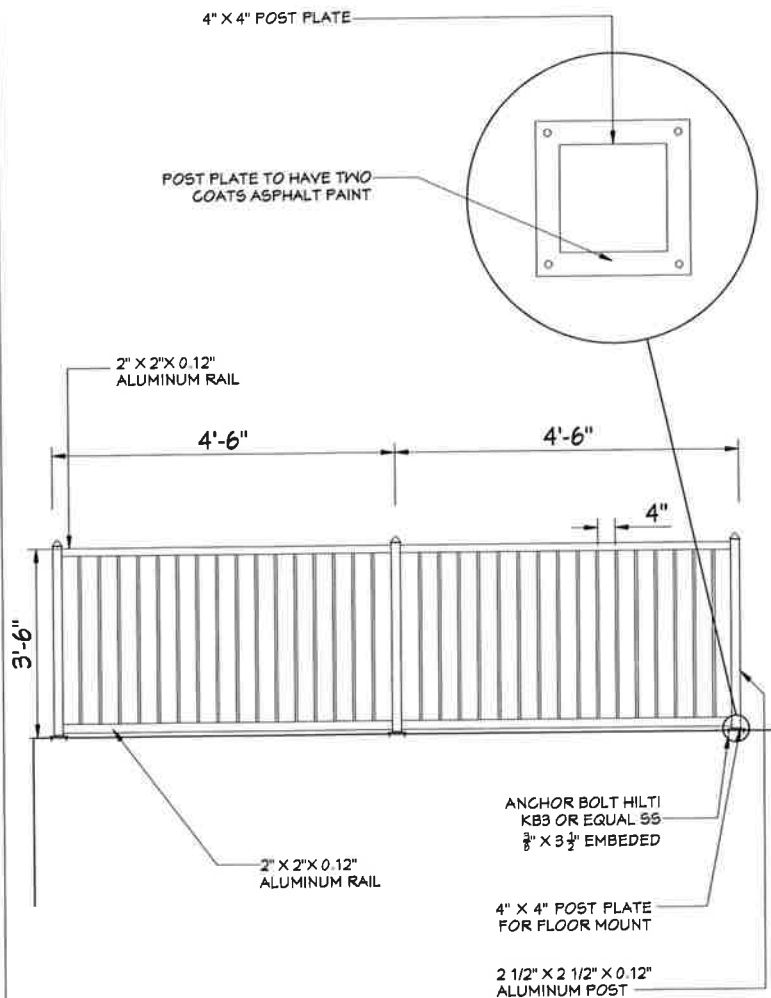
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GUARDRAIL DETAILS
(SCALE : 3/8" = 1'-0")

- 1 **FOOTINGS:**
FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 75 kPa
- 2 **HANDRAILS**
HANDRAILS SHOULD BE BETWEEN 34 TO 38 IN ABOVE THE TREAD AT THE LEADING EDGE LINE.
2 IN CLEARANCE FROM THE WALL IS REQUIRED
START AND END POINT OF HANDRAILS MUST NOT OBSTRUCT PEDESTRIAN TRAFFIC OR CREATE A HAZARD
BOTH SIDE HANDRAILS REQUIRED IF STAIRS ARE 43 IN OR WIDER.
- 3 **EXTERIOR STAIRS**
7 7/8" RISE MAXIMUM 4 7/8" MINIMUM
8 1/2" RUN MINIMUM 14" MAXIMUM
9 1/4" TREAD MINIMUM 14" MAXIMUM
- 4 **RETAINING WALL**
PROVIDE 10M REBAR @ 12" o.c.
- 5 **GUARDS (PRE-ENGINEERED)**
42 INCH HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"
36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.
- 6 **LIGHT**
ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT.
- 7 **EXTERNAL DOOR**
EXTERIOR DOOR GENERAL PERFORMANCE CRITERIA AND THERMAL RESISTANCE TO COMPLY WITH OBC 9.7.3
INSTALLATION OF MANUFACTURED AND PRE-ASSEMBLED DOORS SHALL CONFORM TO THE MANUFACTURER'S INSTRUCTIONS.
ALL UNFINISHED PORTIONS OF THE FRAME AND OTHER COMPONENTS OF DOORS IN CONTACT WITH THE EDGES OF MASONRY OR CONCRETE SHALL BE PROTECTED WITH CAULKING.
- 8 **INSULATION DETAILS**
RIGID INSULATION TO HAVE FOLLOWING SPECIFICATIONS:
 - STYROFOAM™ Brand SM Extruded Polystyrene Foam Insulation
 - RSI value of 0.87/25 mm [R-5 PER 1 INCH]
 - Board Size: [as indicated on Drawings].
 - Compressive Strength: 210 kPa
 - Draining Capacity: > 0.72 m3/hr/m
- 9 **INSULATION FINISHING**
INSTALL RIGID INSULATION ON EXISTING FOUNDATION WALL MIN 4 FT ABOVE EXISTING FOOTING
INSULATIONS TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM GRANULAR FILL UNDER STEPS COVER INSULATION WITH 1/2" CEMENT BOARD
INSTALL 2 1/2" GALVANIZED 'J' TRACK TO SECURE AND PROTECT ALL EXPOSED EDGES
ALL JOINTS TO THE EXISTING WALL AND NEW STEPS MUST BE CAULKED
APPLY SEAL GUARD TO ALL JOINTS ON CEMENT BOARD PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH

TITLE 73 BLACKTHORN LANE,
BRAMPTON, ON

GUARDRAIL DETAILS AND NOTES

PROJECT INFORMATION

PROJECT NO. 22-196

CUSTOMER

PROJECT 73 BLACKTHORN LANE

DESIGNER INFORMATION

DESIGNER

BPP

TITLE

SCALE

3/8" = 1'-0"

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