



Regular Meeting Agenda  
Brampton Heritage Board

The Corporation of the City of Brampton

**Date:** Tuesday, November 17, 2020  
**Time:** 7:00 p.m.  
**Location:** Council Chambers - 4th Floor, City Hall - Webex Electronic Meeting  
**Members:** Peter Dymond (Co-Chair)  
Douglas McLeod (Co-Chair)  
Stephen Collie  
Kathryn Fowlston  
Palvinder Gill  
Yugeshwar Singh Kaushal  
Janet Millington  
Peter Robertson  
Vipul Shah  
Basavaraj Toranagal  
Ken Wilde  
Paul Willoughby  
Regional Councillor P. Vicente - Wards 1 and 5

NOTICE: In consideration of the current COVID-19 public health orders prohibiting large public gatherings and requiring physical distancing, in-person attendance at Council and Committee meetings will be limited to Members of Council and essential City staff.

As of September 16, 2020, limited public attendance at meetings will be permitted by preregistration only (subject to occupancy limits). It is strongly recommended that all persons continue to observe meetings online or participate remotely. To register to attend a meeting in-person, please contact the City Clerk's Office at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or 905-874-2101.

For inquiries about this agenda, or to make arrangements for accessibility accommodations for persons attending (some advance notice may be required), please contact:

Tammi Jackson, Legislative Coordinator, Telephone 905.874.3829, TTY 905.874.2130 or [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca).

Note: Meeting information is also available in alternate formats upon request.

1. Call to Order
2. Approval of Agenda
3. Declarations of Interest under the Municipal Conflict of Interest Act
4. Previous Minutes

4.1. Minutes - Brampton Heritage Board - October 20, 2020

The minutes were considered by Planning and Development Committee on October 26, 2020, and the recommendations were approved by Council on October 28, 2020. The minutes are provided for the Board's information.

5. Consent

The following items listed with an caret (^) are considered to be routine and non-controversial by the Committee and will be approved at this time. There will be no separate discussion of any of these items unless a Committee Member requests it, in which case the item will not be consented to and will be considered in the normal sequence of the agenda.

(nil)

6. Presentations\Delegations

- 6.1. Delegation from Natalie Faught, Senior Coordinator, Credit Valley Trail Project, Credit Valley Conservation Authority re: The Credit Valley Trail Project

7. Sub-Committees

8. Designation Program

9. Heritage Impact Assessment (HIA)

**10. Correspondence**

**11. Other/New Business**

11.1. Discussion at the request of Ken Wilde, Member, re: 30 McLaughlin Road South.

11.2. Staff Report re: Heritage Permit Application for 45 Railroad Street - Heritage Permit Application for the

Second Phase of Conservation Work and Revisions to Previously Approved Conservation Work – 45 Railroad Street South - Ward 1 (HE.x 45 Railroad Street South)

11.3. Staff Report re: Intention to Designate under Part IV, Section 29 of the Ontario Heritage Act –

85 Wellington St. E. (James Packham House) - Ward 3 (H.Ex. 85 Wellington St. E.)

*To be distributed prior to the meeting.*

11.4. Staff Report re: Heritage Permit Application - 563 Bovarid Dr. E (Bovarid House)

*To be distributed prior to the meeting.*

**12. Referred/Deferred Items**

**13. Information Items**

**14. Question Period**

**15. Public Question Period**

**15 Minute Limit (regarding any decision made at this meeting)**

**16. Closed Session**

17. **Adjournment**

Next Meeting: Tuesday, December 15, 2020 at 7:00 p.m.





## Minutes

### Brampton Heritage Board

### The Corporation of the City of Brampton

**Tuesday, October 20, 2020**

**Members Present:** Peter Dymond (Co-Chair)  
Douglas McLeod (Co-Chair)  
Kathryn Fowlston  
Palvinder Gill  
Yugeshwar Singh Kaushal  
Peter Robertson  
Paul Willoughby  
Regional Councillor P. Vicente – Wards 1 and 5

**Members Absent:** Stephen Collie (regrets)  
Janet Millington (regrets)  
Vipul Shah (regrets)  
Basavaraj Toranagal (regrets)  
Ken Wilde (regrets)

**Staff Present:** Planning, Building and Economic Development:  
B. Bjerke, Director, Policy Planning  
J. Humble, Manager, Land Use Policy  
P. Doucet, Heritage Planner  
C. Jasinski, Heritage Planner  
H. Padhya, Assistant Heritage Planner  
A. Martins, Assistant Heritage Planner  
Legislative Services:  
P. Fay, City Clerk  
T. Brenton, Legislative Coordinator

## **Minutes – Brampton Heritage Board – October 20, 2020**

### **1. Call to Order**

The meeting was called to order at 7:30 p.m. and adjourned at 8:58 p.m.

### **2. Approval of Agenda**

The following motion was considered.

#### **HB025-2020**

That the agenda for the Brampton Heritage Board Meeting of October 20, 2020 be approved as published and circulated.

Carried

### **3. Declarations of Interest under the Municipal Conflict of Interest Act**

Nil

### **4. Previous Minutes**

#### **4.1 Minutes – Brampton Heritage Board – August 18, 2020**

The minutes were considered by the Planning and Development Committee on September 14, 2020, and the recommendations were approved by Council on September 16, 2020. The minutes were provided for the Board's information.

### **5. Consent**

Nil

### **6. Presentations\Delegations**

#### **6.1 Delegation from Rob El-Sayed, Church of Archangel Michael and St. Tekla, re: Request for Delisting the Heritage Property located at 12061 Hurontario Street (Snelgrove Baptist Church) – Ward 2**

Rob El-Sayed, in attendance with members of the Coptic Church Board, requested the Board's support for delisting of 12061 Hurontario Street. Mr. El-Sayed presented aerial views of the property, provided information on the

## Minutes – Brampton Heritage Board – October 20, 2020

development of the property, including agreements with the City and the Region of Peel, and outlined the reasons for his request.

Mr. El-Sayed responded to questions of clarification from the Board.

In response to questions from the Board, staff provided the following:

- indication that the property is designated under Part IV of the *Ontario Heritage Act*
- information on the process for removal of a heritage designation and confirmation that a formal request for removal of designation has not been received by the City
- details on staff's discussions to date with the property owners
- confirmation of staff's willingness to continue working with the property owners to address their concerns, and toward potential adaptive reuse of the heritage resource

Board consideration of this matter included a request for more information on the subject heritage resource, including photographs, and a proposed motion to receive the delegation and request that staff report back in early 2021 with the requested information.

Staff clarified that the report would not address the request for removal of the heritage designation from the property, given that a formal request has not been received by the City.

The following motion was considered.

### **HB026-2020**

1. That the delegation from Rob El-Sayed, Church of Archangel Michael and St. Tekla, re: **Request for Delisting the Heritage Property located at 12061 Hurontario Street (Snelgrove Baptist Church) – Ward 2**, to the Brampton Heritage Board Meeting of October 20, 2020, be received; and,
2. That staff report back to the Board in early 2021 with information on the subject property, to include photographs.

Carried

- 6.2 Delegation from Mark Jachecki, property owner, re: Heritage Incentive Grant Increase for Window Replacement – 87 Elizabeth Street South – Ward 3

## Minutes – Brampton Heritage Board – October 20, 2020

Mark Jachecki, property owner, 87 Elizabeth Street South, referenced his delegation to the Board on August 18, 2020, at which time he requested that the City review the maximum incentive grant amount, with a view to increasing it to keep up with inflation and be more in line with other municipalities like Toronto and Mississauga.

Mr. Jachecki highlighted the costs for window replacement for his property and requested the Board's consideration for an increased grant amount, given the recommendations outlined in the staff report (Item 11.3) for this project.

Item 11.3 was brought forward and dealt with at this time.

Harsh Padhya, Assistant Heritage Planner, Planning Building and Economic Development, provided an overview of staff report Item 11.3. Mr. Padhya noted that the current by-law does not allow for an increased grant amount for window replacement at 87 Elizabeth Street South, and indicated that staff would work with Mr. Jachecki for a potential increased grant amount should staff's recommendations be approved and the proposed by-law be passed by Council.

The following motions were considered.

### **HB027-2020**

1. That the delegation from Mark Jachecki, property owner, re: **Heritage Incentive Grant Increase for Window Replacement – 87 Elizabeth Street South – Ward 3**, to the Brampton Heritage Board Meeting of October 20, 2020, be received; and,
2. That the request from Mr. Jachecki for consideration of an increased grant amount for window replacement at 87 Elizabeth Street South be **referred** to staff for consideration.

Carried

### **HB028-2020**

1. That the report titled: Recommendation Report: Designated Heritage Property Incentive Grant Increase and Update to the Designated Heritage Property incentive Grant By-Law and Application Kit, to the Brampton Heritage Board Meeting of October 20, 2020, be received;
2. That the increase in the Designated Heritage Property Incentive Grant to a maximum matching grant of \$10,000 be approved;

## Minutes – Brampton Heritage Board – October 20, 2020

3. That the Designated Heritage Property Incentive Grant funds be moved to a capital account in the Policy Planning budget; and
4. That Council pass the by-law amending By-law 266-2011, attached as Appendix D.

Carried

- 6.3 Delegation from David Eckler, AREA Architects, re: Item 11.2 – Staff Report re: Heritage Permit Application and Revised Designation Report for 23 Centre Street South – Ward 3

David Eckler, AREA Architects, referenced the documentation, including two sets of documents from AREA Architects, outlined in staff report Item 11.2 regarding the Heritage Permit Application and Revised Designation Report for 23 Centre Street South. Mr. Eckler confirmed that the applicants are in support of the recommendations in the staff report.

Item 11.2 was brought forward and dealt with at this time.

Cassandra Jasinski, Heritage Planner, Planning, Building and Economic Development, provided an overview of the staff report. Ms. Jasinski proposed a revision to staff recommendation 2 a) iii, as follows:

"2 a) iii Provide financial securities as specified in the Heritage Conservation Plan in a form and amount satisfactory to the Commissioner of Planning and Development Services to secure all work included in the Heritage Building Protection Plan and Heritage Conservation Plan; and,"

The following motions were considered.

### HB029-2020

That the delegation from David Eckler, AREA Architects, re: **Item 11.2 – Staff Report re: Heritage Permit Application and Revised Designation Report for 23 Centre Street South – Ward 3**, to the Brampton Heritage Board Meeting of October 20, 2020, be received.

Carried

### HB030-2020

1. That the report titled: **Recommendation Report: Heritage Permit Application for the Removal of the Kitchen Tail and Conservation of the**

**Remainder of the Dwelling at 23 Centre Street South (Kilpatrick-Young House) and Demolition of Outbuildings on the Property and Revised Designation Report – 23 Centre Street South - Ward 3** (HE.x 23 Centre Street South), to the Brampton Heritage Board meeting of October 20, 2020, be received;

2. That the Heritage Permit application for the removal of the kitchen tail and conservation of the remainder of the dwelling known as the Kilpatrick-Young House be approved in accordance with Section 33 of the Ontario Heritage Act (the “Act”) subject to the following terms and conditions:

a. That prior to the issuance of site plan approval and any heritage permit or building permit, including a demolition permit, for the works associated with this heritage permit, the Owner shall:

i. Provide a Heritage Conservation Plan, prepared by a qualified heritage consultant and to the satisfaction of the Brampton Heritage Board and the Director of Policy Planning, in support of a subsequent heritage permit application for the conservation of the dwelling at 23 Centre Street South known as the Kilpatrick-Young House;

ii. Provide measured drawings and photo documentation of the interior and exterior portion of the building to be removed to the satisfaction of the Director of Policy Planning and for submission to the Archives at the Peel Art Gallery Museum and Archives (PAMA);

iii Provide financial securities as specified in the Heritage Conservation Plan in a form and amount satisfactory to the Commissioner of Planning and Development Services to secure all work included in the Heritage Building Protection Plan and Heritage Conservation Plan; and,

iv. Enter into a Heritage Easement Agreement (the “HEA”) with respect to the conservation of the Kilpatrick-Young House with the City, with content satisfactory to the Commissioner of Planning and Development Services, and in a form satisfactory to the City Solicitor.

b. That prior to the release of financial securities, the owner provide a letter, prepared and signed by a qualified heritage expert, certifying that all works as outlined in the approved Heritage Conservation Plan have been completed,

## **Minutes – Brampton Heritage Board – October 20, 2020**

and that an appropriate standard of conservation has been maintained, all to the satisfaction of the Director of Policy Planning, Planning and Development Services; and,

c. That the owner notify Heritage Planning staff of the removal date for the kitchen tail so that Heritage staff can be in attendance.

d. That until such time as the conservation work on the property at 23 Centre Street South can be completed, the owner ensure that the Property Standards By-law, as amended, is adhered to.

3. That the Heritage Impact Assessment (the “HIA”) prepared by AREA Architects, attached as Appendix B to this report, be received and that the recommendations/mitigation options contained therein be approved.

4. That the Notice of Intention to Designate 23 Centre Street South be withdrawn in order to facilitate for the issuance of a new Notice of Intention to Designate with a revised statement of cultural heritage value and heritage attributes.

5. That staff be authorized to publish and serve the Notice of Withdrawal to Designate the property at 23 Centre Street South in accordance with the requirements of the Act.

6. That the revised Designation Report for 23 Centre Street South, attached as Appendix D to this report, be approved.

7. That the designation of the property at 23 Centre Street South under Part IV, Section 29 of the Act be approved;

8. That staff be authorized to publish and serve the revised Notice of Intention to designate the property at 23 Centre Street South in accordance with the requirements of the Act;

9. That, in the event that no objections to the designation are received, a by-law be passed to designate the subject property;

10. That, in the event that any objections to the designation are received, staff be directed to refer the proposed designation to the Ontario Conservation Review Board; and,

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11. That staff be authorized to attend any hearing process held by the Conservation Review Board in support of Council's decision to designate the subject property.

Carried

### 7. **Sub-Committees**

Nil

### 8. **Designation Program**

Nil

### 9. **Heritage Impact Assessment (HIA)**

Nil

### 10. **Correspondence**

- 10.1 Correspondence from Krista Hulshof, Vice President, Ontario Barn Preservation, re: Preservation of Barns in Ontario

The following motion was considered.

#### **HB031-2020**

That the correspondence from Krista Hulshof, Vice President, Ontario Barn Preservation, re: **Preservation of Barns in Ontario**, to the Brampton Heritage Board Meeting of October 20, 2020, be received.

Carried

### 11. **Other/New Business**

- 11.1 Verbal Advisory from Paul Willoughby, Board Member, re: Riverwalk Urban Design Master Plan – Community Liaison Team

Paul Willoughby, Board Member, provided information on the City's Riverwalk project. Mr. Willoughby requested the Board's support for his participation as the Board's representative on the Community Liaison Team.



## **Minutes – Brampton Heritage Board – October 20, 2020**

At the request of the Board, Alex Taranu, Senior Advisor, Architectural Design Services, Public Works and Engineering, provided additional information on the Riverwalk project, which included details on the Environmental Assessment, a Public Information Session held on October 1, 2020, timelines for the detailed design, and funding requirements from other levels of government.

Mr. Taranu encouraged Board Members to review information on this project on the City's website at [www.brampton.ca/riverwalk](http://www.brampton.ca/riverwalk) and to complete the survey at [www.surveymonkey.com/r/riverwalk-udmp](http://www.surveymonkey.com/r/riverwalk-udmp).

The following motion was considered.

### **HB032-2020**

1. That the verbal advisory from Paul Willoughby, Board Member, re: **Riverwalk Urban Design Master Plan - Community Liaison Team**, to the Brampton Heritage Board Meeting of October 20, 2020, be received; and,
2. That Paul Willoughby be named the Board's representative on the Riverwalk Urban Design Master Plan - Community Liaison Team.

Carried

- 11.2 Staff Report re: Heritage Permit Application and Revised Designation Report for 23 Centre Street South – Ward 3

### **Dealt with under Item 6.3 – Recommendation HB030-2020**

See also Recommendation HB029-2020

- 11.3 Staff Report re: Designated Heritage Property Incentive Grant Increase and Update to the Designated Heritage Property Incentive Grant By-Law and Application Kit

### **Dealt with under Item 6.2 – Recommendation HB028-2020**

See also Recommendation HB027-2020

- 11.4 Staff Report re: City of Brampton's Comments Regarding the Proposed Regulation under the Ontario Heritage Act (Bill 108)

## **Minutes – Brampton Heritage Board – October 20, 2020**

Cassandra Jasinski, Heritage Planner, Planning, Building and Economic Development, provided an overview of the subject report, and responded to questions from the Board.

The following motion was considered.

### **HB033-2020**

1. That the report from Cassandra Jasinski, Heritage Planner, Policy Planning, dated October 20, 2020, to the Brampton Heritage Board meeting of October 20, 2020, City of Brampton's Comments Regarding the Proposed Regulation under the Ontario Heritage Act (Bill 108), be received;
2. That the Brampton Heritage Board endorse the comments and concerns of staff, outlined in the report and in the Appendix, and the recommendations below;
3. That the proposed comments in response to the relevant Environmental Registry of Ontario (ERO) notice regarding Proposed Regulation under the Ontario Heritage Act (Bill 108), included as an appendix to this report, be submitted as the City of Brampton's formal response;
4. That the Mayor write to the Premier of Ontario and the Ministry of Heritage, Sport, Tourism and Culture Industries before the commenting period of 45-days expires on November 5, 2020 to highlight the City's concern with the timing of the consultation period and the coming into and effect of the proposed amendments, given the ongoing COVID-19 Pandemic;
5. That the Mayor and/or designate be authorized to make a written and/or a verbal submission on the Proposed Regulation, when it is referred, to the appropriate Legislative Committee for review;
6. That a copy of this report and any associated Council resolution be submitted to the Province, through the Environmental Registry of Ontario, the Ministry of Heritage, Sport, Tourism and Culture Industries, Brampton Members of Provincial Parliament, and to the Region of Peel and the Association of Municipalities of Ontario.

Carried

- 11.5 Staff Report re: Designation, Demolition and Reconstruction of the Heritage Property at 15 Bramalea Road – Ward 7

The Board agreed to vary the order of business, and considered this item before Item 11.4.

## **Minutes – Brampton Heritage Board – October 20, 2020**

Pascal Doucet, Heritage Planner, Planning, Building and Economic Development, provided an overview of the subject report.

Mr. Doucet noted that Emad Ghattas, GBCA Architects, was in attendance to respond to any questions from the Board. No questions were put forward to Mr. Ghattas.

Board consideration of this matter included appreciation for staff's efforts toward preservation of the subject heritage resource.

The following motion was considered.

### **HB034-2020**

1. That the report titled: Designation, Demolition and Reconstruction of the Heritage Property at 15 Bramalea Road – Ward 7 (HE.x 15 Bramalea Road), to the Brampton Heritage Board Meeting of September 15, 2020, be received;
2. That City Council state its intention to designate the property at 15 Bramalea Road under Part IV, Section 29 of the Ontario Heritage Act, as amended (the “Act”) in accordance with the Statement of Significance, reasons for designation and list of heritage attributes attached as Appendix A to this report;
3. That staff be authorized to publish and serve the Notice of Intention to designate 15 Bramalea Road in accordance with the requirements of the Act;
4. That, in the event that no objections to the designation are received, a by-law be passed to designate the subject property;
5. That, in the event that any objections to the designation are received, staff be directed to refer the proposed designation to the Ontario Conservation Review Board;
6. That staff be authorized to attend any hearing process held by the Conservation Review Board in support of Council's decision to designate the subject property; and
7. That City Council approve the request made under section 34 of the Act to demolish the subject property, to allow for the construction of a new warehouse building and the construction of two new office buildings, including the reconstruction of the existing one-storey front heritage office wing, as approved by the Local Planning Appeal Tribunal (the “LPAT”) in principle on September 13, 2019, substantially in accordance with the Heritage Impact Assessment by Goldsmith Borgal & Company Ltd., dated 15 February, 2019 (final revised submission), including the addendum dated June 6, 2019 and

## **Minutes – Brampton Heritage Board – October 20, 2020**

attached as Appendix B to this report, and the Conservation Plan (Stage 1) prepared by Goldsmith Borgal & Company Ltd., dated June 6, 2019 (final revised submission) and attached as Appendix C to this report, all subject to the following additional conditions:

- a. That the reconstruction of the heritage office wing includes the salvage, reuse and reinstatement of the existing white brick veneer and top aggregate panels with pebble dash from the existing one-storey front heritage office wing; and
- b. That prior to the issuance of any permit for all or any part of the property located at 15 Bramalea Road, including a heritage permit, a building permit or a permit related to the demolition, shoring and excavation of the subject property, the Owner shall:
  - i. Provide a Conservation and Reconstruction Plan (Stage 2) to the satisfaction of the Director of Policy Planning, Planning, Building and Economic Development to provide the final details for the conservation and reconstruction of the one-storey front wing facing Bramalea Road that has not been provided in the Conservation Plan (Stage 1); and
  - ii. Provide full documentation of the existing heritage property at 15 Bramalea Road, including two (2) sets of archival quality 8" x 10" colour photographs with borders in a glossy or semi-gloss finish and one (1) digital set on a CD in tiff format keyed to a location map, elevations and measured drawings to the satisfaction of the Directory of Policy Planning, Planning, Building and Economic Development.

Carried

### **12. Referred/Deferred Items**

Nil

### **13. Information Items**

Nil

### **14. Question Period**

Nil

**15. Public Question Period**

Members of the public were given the opportunity to submit questions via e-mail to the City Clerk's Office regarding any decisions made at this meeting.

Peter Fay, City Clerk, confirmed that no questions were submitted regarding decisions made at this meeting.

**16. Closed Session**

Nil

**17. Adjournment**

The following motion was considered.

**HB035-2020**

That the Brampton Heritage Board do now adjourn to meet again on Tuesday, November 17, 2020 at 7:00 p.m. or at the call of the Chair.

Carried

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**Peter Dymond, Co-Chair**

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**Doug McLeod, Co-Chair**



## Delegation Request

For Office Use Only:

Meeting Name:

Meeting Date:

Please complete this form for your request to delegate to Council or Committee on a matter where a decision of the Council may be required. Delegations at Council meetings are generally limited to agenda business published with the meeting agenda. Delegations at Committee meetings can relate to new business within the jurisdiction and authority of the City and/or Committee or agenda business published with the meeting agenda. **All delegations are limited to five (5) minutes.**

Attention: City Clerk's Office, City of Brampton, 2 Wellington Street West, Brampton ON L6Y 4R2

Email: [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) Telephone: (905) 874-2100 Fax: (905) 874-2119

Meeting: ☐ City Council ☐ Planning and Development Committee  
☐ Committee of Council ☒ Other Committee:

[Brampton Heritage Board](#)

Meeting Date Requested: [Nov 17, 2020](#)

Agenda Item (if applicable):

Name of Individual(s): [Natalie Faught](#)

Position/Title:

[Senior Coordinator, Credit Valley Trail Project](#)

Organization/Person  
being represented:

[Credit Valley Conservation Authority](#)

Full Address for Contact: [1255 Old Derry Rd,  
Mississauga,  
ON L5N 6R4](#)

Telephone: [905-670-1615](#)

Email: [natalie.faught@cvc.ca](mailto:natalie.faught@cvc.ca)

Subject Matter  
to be Discussed:

[The Credit Valley Trail Project](#)

Action  
Requested:

[A short presentation to the Brampton Heritage Board to provide an overview and update on the progress of the Credit Valley Trail Project.](#)

A formal presentation will accompany my delegation: ☒ Yes ☐ No

Presentation format: ☒ PowerPoint File (.ppt) ☐ Adobe File or equivalent (.pdf)  
☐ Picture File (.jpg) ☐ Video File (.avi, .mpg)

☐ Other:

Additional printed information/materials will be distributed with my delegation: ☐ Yes ☐ No ☐ Attached

**Note:** Delegates are requested to provide to the City Clerk's Office **well in advance of the meeting date:**

- (i) 25 copies of all background material and/or presentations for publication with the meeting agenda and /or distribution at the meeting, and
- (ii) the electronic file of the presentation to ensure compatibility with corporate equipment.

**Submit by Email**

Once this completed form is received by the City Clerk's Office, you will be contacted to confirm your placement on the appropriate meeting agenda.

Personal information on this form is collected under authority of the Municipal Act, SO 2001, c.25 and/or the Planning Act, R.S.O. 1990, c.P.13 and will be used in the preparation of the applicable council/committee agenda and will be attached to the agenda and publicly available at the meeting and on the City's website. Questions about the collection of personal information should be directed to the Deputy City Clerk, Council and Administrative Services, 2 Wellington Street West, Brampton, Ontario, L6Y 4R2, tel. 905-874-2115.



**Credit Valley  
Conservation**  
inspired by nature

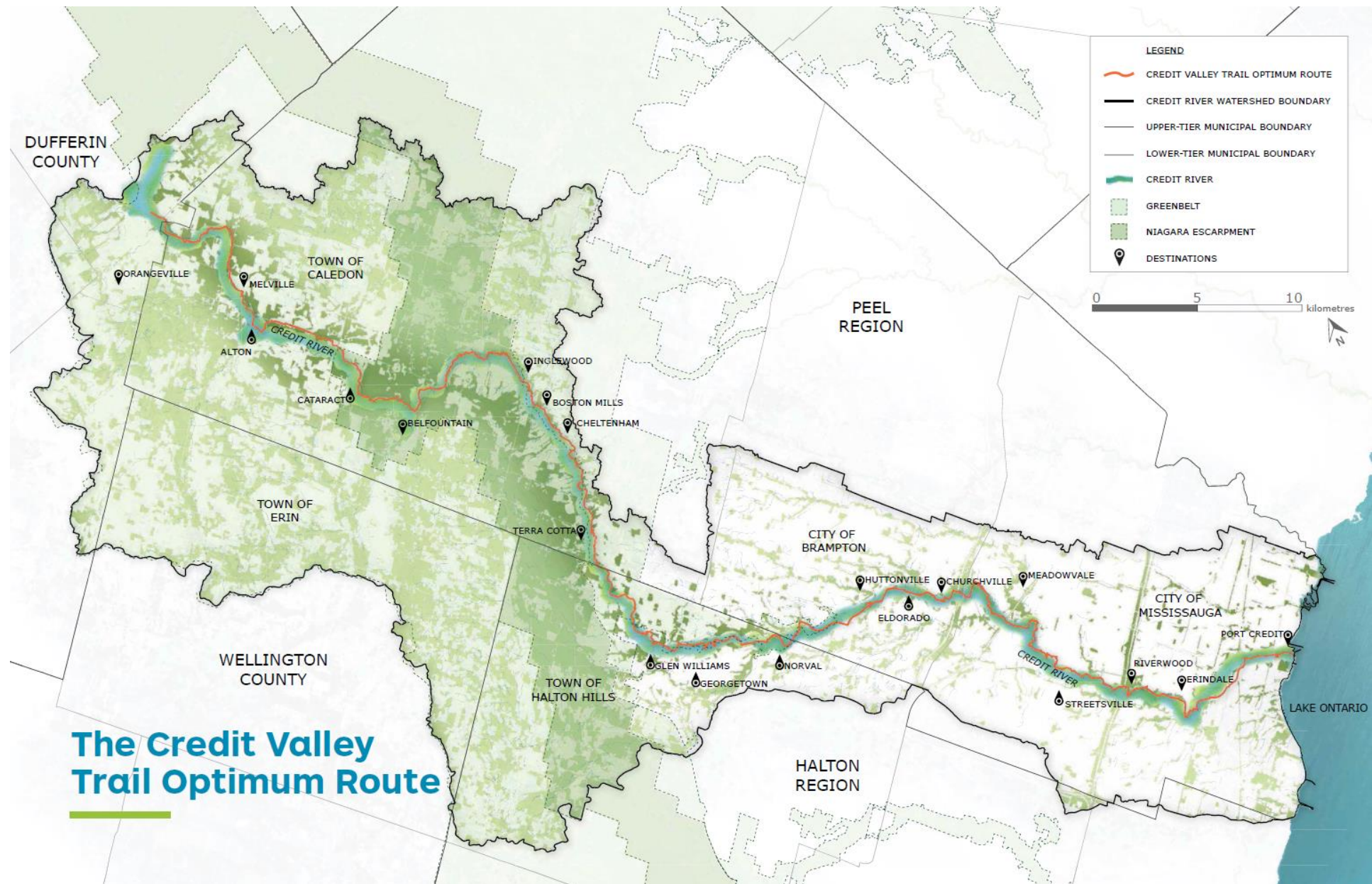
# The Credit Valley Trail

To: Members of the Brampton Heritage Board

Date: November 17<sup>th</sup>, 2020

Presented By: CVT Coordinator, Natalie Faught







## More than a trail.....

# The Credit Valley Trail Experience

The CVT is more than a trail. It's an experience that will take you places, both physically and emotionally, that you have never been before.

A series of six experiential themes provide abundant opportunity to bring the trail to life. They empower trail users to become a part of the history and future of the Credit River.



**Arts,  
Culture and  
Tourism**



**Environmental  
Education**



**Indigenous  
Heritage  
and Values**



**Heritage  
Destinations**

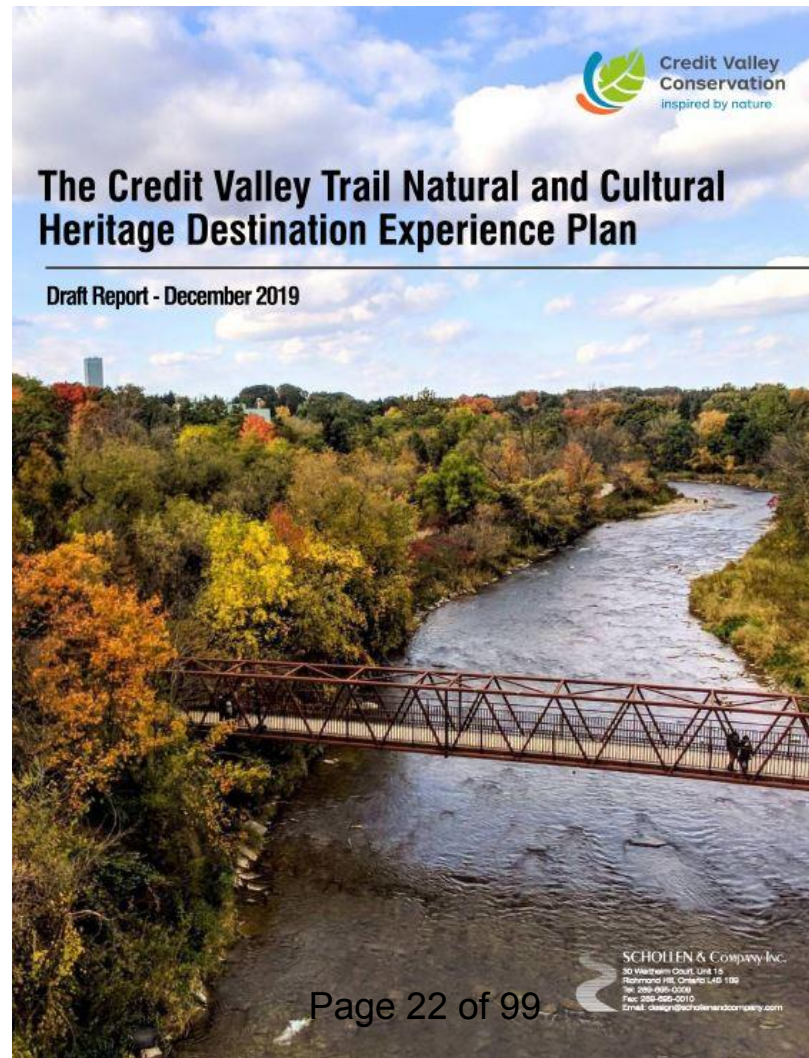


**Recreation  
and Active  
Transportation**



**Social  
Connectivity  
and Cohesion**

# The CVT Natural & Cultural Heritage Destination Plan



Credit Valley Trail Indigenous  
Experience Implementation Plan

Credit Valley Conservation

March 2020



Credit Valley  
Conservation  
inspired by nature



CREDIT VALLEY  
TRAIL

**Get involved with the CVT!**

**questions?**



**inspired by nature**

**Date:** 2020-11-06

**Subject:** Heritage Permit Application for 45 Railroad Street

**Secondary Title:** Recommendation Report: Heritage Permit Application for the Second Phase of Conservation Work and Revisions to Previously Approved Conservation Work – 45 Railroad Street South - Ward 1 (HE.x 45 Railroad Street South)

**Contact:** **Cassandra Jasinski, MA, CAHP, Heritage Planner,**  
**cassandra.jasinski@brampton.ca**

**Report Number:** Planning, Building and Economic Development-2020-377

**Recommendations:**

1. That the report titled: Recommendation Report: Heritage Permit Application for the Second Phase of Conservation Work and Revisions to Previously Approved Conservation Work – 45 Railroad Street South - Ward 1 (HE.x 45 Railroad Street South), to the Brampton Heritage Board meeting of November 17, 2020, be received;
2. That the Heritage Permit application for the Second Phase of Conservation Work and Revisions to Previously Approved Conservation Work at 45 Railroad Street be approved in accordance with Section 33 of the *Ontario Heritage Act* (the “Act”) subject to the following terms and conditions:
  - a. That the owner undertake all work substantially in accordance with the revised Conservation Plan by ERA Architects dated November 4, 2020 and in compliance with all applicable laws having jurisdiction and by retaining all necessary permits; and,
  - b. That prior to the release of financial securities associated with the site plan application SP09-010.001 for 45 Railroad Street, the owner provide a letter, prepared and signed by a qualified heritage expert, certifying that all works as outlined in the approved Heritage Conservation Plan have been completed, and that an appropriate standard of conservation has been

maintained, all to the satisfaction of the Director of City Planning and Design, Building & Economic Development Department.

3. That the 45 Railroad Street Interpretation Plan prepared by ERA Architects, dated November 4, 2020, be received and that the interpretation strategy detailed therein be approved.

**Overview:**

- The property at 45 Railroad Street (the Copeland-Chatterson/Dominion Skate Building) is designated under Part IV of the *Ontario Heritage Act* (the “Act”).
- In accordance with Section 33 of the *Ontario Heritage Act*, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.
- A Heritage Permit application for 45 Railroad Street was submitted on November 5, 2020 for Second Phase of Conservation Work and Revisions to Previously Approved Conservation Work at 45 Railroad Street.
- The heritage permit application is a revision to and expansion of the heritage permit previously approved in 2016 (HB055-2016).
- The property is associated with an approved site plan application (SP09-010.001) and will require further site plan submissions to incorporate the proposed changes to the site.
- This report recommends the approval of the Heritage Permit application for 45 Railroad Street subject to terms and conditions.

**Background:**

The property at 45 Railroad Street is located on the west side of Mill Street North, south of Railroad Street. It contains an early 20th century industrial building known as the Copeland-Chatterson/Dominion Skate Building, which is currently comprised of a two-storey office building and the front façade of a former one-storey factory. The property was designated under Part IV of the Act as a property of cultural heritage value or interest.

On May 27 2016, a heritage permit application for a residential high-rise development that incorporates and rehabilitates the Copeland-Chatterson/Dominion Skate Building was submitted as part of site plan application SP09-010.001.

The proposal is for a residential high-rise development comprised a 27-storey and 25-storey tower on a three-storey podium that incorporates the Copeland-



Chatterson/Dominion Skate Building. The project will be completed in two phases, with the 27-storey building on the easterly portion of the proposal completed first, followed by the 25-storey building and two-storey apartment style dwellings on the westerly half of the property.

The application was supported by a heritage conservation plan and was approved with terms and conditions (Appendix A, HB055-2016), which included the specification of conservation work details, the submission of securities associated with the conservation work, and the submission of an Interpretation Plan. These conditions were fulfilled and the heritage permit was issued in the Fall of 2016.

The property is designated under Part IV of the Act through by-law 150-2015. In accordance with Section 33 of Act, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.

### Policy Framework

#### *The Planning Act*

The *Planning Act* guides development in the Province of Ontario and states that municipalities must have regard for matters of provincial interest. The conservation of features of significant architectural, cultural, historical, archaeological or scientific interest is identified under paragraph 2(d) of the *Planning Act* as a matter of provincial interest.

#### *Provincial Policy Statement (2014)*

The Provincial Policy Statement is issued under the authority of Section 3 of the Planning Act. The *Planning Act* requires that all decisions affecting land use planning be consistent with the Provincial Policy Statement.

Policies 1.7.1 d) and 2.6.1 of the Provincial Policy Statement direct that:

*“Long-term economic prosperity should be supported by: d) encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes”*

*“Significant built heritage resources and significant cultural heritage landscapes shall be conserved”*

#### *Growth Plan for the Greater Golden Horseshoe*

The Growth Plan for the Greater Golden Horseshoe (2017) provides a framework for managing growth within the Greater Golden Horseshoe region. Policy 4.2.7.1 of the Growth Plan states that: *“Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.”*

#### *City of Brampton Official Plan*

The City of Brampton Official Plan policies that are relevant in the context of this report and heritage permit application are:

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

#### **Current Situation:**

##### Heritage Permit:

ERA Architects submitted a complete Heritage Permit Application (Appendix B) on November 5, 2020 on behalf of the owners of 45 Railroad Street. In accordance with Section 33 of the Act, Council must respond to the application by February 2, 2021. ERA Architects submitted a revised Heritage Conservation Plan and Revised Interpretation Plan in support of the heritage permit application.

The heritage permit application reaffirms the approved 2016 alterations, rehabilitating the Copeland-Chatterson/Dominion Skate Building as a podium for a residential tower. Alterations to the original scope of work proposed in 2016 include the following:

##### Historic Two-Storey Former Office Component

- Retention of the central projecting bay (“bump out”) on the west elevation and corresponding rehabilitation and restoration work including:
  - Bricking in of basement windows on the west façade of the bump out using salvaged materials;
  - Bricking in of four windows on the south façade using salvaged materials;

- Introduction of new door openings on the north and south elevations to facilitate access into the building;
- Replication of remaining windows on the bump out; and,
- Repair of brickwork and foundation where required.
- Removal of the rooftop terrace and glass guard originally proposed to allow for an outdoor play area.

The central project bay of the two storey office component, referred to as the “bump out”, was originally proposed to be removed. Its retention ensures that even more of the property’s historic fabric will be retained and incorporated into the new development. The changes proposed to the bump out facilitate the rehabilitation of the building and are agreeable, especially as the bump out was originally proposed to be removed.

#### One-Storey Historic Factory Façade

- Replication of all historic windows sashes and frames with new wood, double-glazed window units;
- Relocation of proposed door openings; and,
- Conversion of two additional windows into doors to allow additional ingress/egress from the building, as well as corresponding brick repair.

The 2016 heritage permit application considered the replication of the window sashes. Due to the extensive nature of repairs which would be required and concerns about weather tight sealing between the new windows and original wood frames, the wood frames are also now proposed to be replicated in kind. The window hardware will be salvaged and installed on the basement windows so that, while not usable, the hardware will still be visible.

All conservation work will be carried out by a heritage conservation professional with at least five years of experience in each trade. Where required, the masonry will be rebuilt using bricks salvaged from the site and repointed with lime-based mortar to match existing.

In addition, the revised Interpretation Plan (Appendix C) provides further details and renderings for the proposed interpretation of the site, both interior and exterior. The Interpretation Plan for the site includes:

- Graphic window treatment on the exterior east elevation;
- Sculptural element on the exterior north yard; and,

- Architectural elements, object display, photographs and etched elevator surround in the interior lobby.

Heritage staff will continue to work with the applicant to determine the details of the Interpretation Plan as the project progresses. It is recommended that the revised Interpretation Plan be received and the interpretation strategy detailed therein be approved.

Heritage staff recommend the approval of the heritage permit subject to the following conditions:

- a. That the owner undertake all work substantially in accordance with the revised Conservation Plan by ERA Architects dated November 4, 2020 and in compliance with all applicable laws having jurisdiction and by retaining all necessary permits; and,
- b. That prior to the release of financial securities associated with the site plan application SP09-010.001 for 45 Railroad Street, the owner provide a letter, prepared and signed by a qualified heritage expert, certifying that all works as outlined in the approved Heritage Conservation Plan have been completed, and that an appropriate standard of conservation has been maintained, all to the satisfaction of the Director of City Planning and Design, Building & Economic Development Department.

### **Corporate Implications:**

#### Financial Implications:

None.

#### Other Implications:

None.

### **Term of Council Priorities:**

This report meets the Term of Council Priorities by building on Brampton's commitment to sustainability by adaptively re-using existing building stock and contributing to sustainable growth.

### **Conclusion:**

The Copeland-Chatterson/Dominion Skate Building is an important historic landmark in downtown Brampton. The conservation proposal, revised since its initial approval in 2016,

now includes the retention of more of the property's heritage fabric and provides clarification on the proposed interpretation strategy. Heritage staff have reviewed the Heritage Permit application for 45 Railroad Street and its accompanying documents. It is recommended that the Heritage Permit be approved subject to the terms and conditions recommended by Heritage staff.

Authored by:

Reviewed by:

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Cassandra Jasinski, MA, CAHP  
Heritage Planner,  
City Planning and Design  
Planning, Building & Economic  
Development

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Bob Bjerke, MCIP, RPP  
Director, City Planning and Design  
Planning, Building & Economic Development

Approved by:

Submitted by:

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Richard Forward, MBA, M.Sc., P.Eng.  
Commissioner, Planning, Building &  
Economic Development

---

David Barrick, Chief Administrative Officer

### **Attachments:**

Appendix A – Correspondence 2016 45 Railroad Street Heritage Permit Application  
Appendix B – 45 Railroad Street Heritage Permit Application  
Appendix C – 45 Railroad Street Revised Interpretation Plan

July 8, 2016

Jordan Molnar  
 Project Manager  
 ERA Architects Inc.  
 10 Mary Street, Suite 801  
 Toronto, ON M4Y 1P9

**Re: Heritage Permit Application – 45 Railroad Street – Ward 1 (HE.x)**

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The following recommendation from the Brampton Heritage Board Meeting of June 21, 2016 was approved by the Council of The Corporation of the City of Brampton on July 6, 2016:

- HB055-2016
1. That the report from Stavroula Kassaris, Heritage Coordinator, Planning and Infrastructure Services, dated June 1, 2016, to the Brampton Heritage Board Meeting of June 21, 2016, re: **Heritage Permit Application – 45 Railroad Street – Ward 1 (HE.x)**, be received; and,
  2. That the Heritage Permit application for 45 Railroad Street for a residential high-rise development that incorporates and rehabilitates the Copeland-Chatterson/Dominion Skate Building be approved, subject to the following conditions:
    - a) That prior to the issuance of the Heritage Permit, the owner provide details regarding the masonry cleaning approach to the satisfaction of the Heritage Coordinator, Planning and Infrastructure Services;
    - b) That prior to Site Plan approval, the owner provide financial securities in an amount and form satisfactory to the Executive Director of Planning, Planning and Infrastructure Services, to secure all work included in the Conservation Plan by ERA Architects dated May 27, 2016;
    - c) That prior to Site Plan approval, the owner submit a final Interpretation Plan to the satisfaction of the Heritage Coordinator, Planning and Infrastructure Services;

- d) That the owner undertake all work in accordance with the approved Conservation Plan by ERA Architects dated May 27, 2016 and in compliance with all applicable laws having jurisdiction and by retaining all necessary permits prior to the release of the financial securities and to the satisfaction of the Executive Director of Planning, Planning and Infrastructure Services; and,
- e) That prior to the release of the financial securities the owner shall provide a letter of substantial completion prepared and signed by a qualified heritage consultant confirming that the work has been completed in accordance with the Conservation Plan by ERA Architects dated May 27, 2016, that an appropriate standard of conservation has been maintained, and that the Interpretation Plan has been executed, to the satisfaction of the Heritage Coordinator, Planning and Infrastructure Services.

Yours truly,

Terri Brenton  
Legislative Coordinator, City Clerk's Office  
Tel: 905.874.2106 / Fax: 905.874.2119 / TTY: 905.874.2130  
e-mail: [terri.brenton@brampton.ca](mailto:terri.brenton@brampton.ca)

(HB-10.1)

cc: Planning and Infrastructure Services:  
H. MacDonald, Director, Planning Policy and Growth Management  
D. Waters, Manager, Land Use Policy  
A. Minichillo, Heritage Coordinator  
S. Kassaris, Heritage Coordinator  
P. Aldunate, Central Area Planner

**PART TWO - HERITAGE PERMIT APPLICATION:****HERITAGE PERMIT APPLICATION FORM**

In accordance with the Ontario Heritage Act a heritage permit must be issued by City Council for all proposals to erect, remove or alter the exterior of buildings, structures or other features described as heritage attributes within the scope of a heritage designation by-law.

City staff and the Brampton Heritage Board review all applications and then submit them to City Council for approval.

City Council has the authority under the Ontario Heritage Act to approve any heritage application either with or without conditions or to refuse the permit application entirely.

Please provide the following information (type or print)

**A. REGISTERED OWNER**

**NAME OF REGISTERED OWNER(S)** Richard Aubry, Preston Homes/Redwood Properties

**TELEPHONE NO. HOME (    )** **BUSINESS: (905)856-7751** **FAX: (    )**

**E-MAIL ADDRESS:** raubry@redwoodproperties.ca

**MAILING ADDRESS:** 330 New Huntington Road

Vaughan, ON L4H 4C9

**B. AGENT**

(Note: Full name & address of agent acting on behalf of applicant; e.g. architect, consultant, contractor, etc)

**NAME OF AGENT(S)** Jordan Molnar

**TELEPHONE NO. HOME (    )** **BUSINESS: (416)963-4497x305** **FAX: (    )**

**E-MAIL ADDRESS:** jordanm@eraarch.ca

**MAILING ADDRESS:** 625 Church Street - Suite 600

Toronto, ON M4Y 2 G1

*Note: Unless otherwise requested, all communications will be sent to the registered owner of the property.*



**C. LOCATION / LEGAL DESCRIPTION OF SUBJECT PROPERTY**

<b>LOTS(S) / BLOCK(S)</b> Lots 1, 2, 3, 4, 14, 16, 17	
<b>CONCESSION NO.</b>	<b>REGISTERED PLAN NO.</b> Plan 43R
<b>PART(S) NO.(S)</b> Part 1, 2	<b>REFERENCE PLAN NO.</b> BR-35, BR-4
<b>ROLL NUMBER:</b> 10-04-0-036-05200-0000	
<b>PIN (PROPERTY IDENTIFICATION NO.)</b> 14108-0554	

**D. OVERALL PROJECT DESCRIPTION / SUMMARY OF PROPOSAL**

This application is a revision to a previous heritage permit for work at the site. This Heritage

Permit Application is for the second phase of conservation work to the site, including the

rehabilitation and upgrading of the heritage structure, including the lowering of the entrance

door at the north elevation of the office component of the designated building, the repair of

masonry, the restoration of the upper cornice, and the replacement of existing windows with

new windows. The heritage structure will be prepared for integration with the proposed new

construction.

## E. DESCRIPTION OF WORKS

(Please briefly describe the proposed works as they fit within one or more of the categories below; note the specific features that would be affected. Use separate sheets as required; attach appropriate supporting documentation; point form is acceptable):

**Rehabilitation and/or Preventative Conservation Measures** (e.g. repointing masonry; note which heritage attributes and features would be impacted and where, materials to be used, specifications and techniques):

The attached Conservation Drawings by ERA Architects shows the extent of rehabilitation measures, including masonry rebuilding with salvaged bricks, masonry repointing as required with lime-based mortar, and new window units. General cleaning of the masonry will include a low-pressure hot water wash, and a steam cleaning. In areas of concentrated soiling, a wash with detergent will be completed. At the existing wood cornice, repair and selective replacement will occur.

**Major Alterations, Additions and/or New Construction** (note which attributes to be impacted, location of work, materials to be used, specifications and techniques):

A tower will be constructed on site and the heritage building will be adaptively reused as a podium element for the new construction. Heritage attributes to be affected include, the front elevation along Mill and Railroad Streets, that include new openings to facilitate accessible ingress/egress from the new building.

**Restoration** (i.e. replicating or revealing lost elements and features; note which attributes to be impacted and where, materials to be used, specifications and techniques):

The exterior masonry will be restored, along with selective areas of cornice. Refer to drawings for more information.

## F. SCOPE OF WORK IMPACTING HERITAGE PROPERTY

(Check all that apply)

NEW CONSTRUCTION IS PROPOSED ☒

DEMOLISH ☐

ALTER ☒

EXPAND ☐

RELOCATE ☐

## G. SITE STATISTICS (For addition and construction of new structures)

LOT DIMENSIONS      FRONTAGE      101.9      DEPTH 37.9

LOT AREA      6,970 m<sup>2</sup>

EXISTING BUILDING COVERAGE      +/-8.4 %

BUILDING HEIGHT      EXISTING      +/-12 m

PROPOSED      94 m

BUILDING WIDTH      EXISTING      N/A m

PROPOSED      N/A m

ZONING DESIGNATION      DC-3472-Commercial/Residential

OTHER APPROVALS REQUIRED: (Check off only if required)

MINOR VARIANCE (COA)      \_\_\_\_\_

SITE PLAN APPROVAL      ☒

BUILDING PERMIT      ☒

CONSERVATION AUTHORITY      \_\_\_\_\_

SIGN BYLAW APPROVAL      \_\_\_\_\_

(Note: IF YES, other approvals should be scheduled after the Heritage Permit has been approved by City Council)

## H. CHECKLIST OF REQUIRED INFORMATION SUBMITTED

(Check all that apply)

- ☐ REGISTERED SURVEY
- ☐ SITE PLAN (showing all buildings and vegetation on the property)
- ☐ EXISTING PLANS & ELEVATIONS - AS BUILT
- ☒ PROPOSED PLANS & ELEVATIONS
- ☐ PHOTOGRAPHS
- ☐ MATERIAL SAMPLES, BROCHURES, ETC
- ☐ CONSTRUCTION SPECIFICATION DETAILS


## I. AUTHORIZATION / DECLARATION

I HEREBY DECLARE THAT THE STATEMENTS MADE HEREIN ARE, TO THE BEST OF MY BELIEF AND KNOWLEDGE, A TRUE AND COMPLETE PRESENTATION OF THE PROPOSED APPLICATION.

I UNDERSTAND THAT THIS HERITAGE PERMIT DOES NOT CONSTITUTE A BUILDING PERMIT PURSUANT TO THE ONTARIO BUILDING CODE.

I ALSO HEREBY AGREE TO ALLOW THE APPROPRIATE STAFF OF THE CITY OF BRAMPTON TO ENTER THE SUBJECT PROPERTY IN ORDER TO FULLY ASSESS THE SCOPE AND MERITS OF THE APPLICATION.

*(Property entry, if required, will be organized with the applicant or agent prior to entry)*

 (Jordan Molnar)  
\_\_\_\_\_  
Signature of Applicant or Authorized Agent

November 9, 2020  
\_\_\_\_\_  
Date of Submission

Heritage Permit applications are submitted to the Planning, Design and Development Department, 3rd Floor Counter, Brampton City Hall,

The personal information on this form is collected under the authority of the *Ontario Heritage Act*, RSO 1990. The information will be used to process the Heritage Permit Application. Questions about the collection of personal information should be directed to the Heritage Coordinator, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, 905-874-3825.



# 45 RAILROAD STREET BRAMPTON

## CONSERVATION PLAN

ISSUED: 21 SEPTEMBER 2012

REVISED: JUNE 5, 2015

REVISED: SEPTEMBER 30, 2015

REVISED: JUNE 6, 2016

**REVISED: NOVEMBER 4, 2020**

ERA

Project # 06-057-02  
Prepared by PE/JM/SH/JF/RL2

**PREPARED BY:**  
ERA Architects Inc.  
#600-625 Church Street  
Toronto, Ontario M4Y 2G1  
416-963-4497

**PREPARED FOR:**  
PrestonHomes/Redwood Properties  
330 New Huntington Road  
Vaughan, Ontario L4H 4C9  
905-856-7751

Cover Image: The northwest corner of the site (ERA, 2019).

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	Appendix II: Designation By-law 150-2015	
	Appendix III: City of Brampton Heritage Staff Comments, dated June 8, 2015	

**Refer to Conservation Plan Drawings by ERA Architects, dated November 4, 2020**





## EXECUTIVE SUMMARY

This Conservation Plan provides a detailed schedule of conservation work for 45 Railroad Street that had been divided into two phases. This document reviews and confirms the work completed in the first phase as well as outlines the proposed scope of conservation work for the second phase.

The **first phase** of pre-conservation work, which included the selective removal of the rear of the factory component, the long-term protection of the factory façade with a steel retention structure, and the retention and protection of the office component, was completed in 2012-2013.

This **second phase** of proposed conservation work involves the rehabilitation and upgrade of the heritage structure in preparation for integration with the proposed new construction, including lowering the front entrance door at the **north elevation of the office component**.

The scope of conservation work includes:

- Repairing the masonry;
- **Rebuilding portions of the building;**
- Restoring the upper cornice;
- **Replacing the existing windows with new windows; and,**
- Installing new roofing.

The conservation work described in this Plan will be executed by specialist sub-contractors with a minimum of 5 years experience in working with heritage masonry structures. The work will be reviewed on site by the architect, heritage consultant and the City of Brampton's heritage staff for general conformance with heritage guidelines and conservation notes described in this Conservation Plan.

This Conservation Plan also provides cost estimates of proposed conservation work to establish a letter of credit amount in the order of \$500K to secure the scope of conservation. Upon adequate review and completion of the pre-conservation work by the Heritage Consultant, the letter of credit will be released back to the client.



# 1 INTRODUCTION

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ERA Architects Inc. (“ERA”) has prepared this Conservation Plan as Heritage Consultant to Preston Group. The subject property, 45 Railroad Street consists of an industrial building with a one-storey façade along Mill Street North and two-storey office building component. The building acts as a landmark, located at a significant corner, Railroad Street and Mill Street North, and forms part of an industrial heritage precinct including the Hewetson Shoe Factory, the CNR Station and Railway. This property has been designated under the Ontario Heritage Act by City By-law 150-2015 (appended).

ERA has developed the Conservation Plan with respect to the Parks Canada Standards and Guidelines for the Conservation of Historic Places, the Ministry of Culture’s Ontario Heritage Tool Kit procedures, and the Burra Charter for the Protection and Enhancement of the Built Environment. The conservation work described in this Plan will be executed by specialist sub-contractors with a minimum of 5 years experience in working with heritage structures. The work will be reviewed on site by the architect, heritage consultant and the City of Brampton’s heritage staff for general conformance with heritage guidelines and conservation notes described in this Conservation Plan. The Letter of Credit is intended to cover any deficiencies.



Site location and context (source: [maps.brampton.ca/maps](https://maps.brampton.ca/maps)).

### 1.1 Project Background

This Conservation Plan is being submitted as part of an application for Site Plan Approval and a Heritage Permit. The proposed development is a mixed-use residential tower that is integrated with the heritage resources on site. A building permit was previously issued for this site, however, the design has been modified, requiring resubmission. A revised Heritage Impact Assessment is included as part of the resubmission.

This Conservation Plan provides details on the proposed conservation work, including repairs and upgrades, and integration of the heritage fabric with the new development. **The Plan is to be read with the November 4, 2020 drawings prepared by ERA.**

### 1.2 Present Owner Contact

Preston Group  
c/o Richard Aubrey  
Preston Homes/Redwood Properties  
330 New Huntington Road  
Vaughan, Ontario L4H 4C9  
t: 905.856.7751  
f: 905.856.7764  
e: raubry@redwoodproperties.ca

## 2 CONSERVATION PLAN

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### 2.1 Conservation Strategy Objectives

This Conservation Plan seeks to ensure the responsible treatment of the **heritage attributes** of the heritage resources at 45 Railroad Street throughout redevelopment. The **heritage attributes** are described in the Designation By-law 150-2015 (appended). **The attributes concerning Design/Physical Value are listed here:**

#### **Property Overall:**

- rectangular plan and massing with partial second storey addition;
- flat roof profile (parapet walls and rooflines);
- Chicago School and Neo-Gothic style influences;
- unpainted red masonry walls;
- brick buttresses;
- foundation wall denoted by coursed cut stone blocks;
- original fenestration;
- corbelled brick water table.

#### **Mill Street facade:**

- large industrial-scale sash windows (6-over-6 basement windows, 12-over-12 first floor windows);
- window openings along Mill Street facade (recessed slightly into wall and framed by brick corbels);
- stone lintels over above-grade wood case-ment basement windows;
- graffiti carved into a brick by a penknife with inscription reading: “1949 AD. Dec \_\_\_\_ CNR Survey”; located on the Railroad and Mill Streets corner before the first Mill Street window openings;
- shallow setback of building facade along Mill Street South.

#### **Railroad Street facade:**

- original ground floor office windows with segmental arche [sic] brick voussoirs;
- second storey addition windows with brick voussoirs;
- fixed single-pane transoms;
- brick parapet wall with ribbed coping tiles;
- brick corbelling;
- heavy pediment over main entrance with radiating brick voussoir and corbelling;
- fixed, single-page transom over main entrance;
- pre-cast decorative blocks laid in diamond patterns forming second storey spandrel panels; each spandrel panel sits within a rectangular frame made of brick laid in soldier course;
- rectangular second storey windows with pre-cast sills and horizontal soldier coursed voussoirs;
- single pre-cast blocks accentuating the upper outer corners of each second storey window;
- brick buttresses and their pre-cast caps.

## 2.2 Phase I Conservation Work Scope

The following table summarizes the Phase I conservation work completed on the heritage resources located at 45 Railroad Street.

Phase I Work	Assessment
<i>I. Investigation and Protection</i>	
Investigate parapet condition and determine necessary repair. Coordinate parapet repair with roof replacement.	Terracotta coping is missing on parts of the parapet.
Investigate cracking along retained portions of facades. Structural Engineer to determine severity of cracking and coordinate with Heritage Architect for repairs.	An investigation has been undertaken. The cracks along the masonry will be repaired.
Investigate and repair west façade above and below grade. Investigations to include but are not limited to delamination and core testing. Repairs to be determined after completion of review. Reviews to be conducted by Heritage Contractor, Heritage Architect and Structural Engineer.	Completed.
Record and document full extent of existing building.	Completed - materials were submitted to the City of Brampton on June 26, 2013.
Salvage and store all original doors, sliding fire doors and boilerplate door. Store on-site in a weather protected facility.	The wood window frames have been stored on site. The boilerplate door was not salvageable after it was removed.
Provide weatherproofing to window openings including sill flashing and sealant around the top and side seams. Replace any existing damaged or deteriorated plywood with new plywood.	Completed with modification - seams were not sealed due to concerns over proper ventilation.
Repair any areas of critical deterioration along retained facades necessary for structural stability over the period of retention.	Completed.
Provide monitoring systems, including a gauge to measure settlement, for the retained North portion of building and East façade. Details of monitoring program and scheduled reviews to be provided by Belanger Engineering and reviewed by ERA Architects.	Completed.
<i>II. Dismantle + Salvage</i>	
Install helical ties as per drawings provided by Belanger Engineering. Ensure helical tie machinery is set an appropriate distance away from retained facades as to not damage any projections such as the cornice, sills, lintels and foundations (see page 8 for profile of proposed façade retention system).	Completed.

Install retention structure as per drawings provided by Belanger Engineering.	Completed.
Install south demising wall at north retained building. Provide additional structure where needed and consult with Structural Engineer and Heritage Architect during the process.	Completed.
Salvage all original red face brick on elevations to be removed. Stack on wood palettes and store in weather protected facility for later use.	Completed with modification - salvaged bricks are being stored on site.
Dismantle portions of building not being retained. Provide temporary structure as needed during demolition. Dispose of waste material off site. Salvage all wood beams and columns and store in weather-protected facility.	Completed with modification - salvaged wood beams and columns are being stored on site.
<i>III. Long Term Protection of Retained Façade</i>	
Install waterproofing along foundation of retained portion of east façade where backfill will be in contact with heritage wall.	Completed.
Infill basement with gravel and compact.	Completed.
Install water-shedding protection over retention structure and east retained façade. Protection to include plywood complete with waterproofing and flashing. Provide tarpaulin along interior elevation of retained east façade and tie into water shedding roofing and secure to facade. Ensure a 300mm air-space is provided between tarpaulin and brick façade.	Completed with modification - a plywood wall with tyvek covering were installed.
Ongoing seasonal review (in late spring/May and late summer/August) of retained façade and monitoring systems, including a gauge to measure settlement.	Completed. See Appendix I.

### 2.3 Phase II Conservation Work Scope

A list of proposed conservation notes has been prepared to describe the second phase of conservation work involving the repair and upgrade of the heritage resources at 45 Railroad Street. The scope was developed as a result of a visual exterior and interior evaluation on April 16, 2015, and subsequent site visits on May 11, 2016 and October 11, 2016. Results of this preliminary condition assessment are provided in Section 5 of the 45 Railroad Heritage Impact Assessment, issued May 28, 2015 and revised May 10, 2016. These notes are illustrated in detail in the appended drawings by ERA.

Where replacement of original fabric/features will be undertaken, the replacement will be done in-kind, using the same materials, dimensions, and profile and details as much as is feasible. A final list of what has been replaced will be provided to City Heritage staff as documentation to be included in the records for the property.

The main repair work consists of:

- Repairing the masonry;
- Rebuilding portions of the building;
- Restoring the upper cornice;
- Replacing the existing windows with new windows; and,
- Installing new roofing.

The conservation notes are as follows:

**C01** Allow for investigation and repair of the west facade above and below grade. Investigations to include but are not limited to delaminating and core testing. Repairs to be determined after completion of review. Reviews to be conducted by Heritage Contractor, Heritage Architect and Structural Engineer. Specific tests and investigations to be determined by Structural Engineer.

**C02** Provide new stone sill to match existing.

**C03** Rebuild parapet with existing masonry. Damaged units to be replaced with salvaged brick units. Mortar to be lime based to match existing. Provide metal flashing on interior of parapet as detailed.

**C04** Fully document windows with photos and drawings of the jamb, sills and lintels of each window type. Salvage existing window hardware and 15 existing sashes on the manufacturing floor and store in weather protected facility. Remove all remaining frames and sashes and dispose off-site. Provide new windows to replicate existing. Refer to window schedule.

**C05** Remove brick infill and rebuild masonry within opening. Use salvaged masonry and lime based mortar. Inset rebuilt masonry 25mm from existing masonry



C06 Remove wood lintel. Install new steel lintel within cavity and encase with salvaged masonry and lime based mortar. Inset rebuilt masonry 25mm from existing masonry

C07 Deleted

C08 Deleted

C09 Return brick and stone. Make good along edge of demolition. Use salvaged brick as needed to complete return and use lime based mortar to match adjacent. Refer to detail 5/HA401.

C10 Provide foundation waterproofing. Provide new parging, waterproofing, dimple board drainage sheet with filter fabric, and insulation on exterior foundation wall below grade. Refer to details.

C11 Repoint 100% of stone foundation above and below grade, on the exterior. Repair parging in basement on interior.

C12 Clean 100% of stone foundation on interior and exterior.

C13 Clean tar/paint from brick, sills and lintels as required.

C14 Clean upper and lower window sills on the east and south facades.

C15 Provide general hot water clean of entire facade (typical).

C16 Remove all obsolete wood trim, metal fasteners, fittings and brackets from building facade and point openings (typical).

C17 Remove metal plate. Replace, repair, rebuild masonry as required to match existing window above.

C18 Provide new drip edge in existing stone sills (typical).

C19 At location of previous entry stair and ramp, repoint 100% of concealed area behind ramp with lime based mortar and replace damaged masonry with salvaged masonry as needed. Consult heritage architect after removals to confirm extent of work.

C20 Restore cornice. Provide new LCC flashing on cornice and new gutters along extent of cornice. All replaced detailing to replicate existing detailing. Consult with Heritage Architect for extent of repair/rebuild before starting work. Refer to details.

C21 Replace damaged or deteriorating terra cotta coping.

C22 Concrete block and steel frame to be retained. Refer to structural and architectural drawings.

C23 Remove concrete pads and retention structure.

C24 Remove existing window frame. Replace to match new window to be installed.

C25 Salvage stone caps, bricks and foundation stones.

C26 Deleted

C27 Deleted

C28 Deleted

C29 Provide wood framing to anchor to new building and LCC cap flashing over cornice.

C30 Provide new steel channels to wrap around masonry opening. Refer to details.

C31 Deleted

C32 Build masonry within opening. Use salvaged masonry and lime based mortar. Inset rebuilt masonry 25mm from existing masonry. Refer to details.

C33 Repoint brick as needed; clean all efflorescence; replace any deteriorated masonry units. Confirm extent of repair with Heritage Architect before commencing work.

C34 Infill existing scuppers with salvaged brick. Stitch rebuilt masonry into existing masonry.

C35 Remove and salvage masonry for new opening. Make good ends of masonry openings. Provide new lintels.

C36 Provide new door in existing masonry opening.

C37 Deleted

C38 On interior masonry foundation wall, allow for 20% repointing, 20% paring repair and 100% clean to remove all dirt, dust, concentrated soiling, efflorescence and staining.

## 2.4 Salvage Plan

### *Work Completed (Phase I)*

Approximately 10 skids of brick, wood beams, and columns were salvaged from the removal of the rear of the factory component. These materials have been wrapped in tyvek and have been stored on site.

### *Proposed Conservation Work (Phase II)*

We recommend relocating the **salvaged** materials to a weather controlled, off site facility, especially for the duration of the construction phase.

The bricks **will be reused to infill select window openings, rebuild the parapet, and replace spalled masonry**. The wood beams and columns may be used as part of the interpretation of the site.

## 2.5 Measures to Protect Heritage Resources During Construction (Phase II)

### *General*

ERA will conduct regular field reviews. During construction these will occur every 2-3 weeks. Field review reports will be directly issued to staff.

### *Factory Component*

Throughout the construction the east facade of the factory component will be monitored for movement by a vibration monitor. The interior face will be tarped. The structure will remain attached to the retention structure. The plywood - already implemented - will be retained in order to protect the openings.

### *Office component*

The demising wall (the south elevation) will be maintained for protection until an appropriate time during the construction. At that time, the concrete blocks will be removed and replaced while the existing steel will be retained.

### *Salvaged Materials*

These materials are wrapped in tarps on skids, protected from the elements, and obscured from public visibility in the rear south west corner of the property.

# 3 CONSERVATION COST ESTIMATE

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The following cost estimate is provided to establish a reasonable letter of credit amount required by the City of Brampton. The letter of credit will secure the conservation of the heritage elements outlined in this Conservation Plan.

As indicated in the City of Brampton’s terms of reference for Heritage Impact Assessments:

Cost estimates for the various components of the plan to be used to determine sufficient monetary amounts for letters of credits or other financial securities as may be required to secure all work included in the Conservation Plan.

## 3.1 Letter of Credit

The following provides cost estimates for the scope of conservation work identified in this plan for the phase two, rehabilitation and upgrade of the heritage resources in preparation for integration with the proposed building at 45 Railroad Street.

### *Phase 2: Rehabilitation and Upgrade*

Demolition and Salvage:	\$24K
Masonry Restoration:	\$170K
Structural Alterations:	\$10K
Windows and Doors Restoration:	\$240K
Roof Repair:	\$26K
Wood Restoration:	\$30K

ERA recommends a letter of credit amount in the order of \$500K in order to secure the conservation costs associated with Phase II conservation work.

Upon adequate review and completion of the conservation work by the Heritage Consultant, the letter of credit will be released back to the client.

## 4 CONCLUSION

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This report finds that the heritage resources at 45 Railroad Street will be appropriately rehabilitated by the conservation work detailed in this document.

The proposed work includes:

- Repairing the masonry;
- Rebuilding portions of the building;
- Restoring the upper cornice;
- Replacing the existing windows with new windows; and,
- Installing new roofing.

A letter of credit amount in the order of \$500K is recommended to secure the second phase of conservation work described in this Conservation Plan.

## 5 APPENDICES

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### ***Appendix I: Monitoring Survey at 45 Railroad Street***

The results of the monitoring survey indicate that the building has retained its structure and is stable.

# Monitoring Survey at 45 Railroad Street

Pillar No.	June 23, 2013		October 4, 2013				January 9, 2014				April 10, 2014			
	Horizontal	Vertical	Horizontal	Vertical	Horiz. Diff*	Vert. Diff*	Horizontal	Vertical	Horiz. Diff*	Vert. Diff*	Horizontal	Vertical	Horiz. Diff*	Vert. Diff*
1	0.997	223.153	0.997	223.154	0.000	0.001	0.997	223.155	0.000	0.002	0.996	223.153	-0.001	0.000
2	1.002	224.011	1.005	224.012	0.003	0.001	1.011	224.012	0.009	0.001	1.012	224.015	0.010	0.004
3	1.011	224.100	1.015	224.100	0.004	0.000	1.024	224.101	0.013	0.001	1.025	224.107	0.014	0.007
4	0.995	224.157	0.999	224.158	0.004	0.001	1.008	224.158	0.013	0.001	0.998	224.172	0.003	0.015
5	0.996	224.020	0.999	224.021	0.003	0.001	1.009	224.020	0.013	0.000	0.992	224.038	-0.004	0.018
6	0.989	224.000	0.992	223.999	0.003	-0.001	1.005	223.998	0.016	-0.002	0.981	224.015	-0.008	0.015
7	0.990	223.995	0.992	223.995	0.002	0.000	1.003	223.994	0.013	-0.001	0.982	224.011	-0.008	0.016
8	0.988	223.989	0.988	223.988	0.000	-0.001	0.994	223.988	0.006	-0.001	0.992	224.000	0.004	0.011
9	1.008	224.003	1.008	224.002	0.000	-0.001	1.014	224.002	0.006	-0.001	1.023	224.008	0.015	0.005
10	1.010	224.006	1.013	224.006	0.003	0.000	1.021	224.005	0.011	-0.001	1.047	224.008	0.037	0.002
11	0.992	224.017	0.992	224.016	0.000	-0.001	0.997	224.015	0.005	-0.002	1.018	224.018	0.026	0.001
12	0.992	224.023	0.996	224.022	0.004	-0.001	1.005	224.021	0.013	-0.002	1.013	224.022	0.021	-0.001
13	0.994	222.596	0.996	222.595	0.002	-0.001	0.997	222.595	0.003	-0.001	0.997	222.595	0.003	-0.001
14	0.991	222.456	0.991	222.456	0.000	0.000	0.994	222.454	0.003	-0.002	0.992	222.455	0.001	-0.001
15	1.004	224.018	1.004	224.017	0.000	-0.001	1.008	224.016	0.004	-0.002	1.006	224.017	0.002	-0.001
16	0.991	224.085	0.990	224.085	-0.001	0.000	0.991	224.084	0.000	-0.001	0.989	224.085	-0.002	0.000
17	1.002	222.941	1.006	222.942	0.004	0.001	1.003	222.943	0.001	0.002	DESTROYED			
18	1.003	222.947	DESTROYED				DESTROYED				DESTROYED			

Diff\* = Difference from June 23, 2013 reading  
Oct4/13 - Horizontal difference - movement towards property; Vertical difference - upward movement

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## Monitoring Survey at 45 Railroad Street

Pillar No.	June 23, 2013			July 12, 2014			October 19, 2014			January 9, 2015		
	Horizontal	Vertical		Horizontal	Vertical		Horizontal	Vertical		Horizontal	Vertical	
1	0.997	223.153	0.994	0.994	223.153	-0.003	0.995	223.154	-0.002	0.995	223.154	-0.002
2	1.002	224.011	1.006	1.006	224.014	0.004	1.006	224.014	0.004	1.006	224.013	0.004
3	1.011	224.100	1.015	1.015	224.103	0.004	1.015	224.102	0.004	1.016	224.103	0.005
4	0.995	224.157	0.995	0.995	224.162	0.000	0.994	224.160	-0.001	0.994	224.161	-0.001
5	0.996	224.020	0.992	0.992	224.023	-0.004	0.991	224.021	-0.005	0.990	224.022	-0.006
6	0.989	224.000	0.984	0.984	224.001	-0.005	0.984	224.000	-0.005	0.985	224.000	-0.004
7	0.990	223.995	0.982	0.982	223.998	-0.008	0.982	223.997	-0.008	0.983	223.997	-0.007
8	0.988	223.989	0.981	0.981	223.991	-0.007	0.980	223.990	-0.008	0.981	223.989	-0.007
9	1.008	224.003	1.011	1.011	224.004	0.003	1.009	224.003	0.001	1.010	224.002	0.002
10	1.010	224.006	1.027	1.027	224.007	0.017	1.022	224.006	0.012	1.024	224.006	0.014
11	0.992	224.017	1.002	1.002	224.017	0.010	1.001	224.016	0.009	1.002	224.015	0.010
12	0.992	224.023	1.006	1.006	224.022	0.014	1.006	224.021	0.014	1.007	224.021	0.015
13	0.994	222.596	0.997	0.997	222.596	0.003	0.997	222.595	0.003	1.000	222.596	0.006
14	0.991	222.456	0.992	0.992	222.456	0.001	0.993	222.456	0.002	0.993	222.455	0.002
15	1.004	224.018	1.006	1.006	224.018	0.002	1.004	224.017	0.000	1.006	224.016	0.002
16	0.991	224.085	0.989	0.989	224.086	-0.002	0.988	224.085	-0.003	0.989	224.084	-0.002
17	1.002	222.941	1.005	1.005	222.942	0.003	1.003	222.942	0.001	1.003	222.941	0.001
18	1.003	222.947										

Diff\* = Difference from June 23, 2013 reading  
Horizontal difference - movement towards property; Vertical difference - upward movement

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KRCM  R

EBA



# Monitoring Survey at 45 Railroad Street

KRCM Surveyors Ltd  
1137 Centre Street Thornhill Ontario, L4J 3M6  
905.738.0053 F 905.738.9221 www.krcm.ca

Pillar No.	June 23, 2013		April 10, 2015		July 7, 2015		October 9, 2015	
	Horizontal	Vertical	Horizontal	Vertical	Horizontal	Vertical	Horizontal	Vertical
1	0.997	223.153	0.995	223.152	0.994	223.152	0.996	223.153
2	1.002	224.011	1.014	224.013	1.008	224.013	1.008	224.012
3	1.011	224.100	1.031	224.104	1.015	224.101	1.016	224.102
4	0.995	224.157	1.014	224.163	0.997	224.160	0.998	224.160
5	0.996	224.020	1.012	224.024	0.994	224.021	0.995	224.021
6	0.989	224.000	1.006	224.002	0.988	224.000	0.988	224.000
7	0.990	223.995	1.004	223.998	0.985	223.998	0.986	223.998
8	0.988	223.989	0.995	223.991	0.981	223.990	0.983	223.991
9	1.008	224.003	1.032	224.004	1.013	224.003	1.014	224.004
10	1.010	224.006	1.054	224.007	1.026	224.006	1.027	224.008
11	0.992	224.017	1.022	224.017	1.006	224.017	1.005	224.018
12	0.992	224.023	1.020	224.022	1.007	224.022	1.008	224.022
13	0.994	222.596	0.998	222.595	0.996	222.595	0.997	222.597
14	0.991	222.456	0.992	222.458	0.991	222.456	0.992	222.456
15	1.004	224.018	1.003	224.019	1.001	224.018	1.002	224.017
16	0.991	224.085	0.984	224.087	0.983	224.085	0.985	224.086
17	1.002	222.941	0.999	222.944	0.998	222.942	0.997	222.942
18	1.003	222.947						

Diff\* = Difference from June 23, 2013 reading  
Horizontal difference - movement towards property; Vertical difference - upward movement

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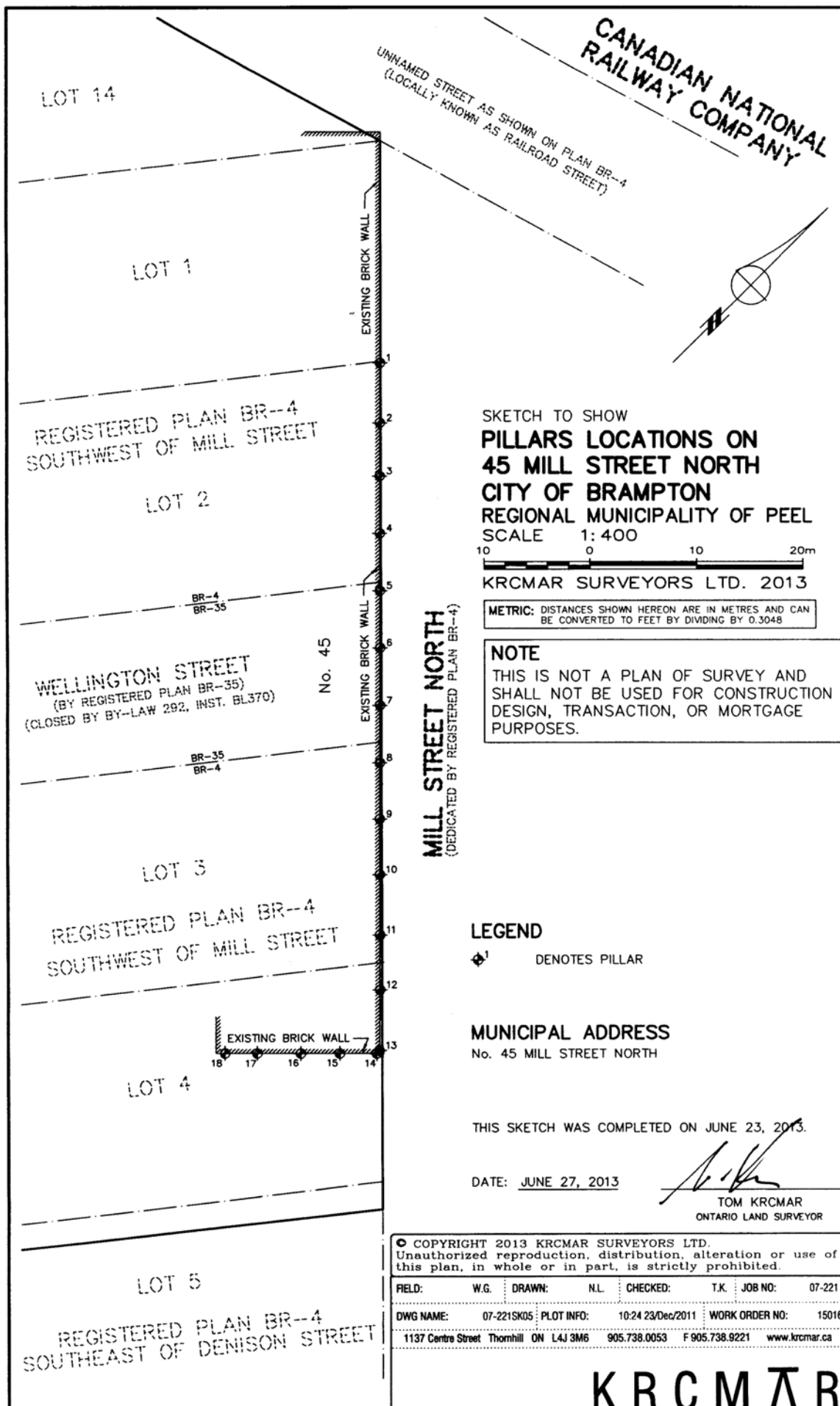
Monitoring Survey at 45 Railroad Street

Pillar No.	June 23, 2013		January 4, 2016			April 4, 2016			Vertical Diff*		
	Horizontal	Vertical	Horizontal	Vertical	Horiz. Diff*	Vertical	Horiz. Diff*	Vertical	Horiz. Diff*	Vertical	Horiz. Diff*
1	0.997	223.153	0.997	223.153	0.000	0.000	0.000	0.000	0.000	0.000	0.000
2	1.002	224.011	1.009	224.013	0.007	0.002	0.008	0.001	0.001	0.001	0.001
3	1.011	224.100	1.018	224.102	0.007	0.002	0.009	0.002	0.002	0.002	0.002
4	0.995	224.157	0.999	224.159	0.004	0.002	0.006	0.002	0.002	0.002	0.002
5	0.996	224.020	0.996	224.020	0.000	0.000	0.003	0.001	0.001	0.001	0.001
6	0.989	224.000	0.990	224.000	0.001	0.000	0.003	0.000	0.000	0.000	0.000
7	0.990	223.995	0.988	223.997	-0.002	0.002	0.000	0.002	0.002	0.002	0.002
8	0.988	223.989	0.984	223.990	-0.004	0.001	-0.002	0.001	0.001	0.001	0.001
9	1.008	224.003	1.016	224.002	0.008	-0.001	0.009	0.000	0.000	0.000	0.000
10	1.010	224.006	1.028	224.007	0.018	0.001	0.020	0.000	0.000	0.000	0.000
11	0.992	224.017	1.007	224.018	0.015	0.001	0.017	0.001	0.001	0.001	0.001
12	0.992	224.023	1.011	224.023	0.019	0.000	0.020	-0.001	-0.001	-0.001	-0.001
13	0.994	222.596	0.999	222.598	0.005	0.002	0.005	0.001	0.001	0.001	0.001
14	0.991	222.456	0.994	222.459	0.003	0.003	0.003	0.001	0.001	0.001	0.001
15	1.004	224.018	covered			covered			covered		
16	0.991	224.085	0.988	224.089	-0.003	0.004	-0.004	0.001	0.001	0.001	0.001
17	1.002	222.941	1.002	222.945	0.000	0.004	0.000	0.002	0.002	0.002	0.002
18	1.003	222.947	DESTROYED			DESTROYED			DESTROYED		

Diff\* = Difference from June 23, 2013 reading  
Horizontal difference - movement towards property; Vertical difference - upward movement

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KRCM  R





THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

150-2015

**To designate the property at 45 Railroad Street  
as being of cultural heritage value or interest.**

WHEREAS Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O. 18 (as amended) authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;

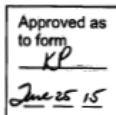
WHEREAS the Brampton Heritage Board supports the designation of the properties described herein;

WHEREAS a Notice of Intention to Designate has been published and served in accordance with the Act, and there has been no Notice of Objection served on the Clerk;



NOW THEREFORE the Council of the Corporation of the City of Brampton HEREBY ENACTS as follows:

1. The property at **45 Railroad Street**, more particularly described in Schedule "A", is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the *Ontario Heritage Act*.
2. City Council shall cause a copy of this by-law to be registered against the property described in Schedule "A" to this by-law in the proper Land Registry Office.
3. The City Clerk shall cause a copy of this by-law to be served upon the owners of the property at **45 Railroad Street** and upon the Ontario Heritage Trust, and cause notice of this by-law to be published on the City's website in accordance with Council's Procedure By-law.
4. The short statement of the reason for the designation of the property, including a description of the heritage attributes are set out in Schedule "B" to this by-law.

READ A FIRST, SECOND AND THIRD TIME AND PASSED IN OPEN COUNCIL THIS **8<sup>TH</sup>** DAY OF **July**, 2015.



  
LINDA JEFFEREY - MAYOR

  
PETER FAY - CLERK  
  
EARL EVANS - DEPUTY CITY CLERK

Approved as to content:

  
Heather MacDonald, Director, Planning Policy and Growth Management

*By-law 150-2015*

**SCHEDULE A**

**PROPERTY DESCRIPTION:**

PART OF LOT 18 & PART OF WELLINGTON STREET (CLOSED BY BY-LAW 292, IN BL370), PLAN BR35, LOTS 1 & 2, SW OF MILL ST., PART OF LOTS 14 & 15, SOUTH OF RAILROAD ST., LOTS 3 & 4, SW OF MILL ST., LOTS 16 & 17, SE OF DENISON ST., PART OF LOT 5, SW OF MILL ST., PART OF LOT 15, SE OF DENISON ST., PLAN BR4, DESIGNATED AS PARTS 1 & 2 ON REFERENCE PLAN 43R-32198; BRAMPTON.

**PIN: 14108-0534 (LT)**

## SCHEDULE "B" TO BY-LAW

### **SHORT STATEMENT OF THE REASON FOR THE DESIGNATION OF 45 RAILROAD STREET:**

The property at 45 Railroad Street, known as the Copeland-Chatterson Company / Dominion Skate building, is worthy of designation under Part IV of the *Ontario Heritage Act* for its cultural heritage value. The property meets the criteria for designation prescribed by the Province of Ontario under the three categories of design or physical value, historical value and contextual value.

#### **Design / Physical Value:**

The cultural heritage value of 45 Railroad Street is related to its design or physical value, as it is a representative and good example of the Chicago commercial style or the "Chicago School" with Neo-Gothic design influences introduced in a later phase of construction. It is the first example of this style in Brampton.

The building, as it was originally constructed in 1905, consisted of a single one-storey building with a rather low street profile. The section facing Railroad Street served as the administration office, while the factory component faced Mill Street North. The factory section features large grouped industrial windows designed to let in sunlight and air circulation to the factory floor. These windows are integral to the overall character and cultural heritage value of the building and help identify the structure as a former factory.

The building was expanded in 1914 with the construction of a second storey over the Railroad Street office component. This addition features decorative elements such as spandrel panels on the façade between the top of the first storey windows and the sills of the second storey windows. Each spandrel features repeating patterns of pre-cast concrete blocks forming diamonds and squares. Each motif sits within a rectangular frame made of brick laid in soldier courses.

Coping tiles crown the brick parapet wall, and pre-cast blocks accentuate the outer upper corners of each second storey window. Other brick detailing includes buttresses capped with pre-cast concrete blocks, voussoirs over the office windows, a radiating voussoir over the main entrance, corbelling details under a strong main entrance pediment, along with corbelled water tables. Cut stone blocks highlight the foundation wall and stone lintels cap above-grade wood casement basement windows. Overall, the construction details demonstrate a high degree of craftsmanship, particularly with regard to the masonry.

More recently, the building has been altered to allow for its adaptive re-use to facilitate the development of an apartment building. This resulted in the selective removal of the factory building, retaining only the Mill Street (east side) façade, and the removal of the chimney.

#### **Historical /Associative Value**

The property has historic value as it is associated with the industrialization of Brampton at the turn of the 20th century, namely through Copeland-Chatterson Company, an influential office stationary company. Copeland-Chatterson was founded in 1893 by Canadians Robert J. Copeland and A.E. Chatterson on the basis of Copeland's patent of a binder that locked loose-leaf ledger sheets with a key on filing posts. The newer accounting system and first products of the company were designed to simplify accounting procedures and overcome the disadvantages of bound ledgers, and quickly became an international success.

While the company began manufacturing in Toronto, they quickly out grew their headquarters no less than three times before they began looking to build outside downtown Toronto. The brothers-in-law chose Brampton for its new facility because it was close to Toronto and they could develop a stable long-term workforce. They purpose built the factory for their needs beginning in late fall of 1905 and completing the plant in August 1906. This was the first time an outside company elected to locate their manufacturing plant in Brampton.

Upon their move to Brampton, the company created a local partnership with the Pease Foundry Co. Ltd to manufacture all the metal components for their stationary products, thus bringing more prosperity to another local industrial company. Copeland-Chatterson kept their own machine shop for manufacturing their tool and die components, as well as manufacturing larger items for their catalogue and keeping the factory's machines in good repair.

During World War II, Copeland-Chatterson contributed to the war effort by manufacturing war materials in their machine shops, as well as Victory Bonds and War Saving Stamps. Several long time employees also left the company to enroll in the armed forces.

Through the next five decades, the company continued to be a success, holding over 170 patents for office and recordkeeping products, and some 90 of these patents originated in Canada. A particularly successful product manufactured at the Brampton



facility was the Paramount Sorting System, which was introduced in 1930 and became a key information storage system to many scientific areas of study and information science until the widespread introduction of computers in the 1970s and 80s.

In 1961, Anthes Imperial Ltd. acquired Copeland-Chatterson. However, the Railroad Street factory continued to operate until Anthes Imperial relocated to a new facility.

In 1981, Dominion Skate Company took over 45 Railroad Street, and operated their skate business at the facility until 2008.

**Contextual Value:**

The property also holds contextual value as part of a significant industrial grouping that includes the former Hewetson Shoe factory, the former CNR railway station and associated railway lines and significantly defines and supports the character of the area. The former Copeland-Chatterson Company / Dominion Skate complex is a landmark because it wraps around a prominent corner lot along Mill and Railroad Streets. Collectively, these elements form an important cultural heritage landscape of a historic industrial precinct in Brampton.

**DESCRIPTION OF THE HERITAGE ATTRIBUTES OF THE PROPERTY:**

The heritage attributes comprise all façades including all entranceways and windows, together with construction materials of brick, stone, wood, metal, and associated building techniques. The detailed heritage attributes include, but are not limited to:

**Design / Physical Value:**

**Property Overall:**

- rectangular plan and massing with partial second storey addition;
- flat roof profile (parapet walls and rooflines);
- Chicago School and Neo-Gothic style influences;
- unpainted red masonry walls;
- brick buttresses;
- foundation wall denoted by coursed cut stone blocks;
- original fenestration;
- corbelled brick water table.



**Mill Street façade:**

- large industrial-scale sash windows (6-over-6 basement windows, 12-over-12 first floor windows)
- window openings along Mill Street façade (recessed slightly into wall and framed by brick corbels);
- stone lintels over above-grade wood casement basement windows;
- graffiti carved into a brick by a penknife with inscription reading: "1949 AD. Dec \_\_\_\_ CNR Survey"; located on the Railroad and Mill Streets corner before the first Mill Street window openings
- shallow setback of building facade along Mill Street South.

**Railroad Street façade:**

- original ground floor office windows with segmental arch brick voussoirs;
- second storey addition windows with brick voussoirs;
- fixed single-pane transoms;
- brick parapet wall with ribbed coping tiles;
- brick corbelling;
- heavy pediment over main entrance with radiating brick voussoir and corbelling;
- fixed, single pane transom over main entrance;
- pre-cast decorative blocks laid in diamond patterns forming second storey spandrel panels; each spandrel panel sits within a rectangular frame made of brick laid in soldier courses;
- rectangular second storey windows with pre-cast sills and horizontal soldier coursed voussoirs;
- single pre-cast blocks accentuating the upper outer corners of each second storey window;
- brick buttresses and their pre-cast caps.

**Historical /Associative Value:**

- association with prominent individuals, including R.J. Copeland and A.E. Chatterson, inventors of the innovative loose-leaf ledger systems, which were manufactured in the Brampton plant;
- association with Canadian branch of Copeland-Chatterson Company, who chose Brampton as their manufacturing headquarters, the first outside manufacturing company to do so in Brampton
- association with the Dominion Skate Factory for nearly 30 years;
- association with the early industrial history and development of Brampton.

**Contextual Value:**

- landmark status as the building fronts along Railroad and Mill Streets, uniting the industrial building to the residential neighborhood;
- contribution to the cultural heritage landscape formed collectively by the railway line, Hewetson Shoe factory and former CNR railway station;
- contribution to the heritage character of the adjacent late 19th and early 20th century neighbourhood.



**Planning and  
Infrastructure Services**

**DATE:** July 30, 2015  
**TO:** Paul Aldunate  
**CC:** -  
**FROM:** Stav Kassaris  
**SUBJECT:** 45 Railroad St  
Conservation Plan  
June 8, 2015

---

Heritage staff reviewed the Conservation Plan for 45 Railroad Street and provides the following comments:

**General Comments**

- Ensure that the drawings of both G+C Architects Inc. and ERA Architects Inc. are consistent. Currently, there are differences between details in the drawings by G+C included in the site plan application and HIA, and those prepared by ERA included in the Conservation Plan.
- Outline the measure that will be undertaken to ensure the protection of the heritage resource during construction.

**Page 1, Section 1: Introduction**

- Revise this section to state that the property is designated under Part IV of the Ontario Heritage Act pursuant City of Brampton By-law 150-2015.
- Update the photograph in Figure 1 using BramptonMaps, which offers more recent aerial images. Go to <http://maps.brampton.ca/maps/default.aspx>, type in 45 Railroad St in the address search bar on the bottom left corner of the page, then turn on the most recent air photo available under the Base Maps category on the right hand menu.

**Page 2, Subsection 1.1: Project Background**

- Revise this subsection to explain that the HIA and Conservation Plan are being submitted as part of a Site Plan application and Heritage Permit application, prior to the application of a Building Permit.

### **Page 3, Subsection 2.1: Conservation Strategy Objectives**

- Update this subsection to reflect the designation by-law

### **Pages 4, Subsection 2.2: Scope of Phase 1 Conservation Work**

- Where salvaged materials have been stored on site, outline what security measures have been undertaken to protect the items from damage, vandalism and theft.
- Briefly explain why a modification was made to the water-shedding protection on the east façade.
- Indication the conservation measures have been undertaken regarding the missing parapet caps discussed in the previous September 2012. Missing caps can result in significant deterioration of the masonry.

### **Appendix 1: Monitoring Survey at 45 Railroad Street**

Include a brief summary explaining what the measurements indicate.

#### ***Conservation Plan Drawings***

- A window schedule is missing from the Conservation Plan. Clearly indicate which original window sashes and frames will be restored, which will be replaced, and the specifications for both.

#### **HA300 – North and West Elevation**

- The drawing states “restore existing windows, provide new window sashes with double glazes”. Please clarify which windows (including frame and sash) are being restored, and which windows (include frame and sash) are being replaced with new units.
- In the “Heritage Conservation Notes” please specify that the replacement of original fabric/features should be in-kind, using the same material, dimensions, profile, and details.
- Specify appropriate brick cleaning approaches and mortar composition.
- Refer to HIA comments regarding front entrance design.
- Clarify the approach being proposed for the west elevation, as the G+C drawings and ERA drawings do not correspond.

#### **HA301 – East Elevation**

- This drawing proposes two doors along the Mill Street South façade be filled in with masonry, while the G+C drawing for this illustration show the two doors being replaced with windows that match the adjacent windows. Please clarify which approach is being proposed and provide rationale.

**HA200 – Ground Floor Plan**

- Refer to comments above.

**HA 200 – Second Floor Plan**

- Refer to HIA comments regarding front entrance and egress stair.
- Clarify the approach being proposed for the west elevation, as the G+C drawings and ERA drawings do not correspond.

I look forward to receiving your revised Conservation Plan, and please feel free to contact me should you have any questions.

Regards,

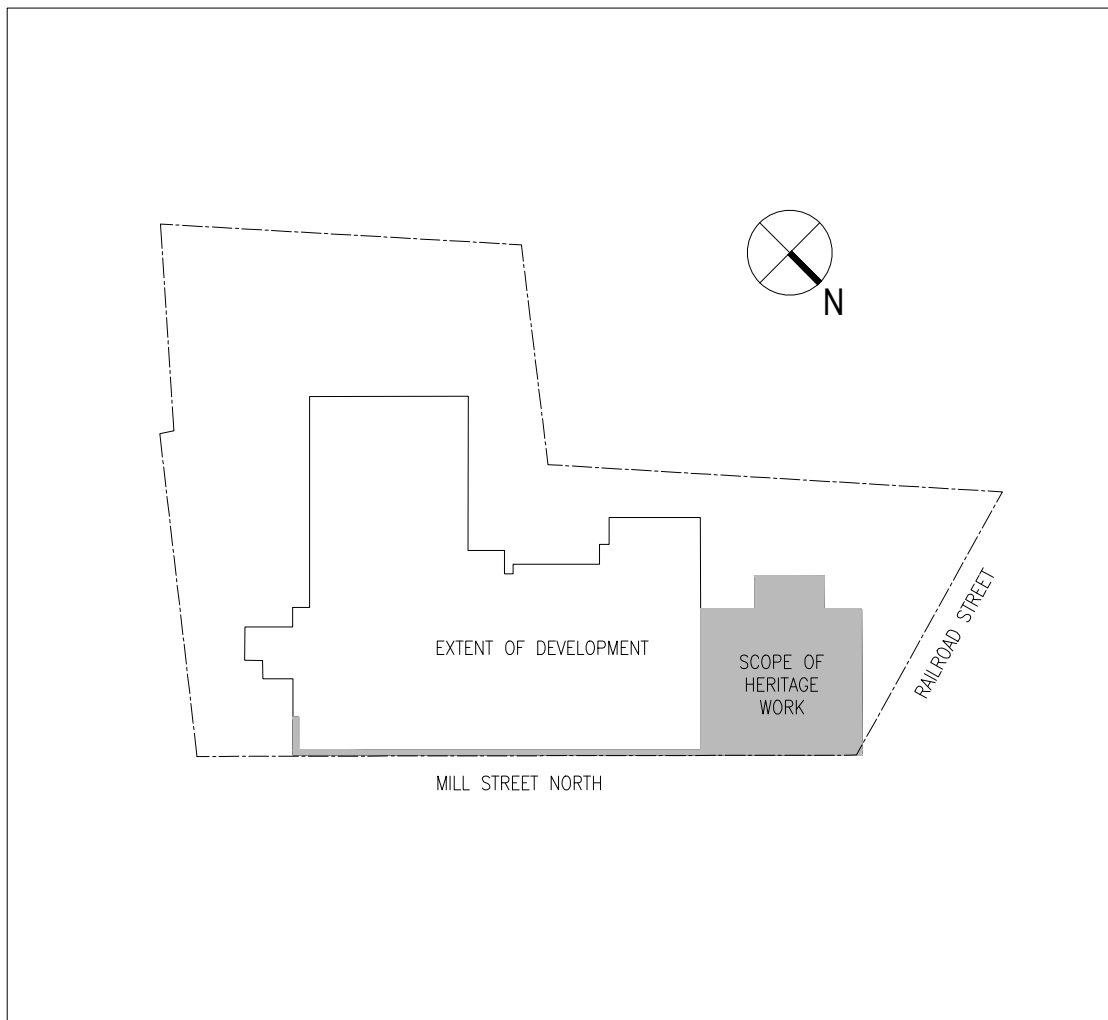
Stav Kassaris  
Heritage Coordinator  
905-874-3825  
stavroula.kassaris@brampton.ca

Project  
45 RAILROAD STREET  
Address  
45 Railroad Street  
Project no.  
06-057-05  
Issued for  
**REISSUED FOR HERITAGE  
APPROVAL**  
Date  
NOVEMBER 4, 2020

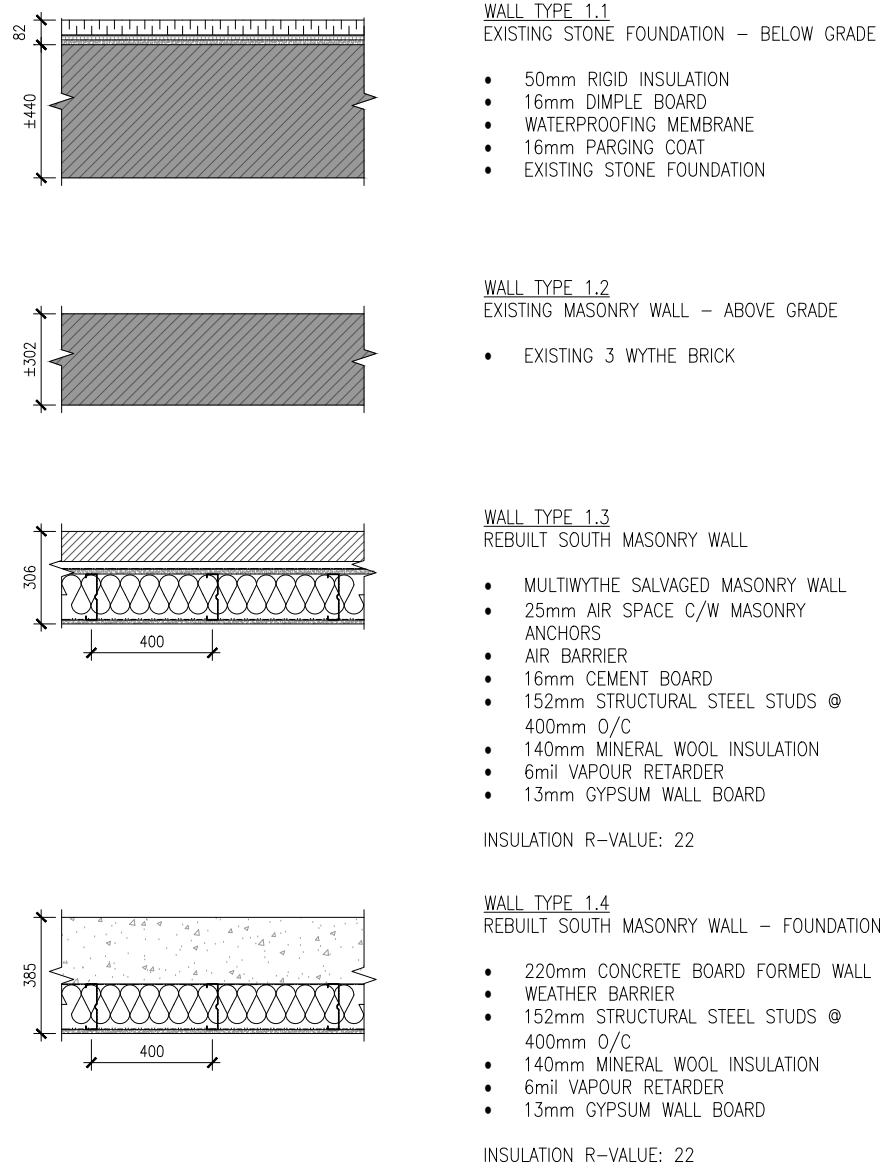
ERA Architects Inc.  
625 Church Street, Suite 600, Toronto, ON, M4Y 2G1  
Tel: (416) 963-4497

DRAWING LIST	
HA001	PROJECT INFO, ASSEMBLIES & SURVEY
HA100	CONSERVATION GROUND & SECOND FLOOR PLANS
HA101	CONSERVATION THIRD FLOOR & ROOF PLANS
HA200	CONSERVATION NORTH & WEST ELEVATIONS
HA201	CONSERVATION EAST ELEVATIONS
HA202	CONSERVATION SOUTH ELEVATIONS

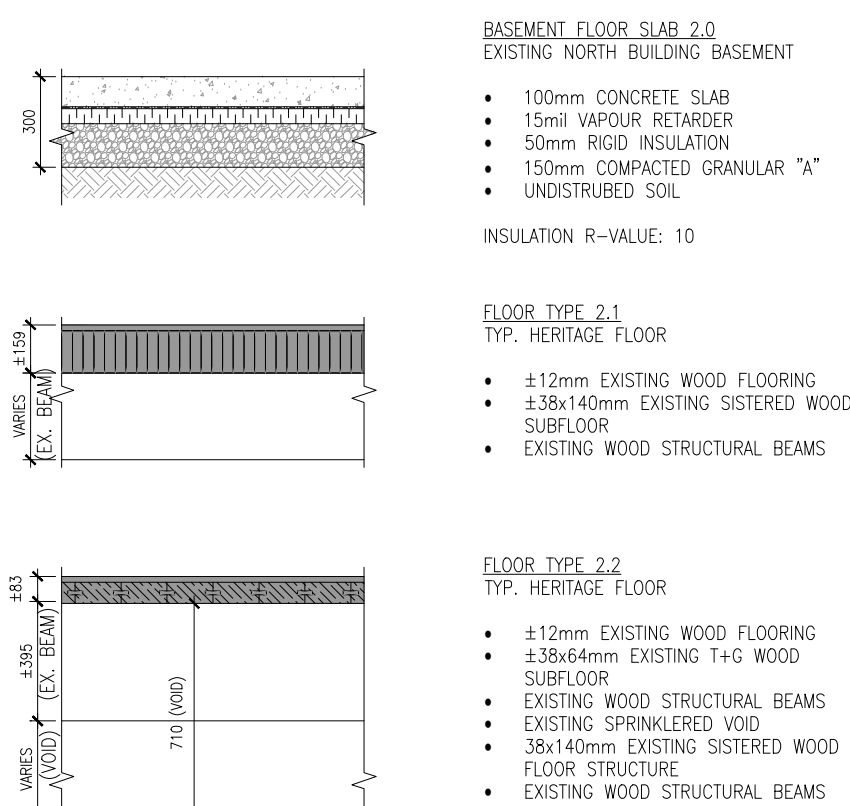
Key Plan



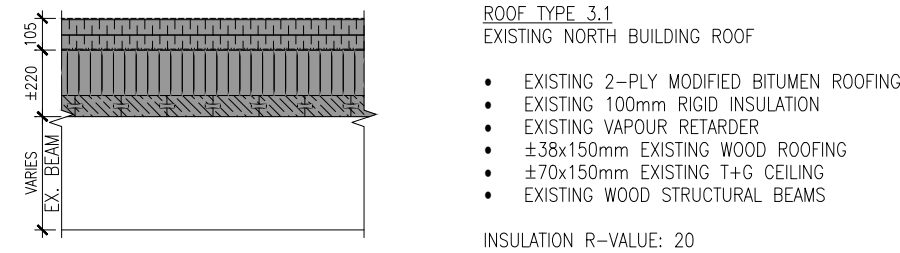
Wall Assemblies



Floor Assemblies



Roof Assemblies



Heritage General Notes

- G01 Dimensions and areas are for guidance about extent. This does not relieve the bidder of responsibility to visit the site and make all the necessary measurements.
- G02 All conservation work is to be carried out by a qualified Heritage Contractor. Should conflicts arise, contact the Owner's project manager and notify the Heritage Architect for the required action.
- G03 All dimensions are to be verified on-site by the contractor. Should conflicts arise, contact the owner's project manager and notify the Heritage Architect for the required action.
- G04 Refer to the heritage specifications for requirements regarding all mock-ups, shop drawings, samples etc.
- G05 The Heritage Architecture (HA) drawings should be read in conjunction with the Architects and Structural Engineers drawings.
- G06 Replacement/repair of original fabric/features should be in-kind, using the same materials, dimensions, profiles and details.

Masonry Restoration

- G06 Replace deteriorated bricks and stone as indicated on the drawings. All replacement brick to be of good, sound quality and not damaged.
- G07 All mortar to be lime based with the following mixes:
- Hydraulic lime mortar for resetting, rebedding and rebuilding brick and stone: 1 hydraulic lime NHL 3.5 : 2 sand
  - Hydraulic lime mortar for repointing brick and stone: 1 hydraulic lime NHL 2 : 2 sand

Woodwork

- G08 Confirm restoration extent of wood areas with the Heritage Architect before commencing. Areas to be rebuilt shall replicate the construction assembly and detailing exactly.
- Heritage Interiors**
- G09 Intent of repair on the interior is to repair only critical damage that affects the integrity of the wall. Cracking, spalling, repointing and masonry rebuilding will occur as outlined in the HA drawings.
- Allow for 30% repointing on each interior elevation, beyond what is identified in the HA drawings.
  - Remove existing hardwood flooring including oil finishers. Retain the existing subflooring.
  - Allow for 10m<sup>2</sup> of subfloor replacement on each floor. Subfloor replacement to occur in-kind with existing flooring.
  - Allow for 10m<sup>2</sup> of masonry replacement, beyond what's shown in the drawings.
  - Interior to be lightly washed and efflorescence removed
- G10 Confirm extent of the above repairs with the Heritage Architect before any interior work starts.

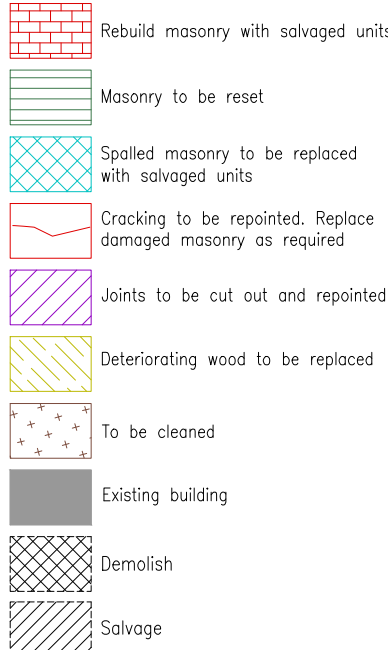
Heritage Windows

- G11 All heritage window shop drawings to be reviewed and approved by heritage architect.

Heritage Conservation Notes

- C01 Allow for investigation and repair of the west facade above and below grade. Investigations to include but are not limited to delaminating and core testing. Repairs to be determined after completion of review. Reviews to be conducted by Heritage Contractor, Heritage Architect and Structural Engineer. Specific tests and investigations to be determined by Structural Engineer.
- C02 Provide new stone sill to match existing.
- C03 Rebuild parapet with existing masonry. Damaged units to be replaced with salvaged brick units. Mortar to be lime based to match existing. Provide metal flashing on interior of parapet as detailed.
- C04 Fully document windows with photos and drawings of the jamb, sills and lintels of each window type. Salvage existing window hardware and 15 existing sashes on the manufacturing floor and store in weather protected facility. Remove all remaining frames and sashes and dispose off-site. Provide new wood windows to replicate existing. Refer to window schedule.
- C05 Remove brick lintel and rebuild masonry within opening. Use salvaged masonry and lime based mortar. Inset rebuilt masonry 25mm from existing masonry.
- C06 Remove wood lintel. Install new steel lintel within cavity and encase with salvaged masonry and lime based mortar. Inset rebuilt masonry 25mm from existing masonry.
- C07 Deleted
- C08 Deleted
- C09 Return brick and stone. Make good along edge of demolition. Use salvaged brick as needed to complete return and use lime based mortar to match adjacent. Refer to detail 3/HA01.
- C10 Provide foundation waterproofing. Provide new parging, waterproofing, dimple board drainage sheet with filter fabric, and insulation on exterior foundation wall below grade. Refer to details.
- C11 Repoint 100% of stone foundation above and below grade, on the exterior. Repair parging in basement on interior.
- C12 Clean 100% of stone foundation on interior and exterior.
- C13 Clean tar/paint from brick, sills and lintels as required.
- C14 Clean upper and lower window sills on the east and south facades.
- C15 Provide general hot water clean of entire facade (typical).
- C16 Remove all obsolete wood trim, metal fasteners, fittings and brackets from building facade and point openings (typical).
- C17 Remove metal plate. Replace, repair, rebuild masonry as required to match existing window above.
- C18 Provide new drip edge in existing stone sills (typical).
- C19 At location of previous entry stair and ramp, repoint 100% of concurred area behind ramp with lime based mortar and replace damaged masonry with salvaged masonry as needed. Consult heritage architect after removals to confirm extent of work.
- C20 Restore cornice. Provide new LCC flashing on cornice and new gutters along extent of cornice. All replaced detailing to replicate existing detailing. Consult with Heritage Architect for extent of repair/rebuild before starting work. Refer to details.
- C21 Replace damaged or deteriorating terra cotta coping.
- C22 Concrete block and steel frame to be retained. Refer to structural and architectural drawings.
- C23 Remove concrete pads and retention structure.
- C24 Remove existing window frame. Replace to match new window to be installed.
- C25 Salvage stone caps, bricks and foundation stones.
- C26 Deleted
- C27 Deleted
- C28 Deleted
- C29 Provide wood framing to anchor to new building and LCC cop flashing over cornice.
- C30 Provide new steel channels to wrap around masonry opening. Refer to details.
- C31 Deleted
- C32 Build masonry within opening. Use salvaged masonry and lime based mortar. Inset rebuilt masonry 25mm from existing masonry. Refer to details.
- C33 Repoint brick as needed; clean all efflorescence; replace any deteriorated masonry units. Confirm extent of repair with Heritage Architect before commencing work.
- C34 Infill existing scuppers with salvaged brick. Stitch rebuilt masonry into existing masonry.
- C35 Remove and salvage masonry for new opening. Make good ends of masonry openings. Provide new lintels.
- C36 Provide new door in existing masonry opening.
- C37 Deleted
- C38 On interior masonry foundation wall, allow for 20% repointing, 20% parging repair and 100% clean to remove all dirt, dust, concentrated soiling, efflorescence and staining.

Heritage Legend



2020-11-04	REISSUED FOR HERITAGE APPROVAL
2016-06-06	REVISED FOR SPA
2016-05-27	REVISED FOR HERITAGE PERMIT
2015-09-30	REVISED FOR SPA
DATE	ISSUED FOR
Project north	

E R A

E.R.A. Architects Inc., 625 Church St. Suite 900, Toronto, Canada, M4Y 2P1  
T: (416) 963-4467 F: (416) 963-8761 info@eraarch.ca www.eraarch.ca

Project	
45 RAILROAD	
Address	
45 Railroad Street	
For	
Preston Group	
Project no.	
06-057-04	
Scale	
AS NOTED	
Drawn by	
JMRB	
Reviewed by	
PE	
Drawing title	

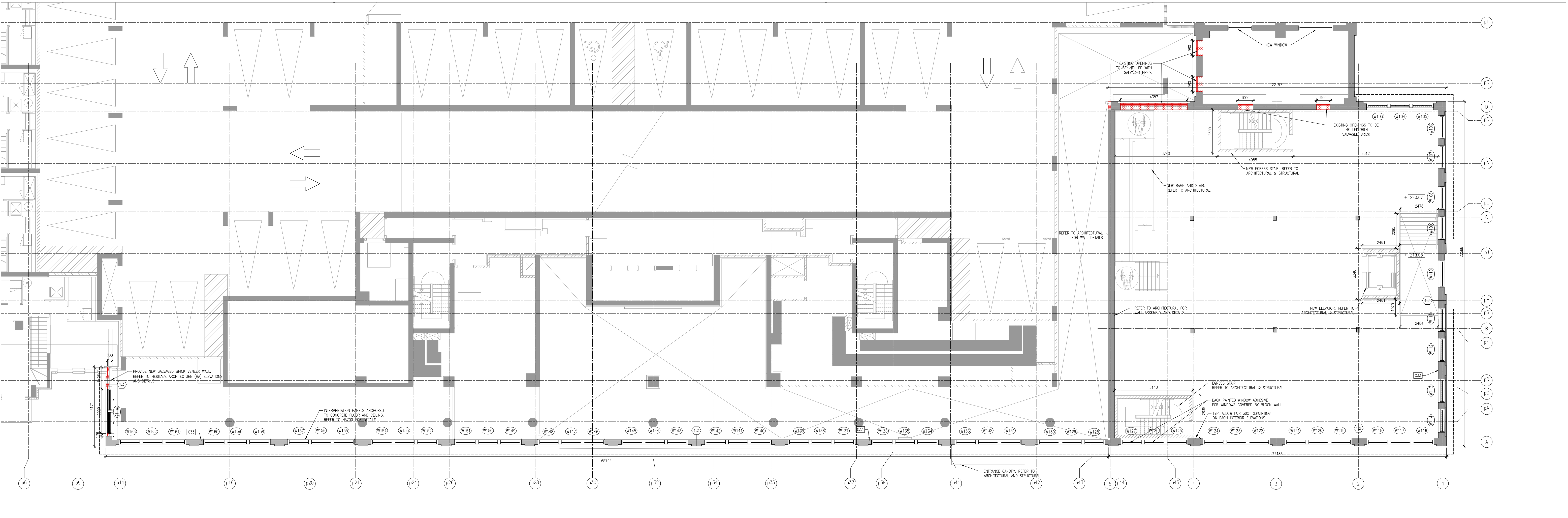
PROJECT INFO,  
ASSEMBLIES & KEY PLAN

Sheet no.

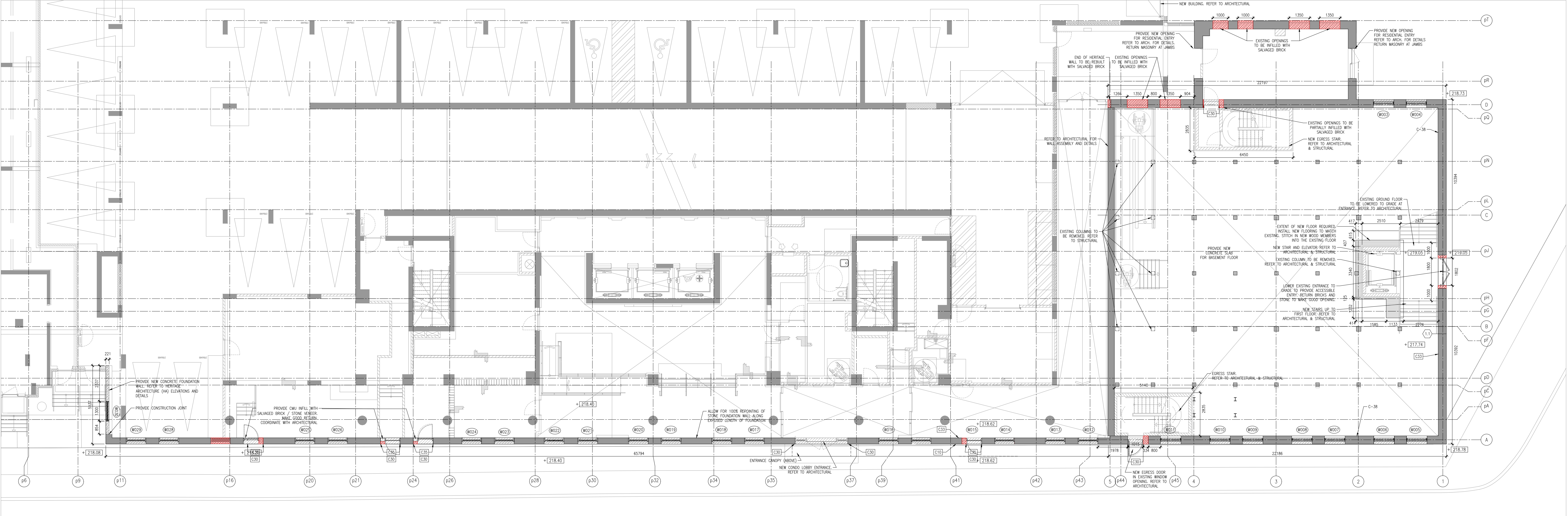
HA001

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SECOND FLOOR PLAN 2  
Scale 1 : 125 HA100

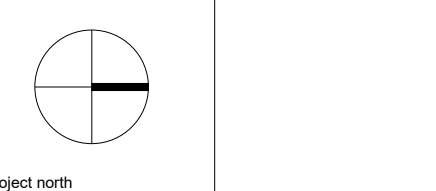


GROUND FLOOR PLAN 1  
Scale 1 : 125 HA100

REPAIR LEGEND	
	Rebuild masonry with salvaged units
	Masonry to be reset
	Spalled masonry to be replaced with salvaged units
	Cracking to be repaired. Replace damaged bricks as required
	Joints to be cut out and repointed
	Deteriorating wood to be replaced
	To be cleaned
	Demolish
	Salvage
	Existing building

- GENERAL NOTES:
- CONTRACTOR TO CONFIRM ALL DIMENSIONS ON-SITE BEFORE WORK BEGINS.
  - DIMENSIONS AND AREAS ARE FOR GUIDANCE ABOUT EXTENT. THIS DOES NOT RELIEVE THE BIDDER OF RESPONSIBILITY TO VISIT THE SITE AND MAKE ALL THE NECESSARY MEASUREMENTS.
  - ALL CONSERVATION WORK IS TO BE CARRIED OUT BY A QUALIFIED HERITAGE CONTRACTOR. SHOULD CONFLICTS ARISE, CONTACT THE OWNER'S PROJECT MANAGER AND NOTIFY THE HERITAGE ARCHITECT FOR THE REQUIRED ACTION.
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  - THE HERITAGE ARCHITECTURE (HA) DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE ARCHITECTS AND STRUCTURAL ENGINEERS DRAWINGS.
  - REPLACEMENT/REPAIR OF ORIGINAL FABRIC/FEATURES SHOULD BE IN-KIND, USING THE SAME MATERIALS, DIMENSIONS, PROFILES AND DETAILS.

2020-11-04	REISSUED FOR HERITAGE APPROVAL
2016-06-06	REVISED FOR SPA
2016-05-27	REVISED FOR HERITAGE PERMIT
2015-09-30	REVISED FOR SPA
2015-06-08	REISSUED FOR SPA
DATE	ISSUED FOR



E.R.A. Architects Inc., 625 Church St. Suite 900, Toronto, Canada, M5V 2S1  
T: (416) 963-4467 F: (416) 963-4761 info@eraarch.ca www.eraarch.ca

Project

45 RAILROAD

Address 45 Railroad Street

For Preston Group

Project no. 06-057-04

Scale AS NOTED

Drawn by JMRB

Reviewed by PE

Drawing title

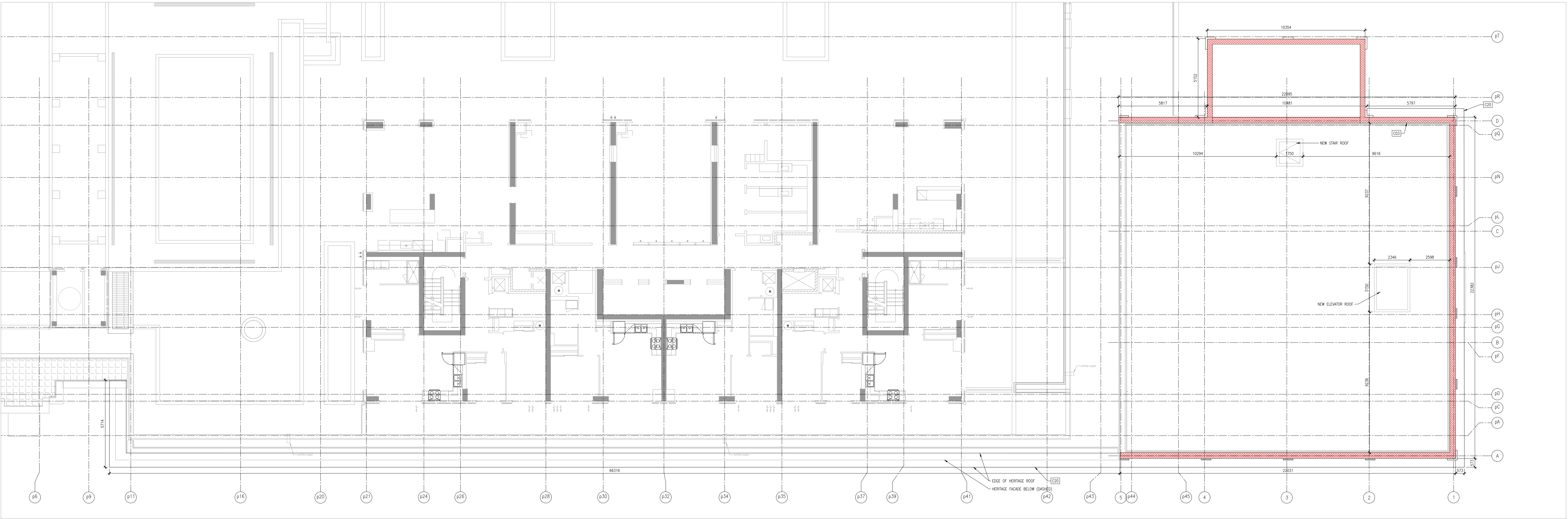
CONSERVATION  
GROUND & SECOND  
FLOOR PLANS

Sheet no.

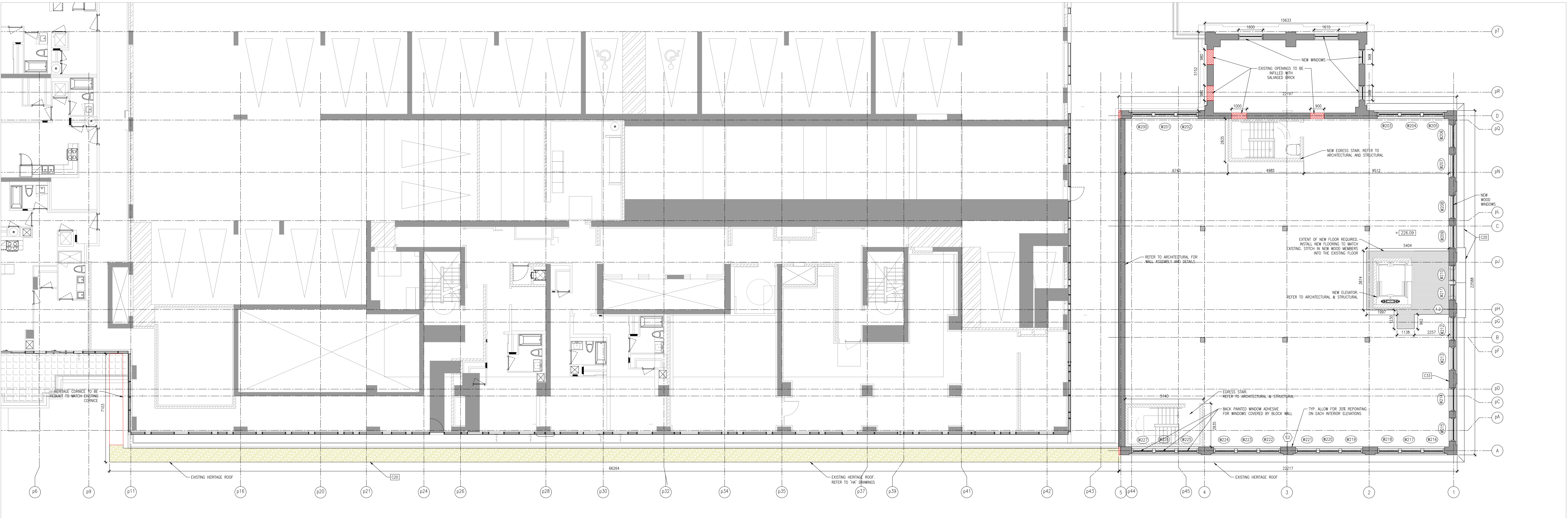
HA100

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ROOF PLAN 2  
Scale 1 : 125 HA101

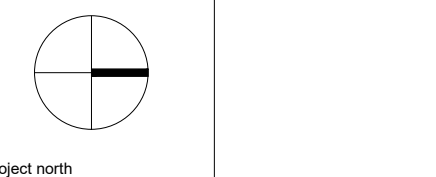


THIRD FLOOR PLAN 1  
Scale 1 : 125 HA101

REPAIR LEGEND	
	Rebuild masonry with salvaged units
	Masonry to be reset
	Spalled masonry to be replaced with salvaged units
	Cracking to be repaired. Replace damaged bricks as required
	Joints to be cut out and repointed
	Deteriorating wood to be replaced
	To be cleaned
	Demolish
	Salvage
	Existing building

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  - REPLACEMENT/REPAIR OF ORIGINAL FABRIC/FEATURES SHOULD BE IN-KIND, USING THE SAME MATERIALS, DIMENSIONS, PROFILES AND DETAILS.

2020-11-04	REISSUED FOR HERITAGE APPROVAL
2020-06-01	REISSUED FOR TENDER
2017-11-21	REISSUED FOR TENDER
2017-05-11	ISSUED FOR TENDER
2016-12-06	ISSUED FOR PERMIT
2016-11-15	REVISED FOR COORDINATION
2016-07-15	REVISED FOR COORDINATION
2016-06-06	REVISED FOR SPA
2016-05-27	REVISED FOR HERITAGE PERMIT
2015-09-30	REVISED FOR SPA
2015-06-08	REISSUED FOR SPA
DATE	ISSUED FOR



**E R A**

E.R.A. Architects Inc., 625 Church St. Suite 600, Toronto, Canada, M5V 2G1  
T: (416) 963-4467 F: (416) 963-4761 info@erarch.ca www.erarch.ca

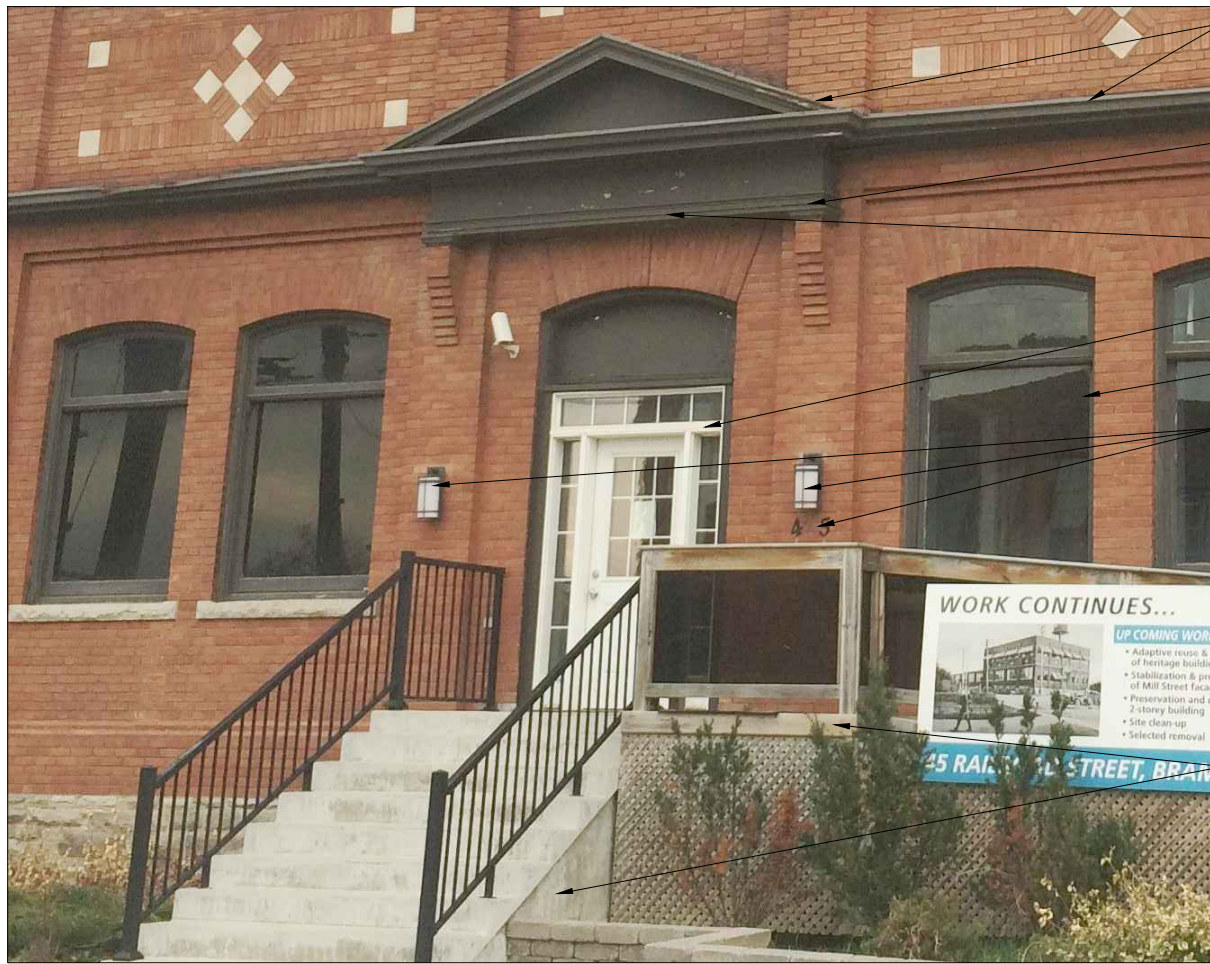
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For	Preston Group
Project no.	06-057-04
Scale	AS NOTED
Drawn by	JMRB
Reviewed by	PE
Drawing title	

CONSERVATION  
THIRD FLOOR  
& ROOF PLAN

Sheet no.  
**HA101**

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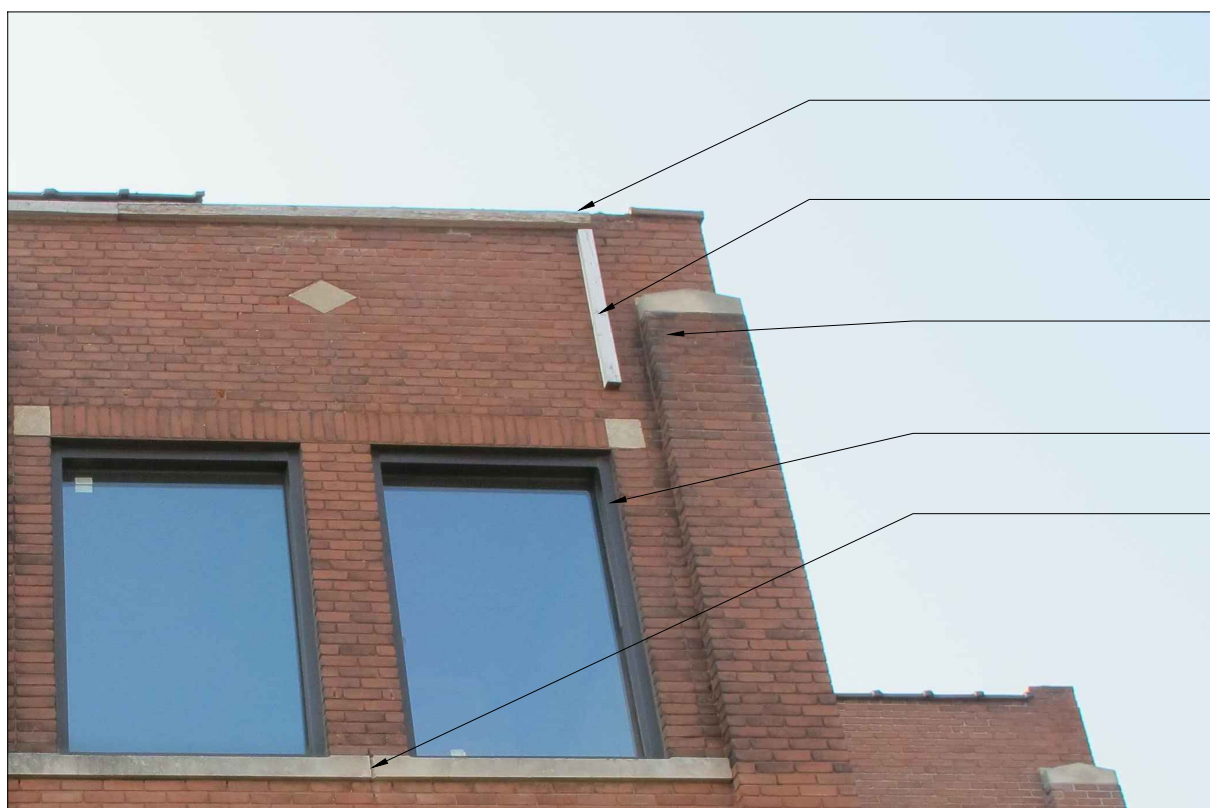
- PROVIDE NEW FLASHING AND EAVES TROUGH. NEW EAVES TROUGH PROFILE TO MATCH EXISTING. REFER TO DETAILS AND SPECIFICATIONS.
- REFER TO CONSERVATION NOTE C20 FOR DESCRIPTION OF REPAIR WORK.
- SCRAPE, SAND, PRIME AND PAINT ENTIRE LENGTH OF PEDIMENT AND CORNICE.
- REMOVE EXISTING DOORS AND DISPOSE OFF-SITE. REFER TO WINDOW SCHEDULE.
- (TYP.) REMOVE ALL OBSOLETE SIGNAGE, LIGHTING AND METAL FASTENERS. REPAIR MORTAR JOINTS WITH LIME BASED MORTAR AND MASONRY WITH SALVAGED UNITS.
- REMOVE EXISTING CONCRETE AND WOOD STAIR/RAMP AND DISPOSE OFF-SITE. CAREFULLY DISMANTLE AND SALVAGE MASONRY TO EXTEND MAIN ENTRY TO GRADE. RETURN MASONRY AT CORNERS AFTER REMOVALS. ALLOW FOR 100% REPOINTING OF FACADE BEHIND CONCEALED AREA OF RAMP.

NORTH PEDIMENT 5  
Scale NTS HA200



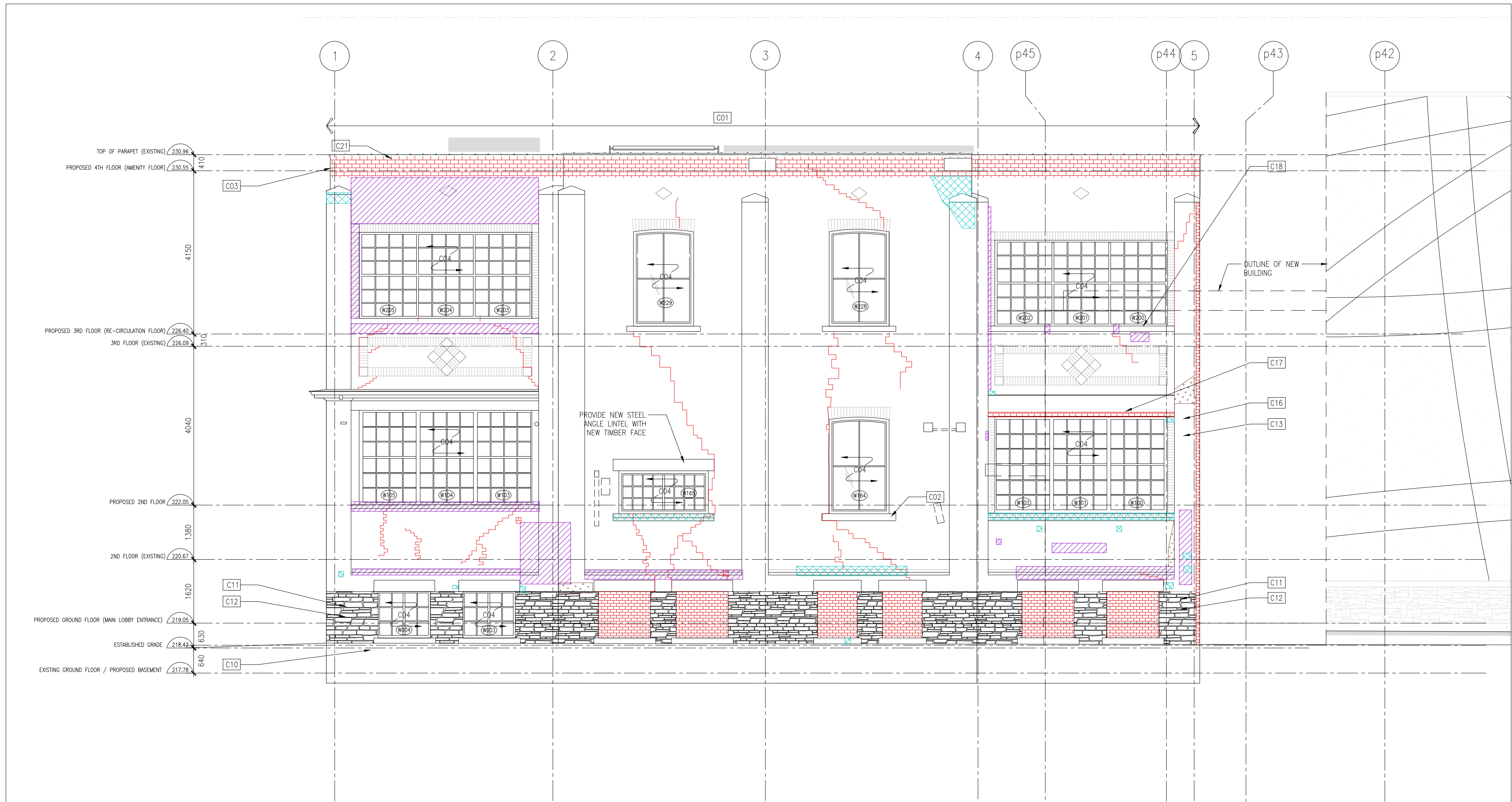
- CLEAN ALL TAR STAINS OFF FACADE.
- REFER TO WINDOW SCHEDULE AND CONSERVATION NOTE C04 FOR REPAIR SCOPE.
- (TYP.) ALL CRACKS TO BE REPOINTED AND DAMAGED MASONRY REPLACED.

WEST ELEVATION 4  
Scale NTS HA200

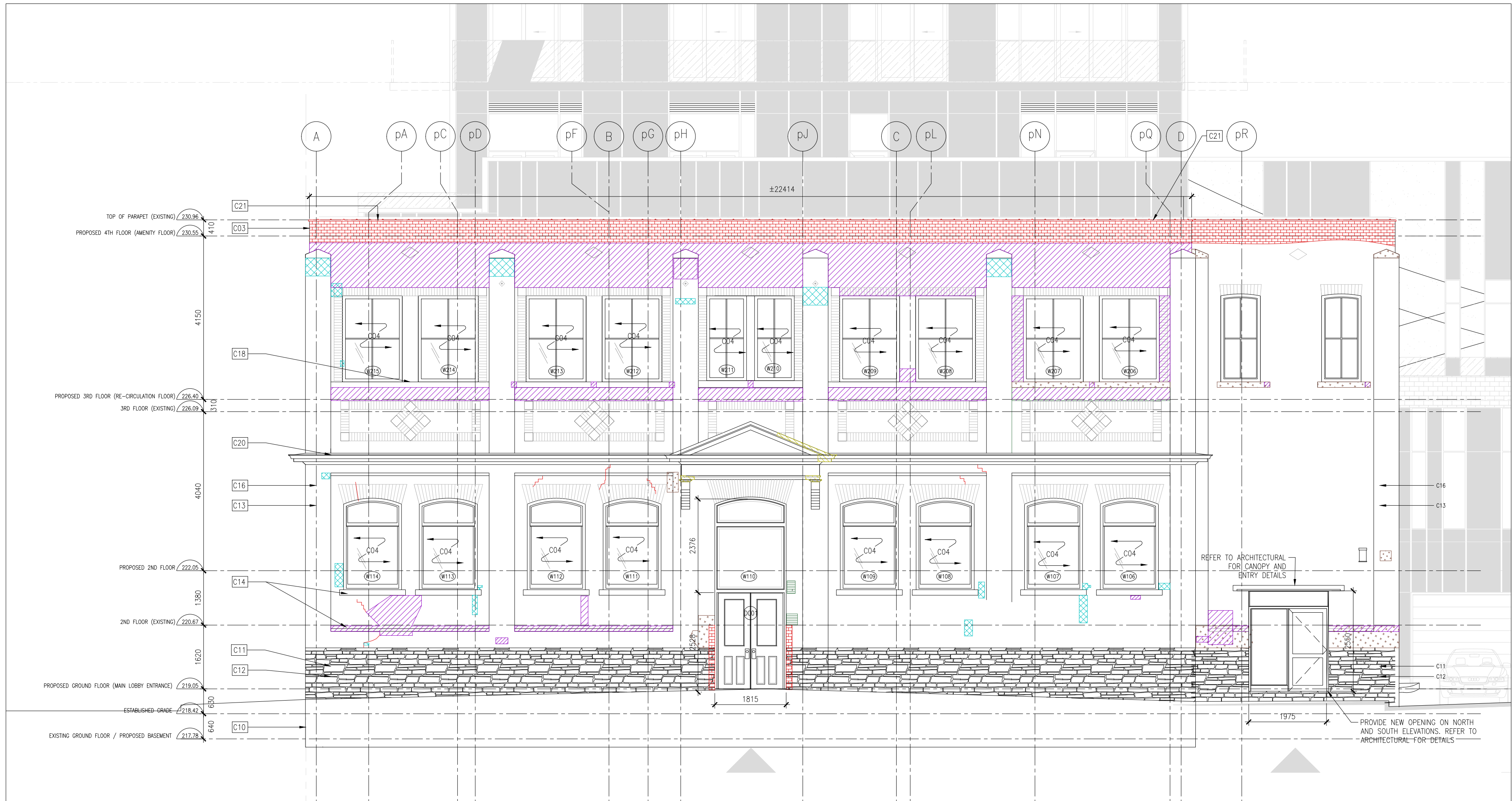


- USE SALVAGED TERRA COTTA COPING TO REPAIR MISSING OR DETERIORATED PARAPET COPING.
- REMOVE EXISTING WOOD FRAMING AND REPAIR HOLES FROM FASTENERS.
- SELECTIVELY CLEAN AREAS OF CONCENTRATED SOILING.
- REFER TO WINDOW SCHEDULE FOR EXTENT OF REPAIR.
- REPOINT ALL JOINTS BETWEEN ALL STONE SILLS.

NORTH ELEVATION 3  
Scale NTS HA200



WEST ELEVATION 2  
Scale 1:75 HA200

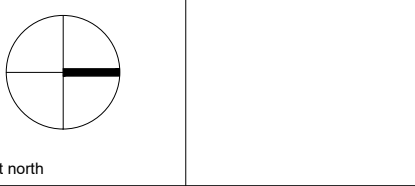


NORTH ELEVATION 1  
Scale 1:75 HA200

REPAIR LEGEND	
	Rebuild masonry with salvaged units
	Masonry to be reset
	Spalled masonry to be replaced with salvaged units
	Cracking to be repointed. Replace damaged bricks as required
	Joints to be cut out and repointed
	Deteriorating wood to be replaced
	To be cleaned
	Demolish
	Salvage
	Existing building

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2020-11-04	REISSUED FOR HERITAGE APPROVAL
2016-06-06	REVISED FOR SPA
2016-05-27	REVISED FOR HERITAGE APPROVAL
2015-09-30	REVISED FOR SPA
2015-06-08	REISSUED FOR SPA
DATE	ISSUED FOR



E R A

E.R.A. Architects Inc., 635 Church St, Suite 600, Toronto, Canada, M5T 2G1  
T: (416) 963-4807 F: (416) 963-4761 info@eraarch.ca www.eraarch.ca

Project

45 RAILROAD

Address

45 Railroad Street

For

Preston Group

Project no.

06-057-04

Scale

AS NOTED

Drawn by

JM/RB

Reviewed by

PE

Drawing title

CONSERVATION

NORTH & WEST

ELEVATIONS

Sheet no.

HA200

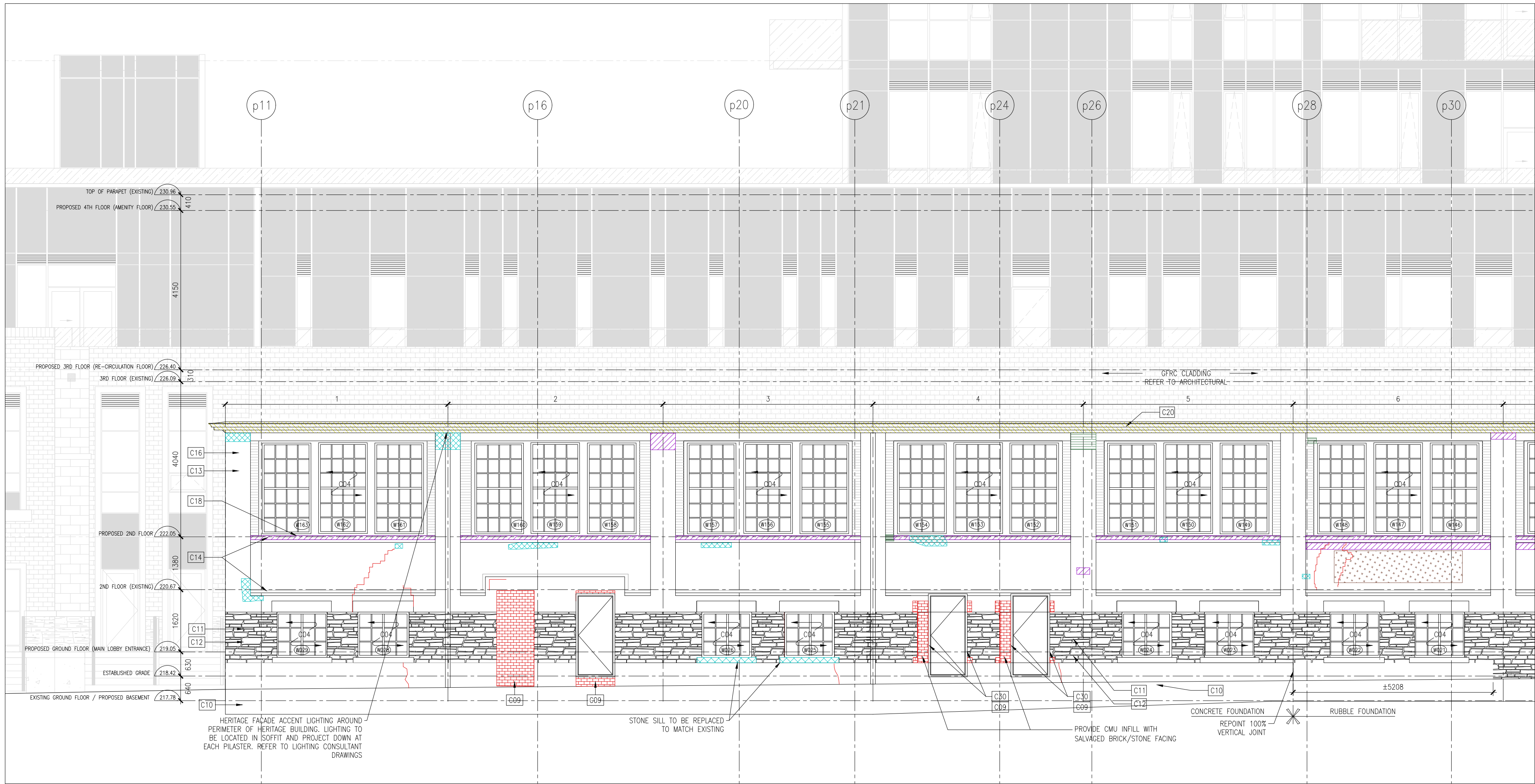
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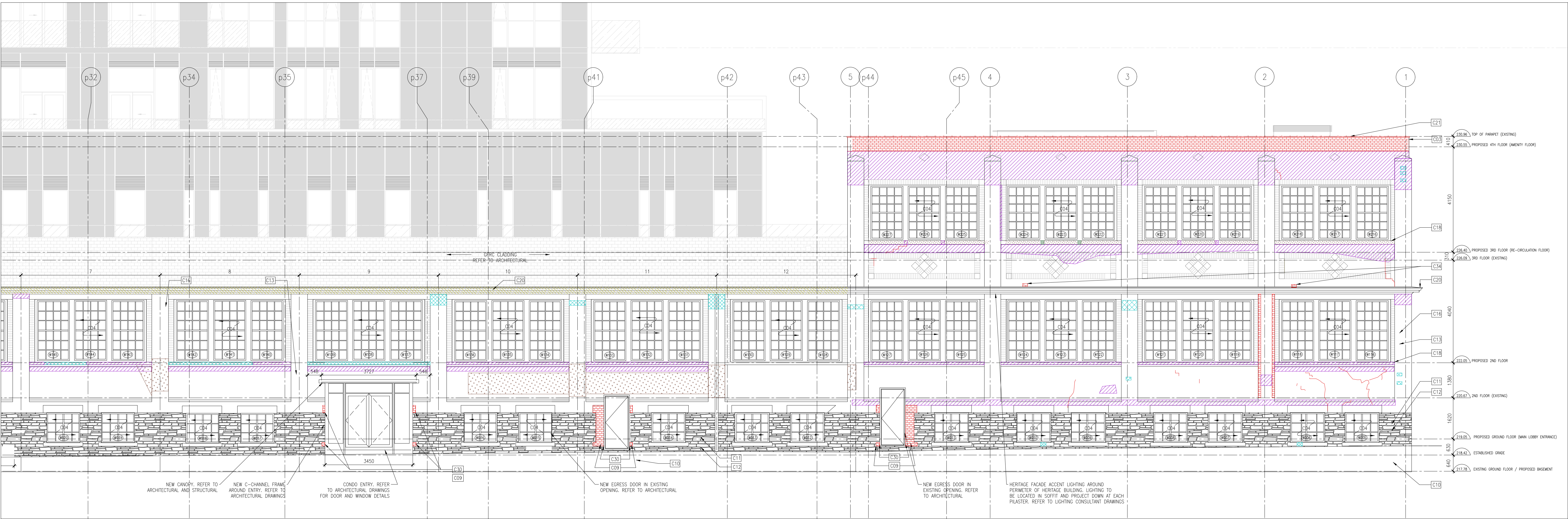


Typical West Bay Repair 3  
HA201

- REFER TO CONSERVATION NOTE C20 FOR DESCRIPTION OF REPAIR WORK TO CORNICE
- REFER TO WINDOW SCHEDULE AND CONSERVATION NOTE C04 FOR REPAIR SCOPE
- 100% REPOINT ALL BRICK SILLS AND CLEAN WINDOW SILLS
- REPOINT 100% ALL MASONRY STEPS
- LIGHTLY CLEAN ALL STONE AND BRICK
- REFER TO WINDOW SCHEDULE
- 100% REPOINT STONE



EAST ELEVATION 2  
Scale 1:75 HA201

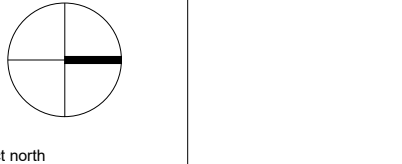


EAST ELEVATION 1  
Scale 1:75 HA201

REPAIR LEGEND	
	Rebuild masonry with salvaged units
	Masonry to be reset
	Spalled masonry to be replaced with salvaged units
	Cracking to be repointed. Replace damaged bricks as required
	Joints to be cut out and repointed
	Deteriorating wood to be replaced
	To be cleaned
	Demolish
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	Existing building

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- CONTRACTOR TO CONFIRM ALL DIMENSIONS ON-SITE BEFORE WORK BEGINS.
  - DIMENSIONS AND AREAS ARE FOR GUIDANCE ABOUT EXTENT. THIS DOES NOT RELIEVE THE BIDDER OF RESPONSIBILITY TO VISIT THE SITE AND MAKE ALL THE NECESSARY MEASUREMENTS.
  - ALL CONSERVATION WORK IS TO BE CARRIED OUT BY A QUALIFIED HERITAGE CONTRACTOR. SHOULD CONFLICTS ARISE, CONTACT THE OWNER'S PROJECT MANAGER AND NOTIFY THE HERITAGE ARCHITECT FOR THE REQUIRED ACTION.
  - ALL DIMENSIONS ARE TO BE VERIFIED ON-SITE BY THE CONTRACTOR. SHOULD CONFLICTS ARISE, CONTACT THE OWNER'S PROJECT MANAGER AND NOTIFY THE HERITAGE ARCHITECT FOR THE REQUIRED ACTION.
  - REFER TO THE HERITAGE SPECIFICATIONS FOR REQUIREMENTS REGARDING ALL MOOY-LIPS, SHOP DRAWINGS, SAMPLES ETC.
  - THE HERITAGE ARCHITECTURE (HA) DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE ARCHITECTS AND STRUCTURAL ENGINEERS DRAWINGS.
  - REPLACEMENT/REPAIR OF ORIGINAL FABRIC/FEATURES SHOULD BE IN-KIND, USING THE SAME MATERIALS, DIMENSIONS, PROFILES AND DETAILS.

2020-11-04	REISSUED FOR HERITAGE APPROVAL
2020-06-01	REISSUED FOR TENDER
2017-11-21	REISSUED FOR TENDER
2017-05-11	ISSUED FOR TENDER
2016-12-06	ISSUED FOR PERMIT
2016-11-15	REVISED FOR COORDINATION
2016-07-15	REVISED FOR COORDINATION
2016-06-06	REVISED FOR SPA
2016-05-27	REVISED FOR HERITAGE APPROVAL
2015-09-30	REVISED FOR SPA
2015-06-08	REISSUED FOR SPA
DATE	ISSUED FOR



Project north



E.R.A. Architects Inc., 625 Church St. Suite 900, Toronto, Canada, M5T 1A1  
T: (416) 963-4497 F: (416) 963-4761 info@eraarch.ca www.eraarch.ca

Project

45 RAILROAD

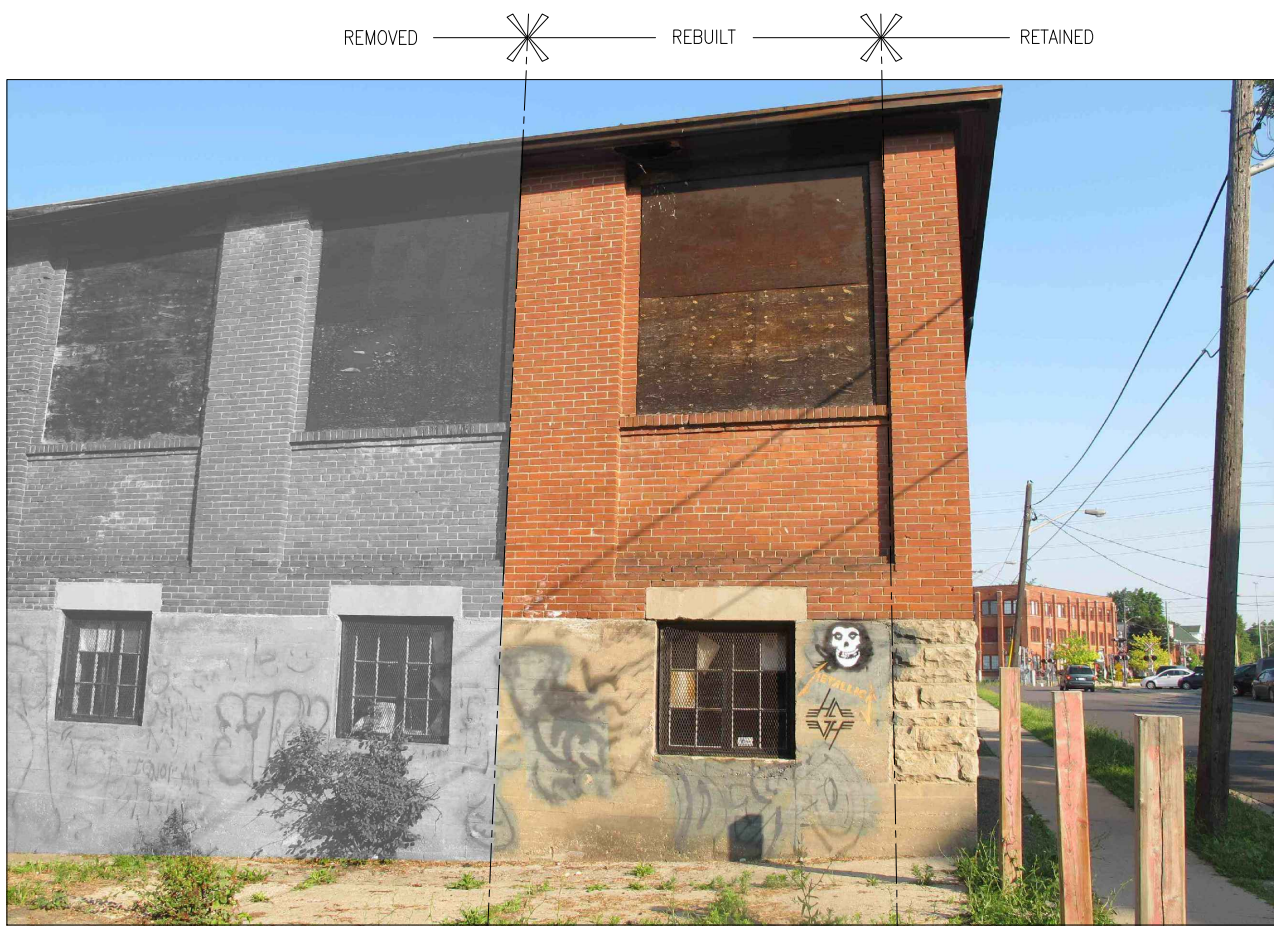
Address	45 Railroad Street
For	Preston Group
Project no.	06-057-04
Scale	AS NOTED
Drawn by	JMR/B
Reviewed by	PE
Drawing title	

CONSERVATION  
EAST ELEVATIONS

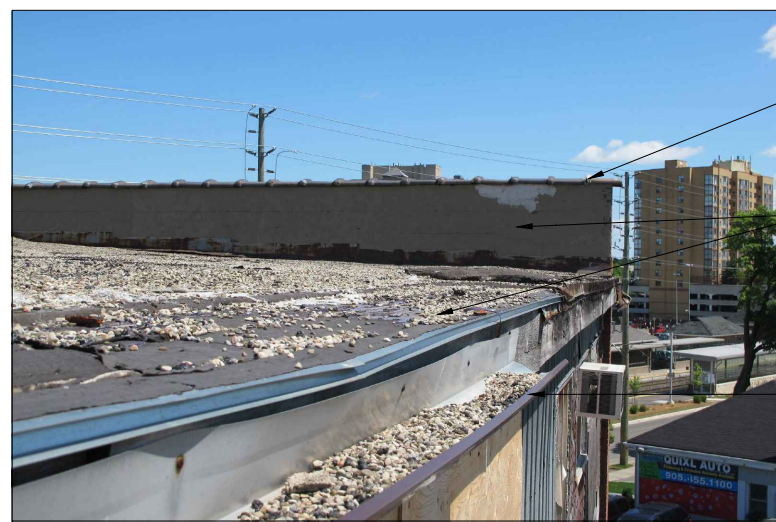
HA201

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South Facade Existing Condition 5  
HA202



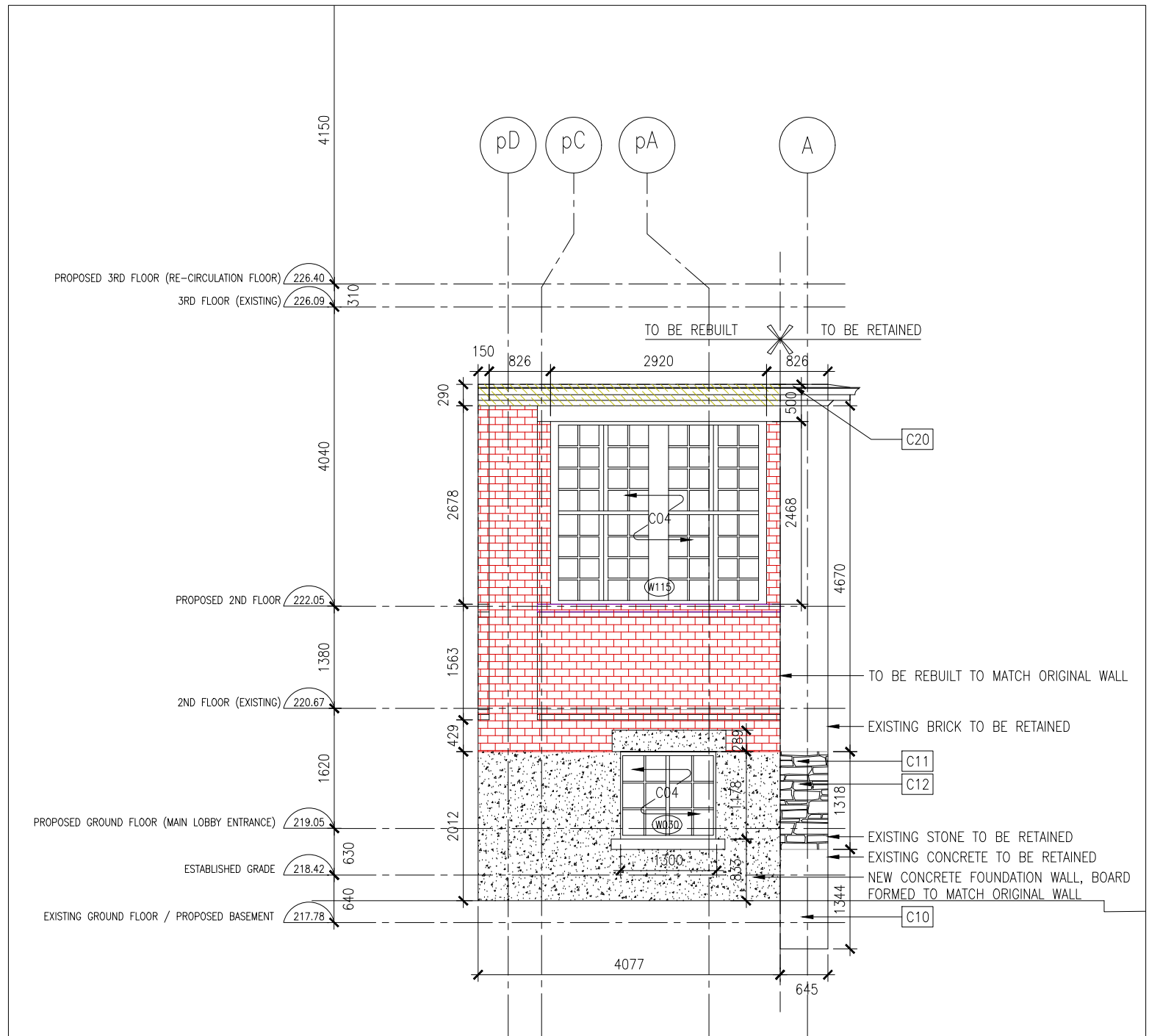
Parapet Roof 4  
HA202



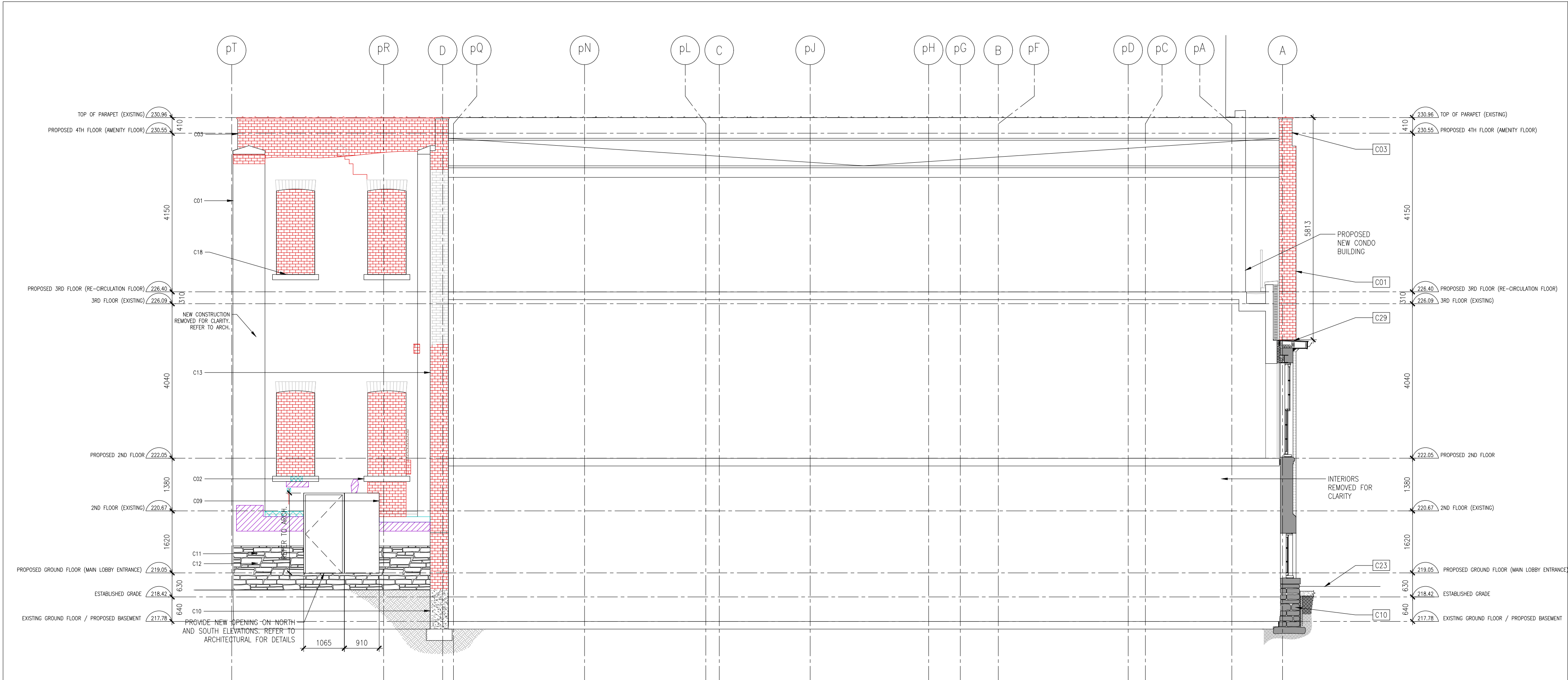
South Facade @ Parapet 3  
HA202

REPAIR LEGEND	
	Rebuild masonry with salvaged units
	Masonry to be reset
	Spalled masonry to be replaced with salvaged units
	Cracking to be repointed. Replace damaged bricks as required
	Joints to be cut out and repointed
	Deteriorating wood to be replaced
	To be cleaned
	Demolish
	Salvage
	Existing building

- GENERAL NOTES:
- CONTRACTOR TO CONFIRM ALL DIMENSIONS ON-SITE BEFORE WORK BEGINS.
  - DIMENSIONS AND AREAS ARE FOR GUIDANCE ABOUT EXTENT. THIS DOES NOT RELIEVE THE BIDDER OF RESPONSIBILITY TO VISIT THE SITE AND MAKE ALL THE NECESSARY MEASUREMENTS.
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SOUTH ELEVATION 2  
Scale 1 : 75 HA202



BUILDING CROSS SECTION 1  
Scale 1 : 75 HA202

2020-11-04	REISSUED FOR HERITAGE APPROVAL
2020-06-01	REISSUED FOR TENDER
2017-11-21	REISSUED FOR TENDER
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2015-09-30	REVISED FOR SPA
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DATE	ISSUED FOR
Project north	
E.R.A. Architects Inc., 625 Church St. Suite 900, Toronto, Canada, M5V 2S1 T: (416) 963-4487 F: (416) 963-8761 info@eraarch.ca www.eraarch.ca	
Project	
45 RAILROAD	
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45 Railroad Street	
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Preston Group	
Project no.	
06-057-04	
Scale	
AS NOTED	
Drawn by	
JMR/B	
Reviewed by	
PE	
Drawing title	
CONSERVATION	
SOUTH ELEVATIONS	
Sheet no.	
HA202	
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DOOR SCHEDULE												
					FRAME			GLAZING				
DR. NO.	ROOM NAME	TYPE	WIDTH	HEIGHT	EX/NEW	MATL	FINISH	TYPE	TEMPERED	NO. OF LTS	NOTES	
D001	ELEVATOR LOBBY	DOUBLE SWING	1815	2532	EX	WD	PT	DBL	YES	2	(H05 IN ARCHITECTURAL)	

WINDOW SCHEDULE																		
WIN NO.	TYPE	WIDTH	HEIGHT	EX/NEW	MATL	SILL	FINISH	EX/NEW	MATL	FINISH	TYPE	TEMPERED	NO. OF LTS	NOTES				
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W004	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W005	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W007	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W008	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W009	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W010	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W011	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W012	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W013	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W014	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W015	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W016	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W017	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W018	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W019	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W020	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
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W029	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					
W030	1	1325	1175	NEW	WD	STONE	PT	NEW	WD	PT	DBL	YES	2					

W103	4	1450	2460	NEW	WD	BRICK	PT	NEW	WD	PT	DBGL	NO	2					
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W105	4	1450	2460	NEW	WD	BRICK	PT	NEW	WD	PT	DBGL	NO	2					
W106	2	1475	2320	NEW	WD	STONE	PT	NEW	WD	PT	DBGL	YES	2	TEMPERED ON LOWER PANE				
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W111	2	1475	2320	NEW	WD	STONE	PT	NEW	WD	PT	DBGL	YES	2	TEMPERED ON LOWER PANE				
W112	2	1475	2320	NEW	WD	STONE	PT	NEW	WD	PT	DBGL	YES	2	TEMPERED ON LOWER PANE				
W113	2	1475	2320	NEW	WD	STONE	PT	NEW	WD	PT	DBGL	YES	2	TEMPERED ON LOWER PANE				
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W116	4	1450	2460	NEW	WD	BRICK	PT	NEW	WD	PT	DBGL	NO	2	TEMPERED ON LOWER PANE				
W117	4	1450	2460	NEW	WD	BRICK	PT	NEW	WD	PT	DBGL	NO	2					
W118	4	1450	2460	NEW	WD	BRICK	PT	NEW	WD	PT	DBGL	NO	2					
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W132	4	1450	2460	NEW	WD	BRICK	PT	NEW	WD	PT	DBGL	NO	2					
WIN NO.	TYPE	WIDTH	HEIGHT	EX/NEW	MATL	SILL	FINISH	EX/NEW	MATL	FINISH	TYPE	TEMPERED	NO. OF LTS	NOTES				
W133	4	1450	2460	NEW	WD	BRICK	PT	NEW	WD	PT	DBGL	NO	2					
W134	4	1450	2460	NEW	WD	BRICK	PT	NEW	WD	PT	DBGL	NO	2					

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W164	4	1530	2460	NEW	WD	BRICK	PT	NEW	WD	PT	DBGL	NO	2
W165	4	2272	1095	NEW	WD	BRICK	PT	NEW	WD	PT	DBGL	NO	2



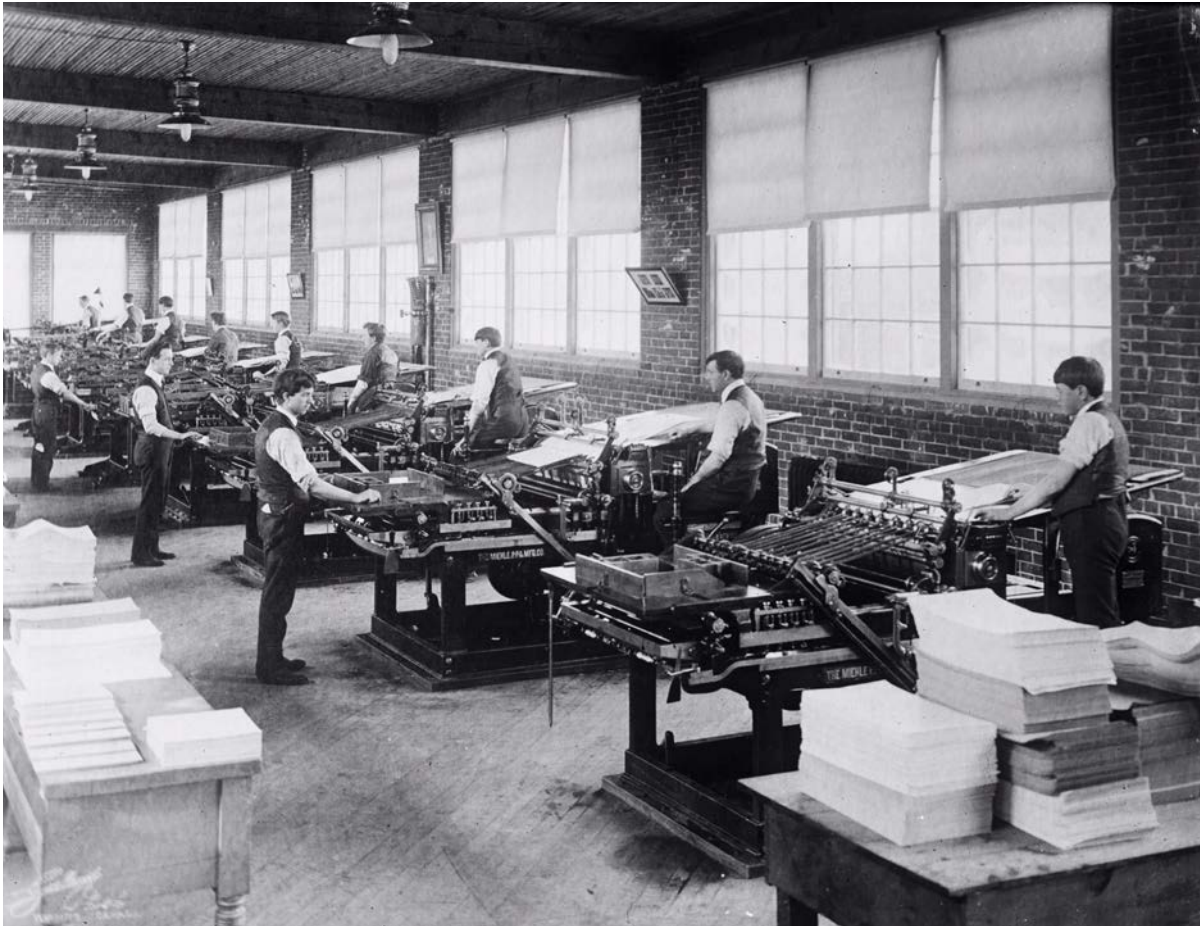
# 45 RAILROAD STREET

INTERPRETATION PLAN | NOVEMBER 4, 2020



ERA

ERSON CO. LTD.  
N. ONT.



Interior view of Copeland-Chatterson factory in 1905. (Toronto Public Library).

Project # 06-057-05

Prepared by PE/JM/RL2

**PREPARED FOR:**

Preston Homes/Redwood Properties  
330 New Huntington Road  
Vaughan, Ontario L4H 4C9  
905-856-7751

**PREPARED BY:**

ERA Architects Inc.  
600-625 Church Street  
Toronto, Ontario M4Y 2G1  
416-963-4497

Cover Image: Copeland-Chatterson Company building prior to second storey addition in 1915 (Peel Archives).

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2 HERITAGE RECOGNITION	2
3 INTERPRETIVE SPACES	3
4 CONCLUSION	10





Rendering of 45 Railroad Street with interpretation spaces highlighted (Norm Li; annotated by ERA).

# EXECUTIVE SUMMARY

The applicant has retained ERA Architects (“ERA”) as its heritage architectural consultant for the redevelopment of 45 Railroad Street (“the site”). The site contains the Copeland-Chatterson Loose Leaf Ledger Company Building, also known as the Dominion Skate Building. The red brick factory was constructed in 1905, and a second floor addition to the office was completed in 1914.

The purpose of this Plan is to build upon the Heritage Interpretation Plan (“HIP”) submitted November 14, 2016 and to identify the approaches to implementing the commemoration of the cultural heritage value of the property.

This plan is organized by each of the interpretation spaces on the site. Through each space, we present implementation strategies for interpretation of historical themes of the site. The interpretation of the interior elements is evolving concurrent with the development proposal.

The report outline follows:

Space 1: Exterior East Elevation

*Strategy:* Graphic Window Treatment

Space 2: Exterior North Yard

*Strategy:* Sculptural Element

Space 3: Interior Lobby

*Strategy:* Architectural Elements

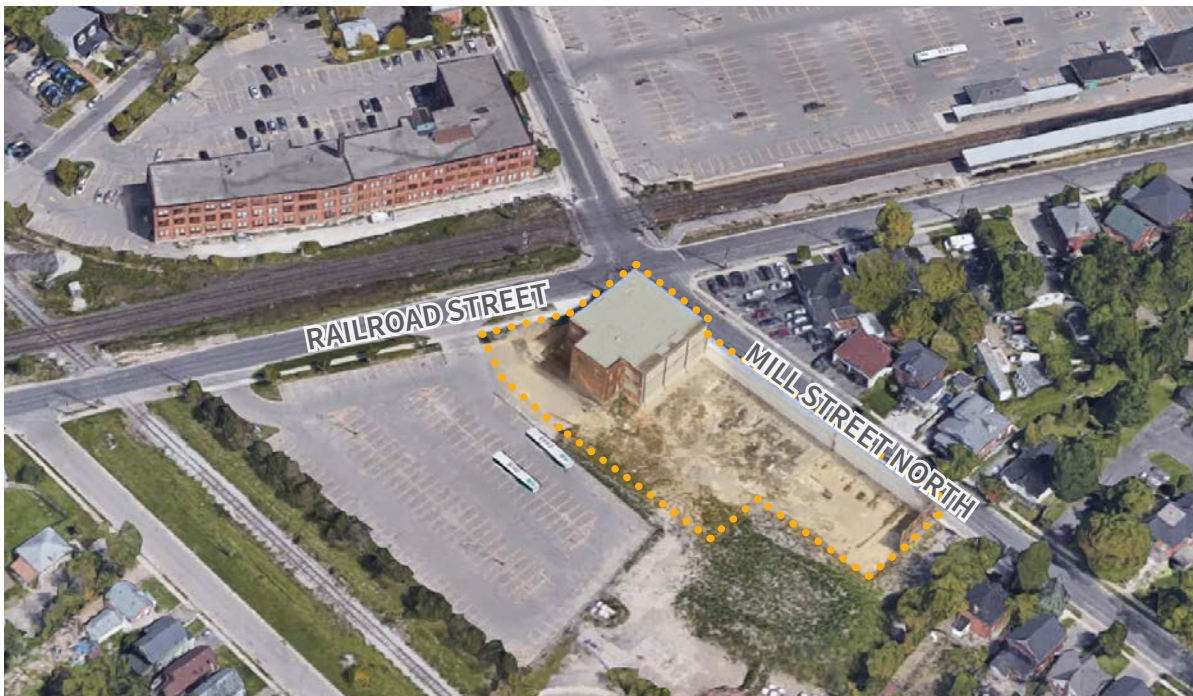
*Strategy:* Object Display

*Strategy:* Photographs and Images

*Strategy:* Etched Elevator Surround

INTENTIONALLY BLANK

# 1 INTRODUCTION



Aerial view of site with buildings that are subject to this Heritage Interpretation Plan in dashed outline (annotation by ERA).

## *Site Location and Description*

The site is located in Brampton, at the evolving intersection of Railroad Street and Mill Street North. To the north of the site is the Old Shoe Factory. To the east is the Brampton GO Station and low-rise commercial and residential buildings. To the south is a GO Station parking lot, public right-of-way and rail corridor. To the west is a GO Station parking lot.

## *Historical Overview*

The Copeland-Chatterson Building was constructed in 1905 as a single-storey red brick office and factory building in the Chicago style. The building was constructed for use by the Copeland-Chatterson Company. Founded in 1893 by Robert J. Copeland and A.E. Chatterson, the company produced binders that locked loose-leaf ledger sheets with key on filing posts, which simplified the accounting procedures of the day.

The company relocated its manufacturing facilities from Toronto to Brampton to meet their needs for labour and adequate land. However, its growth was not complete, and in 1914 they constructed a second floor addition to the office spaces. Further bays were added along Mill Street North, until the company sold the building to Anthes Imperial Ltd in 1961. In 1981, the building was sold again to the Dominion Skate Company, which operated on site until 2008.

## 2 HERITAGE RECOGNITION

---

The Copeland-Chatterson Building was designated under Part IV of the Ontario Heritage Act with By-law No. 150-2015. The by-law provides a description of the heritage attributes of the property as well as the statement of significance. The by-law is attached (see Appendix I), and the description of heritage attributes is included below:

### *Design/Physical Value*

#### Property Overall:

- rectangular plan and massing with partial second storey addition;
- flat roof profile (parapet walls and rooflines);
- Chicago School and Neo-Gothic style influences;
- unpainted red masonry walls;
- brick buttresses;
- foundation wall denoted by coursed cut stone blocks;
- original fenestration;
- corbelled brick water table.

#### Mill Street Facade:

- large industrial-scale sash windows (6-over-6 basement windows, 12-over-12 first floor windows);
- window openings along Mill Street facade (recessed slightly into wall and framed by brick corbels);
- stone lintels over above-grade wood case-ment basement windows;
- graffiti carved into a brick by a penknife with inscription reading: “1949 AD. Dec \_\_ CNR Survey”; located on the Railroad and Mill Streets corner before the first Mill Street window openings;
- shallow setback of building facade along Mill Street South.

#### Railroad Street Facade:

- original ground floor office windows with segmental arch brick voussoirs;
- second storey addition windows with brick voussoirs;
- fixed single-pane transoms;
- brick parapet wall with ribbed coping tiles;
- brick corbelling;
- heavy pediment over main entrance with radiating brick voussoir and corbelling;
- fixed, single pane transom over main entrance;
- pre-cast decorative blocks laid in diamond patterns forming second storey spandrel panels; each spandrel panel sits within a rectangular frame made of brick laid in soldier courses;
- rectangular second storey windows with pre-cast sills and horizontal soldier coursed voussoirs;
- single pre-cast blocks accentuating the upper outer corners of each second storey window;
- brick buttresses and their pre-cast caps.





Postcard image of the building with 1914 addition (Source: Peel Archives).

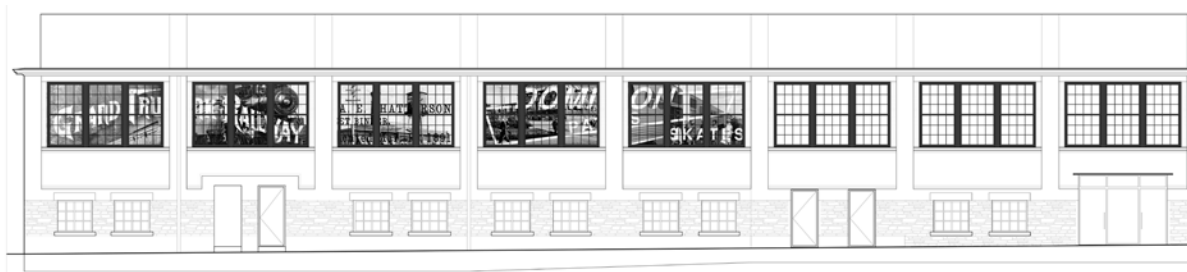
### *Historical/Associative Value:*

- association with prominent individuals, including R.J. Copeland and A.E. Chatterson, inventors of the innovative loose-leaf ledger systems, which were manufactured in the Brampton plant;
- association with Canadian branch of Copeland-Chatterson Company, who chose Brampton as their manufacturing headquarters, the first outside manufacturing company to do so in Brampton;
- association with the Dominion Skate Factory for nearly 30 years;
- association with the early industrial history and development of Brampton.

### 3 INTERPRETIVE SPACES



Rendering of 45 Railroad Street with Space 1 highlighted (Norm Li; annotated by ERA).



Conceptual rendering of interpretation along east elevation of site (ERA).

#### *SPACE 1: Exterior East Elevation*

Drawing on and enhancing the strong association with the early industrial history of Brampton, this interpretive space is vital to the broader public understanding of the Copeland-Chatterson Building. This exterior elevation speaks to the way that the city of Brampton has experienced the building in an external and associative sense.

The interpretive strategy for this space is a graphic treatment of the windows along the eastern street edge. They will draw the eye of passersby on the street, telling a succinct story of the building. Using a linear collaging method, images bleed from one window to the next, communicating the passage of time and the interrelatedness of these histories. The previous HIP (2016) proposed seven windows, while this plan proposes a total of five window treatments, allowing unobscured light to enter the lobby of the building.

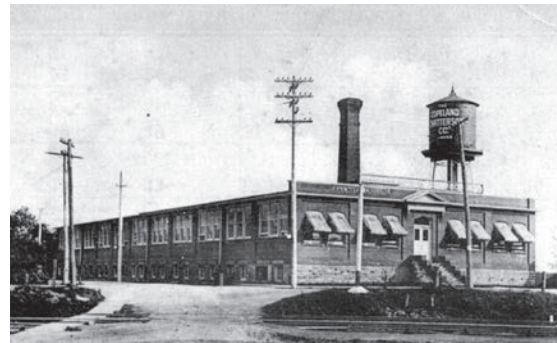
First, two windows will be treated with images of the Historic Grand Trunk Railway, extracted and collaged from maps and advertising ephemera. This placement in the sequence is purposeful, as the national rail expansion was a necessary precondition for large-scale industrial expansion to Brampton. The use of the railway imagery also encourages interpretation of the connection between the building and the nearby railway line, which forms the spine of the historic precinct.

Second, one window will be treated with a collage of the building in its 1905 form, overlayed with a patent held by Copeland-Chatterson and the company name. This image of the original structure of the building will convey a sense of the changes to the site over time to the passerby and foreground the association with the Copeland-Chatterson Company.

Third, two windows will be treated with the Dominion Skates logo, a later image of the building showing the 1914 addition, and an image of the GO train station. This collage speaks to the continued use of the factory, the rise of the post-war leisure industry, and the continued use of the railway.



Grand Trunk Railway Company of Canada advertisement (Source Unknown).



1905 image of the Copeland-Chatterson Building (Source Unknown).



Box for Dominion Skates Company (Source Unknown).





Rendering of 45 Railroad Street with Space 2 highlighted (Norm Li; annotated by ERA).

### *SPACE 2: Exterior North Yard*

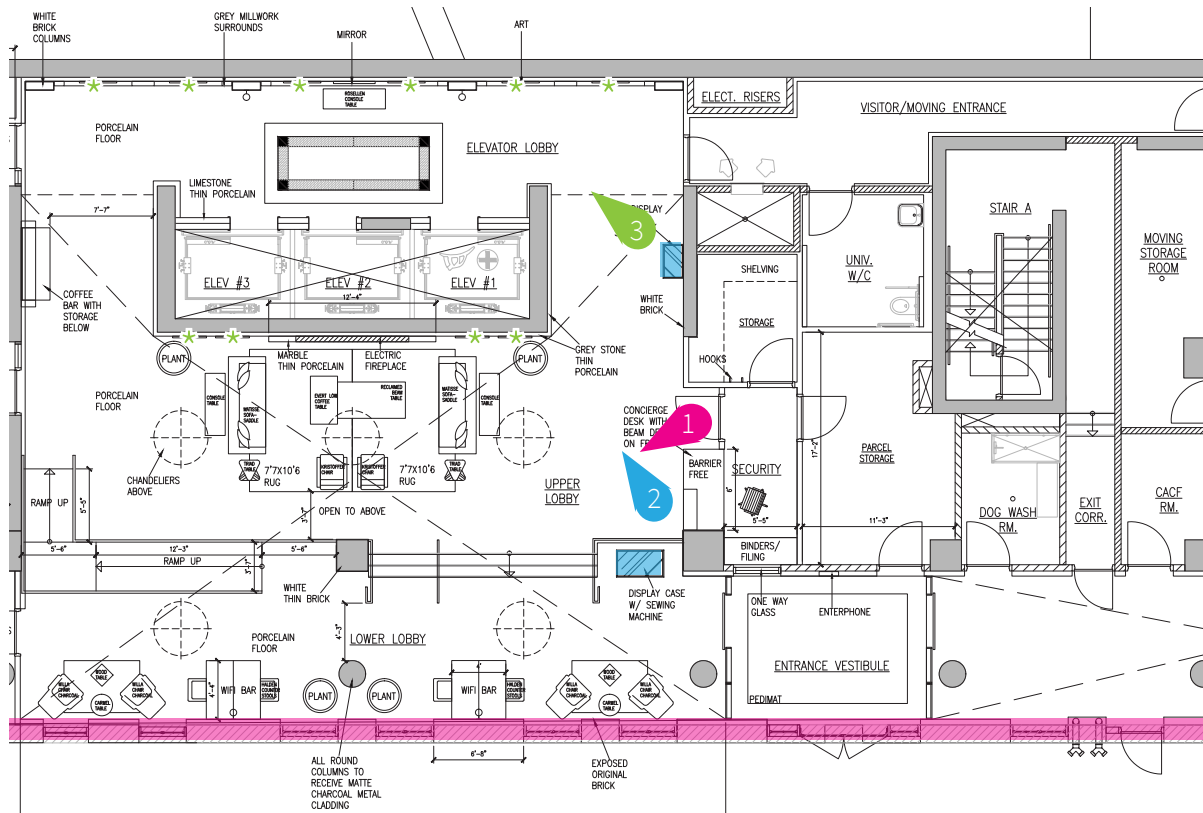
Making use of the public frontage and proximity to the railway corridor, this interpretive space creates an opportunity to recognize the creative potential of industry, with an emphasis on themes of redevelopment, movement of resources and people, and innovation.

The interpretive strategy for this space is a sculptural element. This strategy will allow for the appropriate use of the space and enliven the evolving public realm along Railroad Street.

The following page contains precedent photos selected to illustrate potential expressions of the themes outlined above.







Strategy one is highlighted in pink, strategy two is highlighted in blue, and strategy three is highlighted in green (annotated by ERA).

### SPACE 3: Interior Main Lobby

This Plan provides a more refined interior lobby concept than the previously submitted HIP (2016). In this Plan, the materiality has evolved to fit a contemporary industrial aesthetic, incorporating images of patents and historic photos. Interpretation concepts for this space are evolving concurrently with the lobby design.

The first strategy is the retention of key architectural elements. As shown in view one, the steel beams from the support structure used during construction are re-used throughout the interior. This allows an uncovering of the process of adaptive re-use. Importantly, the retention of the original window formation and brick



View one shows the salvaged steel beams, retained brick wall, and large-scale industrial sash windows (Studio 8 Design).

work can be appreciated to the fullest degree in this common space. The large industrial-scale sash windows allowed a pleasant light and air to circulate through the original factory space. The lobby plan has expanded to include an additional window and more space to experience the quality of light emanating from the window configuration. The images from the third strategy (below) will allow visitors and residents to connect these architectural features to the past use of the building as a factory.

The second strategy is the display of objects created within the factory. The first object, rendered in view two, is a sewing machine used by Dominion Skates to manufacture goods. It was recovered from the site, and will be displayed in a cabinet made of wood reclaimed from the site. The second object will be a pair of dominion skates, manufactured in Brampton, displayed with its original packaging.

The third strategy provides context for visitors and residents of the property. The display of historic photographs and patents associated with the site will be a key decorative feature throughout the lobby. These will tell the story of the building's evolution over time.

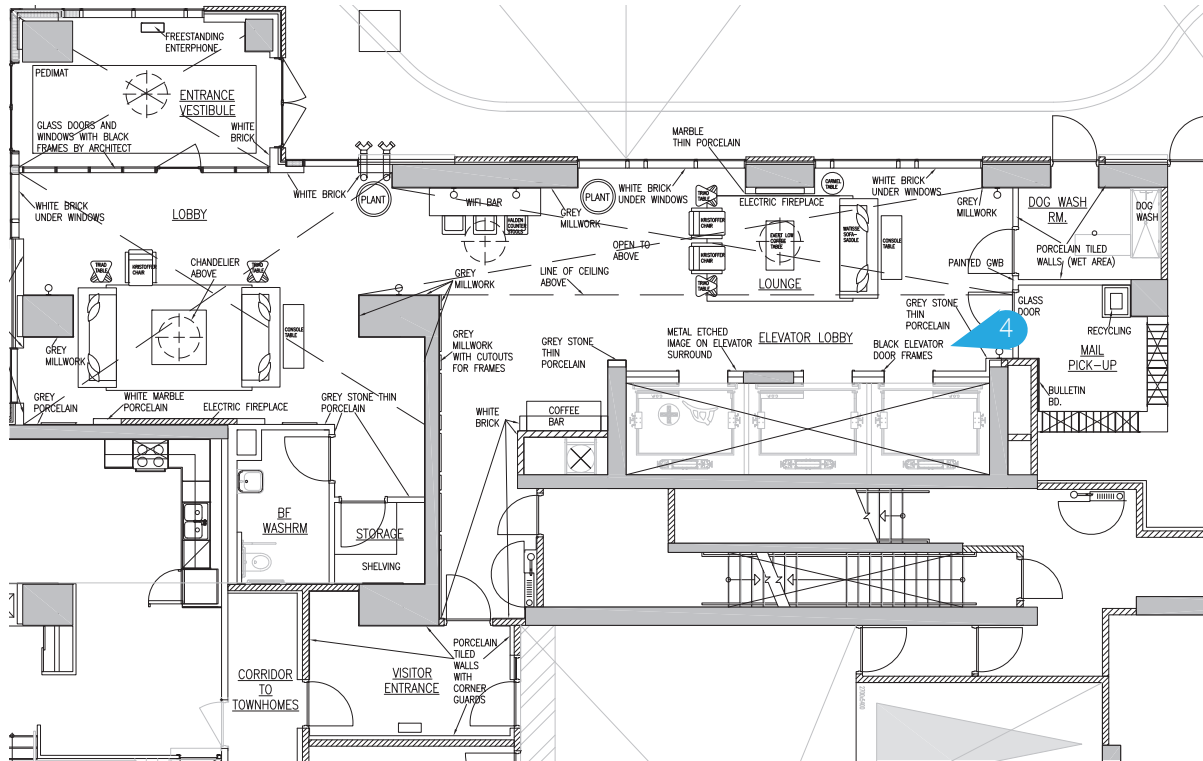
The interior main lobby provides further opportunity to explore interpretation of the interior elements of the building and the connection to the people and products who have entered and exited this space over time.



View two shows two display cases in context within the lobby (Studio 8 Designs).



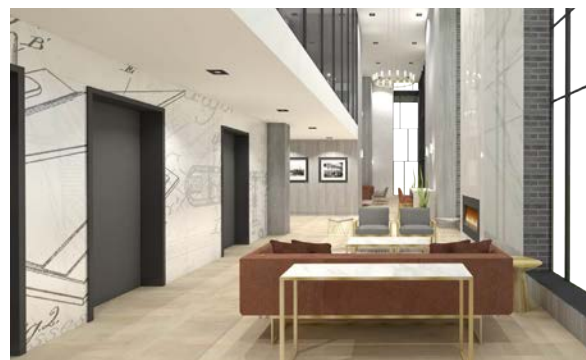
View three shows some of the photographs displayed near the elevator bank in the main lobby (Studio 8 Designs).



Strategy four is highlighted in blue (annotated by ERA).

The west secondary elevator lobby provides additional opportunity to interpret the history of the building as it relates to creation and innovation. As the space contains multiple entryways, there are multiple circulation patterns and view corridors through which to understand the interpretation efforts within the space. For this reason, additional patent images and historic photographs will be present in the space.

The final strategy is a metal etched image on the elevator surround. Using a patent held by Copeland-Chatterson, the scale of the etching will connect the space to the ideas that drove the creation of the factory.



View four shows the metal etched image on the elevator surround in the secondary lobby, with two framed photographs on the nearby wall (Studio 8 Designs).

## 4 CONCLUSION

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The proposed redevelopment of the Copeland-Chatterson Building provides residents, visitors and passersby with opportunities to understand not only the history of the building, but its broader meaning to the community.

This interpretation plan has identified strategies to aid in the interpretation process. These strategies highlight the history of the building and its connection to the railway, the architectural elements of the site, the objects produced on site, and images associated with its history.

The proposed interpretation plan for 45 Railroad Street will promote public awareness and appreciation of the historic resources of the site.

## 5 PROJECT PERSONNEL

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### PHILIP EVANS

Philip Evans is a Principal of ERA Architects and the founder of small. In the course of his fourteen-year career, he has led a range of conservation, adaptive reuse, design, and feasibility planning projects. Philip is a professional member of CAHP.

### JORDAN MOLNAR

Jordan Molnar is an Associate with ERA. He is a Member of the Royal Architectural Institute of Canada and holds a Master of Architecture as well as a Bachelor of Environmental Design from Dalhousie University.

### RAY LISTER

Ray Lister is a planner at ERA Architects. Ray received his Master of Planning in Urban Development at Ryerson University after completing a Bachelor of Arts (Honours) in History at the University of Victoria.