



Regular Meeting Revised Agenda
Brampton Heritage Board
The Corporation of the City of Brampton

Date: Tuesday, November 17, 2020
Time: 7:00 p.m.
Location: Council Chambers - 4th Floor, City Hall - Webex Electronic Meeting
Members: Peter Dymond (Co-Chair)
Douglas McLeod (Co-Chair)
Stephen Collie
Kathryn Fowlston
Palvinder Gill
Yugeshwar Singh Kaushal
Janet Millington
Peter Robertson
Vipul Shah
Basavaraj Toranagal
Ken Wilde
Paul Willoughby
Regional Councillor P. Vicente - Wards 1 and 5

NOTICE: In consideration of the current COVID-19 public health orders prohibiting large public gatherings and requiring physical distancing, in-person attendance at Council and Committee meetings will be limited to Members of Council and essential City staff.

As of September 16, 2020, limited public attendance at meetings will be permitted by preregistration only (subject to occupancy limits). It is strongly recommended that all persons continue to observe meetings online or participate remotely. To register to attend a meeting in person, please [complete this form](#).

For inquiries about this agenda, or to make arrangements for accessibility accommodations for persons attending (some advance notice may be required), please contact: Terri Brenton, Legislative Coordinator, Telephone 905.874.2106, TTY 905.874.2130 or e-mail cityclerksoffice@brampton.ca

Note: Meeting information is also available in alternate formats upon request.

1. Call to Order

2. Approval of Agenda

3. Declarations of Interest under the Municipal Conflict of Interest Act

4. Previous Minutes

4.1. Minutes - Brampton Heritage Board - October 20, 2020

The minutes were considered by Planning and Development Committee on October 26, 2020, and the recommendations were approved by Council on October 28, 2020. The minutes are provided for the Board's information.

5. Consent

The following items listed with an caret (^) are considered to be routine and non-controversial by the Committee and will be approved at this time. There will be no separate discussion of any of these items unless a Committee Member requests it, in which case the item will not be consented to and will be considered in the normal sequence of the agenda.

(nil)

6. Presentations\Delegations

6.1. Delegation from Natalie Faught, Senior Coordinator, Credit Valley Trail Project, Credit Valley Conservation Authority re: The Credit Valley Trail Project

7. Sub-Committees

8. Designation Program

9. Heritage Impact Assessment (HIA)

10. Correspondence

11. Other/New Business

11.1. Discussion at the request of Ken Wilde, Member, re: 30 McLaughlin Road South.

11.2. Staff Report re: Heritage Permit Application for 45 Railroad Street - Heritage Permit Application for the

Second Phase of Conservation Work and Revisions to Previously Approved Conservation Work – 45 Railroad Street South - Ward 1 (HE.x 45 Railroad Street South)

*11.3. Staff Report re: Intention to Designate under Part IV, Section 29 of the Ontario Heritage Act –

85 Wellington St. E. (James Packham House) - Ward 3 (H.Ex. 85 Wellington St. E.)

Published on the City's website on November 16, 2020

*11.4. Staff Report re: Heritage Permit Application - 563 Bovarid Dr. E (Bovarid House)

Published on the City's website on November 16, 2020

12. Referred/Deferred Items

13. Information Items

14. Question Period

15. **Public Question Period**

15 Minute Limit (regarding any decision made at this meeting)

During the meeting, the public may submit questions regarding decisions made at the meeting via email to the City Clerk at cityclerksoffice@brampton.ca, to be introduced during the Public Question Period section of the meeting.

16. **Closed Session**

17. **Adjournment**

Next Meeting: Tuesday, December 15, 2020 at 7:00 p.m.



Minutes

Brampton Heritage Board

The Corporation of the City of Brampton

Tuesday, October 20, 2020

Members Present: Peter Dymond (Co-Chair)
Douglas McLeod (Co-Chair)
Kathryn Fowlston
Palvinder Gill
Yugeshwar Singh Kaushal
Peter Robertson
Paul Willoughby
Regional Councillor P. Vicente – Wards 1 and 5

Members Absent: Stephen Collie (regrets)
Janet Millington (regrets)
Vipul Shah (regrets)
Basavaraj Toranagal (regrets)
Ken Wilde (regrets)

Staff Present: Planning, Building and Economic Development:
B. Bjerke, Director, Policy Planning
J. Humble, Manager, Land Use Policy
P. Doucet, Heritage Planner
C. Jasinski, Heritage Planner
H. Padhya, Assistant Heritage Planner
A. Martins, Assistant Heritage Planner
Legislative Services:
P. Fay, City Clerk
T. Brenton, Legislative Coordinator

Minutes – Brampton Heritage Board – October 20, 2020

1. Call to Order

The meeting was called to order at 7:30 p.m. and adjourned at 8:58 p.m.

2. Approval of Agenda

The following motion was considered.

HB025-2020

That the agenda for the Brampton Heritage Board Meeting of October 20, 2020 be approved as published and circulated.

Carried

3. Declarations of Interest under the Municipal Conflict of Interest Act

Nil

4. Previous Minutes

4.1 Minutes – Brampton Heritage Board – August 18, 2020

The minutes were considered by the Planning and Development Committee on September 14, 2020, and the recommendations were approved by Council on September 16, 2020. The minutes were provided for the Board's information.

5. Consent

Nil

6. Presentations\Delegations

6.1 Delegation from Rob El-Sayed, Church of Archangel Michael and St. Tekla, re: Request for Delisting the Heritage Property located at 12061 Hurontario Street (Snelgrove Baptist Church) – Ward 2

Rob El-Sayed, in attendance with members of the Coptic Church Board, requested the Board's support for delisting of 12061 Hurontario Street. Mr. El-Sayed presented aerial views of the property, provided information on the

Minutes – Brampton Heritage Board – October 20, 2020

development of the property, including agreements with the City and the Region of Peel, and outlined the reasons for his request.

Mr. El-Sayed responded to questions of clarification from the Board.

In response to questions from the Board, staff provided the following:

- indication that the property is designated under Part IV of the *Ontario Heritage Act*
- information on the process for removal of a heritage designation and confirmation that a formal request for removal of designation has not been received by the City
- details on staff's discussions to date with the property owners
- confirmation of staff's willingness to continue working with the property owners to address their concerns, and toward potential adaptive reuse of the heritage resource

Board consideration of this matter included a request for more information on the subject heritage resource, including photographs, and a proposed motion to receive the delegation and request that staff report back in early 2021 with the requested information.

Staff clarified that the report would not address the request for removal of the heritage designation from the property, given that a formal request has not been received by the City.

The following motion was considered.

HB026-2020

1. That the delegation from Rob El-Sayed, Church of Archangel Michael and St. Tekla, re: **Request for Delisting the Heritage Property located at 12061 Hurontario Street (Snelgrove Baptist Church) – Ward 2**, to the Brampton Heritage Board Meeting of October 20, 2020, be received; and,
2. That staff report back to the Board in early 2021 with information on the subject property, to include photographs.

Carried

- 6.2 Delegation from Mark Jachecki, property owner, re: Heritage Incentive Grant Increase for Window Replacement – 87 Elizabeth Street South – Ward 3

Minutes – Brampton Heritage Board – October 20, 2020

Mark Jachecki, property owner, 87 Elizabeth Street South, referenced his delegation to the Board on August 18, 2020, at which time he requested that the City review the maximum incentive grant amount, with a view to increasing it to keep up with inflation and be more in line with other municipalities like Toronto and Mississauga.

Mr. Jachecki highlighted the costs for window replacement for his property and requested the Board's consideration for an increased grant amount, given the recommendations outlined in the staff report (Item 11.3) for this project.

Item 11.3 was brought forward and dealt with at this time.

Harsh Padhya, Assistant Heritage Planner, Planning Building and Economic Development, provided an overview of staff report Item 11.3. Mr. Padhya noted that the current by-law does not allow for an increased grant amount for window replacement at 87 Elizabeth Street South, and indicated that staff would work with Mr. Jachecki for a potential increased grant amount should staff's recommendations be approved and the proposed by-law be passed by Council.

The following motions were considered.

HB027-2020

1. That the delegation from Mark Jachecki, property owner, re: **Heritage Incentive Grant Increase for Window Replacement – 87 Elizabeth Street South – Ward 3**, to the Brampton Heritage Board Meeting of October 20, 2020, be received; and,
2. That the request from Mr. Jachecki for consideration of an increased grant amount for window replacement at 87 Elizabeth Street South be **referred** to staff for consideration.

Carried

HB028-2020

1. That the report titled: Recommendation Report: Designated Heritage Property Incentive Grant Increase and Update to the Designated Heritage Property incentive Grant By-Law and Application Kit, to the Brampton Heritage Board Meeting of October 20, 2020, be received;
2. That the increase in the Designated Heritage Property Incentive Grant to a maximum matching grant of \$10,000 be approved;

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3. That the Designated Heritage Property Incentive Grant funds be moved to a capital account in the Policy Planning budget; and
4. That Council pass the by-law amending By-law 266-2011, attached as Appendix D.

Carried

- 6.3 Delegation from David Eckler, AREA Architects, re: Item 11.2 – Staff Report re: Heritage Permit Application and Revised Designation Report for 23 Centre Street South – Ward 3

David Eckler, AREA Architects, referenced the documentation, including two sets of documents from AREA Architects, outlined in staff report Item 11.2 regarding the Heritage Permit Application and Revised Designation Report for 23 Centre Street South. Mr. Eckler confirmed that the applicants are in support of the recommendations in the staff report.

Item 11.2 was brought forward and dealt with at this time.

Cassandra Jasinski, Heritage Planner, Planning, Building and Economic Development, provided an overview of the staff report. Ms. Jasinski proposed a revision to staff recommendation 2 a) iii, as follows:

"2 a) iii Provide financial securities as specified in the Heritage Conservation Plan in a form and amount satisfactory to the Commissioner of Planning and Development Services to secure all work included in the Heritage Building Protection Plan and Heritage Conservation Plan; and,"

The following motions were considered.

HB029-2020

That the delegation from David Eckler, AREA Architects, re: **Item 11.2 – Staff Report re: Heritage Permit Application and Revised Designation Report for 23 Centre Street South – Ward 3**, to the Brampton Heritage Board Meeting of October 20, 2020, be received.

Carried

HB030-2020

1. That the report titled: **Recommendation Report: Heritage Permit Application for the Removal of the Kitchen Tail and Conservation of the**

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Remainder of the Dwelling at 23 Centre Street South (Kilpatrick-Young House) and Demolition of Outbuildings on the Property and Revised Designation Report – 23 Centre Street South - Ward 3 (HE.x 23 Centre Street South), to the Brampton Heritage Board meeting of October 20, 2020, be received;

2. That the Heritage Permit application for the removal of the kitchen tail and conservation of the remainder of the dwelling known as the Kilpatrick-Young House be approved in accordance with Section 33 of the Ontario Heritage Act (the “Act”) subject to the following terms and conditions:

a. That prior to the issuance of site plan approval and any heritage permit or building permit, including a demolition permit, for the works associated with this heritage permit, the Owner shall:

i. Provide a Heritage Conservation Plan, prepared by a qualified heritage consultant and to the satisfaction of the Brampton Heritage Board and the Director of Policy Planning, in support of a subsequent heritage permit application for the conservation of the dwelling at 23 Centre Street South known as the Kilpatrick-Young House;

ii. Provide measured drawings and photo documentation of the interior and exterior portion of the building to be removed to the satisfaction of the Director of Policy Planning and for submission to the Archives at the Peel Art Gallery Museum and Archives (PAMA);

iii Provide financial securities as specified in the Heritage Conservation Plan in a form and amount satisfactory to the Commissioner of Planning and Development Services to secure all work included in the Heritage Building Protection Plan and Heritage Conservation Plan; and,

iv. Enter into a Heritage Easement Agreement (the “HEA”) with respect to the conservation of the Kilpatrick-Young House with the City, with content satisfactory to the Commissioner of Planning and Development Services, and in a form satisfactory to the City Solicitor.

b. That prior to the release of financial securities, the owner provide a letter, prepared and signed by a qualified heritage expert, certifying that all works as outlined in the approved Heritage Conservation Plan have been completed,

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- and that an appropriate standard of conservation has been maintained, all to the satisfaction of the Director of Policy Planning, Planning and Development Services; and,
- c. That the owner notify Heritage Planning staff of the removal date for the kitchen tail so that Heritage staff can be in attendance.
 - d. That until such time as the conservation work on the property at 23 Centre Street South can be completed, the owner ensure that the Property Standards By-law, as amended, is adhered to.
3. That the Heritage Impact Assessment (the “HIA”) prepared by AREA Architects, attached as Appendix B to this report, be received and that the recommendations/mitigation options contained therein be approved.
 4. That the Notice of Intention to Designate 23 Centre Street South be withdrawn in order to facilitate for the issuance of a new Notice of Intention to Designate with a revised statement of cultural heritage value and heritage attributes.
 5. That staff be authorized to publish and serve the Notice of Withdrawal to Designate the property at 23 Centre Street South in accordance with the requirements of the Act.
 6. That the revised Designation Report for 23 Centre Street South, attached as Appendix D to this report, be approved.
 7. That the designation of the property at 23 Centre Street South under Part IV, Section 29 of the Act be approved;
 8. That staff be authorized to publish and serve the revised Notice of Intention to designate the property at 23 Centre Street South in accordance with the requirements of the Act;
 9. That, in the event that no objections to the designation are received, a by-law be passed to designate the subject property;
 10. That, in the event that any objections to the designation are received, staff be directed to refer the proposed designation to the Ontario Conservation Review Board; and,

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11. That staff be authorized to attend any hearing process held by the Conservation Review Board in support of Council's decision to designate the subject property.

Carried

7. Sub-Committees

Nil

8. Designation Program

Nil

9. Heritage Impact Assessment (HIA)

Nil

10. Correspondence

- 10.1 Correspondence from Krista Hulshof, Vice President, Ontario Barn Preservation, re: Preservation of Barns in Ontario

The following motion was considered.

HB031-2020

That the correspondence from Krista Hulshof, Vice President, Ontario Barn Preservation, re: **Preservation of Barns in Ontario**, to the Brampton Heritage Board Meeting of October 20, 2020, be received.

Carried

11. Other/New Business

- 11.1 Verbal Advisory from Paul Willoughby, Board Member, re: Riverwalk Urban Design Master Plan – Community Liaison Team

Paul Willoughby, Board Member, provided information on the City's Riverwalk project. Mr. Willoughby requested the Board's support for his participation as the Board's representative on the Community Liaison Team.

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At the request of the Board, Alex Taranu, Senior Advisor, Architectural Design Services, Public Works and Engineering, provided additional information on the Riverwalk project, which included details on the Environmental Assessment, a Public Information Session held on October 1, 2020, timelines for the detailed design, and funding requirements from other levels of government.

Mr. Taranu encouraged Board Members to review information on this project on the City's website at www.brampton.ca/riverwalk and to complete the survey at www.surveymonkey.com/r/riverwalk-udmp.

The following motion was considered.

HB032-2020

1. That the verbal advisory from Paul Willoughby, Board Member, re: **Riverwalk Urban Design Master Plan - Community Liaison Team**, to the Brampton Heritage Board Meeting of October 20, 2020, be received; and,
2. That Paul Willoughby be named the Board's representative on the Riverwalk Urban Design Master Plan - Community Liaison Team.

Carried

- 11.2 Staff Report re: Heritage Permit Application and Revised Designation Report for 23 Centre Street South – Ward 3

Dealt with under Item 6.3 – Recommendation HB030-2020

See also Recommendation HB029-2020

- 11.3 Staff Report re: Designated Heritage Property Incentive Grant Increase and Update to the Designated Heritage Property Incentive Grant By-Law and Application Kit

Dealt with under Item 6.2 – Recommendation HB028-2020

See also Recommendation HB027-2020

- 11.4 Staff Report re: City of Brampton's Comments Regarding the Proposed Regulation under the Ontario Heritage Act (Bill 108)

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Cassandra Jasinski, Heritage Planner, Planning, Building and Economic Development, provided an overview of the subject report, and responded to questions from the Board.

The following motion was considered.

HB033-2020

1. That the report from Cassandra Jasinski, Heritage Planner, Policy Planning, dated October 20, 2020, to the Brampton Heritage Board meeting of October 20, 2020, City of Brampton's Comments Regarding the Proposed Regulation under the Ontario Heritage Act (Bill 108), be received;
2. That the Brampton Heritage Board endorse the comments and concerns of staff, outlined in the report and in the Appendix, and the recommendations below;
3. That the proposed comments in response to the relevant Environmental Registry of Ontario (ERO) notice regarding Proposed Regulation under the Ontario Heritage Act (Bill 108), included as an appendix to this report, be submitted as the City of Brampton's formal response;
4. That the Mayor write to the Premier of Ontario and the Ministry of Heritage, Sport, Tourism and Culture Industries before the commenting period of 45-days expires on November 5, 2020 to highlight the City's concern with the timing of the consultation period and the coming into and effect of the proposed amendments, given the ongoing COVID-19 Pandemic;
5. That the Mayor and/or designate be authorized to make a written and/or a verbal submission on the Proposed Regulation, when it is referred, to the appropriate Legislative Committee for review;
6. That a copy of this report and any associated Council resolution be submitted to the Province, through the Environmental Registry of Ontario, the Ministry of Heritage, Sport, Tourism and Culture Industries, Brampton Members of Provincial Parliament, and to the Region of Peel and the Association of Municipalities of Ontario.

Carried

- 11.5 Staff Report re: Designation, Demolition and Reconstruction of the Heritage Property at 15 Bramalea Road – Ward 7

The Board agreed to vary the order of business, and considered this item before Item 11.4.

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Pascal Doucet, Heritage Planner, Planning, Building and Economic Development, provided an overview of the subject report.

Mr. Doucet noted that Emad Ghattas, GBCA Architects, was in attendance to respond to any questions from the Board. No questions were put forward to Mr. Ghattas.

Board consideration of this matter included appreciation for staff's efforts toward preservation of the subject heritage resource.

The following motion was considered.

HB034-2020

1. That the report titled: Designation, Demolition and Reconstruction of the Heritage Property at 15 Bramalea Road – Ward 7 (HE.x 15 Bramalea Road), to the Brampton Heritage Board Meeting of September 15, 2020, be received;
2. That City Council state its intention to designate the property at 15 Bramalea Road under Part IV, Section 29 of the Ontario Heritage Act, as amended (the "Act") in accordance with the Statement of Significance, reasons for designation and list of heritage attributes attached as Appendix A to this report;
3. That staff be authorized to publish and serve the Notice of Intention to designate 15 Bramalea Road in accordance with the requirements of the Act;
4. That, in the event that no objections to the designation are received, a by-law be passed to designate the subject property;
5. That, in the event that any objections to the designation are received, staff be directed to refer the proposed designation to the Ontario Conservation Review Board;
6. That staff be authorized to attend any hearing process held by the Conservation Review Board in support of Council's decision to designate the subject property; and
7. That City Council approve the request made under section 34 of the Act to demolish the subject property, to allow for the construction of a new warehouse building and the construction of two new office buildings, including the reconstruction of the existing one-storey front heritage office wing, as approved by the Local Planning Appeal Tribunal (the "LPAT") in principle on September 13, 2019, substantially in accordance with the Heritage Impact Assessment by Goldsmith Borgal & Company Ltd., dated 15 February, 2019 (final revised submission), including the addendum dated June 6, 2019 and

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attached as Appendix B to this report, and the Conservation Plan (Stage 1) prepared by Goldsmith Borgal & Company Ltd., dated June 6, 2019 (final revised submission) and attached as Appendix C to this report, all subject to the following additional conditions:

- a. That the reconstruction of the heritage office wing includes the salvage, reuse and reinstatement of the existing white brick veneer and top aggregate panels with pebble dash from the existing one-storey front heritage office wing; and
- b. That prior to the issuance of any permit for all or any part of the property located at 15 Bramalea Road, including a heritage permit, a building permit or a permit related to the demolition, shoring and excavation of the subject property, the Owner shall:
 - i. Provide a Conservation and Reconstruction Plan (Stage 2) to the satisfaction of the Director of Policy Planning, Planning, Building and Economic Development to provide the final details for the conservation and reconstruction of the one-storey front wing facing Bramalea Road that has not been provided in the Conservation Plan (Stage 1); and
 - ii. Provide full documentation of the existing heritage property at 15 Bramalea Road, including two (2) sets of archival quality 8" x 10" colour photographs with borders in a glossy or semi-gloss finish and one (1) digital set on a CD in tiff format keyed to a location map, elevations and measured drawings to the satisfaction of the Directory of Policy Planning, Planning, Building and Economic Development.

Carried

12. Referred/Deferred Items

Nil

13. Information Items

Nil

14. Question Period

Nil

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15. Public Question Period

Members of the public were given the opportunity to submit questions via e-mail to the City Clerk's Office regarding any decisions made at this meeting.

Peter Fay, City Clerk, confirmed that no questions were submitted regarding decisions made at this meeting.

16. Closed Session

Nil

17. Adjournment

The following motion was considered.

HB035-2020

That the Brampton Heritage Board do now adjourn to meet again on Tuesday, November 17, 2020 at 7:00 p.m. or at the call of the Chair.

Carried

Peter Dymond, Co-Chair

Doug McLeod, Co-Chair



For Office Use Only: Meeting Name: Meeting Date:

Delegation Request

Please complete this form for your request to delegate to Council or Committee on a matter where a decision of the Council may be required. Delegations at Council meetings are generally limited to agenda business published with the meeting agenda. Delegations at Committee meetings can relate to new business within the jurisdiction and authority of the City and/or Committee or agenda business published with the meeting agenda. **All delegations are limited to five (5) minutes.**

Attention: City Clerk's Office, City of Brampton, 2 Wellington Street West, Brampton ON L6Y 4R2
 Email: cityclerksoffice@brampton.ca Telephone: (905) 874-2100 Fax: (905) 874-2119

Meeting: City Council Planning and Development Committee
 Committee of Council Other Committee:

Meeting Date Requested: Agenda Item (if applicable):

Name of Individual(s):

Position/Title:

Organization/Person being represented:

Full Address for Contact: Telephone:
 Email:

Subject Matter to be Discussed:	The Credit Valley Trail Project
Action Requested:	A short presentation to the Brampton Heritage Board to provide an overview and update on the progress of the Credit Valley Trail Project.

A formal presentation will accompany my delegation: Yes No
 Presentation format: PowerPoint File (.ppt) Adobe File or equivalent (.pdf)
 Picture File (.jpg) Video File (.avi, .mpg) Other:

Additional printed information/materials will be distributed with my delegation: Yes No Attached

Note: Delegates are requested to provide to the City Clerk's Office **well in advance of the meeting date:**

- (i) 25 copies of all background material and/or presentations for publication with the meeting agenda and /or distribution at the meeting, and
- (ii) the electronic file of the presentation to ensure compatibility with corporate equipment.

Submit by Email

Once this completed form is received by the City Clerk's Office, you will be contacted to confirm your placement on the appropriate meeting agenda.

Personal information on this form is collected under authority of the Municipal Act, SO 2001, c.25 and/or the Planning Act, R.S.O. 1990, c.P.13 and will be used in the preparation of the applicable council/committee agenda and will be attached to the agenda and publicly available at the meeting and on the City's website. Questions about the collection of personal information should be directed to the Deputy City Clerk, Council and Administrative Services, 2 Wellington Street West, Brampton, Ontario, L6Y 4R2, tel. 905-874-2115.



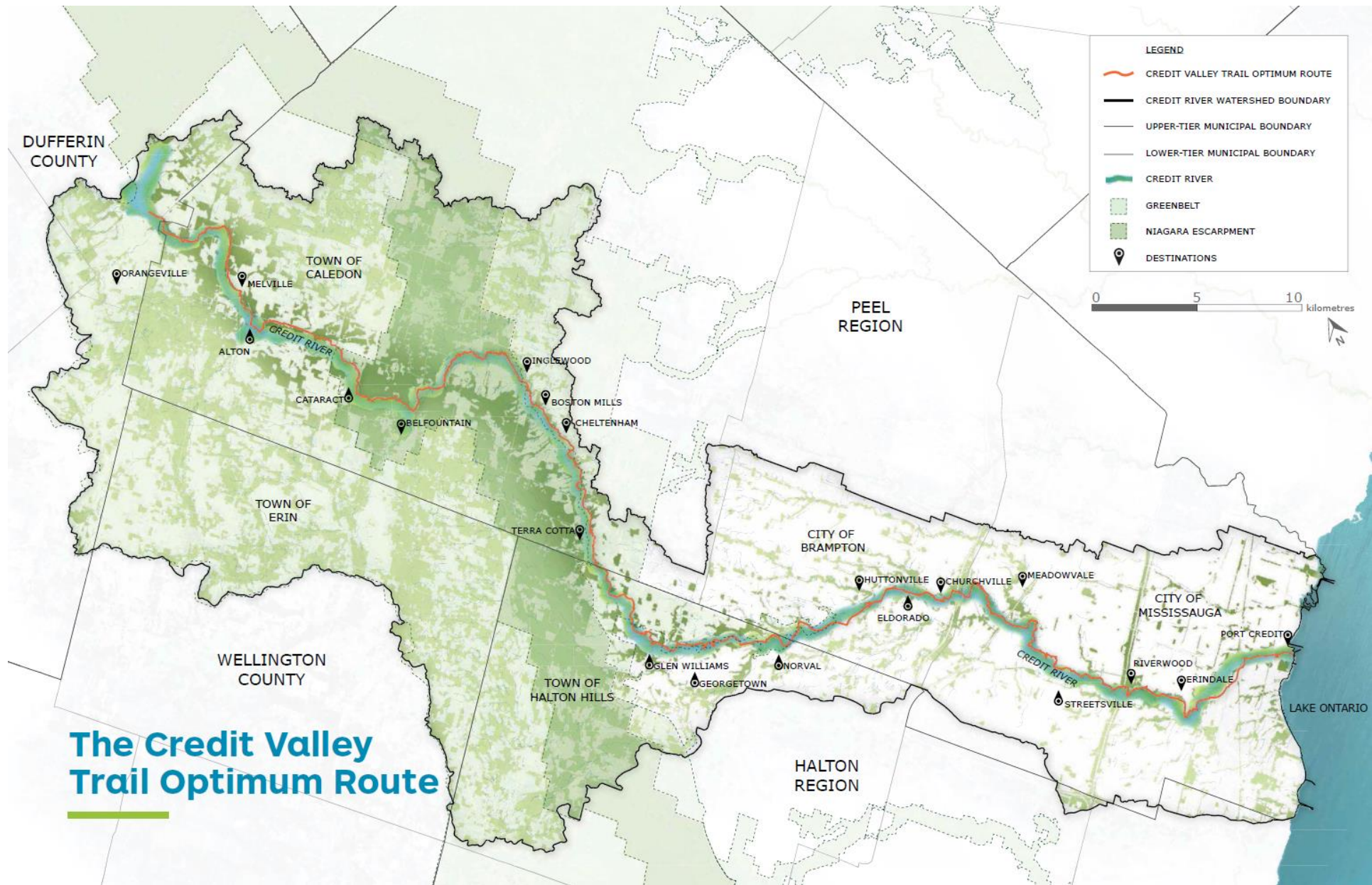
**Credit Valley
Conservation**
inspired by nature

The Credit Valley Trail

To: Members of the Brampton Heritage Board

Date: November 17th, 2020

Presented By: CVT Coordinator, Natalie Faught



More than a trail.....

The Credit Valley Trail Experience

The CVT is more than a trail. It's an experience that will take you places, both physically and emotionally, that you have never been before.

A series of six experiential themes provide abundant opportunity to bring the trail to life. They empower trail users to become a part of the history and future of the Credit River.



**Arts,
Culture and
Tourism**



**Environmental
Education**



**Indigenous
Heritage
and Values**



**Heritage
Destinations**

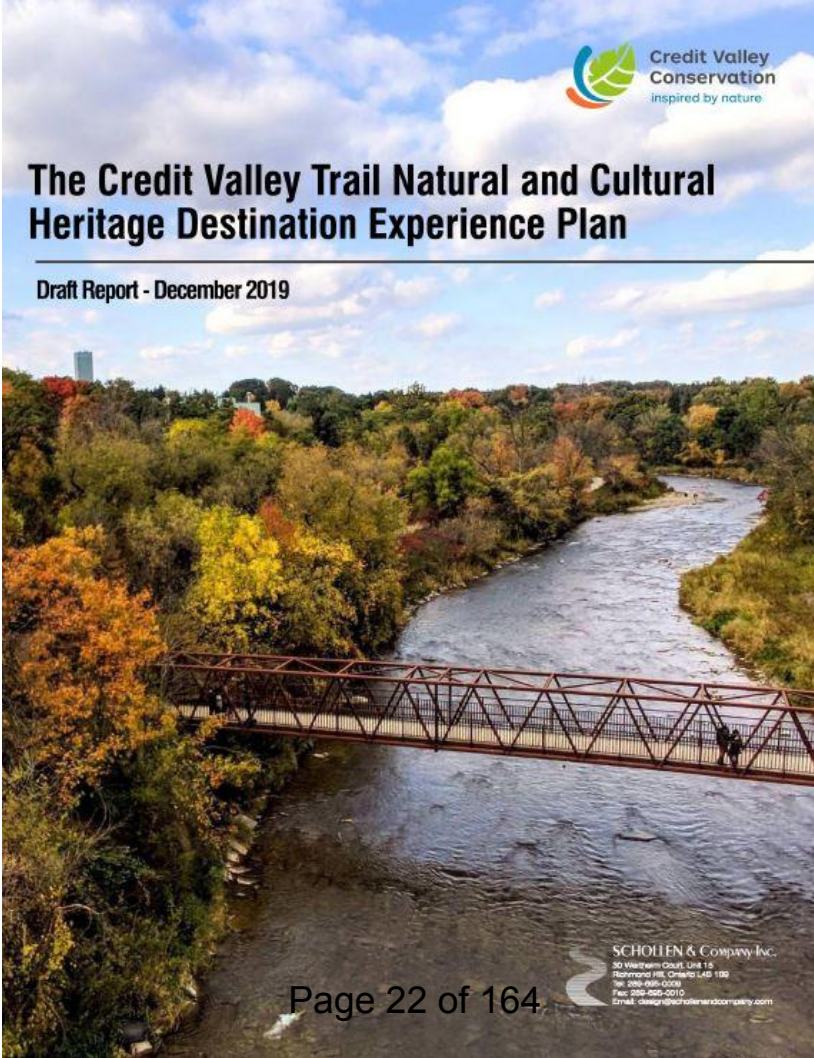


**Recreation
and Active
Transportation**



**Social
Connectivity
and Cohesion**

The CVT Natural & Cultural Heritage Destination Plan



Credit Valley Trail Indigenous
Experience Implementation Plan

Credit Valley Conservation

March 2020



Credit Valley
Conservation
inspired by nature



CREDIT VALLEY
TRAIL

Get involved with the CVT!

questions?

inspired by nature

Date: 2020-11-06

Subject: Heritage Permit Application for 45 Railroad Street

Secondary Title: Recommendation Report: Heritage Permit Application for the Second Phase of Conservation Work and Revisions to Previously Approved Conservation Work – 45 Railroad Street South - Ward 1 (HE.x 45 Railroad Street South)

Contact: **Cassandra Jasinski, MA, CAHP, Heritage Planner,**
cassandra.jasinski@brampton.ca

Report Number: Planning, Building and Economic Development-2020-377

Recommendations:

1. That the report titled: Recommendation Report: Heritage Permit Application for the Second Phase of Conservation Work and Revisions to Previously Approved Conservation Work – 45 Railroad Street South - Ward 1 (HE.x 45 Railroad Street South), to the Brampton Heritage Board meeting of November 17, 2020, be received;
2. That the Heritage Permit application for the Second Phase of Conservation Work and Revisions to Previously Approved Conservation Work at 45 Railroad Street be approved in accordance with Section 33 of the *Ontario Heritage Act* (the “Act”) subject to the following terms and conditions:
 - a. That the owner undertake all work substantially in accordance with the revised Conservation Plan by ERA Architects dated November 4, 2020 and in compliance with all applicable laws having jurisdiction and by retaining all necessary permits; and,
 - b. That prior to the release of financial securities associated with the site plan application SP09-010.001 for 45 Railroad Street, the owner provide a letter, prepared and signed by a qualified heritage expert, certifying that all works as outlined in the approved Heritage Conservation Plan have been completed, and that an appropriate standard of conservation has been

maintained, all to the satisfaction of the Director of City Planning and Design, Building & Economic Development Department.

3. That the 45 Railroad Street Interpretation Plan prepared by ERA Architects, dated November 4, 2020, be received and that the interpretation strategy detailed therein be approved.

Overview:

- **The property at 45 Railroad Street (the Copeland-Chatterson/Dominion Skate Building) is designated under Part IV of the *Ontario Heritage Act* (the “Act”).**
- **In accordance with Section 33 of the *Ontario Heritage Act*, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.**
- **A Heritage Permit application for 45 Railroad Street was submitted on November 5, 2020 for Second Phase of Conservation Work and Revisions to Previously Approved Conservation Work at 45 Railroad Street.**
- **The heritage permit application is a revision to and expansion of the heritage permit previously approved in 2016 (HB055-2016).**
- **The property is associated with an approved site plan application (SP09-010.001) and will require further site plan submissions to incorporate the proposed changes to the site.**
- **This report recommends the approval of the Heritage Permit application for 45 Railroad Street subject to terms and conditions.**

Background:

The property at 45 Railroad Street is located on the west side of Mill Street North, south of Railroad Street. It contains an early 20th century industrial building known as the Copeland-Chatterson/Dominion Skate Building, which is currently comprised of a two-storey office building and the front façade of a former one-storey factory. The property was designated under Part IV of the Act as a property of cultural heritage value or interest.

On May 27 2016, a heritage permit application for a residential high-rise development that incorporates and rehabilitates the Copeland-Chatterson/Dominion Skate Building was submitted as part of site plan application SP09-010.001.

The proposal is for a residential high-rise development comprised a 27-storey and 25-storey tower on a three-storey podium that incorporates the Copeland-

Chatterson/Dominion Skate Building. The project will be completed in two phases, with the 27-storey building on the easterly portion of the proposal completed first, followed by the 25-storey building and two-storey apartment style dwellings on the westerly half of the property.

The application was supported by a heritage conservation plan and was approved with terms and conditions (Appendix A, HB055-2016), which included the specification of conservation work details, the submission of securities associated with the conservation work, and the submission of an Interpretation Plan. These conditions were fulfilled and the heritage permit was issued in the Fall of 2016.

The property is designated under Part IV of the Act through by-law 150-2015. In accordance with Section 33 of Act, alterations to a designated property likely to affect its heritage attributes require written consent from the Council of the municipality in the form of a Heritage Permit.

Policy Framework

The Planning Act

The *Planning Act* guides development in the Province of Ontario and states that municipalities must have regard for matters of provincial interest. The conservation of features of significant architectural, cultural, historical, archaeological or scientific interest is identified under paragraph 2(d) of the *Planning Act* as a matter of provincial interest.

Provincial Policy Statement (2014)

The Provincial Policy Statement is issued under the authority of Section 3 of the Planning Act. The *Planning Act* requires that all decisions affecting land use planning be consistent with the Provincial Policy Statement.

Policies 1.7.1 d) and 2.6.1 of the Provincial Policy Statement direct that:

“Long-term economic prosperity should be supported by: d) encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes”

“Significant built heritage resources and significant cultural heritage landscapes shall be conserved”

Growth Plan for the Greater Golden Horseshoe

The Growth Plan for the Greater Golden Horseshoe (2017) provides a framework for managing growth within the Greater Golden Horseshoe region. Policy 4.2.7.1 of the Growth Plan states that: *“Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.”*

City of Brampton Official Plan

The City of Brampton Official Plan policies that are relevant in the context of this report and heritage permit application are:

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

Current Situation:

Heritage Permit:

ERA Architects submitted a complete Heritage Permit Application (Appendix B) on November 5, 2020 on behalf of the owners of 45 Railroad Street. In accordance with Section 33 of the Act, Council must respond to the application by February 2, 2021. ERA Architects submitted a revised Heritage Conservation Plan and Revised Interpretation Plan in support of the heritage permit application.

The heritage permit application reaffirms the approved 2016 alterations, rehabilitating the Copeland-Chatterson/Dominion Skate Building as a podium for a residential tower. Alterations to the original scope of work proposed in 2016 include the following:

Historic Two-Storey Former Office Component

- Retention of the central projecting bay (“bump out”) on the west elevation and corresponding rehabilitation and restoration work including:
 - Bricking in of basement windows on the west façade of the bump out using salvaged materials;
 - Bricking in of four windows on the south façade using salvaged materials;

- Introduction of new door openings on the north and south elevations to facilitate access into the building;
- Replication of remaining windows on the bump out; and,
- Repair of brickwork and foundation where required.
- Removal of the rooftop terrace and glass guard originally proposed to allow for an outdoor play area.

The central project bay of the two storey office component, referred to as the “bump out”, was originally proposed to be removed. Its retention ensures that even more of the property’s historic fabric will be retained and incorporated into the new development. The changes proposed to the bump out facilitate the rehabilitation of the building and are agreeable, especially as the bump out was originally proposed to be removed.

One-Storey Historic Factory Façade

- Replication of all historic windows sashes and frames with new wood, double-glazed window units;
- Relocation of proposed door openings; and,
- Conversion of two additional windows into doors to allow additional ingress/egress from the building, as well as corresponding brick repair.

The 2016 heritage permit application considered the replication of the window sashes. Due to the extensive nature of repairs which would be required and concerns about weather tight sealing between the new windows and original wood frames, the wood frames are also now proposed to be replicated in kind. The window hardware will be salvaged and installed on the basement windows so that, while not usable, the hardware will still be visible.

All conservation work will be carried out by a heritage conservation professional with at least five years of experience in each trade. Where required, the masonry will be rebuilt using bricks salvaged from the site and repointed with lime-based mortar to match existing.

In addition, the revised Interpretation Plan (Appendix C) provides further details and renderings for the proposed interpretation of the site, both interior and exterior. The Interpretation Plan for the site includes:

- Graphic window treatment on the exterior east elevation;
- Sculptural element on the exterior north yard; and,

- Architectural elements, object display, photographs and etched elevator surround in the interior lobby.

Heritage staff will continue to work with the applicant to determine the details of the Interpretation Plan as the project progresses. It is recommended that the revised Interpretation Plan be received and the interpretation strategy detailed therein be approved.

Heritage staff recommend the approval of the heritage permit subject to the following conditions:

- a. That the owner undertake all work substantially in accordance with the revised Conservation Plan by ERA Architects dated November 4, 2020 and in compliance with all applicable laws having jurisdiction and by retaining all necessary permits; and,
- b. That prior to the release of financial securities associated with the site plan application SP09-010.001 for 45 Railroad Street, the owner provide a letter, prepared and signed by a qualified heritage expert, certifying that all works as outlined in the approved Heritage Conservation Plan have been completed, and that an appropriate standard of conservation has been maintained, all to the satisfaction of the Director of City Planning and Design, Building & Economic Development Department.

Corporate Implications:

Financial Implications:

None.

Other Implications:

None.

Term of Council Priorities:

This report meets the Term of Council Priorities by building on Brampton's commitment to sustainability by adaptively re-using existing building stock and contributing to sustainable growth.

Conclusion:

The Copeland-Chatterson/Dominion Skate Building is an important historic landmark in downtown Brampton. The conservation proposal, revised since its initial approval in 2016,

now includes the retention of more of the property's heritage fabric and provides clarification on the proposed interpretation strategy. Heritage staff have reviewed the Heritage Permit application for 45 Railroad Street and its accompanying documents. It is recommended that the Heritage Permit be approved subject to the terms and conditions recommended by Heritage staff.

Authored by:

Reviewed by:

Cassandra Jasinski, MA, CAHP
Heritage Planner,
City Planning and Design
Planning, Building & Economic
Development

Bob Bjerke, MCIP, RPP
Director, City Planning and Design
Planning, Building & Economic Development

Approved by:

Submitted by:

Richard Forward, MBA, M.Sc., P.Eng.
Commissioner, Planning, Building &
Economic Development

David Barrick, Chief Administrative Officer

Attachments:

Appendix A – Correspondence 2016 45 Railroad Street Heritage Permit Application
Appendix B – 45 Railroad Street Heritage Permit Application
Appendix C – 45 Railroad Street Revised Interpretation Plan

July 8, 2016

Jordan Molnar
Project Manager
ERA Architects Inc.
10 Mary Street, Suite 801
Toronto, ON M4Y 1P9

Re: Heritage Permit Application – 45 Railroad Street – Ward 1 (HE.x)

The following recommendation from the Brampton Heritage Board Meeting of June 21, 2016 was approved by the Council of The Corporation of the City of Brampton on July 6, 2016:

- HB055-2016
1. That the report from Stavroula Kassaris, Heritage Coordinator, Planning and Infrastructure Services, dated June 1, 2016, to the Brampton Heritage Board Meeting of June 21, 2016, re: **Heritage Permit Application – 45 Railroad Street – Ward 1 (HE.x)**, be received; and,
 2. That the Heritage Permit application for 45 Railroad Street for a residential high-rise development that incorporates and rehabilitates the Copeland-Chatterson/Dominion Skate Building be approved, subject to the following conditions:
 - a) That prior to the issuance of the Heritage Permit, the owner provide details regarding the masonry cleaning approach to the satisfaction of the Heritage Coordinator, Planning and Infrastructure Services;
 - b) That prior to Site Plan approval, the owner provide financial securities in an amount and form satisfactory to the Executive Director of Planning, Planning and Infrastructure Services, to secure all work included in the Conservation Plan by ERA Architects dated May 27, 2016;
 - c) That prior to Site Plan approval, the owner submit a final Interpretation Plan to the satisfaction of the Heritage Coordinator, Planning and Infrastructure Services;

- d) That the owner undertake all work in accordance with the approved Conservation Plan by ERA Architects dated May 27, 2016 and in compliance with all applicable laws having jurisdiction and by retaining all necessary permits prior to the release of the financial securities and to the satisfaction of the Executive Director of Planning, Planning and Infrastructure Services; and,
- e) That prior to the release of the financial securities the owner shall provide a letter of substantial completion prepared and signed by a qualified heritage consultant confirming that the work has been completed in accordance with the Conservation Plan by ERA Architects dated May 27, 2016, that an appropriate standard of conservation has been maintained, and that the Interpretation Plan has been executed, to the satisfaction of the Heritage Coordinator, Planning and Infrastructure Services.

Yours truly,

Terri Brenton
Legislative Coordinator, City Clerk's Office
Tel: 905.874.2106 / Fax: 905.874.2119 / TTY: 905.874.2130
e-mail: terri.brenton@brampton.ca

(HB-10.1)

cc: Planning and Infrastructure Services:
H. MacDonald, Director, Planning Policy and Growth Management
D. Waters, Manager, Land Use Policy
A. Minichillo, Heritage Coordinator
S. Kassaris, Heritage Coordinator
P. Aldunate, Central Area Planner

PART TWO - HERITAGE PERMIT APPLICATION:**HERITAGE PERMIT APPLICATION FORM**

In accordance with the Ontario Heritage Act a heritage permit must be issued by City Council for all proposals to erect, remove or alter the exterior of buildings, structures or other features described as heritage attributes within the scope of a heritage designation by-law.

City staff and the Brampton Heritage Board review all applications and then submit them to City Council for approval.

City Council has the authority under the Ontario Heritage Act to approve any heritage application either with or without conditions or to refuse the permit application entirely.

Please provide the following information (type or print)

A. REGISTERED OWNER

NAME OF REGISTERED OWNER(S) Richard Aubry, Preston Homes/Redwood Properties

TELEPHONE NO. HOME () **BUSINESS: (905)856-7751** **FAX: ()**

E-MAIL ADDRESS: raubry@redwoodproperties.ca

MAILING ADDRESS: 330 New Huntington Road

Vaughan, ON L4H 4C9

B. AGENT

(Note: Full name & address of agent acting on behalf of applicant; e.g. architect, consultant, contractor, etc)

NAME OF AGENT(S) Jordan Molnar

TELEPHONE NO. HOME () **BUSINESS: (416)963-4497x305** **FAX: ()**

E-MAIL ADDRESS: jordanm@eraarch.ca

MAILING ADDRESS: 625 Church Street - Suite 600

Toronto, ON M4Y 2 G1

Note: Unless otherwise requested, all communications will be sent to the registered owner of the property.

C. LOCATION / LEGAL DESCRIPTION OF SUBJECT PROPERTY

LOTS(S) / BLOCK(S) Lots 1, 2, 3, 4, 14, 16, 17

CONCESSION NO.

REGISTERED PLAN NO. Plan43R

PART(S) NO.(S) Part 1, 2

REFERENCE PLAN NO. BR-35, BR-4

ROLL NUMBER: 10-04-0-036-05200-0000

PIN (PROPERTY IDENTIFICATION NO.) 14108-0554

D. OVERALL PROJECT DESCRIPTION / SUMMARY OF PROPOSAL

This application is a revision to a previous heritage permit for work at the site. This Heritage

Permit Application is for the second phase of conservation work to the site, including the rehabilitation and upgrading of the heritage structure, including the lowering of the entrance door at the north elevation of the office component of the designated building, the repair of masonry, the restoration of the upper cornice, and the replacement of existing windows with new windows. The heritage structure will be prepared for integration with the proposed new construction.

E. DESCRIPTION OF WORKS

(Please briefly describe the proposed works as they fit within one or more of the categories below; note the specific features that would be affected. Use separate sheets as required; attach appropriate supporting documentation; point form is acceptable):

Rehabilitation and/or Preventative Conservation Measures (e.g. repointing masonry; note which heritage attributes and features would be impacted and where, materials to be used, specifications and techniques):

The attached Conservation Drawings by ERA Architects shows the extent of rehabilitation measures, including masonry rebuilding with salvaged bricks, masonry repointing as required with lime-based mortar, and new window units. General cleaning of the masonry will include a low-pressure hot water wash, and a steam cleaning. In areas of concentrated soiling, a wash with detergent will be completed. At the existing wood cornice, repair and selective replacement will occur.

Major Alterations, Additions and/or New Construction (note which attributes to be impacted, location of work, materials to be used, specifications and techniques):

A tower will be constructed on site and the heritage building will be adaptively reused as a podium element for the new construction. Heritage attributes to be affected include, the front elevation along Mill and Railroad Streets, that include new openings to facilitate accessible ingress/egress from the new building.

Restoration (i.e. replicating or revealing lost elements and features; note which attributes to be impacted and where, materials to be used, specifications and techniques):

The exterior masonry will be restored, along with selective areas of cornice. Refer to drawings for more information.

F. SCOPE OF WORK IMPACTING HERITAGE PROPERTY

(Check all that apply)

NEW CONSTRUCTION IS PROPOSED

DEMOLISH

ALTER

EXPAND

RELOCATE

G. SITE STATISTICS (For addition and construction of new structures)

LOT DIMENSIONS FRONTAGE 101.9 DEPTH 37.9

LOT AREA 6,970 m2

EXISTING BUILDING COVERAGE +/-8.4 %

BUILDING HEIGHT EXISTING +/-12 m

PROPOSED 94 m

BUILDING WIDTH EXISTING N/A m

PROPOSED N/A m

ZONING DESIGNATION DC-3472-Commercial/Residential

OTHER APPROVALS REQUIRED: (Check off only if required)

MINOR VARIANCE (COA) _____

SITE PLAN APPROVAL ✓

BUILDING PERMIT ✓

CONSERVATION AUTHORITY _____

SIGN BYLAW APPROVAL _____

(Note: IF YES, other approvals should be scheduled after the Heritage Permit has been approved by City Council)

H. CHECKLIST OF REQUIRED INFORMATION SUBMITTED

(Check all that apply)

- REGISTERED SURVEY
- SITE PLAN (showing all buildings and vegetation on the property)
- EXISTING PLANS & ELEVATIONS - AS BUILT
- PROPOSED PLANS & ELEVATIONS
- PHOTOGRAPHS
- MATERIAL SAMPLES, BROCHURES, ETC
- CONSTRUCTION SPECIFICATION DETAILS

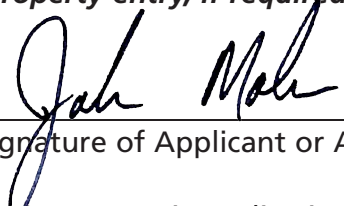
I. AUTHORIZATION / DECLARATION

I HEREBY DECLARE THAT THE STATEMENTS MADE HEREIN ARE, TO THE BEST OF MY BELIEF AND KNOWLEDGE, A TRUE AND COMPLETE PRESENTATION OF THE PROPOSED APPLICATION.

I UNDERSTAND THAT THIS HERITAGE PERMIT DOES NOT CONSTITUTE A BUILDING PERMIT PURSUANT TO THE ONTARIO BUILDING CODE.

I ALSO HEREBY AGREE TO ALLOW THE APPROPRIATE STAFF OF THE CITY OF BRAMPTON TO ENTER THE SUBJECT PROPERTY IN ORDER TO FULLY ASSESS THE SCOPE AND MERITS OF THE APPLICATION.

(Property entry, if required, will be organized with the applicant or agent prior to entry)

 (Jordan Molnar)

 Signature of Applicant or Authorized Agent

November 9, 2020

 Date of Submission

Heritage Permit applications are submitted to the Planning, Design and Development Department, 3rd Floor Counter, Brampton City Hall,

The personal information on this form is collected under the authority of the *Ontario Heritage Act*, RSO 1990. The information will be used to process the Heritage Permit Application. Questions about the collection of personal information should be directed to the Heritage Coordinator, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, 905-874-3825.

45 RAILROAD STREET BRAMPTON

CONSERVATION PLAN

ISSUED: 21 SEPTEMBER 2012

REVISED: JUNE 5, 2015

REVISED: SEPTEMBER 30, 2015

REVISED: JUNE 6, 2016

REVISED: NOVEMBER 4, 2020

ERA

Project # 06-057-02
Prepared by PE/JM/SH/JF/RL2

PREPARED BY:
ERA Architects Inc.
#600-625 Church Street
Toronto, Ontario M4Y 2G1
416-963-4497

PREPARED FOR:
PrestonHomes/Redwood Properties
330 New Huntington Road
Vaughan, Ontario L4H 4C9
905-856-7751

Cover Image: The northwest corner of the site (ERA, 2019).

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	Appendix III: City of Brampton Heritage Staff Comments, dated June 8, 2015	

Refer to Conservation Plan Drawings by ERA Architects, dated November 4, 2020

EXECUTIVE SUMMARY

This Conservation Plan provides a detailed schedule of conservation work for 45 Railroad Street that had been divided into two phases. This document reviews and confirms the work completed in the first phase as well as outlines the proposed scope of conservation work for the second phase.

The **first phase** of pre-conservation work, which included the selective removal of the rear of the factory component, the long-term protection of the factory façade with a steel retention structure, and the retention and protection of the office component, was completed in 2012-2013.

This **second phase** of proposed conservation work involves the rehabilitation and upgrade of the heritage structure in preparation for integration with the proposed new construction, including lowering the front entrance door at the **north elevation of the office component**.

The scope of conservation work includes:

- Repairing the masonry;
- **Rebuilding portions of the building;**
- Restoring the upper cornice;
- **Replacing the existing windows with new windows; and,**
- Installing new roofing.

The conservation work described in this Plan will be executed by specialist sub-contractors with a minimum of 5 years experience in working with heritage masonry structures. The work will be reviewed on site by the architect, heritage consultant and the City of Brampton's heritage staff for general conformance with heritage guidelines and conservation notes described in this Conservation Plan.

This Conservation Plan also provides cost estimates of proposed conservation work to establish a letter of credit amount in the order of \$500K to secure the scope of conservation. Upon adequate review and completion of the pre-conservation work by the Heritage Consultant, the letter of credit will be released back to the client.

1 INTRODUCTION

ERA Architects Inc. (“ERA”) has prepared this Conservation Plan as Heritage Consultant to Preston Group. The subject property, 45 Railroad Street consists of an industrial building with a one-storey façade along Mill Street North and two-storey office building component. The building acts as a landmark, located at a significant corner, Railroad Street and Mill Street North, and forms part of an industrial heritage precinct including the Hewetson Shoe Factory, the CNR Station and Railway. This property has been designated under the Ontario Heritage Act by City By-law 150-2015 (appended).

ERA has developed the Conservation Plan with respect to the Parks Canada Standards and Guidelines for the Conservation of Historic Places, the Ministry of Culture’s Ontario Heritage Tool Kit procedures, and the Burra Charter for the Protection and Enhancement of the Built Environment. The conservation work described in this Plan will be executed by specialist sub-contractors with a minimum of 5 years experience in working with heritage structures. The work will be reviewed on site by the architect, heritage consultant and the City of Brampton’s heritage staff for general conformance with heritage guidelines and conservation notes described in this Conservation Plan. The Letter of Credit is intended to cover any deficiencies.



Site location and context (source: maps.brampton.ca/maps).

1.1 Project Background

This Conservation Plan is being submitted as part of an application for Site Plan Approval and a Heritage Permit. The proposed development is a mixed-use residential tower that is integrated with the heritage resources on site. A building permit was previously issued for this site, however, the design has been modified, requiring resubmission. A revised Heritage Impact Assessment is included as part of the resubmission.

This Conservation Plan provides details on the proposed conservation work, including repairs and upgrades, and integration of the heritage fabric with the new development. **The Plan is to be read with the November 4, 2020 drawings prepared by ERA.**

1.2 Present Owner Contact

Preston Group
c/o Richard Aubrey
Preston Homes/Redwood Properties
330 New Huntington Road
Vaughan, Ontario L4H 4C9
t: 905.856.7751
f: 905.856.7764
e: raubry@redwoodproperties.ca

2 CONSERVATION PLAN

2.1 Conservation Strategy Objectives

This Conservation Plan seeks to ensure the responsible treatment of the **heritage attributes** of the heritage resources at 45 Railroad Street throughout redevelopment. The **heritage attributes** are described in the Designation By-law 150-2015 (appended). **The attributes concerning Design/Physical Value are listed here:**

Property Overall:

- rectangular plan and massing with partial second storey addition;
- flat roof profile (parapet walls and rooflines);
- Chicago School and Neo-Gothic style influences;
- unpainted red masonry walls;
- brick buttresses;
- foundation wall denoted by coursed cut stone blocks;
- original fenestration;
- corbelled brick water table.

Mill Street facade:

- large industrial-scale sash windows (6-over-6 basement windows, 12-over-12 first floor windows);
- window openings along Mill Street facade (recessed slightly into wall and framed by brick corbels);
- stone lintels over above-grade wood case-ment basement windows;
- graffiti carved into a brick by a penknife with inscription reading: "1949 AD. Dec ___ CNR Survey"; located on the Railroad and Mill Streets corner before the first Mill Street window openings;
- shallow setback of building facade along Mill Street South.

Railroad Street facade:

- original ground floor office windows with segmental arche [sic] brick voussoirs;
- second storey addition windows with brick voussoirs;
- fixed single-pane transoms;
- brick parapet wall with ribbed coping tiles;
- brick corbelling;
- heavy pediment over main entrance with radiating brick voussoir and corbelling;
- fixed, single-page transom over main entrance;
- pre-cast decorative blocks laid in diamond patterns forming second storey spandrel panels; each spandrel panel sits within a rectangular frame made of brick laid in soldier course;
- rectangular second storey windows with pre-cast sills and horizontal soldier coursed voussoirs;
- single pre-cast blocks accentuating the upper outer corners of each second storey window;
- brick buttresses and their pre-cast caps.

2.2 Phase I Conservation Work Scope

The following table summarizes the Phase I conservation work completed on the heritage resources located at 45 Railroad Street.

Phase I Work	Assessment
<i>I. Investigation and Protection</i>	
Investigate parapet condition and determine necessary repair. Coordinate parapet repair with roof replacement.	Terracotta coping is missing on parts of the parapet.
Investigate cracking along retained portions of facades. Structural Engineer to determine severity of cracking and coordinate with Heritage Architect for repairs.	An investigation has been undertaken. The cracks along the masonry will be repaired.
Investigate and repair west façade above and below grade. Investigations to include but are not limited to delamination and core testing. Repairs to be determined after completion of review. Reviews to be conducted by Heritage Contractor, Heritage Architect and Structural Engineer.	Completed.
Record and document full extent of existing building.	Completed - materials were submitted to the City of Brampton on June 26, 2013.
Salvage and store all original doors, sliding fire doors and boilerplate door. Store on-site in a weather protected facility.	The wood window frames have been stored on site. The boilerplate door was not salvageable after it was removed.
Provide weatherproofing to window openings including sill flashing and sealant around the top and side seams. Replace any existing damaged or deteriorated plywood with new plywood.	Completed with modification - seams were not sealed due to concerns over proper ventilation.
Repair any areas of critical deterioration along retained facades necessary for structural stability over the period of retention.	Completed.
Provide monitoring systems, including a gauge to measure settlement, for the retained North portion of building and East façade. Details of monitoring program and scheduled reviews to be provided by Belanger Engineering and reviewed by ERA Architects.	Completed.
<i>II. Dismantle + Salvage</i>	
Install helical ties as per drawings provided by Belanger Engineering. Ensure helical tie machinery is set an appropriate distance away from retained facades as to not damage any projections such as the cornice, sills, lintels and foundations (see page 8 for profile of proposed façade retention system).	Completed.

Install retention structure as per drawings provided by Belanger Engineering.	Completed.
Install south demising wall at north retained building. Provide additional structure where needed and consult with Structural Engineer and Heritage Architect during the process.	Completed.
Salvage all original red face brick on elevations to be removed. Stack on wood palettes and store in weather protected facility for later use.	Completed with modification - salvaged bricks are being stored on site.
Dismantle portions of building not being retained. Provide temporary structure as needed during demolition. Dispose of waste material off site. Salvage all wood beams and columns and store in weather-protected facility.	Completed with modification - salvaged wood beams and columns are being stored on site.
<i>III. Long Term Protection of Retained Façade</i>	
Install waterproofing along foundation of retained portion of east façade where backfill will be in contact with heritage wall.	Completed.
Infill basement with gravel and compact.	Completed.
Install water-shedding protection over retention structure and east retained façade. Protection to include plywood complete with waterproofing and flashing. Provide tarpaulin along interior elevation of retained east façade and tie into water shedding roofing and secure to facade. Ensure a 300mm air-space is provided between tarpaulin and brick façade.	Completed with modification - a plywood wall with tyvek covering were installed.
Ongoing seasonal review (in late spring/May and late summer/August) of retained façade and monitoring systems, including a gauge to measure settlement.	Completed. See Appendix I.

2.3 Phase II Conservation Work Scope

A list of proposed conservation notes has been prepared to describe the second phase of conservation work involving the repair and upgrade of the heritage resources at 45 Railroad Street. The scope was developed as a result of a visual exterior and interior evaluation on April 16, 2015, and subsequent site visits on May 11, 2016 and October 11, 2016. Results of this preliminary condition assessment are provided in Section 5 of the 45 Railroad Heritage Impact Assessment, issued May 28, 2015 and revised May 10, 2016. These notes are illustrated in detail in the appended drawings by ERA.

Where replacement of original fabric/features will be undertaken, the replacement will be done in-kind, using the same materials, dimensions, and profile and details as much as is feasible. A final list of what has been replaced will be provided to City Heritage staff as documentation to be included in the records for the property.

The main repair work consists of:

- Repairing the masonry;
- Rebuilding portions of the building;
- Restoring the upper cornice;
- Replacing the existing windows with new windows; and,
- Installing new roofing.

The conservation notes are as follows:

C01 Allow for investigation and repair of the west facade above and below grade. Investigations to include but are not limited to delaminating and core testing. Repairs to be determined after completion of review. Reviews to be conducted by Heritage Contractor, Heritage Architect and Structural Engineer. Specific tests and investigations to be determined by Structural Engineer.

C02 Provide new stone sill to match existing.

C03 Rebuild parapet with existing masonry. Damaged units to be replaced with salvaged brick units. Mortar to be lime based to match existing. Provide metal flashing on interior of parapet as detailed.

C04 Fully document windows with photos and drawings of the jamb, sills and lintels of each window type. Salvage existing window hardware and 15 existing sashes on the manufacturing floor and store in weather protected facility. Remove all remaining frames and sashes and dispose off-site. Provide new windows to replicate existing. Refer to window schedule.

C05 Remove brick infill and rebuild masonry within opening. Use salvaged masonry and lime based mortar. Inset rebuilt masonry 25mm from existing masonry

C06 Remove wood lintel. Install new steel lintel within cavity and encase with salvaged masonry and lime based mortar. Inset rebuilt masonry 25mm from existing masonry

C07 Deleted

C08 Deleted

C09 Return brick and stone. Make good along edge of demolition. Use salvaged brick as needed to complete return and use lime based mortar to match adjacent. Refer to detail 5/HA401.

C10 Provide foundation waterproofing. Provide new parging, waterproofing, dimple board drainage sheet with filter fabric, and insulation on exterior foundation wall below grade. Refer to details.

C11 Repoint 100% of stone foundation above and below grade, on the exterior. Repair parging in basement on interior.

C12 Clean 100% of stone foundation on interior and exterior.

C13 Clean tar/paint from brick, sills and lintels as required.

C14 Clean upper and lower window sills on the east and south facades.

C15 Provide general hot water clean of entire facade (typical).

C16 Remove all obsolete wood trim, metal fasteners, fittings and brackets from building facade and point openings (typical).

C17 Remove metal plate. Replace, repair, rebuild masonry as required to match existing window above.

C18 Provide new drip edge in existing stone sills (typical).

C19 At location of previous entry stair and ramp, repoint 100% of concealed area behind ramp with lime based mortar and replace damaged masonry with salvaged masonry as needed. Consult heritage architect after removals to confirm extent of work.

C20 Restore cornice. Provide new LCC flashing on cornice and new gutters along extent of cornice. All replaced detailing to replicate existing detailing. Consult with Heritage Architect for extent of repair/rebuild before starting work. Refer to details.

C21 Replace damaged or deteriorating terra cotta coping.

C22 Concrete block and steel frame to be retained. Refer to structural and architectural drawings.

C23 Remove concrete pads and retention structure.

C24 Remove existing window frame. Replace to match new window to be installed.

C25 Salvage stone caps, bricks and foundation stones.

C26 Deleted

C27 Deleted

C28 Deleted

C29 Provide wood framing to anchor to new building and LCC cap flashing over cornice.

C30 Provide new steel channels to wrap around masonry opening. Refer to details.

C31 Deleted

C32 Build masonry within opening. Use salvaged masonry and lime based mortar. Inset rebuilt masonry 25mm from existing masonry. Refer to details.

C33 Repoint brick as needed; clean all efflorescence; replace any deteriorated masonry units. Confirm extent of repair with Heritage Architect before commencing work.

C34 Infill existing scuppers with salvaged brick. Stitch rebuilt masonry into existing masonry.

C35 Remove and salvage masonry for new opening. Make good ends of masonry openings. Provide new lintels.

C36 Provide new door in existing masonry opening.

C37 Deleted

C38 On interior masonry foundation wall, allow for 20% repointing, 20% parging repair and 100% clean to remove all dirt, dust, concentrated soiling, efflorescence and staining.

2.4 Salvage Plan

Work Completed (Phase I)

Approximately 10 skids of brick, wood beams, and columns were salvaged from the removal of the rear of the factory component. These materials have been wrapped in tyvek and have been stored on site.

Proposed Conservation Work (Phase II)

We recommend relocating the salvaged materials to a weather controlled, off site facility, especially for the duration of the construction phase.

The bricks will be reused to infill select window openings, rebuild the parapet, and replace spalled masonry. The wood beams and columns may be used as part of the interpretation of the site.

2.5 Measures to Protect Heritage Resources During Construction (Phase II)

General

ERA will conduct regular field reviews. During construction these will occur every 2-3 weeks. Field review reports will be directly issued to staff.

Factory Component

Throughout the construction the east facade of the factory component will be monitored for movement by a vibration monitor. The interior face will be tarped. The structure will remain attached to the retention structure. The plywood - already implemented - will be retained in order to protect the openings.

Office component

The demising wall (the south elevation) will be maintained for protection until an appropriate time during the construction. At that time, the concrete blocks will be removed and replaced while the existing steel will be retained.

Salvaged Materials

These materials are wrapped in tarps on skids, protected from the elements, and obscured from public visibility in the rear south west corner of the property.

3 CONSERVATION COST ESTIMATE

The following cost estimate is provided to establish a reasonable letter of credit amount required by the City of Brampton. The letter of credit will secure the conservation of the heritage elements outlined in this Conservation Plan.

As indicated in the City of Brampton’s terms of reference for Heritage Impact Assessments:

Cost estimates for the various components of the plan to be used to determine sufficient monetary amounts for letters of credits or other financial securities as may be required to secure all work included in the Conservation Plan.

3.1 Letter of Credit

The following provides cost estimates for the scope of conservation work identified in this plan for the phase two, rehabilitation and upgrade of the heritage resources in preparation for integration with the proposed building at 45 Railroad Street.

Phase 2: Rehabilitation and Upgrade

Demolition and Salvage:	\$24K
Masonry Restoration:	\$170K
Structural Alterations:	\$10K
Windows and Doors Restoration:	\$240K
Roof Repair:	\$26K
Wood Restoration:	\$30K

ERA recommends a letter of credit amount in the order of \$500K in order to secure the conservation costs associated with Phase II conservation work.

Upon adequate review and completion of the conservation work by the Heritage Consultant, the letter of credit will be released back to the client.

4 CONCLUSION

This report finds that the heritage resources at 45 Railroad Street will be appropriately rehabilitated by the conservation work detailed in this document.

The proposed work includes:

- Repairing the masonry;
- Rebuilding portions of the building;
- Restoring the upper cornice;
- Replacing the existing windows with new windows; and,
- Installing new roofing.

A letter of credit amount in the order of \$500K is recommended to secure the second phase of conservation work described in this Conservation Plan.

5 APPENDICES

Appendix I: Monitoring Survey at 45 Railroad Street

The results of the monitoring survey indicate that the building has retained its structure and is stable.

Monitoring Survey at 45 Railroad Street

Pillar No.	June 23, 2013			October 4, 2013			January 9, 2014			April 10, 2014		
	Horizontal	Vertical	Diff*	Horizontal	Vertical	Diff*	Horizontal	Vertical	Diff*	Horizontal	Vertical	Diff*
1	0.997	223.153	0.000	0.997	223.154	0.001	0.997	223.155	0.000	0.996	223.153	-0.001
2	1.002	224.011	0.003	1.005	224.012	0.001	1.011	224.012	0.009	1.012	224.015	0.010
3	1.011	224.100	0.004	1.015	224.100	0.000	1.024	224.101	0.013	1.025	224.107	0.014
4	0.995	224.157	0.004	0.999	224.158	0.001	1.008	224.158	0.013	0.998	224.172	0.003
5	0.996	224.020	0.003	0.999	224.021	0.001	1.009	224.020	0.013	0.992	224.038	-0.004
6	0.989	224.000	0.003	0.992	223.999	-0.001	1.005	223.998	0.016	0.981	224.015	-0.008
7	0.990	223.995	0.002	0.992	223.995	0.000	1.003	223.994	0.013	0.982	224.011	-0.008
8	0.988	223.989	0.000	0.988	223.988	-0.001	0.994	223.988	0.006	0.992	224.000	0.004
9	1.008	224.003	0.000	1.008	224.002	-0.001	1.014	224.002	0.006	1.023	224.008	0.015
10	1.010	224.006	0.003	1.013	224.006	0.000	1.021	224.005	0.011	1.047	224.008	0.037
11	0.992	224.017	0.000	0.992	224.016	-0.001	0.997	224.015	0.005	1.018	224.018	0.026
12	0.992	224.023	0.004	0.996	224.022	-0.001	1.005	224.021	0.013	1.013	224.022	0.021
13	0.994	222.596	0.002	0.996	222.595	-0.001	0.997	222.595	0.003	0.997	222.595	0.003
14	0.991	222.456	0.000	0.991	222.456	0.000	0.994	222.454	0.003	0.992	222.455	0.001
15	1.004	224.018	0.000	1.004	224.017	-0.001	1.008	224.016	0.004	1.006	224.017	0.002
16	0.991	224.085	-0.001	0.990	224.085	0.000	0.991	224.084	0.000	0.989	224.085	-0.002
17	1.002	222.941	0.004	1.006	222.942	0.001	1.003	222.943	0.001	DESTROYED		
18	1.003	222.947	DESTROYED			DESTROYED			DESTROYED			

Diff* = Difference from June 23, 2013 reading
 Oct4/13 - Horizontal difference - movement towards property; Vertical difference - upward movement

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Monitoring Survey at 45 Railroad Street

Pillar No.	June 23, 2013		July 12, 2014		October 19, 2014		January 9, 2015	
	Horizontal	Vertical	Horizontal	Vertical	Horizontal	Vertical	Horizontal	Vertical
1	0.997	223.153	0.994	223.153	0.995	223.154	0.995	223.154
2	1.002	224.011	1.006	224.014	1.006	224.014	1.006	224.013
3	1.011	224.100	1.015	224.103	1.015	224.102	1.016	224.103
4	0.995	224.157	0.995	224.162	0.994	224.160	0.994	224.161
5	0.996	224.020	0.992	224.023	0.991	224.021	0.990	224.022
6	0.989	224.000	0.984	224.001	0.984	224.000	0.985	224.000
7	0.990	223.995	0.982	223.998	0.982	223.997	0.983	223.997
8	0.988	223.989	0.981	223.991	0.980	223.990	0.981	223.989
9	1.008	224.003	1.011	224.004	1.009	224.003	1.010	224.002
10	1.010	224.006	1.027	224.007	1.022	224.006	1.024	224.006
11	0.992	224.017	1.002	224.017	1.001	224.016	1.002	224.015
12	0.992	224.023	1.006	224.022	1.006	224.021	1.007	224.021
13	0.994	222.596	0.997	222.596	0.997	222.595	1.000	222.596
14	0.991	222.456	0.992	222.456	0.993	222.456	0.993	222.455
15	1.004	224.018	1.006	224.018	1.004	224.017	1.006	224.016
16	0.991	224.085	0.989	224.086	0.988	224.085	0.989	224.084
17	1.002	222.941	1.005	222.942	1.003	222.942	1.003	222.941
18	1.003	222.947	DESTROYED		DESTROYED		DESTROYED	

Diff* = Difference from June 23, 2013 reading
 Horizontal difference - movement towards property; Vertical difference - upward movement

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Monitoring Survey at 45 Railroad Street

Krcmar Surveyors Ltd
1137 Centre Street Thornhill Ontario, L4J 3M6
905.738.0053 F 905.738.9221 www.krcmar.ca

Pillar No.	June 23, 2013			April 10, 2015			July 7, 2015			October 9, 2015		
	Horizontal	Vertical	Vert. Diff*	Horizontal	Vertical	Vert. Diff*	Horizontal	Vertical	Vert. Diff*	Horizontal	Vertical	Vert. Diff*
1	0.997	223.153	-0.001	0.995	223.152	-0.002	0.994	223.152	-0.003	0.996	223.153	-0.001
2	1.002	224.011	0.002	1.014	224.013	0.012	1.008	224.013	0.006	1.008	224.012	0.006
3	1.011	224.100	0.004	1.031	224.104	0.020	1.015	224.101	0.004	1.016	224.102	0.005
4	0.995	224.157	0.006	1.014	224.163	0.019	0.997	224.160	0.002	0.998	224.160	0.003
5	0.996	224.020	0.004	1.012	224.024	0.016	0.994	224.021	-0.002	0.995	224.021	-0.001
6	0.989	224.000	0.002	1.006	224.002	0.017	0.988	224.000	-0.001	0.988	224.000	-0.001
7	0.990	223.995	0.003	1.004	223.998	0.014	0.985	223.998	-0.005	0.986	223.998	-0.004
8	0.988	223.989	0.002	0.995	223.991	0.007	0.981	223.990	-0.007	0.983	223.991	-0.005
9	1.008	224.003	0.001	1.032	224.004	0.024	1.013	224.003	0.005	1.014	224.004	0.006
10	1.010	224.006	0.001	1.054	224.007	0.044	1.026	224.006	0.016	1.027	224.008	0.017
11	0.992	224.017	0.000	1.022	224.017	0.030	1.006	224.017	0.014	1.005	224.018	0.013
12	0.992	224.023	-0.001	1.020	224.022	0.028	1.007	224.022	0.015	1.008	224.022	0.016
13	0.994	222.596	-0.001	0.998	222.595	0.004	0.996	222.595	0.002	0.997	222.597	0.003
14	0.991	222.456	0.002	0.992	222.458	0.001	0.991	222.456	0.000	0.992	222.456	0.001
15	1.004	224.018	0.001	1.003	224.019	-0.001	1.001	224.018	-0.003	1.002	224.017	-0.002
16	0.991	224.085	0.002	0.984	224.087	-0.007	0.983	224.085	-0.008	0.985	224.086	-0.006
17	1.002	222.941	0.003	0.999	222.944	-0.003	0.998	222.942	-0.004	0.997	222.942	-0.005
18	1.003	222.947										

Diff* = Difference from June 23, 2013 reading
Horizontal difference - movement towards property; Vertical difference - upward movement

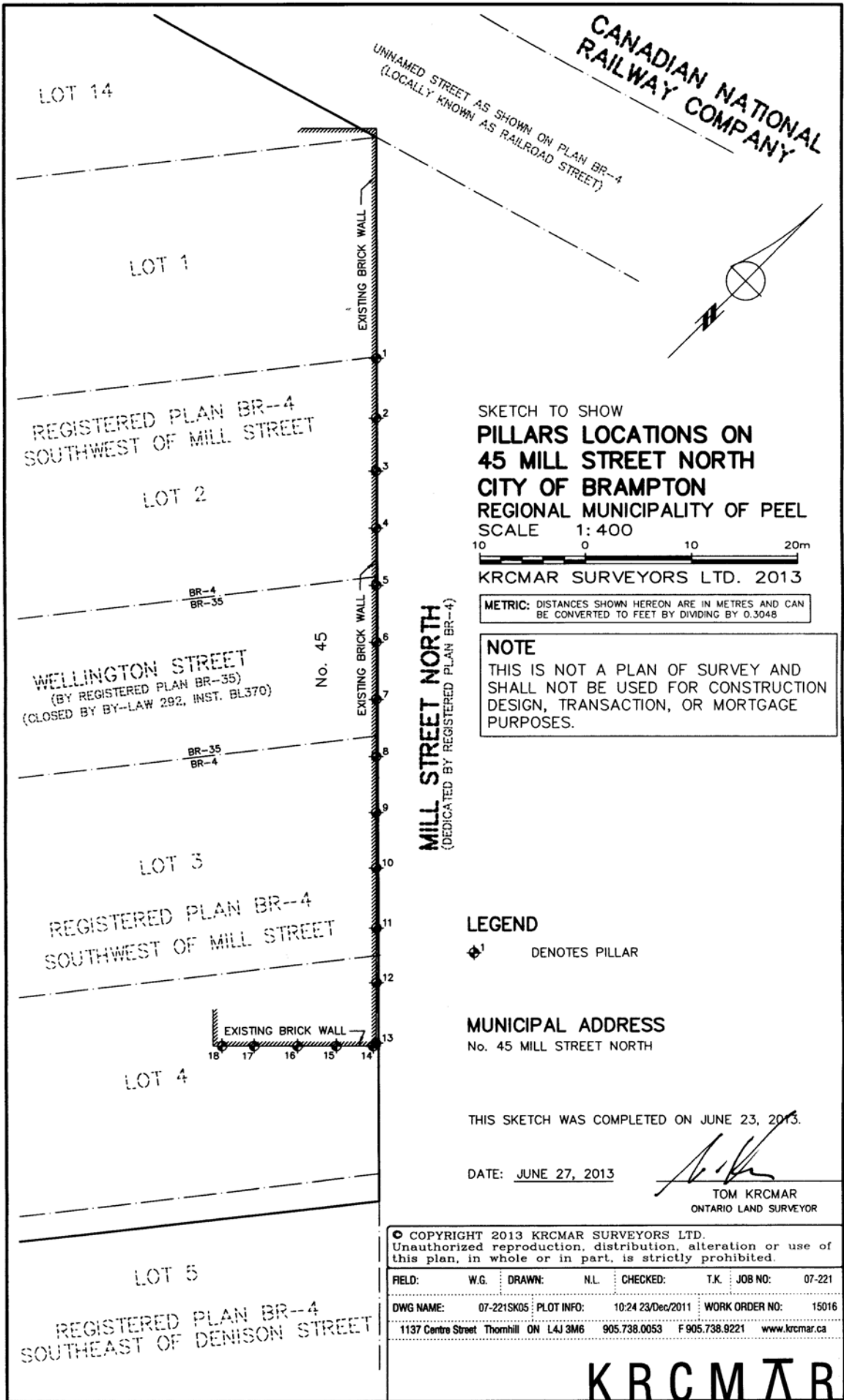
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Monitoring Survey at 45 Railroad Street

Pillar No.	June 23, 2013		January 4, 2016		April 4, 2016		Horizontal	Vertical	Horiz. Diff*	Vert. Diff*	
	Horizontal	Vertical	Horizontal	Vertical	Horizontal	Vertical					
1	0.997	223.153	0.997	223.153	0.997	223.153	0.997	223.153	0.000	0.000	
2	1.002	224.011	1.009	224.013	1.010	224.012	1.010	224.012	0.008	0.001	
3	1.011	224.100	1.018	224.102	1.020	224.102	1.020	224.102	0.009	0.002	
4	0.995	224.157	0.999	224.159	1.001	224.159	1.001	224.159	0.006	0.002	
5	0.996	224.020	0.996	224.020	0.999	224.021	0.999	224.021	0.003	0.001	
6	0.989	224.000	0.990	224.000	0.992	224.000	0.992	224.000	0.003	0.000	
7	0.990	223.995	0.988	223.997	0.990	223.997	0.990	223.997	0.000	0.002	
8	0.988	223.989	0.984	223.990	0.986	223.990	0.986	223.990	-0.002	0.001	
9	1.008	224.003	1.016	224.002	1.017	224.003	1.017	224.003	0.009	0.000	
10	1.010	224.006	1.028	224.007	1.030	224.006	1.030	224.006	0.020	0.000	
11	0.992	224.017	1.007	224.018	1.009	224.018	1.009	224.018	0.017	0.001	
12	0.992	224.023	1.011	224.023	1.012	224.022	1.012	224.022	0.020	-0.001	
13	0.994	222.596	0.999	222.598	0.999	222.597	0.999	222.597	0.005	0.001	
14	0.991	222.456	0.994	222.459	0.994	222.457	0.994	222.457	0.003	0.001	
15	1.004	224.018	covered			covered					
16	0.991	224.085	0.988	224.089	0.987	224.086	0.987	224.086	-0.004	0.001	
17	1.002	222.941	1.002	222.945	1.002	222.943	1.002	222.943	0.000	0.002	
18	1.003	222.947	DESTROYED			DESTROYED			DESTROYED		

Diff* = Difference from June 23, 2013 reading
 Horizontal difference - movement towards property; Vertical difference - upward movement

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SKETCH TO SHOW
**PILLARS LOCATIONS ON
 45 MILL STREET NORTH**
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1: 400
 10 0 10 20m
 KRCMAR SURVEYORS LTD. 2013

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTE
 THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR CONSTRUCTION DESIGN, TRANSACTION, OR MORTGAGE PURPOSES.

MILL STREET NORTH
 (DEDICATED BY REGISTERED PLAN BR-4)

LEGEND
 ♦¹ DENOTES PILLAR

MUNICIPAL ADDRESS
 No. 45 MILL STREET NORTH

THIS SKETCH WAS COMPLETED ON JUNE 23, 2013.

DATE: JUNE 27, 2013

[Signature]
 TOM KRCMAR
 ONTARIO LAND SURVEYOR

© COPYRIGHT 2013 KRCMAR SURVEYORS LTD.
 Unauthorized reproduction, distribution, alteration or use of this plan, in whole or in part, is strictly prohibited.

FIELD:	W.G.	DRAWN:	N.L.	CHECKED:	T.K.	JOB NO:	07-221
DWG NAME:	07-221SK05	PLOT INFO:	10:24 23/Dec/2011	WORK ORDER NO:	15016		
1137 Centre Street Thornhill ON L4J 3M6 905.738.0053 F 905.738.9221 www.krcmar.ca							

KRCMAR



THE CORPORATION OF THE CITY OF BRAMPTON

BY-LAW

150-2015

**To designate the property at 45 Railroad Street
as being of cultural heritage value or interest.**

WHEREAS Section 29 of the *Ontario Heritage Act*, R.S.O. 1990, Chapter O. 18 (as amended) authorizes the Council of a municipality to enact by-laws to designate real property, including all the buildings and structures thereon, to be of cultural heritage value or interest;

WHEREAS the Brampton Heritage Board supports the designation of the properties described herein;

WHEREAS a Notice of Intention to Designate has been published and served in accordance with the Act, and there has been no Notice of Objection served on the Clerk;

NOW THEREFORE the Council of the Corporation of the City of Brampton HEREBY ENACTS as follows:

1. The property at **45 Railroad Street**, more particularly described in Schedule "A", is hereby designated as being of cultural heritage value or interest pursuant to Part IV of the *Ontario Heritage Act*.
2. City Council shall cause a copy of this by-law to be registered against the property described in Schedule "A" to this by-law in the proper Land Registry Office.
3. The City Clerk shall cause a copy of this by-law to be served upon the owners of the property at **45 Railroad Street** and upon the Ontario Heritage Trust, and cause notice of this by-law to be published on the City's website in accordance with Council's Procedure By-law.
4. The short statement of the reason for the designation of the property, including a description of the heritage attributes are set out in Schedule "B" to this by-law.

READ A FIRST, SECOND AND THIRD TIME AND PASSED IN OPEN COUNCIL THIS **8TH** DAY OF **July**, 2015.

Approved as
to form
KP
June 25 15


LINDA JEFEREY - MAYOR


PETER FAY - CLERK

EARL EVANS - DEPUTY CITY CLERK

Approved as to content:

Heather MacDonald, Director, Planning Policy and Growth Management

By-law 150-2015

SCHEDULE A

PROPERTY DESCRIPTION:

PART OF LOT 18 & PART OF WELLINGTON STREET (CLOSED BY BY-LAW 292, IN BL370), PLAN BR35, LOTS 1 & 2, SW OF MILL ST., PART OF LOTS 14 & 15, SOUTH OF RAILROAD ST., LOTS 3 & 4, SW OF MILL ST., LOTS 16 & 17, SE OF DENISON ST., PART OF LOT 5, SW OF MILL ST., PART OF LOT 15, SE OF DENISON ST., PLAN BR4, DESIGNATED AS PARTS 1 & 2 ON REFERENCE PLAN 43R-32198; BRAMPTON.

PIN: 14108-0534 (LT)

SCHEDULE "B" TO BY-LAW

SHORT STATEMENT OF THE REASON FOR THE DESIGNATION OF 45 RAILROAD STREET:

The property at 45 Railroad Street, known as the Copeland-Chatterson Company / Dominion Skate building, is worthy of designation under Part IV of the *Ontario Heritage Act* for its cultural heritage value. The property meets the criteria for designation prescribed by the Province of Ontario under the three categories of design or physical value, historical value and contextual value.

Design / Physical Value:

The cultural heritage value of 45 Railroad Street is related to its design or physical value, as it is a representative and good example of the Chicago commercial style or the "Chicago School" with Neo-Gothic design influences introduced in a later phase of construction. It is the first example of this style in Brampton.

The building, as it was originally constructed in 1905, consisted of a single one-storey building with a rather low street profile. The section facing Railroad Street served as the administration office, while the factory component faced Mill Street North. The factory section features large grouped industrial windows designed to let in sunlight and air circulation to the factory floor. These windows are integral to the overall character and cultural heritage value of the building and help identify the structure as a former factory.

The building was expanded in 1914 with the construction of a second storey over the Railroad Street office component. This addition features decorative elements such as spandrel panels on the façade between the top of the first storey windows and the sills of the second storey windows. Each spandrel features repeating patterns of pre-cast concrete blocks forming diamonds and squares. Each motif sits within a rectangular frame made of brick laid in soldier courses.

Coping tiles crown the brick parapet wall, and pre-cast blocks accentuate the outer upper corners of each second storey window. Other brick detailing includes buttresses capped with pre-cast concrete blocks, voussoirs over the office windows, a radiating voussoir over the main entrance, corbelling details under a strong main entrance pediment, along with corbelled water tables. Cut stone blocks highlight the foundation wall and stone lintels cap above-grade wood casement basement windows. Overall, the construction details demonstrate a high degree of craftsmanship, particularly with regard to the masonry.

More recently, the building has been altered to allow for its adaptive re-use to facilitate the development of an apartment building. This resulted in the selective removal of the factory building, retaining only the Mill Street (east side) façade, and the removal of the chimney.

Historical /Associative Value

The property has historic value as it is associated with the industrialization of Brampton at the turn of the 20th century, namely through Copeland-Chatterson Company, an influential office stationary company. Copeland-Chatterson was founded in 1893 by Canadians Robert J. Copeland and A.E. Chatterson on the basis of Copeland's patent of a binder that locked loose-leaf ledger sheets with a key on filing posts. The newer accounting system and first products of the company were designed to simplify accounting procedures and overcome the disadvantages of bound ledgers, and quickly became an international success.

While the company began manufacturing in Toronto, they quickly out grew their headquarters no less than three times before they began looking to build outside downtown Toronto. The brothers-in-law chose Brampton for its new facility because it was close to Toronto and they could develop a stable long-term workforce. They purpose built the factory for their needs beginning in late fall of 1905 and completing the plant in August 1906. This was the first time an outside company elected to locate their manufacturing plant in Brampton.

Upon their move to Brampton, the company created a local partnership with the Pease Foundry Co. Ltd to manufacture all the metal components for their stationary products, thus bringing more prosperity to another local industrial company. Copeland-Chatterson kept their own machine shop for manufacturing their tool and die components, as well as manufacturing larger items for their catalogue and keeping the factory's machines in good repair.

During World War II, Copeland-Chatterson contributed to the war effort by manufacturing war materials in their machine shops, as well as Victory Bonds and War Saving Stamps. Several long time employees also left the company to enroll in the armed forces.

Through the next five decades, the company continued to be a success, holding over 170 patents for office and recordkeeping products, and some 90 of these patents originated in Canada. A particularly successful product manufactured at the Brampton

facility was the Paramount Sorting System, which was introduced in 1930 and became a key information storage system to many scientific areas of study and information science until the widespread introduction of computers in the 1970s and 80s.

In 1961, Anthes Imperial Ltd. acquired Copeland-Chatterson. However, the Railroad Street factory continued to operate until Anthes Imperial relocated to a new facility.

In 1981, Dominion Skate Company took over 45 Railroad Street, and operated their skate business at the facility until 2008.

Contextual Value:

The property also holds contextual value as part of a significant industrial grouping that includes the former Hewetson Shoe factory, the former CNR railway station and associated railway lines and significantly defines and supports the character of the area. The former Copeland-Chatterson Company / Dominion Skate complex is a landmark because it wraps around a prominent corner lot along Mill and Railroad Streets. Collectively, these elements form an important cultural heritage landscape of a historic industrial precinct in Brampton.

DESCRIPTION OF THE HERITAGE ATTRIBUTES OF THE PROPERTY:

The heritage attributes comprise all façades including all entranceways and windows, together with construction materials of brick, stone, wood, metal, and associated building techniques. The detailed heritage attributes include, but are not limited to:

Design / Physical Value:

Property Overall:

- rectangular plan and massing with partial second storey addition;
- flat roof profile (parapet walls and rooflines);
- Chicago School and Neo-Gothic style influences;
- unpainted red masonry walls;
- brick buttresses;
- foundation wall denoted by coursed cut stone blocks;
- original fenestration;
- corbelled brick water table.

Mill Street façade:

- large industrial-scale sash windows (6-over-6 basement windows, 12-over-12 first floor windows)
- window openings along Mill Street façade (recessed slightly into wall and framed by brick corbels);
- stone lintels over above-grade wood casement basement windows;
- graffiti carved into a brick by a penknife with inscription reading: "1949 AD. Dec ___ CNR Survey"; located on the Railroad and Mill Streets corner before the first Mill Street window openings
- shallow setback of building facade along Mill Street South.

Railroad Street façade:

- original ground floor office windows with segmental arch brick voussoirs;
- second storey addition windows with brick voussoirs;
- fixed single-pane transoms;
- brick parapet wall with ribbed coping tiles;
- brick corbelling;
- heavy pediment over main entrance with radiating brick voussoir and corbelling;
- fixed, single pane transom over main entrance;
- pre-cast decorative blocks laid in diamond patterns forming second storey spandrel panels; each spandrel panel sits within a rectangular frame made of brick laid in soldier courses;
- rectangular second storey windows with pre-cast sills and horizontal soldier coursed voussoirs;
- single pre-cast blocks accentuating the upper outer corners of each second storey window;
- brick buttresses and their pre-cast caps.

Historical /Associative Value:

- association with prominent individuals, including R.J. Copeland and A.E. Chatterson, inventors of the innovative loose-leaf ledger systems, which were manufactured in the Brampton plant;
- association with Canadian branch of Copeland-Chatterson Company, who chose Brampton as their manufacturing headquarters, the first outside manufacturing company to do so in Brampton
- association with the Dominion Skate Factory for nearly 30 years;
- association with the early industrial history and development of Brampton.

Contextual Value:

- landmark status as the building fronts along Railroad and Mill Streets, uniting the industrial building to the residential neighborhood;
- contribution to the cultural heritage landscape formed collectively by the railway line, Hewetson Shoe factory and former CNR railway station;
- contribution to the heritage character of the adjacent late 19th and early 20th century neighbourhood.



Planning and
Infrastructure Services

DATE: July 30, 2015
TO: Paul Aldunate
CC: -
FROM: Stav Kassaris
SUBJECT: 45 Railroad St
Conservation Plan
June 8, 2015

Heritage staff reviewed the Conservation Plan for 45 Railroad Street and provides the following comments:

General Comments

- Ensure that the drawings of both G+C Architects Inc. and ERA Architects Inc. are consistent. Currently, there are differences between details in the drawings by G+C included in the site plan application and HIA, and those prepared by ERA included in the Conservation Plan.
- Outline the measure that will be undertaking to ensure the protection of the heritage resource during construction.

Page 1, Section 1: Introduction

- Revise this section to state that the property is designated under Part IV of the Ontario Heritage Act pursuant City of Brampton By-law 150-2015.
- Update the photograph in Figure 1 using BramptonMaps, which offers more recent aerial images. Go to <http://maps.brampton.ca/maps/default.aspx> , type in 45 Railroad St in the address search bar on the bottom left corner of the page, then turn on the most recent air photo available under the Base Maps category on the right hand menu.

Page 2, Subsection 1.1: Project Background

- Revise this subsection to explain that the HIA and Conservation Plan are being submitted as part of a Site Plan application and Heritage Permit application, prior to the application of a Building Permit.

The Corporation of The City of Brampton
2 Wellington Street West, Brampton, ON L6Y 4R2

Page 3, Subsection 2.1: Conservation Strategy Objectives

- Update this subsection to reflect the designation by-law

Pages 4, Subsection 2.2: Scope of Phase 1 Conservation Work

- Where salvaged materials have been stored on site, outline what security measures have been undertaken to protect the items from damage, vandalism and theft.
- Briefly explain why a modification was made to the water-shedding protection on the east façade.
- Indication the conservation measures have been undertaken regarding the missing parapet caps discussed in the previous September 2012. Missing caps can result in significant deterioration of the masonry.

Appendix 1: Monitoring Survey at 45 Railroad Street

Include a brief summary explaining what the measurements indicate.

Conservation Plan Drawings

- A window schedule is missing from the Conservation Plan. Clearly indicate which original window sashes and frames will be restored, which will be replaced, and the specifications for both.

HA300 – North and West Elevation

- The drawing states “restore existing windows, provide new window sashes with double glazes”. Please clarify which windows (including frame and sash) are being restored, and which windows (include frame and sash) are being replaced with new units.
- In the “Heritage Conservation Notes” please specify that the replacement of original fabric/features should be in-kind, using the same material, dimensions, profile, and details.
- Specify appropriate brick cleaning approaches and mortar composition.
- Refer to HIA comments regarding front entrance design.
- Clarify the approach being proposed for the west elevation, as the G+C drawings and ERA drawings do not correspond.

HA301 – East Elevation

- This drawing proposes two doors along the Mill Street South façade be filled in with masonry, while the G+C drawing for this illustration show the two doors being replaced with windows that match the adjacent windows. Please clarify which approach is being proposed and provide rationale.

HA200 – Ground Floor Plan

- Refer to comments above.

HA 200 – Second Floor Plan

- Refer to HIA comments regarding front entrance and egress stair.
- Clarify the approach being proposed for the west elevation, as the G+C drawings and ERA drawings do not correspond.

I look forward to receiving your revised Conservation Plan, and please feel free to contact me should you have any questions.

Regards,

Stav Kassaris
Heritage Coordinator
905-874-3825
stavroula.kassaris@brampton.ca

Project

45 RAILROAD STREET

Address

45 Railroad Street

Project no.

06-057-05

Issued for

**REISSUED FOR HERITAGE
APPROVAL**

Date

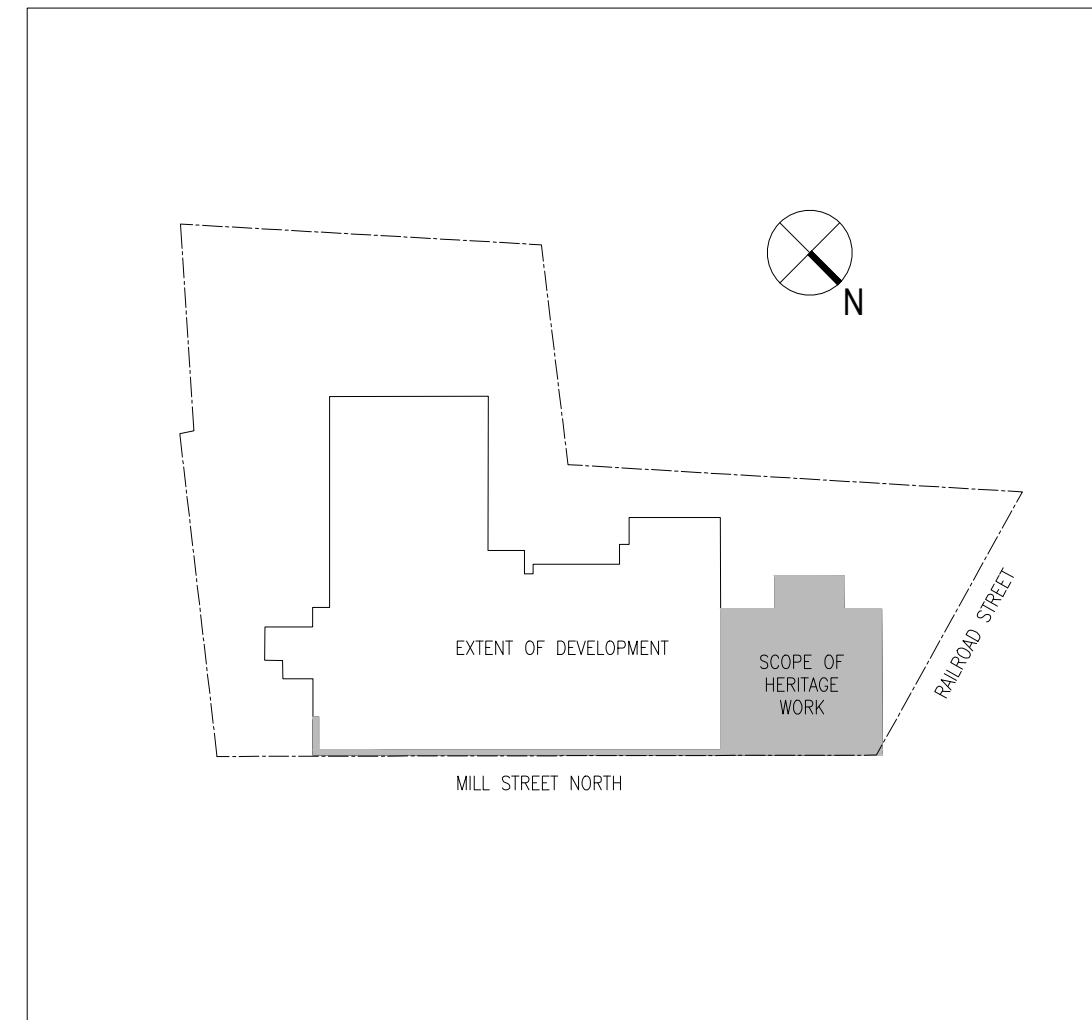
NOVEMBER 4, 2020

ERA Architects Inc.
625 Church Street, Suite 600, Toronto, ON, M4Y 2G1
Tel: (416) 963-4497

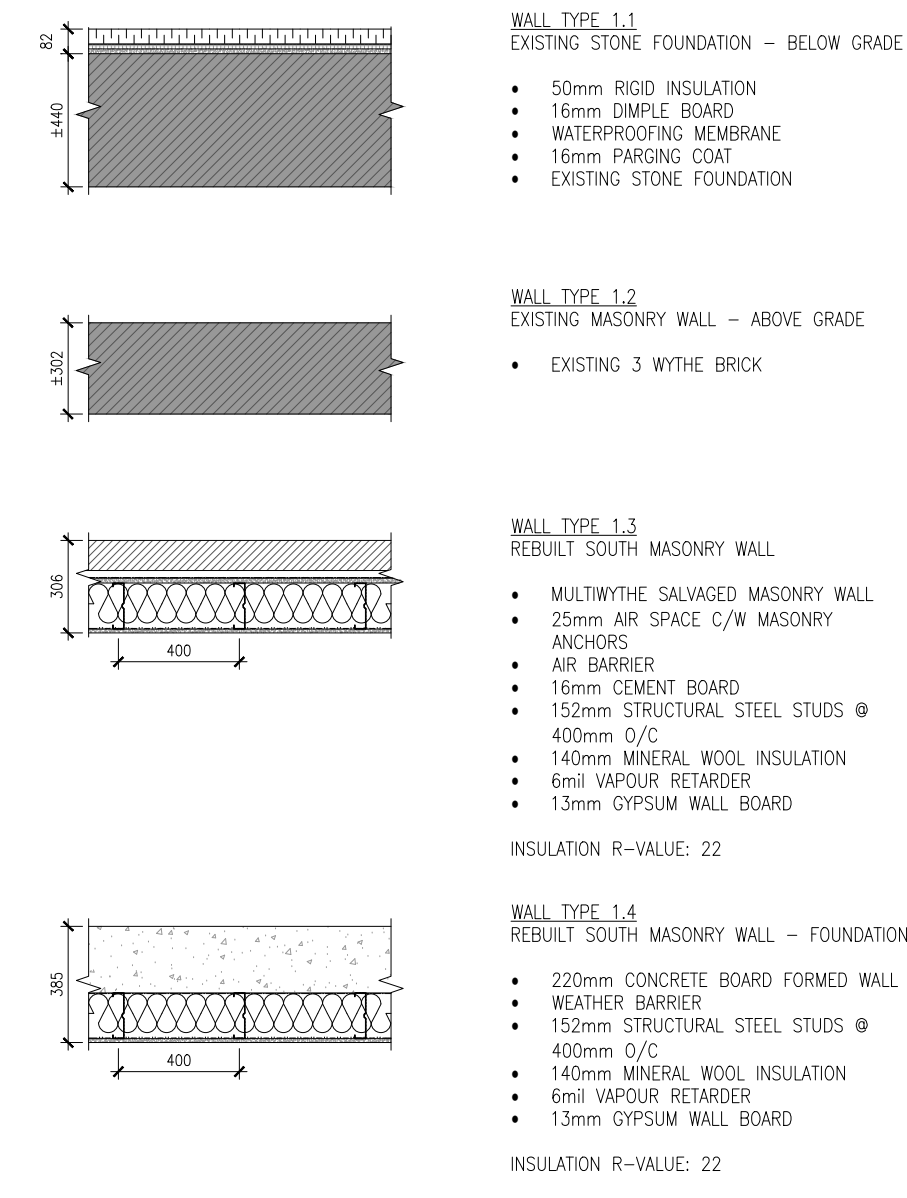
DRAWING LIST

HA001	PROJECT INFO, ASSEMBLIES & SURVEY
HA100	CONSERVATION GROUND & SECOND FLOOR PLANS
HA101	CONSERVATION THIRD FLOOR & ROOF PLANS
HA200	CONSERVATION NORTH & WEST ELEVATIONS
HA201	CONSERVATION EAST ELEVATIONS
HA202	CONSERVATION SOUTH ELEVATIONS

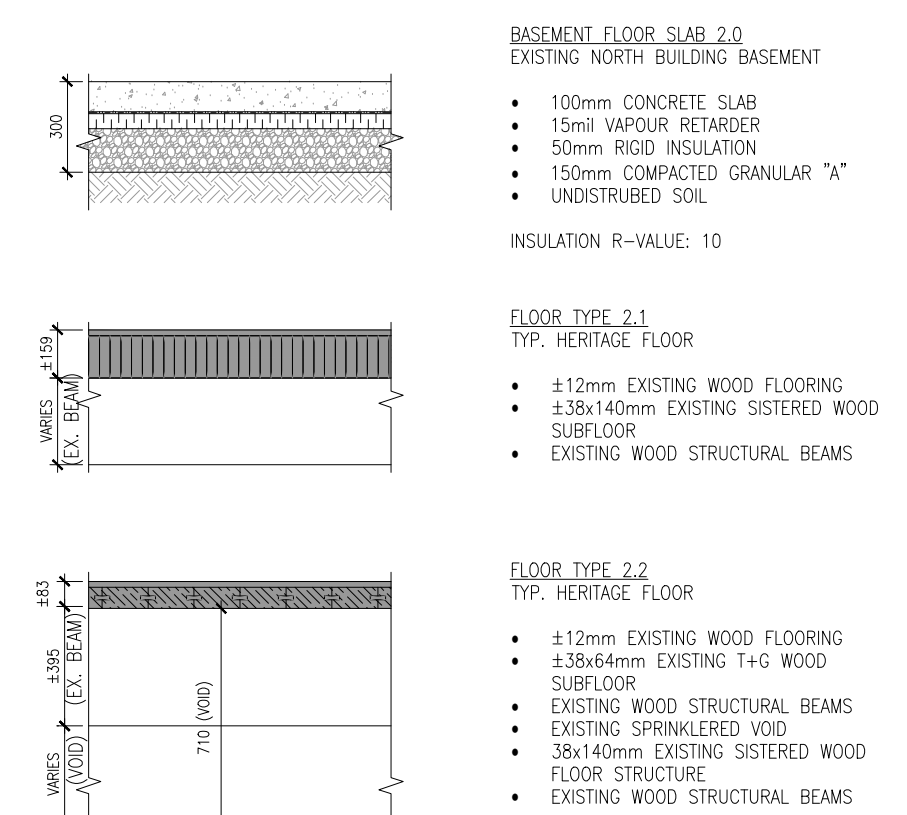
Key Plan



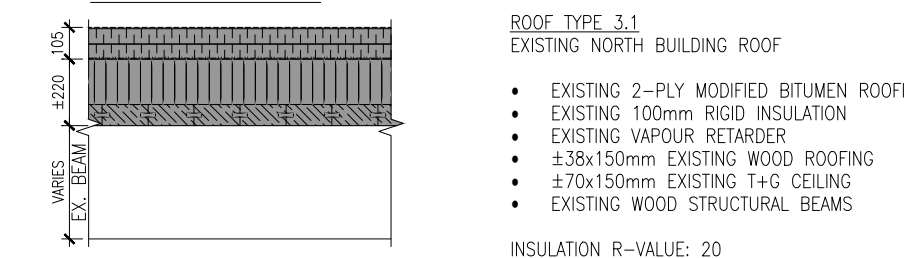
Wall Assemblies



Floor Assemblies



Roof Assemblies



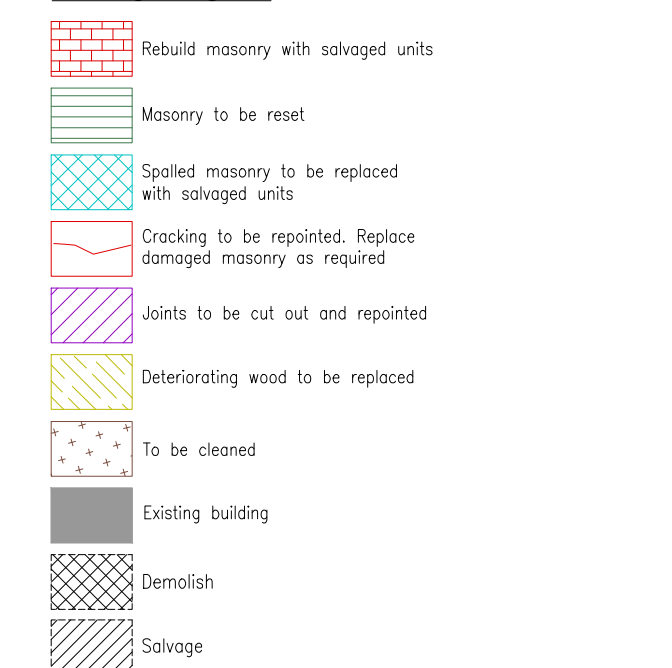
Heritage General Notes

- G01 Dimensions and areas are for guidance about extent. This does not relieve the bidder of responsibility to visit the site and make all the necessary measurements.
 - G02 All conservation work is to be carried out by a qualified Heritage Contractor. Should conflicts arise, contact the Owner's project manager and notify the Heritage Architect for the required action.
 - G03 All dimensions are to be verified on-site by the contractor. Should conflicts arise, contact the owner's project manager and notify the Heritage Architect for the required action.
 - G04 Refer to the heritage specifications for requirements regarding all mock-ups, shop drawings, samples etc.
 - G05 The Heritage Architect's (HA) drawings should be read in conjunction with the Architects and Structural Engineers drawings.
 - G06 Replacement/repair of original fabric/features should be in-kind, using the same materials, dimensions, profiles and details.
- Masonry Restoration**
- G06 Replace deteriorated bricks and stone as indicated on the drawings. All replacement brick to be of good, sound quality and not damaged.
 - G07 All mortar to be lime based with the following mixes:
 - Hydraulic lime mortar for resetting, rebedding and rebuilding brick and stone: 1 hydraulic lime NHL 3.5 : 2 sand
 - hydraulic lime mortar for repointing brick and stone: 1 hydraulic lime NHL 2 : 2 sand
- Woodwork**
- G08 Confirm restoration extent of wood areas with the Heritage Architect before commencing. Areas to be rebuilt shall replicate the construction assembly and detailing exactly.
- Heritage Interiors**
- G09 Intent of repair on the interior is to repair only critical damage that affects the integrity of the wall. Cracking, spalling, repointing and masonry rebuilding will occur as outlined in the HA drawings.
 - Allow for 30% repointing on each interior elevation, beyond what is identified in the HA drawings.
 - Remove existing hardwood flooring including oil fasteners. Retain the existing subflooring.
 - Allow for 10m² of subfloor replacement on each floor. Subfloor replacement to occur in-kind with existing flooring.
 - Allow for 10m² of masonry replacement, beyond what is shown in the drawings.
 - Interior to be lightly washed and efflorescence removed
 - G10 Confirm extent of the above repairs with the Heritage Architect before any interior work starts.
- Heritage Windows**
- G11 All heritage window shop drawings to be reviewed and approved by heritage architect.

Heritage Conservation Notes

- C01 Allow for investigation and repair of the west facade above and below grade. Investigations to include but are not limited to delimiting and core testing. Repairs to be determined after completion of review. Reviews to be conducted by Heritage Contractor, Heritage Architect and Structural Engineer. Specific tests and investigations to be determined by Structural Engineer.
- C02 Provide new stone sill to match existing.
- C03 Rebuild parapet with existing masonry. Damaged units to be replaced with salvaged brick units. Mortar to be lime based to match existing. Provide metal flashing on interior of parapet as detailed.
- C04 Fully document windows with photos and drawings of the jamb, sills and lintels of each window type. Salvage existing window hardware and 15 existing sashes on the manufacturing floor and store in weather protected facility. Remove oil remaining frames and sashes and dispose off-site. Provide new wood windows to replicate existing. Refer to window schedule.
- C05 Remove brick lintel and rebuild masonry within opening. Use salvaged masonry and lime based mortar. Inset rebuilt masonry 25mm from existing masonry.
- C06 Remove wood lintel, install new steel lintel within cavity and encase with salvaged masonry and lime based mortar. Inset rebuilt masonry 25mm from existing masonry.
- C07 Deleted
- C08 Deleted
- C09 Return brick and stone. Make good along edge of demolition. Use salvaged brick as needed to complete return and use lime based mortar to match adjacent. Refer to detail 5/H401.
- C10 Provide foundation waterproofing. Provide new pargeing, waterproofing, dimple board drainage sheet with filter fabric, and insulation on exterior foundation wall below grade. Refer to details.
- C11 Repoint 100% of stone foundation above and below grade, on the exterior. Repair pargeing in basement on interior.
- C12 Clean 100% of stone foundation on interior and exterior.
- C13 Clean tar/point from brick, sills and lintels as required.
- C14 Clean upper and lower window sills on the east and south facades.
- C15 Provide general hot water clean of entire facade (typical).
- C16 Remove all obsolete wood trim, metal fasteners, fittings and brackets from building facade and point openings (typical).
- C17 Remove metal plate. Replace, repair, rebuild masonry as required to match existing window above.
- C18 Provide new step edge in existing stone sills (typical).
- C19 At location of previous entry stair and ramp, repoint 100% of concurred area behind ramp with lime based mortar and replace damaged masonry with salvaged masonry as needed. Consult heritage architect after removals to confirm extent of work.
- C20 Restore cornice. Provide new LCC flashing on cornice and new gutters along extent of cornice. All replaced detailing to replicate existing detailing. Consult with Heritage Architect for extent of repair/rebuild before starting work. Refer to details.
- C21 Replace damaged or deteriorating terra cotta coping.
- C22 Concrete block and steel frame to be retained. Refer to structural and architectural drawings.
- C23 Remove concrete pads and retention structure.
- C24 Remove existing window frame. Replace to match new window to be installed.
- C25 Salvage stone caps, bricks and foundation stones.
- C26 Deleted
- C27 Deleted
- C28 Deleted
- C29 Provide wood framing to anchor to new building and LCC cop flashing over cornice.
- C30 Provide new steel channels to wrap around masonry opening. Refer to details.
- C31 Deleted
- C32 Build masonry within opening. Use salvaged masonry and lime based mortar. Inset rebuilt masonry 25mm from existing masonry. Refer to details.
- C33 Repoint brick as needed; clean all efflorescence; replace any deteriorated masonry units. Confirm extent of repair with Heritage Architect before commencing work.
- C34 Install existing scuppers with salvaged brick. Sitch rebuilt masonry into existing masonry.
- C35 Remove and salvage masonry for new opening. Make good ends of masonry openings. Provide new lintels.
- C36 Provide new door in existing masonry opening.
- C37 Deleted
- C38 On interior masonry foundation wall, allow for 20% repointing, 20% pargeing repair and 100% clean to remove oil dirt, dust, concentrated soiling, efflorescence and staining.

Heritage Legend

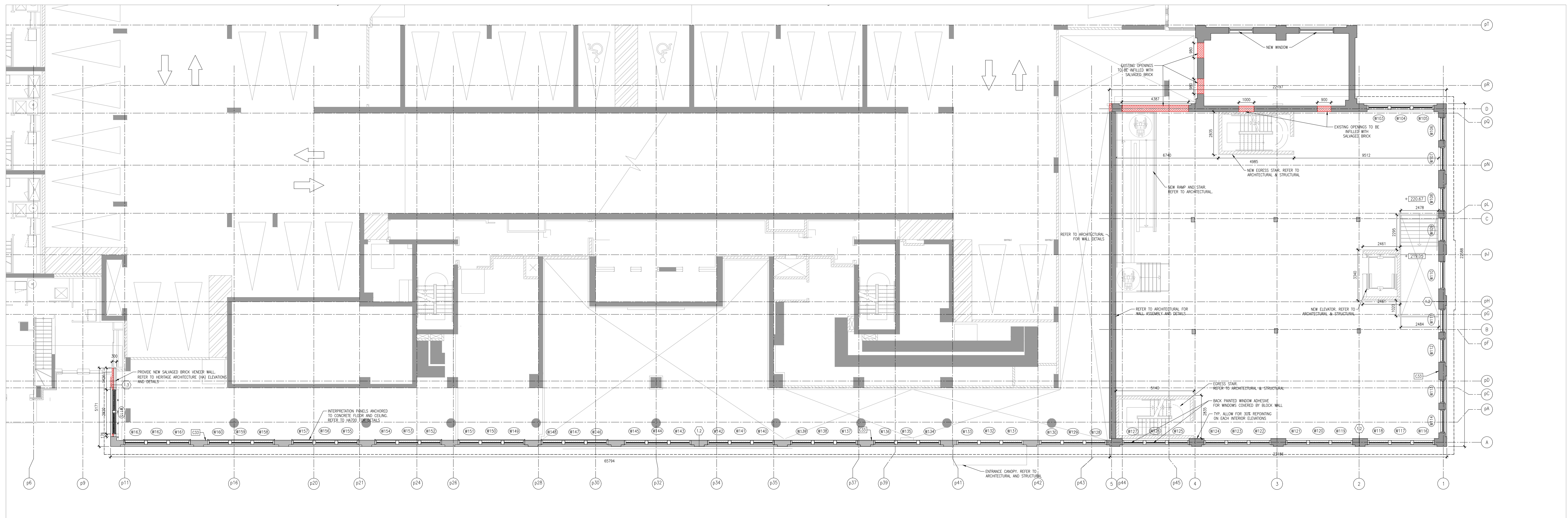


2020-11-04	REISSUED FOR HERITAGE APPROVAL
2016-06-06	REVISED FOR SPA
2016-05-27	REVISED FOR HERITAGE PERMIT
2015-09-30	REVISED FOR SPA
DATE	ISSUED FOR

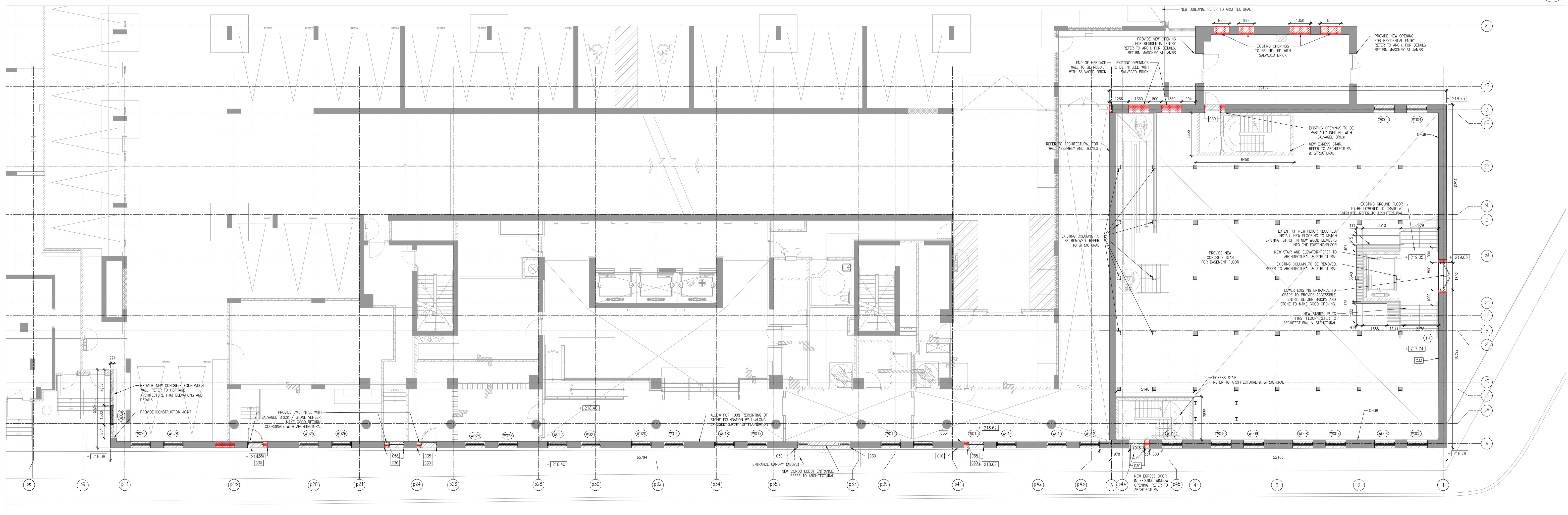


Project	
45 RAILROAD	
Address	
45 Railroad Street	
For	
Preston Group	
Project no.	
06-057-04	
Scale	
AS NOTED	
Drawn by	
JM/RB	
Reviewed by	
PE	
Drawing title	
PROJECT INFO, ASSEMBLIES & KEY PLAN	
Sheet no.	
HA001	

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SECOND FLOOR PLAN 2
Scale 1 : 125 HA100



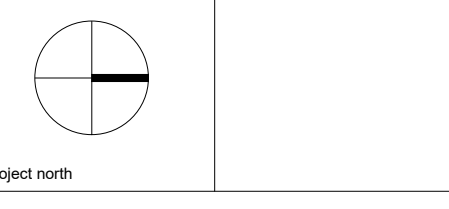
GROUND FLOOR PLAN 1
Scale 1 : 125 HA100

REPAIR LEGEND

[Red hatched pattern]	Rebuild masonry with salvaged units
[Green hatched pattern]	Masonry to be reset
[Blue hatched pattern]	Spalled masonry to be replaced with salvaged units
[Orange hatched pattern]	Cracking to be repaired. Replace damaged bricks as required
[Purple hatched pattern]	Joints to be cut out and repointed
[Yellow hatched pattern]	Deteriorating wood to be replaced
[White with dots]	To be cleaned
[Black hatched pattern]	Demolish
[Grey hatched pattern]	Salvage
[Solid grey]	Existing building

- GENERAL NOTES:**
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 - DIMENSIONS AND AREAS ARE FOR GUIDANCE ABOUT EXTENT. THIS DOES NOT RELIEVE THE BURDEN OF RESPONSIBILITY TO VISIT THE SITE AND MAKE ALL THE NECESSARY MEASUREMENTS.
 - ALL CONSERVATION WORK IS TO BE CARRIED OUT BY A QUALIFIED HERITAGE CONTRACTOR. SHOULD CONFLICTS ARISE, CONTACT THE OWNER'S PROJECT MANAGER AND NOTIFY THE HERITAGE ARCHITECT FOR THE REQUIRED ACTION.
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 - REFER TO THE HERITAGE SPECIFICATIONS FOR REQUIREMENTS REGARDING ALL MOOD-UPS, SHOP DRAWINGS, SAMPLES ETC.
 - THE HERITAGE ARCHITECTURE (HA) DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE ARCHITECTS AND STRUCTURAL ENGINEERS DRAWINGS.
 - REPLACEMENT/REPAIR OF ORIGINAL FABRIC/FEATURES SHOULD BE IN-KIND, USING THE SAME MATERIALS, DIMENSIONS, PROFILES AND DETAILS.

2020-11-04	REISSUED FOR HERITAGE APPROVAL
2016-06-06	REVISED FOR SPA
2016-05-27	REVISED FOR HERITAGE PERMIT
2015-09-30	REVISED FOR SPA
2015-06-08	REISSUED FOR SPA
DATE	ISSUED FOR



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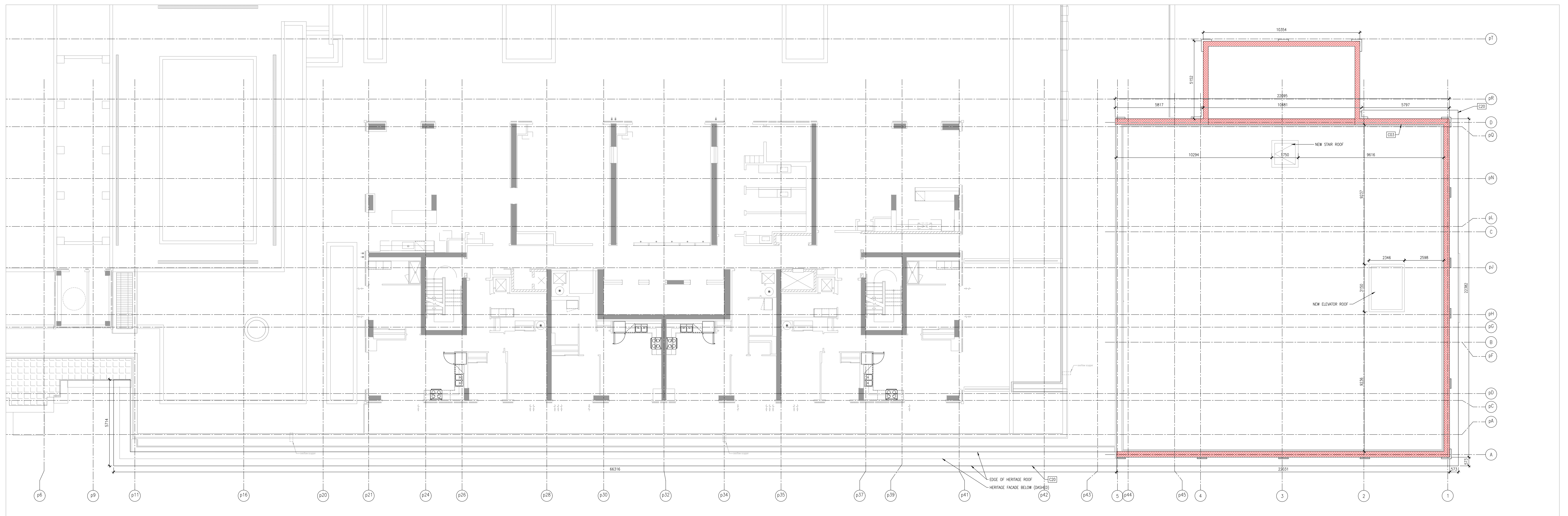
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Address: 45 Railroad Street
For: Preston Group
Project no.: 06-057-04
Scale: AS NOTED
Drawn by: JMRB
Reviewed by: PE
Drawing title:

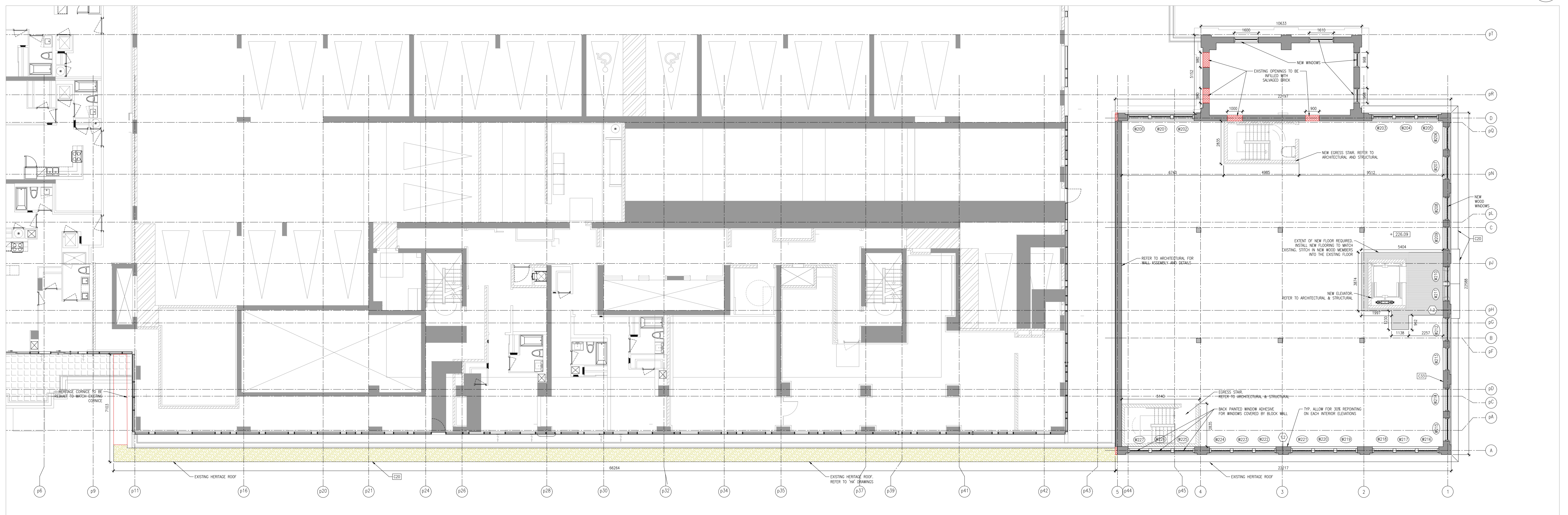
**CONSERVATION
GROUND & SECOND
FLOOR PLANS**

Sheet no. HA100

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ROOF PLAN 2
Scale 1 : 125 HA101

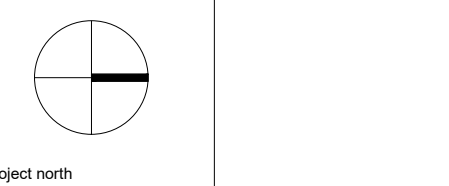


THIRD FLOOR PLAN 1
Scale 1 : 125 HA101

- REPAIR LEGEND**
- Rebuild masonry with salvaged units
 - Masonry to be reset
 - Spalled masonry to be replaced with salvaged units
 - Cracking to be repointed. Replace damaged bricks as required
 - Joints to be cut out and repointed
 - Deteriorating wood to be replaced
 - To be cleaned
 - Demolish
 - Salvage
 - Existing building

- GENERAL NOTES:**
1. CONTRACTOR TO CONFIRM ALL DIMENSIONS ON-SITE BEFORE WORK BEGINS.
 2. DIMENSIONS AND AREAS ARE FOR GUIDANCE ABOUT EXTENT. THIS DOES NOT RELIEVE THE BURDEN OF RESPONSIBILITY TO VISIT THE SITE AND MAKE ALL THE NECESSARY MEASUREMENTS.
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 4. ALL DIMENSIONS ARE TO BE VERIFIED ON-SITE BY THE CONTRACTOR. SHOULD CONFLICTS ARISE, CONTACT THE OWNER'S PROJECT MANAGER AND NOTIFY THE HERITAGE ARCHITECT FOR THE REQUIRED ACTION.
 5. REFER TO THE HERITAGE SPECIFICATIONS FOR REQUIREMENTS REGARDING ALL MIX-UFS, SHOP DRAWINGS, SAMPLES ETC.
 6. THE HERITAGE ARCHITECTURE (HA) DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE ARCHITECTS AND STRUCTURAL ENGINEERS DRAWINGS.
 7. REPLACEMENT/REPAIR OF ORIGINAL FABRIC/FEATURES SHOULD BE IN-KIND, USING THE SAME MATERIALS, DIMENSIONS, PROFILES AND DETAILS.

2020-11-04	REISSUED FOR HERITAGE APPROVAL
2020-06-01	REISSUED FOR TENDER
2017-11-21	REISSUED FOR TENDER
2017-05-11	ISSUED FOR TENDER
2016-12-06	ISSUED FOR PERMIT
2016-11-15	REVISED FOR COORDINATION
2016-07-15	REVISED FOR COORDINATION
2016-06-06	REVISED FOR SPA
2016-05-27	REVISED FOR HERITAGE PERMIT
2015-09-30	REVISED FOR SPA
2015-06-08	REISSUED FOR SPA
DATE	ISSUED FOR



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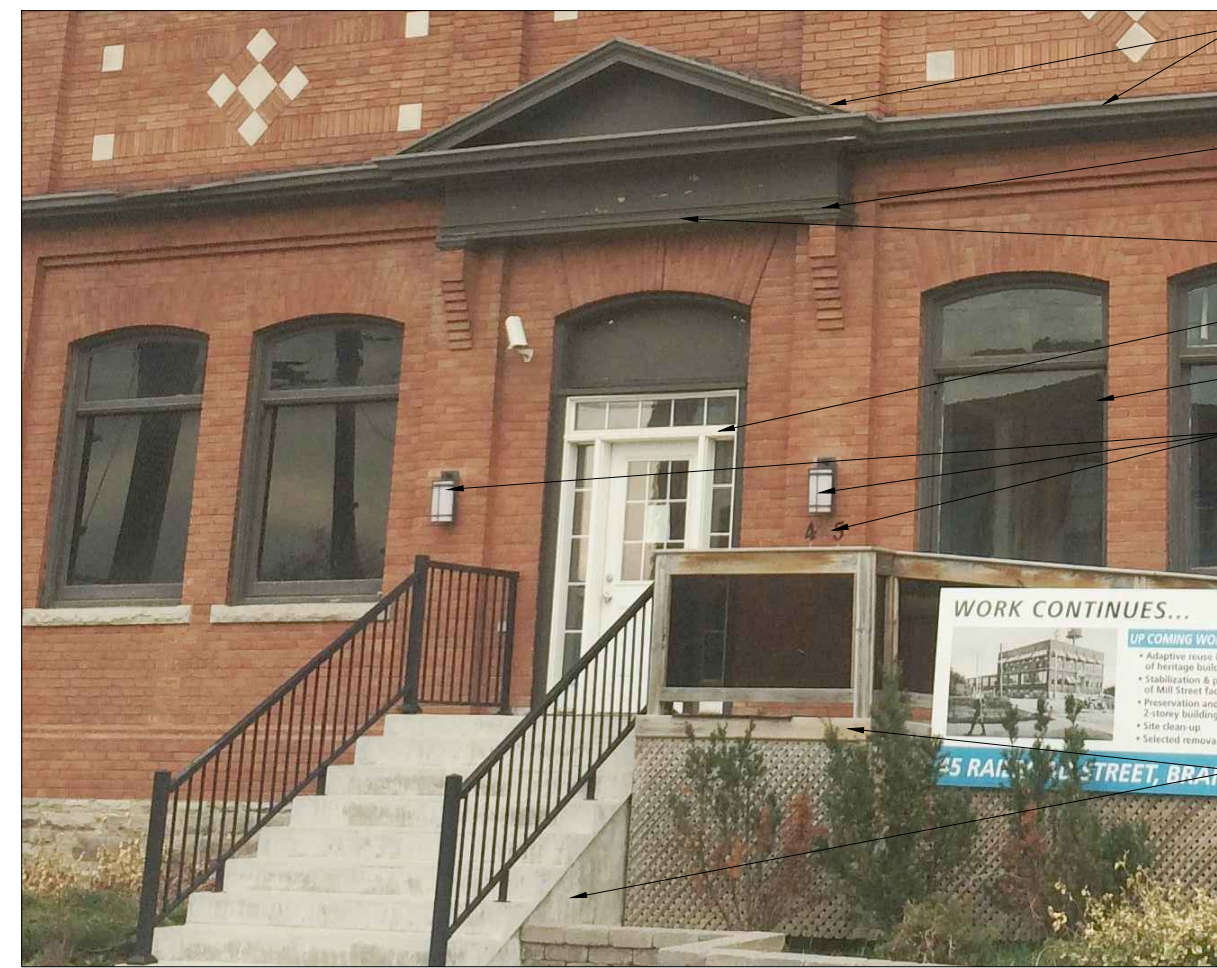
45 RAILROAD

Address **45 Railroad Street**
 For **Preston Group**
 Project no. **06-057-04**
 Scale **AS NOTED**
 Drawn by **JMRB**
 Reviewed by **PE**
 Drawing title

**CONSERVATION
THIRD FLOOR
& ROOF PLAN**

Sheet no.
HA101

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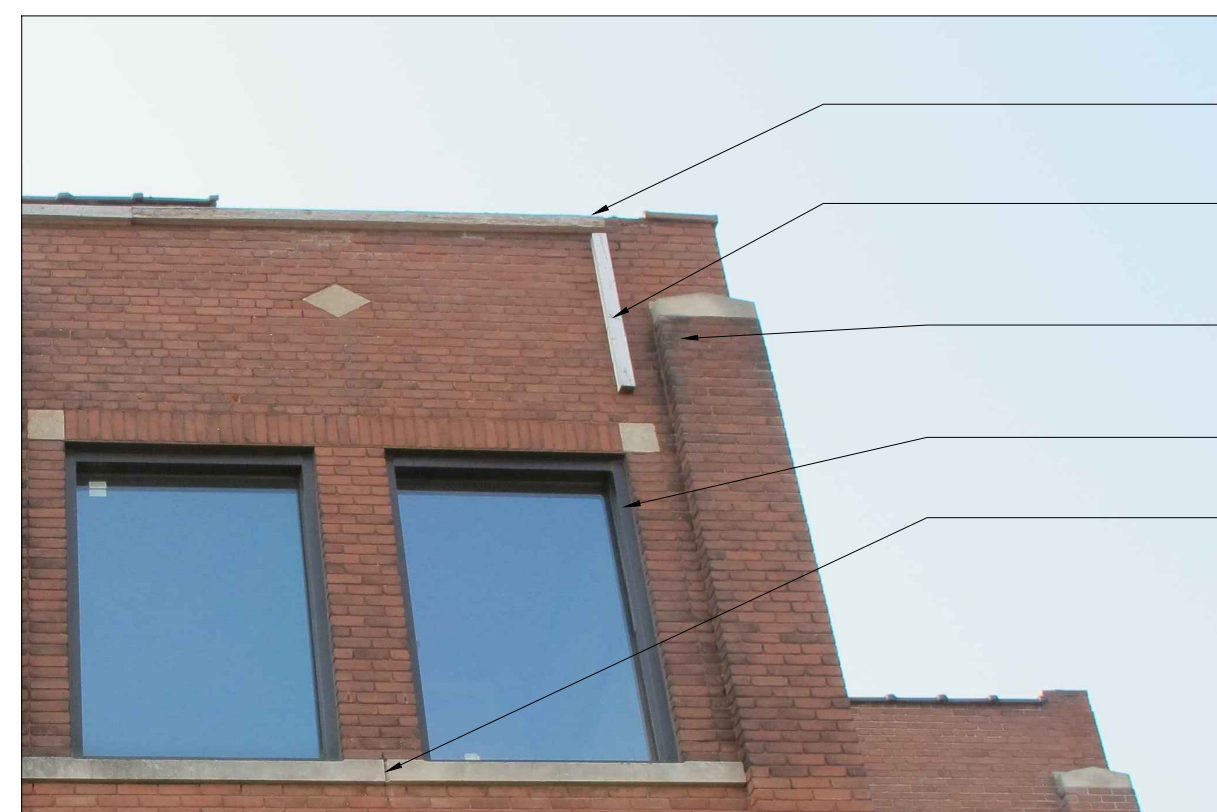
- PROVIDE NEW FLASHING AND LEAVES THROUGH NEW LEAVES THROUGH PROFILE TO MATCH EXISTING. REFER TO DETAILS AND SPECIFICATIONS.
- REFER TO CONSERVATION NOTE C20 FOR DESCRIPTION OF REPAIR WORK.
- SCRAPE, SAND, PRIME AND PAINT ENTIRE LENGTH OF PEDIMENT AND CORNICE.
- REMOVE EXISTING DOORS AND DISPOSE OFF SITE. REFER TO WINDOW SCHEDULE.
- (TYP.) REMOVE ALL OBSOLETE SIGNAGE, LIGHTING AND METAL FASTENERS. REPAIR MORTAR JOINTS WITH LIME BASED MORTAR AND MASONRY WITH SALVAGED UNITS.
- REMOVE EXISTING CONCRETE AND WOOD STAIR/RAMP AND DISPOSE OFF-SITE. CAREFULLY DISMANTLE AND SALVAGE MASONRY TO EXTEND MAIN ENTRY TO GRADE. RETURN MASONRY AT CORNERS AFTER REMOVALS. ALLOW FOR 100% REPOINTING OF FACADE BEHIND CONCEALED AREA OF RAMP.

NORTH PEDIMENT 5
Scale NTS HA200



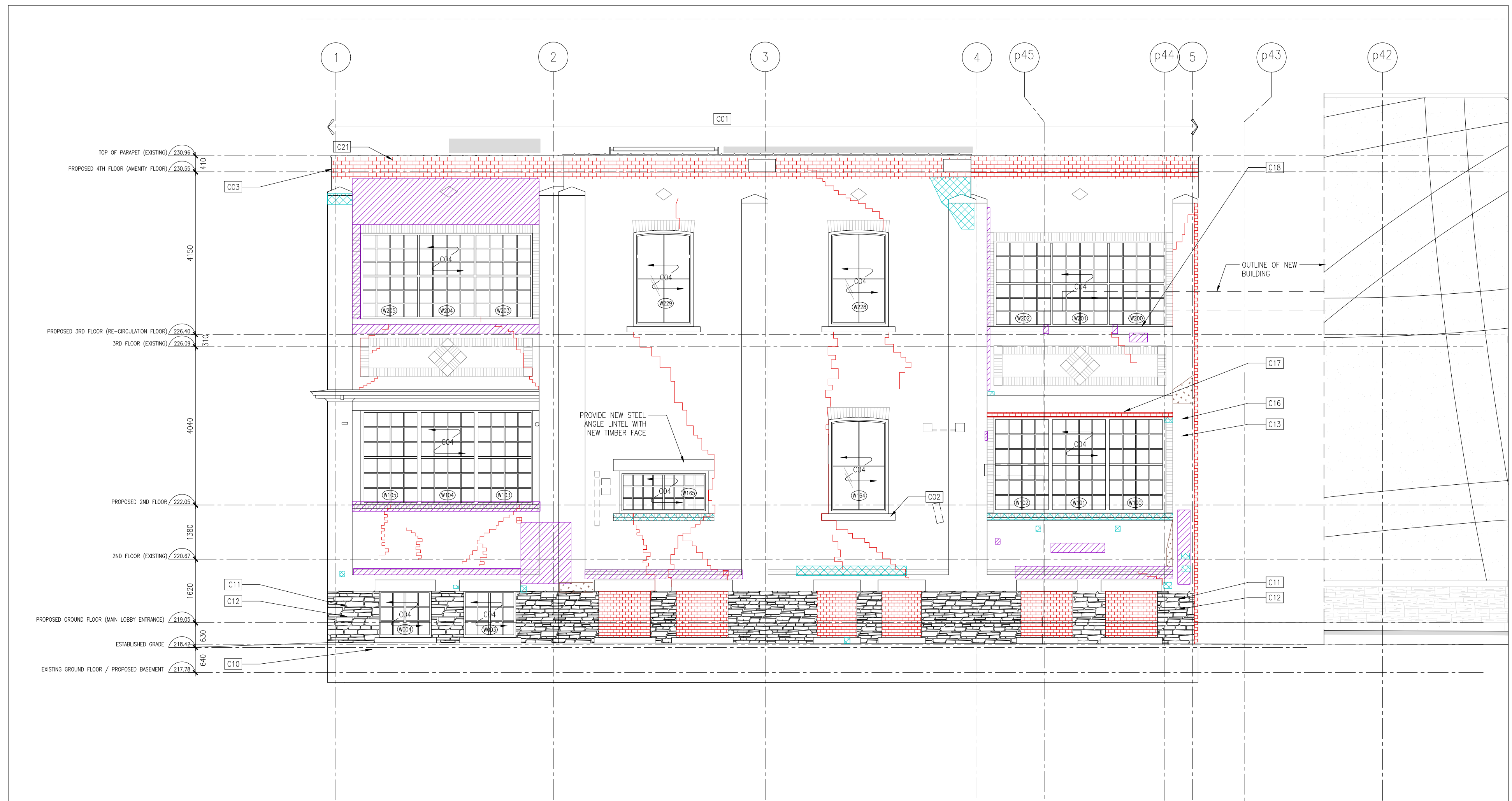
- CLEAN ALL TAR STAINS OFF FACADE.
- REFER TO WINDOW SCHEDULE AND CONSERVATION NOTE C04 FOR REPAIR SCOPE.
- (TYP.) ALL CRACKS TO BE REPOINTED AND DAMAGED MASONRY REPLACED.

WEST ELEVATION 4
Scale NTS HA200



- USE SALVAGED TERRA COTTA COPING TO REPAIR MISSING OR DETERIORATED PARAPET COPING.
- REMOVE EXISTING WOOD TRIMMING AND REPAIR HOLES FROM FASTENERS.
- SELECTIVELY CLEAN AREAS OF CONCENTRATED SOILING.
- REFER TO WINDOW SCHEDULE FOR EXTENT OF REPAIR.
- REPOINT ALL JOINTS BETWEEN ALL STONE SILLS.

NORTH ELEVATION 3
Scale NTS HA200



WEST ELEVATION 2
Scale 1 : 75 HA200



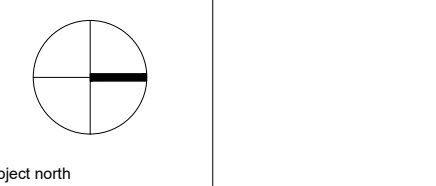
NORTH ELEVATION 1
Scale 1 : 75 HA200

REPAIR LEGEND

[Red brick pattern]	Rebuild masonry with salvaged units
[Green brick pattern]	Masonry to be reset
[Blue brick pattern]	Spalled masonry to be replaced with salvaged units
[Pink brick pattern]	Cracking to be repointed. Replace damaged bricks as required
[Purple brick pattern]	Joints to be cut out and repointed
[Yellow brick pattern]	Deteriorating wood to be replaced
[White brick pattern]	To be cleaned
[Cross-hatched pattern]	Demolish
[Diagonal hatched pattern]	Salvage
[Solid grey pattern]	Existing building

- GENERAL NOTES:**
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2020-11-04	REISSUED FOR HERITAGE APPROVAL
2016-06-06	REVISED FOR SPA
2016-05-27	REVISED FOR HERITAGE APPROVAL
2015-09-30	REVISED FOR SPA
2015-06-08	REISSUED FOR SPA
DATE	ISSUED FOR



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Project: **45 RAILROAD**

Address: **45 Railroad Street**
For: **Preston Group**
Project no.: **06-057-04**
Scale: **AS NOTED**
Drawn by: **JMRB**
Reviewed by: **PE**
Drawing title:

CONSERVATION NORTH & WEST ELEVATIONS

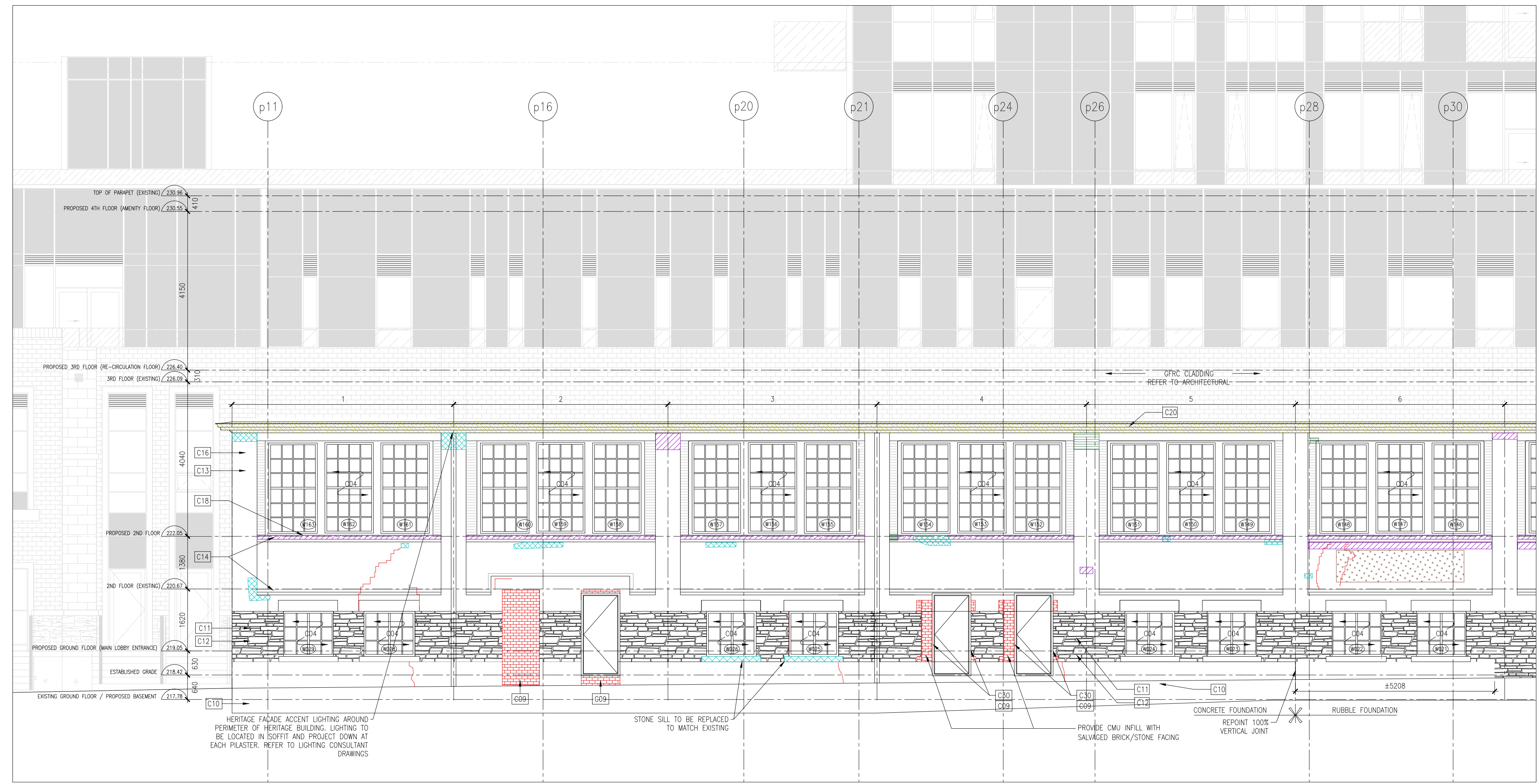
Sheet no.: **HA200**

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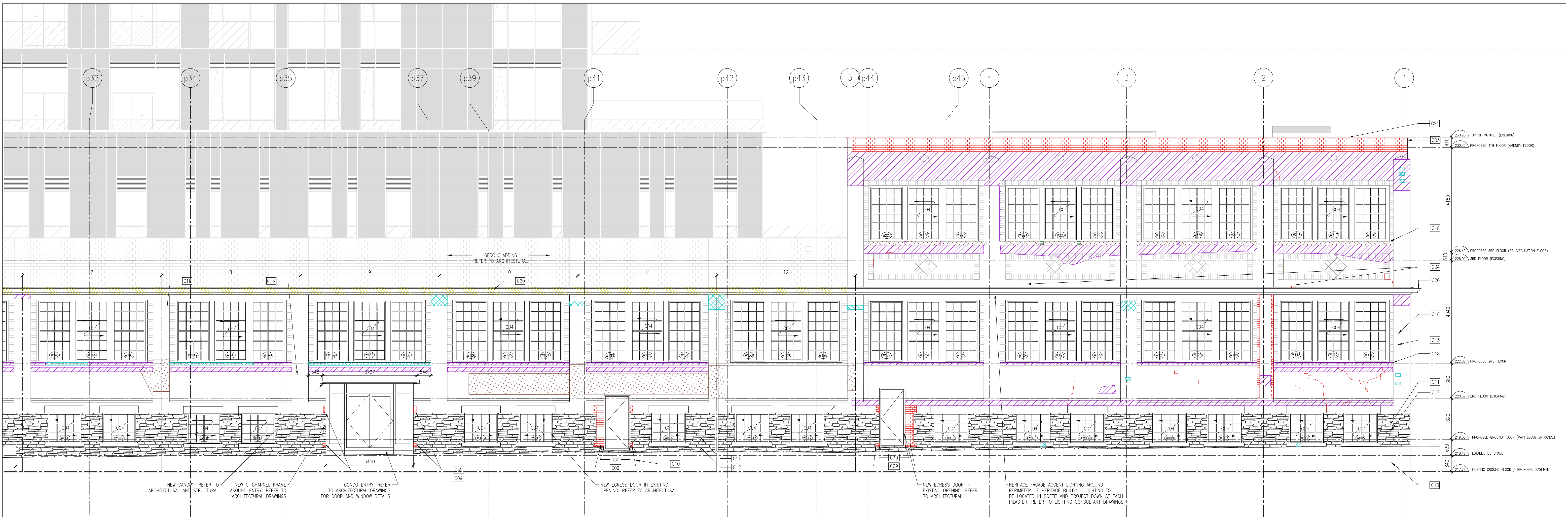


- REFER TO CONSERVATION NOTE C03 FOR DESCRIPTION OF REPAIR WORK TO CORNICE
- REFER TO WINDOW SCHEDULE AND CONSERVATION NOTE C04 FOR REPAIR SCOPE
- 100% REPOINT ALL BRICK SILLS AND CLEAN WINDOW SILLS
- REPOINT 100% ALL MASONRY STEPS
- LIGHTLY CLEAN ALL STONE AND BRICK
- REFER TO WINDOW SCHEDULE
- 100% REPOINT STONE

Typical West Bay Repair 3
HA201



EAST ELEVATION 2
Scale 1:75 HA201

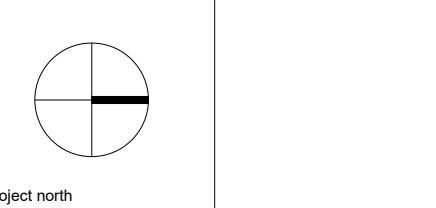


EAST ELEVATION 1
Scale 1:75 HA201

REPAIR LEGEND	
[Red brick pattern]	Rebuild masonry with salvaged units
[Green brick pattern]	Masonry to be reset
[Blue brick pattern]	Spalled masonry to be replaced with salvaged units
[Red brick pattern with blue outline]	Cracking to be repointed. Replace damaged bricks as required
[Purple brick pattern]	Joints to be cut out and repointed
[Yellow brick pattern]	Deteriorating wood to be replaced
[Dotted pattern]	To be cleaned
[Cross-hatched pattern]	Demolish
[Diagonal hatched pattern]	Salvage
[Grey solid pattern]	Existing building

- GENERAL NOTES:
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DATE	ISSUED FOR
2020-11-04	REISSUED FOR HERITAGE APPROVAL
2020-06-01	REISSUED FOR TENDER
2017-11-21	REISSUED FOR TENDER
2017-05-11	ISSUED FOR TENDER
2016-12-06	ISSUED FOR PERMIT
2016-11-15	REVISED FOR COORDINATION
2016-07-15	REVISED FOR COORDINATION
2016-06-06	REVISED FOR SPA
2016-05-27	REVISED FOR HERITAGE APPROVAL
2015-09-30	REVISED FOR SPA
2015-06-08	REISSUED FOR SPA



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Project
45 RAILROAD
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For
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06-057-04
Scale
AS NOTED
Drawn by
JMRB
Reviewed by
PE
Drawing title

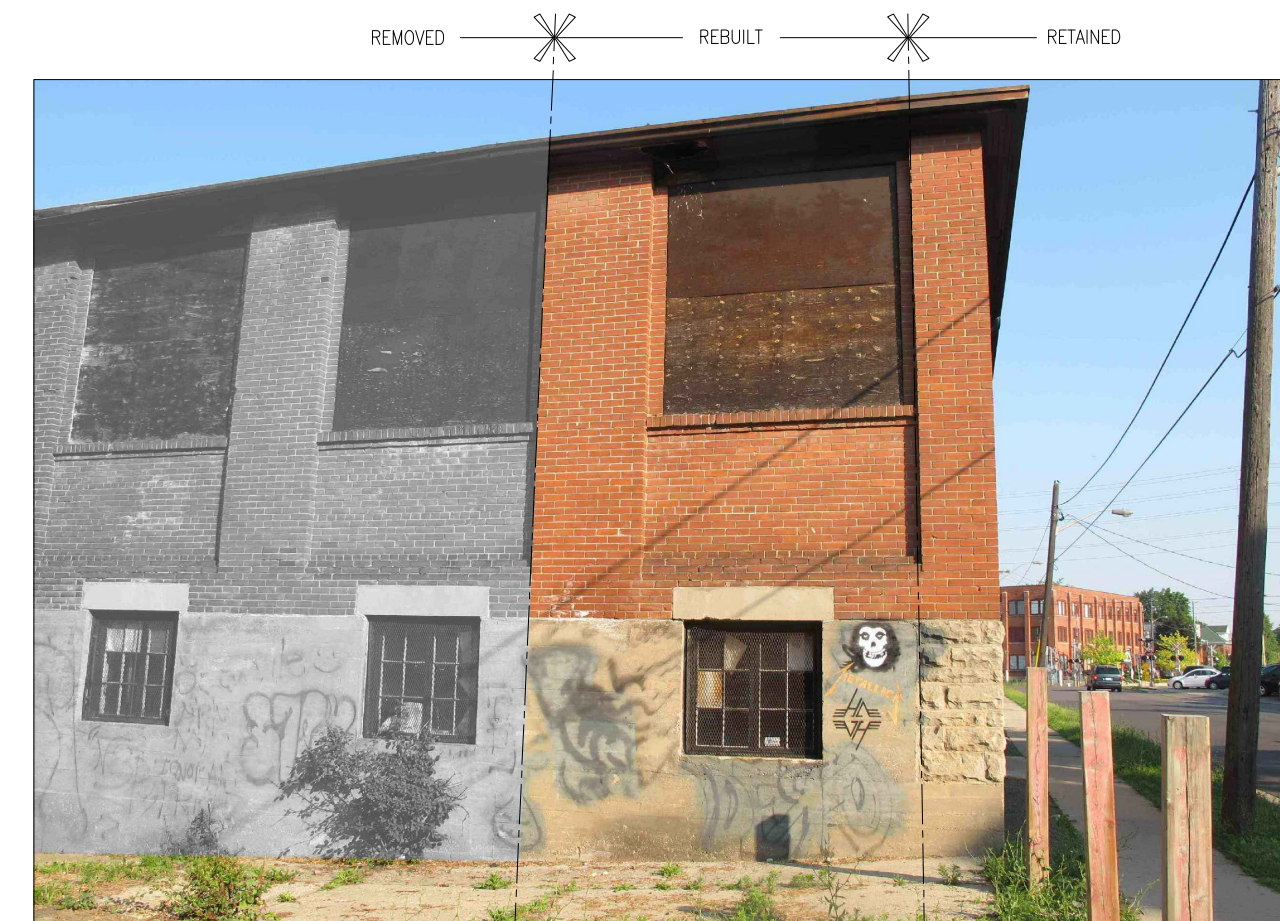
CONSERVATION EAST ELEVATIONS

Sheet no.
HA201

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REPAIR LEGEND	
	Rebuild masonry with salvaged units
	Masonry to be reset
	Spalled masonry to be replaced with salvaged units
	Cracking to be repaired. Replace damaged bricks as required
	Joints to be cut out and repointed
	Deteriorating wood to be replaced
	To be cleaned
	Demolish
	Salvage
	Existing building

- GENERAL NOTES:
- CONTRACTOR TO CONFIRM ALL DIMENSIONS ON-SITE BEFORE WORK BEGINS.
 - DIMENSIONS AND AREAS ARE FOR GUIDANCE ABOUT EXTENT. THIS DOES NOT RELIEVE THE BURDEN OF RESPONSIBILITY TO VISIT THE SITE AND MAKE ALL THE NECESSARY MEASUREMENTS.
 - ALL CONSERVATION WORK IS TO BE CARRIED OUT BY A QUALIFIED HERITAGE CONTRACTOR. SHOULD CONFLICTS ARISE, CONTACT THE OWNER'S PROJECT MANAGER AND NOTIFY THE HERITAGE ARCHITECT FOR THE REQUIRED ACTION.
 - ALL DIMENSIONS ARE TO BE VERIFIED ON-SITE BY THE CONTRACTOR. SHOULD CONFLICTS ARISE, CONTACT THE OWNER'S PROJECT MANAGER AND NOTIFY THE HERITAGE ARCHITECT FOR THE REQUIRED ACTION.
 - REFER TO THE HERITAGE SPECIFICATIONS FOR REQUIREMENTS REGARDING ALL MOOR-UPS, SHOP DRAWINGS, SAMPLES ETC.
 - THE HERITAGE ARCHITECTURE (HA) DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE ARCHITECTS AND STRUCTURAL ENGINEERS DRAWINGS.
 - REPLACEMENT/REPAIR OF ORIGINAL FABRIC/FEATURES SHOULD BE IN-KIND, USING THE SAME MATERIALS, DIMENSIONS, PROFILES AND DETAILS.



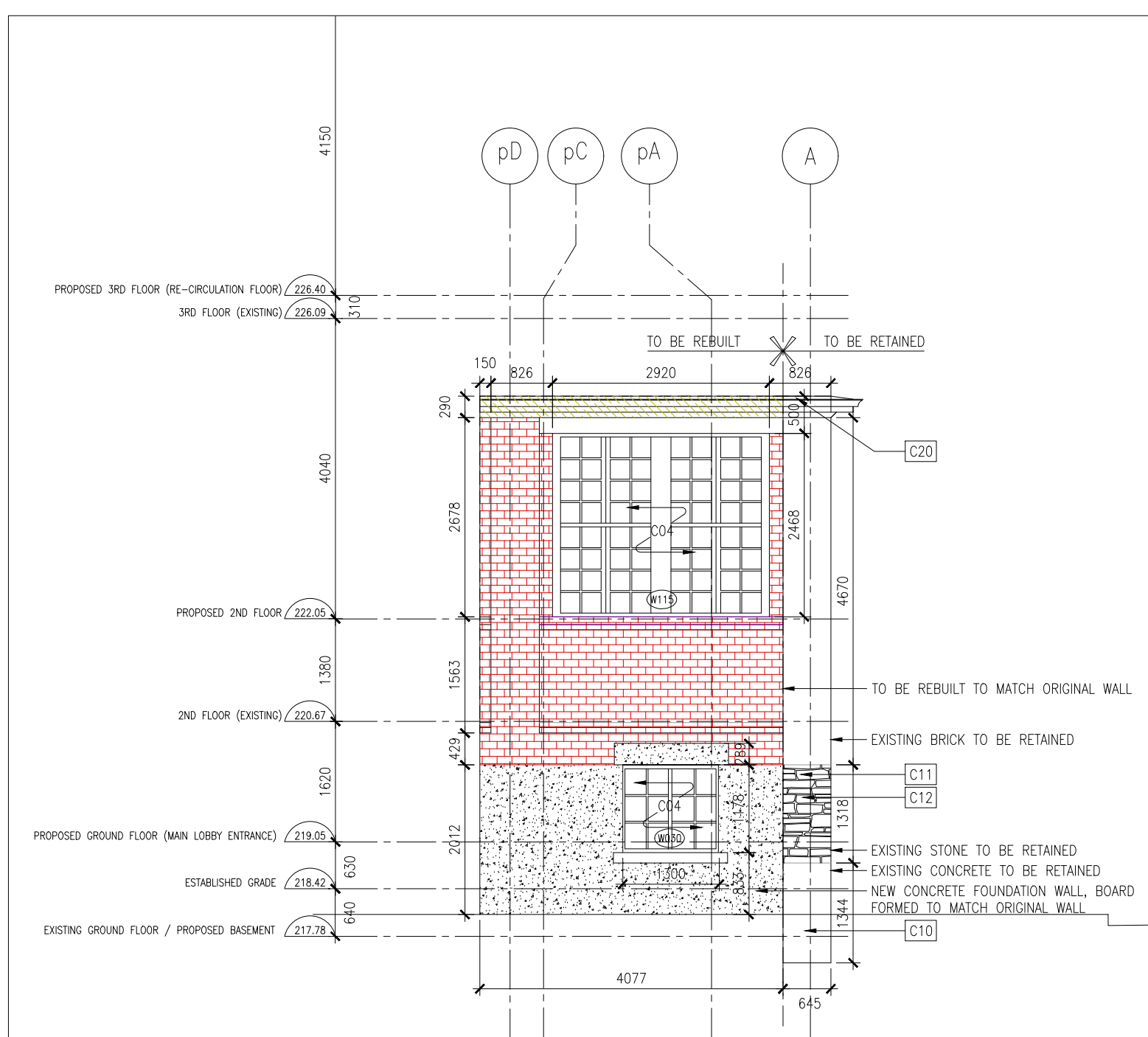
South Facade Existing Condition 5
HA202



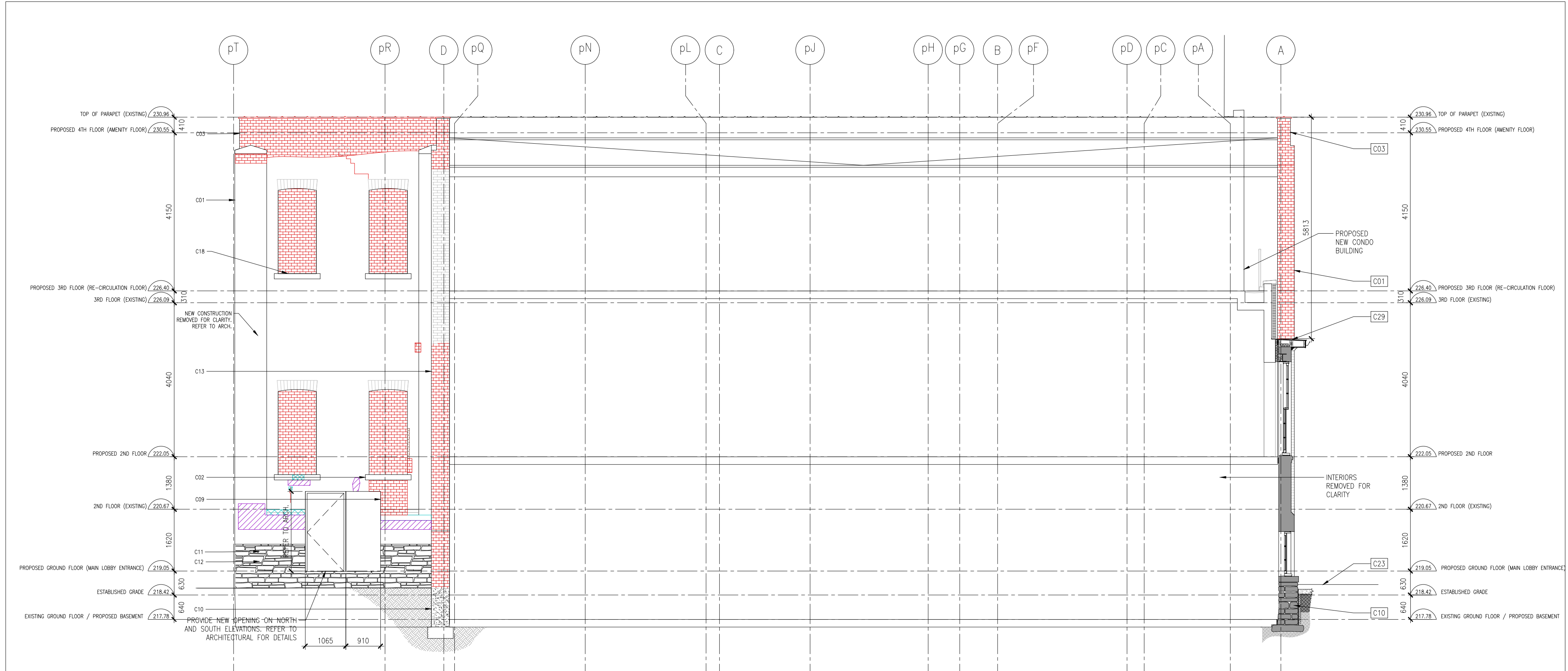
Parapet Roof 4
HA202



South Facade @ Parapet 3
HA202

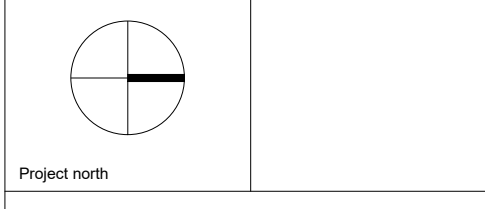


SOUTH ELEVATION 2
Scale 1 : 75 HA202



BUILDING CROSS SECTION 1
Scale 1 : 75 HA202

DATE	ISSUED FOR
2020-11-04	REISSUED FOR HERITAGE APPROVAL
2020-06-01	REISSUED FOR TENDER
2017-11-21	REISSUED FOR TENDER
2017-05-11	ISSUED FOR TENDER
2016-12-06	ISSUED FOR PERMIT
2016-11-15	REVISED FOR COORDINATION
2016-07-15	REVISED FOR COORDINATION
2016-06-06	REVISED FOR SPA
2016-05-27	REVISED FOR HERITAGE PERMIT
2015-09-30	REVISED FOR SPA
2015-06-08	REISSUED FOR SPA



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Project
45 RAILROAD
Address **45 Railroad Street**
For **Preston Group**
Project no. **06-057-04**
Scale **AS NOTED**
Drawn by **JMRB**
Reviewed by **PE**
Drawing title

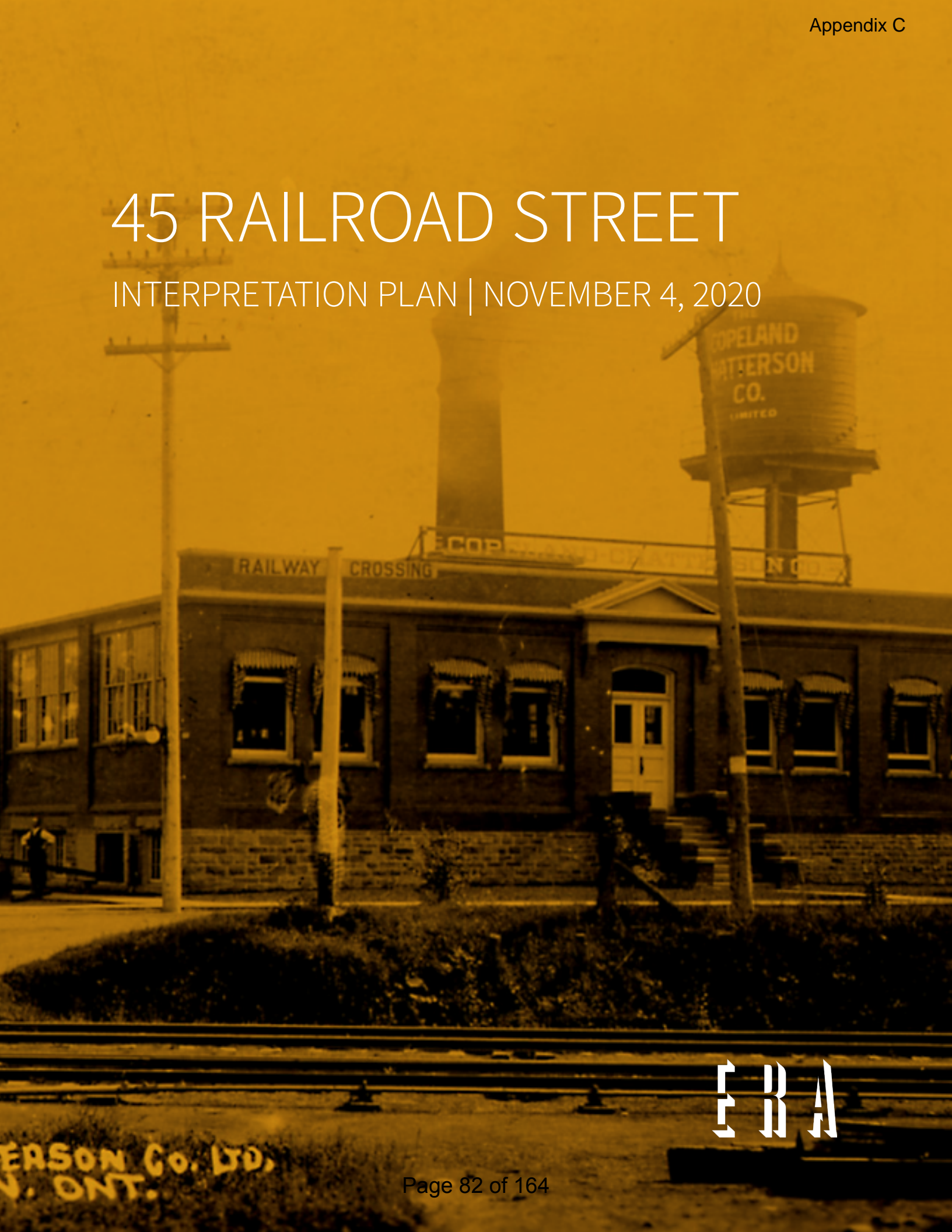
CONSERVATION SOUTH ELEVATIONS

Sheet no.
HA202

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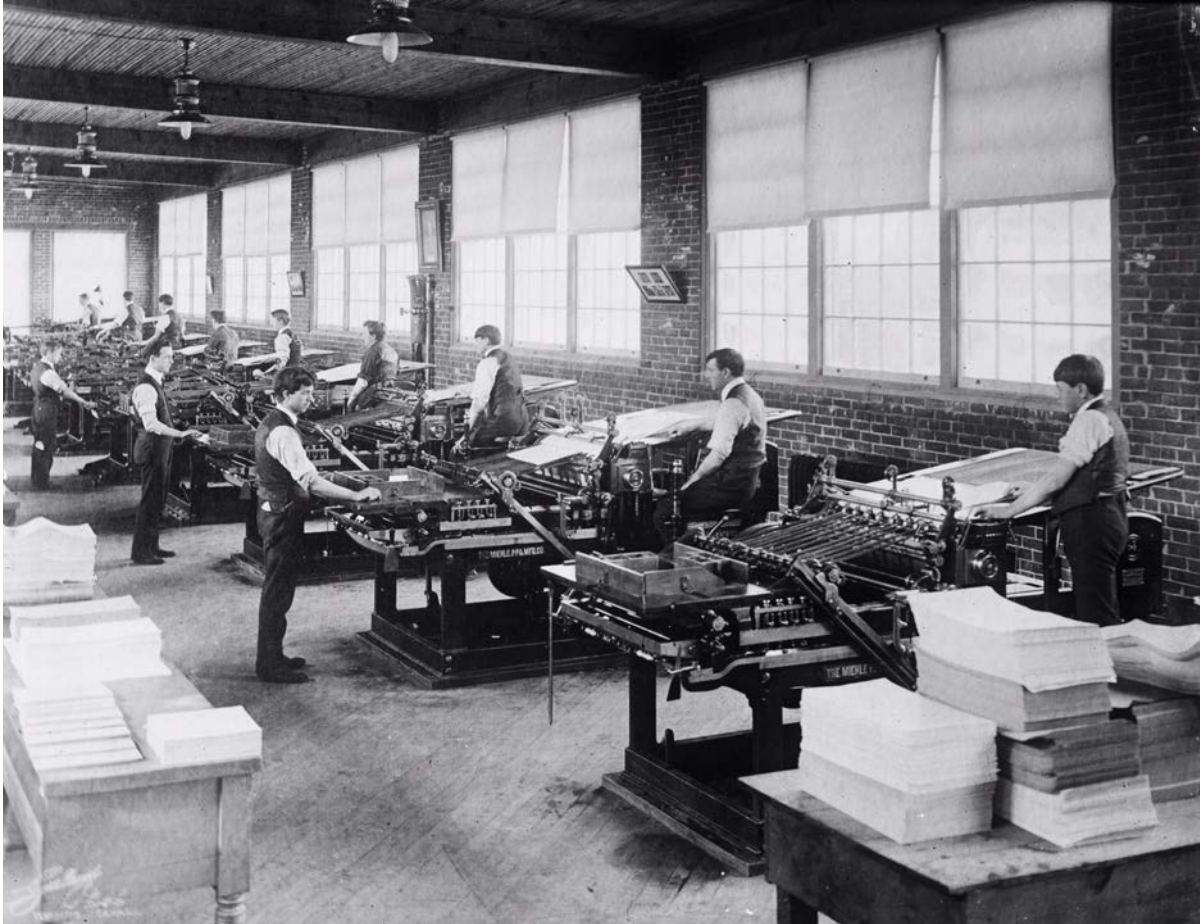
45 RAILROAD STREET

INTERPRETATION PLAN | NOVEMBER 4, 2020



ERA

WATTEYSON CO. LTD.
N. ONT.



Interior view of Copeland-Chatterson factory in 1905. (Toronto Public Library).

Project # 06-057-05
Prepared by PE/JM/RL2

PREPARED FOR:
Preston Homes/Redwood Properties
330 New Huntington Road
Vaughan, Ontario L4H 4C9
905-856-7751

PREPARED BY:
ERA Architects Inc.
600-625 Church Street
Toronto, Ontario M4Y 2G1
416-963-4497

Cover Image: Copeland-Chatterson Company building prior to second storey addition in 1915 (Peel Archives).

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3	INTERPRETIVE SPACES	3
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Rendering of 45 Railroad Street with interpretation spaces highlighted (Norm Li; annotated by ERA).

EXECUTIVE SUMMARY

The applicant has retained ERA Architects (“ERA”) as its heritage architectural consultant for the redevelopment of 45 Railroad Street (“the site”). The site contains the Copeland-Chatterson Loose Leaf Ledger Company Building, also known as the Dominion Skate Building. The red brick factory was constructed in 1905, and a second floor addition to the office was completed in 1914.

The purpose of this Plan is to build upon the Heritage Interpretation Plan (“HIP”) submitted November 14, 2016 and to identify the approaches to implementing the commemoration of the cultural heritage value of the property.

This plan is organized by each of the interpretation spaces on the site. Through each space, we present implementation strategies for interpretation of historical themes of the site. The interpretation of the interior elements is evolving concurrent with the development proposal.

The report outline follows:

Space 1: Exterior East Elevation

Strategy: Graphic Window Treatment

Space 2: Exterior North Yard

Strategy: Sculptural Element

Space 3: Interior Lobby

Strategy: Architectural Elements

Strategy: Object Display

Strategy: Photographs and Images

Strategy: Etched Elevator Surround

INTENTIONALLY BLANK

1 INTRODUCTION



Aerial view of site with buildings that are subject to this Heritage Interpretation Plan in dashed outline (annotation by ERA).

Site Location and Description

The site is located in Brampton, at the evolving intersection of Railroad Street and Mill Street North. To the north of the site is the Old Shoe Factory. To the east is the Brampton GO Station and low-rise commercial and residential buildings. To the south is a GO Station parking lot, public right-of-way and rail corridor. To the west is a GO Station parking lot.

Historical Overview

The Copeland-Chatterson Building was constructed in 1905 as a single-storey red brick office and factory building in the Chicago style. The building was constructed for use by the Copeland-Chatterson Company. Founded in 1893 by Robert J. Copeland and A.E. Chatterson, the company produced binders that locked loose-leaf ledger sheets with key on filing posts, which simplified the accounting procedures of the day.

The company relocated its manufacturing facilities from Toronto to Brampton to meet their needs for labour and adequate land. However, its growth was not complete, and in 1914 they constructed a second floor addition to the office spaces. Further bays were added along Mill Street North, until the company sold the building to Anthes Imperial Ltd in 1961. In 1981, the building was sold again to the Dominion Skate Company, which operated on site until 2008.

2 HERITAGE RECOGNITION

The Copeland-Chatterson Building was designated under Part IV of the Ontario Heritage Act with By-law No. 150-2015. The by-law provides a description of the heritage attributes of the property as well as the statement of significance. The by-law is attached (see Appendix I), and the description of heritage attributes is included below:

Design/Physical Value

Property Overall:

- rectangular plan and massing with partial second storey addition;
- flat roof profile (parapet walls and rooflines);
- Chicago School and Neo-Gothic style influences;
- unpainted red masonry walls;
- brick buttresses;
- foundation wall denoted by coursed cut stone blocks;
- original fenestration;
- corbelled brick water table.

Mill Street Facade:

- large industrial-scale sash windows (6-over-6 basement windows, 12-over-12 first floor windows);
- window openings along Mill Street facade (recessed slightly into wall and framed by brick corbels);
- stone lintels over above-grade wood case-ment basement windows;
- graffiti carved into a brick by a penknife with inscription reading: “1949 AD. Dec __ CNR Survey”; located on the Railroad and Mill Streets corner before the first Mill Street window openings;
- shallow setback of building facade along Mill Street South.

Railroad Street Facade:

- original ground floor office windows with segmental arch brick voussoirs;
- second storey addition windows with brick voussoirs;
- fixed single-pane transoms;
- brick parapet wall with ribbed coping tiles;
- brick corbelling;
- heavy pediment over main entrance with radiating brick voussoir and corbelling;
- fixed, single pane transom over main entrance;
- pre-cast decorative blocks laid in diamond patterns forming second storey spandrel panels; each spandrel panel sits within a rectangular frame made of brick laid in soldier courses;
- rectangular second storey windows with pre-cast sills and horizontal soldier coursed voussoirs;
- single pre-cast blocks accentuating the upper outer corners of each second storey window;
- brick buttresses and their pre-cast caps.



Postcard image of the building with 1914 addition (Source: Peel Archives).

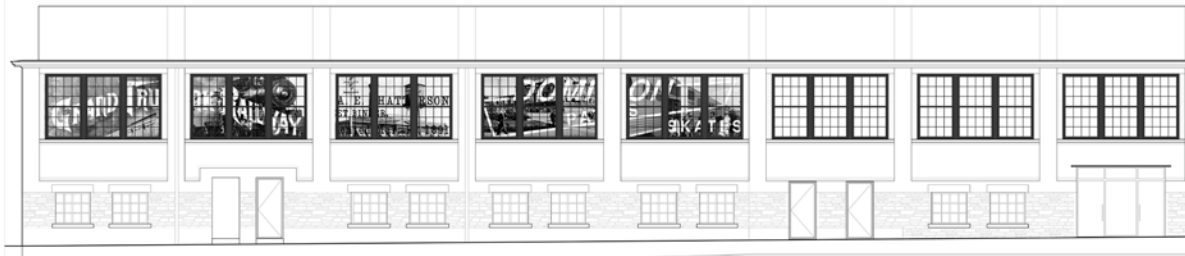
Historical/Associative Value:

- association with prominent individuals, including R.J. Copeland and A.E. Chatterson, inventors of the innovative loose-leaf ledger systems, which were manufactured in the Brampton plant;
- association with Canadian branch of Copeland-Chatterson Company, who chose Brampton as their manufacturing headquarters, the first outside manufacturing company to do so in Brampton;
- association with the Dominion Skate Factory for nearly 30 years;
- association with the early industrial history and development of Brampton.

3 INTERPRETIVE SPACES



Rendering of 45 Railroad Street with Space 1 highlighted (Norm Li; annotated by ERA).



Conceptual rendering of interpretation along east elevation of site (ERA).

SPACE 1: Exterior East Elevation

Drawing on and enhancing the strong association with the early industrial history of Brampton, this interpretive space is vital to the broader public understanding of the Copeland-Chatterson Building. This exterior elevation speaks to the way that the city of Brampton has experienced the building in an external and associative sense.

The interpretive strategy for this space is a graphic treatment of the windows along the eastern street edge. They will draw the eye of passersby on the street, telling a succinct story of the building. Using a linear collaging method, images bleed from one window to the next, communicating the passage of time and the interrelatedness of these histories. The previous HIP (2016) proposed seven windows, while this plan proposes a total of five window treatments, allowing unobscured light to enter the lobby of the building.

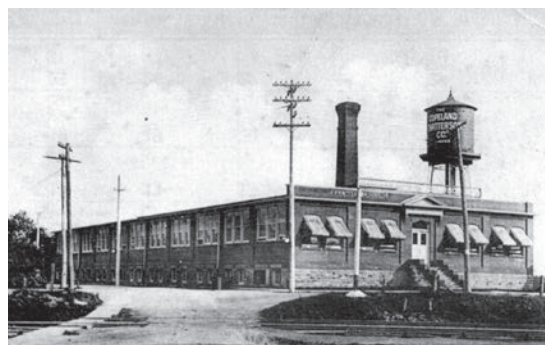
First, two windows will be treated with images of the Historic Grand Trunk Railway, extracted and collaged from maps and advertising ephemera. This placement in the sequence is purposeful, as the national rail expansion was a necessary precondition for large-scale industrial expansion to Brampton. The use of the railway imagery also encourages interpretation of the connection between the building and the nearby railway line, which forms the spine of the historic precinct.

Second, one window will be treated with a collage of the building in its 1905 form, overlaid with a patent held by Copeland-Chatterson and the company name. This image of the original structure of the building will convey a sense of the changes to the site over time to the passerby and foreground the association with the Copeland-Chatterson Company.

Third, two windows will be treated with the Dominion Skates logo, a later image of the building showing the 1914 addition, and an image of the GO train station. This collage speaks to the continued use of the factory, the rise of the post-war leisure industry, and the continued use of the railway.



Grand Trunk Railway Company of Canada advertisement (Source Unknown).



1905 image of the Copeland-Chatterson Building (Source Unknown).



Box for Dominion Skates Company (Source Unknown).



Rendering of 45 Railroad Street with Space 2 highlighted (Norm Li; annotated by ERA).

SPACE 2: Exterior North Yard

Making use of the public frontage and proximity to the railway corridor, this interpretive space creates an opportunity to recognize the creative potential of industry, with an emphasis on themes of redevelopment, movement of resources and people, and innovation.

The interpretive strategy for this space is a sculptural element. This strategy will allow for the appropriate use of the space and enliven the evolving public realm along Railroad Street.

The following page contains precedent photos selected to illustrate potential expressions of the themes outlined above.



A



B



C



D



E

A: Source Unknown.

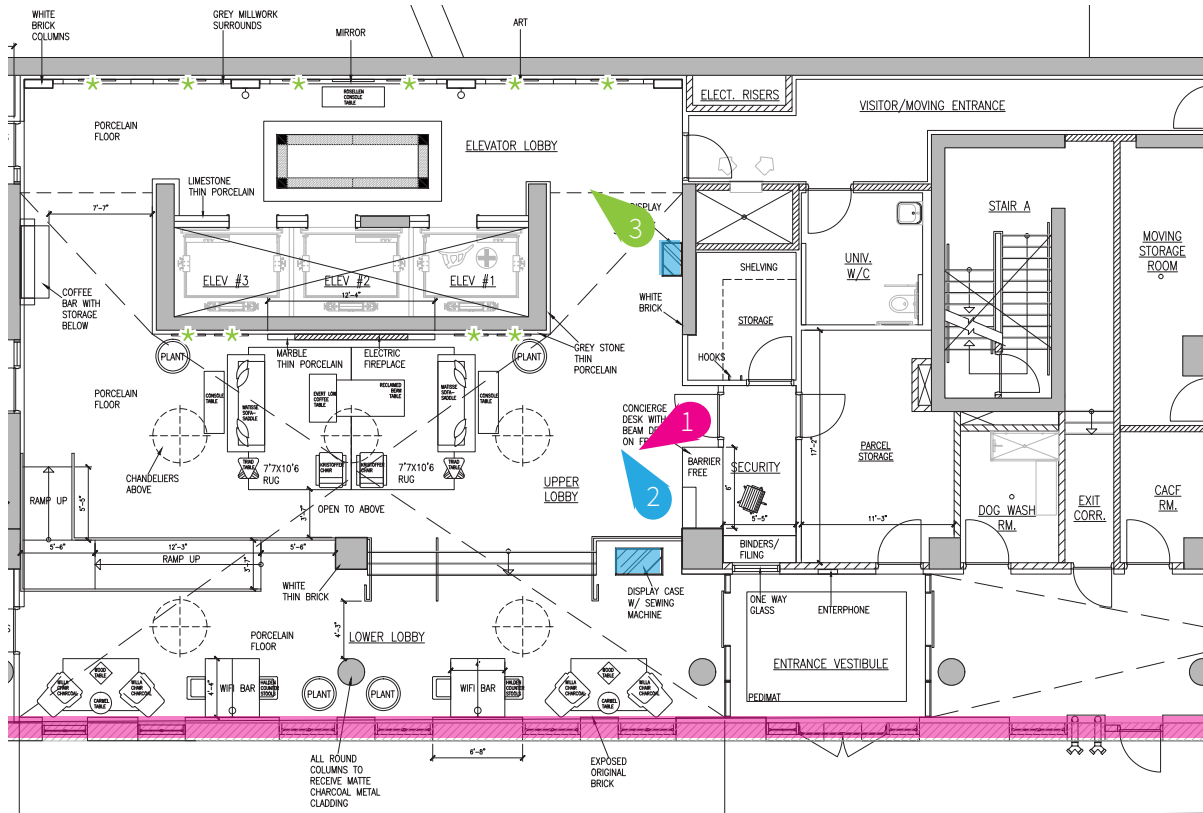
B: Source Unknown.

C: Wonderland (Jaume Plensa).

D: End of the Line (City of Mount Gambier).

E: Navy Yard Landscape Design (D.I.R.T. Studio).





Strategy one is highlighted in pink, strategy two is highlighted in blue, and strategy three is highlighted in green (annotated by ERA).

SPACE 3: Interior Main Lobby

This Plan provides a more refined interior lobby concept than the previously submitted HIP (2016). In this Plan, the materiality has evolved to fit a contemporary industrial aesthetic, incorporating images of patents and historic photos. Interpretation concepts for this space are evolving concurrently with the lobby design.

The first strategy is the retention of key architectural elements. As shown in view one, the steel beams from the support structure used during construction are re-used throughout the interior. This allows an uncovering of the process of adaptive re-use. Importantly, the retention of the original window formation and brick



View one shows the salvaged steel beams, retained brick wall, and large-scale industrial sash windows (Studio 8 Design).

work can be appreciated to the fullest degree in this common space. The large industrial-scale sash windows allowed a pleasant light and air to circulate through the original factory space. The lobby plan has expanded to include an additional window and more space to experience the quality of light emanating from the window configuration. The images from the third strategy (below) will allow visitors and residents to connect these architectural features to the past use of the building as a factory.

The second strategy is the display of objects created within the factory. The first object, rendered in view two, is a sewing machine used by Dominion Skates to manufacture goods. It was recovered from the site, and will be displayed in a cabinet made of wood reclaimed from the site. The second object will be a pair of dominion skates, manufactured in Brampton, displayed with its original packaging.

The third strategy provides context for visitors and residents of the property. The display of historic photographs and patents associated with the site will be a key decorative feature throughout the lobby. These will tell the story of the building's evolution over time.

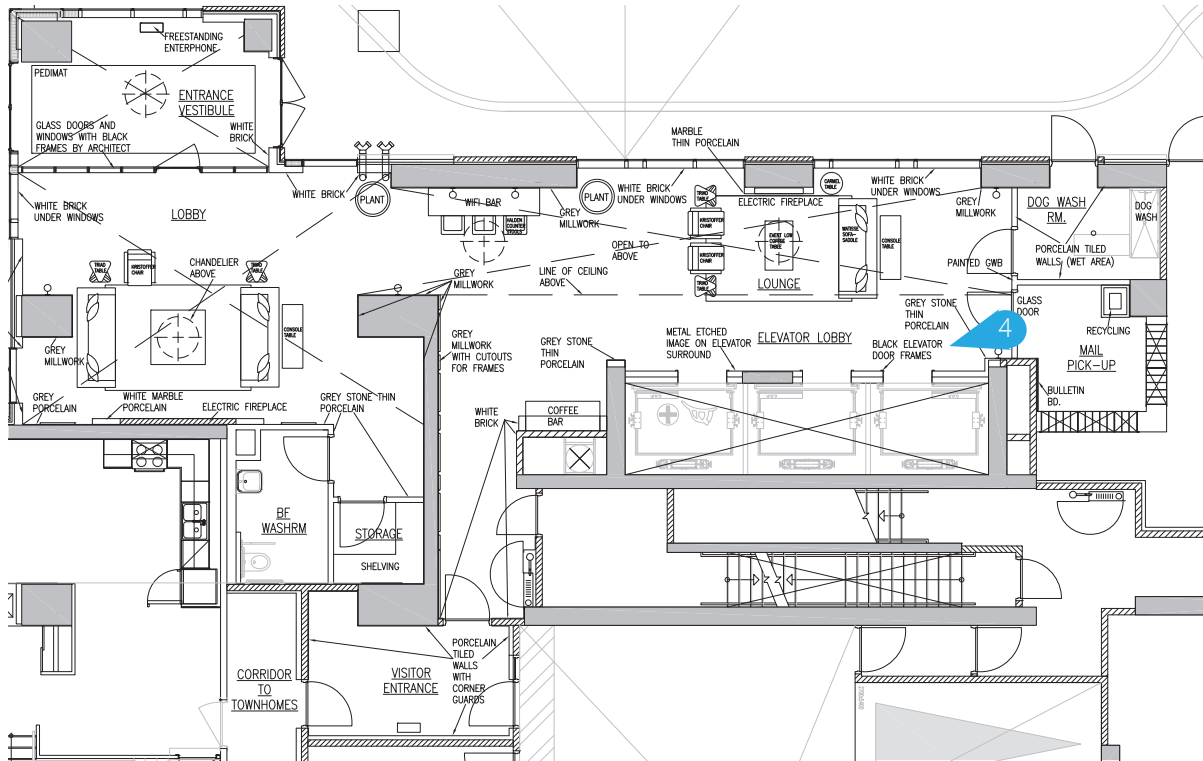
The interior main lobby provides further opportunity to explore interpretation of the interior elements of the building and the connection to the people and products who have entered and exited this space over time.



View two shows two display cases in context within the lobby (Studio 8 Designs).



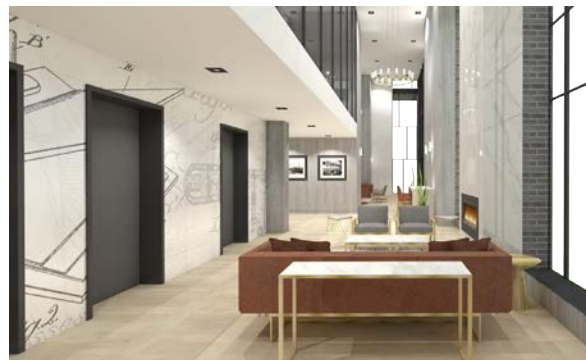
View three shows some of the photographs displayed near the elevator bank in the main lobby (Studio 8 Designs).



Strategy four is highlighted in blue (annotated by ERA).

The west secondary elevator lobby provides additional opportunity to interpret the history of the building as it relates to creation and innovation. As the space contains multiple entryways, there are multiple circulation patterns and view corridors through which to understand the interpretation efforts within the space. For this reason, additional patent images and historic photographs will be present in the space.

The final strategy is a metal etched image on the elevator surround. Using a patent held by Copeland-Chatterson, the scale of the etching will connect the space to the ideas that drove the creation of the factory.



View four shows the metal etched image on the elevator surround in the secondary lobby, with two framed photographs on the nearby wall (Studio 8 Designs).

4 CONCLUSION

The proposed redevelopment of the Copeland-Chatterson Building provides residents, visitors and passersby with opportunities to understand not only the history of the building, but its broader meaning to the community.

This interpretation plan has identified strategies to aid in the interpretation process. These strategies highlight the history of the building and its connection to the railway, the architectural elements of the site, the objects produced on site, and images associated with its history.

The proposed interpretation plan for 45 Railroad Street will promote public awareness and appreciation of the historic resources of the site.

5 PROJECT PERSONNEL

PHILIP EVANS

Philip Evans is a Principal of ERA Architects and the founder of small. In the course of his fourteen-year career, he has led a range of conservation, adaptive reuse, design, and feasibility planning projects. Philip is a professional member of CAHP.

JORDAN MOLNAR

Jordan Molnar is an Associate with ERA. He is a Member of the Royal Architectural Institute of Canada and holds a Master of Architecture as well as a Bachelor of Environmental Design from Dalhousie University.

RAY LISTER

Ray Lister is a planner at ERA Architects. Ray received his Master of Planning in Urban Development at Ryerson University after completing a Bachelor of Arts (Honours) in History at the University of Victoria.

Date: 2020-11-12

Subject: **Intention to Designate 85 Wellington St. E**

Contact: **Ana Martins, Assistant Heritage Planner**

Report Number: Planning, Building and Economic Development-2020-401

Recommendations:

1. That the report titled: **Recommendation Report: Intention to Designate under Part IV, Section 29 of the Ontario Heritage Act – (85 Wellington St. E. James Packham House) – Ward 3 (H.Ex. 85 Wellington St. E.)**, to the Brampton Heritage Board Meeting of November 17, 2020, be received;
2. That the designation of the property at 85 Wellington St. E. under Part IV, Section 29 of the *Ontario Heritage Act* (the “Act”) be approved;
3. That staff be authorized to publish and serve the Notice of Intention to designate the property at 85 Wellington St. E. in accordance with the requirements of the *Act*;
4. That, in the event that no objections to the designation are received, a by-law be passed to designate the subject property;
5. That, in the event that any objections to the designation are received, staff be directed to refer the proposed designation to the Ontario Conservation Review Board; and,
6. That staff be authorized to attend any hearing process held by the Conservation Review Board in support of Council’s decision to designate the subject property.

Overview:

- **The purpose of this report is to recommend that City Council state its intention to designate the property at 85 Wellington St. E. (James Packham House) under Part IV, Section 29 of the *Ontario Heritage Act* (the “Act”) for its cultural heritage value or interest.**
- **Following research and evaluation, it has been determined that the subject property meets the provincial criteria for municipal designation prescribed by *Ontario Regulation 9/06* under the categories of design/physical value, historical/associative value, and contextual value.**
- **Upon Council approval, staff will continue with the designation process as required under the *Act*.**

Background:

The property at 85 Wellington Street East is located on the south side of Wellington Street East and west of the Etobicoke Creek Valley. Located in a stable residential neighbourhood, the property contains a 2 ½ storey house, a driveway to the east of the dwelling, and mature trees. It is currently listed on the City of Brampton’s *Municipal Heritage Register of Cultural Heritage Resources*. A location map and photographs are provided in the Designation Report attached to this report (Appendix A). The request for designation was initiated by the previous homeowner and supported by the new property owners.

The *Act* enables municipalities to pass by-laws to designate properties of cultural heritage value or interest. Designation under Part IV of the *Act* is a way of publically acknowledging a property’s value to a community, and ensures the conservation of important places for the benefit and enjoyment of present and future generations. It also allows municipalities to conserve and manage properties through the Heritage Permit process enabled under Sections 33 (alterations) and 34 (demolition or removal) of the *Act*.

In determining whether a property is of cultural heritage value or interest, the municipality is required to consult Ontario Regulation 9/06, “Criteria for Determining Cultural Heritage Value or Interest”, prescribed under section 29(1)(a) of the *Act*. A property may be designated if it meets one or more of the following criteria:

1. The property has design value or physical value because it,

- i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.
2. The property has historical value or associative value because it,
 - i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
 - ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
 - iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
3. The property has contextual value because it,
 - i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

Current Situation:

Following research and evaluation, it has been concluded that the property at 85 Wellington St. E. meets the municipal criteria prescribed by the Province to designate a property under Part IV, Section 29 of the *Act* under the categories of design/physical value, historical/associative value, and contextual value. A Statement of Significance explaining the reasons for designating the property is located in Appendix A.

As outlined in the attached Heritage Report, the cultural heritage value of the property containing the James Packham House is related to its design and physical values as a representative example of a vernacular dwelling influenced by the Italianate and Queen Anne architectural styles. The dwelling was constructed with locally-produced bricks manufactured by the Packham Pressed Brick Company and displays a high degree of craftsmanship in its exterior detailing. Specifically, the James Packham House is a two-and-a-half storey dwelling featuring elements of both the Italianate and Queen Anne architectural styles. It has an asymmetrical front elevation on Wellington St. East with a gabled bay window, an intricate entrance porch that continues to the west side of the house, and a steeply pitched and ornamented gable. This front-facing gable is decorated with a geometric pattern motif on its vergeboard and tapered edges terminating just beyond the roof line. Stylized wood sunburst panels decorate the gables of the roof and bay window. Under the eave of the roof are wood brackets, evenly spaced and in close succession, and the sunburst pattern is repeated on each bracket. There are two types

of shingle work on the upper storey of the house: fish-scale shingles as well as more angular U-shaped ones. The windows are tall, segmentally-arched windows with soldier brick voussoirs, and the central window on the second floor has wood shutters. The fenestration and detailing, including a bay window, is repeated on the western elevation of the house. The front porch with its bell-cast roof is supported by square wood pillars and ornamented with decorative wood spindles along with miniature brackets. It shelters a panelled, heavily moulded double door entrance. The doors contain decorative woodwork and are paired with matching stained glass panes and a stained glass transom.

The house is constructed of red brick, laid in a stretcher bond pattern, and painted white. The bricks themselves were likely manufactured by the Packham family from the clay in the immediate area of the house. The quarry, which served as the material location for the Packham Pressed Brick Company, was located at the end of Wellington Street East where it terminates near the railway tracks.

The historical and associative value of the property is based on its association with the Packham family and the Packham Pressed Brick Company, the precursor of the still extant company Brampton Brick Ltd. James Packham, a mason and brick maker by trade, purchased the lot on March 19, 1883 for \$50.00. In 1871, he established the Packham Pressed Brick Company on the flats at the end of John Street. It is assumed that the present two and one-half storey house at 85 Wellington Street East was built using bricks from this brickyard. By the 1890s, James Packham was operating a very prosperous company providing high quality red brick for many of Brampton and the surrounding area's buildings. Properties built of Packham's bricks include, but are not limited to, the Fallis House at 62 John Street and the Balfour House at 30 James Street, both in close proximity to 85 Wellington Street East. In 1904, James Packham passed his business to his three sons, George, Charles Jr. and William. With a capital stock of \$50 000, the company was incorporated as Brampton Brick Company Ltd. and relocated to Main Street North in order to take advantage of the local raw materials. The infusion of significant capital also enabled the company to expand its operation. In 1949, the Packhams sold their business, and it was renamed Brampton Brick Ltd. Brampton Brick continued to evolve into one of the most advanced and successful brick making facilities in North America.

The property also holds contextual value as it is important in defining, maintaining and supporting the character of the area, and it is physically, visually and historically linked to its surroundings. It is prominently sited at the curve on Wellington St. E. The property is linked to the site of the former Packham's Quarry, which later became known as Packham's Pond and used recreationally by local residents. The pond was situated in the Etobicoke Creek valley and owned by the Packhams. In 1904, they leased it to the R.

Smith, who operated an ice block delivery service. During the winter, the pond was used as a source of ice, which was packed and stored nearby and delivered to local homesteads in the summer. The pond, later known as Smith's Pond, disappeared in the 1950s with the diversion of the Etobicoke Creek.

Corporate Implications:

Financial Implications:

None.

Other Implications:

None.

Term of Council Priorities:

This report meets the Term of Council Priorities by preserving and protecting heritage environments with balanced, responsible planning.

Conclusion:

Designation under the Part IV, Section 29 of the Act enables City Council to review site alterations, enforce heritage property standards and restrict the demolition or removal of any building or structure on the property. A suitable lot has been created to comprise the built heritage resource and integrate it harmoniously within its surroundings. The designation of the property will ensure that the Packham House will be retained and maintained as required by the Subdivision Agreement registered on the property.

Authored by:

Ana Martins, MScPl, MMSt., Assistant
Heritage Planner

Reviewed by:

Jeffrey Humble, Manager of Policy, Planning
and Implementation

Bob Bjerke, RPP, MCIP, Director, Policy
Planning

Approved by:

Richard Forward, MBA, M.Sc., P.Eng./
Commissioner of Planning &
Development Department Head

Submitted by:

David Barrick, Chief Administrative Officer

Attachments:

Appendix A – 85 Wellington St. E. Designation Report

**Heritage Report:
Reasons for Heritage Designation**



85 Wellington Street East

November 2020

Profile of Subject Property

Municipal Address	85 Wellington Street East
PIN Number	140350035
Legal Description	PLAN BR 21 LOT 27 REG
Ward Number	3
Property Name	James Packham House
Current Owner	Aliya Nicole Rahim and Olusola Dokun
Owner Concurrence	Yes
Current Zoning	Residential, R2A
Current Use(s)	Residential
Construction Date	c.1883
Notable Owners or Occupants	Packham Family
Heritage Resources on Subject Property	Building
Relevant Council Resolutions	N/A
Additional Information	N/A

1. Introduction

The property at 85 Wellington Street East (James Packham House) is worthy of designation under Part IV, Section 29 of the *Ontario Heritage Act* for its cultural heritage value or interest. The property meets the criteria for designation prescribed by the Province of Ontario under the *Ontario Heritage Act*, Regulation 9/06 for the categories of design/physical value, historical/associative value, and contextual value.

2. Description of Property

The property at 85 Wellington Street East is located on the south side of Wellington Street East and west of the Etobicoke Creek Valley. The property contains a 2 ½ storey house, a driveway to the east of the dwelling, and mature trees.

3. Statement of Cultural Heritage Value or Interest

Design/Physical Value

The cultural heritage value of the James Packham House at 85 Wellington Street East is related to its design or physical value as a representative example of a vernacular dwelling influenced by the Italianate and Queen Anne architectural styles. The dwelling was constructed with locally-produced bricks manufactured by the Packham Pressed Brick Company and displays a high degree of craftsmanship.

The Italianate style, which was inspired by Tuscan and Italian Renaissance architecture, was popular for residential and commercial buildings in Ontario during the mid-to-late 19th century. It was an architectural style promoted by The *Canada Farmer Journal* in 1865, and was often integrated with other styles. The modest Italianate style lent itself to being highly decorated, coinciding with an affluent society that was increasingly drawn to ornamentation. Houses are typically square in plan and tend to have highly decorated eave brackets, tall and narrow segmentally arched windows, bay windows, and wide overhanging eaves, features that are found on the Packham House.

The Queen Anne Revival is from the late Victorian era, and was most popular between 1890 and 1914. The style drew its inspiration and elements from different styles and periods resulting in buildings with eclectic compositions. The style is filled with exuberance, variation, and asymmetry, and was one of the most popular architectural styles of the Victorian period in Canada. Its success is related to a number of factors, including advances in building technology that allowed for more freedom and flexibility in

floor planning, as well as the rise of industrialism and the growth of railroads that made quantity production methods available and affordable. Industrialization and the resulting economic growth and prosperity also made home ownership possible for both working and middle class. There was an increasing interest and demand for improved housing and extravagant homes with ample ornamentation to reflect their new wealth. The Packham House also features a number of architectural elements indicative of this style.

The James Packham House is a two-and-a-half storey dwelling featuring elements of both the Italianate and Queen Anne architectural styles. It has an asymmetrical front elevation on Wellington St. East with a gabled bay window, an intricate entrance porch that continues to the west side of the house, and a steeply pitched and ornamented gable. This front-facing gable is decorated with a geometric pattern motif on its vergeboard and tapered edges terminating just beyond the roof line. Stylized wood sunburst panels decorate the gables of the roof and bay window. Under the eave of the roof are wood brackets, evenly spaced and in close succession, and the sunburst pattern is repeated on each bracket. There are two types of shingle work on the upper storey of the house: fish-scale shingles as well as more angular U-shaped ones. This steep upper gable frames a pair of small-paned sash windows, which lights the top floor of the home. Most of the windows are tall, segmentally-arched windows with soldier brick voussoirs, and the central window on the second floor has wood shutters. The fenestration and detailing, including a bay window, is repeated on the western elevation of the house.

The front porch with its bell-cast roof is supported by square wood pillars and ornamented with decorative wood spindles along with miniature brackets. It shelters a panelled, heavily moulded double door entrance. The doors contain decorative woodwork and are paired with matching stained glass panes and a stained glass transom. A single door on the eastern elevation of the house is of the same pattern. The house is topped by a cross gabled, truncated hip roof covered in asphalt shingles.

The house is constructed of red brick, laid in a stretcher bond pattern, and painted white. The bricks themselves were likely manufactured by the Packham family from the clay in the immediate area of the house. The quarry, which served as the material location for the Packham Pressed Brick Company, was located at the end of Wellington Street East where it terminates near the railway tracks.

The interior of the home also reflects the Queen Anne style with its generous entry hall, prominent wooden staircase, detailed wood trim, elaborate crown mouldings, Art-Nouveau stylized wainscoting, and decorative ceiling trim and mouldings. The residence displays a high degree of craftsmanship, which is evident in the design, material, and finishes of the woodwork.

Historical/Associative Value

The property has historical/associative value as a result of its direct association with the Packham family and the Packham Pressed Brick Company, the precursor of the still extant company Brampton Brick Ltd.

Originally Wellington Street East was the site of John Elliott's estate. The widow and executrix Jane Elliott and others as Trustees of the estate of John Elliott sold all of Lot 87, BR-21 to Joseph Hodgson on November 24, 1871 for \$100.00. Mary Hodgson, heir of John Hodgson, sold the lot to James Packham on March 19, 1883 for \$50.00. According to Census Returns for 1871 and 1881, James Packham was a mason and brick maker by trade, and *Lynch's Directory of Peel County (1873-1874)* lists James as a brick maker on John Street. In 1871, he established the Packham Pressed Brick Company on the flats at the end of John Street. It is assumed that the present two and one-half storey house at 85 Wellington Street East was built using bricks from this brickyard. The Census Return for 1891 notes that James and his spouse Sarah Walterhouse lived in a two storey, thirteen-room brick house with their children George William (age 29 years), Merilda (aged 26 years), Hester Rachel (aged 21 years), Sarah (aged 19 years), William James (aged 23 years) and Charles (aged 16 years). George and William were also noted as brick makers.

The Census Return for 1901 notes James and Sarah living with their three daughters Merilda, Hester and Sarah in a thirteen room brick house on Wellington Street South (now Wellington Street East). Sarah Walterhouse Packham died on August 3, 1905 at the age 69 years. James himself passed away on June 18, 1933. The executors of James Packham's estate sold the property to daughters Hester and Merilda Packham on February 4, 1941 for \$1.00; however, given that Hester Packham had died on August 26, 1940, the property ownership was transferred on April 14, 1941 to Merilda Packham for \$1.00. Merilda continued to live at 85 Wellington Street East until her death on May 3, 1959 at the age of 93 years. After Merilda's death, 85 Wellington Street East changed owners several times.

Packham Pressed Brick Company and Brampton Brick Ltd.

In 1871, James Packham established Packham Pressed Brick Company, his independently owned brick producing business on the flats at the end of John Street. By the 1890s, it was a very prosperous company providing high quality red brick for many of Brampton and the surrounding area's buildings. Properties built of Packham's bricks include the Fallis House at 62 John Street and the Balfour House at 30 James Street, both in close proximity to 85 Wellington Street East. At least two other houses inhabited

by the Packham family members were manufactured using brick from the Packham brickyard: Charles Jr.'s house at 27 Wellington Street East and his brother, William's, house at 37 Chapel Street.

Sometime between 1901 and 1903, disaster struck the Packham Pressed Brick Company when an underground spring appeared in their brickyard. Whether or not he was influenced by the event, James Packham decided to retire in 1904, passing his business to his three sons, George, Charles Jr. and William. With a capital stock of \$50 000, the company was incorporated as Brampton Brick Company Ltd. and relocated to Main Street North in order to take advantage of the local raw materials. The infusion of significant capital also enabled the company to expand its operation. By the early twentieth century, the company was producing two million bricks a year and shipping high quality bricks as far as Detroit. In 1949, the Packhams sold their business, and it was renamed Brampton Brick Ltd. In 1960, the company replaced the pressed brick equipment with extrusion technology, which allowed it to substantially increase brick production. Brampton Brick evolved into one of the most advanced brick making facilities in the world, and by 2001, their facility on Wanless Drive and Hurontario Street was North America's single largest brick manufacturing plant under one roof.

Contextual Value

The property also holds contextual value as it is important in defining, maintaining and supporting the character of the area, and is physically, visually and historically linked to its surroundings. It is prominently sited at the curve on Wellington St. E.

The property is linked to the site of the former Packham's Quarry, which later became known as Packham's Pond and used recreationally by local residents. The pond was situated in the Etobicoke Creek valley, and owned by the Packhams. In 1904, they leased it to the R. Smith, who operated an ice block delivery service. During the winter, the pond was used as a source of ice, which was packed and stored nearby and delivered to local homesteads in the summer. The pond, later known as Smith's Pond, disappeared in the 1950s with the diversion of the Etobicoke Creek.

5. Description of Heritage Attributes/Character Defining Elements

To ensure that the cultural heritage value of this property is conserved, certain heritage attributes that contribute to its value have been identified specifically and they include:

- Decorative wood vergeboard with square pattern motif and tapered ends
- Stylized sunburst on the front and east side gables of the house

- Single wood brackets closely and evenly spaced in the eaves of the bay window and roof on the front, east, and west elevations
- Stylized sunburst on each bracket along the front and east elevations
- Fish-scale and U-shaped wood shingles on the front gable
- Tall, segmentally-arched window openings
- Soldier brick voussoirs above the windows
- Exterior wood shutters on second-storey window
- Three tier vernacular style bay window on the front and east elevations
- Extant original one-over-one wood sash windows
- Panelled and moulded double entrance doors with paired stained glass panes and transom
- Truncated hip roof
- Packham brick construction
- Front porch with turned wooden pillars, spindlework and corner brackets; as well as its continuation along the west side of the house
- Shallow setback from street

6. Policy Framework

In the context of land use planning, the Province of Ontario has declared that the wise use and management of Ontario’s cultural heritage resources is a key provincial interest.

A set of Provincial Policy Statements (PPS) provides planning policy direction on matters of provincial interest in Ontario. These statements set the policy framework for regulating the development and use of land. The relevant heritage policy statement is PPS 2.6.1, which states that “significant built heritage resources and significant cultural heritage landscapes shall be conserved”. PPS 2.6.1 is tied to Section 3 of the *Ontario Planning Act*, which stipulates that land use planning decisions by municipalities “shall be consistent with” the Provincial Policy Statements.

The policy is also integrated with the Ontario Heritage Act. This piece of legislation grants municipalities powers to preserve locally significant cultural heritage resources through heritage designation. Decisions as to whether a property should be designated heritage or not is based solely on its inherent cultural heritage value or interest.

City Council prefers to designate heritage properties with the support of property owners. However, Council will designate a property proactively, without the concurrence of a

property owner as required. These principles are reflected in Brampton's Official Plan. The relevant policies are as follows:

Section 4.10.1.3: All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the Ontario Heritage Act to help ensure effective protection and their continuing maintenance, conservation and restoration.

Section 4.10.1.5: Priority will be given to designating all heritage cemeteries and all Class A heritage resources in the Cultural Heritage Resources Register under the Ontario Heritage Act.

Section 4.10.1.6: The City will give immediate consideration to the designation of any heritage resource under the Ontario Heritage Act if that resource is threatened with demolition, significant alterations or other potentially adverse impacts.

In 2015, the City Council adopted a new Strategic Plan to guide the evolution, growth and development of the city. Heritage preservation is one of the goals of this new Strategic Plan. In 2017, City Council endorsed the Planning Vision.

These principles are also guided by recognized best practices in the field of heritage conservation.

7. Resources

Assessment Rolls, Brampton, Peel County, East Ward, 1893

Baker, John Milnes. *American House Styles: A Concise Guide*. New York: W.W.Norton & Company. 1994.

Brampton Insurance Plan, Montreal and Toronto: Underwriters survey Bureau, Limited. August 1931, revised November 1940, Plate 10.

Census Return, Brampton, Peel County. 1871, 1881, 1891, 1901.

Chinguacousy Township Cemetery No. 16. Brampton Cemetery, Brampton Ontario, Peel County. Halton-Peel Ontario Genealogical Society, 1973, rev. 1981.

City of Brampton, Heritage Property File No. 85 Wellington Street East, Research Notes.

Collector's Rolls, Brampton, Peel County, East Ward, 2887 to 1889.

Lynch, John. *Directory of the County of Peel for 1873-4*. Brampton: Brampton Progress, 1874, reprinted 1998.

Mikel, R. *Ontario House Styles*. Toronto: James Lorimer & Company Ltd.

8. Appendix

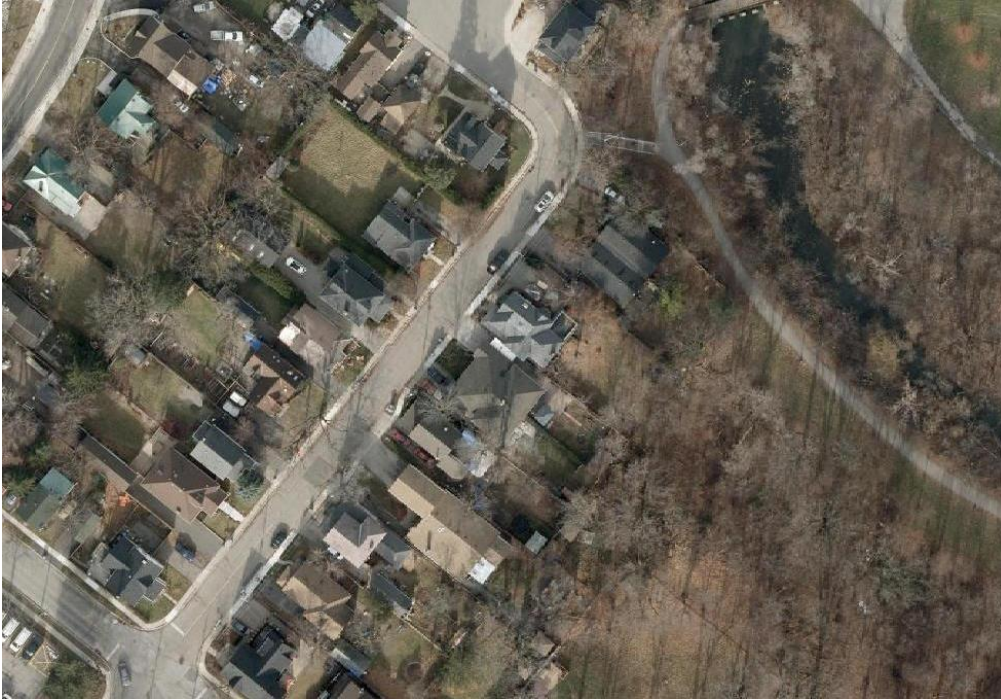


Figure 1: Aerial map showing 85 Wellington Street East (Source: City of Brampton).

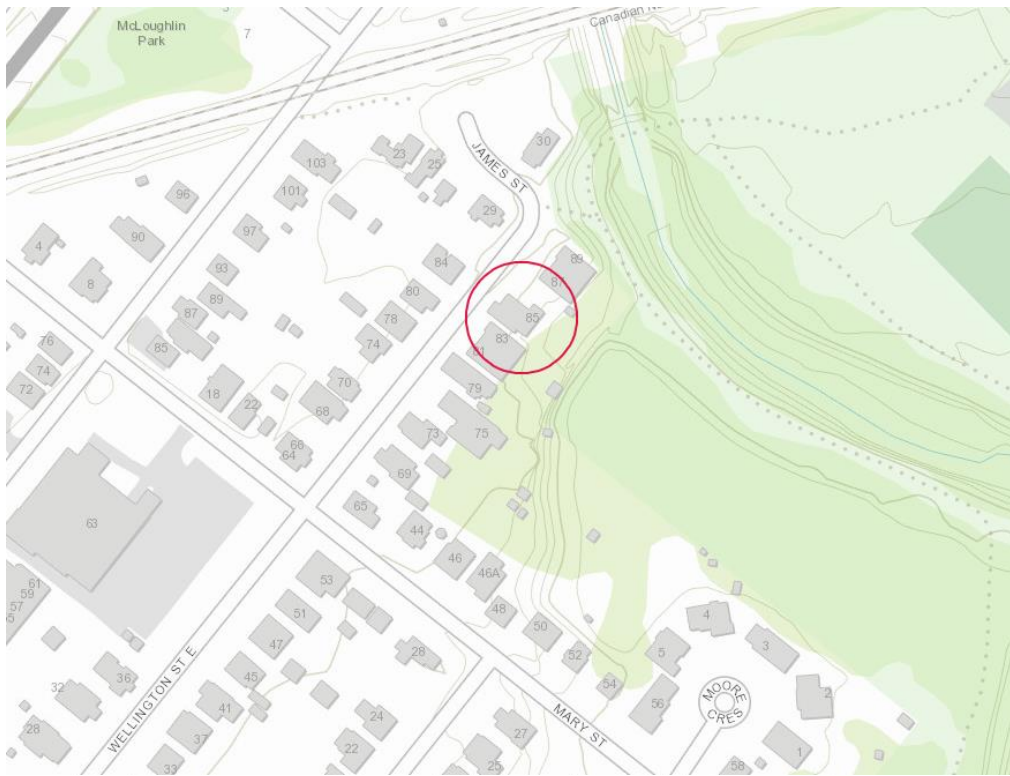


Figure 2: Map showing 85 Wellington Street East (circled) (Source: City of Brampton).



Figure 3: Packham's Pond (Source: PAMA, Cecil Henry fonds, PN2012-00730).



Figure 4: Packham's Pond showing the barn where ice was likely stored (Source: PAMA, Cecil Henry fonds, PN2012-00729).



Figure 5: Front and east elevations. Bay windows, gables, and detailing are repeated on both elevations (Source: City of Brampton, 2019)



Figure 6: Front porch and details, which wraps partially around the west side (Source: City of Brampton, 2019)



Figure 7: Brackets on eaves. Front and east elevations (Source: City of Brampton, 2019)



Figure 8: Vergeboard detailing on front façade and detailed shingles (Source: City of Brampton, 2019)



Figure 9: Brackets with sunburst detail (Source: City of Brampton, 2019)



Figure 10: Detailing on front gable (Source: City of Brampton, 2019)



Figure 11: Bay window, gable, and detailing on the east elevation mirroring heritage attributes on the front façade (Source: City of Brampton, 2019)



Figure 12: Sunburst detail on gable above bay window, east elevation (Source: City of Brampton, 2019)

Date: 2020-11-12

Subject: **Heritage Permit Application for Service Upgrades – 563 Bovaird Dr. E. (Bovaird House)**

Contact: Ana Martins, Assistant Heritage Planner

Report Number: Planning, Building and Economic Development-2020-402

Recommendations:

1. That the report titled: Recommendation Report: Heritage Permit Application for Service Upgrades – 563 Bovaird Drive East (Bovaird House) – Ward 1 (He.x 563 Bovaird Drive East), to the Brampton Heritage Board meeting of November 17, 2020, be received;
2. That the Heritage Permit Application for electrical, lighting, and security upgrades to the Bovaird House be approved.

Overview:

- **The property at 563 Bovaird Drive East (“Bovaird House”) is designated under Part IV, Section 29 the *Ontario Heritage Act* for its cultural heritage value or interest.**
- **Heritage staff received a Heritage Permit Application made in accordance with Section 33 of the *Ontario Heritage Act* (the “*Act*”) for service upgrades to the Bovaird House on November 10th, 2020.**
- **The service upgrades are required in order comply with the accessibility standards as set by the *Ontario Building Code*, meet the City of Brampton Accessibility Technical Standards (COB-ATS) and it is also to enhance security measures to the Heritage property and meet increased energy demands.**

- **City of Brampton Building, Design and Construction staff are undertaking and overseeing the project to upgrade electrical and lighting services and to install security cameras at Bovaird House.**
- **This report recommends that the heritage permit application for the service upgrades to provide enhanced site lighting, increase energy capacity and enhance security at the Bovaird House be approved.**

Background:

The property at 563 Bovaird Drive East (Bovaird House) is designated under Part IV, Section 29 of the *Act*, as amended with the passage of By-law No. 298-81 on December 14, 1981. The property contains Bovaird House, a red brick Georgian dwelling, as well as the Pendergast Log House, which was relocated to the site.

The Bovaird House is a publicly accessible historic museum maintained and operated by the “Friends of Historic Bovaird House”, a group of local volunteers. The five-bay Georgian style farmhouse, which is located in a two-acre park-like setting, is open to the public, provides various public programming events throughout the year, and hosts numerous outdoor special events.

As part of the City of Brampton Building Design and Construction’s routine review of its property assets, necessary service upgrades to the building were identified in order for the property to meet Ontario Building Code requirements, to enhance security measures, and to increase electrical capacity to meet increased energy needs.

Currently, the public and accessible entrance on the north elevation to Bovaird House does not meet illumination requirements as specified under Section 3.8.1.6 of the Ontario Building Code:

- 1) All portions of a barrier-free path of travel shall be equipped to provide a level of illumination in accordance with Sentence 3.2.7.1(1)
 - (i) Minimum value of the illumination required by Sentence (1) shall not be less than 10 lx.

The City of Brampton Accessibility Technical Standards, exterior lighting requirements, are provided in Section IV.4.13. The Accessibility Technical Standards are used in the design, development, and construction of new facilities and the renovations of existing facilities that are owned, operated and leased by the City. The City hired the consultant

Neda Pavela-Mogus of Moffet & Duncan Architects Inc. to propose appropriate site lighting designs for the exterior of the property, to enhance illumination and upgrade security around Bovaird House. This will result in increased electrical demand, and will require upgrading the current 200A electrical service to 400A, which in turn will require replacing the existing base with a new 400A transformer rated meter base, proposed to be installed on the exterior of the building on the north elevation. To screen the visibility of the new meter base from Bovaird Drive, the contractor scope of work will include the preparation of a soil bed for a future rose garden to be prepared by the Friends of Bovaird House.

In accordance with Section 33 of the *Act*, any alteration likely to affect a heritage attribute of a Part IV designated property requires written consent from the Council of the municipality in the form of a Heritage Permit.

Policy Framework

The Planning Act

The *Planning Act* guides development in the Province of Ontario and states that municipalities must have regard for matters of provincial interest. The conservation of features of significant architectural, cultural, historical, archaeological or scientific interest is identified under paragraph 2(d) of the *Planning Act* as a matter of provincial interest.

Provincial Policy Statement (2014)

The Provincial Policy Statement is issued under the authority of Section 3 of the Planning Act. The *Planning Act* requires that all decisions affecting land use planning be consistent with the Provincial Policy Statement

Policies 1.7.1 d) and 2.6.1 of the Provincial Policy Statement direct that:

“Long-term economic prosperity should be supported by: d) encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including built heritage resources and cultural heritage landscapes”

“Significant built heritage resources and significant cultural heritage landscapes shall be conserved”

Growth Plan for the Greater Golden Horseshoe

The Growth Plan for the Greater Golden Horseshoe (2017) provides a framework for managing growth within the Greater Golden Horseshoe region. Policy 4.2.7.1 of the

Growth Plan states that: “*Cultural heritage resources will be conserved in order to foster a sense of place and benefit communities, particularly in strategic growth areas.*”

City of Brampton Official Plan

The City of Brampton Official Plan policies that are relevant in the context of this report and heritage permit application are:

4.10.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.10.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

4.10.8.1 The City shall designate all city-owned heritage resources of merit under the *Ontario Heritage Act* and shall prepare strategies for their care, management and stewardship.

4.10.8.2 The City shall protect and maintain all city-owned heritage resources to a good standard to set a model for high standard heritage conservation.

Current Situation:

Heritage staff received a Heritage Permit Application made in accordance with Section 33 of the *Act* for service upgrades to the Bovaird House on November 10th, 2020.

Alterations to the property include:

Part 1: Site lighting upgrades

- Installation of new lighted bollards along the walkway at the northern, western, and southern sides of Bovaird House;
- Installation of a new wall-mounted light fixture at the south entrance;
- Installation of new floodlights at ground level at the north elevation (west side) and west elevation;
- Replacement of existing light fixtures on wood pole;

Part 2: Security cameras

- Installation of one new security camera at the southwest corner of Bovaird House and one on the light pole at the south parking lot;

Part 3: Electrical capacity

- Installation of a new hydro meter base on the north elevation of the building as required for new electrical service; metal enclosure to be painted a colour that coordinates with the existing accents on Bovaird House. If permitted by the utility company (Alectra) gas meter and existing vent are to be painted as well.

Site Lighting Upgrades

As part of the City of Brampton's Building Design and Construction's routine review of its property portfolio, a number of service upgrades were identified for the Bovaird House.

The application proposes a lighting design aimed to enhance illumination and security of the property and upgrades to the electrical services to meet increased energy demands. First, the use of bollards along with walkway at the north, south, and west sides of Bovaird House are proposed in order to improve illumination around the property and meet compliance with the Ontario Building Code. The proposed bollards are unobtrusive, provide sufficient lighting, and comply with illumination requirements as legislated by the Ontario Building Code for the publicly accessible entrance on the north elevation. The lighting design plan also includes a new wall-mounted light fixture at the south entrance and new floodlights at the ground level at the north elevation (on the west side) and the west elevation. The two light fixtures on the wood posts will be replaced with LED light fixtures. The lighting scheme has been approved by Sylvia Ingham, Clerk, Access and Inclusion at the City of Brampton. The ground cover at areas affected by the work will be restored upon the completion of the work.

Security Camera

To enhance security measures around the property, the current budget allows for two new security cameras: one camera at the southwest corner of the House, installed under the eave, and one on the light pole at the south parking lot. The conduits for the cameras will run along the exterior of the building, coordinating with the colour of the bricks and duplicating the existing set up. The new camera in the south parking lot will improve security measures around the perimeter; previous thefts on the property have taken place around Pendergast, which is adjacent to this parking area.

Electrical Panel

The existing electrical service at Bovaird House is 200A, which allows for the installation of the 200A meter base inside the house, in the basement adjacent to the service panel. However, upgrading the service to 400A requires replacing the existing base with a new 400A transformer rated meter base. According to the hydro service provider, this 400A base is required to be installed *outside* the house at the nearest possible entry point to hydro service. The base will appear as a grey box, measuring 36” by 21” by 8.5”, weighing 80 lbs., and installed approximately at the marked location in Figure 1. The new 400A hydro base will be installed on the north elevation of Bovaird House and the contractor scope of work will require the painting of the metal enclosure in a colour that coordinates with the painted accents on the House. The gas meter and existing vent are to be painted if approved by the utility company (Alectra).

Heritage staff have no objection to these alterations, as they are intended to assist with enhancing energy capacity which will benefit the long-term conservation of the site.



Figure 1: North Elevation, Bovaird House. Installation of a 400-meter hydro base

Discussion

The work proposed as part of the heritage permit application will improve security and increase energy capacity at Bovaird House. The proposed lighting design from the consultant, Moffat & Duncan Architects Inc., suggests the use of bollards (a more

contemporary and less visually prominent fixture), the installation of a wall-mounted light fixture at the south entrance, flood lights on the north and west elevations on a new concrete base, and the replacement of two existing light fixtures on wood posts with LED lights. The new lighting scheme along with two additional security cameras will improve security measures to the public building. To meet increased energy needs, a new 400m hydro meter base will need to be installed on the north elevation, near the entry point to hydro service.

The work proposed as part of the heritage permit application will improve energy capacity and enhance safety measures at Bovaird House as well as increase its potential for increasing outdoor public programming events. Heritage staff are agreeable to these alterations, as they are mainly reversible in nature and intended to assist with the long-term conservation of the site. Heritage staff recommend approval of the heritage permit application.

Corporate Implications:

Financial Implications:

City of Brampton Building, Design, and Construction staff have a budget in place for this project.

Other Implications:

None.

Term of Council Priorities:

This report meets the Term of Council Priorities by preserving and protecting heritage environments with balanced, responsible planning.

Conclusion:

The work proposed as part of the heritage permit application will increase electrical capacity, enhance security measures, and provide better illumination of the property. As the service upgrades that are being undertaken benefit the long-term conservation of the site, enhances the future programming potential of the site, and are mainly reversible in nature, Heritage staff recommend approval of the heritage permit application.

Authored by:

Ana Martins, MScPI, MMSt
Assistant Heritage Planner

Reviewed by:

Jeffrey Humble, RPP
Manager, Land Use Policy

Reviewed by:

Bob Bjerke, MCIP, RPP
Director, Policy Planning

Approved by:

Richard Forward, MBA, M.Sc., P.Eng.
Commissioner, Planning and Development
Services

Submitted by:

David Barrick
Chief Administrative Officer

Attachments:

Appendix A – Heritage Permit Application – 563 Bovaird Drive East

Heritage Permit Kit

for Properties Designated under Part IV
of the Ontario Heritage Act

Heritage Attributes
Masonry
Character
Designated
Natural
Historical
Details
Heritage
Restoration
Architectural Contextual
Landscaping
Alteration



BRAMPTON
Flower City

Planning, Design and Development
Heritage

PART TWO - HERITAGE PERMIT APPLICATION:

HERITAGE PERMIT APPLICATION FORM

In accordance with the Ontario Heritage Act a heritage permit must be issued by City Council for all proposals to erect, remove or alter the exterior of buildings, structures or other features described as heritage attributes within the scope of a heritage designation by-law.

City staff and the Brampton Heritage Board review all applications and then submit them to City Council for approval.

City Council has the authority under the Ontario Heritage Act to approve any heritage application either with or without conditions or to refuse the permit application entirely.

Please provide the following information (type or print)

A. REGISTERED OWNER

NAME OF REGISTERED OWNER(S) The Corporation of the City of Brampton

TELEPHONE NO. HOME () **BUSINESS:** (905) 874-2000 **FAX:** ()

E-MAIL ADDRESS: adrian.deoliveira@brampton.ca

MAILING ADDRESS: 2 Wellington St. W., Brampton, ON L6Y 4R2

B. AGENT

(Note: Full name & address of agent acting on behalf of applicant; e.g. architect, consultant, contractor, etc)

NAME OF AGENT(S) Neda Pavela-Mogus

TELEPHONE NO. HOME **BUSINESS:** (647) 466-0183 **FAX:** ()

E-MAIL ADDRESS: npavela-mogus@mdarch.ca

MAILING ADDRESS: 5052 Dundas St W, Etobicoke, ON M9A 1B9

Note: Unless otherwise requested, all communications will be sent to the registered owner of the property.

C. LOCATION / LEGAL DESCRIPTION OF SUBJECT PROPERTY

LOTS(S) / BLOCK(S) 10

CONCESSION NO. CON. 2 E.H.S.

REGISTERED PLAN NO. M-303

PART(S) NO.(S)

REFERENCE PLAN NO.

ROLL NUMBER: 10-09-0-014-14900-0000

PIN (PROPERTY IDENTIFICATION NO.) 141420006

D. OVERALL PROJECT DESCRIPTION / SUMMARY OF PROPOSAL

Part A

1. Install new lighted bollards along the walkway at the north and west sides of Bovaird House and at the

walkway at the south side.

2. Install a new wall-mounted light fixture at the south entrance.

3. Install new floodlights at ground level at north elevation (west side) and west elevation.

4. Replace existing light fixtures on wood pole as indicated on attached site plan.

5. Install 1 new security camera at the SW corner of Bovaird House and 1 on the light pole at the South Parking lot.

Refer to attached Appendix 2 for proposed site plan, Appendix 3 for proposed photocollage images, and Appendix

5 for proposed lighting products.

Part B

1. Install new hydro meter base on north elevation of building as required for new electrical service.

Construction documents to require contractor to paint metal enclosure a colour that coordinates with

accents on Bovaird House. Refer to attached Appendix 4 for location of meter base and proposed colour

selection. Gas meter and existing vent to be painted as well. Contractor to prepare garden bed between Bovaird

House and Bovaird Drive for future rose garden which will screen utilities from Bovaird Drive.

E. DESCRIPTION OF WORKS

(Please briefly describe the proposed works as they fit within one or more of the categories below; note the specific features that would be affected. Use separate sheets as required; attach appropriate supporting documentation; point form is acceptable):

Rehabilitation and/or Preventative Conservation Measures (e.g. repointing masonry; note which heritage attributes and features would be impacted and where, materials to be used, specifications and techniques):

Major Alterations, Additions and/or New Construction (note which attributes to be impacted, location of work, materials to be used, specifications and techniques):

Restoration (i.e. replicating or revealing lost elements and features; note which attributes to be impacted and where, materials to be used, specifications and techniques):

F. SCOPE OF WORK IMPACTING HERITAGE PROPERTY

(Check all that apply)

See attached drawings and Part 'D' summary.

NEW CONSTRUCTION IS PROPOSED

DEMOLISH

ALTER

EXPAND

RELOCATE

G. SITE STATISTICS (For addition and construction of new structures)

LOT DIMENSIONS FRONTAGE _____ DEPTH _____

LOT AREA _____ m2

EXISTING BUILDING COVERAGE _____ %

BUILDING HEIGHT EXISTING _____ m

PROPOSED _____ m

BUILDING WIDTH EXISTING _____ m

PROPOSED _____ m

ZONING DESIGNATION _____

OTHER APPROVALS REQUIRED: (Check off only if required)

MINOR VARIANCE (COA) _____

SITE PLAN APPROVAL _____

BUILDING PERMIT _____

CONSERVATION AUTHORITY _____

SIGN BYLAW APPROVAL _____

(Note: IF YES, other approvals should be scheduled after the Heritage Permit has been approved by City Council)

H. CHECKLIST OF REQUIRED INFORMATION SUBMITTED

(Check all that apply)

- REGISTERED SURVEY
- SITE PLAN (showing all buildings and vegetation on the property)
- EXISTING PLANS & ELEVATIONS - AS BUILT
- PROPOSED PLANS & ELEVATIONS
- PHOTOGRAPHS
- MATERIAL SAMPLES, BROCHURES, ETC
- CONSTRUCTION SPECIFICATION DETAILS

I. AUTHORIZATION / DECLARATION

I HEREBY DECLARE THAT THE STATEMENTS MADE HEREIN ARE, TO THE BEST OF MY BELIEF AND KNOWLEDGE, A TRUE AND COMPLETE PRESENTATION OF THE PROPOSED APPLICATION.

I UNDERSTAND THAT THIS HERITAGE PERMIT DOES NOT CONSTITUTE A BUILDING PERMIT PURSUANT TO THE ONTARIO BUILDING CODE.

I ALSO HEREBY AGREE TO ALLOW THE APPROPRIATE STAFF OF THE CITY OF BRAMPTON TO ENTER THE SUBJECT PROPERTY IN ORDER TO FULLY ASSESS THE SCOPE AND MERITS OF THE APPLICATION.

(Property entry, if required, will be organized with the applicant or agent prior to entry)

November 9, 2020

Signature of Applicant or Authorized Agent

Date of Submission

Heritage Permit applications are submitted to the Planning, Design and Development Department, 3rd Floor Counter, Brampton City Hall,

The personal information on this form is collected under the authority of the *Ontario Heritage Act*, RSO 1990. The information will be used to process the Heritage Permit Application. Questions about the collection of personal information should be directed to the Heritage Coordinator, 2 Wellington Street West, Brampton, Ontario L6Y 4R2, 905-874-3825.

J. APPROVAL CHECKLIST

(Internal use only)

Authority:

Date:

Resolution:

Brampton Heritage Board

Planning Committee (PDD)

City Council

APPENDIX - HERITAGE REVIEWS IN LAND USE PLANNING PROCESS

Brampton Heritage - Land Use Planning

Policy Context:

Ontario Heritage Act (2005):

The Act provides statutory protection for designated heritage properties including demolition control, enforcement provisions, minimum property standards, etc.

Section 33 of the Ontario Heritage Act states:

“No owner of property designated... shall alter the property or permit the alteration of the property if the alteration is likely to affect the property’s heritage attributes... unless the owner applies to the council of the municipality in which the property is situate and receives consent in writing to the alteration.”

Stronger City of Toronto for a Stronger Ontario Act, 2006:

This new piece of legislation contains certain provisions affecting all municipalities.

The Act amends Ontario Heritage Act; introduces additional statutory protection across Ontario; requires owners of listed properties to give a municipality at least 60 days notice of the owner's intention to demolish or remove a building or structure on the property.

Ontario Planning Act:

Section 2 of the Planning Act declares that the “conservation of features of significant architectural, cultural, historical, archaeological or scientific interest” is a Provincial Interest. Municipal councils, local boards, planning boards and the Ontario Municipal Board shall have regard for this interests as they carry out their responsibilities under the Act.

Provincial Policy Statements - PPS (2005):

The Provincial Policy Statement (PPS, 2005) is the framework for broad, integrated and long term planning. It provides policy direction to municipalities and approval authorities that make decisions on land use planning matters.

All decisions affecting land use planning matters “shall be consistent with” the Provincial Policy Statements.

Section 2.6 sets out the cultural heritage and archaeology policies. The two policies most pertinent are:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

2.6.3 Development and site alteration may be permitted on adjacent lands to protected heritage property where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.

Mitigative measures and/or alternative development approaches may be required in order to conserve the heritage attributes of the protected heritage property affected by the adjacent development or site alteration.

The PPS, 2005, together with the provisions of the Ontario Heritage Act and its regulations strengthens the framework for the identification and protection of Ontario's cultural heritage and archaeological resources.

Building Code:

Part 11 provides compliance alternatives "where the chief building official" is satisfied that compliance with the standard requirements under the Code are impracticable because "it is detrimental to the preservation of a heritage building".

The Code would allow, for instance, the conversion of an older industrial building to residential use without requiring the use of non-combustible construction throughout the building.

Also, where an existing building is subject to material alteration or repair, the Building Code will apply only to those parts of the building that are subject to such work, and the entire building is not required to be brought into compliance with modern standards.

Brampton Official Plan (2006):

4.9.1.3 All significant heritage resources shall be designated as being of cultural heritage value or interest in accordance with the Ontario Heritage Act to help ensure effective protection and their continuing maintenance, conservation and restoration.

4.9.1.8 Heritage resources will be protected and conserved in accordance with the Standards and Guidelines for the Conservation of Historic Places in Canada, the Appleton Charter for the Protection and Enhancement of the Built Environment and other recognized heritage protocols and standards. Protection, maintenance and stabilization of existing cultural heritage attributes and features over removal or replacement will be adopted as the core principles for all conservation projects.

4.9.1.9 Alteration, removal or demolition of heritage attributes on designated heritage properties will be avoided. Any proposal involving such works will require a heritage permit application to be submitted for the approval of the City.

4.9.9.15 Impact on the significant heritage elements of designated and other heritage resources shall be avoided through the requirements of the City's sign permit application system and the heritage permit under the Ontario Heritage Act.

Heritage Considerations Within Land Use Planning Process:

1. Receive notification from Planning and Building staff of proposed development applications, building and demolition permit applications, site plan applications, minor variance applications, informal proposals; (Communication protocols are critical).
2. Circulate information on known heritage resources within subject and adjacent lands to all parties (i.e. City staff, landowner, consultants, etc).
3. Field assessment of the subject lands:
 - documenting all heritage resources including cultural landscapes and other contextual features, natural heritage elements, areas of archaeological potential, standing structures not previously listed or designated, etc.
4. Where necessary, call for heritage impact assessment by qualified heritage consultant affiliated with the Canadian Association of Professional Heritage Consultants (CAPHC).
5. Where necessary, call for archaeological assessment by licensed archaeologist if archaeological potential is apparent.
6. Propose strategies for mitigation tailored to the cultural heritage significance of any affected resources - build consensus; (This seems out of context – maybe additional explanation is needed?)
 - Mitigation can include:
 - retention or partial retention (e.g. front façades);
 - adaptive reuse;
 - heritage designation - as condition of approval;
 - heritage conservation easements;
 - cost sharing agreements;
 - letters of credit;
 - archaeological assessments;
 - documentation;
 - relocation and adaptive reuse;
 - salvage;
 - site security measures;
 - preventative and long term conservation plans;
 - sensitive site avoidance measures.
7. Review and provide comments to City staff upon submission of studies, draft guidelines, heritage impact reports, etc.
8. Provide comments on recommended mitigation.
9. Formalize mitigation measures through conditions in agreements.
10. Brief Brampton Heritage Board and Planning, Design and Development Committee as required.

11. If property is designated under either Part IV or V of the Ontario Heritage Act statutory approval by Council is required (i.e. heritage permit process followed by endorsement of Brampton Heritage Board and approval by Council).
12. Work with landowners to ensure approved mitigation plans are implemented, prepare designation reports and bylaws, negotiate easement agreements and ensure prior to conditions are satisfied.

Planning Processes Where Heritage Reviews May Be Applicable:

Environmental Assessments
Official Plan / Amendments
Secondary Plans / Amendments
Block Plans
Zoning Bylaws / Amendments
Subdivision Agreements
Site Plan Applications / By-laws
Architectural Controls
Minor Variances - Committee of Adjustment
Building Permits
Demolition Permits
Sign Permits
Topsoil stripping permits
Downtown Façade Improvement Loans
Heritage Incentive Grant Program
Capital Works on City Owned Assets
Property Maintenance Standards
Bylaw Enforcement
Public Works (e.g. in Village of Churchville)
Parks Planning

APPENDIX - HERITAGE PERMIT APPLICATIONS - STAFF CHECKLIST

1. Significance of the Heritage Property	Yes	No	N/A
i) Is the current property a prominent local landmark?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Do the proposed changes compliment or contribute to the character of the surrounding streetscape or neighbourhood?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Will the proposed changes be visible from the street or other nearby public areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Does the property hold provincial or national significance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Architectural Heritage Attributes			
i) Is the current building considered to be a good example of a particular style of architecture (e.g. Gothic Revival)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Have the possible impacts on existing architectural heritage attributes been sufficiently considered?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Have measures been taken to protect or avoid impacts to existing architectural heritage attributes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Have sufficient measures been taken with plans and designs to ensure compatibility between new and old?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v) Are any existing architectural heritage attributes being replaced? If so, are these replacement features appropriate, both visually and functionally with the existing structure?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vi) Has the applicant provided justification for the alteration, removal or replacement of existing architectural heritage attributes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vii) Do the proposed works effectively compliment the existing building and its architectural heritage attributes in massing, material(s) composition, design, texture and colour?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

3. Compatibility of Materials and Detailing	Yes	No	N/A
i) Are original materials and detailing being retained and repaired to the greatest degree possible?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Where removal or replacement of original materials and detailing is proposed, has the applicant provided appropriate evidence/rationale for why this is necessary?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Are replacement materials and detailing, as proposed, appropriate and compatible with the following structural elements as applicable:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Foundations	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Wall cladding (e.g. stucco, clapboard, and brick)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Roofing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Chimney and other roof structures	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Exterior trim work and detailing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Windows and doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Porches and verandahs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Fences and retaining walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
• Colour Schemes (i.e. Paint - Exterior colours)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
viii) Are replacement materials similar to or complimentary to the prevailing building or on adjacent properties in the neighbourhood, area or streetscape?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ix) Are conservation/preservation measures, materials and techniques compatible with recognized heritage conservation standards (e.g. natural lime mortar mixes instead of Portland cement, gentle cleaning methods, etc)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
x) Are restoration techniques compatible with recognized heritage conservation standards? Have appropriate measures been taken to ensure protection and avoidance of existing architectural heritage attributes during construction phase?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

4. Windows, Doors, Porches	Yes	No	N/A
i) Are original windows and doors being retained where possible?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Are new windows, if any, consistent in size, shape, configuration, materials, opening and placement?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Are new doors, if any, consistent in size, shape, configuration, materials, opening and placement?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Is the design of the new porch or verandahs, if any, compatible with the character of the existing heritage building(s) and/or surrounding building stock?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Roofs			
i) Is the roofline, roof details and roof pitch consistent with the existing heritage building? (Every effort should be made to respect the predominant roof line and to minimize the impacts.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Are proposed roof vents, solar panels, skylights, dormers and satellite dishes located inconspicuously away from public view and in a manner that does not damage important heritage attributes?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Overall Scale			
i) Is the scale and size of the proposed alteration/addition in keeping with the prevailing character and massing of the existing heritage building(s)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Is the alteration/addition in keeping with the building heights and scale found on adjacent properties and with the immediate streetscape or neighbourhood?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Do upper storey additions compliment the height and roof profile of existing rooflines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

7. Location & Setbacks	Yes	No	N/A
i) Is the proposed alteration or addition (including attached garages, balconies and greenhouses) located in a subordinate location or to the rear of existing heritage building?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) Are the setbacks for this application consistent with those found along the streetscape and in particular with neighbouring structures?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Are new structures or outbuildings to be located in a subordinate location or to the rear of existing heritage building and principle facades?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) If a garage and driveway are proposed, has the impact been minimized by locating them to the rear or to the side of the existing heritage building(s)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Contextual and Natural Heritage Attributes			
i) Do the proposed changes maintain traditional views, vistas and spaces of the property and surrounding neighbourhood?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii) If not, have satisfactory mitigation been outlined?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iii) Do the proposed changes attempt to preserve and maintain existing driveways, walkways, fences and walls that contribute to the character of the grounds surrounding the heritage building?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
iv) Do the proposed changes maintain heritage attributes and features found on the grounds such as front lawns, vistas, mature trees, hedges, and period gardens?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
v) Do fences, walls, gates, pathways, plantings, and light standards reflect the historic presence and character of the property and streetscape or neighbourhood?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vi) Do the proposed changes impact views of the heritage attributes from the street and other public areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
vii) Have appropriate measures been taken to ensure protection and avoidance of existing contextual and natural heritage attributes during construction phase?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Notes:

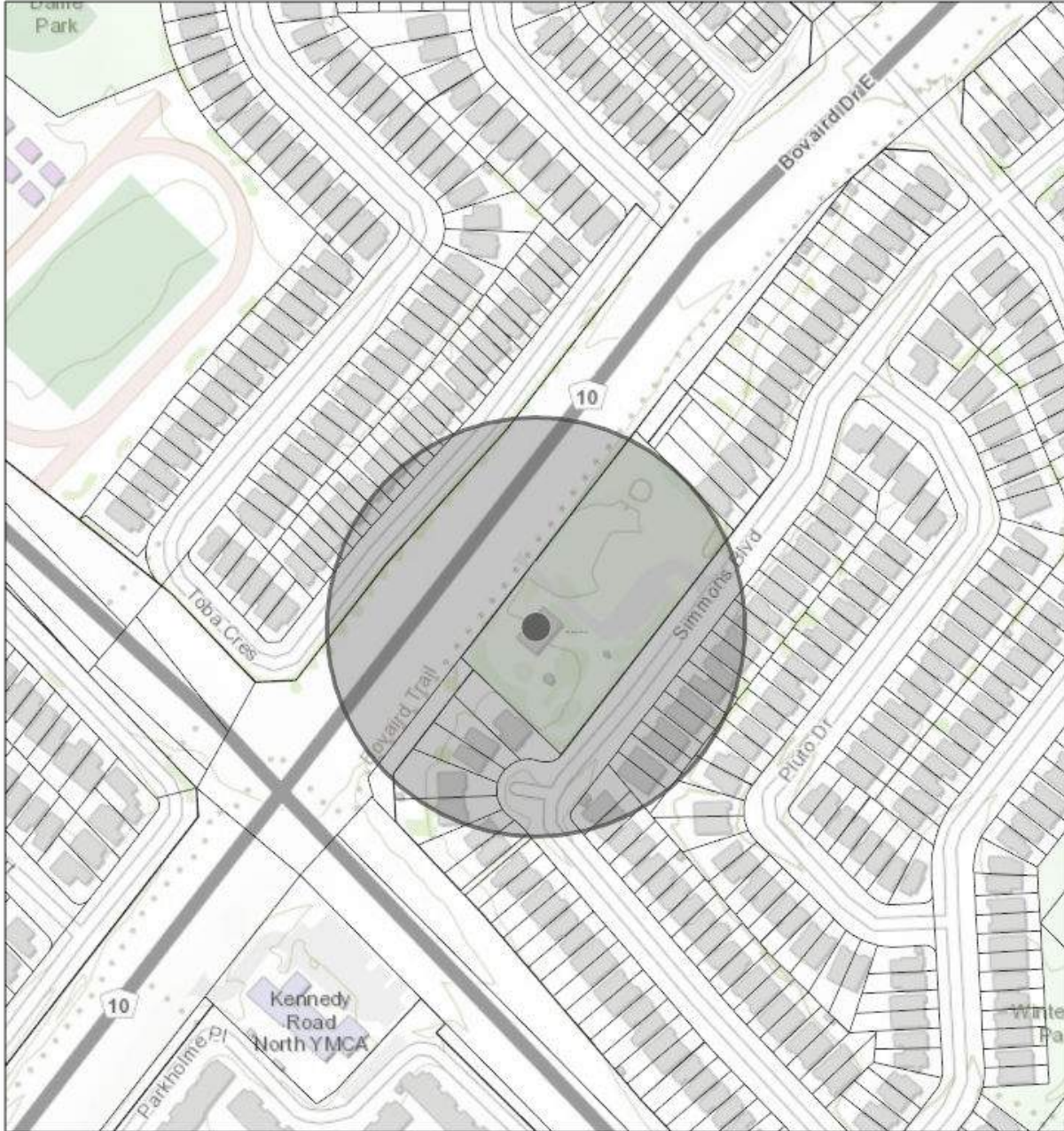
APPENDICES

APPENDIX 1



Brampton Maps Registry

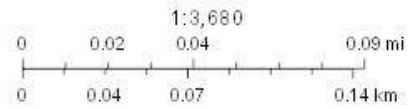


563 Bovaird Drive East



1/22/2019, 5:35:08 PM

-  Property Lines
-  City Limit



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, © OpenStreetMap contributors, and the GIS User Community

Historic Bovaird House Heritage Application

Address Points (Closest Feature)

FULL ADDRESS	WARD	LOT NUMBER
563 BOVAIRD DR E	1	10

Address Points

Ward	Lot Number	Concession Number	City Grid	Secondary Plan Area	Registered Plan Number	Registered Plan Assumption Date
1	10	CON. 2 E.H.S.	H3	9		12/31/1969, 7:00 PM

Draft Plan Number	Site Plan Number	Condo Plan Number	PIN	Township	Committee of Adjustment Number	City File Number
	SP14-042.000		141420006	CHINGUACOUS Y		

Block Plan	Heritage	Property Description	Property Code Description	Property Code	Permit Number	Permit Type
	DESIGNATED	CONC 2 EHS PT LOT 10 RP 43R4637 PART 1	Recreation (non commercial)	1811	17-117791-P01-00-IS	Institutional

Permit Subtype	Permit Work Type	Permit Issue Date	Occupancy Date	Address Type	Roll Number	Legal Description
A2: Museums	New Complete Building	8/9/2017, 5:25 AM	12/31/1969, 7:00 PM	PRIMARY	10-09-0-014-14900-0000	CON 2 EHS PT LOT 10 RP 43R4637 PART 1

Address ID	Civic Number	Street Name	Street Type	Street Direction	Unit Number	City
488958	563	BOVAIRD	DR	E		BRAMPTON

Province	Full Address	Postal Code
ON	563 BOVAIRD DR E	

Building Permits (Closest Feature)

Address	FOLDERRSN	Permit Number
563 Bovaird Dr E Brampton, ON,	731798	14-139951-000-01

Building Permits

ID	Address	Folder RSN	Permit Number	Description	Work Description	Issue Date
37630	563 Bovaird Dr E, Brampton, ON,	731798	14-139951-000-01	Single Family Detached	Revision	3/27/2017, 8:00 PM

Input Date	Status	Date Processed	Builder	Contractor	Expiry Date	Ground Floor Area
3/20/2017, 8:00 PM	Closed	12/31/1969, 7:00 PM			12/31/1969, 7:00 PM	

Second Unit Created	# of Bedrooms	# of Storeys	# of Dwellings

Registered Plan of Subdivision (Closest Feature)

Regional Number	City File Number	Registered Plan Number
21T-77001B	C02E10.002	M-303

Registered Plan of Subdivision

Regional Number	City File Number	Registered Plan Number	Registered Date	Grid	Road Construction Status	Preliminary Acceptance Date
21T-77001B	C02E10.002	M-303	9/3/1979, 8:00 PM	H3	TOP ASPHALT	12/31/1969, 7:00 PM

Underground End of Maintenance Date	Assumption Date	Ward	Agent Company	Applicant Company
12/31/1969, 7:00 PM	11/12/1996, 7:00 PM			

Site Plan Applications (Closest Feature)

File Number	Regional Number	Location
SP14-042.000		563 Bovarid Drive West

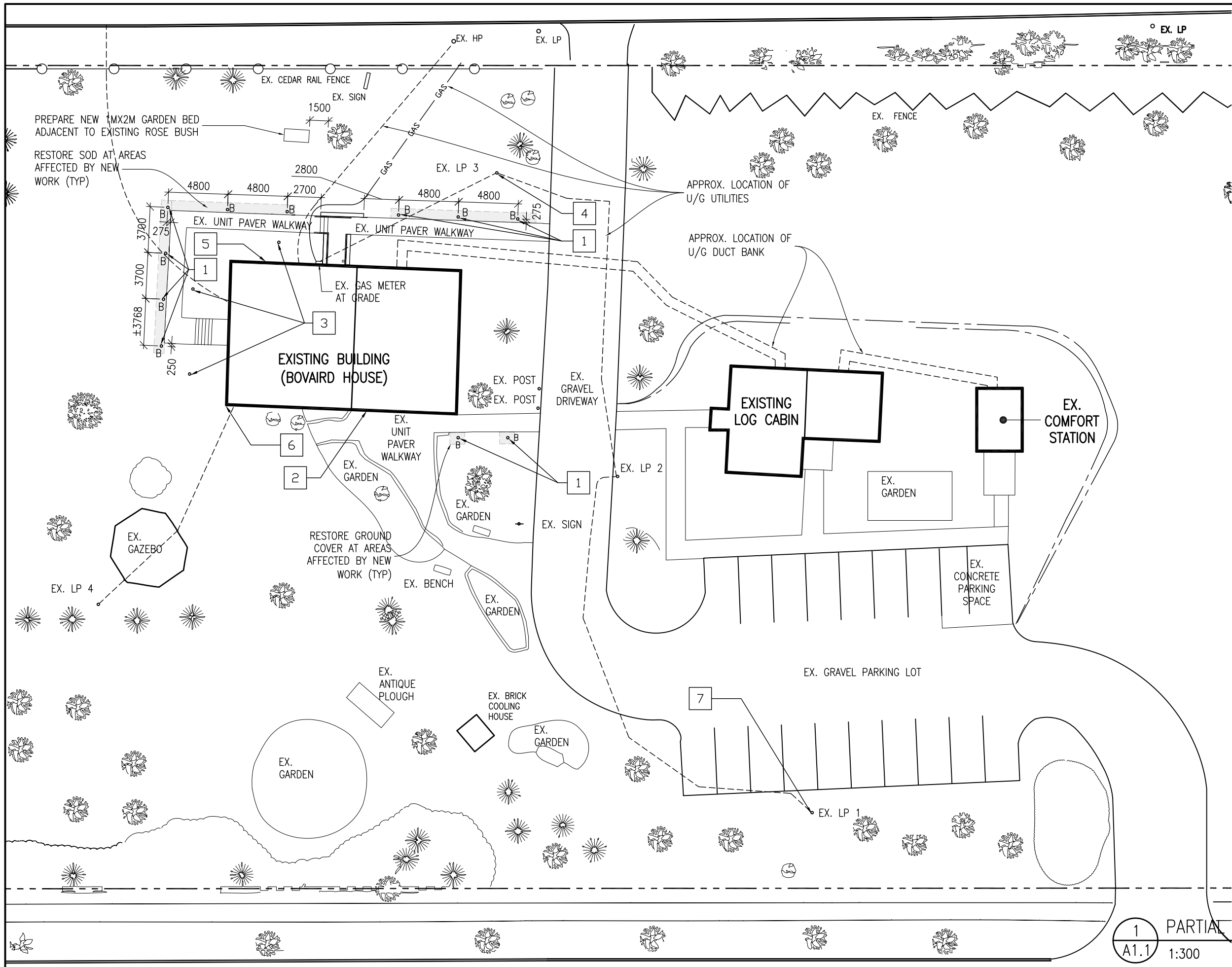
Site Plan Applications

File Number	Regional Number	Location	Date Received	Application Type	Description	Status
SP14-042.000		563 Bovarid Drive West	8/21/2014, 8:00 PM	SP	Application for Site Plan Control	Approved

Application Title	Ward	City Planner	Proposal Description	Agent Company	Applicant Company
THE CORPORATION OF THE CITY OF BRAMPTON	1	Sondic, Jeffrey	Reconstruction of Historic Pendergast Log House and New Proposed Free-Standing Comfort Station, Walkway connections, parking lot improvements. Phase 1 - Log Cabin Approved Sept. 26, 2014 Phase 2 - Free-standing Accessible Washroom Approved March 28, 2017		THE CORPORATION OF THE CITY OF BRAMPTON

APPENDIX 2

Proposed Site Plan



- NOTES:
- 1 INSTALL NEW BOLLARD LIGHT FIXTURE. REFER TO ELEC. REFER TO XX FOR DETAILS. RESTORE SURROUNDING GROUND COVER TO MATCH EXISTING UPON COMPLETION OF WORK.
 - 2 INSTALL NEW SOFFIT LIGHT FIXTURE. REFER TO ELEC. REFER TO xx FOR DETAILS.
 - 3 INSTALL NEW FLOODLIGHT ON NEW CONCRETE BASE. REFER TO xx FOR DETAILS. REFER TO ELEC.
 - 4 REPLACE 2 EXISTING LIGHT FIXTURES ON WOOD POST WITH LED LIGHT FIXTURES. REFER TO ELEC.
 - 5 LOCATION OF NEW METER BASE. REFER TO ELEC. CONTRACTOR TO PAINT METAL AS PER COLOUR SELECTION BY CONSULTANT. REFER TO SPECIFICATIONS
 - 6 INSTALL NEW SECURITY CAMERAS ON BUILDING FACE UNDER EAVE. MATCH EXISTING CONDITIONS. REFER TO ELEC.
 - 7 INSTALL NEW SECURITY CAMERA ON EXISTING LIGHT POLE. REFER TO ELEC.

NOV 9, 2020	ISSUED FOR HERITAGE APPLICATION
DATE	REVISIONS
HISTORIC BOVAIRD HOUSE ELECTRICAL UPGRADES	
563 BOVAIRD DR E, BRAMPTON, ON	
PARTIAL SITE PLAN	
TRUE NORTH	DWG. NORTH
2040	JOB NO.
1:300	SCALE
OCT 2020	DATE
November 9, 2020	PRINTED
MOFFET & DUNCAN architects inc.	DWG. NO.
5052 DUNDAS ST. WEST ISLINGTON, ONT. M9A 1B9 TEL: (416) 238-2775 FAX: (416) 238-8729 EMAIL: info@moffetduncan.ca	A1.1

1 PARTIAL SITE PLAN
A1.1 1:300

DRAWN BY:

APPENDIX 3

Proposed Lighting and Security Camera Location



NORTH ELEVATION (PUBLIC/ACCESSIBLE ENTRANCE)



location of pole mounted light fixture just beyond frame (to NE of entrance)

flood light mounted on concrete base

light bollard



WEST ELEVATION (FORMAL FRONT ENTRANCE)



wall mounted security camera w/ exterior conduit (to match existing)

flood light mounted on concrete base

**HISTORIC BOVAIRD HOUSE
SITE LIGHTING UPGRADES (1)**
NOVEMBER 9, 2020



wall mounted fixture

light bollard



Hydel
3110C 42"H

PROPOSED FIXTURE

HISTORIC BOVAIRD HOUSE
SITE LIGHTING UPGRADES (2)
NOVEMBER 9, 2020

APPENDIX 4

Proposed hydro base meter



PROPOSED LOCATION FOR NEW METER BASE (NORTH ELEVATION)

Upgrading the service to 400A requires replacing the existing base with a new 400A transformer rated meter base.

According to hydro company standards, this 400A meter base has to be installed outside the house at the location nearest to the hydro service entry point.



400A METER BASE

36" x 21" x 8.5"
approx. 80 lbs



PROPOSED PAINT COLOUR FOR METER BASE

Note: Colour was compared on site. Digital representation may vary.

Benjamin Moore
2138-40
Carolina Gull

APPENDIX 5

Lighting product sheets

Catalog Number	
Notes	Type

HLWPC2

Wallpack® Full Cutoff LED



Mechanical

- Heavy grade A360 cast aluminum (aluminum with <1% copper)
- Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering
- Mounts to a standard junction box
- Wet location listed
- IP65 rated housing, down light only
- 3/4" painted threaded entry (3/4" - 14 NPT) on each side and on top, accepts 3/4" and 1/2" conduit
- 3/4" threaded plugs are painted on each side
- Vibration tested to 1.5G per ANSI C136.31.

Electrical

- Certified by UL or CSA
- Rated for -40°C (-40°F) minimum ambient
- A programmable electronic driver with 0-10V control leads
- Available in: 120-277V 50/60 Hz and 347-480V 50/60 Hz,
- Standard: 3000K, 4000K and 5000K CCT (>70 CRI)
- Optional >80 CRI (3000K, 4000K and 5000K CCT)
- Internally mounted emergency battery backup for operation in an ambient temperature ranging from -20°C (-4°F) to 30°C (86°F), available with P10 thru P40 performance packages, non CEC compliant
- All surge protection meets ANSI/IEEE C62.41.2 10kV/10kA
- Standard surge protection is 20kV/10kA per ANSI C136.2
- Optional surge protection is 10kV/5kA per ANSI C136.2

Optical

- Light engine housing is IP66 rated
- Acrylic optical system
 - Type V: E (entry), M (medium), R (rectangle) & W (wide)
 - Asymmetric

Controls

- Field adjustable output (AO)
- Button style photocontrol (PE)
- Motion sensor & ambient photocontrol combination for mounting low (8-15') (MASL) and high (15-30') (MASH) mounting heights

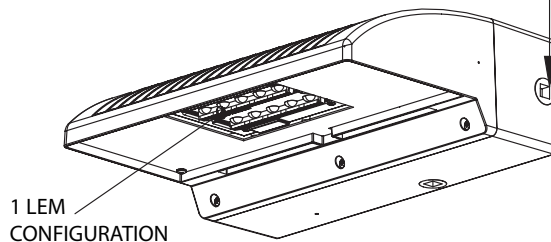
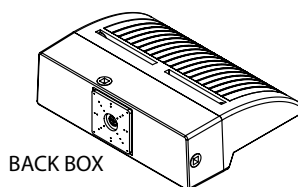
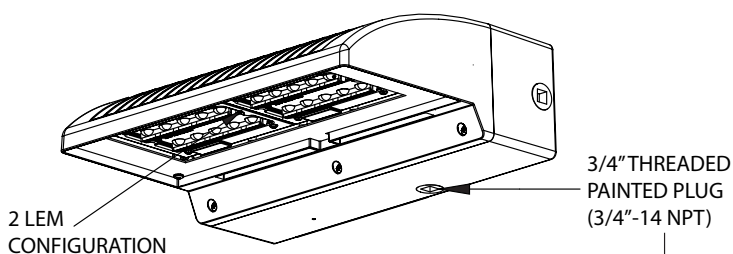
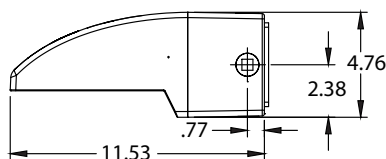
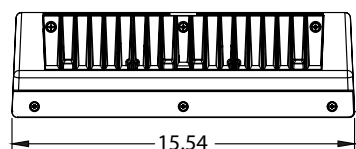
Certification and Standards

- Luminaire is CSA listed, US and Canada
- Suitable for operation in an ambient temperature up to 40°C/104°F per UL or CSA certification
- Design Lights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.
- LM-79 compliant
- The projected LED Lumen Maintenance shall be based only on IES LM-80-08 and TM-21

Warranty

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



Note: Maximum weight 22 lbs.

ORDERING INFORMATION

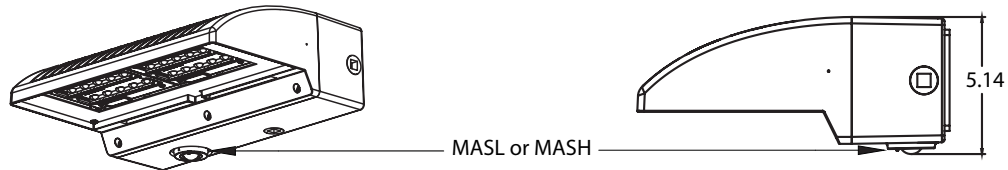
Example: HLWPC2 P20 40K AS T3M BZSDP

Series	Lumen Package	Color Temperature	Voltage	Optics	Color	CRI
HLWPC2 Wallpack Full Cutoff LED	1 LEM Package	AMB True Amber	AS Auto-Sensing Voltage (120V-277V) 50/60HZ	T2S Type 2 Short	BKSDP Black	Blank 70 CRI (STD)
	P10 3,100 lm	30K 3,000 K CCT	AH Auto-Sensing Voltage (347V-480V) 50/60HZ	T2M Type 2 Medium	BZSDP Bronze	80CRI 80 CRI
	P20 5,600 lm	40K 4,000 K CCT		T3S Type 3 Short	GYSDP Grey	
		50K 5,000 K CCT	12 120V	T3M Type 3 Medium	WHS DP White	
	2 LEM Package		20 208V	T4M Type 4 Medium		
	P30 7,800 lm		24 240V	TFTM Forward Throw Medium		
	P40 9,900 lm		27 277V	ASYDF Asymmetric Diffuse		
	P50 11,700 lm		34 347V	SYMDF Symmetric Diffuse		
	(Nominal Lumens, 4000K)		48 480V			

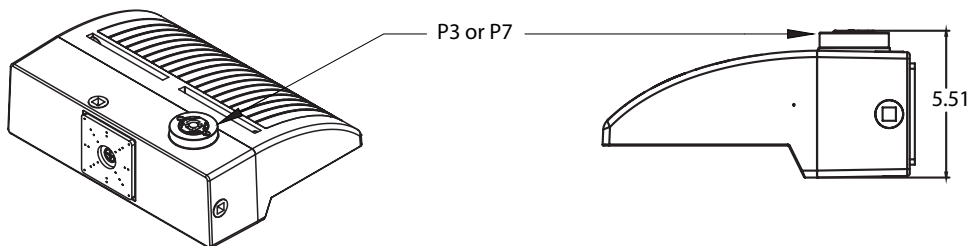
Options:		
<p>Adjustable/Programmable Options</p> <p>A0 Field Adjustable Output</p> <p>Circuit Options</p> <p>2CI 2 Independent Circuits</p> <p>Control - Motion Sensor Options</p> <p>MASL Motion / Ambient Sensor, 8-15' Mounting Height Ambient Sensor Enabled at 1 FC</p> <p>MASH Motion / Ambient Sensor, 15-30' Mounting Height Ambient Sensor Enabled at 1 FC</p>	<p>Control - Photocontrol Options</p> <p>PE Button Style Photocontrol</p> <p>P3 N.E.M.A. Twistlock Receptacle Mount -3 PIN</p> <p>P7 N.E.M.A. Twistlock Receptacle Mount -7 PIN</p> <p>PCLL DTL Long Life Twistlock Photocontrol for Solid State</p> <p>PSC Shorting Cap</p>	<p>Fuse Option</p> <p>SF Single Fuse</p> <p>DF Double Fuse</p> <p>Safety Option</p> <p>EM Integral Emergency Battery</p> <p>TP Tamper Resistant Hardware</p> <p>Surge Protection Option - 20kV/10kA is Standard</p> <p>10KV 10kV/5kA Surge Protection, in place of 20kV/10kA</p>

Options Location

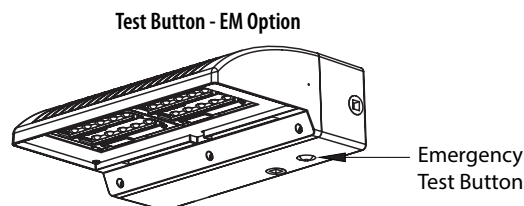
Motion/Ambient Sensor mount options for Low (8-15') (MASL) and Height (15-30') (MASH) applications



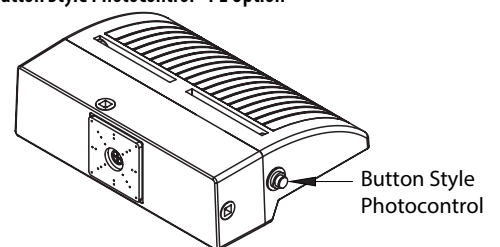
N.E.M.A. Twistlock Receptacle P3 and P7 Options, P7 Shown



Internal Emergency Battery Test Button - EM Option



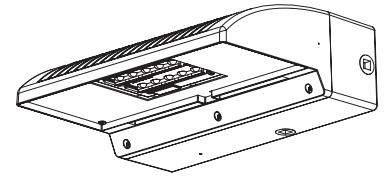
Button Style Photocontrol - PE Option



Driver & LEM Configuration Based on Circuit Options

Number of LEMs & Drivers / Circuit		Single Circuit (std.)		Two Circuit (2CI option)	
		LEMs	Drivers	LEMs	Drivers
Lumen Maintenance Factor	P10	1	1	-	-
	P20	1	1	2	2
	P30	2	1	2	2
	P40	2	1	2	2
	P50	2	1	-	-

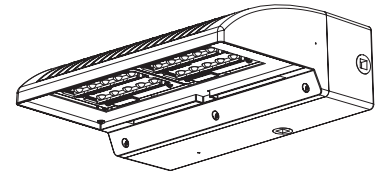
1 LEM Luminaire



SPD Based on Circuit Options

Number of LEMs & Drivers / Circuit		Single Circuit (std.)				Two Circuit (2CI option)			
		LEMs	Drivers	No. of SPDs	SPD	LEMs	Drivers	No. of SPDs	SPD
Lumen Maintenance Factor	P10	1	1	1	20kV/10kA	-	-	-	-
	P20	1	1	1	20kV/10kA	2	2	2	10kV/5kA
	P30	2	1	1	20kV/10kA	2	2	2	10kV/5kA
	P40	2	1	1	20kV/10kA	2	2	2	10kV/5kA
	P50	2	1	1	20kV/10kA	-	-	-	-

2 LEM Luminaire



Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platform noted in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

The italicized data is extrapolated beyond the TM-21 standard.

$$E = (LM) \times (CU) \times (LAT) \times (LLD)$$

LM and CU are obtained from published photometry.

Operating Hours (Standard)		0	25,000	30,000	36,000	45,000	50,000	60,000	75,000	100,000
		Lumen Maintenance Factor	P10	1	0.98	0.97	0.96	0.96	0.95	0.95
P20	1		0.97	0.95	0.94	0.93	0.92	0.90	0.88	0.85
P30	1		0.98	0.97	0.96	0.96	0.95	0.95	0.94	0.92
P40	1		0.97	0.95	0.94	0.93	0.92	0.90	0.88	0.85

Operating Hours (2CI Option)		0	25,000	30,000	36,000	45,000	50,000	60,000	75,000	100,000
		Lumen Maintenance Factor	P10	1	0.99	0.99	0.99	0.99	0.99	0.99
P20	1		0.99	0.99	0.99	0.99	0.99	0.99	0.99	0.99
P30	1		0.98	0.98	0.98	0.98	0.98	0.98	0.98	0.98
P40	1		0.97	0.97	0.97	0.97	0.97	0.97	0.97	0.97

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Single Circuit Application

Ambient		P10	P20	P30	P40	P50
0°C	32°F	1.02	1.03	1.03	1.04	1.05
10°C	50°F	1.01	1.02	1.02	1.03	1.03
20°C	68°F	1.01	1.01	1.01	1.01	1.01
25°C	77°F	1.00	1.00	1.00	1.00	1.00
30°C	86°F	0.99	0.99	0.99	0.99	0.99
40°C	104°F	0.98	0.97	0.98	0.97	0.97

Optional Two Independent Circuit (2CI) Application

Ambient		P20	P30	P40
0°C	32°F	1.02	1.02	1.02
10°C	50°F	1.01	1.01	1.02
20°C	68°F	1.00	1.01	1.01
25°C	77°F	1.00	1.00	1.00
30°C	86°F	0.99	0.99	0.99
40°C	104°F	0.98	0.98	0.98

Electrical Load

Single Circuit Application

LEDs	Drive Current (mA)	System Watts/Circuit	Current (A)					
			120	208	240	277	247	480
P10	700	28	0.23	0.13	0.12	0.10	0.08	0.06
P20	1400	47	0.41	0.24	0.20	0.18	0.14	0.10
P30	1050	71	0.63	0.37	0.32	0.29	0.22	0.18
P40	1420	95	0.78	0.45	0.40	0.35	0.27	0.20
P50	1720	115	0.95	0.55	0.48	0.42	0.33	0.24

Optional Two Independent Circuit (2CI) Application

LEDs	Drive Current (mA)	System Watts/Circuit	Current (A)					
			120	208	240	277	247	480
P10	-	-	-	-	-	-	-	-
P20	700	22	0.10	0.06	0.05	0.04	-	-
P30	1000	32	0.14	0.08	0.07	0.06	-	-
P40	1250	47	0.18	0.10	0.09	0.08	-	-
P50	-	-	-	-	-	-	-	-



3110C LED

Impact Resistant Round Bollard Dome Top

HIGHLIGHTS

- A confident solution for safety and performance in a proven vandal resistant bollard
- Motion Sensing Bi-Level switching using electromagnetic occupancy sensor → 20ft range
- USB receptacle or GFCI receptacle options
- 0-10V Dimming, ELV dimming
- Emergency operation up to 90 minutes
- 1810 lumens

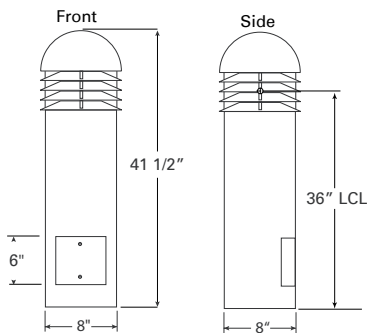
5
YEAR
warranty


IP65

Specifications

Diameter:	9"
	229 mm
Diameter ² :	8"
	204 mm
Height:	42"
	1016 mm
Height ² :	36"
	915 mm
Weight:	35lbs

DIMENSIONS

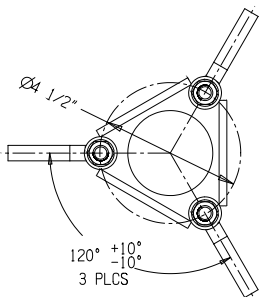


LUMEN PACKAGES

	SYM
Delivered Lumens	1810
Watts	84
LPW	22

Note: Information Based on 50K

MOUNTING



ORDERING INFORMATION

EXAMPLE: 3110C H36 8COB 50K MVOLT SYM BL

Series	Height	Lamp type	Color	Voltage	Distribution	Options ⁴
3110C	H24	4COB ¹	20K	2000°K Color Temp	MVOLT (120-277 volt)	SYM Symmetrical 360° FT³ Forward Throw BLS^{5,6} Bi-Level Switching (Motion Activated) GFCI Receptacle; 120 volt only, cannot be used with USB ELN^{5,7} Emergency Operation (1387.5 lumen output; 90 minutes) LDIM 0-10V Dimming (Dims to 10%) IDIM⁵ In-line Trailing Edge ELV Dimming (Dims to 40%); 120 volt only USB USB charging port, 120 volt only, cannot be used with GFCI
	H36	8COB	30K	3000°K Color Temp	120 ²	
	H42	40K	4000°K Color Temp	277 ²		
		50K	5000°K Color Temp	347		
		AMBLW	Limited wavelength Amber 591 Nanometers			

Finish		Optional Louvers Painted ⁹	
BL Black	STG Steel Gray	<input type="checkbox"/> /PL	Louvers painted to match fixture (top only)
BZ Bronze	TVG Terra Verde Green		
DDB Dark Bronze	WH White		
DNA Natural Aluminum	CF Custom		
GN Green	Z⁹ Zinc Undercoat		
GR Gray	RALTBD RAL Paint Finishes		
SND Sand			

Note: RALTBD for pricing only, replace with applicable RAL call out when ready to order. See the RALBROCHURE for available options. It is recommended that Hydrel products only use textured paint.

ELECTRICAL LOAD

Light Engines	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
8 COB	250mA	72.35	0.603	0.348	0.301	0.261	0.209	0.151
	300mA	83.95	0.700	0.404	0.350	0.303	0.242	0.175

LUMEN AMBIENT TEMPERATURE (LAT) MULTIPLIERS

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.05
10°C	1.03
20°C	1.01
25°C	1.00
30°C	0.99
40°C	0.98

PROJECTED LED LUMEN MAINTENANCE

Data references the extrapolated performance projections for the Fixture platform in a 25°C ambient, based on 13,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

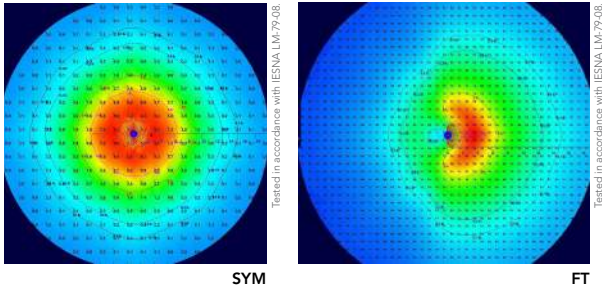
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.00	0.91	0.85	0.75

Notes:

- 4COB for use with 20K and AMBLW only, 20K and AMBLW require 4COB.
- Required with ELN or BLS.
- FT not available with BLS.
- BLS is not available with ELN, LDIM or IDIM.
- ELN and BLS require 120 or 277 voltage, not MVOLT or 347.
- Drive current will be 250.
- ELN not available on 24" height.
- Add zinc undercoat for harsh environments.
- Louvers will be black unless otherwise specified (top only).

PERFORMANCE DATA

Isocandela plots for 3100 COB. To see complete photometric reports or download .ies files for this product, visit www.hydrel.com/



LUMEN OUTPUT

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Contact Factory for performance data on any configuration not shown here.

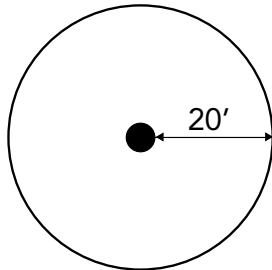
Light Engines	Distribution	Drive Current	System Watt	Lumens	LPW	B	U	G
3000K	SYM	250*	72	1300	18	1	2	1
		300	84	1525	18	1	2	1
4000K	SYM	250*	72	1320	18	1	2	1
		300	84	1535	18	1	2	1
5000K	SYM	250*	72	1535	21	1	2	1
		300	84	1810	22	2	2	1
2000K	SYM	1050	72	900	13	1	2	1

*Used with IDIM and BLS options.

LED LIFE: L70/125,000 hours

OPERATING TEMPERATURE: -20°C Through 50°C
 -40°C Through 50°C with IDIM & BLS options

APPROXIMATE MOTION SENSOR COVERAGE AREA:



SPECIFICATIONS AND FEATURES

MATERIAL: Copper-free aluminum, A360.

LED ARRAY: 72W and 84W (total system input wattage) Lumen maintenance of individual light sources have been independently tested to IESNA LM-80 standards. All within 3 MacAdam ellipses.

VOLTAGE: MVOLT 50/60Hz, 120, 277 or 347

DISTRIBUTION: SYM - Symmetric, FT - Forward Throw

LENS: Frosted borosilicate glass.

POWER SUPPLY: Integrally mounted LED driver run at 300mA, -20°C through 50°C standard. Alternate driver run at 250mA, -40°C through 50°C used with IDIM and BLS.

FINISH: Super durable polyester TGIC powder coat finish (standard). Optional zinc undercoat for harsh environments.

FASTENERS: Stainless Steel.

LISTING: cCSAus, suitable for wet locations, laboratory tests conducted by CSA to UL Standard UL-1598 and UL-8750.

WARRANTY: 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Consult factory for details.

NOTE: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.