



Agenda
Committee of Adjustment
The Corporation of the City of Brampton

Date: Tuesday, June 20, 2023
Time: 9:00 a.m.
Location: Hybrid Meeting - Virtual Option & In-Person in Council Chambers – 4th Floor – City Hall
Members: Ron Chatha
Jarmanjit Singh Dehriwal
Sukhpal Khaira
Baljit Mand
James Reed
Sarbjeeet Saini
Jotvinder Sodhi
Thisaliny Thirunavukkarasu
Manoharan Vaithianathan

The CoA meeting agenda, including minor variance and consent applications only, is published two Fridays prior to the scheduled Hearing date and the revised agenda, including staff reports and additional correspondence, etc. related to each application, is published the Friday prior to the scheduled Tuesday Hearing date.

For inquiries about this agenda, or to make arrangements for accessibility accommodations (some advance notice may be required), please contact:
Jeanie Myers, Secretary-Treasurer, Telephone 905.874.2117, cityclerksoffice@brampton.ca

-
1. Call to Order
 2. Adoption of Minutes
 3. Region of Peel Comments
 4. Declarations of Interest under the Municipal Conflict of Interest Act
 5. Withdrawals/Deferrals

Letter dated June 1, 2023, from Manupriya Sharma, applicant and owner of the property advising that Applications B-2022-0003, A-2022-0047 and A-2022-0048 for the property municipally known as 43 David Street are Withdrawn.

6. NEW CONSENT APPLICATIONS

- 6.1 **B-2023-0017**

SUKHJEEVAN CHATTHA

18 BEAMISH COURT

PART OF LOT 2, PLAN 1002, WARD 10

The purpose of the application is to request the consent of the Committee of Adjustment to the grant of an easement having a width of approximately 2.0 metres (6.56 feet) and an area of approximately 239.4 square metres (0.06 acres). It is proposed that a servicing easement (sanitary sewer) be established in favour of the abutting property to the west municipally known as 16 Beamish Court.

6.2 B-2023-0018

DANIELS CHOICE MOUNT PLEASANT CORPORATION

40 LAGERFELD DRIVE

PART OF BLOCK 4, PLAN 43M-1927, WARD 6

The purpose of the application is to request the consent of the Committee of Adjustment for conveyance of Part of Block 4, Plan 43M-1927 to provide for a stratified lot addition of lands currently under ownership of the East Parcel (rental); to the West Parcel of land (future condominium). The effect of the application is to amend ownership boundaries by merging select Parts at grade and in the shared underground garage with the West Parcel of land municipally known as 10, 20 and 30 Lagerfeld Drive. (Concurrent Consent Application B-2023-0019).

6.3 B-2023-0019

DANIELS MPV CORPORATION

10, 20 AND 30 LAGERFELD DRIVE

PART OF BLOCK 4, PLAN 43M-1927, WARD 6

The purpose of the application is to request the consent of the Committee of Adjustment for conveyance of Part of Block 4, Plan 43M-1927 to provide for a stratified lot addition of lands currently under ownership of the West Parcel (future condominium) to the East Parcel of land (rental). The effect of the application is to amend ownership boundaries by merging select Parts at grade and in the shared underground garage with the East Parcel of land municipally known as 40 Lagerfeld Drive. (Concurrent Consent Application B-2023-0018).

7. DEFERRED CONSENT APPLICATIONS

8. NEW MINOR VARIANCE APPLICATIONS

8.1

A-2023-0146

JOGINDER SINGH AND SUKHWINDER KAUR

4 BROAD OAK COURT

LOT 125, PLAN M-740, WARD 4

The applicants are requesting the following variance(s):

1. To permit a below grade entrance in a required interior side yard whereas the by-law does not permit a below grade entrance to be located in a required interior side yard;
2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

8.2

A-2023-0147

YIHUA SHI

34 MERGANSER CRESCENT

LOT 31, PLAN M-615, WARD 3

The applicant is requesting the following variance(s):

1. To permit a below grade entrance in a required side yard whereas the by-law does not permit a below grade entrance to be located in a required interior side yard;
2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 0.3m (0.98 ft) provided the opposite side yard has a minimum setback of 1.2m (3.94 ft.);
3. To permit a 0.9m (2.95 ft) path of travel to the principal entrance leading to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit.

8.3

A-2023-0148

JASBIR KAUR, ARSHDEEP PANNU AND NAVNEET PANNU

6 BROOKDALE CRESCENT

LOT 201, PLAN 651, WARD 7

The applicants are requesting the following variance(s):

1. To permit a building height of 8.41m (27.60 ft) whereas the by-law permits a maximum building height of 7.6m (24.93 ft.);
2. To permit a rear yard setback of 8m (26.25 ft.) whereas the by-law requires a minimum rear yard setback of 8.38m (27.50 ft.);
3. To permit a lot coverage of 34.94%, whereas the by-law permits a maximum lot coverage of 30%.

8.4

A-2023-0149

TARLOCHAN SINGH AND GURWINDER KAUR SINGH

37 ESKER DRIVE

LOT 144, PLAN 537, WARD 2

The applicants are requesting the following variance(s):

1. To permit a driveway width of 8.9m (29.20 ft.) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
2. To permit 0.54m (1.77 ft.) of permeable landscaping adjacent to the side lot line whereas the by-law requires a minimum 0.6m (1.97 ft.) of permeable landscaping adjacent to the side lot line.

8.5

A-2023-0150

NELSON UMANA AND FATIMA MORALES

62 GARSIDE CRESCENT

PART OF LOT 159, PLAN 866, WARD 8

The applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an interior side yard setback of 1.72m (5.64 ft.) to the exterior stairway leading to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 3.0m (9.84 ft.);
3. To permit an existing attached carport with an interior side yard setback of 0.46m (1.51 ft.) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft) to an attached carport;
4. To permit a lot coverage of 34.98%, whereas the by-law permits a maximum lot coverage of 33.3.

8.6

A-2023-0151

VAQAR HASAN AND MAHIRA VAQAR

43 KEMPSFORD CRESCENT

LOT 391, PLAN 43M-1986, WARD 6

The applicants are requesting the following variance(s):

1. To permit a below grade entrance in a required interior side yard whereas the by-law does not permit a below grade entrance to be located in a required interior side yard;
2. To permit a 0.03m (0.098 ft.) interior side yard setback to a below grade entrance, with a combined side yard setback of 0.67m (2.20 ft.) whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft) on one side provided that the combined total for both interior lots is 1.8m (5.91 ft.).

8.7

A-2023-0152

SANDEEP RAJ AND KAMLESH RAJ

96 TOBA CRESCENT

LOT 1, PLAN M-1051, WARD 2

The applicants are requesting the following variance(s):

1. To permit an existing above grade door in the side wall where a minimum side yard width of 1.00m (3.28 ft.) is provided extending from the front wall of the dwelling up to the door whereas the by-law does not permit a door in the side wall unless there is a minimum side yard width of 1.2m (3.94 ft.) extending from the front wall of the dwelling up to and including the door;
2. To permit a 1.00m (3.28 ft) path of travel leading to the primary entrance to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit.

8.8

A-2023-0153

SUVANSH MEHTA AND SHRUTI RAIBAGI

21 DANESBURY CRESCENT

LOT 272, PLAN 742, WARD 7

The applicants are requesting the following variance(s):

1. To permit a below grade entrance between the main wall of a dwelling and the front lot line whereas the by-law does not permit below grade entrances between the main wall of the dwelling and the front lot line;
2. To permit a front yard setback of 7.1m (23.30 ft) to a below grade entrance whereas the by-law requires a minimum front yard setback of 7.6m (24.93 ft);
3. To permit an existing building addition (sunroom) with a rear yard setback of 5.2m (17.06 ft) whereas the by-law requires a minimum rear yard setback of 7.6m (24.93 ft).

8.9 A-2023-0154

RISHA RAM SHARMA

11575 DIXIE ROAD

PART OF LOT 17, CONCESSION 4 EHS, PART 3, PLAN 43R-39463, WARD 9

The applicant is requesting the following variance(s):

1. To permit a place of worship use whereas the by-law does not permit a place of worship in an Agricultural zone.

8.10 A-2023-0155

KISHORE NABIN LUIINTEL AND SMEETA ADIGA

11 JORDENSEN DRIVE

PART OF LOT 83, PLAN 43M-1751, PART 5, PLAN 43R-32069, WARD 5

The applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an exterior side yard setback of 0.05m (0.16 ft.) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 1.2m (3.94 ft.).

8.11 A-2023-0156

PUNEET THAKRAL AND GANGA BISHT

150 VANHORNE CLOSE

LOT 165, PLAN 43M-1922, WARD 6

The applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an exterior side yard setback of 0.07m (0.23 ft.) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 1.2m (3.94 ft.).

8.12

A-2023-0157

ROBERT BOURNE AND GAZINA BOURNE

61 ISABELLA STREET

PART OF LOT 2, PLAN BR-5, PART 3, PLAN 43R-24563, WARD 1

The applicants are requesting the following variance(s):

1. To permit an existing accessory structure (shed) having a gross floor area of 31.21 sq. m (335.94 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
2. To permit an existing accessory structure (shed) having a height of 3.96m (13 ft.) whereas the by-law permits a maximum height of 3.0m (9.84) for an accessory structure.

8.13

A-2023-0158

UPASANA AHLUWALIA, AJIT MOHAN AHLUWALIA, SIDDARTH AHLUWALIA AND
SAKSHAM AHLUWALIA

233 MOUNTAINBERRY ROAD

LOT 28, PLAN M-1132, WARD 10

The applicants are requesting the following variance(s):

1. To permit an as-built above grade side entrance with a side yard setback of 1.05m (3.44 ft) extending from the front wall of the dwelling up to and including the door whereas the by-law only permits an above grade side entrance where the side yard within which the door is located has a minimum width of 1.2m (3.94 ft) up to and including the door;
2. To permit a 1.05m (3.44 ft) path of travel leading to the principal entrance to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit;
3. To permit a landing 0.69m (2.27 ft) above grade accessing a principal entrance to a second unit whereas the by-law requires the principal entrance to a second unit be accessed by a landing less than 0.6m (1.97 ft) above ground level;
4. To permit an existing driveway width of 7.85m (25.75 ft) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
5. To permit 0m of permeable landscaping adjacent to the side lot line whereas the by-law requires a minimum of 0.6m (1.97 ft.) of permeable landscaping adjacent to the side lot line.

8.14

A-2023-0159

ANTHONY MAXIN AND TERESA FRANCIS

38 TIANALEE CRESCENT

PART OF BLOCK 127, PLAN 43M-1560. PART 1, PLAN 43R-29677, WARD 6

The applicants are requesting the following variance(s):

1. To permit a below grade stairs to be located 7.45m (24.44 ft.) from the Trans Canada Pipeline right-of-way whereas the by-law requires that no permanent structures shall be located within 10.0m (32.80 ft.) of the limit of the Trans Canada Pipeline right-of-way;
2. To permit an existing deck to be located 6.66m (21.85 ft.) from the Trans Canada Pipeline right-of-way whereas the by-law requires that no permanent structures shall be located within 10.0m (32.80 ft.) of the limit of the Trans Canada Pipeline right-of-way.

8.15

A-2023-0160

RAMINDER PAL SINGH SAINI AND BALJEET SAINI

84 BLUE BONNETT DRIVE

LOT 31, PLAN M-0117, WARD 4

The applicants are requesting the following variance(s):

1. To permit an existing building addition having a rear yard setback of 5.34m (17.52 ft.) whereas the by-law requires a minimum rear yard setback of 7.5m (24.60 ft.).

8.16

A-2023-0161

ICYLIN BROWN AND ANGEL BROWN

1 STILLMAN DRIVE

PART OF LOT 84, PLAN 43M-1751, PART 8, PLAN 43R-32069, WARD 5

The applicants are requesting the following variance(s):

1. To permit a proposed below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit below grade entrances between the main wall of the dwelling and the flankage lot line;
2. To permit an existing accessory structure (shed) in the exterior side yard whereas the by-law does not permit accessory structures to be located within the exterior side yard;
3. To permit a fence in the exterior side yard having a height of 2.4m (7.87 ft.) whereas the by-law permits a maximum fence height of 2.0m (6.56 ft.).

8.17

A-2023-0162

RAKSHANDA SHAHID

36 BONNIE BRAES DRIVE

PART OF LOT 296, PLAN 43M-1883, PARTS 1 AND 2, PLAN 43R-35054, WARD 4

The applicant is requesting the following variance(s):

1. To permit an existing open-roofed porch to encroach 7.0m (22.97 ft.) into the required rear yard, resulting in a rear yard setback of 0.5m (1.64 ft.) whereas the by-law permits a maximum encroachment of 2.0m for an open-roofed porch, resulting in a rear yard setback of 5.5m (18.04 ft.);
2. To permit an interior side yard setback of 0.5m to an existing open-roofed porch (1.64 ft.) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.);
3. To permit a rear yard encroachment of 6.89m (22.60 ft.) resulting in a rear yard setback of 0.61m (2 ft.) to an existing deck whereas the by-law permits a maximum rear yard encroachment of 1.8m (5.91 ft.) resulting in a rear yard setback of 5.7m to the existing deck;
4. To permit an interior side yard setback of 0.33m (1.08 ft.) to an existing deck whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

8.18

A-2023-0163

KIRANKUMAR PATEL AND PURVI PATEL

10 DALKEITH COURT

LOT 116, PLAN 43M-1931, WARD 4

The applicants are requesting the following variance(s):

1. To permit a commercial school (tutoring classes for a maximum of seven students) as a home occupation whereas the by-law does not permit a home occupation where the occupation creates a nuisance.

8.19

A-2023-0164

SATINDER SINGH CHATHA, SATWINDER KAUR CHATHA, AVTAR CHATHA AND DALJIT CHATHA

1 ANTLE DRIVE

LOT 129, PLAN 43M-1613, WARD 1

The applicants are requesting the following variance(s):

1. To permit an existing driveway width of 9.91m (32.51 ft.) whereas the by-law permits a maximum driveway width of 7.32m (24 ft.);
2. To permit 0.0m of permeable landscaping abutting the property line whereas the by-law requires a minimum 0.6m (1.97 ft.) of permeable landscaping abutting the property line.

8.20

A-2023-0165

RAVINDER SINGH

86 CLEARFIELD DRIVE

PART OF BLOCK 110, PLAN 43M-1810, PARTS 9 AND 10, PLAN 43R-34577, WARD 10

The applicants are requesting the following variance(s):

1. To permit a below grade entrance in the required interior side yard whereas the by-law does not permit a below grade entrance in the required interior side yard;
2. To permit an interior side yard setback of 0.97m (3.18 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

8.21

A-2023-0166

PARAMPAL SINGH JANDU AND AMANDEEP KAUR SANDHU

48 EMERALD COAST TRAIL

LOT 2, PLAN 43M-2045, WARD 6

The applicants are requesting the following variance(s):

1. To permit a below grade entrance in the required interior side yard whereas the by-law does not permit a below grade entrance in the required interior side yard;
2. To permit an interior side yard setback of 0.01m (0.03 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

8.22

A-2023-0167

RANJEET KAUR AND GURPREET SINGH

50 GREAT PLAINS STREET

LOT 103, PLAN M-1232, WARD 9

The applicants are requesting the following variance(s):

1. To permit a below grade entrance in the required interior side yard whereas the by-law does not permit a below grade entrance in the required interior side yard;
2. To permit an interior side yard setback of 0.02m (0.07 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

8.23

A-2023-0169

PARMINDER DHALIWAL

47 KOOTENAY PLACE

LOT 290, PLAN M-1505, WARD 10

The applicant is requesting the following variance(s):

1. To permit a front yard setback of 5.15m (16.90 ft.) to an attached garage whereas the by-law requires a minimum front yard setback of 6.0m (19.68 ft.);
2. To permit a building to be located 8.87m (29.10 ft.) from a Floodplain Zone whereas the by-law requires a minimum setback of 10m (32.80 ft.) to a Floodplain Zone;
3. To permit a cumulative garage door width of 9.75m (32 ft.) whereas the by-law permits a maximum garage door width of 5.5m (18 ft.);
4. To permit a cumulative interior garage width of 11.69m (38.35 ft.) whereas the by-law permits a maximum interior garage width of 6.4m (21 ft.);
5. To permit a driveway width of 19.06m (62.53 ft.) whereas the by-law permits a maximum driveway width of 9.14m (30 ft.).

8.24

A-2023-0170

AIRPORT 407 BUSINESS CAMPUS LIMITED PARTNERSHIP, AIRPORT 407
BUSINESS CAMPUS G.P INC. AND AIRPORT 407 BUSINESS CAMPUS INC.

40 DRIVER ROAD

PART OF LOT 15, CONCESSION 7 SOUTHERN DIVISION, WARD 8

The applicant is requesting the following variance(s):

1. To permit a maximum building height of 18.2m (59.8 ft.) whereas the by-law permits a maximum building height of 17.5m (57.4 ft.).

8.25

A-2023-0171

NAGHMANA ARSHAD AND SHAKEEL AHMED

1 BROWNBUSH WAY

LOT 56, PLAN 43M-1934, WARD 9

The applicants are requesting the following variance(s):

1. To permit a parking space depth of 3.69m (12.11 ft.) whereas the by-law requires a minimum parking space depth of 5.4m (17.72 ft.).

8.26

A-2023-0172

THE SACCO GROUP LTD.

3 CHAPEL STREET

LOT 1, PLAN BR-2, WARD 3

The applicant is requesting the following variance(s):

1. To permit a place of amusement (commercial golf simulator) whereas the by-law does not permit the proposed use.

9.

DEFERRED MINOR VARIANCE APPLICATIONS

9.1

A-2022-0022

BRANTHAVEN CREDITVIEW INC.

8940 CREDITVIEW ROAD

PART OF LOT 5, CONCESSION 4 W.H.S., PART 1, PLAN 43R-14727, WARD 4

The applicant is requesting the following variance(s):

1. To permit a temporary sales office for a period of three (3) years whereas the by-law does not permit the proposed use in an Agricultural Zone.

9.2**A-2023-0051**

PARTH SHAH AND HINAL PARTH SHAH

4 RAIN LILY LANE

PART OF LOT 65, PLAN M-1114, PART 16, PLAN 43R-20429, WARD 9

The applicants are requesting the following variance(s):

1. To permit a below grade entrance on a lot containing a quattroplex whereas the by-law only permits a below grade entrance in a single detached, semi detached or townhouse dwelling;
2. To permit a side yard setback of 1.29m (4.23 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.);
3. To permit a second dwelling unit (basement apartment) on a lot containing a quattroplex whereas the by-law only permits a second dwelling unit in a single detached, semi detached or townhouse dwelling.

9.3**A-2023-0056**

ABHISHEK SINGH TANWAR AND MANISHA TANWAR

24 GRAND RIVER COURT

PART OF BLOCK G, PLAN M-95, PARTS 53, 53A AND 53B, PLAN 43R-3631, WARD 8

The applicants are requesting the following variance(s):

1. To vary Schedule 'C', Section 128 of the by-law to permit a carport located outside the approved building envelope whereas the by-law requires that all buildings be constructed in accordance with Schedule 'C', Section 128 to the by-law;
2. To permit an existing accessory structure (shed) having a setback of 0.54m (1.78 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest lot lines for an accessory structure.

9.4 A-2023-0065

WAHEGURU EMPIRE INC.

2 LOWRY DRIVE

PART OF BLOCK O, PLAN M-286, PARTS 1, 2, PLAN 43R-22070, WARD 2

The applicant is requesting the following variance(s):

1. To permit a place of commercial recreation (basketball/badminton courts) as a permitted use whereas the by-law does not permit a place of commercial recreation.

9.5 A-2023-0113

OM JAKHU AND CHANDER KANTA JAKHU

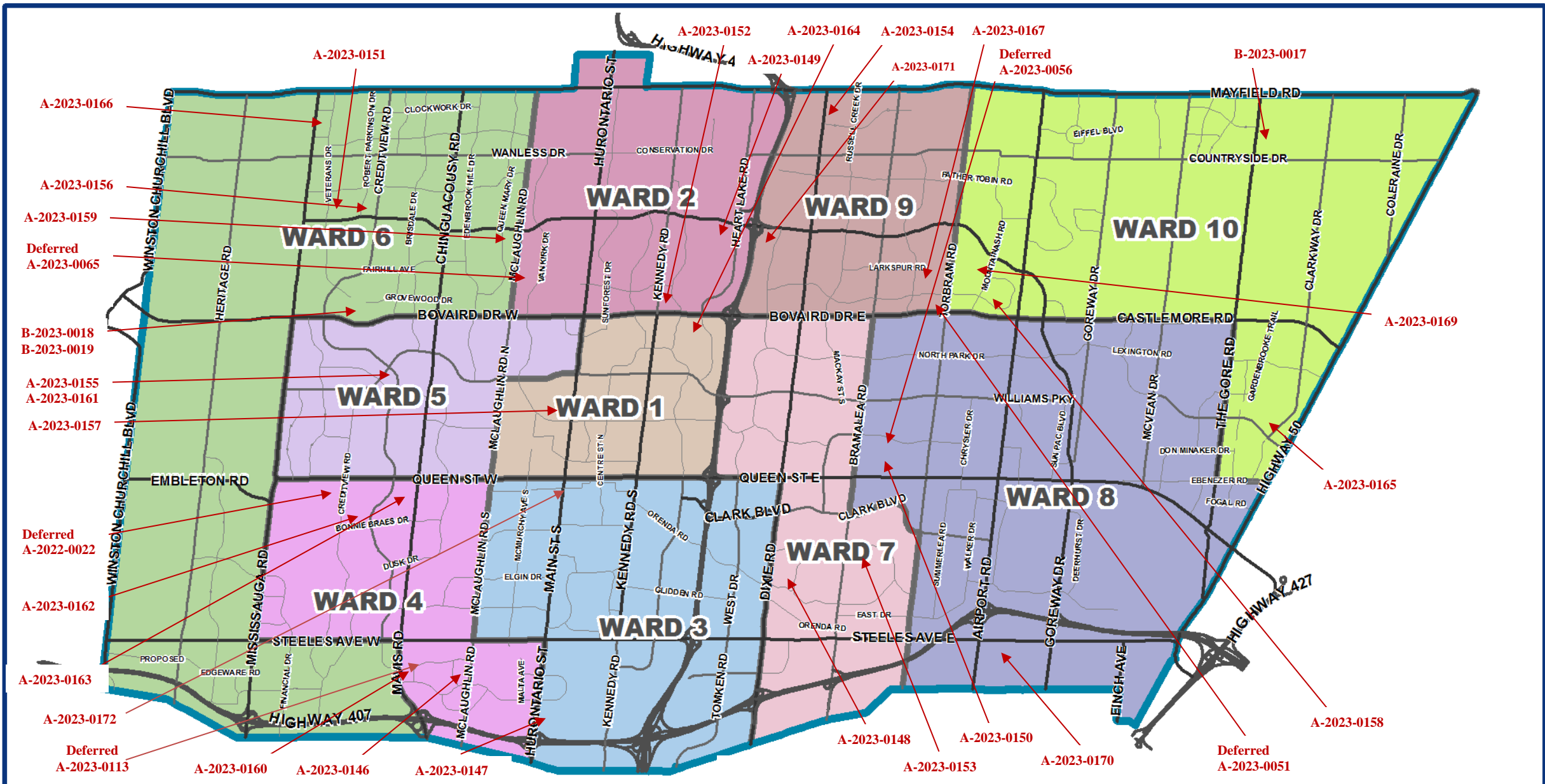
18 SCARLETT DRIVE

LOT 156, PLAN M-740, WARD 4

The applicants are requesting the following variances(s):

1. To permit a driveway width of 9.18m (30 ft.) whereas the by-law permits a maximum driveway width of 7.32m (24ft.).

10. Adjournment



RECEIVED

JUN 02 2022

Hello,

OFFICE

Subject Property : 43 David Street - B-2022-0003 - A-2022-0047 &
A-2022-0048

When I initially purchased this property, I did my due diligence to ensure this is not a Heritage property (Listed/Designated).

I had no idea about the city's internal list of properties, which I think should have been disclosed or mentioned to me by the city staff in March 2021 when I reached out to them before purchasing this property to ensure about its Heritage Status.

Since, this application is going in a totally different direction which was not in scope of my initial project, therefore I would like to **withdraw** my application.

Hence, I am withdrawing my application.

Thankyou for your time.

Manupriya Sharma.

Manupriya Sharma
June 9, 2023

APPLICATION # B-2023-0017
Ward # 10

NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made **SUKHJEEVAN CHATTHA**

Purpose and Effect

The purpose of the application is to request the consent of the Committee of Adjustment to the grant of an easement having a width of approximately 2.0 metres (6.56 feet) and an area of approximately 239.4 square metres (0.06 acres). It is proposed that a servicing easement (sanitary sewer) be established in favour of the abutting property to the west municipally known as 16 Beamish Court.

Location of Land:

Municipal Address: 18 Beamish Court Former Township: Toronto Gore

Legal Description: Part of Lot 2, Plan 1002

Meeting

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

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LAST DAY FOR RECEIVING COMMENTS: JUNE 15, 2023

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NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	NO	File Number:

Decision and Appeal

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Local Planning Appeal Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Local Planning Appeal Tribunal Act*. The appeal form is available from the Environment and Land Tribunals Ontario website at www.elfto.gov.on.ca

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS **2nd Day of June, 2023**

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
Jeanie.myers@brampton.ca
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Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Consent

(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the PLANNING ACT, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) Name of Owner/Applicant Sukhjeevan Chattha
(print given and family names in full)

Address 18 Beamish Court, Brampton, ON, L6P0X8

Phone # (905) 965-3967 Fax #

Email sukhjeevan.chattha@gmail.com

(b) Name of Authorized Agent same as above

Address

Phone # Fax #

Email

2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.

Specify: Proposed 2 meter wide easement to facilitate sewer line to adjacent west property- to provide a servicing easement (sanitary sewer) over 18 Beamish Court in favour of 16 Beamish Court.

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.

Harpreet K. Chattha (owner of 16 Beamish Court, Brampton)

4. Description of the subject land ("subject land" means the land to be severed and retained):

a) Name of Street Beamish Court Number 18

b) Concession No. Lot(s)

c) Registered Plan No. 1002 Lot(s) Part of Lot 2

d) Reference Plan No. Lot(s)

e) Assessment Roll No. 10-12-0-003-21800-0000 Geographic or Former Township Brampton

5. Are there any easements or restrictive covenants affecting the subject land?

Yes No
Specify:

6. Description of severed land: (in metric units)

a) Frontage 94.0m Depth 2.00m Area 239.4 sq.m

b) Existing Use Residential Proposed Use Residential

c) Number and use of buildings and structures (both existing and proposed) on the land to be severed:
 (existing) N/A
 (proposed) N/A

d) Access will be by:

	Existing	Proposed
Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f) Water supply will be by:

	Existing	Proposed
Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify):	<u></u>	

g) Sewage disposal will be by:

	Existing	Proposed
Publicly owned and operated sanitary sewer system	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Privy	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify):	<u></u>	

7. Description of retained land: (in metric units)

a) Frontage 86.5m Depth 104.89m Area 9071.13 sq.m

b) Existing Use Residential Proposed Use Residential

c) Number and use of buildings and structures (both existing and proposed) on the land to be retained:
 (existing) 1 residential dwelling
 (proposed) no dwelling proposed

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	_____	

g)	Sewage disposal will be by:	Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input type="checkbox"/>	<input type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	_____	

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	<u>Estate Residential, ER</u>	<u>Estate Residential, ER</u>
Official Plans		
City of Brampton	<u>26 Toronto Gore Rural Estate</u>	_____
Region of Peel	_____	_____

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☐ No ☒

File # _____ Status/Decision _____

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☒

Date of Transfer _____ Land Use _____

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment	N/A	
Zoning By-law Amendment	N/A	
Minister's Zoning Order	N/A	
Minor Variance	N/A	
Validation of the Title	N/A	
Approval of Power and Sale	N/A	
Plan of Subdivision	N/A	

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*? Yes ☐ No ☒

13. Is the subject land within an area of land designated under any Provincial Plan? Yes ☐ No ☒

14. If the answer is yes, does the application conform to the applicable Provincial Plan? Yes ☐ No ☒

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the City of Brampton
this 31st day of March, 2023.

Check box if applicable:

Signature of Applicant, or Authorized Agent, see note on next page

☐ I have the authority to bind the Corporation

DECLARATION

I, Sukhjeevan Singh Chattha of the City of Brampton
in the County/District/Regional Municipality of Peel solemnly declare that all the statements contained in t
application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Brampton
in the Region of Peel
this 12th day of May, 2023.

Signature of applicant/solicitor/authorized agent, etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of a Commissioner, etc.

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date _____

DATE RECEIVED

Date Application Deemed Complete by the Municipality

PLAN OF SURVEY OF:
PART OF LOT 2
REGISTERED PLAN 1002
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

LEGEND

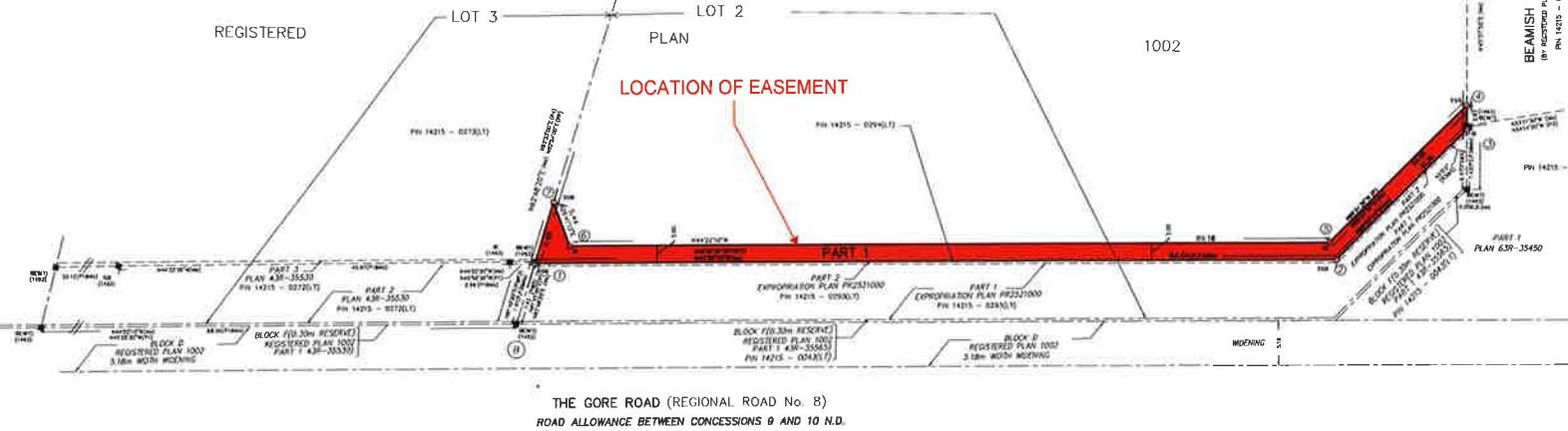
■	DENOTES SURVEY MONUMENT FOUND
□	DENOTES SURVEY MONUMENT PLANTED
SMB	DENOTES STANDARD IRON BAR
SSB	DENOTES SHORT STANDARD IRON BAR
ID	DENOTES IRON BAR
RB	DENOTES ROUND IRON BAR
1436	DENOTES BARDALE C. BARDEAU
1433	DENOTES YOUNG & YOUNG SURVEYING INC.
D20	DENOTES J.D. BARNES LIMITED
RP	DENOTES REGISTERED PLAN 1002
P	DENOTES PLAN P2231000
P1	DENOTES PLAN 43R-35530
P2	DENOTES PLAN 43R-35450
P3	DENOTES PLAN 43R-35565
P4	DENOTES SURVEYOR'S REAL PROPERTY REPORT BY BARDEAU & CZECHOWSKI, DATED JULY 9, 2003
(M)	DENOTES MEASURED
(S)	DENOTES SET

NOTES
ALL MONUMENTS SHOWN THUS □ ARE PLANTED
IRON BARS (IB) UNLESS OTHERWISE NOTED.

BEARING
BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATIONS OF SPECIFIED CONTROL POINTS "A" AND "B", USING THE LOCAL QUANTIFIED GRID NETWORK, AND ARE REFERENCED TO THE 3° WIDE COORDINATE SYSTEM, ZONE 18, CENTRAL MERIDIAN 79°30' WEST LONGITUDE (2° WORKED TRANSVERSE MERCATOR PROJECTION, NAD 83 (CSRS) (2011)).
DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A CORRECTION SCALE FACTOR OF 0.9999920.

3° NAD83 ZONE 18 COORDINATES
AND 18° CONVERSIONS USING THE WEST LONGITUDE
BEARINGS AND DISTANCES ARE IN METERS AND SHOULD BE
MULTIPLIED BY 0.9999920 TO OBTAIN GRID DISTANCES.

SPECIFIED CONTROL POINTS			
POINT ID	EASTING	NORTHING	HEIGHT
(A) ■	E = 281701.081	N = 483278.855	
(B) ■	E = 287000.018	N = 483274.262	
REFERENCE POINTS			
POINT	EASTING	NORTHING	HEIGHT
1	E = 281701.073	N = 483278.814	
2	E = 281701.077	N = 483278.828	
3	E = 281701.078	N = 483278.828	
4	E = 281701.078	N = 483278.828	
5	E = 281701.078	N = 483278.828	
6	E = 281701.078	N = 483278.828	
7	E = 281701.078	N = 483278.828	
8	E = 281701.078	N = 483278.828	
9	E = 281701.078	N = 483278.828	



I require this plan to be deposited under the LAND TITLES Act.

DATE: _____

BAHRAH AMIRNEZHAD
ONTARIO LAND SURVEYOR

PLAN 43R-
Revised and Deposited

DATE: _____

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF PEEL (No. 43)

PART 1: AREA			
PART	PART OF LOT	REGISTERED PLAN	AREA (SQM)
1	2	1002	14215 - 02940.17

SCALE 1:300

0m 5m 10m 15m

TOPOTEC INC.
ONTARIO LAND SURVEYORS

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM;

2. THE SURVEY WAS COMPLETED ON THE 16th DAY OF JANUARY 2023.

JANUARY 09, 2023

DATE: _____

BAHRAH AMIRNEZHAD P. Eng
ONTARIO LAND SURVEYOR

This plan of survey relates to AGLS Plan Submission Form Number V-28964.

TOPOTEC Inc.
Ontario Land Surveyors

189 SHEPPARD AVENUE EAST, MARKHAM ON L3R 9A1
T (416) 219-9956
Office (416) 632-9081
www.Topotec.ca
info@topotec.ca bahrah100@hotmail.com

FIELD: H.S.	DRAWN: L.H.	CHECKED: B.A.
JOB No. 848		
CAD FILE: 18-BEAMSH-RPS.DWG		

PLAN OF SURVEY OF:
PART OF LOT 2
REGISTERED PLAN 1002
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

LEGEND

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SB DENOTES STANDARD IRON BAR
- SB8 DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- RIB DENOTES ROUND IRON BAR
- LAB DENOTES LAMINATED C. RABIDEAU
- LABS DENOTES LAMINATED C. RABIDEAU
- JAB DENOTES J.D. BARNES LIMITED
- RP DENOTES REGISTERED PLAN 1002
- P DENOTES PLAN 43R-35530
- P1 DENOTES PLAN 43R-35530
- P2 DENOTES PLAN 43R-35530
- P3 DENOTES PLAN 43R-35530
- P4 DENOTES SURVEYOR'S REAL PROPERTY REPORT BY RABIDEAU & C23/00/00, DATED JULY 9, 2003
- (M) DENOTES MEASURED
- (S) DENOTES SET

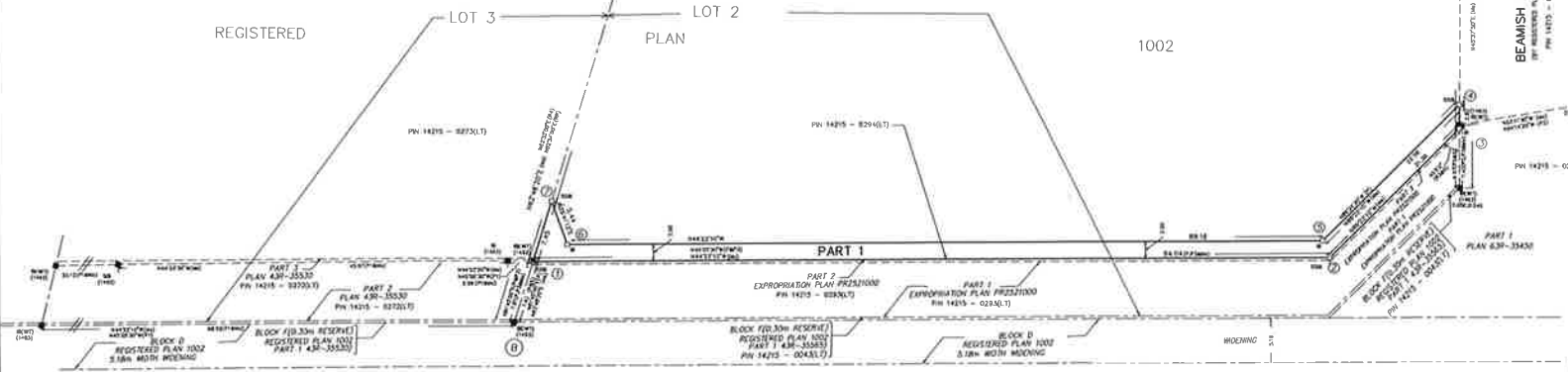
NOTES

ALL MONUMENTS SHOWN THUS □ ARE PLANTED
(RUB BARS (SB)S) UNLESS OTHERWISE NOTED

BEARING

BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATIONS OF SPECIFIC CONTROL POINTS "A" AND "B", USING THE LEGAL QUANTITIES NETWORK, AND ARE REFERRED TO THE 3rd NAD COORDINATE SYSTEM, ZONE 18, CENTRAL MERIDIAN 79°50' WEST LONGITUDE. (S) MEASURED TRANSVERSE PROJECTION, NAD 83 (CSRS) (2010)

SPECIFIED CONTROL POINTS			
POINT NO.	EASTING	NORTHING	POINT TYPE
(A) ■	x = 281187.007	y = 482738.453	IRON BAR
(B) ■	x = 281000.816	y = 482742.262	IRON BAR
REFERENCE POINTS			
POINT	EASTING	NORTHING	POINT TYPE
1	x = 281051.573	y = 482735.524	IRON BAR
2	x = 281163.837	y = 482738.226	IRON BAR
3	x = 281188.226	y = 482738.020	IRON BAR
4	x = 281188.226	y = 482738.020	IRON BAR
5	x = 281188.226	y = 482738.020	IRON BAR
6	x = 281188.226	y = 482738.020	IRON BAR
7	x = 281188.226	y = 482738.020	IRON BAR
8	x = 281188.226	y = 482738.020	IRON BAR
9	x = 281188.226	y = 482738.020	IRON BAR
10	x = 281188.226	y = 482738.020	IRON BAR



THE GORE ROAD (REGIONAL ROAD No. 8)
ROAD ALLOWANCE BETWEEN CONCESSIONS 9 AND 10 N.D.



I require this plan to be deposited under the LAND TILES Act.

DATE: _____

BAHRAH AMIRNEZHAD
ONTARIO LAND SURVEYOR

PLAN 43R-
Received and Deposited

DATE: _____

REPRESENTATIVE FOR LAND REGISTRATION FOR THE LAND TILES DIVISION OF PEEL (ON 43R)

PART SCHEDULE				
PART	PART OF LOT	REGISTERED PLAN	PART OF PN	AREA (sqm)
1	2	1002	14215 - 82940.7	330.8

SCALE 1:300

0m 1m 2m

TOPOTEC INC.
ONTARIO LAND SURVEYORS

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND LAND TILES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 18th DAY OF JANUARY 09, 2023.

JANUARY 09, 2023
DATE

BAHRAH AMIRNEZHAD P.Eng
ONTARIO LAND SURVEYOR

This plan of survey relates to AOLS Plan Submission Form Number V-2023-4-1

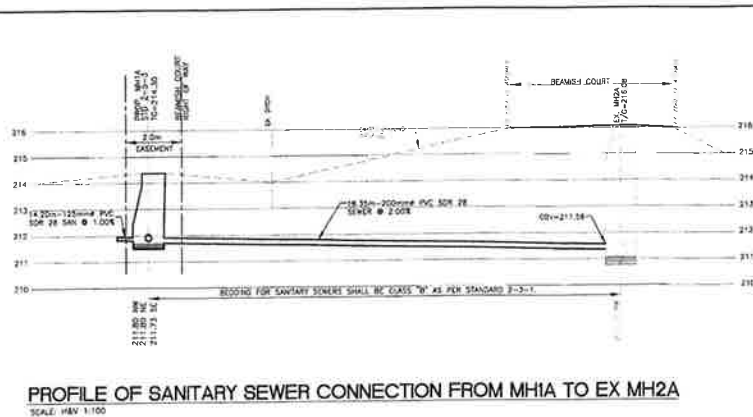
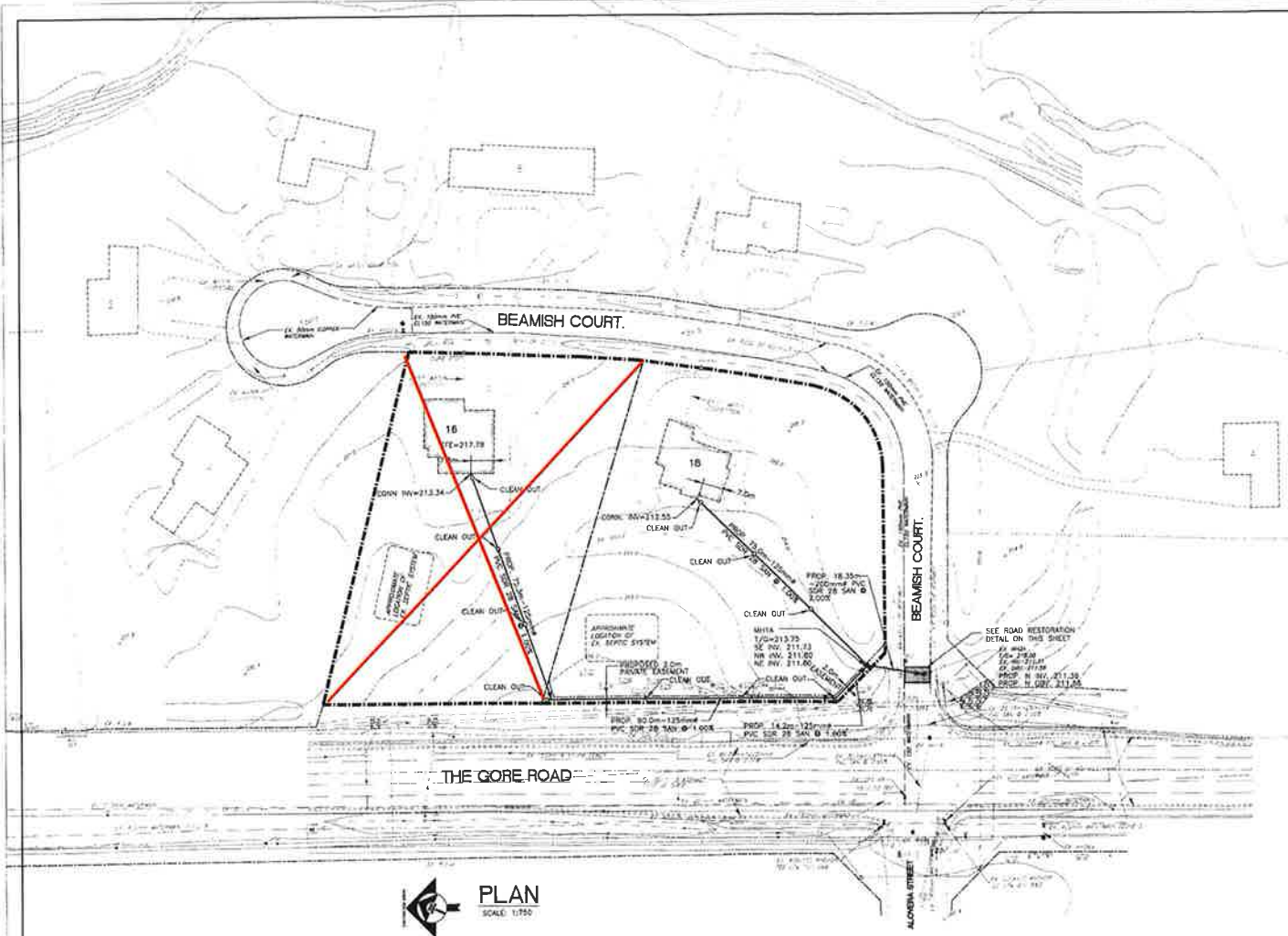
TOPOTEC Inc.
Ontario Land Surveyors

104 KENNEDY AVENUE EAST, MARKHAM ON L3R 9K4
T: 416.323.2955
O: 416.323.2956
www.topotec.ca
info@topotec.ca

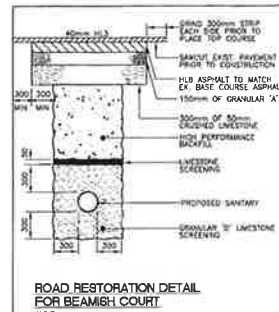
FIELD: H.S. DRAWN: L.H. CHECKED: B.A.

JOB No. 848

CAD FILE: 18-BEAMISH-RPS.DWG



PROFILE OF SANITARY SEWER CONNECTION FROM MH1A TO EX MH2A
SCALE: H&V 1:100



A. GENERAL NOTES:

1. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON, THE REGION OF PEEL AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
2. A ROAD OCCUPANCY PERMIT SHALL BE OBTAINED FROM THE CITY OF BRAMPTON FOR ALL WORKS WITHIN BEAMISH COURT RIGHT-OF-WAY PRIOR TO BEGINNING OF CONSTRUCTION. A TRAFFIC MANAGEMENT PLAN SHALL BE SUBMITTED TO THE CITY OF BRAMPTON FOR APPROVAL.
3. THE REGION OF PEEL SHALL BE NOTIFIED (48) FORTY-EIGHT HOURS IN ADVANCE OF ANY WORKS WITHIN BEAMISH COURT RIGHT-OF-WAY. THE CONTRACTOR SHALL ARRANGE FOR A PRE-CONSTRUCTION MEETING A MINIMUM (48) HOURS IN ADVANCE OF CONSTRUCTION.
4. A MINIMUM OF 1 LANE OF TRAFFIC SHALL BE MAINTAINED ON BEAMISH COURT AT ALL TIMES DURING CONSTRUCTION.
5. PROVIDE FLAGGERS AND CONSTRUCTION SIGNING IN ACCORDANCE WITH THE M.T.O. MANUAL OF "UNIFORM TRAFFIC CONTROL DEVICES".
6. ANY EXISTING SIGAGE WITHIN THE PROPOSED CONSTRUCTION AREA SHALL BE RELOCATED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF BRAMPTON/AND REGION OF PEEL REQUIREMENTS.
7. THE CONTRACTOR SHALL STRIP ALL TOPSOIL AND ORGANIC MATERIAL FROM THE AREA ATTACHED BY CONSTRUCTION.
8. ANY AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE SPECIFIED.

B. REGION OF PEEL - SANITARY SEWERS:

1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. LOCATION OF ALL UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
3. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF THEIR WORK WHETHER SHOWN ON THE PLANS OR NOT AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGES TO SAME.
4. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO THE UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
5. SANITARY SEWERS SHALL BE PVC SDR 26 AS PER CSA SPEC. B 182.1.
6. BEDDING FOR SANITARY SEWERS SHALL BE CLASS "B" AS PER STANDARD 2-3-1.
7. MANHOLES SHALL BE AS PER STANDARD 2-5-3 WITH BENCHING AS PER STANDARD 2-5-20. FRAME AND COVER SHALL BE AS PER STANDARD 2-5-13. MANHOLE STEPS SHALL BE AS PER STANDARD 2-8-11.
8. PROVIDE A MINIMUM OF 150mm GRANULAR "A" OR SAND COVER OVER PIPES. BACKFILL SHALL BE APPROVED NATIVE MATERIAL COMPACTED TO 90% STD. PROCTOR DENSITY WITH 90% STD. PROCTOR DENSITY FOR THE TOP 1.0m.

City of Brampton
Building Division
Plumbing Reviewed
2023/02/07
A Sluino

ALL PLUMBING SHALL CONFORM TO THE
ONTARIO BUILDING CODE (OBC) 3312
AS AMENDED DIVISION B PART 7

SEWAGE SYSTEM SHALL BE PROPERLY
DECOMMISSIONED

* SEE ATTACHED NOTES

WATER AND DRAINAGE PIPING NOT IN
USE SHALL BE PROPERLY CAPPED
AND SEALED

This Permit Has Been Reviewed For The Installation Of The
Following Service(s) Within The Confines Of The Property Lines:

- | | |
|--|---|
| <input type="checkbox"/> Water Services | (Existing Well) <input type="checkbox"/> Yes <input type="checkbox"/> No |
| <input checked="" type="checkbox"/> Sanitary Sewer | (Existing Septic) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| <input type="checkbox"/> Storm Sewer | |
| <input type="checkbox"/> Well To Be Decommissioned & Filled With The MOE Well Registry | |

For Information On Well Decommissioning Contact The Ministry
Of Environment at 1-888-396-9355

☐ Septic Tank Shall Be Pumped Clean And Removed Or Collapsed

Approval From Peel region (905-791-7800) Is Required To Connect The
Service From The Property Line To The Municipal Water Main Or Sewer

PERMIT REVIEWED FOR 18 BEAMISH CRT ONLY, A
SEPARATE PERMIT WILL BE APPLIED FOR 16 BEAMISH CRT

SERVICE DATA					
SERVICE	DATE	REV.	SERVICE	DATE	REV.
SAN SEWERS			GAS MAINS		
STORM SEWERS			BELL 1/2" CABLE		
WATER MAINS			HYDRO 1/2" CABLE		
TRUCKS			HYDRO ONE		
HAZARDOUS WASTE			TELECOM		
POST CLEAN WATER			TELECOM CABLES		

REVISIONS			
DATE	DETAILS	REV.	BY
18-11-22	REVISED AS PER SUGGESTED COMMENTS DATED 2022-07-20	02	A.S.

LEGEND

- MH1A
- PROPOSED SANITARY MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPERTY LINE
- EXISTING EDGE OF ASPHALT
- EXISTING BUILDINGS
- PROPOSED CASING

General Notes

- All Driveways Asphalt Unless Otherwise Noted.
- All Sewer Locations Are Approximately And Must Be Located Accurately In The Field.
- Demolish Building - Not Located
- Demolish Building Located

The Contractor Is Responsible For Locating And Protecting All
Existing Utilities Prior To And During Construction Location Of
Existing Utilities Approximate Only. To Be Verified In Field By Contractor.

Approved By

NOTICE TO CONTRACTOR

48 HOURS PRIOR TO COMMENCING WORK NOTIFY THE FOLLOWING:

THE REGIONAL MUNICIPALITY OF PEEL
CITY OF BRAMPTON WORKS DEPT.
BELL CANADA
ENBRIDGE INCORPORATED-GAS DISTRIBUTION
HYDRO ONE NETWORKS
HYDRO ONE BRAMPTON

CABLE TELEVISION/FIBROPTIC PROVIDERS:
BELL CANADA
ENBRIDGE TELECOM
HYDRO ONE TELECOM
ROGERS CABLE
ALLSTREAM
PSTN (PUBLIC SECTOR NETWORK)
FUTUREWAY (FIBRE OPTIC)

CANDEVCON LIMITED
CONSULTING ENGINEERS AND PLANNERS

9154 COREWAY DRIVE
TEL (905) 791-0500

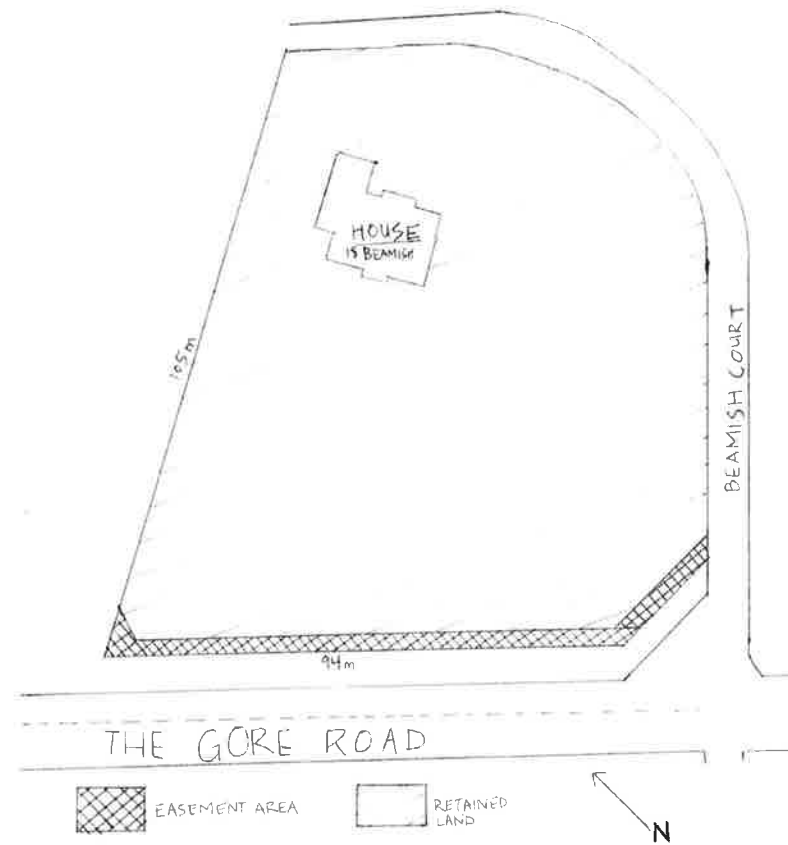
BRAMPTON, ONTARIO L6P 0W7
FAX (905) 791-0511

PROPOSED SANITARY SEWER
CONNECTIONS TO
~~NO 16 AND~~ No. 18 BEAMISH COURT
CITY OF BRAMPTON

REGION FILE NO. C-40243

DATE: MAR 31st, 2020
DRAWN BY: D.K.H.
CHECKED BY: AS NOTED

Project No: W20026
Sheet: 1 of 1
Plan No: SAN-1A



December 10, 2021

Sukhjeevan S. Chattha (Sukhjeevan.Chattha@gmail.com)
18 Beamish Court
Brampton, Ontario
L6P 0X8

Dear Sukhjeevan S. Chattha:

Re: Permit No. C-211429/SUKHJEEVAN S. CHATTHA
Application for permit under Ontario Regulation 166/06 by SUKHJEEVAN S. CHATTHA for
permission to site grade on Lot 2, Plan 1002, 18 Beamish Court, in the City of Brampton,
Humber River Watershed.

On December 10, 2021, your application 1447/21/BRAM, C-211429 for a permit under Ontario Regulation 166/06 was approved. We have enclosed one copy of Permit C-211429, which includes one set of the authorized plans/documents that were approved as part of this Permit. A copy of this cover letter and one set of plans have been submitted to the municipality. Please ensure that the plans approved by the municipality are consistent with the plans approved through this Conservation Authority permit. This Permit has been issued until December 9, 2023.

Please be advised that if revisions to the design of this project are required subsequent to the issuance of this permit, plans/documents reflecting these changes will need to be submitted to this office for further review and approval prior to construction of the redesigned works.

TRCA STAFF LIAISON

- For information regarding revisions, technical or administrative related issues please contact Lina Alhabash, Planner I, extension 5657.
- For site inspections, please contact Paul Nowak, Enforcement Officer, extension 5626.

Sincerely,



Colleen Bonner
Senior Planner, Development Planning and Permits
Development and Engineering Services

Encl.

cc: Cindy Hammond, Manager, Building Division, City of Brampton (Cindy.Hammond@brampton.ca)

PERMIT NO: C-211429	EXECUTIVE MEETING DATE: January 14, 2022 APPLICATION #: 1447/21/BRAM CFN: 66019
----------------------------	--

IN ACCORDANCE WITH **ONTARIO REGULATION 166/06**, PERMISSION IS GRANTED TO:

OWNER
Sukhjeevan S. Chattha
18 Beamish Court
Brampton, Ontario L6P 0X8

PURPOSE IS TO undertake works within TRCA's Regulated Area of the Humber River Watershed in order to facilitate the installation of a sewer pipe located to the back of the existing house to facilitate servicing. The proposed works connect the existing dwelling at 18 Beamish Court with the main sewer line at the Gore Road. The subject property is located at 18 Beamish Court, in the City of Brampton.

ON PROPERTY OWNED BY Sukhjeevan S. Chattha **AS LOCATED AT** Lot 2, Plan 1002 (18 Beamish Court), in the City of Brampton, Humber River Watershed.

FOR THE PERIOD OF December 10, 2021 **TO** December 9, 2023

AND MUST COMPLY WITH THE FOLLOWING STAMPED APPROVED DOCUMENTS AND/OR PLANS:

- **Sheet No. C-01, Site Servicing Plan, prepared by the owner, revision No. 3, dated November 30, 2020, received by TRCA on November 11, 2021, redline revised on December 8, 2021 for Erosion and Sediment Control Details.**

AND MUST COMPLY WITH THE FOLLOWING CONDITIONS:

Standard Permit Conditions

1. The Owner shall strictly adhere to the approved TRCA permit, plans, documents and conditions, including TRCA redline revisions, herein referred to as the "works", to the satisfaction of TRCA. The Owner further acknowledges that all proposed revisions to the design of this project that impact TRCA interests must be submitted for review and approval by TRCA prior to implementation of the redesigned works.
2. The Owner shall notify TRCA Enforcement staff 48 hours prior to the commencement of any of the works referred to in this permit and within 48 hours upon completion of the works referred to herein.
3. The Owner shall grant permission for TRCA staff, agents, representatives, or other persons as may be reasonably required by TRCA, in its opinion, to enter the premises without notice at reasonable times, for the purpose of inspecting compliance with the approved works, and the terms and conditions of this permit, and to conduct all required discussions with the Owner, their agents, consultants or representatives with respect to the works.

(STIPULATIONS OF APPROVAL ON REVERSE)

STIPULATIONS

All terms and conditions imposed upon this permit are legally binding.

Failure to comply with this permit can result in further action by Toronto and Region Conservation Authority (TRCA) in accordance with the Conservation Authorities Act.

This permit, or a copy thereof, must be posted on the site and available for inspection.

The owner is responsible for the accuracy of all information and technical details.

This permit does not preclude nor imply any approvals required by any other existing laws and regulations, including landowner consents.

All in-water and near water works must be conducted within the construction timing window as prescribed by Provincial and/or Federal Statutes.

REVISIONS

Any revisions or changes to the approved work(s) that impact TRCA interests require further TRCA approvals prior to being initiated.

RE-ISSUANCE (EXTENSION)

On a one-time basis, applicants may apply for a permit extension provided such requests are made at least 60 days prior to the expiration of an Ontario Regulation 166/06 permit. In the Application for Permit Re-Issuance, applicants shall set out the reasons for which an extension is required. Such requests will be assessed in accordance with any new updated technical hazard information and the current policies in place. There is no guarantee of an automatic approval.

FREEDOM OF INFORMATION ACT

The information contained on this form and any accompanying plans and documents is collected under the authority of the Conservation Authorities Act and Regulations made thereunder for the purpose of processing permits and is deemed to be public information. Questions about the collection of information should be directed to the Information and Privacy Officer, Toronto and Region Conservation Authority, Tel: 416-661-6600.

NOTE

TRCA shall not be responsible for any losses, costs, or damages arising out of the location, design, or construction of, or failure to construct, the works set out in the stamped approved documents.

PERMIT

4. The Owner acknowledges that this permit is non-transferrable and is issued only to the current owner of the property. The Owner further acknowledges that upon transfer of the property into different ownership, this permit shall be terminated and a new permit must be obtained from TRCA by the new owner. In the case of municipal or utility projects, where works may extend beyond lands owned or easements held by the municipality or utility provider, Landowner Authorization is required to the satisfaction of TRCA.
5. This permit is valid for a period of two years from the date of issue unless otherwise specified on the permit. The Owner acknowledges that it is the responsibility of the Owner to ensure a valid permit is in effect at the time works are occurring; and, if it is anticipated that works will not be completed within the allotted time, the Owner shall notify TRCA at least 60 days prior to the expiration date on the permit if an extension will be requested.
6. The Owner shall ensure all excess fill (soil or otherwise) generated from the works will not be stockpiled and/or disposed of within any area regulated by TRCA (on or off-site) pursuant to Ontario Regulation 166/06, as amended, without a permit from TRCA.
7. The Owner shall install effective erosion and sediment control measures prior to the commencement of the approved works and maintain such measures in good working order throughout all phases of the works to the satisfaction of TRCA.
8. The Owner acknowledges that the erosion and sediment control strategies outlined on the approved plans are not static and that the Owner shall upgrade and amend the erosion and sediment control strategies as site conditions change to prevent sediment releases to the natural environment to the satisfaction of TRCA.
9. The Owner shall repair any breaches of the erosion and sediment control measures within 48 hours of the breach to the satisfaction of TRCA.
10. The Owner shall make every reasonable effort to minimize the amount of land disturbed during the works and shall temporarily stabilize disturbed areas within 30 days of the date the areas become inactive to the satisfaction of TRCA.
11. The Owner shall permanently stabilize all disturbed areas immediately following the completion of the works and remove/dispose of sediment controls from the site to the satisfaction of TRCA.
12. The Owner shall arrange a final site inspection of the works with TRCA Enforcement staff prior to the expiration date on the permit to ensure compliance with the terms and conditions of the permit to the satisfaction of TRCA.
13. The Owner shall pay any additional fees required by TRCA in accordance with the TRCA Administrative Fee Schedule for Permitting Services, as may be amended, within 15 days of being advised of such in writing by TRCA for staff time allocated to the project regarding issues of non-compliance and/or additional technical review, consultation and site visits beyond TRCA's standard compliance inspections.

Authorized by: _____



Enforcement Officer

(STIPULATIONS OF APPROVAL ON REVERSE)

Page 2 of 2

STIPULATIONS

All terms and conditions imposed upon this permit are legally binding.

Failure to comply with this permit can result in further action by Toronto and Region Conservation Authority (TRCA) in accordance with the Conservation Authorities Act.

This permit, or a copy thereof, must be posted on the site and available for inspection.

The owner is responsible for the accuracy of all information and technical details.

This permit does not preclude nor imply any approvals required by any other existing laws and regulations, including landowner consents.

All in-water and near water works must be conducted within the construction timing window as prescribed by Provincial and/or Federal Statutes.

REVISIONS

Any revisions or changes to the approved work(s) that impact TRCA interests require further TRCA approvals prior to being initiated.

RE-ISSUANCE (EXTENSION)

On a one-time basis, applicants may apply for a permit extension provided such requests are made at least 60 days prior to the expiration of an Ontario Regulation 166/06 permit. In the Application for Permit Re-issuance, applicants shall set out the reasons for which an extension is required. Such requests will be assessed in accordance with any new updated technical hazard information and the current policies in place. There is no guarantee of an automatic approval.

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NOTE

TRCA shall not be responsible for any losses, costs, or damages arising out of the location, design, or construction of, or failure to construct, the works set out in the stamped approved documents.



The Corporation of the City of Brampton

BUILDING PERMIT

PERMIT # 23 207461 000 00 H2

MUNICIPAL ADDRESS: 18 Beamish Court Brampton ON

LEGAL DESCRIPTION: PLAN P1002 LOT 2

DESCRIPTION OF WORK: H2, Site Service Residential, New
Convert from septic to municipal sewer

POSTING OF PERMIT:	The person to whom the permit is issued shall have the permit or a copy of it posted at all times during the construction or demolition in a conspicuous place on the property in respect of which the permit was issued.
PLANS AND DOCUMENTS:	The plans and documents on the basis of which this permit was issued shall be kept on site at all times throughout construction.
CONSTRUCTION:	All construction proposed and authorized hereto, shall, in all respects, conform with the plans submitted and reviewed, the provisions of the Building Code Act and the Ontario Building Code, as amended, the Bylaws of the City of Brampton and other applicable law. It is the responsibility of the permit holder to ensure that the work authorized by this permit is carried out in accordance with the requirements set out, hereto.
INSPECTIONS:	The person to whom a permit is issued shall notify the Chief Building Official, via Inspections, of the readiness to inspect each stage of construction in accordance with the regulations of the Ontario Building Code and as specified on the permit documents.
REVOCATION:	This permit may be revoked if it was issued on the basis of mistaken or false information or in error, or where the construction has been substantially suspended or discontinued for a period in excess of one year. This permit will be deemed to have lapsed, and will be revoked if construction has not commenced within six months of the date of issue.

ISSUED UNDER THE AUTHORITY OF RICK CONARD
Chief Building Official

DATE OF ISSUE: February 10, 2023



CITY OF BRAMPTON - BUILDING DIVISION

MANDATORY INSPECTIONS

BUILDING PERMIT 23 207461 000 00 H2

The Building Code Act, Section 10.2(1) Notice of Readiness for Inspection, requires that at each stage of construction specified in the Building Code, the permit holder notify the Chief Building Official that the construction is ready to be inspected. Your mandatory inspections are listed below.

PLEASE NOTE: Construction covered before the required inspection is completed will be required to be uncovered to be inspected.

CHECKLIST

- Post the permit in a front window or door (conspicuous place).
- Ensure that permit documents are available at the time of Inspection.
- To book an inspection, visit: <https://www.brampton.ca/EN/residents/Building-Permits/Inspections/Pages/Request-an-Inspection.aspx>
- Please email any inspection reports (ie engineered fill inspection reports) to inspection.services@brampton.ca in .pdf format only.

THE MANDATORY INSPECTIONS FOR THIS PROJECT ARE CHECKED (✓) BELOW:

B-Building Inspector

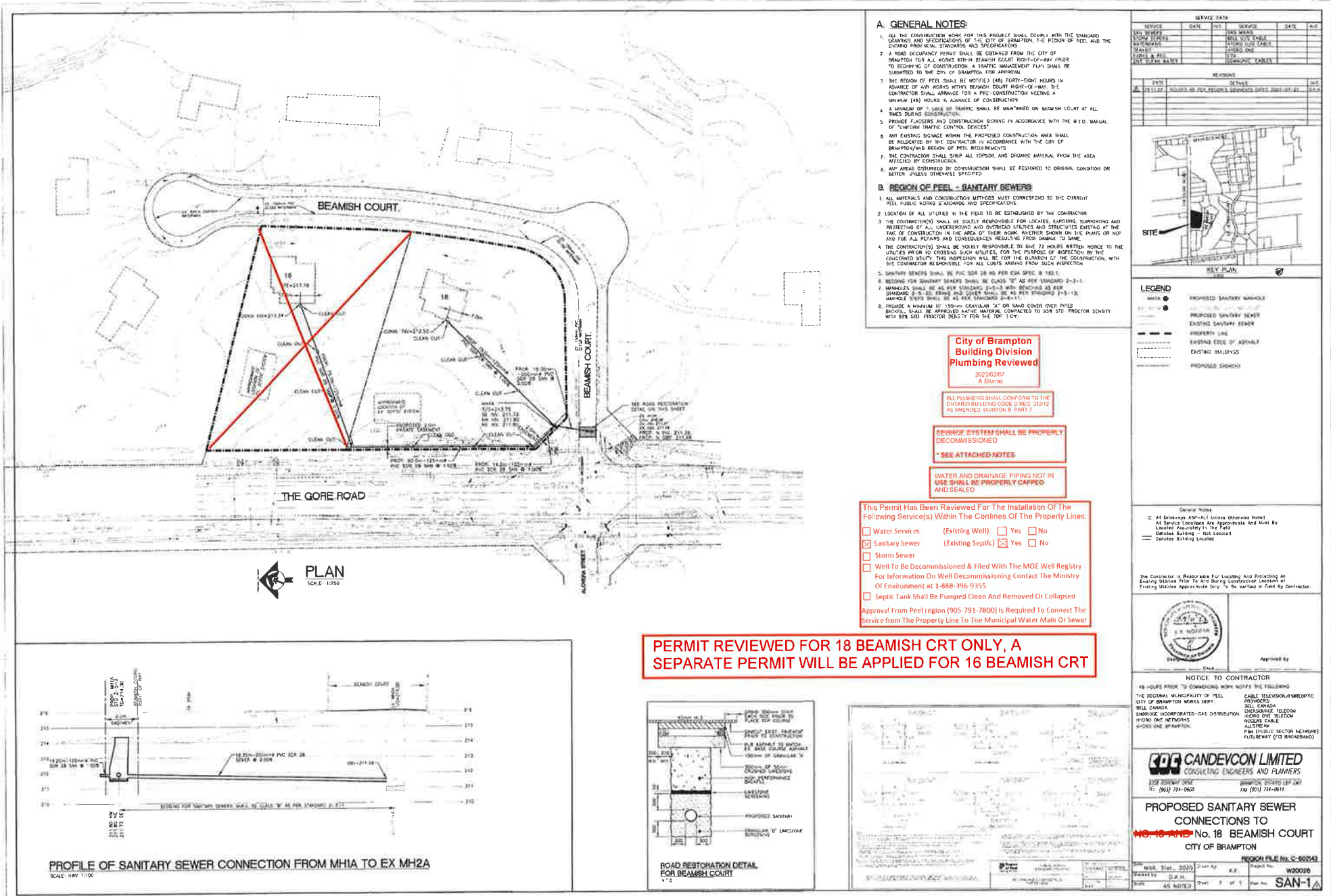
P-Plumbing Inspector

H-HVAC Inspector (Heating Ventilation && AC)

- B ☐ Footings supporting a building (BEFORE pouring concrete)
- B ☐ Backfill (BEFORE backfilling)
- P ☐ Septic Systems (Before Backfilling)
- P ☒ Underground Plumbing -water service, sanitary and storm drains (BEFORE covering)
- P ☐ Above ground Plumbing "rough-in"
- H ☐ HVAC Rough-in
- B ☐ Structural Framing (AFTER rough-ins including any wiring, BEFORE insulation)
- H ☐ Insulation and Vapour Barrier and Air Barrier
- H ☐ Basement Insulation
- H ☐ Basement Duct Work
- B ☐ Final Inspection - Building
- P ☒ Final Inspection - Plumbing
- H ☐ Final Inspection - HVAC

Before the use or occupancy of any new or renovated space please ensure that: handrails and guards, required smoke alarms, carbon monoxide detectors and required Plumbing Fixtures are installed.

Remember to call the Electrical Safety Authority for your electrical permits and inspections (1-877-372-7233)
At least one week before you dig call ONTARIO ONE 1-800-400-2255 for underground service locates. (www.ON1CALL.com)



General Notes for the Decommissioning of a Septic Tank

PERMIT APPLICATION No.: 2023 207461 000 00 H2

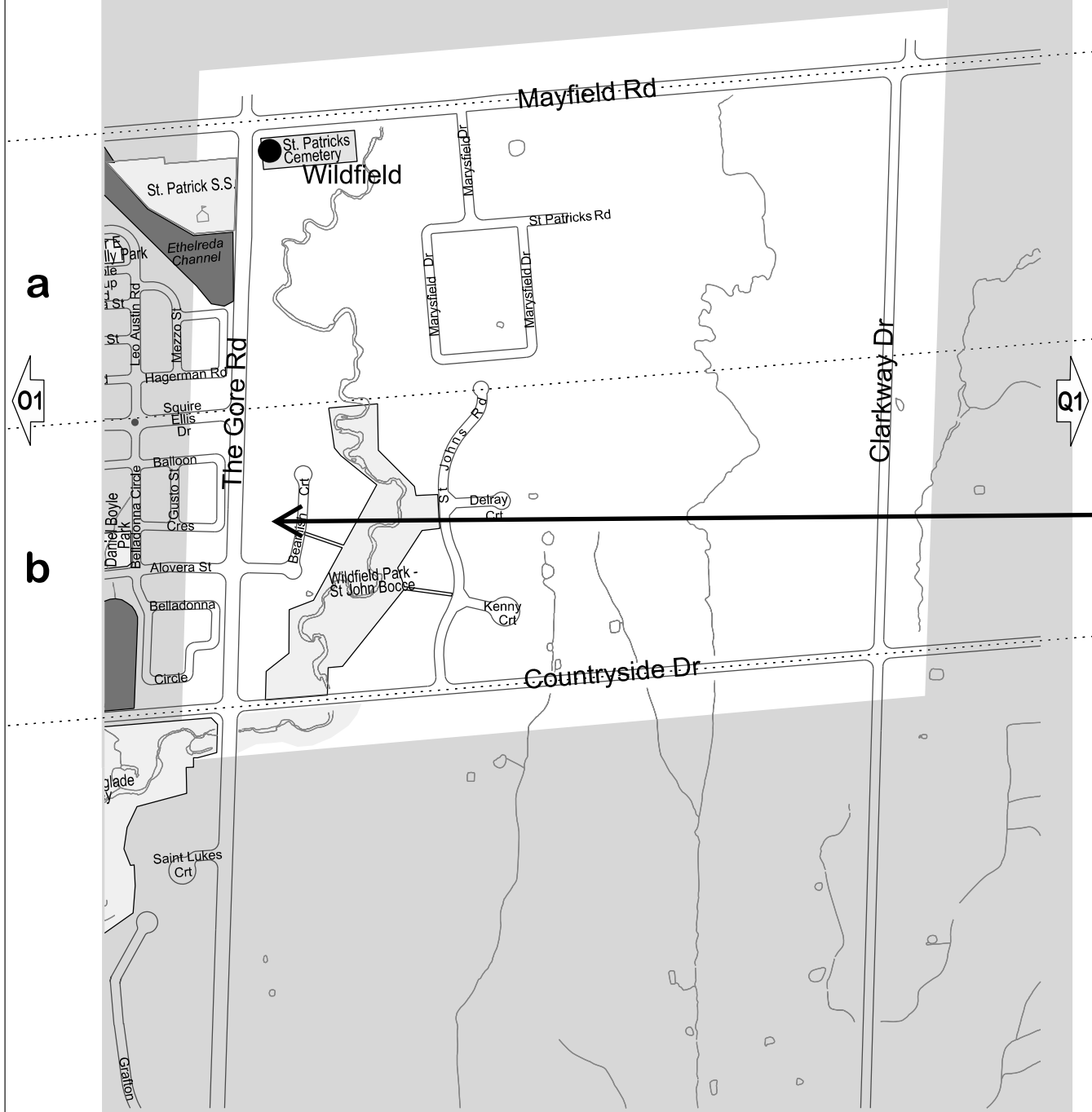
LOCATION: 18 Beamish Crt

PROPERTY OWNER: SUKHJEEVAN CHATTHA

Please be advised that the following actions must occur in the process of decommissioning the septic tank:

1. The owner or qualified contractor shall empty the tank of all sewage and dispose of the sewage at an approved facility. The content must not be emptied into the new collection system.
2. The top, bottom and walls of the septic tank must be collapsed and any voids filled with inert material such as clean sand or gravel. Alternatively, the septic tank may be removed from the site and disposed of at an approved facility by the owner or a qualified contractor.
3. **An inspection following the completion of the decommissioning is required. A copy of the receipt from the septic tank pumping company must be provided to the inspector to verify that the tank has been properly pumped and the material disposed of at an approved facility.**

Call (905) 874-3700 between 8:00 a.m. and 3:00 p.m. to arrange for inspections at least 48 hours in advance.



B-2023-0017

APPLICATION # B-2023-0018
Ward # 6

NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made **DANIELS CHOICE MOUNT PLEASANT CORPORATION**

Purpose and Effect

The purpose of the application is to request the consent of the Committee of Adjustment for conveyance of Part of Block 4, Plan 43M-1927 to provide for a stratified lot addition of lands currently under ownership of the East Parcel (rental); to the West Parcel of land (future condominium). The effect of the application is to amend ownership boundaries by merging select Parts at grade and in the shared underground garage with the West Parcel of land municipally known as 10, 20 and 30 Lagerfeld Drive. (Concurrent Consent Application B-2023-0019).

Location of Land:

Municipal Address: 40 Lagerfeld Drive

Former Township: Chinguacousy

Legal Description: Part of Block 4, Plan 43M-1927

Meeting

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

=====

LAST DAY FOR RECEIVING COMMENTS: JUNE 15, 2023

=====

NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	NO	File Number:

Decision and Appeal

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Local Planning Appeal Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Local Planning Appeal Tribunal Act*. The appeal form is available from the Environment and Land Tribunals Ontario website at www.elto.gov.on.ca

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS **2nd Day of June, 2023**

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Page 1 of 1
Phone: (905)874-2117 Fax: (905)874-2119
Jeanie.myers@brampton.ca

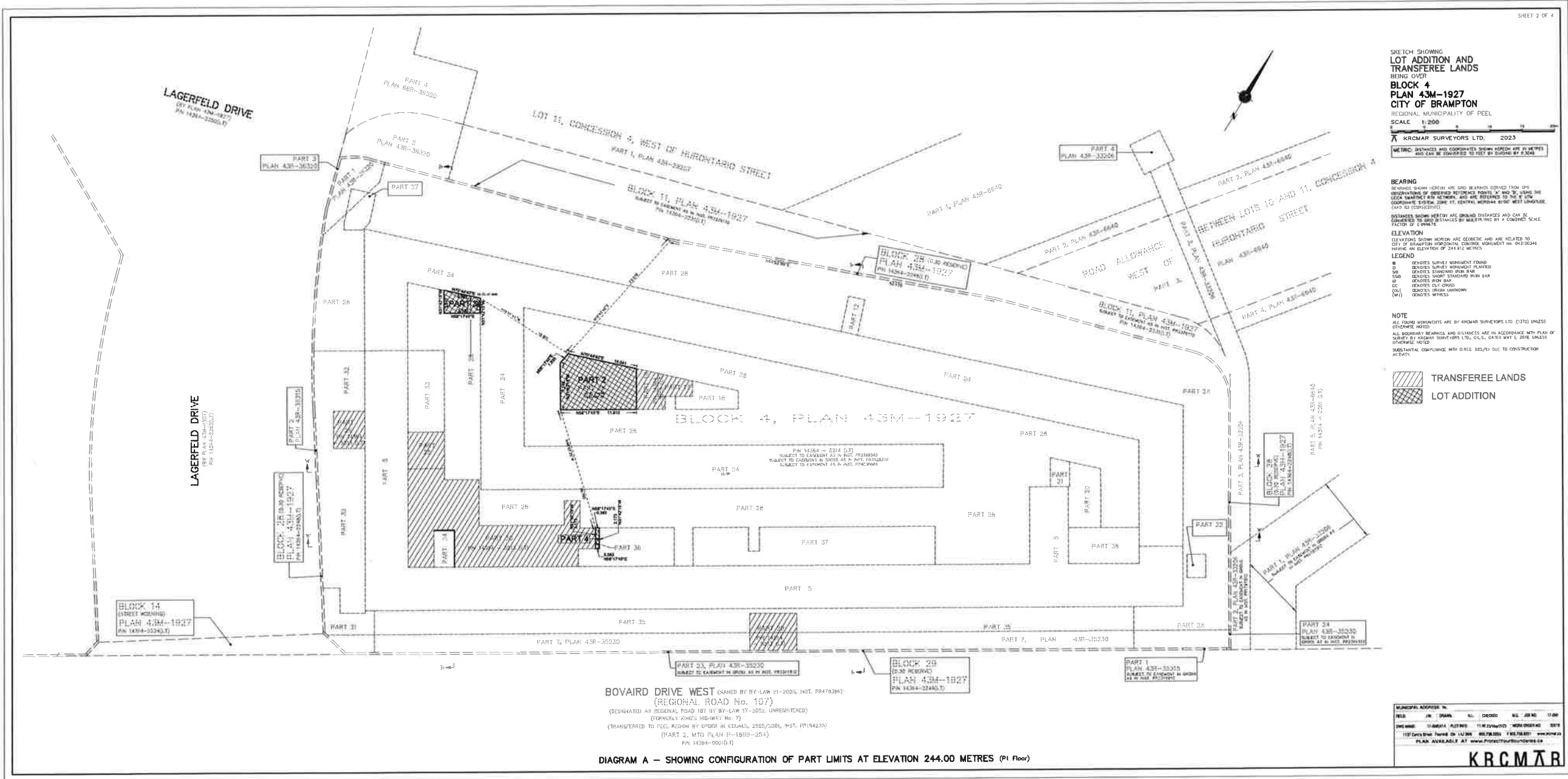
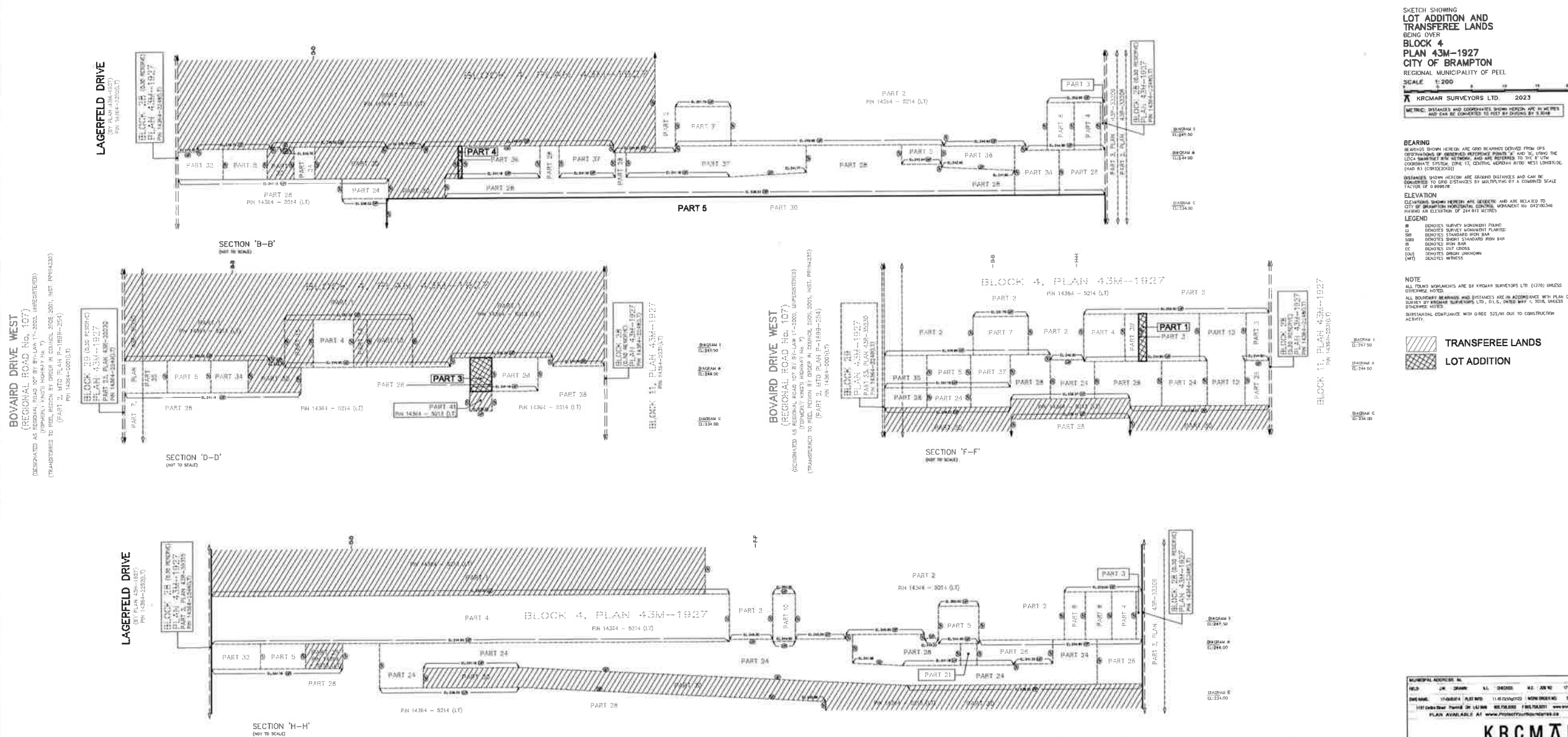


DIAGRAM A - SHOWING CONFIGURATION OF PART LIMITS AT ELEVATION 244.00 METRES (P1 Floor)



DANIELS CHOICE MOUNT PLEASANT CORPORATION

130 Queens Quay E
8th Fl., West Tower
Toronto, ON M5A 0P6
P: (416) 598-2129
F: (416) 797-0415

May 23, 2023

Attn: Jeanie Myers
Legislative Coordinator and Secretary-Treasurer
City of Brampton
Committee of Adjustment
2 Wellington Street W.
Brampton, ON L6Y 4R2

**RE: 40 Lagerfeld Drive, northeast corner of Lagerfeld Dr. and Bovaird Dr. West
Block 4 Plan 43M-1927
Application for Stratified Lot Addition Application**

B-2023-0018

Daniels Choice Mount Pleasant Corporation ('Daniels/Choice') is pleased to submit the enclosed application to amend the ownership boundaries of its lands at 10-40 Lagerfeld Drive ('subject site') through a stratified lot addition application. The subject site is currently under construction to develop a residential condominium and a rental apartment atop a shared underground garage. The purpose of this application is to transfer the Parts described below from the rental entity to the future condominium entity.

In 2020, the subject site received approval at the Committee of Adjustment to sever the lands into two parcels under file no. **B2020-0018**. The first parcel, the West Parcel, will be registered as a condominium corporation in the near future and the second parcel, the East Parcel, will be a rental apartment building. Through the design and construction process, unforeseeable revisions were required to the subject site which conflicted with the original severance. As a result, this application aims to rectify the areas where ownership boundaries are misaligned. The below application will see lands currently under ownership of the East Parcel (rental) being transferred to the West Parcel (future condo). A second application will be submitted alongside this one to transfer lands from the West Parcel (future condo) to the East Parcel (rental).

Application Overview

This application is seeking to transfer lands currently under ownership of the East Parcel (rental) to the West Parcel (future condo) through a stratified lot addition application. The affected areas are as follows (please refer to enclosed plans for reference):

1. **Proposed Part 1:** Proposed Part 1 is located at grade exterior to all buildings. Proposed Part 1 will accommodate a future community mailbox for townhouse units in the future condominium corporation. Through this application, Proposed Part 1 will join with the existing Part 40, also located at grade exterior to all buildings.
2. **Proposed Part 2:** Proposed Part 2 is located on the P1 level of the shared underground garage. Proposed Part 2 will accommodate a storage and bicycle parking room for future condominium residents. Through this application, Proposed Part 2 will join with the existing Part 19 located immediately west of Proposed Part 2.

DANIELS CHOICE MOUNT PLEASANT CORPORATION

130 Queens Quay E
8th Fl., West Tower
Toronto, ON M5A 0P6

3. Proposed Part 3: Proposed Part 3 is located on the P1 level of the shared underground garage. Proposed Part 3 will accommodate another storage and bicycle parking room. Through this application, Proposed Part 3 will join with the existing Part 41 located below on the P2 level.
4. Proposed Part 4: Proposed Part 4 is located towards the south end of the P1 level of the shared underground garage. Proposed Part 4 encompasses the revised boundaries for the elevator vestibule that connects to the midrise condominium building in the West Parcel.

For your review and consideration, the following materials are enclosed in support of the above application:

- Completed application form,
- Plan of survey, prepared by Krcmar Surveyors,
- Draft reference plan, prepared by Krcmar Surveyors,
- Draft reference plan with architectural overlay, prepared by Krcmar Surveyors,
- Draft reference plan with hatching showing the affected lot addition areas, prepared by Krcmar Surveyors.

Should you have any questions or require additional material, please do not hesitate to contact the undersigned.

Sincerely,

Daniels Choice Mount Pleasant Corporation



Daniel Grandilli
Development Manager
(416) 598-2129
dgrandilli@danielscorp.com



The personal information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Consent
(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) Name of Owner/Applicant Daniels Choice Mount Pleasant Corporation
(print given and family names in full)

Address 130 Queens Quay E, Toronto ON M5A 0P6

Phone # 416-598-2129 Fax #

Email dgrandilli@danielscorp.com

(b) Name of Authorized Agent Daniel Grandilli

Address 130 Queens Quay E, Toronto ON M5A 0P6

Phone # 416-591-2914 Fax #

Email dgrandilli@danielscorp.com

2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.

Specify: stratified part lot addition application to amend the ownership boundaries on a select few Parts at grade and in the shared underground garage. Revisions to ownership boundaries are required due to site conditions discovered during construction. Please see attached cover letter for complete breakdown.

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.

Daniels MPV Corporation

4. Description of the subject land ("subject land" means the land to be severed and retained):

a) Name of Street Lagerfeld Drive Number 40

b) Concession No. Lot(s)

c) Registered Plan No. PL 43M1927 PT BLK 4 Lot(s)

d) Reference Plan No. RP 43R39900 PARTS 2-12, 20-24, 27, 28, 31-39 Lot(s)

e) Assessment Roll No. 10-06-0-003-00341-0000 Geographic or Former Township

5. Are there any easements or restrictive covenants affecting the subject land?

Yes No

Specify:

- 1. EASEMENT IN GROSS OVER PT 7 PL 43R35230 AS IN PR2366810
- 2. EASEMENT FOR ENTRY AS IN PR2389562 CITY OF BRAMPTON

6. Description of severed land: (in metric units)

a) Frontage ~60m Depth ~72m Area 3,846.7m at grade

b) Existing Use under construction Proposed Use residential condo

c) Number and use of buildings and structures (both existing and proposed) on the land to be severed:
(existing) under construction of 3 residential condo buildings (1 midrise, 2 blocks of back to back townhouses)
(proposed) 3 residential condo buildings (1 6-storey midrise, 2 3-storey back to back townhouses)

d) Access will be by:	Existing	Proposed
Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f) Water supply will be by:	Existing	Proposed
Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify):	_____	

g) Sewage disposal will be by:	Existing	Proposed
Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Privy	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
Other (specify):	_____	

7. Description of retained land: (in metric units)

a) Frontage ~70m Depth ~60m Area 3,792.1m at grade

b) Existing Use under construction Proposed Use Residential Rental

c) Number and use of buildings and structures (both existing and proposed) on the land to be retained:
(existing) Under construction of one rental tower
(proposed) One Residential rental tower

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	<hr/>	

g)	Sewage disposal will be by:	Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	<hr/>	

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	<u>R4A-3527</u>	<u>R4A-3527</u>
Official Plans		
City of Brampton	<u>Residential</u>	<u>Residential</u>
Region of Peel	<u>Urban Structure</u>	<u>Urban Structure</u>

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☒ No ☐

File # 21T-10022B Status/Decision Approved (Plan 43M-1927)

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☒ No ☐

Date of Transfer June 2022 Land Use Residential

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment		
Zoning By-law Amendment		
Minister's Zoning Order		
Minor Variance	A19-144, A2020-0115	approved
Validation of the Title		
Approval of Power and Sale		
Plan of Subdivision	21T-10022B	approved

12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*?
Yes ☒ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan?
Yes ☒ No ☐

14. If the answer is yes, does the application conform to the applicable Provincial Plan?
Yes ☒ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the _____ City _____ of _____ Toronto _____

this 23rd day of May, 2023.

Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:

☐ I have the authority to bind the Corporation

DECLARATION

I, Daniel Grandilli of the Province of Ontario

in the County/District/Regional Municipality of Toronto solemnly declare that all the statements contained in this application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Brampton

in the Region of Peel

this 24th day of May, 2023

Signature of applicant/solicitor/authorized agent, etc.

Signature of a Commissioner, etc.

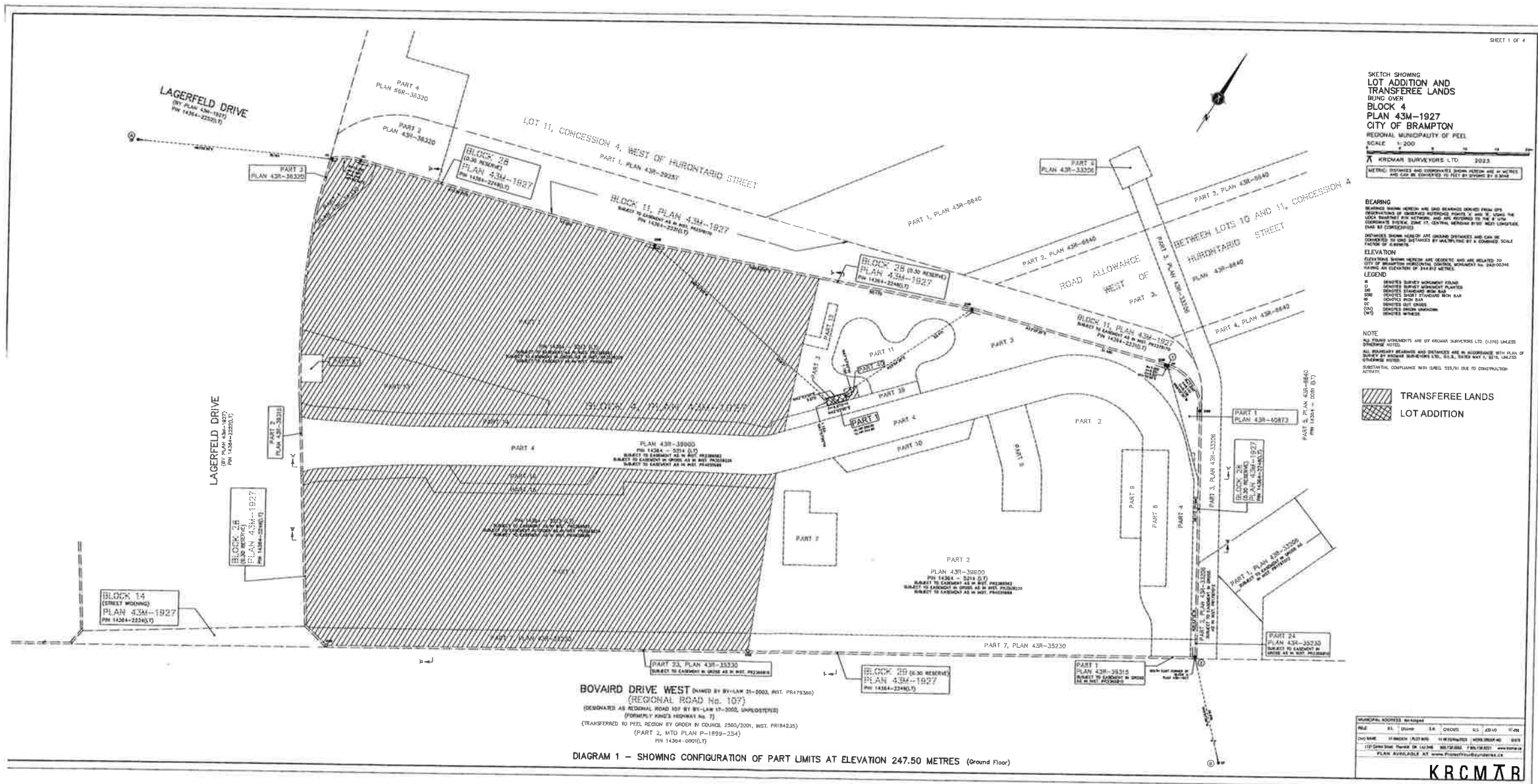
Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

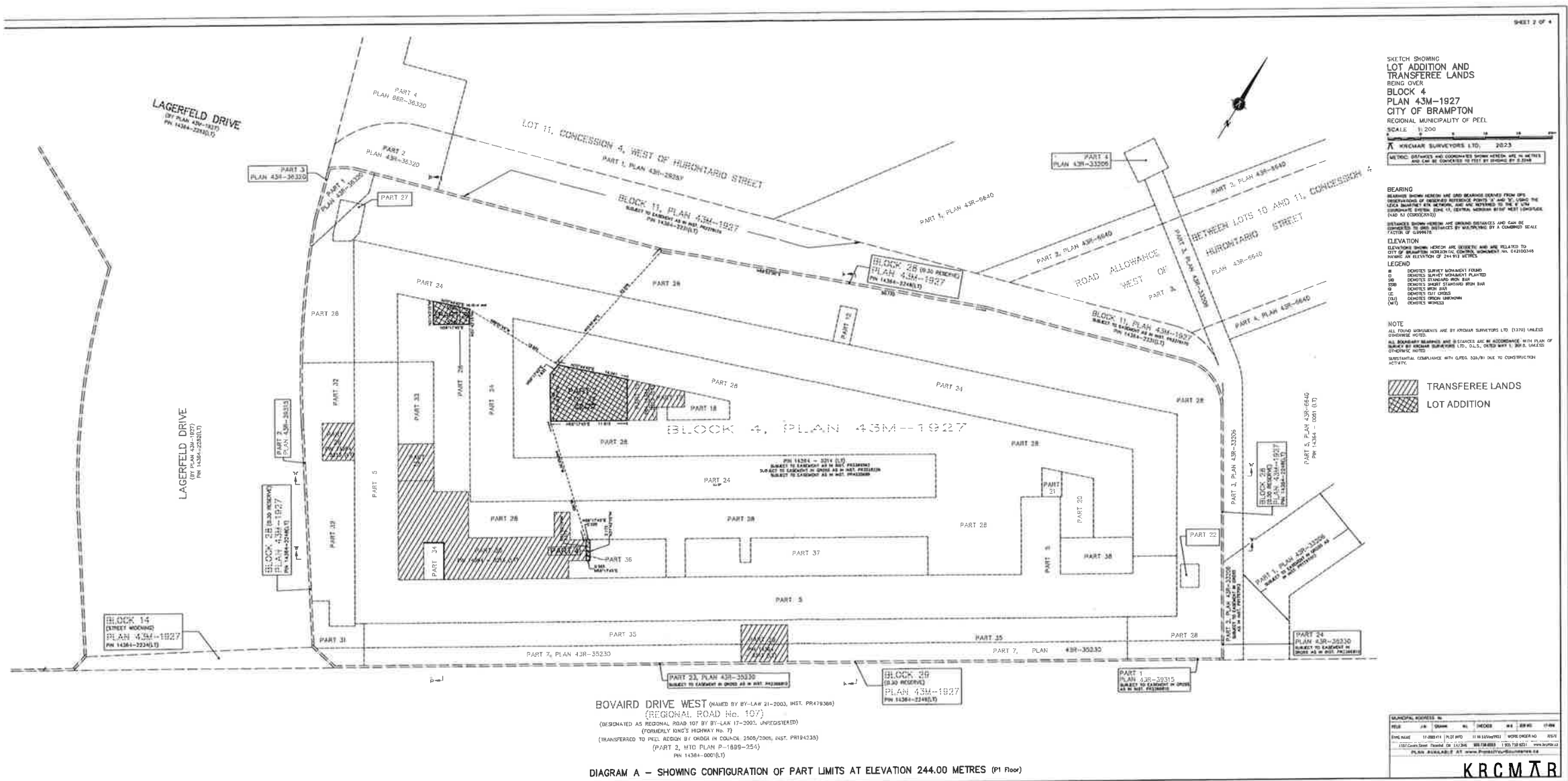
FOR OFFICE USE ONLY - To Be Completed By the Zoning Division

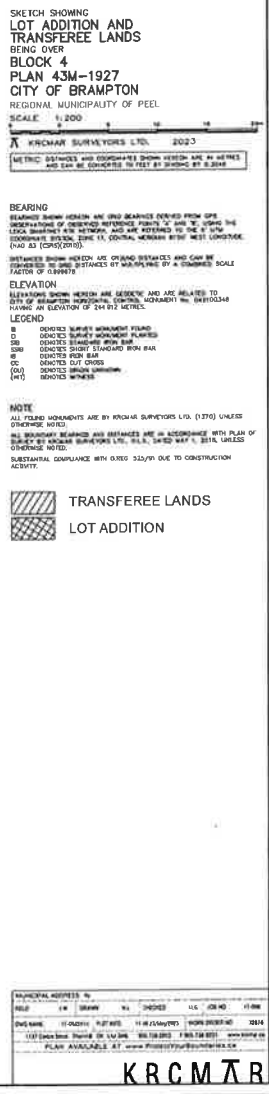
This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

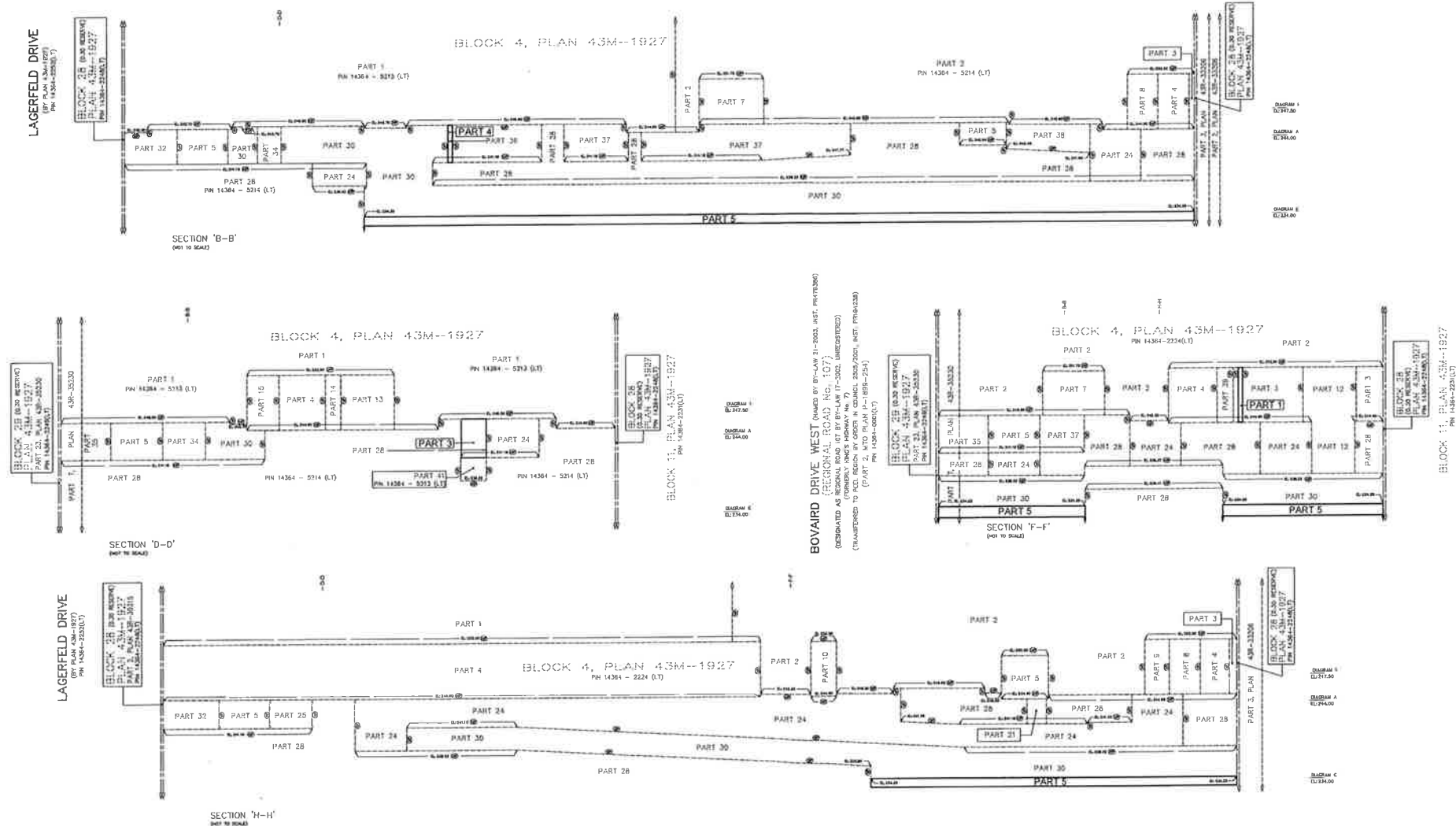
Date







BOVAIRD DRIVE WEST (NAMED BY BY-LAW 21-2003, INST. PR19340)
(REGIONAL ROAD NO. 107)
(DESIGNATED AS REGIONAL ROAD 107 BY BY-LAW 17-2002, UNREGISTERED)
(FORMERLY KING'S HIGHWAY No. 7)
(TRANSFERRED TO PELL REGION BY ORDER IN COUNCIL 2505/2001, INST. PR194335)
(PART 2, MTD PLAN P-1989-254)
PFI 14264-0001(L7)



SHEET # OF # _____ I HEREBY CERTIFY THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT. DATE _____, 2023 HANDELER CHOPRAAN UNITED LAND SURVEYOR	PLAN 43R- RECORDED AND EXPIRING: DATE _____, 2028 REPRESENTATIVE FOR LAND REGISTRATION FOR THE LAND TITLE DIVISION OF FTLS (ON-LINE)
---	---

**STRATA PLAN OF SURVEY OF
BLOCK 4
PLAN 43M-1927
CITY OF BRAMPTON**

REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 300

METROPELIAN SURVEYORS LTD. 2023

METRIC DIMENSIONS AND COORDINATES SHOWN HEREON ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ELEVATION

ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE RELATIVE TO
 CITY OF BRAMPTON ORTHOCENTRE MSL DATUM/DAVIDSON PARKING AREA
 ELEVATION OF 184.92 METRES.

LEGEND

- (NGL) DENOTES NO METRIC LIMITATIONS
- (NGU) DENOTES NO UPPER LIMITATIONS
- (NLU) DENOTES NO LOWER LIMITATIONS
- (L) DENOTES UPPER LIMITATION IN METRES
- (LL) DENOTES LOWER LIMITATION IN METRES
- (SP) DENOTES CHANGE IN SLOPING PLANE
- (CH) DENOTES CHANGE IN VERTICAL LIMITATION
- (EL) DENOTES ELEVATION IN METRES

X X DENOTES SEE SECTION X-X
 L J DENOTES A MATERIAL PLANE CONTROLLED BY MEASUREMENTS AND DISTANCE
 (P) DENOTES A HORIZONTAL PLANE CONTROLLED BY GEODETIC ELEVATION
 (G) DENOTES A SLOPING PLANE CONTROLLED BY GEODETIC ELEVATION

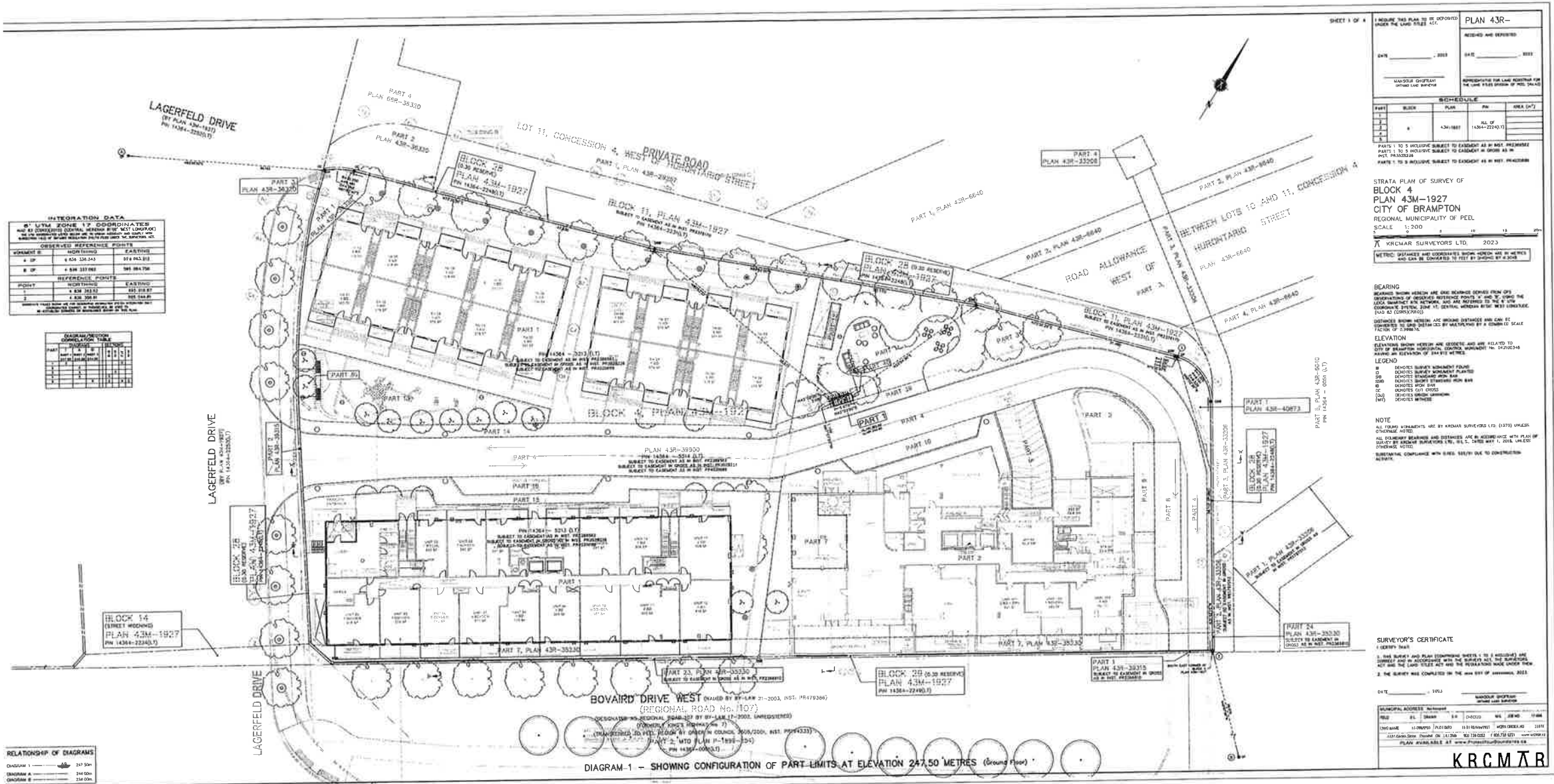
PLANIMETER
ELECTRONIC

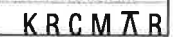
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ELECTRONIC

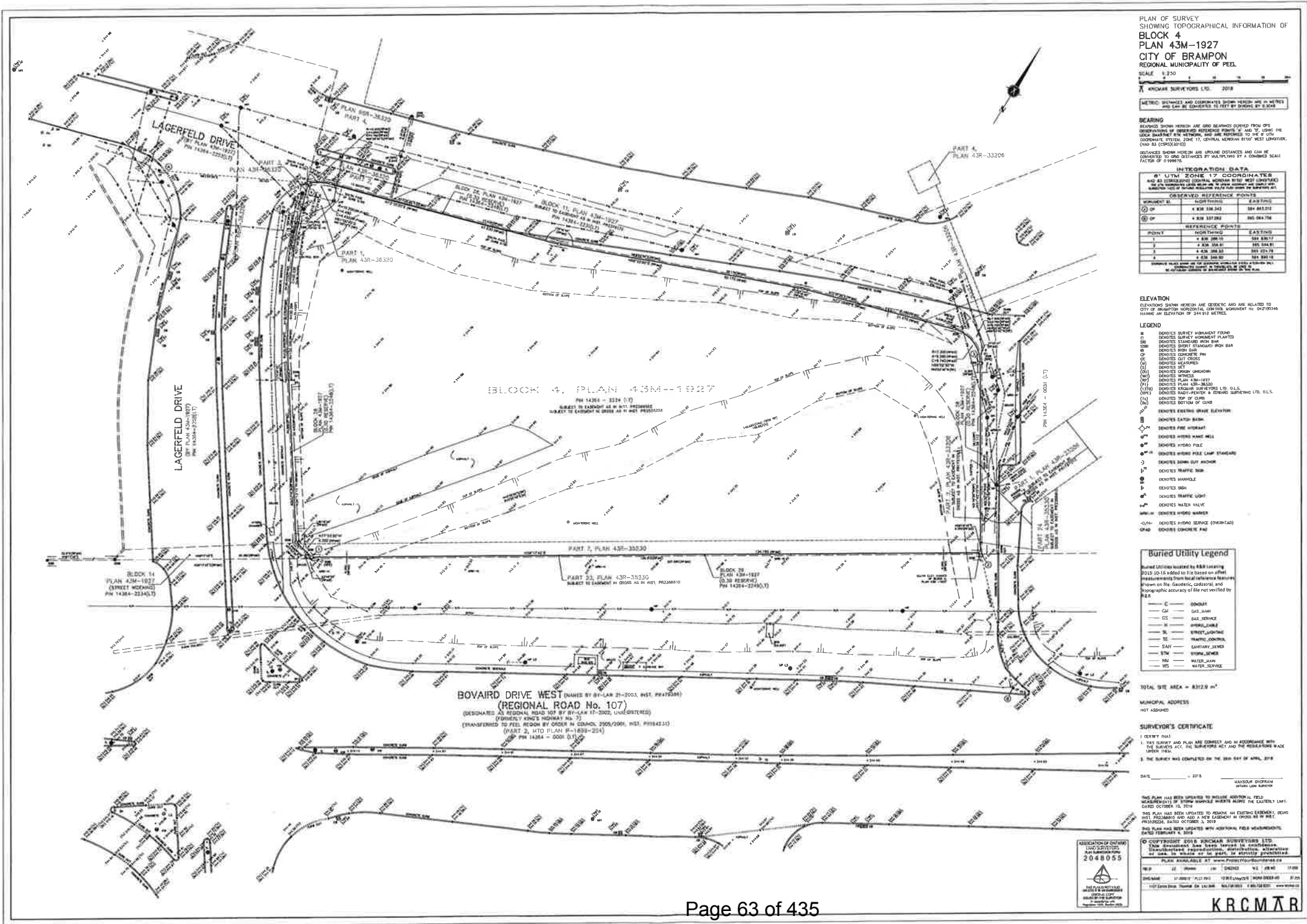
PLANIMETER
ELECTRONIC

PLANNED ACQUISITION				
NO.	FR. GROUP	CL. ORDER	MS. GEN. NO.	ISSUE
BUILDING	(1) STAIRWAY	(1) ASBESTOS	(1) 21 SEPTEMBER 2009	ACQUA BROS INC. 2014
TRIP OVER SHIP YARD ON 14 JULY 2024 2024 FEBRUARY 2024 COLLEGE www.krcmtr.com				
PLAN AVAILABLE AT www.FranchiseTravellers.com				

KRCMTR







PLAN OF SURVEY
SHOWING TOPOGRAPHICAL INFORMATION OF
BLOCK 4
PLAN 43M-1927
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEE

SCALE 1:250

KRCMAR SURVEYORS LTD. 2018

METRIC DISTANCES AND COORDINATES SHOWN HEREIN ARE IN METERS
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING
BEARINGS SHOWN HEREIN ARE GRID BEARINGS DERIVED FROM GPS
OBSERVATIONS OF OBSERVED REFERENCE POINTS & ARE TO BE USED IN
CONJUNCTION WITH THE 17, CENTRAL MERIDIAN BY WEST LONGITUDE,
(NAD 83 CONFORMED)

DISTANCES SHOWN HEREIN ARE GROUND DISTANCES AND CAN BE
CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE
FACTOR OF 0.99975

INTEGRATION DATA

BY UTM ZONE 17 COORDINATES
AND AS EXISTING RECORDS MONITOR BY WEST LONGITUDE
(NAD 83 CONFORMED) & 17, CENTRAL MERIDIAN BY WEST LONGITUDE,
(NAD 83 CONFORMED)

POINT	COORDINATES	EASTING
1	43M 1927	584 820.17
2	43M 1927	584 820.17
3	43M 1927	584 820.17
4	43M 1927	584 820.17

ELEVATION
ELEVATIONS SHOWN HEREIN ARE GEODETIC AND ARE RELATED TO
CITY OF BRAMPTON HORIZONTAL CONTROL MONUMENT NO. 04700346
BASED ON ELEVATION OF 244.915 METERS.

- LEGEND**
- 1 DENOTES SURVEY MONUMENT FORM
 - 2 DENOTES SURVEY MONUMENT PLANTED
 - 3 DENOTES STANDARD IRON ROD
 - 4 DENOTES SHORT STANDARD IRON ROD
 - 5 DENOTES IRON LAMP
 - 6 DENOTES CONCRETE PIN
 - 7 DENOTES COT CROSS
 - 8 DENOTES COT CROSS
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Buried Utility Legend

1015-1016 is added to the based on other
measurements from local reference bearings
shown on the Geodetic, cadastral and
topographic accuracy of file not verified by
K&S

Symbol	Utility
— C —	CORROSION
— CU —	CUT LAMP
— CS —	CUT SERVICE
— H —	HIGHWAY
— SL —	STREET LIGHTING
— TC —	TRAFFIC CONTROL
— SAN —	SANITARY SEWER
— SW —	STORM SEWER
— WM —	WATER MAIN
— WS —	WATER SERVICE

TOTAL SITE AREA = 8312.0 m²

MEMORIAL ADDRESS
NOT ASSIGNED

SURVEYOR'S CERTIFICATE

I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE
UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 20th DAY OF APRIL, 2018

DATE: 2018

HAUSMAN CHOPMAN
CHAIRMAN SURVEYOR

THIS PLAN HAS BEEN UPDATED TO INCLUDE ADDITIONAL FIELD
MEASUREMENTS OF STORM SEWER WHERES ALONG THE EXISTING LINE
DATED OCTOBER 12, 2019

THIS PLAN HAS BEEN UPDATED TO REMOVE AN EXISTING EXEMPTED DEED
NOT PROBABLY AND ADD A NEW EXEMPTED DEED IN PART
PROPOSED, DATED OCTOBER 12, 2019

THIS PLAN HAS BEEN UPDATED WITH ADDITIONAL FIELD MEASUREMENTS
DATED FEBRUARY 4, 2019

**ASSOCIATION OF ONTARIO
LAND SURVEYORS
2048055**

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IN WHOLE OR IN PART, IN ANY MANNER, WITHOUT THE WRITTEN
PERMISSION OF KRCMAR SURVEYORS LTD.

PLAN AVAILABLE AT: www.PlanetPDF.com/plan43m1927

MEMBER: 17-0017 (PLAN 1927) 17-0017 (PLAN 1927) 17-0017 (PLAN 1927) 17-0017 (PLAN 1927)

1100 Lakeshore Drive, Suite 100, Brampton, ON L6Y 4K6

TEL: 905.874.1100 FAX: 905.874.1101

KRCMAR



B-2023-0018
B-2023-0019

APPLICATION # B-2023-0019
Ward # 6

NOTICE OF AN APPLICATION FOR CONSENT

An application for consent has been made **DANIELS MPV CORPORATION**

Purpose and Effect

The purpose of the application is to request the consent of the Committee of Adjustment for conveyance of Part of Block 4, Plan 43M-1927 to provide for a stratified lot addition of lands currently under ownership of the West Parcel (future condominium) to the East Parcel of land (rental). The effect of the application is to amend ownership boundaries by merging select Parts at grade and in the shared underground garage with the East Parcel of land municipally known as 40 Lagerfeld Drive. (Concurrent Consent Application B-2023-0018).

Location of Land:

Municipal Address: 10, 20 and 30 Lagerfeld Drive

Former Township: Chinguacousy

Legal Description: Part of Block 4, Plan 43M-1927

Meeting

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for considering the application.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property, or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** You may attend the meeting in person to express your views about this application or you may be represented by an agent or counsel for that purpose. If you do not attend the meeting, a signed written submission shall be accepted by the Secretary-Treasurer prior to or during the meeting and such submission shall be available for inspection at the meeting by any interested person. If you do not attend the meeting, the Committee may proceed and make a decision with respect to this application in your absence. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

=====

LAST DAY FOR RECEIVING COMMENTS: JUNE 15, 2023

=====

NOTE: IT IS LIKELY THAT COMMITTEE MEMBER(S) WILL CONDUCT A SITE INSPECTION RELATED TO THE APPLICATION PRIOR TO THE MEETING.

Other Planning Act Applications

The land which is the subject of the application is the subject of an application under the *Planning Act* for:

Official Plan Amendment:	NO	File Number:
Zoning By-law Amendment:	NO	File Number:
Minor Variance:	NO	File Number:

Decision and Appeal

Any person or public body may, not later than **20 days after the giving of the notice of decision**, appeal the decision or any condition imposed by the Committee of Adjustment or appeal both the decision and any condition to the Local Planning Appeal Tribunal by filing with the Secretary-Treasurer of the Committee of Adjustment a notice of appeal, accompanied by the fee prescribed under the *Local Planning Appeal Tribunal Act*. The appeal form is available from the Environment and Land Tribunals Ontario website at www.elto.gov.on.ca

If a person or public body, that files an appeal of a decision of the Committee of Adjustment in respect of the proposed consent, does not make a written submission to the Committee of Adjustment before it gives or refuses to give a provisional consent, then the Local Planning Appeal Tribunal may dismiss the appeal.

DATED AT THE CITY OF BRAMPTON THIS **2nd Day of June, 2023**

Comments may be sent to and information may be obtained between 8:30 a.m. to 4:30 p.m. Monday to Friday from:

Jeanie Myers, Secretary-Treasurer
City of Brampton Committee of Adjustment
City Clerk's Office, Brampton City Hall
2 Wellington Street West
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

DANIELS MPV CORPORATION

130 Queens Quay E
8th Fl., West Tower
Toronto, ON M5A 0P6
P: (416) 598-2129
F: (416) 797-0415

May 23, 2023

Attn: Jeanie Myers
Legislative Coordinator and Secretary-Treasurer
City of Brampton
Committee of Adjustment
2 Wellington Street W.
Brampton, ON L6Y 4R2

**RE: 10, 20 & 30 Lagerfeld Drive, northeast corner of Lagerfeld Dr. and Bovaird Dr. West
Block 4 Plan 43M-1927
Application for Stratified Lot Addition Application**

B-2023-0019

Daniels MPV Corporation ('Daniels') is pleased to submit the enclosed application to amend the ownership boundaries of its lands at 10-40 Lagerfeld Drive ('subject site') through a stratified lot addition application. The subject site is currently under construction to develop a residential condominium and a rental apartment atop a shared underground garage. The purpose of this application is to transfer the Parts described below from the rental entity to the future condominium entity.

In 2020, the subject site received approval at the Committee of Adjustment to sever the lands into two parcels under file no. **B2020-0018**. The first parcel, the West Parcel, will be registered as a condominium corporation in the near future and the second parcel, the East Parcel, will be a rental apartment building. Through the design and construction process, unforeseeable revisions were required to the subject site which conflicted with the original severance. As a result, this application aims to rectify the areas where ownership boundaries are misaligned. The below application will see lands currently under ownership of the West Parcel (future condo) being transferred to the East Parcel (rental). A second application will be submitted alongside this one to transfer lands from the East Parcel (rental) to the West Parcel (future condo).

Application Overview

This application is seeking to transfer lands currently under ownership of the West Parcel (future condo) to the East Parcel (rental) through a stratified lot addition application. The affected areas are as follows (please refer to enclosed plans for reference):

1. **Proposed Part 5:** Proposed Part 1 is located below the P3 level in the underground garage. Proposed Part 5 houses mechanical infrastructure and equipment related to rental building located on the East Parcel. Through this application, Proposed Part 5 will join with the existing Part 28, also located in the P3 level of the underground which will ensure smooth operation and maintenance of the mechanical equipment related to the rental building use.

DANIELS MPV CORPORATION

130 Queens Quay E
8th Fl., West Tower
Toronto, ON M5A 0P6

For your review and consideration, the following materials are enclosed in support of the above application:

- Completed application form,
- Plan of survey, prepared by Krcmar Surveyors,
- Draft reference plan, prepared by Krcmar Surveyors,
- Draft reference plan with architectural overlay, prepared by Krcmar Surveyors,
- Draft reference plan with hatching showing the affected lot addition areas, prepared by Krcmar Surveyors.

Should you have any questions or require additional material, please do not hesitate to contact the undersigned.

Sincerely,

Daniels MPV Corporation



Daniel Grandilli
Development Manager
(416) 598-2129
dgrandilli@danielscorp.com



The personal Information collected on this form is collected pursuant to subsection 53(2) of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Consent
(Please read Instructions)

NOTE: Pursuant to subsection 53(2) of the *PLANNING ACT*, the applicant shall provide the Committee of Adjustment with such information or material as the Committee of Adjustment may require. The Committee of Adjustment may refuse to accept or further consider the application until the prescribed information, material and the required fee are received.

1. (a) Name of Owner/Applicant Daniels MPV Corporation
(print given and family names in full)

Address 130 Queens Quay E, Toronto ON M5A 0P6

Phone # 416-598-2129 Fax #

Email dgrandilli@danielscorp.com

(b) Name of Authorized Agent Daniel Grandilli

Address 130 Queens Quay E, Toronto ON M5A 0P6

Phone # 416 591-2914 Fax #

Email dgrandilli@danielscorp.com

2. The type and the purpose of the proposed transaction, such as transfer for a creation of a new lot, lot addition, an easement, a charge, a lease or a correction of title.

Specify: stratified part lot addition application to amend the ownership boundaries on a select few Parts at grade and in the shared underground garage. Revisions to ownership boundaries are required due to site conditions discovered during construction. Please see attached cover letter for complete breakdown.

3. If known, the name of the person to whom the land or an interest in the land is to be transferred, charged or leased.

Daniels Choice Mount Pleasant Corporation

4. Description of the subject land ("subject land" means the land to be severed and retained):

a) Name of Street Lagerfeld Drive Number 10

b) Concession No. Lot(s)

c) Registered Plan No. PL 43M1927 PT BLK 4 Lot(s)

d) Reference Plan No. RP 43R39900 PARTS 1, 13-19, 25, 26, 29, 30 40 AND 41 Lot(s)

e) Assessment Roll No. 10-06-0-003-00343-0000 Geographic or Former Township

5. Are there any easements or restrictive covenants affecting the subject land?

Yes No

Specify:

- 1. EASEMENT IN GROSS OVER PT 7 PL 43R35230 AS IN PR2366810
- 2. EASEMENT FOR ENTRY AS IN PR2389562 CITY OF BRAMPTON

6. Description of severed land: (in metric units)

a) Frontage ~70m Depth ~60m Area ~3792.1m at grade

b) Existing Use under construction Proposed Use Residential rental

c) Number and use of buildings and structures (both existing and proposed) on the land to be severed:

(existing) under construction of one rental tower

(proposed) one residential rental tower

d) Access will be by:

	Existing	Proposed
Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f) Water supply will be by:

	Existing	Proposed
Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>

Other (specify):

g) Sewage disposal will be by:

	Existing	Proposed
Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Privy	<input type="checkbox"/>	<input type="checkbox"/>
Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>

Other (specify):

7. Description of retained land: (in metric units)

a) Frontage ~60m Depth ~72m Area 3,846.7m at grade

b) Existing Use under construction Proposed Use residential condo

c) Number and use of buildings and structures (both existing and proposed) on the land to be retained:

(existing) under construction of 3 residential condo buildings (1 midrise, 2 blocks of back to back townhouses)

(proposed) 3 residential condo buildings (1 6-storey midrise, 2 3-storey back to back townhouses)

d)	Access will be by:	Existing	Proposed
	Provincial Highway	<input type="checkbox"/>	<input type="checkbox"/>
	Municipal Road - Maintained all year	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Other Public Road	<input type="checkbox"/>	<input type="checkbox"/>
	Regional Road	<input type="checkbox"/>	<input type="checkbox"/>
	Seasonal Road	<input type="checkbox"/>	<input type="checkbox"/>
	Private Right of Way	<input type="checkbox"/>	<input type="checkbox"/>

e) If access is by water only, what parking and docking facilities will be used and what is the approximate distance of these facilities from the subject land and the nearest public road?

f)	Water supply will be by:	Existing	Proposed
	Publicly owned and operated water system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Lake or other body of water	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal well	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	_____	

g)	Sewage disposal will be by:	Existing	Proposed
	Publicly owned and operated sanitary sewer system	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Privy	<input type="checkbox"/>	<input type="checkbox"/>
	Privately owned and operated individual or communal septic system	<input type="checkbox"/>	<input type="checkbox"/>
	Other (specify):	_____	

8. What is the current designation of the land in any applicable zoning by-law and official plan?

	Land to be Severed	Land to be Retained
Zoning By-Law	<u>R4A-3527</u>	<u>R4A-3527</u>
Official Plans		
City of Brampton	<u>Residential</u>	<u>Residential</u>
Region of Peel	<u>Urban Structure</u>	<u>Urban Structure</u>

9. Has the subject land ever been the subject of an application for approval of a plan of subdivision under section 51 of the Planning Act or a consent under section 53 of the Act and if the answer is yes and if known, the file number of the application and the decision on the application?

Yes ☒ No ☐

File # 21T-10022B Status/Decision Approved (Plan 43M-1927)

10. Has any land been severed from the parcel originally acquired by the owner of the subject land?

Yes ☐ No ☒

Date of Transfer _____ Land Use _____

11. If known, is/was the subject land the subject of any other application under the Planning Act, such as:

	File Number	Status
Official Plan Amendment		
Zoning By-law Amendment		
Minister's Zoning Order		
Minor Variance	A19-144, A2020-0115	approved
Validation of the Title		
Approval of Power and Sale		
Plan of Subdivision	21T-10022B	approved


12. Is the proposal consistent with Policy Statements issued under subsection 3(1) of the *Planning Act*?
Yes ☒ No ☐

13. Is the subject land within an area of land designated under any Provincial Plan?
Yes ☐ No ☐

14. If the answer is yes, does the application conform to the applicable Provincial Plan?
Yes ☐ No ☐

15. If the applicant is not the owner of the subject land, the written authorization, of the owner that the applicant is authorized to make the application, shall be attached. (See "APPOINTMENT AND AUTHORIZATION OF AGENTS" form attached).

Dated at the _____ City _____ of _____ Toronto _____
this 23rd day of May, 2023.



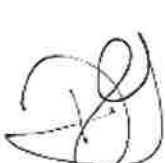
Signature of Applicant, or Authorized Agent, see note on next page

Check box if applicable:
☐ I have the authority to bind the Corporation

DECLARATION

I, Daniel Grandilli of the Province of Ontario
in the County/District/Regional Municipality of Toronto solemnly declare that all the statements contained in this application are true and I make this as if made under oath and by virtue of "The Canada Evidence Act".

Declared before me at the City of Brampton
in the Region of Peel
this 24th day of May, 2023



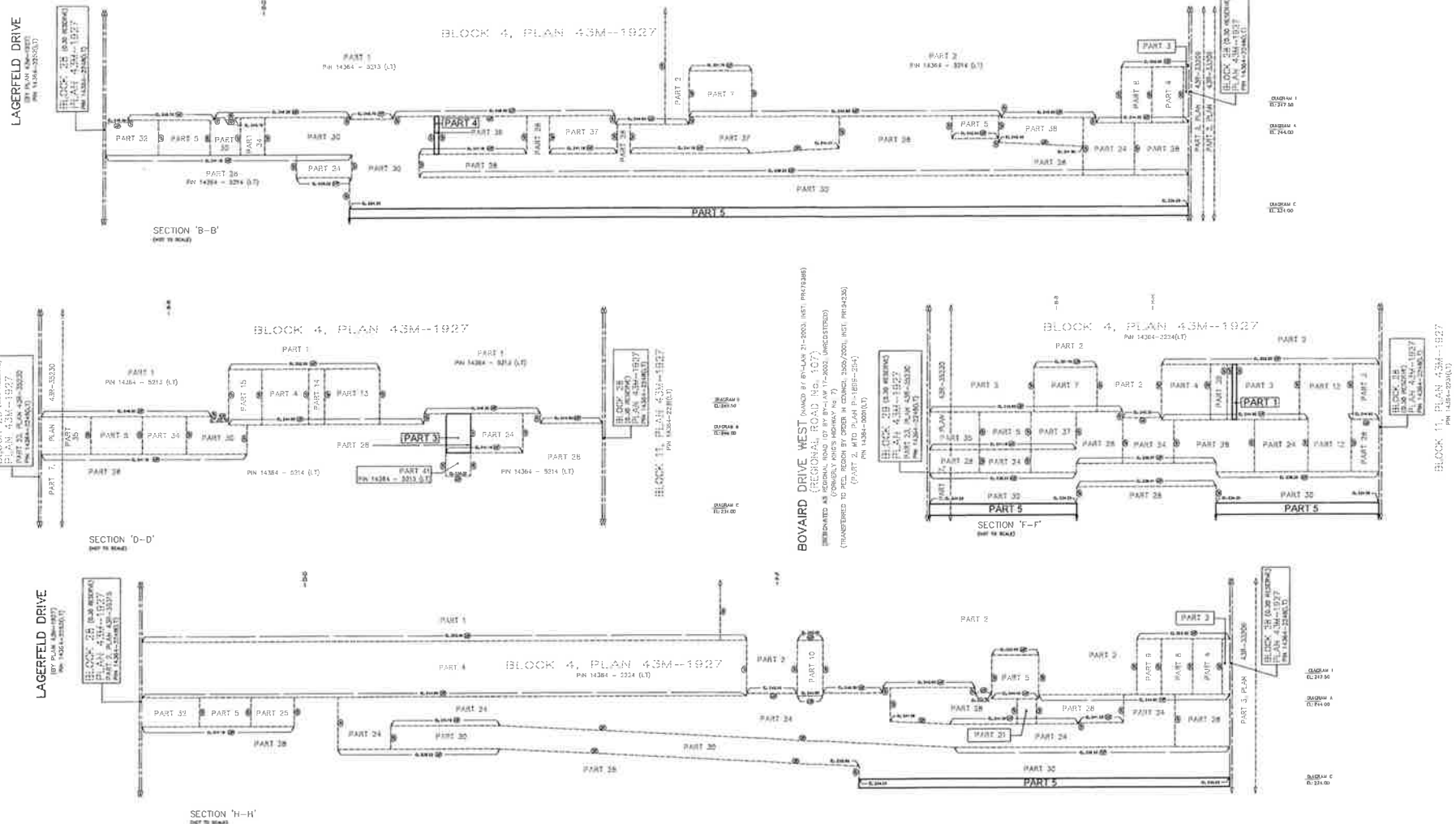
Signature of applicant/solicitor/authorized agent, etc.

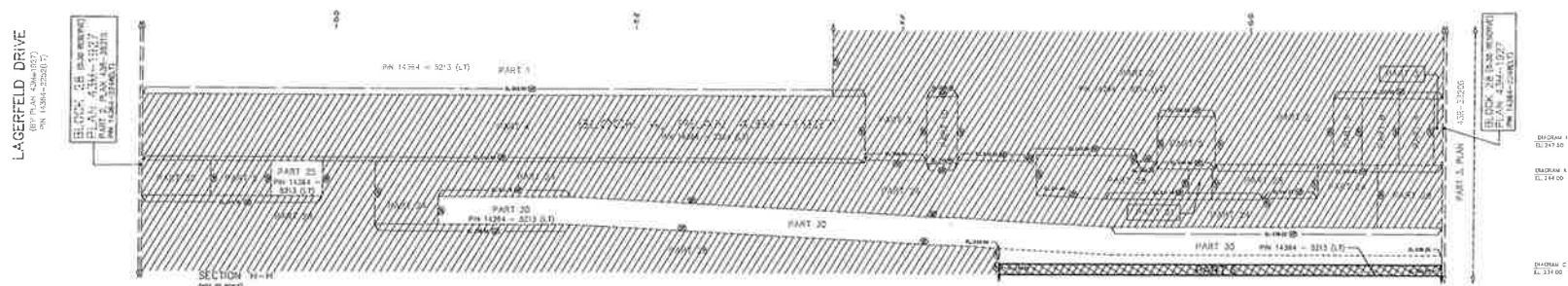
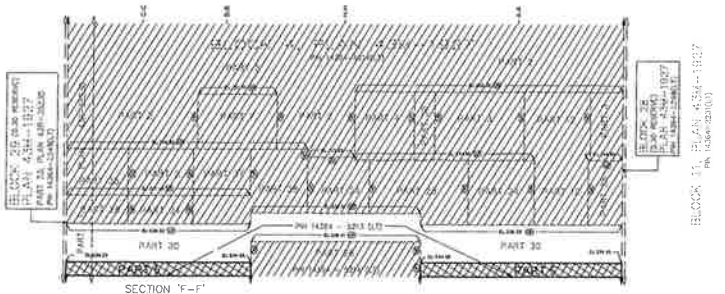
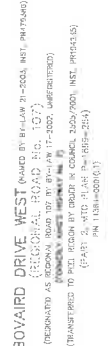
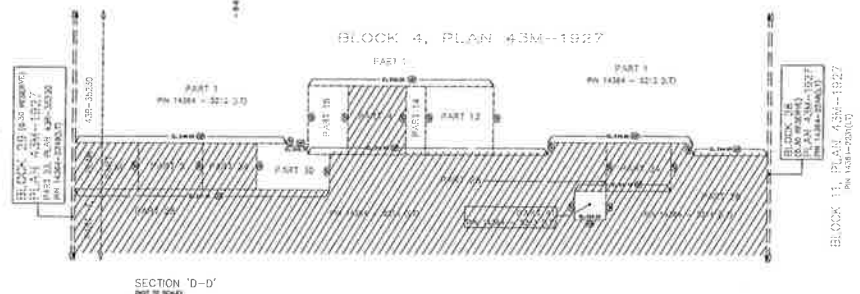
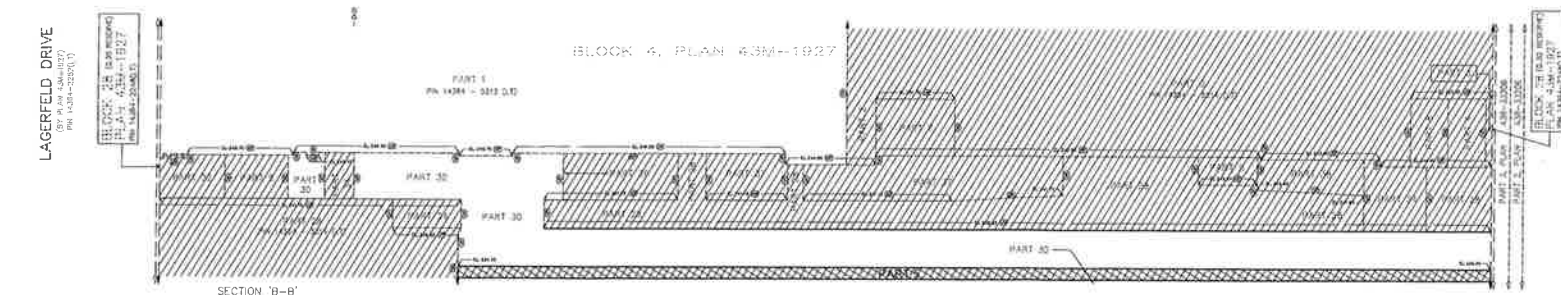


Signature of a Commissioner, etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

FOR OFFICE USE ONLY - To Be Completed By the Zoning Division	
This application has been reviewed with respect to possible variances required and the results of the said review are outlined on the attached checklist.	
_____ Zoning Officer	_____ Date

[illegible]



SKETCH SHOWING
LOT ADDITION AND
TRANSFEEEE LANDS
BEING OVER
BLOCK 4
PLAN 43M-1927
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEELE
SCALE 1:200

 KRCMAH SURVEYORS LTD. 202

BEARING
BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATIONS OF CONSERVED REFERENCE POINTS "A" AND "B", USING THE LEICA SMARTNET RTK NETWORK AND ARE REFERRED TO THE 6°15'W COORDINATE SYSTEM, ZONE 12, CENTRAL MERIDIAN 81°00' WEST LONGITUDE. (NAD 83 (GCRN2010))

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A CONVERSION SCALE

ELEVATION

ELEVATIONS SHOWN HEREON ARE GEODENSIC AND ARE RELATED TO CITY OF BRAVAPPO HORIZONTAL CONTROL MONUMENT No. 0421003 HAVING AN ELEVATION OF 744.912 METRES

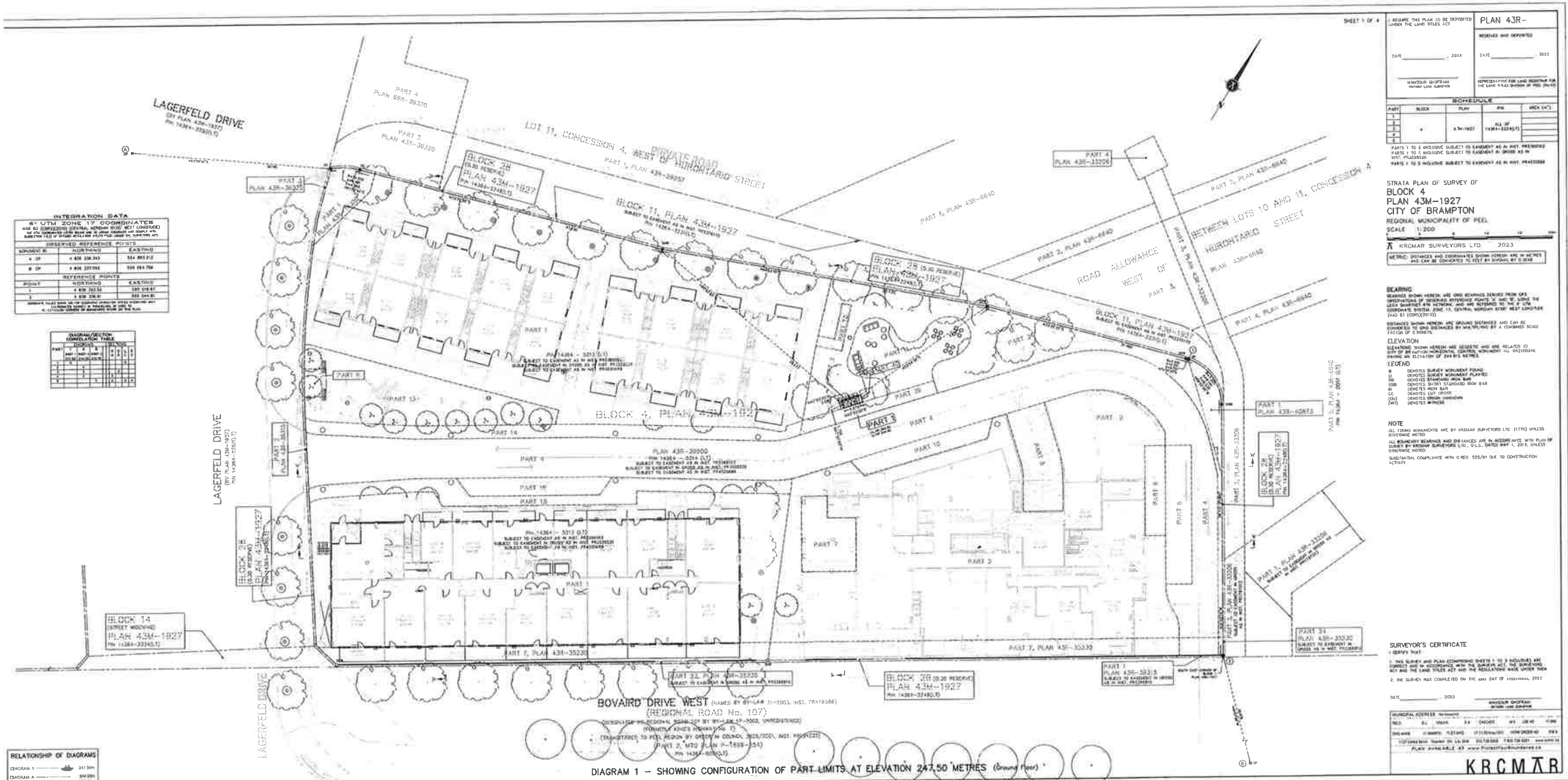
0	DENOTES SURVEY MONUMENT FOUND
1	DENOTES SURVEY MONUMENT PLANTED
98	DENOTES STANDARD IRON BAR
99	DENOTES SHORT STANDARD IRON BAR
40	DENOTES IRON BAR
50	DENOTES CUT CROSS
(04)	DENOTES UNKNOWN
(94)	DENOTES UNKNOWN

NOTE
ALL FUTURE MONUMENTS ARE BY KEMAN SURVEYORS LTD. (1370) UNLESS OTHERWISE NOTED
ALL BOUNDARY BEARINGS AND DISTANCES ARE IN ACCORDANCE WITH PLAN OF SURVEY BY KEMAN SURVEYORS LTD. D.C.S. DATED MAY 1, 2018, UNLESS OTHERWISE NOTED
SUBSTANTIAL COMPLIANCE WITH OREG. 523/51 DUE TO RECONSTRUCTION ACTIVITY

 TRANSFEEE LANDS
 LOT ADDITION

FILED	FILED	FILED	FILED	FILED	FILED
FILED	FILED	FILED	FILED	FILED	FILED

KRCMTF



INTEGRATION DATA

6° UTM ZONE 17 COORDINATES
AND 20 CONVERSIONS (EAST, NORTH, UTM, WEST, LONGITUDE)
FOR CONVERSIONS (EAST, NORTH, UTM, WEST, LONGITUDE)
FOR CONVERSIONS (EAST, NORTH, UTM, WEST, LONGITUDE)

COORDINATE	UTM	EASTING	NORTHING
43M-33205	43M-33205	504 863 812	554 863 812
43M-33206	43M-33206	504 863 812	554 863 812

RELATIONSHIP OF DIAGRAMS

DIAGRAM	SCALE
DIAGRAM 1	1:100
DIAGRAM 2	1:100
DIAGRAM 3	1:100

PLAN 43R--

RECEIVED AND DEPOSITED

DATE: 2023

DATE: 2023

UNOFFICIAL COPY FOR INFORMATION ONLY

UNOFFICIAL COPY FOR INFORMATION ONLY

SCHEDULE

PART	BLOCK	PLAN	FILE	NO. (S)
1	43M-33205	43M-33205	43M-33205	1
2	43M-33206	43M-33206	43M-33206	2

PARTS 1 TO 3 INCLUSIVE SUBJECT TO EXAMINATION AS IN PART 1, PRESENTLY
PARTS 1 TO 3 INCLUSIVE SUBJECT TO EXAMINATION AS IN PART 1, PRESENTLY
PARTS 1 TO 3 INCLUSIVE SUBJECT TO EXAMINATION AS IN PART 1, PRESENTLY

**STRATA PLAN OF SURVEY OF
BLOCK 4
PLAN 43M-1927
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEELE
SCALE: 1:200**

KRCMAR SURVEYORS LTD. 2023

BEARING:
BEARINGS SHOWN HEREIN ARE TRUE BEARINGS DERIVED FROM GPS
OPERATIONS OF GRANTING SURVEYORS. USE OF SUCH BEARINGS
DOES NOT CONSTITUTE A GUARANTEE OF ACCURACY OR A GUARANTEE
OF THE CORRECTNESS OF THE BEARINGS. BEARINGS SHOWN HEREIN
ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR ANY OTHER
PURPOSE.

ELEVATION:
ELEVATIONS SHOWN HEREIN ARE ELEVATIONS AND ARE RELATED TO
THE MEAN SEA LEVEL. ELEVATIONS SHOWN HEREIN ARE FOR INFORMATION
ONLY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE.

LEGEND

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- 100. DENOTES SURVEY WORKING POINT

NOTE

ALL LAND MEASUREMENTS ARE BY KRCMAR SURVEYORS LTD. (1170) UNLESS
OTHERWISE NOTED.

ALL BEARINGS, BEARINGS AND DISTANCES ARE IN ACCORDANCE WITH PLAN OF
SURVEY AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE.

SUBJECT TO COMPLIANCE WITH OREGON 515/51 DUE TO CONSTRUCTION
ACTIVITY.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

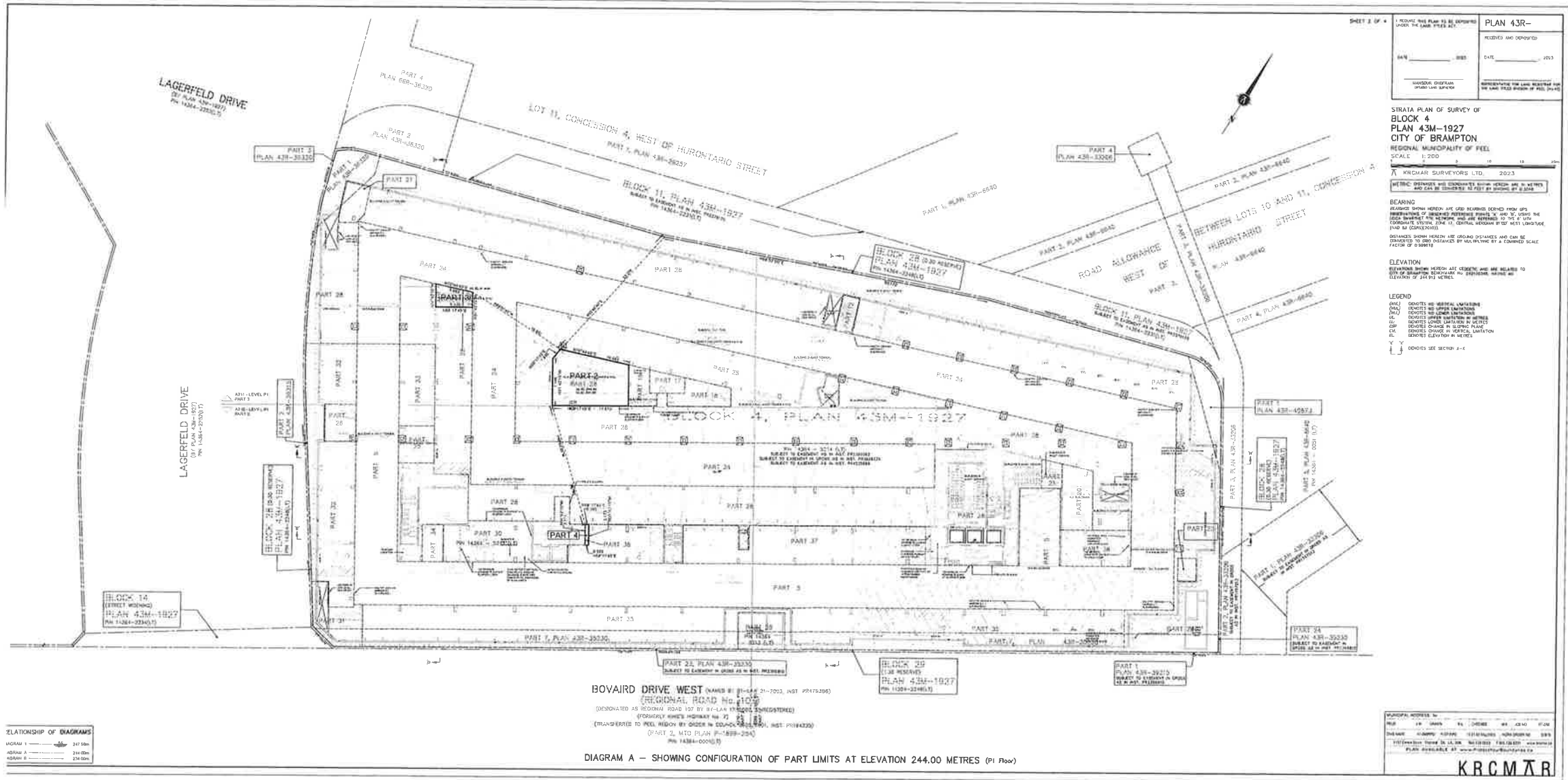
1. THE SURVEY AND PLAN COMPREHENSIVE SHEET 1 TO 3 INCLUSIVE ARE
CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE SURVEY
AND THE LAND IS NOT AFFECTED.

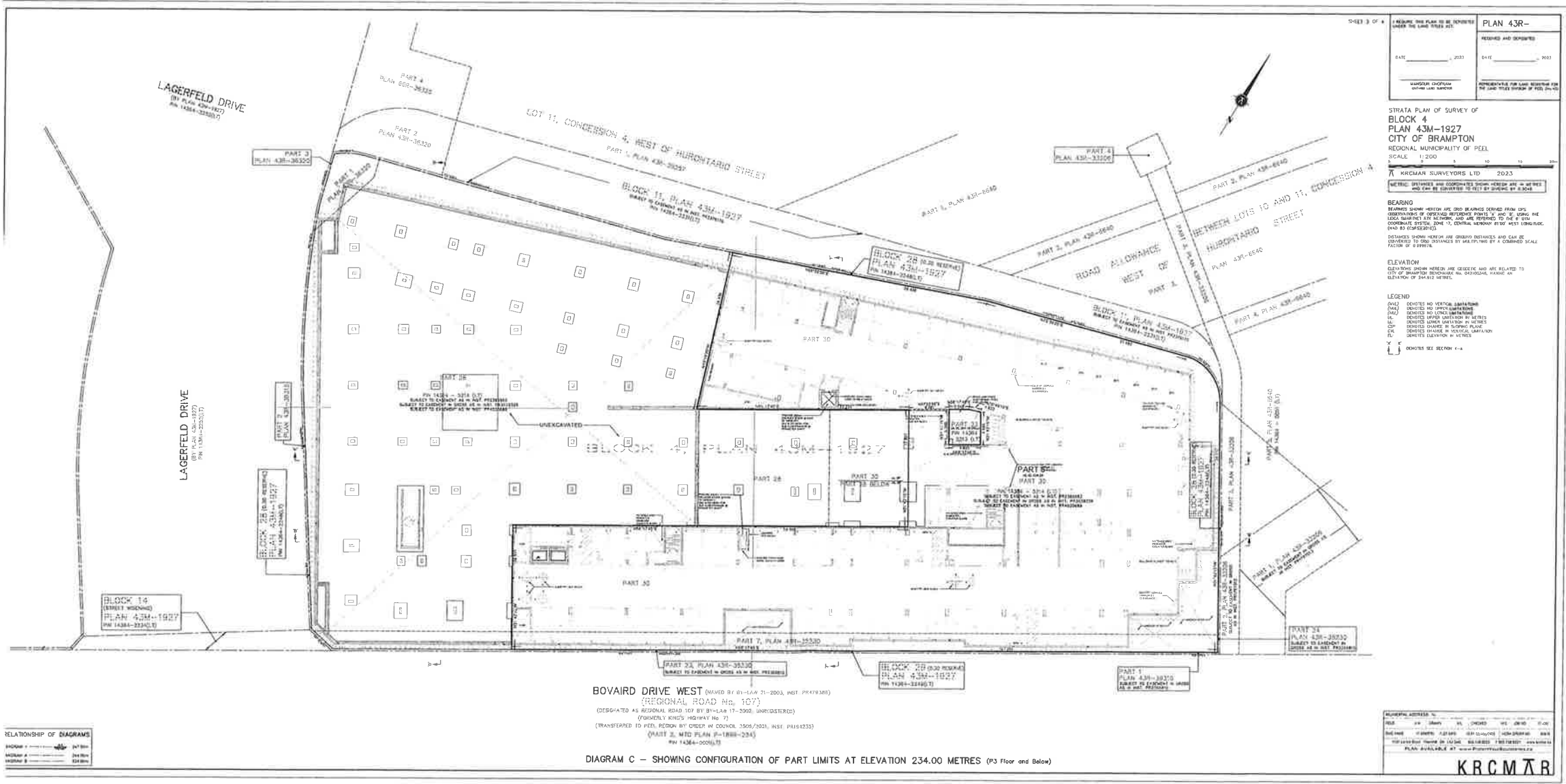
2. THE SURVEY WAS COMPLETED ON THE DAY OF FEBRUARY 2023.

DATE: 2023

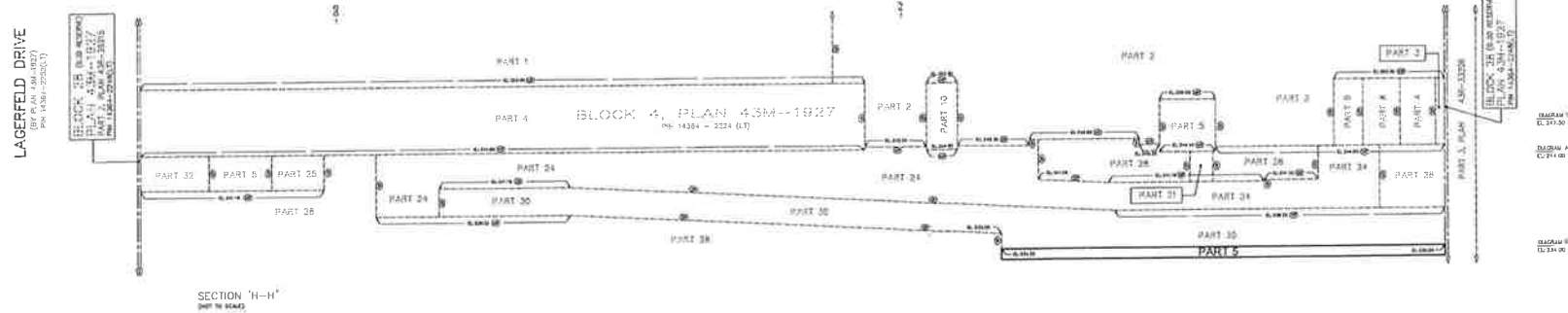
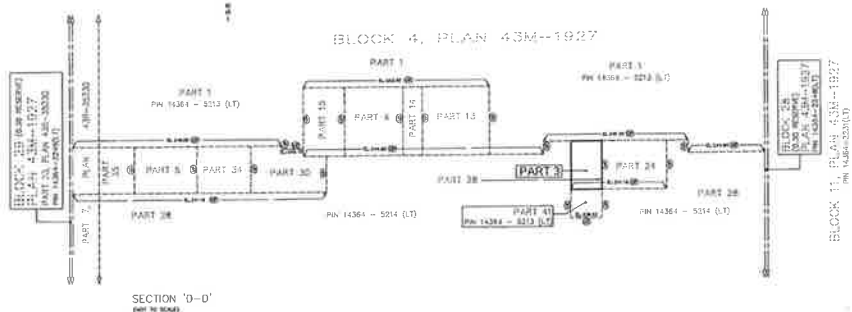
UNOFFICIAL COPY FOR INFORMATION ONLY

KRCMAR

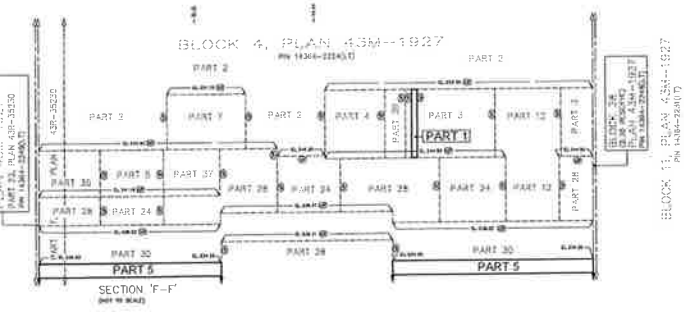




BOYARD DRIVE WEST (NAMED BY BY-LAW 17-2002, INST. 18142580)
(DESIGNATED AS REGIONAL ROAD 107 BY BY-LAW 17-2002, UNREGISTERED)
(TRANSFERRED TO REG. ROAD BY ORDER IN COUNCIL 2006/2007, INST. 18144353)
(PART 2, UTO PL. AN. 17-1685-204)
PIN 14364-0020(17)



BOYARD DRIVE WEST (NAMED BY BY-LAW 17-2002, INST. 18142580)
(DESIGNATED AS REGIONAL ROAD 107 BY BY-LAW 17-2002, UNREGISTERED)
(TRANSFERRED TO REG. ROAD BY ORDER IN COUNCIL 2006/2007, INST. 18144353)
(PART 2, UTO PL. AN. 17-1685-204)
PIN 14364-0020(17)



SHEET # OF #

RECORD THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT	
DATE	2023
RECEIVED AND DEPOSITED	

MANORER: KRCM AR
OPTIONAL LAND SURVEYOR

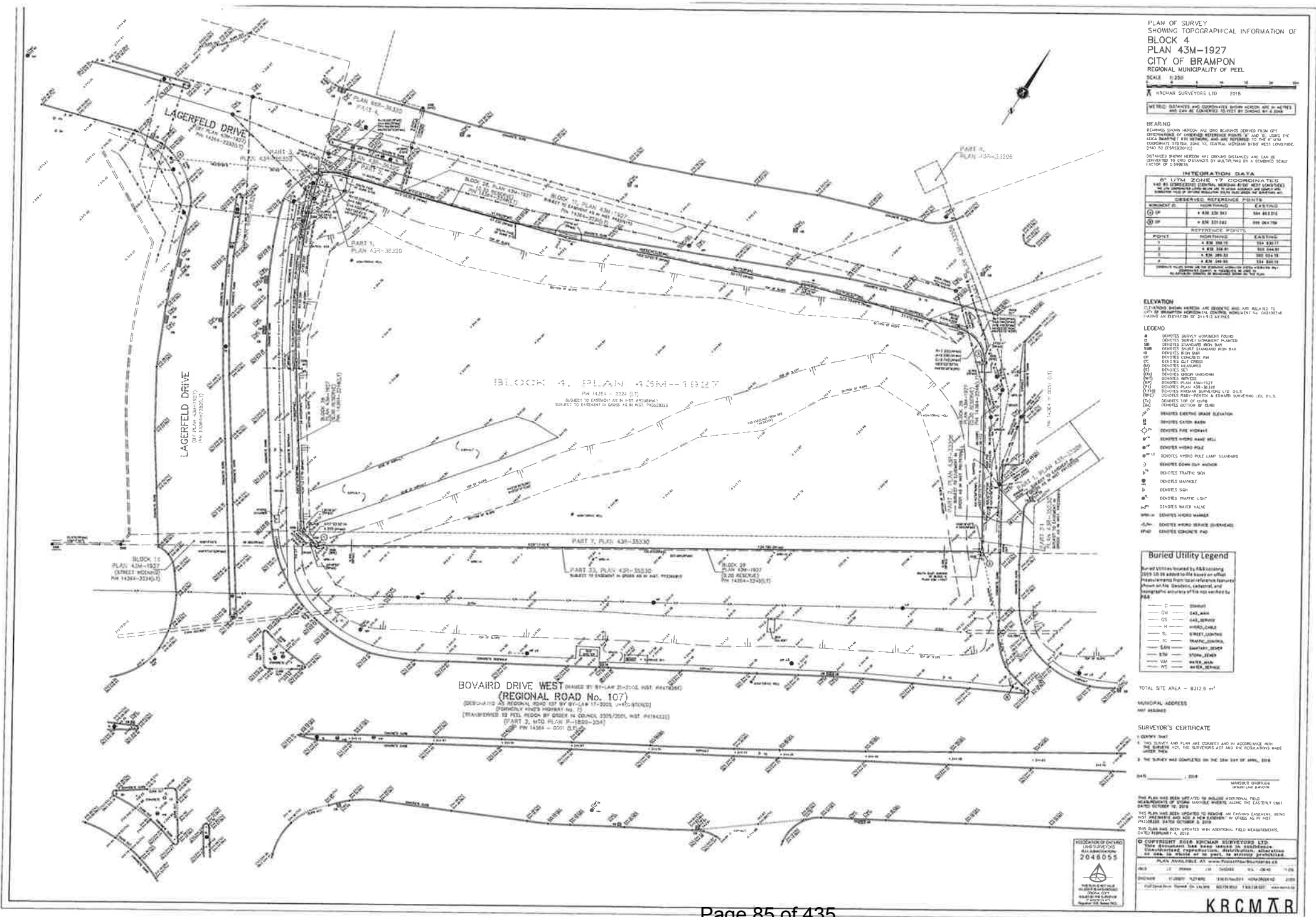
REPRESENTATIVE FOR LAND: KRCM AR
FOR THE LAND TITLES DIVISION OF PEEL (PL. 15)

STRATA PLAN OF SURVEY OF
BLOCK 4
PLAN 43M-1927
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE: 1:200

KRCM AR SURVEYORS LTD. 2023

LEGEND

- (N1) SHOWN NO VERTICAL LIMITATIONS
- (N2) SHOWN NO UPPER LIMITATIONS
- (N3) SHOWN NO LOWER LIMITATIONS
- (L) SHOWN UPPER LIMITATION IN METERS
- (L1) SHOWN LOWER LIMITATION IN METERS
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PLAN OF SURVEY
SHOWING TOPOGRAPHICAL INFORMATION OF
BLOCK 4
PLAN 43M-1927
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEE
SCALE 1:250
KRCM SURVEYORS LTD. 2018

BEARING
BEARINGS SHOWN HEREON ARE BEARINGS DERIVED FROM THE
COORDINATES OF OBSERVED REFERENCE POINTS AND ARE NOT TO BE USED
FOR THE PURPOSES OF A SURVEY. BEARINGS ARE REFERRED TO THE 1984
COORDINATE SYSTEM, DATE 17, CENTRAL UTM ZONE 18N, WEST LONGITUDE
(AND 18N COORDINATES)

INTEGRATION DATA

BOUNDARY ID	FROM POINTS	TO POINTS
1	4 438 330 343	504 863 315
2	4 438 331 342	504 864 316

NEAREST POINTS

POINT	NORTHING	EASTING
1	4 438 330 343	504 863 315
2	4 438 331 342	504 864 316
3	4 438 332 341	504 865 317
4	4 438 333 340	504 866 318

ELEVATION
ELEVATIONS SHOWN HEREON ARE ELEVATIONS AND ARE RELATED TO
CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEE
HAVING AN ELEVATION OF 241.912 METRES

- LEGEND
- 1. DENOTES SURVEY MONUMENT FOUND
 - 2. DENOTES SURVEY MONUMENT PLACED
 - 3. DENOTES STANDARD BENCH MARK
 - 4. DENOTES SHORT STANDARD BENCH MARK
 - 5. DENOTES CONCRETE PILE
 - 6. DENOTES CEMENT PILE
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Buried Utility Legend

Symbol	Description
C	Cable
GS	Gas
H	Hydro
SL	Sanitary
IC	Intercom
SA	Sanitary
ST	Storm
WM	Water
WS	Water

TOTAL SITE AREA - 8312.9 m²
MUNICIPAL ADDRESS
NOT ASSIGNED

SURVEYOR'S CERTIFICATE
I CERTIFY THAT
1. THIS CLAY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEY ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE
UNDER THEM
2. THE SURVEY WAS COMPLETED ON THE 28th DAY OF APRIL, 2018
DATE: 1/2018
MADEMY QUESTION
WITNESSED BY SURVEYOR

THIS PLAN HAS BEEN UPDATED TO INCLUDE ADDITIONAL FIELD
MEASUREMENTS OF THE MONUMENTS, HEREIN, ALONG THE EXISTING (AND
DATED) SURVEY OF 2018
THIS PLAN HAS BEEN UPDATED TO INCLUDE AN EXISTING (AND DATED) SURVEY
NOT PREVIOUSLY AND A NEW ELEVATION IN ORDER AS IN POST
PROCESSED (DATE) 2018
THIS PLAN HAS BEEN UPDATED WITH ADDITIONAL FIELD MEASUREMENTS
DATED FEBRUARY 1, 2019
© COPYRIGHT 2018 KRCM SURVEYORS LTD.
This document has been created in accordance with the
Professional Surveyors Act, 1990, and the Regulations made
thereunder. It is not to be used for any other purpose.
PLAN AVAILABLE AT: www.krcm.ca
KRCM SURVEYORS LTD.
1111 Queen Street West, Suite 100, Brampton, ON L6Y 4R6
Tel: 905.874.1234 Fax: 905.874.1235
www.krcm.ca



B-2023-0018
B-2023-0019

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **JOGINDER SINGH AND SUKHWINDER KAUR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P. 13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 125, Plan M-740 municipally known as **4 BROAD OAK COURT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance in a required interior side yard whereas the by-law does not permit a below grade entrance to be located in a required interior side yard;
2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

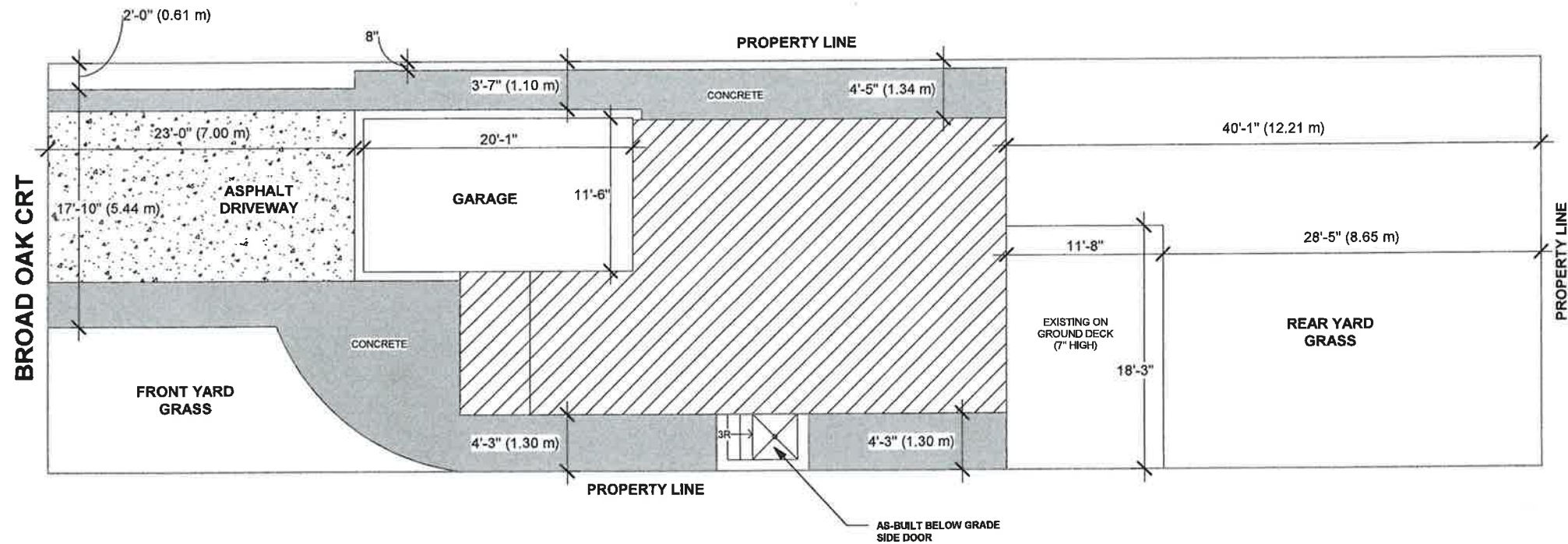
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

LOT : 125
4 BROAD OAK CRT
2 STOREY DETACHED HOUSE

MINOR VARIANCE

- TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD
- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.00M (0.00 FT.) WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.);



SITE PLAN

STAMP

01 ISSUED FOR VARIANCE APR 08/23

ADDRESS:
4 BROAD OAK CRT,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB
PROJECT NUMBER: 23R-27522

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
BRAMPTON, ON
UNIT 19
(437)-888-1800

DATE: APR 08/23
SCALE: 1 : 100
DRAWN BY: NK
CHECKED BY: JB
PROJECT NUMBER: 23R-27522
A-1

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0146

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** JOGINDER SINGH & SUKHWINDER KAUR
Address 4 BROAD OAK CRT. BRAMPTON, ON. L6Y 3S8

Phone # 416-436-8607 **Fax #** _____
Email JOGINDERSINGH38441@GMAIL.COM

2. **Name of Agent** NAVPREET KAUR
Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON. L6S 5Z4

Phone # 437-888-1800 **Fax #** _____
Email applications@nobleltd.ca

3. **Nature and extent of relief applied for (variances requested):**
-TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD
-TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.00M (0.00 FT.) WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.)

4. **Why is it not possible to comply with the provisions of the by-law?**
-THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD WHEREAS A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD IS PROPOSED
-THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.) WHEREAS A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING

5. **Legal Description of the subject land:**
Lot Number 125
Plan Number/Concession Number M740
Municipal Address 4 BROAD OAK CRT, BRAMPTON, ON, L6Y 3S8

6. **Dimension of subject land (in metric units)**
Frontage 9.30 M
Depth 34.09 M
Area 319.86 SQM

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE WITH AREA OF 167.22 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

BELOW GRADE ENTRANCE

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	7.00 M
Rear yard setback	8.65 M
Side yard setback	1.30 M
Side yard setback	1.34 M

PROPOSED

Front yard setback	7.00 M
Rear yard setback	8.65 M
Side yard setback	1.30 M
Side yard setback	1.34 M

10. Date of Acquisition of subject land: 23 MAY,2017
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1998
15. Length of time the existing uses of the subject property have been continued: 19 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Manpreet Kaur
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 5th DAY OF May, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JINTESH BHAILA OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 5th DAY OF
May, 2023

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1D

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHI S.

Zoning Officer

MAY 05 2023

Date

DATE RECEIVED MAY 5, 2023

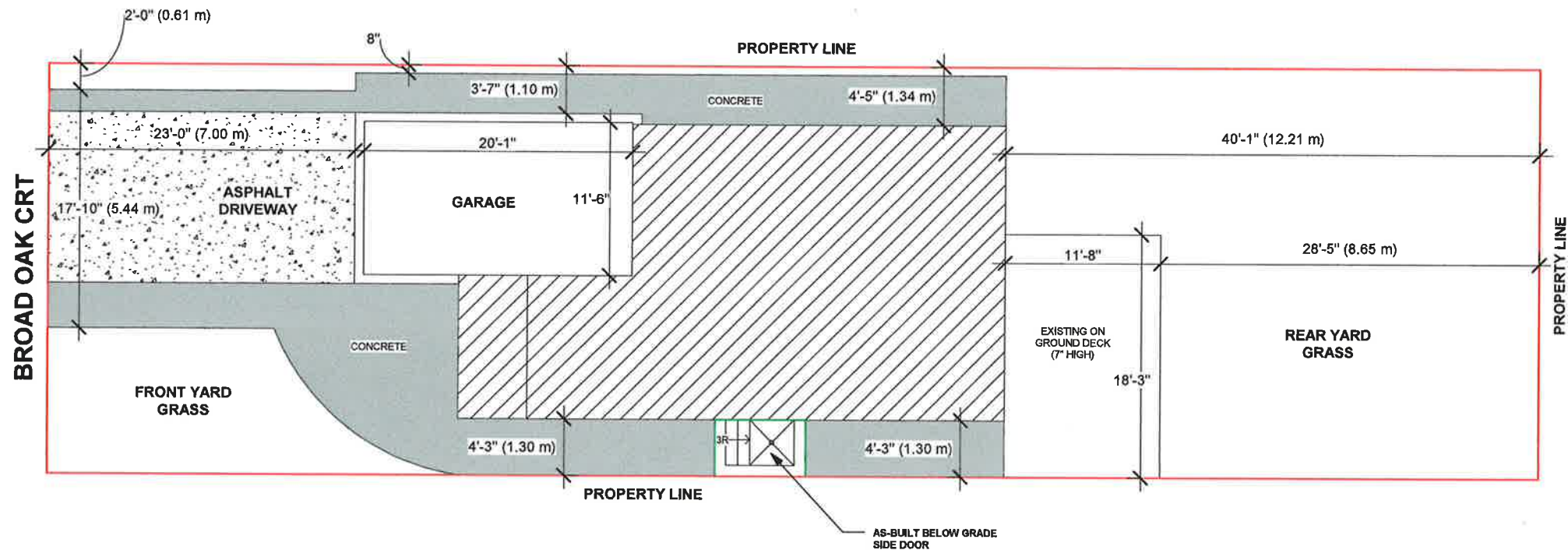
Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

LOT : 125
4 BROAD OAK CRT
2 STOREY DETACHED HOUSE

MINOR VARIANCE

- TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD
- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.00M (0.00 FT.) WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.);



SITE PLAN

STAMP

01 ISSUED FOR VARIANCE APR 06/23

ADDRESS:
4 BROAD OAK CRT,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB
PROJECT NUMBER: 23R-27522

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
BRAMPTON, ON
UNIT 19
(437)-888-1800

DATE: APR 06/23
SCALE: 1 : 100
DRAWN BY: A-1

A-2023-0146

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b

c



E5

APPLICATION # A-2023-0147
WARD #3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **YIHUA SHI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 31, Plan M-615 municipally known as **34 MERGANSER CRESCENT**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a below grade entrance in a required side yard whereas the by-law does not permit a below grade entrance to be located in a required interior side yard;
2. To permit an interior side yard setback of 0.0m to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 0.3m (0.98 ft) provided the opposite side yard has a minimum setback of 1.2m (3.94 ft);
3. To permit a 0.9m (2.95 ft) path of travel to the principal entrance leading to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

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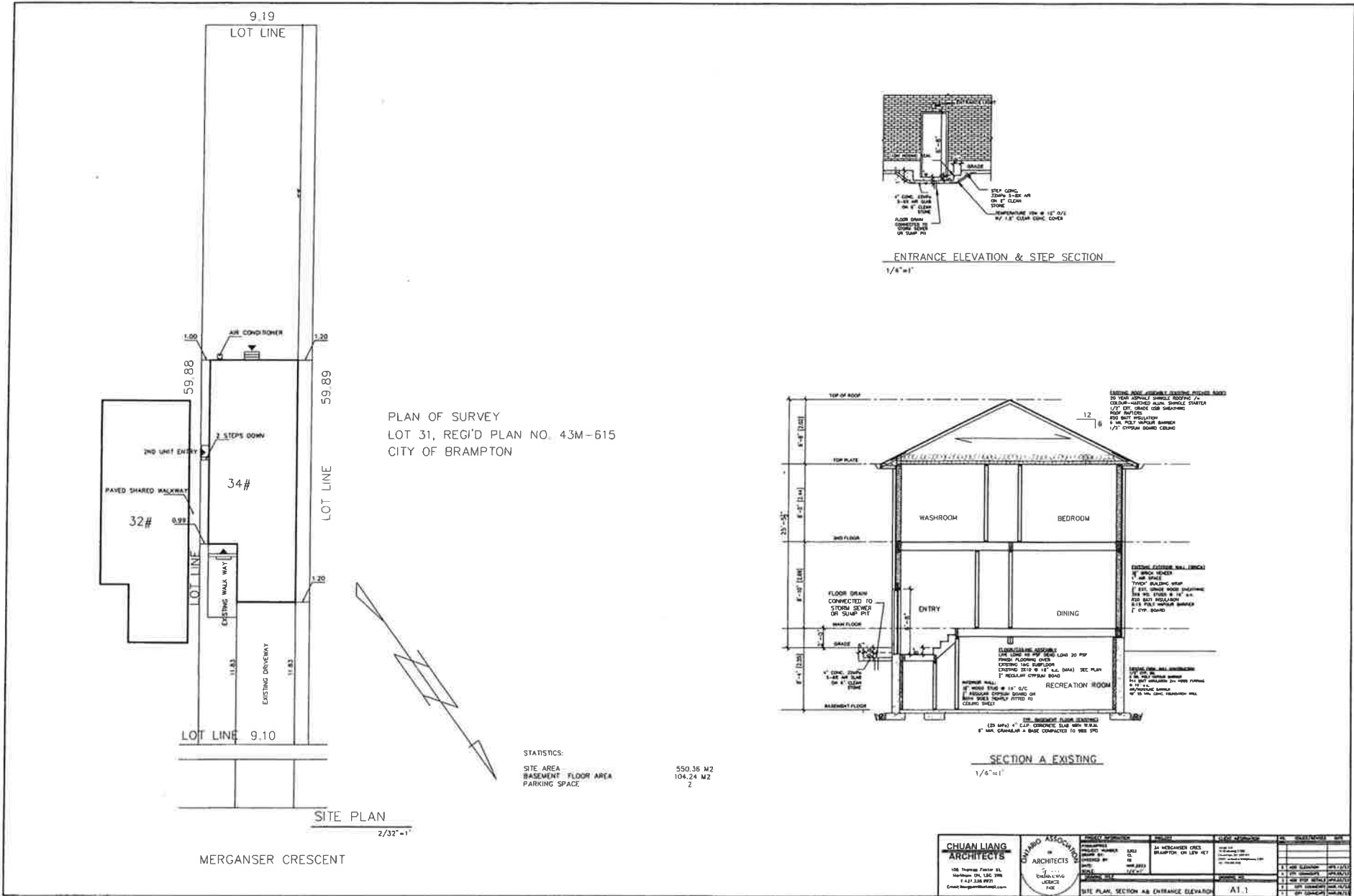
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
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For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)
FILE NUMBER: A-2023-0147

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APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) YIHUA SHI
Address 34 MERGANSER CRES. BRAMPTON ON L6W 4E7
Phone # 416-889 8186 Fax #
Email yihuashi1954@gmail.com

2. Name of Agent CHUAN LIANG
Address 106 THOMAS FOSTER ST. MARKHAM ON L6C 2W6
Phone # 437 238 9921 Fax #
Email LIANGBAH@HOTMAIL.COM

3. Nature and extent of relief applied for (variances requested):
1. Below grade entry provided in required side yard where no below grade entry allowed in required side yard.
2. 0.99m wide passenger access provided for 2nd unit entry where 1.2m required.

4. Why is it not possible to comply with the provisions of the by-law?
As built of existing condition

5. Legal Description of the subject land:
Lot Number lot 31
Plan Number/Concession Number Reg. Plan 43M-615
Municipal Address 34 MERGANSER CRES. BRAMPTON ON L6W 4E7

6. Dimension of subject land (in metric units)
Frontage 9.1m
Depth 59.89m
Area 550.36m2

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

one single family dwelling 2-storeys 2,210sqft. GFA	→ gross floor area no. of storeys.
---	---------------------------------------

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Basement 2nd unit.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	11.83m
Rear yard setback	27.85m
Side yard setback	1.2m
Side yard setback	0.99m

PROPOSED

Front yard setback	11.83m
Rear yard setback	27.85m
Side yard setback	1.2m
Side yard setback	0.99m

10. Date of Acquisition of subject land: March 1, 2013
11. Existing uses of subject property: single family dwelling
12. Proposed uses of subject property: single family dwelling with 2nd unit
13. Existing uses of abutting properties: single family dwelling
14. Date of construction of all buildings & structures on subject land: Mar., 1986
15. Length of time the existing uses of the subject property have been continued: 37 years

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

If answer is yes, provide details: File # Status

Yes ☐ No ☒

Yes ☐ No ☐ Unknown ☒

File # _____ Decision _____ Relief _____
 File # _____ Decision _____ Relief _____
 File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE city OF Brampton

THIS 1 DAY OF May 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Yihua Shi, _____ OF THE owner OF 34 WESTLANDER CREEK DRAMPTON ON LOWRY

IN THE City OF Brampton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY
BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER
OATH

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF
Del THIS 8th DAY OF

May, 2023

A Commissioner etc

I, Debbie C. Myers
 a Commissioner, etc.,
 Province of Ontario
 for the Corporation of the
 City of Brampton
 Expires April 8, 2024.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1D-2570

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

MAY 9.23

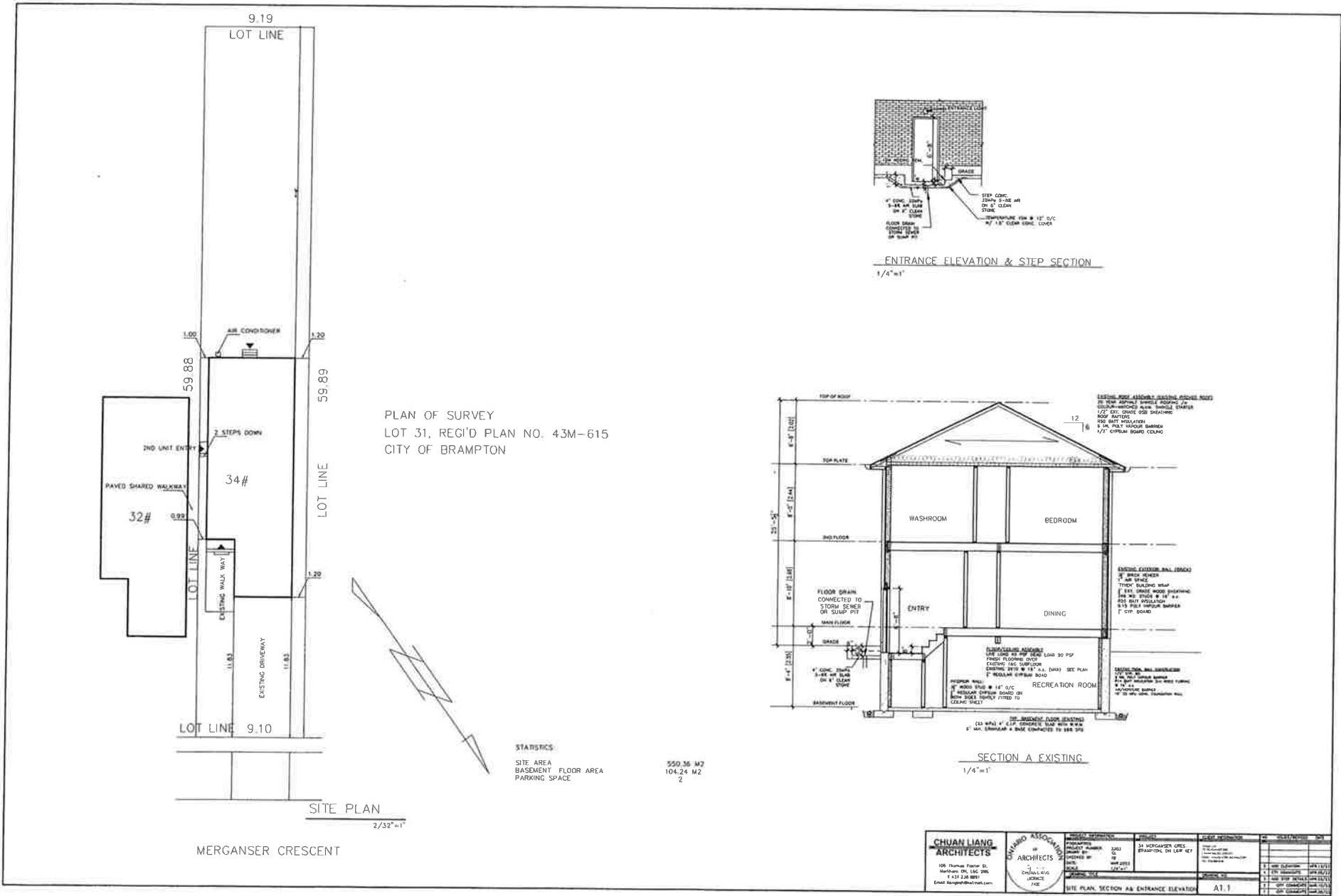
Date _____

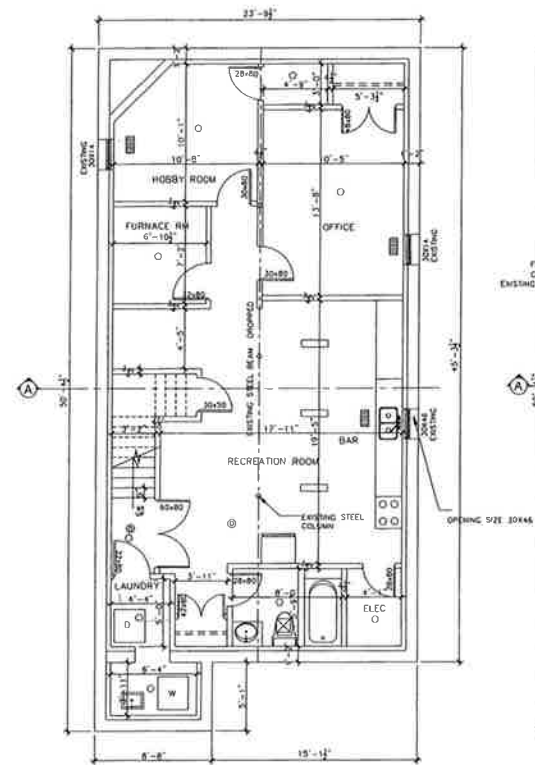
DATE RECEIVED

May 8, 2023

Date Application Deemed Complete by the Municipality

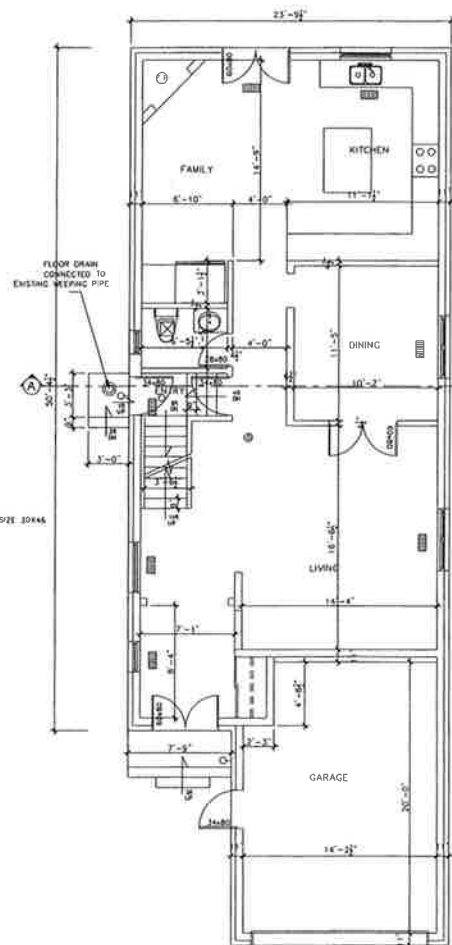
Revised 2022/02/17



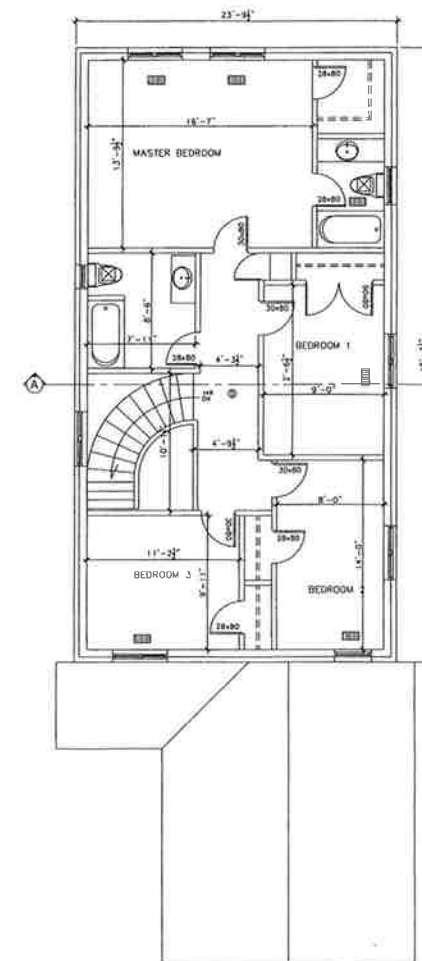


AS-BUILT BASEMENT PLAN
1/4"=1' 1122 SQFT

- LEGEND**
- ⊕ COMBINATION SMOKE & CO DETECTOR
 - ▢ AS BUILT SUPPLY AIR FLOOR REGISTER
 - ⊠ BATH ROOM EXHAUST (FAN MIN. EXHAUST RATE 50CFM, 30"X PIPE EXHAUST DIRECTLY TO OUTDOOR)
 - ⬤ EXTERIOR ENTRANCE LIGHT EXISTING
 - INTERIOR WALL:
3" WOOD STUD @ 16" O/C
1" REGULAR GYPSUM BOARD ON BOTH SIDES TIGHTLY FITTED TO CEILING SHEET
 - FLUSH MOUNT CEILING LIGHT
 - ▭ FLUORESCENT FLUSH MOUNT CEILING LIGHT



EXISTING MAIN FLOOR PLAN
1/4"=1' 1132 SQFT

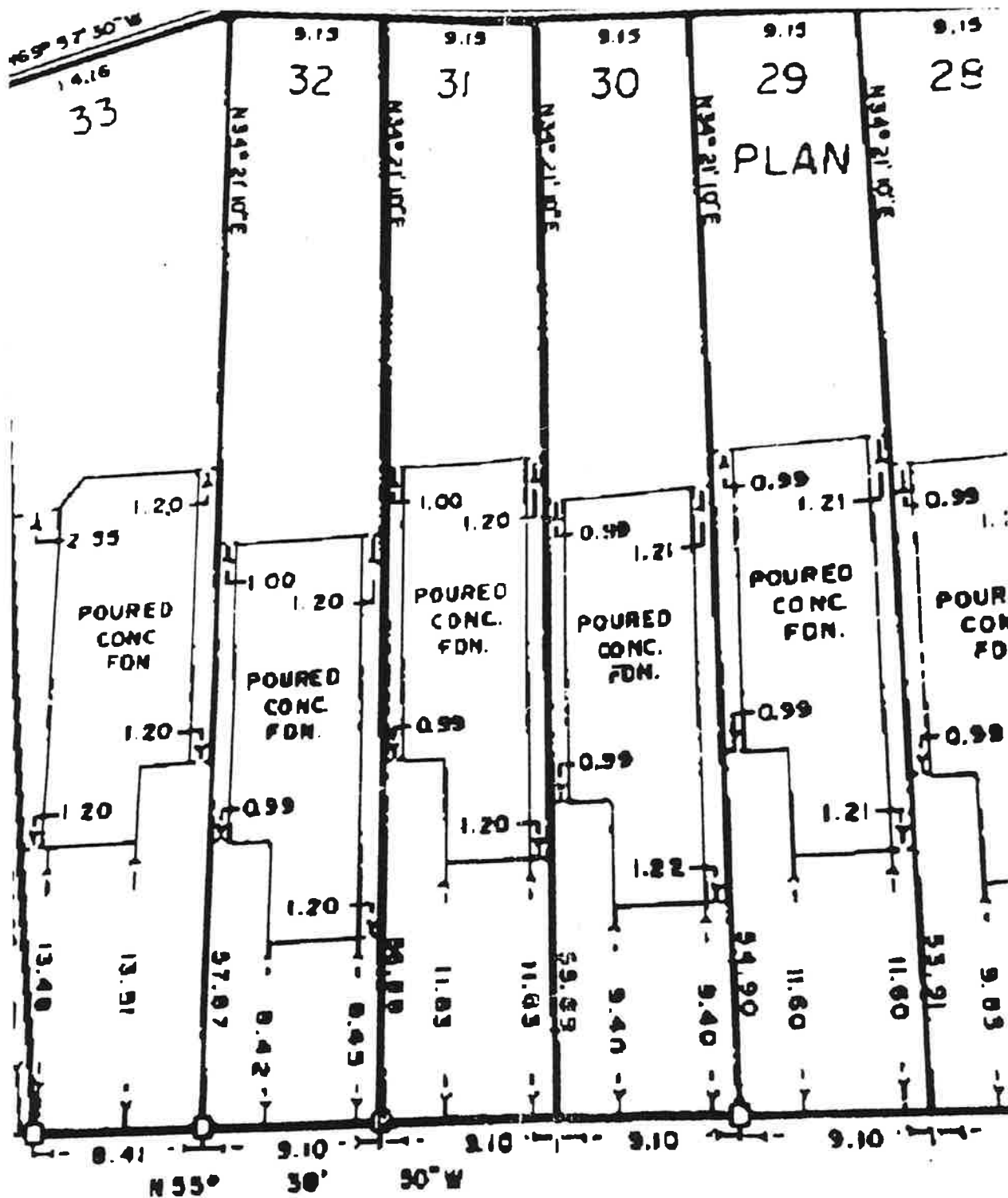


EXISTING 2ND FLOOR PLAN
1/4"=1' 1078 SQFT

CHUAN LIANG ARCHITECTS 108 Truman Station St. Westborough, MA 01581-2999 Tel: 508-336-8901 Email: chuanliang@clarchitect.com	CHUAN LIANG ASSOCIATES ARCHITECTS 108 Truman Station St. Westborough, MA 01581-2999 Tel: 508-336-8901 Email: chuanliang@clarchitect.com	PROJECT NO.: 1001 PROJECT NAME: 108 TRUMAN STATION ST. WESTBOROUGH, MA 01581-2999	PROJECT NO.: 1001 PROJECT NAME: 108 TRUMAN STATION ST. WESTBOROUGH, MA 01581-2999	PROJECT NO.: 1001 PROJECT NAME: 108 TRUMAN STATION ST. WESTBOROUGH, MA 01581-2999
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FLOOR PLANS

A2.1



MERGANSER
EDICATED BY REGISTERED

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **JASBIR KAUR, ARSHDEEP PANNU AND NAVNEET PANNU** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**:

AND WHEREAS the property involved in this application is described as Lot 201, Plan 651 municipally known as **6 BROOKDALE CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a building height of 8.41m (27.60 ft) whereas the by-law permits a maximum building height of 7.6m (24.93 ft);
2. To permit a rear yard setback of 8m (26.25 ft) whereas the by-law requires a minimum rear yard setback of 8.38m (27.50 ft);
3. To permit a lot coverage of 34.94%, whereas the by-law permits a maximum lot coverage of 30%.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

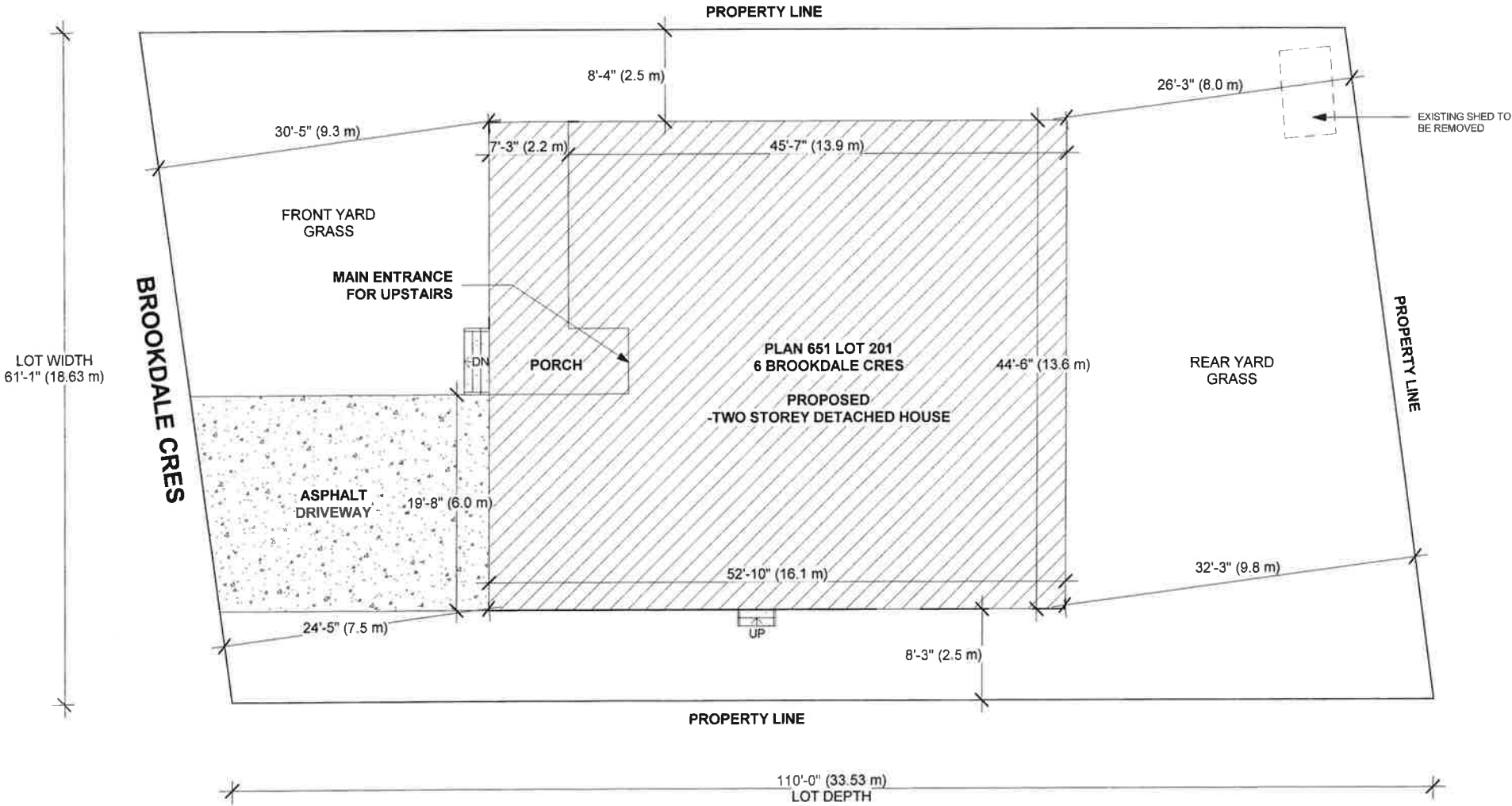
DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

MINOR VARIANCE

- To permit a building height of 8.41m (27.60 ft) whereas the by-law permits a maximum building height of 7.6m (24.93 ft);
- To permit a rear yard setback of 8m (26.25 ft) whereas the by-law requires a minimum rear yard setback of 8.38m (27.50 ft);
- To permit a lot coverage of 34.94%, whereas the by-law permits a maximum lot coverage of 30%.



LOT AREA: 624.49 SQM
COVERAGE AREA: 218.2 SQM
(34.94% OF LOT AREA)

SITE PLAN		THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGN/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.	
		STAMP	
01		ISSUED FOR VARIANCE	APR 25/23
ADDRESS: 6 BROOKDALE CRES BRAMPTON, ONTARIO			
DESIGNED BY:	NK	CHECKED BY:	TR
PROJECT NUMBER:		23R-	
NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY UNIT 19, BRAMPTON, ON info@nobleltd.ca (437) 888 1800			
DATE:	APR 25/23	CONG. NO.:	
SCALE:	1" = 10'-0"	A-1	

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023**.

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023**.
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023**.
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023**. City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

June 8, 2023

To: Committee of Adjustment
JASBIR KAUR PANNU AND NAVNEET PANNU
LOT 201, PLAN 651
A-2023-0148 – 6 BROOKDALE CRESCENT

Please **amend** application **A-2023-0148** to reflect the following:

1. To permit a building height of 8.41m (27.60 ft) whereas the by-law permits a maximum building height of 7.6m (24.93 ft);
2. To permit a rear yard setback of 8m (26.25 ft) whereas the by-law requires a minimum rear yard setback of 8.38m (27.50 ft);
3. To permit a lot coverage of 34.94%, whereas the by-law permits a maximum lot coverage of 30%.

Navpreet Kaur

Applicant/Authorized Agent

FILE NUMBER:

A-2023-0148

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

JASBIR KAUR, ARSHDEEP PANNU, NAVNEET PANNU

Address

6 BROOKDALE CRES. BRAMPTON, ON. L6T 1M7

Phone #

647-705-9008

Fax #

Email

apannudlc@gmail.com
2.

Name of Agent

NAVPREET KAUR (NOBLE PRIME SOLUTIONS LTD)

Address

UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON. L6S 5Z4

Phone #

437-888-1800

Fax #

Email

applications@nobleltd.ca
3.

Nature and extent of relief applied for (variances requested):

-TO PERMIT A BUILDING HEIGHT OF 8.41m, WHEREAS ZONING BY-LAW ALLOWS MAXIMUM BUILDING HEIGHT OF 7.6m.
4.

Why is it not possible to comply with the provisions of the by-law?

ZONING BY-LAW ALLOWS MAXIMUM BUILDING HEIGHT OF 7.6m WHEREAS A BUILDING HEIGHT OF 8.41m IS PROPOSED.
5.

Legal Description of the subject land:

Lot Number

201

Plan Number/Concession Number

651

Municipal Address

6 BROOKDALE CRES, BRAMPTON, ON, L6T 1M7
6.

Dimension of subject land (in metric units)

Frontage

18.75M

Depth

33.53M

Area

624.49 SQM
7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

SIDESPLIT DETACHED HOUSE WITH AREA OF 628 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

TWO STOREY DETACHED HOUSE

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	7.5M
Rear yard setback	8.0M
Side yard setback	2.5M
Side yard setback	2.5M

PROPOSED

Front yard setback	7.5M
Rear yard setback	8.0M
Side yard setback	2.5M
Side yard setback	2.5M

10. Date of Acquisition of subject land: July 03, 2020
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1998
15. Length of time the existing uses of the subject property have been continued: 22 YEARS

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Naypreet Kaur
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 12th DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JITESH BHAILA OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 12th DAY OF May, 2023

Jeanie Myers
A Commissioner etc.

J.M.
Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

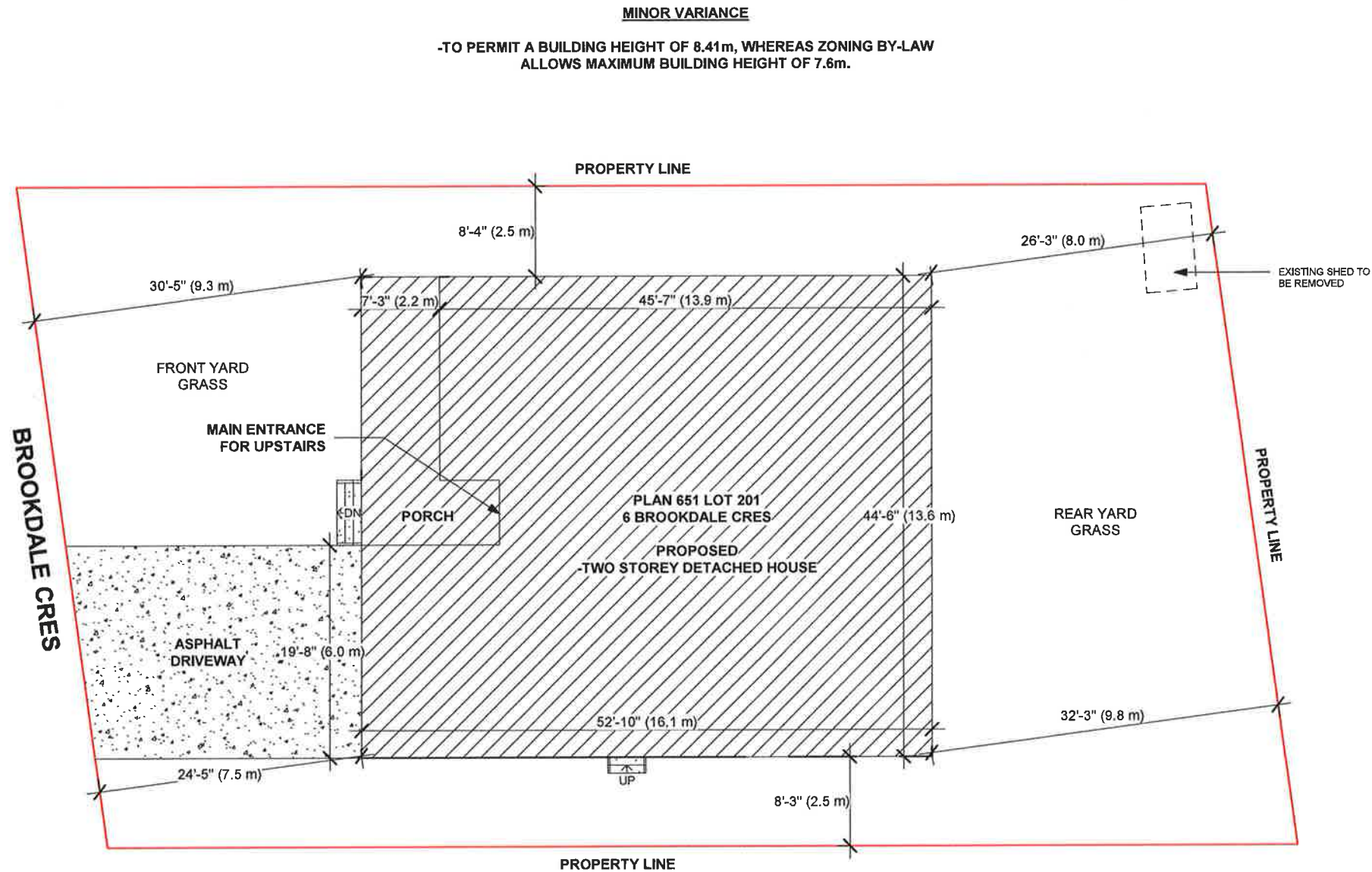
Date

DATE RECEIVED

May 12, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17



SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

01 ISSUED FOR VARIANCE APR 25/23

ADDRESS:
6 BROOKDALE CRES
BRAMPTON, ONTARIO

DRAWN BY: NK CHECKED BY: TR

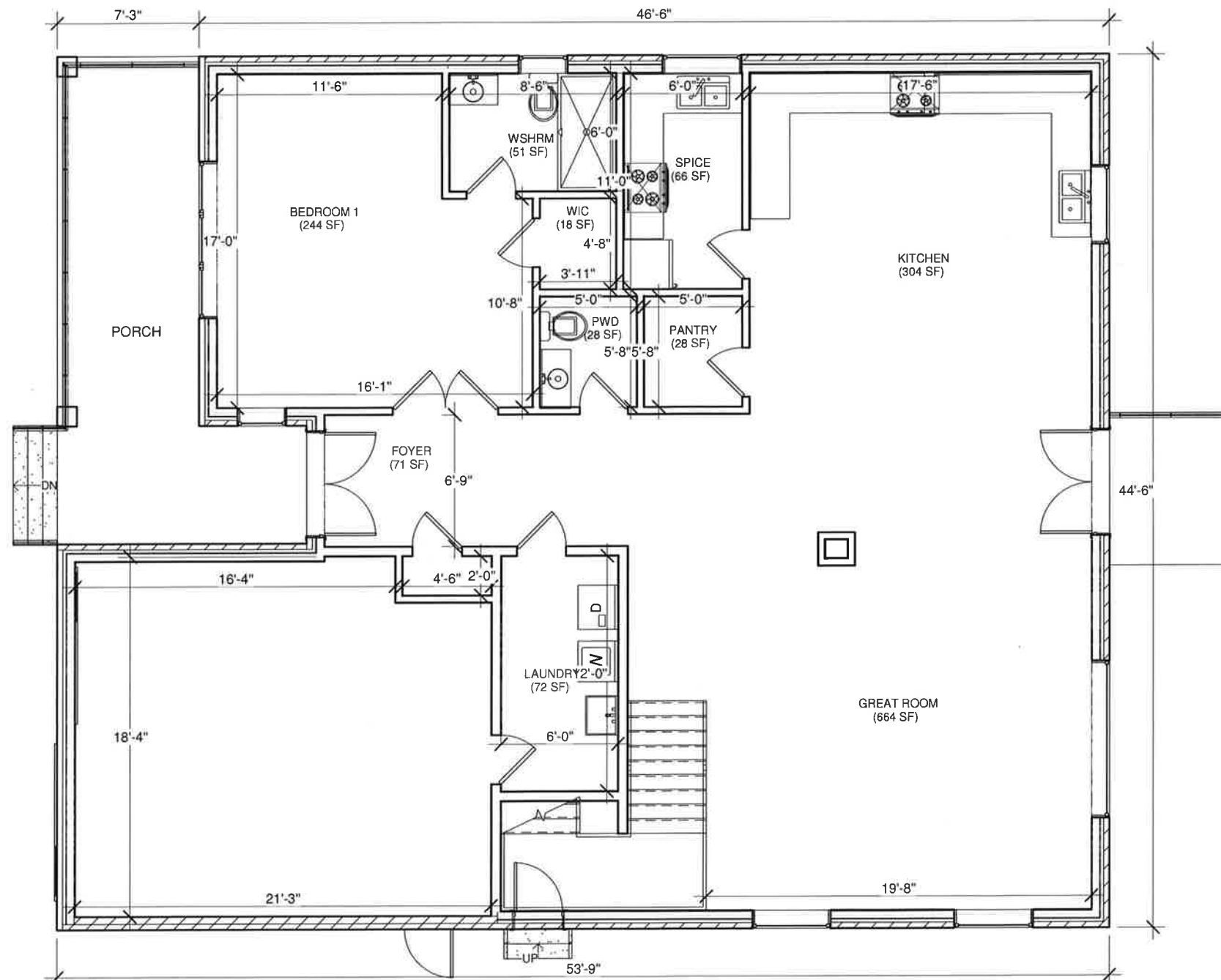
PROJECT NUMBER: 23R-

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: APR 25/23

SCALE: 1" = 10'-0"

A-1



NOTE:
ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED
FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG A-6
EXISTING GROUND FLOOR AREA: 1597 SF

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

CONCEPTUAL GROUND FLOOR

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
(Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482
	
FIRM	BCIN
Noble Prime Solutions Ltd	118716

MAR 02/23

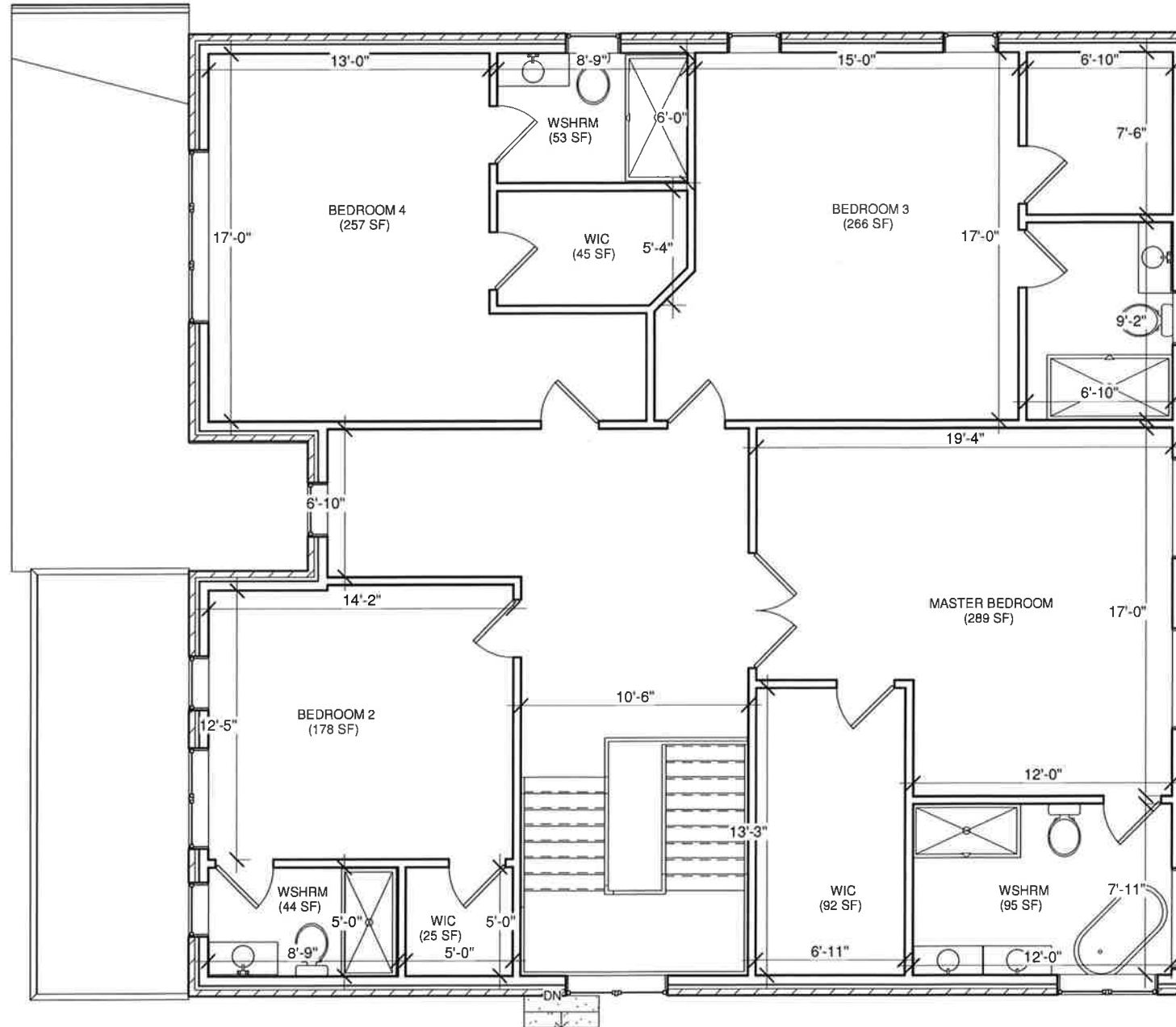
01 ISSUED FOR PERMIT MAR 02/23

ADDRESS:
6 BROOKDALE CRES
BRAMPTON, ONTARIO

DRAWN BY: TR	CHECKED BY: TR
PROJECT NUMBER:	23R-

NOBLE PRIME SOLUTIONS LTD.
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobleltd.ca
(437) 888 1800

DATE: MAR 02/23	DWG No.
SCALE: 3/16" = 1'-0"	A-3



NOTE:
 ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED
 FOR DETAILED SPECIFICATIONS AND LEGENDS SEE DWG A-6
 EXISTING SECOND FLOOR AREA: 1882 SF

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

CONCEPTUAL SECOND FLOOR

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
 (Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

[Signature]

FIRM	BCIN
Noble Prime Solutions Ltd	118716

MAR 02/23

01	ISSUED FOR PERMIT	MAR 02/23
----	-------------------	-----------

ADDRESS:
 6 BROOKDALE CRES
 BRAMPTON, ONTARIO

DRAWN BY:	PS	CHECKED BY:	TR
PROJECT NUMBER:	23R-		

NOBLE PRIME SOLUTIONS LTD.
 2131 WILLIAMS PARKWAY
 UNIT 19,
 BRAMPTON, ON.
 info@nobleltd.ca
 (437) 888 1800

DATE:	MAR 02/23	DWG No:	A-4
SCALE:	3/16" = 1'-0"		




Elevation 21 - a

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL CONSTRUCTION DETAILS AND CONDITIONS OF THE PROJECT. THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

FRONT ELEVATION

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
(Required unless design is exempted under 3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482
	
FIRM	BCIN
Noble Prime Solutions Ltd	118716

MAR 02/23

--	--

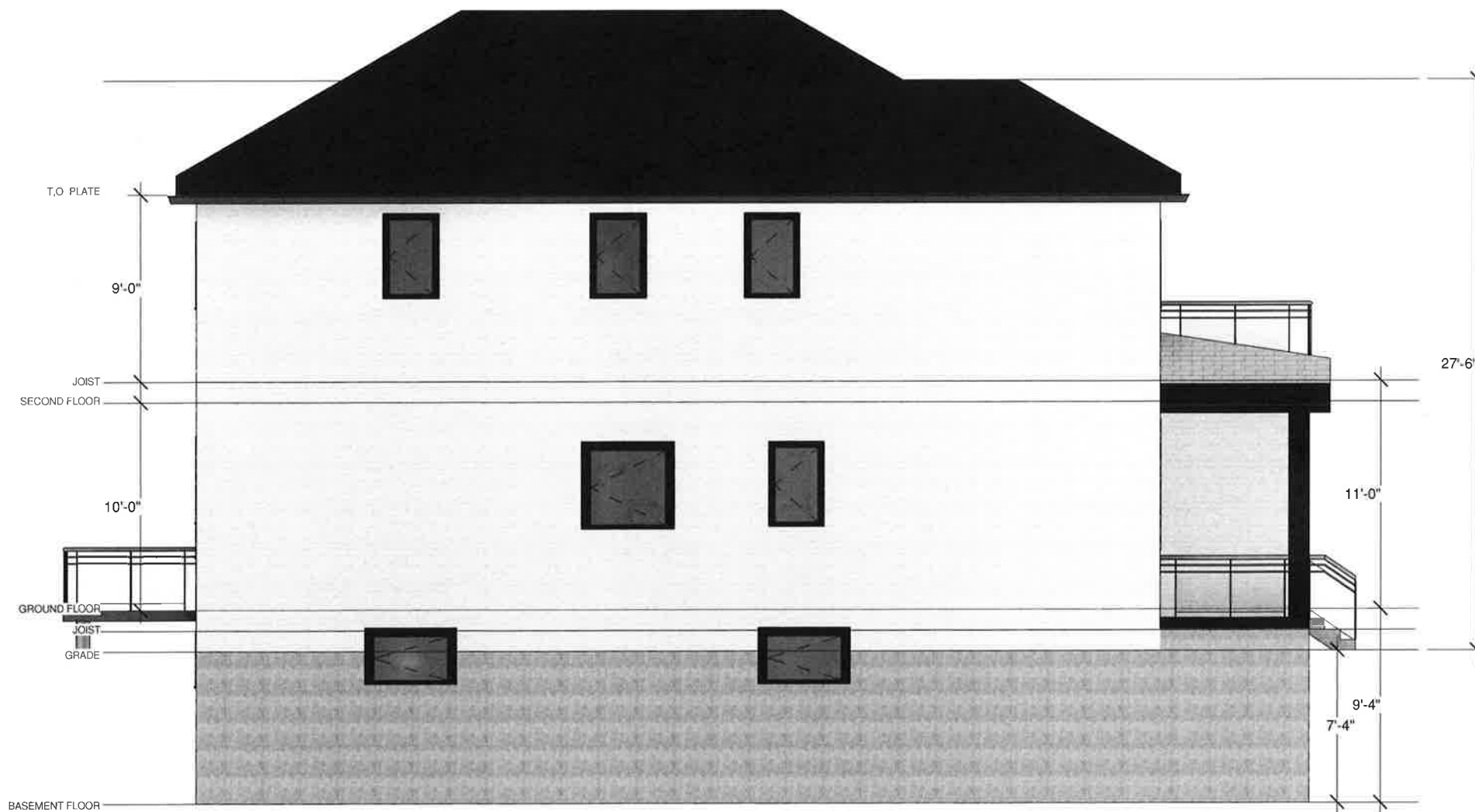
01 ISSUED FOR PERMIT MAR 02/23

ADDRESS:
6 BROOKDALE CRES
BRAMPTON, ONTARIO

DRAWN BY: TR	CHECKED BY: TR
PROJECT NUMBER	23R-

NOBLE PRIME SOLUTIONS LTD.
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobleltd.ca
(437) 888 1800

DATE: MAR 02/23	DWG No:
SCALE: 3/16" = 1'-0"	A-6.1



NOTE:
FOR DETAILED SPECIFICATIONS AND LEGEND SEE DWG A-6

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL
DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE
DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS
OF AUTHORITIES HAVING JURISDICTION.

LEFT SIDE ELEVATION

The undersigned has reviewed and taken
responsibility for this design and has
qualifications and meet the requirements
set out in the Ontario Building Code to be a
designer

QUALIFICATION INFORMATION
(Required unless design is exempted under
3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

Tanvir Rai

FIRM	BCIN
Noble Prime Solutions Ltd	118716

MAR 02/23

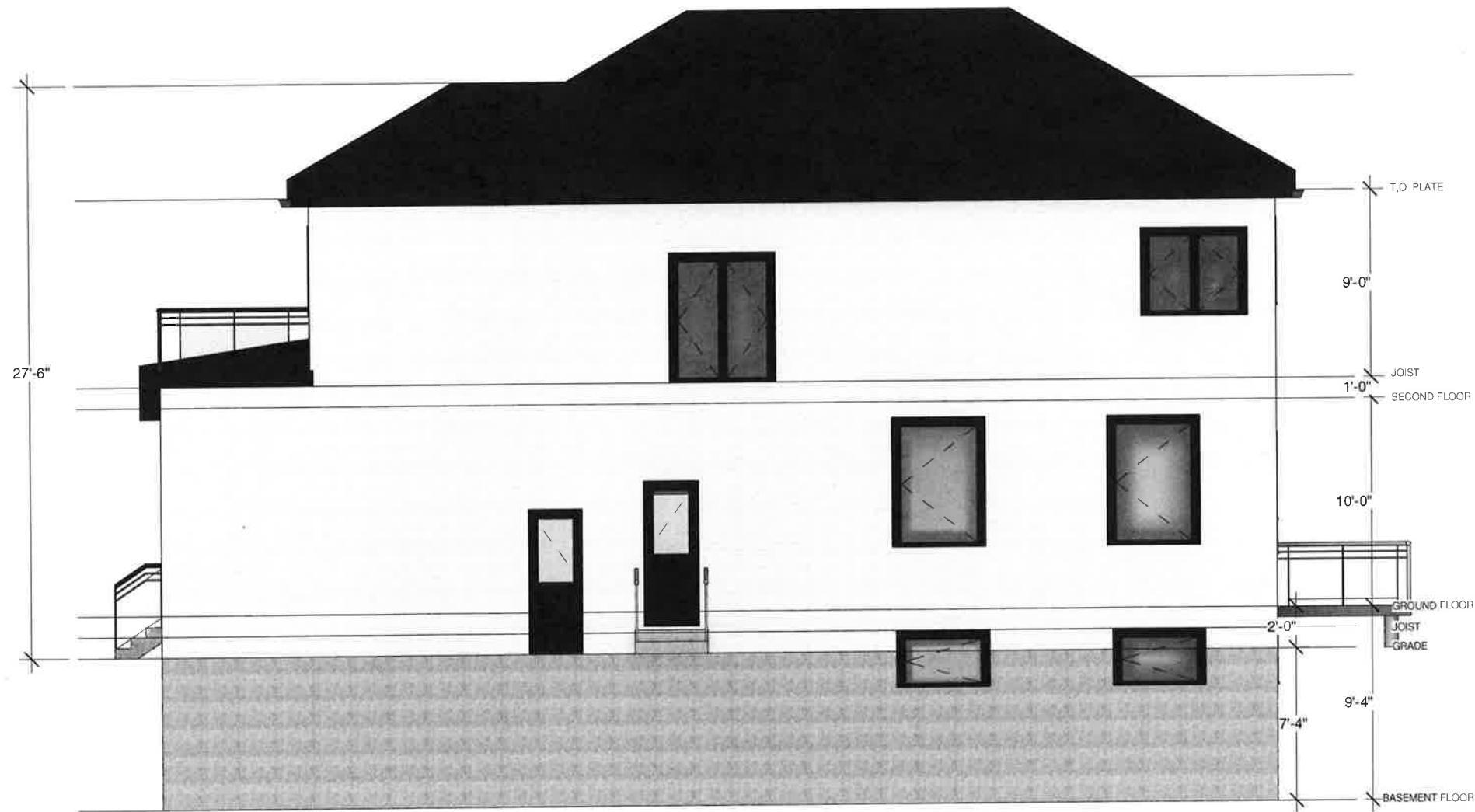
01	ISSUED FOR PERMIT	MAR 02/23
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ADDRESS:
6 BROOKDALE CRES
BRAMPTON, ONTARIO

DRAWN BY: PS	CHECKED BY: TR
PROJECT NUMBER:	23R-

NOBLE PRIME
SOLUTIONS LTD.
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobleltd.ca
(437) 888 1800

DATE: MAR 02/23	DWG No:
SCALE: 3/16" = 1'-0"	A-6.2



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL
DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE
DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS
OF AUTHORITIES HAVING JURISDICTION.

RIGHT SIDE ELEVATION

The undersigned has reviewed and taken
responsibility for this design and has
qualifications and meet the requirements
set out in the Ontario Building Code to be a
designer

QUALIFICATION INFORMATION
(Required unless design is exempted under
3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

Tanvir Rai

FIRM	BCIN
Noble Prime Solutions Ltd	118716

MAR 02/23

01	ISSUED FOR PERMIT	MAR 02/23
----	-------------------	-----------

ADDRESS
6 BROOKDALE CRES
BRAMPTON, ONTARIO

DRAWN BY: TR	CHECKED BY: TR
PROJECT NUMBER: 23R-	

NOBLE PRIME
SOLUTIONS LTD.
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON.
info@nobleltd.ca
(437) 888 1800

DATE: MAR 02/23	DWG. No.
SCALE: 3/16" = 1'-0"	A-6.3



NOTE:
FOR DETAILED SPECIFICATIONS AND LEGEND SEE DWG A-6

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL
CONTRASTS AND CONDITIONS ON SITE AND NOTIFY THE
DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS
OF AUTHORITIES HAVING JURISDICTION.

REAR ELEVATION

The undersigned has reviewed and taken
responsibility for this design and has
qualifications and meet the requirements
set out in the Ontario Building Code to be a
designer

QUALIFICATION INFORMATION
(Required unless design is exempted under
3.2.5 Division C of OBC)

DESIGNER	BCIN
Tanvir Rai	103482

Signature

FIRM	BCIN
Noble Prime Solutions Ltd	118716

MAR 02/23

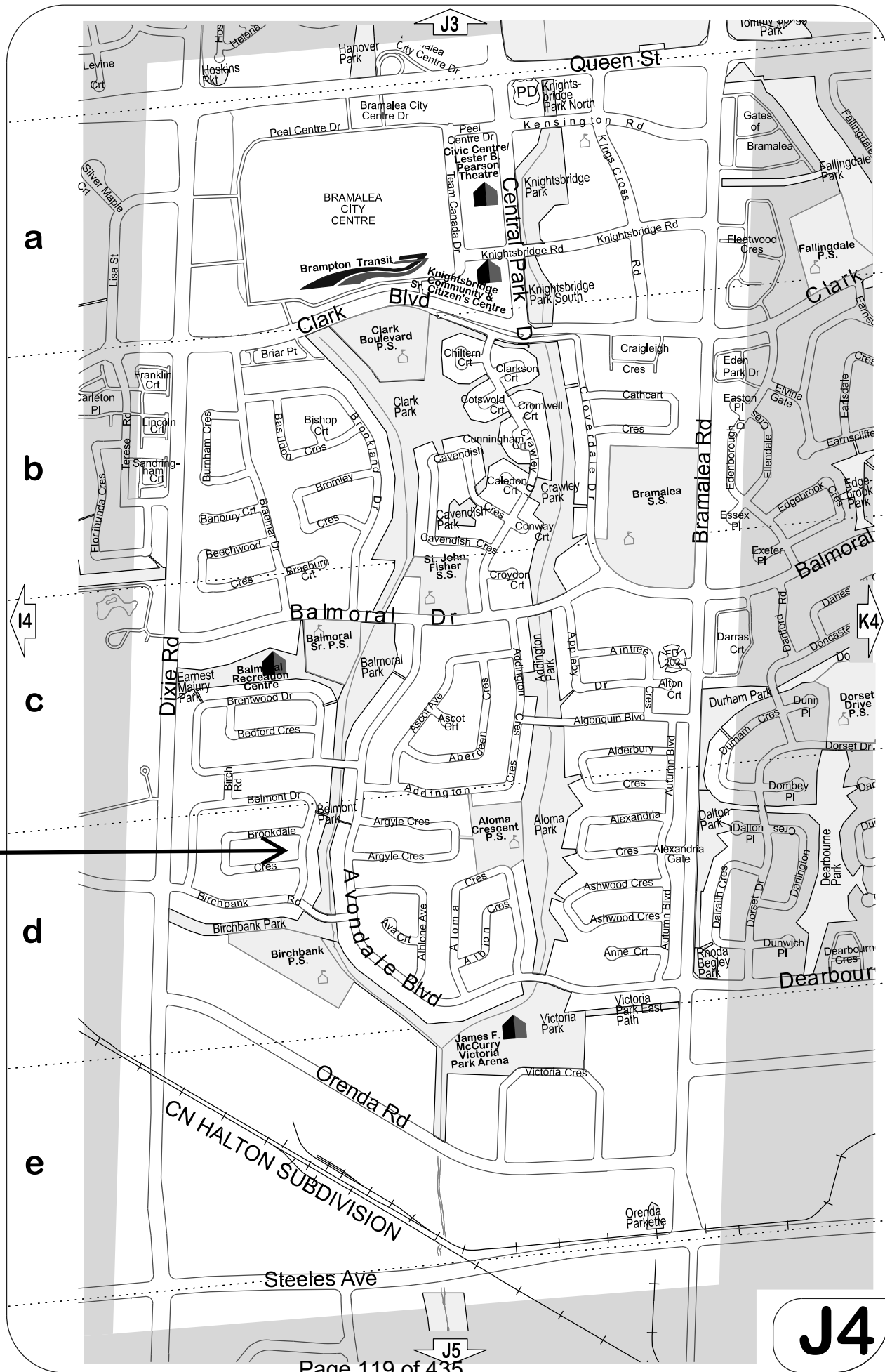
01	ISSUED FOR PERMIT	MAR 02/23
----	-------------------	-----------

ADDRESS:
6 BROOKDALE CRES
BRAMPTON, ONTARIO

DRAWN BY: NS	CHECKED BY: JB
PROJECT NUMBER: 23R-	

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY,
UNIT 19,
BRAMPTON, ON,
info@nobleltd.ca
(437) 888 1800
(647) 207 5470

DATE: MAR 02/23	DWG No:
SCALE: 3/16" = 1'-0"	A-6.4



A-2023-0148

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **TARLOCHAN SINGH AND GURWINDER KAUR SINGH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 144, Plan 537 municipally known as **37 ESKER DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a driveway width of 8.9m (29.20 ft) whereas the by-law permits a maximum driveway width of 6.71m (22 ft);
2. To permit 0.54m (1.77 ft) of permeable landscaping adjacent to the side lot line whereas the by-law requires a minimum 0.6m (1.97 ft) of permeable landscaping adjacent to the side lot line.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ **NO** _____ File Number: _____
Application for Consent: _____ **NO** _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

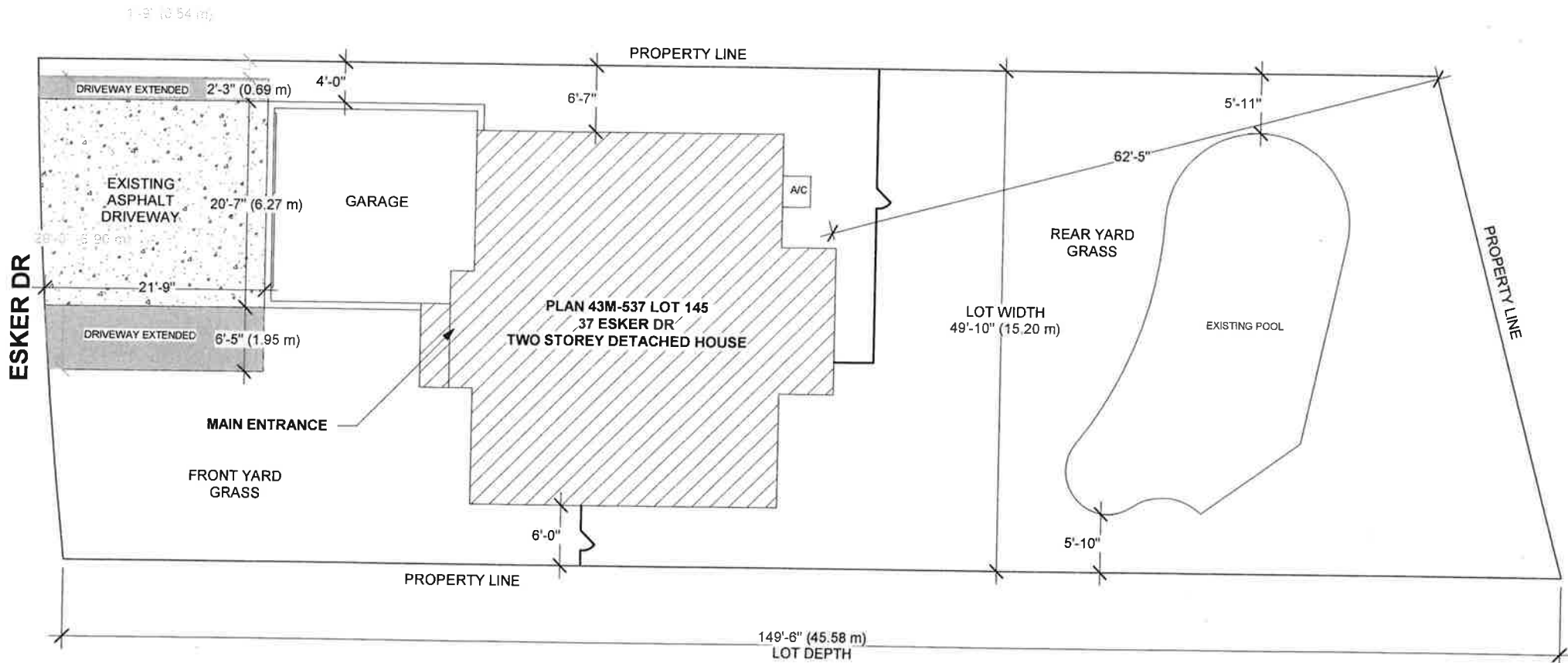
DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

MINOR VARIANCE

- TO PERMIT A MAXIMUM DRIVEWAY WIDTH OF 8.9m, WHEREAS ZONING BY LAW ALLOWS A MAXIMUM DRIVEWAY WIDTH OF 6.71m;
- TO PERMIT 0.54M OF PERMEABLE LANDSCAPING ADJACENT TO THE SIDE LOT LINE WHEREAS THE BY-LAW REQUIRES 0.6M OF PERMEABLE LANDSCAPING ADJACENT TO THE SIDE LOT LINE;



SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

01 ISSUED FOR VARIANCE		MAY 08/23
ADDRESS 37 ESKER DRIVE, BRAMPTON, ON.		
DESIGNED BY NK	CHECKED BY TR	
PROJECT NUMBER 23R-27813		
NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY UNIT 19, BRAMPTON, ON info@nobleltd.ca (437) 888 1800		
DATE MAY 08/23	SCALE 1 : 132	
A-1		

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER:

A-2023-0149

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE:

It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s) TARLOCHAN SINGH & GURWINDER KAUR SINGH

Address 37 ESKER DR, BRAMPTON, ON, L6Z 3C7

Phone # 437-774-3345

Fax #

Email j.aujla@rogers.com

2.

Name of Agent NAVPREET KAUR (NOBLE PRIME SOLUTIONS LTD)

Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON, L6S 5Z4

Phone # 437-888-1800

Fax #

Email applications@nobleltd.ca

3.

Nature and extent of relief applied for (variances requested):

-TO PERMIT A MAXIMUM DRIVEWAY WIDTH OF 8.81m, WHEREAS ZONING BY LAW ALLOWS A MAXIMUM DRIVEWAY WIDTH OF 6.71m;

-TO PERMIT 0.54M OF PERMEABLE LANDSCAPING ADJACENT TO THE SIDE LOT LINE WHEREAS THE BY-LAW REQUIRES 0.6M OF PERMEABLE LANDSCAPING ADJACENT TO THE SIDE LOT LINE;

4.

Why is it not possible to comply with the provisions of the by-law?

-ZONING BY LAW ALLOWS A MAXIMUM DRIVEWAY WIDTH OF 6.71m WHEREAS A MAXIMUM DRIVEWAY WIDTH OF 8.81m IS PROPOSED.

-THE BY-LAW REQUIRES 0.6M OF PERMEABLE LANDSCAPING ADJACENT TO THE SIDE LOT LINE WHEREAS 0.54M OF PERMEABLE LANDSCAPING ADJACENT TO THE SIDE LOT LINE IS PROPOSED.

5.

Legal Description of the subject land:

Lot Number 144

Plan Number/Concession Number M537

Municipal Address 37 ESKER DR, BRAMPTON, ON, L6Z 3C7

6.

Dimension of subject land (in metric units)

Frontage 15.2M

Depth 41.19M

Area 671.41SQM

7.

Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

TWO STOREY DETACHED HOUSE WITH AREA OF 668 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED DRIVEWAY EXTENSION

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.6M

Rear yard setback 1.80M

Side yard setback 1.2M

Side yard setback 1.82M

PROPOSED

Front yard setback 6.6M

Rear yard setback 1.80M

Side yard setback 1.2M

Side yard setback 1.82M

10. Date of Acquisition of subject land: 27 JANUARY, 2022
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: DECEMBER, 2022
15. Length of time the existing uses of the subject property have been continued: 5 MONTHS

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Navpreet Kaur
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 12TH DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JIVTESH BHAILA OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 12TH DAY OF

May, 2023

Jeanie Myers
A Commissioner etc.

J.M.
Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

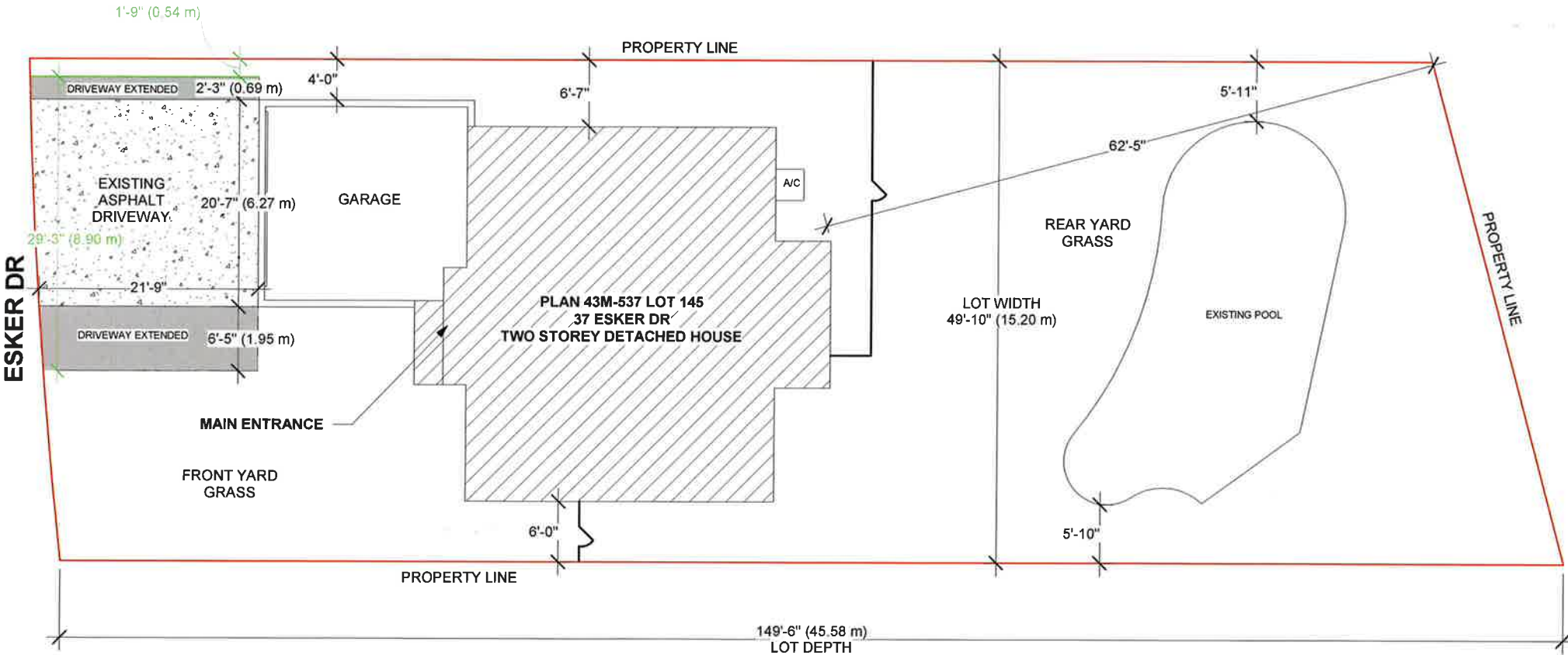
DATE RECEIVED May 12, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

MINOR VARIANCE

- TO PERMIT A MAXIMUM DRIVEWAY WIDTH OF 8.9m, WHEREAS ZONING BY LAW ALLOWS A MAXIMUM DRIVEWAY WIDTH OF 6.71m;
- TO PERMIT 0.54M OF PERMEABLE LANDSCAPING ADJACENT TO THE SIDE LOT LINE WHEREAS THE BY-LAW REQUIRES 0.6M OF PERMEABLE LANDSCAPING ADJACENT TO THE SIDE LOT LINE;



SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION

STAMP

01 ISSUED FOR VARIANCE MAY 08/23

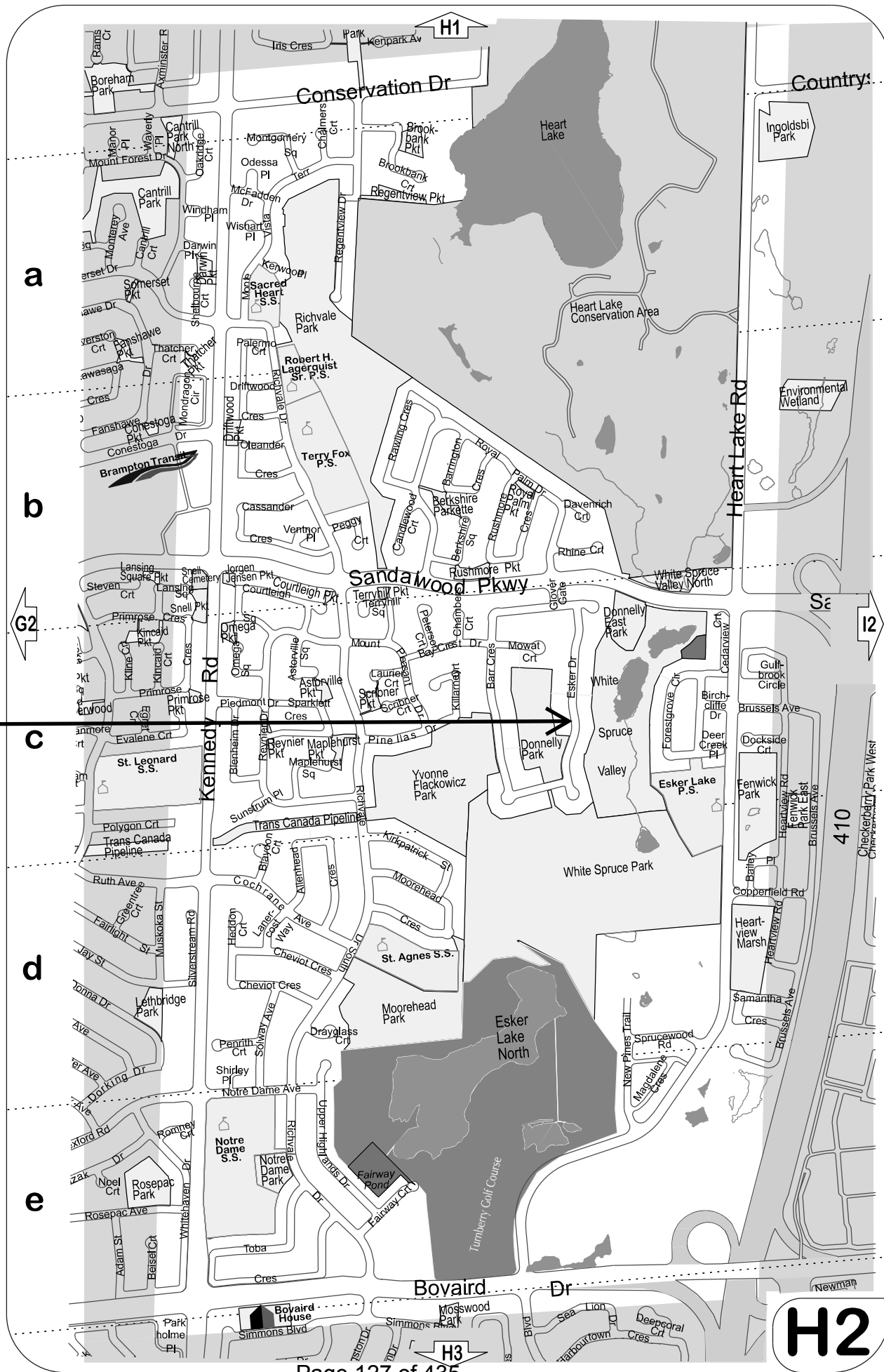
ADDRESS:
37 ESKER DRIVE,
BRAMPTON, ON.

DRAWN BY: NK CHECKED BY: TR
PROJECT NUMBER: 23R-27813

NOBLE PRIME SOLUTIONS LTD
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: MAY 08/23
SCALE: 1 : 132
Dwg No: A-1

A-2023-0149



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **NELSON UMANA AND FATIMA MORALES** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 159, Plan 866 municipally known as **62 GARSDALE CRESCENT**, Brampton:

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an interior side yard setback of 1.72m (5.64 ft) to the exterior stairway leading to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 3.0m (9.84 ft);
3. To permit an existing attached carport with an interior side yard setback of 0.46m (1.51 ft) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft) to an attached carport.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

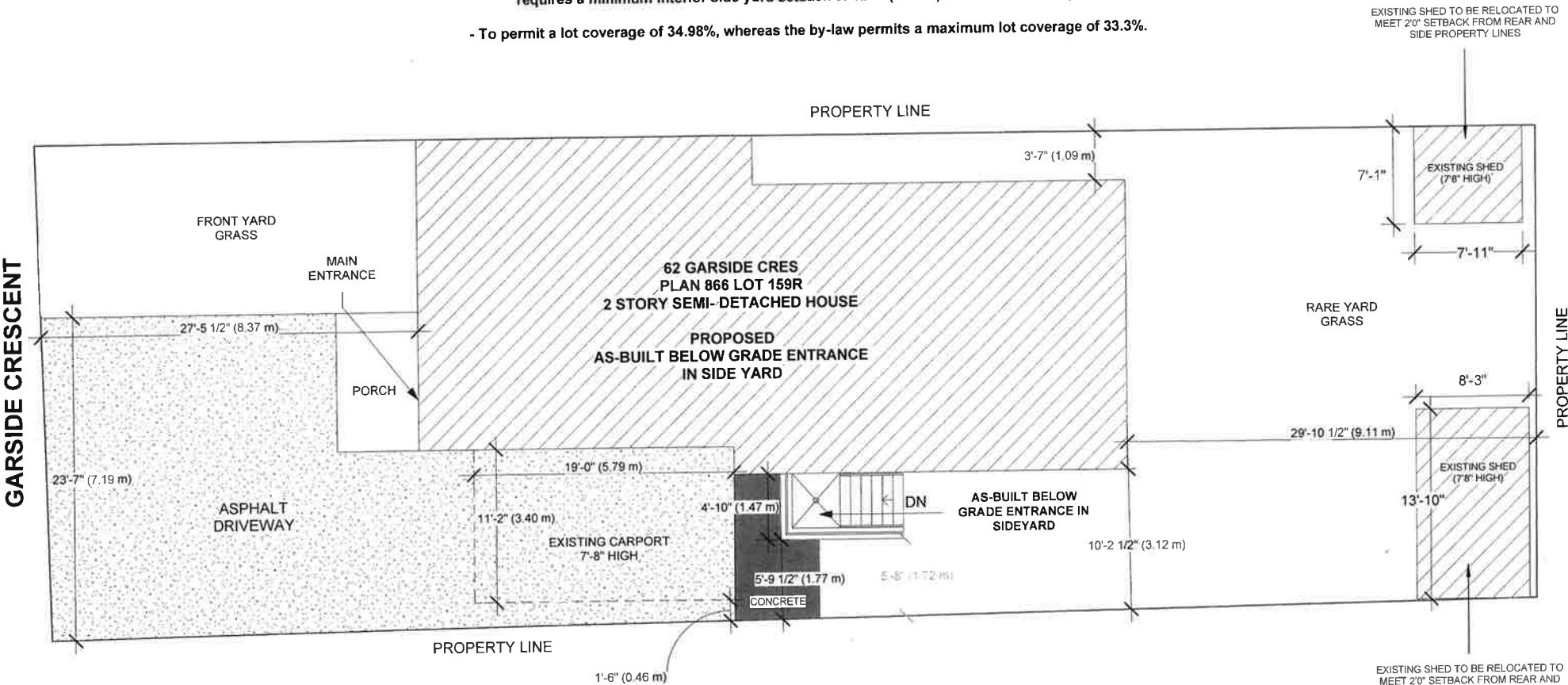
DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

MINOR VARIANCE

- To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
- To permit an interior side yard setback of 1.72m (5.64 ft) to the exterior stairway leading to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 3.0m (9.84 ft);
- To permit an existing attached carport with an interior side yard setback of 0.46m (1.51 ft) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft) to an attached carport;
- To permit a lot coverage of 34.98%, whereas the by-law permits a maximum lot coverage of 33.3%.



LOT AREA: 357.66 SQM
MAIN DWELLING COVERAGE: 105.40 SQM
CARPORT COVERAGE: 19.71 SQM
TOTAL LOT COVERAGE: 125.11 SQM
(34.98% OF LOT AREA)

SITE PLAN

STAMP

01 ISSUED FOR VARIANCE MAY 11/23

ADDRESS:
62 GARSIDE CRES,
BRAMPTON, ON.

DRAWN BY: SHK CHECKED BY: TR
PROJECT NUMBER: 23R-27775

NOBLE PRIME
SOLUTIONS LTD
2131 WILLIAMS PARKWAY,
UNIT-19
BRAMPTON, ON.
(437) 888 1800

DATE: MAY 11/23
SCALE: 1/8" = 1'-0"
A-1

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

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How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023**.

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023**.
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- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023**. City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

June 7, 2023

To: Committee of Adjustment
NELSON UMANA AND FATIMA MORALES
PART OF LOT 159, PLAN 866
A-2023-0150 – 62 GARSIDE CRESCENT

Please **amend** application **A-2023-0150** to reflect the following:

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an interior side yard setback of 1.72m (5.64 ft) to the exterior stairway leading to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 3.0m (9.84 ft);
3. To permit an existing attached carport with an interior side yard setback of 0.46m (1.51 ft) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft) to an attached carport.
4. To permit a lot coverage of 34.98%, whereas the by-law permits a maximum lot coverage of 33.3%.

Navpreet Kaur

Applicant/Authorized Agent

FILE NUMBER: A-2023-0150

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) NELSON UMANA ^{FATIMA} & MORALES

Address 62 GARSIDE CRES. BRAMPTON, ON. L6S 1H6

Phone # 416-885-3435 Fax # _____

Email NELSONUMANA74@YAHOO.CA

2. Name of Agent NAVPREET KAUR (NOBLE PRIME SOLUTIONS LTD)

Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON. L6S 5Z4

Phone # 437-888-1800 Fax # _____

Email application@nobleltd.ca

3. Nature and extent of relief applied for (variances requested):

-TO PERMIT A BELOW GRADE ENTRANCE IN SIDE YARD HAVING A SETBACK OF 1.72m, WHEREAS ZONING BY-LAW REQUIRES MINIMUM SIDE YARD SETBACK OF 3.0m.

4. Why is it not possible to comply with the provisions of the by-law?

-ZONING BY-LAW REQUIRES MINIMUM SIDE YARD SETBACK OF 3.0m WHEREAS A BELOW GRADE ENTRANCE IN SIDE YARD HAVING A SETBACK OF 1.72m IS PROPOSED.

5. Legal Description of the subject land:

Lot Number 159R

Plan Number/Concession Number 866

Municipal Address 62 GARSIDE CRES, BRAMPTON, ON, L6S 1H6

6. Dimension of subject land (in metric units)

Frontage 10.72M

Depth 33.43M

Area 357.66SQM

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STORY SEMI- DETACHED HOUSE WITH AREA OF 139 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

AS-BUILT BELOW GRADE ENTRANCE IN SIDE YARD

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	8.37M
Rear yard setback	9.11M
Side yard setback	1.09M
Side yard setback	1.77M

PROPOSED

Front yard setback	8.37M
Rear yard setback	9.11M
Side yard setback	1.09M
Side yard setback	1.72M

10. Date of Acquisition of subject land: MARCH 2022
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1980
15. Length of time the existing uses of the subject property have been continued: 42 YEARS

16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Navpreet Kaur

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 12th DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JINTESH BHAILA, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 12th DAY OF May, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Jeanie Myers
A Commissioner etc.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

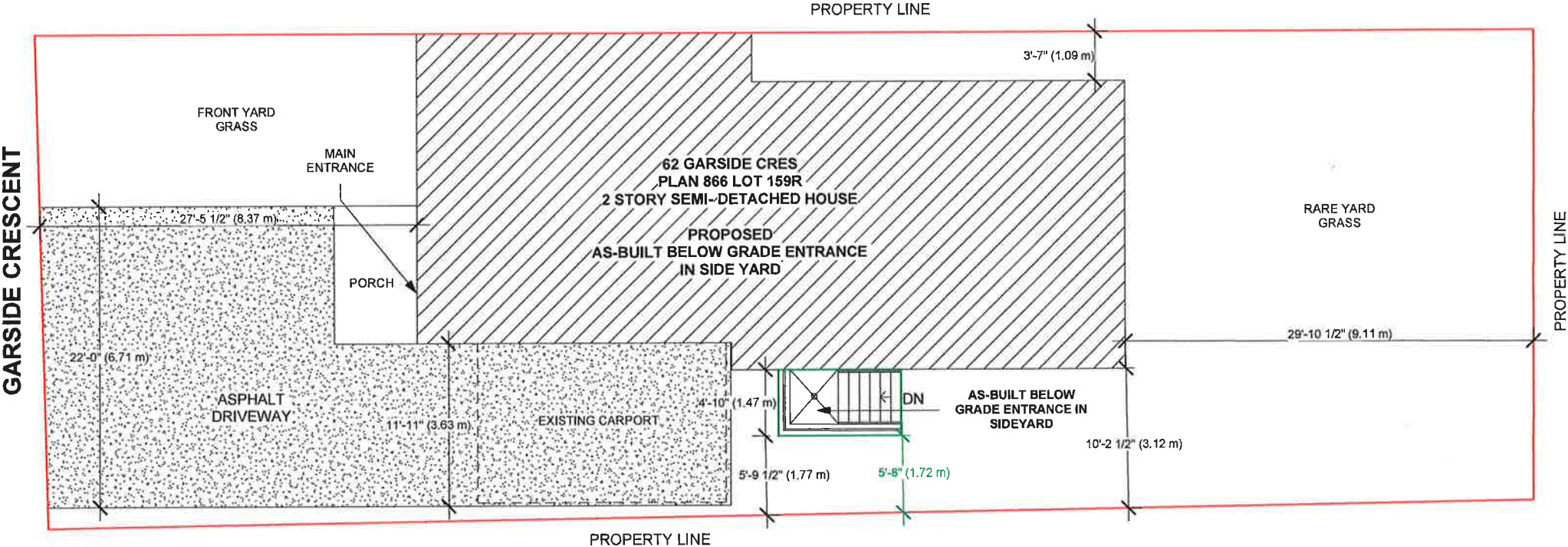
DATE RECEIVED May 12, 2023.

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

MINOR VARIANCE

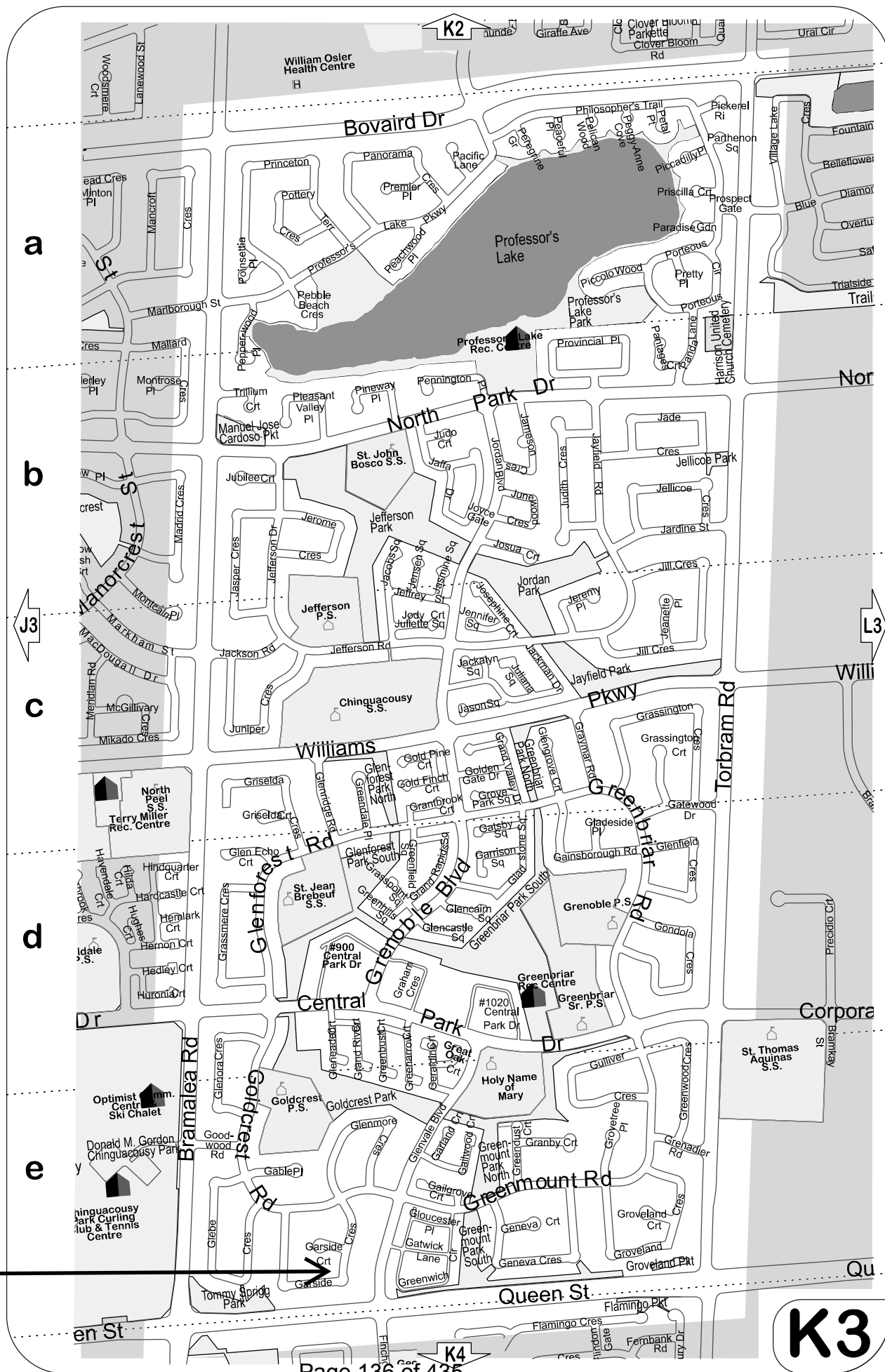
**-TO PERMIT A BELOW GRADE ENTRANCE IN SIDE YARD HAVING A SETBACK OF 1.72m,
WHEREAS ZONING BY-LAW REQUIRES MINIMUM SIDE YARD SETBACK OF 3.0m.**



SITE PLAN

STAMP

01 ISSUED FOR VARIANCE		MAY 11/23
ADDRESS: 62 GARSIDE CRES, BRAMPTON, ON.		
DRAWN BY:	SHK	CHECKED BY: TR
PROJECT NUMBER: 23R-27775		
NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY, UNIT-19 BRAMPTON, ON. (437) 888 1800		
DATE:	MAY 11/23	SCALE:
SCALE: 1/8" = 1'-0"		A-1



APPLICATION # A-2023-0151
WARD #6

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **VAQAR HASAN AND MAHIRA VAQAR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 391, Plan 43M-1986 municipally known as **43 KEMPSFORD CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance in a required interior side yard whereas the by-law does not permit a below grade entrance to be located in a required interior side yard;
2. To permit a 0.03m (0.098 ft) interior side yard setback to a below grade entrance, with a combined side yard setback of 0.67m (2.20 ft) whereas the by-law requires a minimum side yard setback of 1.2m (3.94 ft) on one side provided that the combined total for both interior lots is 1.8m (5.91 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision:	<u>NO</u>	File Number:	<u></u>
Application for Consent:	<u>NO</u>	File Number:	<u></u>

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

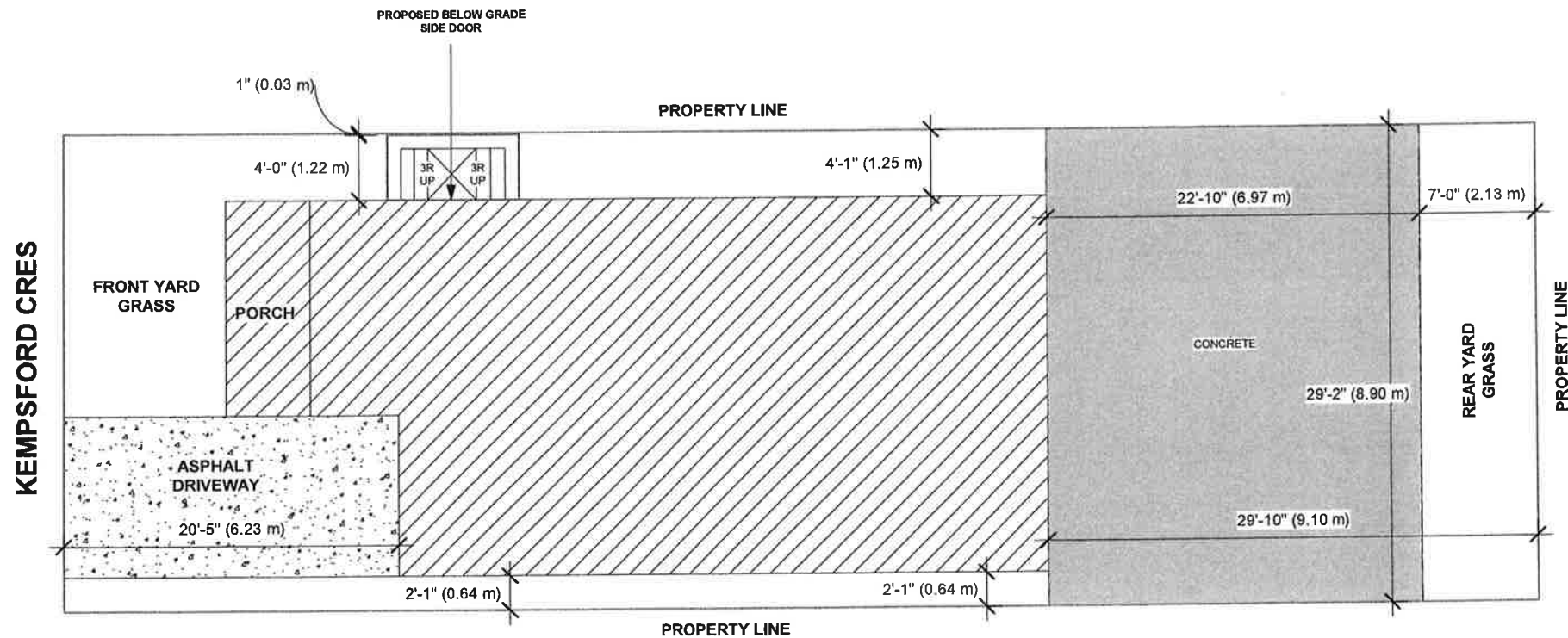
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

LOT : 391
43 KEMPSFORD CRES
2 STOREY DETACHED HOUSE

MINOR VARIANCE

- TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD
- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.03M (0.09 FT.) WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.);



SITE PLAN

STAMP

01 ISSUED FOR VARIANCE MAY 04/23

ADDRESS:
43 KEMPSFORD CRES,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB
PROJECT NUMBER: 23R-27797

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
BRAMPTON, ON
UNIT 19
(437)-888-1800

DATE: MAY 04/23
SCALE: 1 : 80
A-1

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER: A-2023-0151

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** VAQAR HASAN & MAHIRA VAQAR
Address 43 KEMPSFORD CRES. BRAMPTON, ON. L7A 4M5

Phone # 416-876-5349 **Fax #** _____
Email vaqarhasan@hotmail.com

2. **Name of Agent** NAVPREET KAUR
Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON. L6S 5Z4

Phone # 437-888-1800 **Fax #** _____
Email applications@nobleltd.ca

3. **Nature and extent of relief applied for (variances requested):**
-TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD
-TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.03M (0.09 FT.) WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.)

4. **Why is it not possible to comply with the provisions of the by-law?**
-THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD WHEREAS A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD IS PROPOSED.
-THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.) WHEREAS A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING

5. **Legal Description of the subject land:**
Lot Number 391
Plan Number/Concession Number M1986
Municipal Address 43 KEMPSFORD CRES, BRAMPTON, ON, L7A 4M5

6. **Dimension of subject land (in metric units)**
Frontage 9.15M
Depth 27.50M
Area 251.62

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE WITH AREA OF 170 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED BELOW GRADE SIDE DOOR

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.23M

Rear yard setback 9.10M

Side yard setback 0.64M

Side yard setback 1.25M

PROPOSED

Front yard setback 6.23M

Rear yard setback 9.10M

Side yard setback 0.64M

Side yard setback 0.03M

10. Date of Acquisition of subject land: May 13, 2014
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: May 2016
15. Length of time the existing uses of the subject property have been continued: 7 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Naypreet Kaur

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 12th DAY OF May, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JITUESH BHALLA OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 12th DAY OF
May, 2023

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

May 12, 2023

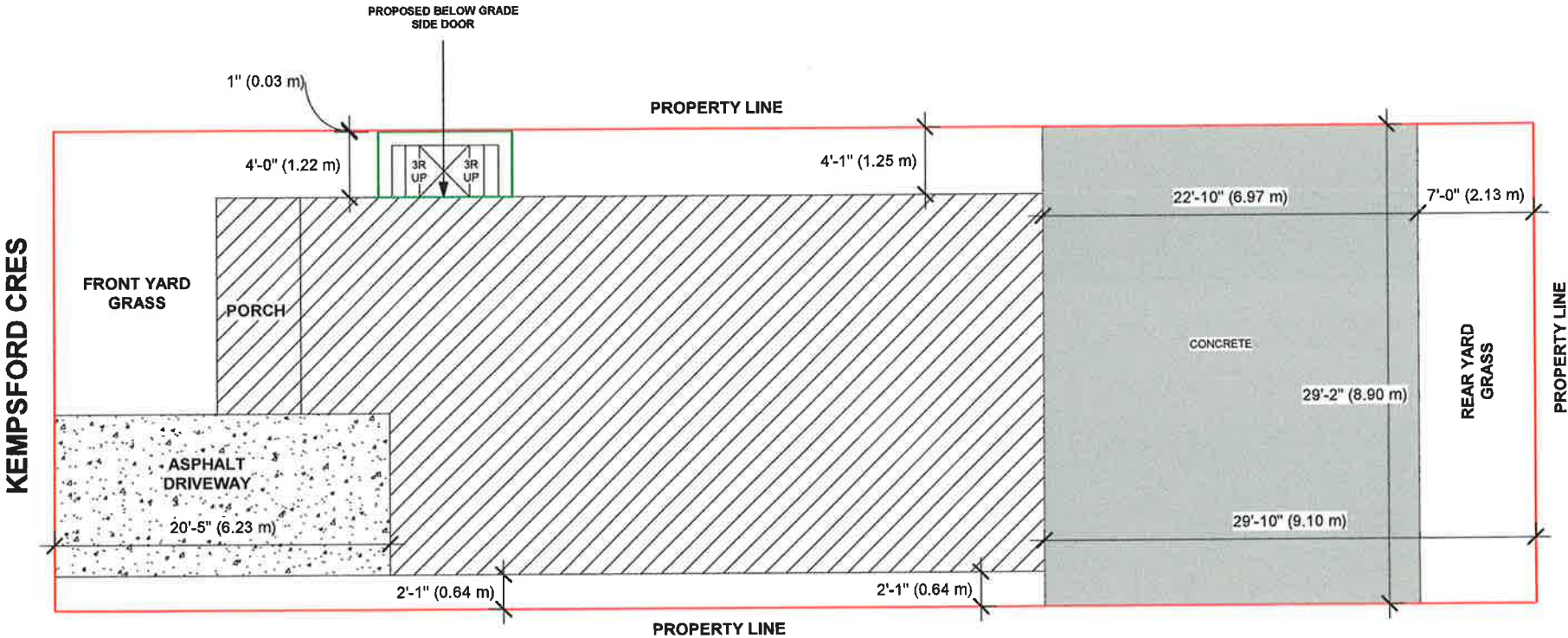
Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

LOT : 391
43 KEMPSFORD CRES
2 STOREY DETACHED HOUSE

MINOR VARIANCE

- TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD
- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.03M (0.09 FT.) WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.);



SITE PLAN

STAMP	
01 ISSUED FOR VARIANCE MAY 04/23	
ADDRESS: 43 KEMPSFORD CRES, BRAMPTON, ON	
DESIGNED BY: NK	CHECKED BY: JB
PROJECT NUMBER: 23R-27797	
NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY BRAMPTON, ON UNIT 19 (437)-888-1800	
DATE: MAY 04/23	SCALE: 1 : 90
A-1	

APPLICATION # A-2023-0152
WARD #2

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SANDEEP RAJ AND KAMLESH RAJ** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 1, Plan M-1051 municipally known as **96 TOBA CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an existing above grade door in the side wall where a minimum side yard width of 1.00m (3.28 ft) is provided extending from the front wall of the dwelling up to the door whereas the by-law does not permit a door in the side wall unless there is a minimum side yard width of 1.2m (3.94 ft.) extending from the front wall of the dwelling up to and including the door;
2. To permit a 1.00m (3.28 ft) path of travel leading to the primary entrance to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

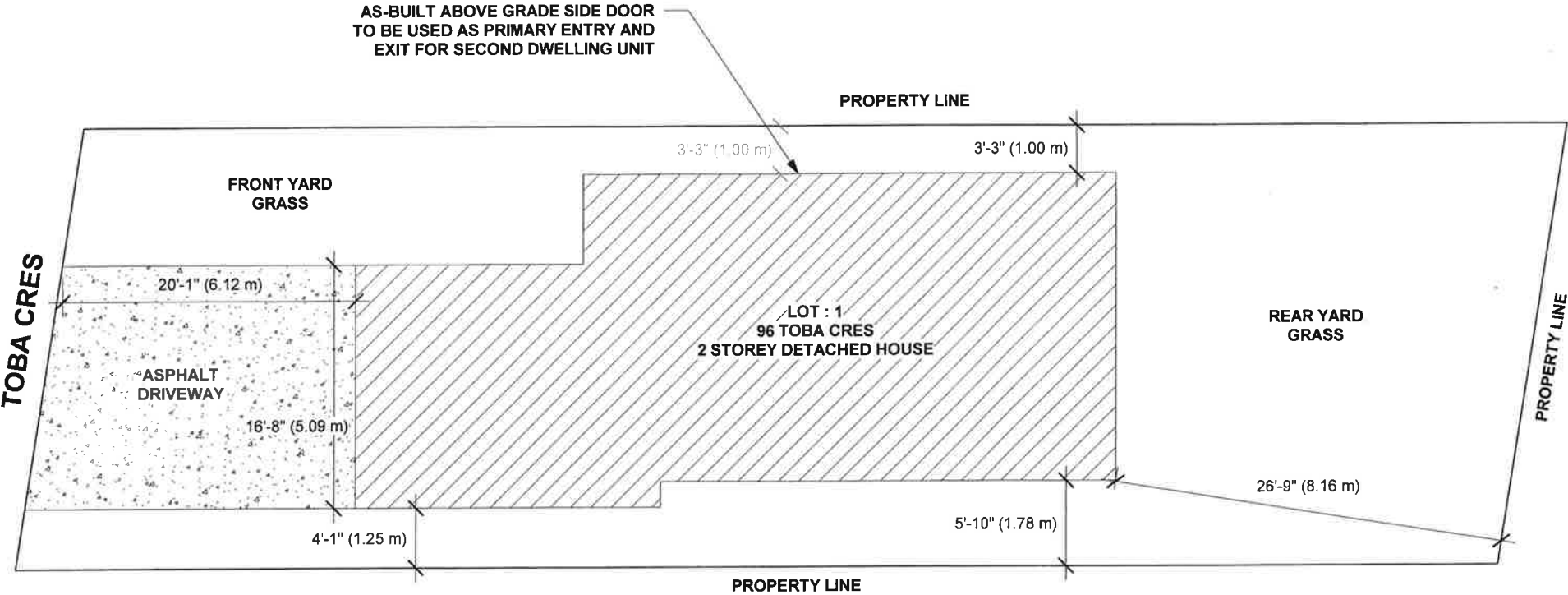
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

MINOR VARIANCE

-To permit an existing above grade door in the side wall where a minimum side yard width of 1.00m (3.28 ft) is provided extending from the front wall of the dwelling up to the door whereas the by-law does not permit a door in the side wall unless there is a minimum side yard width of 1.2m (3.94 ft.) extending from the front wall of the dwelling up to and including the door;

-To permit a 1.00m (3.28 ft) path of travel leading to the primary entrance to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit.



SITE PLAN

STAMP

01 ISSUED FOR VARIANCE APR 25/23

ADDRESS
96 TOBA CRES,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB
PROJECT NUMBER: 23R-27604

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
BRAMPTON, ON
UNIT 19
(437)-888-1800

DATE: APR 25/23
SCALE: 1:100
DWG. No: A-1

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

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How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
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You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

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AMENDMENT LETTER

June 6, 2023

To: Committee of Adjustment
SANDEEP RAJ
LOT 272, PLAN 742
A-2023-0152 – 96 TOBA CRESCENT

Please **amend** application **A-2023-0152** to reflect the following:

1. To permit an existing above grade door in the side wall where a minimum side yard width of 1.00m (3.28 ft) is provided extending from the front wall of the dwelling up to the door whereas the by-law does not permit a door in the side wall unless there is a minimum side yard width of 1.2m (3.94 ft.) extending from the front wall of the dwelling up to and including the door;
2. To permit a 1.00m (3.28 ft) path of travel leading to the primary entrance to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit.

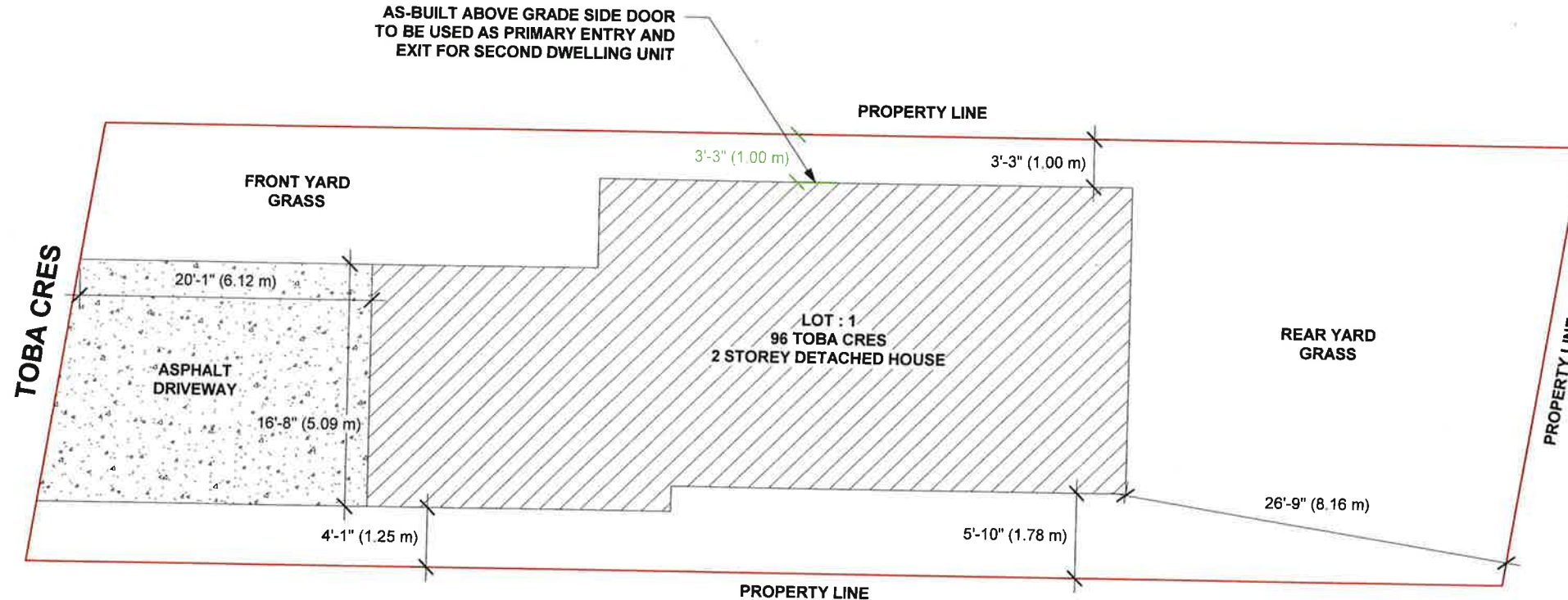
Narpreet Kaur

Applicant/Authorized Agent

MINOR VARIANCE

-To permit an existing above grade door in the side wall where a minimum side yard width of 1.00m (3.28 ft) is provided extending from the front wall of the dwelling up to the door whereas the by-law does not permit a door in the side wall unless there is a minimum side yard width of 1.2m (3.94 ft.) extending from the front wall of the dwelling up to and including the door;

-To permit a 1.00m (3.28 ft) path of travel leading to the primary entrance to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit.



SITE PLAN

STAMP

01 ISSUED FOR VARIANCE APR 25/23

ADDRESS:

96 TOBA CRES,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB

PROJECT NUMBER: 23R-27604

**NOBLE PRIME
SOLUTIONS LTD**

2131 WILLIAMS PARKWAY
BRAMPTON, ON
UNIT 19
(437)-888-1800

DATE: APR 25/23

DWG. No.

SCALE: 1 : 100

A-1



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0152

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APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) SANDEEP RAJ
Address 96 TOBA CRES. BRAMPTON, ON, L6Z 4R8

Phone # 416-805-9397 Fax #
Email sunnyraj@live.ca

2. Name of Agent NAVPREET KAUR (NOBLE PRIME SOLUTIONS LTD)
Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON, L6S 5Z4

Phone # 437-888-1800 Fax #
Email applications@nobleltd.ca

3. Nature and extent of relief applied for (variances requested):

-TO PERMIT AN ABOVE GRADE SIDE DOOR WITH SETBACK 1.0m FROM THE SIDE LOT LINE, WHEREAS ZONING BY-LAW REQUIRES A MINIMUM SETBACK OF 1.2m FROM ANY SIDE DOOR TO A SIDE LOT LINE.

4. Why is it not possible to comply with the provisions of the by-law?

-ZONING BY-LAW REQUIRES A MINIMUM SETBACK OF 1.2m FROM ANY SIDE DOOR TO A SIDE LOT LINE WHEREAS AN ABOVE GRADE SIDE DOOR WITH SETBACK 1.0m FROM THE SIDE LOT LINE IS PROPOSED.

5. Legal Description of the subject land:
Lot Number 1
Plan Number/Concession Number 43M1051
Municipal Address 96 TOBA CRES, BRAMPTON, ON, L6Z 4R8

6. Dimension of subject land (in metric units)
Frontage 9.21 M
Depth 30.750 M
Area 285.49

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE WITH AN AREA OF 278 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

ABOVE GRADE SIDE DOOR

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.12M
Rear yard setback	8.16M
Side yard setback	1.00M
Side yard setback	1.25M

PROPOSED

Front yard setback	6.12M
Rear yard setback	8.16M
Side yard setback	1.00M
Side yard setback	1.25M

10. Date of Acquisition of subject land: JANUARY 25, 2016

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: JULY 20, 1999

15. Length of time the existing uses of the subject property have been continued: 24 YEARS

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Nargreet Kaur

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 12th DAY OF May, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JAYTESH BHALLA OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 12th DAY OF May, 2023

Jeanie Cecilia Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1D-358

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]
Zoning Officer

May 11, 2023

Date

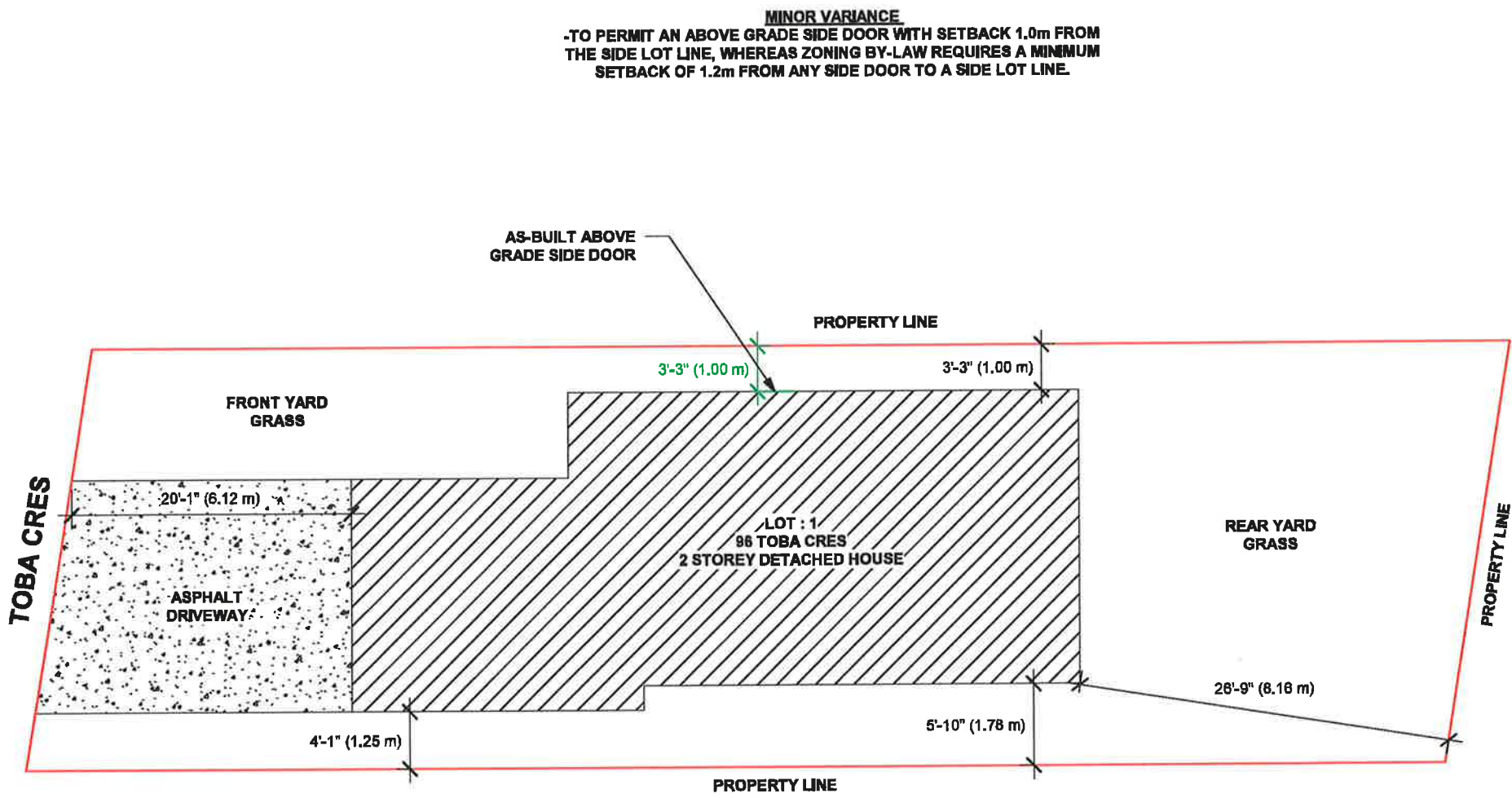
DATE RECEIVED

May 12, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

SITE PLAN



01		ISSUED FOR VARIANCE	APR 25/23
ADDRESS: 96 TOBA CRES, BRAMPTON, ON			
DRAWN BY:	NK	CHECKED BY:	JB
PROJECT NUMBER:		23R-27604	
NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY BRAMPTON, ON UNIT 19 (437)-888-1800			
DATE:	APR 25/23		DWG. NO.:
SCALE:	1 : 100		A-1



APPLICATION # A-2023-0153
WARD #7

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SUVANSH MEHTA AND SHRUTI RAIBAGI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 272, Plan 742 municipally known as **21 DANESBURY CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance between the main wall of a dwelling and the front lot line whereas the by-law does not permit below grade entrances between the main wall of the dwelling and the front lot line;
2. To permit a front yard setback of 7.1m (23.30 ft) to a below grade entrance whereas the by-law requires a minimum front yard setback of 7.6m (24.93 ft);
3. To permit an existing building addition (sunroom) with a rear yard setback of 5.2m (17.06 ft) whereas the by-law requires a minimum rear yard setback of 7.6m (24.93 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

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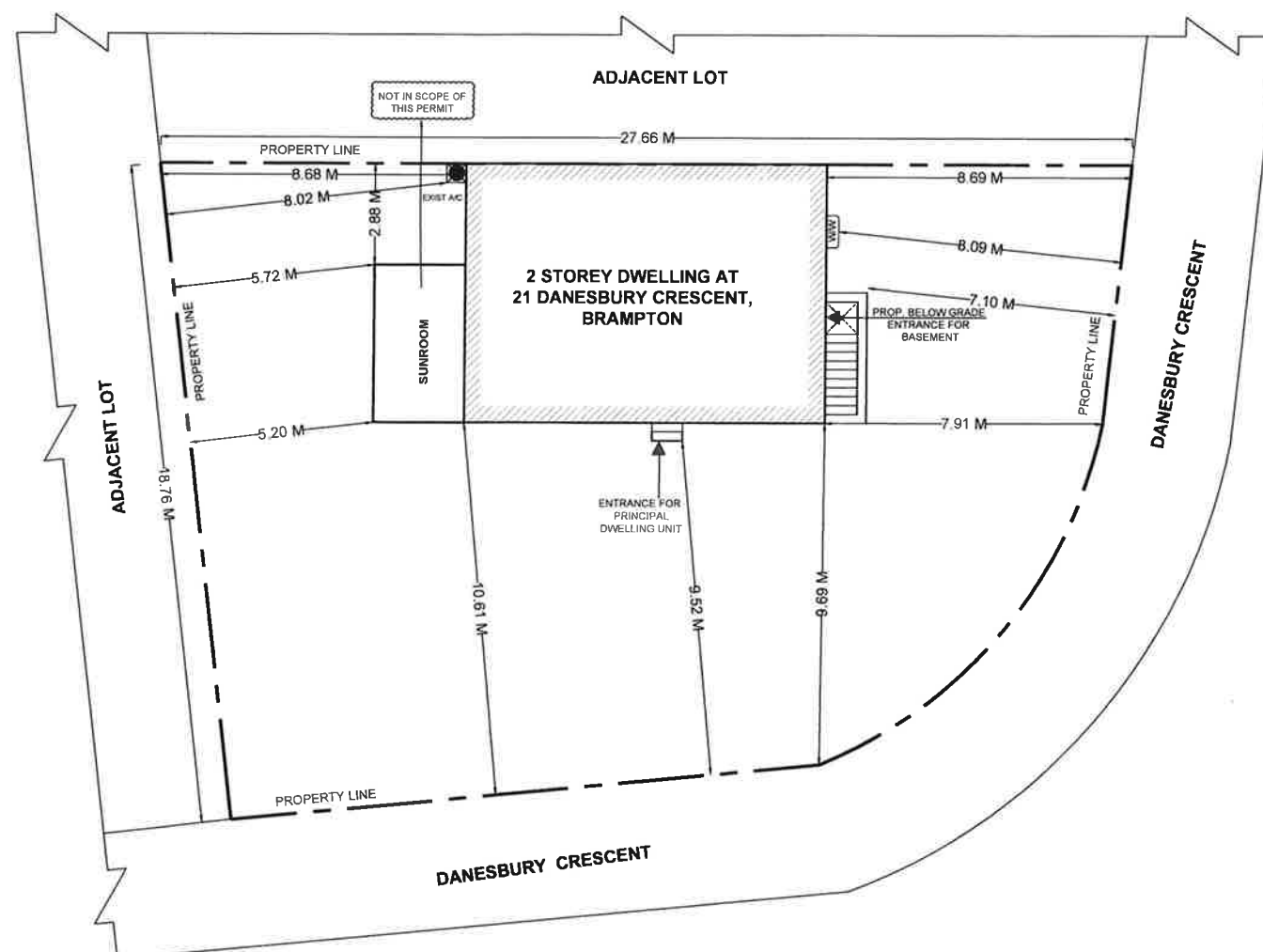
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SCOPE OF WORK
1. LEGALIZATION OF AS-BUILT BASEMENT TO FINISHED BASEMENT FOR PERSONAL USE
2. PROP. BELOW GRADE ENTRANCE

GENERAL NOTES:
DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.



NO.	DESCRIPTION	DATE
1	ISSUED FOR BUILDING PERMIT	MAR 30, 2023

ENGINEER:

Mechways Inc.

ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON, L4T 5G8
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

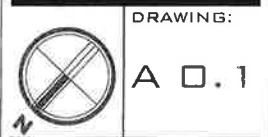
PROJECT:

FINISHED BASEMENT
AT 21 DANESBURY
CRESCENT

SHEET TITLE:

SITE PLAN

CHECKED: GB
DRAWN: KA
SCALE: 1 : 150
DATE: MAR/30/ 2023



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For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0153

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APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Suvansh Mehta / Shruti Raibagi
Address 21 Danesbury Crescent, Brampton, ON L6T 1T2

Phone # 647 391 5898 **Fax #** _____
Email suvanshruti@gmail.com

2. **Name of Agent** Valiuddin Mohammed
Address 2751 Thamesgate Drive, Mississauga, ON L4T 1G5

Phone # 647 786 5940 **Fax #** _____
Email info@mechways.com

3. **Nature and extent of relief applied for (variances requested):**
To permit a below grade entrance in the front yard of the property with a setback of 7.10m.
To permit an existing building addition (sunroom) with a rear yard setback of 5.2m.

4. **Why is it not possible to comply with the provisions of the by-law?**
As per the zoning by-law, a below grade entrance in the front yard of the property is not permitted. As per the zoning by-law, a minimum rear yard setback of 7.6m is required.

5. **Legal Description of the subject land:**
Lot Number 272
Plan Number/Concession Number 742 PT
Municipal Address 21 Danesbury Crescent, Brampton, ON L6T 1T2

6. **Dimension of subject land (in metric units)**
Frontage 26.02 m.
Depth 18.76 m.
Area 431.85 sq.m.

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

A 2 storey single dwelling semi-detached house with an attached sunroom in the sideyard.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

A proposed below grade entrance in the front yard for basement unit.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	9.52 m
Rear yard setback	N/A
Side yard setback	5.2 m
Side yard setback	7.91 m

PROPOSED

Front yard setback	9.52 m
Rear yard setback	N/A
Side yard setback	5.2 m
Side yard setback	7.10 m

10. Date of Acquisition of subject land: April ,2022
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1967
15. Length of time the existing uses of the subject property have been continued: Since 1967

16. (a) What water supply is existing/proposed?
- | | | | |
|-----------|-------------------------------------|-----------------|--|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) | |
| Well | <input type="checkbox"/> | | |
- (b) What sewage disposal is/will be provided?
- | | | | |
|-----------|-------------------------------------|-----------------|--|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) | |
| Septic | <input type="checkbox"/> | | |
- (c) What storm drainage system is existing/proposed?
- | | | | |
|---------|-------------------------------------|-----------------|--|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) | |
| Ditches | <input type="checkbox"/> | | |
| Swales | <input type="checkbox"/> | | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF _____ Mississauga

THIS 12 DAY OF April, 2023.

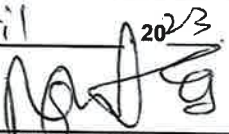
IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Valiuddin Mohammed, OF THE City _____ OF _____ Mississauga

IN THE region _____ OF _____ Peel _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

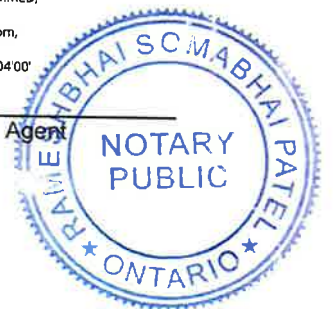
DECLARED BEFORE ME AT THE

City OF Toronto
IN THE Province OF
Ontario THIS 12th DAY OF
April 2023


VALIUDDIN
MOHAMMED
D

Digitally signed by VALIUDDIN
MOHAMMED
DN: cn=VALIUDDIN MOHAMMED,
o=MECHWAYS INC,
email=mechways@gmail.com,
c=CA
Date: 2023.04.12 14:21:36 -04'00'

Signature of Applicant or Authorized Agent



Present Official Plan Designation:

Present Zoning By-law Classification:

R2A(1) - 100

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.


Zoning Officer

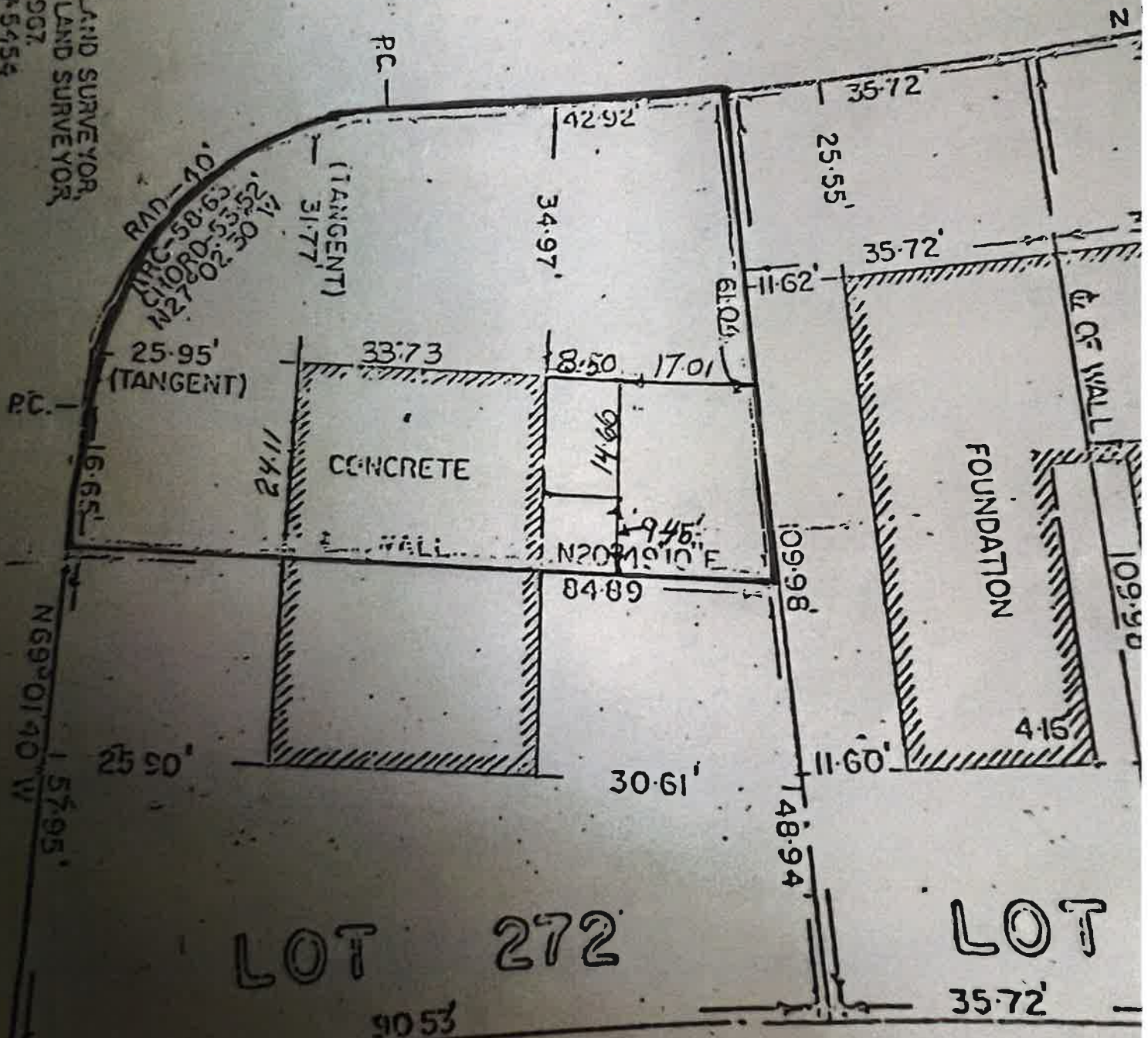
May 10, 2023
Date

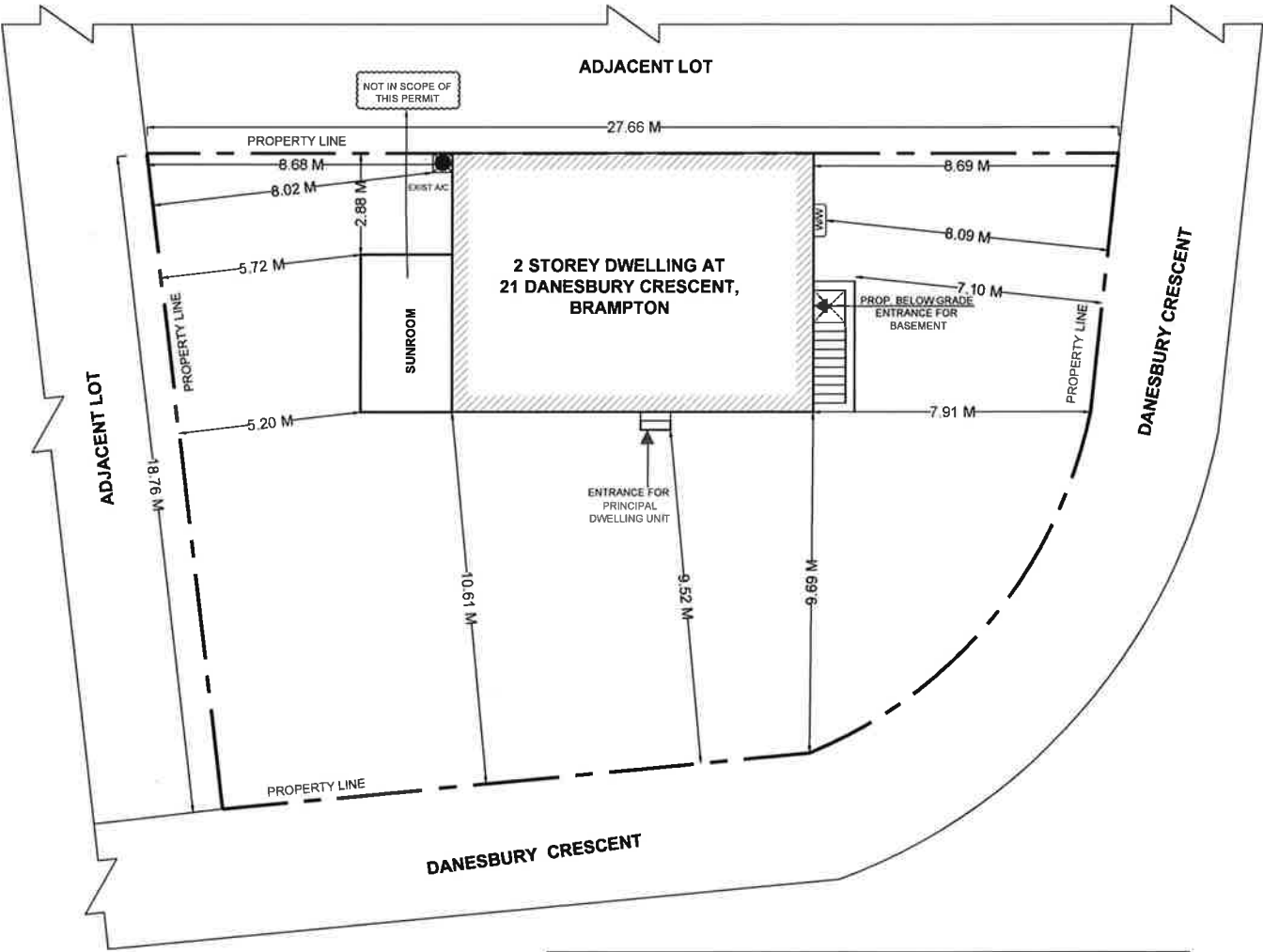
DATE RECEIVED

MAY 12, 2023

DANESBURY

JOHN W. SKINNER - ONTARIO LAND SURVEYOR,
 103 VICTORIA PARK AVE., PL7-5454
 TORONTO, ONT.
 FEB. 24, 1967





SCOPE OF WORK

1. LEGALIZATION OF AS-BUILT BASEMENT TO FINISHED BASEMENT FOR PERSONAL USE
2. PROP. BELOW GRADE ENTRANCE

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT
SCALED.
CONTRACTOR MUST VERIFY ALL
DIMENSIONS AND BE RESPONSIBLE
FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE
DESIGNER BEFORE COMMENCING THE
WORK. THE DRAWINGS AND
DOCUMENTS PROVIDED HERE WITHIN
ARE THE EXCLUSIVE PROPERTY OF
MECHWAYS INC. REPRODUCTION OF
THE DOCUMENTS PROVIDED IS
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OF THE DESIGNER.
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DOCUMENTATION ARE FINAL UNLESS
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DISCREPANCIES ARE DISCOVERED
HERE WITHIN, THE DESIGNER SHALL
BE NOTIFIED.

SEAL:



1	ISSUED FOR BUILDING PERMIT	MAR 30, 2023
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON L4T 1G5
TEL : 416-627-4100
EMAIL: INFO@MECHWAYS.COM
WEBSITE: WWW.MECHWAYS.COM

CONSULTANT:

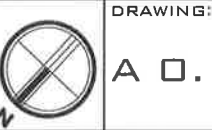
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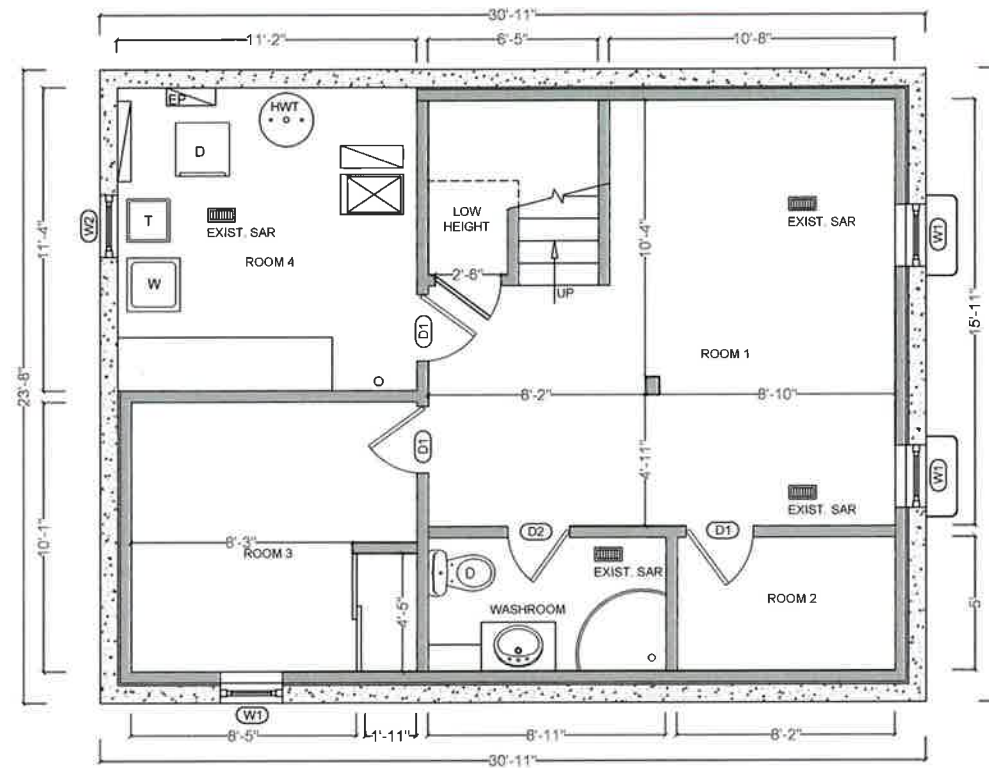
FINISHED BASEMENT
AT 21 DANESBURY
CRESCENT

SHEET TITLE:

SITE PLAN

CHECKED: GS
DRAWN: KA
SCALE: 1 : 150
DATE: MAR/30/ 2023





EXISTING BASEMENT PLAN

BASEMENT G.F.A = 731.69 ft² / 67.98 m²
 CEILING HEIGHT U/S OF JOISTS = 7' - 6"
 CEILING HEIGHT U/S OF DUCT = 6' - 8"
 FIN. CEILING HEIGHT = 7'-2"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

WINDOW SCHEDULE	
WINDOW#	WINDOW SIZE
EXIST. W1	28" x 16"
EXIST. W2	32" X 20"

DOOR SCHEDULE	
DOOR#	DOOR SIZE
EXIST. D1	30" x 80"
EXIST. D2	28" X 80"

GENERAL NOTES:

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SEAL:



1 ISSUED FOR BUILDING PERMIT MAR 30, 2023

NO. DESCRIPTION DATE

ENGINEER:

Mechways Inc.
 ADDRESS : 2751 THAMESDALE DRIVE
 MISSISSAUGA, ON L4T 1G5
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

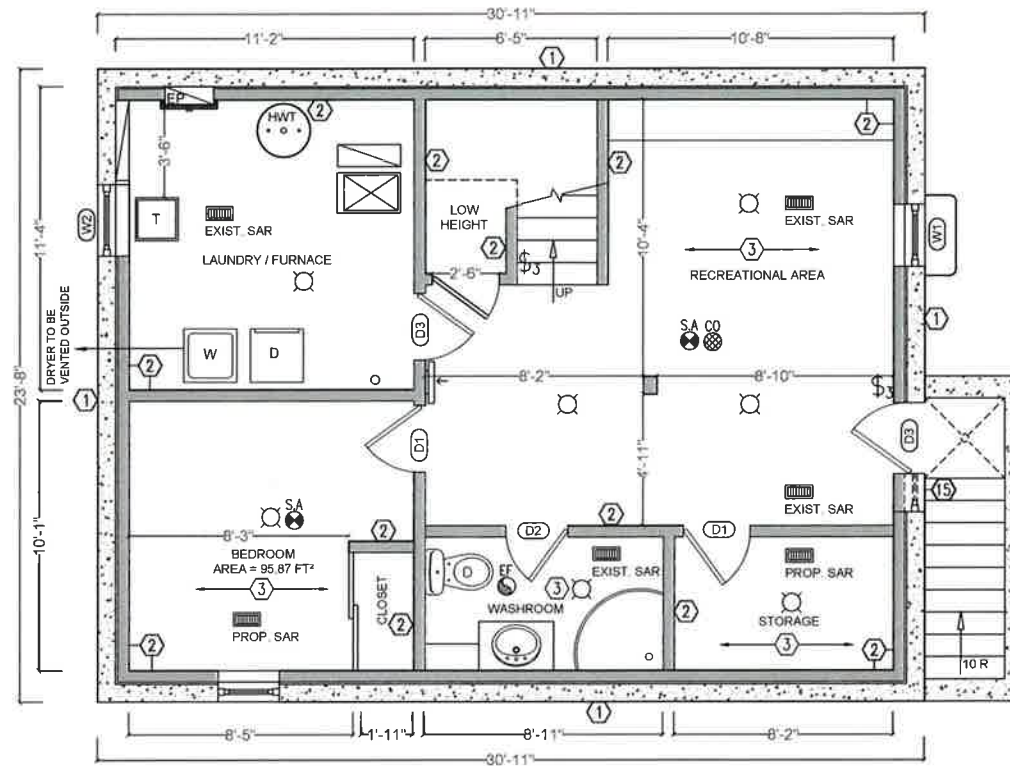
FINISHED BASEMENT
 AT 21 DANESBURY CRESCENT

SHEET TITLE:

EXIST.
 BASEMENT PLAN

CHECKED: GB
 DRAWN: KA
 SCALE: 3/16" = 1'0"
 DATE: MAR /30/2023

DRAWING:
 A 1.1



PROP. BASEMENT PLAN

BASEMENT G.F.A = 731.69 ft² / 67.98 m²
 CEILING HEIGHT U/S OF JOISTS = 7' - 6"
 CEILING HEIGHT U/S OF DUCT = 6' - 8"
 FIN. CEILING HEIGHT = 7'-2"

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- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

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WINDOW#	WINDOW SIZE
EXIST. W1	28" x 16"
EXIST. W2	32" X 20"

DOOR SCHEDULE	
DOOR#	DOOR SIZE
EXIST. D1	30" x 80"
EXIST. D2	28" X 80"
PROP. D3	32" X 80"

LEGEND

	EXISTING FOUNDATION WALL (8" THICK CONCRETE WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., EXISTING INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED)
	DRY WALL (WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED, WATER RESISTANT GWB ON BATHROOMS WALLS.)
	SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
	CARBON MONO OXIDE ALARM
	NEW/ EXISTING HORIZONTAL SEPARATION 15 MINUTE F.R.R (EXISTING 1/2" GYPSUM BOARD CEILING)
	EXHAUST FAN100 CFM FOR KITCHEN AND 50 CFM FOR WASHROOM
	SAR (SUPPLY AIR REGISTER) 10" x 4"
	RAG (RETURN AIR GRILLE) 12" x 6"
	LIGHT
	CLOSE THE OPENING BY PROVIDING 15 M VERTICAL STEEL REINFORCEMENT @ 12" O.C AND 15 M DISTRIBUTION REINFORCEMENT @ 12" O.C. TIE NEW CONCRETE TO EXISTING WITH 15 M @ 16" O.C 12" LONG WITH MINIMUM 4" INTO EXISTING CONCRETE WALL. CONCRETE MINIMUM COMPRESSIVE STRENGTH TO 32 MPa W/5%-8% AIR ENTRAINMENT. MATCH EXTERIOR FINISH TO EXISTING FINISH

GENERAL NOTES:

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SEAL:



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NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.
 ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON. L4T 1G5
 TEL : 416-627-4100
 EMAIL : INFO@MECHWAYS.COM
 WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

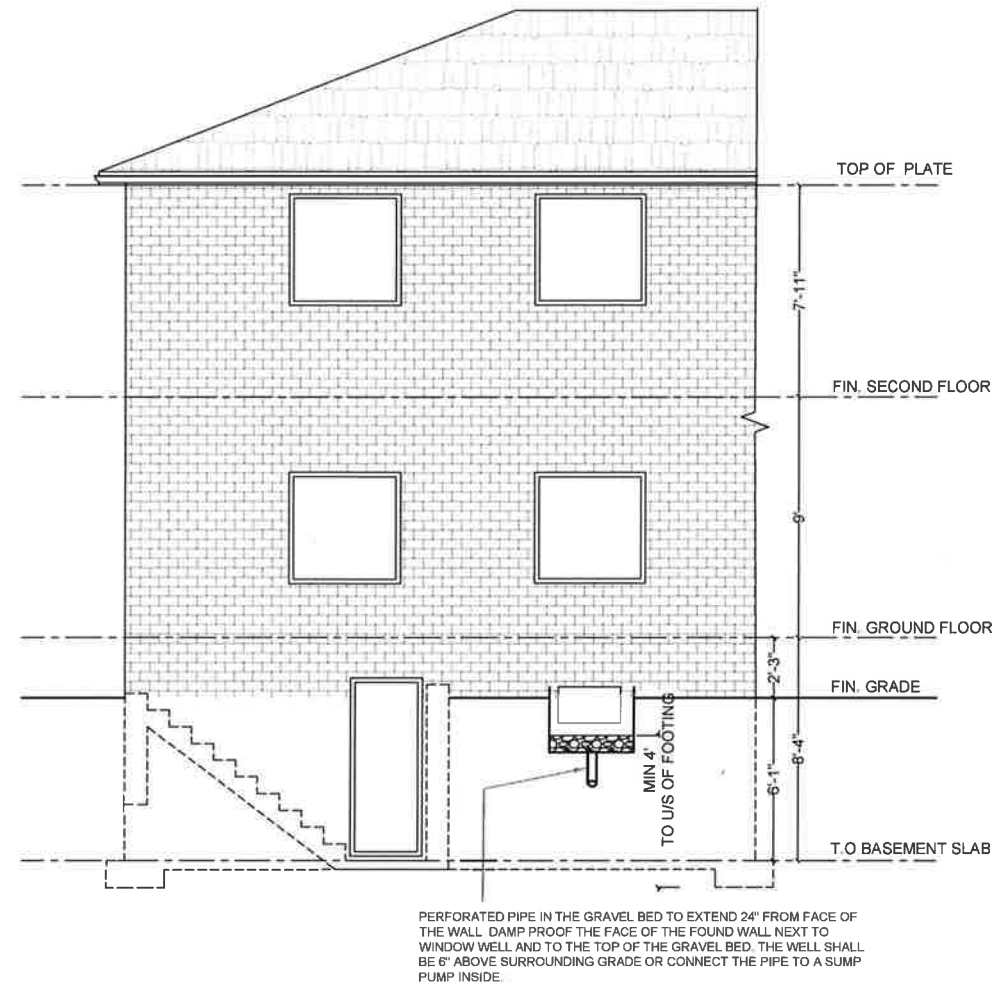
FINISHED BASEMENT
 AT 21 DANESBURY CRESCENT

SHEET TITLE:

PROP.
 BASEMENT PLAN

CHECKED: GS
 DRAWN: KA
 SCALE: 3/16" = 1'-0"
 DATE: MAR /30/2023





RIGHT SIDE ELEVATION

GENERAL NOTES:

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SEAL:



1	ISSUED FOR BUILDING PERMIT	MAR 30, 2023
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NO.	DESCRIPTION	DATE
-----	-------------	------

ENGINEER:



Mechways Inc.

ADDRESS : 2751 THAMESBATE DRIVE
MISSISSAUGA, ON, L4T 1G5
TEL : 416-627-6100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

FINISHED BASEMENT
AT 21 DANESBURY
CRESCENT

SHEET TITLE:

**RIGHT SIDE
ELEVATION**

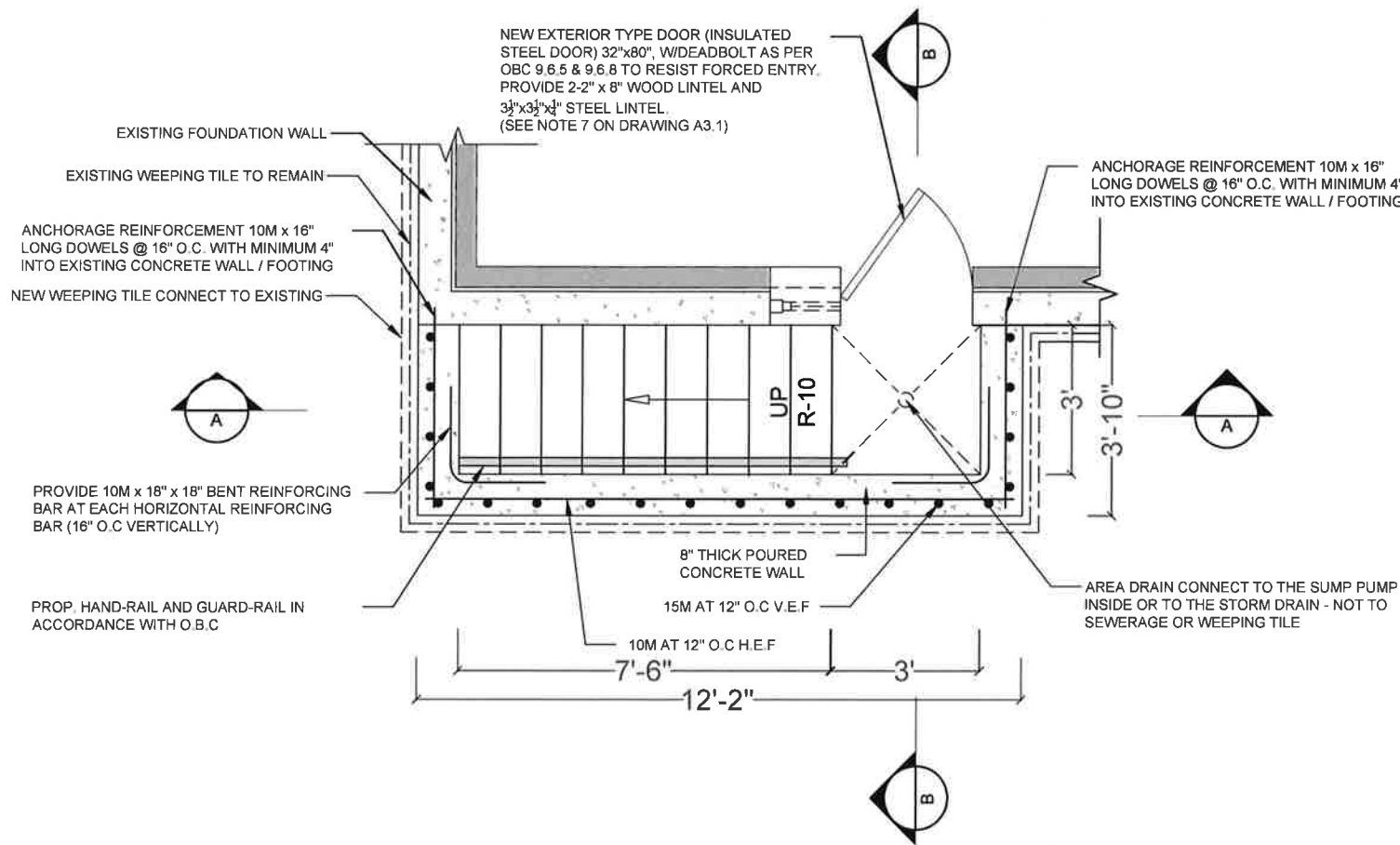
CHECKED: GS
DRAWN: KA
SCALE: 3/16" = 1'-0"
DATE: MAR /30/2023

DRAWING:

A 2.1

WALKOUT PLAN

SCALE : 3/8" = 1'-0"



GENERAL NOTES:
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NO.	DESCRIPTION	DATE

ENGINEER:
 Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON L4T 1G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:
FINISHED BASEMENT AT 21 DANESBURY CRESCENT

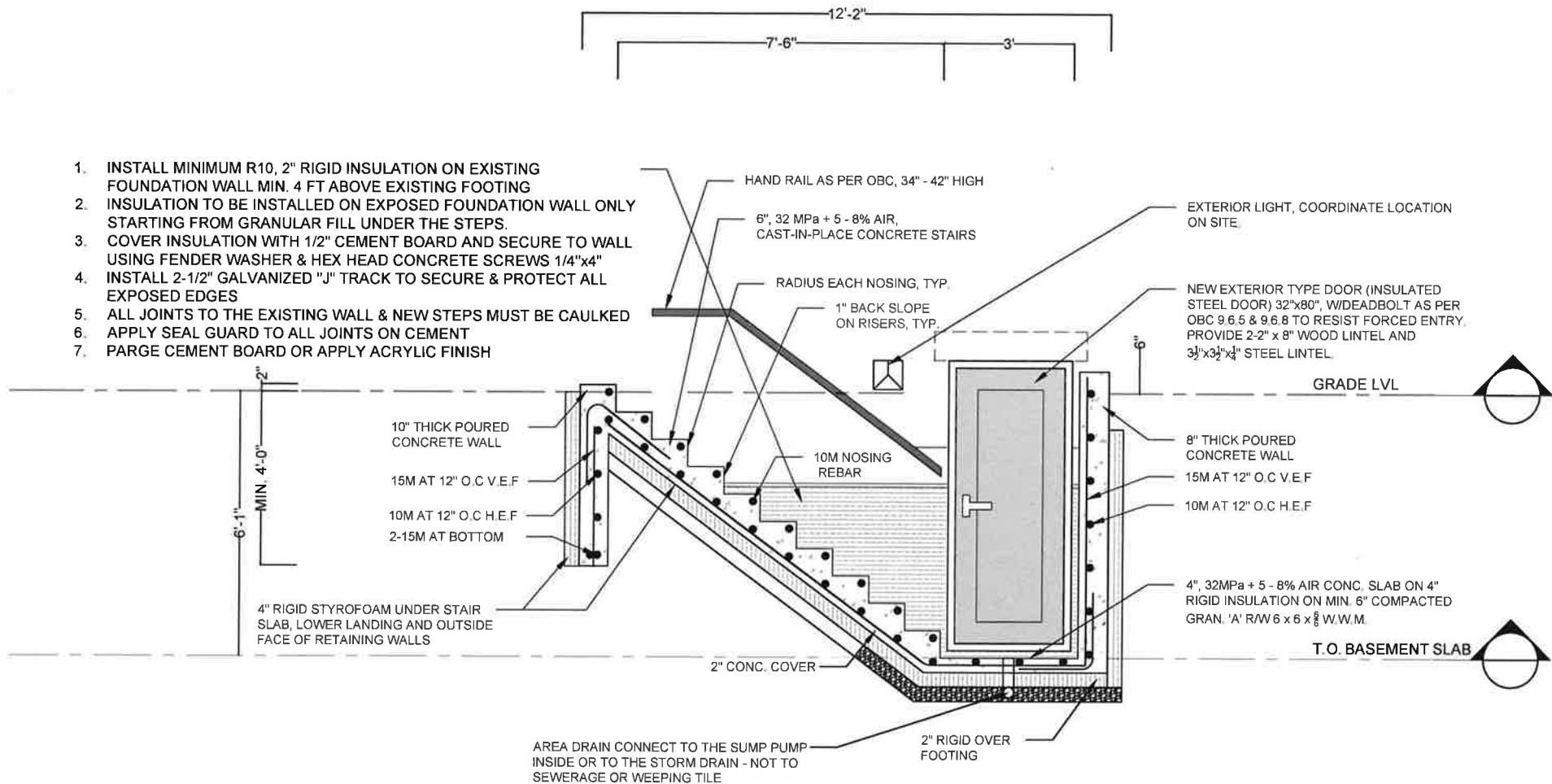
SHEET TITLE:
WALKOUT PLAN

CHECKED: SS
DRAWN: KA
SCALE: 3/8" = 1'-0"
DATE: MAR /30/2023

DRAWING:
A 3.1

SECTION A-A

SCALE : 3/8" = 1'-0"



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TEL : 416-627-4100
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WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:
**FINISHED BASEMENT
AT 21 DANESBURY
CRESCENT**

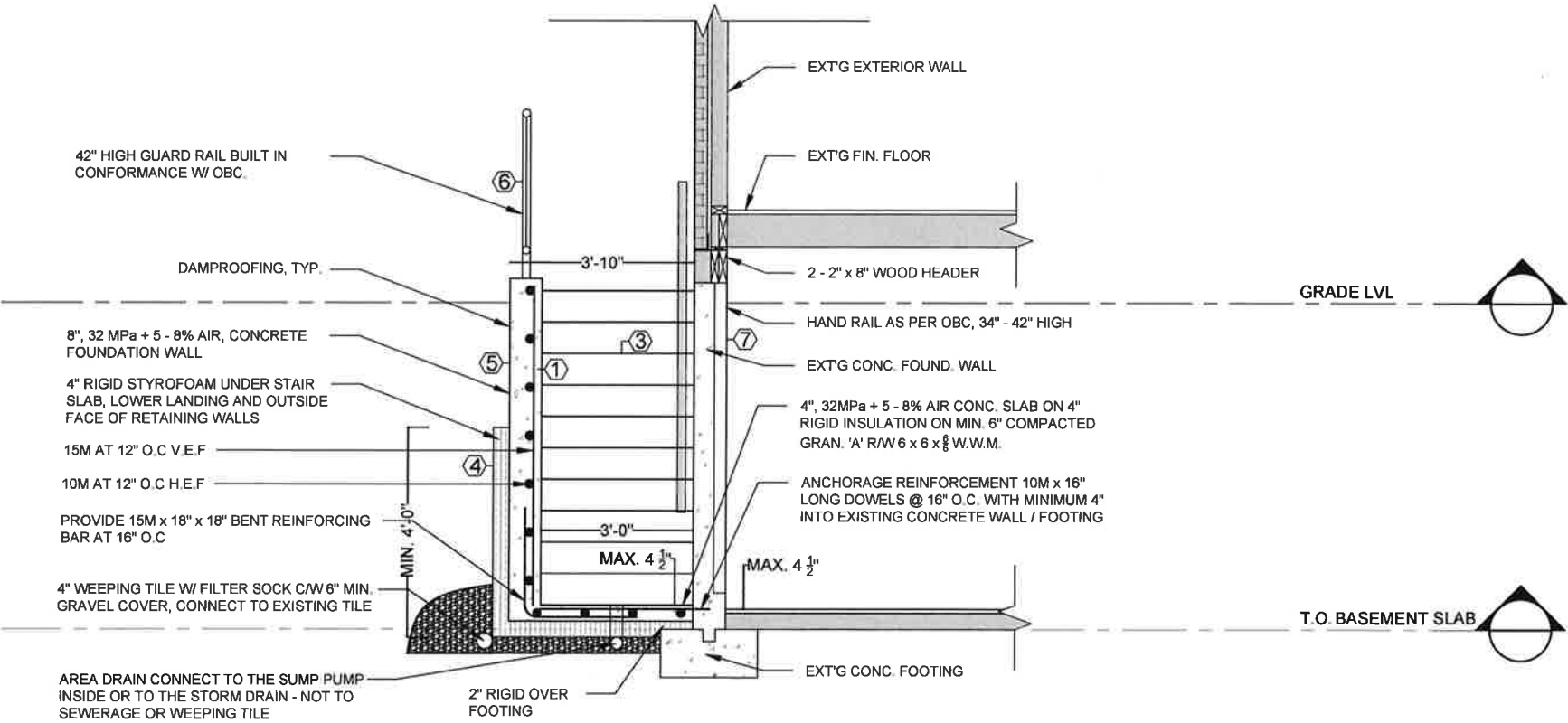
SHEET TITLE:
SECTION A-A

CHECKED: GB
DRAWN: KA
SCALE: 3/8" = 1'-0"
DATE: MAR 30/2023

DRAWING:
A 3.2

SECTION B-B

SCALE : 3/8" = 1'-0"



GENERAL NOTES:
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CONSULTANT:

PROJECT:
 FINISHED BASEMENT
 AT 21 DANESBURY
 CRESCENT

SHEET TITLE:
 SECTION B-B

CHECKED: GS
 DRAWN: KA
 SCALE: 3/8" = 1'-0"
 DATE: MAR /30/2023

DRAWING:
 A 3.3

GENERAL NOTES

- ALL WORK ACCORDING TO ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS
- ALL WORKING ACCORDING TO GOOD CONSTRUCTION PRACTICES
- ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM BEARING CAPACITY OF 75 KPA
- WHERE THE FOUNDATIONS OF A BUILDING ARE TO BE CONSTRUCTED BELOW THE LEVEL OF THE FOOTINGS OF AN ADJACENT BUILDING AND WITHIN THE ANGLE OF REPOSE OF THE SOIL, OR THE UNDERPINNING EXCEEDS 1200mm OF LATERALLY UNSUPPORTED HEIGHT OR THE SOIL IS CLAY OR SILT, THE UNDERPINNING & RELATED CONSECUTION SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER.
- EXCAVATION SHALL BE UNDERTAKEN IN A MANNER SO AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTIES, STRUCTURES, UTILITIES, ROADS & SIDEWALKS. CONTACT YOUR LOCAL UTILITIES PRIOR TO COMMENCING EXCAVATION.
- SHORE & BRACE WHERE NECESSARY TO ENSURE THE SAFETY & STABILITY OF THE EXISTING STRUCTURE DURING UNDERPINNING.

1. CONCRETE

- MINIMUM COMPRESSIVE STRENGTH OF CONCRETE 32MPa @ 28 DAYS W/5% TO 8% AIR ENTRAINMENT.

2. STEEL

MINIMUM YIELD STRENGTH OF STEEL 60 KSI.

3. EXTERIOR STAIRS

RISE 7 7/8" MAXIMUM 4 7/8" MINIMUM
RUN 10" MINIMUM 14" MAXIMUM
TREAD 10" MINIMUM 14" MAXIMUM
TREAD SHOULD BE A MAX. OF 1" > RUN
ADJUST STEP SIZE TO SUIT SITE

4. INSULATION

- 4a. MIN. RSI 2.11 (R12) INSULATION & VAPOR BARRIER ON THE INSIDE FACE OF THE EXPOSED FOUNDATION WALL.
- 4B PROVIDE 4" THICK RIGID STYROFOAM INSULATION UNDER THE STAIR SLAB AND LOWER LANDING AND OUTWARD FACE OF RETAINING WALLS.

5. RETAINING WALL

8" POURED CONCRETE WALL W/NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 1200mm, UNLESS MENTIONED OTHERWISE.

PROVIDE 15M VERTICAL STEEL REINFORCEMENT @ 12" O.C. AND 10M DISTRIBUTION REINFORCEMENT @12" O.C. PROVIDE MINIMUM 3" CONCRETE COVER FOR MAIN REINFORCEMENT PLACED TOWARD EARTH SIDE

6. GUARDS -

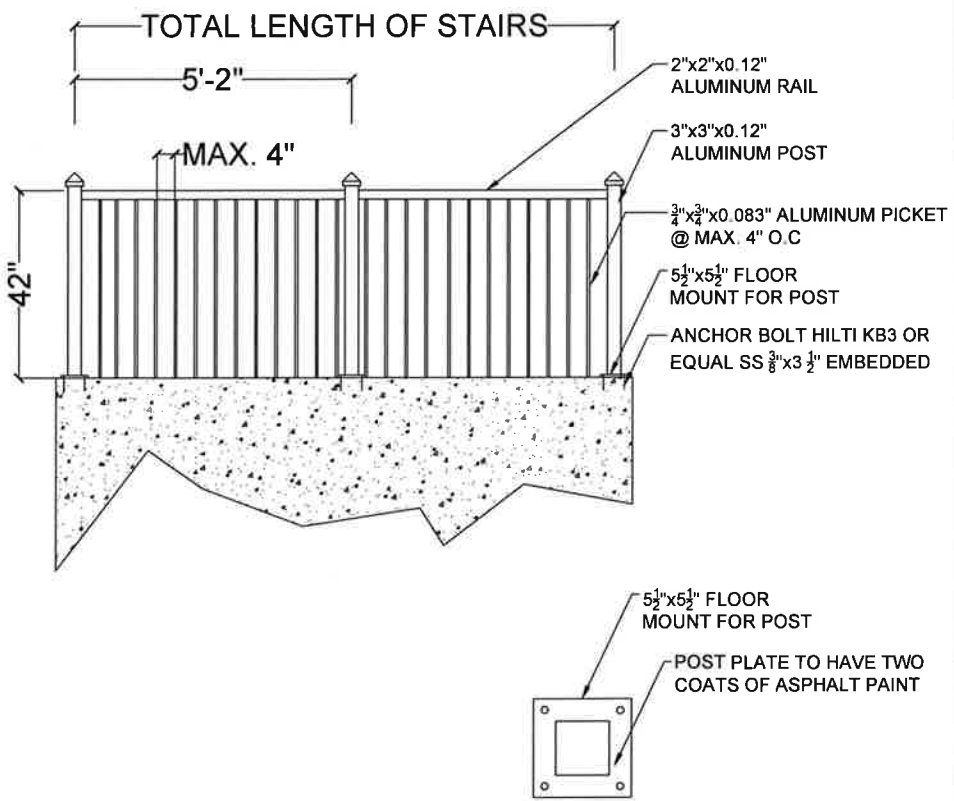
42" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"
36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

7. EXTERIOR DOOR

EXTERIOR TYPE DOOR (42MM INSULATED STEEL DOOR) SIZE 2'-8" x 6'-8", W/ DEADBOLT AS PER OBC 9.6.5 & 9.6.8 TO RESIST FORCED ENTRY. PROVIDE LINTEL AS FOLLOWS:
WOOD LINTEL: 2-2x8 SPF NO.1 OR NO.2
STEEL LINTEL: 1L 3 1/2"x3 1/2"x1/4" THICK
ANGLE STEEL LINTELS WITH MINIMUM BEARING OF 150MM

GUARD RAIL DETAILS

SCALE : 3/8" = 1'-0"



GENERAL NOTES:
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NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON L4T 1G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

FINISHED BASEMENT AT 21 DANESBURY CRESCENT

SHEET TITLE:

GUARD RAIL DETAILS

CHECKED: GB
DRAWN: KA
SCALE: 3/8" : 1'-0"
DATE: MAR /30/2023

DRAWING:

A 3.4

DOOR SCHEDULE

- 1. ALL INTERIOR DOORS ARE SLAB DOOR 1-3/8 TH. HOLLOW CORE, THE SIZES ARE MENTIONED ON THE FLOOR PLAN.
- 2. EGRESS DOOR - EXISTING ABOVE GRADE EXTERIOR TYPE STEEL DOOR PROVIDES ACCESS TO THE OUTSIDE

WINDOW SCHEDULE

ONE WINDOW PER FLOOR TO HAVE AN UNOBSTRUCTED OPEN PORTION W/A MIN. AREA OF 0.35m² W/ NO DIMENSION LESS THAN 380mm & MAXIMUM SILL HEIGHT OF 1m ABOVE FLOOR WINDOW SIZES HAVE BEEN PROVIDED ON THE FLOOR PLANS

CONSTRUCTION NOTES

- 1 FOUNDATION WALL INSULATION
8" THICK CONCRETE WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., EXISTING INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED
- 2 INTERNAL WALLS
WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED, WATER RESISTANT GWB ON BATHROOMS WALLS.
- 5 EXISTING DUCT WORK LOCATED IN THE CEILING AND WALL HAS THE DIRECTION OF THE HEAT FLOW TOWARDS THE FLOOR
- 6 MECHANICAL VENTILATION
50 CFM EXHAUST FANS IN KITCHEN AND WASHROOM
- 7 IN COMPLIANCE WITH C152(b) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
- 8 PROVIDE CARBON MONOXIDE ALARM CONFIRMING TO CAN/CSA-6.19 "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED, BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO ELECTRICAL OUTLET
- 9 FOR ALL ELECTRICAL WORK AND PERMIT CONTACT ELECTRICAL SAFETY AUTHORITY

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND RESOLVE ANY DISCREPANCIES WITH THE ENGINEER PRIOR TO START OF WORK
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PART 9 AND 4 OF ONTARIO BUILDING CODE 2012 AND CITY BY-LAWS AND STANDARDS
- IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN HAVING WORKING KNOWLEDGE OF THE APPLICABLE CODE, STANDARDS, INSURANCES AND REQUIREMENTS OF INDUSTRY ACCEPTED STANDARD, AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND/OR BUILDER ACKNOWLEDGES THAT THE GENERAL NOTES HAVE BEEN READ AND UNDERSTOOD
- THE DRAWINGS PREPARED BY THE DESIGNER IS FOR THE PERMIT IN COMPLIANCE WITH OBC AND CITY BY-LAWS.
- THE DESIGNER IS NOT LIABLE FOR COST INCURRED FOR RE-WORK, ALTERATION, DISCREPANCIES OR ANY KIND OF CONSTRUCTION RELATED WORK
- ALL WOOD USED IN THE CONSTRUCTION SHALL BE SPF NO.1 OR NO.2
- MINIMUM BEARING OF STEEL LINTELS 150 MM.
- MINIMUM BEARING OF WOOD BEAM / LINTELS 90 MM
- MINIMUM BEARING OF WOOD JOISTS 40MM
- VERIFY EXISTING SUPPORT SYSTEM, INCLUDING FOUNDATIONS, FOR LOADS IMPOSED BY THE PROPOSED CONSTRUCTION
- PROVIDE ALL BRACING, SHORING AND NEEDLING NECESSARY FOR THE SAFE EXECUTION OF THIS WORK
- INFORM CITY OF ALL INSPECTION AHEAD OF TIME AND AT EACH STAGE OF CONSTRUCTION
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF ENGINEER PRIOR TO START OF WORK
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW / DOOR OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

- \$

SWITCH
- \$3

3 WAY SWITCH
INSTALL AT 3'-3" AFF
3 DENOTES 3-WAY SWITCH
SPECIFICATION GRADE WHITE,
WITH WHITE COVER PLATE
SHALL BE INSTALLED AT THE
ENDS OF EACH STAIRWAYS
- GFI

WP

15A, 120V DUPLEX RECEPTACLE
SPECIFICATION GRADE WHITE,
C/W WHITE COVER PLATE
GFI - GROUND FAULT TYPE
WP -WEATHERPROOF COVER
C - ABOVE COUNTER
- RECEPTACLE 50A, 208V,
STOVE OR DRIER OUTLET.
- RECEPTACLE
- LIGHT
- SPOT LIGHT
- EMERGENCY LIGHT
- FD: FLOOR DRAIN
- SPRINKLER
- DUCT TYPE SMOKE DETECTOR
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME.
REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER.
ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.



1	ISSUED FOR BUILDING PERMIT	MAR 30, 2023
NO.	DESCRIPTION	DATE

ENGINEER:

ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON L4T 1G5
TEL : 416-627-4133
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

FINISHED BASEMENT
AT 21 DANESBURY
CRESCENT

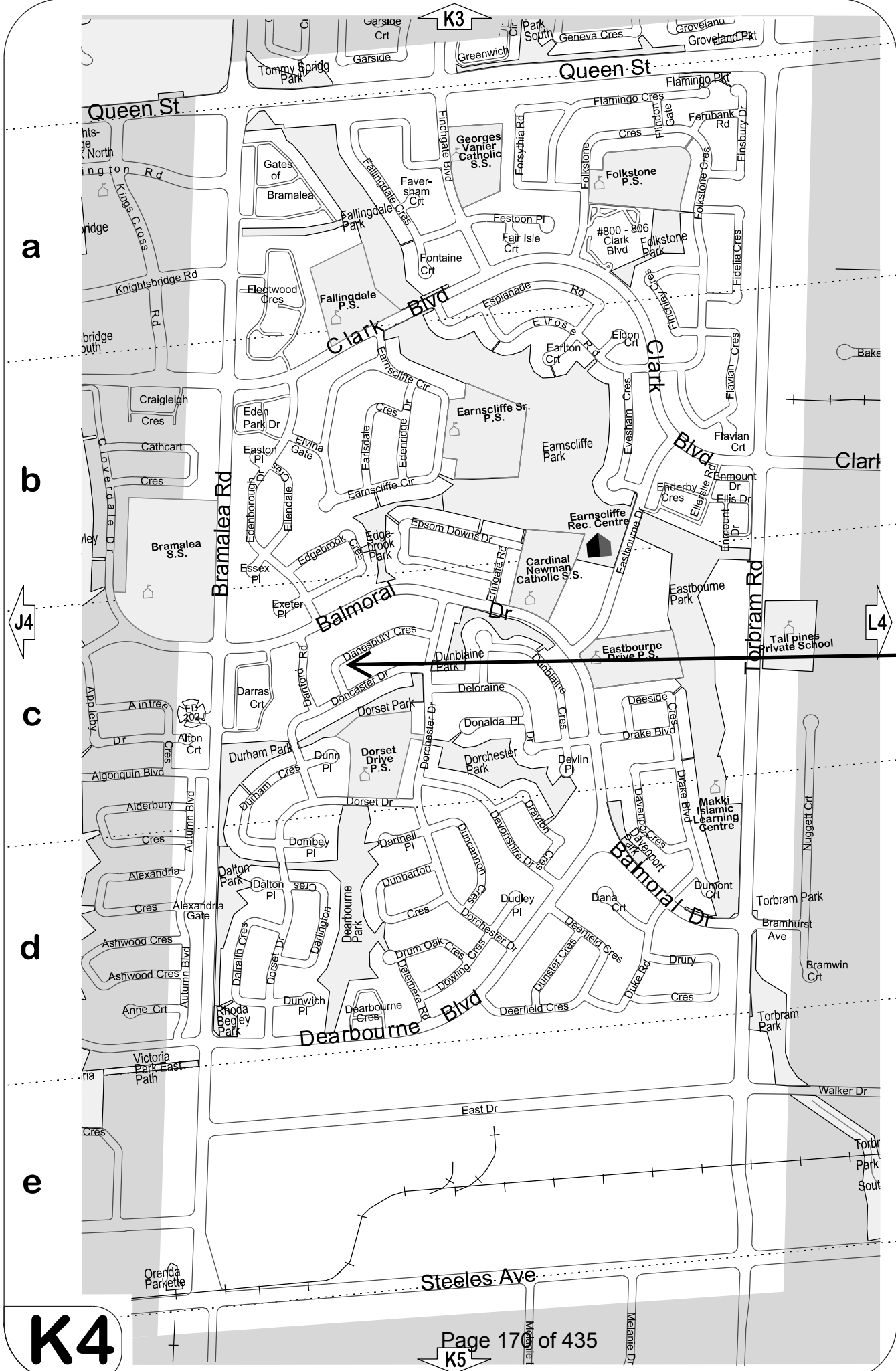
SHEET TITLE:

GENERAL NOTES

CHECKED: GS
DRAWN: KA
SCALE: N.T.S
DATE: MAR /30/2023

DRAWING:

A 4.1



A-2023-0153

APPLICATION # A-2023-0154
WARD #9

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **RISHA RAM SHARMA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 17, Concession 4 EHS, Part 3, Plan 43R-39463 municipally known as **11575 DIXIE ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a place of worship use whereas the by-law does not permit a place of worship in an Agricultural zone.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

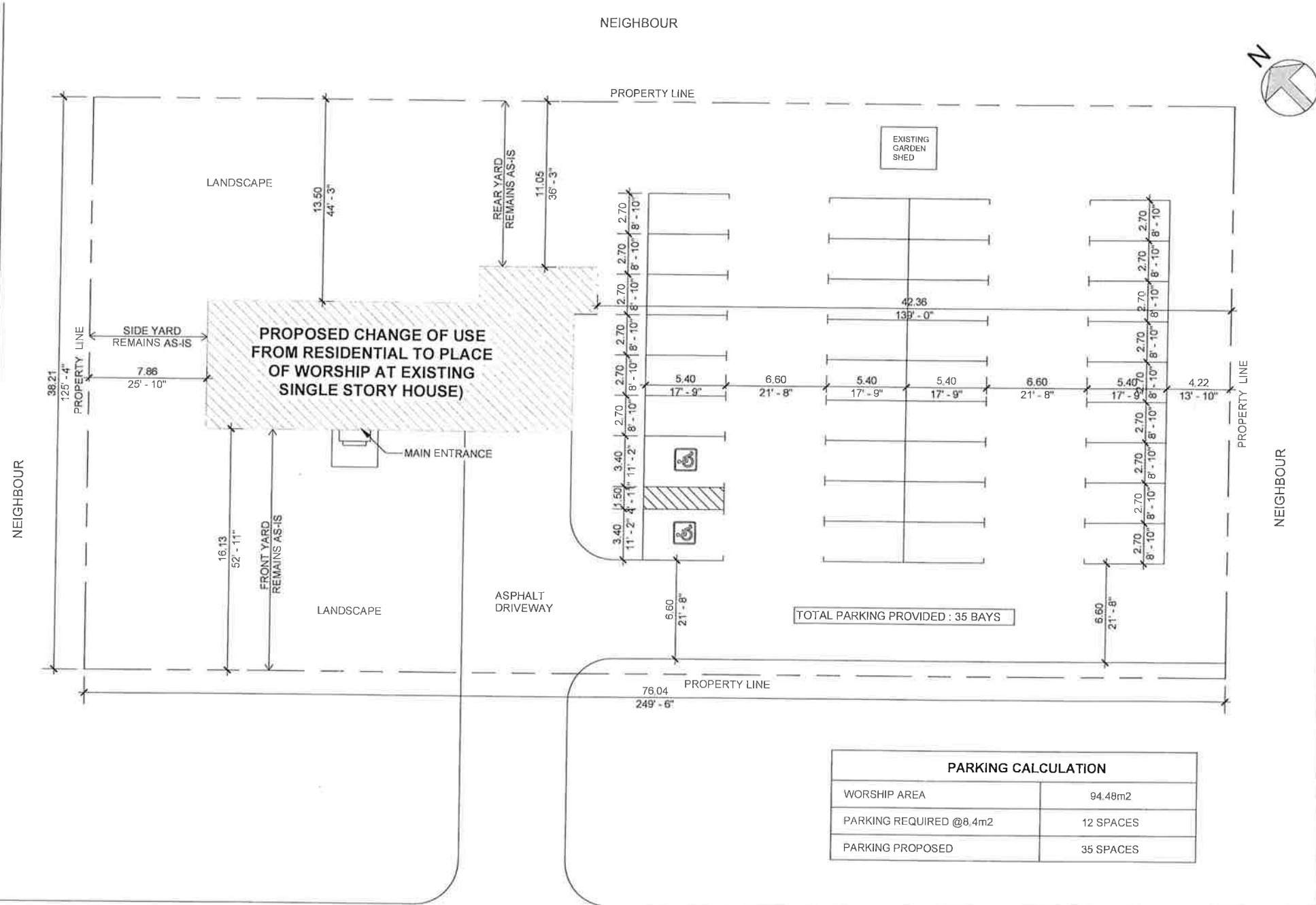
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



GENERAL NOTES

- 1. DO NOT SCALE DRAWINGS
- 2. USE ONLY DIMENSIONS ISSUED FOR CONSTRUCTION
- 3. VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK ON SITE
- 4. NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES

NO	REVISIONS	DATE	BY
1	REVISED TO CITY FILE COM	23 MAR 2023	RD

Contractor must check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.
Do not scale the drawing.
This drawing contains copyright material belonging to the Architect.
This drawing is provided for a specific purpose and is not to be used for any other purpose without the written consent of the Architect.
This drawing shall be used in the context of all the other drawings which constitute the documents.

SHEET NAME:

SITE PLAN

SCALE: 1 : 250

PROJ. NAME:

CHANGE OF USE FROM RESIDENCE TO PLACE OF WORSHIP

PROJ. ADD:

11575 DIXIE ROAD, BRAMPTON

ADMINISTRATIVE
STAMP
INDEPENDENT

ARCHITECT ASSOCIATED
DATE: 17/03/2023
BY: [Signature]
PROJECT NO: 23411

DRAWN BY	SA	PROJECT NO	23411
CHECKED BY	RD	DWG NO	0004
DATE	23 MAR 2023		

PARKING CALCULATION	
WORSHIP AREA	94.48m ²
PARKING REQUIRED @8.4m ²	12 SPACES
PARKING PROPOSED	35 SPACES

VARIANCE REQUESTED AS PER ORDER TO COMPLY ORDER NO. 23-000115 DATED: MARCH 2, 2023	
EXISTING USE : RESIDENTIAL	
PROPOSED USE : PLACE OF WORSHIP	

1 SITE PLAN
1 : 250

DIXIE RD.

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act* (MFIPPA), collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

FILE NUMBER: A-2023-0154

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)Sharma Rishi Ram

Address11575 Dixie Road, Brampton ON L6R 0B3

Phone #416-606-9191Fax #

Email
2.

Name of AgentArchitect Ravi Doiphode Inc.

Address2760 Victoria Park Ave, North York ON M2J 4A8

Phone #416-522-7505Fax #416-425-2362

Emailrdoiphode@sympatico.ca
3.

Nature and extent of relief applied for (variances requested):
Change of use from residential to place of worship. (As per the City of Brampton order to comply, Order #: 23-000115 issued on March 2, 2023)
4.

Why is it not possible to comply with the provisions of the by-law? Change of use from residential to place of worship.
5.

Legal Description of the subject land: PART LOT 17 CONCESSION 4 EAST OF HURONTARIO ST., CHINGUACOUSY AS IN 162321VS, EXCEPT PART 3 43R17336

Lot Number& PARTS 1&2 43R38463 CITY OF BRAMPTON

Plan Number/Concession Number

Municipal Address11575 Dixie Road, Brampton ON L6R 0B3
6.

Dimension of subject land (in metric units)

Frontage76.04m

Depth38.21m

Area2,905.29m2
7.

Access to the subject land is by:

Provincial Highway☐

Municipal Road Maintained All Year☒

Private Right-of-Way☐

Seasonal Road☐

Other Public Road☐

Water☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

The existing structure is a detached single family dwelling home.

GFA - 195.6m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

The proposed building is a Temple/ Place of Worship.

GFA - same as existing

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 16.13m

Rear yard setback 11.05m

Side yard setback 7.86m

Side yard setback 42.36m

PROPOSED

Front yard setback -AS EXISTING-

Rear yard setback -AS EXISTING-

Side yard setback -AS EXISTING-

Side yard setback -AS EXISTING-

10. Date of Acquisition of subject land: 27 July 2016
11. Existing uses of subject property: Single family detached residential
12. Proposed uses of subject property: Temple/ Place of Worship
13. Existing uses of abutting properties: Residential/Commercial
14. Date of construction of all buildings & structures on subject land: 1957
15. Length of time the existing uses of the subject property have been continued: July 2016

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Ravi

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ City _____ OF _____ Brampton

THIS 23 DAY OF March, 20 23.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

SYED ALI SHABIB

~~Ravi Doiphode~~

OF THE _____ City _____ OF _____ Mississauga

~~Toronto~~

IN THE _____ Region _____ OF _____ North York Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City _____ OF _____ Brampton

IN THE _____ Region _____ OF _____

Peel THIS 23rd DAY OF

~~March~~ May, 20 23.

Jeanie Myers
A Commissioner etc.

Shahib

Ravi

Signature of Applicant or Authorized Agent

Jeanie Cecilia Myers
a Commissioner, etc.
Province of Ontario
for the Corporation of
City of Brampton
Expires April 8, 2024

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

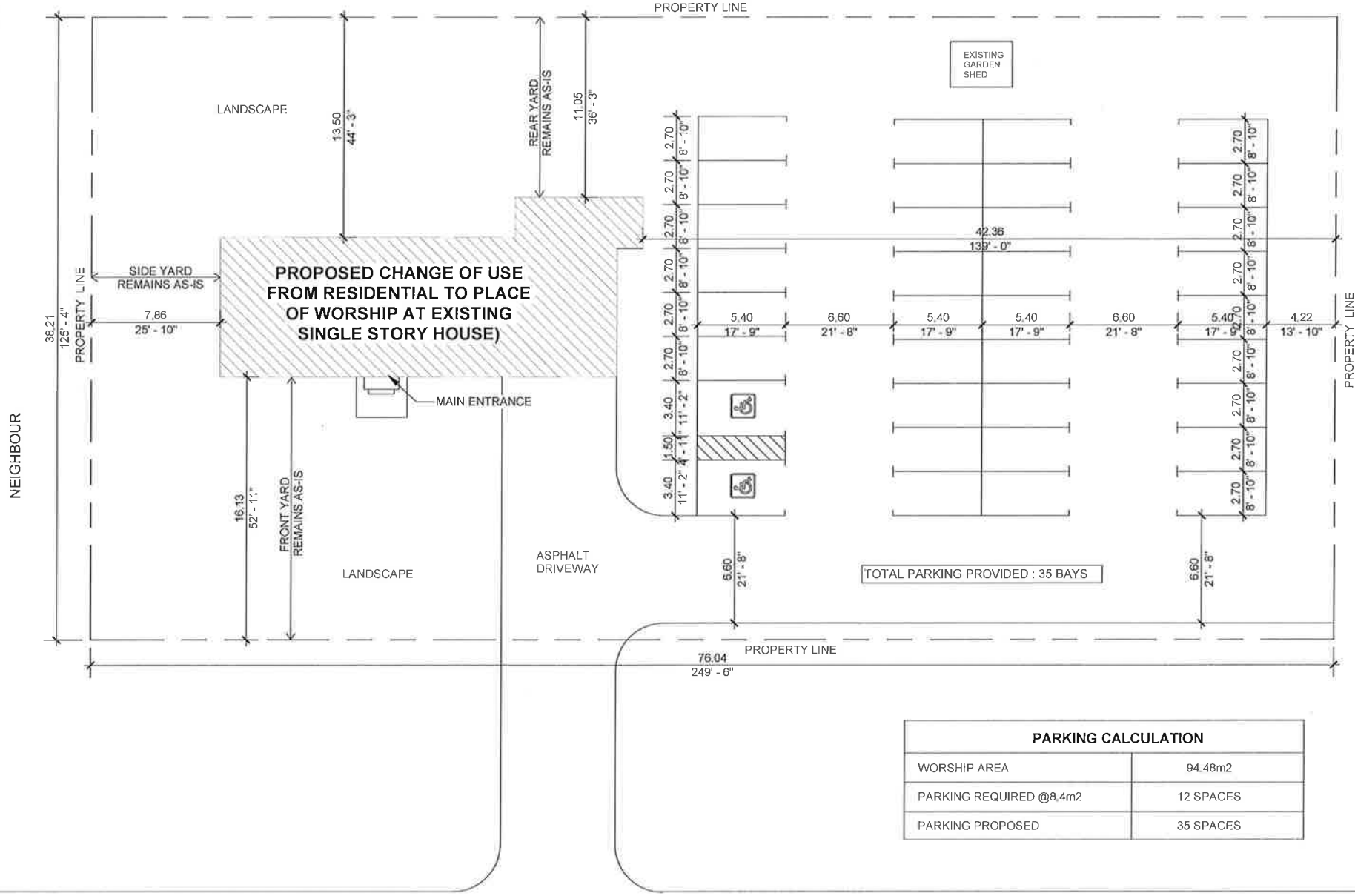
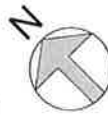
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED MAY 13, 2023

NEIGHBOUR



1 SITE PLAN
1 : 250

DIXIE RD.

TOTAL PARKING PROVIDED : 35 BAYS

PARKING CALCULATION	
WORSHIP AREA	94.48m2
PARKING REQUIRED @8.4m2	12 SPACES
PARKING PROPOSED	35 SPACES

VARIANCE REQUESTED AS PER ORDER TO COMPLY
ORDER NO. 23-000115
DATED: MARCH 2, 2023

EXISTING USE : RESIDENTIAL
PROPOSED USE : PLACE OF WORSHIP

- GENERAL NOTES
- DO NOT SCALE DRAWINGS
 - USE ONLY DIMENSIONS INDICATED FOR CONSTRUCTION
 - VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK ON SITE
 - NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES

NO	REVISIONS	DATE	BY
1	REV.1	2 MAY 2023	RD
2	ISSUED TO CITY FOR CON.	11 MAR 2023	RD

Customer must check and verify all dimensions on the job and report any discrepancies to the architect before proceeding with the work.
Do not scale the drawing.
This drawing contains copyright material belonging to the architect.
This drawing is not intended for a specific purpose, and the use of it for any other purpose is not permitted.
This drawing may not be reproduced or copied in any form without the written approval of the architect.
This drawing must be read in the context of all the other drawings which constitute the documents.

SHEET NAME:

SITE PLAN

SCALE: 1 : 250

PROJ. NAME:

CHANGE OF USE FROM RESIDENCE
TO PLACE OF WORSHIP

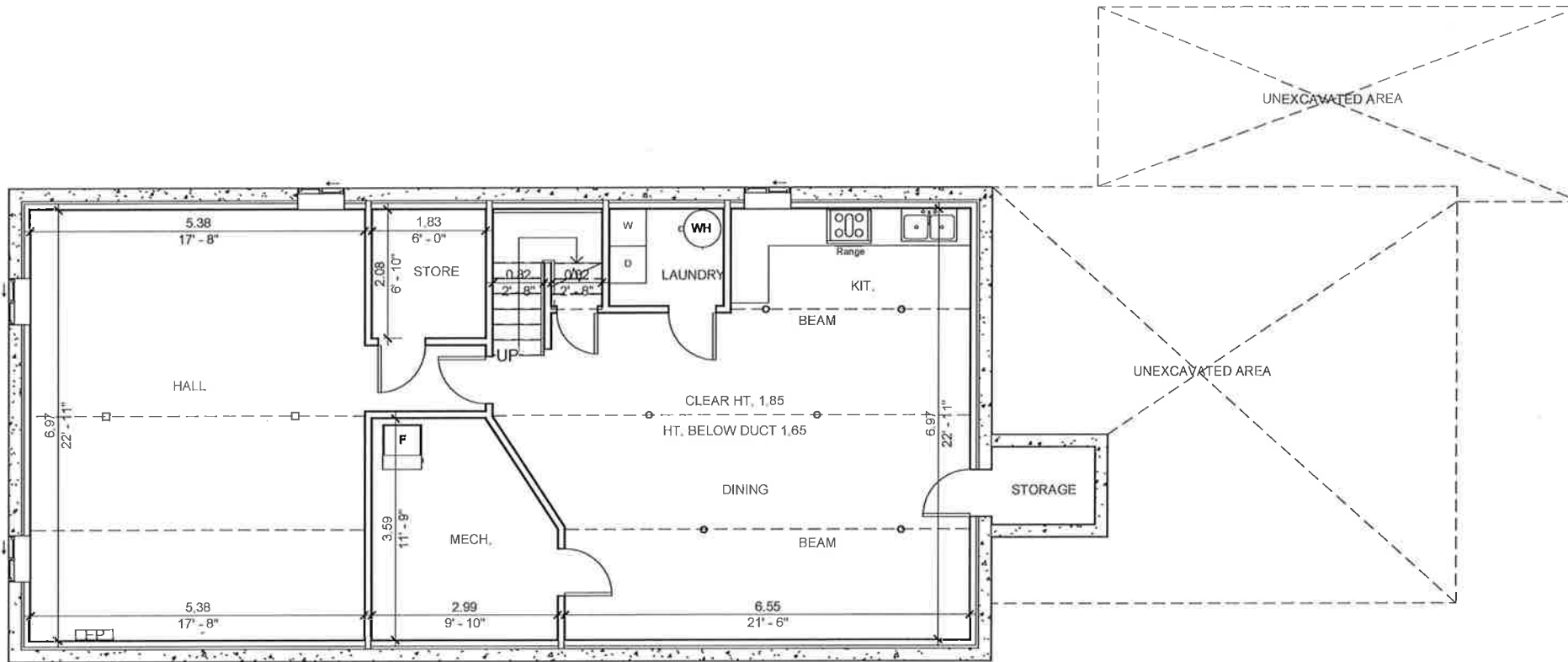
PROJ. ADD:

11575 DIXIE ROAD, BRAMPTON



DRAWN BY: SA
CHECKED BY: RD
DATE: 23 MAR 2023

PROJECT NO: 23411
DRAWN BY: A004



1 EXISTING BASEMENT FLOOR PLAN
1 : 75

NOTES:

- PROJECT DRAWINGS ARE BASED ON MANUAL MEASUREMENT OF THE EXISTING SITE WHICH MAY VARY, CONTRACTOR MUST VERIFY SIZES OF ALL STRUCTURAL ELEMENTS INCLUDING WALLS, BEAMS, JOISTS ETC. AND MUST REPORT ANY DISCREPANCIES
- ALL EXISTING WALLS & WINDOWS REMAIN AS-IS UNLESS SPECIFIED

GENERAL NOTES

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- VERIFY CONSTRUCTIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK ON SITE
- NOTIFY ARCHITECT IMMEDIATELY OF ANY ERRORS, OMISSIONS OR DISCREPANCIES

NO.	REVISIONS	DATE	BY
1	ISSUED TO CITY FOR COA	21 MAR 2023	MD
2	PROJ. F	2 MAY 2023	MD

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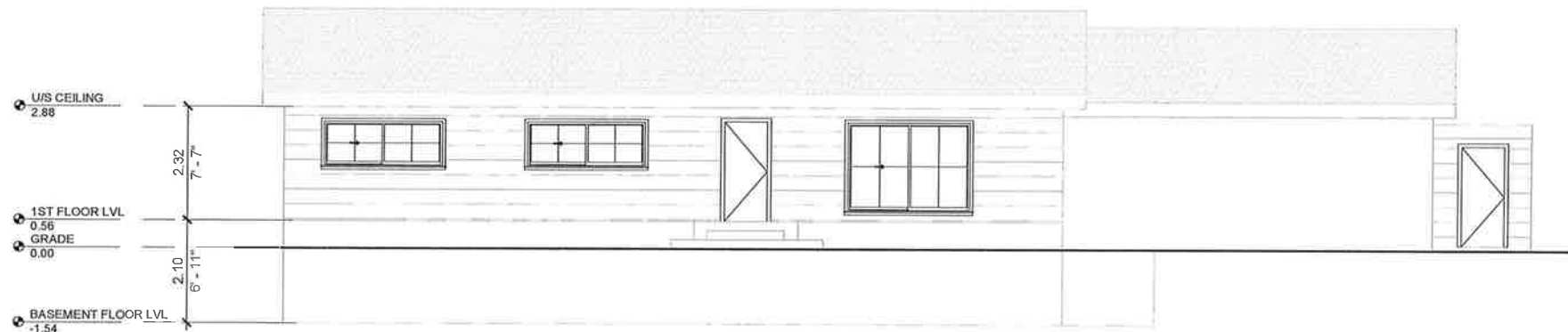
SHEET NAME:
EXISTING BASEMENT FLOOR PLAN

SCALE: 1 : 75

PROJ. NAME:
CHANGE OF USE FROM RESIDENCE TO PLACE OF WORSHIP

PROJ. ADD:
11575 DIXIE ROAD, BRAMPTON

DRAWN BY: OCEANVIEW	SA	PROJECT NO.:	23411
CHECKED BY:	MD	DATE:	20 MAR 2023
DATE:	20 MAR 2023	SCALE:	1 : 75



1 FRONT ELEVATION
1 : 100



2 REAR ELEVATION
1 : 100

NOTES:

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2	REV. 1	2 MAY 2023	RD
1	ISSUED FOR CITY PERMITS	23 MAR 2023	RD
NO.	REVISIONS	DATE	BY

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SHEET NAME:

FRONT & REAR ELEVATION

SCALE: 1 : 100

PROJ. NAME:

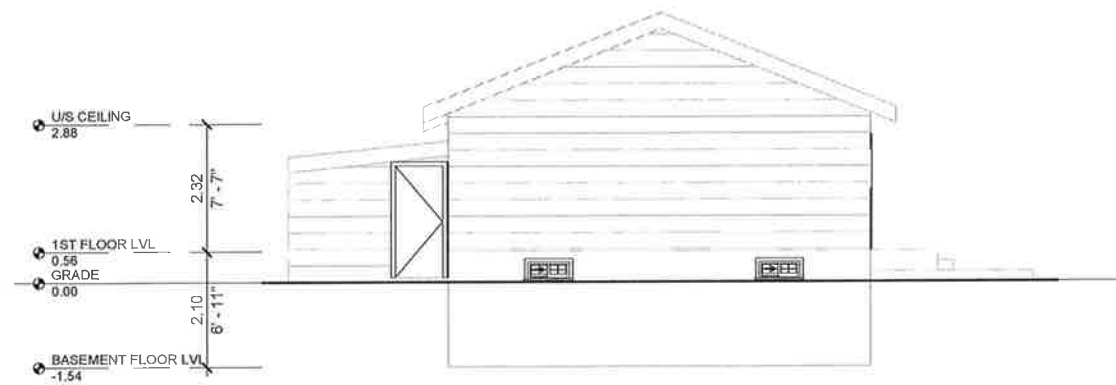
**CHANGE OF USE FROM RESIDENCE
TO PLACE OF WORSHIP**

PROJ. ADD:

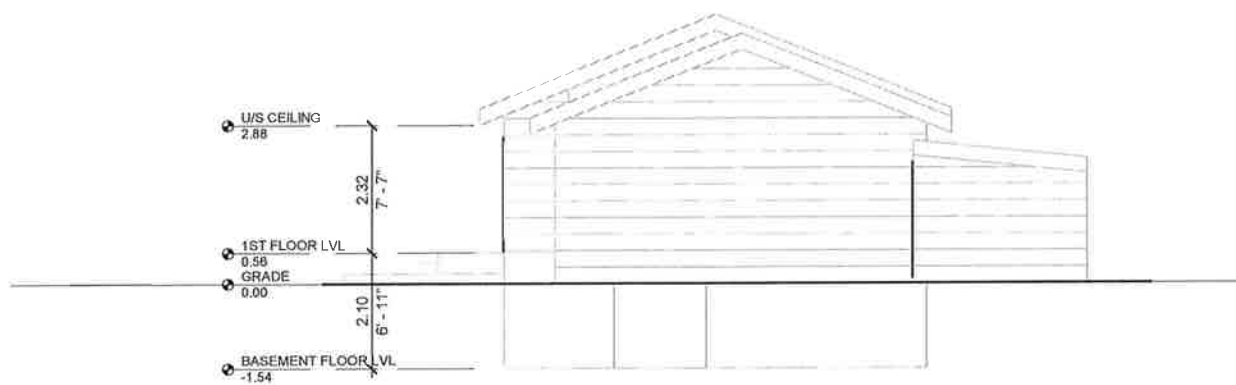
11575 DIXIE ROAD, BRAMPTON



DRAWN BY	SA	PROJECT NO.	23411
CHECKED BY	RD	DATE	23 MAR 2023
DATE	23 MAR 2023	DWG NO.	A 204



1 LEFT ELEVATION
1 : 100



2 RIGHT ELEVATION
1 : 100

NOTES:

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NO	REVISIONS	DATE	BY
2	REVISED	2 MAY 2023	RD
1	ISSUED TO CITY FOR COA	23 MAR 2023	RD

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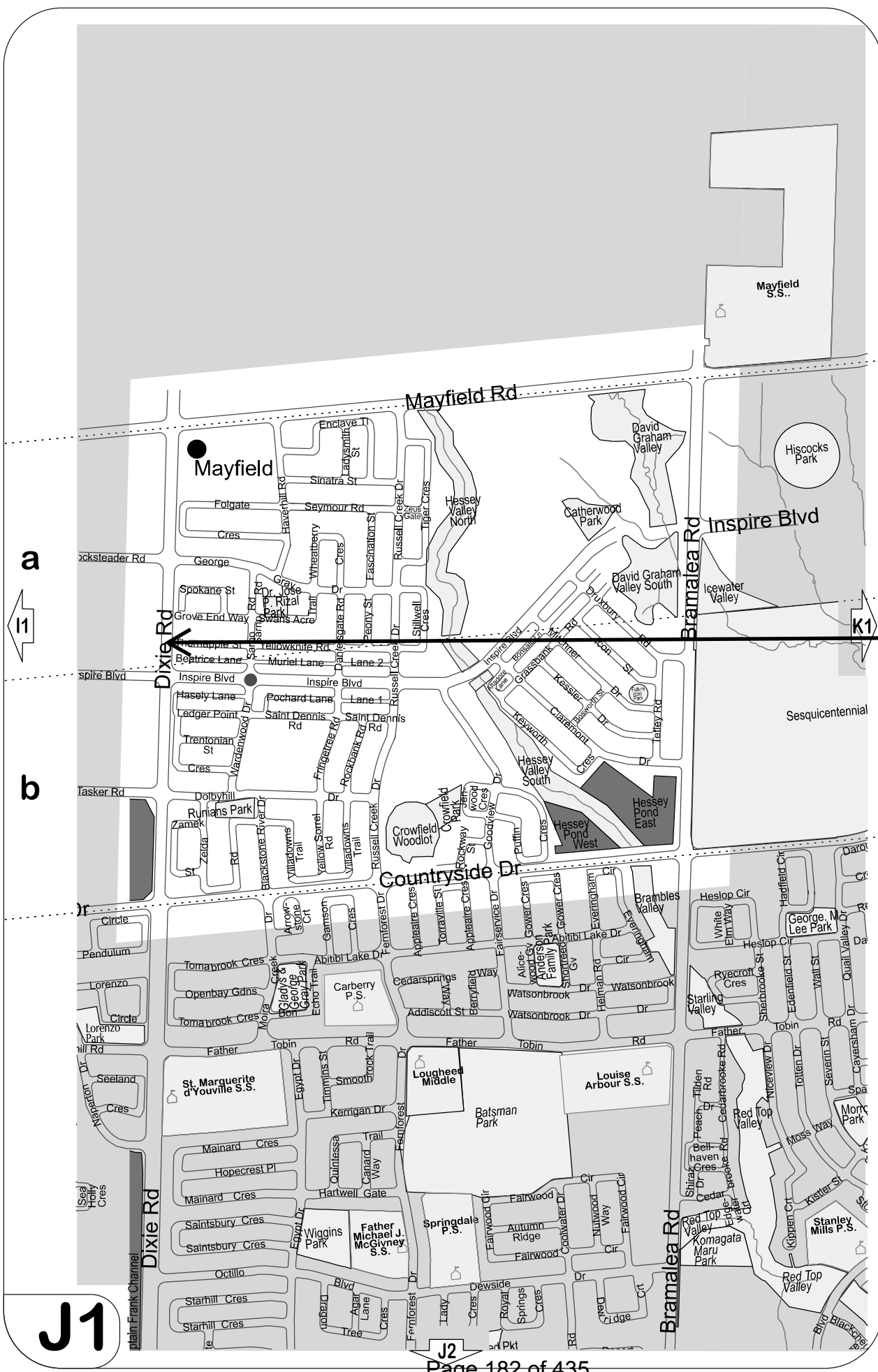
SHEET NAME:
LEFT & RIGHT ELEVATION

SCALE: 1 : 100

PROJ. NAME:
CHANGE OF USE FROM RESIDENCE TO PLACE OF WORSHIP

PROJ. ADDR:
11575 DIXIE ROAD, BRAMPTON

DRAWN BY	SA	PROJECT NO	23411
CHECKED BY	RD	DATE	23 MAR 2023
DATE	23 MAR 2023	REVISED	23 MAR 2023



A-2023-0154

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **KISHORE NABIN LUNTEL AND SMEETA ADIGA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 83, Plan 43M-1751, Part 5, Plan 43R-32069 municipally known as **11 JORDENSEN DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an exterior side yard setback of 0.05m (0.16 ft) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 1.2m (3.94 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

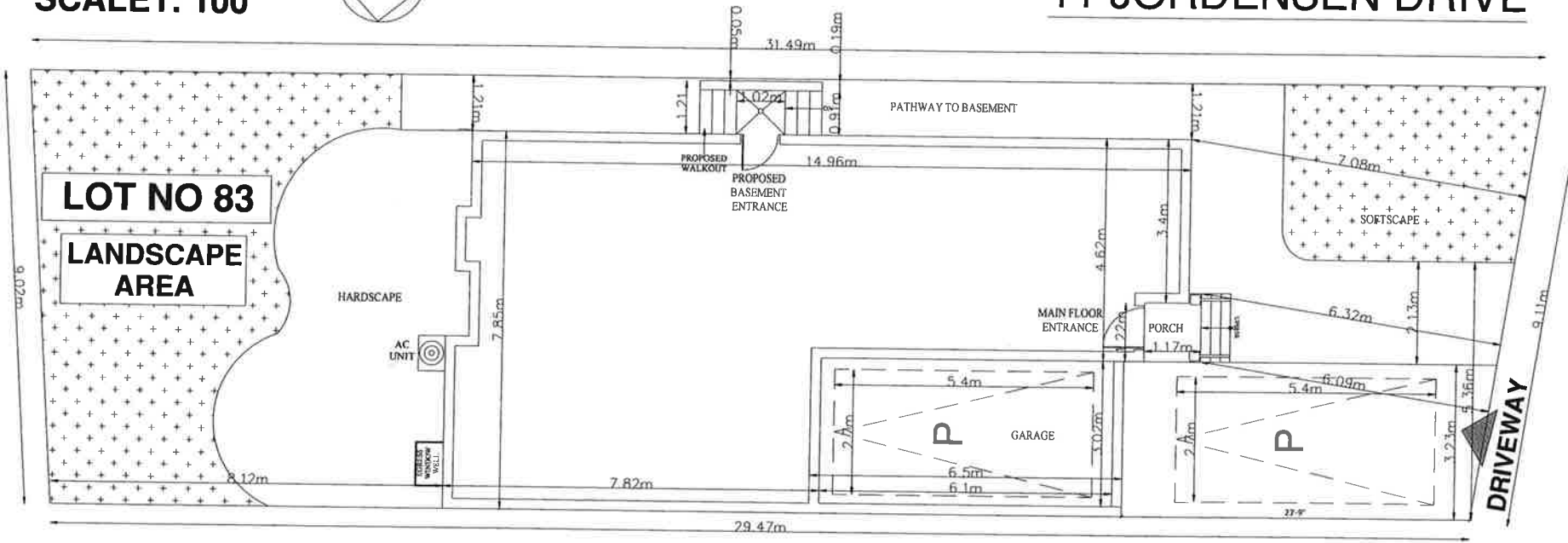
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

SITE PLAN
SCALE 1: 100



11 JORDENSEN DRIVE



GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
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AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
SECONDARY UNIT AND
BELOW GRADE ENTRANCE
FROM REAR YARD**

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C325.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

11 JORDENSEN DRIVE

EXISTING DWELLING

PROJECT	SHEET
JAN 2022	A1
SCALE 1:100	

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

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- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
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NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Kishore Luintel Nabin & Smeeta Adiga
Address 11 Jordensen Dr. Brampton. ON. L6X0T2

Phone # +1 (437) 230-9025 **Fax #** _____
Email Kishore.Nabin@gmail.com

2. **Name of Agent** Shivang Tarika
Address 106 Morningside Dr. Georgetown. L7G0M2. ON

Phone # 4168212630 **Fax #** _____
Email shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**

A. To Propose an exterior stairway leading to a below grade entrance in the required interior side yard.

B. Proposed Interior side Yard Set back is 0.05 to the below Grade Stairway and the required is 1.21m.

4. **Why is it not possible to comply with the provisions of the by-law?**

The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide a second dwelling unit the entrance has to be below the grade which is not possible on rear yard and the other side of the property due to insufficient space and privacy reason. So the only space where owner can construct the entrance is the side of the property. The entrance is designed in such a way that it doesn't block the passage to

5. **Legal Description of the subject land:**
Lot Number 83R
Plan Number/Concession Number M1751
Municipal Address 11 Jordensen Dr, Brampton, ON, L6X0T2

6. **Dimension of subject land (in metric units)**
Frontage 9.11 M
Depth 31.49 M
Area 274.58 SQM

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area: 116.54sqm
Gross Floor Area: 293.90 sqm,
No. of Levels: 2
Width: 7.85 m
Length: 14.96 m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.09M
Rear yard setback	8.12M
Side yard setback	1.21M
Side yard setback	0.00

PROPOSED

Front yard setback	6.09M
Rear yard setback	8.12M
Side yard setback	0.05M
Side yard setback	0.00

10. Date of Acquisition of subject land: 2018
11. Existing uses of subject property: Residential - Single Dwelling Unit
12. Proposed uses of subject property: Residential - Two Dwelling Unit
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2011
15. Length of time the existing uses of the subject property have been continued: 7yrs

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Shubhra

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 12 DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

Shubhra Tanika OF THE Town OF Georgetown
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
here THIS 12th DAY OF
May, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Shubhra

Signature of Applicant or Authorized Agent

Submit by Email

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

MAY 12, 2023

Date Application Deemed
Complete by the Municipality

Revised 2020/01/07

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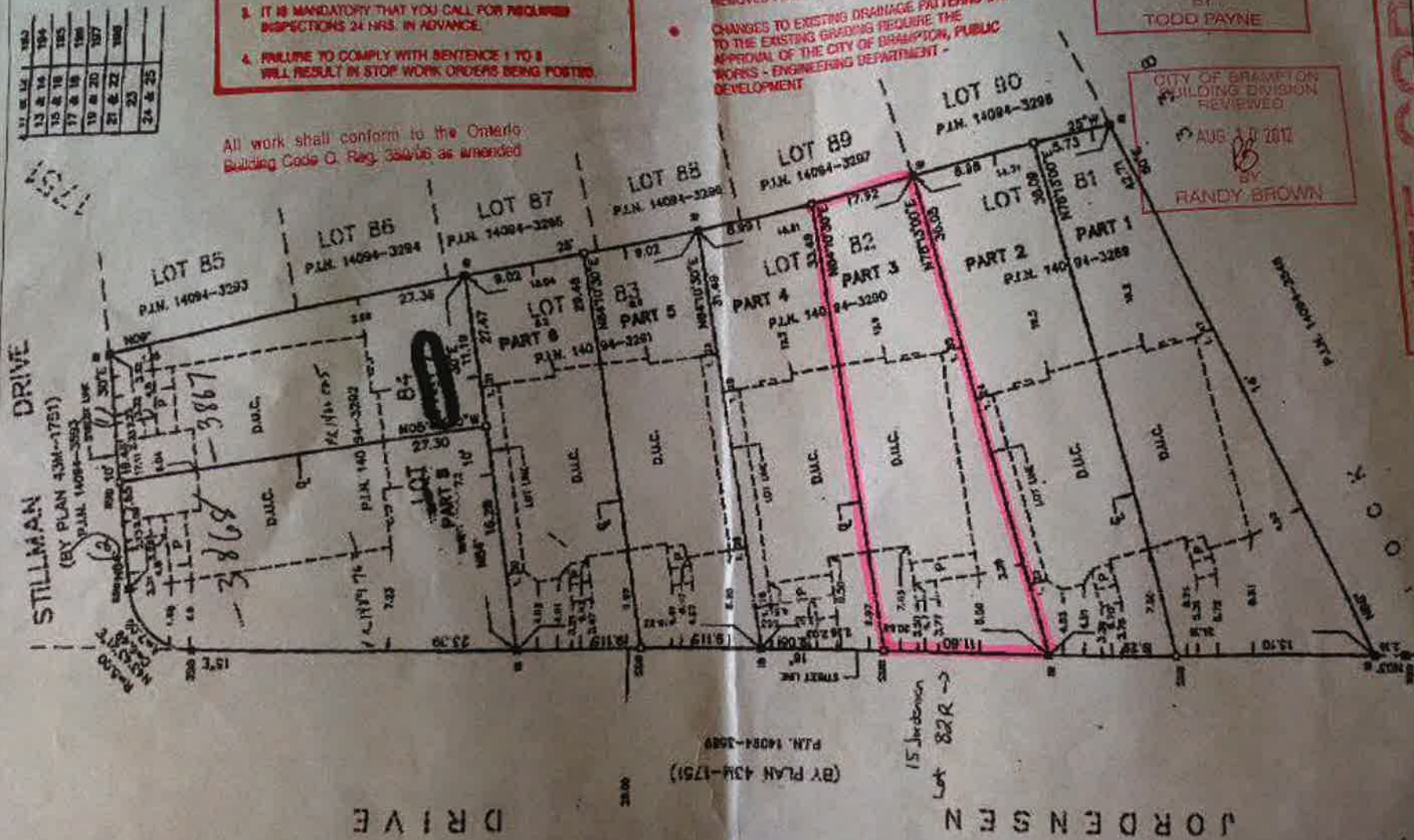
1. POST PERMIT DARD IN A CONSPICUOUS PLACE 7 FEET ABOVE GRADE AT BUILDING SITE.
2. APPROVED DRAWINGS MUST BE KEPT ON SITE AT ALL TIMES.
3. IT IS MANDATORY THAT YOU CALL FOR REQUIRED INSPECTIONS 24 HRS. IN ADVANCE.
4. FAILURE TO COMPLY WITH SENTENCE 1 TO 3 WILL RESULT IN STOP WORK ORDERS BEING POSTED.

- SURFACE DRAINAGE SHALL BE DIRECTED AWAY FROM THE BUILDING FOUNDATION
- DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED
- EXCESS EXCAVATED MATERIAL MUST BE REMOVED FROM THE SITE
- CHANGES TO EXISTING DRAINAGE PATTERNS OR TO THE EXISTING GRADING REQUIRE THE APPROVAL OF THE CITY OF BRAMPTON, PUBLIC WORKS - ENGINEERING DEPARTMENT - DEVELOPMENT

CITY OF BRAMPTON
BUILDING DIVISION
ZONING REVIEWED
AUG 08 2012
BY
TODD PAYNE

CITY OF BRAMPTON
BUILDING DIVISION
REVIEWED
AUG 10 2012
BY
RANDY BROWN

All work shall conform to the Ontario Building Code O. Reg. 330/06 as amended



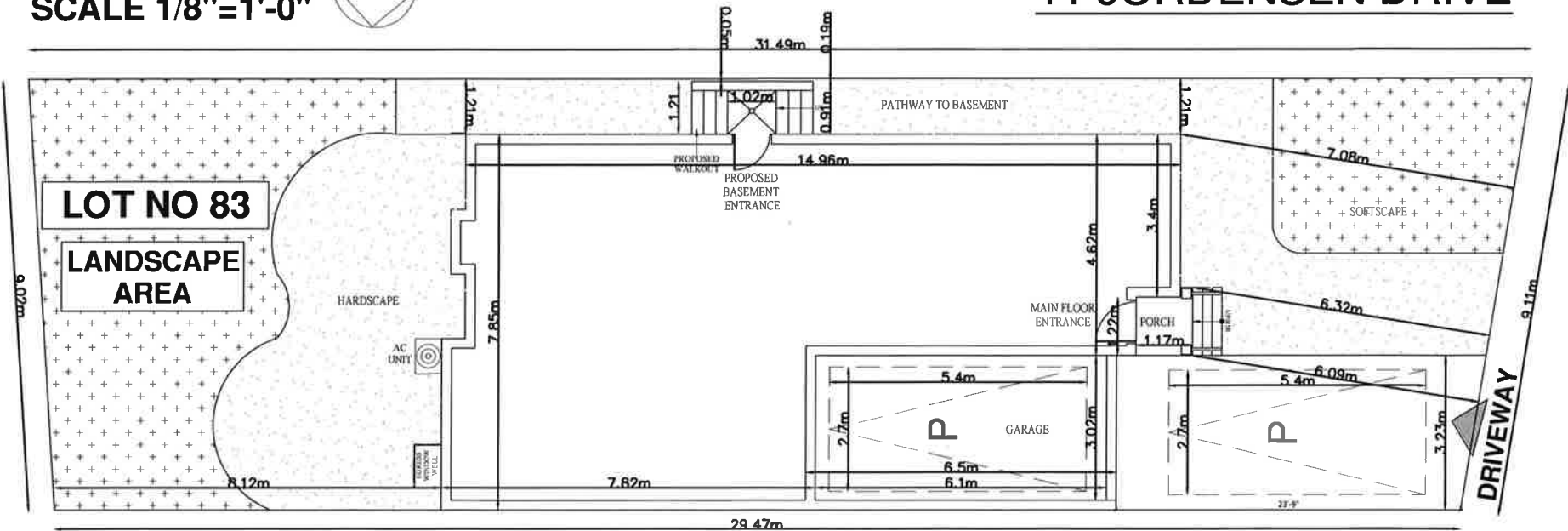
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 Permit R-259027-00000001

SITE PLAN

SCALE 1/8"=1'-0"



11 JORDENSEN DRIVE



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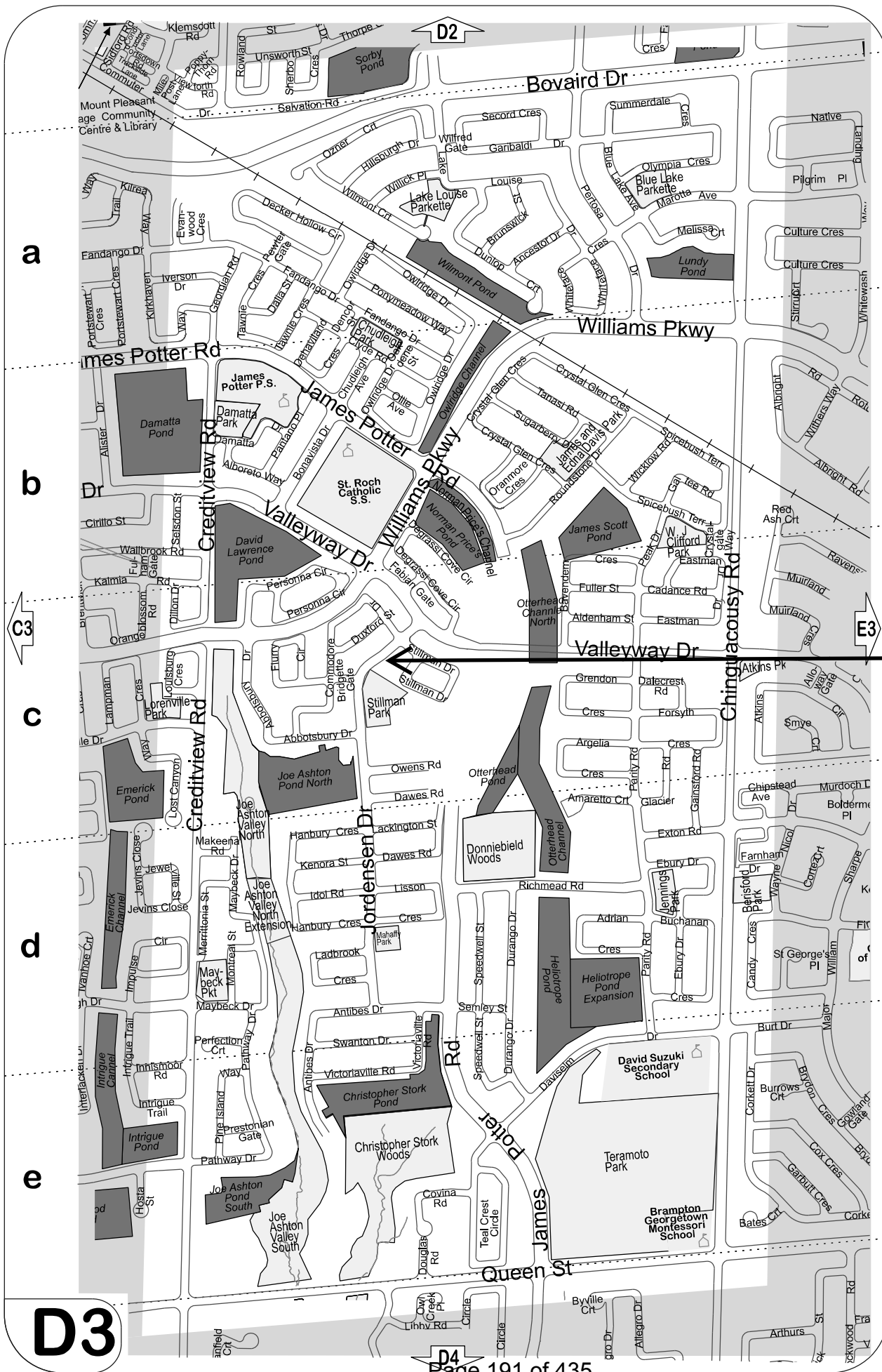
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A-2023-0155

APPLICATION # A-2023-0156
WARD #6

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **PUNEET THAKRAL AND GANGA BISHT** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 165, Plan 43M-1922 municipally known as **150 VANHORNE CLOSE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an exterior stairway leading to a below grade entrance in the required interior side yard whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard;
2. To permit an exterior side yard setback of 0.07m (0.23 ft) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 1.2m (3.94 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

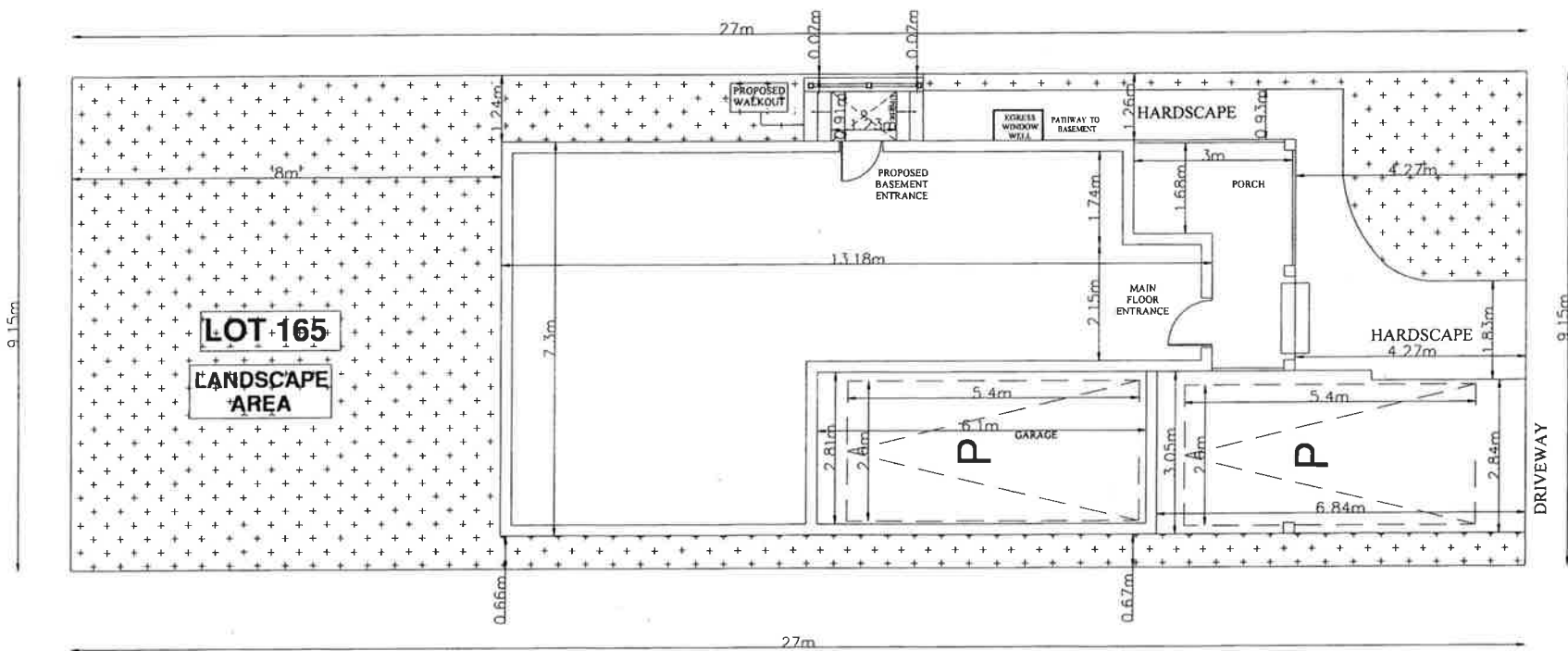
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE PLAN
SCALE 1:100



150 VANHORNE CL

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SHIVANG TARIKA 106440
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

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<http://video.isilive.ca/brampton/live.html> .

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NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0156

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Puneet Thakral E Ganga Bhatt
Address 150 Vanhorne Circle, Brampton, ON, L7A 0G2

Phone # 6479148386 **Fax #** _____
Email thakral.ca@gmail.com

2. **Name of Agent** Shivang Tarika
Address 106 Morningside Dr. Georgetown, L7G0M2, ON

Phone # 4168212630 **Fax #** _____
Email shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**
A. To Propose an exterior stairway leading to a below grade entrance in the required interior side yard.
B. Proposed Interior side Yard Set back is 0.07m to the below Grade Stairway and the required is 1.21m.

4. **Why is it not possible to comply with the provisions of the by-law?**
The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide a second dwelling unit the entrance has to be below the grade which is not possible on rear yard and the other side of the property due to insufficient space and privacy reason. So the only space where owner can construct the entrance is the side of the property. The entrance is designed in such a way that it doesn't block the passage to

5. **Legal Description of the subject land:**
Lot Number 165
Plan Number/Concession Number M1922
Municipal Address 150 Vanhorne Circle, Brampton, ON, L7A 0G2

6. **Dimension of subject land (in metric units)**
Frontage 9.15 M
Depth 27 M
Area 247.05 SQM

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area: 99.75 SQM
No. of Levels: 2
Width: 7.30 M
Length: 13.18 M

PROPOSED BUILDINGS/STRUCTURES on the subject land:

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 4.27 M
Rear yard setback 8 M
Side yard setback 0.66 M
Side yard setback 1.24 M

PROPOSED

Front yard setback 4.27 M
Rear yard setback 8M
Side yard setback 0.66 M
Side yard setback 0.07M

10. Date of Acquisition of subject land: 2019
11. Existing uses of subject property: Residential - Single Dwelling Unit
12. Proposed uses of subject property: Residential - Two Dwelling Unit
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2012
15. Length of time the existing uses of the subject property have been continued: 7yrs
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Shubhra

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 12 DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Shubhra Parika, OF THE City OF Georgetown
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF _____
THIS 12th DAY OF May, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Shubhra

Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1F-9.0 – Section 2201

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

J. Chau
Zoning Officer

May 15, 2023
Date

DATE RECEIVED

MAY. 12, 2023

Date Application Deemed
Complete by the Municipality

Revised 2020/01/07

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOTS 163, 164, 165, 166 AND 167
PLAN 43M-1922
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300
 10m 5m 0 10m 20metres
 RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.
 METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
 CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT FOUND
- IB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- P DENOTES PORCH

ALL FOUND MONUMENTS BY RADY-PENTEK & EDWARD
 SURVEYING LTD., O.L.S.
 ALL TIES TO CONCRETE FOUNDATIONS.

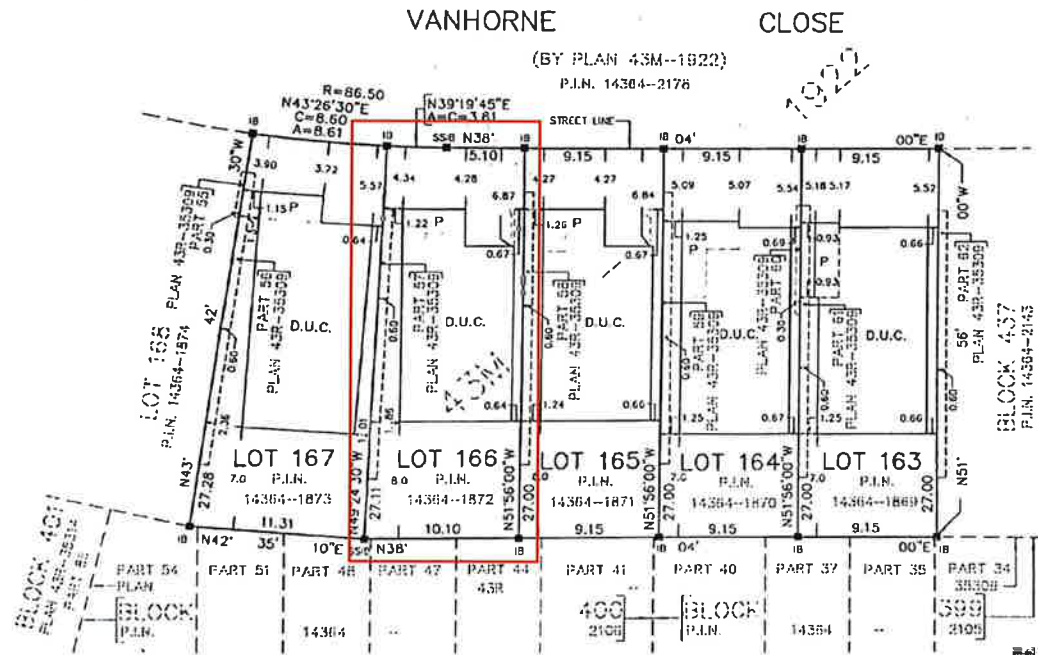
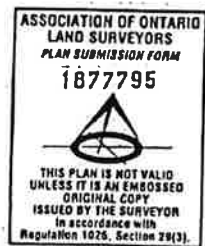
BEARINGS ARE GRID AND ARE REFERRED TO THE
 SOUTHEAST LIMIT OF VANHORNE CLOSE AS SHOWN ON
 PLAN 43M-1922 HAVING A BEARING OF N38°04'00"E.

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

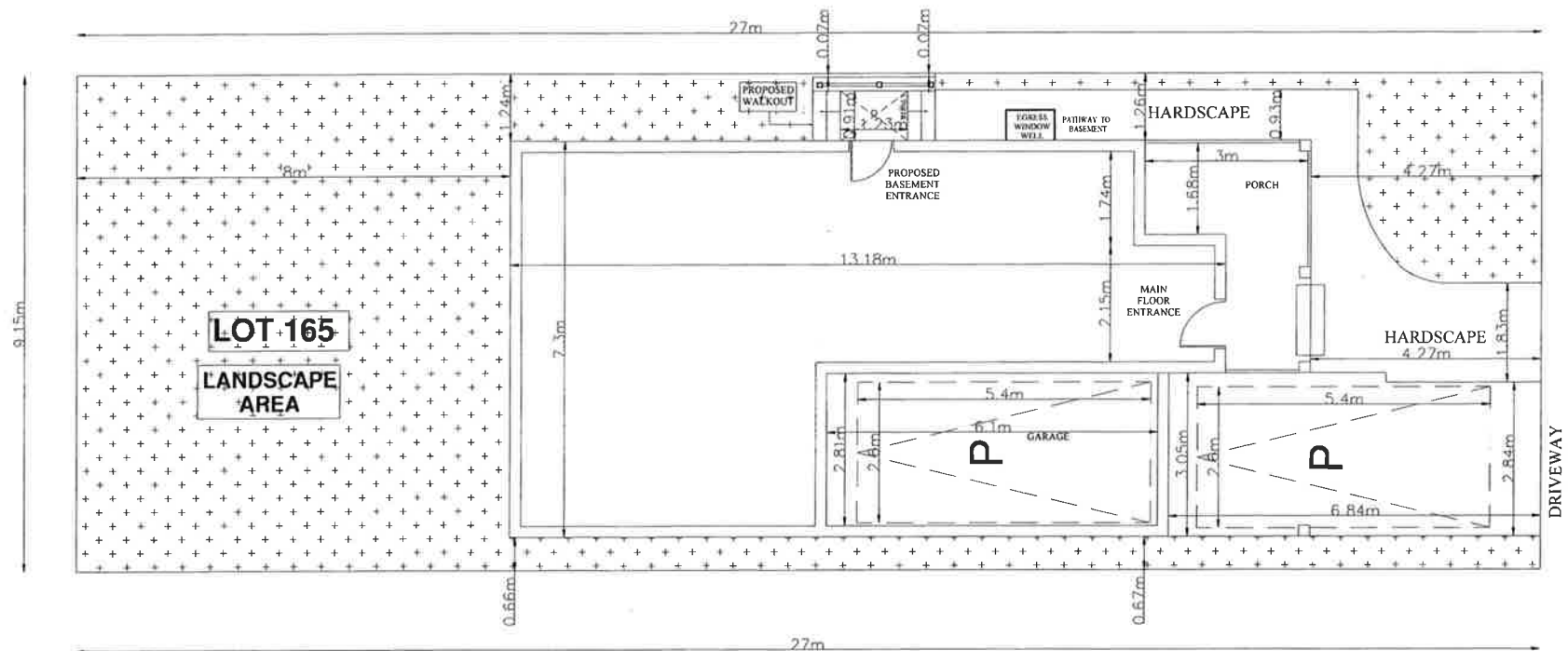
I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
 WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND
 TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 24 DAY OF JUNE, 2013
 DATE July 8, 2013
T. SINGH
 T. SINGH
 ONTARIO LAND SURVEYOR



DOCUMENTS RELEASED PURSUANT TO A REQUEST
 UNDER THE
 MUNICIPAL FREEDOM OF INFORMATION AND
 PROTECTION OF PRIVACY ACT R.S.O. 1996c. 1854
 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
 USE AND REPRODUCTION OF THESE DOCUMENTS

THIS REPORT WAS PREPARED FOR
 MATTAMY HOMES
 AND THE UNDERSIGNED ACCEPTS NO
 RESPONSIBILITY FOR USE BY OTHER PARTIES
 ©RADY-PENTEK & EDWARD SURVEYING LTD. O.L.S. 2013

pe RADY-PENTEK & EDWARD SURVEYING LTD.
 ONTARIO LAND SURVEYORS
 643 Chrislea Road, Suite 7
 Woodbridge, Ontario L4L 8A3
 Tel.(416)635-5000 Fax (416)635-5001
 Tel.(905)264-0881 Fax (905)264-2099
 Website: www.r-pe.ca
 DRAWN: V.K. CHECKED: G.Y./T.S.
 CAD FILE No.1922-163 JOB No. 13-050



SITE PLAN
SCALE 1:100



150 VANHORNE CL

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
SECONDARY UNIT AND
BELOW GRADE ENTRANCE
FROM REAR YARD**

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C.32.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

150 VANHORNE CL

EXISTING DWELLING

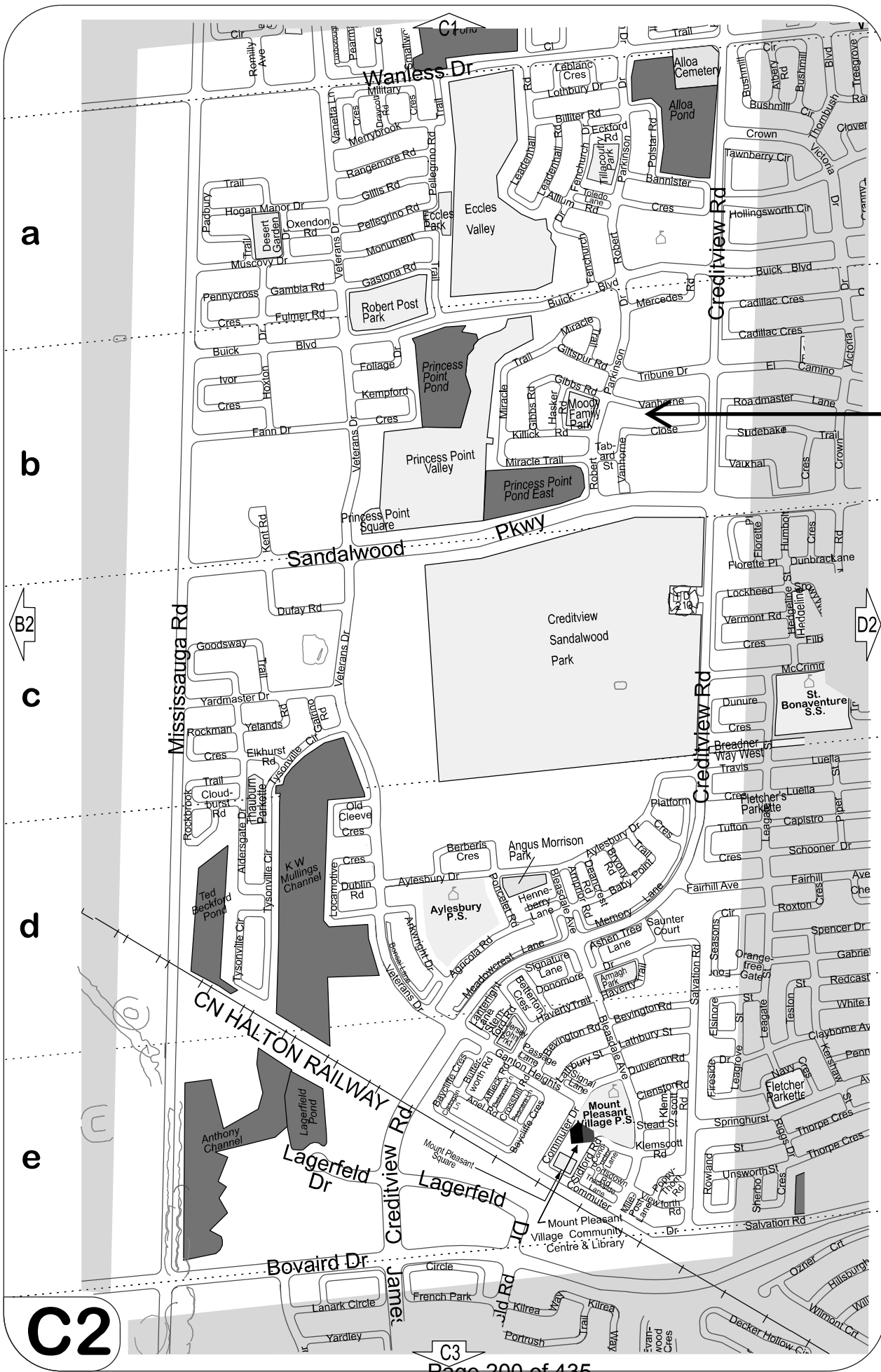
PROJECT

MAY 2023

SCALE 1:100

SHEET

A1



A-2023-0156

APPLICATION # A-2023-0157
WARD #1

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ROBERT BOURNE AND GAZINA BOURNE** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 2, Plan BR-5, Part 3, Plan 43R-24563 municipally known as **61 ISABELLA STREET**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an existing accessory structure (shed) having a gross floor area of 31.21 sq. m (335.94 sq. ft) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft) for an individual accessory structure;
2. To permit an existing accessory structure (shed) having a height of 3.96m (13 ft) whereas the by-law permits a maximum height of 3.0m (9.84) for an accessory structure.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

TOPOGRAPHIC SURVEY OF
PART OF LOT 2
REGISTERED PLAN BR-25
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:250

David Hurwood Ltd., Ontario Land Surveyors 2000

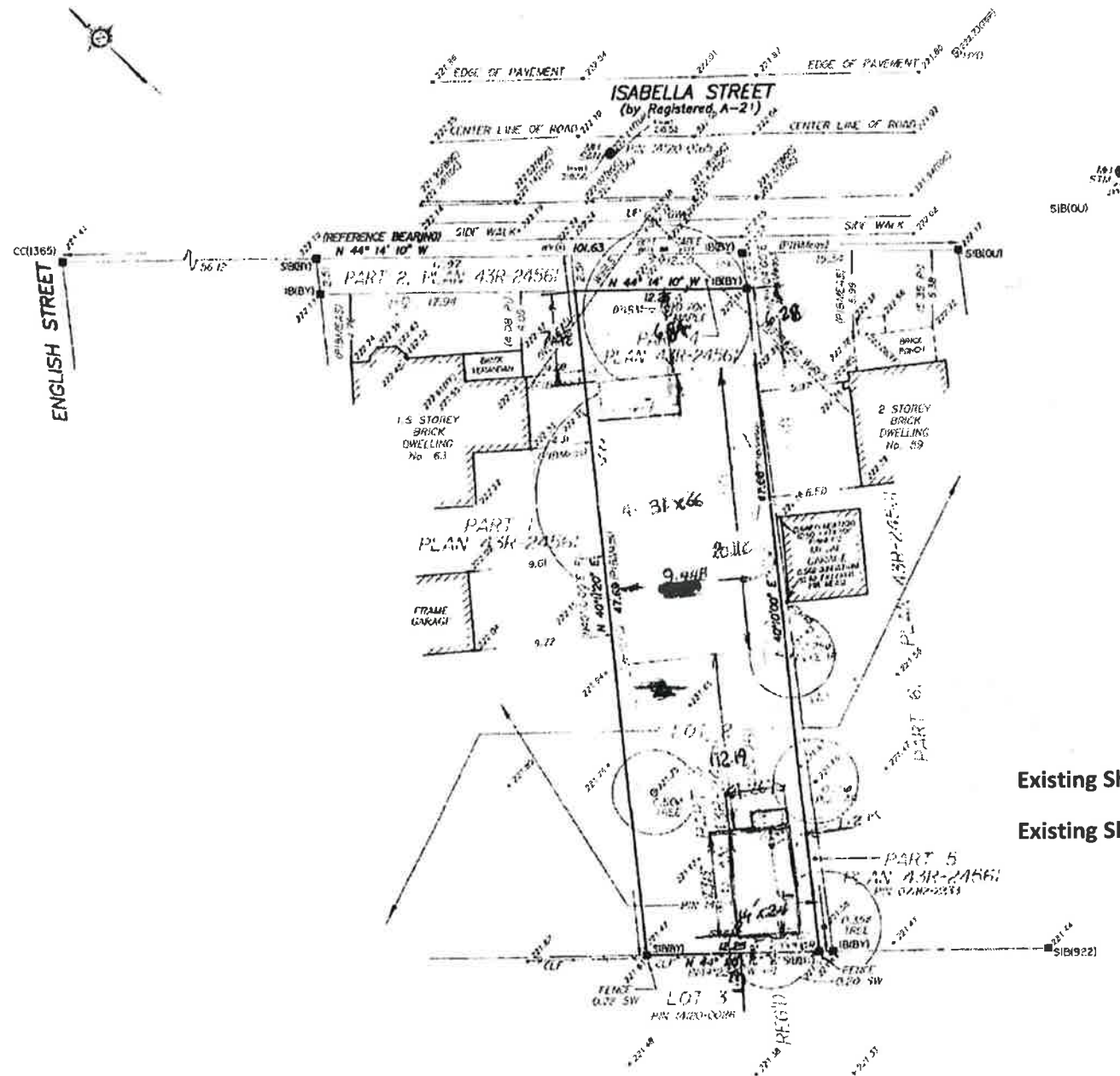
METRIC
Distances shown on this plan are in metres and can be converted
to feet dividing by 0.3048.

LEGEND

SM	Survey Monument Found
TM	Survey Monument Set
SB	Standard Iron Bar
A	Iron Bar
OU	Origin Unknown
CC	Cul Cross
PI	Plan 43R-24561
WH	Whiteline Mark
D	Diameter
IND	Hydrant
CLT	Chain Link Fence
FF	Finished Floor Elevation
WV	Water Valve
UP	Utility Pole
BY	Bennett Young Limited, O.L.S.
922	Schaeffer & Reinhardt Ltd., O.L.S.
1365	G. J. Stinson Ltd., O.L.S.
	Existing Elevation

BEARING NOTE
Bearings are Azimuthic and are referred to the Southeastery limit of
Isabella Street as shown on Plan 43R-24561 having a bearing of R47°10'W

ELEVATION NOTE
Elevations are geodetic and are referred to City of Brampton Benchmark No. 274
having an elevation of 221.32 m above sea level. 4-1-77



Existing Shed Area - 31.21 square metres

Existing Shed Height - 3.96 metres

Topographic Survey was completed on February 18, 2006.

[Signature]
DAVID HURWOOD LTD.
PROJECT NO. 6408
22 MARCH 06
0412
15000/0608/7170-SITE PLANS/00000000.dwg

3900 14th Avenue, Unit 19 Markham, Ontario L3R 0B1
Ph: (905) 475-7065 Fax: (905) 475-1277 e-mail: markham@dhsurveyors.com

markham

DAVID HURWOOD LIMITED
Ontario Land Surveyor - Canada Lands Surveyor

oakville

131 Trafalgar Road, 2nd floor Oakville, Ontario L6J 3G4
Ph: (905) 815-1404 Fax: (905) 815-1332 e-mail: oakville@dhsurveyors.com

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

June 7, 2023

To: Committee of Adjustment
ROBERT BOURNE AND GAZINA BOURNE
PART OF LOT 2, PLAN b-25
A-2023-0157 – 61 ISABELLA STREET

Please **amend** application **A-2023-0157** to reflect the following:

1. To permit an existing accessory structure (shed) having a gross floor area of 31.21 sq. m (335.94 sq. ft) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft) for an individual accessory structure;
2. To permit an existing accessory structure (shed) having a height of 3.96m (13 ft) whereas the by-law permits a maximum height of 3.0m (9.84) for an accessory structure.


Applicant/Authorized Agent



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0157

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) ROBERT BOURNE & GAZINA BOURNE
Address 61 ISABELLA STREET
BRAMPTON ONTARIO
L6X1P8
Phone # 905-450-6857 6416-317-6857 Fax # _____
Email gazina.bourne@gmail.com

2. Name of Agent _____
Address _____

Phone # _____ Fax # _____
Email _____

3. Nature and extent of relief applied for (variances requested):
TO PERMIT AN EXISTING (SHED) HAVING AN
AREA OF 31.21 π METERS (4.267 x 7.315)
(ACCESSORY STRUCTURE)

4. Why is it not possible to comply with the provisions of the by-law?
STRUCTURE IS ALREADY EXISTING

5. Legal Description of the subject land:
Lot Number PART LOT 2 - PART 3 & PART 4 PLAN
Plan Number/Concession Number V43R-24561 BR-25
Municipal Address 61 ISABELLA ST. CITY OF BRAMPTON

6. Dimension of subject land (in metric units)
Frontage 12.25 m
Depth 41.69 & 41.66
Area 510.335 π m

7. Access to the subject land is by:
Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐
Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

HOUSE 31 x 66 (9.44m x 20.116m)
1 STOREY RAISED BUNGALOW
ACCESSORY STRUCTURE 4.267m. x 7.315m = 31.2 $\frac{4}{m}$

PROPOSED BUILDINGS/STRUCTURES on the subject land:

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

	BUILDING	SHED
EXISTING		
Front yard setback	7.48 & 6.28	39.146 FROM LOT FRONT / 12.19 FROM HOUSE
Rear yard setback	28.59 & 26.39	1.3m & 1.42m
Side yard setback	1.2	1.2m
Side yard setback	1.524	6.58
PROPOSED		
Front yard setback		
Rear yard setback		
Side yard setback		
Side yard setback		

10. Date of Acquisition of subject land: DEC 6 2001

11. Existing uses of subject property: HOME RESIDENTIAL

12. Proposed uses of subject property: HOME WORKSHED (RETIREMENT)

13. Existing uses of abutting properties: MUNICIPAL PARK (REAR)

14. Date of construction of all buildings & structures on subject land: 2007

15. Length of time the existing uses of the subject property have been continued: 16 YEARS

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Robert J. Bourne & Jeanine Bourne
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 17 DAY OF MAY, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, ROBERT BOURNE, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 17th DAY OF

May, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Robert J. Bourne
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1B and Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

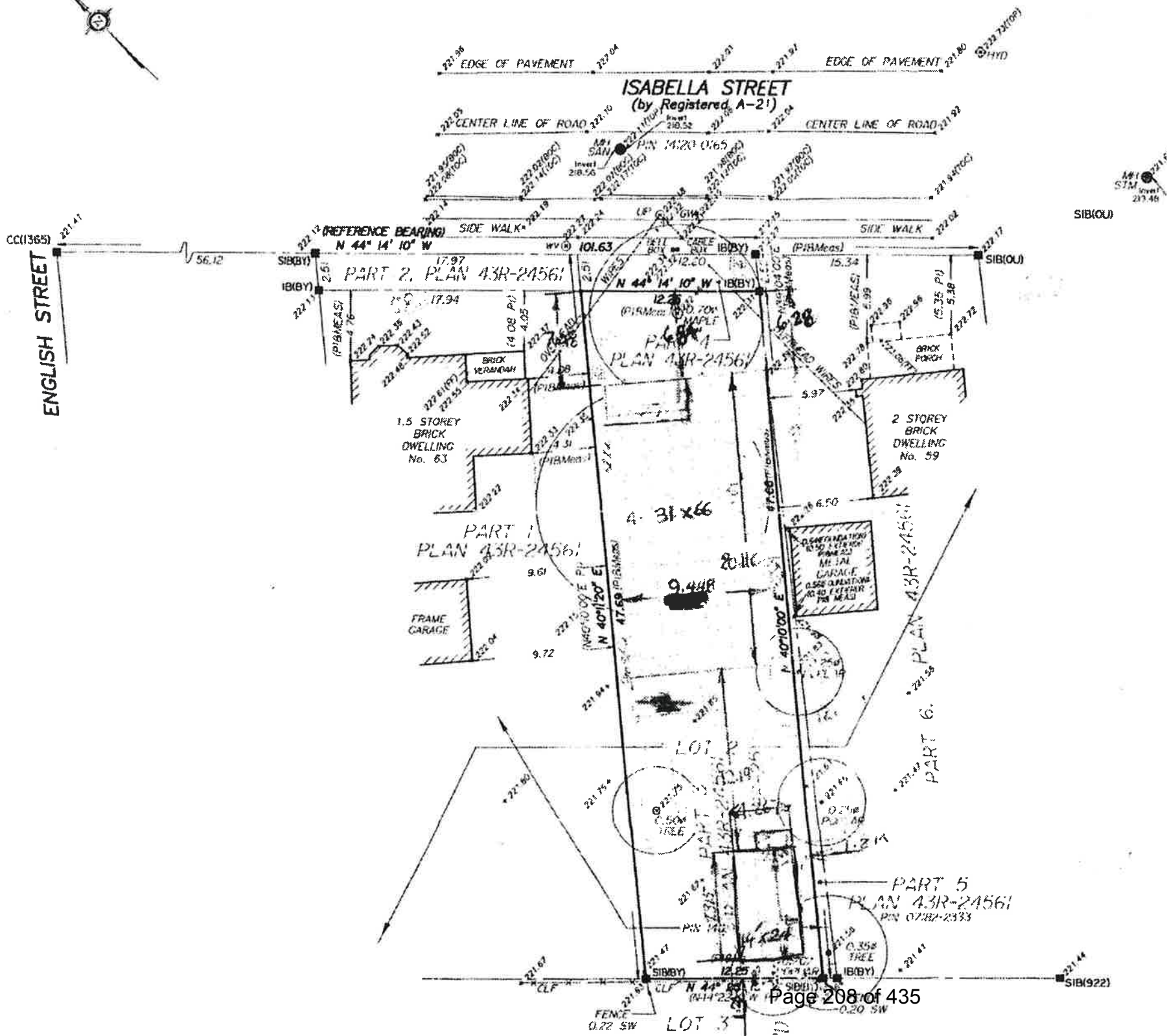
[Signature]
Zoning Officer

MAY 25.23

Date

DATE RECEIVED MAY 17, 2023

Date Application Deemed _____



CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE 1 : 250
David Burwood Ltd., Ontario Land Surveyors 2006

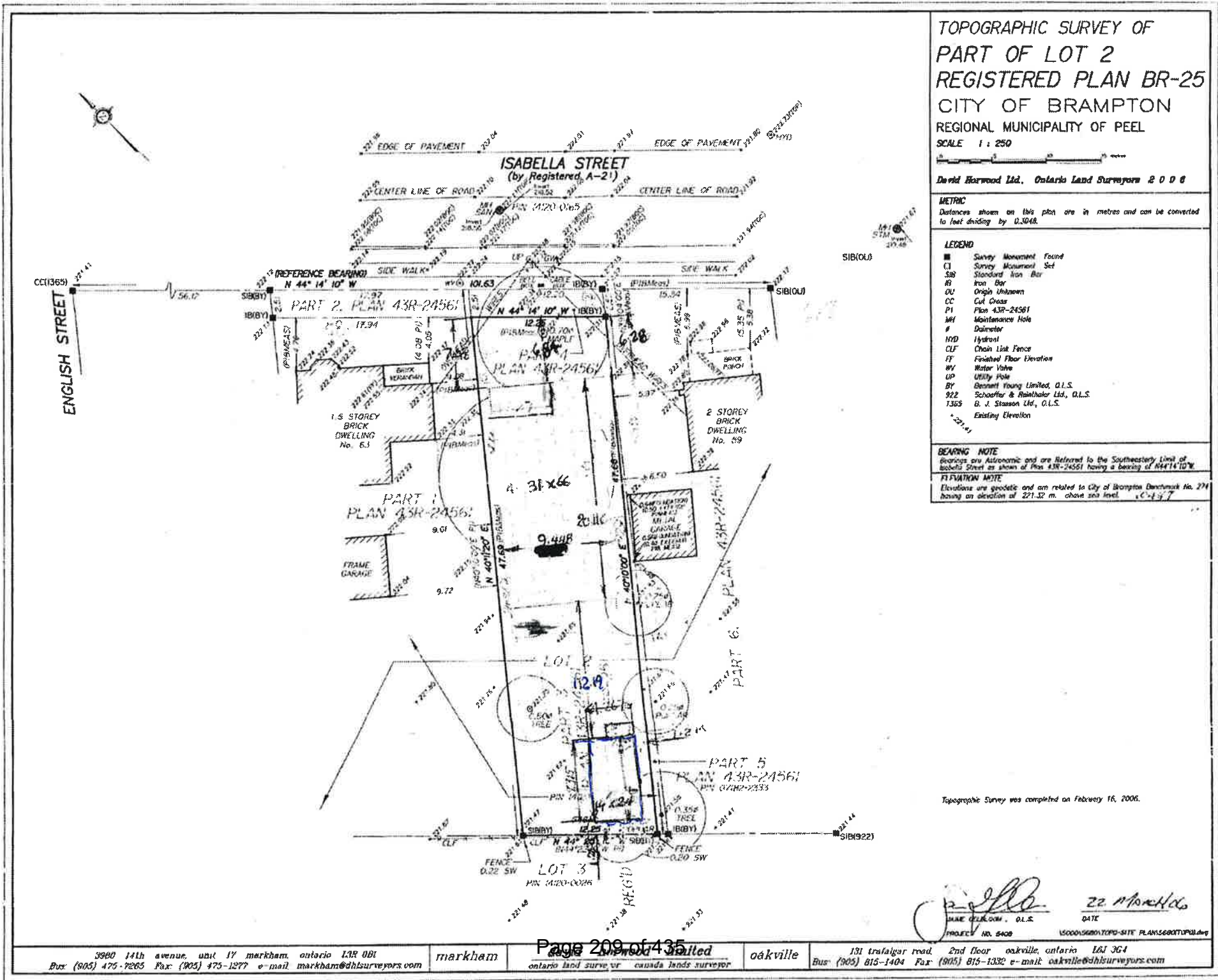
METRIC
 Distances shown on this plan are in metres and can be converted to feet dividing by 0.3048.

- LEGEND**
- Survey Monument Found
 - Survey Monument Set
 - SIB Standard Iron Bar
 - IB Iron Bar
 - OU Origin Unknown
 - CC Cul Cross
 - P1 Plan 43R-24561
 - MH Maintenance Hole
 - # Dalmeter
 - HYD Hydrant
 - CLF Chain Link Fence
 - FF Finished Floor Elevation
 - WV Water Valve
 - UP Utility Pole
 - BY Bennett Young Limited, O.L.S.
 - 922 Schoaffer & Reinthaler Ltd., O.L.S.
 - 1363 B. J. Shaswan Ltd., O.L.S.
 - Existing Elevation

BEARING NOTE
 Bearings are Astronomic and are referred to the Southeastern limit of Isabella Street as shown on Plan 43R-24561 having a bearing of N44°14'10"W.

ELEVATION NOTE
 Elevations are geodetic and are related to City of Brampton Benchmark No. 274 having an elevation of 221.32 m. above sea level.

Topographic Survey was completed on February 16, 2006.



TOPOGRAPHIC SURVEY OF
PART OF LOT 2
REGISTERED PLAN BR-25
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE 1 : 250

David Horwood Ltd., Ontario Land Surveyors 2006

METRIC
Distances shown on this plan are in metres and can be converted
to feet dividing by 0.3048.

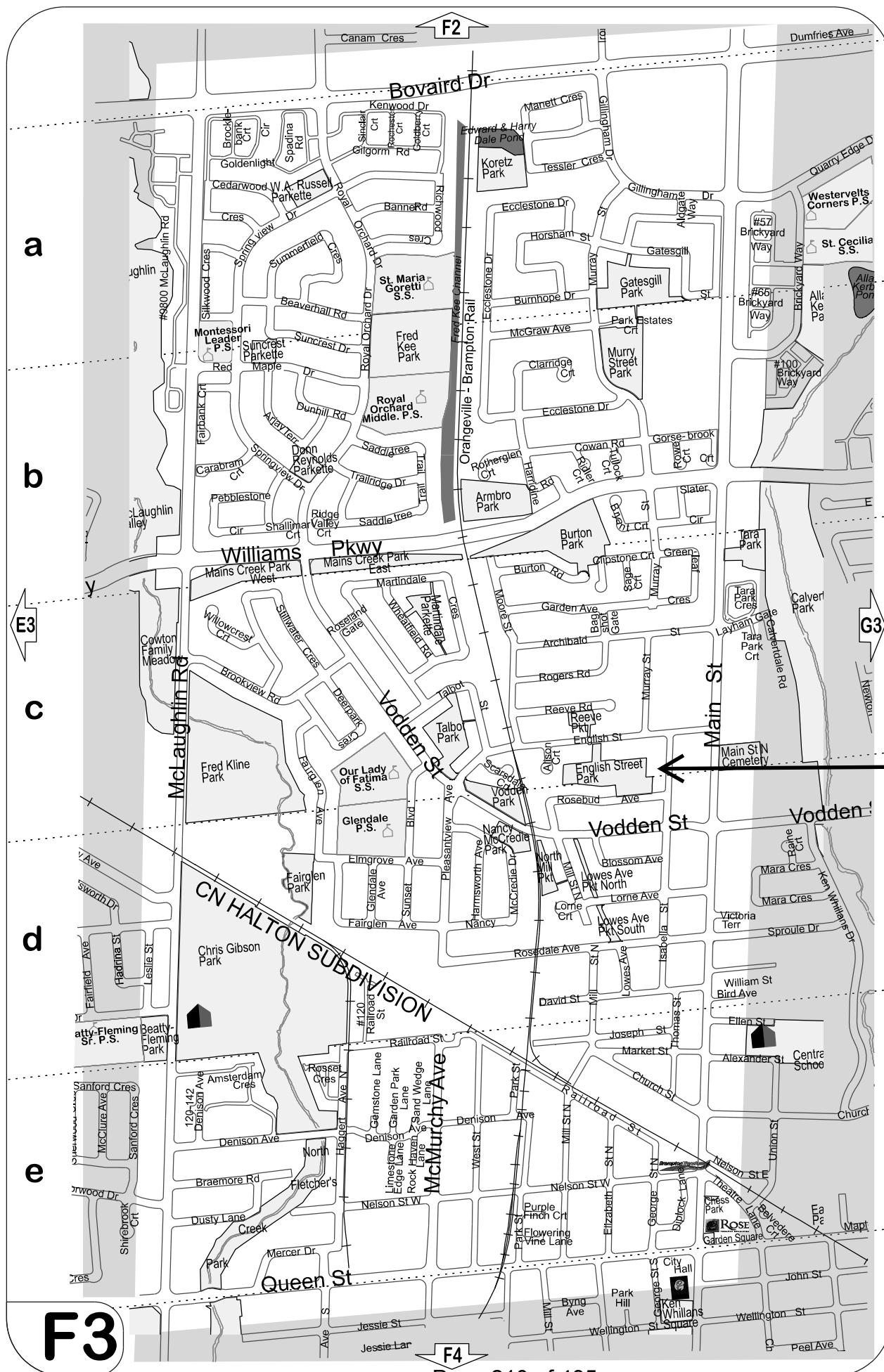
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 - 1365 B. J. Stinson Ltd., O.L.S.
 - Existing Elevation

BEARING NOTE
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Isabella Street as shown of Plan 43R-24561 having a bearing of N44°14'10"W.

ELEVATION NOTE
Elevations are geodetic and are related to City of Brampton Benchmark No. 271
having an elevation of 271.32 m. above sea level. 10-1-17

Topographic Survey was completed on February 16, 2006.

[Signature]
DATE 22 March 06
PROJECT NO. 8408
15000156801TOPO-SITE PLANS&800TOPOLAND



A-2023-0157

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **UPASANA AHLUWALIA, AJIT MOHAN AHLUWALIA, SIDDARTH AHLUWALIA AND SAKSHAM AHLUWALIA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 28, Plan M-1132 municipally known as **233 MOUNTAINBERRY ROAD**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an as-built above grade side entrance with a side yard setback of 1.05m (3.44 ft) extending from the front wall of the dwelling up to and including the door whereas the by-law only permits an above grade side entrance where the side yard within which the door is located has a minimum width of 1.2m (3.94 ft) up to and including the door;
2. To permit a 1.05m (3.44 ft) path of travel leading to the principal entrance to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit;
3. To permit a landing 0.69m (2.27 ft) above grade accessing a principal entrance to a second unit whereas the by-law requires the principal entrance to a second unit be accesses by a landing less than 0.6m (1.97 ft) above ground level.
4. To permit an existing driveway width of 7.85m (25.75 ft) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
5. To permit 0m of permeable landscaping adjacent to the side lot line whereas the by-law requires a minimum of 0.6m (1.97 ft.) of permeable landscaping adjacent to the side lot line

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO
Application for Consent: _____ NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

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RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

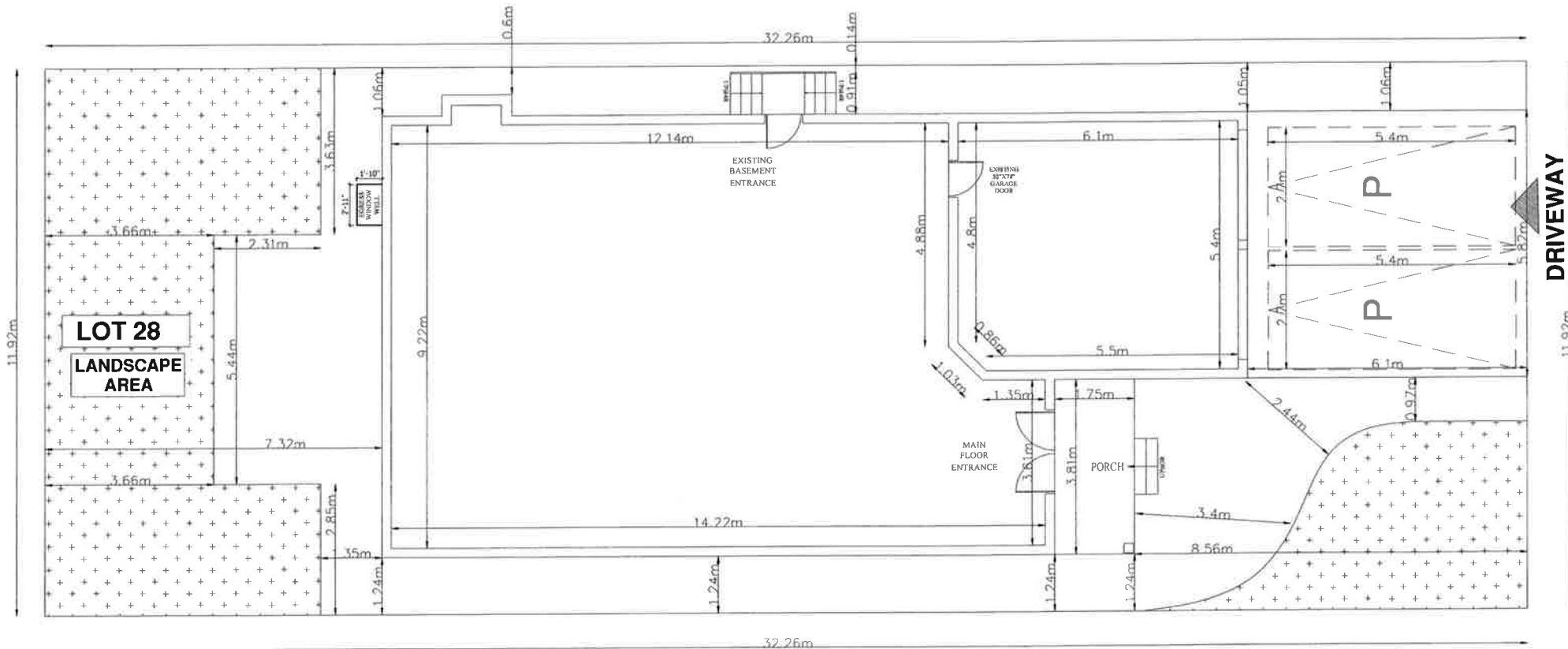
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2

Phone: (905) 874-2117

1Fax: 435 (905) 874-2119

ieanie mvers@brampton.ca



SITE PLAN
SCALE 1:100



233 MOUNTAINBERRY ROAD

GENERAL NOTES

DO NOT SCALE DRAWINGS.
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN.
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

**PROPOSAL TO CONSTRUCT
SECONDARY UNIT**

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C.3.2.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

233 MOUNTAINBERRY ROAD

EXISTING DWELLING

PROJECT	SHEET A1
APRIL 2023	
SCALE 3/32"=1'-0"	

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

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How to get involved in the Hybrid Hearing**

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 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
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<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

June 7, 2023

To: Committee of Adjustment
UPASNA AHULUWALIA
LOT 28, PLAN M-1132
A-2023-0158 – 233 MOUNTAINBERRY ROAD

Please **amend** application **A-2023-0158** to reflect the following:

1. To permit an as-built above grade side entrance with a side yard setback of 1.05m (3.44 ft) extending from the front wall of the dwelling up to and including the door whereas the by-law only permits an above grade side entrance where the side yard within which the door is located has a minimum width of 1.2m (3.94 ft) up to and including the door;
2. To permit a 1.05m (3.44 ft) path of travel leading to the principal entrance to a second unit whereas the by-law requires an unencumbered side yard width of 1.2m (3.94 ft.) to be provided as a path of travel from the front yard to the entrance to the second unit;
3. To permit a landing 0.69m (2.27 ft) above grade accessing a principal entrance to a second unit whereas the by-law requires the principal entrance to a second unit be accesses by a landing less than 0.6m (1.97 ft) above ground level.
4. To permit an existing driveway width of 7.85m (25.75 ft) whereas the by-law permits a maximum driveway width of 6.71m (22 ft.);
5. To permit 0m of permeable landscaping adjacent to the side lot line whereas the by-law requires a minimum of 0.6m (1.97 ft.) of permeable landscaping adjacent to the side lot line



Applicant/Authorized Agent



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0158

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Upasna Ahluwalia, Ajit M Ahluwalia, Siddharth Ahluwalia & Saksham Ahluwalia
Address 233 Mountainberry Rd, Brampton, ON, L6R1W3

Phone # _____ **Fax #** _____
Email _____

2. **Name of Agent** Shivang Tarika
Address 106 Morningside Dr, Georgetown, L7G0M2, ON

Phone # 4168212630 **Fax #** _____
Email shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**

A. To permit an as-built above grade side entrance with a side yard width of 1.05 m extending from the front wall of the dwelling up to and including the door, whereas the by-law requires a continuous 1.2 m side yard to an above grade side entrance.

B To permit a 1.06m wide path of travel leading to the principal entrance to a second unit whereas the by-law requires a minimum 1.2m unobstructed path of travel leading to the primary entrance to a second unit.

4. **Why is it not possible to comply with the provisions of the by-law?**

The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide a second dwelling unit the entrance is as built and the owner would not like to change that, as it might cost a bit extra for him, which he is unable to afford at this time. The entrance is designed in such a way that it does not block the passage to move to the rear yard. We would like to ask for minor variance.

5. **Legal Description of the subject land:**
Lot Number 28
Plan Number/Concession Number M1132
Municipal Address 233 Mountainberry Rd, Brampton, ON, L6R1W3

6. **Dimension of subject land (in metric units)**
Frontage 11.92 M
Depth 32.26 M
Area 384.60

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area: 173.72sqm
Gross Floor Area: 401.52 sqm,
No. of Levels: 2
Width: 9.63 m
Length: 14.63 m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.1 M
Rear yard setback 7.32 M
Side yard setback 1.24 M
Side yard setback 0.6 M

PROPOSED

Front yard setback 6.1 M
Rear yard setback 7.32 M
Side yard setback 1.24M
Side yard setback 0.14 M

10. Date of Acquisition of subject land: 2017
11. Existing uses of subject property: Residential - Single Dwelling Unit
12. Proposed uses of subject property: Residential - Two Dwelling Unit
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2008
15. Length of time the existing uses of the subject property have been continued: 9yrs
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Para

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF OF BRAMPTON
THIS 18 DAY OF MAY, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, PARAS NARANG, OF THE TOWN OF GEORGETOWN
IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF Brampton
IN THE Region OF
 Peel THIS 18th DAY OF
May, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Para

Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

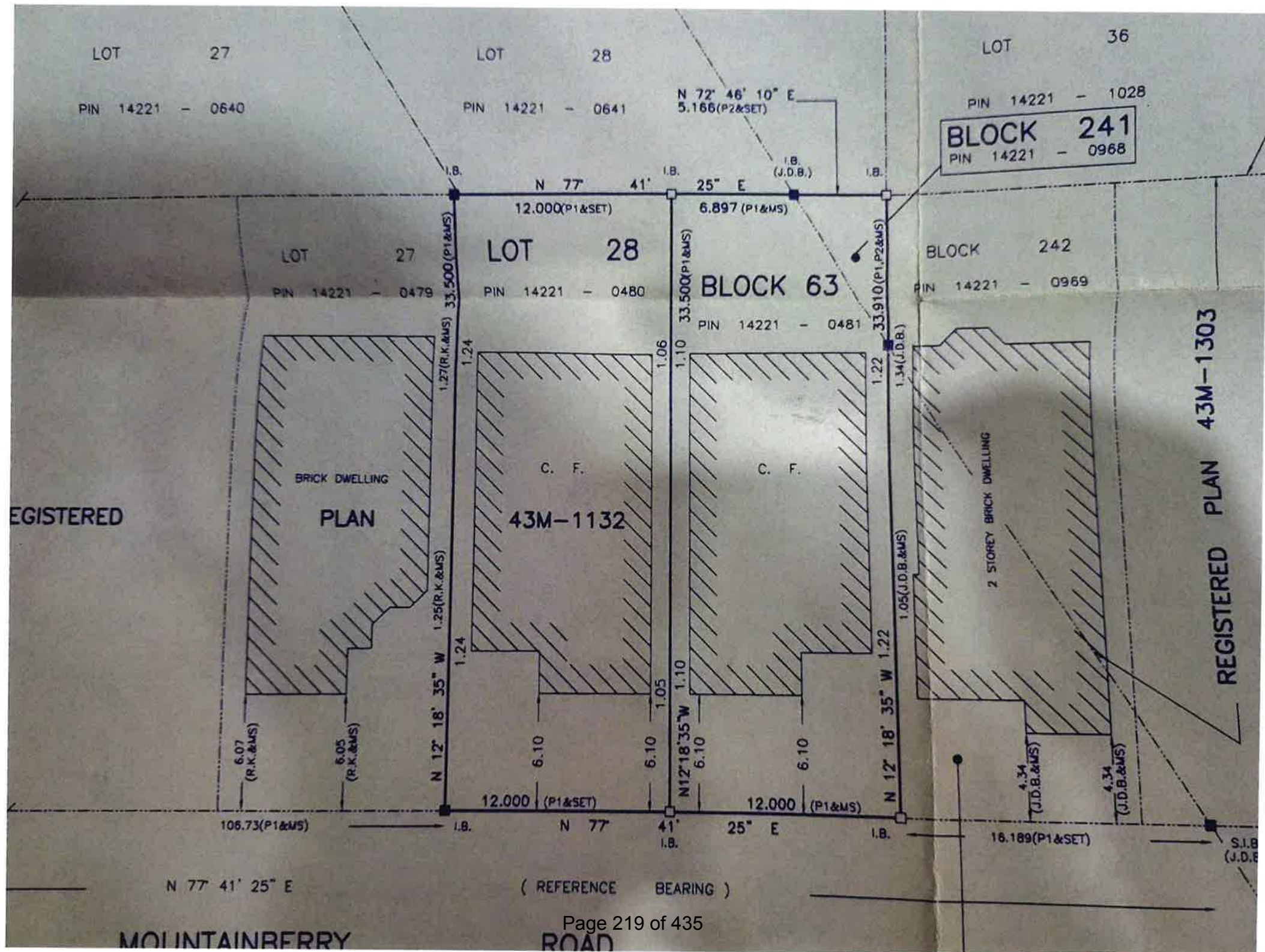
Zoning Officer

Date

DATE RECEIVED MAY 18, 2023

Date Application Deemed
Complete by the Municipality

Revised 2020/01/07





A-2023-0158

APPLICATION # A-2023-0159
WARD #6

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ANTHONY MAXIN AND TERESA FRANCIS** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Block 127, Plan 43M-1560. Part 1, Plan 43R-29677 municipally known as **38 TIANALEE CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade stairs to be located 7.45m (24.44 ft) from the Trans Canada Pipeline right-of-way whereas the by-law requires that no permanent structures shall be located within 10.0m (32.80 ft) of the limit of the Trans Canada Pipeline right-of-way;
2. To permit an existing deck to be located 6.66m (21.85 ft) from the Trans Canada Pipeline right-of-way whereas the by-law requires that no permanent structures shall be located within 10.0m (32.80 ft) of the limit of the Trans Canada Pipeline right-of-way.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

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PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

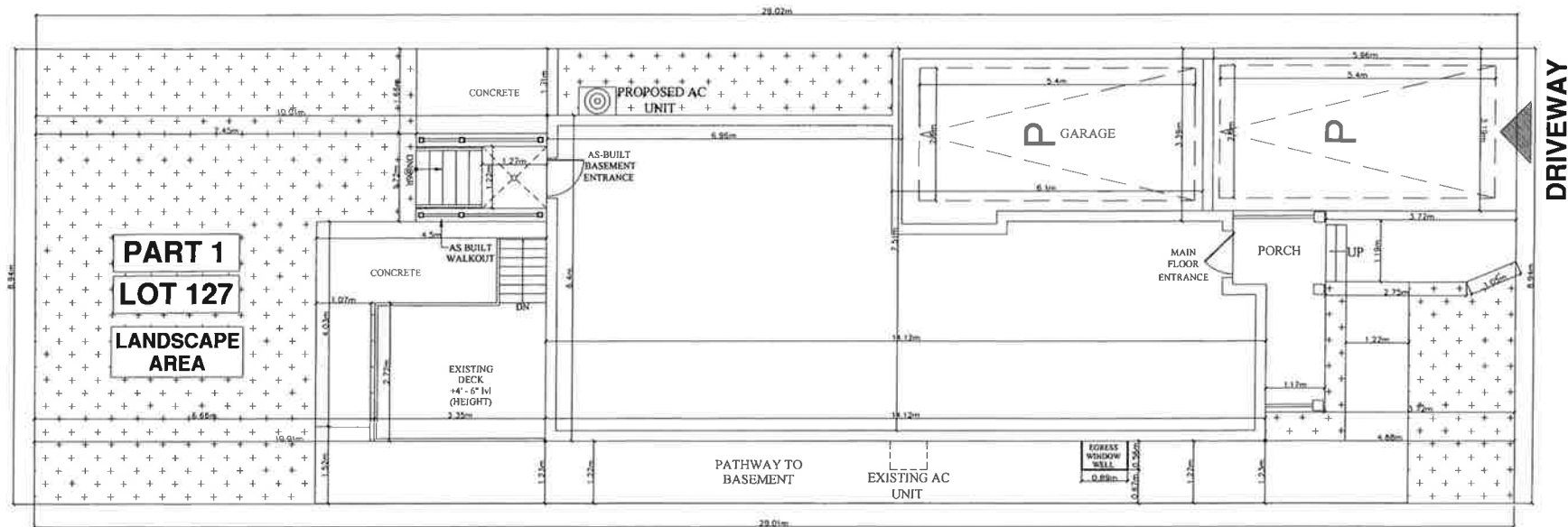
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Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

SITE PLAN
SCALE 1:100



38 TIANALEE CRESCENT



GENERAL NOTES

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PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
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SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECONDARY UNIT

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
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IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C.32.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

38 TIANALEE CRESCENT

EXISTING DWELLING

PROJECT

MAR 2023

SCALE 1/8"=1'-0"

SHEET

A1

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<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

June 7, 2023

To: Committee of Adjustment
ANTHONY MAXIN
PART OF BLOCK 127, PLAN 43M-1560
A-2023-0159 – 38 TIANALEE CRESCENT

Please **amend** application **A-2023-0159** to reflect the following:

1. To permit a below grade stairs to be located 7.45m (24.44 ft) from the Trans Canada Pipeline right-of-way whereas the by-law requires that no permanent structures shall be located within 10.0m (32.80 ft) of the limit of the Trans Canada Pipeline right-of-way.
2. To permit an existing deck to be located 6.66m (21.85 ft) from the Trans Canada Pipeline right-of-way whereas the by-law requires that no permanent structures shall be located within 10.0m (32.80 ft) of the limit of the Trans Canada Pipeline right-of-way.



Applicant/Authorized Agent



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Antony Maxin & Teresa Francis

Address 38 Tianalee, Brampton, ON, L7A 2X2

Phone # +1 437 331 3639

Fax # _____

Email antonymxn23@gmail.com

2. **Name of Agent** Shivang Tarika

Address 106 Morningside Dr. Georgetown, L7G0M2, ON

Phone # 4168212630

Fax # _____

Email shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**

A. To Propose an exterior stairway leading to a below grade entrance in the required interior rear yard.
B. Proposed Interior rear Yard Set back is 7.45m to the below Grade Stairway and the required is 10m

4. **Why is it not possible to comply with the provisions of the by-law?**

The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide a second dwelling unit the entrance has to be below the grade which is not possible on side yard and the other side of the property due to insufficient space and privacy reason. So the only space where owner can construct the entrance is the back of the property. The Required set back from the trans Canada pipe line right of way is 10m and

5. **Legal Description of the subject land:**

Lot Number 127

Plan Number/Concession Number M 1560

Municipal Address 38 Tianalee, Brampton, ON, L7A 2X2

6. **Dimension of subject land (in metric units)**

Frontage 8.94M

Depth 29.02M

Area 259.42SQM

7. **Access to the subject land is by:**

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

☐☒☐

Seasonal Road

Other Public Road

Water

☐☐☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area: 101.26sqm
Gross Floor Area: 259.16sqm,
No. of Levels: 2
Width: 7.51M
Length: 14.12M

PROPOSED BUILDINGS/STRUCTURES on the subject land:

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback3.72M
Rear yard setback10M
Side yard setback1.31M
Side yard setback1.22M

PROPOSED

Front yard setback3.72M
Rear yard setback7.45M
Side yard setback1.31M
Side yard setback1.22M

10. Date of Acquisition of subject land: 2020

11. Existing uses of subject property: Residential - Single Dwelling Unit

12. Proposed uses of subject property: Residential - Two Dwelling Unit

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 2003

15. Length of time the existing uses of the subject property have been continued: 17 yrs

16. (a) What water supply is existing/proposed?
Municipal☒
Well☐Other (specify)

(b) What sewage disposal is/will be provided?
Municipal☒
Septic☐Other (specify)

(c) What storm drainage system is existing/proposed?
Sewers☒
Ditches☐
Swales☐Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Paras Narang
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 18 DAY OF MAY, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, PARAS NARANG, OF THE TOWN OF GEORGETOWN
IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF Brampton
IN THE Region OF Peel
THIS 18th DAY OF May, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Paras Narang
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

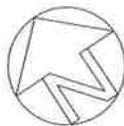
Date

DATE RECEIVED MAY 18, 2023

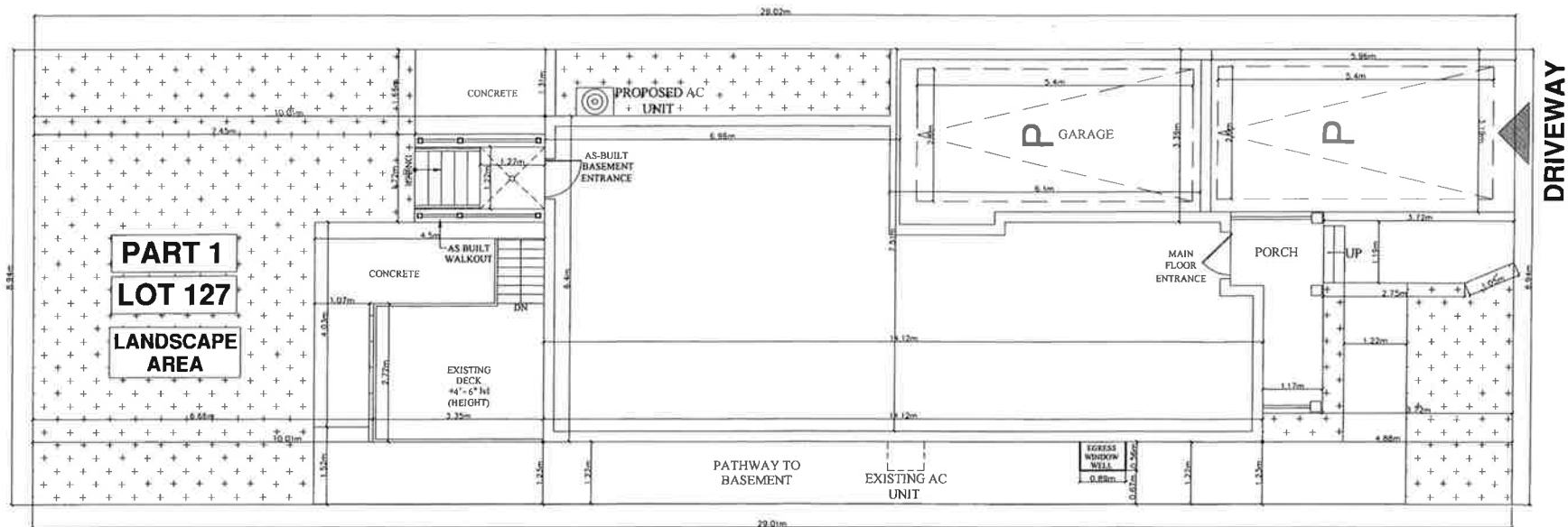
Date Application Deemed
Complete by the Municipality _____

Revised 2020/01/07

SITE PLAN
SCALE 1:100



38 TIANALEE CRESCENT



GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SECONDARY UNIT

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C325.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440
NAME SIGNATURE BCIN

SHIVANG TARIKA

NO	REVISION / ISSUE	DATE

SITE PLAN

CITY : BRAMPTON

38 TIANALEE CRESCENT

EXISTING DWELLING

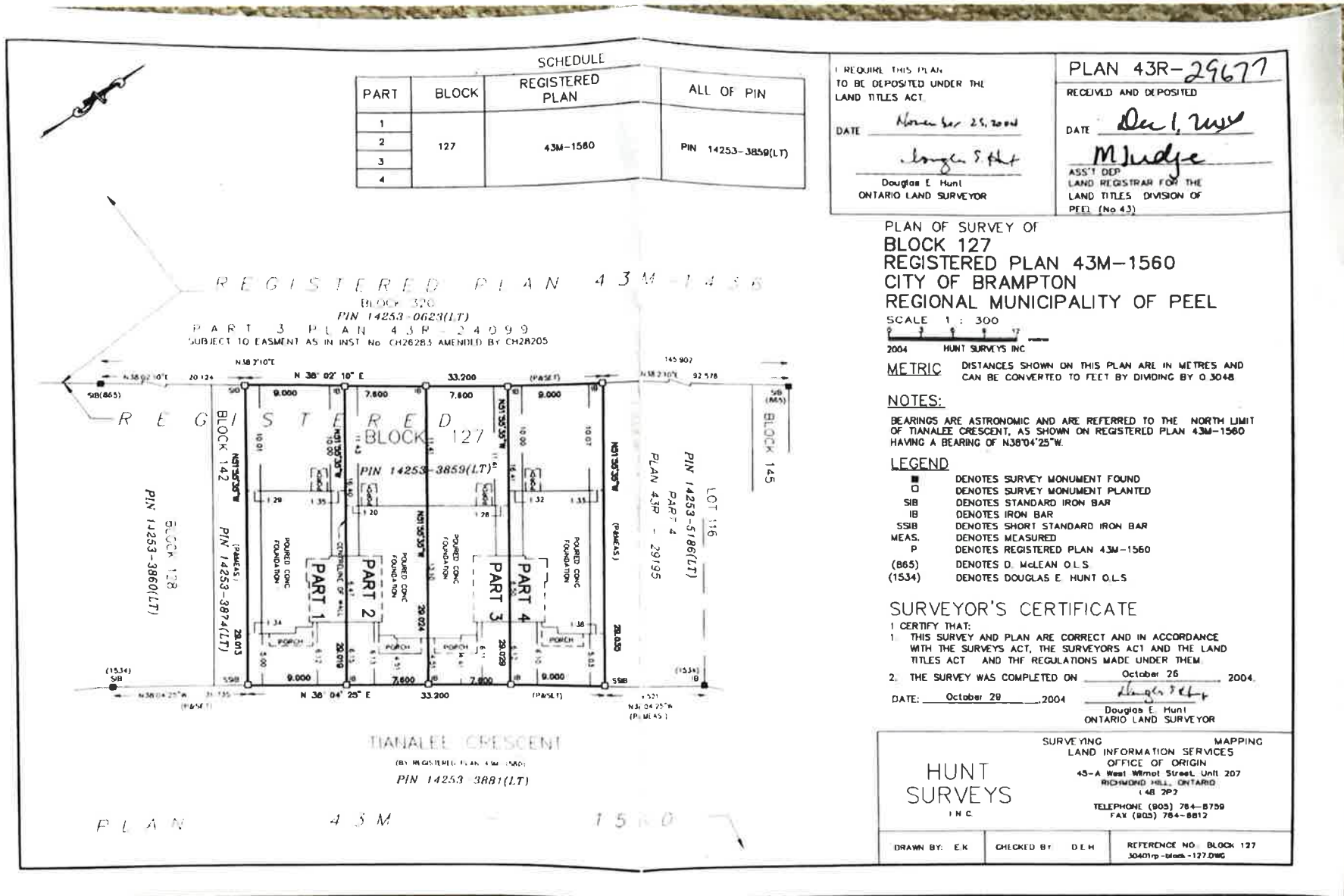
PROJECT

MAR 2023

SCALE 1/8"=1'-0"

SHEET

A1



SCHEDULE			
PART	BLOCK	REGISTERED PLAN	ALL OF PIN
1	127	43M-1560	PIN 14253-3859(LT)
2			
3			
4			

I REQUIRE THIS PLAN
TO BE DEPOSITED UNDER THE
LAND TITLES ACT.

DATE November 25, 2004

Douglas E. Hunt
ONTARIO LAND SURVEYOR

PLAN 43R-29677

RECEIVED AND DEPOSITED

DATE Dec 1, 2004

M. Judge
ASS'T DEP.
LAND REGISTRAR FOR THE
LAND TITLES DIVISION OF
PEEL (No 43)

PLAN OF SURVEY OF
BLOCK 127
REGISTERED PLAN 43M-1560
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 300

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- NOTES:
- BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH LIMIT
OF TIANALEE CRESCENT, AS SHOWN ON REGISTERED PLAN 43M-1560
HAVING A BEARING OF N38°04'25"W.
- LEGEND
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLANTED
 - SIB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - MEAS. DENOTES MEASURED
 - P DENOTES REGISTERED PLAN 43M-1560
 - (B65) DENOTES D. McLEAN O.L.S.
 - (1534) DENOTES DOUGLAS E. HUNT O.L.S.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON October 26 2004.

DATE: October 29 2004

Douglas E. Hunt
ONTARIO LAND SURVEYOR

HUNT
SURVEYS
INC.

SURVEYING
LAND INFORMATION SERVICES
OFFICE OF ORIGIN
43-A West Wilmot Street, Unit 207
RICHMOND HILL, ONTARIO
L4B 2P7
TELEPHONE (905) 764-8758
FAX (905) 764-8812

MAPPING

DRAWN BY: E.K.	CHECKED BY: D.E.H.	REFERENCE NO. BLOCK 127 30401rp-blk-127.DWG
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A-203-0159

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **RAMINDER PAL SINGH SAINI AND BALJEET SAINI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 31, Plan M0117 municipally known as **84 BLUE BONNETT DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an existing building addition having a rear yard setback of 5.34m (17.52 ft) whereas the by-law requires a minimum rear yard setback of 7.5m (24.60 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

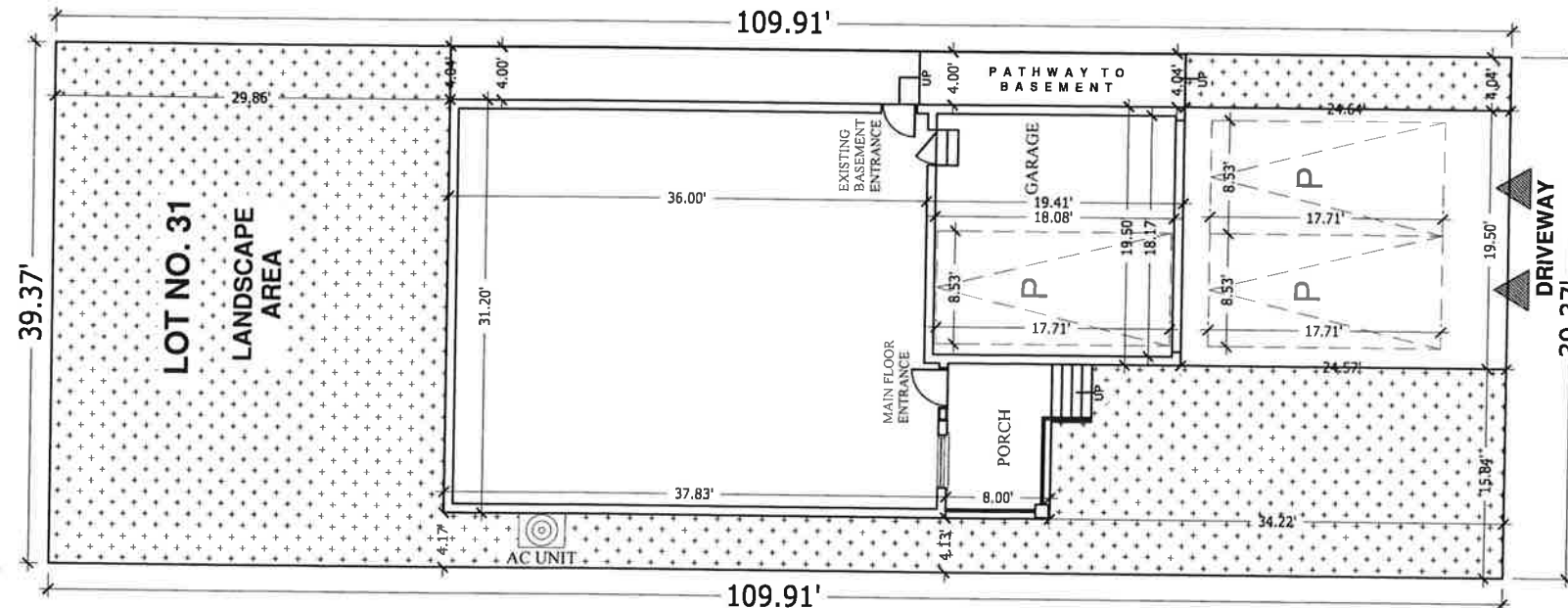
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE PLAN
SCALE 3/32"=1'-0"



84 BLUE BONNET DRIVE

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SUN ROOM AT THE REAR OF
THE HOUSE

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C3.2.5.1 OF THE BUILDING CODE

SHIVANG TARIKA 106440
NAME SIGNATURE BCIN

NO	REVISION / ISSUE	DATE

EXISTING SITE PLAN

CITY : BRAMPTON

84 BLUE BONNET DRIVE

EXISTING DWELLING

PROJECT

APRIL 2022

SCALE 3/32"=1'-0"

SHEET

SP1

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

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For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0160

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** RAMINDER PALS SINGH SAINI
Address 84 BLUE BONNET DR. BRAMPTON L6Y4X4

Phone # 6479781402 **Fax #** _____
Email JBSNSSA@GMAIL.COM

2. **Name of Agent** _____
Address _____

Phone # _____ **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**
As-built addition does not comply with zoning. The minimum required rear yard depth is 7.5 m and 5.34 m is proposed. Relief applied for allowing minimum yard depth 5.34m instead of 7.5 m. The addition was there when the property was purchased in 2015.

4. **Why is it not possible to comply with the provisions of the by-law?**
The addition is a Sun Room. If the setback is increased by 2.16 m to comply with the zonal requirements, the space that remains becomes too small to be used for the very purpose of sunbathing. We are mid 50s with Multiple Medical issues like Gout, Heart disease, Vitamin D deficiency, Diabetes, High ICF Pressure, Hypertension, a bad Spine Surgery, in nutshell issues that restrict movement. We need this space for that reason.

5. **Legal Description of the subject land:**
Lot Number 14
Plan Number/Concession Number PLAN M1147 LOT 31
Municipal Address 84 BLUE BONNET DR

6. **Dimension of subject land (in metric units)**
Frontage 11.999M
Depth 33.5M
Area 401.966

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

1.THE DETACHED HOUSE 10.97M DEEP X9.5M WIDE 104.215 SQM, 2 STORY

2.THE SUN ROOM 3.77M DEEP X 4.35M WIDE

3.PLASTIC SHED 3Mx 2.4M, TOTAL sq. M. 7.2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

ALL STRUCTURES ARE EXISTING. CHANGE OF USE TO A TWO UNIT DWELLING (AS-BUILT) IS SUBMITTED AND WE ARE IN THE PROCESS OF ADDRESSING THE CONCERNS.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback7.48M

Rear yard setback5.34

Side yard setback1.2

Side yard setback1.25

PROPOSED

Front yard setback7.48M

Rear yard setback5.34

Side yard setback1.2

Side yard setback1.25

10. Date of Acquisition of subject land: 3 SEPT 2015

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: APPROX 2011

15. Length of time the existing uses of the subject property have been continued: +24 YEARS

16. (a) What water supply is existing/proposed?

Municipal☒

Well☐

Other (specify)

(b) What sewage disposal is/will be provided?

Municipal☒

Septic☐

Other (specify)

(c) What storm drainage system is existing/proposed?

Sewers☒

Ditches☐

Swales☐

Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Kruti Shah

Digitally signed by Kruti Shah
DN: C=CA, E=rcaddinfo@gmail.com, O=RJ
CAD Solutions Inc., CN=Kruti Shah
Date: 2023.05.10 13:44:23-04'00'

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF BRAMPTON

THIS 10 DAY OF MAY, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, KRUTI SHAH P. ENG HIREN SHAH, OF THE CITY _____ OF BRAMPTON

IN THE PROVINCE _____ OF ONTARIO _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

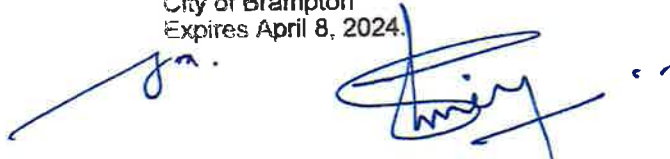
CITY _____ OF BRAMPTON

IN THE PROVINCE _____ OF

ONTARIO THIS 23rd DAY OF

MAY, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.



Signature of Applicant or Authorized Agent

Submit by Email


A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1C

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.



Zoning Officer

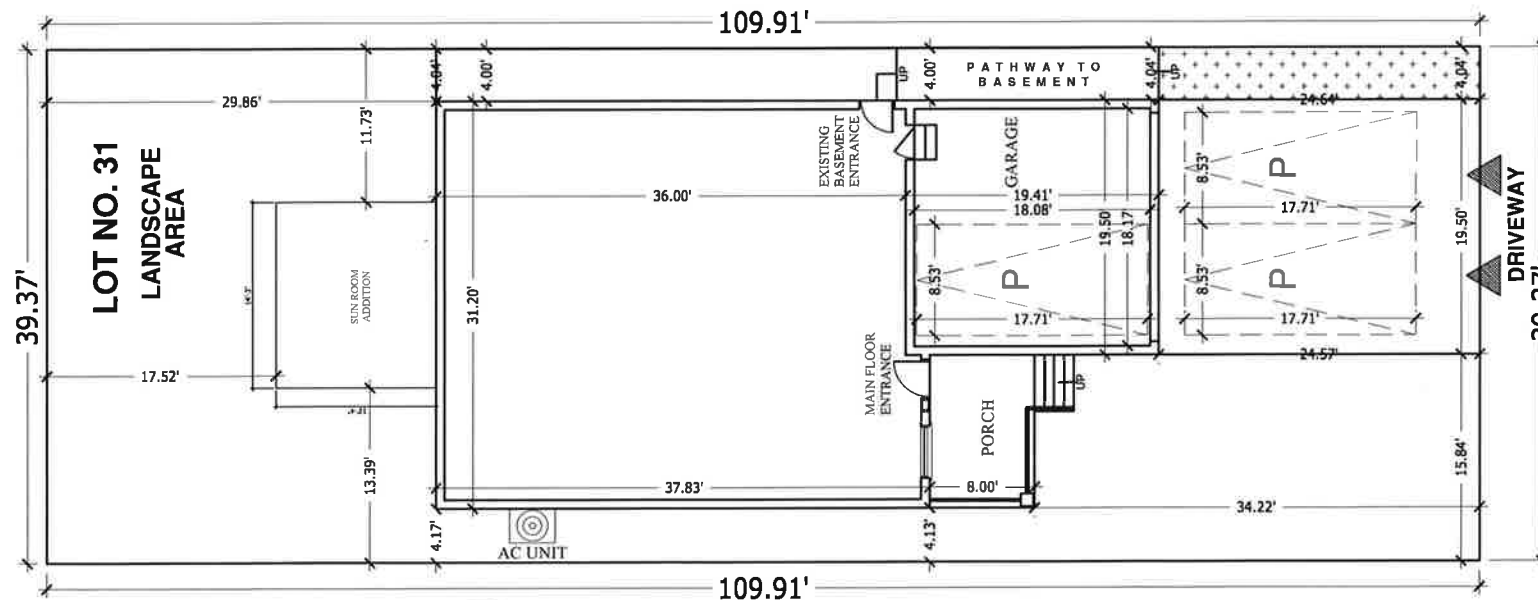
May 23, 2023

Date

DATE RECEIVED MAY 23, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17



SITE PLAN
SCALE 1/8"=1'-0"



84 BLUE BONNET DRIVE

GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
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SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SUN ROOM AT THE REAR OF
THE HOUSE

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN,
AND HAS THE QUALIFICATIONS AND
MEETS THE REQUIREMENTS SET OUT
IN THE ONTARIO BUILDING CODE
TO BE A DESIGNER.

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C.3.2.5.1 OF THE BUILDING CODE

SUNYANG TARIKA 106440
NAME SIGNATURE BCIN

NO	REVISION / ISSUE	DATE

PROPOSED SITE PLAN

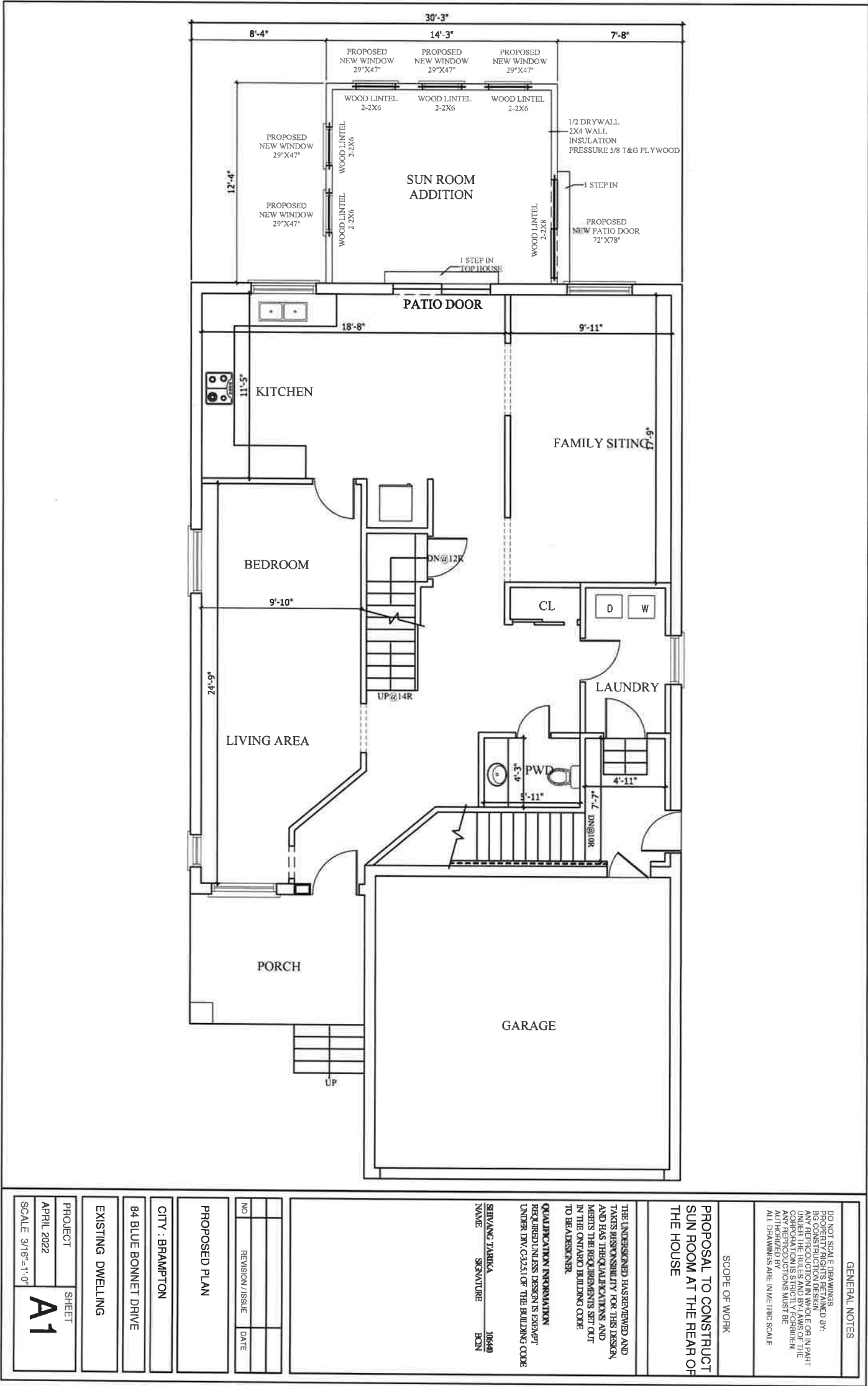
CITY : BRAMPTON

84 BLUE BONNET DRIVE

EXISTING DWELLING

PROJECT
APRIL 2022
SCALE 3/32"=1'-0"

SHEET
SP2



GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BIG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
OF THE RULES AND BY-LAWS OF THE
COUNCIL OF THE CITY OF TORONTO
OR ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
ALL DRAWINGS ARE IN METRIC SCALE

SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SUN ROOM AT THE REAR OF
THE HOUSE

THE UNDERSIGNED HAS REVIEWED AND
TAKES RESPONSIBILITY FOR THIS DESIGN
AND HAS THE QUALIFICATIONS AND
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QUALIFICATION INFORMATION
REQUIRED UNDER DESIGN IS EXEMPT
UNDER DIV. C3.2.51 OF THE BUILDING CODE

SHEVANG TAVARICA 106640
NAME SIGNATURE ICON

NO.	REVISION / ISSUE	DATE

PROPOSED PLAN

CITY: BRAMPTON

84 BLUE BONNET DRIVE

EXISTING DWELLING

PROJECT

APRIL 2022

SCALE 3/16" = 1'-0"

SHEET
A1



GENERAL NOTES

DO NOT SCALE DRAWINGS
PROPERTY RIGHTS RETAINED BY:
BG CONSTRUCTION DESIGN
ANY REPRODUCTION IN WHOLE OR IN PART
UNDER THE RULES AND BY-LAWS OF THE
CORPORATION IS STRICTLY FORBIDDEN.
ANY REPRODUCTIONS MUST BE
AUTHORIZED BY
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SCOPE OF WORK

PROPOSAL TO CONSTRUCT
SUN ROOM AT THE REAR OF
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UNDER DIV. C.32.5.1 OF THE BUILDING CODE

SITIVANG TARIKA 106440
NAME SIGNATURE BCIN

NO	REVISION / ISSUE	DATE

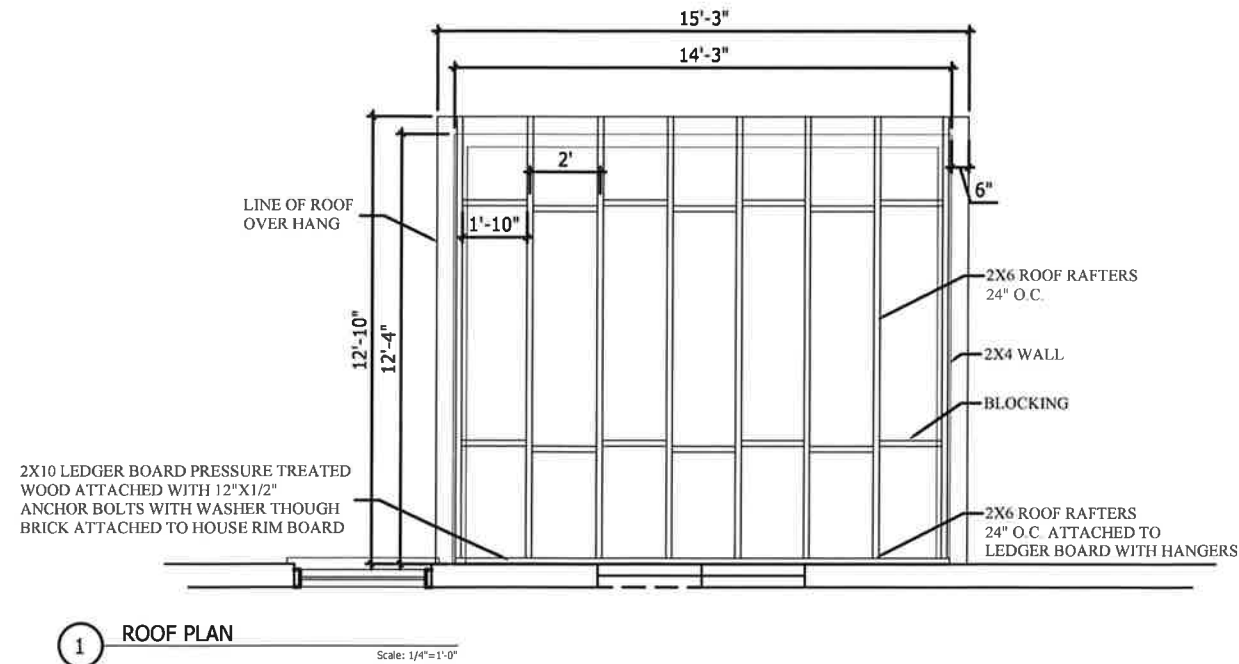
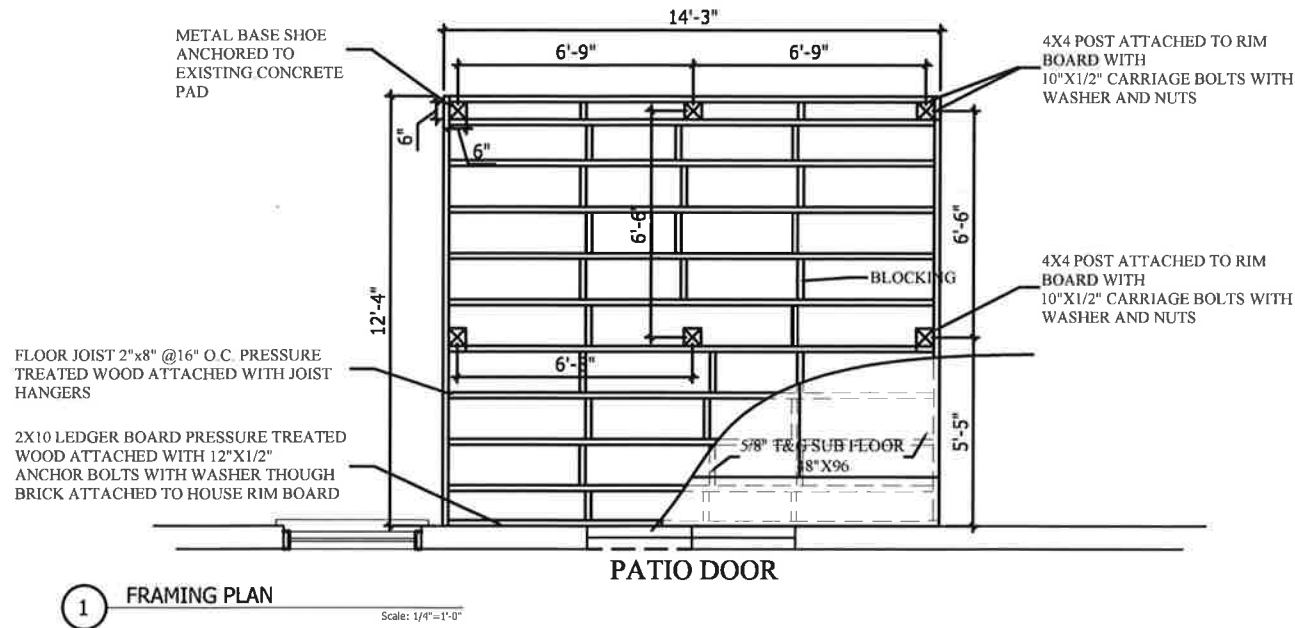
PROPOSED REAR ELEVATION

CITY : BRAMPTON

84 BLUE BONNET DRIVE

EXISTING DWELLING

PROJECT	SHEET
APRIL 2022	A2
SCALE 3/16"=1'-0"	



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SCOPE OF WORK

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SUN ROOM AT THE REAR OF
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QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT
UNDER DIV. C-3.2.5.1 OF THE BUILDING CODE

SEHYANG TARIKA 106440
NAME SIGNATURE BCIN

NO	REVISION / ISSUE	DATE

PROPOSED FRAMING PLAN &
ROOF PLAN

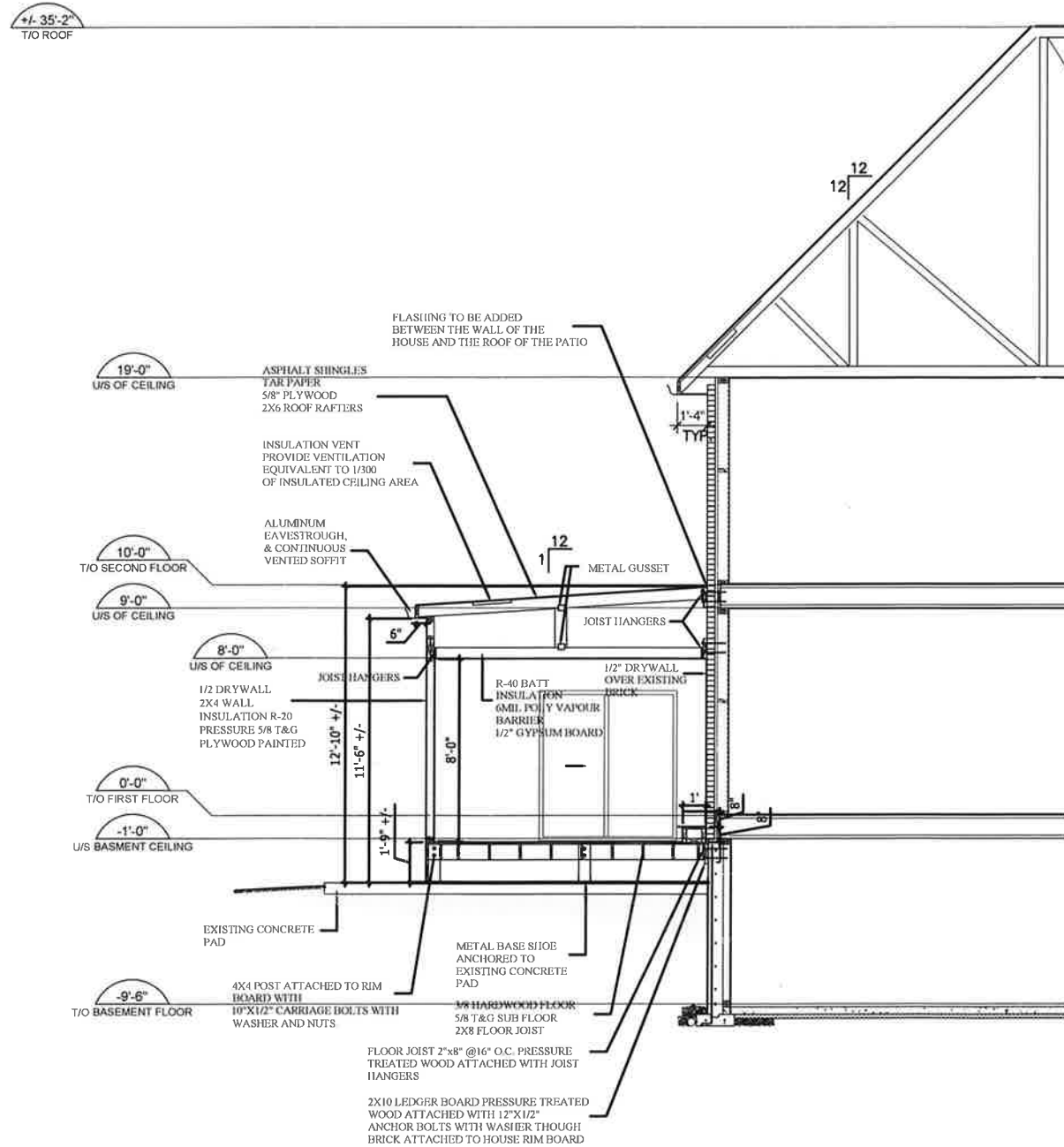
CITY : BRAMPTON

84 BLUE BONNET DRIVE

EXISTING DWELLING

PROJECT
APRIL 2022
SCALE 1/4"=1'-0"

SHEET
A3



GENERAL NOTES

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PROPOSAL TO CONSTRUCT
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QUALIFICATION INFORMATION
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UNDER DIV. C-3.2.5.1 OF THE BUILDING CODE

SHIVANG TARIKA	106440
NAME	SIGNATURE BCIN

NO	REVISION / ISSUE	DATE

PROPOSED SECTION

CITY : BRAMPTON

84 BLUE BONNET DRIVE

EXISTING DWELLING

PROJECT

APRIL 2022

SCALE 3/16"=1'-0"

SHEET

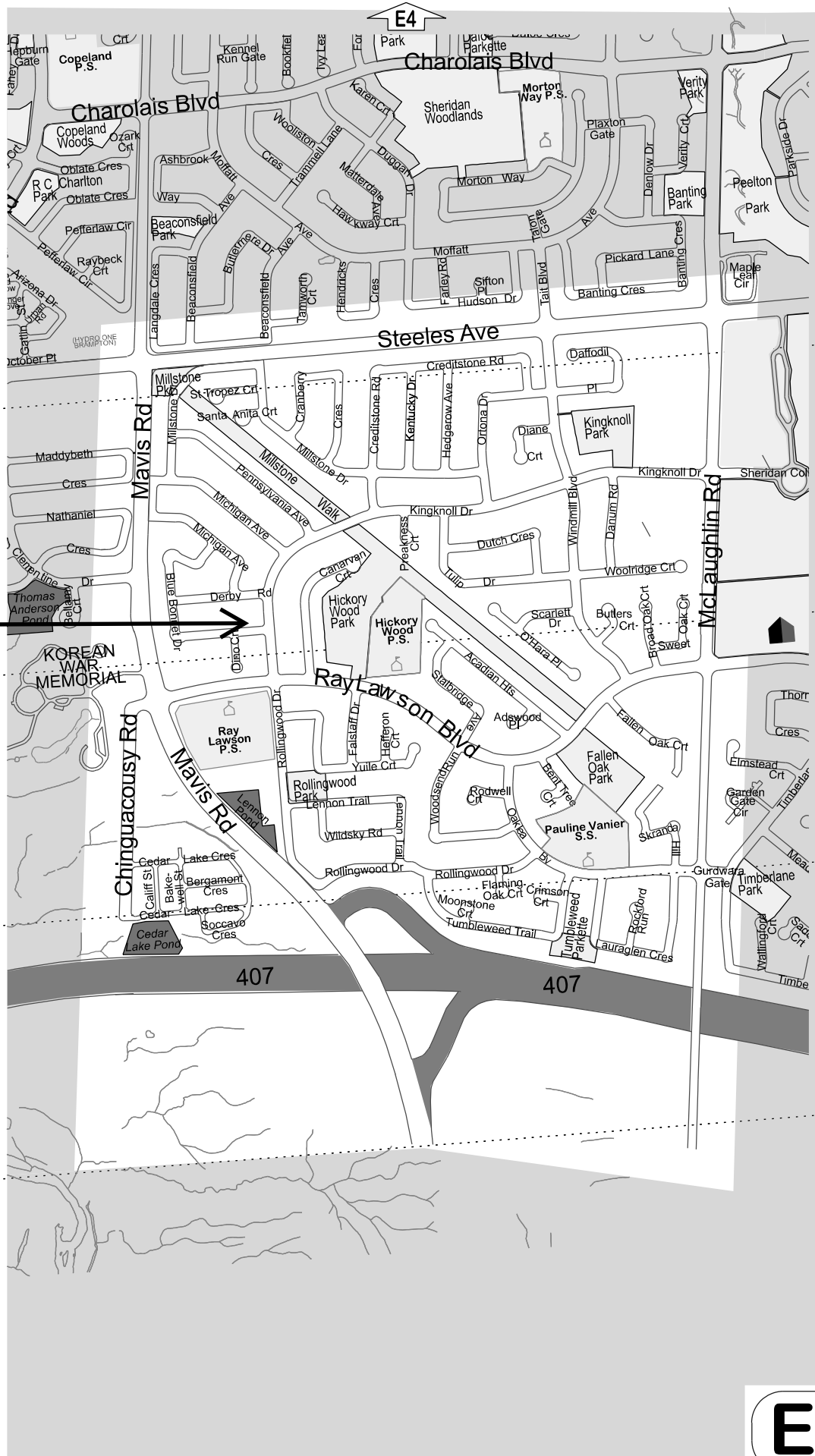
A4

A-2023-0160

a

b

c



E5

APPLICATION # A-2023-0161
WARD #5

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ICYLIN BROWN AND ANGEL BROWN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 84, Plan 43M-1751, Part 8, Plan 43R-32069 municipally known as **1 STILLMAN DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a proposed below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit below grade entrances between the main wall of the dwelling and the flankage lot line;
2. To permit an existing accessory structure (shed) in the exterior side yard whereas the by-law does not permit accessory structures to be located within the exterior side yard;
3. To permit a fence in the exterior side yard having a height of 2.4m (7.87 ft) whereas the by-law permits a maximum fence height of 2.0m (6.56 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ **NO** _____ File Number: _____
Application for Consent: _____ **NO** _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0161

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Icylin Brown , Angel Brown
Address 1 STILLMAN DR BRAMPTON, ON, L6X0T2

Phone # 647-267-8937 **Fax #** _____
Email icylin.brown@yahoo.ca

2. **Name of Agent** Kruti Shah
Address 4 Abacus rd, Brampton, ON, L6T 5J6

Phone # 6475323593 **Fax #** _____
Email kruti@njcadsolutions.com

3. **Nature and extent of relief applied for (variances requested):**

1. To permit a proposed below grade separate entrance from exterior side yard

2. To permit an accessory structure in the exterior side yard

3. To permit a fence in the exterior side yard with a height of 2.4 meters (maximum permitted is 2 meters)

4. **Why is it not possible to comply with the provisions of the by-law?**

WE ARE PROPOSING BELOW GRADE SEPERATE ENTRANCE FROM EXTERIOR SIDE YARD WHICH ,ZONING BY LAW DOESNOT PERMIT.

5. **Legal Description of the subject land:**
Lot Number LOT 84R
Plan Number/Concession Number 43M 1751
Municipal Address 1 STILLMAN DR

6. **Dimension of subject land (in metric units)**
Frontage 11.6M
Depth 27.2 M
Area 378.2 SQM

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

GROUND FLOOR AREA - 95 SQ. M. , GROSS FLOOR AREA - 200 SQ.M.,
NUMBER OF STOREY - 2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

BELOW GRADE ENTRANCE ON EXTERIOR SIDE YARD

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	3.3
Rear yard setback	7.2
Side yard setback	0
Side yard setback	6.2

PROPOSED

Front yard setback	3.3
Rear yard setback	7.2
Side yard setback	0
Side yard setback	5.6

10. Date of Acquisition of subject land: 2010
11. Existing uses of subject property: SINGLE UNIT DWELLING
12. Proposed uses of subject property: SINGLE UNIT DWELLING
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2007
15. Length of time the existing uses of the subject property have been continued: 16 years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details: File # 2020 228534 000 00

Status ADDRESSING DEFICIENCIES IN DESIGN

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief

Bram

Signature of Applicant(s) or Authorized Agent

DATED AT THE 8TH CITY OF MAY BRAMPTON
THIS 8TH 23 DAY OF MAY, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Raminder Pal Saini, OF THE CITY OF BRAMPTON
IN THE Region OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF Brampton
IN THE Region OF Peel
THIS 23rd DAY OF May, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Jm.
Bram

Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1D-1300

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Todd Payne
Zoning Officer

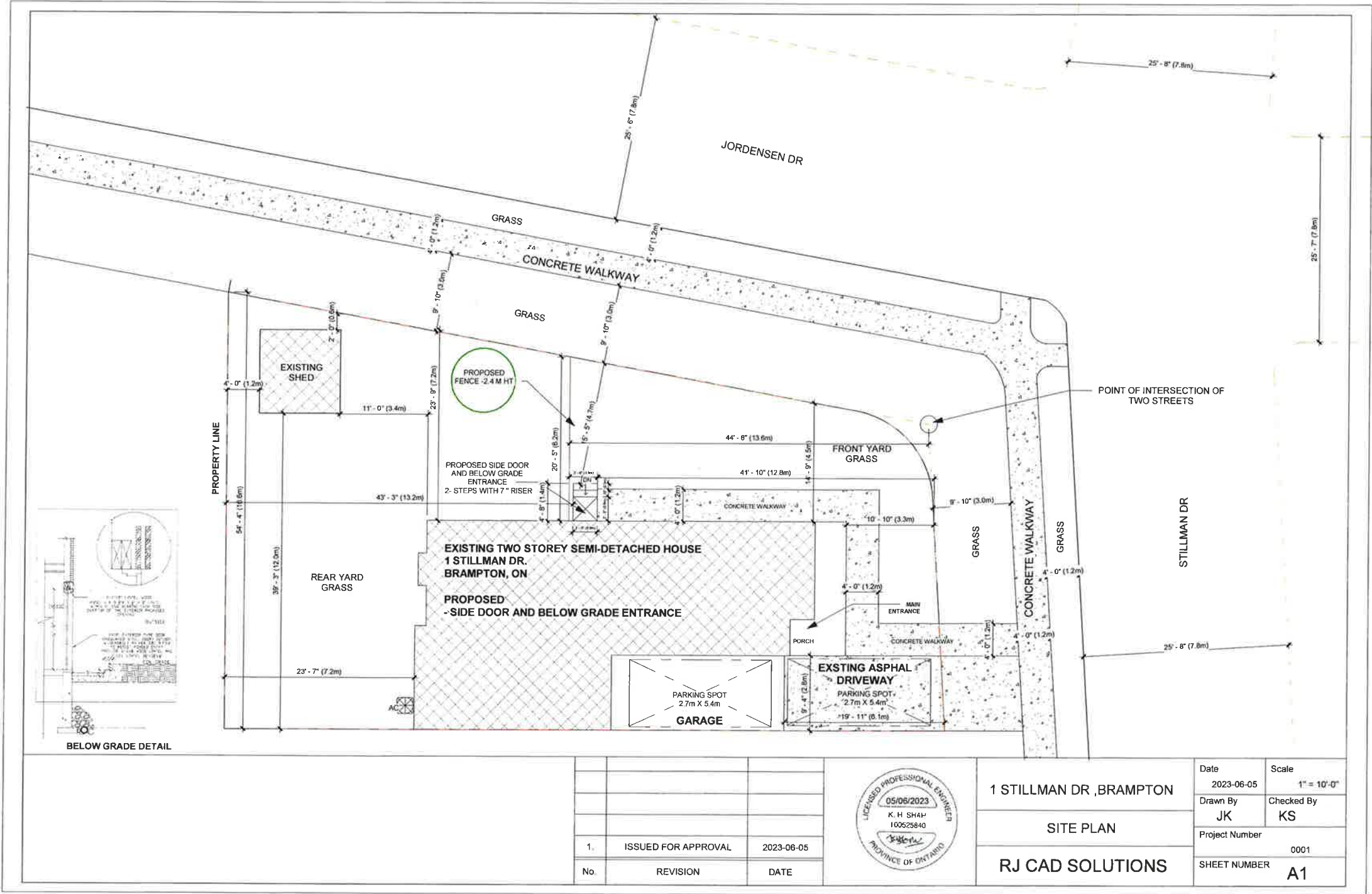
May 23, 2023

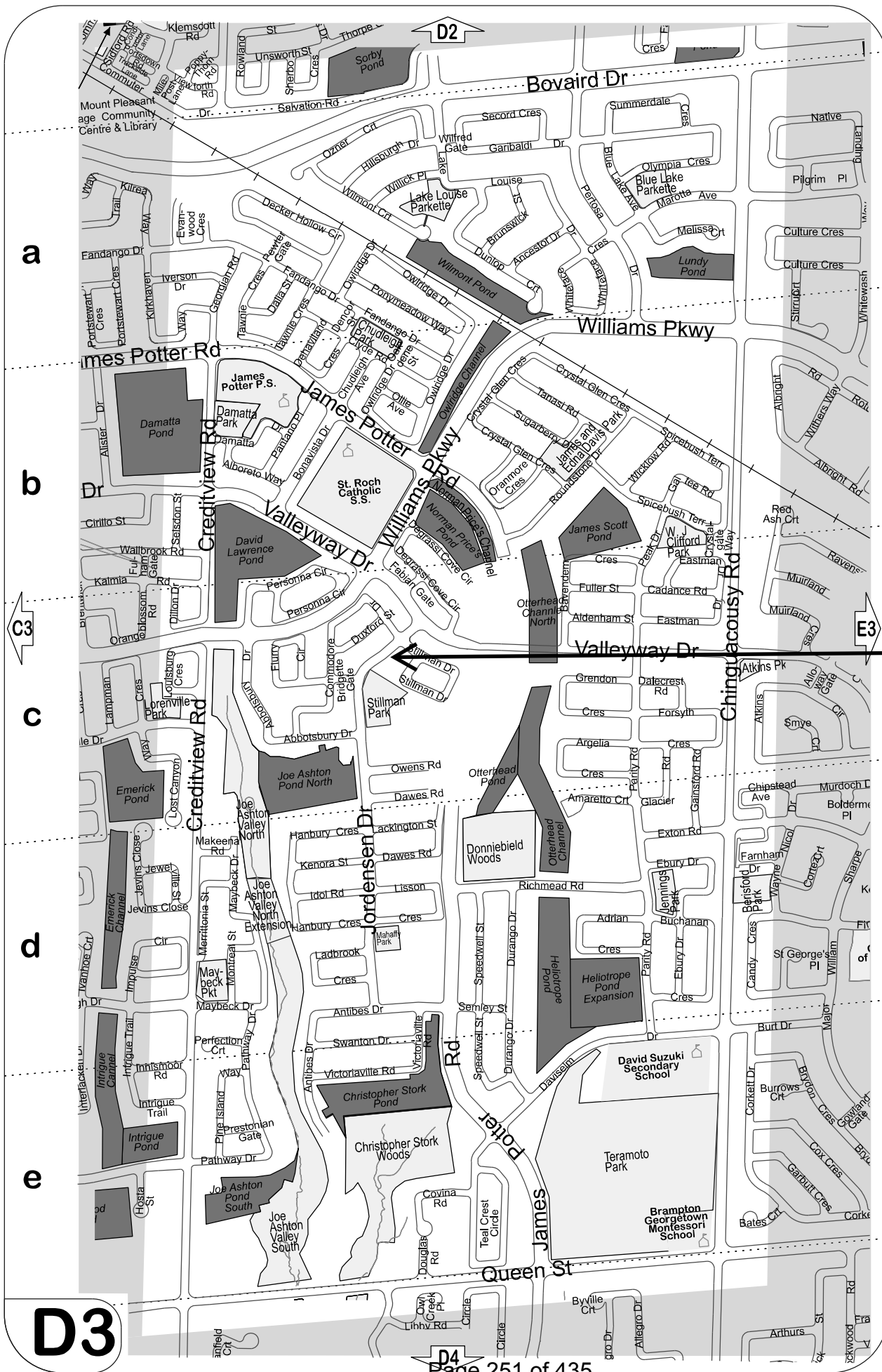
Date

DATE RECEIVED May 23, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17





A-2023-0161

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **RAKSHANDA SHANID** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 296, Plan 43M-1883, Parts 1 and 2, Plan 43R-35054 municipally known as **36 BONNIE BRAES DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an existing open-roofed porch to encroach 7.0m (22.97 ft) into the required rear yard, resulting in a rear yard setback of 0.5m (1.64 ft) whereas the by-law permits a maximum encroachment of 2.0m from an open-roofed porch, resulting in a rear yard setback of 5.5m (18.04 ft);
2. To permit an interior side yard setback of 0.5m to an existing open-roofed porch (1.64 ft) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft).
3. To permit a rear yard encroachment of 6.89m (22.60 ft) resulting in a rear yard setback of 0.61m (2 ft) to an existing deck whereas the by-law permits a maximum rear yard encroachment of 1.8m (5.91 ft) resulting in a rear yard setback of 5.7m to the existing deck.
4. To permit an interior side yard setback of 0.33m (1.08 ft) to an existing deck whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

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Application for Consent: NO File Number: _____

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DATED at Brampton Ontario, this 8th Day of June, 2023.

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Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

A compass rose with a circle and two intersecting lines. The letter 'N' is at the top. A shaded area is in the Northwest quadrant, between the North and West lines.

Page 253 of 435

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AMENDMENT LETTER

June 7, 2023

To: Committee of Adjustment
RAKSHANDA SHADID
PART OF LOT 296, PLAN M-1883
A-2023-0162 – 36 BONNIE BRAES DRIVE

Please **amend** application **A-2023-0162** to reflect the following:

1. To permit an existing open-roofed porch to encroach 7.0m (22.97 ft) into the required rear yard, resulting in a rear yard setback of 0.5m (1.64 ft) whereas the by-law permits a maximum encroachment of 2.0m from an open-roofed porch, resulting in a rear yard setback of 5.5m (18.04 ft);
2. To permit an interior side yard setback of 0.5m to an existing open-roofed porch (1.64 ft) whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft).
3. To permit a rear yard encroachment of 6.89m resulting in a rear yard setback of 0.61m to an existing deck whereas the by-law permits a maximum rear yard encroachment of 1.8m resulting in a rear yard setback of 5.7m to the existing deck.
4. To permit an interior side yard setback of 0.33m to an existing deck whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft).



Applicant/Authorized Agent



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0162

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Rakshanda Shahid
Address 36 Bonnie Braes Drive, Brampton L6Y 0Y5

Phone # 416 - 918 - 6232 **Fax #** _____
Email srnm2001@hotmail.com

2. **Name of Agent** _____
Address _____

Phone # _____ **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**
To permit an encroachment of 7.0m into the rear yard for an open roofed structure resulting in a rear yard setback of 0.5m;

To permit interior side yard setback of 0.5m.

4. **Why is it not possible to comply with the provisions of the by-law?**
The setbacks of roof structure is less than minimum required setback to the lot line on side and rear

5. **Legal Description of the subject land:**
Lot Number 296L
Plan Number/Concession Number M1883
Municipal Address 36 Bonnie Braes Drive, Brampton L6Y 0Y5

6. **Dimension of subject land (in metric units)**
Frontage 13.55
Depth 27.50
Area 365.32

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Single Dwelling Unit - 2 storey house (basement + ground floor + second floor)
Ground floor GFA = 110.65 m2 (including garage)
Second floor GFA = 102.75 m2
Total GFA = 213.40
Roof structure (canopy) in rear yard = 25.27 m2

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Single Dwelling Unit - 2 storey house (basement + ground floor + second floor)
Ground floor GFA = 110.65 m2 (including garage)
Second floor GFA = 102.75 m2
Total GFA = 213.40
Roof structure (canopy) in rear yard = 25.27 m2

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 3.03
Rear yard setback 7.50
Side yard setback 0.60 Right side, attached garage
Side yard setback 3.91 Left side

PROPOSED

Front yard setback 3.03
Rear yard setback 0.50
Side yard setback 0.50 Right side, attached garage
Side yard setback 3.91 Left side

10. Date of Acquisition of subject land: July 18 2013
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2012
15. Length of time the existing uses of the subject property have been continued: 11 yrs

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

RS

Signature of Applicant(s) or Authorized Agent

DATED AT THE city OF Brampton
THIS 23 DAY OF May, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Rakeshanda Sheldid, OF THE City OF Brampton

IN THE region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 23 DAY OF May, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

RS

Signature of Applicant or Authorized Agent

A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R2E-7.3-2107

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]
Zoning Officer

MAY 23, 23

Date

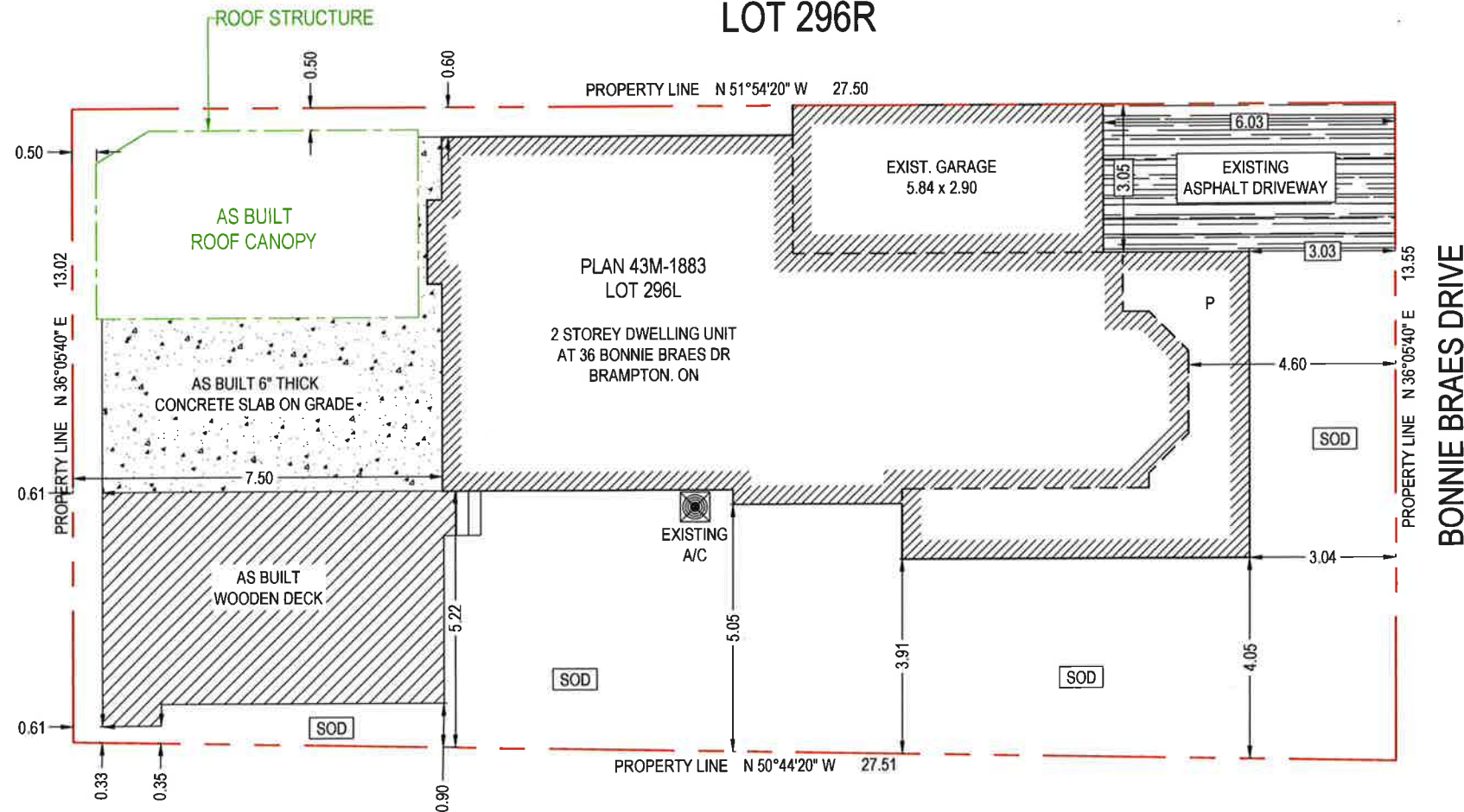
DATE RECEIVED MAY 23, 2023

Date Application Deemed
Complete by the Municipality

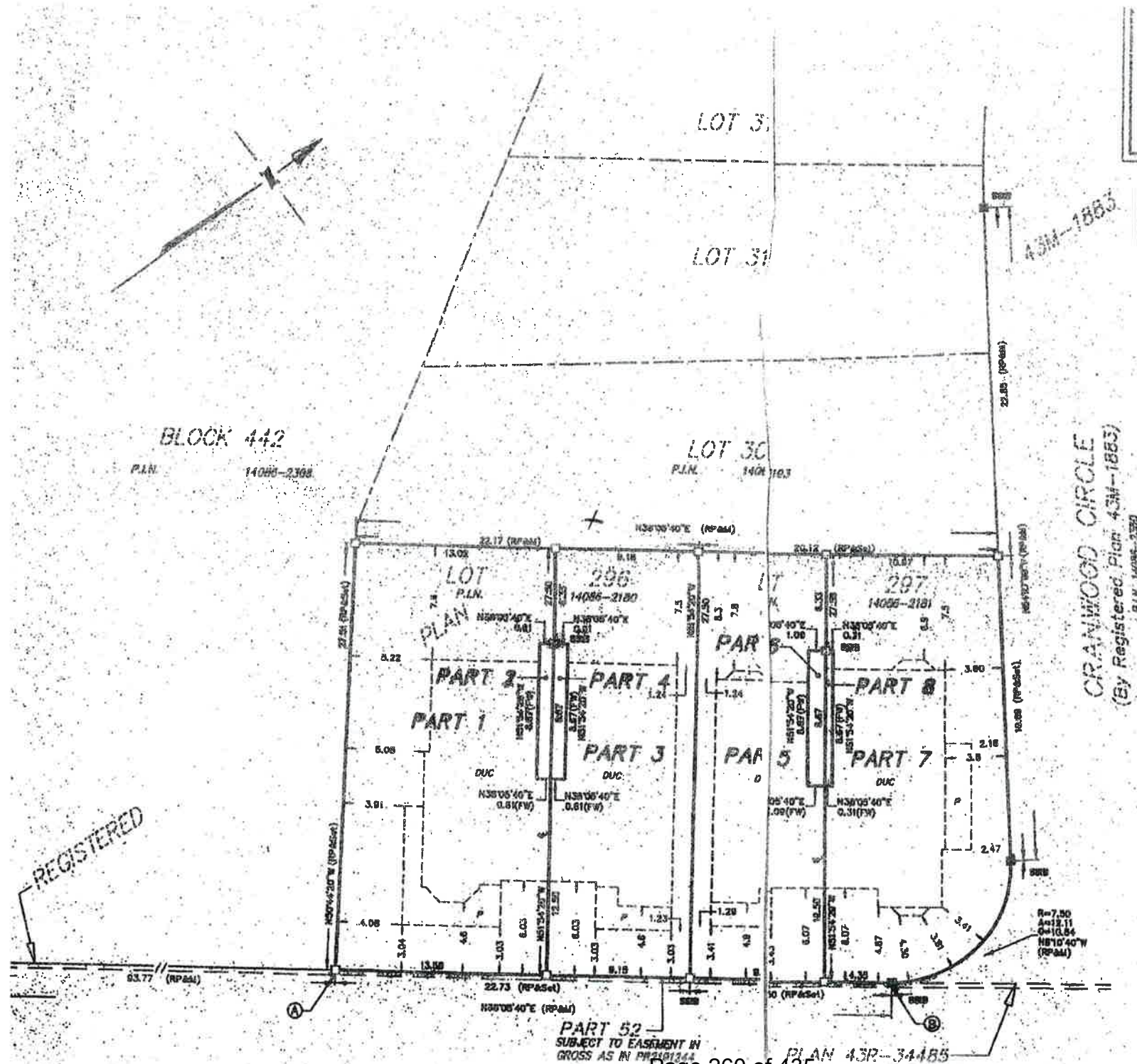
Revised 2022/02/17



NEIGHBOUR'S RESIDENCE
LOT 296R



0	ISSUED FOR PERMIT	MAY / 08 / 2023
NO	DESCRIPTION	DATE
PROJECT:		
PROPOSED ROOF STRUCTURE(CANOPY) AT 36 BONNIE BRAES DRIVE BRAMPTON, ON		
TITLE:		
SITE PLAN		
CHECKED:	DRAWING:	
DRAWN:	A1	
SCALE: 1:100		
DATE: MAY / 01 / 2023		



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **KIRANKUMAR PATEL AND PURVI PATEL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 116, Plan 43M-1931 municipally known as **10 DALKEITH COURT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a commercial school (tutoring classes for a maximum of seven students) as a home occupation whereas the by-law does not permit a home occupation where the occupation creates a nuisance.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

KEY PLAN

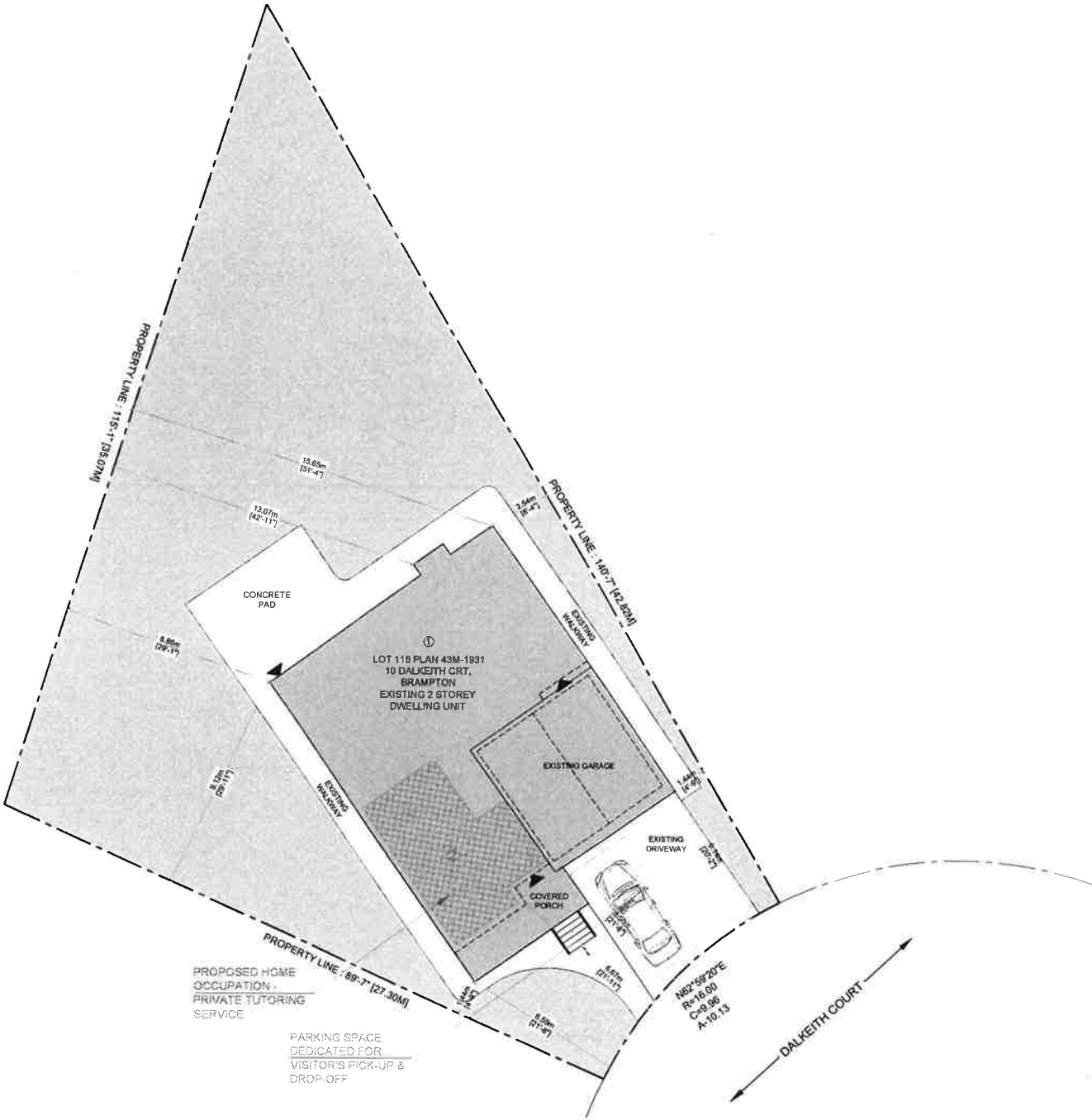


SCOPE OF WORK

- 1 EXISTING SINGLE FAMILY DETACHED HOUSE
TOTAL GFA: 2775 SFT / 257.89 SM
- 2 PROPOSED HOME OCCUPATION - PRIVATE TUTORING SERVICE
GFA: 304.87 SFT / 28.33 SM (10.98 %)
ALLOWABLE AREA: 15%
PARKING PROVIDED: YES
OPERATED BY: OWNER OF THE HOUSE
NO. OF EMPLOYEES: 0
SIGNAGE POSTED: NONE
CHANGES REQUIRED: NONE
TO EXISTING DWELLING UNIT

LEGEND

- PROPERTY LINE
- ENTRANCE & EGRESS



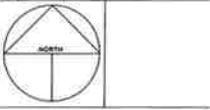
1 SITE PLAN
A-001 SCALE : 1/16" = 1'-0"

RELEASED FOR BUILDING PERMIT
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES (IF ANY) TO THE CONSULTANTS BEFORE CONSTRUCTION.
ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT'S FIRM.
IF THIS PRINT IS NOT SIGNED BY THE ARCHITECT'S FIRM, IT IS A REDUCED & ENLARGED PRINT. READ DRAWING ACCORDINGLY.

COPYRIGHT RESERVED

THE COPYRIGHT TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ARCHITECTS. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ARCHITECT IS PROHIBITED.

NO.	DATE	REVISION / ISSUED
01	2023-05-24	SCHEMATIC LAYOUT
02	2023-05-25	MV APPLICATION



OWNERS

KIRAN PATEL & PURVI PATEL

ARCHITECT

C-Architecture Ltd
10368 WINSTON CHURCHILL BLVD,
HALTON HILLS ON L7G 4S7
c: 647.741.5917, e: info@c-archi.com
SEAL



HOME
OCCUPATION
(MV APPL)

10 DALKEITH CRT,
BRAMPTON

SITE PLAN

SCALE: 1/16" = 1'-0"
DATE: 2023.05.02
PROJECT: 23-048
DRAWING NO:

A-001

REVISION: 00

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

May 16, 2023

To

Chairman and Members - Committee of Adjustment

City of Brampton

2 Wellington St W, Brampton, ON L6Y 1M8

Phone (905) 874-2117 | Fax (905) 874-2111

A-2023-0163

Re: Minor Variance Application - Home Occupation (Private Tutoring Service)

Dear Committee Members,

Purvi Patel – one of the owners of the subject property, is an engineer, passionate in teaching mathematics and science.

She had been a homemaker, for last 22 years in Canada. After Covid-19 pandemic, as a lot of community members around her struggled on different fronts, she experienced a lot of students were falling behind in their studies, primarily due to limited opportunities and absence of in-person learning opportunities. Due to her background as an education provider, she could not help but started providing online classes to these students – specifically for Maths and Science. And with her hard work she was able to make difference in report cards and educational goals of quite a few students.

After the relaxation in covid-19 protocols, she was able to extend her service to in-person private tutoring, as many students find it more convenient as opposed to online learning. This laid to the establishment of her home occupation of private tutoring. By not using outside rental space, Purvi can afford to keep her fees very reasonable – without enforcing a monthly due date.

Proposed home occupation, private tutoring, is within the guidelines provided by *Enforcement and By-law Services – City of Brampton*, as:

- It is not a restricted type of service.
- The area used for private tutoring is less than 15% of the total gross floor area of the house.
- It is secondary to the property's use as a residence.
- Parking is available.
- Operated by one of the owners.
- There will be no employees.
- There is no signage posting requirements.
- There will be no modifications required in existing dwelling unit.

The only non-complying aspect this home tutoring service is not able to meet is the number of visitors – which is limited to only one visitor at a time. We understand that this requirement is more for a business office being run from home where customers would come park their cars and stay for a while. In case of private tutoring, there is no such requirement for permanent parking space. Parents/guardians drop off their kids and then come after 90 minutes to pick them up. More over, about half of her students either walk to bike from within the neighbourhood.

She runs two classes per weekdays → 4:25pm to 5:55pm and 6:05pm to 7:35pm.
10 min of buffer time between two classes helps in regulating pickup and drop off.

Considering above scenario, we request Committee of Adjustment to allow for additional visitors – which are students in this specific case.

We have neighbours supporting us and their name, address and signoffs will be taken on the letter that will be circulated by City of Brampton during Minor Variance application process.

Thanks,

Handwritten signatures of Purvi Patel and Kirankumar Patel, separated by a vertical line.

Purvi Patel and Kirankumar Patel

Owners - 10 Dalkeith Crt, Brampton, ON L6Y 0H8

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) KIRANKUMAR PATEL / PURVI PATEL
Address 10 DALKEITH CRT, BRAMPTON, ON, L6Y5Y6

Phone # 416.602.0231 Fax #
Email kiranapp@gmail.com

2. Name of Agent M. ARSHAD SIDDIQUI
Address 10368 WINSTON CHURCHILL BLVD, HALTON HILLS ON L7G 4S7

Phone # 647.741.5917 Fax #
Email arshad@c-archi.com

3. Nature and extent of relief applied for (variances requested):
PROPOSED HOME OCCUPATION - PRIVATE TUTORING SERVICES MEETS ZONING BY-LAW IN TERMS OF AREA, NATURE OF BUSINESS AND MEETS ALL RESTRICTIONS AS IDENTIFIED BY ENFORCEMENT AND BY-LAW SERVICES.

MINOR VARIANCE IS REQUESTED FOR MORE THAN ONE VISITOR TO BE ALLOWED.

4. Why is it not possible to comply with the provisions of the by-law?
6-7 STUDENTS TYPICALLY ARE TAUGHT IN A GROUP / SESSION.
OWNER RUNS TWO CLASSES: WEEKDAYS → 4:25pm to 5:55pm AND 6:05pm TO 7:35pm.

5. Legal Description of the subject land:
Lot Number 116
Plan Number/Concession Number PLAN M1931
Municipal Address 10 DALKEITH CRT, BRAMPTON, ON, L6Y5Y6

6. Dimension of subject land (in metric units)
Frontage 9.96 M
Depth 42.82 M
Area 677.45 SM

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

MAIN RESIDENTIAL BUILDING : 260.22 SM GFA

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NA

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.14 M
Rear yard setback	8.86 M
Side yard setback	1.44 M
Side yard setback	1.44 M

PROPOSED

Front yard setback	6.14 M
Rear yard setback	8.86 M
Side yard setback	1.44 M
Side yard setback	1.44 M

10. Date of Acquisition of subject land: 2015
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL - HOME OCCUPATION
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2015
15. Length of time the existing uses of the subject property have been continued: 8 YEARS

16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|--------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) NA |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|--------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) NA |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|--------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) NA |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # NA Status NA

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>
File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>
File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>

M. Arshad Siddiqui

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 23rd DAY OF MAY, 20 23

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, M. ARSHAD SIDDIQUI, OF THE TOWN OF HALTON HILLS

IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON
IN THE REGION OF PEEL
THIS 23rd DAY OF MAY, 20 23

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

M. Arshad Siddiqui

Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

MAY 23, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

KEY PLAN



SCOPE OF WORK

- ① EXISTING SINGLE FAMILY DETACHED HOUSE
TOTAL GFA: 2775 SFT / 257.89 SM
- ② PROPOSED HOME OCCUPATION - PRIVATE TUTORING SERVICE
GFA: 304.87 SFT / 28.33 SM (10.98 %)
ALLOWABLE AREA: 15%
PARKING PROVIDED: YES
OPERATED BY: OWNER OF THE HOUSE
NO. OF EMPLOYEES: 0
SIGNAGE POSTED: NONE
CHANGES REQUIRED: NONE
TO EXISTING DWELLING UNIT

LEGEND

- PROPERTY LINE
- ENTRANCE & EGRESS



1
A-001
SITE PLAN
SCALE : 1/16" = 1'-0"

RELEASED FOR BUILDING PERMIT

CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANTS BEFORE CONSTRUCTION

ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT'S FIRM

IF THIS SHEET IS NOT 11" X 17" IT IS A REDUCED / ENLARGED PRINT READ DRAWING ACCORDINGLY

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NO.	DATE	REVISION / ISSUED
01	2023.05.09	SCHEMATIC LAYOUT
02	2023.05.23	MV APPLICATION

OWNERS

KIRAN PATEL & PURVI PATEL

ARCHITECT

C-Architecture Ltd

10365 WINSTON CHURCHILL BLVD,
HALTON HILLS ON L7G 4S7
c: 647.741.5917, e: info@cc-archi.com

SEAL

HOME OCCUPATION (MV APPL)

10 DALKEITH CRT,
BRAMPTON

SITE PLAN

SCALE: 1/16" = 1'-0"

DATE: 2023.05.02

PROJECT: 23-048

DRAWING NO:

A-001

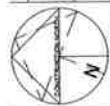
REVISION: 00

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND REPORTING TO THE CONSULTANT ALL INFORMATION REQUIRED FOR THE CONSTRUCTION OF THE PROJECT. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF THE PROJECT. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT / P.E. IF THE SHEET IS NOT 11" X 17" IT IS A REDUCED SCALE DRAWING. PLEASE PRINT READ DRAWING ACCORDINGLY.

COPYRIGHT RESERVED

THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ARCHITECT. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ARCHITECT IS PROHIBITED.

NO.	DATE	REVISION / ISSUED
01	2022.05.09	SCHEMATIC LAYOUT
02	2023.05.21	REV APPLICATION



OWNERS

KIRAN PATEL &
PURVI PATEL

ARCHITECT



C-Architecture Ltd

10368 WINSTON CHURCHILL BLVD,
HALTON HILLS ON L7G 4S7

c: 647.741.5917, e: info@c-archi.com

SEAL

HOME
OCCUPATION
(MV APPL)10 DALKEITH CRT,
BRAMPTON

MAIN FLOOR PLAN

SCALE: $\frac{3}{16}" = 1'-0"$

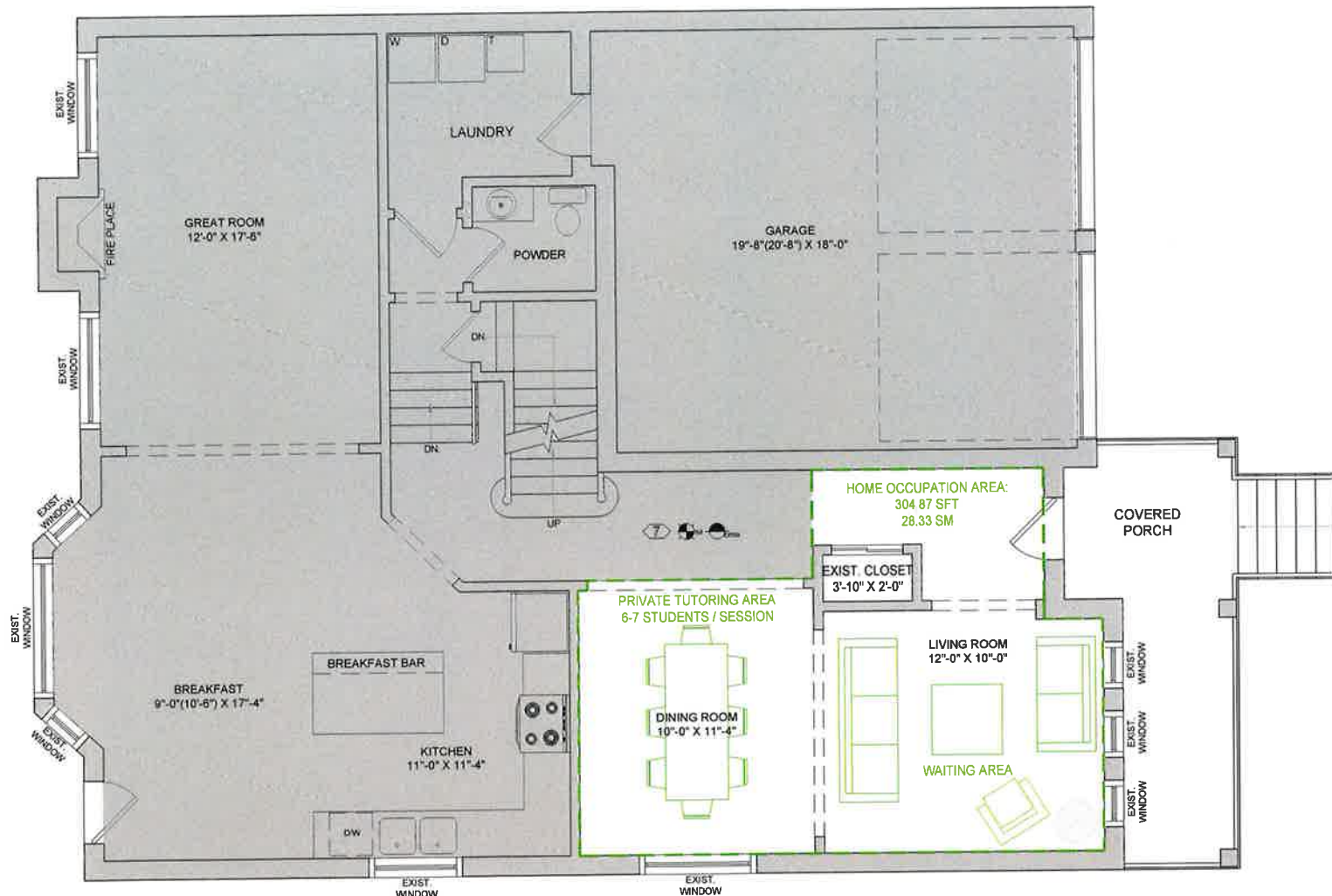
DATE: 2023.05.02

PROJECT: 23-048

DRAWING NO:

A-101

REVISION: 00

1 MAIN FLOOR - EXISTING LAYOUT
A-103 SCALE: $\frac{3}{16}" = 1'-0"$

LEGEND:

- EXHAUST FAN
- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS. REFER TO A-403 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING STEEL & WOODEN POSTS
- HARD WIRED SMOKE DETECTOR (INTERCONNECTED)
- CARBON MONOXIDE ALARM

MAIN FLOOR PLAN

MAIN FLOOR AREA: 1243.61 SFT / 115.57SM

GARAGE AREA: 393.31 SFT / 36.55 SM

TOTAL MAIN FLOOR AREA: 1,636.92 SFT / 152.13 SM

HOME OCCUPATION AREA: 304.87 SFT / 28.33 SM



APPLICATION # A-2023-0164
WARD #1

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **SATINDER SINGH CHATHA, SATWINDER KAUR CHATHA, AVTAR CHATHA AND DALJIT CHATHA** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 129, Plan 43M-1613 municipally known as **1 ANTLER DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit an existing driveway width of 9.91m (32.51 ft) whereas the by-law permits a maximum driveway width of 7.32m (24 ft);
2. To permit 0.0m of permeable landscaping abutting the property line whereas the by-law requires a minimum 0.6m (1.97 ft) of permeable landscaping abutting the property line.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

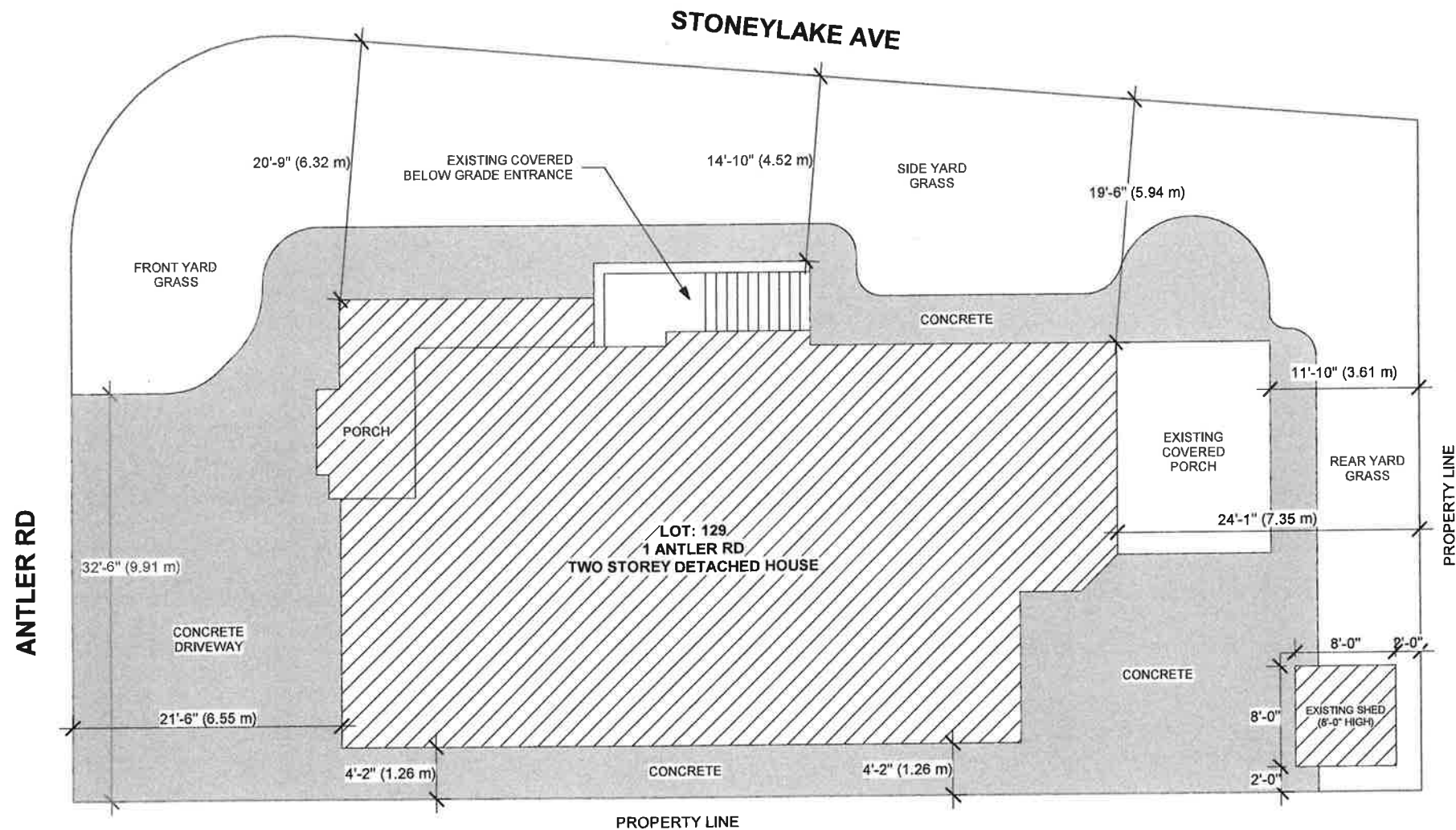
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

MINOR VARIANCE

-TO PERMIT A DRIVEWAY WIDTH OF 9.91M (32.51 FT.) WHEREAS THE BY-LAW PERMITS A
MAXIMUM DRIVEWAY WIDTH OF 7.32M (24 FT.);

-TO PERMIT 0.0M OF PERMEABLE LANDSCAPING ABUTTING THE PROPERTY LINE WHEREAS
THE BY-LAW REQUIRES A MINIMUM 0.6M (1.97 FT.) OF PERMEABLE LANDSCAPING ABUTTING
THE PROPERTY LINE.



SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS
ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED
INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND
REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

01 ISSUED FOR PERMIT MAY 17/23

ADDRESS:
1 ANTLER RD,
BRAMPTON, ON.

DRAWN BY: NK CHECKED BY: TR
PROJECT NUMBER: 23R-27867

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: MAY 17/23
SCALE: 1 : 110
DRAWING: A-1

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER:

A-2023-0164

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE:

It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) SATINDER SINGH CHATHA

Address 1 ANTLER RD. BRAMPTON, ON. L6V 4R1

Phone # 647-289-0047

Email chatha.satinder51@gmail.com

Fax #

2. Name of Agent NAVPREET KAUR (NOBLE PRIME SOLUTIONS LTD)

Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON. L6S 5Z4

Phone # 437-888-1800

Email applications@nobleltd.ca

Fax #

3. Nature and extent of relief applied for (variances requested):

-TO PERMIT A DRIVEWAY WIDTH OF 9.91M (32.51 FT.) WHEREAS THE BY-LAW PERMITS A MAXIMUM DRIVEWAY WIDTH OF 7.32M (24 FT.)

-TO PERMIT 0.0M OF PERMEABLE LANDSCAPING ABUTTING THE PROPERTY LINE WHEREAS THE BY-LAW REQUIRES A MINIMUM 0.6M (1.97 FT.) OF PERMEABLE LANDSCAPING ABUTTING THE PROPERTY LINE.

4. Why is it not possible to comply with the provisions of the by-law?

-THE BY-LAW PERMITS A MAXIMUM DRIVEWAY WIDTH OF 7.32M (24 FT.) WHEREAS A DRIVEWAY WIDTH OF 9.91M (32.51 FT.) IS PROPOSED.

- THE BY-LAW REQUIRES A MINIMUM 0.6M (1.97 FT.) OF PERMEABLE LANDSCAPING ABUTTING THE PROPERTY LINE WHEREAS 0.0M OF PERMEABLE LANDSCAPING ABUTTING THE PROPERTY LINE IS PROPOSED.

5. Legal Description of the subject land:

Lot Number 129

Plan Number/Concession Number M1613

Municipal Address 1 ANTLER RD, BRAMPTON, ON, L6V 4R1

6. Dimension of subject land (in metric units)

Frontage 17.8 M

Depth 33 M

Area 573.11 SQM

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

TWO STOREY DETACHED HOUSE WITH AREA OF 535 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED DRIVEWAY EXTENSION

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.55M
Rear yard setback	3.61M
Side yard setback	4.52M
Side yard setback	1.26M

PROPOSED

Front yard setback	6.55M
Rear yard setback	3.61M
Side yard setback	4.52M
Side yard setback	1.26M

10. Date of Acquisition of subject land: 29 AUGUST, 2019
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2005
15. Length of time the existing uses of the subject property have been continued: 18 YEARS

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Navpreet Kaur

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 23rd DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JAYTESH BHALLA, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF Brampton

IN THE Region OF

Peel THIS 23rd DAY OF

May, 2023

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED MAY 23, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

-TO PERMIT A DRIVEWAY WIDTH OF 9.91M (32.51 FT.) WHEREAS THE BY-LAW PERMITS A MAXIMUM DRIVEWAY WIDTH OF 7.32M (24 FT.);

-TO PERMIT 0.0M OF PERMEABLE LANDSCAPING ABUTTING THE PROPERTY LINE WHEREAS THE BY-LAW REQUIRES A MINIMUM 0.6M (1.97 FT.) OF PERMEABLE LANDSCAPING ABUTTING THE PROPERTY LINE.



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.

CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

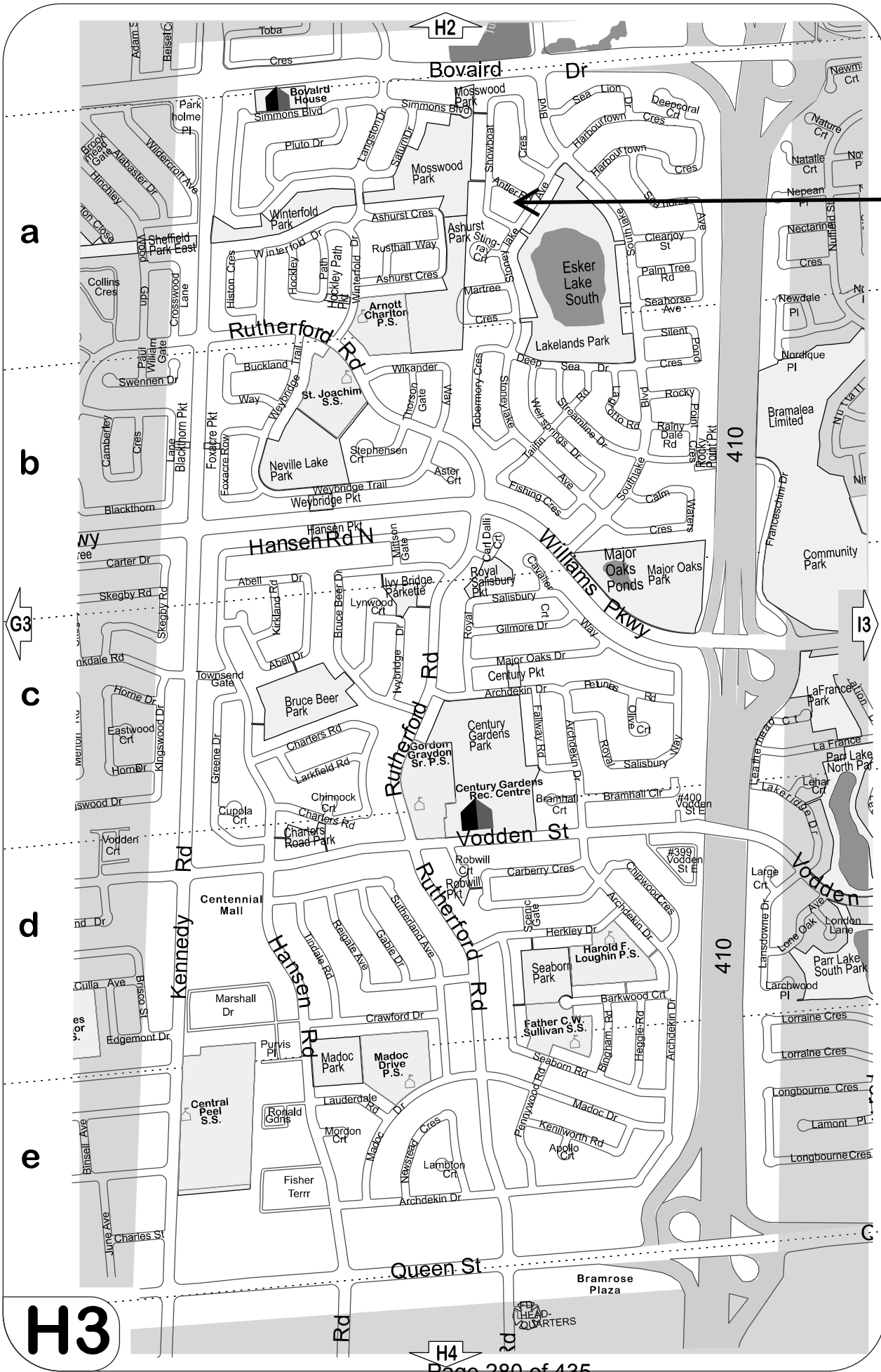
01	ISSUED FOR PERMIT	MAY 17/23
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1 ANTLER RD,
BRAMPTON, ON.

DRAWN BY: NK	CHECKED BY: TR
PROJECT NUMBER:	23R-27867

**NOBLE PRIME
SOLUTIONS LTD**
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: MAY 17/23	A-1
SCALE: 1 : 110	



APPLICATION # A-2023-0165
WARD #10

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **RAVINDER SINGH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Block 110, Plan 43M-1810, Parts 9 and 10, Plan 43R-34577 municipally known as **86 CLEARFIELD DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance in the required interior side yard whereas the by-law does not permit a below grade entrance in the required interior side yard;
2. To permit an interior side yard setback of 0.97m (3.18 ft) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

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PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

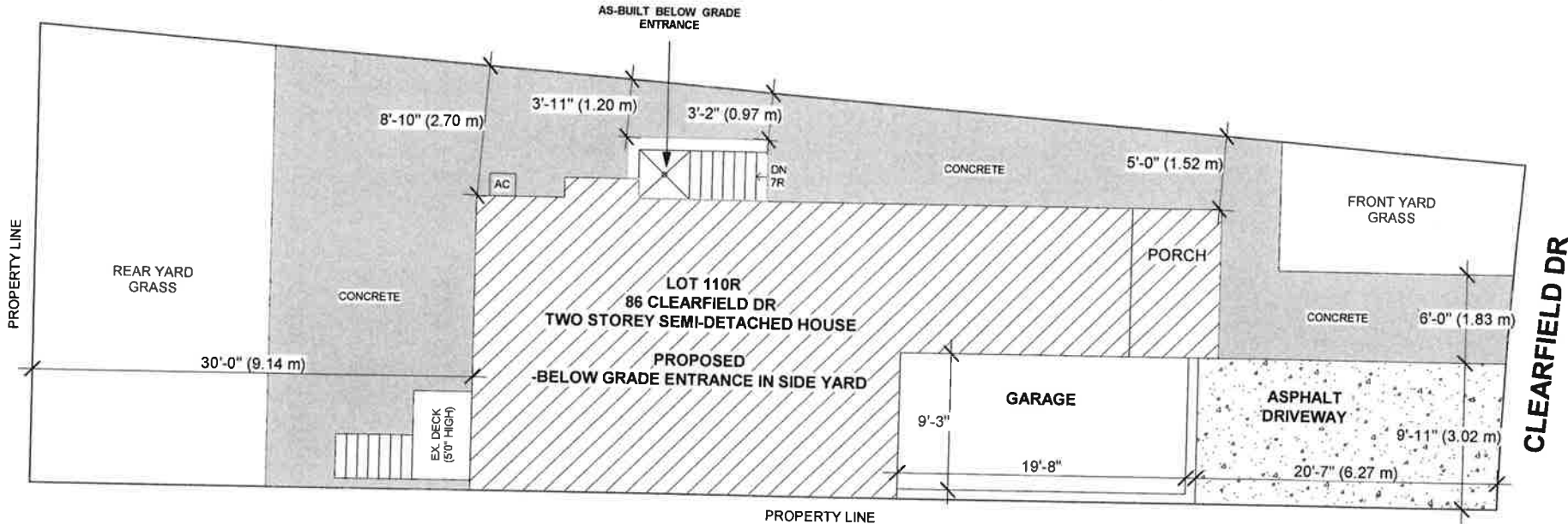
DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

MINOR VARIANCE

- TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD;
- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.97M WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.).



SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

01: ISSUED FOR VARIANCE MAY 17/23

ADDRESS:
86 CLEARFIELD DR,
BRAMPTON, ON.

DRAWN BY: BP CHECKED BY: TR
PROJECT NUMBER: 20R-21014

NOBLE PRIME SOLUTIONS LTD
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: MAY 17/23
SCALE: 1/4" = 1'-0"
DWG NO.: A-1

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

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You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

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<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

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For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0165

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) RAVINDER SINGH
Address 86 CLEARFIELD DR. BRAMPTON, ON, L6P 3J4

Phone # 416-278-0548 Fax # _____
Email rvinder21@gmail.com

2. Name of Agent NAVPREET KAUR (NOBLE PRIME SOLUTIONS LTD)
Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON, L6S 5Z4

Phone # 437-888-1800 Fax # _____
Email applications@nobleltd.ca

3. Nature and extent of relief applied for (variances requested):
-TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD;
-TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.97M WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.)

4. Why is it not possible to comply with the provisions of the by-law?
-THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD WHEREAS A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD IS PROPOSED.
-THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.) WHEREAS A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING

5. Legal Description of the subject land:
Lot Number 110R
Plan Number/Concession Number M1810 BLK 110R PLAN M1858 BLK 33R
Municipal Address 86 CLEARFIELD DR, BRAMPTON, ON, L6P 3J4

6. Dimension of subject land (in metric units)
Frontage 8.32M
Depth 30.88M
Area 255.1SQM

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

TWO STOREY SEMI-DETACHED HOUSE WITH AREA OF 157.96 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

BELOW GRADE ENTRANCE IN SIDE YARD

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.27M
Rear yard setback	9.14M
Side yard setback	0
Side yard setback	1.52M

PROPOSED

Front yard setback	6.27M
Rear yard setback	9.14M
Side yard setback	0
Side yard setback	0.97M

10. Date of Acquisition of subject land: 2013
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2013
15. Length of time the existing uses of the subject property have been continued: 10 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Navpreet Kaur
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 23rd DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JIVTESH BHAILA, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 23rd DAY OF
May, 2023

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R2E-7.2

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]
Zoning Officer

May 19, 2023

Date

DATE RECEIVED

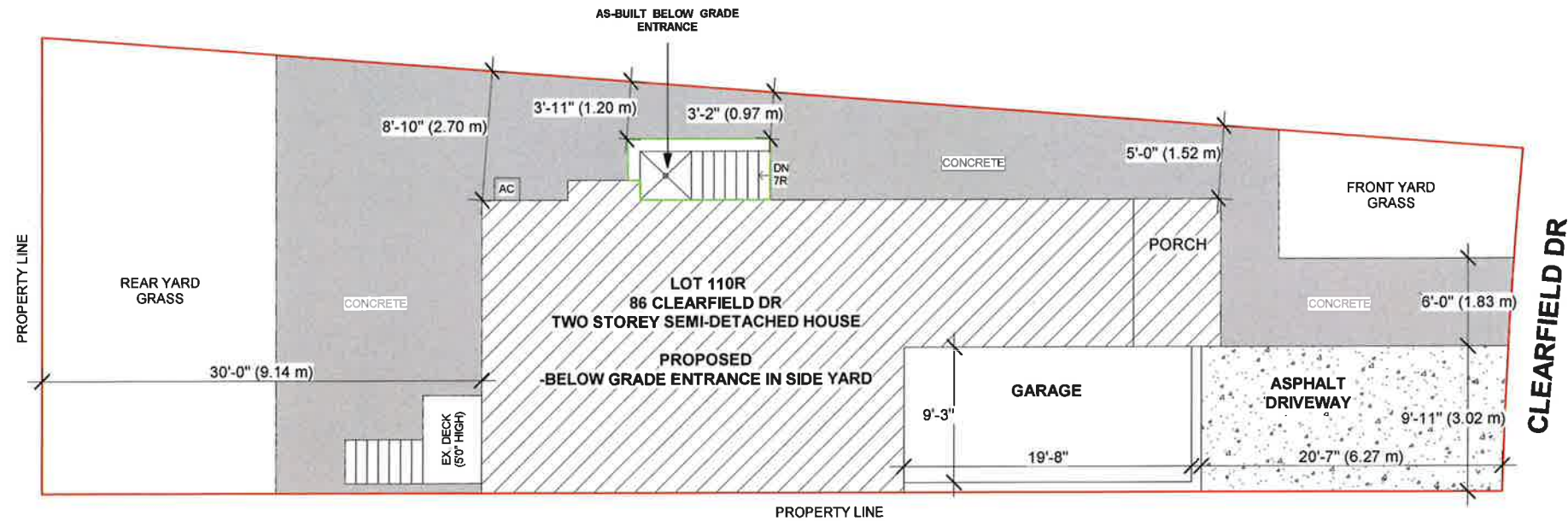
MAY 23, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

MINOR VARIANCE

- TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD;
- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.97M WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.).



SITE PLAN

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION.
CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

STAMP

01 ISSUED FOR VARIANCE MAY 17/23

ADDRESS:
86 CLEARFIELD DR,
BRAMPTON, ON.

DRAWN BY: BP CHECKED BY: TR
PROJECT NUMBER: 20R-21014

NOBLE PRIME SOLUTIONS LTD
2131 WILLIAMS PARKWAY
UNIT 19,
BRAMPTON, ON
info@nobleltd.ca
(437) 888 1800

DATE: MAY 17/23 SCALE: 1 : 100
DRAWN BY: A-1



A-2023-0165

APPLICATION # A-2023-0166
WARD #6

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **PARAMPAL SINGH JANDU AND AMANDEEP KAUR SANDHU** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 2, Plan 43M-2045 municipally known as **48 EMERALD COAST TRAIL**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance in the required interior side yard whereas the by-law does not permit a below grade entrance in the required interior side yard;
2. To permit an interior side yard setback of 0.01m (0.03 ft) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

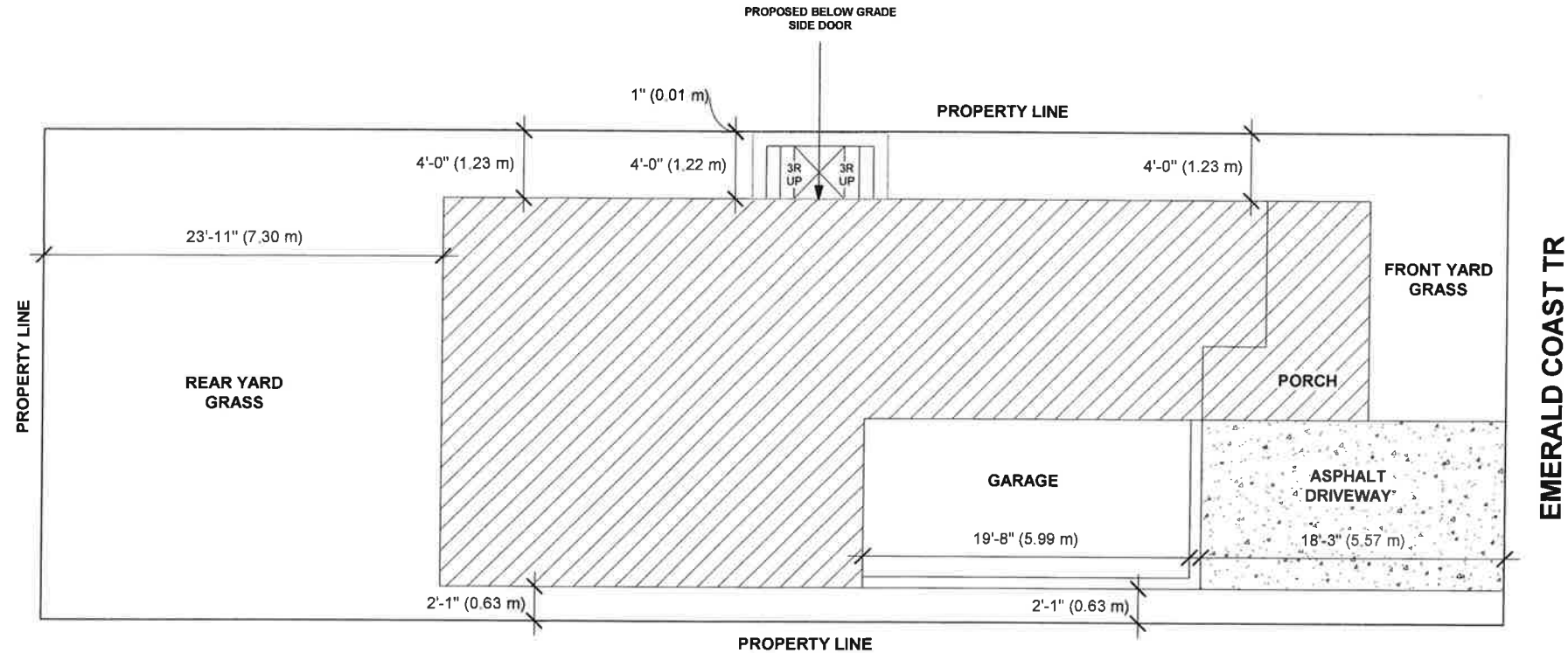
Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

LOT : 2
48 EMERALD COAST TR
2 STOREY DETACHED HOUSE

MINOR VARIANCE

-TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW
DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD;

- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.01M
WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.);



SITE PLAN

STAMP

01 ISSUED FOR VARIANCE MAY 16/23

ADDRESS
48 EMERALD COAST TR,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB
PROJECT NUMBER: 23R-27898

**NOBLE PRIME
SOLUTIONS LTD**

2131 WILLIAMS PARKWAY
BRAMPTON, ON
UNIT 19

(437)-888-1800

DATE: MAY 16/23

SCALE: 1 : 90

DWG NO:
A-1

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** PARAM PAL SINGH JANDU & AMANDEEP KAUR JANDU
Address 48 EMERALD COAST TRAIL, BRAMPTON, ON, L7A 5A7

Phone # 647-472-0750 **Fax #** _____
Email param_jandu@yahoo.com

2. **Name of Agent** NAVPREET KAUR (NOBLE PRIME SOLUTIONS LTD)
Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON, L6S 5Z4

Phone # 437-888-1800 **Fax #** _____
Email applications@nobleltd.ca

3. **Nature and extent of relief applied for (variances requested):**
-TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD

-TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.01M WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.)

4. **Why is it not possible to comply with the provisions of the by-law?**
-THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD WHEREAS A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD IS PROPOSED.
-THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.) WHEREAS A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING

5. **Legal Description of the subject land:**
Lot Number 2 _____
Plan Number/Concession Number M2045
Municipal Address 48 EMERALD COAST TRAIL, BRAMPTON, ON, L7A 5A7

6. **Dimension of subject land (in metric units)**
Frontage 9.15 M
Depth 27.03 M
Area 247.32 SQM

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE WITH AREA OF 232 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

BELOW GRADE ENTRANCE

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	5.57 M
Rear yard setback	7.30 M
Side yard setback	0.63 M
Side yard setback	1.23 M

PROPOSED

Front yard setback	5.57 M
Rear yard setback	7.30 M
Side yard setback	0.63 M
Side yard setback	0.01 M

10. Date of Acquisition of subject land: 25 MARCH, 2021

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: 1 JUNE, 2018

15. Length of time the existing uses of the subject property have been continued: 5 YEARS

16. (a) What water supply is existing/proposed?

Municipal	<input checked="" type="checkbox"/>	Other (specify) _____
Well	<input type="checkbox"/>	

(b) What sewage disposal is/will be provided?

Municipal	<input checked="" type="checkbox"/>	Other (specify) _____
Septic	<input type="checkbox"/>	

(c) What storm drainage system is existing/proposed?

Sewers	<input checked="" type="checkbox"/>	Other (specify) _____
Ditches	<input type="checkbox"/>	
Swales	<input type="checkbox"/>	

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Navpreet Kaur
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 23rd DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JAYTESH BHAILA, OF THE CITY OF BRAMPTON
IN THE Region OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 23rd DAY OF
May, 2023

Janie Ng
A Commissioner etc.

[Signature]
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1F - 2448

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHIS.

Zoning Officer

MAY 23 2023

Date

DATE RECEIVED MAY 23, 2023.

Date Application Deemed
Complete by the Municipality

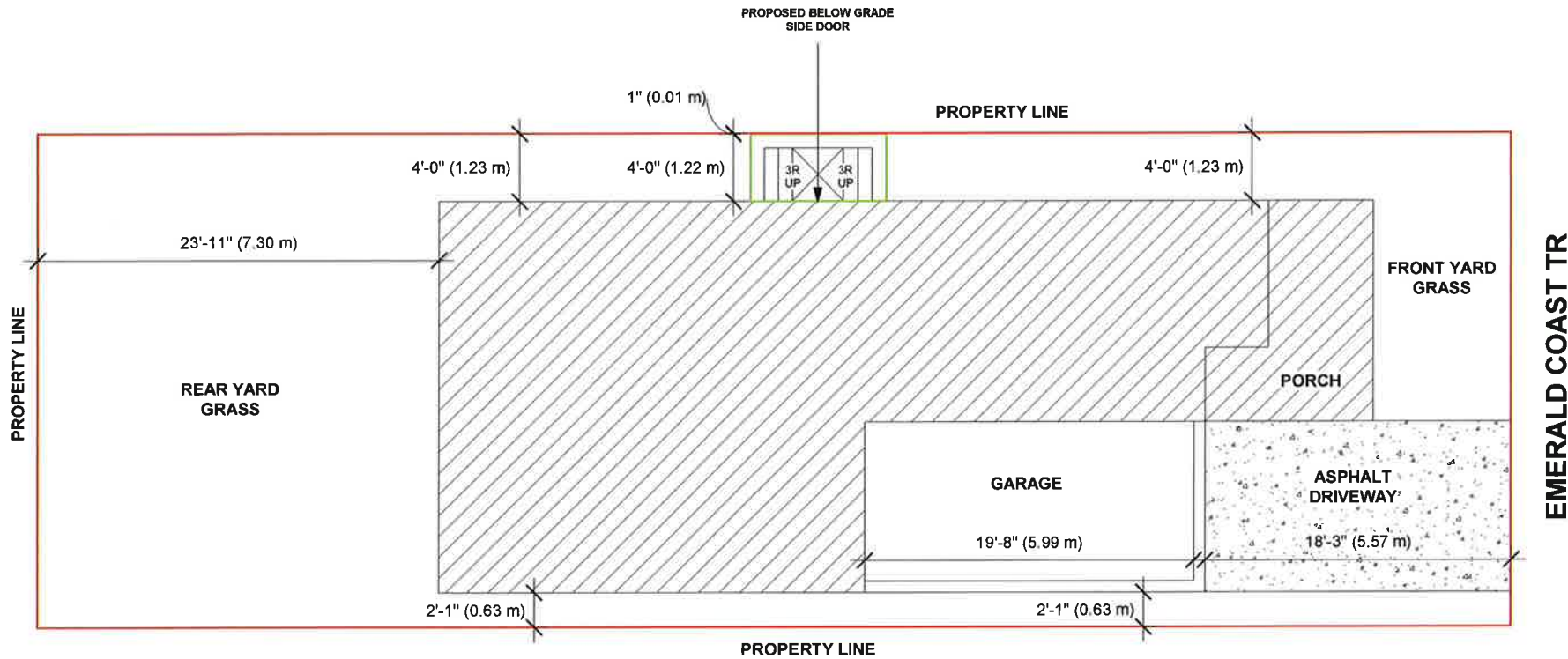
Revised 2022/02/17

LOT : 2
48 EMERALD COAST TR
2 STOREY DETACHED HOUSE

MINOR VARIANCE

-TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW
DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD;

- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.01M
WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.);



SITE PLAN

STAMP

01 ISSUED FOR VARIANCE MAY 18/23

ADDRESS:
48 EMERALD COAST TR,
BRAMPTON, ON

DRAWN BY: NK CHECKED BY: JB

PROJECT NUMBER: 23R-27898

**NOBLE PRIME
SOLUTIONS LTD**

2131 WILLIAMS PARKWAY
BRAMPTON, ON
UNIT 19

(437)-888-1800

DATE: MAY 16/23 QMS No.

SCALE: 1 : 90 A-1

A-2023-0166

a

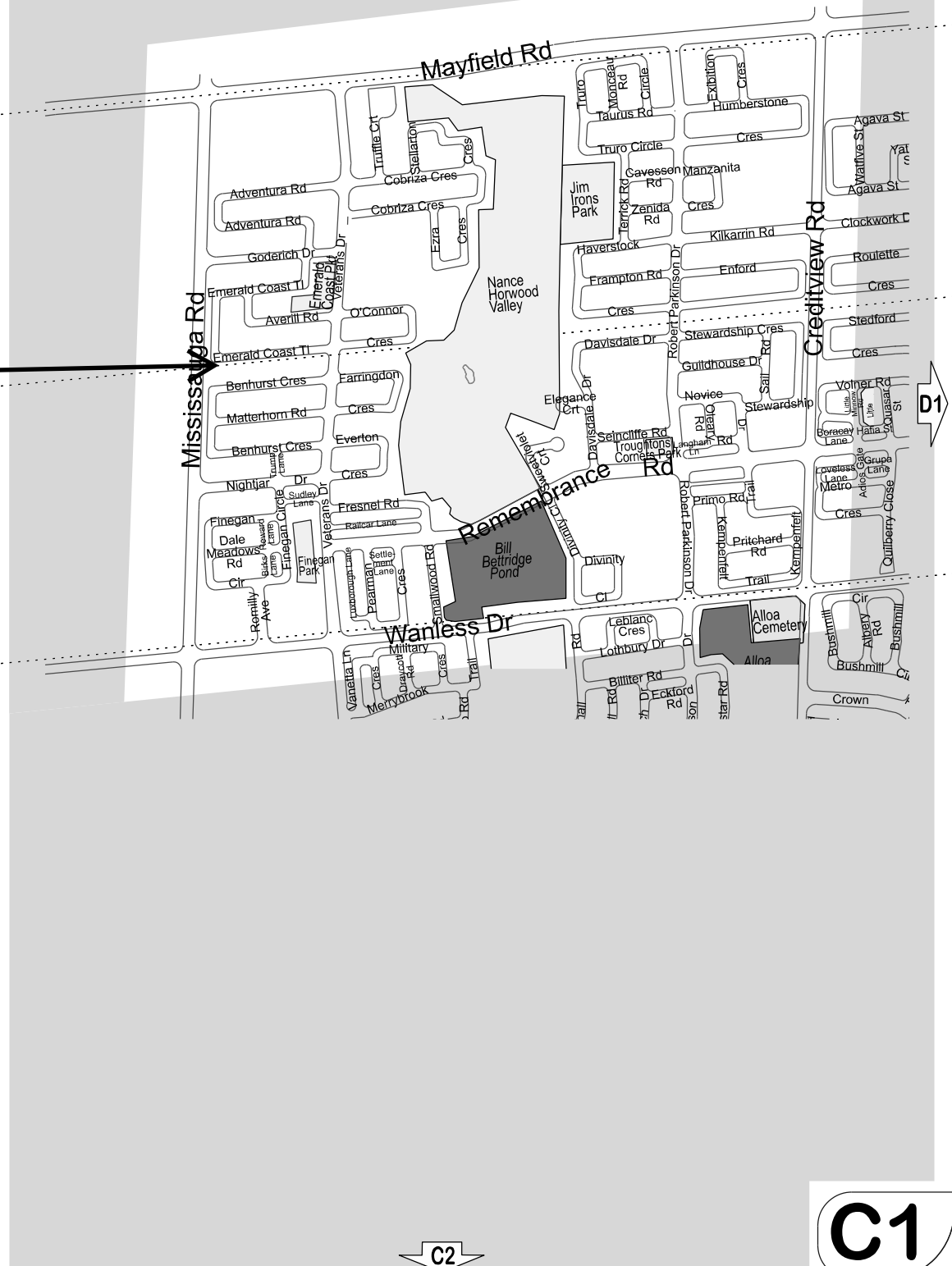
b

B1

D1

C2

C1



APPLICATION # A-2023-0167
WARD #9

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **RANJEET KAUR AND GURPREET SINGH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 103, Plan M-1232 municipally known as **50 GREAT PLAINS STREET**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance in the required interior side yard whereas the by-law does not permit a below grade entrance in the required interior side yard;
2. To permit an interior side yard setback of 0.02m (0.07 ft) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

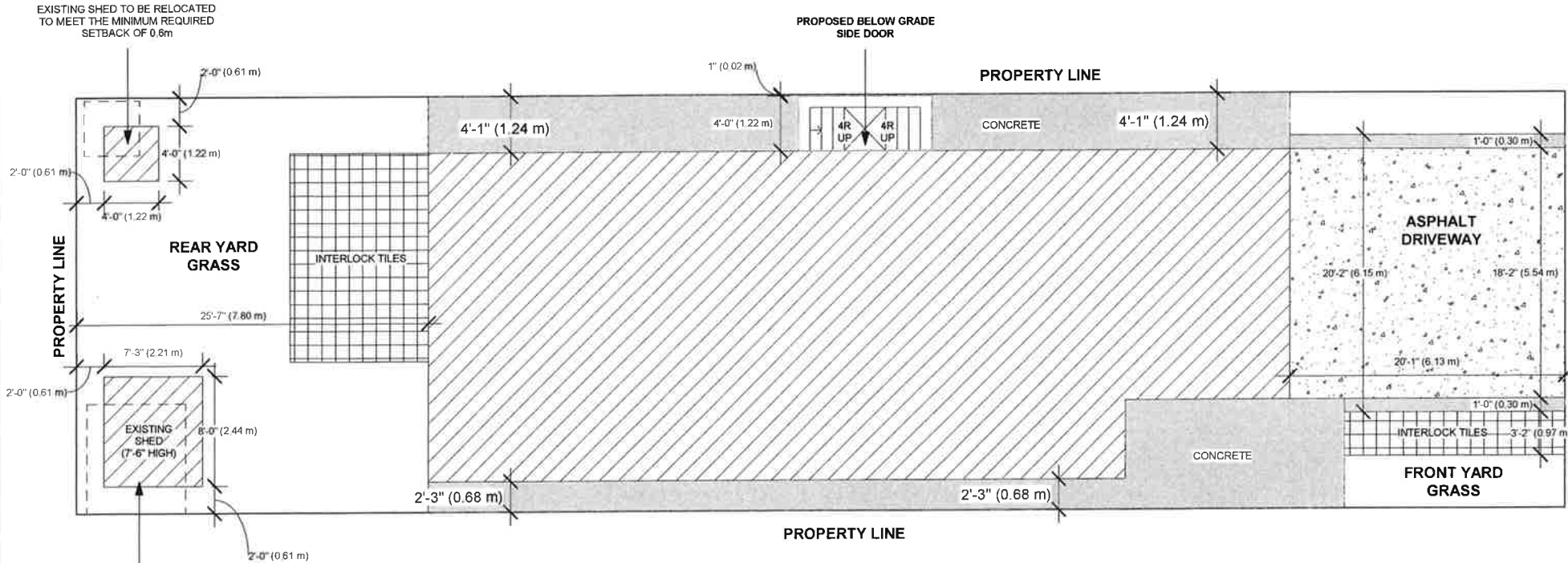
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

LOT : 103
50 GREAT PLAINS ST
2 STOREY DETACHED HOUSE

MINOR VARIANCE

- TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD;
- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.02M WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.);



GREAT PLAINS ST

SITE PLAN

01 ISSUED FOR VARIANCE		MAY 16/23	
ADDRESS: 50 GREAT PLAINS ST, BRAMPTON, ON			
DRAWN BY: NK		CHECKED BY: JB	
PROJECT NUMBER:		23R-27871	
NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY BRAMPTON, ON UNIT 19 (437)-888-1800			
DATE: MAY 16/23		DWG. NO.:	
SCALE: 1 : 100		A-1	

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
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You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

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<http://video.isilive.ca/brampton/live.html> .

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NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0167

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** GURPREET SINGH & RANJEET KAUR
Address 50 GREAT PLAINS ST. BRAMPTON, ON. L6R 1Z6

Phone # 431-374-1786 **Fax #** _____
Email GRANJEET5@GMAIL.COM & GURPREETRANJEET5@GMAIL.COM

2. **Name of Agent** NAVPREET KAUR (NOBLE PRIME SOLUTIONS LTD)
Address UNIT#19, 2131 WILLIAMS PARKWAY, BRAMPTON, ON. L6S 5Z4

Phone # 437-888-1800 **Fax #** _____
Email applications@nobleltd.ca

3. **Nature and extent of relief applied for (variances requested):**

-TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD

-TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.02M WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.)

4. **Why is it not possible to comply with the provisions of the by-law?**

-THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD WHEREAS A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD IS PROPOSED.

-A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD WHEREAS A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.02M

5. **Legal Description of the subject land:**
Lot Number 103
Plan Number/Concession Number M1232
Municipal Address 50 GREAT PLAINS ST, BRAMPTON, ON, L6R 1Z6

6. **Dimension of subject land (in metric units)**
Frontage 9.15 M
Depth 33 M
Area 301.95 SQM

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE WITH AREA OF 232.2 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

BELOW GRADE ENTRANCE

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.13 M
Rear yard setback	7.80 M
Side yard setback	0.68M
Side yard setback	1.24 M

PROPOSED

Front yard setback	6.13 M
Rear yard setback	7.80 M
Side yard setback	0.68M
Side yard setback	0.02 M

10. Date of Acqusltion of subject land: 2023
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1997
15. Length of time the existing uses of the subject property have been continued: 26 YEARS

16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Navpreet Kaur

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 23rd DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JYTESH BHALA OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 23rd DAY OF

May, 2023

A Commissioner etc.

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1D - 734

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHI S.

Zoning Officer

MAY 19 2023

Date

DATE RECEIVED MAY 23, 2023

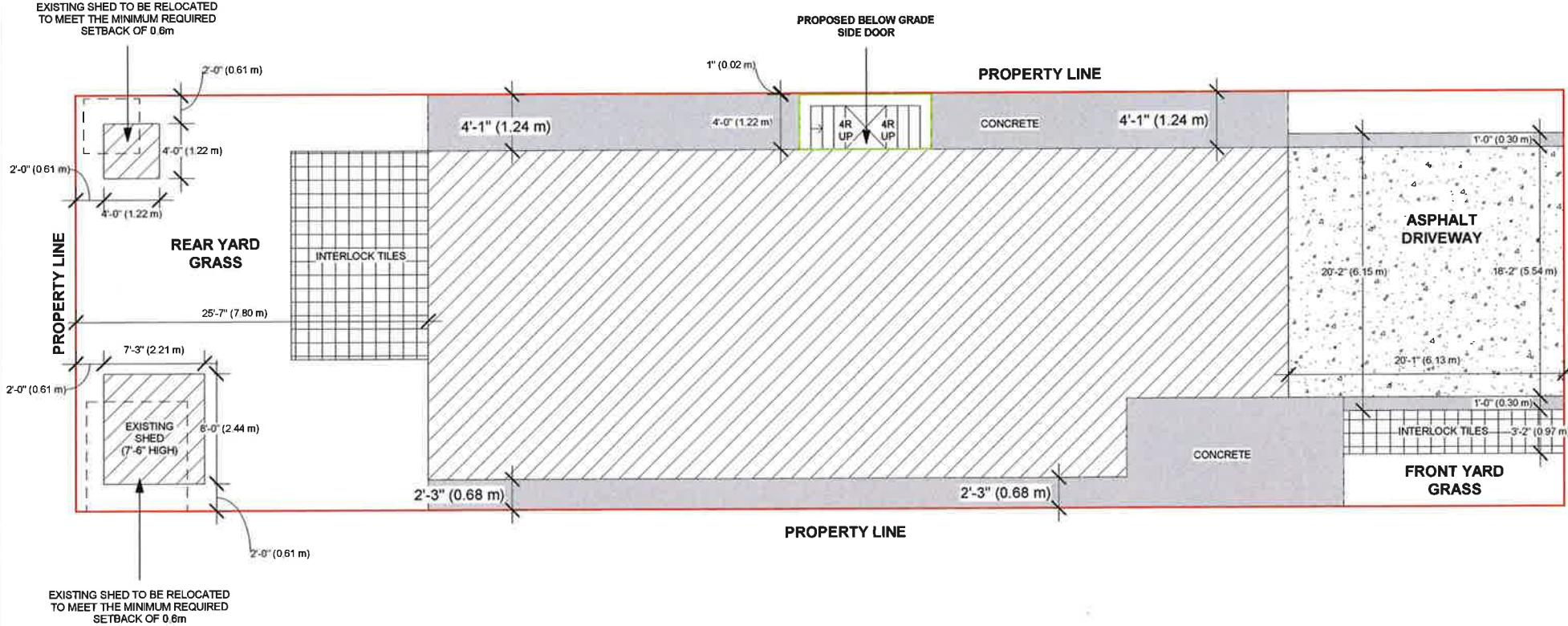
Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

LOT : 103
50 GREAT PLAINS ST
2 STOREY DETACHED HOUSE

MINOR VARIANCE

- TO PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD, WHEREAS THE BY-LAW DOES NOT PERMIT A BELOW GRADE ENTRANCE IN THE REQUIRED INTERIOR SIDE YARD;
- TO PERMIT A BELOW GRADE ENTRANCE IN THE INTERIOR SIDE YARD HAVING A SETBACK OF 0.02M WHEREAS THE BY-LAW REQUIRES A MINIMUM INTERIOR SIDE YARD SETBACK OF 1.2M (3.94 FT.);



GREAT PLAINS ST

SITE PLAN

STAMP	
01 ISSUED FOR VARIANCE MAY 16/23	
ADDRESS: 50 GREAT PLAINS ST, BRAMPTON, ON	
DRAWN BY: NK	CHECKED BY: JB
PROJECT NUMBER: 23R-27871	
NOBLE PRIME SOLUTIONS LTD 2131 WILLIAMS PARKWAY BRAMPTON, ON UNIT 19 (437)-888-1800	
DATE: MAY 16/23	DWG. NO.: A-1
SCALE: 1 : 100	

DOCUMENTS RELEASED PURSUANT TO A REQUEST
UNDER THE
MUNICIPAL FREEDOM OF INFORMATION AND
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
USE AND REPRODUCTION OF THESE DOCUMENTS



NOTE:
ALL FOUND MONUMENTS ARE BY
J. J. BARNES LTD., O.L.S.
UNLESS OTHERWISE SHOWN

THIS REPORT WAS PREPARED FOR
CEDAR FOREST HOMES INC.
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY
OTHER PARTIES

PART 2) SURVEY REPORT
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
NO EASEMENTS OR RIGHT OF WAYS ARE REGISTERED.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
ALL DWELLINGS COMPLY WITH MUNICIPAL ZONING
BY-LAW SETBACK REQUIREMENTS.

LEGEND

■ DENOTES SURVEY MONUMENT PLANTED
□ DENOTES SURVEY MONUMENT FOUND
SIB DENOTES STANDARD IRON BAR
IB DENOTES IRON BAR
WIT DENOTES WITNESS
OU DENOTES ORIGIN UNKNOWN
CC DENOTES CUT CROSS
S DENOTES SET
M DENOTES MEASURED
N DENOTES NOTES BY P.SALNA CO.LTD., O.L.S. DATED SEPTEMBER 15, 1997
PC DENOTES POINT OF CURVATURE

CF DENOTES CONCRETE FOUNDATION WALLS
TWE DENOTES TOP OF WALL ELEVATION
GSE DENOTES GARAGE SILL ELEVATION
PL DENOTES REGISTERED PLAN 43M-1232
BR DENOTES 2 STOREY BRICK DWELLING
• DENOTES FOUND TEMPORARY WITNESS MONUMENTS
BY P.SALNA CO.LTD., O.L.S.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
OF R.SALNA O.L.S.

NOTES

BEARINGS ARE ASTRONOMIC AND ARE
DERIVED FROM THE SOUTH WESTERLY
LIMIT OF GREAT PLAINS STREET
AS SHOWN ON PLAN 43M-1232
HAVING A BEARING OF N 45°11'20" W

GREAT PLAINS STREET

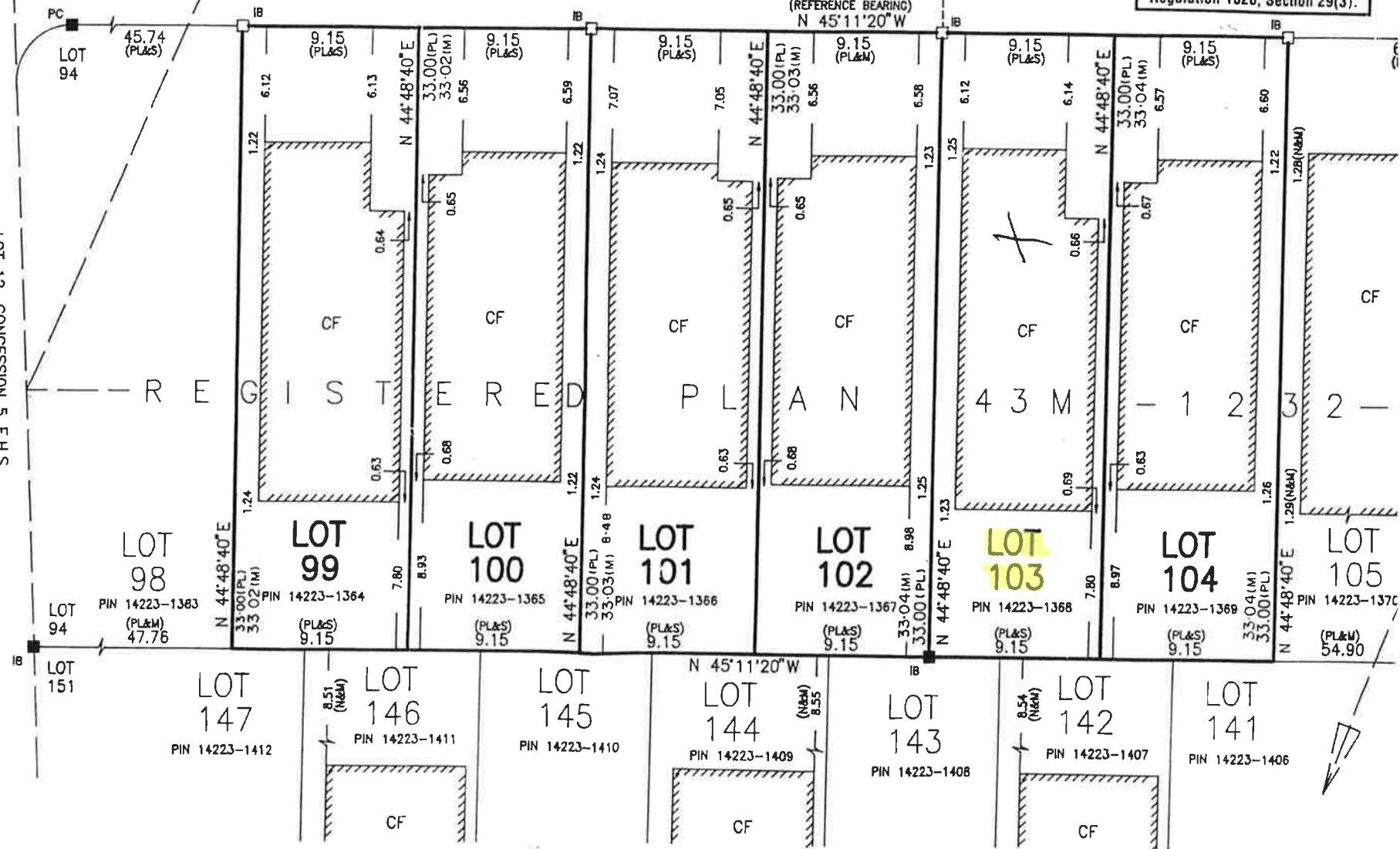
(BY REGISTERED PLAN 43M-1232)

PIN 14223-1458

(REFERENCE BEARING)
N 45°11'20" W(N&S)
10.00
N 44°48'40"E

THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

LOT 12, CONCESSION 5 E.H.S.
PART 3, PLAN 43R-21828

**SURVEYOR'S CERTIFICATE**

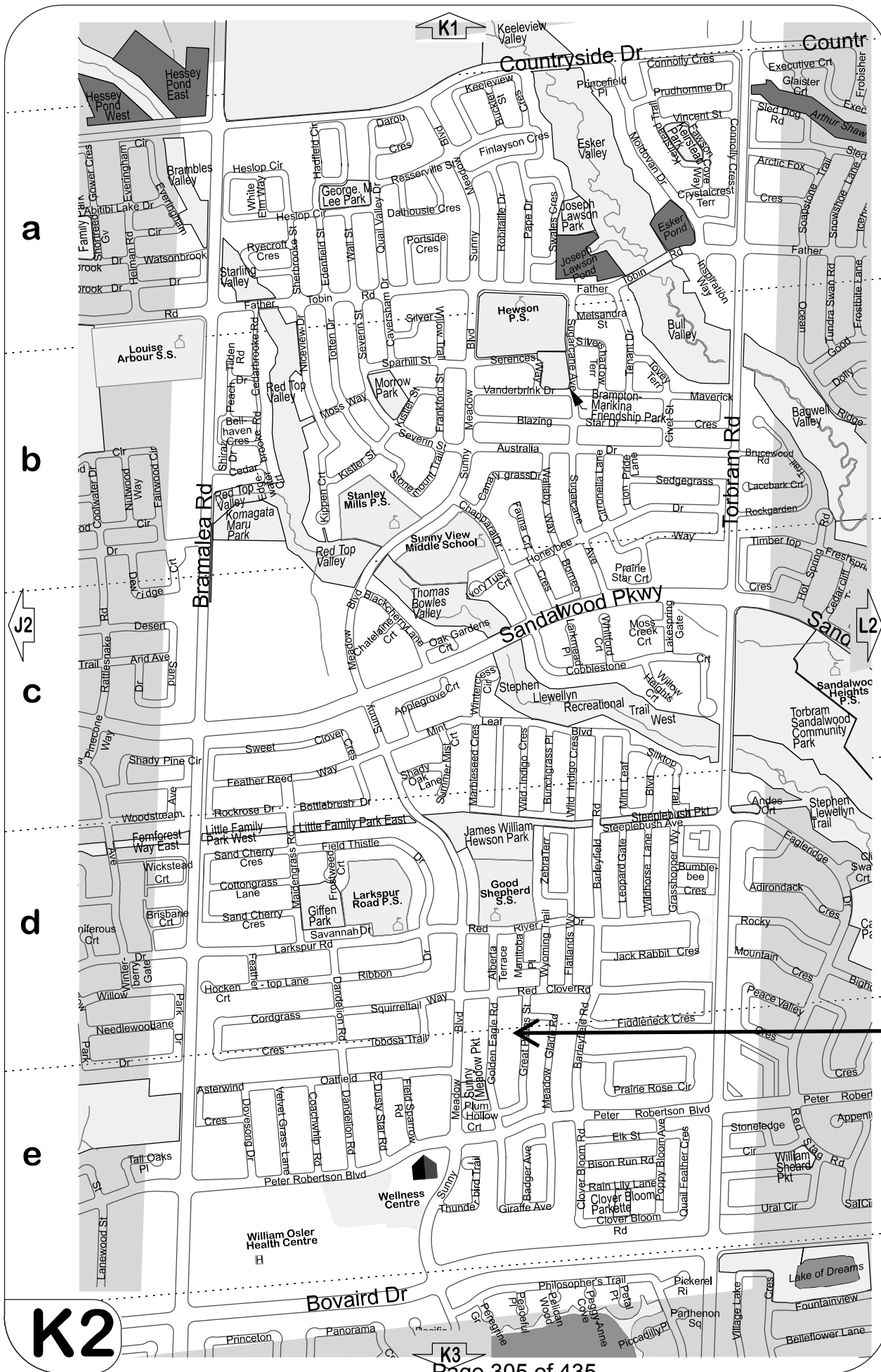
I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 16th DAY OF SEPTEMBER 1997.

SEPTEMBER 18, 1997

**P.SALNA CON
ONTARIO LAND**

10225 YONGE STREET
RICHMOND HILL, ONTARIO
PHONE (905) 884-3988



A-2023-0167

APPLICATION # A-2023-0169
WARD #10

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **PARMINDER DHALIWAL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 290, Plan M-1505 municipally known as **47 KOOTENAY PLACE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a front yard setback of 5.15m (16.90 ft) to an attached garage whereas the by-law requires a minimum front yard setback of 6.0m (19.68 ft);
2. To permit a building to be located 8.87m (29.10 ft) from a Floodplain Zone whereas the by-law requires a minimum setback of 10m (32.80 ft) to a Floodplain Zone;
3. To permit a cumulative garage door width of 9.75m (32 ft) whereas the by-law permits a maximum garage door width of 5.5m (18 ft);
4. To permit a cumulative interior garage width of 11.69m (38.35 ft) whereas the by-law permits a maximum interior garage width of 6.4m (21 ft);
5. To permit a driveway width of 19.06m (62.53 ft) whereas the by-law permits a maximum driveway width of 9.14m (30 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

LOT AREA BREAKDOWN			
Name	Area (sf)	Area (sq m)	Area %
DRIVEWAY	456.76 SF	42.43 m²	4.04%
DRIVEWAY ADDITION	914.68 SF	84.98 m²	8.08%
FRONT PORCH	132.23 SF	12.28 m²	1.17%
GARAGE ADDITION	540.78 SF	50.24 m²	4.76%
HOUSE	1979.97 SF	183.95 m²	17.50%
SOFT LANDSCAPING	7292.65 SF	677.51 m²	64.44%
	11317.08 SF	1051.39 m²	100.00%

LOT COVERAGE		
Name	Area (sf)	Area (sq m)
HOUSE	1979.97 SF	183.95 m²
FRONT PORCH	132.23 SF	12.28 m²
GARAGE ADDITION	540.78 SF	50.24 m²
	2652.99 SF	246.47 m²

SOFT LANDSCAPE (Front Yard)			
Name	Area (sf)	Area (sq m)	Area %
SOFT LANDSCAPING	1343.55 SF	124.82 m²	57.42%
DRIVEWAY ADDITION	539.54 SF	50.12 m²	23.06%
DRIVEWAY	456.76 SF	42.43 m²	19.52%
	2339.86 SF	217.38 m²	100.00%

SOFT LANDSCAPE (Per Lot)		
Name	Area (sf)	Area (sq m)
SOFT LANDSCAPING	7292.65 SF	677.51 m²
	7292.65 SF	677.51 m²

BY LAW - (204-2010)(253-2021)(SECTION 1049)

ZONING DESIGNATION=

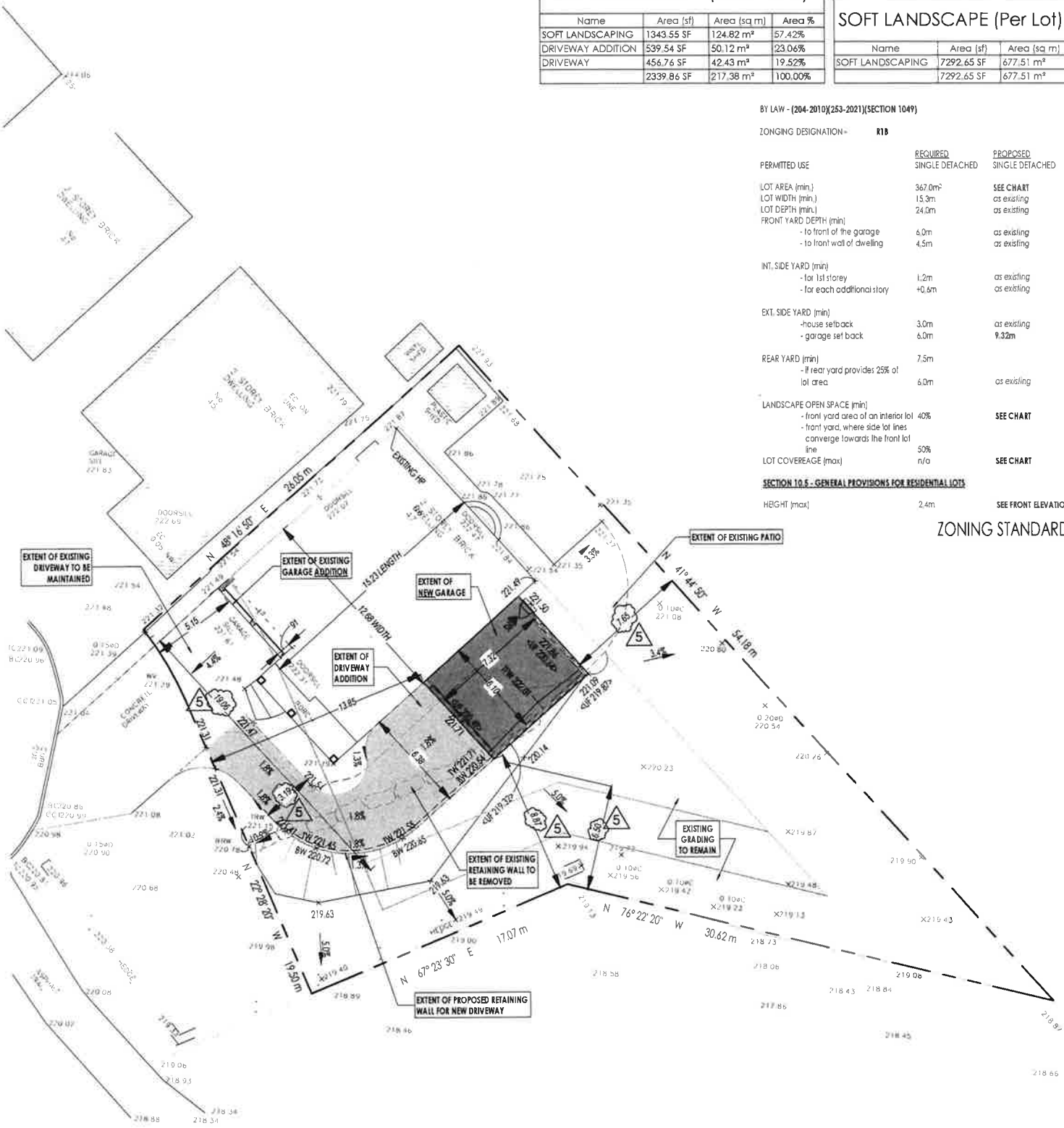
R1B

PERMITTED USE	REQUIRED SINGLE DETACHED	PROPOSED SINGLE DETACHED
LOT AREA (min.)	367.0m²	SEE CHART
LOT WIDTH (min.)	15.3m	as existing
LOT DEPTH (min.)	24.0m	as existing
FRONT YARD DEPTH (min.)		
- to front of the garage	6.0m	as existing
- to front wall of dwelling	4.5m	as existing
INT. SIDE YARD (min.)		
- for 1st storey	1.2m	as existing
- for each additional storey	+0.6m	as existing
EXT. SIDE YARD (min.)		
- house setback	3.0m	as existing
- garage set back	6.0m	9.32m
REAR YARD (min.)		
- if rear yard provides 25% of lot area	7.5m	as existing
	6.0m	
LANDSCAPE OPEN SPACE (min.)		
- front yard area of an interior lot	40%	SEE CHART
- front yard, where side lot lines converge towards the front lot line	50%	
LOT COVERAGE (max)	n/a	SEE CHART

SECTION 10.5 - GENERAL PROVISIONS FOR RESIDENTIAL LOTS

HEIGHT (max)	2.4m	SEE FRONT ELEVATION
--------------	------	---------------------

ZONING STANDARDS



DAY-LIGHT TRIANGLE SETBACK	FINISHED FLOOR	FF
ENCROACHMENT SETBACK	TOP OF FOUNDATION WALL	TRF
EASEMENT	BASEMENT FLOOR	BF
HOUSE SETBACK	UNDERSIDE OF FOOTING	UF
GARAGE SETBACK	WALK UP BASEMENT	WUB
PORCH SETBACK	WALK OUT BASEMENT	WOB
HARDSCAPE/DRIVEWAY	EXTERIOR DOOR LOCATION	
SANITARY LINE		

1 SITE PLAN
1:250

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	
NAME	117562 BOB NUMBER
SIGNATURE	
FIRM REGISTRATION INFO:	116815
2LS DESIGN INC.	

Drawn By	Checked By
CJO	CJO
Scale	
As indicated	
47 KOOTENAY.rvt	

GARAGE ADDITION	
47 KOOTENAY PLACE, BRAMPTON, ONT.	
(REV 5 - 2023.05.16)	
T 647.456.2828 // www.2lsdesign.ca // cameron@2lsdesign.ca	



Page Number	
A-1.0	

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E:\2LS ON Going\Projects\47 Kootenay Place (Brampton)\Design\2LS - 47 Kootenay Place DS (ver 5).rvt

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
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For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0169

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Minor Variance or Special Permission

(Please read Instructions)

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The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

Parminder Dhaliwal

Address

47 Kootenay Place, Brampton Ont, L6R 2X4

Phone #

416 455 4800 ext 101

Fax #

905 874 1212

Email

pam@freewaygroup.ca

2.

Name of Agent

Cameron O'Neill

Address

65 Hawman Ave, Nobleton Ont, L0H 1G0

Phone #

647 456 2828

Fax #

N/A

Email

cameron@2LSdesign.ca

3.

Nature and extent of relief applied for (variances requested):

To permit a front yard setback of 5.15m to an attached garage;
To permit a building located 8.87m from a Floodplain Zone;
To permit a cumulative garage door width of 9.75m;
To permit a cumulative interior garage width of 11.69m;
To permit a driveway width of 19.06m.

4.

Why is it not possible to comply with the provisions of the by-law?

the proposed garage addition will not be able to satisfy height requirements

5.

Legal Description of the subject land:

Lot Number

290

Plan Number/Concession Number

43M-1505

Municipal Address

47 Kootenay Place

6.

Dimension of subject land (in metric units)

Frontage

24.57m

Depth

33.19m

Area

1051.39 sqm

7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

GFA (including garages and living spaces) --> 356.82 sqm
Ground Floor Area --> 146.88 sqm
Number of Storeys --> 2
Length --> 15.23m
Width --> 12.68m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

GFA (including garages and living spaces) --> 412.14 sqm
Ground Floor Area --> 146.88 sqm
Number of Storeys --> 2
Length --> 15.23m
Width --> 12.68m // accessory garage height --> 3.823m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 5.90m
Rear yard setback 6.27m
Side yard setback 1.20m
Side yard setback 13.10m

PROPOSED

Front yard setback 5.15m
Rear yard setback 7.65m
Side yard setback 1.20m
Side yard setback 8.87m

10. Date of Acquisition of subject land: ~2002
11. Existing uses of subject property: single detached dwelling unit
12. Proposed uses of subject property: single detached dwelling unit
13. Existing uses of abutting properties: residential and trail system/ravine
14. Date of construction of all buildings & structures on subject land: ~2002
15. Length of time the existing uses of the subject property have been continued: the entire existence of the home

16. (a) What water supply is existing/proposed?

Municipal ☒
Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒
Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☐
Ditches ☐
Swales ☒

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Cameron O'Neill

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 23 DAY OF April MAY, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Cameron O'Neill, OF THE TOWN OF KING CITY

IN THE Region OF York SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

York THIS 23rd DAY OF

May, 2023

A Commissioner etc.

J.N.
Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Cameron O'Neill

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1B-1049

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Tall [Signature]
Zoning Officer

May 23, 2023

Date

DATE RECEIVED

May 23, 2023

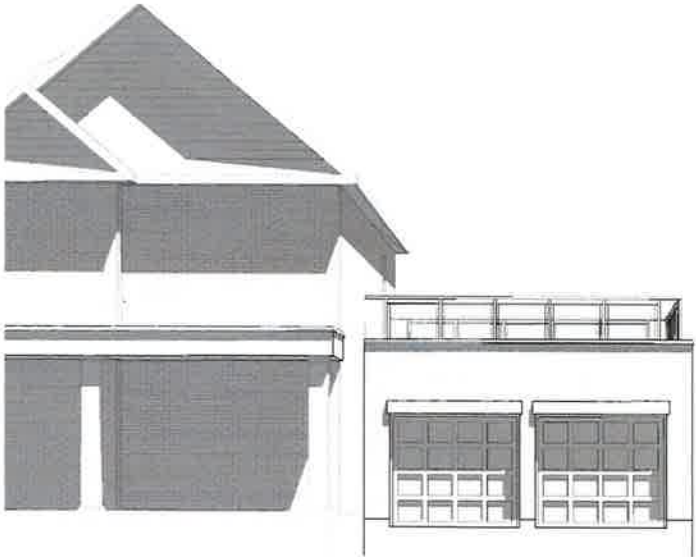
Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

- 1) CONTRACTOR MUST SITE VERIFY ALL DIMENSIONS ON THE JOB, AND REPORT AND DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING WITH ANY WORK.
2) ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECIFICATIONS AND TO CONFORM TO THE LATEST VERSION OF THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS, ONT. REG. 332/12.

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- A-0.0 TITLE SHEET
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GARAGE ADDITION

SECTION 1.0 GENERAL NOTES

1.1. WINDOWS

- 1) EXCEPT WHERE A DOOR ON THE SAME FLOOR LEVEL AS THE BEDROOM PROVIDES DIRECT ACCESS TO THE EXTERIOR, EVERY FLOOR LEVEL CONTAINING A BEDROOM IS TO HAVE AT LEAST ONE OUTSIDE WINDOW W/ MIN. 0.35m² UNOBSTRUCTED OPEN PORTION W/ NO DIMENSION LESS THAN 1'-3" (300), CAPABLE OF MAINTAINING THE OPENING WITHOUT THE NEED FOR ADDITIONAL SUPPORT, CONFORMING TO 9.9.10.
2) WINDOW GUARDS: A GUARD OR A WINDOW WITH A MAXIMUM RESTRICTED OPENING WIDTH OF 4" (100) IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 1'-7" (480) ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FINISHED FLOOR TO THE ADJACENT GRADE IS GREATER THAN 5'-11" (1800). (9.8.8.1)
3) WINDOWS IN EXIT STAIRWAYS THAT EXTEND TO LESS THAN 2'-11" (900) [3'-6" (1070) FOR ALL OTHER BUILDINGS] SHALL BE PROTECTED BY GUARDS IN ACCORDANCE WITH NOTE #2 (ABOVE), OR THE WINDOW SHALL BE NON-OPERABLE AND DESIGNED TO WITHSTAND THE SPECIFIED LOADS FOR BALCONY GUARDS AS PROVIDED IN 4.1.5.15 OR 9.8.8.2
4) REFER TO TITLE PAGE FOR MAX. U-VALUE REQUIREMENTS

1.2. CEILING HEIGHTS

THE CEILING HEIGHTS OF ROOMS AND SPACES SHALL CONFORM TO TABLE 9.5.3.1.

ROOM OR SPACE	MINIMUM HEIGHTS
LIVING ROOM, DINING ROOM AND KITCHEN	7'-7" OVER 75% OF REQUIRED FLOOR AREA WITH A CLEAR HEIGHT OF 6'-11" AT ANY POINT
BEDROOM	7'-7" OVER 50% OF REQUIRED FLOOR AREA OR 6'-11" OVER ALL OF THE REQUIRED FLOOR AREA.
BASEMENT	6'-11" OVER AT LEAST 75% OF THE BASEMENT AREA EXCEPT THAT UNDER BEAMS AND DUCTS THE CLEARANCE IS PERMITTED TO BE REDUCED TO 6'-5".
BATHROOM, LAUNDRY AREA ABOVE GRADE	6'-11" IN ANY AREA WHERE A PERSON WOULD NORMALLY BE STANDING
FINISHED ROOM NOT MENTIONED ABOVE	6'-11"
MEZZANINES	6'-11" ABOVE & BELOW FLOOR ASSEMBLY (9.5.3.2)
STORAGE GARAGE	6'-7" (9.5.3.3)

1.3. MECHANICAL / PLUMBING

- 1) MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.7 AIR CHANGE PER HOUR IF NOT AIR CONDITIONED 1 PER HOUR IF AIR CONDITIONED AVERAGED OVER 24 HOURS. WHEN A VENTILATION FAN (PRINCIPAL EXHAUST) IS REQUIRED, CONFORM TO OBC 9.32.3.4. WHEN A HRV IS REQUIRED, CONFORM TO 9.32.3.11. REFER TO MECHANICAL DRAWINGS.
2) REFER TO HOT WATER TANK MANUFACTURER SPECS. CONFORM TO OBC 9.31.6.
3) REFER TO TITLE PAGE FOR SPACE HEATING EQUIPMENT, HRV AND DOMESTIC HOT WATER HEATER MINIMUM EFFICIENCIES.
4) DRAIN WATER HEAT RECOVERY UNIT(S) WILL BE INSTALLED CONFORMING TO THE REQUIREMENTS OF 3.1.1.12. OF THE O.B.C.

1.4. LUMBER

- 1) ALL LUMBER SHALL BE SPRUCE No.2 GRADE OR BETTER, UNLESS NOTED OTHERWISE.
2) STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE.
3) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE No. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.
4) ALL LAMINATED VENEER LUMBER (LVL) BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY FLOOR AND ROOF TRUSS MANUFACTURER.
5) JOIST HANGERS: PROVIDE APPROVED METAL HANGERS FOR ALL JOISTS AND BUILT-UP WOOD MEMBERS INTERSECTING WITH FLUSH BUILT-UP WOOD MEMBERS.
6) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2 mil POLYETHYLENE FILM, No.50 (45lbs) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST 6" (152) ABOVE THE GROUND.

1.5. STEEL (9.23.4.3)

- 1) STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-G40-21 GRADE 300W. HOLLOW STRUCT. SECTIONS SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350W CLASS "H".
2) REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

1.6. FLAT ARCHES

- 1) FOR 8'-0" (2440) CEILINGS, FLAT ARCHES SHALL BE 6'-10" (2080) A.F.F.
2) FOR 9'-0" (2740) CEILINGS, FLAT ARCHES SHALL BE 7'-10" (2400) A.F.F.
3) FOR 10'-0" (3040) CEILINGS, FLAT ARCHES SHALL BE 8'-6" (2600) A.F.F.

1.7. ROOF OVERHANGS

- 1) ALL ROOF OVERHANGS SHALL BE 1'-0" (305), UNLESS NOTED OTHERWISE.

1.8. FLASHING (9.23.13, 9.26.4, & 9.27.3)

- 1) FLASHING MATERIALS & INSTALLATION SHALL CONFORM TO O.B.C.

1.9. GRADING

- 1) THE BUILDING SHALL BE LOCATED OR THE BUILDING SITE GRADED SO THE WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES. CONFORM TO 9.14.6.

1.10. ULC SPECIFIED ASSEMBLIES

ALL REQUIRED INDIVIDUAL COMPONENTS THAT FORM PART OF ANY 'ULC LISTED ASSEMBLY', SPECIFIED WITHIN THESE DRAWINGS, CANNOT BE ALTERED OR SUBSTITUTED FOR ANY OTHER MATERIAL/PRODUCT OR SPECIFIED MANUFACTURER THAT IS IDENTIFIED IN THAT 'SPECIFIED ULC LISTING'. THERE SHALL BE NO DEVIATIONS UNDER ANY CIRCUMSTANCES IN ANY 'ULC LISTED ASSEMBLY' IDENTIFIED IN THESE DRAWINGS.

SECTION 2.0. WALL STUDS

REFER TO THIS CHART FOR STUD SIZE & SPACING AS REQUIRED FOR EXTERIOR WALLS ONLY. REFER TO SITING & GRADING PLAN OF THIS UNIT FOR CONFIRMATION OF TOP OF FOUNDATION WALL AND ADDITIONAL INFORMATION.
- IF STUD WALL HEIGHT EXCEEDS MAX. UNSUPPORTED HEIGHT, WALL NEEDS TO BE REVISED AND APPROVED BY ENGINEER

MIN. STUD SIZE, in (mm)	SUPPORTED LOADS (EXTERIOR)			
	ROOF w/ OR w/o ATTIC	ROOF w/ OR w/o ATTIC & 1 FLOOR	ROOF w/ OR w/o ATTIC & 2 FLOOR	ROOF w/ OR w/o ATTIC & 3 FLOOR
	MAX. STUD SPACING, in (mm) O.C.			
	MAX. UNSUPPORTED HGT., ft-in (m)			
2"x4" (38x89)	24" (610)	16" (406)	12" (305)	N/A
2"x6" (38x140)	9'-10" (3.0)	9'-10" (3.0)	9'-10" (3.0)	N/A
	-	24" (610)	16" (406)	12" (305)
	-	9'-10" (3.0)	11'-10" (3.6)	5'-11" (1.8)

SECTION 3.0. LEGEND

3.1. WOOD LINTELS AND BUILT-UP WOOD (DIVISION B PART 9, TABLES A8 TO A10 AND A12, A15 & A16) FORMING PART OF SENTENCE 9.23.4.2 (3), 9.23.4.2 (4), 9.23.12.3 (1), (3), 9.23.13.8 (2), 9.37.3.1 (1)					
2"x8" SPRUCE #2	2"x10" SPRUCE #2	2"x12" SPRUCE #2			
L1 22"x8" (238x184)	L3 22"x10" (238x235)	L5 22"x12" (238x286)			
B1 3/2"x8" (3/38x184)	B3 3/2"x10" (3/38x235)	B5 3/2"x12" (3/38x286)			
B2 4/2"x8" (4/38x184)	B4 4/2"x10" (4/38x235)	B6 4/2"x12" (4/38x286)			
B7 5/2"x8" (5/38x184)	B8 5/2"x10" (5/38x235)	B9 5/2"x12" (5/38x286)			
ENGINEERED LUMBER SCHEDULE					
1 3/4" x 9 1/2" LVL	1 3/4" x 11 7/8" LVL	1 3/4" x 14" LVL			
LVL2 1-1 3/4"x9 1/2"	LVL3 1-1 3/4"x11 7/8"	LVL10 1-1 3/4"x14"			
LVL4 2-1 3/4"x9 1/2"	LVL6 2-1 3/4"x11 7/8"	LVL11 2-1 3/4"x14"			
LVL5 3-1 3/4"x9 1/2"	LVL7 3-1 3/4"x11 7/8"	LVL12 3-1 3/4"x14"			
LVL8 4-1 3/4"x9 1/2"	LVL9 4-1 3/4"x11 7/8"	LVL13 4-1 3/4"x14"			

3.2. STEEL LINTELS SUPPORTING MASONRY VENEER (DIVISION B PART 9, TABLE 9.20.5.2 B.) FORMING PART OF SENTENCE 9.20.5.2 (2) & 9.20.5.2 (3)			
SIZE	BRICK	STONE	
L7 3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)	
L8 4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.68m)	8'-1" (2.48m)	
L9 4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.03m)	
L10 4 7/8" x 3 1/2" x 3/8" (127 x 89 x 11)	11'-5" (3.48m)	10'-7" (3.24m)	
L11 5 7/8" x 3 1/2" x 3/8" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)	
L12 7 1/8" x 4" x 3/8" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99m)	

3.3. ACRONYMS	
AFF ABOVE FINISHED FLOOR	JST JOIST
BBFM BEAM BY FLOOR MANUFACTURER	LIN LINEN CLOSET
BG FIXED GLASS W/ BLACK BACKING	LVL LAMINATED VENEER LUMBER
BM BEAM	OTB/A OPEN TO BELOW/ABOVE
BBRM BEAM BY ROOF MANUFACTURER	PL POINT LOAD
CRF CONVENTIONAL ROOF FRAMING	PLT PLATE
CAW COMPLETE WITH	PT PRESSURE TREATED
D.J/TJ DOUBLE JOIST/ TRIPLE JOIST	PTD PAINTED
DO DO OVER	PWD POWDER ROOM
DRP DROPPED	RT ROOF TRUSS
E/F/S EXTERIOR INSULATION FINISH SYSTEM	RWL RAIN WATER LEADER
ENG ENGINEERED	SB SOLID BEARING WOOD POST
EST ESTIMATED	SBFA SB FROM ABOVE
FA FLAT ARCH	SJ SINGLE JOIST
FD FLOOR DRAIN	SPR SPRUCE
FG FIXED GLASS	STL STEEL
FL FLUSH	T/O TOP OF
FLR FLOOR	TYP TYPICAL
GT GIRDER TRUSS	U/S UNDERSIDE
HB HOSE BIB	WD WOOD
HRV HEAT RETURN VENTILATION UNIT	WC WALK IN CLOSET
HWT HOT WATER TANK	WP WEATHER PROOF

3.4. SYMBOLS

ALL ELECTRICAL FACILITIES SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 9.34

CLASS 'B' VENT	EXHAUST VENT
DUPLEX OUTLET (12" HIGH)	DUPLEX OUTLET (HEIGHT AS NOTED A.F.F.)
HEAVY DUTY OUTLET	SWITCH (2/3/4 WAY)
POT LIGHT	LIGHT FIXTURE (CEILING MOUNTED)
LIGHT FIXTURE (PULL CHAIN)	LIGHT FIXTURE (WALL MOUNTED)
CABLE T.V. JACK	TELEPHONE JACK
CENTRAL VACUUM OUTLET	CHANDELIER (CEILING MOUNTED)

TWO STOREY VOLUME SPACE. SEE CONSTRUCTION WALL NOTE 10.

VARYING PLATES, BUILT-OUT FLOORS, BEARING WALLS, ICE & WATER SHIELD

EXPOSED BUILDING FACE -O.B.C. 9.10.14, OR 9.10.15. REFER TO HEX NOTE M20 & DETAILS FOR TYPE AND SPECIFICATIONS.

1 HR. PARTY WALL. REFER TO WALL NOTE 11 & 12

2 HR. FIREWALL. REFER TO WALL NOTE 13

SA SMOKE ALARM (9.10.19)
PROVIDE ONE PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARMS ARE TO BE INSTALLED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN SLEEPING ROOMS AND CONNECTING HALLWAYS AND WIRED TO BE INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. ALARMS ARE TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND WITH A BATTERY BACKUP. ALARM SIGNAL SHALL MEET TEMPORAL SOUND PATTERNS MIN. ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT AS PER THE NATIONAL FIRE ALARM AND SIGNALING CODE 72".

CMD CARBON MONOXIDE ALARM (9.33.4)
** CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** A CARBON MONOXIDE ALARM(S) CONFORMING TO CAN/CGA-6.19 SHALL BE INSTALLED ON OR NEAR THE CEILING IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE ALARM(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN SLEEPING ROOMS WHEN THE INTERVENING DOORS ARE CLOSED.

SB SOLID BEARING /BUILT-UP WOOD COLUMNS AND STUD POSTS

THE WIDTH OF A WOOD COLUMN SHALL NOT BE LESS THAN THE WIDTH OF SUPPORTED MEMBER. BUILT-UP WOOD COLUMNS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 3" (76) NAILS SPACED NOT MORE THAN 11 3/4" (300) O.C. THE NUMBER OF STUDS IN A WALL DIRECTLY BELOW A GIRDER TRUSS OR ROOF BEAM SHALL CONFORM TO TABLES A-34 TO A-37 (9.17.4, 9.23.10.7).

3.5. DOOR SCHEDULE

CONFORMING TO SECTIONS 9.5.11, 9.6, 9.7.2.1, & 9.10.13.10

1	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)	
1A	EXTERIOR	2'-10" x 6'-8" x 1-3/4" (865 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)	
1B	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)	
1C	EXTERIOR	2'-6" x 6'-8" x 1-3/4" (760 x 2030 x 45) INSULATED MIN. R4 (RSI 0.7)	
1D	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) INS. MIN. R4 (RSI 0.7) (SEE HEX NOTE M12)	
1E	EXTERIOR	3'-0" x 6'-8" x 1-3/4" (915 x 2440 x 45) INSULATED MIN. R4 (RSI 0.7)	
2A	EXTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) 20 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE	
2B	INTERIOR	2'-8" x 6'-8" x 1-3/4" (815 x 2030 x 45) 45 MIN. F.R.R. DOOR/FRAME WITH APP. SELF CLOSING DEVICE	
2	INTERIOR	2'-8" x 6'-8" x 1-3/8" (815 x 2030 x 35)	
3	INTERIOR	2'-8" x 6'-8" x 1-3/8" (760 x 2030 x 35)	
3A	INTERIOR	2'-4" x 6'-8" x 1-3/8" (710 x 2030 x 35)	
4	INTERIOR	2'-0" x 6'-8" x 1-3/8" (610 x 2030 x 35)	
4A	INTERIOR	2'-2" x 6'-8" x 1-3/8" (660 x 2030 x 35)	
5	INTERIOR	1'-6" x 6'-8" x 1-3/8" (460 x 2030 x 35)	PROVIDE 8'-0" HIGH INTERIOR DOORS FOR ALL 10' CEILING CONDITIONS

7.		
6.		
5.	ISSUED FOR CLIENT REVIEW	2023-05-16 CJO
4.	ISSUED FOR CLIENT REVIEW	2023-03-27 CJO
3.	SP REVISED AS PER TRCA COMMENTS	2022-11-30 CJO
2.	ISSUED FOR MUNICIPAL REVIEW	2022-11-22 CJO
1.	ISSUED FOR MUNICIPAL REVIEW	2022-11-16 CJO
REVISIONS	DATE	BY

TITLE SHEET

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
QUALIFICATION INFORMATION
CAMERON O'NEILL 117562
NAME BCIN NUMBER
SIGNATURE
FIRM REGISTRATION INFO:
2LS DESIGN INC. 118115
47 KOOTENAY.rvt

Drawn By CJO Checked By CJO
Scale
47 KOOTENAY.rvt
GARAGE ADDITION
47 KOOTENAY PLACE, BRAMPTON, ONT.
(REV 5 - 2023.05.16)
T 647.456.2828 // www.2LSdesign.ca // cameron@2LSdesign.ca
2LS DESIGN INC.
Page Number
A-0.0

ROOFING NOTES

- RF1 ROOF CONSTRUCTION** (9.19, 9.23.13, 9.23.15)
- 1/4" (10.25 kg/m²) ASPHALT SHINGLES
 - 3/8" (9.5) PLYWOOD SHEATHING WITH "C" CLIPS
 - APPROVED WOOD TRUSSES @ 24" (610) O.C. MAX.
 - APPROVED EAVES (PROTECTION TO EXTEND 2'-11" (890) FROM EDGE OF ROOF AND MIN. 12" (305) BEYOND INNER FACE OF EXTERIOR WALL)
 - 2"x4" (38x89) TRUSS BRACING @ 6'-0" (1.830) O.C. AT BOTTOM CHORD
 - PREFIN. ALUM. EAVESTROUGH, FASCIA, RVL & VENTED SOFFIT
 - ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES
 - 6" MIN EAVESTROUGH, RVL CONNECTED TO STORMSEWERS OR TO DISCHARGE ONTO CONCRETE SPLASH PADS (REFER TO MUNICIPAL REQUIREMENTS)
 - TOWNHOUSES TO HAVE 5" (127) MIN. EAVESTROUGH WITH ELEC. TRACED HEATER CABLE ALONG EAVESTROUGH AND DOWN RVL

RF2 PROFILED ROOF TRUSSES

- ROOF TRUSSES SHALL BE PROFILED AND/OR STEPPED AT RAISED COFFER/TRAY CEILINGS
- ANGLED TRAY CEILINGS WILL BE SHEATHED W/ 3/8" (9.5) PLYWOOD

RF3 CONVENTIONAL ROOF FRAMING (9.23.13, 9.23.15)

- 2"x6" (38x140) RAFTERS @ 16" (406) O.C.
 - 2"x8" (38x184) RIDGE BOARD
 - 2"x4" (38x89) COLLAR TIES AT MID-SPAN
- CEILING JOISTS:**
- 2"x4" (38x89) @ 16" (406) O.C. FOR MAX. 9'-3" (2819) SPAN
 - 2"x6" (38x140) @ 16" (406) O.C. FOR MAX. SPAN 14'-7" (4450) -RAFTERS FOR BUILT UP ROOF OVER PRE-ENGINEERED ROOF TRUSSES AND OR CONVENTIONAL FRAMING TO BE 2"x4" (38x89) @ 24" (610) O.C. UNLESS OTHERWISE SPECIFIED.

RF4 SLOPED CEILING CONSTRUCTION (9.5-12) 2.1.1.7, 9.23.4.2)

- 2"x12" (38x286) ROOF JOISTS @ 16" (406) O.C. MAX. (UNLESS OTHERWISE NOTED)
- W/ 2"x2" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO ROOF JOIST (PURLINS NOT REQ. W/ SPRAY FOAM)
- INSULATION AS PER SB-12 APPLICATION VALUE LISTED ON WORKING DRAWING, BETWEEN JOISTS
- 6 mil POLYETHYLENE VAPOUR BARRIER
- 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH -OR-
- APPROVED EQ. INSULATION VALUE DIRECTLY ABOVE THE INNER SURFACE OF EXTERIOR WALLS SHALL NOT BE LESS THAN R20 (3.2 IZ)

RF5 FLAT ROOF/BALCONY CONSTRUCTION

- WATERPROOFING MEMBRANE ADHERED TO 5/8" (15.9) T&G EXTERIOR GRADE PLYWOOD SHEATHING
 - 2"x2" (38x38) PURLINS ANGLED TOWARDS SCUPPER @ 2% MINIMUM LAID PERPENDICULAR TO FLOOR JOISTS
 - 2"x8" (38x184) FLOOR JOISTS @ 16" (406) O.C. (UNLESS OTHERWISE NOTED)
 - BUILT UP CURB TO BE 4" (100) MIN. ABOVE FINISHED BALCONY FLOOR
 - CONTINUOUS L TRIM DRIP EDGE TO BE PROVIDED ON EXTERIOR FACE OF CURB
 - SCUPPER DRAIN TO BE LOCATED 24" (610) MIN. FROM HOUSE
 - PREFINISHED ALUMINUM OR PANEL FOR UNDERSIDE OF SOFFIT (9.23.2.3)
 - REMOVE CURB WHERE REQ.
- BALCONY CONDITION**
- SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE
- 2"x4" (38x89) PT. DECKING W/ 1/4" (6.4) GAPS LAID FLAT PARALLEL TO JOISTS -2"x4" (38x89) PT. SLEEPERS @ 12" (305) O.C. LAID FLAT PERPENDICULAR TO JOISTS
- BALCONY OVER HEATED SPACE CONDITION**
- SEE FLAT ROOF/BALCONY CONSTRUCTION NOTE FOR ASSEMBLY
- REFER TO PLANS FOR FLOOR JOIST SIZE
 - REFER TO HEX NOTE M6 FOR INSULATION AND INTERIOR FINISH

RF6 BARREL VAULT CONSTRUCTION

- CANTILEVERED 2"x4" (38x89) SPACERS LAID FLAT
- 2"x10" (38x253) SPR. #2 ROOF JOIST
- BUILT-UP 3-3/4" (19) PLYWOOD HEADER PROFILED FOR BARREL (TIED TO ROOF JOISTS)
- SPRAY FOAM INSULATION AS PER SB-12 APPLICATION VALUE LISTED ON WORKING DRAWING BETWEEN JOISTS
- 1/2" (12.7) GYPSUM WALL BOARD INTERIOR FINISH

MISCELLANEOUS NOTES

- M1 ICE AND WATER SHIELD**
- REFER TO WORKING DRAWING FOR ICE AND WATER SHIELD LOCATIONS
 - ICE AND WATER SHIELD TO BE A SELF ADHERING AND SELF SEALING MEMBRANE
 - SIDE LAPS TO BE A MINIMUM 3 1/2" (90) AND END LAPS A MINIMUM 6" (152)
 - FOR DORMERS, MEMBRANE TO EXTEND UP WALLS 12" (305) MINIMUM
- M2 FOUNDATION REDUCTION IN THICKNESS FOR MASONRY**
- FOR MASONRY INSTALLATION TO THE TOP OF A FOUNDATION WALL:
 - 3 1/2" (90) MIN THICK FOUNDATION WALL REDUCTION
 - MASONRY TO BE TIED TO FOUNDATION WITH CORROSION RESISTANT METAL TIES @ 7 7/8" (200) VERTICAL AND 2'-11" (899) HORIZONTAL
 - VOID TO BETWEEN FOUNDATION AND MASONRY TO BE FILLED WITH MORTAR (9.15.4.7)(2)(3) & 9.20.5.4)(8)
- M3 FOUNDATION REDUCTION IN THICKNESS FOR JOISTS**
- FOR FLOOR JOIST INSTALLATION TO THE TOP OF A FOUNDATION WALL:
 - 3 1/2" (90) MIN THICK FOUNDATION WALL REDUCTION
 - 13 3/4" (350) MAX HIGH FOUNDATION WALL REDUCTION (9.15.4.7)(1)

M4 WEEPING TILE (9.14.3)

- 4" (100) DIA. WEEPING TILE W/ FILTER CLOTH WRAP
- 5" (152) CRUSHED STONE COVER

M5 EXPOSED FLOOR TO EXTERIOR (9.10.17.10, & CAN/ULC-S705.2)

- SPRAY FOAM INSULATION BETWEEN CANT. JOIST
- SOFFIT / CLADDING TO BE INSTALLED AS PER ELEVATION TO U/S OF EXPOSED CANT. JOIST.

M6 EXPOSED CEILING TO EXTERIOR w/ ATTIC (9.25.2.4)

- INSULATION AS PER SB-12 APPLICATION VALUE LISTED ON WORKING DRAWING
 - 6 mil POLYETHYLENE VAPOUR BARRIER
 - 1/2" (12.7) GYPSUM BOARD INTERIOR FINISH OR APPROVED EQ.
- EXPOSED CEILING TO EXTERIOR w/o ATTIC**
- JOISTS/TRUSSES AS PER PLANS
 - 2"x12" (38x38) PURLINS @ 16" (406) O.C. PERPENDICULAR TO JOISTS (PURLINS NOT REQ. FOR SPRAY FOAM APPLICATION OR ROOF TRUSSES)
 - INSULATION AS PER SB-12 APPLICATION VALUE LISTED ON WORKING DRAWING, BETWEEN JOISTS
 - 6 mil POLYETHYLENE VAPOUR BARRIER
 - 1/2" (12.7) GYPSUM BOARD INT. FINISH OR APPROVED EQ. (CAN/ULC-S705.2, 9.19.1, 9.10.17.1)

M7 SILL PLATES

- 2"x4" (38x89) SILL PLATE
- 1/2" (12.7) DIA ANCHOR BOLTS @ (200) LONG
- EMBEDDED MIN. 4" (100) INTO CONC. @ 7'-10" (2388) O.C.
- CAULKING OR GASKET BETWEEN PLATE AND TOP OF FOUNDATION WALL
- USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED (9.23.7)

M8 BASEMENT INSULATION (9.5B-12) 3.1.1.7)

- CONTINUOUS BLANKET INSULATION
- BUILT IN 6 mil POLYETHYLENE VAPOUR BARRIER
- INSULATION TO EXTEND NO MORE THAN 8" (200) ABOVE FINISHED BASEMENT -DAMP PROOFED WITH BUILDING PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE

M9 BEARING STUD PARTITION IN BASEMENT (9.15.3.6, 9.23.10.1)

- 2"x4" (38x89) STUDS @ 16" (406) O.C.
- 2"x4" (38x89) SILL PLATE ON DAMPPROOFING MATERIAL OR 2 mil POLYETHYLENE FILM
- 1/2" (12.7) DIA. ANCHOR BOLTS @ (200) LONG
- EMBEDDED 4" (100) MIN. INTO CONC. @ 7'-10" (2390) O.C.
- 4" (100) HIGH CONCRETE CURB ON CONCRETE FOOTING
- FOR SIZE REFER TO WALL NOTE 9
- HORIZ. BLOCKING TO BE ADDED AT MID-HEIGHT IF WALL IS UNFINISHED.

M10 WOOD STRAPPING AT STEEL BEAMS (9.23.4.3 (3), 9.23.9.3)

- 1"x3" (19x64) CONTIN. WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

M11 GARAGE TO HOUSE WALLS/CEILING (9.10.9.16)

- 1/2" (12.7) GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE
- INSULATION AS PER SB-12 APPLICATION VALUE LISTED ON WORKING DRAWING
- SPRAY FOAM FOR CEILINGS
- TAPE AND SEAL ALL JOINTS GAS TIGHT. (9.10.17.10, CAN/ULC-S705.2)

M12 GARAGE DOOR TO HOUSE (9.10.9.16, 9.10.13.10, 9.10.13.15)

- GAS-PROOF DOOR AND FRAME
- DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

M13 EXTERIOR AND GARAGE STEPS

- PRECAST CONC. STEP (OR WOOD STEP WHERE NOT EXPOSED TO WEATHER)
- MAX RISE 7 7/8" (200)
- MIN. TREAD 9 1/4" (235)
- REFER TO SITING FOR NUMBER OF STEPS
- EXTERIOR CONCRETE STAIRS WITH MORE THAN 2 RISERS AND 2 TREADS SHALL BE PROVIDED WITH FOUNDATION AS REQUIRED BY ARTICLE 9.8.9.2 OR SHALL BE CANTILEVERED AS PER SUBSECTION 9.8.10.

M14 ATTIC ACCESS (9.19.2.1)

- ATTIC ACCESS HATCH WITH WEATHER STRIPPING
- MIN. AREA OF 0.30m²
- NO DIM. LESS THAN 21 1/2" (545)
- HATCHWAYS TO THE ATTIC OR ROOF SPACE WILL BE FITTED WITH DOORS OR COVERS AND WILL BE INSULATED AS PER AS PER SB-12 APPLICATION METHOD LISTED ON WORKING DRAWING. (R20 (RSI 3.52), (SB-12) 3.1.1.8.(1))

M15 FIREPLACE CHIMNEYS (9.2.1)

- TOP OF FIREPLACE CHIMNEY SHALL BE
- 2'-11" (899) ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND
- 2'-0" (610) ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 10'-0" (3048) FROM THE CHIMNEY.

M16 LINEN CLOSET

- 4 SHELVES @ 14" (356) DEEP MIN.

M17 WOOD FRAMING IN CONTACT TO CONCRETE

- **FOR WOOD BEARING WALLS**
- UNDERSIDE OF BUILT-UP WOOD POSTS AND SILLS TO BE WRAPPED WITH 2 mil POLY
- FOR BEARING WALLS OR WOOD POSTS AGAINST FOUNDATION WALLS, STRIP FOOTINGS TO BE WIDENED BY 6" (152) (9.17.4.3)

M18 STEP FOOTINGS (9.15.3.9)

- MIN. HORIZ. STEP = 23 5/8" (600), MAX. VERT. STEP = 23 5/8" (600).

M19 HEADER CONSTRUCTION

- CONTINUOUS APPROVED AIR/VAPOUR BARRIER (HEADER WRAP) UNDER SILL PLATE, AROUND THE RM BOARD AND UNDER THE BOTTOM PLATE
- HEADER WRAP TO EXTEND 6" (152) BELOW THE TOP OF FOUNDATION WALL AND TO BE SEALED TO THE CONCRETE FOUNDATION WALL
- EXTEND HEADER WRAP @ (152) UP THE INTERIOR SIDE OF THE STUD WALL, OVERLAP WITH THE VAPOUR BARRIER AND SEAL THE JOINT
- ALL EDGES/JOINTS TO BE MECHANICALLY CLAMPED

M20 EXPOSED BUILDING FACE w/ LIMITING DISTANCE<= 3'-11" (1.20m)

- WALL ASSEMBLY CONTAINS:
- INSULATION CONFORMING TO CAN/ULC-S702 & HAVING A MASS OF NOT LESS THAN 1.22 kg/m² OF WALL SURFACE
 - 1/2" (12.7) TYPE X GYPSUM WALLBOARD INTERIOR FINISH
 - EXTERIOR CLADDING MUST BE NON-COMBUSTIBLE
 - WALL ASSEMBLY REQUIRES TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES & CONFORMING TO O.B.C. (9.10.14, OR 9.10.15)
- **AN OPENING IN AN EXPOSING BUILDING FACE NOT MORE THAN 20 ft² (190cm²) SHALL NOT BE CONSIDERED AN UNPROTECTED OPENING AS PER 9.10.14.4.**

M21 UNSUPPORTED FOUNDATION WALLS (9.15.4.2)

- REINFORCING AT STAIRS AND SUNKEN FLOOR AREAS
 - **BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL**
 - 20M BARS IN TOP PORTION OF WALL UP TO 8'-0" OPENING)
 - 3-20M BARS IN TOP PORTION OF WALL 8'-0" TO 10'-0" OPENING)
 - 4-20M BARS IN TOP PORTION OF WALL (10'-0" TO 15'-0" OPENING)
- REINFORCING AT BASEMENT WINDOWS**
- 2-15M HORIZ. REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL BELOW THE WINDOW SILL
 - EXTEND BARS 24" (610) BEYOND THE OPENING
 - 2-15M VERTICAL REINFORCING ON THE INSIDE AND OUTSIDE FACE OF THE FOUNDATION WALL ON EACH SIDE OF THE WINDOW OPENING.
 - BARS TO HAVE MIN. 2' (60) CONC. COVER
 - BARS TO EXTEND 2'-0" (610) BEYOND BOTH SIDES OF OPENING

M22 STUD WALL REINFORCEMENT

- STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO 9.5.2.3.(1) & 3.8.3.8.(3)

M23 WINDOW WELLS

- FOR WINDOWS OPENING INTO A WINDOW WELL:
- CLEARANCE OF NOT LESS THAN 21 5/8" (550) SHALL BE PROVIDED IN FRONT OF THE WINDOW
- EVERY WINDOW WELL SHALL BE DRAINED WITH A 4" (100) WEEPING TILE C/W A FILTER CLOTH WRAP AND FILED W/ CRUSHED STONE (9.9.10.1)(5), 9.14.6.3
- TO THE FOOTING LEVEL -OR-
- OTHER SUITABLE LOCATION

FLOOR NOTES

F1 BASEMENT SLAB OR SLAB ON GRADE (9.16.4.3)

- 3" (80) MIN. 25MPa (3600psi) CONC. SLAB
 - 4" (100) COARSE GRANULAR FILL -OR-
 - 20MPa (2900psi) CONC. WITH DAMPPROOFING BELOW SLAB
 - 1/2" (12.7) IMPERVIOUS BOARD FOR BOND BREAK AT EDGE. (9.13.1)
- BASEMENT SLABS WITHIN 24" (610) OF THE EXTERIOR GRADE:**
- RIGID INSUL. AROUND THE PERIMETER TO EXTEND 24" (610) MIN. BELOW GRADE
- FOR SLAB ON GRADE CONDITIONS RIGID INSULATION SHALL BE APPLIED TO THE UNDERSIDE OF THE ENTIRE SLAB. (9.5B-12) 3.1.1.7.(5) & (6)

F2 GARAGE SLAB (9.16, 9.35)

- 4" (100) 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT
- 4" (100) COARSE GRANULAR FILL WITH COMPACTED SUB-BASE
- OR-
- COMPACTED NATIVE FILL SLOPE TO FRONT @ 1% MIN.

F3 CONC. PORCH SLAB (9.16.4)

- MIN. 4" (100) CONCRETE SLAB ON GRADE
- 4" (100) COARSE GRANULAR FILL
- REINFORCED WITH 6x6xW29xW29 MESH PLACED NEAR MID-DEPTH OF SLAB
- CONC. STRENGTH 30MPa (4400psi) WITH 5-8% AIR ENTRAINMENT ON COMPACTED SUB-GRADE.

F4 FLOOR FRAMING (9.23.3.5, 9.23.9.4, 9.23.14)

- T&G SUBFLOOR ON WOOD FLOOR JOISTS
- FOR CERAMIC TILE APPLICATION SEE O.B.C. 9.30.6
- ALL JOISTS WHERE REQUIRED TO BE BRIDGED WITH 2"x2" (38x38) CROSS BRACING OR SOLID BLOCKING @ 6'-11" (2108) O.C. MAX.
- ALL JOISTS TO BE STRAPPED WITH 1"x3" (19x64) @ 6'-11" (2108) O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED

F5 COLD CELLAR PORCH SLAB (9.39)

- MAX. 8'-2" (2500) PORCH DEPTH
- 5" (127) 32 MPa (4640psi) CONC. SLAB W/ 5-8% AIR ENTRAINMENT
- REIN. WITH 10M 5BARS @ 7/8" (200) O.C. EACH DIRECTION
- 1 1/4" (32) CLEAR COVER FROM BOTTOM OF SLAB TO FIRST LAYER OF BARS & SECOND LAYER LAID DIRECTLY ON TOP OF LOWER LAYER IN OPPOSITE DIRECTION
- 24x24" (610x610) 10M DOWELS @ 23 5/8" (600) O.C. ANCHORED IN PERIMETER FOUNDATION WALLS
- SLOPE SLAB 1.0% FROM DOOR.

COLUMN NOTES

CL1 ADJUSTABLE STEEL BASEMENT COLUMN (9.15.3.4)

- **9'-10" (3000) MAX. SPAN BETWEEN COLUMNS**
- 3 1/2" (90) DIA SINGLE TUBE ADJUSTABLE STEEL COLUMN CONFORMING TO CAN/CGSB-7.2M
- 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM
- FIELD WELD BASEMENT COLUMN CONNECTION
- POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL (SEE WALL NOTE 9 FOR BEARING CAPACITY AND CONDITIONS)

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 34"x34"x16" (870x870x410) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 40"x40"x19" (1060x1060x480) CONC. FOOTING

CL2 NON-ADJUSTABLE STEEL BASEMENT COLUMN

- 3 1/2" (90) DIA X 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN
- 6"x6"x3/8" (152x152x9.5) STEEL PLATE TOP & BOTTOM
- FIELD WELD BASEMENT COLUMN CONNECTION
- POURED CONCRETE FOOTING ON NATURAL UNDISTURBED SOIL (SEE WALL NOTE 9 FOR BEARING CAPACITY AND CONDITIONS)

SUPPORTING 2 STOREY FLR. LOAD PROVIDE 42"x42"x18" (1070x1070x460) CONC. FOOTING

SUPPORTING 3 STOREY FLR. LOAD PROVIDE 48"x48"x24" (1220x1220x610) CONC. FOOTING

CL3 NON-ADJUSTABLE STL. COLUMN AT FOUNDATION WALL

- 3 1/2" (90) DIA X 0.188" (4.78) NON-ADJUSTABLE STEEL COLUMN
- 6"x6"x3/8" (152x152x9.5) STEEL TOP PLATE
- 6"x4"x3/8" (152x100x9.5) BOTTOM PLATE
- BASE PLATE 4-1/2"x10"x1/2" (112x250x12.7)
- 2-1/2"DIA x 1'2" LONG x 2" HOOK ANCHORS (2- 12/20x305x50)
- FIELD WELD COLUMN TO BASE PLATE & STEEL BM.

CL4 STEEL BEAM BEARING AT FOUNDATION WALL (9.23.8.1)

- BEAM POCKET OR 8"x8" (200x200) POURED CONC. NB WALLS, MIN. BEARING 3 1/2" (90).

CL5 BUILT-UP WOOD POST AND FOOTING (9.17.4.1, 9.15.3.7)

- 3-2"x6" (5-38x140) BUILT-UP WOOD POST (UNLESS OTHERWISE NOTED)
- METAL BASE SHOE ANCHORED TO CONC. WITH 1/2" (12.7) DIA BOLT
- 24x24"x12" (610x610x305) CONC. FOOTING (OR AS PROVIDED ON PLAN. REFER TO HEX NOTE M17)

CL6 PARTY WALL BEARING (9.23.8)

- ** FOR CONCRETE BLOCK PARTY WALL**
- 12x12x5/8" (305x305x15.9) STEEL PLATE FOR STEEL BEAMS (MIN. BEARING 3-1/2" (89))
- 12x12x1/2" (305x305x12.7) STEEL PLATE FOR WOOD BEAMS (MIN. BEARING 3-1/2" (89))
- ANCHORED WITH 2-3/4" (2-19) x 8" (200) LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE
- LEVEL W/ NON-SHRINK GROUT
- REFER TO NOTE SOLID BEARING (SECTION 3.0) FOR WOOD STUD PARTY WALL

WALL NOTES

W1 SIDING WALL CONSTRUCTION

- SIDING MATERIAL AS PER ELEVATION
- ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS
- APPROVED SHEATHING PAPER
- 3/8" (9.5) EXT. GRADE SHEATHING
- 2"x6" (38x140) STUDS @ 16" (406) O.C.
- INSULATION AS PER SB-12 APPLICATION VALUE LISTED ON WORKING DRAWING
- APPROVED 6 MIL POLYETHYLENE AIR/VAPOUR BARRIER
- 1/2" (12.7) GYPSUM WALLBOARD INT. FIN. (GYPSUM SHEATHING, RIGID INSULATION, AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3 (1.1)) (REFER TO M20 NOTE AS REQ.)

W2 SIDING WALL @ GARAGE CONSTRUCTION

- SIDING MATERIAL AS PER ELEVATION
- ATTACHED TO FRAMING MEMBERS, FURRING MEMBERS OR BLOCKING BETWEEN THE FRAMING MEMBERS
- APPROVED SHEATHING PAPER
- 3/8" (9.5) EXTERIOR TYPE SHEATHING
- STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1.1.1/2" (12.7)
- GYPSUM WALLBOARD INTERIOR FINISH (GYPSUM SHEATHING, RIGID INSULATION AND FIBERBOARD SHALL NOT BE USED FOR THE ATTACHMENT OF SIDING (9.23.16.3 (1.1)) (REFER TO M20 NOTE AS REQ.)

W3 BRICK VENEER WALL CONSTRUCTION

- 3 1/2" (90) BRICK VENEER (PROVIDE WEEP HOLES @ 32" (800) O.C. BOTTOM COURSE AND OVER OPENINGS)
- 1" (25) AIR SPACE
- 7/8"x7"x7" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. (BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9)
- APPROVED SHEATHING PAPER
- 3/8" (9.5) EXTERIOR TYPE SHEATHING
- 2"x6" (38x140) STUDS @ 16" (406) O.C.
- INSULATION AS PER SB-12 APPLICATION VALUE LISTED ON WORKING DRAWING
- 6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONTIN. AIR BARRIER
- 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH

- PROVIDE BASE FLASHING UP MIN. 6" (150) BEHIND BUILDING PAPER (9.20.13.6) (REFER TO M20 NOTE AS REQUIRED)

W4 BRICK VENEER WALL @ GARAGE CONSTRUCTION

- 3 1/2" (90) BRICK VENEER (PROVIDE WEEP HOLES @ 32" (800) O.C. AT BOTTOM COURSE AND OVER OPENINGS)
- 1" (25) AIR SPACE
- 7/8"x7"x7" (22x180x0.76) GALV. METAL TIES @ 16" (400) O.C. HORIZ. 24" (600) O.C. VERT. (BONDING AND FASTENING FOR TIES TO CONFORM WITH 9.20.9)
- APPROVED SHEATHING PAPER
- 3/8" (9.5) EXTERIOR TYPE SHEATHING
- STUDS CONFORMING TO O.B.C. (9.23.10.1.) & SECTION 1.1.
- 1/2" (12.7) GYPSUM WALLBOARD INTERIOR FINISH

- PROVIDE BASE FLASHING UP 6" (150) MIN. BEHIND BUILDING PAPER (9.20.13.6) (REFER TO M20 NOTE AS REQ.)

W5 STUCCO WALL CONSTRUCTION

- STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28 (APPLIED PER MANUFACTURERS SPECS.)
- 1 1/2" (38) MIN. E.F.S.
- APPROVED DRAINAGE MAT
- 1/2" (12.7) DENGLASS GOLD GYPSUM BOARD
- 2"x6" (38x140) SPRUCE STUDS @ 16" (406) O.C.
- INSULATION AS PER SB-12 APPLICATION VALUE LISTED ON WORKING DRAWING
- APPROVED 6 MIL POLYETHYLENE VAPOUR BARRIER
- 1/2" (12.7) GYPSUM WALLBOARD INT. FINISH (REFER TO M20 NOTE AS REQUIRED)

CONSTRUCTION NOTES 1

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	
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- W6 STUCCO WALL @ GARAGE CONSTRUCTION**
-STUCCO FINISH CONFORMING TO O.B.C. SECTION 9.28, (APPLIED PER MANUFACTURERS SPECS.)
-1 1/2" (38) MIN. E.F.J.S
-APPROVED DRAINAGE MAT
-1/2" (12.7) DENGLASS GOLD GYPSUM BOARD
-STUDS CONFORMING TO O.B.C (9.23.10.1.) & SECTION 1.1.
-1/2" (12.7) GYPSUM WALLBOARD INT. FINISH
(REFER TO M&O NOTE AS REQ.)
- W7 INTERIOR STUD PARTITIONS** (9.23.9.B., 9.23.10)
-BEARING PARTITIONS MINIMUM STUD SPACING:
-2 STOREY 2"x4" (38x89) @ 16" (406) O.C.
-3 STOREY 2"x4" (38x89) @ 12" (305) O.C.

- NON-BEARING PARTITIONS - REFER TO PLAN FOR STUD SPACING**
-2"x4" (38x89) @ 24" (610) O.C.
-2"x4" (38x89) BOTTOM PLATE
-2-2"x4" (2-38x89) TOP PLATE
-1/2" (12.7) INT. DRYWALL BOTH SIDES
-2"x4" (38x89) @ 24" (610) O.C. LADDER FRAMING FOR PERPENDICULAR INTERSECTION WALLS

- FOR NON-LOAD BEARING WALLS PARALLEL TO JOISTS**
-2"x4" (38x89) WOOD BLOCKING ON PLAT @ 3'-11" (1194) O.C., MAX.

- W8 EXT. LOFT WALL CONSTRUCTION - NO CLADDING**
-3/8" (9.5) EXTERIOR TYPE SHEATHING
-2"x6" (38x140) STUDS @ 16" (406) O.C.
-INSULATION AS PER SB-12 APPLICATION VALUE LISTED ON WORKING DRAWING
-6 mil POLYETHYLENE VAPOUR BARRIER WITH APPROVED CONT. AIR BARRIER
-1/2" (12.7) GYPSUM WALLBOARD INT. FINISH (9.23)

- W9 FOUNDATION WALL/FOOTINGS**
-POURED CONC. FOUNDATION WALL AS PER CHART BELOW
-CONTINUOUS KEYED CONCRETE FOOTING
-EXTERIOR FOUNDATION WALLS TO BE DAMPROOFED FROM THE TOP OF THE FOOTING TO FINISHED GRADE
-BRUSH COAT FROM TOP OF FOOTING TO 2" BELOW GRADE
-DRAINAGE LAYER TO BE APPLIED TO THE EXTERIOR OF THE FOUNDATION WALL AND SEALED.
-TOP OF THE CONCRETE FOOTING TO BE DAMPROOFED
-FOR JOIST SPANS GREATER THAN 16'-1" (4900) CONCRETE FOOTINGS TO BE SIZED AS PER 9.15.3.4 (1), (2) (REFER TO CHART BELOW FOR SIZES)
-BRACE FOUNDATION WALL PRIOR TO BACKFILLING
-ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OF 75kPa (9.15.1.1.(i)) (a) (ii) OR COMPACTED ENGINEERED FILL WITH MIN. BEARING CAPACITY OF 30kPa.
-FOR SOIL THAT DOES NOT MEET MINIMUM SOIL BEARING CAPACITY, ENGINEERED FOOTINGS TO BE USED.
-ACTUAL SOIL BEARING CAPACITY TO BE VERIFIED WITH SOIL ENGINEERING REPORT
-FOUNDATION WALLS SHALL NOT EXCEED 9'-10" (3.0m) IN UNSUPPORTED HEIGHT UNLESS OTHERWISE NOTED. (9.15.4.2.1.i)

UNREINFORCED SOLID CONCRETE FOUNDATION WALLS @ 15.4.2				
STRENGTH	MAX HEIGHT FROM FIN. SLAB TO GRADE (BACKFILL)			
	UNSUPPORTED AT TOP	SUPPORTED AT TOP		
THICKNESS		≤2.5m	>2.5m & ≤2.75m	>2.75m & ≤3.0m
8"	3'-11" (1.20m)	7'-0" (2.15m)	7'-0" (2.15m)	6'-10" (2.10m)
10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	8'-2" (2.50m)
12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
8"	3'-11" (1.20m)	7'-6" (2.30m)	7'-6" (2.30m)	7'-2" (2.20m)
10"	4'-7" (1.40m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
12"	4'-11" (1.50m)	7'-6" (2.30m)	8'-6" (2.60m)	9'-3" (2.85m)
MINIMUM STRIP FOOTING SIZES @ 15.3				
NUMBER FLOORS SUPPORTED	SUPPORTING ON LOAD BEARING MASONRY WALLS	SUPPORTING EXTERIOR	SUPPORTING PARTY WALL	
1	16" WIDE x 8" THICK	16" WIDE x 8" THICK	16" WIDE x 8" THICK	
2	24" WIDE x 8" THICK	20" WIDE x 8" THICK	24" WIDE x 8" THICK	
3	36" WIDE x 14" THICK	26" WIDE x 8" THICK	36" WIDE x 14" THICK	

TWO STOREY VOLUME SPACES (9.23.10.1., 9.23.11., 9.23.16.)					
WALL ASSEMBLY	STUDS	WIND LOADS			
		≤0.5 kPa (50)		>0.5 kPa (50)	
EXTERIOR	BRICK	SPACING	MAX HEIGHT	SPACING	MAX HEIGHT
		12" (305) O.C.	18'-4" (5588)	8" (203) O.C.	18'-4" (5588)
SIDING	BRICK	16" (406) O.C.	18'-4" (5588)	12" (305) O.C.	18'-4" (5588)
		SPACING			
BRICK	SIDING	12" (305) O.C.	21'-0" (6400)	12" (305) O.C.	21'-0" (6400)
		SPACING		16" (406) O.C.	21'-0" (6400)

-STUDS ARE TO BE CONTINUOUS
-C/W 3/8" (9.5) THICK EXTERIOR PLYWOOD SHEATHING
-PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 4'-0" (1220) O.C., VERTICALLY.
FOR HORIZ. DISTANCES LESS THAN 7'-6" (2294):
-2"x6" (38x140) STUDS @ 16" (406) O.C.
-CONTIN. 2-2"x6" (2-38x140) TOP PLATE
-1-2"x6" (1-38x140) BOTTOM PLATE
-MIN. OF 3-2"x8" (3-38x184) CONT. HEADER AT GROUND FLOOR CEILING LEVEL (TOE-NAILED & GLUED AT TOP, BOTTOM PLATES & HEADERS)

- RATED WALL NOTES**
- W11 1 HR. PARTY WALL (CONC. BLOCK)** (SB-3) WALL TYPE 'B6a' & 'B1b')
-1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE
-2-2"x4" (38x89) VERTICAL WD. STRAPPING @ 24" (610) O.C. ON EACH SIDE
-5" (200) CONC. BLOCK
-STRAPPING CAVITY TO BE FILLED ON EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS. -TAPE, FILL & SAND ALL GYPSUM JOINTS
-EXPOSED BLOCK MUST BE SEALED W/ 2 COATS OF PAINT -OR-
-RURRED WITH 2-2"x2" (38x38) WD. STRAPPING & 1/2" (12.7) GYPSUM SHEATHING.
- W12 1 HR. PARTY WALL (DOUBLE STUD)** (SB-3) WALL TYPE 'W13c')
-5/8" (15.9) TYPE 'X' GYPSUM SHEATHING ON EACH SIDE
-2 ROWS OF 2"x4" (38x89) STUDS @ 16" (406) O.C.
-SEPARATE 2"x4" (38x89) SILL PLATE 1" (25) MIN. APART
-FILL ONE SIDE OF STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS.
-TAPE FILL AND SAND ALL GYPSUM JOINTS.
- W13 2 HR. FIREWALL** (SB-3) WALL TYPE 'B6a' & 'B1b')
-1/2" (12.7) GYPSUM SHEATHING ON EACH SIDE
-2-2"x2" (38x38) VERTICAL WOOD STRAPPING @ 24" (610) O.C. ON EACH SIDE -5" (200) CONC. BLOCK 75% SOLID FILLED
-STRAPPING CAVITY TO BE FILLED ON EACH SIDE WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS.
-TAPE, FILL & SAND ALL GYPSUM JOINTS.
FOR UNFINISHED AREAS:
-EXTERIOR FACE OF CONC. BLOCK TO BE SEALED WITH 2 COATS OF PAINT
-GYPSUM SHEATHING TO BE ATTACHED TO CONC. BLOCK. (REFER TO DETAILS)
- W14 EXISTING WALL - FOR A HOUSE (30 min. FRB)** (TABLE 11.5.1.1.C - CA # - C152)
TO BE APPLIED ONLY TO THOSE ELEMENTS WHICH HAVE BEEN IN EXISTENCE FOR AT LEAST 5 YEARS (DIV. A. PART 1, 1.1.2.6.1.i)
(SB-3) WALL TYPE 'W1c')
-1 LAYERS OF 1/2" (12.7) GYPSUM BOARD
-TAPE FILL AND SAND ALL GYPSUM JOINTS.
-2"x4" (38x89) OR 2"x6" (as req'd) STUDS @ 16" (406) O.C.
-FILL STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS
-1/2" (12.7) RESILIENT CHANNEL SPACED @ 16" (406) OR 24" (610). INSTALLED PERPENDICULAR TO JOISTS
-1 LAYERS OF 1/2" (12.7) GYPSUM BOARD
-TAPE FILL AND SAND ALL GYPSUM JOINTS.
- SMOKE ALARMS TO BE:
- PROVIDED IN EVERY DWELLING AND COMMON AREA, AND
- INTERCONNECTED

- W15 1 hrs. SECONDARY SUITE WALL (51 STC)** (SB-3) WALL TYPE 'W4c')
-1 LAYERS OF 5/8" (15.9) TYPE 'X' GYPSUM BOARD
-TAPE FILL AND SAND ALL GYPSUM JOINTS
-2"x4" (38x89) [or 2"x6" (as req'd)] STUDS @ 16" (406) O.C.
-FILL STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS
-1/2" (12.7) RESILIENT CHANNEL SPACED @ 16" (406) OR 24" (610). INSTALLED PERPENDICULAR TO STUDS
-2 LAYERS OF 5/8" (15.9) TYPE 'X' GYPSUM BOARD FASTENED TO RESILIENT METAL CHANNEL
-TAPE FILL AND SAND ALL GYPSUM JOINTS.
- *ALL REQUIRED ELECTRICAL OUTLET BOXES TO PENETRATE THE ASSEMBLY SHALL BE TIGHT FITTING
*ALL BACK-TO-BACK OUTLET BOXES INSTALLED ON BOTH FACES OF THE ASSEMBLY SHALL BE OFFSET

- RATED CEILING NOTES**
- RC1 EXISTING CEILING - FOR A HOUSE (15 min. FRB)** (TABLE 11.5.1.1.C - CA # - C152)
TO BE APPLIED ONLY TO THOSE ELEMENTS WHICH HAVE BEEN IN EXISTENCE FOR AT LEAST 5 YEARS (DIV. A. PART 1, 1.1.2.6.1.i)
PER HOUSING AND URBAN DEVELOPMENT PREPARED BY TABLE 9.8 (TABLE 11.5.1.1.C - CA # - C5)
FIC-W-29 EXPOSED WOOD JOISTS 15min FRB
- SMOKE ALARMS TO BE:
- PROVIDED IN EVERY DWELLING AND COMMON AREA, AND
- INTERCONNECTED

- RC2 45 min. RATED CEILING (53 STC)** (SB-3) FLOOR TYPE 'F1b')
-SUBFLOOR AS PER FLOOR MANUF. (5/8" (15.9) MIN. - PLYWOOD/OSB)
-WOOD JOISTS AS PER FLOOR MANUF. (OR AS PER DRAWINGS) NOT TO BE SPACED MORE THAN 24" O/C (610)
-FILL STUD CAVITY WITH AT LEAST 90% OF ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG OR GLASS
-1/2" (12.7) RESILIENT CHANNEL, SPACED @ 16" (406) OR 24" (610). INSTALLED PERPENDICULAR TO JOISTS
-2 LAYERS OF 1/2" (12.7) TYPE 'X' GYPSUM BOARD FASTENED TO RESILIENT METAL CHANNEL
-TAPE FILL AND SAND ALL GYPSUM JOINTS.
- *ALL REQUIRED ELECTRICAL OUTLET BOXES TO PENETRATE THE ASSEMBLY SHALL BE TIGHT FITTING
*ALL BACK-TO-BACK OUTLET BOXES INSTALLED ON BOTH FACES OF THE ASSEMBLY SHALL BE OFFSET
- RC3 1HRS. MEMBRANE CEILING** (SB-2) TABLE 2.3.1.2)
-FLOOR JOISTS, AS PER DRAWINGS
-2 LAYERS OF 5/8" (15.9) TYPE 'X' GYPSUM BOARD
-TAPE FILL AND SAND ALL GYPSUM JOINTS
-NO OPENINGS TO BE PERMITTED WITHIN GYPSUM WALL BOARD

- MECHANICAL VENTILATION NOTES**
- MV1 DRYER EXHAUST**
-CAPPED DRYER EXHAUST VENTED TO EXT., CONFORMING TO PART 6, OBC 9.32.
- MV2 MECHANICAL VENTILATION** (9.32.1.3.)
-MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR
-PROVIDE AT LEAST ONE AIR CHANGE PER HOUR, SEE GENERAL NOTE 1.3.
- MV3 FURNACE VENTING** (9.32)
-DIRECT VENT FURNACE TERMINAL MIN. 3'-0" (915) FROM A GAS REGULATOR
-MIN. 12" (305) ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS
-H/RV INTAKE TO BE A MIN. OF 6'-0" (1830) FROM ALL EXHAUST TERMINALS. -REFER TO GAS UTILIZATION CODE.
- MV4 FIREPLACE VENTING** (9.32.3.)
-DIRECT VENT GAS FIREPLACE VENT TO BE A MIN. 12" (305) FROM ANY OPENING AND ABOVE FIN. GRADE
-REFER TO GAS UTILIZATION CODE.
- MV5 RANGE HOODS AND RANGE-TOP FANS**
-COOKING APPLIANCE EXHAUST FANS VENTED TO EXTERIOR TO CONFORM WITH 9.32.3.9, & 9.32.3.10.
- MV6 TWO DWELLING UNIT SMOKE DETECTOR** (6.2.4.7.(14))
-RETURN-AIR FROM ONE DWELLING UNIT MAY BE RECIRCULATED TO THE OTHER DWELLING UNIT, PROVIDED A DUCT-TYPE SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR RETURN AIR DUCT
-DUCT-TYPE SMOKE DETECTOR TO TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER IF ACTIVATED

STAIR NOTES					
S1 ALL STAIRS/EXTERIOR STAIRS (9.8.1.2., 9.8.2., 9.8.4.)					
	MAX. RISE	MIN. RISE	MAX. RUN	MIN. RUN	
PRIVATE	7'-6" (200)	5" (125)	14" (355)	10" (255)	
PUBLIC	7" (180)	5" (125)	NO LIMIT	11" (280)	
SERVICE	NO LIMIT	5" (125)	14" (355)	NO LIMIT	
ATTIC (UNOCCUPIED SPACE)	NO LIMIT	5" (125)	14" (355)	NO LIMIT	
CRAWL SPACE	NO LIMIT	5" (125)	14" (355)	NO LIMIT	
*MEZZANINE (NOT EXCEEDING 20 m²)	NO LIMIT	5" (125)	14" (355)	NO LIMIT	
	MIN. STAIR WIDTH	CURVED STAIRS	ALL STAIRS		
PRIVATE	2'-10" (660)	MIN. RUN	5'-8" (150)	MAX NOSING	1" (25)
PUBLIC	2'-11" (900)	MIN. AVG. RUN	PER CHART (SEE 300mm Norm inside handrail)		

-HEIGHT OVER STAIRS (HEADROOM) IS MEASURED VERTICALLY ACROSS WIDTH OF STAIRS FROM A STRAIGHT LINE TO THE TREAD & LANDING NOSING TO LOWEST POINT ABOVE
-6'-5" (1950) MIN. FOR SINGLE DWELLING UNIT
-6'-8 3/4" (2050) MIN FOR ALL OTHER APPLICATIONS (9.8.2.2)

- REQUIRED LANDING IN GARAGE - O.B.C. 9.8.4.2.i)**
FOR AN EXTERIOR STAIR SERVING A GARAGE: W/ MORE THAN 3 RISERS, GUARDS, HANDRAILS & STEPS AS PER CONSTRUCTION HEX NOTE S1 & G1.

- GUARD NOTES**
- G1 GUARDS/RAILINGS** (9.8.7., 9.8.8.)
GUARDS TO BE DESIGNED NOT TO FACILITATE CLIMBING AND PROVIDING MAX. OPENING CONFORMING TO O.B.C. 9.8.8.5. & 9.8.8.6. AND BE ABLE TO RESIST LOADS AS PER TABLE 9.8.8.2.
GUARD HEIGHTS - O.B.C. 9.8.8.
INTERIOR GUARDS: 2'-11" (900) MIN.
EXTERIOR GUARDS: 2'-11" (900) MIN. (LESS THAN 5'-11" (1800) TO GRADE)
3'-6" (1070) MIN. (MORE THAN 5'-11" (1800) TO GRADE)
GUARDS FOR EXIT STAIRS: 3'-0" (920) MIN.
GUARDS FOR LANDINGS @ EXIT STAIRS: 3'-6" (1070) MIN.
GUARDS FOR FLOORS & RAMPS IN GARAGES (SERVICE STAIRS)
FLOOR OR RAMP W/O EXTERIOR WALLS THAT IS 23 5/8" (600) OR MORE ABOVE ADJACENT SURFACE REQUIRES CONT. CURB MIN. 6" (150) HIGH AND GUARD MIN. 3'-6" (1070) HIGH.
REQUIRED GUARDS
BETWEEN WALKING SURFACE & ADJACENT SURFACE WITH A DIFFERENCE IN ELEVATION MORE THAN 23 5/8" (600) OR ADJACENT SURFACE WITHIN 3'-11" (1200) & WALKING SURFACE W/ A SLOPE MORE THAN 1 IN 12 SHALL BE PROTECTED WITH GUARDS PER CONSTRUCTION HEX NOTE G1
HANDRAIL HEIGHTS - O.B.C. 9.8.7. - REQUIRED AS PER 9.8.7.1.(3).
MIN. HEIGHT AT STAIRS OR RAMP: 2'-10" (665)
MAX. HEIGHT AT STAIRS OR RAMP: 3'-2" (965)
MAX. HEIGHT AT LANDING: 3'-6" (1070)
STAIRS OR RAMP MIN. 7'-3" (2200) WIDE: 2'-9" (865) MIN. HEIGHT

SB-12 ENERGY EFFICIENCY DESIGN MATRIX		
PERSCRPTIVE COMPLIANCE SB-12 (SECTION 3.1.1)		
PACKAGE A1		
BUILDING COMPONENT		
INSULATION RSI (R) VALUE		
CEILING W/ ATTIC SPACE	REQUIRED	PROPOSED
CEILING W/O ATTIC SPACE	10.56 (R60)	10.56 (R60)
EXPOSED FLOOR	5.46 (R31)	5.46 (R31)
WALLS ABOVE GRADE	5.46 (R31)	5.46 (R31)
BASEMENT WALLS	3.87 (R22)	3.87 (R22)
	3.52 ci (R20 ci)	3.52 ci (R20 ci)
BELOW GRADE SLAB ENTIRE SUBFACE > 600mm BELOW GRADE	-	-
EDGE OF BELOW GRADE SLAB < 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
HEATED SLAB < 600mm BELOW GRADE	1.76 (R10)	1.76 (R10)
WINDOWS & DOORS		
WINDOWS SLIDING GLASS DOORS (MAX U-VALUE / MIN. ER)	1.6	1.6
SKYLIGHTS (MAX. U-VALUE)	2.8	2.8
APPLIANCE EFFICIENCY		
SPACE HEATING EQUIP. (AFUE%)	96%	96%
HRV. EFFICIENCY (%)	75%	75%
DHW HEATER (EF)	0.8	0.8

UNIT AREA		
GROUND FLOOR	146.88 m²	1581.00 SF
SECOND FLOOR	172.83 m²	1860.29 SF
	319.71 m²	3441.28 SF

COVERAGE W/ PORCH		
GARAGE	37.12 m²	399.52 SF
GARAGE ADDITION	5.12 m²	55.12 SF
GROUND FLOOR	146.88 m²	1581.00 SF
NEW GARAGE	50.20 m²	540.35 SF
PORCH	12.29 m²	132.33 SF
	251.61 m²	2708.32 SF

COVERAGE W/O PORCH		
GARAGE	37.12 m²	399.52 SF
GARAGE ADDITION	5.12 m²	55.12 SF
GROUND FLOOR	146.88 m²	1581.00 SF
NEW GARAGE	50.20 m²	540.35 SF
	239.32 m²	2575.99 SF

GFA (Existing)		
GARAGE	37.12 m²	399.52 SF
GROUND FLOOR	146.88 m²	1581.00 SF
SECOND FLOOR	172.83 m²	1860.29 SF
	356.82 m²	3840.81 SF

GFA (Proposed)		
GARAGE	37.12 m²	399.52 SF
GARAGE ADDITION	5.12 m²	55.12 SF
GROUND FLOOR	146.88 m²	1581.00 SF
NEW GARAGE	50.20 m²	540.35 SF
SECOND FLOOR	172.83 m²	1860.29 SF
	412.14 m²	4436.28 SF

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

CAMERON O'NEILL

NAME

SIGNATURE

FIRM REGISTRATION INFO:

2LS DESIGN INC.

117562

BCN NUMBER

Scale

47 KOOTENAY.rvt

Drawn by

CJO

Checked by

CJO

47 KOOTENAY PLACE, BRAMPTON, ONT.

(REV 5 - 2023.05.16)

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GARAGE ADDITION

CONSTRUCTION NOTES 2

Page Number

A-0.2

LOT AREA BREAKDOWN			
Name	Area (sf)	Area (sq m)	Area %
DRIVEWAY	456.76 SF	42.43 m²	4.04%
DRIVEWAY ADDITION	914.68 SF	84.98 m²	8.08%
FRONT PORCH	132.23 SF	12.28 m²	1.17%
GARAGE ADDITION	540.78 SF	50.24 m²	4.78%
HOUSE	1979.97 SF	183.95 m²	17.50%
SOFT LANDSCAPING	7292.65 SF	677.51 m²	64.44%
	11317.08 SF	1051.39 m²	100.00%

LOT COVERAGE		
Name	Area (sf)	Area (sq m)
HOUSE	1979.97 SF	183.95 m²
FRONT PORCH	132.23 SF	12.28 m²
GARAGE ADDITION	540.78 SF	50.24 m²
	2652.99 SF	246.47 m²

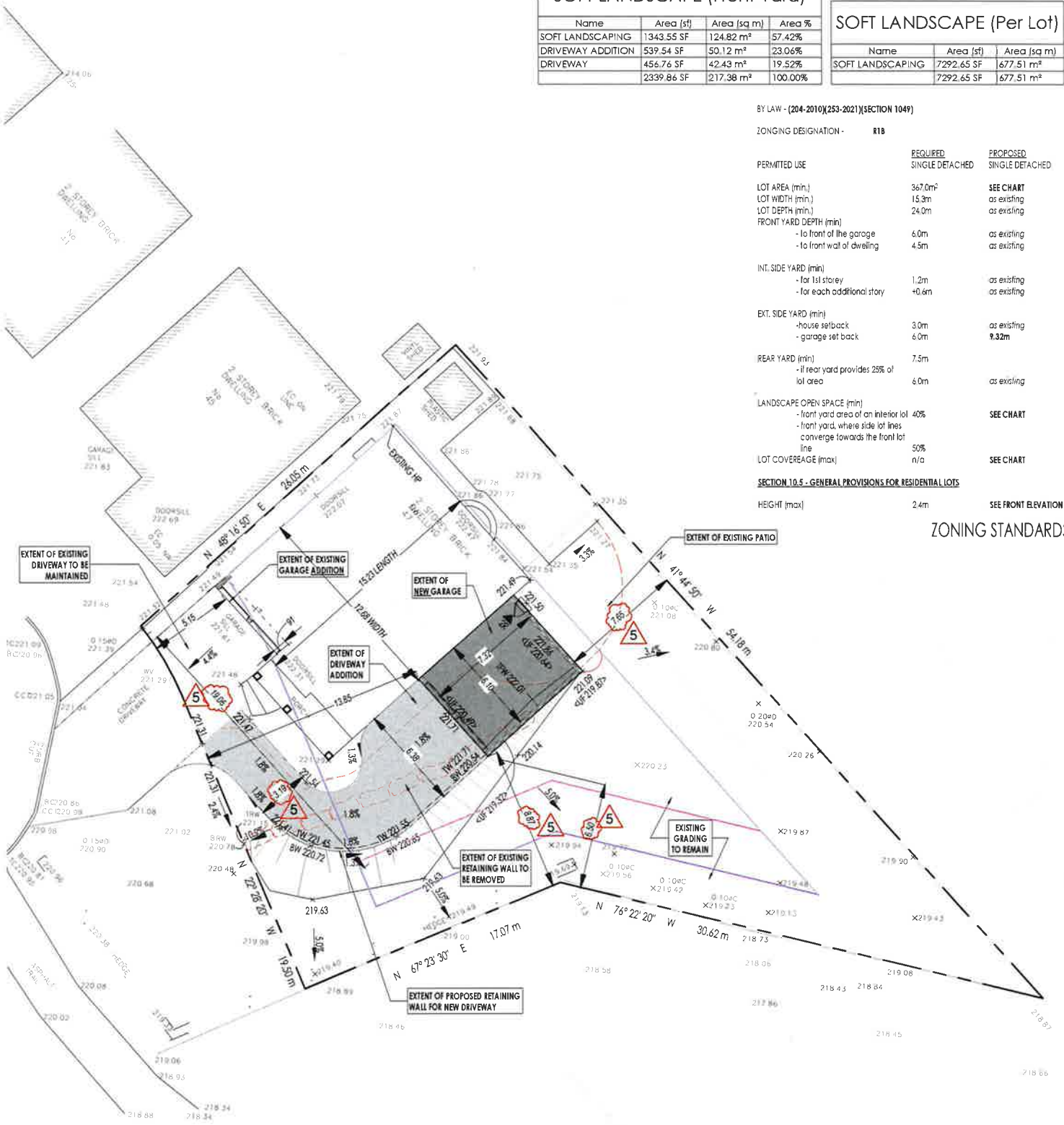
SOFT LANDSCAPE (Front Yard)			
Name	Area (sf)	Area (sq m)	Area %
SOFT LANDSCAPING	1343.55 SF	124.82 m²	57.42%
DRIVEWAY ADDITION	539.54 SF	50.12 m²	23.06%
DRIVEWAY	456.76 SF	42.43 m²	19.52%
	2339.86 SF	217.38 m²	100.00%

SOFT LANDSCAPE (Per Lot)		
Name	Area (sf)	Area (sq m)
SOFT LANDSCAPING	7292.65 SF	677.51 m²
	7292.65 SF	677.51 m²

BY LAW - (2010-2023)(253-2021)(SECTION 1049)

ZONING DESIGNATION - R1B		
PERMITTED USE	REQUIRED SINGLE DETACHED	PROPOSED SINGLE DETACHED
LOT AREA (min.)	3670m²	SEE CHART
LOT WIDTH (min.)	15.3m	as existing
LOT DEPTH (min.)	24.0m	as existing
FRONT YARD DEPTH (min.)		
- to front of the garage	6.0m	as existing
- to front wall of dwelling	4.5m	as existing
INT. SIDE YARD (min.)		
- for 1st storey	1.2m	as existing
- for each additional storey	+0.6m	as existing
EXT. SIDE YARD (min.)		
- house setback	3.0m	as existing
- garage set back	6.0m	9.32m
REAR YARD (min.)		
- if rear yard provides 25% of lot area	7.5m	as existing
LANDSCAPE OPEN SPACE (min.)		
- front yard area of an interior lot	40%	SEE CHART
- front yard, where side lot lines converge towards the front lot line	50%	
LOT COVERAGE (max)	n/a	SEE CHART

SECTION 10.5 - GENERAL PROVISIONS FOR RESIDENTIAL LOTS		
HEIGHT (max)	2.4m	SEE FRONT ELEVATION
ZONING STANDARDS		



DAY-LIGHT TRIANGLE SETBACK	FINISHED FLOOR	FF
DEMOLITION LINE	TOP OF FOUNDATION WALL	TFW
ENCROACHMENT SETBACK	BASMENT FLOOR	BF
EASEMENT	UNDERSIDE OF FOOTING	UF
HOUSE SETBACK	WALK UP BASEMENT	WUB
GARAGE SETBACK	WALK OUT BASEMENT	WOB
PORCH SETBACK	EXTERIOR DOOR LOCATION	
HARDSCAPE/DRIVEWAY		
SANITARY LINE		

1 SITE PLAN
1:250

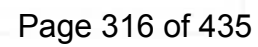
I, the undersigned, hereby certify that I am a duly qualified professional engineer and that I am the author of the design and drawings shown on this plan, and that I am not aware of any other person who has contributed to the design or drawings shown on this plan.

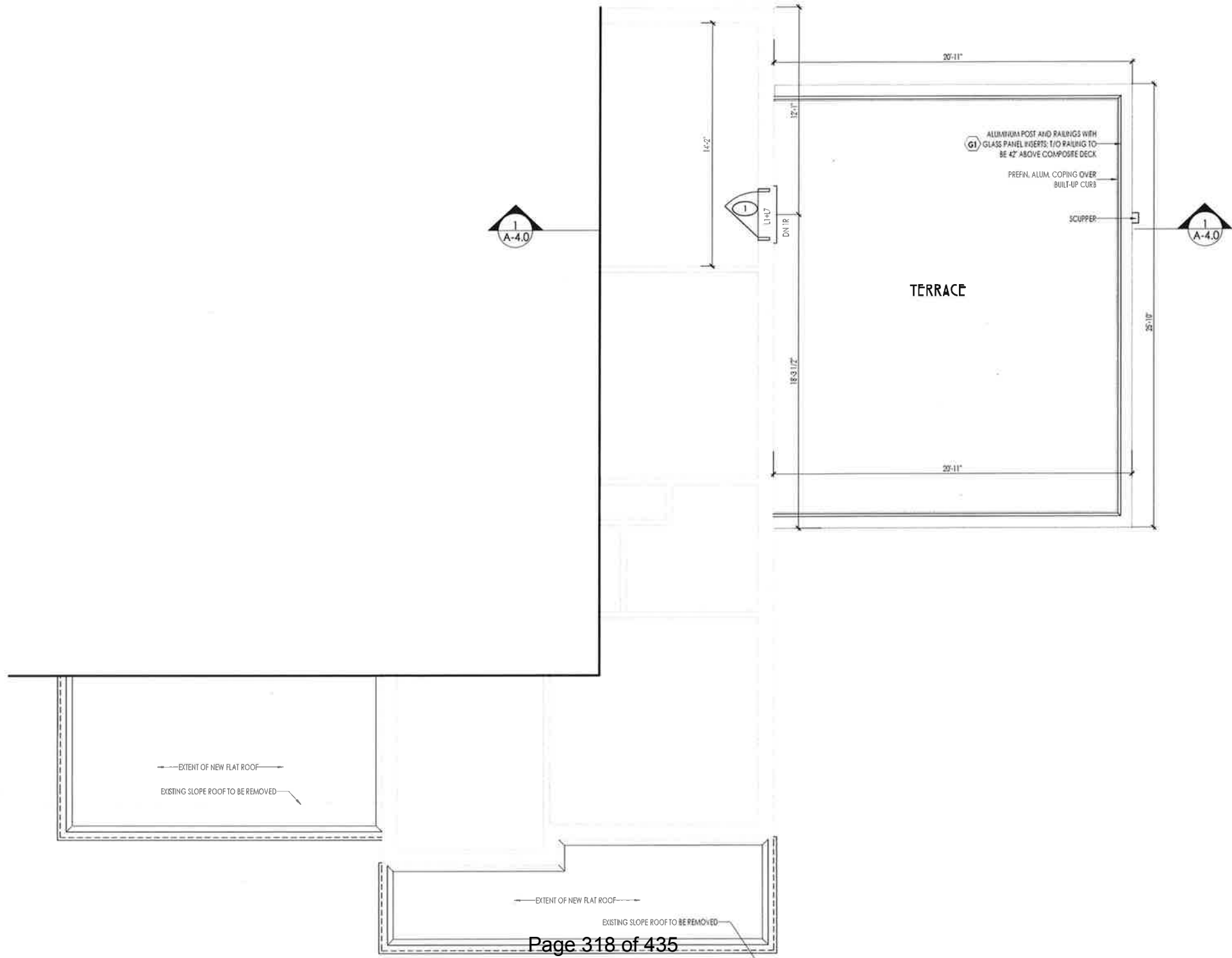
NAME: CAMERON O'NEILL
FIRM REGISTRATION INFO: 21.5 DESIGN INC.
SIGNATURE: [Signature]
DATE: 11/15/2023

Drawn By: CJO
Checked By: CJO
Scale: As indicated
Project: 47 KOOTENAY.rvt

GARAGE ADDITION
47 KOOTENAY PLACE, BRAMPTON, ONT.
(REV 5 - 2023.05.16)
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21.5 DESIGN INC.
[Logo]
Page Number: A-1.0





SECOND FLOOR PLAN

ONE DESIGN INC.

Page Number

A-2.2

GARAGE ADDITION

47 KOOTENAY PLACE, BRAMPTON, ONT.

(REV 5 - 2023.05.16)

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Drawn By

CJO

Checked By

CJO

Date

3/16/23

3/16/23 = 1'-0"

47 KOOTENAY PL

PROJECT REGISTRATION INFO:

PROJECT NAME

47 KOOTENAY PLACE

PROJECT NUMBER

117562

PROJECT LOCATION

BRAMPTON, ONT.

PROJECT STATUS

100%

DESIGNER'S DECLARATION:

I, the undersigned, being a duly qualified and licensed architect, hereby certify that I am the author of the design and that the design is my original work and that I am not aware of any other person who has contributed to the design.

DATE

3/16/23

SIGNATURE

Cameron Jewell

DESIGNER'S DECLARATION:

I, the undersigned, being a duly qualified and licensed architect, hereby certify that I am the author of the design and that the design is my original work and that I am not aware of any other person who has contributed to the design.

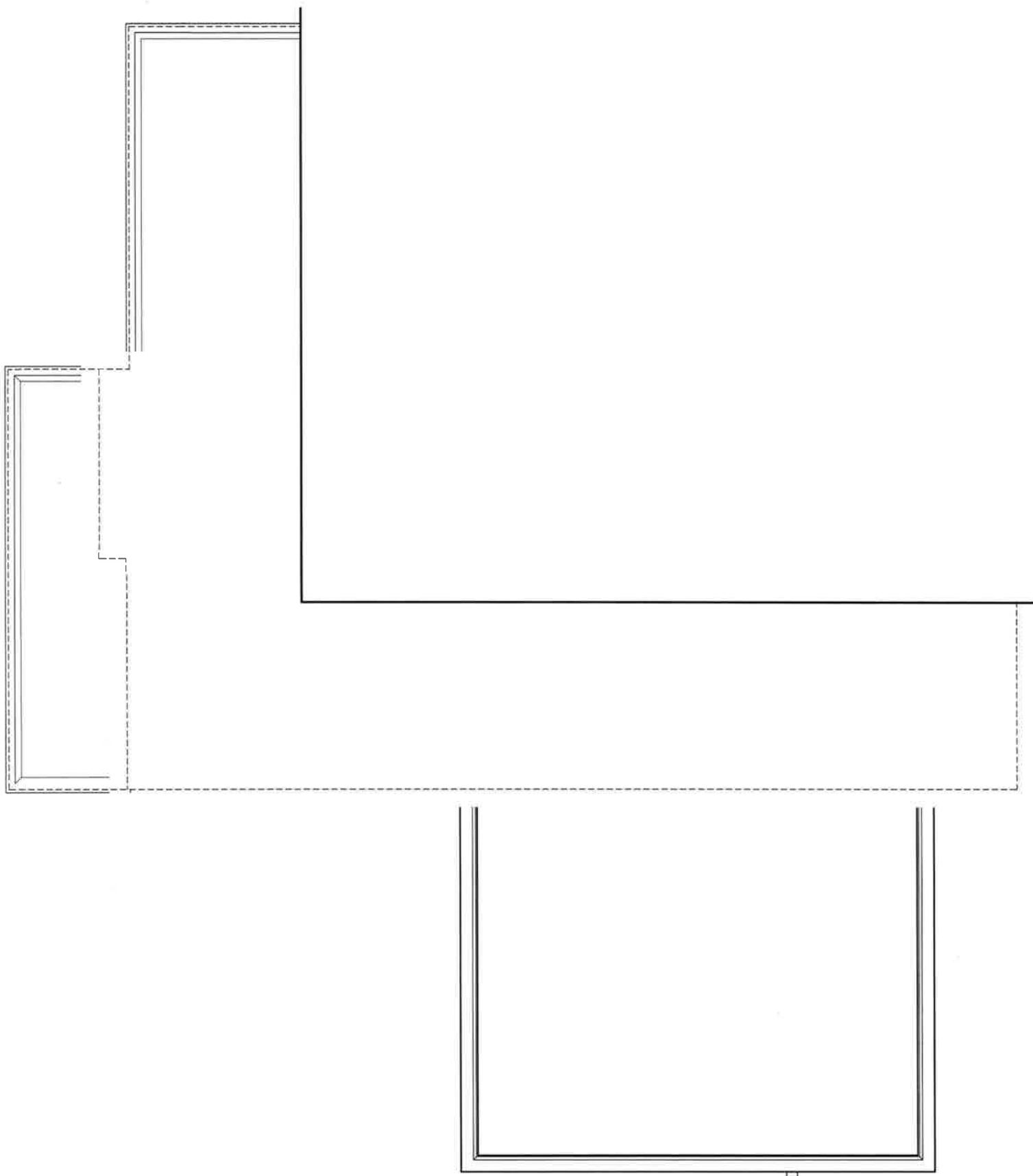
DATE

3/16/23


SIGNATURE

Cameron Jewell

Page 318 of 435



ROOF PLAN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION INFORMATION: CAMERON O'NEILL NAME 117582 BORN NUMBER SIGNATURE FIRM REGISTRATION INFO: 2LS DESIGN INC. 116815		Drawn By CJO Checked By CJO Scale 3/16" = 1'-0" 47 KOOTENAY.NT	GARAGE ADDITION 47 KOOTENAY PLACE, BRAMPTON, ONT. (REV 5 - 2023.05.16) T 647.456.2828 // www.2LSdesign.ca // cameron@2LSdesign.ca	2LS DESIGN INC. 	Page Number A-2.3
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UNLESS OTHERWISE NOTED, ALL
WINDOWS ARE TO BE FIXED GLASS

ESTABLISHED GRADE CALCULATION	
•	221.87
•	221.49
•	221.09
•	221.71
•	221.29
•	221.61
AVG. GRADE - 221.51	

FRONT ELEVATION



GARAGE ADDITION
47 KOOTENAY PLACE, BRAMPTON, ONT.

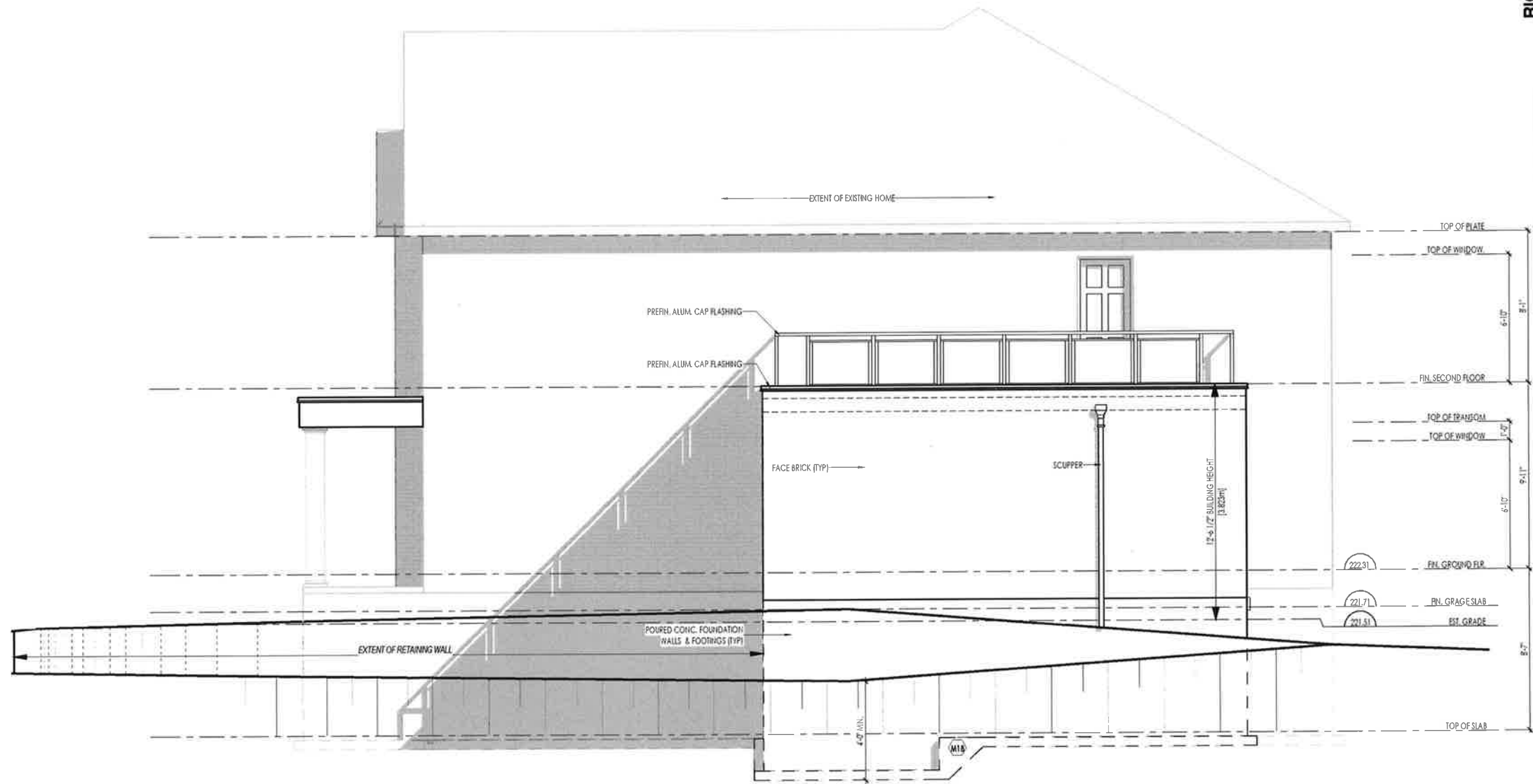
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(REV 5 - 2023.05.16)

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Page 320 of 435

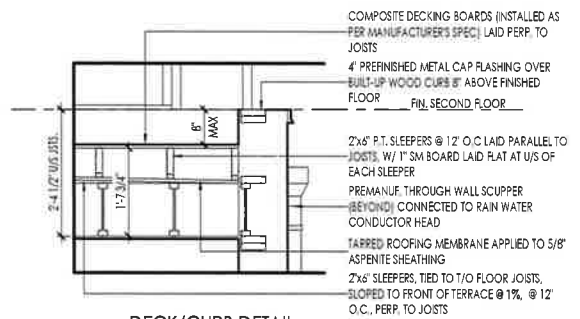
UNLESS OTHERWISE NOTED, ALL
WINDOWS ARE TO BE FIXED GLASS



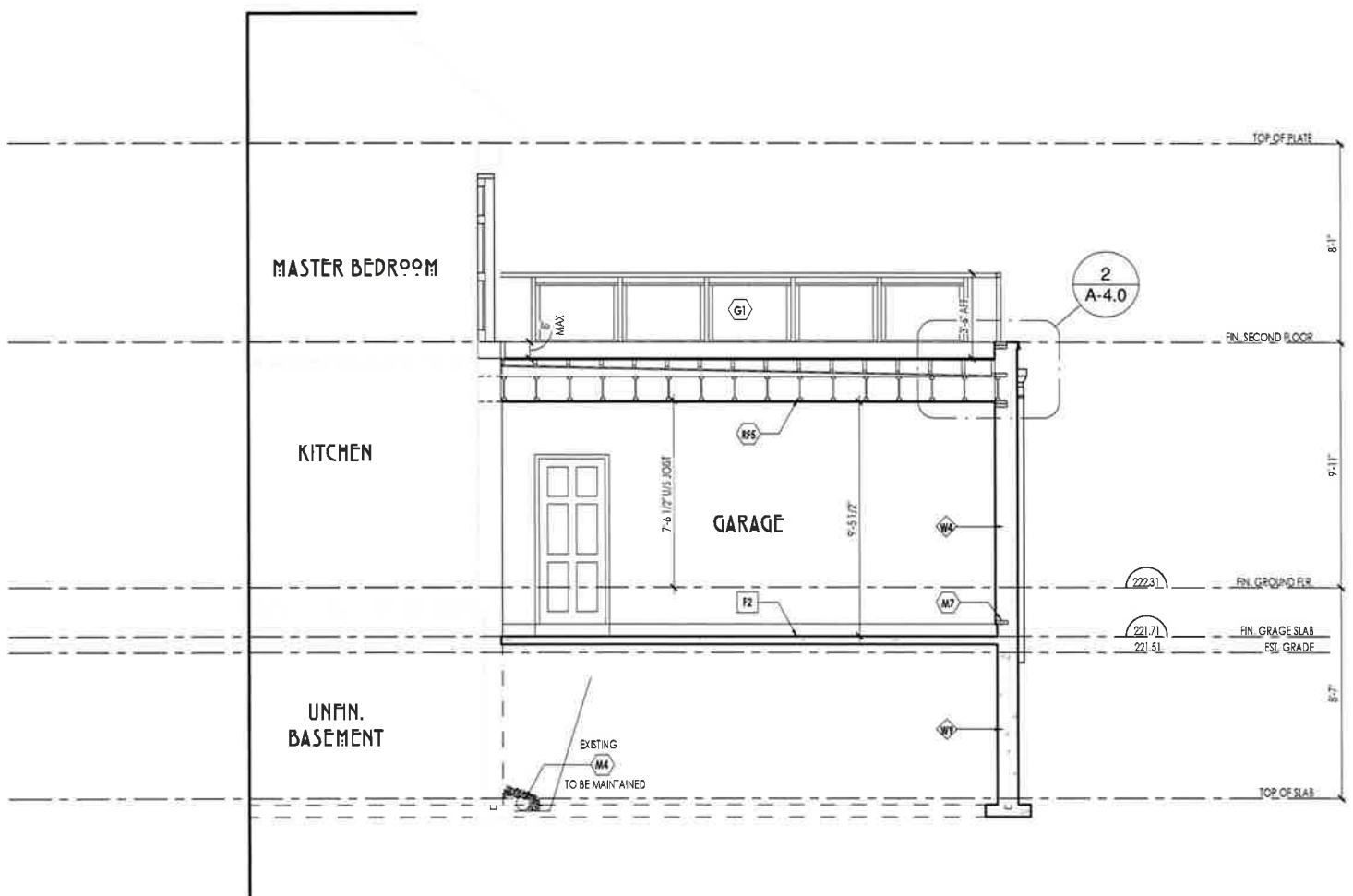
RIGHT SIDE ELEVATION

		Page Number	
A-3.1			
GARAGE ADDITION			
47 KOOTENAY PLACE, BRAMPTON, ONT.			
(REV 5 - 2023.05.16)			
T 647 456 2828 // www.212design.ca // cameron@212design.ca			
Drawn By	Checked By	Scale	Sheet
CJO	CJO	3/16" = 1'-0"	47 KOOTENAY PL
11/15/2023	11/15/2023	8/21/2023	11/15/2023
PROJECT REGISTRATION INFO:			
PROJECT: 47 KOOTENAY PLACE			
PROJECT: 47 KOOTENAY PLACE			
PROJECT: 47 KOOTENAY PLACE			

REFER TO FRONT ELEVATION
FOR TYPICAL NOTES &
INFORMATION



2 DECK/CURB DETAIL
3/8" = 1'-0"



1 SECTION 1
3/16" = 1'-0"

CROSS SECTION 1

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.
SIGNATURE INFORMATION
CAMERON O'NEILL
NAME
117562
BCIN NUMBER
SIGNATURE
FIRM REGISTRATION INFO:
2LS DESIGN INC.
118815

Drawn By
CJO
Checked By
CJO
Scale
As indicated
47 KOOTENAY.rvt

GARAGE ADDITION
47 KOOTENAY PLACE, BRAMPTON, ONT.
(REV 5 - 2023.05.16)
T 647.456.2828 // www.2LSdesign.ca // cameron@2LSdesign.ca



Page Number
A-4.0

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2LS ON Going Projects 47 Kootenay Place (Brampton) Design 2LS - 47 Kootenay Place DS (ver 5).rvt



APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **AIRPORT 407 BUSINESS CAMPUS LIMITED PARTNERSHIP, AIRPORT 407 BUSINESS CAMPUS G.P INC. AND AIRPORT 407 BUSINESS CAMPUS INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 15, Concession 7 Southern Division municipally known as **40 DRIVER ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a maximum building height of 18.2m (59.8 ft) whereas the by-law permits a maximum building height of 17.5m (57.4 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html>.

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Patterson Planning Consultants Inc.

Hand Delivered

Our File: 168

May 23, 2023

Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON
L6Y 4R2

Dear Committee:

**Re: 40 Driver Road
Minor Variance Application
Airport 407 Business Campus Limited Partnership**

A-2023-0170

Patterson Planning Consultants Inc. is pleased to submit this Minor Variance application on behalf of the property owner for the lands at 40 Driver Road in the City of Brampton. The subject lands are currently built out with an 11,934.3m² manufacturing facility that is operated by Albea Canada.

In support of their continued operations, Albea wish to install a new vertical equipment line. This vertical system will require an increase in building height to allow its installation and use.

The subject lands are currently zoned "M1" in City of Brampton Zoning By-law 270-2004. Further the lands are subject to special provisions as found in Section 2724.

Section 2724.2 (8) permits a maximum building height of 17.5 metres. In order to accommodate the vertical equipment, a portion of the roof of the existing building needs to be raised. As such, relief from the by-law is required as follows:

- 1) Relief from Section 2724.2 (8) which permits a Maximum Building Height of 17.5 metres whereas a Building Height of 18.2 metres is proposed.**

"Building Height" is defined in the By-law as "*shall mean the vertical distance between the established grade, and:*

- (a) in the case of a flat roof, the highest point of the roof surface,*
- (b) in the case of a mansard roof, the deck line, or*
- (c) in the case of a peaked, gabled, hip or gambrel roof, the mean height level between eaves and ridge."*

The roof of the existing building is a flat roof and the increased height for a portion of the building will be attributable to the area where the new equipment is being installed.

6095 Line 66 Monkton, ON N0K 1P0

scott@lpplan.com

P: 519-577-9817

We trust that the submitted material and the above information are sufficient for the acceptance of a complete application at this time, and would greatly appreciate this item coming forward at the next Committee of Adjustment meeting.

Should you have any questions or concerns please do not hesitate to contact our office.

Yours truly,
Patterson Planning Consultants Inc.

A handwritten signature in cursive script that reads "Scott Patterson".

Scott Patterson, BA, CPT, MCIP, RPP
Principal

SP/jk

Copy: Waddell Engineering



FILE NUMBER: A-2023-0170

The Personal Information collected on this form is collected pursuant to section 48 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Airport 407 Business Campus Limited Partnership by its General Partner,
Airport 407 Business Campus G.P. Inc. and Airport 407 Business Campus Inc.
Address c/o BentallGreenOak (Canada) Limited Partnership (Manager on behalf of)
1875 Buckhorn Gate, Suite 601
Mississauga, Ontario L4W 5P1
Phone # 416-674-7707 **Fax #** 416-674-7738
Email mari.crucillo@bgo.com

2. **Name of Agent** PATTERSON PLANNING CONSULTANTS INC. (SCOTT PATTERSON)
Address 6095 LINE 66
MONKTON, ONT N0K 1P0
Phone # 519-577-9817 **Fax #** _____
Email scott@pplan.com

3. **Nature and extent of relief applied for (variances requested):**
THE PROPERTY IS ZONED "M1-2724". RELIEF FROM SECTION
2724.2 (8) WHICH PERMITS A MAXIMUM BUILDING HEIGHT
OF 17.5m WHEREAS A BUILDING HEIGHT OF 18.2m IS
PROPOSED.

4. **Why is it not possible to comply with the provisions of the by-law?**
THE SITE SPECIFIC ZONING LIMITS BUILDING HEIGHT TO 17.5m.
THE PARENT "M1" ZONE (AS PER SECTION 31.1.2 (f))
HAS NO MAXIMUM HEIGHT LIMIT. THE REQUEST IS TO
INCREASE THE MAXIMUM HEIGHT FOR A PORTION OF THE
EXISTING BUILDING TO ACCOMMODATE A NEW VERTICAL
EQUIPMENT LINE.

5. **Legal Description of the subject land**
Lot Number PART OF LOT 15, CONCESSION 7 SOUTHERN DIVISION, CITY OF BRAMPTON
Plan Number/Concession Number _____
Municipal Address 40 DRIVER ROAD

6. **Dimension of subject land (in metric units)**
Frontage 197.74 m
Depth 136.6 m
Area 26,754.8 m²

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

-2-

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land:

EXISTING INDUSTRIAL BUILDING - 11,394.3m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NO NEW BUILDINGS ARE PROPOSED

RENOVATION TO EXISTING BUILDING AND NEW EQUIPMENT
REQUIRING ADDITIONAL BUILDING HEIGHT.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback

24.7m

Rear yard setback

15.8m

Side yard setback

13.9m

Side yard setback

47.05m

PROPOSED

Front yard setback

N/A

Rear yard setback

Side yard setback

Side yard setback

10. Date of Acquisition of subject land: 2000
11. Existing uses of subject property: INDUSTRIAL - PACKAGING MANUFACTURING
12. Proposed uses of subject property: SAME
13. Existing uses of abutting properties: INDUSTRIAL
14. Date of construction of all buildings & structures on subject land: 2001
15. Length of time the existing uses of the subject property have been continued: 2001 - ~22 YEARS

16. (a) What water supply is existing/proposed?

Municipal



Well



Other (specify)

- (b) What sewage disposal is/will be provided?

Municipal



Septic



Other (specify)

- (c) What storm drainage system is existing/proposed?

Sewers



Ditches



Swales



Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Scott Patterson
Signature of Applicant(s) or Authorized Agent

DATED AT THE MUNICIPALITY OF NORTH PEETH
THIS 23 DAY OF MAY, 20 23

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, SCOTT PATTERSON, OF THE MUNICIPALITY OF NORTH PEETH
IN THE COUNTY OF PERTH SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

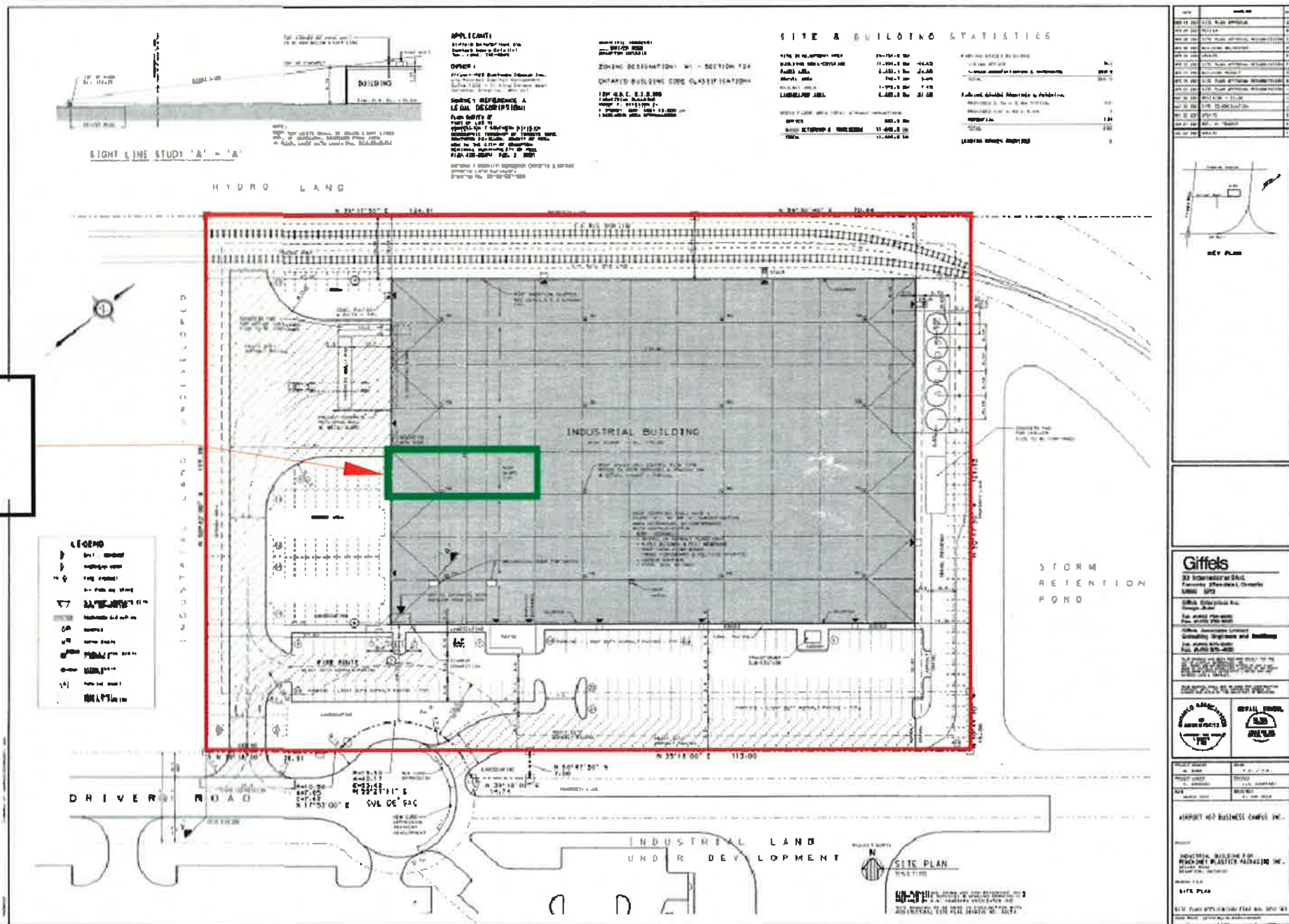
Man OF North Perth
IN THE County OF
Perth THIS 23 DAY OF
May, 20 23
H. Frank
A Commissioner etc.

Scott Patterson
HEATHER ANNE FRANK, a Commissioner, Applicant or Authorized Agent
Province of Ontario, for TarBush, Dickey, Giller &
Associates Professional Corporation,
Barristers and Solicitors.
Expires May 25, 2025.

FOR OFFICE USE ONLY	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	_____
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
_____	_____
Zoning Officer	Date

DATE RECEIVED MAY 28, 2023.

Minor Variance
1. Relief from Section 2724.2 (8)
which permits a Maximum Building
Height of 17.5 metres whereas a
Building Height of 18.2 metres is
proposed.



MINOR VARIANCE SKETCH 40 DRIVER ROAD, CITY OF BRAMPTON

SCALE: N.T.S

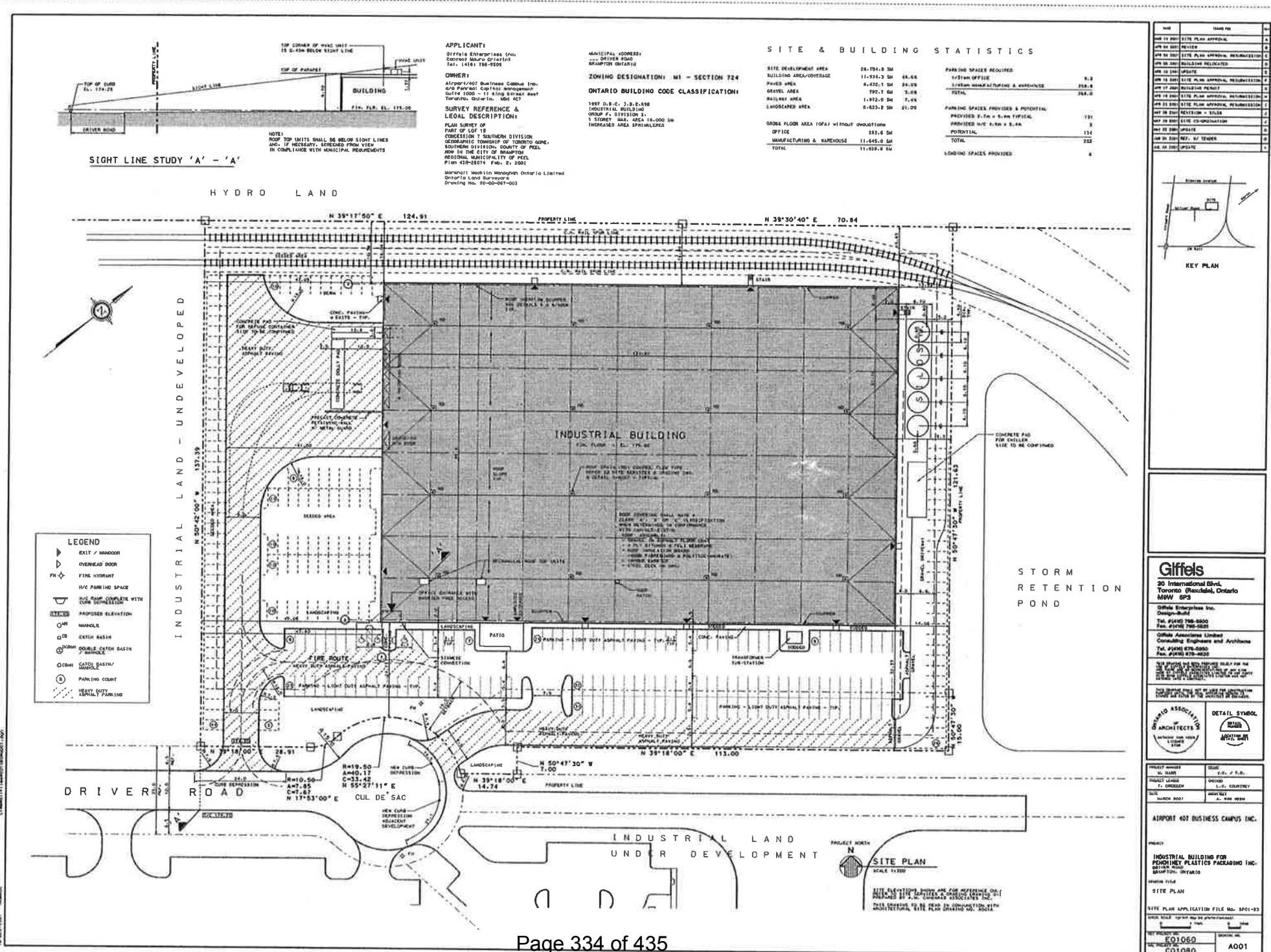
PROJECT No. 168

Page 333 of 435

Patterson Planning Consultants Inc.
Professional Planners, Development Consultants, Project Managers

6095 Line 66
Monkton, Ontario
N0K 1P0
P - (519) 519-577-9817
Scott J. Patterson, BA, CPT, MCIP, RPP

scott@lpplan.com



NO.	REVISION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
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13	ISSUED FOR PERMIT
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15	ISSUED FOR PERMIT
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17	ISSUED FOR PERMIT

KEY PLAN

Giffels
30 International Blvd.
Toronto (Dixie), Ontario
M9W 6P3

Giffels Enterprises Inc.
Design-Build
Tel: (416) 708-5500
Fax: (416) 708-5521

Giffels Associates Limited
Consulting Engineers and Architects
Tel: (416) 675-5550
Fax: (416) 675-5525

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ARCHITECT ASSOCIATES
ARCHITECTS
1000 SHEPPARD AVE. E. SUITE 100
SCARBOROUGH, ONTARIO M1S 1T6

DETAIL SYMBOL
MASH
MASH

PROJECT NUMBER	10-0001	DATE	2-2-91
PROJECT LEADER	T. GIBSON	DESIGNED BY	L. G. GIBSON
SITE	MARCH 2001	APPROVED BY	A. GIBSON

AIRPORT 407 BUSINESS CAMPUS INC.

PROJECT
INDUSTRIAL BUILDING FOR
PENCKNEY PLASTICS PACKAGING INC.
GIBSON ROAD
SCARBOROUGH, ONTARIO

ARCHITECT
GIBSON ROAD
SCARBOROUGH, ONTARIO

SITE PLAN
SITE PLAN APPLICATION FILE NO. SP01-93

SCALE: 1:1000

DATE: 11-20-93

REVISIONS

NO.	REVISION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
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15	ISSUED FOR PERMIT
16	ISSUED FOR PERMIT
17	ISSUED FOR PERMIT

NO. 100100

NO. 100100



Brampton

Zoning By-Law **Office Consolidation**

2724 The lands designated M1 - SECTION 2724 on Sheet 82 of Schedule A to this by-law:

2724.1 shall only be used for the following purposes:

- (1) the manufacturing, processing, assembling, packaging repairing, fabricating, warehousing and storage of goods within an enclosed building, excluding a motor vehicle repair shop and a motor vehicle body shop;
- (2) a retail warehouse, excluding a supermarket, a grocery store, a convenience store, a variety store or a motor vehicle parts retail outlet;
- (3) an office;
- (4) a furniture and appliance store;
- (5) a recreational facility or structure;
- (6) a community club;
- (7) a garden centre sales establishment;
- (8) a service shop;
- (9) a banquet hall; and,
- (10) purposes accessory to the other permitted purposes.

2724.2 shall be subject to the following requirements and restrictions:

- (1) Minimum Front Yard Depth: 9 metres;
- (2) Minimum Rear Yard Depth: 7 metres except where it abuts:
 - (a) a rail line the minimum requirement for uses 2724.1(2) to (9) shall be 30.0 metres;
 - (b) a rail line the minimum requirement for uses 2724.1(1) shall be 15.0 metres; and,
 - (c) a spur line, there is no requirement
- (3) Minimum Exterior Side Yard Width: 9 metres;
- (4) Minimum Interior Side Yard Width: 4 metres except where it abuts
 - (a) a rail line the minimum requirement for uses 2724.2(2) to (9) shall be 30.0 metres;
 - (b) a rail line the minimum requirement for uses 2724.2(1) shall be 15.0 metres;

and,

(c) a spur line, there is no requirement

(5) Minimum Lot Width: 30 metres;

(6) Minimum Lot Area: 0.8 hectares;

(7) Maximum Lot Coverage: 50 percent;

(8) Maximum Building Height: 17.5 metres;

(9) Minimum Landscaped Open Space:

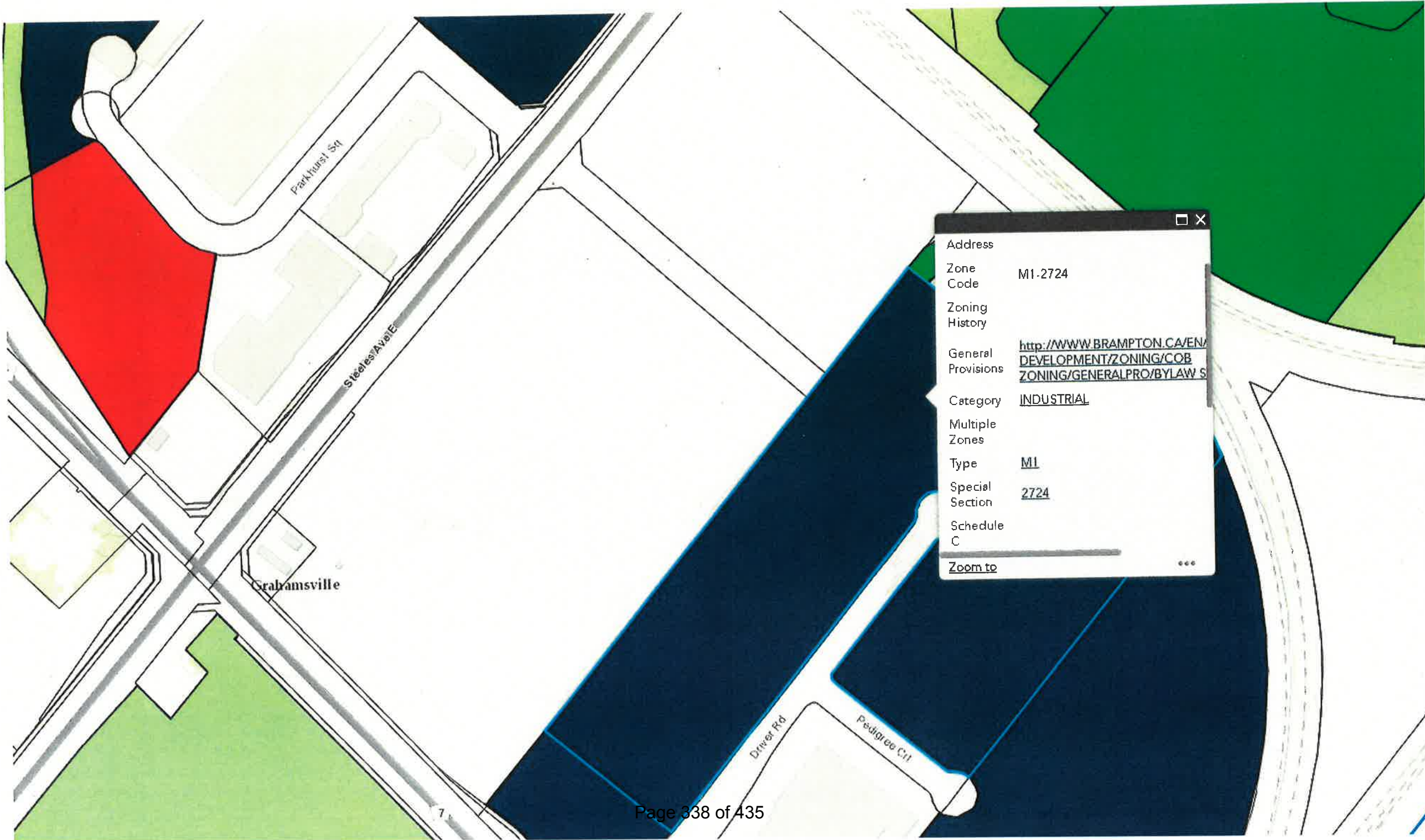
(a) a 3.0 metre wide landscaped open space area shall be provided abutting all roads except at approved access locations; and,

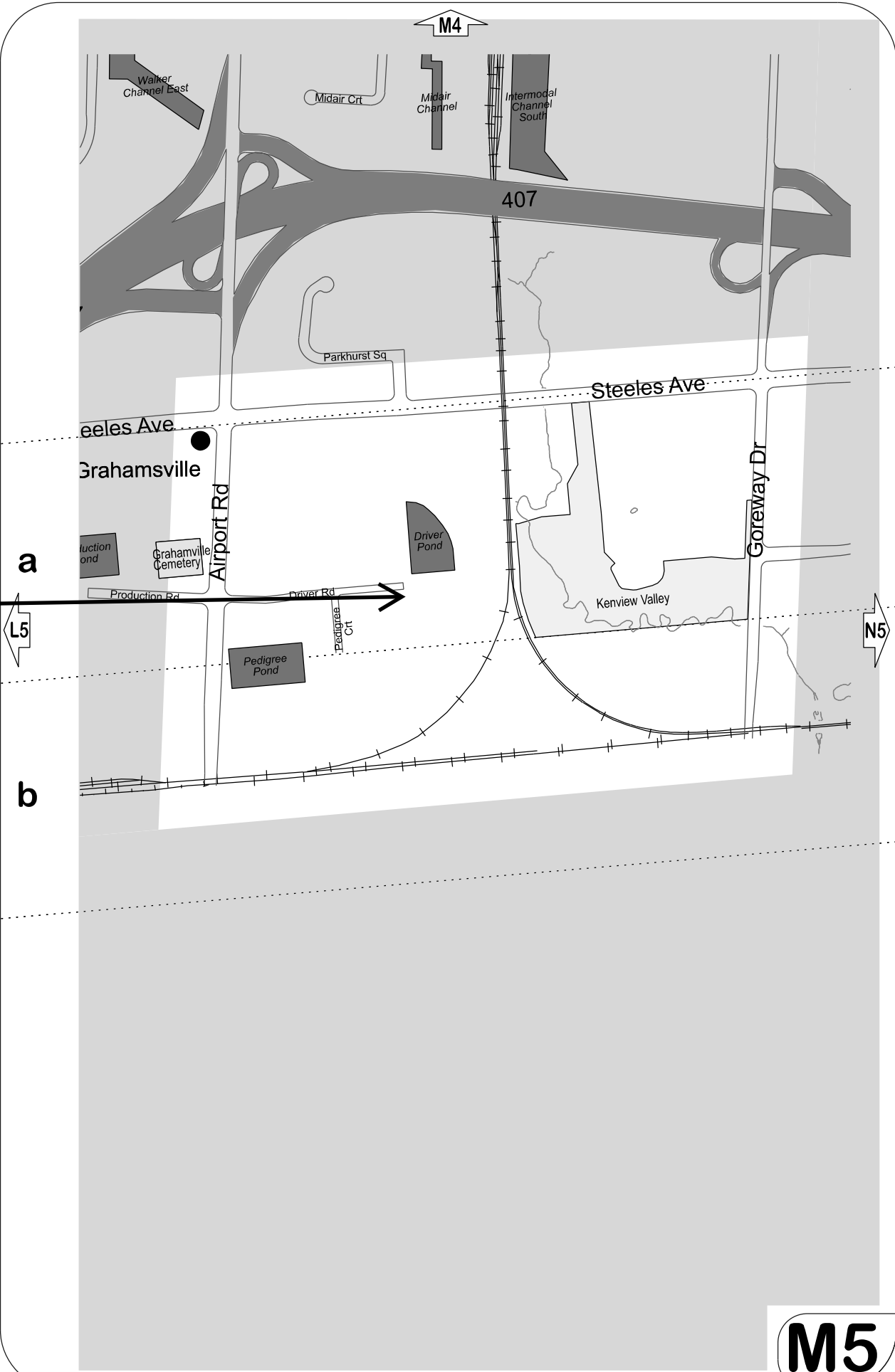
(b) a 9.0 metre wide landscaped open space area shall be provided abutting Airport Road except at approved access locations.

(10) Maximum Floor Space Index for an office: 0.5

2724.3 for the purposes of this section:

Retail Warehouse shall mean a building or structure or part of a building or structure having a minimum gross leasable floor area of 1860 square metres, where the building or structure, or part of the building or structure is occupied by a single user, and where the use is the warehousing and retailing of goods and materials to the general public. A retail warehouse shall not include a supermarket, a grocery store, a convenience store, a variety store or a motor vehicle parts retail outlet.





A-2023-0170

a

b

M5

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **NAGHMANA ARSHAD AND SHAKEEL AHMED** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 56, Plan 43M-1934 municipally known as **1 BROWNBUSH WAY**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a parking space depth of 3.69m (12.11 ft) whereas the by-law requires a minimum parking space depth of 5.4m (17.72 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

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How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
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You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

A - 2023-0171

To whom it may concern,

I am requesting permission to cut the curb in front of my house. As a resident of this community, I have been experiencing difficulty accessing my driveway as I have a corner house and cars wait at the stop sign in front of the property.

Specifically, I have been hitting the right corner of the curb while trying to enter my driveway. This issue has been persistent, and it has caused damage to my vehicle, while holding up traffic and creating frustration in drivers behind me. I believe that allowing me to cut the curb would solve this problem and alleviate any potential safety hazards that could arise from this situation.

I understand that the city has specific guidelines and regulations in place regarding curbs and driveways, but I respectfully request that you consider my situation. I believe that by cutting the curb, I will not only be able to access my driveway more easily, but I will also be able to do so safely and efficiently.

I am committed to following the necessary procedures involved. I thank you for taking the time to consider my request and look forward to a positive response.

Sincerely,

Naghmana & Shakeel

Application Process for Driveway

Widening/Curb Cuts

City of Brampton

Public Works & Engineering

Williams Pkwy Operations Centre

1975 Williams Pkwy, Brampton ON. L6S 6E5

Please fill in the following information as well as all four measurements indicated in the diagram. In addition to this application, we also **require that you submit a copy of your legal lot survey and your stamped Zoning Compliance form**. We currently do not accept electronic submissions; please bring your application to the above address.

Name (Property Owner):

Naghmana Arshad & Shakeel Ahmed

Mailing Address:

House #

1

Street name

Braunbush Way

Brampton

On

L6R 3T8

City/Town

Province

Postal Code

Phone:

(647) 720 3137

Email:

shakeel363@hotmail.com

Location of Property:

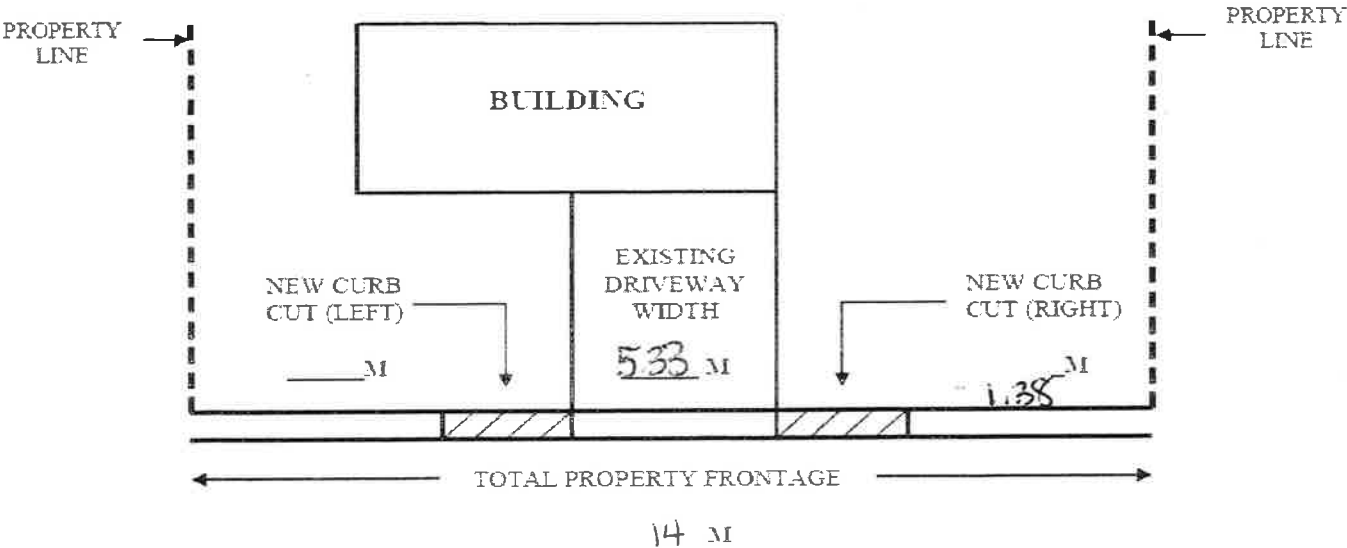
1

Braunbush way

House #

Street Name

Lot #



The personal information on this form is collected under authority of the Municipal Act, SO 2001, s. 25 and the City of Brampton By-law 93-93. The information will only be used to process the Driveway Widening/Curb Cuts Application.

FILE NUMBER: A-2023-0171

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Naghmana Arshad, Shakeel Ahmed
Address 1 Brownbush Way
Brampton On L6R3T8
Phone # 647 720 3137 Fax # _____
Email naaghmana363@gmail.com

2. Name of Agent _____
Address _____

Phone # _____ Fax # _____
Email _____

3. Nature and extent of relief applied for (variances requested):
To permit a curb cut with a depth of 3.69m, whereas
the by-law requires a depth of 5.4m.

4. Why is it not possible to comply with the provisions of the by-law?
Due to the balcony we do not meet the requirements.

5. Legal Description of the subject land:
Lot Number 56
Plan Number/Concession Number 43M-1934
Municipal Address 1 Brownbush Way Brampton On L6R3T8

6. Dimension of subject land (in metric units)
Frontage 14
Depth 30.25
Area 423.5

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 storey residential building with 351.45 sq.m of finished area including 103.49 sq.m of finished basement, width of the house is 9.66m and the length is 17.26m from the balcony.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

N/A

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.03 from garage & 3.69 from balcony
Rear yard setback 9.3
Side yard setback 0.166
Side yard setback 1.52 from balcony & 3.07 from house

PROPOSED

Front yard setback
Rear yard setback
Side yard setback N/A
Side yard setback

10. Date of Acquisition of subject land: Nov 2016
11. Existing uses of subject property: residential
12. Proposed uses of subject property: residential
13. Existing uses of abutting properties: residential
14. Date of construction of all buildings & structures on subject land: 2016
15. Length of time the existing uses of the subject property have been continued: 7yrs
16. (a) What water supply is existing/proposed?
Municipal ☒
Well ☐ Other (specify) _____
- (b) What sewage disposal is/will be provided?
Municipal ☒
Septic ☐ Other (specify) _____
- (c) What storm drainage system is existing/proposed?
Sewers ☒
Ditches ☐
Swales ☐ Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 24 DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Naghmana Arshad, OF THE city OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF Peel
THIS 24th DAY OF May, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1E - 9 - 1404

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

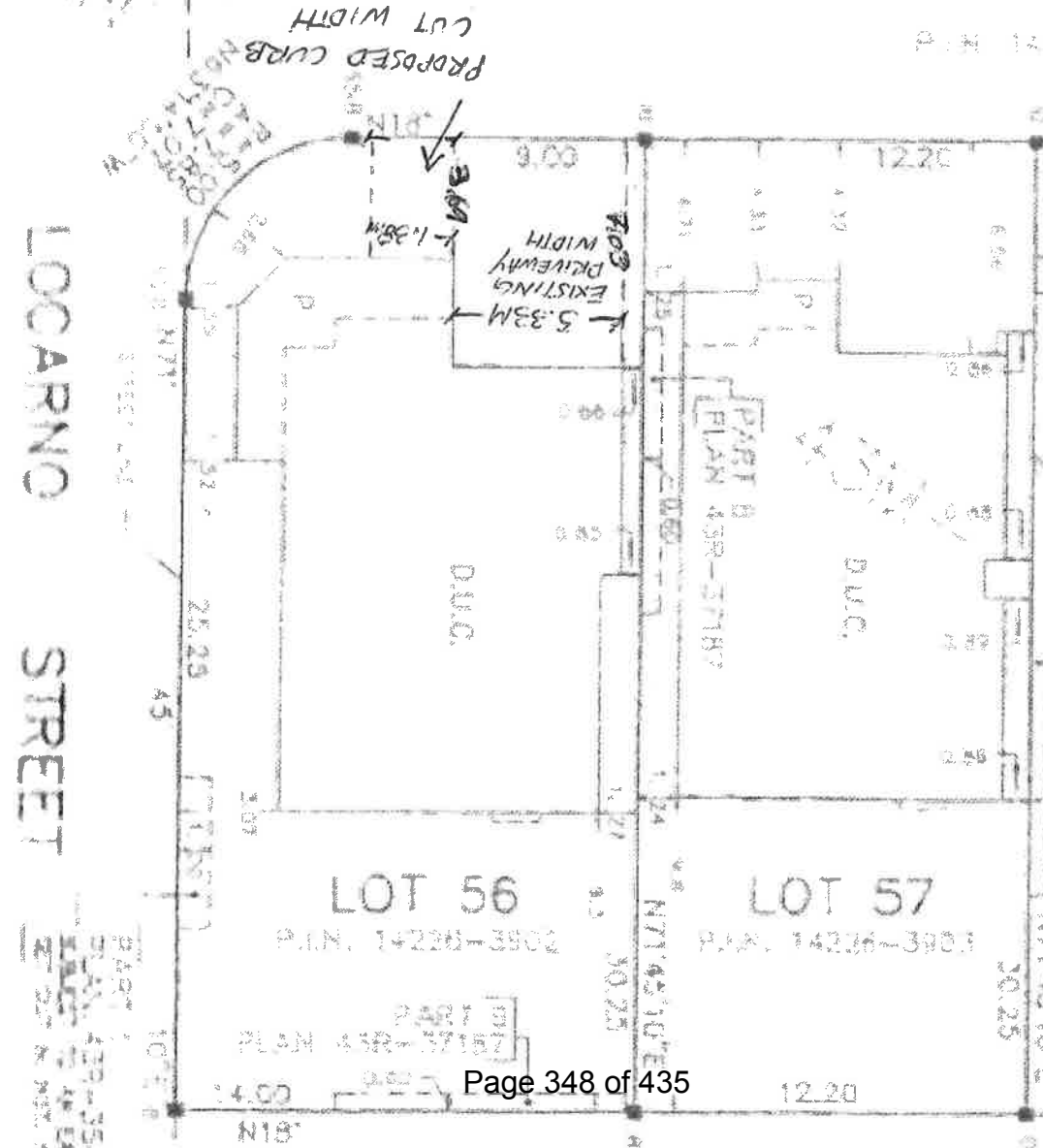
J. Chau
Zoning Officer

May 24, 2023

Date

DATE RECEIVED MAY 24, 2023

BROWNBUSH WAY



CL & EDWARD SURVEYING LTD., O.L.S.

2. THE SURVEY WAS COMPLETED ON THE 18th

SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DATE Aug. 3 2016.

T.
ONTARIO L

ASSOCIATION OF ONTARIO
LAND SURVEYORS
IN SUBMISSION FORM

1985159



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
CERTIFIED BY THE SURVEYOR
IN ACCORDANCE WITH
REGULATION 1026, SECTION 29(3).

IMG_1313.jpg

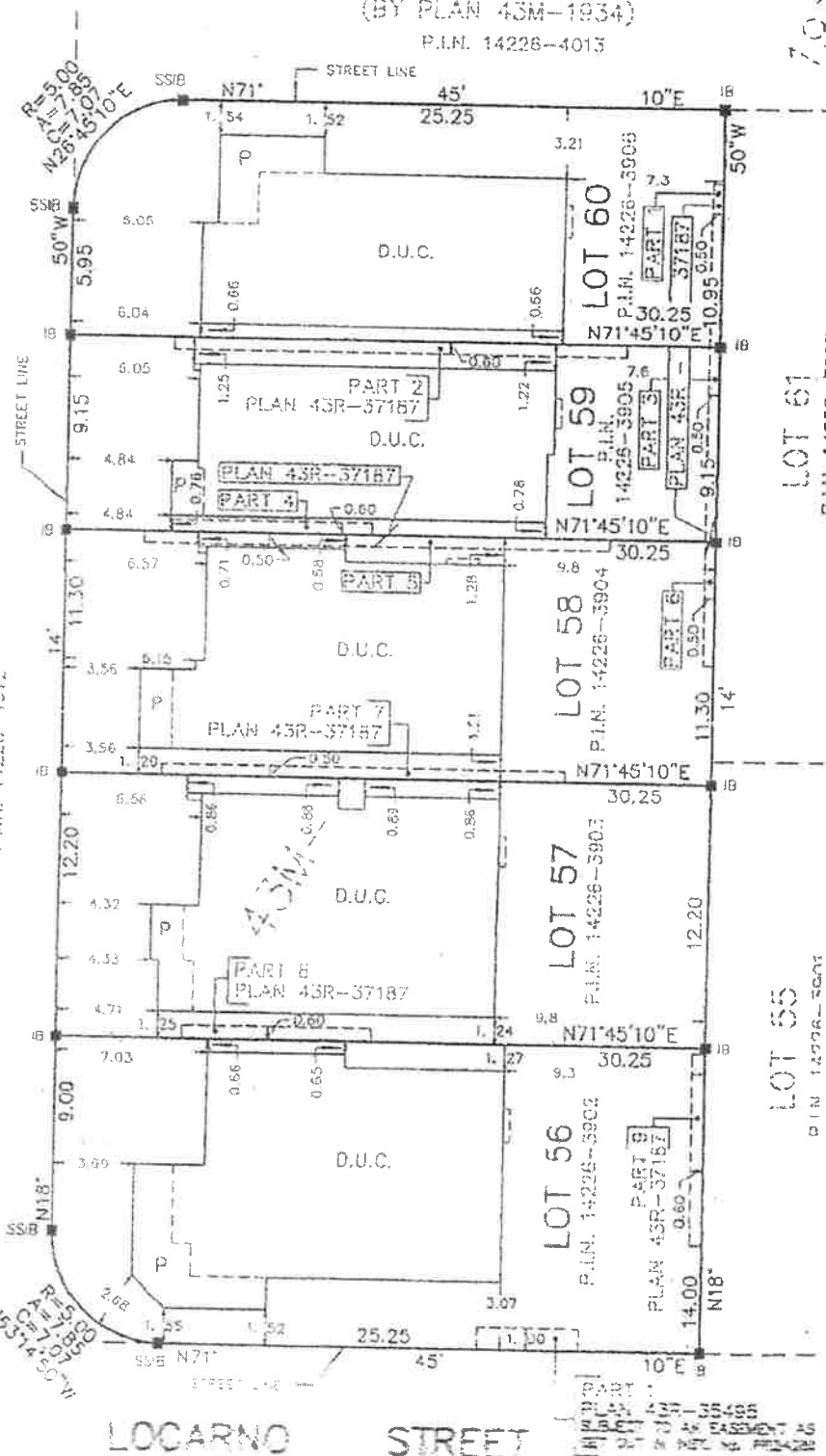
BROWN BUSH WAY

(BY PLAN 43M-1934)
P.I.N. 14226-4012

COOKVIEW DRIVE

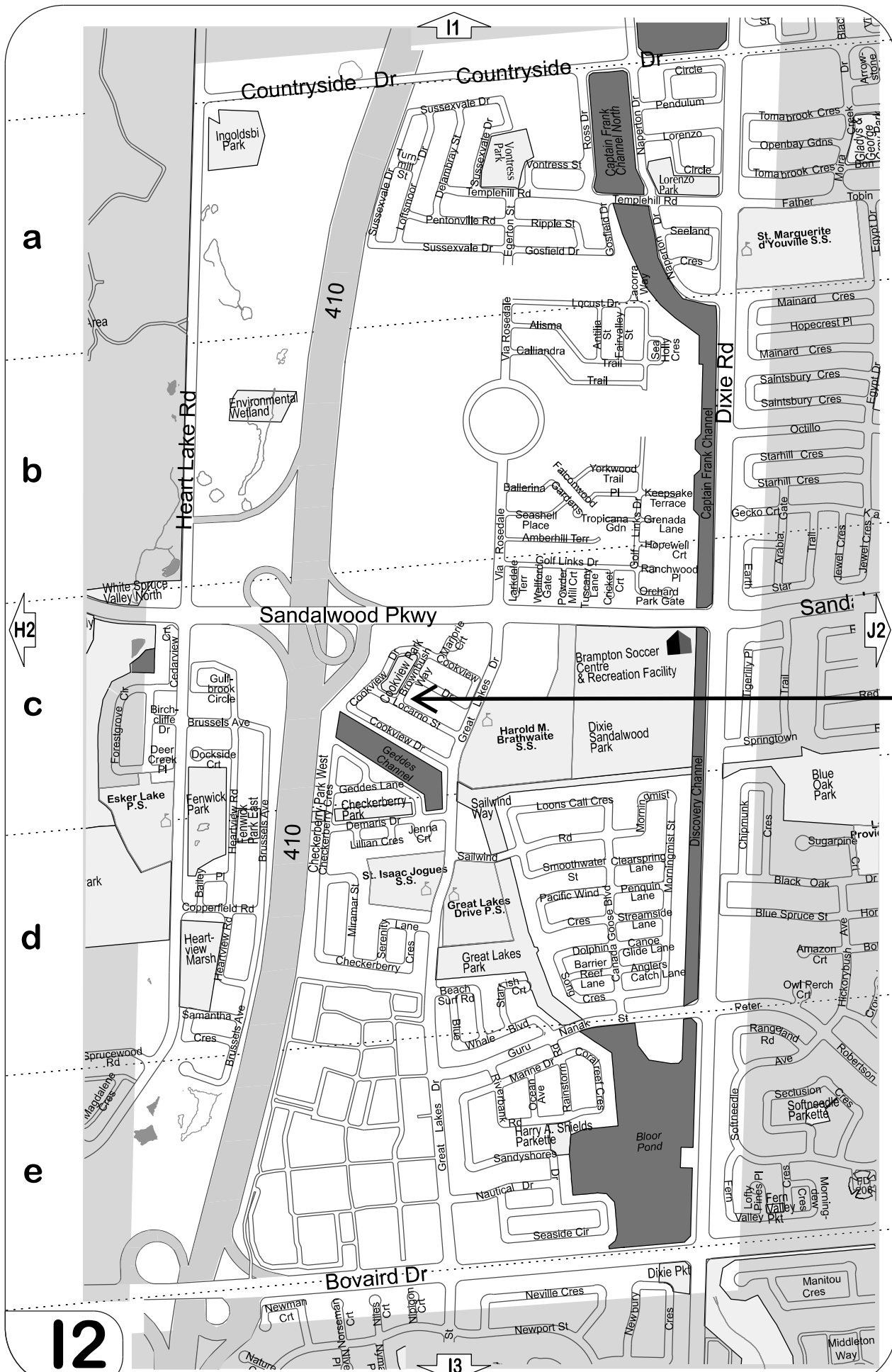
(BY PLAN 43M-1934)

P.I.N. 14226-4013



PLAN 43M-1934
P.I.N. 14226-4012
CL & EDWARD SURVEYING LTD., O.L.S.
DATE 18 AUG 2016

5/23/23, 8:04 AM



A-2023-0171

APPLICATION # A-2023-0172
WARD #3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **THE SACCO GROUP LTD.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 1, Plan BR-2 municipally known as **3 CHAPEL STREET**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a place of amusement (commercial golf simulator) whereas the by-law does not permit the proposed use.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

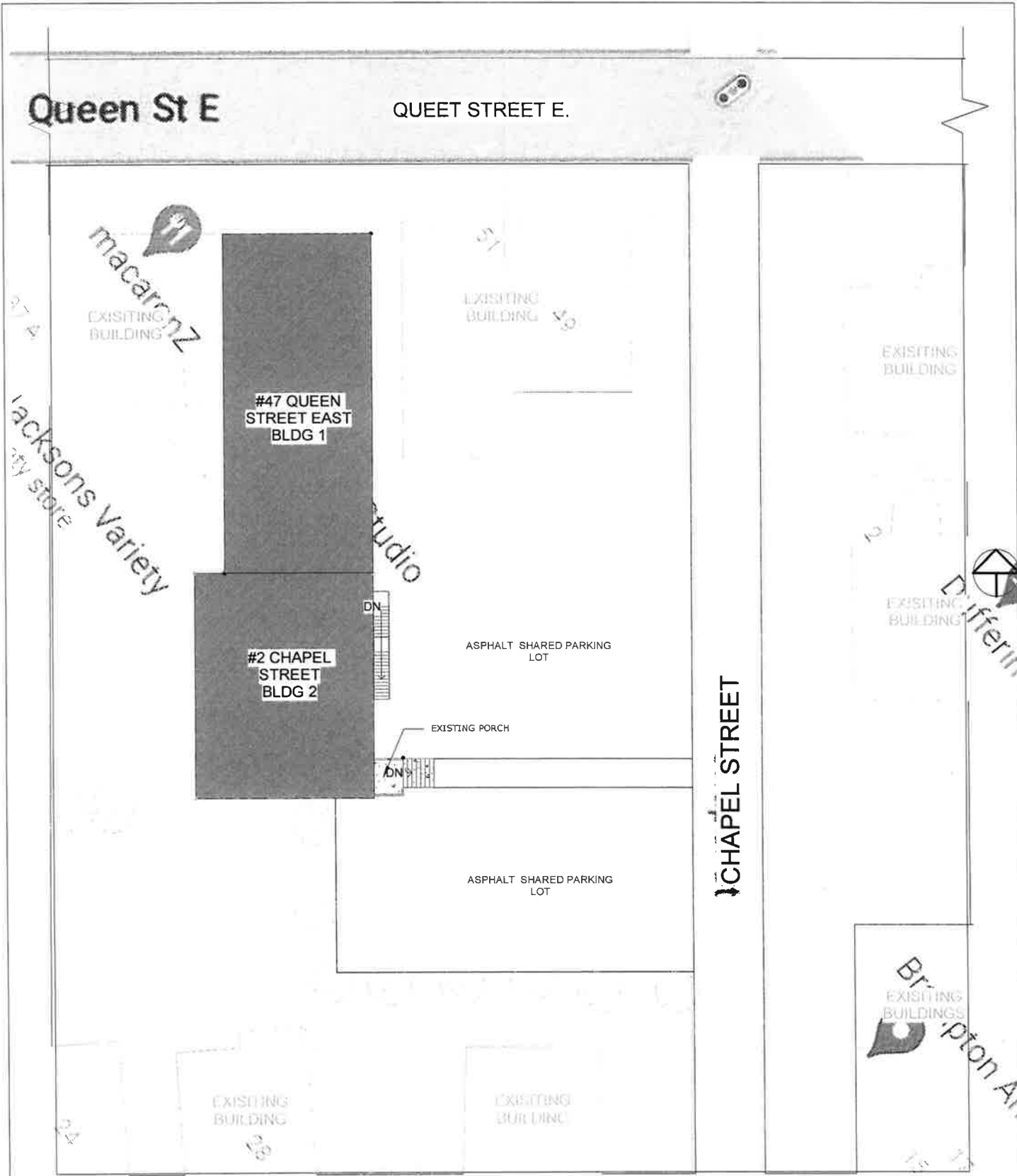
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



APPLICANT		GRADIANT GROUP
PROJECT		INTERIOR RENOVATION
ADDRESS		3 CHAPEL ST. BRAMPTON, ON, L6Y 1L9
DWG TITLE		SITE PLAN
REVISION	A102	
DATE		
SCALE		
PROJECT NO		
3CB-23	DRAWING NO	

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

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APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

The Sacco Group Ltd.

Address

15 Simcoe St S, Oshawa, ON, L1H4G1

Phone #

905-435-4666

Fax #

Email

stefan@thesaccogroupltd.com
2.

Name of Agent

Gradiant Developments Inc.

Address

6 Hammock Terrace Brampton, Ontario Canada L6P 2H9

Phone #

(647) 705-4807

Fax #

Email

gradiantgroup@gmail.com
3.

Nature and extent of relief applied for (variances requested):

To open a commercial golf simulator business on the 2nd level of subject property.
4.

Why is it not possible to comply with the provisions of the by-law?

The permitted use is not listed as such under permitted use of Downtown Commercial DC-Section 3154 and Downtown Commercial DC zoning.
5.

Legal Description of the subject land:

Lot Number

PLAN BR 2 PT LOTS 3 AND 6 PLAN BR 22 PT LOTS 1 AND 2 RP 43R16750 PT PART 1

Plan Number/Concession Number

Municipal Address

3 CHAPEL ST BRAMPTON ON L6W2G9
6.

Dimension of subject land (in metric units)

Frontage

21.9456 M (72ft)

Depth

18.2880 M (60ft)

Area

404.6856 SQM (4,356 SqFt, 0.1 Acre)
7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing building with 2 floors. Upper floor is the subject with approx. 4,356 sqft area. Shared parking with 13 parking spots

PROPOSED BUILDINGS/STRUCTURES on the subject land:

On the outside no changes, inside would be a full renovation to make it professional commercial golf simulator business.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 0.00 ft

Rear yard setback 0.00 ft

Side yard setback 8.00 ft

Side yard setback 5.75 ft

PROPOSED

Front yard setback Existing structure to be maintained - No new Development proposed

Rear yard setback

Side yard setback

Side yard setback

10. Date of Acquisition of subject land: 1989
11. Existing uses of subject property: R1B
12. Proposed uses of subject property: "Amusement arcade" or "Place of amusement" (golf simulator)
13. Existing uses of abutting properties: General Commercial
14. Date of construction of all buildings & structures on subject land: 1850
15. Length of time the existing uses of the subject property have been continued: 1955

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Jpsim

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Brampton _____

THIS 24 DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, JASPREET GILL, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel THIS 24TH DAY OF

May, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Jpsim

Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

DC1 & DC1-3154

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

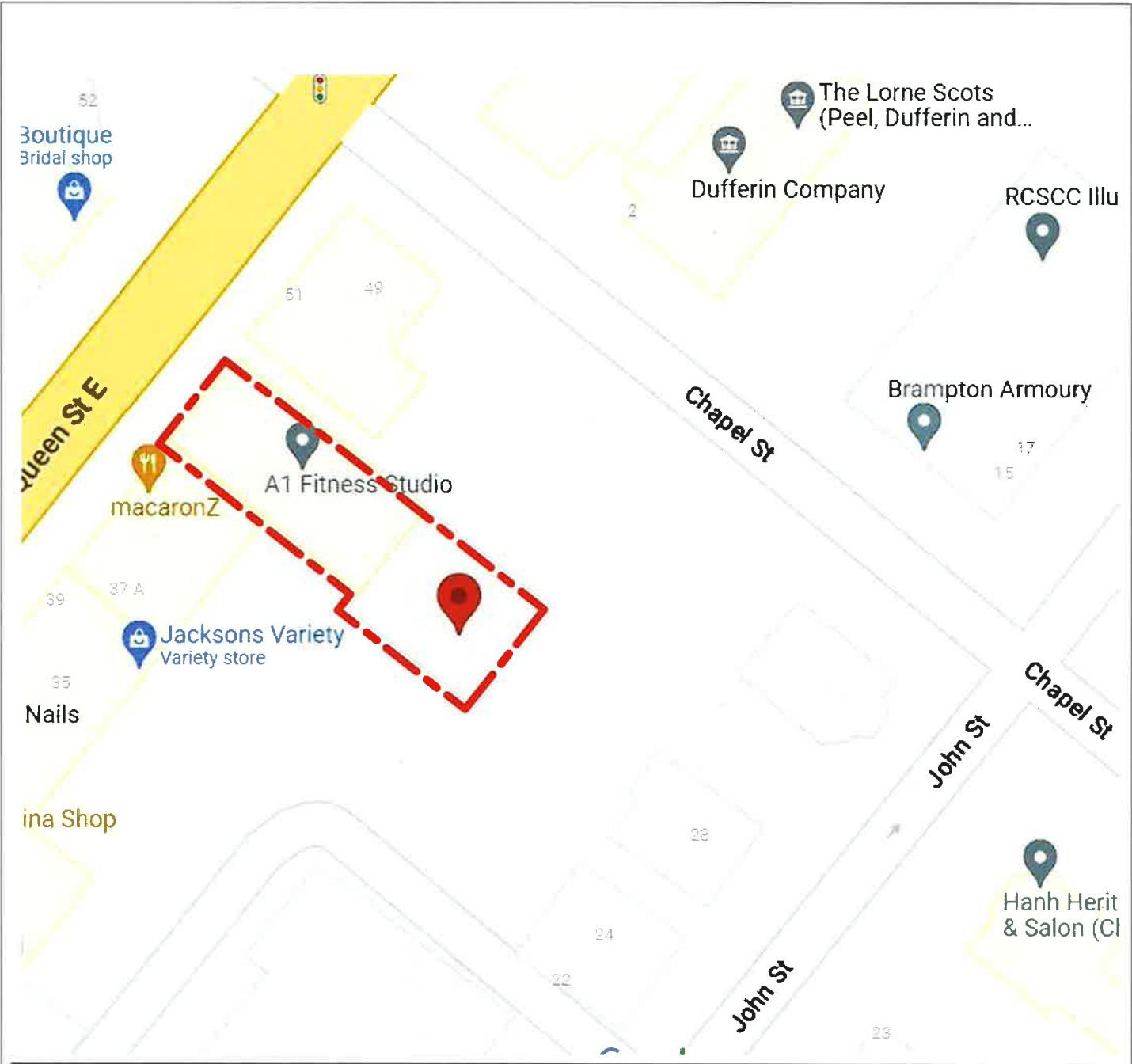
Zoning Officer

May 23, 2023

Date

DATE RECEIVED

MAY 24, 2023



PROPOSED INTERIOR RENOVATION

3 CHAPEL STREET BRAMPTON, ON





















ARCHITECTURAL DRAWINGS

MAY 2023

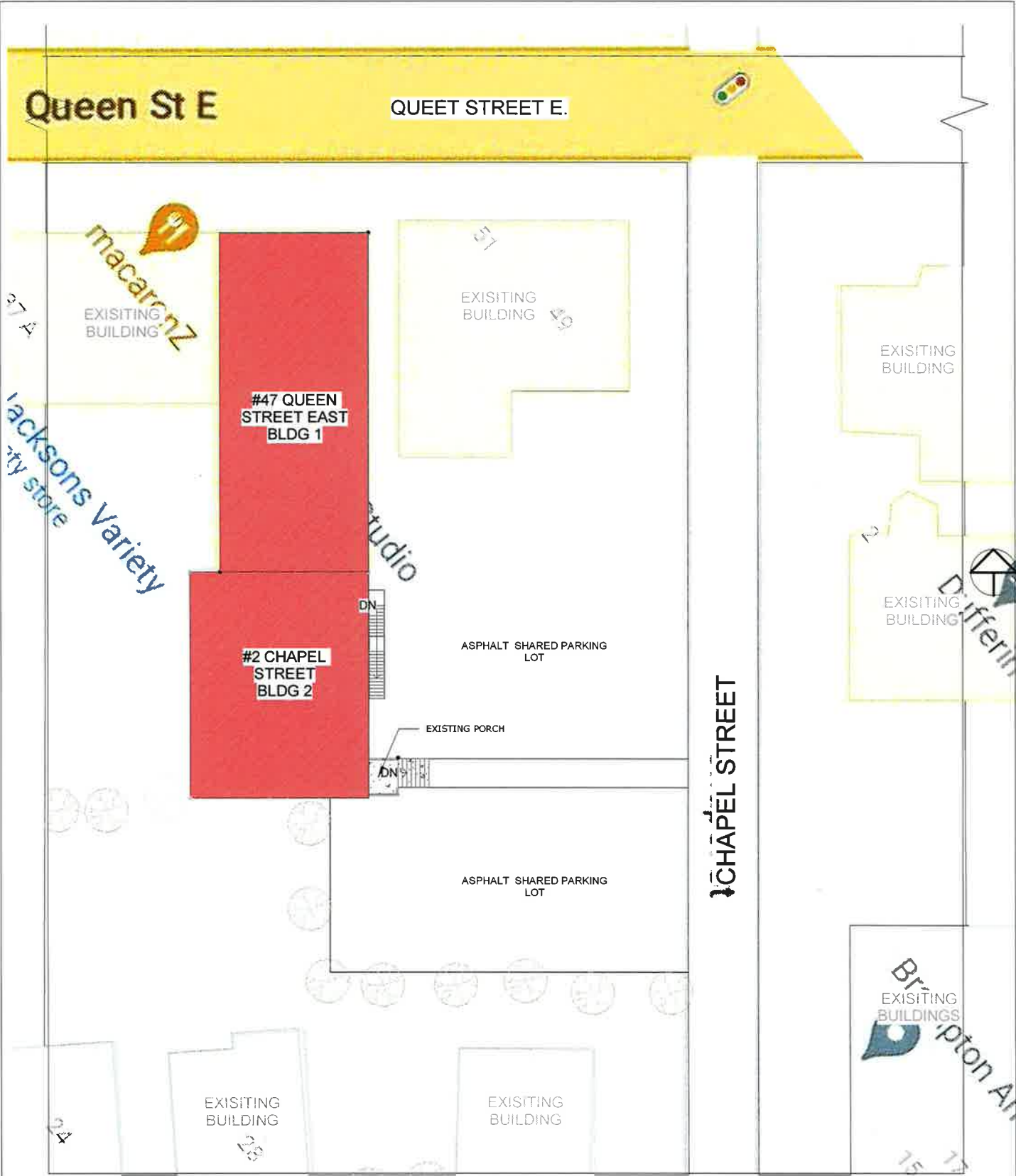
SHEET LIST	
Sheet Number	Sheet Name
A101	NOTES
A102	SITE PLAN
A103	FLOOR PLAN- EXISTING
A104	FLOOR PLAN- PROPOSED

PROPOSED INTERIOR RENOVATION

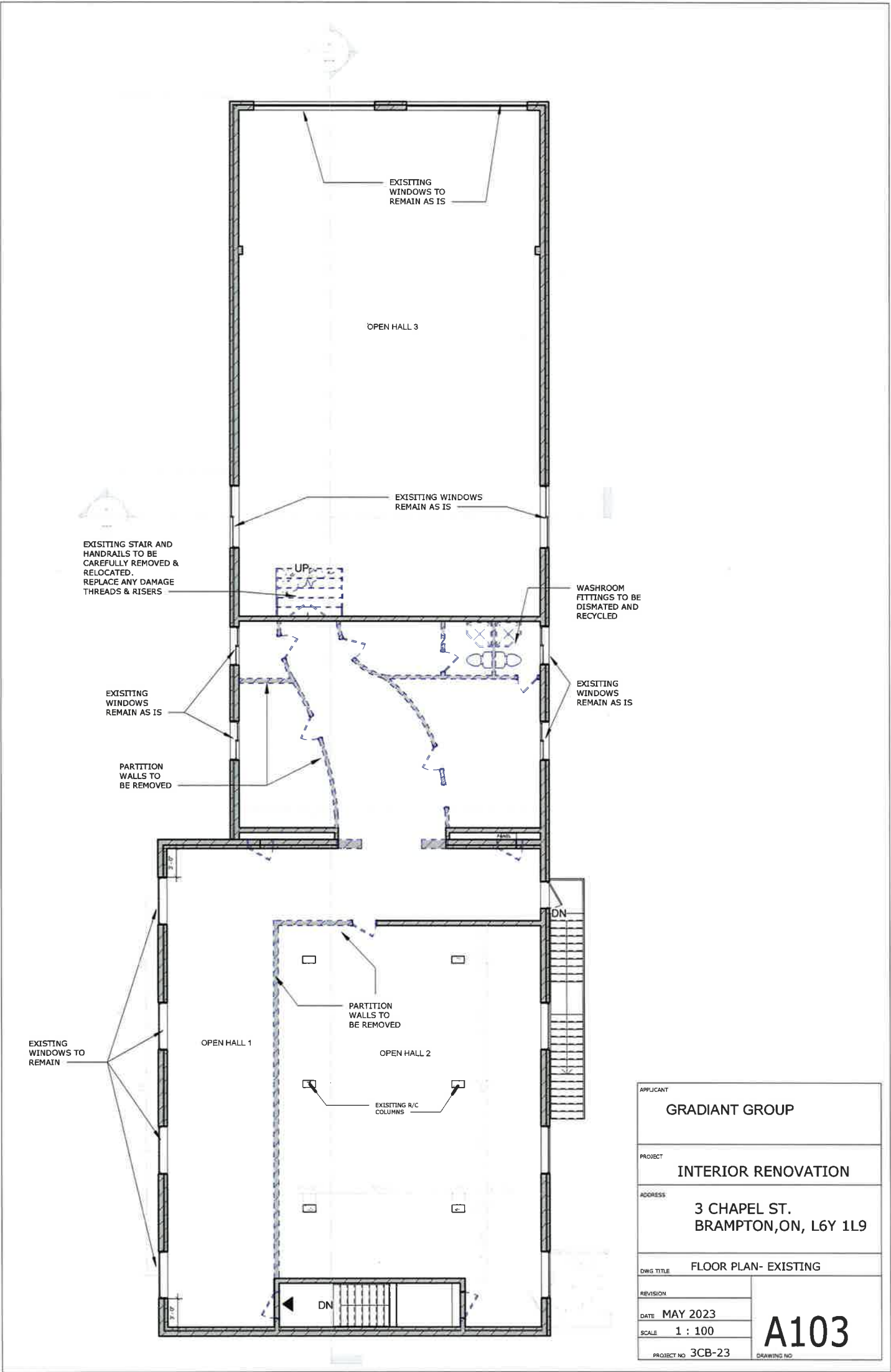
3 CHAPEL STREET BRAMPTON, ON

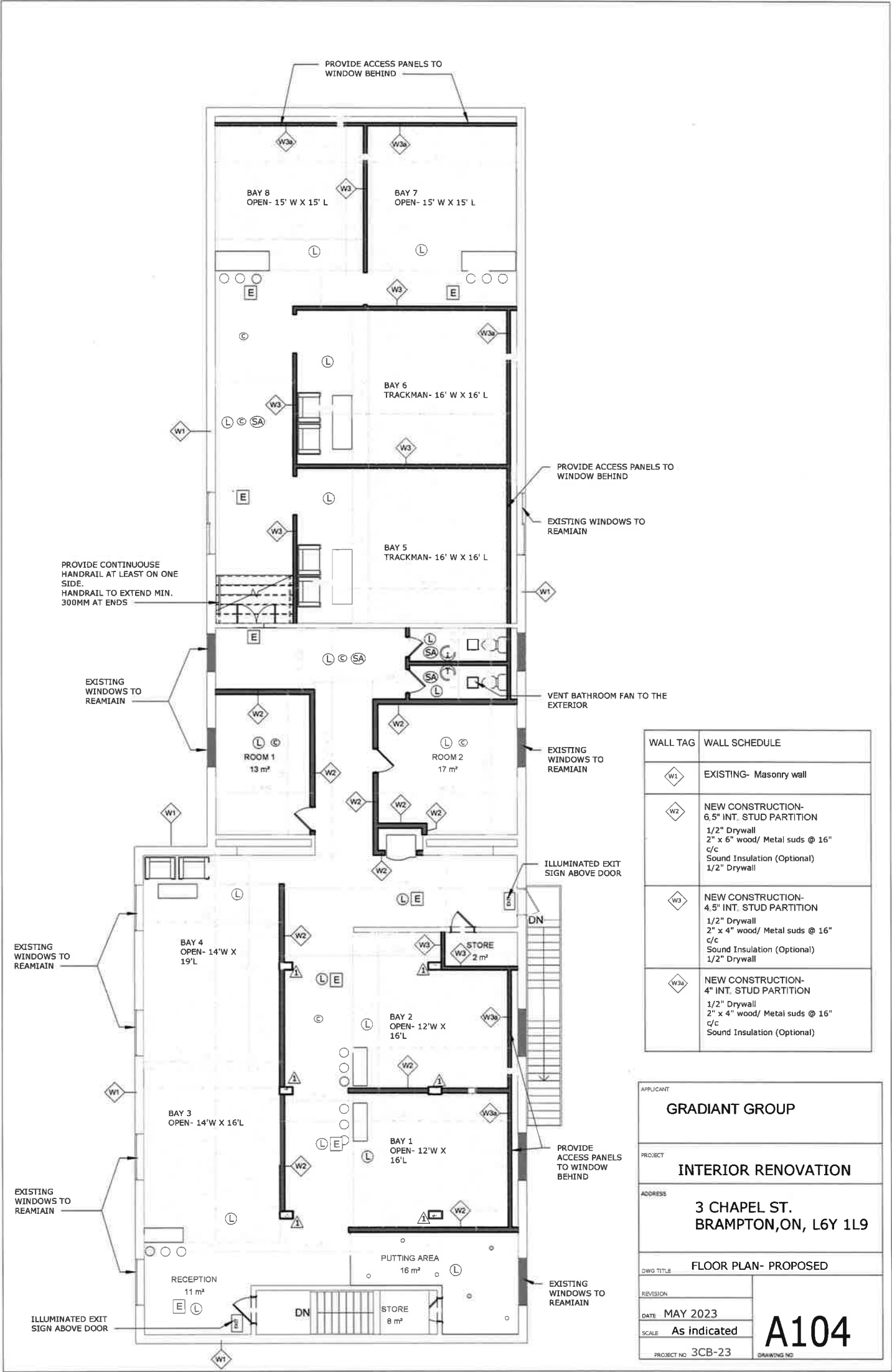
GENERAL LEGEND	GENERAL NOTES
<div> ENSURE 15MIN. F.R.R. AROUND ALL STRUCTURAL BEAMS & COLUMNS</div>	<ul style="list-style-type: none">ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, O.REG. 332/12; AND ANY CONSTRUCTION CHANGES MADE THAT ARE NOT A PART OF THE ISSUED REVIEWD PERMIT DRAWINGS WILL REQUIRE AN ADDITIONAL REVISION PERMIT.EXCEPT FOR PERMITTED OPENINGS SUCH AS TIGHTLY FITTER ELECTRICAL OUTLET BOXES, CERTAIN DUCT; FIRE SEPARATION SHALL BE CONTINOUS TO ANOTHER FIRE SEPARATION, EXTERIOR WALL OR ROOF.DOORS IN A FIRE SEPARATION MUST BE 20 MINUTE RATED OR BE 45mm SOLID CORE WOOD DOORS WITH A SELF CLOSING DEVICE. UNRATED WOOD DOOR FRAMES MUST BE A MINIMUM OF 38mm THICK. DOOR FRAME INSTALLATION MUST BE SMOKE TIGHT.SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING AND IN CONFORMANCE WITH CAN/ULC-S553, "INSTALLATION OF SMOKE ALARMS". SMOKE SHALL INCLUDE A VISUAL SIGNALING COMPONENT AND BE HARDWIRED AND INTERCONNECTED IN ACCORDANCE WITH THE REVIEWED DRAWINGS. SMOKE ALARMS SHALL HAVE BATTERY BACKUP POWER CAPABLE OF LASTING FOR 7 DAYS WHILE IN THE NORMAL CONDITION, FOLLOWED BY 4M MINUTES OF ALARM SIGNALINGBATTERY POWERED EMERGENCY LIGHTING UNITS CONFORMING TO CSA C22.2 No. 14, 'EMERGENECY LIGHTING EQUIPMENT' SHALL BE PROVIDED IN ALL COMMON MEANS OF ESCAPE.PROVIDE CARBON MONOXIDE ALARMS CONFORMING TO CAN/CSA-6.19,"RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" ADJACENT TO EACH SLEEPING AREA WITHIN EACH DWELLING UNIT. CARBON MONOXIDE ALARMS MAY BE HARDWIRED BATTERY OPERATED OR THE TYPE THAT CAN BE PLUGGED INTO AN ELECTRICAL OUTLET.ELECTRICAL WORK MUST BE INSPECTED BY THE ELCTRICAL SAFETY AUTHORITY.
<div> MAINTAIN CONTINUITY ON BOTH SIDE OF WALLS</div>	
<div> MINIMUM 15MIN. HORIZONTAL FIRE SEPARATION W/ 1/2" DRYWALL</div>	
<div> MINIMUM CEILING HEIGHT OF 7' THROUGHOUT EXCPET UNDER BEAMS & DUCTS- 6'5" AS PER OBC TABLE 9.5.3.1</div>	
<div> UNDERSIDE THE CEILING TO BE 30MIN. FIRE RATED (2) LAYERS OF 5/8" TYPE X GYPSUM BOARD</div>	
<div> 20 MIN. FIRE RATED DOOR W/SELF CLOSING DEVICE</div>	
<div> DUPLEX RECEPTACLE OUTLET</div>	
<div> GROUND FAULT CURRENT INTERRUPTER RECEPTACLE OUTLET</div>	
<div> RANGE RECEPTACLE OUTLET</div>	
<div> LIGHT SWITCH</div>	
<div> THREE WAY SWITCH AT THE TOP AND BOTTOM OF STAIR</div>	
<div> LIGHT FIXTURE</div>	
<div> EXHAUST FAN</div>	
<div> AIR REGISTER COMPLIANCE WITH OBC DIV B 9.33.3.1(1)</div>	
<div> RETURN AIR GRILL IN LOW WALL</div>	
<div> SMOKE ALARM</div>	
<div> CARBON MONOXIDE DETECTOR</div>	
<div> SPRINKLER</div>	
<div> EMERGENCY LIGHTING</div>	
<div> DUCT TYPE SMOKE DETECTOR</div>	

APPLICANT	
GRADIANT GROUP	
PROJECT	
INTERIOR RENOVATION	
ADDRESS	
3 CHAPEL ST. BRAMPTON,ON, L6Y 1L9	
DWG TITLE	
NOTES	
REVISION	A101
DATE	
SCALE	
PROJECT NO	
DRAWING NO	



APPLICANT	GRADIANT GROUP	
PROJECT	INTERIOR RENOVATION	
ADDRESS	3 CHAPEL ST. BRAMPTON, ON, L6Y 1L9	
DWG TITLE	SITE PLAN	
REVISION	A102	
DATE		
SCALE		
PROJECT NO.		
3CB-23	DRAWING NO.	





PLAN OF SURVEY SHOWING
PART OF LOTS 3 AND 6
BEING ON A PLAN OF LOT 5, CONCESSION 1, EAST OF HURONTARIO STREET
IN THE TOWNSHIP OF CHINGUACOUS
REFERRED TO AS PLAN BR-2
PART OF LOTS 1 AND 2
BEING ON A PLAN OF LOT 5, CONCESSION 1, EAST OF HURONTARIO STREET
IN THE TOWNSHIP OF CHINGUACOUS
REFERRED TO AS PLAN BR-22
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL
SCALE: 1" = 10'
DONALD P. McLEAN
ONARIO LAND SURVEYOR
1989

1. REQUIRE THIS PLAN TO BE
DEPOSITED UNDER THE REGISTRY
ACT

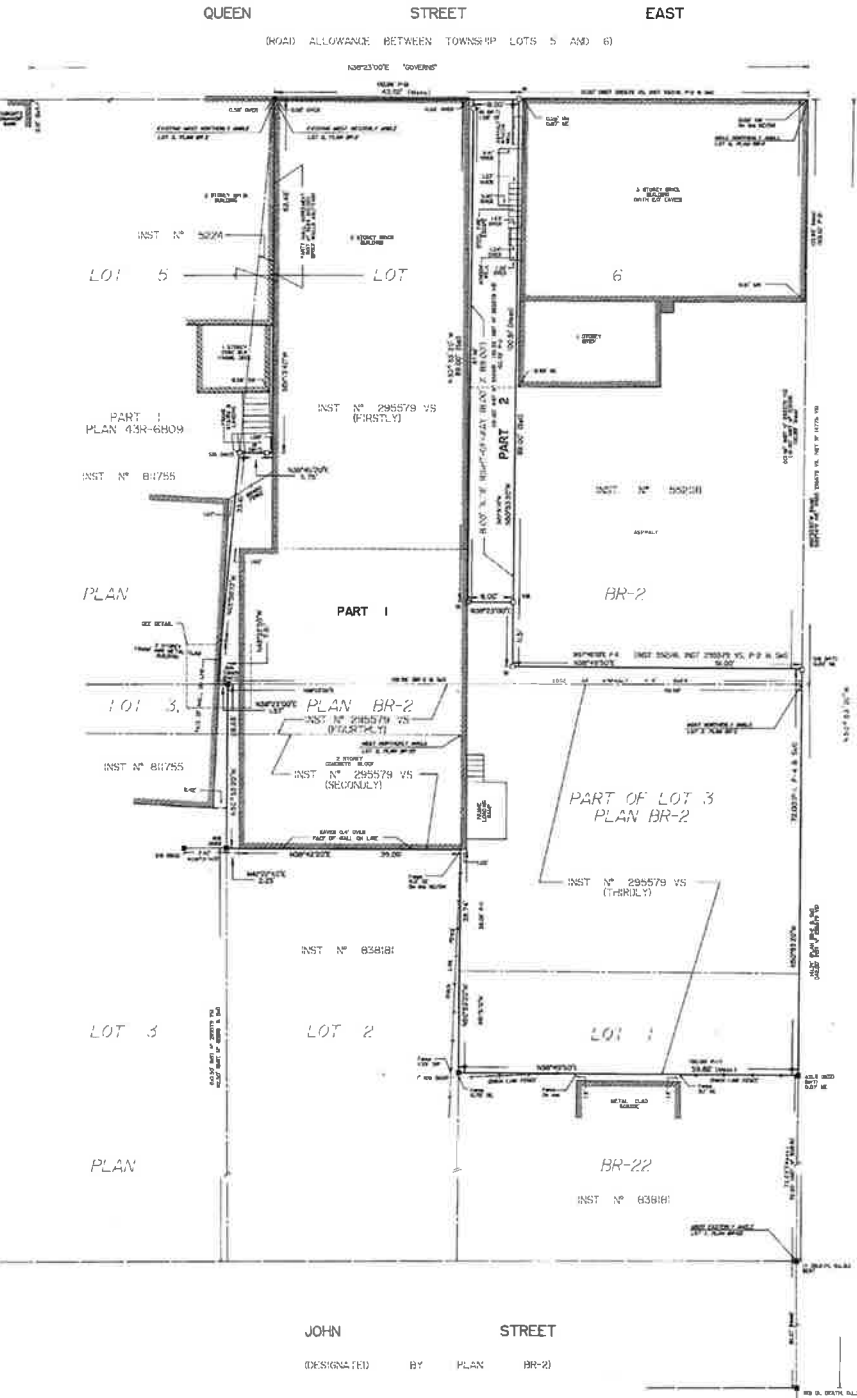
DATE: APRIL 7, 1989
Donald P. McLean
ONARIO LAND SURVEYOR

PLAN 43R-16750
RECEIVED AND DEPOSITED

DATE: APRIL 12, 1989
R. Robinson
LAND SURVEYOR FOR THE
REGISTRY DIVISION OF PEEL CO. 43

SCHEDULE			
ITEM	LOT	PLAN	REMARKS
1	LOTS 3 AND 6 AND 2	PLAN BR-2 PLAN BR-22	289379 VS 4230 SQ FT
2	6	PLAN BR-2	225171 VS 792 SQ FT

CAUTION THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN
THE MEANING OF THE PLANNING ACT.



STREET
CHapel
BY PLAN
BR-2
DESIGNATED

BEARING REFERENCE
BEARINGS ARE LYTHONIC AND ARE REFERRED TO THE
EAST-CEASTERN LIMIT OF CHURCH STREET EAST, AS SHOWN ON
PLAN 43R-4205, HAVING A BEARING OF N82°23'00\"

- LEGEND
- 1. 8' 6\"
 - 2. 13' 6\"
 - 3. 8' 6\"
 - 4. 8' 6\"
 - 5. 8' 6\"
 - 6. 8' 6\"
 - 7. 8' 6\"
 - 8. 8' 6\"
 - 9. 8' 6\"
 - 10. 8' 6\"
 - 11. 8' 6\"
 - 12. 8' 6\"
 - 13. 8' 6\"
 - 14. 8' 6\"

SURVEYOR'S CERTIFICATE
I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEY ACT AND THE REGISTRY ACT AND THE
REGULATIONS MADE THEREUNDER
2. THIS SURVEY WAS COMPLETED ON THE 7th DAY OF APRIL, 1989.
BRAMPTON, ONTARIO
APRIL 7, 1989
Donald P. McLean
DONALD P. McLEAN
ONARIO LAND SURVEYOR

MADE FOR
MR. HARRIS L. BEATTY
1111 FINE STREET
BRAMPTON, ONTARIO
L6Y 1W5
DONALD P. McLEAN
ONARIO LAND SURVEYOR
16 ELGIN AVENUE
BRAMPTON, ONTARIO
L6Y 1W5
88-649

a

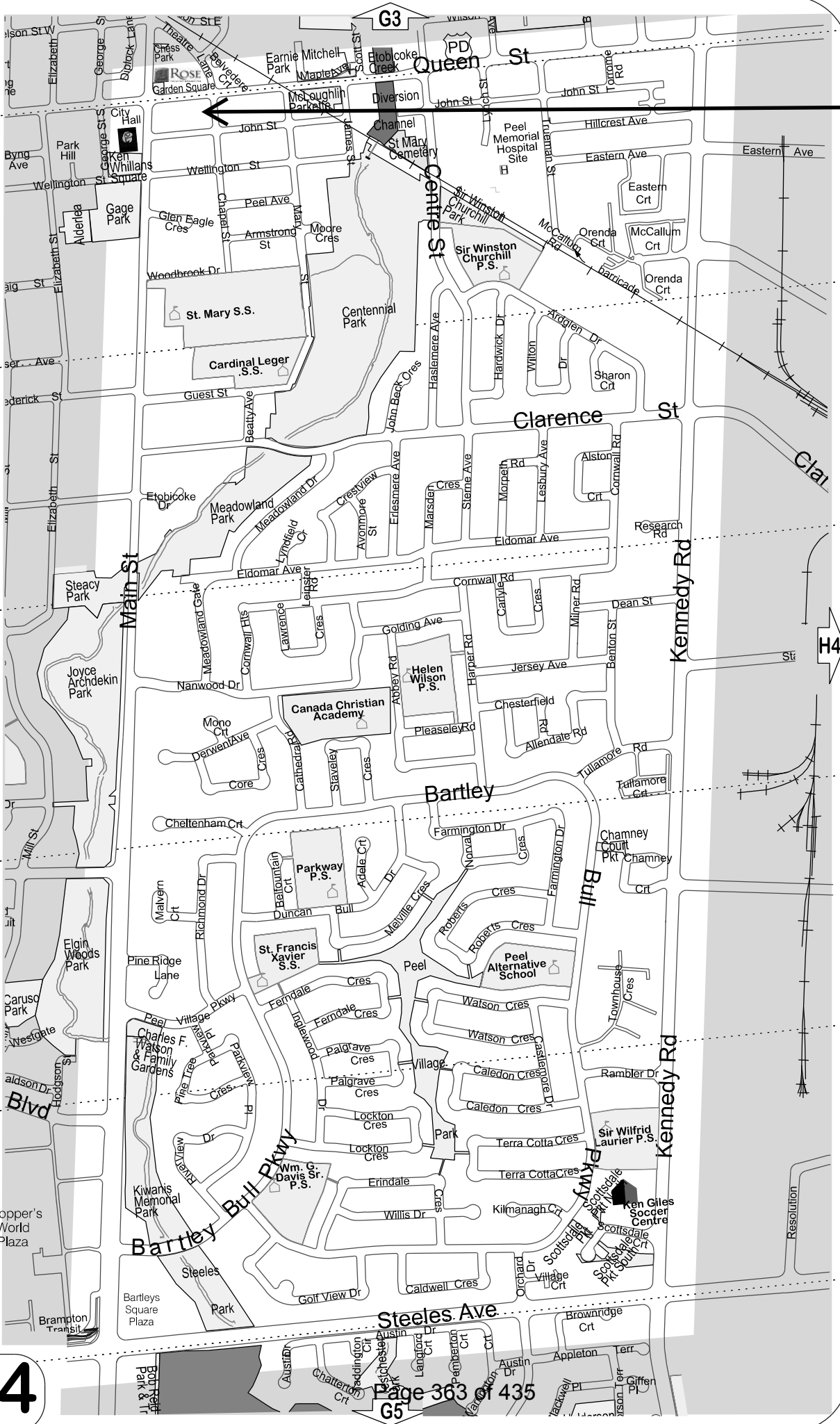
b

c

d

e

G4



DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **BRANTHAVEN CREDITVIEW INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 5, Concession 4 W.H.S., Part 1, Plan 43R-14727 municipally known as **8940 CREDITVIEW ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a temporary sales office for a period of three (3) years whereas the by-law does not permit the proposed use in an Agricultural Zone.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____	NO	File Number: _____
Application for Consent: _____	NO	File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the by the applicant, the Minister, a specified person or a public body.

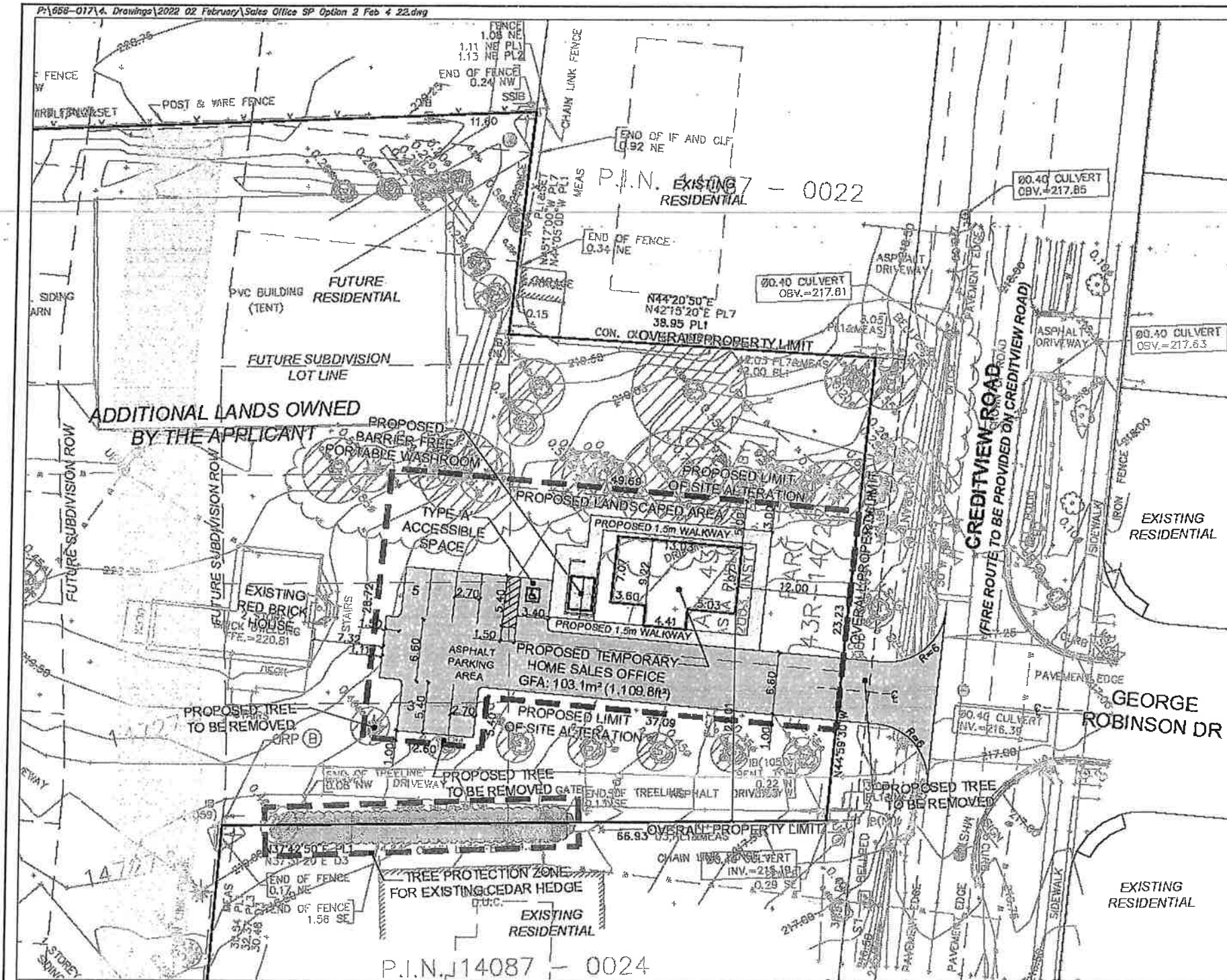
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



CONCEPT SITE PLAN PROPOSED TEMPORARY HOME SALES OFFICE

BRANTHAVEN CREDITVIEW INC.

PART OF LOT 5,
CONCESSION 5, W.H.S.,
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

DEVELOPMENT STATISTICS

SITE ALTERATION AREA:	0.12ha (0.52ac)
ADDITIONAL LANDS AREA:	3.32ha (8.20ac)
TOTAL AREA:	3.53ha (8.72ac)
TOTAL BUILDING GFA:	103.1m² (1,109.8ft²)
BLDG. COVERAGE (TOTAL AREA):	0.29%

ZONING MATRIX

EXISTING ZONE CATEGORY: A - AGRICULTURAL
(FOR A LOT HAVING AN AREA OF 5 HECTARES OR LESS)

CATEGORY	REQUIRED	PROVIDED
MINIMUM LOT WIDTH	45.0m	49.4m
MINIMUM FRONT YARD DEPTH	12.0m	12.0m
MINIMUM SIDE YARD DEPTH	7.5m	20.3m
MINIMUM REAR YARD DEPTH	15.0m	18.0m

PARKING STATISTICS

(OTHER OFFICE 1 SPACE PER 30m²)

PARKING REQUIRED:	4 SPACES
PARKING PROVIDED:	8 SPACES*
ACCESSIBLE SPACES REQUIRED:	1 SPACE (TYPE 'A')
ACCESSIBLE SPACES PROVIDED:	1 SPACE (TYPE 'A')

NOTES:

- TYPICAL PERPENDICULAR PARKING SPACE: 2.7m x 5.4m
- TYPICAL BARRIER FREE SPACE: 3.4m x 5.4m + 1.5m AISLE
- TYPICAL DRIVEWAY AISLE WIDTH: 6.6m



SCALE 1:400
FEBRUARY 4, 2022



Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



February 7, 2022

GSAI File: 656-017

Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, ON L6Y 4R2

A - 2022-0022

Attention: Jeanie Myers
Secretary Treasurer

**RE: Minor Variance Application
Branthaven Creditview Inc.
8940 Creditview Road
Part Lot 5, Concession 5, WHS
City of Brampton, Regional Municipality of Peel**

Glen Schnarr & Associates Inc. (GSAI) are the authorized agents and planning consultants for Branthaven Creditview Inc., owners of the property municipally addressed as 8940 Creditview Road (herein referred to as the "subject property"). As such, we are pleased to submit this application for Minor Variance to permit a temporary sales office.

Site Description

The subject property is municipally addressed as 8940 Creditview Road, located on the west side of Creditview Road, generally south of the intersection of Queen Street West and Creditview Road in the City of Brampton. The subject property is legally described as Part Lot 5, Concession 5, WHS. The subject property has a frontage of approximately 49.79m (163.18ft) along Creditview Road, a depth of 89.21m (292.68ft) and a total site area of approximately 3.49ha (8.62ac).

The subject property is designated 'Residential' in the City of Brampton Official Plan and Executive Residential' in Credit Valley Secondary Plan (SPA45). Additionally, the subject property is zoned 'Agricultural (A)' in the City of Brampton Zoning Bylaw (270-2004) and is currently occupied by eight freestanding structures: a residential dwelling, a small timber frame barn, a large timber frame barn with a cement silo, a concrete block milk house, a modern fabric Quonset hut, two (2) horse stables, and a modular home.

10 KINGSBRIDGE GARDEN CIRCLE
SUITE 700
MISSISSAUGA, ONTARIO
L5R 3K6
TEL (905) 568-8888
FAX (905) 568-8894
www.gsai.ca



We note for staff that there is a recently submitted Draft Plan of Subdivision and Official Plan and Zoning By-law Amendment Application (PRE-2021-0055) application which proposes the redevelopment of the subject property. Under this application, the applicant is proposing to redevelop the subject property with sixty-two (62) lots comprised of single detached residential dwellings. Three (3) of the proposed lots will front onto Creditview Road and the remaining fifty-nine (59) lots are proposed along the internal road network, fronting along the extension of Classic Drive as well as the proposed street, Street 'A'. The Official Plan and Zoning By-law Amendment propose to redesignate the lands as 'Low Density 2' in the Credit Valley Secondary Plan and rezone the lands 'Residential Single Detached F – 11.6 – Special Exception (R1F-XX)'. The application is currently undergoing a completeness review and we anticipate it will be presented at a public meeting in short order.

The Proposed Development

Branthaven Creditview Inc. is proposing to develop a portion of the subject property for a single-storey temporary sales office with a gross floor area of approximately 103.1 m² (1,109.8 ft²) along with eight (8) on-site parking spaces. One vehicular access point is proposed on Creditview Drive, adjacent to George Robinson Drive. The portion of the subject property intended to be used for the proposed temporary sales office comprises 0.12 ha (0.52 ac) of the overall property. A 1.5 m walkway is proposed along the periphery of the sales office and will context to the asphalt parking area. Further, a barrier free portable washroom is also proposed adjacent to the sales office for customer use. The existing red brick house is proposed to be maintained as part of the development of the sales office.

As per the submitted Minor Variance Sketch, prepared by GSAI dated February 2, 2022, the proposed sales office meets all the setback requirements of the 'Agricultural (A)' zone. A minimum front yard depth of 12.0m is required and 12.0m is provide. A minimum side yard depth of 7.5m is required and 20.3m is provided. A minimum rear yard depth of 15m is required and 168m is provided. The subject property also meets the minimum lot width requirement of 45m, having a lot width of 49.4m. Parking is required at the 'Other Office' rate of 1 space per 30m² for a total of four (4) spaces. Eight (8) spaces are provided, including a required Type 'A' accessible space.

The sales office is intended to be used for the sale of homes proposed under the above-noted Draft Plan of Subdivision, Official Plan and Zoning By-law Amendment application.

In order to permit the proposed sales office, we are proposing a Minor Variance to request relief from the Zoning By-law to permit a temporary sales office use whereas the zoning by-law does not permit the use in this instance. The temporary use is being requested for a period of three (3) years from date of opening.



The Proposed Variance

We propose the following variance in order to permit the proposed temporary sales office:

1. To permit the use of a temporary sales office for a period of three (3) years, whereas Zoning By-law 270-2004 does not permit this use in an *Agricultural (A)* zone.

Planning Rationale for Proposed Variances

Section 45(1) of the Planning Act, as amended, identifies the four tests which must be satisfied in order for the Committee to approve this application. The following section provides an analysis demonstrating how the variances satisfies these tests.

1. The variance maintains the general intent and purpose of the Official Plan.

The subject property is designated 'Residential' in the City's Official Plan and 'Executive Residential' in the Credit Valley Secondary Plan (SPA45). The 'Residential' designation of the Official Plan is intended to permit predominantly residential land uses (Policy 4.2.1.1) with an objective to provide opportunities for the development of a broad mix of housing. The 'Executive Residential' designation of the Secondary Plan also intends to permit residential uses, but those with larger lot sizes and frontages. As previously mentioned, an Official Plan Amendment has been applied for to amend the Secondary Plan designation to 'Low Density 2', which permits residential uses with smaller lot sizes and frontages than the "Executive Residential" designation.

In light of the submitted Official Plan Amendment and given the current land use designations, the temporary home sales office will permit the sale of a new residential development within an establish residential area. The sales office is only proposed on the lands for a temporary basis, until the sale of the units is complete while the Draft Plan, Official Plan and Zoning By-law Amendment applications are being processed. As such, the proposed variances to permit a temporary sales office is consistent with the land use intent and purpose of the Official Plan.

2. The variance maintains the general intent and purpose of the Zoning By-law.

The subject property is zoned 'Agricultural (A)' in the City of Brampton Zoning By-law 270-2004. Similar to the justification above, while the Zoning By-law allows for agricultural uses, the temporary nature of the proposed sales office does not preclude the long-term use of the property for agricultural purposes. As previously mentioned, a Zoning By-law Amendment application has been submitted to the City to rezone the subject lands for single-detached residential uses and the temporary sales office is required to facilitate the sales of the future residential lots.

Further, the proposed temporary sales office maintains all other zoning requirements of the 'Agricultural (A)' zone, including setback requirements, lot width requirements and parking requirements. The variance simply seeks the permission of the sales office use on a temporary



basis. Based on the temporary nature of the proposed variance, the general intent and purpose of the Zoning By-law is maintained.

3. *The variance is desirable for the appropriate development or use of the land.*

The proposed sales office will not interfere with the achievement of the City's future land use objectives of the long-term viability of agricultural uses as per the existing zoning. Further, as the Official Plan and Secondary Plan designate the lands for residential purposes, the temporary sales office will also not interfere in the long-term viability of its residential use. Instead, the variance seeks to uphold that use by facilitating the sale of the upcoming residential units. The proposed sales office is therefore minor in nature by virtue of being temporary.

4. *The variance is minor in nature.*

The subject property is subject to forthcoming residential construction activity where it is common to find new home sales offices. As such, the proposed temporary sales office will be appropriate in terms of compatibility with surrounding land uses. Further, the proposed location for the temporary sales office is desirable as it is located at prominent and highly visible intersection in close proximity to the lands within which the units to be sold from this sales office.

Application Materials:

In support of the application, please find enclosed the following materials:

- One (1) copy of the completed Minor Variance Application Form with the signed Authorization and Permission to Enter Forms;
- One (1) copy of Minor Variance Sketch, prepared by Glen Schnarr and Associates Inc., dated January 26, 2022;
- One (1) cheque in the amount of \$2,560.00 for Minor Variance Application Fees.

We trust that these materials are sufficient for Staff's review and look forward to being considered for the March 8, 2022, hearing date. Please contact the undersigned at colinc@gsai.ca if you require additional information or wish to clarify any thing contained in this application.

Yours very truly,
GLEN SCHNARR & ASSOCIATES INC.

Colin Chung, MCIP, RPP
Partner

FILE NUMBER: A - 2022-0022

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Branthaven Creditview Inc. (c/o Arden Semper)

Address 720 Oval Court, Burlington ON

Phone # 905.333.8364 ext. 240 Fax # _____

Email asemper@branthaven.com

2. Name of Agent Glen Schnarr and Associates Inc. (c/o Colin Chung)

Address 700-10 Kingsbridge Garden Circle, Mississauga ON L5R 3K6

Phone # 905.568.8888 x224 Fax # _____

Email colinc@gsai.ca

3. Nature and extent of relief applied for (variances requested):

To permit the use of a temporary sales office for a period of three (3) years, whereas Zoning By-law 270-2004 does not permit this use in an Agricultural (A) zone.

4. Why is it not possible to comply with the provisions of the by-law?

A temporary sales office is not a permitted use within the 'Agricultural (A)' zone.

5. Legal Description of the subject land:

Lot Number Part Lot 5

Plan Number/Concession Number Concession 5 WHS

Municipal Address 8940 Creditview Road, Brampton, ON, L6Y 0G4

6. Dimension of subject land (in metric units)

Frontage 49.79 m

Depth 155.77 m

Area 34, 923 m2

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Single Detached Dwelling (red brick house); a small timber frame barn; a large timber frame barn with a concrete silo; a concrete block milk house; two (2) horse stables; a modern fabric Quonset hut; a modular home

PROPOSED BUILDINGS/STRUCTURES on the subject land:

A 1-storey temporary sales office with a gross floor area of 103.1 square metres. Eight (8) parking spaces are proposed as part of the development application.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	19.32m
Rear yard setback	
Side yard setback	
Side yard setback	

PROPOSED

Front yard setback	12m
Rear yard setback	168m
Side yard setback	20.3m
Side yard setback	22.01

10. Date of Acquisition of subject land: July 30, 2021
11. Existing uses of subject property: Agricultural/Vacant
12. Proposed uses of subject property: Temporary Home Sales Office
13. Existing uses of abutting properties: Low Density Residential
14. Date of construction of all buildings & structures on subject land: Approx. 1987
15. Length of time the existing uses of the subject property have been continued: 20+ Years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☐

If answer is yes, provide details: File # PRE-2021-0055 Status In Review

18. Has a pre-consultation application been filed?

Yes ☐ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☐

If answer is yes, provide details:

File # <u>A-2021-0153</u>	Decision <u>Approved</u>	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____


Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Burlington

THIS 8th DAY OF February, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Glen Schnarr and Associates Inc. (c/o Colin Chung), OF THE City _____ OF Burlington

IN THE Region OF Halton SOLEMNLY DECLARE THAT:

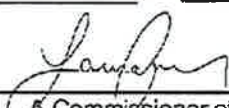
ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City _____ OF Mississauga
IN THE Region OF _____
Peel THIS 7th DAY OF
February, 2022


Signature of Applicant or Authorized Agent

Submit by Email


Laura Kim Amorim, a Commissioner, etc.,
Province of Ontario, for
Glen Schnarr & Associates Inc.
Expires March 3, 2023.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

Agricultural

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.


Zoning Officer

Feb 8 22

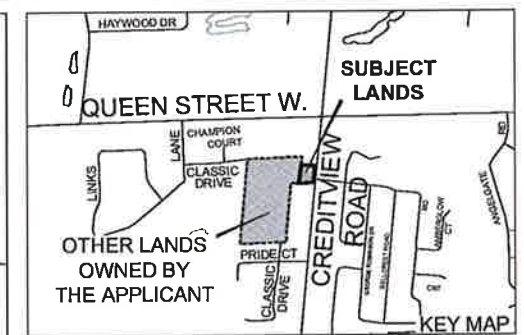
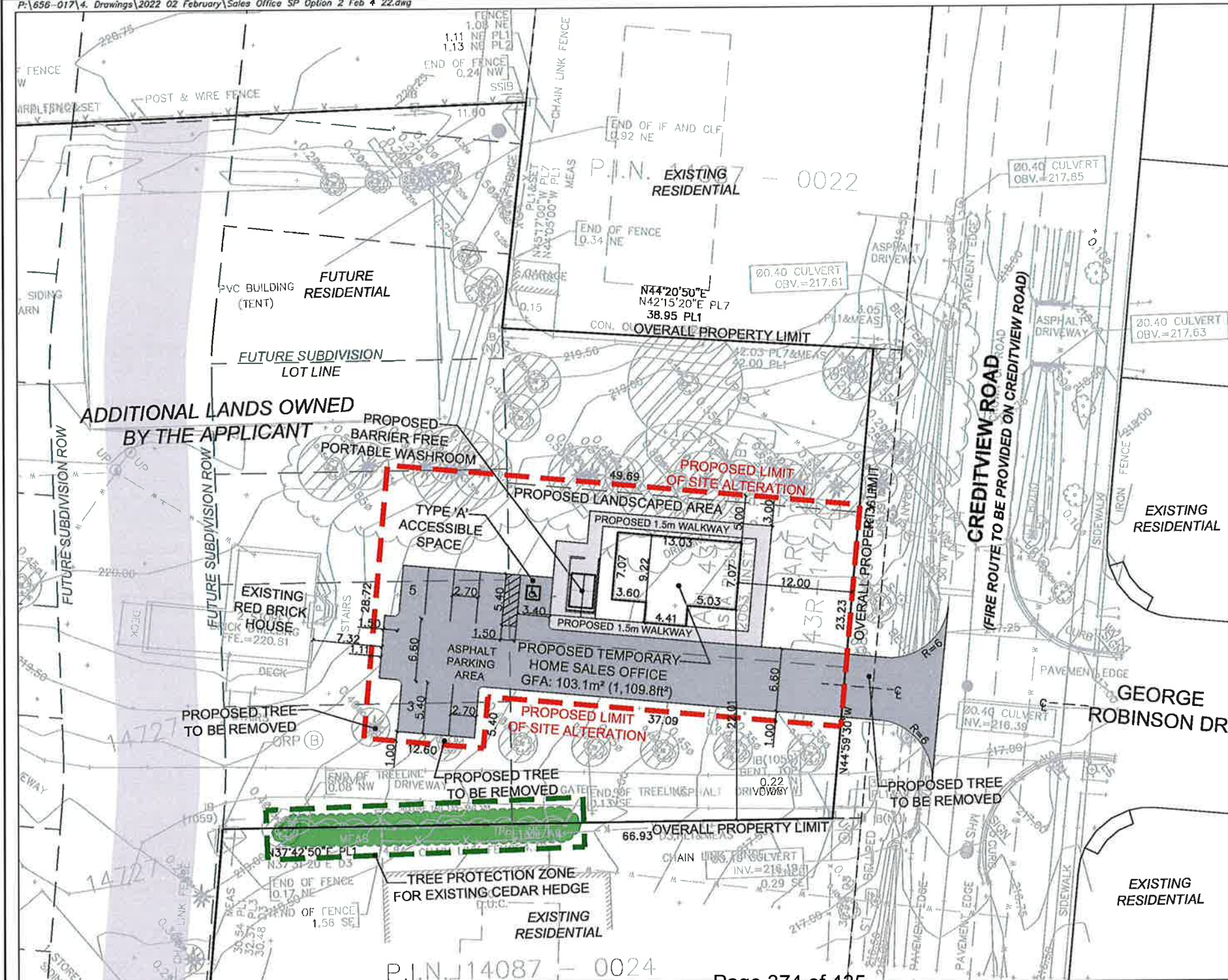
Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

February 8, 2022
February 8, 2022

Revised 2020/01/07



**CONCEPT SITE PLAN
PROPOSED TEMPORARY
HOME SALES OFFICE
BRANTHAVEN CREDITVIEW INC.**

PART OF LOT 5,
CONCESSION 5, W.H.S.,
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

DEVELOPMENT STATISTICS

SITE ALTERATION AREA:	0.12ha (0.52ac)
ADDITIONAL LANDS AREA:	3.32ha (8.20ac)
TOTAL AREA:	3.53ha (8.72ac)
TOTAL BUILDING GFA:	103.1m ² (1,109.8ft ²)
BLDG. COVERAGE (TOTAL AREA):	0.29%

ZONING MATRIX
EXISTING ZONE CATEGORY: A - AGRICULTURAL
(FOR A LOT HAVING AN AREA OF 5 HECTARES OR LESS)

CATEGORY	REQUIRED	PROVIDED
MINIMUM LOT WIDTH	45.0m	49.4m
MINIMUM FRONT YARD DEPTH	12.0m	12.0m
MINIMUM SIDE YARD DEPTH	7.5m	20.3m
MINIMUM REAR YARD DEPTH	15.0m	168.0m

PARKING STATISTICS
(OTHER OFFICE 1 SPACE PER 30m²)

PARKING REQUIRED:	4 SPACES
PARKING PROVIDED:	8 SPACES*
ACCESSIBLE SPACES REQUIRED:	1 SPACE (TYPE 'A')
ACCESSIBLE SPACES PROVIDED:	1 SPACE (TYPE 'A')

NOTES:
- TYPICAL PERPENDICULAR PARKING SPACE: 2.7m x 5.4m
- TYPICAL BARRIER FREE SPACE: 3.4m x 5.4m + 1.5m AISLE
- TYPICAL DRIVEWAY AISLE WIDTH: 6.6m

A-2022-0022

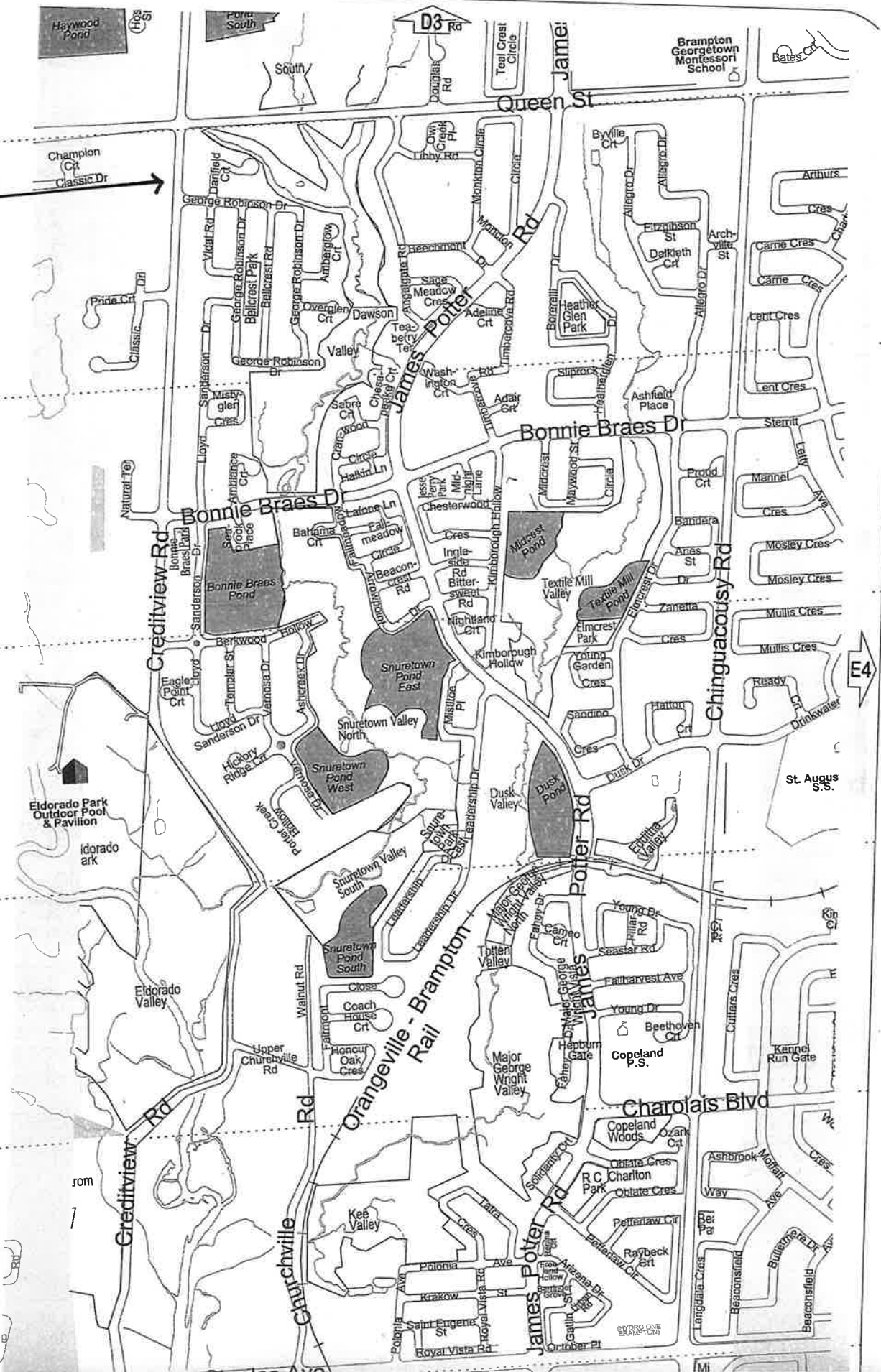
a

b

c

d

e



DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an **amended** application for minor variance has been made by **PARTH SHAH AND HINAL PARTH SHAH** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 65, Plan M-1114, Part 16, Plan 43R-20429 municipally known as **4 RAIN LILY LANE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance on a lot containing a quattroplex whereas the by-law only permits a below grade entrance in a single detached, semi detached or townhouse dwelling;
2. To permit a side yard setback of 1.29m (4.23 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.);
3. To permit a second dwelling unit (basement apartment) on a lot containing a quattroplex whereas the by-law only permits a second dwelling unit in a single detached, semi detached or townhouse dwelling.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



ENTRANCE & EGRESS

NOTE: EXISTING GRADE REMAINS AS IS

NEW BELOW GRADE SIDE YARD
ENTRANCE, PRIMARY MEANS OF
ENTRANCE AND EGRESS FOR
SECOND UNIT.

NEW BELOW GRADE SIDE YARD ENTRANCE
AREA UNDER MINOR VARIANCE APPLICATION

PROPERTY LINE 67'-4" (20.53M)

PROPERTY LINE
8'-7" (2.62M)

PROPERTY LINE
1'-9" (0.53M)

PROPERTY LINE
5'-0" (1.52M)

PROPERTY LINE
1'-9" (0.53M) —

SCOPE OF WORK

- 1 BASEMENT APARTMENT
- 2 NEW BELOW GRADE SIDE YARD ENTRANCE
- 3 DRIVEWAY EXTENSION

AREA STATISTICS FOR SECONDARY UNIT

GROSS FLOOR AREA CALCULATIONS

A -

EXISTING MAIN FLOOR AREA	: 806.68 SFT / 74.97 M ²
EXISTING SECOND FLOOR AREA	: 806.68 SFT / 74.97 M ²
TOTAL GFA	: 1613.36 SFT / 149.94 M ²

B- EXISTING BASEMENT	
BASEMENT NEW AREA GFA	: 699.34 SFT / 64.97 M ²
UTILITY AND FURNACE AREA	: 107.34 SFT / 9.97 M ²
TOTAL GFA	: 806.68 SFT / 74.94 M ²

BASEMENT APARTMENT GFA IS 43.34 % OF PRINCIPAL RESIDENCE GFA

AREA STATISTICS FOR DRIVEWAY EXTENSION

AREA CALCULATIONS

FRONT YARD LANDSCAPE AREA
HARDSCAPE AREA
TOTAL AREA

$$\begin{aligned} &= 570.57 \text{ SFT} / 53.00 \text{ M}^2 (44.41\%) \\ &= 696.93 \text{ SFT} / 64.74 \text{ M}^2 \\ &= 1284.77 \text{ SFT} / 119.35 \text{ M}^2 \end{aligned}$$

Page 377 of 435

GENERAL SCIENCE

• Copyright belongs to the property of
SWAY INC. THESE BRAND DESIGN AND
INTELLECTUAL CONTENT ARE SOLIDLY THE PROPERTY OF
SWAY INC. AND MUST NOT BE LEFT, MISUSE,
DISTRIBUTE OR OTHERWISE COPIED WITHOUT THE
WRITTEN CONSENT OF THE FRANCHISE

[illegible]

WHILE THE COMPANY HAS A POLICY OF NOT DISCLOSURING
DATA PRECEDENCE EITHER IN REPLYING TO REQUESTS AND
GENERAL NOTICES, THE COMPANY SHALL NOT CONSIDER
ANY CIRCUMSTANCES OF THE SAME CONDITIONS.
THE COMPANY SHALL BE OBLIGATED TO PROVIDE TO THE
THROUGHOUT OF THE INFORMATION AND TO PROVIDE THE
IN THE NOTES, CHARTS, AND OTHER INFORMATION, THE
IN THE PLANNED NOTICES, CONSIDERATION OF THE
AND SHALL BE RESPONSIBLE FOR ALL INFORMATION
PROVIDED THROUGH THE COMPANY TO A COMPANY
THAT IS A COMPANY, EITHER BY THE COMPANY OR BY
THE COMPANY, AND SHALL BE RESPONSIBLE FOR ALL INFORMATION

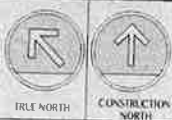
No	Date	Revision/Issued
00	2023.01.05	Schematic Design
01	2023.01.25	Final Application

Consultants

SHAFE

BUILDING FOR FUTURE
Permit Drawings | Construction
Project Management |
Developments

126 Burnhamthorpe Rd. East
Unit A | Oakville | ON | L6H 0X
m: 647.471.7441
e: info@shafeinc.com
www.shafeinc.com



rest!

Project Title :
**BASEMENT
APARTMENT**

Project Address :
**04 Rain Lily Ln,
Brampton**
Drawing title:

SITE PLAN

Project:
22-240

Scale:

 $\frac{1}{8}''=1'-0''$

Drawn AH	Checked SV
-------------	---------------

Drawing number:

A-01

Date Modified MAY 22, 2023

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

June 7, 2023

To: Committee of Adjustment
PARTH SHAH AND HIMAL PARTH SHAH
PART OF LOT 65, PLAN M-111
A-2023-0051 – 4 RAIN LILY DRIVE

Please **amend** application **A-2023-0051** to reflect the following:

1. To permit a below grade entrance on a lot containing a quattroplex whereas the by-law only permits a below grade entrance in a single detached, semi detached or townhouse dwelling;
2. To permit a side yard setback of 1.29m (4.23 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.);
3. To permit a second dwelling unit (basement apartment) on a lot containing a quattroplex whereas the by-law only permits a second dwelling unit in a single detached, semi detached or townhouse dwelling.



Applicant/Authorized Agent

AMENDMENT LETTER

May 23, 2023

To: Committee of Adjustment

**RE: PARTH SHAH AND HINAL PARTH SHAH
PART OF LOT 65, PLAN M-1114
PART 16, PLAN 43R-20429
A-2023-0051 - 4 RAIN LILY LANE**

Please **amend** application **A-2023-0051** to reflect the following:

1. To permit a below grade entrance on a lot containing a quattroplex whereas the by-law only permits a below grade entrance in a single detached, semi detached or townhouse dwelling;
2. To permit a side yard setback of 1.29m (4.23 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.).
3. To permit basement apartment [second dwelling unit] on a lot containing quattroplex, Whereas the by law only permits basement apartments single detached, semi detached or townhouse dwelling.
4. To permit driveway extension from 3.3m to 5.50m to accommodate required parking for basement apartments & principle residence.



Applicant/Authorized Agent

MINOR VARIANCE BASEMENT APPARTMENT

ISSUED FOR: MINOR VARIANCE BASEMENT APPARTMENT PERMIT APPLICATION

DRAWINGS LIST	
DRAWING NUMBER	DRAWING NAME

A-00	COVER PAGE
S-00	PLAN OF SURVEY
A-01	SITE PLAN
A-02	PROPOSED MAIN FLOOR PLAN
A-03	BASEMENT- EXISTING PLAN
A-04	BASEMENT- PROPOSED PLAN
A-05	SECOND FLOOR PLAN
A-EL	NORTH ELEVATION
A-06	EGRESS OR ESCAPE WINDOW SECTION
A-07	WALKOUT PLAN
A-08	WALKOUT SECTION A-A
A-09	WALKOUT SECTION B-B
E-01	ELECTRICAL LAYOUT
G-01	NOTES & SCHEDULES

GENERAL NOTES

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2. THE DRAWER SHALL VERIFY THAT THE INFORMATION PROVIDED IN THESE DRAWINGS BEFORE START OF ANY WORK SHALL BE CORRECTLY DELETED FROM THE DRAWING. NOT SPECIFICALLY DELETED FROM THE DRAWING SHALL BE CONSIDERED TO BE THE SAME QUALITY & SAME STANDARDS THAT ARE MENTIONED FOR SHAFTE WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT ONTARIO BUILDING CODE & RESPECTIVE CITY'S ZONING BY-LAW AND STANDARDS.

3. SHAFTE INC. SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE DRAWER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE DRAWER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE DRAWER SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT.

No.	Date	Revision/Issued
00	2023.01.05	Schematic Design
01	2023.01.27	Permit Application

Consultants

SHAFTE

BUILDING FOR FUTURE
Permit Drawings | Construction |
Project Management |
Developments

126 Burnhamthorpe Rd. East |
Unit A | Oakville | ON | L6H 0X9
m: 647.471.7441
e: info@shafteinc.com
www.shafteinc.com

Seal

Project Title :
**BASEMENT
APPARTMENT**

Project Address :
**04 Rain Lily Ln,
Brampton**

Drawing title:
**COVER
PAGE**

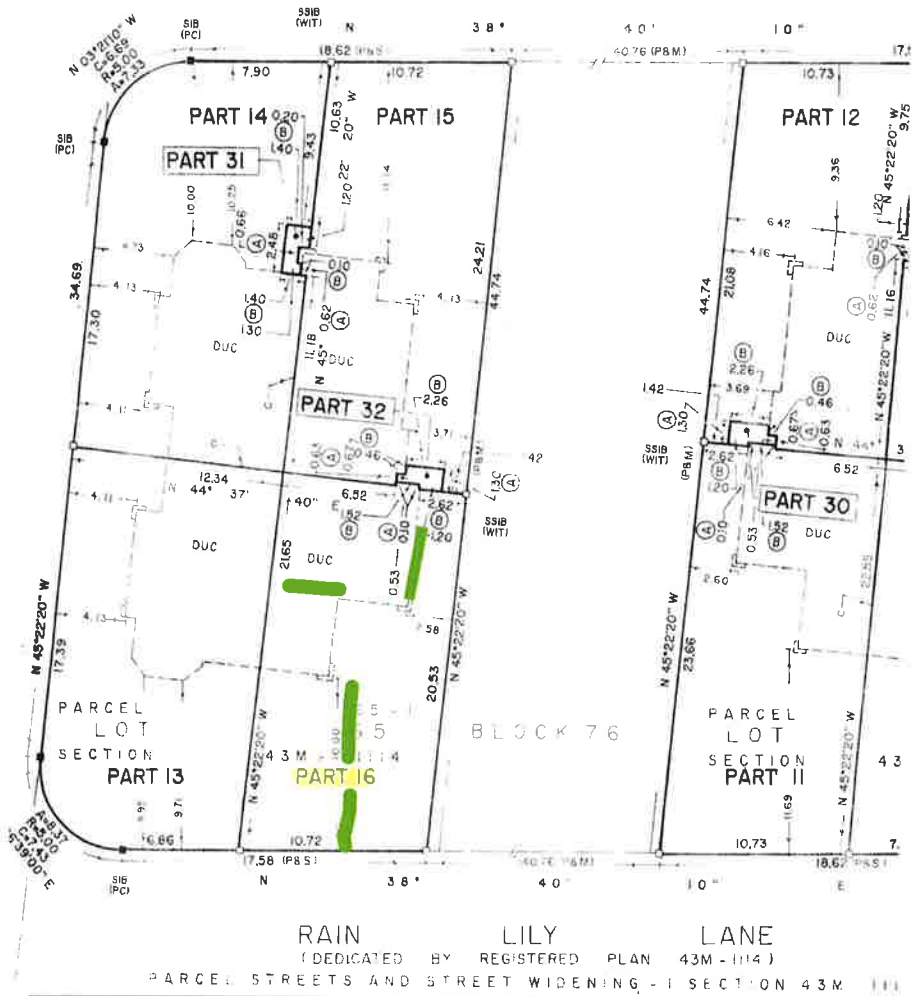
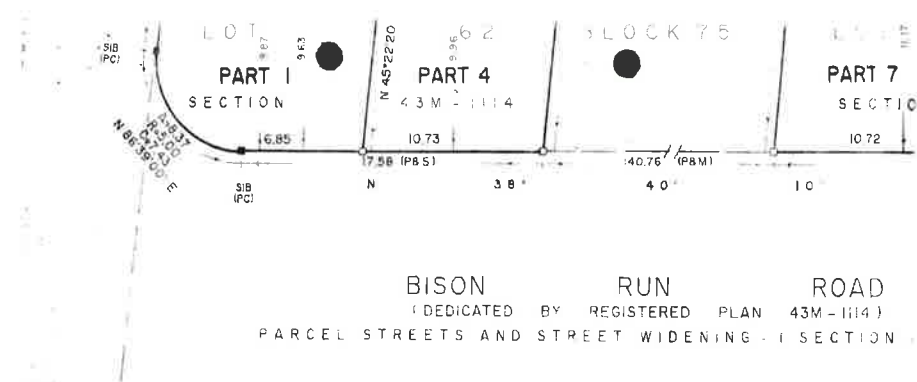
Project:
22-240

Scale:
N.T.S.

Drawn	Checked
AH	SV

Drawing number:
A-00

Date Modified
MAY 22, 2023



DOCUMENTS RELEASED PURSUANT TO A REQUEST
 UNDER THE
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 PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56
 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
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PLAN 43R-20429

I REQUIRE THIS PLAN TO BE
DEPOSITED UNDER THE
LAND TITLES ACT

RECEIVED AND DEPOSITED

DATE JUNE 15, 1994

DATE June 15, 1994

David A. Black
DAVID A. BLACK
ONTARIO LAND SURVEYOR

Mark C. Myer
MARK C. MYER
LAND REGISTRAR FOR THE
LAND TITLES DIVISION OF
PEEL (N° 43)

- | | |
|-----------------------------|---|
| PARTS 1,2,3,4,25 AND 26 | - ALL OF PARCEL 62 - 1 SECTION 43M - III4 |
| PARTS 5,6,7,8,27 AND 28 | - ALL OF PARCEL 63 - 1 SECTION 43M - III4 |
| PARTS 9,10,11,12,29 AND 30 | - ALL OF PARCEL 64 - 1 SECTION 43M - III4 |
| PARTS 13,14,15,16,31 AND 32 | - ALL OF PARCEL 65 - 1 SECTION 43M - III4 |
| PARTS 17,18,19,20,33 AND 34 | - ALL OF PARCEL 73 - 1 SECTION 43M - III4 |
| PARTS 21,22,23,24,35 AND 36 | - ALL OF PARCEL 74 - 1 SECTION 43M - III4 |

CRESCENT

43M - III4

SECTION 43M

65-92



PLAN OF SURVEY OF
LOTS 62,63,64,65,73 AND 74
REGISTERED PLAN 43M - III4
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 250

J. D. BARNES LIMITED
1994

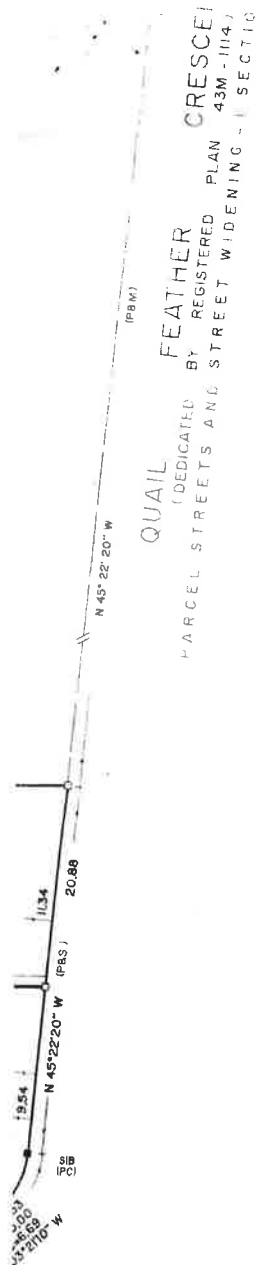
DOCUMENTS RELEASED PURSUANT TO A REQUEST
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MUNICIPAL FREEDOM OF INFORMATION AND
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56
COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
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METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES:

BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE
NORTHEASTERLY LIMIT OF POPPY BLOOM AVENUE AS SHOWN ON
REGISTERED PLAN 43M - III4, HAVING A BEARING OF N 45° 22' 20\"/>

- | | | |
|------|---------|---------------------------|
| ■ | DENOTES | SURVEY MONUMENT FOUND |
| ○ | DENOTES | SURVEY MONUMENT PLANTED |
| SIB | DENOTES | STANDARD IRON BAR |
| SB | DENOTES | IRON BAR |
| SSIB | DENOTES | SHORT STANDARD IRON BAR |
| WIT | DENOTES | WITNESS |
| PC | DENOTES | POINT OF CURVATURE |
| DUC | DENOTES | DEVELOPMENT CONSTRUCTION |
| F | DENOTES | FOUNDATION WALL |
| ○ | DENOTES | CENTRE OF FOUNDATION WALL |



BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE
WHEATHEASTLY LIMIT OF POPPY BLOOM AS SHOWN ON
REGISTERED PLAN 43M - 1114, HAVING A BEARING OF N 45° 22' 20" W.

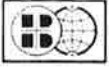
- DENOTES SURVEY MONUMENT FOUND
- D DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- IB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- WIT DENOTES WITNESS
- PC DENOTES POINT OF CURVATURE
- DUC DENOTES DWELLING UNDER CONSTRUCTION
- F DENOTES FACE OF FOUNDATION WALL
- C DENOTES CENTRELINE OF FOUNDATION WALL
- CFW DENOTES CONCRETE FOUNDATION WALL
- PBS DENOTES REGISTERED PLAN 43M - 1114 AND SET
- PBM DENOTES REGISTERED PLAN 43M - 1114 AND MEASURED
- O DENOTES BEARING

PLANTED MONUMENTS ARE IRON BARS UNLESS SHOWN OTHERWISE
FOUND MONUMENTS SET BY MARSHALL MACKLIN MONAGHAN ONTARIO LIMITED
UNLESS SHOWN OTHERWISE

CAUTION THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN
THE MEANING OF THE PLANNING ACT.

SURVEYOR'S CERTIFICATE
I CERTIFY THAT
1 THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS
ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE THEREUNDER
2 THE SURVEY WAS COMPLETED ON THE 20th DAY OF MAY 1994.

DATE JUNE 13, 1994
David A. Black
DAVID A. BLACK
ONTARIO LAND SURVEYOR

**J.D. BARNES**
LIMITED

SURVEYING MAPPING
LAND INFORMATION SERVICES

OFFICE OF ORIGIN
450 BRITANNIA ROAD EAST, SUITE 450B
MISSISSAUGA, ONTARIO L4Z 1X9
TELEPHONE (905) 507-6767
FAX (905) 507-6977

DRAWN BY: *W.D.*

CHECKED BY: *D.B.*

REFERENCE NO.:
94-28-986-00-A

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USE AND REPRODUCTION OF THESE DOCUMENTS

LANDSCAPE

ENTRANCE & EGRESS

NOTE: EXISTING GRADE REMAINS AS IS

NEW BELOW GRADE SIDE YARD
ENTRANCE. PRIMARY MEANS OF
ENTRANCE AND EGRESS FOR
SECOND UNIT.

NEW BELOW GRADE SIDE YARD ENTRANCE
AREA UNDER MINOR VARIANCE APPLICATION.

PROPERTY LINE
8'-7" (2.62M)

PROPERTY LINE
1'-9" (0.53M)

PROPERTY LINE
5'-0" (1.52M)

PROPERTY LINE
1'-9" (0.53M)

PROPERTY LINE 67'-4" (20.53M)

PROPERTY LINE 35'-2" (10.72M)
RAIN LILY LANE

PROPERTY LINE 71'-0" (21.65M)

PROPERTY LINE
21'-5" (6.52M)

SCOPE OF WORK

- 1 BASEMENT APPARTMENT
- 2 NEW BELOW GRADE SIDE YARD ENTRANCE
- 3 DRIVEWAY EXTENSION

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GROSS FLOOR AREA CALCULATIONS

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EXISTING SECOND FLOOR AREA : 806.68 SFT / 74.97 M²
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B-

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UTILITY AND FURNACE AREA : 107.34 SFT / 9.97 M²
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FRONT YARD LANDSCAPE AREA = 570.57 SFT / 53.00 M² (44.41%)
HARDSCAPE AREA = 696.93 SFT / 64.74 M²
TOTAL AREA = 1284.77 SFT / 119.35 M²

GENERAL NOTES

CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

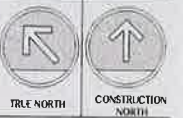
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No	Date	Revision/Issued
01	2023.01.05	Schematic Design
02	2023.01.25	Permit Application

Consultants

SHAFE

BUILDING FOR FUTURE
Permit Drawings | Construction |
Project Management |
Developments
126 Burnhamthorpe Rd. East |
Unit A | Oakville | ON | L6H 0X9
m: 647.471.7441
e: info@shafeinc.com
www.shafeinc.com

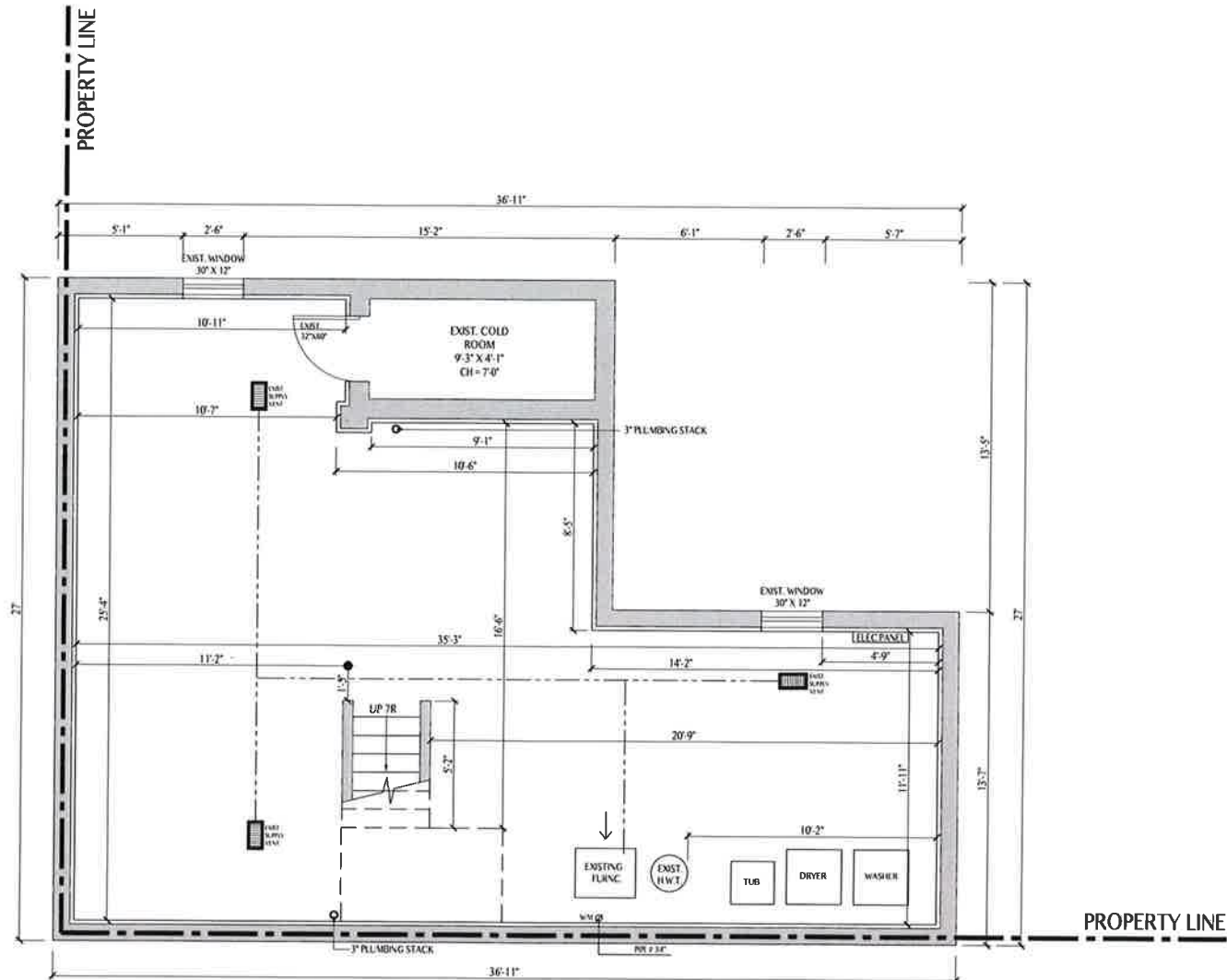


Seal

Project Title :
**BASEMENT
APPARTMENT**
Project Address :
**04 Rain Lily Ln,
Brampton**
Drawing title:

SITE PLAN

Project:
22-240
Scale:
1/8" = 1'-0"
Drawn: AH
Checked: SV
Drawing number:
A-01
Date Modified
MAY 22, 2023



LEGEND :

- EXISTING WALLS
- NEW WALLS
- FIRE RATED WALLS REFER TO G-01 FOR DETAILS
- EXISTING TO BE REMOVED
- EXISTING COLUMNS

EXISTING - BASEMENT PLAN

GROSS FLOOR AREA CALCULATIONS

TOTAL BASEMENT GFA = 806.68 SFT / 74.94 M²
CEILING HEIGHT = 7-8"

PLEASE SEE DRAWING NO. G-01 FOR
GENERAL NOTES AND SCHEDULES



INTERCONNECTED AND WIRED SMOKE ALARMS
AT EACH FLOOR AND EACH UNIT INCLUDING
FINISHED BASEMENT AND LEGAL BASEMENT - AS
PER OBC 9.10.19.

GENERAL NOTES:

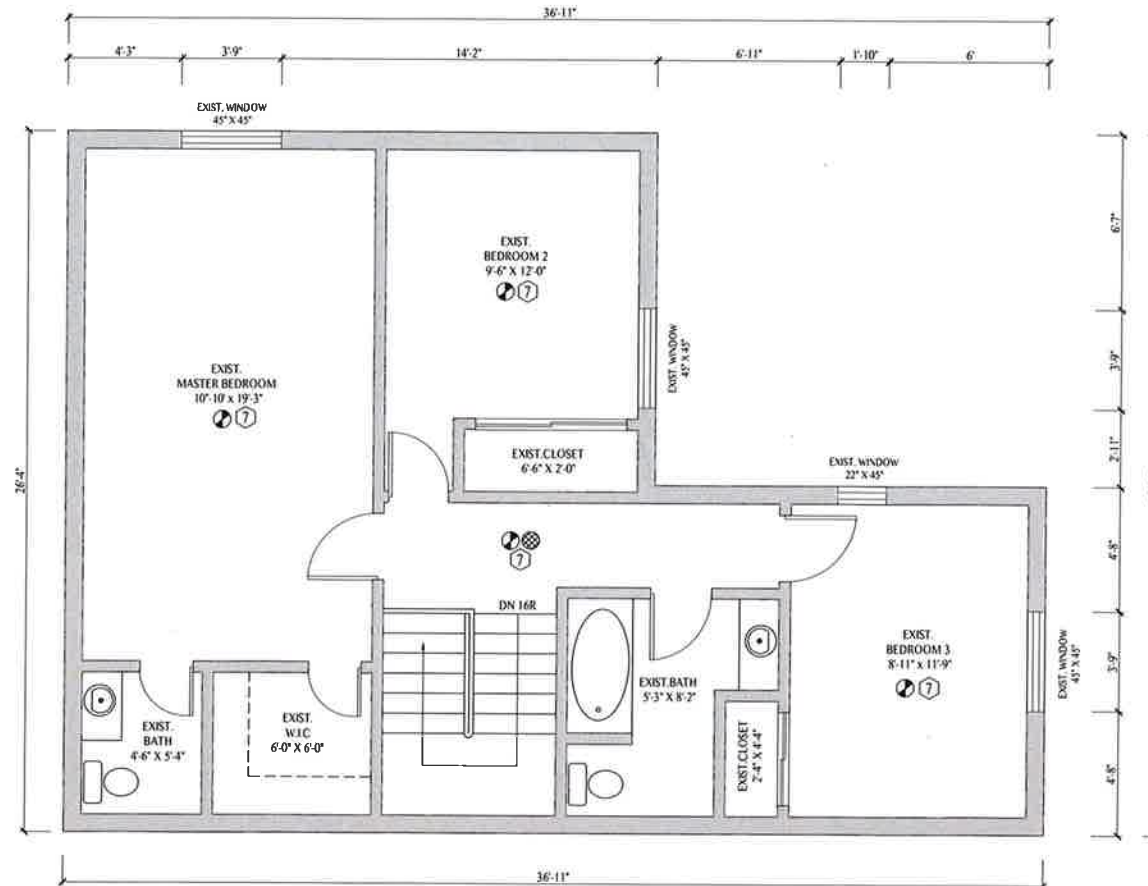
- 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND ALL NECESSARY NOTICES AND NOTICES TO ADJACENT PROPERTIES.
- 2. THE DRAWING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL BUILDING CODE OF PRACTICE.
- 3. THE DRAWING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL BUILDING CODE OF PRACTICE.
- 4. THE DRAWING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL BUILDING CODE OF PRACTICE.
- 5. THE DRAWING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATIONS AND THE NATIONAL BUILDING CODE OF PRACTICE.

No	Date	Revision/Issued
01	2023.01.05	Schematic Design
02	2023.01.25	Permit Application

Consultants
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Project Management |
Developments
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e: info@shafenc.com
www.shafenc.com

Seal

Project Title :
**BASEMENT
APARTMENT**
Project Address :
**04 Rain Lily Ln,
Brampton**
Drawing title:
**EXISTING
BASEMENT
PLAN**
Project:
22-240
Scale:
3/16" = 1'-0"
Drawn
AH
Checked
SV
Drawing number:
A-03
Date Modified
MAY 22, 2023



- LEGEND :**
- EXISTING WALLS
 - NEW WALLS
 - FIRE RATED WALLS REFER TO G-01 FOR DETAILS
 - EXISTING TO BE REMOVED
 - EXISTING COLUMNS

SECOND FLOOR PLAN

(FOR REFERENCE ONLY)

GROSS FLOOR AREA = 806.68 SFT / 74.94 M²
CEILING HEIGHT = 8'-0"

PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.



GENERAL NOTES:

1. CONSULTANT HAS NOT BEEN ADVISED OF ANY OTHER PROJECTS OR WORKS IN THE AREA THAT MAY AFFECT THE PROJECT OR BE AFFECTED BY IT. THE CONSULTANT HAS NOT BEEN ADVISED OF ANY OTHER PROJECTS OR WORKS IN THE AREA THAT MAY AFFECT THE PROJECT OR BE AFFECTED BY IT.
2. THE CONSULTANT HAS NOT BEEN ADVISED OF ANY OTHER PROJECTS OR WORKS IN THE AREA THAT MAY AFFECT THE PROJECT OR BE AFFECTED BY IT.
3. THE CONSULTANT HAS NOT BEEN ADVISED OF ANY OTHER PROJECTS OR WORKS IN THE AREA THAT MAY AFFECT THE PROJECT OR BE AFFECTED BY IT.
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No	Date	Revision/Issued
00	2023.01.05	Schematic Design
01	2023.01.25	Permit Application

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Unit A | Oakville | ON | L6H 0X9
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www.shafeinc.com

Seal

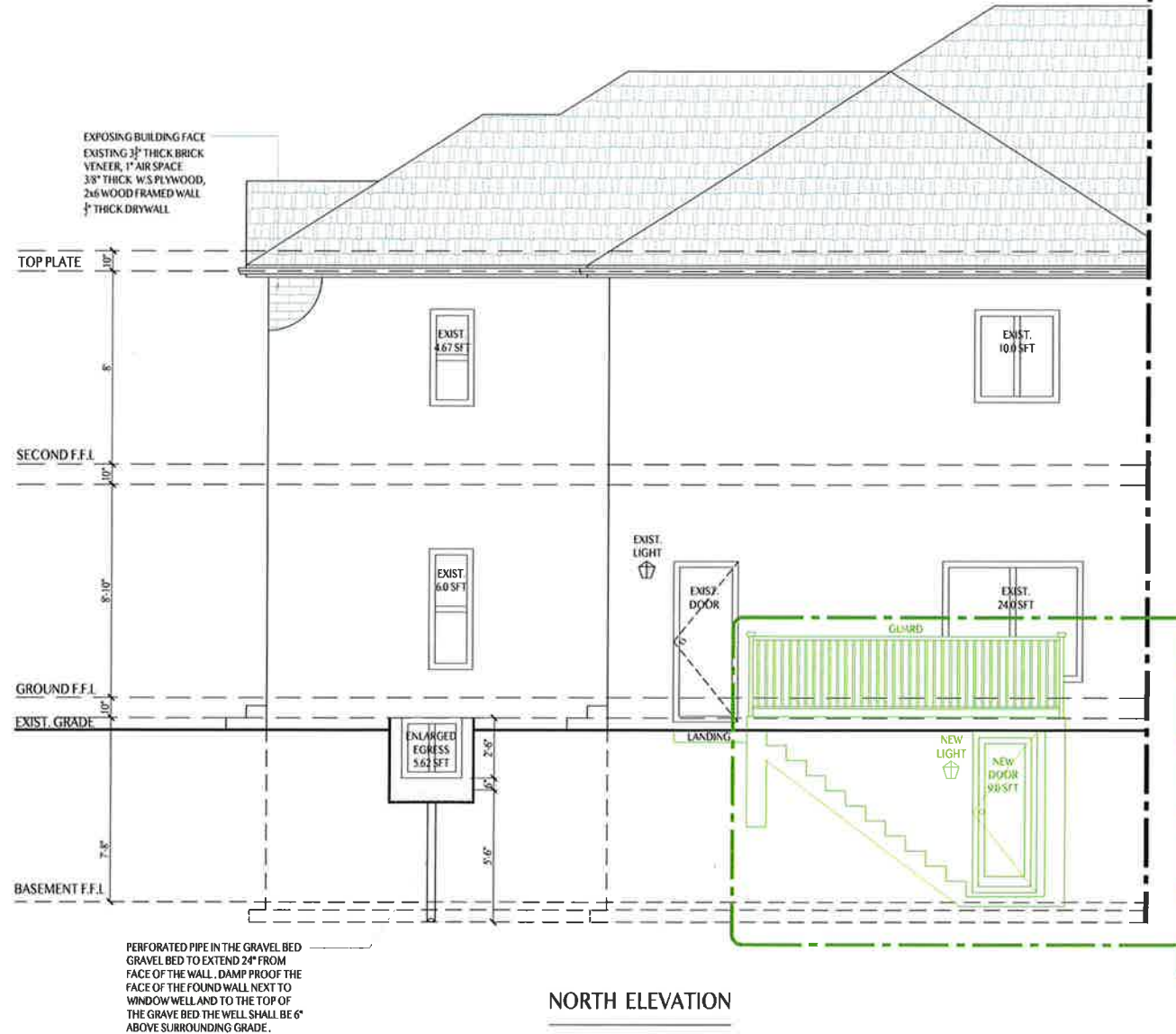
Project Title :
**BASEMENT
APARTMENT**
Project Address :
**04 Rain Lily Ln,
Brampton**
Drawing title:
**SECOND
FLOOR PLAN**

Project:
22-240
Scale:
3/16" = 1'-0"
Drawn
AH
Checked
SV
Drawing number:

A-05
Date Modified
MAY 22, 2023

GLAZED OPENINGS:

WALL AREA: = 686.49 SFT / 63.80 M²
 LIMITING DISTANCE: 2.58 M
 WINDOW AREA PROVIDED: 59.29 SFT / 5.51 M² (8.64%)
 WINDOW AREA ALLOWED: 14%



PROPERTY LINE

NEW BELOW GRADE SIDE YARD ENTRANCE.

GENERAL NOTES:

- 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2018 CANADIAN NATIONAL BUILDING CODE (CNBC) AND THE 2018 CANADIAN NATIONAL PLUMBING AND MECHANICAL CODE (CNPM/CNMC).
- 3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
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- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

No.	Date	Revision/Issued
01	2023-01-05	Schematic Design
02	2023-02-23	Rev. Application

Consultants
SHAF|E
 BUILDING FOR FUTURE
 Permit Drawings | Construction |
 Project Management |
 Developments
 126 Burnhamthorpe Rd. East |
 Unit A | Oakville | ON | L6H 0X9
 m: 647.471.7441
 e: info@shafeinc.com
 www.shafeinc.com

Seal

Project Title:
 FINISHED
 BASEMENT

Project Address:
 04 Rain Lily Ln,
 Brampton

Drawing title:
 NORTH
 ELEVATION

Project:
 22-240

Scale:
 3/16" = 1'-0"

Drawn	Checked
AK	YK

Drawing number:
 A-05

Date Modified:
 FEB 25, 2023

AMENDMENT LETTER

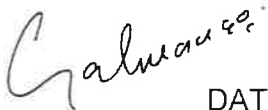
March 14, 2023

To: Committee of Adjustment

**RE: PARTH SHAH AND HINAL PARTH SHAH
PART OF LOT 65, PLAN M-1114
PART 16, PLAN 43R-20429
A-2023-0051 – 4 RAIN LILY LANE**

Please amend application **A-2023-0051** to reflect the following:

1. To permit a below grade entrance on a lot containing a quattroplex whereas the by-law only permits a below grade entrance in a single detached, semi detached or townhouse dwelling;
2. To permit a side yard setback of 1.29m (4.23 ft.) to a below grade entrance whereas the by-law requires a minimum interior side yard setback of 1.8m (5.91 ft.).



DATED: Mar 15, 2023.

Applicant/Authorized Agent



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

PARTH SHAH & HINAL PARTH SHAH

Address

04 RAIN LILY LANE, BRAMPTON, ON L6R 1S2

Phone #

+1.647.717.8136

Fax #

Email

shahparthk1989@gmail.com
2.

Name of Agent

Salman Ellahi

Address

126 BURNHAMTHORPE ROAD EAST, OAKVILLE, L6H 0X9

Phone #

647 471 7441

Fax #

Email

salman@shafeinc.com
3.

Nature and extent of relief applied for (variances requested):

To create a below grade entrance in right side yard where set back of 1.8 required as per by law. we have only 1.2 m set back.
4.

Why is it not possible to comply with the provisions of the by-law?

In current zoning by laws below grade side yard is allowed with 1.8M set back. we have only 1.29 m set back.
5.

Legal Description of the subject land:

Lot Number

65

Plan Number/Concession Number

43M - 1114 RP 43R20429 PART 16

Municipal Address

04 RAIN LILY LANE, BRAMPTON, ON L6R 1S2

6.

Dimension of subject land (in metric units)

Frontage

10.72 M

Depth

21.65 M & 20.53

Area

225.64 SM

7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

☒

Private Right-of-Way

Seasonal Road

Other Public Road

Water

Page 392 of 435

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)
2 Storey quattroplex Dwelling unit

Basement Area: 54.43 SM

Main Floor Area: 74.97 SM

Second Floor Area: 74.97 SM

Total for Floors Above Grade: 149.94 SM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

- single-Unit Dwelling Unit quattroplex

- below grade side yard entrance. entrance and exit for a finished basement.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 10.0 M

Rear yard setback N/A

Side yard setback N/A (left side)

Side yard setback 2.58 (right side)

PROPOSED

Front yard setback No Change in setback.

Rear yard setback No Change

Side yard setback No Change (left side)

Side yard setback 1.29 (right side)

10. Date of Acquisition of subject land: year 2017
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1994
15. Length of time the existing uses of the subject property have been continued: 29 year

16. (a) What water supply is existing/proposed?

Municipal ☒
Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒
Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒
Ditches ☐
Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ City _____ OF _____ Brampton _____

THIS 26 DAY OF February, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Salman Ellahi, OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 28TH DAY OF

February, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

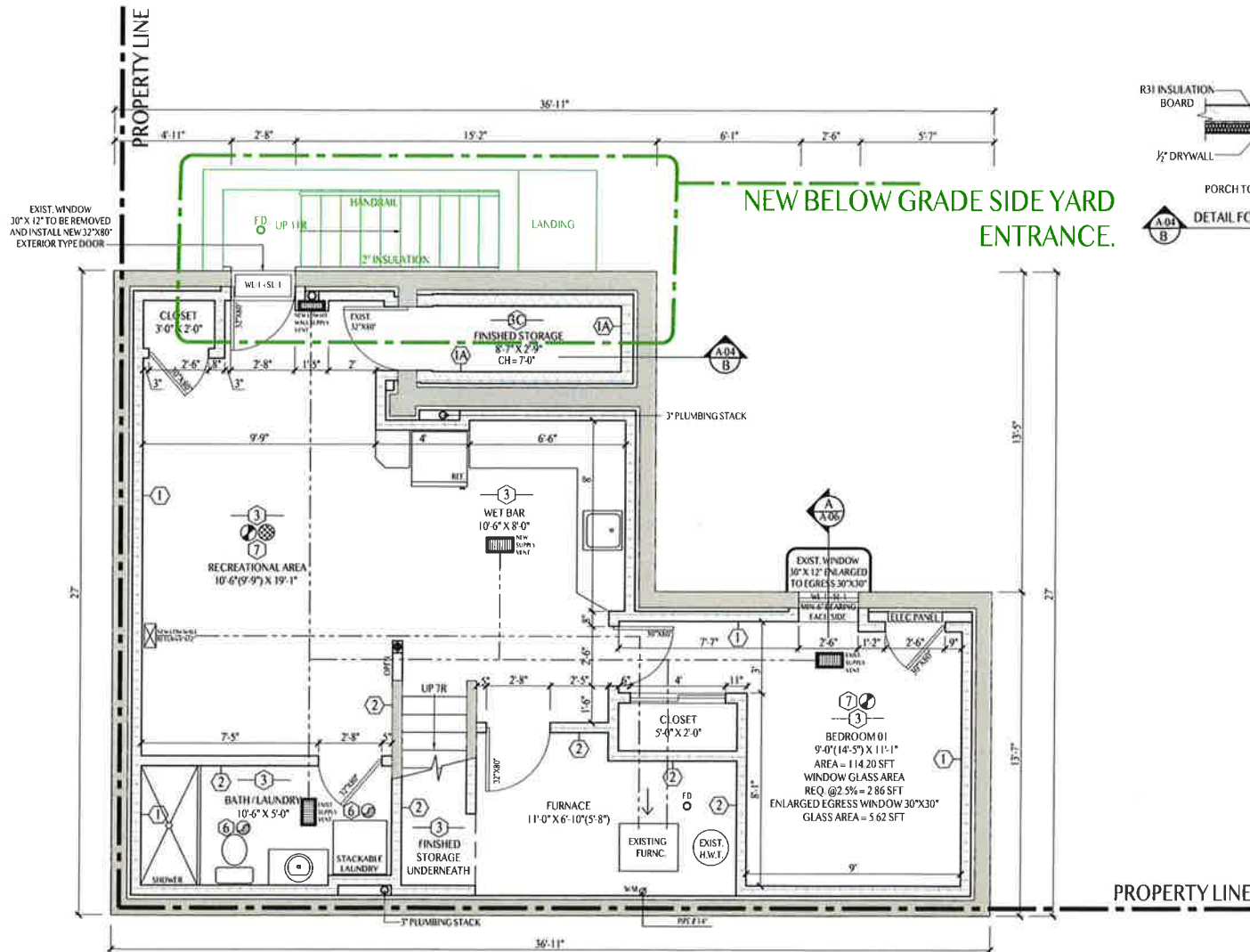
Zoning Officer

Date

DATE RECEIVED

February 28, 2023

Revised 2019/01/06



- LEGEND:
- EXISTING WALLS
 - NEW WALLS
 - FIRE RATED WALLS REFER TO G-01 FOR DETAILS
 - EXISTING TO BE REMOVED
 - EXISTING COLUMNS

PROPOSED - BASEMENT PLAN

GROSS FLOOR AREA CALCULATIONS

A- BASEMENT FINISHED AREA GFA = 628.74 SFT / 58.43 M²
B- BASEMENT UNFINISHED AREA GFA = 00.00 SFT / 00.00 M²
TOTAL BASEMENT GFA = 628.74 SFT / 58.43 M²
CEILING HEIGHT = 7'-8"

PLEASE SEE DRAWING NO. G-01 FOR GENERAL NOTES AND SCHEDULES

INTERCONNECTED AND WIRED SMOKE ALARMS AT EACH FLOOR AND EACH UNIT INCLUDING FINISHED BASEMENT AND LEGAL BASEMENT - AS PER OBC 9.10.19.

GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGNER SHALL BE CONSULTED FOR CLARIFICATION. IF THE SCALED DIMENSIONS AND GENERAL NOTES ARE DIFFERENT THAN SHOWN IN THE DRAWINGS, THE DIMENSIONS SHOWN IN THE DRAWINGS SHALL TAKE PRECEDENCE.

No.	Date	Revision/Issued
00	2023/01/05	Schematic Design
01	2023/02/23	AD Application

Consultants
SHAFI
BUILDING FOR FUTURE
Permit Drawings | Construction |
Project Management |
Developments
126 Burnhamthorpe Rd. East
Unit A | Oakville | ON | L6H 0X9
m: 647.471.7441
e: info@shafinc.com
www.shafinc.com

Seal

Project Title:
FINISHED BASEMENT
Project Address:
04 Rain Lily Ln,
Brampton
Drawing title:
PROPOSED BASEMENT PLAN
Project:
22-240
Scale:
3/16" = 1'-0"
Drawn
AK
Checked
YK
Drawing number
A-04
Date Modified
FEB 25, 2023

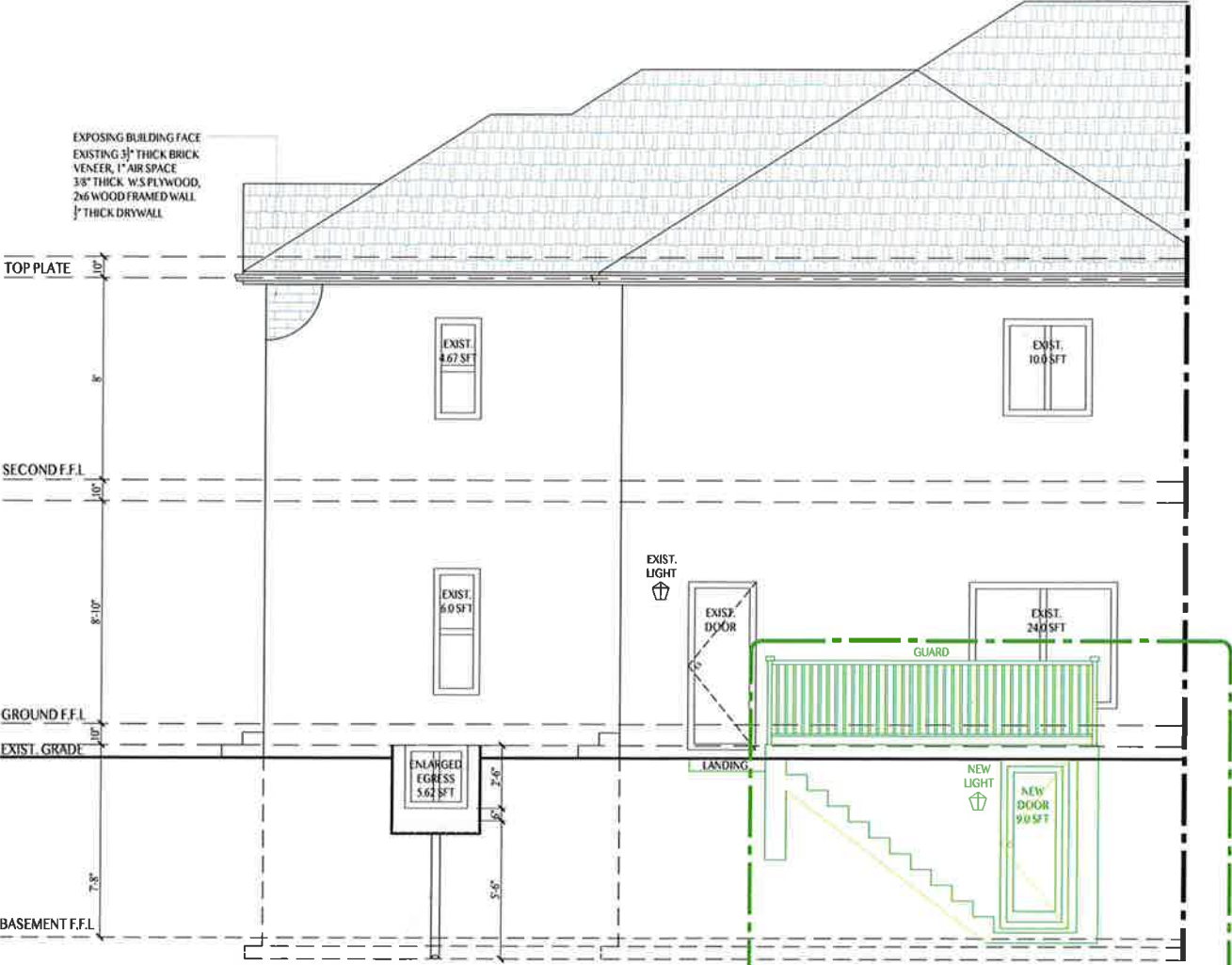
GLAZED OPENINGS:

WALL AREA: = 686.49 SFT / 63.80 M²

LIMITING DISTANCE: 2.58 M

WINDOW AREA PROVIDED: 59.29 SFT / 5.51 M² (8.64%)

WINDOW AREA ALLOWED: 14%



NORTH ELEVATION

PROPERTY LINE

NEW BELOW GRADE SIDE YARD ENTRANCE.

GENERAL NOTES:

- 1. THE DRAWING REMAINS THE PROPERTY OF SHAFTE INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THE DRAWING. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF SHAFTE INC.
- 2. THE DRAWING SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND CONDITIONS OF THE CONTRACT. THE DRAWING SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND CONDITIONS OF THE CONTRACT. THE DRAWING SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND CONDITIONS OF THE CONTRACT.
- 3. THE DRAWING SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND CONDITIONS OF THE CONTRACT. THE DRAWING SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND CONDITIONS OF THE CONTRACT. THE DRAWING SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND CONDITIONS OF THE CONTRACT.

No	Date	Revision/Issued
00	2021.01.01	Schematic Design
01	2021.02.25	As-Built Application

Consultants
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Project Management |
Developments
126 Burnhamthorpe Rd. East |
Unit A | Oakville | ON | L6H 0X9
m: 647.471.7441
e: info@shafteinc.com
www.shafteinc.com

Scale

Project Title:
**FINISHED
BASEMENT**

Project Address:
04 Rain Lily Ln,
Brampton

Drawing title:
**NORTH
ELEVATION**

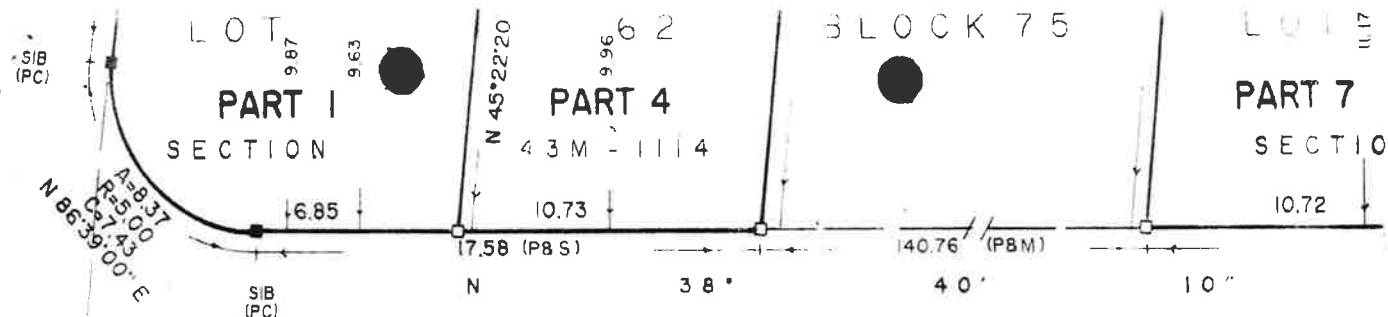
Project:
22-240

Scale:
3/16" = 1'-0"

Drawn AK	Checked YK
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Drawing number:
A-05

Date Modified:
FEB 25, 2023



BISON RUN ROAD
 (DEDICATED BY REGISTERED PLAN 43M-1114)
 PARCEL STREETS AND STREET WIDENING - I SECTION



RAIN LILY LANE
 (DEDICATED BY REGISTERED PLAN 43M-1114)
 PARCEL STREETS AND STREET WIDENING - I SECTION 43M-111

**DOCUMENTS RELEASED PURSUANT TO A REQUEST
 UNDER THE
 MUNICIPAL FREEDOM OF INFORMATION AND
 PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56**

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SURVEYOR'S COPY

PLAN 43R-20429

I REQUIRE THIS PLAN TO BE
DEPOSITED UNDER THE
LAND TITLES ACT.

DATE JUNE 15, 1994

David Black

DAVID A. BLACK
ONTARIO LAND SURVEYOR

RECEIVED AND DEPOSITED

DATE JUNE 15, 1994

Mark C. Myer
LAND REGISTRAR FOR THE
LAND TITLES DIVISION OF
PEEL (N° 43)

PARTS 1,2,3,4,25 AND 26 - ALL OF PARCEL 62 - I SECTION 43M - III4
PARTS 5,6,7,8,27 AND 28 - ALL OF PARCEL 63 - I SECTION 43M - III4
PARTS 9,10,11,12,29 AND 30 - ALL OF PARCEL 64 - I SECTION 43M - III4
PARTS 13,14,15,16,31 AND 32 - ALL OF PARCEL 65 - I SECTION 43M - III4
PARTS 17,18,19,20,33 AND 34 - ALL OF PARCEL 73 - I SECTION 43M - III4
PARTS 21,22,23,24,35 AND 36 - ALL OF PARCEL 74 - I SECTION 43M - III4

DESCENT

43M - III4)

SECTION 43M - III4

65-92

PLAN OF SURVEY OF
LOTS 62,63,64,65,73 AND 74
REGISTERED PLAN 43M - III4
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1 : 250
5m 0 5 10 15m

J. D. BARNES LIMITED
1994

DOCUMENTS RELEASED PURSUANT TO A REQUEST
UNDER THE
MUNICIPAL FREEDOM OF INFORMATION AND
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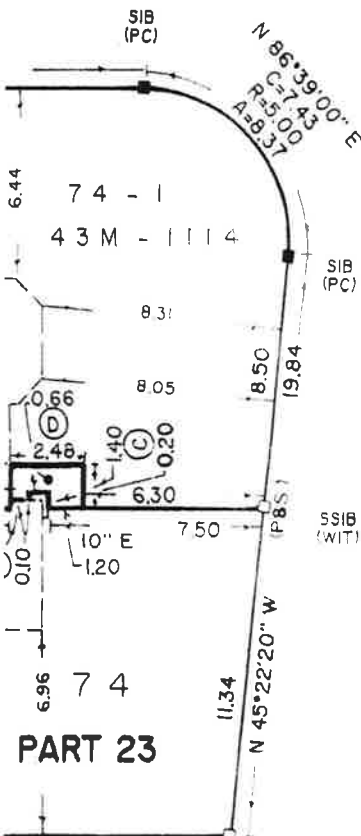
METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

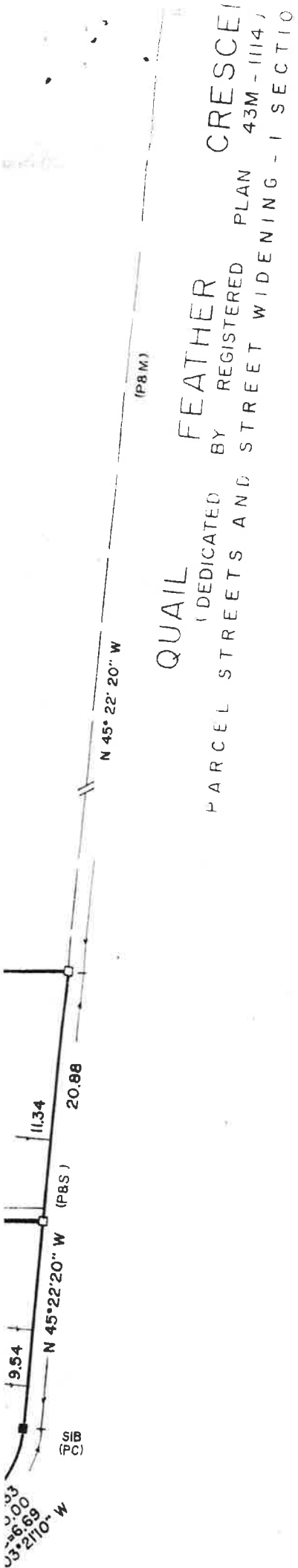
NOTES:

BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE
NORTHEASTERLY LIMIT OF POPPY BLOOM AVENUE AS SHOWN ON
REGISTERED PLAN 43M - III4, HAVING A BEARING OF N 45° 22' 20" W.

■ DENOTES SURVEY MONUMENT FOUND
□ DENOTES SURVEY MONUMENT PLANTED
SIB DENOTES STANDARD IRON BAR
3B DENOTES IRON BAR
SSIB DENOTES SHORT STANDARD IRON BAR
WIT DENOTES WITNESS
PC DENOTES POINT OF CURVATURE
DUC DENOTES DWELLING UNDER CONSTRUCTION
F DENOTES FOUNDATION WALL
C DENOTES CENTRELINE OF FOUNDATION WALL



FEATHER
REGISTERED PLAN 43M - III4)
STREET WIDENING - I SECTION 43M - III4



BEARINGS HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE
EASTHEASTERLY LIMIT OF POPPY BLOOM AS SHOWN ON
REGISTERED PLAN 43M - 1114, HAVING A BEARING OF N 45° 22' 20\"/>

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- SIB DENOTES STANDARD IRON BAR
- SB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- WIT DENOTES WITNESS
- PC DENOTES POINT OF CURVATURE
- DUC DENOTES DWELLING UNDER CONSTRUCTION
- F DENOTES FACE OF FOUNDATION WALL
- C DENOTES CENTRELINE OF FOUNDATION WALL
- CFW DENOTES CONCRETE FOUNDATION WALL
- PBS DENOTES REGISTERED PLAN 43M - 1114 AND SET
- PBM DENOTES REGISTERED PLAN 43M - 1114 AND MEASURED
- DENOTES BEARING

PLANTED MONUMENTS ARE IRON BARS UNLESS SHOWN OTHERWISE.
FOUND MONUMENTS SET BY MARSHALL MACKLIN MONAGHAN ONTARIO LIMITED
UNLESS SHOWN OTHERWISE.

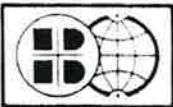
CAUTION THIS PLAN IS NOT A PLAN OF SUBDIVISION WITHIN
THE MEANING OF THE PLANNING ACT.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS
ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE THEREUNDER.
 2. THE SURVEY WAS COMPLETED ON THE 20th DAY OF MAY, 1994.

DATE JUNE 13, 1994

David A. Black
DAVID A. BLACK
ONTARIO LAND SURVEYOR



J.D. BARNES
LIMITED

SURVEYING MAPPING
LAND INFORMATION SERVICES

OFFICE OF ORIGIN
450 BRITANNIA ROAD EAST, SUITE 450B
MISSISSAUGA, ONTARIO L4Z 1X9
TELEPHONE (905) 507 - 6767
FAX (905) 507-6977

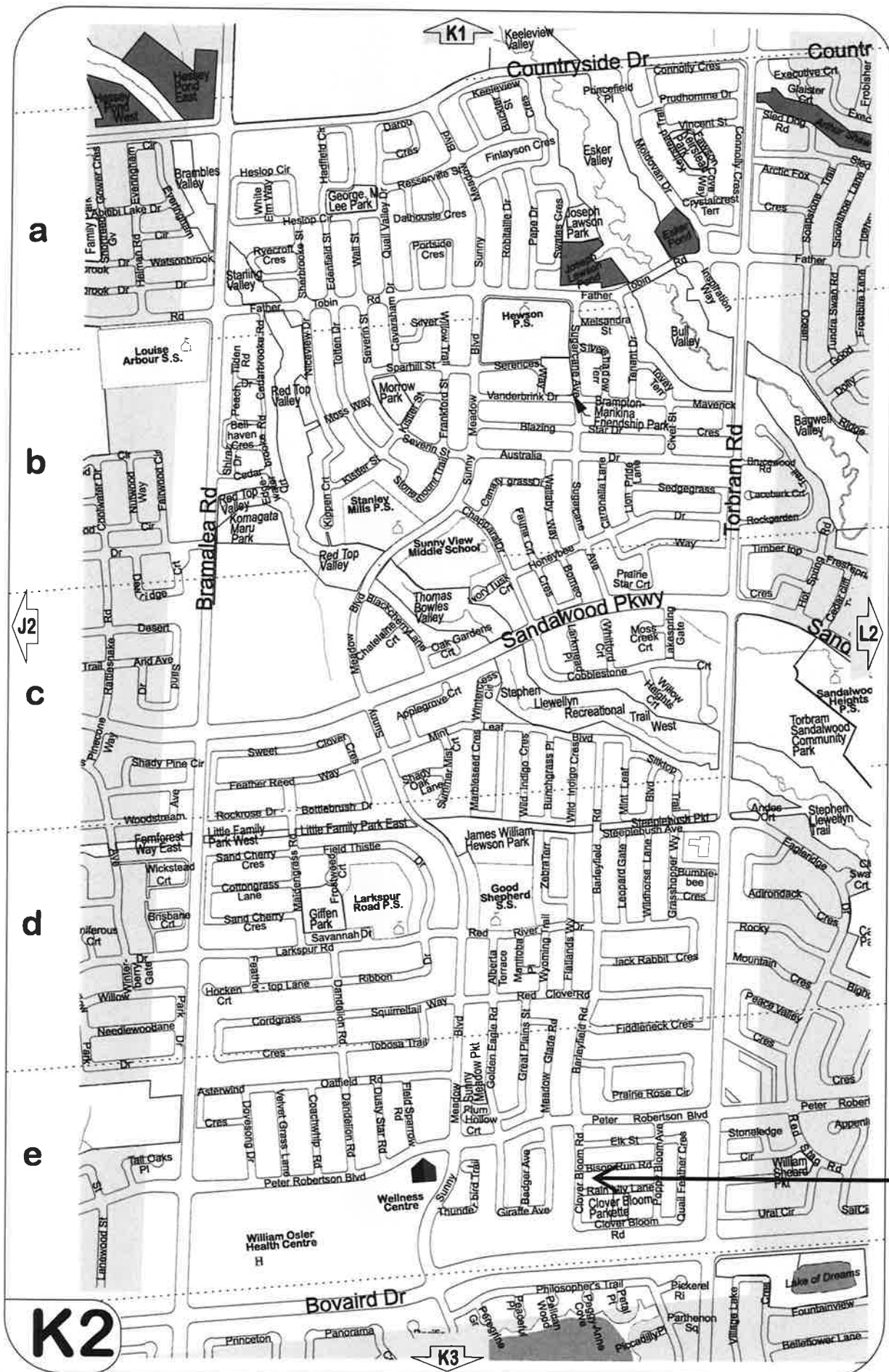
DRAWN BY WJ

CHECKED BY DB

REFERENCE NO.:
94-28-986-00-A

**DOCUMENTS RELEASED PURSUANT TO A REQUEST
UNDER THE
MUNICIPAL FREEDOM OF INFORMATION AND
PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56**

**COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
USE AND REPRODUCTION OF THESE DOCUMENTS**



A-2023-0051

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **ABHISHEK SINGH TANWAR AND MANISHA TANWAR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**:

AND WHEREAS the property involved in this application is described as Part of Block G, Plan M-95, Parts 53, 53A and 53B, Plan 43R-3631 municipally known as **24 GRAND RIVER COURT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To vary Schedule 'C', Section 128 of the by-law to permit a carport located outside the approved building envelope whereas the by-law requires that all buildings be constructed in accordance with Schedule 'C', Section 128 to the by-law;
2. To permit an existing accessory structure (shed) having a setback of 0.54m (1.78 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest lot lines for an accessory structure.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO

File Number: _____

Application for Consent: NO

File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING. OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

March 15, 2023

To: Committee of Adjustment
ABHISHEK SINGH TANWAR AND MANISHA TANWAR
PART OF BLOCK G, PLAN M-95
PARTS 53, 53A & 53B, PLAN 43R-3631
A-2023-0056 – 24 GRAND RIVER COURT

Please **amend** application **A-2023-0056** to reflect the following:

1. To vary Schedule 'C', Section 128 of the by-law to permit a carport located outside the approved building envelope whereas the by-law requires that all buildings be constructed in accordance with Schedule 'C', Section 128 to the by-law;
2. To permit an existing accessory structure (shed) having a setback of 0.54m (1.78 ft.) whereas the by-law requires a minimum setback of 0.6m (1.97 ft.) to the nearest lot lines for an accessory structure.

Shivang Tarika

Applicant/Authorized Agent



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0056

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Abhishek Singh Tanwar, Manisha Tanwar
Address 24 Grand River Ct. Brampton. ON. L6S 2J8

Phone # +1 (416) 575-3536 **Fax #** _____
Email Abhishektanwar12@gmail.com

2. **Name of Agent** Pardeep Gogna
Address 106 Morningside Dr. Georgetown. ON L7G0M2

Phone # 416-821-2630 **Fax #** _____
Email shivang@relysolution.com

3. **Nature and extent of relief applied for (variances requested):**
1) To Proposed a carport to encroach a maximum of 3.35m into the required side yard resulting in a side yard setback of 0.26m.
2) Proposing 3 accessory structures as permitted is 2 structures.
3) Proposing a accessory structure which have a set back of 0.54 m.

4. **Why is it not possible to comply with the provisions of the by-law?**
The owner of the property needs a bigger area for car parking and the owner would like to ask for variance for the carport structure at the side yard.

5. **Legal Description of the subject land:**
Lot Number PART 53
Plan Number/Concession Number M95
Municipal Address 24 Grand River Ct, Brampton, ON, L6S 2J8

6. **Dimension of subject land (in metric units)**
Frontage 11.87m
Depth 25.12 m
Area 298.17

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing Main Dwelling = 354.71 sqm Height= 4m 2) Deck = 11.89 Sqm. Height = 0.30 m
3) Shed = 11.14 sqm, Height = 2.74m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Proposed Carport = 18.55 sqm height = 2.83m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	6.13m
Rear yard setback	10.47m
Side yard setback	0.0 m
Side yard setback	3.61 m

PROPOSED

Front yard setback	6.13m
Rear yard setback	10.47m
Side yard setback	0.0 m
Side yard setback	0.26m

10. Date of Acquisition of subject land: 2018
11. Existing uses of subject property: Single dwelling unit
12. Proposed uses of subject property: Single dwelling unit
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1989
15. Length of time the existing uses of the subject property have been continued: 33 years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Shisang Brika
Signature of Applicant(s) or Authorized Agent

DATED AT THE City of Town OF Brampton Halton Hills

THIS 28th DAY OF February, 2022-23

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Avinder Singh Shisang Brika OF THE City of Town OF Brampton Halton Hills

IN THE Region OF Peel Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City of Brampton
IN THE Region OF
Peel THIS 28th DAY OF
Feb., 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024

Shisang Brika
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R3A(4)-128

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Tallayra
Zoning Officer

Nov 15, 2022

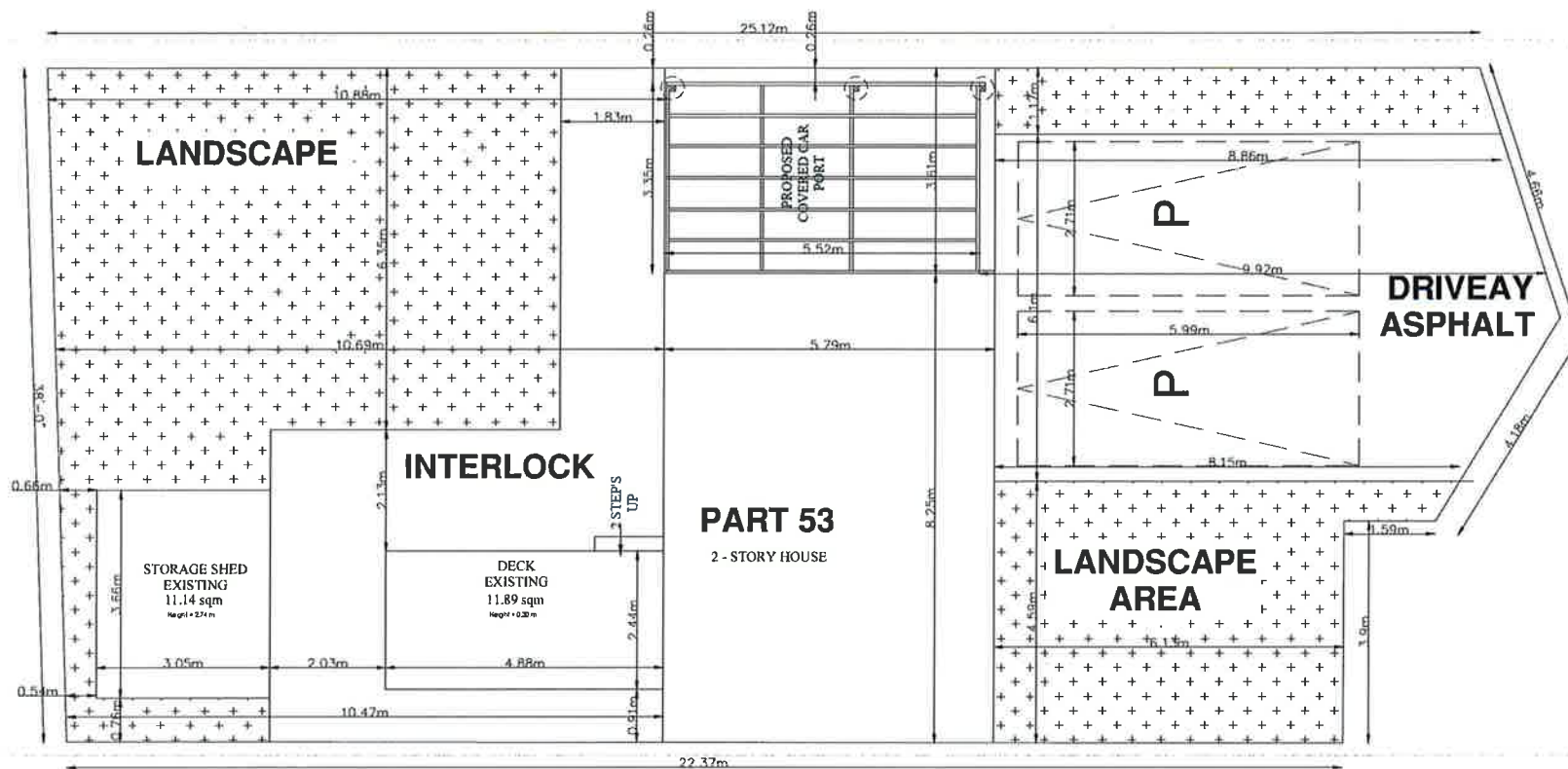
Date

DATE RECEIVED

Feb. 23, 2023

Date Application Deemed
Complete by the Municipality

Revised 2020/01/07



PROPOSED SITE PLAN SCALE 3/32"=1'-0"



24 GRAND RIVER CT

GENERAL NOTES		
DO NOT SCALE DRAWINGS PROPERTY RIGHTS RETAINED BY: BG CONSTRUCTION DESIGN ANY REPRODUCTION IN WHOLE OR IN PART UNDER THE RULES AND BY-LAWS OF THE CORPORATION IS STRICTLY FORBIDDEN. ANY REPRODUCTIONS MUST BE		
ALL DRAWINGS ARE IN METRIC SCALE		
SCOPE OF WORK		
PROPOSAL TO CONSTRUCT A COVERED CAR PORT		
THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.		
QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIV. C-3.2.5.1 OF THE BUILDING CODE		
SHIVANG TARIKA NAME	106440 SIGNATURE	BCIN
SHIVANG TARIKA		
NO	REVISION / ISSUE	DATE
PROPOSED SITE PLAN		
CITY : BRAMPTON		
24 GRAND RIVER CT		
EXISTING DWELLING		
PROJECT	SHEET	
SEP 2022	A3	
SCALE 3/32"=1'-0"		



a

b

c

d

e

A-2023-0056

K3

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **WAHEGURU EMPIRE INC.** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Block O, Plan M-286, Parts 1, 2, Plan 43R-22070 municipally known as **2 LOWRY DRIVE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit a place of commercial recreation (basketball/badminton courts) as a permitted use whereas the by-law does not permit a place of commercial recreation.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

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How to get involved in the Hybrid Hearing**

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 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

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<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

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For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0065

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Waheguru Empire Inc
Address 2 Lowry Drive, Brampton, ON L7A 1C4

Phone # 416-457-8571 **Fax #** 647-946-2171
Email waheguruempireinc@gmail.com

2. **Name of Agent** N/A
Address _____

Phone # _____ **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**
To allow recreation facility (basketball courts) in the existing warehouse space of 1315 SM

4. **Why is it not possible to comply with the provisions of the by-law?**
Existing Zoning list M4(a) does not have this use listed.

5. **Legal Description of the subject land:**
Lot Number PL M286 PT BLK O RP 43R13684 PARTS 1,2 RP 43R22070 1,2
Plan Number/Concession Number _____
Municipal Address 2 Lowry Drive, Brampton Ontario L7A 1C4

6. **Dimension of subject land (in metric units)**
Frontage 51.49 M
Depth 34.54 M
Area 1315 SM

7. **Access to the subject land is by:**
Provincial Highway ☐ **Seasonal Road** ☐
Municipal Road Maintained All Year ☒ **Other Public Road** ☐
Private Right-of-Way ☐ **Water** ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Brick and Steel Warehouse building.
Single story
Area= 1315 SM

PROPOSED BUILDINGS/STRUCTURES on the subject land:

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	N/A
Rear yard setback	N/A
Side yard setback	N/A
Side yard setback	N/A

PROPOSED

Front yard setback	N/A
Rear yard setback	N/A
Side yard setback	N/A
Side yard setback	N/A

10. Date of Acquisition of subject land: DEC 13th 2022
11. Existing uses of subject property: Warehouse
12. Proposed uses of subject property: Basketball Court for youth
13. Existing uses of abutting properties: Warehouse
14. Date of construction of all buildings & structures on subject land: 1988
15. Length of time the existing uses of the subject property have been continued: 34 Years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Balbirsingh

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF _____ OF MISSISSAUGA

THIS 28TH DAY OF FEBRUARY, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, BALBIR BHARWALIA, OF THE CITY OF _____ OF MISSISSAUGA

IN THE PROVINCE OF ONTARIO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF MISSISSAUGA

IN THE REGIONAL MUNICIPALITY OF

PEEL THIS 28TH DAY OF

FEBRUARY, 2023.

[Signature]
A Commissioner etc.

Balbirsingh

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

M4A - 186

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

HOTHIS.

Zoning Officer

MAR 02 2023

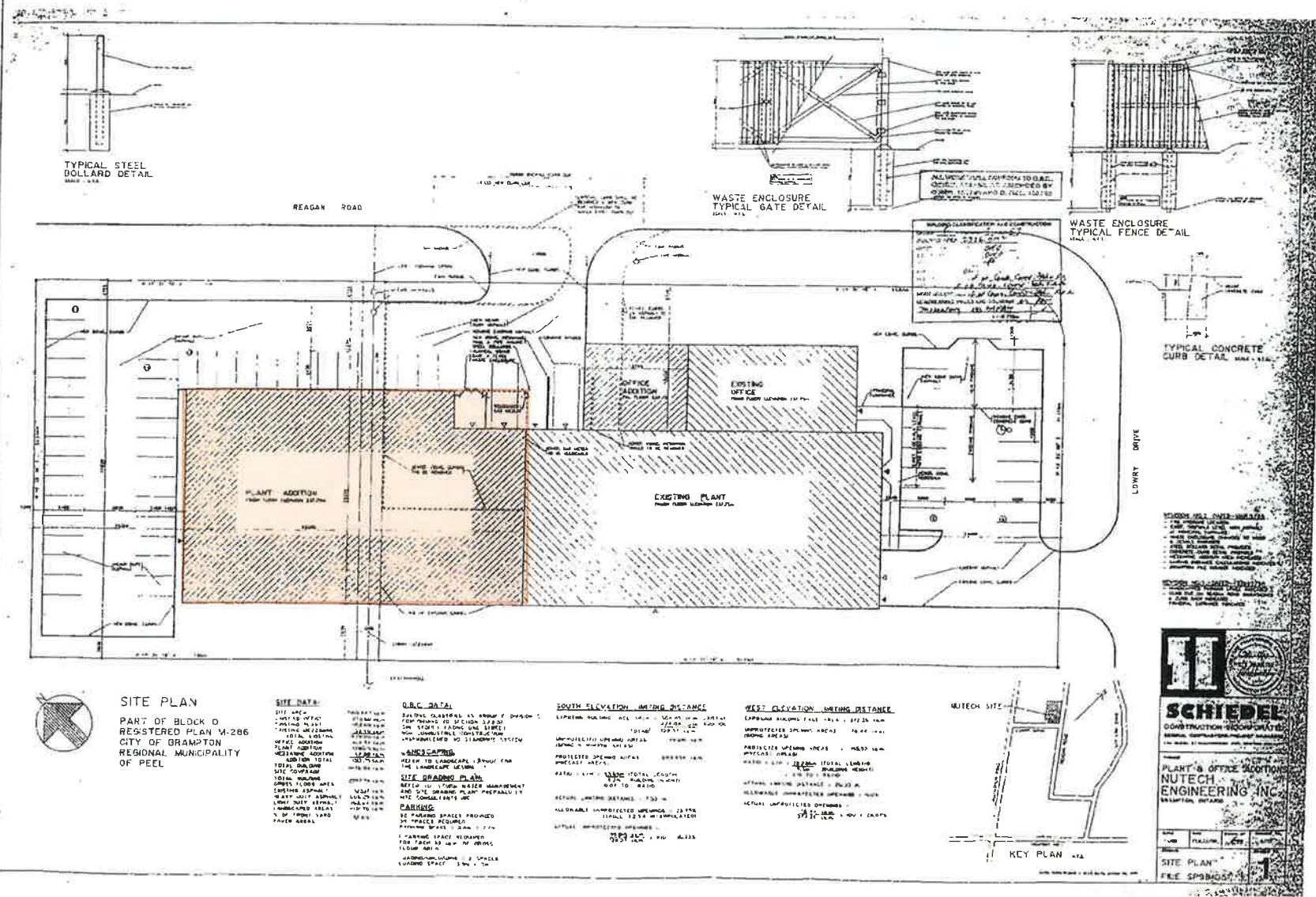
Date

DATE RECEIVED

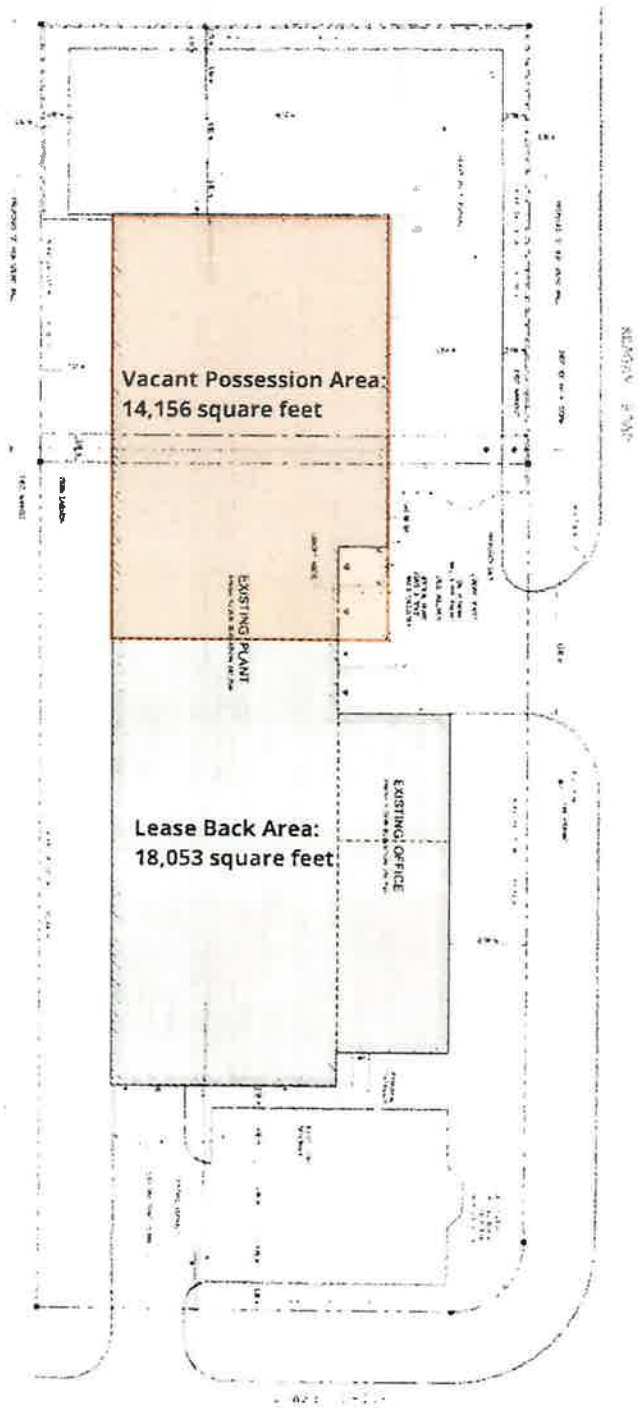
March 9, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17



Schedule C – Lease-Back Premises



152' 8"
50' 0"
143' 4"
51' 5"
35' 4"
97' 2"
300' 0"
85' 0"

Exact Square Footage To Be Confirmed and Agreed Upon In The Lease.

BB DS
BK

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an amended application for minor variance has been made by **OM JAKHU AND CHANDER KANTA JAKHU** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 156, Plan M-740 municipally known as **18 SCARLETT DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a driveway width of 9.18m (30 ft) whereas the by-law permits a maximum driveway width of 7.32m (24 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, June 20, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

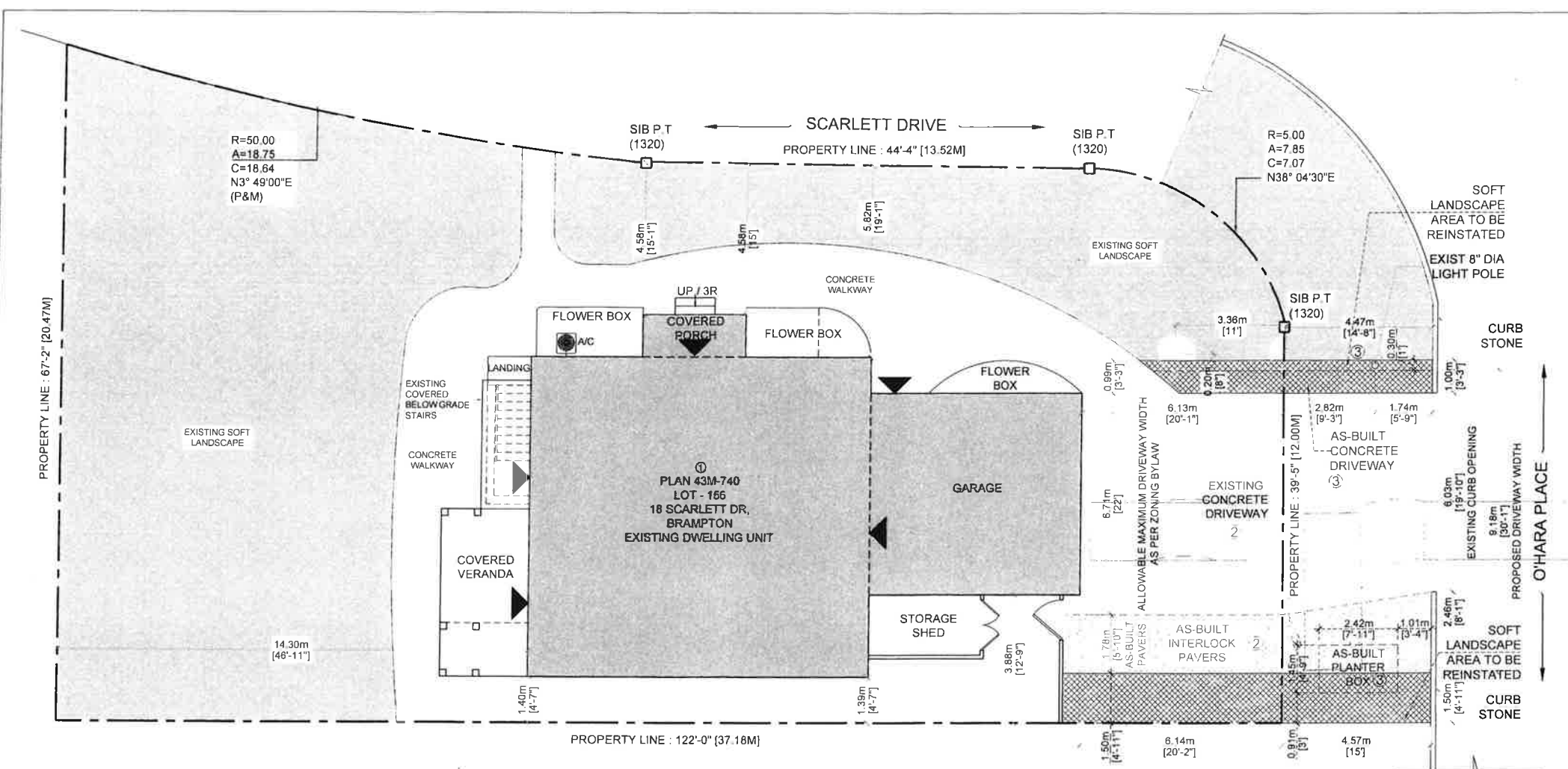
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 8th Day of June, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



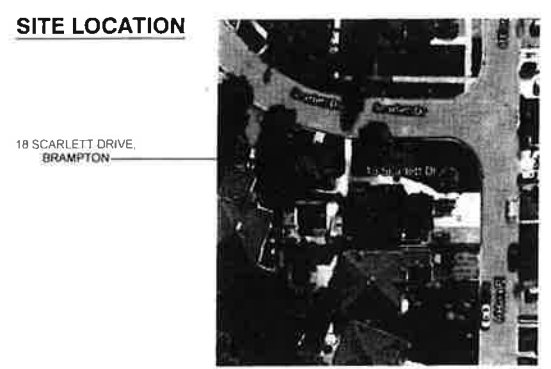
1 SITE PLAN - EXISTING
A-001 SCALE : 3/32" = 1'-0"

- LEGEND**
- PROPERTY LINE
 - ENTRANCE & EGRESS

PARKING SPACES PROVIDED

FOUR PARKING SPACES PROVIDED
(TWO OUTSIDE & TWO INSIDE THE GARAGE)

- SCOPE OF WORK**
- 1 EXISTING TWO UNIT DWELLING
 - 2 PROPOSED DRIVEWAY WIDENING / ALTERATIONS
 - 3 PROPOSED DEMOLITION / REMOVAL OF AS-BUILT CONDITION



RELEASED FOR BUILDING PERMIT

CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT'S BEFORE CONSTRUCTION.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF WORK.

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NO.	DATE	REVISION / ISSUED
01	2023-10-07	SCHEMATIC / PERMIT
02	2023-10-07	PERMIT APPLICATION

OWNER

OM JAKHU

ARCHITECT

C-Architecture Ltd

10368 WINSTON CHURCHILL BLVD,
HALTON HILLS ON L7G 4S7
c: 647.741.5917, e: info@c-archi.com
SEAL



ALTERATIONS (DRIVEWAY)

18 SCARLETT DR,
BRAMPTON

SITE PLAN - EXISTING

SCALE: 3/32" = 1'-0"

DATE: 2022.10.06

PROJECT: 22-126

DRAWING NO:

A-001

REVISION: 00

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **June 20, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, June 15, 2023**.

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023**.
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, June 15, 2023**.
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm Thursday, June 15, 2023**. City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

June 8, 2023

To: Committee of Adjustment
OM JAKHU AND CHANDER KANTA JAKHU
LOT 156, PLAN M-740
A-2023-0113 – 18 SCARLETT DRIVE

Please **amend** application **A-2023-0113** to reflect the following:

1. To permit a driveway width of 9.18m (30 ft) whereas the by-law permits a maximum driveway width of 7.32m (24 ft).



Applicant/Authorized Agent

RELEASED FOR BUILDING PERMIT
CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT BEFORE CONSTRUCTION.
ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANT AND MUST BE REPRODUCED BY THE CONTRACTOR OF WORK.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT IF THE CONTRACTOR OF THIS DRAWING IS NOT 1/4" = 1' IT IS A REDUCED / ENLARGED PLAN. READ DRAWING ACCORDINGLY.

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NO.	DATE	REVISION / ISSUED
01	2022.10.07	SCHEMATIC LAYOUT
02	2022.10.08	PERMIT APPLICATION

OWNER
OM JAKHU
ARCHITECT

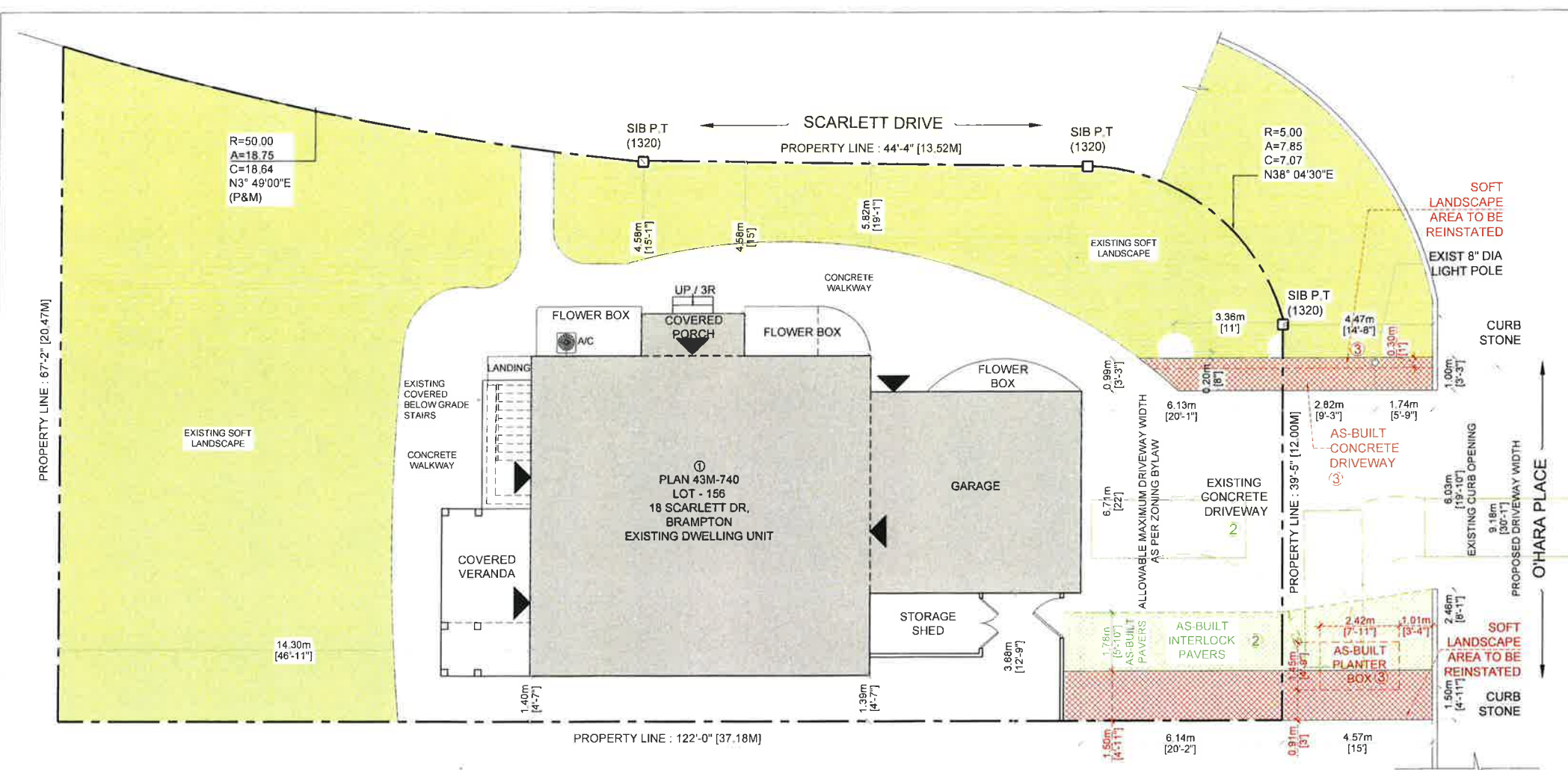
C-Architecture Ltd
10388 WINSTON CHURCHILL BLVD,
HALTON HILLS ON L7G 4S7
c: 647.741.5917, e: info@c-archi.com
SEAL



ALTERATIONS
(DRIVEWAY)
18 SCARLETT DR,
BRAMPTON

SITE PLAN -
EXISTING
SCALE: 3/32" = 1'-0"
DATE: 2022.10.06
PROJECT: 22-126
DRAWING NO:

A-001
REVISION: 00



1 SITE PLAN - EXISTING
A-001
SCALE : 3/32" = 1'-0"

- LEGEND
- PROPERTY LINE
 - ENTRANCE & EGRESS

PARKING SPACES
PROVIDED
FOUR PARKING SPACES PROVIDED
(TWO OUTSIDE & TWO INSIDE THE
GARAGE)

- SCOPE OF WORK
- 1 EXISTING TWO UNIT DWELLING
 - 2 PROPOSED DRIVEWAY WIDENING / ALTERATIONS
 - 3 PROPOSED DEMOLITION / REMOVAL OF AS-BUILT CONDITION



RELEASED FOR BUILDING PERMIT
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NO.	DATE	REVISION / ISSUED
01	2022-10-07	SCHEMATIC LAYOUT
02	2022-10-08	PERMIT APPLICATION

OWNER
OM JAKHU
ARCHITECT

C-Architecture Ltd
10368 WINSTON CHURCHILL BLVD,
HALTON HILLS ON L7G 4S7
c: 647.741.5917, e: info@c-archi.com
SEAL



ALTERATIONS (DRIVEWAY)

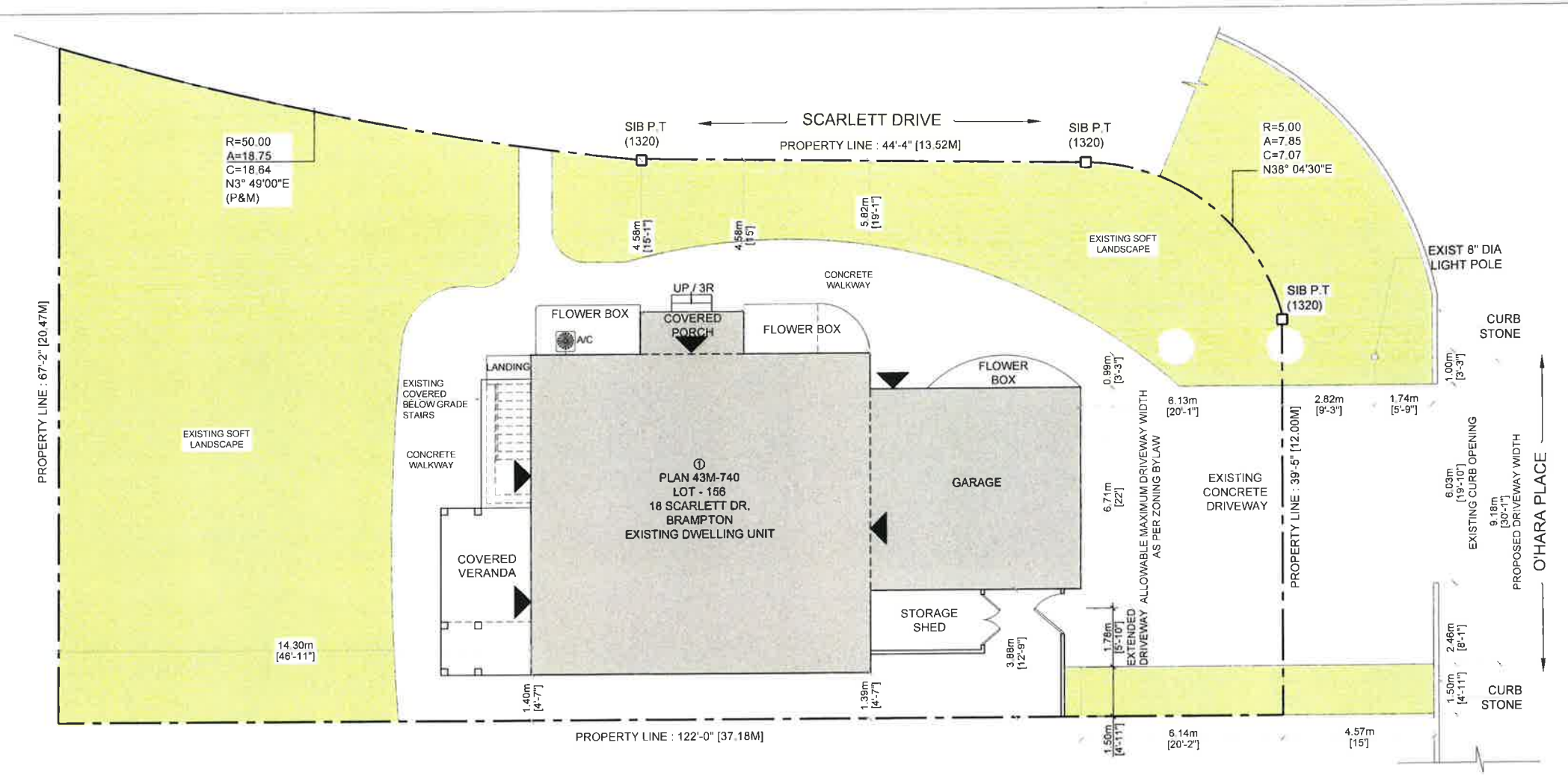
18 SCARLETT DR,
BRAMPTON

SITE PLAN - PROPOSED

SCALE: $\frac{3}{32}" = 1'-0"$
DATE: 2022.10.06
PROJECT: 22-126
DRAWING NO:

A-002

REVISION: 00



1 SITE PLAN - PROPOSED

A-002 SCALE: $\frac{3}{32}" = 1'-0"$

- LEGEND**
- PROPERTY LINE
 - ▲ ENTRANCE & EGRESS

PARKING SPACES PROVIDED

FOUR PARKING SPACES PROVIDED
(TWO OUTSIDE & TWO INSIDE THE GARAGE)

- SCOPE OF WORK**
- ① EXISTING TWO UNIT DWELLING
 - ② SOFT LANDSCAPING AREA

SITE LOCATION

18 SCARLETT DRIVE,
BRAMPTON

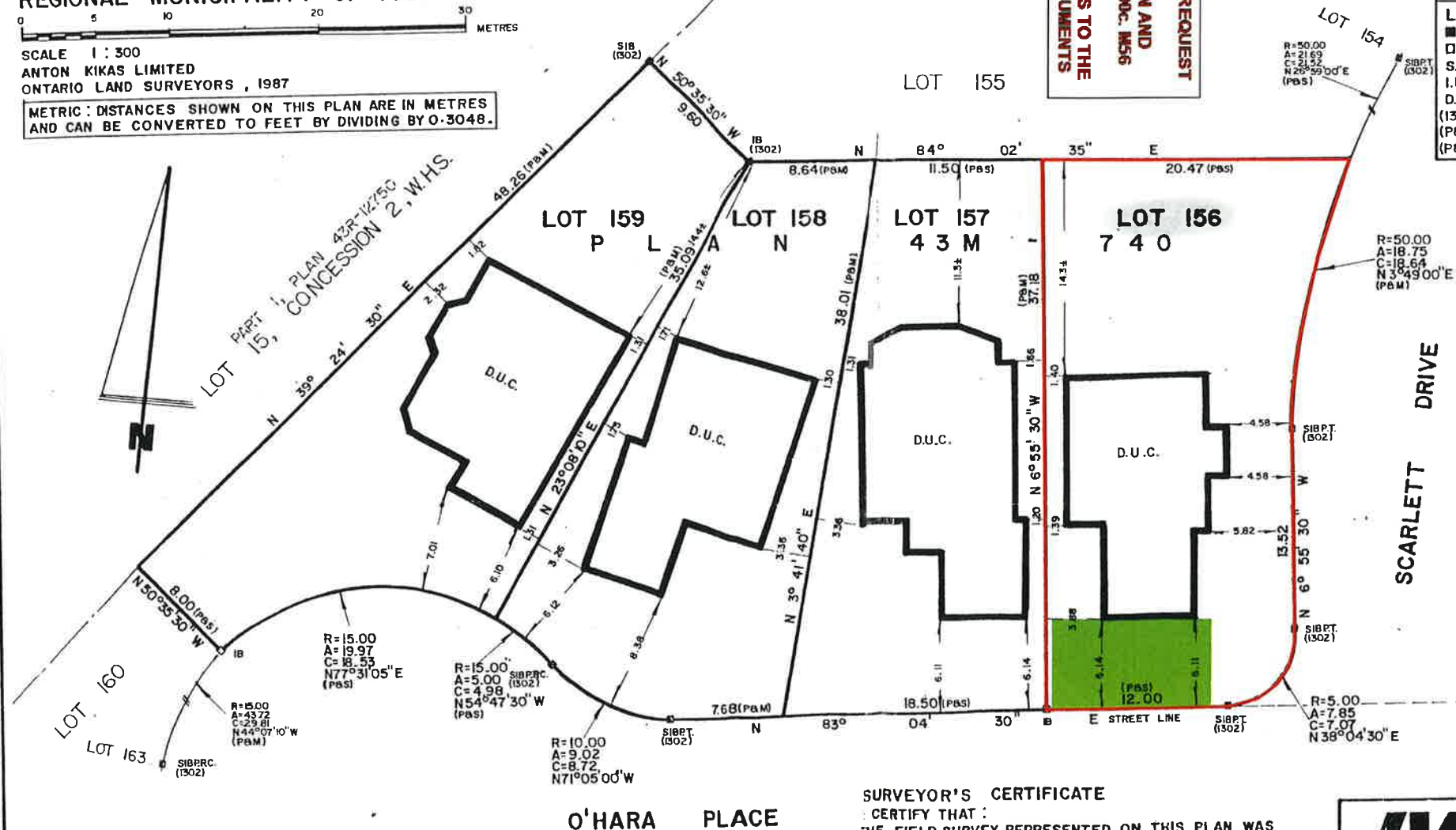


BUILDING LOCATION SURVEY OF
LOTS 156, 157, 158 AND 159
PLAN 43M-740
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

0 5 10 20 30 METRES

SCALE 1 : 300
ANTON KIKAS LIMITED
ONTARIO LAND SURVEYORS, 1987

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



RELEASED PURSUANT TO A REQUEST
UNDER THE
ACCESS TO INFORMATION ACT
AND
THE PRIVACY ACT
R.S.O. 1990, c. 163
SECTION 93(2)
AND
SECTION 27(1)
OF THE PRIVACY ACT
R.S.O. 1990, c. 163
SECTION 93(2)
AND
SECTION 27(1)

NOTES:
BEARINGS ARE ASTRONOMIC AND ARE
REFERRED TO THE NORTHERLY LIMIT
OF O'HARA PLACE AS SHOWN
ON PLAN 43M-740 HAVING A
BEARING OF N 83°04'30" E.

BUILDING TIES SHOWN HEREON ARE TO
CONCRETE FOUNDATION UNLESS NOTED
OTHERWISE.

LEGEND
■ DENOTES SURVEY MONUMENT FOUND
□ DENOTES SURVEY MONUMENT PLANTED
S.I.B. DENOTES STANDARD IRON BAR
I.B. DENOTES IRON BAR
D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
(1302) DENOTES A. SKRANDA O.L.S.
(P.B.S) DENOTES PLAN 43M-740 & SET
(P.B.M) DENOTES PLAN 43M-740 & MEASURED

SURVEYOR'S CERTIFICATE

CERTIFY THAT:
THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS
COMPLETED ON THE 2ND DAY OF JULY, 1987

JULY 7, 1987
DATE

W. JOHN BURG
ONTARIO LAND SURVEYOR

Anton Kikas Limited
Consulting Engineers
Ontario Land Surveyors - Planners
7158 Bridgeland Avenue Toronto M6A 1Z4 Tel. 767-0303
DRAWN BY : J.J.
CHECKED BY : TM/J.B.
JOB N^o 86-188-19

FILE NUMBER: A-2023.0113

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) OM JAKHU / CHANDER KANTA JAKHU

Address 18 SCARLETT DR, BRAMPTON ON L6Y 3R7

Phone # 437 288 9933

Fax #

Email ojakhu@hotmail.com

2. Name of Agent M. ARSHAD SIDDIQUI

Address 10368 WINSTON CHURCHILL BLVD, HALTON HILLS ON L7G 4S7

Phone # 647.741.5917

Fax #

Email arshad@c-archi.com

3. Nature and extent of relief applied for (variances requested):

TO PERMIT A 0.3 METRE WIDE PERMEABLE LANDSCAPE STRIP BETWEEN THE SIDE LOT LINE AND THE DRIVEWAY WHEREAS THE BY-LAW REQUIRES A MINIMUM 0.6 METRE WIDE PERMEABLE LANDSCAPING BETWEEN THE SIDE LOT LINE AND THE DRIVEWAY.

4. Why is it not possible to comply with the provisions of the by-law?

DESIGN OF HARDSCAPE IN THE FRONT YARD IS TO ALLOW FOR THREE-POINT TURNING TO FACE THE ONCOMING TRAFFIC FROM THREE SIDES, AS THE HOUSE IS A CORNER UNIT, TO ENSURE SAFETY FOR DRIVERS / PASSENGERS SAFETY.

5. Legal Description of the subject land:

Lot Number 156

Plan Number/Concession Number 43N-740

Municipal Address 18 SCARLETT DR, BRAMPTON ON L6Y 3R7

6. Dimension of subject land (in metric units)

Frontage 12 M

Depth 37.18 M

Area 693.66 SM

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

MAIN RESIDENTIAL BUILDING : 278.81 SM GFA

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NA

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.13 M

Rear yard setback 14.30 M

Side yard setback 1.39 M

Side yard setback 4.58 M

PROPOSED

Front yard setback 6.13 M

Rear yard setback 14.30 M

Side yard setback 1.39 M

Side yard setback 4.58 M

10. Date of Acquisition of subject land: 2004
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 2004
15. Length of time the existing uses of the subject property have been continued: 18 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒
Well ☐ Other (specify) NA
- (b) What sewage disposal is/will be provided?
Municipal ☒
Septic ☐ Other (specify) NA
- (c) What storm drainage system is existing/proposed?
Sewers ☒
Ditches ☐
Swales ☐ Other (specify) NA

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # NA Status NA

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>
File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>
File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>

M. Arshad Siddiqui
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 26 DAY OF APRIL, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, M. ARSHAD SIDDIQUI, OF THE TOWN OF HALTON HILLS

IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON

IN THE REGION OF

PEEL THIS 26 DAY OF

JANUARY April, 2023.

Jm.
Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

M. Arshad Siddiqui
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1C-2608

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature]
Zoning Officer

January 23, 23

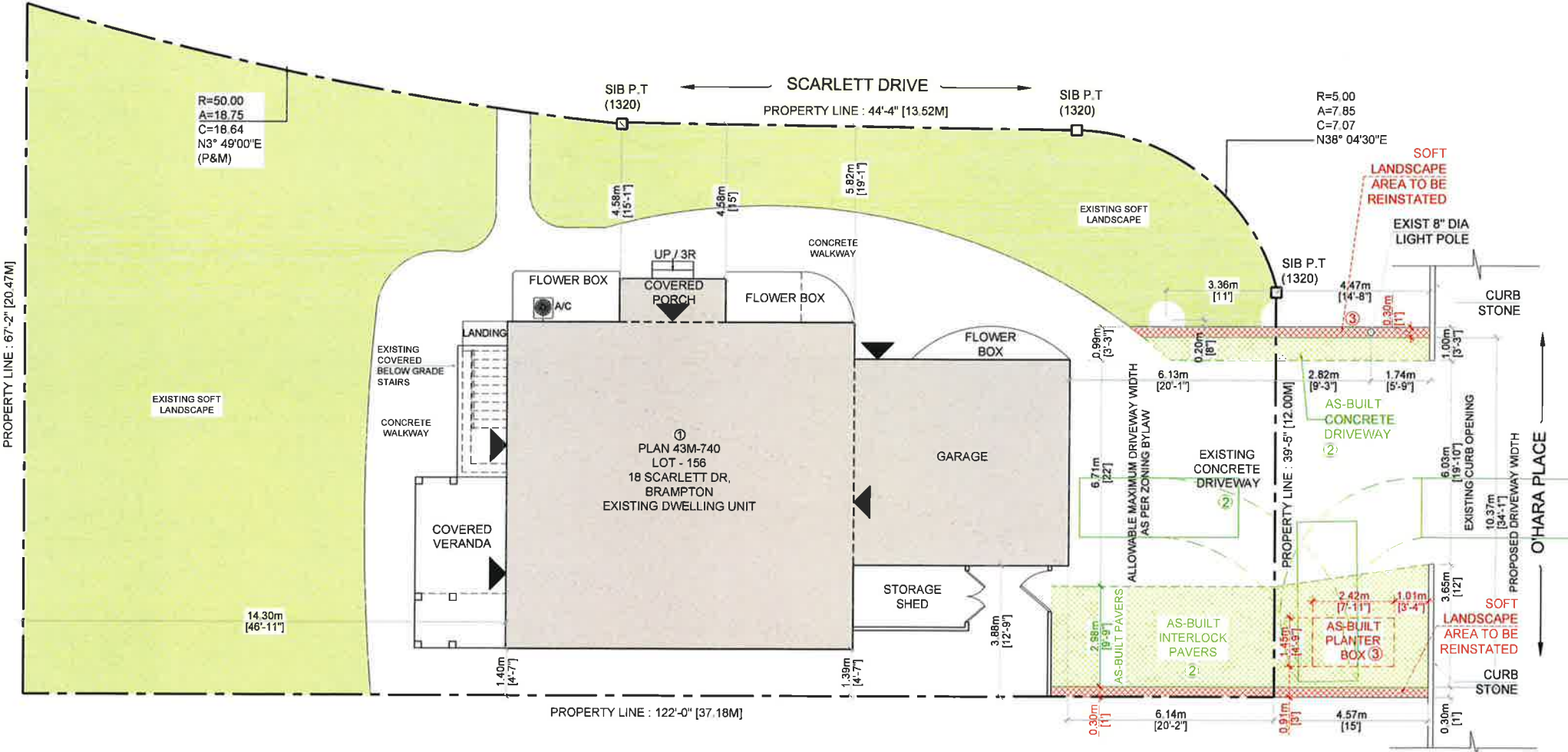
Date

DATE RECEIVED

April 26, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17



1 SITE PLAN
A-001 SCALE : 3/32" = 1'-0"

- LEGEND**
- PROPERTY LINE
 - ENTRANCE & EGRESS

PARKING SPACES PROVIDED

FOUR PARKING SPACES PROVIDED
(TWO OUTSIDE & TWO INSIDE THE GARAGE)

- SCOPE OF WORK**
- ① EXISTING TWO UNIT DWELLING
 - ② PROPOSED DRIVEWAY WIDENING / ALTERATIONS
 - ③ PROPOSED DEMOLITION / REMOVAL OF AS-BUILT CONDITION

SITE LOCATION

18 SCARLETT DRIVE,
BRAMPTON



RELEASED FOR BUILDING PERMIT

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NO	DATE	REVISION / ISSUED
01	2022.10.07	PERMITS LAYOUT
02	2022.10.06	PERMIT APPLICATION

OWNER

OM JAKHU

ARCHITECT

C-Architecture Ltd

10366 WINSTON CHURCHILL BLVD,
HALTON HILLS ON L7G 4S7
c: 647.741.5917, e: info@c-archi.com

SEAL



ALTERATIONS (DRIVEWAY)

18 SCARLETT DR,
BRAMPTON

SITE PLAN

SCALE: 3/32" = 1'-0"

DATE: 2022.10.06

PROJECT: 22-126

DRAWING NO:

A-001

REVISION: 00

**BUILDING LOCATION SURVEY OF
LOTS 156, 157, 158 AND 159
PLAN 43M-740
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL**



SCALE 1 : 300
ANTON KIKAS LIMITED
ONTARIO LAND SURVEYORS, 1987

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



LOT 15, PART 1, PLAN 43M-12750
CONCESSION 2, W.H.S.

LOT 160
LOT 163

N 50° 35' 30" W
8.00 (pas)

R=15.00
A=9.97
C=18.53
N 77° 31' 05" E
(pas)

R=5.00
A=43.72
C=29.81
N 44° 07' 10" W
(pam)

SIBPT.
(1302)

R=15.00
A=5.00
C=4.98
N 54° 47' 30" W
(pas)

R=10.00
A=9.02
C=8.72
N 71° 05' 00" W

O'HARA PLACE

LOT 159
P L

LOT 158
N

LOT 157
4 3 M

LOT 156
7 4 0

D.U.C.

D.U.C.

D.U.C.

D.U.C.

SIBPT.
(1302)

7.68 (pam)

N 3° 41' 40" E

3.36

18.50 (pas)

6.14

13.52

5.82

4.58

4.58

13.52

N 6° 55' 30" W

SIBPT.
(1302)

R=5.00
A=7.85
C=7.07
N 38° 04' 30" E

SCARLETT DRIVE

R=50.00
A=18.75
C=18.64
N 3° 49' 00" E
(pam)

R=50.00
A=21.69
C=21.52
N 2° 29' 00" E
(pas)

SIBPT.
(1302)

LOT 154

RELEASED PURSUANT TO A REQUEST
UNDER THE
FREEDOM OF INFORMATION AND
ACCESS ACT /
LA LOI SUR L'ACCÈS À L'INFORMATION
ET LA PROTECTION DES RENSEIGNEMENTS
PERSONNELS
ACT R.S., 1985, c. C-42 APPLIES TO THE
PRODUCTION OF THESE DOCUMENTS

NOTES:
BEARINGS ARE ASTRONOMIC AND ARE
REFERRED TO THE NORTHERLY LIMIT
OF O'HARA PLACE AS SHOWN
ON PLAN 43M-740 HAVING A
BEARING OF N 83° 04' 30" E.
BUILDING TIES SHOWN HEREON ARE TO
CONCRETE FOUNDATION UNLESS NOTED
OTHERWISE.

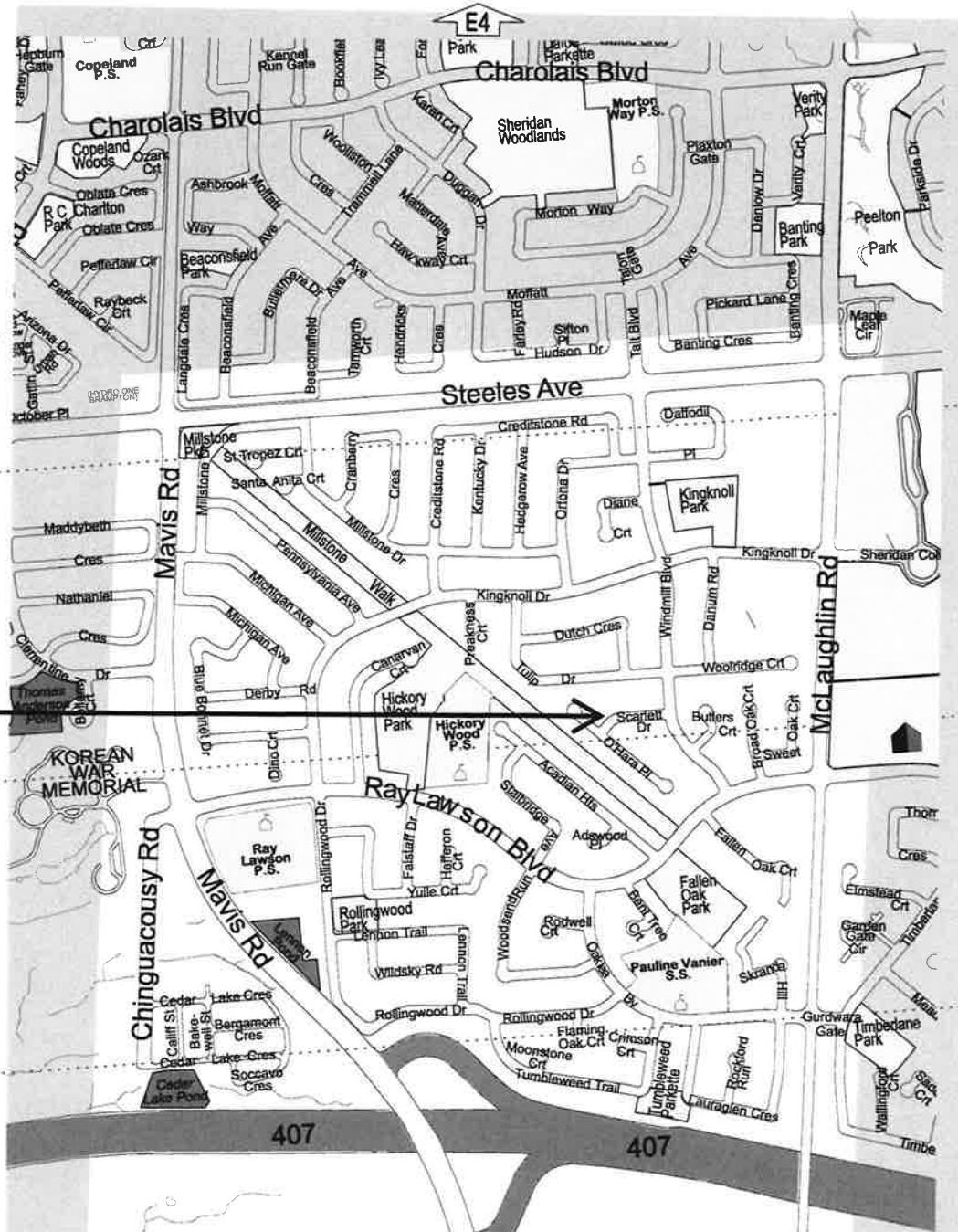
LEGEND
■ DENOTES SURVEY MONUMENT FOUND
□ DENOTES SURVEY MONUMENT PLANTED
S.I.B. DENOTES STANDARD IRON BAR
I.B. DENOTES IRON BAR
D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
(1302) DENOTES A. SKRANDA O.L.S.
(PAS) DENOTES PLAN 43M-740 & SET
(PAM) DENOTES PLAN 43M-740 & MEASURED

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS
COMPLETED ON THE 2nd DAY OF July, 1987
DATE July 7, 1987
W. JOHN BURG
ONTARIO LAND SURVEYOR

Anton Kikas Limited
Consulting Engineers
Ontario Land Surveyors - Planners
108 Bridgeland Avenue Toronto M6A 1Z4 Tel. 787-0303

DRAWN BY : J.J.
CHECKED BY : TM/J.B.

JOB N° 86-188-19



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