

FILE NUMBER: A-2023-0368

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION  
Minor Variance or Special Permission  
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) PD Commercial Lakeands Inc.  
Address 1 Herons Hill Way, Toronto, ON, M2J 0G2  
Phone # 416.268.4672 Fax #  
Email mitch@paradisedevelopments.com

2. Name of Agent Glen Schnarr and Associates Inc.  
Address 10 Kingsbridge Garden Circle, Mississauga ON L5R 3K6  
Suite 700  
Phone # 416-648-2111 Fax #  
Email patrickp@gsai.ca

3. Nature and extent of relief applied for (variances requested):  
1. To allow a day nursery whereas a day nursery is not permitted;  
2. To allow a minimum front yard depth of 1.5 metres whereas 4.5 metres is required measured from the westerly property line;  
3. To allow a minimum exterior side yard width of 3.0 metres to bovaire drive whereas 4.5 metres is required;  
4. To allow a minimum exterior side yard width of 1.5 metres to sea lion road whereas 4.5 metres is required;  
5. To allow a minimum landscaped open space strip of 3.0 metres abutting the northerly

4. Why is it not possible to comply with the provisions of the by-law?  
Refer to Cover Letter for details.

5. Legal Description of the subject land:  
Lot Number BLOCK 497  
Plan Number/Concession Number PLAN 43M1613  
Municipal Address n/a

6. Dimension of subject land (in metric units)  
Frontage 93m (298 ft) along Bovaird Drive East  
Depth 43m  
Area 0.75 ha (7,584 m2)

7. Access to the subject land is by:  
Provincial Highway ☐ Seasonal Road ☐  
Municipal Road Maintained All Year ☒ Other Public Road ☐  
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Sales Centre Building

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Three (3) commercial buildings (shown on the Minor Variance Sketch as Buildings A, B, and C)

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	Unknown
Rear yard setback	Unknown
Side yard setback	Unknown
Side yard setback	Unknown

PROPOSED

Front yard setback	1.5m
Rear yard setback	1.5m
Side yard setback	27m
Side yard setback	1.5m

10. Date of Acquisition of subject land: Jun 14, 2012

11. Existing uses of subject property: Sales Centre

12. Proposed uses of subject property: Commercial Plaza (including day nursery)

13. Existing uses of abutting properties: Residential, Commercial and Golf Course

14. Date of construction of all buildings & structures on subject land: 20 years

15. Length of time the existing uses of the subject property have been continued: 20 years

16. (a) What water supply is existing/proposed?

Municipal

☒

Well

☐

Other (specify)

(b) What sewage disposal is/will be provided?

Municipal

☒

Septic

☐

Other (specify)

(c) What storm drainage system is existing/proposed?

Sewers

☒

Ditches

☐

Swales

☐

Other (specify)

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☐ Unknown

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE City \_\_\_\_\_ OF Mississauga \_\_\_\_\_

THIS 10 DAY OF November, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Patrick Pearson, OF THE City \_\_\_\_\_ OF Mississauga \_\_\_\_\_

IN THE Region \_\_\_\_\_ OF Peel \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City \_\_\_\_\_ OF Mississauga \_\_\_\_\_

IN THE Region \_\_\_\_\_ OF \_\_\_\_\_

Peel THIS 10 DAY OF

November, 2023.

\_\_\_\_\_  
Signature of Applicant or Authorized Agent

\_\_\_\_\_  
A Commissioner etc.

Laura Kim Amorim, a Commissioner, etc.,  
Province of Ontario, for  
Glen Schnarr & Associates Inc.  
Expires March 3, 2026.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED

NOV 16, 2023

Date Application Deemed  
Complete by the Municipality

VL

Revised 2022/02/17



## **APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: \_\_\_\_\_

I/We, PD Commercial Lakelands Inc.  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Glen Schnarr and Associates Inc.  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 01 day of November, 2023.

M. Hall  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Mitchell L. Taleski, Senior Project Manager  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**



**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: \_\_\_\_\_

I/We, PD Commercial Landlords Inc.  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 01 day of November, 2023

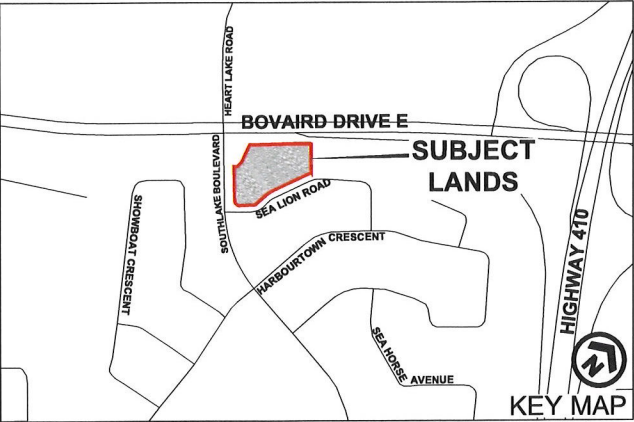
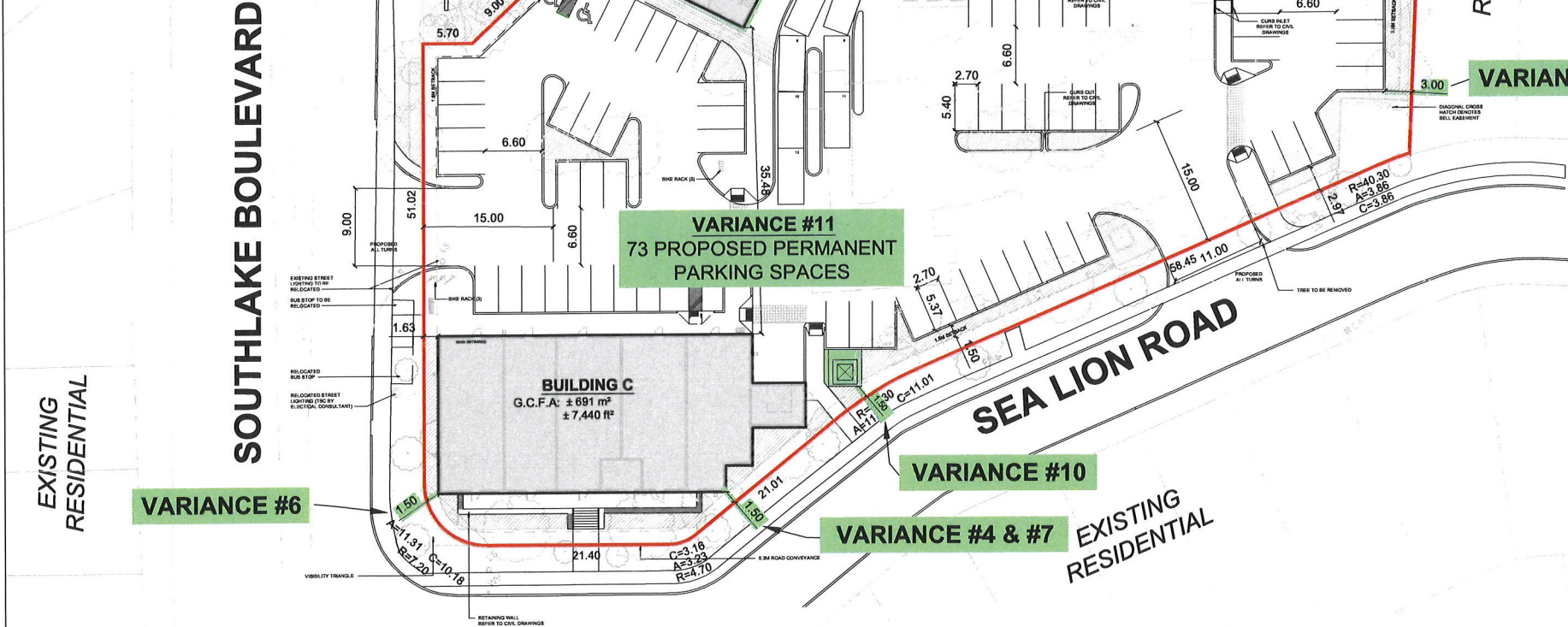
[Signature]  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Mitchell L. Taleski, Senior Project Manager  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

STATISTICS & ZONING		
SITE AREA	±1.87 ACRES	
BUILDING A AREA	±5,014 S.F.	±466 S.M.
BUILDING B AREA	±10,100 S.F.	±938 S.M.
FIRST FLOOR RETAIL AREA	±4,226 S.F.	±393 S.M.
SECOND FLOOR OFFICE AREA	±4,187 S.F.	±389 S.M.
LOBBY/STAIR AREA	±1,480 S.F.	±137 S.M.
M/E ROOM	±207 S.F.	±19 S.M.
BUILDING C AREA	±7,440 S.F.	±691 S.M.
LEASABLE AREA	±6,880 S.F.	±640 S.M.
GARAGE	±352 S.F.	±33 S.M.
M/E ROOM	±200 S.F.	±19 S.M.
TOTAL LEASABLE AREA	±20,315 S.F.	±1,887 S.M.
TOTAL BUILDING AREA	±22,554 S.F.	±2,095 S.M.
TOTAL PARKING REQUIRED	88 CARS	
BUILDING A (TAKE-OUT RESTAURANT 120 S.M.)	23 CARS	
BUILDING B (RETAIL 123 S.M.)	17 CARS	
OFFICE (116 S.M.)	20 CARS	
BUILDING C (RETAIL 123 S.M.)	28 CARS	
PARKING WITHOUT MTO	75 CARS	3.97/100 S.M.
PARKING WITH MTO	3.69/1000 S.F. 80 CARS	3.97/100 S.M. 4.24/100 S.M.
LOADING REQUIRED (G/FAC 2,395 S.M.)	1 SPACE	
LOADING PROVIDED	1 SPACE	
STACKING SPACES REQUIRED	10 SPACES	
STACKING SPACES PROVIDED	12 SPACES	
BICYCLE PARKING SPACES REQUIRED	N/A	
BICYCLE PARKING SPACES PROVIDED	10 SPACES	
COVERAGE	21.49%	
ZONING SECTION	C1-1190	
SPECIAL SECTION	REQUIRED	PROVIDED
FRONT YARD	4.5 M	1.5 M
INTERIOR SIDE YARD	6.0 M	N/A
EXTERIOR SIDE YARD	4.5 M	1.5 M / 3.0 M
REAR YARD	6.0 M	27 M
LANDSCAPE FRONT YARD (20% OF MIN. REQUIRED YARD)		±26%
EXTERIOR YARD (50% OF MIN. REQUIRED YARD)		±60%



## MINOR VARIANCE SKETCH

PD COMMERCIAL LAKELANDS INC.  
885 BOVAIRD DRIVE EAST  
BLOCK 497, REGISTERED PLAN 43M1613  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL

### REQUESTED VARIANCES

- TO ALLOW A DAY NURSERY WHEREAS A DAY NURSERY IS NOT PERMITTED.
- TO ALLOW A MINIMUM FRONT YARD DEPTH OF 1.5 METRES WHEREAS 4.5 METRES IS REQUIRED MEASURED FROM THE WESTERLY PROPERTY LINE.
- TO ALLOW A MINIMUM EXTERIOR SIDE YARD WIDTH OF 3.0 METRES TO BOVAIRD DRIVE WHEREAS 4.5 METRES IS REQUIRED.
- TO ALLOW A MINIMUM EXTERIOR SIDE YARD WIDTH OF 1.5 METRES TO SEA LION ROAD WHEREAS 4.5 METRES IS REQUIRED.
- TO ALLOW A MINIMUM LANDSCAPED OPEN SPACE STRIP OF 3.0 METRES ABUTTING THE NORTHERLY PROPERTY LINE WHEREAS 4.5 METRES IS REQUIRED.
- TO ALLOW A MINIMUM LANDSCAPED OPEN SPACE STRIP OF 1.5 METRES ABUTTING THE WESTERLY PROPERTY LINE AND DAYLIGHT TRIANGLE (ROUNDING) WHEREAS 4.5 METRES IS REQUIRED.
- TO ALLOW A MINIMUM LANDSCAPED OPEN SPACE STRIP OF 1.5 METRES ABUTTING THE SOUTHERLY PROPERTY LINE WHEREAS 6.0 METRES IS REQUIRED.
- TO ALLOW A MINIMUM LANDSCAPED OPEN SPACE STRIP OF 3.0 METRES ABUTTING THE EASTERLY PROPERTY LINE WHEREAS 6.0 METRES IS REQUIRED.
- TO ALLOW A RETAINING WALL WITHIN THE LANDSCAPE STRIP ABUTTING THE NORTHERLY PROPERTY LINE WHEREAS A RETAINING WALL IS NOT PERMITTED WITHIN REQUIRED LANDSCAPED OPEN SPACE AREAS.
- TO ALLOW A 1.5 METRE SETBACK TO A HYDRO TRANSFORMER WHEREAS 4.5 METRES IS REQUIRED.
- TO ALLOW A MINIMUM OF 73 PARKING SPACES WHEREAS 82 PARKING SPACES ARE REQUIRED.
- TO ALLOW A MAXIMUM BUILDING HEIGHT OF 3 STOREYS WHEREAS A MAXIMUM BUILDING HEIGHT OF 2 STOREYS IS PERMITTED



SCALE 1:750  
NOVEMBER 16, 2023

**GSAI**  
Glen Schnarr & Associates Inc.



# Zoning Non-compliance Checklist

File No.  
A-2023-0368

Applicant: PD COMMERCIAL LAKELANDS INC  
Address: 885 BOVAIRD DR E, BRAMPTON, ON, L6z 4W4  
Zoning: C1-1190  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE	To permit a day nursery	Whereas the by-law does not permit the use	21.1.1, Special Section 1190
SETBACKS	1. To permit a front yard setback of 1.5m to a proposed commercial building.	1. Whereas the by-law requires a minimum 4.5m front yard depth of 4.5m, measured from the westerly property line.	Special Section 1190.2(a)
	2. To permit an exterior side yard setback of 3.0m (at Bovard Dr.) to a proposed commercial building.	2. Whereas the by-law requires a minimum 4.5m exterior side yard setback.	Special Section 1190.2(c)
	3. To permit an exterior side yard setback of 1.5m (at Sea Lion Rd.) to a proposed commercial building.	3. Whereas the by-law requires a minimum 4.5m exterior side yard setback.	Special Section 1190.2(c)
LANDSCAPE OPEN SPACE	1. To permit a landscape open space strip of 3.0m along the northerly property lines.	1. Whereas the by-law requires a minimum of 4.5m be provided along the northerly and westerly property lines.	Special Section 1190.2(f)
	2. To permit a landscape open space strip of 1.5m along the westerly property lines.	2. Whereas the by-law requires a minimum of 4.5m be provided along the northerly and westerly property lines.	Special Section 1190.2(f)
	3. To permit a landscape open space strip of 1.5m along the southerly property lines.	3. Whereas the by-law requires a minimum of 6.0m be provided along the southerly and easterly property lines.	Special Section 1190.2(f)
	4. To permit a landscape open space strip of 3.0m along the easterly property lines.	4. Whereas the by-law requires a minimum of 6.0m be provided along the southerly and easterly property lines.	Special Section 1190.2(f)
	5. To permit a retaining wall within a landscaped open space.	5. Whereas the by-law does not permit retaining walls within a landscaped open space.	Section 5.0
BUILDING HEIGHT	To permit a commercial building having a maximum building height of 3 storeys.	Whereas the by-law permits a maximum building height of 2 storeys.	Section 21.1.2
SETBACK TO UTILITY	To permit a setback to 1.5m to a utility structure	Whereas the by-law requires the yard regulations required for the zone be complied with.	Section 6.10(a)
PARKING	To permit a minimum of 73 parking spaces.	Whereas the by-law requires a minimum of 82 parking spaces.	Section 20.3

John C. Cabral

Reviewed by Zoning

2023-11-16

Date



# COMMERCIAL PLAZZA

BOVAIRD DR E & SOUTHLAKE BOULEVARD  
BRAMPTON, ON  
PRE-2023-0044

17.018



**TURNER  
FLEISCHER**

67 Lesmill Rd  
Toronto, ON, M3B 2T8  
Contact Name: Raquel Laki Gonzalez  
Phone Number: 416-425-2222 ext. 328  
Email: raquel.lakigonzalez@turnerfleischer.com

**ISSUED FOR SPA  
JULY 07, 2023**

**YCA ENGINEERING**

NOISE CONSULTANT  
9251 YONGE ST, STE 8557  
RICHMOND HILL, ON L4C 9T3  
HAVA JOUHARCHI, P.ENG.  
SENIOR PROJECT ENGINEER  
416-894-3213  
HAVA@YCAENGINEERING.COM

**HAMMERSCHLAG & JOFFE INC.**

ELECTRICAL CONSULTANT  
43 LESMILL ROAD  
TORONTO, ON M3B 2T8  
BRAYDON KAHN  
ELECTRICAL DESIGNER  
416-444-9263 EXT. 223  
BRAYDON.KAHN@HAMJOF.COM

**BA GROUP**

TRAFFIC CONSULTANT  
300 - 45 ST. CLAIR AVE W  
TORONTO, ON M4V 1K9  
STUART ANDERSON, P.ENG.  
SENIOR ASSOCIATE  
416-961-7110  
ANDERSON@BAGROUP.COM

**NAK DESIGN STRATEGIES**

LANDSCAPE CONSULTANT  
421 RONCESVALLES AVE  
TORONTO, ON M6R 2N1  
JESSICA GAETANO  
SENIOR PROJECT  
COORDINATOR  
647.466-2605  
JGAETANO@NAK-DESIGN.COM

**URBANTECH® CONSULTING**

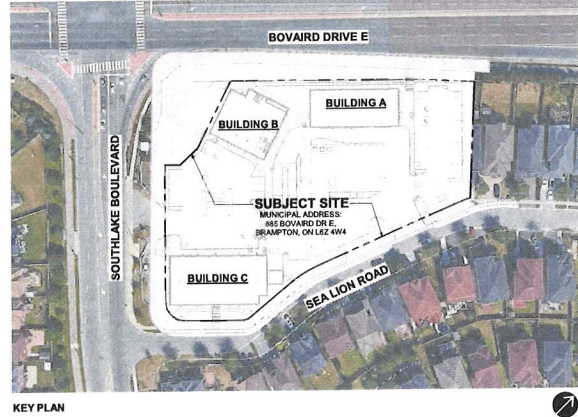
CIVIL / PLANNER  
3760 14TH AVENUE, SUITE  
301,  
MARKHAM, ON L3R 3T7  
MARK HERRMANN, EIT,  
DESIGN ASSISTANT  
905-946-9461 Ext.424  
MHERRMANN@URBANTECH.COM



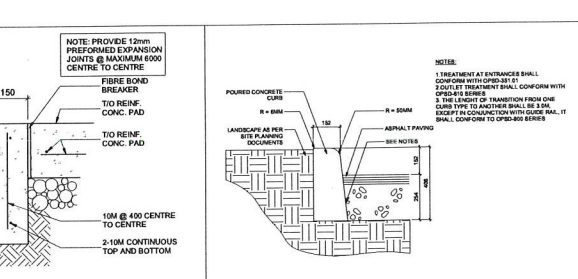




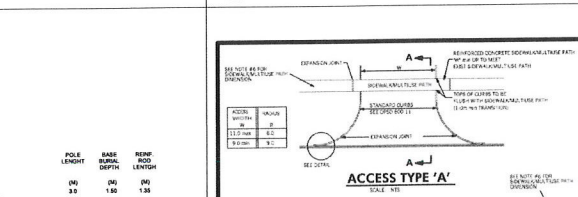
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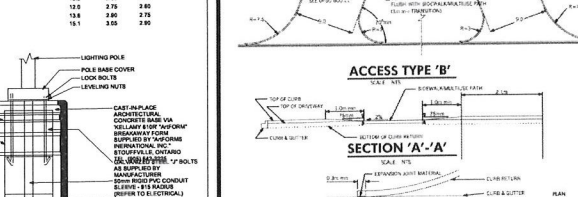
KEY PLAN



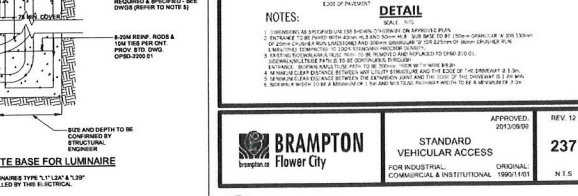
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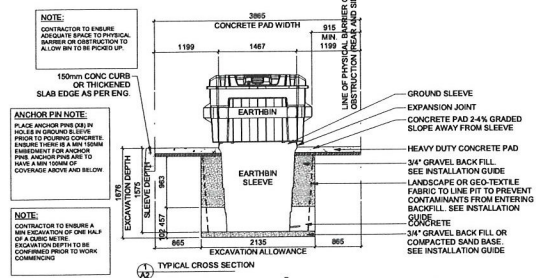


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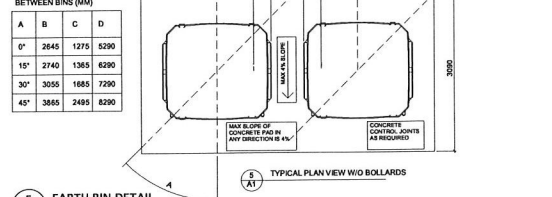


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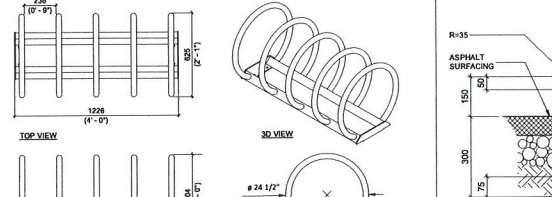
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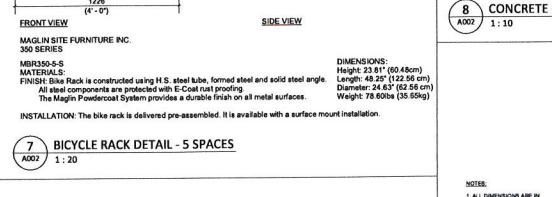
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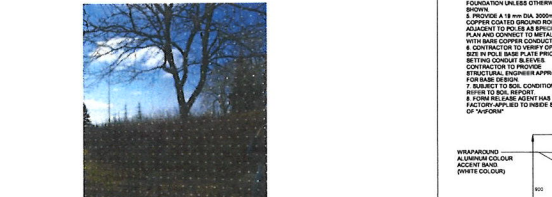
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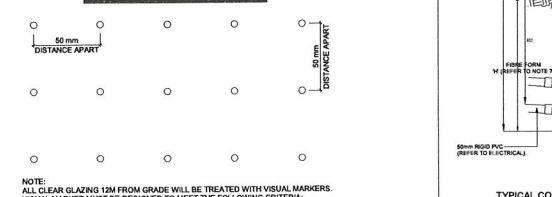
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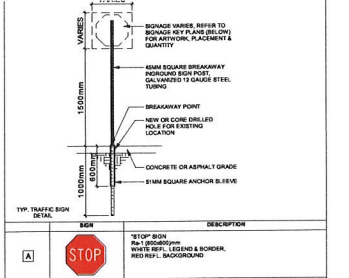
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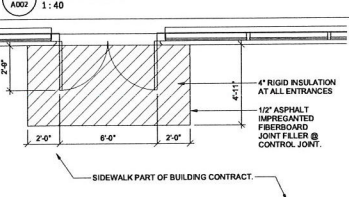
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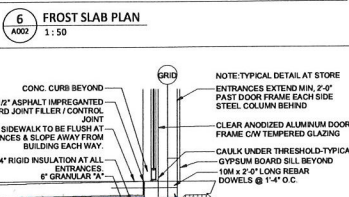
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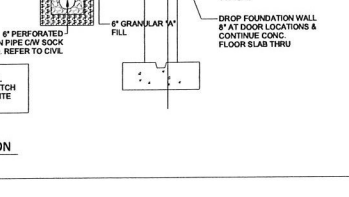
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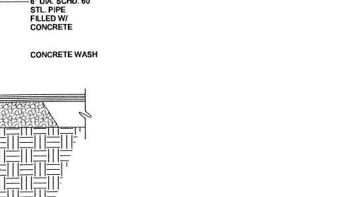
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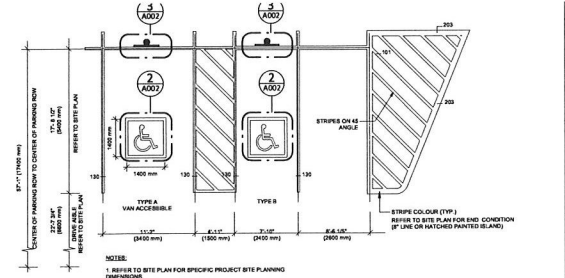
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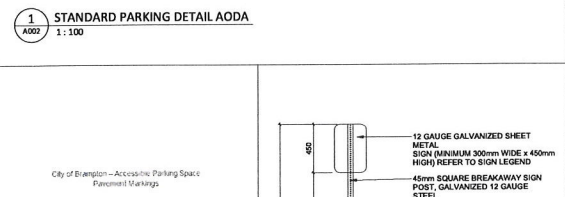
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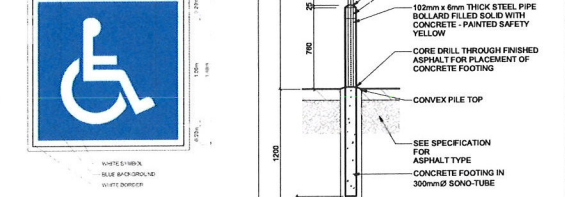
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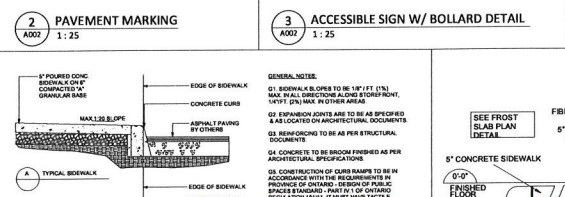
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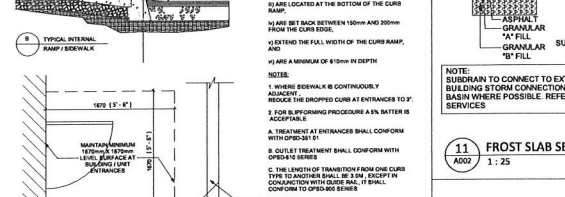
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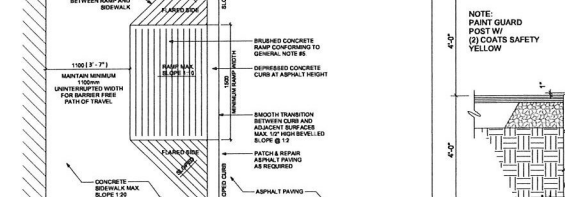
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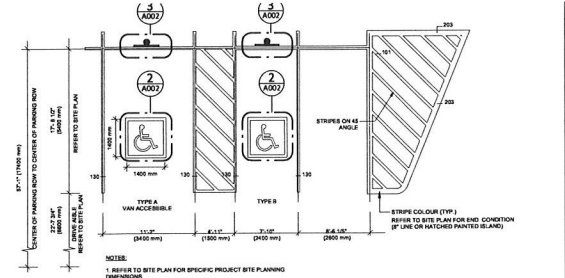
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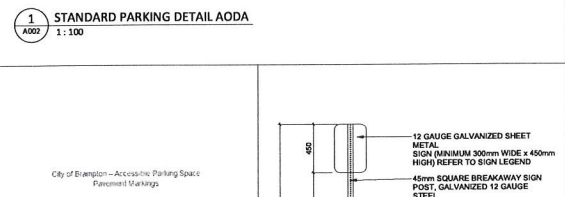
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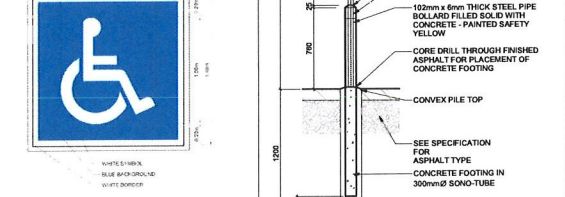
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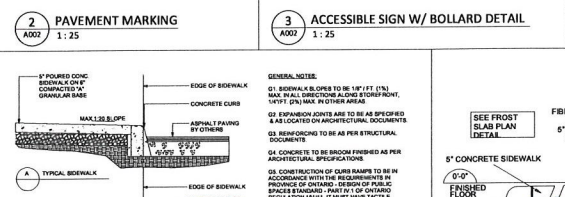
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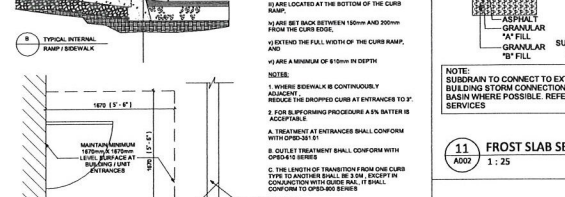
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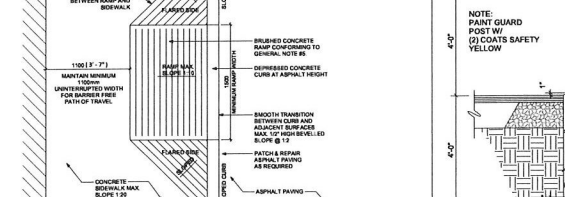
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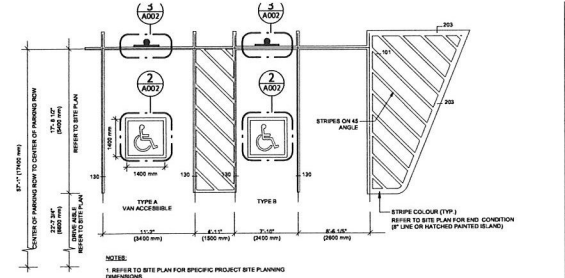
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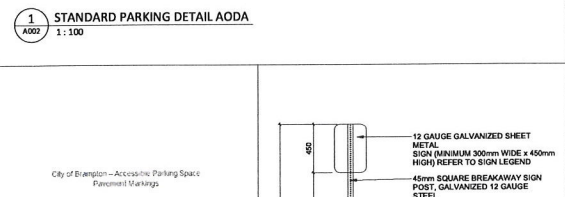
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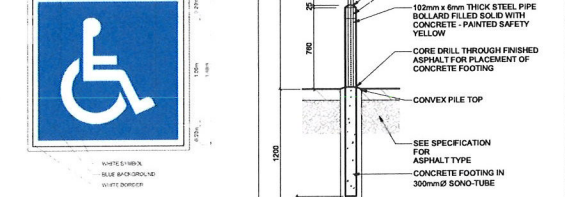
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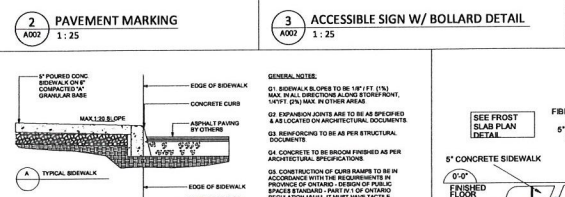
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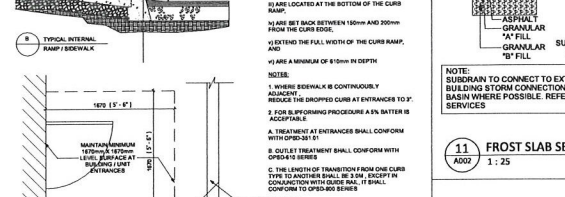
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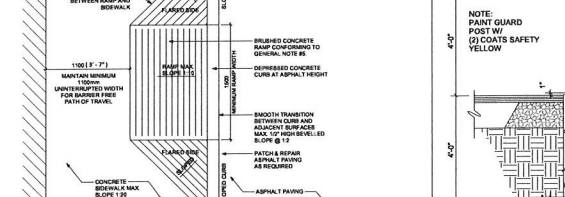
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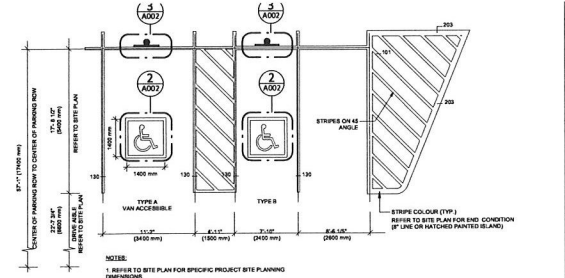
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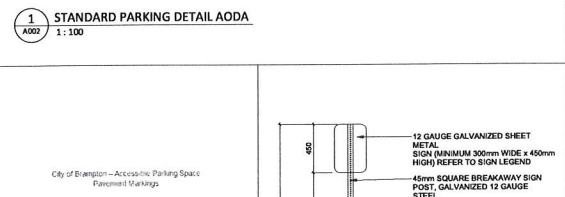
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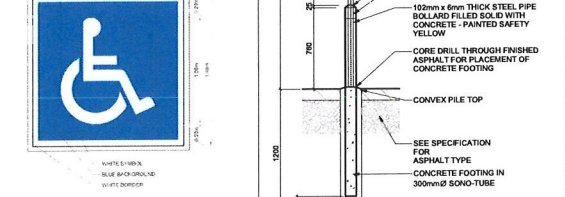
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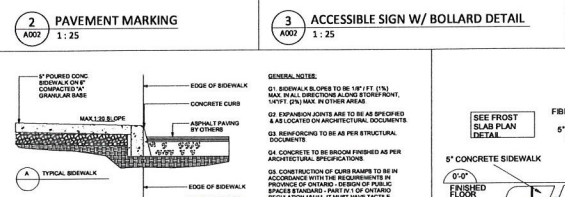
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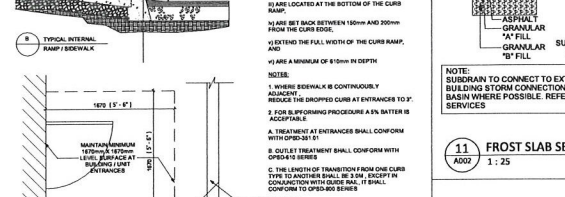
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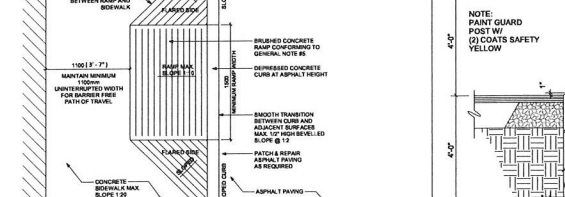
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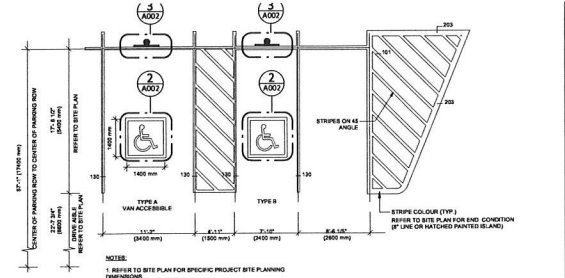
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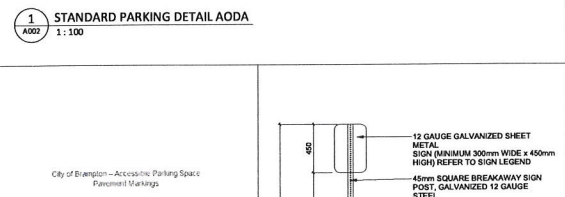
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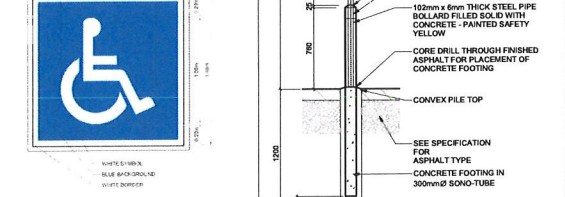
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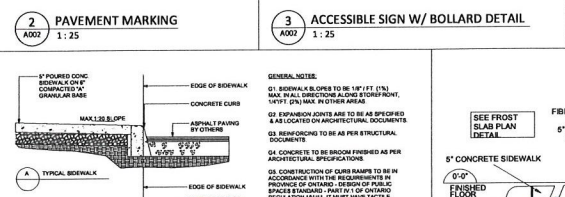
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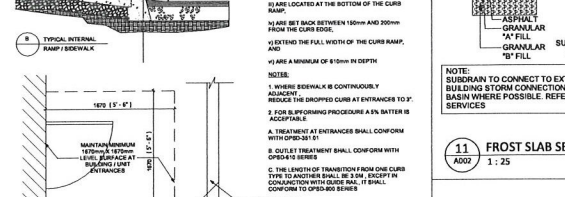
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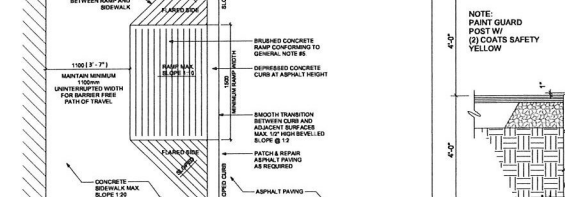
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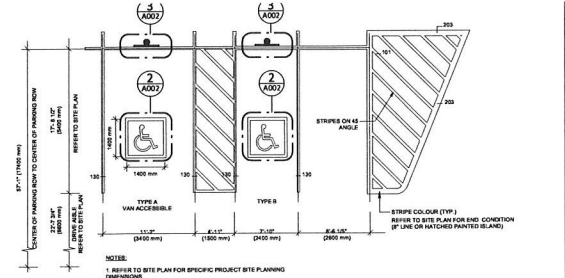
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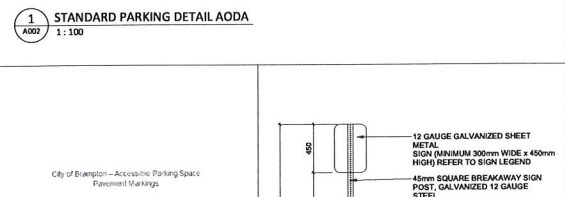
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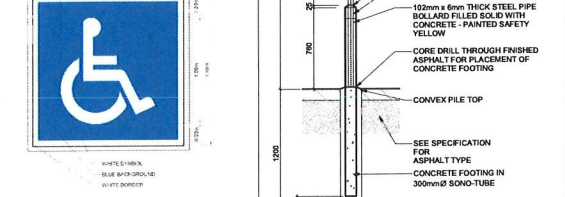
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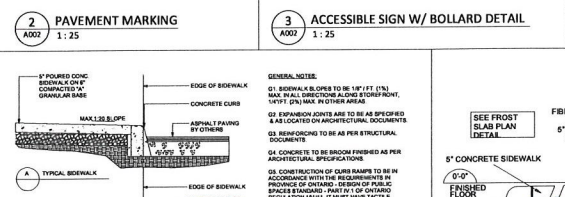
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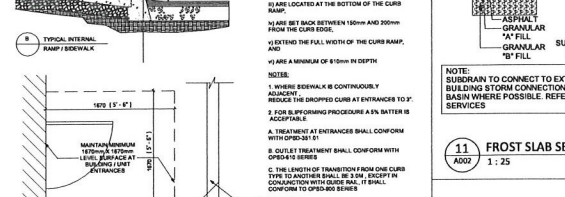
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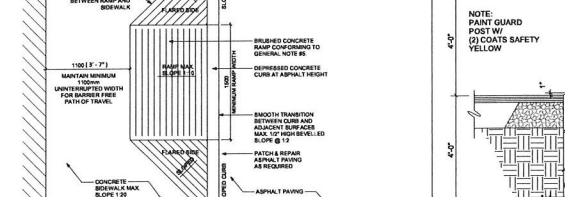
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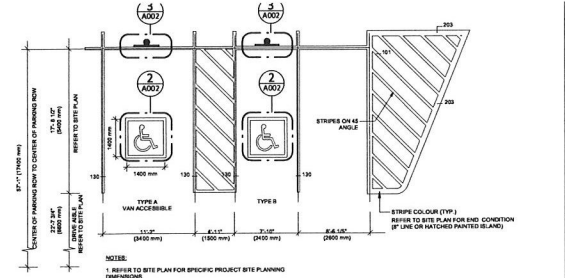
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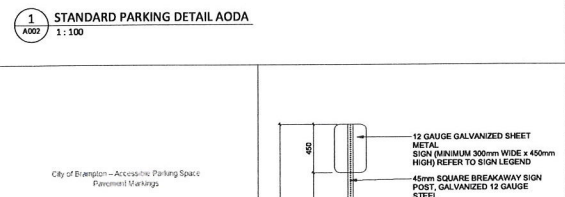
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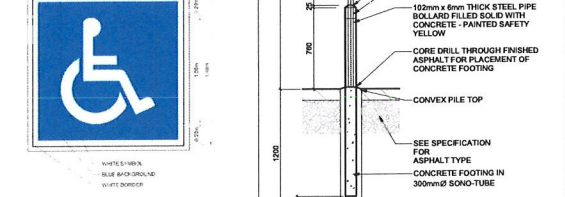
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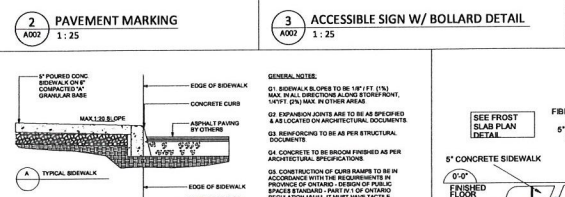
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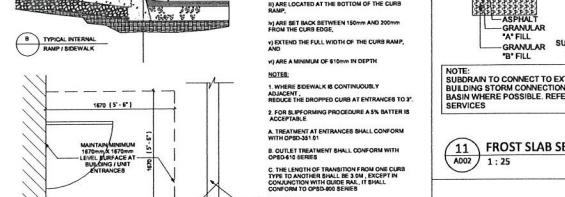
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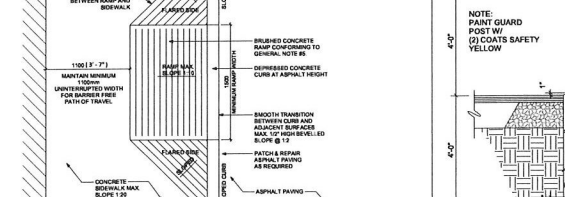
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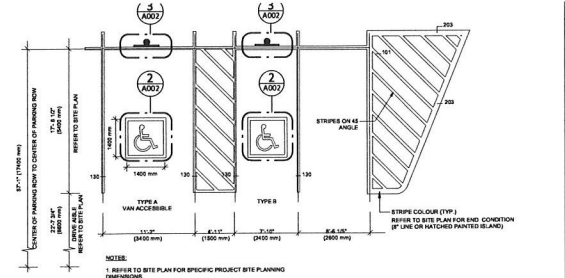
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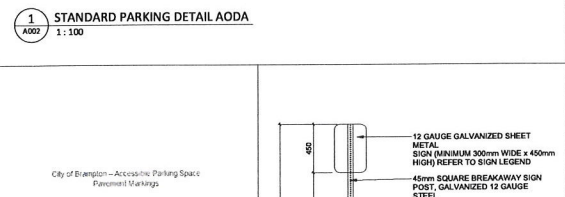
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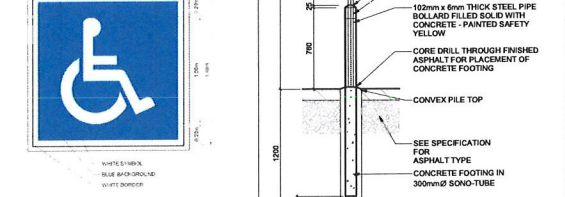
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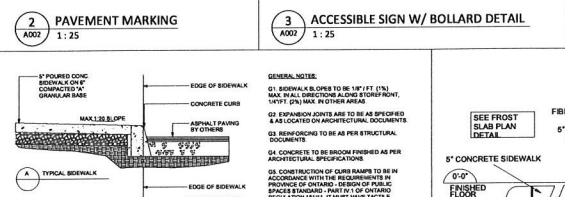
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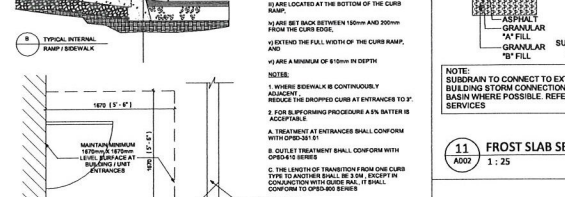
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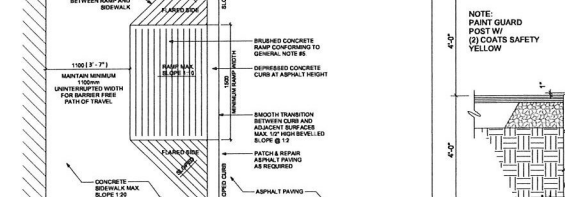
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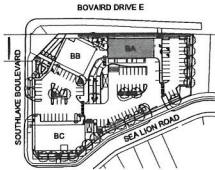
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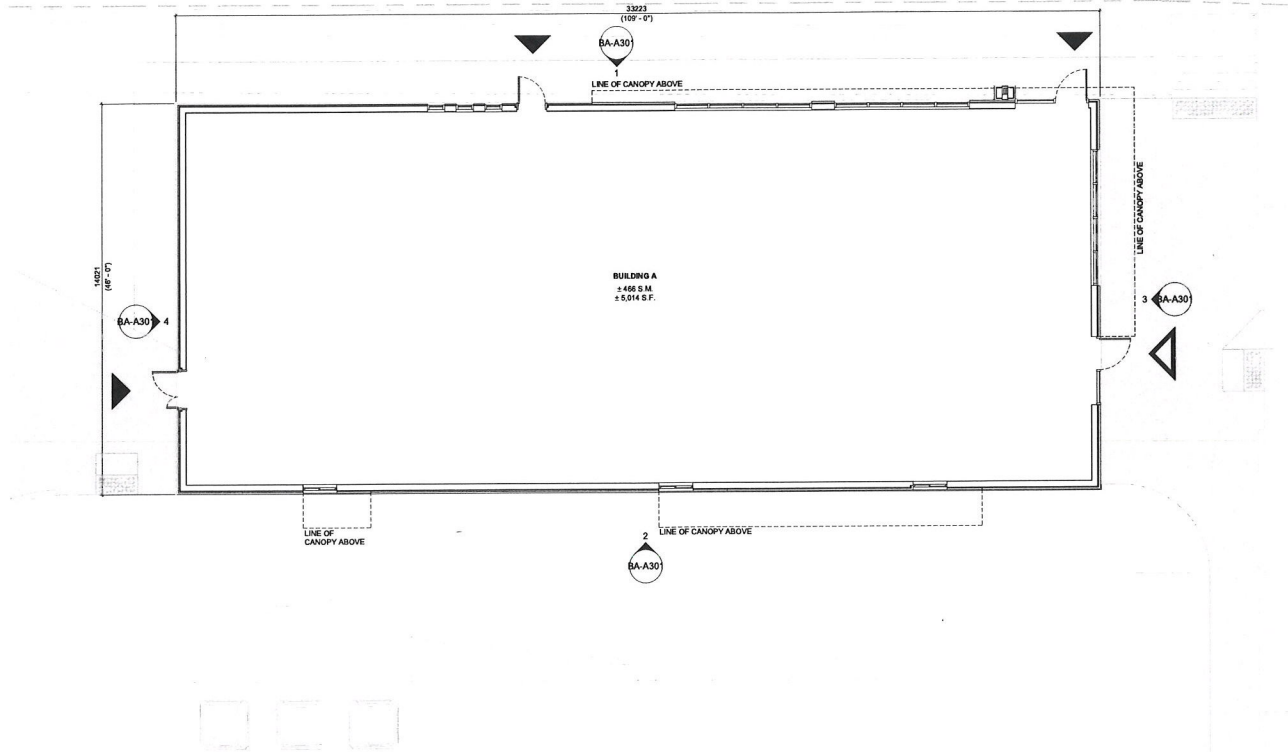
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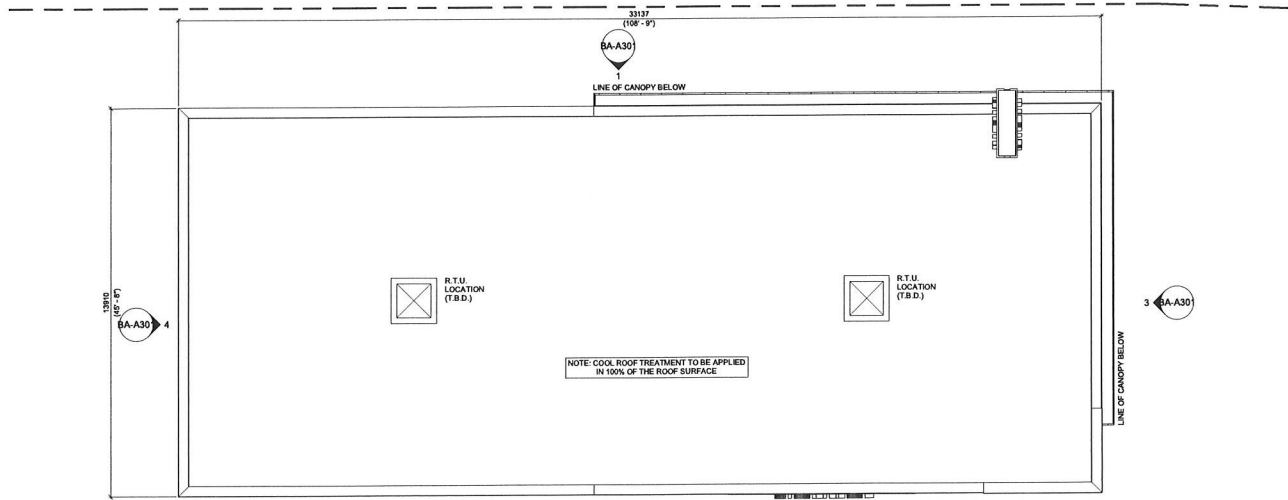
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KEY PLAN  
N.T.S.



1 FLOOR PLAN  
1/8" = 1'-0"



2 ROOF PLAN  
1/8" = 1'-0"

#	DATE	DESCRIPTION	BY
1	2023-06-28	ISSUED FOR RFP	MHB

PARADISE  
DEVELOPMENTS

PROJECT  
**COMMERCIAL PLAZA**  
BOVARD DR E & SOUTHLAKE BOULEVARD,  
BRAMPTON, ON  
PRE-2023-0544

DRAWING  
**BUILDING A - FLOOR PLAN & ROOF PLAN**

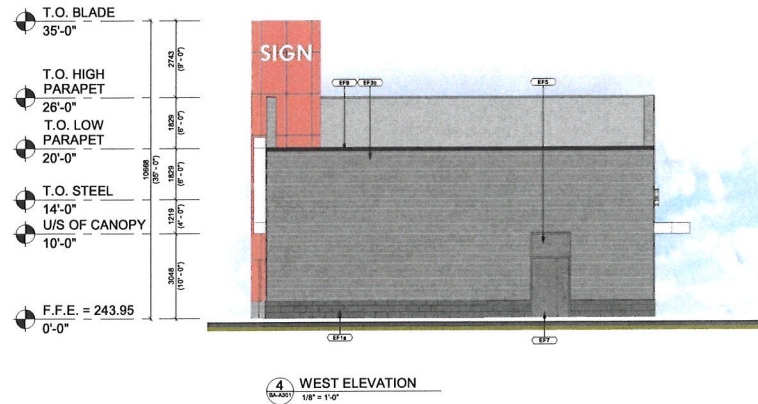
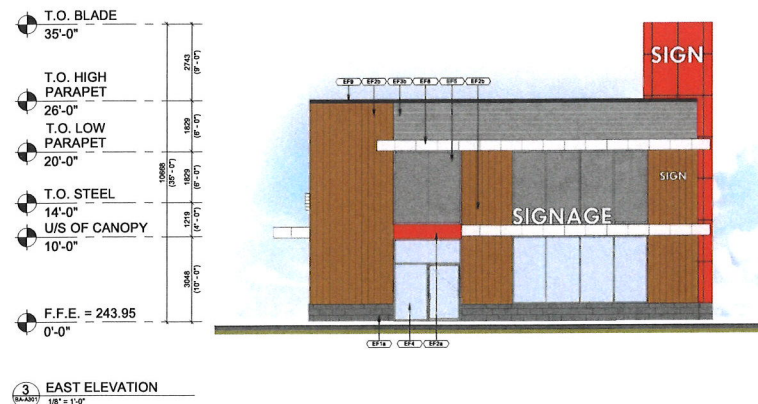
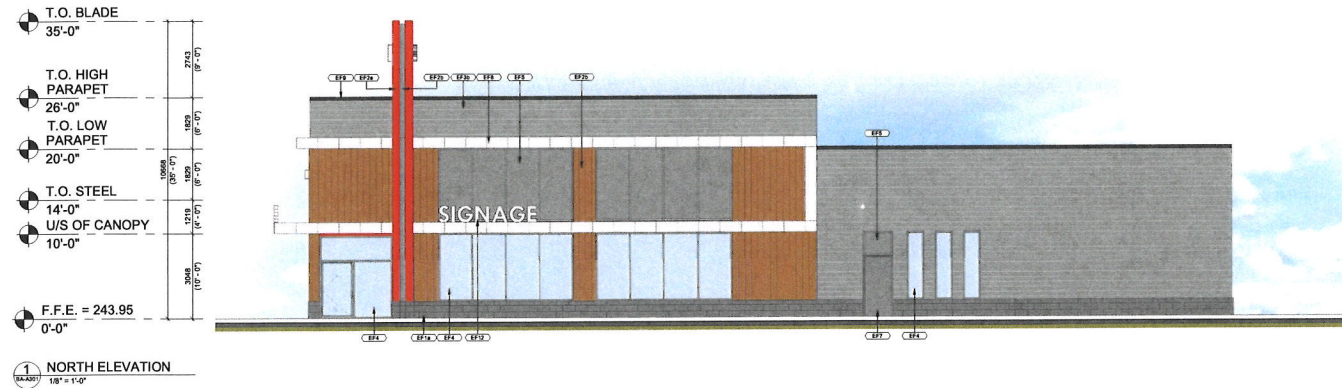
PROJECT NO  
17.016P02  
PROJECT DATE  
2023-06-28  
DRAWN BY  
MHB  
CHECKED BY  
JJI  
SCALE  
As Indicated





DRAWING NO  
BA A101  
REV  
1

\_\_\_\_\_

EXTERIOR FINISHES SCHEDULE	
MATERIAL	DESCRIPTION
EF1a	ARCHITECTURAL CONCRETE BLOCK SIZE: 3 1/2" W x 7 1/2" H x 15 3/8" COLOUR: ONYX FINISH: STRIPPED MORTAR: SOLOMON 97X SUPERBLACK SEE MANUFACTURER'S STANDARD SPECIFICATIONS CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR
EF2a	ALPOLIC METAL CLADDING PROFILE: 4mm C/W MATCHING TRIMS/FLASHING COLOUR: RON RED CONTRACTOR TO PROVIDE COLOUR/FINISH SAMPLE FOR OWNER APPROVAL PRIOR TO ORDERING OF MATERIALS
EF2b	ALPOLIC METAL CLADDING PROFILE: 4mm C/W MATCHING TRIMS/FLASHING COLOUR: LIGHT WALNUT CONTRACTOR TO PROVIDE COLOUR/FINISH SAMPLE FOR OWNER APPROVAL PRIOR TO ORDERING OF MATERIALS
EF3a	VICWEST CORRUGATED METAL SIDING AD300 C/W MATCHING TRIMS/FLASHING COLOUR: DEEP GREY
EF3b	VICWEST CORRUGATED METAL SIDING AD300 C/W MATCHING TRIMS/FLASHING COLOUR: BONE WHITE COLOUR: DEEP GREY
EF4	CLEAR LOW E GLAZING IN COLOUR: CLEAR THERMALLY BROKEN ALUMINIUM FRAMES
EF5	SPANDREL PANEL, BLACK ANODIZED ALUMINIUM FRAMES CLEAR GLASS UNIT WITH CUSTOM COLOUR COATING ON INBOARD SURFACE OF OUTERLITE (TEMPERED GLASS TO BE USED AT DOORS AND SIDELIGHTS) COLOUR: GREY
EF7	PREFINISHED HOLLOW METAL DOORS AND FRAMES PAINTED TO MATCH: DEEP GREY
EF8	CLOSED CANOPY - ALUMINIUM, 1/2" DRY JOINT COLOUR: BONE WHITE CONTRACTOR TO PROVIDE COLOUR/FINISH SAMPLE FOR OWNER APPROVAL PRIOR TO ORDERING OF MATERIALS
EF12	FINISH TO BE PROVIDED BY AND INSTALLED BY TENANT. G.C. TO INSTALL 5/8" PLYWOOD BACKING FOR FUTURE MOUNTING OF SIGNAGE. SIGNAGE CONSIDER ROUGH-OUTS TO BE COORDINATED WITH TENANT.



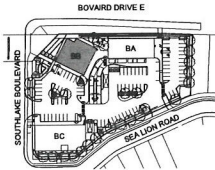
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#	DATE	DESCRIPTION	BY
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PROJECT			
<p style="text-align: center;"><b>COMMERCIAL PLAZA</b></p> <p style="text-align: center;">BOVARD DR E &amp; SOUTHLAKE BLVD., BRAMPTON, ON PRE-2023-0044</p>			
DRAWING			
<p style="text-align: center;"><b>BUILDING A - COLOURED ELEVATIONS</b></p>			
PROJECT NO. 17.018P02			
PROJECT DATE 2023-06-28			
DRAWN BY MHB			
CHECKED BY JJJ			
SCALE 1/8" = 1'-0"			
DRAWING NO. RA-A204 REV. 1			



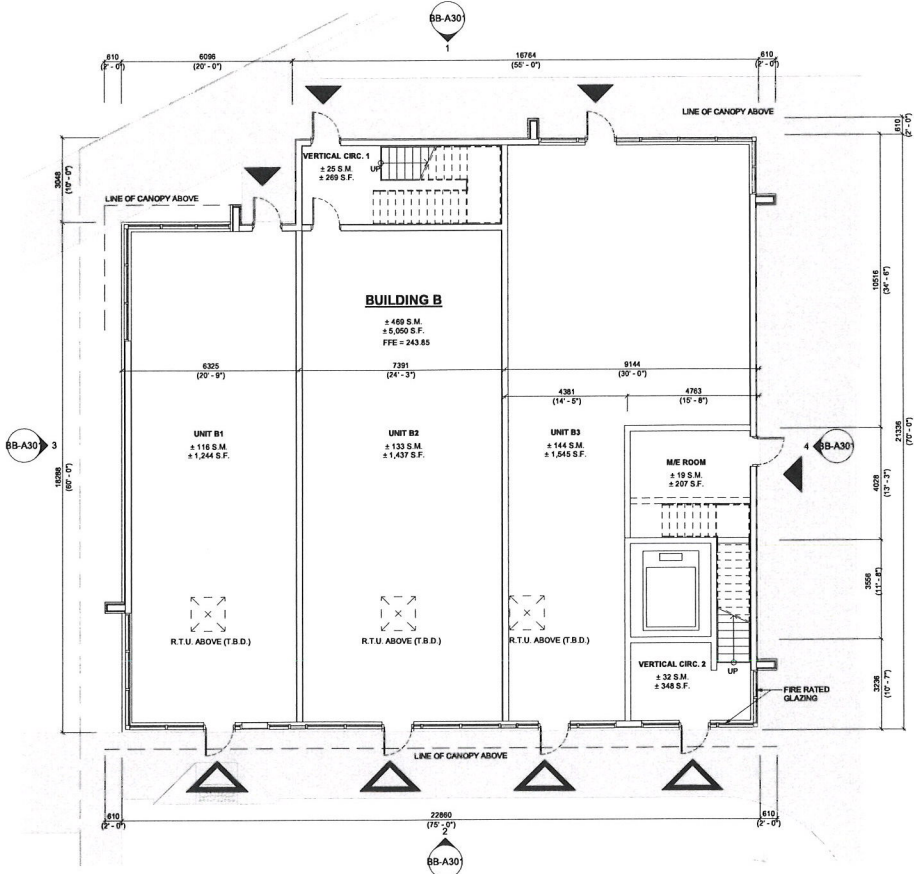
# TURNER FLEISCHER

Turner Fleischer Architects Inc.  
67 Leavelle Road  
Toronto, ON M5S 2T8  
T 416 435 2222  
turnerfleischer.com

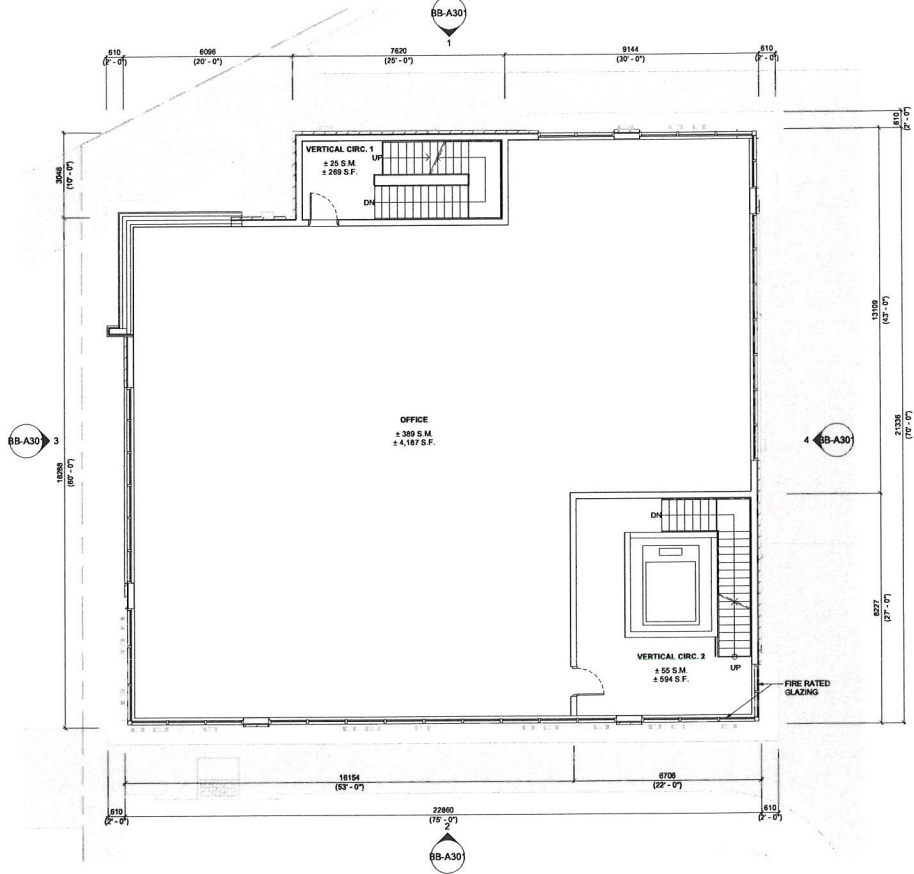
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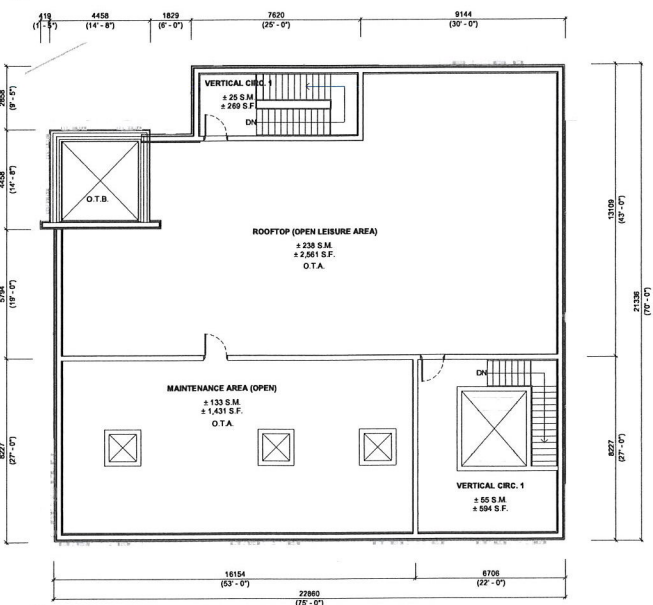
KEY PLAN  
N.T.S.



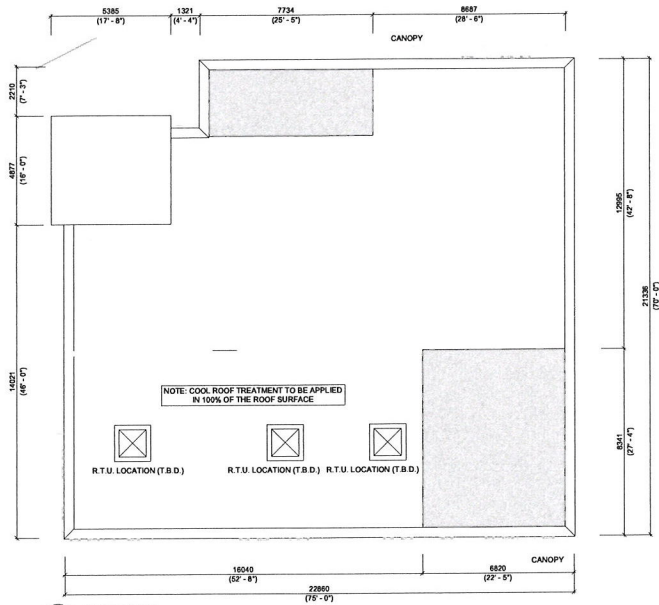
1 FLOOR PLAN  
1/8" = 1'-0"



2 SECOND FLOOR PLAN  
1/8" = 1'-0"



3 ROOFTOP FLOOR PLAN  
1" = 10'-0"



4 ROOF PLAN  
1" = 10'-0"

NO.	BY	DATE	DESCRIPTION	BY
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PARADISE  
DEVELOPMENTS

PROJECT  
COMMERCIAL PLAZZA

BOVARD DR E & SOUTHLAKE BOULEVARD,  
BRAMPTON, ON  
PRE-2023-0044

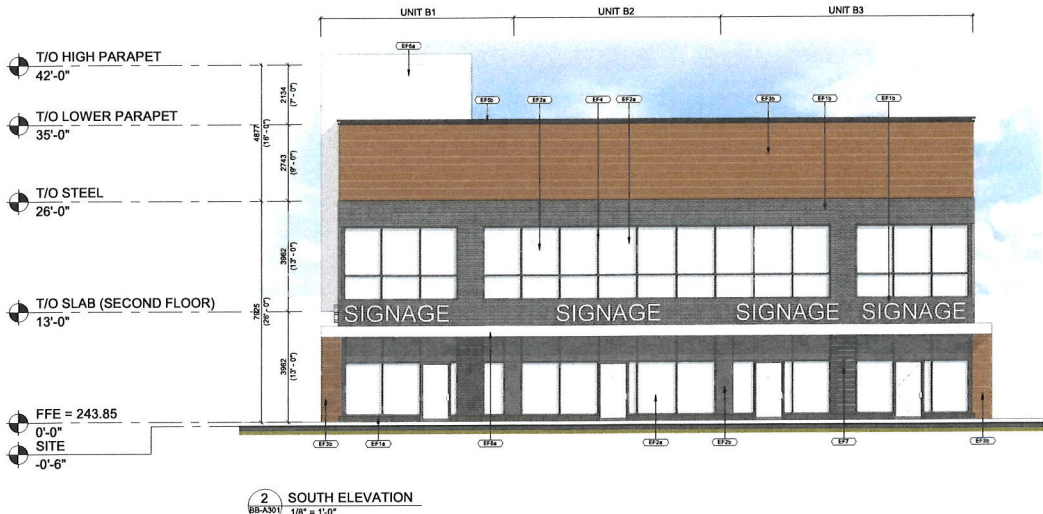
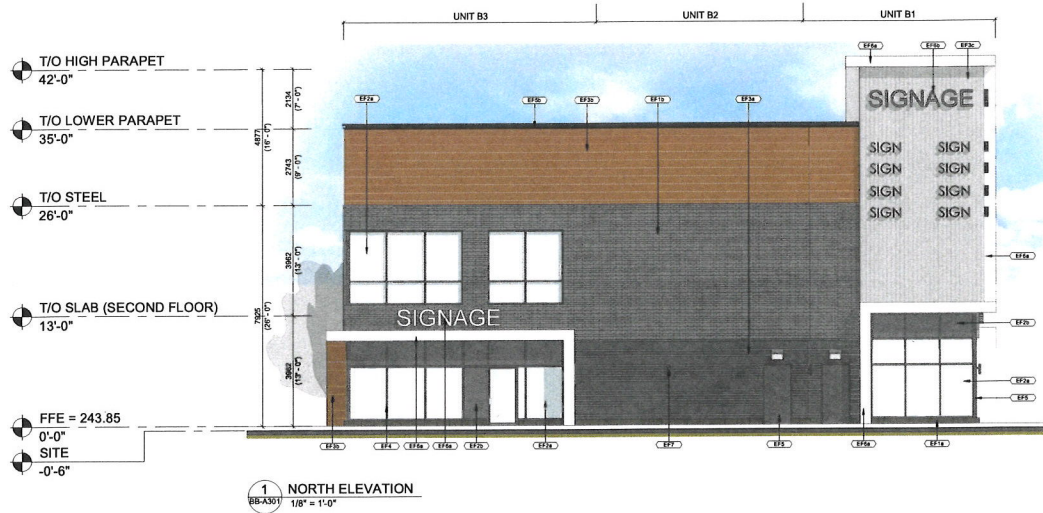
DRAWING  
BUILDING B - FLOOR PLANS & ROOF  
PLAN

PROJECT NO.  
17.018P02  
PROJECT DATE  
2023-06-28  
DRAWN BY  
RLA  
CHECKED BY  
JJJ  
SCALE  
As Indicated



DRAWING NO.  
BB-A101  
REV.  
1





EXTERIOR FINISHES SCHEDULE	
MATERIAL	DESCRIPTION
EF1a	ARCHITECTURAL CONCRETE BLOCKS W/ SILL, SHOULDICE - PROFILE TEX-STONE SMOOTH, SILL: COLOUR TO MATCH SIZE: 3 1/2"W x 7 1/2"H x 16 3/8"L (UNLESS NOTED OTHERWISE) FINISH: STANDARD, COLOUR: COLBY - ES MORTAR: SOLOMON 87X SUPER BLACK SEE MANUFACTURER'S STANDARD SPECIFICATIONS MORTAR, CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.
EF1b	BRICK: BRAMPTON BRICK - CONTEMPORARY SERIES SIZE: MODULAR - 3 1/2"W x 3 1/8"H x 10 1/8" L (UNLESS NOTED OTHERWISE) COLOUR: CHARCOAL MATT MORTAR: SOLOMON COLOURS INC - 60X WHITE CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR.
EF2a	BLACK ANODIZED ALUMINUM FRAMES, TEMPERED CLEAR INSULATED VISION GLASS / LOW-E GLAZING, LOW IRON GLAZING
EF2b	BLACK ANODIZED ALUMINUM FRAMES, TEMPERED CLEAR GLASS UNITS WITH CW INSULATED BACK PAN, INTERIOR FINISHED W/ STUDS AND GYPSUM BOARD COLOUR: OPACI-COAT RAL 7005 MOUSE GREY
EF3a	CORRUGATED METAL SIDING CL 7040 VICWEST, HORIZONTAL, COLOUR: DEEP GREY 55174
EF3b	HIDDEN FASTENER GLAZING WALL, BELLARA CLASSIC WOODS VICWEST, COLOUR: DEEP WALNUT 18-2768
EF3c	CORRUGATED METAL SIDING CL 7040 VICWEST, VERTICAL, COLOUR: REGENT GREY 56082
EF4	BLACK ANODIZED ALUMINUM, COLOUR: BLX BLACK
EF5	DOORS PAINTED IN BLACK MATTE
EF6a	ALUMINUM METAL PANELS, ALPOLIC ACM PANEL, REVEALS AS INDICATED ON DRAWINGS. COLOUR: FSR FROST, CAULKING TO MATCH.
EF6b	ALUMINUM METAL PANELS, ALPOLIC ACM PANEL, REVEALS AS INDICATED ON DRAWINGS. COLOUR: CNC CHARCOAL, CAULKING TO MATCH.
EF7	WALL MOUNTED LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS)

# TURNER FLEISCHER

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67 Leavel Road  
Toronto, ON M8B 2T8  
T 416 435 2322  
turnerfleischer.com

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PROJECT	DATE	ISSUED FOR	DESCRIPTION	BY
1	2023-07-27	ISSUED FOR EPA		PLA

**PARADISE DEVELOPMENTS**

PROJECT: **COMMERCIAL PLAZZA**

BOVAIRD DR E & SOUTHLAKE BOULEVARD, BRAMPTON, ON  
PRE-2023-0044

DRAWING: **BUILDING B - COLOURED ELEVATIONS**

PROJECT NO: 17.018P02  
PROJECT DATE: 2023-06-28  
DRAWN BY: PLA  
CHECKED BY: JJJ  
SCALE: 1/8" = 1'-0"

DESIGN ASSOCIATION OF ARCHITECTS  
JOHN J. JONES  
LICENSED ARCHITECT

DRAWING NO: **BB-A301** REV: **1**

BC-A101  $1/8" = 1'-0"$

2	Result
BC-A101	1/2" - 1" N"

--

## COMMERCIAL PLAZZA

AWING

100

1000

17.018P02

DRAWN BY

CHECKED BY  
A.A.

As indicated





MATERIAL	DESCRIPTION
EF1a	ARCHITECTURAL CONCRETE BLOCKS W/ SILL SHOULDER - PROFILE TEX-STONE SMOOTH, SILL: COLOUR TO MATCH SIZE: 1 1/2" W x 1 1/2" H x 15 3/8" (UNLESS NOTED OTHERWISE) FINISH: STANDARD, COLOUR: COLBY-E MORTAR: SOL-OMON 91X SUPER-BLACK SEE MANUFACTURER'S STANDARD SPECIFICATIONS MORTAR, CONTROL JOINT AND CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR
EF1b	BRICK: BRAMPTON BRICK - CONTEMPORARY SERIES SIZE: MODULAR - 3 1/2" W x 1 1/8" H x 1 1/8" L (UNLESS NOTED OTHERWISE) COLOUR: CHARCOAL MAT MORTAR: SOL-OMON COLOURS INC - 60X WHITE CAULKING COLOURS TO MATCH MASONRY UNIT COLOUR
EF2a	BLACK ANODIZED ALUMINUM FRAMES, TEMPERED CLEAR INSULATED VISION GLASS / LOW-E GLAZING, LOW PROFILE BLACK ANODIZED ALUMINUM FRAMES, TEMPERED CLEAR GLASS UNITS WITH C/W INSULATED BACK PAN, INTERIOR FINISHED W/ STUDS AND GYPSUM BOARD COLOUR: OPACI-CAT RAL 7005 MOUSE GREY
EF3a	CORRUGATED METAL SLIDING CL 7040 VICWEST, HORIZONTAL, COLOUR: DEEP GREY 56174
EF3b	HIDDEN FASTENER METAL CLADDING WALL, BLACKA CLASSIC WOODS VICWEST, COLOUR: DEEP WALNUT 18-768
EF4	BLACK ANODIZED ALUMINUM, COLOUR: BLX BLACK
EF5	DOORS PAINTED IN BLACK MATTE ALUMINUM METAL PANELS, ALPOLIC ACM PANEL, REVEALS AS INDICATED ON DRAWINGS, COLOUR: FSR FRONT CAULKING TO MATCH
EF6b	ALUMINUM METAL PANELS, ALPOLIC ACM PANEL, REVEALS AS INDICATED ON DRAWINGS, COLOUR: CMC CHARCOAL CAULKING TO MATCH
EF7	WALL MOUNTED LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS)

