

RECEIVED
NOV 27 2023
CITY CLERK'S OFFICE

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0197

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Pradeep Kumar Jaiswal
Address 8 Newstead Crescent, Brampton, ON L6V 2A7

Phone # 437 238 3585 **Fax #** _____
Email pradeep.jaiswal2020@gmail.com

2. **Name of Agent** Valiuddin Mohammed
Address 2751 Thamesgate drive, Mississauga, ON L4T 1G5

Phone # 416 627 4100 **Fax #** _____
Email info@mechways.com

3. **Nature and extent of relief applied for (variances requested):**
To seek relief from the by-law to permit a minimum interior side yard setback of 0.61 m for the proposed heated extension on the ground floor attached to the garage. whereas the bylaw requires a minimum interior side yard setback of 1.80 m. Thereby requesting a variance of 1.19m in this instance.

4. **Why is it not possible to comply with the provisions of the by-law?**
As per the zoning bylaw, a minimum interior side yard setback of 1.80 m is required.

5. **Legal Description of the subject land:**
Lot Number 134
Plan Number/Concession Number 889
Municipal Address 8 Newstead Crescent, Brampton, ON L6V 2A7

6. **Dimension of subject land (in metric units)**
Frontage 18.41 m.
Depth 36.51 m.
Area 553.52 sq.m

7. **Access to the subject land is by:**
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Single dwelling raised bungalow with GFA of 163.93 sq.m, total height of 7.0 m, width 7.77 m, length 11.27 m and existing outdoor swimming pool and single storey storage garage of 16.73 sq.m on site.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Proposed heated extension on the ground floor with GFA 203.64 sq.m, total height of 7.0 m, width 7.77 m, length 11.27 m.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	9.64 m
Rear yard setback	13.61 m
Side yard setback	1.40 m
Side yard setback	3.56 m

PROPOSED

Front yard setback	8.92 m
Rear yard setback	13.27 m
Side yard setback	1.40 m
Side yard setback	0.61 m

10. Date of Acquisition of subject land: JUNE 2022

11. Existing uses of subject property: Single Dwelling Unit

12. Proposed uses of subject property: Single Dwelling Unit

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: approx. 1973

15. Length of time the existing uses of the subject property have been continued: approx. 50 years

16. (a) What water supply is existing/proposed?

Municipal ☒
Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒
Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒
Ditches ☐
Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ City _____ OF _____ Mississauga _____

THIS 12 DAY OF May, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Valiuddin Mohammed, _____ OF THE _____ City _____ OF _____ Mississauga _____

IN THE Peel region OF Ontario SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Toronto
IN THE Province OF _____
Ontario THIS 17th DAY OF
May, 2023
[Signature]
A Commissioner etc.



VALIUDDIN
MOHAMMED
D
Digitally signed by VALIUDDIN
MOHAMMED
DN: cn=VALIUDDIN
MOHAMMED, o=MECHWAYS
INC,
email=mechways@gmail.com,
c=CA
Date: 2023.05.16 17:19:23 -04'00'

Signature of Applicant or Authorized Agent

Rameshbhai Somabhai Patel
Ramesh Patel Law Professional Corporation
127 Westmore Dr. Unit # 101,
Toronto, ON M9V 3Y6
Tel: 416-742-2999 Fax: 416-742-3888

FOR OFFICE USE ONLY

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

Nov 27, 2023

Date Application Deemed
Complete by the Municipality

Clara

Revised 2022/02/17

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 8 Newstead Crescent, Brampton, ON L6V 2A7

I/We, Pradeep Kumar Jaiswal
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Valiuddin Mohammed
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 12 day of May, **20**23.

Pradeep Kumar Jaiswal
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Pradeep Kumar Jaiswal
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 8 Newstead Crescent, Brampton, ON L6V 2A7

I/We, Pradeep Kumar Jaiswal
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

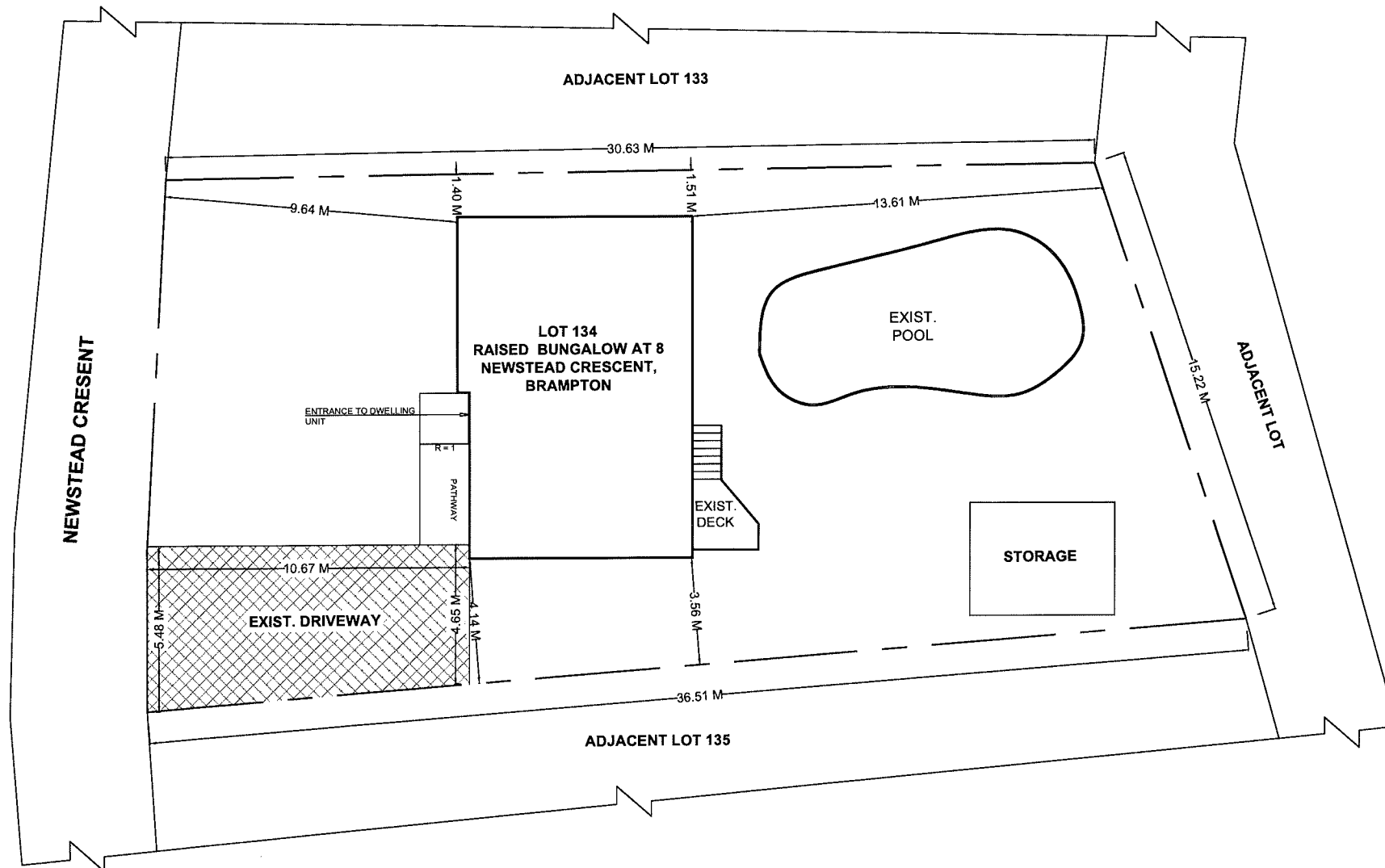
Dated this 12 day of May, **20**23.

Pradeep Kumar Jaiswal
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Pradeep Kumar Jaiswal
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



EXISTING SITE PLAN

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED.
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SEAL:



1	ISSUED FOR BUILDING PERMIT	APR 19, 2023
NO.	DESCRIPTION	DATE

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE, MISSISSAUGA, ON, L4T 1G5
TEL : 416-627-6100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

PROPOSED HEATED EXTENSION AT 8 NEWSTEAD CRESCENT BRAMPTON, ON

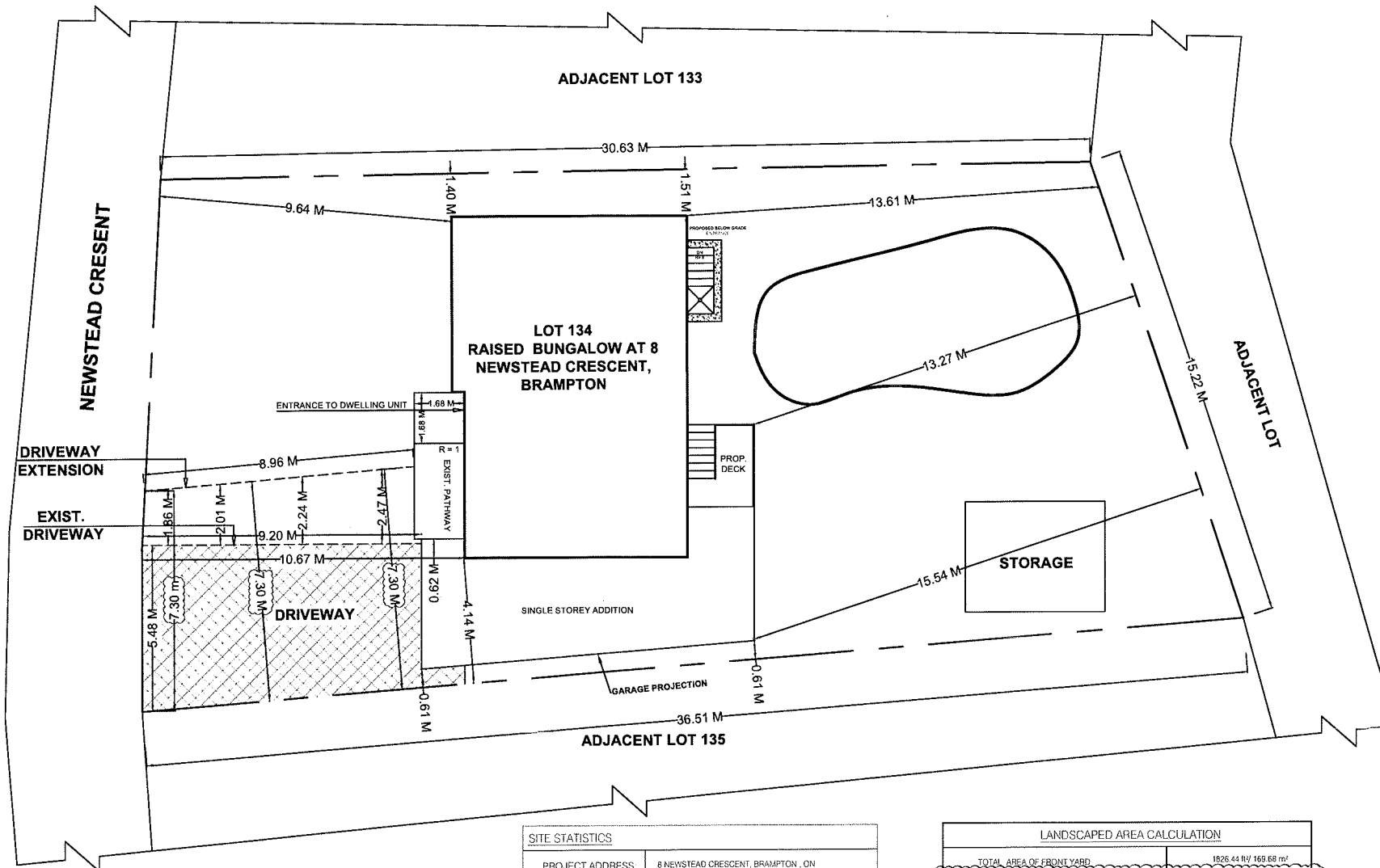
SHEET TITLE:

EXIST. SITE PLAN

CHECKED: SS
DRAWN: GS
SCALE: 1 : 150
DATE: APR/19/ 2023

DRAWING:

A 0.1



SCOPE OF WORK:
PROPOSED SINGLE FLOOR
HEATED EXTENSION AND
FINISHED BASEMENT FOR PERSONAL USE

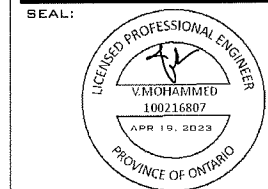
SITE STATISTICS			
PROJECT ADDRESS:	8 NEWSTEAD CRESCENT, BRAMPTON, ON		
LEGAL DESCRIPTION:	PNS40 LOT 68 CITY OF WELLAND		
ZONING INFORMATION:	BYLAW IN EFFECT: R1B ZONE:		
LOT INFORMATION:	LOT AREA: 553.52 m ² LOT FRONTAGE: MINIMUM: 15m ACTUAL: 17.60m BUILDING HEIGHT: MAXIMUM: 10.6 m ACTUAL: 7.90 m		
SETBACKS:			
REQUIRED FRONT YARD:	MIN 6.0 m	EXIST. BUILDING FOOTPRINT INCLUDING PORCH	86.34 m ²
ACTUAL:	9.20 m	PROP. HEATED EXTENSION	39.96 m ²
REQUIRED REAR YARD:	MIN 7.5 m	PROP. DECK	6.00 m ²
ACTUAL:	13.27 m	STORAGE	16.73 m ²
		LOT COVERAGE	26.92%

LANDSCAPED AREA CALCULATION	
TOTAL AREA OF FRONT YARD	1826.44 m ² (147' 168.68 m ²)
FRONT YARD PARKING AREA	719.22 m ² (147' 66.81 m ²)
SOFT AND HARD LANDSCAPE	1107.22 m ² (102.86 m ²)
LANDSCAPED AREA %	60.61%

GROSS FLOOR AREA CALCULATION	
BASEMENT FLOOR G.F.A.	= 78.50 m ²
MAIN FLOOR (INCLUDING ADDITION) G.F.A.	= 125.14 m ²
(GARAGE = 23.47 m ²)	
TOTAL G.F.A.	= 203.64 m ²

GARAGE AREA CALCULATION	
UNHEATED GARAGE PARKING G.F.A.	= 23.47 m ²
HEATED STORAGE + WASHROOM G.F.A.	= 18.55 m ²
TOTAL G.F.A.	= 42.02 m ²

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NO.	DESCRIPTION	DATE
2	REVISION 1	NOV 16, 2023
1	ISSUED FOR BUILDING PERMIT	APR 19, 2023

ENGINEER:

ADDRESS : 2751 THAMESGATE DRIVE
N5E1S5A5A, ON, L4T 1G5
TEL : 416-657-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

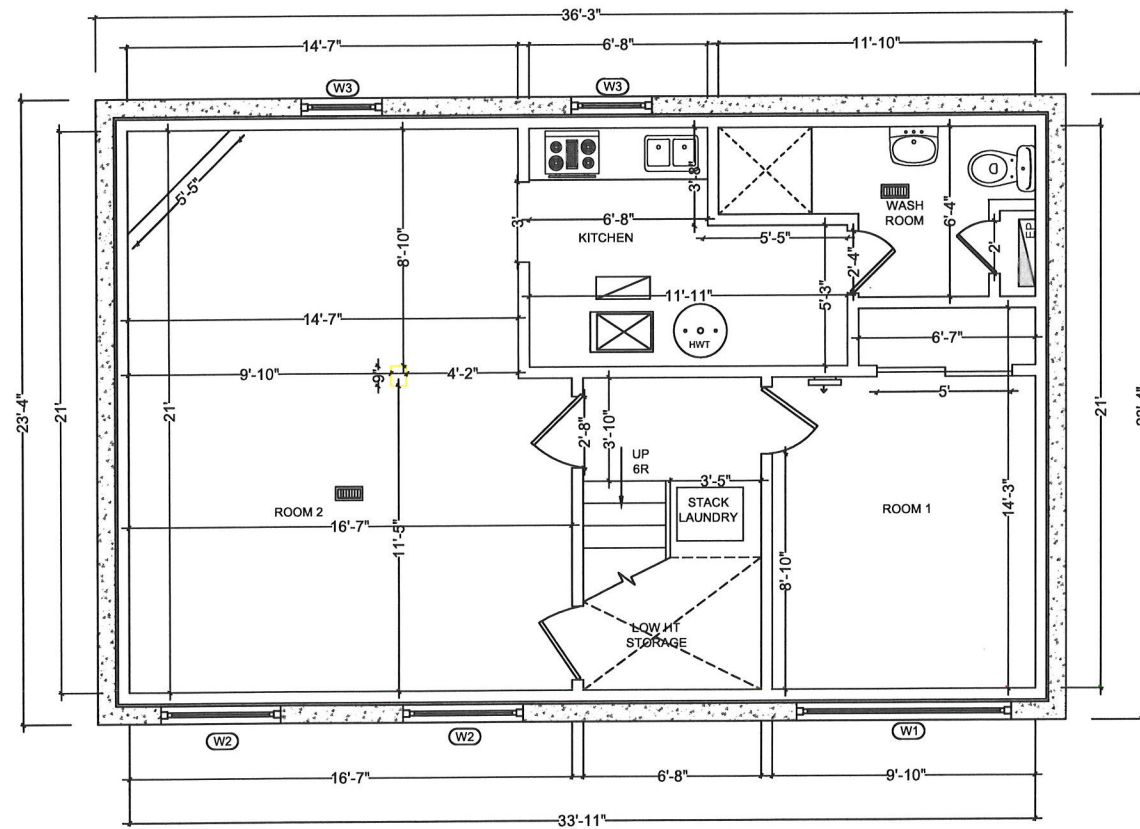
CONSULTANT:

PROJECT:
PROPOSED HEATED
EXTENSION AT 8
NEWSTEAD CRESCENT
BRAMPTON, ON

SHEET TITLE:
PROP. SITE
PLAN

CHECKED: SS
DRAWN: GS
SCALE: 1 : 150
DATE: APR/19/2023





EXISTING BASEMENT PLAN

BASEMENT G.F.A = 845.83 ft² / 78.50 m²

CEILING HEIGHT U/S OF JOISTS = 7' - 6"
CEILING HEIGHT U/S OF DUCT = 6' - 9"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

WINDOW SCHEDULE

WINDOW#	WINDOW SIZE	WINDOW TYPE
EXIST. W1	96" x 34"	DOUBLE SLIDER
EXIST. W2	54" X 36"	DOUBLE SLIDER
EXIST. W3	36" X 18"	DOUBLE SLIDER

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SEAL:



1 ISSUED FOR BUILDING PERMIT APR 19, 2023

NO. DESCRIPTION DATE

ENGINEER:



Mechways Inc.

ADDRESS : 2751 THAMESGATE DRIVE MISSISSAUGA, ON L4T 1G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

PROPOSED HEATED
EXTENSION AT 8
NEWSTEAD CRESCENT
BRAMPTON, ON

SHEET TITLE:

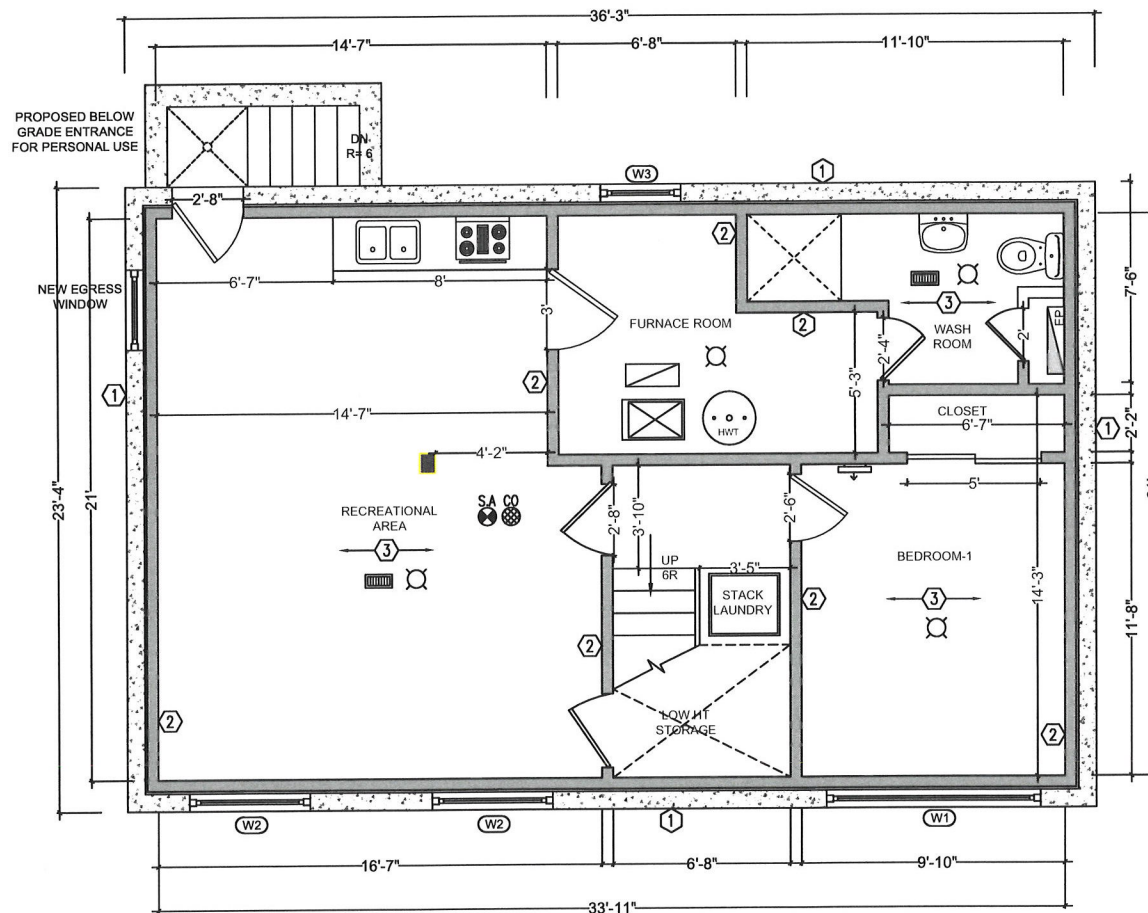
**EXIST.
BASEMENT PLAN**

CHECKED: SS
DRAWN: SS
SCALE: 3/16" = 1'0"
DATE: APR/19/ 2023



DRAWING:

A 1.0



PROP. BASEMENT PLAN

BASEMENT G.F.A = 845.83 ft² / 78.50 m²

CEILING HEIGHT U/S OF JOISTS = 7' - 6"
CEILING HEIGHT U/S OF DUCT = 6' - 9"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS MEANS OF EGRESS
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WINDOW SCHEDULE

WINDOW#	WINDOW SIZE	WINDOW TYPE
EXIST. W1	96" x 34"	DOUBLE SLIDER
EXIST. W2	54" X 36"	DOUBLE SLIDER
EXIST. W3	36" X 18"	DOUBLE SLIDER

LEGEND

	EXISTING FOUNDATION WALL (8" THICK CONCRETE WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., EXISTING INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED)
	DRY WALL (WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS WALLS.)
	SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING
	CARBON MONO OXIDE ALARM
	NEW/ EXISTING HORIZONTAL SEPARATION 15 MINUTE F.R.R (EXISTING 1/2" GYPSUM BOARD CEILING)
	EXHAUST FAN 100 CFM FOR KITCHEN AND 50 CFM FOR WASHROOM
	SAR (SUPPLY AIR REGISTER) 10" x 4"
	RAG (RETURN AIR GRILLE) 12" x 6"
	LIGHT
	SUPPLY AIR REGISTER 10" x 4" ON WALL
	2'-2"x8" WOOD LINTEL & 1'-3.5"x3.5"x0.25" STEEL LINTEL. MINIMUM BEARING OF STEEL LINTEL 150 mm EACH SIDE. MINIMUM BEARING OF WOOD LINTEL 90 mm ON EACH SIDE

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MISSISSAUGA, ON. L4T 1G5
TEL : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

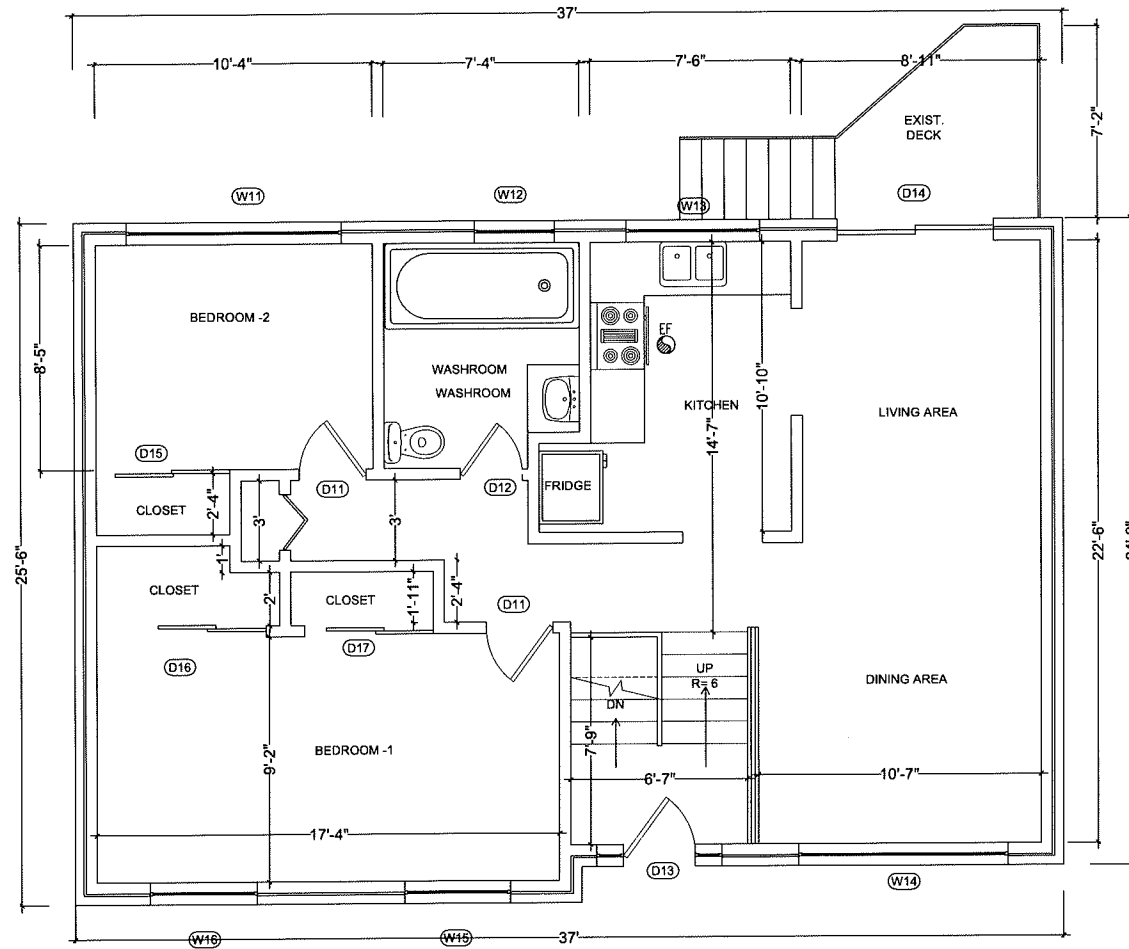
PROPOSED HEATED
EXTENSION AT 8
NEWSTEAD CRESCENT
BRAMPTON, ON

SHEET TITLE:

EXIST.
BASEMENT PLAN

CHECKED: SS
DRAWN: GS
SCALE: 1/8" = 1'-0"
DATE: APR/23/ 2023

DRAWING:
A 1.1



EXIST. MAIN FLOOR PLAN
 MAIN FLOOR G.F.A = 919.57 ft² / 85.43 m²
 FIN. CEILING HEIGHT = 8'-0"

DOOR SCHEDULE	
DOOR	SIZE
EXIST. D11	30" X 80"
EXIST. D12	28" X 80"
EXIST. D13	32" X 80"
EXIST. D14	70" X 80"
EXIST. D15	60" X 80"
EXIST. D15	82" X 80"
EXIST. D15	64" X 80"

WINDOW SCHEDULE	
WINDOW	SIZE
EXIST. W11	96" X 42"
EXIST. W12	36" X 34"
EXIST. W13	60" X 34"
EXIST. W14	53" X 44"
EXIST. W15	48" X 66"
EXIST. W16	48" X 42"

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 MISSISSAUGA, ON L4T 1G5
 TEL : 416-627-4100
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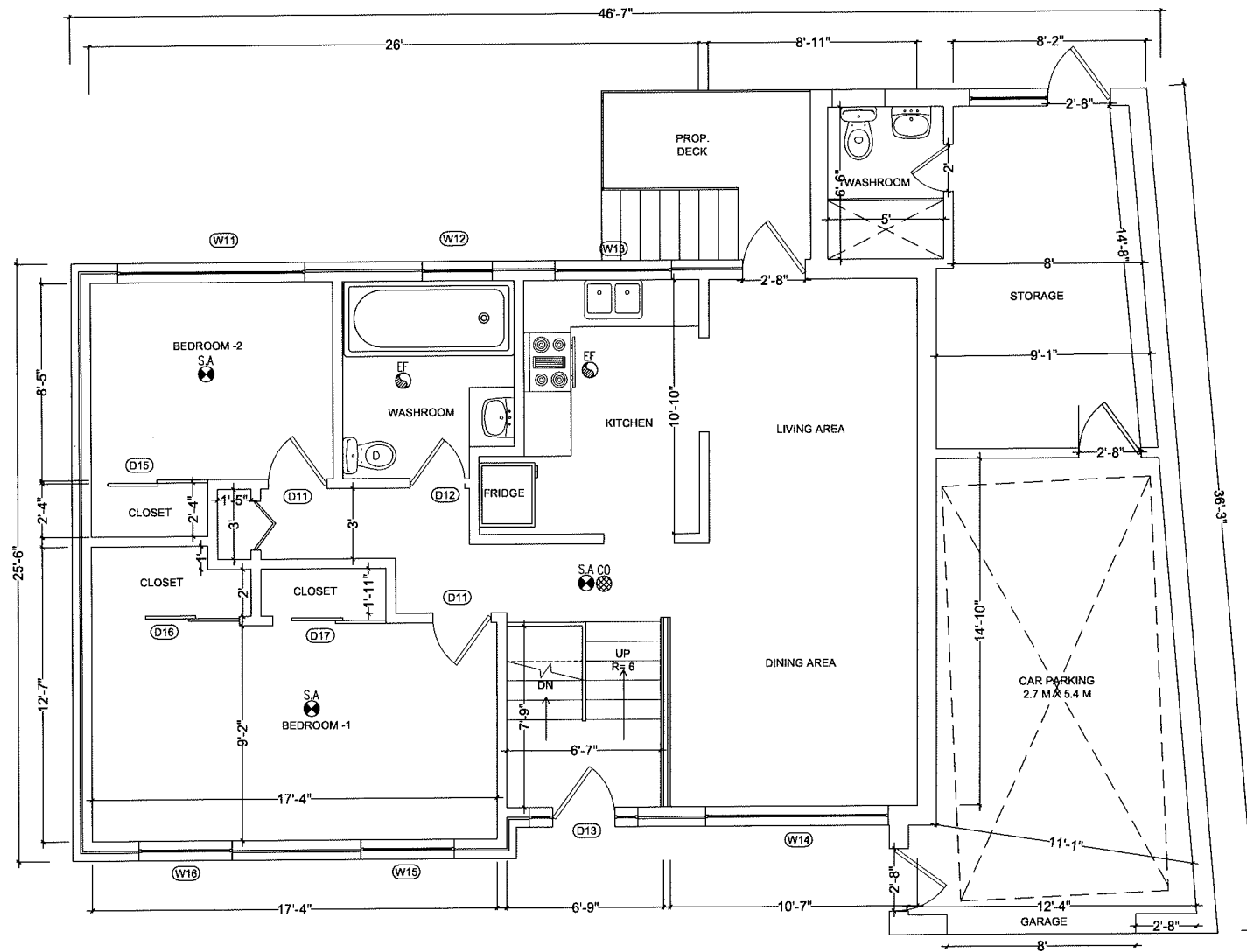
CONSULTANT:

PROJECT:
 PROPOSED HEATED
 EXTENSION AT 8
 NEWSTEAD CRESCENT
 BRAMPTON, ON

SHEET TITLE:
 EXIST. MAIN
 FLOOR PLAN

CHECKED: SS
 DRAWN: SS
 SCALE: 1/8" = 1'-0"
 DATE: APR/23/ 2023





PROP. MAIN FLOOR PLAN

MAIN FLOOR G.F.A. = 919.57 ft² / 85.43 m²
FIN. CEILING HEIGHT = 8'-0"

DOOR SCHEDULE	
DOOR	SIZE
EXIST.D11	30" X 80"
EXIST.D12	28" X 80"
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SEAL:



NO.	DESCRIPTION	DATE
2	REVISION 1	NOV 16, 2023
1	ISSUED FOR BUILDING PERMIT	OCT 08, 2023

ENGINEER:

Mechways Inc.
ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON, L4T 1G5
TEL : 416-637-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

PROPOSED HEATED
EXTENSION AT 8
NEWSTEAD CRESCENT
BRAMPTON, ON

SHEET TITLE:

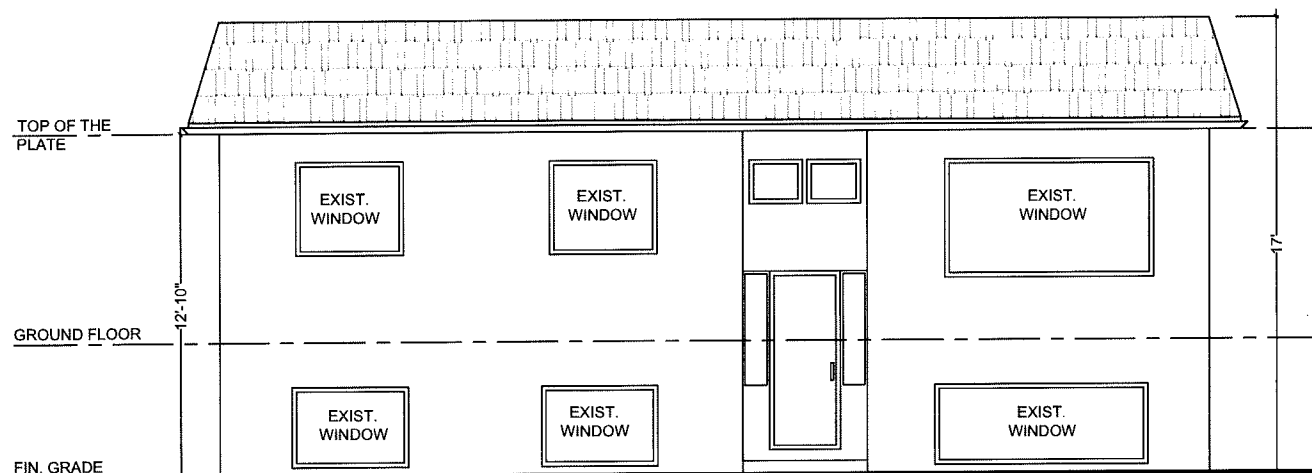
PROP. MAIN
FLOOR PLAN

CHECKED: SS
DRAWN: SS
SCALE: 1/8" = 1'-0"
DATE: MAY/19/2023



DRAWING:

A 1.3



EXIST. FRONT SIDE ELEVATION

GENERAL NOTES:


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CONSULTANT:

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NEWSTEAD CRESCENT
BRAMPTON, ON

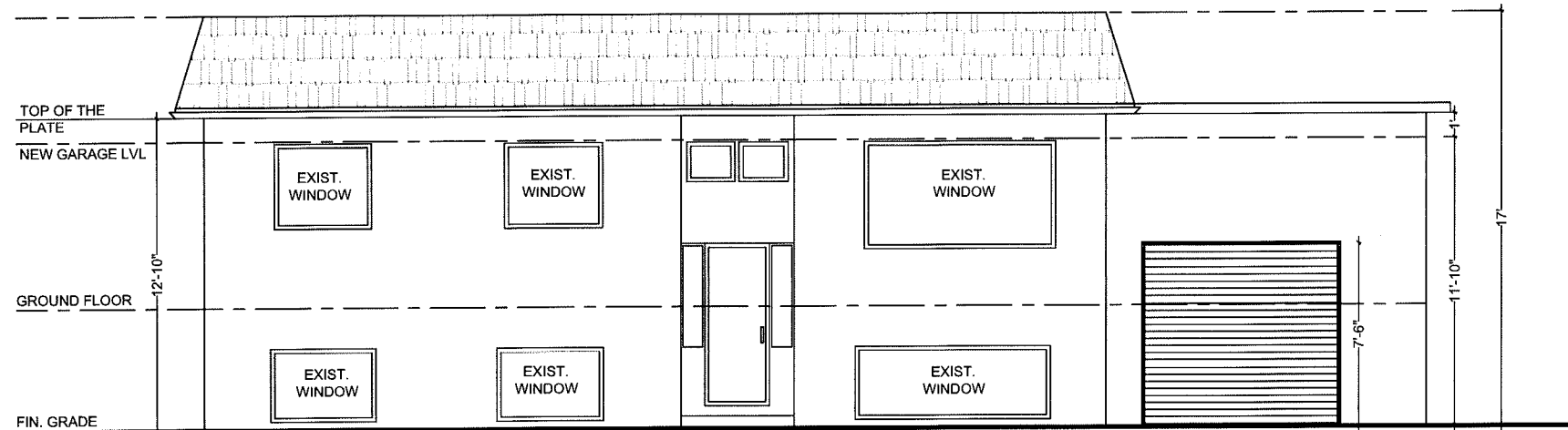
SHEET TITLE:

EXIST. FRONT
ELEVATION

CHECKED: SS
DRAWN: GS
SCALE: 1/8" = 1'-0"
DATE: APR/19/ 2023

DRAWING:

A 2.1



PROP. FRONT SIDE ELEVATION

GENERAL NOTES:

DRAWINGS ARE TO BE READ NOT SCALED. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING THE WORK. THE DRAWINGS AND DOCUMENTS PROVIDED HERE WITHIN ARE THE EXCLUSIVE PROPERTY OF MECHWAYS INC. REPRODUCTION OF THE DOCUMENTS PROVIDED IS PROHIBITED WITHOUT THE CONSENT OF THE DESIGNER. ALL DESIGN AND CONSTRUCTION DOCUMENTATION ARE FINAL UNLESS REVISED BY THE DESIGNER. IF ANY DISCREPANCIES ARE DISCOVERED HERE WITHIN, THE DESIGNER SHALL BE NOTIFIED.

SEAL:



2	REVISION 1	NOV 16, 2023
1	ISSUED FOR BUILDING PERMIT	OCT 08, 2023
NO.	DESCRIPTION	DATE

ENGINEER:



Mechways Inc.

ADDRESS : 2751 THAMESGATE DRIVE
MISSISSAUGA, ON. L4T 1G5
TEL : 416-657-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

PROJECT:

PROPOSED HEATED
EXTENSION AT 8
NEWSTEAD CRESCENT
BRAMPTON, ON

SHEET TITLE:

PROP. FRONT
ELEVATION

CHECKED: SS

DRAWN: SS

SCALE: 1/8" = 1'0"

DATE: APR 19/ 2023

DRAWING:

A 3.1

