



NOV 2 7 2023

CITY CLERK'S OFFICE

For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete)

FILE NUMBER: A - 2023 - 0

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

**APPLICATION Minor Variance or Special Permission** (Please read Instructions) NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee. The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004. Pradeep Kumar Jaiswal 1. Name of Owner(s) Address 8 Newstead Crescent, Brampton, ON L6V 2A7 Phone # Fax# 437 238 3585 pradeep.jaiswal2020@gmail.com **Email** Valiuddin Mohammed 2. Name of Agent Address 2751 Thamesgate drive, Mississauga, ON L4T 1G5

Phone #	416 627 4100 Fax #	
Email	info@mechways.com	y
	nd extent of relief applied for (variances requested):	
the prop bylaw re	relief from the by-law to permit a minimum interior side yard setback cosed heated extension on the ground floor attached to the garage. we equires a minimum interior side yard setback of 1.80 m. Thereby reques of 1.19m in this instance.	hereas the
	not possible to comply with the provisions of the by-law? the zoning bylaw, a minimum interior side yard setback of 1.80 m is re	equired.
		equired.
As per ti	the zoning bylaw, a minimum interior side yard setback of 1.80 m is respect to the setback of 1.80 m is respect to the subject land:	equired.
As per ti	the zoning bylaw, a minimum interior side yard setback of 1.80 m is respect to the subject land:  ber 134	equired.
As per ti	the zoning bylaw, a minimum interior side yard setback of 1.80 m is respect to the subject land:    ber   134	equired.
Legal Des Lot Numb Plan Num Municipa	escription of the subject land: ber 134 mber/Concession Number al Address  8 Newstead Crescent, Brampton, ON L6V 2A7	equired.
Legal Dec Lot Numb Plan Num Municipa	the zoning bylaw, a minimum interior side yard setback of 1.80 m is respect to the subject land:    ber 134	equired.
Legal Des Lot Numb Plan Num Municipa	the zoning bylaw, a minimum interior side yard setback of 1.80 m is respect to the subject land:    ber 134	equired.

7.	Access to the subject land is by:
	Provincial Highway
	Municipal Road Maintained All Year
	Private Right-of-Way

Seasonal Road
Other Public Road
Water

8.

Particulars of all buildings and structures on or proposed for the subject

			ground floor area, gross floor area, number of tc., where possible)
	EXISTING BUILDING	S/STRUCTURES on t	the subject land: <u>List all structures (dwelling, shed, gazebo, etc.)</u>
	Single dwelling ra	nised bungalow with and existing outdo	n GFA of 163.93 sq.m, total height of 7.0 m, width 7.77 por swimming pool and single storey storage garage of
		NGS/STRUCTURES o	
	m. width 7.77 m. le	•	round floor with GFA 203.64 sq.m, total height of 7.0
9.		_	ructures on or proposed for the subject lands: ir and front lot lines in <u>metric units</u> )
	EVICTING		
	EXISTING Front yard setback	9.64 m	
	Rear yard setback	13.61 m	
	Side yard setback	1.40 m	
	Side yard setback	3.56 m	And the state of t
	PROPOSED		
	Front yard setback	8.92 m	
	Rear yard setback Side yard setback	13.27 m 1.40 m	4.00 - 100
	Side yard setback	0.61 m	
10.	Date of Acquisition	of subject land:	JUNE 2022
11.	Existing uses of sub	oject property:	Single Dwelling Unit
12.	Proposed uses of se	ubject property:	Single Dwelling Unit
13.	Existing uses of abo	utting properties:	Residential
14.	_		ructures on subject land: approx. 1973
		<b>.</b>	-
15.	Length of time the e	existing uses of the s	ubject property have been continued: approx. 50 years
6. (a)	What water supply i Municipal	is existing/proposed? ] ]	Other (specify)
(b)	What sewage dispo Municipal	esal is/will be provided	d? Other (specify)
(c)	What storm drainag	ge system is existing/	proposed?
(- )	Sewers Ditches		Other (specify)

11.	subdivis	ibject prope ion or cons	erty the subject?	ect of an a	application u	nder the Plan	nning Act, for	approval of a plan of
	Yes [		No 🗹					
	If answe	r is yes, pro	vide details:	File #	¥		Status	
18.	Has a pr	e-consultat	ion applicati	on been fil	led?			
	Yes		No X					
19.	Has the	subject pro	perfy ever he	en the su	hiect of an a	anlication for	minor varianc	-2
	Yes	T	No 🖾			Phiiramon ioi	minor varianc	e:
			40000000000		Unknown	<u> </u>		
	ii answe	r is yes, pro	vide details:					
	File File		<ul><li>Decision</li><li>Decision</li></ul>		700		lief	
	File		Decision				lief	
					Siç	nature of App	licant(s) or Auth	norized Agent
DAT	ED AT THE	City		OF	Mississauga		×	
THIS	S 12	DAY OF	May		20 23			
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			aw Classific	ation:				
	This ap	plication has	been review	ed with res	pect to the va	ariances requi	red and the resu	ults of the
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		DAT	E RECEIVED	<u>Nov</u>	127,	2023	)	,
			tion Deemed Municipality		/	rard		Revised 2022/02/17
		_,						

## **APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 8 Newstead Crescent, Brampton, ON L6V 2A7
I/We, Pradeep Kumar Jaiswal
I/We, Pradeep Kumar Jaiswal  please print/type the full name of the owner(s)
the undersigned, being the registered owner(s) of the subject lands, hereby authorize
Valiuddin Mohammed
please print/type the full name of the agent(s)
to make application to the <b>City of Brampton Committee of Adjustment</b> in the matter of ar application for <b>minor variance</b> with respect to the subject land.  Dated this 12 day of _May, 20 23
Pradeep Kumar Jaiswal
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)
Pradeep Kumar Jaiswal
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

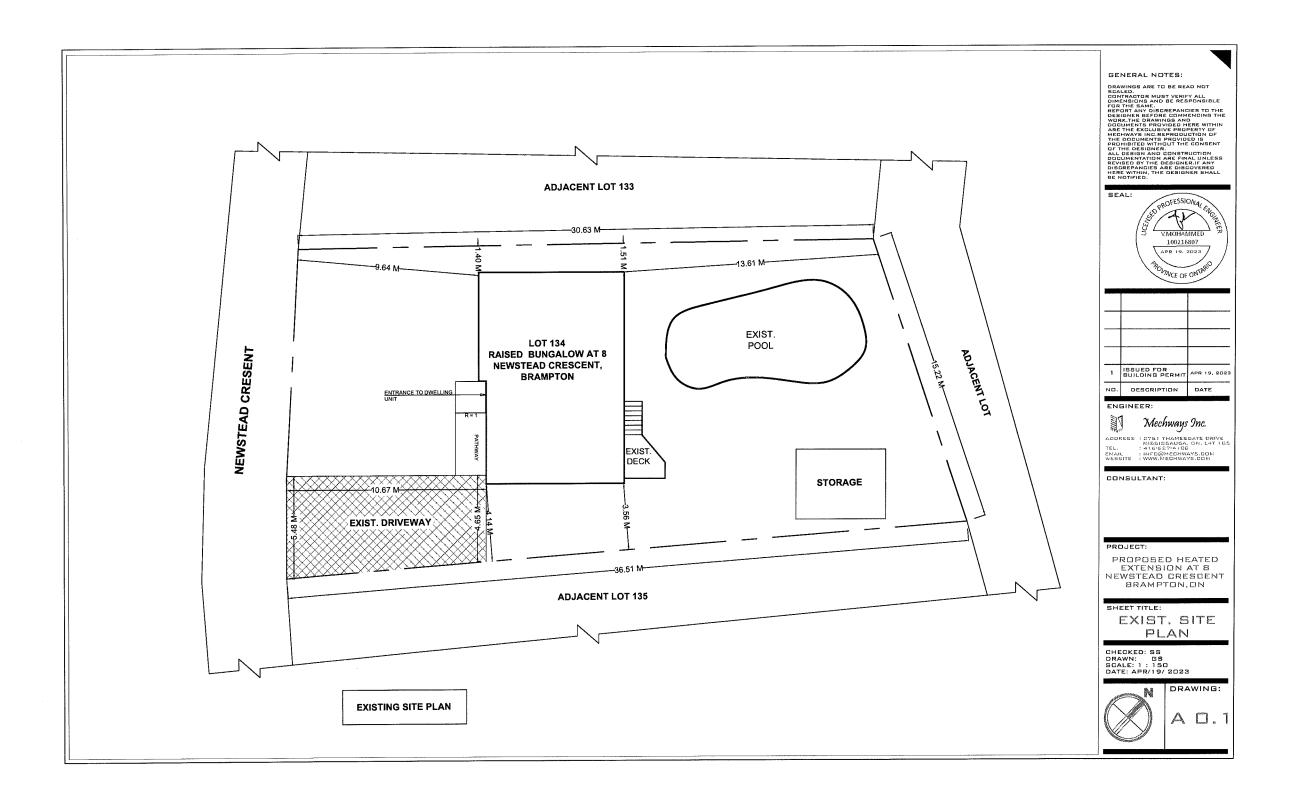
## **PERMISSION TO ENTER**

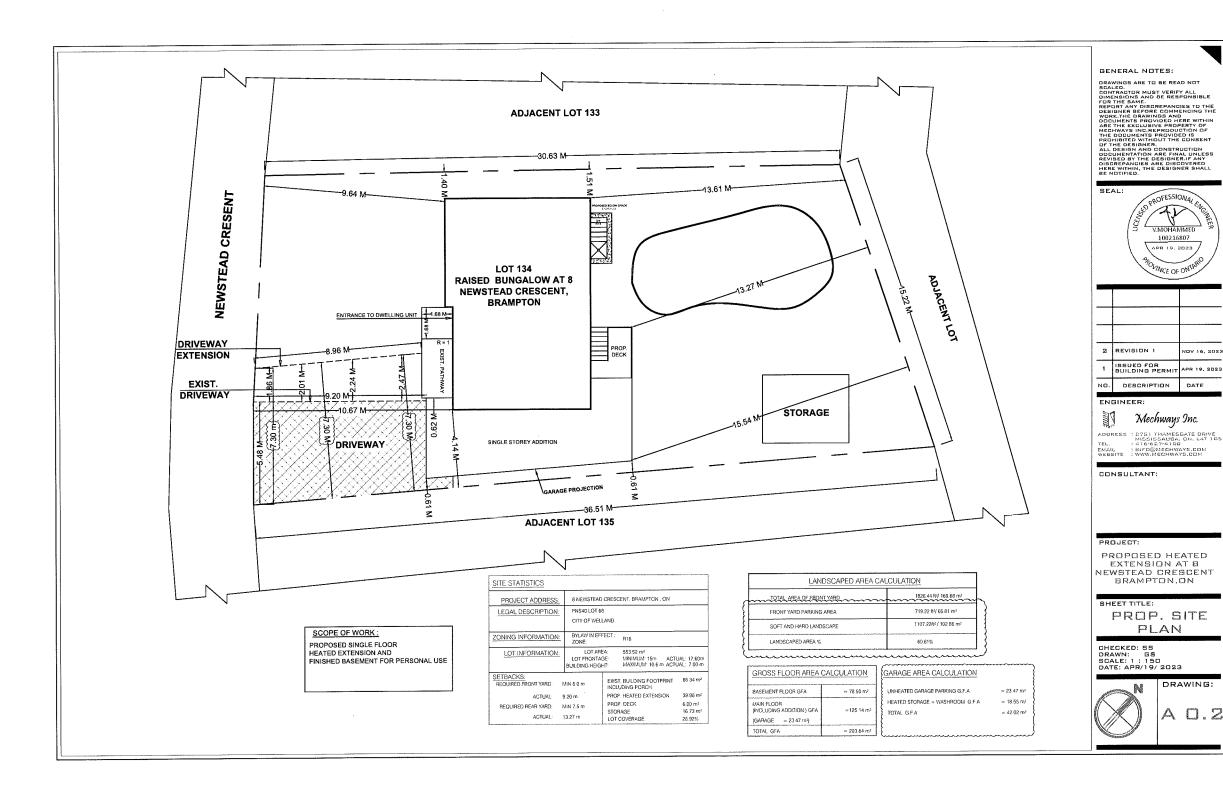
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

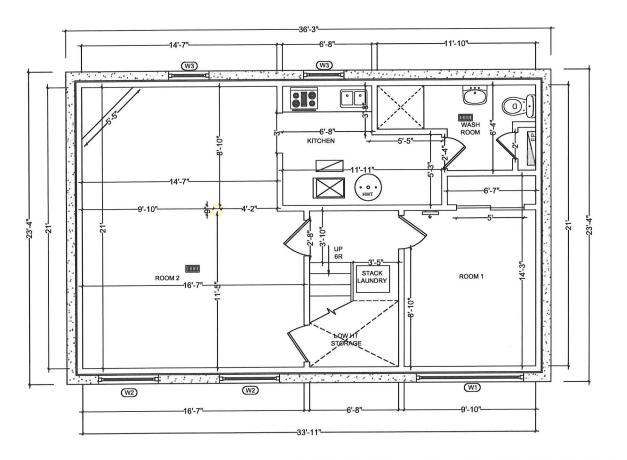
LOCATI	ON OF THE SUBJECT LAND: 8 Newstead Crescent, Brampton, ON L6V 2A7
I/We,	Pradeep Kumar Jaiswal
	please print/type the full name of the owner(s)
the City the abo	ersigned, being the registered owner(s) of the subject land, hereby authorize the Members of of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon we noted property for the purpose of conducting a site inspection with respect to the attached ion for Minor Variance and/or consent.
Dated th	ni <u>s 12</u> day of May , <b>20</b> 23 .
Pr	radeep Kumar Jaiswal
(sigr	nature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)
Pradeep K	umar Jaiswal
	(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

# NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION







### **EXISTING BASEMENT PLAN**

BASEMENT G.F.A

= 845.83 ft<sup>2</sup> / 78.50 m<sup>2</sup>

CEILING HEIGHT U/S OF JOISTS CEILING HEIGHT U/S OF DUCT

= 7' - 6" = 6' - 9"

- CEILING HEIGHT SHALL NOT BE LESS THAN 6'-5" OVER ALL REQUIRED ROOM AREAS, UNDER BEAMS, DUCTS AND ANY LOCATION NORMALLY USED AS MEANS OF EGRESS
- CONTRACTOR TO PROVIDE THE DESIGNED WINDOW OR ANY EQUIVALENT STANDARD SIZE AVAILABLE IN MARKET

WINDOW SCHEDULE				
WINDOW#	WINDOW SIZE	WINDOW TYPE		
EXIST. W1	96" x 34"	DOUBLE SLIDER		
EXIST. W2	54" X 36"	DOUBLE SLIDER		
EXIST. W3	36" X 18"	DOUBLE SLIDER		

#### GENERAL NOTES:

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1	ISSUED FOR BUILDING PERMIT	APR 19, 202
NO.	DESCRIPTION	DATE

#### ENGINEER:



## Mechways Inc.

ADDRESS: 2751 THAMESGATE DRIVE
MISSISSAUGA, DN. L4T 165
TEL. : 416-627-4100
EMAIL : INFO@MECHWAYS.COM
WEBSITE: WWW.MEDHWAYS.COM

#### CONSULTANT:

#### PROJECT:

PROPOSED HEATED EXTENSION AT B NEWSTEAD GRESCENT BRAMPTON,ON

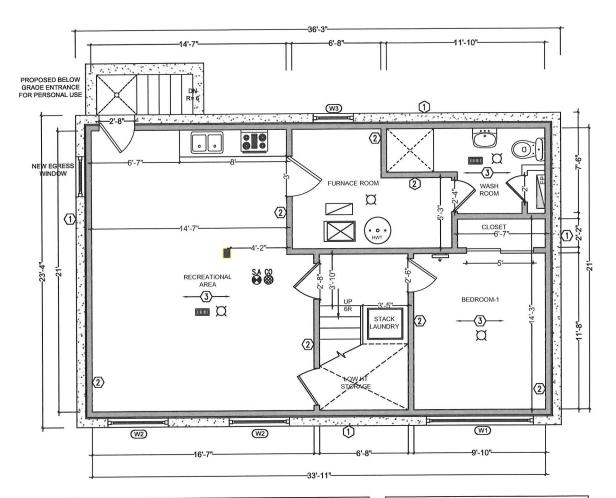
### SHEET TITLE:

EXIST. BASEMENT PLAN

CHECKED: SS DRAWN: GS SCALE: 3/16" = 1'0" DATE: APR/19/ 2023







### PROP. BASEMENT PLAN

BASEMENT G.F.A

= 845.83 ft<sup>2</sup> / 78.50 m<sup>2</sup>

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= 7' - 6" = 6' - 9"

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WINDOW#	WINDOW SIZE	WINDOW TYPE
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EXIST. W2	54" X 36"	DOUBLE SLIDER
EXIST. W3	36" X 18"	DOUBLE SLIDER

### **LEGEND** EXISTING FOUNDATION WALL (8" THICK CONCRETE WALL, MOISTURE BARRIER, 2x4 STUDS @ 16" O.C., EXISTING INSULATION, 1/2" GYPSUM DRYWALL JOINTS TAPED AND SEALED AND PAINTED) DRY WALL (WOOD FRAMED WALL CONSISTING OF 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" DRY WALL ON BOTH SIDES, JOINTS TAPED AND SEALED. WATER RESISTANT GWB ON BATHROOMS WALLS.) SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT AND COMMON AREAS IN CONFORMANCE WITH OBC 9.10.19. SMOKE ALARM SHALL BE WIRED AND INTERCONNECTED FOR THE ENTIRE BUILDING CARBON MONO OXIDE ALARM **NEW/ EXISTING HORIZONTAL SEPARATION 15** MINUTE F.R.R (EXISTING 1/2" GYPSUM BOARD CEILING) EXHAUST FAN100 CFM FOR KITCHEN AND 50 CFM FOR WASHROOM SAR (SUPPLY AIR REGISTER) 10" x 4" [1111111] RAG (RETURN AIR GRILLE) 12" x 6" Ø SUPPLY AIR REGISTER} 10" x 4" ON WALL 2-2"x8" WOOD LINTEL & 1-3.5"x3.5"x0.25" STEEL LINTEL. MINIMUM BEARING OF STEEL LINTEL 150 mm EACH SIDE. MINIMUM BEARING OF WOOD LINTEL 90 mm ON EACH SIDE

#### GENERAL NOTES:

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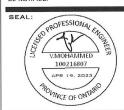
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2	REVISION 1	NOV 16, 20
1	ISSUED FOR BUILDING PERMIT	APR 19, 20
NO.	DESCRIPTION	DATE

### ENGINEER:



CONSULTANT:

#### PROJECT:

PROPOSED HEATED EXTENSION AT B NEWSTEAD CRESCENT BRAMPTON, ON

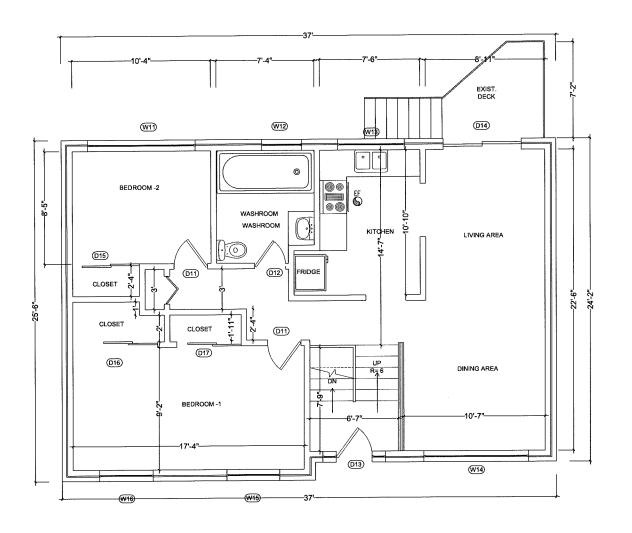
SHEET TITLE:

EXIST. BASEMENT PLAN

CHECKED: SS DRAWN: GS SCALE: 1/8" = 1'0" DATE: APR/23/ 2023



N DRAWING:



### **EXIST. MAIN FLOOR PLAN**

MAIN FLOOR G.F.A = 919.57 ft<sup>2</sup> / 85.43 m<sup>2</sup> FIN. CEILING HEIGHT = 8'- 0"

	DOOR SCHEDULE		
	DOOR	SIZE	
	EXIST.D11	30" X 80"	
	EXIST D12	28" X 80"	
	EXIST.D13	32" X 80"	
Ì	EXIST.D14	70" X 80"	
ĺ	EXIST.D15	60" X 80"	
ĺ	EXIST.D15	82" X 80"	
į	EXIST.D15	64" X 80"	

WINDOW SCHEDULE		
WINDOW	SIZE	
EXIST. W11	96" X 42"	
EXIST.W12	36" X 34"	
EXIST.W13	60" X 34"	
EXIST.W14	53" X 44"	
EXIST.W15	48" X 66"	
EXIST.W16	48" X 42"	

#### GENERAL NOTES:

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	1	ISSUED FOR BUILDING PERMIT	APR 19, 20
	NO.	DESCRIPTION	DATE

#### ENGINEER:



## Mechways Inc.

ADDRESS: 2751 THAMESGATE DRIVE
MISSISSAUGA, ON, L47 165
TEL. (416-627-4100
WEBSITE: WWW.MECHWAYS.COM

#### CONSULTANT:

#### PROJECT:

PROPOSED HEATED EXTENSION AT B NEWSTEAD GRESGENT BRAMPTON,ON

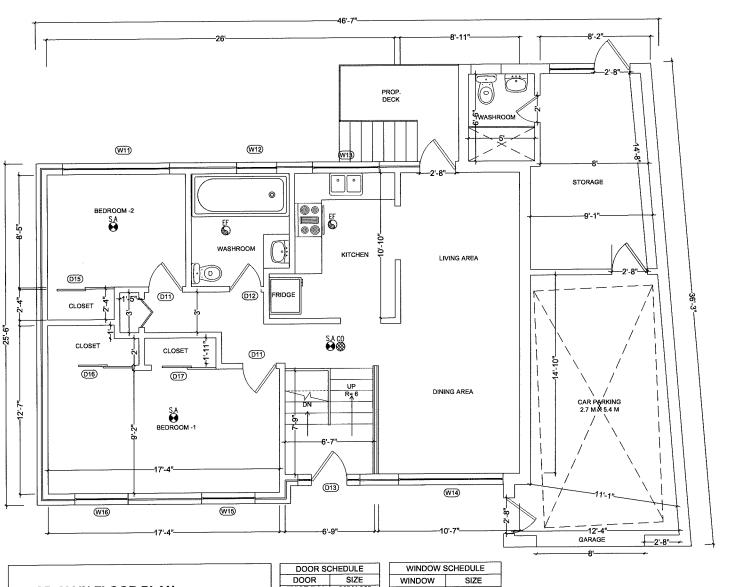
#### SHEET TITLE:

EXIST. MAIN FLOOR PLAN

CHECKED: 88 DRAWN: GS SCALE: 1/8" = 1<sup>1</sup>0" DATE: APR/23/ 2023



DRAWING: 1.2



### PROP. MAIN FLOOR PLAN

= 919.57 ft<sup>2</sup> / 85.43 m<sup>2</sup> MAIN FLOOR G.F.A FIN. CEILING HEIGHT = 8'- 0"

L	DOOR SCHEDULE		
Γ	DOOR	SIZE	
Ī	EXIST.D11	30" X 80"	
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2	REVISION 1	NOV 16, 2023
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ΝО.	DESCRIPTION	DATE

#### ENGINEER:



## Mechways Inc.

ADDRESS : 2751 THAMEDGATE DRIVE
MISCISSAUGA, ON, L4T LES
TEL. : 416-627-4100
EMAIL : INFO@MEDHWAYS.DOM
WEBSITE : WWW.MECHWAYS.DOM

CONSULTANT:

### PROJECT:

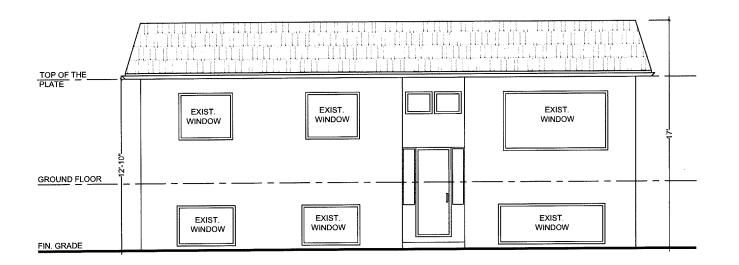
PROPOSED HEATED EXTENSION AT B NEWSTEAD CRESCENT BRAMPTON,ON

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PROP. MAIN FLOOR PLAN

CHECKED: SS DRAWN: GS SCALE: 1/8" = 1'0" DATE: MAY/19/ 2023





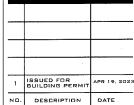
**EXIST. FRONT SIDE ELEVATION** 

#### GENERAL NOTES:

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#### ENGINEER:



## Mechways Inc.

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MESSIESAUGA, ON. L47 165
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WESSIE: : WWW.MECHWAYS.COM
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CONSULTANT:

#### PROJECT:

PROPOSED HEATED EXTENSION AT 8 NEWSTEAD GRESCENT BRAMPTON, ON

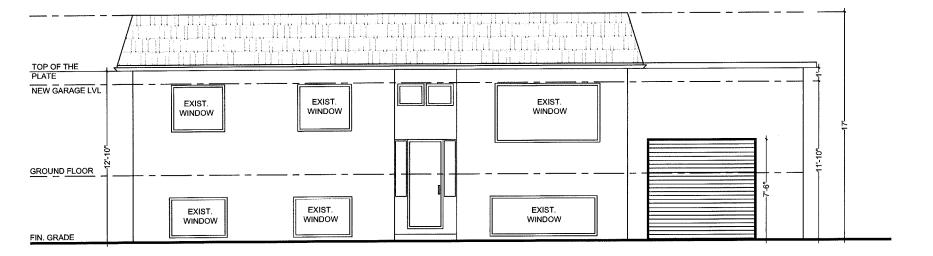
SHEET TITLE:

EXIST. FRONT ELEVATION

CHECKED: SS
DRAWN: GS
SCALE: 1/8" = 1'0"
DATE: APR/19/ 2023

DRAWING:

A 2.1



PROP. FRONT SIDE ELEVATION

#### GENERAL NOTES:

GENERAL NOTES:

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2	REVISION 1	NOV 15, 2023
1	ISSUED FOR BUILDING PERMIT	DCT 08, 2023
NO.	DESCRIPTION	DATE

#### ENGINEER:



ADDRESS : 2751 THAMESDATE DRIVE MISSISSAUGA, DN. L4T 165
TEL. (416-627-4100
EMAIL INFO@MEDHWAYS.DOM WEBSITE : WWW.MECHWAYS.DOM

CONSULTANT:

### PROJECT:

PROPOSED HEATED EXTENSION AT 8 NEWSTEAD CRESCENT BRAMPTON,ON

SHEET TITLE:

PROP.FRONT ELEVATION

CHECKED: SS DRAWN: GS SCALE: 1/8" = 1'0" DATE: APR/19/ 2023

DRAWING:

A 3.1

#### PART 1 - WORKING DRAWING NOTES:

1.1.1 EXPENSION DIVIDENT AND CONTRACT ALL NOW AND DISTING CONCRIDED AND DIRECTOR AT JOS STEEPING COMPANION WITH DIVIDENCE AND SECRECIATION RIGHT TO SECRECA AND EXAM OF AND DIVIDENCE CONTRICTION, INCASE OF ANY DISCREPANCIES AND JOS SECRECIATIONES DIVIDENT HEADWRITTER WITHOUT AND THE AND THE OFFICE DIVIDENT WITH HOUSE CONTRICTIONS DIVIDENT SHALL DEARNING CONTRICTIONS SHALL DEARNING CONTRICTIONS SHALL DEARNING CONTRICTIONS SHALL DEARNING CONTRICTIONS OF ANY DISCREPANCIES ON EPIDIORS TO THE ANTES SHAVEN.

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THE DESIGNATION REPRESENTATIVE.

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1.1.14 DE COMMUNICATION SHALL INSTITUTE AND ALL DATE COMMUNICATION OF THE COMMUNICAT

ACHTECT. 1.78 THE CONTRACTOR SHALL RETAIN A CENTIFIED SURVEYOR TO CHALK OUT ALL PROPERTY LINES, BUILDING ISOLANDANIES AND LIMITATIONS AND COMPINA GRADES OF THE LOT.

AND COMENT GRANDS OF THE LOT.

1.5 MICH TO CONSENTE CONTROL OF SHALL DESCRIPTION OF ALL AUTHORITIES MAYON AURESCINCTO OF THE MINISTER SHALL DESCRIPTION OF ALL AUTHORITIES MAYON AURESCINCTO OF THE MINISTER SHALL DESCRIPTION OF THE MINISTER SHALL

PROJECT INSURANCE LOCKINGS OF INSPECTIONS AND AMMOUNT COMMANDICTORY COMMAND WAS COMMANDED. TO CREEK ALL DOTTES AND COMMANDICTORY COMMANDICATION COMMANDICATI

#### 1.2. SUBSTITUTIONS:

12.1. I REFERENCE TO MARRIS, RIMAD, MODELS, ETC., IS TO ESTABLISH THE TYPE AND QUALITY DESPITES SUBSTITUTION OF ACCEPTABLE EXAMINATES WILL BE PROMITTED FAMILY OF THE MACHINET AND OWNER MODELS THE DISCORDING ORDERMASS).

12.1.2.1 THE ACCEPTAGE, CATHOLA SE THO OWNER DESCONDATION AND FOR THE COSTON OF THE MODELS, CHARLES SOLD, AUTHORITY FAMILY OF THE ACCEPTAGE OF THE MODELS OF THE AUTHORITY FAMILY OF THE MACHINET AND THE MACHINET AND THE MACHINET AND THE MACHINET AND THE OWNER AND THE OWNER OF THE MACHINET AND THE OWNER AND THE OWNER OF THE OWNER OWNER.

#### 1.3.1 SHOP DRAWINGS:

1.3.1.1 SHOP DRAWNOS SHALL BE SUBMITTED FOR ALL EQUIPMENT AND MATERIALS WHICH MUST INTERFACE AND COORDINATE WITH OTHERS, MARTHER DETAIL FOLD IN TO

13.11 SEP ORNAMINA SHILL SE SUMMITTED FOR ALL EXCENSION FOR ANY SHIP AND ANY SHIP ANY AND ANY SHIP ANY S

13.4 ML MAY TEAP TO THE AREA OF CONSTRUCTION AND MATERIAL STORAGE AREA ADJACENT TO THE AREA OF CONSTRUCTION AND MATERIAL STORAGE AREA ADJACENT TO THE AREA OF CONSTRUCTION (LOCATION) MAY LIKE OCCORROWANT OWNER. AND ADMINISTRATION PROVIDED FROM TO CONMENDE AND OF WORK, 14.2 THE CONSTRUCTION SHALL MAKE RECENT CONSCIENCES OF DESIGNAL OFFICIAL STORAGE AND MATERIAL STATES, AND SHALL STORAGE ADMINISTRATION AND ADMINISTRATION ADMINISTRATION AND ADMINISTRATION AND ADMINISTRATION ADMINIS

### 1.6. ALL CONSTRUCTION SHALL MEET WITH THE LAYEST REQUIREMENTS OF PROCESSION IN THE ASSECTED AREA.

1.5.2 ZONING RESTRICTIONS AND COMMITTEE OF ADJUSTMENT DECISIONS.

1.5.4 ONTARIO REGULATIONS UNDER THE HEALTH AND PROMOTION ACT.

SPECIFICATIONS RETHE TECHNICAL METHODS TO USE MATERIALS AND THE SAFEST SYSTEM TO INSTALL DREAKAING OF MANGING MATERIALS AND THE SAFEST SYSTEM TO INSTALL DREAKAING OF MANGING MATERIALS AND THE SAFEST SYSTEM TO INSTALL DREAKAING OF

5.1. DOUG TOW IN AN EXAMINACY WITH CREATER FRANK DETERM INCOMES DEVIALED, AND ARE STRONGED SHOWN THE GENERAL DOUGHOUSE WHICH DEPOSED TO GOOD, MEMPY ALL CORNOR BEFORE INCOMES WITH THE PROLETAN ON HOR WAS IN ANY AREA, DESCRIPTION OF DOORS, WINDOWN, CAMPETTY, FRANKS, PARTICINES, ON ANY OTHER MODESTRUCTURAL ITEMS MAY PROCEED AS INSCRIPTIONS. OF DEPOSE ANY THE THROUGH AND ANY AREA.

WHERE DECREMENDES MOCKES BROCKES BROCKES THE CONTRIBUTION OF THE ACCUSTOMENTAL TO USE ACCUSTOMENTAL MANUAL PROPERTY AND ACCUSTOMENT ACCUSTOMENT ACCUSTOMENT ACCUSTOMENT ACCUSTOMENT ACCUSTOMENT AND ACCUSTOMENT AC

THE ASSESSMENT OF THE PRODUCTION OF THE PRODUCTI

\$1.1 ALL FRES, DUTIN AND BUSS DOCTOR WHICH PRETENTS THE CONSTRUCTION SHALL BE RETAINED SO AS TO MANDAM HE FIRST RESIDENCE WHICH PRESENT AND AND SHALL BE RETAINED SO AS TO MANDAM HE FIRST RESIDENCE WHICH AND AND SHALL BE RETAINED SO AS TO MANDAM HE FIRST RESIDENCE WHICH AND SHALL BE RESIDENCE WHICH AND SHA

8.1. WOOD

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READ AND INTELLIS SHALL BE INFOCUS FOR SHIP OF SHIP ETHING WITH COMPRETITION OF THE SHIP ETHINAND.

READ AND THE SHIP ETHIN OF THE SHIP ET

2.3.2 CONTENTE:
A SHALL CORP AT WITH CAS JASS SERES INCL. COLD WIGHTER CONCIDETING.
BE INSULATION OF THE PROPERTY OF CONCIDENT CONCIDENTS. SHAPA INC. 33 MFA FOR LOADING DOCK AND FOR ALL EXPOSED CONCIDENT ATTER 25 DAYS WITH ARE
BEINDRAMM COMPRESSING STRENGTH OF UNREPROCECD CONCIDENTS. 28 MFA MFA FOR LOADING DOCK AND FOR ALL EXPOSED CONCIDENT ATTER 25 DAYS WITH ARE

THE MANUFACTURE STEEL SHAPE AND ADDRESS OF STRUCTURE, STEEL QUALITY AS STRUCTURE STEEL AND ADDRESS OF STRUCTURE, STEEL QUALITY AS STRUCTURE AS STRUCTURE AS STRUCTURE AS STRUCTURE AS STRUCTURE AS A STRU

TIS OWN AS I WE LOUD DEFINITION SHALL HET ROOMS IN DOF SEAM, TOTAL LAND DEFINITIONS SHALL NOT EXCERT 1000 OF SMAL.

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3.2.4. MINIMUM STRUCTURAL BEARING: - PROVIDE 2 SOLID MASONRY BLOCKS RELOW BEARING)

A, WOOD JOST: 2"
B) WOOD BRANK 4"
C) STEEL BRANK 5"
D) STEEL LAFTEL: 5"
B) OWS.1.2" ON MASONEY & 2 12" ON STEEL & SHALL HAVE 4" DEEP SHOES
B) OWS.1.2" ON MASONEY & 2 12" ON STEEL & SHALL HAVE 4" DEEP SHOES

3.1.6 REDIONNON CONSTRUCTION.
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SEL MANORY BLOCKS.

A) SHALL INVEST TOO THE ACCUSAGE SECRETOR FOR AN OCCURSE.

A) SHALL INVEST TOO THE ACCUSAGE SECRETOR FOR AN OCCURSE.

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9.2.4. PUBLIC STAIRS: A) TREADS AND RESESS SHALL HAVE A UNIFORM RISE AND RUN IN ANY ONE FLIGHT.

3.2.8, CONCRETE ETEPS AND RAMPS: A) CONCRETE ETEPS ON GRADE: A TRCK CONCRETE RENE/ORCED WITH \$3 BAR AT 8' ORC ON 6 MALPOLYETHYLENE ON IF GRAVEL ON COMPACTED SOL.

SHALE BEFORENCE ON.
AN ILLEGATOR SENDENCE LESS TRUM HEGGER FUNDER DE SOMM OF STARFLIGHTS
AN ILLEGATOR SENDENCE (MORE) CONTROLLEGATOR SENDENCE, SOMM OF STARFLIGHTS
CHARLE DOCUMENT DESCRIPTION, SOMMEN (SOMMENC) CHARLES AND SOMMEN MAX PROJECTION, MOUNTING SHALL BE SPACED AT 1 200MM OC MAX.
NOTICE AT LEST OF MOUNTAIN, SHALL SENDEN DESCRIPTION, INFO SOMMEN DESCRIPTION TO FOR PAID BOTTOM OF STARFOR RAMP

25.1 ILLINOS.

SIGNERARIA ESPECIA COMPT. WITH COSC 4.1.0.1

BIGLASS ROUMED SPOLD DOWNT WITH COSC 54.10.2 MS ROUMDY DATED JARS 17, 2012 AND COSC AFFICLES 4.1.3.1, 4.1.3.17, AND 4.3.8.1

BIGLASS ROUMDES SPOLD DOWNT WITH COSC 54.10.2 MS ROUMDY DATED JARS 17, 2012 AND COSC AFFICLES 4.1.3.1, 4.1.3.17, AND 4.3.8.1

"PROBLEMENT AS DEVOND HIT AMERICAN."

"PROBLEMENT AS DEVOND HIT

### 9.1.12. PLUMPHO: A) PROVICE INTERIOR ROOF DIVANING ONLY, NO EXTERIOR RAIN LEADERS, UNLESS OTHERWISE MENTIONED. B) PROVICE A CHASE FOR PLUMBING UNIS INSTALLED ON EXTERIOR WALLS.

2.5.1.E. AND SPRING INTRO CHIEF OF THE CONTROL OF T

#### S.E.14. SERVICE SHAPTS:

3.2.16. SHOWERS BATHROOMS & WET AREAS: IN COMMERCUL APPLICATIONS AND BASEMENTS, ALL WALL & FLOORS SHALL SE WATER PROOFED & SLOPED TO A DRAIN.

#### 3.2.18. PAINTING:

PRIME CATS.
COMEN WITH CANNOWN GENERAL STANDARDS BOARD (COSS)
CANCOGEN 1-50-(PI), WITEROR ALKYD GLOSS STAMME.
2. CANCOGEN 1-19-(PI), PRIFEROR ALKYD GLOSS STAMME.
2. CANCOGEN 1-19-(PI), PRIFEROR CHESTOR TATEST AND WITH CATEST TYPE.
3. COSES 150-(PI)-2-4-(P

9.2.17. BAND BLASTED AREAS: SHALL BE FINSHED WITH A CLEAR SEALANT.

3.2.18, EXISTING CONSTRUCTION: SULL BE ALL PASSING UNLESS OTHERWISE MENTIONED, CHECK WITH ARCHITECT.

2.1.15. WARPINCOME:
- THORRES AND DAMPINE ALL INTIMES AND DAMPINE WALL WIN
- AP CASC, SASJA, STORE WATALED FOR POSSBARE FUTURE ATTACHMENT OF THE FOLLOWING ITEMS. SEE DETAALS WILOW
- AP CASC, SASJA, STORE WATALED FOR POSSBARE FUTURE ATTACHMENT OF THE FOLLOWING ITEMS. SEE DETAALS WILOW
- FOR AND WATER CASCERS AND ASSAULT OF THE CASCERS AND AND CASES SASJA, SIGN,
- FOR A SHOWER AND ASSAULT OF CASES SASJA, SIGN,
- FOR AND AND AND ASSAULT OF CASES SASJA, SIGN,
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- FOR AND AND AND AND SAST POSSBARE CASES SASJA, SIGN,
- FOR AND AND AND AND SAST POSSBARE CASES.

8.1.10. FOUNDATION WALLS: (\$1) WALL TYPES SCHEDULE AND STRUCTURAL DRAWINGS)

3.2.1. WEIGHT TILE

FOR WEIGHT ON UNDSTURBED OR WELL COMPACTED SOIL, TOP OF THE SHALL BE BELOW THE BOTTOM OF FLOOR BLAB OR CHAINL SPACE, PROVIDE W OF CRUSHED STONE OR

ANDREY OF AND PRIMARY MAYDING. CONTAWNIG NOT MONETHW

3.1.13. GENERAL:
ALL EXTENSIN (OR EXPOSED TO EXTERIOR) WALLS, PARTITION, COLUMNS SHALL BE PROVIDED WITH ANYMOUN 1200MM DEEP FOUNDATION OR AS REQUIRED BY STRUCTURAL DRAWINGS

- MAX, 2500mm (B-Z) PORCH DEPTH, AND (B) 32 mps CONC. SLAB WITH 9% TO \$5 AR ENTRAPHENT AND WITH 15M BARS (9 & O.C. EACH WAY 10M DOWELS (9 24 O.C. ANCHORED IN FOR WALL

\$3.50 TO COME.

DE EL COSTO TRES SOCIEDADE AND STRUCTURAL DOWNWIGH.

DE EL COSTO TRES SOCIEDADE AND STRUCTURAL DOWNWIGH.

DE STRUCTURAL DE GOULDE GUE GEOTICH NOW. REPORT NO DISTRUCTURAL DEMININGS.

SE STRUCTURAL DES SOCIEDADES.

DE STRUCTURAL DEMINISTRATION DE STRUCTURAL DEMININGS.

SOCIEDADES DE STRUCTURA DE STRUCTURAL DEMINISTRATION DE STRUCTURAL DOWNWIGGS.

ORNAMA, REFL. GET GOUTICHOUR. REPORT SE APPLICADE AND STRUCTURAL DOWNWIGGS.

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OF INCIDENCE AND WILL AT THE PER CONTROLL AND THE P

ALLS ROOM SHOWN IN PROPINCE AND BOOF VEHTING UP ORS 5.15.1.5)
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A MECHANICY DI COPPOSITE ESSES OFFERNATION.

OF MITH AND TESS THAN 250 OF THE RECOMEND OFFERNATION CONTENT AT THE TOP OF THE SPACE.

OF MITH AND TESS THAN 250 OF THE RECOMEND OFFERNATION CONTENT AT THE STOTM OF THE SPACE.

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OFFERNATION CONTENT AND ASSESS OFFERNATION AND ASSESS OF THE STOTM OF THE ROOF ADMITS.

\$.2.27. FINE RATED PARTITIONS: ISSEWALL TYPES SCIEDULE AND CODE COMPLIANCE DIAGRAMS; 3.2.39. WALLB: REE WALL TYPES SCHEDULE)

3.2.19. CONCRETE BLOCK WALL (SEE WALL TYPES SCHEDULE)

BASE WHOOMS TOURS

TYPICAL WHOOMS THE PINAL OF SHORE PINAMES I PACTOMY SEASON AROUN FALED, LOW, E, OWN DOUBLE GLAZED SAFETY GLASS.

COLOURS AS INDUCTION OF MOMON'S SCHEDALE.

SUMEST SHOP COMMINGS PROCEDURED, PROMESS, GLASS THROMESS, AM SPACES, METHODS OF THE PINAL PROTECTION, SAFETY

ALL WINDOWS SHOLE OF SHORE PLANMED, AND COMMINING WITH THE VALUES RECOVERED MS 17 PRODUCTED ON AGAINST

ALL WINDOWS SHALE OF SHOPE PLANMED, AND COMMINING WITH THE VALUES RECOVERED MS 17 PRODUCTED ON AGAINST

SEE DOOR & FRAMES:

A TARROCATI AND INSTALL AS THE THE CRUONNESS STANDARDS CODINA, SPECIFICATIONS FOR COMMERCIAL STEEL DOORS AND FRAME (NAME).

AND ADDRESS OF THE COOK STANDARDS STANDARDS CODINA, SPECIFICATION OF THE COMMERCIAL STEEL DOORS AND FRAME (NAME).

THE IN PREVAIL AND STANDARDS AND STANDARDS STANDARDS COUNTY OF THE PARAMETER OF THE COMMERCIAL STANDARDS COUNTY OF THE COUNTY O

3.1. TAMORE CONTRACTIONS

1.1. TAMORE CONTRA

3.3.1. DESIGNERS AND COMBULTANTS:
1. ALL CONSILITANTS AND DESIGNERS ON PROJECT MUST BE LICENSED, INSURED AND ETHER POSSESS A CUPRENT VALID PROFESSIONAL
ENGINEERS STAND OF IR SIGN. OUTLINED AND REGISTERED, COSY OF LICENCE, INSURINCE AND BILLIAM INJURIES IN MARKES MUST BE PROVIDED TO ENGINEER STAMP OF BE CLU, COULTIED AND RECORDERED, CON' OF LEDNICE, REQUIRED, COME CLU, KAMPINE MAST RE PROVINCE TO ACHIEFET AND OWNER. BESCHARLD AND RECEIT MUST HAVE VIORONIN. 'S COMPRISATION, CON' OF W.C.D.B. INARRY MUST RE PROVIDED 2. ML COORD, TAYER SHALL, REVIEW OTHER CONSTITUTION FROM TO CONSTRUCTION FORWARDS AND WALL AFTS SHOW DRIVINGS STAMP. 3. ML COORD, TAYER SHALL, REVIEW OTHER CONSTITUTION FROM TO CONSTRUCTION FORWARD AND WALL AFTS SHOW DRIVINGS STAMP.

S. ALL COMPLITANTS SHALL REVIEW DIVERS LUXUAL AND REVIEWED BY A STRUCTURAL ENCINEER.

4. ALL TIEMS WITH PART & APPLICATION SHALL BE DESCRIBED BY A MECHANICAL ENCINEER.

5. ALL TIEMS WITH ALE CHANGUAGE CETTION. BAPLICATIONS SHALL BE DESCRIBED BY A MECHANICAL ENCINEER.

6. ALL TIEMS WITH SITE SERVICING GRANDHO BAPLICATION SHALL BE DESCRIBED BY A MECHANICAL ENGINEER.

S.S.A. REPORTS REQUIRED PRIOR TO FINAL LETTER OF CONFORMANCE BY ARCHITECT:

1. FOR THRUE PROMPERS CONTINUATION THAT STRUCTURAL TEMS AND ALL O.S.C. PART 4 ITEMS HAVE BEEN CONFORMED TO AND MEET. 1. SERVICIONAL ENGAMENTS COMPRIANTON THAT SERVICIONAL INJUSTATION AND ALL DISCUSSION AND

3. LEGITIMAL EXPRESSION OF STATEMENT THAT ALL SITE SERVICING (GALDING ITERAS HAVE SEEN CONFORMED TO, AND IMEET THE REQUIREMENTS OF THE ORIGINATION DIAL DIAL COLOR AND INCOLA, AND PRODUME, REQUIREMENTS AS FER SITE ANY APPROVAL. A PROPERTY HAVE ARRESTED OF THE ORIGINATION DIAL DIAL COLOR AND INCOLA, AND PRODUME, REQUIREMENTS AS FER SITE ANY APPROVAL. A PARTICULAR DIAL COLOR ORIGINATION OF DIAL CONTROL THAT ANY APPROVAL OF THE ORIGINATION OF THE ORI REQUIREMENTS OF THE OWNERS MALAN-A ENTROPH DEBOT CONSULTAINS REPORT THAT RETERIOR PRODES MEET FLAME SHYRILLY FOR PROJECT.

A WHERE PROMERERED SYSTEMS ARE UMD, A LETTER FROM THE SPECIALIZED INGREEN (WHO INSPARED THE SHOP DRIVINGS).

A WHERE PROMERERED SYSTEMS AND CONNECTIONS AND AS PIRE THERE SHOP DRIVINGS AND MEETING THE REQUIREMENTS OF THE OWNERS.

A WHERE REPORTED STRING ARE USED, A LITTLE FIGURE OF A PRINT OF A CONCESSION OF A PRINT O

13. DURSE PRIME ALL RESIDENT AREASES FOR ALL UNION TO SERVICE SERVICES OF THE SERVICES OF THE

SERVING MEANING NOW WERK ACTIVING GAMMER LOCKED

12.8 MADER LAWRES BUILD BY PROCEED AS PER AGE & TO BY

TAKKER TAKKER BUILD BY PROCED AS PER AGE & TO BY

WHITE LAWRES BUILD BY PROCED ON ERCH FLOOR LEVEL

\*\*WHITE LOUES BUILD BY PROCED ON ERCH FLOOR LEVEL

\*\*WHITE LOUES BUILD BY PROCED AS PER AGE & TO BY

\*\*PROCED THAT ONE SUCCES LAWRES BEOLUTED IN BETWELLING LIST. THE BUICKE ALARKE BUILL BE WIRED SO THAT THE SOUND OF

\*\*PROCED BY THE SOURCE BUILD BY THE BUILD BY THE SOURCE (THEY SOULL BE WITHCOMMOTED).

S.A.S. FIRMS STOP CAMMENS.

\*\*\*NEXTWO OVER THOSE OF HEALTH SHE SHEWBANES DEFINED BY 58-2 MODOR 58-3 SHALL COMPLY WITH \$10,13.13 AND SE PROTECTED BY FARE
OWNERS AS RECURSO

OURSELD AS PERSONNED OF THE SEMILATION OF THE SEMILAR SHAPE OF THE SHEWBANES OF THE SHAPE OF

4.1.1.HINE STOPS FLAME SPREAD LIMITS
CONCERLED SPACES IN INTERIOR WILLS, CELINOS AND CRAWL SPACES SHULL BE SEPARATED BY FRE STOPS FROM CONCERLED SPACES

IN EXTERIOR WALLS.
ATTIC OR ROOF SPACES AS PER SUBSECTION 9.10.16. OF THE OXTARIO BUILDING CODE.
EVEN IN AME SOBERAL BUTTE NURSECTION 9.10.17. OF O.R.C. SWALL APPLY. 3.3.4: ATTIC ACCESS HATCH AP 0.5.C. 9.19.2.1 ATTIC ACCESS HATCH SHALL BE NO SMALLER THEN 5500

#### GENERAL NOTES:

GENERAL NUIES:

DRAWINGS ARE TO BE READ NOT

SCALED.

CONTRACTOR MUST VERIFY ALL

DIMENSIONS AND SE RESPONSIBLE

FOR THE SAME.

DEPENDING TO THE

DESIGNER BEFORE COMMENCING THE

DESIGNER BEFORE COMMENCING THE

DESIGNER BEFORE COMMENCING THE

DOCUMENTS PROVIDED HERRY OF

MECHWAYS INC. REPRODUCTION OF

THE DOCUMENTS PROVIDED IS

PROHIBITED WITHOUT THE CONSENT

OAL DESIGN AND CONSTRUCTION

DOCUMENTATION ARE FINAL UNLESS

REVISED BY THE DESIGNER FANY

HERE WITHIN, THE DESIGNER SHALL

BE NOTIFIED.



1	ISSUED FOR BUILDING PERMIT	APR 19, 20
NO.	DESCRIPTION	DATE

### ENGINEER:



ADDRESS : 2751 THAMESCATE DRIVE MISSISSAUGA, ON. LAT 165 : 415-627-4100 EMAIL : INFO@MECHWAYS.COM WEBSITE : WWW.MECHWAYS.COM

CONSULTANT:

### PROJECT:

PROPOSED HEATED EXTENSION AT 8 NEWSTEAD CRESCENT. BRAMPTON

SHEET TITLE:

GENERAL NOTES

CHECKED: SS DRAWN: GS SCALE: 18" = 1'-0" DATE: APR/23/ 2023

DRAWING:

G-GN