

APPLICATION # A-2023-0142
WARD #3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **HAIYING CHEN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 222, Plan 695 municipally known as **40 CALEDON CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit 31.69% lot coverage whereas the by-law permits a maximum lot coverage of 30%.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number:
Application for Consent: NO File Number:

The Committee of Adjustment has appointed **TUESDAY, May 30, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

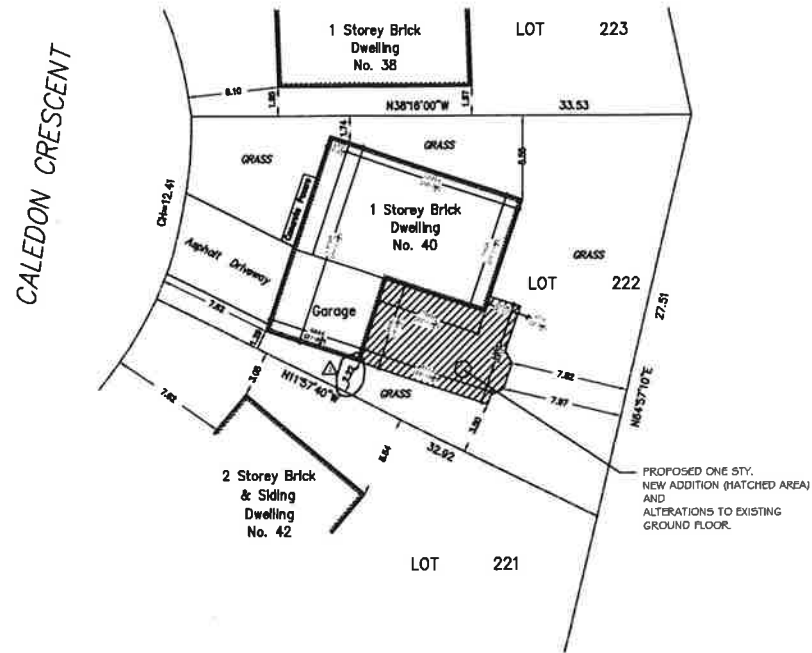
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 18th Day of May, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

SITE STATISTICS			
1	LOT AREA:	690.81 M ²	6,880.40 S.F.
2	EXISTING DWELLING GROUND FLOOR AREA:	97.10 M ²	1,046.17 S.F.
3	EXISTING GARAGE FLOOR AREA:	37.83 M ²	408.87 S.F.
4	EXISTING ENCLOSED PORCH FLOOR AREA:	12.74 M ²	136.80 S.F.
5	PROPOSED NEW ADDITION FLOOR AREA:	58.89 M ²	631.71 S.F.
6	TOTAL EXISTING GROUND FLOOR AREA:	147.67 M ²	1,591.84 S.F.
7	TOTAL BUILDING FOOTPRINT AREA:	206.56 M ²	2,223.55 S.F.
8	LOT COVERAGE = (206.56/690.81)100	30.05%	
9	MAXIMUM PERMITTED LOT COVERAGE	35%	
10			



DRAWING LIST

- A1 - SITE PLAN
- A2 - EXISTING BASEMENT FLOOR PLAN AND PROPOSED ADDITION GROUND FLOOR FRAMING PI
- A3 - PROPOSED GROUND FLOOR PLAN
- A4 - PROPOSED ROOF PLAN
- A5 - WEST ELEVATION
- A6 - NORTH ELEVATION
- A7 - EAST ELEVATION
- A8 - SOUTH ELEVATION
- A9 - PROPOSED ROOF FRAMING PLAN
- A10 - CROSS SECTION AND SECTIONS



SITE PLAN

SCALE: 1:200

INFORMATION TAKEN FROM
SURVEYOR'S CERTIFICATE
LOTS 222, 223 AND 224
REGISTERED PLAN G95
TOWN OF BRAMPTON
BY LLOYD THOMSON O.L.S.,
DATED NOV. 19 1965

ALSO FOM SITE PLAN DWG. NO. A01a
OF LOT 221 DATED 08/2018
APPROVED BY THE CITY OF BRAMPTON
DATED OCT. 22-2018

NO.	REVISION	DATE	BY
1	ISSUED TO CITY FOR WORK VARIANCE	APR 26 2023	
2	REVISED AS PER CITY COMMENTS	APR 28 2023	
3	ISSUED TO CITY FOR BUILDING PERMIT	APR 11 2023	

PROJECT:
**PROPOSED ADDITION
TO DWELLING**

40 CALEDON CRESCENT
BRAMPTON, ONTARIO

SITE PLAN

DATE:	APR-11-2023	DWG No.	
SCALE:	AS NOTED		

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 30, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 25, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 25, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

FILE NUMBER: A-2023-0142

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) HAYING CHEN
Address 40 CALEDON CRESCENT
BRAMPTON ONT. L6W 1C5
Phone # 416 618 1848 Fax # _____
Email shaniachen7@gmail.com

2. Name of Agent _____
Address _____
Phone # _____ Fax # _____
Email _____

3. Nature and extent of relief applied for (variances requested):
LOT COVERAGE ALLOWABLE = 30%
LOT COVERAGE PROPOSED = 31.69%
REQUESTING VARIANCE FOR 1.69%

4. Why is it not possible to comply with the provisions of the by-law?
THIS DESIGN FITS MY NEEDS IT IS WITHIN MY BUDGET AND IT KEEPS THE DWELLING ONE STOREY.
ALSO IT ENHANCES THE VALUE OF THE DWELLING.

5. Legal Description of the subject land:
Lot Number 722
Plan Number/Concession Number 695
Municipal Address 40 CALEDON CRESCENT

6. Dimension of subject land (in metric units) (IRREGULAR PROPERTY)
Frontage 12.41 M
Depth 33.53 M AT LONGEST PROPERTY LINE
Area 639.21 m²

7. Access to the subject land is by:
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING SINGLE STOREY BRICK DWELLING
LENGTH = 12.254 m x WIDE = 7.832 m HEIGHT = 4.073 m
GROUND FLOOR AREA = 97.10 m²

EXISTING ATTACHED DOUBLE BRICK GARAGE
LENGTH = 6.624 x WIDTH = 5.877 m FLOOR AREA = 37.93 m²

EXISTING ENCLOSED PORCH LENGTH = 7.832 m x WIDTH = 1.372 m
FLOOR AREA = 10.74 m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED NEW ATTACHED BRICK ADDITION SINGLE STOREY
LENGTH = 9.112 m x WIDTH = 5.806 m (IRREGULAR SHAPE)
FLOOR AREA = 56.83 m² x HEIGHT = 3.623 m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 7.62 m
 Rear yard setback 9.63 m
 Side yard setback 1.74 m EAST SIDE
 Side yard setback 1.24 m WEST SIDE

PROPOSED

Front yard setback 7.62 m
 Rear yard setback 7.97 m
 Side yard setback 2.22 m WEST SIDE

10. Date of Acquisition of subject land: 2014
11. Existing uses of subject property: SINGLE FAMILY RESIDENTIAL
12. Proposed uses of subject property: SINGLE FAMILY RESIDENTIAL
13. Existing uses of abutting properties: SINGLE FAMILY RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: 1966
15. Length of time the existing uses of the subject property have been continued: 57

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

[Signature]
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 27 DAY OF APRIL, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, HAIYING CHEN, OF THE City OF Brampton
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 02nd DAY OF
May, 2023
[Signature]
A Commissioner etc.

[Signature]
[Signature]
Signature of Applicant or Authorized Agent
Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

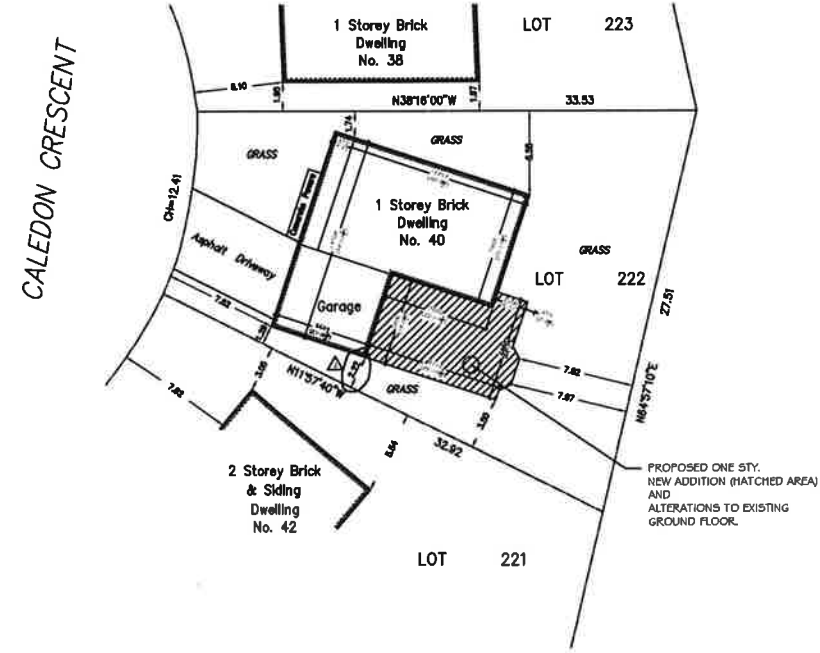
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED May 2, 2023

SITE STATISTICS			
1	LOT AREA:	888.81 M ²	8,888.40 S.F.
2	EXISTING DWELLING GROUND FLOOR AREA:	97.10 M ²	1,046.17 S.F.
3	EXISTING GARAGE FLOOR AREA:	57.83 M ²	608.97 S.F.
4	EXISTING ENCLOSED PORCH FLOOR AREA:	10.74 M ²	115.00 S.F.
5	PROPOSED NEW ADDITION FLOOR AREA:	58.85 M ²	611.71 S.F.
6	TOTAL EXISTING GROUND FLOOR AREA:	165.67 M ²	1,770.14 S.F.
7	TOTAL EXISTING GROUND FLOOR AREA:	165.67 M ²	1,770.14 S.F.
8	TOTAL BUILDING FOOTPRINT AREA:	202.60 M ²	2,180.77 S.F.
9	LOT COVERAGE = (202.60/888.81)100	22.80%	
10	MAXIMUM RESIDENT Dwellings = 2-02	SEE DRAWING AS	



DRAWING LIST

- A1 - SITE PLAN
- A2 - EXISTING BASEMENT FLOOR PLAN AND PROPOSED ADDITION GROUND FLOOR, FRAMING PI
- A3 - PROPOSED GROUND FLOOR PLAN
- A4 - PROPOSED ROOF PLAN
- A5 - WEST ELEVATION
- A6 - NORTH ELEVATION
- A7 - EAST ELEVATION
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- A10 - CROSS SECTION AND SECTIONS



SITE PLAN

SCALE: 1:200

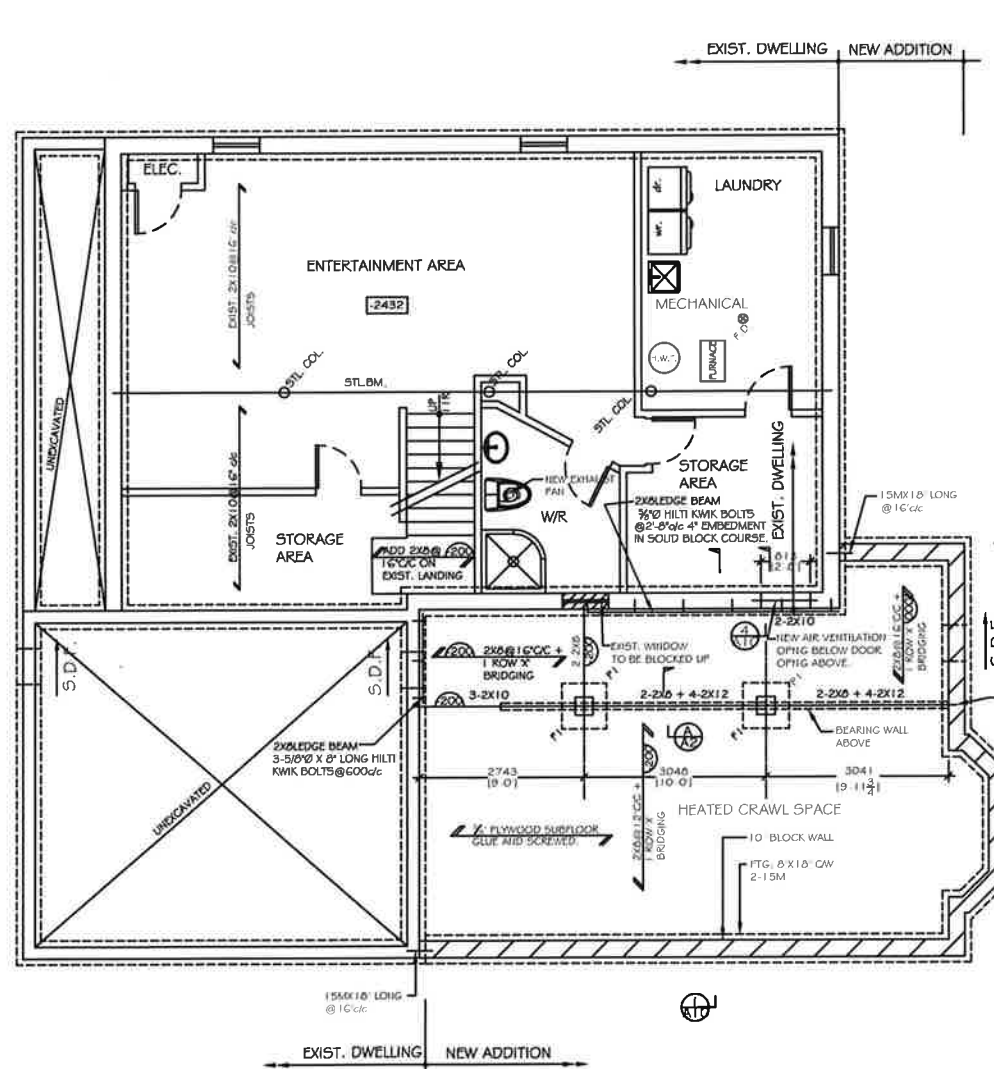
INFORMATION TAKEN FROM SURVEYOR'S CERTIFICATE LOTS 222, 223 AND 224 REGISTERED PLAN 695 TOWN OF BRAMPTON BY LLOYD THOMSON O.L.S., DATED NOV. 19 1965 ALSO FOM SITE PLAN DWG. NO. A01a OF LOT 221 DATED 08/2018 APPROVED BY THE CITY OF BRAMPTON DATED OCT. 22-2018

NO.	REVISION	DATE	BY
1	ISSUED TO CITY FOR MINOR VARIANCE	APR-08-2023	
2	REVISED AS PER CITY COMMENTS	APR-18-2023	
3	ISSUED TO CITY FOR BUILDING PERMIT	APR-11-2023	

PROJECT:
PROPOSED ADDITION TO DWELLING
40 CALEDON CRESCENT
BRAMPTON, ONTARIO

SITE PLAN

DATE:	APR-11-2023	DWG No.	
SCALE:	AS NOTED		



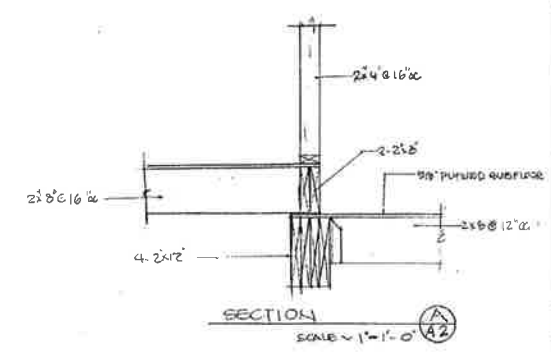
- WALL LEGEND**
- DENOTES TYPICAL EXTERIOR EXISTING WALL WITH BRICK TO REMAIN
 - DENOTES TYPICAL EXISTING INTERIOR TO REMAIN
 - DENOTES TYPICAL EXTERIOR EXISTING WALL TO BE BLOCKED UP
 - DENOTES TYPICAL NEW EXTERIOR FOUNDATION BLOCK WALL
 - DENOTES TYPICAL EXTERIOR NEW WALL WITH BRICK
 - DENOTES TYPICAL INTERIOR NEW WALL
 - DENOTES TYPICAL INTERIOR NEW BEARING WALL

- GENERAL NOTES**
1. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE 2010 INTERTIL BUILDING CODE.
- FLOORING**
- FLOORING SHALL BE FINISHED ON SLABS, MASONRY, UNCASTED IN-PLACE CONCRETE OR CONCRETE ON FORMWORK TO THE DEPTH OF ALLOWABLE FINISH FLOORING.
 - SLABS BETWEEN STIFFENED OR UNCASTED FLOORING SHALL HAVE A MINIMUM OF 2" FRESH CONCRETE AND 1" REINFORCEMENT. THE STIFFENING SHALL BE FINISHED WITH A MINIMUM OF 4" LEVEL AT LEAST OVER THE FINISH FLOORING.
- FRAMING**
- MEMBER END JOISTS SHALL BE BLOCKED UP TO SUPPORT THE FINISH FLOORING IF SUPPORTED BY UNCASTED CONCRETE OR CONCRETE ON FORMWORK. THE FINISH FLOORING SHALL BE FINISHED WITH A MINIMUM OF 4" LEVEL AT LEAST OVER THE FINISH FLOORING.
 - MEMBER END JOISTS SHALL BE BLOCKED UP WITH 2" X 4" LATHING AND 1/2" GYPSUM BOARD TO MATCH THE FINISH FLOORING.
- STRUCTURAL STEEL**
- ALL STRUCTURAL STEEL SHALL BE FABRICATED AND CHECKED TO THE REQUIREMENTS OF CSA STANDARD CAN-9001-R10.
 - ALL STRUCTURAL STEEL SHALL BE CSA GRADE 50W AND 50W FOR ALL OTHERS.
 - ALL STRUCTURAL STEEL SHALL BE FINISHED WITH A MINIMUM OF 1/2" GALVANNEUM COATING TO PROTECT AGAINST CORROSION.
 - ALL STRUCTURAL STEEL SHALL BE FINISHED WITH A MINIMUM OF 1/2" GALVANNEUM COATING TO PROTECT AGAINST CORROSION.
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- CONCRETE**
- CAST-IN-PLACE CONCRETE CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD CAN-9001-R10.
 - ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 28 MPa AT 28 DAYS UNLESS OTHERWISE SPECIFIED.
 - CONCRETE TO BE EXPOSED FOR ALL CONCRETE CONCRETE TO BE EXPOSED.
 - ALL REINFORCING STEEL TO BE RETURNED AND CONFORMING TO CSA STANDARD CAN-9001-R10.
 - ALL REINFORCING STEEL SHALL CONFORM TO CSA STANDARD CAN-9001-R10. PROVIDE TEMPORARY EXPOSURE AND PROTECT WITH GYPSUM BOARD.
- MASONRY**
- MASSIVE CONSTRUCTION SHALL CONFORM TO CSA STANDARD CAN-9001-R10.
 - ALL PLUMB AND NON-PLUMB MASONRY SHALL CONFORM TO CAN-9001-R10. CONCRETE SHALL CONFORM TO CAN-9001-R10. CONCRETE SHALL CONFORM TO CAN-9001-R10.
 - ALL CONCRETE BLOCKS SHALL HAVE A MINIMUM ALTERNATE COMPRESSIVE STRENGTH OF 35 MPa AT 28 DAYS.
 - MASSIVE FOR ALL MASONRY WALLS SHALL BE TYPE "A" AS DEFINED IN CSA STANDARD CAN-9001-R10. REINFORCING SHALL CONFORM TO CSA STANDARD CAN-9001-R10. REINFORCING SHALL CONFORM TO CSA STANDARD CAN-9001-R10.
 - CONCRETE BLOCKS SHALL BE FINISHED WITH A MINIMUM OF 1/2" GALVANNEUM COATING TO PROTECT AGAINST CORROSION.
 - REINFORCING SHALL BE FINISHED WITH A MINIMUM OF 1/2" GALVANNEUM COATING TO PROTECT AGAINST CORROSION.
- TIMBER**
- CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD CAN-9001-R10.
 - ALL TIMBER SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD CAN-9001-R10.
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 - ALL TIMBER SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD CAN-9001-R10.

- CONCRETE PIER**
- P1 - 12" X 12" BLOCK PIER
 CW 2" 15M VERTICAL BARS
 GROUT WITH 25MPa CONCRETE
- CONCRETE FOOTING**
- FOOTING - 12" X 12" BLOCK PIER
 CW 2" 15M VERTICAL BARS
 GROUT WITH 25MPa CONCRETE
- LEGEND**
- CONCRETE ELEMENTS SHOWN AS
 CONCRETE ELEMENTS SHOWN AS
 CONCRETE ELEMENTS SHOWN AS



EXISTING BASEMENT FLOOR PLAN AND PROPOSED ADDITION GROUND FLOOR FRAMING PLAN
 Scale 1 : 50
 NOTE: REFER TO GENERAL NOTES & SCHEDULES ON DRAWING A2.

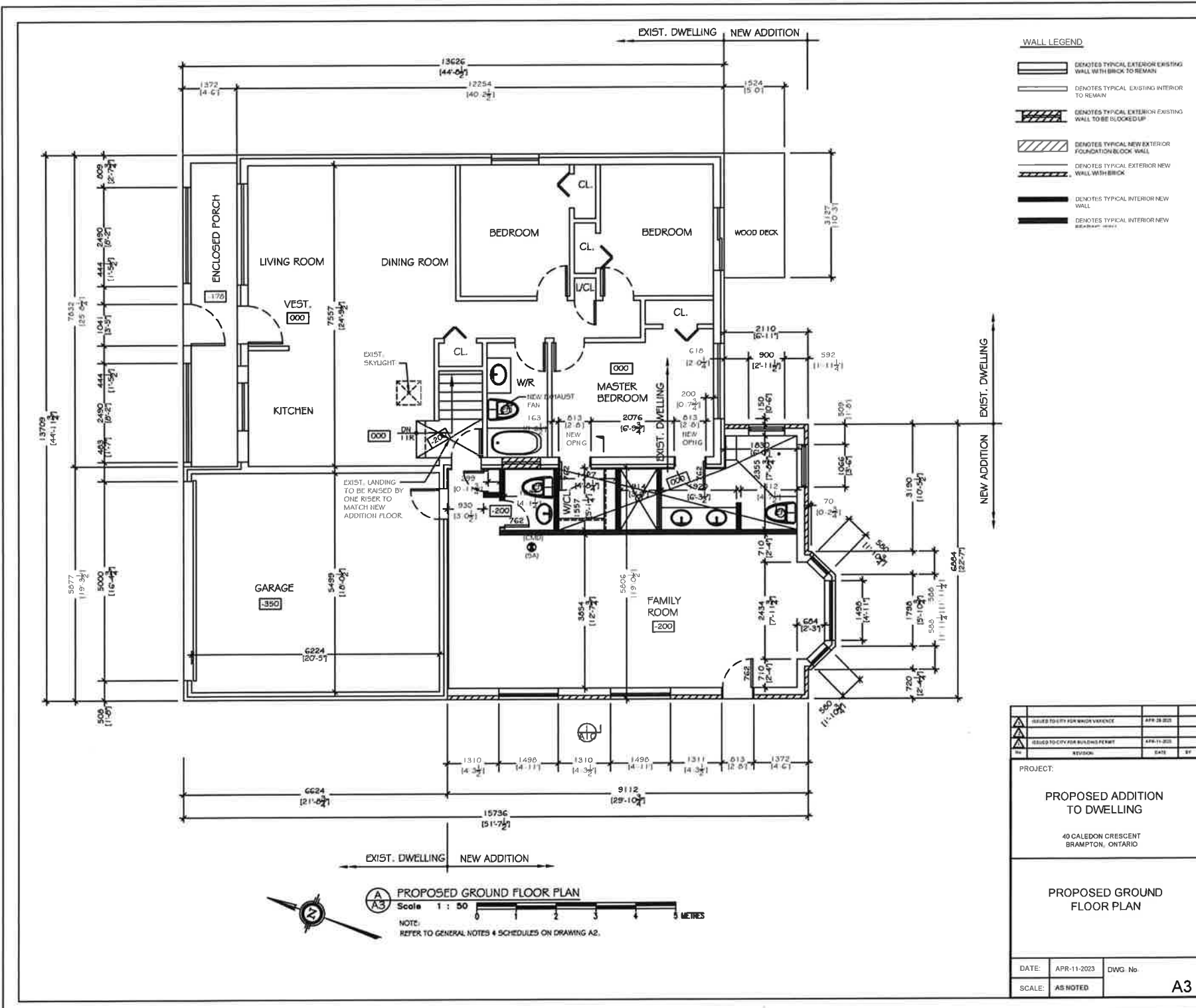


NO.	REVISION	DATE	BY
1	ISSUED TO CITY FOR VARIANCE	APR 18 2023	
2	ISSUED TO CITY FOR BUILDING PERMIT	APR 11 2023	

PROJECT:
PROPOSED ADDITION TO DWELLING
 40 CALEDON CRESCENT
 BRAMPTON, ONTARIO

EXISTING BASEMENT FLOOR PLAN AND PROPOSED ADDITION GROUND FLOOR FRAMING PLAN

DATE: APR-11-2023 DWG No.
 SCALE: AS NOTED **A2**



WALL LEGEND

- DENOTES TYPICAL EXTERIOR EXISTING WALL WITH BRICK TO REMAIN
- DENOTES TYPICAL EXISTING INTERIOR WALL TO REMAIN
- DENOTES TYPICAL EXTERIOR EXISTING WALL TO BE BLOCKED UP
- DENOTES TYPICAL NEW EXTERIOR FOUNDATION BLOCK WALL
- DENOTES TYPICAL EXTERIOR NEW WALL WITH BRICK
- DENOTES TYPICAL INTERIOR NEW WALL
- DENOTES TYPICAL INTERIOR NEW WALL WITH BRICK

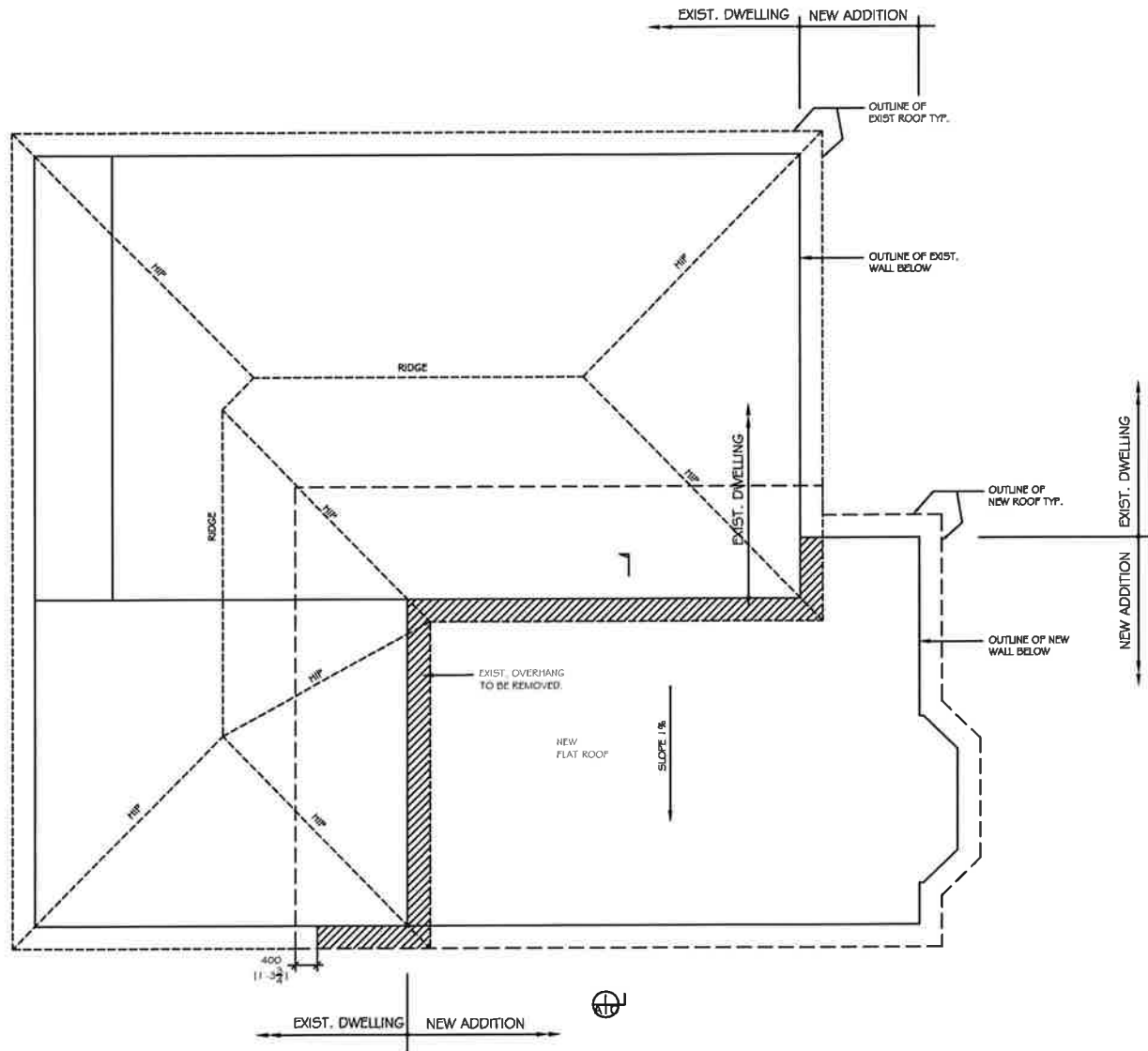
▲	ISSUED TO CITY FOR VARIANCE	APR-11-2023	
▲	ISSUED TO CITY FOR BUILDING PERMIT	APR-11-2023	
NO.	REVISION	DATE	BY

PROJECT:
PROPOSED ADDITION TO DWELLING
 40 CALEDON CRESCENT
 BRAMPTON, ONTARIO

PROPOSED GROUND FLOOR PLAN

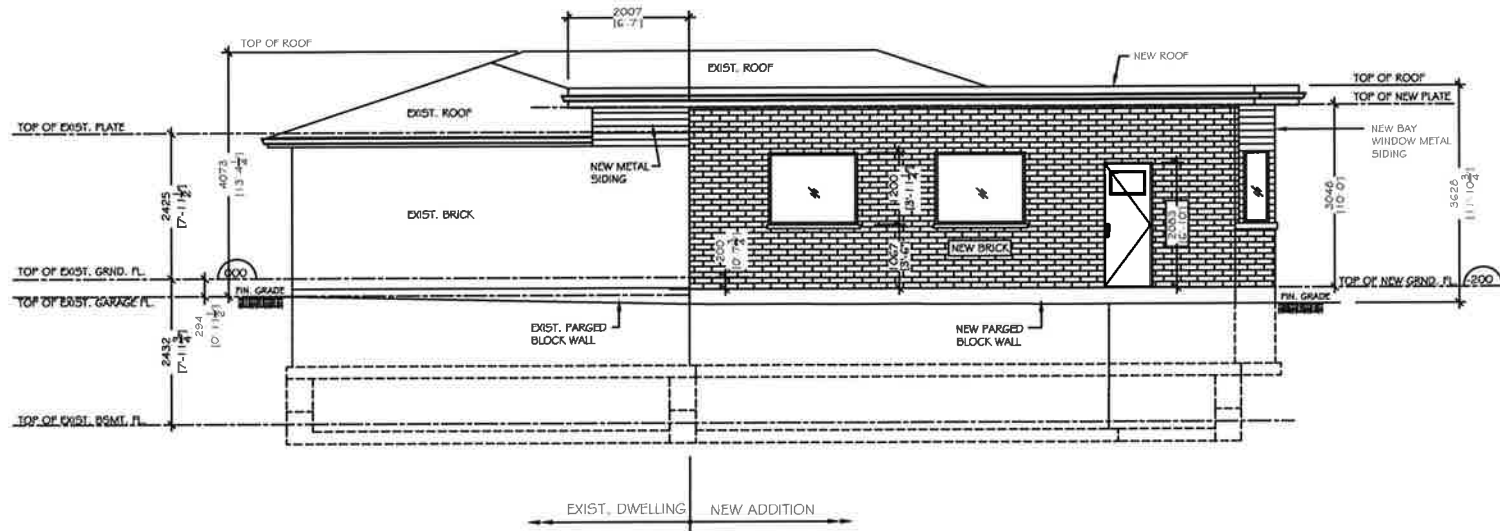
DATE:	APR-11-2023	DWG No.	
SCALE:	AS NOTED		A3

PROPOSED GROUND FLOOR PLAN
 Scale 1 : 50
 NOTE: REFER TO GENERAL NOTES & SCHEDULES ON DRAWING A2.



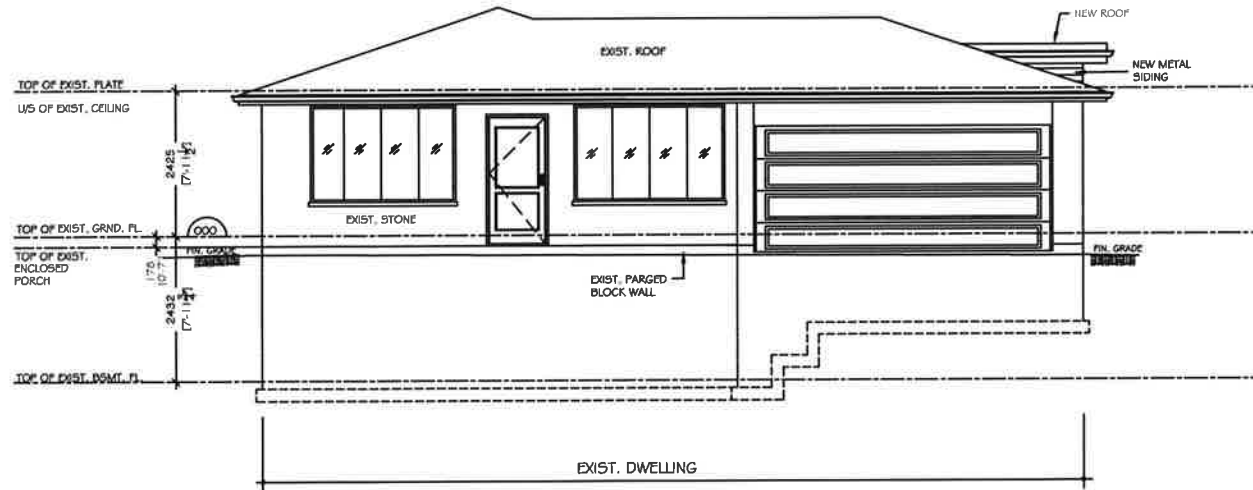
PROPOSED ROOF PLAN
 Scale 1 : 50
 NOTE:
 REFER TO GENERAL NOTES & SCHEDULES ON DRAWING A2.

▲	ISSUED TO CITY FOR VARIANCE	APR-08-2023	
▲	ISSUED TO CITY FOR BUILDING PERMIT	APR-11-2023	
REV	REVISION	DATE	BY
PROJECT:			
PROPOSED ADDITION TO DWELLING 40 CALEDON CRESCENT BRAMPTON, ONTARIO			
PROPOSED ROOF PLAN			
DATE:	APR-11-2023	DWG No.	
SCALE:	AS NOTED		A4



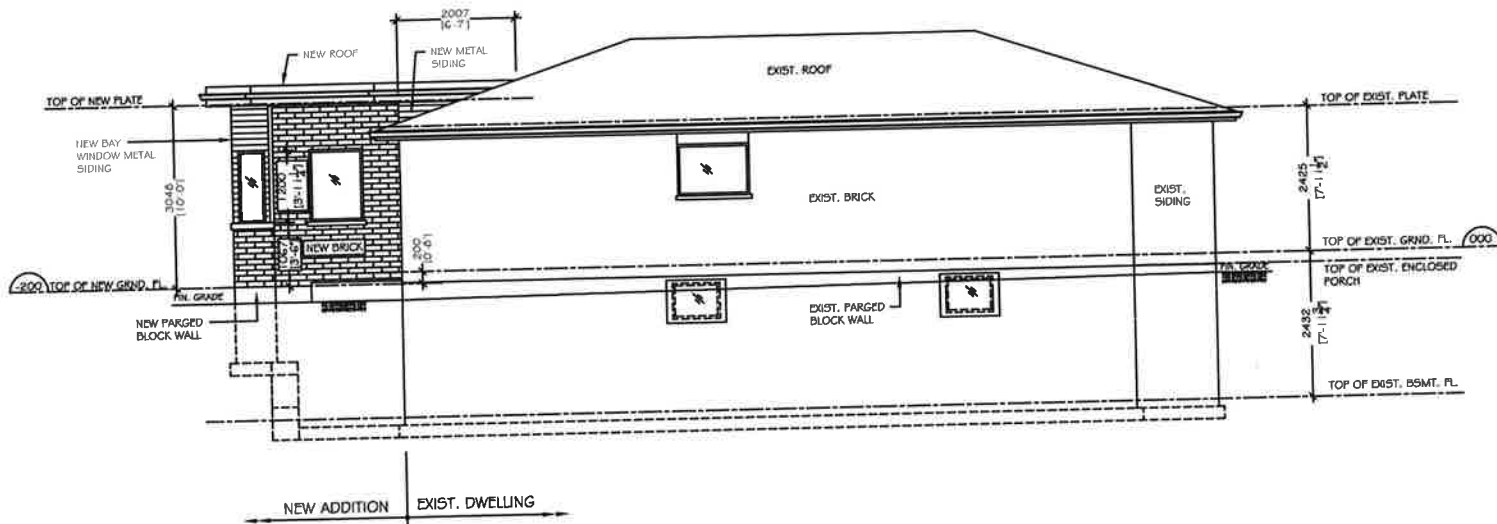
WEST ELEVATION
 Scale 1 : 50

Δ	ISSUED TO CITY FOR VARIANCE	APR-08-2023	
Δ	ISSUED TO CITY FOR BUILDING PERMIT	APR-11-2023	
NO.	REVISION	DATE	BY
PROJECT:			
PROPOSED ADDITION TO DWELLING			
40 CALEDON CRESCENT BRAMPTON, ONTARIO			
WEST ELEVATION			
DATE:	APR-11-2023	DWG. No.	
SCALE:	AS NOTED		A5



NORTH ELEVATION
 Scale 1 : 50
 0 1 2 3 4 5 METRES

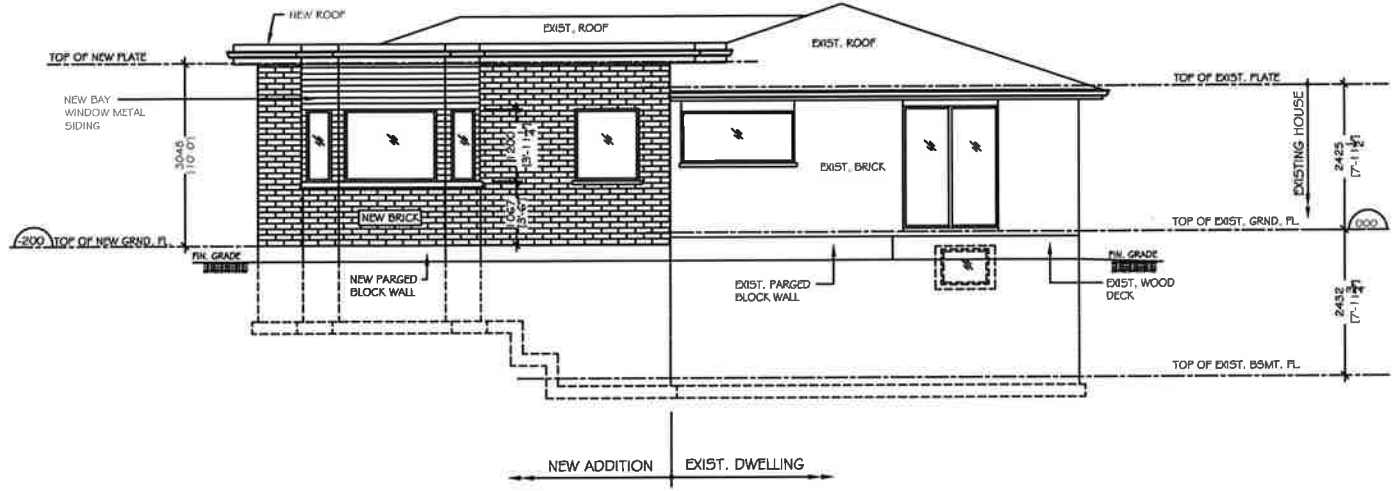
▲	ISSUED TO CITY FOR VARIANCE	APR 28 2023	
▲	ISSUED TO CITY FOR BUILDING PERMIT	APR 11 2023	
▲	ISSUED TO CITY FOR BUILDING PERMIT	APR 11 2023	
NO	REVISION	DATE	BY
PROJECT:			
PROPOSED ADDITION TO DWELLING			
40 CALEDON CRESCENT BRAMPTON, ONTARIO			
NORTH ELEVATION			
DATE:	APR-11-2023	DWG. No.	
SCALE:	AS NOTED		A6



A
A7
EAST ELEVATION
 Scale 1 : 50



▲	ISSUED TO CITY FOR VARIANCE	APR 18 2023		
▲	ISSUED TO CITY FOR BUILDING PERMIT	APR 11 2023		
NO.	REVISION	DATE	BY	
PROJECT:				
PROPOSED ADDITION TO DWELLING 40 CALEDON CRESCENT BRAMPTON, ONTARIO				
EAST ELEVATION				
DATE:	APR-11-2023	DWG. No.		
SCALE:	AS NOTED		A7	



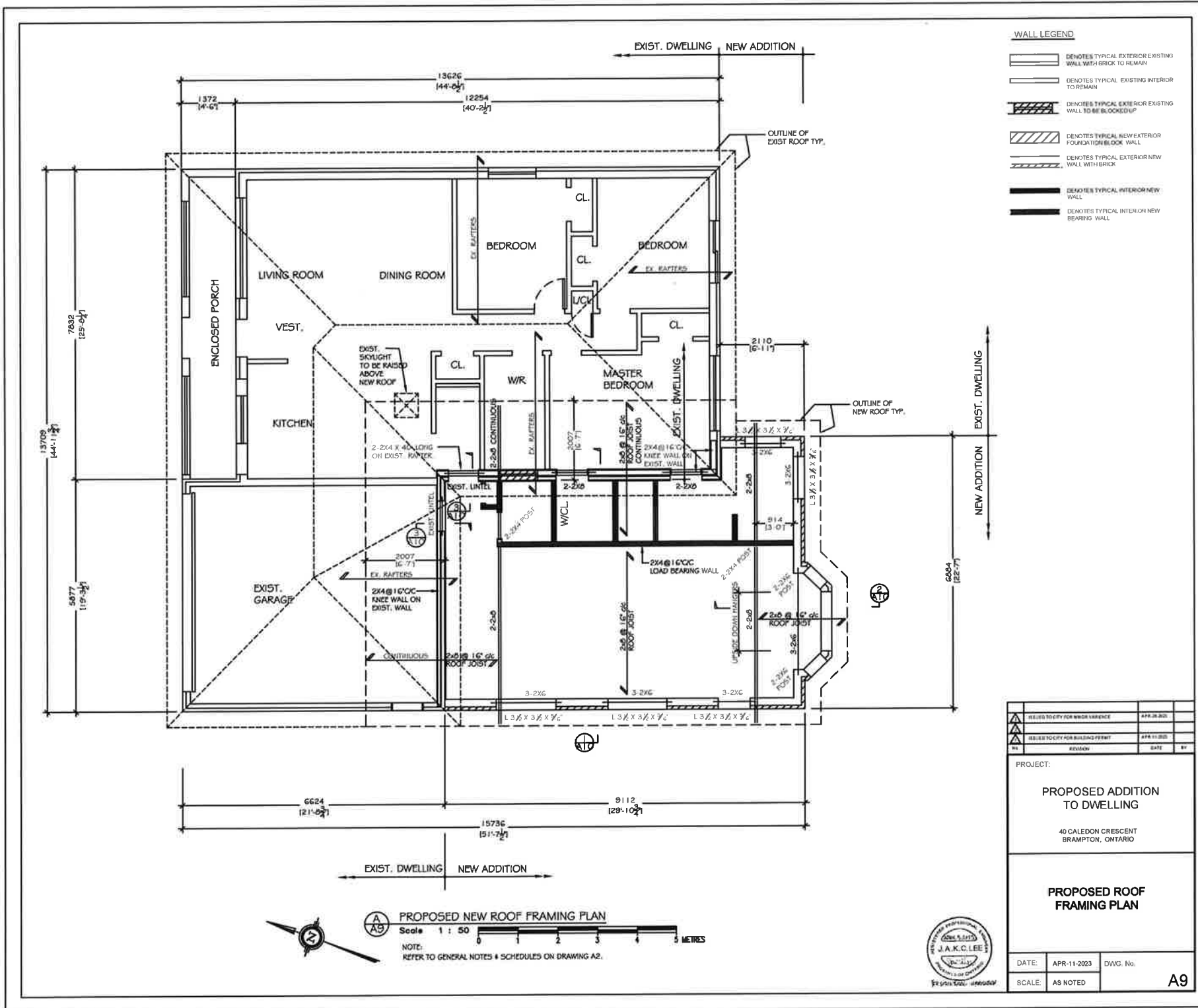
A
A8
SOUTH ELEVATION
 Scale 1 : 50



▲	RELEAS TO CITY FOR VARIANCE	APR 18 2023
▲	RELEAS TO CITY FOR BUILDING PERMIT	APR 11 2023
NO	REVISION	DATE BY

PROJECT:
**PROPOSED ADDITION
 TO DWELLING**
 40 CALEDON CRESCENT
 BRAMPTON, ONTARIO

DATE:	APR-11-2023	DWG. No.
SCALE:	AS NOTED	A8



WALL LEGEND

- [Symbol: Dashed line] DENOTES TYPICAL EXTERIOR EXISTING WALL WITH BRICK TO REMAIN
- [Symbol: Solid line] DENOTES TYPICAL EXISTING INTERIOR TO REMAIN
- [Symbol: Hatched pattern] DENOTES TYPICAL EXTERIOR EXISTING WALL TO BE BLOCKED UP
- [Symbol: Diagonal hatched pattern] DENOTES TYPICAL NEW EXTERIOR FOUNDATION/BLOCK WALL
- [Symbol: Dotted pattern] DENOTES TYPICAL EXTERIOR NEW WALL WITH BRICK
- [Symbol: Thick solid line] DENOTES TYPICAL INTERIOR NEW WALL
- [Symbol: Double thick solid line] DENOTES TYPICAL INTERIOR NEW BEARING WALL

▲	REFER TO CITY FOR VARIANCE	APR-23-23	
▲	REFER TO CITY FOR BUILDING PERMIT	APR-11-23	
▲	REVISION	DATE	BY

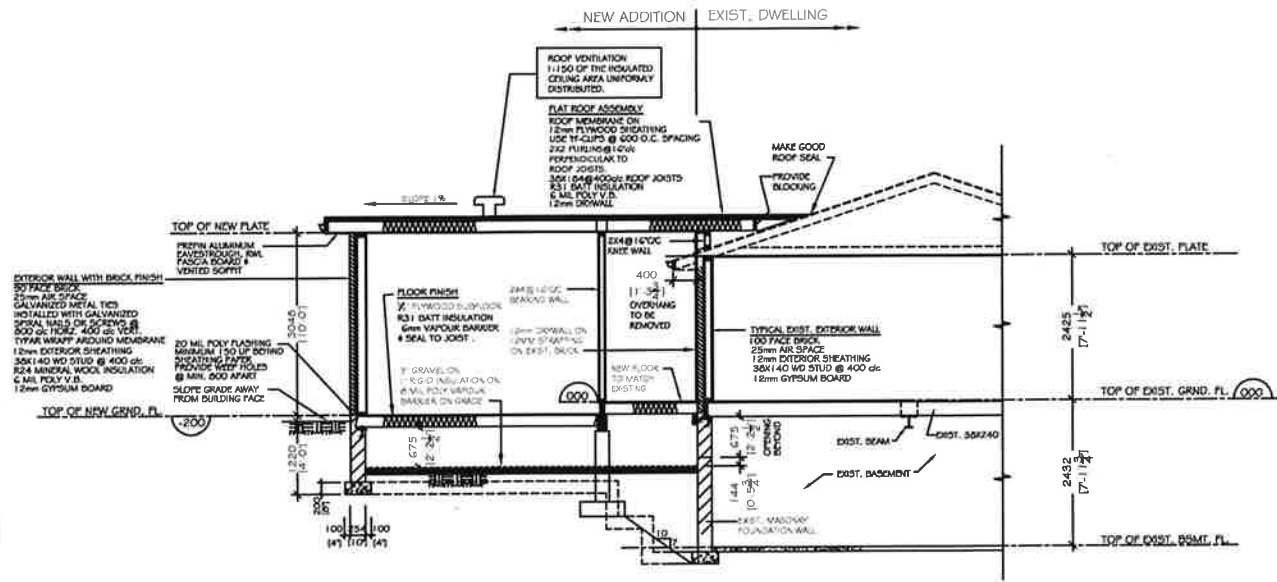
PROJECT:
PROPOSED ADDITION TO DWELLING
 40 CALEDON CRESCENT
 BRAMPTON, ONTARIO

PROPOSED ROOF FRAMING PLAN

DATE:	APR-11-2023	DWG. No.	
SCALE:	AS NOTED		A9

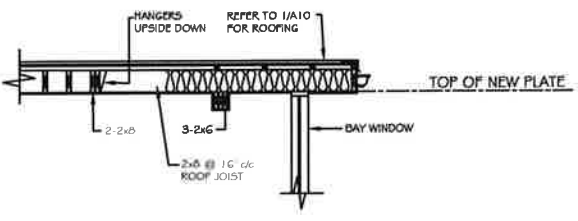
PROPOSED NEW ROOF FRAMING PLAN
 Scale 1 : 50
 NOTE: REFER TO GENERAL NOTES & SCHEDULES ON DRAWING A2.



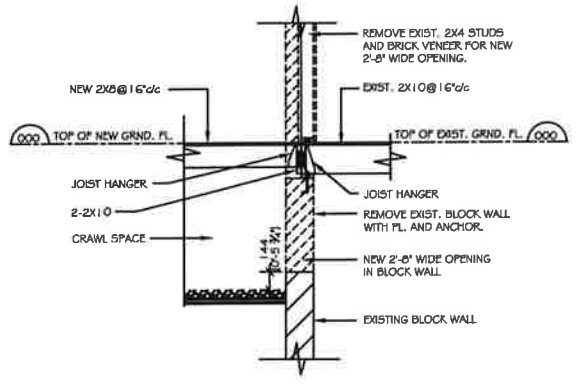


NEW ADDITION | EXIST. DWELLING

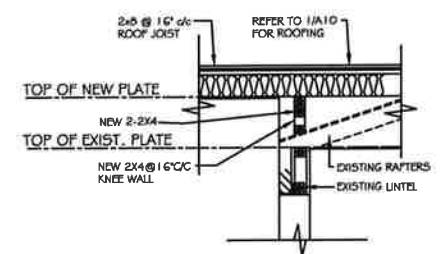
1 CROSS SECTION
Scale 1 : 50



2 SECTION
Scale 1 : 25



4 SECTION
Scale 1 : 25



3 SECTION
Scale 1 : 25



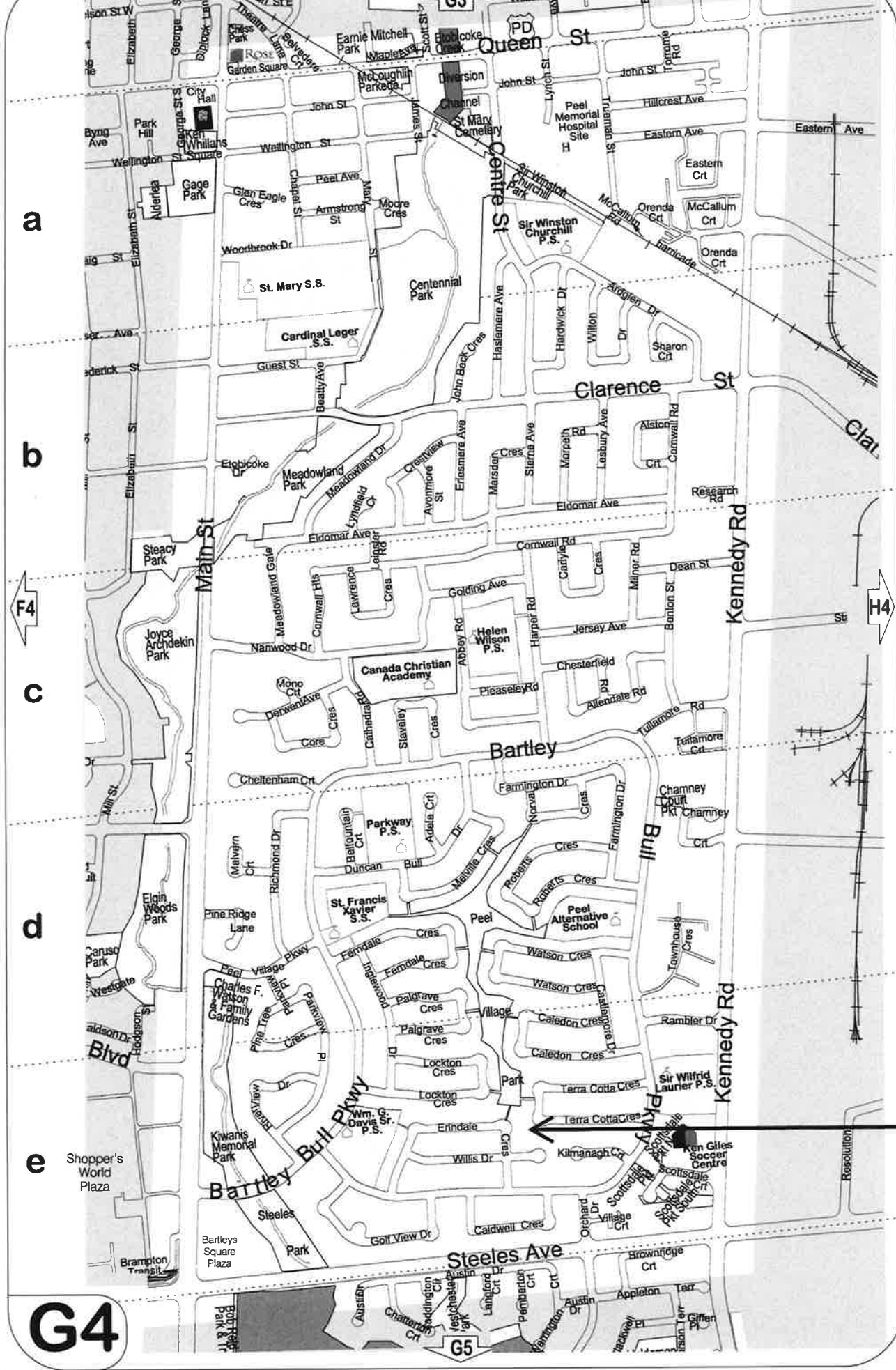
ISSUED TO CITY FOR MAJOR VARIANCE	APP. 28.202	
ISSUED TO CITY FOR BUILDING PERMIT	APP. 11.202	
REVISION	DATE	BY

PROJECT:
**PROPOSED ADDITION
TO DWELLING**

40 CALEDON CRESCENT
BRAMPTON, ONTARIO

**CROSS SECTION
AND SECTIONS**

DATE:	APR-11-2023	DWG. No.
SCALE:	AS NOTED	A10



a

b

c

d

e

G3

G4

G5

