

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **KARIN WALTER-MULLER** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 193, Plan 695 municipally known as **33 CALEDON CRESCENT**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit an existing accessory structure (shed) having a gross floor area of 15.91 sq. m (171.25 sq. ft) whereas the by-law permits a maximum size of 15 sq. m (161.46 sq. ft) for an individual accessory structure.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ **NO** _____ File Number: _____
Application for Consent: _____ **NO** _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, May 30, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 18th Day of May, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

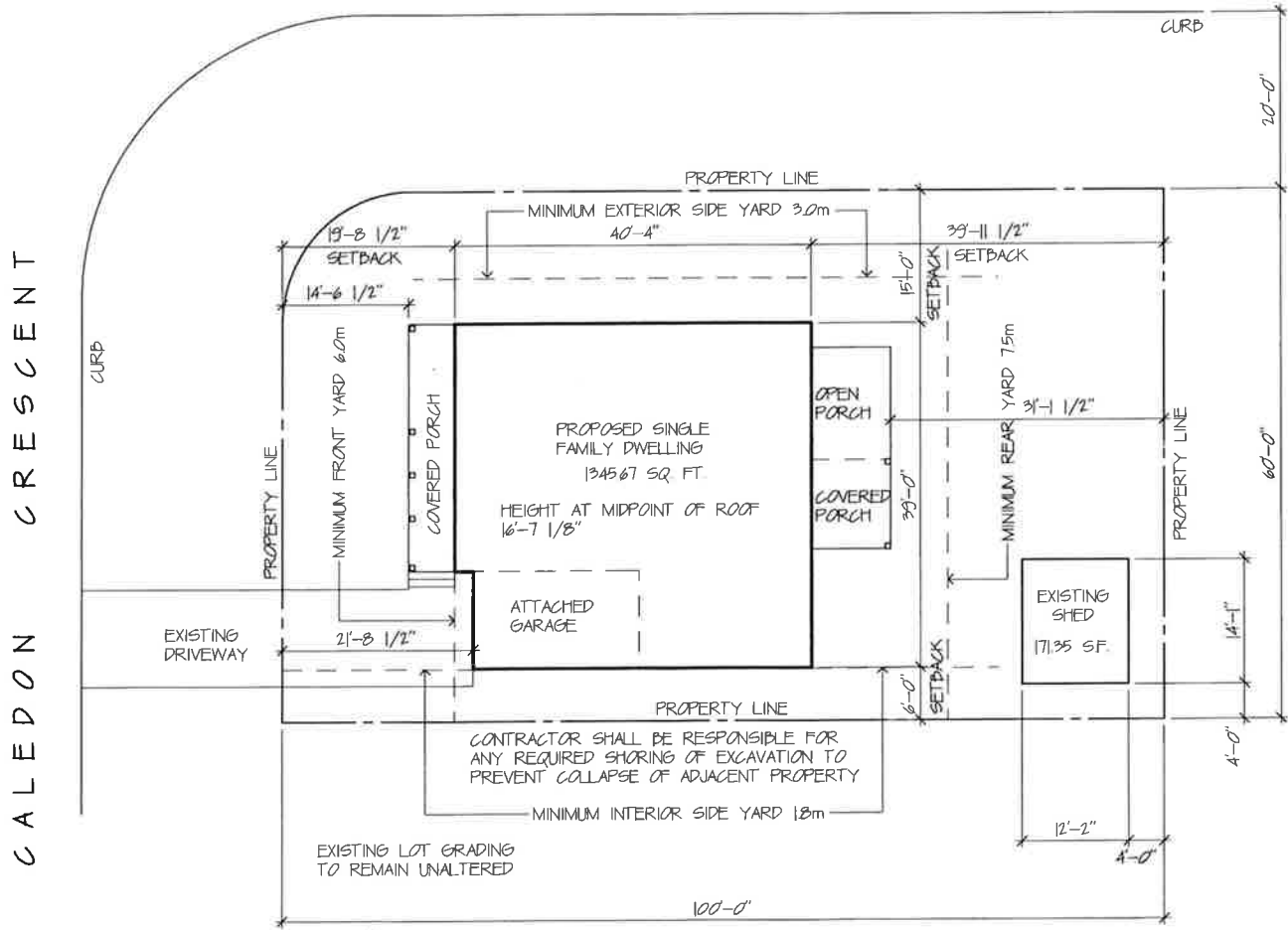
SITE PLAN SCALE: 1/16"=1'-0"



PROPERTY BOUNDARIES ARE BASED ON SURVEYOR'S CERTIFICATE FOR LOTS 190 TO 193 (INCLUSIVE) REGISTERED PLAN 695 TOWN OF BRAMPTON PREPARED BY LLOYD THOMSON, ONTARIO LAND SURVEYOR DATED DEC. 20, 1965

LOT AREA = 5951.715 SQ. FT.
 PROPOSED BUILDING AREA = 1785.472 SQ. FT.
 COVERAGE = 30%

CALEDON CRESCENT



KEY PLAN NOT TO SCALE



REVISIONS 30 MARCH, 2013

- 1 ADD SETBACK DIMENSIONS
- 2 ADD SURVEYOR INFORMATION
- 3 ADD BUILDING HEIGHT

REVISIONS 05 APRIL, 2013

- 1 ADD COVERAGE INFORMATION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 Required unless design is exempt under 2.0.4.1 of the building code
 David J. Bilo
 NAME SIGNATURE 29136 BCN

REGISTRATION INFORMATION
 Required unless design is exempt under 2.0.4.1 of the building code
 Robert G. McEwen & Associates Ltd.
 FIRM NAME 29526 BCN

PROJECT: PROPOSED RESIDENCE
 33 CALEDON CRESCENT, BRAMPTON

SUBJECT: SITE PLAN

CLIENT: KARIN WALTER

DATE: FEBRUARY 2013 SCALE: AS NOTED

DRAWN BY: D. BILLO CHECKED: T. SAGAR

PROJECT NO: 1012193 DWG NO: SHEET 1 OF 12 A1

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 30, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 25, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 25, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

FILE NUMBER: A-2023-0117

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. **Name of Owner(s)** Karin Walter-Muller
Address 33 Caledon Cres., Brampton, On L6W 1C6

Phone # 905 887 2438 **Fax #** _____
Email Karinwalter@live.com

2. **Name of Agent** _____
Address _____

Phone # _____ **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**
The existing shed on the property was built in the early 1990 by my father. In trying to obtain a new build permit for my home which was lost to fire, I have been advised that the shed does not conform to the zoning requirements. The shed is 15.92m2 (161 square feet) and does not meet the current relaxed GFA for sheds in the bylaw. Our current shed is 171 square feet.

4. **Why is it not possible to comply with the provisions of the by-law?**
Since the shed is existing and in perfect condition, it would cost too much to tear it down and rebuild the shed to meet the current bylaw. As a single mother with a daughter that has terminal cancer, I cannot work at this time and cannot afford to rebuild our shed. I am seeking permission to allow the existing shed which has been in place for the last 30 years.

5. **Legal Description of the subject land:**
Lot Number 193
Plan Number/Concession Number 695
Municipal Address 33 Caledon cres., brampton, On L6W 1C6

6. **Dimension of subject land (in metric units)**
Frontage 17.25'
Depth 100.0 Ft
Area 5951.715 Sq. Ft.

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

- 8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

The shed is the only building presently on the land. We lost our home to fire and am in the process of obtaining permission to rebuild.

Area for the shed: 171.35 Sq. Ft. Height 10 Ft.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Fire damage December 17, 2021. The plans for our home to be built on the land so we can go home.

- 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback _____
 Rear yard setback 1.22metres
 Side yard setback _____
 Side yard setback _____

PROPOSED

Front yard setback _____
 Rear yard setback _____
 Side yard setback _____
 Side yard setback _____

10. Date of Acquisition of subject land: 1987

11. Existing uses of subject property: To build a Single family Detached home. Residential

12. Proposed uses of subject property: To build a Single family Detached home and be able to move back home. Residential

13. Existing uses of abutting properties: residential area with single family homes. Residential

14. Date of construction of all buildings & structures on subject land: As soon as possible, once a permit is granted 1991

15. Length of time the existing uses of the subject property have been continued: Fire destroyed the home Dec. 17, 2021 _____

16. (a) What water supply is existing/proposed?
 Municipal
 Well Other (specify) _____
- (b) What sewage disposal is/will be provided?
 Municipal
 Septic Other (specify) _____
- (c) What storm drainage system is existing/proposed?
 Sewers
 Ditches Other (specify) _____
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

K. Walter Muller
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton.
THIS 28 DAY OF APRIL, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Karin Walter-Muller, OF THE City OF Brampton
IN THE Region of Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

DECLARED BEFORE ME AT THE
City of Brampton
OF
Region of Peel OF
THIS 28th DAY OF
April, 2023

K. Walter Muller
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED April 28, 2023

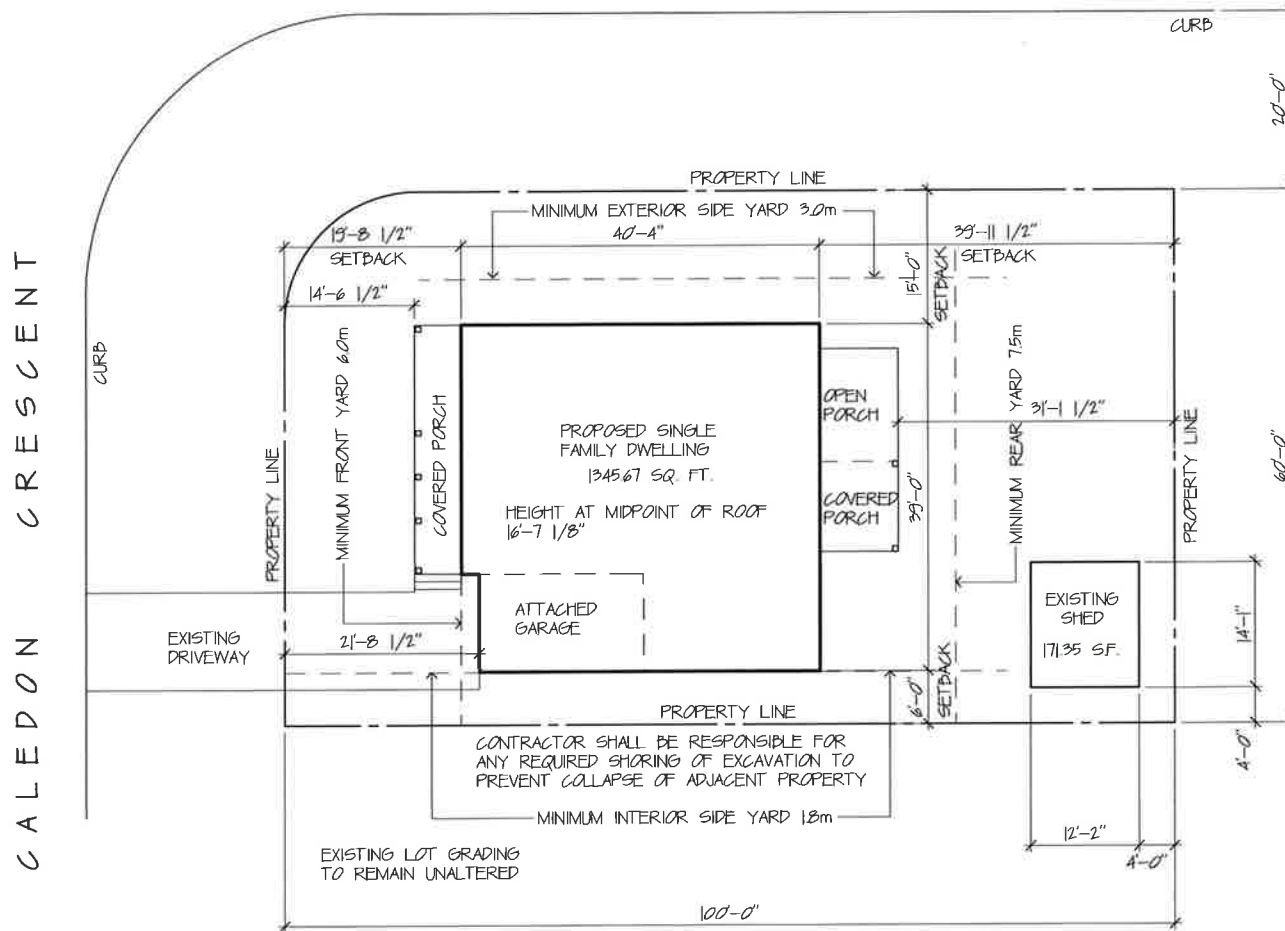
SITE PLAN SCALE: 1/16"=1'-0"



PROPERTY BOUNDARIES ARE BASED ON SURVEYOR'S CERTIFICATE FOR LOTS 190 TO 193 (INCLUSIVE) REGISTERED PLAN 695 TOWN OF BRAMPTON PREPARED BY LLOYD THOMSON, ONTARIO LAND SURVEYOR DATED DEC. 20, 1965

LOT AREA = 595176 SQ. FT.
PROPOSED BUILDING AREA = 1785.472 SQ. FT.
COVERAGE = 30%

CALEDON CRESCENT



KEY PLAN NOT TO SCALE



REVISIONS 30 MARCH, 2013

- 1 ADD SETBACK DIMENSIONS
- 2 ADD SURVEYOR INFORMATION
- 3 ADD BUILDING HEIGHT

REVISIONS 05 APRIL, 2013

- 1 ADD COVERAGE INFORMATION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Required unless design is exempt under 217.4.1 of the building code
David J. Bilo
NAME: David J. Bilo
SIGNATURE: [Signature]
29136
ICR

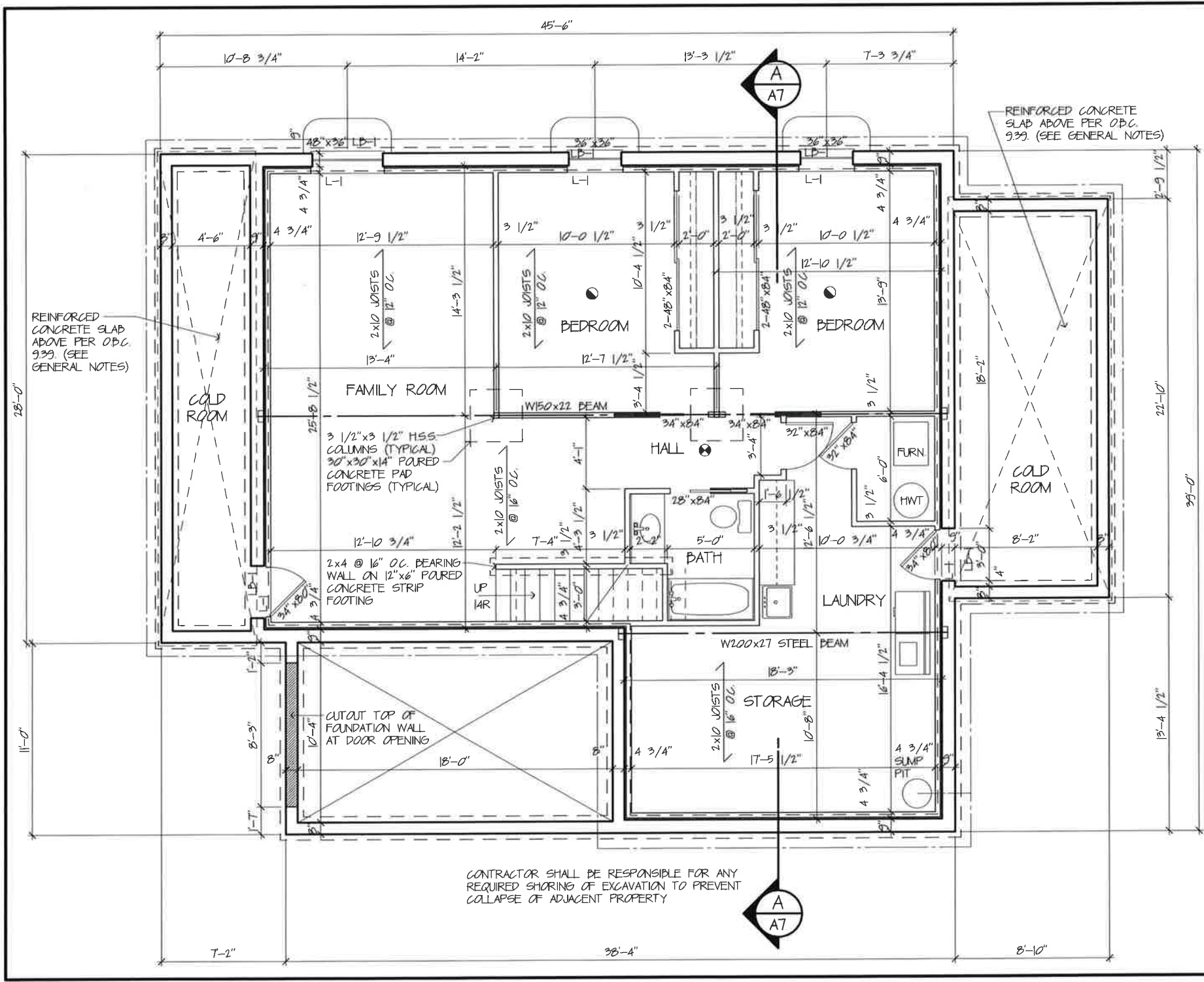
REGISTRATION INFORMATION
Required unless design is exempt under 217.4.1 of the building code
Robert G. McEwen & Associates Ltd.
FIRM NAME: Robert G. McEwen & Associates Ltd.
29526
ICR

PROJECT: PROPOSED RESIDENCE
33 CALEDON CRESCENT, BRAMPTON

SUBJECT: SITE PLAN

CLIENT: KARIN WALTER

DATE: FEBRUARY 2013	SCALE: AS NOTED
DRAWN BY: D. BILLO	CHECKED: T. SAGAR
PROJECT NO: 1011293	DWG NO: A1
SHEET 1 OF 10	



REVISIONS 05 APRIL, 2013
1 REVISE REAR COLD ROOM LOCATION



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

David J. Billo	29136
NAME	BCR
SIGNATURE	
Robert G. McEwen & Associates Ltd.	29526
FIRM NAME	BCR

REGISTRATION INFORMATION
Required unless design is exempt under 2.7.41 of the building code

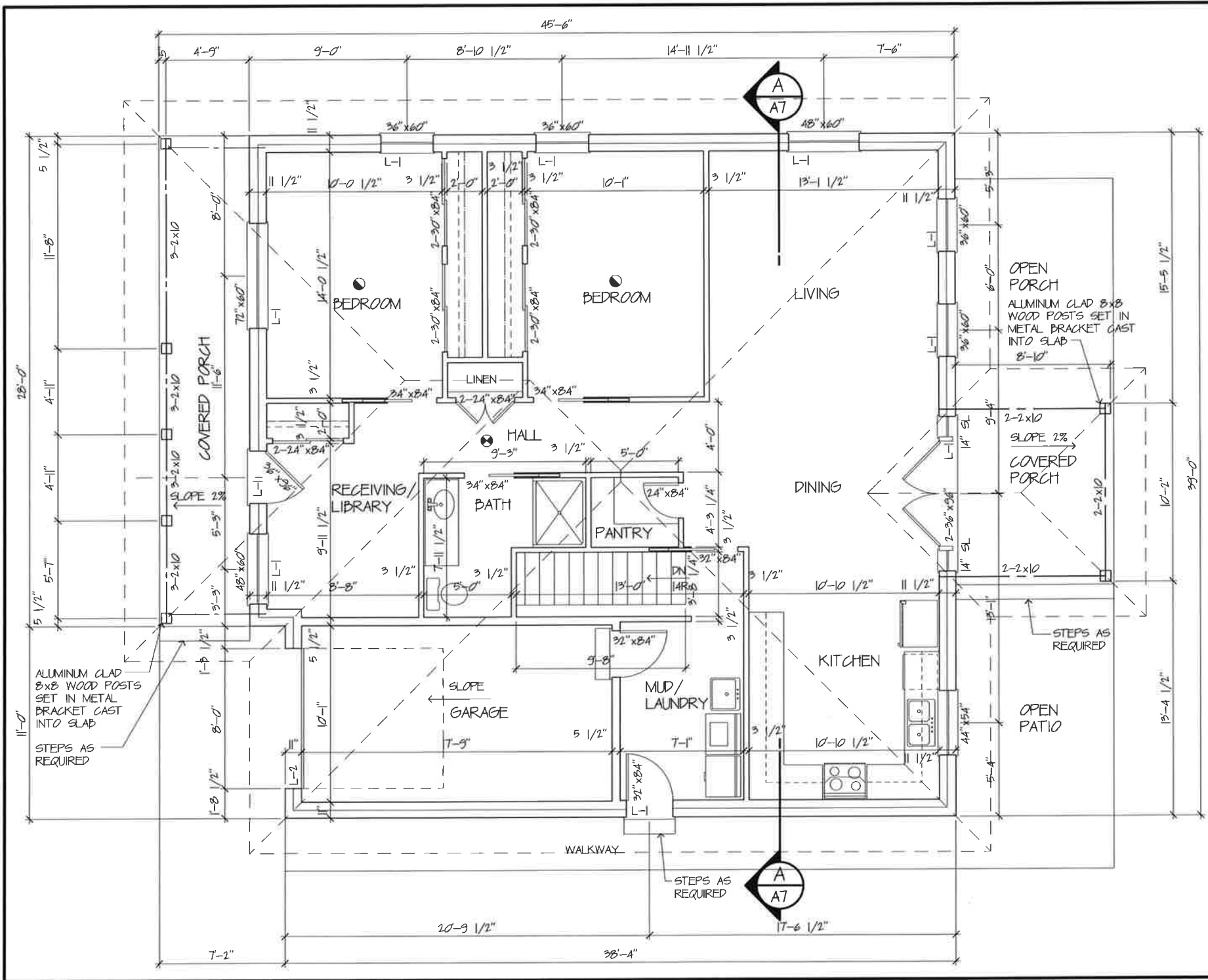
PROJECT:	PROPOSED RESIDENCE 33 CALEDON CRESCENT, BRAMPTON
SUBJECT:	BASEMENT/FOUNDATION PLAN
CLIENT:	KARIN WALTER

DATE:	FEBRUARY 2013	SCALE:	3/16"=1'-0"
DRAWN BY:	D. BILLO	CHECKED:	T. SAGAR
PROJECT NO:	2012293	DWG NO:	
SHEET 2		OF 10	

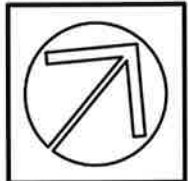
A2

Robert G. McEwen & Associates Consulting Engineers

MISSISSAUGA FOXBORO



REVISIONS 05 APRIL, 2013
1 REVISE REAR COVERED PORCH SIZE



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 Required unless design is exempt under 27.4.1 of the building code
 David J. Billo *David J. Billo* 29136
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under 27.4.1 of the building code
 Robert G. McEwen & Associates Ltd. 29526
 FIRM NAME BCIN

PROJECT: PROPOSED RESIDENCE
 33 CALEDON CRESCENT, BRAMPTON

SUBJECT: GROUND FLOOR PLAN

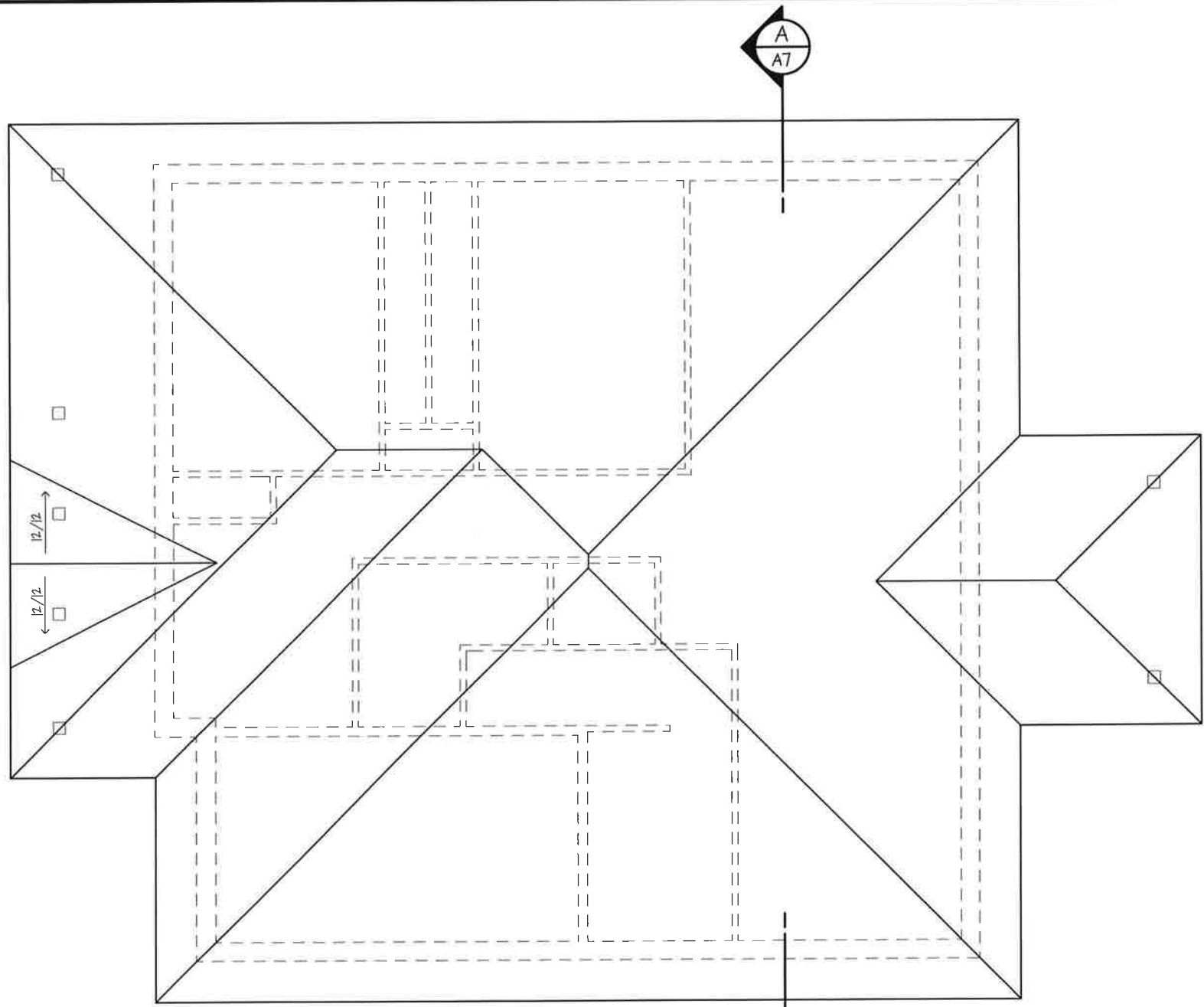
CLIENT: KARIN WALTER

DATE: FEBRUARY 2013	SCALE: 3/16"=1'-0"
DRAWN BY: D. BILLO	CHECKED: T. SAGAR
PROJECT NO: 2012193	DWG NO: SHEET 3 OF 10

A3

Robert G. McEwen & Associates
 Consulting Engineers

MISSISSAUGA FOXBORO



ALL ROOF SLOPES 12/12 UNLESS OTHERWISE NOTED.
 ALL ROOF OVERHANGS 24" UNLESS OTHERWISE NOTED.

REVISIONS 05 APRIL, 2023
1 REVISE REAR COVERED PORCH SIZE



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 Required unless design is exempt under 2.0.1.1 of the building code
 David J. Billo 29136
 NAME SIGNATURE SCR

REGISTRATION INFORMATION
 Required unless design is exempt under 2.0.1.1 of the building code
 Robert G. McEwen & Associates Ltd. 29526
 FIRM NAME SCR

PROJECT: PROPOSED RESIDENCE
 33 CALEDON CRESCENT, BRAMPTON

SUBJECT: ROOF PLAN

CLIENT: KARIN WALTER

DATE: FEBRUARY 2023	SCALE: 3/16" = 1'-0"
DRAWN BY: D. BILLO	CHECKED: T. SAGAR
PROJECT NO: 2022293	DWG NO: A4
SHEET 4 OF 10	

Robert G. McEwen & Associates
 Consulting Engineers

MISSISSAUGA FOXBORO

MATERIAL: ASPHALT SHINGLES
 MANUFACTURER: IKO,
 CAMBRIDGE SERIES
 COLOR: DUALBLACK

MATERIAL: BRICK VENEER
 MANUFACTURER: BRAMPTON BRICK,
 LEGACY SERIES
 COLOR: CRIMSON

MATERIAL: STONE VENEER
 MANUFACTURER: BRAMPTON BRICK,
 ARTISTE 2 SERIES
 COLOR: MARBLE GRAY

REVISIONS 18 MARCH, 2013

1 CHANGE EIFS TO BRICK VENEER

REVISIONS 30 MARCH, 2013

2 ADD BUILDING HEIGHT DIMENSION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
 Required unless design is exempt under 2.7.4.1 of the building code
 David J. Billo
 NAME SIGNATURE 29136 BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under 2.7.4.1 of the building code
 Robert G. McEwen & Associates Ltd.
 FIRM NAME 29526 BCIN

PROJECT: PROPOSED RESIDENCE
 33 CALEDON CRESCENT, BRAMPTON

SUBJECT: ELEVATIONS

CLIENT: KARIN WALTER

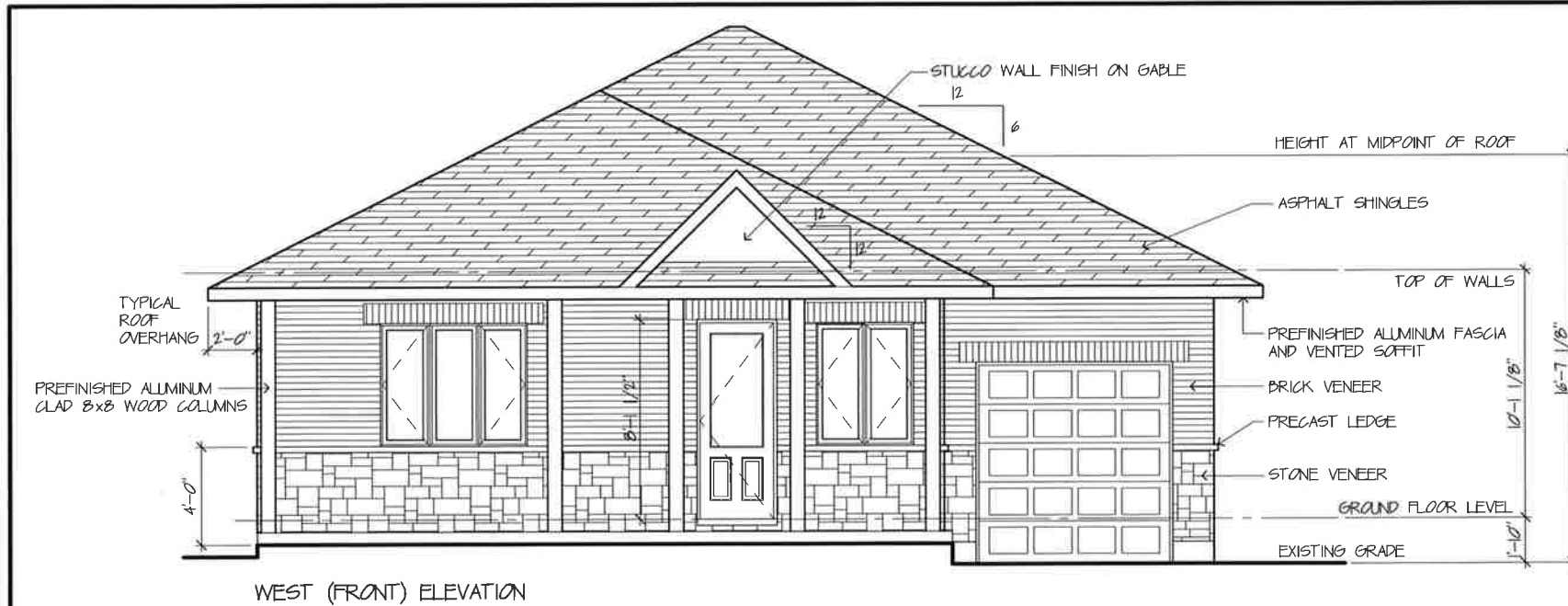
DATE: FEBRUARY 2013 SCALE: 3/16"=1'-0"

DRAWN BY: D. BILLO CHECKED: T. SAGAR

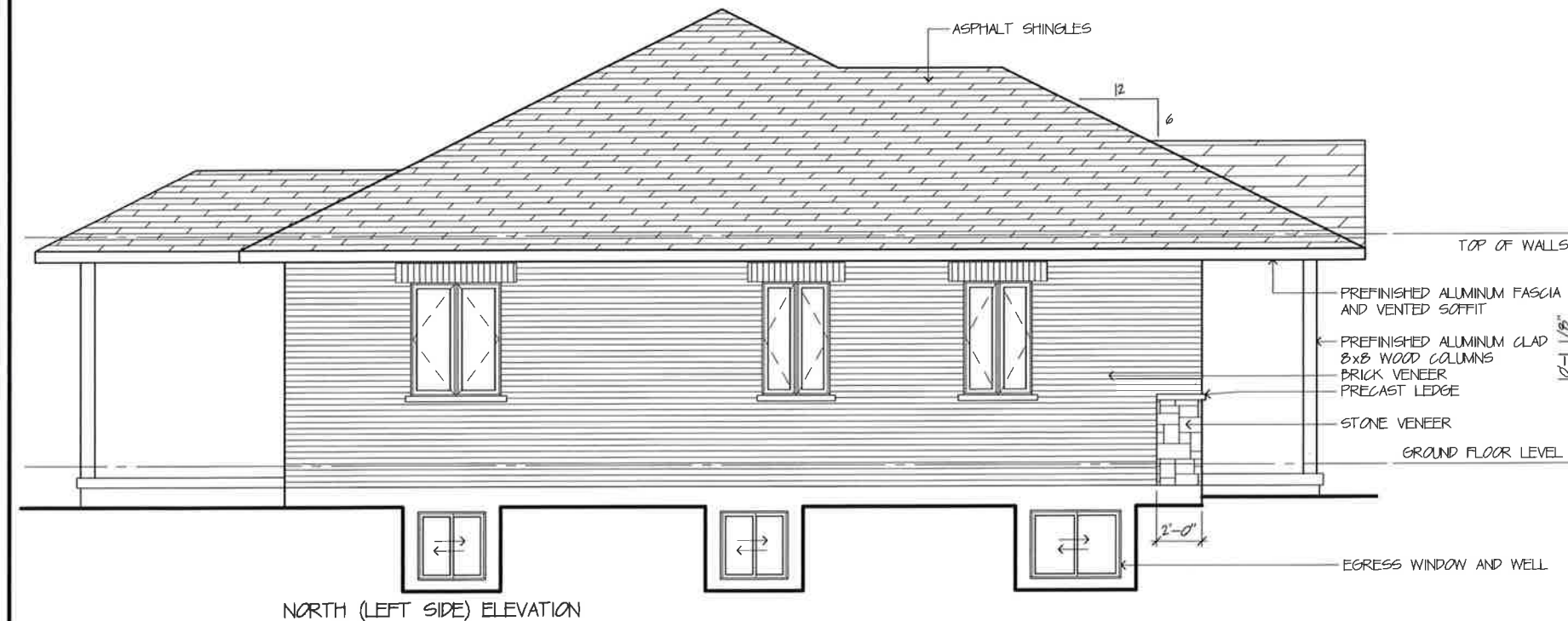
PROJECT NO: 2012293 DWG NO: SHEET 5 OF 10 **A5**



Robert G. McEwen & Associates Consulting Engineers
 MISSISSAUGA FOXBORO



WEST (FRONT) ELEVATION



NORTH (LEFT SIDE) ELEVATION



EAST (REAR) ELEVATION



MATERIAL: ASPHALT SHINGLES
 MANUFACTURER: IKO,
 CAMBRIDGE SERIES
 COLOR: DUALBLACK

MATERIAL: BRICK VENEER
 MANUFACTURER: BRAMPTON BRICK,
 LEGACY SERIES
 COLOR: CRIMSON

MATERIAL: STONE VENEER
 MANUFACTURER: BRAMPTON BRICK,
 ARTISTE 2 SERIES
 COLOR: MARBLE GRAY

REVISIONS 18 MARCH, 2023

1 CHANGE EIFS TO BRICK VENEER

REVISIONS 05 APRIL, 2023

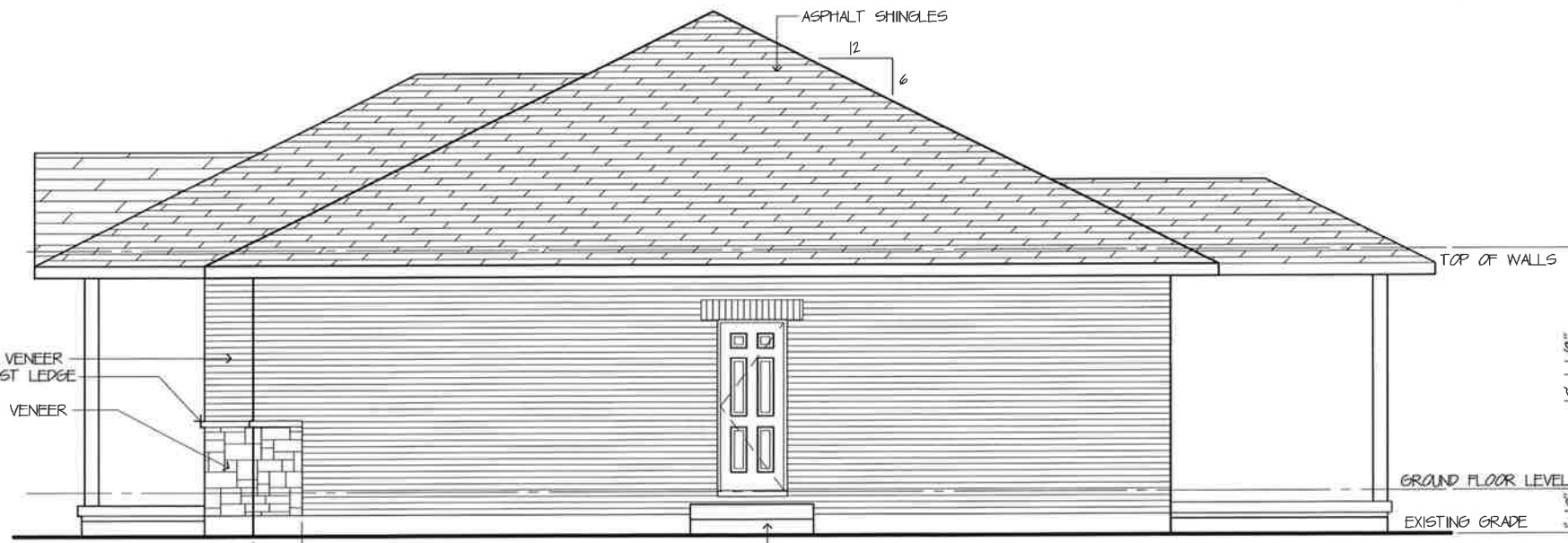
2 REVISE REAR COVERED PORCH SIZE

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
Required unless design is exempt under 27.1.1 of the building code
 David J. Billo 29136
 NAME SIGNATURE BCR
 REGISTRATION INFORMATION
Required unless design is exempt under 27.4.1 of the building code
 Robert G. McEwen & Associates Ltd. 29526
 FIRM NAME BCR

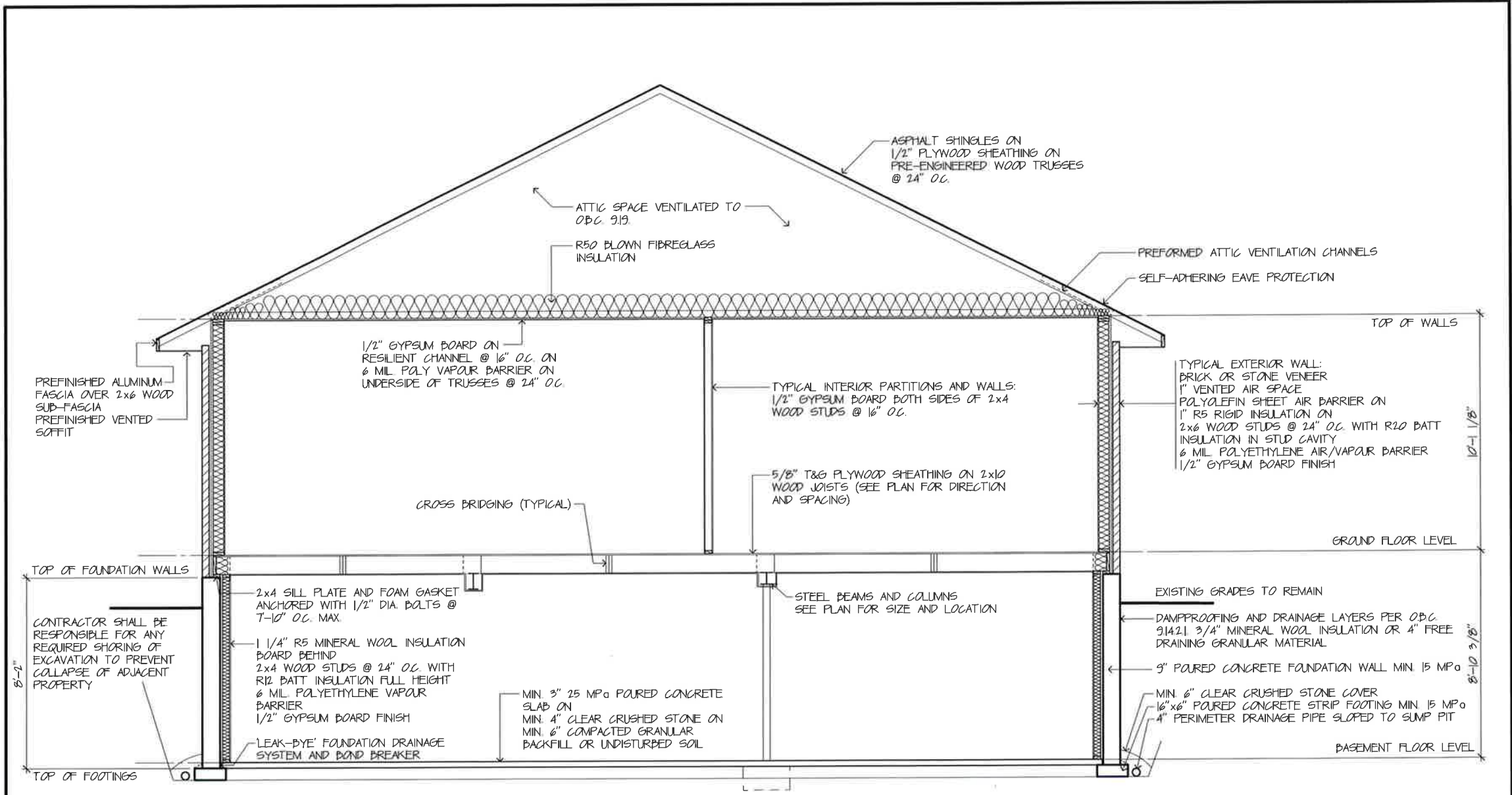
PROJECT: PROPOSED RESIDENCE
 33 CALEDON CRESCENT, BRAMPTON
 SUBJECT: ELEVATIONS
 CLIENT: KARIN WALTER

DATE: FEBRUARY 2023 SCALE: 3/16"=1'-0"
 DRAWN BY: D. BILLO CHECKED: T. SAGAR
 PROJECT NO: 2022293 DWG. NO: SHEET 6 OF 10 A6



SOUTH (RIGHT SIDE) ELEVATION

Robert G. McEwen & Associates Consulting Engineers
 MISSISSAUGA FOXBORO



A CROSS SECTION
SK2, SK3, SK4

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION:
Required unless design is exempt under 217.41 of the building code.

David J. Bilo 29136
NAME SIGNATURE BCIN

REGISTRATION INFORMATION:
Required unless design is exempt under 217.41 of the building code.

Robert G. McEwen & Associates Ltd. 29526
FIRM NAME BCIN

REVISIONS 13 MARCH, 2013

1	CHANGE EIFS TO BRICK VENEER

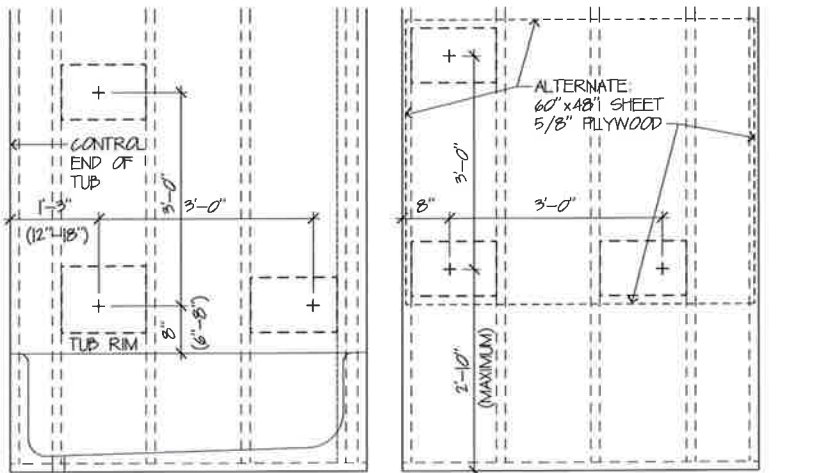
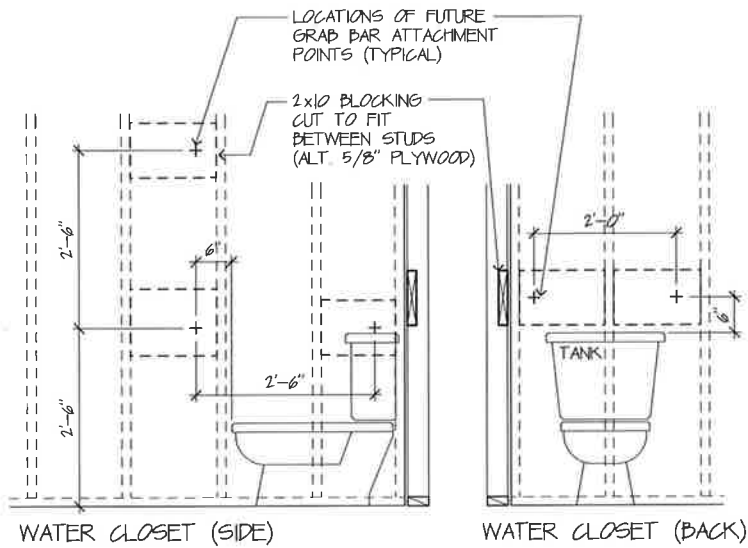
NORTH

PROJECT:	PROPOSED RESIDENCE 33 CALEDON CRESCENT, DRAUGHTON
SUBJECT:	CROSS SECTION
CLIENT:	KARIN WALTER

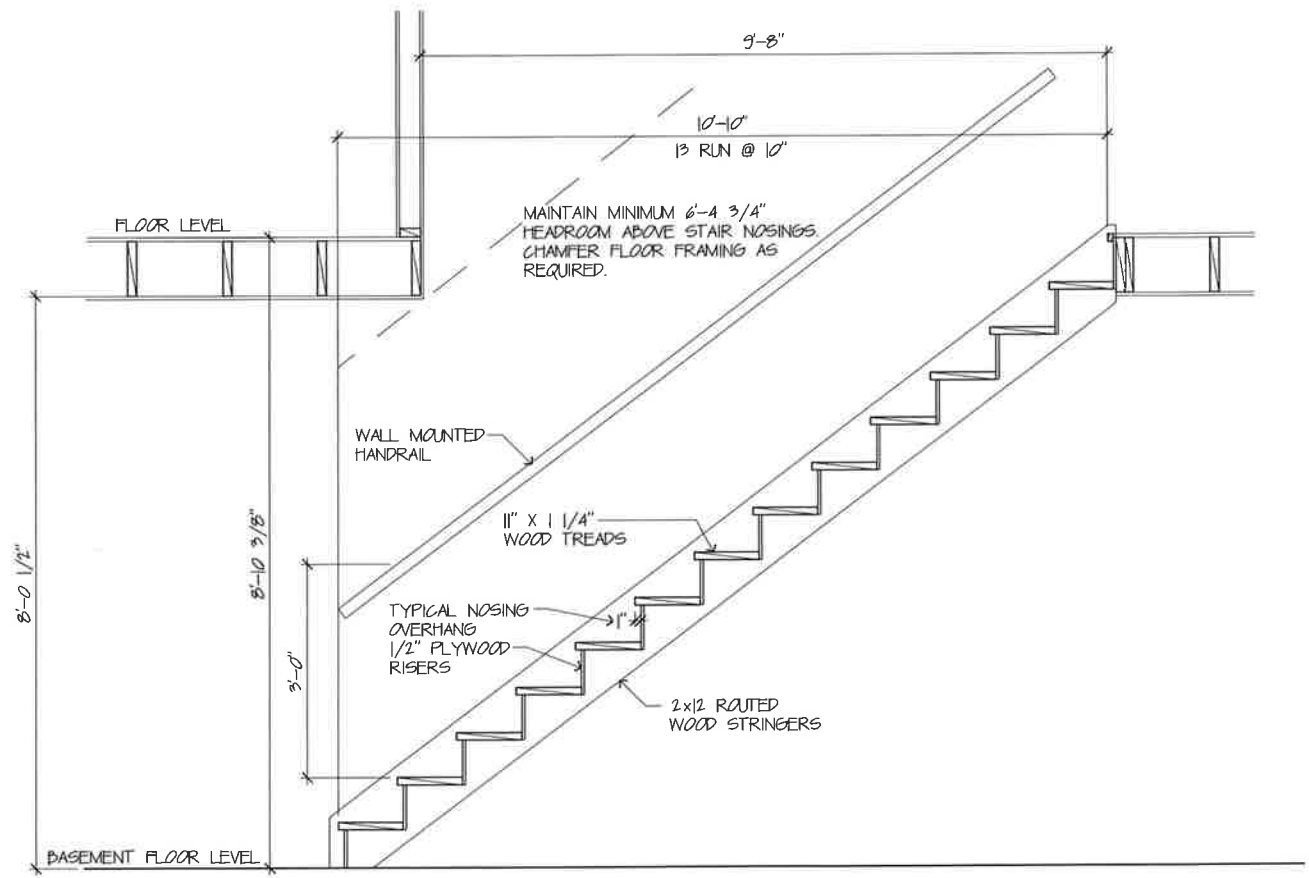
DATE:	FEBRUARY 2013	SCALE:	1/4"=1'-0"
DRAWN BY:	D. BILLO	CHECKED:	T. SAGAR
PROJECT NO:	2022293	DWG. NO:	A7
		SHEET:	7 OF 10

Robert G. McEwen & Associates
Consulting Engineers

MISSISSAUGA FOXBORO



GRAB BAR REINFORCEMENT DETAILS



STAIR SECTION

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Required unless design is exempt under 27.2.1 of the building code

David J. Bilo 29136
NAME SIGNATURE BCN

REGISTRATION INFORMATION
Required unless design is exempt under 27.4.1 of the building code

Robert G. McEwen & Associates Ltd. 29526
FIRM NAME BCN



PROJECT: PROPOSED RESIDENCE
33 CALEDON CRESCENT, BRAMPTON

SUBJECT: DETAILS

CLIENT: KARIN WALTER

DATE: FEBRUARY 2013

SCALE: 1/2" = 1'-0"

DRAWN BY: D. BILLO

CHECKED: T. SAGAR

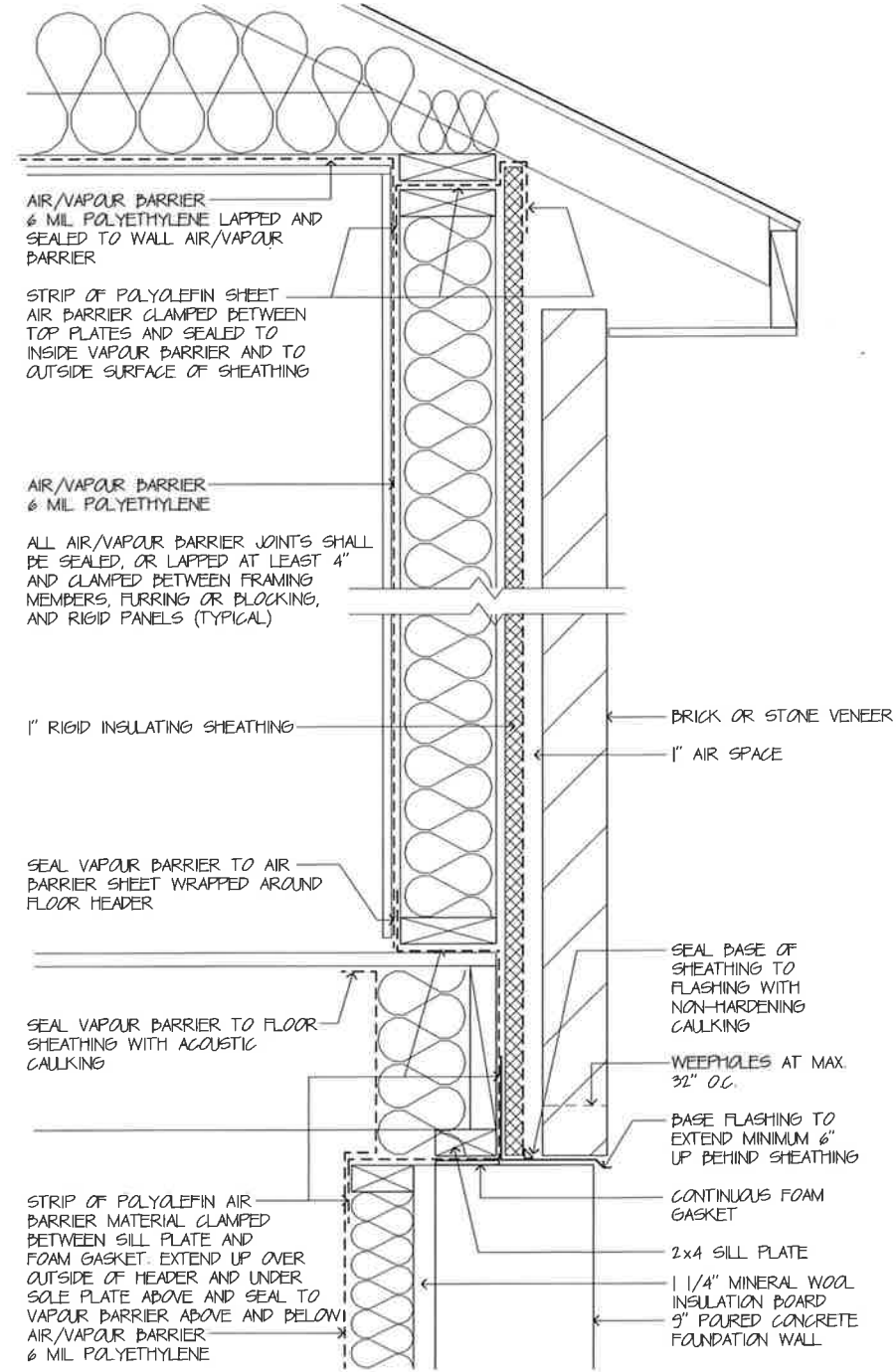
PROJECT NO: 2012193

DWG NO: A8

SHEET 8 OF 10

Robert G. McEwen & Associates
Consulting Engineers

MISSISSAUGA FOXBORO



AIR/VAPOUR BARRIER
6 MIL POLYETHYLENE LAPPED AND
SEALED TO WALL AIR/VAPOUR
BARRIER

STRIP OF POLYOLEFIN SHEET
AIR BARRIER CLAMPED BETWEEN
TOP PLATES AND SEALED TO
INSIDE VAPOUR BARRIER AND TO
OUTSIDE SURFACE OF SHEATHING

AIR/VAPOUR BARRIER
6 MIL POLYETHYLENE

ALL AIR/VAPOUR BARRIER JOINTS SHALL
BE SEALED, OR LAPPED AT LEAST 4"
AND CLAMPED BETWEEN FRAMING
MEMBERS, FURRING OR BLOCKING,
AND RIGID PANELS (TYPICAL)

1" RIGID INSULATING SHEATHING

SEAL VAPOUR BARRIER TO AIR
BARRIER SHEET WRAPPED AROUND
FLOOR HEADER

SEAL VAPOUR BARRIER TO FLOOR
SHEATHING WITH ACOUSTIC
CAULKING

STRIP OF POLYOLEFIN AIR
BARRIER MATERIAL CLAMPED
BETWEEN SILL PLATE AND
FOAM GASKET. EXTEND UP OVER
OUTSIDE OF HEADER AND UNDER
SOLE PLATE ABOVE AND SEAL TO
VAPOUR BARRIER ABOVE AND BELOW
AIR/VAPOUR BARRIER
6 MIL POLYETHYLENE

BRICK OR STONE VENEER

1" AIR SPACE

SEAL BASE OF
SHEATHING TO
FLASHING WITH
NON-HARDENING
CAULKING

WEEPHOLES AT MAX.
32" O.C.

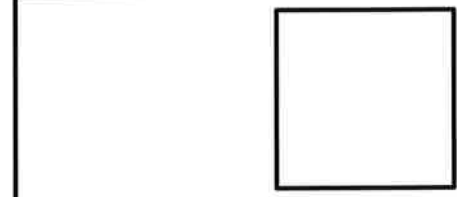
BASE FLASHING TO
EXTEND MINIMUM 6"
UP BEHIND SHEATHING

CONTINUOUS FOAM
GASKET

2x4 SILL PLATE

1 1/4" MINERAL WOOL
INSULATION BOARD
9" POURED CONCRETE
FOUNDATION WALL

REVISIONS 18 MARCH, 2023
1 CHANGE EIFS TO BRICK VENEER



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	
QUALIFICATION INFORMATION Required unless design is exempt under 217.41 of the building code	
David J. Billo	29136
NAME	BCN
SIGNATURE	
REGISTRATION INFORMATION Required unless design is exempt under 217.41 of the building code	
Robert G. McEwen & Associates Ltd.	29520
FRM NAME	BCN

PROJECT:	PROPOSED RESIDENCE 33 CALEDON CRESCENT, DRAUGHTON
SUBJECT:	AIR BARRIER DETAIL
CLIENT:	KARIN WALTER

DATE:	FEBRUARY 2023	SCALE:	1 1/2" = 1'-0"
DRAWN BY:	D. BILLO	CHECKED:	T. SAGAR
PROJECT NO.:	2022293	DWG. NO.:	9 of 10
		A9	

 Robert G. McEwen & Associates Consulting Engineers	
MISSISSAUGA	FOXBORO

GENERAL NOTES

THE SOLE PURPOSE OF THESE DRAWINGS IS TO OBTAIN A BUILDING PERMIT FOR THE SINGLE FAMILY DWELLING UNIT AS SHOWN, IN ACCORDANCE WITH PART 9 OF THE ONTARIO BUILDING CODE.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME CHARACTER AS SHOWN FOR SIMILAR CONDITIONS.

WORKMANSHIP TO BE OF A STANDARD EQUAL TO GOOD BUILDING PRACTICE.

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH ANY OF THE WORK. ANY DISCREPANCIES, ERRORS, AND OMISSIONS SHOULD BE REPORTED TO THE DESIGNER / ENGINEER.

DRAWINGS ARE NOT TO BE SCALED. WORK TO DIMENSIONS ONLY.

CONTRACTOR IS RESPONSIBLE FOR ARRANGING ALL BUILDING INSPECTIONS REQUIRED BY THE MUNICIPALITY BUILDING DEPARTMENT AND THE ONTARIO BUILDING CODE.

ALL TRADES SHALL BE RESPONSIBLE FOR COMPLIANCE OF THEIR WORK TO CODE REQUIREMENTS AND LOCAL BYLAWS.

FOOTINGS SHALL BE PAURED CONCRETE, MIN. 15 MPa SET ON UNDISTURBED SOIL OR ROCK, CONCRETE FILL, OR ENGINEERED BACKFILL (BY OTHERS), MIN. 4'-0" BELOW FINISHED GRADE.

FOUNDATION WALLS SHALL BE PAURED CONCRETE MIN. 15 MPa FORM POCKETS IN THE TOP OF FOUNDATION WALLS FOR BEAM BEARINGS.

PROVIDE WINDOW WELLS AS REQUIRED TO SUIT FINISHED GRADES DRAINED TO FOOTING LEVEL.

BASEMENT FLOOR SLABS SHALL BE 3" PAURED CONCRETE, MIN. 25 MPa ON 4" CLEAR CRUSHED STONE ON MIN. 6" COMPACTED GRANULAR BACKFILL OR UNDISTURBED SOIL.

PROVIDE A PREFORMED PLASTIC SUMP PIT C/W CHILDPROOF LID PER O.B.C. 914.52, SEALED TO PREVENT AIR LEAKAGE PER O.B.C. 925.33(16). PROVIDE A WALL RECEPTACLE FOR SUMP PUMP.

GARAGE FLOOR SLABS SHALL BE 4" PAURED CONCRETE SLOPED TOWARDS OVERHEAD DOOR, MIN. 32 MPa WITH 6% AIR ENTRAINMENT ON COMPACTED GRANULAR FILL OR UNDISTURBED SOIL.

REINFORCED CONCRETE SLABS SHALL BE PER O.B.C. 939. REINFORCING STEEL SHALL CONFORM TO GRADE 400 IN CSA G30.13, "CARBON STEEL BARS FOR CONCRETE REINFORCEMENT". CONCRETE SHALL BE CAST AGAINST FORM WORK IN ACCORDANCE WITH CSA A23.1, "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION". THE SLAB SHALL BE NOT LESS THAN 5" THICK, MIN. 32 MPa WITH 6% AIR ENTRAINMENT. THE SLAB SHALL BE REINFORCED WITH 10M BARS SPACED NOT MORE THAN 3" O.C. IN EACH DIRECTION, WITH 1 1/4" CLEAR COVER FROM THE BOTTOM OF THE SLAB TO THE FIRST LAYER OF BARS, AND THE SECOND LAYER OF BARS LAID DIRECTLY ON TOP OF THE LOWER LAYER IN THE OPPOSITE DIRECTION. THE SLAB SHALL BEAR NOT LESS THAN 3" ON THE SUPPORTING FOUNDATION WALLS AND BE ANCHORED TO THE WALLS WITH 24"x24" 10M BENT DOWELS SPACED AT NOT MORE THAN 24" O.C. EXPOSED SLABS SHALL BE SLOPED TO EFFECTIVELY SHED WATER. PROVIDE 2" OVERHANG WITH DRIP GROOVE BEYOND SUPPORTING WALLS AT EXPOSED EDGES.

STEEL FABRICATION, ERECTION AND WORKMANSHIP SHALL CONFORM TO CSA S16.

ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH CSA G40.21M - 300M.

MASONRY WORK SHALL BE IN ACCORDANCE WITH CSA STANDARDS CAN3-A371 AND THE ONTARIO BUILDING CODE.

LINTEL SCHEDULE

L1 2-2x10
L2 3-2x12

LB-1 3 1/2" x 3 1/2" x 1/4" LOOSE STEEL ANGLE
LB-2 3 1/2" x 4" x 1/4" LOOSE STEEL ANGLE

ROOF LOADS:

SNOW LOAD = 2328 psi [115 kPa]
DEAD LOAD = 150 psf [72 kPa]
TOTAL LOAD = 3828 psi [183 kPa]

PROVIDE ON SITE, AT TIME OF FRAMING INSPECTION, THE FOLLOWING IF APPLICABLE:

- ENGINEERED TRUSS DESIGN DRAWINGS
- TRUSS LAYOUT DIAGRAM
- LINTEL DESIGN FOR LINTELS SUPPORTING TRUSSES OVER 3'-2" [923|23|(1)|(d)] AND LINTELS WITH GIRDER TRUSS BEARING ABOVE
- ENGINEERED FLOOR SYSTEM DESIGN

STUD HEIGHTS SHALL COMPLY WITH THE REQUIREMENT OF O.B.C. TABLE 923|10|1 OR TABLES A-30 TO A-31.

PROVIDE MID-HEIGHT BLOCKING OR STRAPPING ON LEADBEARING INTERIOR STUD WALL WHICH ARE NOT FINISHED WITH GYPSUM BOARD OR OTHER PANEL -TYPE SHEATHING.

INSTALL REINFORCEMENT IN MAIN BATHROOM WALLS IN ACCORDANCE WITH O.B.C. 915.23 TO PERMIT THE FUTURE INSTALLATION OF GRAB BARS.

PROVIDE AN ATTIC ACCESS HATCH IN ACCORDANCE WITH O.B.C. 919.21.

INTERIOR RAILING SHALL BE CONSTRUCTED TO O.B.C. S5-7, DETAILS IA-1, IB-1, AND IC-2, AND AS SHOWN ON DRAWINGS.

TYPICAL GARAGE DEMISING WALL:
(GAS BARRIER PER O.B.C. 9129|16(4)(o))
1/2" GYPSUM BOARD TAPED AND SEALED GAS TIGHT ON 1" R6 ISOCYANURATE SHEATHING WITH INTEGRAL FOIL FACING
2x6 STUDS @ 16" O.C. WITH R20 BATT INSULATION
6 MIL. POLYETHYLENE VAPOUR BARRIER
1/2" GYPSUM BOARD
SEAL ALL JOINTS AND PENETRATIONS

DOORS BETWEEN DWELLING UNIT AND ATTACHED GARAGE SHALL BE COMPLETELY WEATHERSTRIPPED AND INSULATION C/W SELF-CLOSING DEVICE.

PROVIDE THERMOSTATIC MIXING VALVE ON HOT WATER TANK TO CAN/CSA-B125 SO THAT WATER SUPPLIED TO FIXTURES DOES NOT EXCEED 49 DEGREES C, EXCEPT DISHWASHERS AND CLOTHES WASHERS, PER O.B.C. T65.

ALL SHOWER VALVES SHALL BE PRESSURE BALANCED.

ALL WATER CLOSETS SHALL BE MAXIMUM 4.8 LITRES PER FLUSH, OR 41 OR LESS/16 LITRES PER FLUSH FOR DUAL FLUSH WATER CLOSETS.

INSTALL DRAIN WATER HEAT RECOVERY UNITS TO RECEIVE DRAIN WATER FROM ALL SHOWERS, OR AT LEAST TWO SHOWERS WHERE THERE ARE TWO OR MORE SHOWERS IN THE DWELLING UNIT, IN ACCORDANCE WITH O.B.C. S5-12, 3.1112, DRAIN WATER HEAT RECOVERY.

VENTILATE ATTIC SPACE TO O.B.C. 919 UNOBSTRUCTED VENT AREA SHALL BE NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA. ROOF VENTS SHALL BE DURAFLO MODEL 6075 (75 SQ. IN. VENT AREA) OR EQUAL.

PROVIDE TO THE MUNICIPALITY PRIOR TO THE REQUEST FOR A FRAMING INSPECTION, MECHANICAL DETAILS INCLUDING:

- HEAT LOSS CALCULATIONS
- DUCT SIZE CALCULATIONS AND DUCT LAYOUT DIAGRAM FOR THE HEATING AND VENTILATION SYSTEMS
- DUCT SIZES FOR ALL VENTILATION SYSTEMS, INCLUDING EXHAUST FANS AND HRV DUCTS AND GRILLES
- CLASSIFICATION OF HEAT TYPE (ELECTRIC, GAS, OIL, WOOD, HOT WATER, ETC.)
- CLASS OF VENT TYPE (DIRECT, INDUCED, NATURAL, ETC.)
- LOCATION AND TYPE OF ELECTRIC HEATING
- HEATING DESIGNER AND HEATING INSTALLER CERTIFICATION NUMBERS
- VENTILATION DESIGNER/INSTALL CERTIFICATION NUMBER (INCLUDES HRV)

☉ COMBINATION SMOKE ALARM AND CARBON MONOXIDE ALARM PER O.B.C. 91019 AND 9334.

☉ SMOKE ALARM PER O.B.C. 91019.

ALARMS SHALL BE EQUIPPED WITH BATTERY BACKUP POWER PER O.B.C. 91019.4(1). WIRED SO THAT WHEN ONE ALARM IS ACTIVATED, ALL ALARMS IN DWELLING UNIT WILL SOUND PER O.B.C. 91019.5 AND 9334.3.

SMOKE ALARMS SHALL HAVE A VISUAL SIGNALLING COMPONENT CONFORMING TO THE REQUIREMENTS IN 18.53 OF NFPA 72.

PROVIDE LIGHT FIXTURE AT ALL EXTERIOR ENTRANCES.

PROVIDE 3-WAY SWITCHES AT THE HEAD AND FOOT OF EVERY STAIRWAY TO CONTROL AT LEAST ONE LIGHTING OUTLET WITH FIXTURE PER O.B.C. 9342.3.

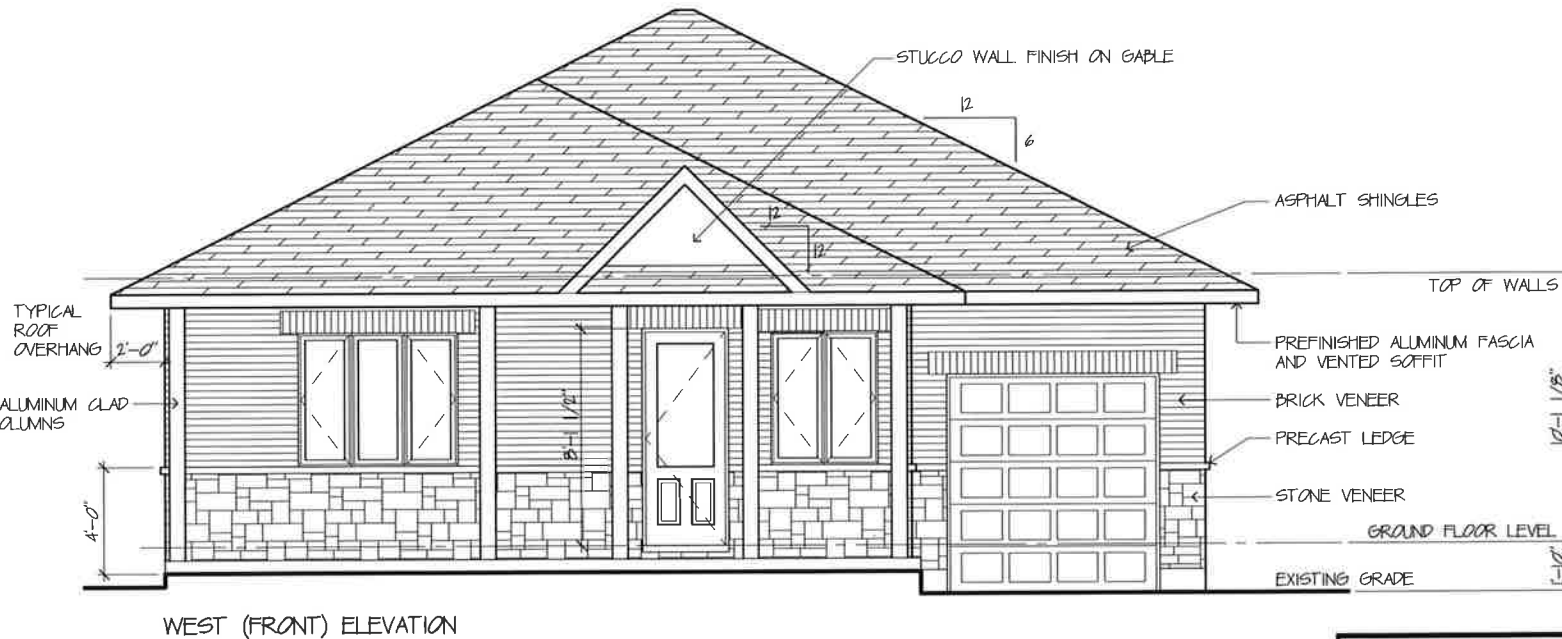
PROVIDE BASEMENT LIGHTING AND SWITCHES PER O.B.C. 9342.4.

PROVIDE FOR THE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT IN ACCORDANCE WITH O.B.C. 9344.1. ELECTRIC VEHICLE CHARGING SYSTEMS.

COMPLIANCE PACKAGE AS PER O.B.C. S5-12, TABLE 3.112A, TO INCLUDE:
R50 CEILING WITH ATTIC SPACE INSULATION
R31 CEILING WITHOUT ATTIC SPACE INSULATION
R35 EXPOSED FLOOR INSULATION
R19 + 5ci ABOVE GRADE WALL INSULATION
R12 + 5ci BASEMENT WALL INSULATION
R10 EDGE OF SLAB 24" OR LESS BELOW GRADE
R10 SLAB 24" OR LESS BELOW GRADE
U = 0.28 MAX. WINDOWS AND SLIDING GLASS DOORS
94% AFUE SPACE HEATING EQUIPMENT
70% MINIMUM EFFICIENCY HRV
0.8 MINIMUM EF DOMESTIC HOT WATER HEATER
42% MINIMUM EFFICIENCY DWHR

GROSS EXTERIOR WALL AREA = 18186 SQ. M.
GROSS WINDOW AREA = 2188 SQ. M. [12.03%]

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.	
QUALIFICATION INFORMATION Required unless design is exempt under 2.0.11 of the building code.	
David J. Billo NAME:	[Signature] SIGNATURE:
REGISTRATION INFORMATION Required unless design is exempt under 2.0.11 of the building code.	
Robert G. McEwen & Associates Ltd. FIRM NAME:	29526 BCPI
PROJECT: PROPOSED RESIDENCE 33 CALEDON CRESCENT, BRAMPTON	
SUBJECT: GENERAL NOTES	
CLIENT: KARIN WALTER	
DATE: FEBRUARY 2023	SCALE: N/A
DRAWN BY: D. BILLO	CHECKED: T. SAGAR
PROJECT NO: 2022293	DWG. NO: A10 SHEET 10 OF 10
MISSISSAUGA	FOXBORO



MATERIAL: ASPHALT SHINGLES
 MANUFACTURER: IKO,
 CAMBRIDGE SERIES
 COLOR: DUALBLACK

MATERIAL: BRICK VENEER
 MANUFACTURER: BRAMPTON BRICK,
 LEGACY SERIES
 COLOR: CRIMSON

MATERIAL: STONE VENEER
 MANUFACTURER: BRAMPTON BRICK,
 ARTISTE 2 SERIES
 COLOR: MARBLE GRAY

REVISIONS 18 MARCH, 2023

1 CHANGE EIFS TO BRICK VENEER

City of Brampton
 Planning & Development Department
**ARCHITECTURAL CONTROL
 APPROVAL**
Hana Dhillon
 2023.03.24

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 Required unless design is exempt under 27.2.1 of the building code
 David J. Billo 29136
 NAME SIGNATURE BCN

REGISTRATION INFORMATION
 Required unless design is exempt under 27.4.1 of the building code
 Robert G. McEwen & Associates Ltd. 29526
 FIRM NAME BCN

PROJECT: PROPOSED RESIDENCE
 33 CALEDON CRESCENT, BRAMPTON

SUBJECT: ELEVATIONS

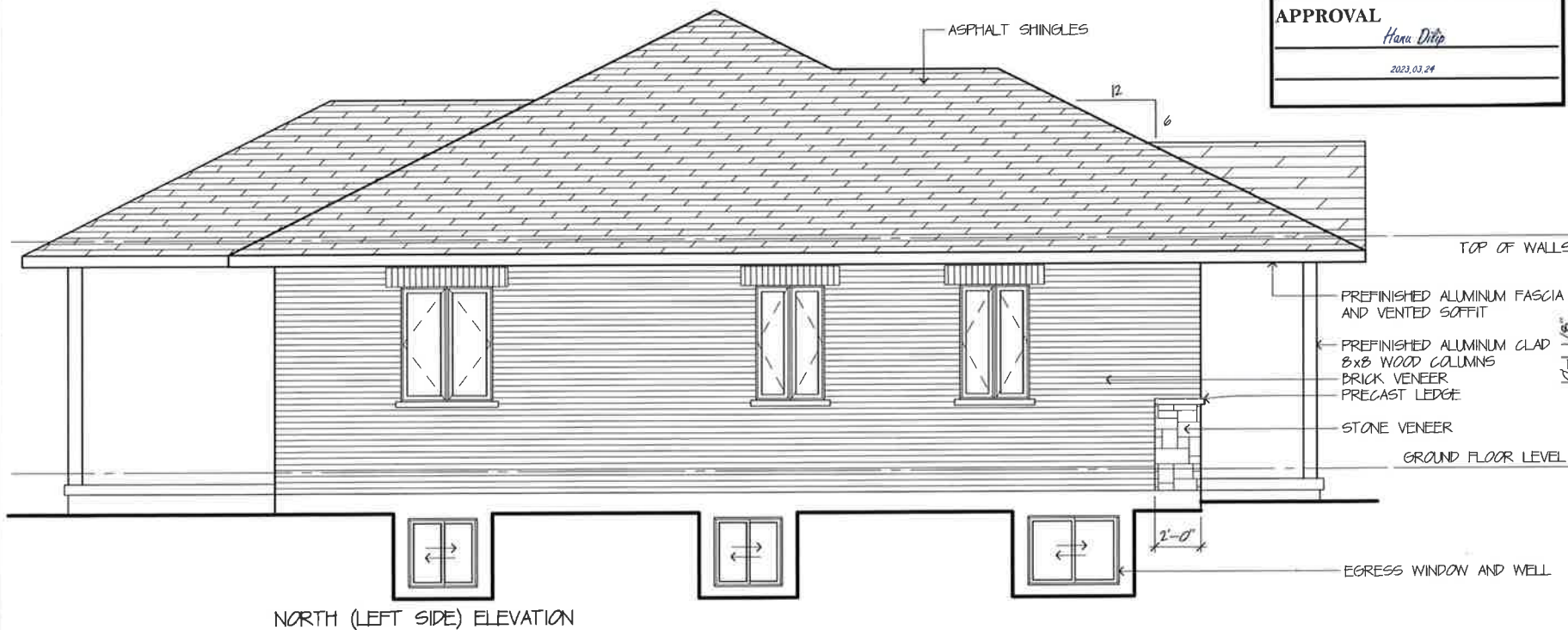
CLIENT: KARIN WALTER

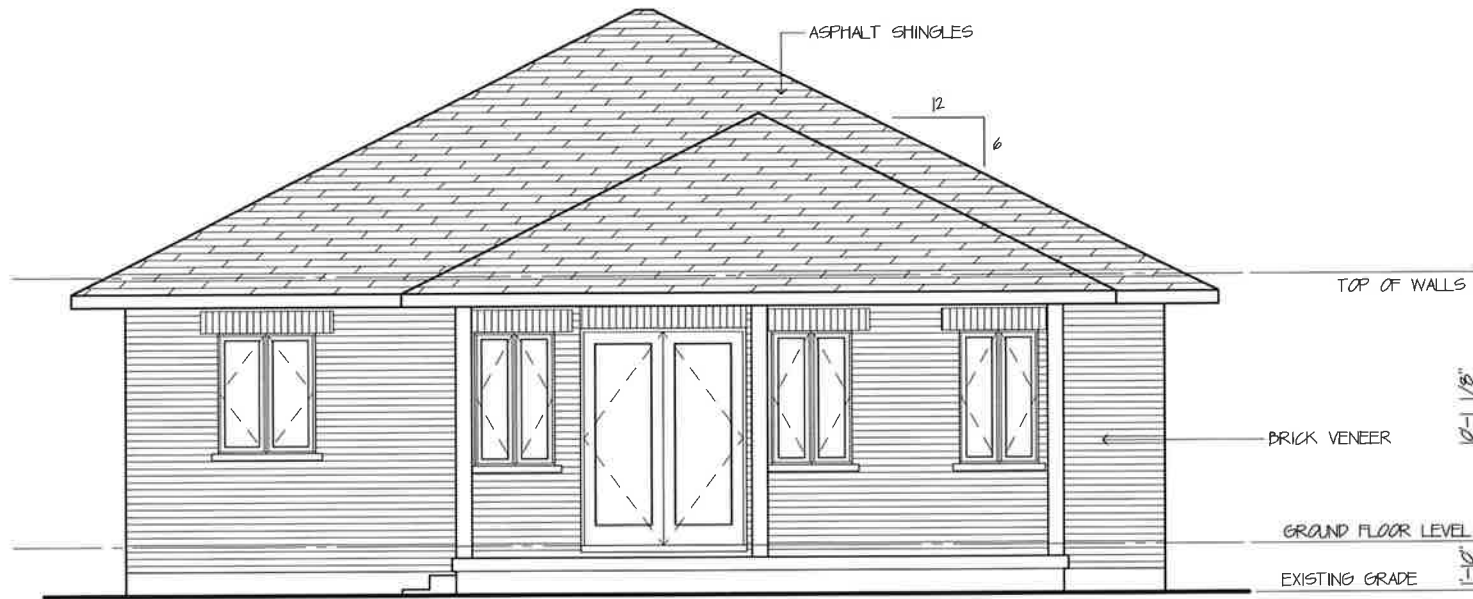
DATE: FEBRUARY 2023 SCALE: 3/16"=1'-0"

DRAWN BY: D. BILLO CHECKED: T. SAGAR

PROJECT NO: 1012293 DWG NO: SHEET 5 OF 10 **A5**

Robert G. McEwen & Associates
 Consulting Engineers
 MISSISSAUGA FOXBORO





EAST (REAR) ELEVATION



MATERIAL: ASPHALT SHINGLES
MANUFACTURER: IKO,
CAMBRIDGE SERIES
COLOR: DUALBLACK

MATERIAL: BRICK VENEER
MANUFACTURER: BRAMPTON BRICK,
LEGACY SERIES
COLOR: CRIMSON

MATERIAL: STONE VENEER
MANUFACTURER: BRAMPTON BRICK,
ARTISTE 2 SERIES
COLOR: MARBLE GRAY

REVISIONS 18 MARCH, 2023

1 CHANGE EIFS TO BRICK VENEER

City of Brampton
Planning & Development Department
**ARCHITECTURAL CONTROL
APPROVAL**
Hana Dilip
2023.03.24

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.2.2.1 of the building code
David J. Billo
NAME: *David J. Billo* SIGNATURE: 29136
BCR

REGISTRATION INFORMATION
Required unless design is exempt under 2.7.4.1 of the building code
Robert G. McEwen & Associates Ltd. 29526
FIRM NAME: BCR

PROJECT: PROPOSED RESIDENCE
33 CALEDON CRESCENT, BRAMPTON

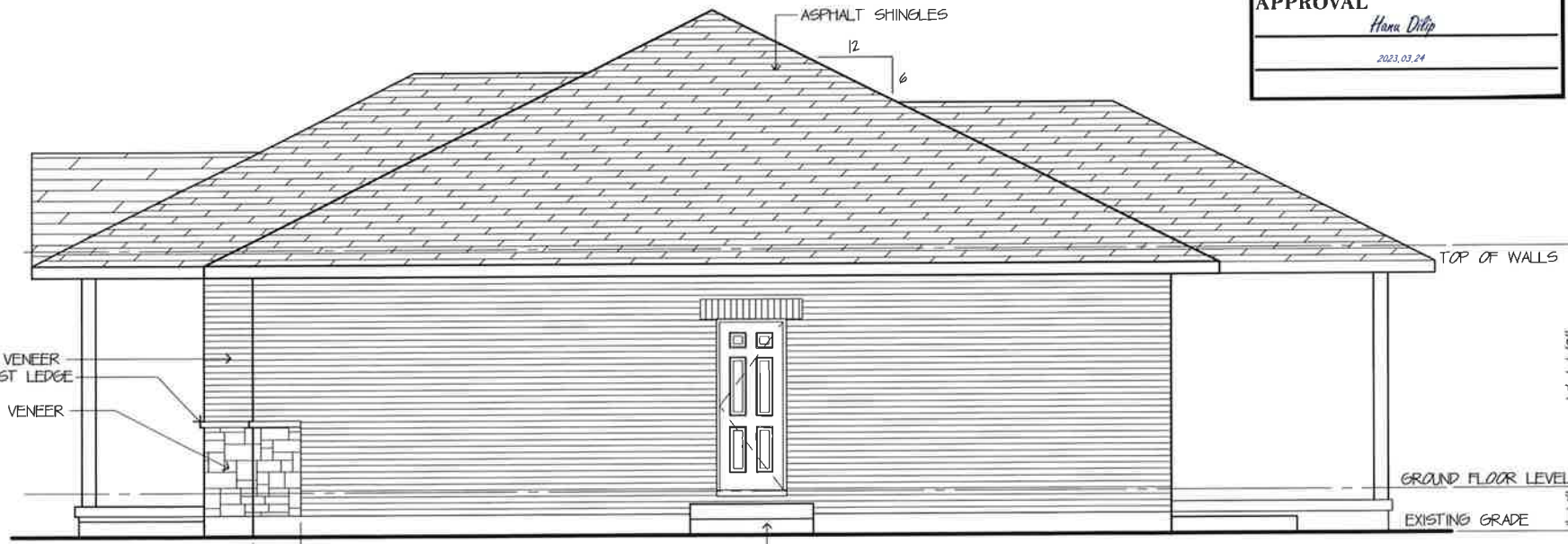
SUBJECT: ELEVATIONS

CLIENT: KARIN WALTER

DATE: FEBRUARY 2023 SCALE: 3/16"=1'-0"

DRAWN BY: D. BILLO CHECKED: T. SAGAR

PROJECT NO: 2022293 DWG NO: SHEET 6 OF 10 **A6**



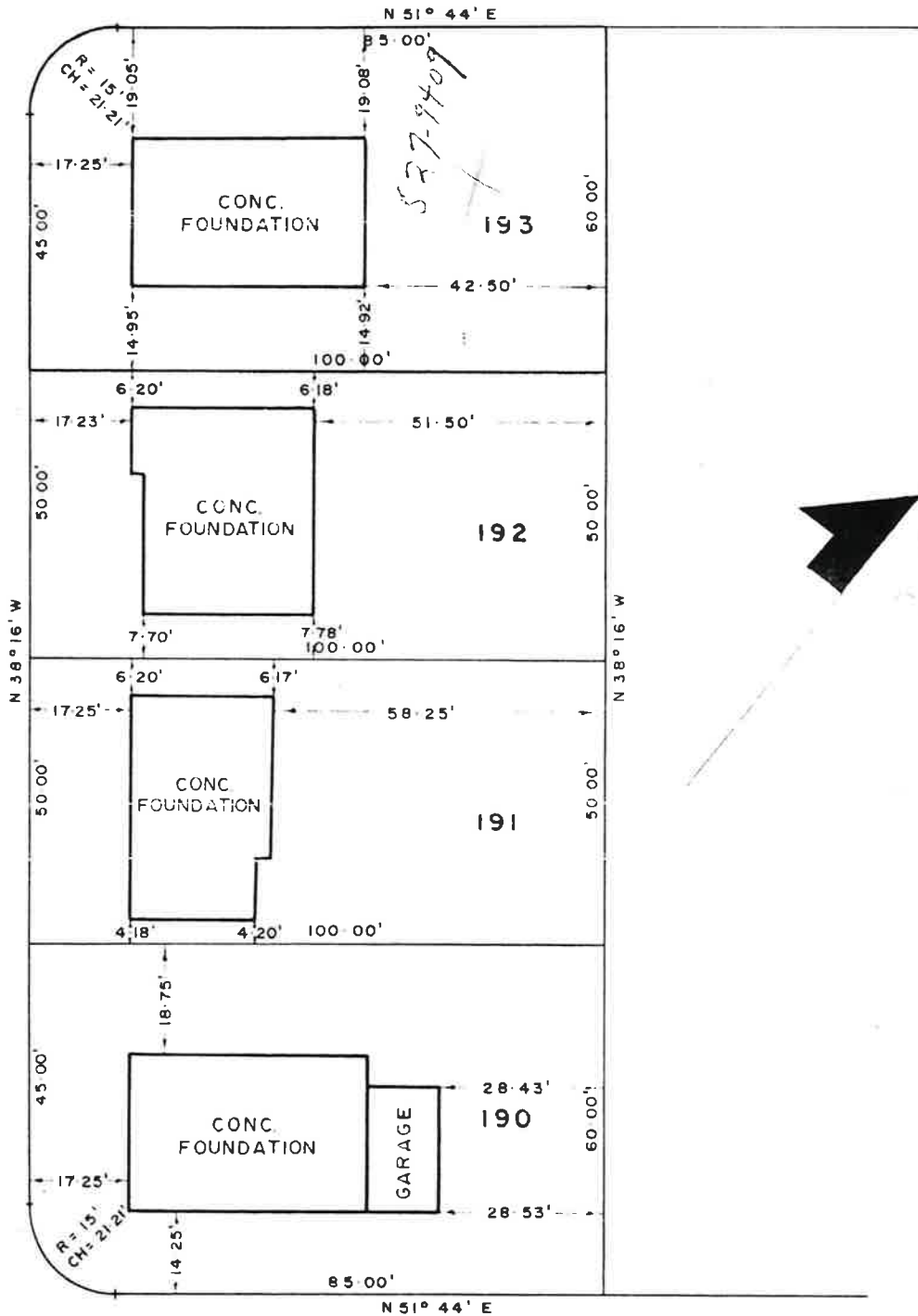
SOUTH (RIGHT SIDE) ELEVATION

Robert G. McEwen & Associates
Consulting Engineers
MISSISSAUGA FOXBORO



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CALEDON CRES. S.E.



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DRAFTSMAN G.W.M.

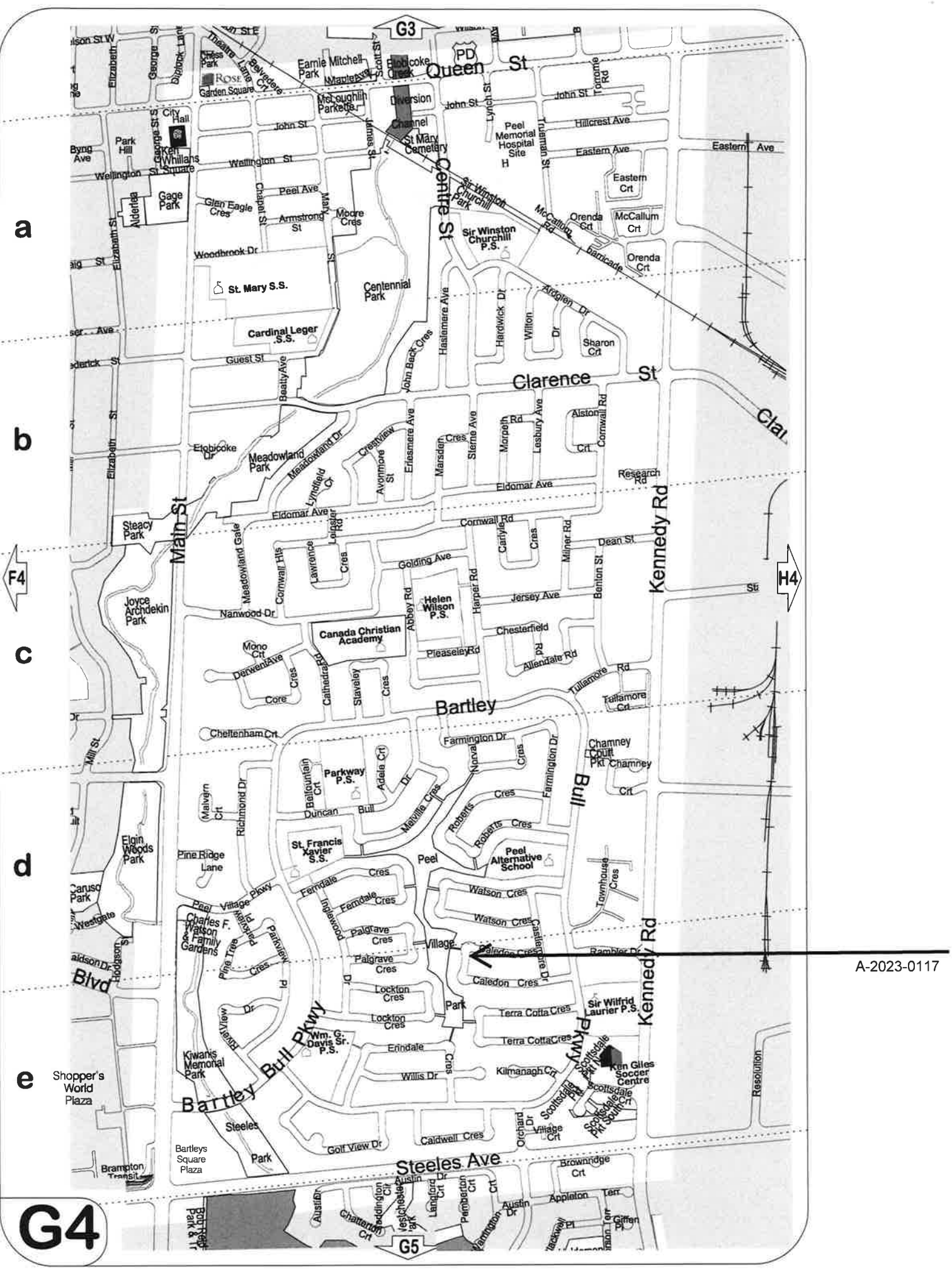
DATE DEC. 20, 1965.

Lloyd Thomson
Lloyd Thomson

SURVEYOR'S CERTIFICATE
LOTS 190 TO 193 (INCL.)
REG'D PLAN 695
TOWN OF BRAMPTON
Scale: 1" = 30'

SURVEYOR'S CERTIFICATE hereby certifies that the houses have been constructed on Lots 190 to 193 (incl.) Reg'd Plan 695 are with their boundaries as shown

Lloyd Thomson



a

b

F4

c

d

e

G3

G5

G4

A-2023-0117