

**DEFERRED APPLICATION FOR MINOR VARIANCE**

WHEREAS an **amended** application for minor variance has been made by **MOHAMMED FASIULLAH MASOOD AND MUMTAZ SHABANA MOHAMMED** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 90, Plan 43M-1878 municipally known as **14 DUBLIN ROAD**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an exterior side yard setback of 2.72 (8.92 ft.) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.).

**OTHER PLANNING APPLICATIONS:**

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: \_\_\_\_\_ **NO** \_\_\_\_\_ File Number: \_\_\_\_\_  
Application for Consent: \_\_\_\_\_ **NO** \_\_\_\_\_ File Number: \_\_\_\_\_

The Committee of Adjustment has appointed **TUESDAY, May 30, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

**IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT.** This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

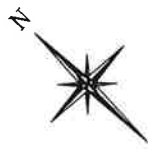
**RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.**

**PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC**

DATED at Brampton Ontario, this 18th Day of May, 2023.

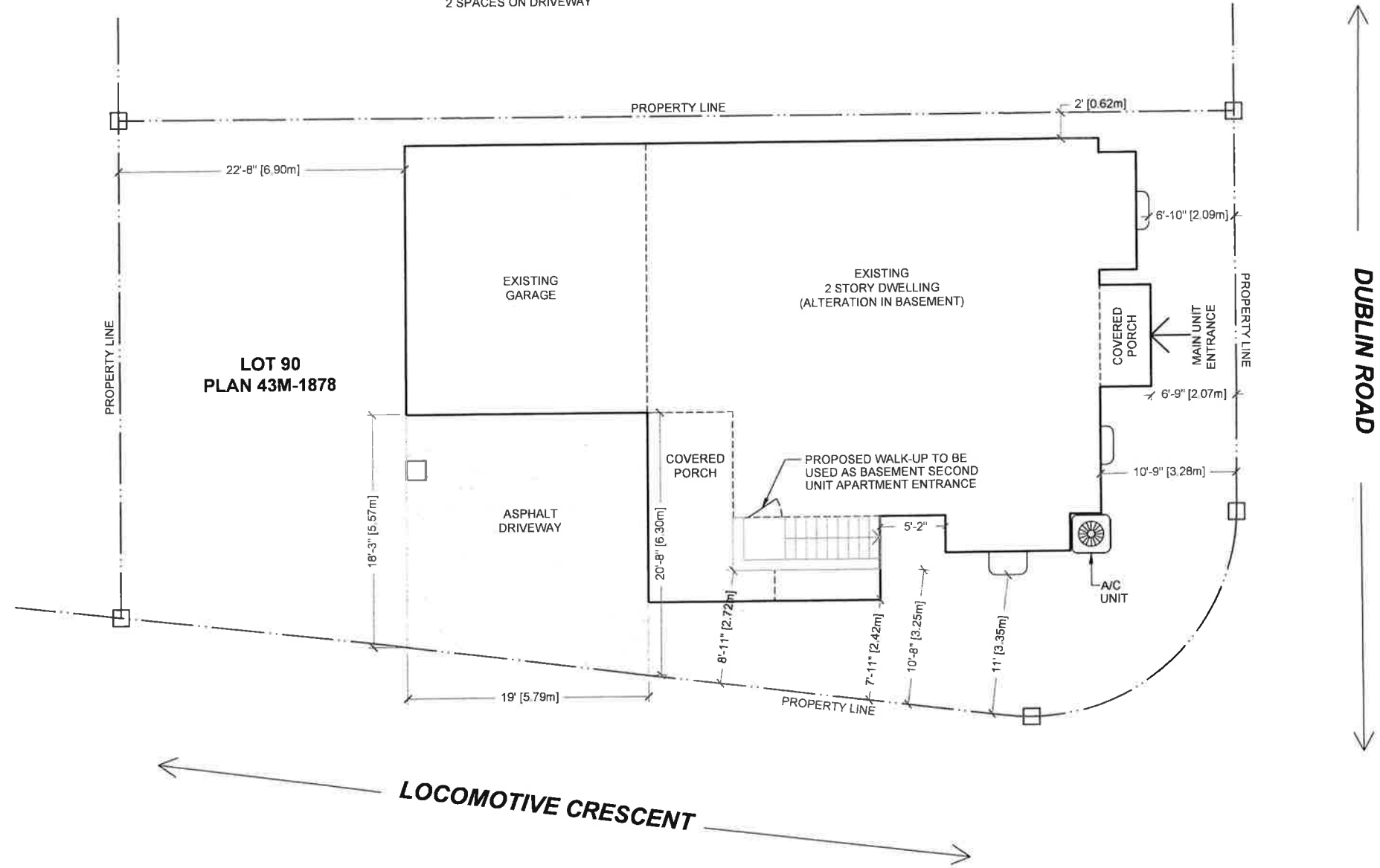
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)



EXISTING SECOND FLOOR AREA: 116.06 m<sup>2</sup>  
 EXISTING MAIN FLOOR AREA EXCLUDING GARAGE & FRONT PORCH: 96.73 m<sup>2</sup>  
 PROPOSED BASEMENT APARTMENT AREA: 89.13 m<sup>2</sup>

PARKING SPACES REQUIRED: 2 SPACES  
 PARKING SPACES PROVIDED / AVAILABLE: 1 SPACE INSIDE GARAGE  
 2 SPACES ON DRIVEWAY



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	00	23.03.23	ISSUED FOR MINOR VARIANCE		14 Dublin Road Brampton, Ontario Canada, L7A 0T6	TWO UNIT DWELLING	M.AF	M.AF	21.02.2023
				Customer Info: Name: Mohammed Masood Tel: 647-222-4455 Email:	Drawing Title:	Project No.	Sheet No.	Scale:	
					SITE PLAN	DBR-2942	A1.0	1:100	

**Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 30, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 25, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, May 25, 2023.**
  2. To participate in-person, please email the Secretary-Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, May 25, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 25, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

## AMENDMENT LETTER

May 17, 2023

To: Committee of Adjustment  
**MOHAMMED FASIULLAH MASOOD AND MUMTAZ SHABANA MOHAMMED**  
**LOT 90, PLAN 43M-1878**  
**A-2022-0371 – 14 DUBLIN ROAD**

---

Please **amend** application **A-2022-0371** to reflect the following:

1. To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an exterior side yard setback of 2.72 (8.92 ft.) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.).

**Marwan AL-**  
**Farraji**

Digitally signed by Marwan  
AL-Farraji  
Date: 2023.05.17 13:22:47  
-04'00'

Applicant/Authorized Agent

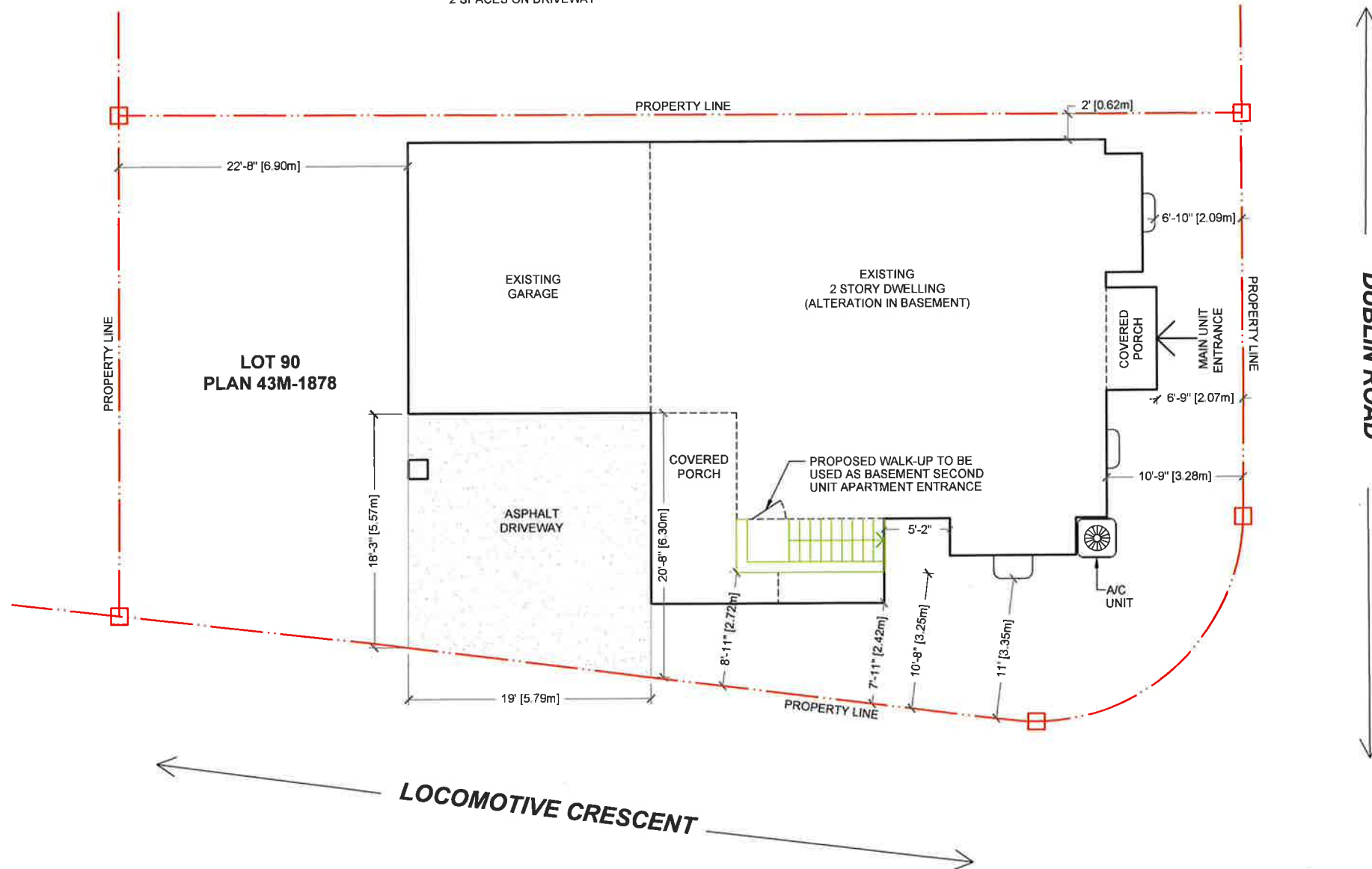
**A-2022-0371 – 14 Dublin Road**

Revised sketch submitted by the authorized agent  
on March 23, 2023.



EXISTING SECOND FLOOR AREA: 116.06 m<sup>2</sup>  
 EXISTING MAIN FLOOR AREA EXCLUDING GARAGE & FRONT PORCH: 96.73 m<sup>2</sup>  
 PROPOSED BASEMENT APARTMENT AREA: 89.13 m<sup>2</sup>

PARKING SPACES REQUIRED: 2 SPACES  
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**ALFA ENGINEERING SOLUTIONS**  
 ENGINEERING FOR A BETTER FUTURE

67 Woodvalley Drive, Brampton, Ontario, L7A 1Z3  
 Tel: 647-227-3227, www.alfaengsolutions.com  
 Email: malfarraji@alfaengsolutions.com

Project Address:  
 14 Dublin Road  
 Brampton, Ontario  
 Canada, L7A 0T6

Customer Info:  
 Name: Mohammed Masood  
 Tel: 647-222-4455  
 Email:

Project Title:  
 TWO UNIT DWELLING

Drawing Title:  
 SITE PLAN

Designed:	Checked:	Date: dd mm yyyy
M.A.F	M.A.F	21.02.2023
Project No.	Sheet No.	Scale:
DBR-2942	A1.0	1:100

**AMENDMENT LETTER**

March 15, 2023

To: Committee of Adjustment  
**MOHAMMED FASIULLAH MASOOD AND MUMTAZ SHABANA MOHAMMED**  
**LOT 90, PLAN 43M-1878**  
**A-2022-0371 – 14 DUBLIN ROAD**

---

Please **amend** application **A-2022-0371** to reflect the following:

1. To permit a below grade entrance between the main wall of the dwelling and the flankage lot line whereas the by-law does not permit a below grade entrance between the main wall of the dwelling and the flankage lot line;
2. To permit an exterior side yard setback of 2.84m (9.32 ft.) to a below grade entrance whereas the by-law requires a minimum exterior side yard setback of 3.0m (9.84 ft.).



---

Applicant/Authorized Agent

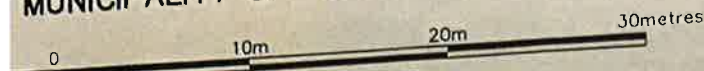
**A-2022-0371 – 14 DUBLIN ROAD**

**REVISED SITE PLAN AND DRAWINGS**



REAL PROPERTY REPORT

LOTS 84, 85, 86, 87, 88, 89 AND 90  
4-1878  
BRAMPTON  
MUNICIPALITY OF PEEL



& EDWARD SURVEYING LTD., O.L.S.

DOWN ON THIS PLAN ARE IN METRES AND CAN  
D TO FEET BY DIVIDING BY 0.3048.

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM

1864804



THIS PLAN IS NOT VALID  
UNLESS IT IS AN EMBOSSED  
ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
In accordance with  
Regulation 1026, Section 29(8).

IB DENOTES MONUMENT  
SSIB DENOTES IRON BAR  
D.U.C. DENOTES SHORT STANDARD IRON BAR  
P.I.N. DENOTES DWELLING UNDER CONSTRUCTION  
P DENOTES PROPERTY IDENTIFIER NUMBER  
DENOTES PORCH

ALL FOUND MONUMENTS BY RADY-PENTEK & EDWARD  
SURVEYING LTD., O.L.S.  
ALL TIES TO CONCRETE FOUNDATION.  
BEARINGS ARE GRID AND ARE REFERRED TO THE  
NORTHWEST LIMIT OF DUBLIN ROAD AS SHOWN ON  
PLAN 43M-1878 HAVING A BEARING OF N36°48'25"E.

AND 87 DESIGNATIONS  
ARE SUBJECT TO AN EASEMENT AS SET OUT IN  
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

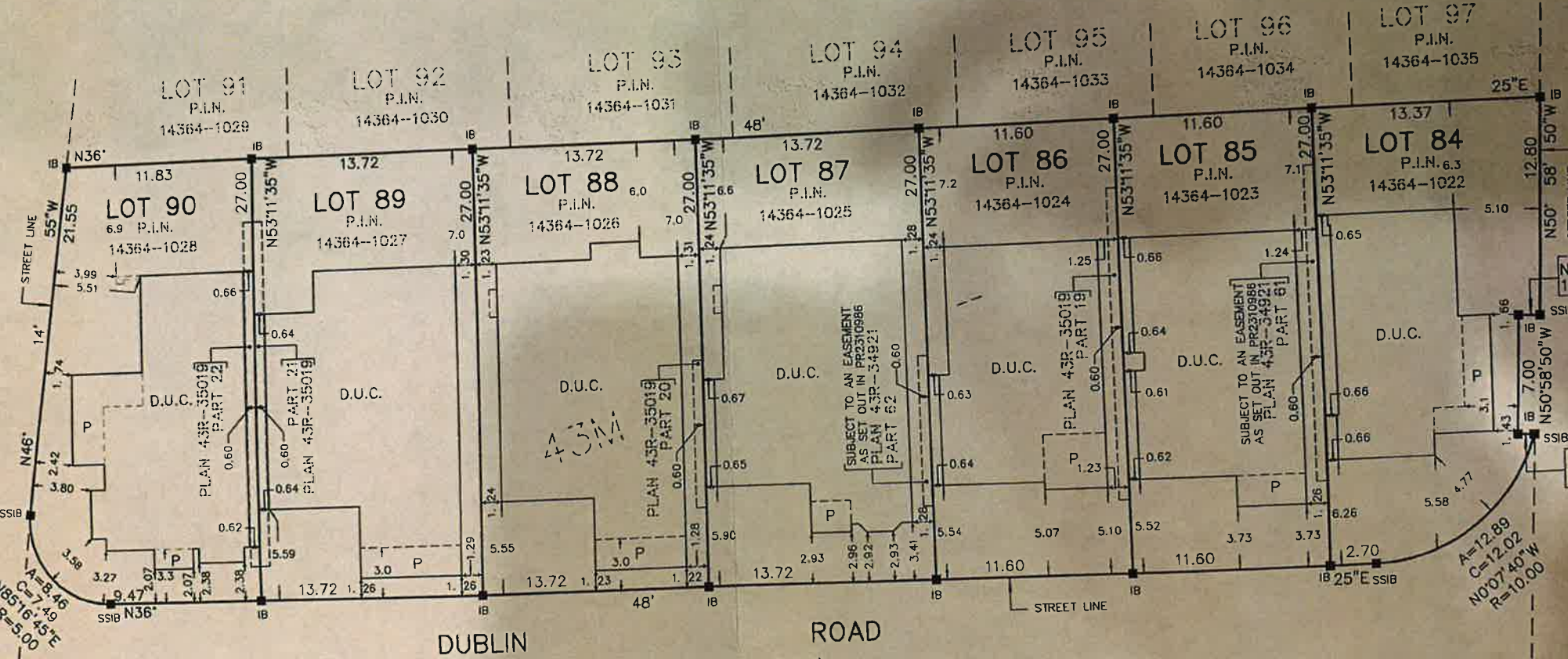
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE  
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE  
REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 12 DAY OF Dec., 2012  
DATE FEB. 5, 2013

*T. Singh*  
T. SINGH  
ONTARIO LAND SURVEYOR

LOCOMOTIVE  
CRESCENT  
(BY PLAN 43M-1878)  
P.I.N. 14364-1253



1878

VETERANS DRIVE  
(BY PLAN 43M-1878)  
P.I.N. 14364-1256

WAS PREPARED FOR  
DESIGNED ACCEPTS NO  
ITY FOR USE BY OTHER PARTIES.



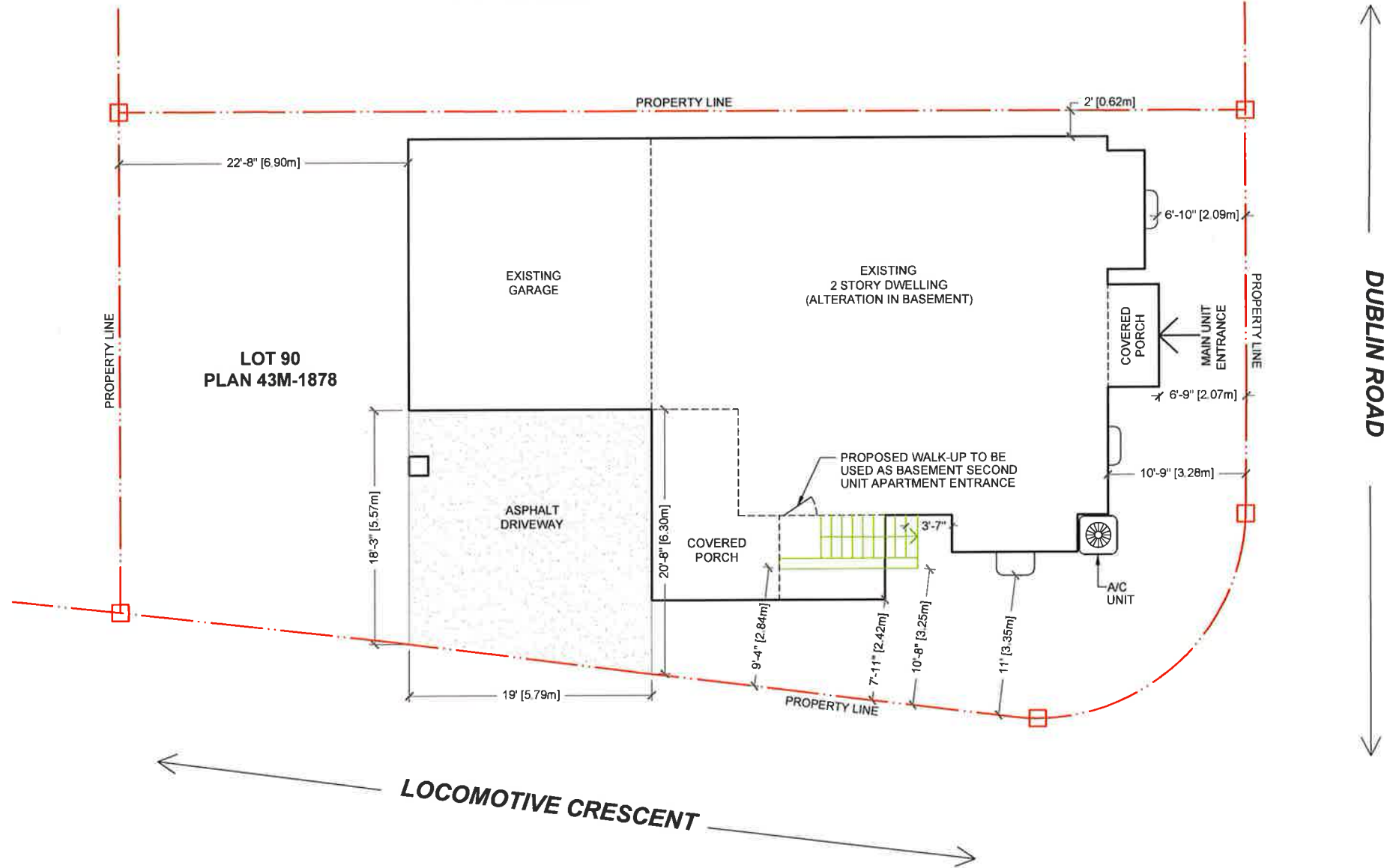
**RADY-PENTEK & EDWARD SURVEYING LTD.**  
ONTARIO LAND SURVEYORS  
643 Chrislea Road, Suite 7  
Woodbridge, Ontario L4L 8A3  
Tel. (416) 635-5000 Fax (416) 635-5001  
Website: www.r-pe.ca  
DRAWN: V.K.  
CAD FILE No. 1878-84

CHECKED: G.Y./T.S.  
JOB No. 12-090



EXISTING SECOND FLOOR AREA: 116.06 m<sup>2</sup>  
 EXISTING MAIN FLOOR AREA EXCLUDING GARAGE & FRONT PORCH: 96.73 m<sup>2</sup>  
 PROPOSED BASEMENT APARTMENT AREA: 89.13 m<sup>2</sup>

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Rev	Date	Description
00	21.02.23	ISSUED FOR BUILDING PERMIT



67 Woodvalley Drive, Brampton, Ontario, L7A 1Z3  
 Tel: 647-227-3227, www.alfaengsolutions.com  
 Email: malfarraj@alfaengsolutions.com

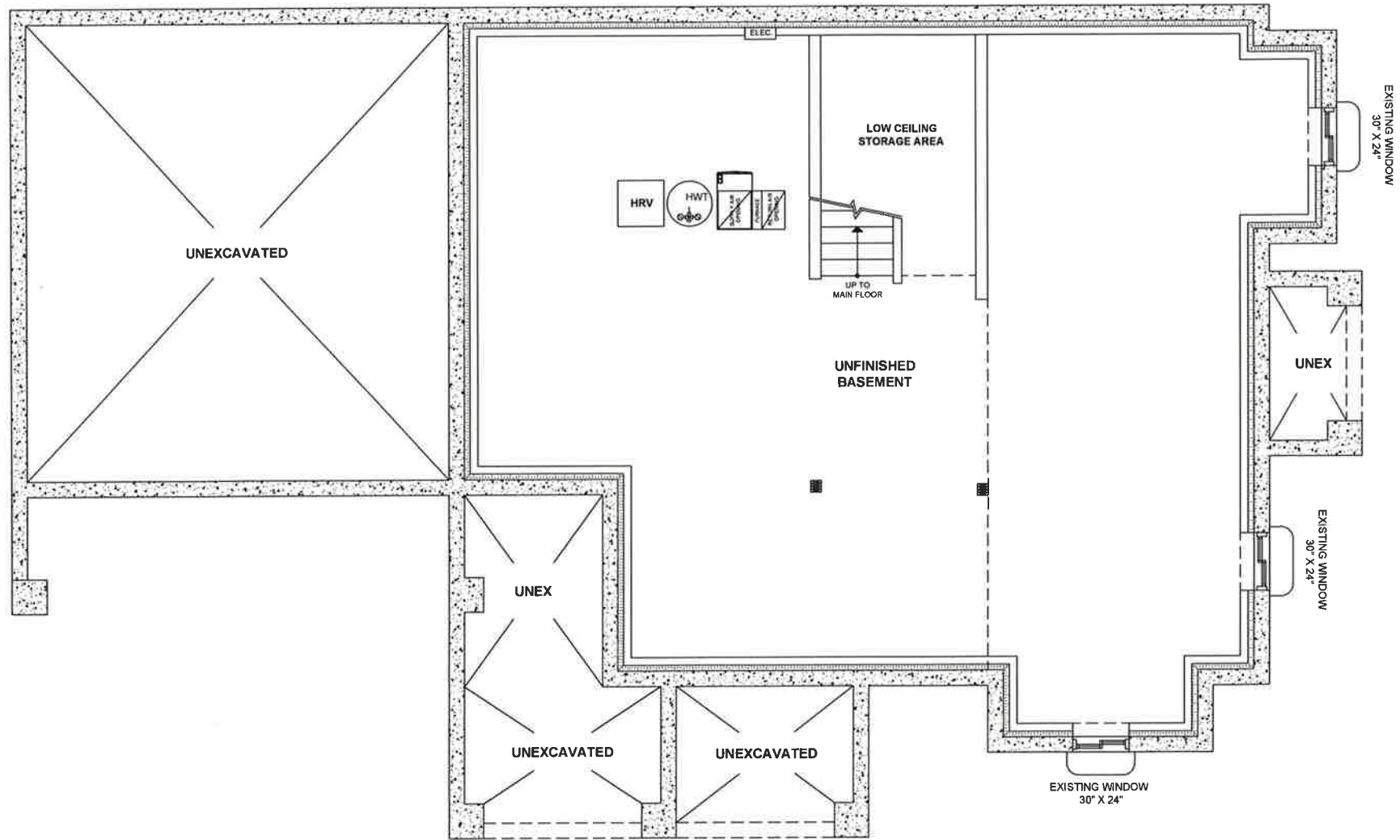
Project Address:  
**14 Dublin Road  
 Brampton, Ontario  
 Canada, L7A 0T6**

Customer Info:  
 Name: **Mohammed Masood**  
 Tel: **647-222-4455**  
 Email:

Project Title:  
**TWO UNIT DWELLING**

Drawing Title:  
**SITE PLAN**

Designed: <b>M.AF</b>	Checked: <b>M.AF</b>	Date: dd mm yyyy <b>21.02.2023</b>
Project No. <b>DBR-2942</b>	Sheet No. <b>A1.0</b>	Scale: <b>1:100</b>



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67 Woodvalley Drive, Brampton, Ontario, L7A 1Z3  
 Tel: 647-227-3227, www.alfaengsolutions.com  
 Email: malfaraj@alfaengsolutions.com

Project Address:  
 14 Dublin Road  
 Brampton, Ontario  
 Canada, L7A 0T6

Customer Info:  
 Name: Mohammed Masood  
 Tel: 647-222-4455  
 Email:

Project Title:  
 TWO UNIT DWELLING

Drawing Title:  
 EXISTING BASEMENT FLOOR PLAN

Designed:  
 M.AF

Checked:  
 M.AF

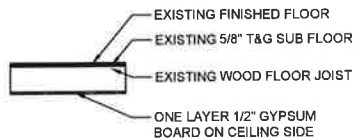
Project No.  
 DBR-2942

Sheet No.  
 A2.0

Date:  
 dd mm yyyy  
 21.02.2023

Scale:  
 1:60

**CEILING CONSTRUCTION**  
15 MIN FIRE SEPARATION  
**OBC COMPLIANCE C147 (b) ON CEILING**



**EXTERIOR WALL CONSTRUCTION "TYPE A"**

- 1/2" GYPSUM BOARD
- 2" X 4" WOOD STUD @ 16" O.C.
- EXISTING R12 MINERAL FIBER BLANKET INSULATION WITH VAPOR BARRIER
- EXISTING CONCRETE FOUNDATION WALL

**INTERIOR WALL CONSTRUCTION "TYPE B" 30 MIN FIRE SEPARATION**  
**WALL OBC COMPLIANCE C147 (a)**

**Option 1: SB3-W1c**

- 1/2" GYPSUM BOARD
- 89mm THICK ABSORPTIVE MATERIAL (ROXUL SAFE&SOUND)
- 2" X 4" WOOD STUD @ 16" O.C.
- 1/2" GYPSUM BOARD

**INTERIOR WALL CONSTRUCTION "TYPE C"**

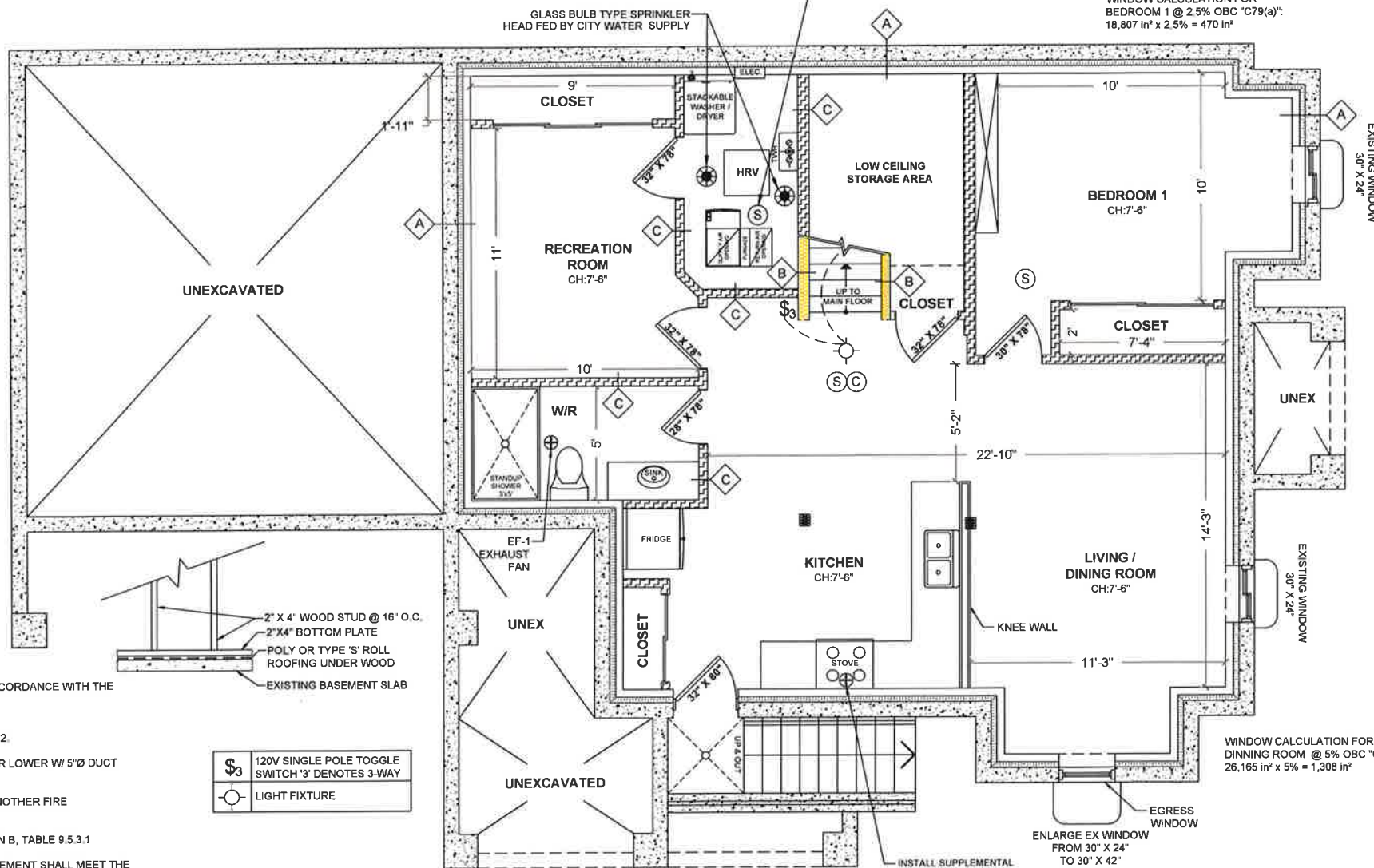
- 1/2" GYPSUM BOARD
- 2" X 4" WOOD STUD @ 16" O.C.
- 1/2" GYPSUM BOARD

- (S) SMOKE ALARM**
  - SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM
  - SHALL HAVE A BATTERY BACKUP
  - SHALL BE INTERCONNECTED
- (C) CARBON MONOXIDE ALARM**

**GENERAL NOTES:**

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND REGULATIONS.
- FRAMING NOTES:**
  - DIMENSIONAL LUMBER TO BE S-P-F GRADE 1 OR 2.
- EF-12 : MIN. 50CFM EXHAUST FAN WITH 1.5 SONES OR LOWER W/ 5"Ø DUCT DISCHARGING DIRECTLY TO OUTDOOR
- ALL FIRE SEPARATION SHALL BE CONTINUOUS TO ANOTHER FIRE SEPARATION OR TO THE EXTERIOR
- BASEMENT CEILING HEIGHT TO CONFIRM TO DIVISION B, TABLE 9.5.3.1
- CEILING HEIGHT UNDER BEAMS & DUCTS IN THE BASEMENT SHALL MEET THE OBC REQUIREMENT & NOT BE LESS THAN 1950mm
- SMOKE ALARM:**
  - SMOKE ALARMS IN BASEMENT TO BE INTERCONNECTED WITH SMOKE ALARM ON MAIN FLOOR & SMOKE ALARMS ON SECOND FLOOR COMMON AREA & BEDROOMS ( SMOKE ALARM TO BE INSTALLED IN EVERY BEDROOM ON SECOND FLOOR)
  - SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19

SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR



WINDOW CALCULATION FOR BEDROOM 1 @ 2.5% OBC "C79(a)":  
18,807 in² x 2.5% = 470 in²

WINDOW CALCULATION FOR LIVING / DINING ROOM @ 5% OBC "C79(a)":  
26,165 in² x 5% = 1,308 in²



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Tel: 647-227-3227, www.alfaengsolutions.com  
Email: mafarraji@alfaengsolutions.com

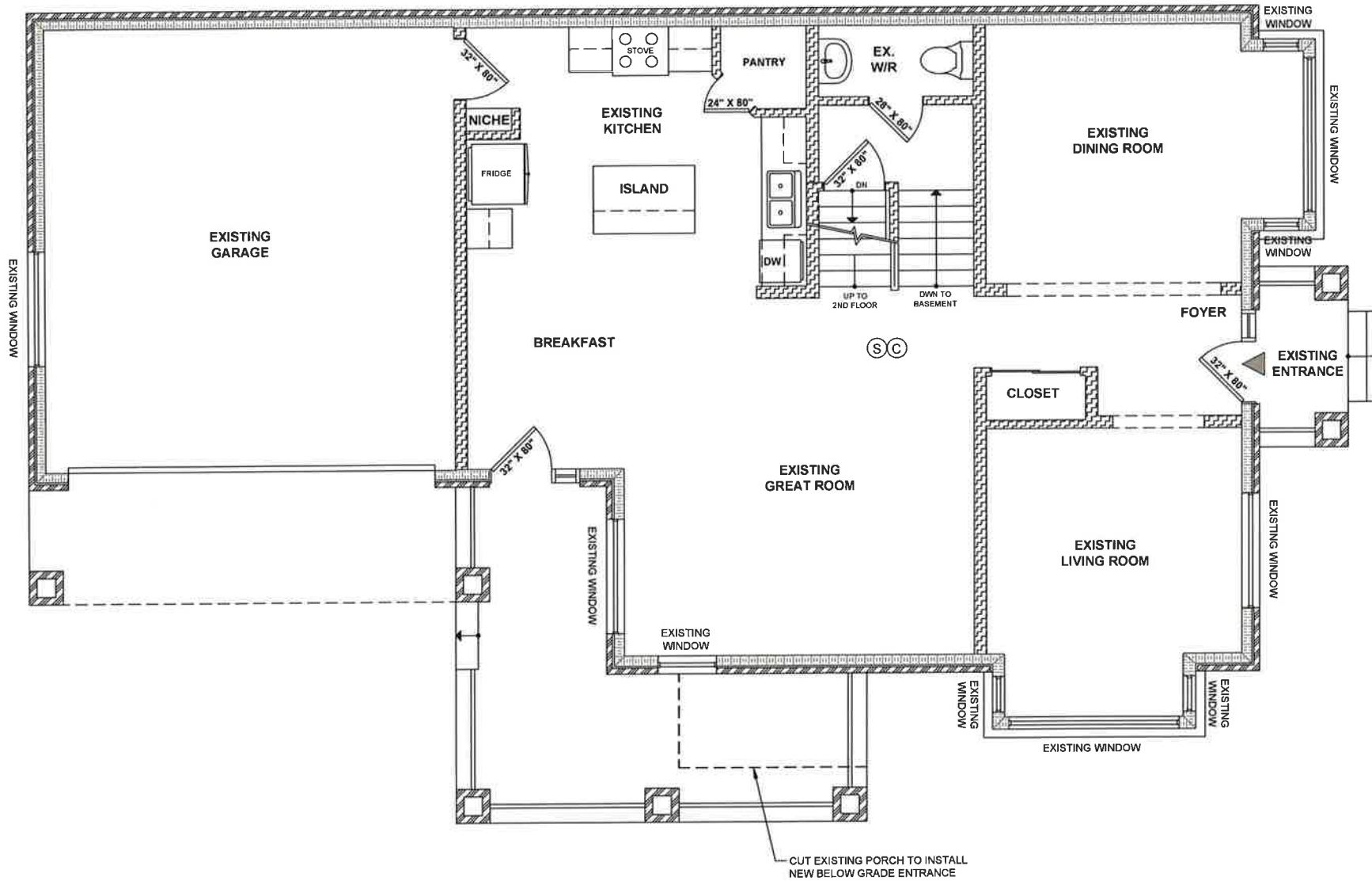
Project Address:  
**14 Dublin Road  
Brampton, Ontario  
Canada, L7A 0T6**

Customer Info:  
Name: **Mohammed Masood**  
Tel: **647-222-4455**  
Email:

Project Title:  
**TWO UNIT DWELLING**

Drawing Title:  
**PROPOSED BASEMENT FLOOR PLAN**

Designed:	Checked:	Date:
<b>M.A.F</b>	<b>M.A.F</b>	<b>21.02.2023</b>
Project No. <b>DBR-2942</b>	Sheet No. <b>A2.1</b>	Scale: <b>1:60</b>



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 Tel: 647-227-3227, www.alfaengsolutions.com  
 Email: malfarraj@alfaengsolutions.com

Project Address:  
 14 Dublin Road  
 Brampton, Ontario  
 Canada, L7A 0T6

Customer Info:  
 Name: Mohammed Masood  
 Tel: 647-222-4455  
 Email:

Project Title:  
 TWO UNIT DWELLING

Drawing Title:  
 EXISTING GROUND FLOOR PLAN

Designed:  
**M.AF**

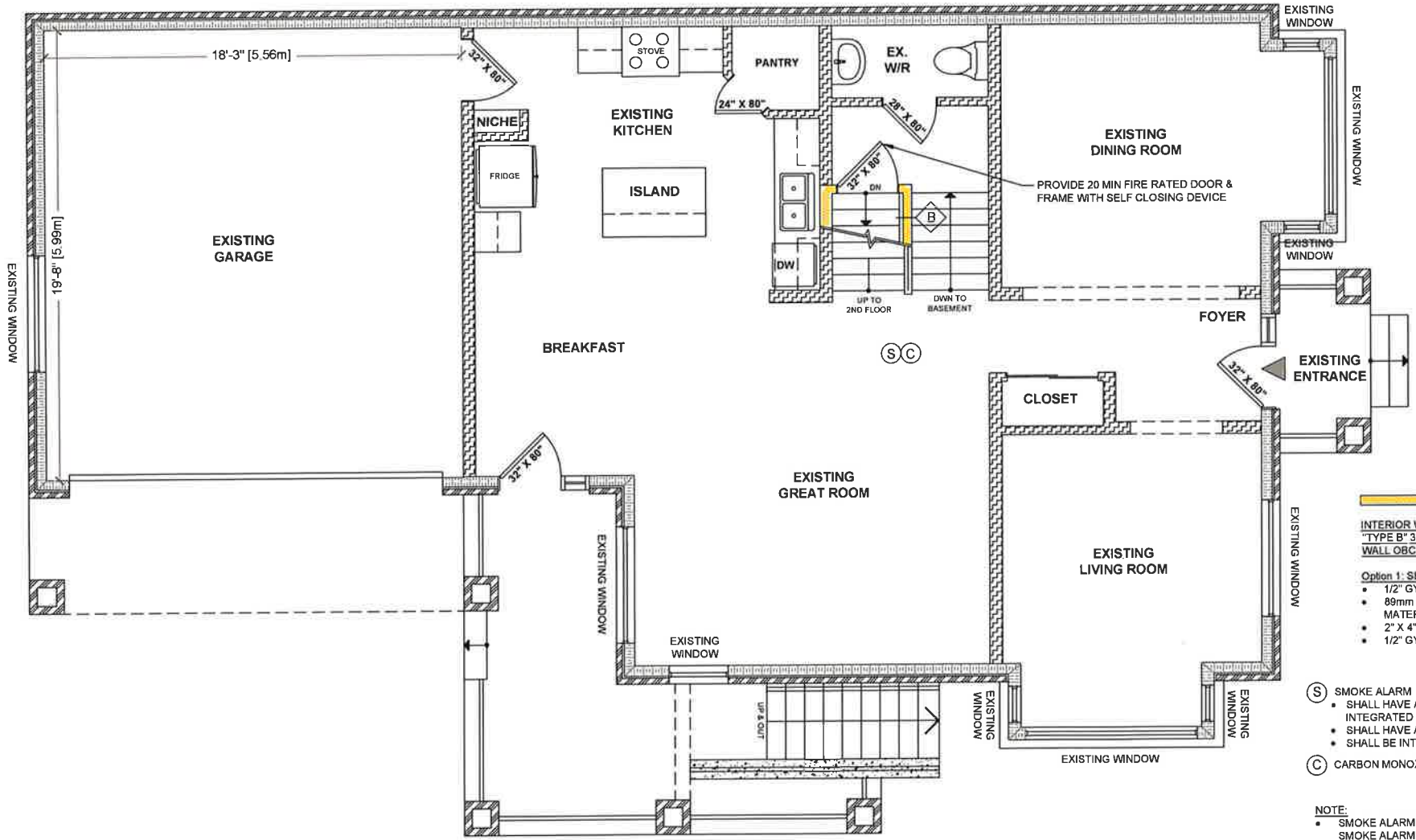
Project No.  
**DBR-2942**

Checked:  
**M.AF**

Sheet No.  
**A2.2**

Date:  
 dd.mm.yyyy  
**21.02.2023**

Scale:  
**1:60**



**B**

INTERIOR WALL CONSTRUCTION  
"TYPE B" 30 MIN. FIRE SEPARATION  
WALL OBC COMPLIANCE C147 (b)

Option 1: SB3-W1c

- 1/2" GYPSUM BOARD
- 89mm THICK ABSORPTIVE MATERIAL (ROXUL SAFE&SOUND)
- 2" X 4" WOOD STUD @ 16" O.C.
- 1/2" GYPSUM BOARD

- (S)** SMOKE ALARM
  - SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM
  - SHALL HAVE A BATTERY BACKUP
  - SHALL BE INTERCONNECTED
- (C)** CARBON MONOXIDE ALARM

**NOTE:**

- SMOKE ALARM ON MAIN FLOOR IS INTERCONNECTED WITH SMOKE ALARM ON SECOND FLOOR AND BASEMENT.
- SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19
- EXISTING MAIN FLOOR WALL AND CEILING IS DRYWALLED

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 Email: malfarraj@alfaengsolutions.com

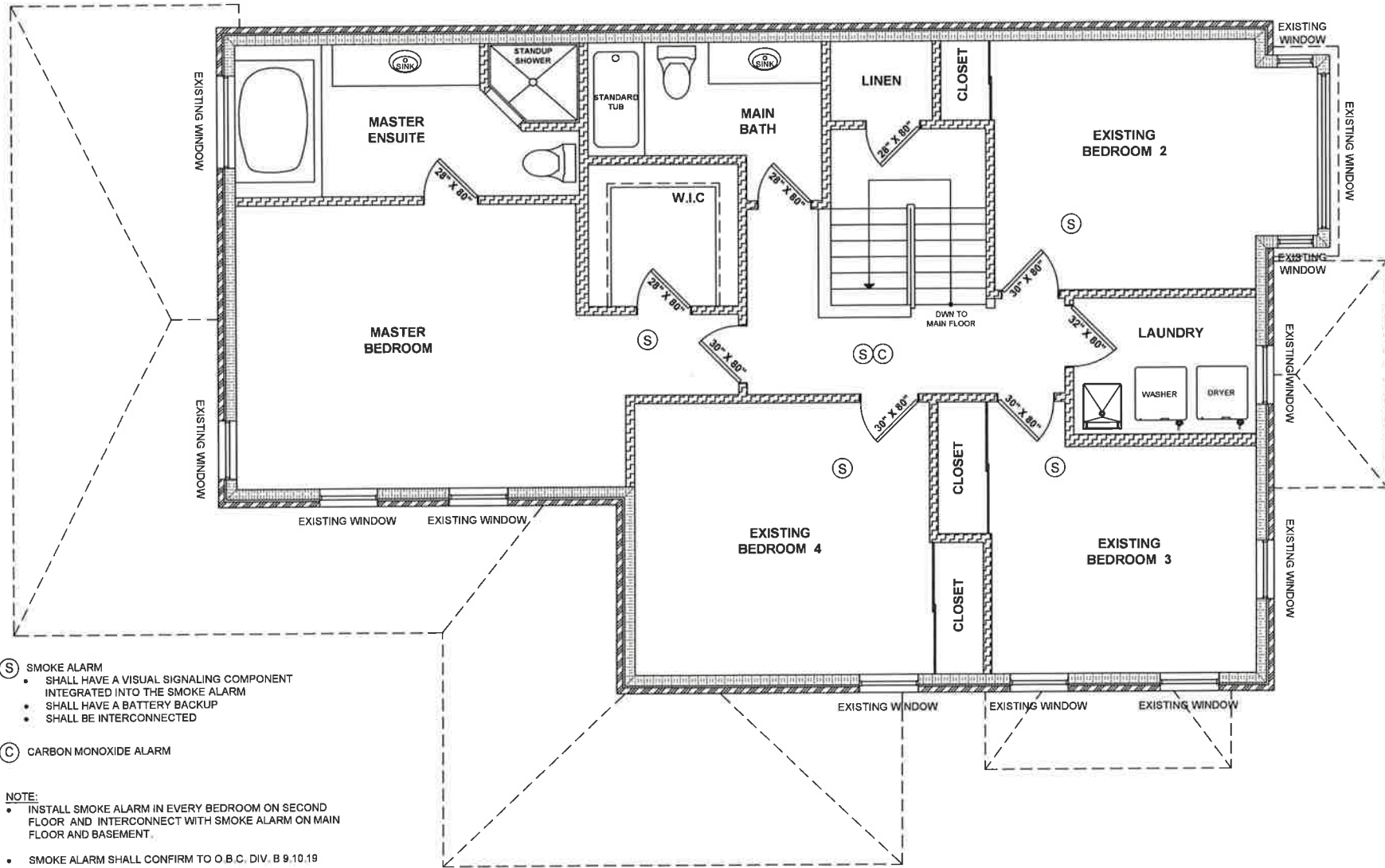
**Project Address:**  
 14 Dublin Road  
 Brampton, Ontario  
 Canada, L7A 0T6

**Customer Info:**  
 Name: Mohammed Masood  
 Tel: 647-222-4455  
 Email:

**Project Title:**  
 TWO UNIT DWELLING

**Drawing Title:**  
 PROPOSED GROUND FLOOR PLAN

Designed:	Checked:	Date:
M.AF	M.AF	21.02.2023
Project No.	Sheet No.	Scale:
DBR-2942	A2.3	1:60



- (S) SMOKE ALARM
    - SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM
    - SHALL HAVE A BATTERY BACKUP
    - SHALL BE INTERCONNECTED
  - (C) CARBON MONOXIDE ALARM
- NOTE:**
- INSTALL SMOKE ALARM IN EVERY BEDROOM ON SECOND FLOOR AND INTERCONNECT WITH SMOKE ALARM ON MAIN FLOOR AND BASEMENT.
  - SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19
  - EXISTING SECOND FLOOR WALL & CEILING IS 3/4\"/>

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Rev.	Date	Description
00	21.02.23	ISSUED FOR BUILDING PERMIT



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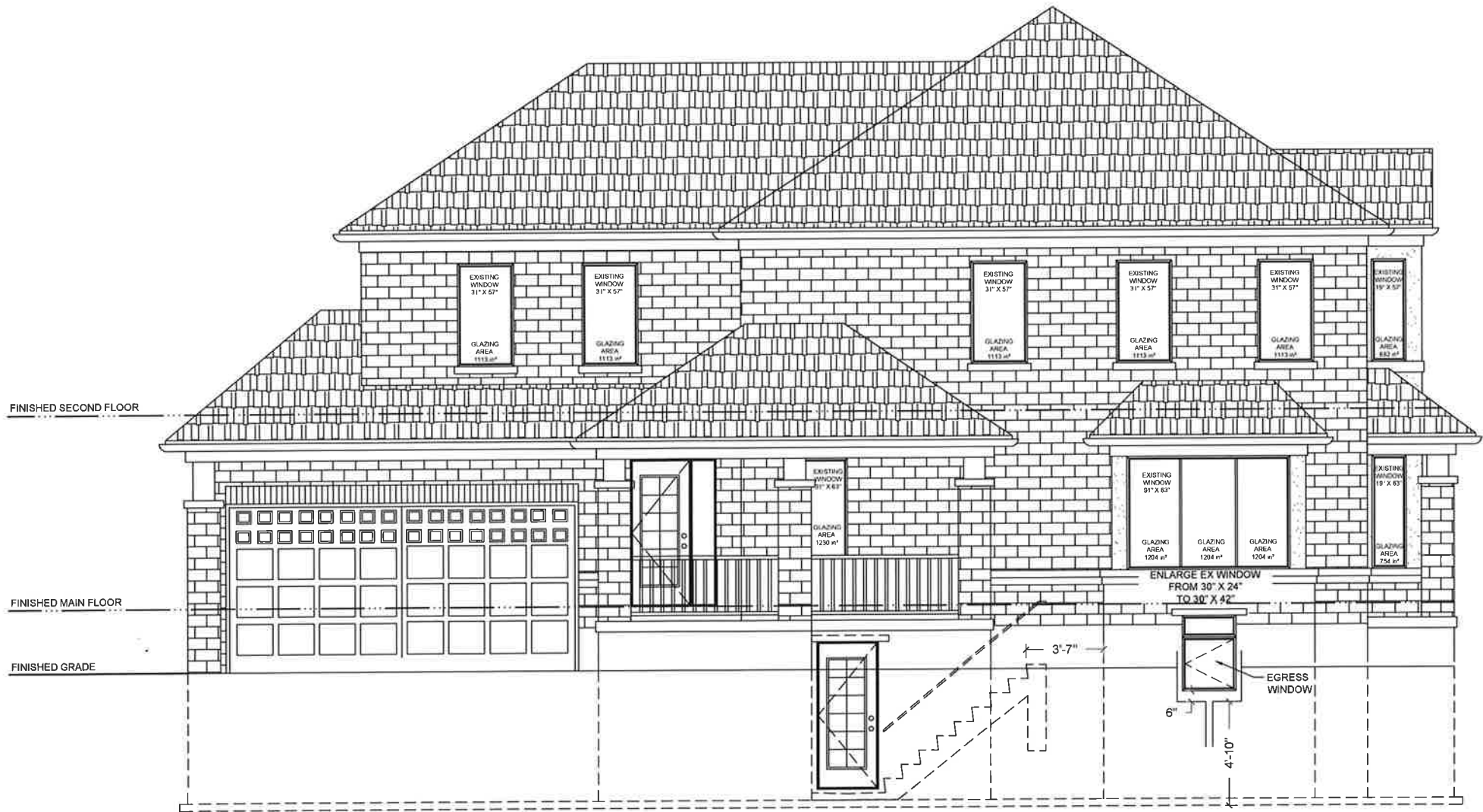
**Project Address:**  
 14 Dublin Road  
 Brampton, Ontario  
 Canada, L7A 0T6

**Customer Info:**  
 Name: Mohammed Masood  
 Tel: 647-222-4455  
 Email:

**Project Title:**  
 TWO UNIT DWELLING

**Drawing Title:**  
 SECOND FLOOR PLAN

Designed:	Checked:	Date:
M.AF	M.AF	dd mm yyyy
Project No.	Sheet No.	Scale:
DBR-2942	A2.4	1:60



FLANKAGE ELEVATION

Rev.	Date	Description
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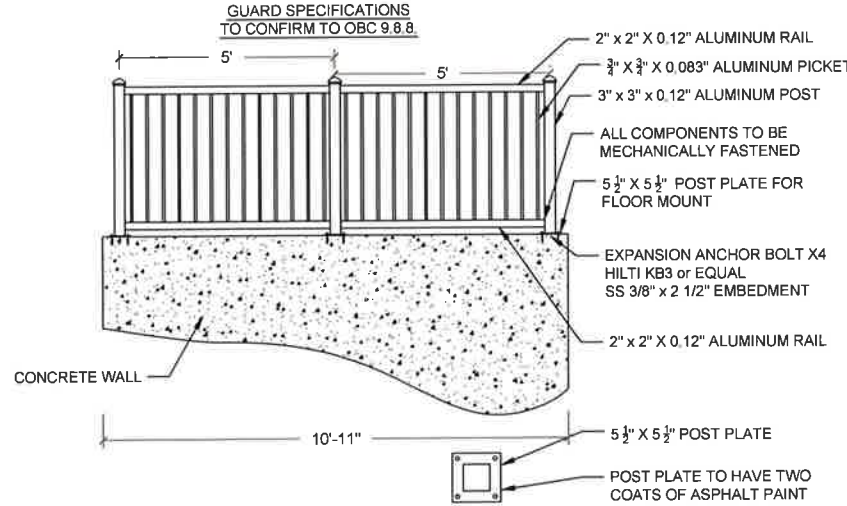
Project Address: 14 Dublin Road Brampton, Ontario Canada, L7A 0T6
Customer Info: Name: Mohammed Masood Tel: 647-222-4455 Email:

Project Title: TWO UNIT DWELLING
Drawing Title: FLANKAGE ELEVATION

Designed: M.AF	Checked: M.AF	Date: 21.02.2023
Project No. DBR-2942	Sheet No. A2.5	Scale: 1:60

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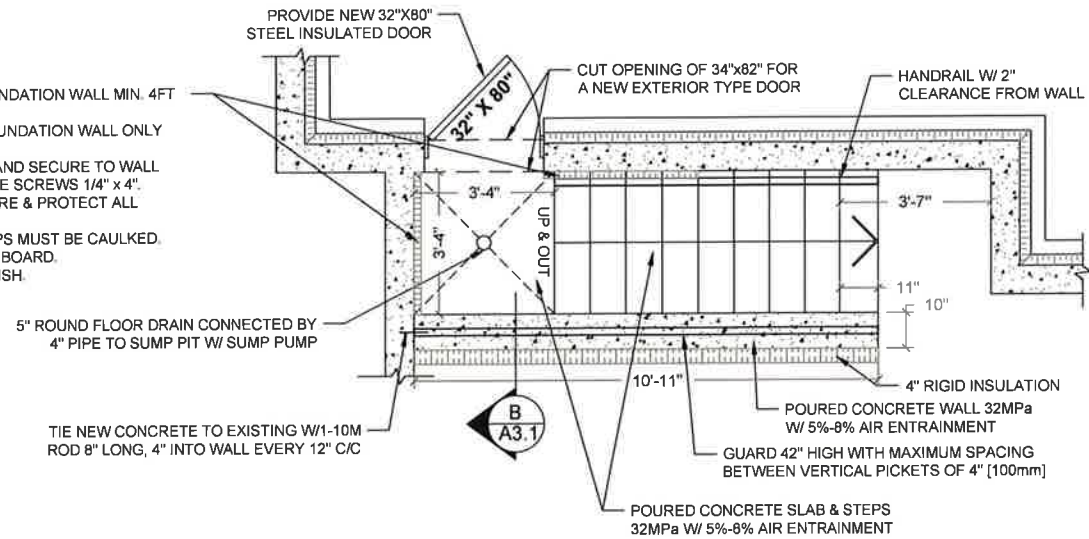




**GENERAL NOTES:**

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND REGULATIONS.
2. MATERIALS SHALL BE AS FOLLOWS:
  - 2.1. CONCRETE 32MPa AT 28 DAYS WITH 5% TO 8% AIR ENTRAINMENT.
  - 2.2. REINFORCEMENT STEEL, CSA G30. 18M. GRADE 400
  - 2.3. GROUT, HILTI HIT HY 200 OR EQUAL
  - 2.3. REBAR CONNECTIONS USING HILTI HIT-HY 200 OR EQUAL
  - 2.4. 4" & 2" STYROFOAM SM INSULATION MANUFACTURED BY DOW CHEMICALS CANADA W/ THE FOLLOWING PHYSICAL PROPERTIES:
    - a) THERMAL RESISTANCE PER INCH: R-VALUE 5.0
    - b) COMPRESSIVE STRENGTH: 30PSI, 210KPa
  - 2.5. BACKFILL TO BE OPS GRANULAR B1, OR SUITABLE EXCAVATED MATERIAL
3. ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT.
4. EXTERIOR DOOR SHALL CONFORM TO STANDARD AS PER OBC AND RESIST FORCE ENTRY.

1. INSTALL 2" RIGID INSULATION ON EXISTING FOUNDATION WALL MIN. 4FT ABOVE EXISTING FOOTING.
2. INSULATION TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM TOP OF CONCRETE STEPS.
3. COVER INSULATION WITH 1/2" CEMENT BOARD AND SECURE TO WALL USING FENDER WASHER & HEX HEAD CONCRETE SCREWS 1/4" x 4".
4. INSTALL 2 1/2" GALVANIZED "J" TRACK TO SECURE & PROTECT ALL EXPOSED EDGES.
5. ALL JOINTS TO THE EXISTING WALL & NEW STEPS MUST BE CAULKED.
6. APPLY SEALGUARD TO ALL JOINTS ON CEMENT BOARD.
7. PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH.



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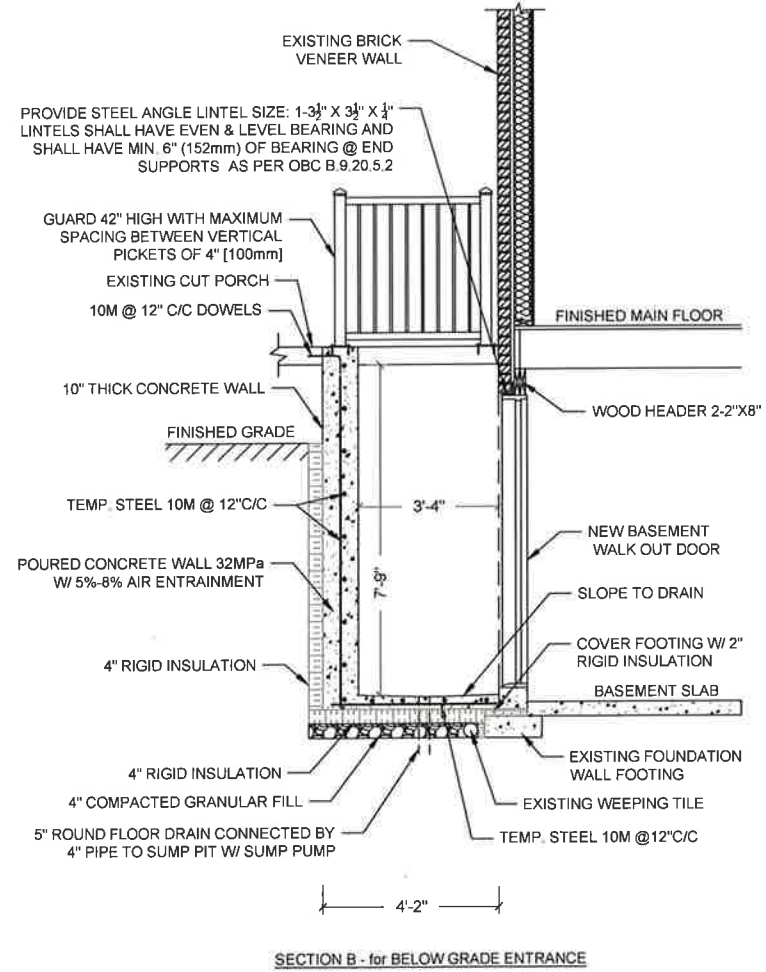
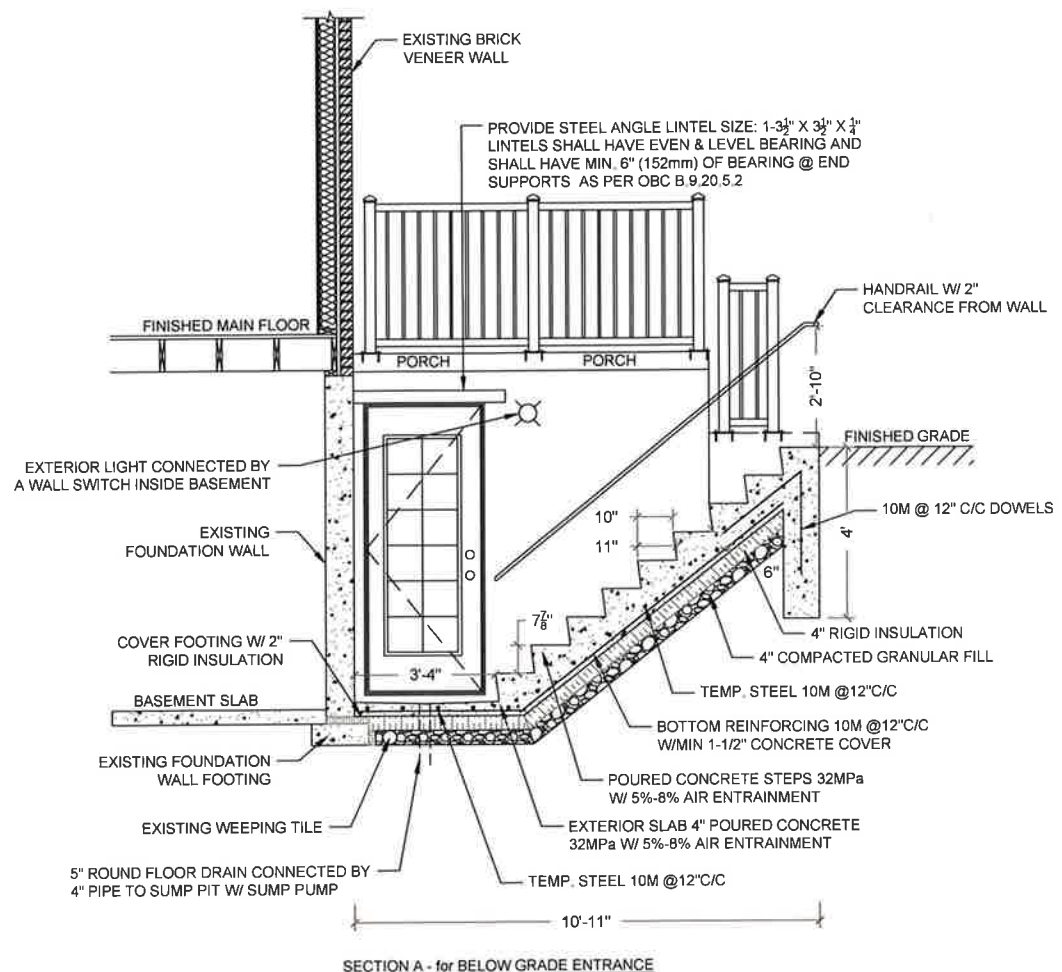
**Project Address:**  
 14 Dublin Road  
 Brampton, Ontario  
 Canada, L7A 0T6

**Customer Info:**  
 Name: Mohammed Masood  
 Tel: 647-222-4455  
 Email:

**Project Title:**  
 TWO UNIT DWELLING

**Drawing Title:**  
 WALK-UP DESIGN DETAILS

Designed:	Checked:	Date:
M.A.F	M.A.F	21.02.2023
Project No.	Sheet No.	Scale:
DBR-2942	A3.0	1:40



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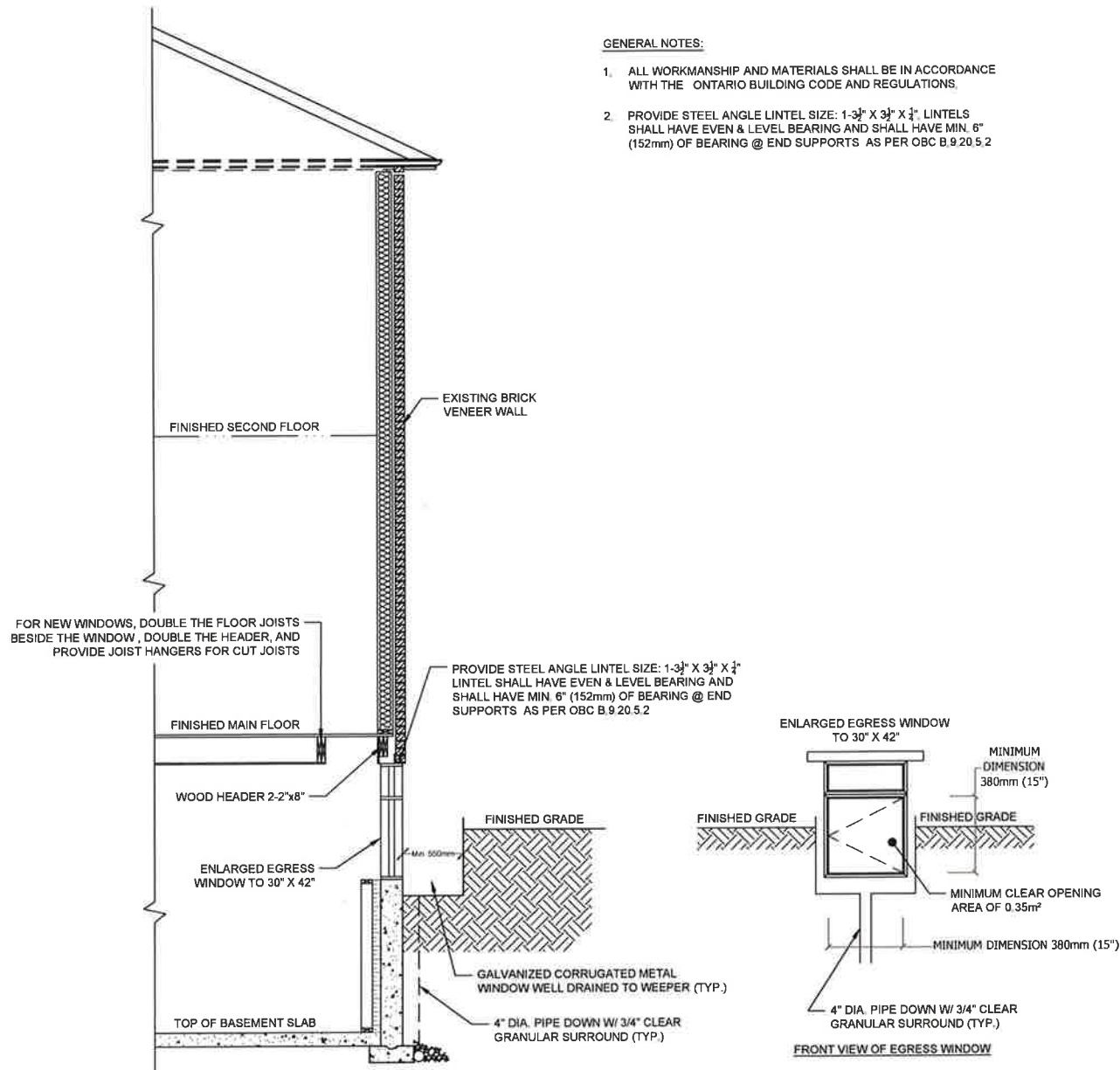
Project Address:  
14 Dublin Road  
Brampton, Ontario  
Canada, L7A 0T6

Customer Info:  
Name: Mohammed Masood  
Tel: 647-222-4455  
Email:

Project Title:  
TWO UNIT DWELLING

Drawing Title:  
WALK-UP SECTIONAL DETAILS

Designed:	Checked:	Date:
M.AF	M.AF	21.02.2023
Project No.	Sheet No.	Scale:
DBR-2942	A3.1	1:40



SECTION C - for BASEMENT EGRESS WINDOW (TYP)

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Email: malfarraj@alfaengsolutions.com

Project Address:  
**14 Dublin Road  
Brampton, Ontario  
Canada, L7A 0T6**

Customer Info:  
Name: **Mohammed Masood**  
Tel: **647-222-4455**  
Email:

Project Title:  
**TWO UNIT DWELLING**

Drawing Title:  
**WINDOW SECTIONAL DETAILS**

Designed: **M.AF**

Checked: **M.AF**

Project No.: **DBR-2942**

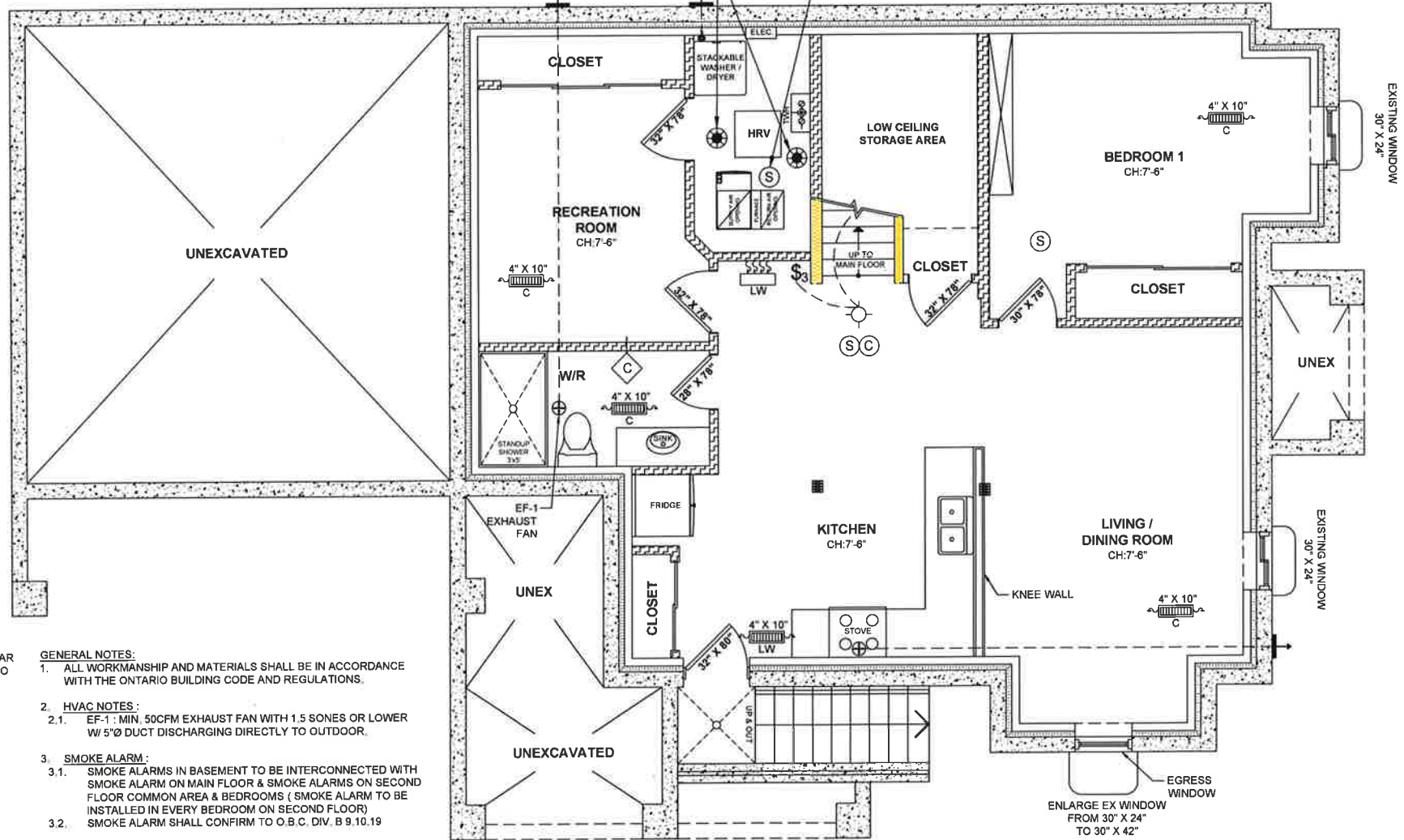
Sheet No.: **A3.2**


Date: **21.02.2023**


Scale: **1:45**

SMOKE DETECTOR TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT SYSTEM WHICH WOULD TURN OFF THE FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING SYSTEM UPON ACTIVATION OF SUCH DETECTOR

GLASS BULB TYPE SPRINKLER HEAD FED BY CITY WATER SUPPLY



 RETURN AIR REGISTER SHALL BE INSTALLED NEAR FLOOR LEVEL, UNDERCUT BY MIN 1" THE DOOR TO ANY ROOM WITHOUT RETURN AIR GRILLE (C=CEILING, F=FLOOR, LW=LOW WALL)

 NEW / EXISTING AIR SUPPLY REGISTER W/ MAX. 4FT DISTANCE TO EXTERIOR WALL (TYP) (C=CEILING, F=FLOOR, LW=LOW WALL)

 EXTERIOR WALL CAP

**GENERAL NOTES:**

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND REGULATIONS.
2. **HVAC NOTES:**
  - 2.1. EF-1 : MIN. 50CFM EXHAUST FAN WITH 1.5 SONES OR LOWER W/ 5"Ø DUCT DISCHARGING DIRECTLY TO OUTDOOR.
3. **SMOKE ALARM:**
  - 3.1. SMOKE ALARMS IN BASEMENT TO BE INTERCONNECTED WITH SMOKE ALARM ON MAIN FLOOR & SMOKE ALARMS ON SECOND FLOOR COMMON AREA & BEDROOMS ( SMOKE ALARM TO BE INSTALLED IN EVERY BEDROOM ON SECOND FLOOR)
  - 3.2. SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19

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Email: malfarraji@alfaengsolutions.com

Project Address:  
14 Dublin Road  
Brampton, Ontario  
Canada, L7A 0T6

Customer Info:  
Name: Mohammed Masood  
Tel: 647-222-4455  
Email:

Project Title:  
**TWO UNIT DWELLING**

Drawing Title:  
**BASEMENT APARTMENT HVAC**

Designed:  
**M.AF**

Project No:  
**DBR-2942**

Checked:  
**M.AF**

Sheet No:  
**M1.0**

Date:  
dd.mm.yyyy  
**21.02.2023**

Scale:  
**1:60**



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2022-0371

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

**APPLICATION**  
**Minor Variance or Special Permission**  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Mohammed Fasiullah Masood & Mumtaz Shabana Mohammed  
**Address** 14 Dublin Road, Brampton  
  
**Phone #** 416-389-8850 **Fax #** \_\_\_\_\_  
**Email** fasimasood@gmail.com

2. **Name of Agent** Marwan AL-Farraj  
**Address** 67 Woodvalley Drive, Brampton, ON  
  
**Phone #** 647-227-3227 **Fax #** \_\_\_\_\_  
**Email** malfarraj@AlfaEngSolutions.com

3. **Nature and extent of relief applied for (variances requested):**  
Variance #1: A below grade entrance is not permitted in a yard located between the main wall of a dwelling and a front of flankage lot line.  
Variance #2: Front yard setback. The minimum required front yard setback is 3.0 m & we are proposing 1.96m

4. **Why is it not possible to comply with the provisions of the by-law?**  
Because the entrance is located at the front of a flankage lot line and no where else a basement entrance can be proposed.

5. **Legal Description of the subject land:**  
**Lot Number** 90  
**Plan Number/Concession Number** 43M-1878  
**Municipal Address** 14 Dublin Road, Brampton, ON, L7A 0T6

6. **Dimension of subject land (in metric units)**  
**Frontage** 14.46m  
**Depth** 27.00m  
**Area** 355.30m2

7. **Access to the subject land is by:**  
Provincial Highway  Seasonal Road   
Municipal Road Maintained All Year  Other Public Road   
Private Right-of-Way  Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Dwelling: Footprint area including porches & garage: 154.42 m<sup>2</sup>  
G.F.A: 301.92 m<sup>2</sup>

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

below grade entrance at the front of the house

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback 2.07m  
Rear yard setback 6.90m  
Side yard setback 0.66m  
Side yard setback \_\_\_\_\_

**PROPOSED**

Front yard setback 1.96m  
Rear yard setback 6.90m  
Side yard setback 0.66m  
Side yard setback \_\_\_\_\_

10. Date of Acquisition of subject land: 2016

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 10 years old house

15. Length of time the existing uses of the subject property have been continued: 6 years

16. (a) What water supply is existing/proposed?  
Municipal:  Other (specify) \_\_\_\_\_  
Well:
- (b) What sewage disposal is/will be provided?  
Municipal:  Other (specify) \_\_\_\_\_  
Septic:
- (c) What storm drainage system is existing/proposed?  
Sewers:  Other (specify) \_\_\_\_\_  
Ditches:   
Swales:

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes  No

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes  No

19. Has the subject property ever been the subject of an application for minor variance?

Yes  No  Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

  
\_\_\_\_\_  
Signature of Applicant(s) or Authorized Agent

DATED AT THE city \_\_\_\_\_ OF Brampton \_\_\_\_\_

THIS 27 DAY OF October, 2022.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Marwan AL-Farraj, OF THE city \_\_\_\_\_ OF Brampton \_\_\_\_\_

IN THE Region \_\_\_\_\_ OF Peel \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF  
Peel THIS 16<sup>TH</sup> DAY OF  
Nov., 2022

  
\_\_\_\_\_  
Signature of Applicant or Authorized Agent

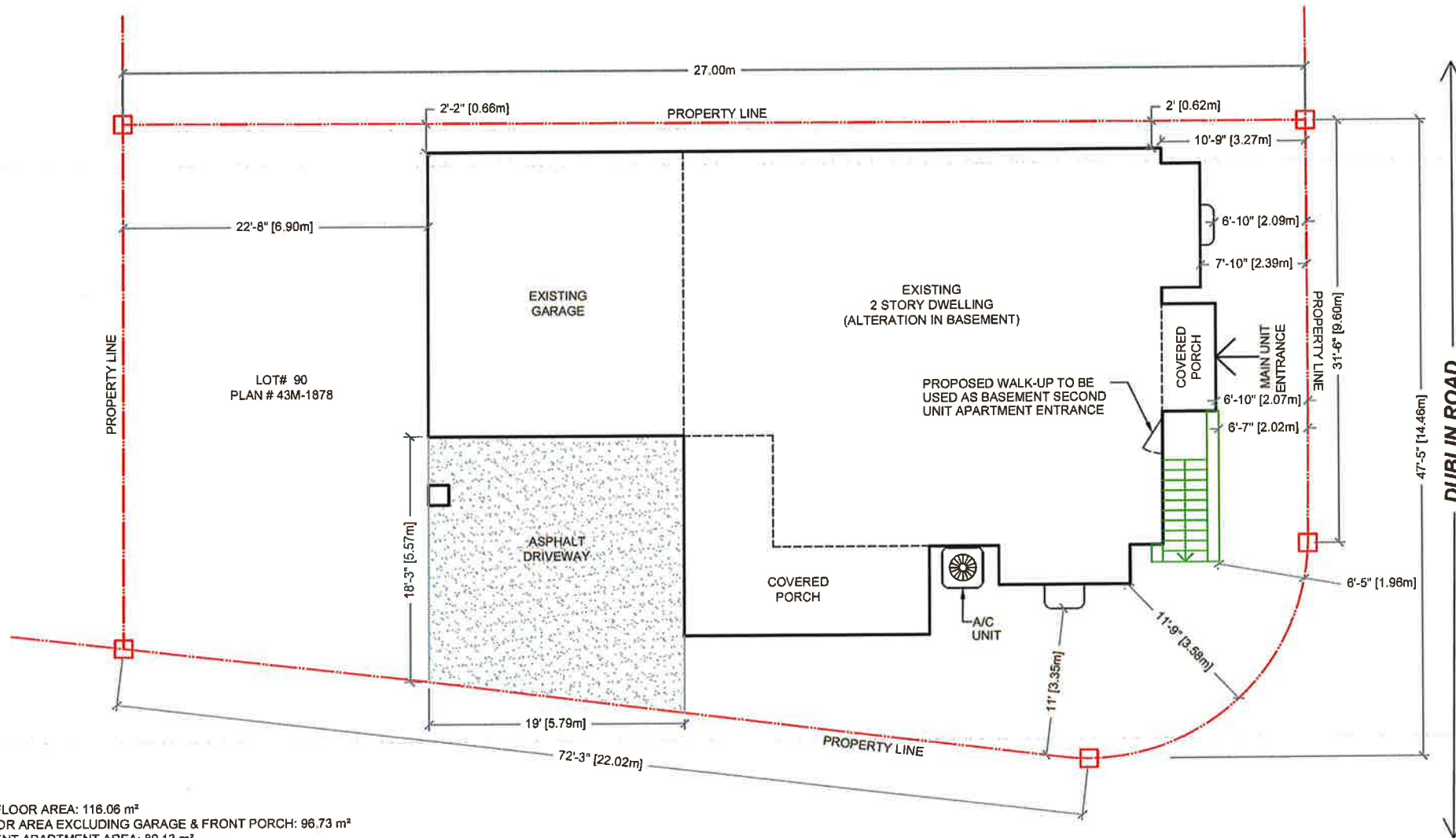
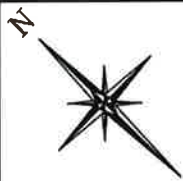
  
\_\_\_\_\_  
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	R1F-9 2201
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
Rose Bruno	October 28, 2022
Zoning Officer	Date

DATE RECEIVED November 16, 2022

Date Application Deemed Complete by the Municipality \_\_\_\_\_



EXISTING SECOND FLOOR AREA: 116.06 m<sup>2</sup>  
 EXISTING MAIN FLOOR AREA EXCLUDING GARAGE & FRONT PORCH: 96.73 m<sup>2</sup>  
 PROPOSED BASEMENT APARTMENT AREA: 89.13 m<sup>2</sup>

PARKING SPACES REQUIRED: 2 SPACES  
 PARKING SPACES PROVIDED / AVAILABLE: 1 SPACE INSIDE GARAGE  
 2 SPACES ON DRIVEWAY

← LOCOMOTIVE CRESCENT →

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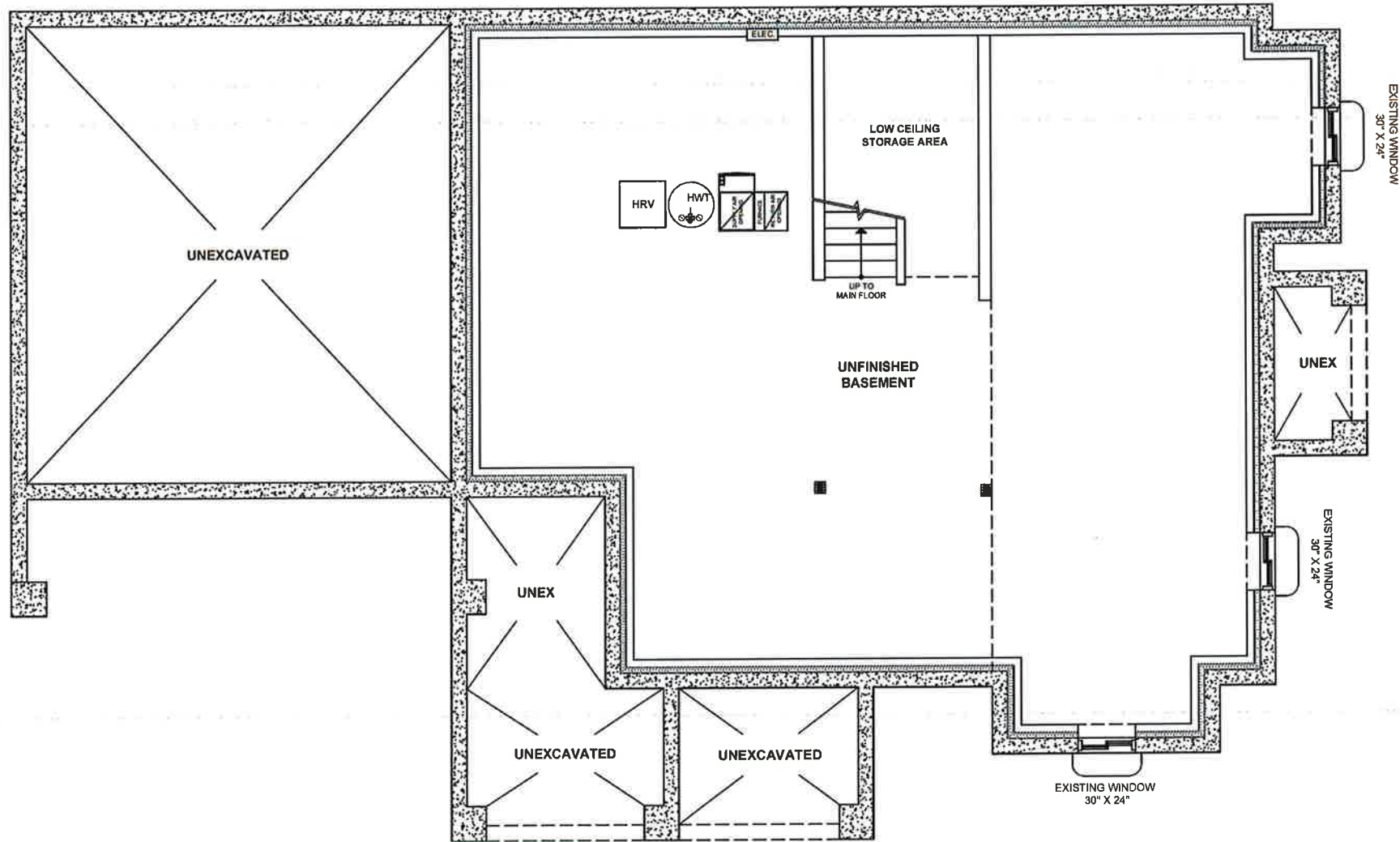
Customer Info:  
 Name: Mohammed Masood  
 Tel: 647-222-4455  
 Email:

Project Title:  
 TWO UNIT DWELLING

Drawing Title:  
 SITE PLAN

Designed: M.AF	Checked: M.AF	Date: 20-10-2022
Project No. DBR-2942	Sheet No. A1.0	Scale: 1:100





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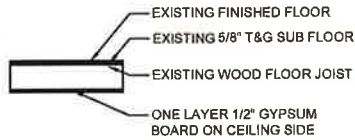
Customer Info:  
 Name: Mohammed Masood  
 Tel: 847-222-4455  
 Email:

Project Title:  
 TWO UNIT DWELLING

Drawing Title:  
 EXISTING BASEMENT FLOOR PLAN

Designed: M.AF	Checked: M.AF	Date: dd.mm.yyyy 20-10-2022
Project No. DBR-2942	Sheet No. A2.0	Scale: 1:60

CEILING CONSTRUCTION  
15 MIN FIRE SEPARATION  
OBC COMPLIANCE C147 (b) ON CEILING



EXTERIOR WALL CONSTRUCTION "TYPE A"  
 • 1/2" GYPSUM BOARD  
 • 2" X 4" WOOD STUD @ 16" O.C.  
 • EXISTING R12 MINERAL FIBER BLANKET INSULATION WITH VAPOR BARRIER  
 • EXISTING CONCRETE FOUNDATION WALL

INTERIOR WALL CONSTRUCTION "TYPE B" 30 MIN FIRE SEPARATION  
WALL OBC COMPLIANCE C147 (a)

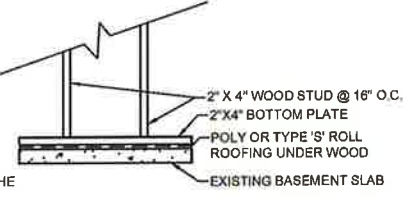
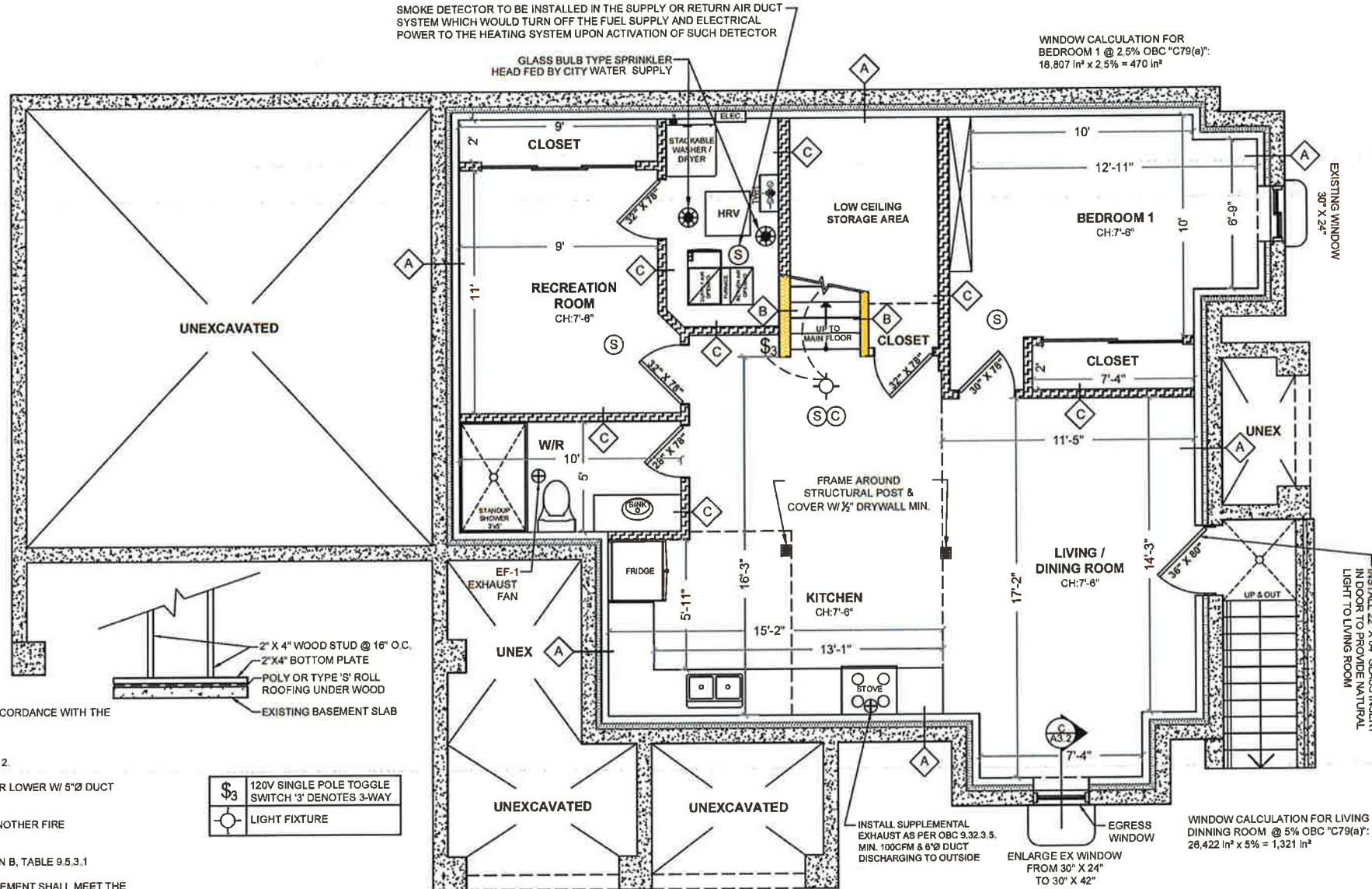
Option 1: SB3-W1c  
 • 1/2" GYPSUM BOARD  
 • 89mm THICK ABSORPTIVE MATERIAL (ROXUL SAFE&SOUND)  
 • 2" X 4" WOOD STUD @ 16" O.C.  
 • 1/2" GYPSUM BOARD

INTERIOR WALL CONSTRUCTION "TYPE C"  
 • 1/2" GYPSUM BOARD  
 • 2" X 4" WOOD STUD @ 16" O.C.  
 • 1/2" GYPSUM BOARD

- (S) SMOKE ALARM
  - SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM
  - SHALL HAVE A BATTERY BACKUP
  - SHALL BE INTERCONNECTED
- (C) CARBON MONOXIDE ALARM

GENERAL NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND REGULATIONS.
2. FRAMING NOTES:
  - 2.1. DIMENSIONAL LUMBER TO BE S-P-F GRADE 1 OR 2.
3. EF-1/2 : MIN. 50CFM EXHAUST FAN WITH 1.5 SONES OR LOWER W/ 5"Ø DUCT DISCHARGING DIRECTLY TO OUTDOOR
4. ALL FIRE SEPARATION SHALL BE CONTINUOUS TO ANOTHER FIRE SEPARATION OR TO THE EXTERIOR
5. BASEMENT CEILING HEIGHT TO CONFIRM TO DIVISION B, TABLE 9.5.3.1
6. CEILING HEIGHT UNDER BEAMS & DUCTS IN THE BASEMENT SHALL MEET THE OBC REQUIREMENT & NOT BE LESS THAN 1950mm
7. SMOKE ALARM:
  - 7.1. SMOKE ALARMS IN BASEMENT TO BE INTERCONNECTED WITH SMOKE ALARM ON MAIN FLOOR & SMOKE ALARMS ON SECOND FLOOR COMMON AREA & BEDROOMS ( SMOKE ALARM TO BE INSTALLED IN EVERY BEDROOM ON SECOND FLOOR)
  - 7.2. SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19



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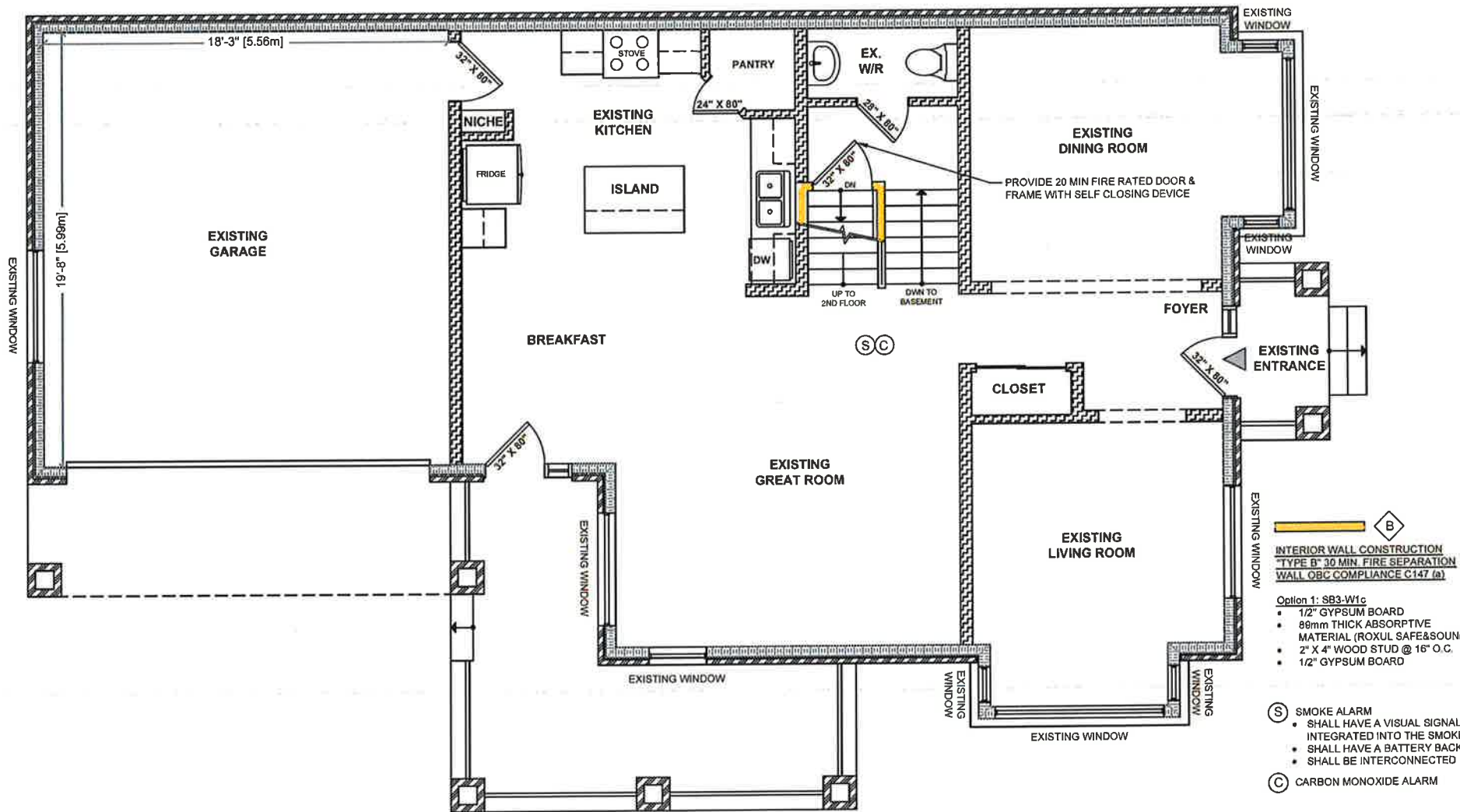
Project Address:  
14 Dublin Road  
Brampton, Ontario  
Canada, L7A 0T6

Name: Mohammed Masood  
Tel: 647-222-4455  
Email:

Project Title:  
TWO UNIT DWELLING

Drawing Title:  
PROPOSED BASEMENT FLOOR PLAN

Designed:	Checked:	Date:
M.AF	M.AF	20-10-2022
Project No.	Sheet No.	Scale:
DBR-2942	A2.1	1:60



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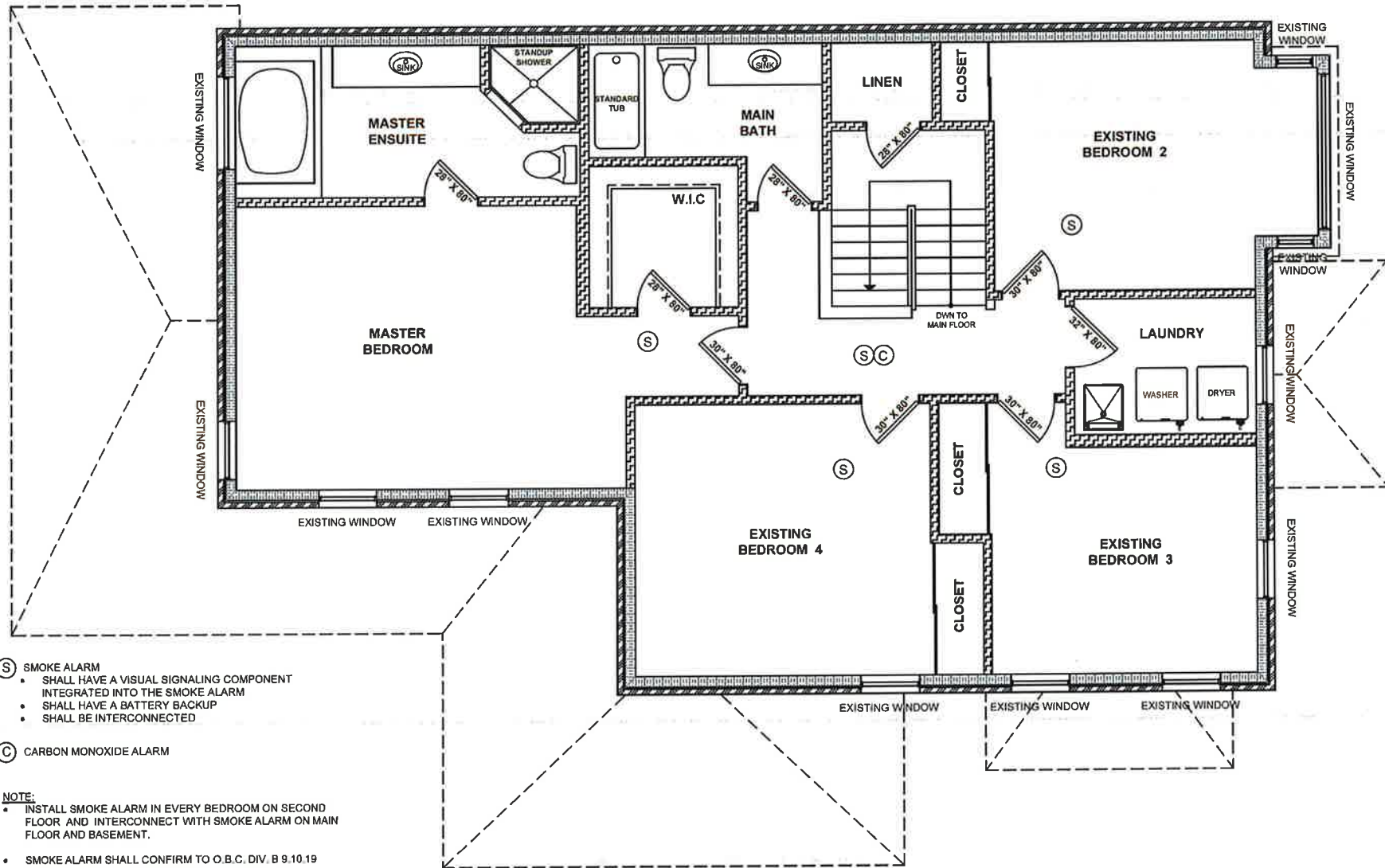
**Project Address:**  
 14 Dublin Road  
 Brampton, Ontario  
 Canada, L7A 0T6

**Customer Title:**  
 Name: Mohammed Masood  
 Tel: 647-222-4456  
 Email:

**Project Title:**  
 TWO UNIT DWELLING

**Drawing Title:**  
 GROUND FLOOR PLAN

Designed:	Checked:	Date:
M.A.F	M.A.F	20-10-2022
Project No.	Sheet No.	Scale:
DBR-2942	A2.2	1:60



- (S) SMOKE ALARM
  - SHALL HAVE A VISUAL SIGNALING COMPONENT INTEGRATED INTO THE SMOKE ALARM
  - SHALL HAVE A BATTERY BACKUP
  - SHALL BE INTERCONNECTED

- (C) CARBON MONOXIDE ALARM

- NOTE:**
- INSTALL SMOKE ALARM IN EVERY BEDROOM ON SECOND FLOOR AND INTERCONNECT WITH SMOKE ALARM ON MAIN FLOOR AND BASEMENT.
  - SMOKE ALARM SHALL CONFIRM TO O.B.C. DIV. B 9.10.19
  - EXISTING SECOND FLOOR WALL & CEILING IS ½" DRYWALLED

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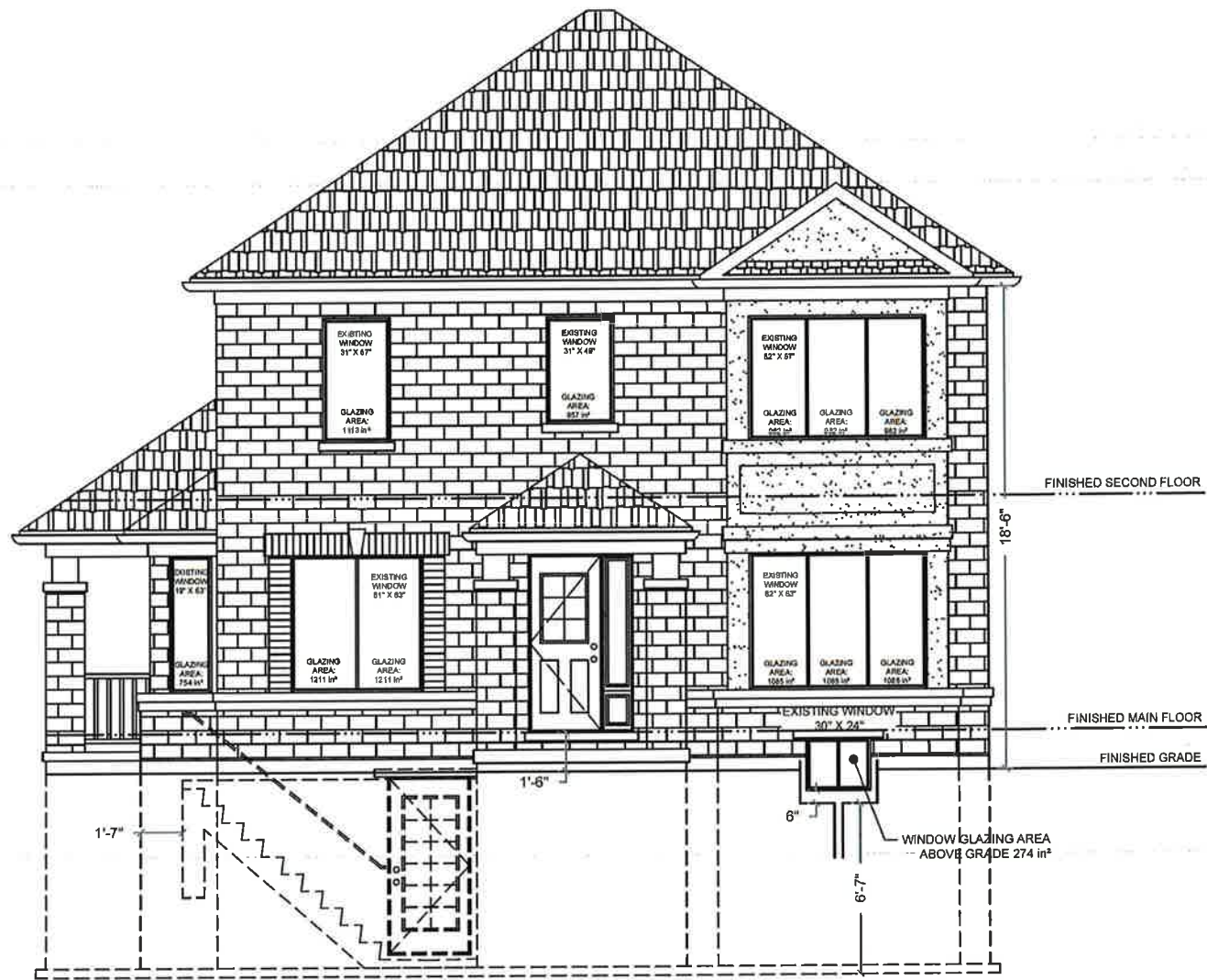
Customer Info:  
Name: Mohammed Masood  
Tel: 647-222-4456  
Email:

Project Title:  
TWO UNIT DWELLING

Drawing Title:  
SECOND FLOOR PLAN

Designed: M.AF	Checked: M.AF	Date: dd.mm.yyyy 20-10-2022
Project No. DBR-2942	Sheet No. A2.3	Scale: 1:60

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FRONT ELEVATION

TOTAL WALL AREA OPENING PROVIDED: 7.66 m<sup>2</sup>

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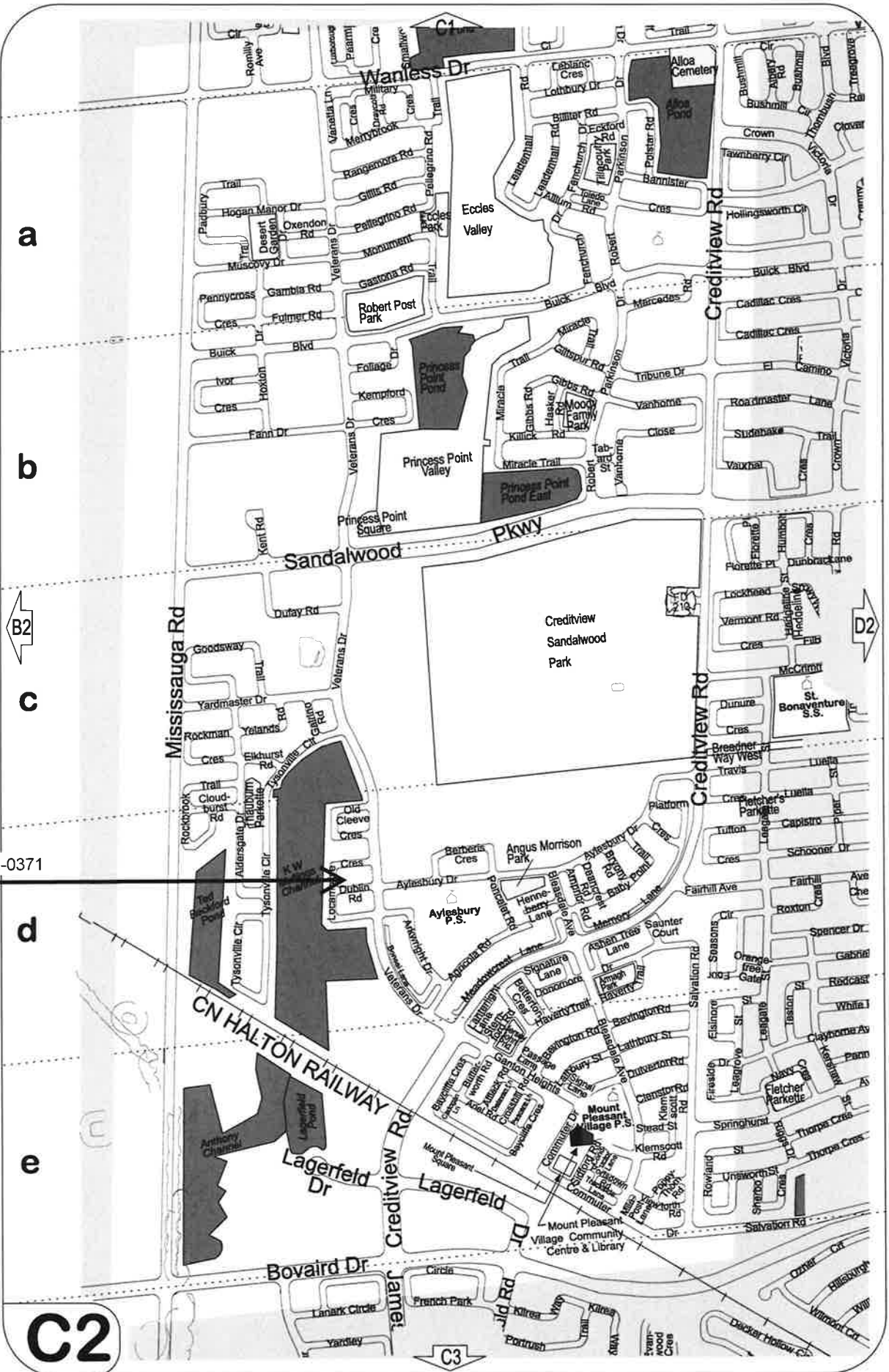
**Project Address:**  
 14 Dublin Road  
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 Canada, L7A 0T6

**Customer Info:**  
 Name: Mohammed Masood  
 Tel: 647-222-4456  
 Email:

**Project Title:**  
 TWO UNIT DWELLING

**Drawing Title:**  
 FRONT ELEVATION

<b>Designed:</b> M.AF	<b>Checked:</b> M.AF	<b>Date:</b> 20-10-2022
<b>Project No.</b> DBR-2942	<b>Sheet No.</b> A2.5	<b>Scale:</b> 1:60



a

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