

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MANPREET MANGAT AND AMANJIT KAUR** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 9, Plan M-350 municipally known **12 ROSEGARDEN DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a garden suite having a gross floor area of 280 sq. m (3,013.90 sq. ft) whereas the by-law permits a maximum gross floor area of 80 sq. m (861.11 sq. ft) for a garden suite;
2. To permit a garden suite having a height of 8.0m (26.25 ft) whereas the by-law permits a maximum height of 7.5m (24.60 ft) for a garden suite;
3. To permit a below grade entrance in a garden suite whereas the by-law does not permit a below grade entrance in a garden suite;
4. To permit a garage door height of 3.0m (9.84 ft) whereas the by-law permits a maximum garage door height of 2.4m (7.87 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO _____
Application for Consent: _____ NO _____

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, May 30, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

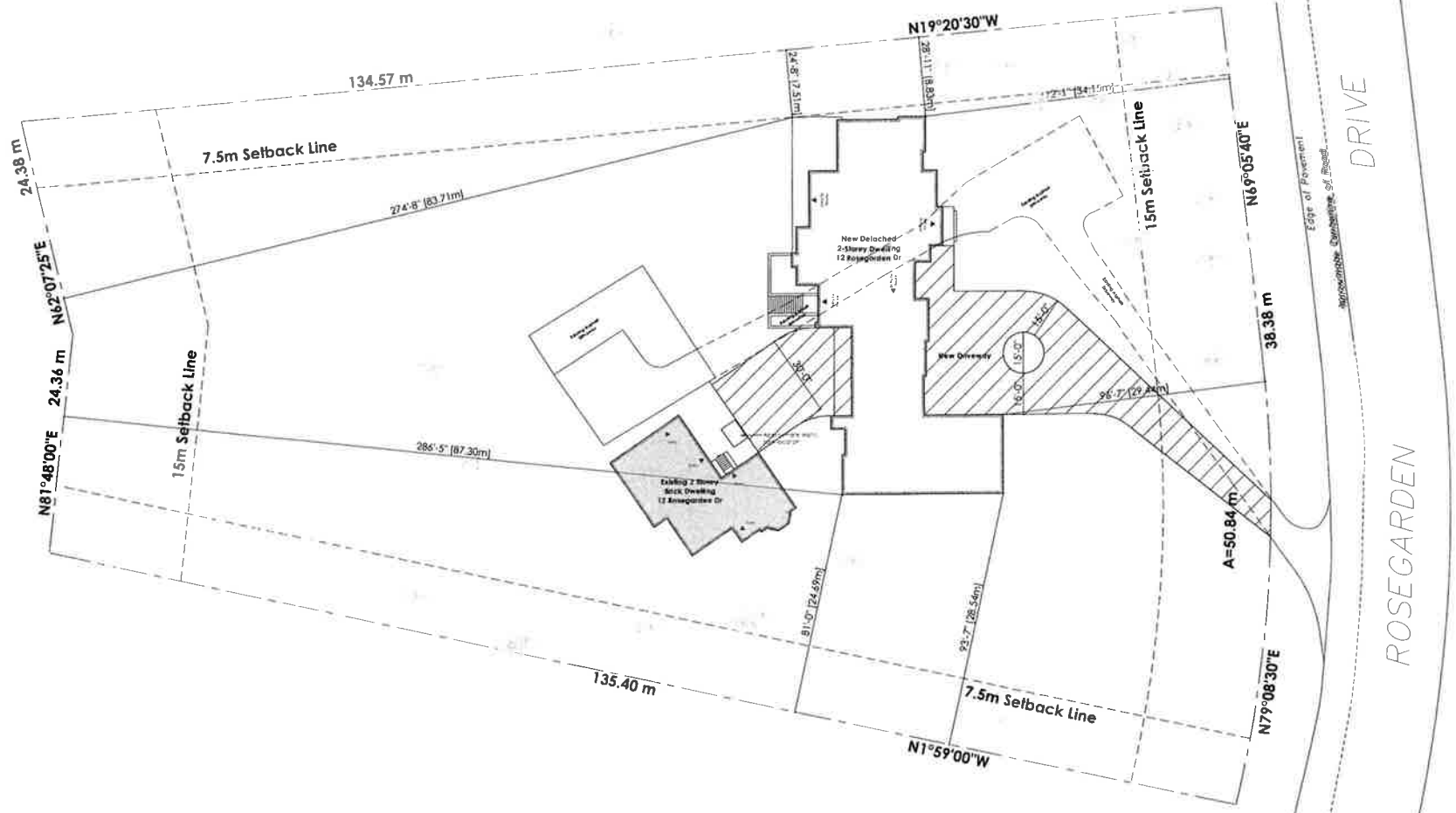
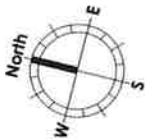
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 18th Day of May, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117 Fax: (905)874-2119
jeanie.myers@brampton.ca



Garden Suite & Construction of New Dwelling

Site Plan

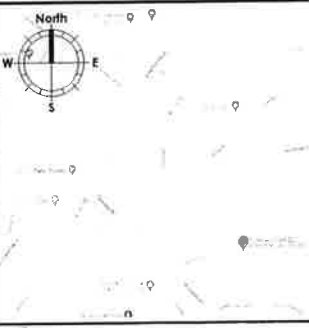
General notes

- All dimensions to be checked and verified on site prior to commencement of work. Any discrepancies shall be brought to the attention of permitguys prior to continuation of work.
- The contractor shall take all precautionary measures under the occupational health and safety act as required by the ministry of labour.
- All work shall be done in accordance with the minimum standards and specifications of the municipality's engineering department.
- All work in the municipal road allowance shall meet the minimum standards and specifications of the municipality's engineering department. The contractor is required to obtain & pay for permit to work in municipal R.O.W.
- Prior to the commencing any work on the installation of services & grading, an approved set of plans and specifications must be available on the job site and shall remain there while work is being done.
- The owners of the utilities must be informed at least two weeks prior to construction on any existing municipal road allowance. All existing underground utilities within the limits of construction shall be located and marked. Any utilities, damaged or disturbed during construction, shall be repaired or replaced to the satisfaction of the governing body at the contractor's expense.
- Prior to commencing any construction, all sewer outlet information, benchmarks, elevations, dimensions and grades must be checked by the contractor and verified and any discrepancies reported to the engineer.
- The contractor is responsible for ensuring that there is no interruption of any surface or subsurface drainage flow that would adversely affect neighboring properties.

Scope of Work
 Convert Existing Heritage house to Garden Suite,
 Construction of new 2 storey dwelling.

Site Statistics (All Units in Metric)

Lot Information		Gross Floor Area (Heritage)	
Lot Depth	133.66	Ex. Ground Floor GFA	165
Lot Frontage	85.98	Ex. Second Floor GFA	116
Lot Area	9215.45	Gross Floor Area (New)	
Zone	RE2	Prop. Ground Floor GFA	266
Lot Coverage		Prop. Second Floor GFA	383
Ex. Heritage House Area	167.4	Landscape Open Space	
		Front Yard Area	2725
Prop. New Dwelling	543.6	Hard Surface Area	370
Prop. Balcony & Porch	47.5	Total Soft Surface Area	2355(14%)
Total Area	758		
Total Coverage (%)	8%		



Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 30, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 25, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 25, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Manpreet Mangat, Amanjit Kaur
Address 12 Rosegarden Dr. Brampton. L6P 0E6

Phone # 647-210-5009, 416-648-2455 **Fax #** _____
Email rosegardenddrive@gmail.com

2. **Name of Agent** _____
Address _____

Phone # _____ **Fax #** _____
Email _____

3. **Nature and extent of relief applied for (variances requested):**

1. To permit a garden suite having a gross floor area of 280 m²

2. To permit a garden suite having a height of 8 m

3. To permit a below grade entrance in a garden suite.

4. To permit a garage door height of 3 m

4. **Why is it not possible to comply with the provisions of the by-law?**

Garden suite is existing heritage property, and heritage department supported to keep the entire houses and convert it into garden suite.
Height of garage door is an important design feature of the house elevations.

5. **Legal Description of the subject land:**
Lot Number 9
Plan Number/Concession Number M-350
Municipal Address 12 Rosegarden Dr

6. **Dimension of subject land (in metric units)**
Frontage 86
Depth 134
Area 9216

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input checked="" type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

- 8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Existing Heritage Home:
 Ground floor GFA: 165, Second floor GFA: 116
 2 storey house, Overall width: 17.5, Overall depth: 14.3, Overall height: 7.7

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Proposed New house
 Ground floor GFA: 266, Second floor GFA: 383
 2 storey house, Overall width: 41.4, Overall depth: 26.2, Overall height: 8.3

- 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 53
 Rear yard setback 61
 Side yard setback 14.6
 Side yard setback 39.3

PROPOSED

Front yard setback 29.4
 Rear yard setback 87.3
 Side yard setback 24.7
 Side yard setback 8.8

- 10. Date of Acquisition of subject land: 2016 November

- 11. Existing uses of subject property: Residential

- 12. Proposed uses of subject property: Residential

- 13. Existing uses of abutting properties: Residential

- 14. Date of construction of all buildings & structures on subject land: 1877

- 15. Length of time the existing uses of the subject property have been continued: 146

- 16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well
- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic
- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

[Signature]

 Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
 THIS 24 DAY OF April, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Manpreet Mangat, OF THE CITY OF Brampton
 IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
 IN THE Region OF
Peel THIS 24th DAY OF
April, 2023

Jeanie Cecilia Myers
 a Commissioner, etc.,
 Province of Ontario
 for the Corporation of the
 City of Brampton
 Expires April 8, 2024.
[Signature]

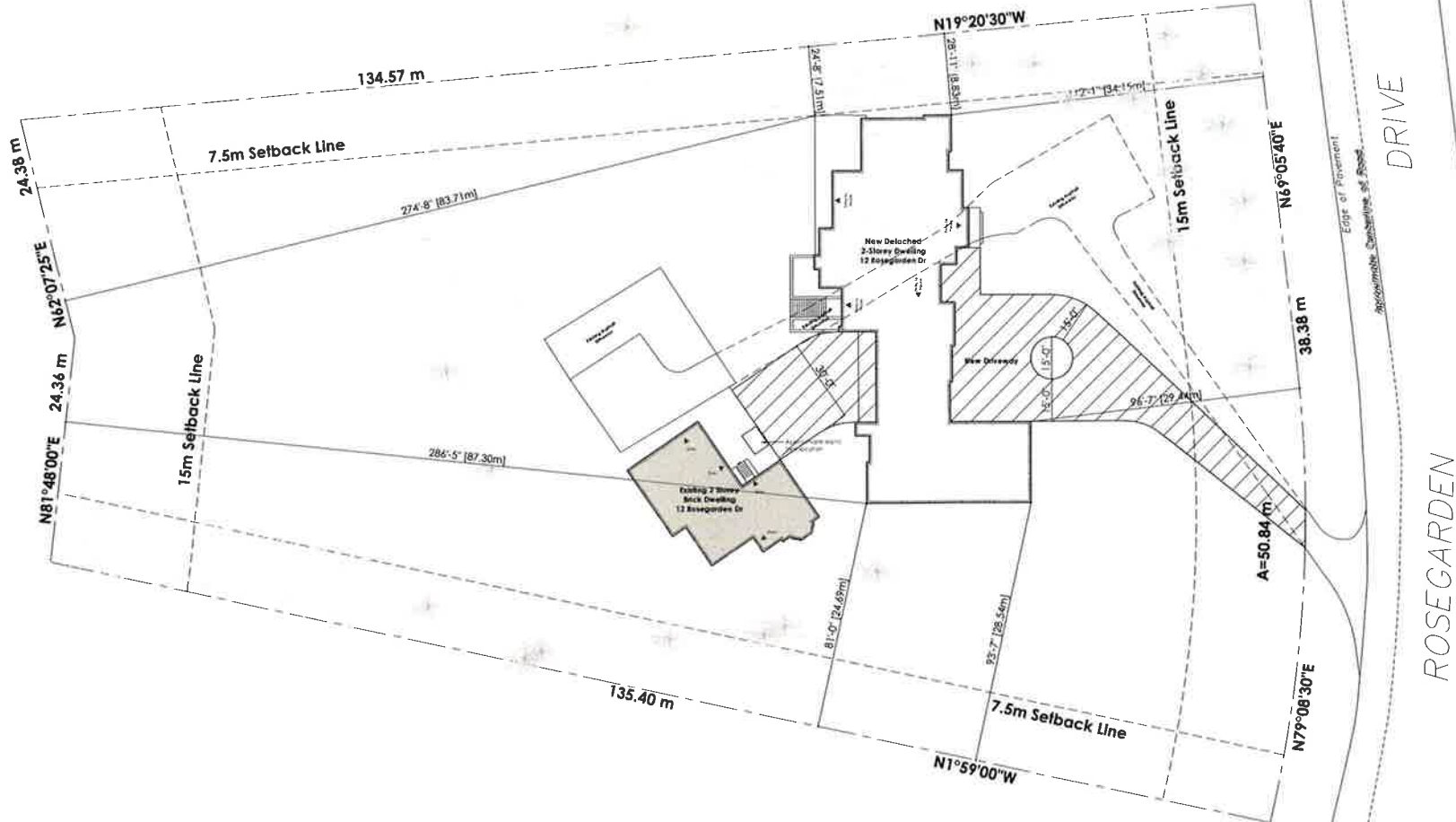
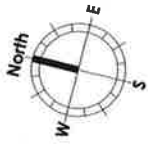
 Signature of Applicant or Authorized Agent

[Signature]

 A Commissioner etc.

FOR OFFICE USE ONLY	
Present Official Plan Designation:	_____
Present Zoning By-law Classification:	RE2 _____
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.	
<u>[Signature]</u> _____	APRIL 11.23 _____
Zoning Officer	Date

DATE RECEIVED April 24, 2023
 Date Application Deemed Complete by the Municipality _____



Garden Suite & Construction of New Dwelling

Site Plan

General notes

- All dimensions to be checked and verified on site prior to commencement of work. Any discrepancies shall be brought to the attention of permitguy's prior to continuation of work.
- The contractor shall take all precautionary measures under the occupational health and safety act as required by the ministry of labour.
- All work shall be done in accordance with the minimum standards and specifications of the municipality's engineering department.
- All work in the municipal road allowance shall meet the minimum standards and specifications of the municipality's engineering department. The contractor is required to obtain & pay for permit to work in municipal R.O.W.
- Prior to the commencing any work on the installation of services & grading, an approved set of plans and specifications must be available on the job site and shall remain there while work is being done.
- The owners of the utilities must be informed at least two weeks prior to construction on any existing municipal road allowance. All existing underground utilities within the limits of construction shall be located and marked. Any utilities, damaged or disturbed during construction, shall be repaired or replaced to the satisfaction of the governing body at the contractor's expense.
- Prior to commencing any construction, all sewer outlet information, benchmarks, elevations, dimensions and grades must be checked by the contractor and verified and any discrepancies reported to the engineer.
- The contractor is responsible for ensuring that there is no interruption of any surface or subsurface drainage flow that would adversely affect neighboring properties

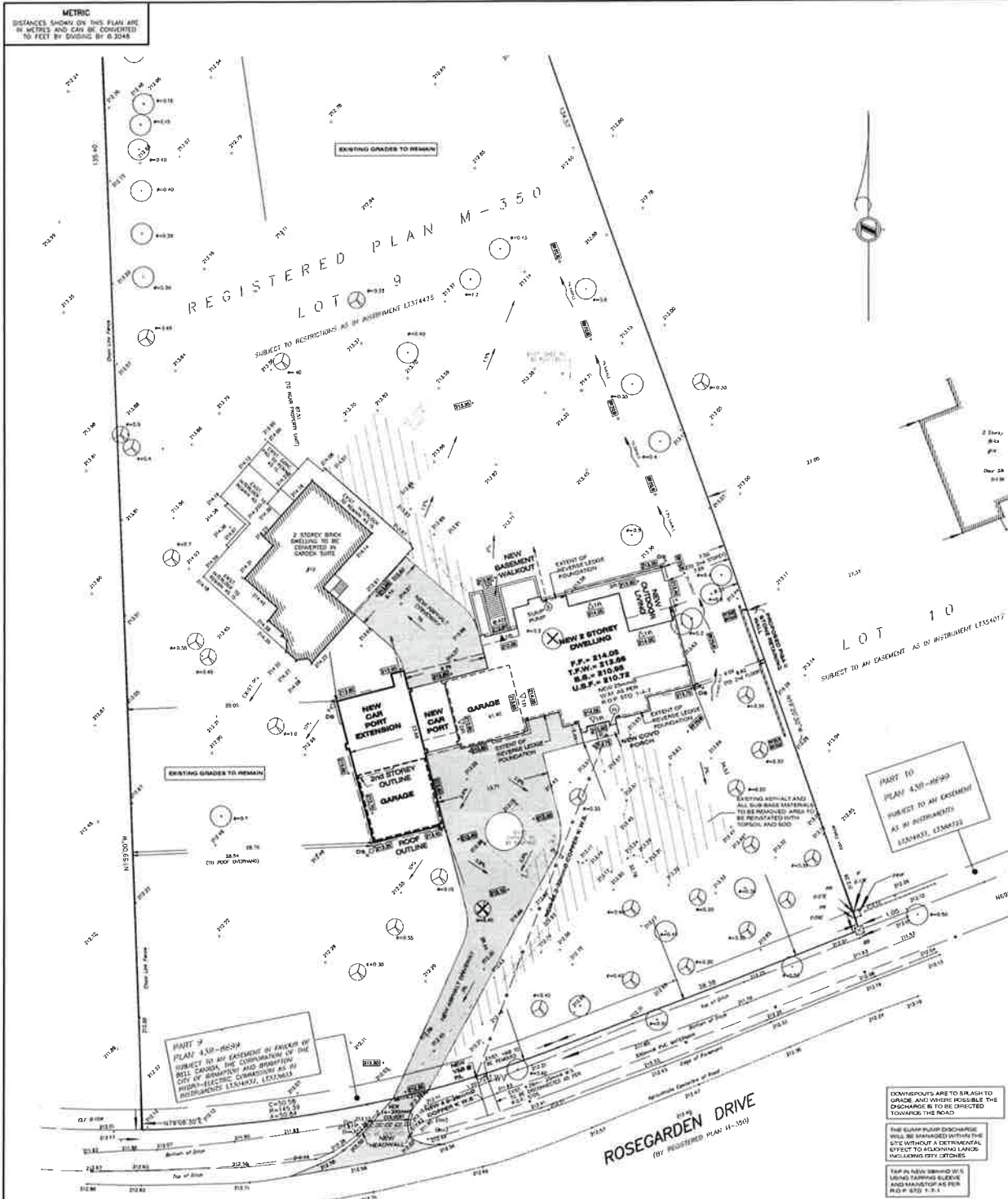
Scope of Work

Convert Existing Heritage house to Garden Suite.
Construction of new 2 storey dwelling.

Site Statistics (All Units in Metric)

Lot Information		Gross Floor Area (Heritage)	
Lot Depth	133.66	Ex. Ground Floor GFA	165
Lot Frontage	85.98	Ex. Second Floor GFA	116
Lot Area	9215.45	Gross Floor Area (New)	
Zone	RE2	Prop. Ground Floor GFA	266
Lot Coverage		Prop. Second Floor GFA	383
Ex. Heritage House Area	167.4	Landscape Open Sapce	
		Front Yard Area	2725
Prop. New Dwelling	543.6	Hard Surface Area	370
Prop. Balcony & Porch	47.5	Total Soft Surface Area	2355(14%)
Total Area	758		
Total Coverage (%)	8%		



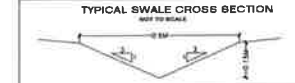


ALL SURFACE DRAINAGE WILL BE SELF CONTAINED, COLLECTED AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

THE APPLICANT WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITY RELOCATIONS NECESSARY BY THE SITE PLAN.

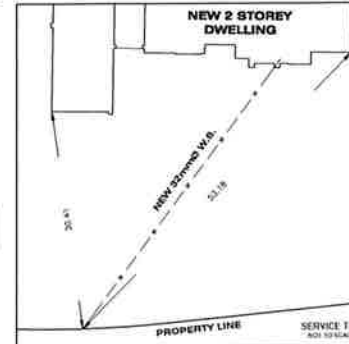
ALL SURPLUS EXCAVATED MATERIAL TO BE REMOVED OFF SITE.

RAIN WATER ROOF LEADERS
ALL RAIN WATER ROOF LEADERS TO DISCHARGE ONTO CONCRETE SPLASH PADS WITH FLOWS DIRECTED TOWARDS MORNING COURT AND THE REAR YARD AREA.



AN APPROVED SILTATION CONTROL METHOD MUST BE PROVIDED DURING CONSTRUCTION.

ALL DISTURBED AREAS TO BE SEED OR SODDED TOPSOIL TO BE AT LEAST 100 mm THICK.



DOWNPOUTS ARE TO SLASH TO GRADE AND WHERE POSSIBLE THE DRAINAGE IS TO BE DIRECTED TOWARDS THE ROAD.

THE GULF PUMP DISCHARGE WILL BE INSTALLED WITHIN THE SITE WITHOUT A DETRIMENTAL EFFECT TO ADJACENT LANDS INCLUDING CITY OPENINGS.

TOP IN NEW BRUSHED W/1.5mm TAPPING SLEEVE AND MANHOLES AS PER RTO # 670 1.1.1

- NOTES
1. AT ALL ENTRANCES TO THE SITE, THE ROAD CURVE AND SIDEWALK WILL BE CONTIGUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY SHALL BE CONFORMABLE WITH THE EXISTING SIDEWALK, AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
 2. SIDEWALKS TO BE REFINISHED AND REPLACED AS PER O.P.S.S. DETAILS.
 3. DOWNPOUTS TO BE CONFORMABLE WITH THE DRIVEWAY OR SIDEWALK. DOWNPOUTS SHALL NOT BE PLACED ACROSS SIDEWALKS.
 4. SIDEWALK GRASSES SHOULD NOT BE LESS THAN 25 mm AND NOT GREATER THAN 50 mm.
 5. LAWN AND GRASSES SHALL HAVE A MINIMUM SLOPE OF 1% AND A MAXIMUM SLOPE OF 5%.
 6. METRIC GRASSES IN EXCESS OF 50 mm ARE PERMITTED. THE MAXIMUM SLOPE SHALL BE 3:1. CANOE CHANNELS IN EXCESS OF 150 mm ARE TO BE ACCOMPANIED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 1.8 m SHALL HAVE A FENCE RETAINED ON THE INSIDE SIDE.
 7. ALL DISTURBED AREAS MUST BE SEED OR SODDED TOPSOIL TO BE AT LEAST 100 mm.
 8. THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.2 m.
 9. GRADE DIFFERENCES BETWEEN VERTICAL CURVES SHALL BE MINIMIZED, ESPECIALLY WHERE NEW DRIVEWAYS ARE INVOLVED. THE MINIMUM CLEARANCE BETWEEN THE DRIVEWAY AND THE LEVEL OF THE ROAD SHALL BE MAINTAINED THROUGHOUT THE LENGTH OF THE DRIVEWAY. THE MINIMUM CLEARANCE BETWEEN THE DRIVEWAY AND THE LEVEL OF THE ROAD SHALL NOT BE GREATER THAN THAT ACHIEVED BY FORMING A 3% GRADE BETWEEN THE DRIVEWAYS.
 10. SIDEWALK PORTION WITHIN THE MANHOLES, MANHOLES MUST BE PAVED.
 11. THE SERVICE CONNECTION (TRENCH) WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE INSTALLED WITH IMPERMEABLE FILL.
 12. WHEREVER POSSIBLE, A 0.8 m SEPARATION SHALL BE PROVIDED BETWEEN THE DRIVEWAYS.
 13. IN THE EVENT THAT THE GRASSES ARE TO BE EXTENDED TO THE ADJACENT PROPERTY, A WRITTEN AGREEMENT FROM THE OWNER OF THAT PROPERTY SHALL BE OBTAINED AND ENDORSED BY THE CITY OF BRAMPTON WORKS AND TRANSPORTATION DEPARTMENT.
 14. ALL EXISTING DRIVEWAYS MUST BE SEED OR SODDED, SEPARATED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF EXISTING PROPERTIES SHALL NOT BE AFFECTED BY THESE LOTS.
 15. THE GRANTOR FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE EXISTING DRIVEWAY SHALL HAVE A MINIMUM SLOPE OF 1% AND A MAXIMUM SLOPE OF 5%.
 16. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD SPECIFICATIONS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO TRENCHING STANDARDS AND SPECIFICATIONS.

WATERMANS AND WATER SERVICE
ALL MATERIALS AND CONSTRUCTION METHODS MUST CONFORM TO THE CURRENT P.E.I. PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
WATERMANS AND WATER SERVICE MATERIALS (100 mm (4") AND LARGER MUST BE OF 18 P.V.C. PIPE MANUFACTURED TO A S.A.W.A. SPEC. (CSO-18 SPEC. COMPLETE WITH TRENCH WALL SIZE 50 mm (2") AND SHALL BE 100% SOFT SERVICE PIPE PER A.S.T.M. 808-04 SPECIFICATION.

WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.2 m (4') WITH A MINIMUM HORIZONTAL SPACING OF 1.2 m (4') FROM INSULINES AND ALL OTHER UTILITIES.
PROVISIONS FOR FURNISHING WITHIN THE ROAD TO TESTING, ETC. SHALL BE PROVIDED WITH AT LEAST A 90 mm (3") COVER AND 100 mm (4") LARGER SIZES COVER ARE TO BE USED. PIPES TO ALLOW THE WATER TO "SOAK INTO A PAVEMENT OR TO FORM A SEAM, OR FIRE LINES, FLOWING OUTLET TO BE 100 mm (4") DIA. MINIMUM ON A 1% SLOPE.
ALL CURB STOPS TO BE 25 mm (1") OFF THE FACE OF THE FINISH GRASS OR DRIVEWAY. HYDRANT AND VALVE SET TO BE 100 mm (4") DIA. (1) AND 0.7 m (2) AND 0.9 m (3) AND TO HAVE PUMPER HOZZLE.

WATERMANS TO BE INSTALLED IN GRASSES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE PROPOSED.

WATERMANS MUST HAVE A MINIMUM CLEARANCE OF 0.3 m (1') OVER / 0.5 m (2') UNDER SEWERS AND ALL OTHER UTILITIES, WHEN CROSSING.

ALL EXISTING UTILITY LINES MUST BE MARKED FROM EXISTING SYSTEMS.
ALL LIVE TAPPING AND OPERATION OF EXISTING UTILITY LINES SHALL BE UNDERTAKEN THROUGH THE REGIONAL INSPECTOR, RESIDES OF BY OBTAINING THE OPERATOR'S AND MAINTENANCE DIVISION LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING, EXISTING, TAPPING AND MARKING OF ALL EXISTING AND PROPOSED UTILITIES AND EXISTING UTILITIES SHALL BE PLUS OR MINUS FOR ALL REVISIONS AND CONSEQUENCES RELATIVE FROM CHANGES TO SAME.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO DATE 12 HOURS WRITTEN NOTICE TO THE REGIONAL INSPECTOR TO CHOOSE AND LOCATE FOR THE TAPPING AND OPERATION OF THE EXISTING UTILITY LINES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION OF THE UTILITY LINES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL COSTS INCLUDING TRENCHING AND BACKFILLING.

ALL PROPOSED WATER LINES MUST BE INSTALLED THROUGH A TRENCHING CONNECTION THAT SHALL INCLUDE AN APPROVED TRENCHING CONNECTION SYSTEM, CONFORMING WITH THE TRENCHING STANDARDS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO TRENCHING STANDARDS AND SPECIFICATIONS.



LEGAL DESCRIPTION:
LOT 9
REGISTERED PLAN M-350
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF P.E.I.
SCALE 1:250
SURVEY INFORMATION
BEARINGS AND DISTANCES SHOWN ON THIS PLAN ARE TAKEN FROM PLAN PREPARED BY YOUNG & YOUNG SURVEYING INC., DATED DECEMBER 22, 2020.

UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE AND AN ON-SITE LOCATE MUST BE OBTAINED PRIOR TO ANY EXCAVATION. TARASICK McMILLAN KUBICKI LIMITED ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OF LOSSES DUE TO IMPROPER USE OF THIS INFORMATION.

ELEVATION NOTE
ELEVATIONS ARE REFERRED TO DATUM AND WERE DERIVED FROM CITY OF BRAMPTON, BENCHMARK NO. 042920179, HAVING A PUBLISHED ELEVATION OF 230.663 metres.

LEGEND

MH	DESIGNATES MANHOLE
PH	DESIGNATES FIRE HYDRANT
WUP	DESIGNATES WOOD UTILITY POLE
CB	DESIGNATES CATCH BASIN
WV	DESIGNATES WATER VALVE
W	DESIGNATES WATER
▲	DESIGNATES ENTRY POINT
1-100.72	DESIGNATES EXISTING SPOT ELEVATION
1-100.80	DESIGNATES PROPOSED SPOT ELEVATION
○-05	DESIGNATES PROPOSED MANHOLE DOWNPOUTS
▲	DESIGNATES AREA DRAIN
○ 0.30m	DESIGNATES CONIFEROUS TREE WITH TRUNK DIAMETER
○ 0.30m	DESIGNATES DECIDUOUS TREE WITH TRUNK DIAMETER
○	DESIGNATES TREE TO BE REMOVED
—	DESIGNATES SNOW FENCE HOARDING OR PLASTIC SAFETY
—	DESIGNATES SNOW FRAMED HOARDING
→	DIRECTION AND GRADIENT OF DRAINAGE

DO NOT SCALE DRAWINGS

NOTE:

- 1) CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, SPECIFICATIONS AND DRAWINGS ON SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER/ARCHITECT PRIOR TO PROCEEDING WITH ANY OF THE WORK.
- 2) THESE PLANS ARE TO REMAIN THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON REQUEST. THESE PLANS MUST NOT BE USED IN ANY OTHER LOCATION WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.
- 3) ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.

REVISIONS

1	FEB. 8, 2023	REVISED AS PER ARCHITECT REQUEST
---	--------------	----------------------------------

APPLICANT/ OWNER
AMANJIT KAUR
(416) 648-2455
rosegardenlive@gmail.com

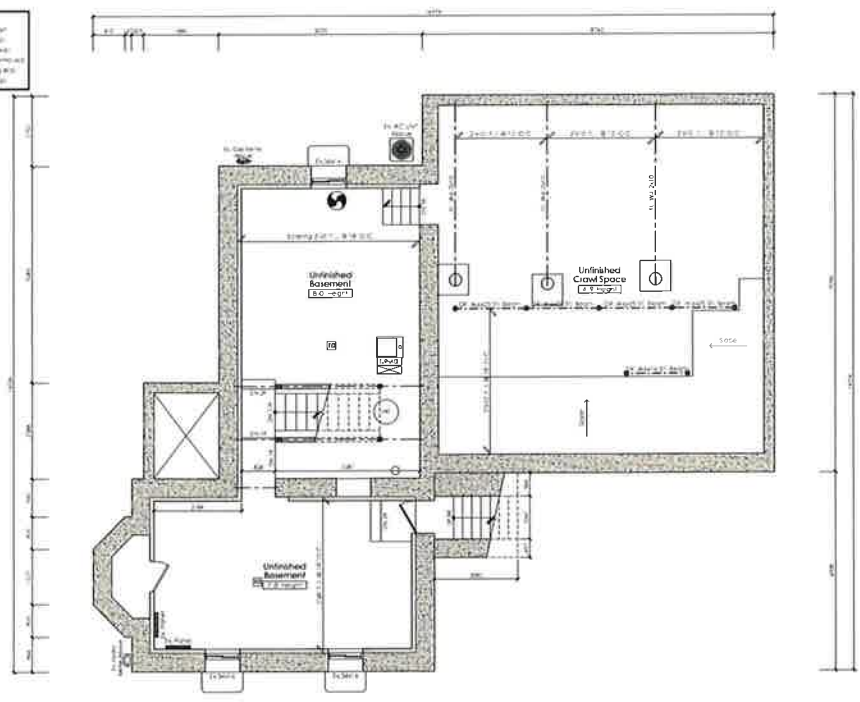
FILE:
NEW 2 STOREY DWELLING
12 ROSEGARDEN DRIVE, BRAMPTON

SHEET TITLE:
SITE GRADING PLAN

TARASICK McMILLAN KUBICKI LIMITED
ONTARIO LAND SURVEYORS
4181 SHADEVIEW CRESCENT, UNIT 42, MISSISSAUGA, ONTARIO L5L 0R2
TEL: (905) 568-8849 FAX: (905) 568-3180
E-MAIL: info@tarasickmcmillan.com
DRAWN BY: DRL FILE NO: 9023-SOP-2022-10-13

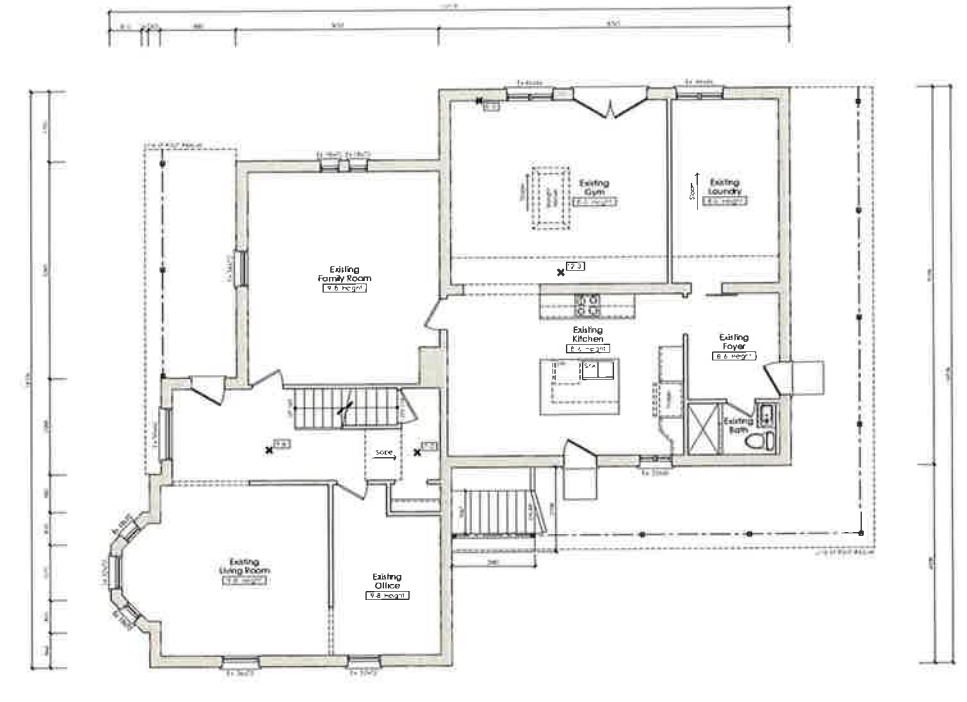
I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF A BUILDING LOCATED AT 12 ROSEGARDEN DRIVE AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSED CONSTRUCTION WITH THE CITY OF BRAMPTON'S MUNICIPAL SERVICES. BY BEING SOLELY RESPONSIBLE FOR THE PROPOSED SERVICES AS SHOWN, THE APPLICANT ASSUMES FULL RESPONSIBILITY AND PROPER FACILITY OF MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS AND SERVICES.
DATE: FEBRUARY 8, 2023
MISSISSAUGA, ONTARIO
JACKIE HARRIS, P.Eng. (905) 568-8849

Wall Type	Description
(Symbol)	Block to repair
(Symbol)	Repoint wall
(Symbol)	Reinforce wall
(Symbol)	Walls to be removed
(Symbol)	Walls to be replaced
(Symbol)	Walls to be retained
(Symbol)	Reinforcing wall



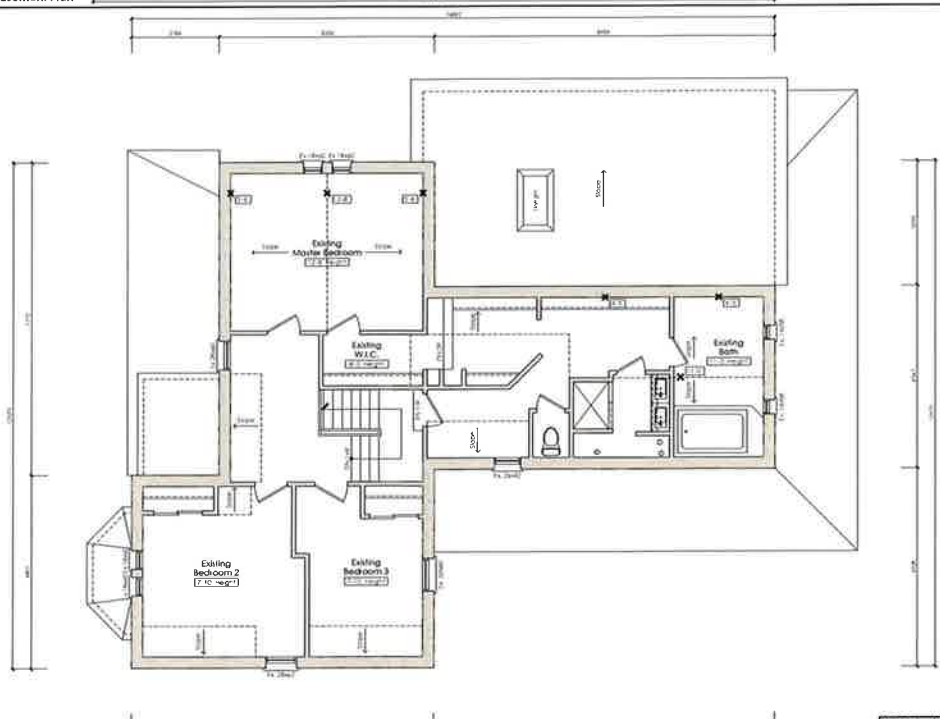
Existing Heritage Basement Plan

Existing heritage items to be preserved
See Garden Guide



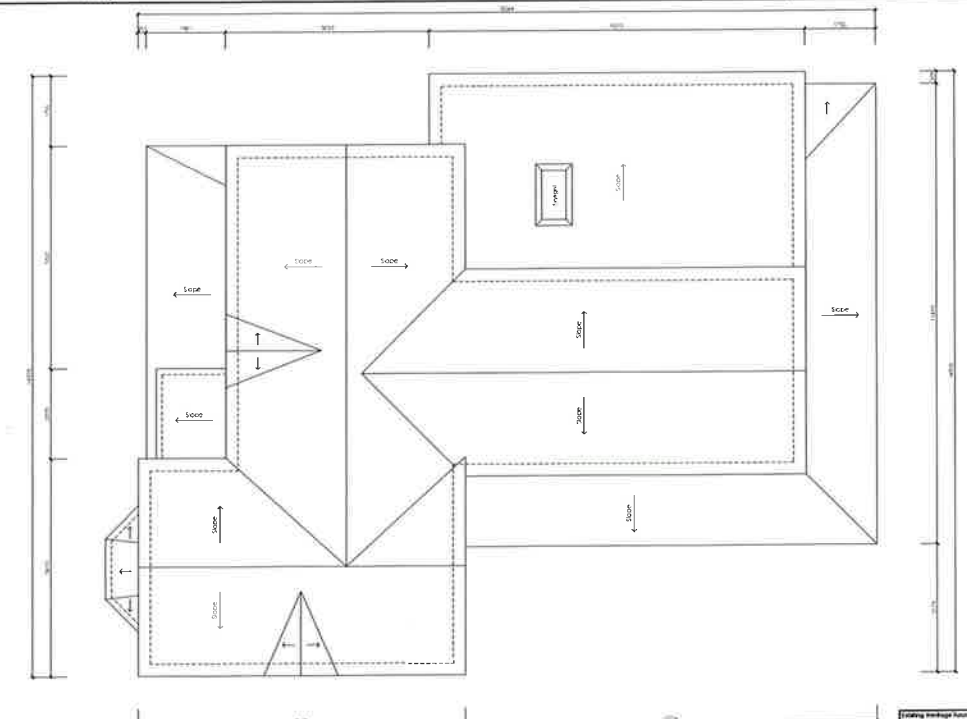
Existing Heritage Ground Floor Plan

Existing heritage items to be preserved
See Garden Guide



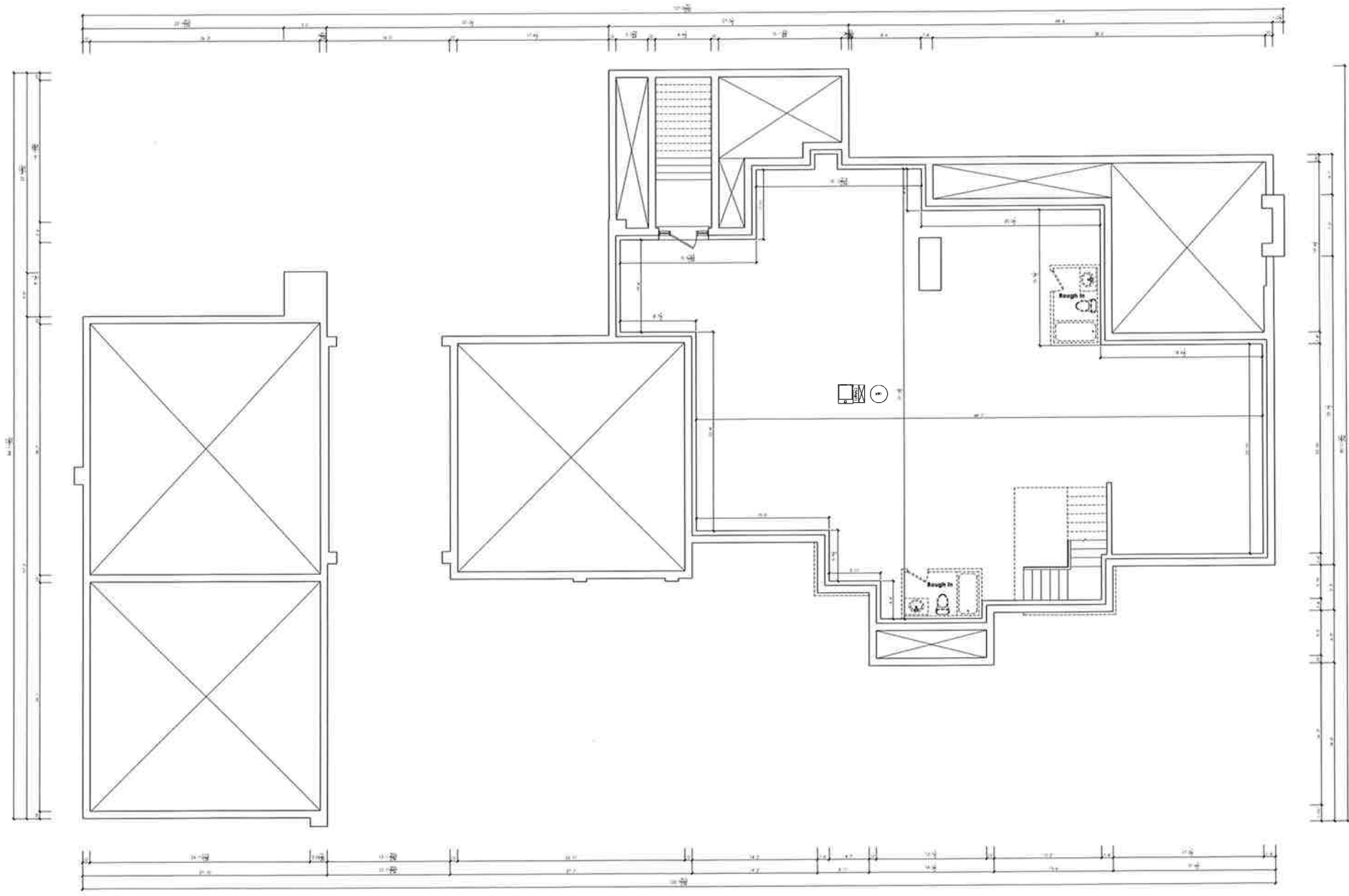
Existing Heritage Second Floor Plan

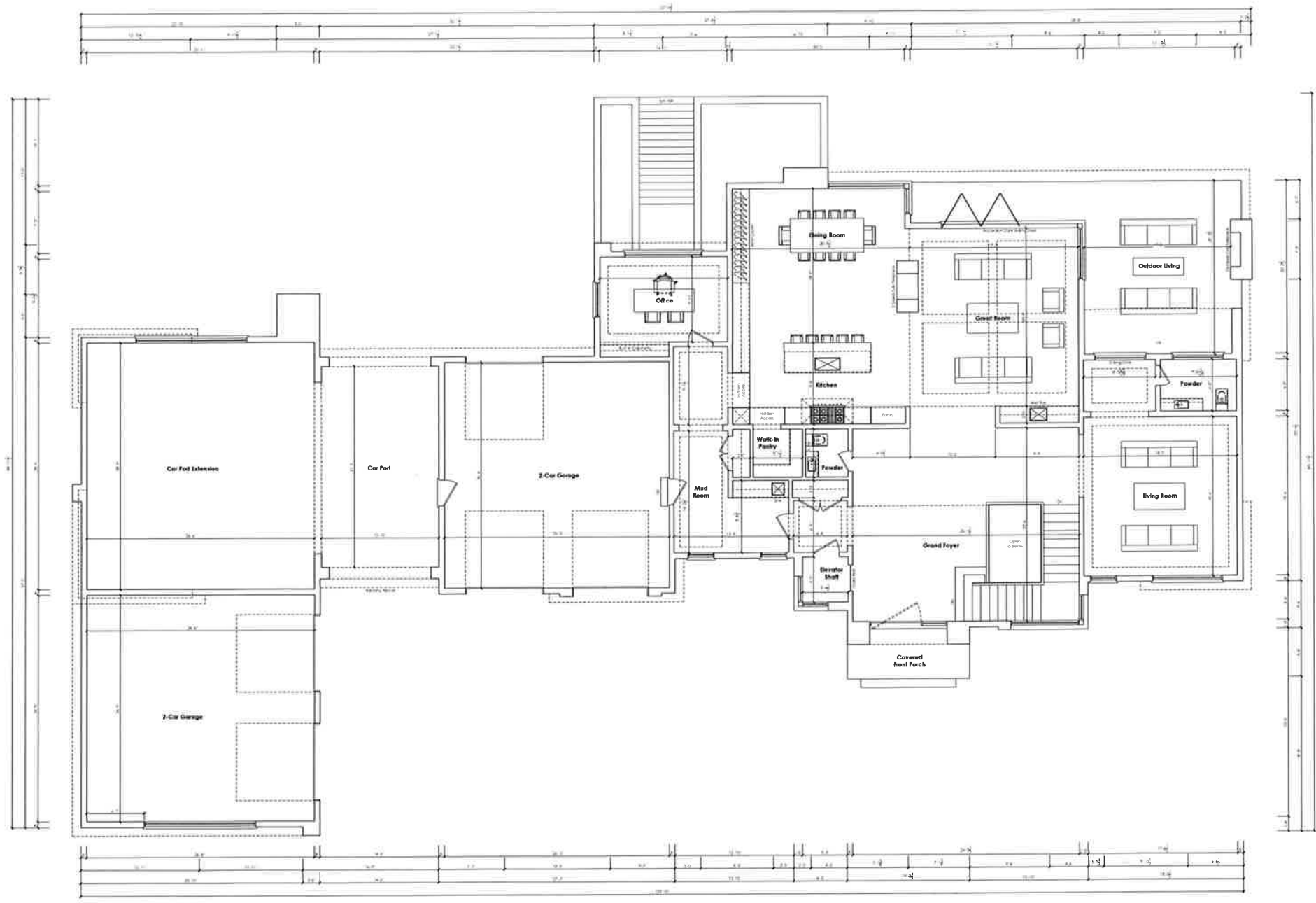
Existing heritage items to be preserved
See Garden Guide

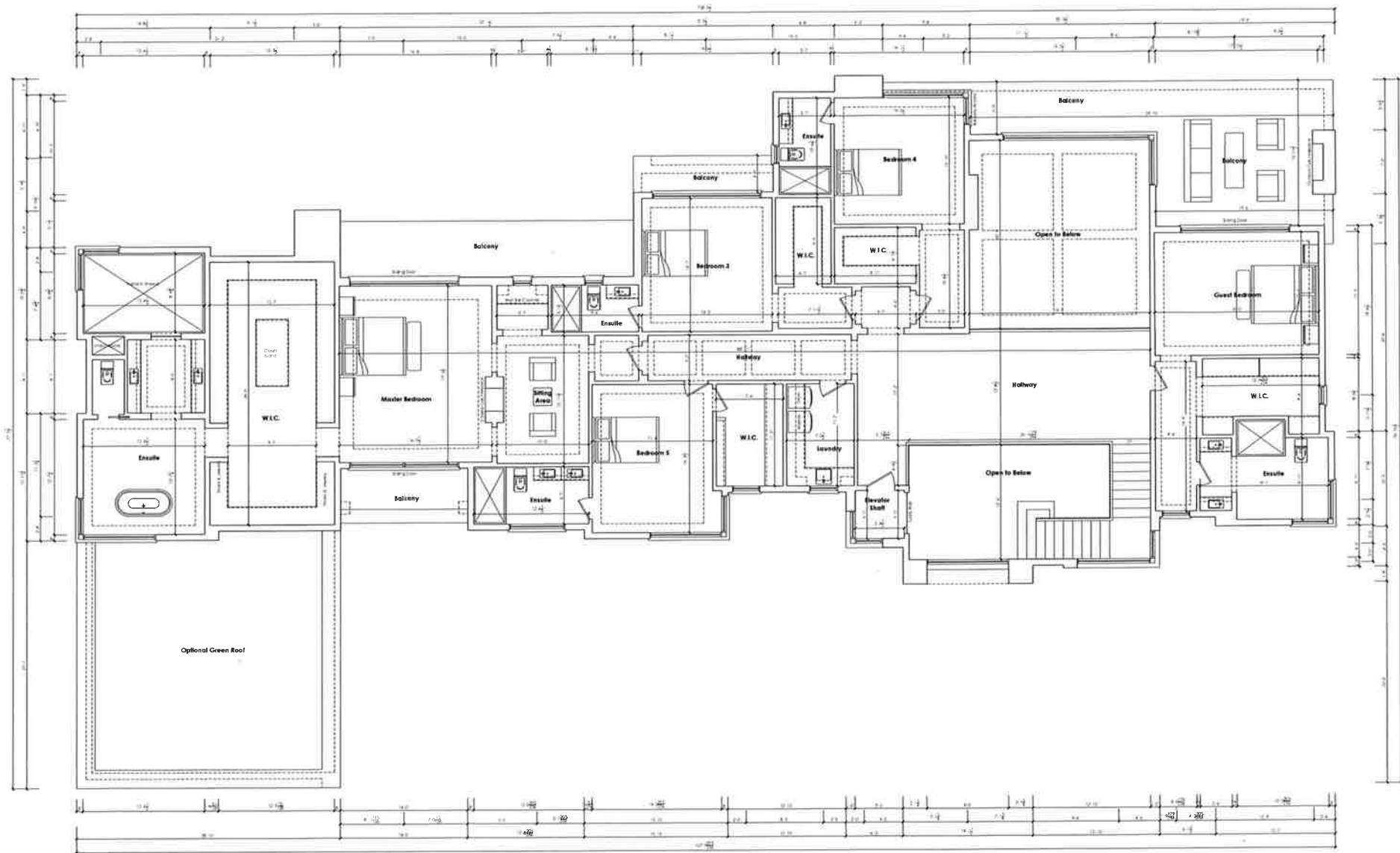


Existing Heritage Roof Plan

Existing heritage items to be preserved
See Garden Guide









Proposed Front Elevation

pemilguys.ca
 1000
 1000
 1000

1000
 1000
 1000
 1000

Proposed Front Elevation

12 Rosengarden Dr
 1000
 1000

1000
 1000

A6



Proposed Rear Elevation

permitguys.ca

12 Rosagarden Dr
 Brampton, ON L6Y 4R8
 905.874.8888
 permitguys.ca

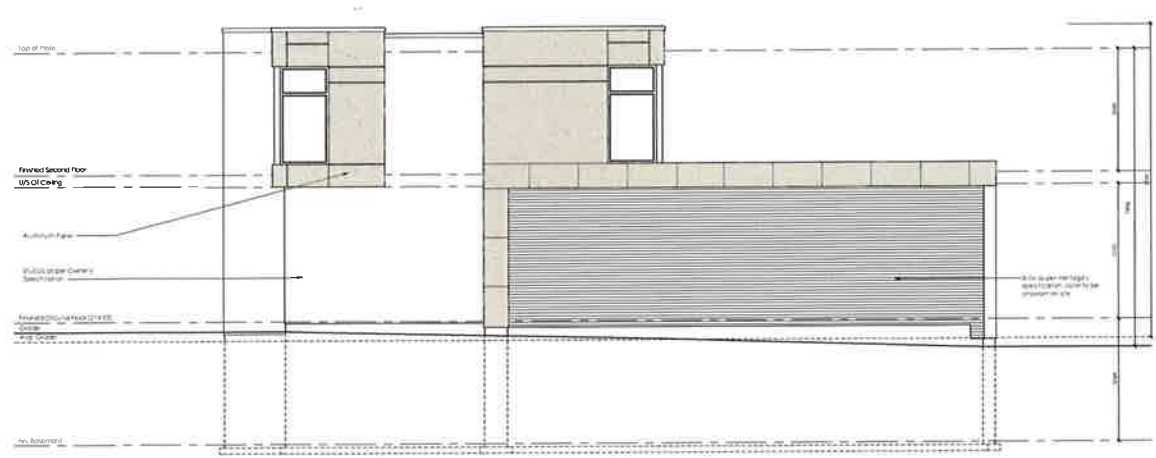
Proposed Rear Elevation

12 Rosagarden Dr

Brampton, ON L6Y 4R8

permitguys.ca

A9



Proposed Left Elevation

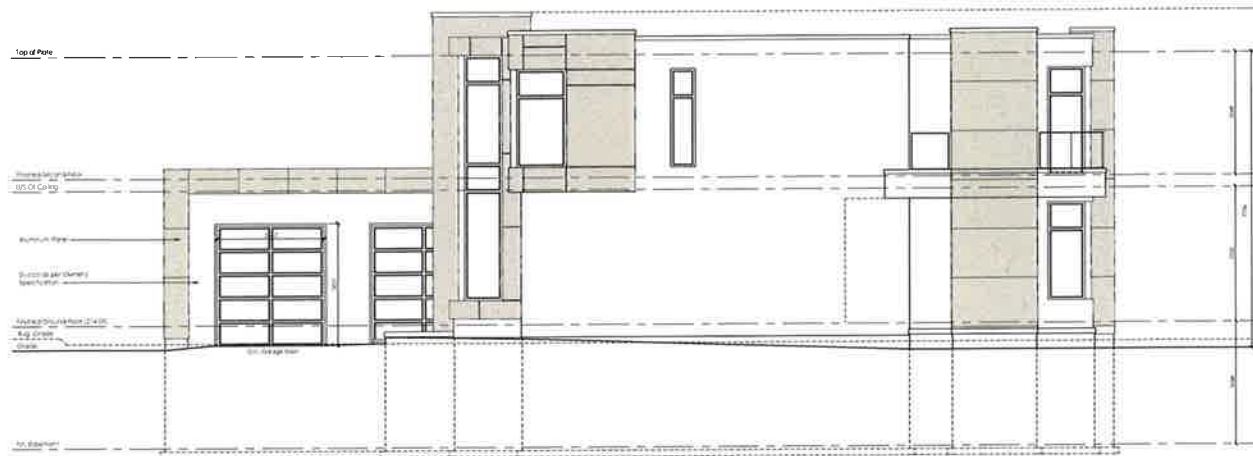
permitguys.ca
 100-1000
 100-1000
 100-1000

100-1000
 100-1000
 100-1000
 100-1000

Proposed Right Elevation

12 Rosegarden Dr
 100-1000
 100-1000

A10



Proposed Right Elevation

permilguys.ca

12 Rosegarden Dr
 Unit 101
 Burnaby, BC V5A 1K6
 Tel: 604-291-1111
 Fax: 604-291-1112
 Email: info@permilguys.ca

Proposed Right Elevation

12 Rosegarden Dr

Unit 101
 Burnaby, BC V5A 1K6
 Tel: 604-291-1111
 Fax: 604-291-1112
 Email: info@permilguys.ca

Bumpkin

A11

Sewage System Design



Owner Name:	Aman Sandhu
Project Address:	12 Rosegarden Dr, Brampton
Allto Project Number:	S22-143
Date:	16-Nov-22
Designed By:	N. Acchione
Checked By:	NA

Dwelling Details:

Total # of bedrooms	5
Total m ² of dwelling (m ²)	640 m ²
Total # of fixture units	70 fu
'T' time provided by CMT Engineering Inc.	T > 50

Daily Design (Q) Flow for Residential Occupancy (8.2.1.3.A):

5 bedroom dwelling	2,500	l/day
--------------------	-------	-------

Additional Flow Calculations For:

- | | | | | |
|----|----|---|-------|-------|
| 1) | | each bedroom over 5 = 500 l/day = | 0 | l/day |
| | | Total daily "Q" based on # of bedrooms = | 2,500 | l/day |
| 2) | a) | each 10m ² from 200m ² -400m ² = 100 l/day = | 2,000 | l/day |
| | b) | each 10m ² from 400m ² -600m ² = 75 l/day = | 1,500 | l/day |
| | c) | each 10m ² over 600m ² = 50L/Day = | 200 | l/day |
| | | Total additional flow from m ² = | 3,700 | l/day |
| | | Total Daily "Q" Based on m ² = | 6,200 | l/day |
| 3) | | each fixture unit over 20 fixture units = 50 l/day = | 50 | l/day |
| | | Total additional flow from fixtures units over 20 = | 2,500 | l/day |
| | | Total Daily "Q" Based on Fixture Units = | 5,000 | l/day |

Total Daily Design "Q"	6,200	l/day
-------------------------------	--------------	--------------

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Qualification Information:

(Required unless design is exempt under 3.2.4.1 of the OBC)

Nick Acchione		110044
Name	Signature	BCIN#

Registration Information:

(Design is exempt under 3.2.4 of Division C of the OBC)

Allto Construction Ltd.	17183
Firm Name	BCIN#

Septic Tank Sizing:

Type	"Q"	Multiplier	Septic Tank Size (L)
Residential	6,200	2	12,400

Type A Dispersal Beds:

Area of stone if $Q > 3000L = Q/50 =$	124.00	m ²
Designed at	140.00	m ²
Area of sand if $T > 15 \text{ min/cm} = QT/400 =$	775.00	m ²
Designed at	875.00	m ²

Septic Design Brief:

We propose to install a new Anaerobic Digester Model, AD-13500 concrete tank that gravity flows to a concrete pump chamber model PT-7480. PT-7480 will time dose to a Waterloo Biofilter Model BA70 basket treatment system, housed in a BT-18000 concrete tank. The basket treatment unit is then pumped to a Type 'A' Dispersal Bed.

We further propose to install a Type 'A' Dispersal Bed with a contact area of 875m² (> 775m²) complete with a minimum 15m mantle, stone area of 140m² (> 124m²) and nine (9) PVC runs that are 14m in length and 75mm in diameter. The runs will be complete with a double header, tied ends and filter cloth as required. Distribution pipes to be detectable by means of 15M rebar at the outside corners and to meet all set back requirements laid out by the Ontario Building Code.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Qualification Information:
(Required unless design is exempt under 3.2.4.1 of the OBC)

Nick Acchione		110044
Name	Signature	BCIN#

Registration Information:
(Design is exempt under 3.2.4 of Division C of the OBC)

Allto Construction Ltd.	17183
Firm Name	BCIN#

T = 250
 Design Calculations

12 Rosegarden Dr, Brampton
 S22-143

TOTAL BEDROOMS	<u>5</u>	<u>250</u>
----------------	----------	------------

Base Daily Flow Amount

Largest of Column will be added to the Base Rate

Additional over 5----->

Each bedroom over 5, 500 L per bedroom.

FIXTURE UNITS Total # Load TOTAL

BATHROOM GROUP 7 6 42

consisting of one domestic-type lavatory or 2 single with common trap, one water closet and either one bathtub, or one shower.

ADDITIONAL INDIVIDUAL ITEMS

BATHTUB		<u>1</u>	1.5	<u>1.5</u>
TOILET		<u>2</u>	4	<u>8</u>
URINAL			1.5	
SINK		<u>2</u>	1.5	<u>3</u>
LAVATORY		<u>5</u>	1.5	<u>7.5</u>
BIDET			1	
FLOOR DRAIN	<u>24</u>	<u>1</u>	2	<u>2</u>
KITCHEN SINK		<u>2</u>	1.5	<u>3</u>
DISHWASHER		<u>2</u>	1.5	<u>3</u>
LAUNDRY TUB		<u>1</u>	1.5	<u>1.5</u>
CLOTHES WASHER		<u>1</u>	1.5	<u>1.5</u>
GARBAGE GRINDER			3	
FIXTURE UNIT		TOTAL		<u>70</u>

<-- with or without shower head

wall mount

<-- No load if connected to a domestic sink.

Additional over 20 50 250

Each additional fixture unit over 20, add 50L

| Total Living Space (Excluding Basement)

| Total m2 440 > 200 3700

Each 10m2 over 200 upto 400, 100 L per 10m2.

BASE	<u>2500</u>	Taken from bedroom total
Additional	<u>3700</u>	<-- Largest of column F

Q = 6200 <-- Maximum Daily Flow Potential of Residence.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Qualification Information:
 (Required unless design is exempt under 3.2.4.1 of the OBC)

Nick Acchione [Signature] 110044
 Name Signature BCIN#

Registration Information:
 (Design is exempt under 3.2.4 of Division C of the OBC)

Alto Construction Ltd. 17183
 Firm Name BCIN#



CMT Engineering Inc.
1011 Industrial Crescent, Unit 1
St. Clements, Ontario N0B 2M0
Tel: 519-699-5775
Fax: 519-699-4664
www.cmtinc.net

November 1, 2022

21-424.R113

Allto Construction
1-23 Robb Boulevard
Orangeville, Ontario
L9W 3L1

Attn: Mr. Larry Acchione

Dear Sir:

**Re: Laboratory Test Results
Grain Size Analysis and T-Time Determination
12 Rosegarden Drive, Brampton, Ontario**

As requested, CMT Engineering Inc. (CMT Inc.) has performed a gradation analysis on a sample obtained from the above-referenced site and submitted to the CMT Inc. laboratory in St. Clements, Ontario on October 26, 2022.

The sample can be classified as ML using the Unified Soil Classification System. The corresponding soil percolation rate, as referenced to Section 6 of the Supplementary Guidelines to the Ontario Building Code 2012 (amended in 2019), would be $T > 50$ min/cm. The grain size analysis is attached (Figure 1).

It should be noted that these test results are based on a single sample delivered to our laboratory and do not constitute as a guarantee for the entire site. Additional test samples should be obtained and tested if there is a variation observed at any time.

We trust this information meets with your present requirements. Should you have any questions, please do not hesitate to contact our office.

Yours very truly,

A handwritten signature in blue ink, appearing to read 'Tony Smith', is written over a circular stamp.

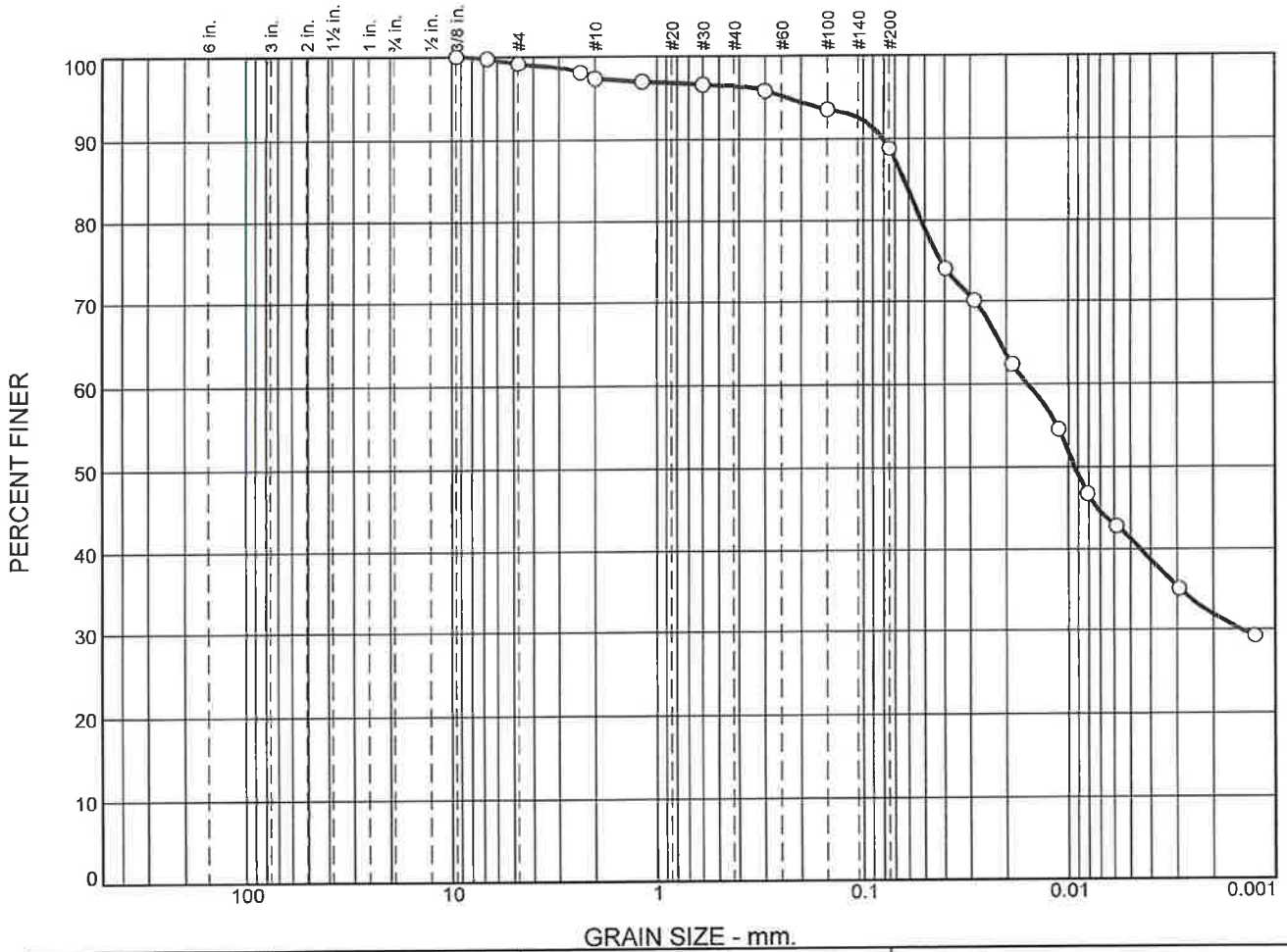
Tony Smith, C. Tech.
Laboratory Manager



Nathan Chortos, P. Eng.

Encl. Grain Size Analysis

Particle Size Distribution Report



	% Cobbles	% Gravel		% Sand			% Fines	
		Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
○	0.0	0.0	0.8	1.8	1.0	7.6	56.9	31.9

SOIL DATA					
SYMBOL	SOURCE	SAMPLE NO.	DEPTH (ft.)	Material Description	USCS
○	Client	1		12 Rosegarden Drive, Brampton, Ontario	ML
				clayey silt, trace sand and gravel	
				Estimated Percolation Rate; T > 50 min/cm	
				Sample received in Lab October 26, 2022	
				Tested by JM of CMT Engineering Inc. October 27, 2022	

<p>CMT Engineering Inc.</p> <p>St. Clements, ON</p>	<p>Client: Allto Construction</p> <p>Project: Miscellaneous Laboratory Testing</p> <p>Project No.: 21-424</p> <p style="text-align: right;">Figure 1</p>
---	--

METRIC
 NOTES SHOWN ON THIS PLAN ARE
 METRES AND CAN BE CONVERTED
 TO FEET BY DIVIDING BY 0.3048

The undersigned has reviewed and takes responsibility for the
 design and construction of the works shown on this plan
 set out in the Ontario Building Code to be a designer

Qualification information:
 (Registered areas design as per 3.2.1.1 of the OBC)

Mr. Nicholas [Signature] 10044
 Designer

Registration information:
 (Design is issued under 3.2.4 of Division C of the OBC)

ABN Construction Ltd. 2783
 Firm Name

Sheet 4
 PLAN 10044-1004
 SUBJECT TO AN EARLIER
 AS IN WORKSHEETS
 100427, 100428

EXISTING GRADES TO REMAIN

EXISTING CONC. SEPTIC TANKS TO BE
 PUMPED OUT AND DECOMMISSIONED

EXISTING TUB BED TO BE
 REMOVED BY EXCAVATING
 CONCRETE AS REQUIRED

EXISTING CONCRETE TANKS TO BE
 PUMPED OUT AND DECOMMISSIONED

EXISTING TUB BED TO BE
 REMOVED BY EXCAVATING
 CONCRETE AS REQUIRED

PROPOSED SEPTIC TANK UNITS SEE
 DRAWING S-3 FOR DETAILS

PROPOSED TYPE 'A' DISPOSAL BED
 SEE DRAWINGS S-3, S-4 FOR DETAILS

EXISTING GRADES TO REMAIN

4" SUB 35 SAND/STONE GRADE
 WITH TYPED WATER CONNECTION
 TO GARDEN SLUICE

ERVIDE CLEANOUT AT EVERY
 21'

PART OF EXISTING
 2 STOREY BRICK
 DWELLING TO
 REMAIN
 #12

NEW CAR
 PORT
 EXTENSION

NEW CAR
 PORT

GARAGE

NEW BASEMENT
 WALKOUT

NEW 2 STOREY
 DWELLING

F.F. = 21.20
 T.F.W. =
 B.S.F. =
 U.S.F. =
 NEW 13mm
 W/ 45 PER
 R.O. STP 1.2

NEW COVID
 PORCH

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

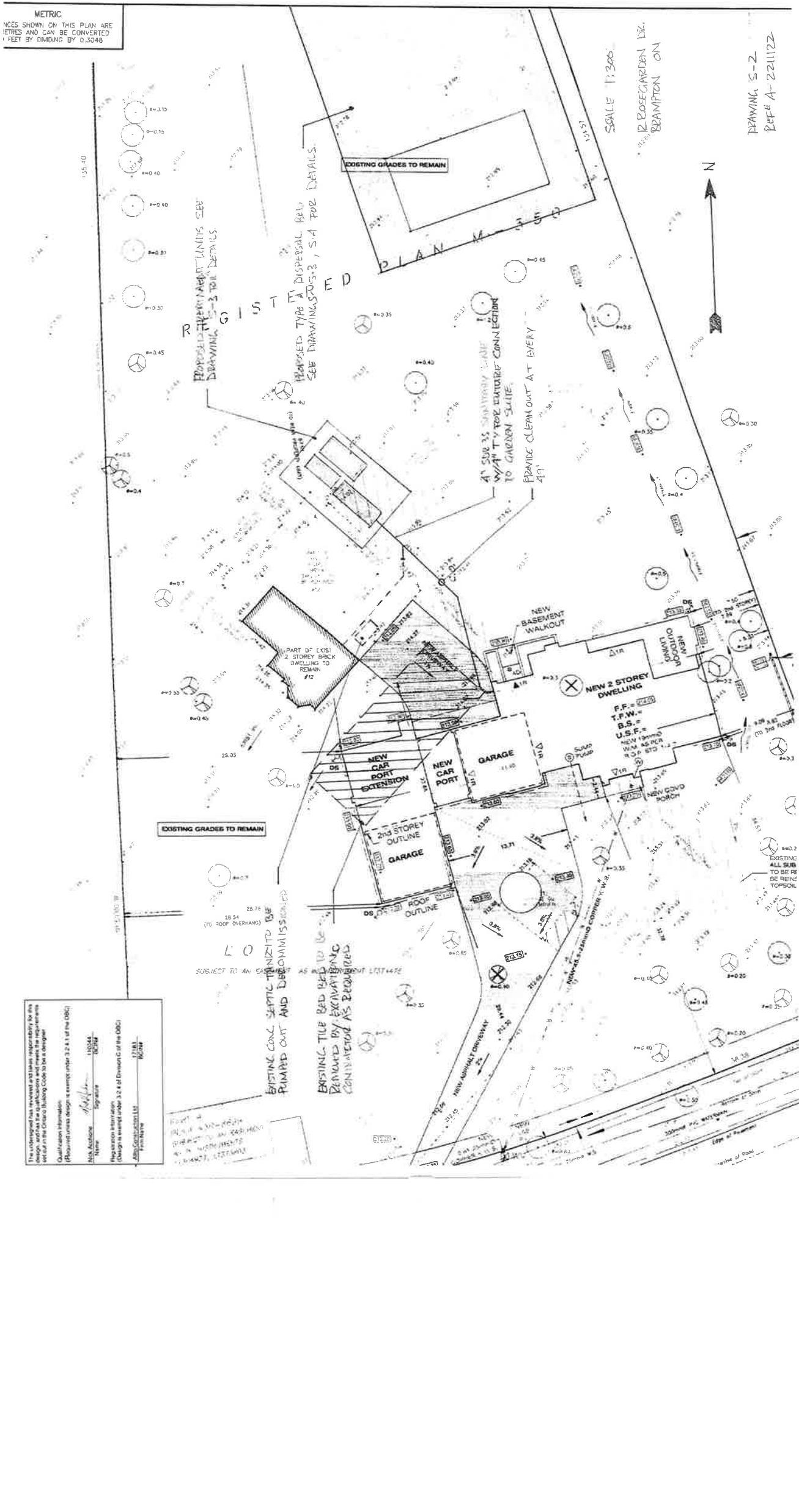
NEW 6x6x6 CONCRETE X-WALK

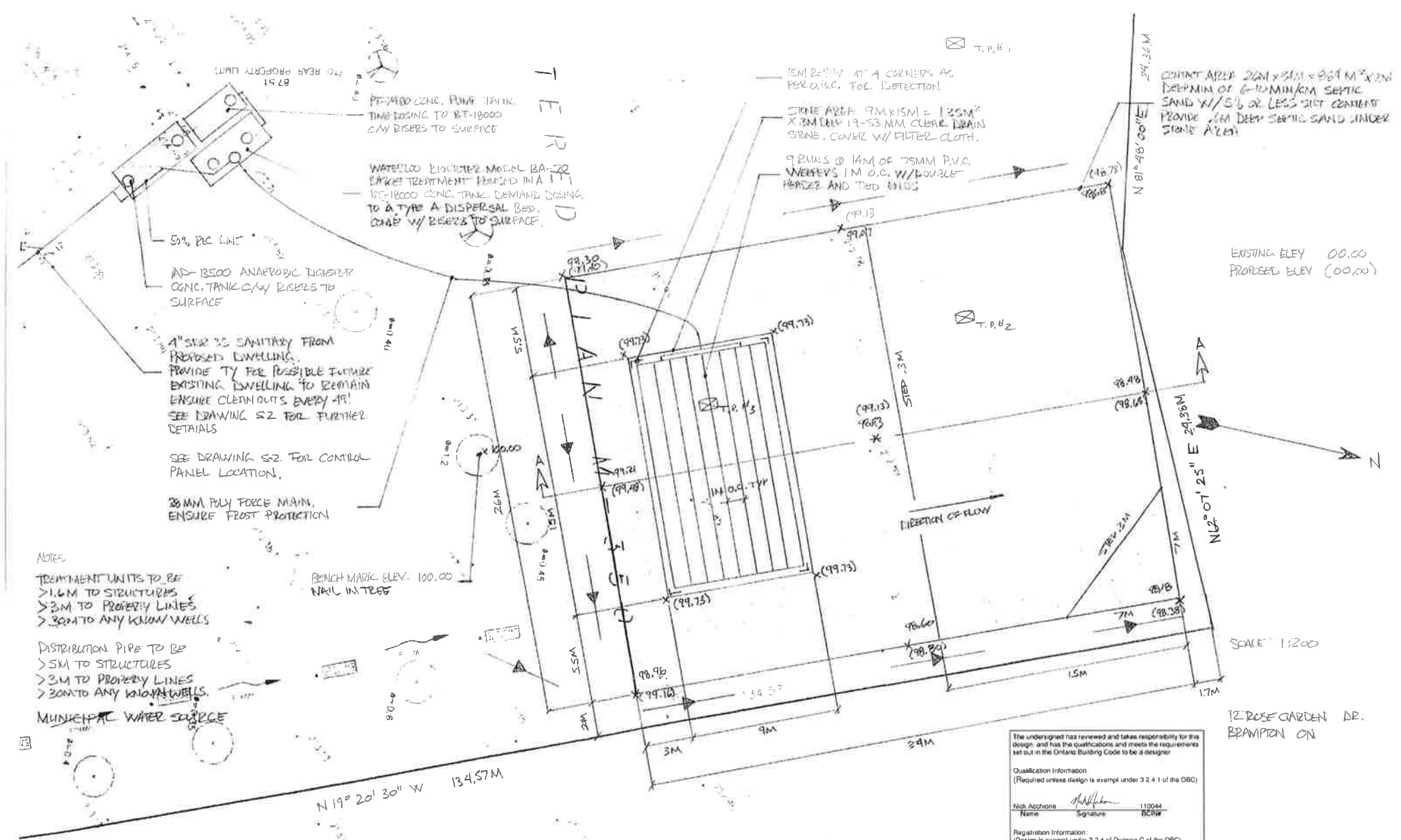
NEW 6x6x6 CONCRETE X-WALK

NEW 6x6x6 CONCRETE X-WALK

SCALE 1:300
 12 ROSEGARDEN DR.
 BRAMPTON ON

DRAWING S-2
 REF# A-221122





NOTES

TREATMENT UNITS TO BE
> 1.6M TO STRUCTURES
> 3M TO PROPERTY LINES
> 30M TO ANY KNOWN WELLS

DISTRIBUTION PIPE TO BE
> 5M TO STRUCTURES
> 3M TO PROPERTY LINES
> 30M TO ANY KNOWN WELLS.

MUNICIPAL WATER SOURCE

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

Qualification Information
(Required unless design is exempt under 3.2.4.1 of the OBC)

Nick Acchione *Nick Acchione* 110044
Name Signature BCIN

Registration Information
(Design is exempt under 3.2.4 of Division C of the OBC)

Atta Construction Ltd 1718
Firm Name BCIN

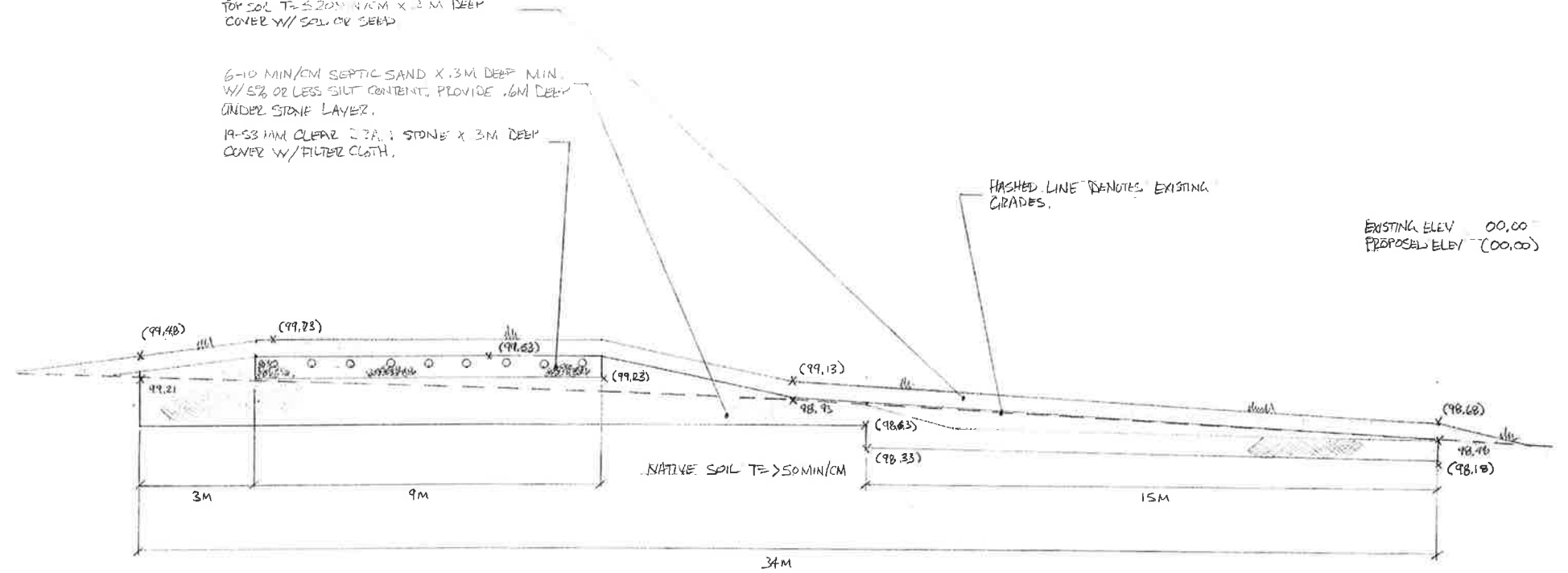
TOP SOIL \approx 5.20M W/CM X 0.3M DEEP
COVER W/ SOIL OR SEED

6-10 MIN/CM SEPTIC SAND X 0.3M DEEP MIN.
W/ 5% OR LESS SILT CONTENT. PROVIDE 0.6M DEEP
UNDER STONE LAYER.

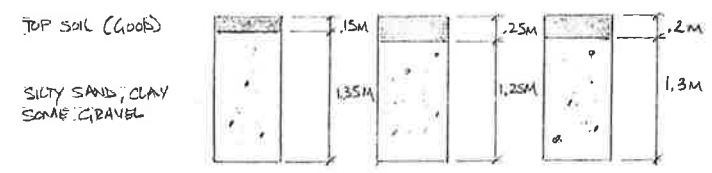
19-53 MM CLEAR 2.3% STONE X 0.3M DEEP
COVER W/ FILTER CLOTH.

DASHED LINE DENOTES EXISTING
GRADES.

EXISTING ELEV 00.00
PROPOSED ELEV (00.00)



CROSS SECTION AA



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Qualification information:
(Required unless design is exempt under 3.2.4.1 of the OBC)

Nick Acchione
Name Signature 110044 BCIN#

Registration Information:
(Design is exempt under 3.2.4 of Division C of the OBC)

Alto Construction Ltd.
Firm Name 17183 BCIN#

SCALE
HORIZONTAL 1:100
VERTICAL 1:50

12 ROSEGARDEN DR.
BRAMPTON ON

DRAWING S-4
REF # A-221122

A-2023-0111

