

APPLICATION # A-2022-0264
WARD 4

DEFERRED APPLICATION FOR MINOR VARIANCE

WHEREAS an **amended** application for minor variance has been made by **GURPREET UBHI AND KULJEET UBHI** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 5, Concession 4 WHS from the land municipally known as **8884 CREDITVIEW ROAD**, Brampton;

AND WHEREAS the applicants are proposing construction of a 2 storey dwelling and are requesting the following variance(s):

1. To permit interior side yard setbacks of 2.95m (8.73 ft.) and 2.60 (8.53 ft.) whereas the by-law requires a minimum interior side yard setback of 7.5m (24.60 ft.);

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ NO _____ File Number: _____
Application for Consent: _____ NO _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, May 30, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

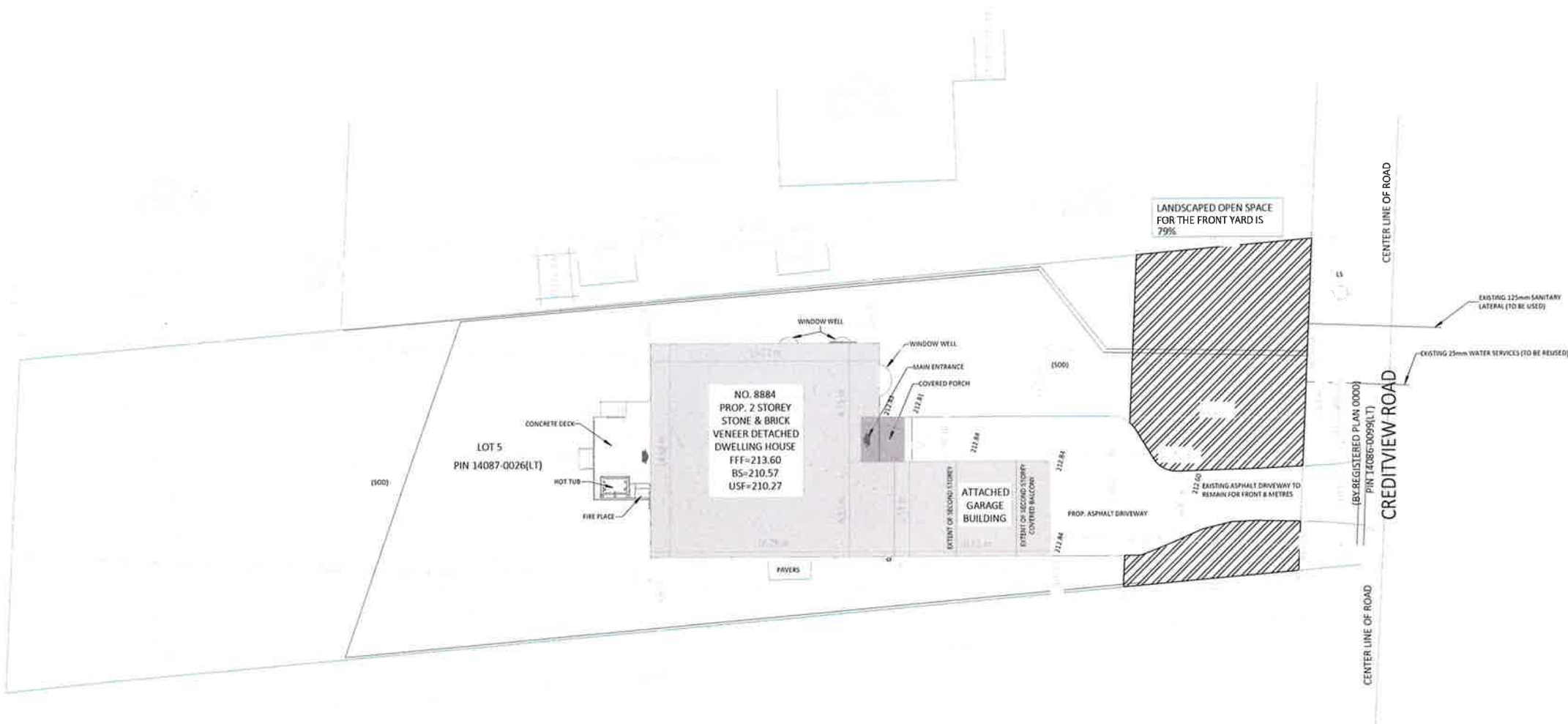
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 18th Day of May, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



LOT 5
PIN 14087-0026(LT)

NO. 8884
PROP. 2 STOREY
STONE & BRICK
VENEER DETACHED
DWELLING HOUSE
FFF=213.60
BS=210.57
USF=210.27

ATTACHED
GARAGE
BUILDING
EXTERIOR OF SECOND STOREY
COVERED BALCONY

LANDSCAPED OPEN SPACE
FOR THE FRONT YARD IS
79%

CENTER LINE OF ROAD

CREDITVIEW ROAD

CENTER LINE OF ROAD

(BY REGISTERED PLAN 0000)
PIN 14086-0099(LT)

EXISTING 125mm SANITARY
LATERAL (TO BE USED)

EXISTING 25mm WATER SERVICES (TO BE REUSED)

(500)

(500)

PROP. ASPHALT DRIVEWAY

EXISTING ASPHALT DRIVEWAY TO
REMAIN FOR FRONT 8 METRES

PAVERS

CONCRETE DECK

HOT TUB

FIRE PLACE

WINDOW WELL

WINDOW WELL

MAIN ENTRANCE

COVERED PORCH

212.84

212.84

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Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 30, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 25, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 25, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk’s Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party’s participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City’s website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



www.antaradesign.ca

Call: 416-602-9367

Queensway East, Unit # 210, Mississauga ON L5A 4B4
elen@antaradesign.ca

Cover letter

Request Date: May 09, 2023

Hearing Date: May 30, 2023

File: A-2022-0264

Owner/ Applicant: GURPREET UBHI AND KULJEET UBHI

Address: 8884 Creditview Road

Ward: WARD 4

Contact: Simran Sandhu, Planner I

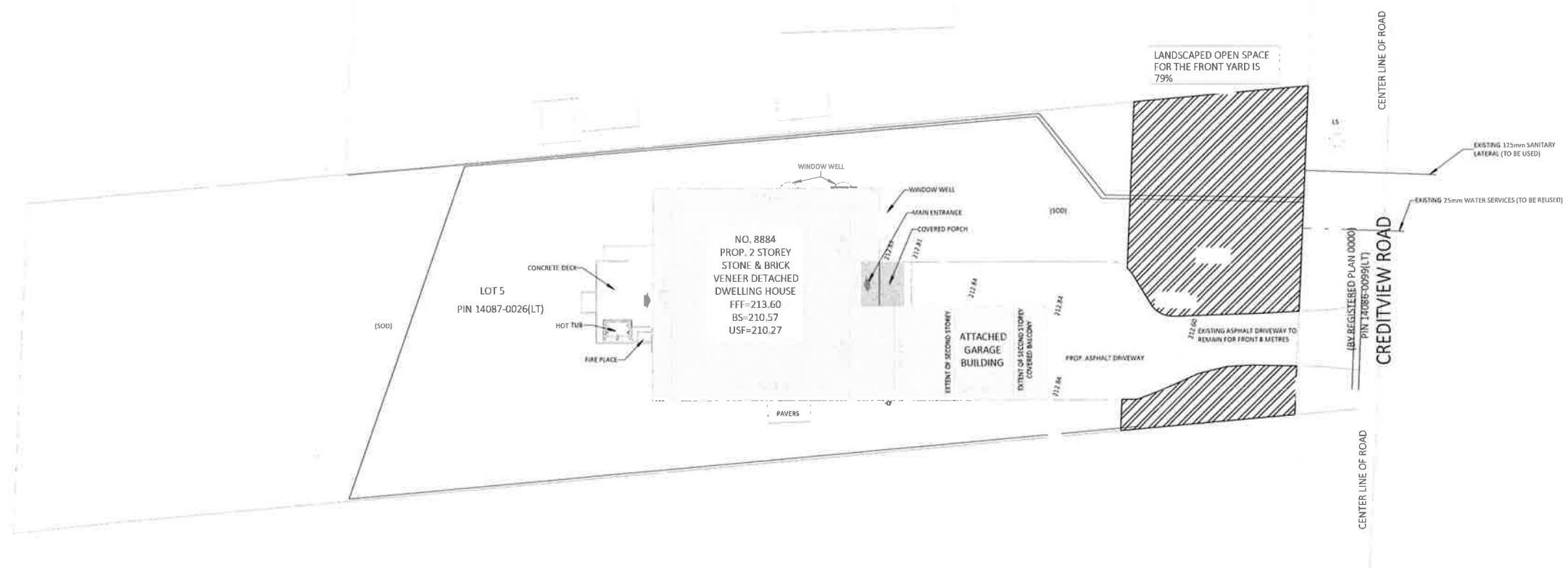
I am the applicant Elen Abunahla request to the Committee to ~~defer~~ the application A-2022-0264 amendment

The revised minor variance are as follows:

- To permit an interior side yard setback of 2.95 m to the north and 2.6 m to the south, whereas the by-law requires a minimum interior side yard setback of 7.5 m.

Note : No variance required for landscaped open space as they are now providing 79% and the required is 70%.

Elen Abunahla will be attending the meeting.



LOT 5
PIN 14087-0026(LT)

NO. 8884
PROP. 2 STOREY
STONE & BRICK
VENEER DETACHED
DWELLING HOUSE
FFF=213.60
BS=210.57
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EXTENT OF SECOND STOREY
ATTACHED GARAGE BUILDING
EXTENT OF SECOND STOREY
COVERED BALCONY

LANDSCAPED OPEN SPACE
FOR THE FRONT YARD IS
79%

(BY REGISTERED PLAN 0000)
PIN 14086700995(LT)

CREDITVIEW ROAD

CENTER LINE OF ROAD

CENTER LINE OF ROAD

EXISTING 125mm SANITARY
LATERAL (TO BE USED)

EXISTING 25mm WATER SERVICES (TO BE REUSED)

EXISTING ASPHALT DRIVEWAY TO
REMAIN FOR FRONT 8 METRES

PROP. ASPHALT DRIVEWAY

PAVERS

WINDOW WELL

WINDOW WELL

MAIN ENTRANCE

COVERED PORCH

CONCRETE DECK

HOT TUB

FIRE PLACE

(SOD)

(100)

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212.84

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The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Gurpreet Ubhi , KULJEET UBHI
Address 8884 Creditview RD Brampton, ON L6Y0G4

Phone # 416-737-0544 **Fax #** _____
Email reese@medikaplastics.com

2. **Name of Agent** Elen Abunahla
Address 74 Guelph St Georgetown, ON L7G3Z5

Phone # 416-602-9367 **Fax #** _____
Email elen@antaradesign.ca

3. **Nature and extent of relief applied for (variances requested):**

1. he Proposed Site Plan you are providing an interior side yard setback of 2.66m on one side and 2.89m on the other proposed 2 storey dwelling, whereas the Zoning By-law requires a side yard setback 7.5m

2. To permit 56% of the required front yard to be landscaped open space, whereas the Zoning By-law requires a minimum 70% of the required front yard to be landscaped open space.

4. **Why is it not possible to comply with the provisions of the by-law?**

The Property Width is 22.83m (very Narrow)it will be hard to comply with the zoning and regarding the Landscaping Small area for the front yard to comply with 70% to be landscaped open space.

5. **Legal Description of the subject land: Lot Number** Part of Lot 5, Concession 4 WHs, Part 3, Plan 43R-40144.
Plan Number/Concession Number _____

Municipal Address 8884 Creditview RD Brampton, ON L6Y0G4

6. **Dimension of subject land (in metric units)**
Frontage Frontage 22.83m and 22.88m from the back
Depth 81.80m from left & 89.16m from the right
Area 2016.14m2

7. **Access to the subject land is by:**

Provincial Highway <input type="checkbox"/>	Seasonal Road <input type="checkbox"/>
Municipal Road Maintained All Year <input checked="" type="checkbox"/>	Other Public Road <input type="checkbox"/>
Private Right-of-Way <input type="checkbox"/>	Water <input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area 162.6m²
 Gross Floor Area 162.6m²
 Number of Storeys 1
 Width 11.05m Length 14.72m Height 4.87m
 the existing structure will be demolished.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Ground Floor Area 214.04m Second Floor 241.07m
 Gross Floor Area 455.31 m²
 Number of Storeys 2
 Width 14.68 Length 16.78 house +Garage 10.62 Building Height 9.17m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING the existing structure will be demolished.

Front yard setback 17.41m
 Rear yard setback 51.66m
 Side yard setback 2.02m
 Side yard setback 3.31m from the Garage side and 8.27m from the house

PROPOSED

Front yard setback 13.26m
 Rear yard setback 47.78m
 Side yard setback 2.89m
 Side yard setback 2.66m

10. Date of Acquisition of subject land: March 30, 2022

11. Existing uses of subject property: Residential

12. Proposed uses of subject property: Residential

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 1990

15. Length of time the existing uses of the subject property have been continued: 32 years

16. (a) What water supply is existing/proposed?
 Municipal Other (specify) _____
 Well

- (b) What sewage disposal is/will be provided?
 Municipal Other (specify) _____
 Septic

- (c) What storm drainage system is existing/proposed?
 Sewers Other (specify) _____
 Ditches
 Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Ela
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS Aug 15 DAY OF 10 August, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, GURPREET UBHI, OF THE CITY OF BRAMPTON
IN THE Region OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF _____
Peel THIS 15th DAY OF August, 2022

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024. J.C.M.

Ela
Signature of Applicant or Authorized Agent

Jeanie Myers
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: Agricultural

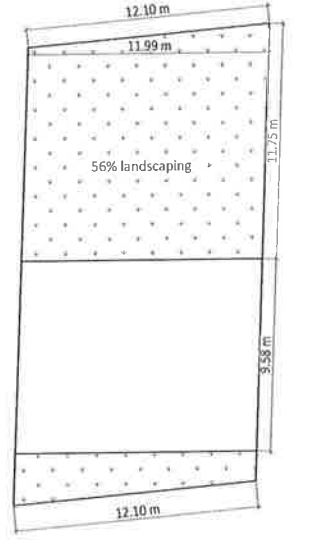
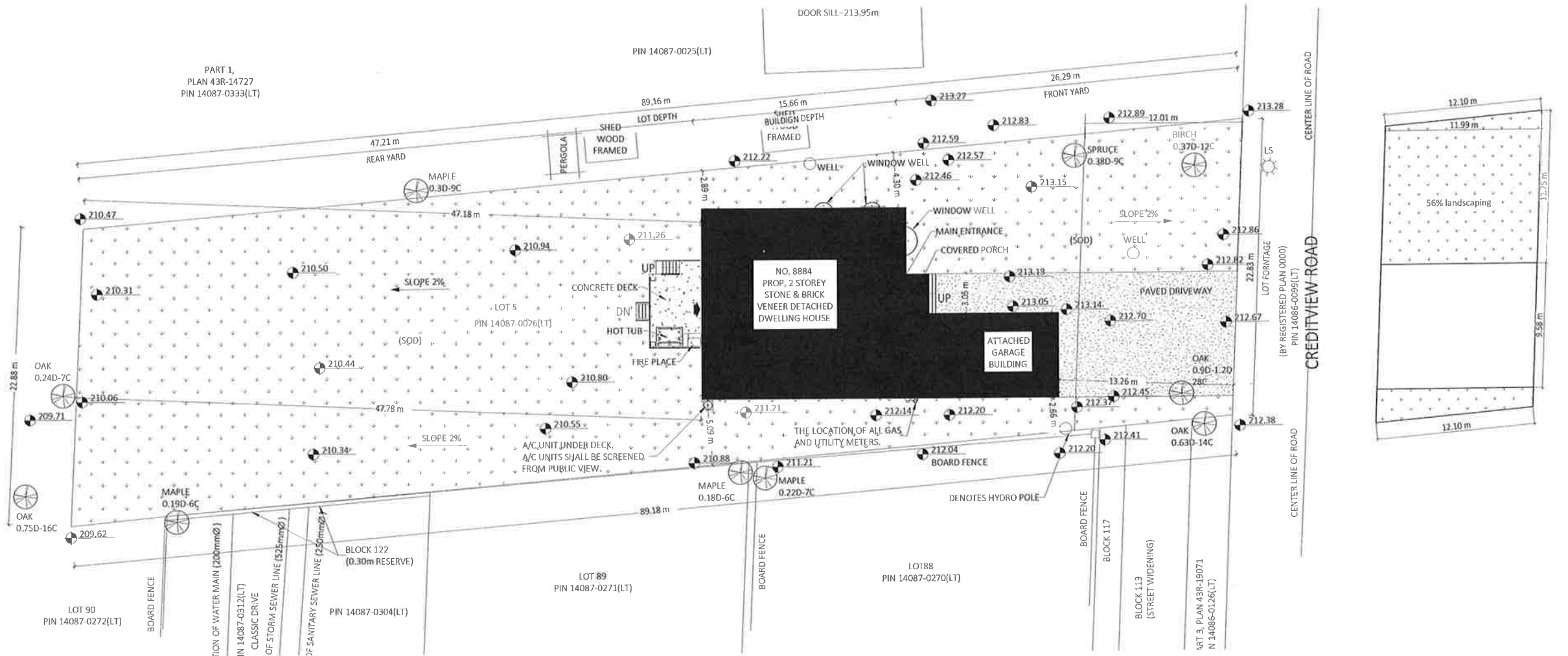
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto
Zoning Officer

August 15, 2022
Date

DATE RECEIVED August 15, 2022
Date Application Deemed Complete by the Municipality _____

PART 1,
PLAN 43R-14727
PIN 14087-0333(LT)



PART 3, PLAN 43R-15071
N 14086-0126(LT)

CREDITVIEW ROAD
CENTER LINE OF ROAD

PIN 14087-0025(LT)

NO. 8884
PROP. 2 STOREY
STONE & BRICK
VENER DETACHED
DWELLING HOUSE

LOT 88
PIN 14087-0270(LT)

LOT 89
PIN 14087-0271(LT)

BLOCK 113
(STREET WIDENING)

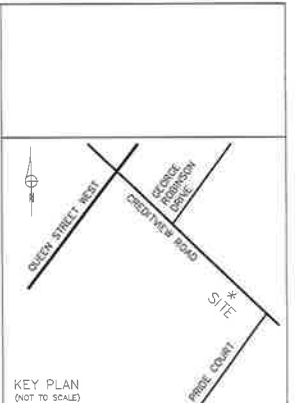
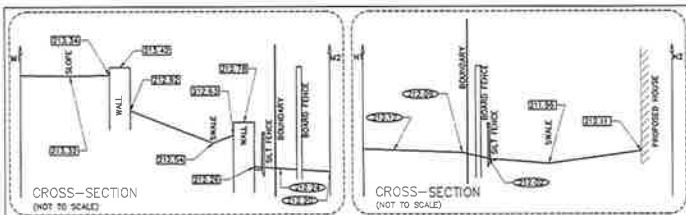
BLOCK 122
(0.30m RESERVE)

PIN 14087-0304(LT)

LOT 90
PIN 14087-0272(LT)

LOT 113
(BY REGISTERED PLAN 0000)
PIN 14086-0095(LT)





EXISTING SANITARY LATERAL PILE. PROPOSED TEST FITTING. DEPTH OF PILE = 200.0 (4') FROM PROPOSED FINISHED FLOOR ELEVATION. (NOT WORK. A GROUND PUMP WILL BE REQUIRED AS PER ONTARIO BUILDING CODE REQUIREMENTS)

CONSTRUCTION STANDARDS AS SET BY REGIONAL MUNICIPALITY OF PEEI:

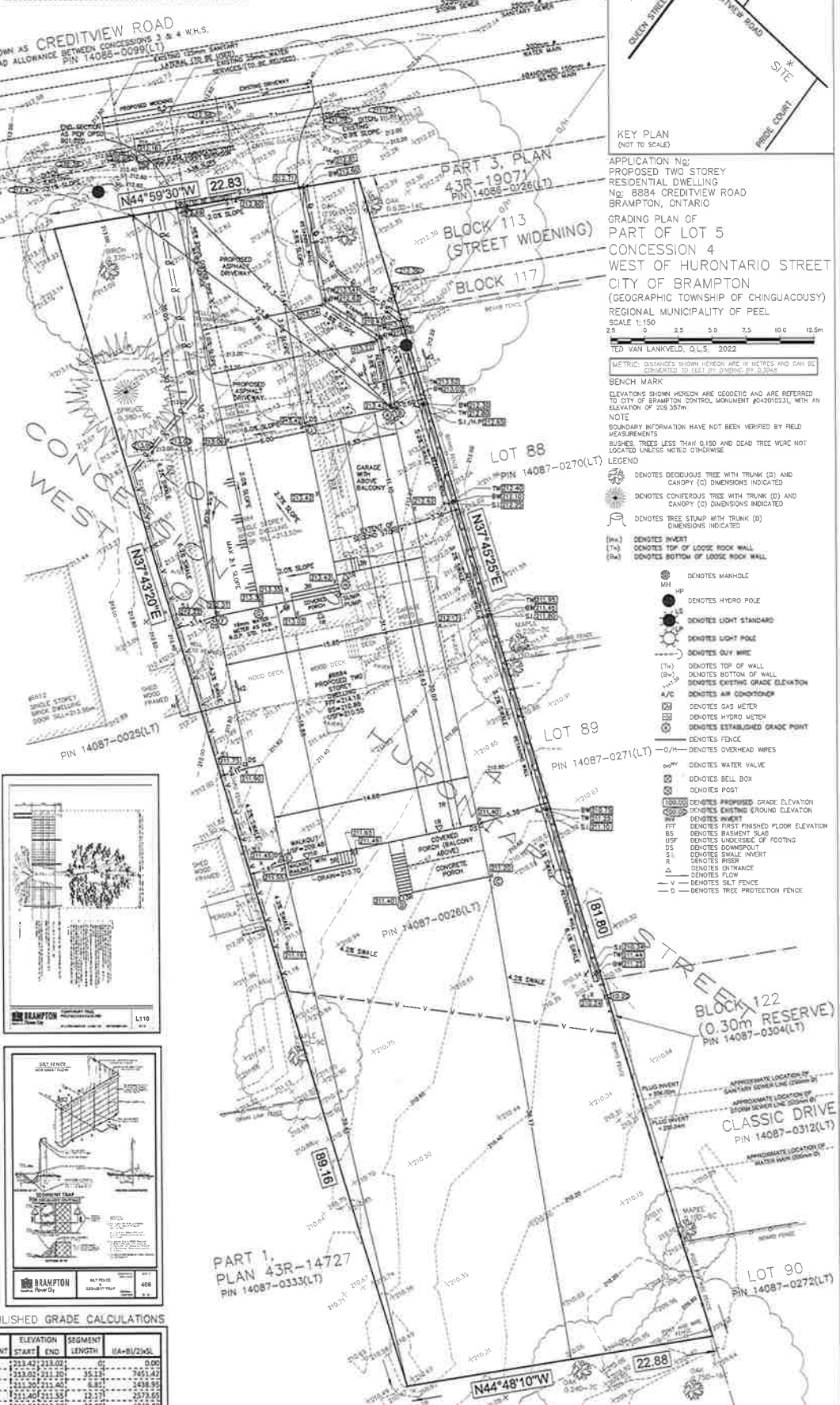
1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CONFORM TO CURRENT PEEI PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. WATERMAIN AND/OR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE PVC SIZE 50 MM (2") AND SHALL NOT BE TYPE K SOFT COPPER ASTM B88-49 STD DWG 1-7-1.
3. WATERMANS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m (5.6') WITH A MINIMUM HORIZONTAL SPACING OF 1.2m (4.0') FROM TRUNKLINES AND OTHER UTILITIES.
4. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50MM (2") OUTLET ON 100MM (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOUSED OR PIPED TO ALLOW THE WATER TO DRAIN INTO A PARKING LOT DRAIN, OR DRAIN, ON PIS. LINES FLUSHING OUTLET TO 100MM (4") DIAMETER OR A HYDRANT.
5. ALL CURB STOPS TO BE 3.0m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
6. HYDRANT AND VALVE SET TO REGION STANDARD 1-4-1 DIMENSION A AND B, 0.7m (2') AND 0.9m (3') AND TO HAVE PUMPER NOZZLE.
7. WATERMANS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
8. WATERMAIN MUST HAVE A MIN. VERTICAL CLEARANCE OF 0.30m (12") OVER OR 0.5m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND COLORANTING FROM EXISTING SYSTEMS.
10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTRACTING THE OPERATIONS AND MAINTENANCE DIVISION.
11. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
12. THE CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION. THE AREA OF HIS WORK, INCLUDING THE PLAN OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
13. THE CONTRACTORS SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING UTILITIES. FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION. THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
14. ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEI STANDARDS 1-7-1 OR 1-7-2.

SITE PLAN NOTES:

1. ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMITY WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION.
2. THE OWNER IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING PLACED AT THE ENTRANCE OF THE TREE IS MAINTAINED THROUGHOUT ALL PHASES OF DEVELOPMENT AND CONSTRUCTION. THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS (IE. BUILDING MATERIALS, SOIL CONSTRUCTION VEHICLES, EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING.
3. SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED PLANNING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
4. THE EXISTING ON-SITE DRAINAGE PATTERN SHALL BE MAINTAINED.
5. GRADES WILL BE WET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
6. ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA.
7. THE APPLICANT WILL BE REQUIRED FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN APPROVAL AND BUILDING PERMIT.
8. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.9m (3.00') IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEERING FOR THE PROJECT.
9. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE OWNER AT THEIR EXPENSE.
10. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
11. ALL PROPOSED CURBING AT THE ENTRANCE TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.
12. CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION.
13. ALL DAMAGED LANDSCAPE AREAS WILL BE RESTORED WITH TOPSOIL AND SOIL FOLLOWING THE CITY OF BRAMPTON'S CITY BOUNDARY. TREES DAMAGED OR REMOVED ARE TO BE REPLACED WITH 70MM CALIBER DECIDUOUS TREES TO THE SATISFACTION OF THE CITY AT THE OWNER'S EXPENSE.
14. ALL EXCESS EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.
15. THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY.

GENERAL NOTES:

1. AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK, AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
2. SIDEWALKS TO BE REMOVED AND REPLACED AS PER OPS/D. 310.010.
3. DOWNSPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS. DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS. DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.
4. LANSI AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 8%.
5. WHERE GRADES IN EXCESS OF 8% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3%. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
6. ALL DISTURBED AREAS MUST BE SEEDED OR SOODED, TOPSOIL TO BE AT LEAST 100MM.
7. THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
8. GRADE DIFFERENCES BETWEEN HOUSING UNITS SHALL BE MINIMIZED, ESPECIALLY WHERE NEW DEVELOPMENTS ADJUT EXISTING DEVELOPMENTS. THE VERTICAL DISTANCE BETWEEN THE GROUND LEVEL AT THE REAR WALL OF HOUSES WHICH BROW OVER EACH OTHER SHALL NOT BE GREATER THAN THAT ACHIEVED BY STRIKING A 2% GRADE BETWEEN THE UNITS.
9. DRIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED.
10. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNCOMPRESSIBLE FILL.
11. WHEREVER POSSIBLE, A 0.5m SEPARATION SHALL BE PROVIDED BETWEEN THE DRIVEWAYS.
12. IN THE EVENT THAT THE GRADING WAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE OWNER OF THAT PROPERTY SHALL BE OBTAINED AND ENDORSED BY THE CITY OF BRAMPTON WORKS AND TRANSPORTATION DEPARTMENT.
13. ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
14. THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE CENTRELINE OF THE DRIVEWAY ROAD SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 8%.
15. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
16. THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.



ESTABLISHED GRADE CALCULATIONS

LINE SEGMENT	ELEVATION START	ELEVATION END	SEGMENT LENGTH (M=B-D)/2%	(A-B)/2%
AB	213.42	213.02	0.00	0.00
BC	213.02	211.20	35.13	745.42
CD	211.20	211.42	8.82	1408.88
DE	211.42	211.52	12.13	2073.95
EF	211.52	211.37	10.00	4240.00
FG	211.37	213.30	3.33	708.74
GH	213.30	213.42	6.51	1386.64
HI	213.42	213.42	11.77	2511.95
IJ	213.42	213.42	6.53	1388.63
TOTALS			102.21	21714.95
			ESTABLISHED GRADE	213.23

DRAINAGE CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF THE PROPOSED TWO STOREY RESIDENTIAL DWELLING LOCATED AT 8884 CREDITVIEW ROAD AND I HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSED TO THE EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES.

DATE: FEBRUARY 02, 2022
 REVIEWED: 2022-02-24

TED VAN LANKVELD
 ONTARIO LAND SURVEYORS
 110 GOLDCREST ROAD
 BRAMBLEA, ONTARIO
 L6S 1M4
 TEL: (905) 792-6641
 EMAIL: VLO-5000@LOOK.COM

KEY PLAN (NOT TO SCALE)
 APPLICATION NO: PROPOSED TWO STOREY RESIDENTIAL DWELLING No. 8884 CREDITVIEW ROAD BRAMPTON, ONTARIO
 GRADING PLAN OF PART OF LOT 5 CONCESSION 4 WEST OF HURONTARIO STREET CITY OF BRAMPTON (GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY) REGIONAL MUNICIPALITY OF PEEI
 SCALE 1:150
 2.5 5 7.5 10.0 12.5m
 TED VAN LANKVELD, O.L.S. 2022

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048
 BENCH MARK
 ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE REFERRED TO CITY OF BRAMPTON CONTROL MONUMENT #042010231 WITH AN ELEVATION OF 203.957m
 NOTE
 BOUNDARY INFORMATION HAVE NOT BEEN VERIFIED BY FIELD MEASUREMENTS. BUSHES, TREES LESS THAN 0.150 AND DEAD TREE WEAR NOT LOCATED UNLESS NOTED OTHERWISE

- LEGEND**
- DENOTES DECIDUOUS TREE WITH TRUNK (C) AND CANOPY (C) DIMENSIONS INDICATED
 - DENOTES CONIFEROUS TREE WITH TRUNK (C) AND CANOPY (C) DIMENSIONS INDICATED
 - DENOTES TREE STUMP WITH TRUNK (C) DIMENSIONS INDICATED
 - (H) DENOTES INVERT
 - (T) DENOTES TOP OF LOOSE ROOF WALL
 - (B) DENOTES BOTTOM OF LOOSE ROOF WALL
 - DENOTES MANHOLE
 - HP DENOTES HYDRO POLE
 - DENOTES LIGHT STANDARD
 - DENOTES LIGHT POLE
 - DENOTES OLV WIRE
 - (T) DENOTES TOP OF WALL
 - (B) DENOTES BOTTOM OF WALL
 - DENOTES EXISTING GRADE ELEVATION
 - A/C DENOTES AIR CONDITIONSHIP
 - DENOTES GAS METER
 - DENOTES HYDRO METER
 - DENOTES ESTABLISHED GRADE POINT
 - DENOTES FENCE
 - DENOTES OVERHEAD WIRES
 - DENOTES WATER VALVE
 - DENOTES BELL BOX
 - DENOTES POST
 - DENOTES FINISHED GRADE ELEVATION
 - DENOTES EXISTING GROUND ELEVATION
 - DENOTES FINISHED FLOOR ELEVATION
 - BS DENOTES BASEMENT SLAB
 - DENOTES LANDSCAPE OF FOOTING
 - DS DENOTES DOWNSPOUT
 - DENOTES SWALE INVERT
 - DENOTES FLOOR
 - DENOTES ENTRANCE
 - DENOTES SLOPE
 - V - DENOTES SLOPE FENCE
 - O - DENOTES TREE PROTECTION FENCE

APPROXIMATE LOCATION OF SANITARY SCREEN LINE (200mm)
 APPROXIMATE LOCATION OF 200mm INVERT LINE (200mm)
 CLASSIC DRIVE
 PIN 14087-0312(LT)

APPROXIMATE LOCATION OF WATER MAIN (100mm)
 PART 1, PLAN 43R-14727
 PIN 14087-0333(LT)

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 FIELD: M.V. LANKVELD, M.V. CHECKED: T.V. JOB No: 21-2516-1
 DWG No: 21-2516-1-PROPOSED GRADING

8884 CREDITVIEW RD, BRAMPTON, ON L6Y 0G4

SHEET LIST	
SHEET NUMBER	SHEET NAME
A0-01	COVER PAGE
A0-02	SURVEY PLAN
A0-03	SITE PLAN EXISTING
A0-04	SITE PLAN PROPOSED
A1-01	BASMENT PROP. PLAN
A1-02	MAIN FLOOR PROP. PLAN
A1-03	2ND FLOOR PROP. PLAN
A1-04	ROOF PROP. PLAN
A2-01	EAST & WEST ELEVATION
A2-02	NORTH & SOUTH ELEVATION
A3-01	SECTION 1 & 2
A3-02	SECTION 3 & 4
A3-05	SCHEDULE & LEGEND

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No.	DATE	ISSUED FOR	APVD
REVISIONS:			



ENGINEER:

CLIENT:

PROJECT NAME:
 NEW CONSTRUCTION

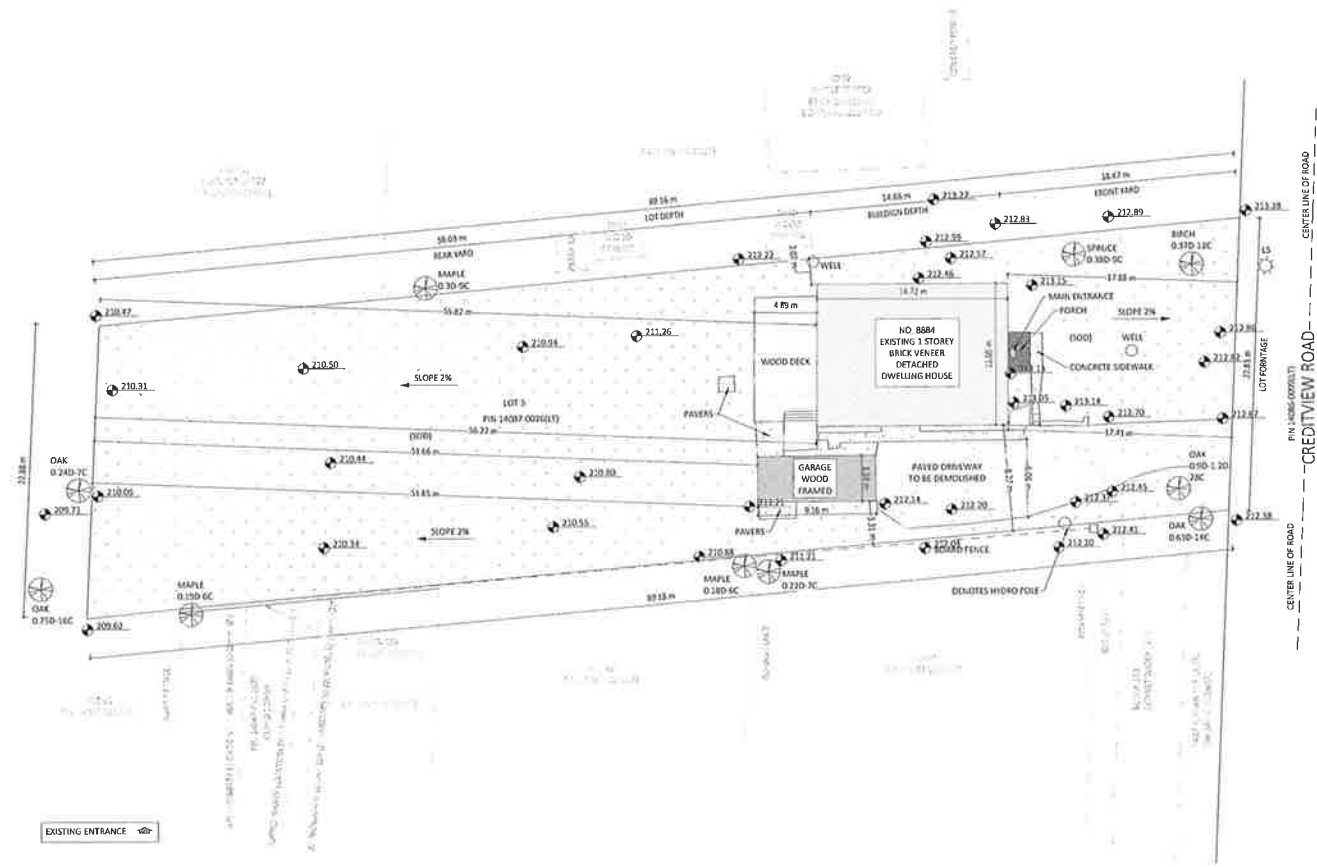
PROJECT ADDRESS:
 8884 CREDITVIEW RD., BRAMPTON, ON L6Y 0G4

SHEET NAME:
 COVER PAGE

DATE:	PROJECT No.:
SCALE:	21-02-10
DRAWN BY: P.FIROZAN	SHEET No.:
CHECKER: Checker	A0-01



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1 SITE - EXISTING
 1:200

NOTE
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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:
 NEW CONSTRUCTION

PROJECT ADDRESS:
 8884 CREDITVIEW RD., BRAMPTON, ON L6Y 0S4

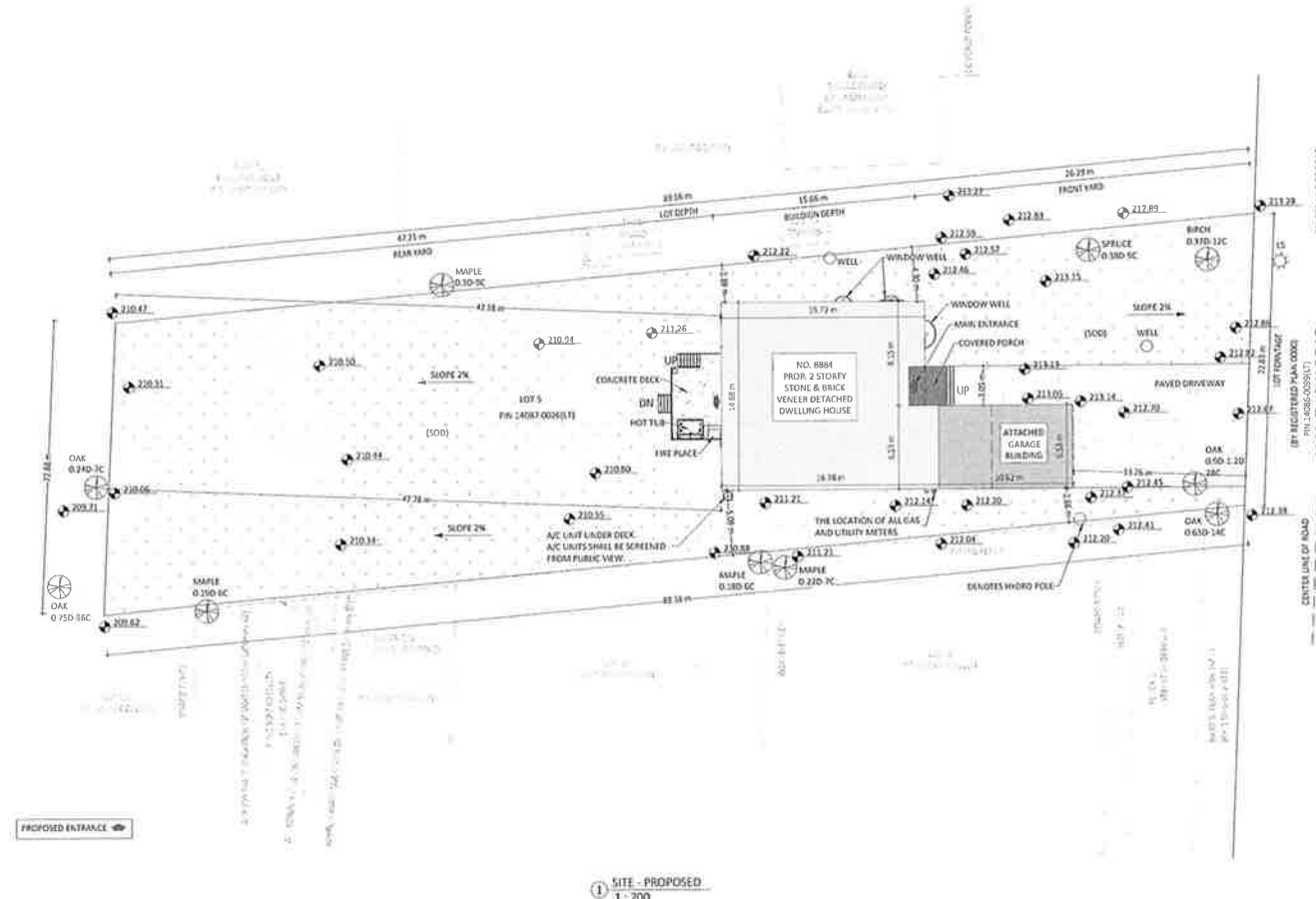
SHEET NAME:
 SITE PLAN EXISTING

DATE:	PROJECT No.:
SCALE: As indicated	21-02-10
DRAWN BY: P. FOROZAN	SHEET No.:
CHECKER: Checker	A0-03



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ZONING INFO						(METRIC)					
LOT AREA:		LOT No.:		LOT FRONTAGE:		SETBACKS:		EXISTING PROPOSED:		ALLOWED	
2016.14		5		22.83		FRONT		17.41		13.26	
GROSS FLOOR AREA:		EXISTING PROPOSED TOTAL		% ALLOWED %		REAR		51.56		47.18	
1 ST FLOOR		214.04				SIDE (N)		2.02		2.89	
2 ND FLOOR		241.27				SIDE (S)		3.81		3.88	
ROOF TOP											
TOTAL GFA		455.31									
LOT COVERAGE		214.16		201.27		819.43		15.84%			



NOTE
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FRONT YARD AREA: 462.21 M²
 PROPOSED DRIVEWAY AREA: 157.58 M²
 PROPOSED PORCH AND STEPS AREA: 19.30 M²
 PROPOSED LAWN AREA: 296.37 M²
 PROPOSED LANDSCAPING PERCENTAGE: 165.84 M²/462.21 M² = 35.87 %
 PROPOSED SOFT LANDSCAPING PERCENTAGE: 296.37 M²/462.21 M² = 64.12 %

REAR YARD AREA: 1083.49 M²
 PROPOSED CONCRETE DECK & STEPS: 27.82 M²
 PROPOSED LAWN AREA: 1055.66 M²
 PROPOSED SOFT LANDSCAPING PERCENTAGE: 1055.66 M²/1083.49 M² = 97.43 %

No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

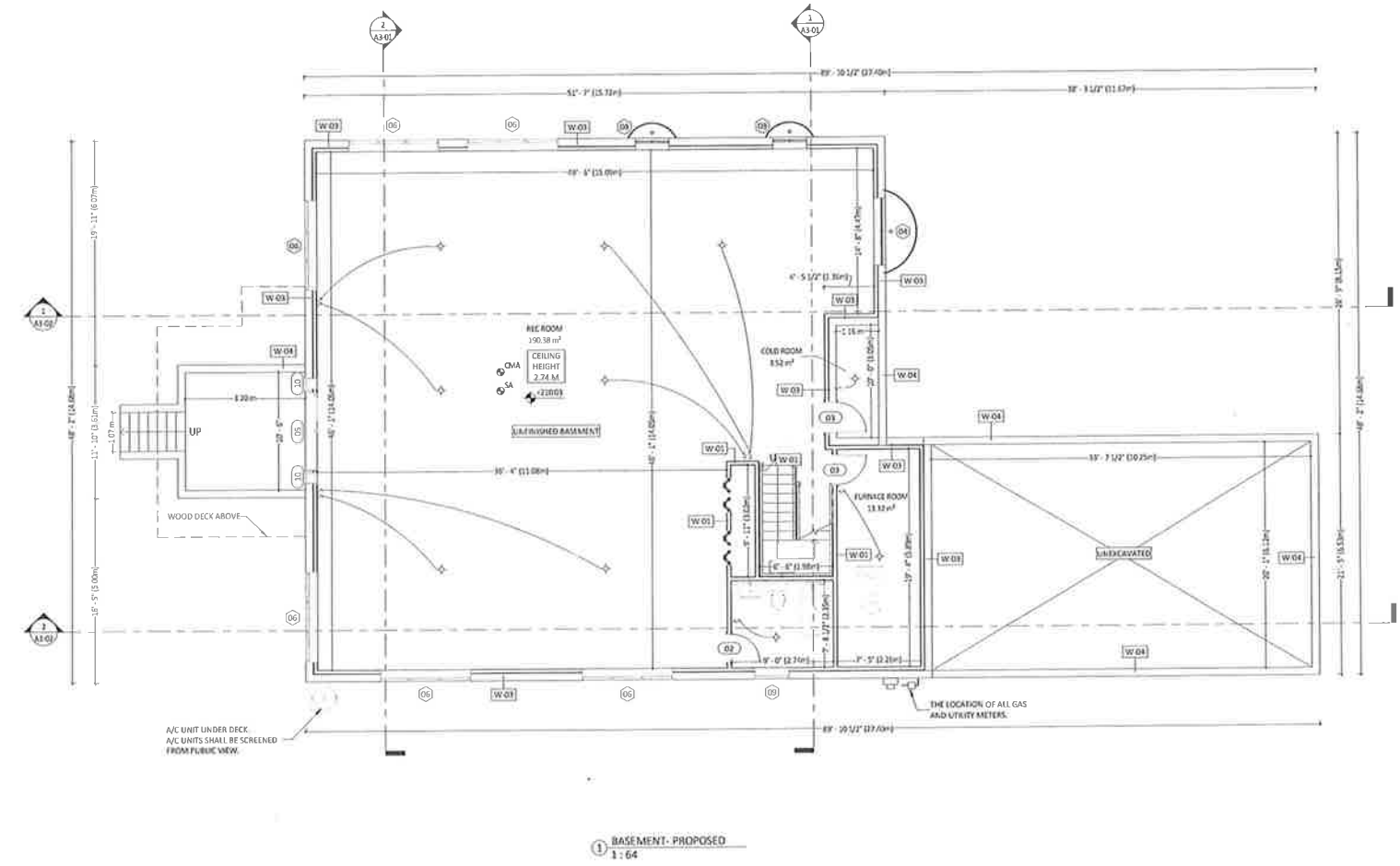
PROJECT NAME:
 NEW CONSTRUCTION

PROJECT ADDRESS:
 1815 CREDITVIEW RD., BRAMPTON, ON L6Y 0S4

SHEET NAME:
 SITE PLAN PROPOSED

DATE:	PROJECT No.:
SCALE: As Indicated	21-02-10
DRAWN BY: P.FORZAN	SHEET No.:
CHECKER: Checker	A0-04

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No.	DATE	ISSUED FOR	APVD
REVISIONS			

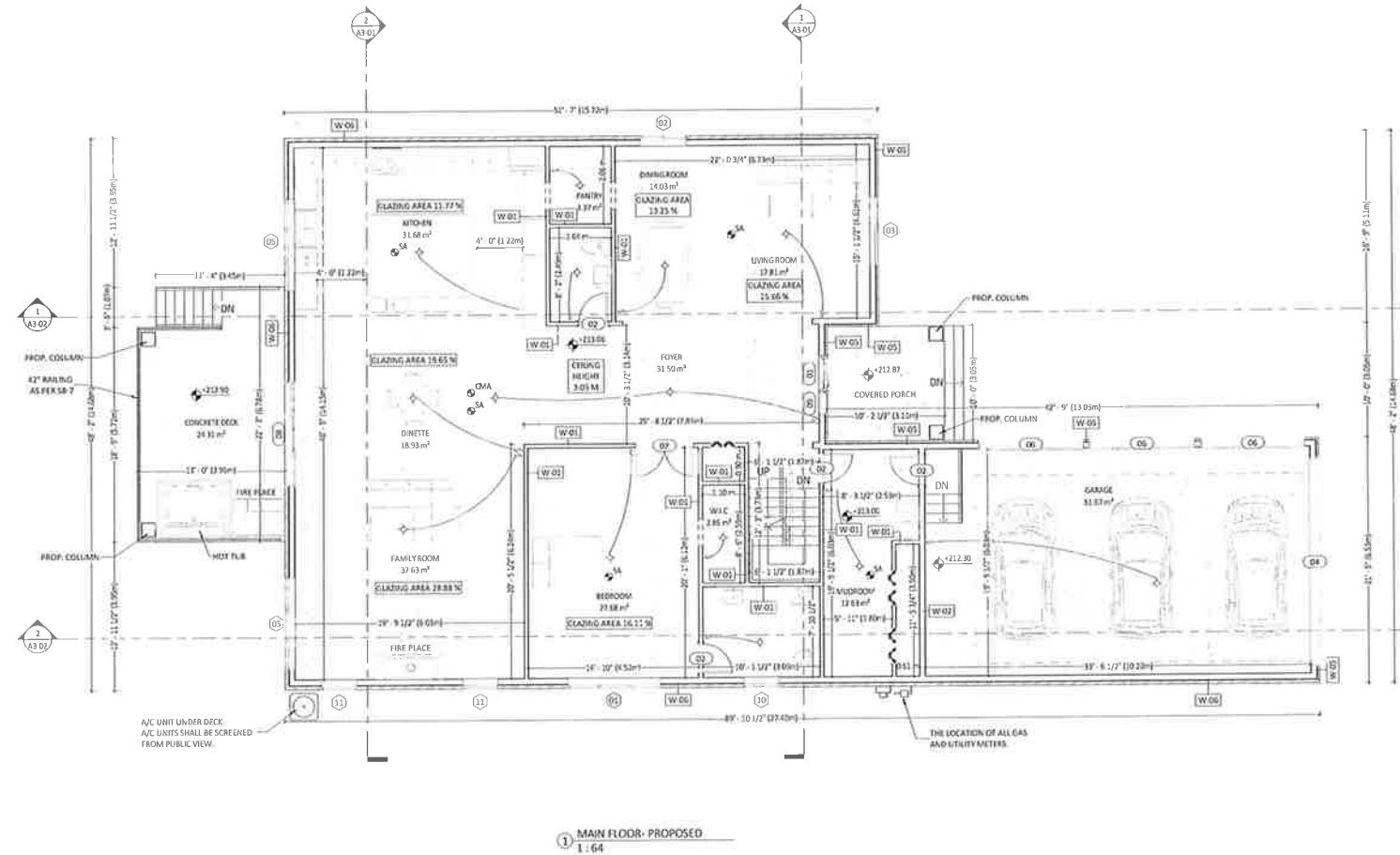


ENGINEER:

CLIENT:

PROJECT NAME:
 NEW CONSTRUCTION
 PROJECT ADDRESS:
 8881 CREECHVIEW RD., BRAMPTON, ON L6Y 0G4
 SHEET NAME:
 BASEMENT PROP. PLAN

DATE:	PROJECT No.:
SCALE: 1:64	21-02-10
DRAWN BY: P. CHODAS	SHEET No.:
CHECKER: Chodas	A1-01



A/C UNIT UNDER DECK
A/C UNITS SHALL BE SCREENED FROM PUBLIC VIEW.

THE LOCATION OF ALL GAS AND METER METERS.

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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

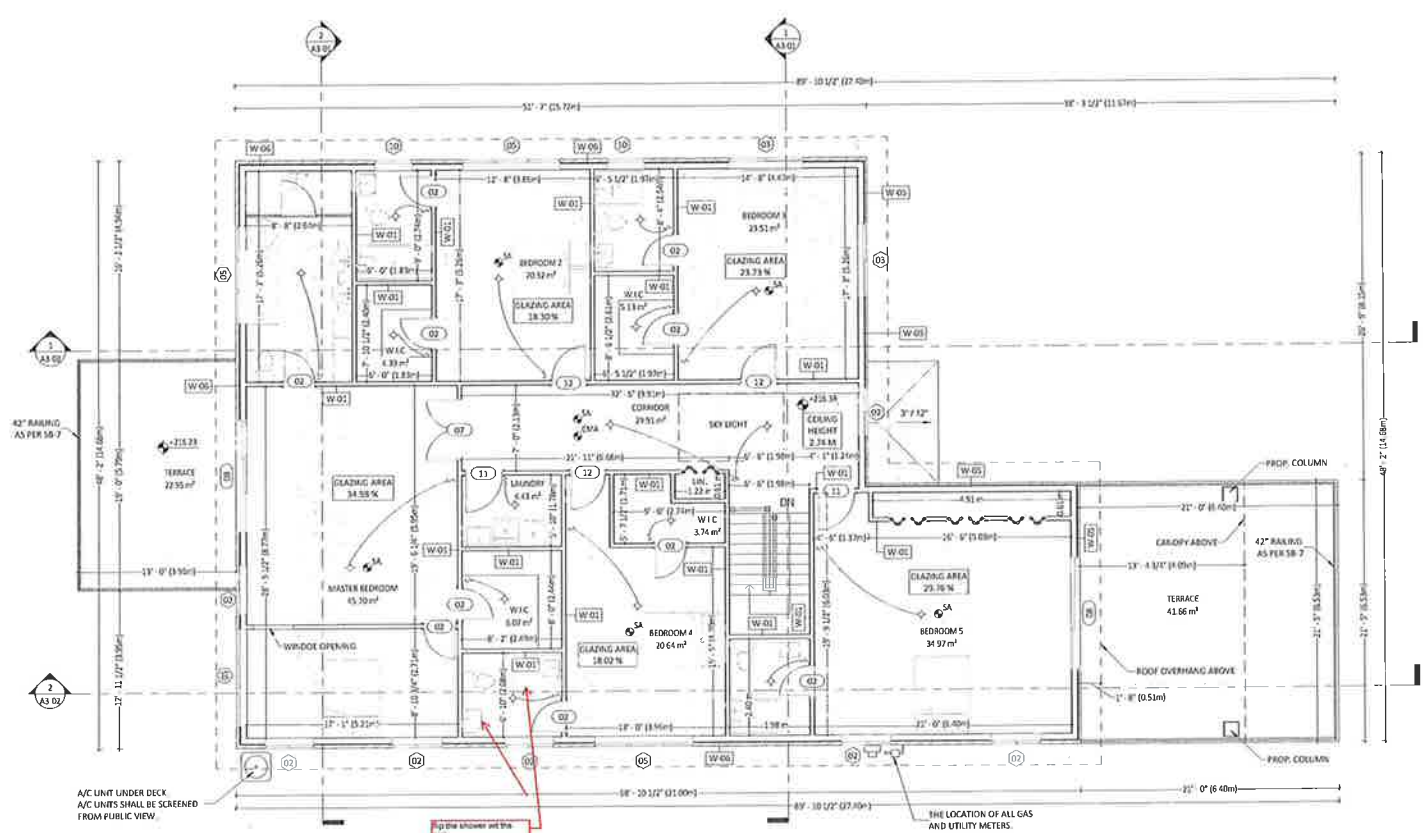
PROJECT NAME:
NEW CONSTRUCTION

PROJECT ADDRESS:
BABA CADETVAN RD, BRANFORD, ON L6Y 0G4

SHEET NAME:
MAIN FLOOR PROP. PLAN

DATE: SCALE: 1:64	PROJECT No.: 21-02-10
DRAWN BY: S. FOROZAN	SHEET No.:
CHECKER: Chohan	A1-02

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1 UPPER FLOOR- PROPOSED
 1:64

No.	DATE	ISSUED FOR	APVD
REVISIONS			



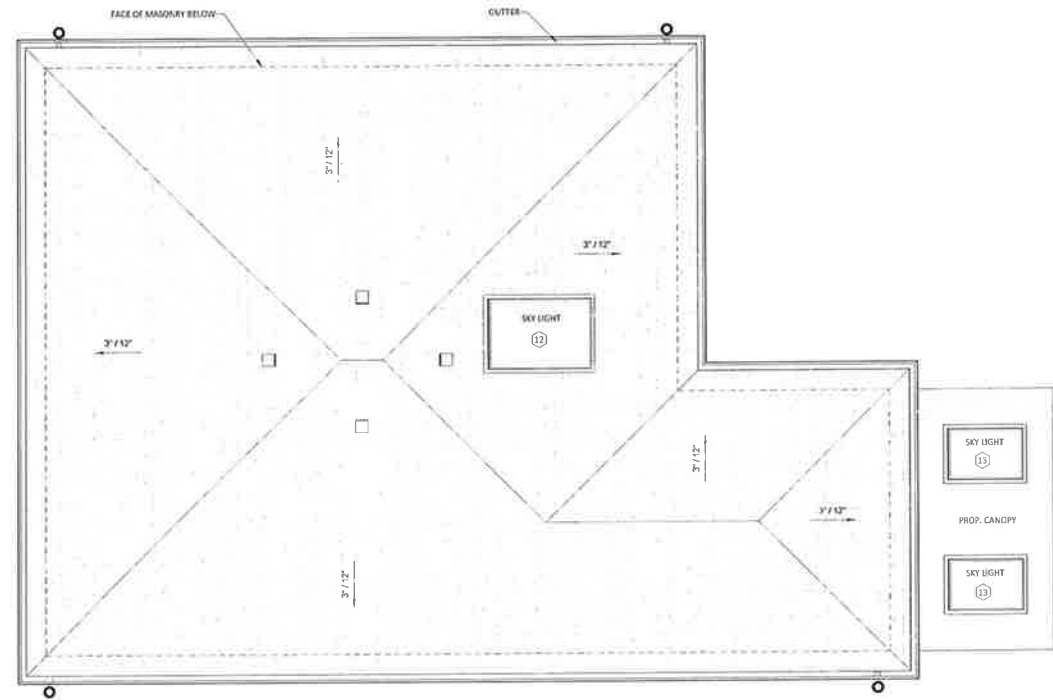
ENGINEER:

CLIENT:

PROJECT NAME:
 NEW CONSTRUCTION
 PROJECT ADDRESS:
 HUB CITY NEW RD, BRANFORD, ON L6Y 0G4
 SHEET NAME:
 2ND FLOOR PROP, PLAN

DATE: SCALE: 1:64	PROJECT No.: 21-02-10
DRAWN BY: J FORSDAN	SHEET No.:
CHECKER: CHIN	A1-03

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	ROOF VENT
	DOWNSPOUT

① ROOF PEAK- PROPOSED
 1:64



No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:
 NEW CONSTRUCTION

PROJECT ADDRESS:
 1000 CANTON ROAD, BRANSON, MO 64419

SHEET NAME:
 ROOF PROP. PLAN

DATE:	PROJECT No.:
SCALE: 1:64	23-02-10
DRAWN BY: P.F. FORDAN	SHEET No.:
CHECKER: Checker	A1-04

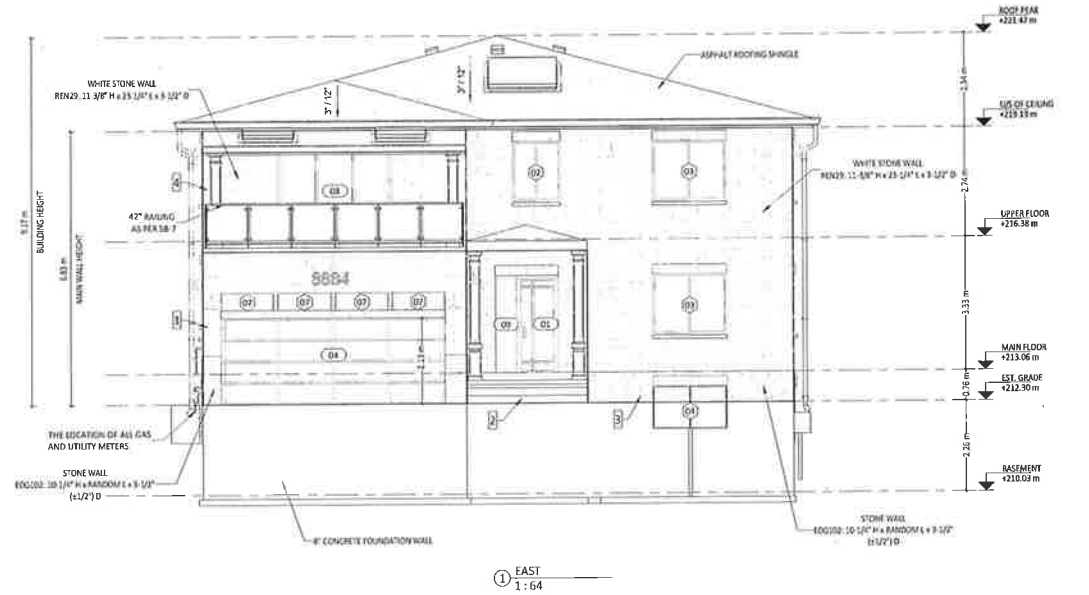
1. BUILDING FACE: 24.87 M²
 OPENING: 2.41 M² (9.69%)
 LIMITING DISTANCE: 13.26 M
 ALLOWED OPENING: N/A

2. BUILDING FACE: 11.61 M²
 OPENING: 1.21 M² (10.42%)
 LIMITING DISTANCE: 26.43 M
 ALLOWED OPENING: N/A

3. BUILDING FACE: 44.09 M²
 OPENING: 8.18 M² (18.55%)
 LIMITING DISTANCE: 25.18 M
 ALLOWED OPENING: N/A

4. BUILDING FACE: 19.73 M²
 OPENING: 6.69 M² (33.90%)
 LIMITING DISTANCE: 19.66 M
 ALLOWED OPENING: N/A

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BUILDING FACE: 114.85 M²
 OPENING: 35.32 M² (30.75%)
 LIMITING DISTANCE: 47.18 M
 ALLOWED OPENING: N/A



NOTE
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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:
 NEW CONSTRUCTION

PROJECT ADDRESS:
 6881 CREDITVIEW RD., BRAMPTON, ON L6Y 0G4

SHEET NAME:
 EAST & WEST ELEVATION

DATE:	PROJECT No.:
SCALE: As Indicated	21-02-10
DRAWN BY: J. Fokobov	SHEET No.:
CHECKER: Charlan	A2-01

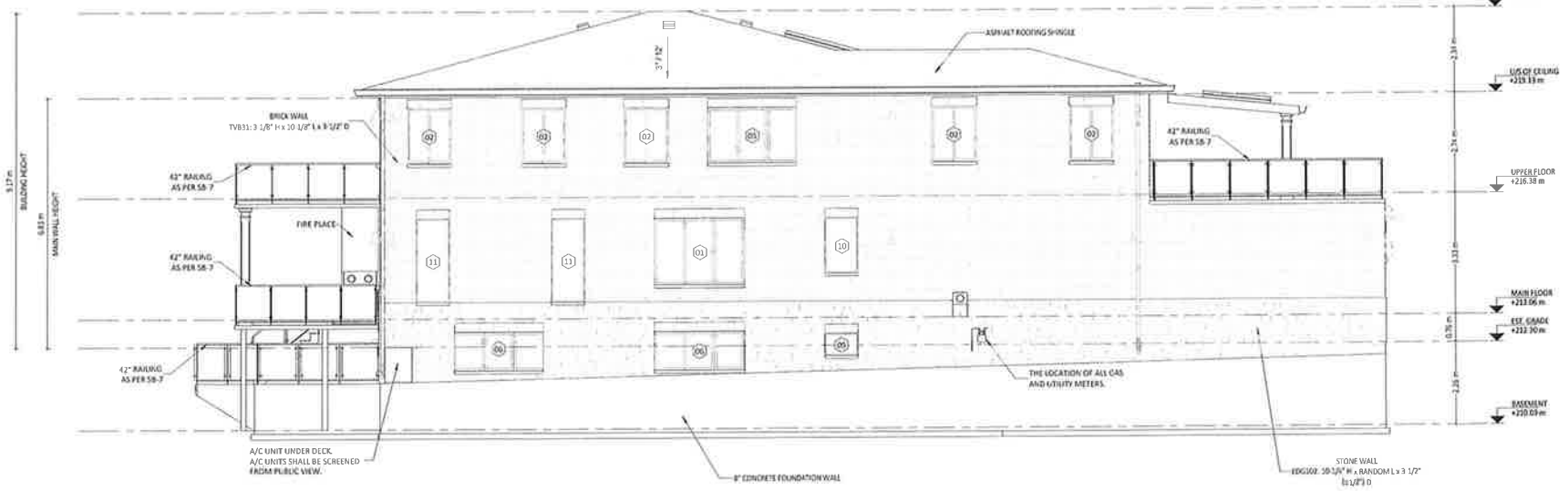
1
 BUILDING FACE: 61.04 M²
 OPENING: 3.62 M² (5.93 %)
 LIMITING DISTANCE: 12.42 M
 ALLOWED OPENING: N/A

2
 BUILDING FACE: 114.87 M²
 OPENING: 17.45 M² (15.19 %)
 LIMITING DISTANCE: 2.89 M
 ALLOWED OPENING: 9 %



1
 NORTH
 1:64

BUILDING FACE: 186.52 M²
 OPENING: 28.81 M² (15.44 %)
 LIMITING DISTANCE: 5.09 M
 ALLOWED OPENING: 12 %



2
 SOUTH
 1:64

NOTE
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No.	DATE	ISSUED FOR	AP/VD
REVISIONS			



ENGINEER:

CLIENT:

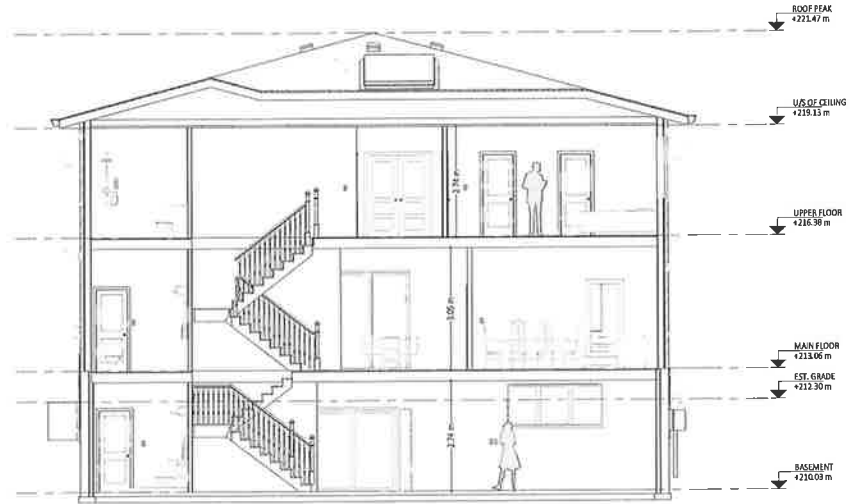
PROJECT NAME:
 NEW CONSTRUCTION

PROJECT ADDRESS:
 BINA CREDITVIEW RD., BRAMPTON, ON L6Y 0G4

SHEET NAME:
 NORTH & SOUTH ELEVATION

DATE:	PROJECT No.:
SCALE: As indicated	21-02-10
DRAWN BY: P. FOROZAN	SHEET No.:
CHECKER: D. K. K.	A2-02

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SECTION 1
 1 : 64



SECTION 2
 1 : 64

No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

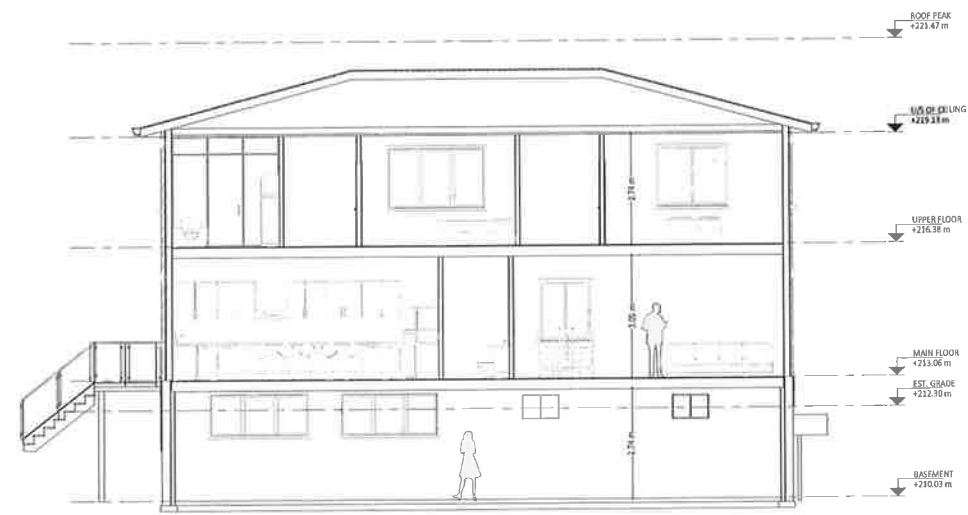
PROJECT NAME:
NEW CONSTRUCTION

PROJECT ADDRESS:
 HIRA CRESCENT RD, ALHAYATON, DUBAI, U.A.E.

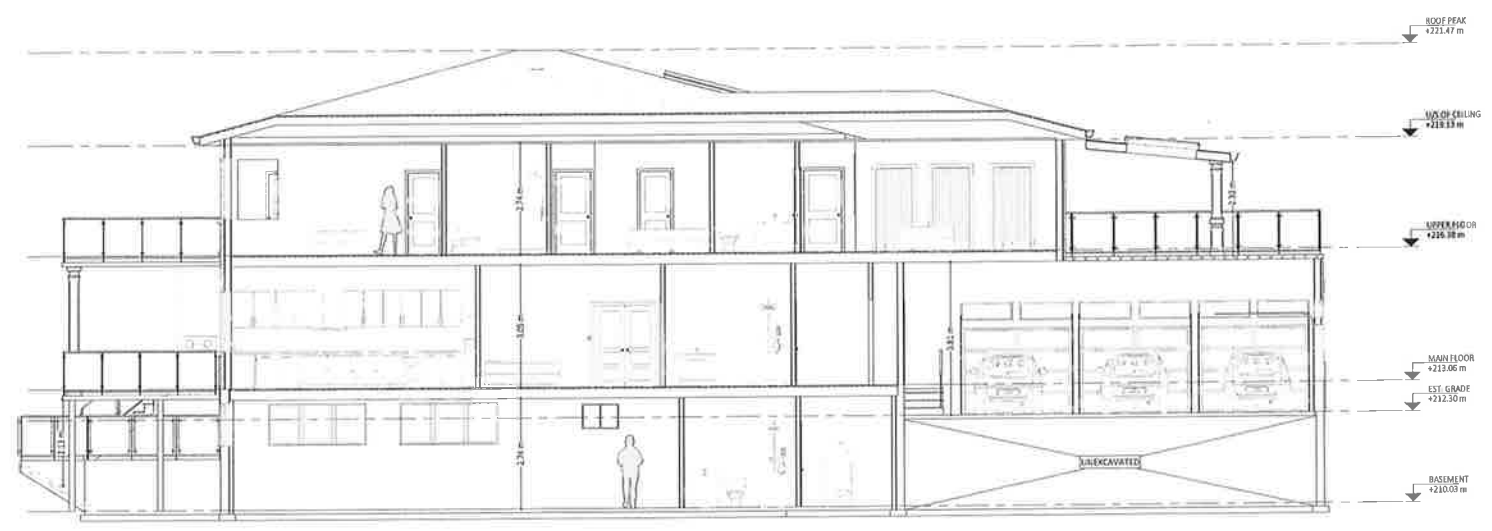
SHEET NAME:
SECTION 1 & 2

DATE:	PROJECT No.:
SCALE: 1:64	21-02-10
DRAWN BY: FORZAN	SHEET No:
CHECKER: [Signature]	A3-01

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SECTION 3
 1:64



SECTION 4
 1:64

No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:
 NEW CONSTRUCTION

PROJECT ADDRESS:
 8841 CHESTVIEW RD, BRANFORD, ONTARIO L6A 4G4

SHEET NAME:
 SECTION 3 & 4

DATE:	PROJECT No.:
SCALE: 1:64	21-02-10
DRAWN BY: P. FORZAN	SHEET No.:
CHECKER: Checker	A3-02

DOOR SCHEDULE					
TYPE MARK	LEVEL	COUNT	WIDTH	HEIGHT	AREAS(M ²)
BASEMENT					
D2	BASEMENT	1	0.76 m	2.03 m	1.55 m ²
D3	BASEMENT	2	0.83 m	2.03 m	1.65 m ²
D5	BASEMENT	1	2.13 m	2.03 m	4.34 m ²
D0	BASEMENT	2	0.25 m	2.89 m	0.57 m ²

BASEMENT: 6

EST. GRADE					
D4	EST. GRADE	1	5.49 m	2.13 m	11.71 m ²
D6	EST. GRADE	1	2.74 m	2.13 m	5.85 m ²

EST. GRADE: 4

MAIN FLOOR					
D1	MAIN FLOOR	1	0.80 m	2.26 m	1.81 m ²
D2	MAIN FLOOR	4	0.76 m	2.03 m	1.55 m ²
D7	MAIN FLOOR	1	1.52 m	2.05 m	3.10 m ²
D8	MAIN FLOOR	1	2.74 m	2.44 m	6.69 m ²
D9	MAIN FLOOR	1	0.51 m	2.40 m	1.22 m ²

MAIN FLOOR: 8

UPPER FLOOR					
D3	UPPER FLOOR	10	0.76 m	2.03 m	1.55 m ²
D7	UPPER FLOOR	1	1.52 m	2.03 m	3.10 m ²
D8	UPPER FLOOR	1	2.74 m	2.44 m	6.69 m ²
D11	UPPER FLOOR	2	0.93 m	2.03 m	1.88 m ²
D12	UPPER FLOOR	1	0.86 m	2.03 m	1.75 m ²

UPPER FLOOR: 15

36

WINDOW SCHEDULE					
TYPE MARK	LEVEL	COUNT	WIDTH	HEIGHT	AREA (M ²)
BASEMENT					
W4	BASEMENT	1	1.83 m	1.07 m	1.93 m ²
W5	BASEMENT	1	2.44 m	1.07 m	2.60 m ²
W6	BASEMENT	2	0.93 m	0.63 m	0.56 m ²
W0	BASEMENT	1	0.91 m	0.63 m	0.56 m ²

BASEMENT: 10

EST. GRADE					
W7	EST. GRADE	10	1.37 m	0.46 m	0.60 m ²

EST. GRADE: 10

MAIN FLOOR					
W1	MAIN FLOOR	1	2.44 m	1.83 m	4.46 m ²
W2	MAIN FLOOR	1	1.22 m	1.52 m	1.86 m ²
W3	MAIN FLOOR	1	1.83 m	1.52 m	2.79 m ²
W5	MAIN FLOOR	2	2.44 m	1.52 m	3.72 m ²
W0	MAIN FLOOR	1	0.93 m	1.52 m	1.39 m ²
W11	MAIN FLOOR	2	0.93 m	2.29 m	2.09 m ²

MAIN FLOOR: 8

UPPER FLOOR					
W2	UPPER FLOOR	2	1.22 m	1.52 m	1.86 m ²
W3	UPPER FLOOR	2	1.83 m	1.52 m	2.79 m ²
W5	UPPER FLOOR	4	2.44 m	1.52 m	3.72 m ²
W0	UPPER FLOOR	2	0.93 m	1.52 m	1.39 m ²

UPPER FLOOR: 15

LIS OF CEILING					
W12	LIS OF CEILING	1	1.70 m	2.60 m	4.42 m ²
W13	LIS OF CEILING	2	1.22 m	1.83 m	2.23 m ²

LIS OF CEILING: 3

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SYMBOL LEGEND	
	AIR RETURN
	EXHAUST FAN 50CFM/W 5" DUCT
	HEAT REGISTER
	LIGHT FIXTURE
	SINGLE SWITCH
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	WATER HEATER
	EXISTING
	PROPOSED

WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

CEILING SCHEDULE	
	FULL HEIGHT CEILING - EXISTING WOOD JOIST - SOUND INSULATION (OPTIONAL) - 1/2" GYPSUM
	SUSPENDED CEILING - 2" x 4" @ 16" O.C CEILING JOIST - SOUND INSULATION (OPTIONAL) - 1/2" GYPSUM

WALL LEGEND	
INTERIOR WALL	
	2x4 STUD PARTITION - 1/2" GYPSUM WALL BOARD - 2"x4" @ 16" O.C WOOD STUDS - 1/2" GYPSUM WALL BOARD
	2x6 STUD PARTITION - 1/2" GYPSUM WALL BOARD - 2"x6" @ 16" O.C WOOD STUDS / W R13 BATT INSULATION - 1/2" GYPSUM WALL BOARD
FOUNDATION WALL	
	8" CONCRETE + INSULATION WALL 184 STUDS - DAMPROOFING LAYER - 1/2" FARGING CONCRETE - 1" AIR GAP - 2"x4" @ 16" O.C WOOD STUDS W/ R14 BATT INSULATION - 1/2" POLY AIR/VAPOR BARRIER - 1/2" GWS FINISH
	8" CONCRETE POURED - 8" POURED CONCRETE
EXTERIOR WALLS	
	2x6 STONE VENER WALL - 3/4" STONE VENER - 1" AIR GAP - AIR BARRIER - 1/2" PLYWOOD - 2"x6" @ 16" O.C SPF STUDS / W/M SPECIFIED R VALUE - 1/2" POLY AIR/VAPOR BARRIER - 1/2" GYPSUM WALL BOARD
	2x6 BRICK VENER WALL - 3/4" BRICK VENER - 1" AIR GAP - AIR BARRIER - 1/2" PLYWOOD - 2"x6" @ 16" O.C SPF STUDS / W/M SPECIFIED R VALUE - 1/2" POLY AIR/VAPOR BARRIER - 1/2" GYPSUM WALL BOARD

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No.	DATE	ISSUED FOR	APPROV
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:
 1001 CECILIA ROAD, BRANSON, ON 101 604

SHEET NAME:

SCHEDULE & LEGEND

DATE:	PROJECT No.:
SCALE: As Indicated	21-02-10
DRAWN BY: P. J. KODAN	SHEET No.:
CHECKER: Chatter	A3-05

A-2022-0264

C3

a

b

B4

c

d

e

C4

C5

D4

