

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **MARK GREG SAMAROO AND CINTRA SAMAROO** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 212, Plan 43M-1865 municipally known as **30 MELTWATER CRESCENT** Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a rear yard encroachment of 3.58m (11.75ft) for a deck resulting in a rear yard setback of 3.92m (12.86ft) whereas the by-law permits a maximum rear yard encroachment 3.0m (9.84ft), resulting in a rear yard setback of 4.5m (14.76 ft.);
2. To permit a rear yard encroachment of 3.86m (12.66ft) for an unenclosed roof over a deck resulting in a rear yard setback of 3.64m (11.94ft) whereas the by-law permits a maximum rear yard encroachment of 2.0m (6.5ft), resulting in a rear yard setback of 5.5m (18.20ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: _____ **NO** _____ File Number: _____
Application for Consent: _____ **NO** _____ File Number: _____

The Committee of Adjustment has appointed **TUESDAY, May 30, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

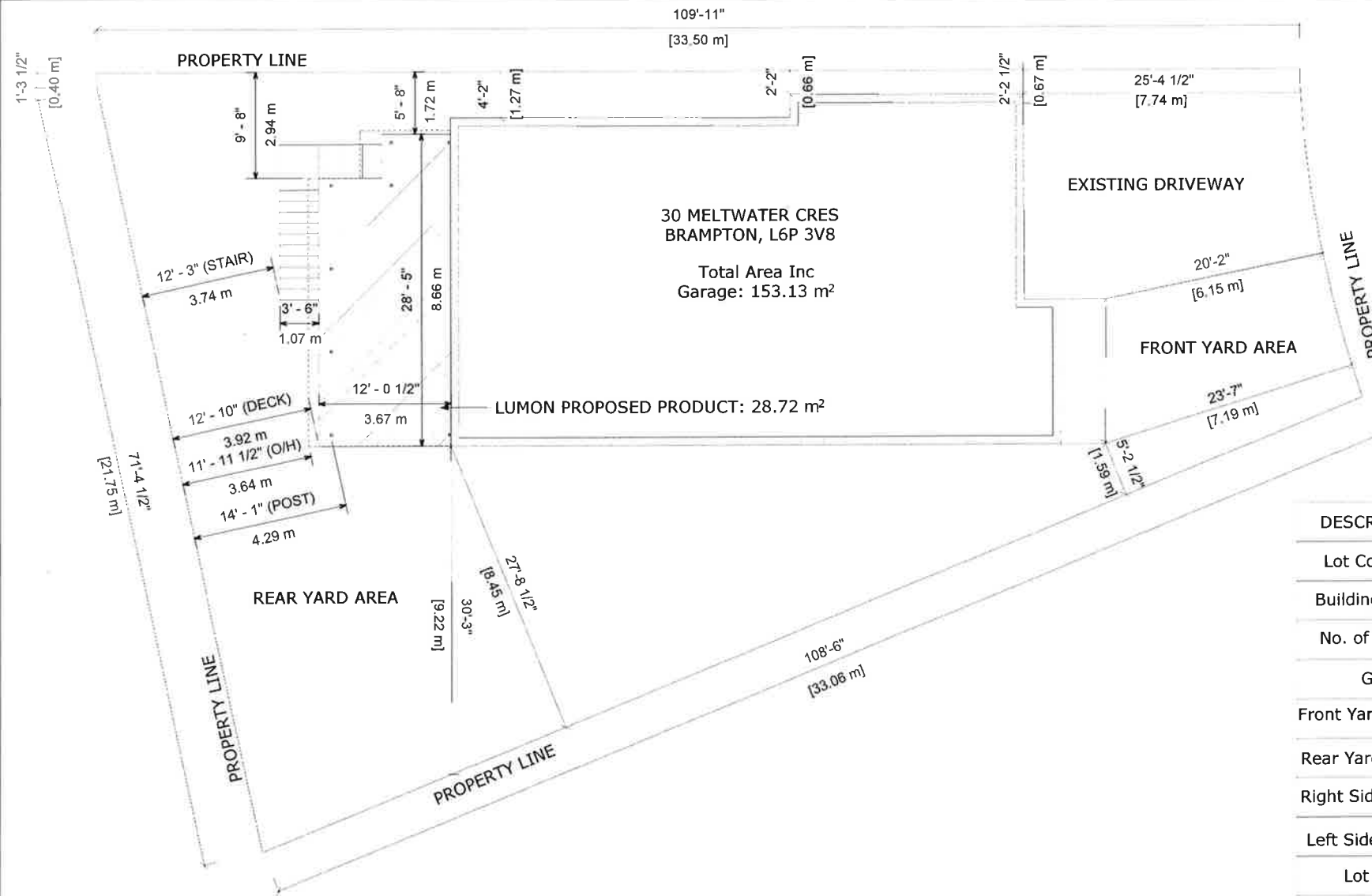
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 18th Day of May, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



DESCRIPTION	EXISTING	PROPOSED
Lot Coverage	26.40%	36.08%
Building Height	10.6M	10.6M
No. of Storeys	2	2
GFA	----	----
Front Yard Setback	6.15M	6.15M
Rear Yard Setback	5.12M	3.67M
Right Side Setback	1.52M	1.52M
Left Side Setback	9.71M	9.71M
Lot Area	511.73M	511.73M



www.lumon.com

GREG SAMAROO

30 MELTWATER CRES, BRAMPTON, ON. L6P 3V8

No.	Description	Date
A	NEW DRAWING	12.08.22
B	ISSUED FOR SQUAD CHECK	16.08.22
C	ISSUED FOR ENGINEERING	06.10.22

SITE PLAN

Project number 5062 7995	A.01
Date 12.08.2022	
Drawn by X.D	
Checked by J.J	
Scale 1 : 112	

2023-05-18 12:31:34 PM

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 30, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 25, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 25, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx>
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

May 18, 2023

To: Committee of Adjustment
MARK GREG SAMAROO AND CINTRA SAMAROO
LOT 212, PLAN M-865
A-2023-0120 – 30 MELTWATER CRESCENT

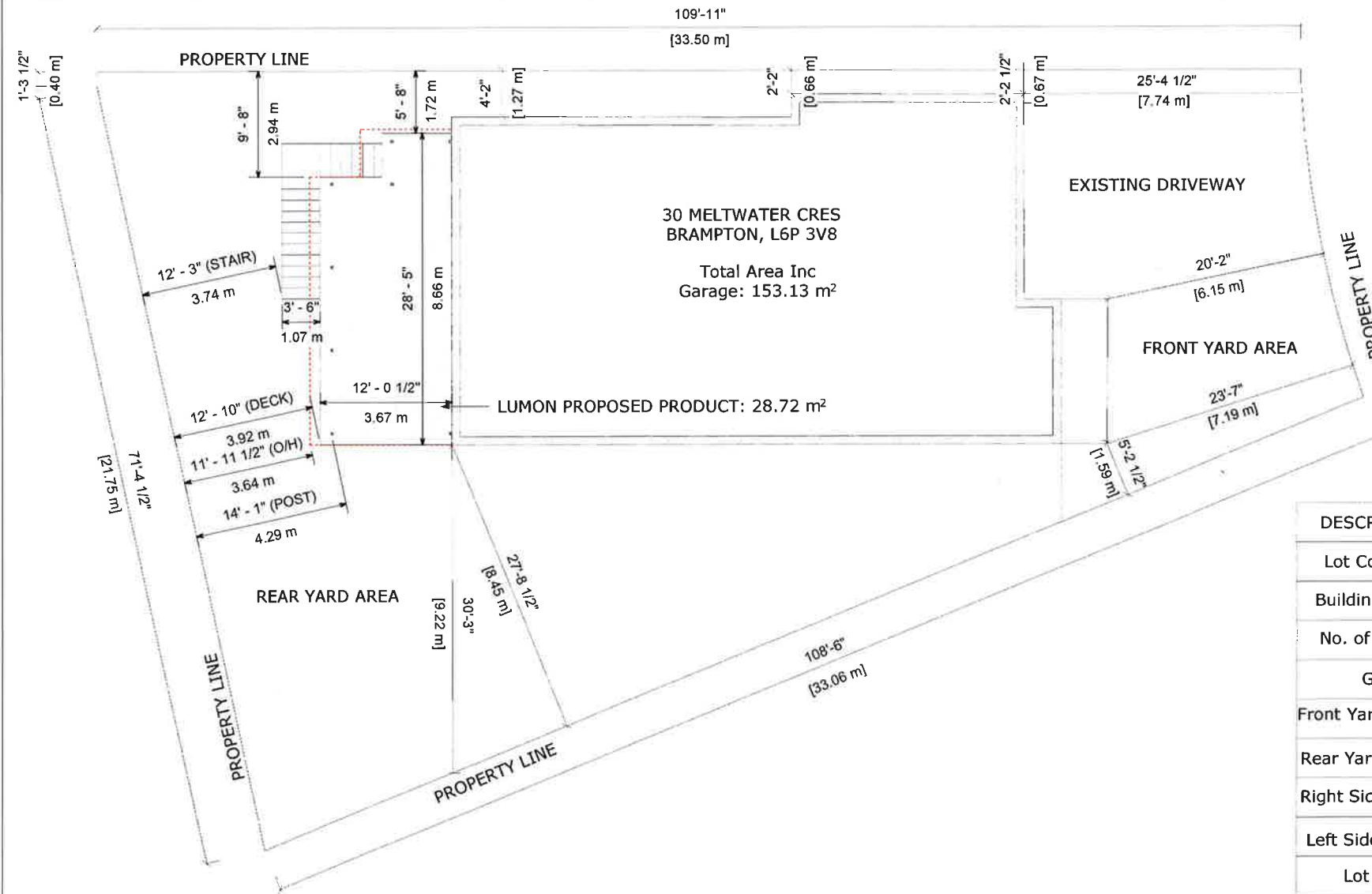
Please **amend** application **A-2023-0120** to reflect the following:

1. To permit a rear yard encroachment of 3.58m (11.75ft) for a deck resulting in a rear yard setback of 3.92m (12.86ft) whereas the by-law permits a maximum rear yard encroachment 3.0m (9.84ft), resulting in a rear yard setback of 4.5m (14.76 ft.);
2. To permit a rear yard encroachment of 3.86m (12.66ft) for an unenclosed roof over a deck resulting in a rear yard setback of 3.64m (11.94ft) whereas the by-law permits a maximum rear yard encroachment of 2.0m (6.5ft), resulting in a rear yard setback of 5.5m (18.20ft).

Tarunpreet
Kaur

Digitally signed by Tarunpreet Kaur
DN: cn=Tarunpreet Kaur, c=CA,
o=Lumon Canada,
email=Tarunpreet.kaur@lumon.com
Reason: Tarunpreet Kaur
Location: Lumon Canada
Date: 2023.05.19 09:43:54 -0400

Applicant/Authorized Agent



DESCRIPTION	EXISTING	PROPOSED
Lot Coverage	26.40%	36.08%
Building Height	10.6M	10.6M
No. of Storeys	2	2
GFA	----	----
Front Yard Setback	6.15M	6.15M
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SITE PLAN

Project number 5062 7995

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Drawn by X.D

Checked by J.J

A.01

Scale 1 : 112

2023-05-18 12:31:34 PM



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** MARK GREG SAMAROO CINTRA SAMAROO
Address 30 MELTWATER CRES, BRAMPTON, L6P 3V8

Phone # 4165672865 **Fax #** _____
Email GANDSWINDOWS@GMAIL.COM

2. **Name of Agent** TARUNPREET KAUR
Address UNIT 5, 600 ZENWAY BVD, VAUGHAN, L4H3M9

Phone # 2268214294 **Fax #** _____
Email TARUNPREET.KAUR@LUMON.COM

3. **Nature and extent of relief applied for (variances requested):**

To permit a rear yard encroachment of 3.83 metres resulting in a rear yard setback of 3.67 metres to a proposed deck whereas the by-law permits a maximum rear yard encroachment of 3.0 metres resulting in a rear yard setback of 4.5 metres to the proposed deck.

4. **Why is it not possible to comply with the provisions of the by-law?**
THE DECK IS AS BUILT AND SEEKING A BY LAW RELIEF.

5. **Legal Description of the subject land:**
Lot Number 212
Plan Number/Concession Number PLAN M1865
Municipal Address 30 MELTWATER CRES

6. **Dimension of subject land (in metric units)**
Frontage 8.94M
Depth 33.06M
Area 511.73 SQM

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING SINGLE DETACHED DWELLING UNIT
1ST FLOOR=113.43 SQM
2ND FLOOR=143.07 SQM

PROPOSED BUILDINGS/STRUCTURES on the subject land:
WOODEN DECK ATTACHED TO THE EXISTING HOUSE.
LUMON PATIO COVER IN THE WOODEN DECK

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING
Front yard setback 6.15 M
Rear yard setback 7.5 M
Side yard setback 0.60 M
Side yard setback 1.59 M

PROPOSED
Front yard setback 6.15M
Rear yard setback 4.5 M
Side yard setback 0.60 M
Side yard setback 1.59 M

10. Date of Acquisition of subject land: DECEMBER 15, 2015

11. Existing uses of subject property: DETACHED RESIDENTIAL DWELLING

12. Proposed uses of subject property: DETACHED RESIDENTIAL DWELLING

13. Existing uses of abutting properties: DETACHED RESIDENTIAL UNIT

14. Date of construction of all buildings & structures on subject land: NOVEMBER 2011

15. Length of time the existing uses of the subject property have been continued: 12 YEARS

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Tarunpreet Kaur

Digitally signed by Tarunpreet Kaur
DN: cn=Tarunpreet Kaur, o=CA,
ou=Lumen Canada,
email=Tarunpreet.kaur@lumen.com
Reason: Tarunpreet Kaur
Location: Lumen Canada
Date: 2023.04.21 10:48:45 -0400

Signature of Applicant(s) or Authorized Agent

DATED AT THE 21 OF APRIL
THIS 21 DAY OF APRIL, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, MARK SAMAROO, OF THE CITY BRAMPTON OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF
Peel THIS 1st DAY OF

May, 2023

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Tarunpreet Kaur

Digitally signed by Tarunpreet Kaur
DN: cn=Tarunpreet Kaur, o=CA,
ou=Lumen Canada,
email=Tarunpreet.kaur@lumen.com
Reason: Tarunpreet Kaur
Location: Lumen Canada
Date: 2023.04.21 10:49:09 -0400

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: R1F - 11.6

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L. barbuto
Zoning Officer

April 27, 2023
Date

DATE RECEIVED May 13 2023

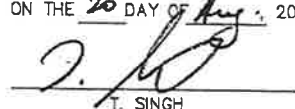
SURVEYOR'S REAL PROPERTY REPORT
PART 1:
PLAN OF LOTS 210, 211, 212, 213 AND 214
PLAN 43M-1865
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300
 10m 5m 0 10m 20m 30metres

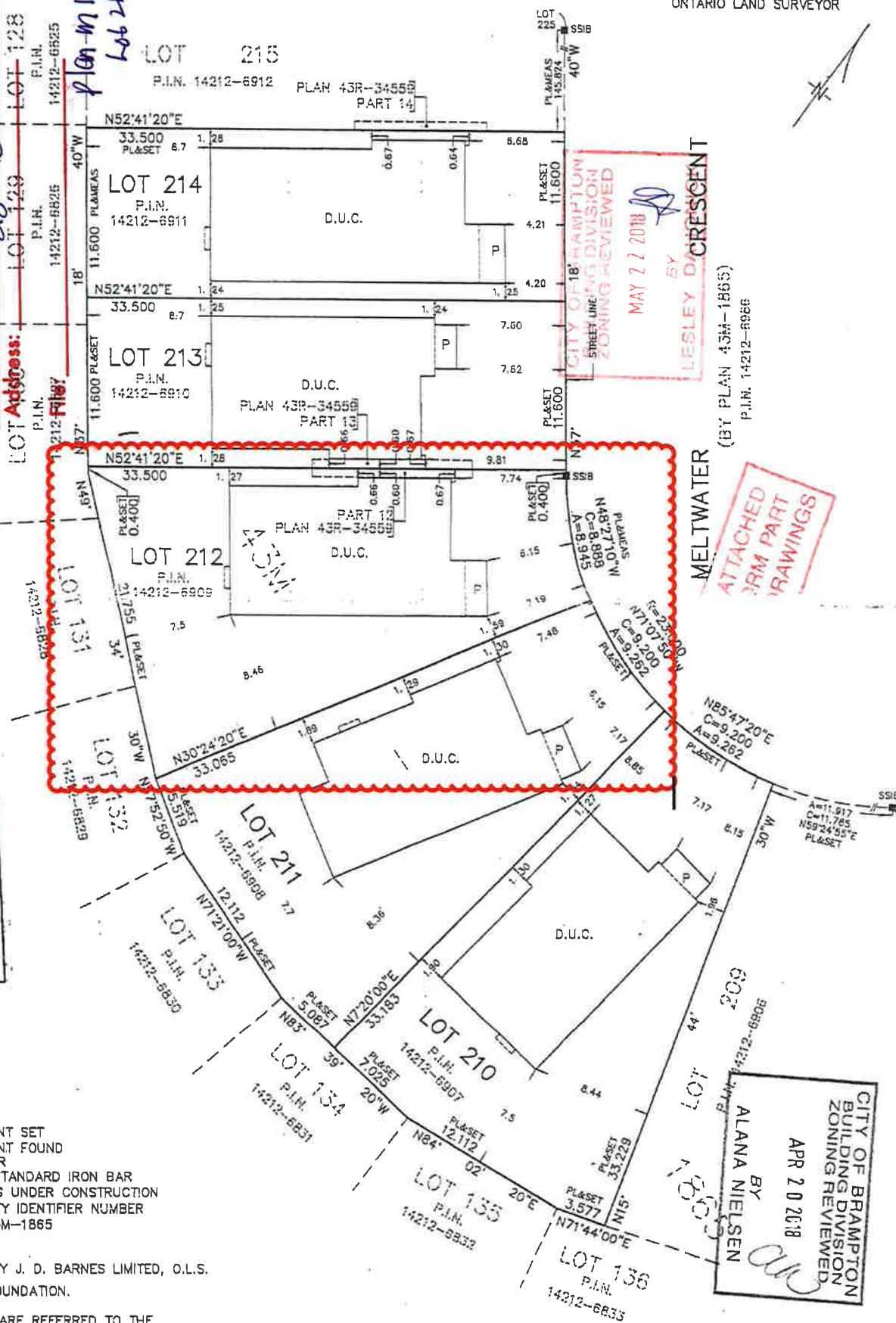
RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.
 METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
 BE CONVERTED TO FEET BY DIVIDING BY 0.3048.


PART 2 (SURVEY REPORT)
 REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
 WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND
 TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE 20 DAY OF Aug, 2012
 DATE Sept. 17, 2012

 T. SINGH
 ONTARIO LAND SURVEYOR

**DOCUMENTS RELEASED PURSUANT TO A REQUEST
 UNDER THE
 MUNICIPAL FREEDOM OF INFORMATION AND
 PROTECTION OF PRIVACY ACT R.S.O. 1990C. M56
 COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE
 USE AND REPRODUCTION OF THESE DOCUMENTS**



ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN-SUBMISSION-FORM
 1847326

 THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Section 29(3).

NOTES

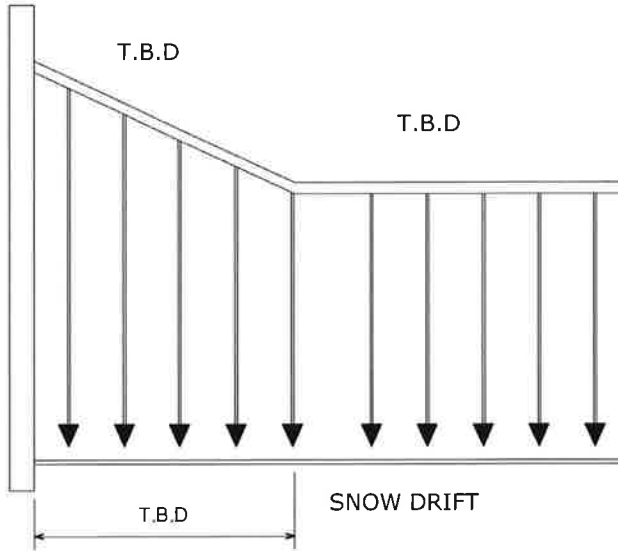
- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- IB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- PL DENOTES PLAN 43M-1865
- P DENOTES PORCH

ALL FOUND MONUMENTS BY J. D. BARNES LIMITED, O.L.S.
 ALL TIES TO CONCRETE FOUNDATION.

BEARINGS ARE GRID AND ARE REFERRED TO THE
 WEST LIMIT OF MELTWATER CRESCENT AS SHOWN
 ON PLAN 43M-1865 HAVING A BEARING OF N37°18'40"W.

THIS REPORT WAS PREPARED FOR
 ACORN DEVELOPMENTS
 AND THE UNDERSIGNED ACCEPTS NO
 RESPONSIBILITY FOR USE BY OTHER PARTIES.

rpe RADY-PENTEK & EDWARD SURVEYING LTD.
 ONTARIO LAND SURVEYORS
 643 Chrislea Road, Suite 7
 Woodbridge, Ontario L4L 8A3
 Tel. (416) 635-5000 Fax (416) 635-5001
 Website: www.r-pe.ca
 DRAWN: V.K. CHECKED: G.P./T.S.
 CAD FILE No. 1865-210 JOB No. 11-264



DEFLECTION CRITERIA:
 ROOF BEAM: L/300
 INTERMEDIATE BEAM: L/300
 FRONT BEAM: L/120
 ACRYLIC HEATSTOP: MIN (W/20, 76.2mm)
 TEMPERED GLASS: MIN (W/20, 76.2mm)



Oct 10, 2022

LOCATION:	CASE:	VERTICAL:	HORIZONTAL:
MIDDLE COLUMN (kN)	DEAD	TBD	TBD
	SNOW	TBD	TBD
	WIND(L)	TBD	TBD
	WIND(T)	TBD	TBD
CORNER COLUMN (kN)	SEISMIC	TBD	TBD
	DEAD	TBD	TBD
	SNOW	TBD	TBD
	WIND(L)	TBD	TBD
CORNER COLUMN (kN)	WIND(T)	TBD	TBD
	SEISMIC	TBD	TBD

- LOADS ARE UNFACTORED
- L IS PARALLEL TO THE MAIN BLDG WALL
- T IS PERPENDICULAR TO MAIN BLDG WALL
- +/- TO BE CONSIDERED FOR WIND AND SEISMIC
- + IS DOWNWARD LOAD

MEMBER LEGEND

No.	MEMBER
01	LUMON VT4 ALUMINUM 70x70 POST
02	LUMON VT4 ALUMINUM REAR BEAM
03	LUMON VT4 ALUMINUM ROOF RAFTER & COVER
04	LUMON VT4 ALUMINUM HEAVY DUTY RETURN BEAM
05	LUMON VT4 ALUMINUM GUTTER
06	LUMON VT4 ALUMINUM HEAVY DUTY FRONT BEAM
07	CLEAR (OF88) SEC.1
08	CLEAR (OF88) SEC.2

GENERAL NOTES

1. THESE DRAWINGS DETAIL THE INSTALLATION.
2. DESIGN IS IN ACCORDANCE WITH CAN3-S157-M83 STRENGTH STRUCTURE AND ALL MATERIALS ARE IN ACCORDANCE WITH CURRENT EDITIONS OF THE NATIONAL BUILDING CODE OF CANADA 2015 AND THE 2012 ONTARIO BUILDING CODE.
3. CONSTRUCTION OF EXISTING STRUCTURE (i.e FOUNDATION WALLS, FOOTING, EXTERIOR WALLS AND SHEATHING ARE ASSUMED TO BE IN ACCORDANCE WITH REQUIREMENT OF PART 4 OR PART 9 OF ONTARIO BUILDING CODE. LATERAL LOAD OF THE SUNROOM (WIND AND SEISMIC) IS ASSUMED TO BE RESISTED BY THE MAIN STRUCTURE. EXISTING STRUCTURE WHICH SUPPORTS THE SUNROOM IS REQUIRED TO SATISFY THE FOLLOWING REQUIREMENTS (TO BE VERIFIED):

- * STUD WALL WITH SHEATHING: 2x6 SPRUCE PINE-FIR NO.1/NO.2 @16" OR BETTER.
- * OPENING LINTLS : 4 PLY 1 3/4" x 9 1/2" 2.0 E MICROLLAM LVL OR BETTER.
- * MINIMUM FOOTING SIZE 30" WIDE AND 11" THICK.

-FOLLOW ALL NOTES AND RECOMENDATIONS CONTAINED WITHIN THESE DRAWINGS.
 -CONSULT SEALING ENGINEER IF SITE CONDITIONS ARE DIFFERENT FROM WHAT SHOWN ON THE DRAWINGS OR ABOVE MENTIONED ASSUMPTIONS.
 -DECK, FOUNDATION, ATTACHMENTS AND THE CONDITION OF THE EXISTING STRUCTURE IS EXCLUDED FROM THE SCOPE OF THESE DRAWINGS AND RESPONSIBILITY OF SEALING ENGINEERS. ABOVE MENTIONED CRITERIA MUST BE ENGINEERED/ VERIFIED BY OTHERS.

SCREW PILE AND REALTED CONNECTION IS DESIGNED BY OTHERS.

DESIGN CRITERIA

1. PREVAILING CODE : OBC 2012
2. SNOW LOAD : $S_s = 1.3 \text{ kPa}$
3. RAIN LOAD : $S_r = 0.4 \text{ kPa}$
4. WIND LOAD :
 - a. 1 in 10 : 0.34 kPa
 - b. 1 in 50 : 0.44 kPa
5. DEAD LOAD : 0.49 kPa
6. SEISMIC DATA
 - a. $S_a (0.2)$: 0.210
 - b. $S_a (0.5)$: 0.120
 - c. $S_a (1.0)$: 0.063
 - d. $S_a (2.0)$: 0.020
 - e. PGA : 0.110

SITE CLASS: D (STIFF SOIL) - TO BE VERIFIED,
 $R_D = R_0 = 1$

SEISMIC BASE SHEAR: TBD
 WIND BASE SHEAR (LONGITUDINAL) = TBD
 WIND BASE SHEAR TRANSVERSE = TBD

THE LUMON SYSTEM CREATES AN UN-CONDITIONED OUTDOOR LIVING SPACE.

SHEET LIST

SHEET NO.	SHEET NAME
A.00	COVER PAGE
A.01	SITE PLAN
A.02	3D VIEW
A.03	LAYOUT
A.04	LAYOUT
A.05	LAYOUT
A.06	ELEVATION
A.07	ELEVATION
A.08	ELEVATION
A.09	DETAIL CONNECTION
A.10	DETAIL CONNECTION



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30 MELTWATER CRES, BRAMPTON, ON. L6P 3V8

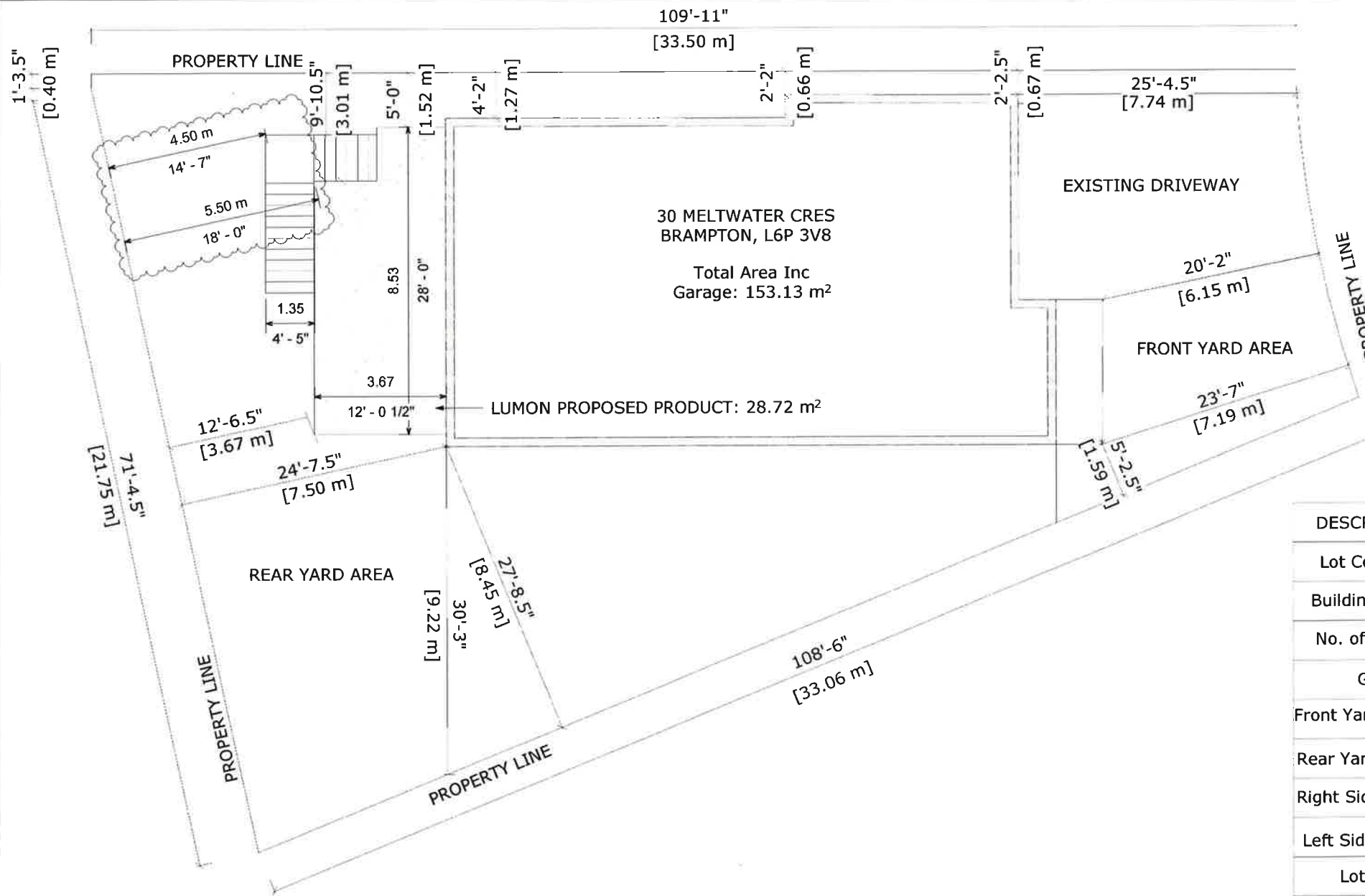
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COVER PAGE

Project number 5062 7995	A.00
Date 12.08.2022	
Drawn by X.D	Scale As indicated
Checked by J.J	



April 25, 2023



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Lot Coverage	26.40%	36.08%
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No. of Storeys	2	2
GFA	----	----
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1	ISSUED FOR CONSTRUCTION	Date 5

SITE PLAN

Project number 5062 7995

Date 12.08.2022

Drawn by X.D

Checked by J.J

A.01

Scale 1 : 112



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No.	Description	Date
A	NEW DRAWING	12.08.22
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3D VIEW

Project number 5062 7995

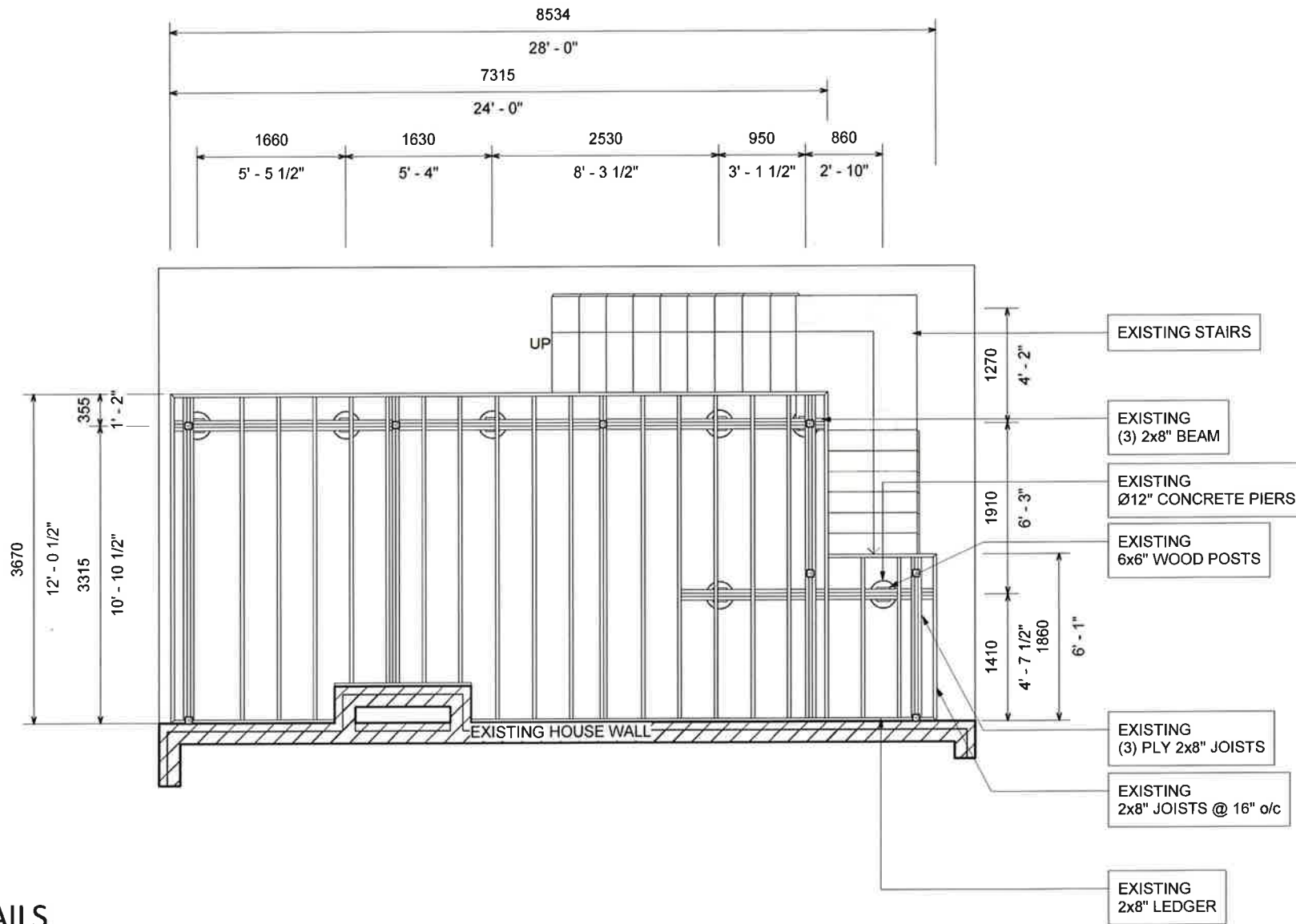
Date 12.08.2022

Drawn by X.D

Checked by J.J

A.02

Scale



Oct 10, 2022

DECK DETAILS

1 : 50



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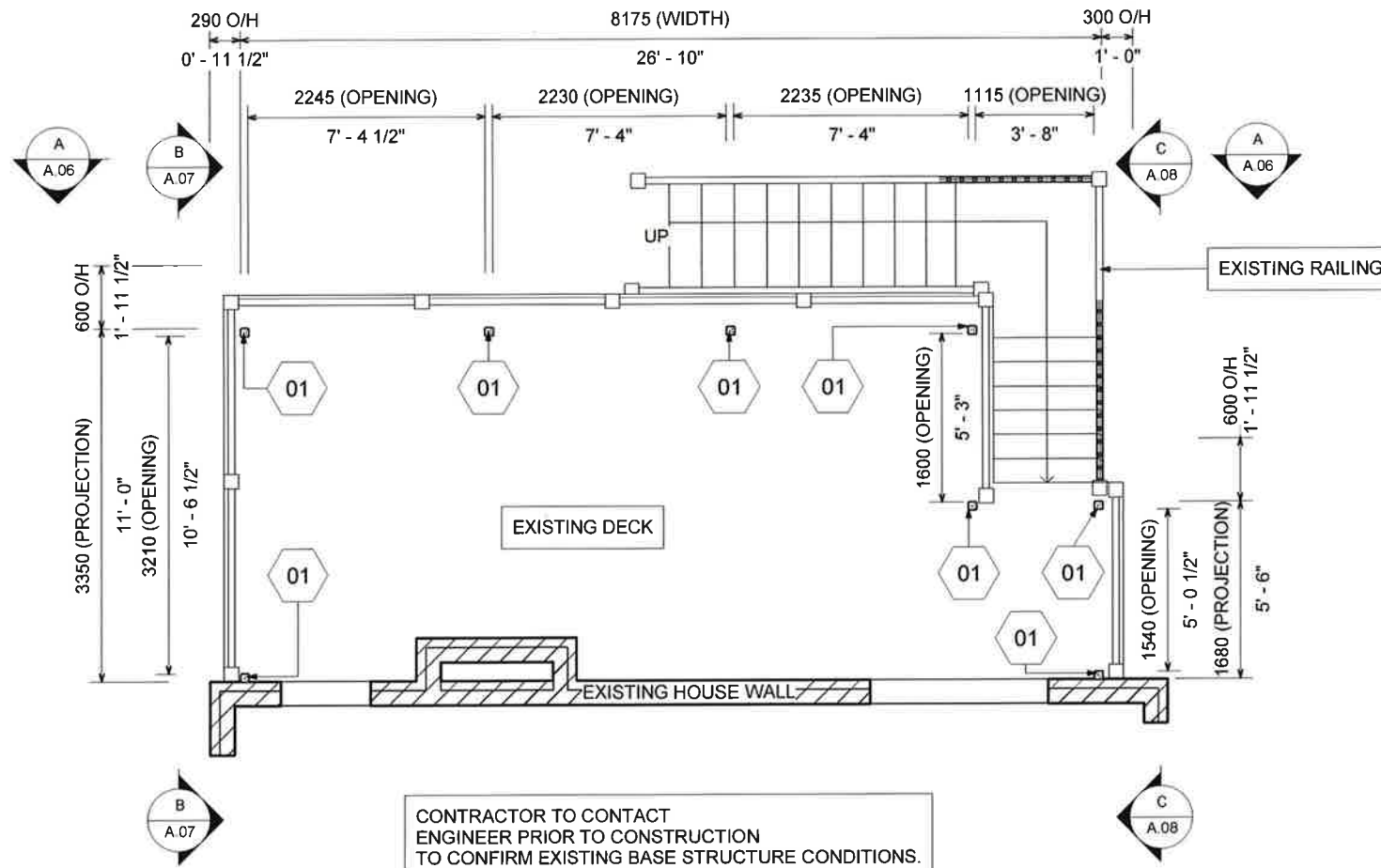
30 MELTWATER CRES, BRAMPTON, ON. L6P 3V8

No.	Description	Date
A	NEW DRAWING	12.08.22
B	ISSUED FOR SQUAD CHECK	16.08.22

LAYOUT

Project number 5062 7995
 Date 12.08.2022
 Drawn by X.D
 Checked by J.J

A.03
 Scale 1 : 50



Oct 10, 2022

PLAN ON POSTS

1 : 50



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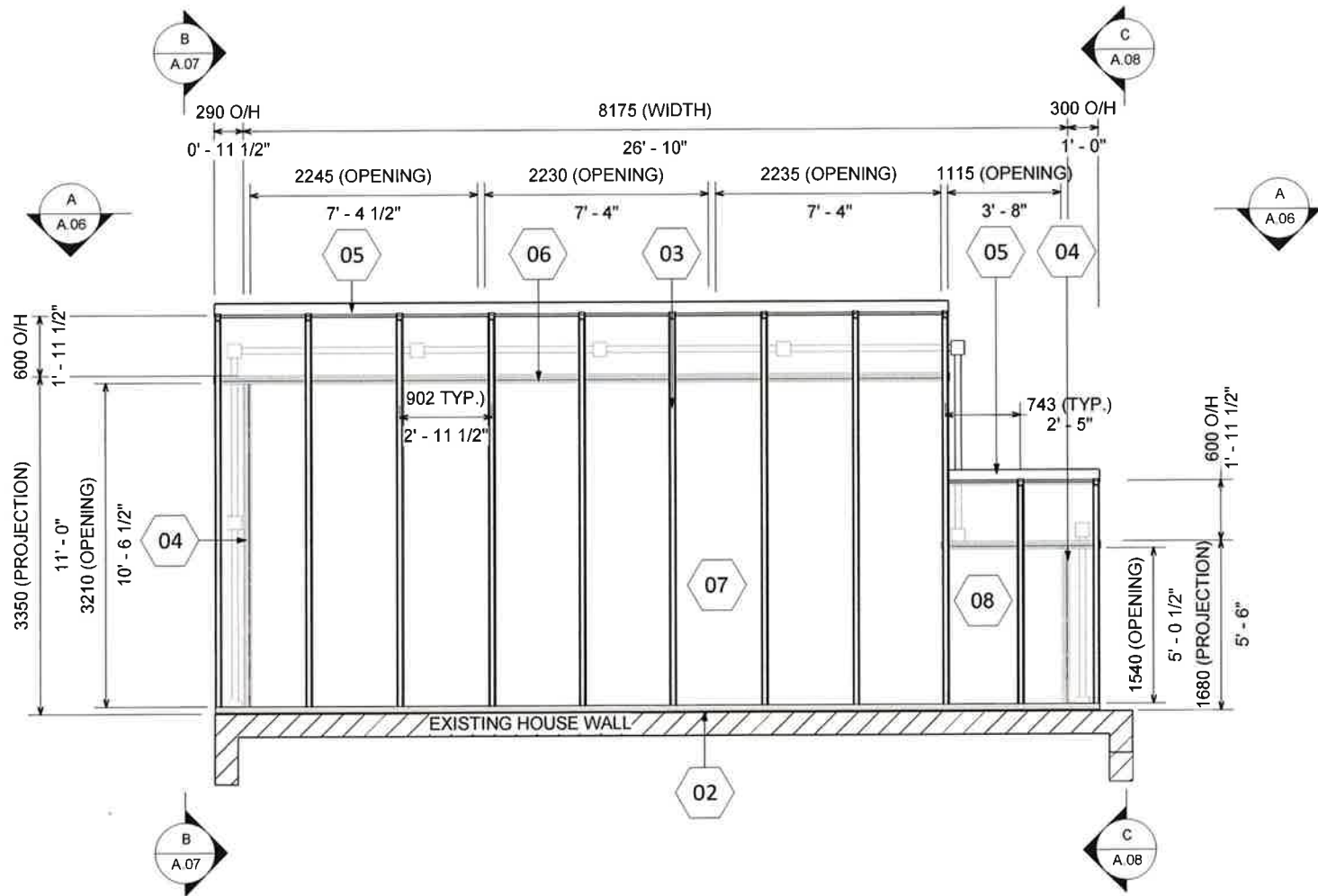
30 MELTWATER CRES, BRAMPTON, ON. L6P 3V8

No.	Description	Date
A	NEW DRAWING	12.08.22
B	ISSUED FOR SQUAD CHECK	16.08.22

LAYOUT

Project number 5062 7995	A.04
Date 12.08.2022	
Drawn by X.D	
Checked by J.J	
Scale 1 : 50	

2022-08-30 1:56:12 PM



Oct 10, 2022

PLAN ON COVER

1 : 50

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 30 MELTWATER CRES, BRAMPTON, ON. L6P 3V8

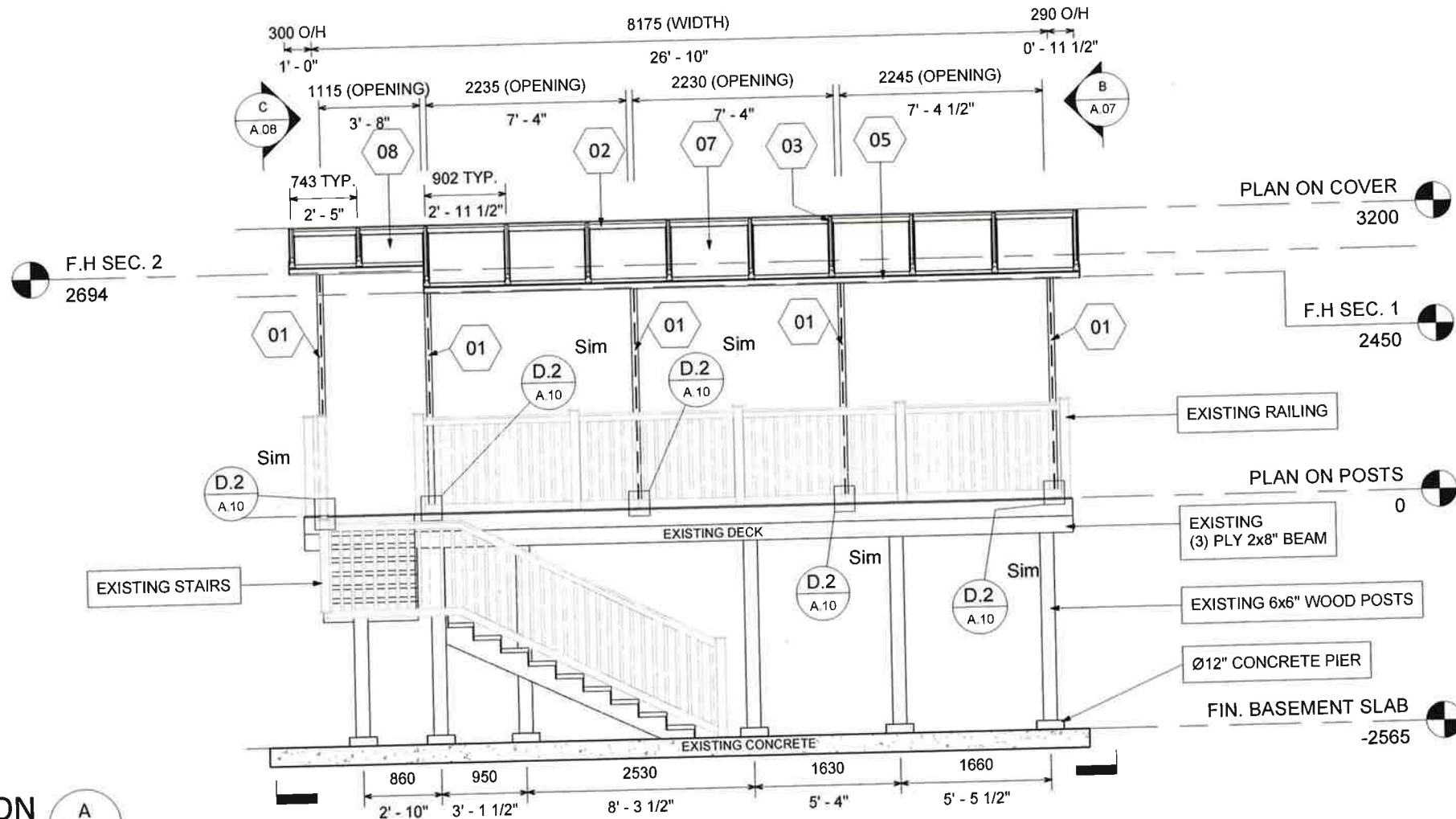
No.	Description	Date
A	NEW DRAWING	12.08.22
B	ISSUED FOR SQUAD CHECK	16.08.22

LAYOUT	
Project number 5062 7995	A.05
Date 12.08.2022	
Drawn by X.D	
Checked by J.J	
Scale 1 : 50	

2022-08-30 1:56:13 PM



Oct 10, 2022



ELEVATION

A
A.04

1 : 50



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30 MELTWATER CRES, BRAMPTON, ON. L6P 3V8

No.	Description	Date
A	NEW DRAWING	12.08.22
B	ISSUED FOR SQUAD CHECK	16.08.22

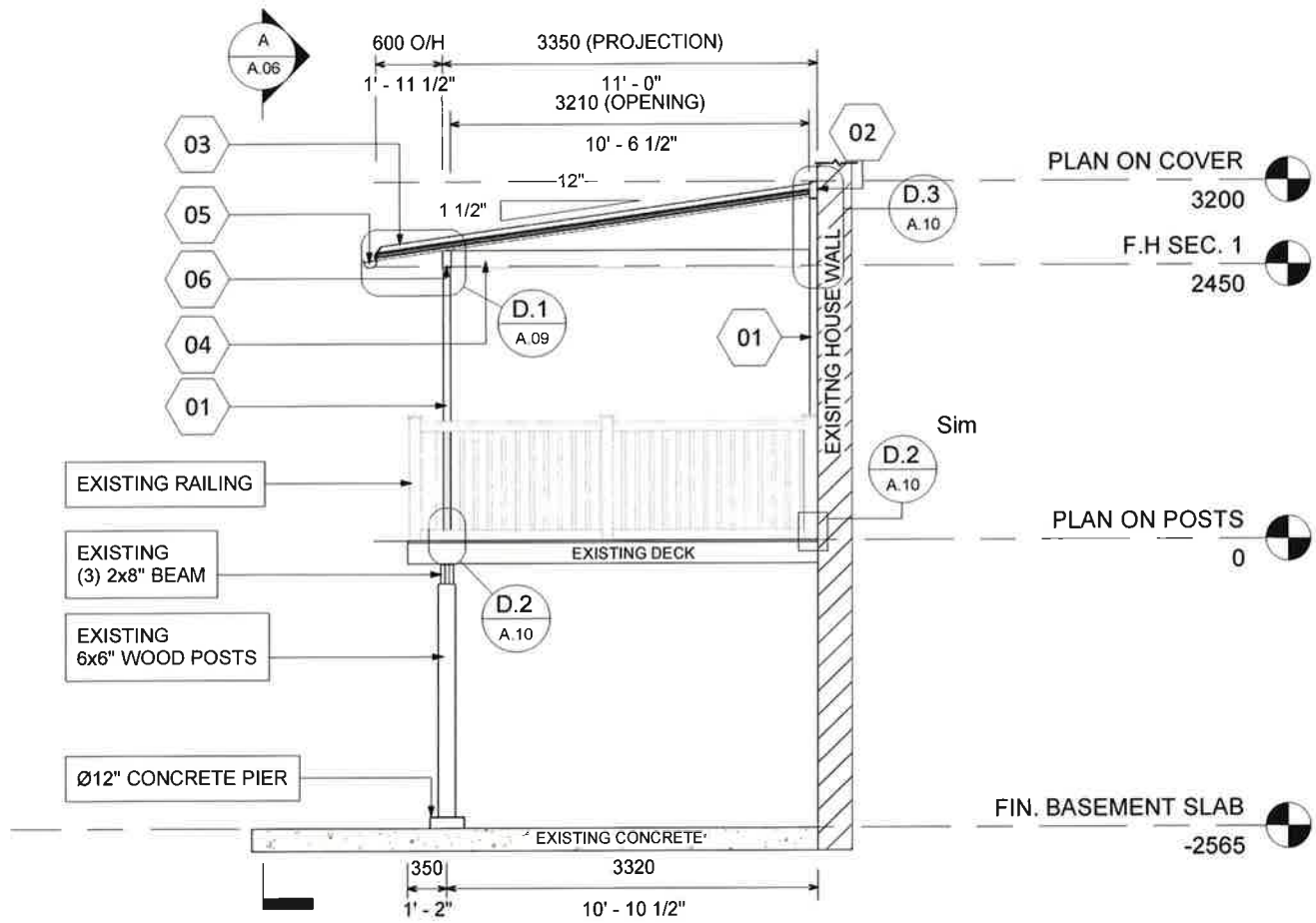
ELEVATION

Project number 5062 7995
Date 12.08.2022
Drawn by X.D
Checked by J.J

A.06

Scale 1 : 50

2022-08-30 1:56:14 PM



ELEVATION B
1 : 50 A.04



Oct 10, 2022



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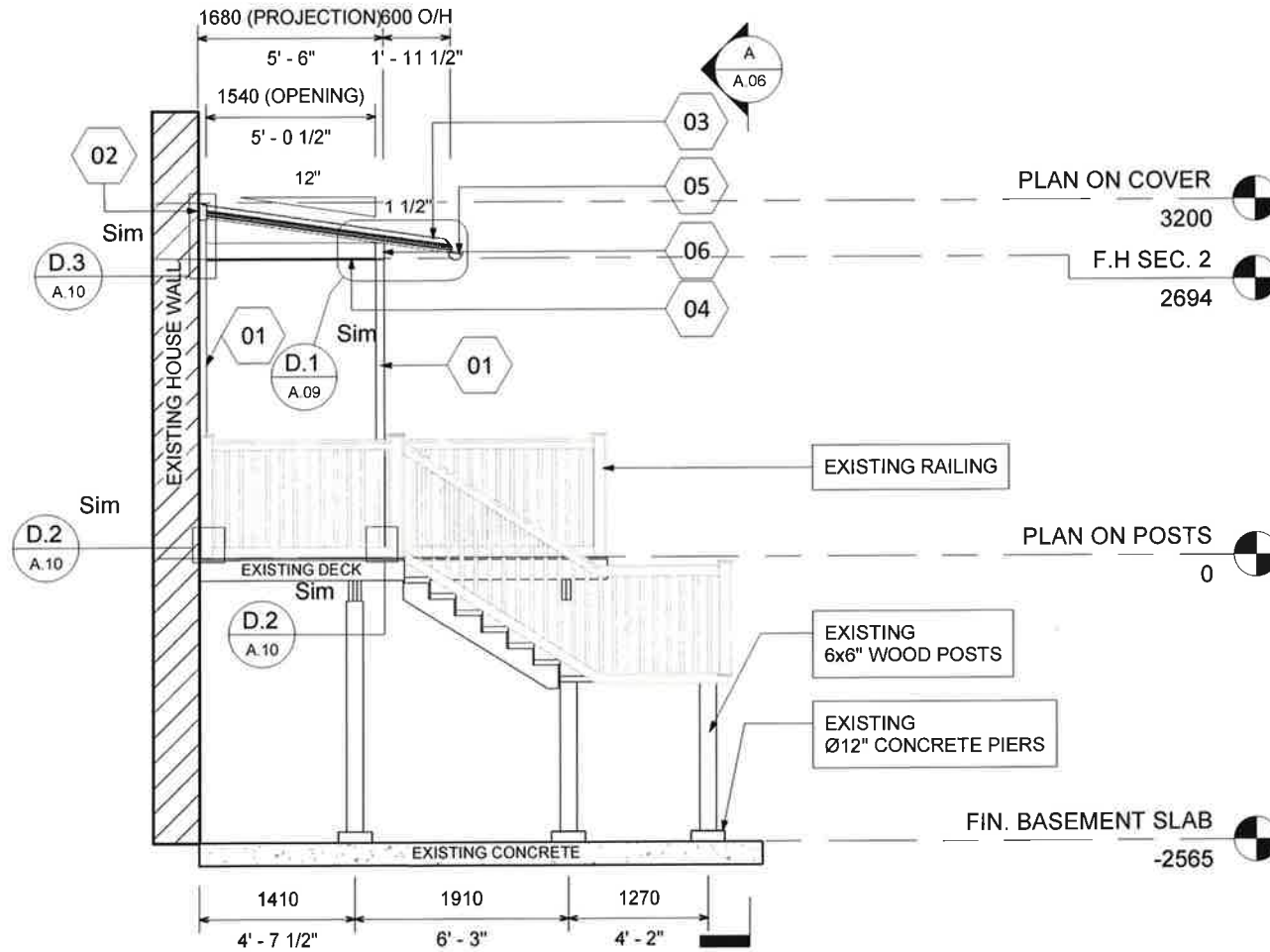
No.	Description	Date
A	NEW DRAWING	12.08.22
B	ISSUED FOR SQUAD CHECK	16.08.22

ELEVATION		
Project number	5062 7995	A.07
Date	12.08.2022	
Drawn by	X.D	
Checked by	J.J	Scale 1 : 50

2022-08-30 1:56:15 PM



Oct 10, 2022



ELEVATION

C
A.04

1 : 50



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30 MELTWATER CRES, BRAMPTON, ON. L6P 3V8

No.	Description	Date
A	NEW DRAWING	12.08.22
B	ISSUED FOR SQUAD CHECK	16.08.22

ELEVATION

Project number 5062 7995

Date 12.08.2022

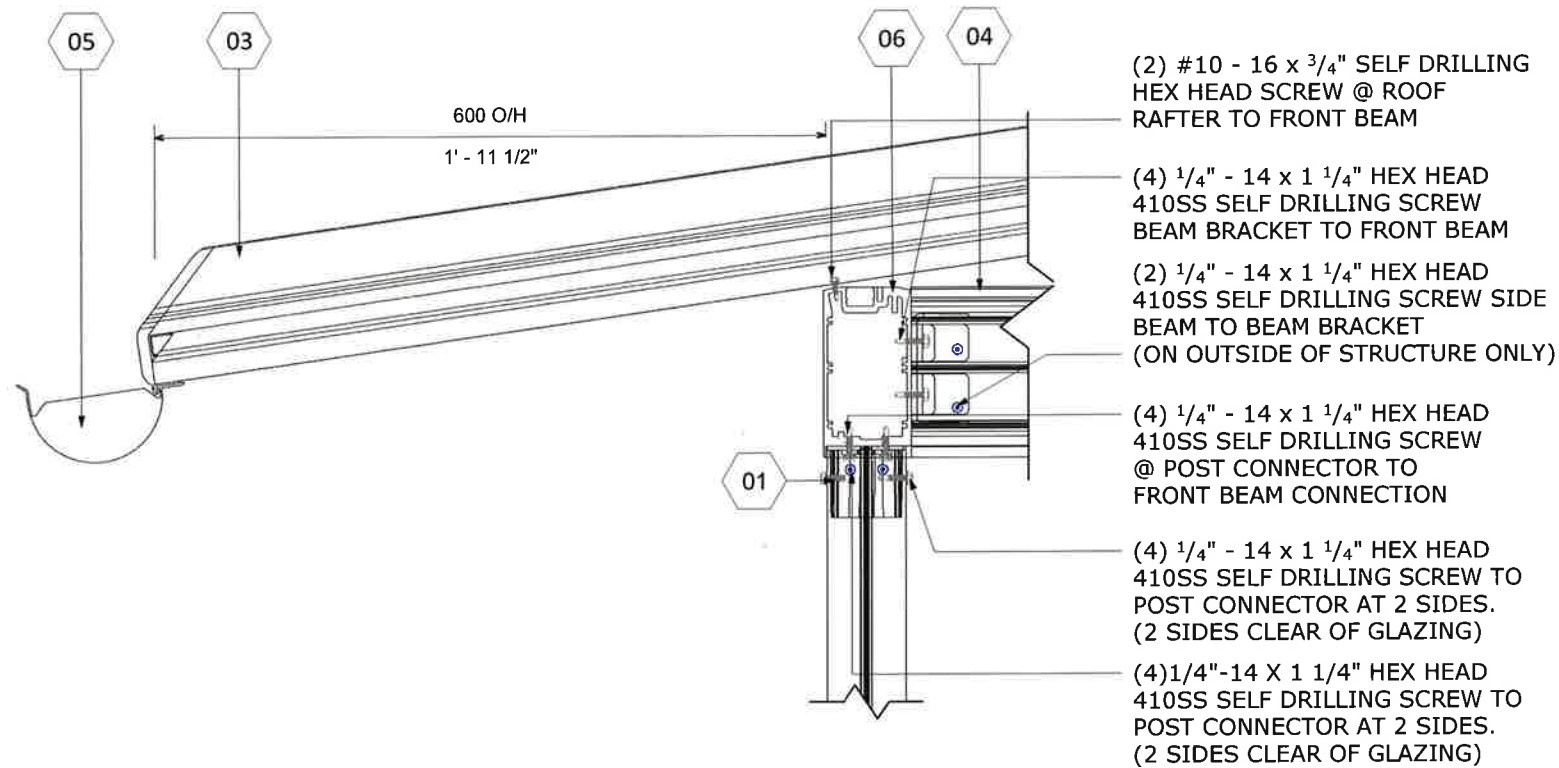
Drawn by X.D

Checked by Checker

A.08

Scale 1 : 50

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- (2) #10 - 16 x 3/4" SELF DRILLING HEX HEAD SCREW @ ROOF RAFTER TO FRONT BEAM
- (4) 1/4" - 14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW BEAM BRACKET TO FRONT BEAM
- (2) 1/4" - 14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW SIDE BEAM TO BEAM BRACKET (ON OUTSIDE OF STRUCTURE ONLY)
- (4) 1/4" - 14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW @ POST CONNECTOR TO FRONT BEAM CONNECTION
- (4) 1/4" - 14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW TO POST CONNECTOR AT 2 SIDES. (2 SIDES CLEAR OF GLAZING)
- (4) 1/4"-14 X 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW TO POST CONNECTOR AT 2 SIDES. (2 SIDES CLEAR OF GLAZING)



Oct 10, 2022

DETAIL

D.1

SCALE: 1 : 5

A.07



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30 MELTWATER CRES, BRAMPTON, ON. L6P 3V8

No.	Description	Date
A	NEW DRAWING	12.08.22
B	ISSUED FOR SQUAD CHECK	16.08.22

DETAIL CONNECTION

Project number 5062 7995

Date 12.08.2022

Drawn by X.D

Checked by J.J

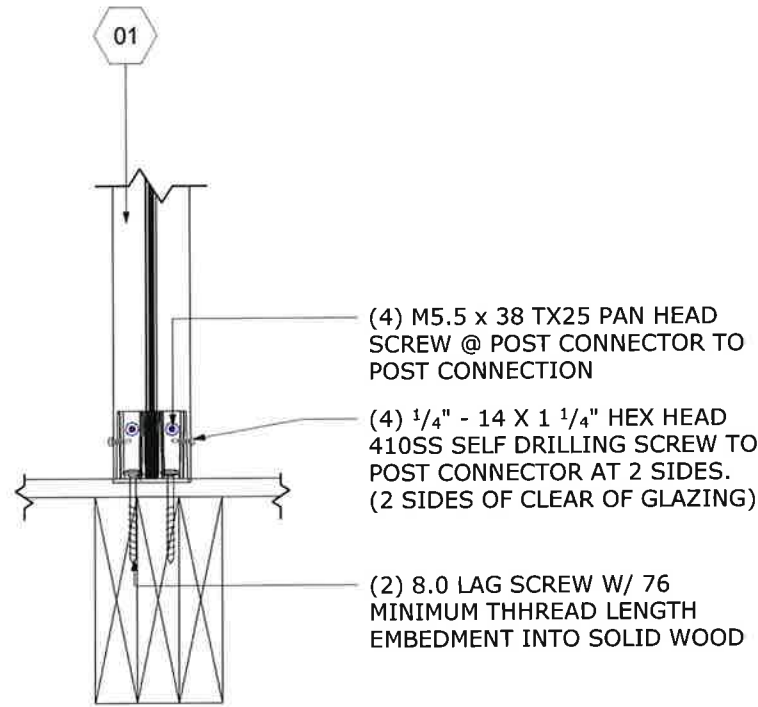
A.09

Scale 1 : 5

2022-08-30 1:56:17 PM



Oct 10, 2022



(4) M5.5 x 38 TX25 PAN HEAD SCREW @ POST CONNECTOR TO POST CONNECTION

(4) 1/4" - 14 X 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW TO POST CONNECTOR AT 2 SIDES. (2 SIDES OF CLEAR OF GLAZING)

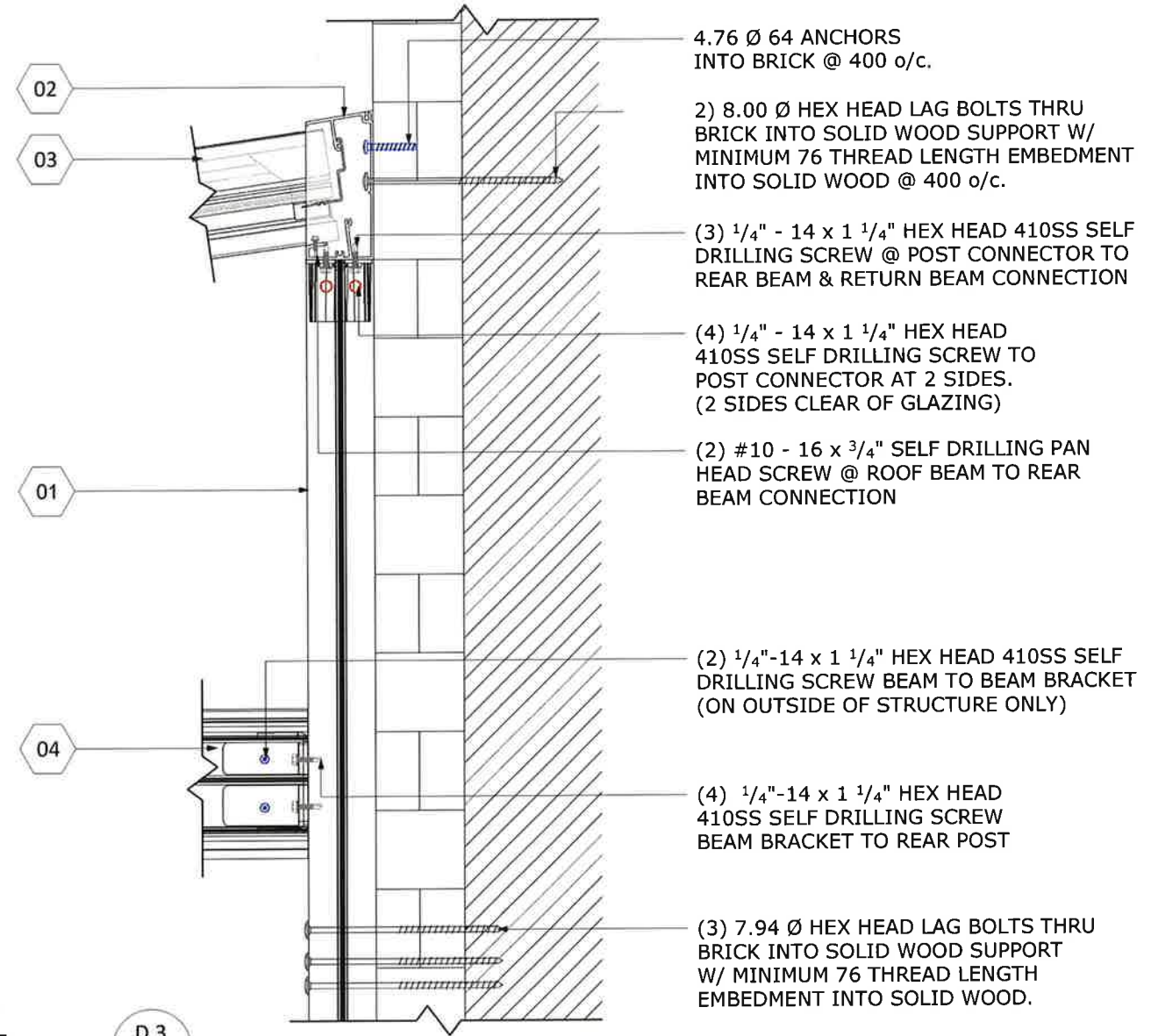
(2) 8.0 LAG SCREW W/ 76 MINIMUM THHREAD LENGTH EMBEDMENT INTO SOLID WOOD

DETAIL

SCALE: 1 : 5

D.2

A.06



4.76 Ø 64 ANCHORS INTO BRICK @ 400 o/c.

2) 8.00 Ø HEX HEAD LAG BOLTS THRU BRICK INTO SOLID WOOD SUPPORT W/ MINIMUM 76 THREAD LENGTH EMBEDMENT INTO SOLID WOOD @ 400 o/c.

(3) 1/4" - 14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW @ POST CONNECTOR TO REAR BEAM & RETURN BEAM CONNECTION

(4) 1/4" - 14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW TO POST CONNECTOR AT 2 SIDES. (2 SIDES CLEAR OF GLAZING)

(2) #10 - 16 x 3/4" SELF DRILLING PAN HEAD SCREW @ ROOF BEAM TO REAR BEAM CONNECTION

(2) 1/4"-14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW BEAM TO BEAM BRACKET (ON OUTSIDE OF STRUCTURE ONLY)

(4) 1/4"-14 x 1 1/4" HEX HEAD 410SS SELF DRILLING SCREW BEAM BRACKET TO REAR POST

(3) 7.94 Ø HEX HEAD LAG BOLTS THRU BRICK INTO SOLID WOOD SUPPORT W/ MINIMUM 76 THREAD LENGTH EMBEDMENT INTO SOLID WOOD.

DETAIL

SCALE: 1 : 5

D.3

A.07



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30 MELTWATER CRES, BRAMPTON, ON. L6P 3V8

No.	Description	Date
A	NEW DRAWING	12.08.22
B	ISSUED FOR SQUAD CHECK	16.08.22

DETAIL CONNECTION

Project number 5062 7995

Date 12.08.2022

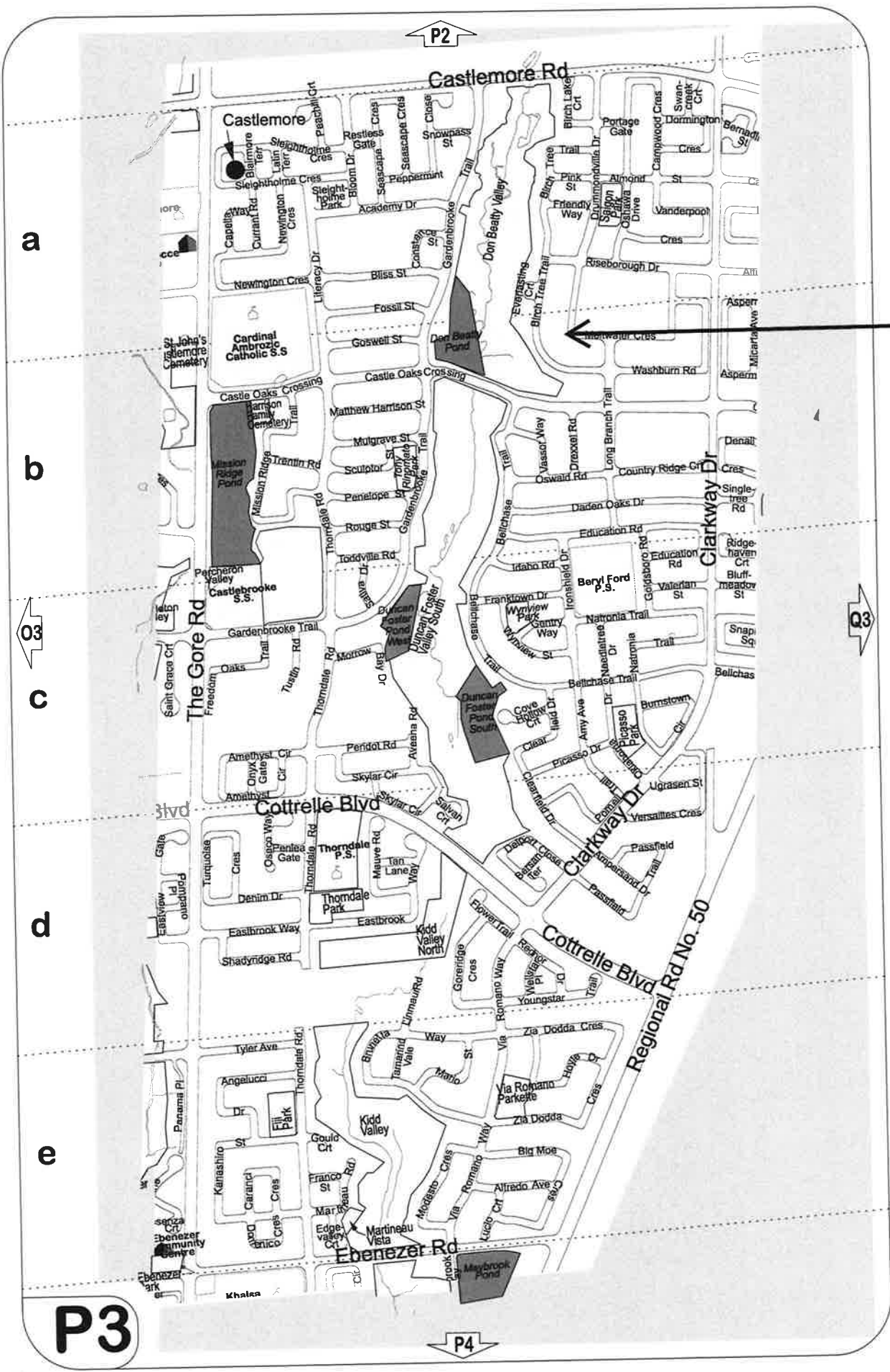
Drawn by X.D

Checked by J.J

A.10

Scale 1 : 5

2022-08-30 1:56:18 PM



a

b

c

d

e

P2

P4

P3

A-2023-0120