

APPLICATION FOR MINOR VARIANCE

HEREAS an application for minor variance has been made by **GURPREET SINGH AND DRAJDEEP SANDHU** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 199, Plan 43M-1718, Part 9, Plan 43R-32094 municipally known as **43 SPICEBUSH TERRACE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a landing with a height of 0.81m (2.66 ft) with a maximum length and width of 0.9m (2.95 ft) serving the principal entrance to a second unit whereas the by-law requires the landing serving a primary entrance to a second unit have a maximum height of 0.6m (2 ft.) with a maximum length and width of 0.9m (2.95 ft).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, May 30, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

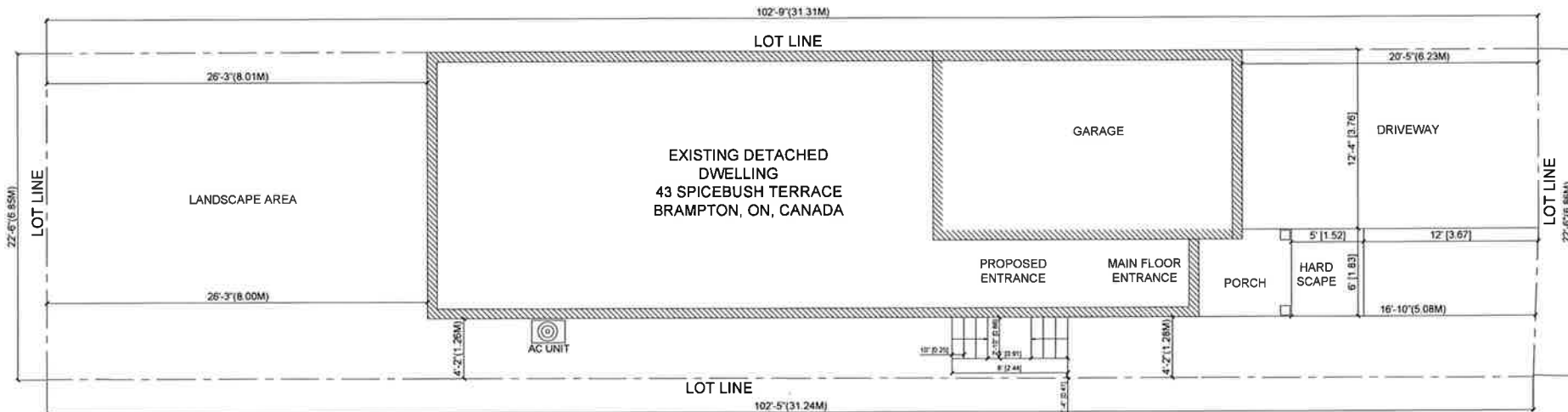
RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 18th Day of May, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



SITE PLAN

SCOPE OF WORK

PROPOSAL TO CONSTRUCT SECOND DWELLING UNIT AND ABOVE GRADE ENTRANCE

43 SPICEBUSH TERRACE, BRAMPTON, ON

JND
DESIGN STUDIO

JND DESIGN STUDIO INC.

Ph. No.: +1-647-512-5278
E: contact@jnddesignstudio.ca

THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION REQUIREMENT
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF DIVISION C OF O.B.C.

CHETAN DALAL
NAME

Chetan Dalal
SIGNATURE

124730
ICD#

SITE PLAN

APRIL 2023

SCALE (1:100)

A02

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 30, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 25, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 25, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

AMENDMENT LETTER

May 18, 2023

To: Committee of Adjustment
GURPREETSINGH AND RAJDEEP SANDHU
PART OF LOT 199, PLAN M-1718
A-2023-0141 – 43 SPICEBUSH TERRACE

Please **amend** application **A-2023-0141** to reflect the following:

1. To permit a landing with a height of 0.81m (2.66 ft) with a maximum length and width of 0.9m (2.95 ft) serving the principal entrance to a second unit whereas the by-law requires the landing serving a primary entrance to a second unit have a maximum height of 0.6m (2 ft.) with a maximum length and width of 0.9m (2.95 ft).



Applicant/Authorized Agent



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Gurpreet Singh, Rajdeep Sandhu
Address 43 Spicebush Terrace, Brampton, ON L6X 0J4, Canada

Phone # +1 (289) 654-5786 **Fax #** _____
Email Avninder.bhandari@gmail.com

2. **Name of Agent** Chetan Dalal
Address 4 Lackington St, Brampton, ON L6X 0R8, Canada

Phone # 647-512-5278 **Fax #** _____
Email Contact@jnddesignstudio.ca

3. **Nature and extent of relief applied for (variances requested):**

1) To permit stairs in interior side yard setback of 0.41 meters whereas the by-law requires a minimum interior side yard setback of 1.2 meters.
 2) To permit Above grade entrance door at the height of 0.81m in the side yard

4. **Why is it not possible to comply with the provisions of the by-law?**

To provide a second dwelling unit the entrance has to be above grade in the side yard and below grade is not possible on rear yard and the other side of the property due to insufficient space and privacy reason. So the only space where owner can construct the entrance is the side of the property.

5. **Legal Description of the subject land:**
Lot Number 199 L
Plan Number/Concession Number M1718
Municipal Address 43 SPICEBUSH TERR, BRAMPTON, ON, L6X0J4

6. **Dimension of subject land (in metric units)**
Frontage 6.86 m
Depth 31.63 m
Area 216.98 Sqm

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor area= 85.23 sqm, Gross floor area=232.00 sqm , No. of storeys= 2
Width= 5.59 m, Length= 17.10m, Height=6.24m.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Above grade entrance door

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 5.08 m
Rear yard setback 8.01 m
Side yard setback 1.26 m
Side yard setback 0.0 m

PROPOSED

Front yard setback 5.08 m
Rear yard setback 8.01 m
Side yard setback 0.41 m
Side yard setback 0.0 m

10. Date of Acquisition of subject land: 2019

11. Existing uses of subject property: Residential - Single dwelling unit

12. Proposed uses of subject property: Residential - Two dwelling unit

13. Existing uses of abutting properties: Residential

14. Date of construction of all buildings & structures on subject land: 2008

15. Length of time the existing uses of the subject property have been continued: 15 years

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well

(b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic

(c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Randeep Kaur Sandhu
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton
THIS 2nd DAY OF May, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, RADEEP SANDHU, OF THE CITY OF BRAMPTON
IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE
City OF Brampton
IN THE Region OF
Peel THIS 2nd DAY OF
May, 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

J.M.
Randeep Kaur Sandhu
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

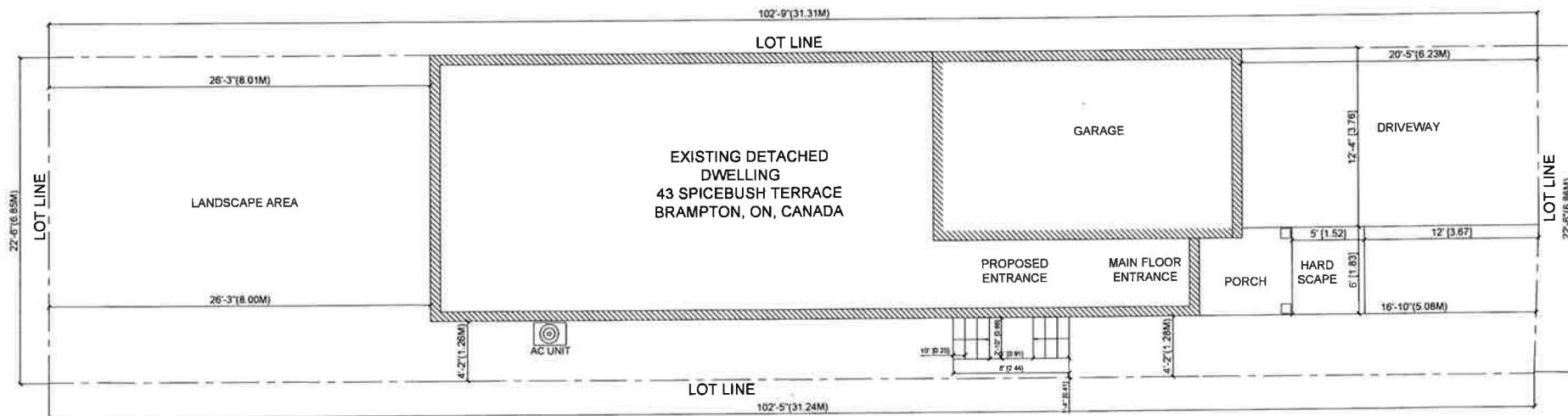
Present Official Plan Designation: _____

Present Zoning By-law Classification: R2A-1308

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Todd Payne Zoning Officer April 28, 2023 Date

DATE RECEIVED May 2, 2023
Date Application Deemed Complete by the Municipality _____



SITE PLAN

SCOPE OF WORK

PROPOSAL TO CONSTRUCT SECOND DWELLING UNIT AND ABOVE GRADE ENTRANCE

43 SPICEBUSH TERRACE, BRAMPTON, ON

JND
DESIGN STUDIO

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QUALIFICATION REQUIREMENT REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF DIVISION C OF O.B.C.

CHITAN DALAL
NAME SIGNATURE

124730
ACIN

SITE PLAN

APRIL 2023

SCALE (1:100)

A02

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



PLAN OF SURVEY OF
 LOTS 195 TO 200, BOTH INCLUSIVE
 BLOCKS 245 AND 246
 REGISTERED PLAN 43M-1718
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL
 SCALE 1:250
 SCHAEFFER & DZALDOV LIMITED



DOCUMENTS RELEASED PURSUANT TO A REQUEST UNDER THE MUNICIPAL FREEDOM OF INFORMATION AND PROTECTION OF PRIVACY ACT R.S.O. 1990c. M56

COPYRIGHT ACT R.S., 1985, c. C-42 APPLIES TO THE USE AND REPRODUCTION OF THESE DOCUMENTS

NOTES

SB	SHORT STANDARD IRON BAR
IB	IRON BAR
R	REGISTERED PLAN 43M-1718
RF	ROSE-FRENCH & EDWARD SURVEYING LTD.
S22	SCHAEFFER & DZALDOV LIMITED, O.L.S.
ST	WEST OF HURONTARIO STREET
D.U.C.	DRAWING UNDER CONSTRUCTION
F	FACE LIGHT METRIC DIMENSION WALL OUTSIDE FACE OF WALL

BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM THE 83 UTM COORDINATE SYSTEM AND ARE REFERRED TO THE NORTHERLY LIMIT OF SPICEBUSH TERRACE AS SHOWN ON REGISTERED PLAN 43M-1718, HAVING A BEARING OF N78°4'10"E.

ALL FOUND MONUMENTS ARE 18" UNLESS NOTED OTHERWISE.

ALL FOUND MONUMENTS ARE NUMBERED S22 UNLESS NOTED OTHERWISE.

ALL MEASUREMENTS TO DWELLINGS ARE TAKEN TO CONCRETE FOUNDATION.

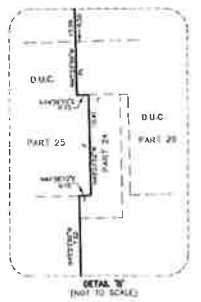
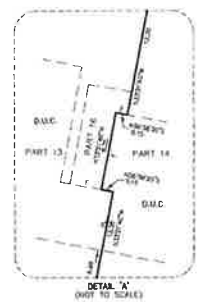
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 15TH DAY OF AUGUST, 2008.

DATE AUGUST 15, 2008

W. M. Fenlon
 W. M. FENLON
 Ontario Land Surveyor

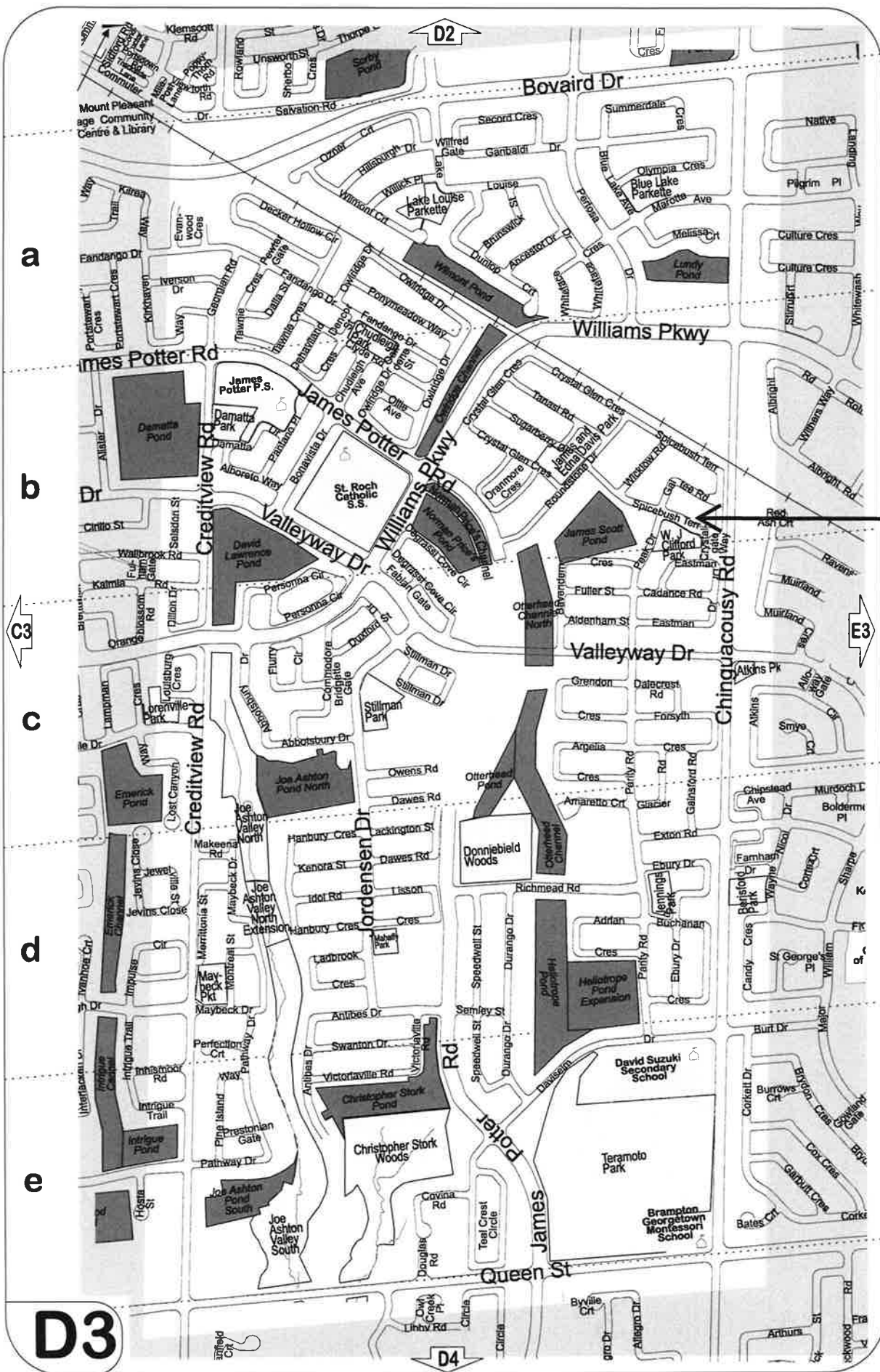


SCHAEFFER & DZALDOV LIMITED
 ONTARIO LAND SURVEYORS

64 JARDIN DRIVE, COBURN, ONTARIO L4K 3P3 TEL: (416) 987-0101

DRAWN SA/MSC/DC/CHECKED WAF SCALE 1:250 JOB NO. 06-336-00

ONG NO. 06-336-00-190



A-2023-0141

a

b

c

d

e

D3

D4

C3

E3