

APPLICATION # A-2023-0113
WARD #4

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **OM JAKHU AND CHANDER KANTA JAKHU** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 156, Plan M-740 municipally known as **18 SCARLETT DRIVE**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a driveway width of 10.37m (34 ft) whereas the by-law permits a maximum driveway width of 7.32m (24 ft);
2. To permit a 0.3m (0.98 ft) wide permeable landscape strip between the side lot line and the driveway whereas the by-law requires a minimum 0.6m (1.97 ft) wide permeable landscape strip between the side lot line and the driveway.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO File Number: _____
Application for Consent: NO File Number: _____

The Committee of Adjustment has appointed **TUESDAY, May 30, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 18th Day of May, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

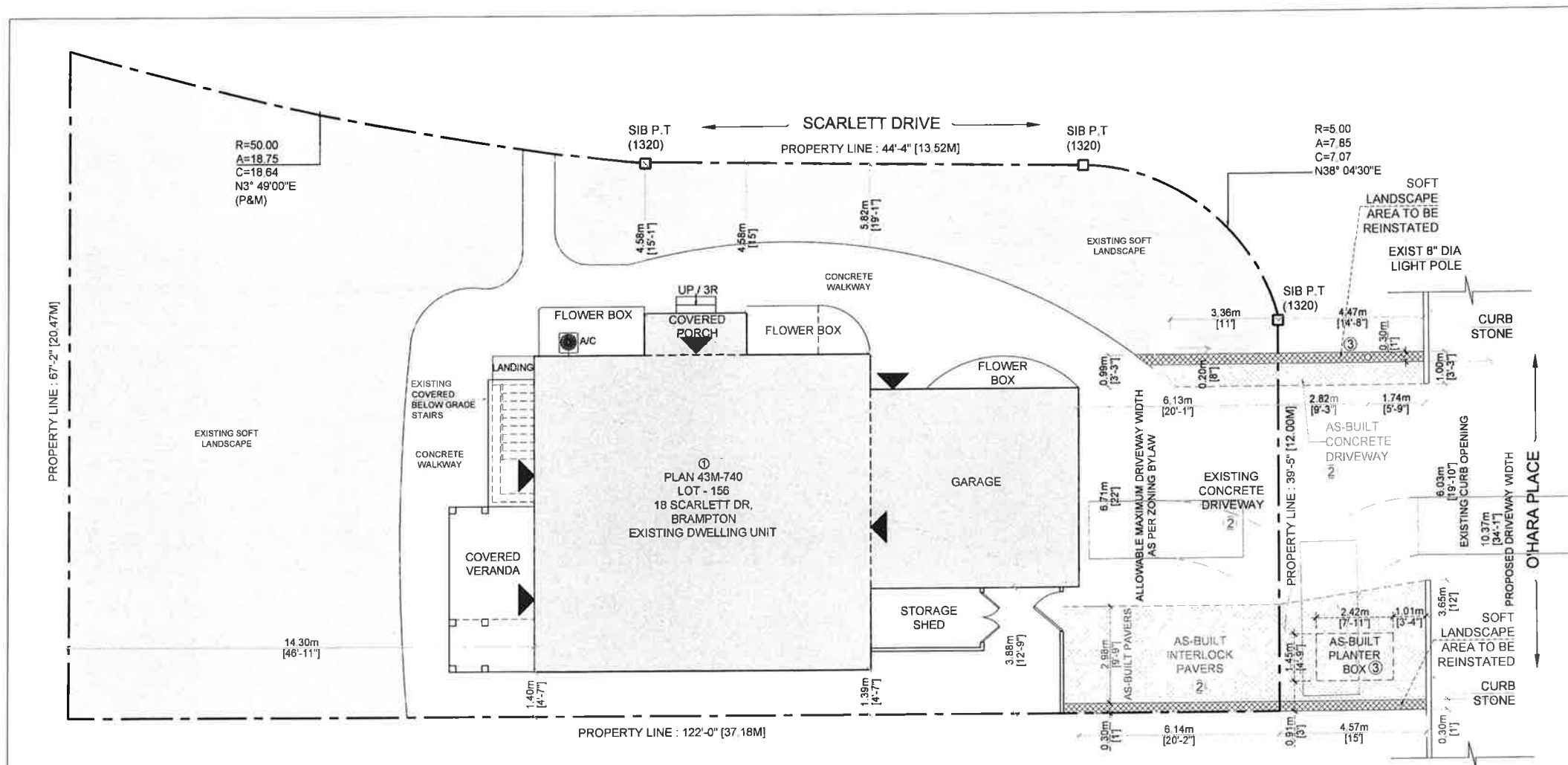
Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

RELEASED FOR BUILDING PERMIT
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND BEWARE DIMENSIONS OF ANY TO BE CONSULTANT'S SURVEY CONSTRUCTION. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF WORK.
 THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS ORDERED BY THE ARCHITECT. IT IS TO BE APPROVED / DULGATED FROM ROAD DRAWING ACCORDINGLY.

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THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND BEWARE DIMENSIONS OF ANY TO BE CONSULTANT'S SURVEY CONSTRUCTION. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF WORK.

NO	DATE	REVISION / ISSUED
01	2023 10 07	SCHEMATIC LAYOUT
02	2023 10 08	PERMIT APPLICATION

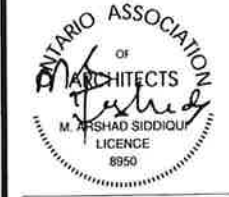


NO	DATE	REVISION / ISSUED
01	2023 10 07	SCHEMATIC LAYOUT
02	2023 10 08	PERMIT APPLICATION

OWNER

OM JAKHU
 ARCHITECT

C-Architecture Ltd
 10368 WINSTON CHURCHILL BLVD.
 HALTON HILLS ON L7G 4S7
 c: 947.741.5917, e: info@c-archi.com
 SEAL



ALTERATIONS
 (DRIVEWAY)

18 SCARLETT DR,
 BRAMPTON

1
 A-001

SITE PLAN
 SCALE : 3/32" = 1'-0"

LEGEND

--- PROPERTY LINE

▲ ENTRANCE & EGRESS

SCOPE OF WORK

① EXISTING TWO UNIT DWELLING

② PROPOSED DRIVEWAY WIDENING / ALTERATIONS

③ PROPOSED DEMOLITION / REMOVAL OF AS-BUILT CONDITION

SITE LOCATION



PARKING SPACES PROVIDED

FOUR PARKING SPACES PROVIDED
 (TWO OUTSIDE & TWO INSIDE THE GARAGE)

SITE PLAN

SCALE: 3/32" = 1'-0"

DATE: 2022.10.06

PROJECT: 22-126

DRAWING NO:

A-001

REVISION: 00

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 30, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 25, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 25, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance.

Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** OM JAKHU / CHANDER KANTA JAKHU
Address 18 SCARLETT DR, BRAMPTON ON L6Y 3R7

Phone # 437.288.9933 **Fax #** _____
Email ojakhu@hotmail.com

2. **Name of Agent** M. ARSHAD SIDDIQUI
Address 10368 WINSTON CHURCHILL BLVD, HALTON HILLS ON L7G 4S7

Phone # 647.741.5917 **Fax #** _____
Email arshad@c-archi.com

3. **Nature and extent of relief applied for (variances requested):**
 TO PERMIT A 0.3 METRE WIDE PERMEABLE LANDSCAPE STRIP BETWEEN THE SIDE LOT LINE AND THE DRIVEWAY WHEREAS THE BY-LAW REQUIRES A MINIMUM 0.6 METRE WIDE PERMEABLE LANDSCAPING BETWEEN THE SIDE LOT LINE AND THE DRIVEWAY.

4. **Why is it not possible to comply with the provisions of the by-law?**
 DESIGN OF HARDSCAPE IN THE FRONT YARD IS TO ALLOW FOR THREE-POINT TURNING TO FACE THE ONCOMING TRAFFIC FROM THREE SIDES, AS THE HOUSE IS A CORNER UNIT, TO ENSURE SAFETY FOR DRIVERS / PASSENGERS SAFETY.

5. **Legal Description of the subject land:**
Lot Number 156
Plan Number/Concession Number 43N-740
Municipal Address 18 SCARLETT DR, BRAMPTON ON L6Y 3R7

6. **Dimension of subject land (in metric units)**
Frontage 12 M
Depth 37.18 M
Area 693.66 SM

7. **Access to the subject land is by:**

Provincial Highway	<input type="checkbox"/>	Seasonal Road	<input type="checkbox"/>
Municipal Road Maintained All Year	<input checked="" type="checkbox"/>	Other Public Road	<input type="checkbox"/>
Private Right-of-Way	<input type="checkbox"/>	Water	<input type="checkbox"/>

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

MAIN RESIDENTIAL BUILDING : 278.81 SM GFA

PROPOSED BUILDINGS/STRUCTURES on the subject land:

NA

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.13 M
Rear yard setback 14.30 M
Side yard setback 1.39 M
Side yard setback 4.58 M

PROPOSED

Front yard setback 6.13 M
Rear yard setback 14.30 M
Side yard setback 1.39 M
Side yard setback 4.58 M

10. Date of Acquisition of subject land: 2004

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: 2004

15. Length of time the existing uses of the subject property have been continued: 18 YEARS

16. (a) What water supply is existing/proposed?
Municipal [checked]
Well []
Other (specify) NA

(b) What sewage disposal is/will be provided?
Municipal [checked]
Septic []
Other (specify) NA

(c) What storm drainage system is existing/proposed?
Sewers [checked]
Ditches []
Swales []
Other (specify) NA

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # NA Status NA

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>
File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>
File # <u>NA</u>	Decision <u>NA</u>	Relief <u>NA</u>

MS [Signature]
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON
THIS 26 DAY OF APRIL, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, M. ARSHAD SIDDIQUI, OF THE TOWN OF HALTON HILLS

IN THE REGION OF HALTON SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY OF BRAMPTON
IN THE REGION OF
PEEL THIS 26 DAY OF
JANUARY April, 2023

[Signature]
Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.
[Signature]
Signature of Applicant or Authorized Agent

[Signature]
A Commissioner etc.

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: R1C-2608

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

[Signature] Zoning Officer January 23, 23
Date

DATE RECEIVED April 26, 2023

Date Application Deemed Complete by the Municipality _____

RELEASED FOR BUILDING PERMIT
 CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES OF ANY TO THE CONSULTANTS BEFORE CONSTRUCTION
 ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK
 UNLESS STATED BY THE ARCHITECT IT IS TO BE USED FOR CONSTRUCTION
 IF THIS SHEET IS NOT 11" x 17" IT IS A REDUCED / ENLARGED PRINT READING ACCORDINGLY

COPYRIGHT RESERVED
 THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ARCHITECT REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ARCHITECT IS PROHIBITED

NO	DATE	REVISION / ISSUED
01	2022.10.07	ISSUE FOR PERMIT
02	2022.10.06	ISSUE FOR APPLICATION

NO	DATE	REVISION / ISSUED

OWNER:

 OM JAKHU
 ARCHITECT

 C-Architecture Ltd
 10368 WINSTON CHURCHILL BLVD,
 HALTON HILLS ON L7G 4S7
 c: 647.741.5917, e: info@c-archi.com
 SEAL



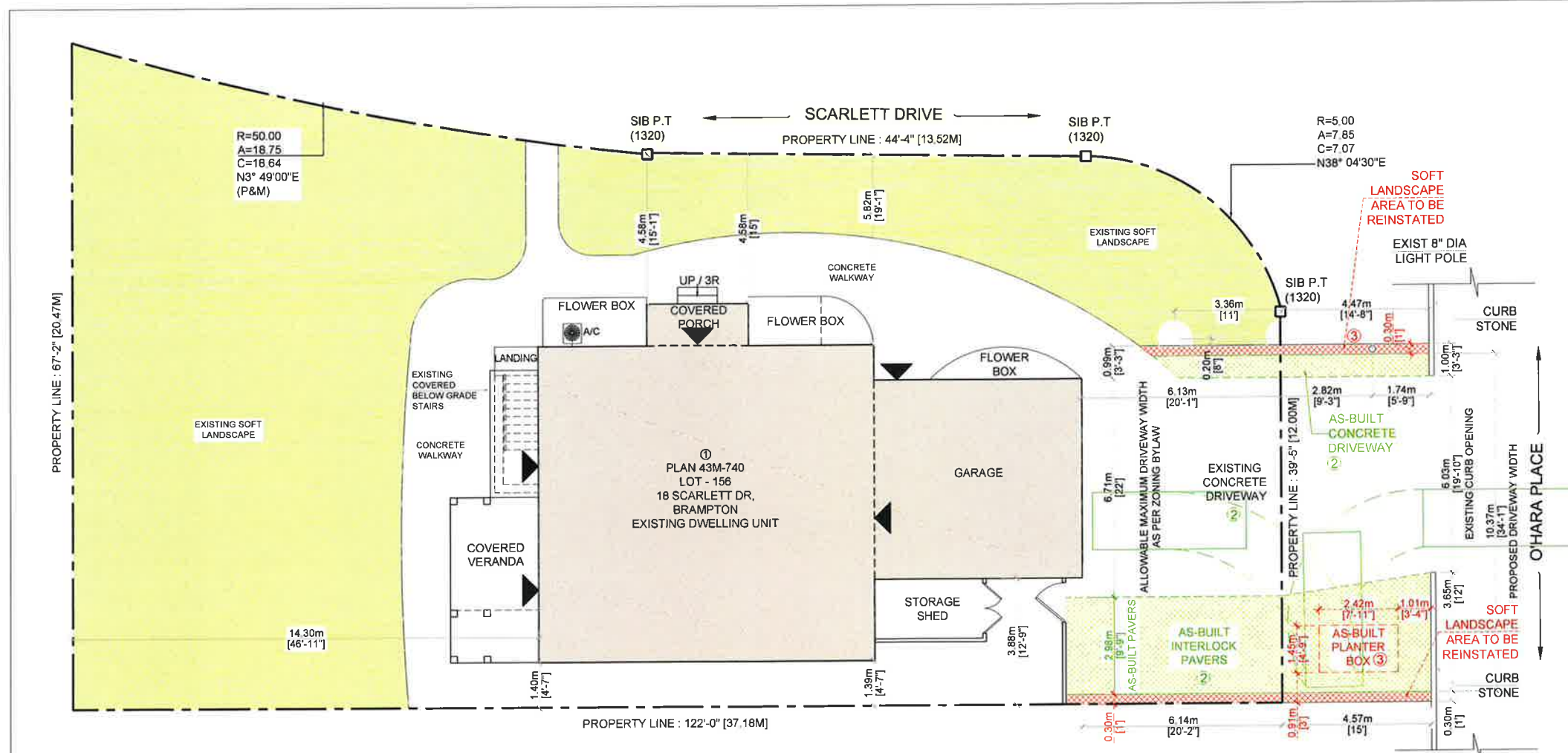
ALTERATIONS (DRIVEWAY)

 18 SCARLETT DR,
 BRAMPTON

SITE PLAN

 SCALE: 3/32" = 1'-0"
 DATE: 2022.10.06
 PROJECT: 22-126
 DRAWING NO:

A-001
 REVISION: 00



1 SITE PLAN
 A-001 SCALE : 3/32" = 1'-0"

LEGEND
 --- PROPERTY LINE
 ▲ ENTRANCE & EGRESS

PARKING SPACES PROVIDED
 FOUR PARKING SPACES PROVIDED
 (TWO OUTSIDE & TWO INSIDE THE GARAGE)

SCOPE OF WORK

- ① EXISTING TWO UNIT DWELLING
- ② PROPOSED DRIVEWAY WIDENING / ALTERATIONS
- ③ PROPOSED DEMOLITION / REMOVAL OF AS-BUILT CONDITION

SITE LOCATION

18 SCARLETT DRIVE,
 BRAMPTON



**BUILDING LOCATION SURVEY OF
LOTS 156, 157, 158 AND 159
PLAN 43M-740
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL**



SCALE 1 : 300
ANTON KIKAS LIMITED
ONTARIO LAND SURVEYORS, 1987

METRIC: DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

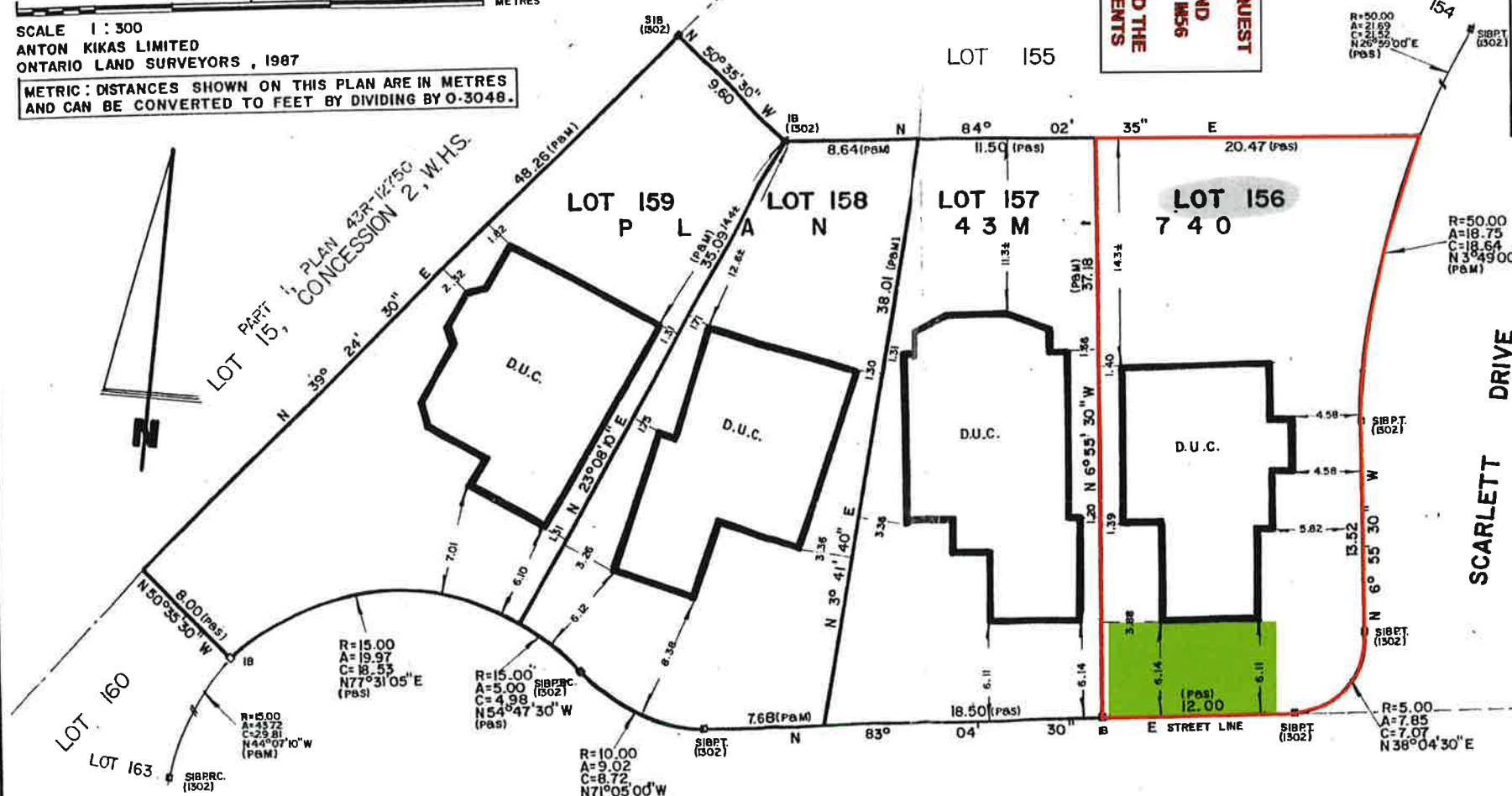


LOT PART 1, PLAN 43M-740
CONCESSION 2, W.H.S.

RELEASED PURSUANT TO A REQUEST
UNDER THE
ACCESS TO INFORMATION ACT /
LA LOI SUR L'ACCÈS À L'INFORMATION
ACT R.S., 1985, c. C-42 APPLIES TO THE
PRODUCTION OF THESE DOCUMENTS

NOTES:
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHERLY LIMIT OF O'HARA PLACE AS SHOWN ON PLAN 43M-740 HAVING A BEARING OF N 83° 04' 30" E.
BUILDING TIES SHOWN HEREON ARE TO CONCRETE FOUNDATION UNLESS NOTED OTHERWISE.

LEGEND
■ DENOTES SURVEY MONUMENT FOUND
□ DENOTES SURVEY MONUMENT PLANTED
S.I.B. DENOTES STANDARD IRON BAR
I.B. DENOTES IRON BAR
D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
(1302) DENOTES A. SKRANDA O.L.S.
(PAS) DENOTES PLAN 43M-740 B SET
(P&M) DENOTES PLAN 43M-740 B-MEASURED

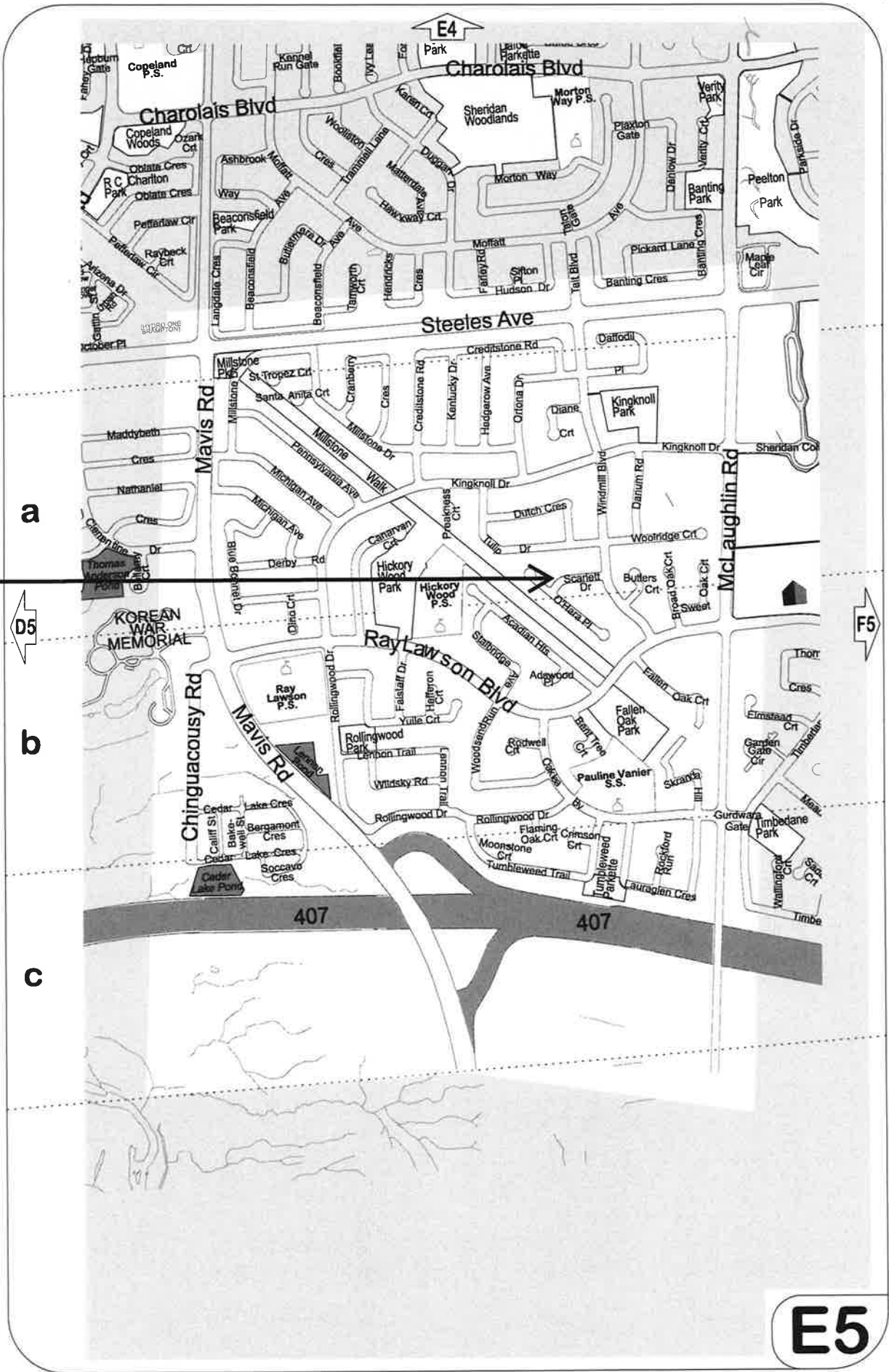


SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
THE FIELD SURVEY REPRESENTED ON THIS PLAN WAS
COMPLETED ON THE 2nd DAY OF JULY, 1987
July 7, 1987
DATE
W. JOHN BURG
ONTARIO LAND SURVEYOR

Anton Kikas Limited
Consulting Engineers
Ontario Land Surveyors - Planners
158 Bridgeland Avenue Toronto M6A 1Z4 Tel. 787-0303

DRAWN BY : J.J.	JOB № 86-188-19
CHECKED BY : T.M./J.B.	

A-2023-0113



E5