

Deck Permit

Site Plan

General notes

- All dimensions to be checked and verified on site prior to commencement of work. Any discrepancies shall be brought to the attention of permitguys prior to continuation of work.
- The contractor shall take all precautionary measures under the occupational health and safety act as required by the ministry of labour.
- All work shall be done in accordance with the minimum standards and specifications of the municipality's engineering department.
- All work in the municipal road allowance shall meet the minimum standards and specifications of the municipality's engineering department. The contractor is required to obtain & pay for permit to work in municipal R.O.W.
- Prior to commencing any work on the installation of services & grading, an approved set of plans and specifications must be available on the job site and shall remain there while work is being done.
- The owners of the utilities must be informed at least two weeks prior to construction on any existing municipal road allowance. All existing underground utilities within the limits of construction shall be located and marked. Any utilities, damaged or disturbed during construction, shall be repaired or replaced to the satisfaction of the governing body of the contractor's expense.
- Prior to commencing any construction, all sewer outlet information, benchmarks, elevations, dimensions and grades must be checked by the contractor and verified and any discrepancies reported to the engineer.
- The contractor is responsible for ensuring that there is no interruption of any surface or subsurface drainage flow that would adversely affect neighboring properties.

Legal Information

LOT OF 6, 7, 8 AND 9
Plan 43M-2035
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEI

Scope of Work

Rear Yard Deck

Existing Dwelling

- More than 5 year old
- Less than 5 year old

Site Statistics (All Units in Metric)

Lot Information	LOT 9	
Lot Depth	34.77	
Lot Frontage	15.20	
Lot Area	518.76	
Zone	R1E	
Lot Coverage		
Dwelling Area	248.02	
Ex. Porch & Deck	5.42	
Proposed Deck	55.28	
Total Area	308.72	
Total Coverage (%)	59.51%	
	Area of Work	55.28



permitguys
80 Clermontine Dr. Unit 115
Brampton ON L6Y 5R5
Tel: 416 479 9556
Email: info@permitguys.ca

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.
Qualification Information:
Aamou Rafiq 113576
Rigmo
Registration Info: **Permitguys.ca Inc.** 110882

Site Plan
Project Name: **66 Malaspina Ct**
Municipality: **Brampton, ON**
Project No: 22-192
Drawn By: KJ
Checked By: MZ
Date: 2023-04-10
Scale: 3/32"=1'-0"
Filename: 66 MALASPINA CT_DECK-V4
Sheet No: **A1**

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **May 30, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, May 25, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, May 25, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, May 25, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0116

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION
Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Noor Faridi / Ambreen Faridi
Address 66 Malaspina Close Brampton, Ontario, L6Y 6E2

Phone # (647) 684-5025 **Fax #** _____
Email Noor.faridi@gltraders.com

2. **Name of Agent** Ken Jentas
Address 80 Clementine Drive #15 Brampton, Ontario, L6Y 5R5

Phone # 4163028558 **Fax #** _____
Email kjentas@permitguvs.ca

3. **Nature and extent of relief applied for (variances requested):**
to permit a rear yard setback of 3.02m to a deck and 2.12m to the landing.

4. **Why is it not possible to comply with the provisions of the by-law?**
A minimum 4.5 m rear yard setback is required to a deck, which includes a landing that is more than 0.6 m above grade.

5. **Legal Description of the subject land:**
Lot Number 9
Plan Number/Concession Number Plan 43M-2035
Municipal Address 66 Malaspina Close, Brampton ON L6Y 6E2

6. **Dimension of subject land (in metric units)**
Frontage 15.44m
Depth 34.77m
Area 518.76m

7. **Access to the subject land is by:**
Provincial Highway Seasonal Road
Municipal Road Maintained All Year Other Public Road
Private Right-of-Way Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area GFA: 227.84m, Basement Area: 165.89 Total Gross Floor Area: 227.84, Total Number of Storeys: 2
Dwelling Area: 248.02

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Area of Proposed Deck 55.28 m, Width Proposed Deck 12.710, Max. Depth of Proposed Deck 4.533 Min.
Height of Proposed Deck: 3.05 m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	5.38 m
Rear yard setback	7.84 m
Side yard setback	1.24 m
Side yard setback	1.25 m

PROPOSED

Front yard setback	5.38 m (no changes)
Rear yard setback	3.03 m (Proposed Rear Deck)
Side yard setback	1.24 m (no changes)
Side yard setback	1.25 m (no changes)

10. Date of Acquisition of subject land: SEPTEMBER 2018
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: AUGUST 2018
15. Length of time the existing uses of the subject property have been continued: 5 Years

16. (a) What water supply is existing/proposed?
Municipal Other (specify) _____
Well
- (b) What sewage disposal is/will be provided?
Municipal Other (specify) _____
Septic
- (c) What storm drainage system is existing/proposed?
Sewers Other (specify) _____
Ditches
Swales

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes No

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes No

19. Has the subject property ever been the subject of an application for minor variance?

Yes No Unknown

If answer is yes, provide details:

File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____
File # _____ Decision _____ Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE Town _____ OF Halton Hills _____

THIS 28 DAY OF March, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Ken Jentas, OF THE Town _____ OF Halton Hills _____

IN THE Town _____ OF Halton Hills _____ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE BY ME IN OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel

THIS 27th DAY OF

April, 2023

A Commissioner etc.

Deanne Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1E - 2460

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto

Zoning Officer

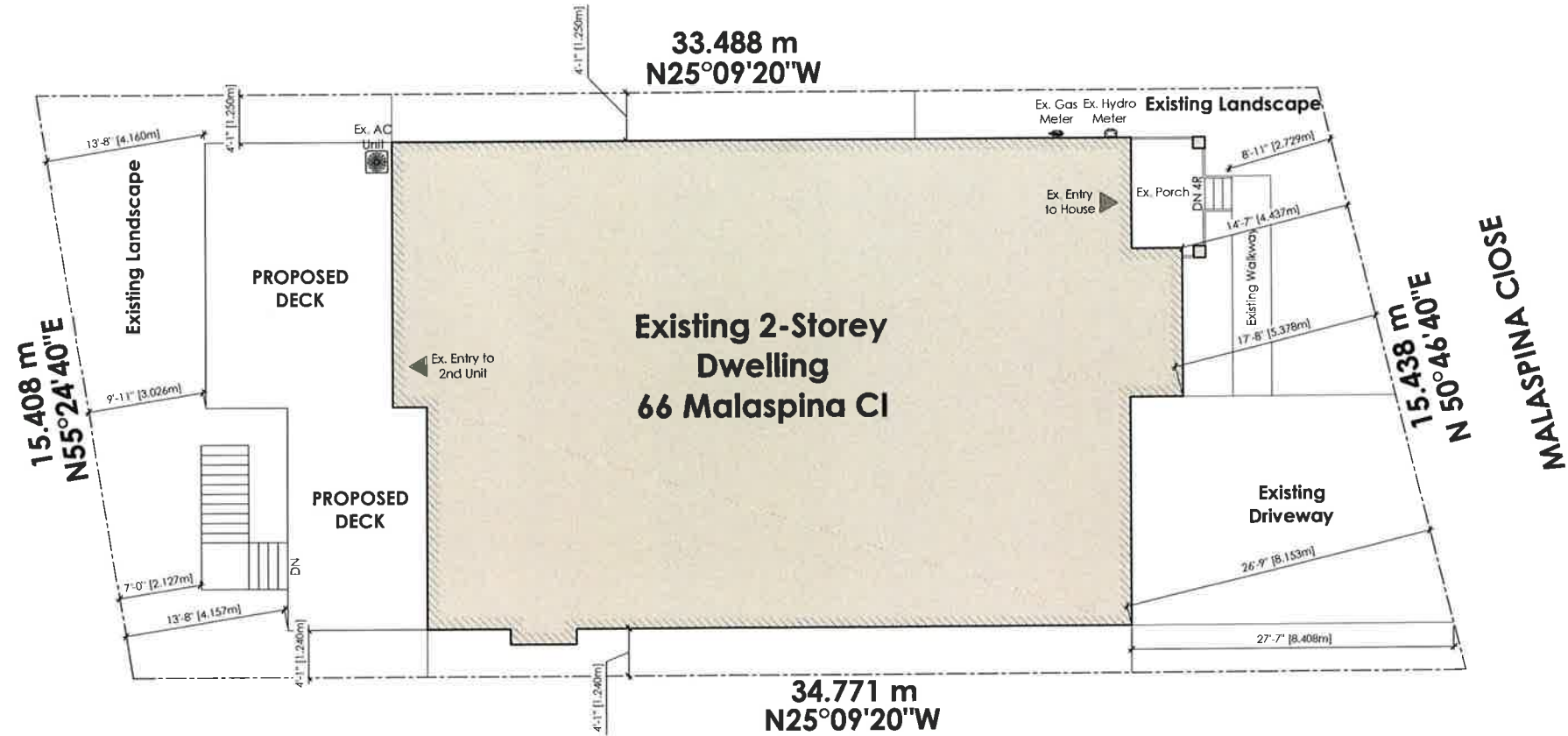
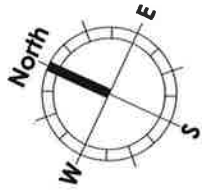
April 17, 2023

Date

DATE RECEIVED

April 27, 2023

Date Application Deemed Complete by the Municipality



Deck Permit

Site Plan

General notes

- All dimensions to be checked and verified on site prior to commencement of work. Any discrepancies shall be brought to the attention of permitguys prior to continuation of work.
- The contractor shall take all precautionary measures under the occupational health and safety act as required by the ministry of labour.
- All work shall be done in accordance with the minimum standards and specifications of the municipality's engineering department.
- All work in the municipal road allowance shall meet the minimum standards and specifications of the municipality's engineering department. The contractor is required to obtain & pay for permit to work in municipal R.O.W.
- Prior to commencing any work on the installation of services & grading, an approved set of plans and specifications must be available on the job site and shall remain there while work is being done.
- The owners of the utilities must be informed at least two weeks prior to construction on any existing municipal road allowance. All existing underground utilities within the limits of construction shall be located and marked. Any utilities, damaged or disturbed during construction, shall be repaired or replaced to the satisfaction of the governing body at the contractor's expense.
- Prior to commencing any construction, all sewer outlet information, benchmarks, elevations, dimensions and grades must be checked by the contractor and verified and any discrepancies reported to the engineer.
- The contractor is responsible for ensuring that there is no interruption of any surface or subsurface drainage flow that would adversely affect neighboring properties.

Legal Information

LOT OF 6, 7, 8 AND 9
Plan 43M-2035
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

Scope of Work

Rear Yard Deck

Existing Dwelling

- More than 5 year old
- Less than 5 year old

Site Statistics (All Units in Metric)

Lot Information	LOT 9	
Lot Depth	34.77	
Lot Frontage	15.20	
Lot Area	518.76	
Zone	R1E	
Lot Coverage		
Dwelling Area	248.02	
Ex. Porch & Deck	5.42	
Proposed Deck	55.28	
Total Area	308.72	
Total Coverage (%)	59.51%	
	Area of Work	55.28



permitguys

80 Clementine Dr. Unit 15
Brampton ON L6Y 5R5
Tel: 416 479 9556
Email: info@permitguys.ca

The undersigned has reviewed and taken responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Name: **Aamou Rafiq** 113576
Registration No.: **113576**
Registration Info: **Permitguys.ca Inc.** 110882

Title: **Site Plan**

Project Name: **66 Malaspina Ct**

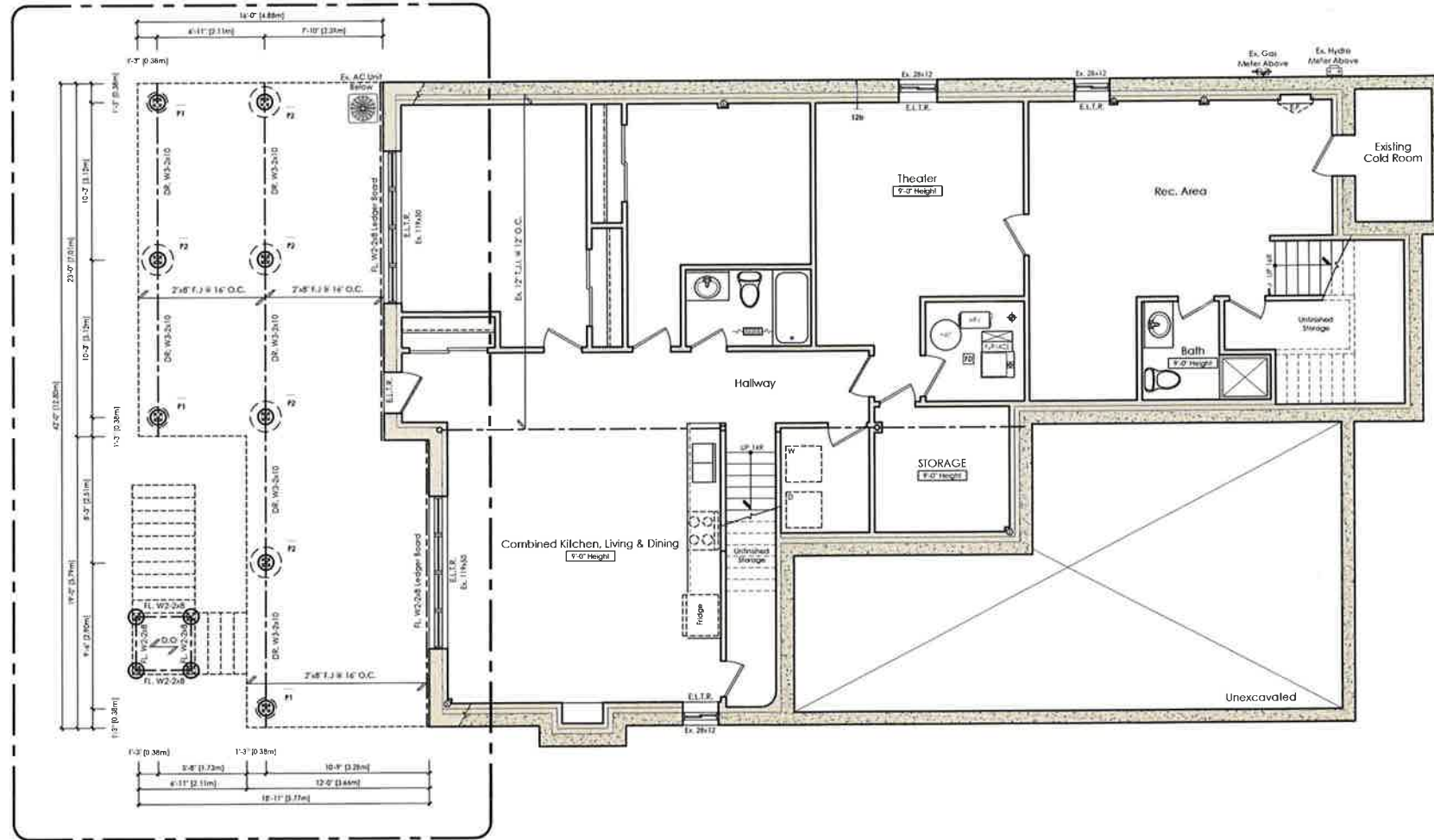
Project No.: **22-192** Drawn By: **KJ** Checked By: **MZ** Date: **2023-04-10** Scale: **3/32"=1'-0"**

Municipality: **Brampton, ON**

Filename: **66 MALASPINA Ct_DECK-V4**

Sheet No.: **A1**

F1 Paired Concrete Pier Foundation 12" Ø 15 MPa poured concrete piers w/ 16" bell footing minimum 4'-0" below grade on undisturbed ground and minimum 6" above grade. Footing to be founded on natural undisturbed soil, rock, or compacted granular fill with a minimum bearing capacity of 75 kPa.	C1 Exterior Stairs max. riser: 200mm (7 7/8") min. rise: 125mm (4 7/8") max. run: 355mm (14") min. run: 255mm (10") max. nosing: 25mm (1") min. width: 864mm (34")	C2 Exterior/Interior Guard Interior guards: 900mm (2'-11") min. exterior guards: 900mm (2'-11") min. for a grade difference less than 1800mm (6'-0"), 1070mm (3'-6") min. for a grade difference more than 1800mm (6'-0") handrail: all landing to have a min. height of 900mm (2'-11"), handrail at stairs to have a min. height of 800mm (2'-7") min. one handrail shall be provided with stairs having a width less than 1100mm (3'-7"). two handrails shall be provided with stairs having a width greater than 1100mm (3'-7").	Deck Notes All Lumber exposed directly to the exterior weather conditions shall be Pressure Treated Any Discrepancies discovered on site must be reported to the Designer immediately before construction.
F2 Paired Concrete Pier Foundation 12" Ø 15 MPa poured concrete piers w/ 24" bell footing minimum 4'-0" below grade on undisturbed ground and minimum 6" above grade. Footing to be founded on natural undisturbed soil, rock, or compacted granular fill with a minimum bearing capacity of 75 kPa.			



Area of Work

Proposed Foundation Plan

permitguys

80 Clementine Dr, Unit 15
 Brampton ON L6Y 5R5
 Tel: 416 479 9556
 Email: info@permitguys.ca

The undersigned has accepted and takes responsibility for the design, or verification, of the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information
Aamou Rattiq 113576
 Name
 Registration No. Permitguys.ca Inc. 110882

Title
Proposed Foundation Plan

Project Name
66 Malaspina CI

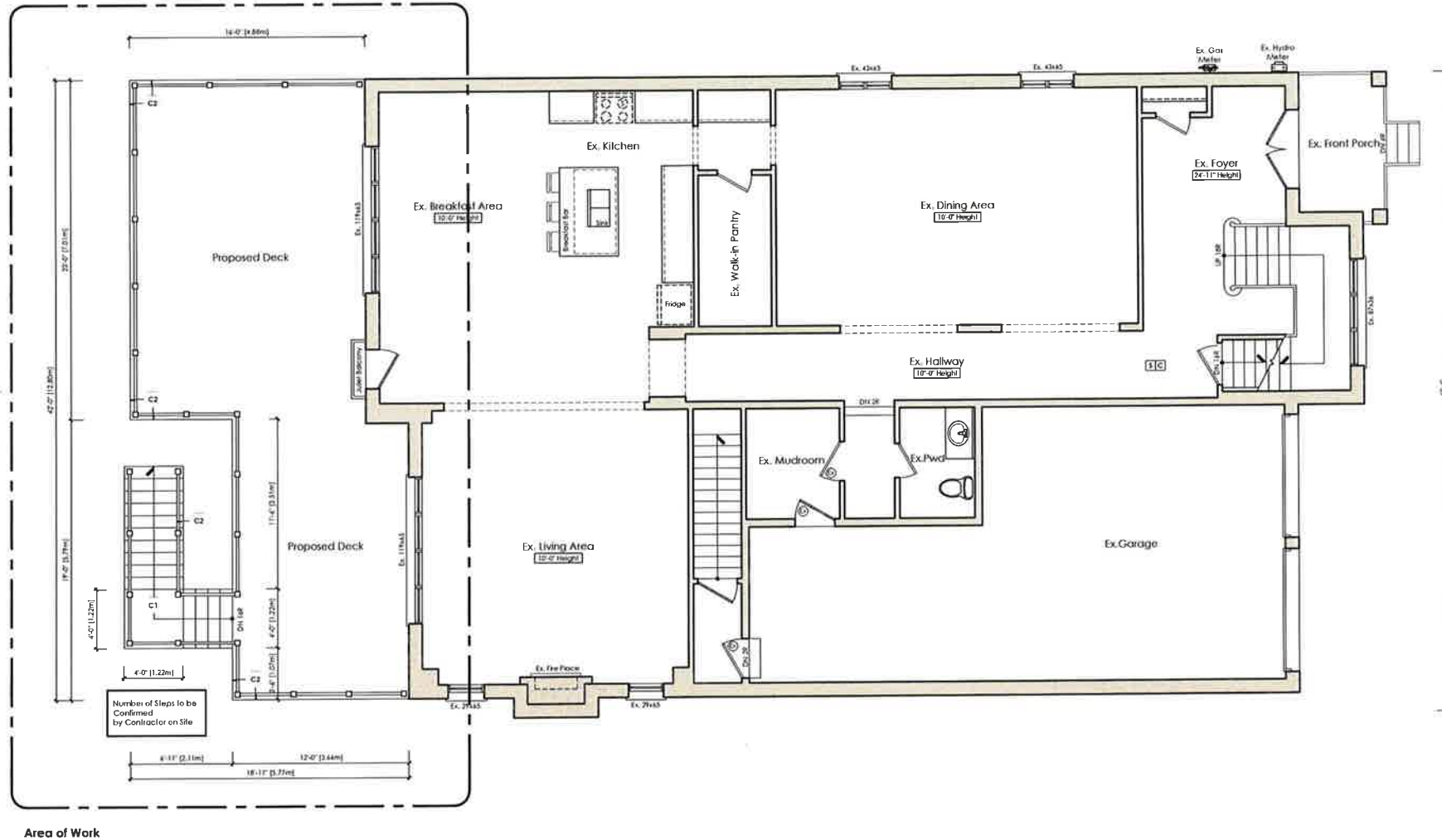
Project No. 22-192
 Drawn By KJ
 Checked By MZ
 Date 2023-04-10
 Scale 1/8"=1'-0"

Municipality
Brampton, ON

Filename
 66 MALASPINA_CL_DECK.V4

Sheet No.
A2

F1 Poured Concrete Pier Foundation 12" Ø 15 MPa poured concrete piers w/ 16" ball footing minimum 4'-0" below grade on undisturbed ground and minimum 6" above grade. Footing to be founded on natural undisturbed soil, rock, or compacted granular fill with a minimum bearing capacity of 75 kPa.	C1 Exterior Stairs max. rise: 200mm (7-7/8") min. rise: 125mm (4-7/8") max. run: 355mm (14") min. run: 255mm (10") max. nosing: 25mm (1") min. width: 845mm (34")	C2 Exterior/Interior Guard Interior guards: 900mm (2'-11") min. for a grade difference less than 1800mm (6'-0"), 1070mm (3'-6") min. for a grade difference more than 1800mm (6'-0") handrails of landing to have a min. height of 900mm (2'-11"), handrails of stairs to have a min. height of 800mm (2'-7"), min. one handrail shall be provided with stairs having a width less than 1100mm (3'-7"), two handrails shall be provided with stairs having a width greater than 1100mm (3'-7").	Deck Notes All Lumber exposed directly to the exterior weather conditions shall be Pressure Treated Any Discrepancies discovered on site must be reported to the Designer immediately before construction.
F2 Poured Concrete Pier Foundation 12" Ø 15 MPa poured concrete piers w/ 24" ball footing minimum 4'-0" below grade on undisturbed ground and minimum 6" above grade. Footing to be founded on natural undisturbed soil, rock, or compacted granular fill with a minimum bearing capacity of 75 kPa.			



Proposed Deck Plan

permitguys

80 Clementine Dr, Unit 15
Brampton ON L6Y 5R5
Tel: 416 479 9556
Email: info@permitguys.ca

The undersigned has reviewed and takes responsibility for this design as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information
Aamou Rafiq 113576
Name: Rafiq Aamou
Registration No.: 110882

Proposed Deck Plan

Project Name: **66 Malaspina Ct**
Project No: 22-192
Drawn By: KJ
Checked By: MZ
Date: 2023-04-10
Scale: 1/8"=1'-0"

Municipality: **Brampton, ON**
Filename: 66 MALASPINA CL_DECK-V4

Sheet No. **A3**



6x6 P.I. Wood Post Tied to Top of 12"Ø Single Poured Conc. Pier & Non-Corrosive metal Shoe (Simpson Strong Tie or Approved Equal) & 2-H6 Clips to Beams at Top (Typ.)

Proposed Rear Elevation

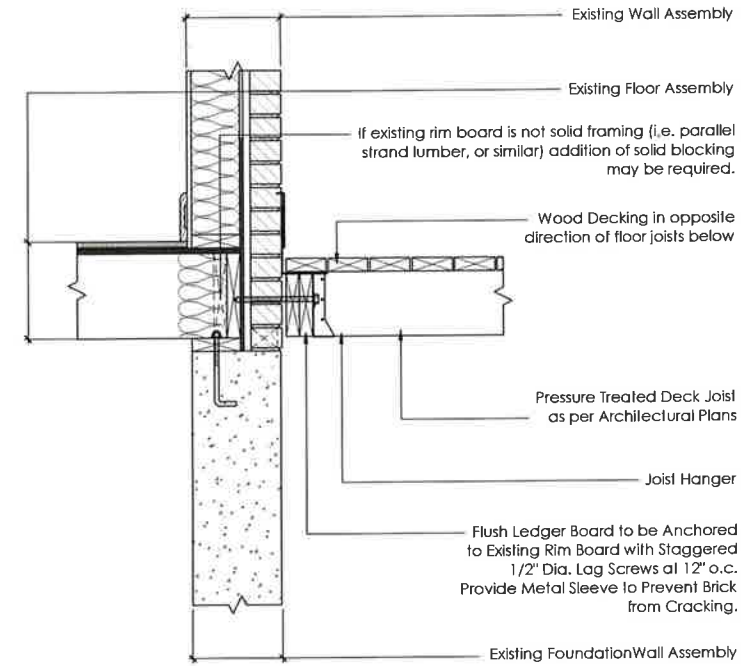
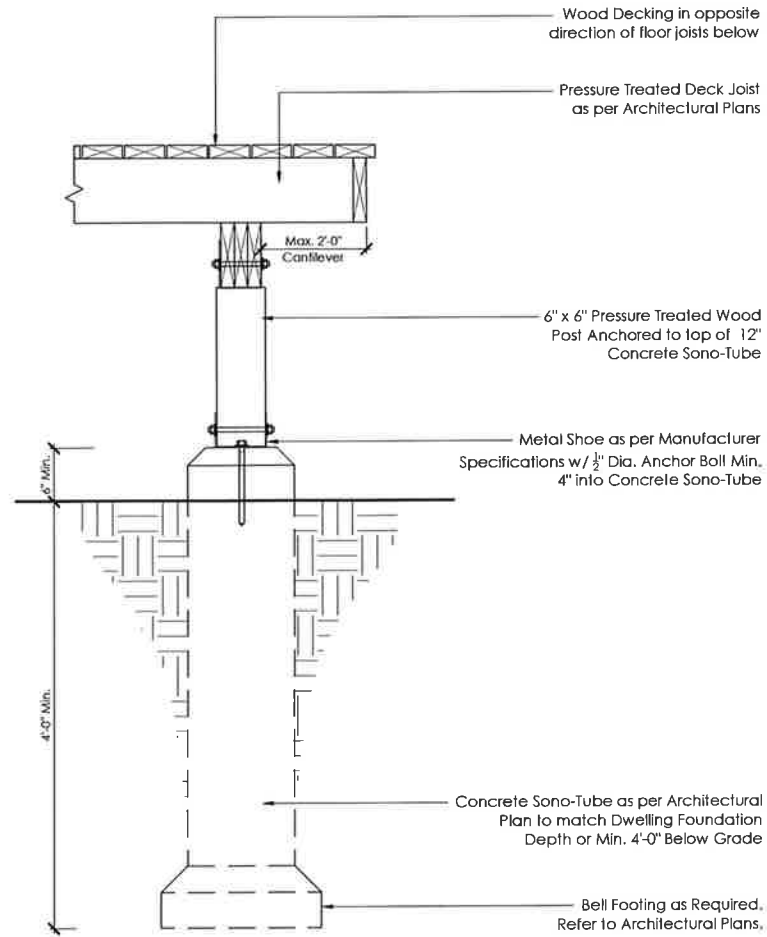
permitguys
 80 Clementine Dr, Unit 15
 Brampton ON L6Y 5R5
 Tel: 416 479 9556
 Email: info@permitguys.ca

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and equipment mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information
Aamou Hattiq 113576
 Name
 Registration Info. **Permitguys.ca Inc.** 110882

Title
Proposed Rear Elevation
 Project Name
66 Malaspina Ct
 Project No. 22-192
 Drawn By KJ
 Checked By MZ
 Date 2023-04-10
 Scale 1/8"=1'-0"

Municipality
Brampton, ON
 Filename
 66 MALASPINA Ct_DECK-V4
 Sheet No.
A4



SURVEYOR'S REAL PROPERTY REPORT

PART 1
PLAN OF LOTS 6, 7, 8 AND 9
PLAN 43M-2035
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:500
 0 10m 20metres

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.
METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
 BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

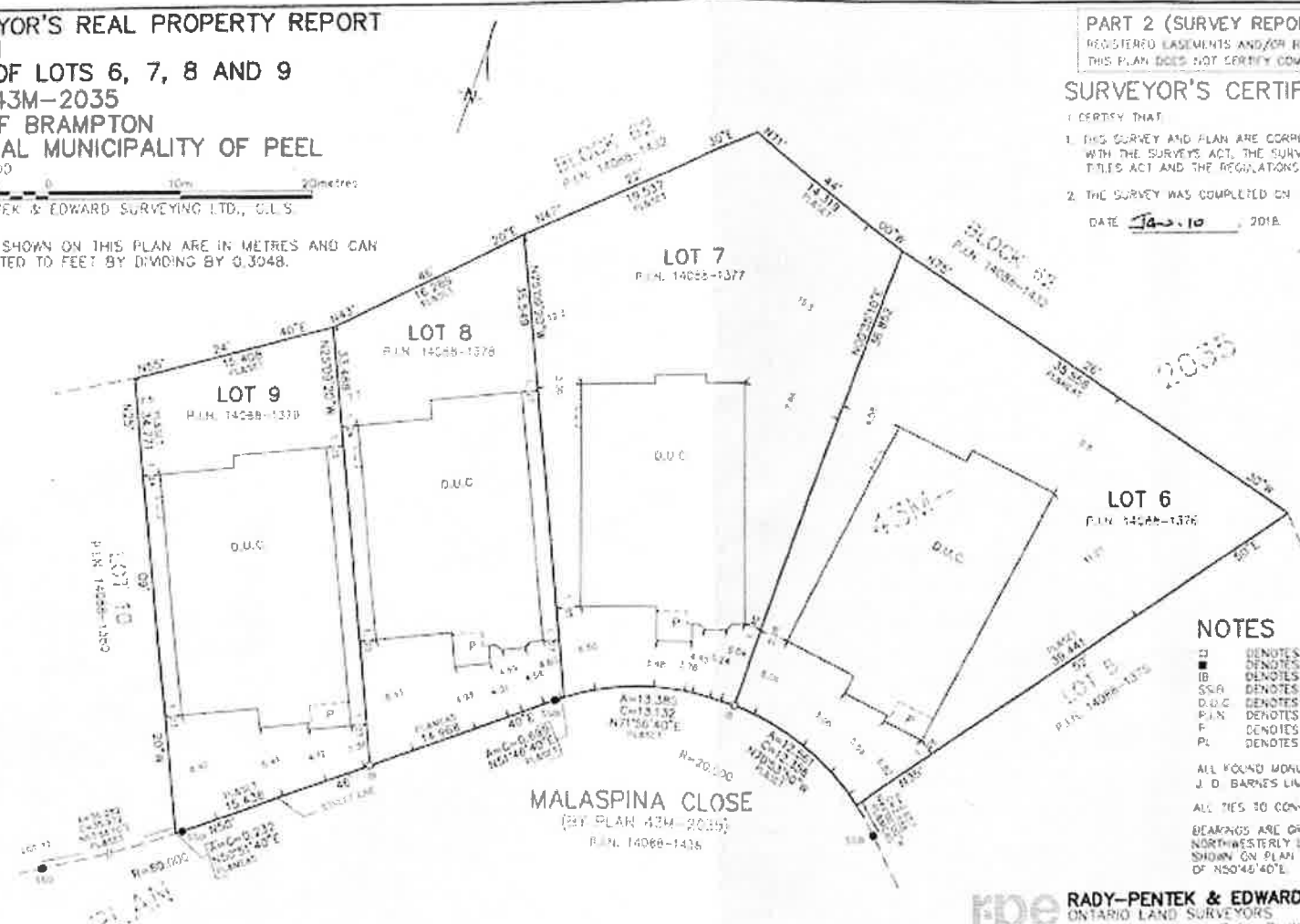
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TILES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 18TH DAY OF DECEMBER, 2017.

DATE 14-10 2018.

T Singh
 T SINGH
 ONTARIO LAND SURVEYOR



NOTES

- DENOTES MONUMENT SET
 - DENOTES MONUMENT FOUND
 - IB DENOTES IRON BAR
 - SSR DENOTES SHORT STANDARD IRON BAR
 - D.U.C DENOTES DWELLING UNDER CONSTRUCTION
 - P.I.N DENOTES PROPERTY IDENTIFIER NUMBER
 - F DENOTES PORCH
 - PL DENOTES PLAN 43M-2035
- ALL FOUND MONUMENTS BY
 J. D. BARNES LIMITED, O.L.S.
- ALL TIES TO CONCRETE FOUNDATIONS
- BEARINGS ARE GRID AND ARE REFERRED TO THE
 NORTH-WESTERLY LIMIT OF MALASPINA CLOSE AS
 SHOWN ON PLAN 43M-2035 HAVING A BEARING
 OF N50°45'40"E.

RADY-PENTEK & EDWARD SURVEYING LTD.
 ONTARIO LAND SURVEYORS
 643 Christie Road, Suite 7, Woodbridge, Ontario, L4L 8A3
 Tel: (416)635-5000 Fax: (416)635-5001
 Tel: (905)264-0691 Fax: (905)264-2099
 Website: www.r-pe.ca
 DRAWN: V.H.
 CAD FILE No. 2035-6
 CHECKED: G.Y./T.S.
 JOB No. 12-227

THIS REPORT WAS PREPARED FOR
 REGAL CREST HOMES
 AND THE UNDERSIGNED ACCEPTS NO
 RESPONSIBILITY FOR USE BY OTHER PARTIES
 RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S. 2018

17-227 *43M-2035 16-9*





A-2023-0116

B4