

FILE NUMBER:

A-2023-0408

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

MAHABUBUL HASAN CHOUDHURY

Address

45 FRONTENAC CRES, BRAMPTON ON L7A 3M8

Phone #

647-785-4242

Fax #

Email

MHCSOBUZ@GMAIL.COM
2.

Name of Agent

SUKHDEEP BHANGU (LINEDEZINE STUDIO LTD)

Address

15 CAMSTON RD, BRAMPTON, ON

Phone #

416-567-3156

Fax #

Email

LINEDEZINELTD@GMAIL.COM
3.

Nature and extent of relief applied for (variances requested):

Below Grade Steps in the side yard.
4.

Why is it not possible to comply with the provisions of the by-law?

Below Grade steps not permitted in the side yard need minor variance.
5.

Legal Description of the subject land:

Lot Number 78 (R)

Plan Number/Concession Number

43M-1600

Municipal Address

45 FRONTENAC CRES, BRAMPTON ON
6.

Dimension of subject land (in metric units)

Frontage

8.70

Depth

25.53

Area

222.36 SQM
7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

GROUND FLOOR AREA=63.17 SQM
Gross floor area: 142.13 sq. m (ground + second floor)
NUMBER OF STOREYS=2
HEIGHT=5.8M
WIDTH=7.46 M
LENGTH=10.8M

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Below Grade Steps in the side yard.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	5.75 M
Rear yard setback	7.4 M
Side yard setback	1.25 M
Side yard setback	

PROPOSED

Front yard setback	5.75M
Rear yard setback	7.4M
Side yard setback	1.25M
Side yard setback	

10. Date of Acquisition of subject land: 2023
11. Existing uses of subject property: Residential (SINGLE DWELLING UNIT)
12. Proposed uses of subject property: SINGLE UNIT DWELLING
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2004
15. Length of time the existing uses of the subject property have been continued: 19

16. (a) What water supply is existing/proposed?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well | <input type="checkbox"/> | |
- (b) What sewage disposal is/will be provided?
- | | | |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic | <input type="checkbox"/> | |
- (c) What storm drainage system is existing/proposed?
- | | | |
|---------|-------------------------------------|-----------------------|
| Sewers | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/> | |
| Swales | <input type="checkbox"/> | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE 12th 15 CITY OF DECEMBER BRAMPTON
THIS 12th 15th DAY OF DECEMBER, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, SUKHDEEP BHANGU, OF THE CITY OF BRAMPTON
IN THE REGION OF Ontario PEEL SOLEMNLY DECLARE THAT:

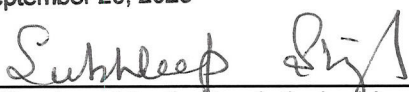
ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton
IN THE Region OF
Peel THIS 15th DAY OF
December, 2023


A Commissioner etc.

Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026


Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R2A-1194

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar
Zoning Officer

2023/12/14
Date

DATE RECEIVED

December 15, 2023

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 45 FRONTENAC CRES, BRAMPTON ON L7A 3M8

I/We, MAHABUBUL HASAN CHOUDHURY

please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

SUKHDEEP BHANGU (LINEDEZINE STUDIO LTD)

please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 12 day of DECEMBER, 20²³.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

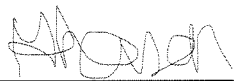
To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 45 FRONTENAC CRES, BRAMPTON ON L7A 3M8

I/We, MAHABUBUL HASAN CHOUDHURY
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 12 day of DECEMBER, 2023.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

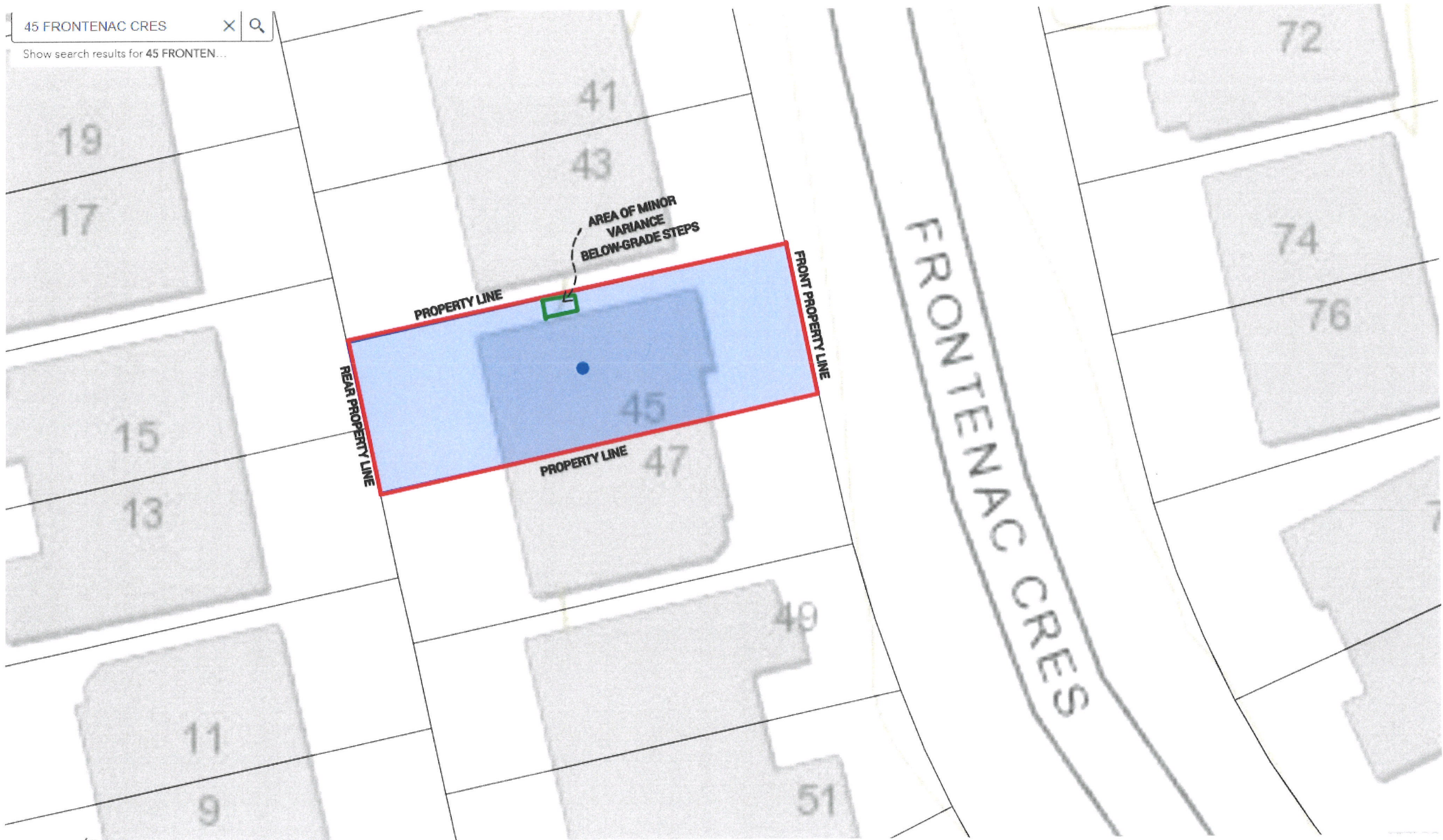
NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

45 FRONTENAC CRES



Show search results for 45 FRONTENAC CRES



PLAN OF SURVEY OF
LOTS 42, 43, 44, 45, 46, 47,
68, 74, 75, 76, 77, 78 AND 79
PLAN 43M-1600
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300
10m 20m 30m

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT FOUND
- SSB DENOTES MONUMENT SET
- IR DENOTES IRON BAR
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P DENOTES PORCH
- C DENOTES CENTRELINE OF WALL
- (RPE) DENOTES RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

ALL FOUND MONUMENTS BY RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.
ALL SET MONUMENTS ARE IRON BARS UNLESS NOTED OTHERWISE.
ALL TIES TO CONCRETE FOUNDATION

BEARINGS ARE GRID AND ARE REFERRED TO THE
SOUTHWEST CORNER OF FRONTENAC CRESCENT AS SHOWN ON
PLAN 43M-1600 HAVING A BEARING OF N13°15'45"W.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 10th DAY OF MARCH, 2004

DATE MARCH 10th, 2004

T. SINGH
ONTARIO LAND SURVEYOR

I REQUIRE THIS PLAN TO BE DEPOSITED
UNDER THE LAND TITLES ACT.

DATE MARCH 10th, 2004
T. SINGH, O.L.S.

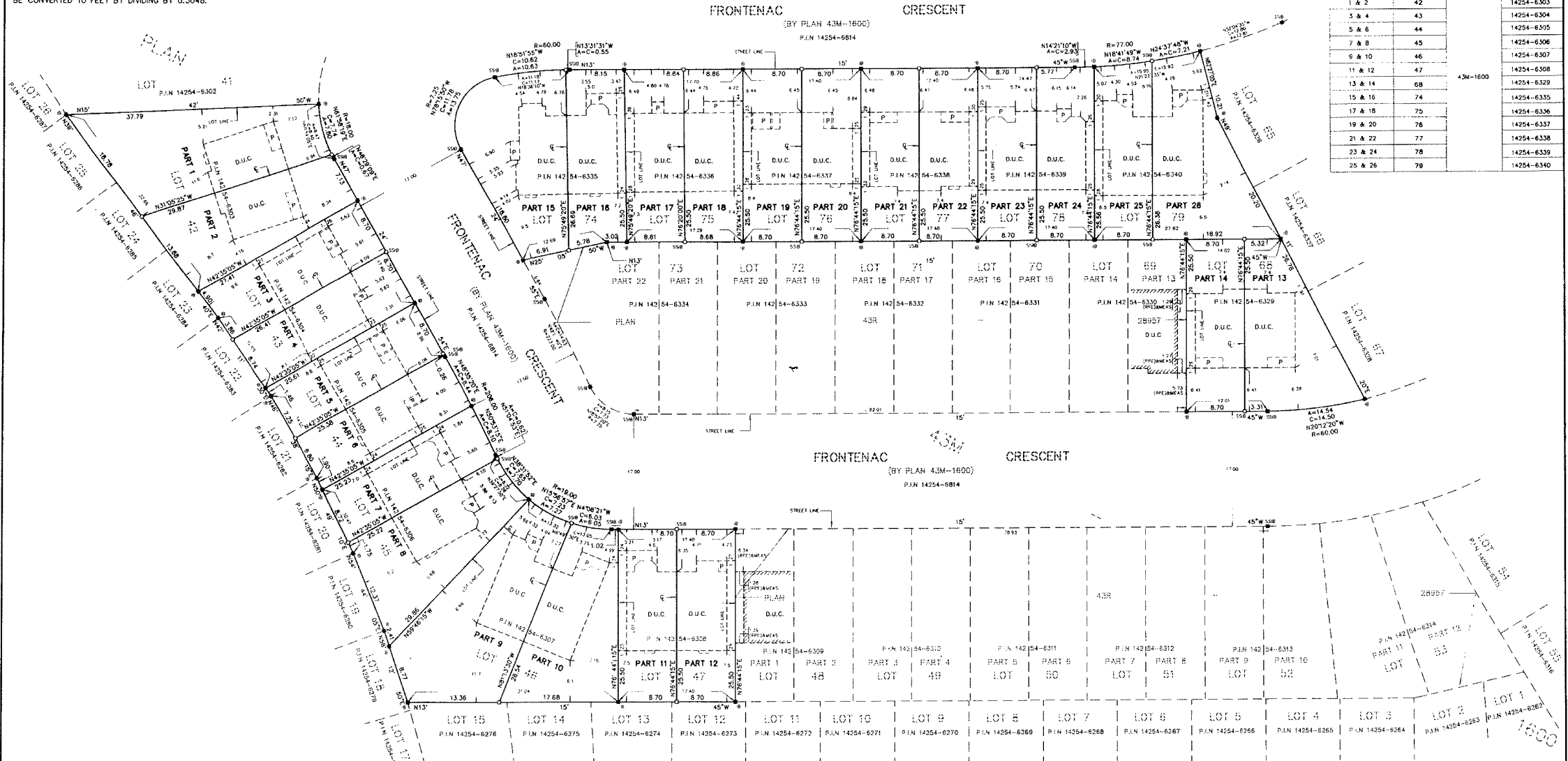
PLAN 43R-29049

RECEIVED AND DEPOSITED

DATE MAR 26, 2004

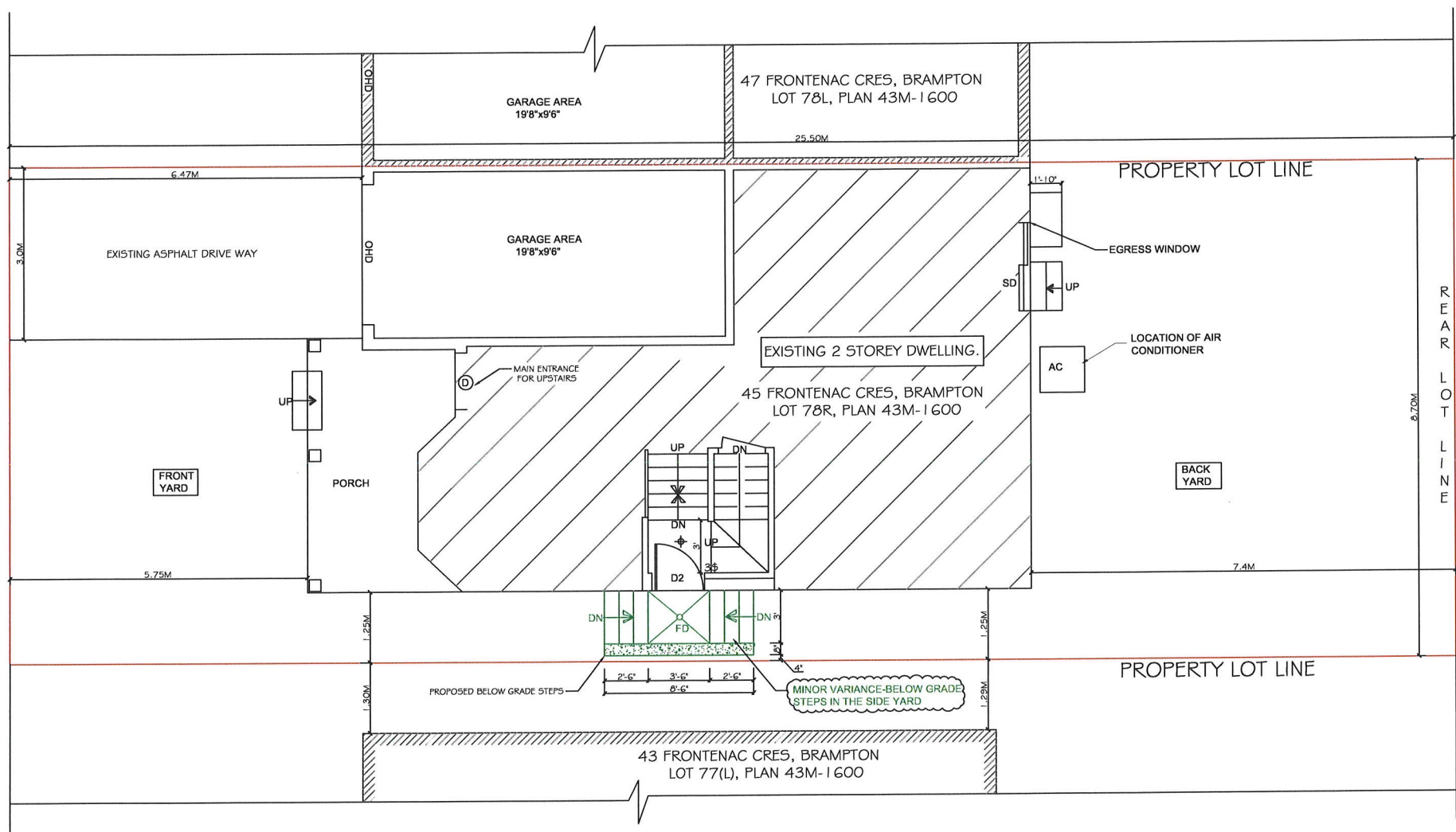
Mudge
LAND REGISTRAR FOR THE LAND TITLES
DIVISION OF PEEL (No. 43)

SCHEDULE			
PART	ALL OF LOT	PLAN	ALL OF P.I.N.
1 & 2	42		14254-6303
3 & 4	43		14254-6304
5 & 6	44		14254-6305
7 & 8	45		14254-6306
9 & 10	46		14254-6307
11 & 12	47		14254-6308
13 & 14	68		14254-6329
15 & 16	74		14254-6335
17 & 18	75		14254-6336
19 & 20	76		14254-6337
21 & 22	77		14254-6338
23 & 24	78		14254-6339
25 & 26	79		14254-6340



RPE RADY-PENTEK & EDWARD SURVEYING LTD.
ONTARIO LAND SURVEYORS
465 WILSON AVENUE, DOWNSVIEW, ONTARIO
Tel: (416) 635-5000 Fax: (416) 635-5001
Website: www.rpesurveying.ca
DRAWN: V.K. CHECKED: T.S.
CAD FILE No. 03-178R05 JOB No. 03-178

FRONTENAC CRES



GENERAL NOTE:
DO NOT SCALE DRAWINGS. VERIFY
CONFIGURATIONS & DIMENSIONS ON SITE BEFORE
BEGINNING WORK. NOTIFY DESIGNER/ENGINEER
IMMEDIATELY OF ANY ERRORS, OMISSIONS OR
DISCREPANCIES.

SCOPE OF WORK
-TO CREATE A BASEMENT FINISH-AS BUILT, ONE NEW
WINDOW USED AS AN EGRESS AND BELOW GRADE STEPS
TO THE BASEMENT IN THE SIDE YARD.

AREA OF WORK: 583 SQFT (BASEMENT AREA)
-54.16 SQM

NOTE:

GREEN COLOR- BELOW GRADE STEPS IN
THE SIDE YARD (MINOR VARIANCE)
AREA OF MINOR VARIANCE - 31 SQFT
RED COLOR - PROPERTY LINE

ZONING TYPE=R2A

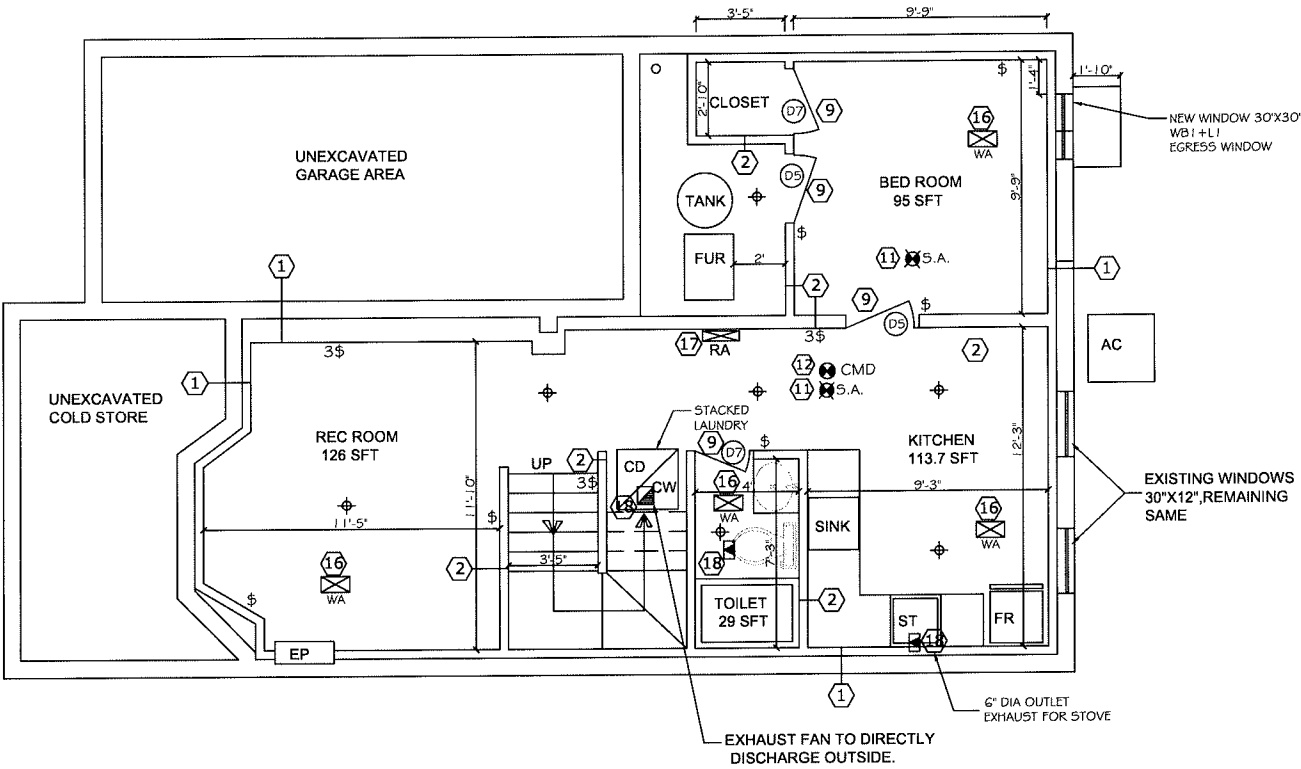
PROJECT:
45 FRONTENAC CRS
BRAMPTON, ON
CANADA

NOTE: ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED	
DRAWING TITLE: SITE PLAN	
DRAWN BY: SB	CHECKED BY: SS
SHEET #: L-101	ISSUED FOR:
SCALE: 1=100	BUILDING PERMIT

The undersigned has reviewed and taken
responsibility for this design and has
qualifications and meet the requirements
set out in the Ontario Building Code to be a
designer
QUALIFICATION INFORMATION
SUKHDEEP SINGH BHANGU
BCIN#110272
FIRM BCIN #117813
DATE: DEC 12, 2023

SIGNATURE:

REGISTRATION INFORMATION
DESIGNER FIRM
LINEDEZINE STUDIO LTD



GENERAL NOTE:

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DOOR=D	WINDOW=W
--------	----------

ITEM	REQUIRED WINDOW AREA	AVAILABLE WINDOWS & DOOR GLASS AREA
BED RM 1	2.5% OF 95 SFT =2.37 SFT	5.4 SFT

PROJECT:

45 FRONTENAC CRS

BRAMPTON, ON

CANADA

NOTE:

ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED

DRAWING TITLE:

PROPOSED BASEMENT FLOOR PLAN -AS BUILT

DRAWN BY: SB	CHECKED BY: SS
SHEET #: L-102	ISSUED FOR:
SCALE: 1= 85	BUILDING PERMIT

The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

SUKHDEEP SINGH BHANGU

BCIN#110272

FIRM BCIN #117813

DATE:DEC 12, 2023

SIGNATURE:

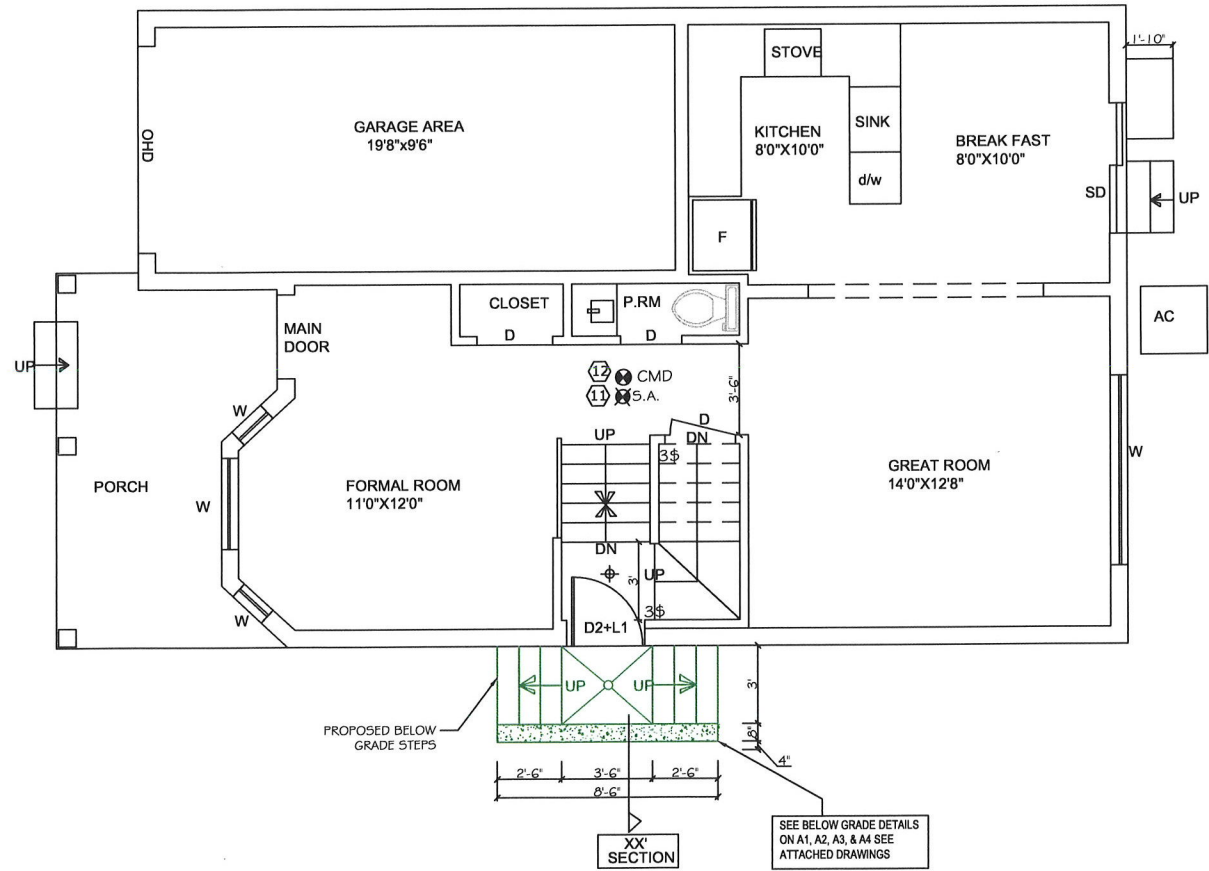
REGISTRATION INFORMATION

DESIGNER FIRM

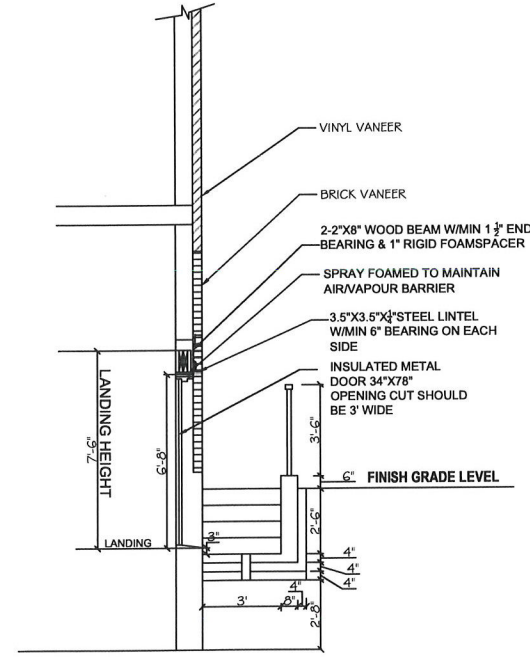
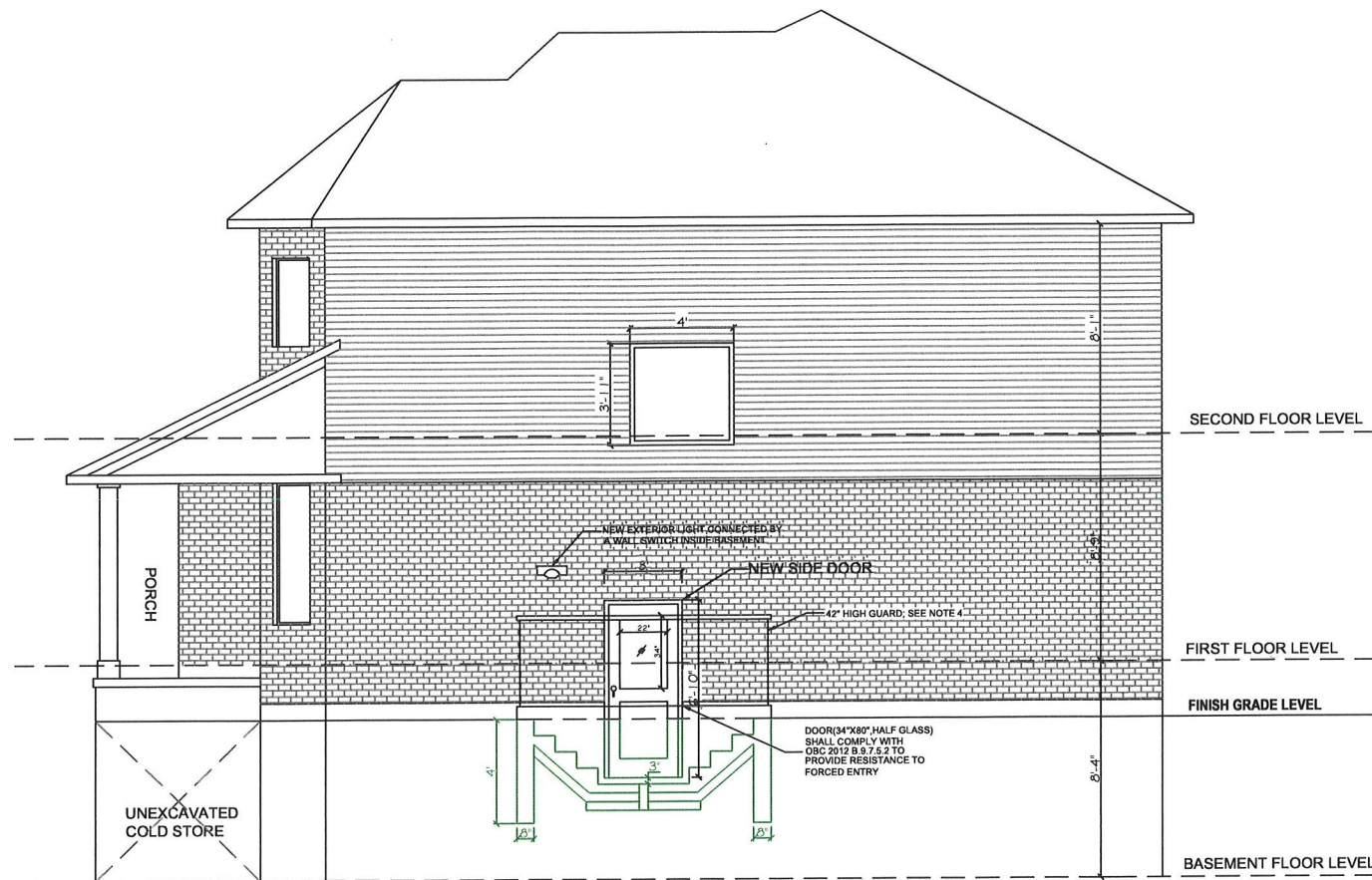
LINEDEZINE STUDIO LTD

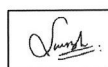
WWW.LINEDEZINE.LTD.COM

416-567-3156



<p>GENERAL NOTE:</p> <p>DO NOT SCALE DRAWINGS. VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINING WORK. NOTIFY DESIGNER/ENGINEER IMMIDIATELY OF ANY ERRORS,OMISSIONS OR DISCREPANCIES.</p>	<p>GLASS AREA=22"X34" 5.17 SFT</p>	<p>PROJECT:</p> <p>45 FRONTENAC CRS</p> <p>BRAMPTON, ON</p> <p>CANADA</p>		<p>NOTE:</p> <p>ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED</p>	<p>The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer QUALIFICATION INFORMATION</p>	<p>SIGNATURE:</p>	
							<p>DRAWING TITLE:</p> <p>BASEMENT FLOOR PLAN</p>
		<p>DOOR=D</p>	<p>WINDOW=W</p>				<p>DRAWN BY:SB</p>
		<p>SHEET #:L-103</p>	<p>ISSUED FOR:</p>	<p>SCALE:1=85</p>	<p>BUILDING PERMIT</p>	<p>SUKHDEEP SINGH BHANGU</p>	
						<p>BCIN#110272</p>	
						<p>FIRM BCIN #117813</p>	
						<p>DATE:DEC 12, 2023</p>	
						<p>REGISTRATION INFORMATION</p>	
						<p>DESIGNER FIRM</p>	
						<p>LINEDEZINE STUDIO LTD</p>	
						<p>WWW.LINEDEZINE.LTD.COM</p>	
						<p>416-567-3156</p>	



<p>GENERAL NOTE:</p> <p>DO NOT SCALE DRAWINGS. VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINNING WORK. NOTIFY DESIGNER/ENGINEER IMMEDIATELY OF ANY ERRORS,OMISSIONS OR DISCREPANCIES.</p>		<div>ALLOWABLE UNPROTECTED OPENINGS</div> <p>WALL AREA : 613 SQF ALLOWED PERCENTAGE AND OPENINGS: 7% (42.91 SQF) EXISTING OPENINGS : 17.7 SQF PROPOSED OPENINGS:5.17 SQF TOTAL OPENINGS =22.87 SQF</p>		<p>PROJECT:</p> <p>45 FRONTENAC CRS BRAMPTON, ON CANADA</p>	<p>NOTE:</p> <p>ALL WINDOWS EXISTING UNLESS OTHERWISE SPECIFIED</p>		<p>The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer QUALIFICATION INFORMATION</p> <p>SUKHDEEP SINGH BHANGU BCIN #110272 FIRM BCIN #117813 DATE: DEC 12, 2023</p>	<div>SIGNATURE:</div> <div></div>	
DOOR=D	WINDOW=W				<p>DRAWING TITLE:</p> <p>RIGHT SIDE ELEVATION</p>			<div>REGISTRATION INFORMATION</div> <p>DESIGNER FIRM LINEDEZINE STUDIO LTD</p>	
					<p>DRAWN BY:SB</p> <p>CHECKED BY: SS</p>				
					<p>SHEET #:L-104</p> <p>SCALE:1=85</p> <p>ISSUED FOR: BUILDING PERMIT</p>				
		<div>RIGHT SIDE ELEVATION</div>							

CONSTRUCTION NOTES/LEGEND

1

EXTERIOR WALL CONSTRUCTION "TYPE A"

- ½" DRYWALL FINISH
- 2" X 4" WOOD STUD @ 16"O.C.
- 1" AIR SPACE
- EXISTING INSULATION
- EXISTING VAPOUR BARRIER
- EXISTING 8" CONCRETE WALL
- EXISTING DAMP PROOFING PAPER

2

INTERIOR WALL CONSTRUCTION "TYPE B"

- ½" DRYWALL
- 2" X 4" OR 2" X 6" WOOD STUD @ 16"O.C.
- ½" DRYWALL FINISH

3

INTERIOR WALL CONSTRUCTION 30 MIN FRR "TYPE C"

- ½" TYPE DRYWALL FINISH
- 2" X 4" OR 2" X 6" WOOD STUD @ 16"O.C.
- 3 ½" ROXULL SAFE 'N' SOUND INSULATION
- ½" DRYWALL FINISH

4

EXTERIOR WALL CONSTRUCTION "TYPE A"

- 3 ½" FACE BRICK
- 1" AIR GAP
- AIR BARRIER
- ½" OSB
- 2" X 4" OR 2" X 6" STUDS AT 16" C/C WITH
- 5 ½" FIBREGLASS BATT INSULATION BETWEEN STUDS
- 6 MIL VAPOUR BARRIER
- ½" GYPSUM WALL BOARD

5

INTERIOR WALL CONSTRUCTION 45 MIN FRR "TYPE C"

- ½" TYPE 'X' DRYWALL FINISH
- 2" X 4" OR 2" X 6" WOOD STUD @ 16"O.C.
- 5 ½" ROXULL SAFE 'N' SOUND INSULATION
- ½" TYPE 'X' DRYWALL FINISH

6

INTERIOR WALL CONSTRUCTION 30 MIN FRR "TYPE C"

- ½" TYPE 'X' DRYWALL FINISH
- 2" X 4" OR 2" X 6" WOOD STUD @ 16"O.C.
- ½" TYPE 'X' DRYWALL FINISH

7

CEILING ½" GYPSUM BOARD

PART 11 COMPLIANCE ALTERNATIVE C152 (9.10.9.14.(1) AND (3)).
IN DETACHED HOUSES, SEMI-DETACHED HOUSES, TOWNHOUSES
AND ROW HOUSES CONTAINING NOT MORE THAN TWO DWELLING
UNITS, 15 MIN HORIZONTAL FIRE SEPARATION IS ACCEPTABLE
WHERE,

a. SMOKE ALARMS ARE INSTALLED IN EVERY DWELLING UNIT,
SLEEPING ROOMS, AND IN COMMON AREAS IN CONFORMANCE
WITH SUBSECTION 9.10.19., AND

b. SMOKE ALARMS ARE INTERCONNECTED

8

EVERY DOOR IN A FIRE SEPARATION SHALL HAVE A SELF CLOSING DEVICE.
20 MIN FIRE PROTECTION RATE OF CLOSURE IS REQUIRED FOR 30 OR 45
MIN FRR OF FIRE SEPARATION

9

UNDERCUT DOOR MIN 1" SHORT TO ANY ROOM WITHOUT RETURN GRILL

10

20 MIN RATED DOOR AND FRAME WITH SELF CLOSING DEVICE, DEAD BOLT

11

AS PER THE REQUIREMENTS OF OBC 9.10.19. SMOKE ALARMS. ALL SMOKE
ALARMS SHALL BE INTERCONNECTED

12

AS PER THE REQUIREMENTS OF OBC 9.33.4.
A CARBON MONOXIDE ALARM SHALL BE INSTALLED ADJACENT TO EVERY
SLEEPING AREA FOR DWELLINGS WITH FUEL BURNING APPLIANCES

13

BATTERY POWERED EMERGENCY LIGHTING UNITS CONFORMING TO CSA
C22.2 NO.141 "EMERGENCY LIGHTING EQUIPMENT" SHALL BE PROVIDED IN
ANY COMMON MEANS OF EGRESS

14

AN ADEQUATE SUPPLY OF COMBUSTION AIR MUST BE
AVAILABLE FOR THE FURNACE AND HOT WATER TANK.

15

RESERVED

16

AIR SUPPLY REGISTER AT CEILING.

17

AIR RETURN REGISTER AT FLOOR LEVEL.

18

EXHAUST FAN TO DIRECTLY DISCHARGE OUTSIDE.

19

RESERVED.

20

2" X 6" STUDS 16" O.C. (2" X 6") SIL PLATE ON
DAMPPROOFING MATERIAL (½") DIA. ANCHOR BOLTS 8"
LONG EMBEDDED MIN. (4") INTO CONCRETE 7'-10" O.C.
(4") HIGH CONCRETE CURB ON (14" X 6") CONCRETE
FOOTING ADD HORIZONTAL BLOCKING AT MID-HEIGHT
IF WALL IS UNFINISHED.

21

THE FIRE SPRINKLER SYSTEMS SHALL BE A FLOW
THROUGH SYSTEM WITH A MINIMUM ¾" COPPER PIPE
CONNECTED TO AT LEAST A ¾" COPPER WATER PIPE
OR DIRECTLY AFTER THE WATER METER AND SHALL
HAVE A SUPERVISED SHUT OFF SUPPLY VALVE.

22

PROVIDE DUCT- TYPE SMOKE DETECTOR IN THE
SUPPLY OR RETURN AIR DUCT SYSTEM TO TURN OFF
THE FUEL SUPPLY AND ELECTRICAL POWER TO THE
HEATING SYSTEM UPON ACTIVATION OF SMOKE
DETECTOR.

23

PROVIDE SPRINKLERS IN AREAS WITH UNFINISHED
CEILING. NEW SPRINKLER SYSTEM TO BE PROVIDED.
SEE NOTE 21 GASPROOF ALL CEILING VOIDS.

24

A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN
EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY
ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM,
VESTIBULE, HALLWAYS, GARAGE AND CARPORT. A
SWITCH RECEPTACLE MAY BE PROVIDED INSTEAD OF
LIGHT IN BEDROOMS AND LIVING ROOMS.

25

ALL FRAMING LUMBER WHICH ARE SUPPORTED ON
CONCRETE IN DIRECT CONTACT WITH SOIL SHALL BE
SEPARATED FROM THE CONCRETE WITH 0.05 MM
POLYETHYLENE OR TYPE 'S' ROLL ROOFING.

26

ENSURE MINIMUM CEILING HEIGHT OF 1950 MM(6'5")
THROUGHOUT.

27

ENSURE MINIMUM 15 MINUTE F.R.R. AROUND ALL
STRUCTURAL BEAMS AND COLUMNS.

28

MINIMUM 30 MINUTE HORIZONTAL FIRE SEPARATION.

LEGEND

	DUCT-TYPE SMOKE DETECTOR
CL	CLOSET
	CT→CONTROL VALVE
	EXHAUST FAN
	RETURN AIR GRILL AT FLOOR LEVEL
	EMERGENCY LIGHT
	SMOKE ALARM INTERCONNECTED
	CARBON MONOXIDE ALARM
EP	ELECTRICAL PANEL
3\$	3 WAY SWITCH
	\$→SWITCH
	CEILING LIGHT
	SPRINKLER TO NFPA 13D
	CLOTHES DRYER EXHAUST SHALL COMPLY WITH O.B.C., DIV. B, 6.2.4.11 REQUIREMENTS
	WARM- AIR SUPPLY OUTLET. MAX.PERMITTED OPENING IN CEILING FIRE SEPARATION:0.025sm(.277sf)
CW	CLOTH WASHER
CD	CLOTH DRYER

DOOR SCHEDULE

D1	20 MIN FIRE RATED DOOR & FRAME WITH SELF CLOSING DEVICE, SMOKE TIGHT SEAL ,DEAD BOLT,32" X 80 "
D2	34 X 80 WEATHER-STRIP DOOR
D3	24 X 80 WOOD DOOR
D4	30 X 80 WOOD DOOR
D5	32 X 80 WOOD DOOR
D6	DOUBLE DOOR (2-27 X 80 WOOD DOOR)
D7	26"X80" WOOD DOOR
ED	EXISTING DOOR
SD	SLIDING DOOR

LINTEL/BEAM SCHEDULE

LINTEL	OPENINGS	SIZE
WB1	UPTO 42" OPENINGS	2-2"X6"
WB2	UPTO 66" OPENINGS	2-2"X8"
WB3	UPTO 78" OPENINGS	3-2"X10"
WB4	UPTO 90" OPENINGS	3-2"X12"
L1	UPTO 54" OPENINGS	L 3.5" X 3.5" X 0.3125"
L2	UPTO 66" OPENINGS	L 4.0" X 3.5" X 0.3125"

GENERAL NOTE:

DO NOT SCALE DRAWINGS. VERIFY CONFIGURATIONS & DIMENSIONS ON SITE BEFORE BEGINING WORK. NOTIFY DESIGNER/ENGINEER IMMIDIATELY OF ANY ERRORS,OMISSIONS OR DISCREPANCIES.

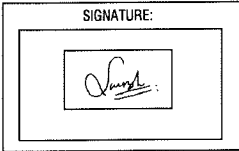
PROJECT:
45 FRONTENAC CRS
BRAMPTON, ON
CANADA

DRAWING TITLE:
CONSTRUCTION NOTES/LEGENDS

DRAWN BY:SB	CHECKED BY: SS
SHEET #:L-105	ISSUED FOR:
SCALE:N.T.S.	BUILDING PERMIT

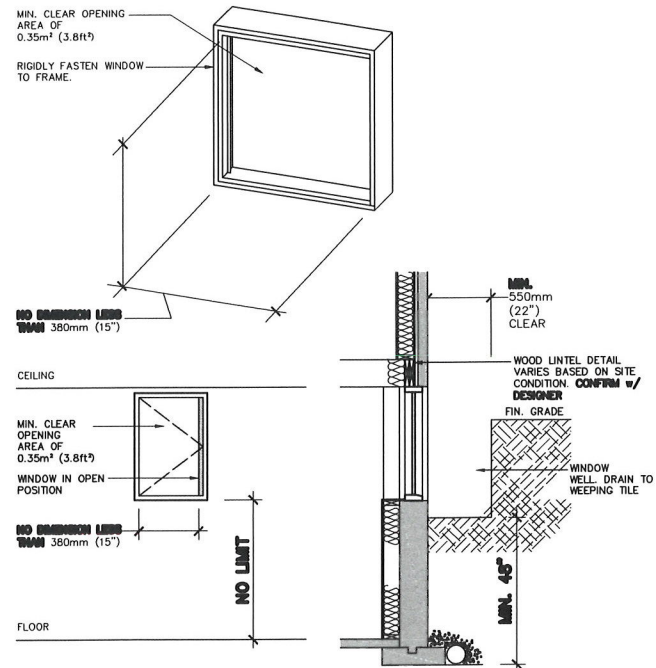
The undersigned has reviewed and taken responsibility for this design and has qualifications and meet the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

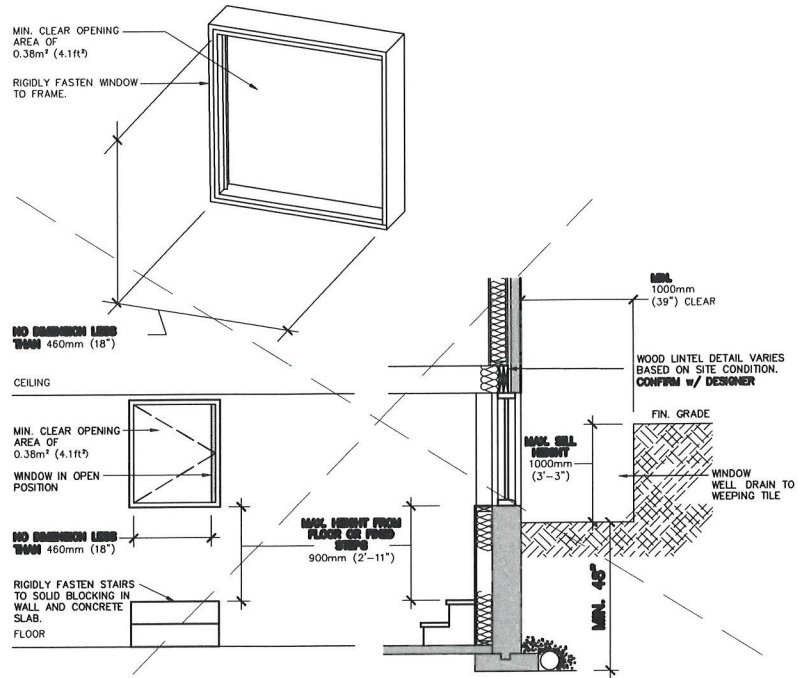


SUKHDEEP SINGH BHANGU
BCIN#110272
FIRM BCIN #117813
DATE: DEC 12, 2023

REGISTRATION INFORMATION
DESIGNER FIRM
LINEDEZINE STUDIO LTD



EGRESS WINDOW - OPTION 'A AND B'



ESCAPE WINDOW - OPTION 'C'

NOTE: EGRESS OPTION 'C' IS ONLY AVAILABLE AS A COMPLIANCE ALTERNATIVE WHERE ZONING REQUIREMENTS CANNOT BE ACHIEVED FOR EGRESS IN OPTIONS 'A' OR 'B'

PROJECT: CHANGE OF USE - TWO UNIT HOUSE EGRESS WINDOW	EGRESS WINDOW DETAIL A-1
OPTION = (B)	
45 FRONTENAC CRES, BRAMPTON, ON	
SCALE= 1:85	



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BELOW GRADE
ENTRANCE
PLAN

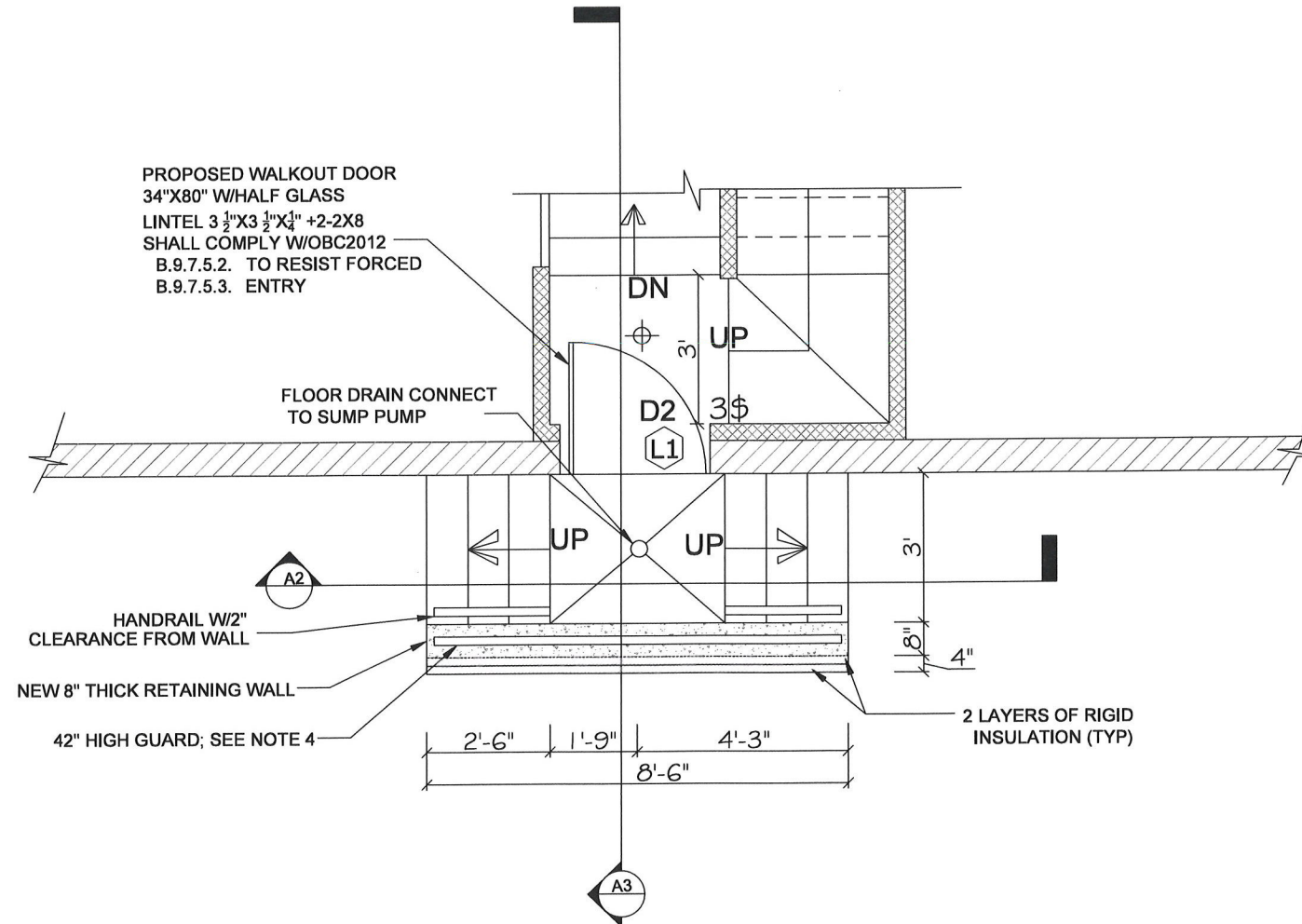
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THIS INFORMATION

ADDRESS:
45 FRONTENAC CREB, BRAMPTON, ON

DEC 12, 2023

SCALE:
3/8" = 1'-0"

BELOW GRADE ENTRANCE A1





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ENTRANCE
SECTION

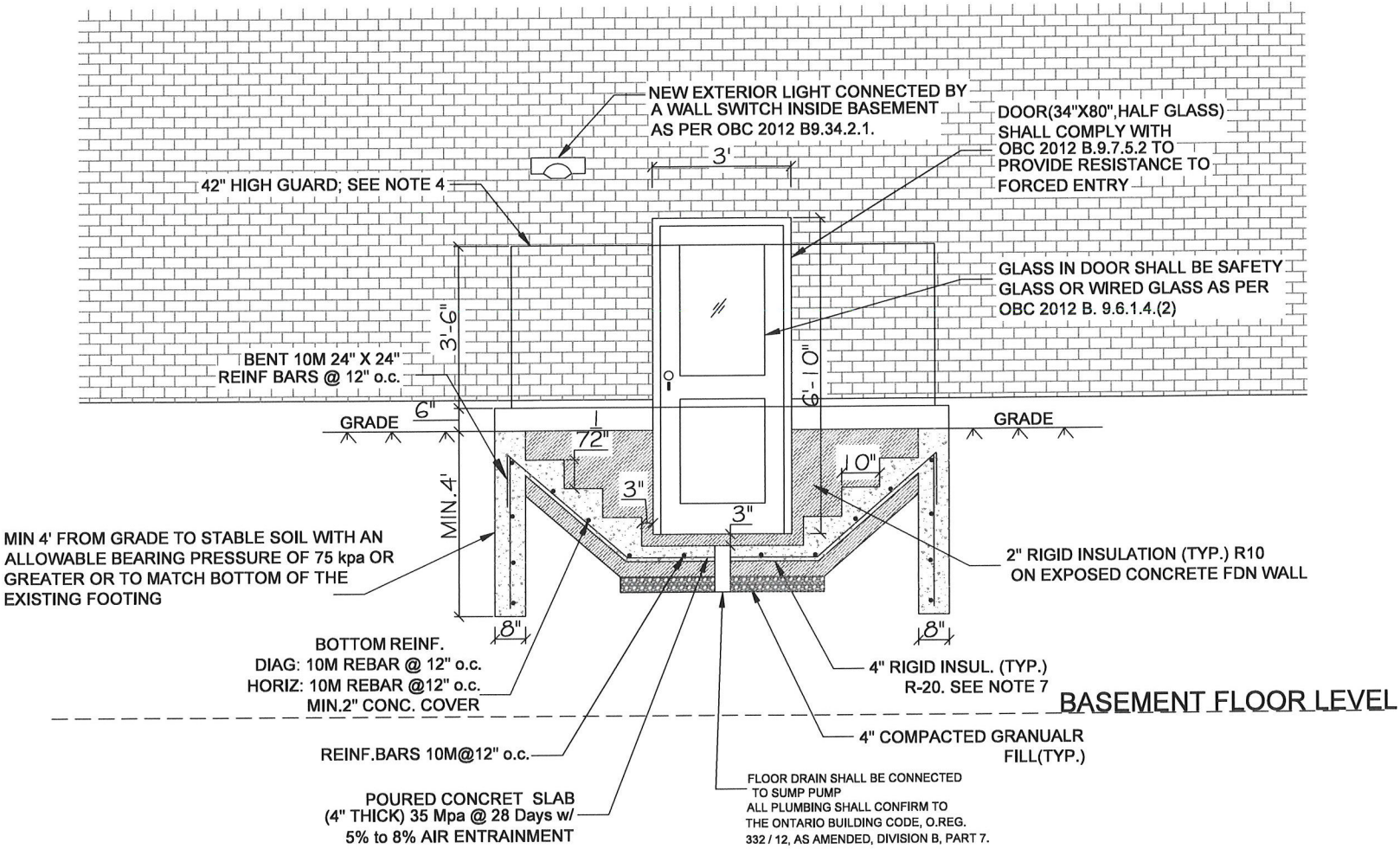
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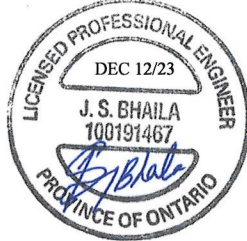
DEC 12, 2023

SCALE:
1/8" = 1'-0"

BELOW GRADE ENTRANCE A2



BELOW GRADE ENTRANCE SECTION B



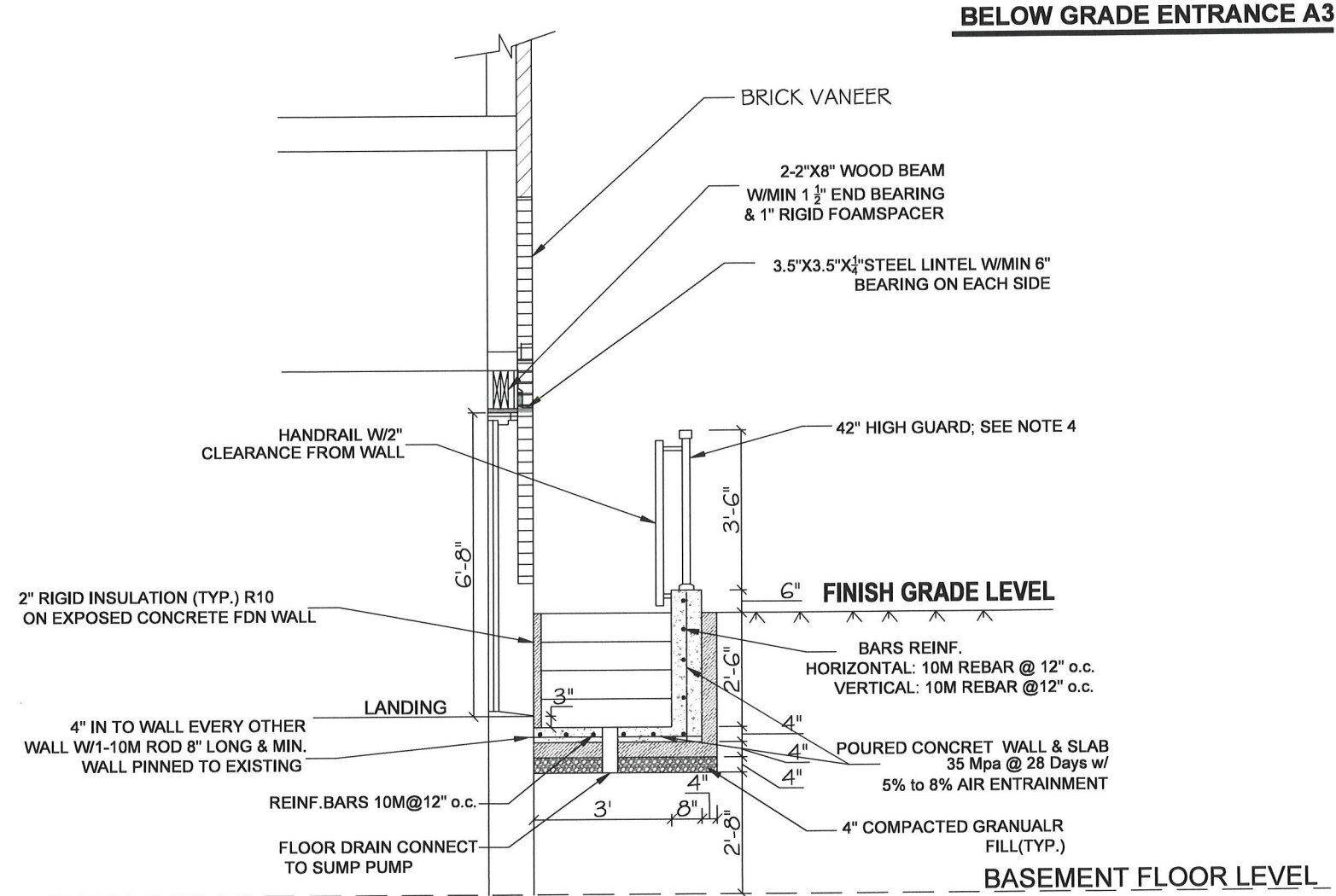
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BELOW GRADE
ENTRANCE
SECTION

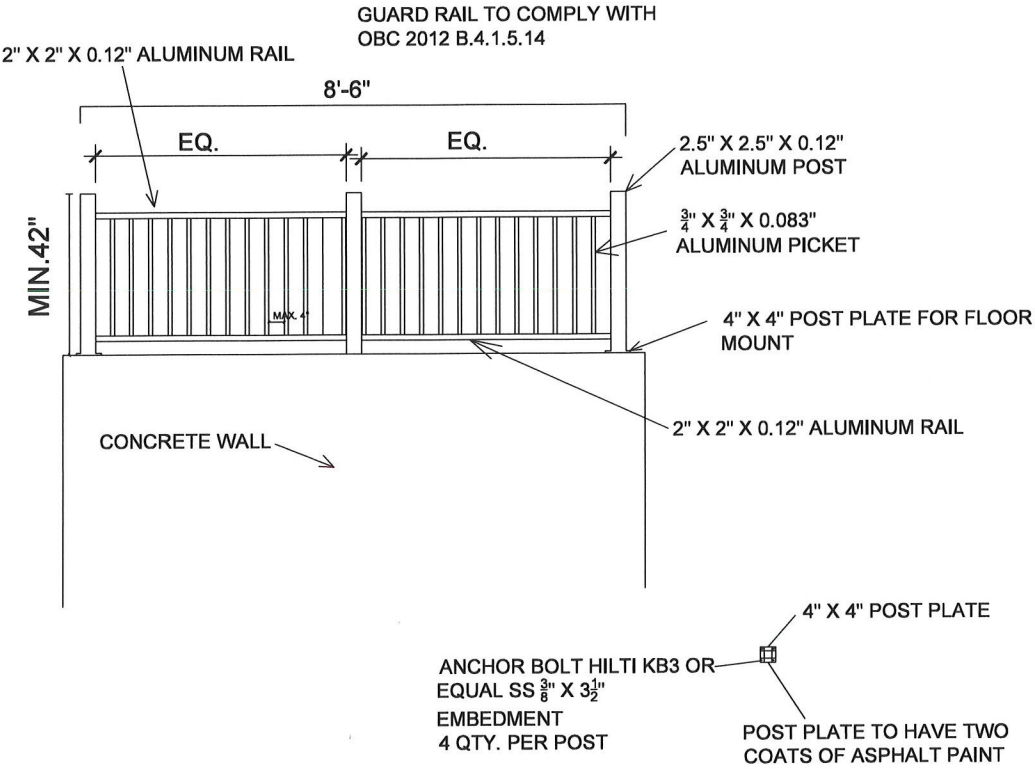
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INFORMATION

ADDRESS:
45 FRONTENAC CREB, BRAMPTON, ON
SCALE:
1" = 1'0"

DEC 12, 2023



BELOW GRADE ENTRANCE A4



LINTEL SCHEDULES:-

LINTEL NO.	HEADER	STEEL ANGLE FOR BRICK/STONE VENEER SUPPORT
L1	2-2" X 8"	3 1/2" X 3 1/2" X 1/4" STEEL ANGLE
L2	3-2" X 8"	3 1/2" X 3 1/2" X 3/8" STEEL ANGLE

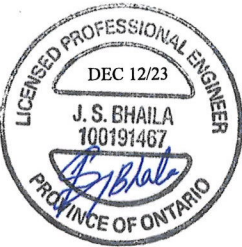
NOTE: PROVIDE MIN 6" BEARING OF LINTEL AT B/S OF WALL

BELOW GRADE NOTES

- ⚠ FOOTINGS:
FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 75kpa
- ⚠ HANDRAILS:
HANDRAILS SHOULD BE BETWEEN 34 TO 42 INCH ABOVE THE THREAD AT THE LEADING EDGE LINE. 2 INCH CLEARANCE FROM THE WALL IS REQUIRED START AND END POINT OF HANDRAILS MUST NOT OBSTRUCT PEDESTRIAN TRAFFIC OR CREATE A HAZARD.
BOTH SIDE HANDRAILS REQUIRED IF STAIRS ARE 43 IN OR WIDER.
- ⚠ EXTERIOR STAIRS:
7 1/2" RISE MAXIMUM
10" RUN MINIMUM
10" TREAD MINIMUM
4 1/2" RISE MINIMUM
14" RUN MAXIMUM
14" TREAD MAXIMUM
- RETAINING WALL:
10" POURED CONCRET WALL DOES NOT REQUIRE REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 4'-7".
PROVIDE 10M REBAR @12" o.c. EACH WAY FOR BACKFILL HEIGHTS EXCEED 4'-7".
- ⚠ GUARD(PRE-ENGINEERED):
42 INCH HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11".
36" FOR LESSER HEIGHTS.
MAXIMUM 4" BETWEEN VERTICAL PICKETS.
- ⚠ LIGHT:
ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT
- ⚠ EXTERIOR DOOR:
EXTERIOR DOOR GENERAL PERFORMANCE CRITERIA AND THERMAL RESISTANCE TO COMPLY WITH OBC 9.7.3
INSTALLATION OF MANUFACTURED AND PRE-ASSEMBLED DOOR SHALL CONFIRM TO THE MANUFACTURE'S INSTRUCTIONS. ALL UNFINISHED PORTIONS OF THE FRAME AND OTHER COMPONENTS OF DOORS IN CONTACT WITH THE EDGES OF MASONRY OR CONCRETE SHALL BE PROTECTED WITH CAULKING.
- ⚠ INSULATION DETAILS:
RIGID INSULATION TO HAVE FOLLOWING SPECIFICATIONS:
-STYROFOAM BRAND SM EXTRUDED POLYSTYRENE FOAM INSULATION
-RSI VALUE OF 0.87/25 MM (R-5 PER 1 INCH)
-BOARD SIZE: (AS INDICATED ON DRAWINGS)
-COMPRESSIVE STRENGTH: 210 kpa
-DRAINING CAPACITY: >0.72 m3/hr/m

GUARD SPECIFICATIONS

DESIGN IS BASED ON THE INFORMATION PROVIDED US BY LINEDEZINE STUDIO LTD. AT THE TIME OF REVIEW. NOBLE ELITE SOLUTIONS WILL NOT BE THE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM, THIS INFORMATION



NOBLE ELITE SOLUTIONS LTD
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FOR BELOW GRADE ENTRANCE ONLY

ADDRESS:
45 FRONTENAC CRES, BRAMPTON, ON
DATE: DEC 12, 2023
SCALE: 1/8" = 1'-0"

Zoning Non-compliance Checklist

File No.
A-2023-0408

Applicant: Sukhdeep Bhangu
Address: 45 Frontenac Cres
Zoning: R2A-1194
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE	<div><div>1. To permit a proposed exterior stairway leading to a below grade entrance in a required side yard,</div><div>2. To permit an interior side yard setback of 0.1m to a proposed exterior stairway leading to a below grade entrance,</div></div>	<div><div>1. whereas the by-law does not permit exterior stairways constructed below established grade in the required interior side yard.</div><div>2. whereas the by-law requires a minimum interior side yard setback of 1.2m.</div></div>	<div><div>1. 10.23 .1</div><div>2. 1194.2 (7)</div></div>
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2023/12/14

Date