

FILE NUMBER: A-2023-0416

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) GAYATRI ANAD
Address 3 HAGGERT AVE S. BRAMPTON, ON, L6Y 2C1

Phone # 6477132211 Fax # _____
Email CANINDIANS@GMAIL.COM

2. Name of Agent TARUNPREET KAUR
Address UNIT 4, 131 TRAYNOR AVE, KITCHEN, ON, N2C 2M6

Phone # 4377882260 Fax # _____
Email SAINITARUN70@YAHOO.COM Yahoo.com

3. Nature and extent of relief applied for (variances requested):
NATURE: REAR YARD SETBACK
EXTENT: PROPOSED REAR YARD SETBACK IS 3.08M WHEREAS REQUIRED REAR YARD SETBACK IS 5.47M.

4. Why is it not possible to comply with the provisions of the by-law?
REASON: THE WOODEN DECK IS EXISTING AND APPROVED UNDER PERMIT # 18-138780-000-00 WITH REAR YARD SETBACK 3.08M. THE OWNER WANTS TO BUILD WOOD FRAM SUNROOM ON TOP OF EXISTING APPROVED WOODEN DECK.

5. Legal Description of the subject land:
Lot Number 10
Plan Number/Concession Number PLAN 429
Municipal Address 3 HAGGERT AVE S

6. Dimension of subject land (in metric units)
Frontage 60.00'
Depth 67.62'
Area 392.08 SQM

7. Access to the subject land is by:
Provincial Highway ☐ Seasonal Road ☐
Municipal Road Maintained All Year ☒ Other Public Road ☐
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING ONE STOREY HOUSE

PROPOSED BUILDINGS/STRUCTURES on the subject land:

PROPOSED WOOD FRAME CONSTRUCTION SUNROOM ON PERMITTED DECK

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING	
Front yard setback	6.12M
Rear yard setback	3.08M
Side yard setback	1.88M
Side yard setback	5.67M
PROPOSED	
Front yard setback	6.12M
Rear yard setback	3.08M
Side yard setback	1.88M
Side yard setback	5.67M

10. Date of Acquisition of subject land:

11. Existing uses of subject property: SINGLE DETACHED HOUSE

12. Proposed uses of subject property: SINGLE DETACHED HOUSE

13. Existing uses of abutting properties: SINGLE DETACHED HOUSE

14. Date of construction of all buildings & structures on subject land: 1956

15. Length of time the existing uses of the subject property have been continued: 67 YEARS

16. (a)	What water supply is existing/proposed?	
	Municipal	<input checked="" type="checkbox"/>
	Well	<input type="checkbox"/>
	Other (specify)	
(b)	What sewage disposal is/will be provided?	
	Municipal	<input checked="" type="checkbox"/>
	Septic	<input type="checkbox"/>
	Other (specify)	
(c)	What storm drainage system is existing/proposed?	
	Sewers	<input checked="" type="checkbox"/>
	Ditches	<input type="checkbox"/>
	Swales	<input type="checkbox"/>
	Other (specify)	

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # A-2021-0114 Decision APPROVED
File # _____ Decision _____
File # _____ Decision _____

TO PERMIT FRONT YARD SETBACK OF 3.08M
TO PERMIT LOT COVERAGE 31.32%
Relief TO PERMIT INTERIOR YARD SETBACK 0.65M
Relief _____
Relief _____

TARUNPREET KAUR

Signature of Applicant(s) or Authorized Agent

DATED AT THE 04 OF DECEMBER

THIS _____ DAY OF MONDAY, 20 23

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, TARUNPREET KAUR, OF THE CITY OF KITCHENER OF KITCHENER
IN THE REGION OF WATERLOO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 20th DAY OF

December, 20 23

Clara Vani
A Commissioner etc.

Clara Vani
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

Tarunpreet Kaur

TARUNPREET KAUR

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R2B(1), Mature Neighbourhood

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar
Zoning Officer

2023/12/14
Date

DATE RECEIVED

Dec 20, 2023

PERMISSION TO ENTER


To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 3 HAGGERT AVE S, BRAMPTON, ON, L6Y 2C1

I/We, GAYATRI ANAND
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 04 day of DECEMBER, 2023.


(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 3 HAGGERT AVE S, BRAMPTON, ON, L6Y 2C1

I/We, GAYATARI ANAND
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

TARUNPREET KAUR
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for minor variance with respect to the subject land.

Dated this 04 day of DECEMBER, 2023.



(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

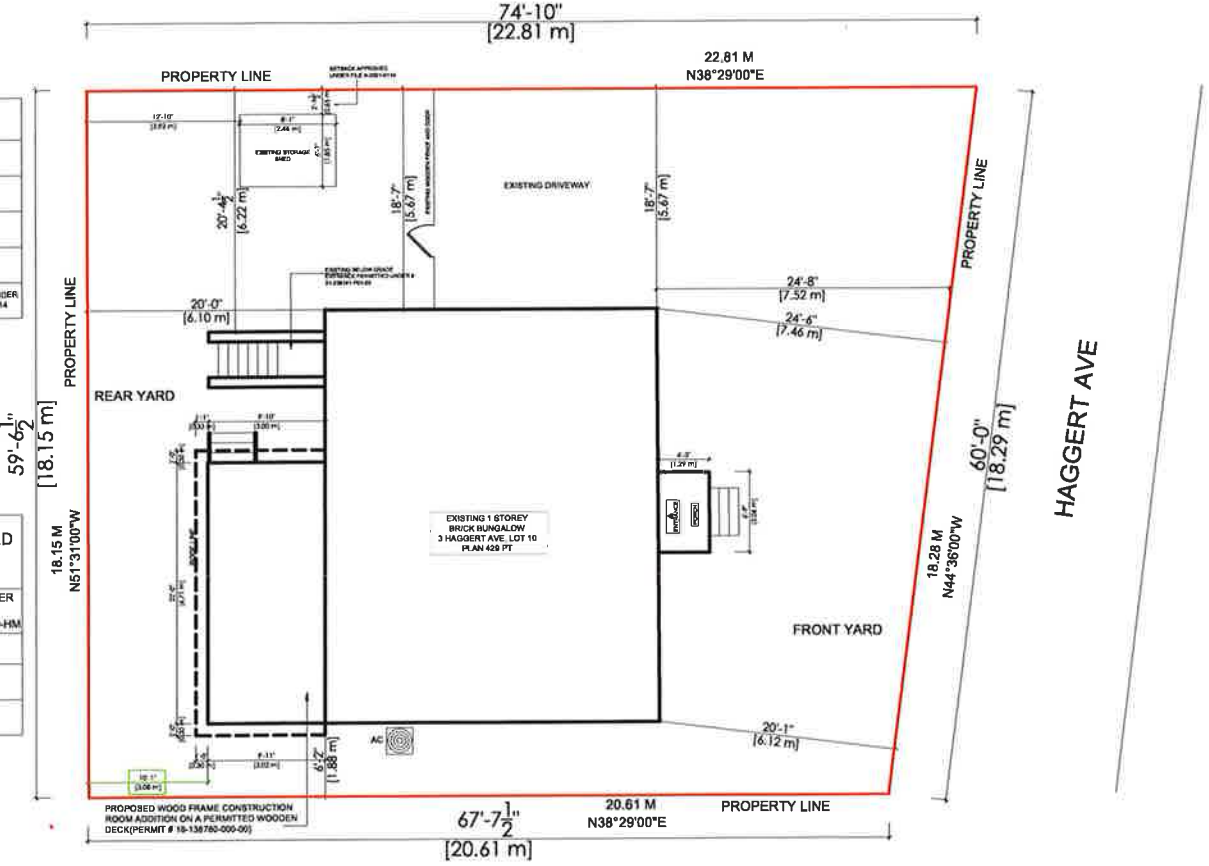


SITE STATISTICS:			
DESCRIPTION	EXISTING	PROPOSED	
MAIN FLOOR AREA	90.42 SQM		
SECOND DWELLING UNIT AREA	77.10 SQM		
PROPOSED ADDITION AREA		20.25 SQM	
LOT COVERAGE	23.08%	28.22%	APPROVED UNDER FILE # 2023-0114

SETBACKS:		PROPOSED
FRONT YARD SETBACK	8.12 M	
REAR YARD SETBACK	3.08 M	APPROVED UNDER PERMIT # 18-138780-000-HM
LEFT SIDE SETBACK	1.88 M	
RIGHT SIDE SETBACK	5.67 M	

SITE PLAN

SC: 3/32" - 1'-0"



General Notes

- * CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE HOME SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
- * ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
- * THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS PERMITTED.
- * DIMENSIONS ARE NOT TO BE SCALED.

REVISION NO.	DATE	DESCRIPTION	BY

OWNER

GAYATRI ANAND

PROJECT TITLE:

3 HAGGERT AVE, BRAMPTON, ON, L6T 2T1

SHEET TITLE:

SITE PLAN

CLIENT EMAIL: saintarun70@yahoo.com

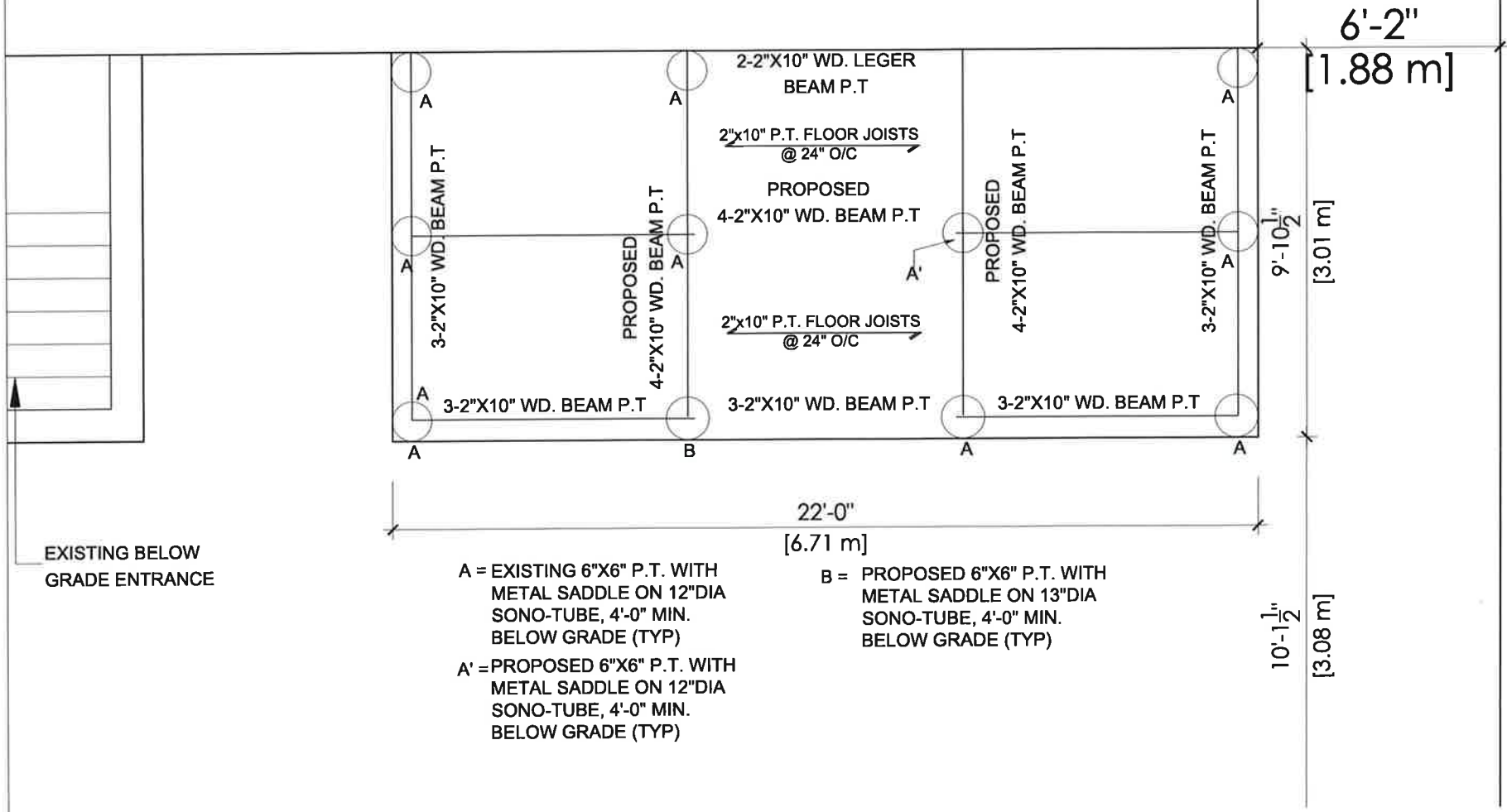
CLIENT CONTACT: 4377882280

SCALE: 3/32" = 1'-0"

PLOT DATE: 2023.07.16

A100

EXISTING 1 STOREY
BRICK BUNGALOW
3 HAGGERT AVE, LOT 10
PLAN 429 PT



General Notes

* CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
* ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
* THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS PERMITTED.
* DRAWINGS ARE NOT TO BE SCALED.

REVISION		
NO.	DATE	DESCRIPTION

OWNER
GAYATRI ANAND

PROJECT TITLE:
3 HAGGERT AVE,
BRAMPTON, ON, L6T 2T1

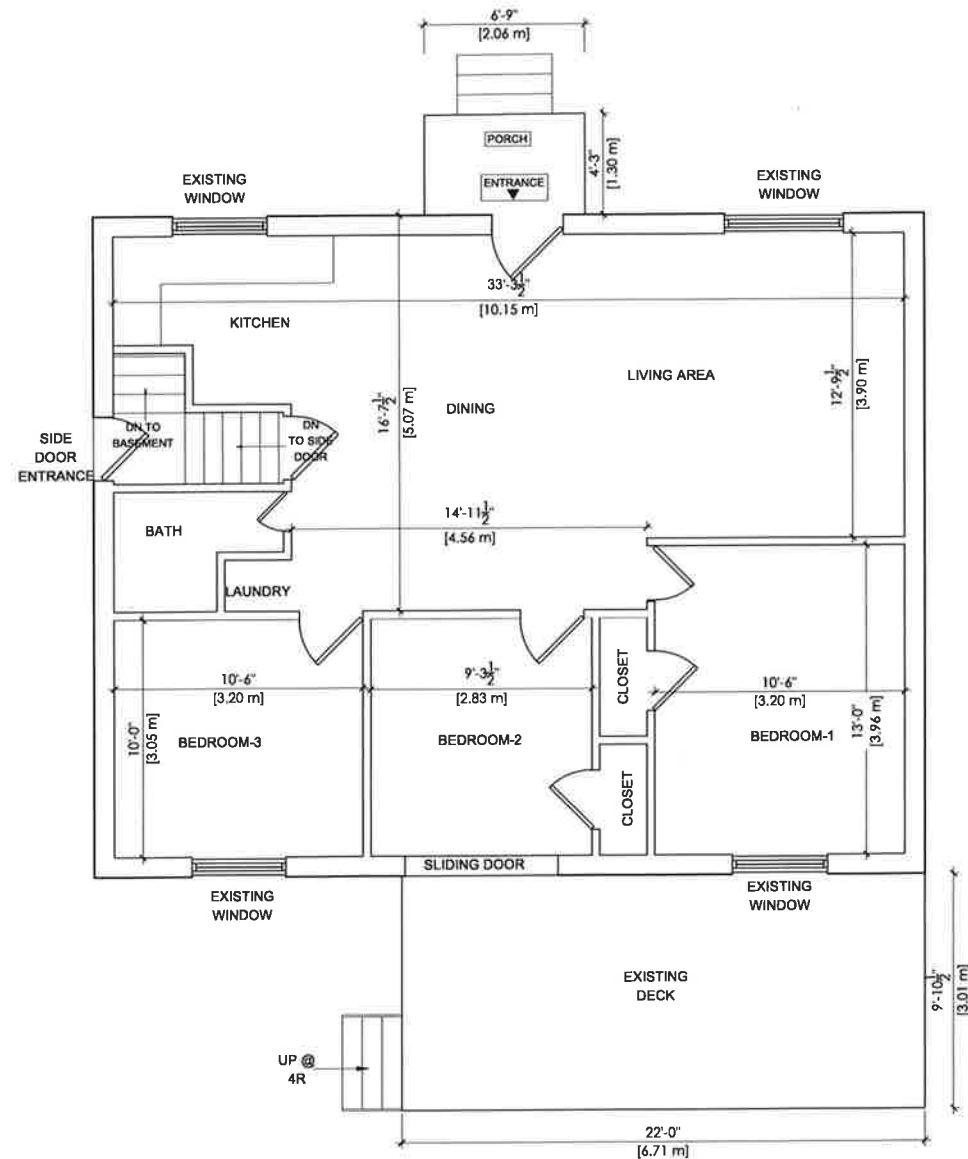
SHEET TITLE:
DECK PLAN

CLIENT EMAIL: seintarun70@yahoo.com

CLIENT CONTACT: 4377882280

SCALE: 3/8" = 1'-0"
PLOT DATE: 2023 07 16

DRAWING NO.:
A101



EXISTING MAIN FLOOR PLAN

SC: 3/16" - 1'-0"

General Notes

* CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.

* ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.

* THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL PERMITTED.

* DRAWINGS ARE NOT TO BE REALED.

REVISION NO.	DATE	DESCRIPTION	BY

OWNER

GAYATRI ANAND

PROJECT TITLE:

3 HAGGERT AVE,
BRAMPTON, ON, L6T 2T1

SHEET TITLE:

EXISTING MAIN
FLOOR PLAN

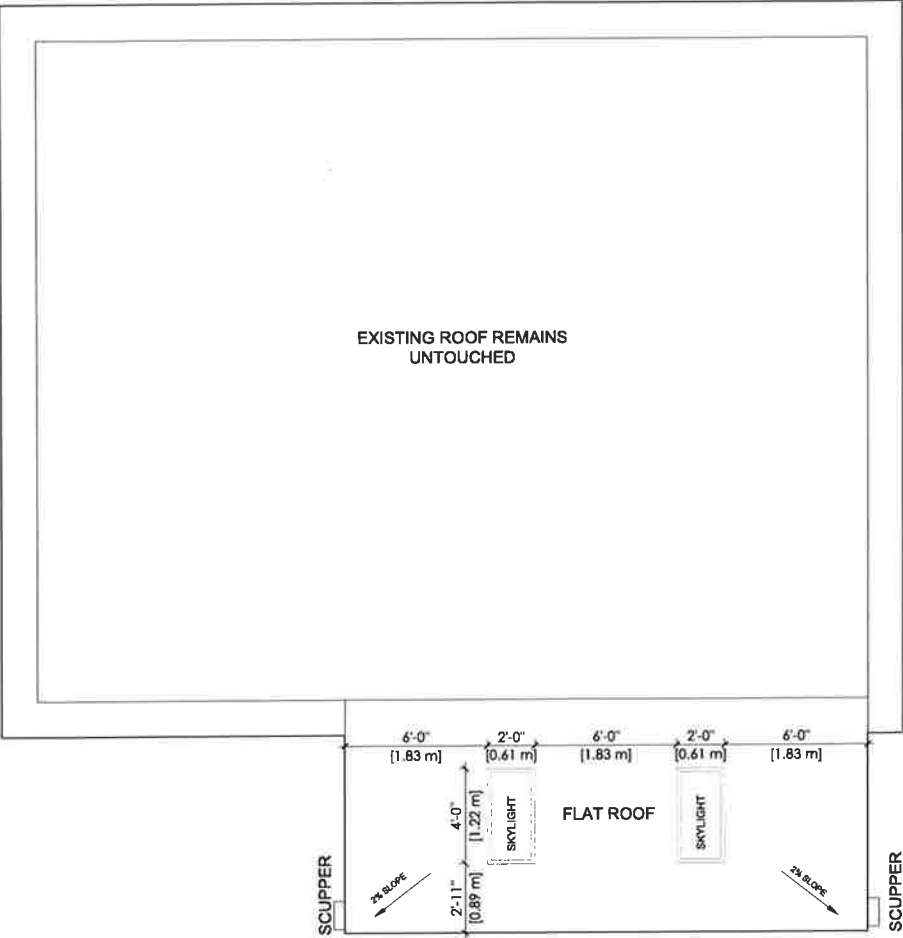
CLIENT EMAIL:

sahilkarun70@yahoo.com

CLIENT CONTACT:

4377882280

SCALE:	3/16"=1'-0"	DRAWING NO.:
PLOT DATE:	2023 07 16	A102



ROOF PLAN

SC: 3/16" - 1'-0"

General Notes

- * CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SETS AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
- * ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
- * THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL PERMITTED.
- * DRAWINGS ARE NOT TO BE SCALED.

REVISION		
NO.	DATE	DESCRIPTION

OWNER

GAYATRI ANAND

PROJECT TITLE:
3 HAGGERT AVE,
BRAMPTON, ON, L6T 2T1

SHEET TITLE:

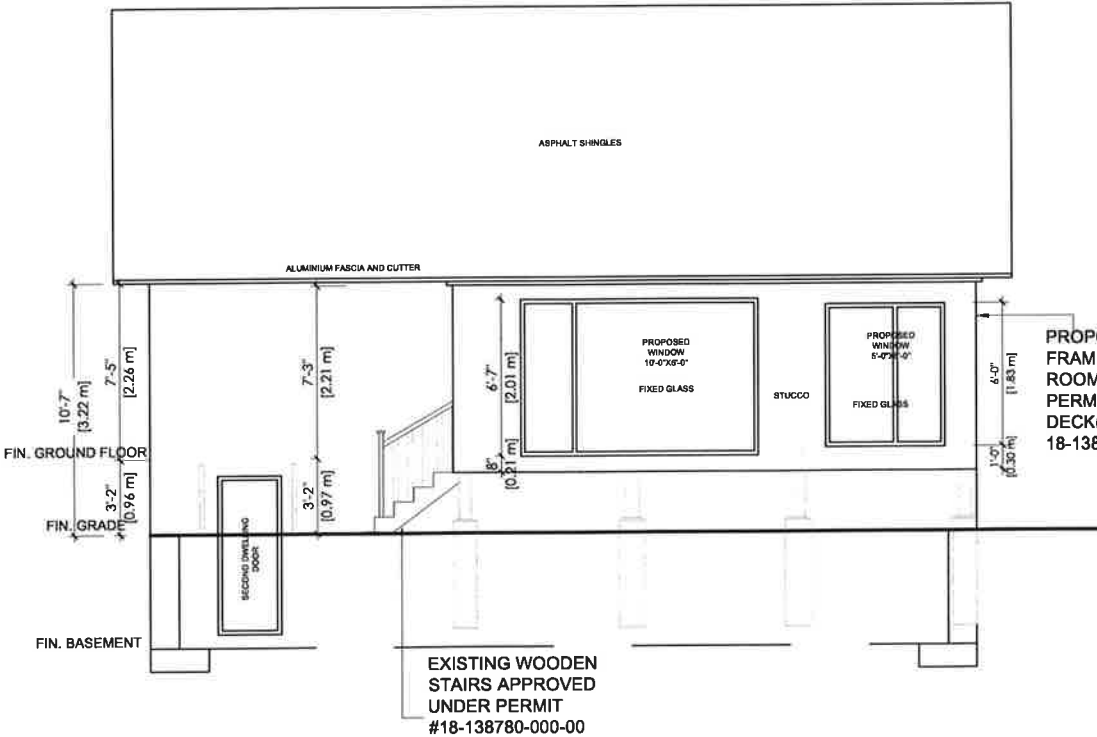
ROOF PLAN

CLIENT EMAIL: saintarun70@yahoo.com

CLIENT CONTACT: 4377882280

SCALE: 3/16" = 1'-0"
PLOT DATE: 2023 07 19

DRAWING NO.:
A104



REAR ELEVATION
SC: 3/16" - 1'-0"

General Notes

- * CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
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- * DRAWINGS ARE NOT TO BE SCALED.

REVISION		
NO.	DATE	DESCRIPTION

OWNER

GAYATRI ANAND

PROJECT TITLE:
3 HAGGERT AVE,
BRAMPTON, ON, L6T 2T1

SHEET TITLE:

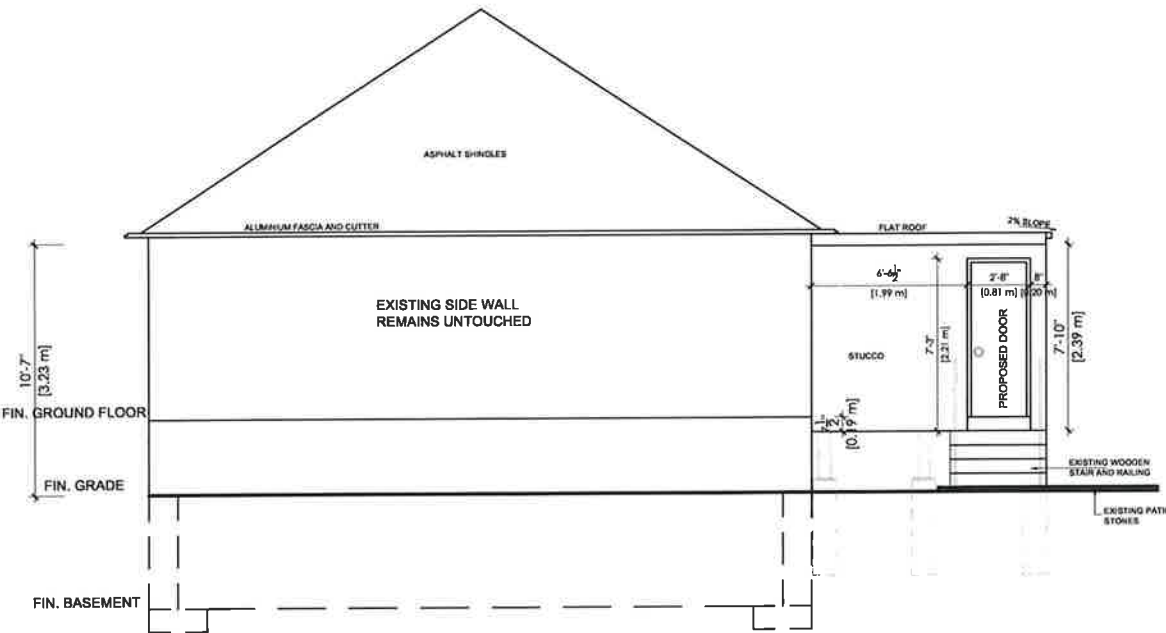
REAR ELEVATION

CLIENT EMAIL: sainitarun70@yahoo.com

CLIENT CONTACT: 4377882280

SCALE: 3/16" = 1'-0"
PLOT DATE: 2023.07.18

A105



RIGHT SIDE ELEVATION
SC: 3/16" - 1'-0"

General Notes

- * CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
- * ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
- * THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS PERMITTED.
- * DIMENSIONS ARE NOT TO BE SCALED.

REVISION NO.	DATE	DESCRIPTION	BY

OWNER
GAYATRI ANAND

PROJECT TITLE:
3 HAGGERT AVE,
BRAMPTON, ON, L6T 2T1

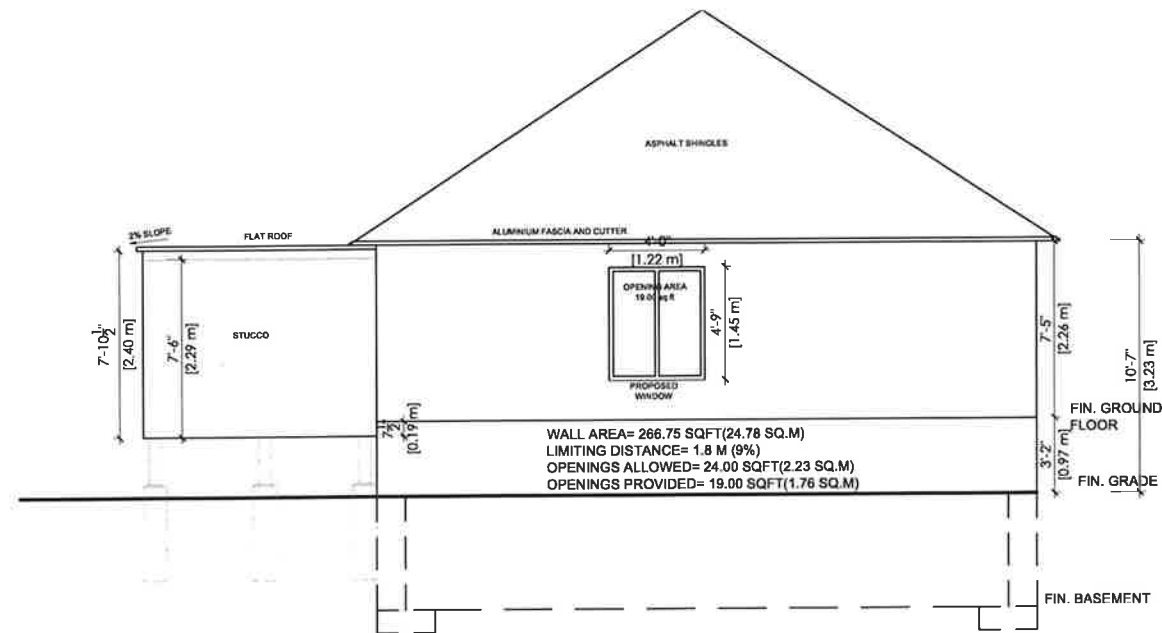
SHEET TITLE:
RIGHT SIDE ELEVATION

CLIENT EMAIL: saintanun70@yahoo.com

CLIENT CONTACT: 4377882280

SCALE: 3/16" = 1'-0"
PLOT DATE: 2023.07.16

A106



LEFT SIDE ELEVATION

SC: 3/16" - 1'-0"

General Notes

- * CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING.
- * ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK.
- * THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS PERMITTED.
- * DRAWINGS ARE NOT TO BE SCALED.

REVISION		
NO.	DATE	DESCRIPTION

OWNER

GAYATRI ANAND

PROJECT TITLE:

3 HAGGERT AVE,
BRAMPTON, ON, L6T 2T1

SHEET TITLE:

LEFT SIDE ELEVATION

CLIENT EMAIL: sainitarun70@yahoo.com

CLIENT CONTACT: 4377882260

SCALE: 3/16"=1'-0"

PLOT DATE:
2023 07 15

DRAWING NO.:

A107

ACTION REQUIRED - REWORK required for Building Online Permit Application - 87219-BPO-3 HAGGERT AVE S-20230710

Yahoo/Inbox



From: notification@brampton.ca
To: sainitarun70@yahoo.com



Tue, Jul 11 at 9:21 AM

*****DO NOT REPLY TO THIS EMAIL*****

Your Building Permit application requires some changes.

You DO NOT NEED to submit a new application form. Please review the comments below and click the link to open the form to correct/upload the missing information. Your changes will then be resubmitted to continue processing your application.

DETAILS:

Reference #: 87219-BPO-3 HAGGERT AVE S-20230710

Project Location: 3 HAGGERT AVE S

Permit Details:

Comments:

The rear yard setback required is 5.47 metres. No variance has been approved for the rear yard addition. The variance you are quoting in your drawing was for the front yard. Please amend the drawing to reflect a minimum 5.47 metres setback to the proposed addition.
rose.bruno@brampton.ca

If there is no response after 30 days (DD/MM/YYYY) (10/08/2023), your application will automatically be cancelled.

Application for a Permit to Construct or Demolish

This form is authorized under subsection 8(1.1) of the Building Code Act, 1992.

For use by Principal Authority				
Application number:		Permit number (if different):		
Date received:		Roll number:		
Application submitted to: THE CORPORATION OF THE CITY OF BRAMPTON (Name of municipality, upper-tier municipality, board of health or conservation authority)				
A. Project information				
Building number, street name		Unit number	Lot/con.	
3 HAGGERT AVE S			10	
Municipality	Postal code	Plan number/other description		
BRAMPTON	L6Y2C1	429 PT		
Project value est. \$		Area of work (m ²)		
10,000				
B. Purpose of application				
<input type="checkbox"/> New construction	<input checked="" type="checkbox"/> Addition to an existing building	<input type="checkbox"/> Alteration/repair	<input type="checkbox"/> Demolition	<input type="checkbox"/> Conditional Permit
Proposed use of building		Current use of building		
TUD		TUD		
Description of proposed work PROPOSING WOOD FRAME CONSTRUCTION ADDITION ON EXISTING WOODEN DECK. PROPOSING ONE WINDOW IN BEDROOM-1 ON LEFT SIDE SETBACK.				
C. Applicant Applicant is: <input checked="" type="radio"/> Owner or <input type="radio"/> Authorized agent of owner				
Last name		First name	Corporation or partnership	
ANAND		GAYATRI		
Street address		Unit number	Lot/con.	
3 HAGGERT AVE S			10	
Municipality	Postal code	Province	E-mail	
BRAMPTON	L6Y2C1	ON	sainitarun70@yahoo.com	
Telephone number	Fax		Cell number	
			4377882260	
D. Owner (if different from applicant)				
Last name		First name	Corporation or partnership	
Street address		Unit number	Lot/con.	
Municipality	Postal code	Province	E-mail	
Telephone number	Fax		Cell number	

E. Builder (optional)				
Last name		First name	Corporation or partnership (if applicable)	
Street address			Unit number	Lot/con.
Municipality	Postal code	Province	E-mail	
Telephone number	Fax		Cell number	
F. Tarion Warranty Corporation (Ontario New Home Warranty Program)				
i. Is proposed construction for a new home as defined in the <i>Ontario New Home Warranties Plan Act</i> ? If no, go to section G.			<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
ii. Is registration required under the <i>Ontario New Home Warranties Plan Act</i> ?			<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
iii. If yes to (ii) provide registration number(s): _____				
G. Required Schedules				
i) Attach Schedule 1 for each individual who reviews and takes responsibility for design activities.				
ii) Attach Schedule 2 where application is to construct on-site, install or repair a sewage system.				
H. Completeness and compliance with applicable law				
i) This application meets all the requirements of clauses 1.3.1.3 (5) (a) to (d) of Division C of the Building Code (the application is made in the correct form and by the owner or authorized agent, all applicable fields have been completed on the application and required schedules, and all required schedules are submitted). Payment has been made of all fees that are required, under the applicable by-law, resolution or regulation made under clause 7(1)(c) of the <i>Building Code Act, 1992</i> , to be paid when the application is made.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
ii) This application is accompanied by the plans and specifications prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> .			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iii) This application is accompanied by the information and documents prescribed by the applicable by-law, resolution or regulation made under clause 7(1)(b) of the <i>Building Code Act, 1992</i> which enable the chief building official to determine whether the proposed building, construction or demolition will contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
iv) The proposed building, construction or demolition will not contravene any applicable law.			<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
I. Declaration of applicant				
I, <u>GAYATRI ANAND</u> declare that: (print name)				
1. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge.				
2. If the owner is a corporation or partnership, I have the authority to bind the corporation or partnership.				
2023-07-10		<u>GAYATRI ANAND</u>		
Date		Signature of applicant		

Personal information contained in this form and schedules is collected under the authority of subsection 8(1.1) of the *Building Code Act, 1992*, and will be used in the administration and enforcement of the *Building Code Act, 1992*. Questions about the collection of personal information may be addressed to: a) the Chief Building Official of the municipality or upper-tier municipality to which this application is being made, or, b) the inspector having the powers and duties of a chief building official in relation to sewage systems or plumbing for an upper-tier municipality, board of health or conservation authority to whom this application is made, or, c) Director, Building and Development Branch, Ministry of Municipal Affairs and Housing 777 Bay St., 2nd Floor. Toronto, M5G 2E5 (416) 585-6666.

CITY OF BRAMPTON - BUILDING DIVISION

SECTION G*i*. DOCUMENTS ESTABLISHING COMPLIANCE WITH APPLICABLE LAW (OBC Div. A - 1.4.1.3.)

Permit Application No.

Project Location

3

#

HAGGERT AVE S

street

unit/suite

Explanation:
Applicable Law - Applicable law is other regulations for which approval must be obtained before a building permit can issue. A complete list of Acts and Regulations that are "Applicable Law" is set out in Article 1.4.1.3 of Division A of the Ontario Building Code.

Instructions:
The most common Acts and Regulations are listed below with the documentation that must be provided before a building permit can issue. Check those that apply to your permit application and complete the declaration. The customer service plans examiner will assist you with any questions you may have about the regulations listed. The documents noted must be provided before a building permit can issue.

Details and Contact Information
A list of agencies and contact information is available at the Building Division or on the City of Brampton website

APPLICABLE LAWS (Note: This list provides only the most common approvals)

ACT	Description	REQUIRED DOCUMENTS (Provide copy)	Required Yes/No	Received
Planning Act s.41	(Site Plan Control)	Site plan approved drawings	No <input type="checkbox"/>	
Planning Act s.34	(Zoning By-law)	Final & binding amendment	No <input type="checkbox"/>	
Planning Act Pt. V1	(Division of Land)	Registered Plan or Deed	No <input type="checkbox"/>	
Planning Act s.45	(Minor Variance)	Final Decision from City Clerk	No <input type="checkbox"/>	
Planning Act s.33	(Demolition of Residential Property)	Council Approval	No <input type="checkbox"/>	
Ontario Heritage Act ss.27 (3), 30(2), 33, ss.34.40.1 & 40.2		Heritage Permit	No <input type="checkbox"/>	
Ontario Heritage Act s.34.5 and s. 34.7.(2)		Ministry of Culture approval	No <input type="checkbox"/>	
Development Charges Act s.28 and s.53, Education Act s.257.83 & 257.93	(Financial Contribution)	Confirmation of payment from City of Brampton Finance Department	No <input type="checkbox"/>	
Planning Act s.42(6)	(Cash in Lieu of Parkland)	Confirmation of payment from City of Brampton Finance Department	No <input type="checkbox"/>	
Conservation Authorities Act	(Flood plain or fill regulated area)	Construction and Fill Permit	No <input type="checkbox"/>	
Day Nurseries Act, Reg. 262 s.5	(Daycare centre with more than 5 children)	Approval from Ministry of Children and Youth Services	No <input type="checkbox"/>	
Education Act s.194	(Demolition of all or part of a school)	Approval from Ministry of Education	No <input type="checkbox"/>	
Environmental Protection Act s.168.3.1 & 168.6(1) change of use of land	(Industrial or commercial to agricultural, residential or park)	File Record of Site Condition (RSC) and/or provide Certification of Property use (CPU)	No <input type="checkbox"/>	
Public Transportation Act s.34 and s. 38 10	(Construction within 45m of the road or within 395m of an intersection of Hwys, 410 or 407)	Building and Land Use Permit issued by MTO	No <input type="checkbox"/>	
Other:				

APPLICANT'S DECLARATION

I, GAYATRI ANAND certify that the applicable laws designated on the above noted chart are, to the best of my
(print name)
knowledge, all of the "applicable law" for which this application for a permit must comply before a permit is issued.

2023-07-10
Date

GAYATRI ANAND
Signature

FOR OFFICE USE ONLY

Schedule 1: Designer Information

Use one form for each individual who reviews and takes responsibility for design activities with respect to the project.

A. Project Information

Building number, street name3 HAGGERT AVE S

Unit no.

Lot/con.10

MunicipalityBRAMPTON

Postal codeL6Y2C1

Plan number/ other description429 PT

B. Individual who reviews and takes responsibility for design activities

NameGAYATRI ANAND

Firm

Street address3 HAGGERT AVE S

Unit no.

Lot/con.10

MunicipalityBRAMPTON

Postal codeL6Y2C1

ProvinceON

E-mailsainitarun70@yahoo.com

Telephone number

Fax number

Cell number4377882260

C. Design activities undertaken by individual identified in Section B. [Building Code Table 3.5.2.1. of Division C]

☒ House

☐ Small Buildings

☐ Large Buildings

☐ Complex Buildings

☐ HVAC – House

☐ Building Services

☐ Detection, Lighting and Power

☐ Fire Protection

☐ Building Structural

☐ Plumbing – House

☐ Plumbing – All Buildings

☐ On-site Sewage Systems

Description of designer's work

PROPOSING WOOD FRAME CONSTRUCTION ADDITION ON EXISTING WOODEN DECK.
PROPOSING ONE WINDOW IN BEDROOM-1 ON LEFT SIDE SETBACK.

D. Declaration of Designer

I _____ declare that (choose one as appropriate):

(print name)

☐ I review and take responsibility for the design work on behalf of a firm registered under subsection 3.2.4.of Division C, of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: _____

Firm BCIN: _____

☐ I review and take responsibility for the design and am qualified in the appropriate category as an "other designer" under subsection 3.2.5.of Division C, of the Building Code.

Individual BCIN: _____

Basis for exemption from registration: _____

☒ The design work is exempt from the registration and qualification requirements of the Building Code.

Basis for exemption from registration and qualification:HOMEOWNER

I certify that:

1. The information contained in this schedule is true to the best of my knowledge.

2. I have submitted this application with the knowledge and consent of the firm.

2023-07-10

GAYATRI ANAND

Date

Signature of Designer

NOTE:

1. For the purposes of this form, "individual" means the "person" referred to in Clause 3.2.4.7(1) (c).of Division C, Article 3.2.5.1. of Division C, and all other persons who are exempt from qualification under Subsections 3.2.4. and 3.2.5. of Division C.

2. Schedule 1 is not required to be completed by a holder of a license, temporary license, or a certificate of practice, issued by the Ontario Association of Architects. Schedule 1 is also not required to be completed by a holder of a license to practise, a limited license to practise, or a certificate of authorization, issued by the Association of Professional Engineers of Ontario.

Application for a Permit to Construct or Demolish – Effective January 1, 2014

Zoning Non-compliance Checklist

File No.
A-2023-0416

Applicant: Tarunpreet Kaur
Address: 3 Haggert Ave S
Zoning: R2B(1), Mature Neighbourhood
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit a rear yard setback of 3.08m to a proposed sunroom addition,	whereas the by-law requires a minimum rear yard setback of 5.47m.	10.27 (a)
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2023/12/14

Date