



Report Committee of Adjustment

Filing Date: December 20, 2023

Hearing Date: January 23, 2024

File: A-2023-0416

**Owner/
Applicant:** Gayatri Anad/Tarunpreet Kaur

Address: 3 Haggart Avenue South

Ward: WARD 3

Contact: Ramsen Yousif, Development Planner

Recommendations:

That application A-2023-0416 is supportable, subject to the following conditions being imposed:

1. That the extent of the variance be limited to that shown on the sketch attached to the Notice of Decision;
 2. That the proposed sunroom addition remain 1-storey in height;
 3. That failure to comply with and maintain the conditions of the Committee shall render the approval null and void.
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Background:

Existing Zoning:

The property is zoned 'Residential Extended One Zone – R2B (1)', according to By-law 270-2004, as amended.

Requested Variance:

The applicant is requesting the following variance:

1. To permit a rear yard setback of 3.08m to a proposed sunroom addition, whereas the by-law requires a minimum rear yard setback of 5.47m.

Current Situation:

1. Maintains the General Intent and Purpose of the Official Plan

The subject property is designated as 'Central Area' in the Official Plan and 'Medium Density' in the Downtown Brampton Secondary Plan (Area 7). The requested variance is to facilitate the construction of a sunroom addition and has no impact within the context of the policies of the Official Plan and Secondary Plan. Subject to the recommended conditions of approval, the requested variance is considered to maintain the general intent of the Official Plan.

2. Maintains the General Intent and Purpose of the Zoning By-law

The variance is requested to a rear yard setback of 3.08m to a proposed sunroom addition, whereas the by-law requires a minimum rear yard setback of 5.47m. The intent of the by-law in requiring a minimum rear yard setback is to ensure that sufficient space area is provided for the rear yard amenity area for the property. Rear yard setback requirements are also intended to ensure appropriate separation between structures and adjacent properties.

The subject property is a detached single-storey bungalow located on an interior lot and backs onto the backyard of an adjacent property. The location and the configuration of the proposed sunroom addition relative to the lot size and surrounding size ensures that the reduction in the rear yard setback will not generate massing and privacy impacts as the proposed addition will be screened by existing landscaping and fencing, sufficient distance is maintained between neighboring properties. Additionally, the subject property will continue to maintain sufficient amenity space in the rear yard. Subject to the recommended conditions of approval, the variance maintains the general intent and purpose of the Zoning By-law.

3. Desirable for the Appropriate Development of the Land

The variance is requested to permit a proposed sunroom addition in the rear yard of the property. The proposed sunroom is planned to be built on top of an existing wooden deck (see Appendix A & B). Given the size of the rear yard and the configuration of the addition occupying a small portion of the rear wall of the dwelling, the existing sunroom is not anticipated to limit the overall provision of amenity space or cause negative visual impacts as it is screened from adjacent properties. Additionally, the sunroom addition will be positioned in a way that it faces the neighboring garage rather than the main dwelling, avoiding potential privacy concerns. Building Staff have advised that a landing is required at the top and bottom of the exterior stair accessing the proposed rear addition, as per Division B, 9.8.6.2. of the Ontario Building Code. Subject to the recommended conditions, the proposed variance is desirable for the appropriate development of the land.

4. Minor in Nature

The subject property is a single storey detached dwelling located within a residential area. In relation to the variance, the sunroom addition is not anticipated to negatively impact the function of the rear yard amenity space. Privacy concerns are mitigated as the addition maintains the interior side yard

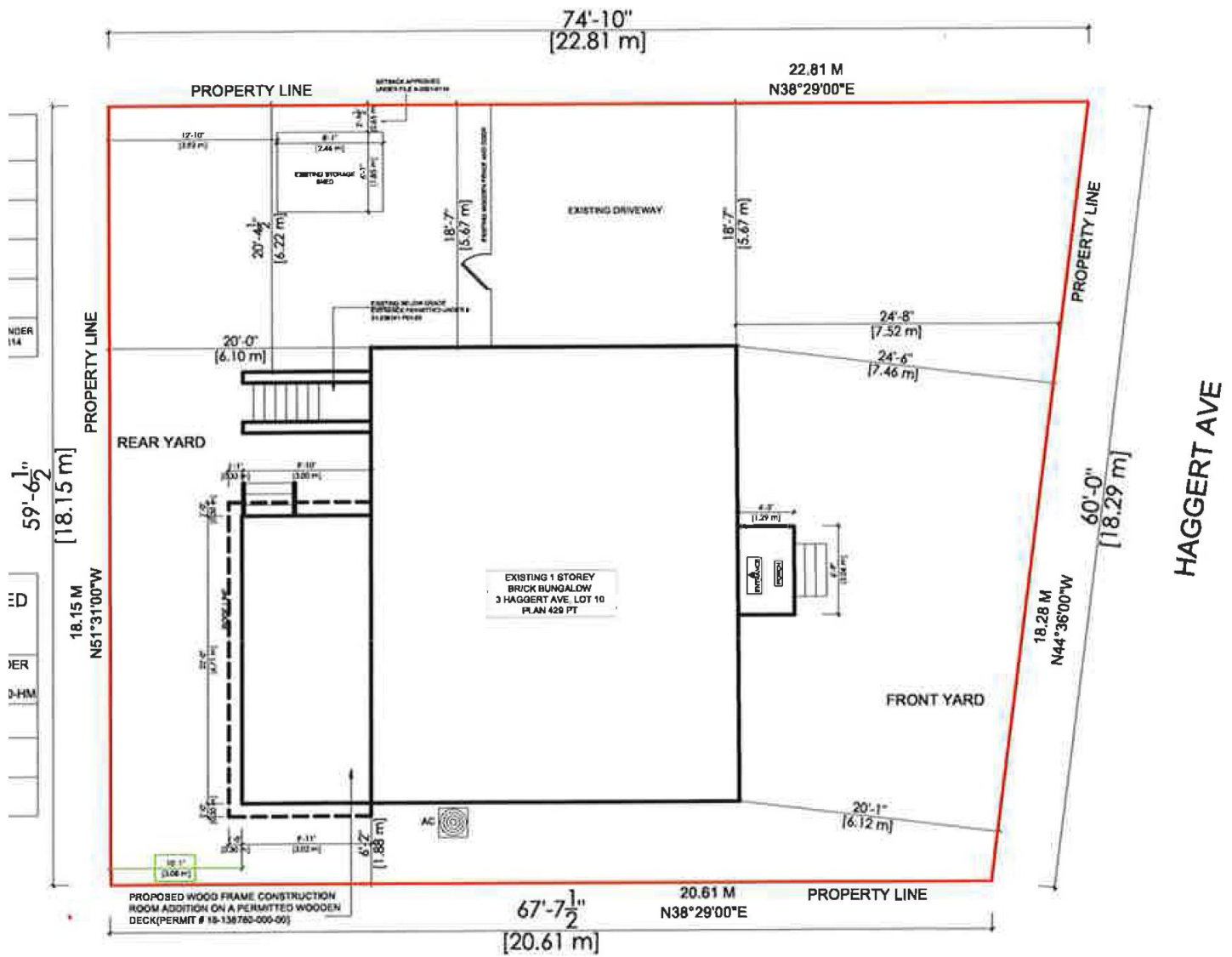
setback requirements to the neighbouring properties. Subject to the recommended conditions of approval, the variance is minor in nature.

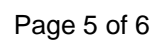
Respectfully Submitted,

Ramsen Yousif

Ramsen Yousif, Development Planner, MCIP, RPP

Appendix A – Site Plan





Appendix B – Site Visit Photos

