



BRAMPTON

Flower City

Public Notice

Committee of Adjustment

APPLICATION # **A-2020-0126**
WARD #3

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **GERALD HARRICHARAN** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 379, Plan 625 municipally known as **24 ALLENDALE ROAD**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

1. To permit lot coverage of 37.47% whereas the by-law permits a maximum lot coverage of 30%:
2. To permit an existing accessory structure (shed) having a setback of 0.30m (0.98 ft.) to the rear and side lot lines whereas the by-law requires an accessory structure to be located no closer than 0.60m (1.97 ft.) to the nearest lot line.

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, December 1, 2020 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of a Local Planning Appeal Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Local Planning Appeal Tribunal by the applicant or another member of the public.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this 19th day of November, 2020.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment
City Clerk's Office,
Brampton City Hall
2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

released for building permit
 - CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL
 - ALL DIMENSIONS AND SPECIFICATIONS ARE THE
 - THE OWNER IS NOT TO BE USED FOR
 - IF THIS SHEET IS NOT TO BE USED FOR
 - CHANGES SHALL BE MADE BY THE
 - ARCHITECT/ENGINEER

No.	Date	Revision/Issued
01	2020.07.11	Submitted Design
02	2020.08.01	NY Approval

AEM DESIGNS
 2980 Drew Rd, Mississauga,
 ON L4T 0A7
 c: 947.398.9785
 e: mwinde@aemdesigns.ca

CArchitecture
 conserve architecture limited
 51 marnett cres, brampton,
 ON L6X 0X5
 c: 647.741.5917
 e: info@o-archi.com

soil

CARPORT ADDITION

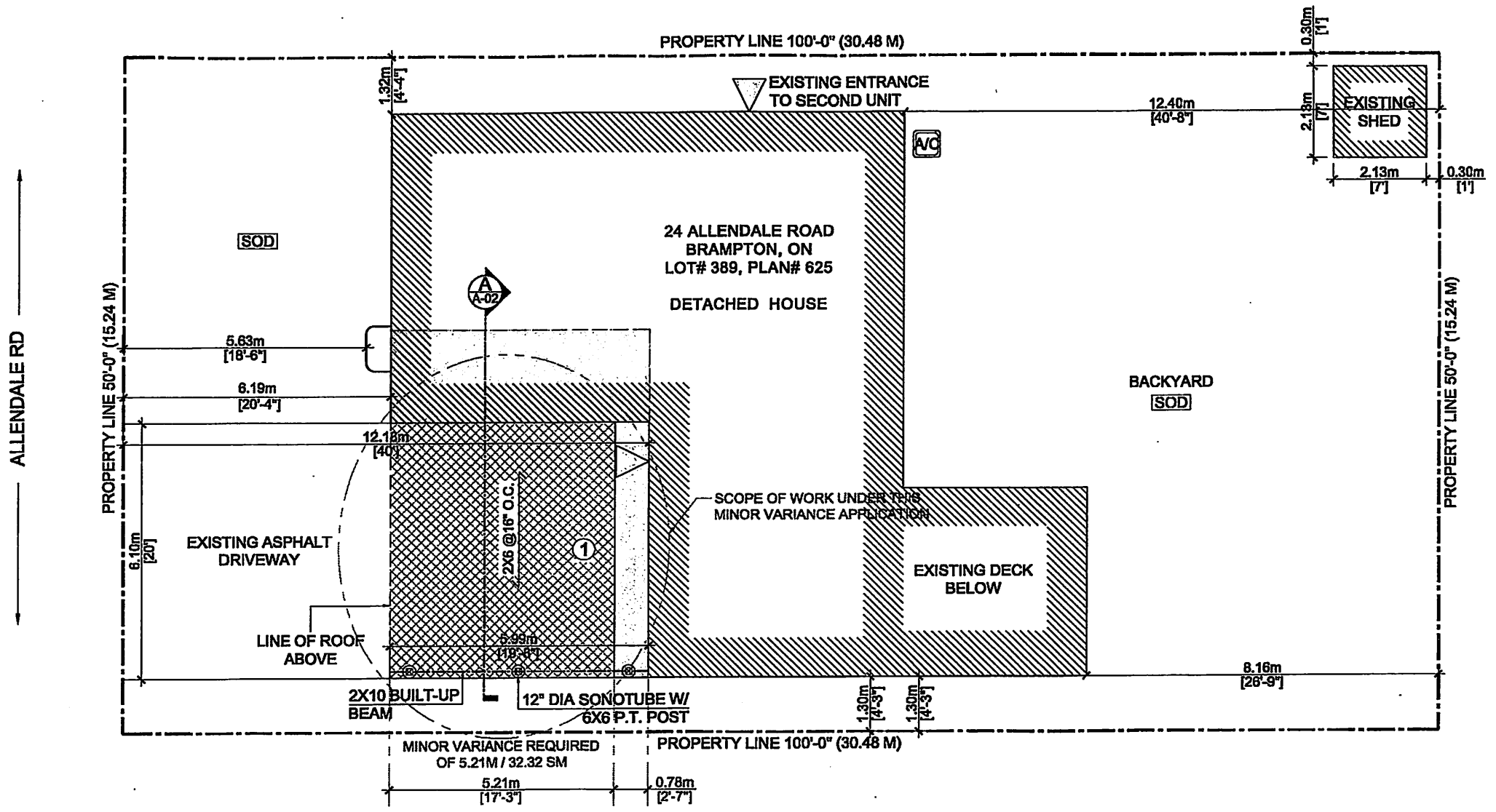
24 ALLENDALE DR,
 BRAMPTON

SITE PLAN

scale: $\frac{3}{16}"=1'-0"$
 date: 2020.07.11
 project: 20-130
 drawing number:

A-01

Revision: 00



SCOPE OF WORK

- ① PROPOSED CARPORT
- MINOR VARIANCE FOR PROPOSED CARPORT : 5.21M / 32.32 SM (341.87 SFT)
- ENTRANCE & EGRESS

AREA STATISTICS

EXISTING ROOF AREA:	1567.18 SFT / 145.64 SM
PROPOSED CARPORT:	393.33 SFT / 36.54 SM
TOTAL ROOF AREA:	1960.51 SFT / 182.20 SM
LOT AREA:	486.26 SM
LOT COVERAGE:	37.47 %
	30 % - LOT COVERAGE ALLOWED PER ZONING

11X17

Under the authority of the *Emergency Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically during the COVID-19 Emergency

**Electronic Hearing Procedures
How to get involved in the Virtual Hearing**

Brampton City Hall is temporarily closed to help stop the spread of COVID-19. In-person Committee of Adjustment Hearings have been cancelled since mid-March 2020. Brampton City Council and some of its Committee are now meeting electronically during the Emergency. The Committee of Adjustment will conduct its meeting electronically until further notice.

How to Participate in the Hearing:

- All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, November 26, 2020**.
- Advance registration for applicants, agents and other interested persons is required to participate in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm, Friday, November 27, 2020**.
 - Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **4:30 pm, Friday, November 27, 2020**. City staff will contact you and provide you with further details.
- All Hearings will be livestreamed on the City of Brampton YouTube account at: <https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or <http://video.isilive.ca/brampton/live.html>.

If holding an electronic rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request. Questions about the collection of personal information should be directed to the Freedom of Information and Privacy Coordinator, City of Brampton.

APPLICATION**Minor Variance or Special Permission**

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. **Name of Owner(s)** Gerard Harricharan
Address 24 Allendale Rd, Brampton ON L6W 2Y8

Phone # 647-404-6606 **Fax #** _____
Email gerardharricharan1@gmail.com

2. **Name of Agent** Ravinder Singh
Address 2 Ness Rd, Brampton, On L6Y 5N6

Phone # 647.896.9785 **Fax #** _____
Email ravinder@aemdesigns.ca

3. **Nature and extent of relief applied for (variances requested):**

Lot coverage of 30% doesn't allow for any carport structure.

Addition of carport will bring the lot coverage to 37.47%.

To permit a shed having a setback of 0.30 meters

4. **Why is it not possible to comply with the provisions of the by-law?**

Absence of any shade, covered porch or carport creates an unsafe condition during winter and rainy season.

Proposed carport will not only create a safe entry to the home, and also will provide a shelter for car.

By-law requires a minimum setback of 0.60 meters.

5. **Legal Description of the subject land:**

Lot Number 379

Plan Number/Concession Number P625 LOT 379

Municipal Address 24 Allendale Rd, Brampton ON L6W 2Y8

6. **Dimension of subject land (in metric units)**

Frontage 30.48 M

Depth 30.48 M

Area 486.26 SM

7. **Access to the subject land is by:**

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

1 Storey Two-Unit Dwelling

Existing Roof Area : 145.64 SM

Existing removable shed = 7.8 SM ls.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

- Proposed Carport : 36.54 SM

- Total Roof Area : 182.20 SM

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.19 M

Rear yard setback 8.16 (12.40) M

Side yard setback 1.24 M (left side)

Side yard setback 1.27 M M (right side)

PROPOSED

Front yard setback No Change

Rear yard setback No Change

Side yard setback No Change

Side yard setback No Change

10. Date of Acquisition of subject land: 2004
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1960
15. Length of time the existing uses of the subject property have been continued: 60 years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

fu

Signature of Applicant(s) or Authorized Agent

DATED AT THE _____ City _____ OF _____ Brampton _____
THIS 02 DAY OF Nov 15 September, 2020

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Ravinder Singh, OF THE City OF Brampton

IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 24 DAY OF

November September, 2020

fu

fu

Signature of Applicant or Authorized Agent

Jeanie Cecilia Myers,
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton.
Expires April 8, 2021.

Jeanie Myers
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation:

Present Zoning By-law Classification:

R1B, MATURE NEIGH

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Hothi S

Zoning Officer

NOV. 03. 2020

Date

DATE RECEIVED November 2, 2020

released for building permit

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT BEFORE COMMENCING WORK.

ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS APPROVED BY THE ARCHITECT'S SEAL.

IF THIS SEAL IS NOT 1" x 1" IT IS A REDUCED / ENLARGED PRINT. REUSE DRAWING ACCORDINGLY.

No.	Date	Revision/Issued
00	2020 11 07	Revised Design
01	2020 08 21	MV Application

AEM DESIGNS

2980 Drew Rd, Mississauga,
ON L4T 0A7
c: 647.896.9785
e: rsvrnder@aemdesigns.ca

ca architecture

conserve architecture limited
51 manett cres, brampton,
ON L6X 4X5
c: 647.741.5017
e: info@co-archi.com

9001

CARPORT ADDITION

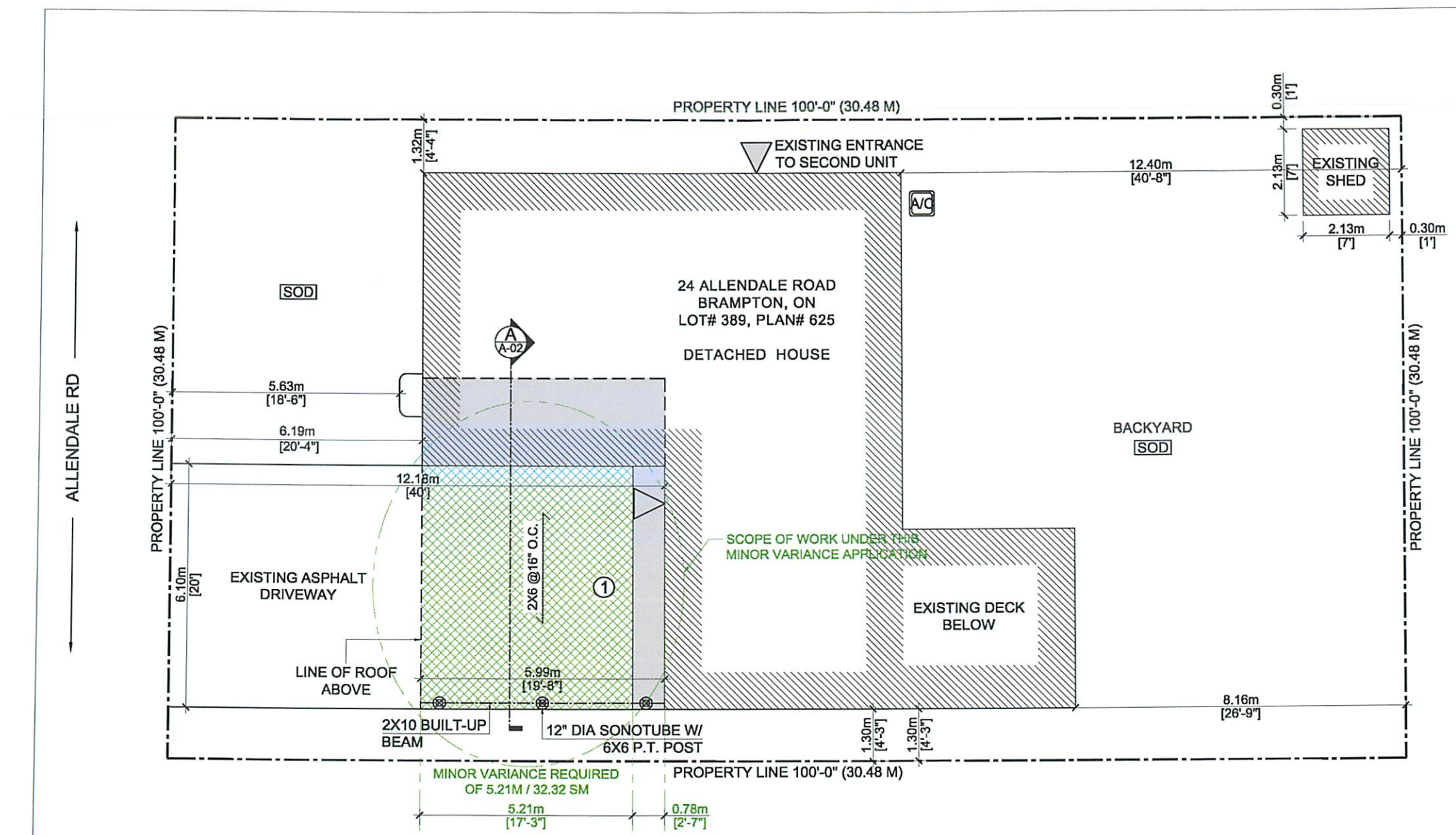
24 ALLENDALE DR,
BRAMPTON

SITE PLAN

scale: $\frac{3}{16}"=1'-0"$
date: 2020.07.11
project: 20-130
drawing number:

A-01

Revision: 00



SCOPE OF WORK

- ① PROPOSED CARPORT



MINOR VARIANCE FOR PROPOSED CARPORT:
5.21M / 32.32 SM (341.87 SFT)



ENTRANCE & EGRESS

AREA STATISTICS

EXISTING ROOF AREA: 1567.18 SFT / 145.64 SM
PROPOSED CARPORT: 393.33 SFT / 36.54 SM
TOTAL ROOF AREA: 1960.51 SFT / 182.20 SM

LOT AREA: 486.26 SM
LOT COVERAGE: 37.47 %
30 % - LOT COVERAGE ALLOWED PER ZONING

11X11

released for building permit

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT BEFORE COMMENCEMENT.
- ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF WORK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT/ENGINEER.
- IF THIS SHEET IS NOT 11" x 17" IT IS A REDUCED / ENLARGED PRINT. READ DRAWING ACCORDINGLY.

No.	Date	Revision/Issued
00	2020.11.07	Schematic Design
01	2020.08.21	IAV Application

AEM DESIGNS
 2980 Drew Rd, Mississauga,
 ON L4T 0A7
 c: 647.896.9785
 e: ravinder@aemdesigns.ca

ca architecture
 conserve architecture limited
 51 manett cres, brampton,
 ON L6X 4X5
 c: 647.741.5917
 e: info@ca-archi.com



CARPORT ADDITION

24 ALLENDALE DR,
 BRAMPTON

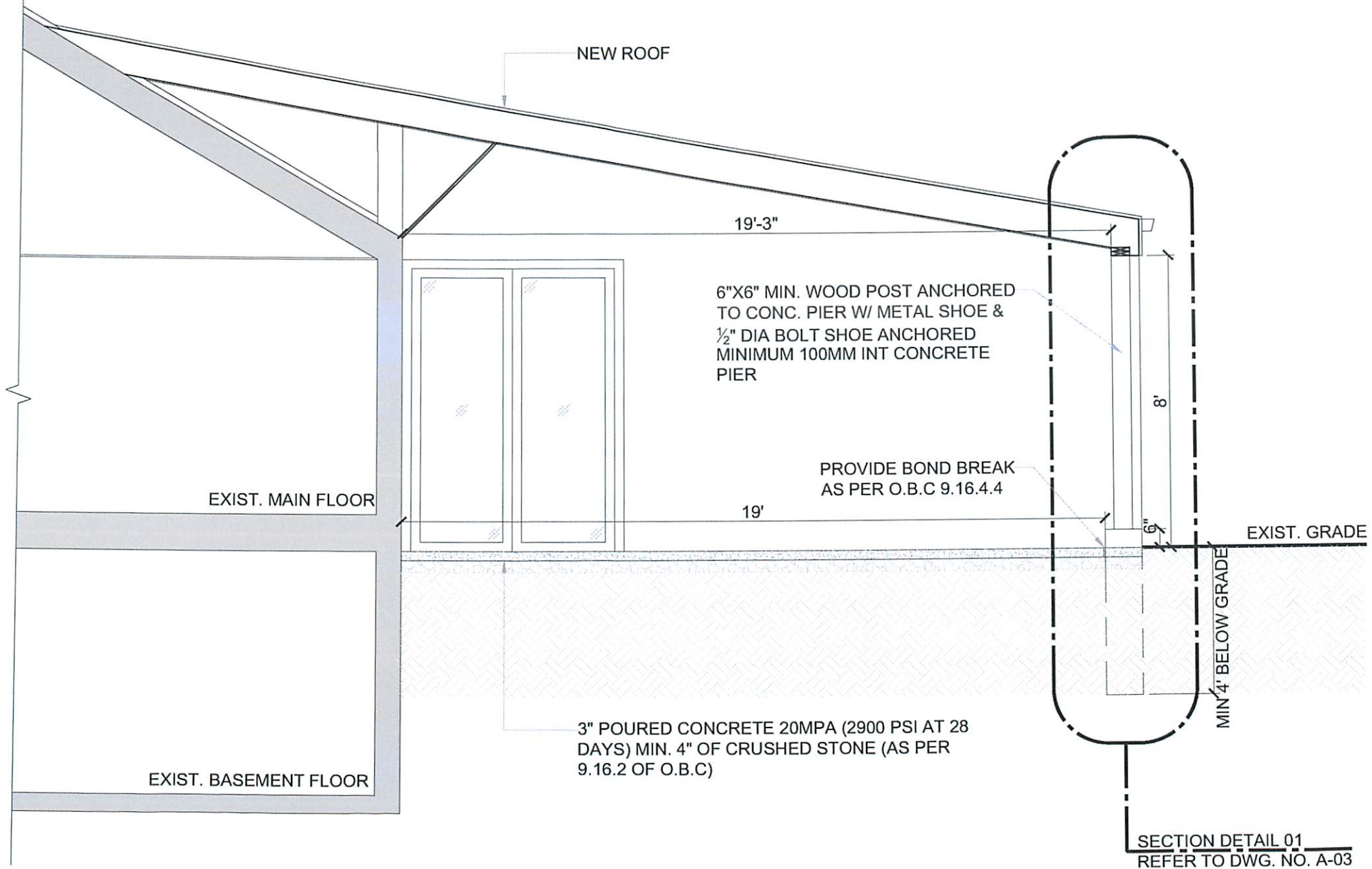
SECTION AA

scale: $\frac{3}{8}" = 1'-0"$
 date: 2020.07.11
 project: 20-130
 drawing number:

A-02

Revision: 00

11x17



released for building permit

CONTRACTOR SHALL SITE VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES IF ANY TO THE CONSULTANT BEFORE CONSTRUCTION.

ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF WORK.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT'S FIRM.

IF THIS SHEET IS NOT 11" X 17" IT IS A REDUCED / ENLARGED PRINT. READ DRAWING ACCORDINGLY.

No.	Date	Revision/Issued
00	2020.11.01	Schematic Design
01	2020.08.21	MF Application

AEM DESIGNS

2980 Drew Rd, Mississauga,
ON L4T 0A7
c: 647.896.9785
e: ravinder@aemdesigns.ca

CArchitecture

conserve architecture limited
51 manett cres, brampton,
ON L6X 4X5
c: 647.741.5917
e: info@c-archi.com



**CARPORT
ADDITION**

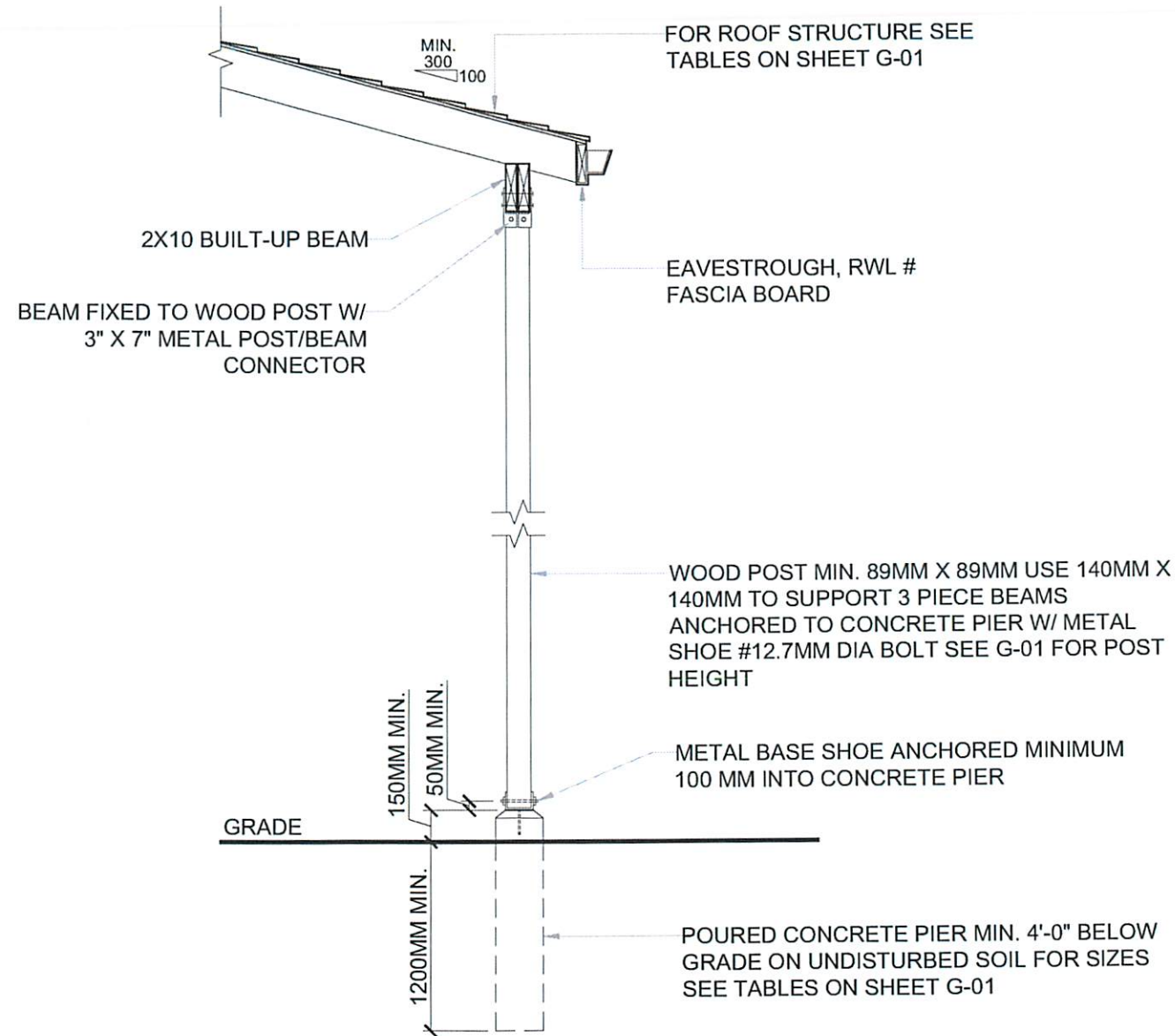
24 ALLENDALE DR,
BRAMPTON

**SECTION
DETAIL 01**

scale: $\frac{3}{8}"=1'-0"$
date: 2020.07.11
project: 20-130
drawing number:

A-03

Revision: 00



SUPPORT DETAIL

ROOF RAFTERS (WHERE NO CEILING IS INSTALLED)

RAFTER SIZE	MAXIMUM CLEAR SPAN (M)					
	ROOF SNOW LOAD 1.0kPa			ROOF SNOW LOAD 1.5kPa		
	RAFTER SPACING (MM) O.C.			RAFTER SPACING (MM) O.C.		
	300	400	600	300	400	600
38X89	3.11	2.83	2.47	2.72	2.47	2.16
38X140	4.90	4.45	3.89	4.28	3.89	3.40
38X184	6.44	5.85	5.11	5.62	5.11	4.41
38X235	8.22	7.47	6.38	7.18	6.52	5.39

PIERS

PIER SIZE (MM)	SUPPORTED ROOF AREA (SM)					
	ROOF SNOW LOAD 1.0kPa			ROOF SNOW LOAD 1.5kPa		
	ALLOWABLE BEARING CAPACITY OF SOIL			ALLOWABLE BEARING CAPACITY OF SOIL		
	75kPa	120kPa	190kPa	75kPa	120kPa	190kPa
200 DIA.	1.95	3.25	5.48	1.39	2.32	3.62
250 DIA.	3.07	5.11	8.08	2.14	5.62	5.76
300 DIA.	4.37	7.34	11.71	3.16	5.20	8.36
350 DIA.	5.95	9.94	15.87	4.27	7.06	11.33
400 DIA.	7.6200	13.01	20.72	5.48	9.29	14.77

ROOFING

ROOF FRAMING (MM) O.C.	ROOF SHEATHING
RAFTERS @ 300	7.5MM PLYWOOD W/ H-CLIPS OR 17MM LUMBER
RAFTERS @ 400	
RAFTERS @ 600	9.5MM PLYWOOD W/ H-CLIPS OR 19MM LUMBER

BEAMS

MAXIMUM CLEAR SPAN (M)		MINIMUM BEAM SIZE
ROOF SNOW LOAD		
1.0kPa	1.5kPa	
2.35	2.02	2 - 38X184
2.88	2.47	2 - 38X235
3.34	2.87	2 - 38X286

ROOF JOISTS (WHERE NO CEILING IS INSTALLED)

JOIST SIZE	MAXIMUM CLEAR SPAN (M)					
	ROOF SNOW LOAD 1.0kPa			ROOF SNOW LOAD 1.5kPa		
	JOIST SPACING (MM) O.C.			JOIST SPACING (MM) O.C.		
	300	400	600	300	400	600
38X89	2.47	2.24	1.96	2.16	1.96	1.71
38X140	3.89	3.53	3.08	3.40	3.08	2.69
38X184	5.11	4.64	4.05	4.46	4.05	3.54
38X235	6.52	5.95	5.18	5.70	5.18	4.52

POSTS

POST SIZE (MM) (SEE NOTES)	MAX. HEIGHT (M)	SUPPORTED ROOF AREA (SM)				
		ROOF SNOW LOAD (kPa)				
		1.0	1.5	2.0	2.5	3.0
89X89	1.0	17.19	12.98	10.43	8.71	7.48
	1.5	9.39	7.09	5.69	4.76	4.09
	2.0	4.98	3.76	3.02	2.53	2.17
140X140	2.0	21.65	16.35	13.13	10.98	9.43
	2.5	14.77	11.15	8.96	7.48	6.43
	3.0	10.06	7.6000	6.10	5.10	4.38
	3.5	6.98	5.27	4.23	3.54	3.04

GENERAL NOTES

1. ALL LUMBER TO BE NO. 1&2 SPF OR BETTER
2. ALL PLYWOOD SHALL BE STAMPED EXTERIOR GRADE
3. WHERE SUPPORTED ROOF AREAS EXCEED THOSE LISTED IN THIS TABLE, THE POSTS SHALL BE BRACED AS SHOWN IN A-03.
4. WOOD POSTS TO BE MINIMUM 89MM X 89MM
5. BEARING CAPACITY OF SOIL SHALL BE CONFIRMED PRIOR TO CONSTRUCTION.

released for building permit
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL
DRAWINGS AND REPORTS OF WORK AND
ANS TO THE CONSULTANT BEFORE
CONSTRUCTION.
ALL DRAWINGS AND SPECIFICATIONS ARE THE
PROPERTY OF CONSULTANT AND MUST BE
RETURNED AT THE COMPLETION OF WORK.
THIS DRAWING IS NOT TO BE USED FOR
CONSTRUCTION UNLESS SIGNED BY THE
ARCHITECT/ENGINEER.
IF THE SHEET IS NOT 11" X 17" IT IS A REPRODUCED
/ ENLARGED PRINT. SCALE DRAWING
ACCORDINGLY.

No.	Date	Revision/Issued
00	2020.11.07	Schematic Design
01	2020.08.21	MA Application

AEM DESIGNS
2980 Drew Rd, Mississauga,
ON L4T 0A7
c: 647.896.9785
e: ravinder@aemdesigns.ca

ca architecture
conserve architecture limited
51 manett cres, brampton,
ON L6X 4X5
c: 647.741.5917
e: info@c-archi.com



CARPORT ADDITION

24 ALLENDALE DR,
BRAMPTON

GENERAL NOTES

scale: N.T.S
date: 2020.07.11
project: 20-130
drawing number:

G-01

Revision: 00

