

FILE NUMBER: A-2023-0413.

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of **Owner(s)**

12768500 Canada Inc. (Dr. Raj Khanuja)

Address

11937 Goreway Drive and 6539 Mayfield Road, Ward 10

Phone #

647-244-2273

Fax #

Email

rajdds@yahoo.com
2.

Name of Agent

N/A

Address

Phone #

Fax #

Email
3.

Nature and extent of relief applied for (variances requested):

To permit operation of a dental hygiene; a dental/medical auxiliary diploma program and continuing education courses for dentists to upgrade their skills.
4.

Why is it not possible to comply with the provisions of the by-law?

The above property is approved for lands zoned c-1 ( COMMERCIAL ONE) that does not permit operating a training program.
5.

Legal Description of the subject land:

Lot Number Part of Lot 17, Concession 8 N.D Toronto Gore, Parts 1,2 Expropriation Plan PR3514574; and Part of Lot 17

Plan Number/Concession Number Concession 8 N.D Toronto Gore, as in RO909368 except Part 1 43R38666

Municipal Address 11937 Goreway Drive and 6539 Mayfield Road, Brampton
6.

Dimension of subject land (in metric units)

Frontage 148 metres (along Mayfield Road), 72.3 metres (along Goreway Drive)

Depth 72.3 metres

Area 1.411 hectares
7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)  
To be demolished as the lands have been zoned commercial c1 under OP2006-251 (By-law 139-2023) and By-law (140-2023)

PROPOSED BUILDINGS/STRUCTURES on the subject land:  
1 two-storey building and three 1-storey building  
Proposed area Building A1 = 1137.93 SQM; A2 = 980.18 SQM; A3 = 801.38 SQM; A4 = 889.92 SQM

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING	
Front yard setback	
Rear yard setback	
Side yard setback	
Side yard setback	
PROPOSED	
Front yard setback	3 metres
Rear yard setback	3.6 metres
Side yard setback	4.5 metres
Side yard setback	4.5 metres

10. Date of Acquisition of subject land: 2017 (11937 Goreway Drive); 2019 (6539 Mayfield Road)
11. Existing uses of subject property: Residence
12. Proposed uses of subject property: COMMERCIAL ONE (C-1)
13. Existing uses of abutting properties: Residence
14. Date of construction of all buildings & structures on subject land: Site plan application in progress for submission
15. Length of time the existing uses of the subject property have been continued: since 2017 and prior

16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☐ Other (specify) \_\_\_\_\_  
Septic ☒
- (c) What storm drainage system is existing/proposed?  
Sewers ☐ Storm water will be collected via the catch basins, stored in  
Ditches ☐ proposed tank and drain into the existing ditch along Goreway  
Swales ☒ Drive  
Functional Service report has been approved along with c1 zoning

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☒ No ☐

If answer is yes, provide details: File # OZS-2021-0045 Status Approved

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File #	Decision	Relief
File #	Decision	Relief
File #	Decision	Relief



Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 19th DAY OF December, 20 23.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Bhupinder Raj Khany, OF THE city OF Brampton  
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF  
Peel THIS 18th DAY OF  
December, 20 23  
Chauhan  
A Commissioner etc.



Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

\_\_\_\_\_  
Zoning Officer

\_\_\_\_\_  
Date

DATE RECEIVED Dec 18, 2023 VL

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 11937 Goreway Drive and 6539 Mayfield Road

I/We, Dr. Bhupinder Raj Khanuja and Devendra Chudasama  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 18th day of December, 20 23.

  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Bhupinder Raj Khanuja  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**





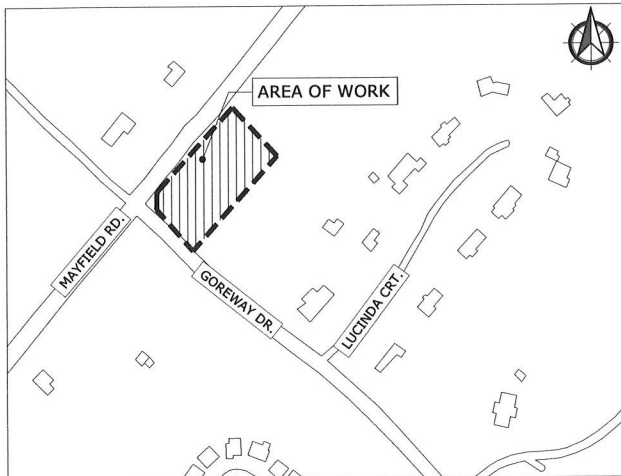
#### LIST OF DRAWINGS:

##### ARCHITECTURAL

A0.0	COVER PAGE & KEY PLAN
A0.1	OVERALL SITE PLAN (ULTIMATE)
A0.1a	OVERALL SITE PLAN (INTERIM)
A0.3	SITE DETAILS
A1.0	BUILDING "A1" GROUND FLOOR PLAN
A1.1	BUILDING "A1" SECOND FLOOR PLAN
A1.2	BUILDING "A2" GROUND FLOOR PLAN
A1.3	BUILDING "A3" GROUND FLOOR PLAN
A1.4	BUILDING "A4" GROUND FLOOR PLAN
A2.0	BUILDING "A1" PROPOSED EXTERIOR ELEVATIONS
A2.1	BUILDING "A1" PROPOSED EXTERIOR ELEVATIONS
A2.2	BUILDING "A2" PROPOSED EXTERIOR ELEVATIONS
A2.3	BUILDING "A3" PROPOSED EXTERIOR ELEVATIONS
A2.4	BUILDING "A4" PROPOSED EXTERIOR ELEVATIONS
A2.5	PROPOSED LOW WALL ELEVATIONS

#### 4 DRAWING LIST

A0.0 SCALE: NTS



#### 3 KEY PLAN

A0.0 SCALE: NTS

#### SITE STATISTICS

LOT AREA	14,012.35 SQM [150,827.68 SF]	PARKING	
LOT COVERAGE		REQUIRED	
PROPOSED AREA OF BUILDING "A1" (GF)	1,137.93 SQM [12,248.57 SQF]	PARKING FOR BUILDING "A1" COMMERCIAL - GROUND FLOOR	60 (1/19 SQM)
PROPOSED AREA OF BUILDING "A2"	980.18 SQM [10,550.57 SQF]	PARKING FOR BUILDING "A1" OFFICE - SECOND FLOOR	38 (1/30 SQM)
PROPOSED AREA OF BUILDING "A3"	801.38 SQM [8,625.98 SQF]	PARKING FOR BUILDING "A2"	52 (1/19 SQM)
PROPOSED AREA OF BUILDING "A4"	889.92 SQM [9,579.02 SQF]	PARKING FOR BUILDING "A3"	42 (1/19 SQM)
TOTAL	3,809.41 SQM [41,004.15 SQF]	PARKING FOR BUILDING "A4"	47 (1/19 SQM)
PROPOSED COVERAGE	27.19%	TOTAL	239
PROPOSED BUILDING HEIGHT		STANDARD	
PROPOSED HEIGHT OF BUILDING "A1"	12.80M	PROVIDED	
PROPOSED HEIGHT OF BUILDING "A2"	6.40M	PARKING PROVIDED	218
PROPOSED HEIGHT OF BUILDING "A3"	6.40M	BARRIER FREE PARKING	8
PROPOSED HEIGHT OF BUILDING "A4"	6.40M	HYBRID PARKING	4
GROSS FLOOR AREA		E.V. CHARGING STATIONS	3
PROPOSED GFA OF BUILDING "A1" (GF&SF)	2,275.86 SQM [24,497.15 SQF]	TOTAL PARKING PROVIDED	233
PROPOSED GFA OF BUILDING "A2"	980.18 SQM [10,550.57 SQF]	PARKING SIZE	2.7M X 5.4M
PROPOSED GFA OF BUILDING "A3"	801.38 SQM [8,625.98 SQF]	ACCESSIBLE PARKING SIZE	3.4M X 5.4M
PROPOSED GFA OF BUILDING "A4"	889.92 SQM [9,579.02 SQF]		W/ 1.5M STRIP
TOTAL	4,947.34 SQM [53,252.72 SQF]	LANDSCAPING	
FLOOR SPACE INDEX		HARD SURFACE	12,668.75 SQM
PROPOSED %	35.31%	SOFT SURFACE	1,943.6 SQM

#### 2 SITE STATISTICS

A0.0 SCALE: NTS



# PROPOSED LOTUS PLAZA

## 6539 MAYFIELD & 11937 GOREWAY DR., BRAMPTON, ON



#### 1 RENDERING (Provided by Client)

A0.0 SCALE: NTS



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REV.	ISSUED FOR:	DATE:
	ISSUED FOR CLIENT REVIEW	06/05/2021
	ISSUED TO CONSULTANTS	06/10/2022
1	ISSUED FOR T&A	07/27/2022
	ISSUED FOR PRE CON. APPL.	08/18/2022
	ISSUED TO CONSULTANTS	06/10/2022
	ISSUED TO CONSULTANTS	03/03/2023
2	ISSUED FOR T&A	04/04/2023

**paul marques**  
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2610 WESTON ROAD, #207  
NORTH YORK, ONTARIO  
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TEL: 647.582.2121

SEAL:

Project:  
6539 MAYFIELD & 11937  
GOREWAY DR

BRAMPTON, ON L6P 0M8

Drawing Name:

COVER PAGE  
& KEY PLAN

Proj no.: 20-913 Date: SEP 2020

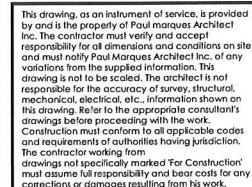
Drawn by: SJ Scale: AS NOTED

Checked by: PM

North: Drawing No:

A0.0





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	ISSUED FOR T&A	07/27/2022
	ISSUED FOR PRE CON. APPL.	08/18/2022
	ISSUED FOR CLIENT REVIEW	10/20/2022
	ISSUED FOR COORDINATION	10/24/2022
	ISSUED FOR COORDINATION	11/07/2022
	ISSUED FOR COORDINATION	11/22/2022
3	ISSUED FOR CLIENT REVIEW	02/24/2023
	ISSUED FOR COORDINATION	03/01/2023
	ISSUED FOR T&A	04/04/2023

architect in

2610 WESTON ROAD, @  
NORTH YORK, ONTARIO  
M9N  
TEL: 647.362.2

SEAL

Project : 6539 MAYFIELD & 11937  
GOREWAY DR

BRAMPTON, ON

L6P OM8

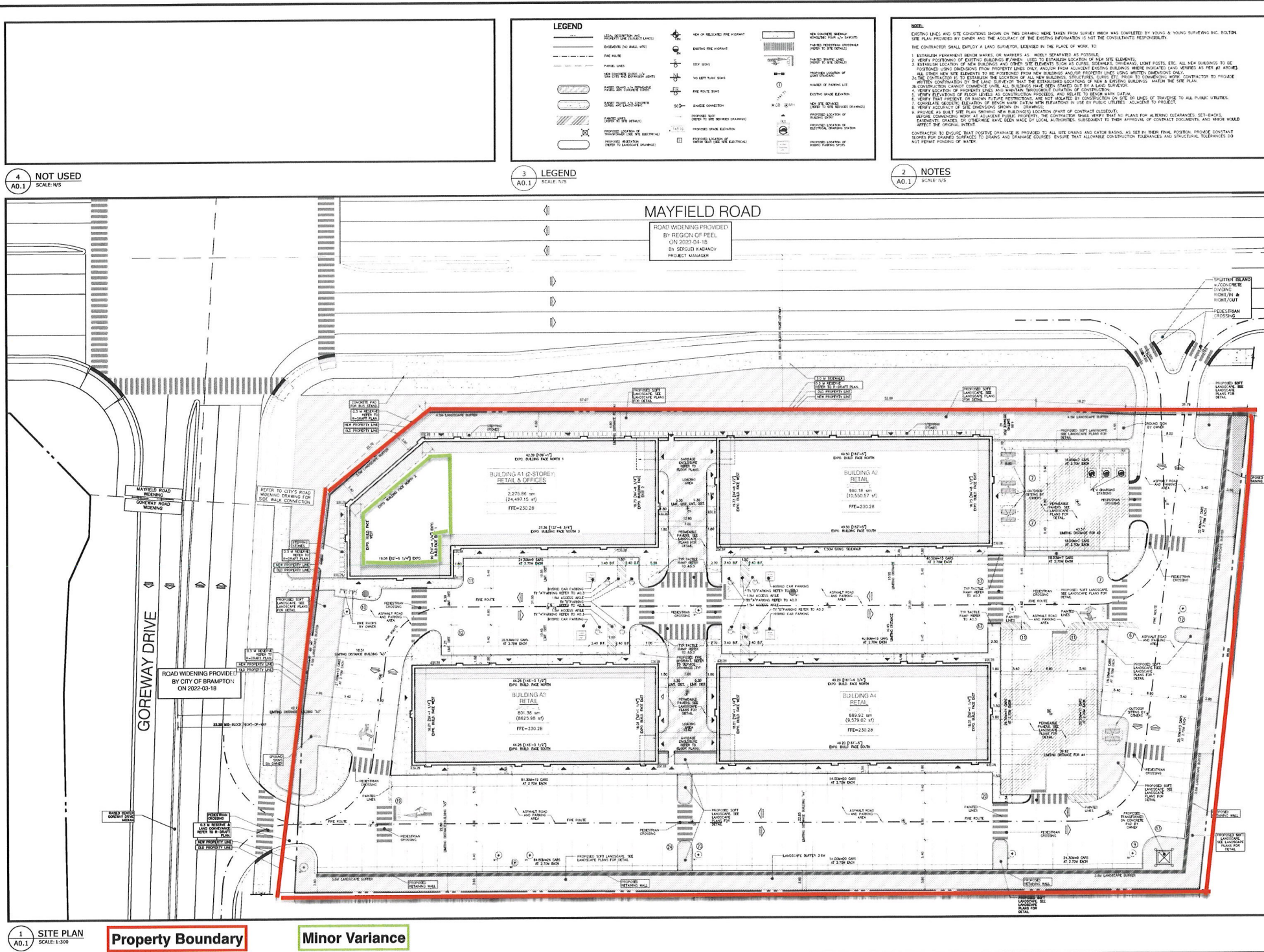
Drawing Name :

SITE PLAN  
(ULTIMATE)

Proj no. : 20-913	Date : SEP 2020
Drawn by : SJ	Scale : AS NOTED
Checked by : PM	
North :	Drawing No :



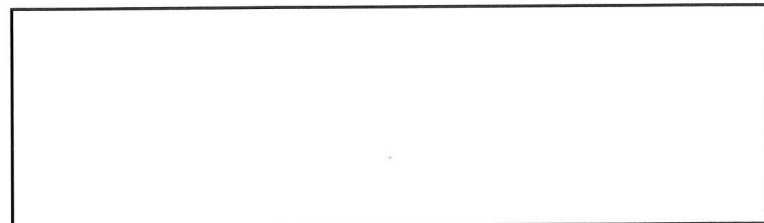
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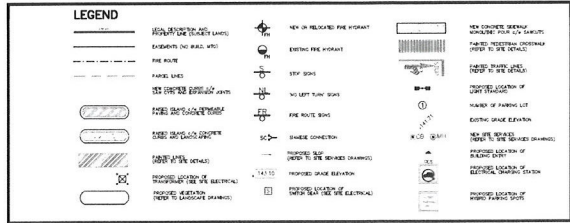
### Property Boundary

### Minor Variance





4 NOT USED  
A0.1a SCALE: N/S



3 LEGEND  
A0.1a SCALE: N/S

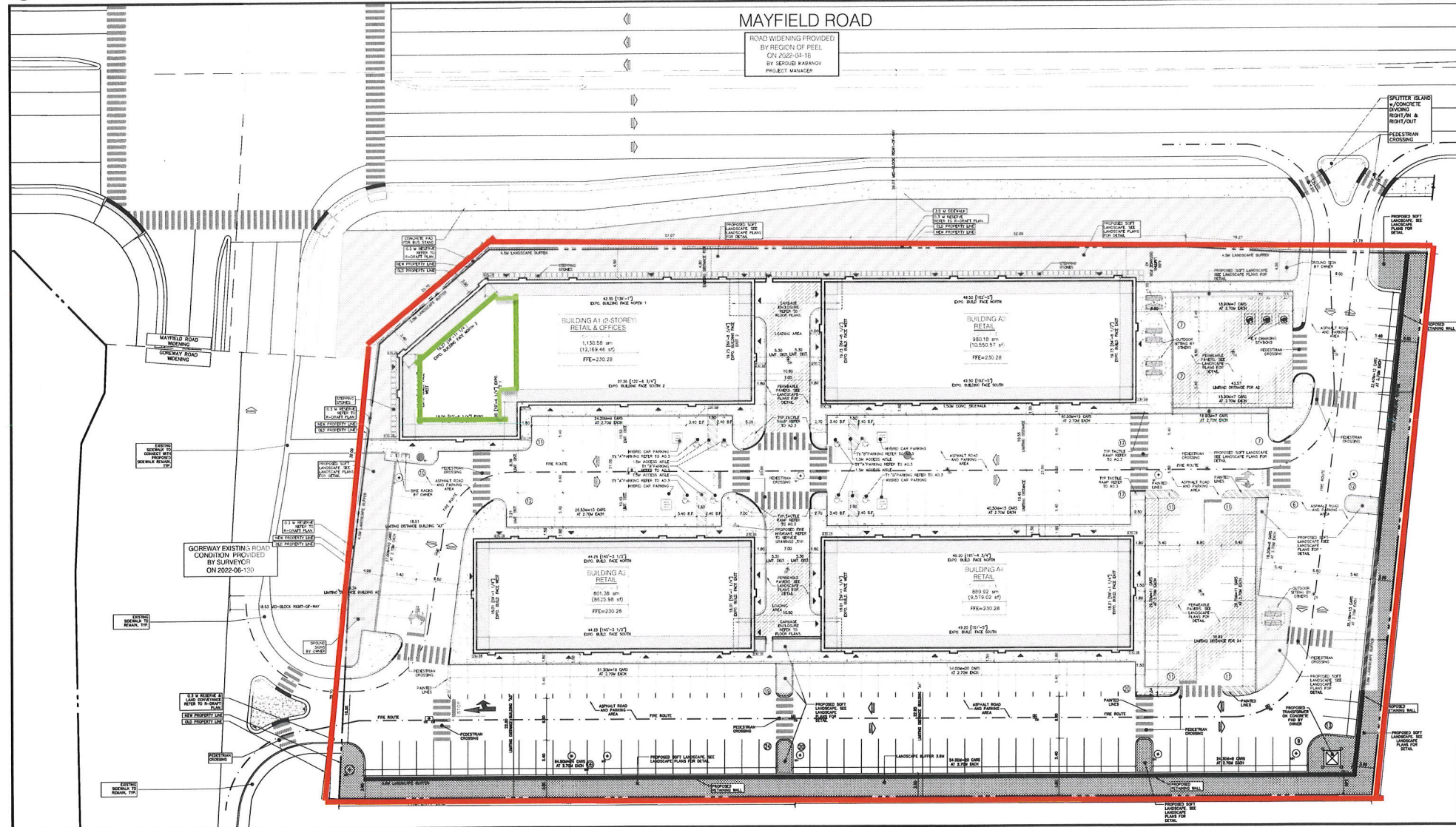
NOTES

EXISTING LINES AND SITE CONDITIONS SHOWN ON THIS DRAWING WERE TAKEN FROM SURVEY WHICH WAS COMPLETED BY YOUNG & YOUNG SURVEYING INC. BOSTON. THE CONTRACTOR SHALL EMPLOY A LAND SURVEYOR LICENSED IN THE PROVINCE OF ONTARIO TO VERIFY THE ACCURACY OF THE EXISTING INFORMATION IS NOT THE CONSULTANT'S RESPONSIBILITY.

1. ESTABLISH PERMANENT BENCH MARKS OR MARKERS AS NEARLY SEPARATED AS POSSIBLE.  
2. GENERAL LOCATIONS OF EXISTING BUILDINGS, SETBACKS, EASEMENTS, DRIVEWAYS, LIGHT POLES, ETC. ALL NEW BUILDINGS TO BE PROVIDED USING DIMENSIONS FROM PROPERTY LINES ONLY AND/OR FROM ADJACENT EXISTING BUILDINGS WHERE INDICATED (AND VERIFIED AS PER #2 ABOVE).  
3. ALL OTHER NEW SITE ELEMENTS TO BE PROVIDED FROM NEW DIMENSIONS AND/OR PROPERTY LINES USING WRITTEN DIMENSIONS ONLY.  
4. THE CONTRACTOR IS TO ESTABLISH THE LOCATION OF ALL NEW BUILDINGS, DRIVEWAYS, CURBS, ETC. PRIOR TO COMMENCING WORK. CONTRACTOR TO PROVIDE THE COORDINATES OF THE LAND SURVEYOR THAT THE DIMENSIONS LOCATIONS OF NEW & EXISTING BUILDINGS MATCH THE SITE PLAN.  
5. VERIFY LOCATION OF PROPERTY LINES AND MAINTAIN THROUGHOUT ALLOCATION OF CONSTRUCTION.  
6. VERIFY THAT PRESENT OR KNOWN FUTURE RESTRICTIONS ARE NOT VIOLATED BY CONSTRUCTION ON SITE OR LINES OF TRAVEL TO ALL PUBLIC UTILITIES.  
7. COMPILATE GENERAL ELEVATION OF EXISTING MAJOR LOT WITH ELEVATION IN USE BY PUBLIC UTILITIES. ADJACENT TO PROJECT.  
8. VERIFY ACCURACY OF SITE DIMENSIONS SHOWN ON DRAWINGS.  
9. PROVIDE AS BEST THE PLANNING NEW BUILDINGS' LOCATION (PART OF CONTRACT ELEVATION).  
10. CONTRACTOR SHALL VERIFY THAT NO PLANS FOR ALTERNATE EASEMENTS, SETBACKS, EASEMENTS, GRADIENTS, OR OTHERWISE HAVE BEEN MADE BY LOCAL AUTHORITIES. SUBSEQUENT TO THEIR APPROVAL OF CONTRACT DOCUMENTS, AND WHICH WOULD AFFECT THE ORIGINAL INTENT.

CONTRACTOR TO ENSURE THAT FUTURE DRAINAGE IS PROVIDED TO ALL SITE DRAINAGE AND CATCH BASINS AS SET IN THEIR FINAL POSITION. PROVIDE CONSTANT SLOPES FOR DRAINAGE TOWARDS TO DRAINAGE AND DRAINAGE COURSES. ENSURE THAT ADEQUATE CONSTRUCTION TOLERANCES AND STRUCTURAL TOLERANCES DO NOT PERMIT FLOODING OF WATER.

2 NOTES  
A0.1a SCALE: N/S



1 SITE PLAN  
A0.1a SCALE: 1:300

Property boundary

Minor Variance



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REV.	ISSUED FOR:	DATE:
	ISSUED FOR COORDINATION	11/07/2022
	ISSUED FOR CLIENT REVIEW	02/24/2023
	ISSUED FOR COORDINATION	03/01/2023
1	ISSUED FOR TBA	04/04/2023

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TEL: 647.888.2121

SEAL:

Project: 6539 MAYFIELD & 11937 GOREWAY DR




BRAMPTON, ON L6P 0M8

Drawing Name: SITE PLAN (INTERIM)

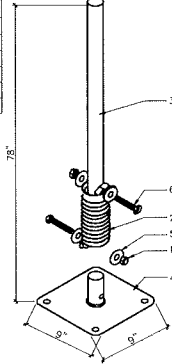
Proj no.: 20-913 Date: SEP 2020  
Drawn by: SJ Scale: AS NOTED  
Checked by: PM

North: Drawing No: A0.1a

10  
A0.3 NOT USED  
SCALE: N/S

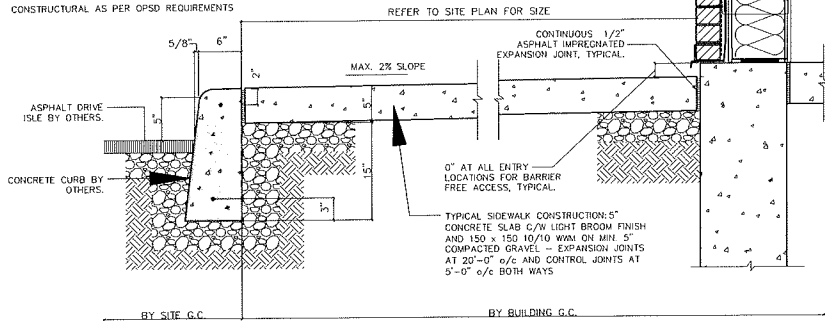
SYMBOL	SIGN	DESCRIPTION
A		"DISABLED PARKING PERMIT" SIGN (16" x 24" 150mm x 600mm) RED REFL. INTERDICTIONARY SYMBOL, BLUE REFL. SYMBOL OF ACCESS & SYMBOL BORDER, BLACK SYMBOL, LEGEND & BORDER, WHITE REFL. BACKGROUND.
B		"EV PARKING SIGN (12" x 18") GREEN GRAPHIC SYMBOL, GREEN LEGEND AND BORDER, WHITE REFL. BACKGROUND.
C		"HYBRID VEHICLE PARKING ONLY" SIGN (12" x 18") GREEN LEGEND.

ITEM #	NAME	QTY	PART NUMBER
1	HEX LOCKWUT - ZINC	2	37030
2	TORSION SPRING	1	RE-SK
3	6" GALV. STEEL POST	1	RE-BP
4	BASEPLATE	1	RE-BP
5	0.5" FLAT WASHER - ZINC	4	35012
6	3" HEX BOLT - ZINC	2	13924



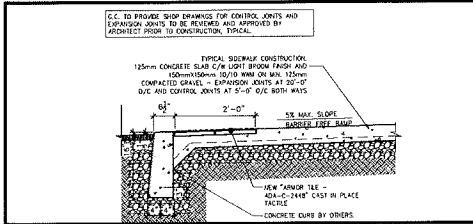
9  
A0.3 TYPICAL SIGNAGE & FLEXPOST DETAIL  
SCALE: 1'-0"=1/32"

- NOTE:
- 1) PROVIDE 1/2" PREFORMED EXPANSION JOINTS @ max. 19'-6" CENTRE TO CENTRE
  - 2) CONCRETE SIDEWALK BY THIS CONTRACTOR CURB BY SITE G.C.
  - 3) CONSTRUCTIONAL AS PER OPSD REQUIREMENTS

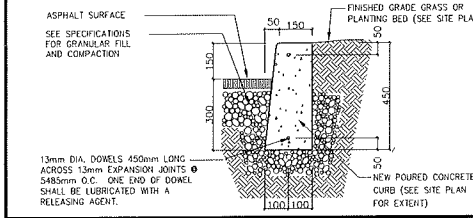


8  
A0.3 TYPICAL CONCRETE SIDEWALK DETAIL  
SCALE: 1'-0"=1/64"

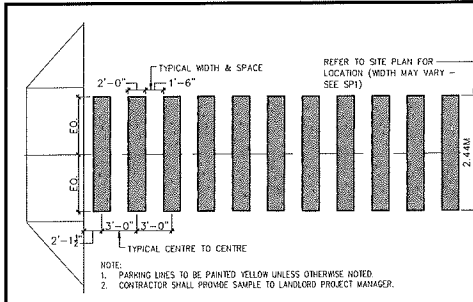
7  
A0.3 TYPICAL PARKING DIMENSIONS  
SCALE: 1'-0"=1/32"



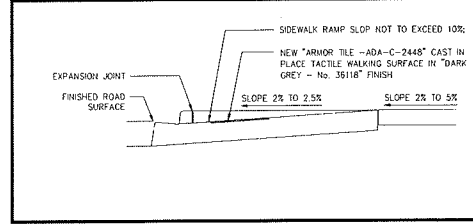
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A0.3 TYPICAL DEPRESSED CURB DETAIL  
SCALE: 1'-0"=1/32"



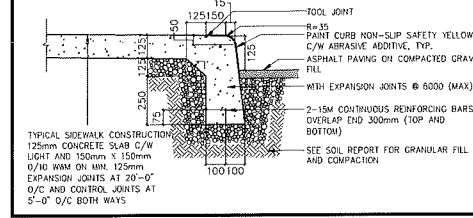
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A0.3 CONCRETE CURB ABUTTING LANDSCAPE  
SCALE: 1'-0"=1/64"



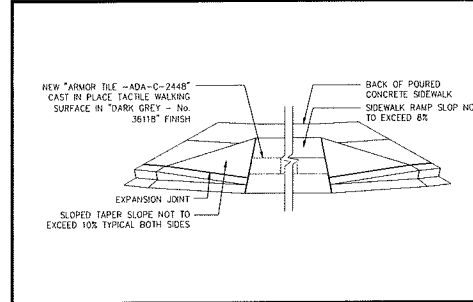
2  
A0.3 PAINTED CROSSWALK  
SCALE: 1'-0"=1/32"



5  
A0.3 TYPICAL RAMP SECTION  
SCALE: 1'-0"=1/32"



3  
A0.3 CONCRETE CURB ABUTTING CONCRETE  
SCALE: 1'-0"=1/64"



1  
A0.3 TYPICAL RAMP ELEVATION  
SCALE: 1'-0"=1/32"



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REV.	ISSUED FOR:	DATE:
	ISSUED FOR CLIENT REVIEW	05/04/2021
	ISSUED TO CONSULTANTS	06/10/2021
1	ISSUED FOR T&A	07/27/2022
	ISSUED FOR PRE CON. APPL.	08/18/2022
2	ISSUED FOR T&A	04/04/2023

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TEL: 647.382.2121

SEAL:

Project:  
6539 MAYFIELD & 11937  
GOREWAY DR

BRAMPTON, ON L6P 0M8

Drawing Name:

SITE DETAILS

Proj no.: 20-913 Date: SEP 2020  
Drawn by: SJ Scale: AS NOTED  
Checked by: PM

North: Drawing No:

A0.3





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REV.	ISSUED FOR:	DATE:
1	ISSUED FOR TBA	06/18/2021
	ISSUED FOR CLIENT REVIEW	06/05/2021
	ISSUED TO CONSULTANTS	06/10/2022
2	ISSUED FOR TBA	07/27/2022
	ISSUED FOR PRE CON. APPL.	08/18/2022
	ISSUED FOR CLIENT REVIEW	08/24/2021
3	ISSUED FOR TBA	04/04/2023

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NORTH YORK, ONTARIO  
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TEL: 647.802.2121

SEAL:

Project: 6539 MAYFIELD & 11937 GOREWAY DR

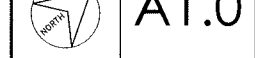
BRAMPTON, ON L6P 0M8

Drawing Name: BUILDING A1 GROUND FLOOR PLAN

Proj no.: 20-913 Date: SEP 2020  
Drawn by: SJ Scale: AS NOTED

Checked by: PM

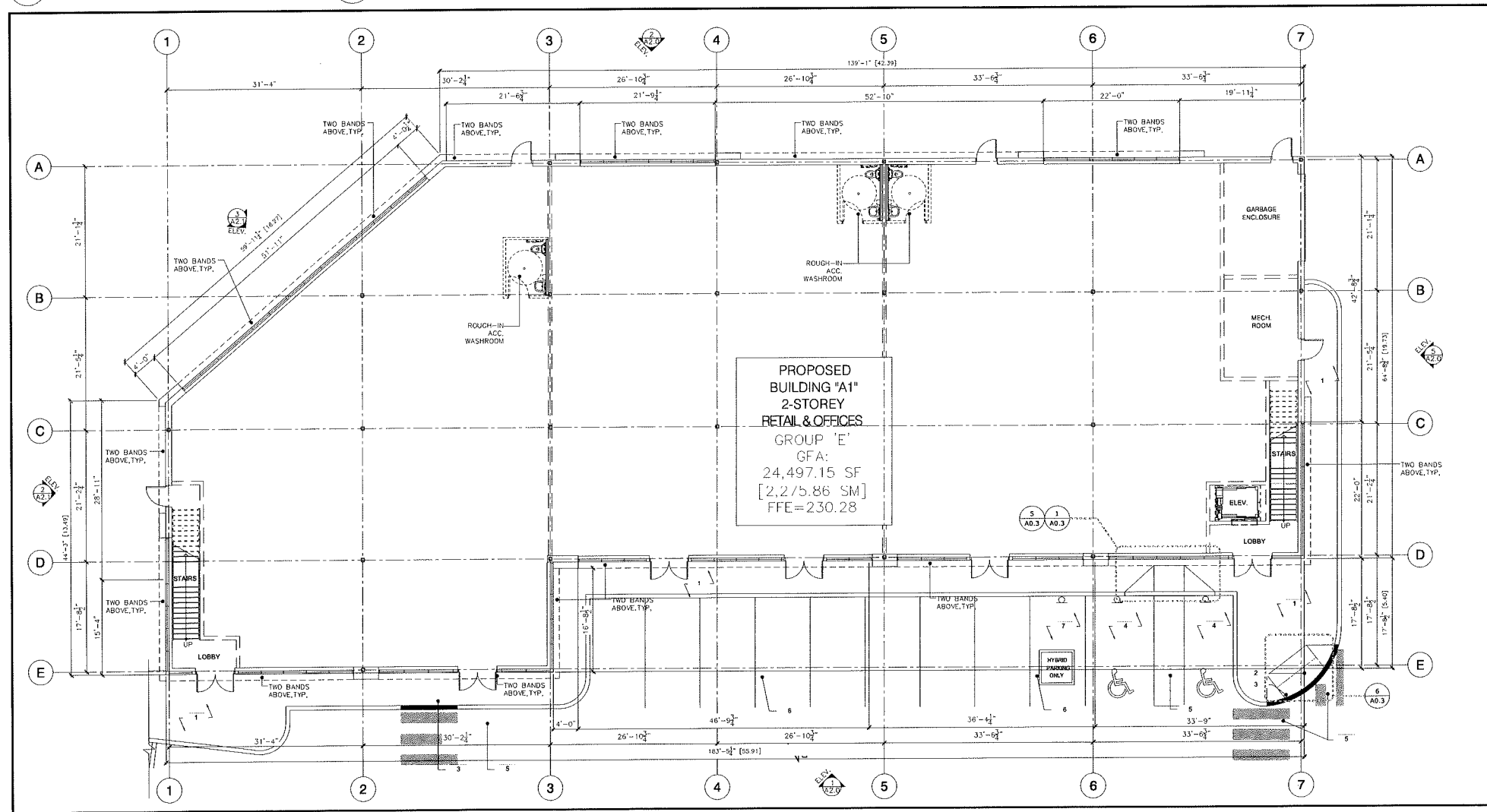
North: Drawing No.: A1.0



NOTES	
1	CONCRETE SIDEWALK ON GRADE BY G.C. SHOWN DOTTED. CURBS BY SITE G.C. UNDER SEPARATE CONTRACT. TYPICAL FOR ENTIRE SIDEWALK AROUND EXPANSION, REFER TO DETAIL 7A0.3.
2	DEPRESSED CURB w/ B/T TACTILE WALKING SURFACE INDICATOR, REFER TO DETAIL 5A0.3, TYP.
3	DEPRESSED CURB BY SITE G.C., REFER TO DETAIL 5A0.3, TYP.
4	NEW ACCESSIBLE PARKING SPACE WITH SIGN POST, REFER TO DETAIL 7A0.3, TYP.
5	PAINTED PEDESTRIAN CROSSING, REFER TO DETAIL 7A0.3, TYP.
6	PARKING STRIPING TYP.
7	HYBRID VEHICLE PARKING SPACE WITH SIGN POST, REFER TO DETAIL 7A0.3, TYP.

3 NOT USED  
A1.0 SCALE: N/S

2 NOTES  
A1.0 SCALE: N/S

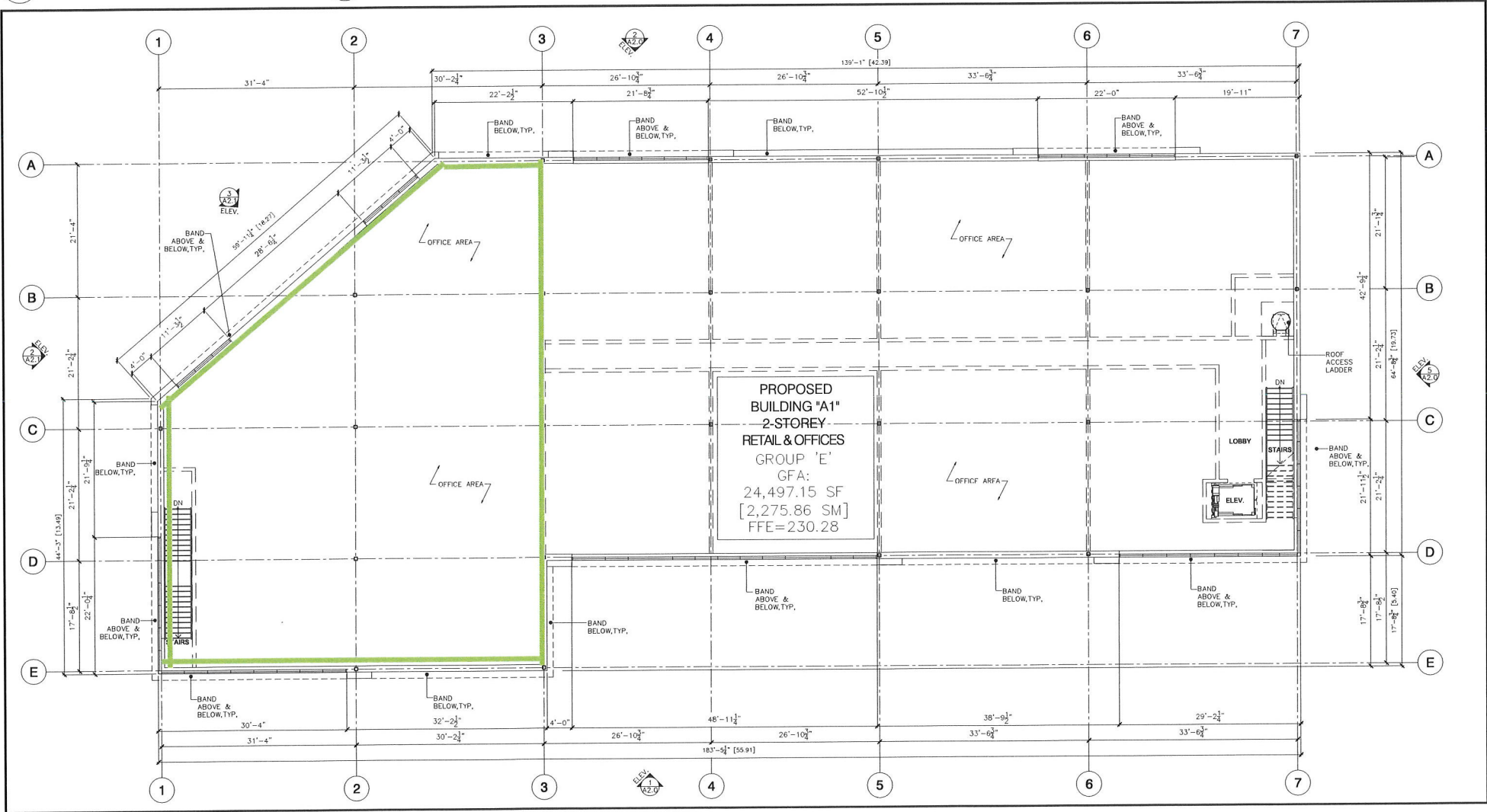


1 GROUND FLOOR PLAN  
A1.0 SCALE: 1/8" = 1'-0"

NOTES	
1	CONCRETE SIDEWALK ON GRADE BY G.C. SHOWN DOTTED. CURBS BY SITE G.C. UNDER SEPARATE CONTRACT. TYPICAL FOR ENTIRE SIDEWALK AROUND EXPANSION, REFER TO DETAIL 8/A0.3.
2	DEPRESSED CURB w/ BIF TACTILE WALKING SURFACE INDICATOR, REFER TO DETAIL 8/A0.3, TYP.
3	DEPRESSED CURB BY SITE G.C., REFER TO DETAIL 8/A0.3, TYP.
4	NEW ACCESSIBLE PARKING SPACE WITH SIGN POST, REFER TO DETAIL 7/A0.3, TYP.
5	PAINTED PEDESTRIAN CROSSING, REFER TO DETAIL 8/A0.3, TYP.
6	PARKING STRIPING TYP.
7	HYBRID VEHICLE PARKING SPACE WITH SIGN POST, REFER TO DETAIL 7/A0.3, TYP.

2 NOTES  
A1.1 SCALE: N/S

3 NOT USED  
A1.1 SCALE: N/S



1 SECOND FLOOR PLAN  
A1.1 SCALE: 1/8" = 1'-0"



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REV.	ISSUED FOR:	DATE:
1	ISSUED FOR 78A	06/18/2021
	ISSUED FOR CLIENT REVIEW	06/05/2021
	ISSUED TO CONSULTANTS	06/10/2021
2	ISSUED FOR 78A	07/27/2022
	ISSUED FOR PRE CON. APPL.	08/18/2022
	ISSUED FOR CLIENT REVIEW	08/24/2021
3	ISSUED FOR 78A	04/04/2023

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2610 WERTON ROAD, #507  
NORTH YORK, ONTARIO  
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TEL: 647.892.2121

SEAL:

Project:  
6539 MAYFIELD & 11937  
GOREWAY DR

BRAMPTON, ON L6P 0M8

Drawing Name:  
BUILDING A1  
SECOND FLOOR PLAN

Proj no.: 20-913 Date: SEP 2020  
Drawn by: SJ Scale: AS NOTED  
Checked by: PM

North: Drawing No:  
A1.1



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REV.	ISSUED FOR:	DATE:
1	ISSUED FOR ZBA	06/18/2021
1	ISSUED FOR CLIENT REVIEW	06/05/2021
1	ISSUED TO CONSULTANTS	06/10/2023
2	ISSUED FOR ZBA	07/27/2022
2	ISSUED FOR PRE CON. APPL.	08/18/2022
3	ISSUED FOR CLIENT REVIEW	08/24/2021
3	ISSUED FOR ZBA	04/04/2023

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TEL: 647.562.2121

SEAL:

Project:  
6539 MAYFIELD & 11937  
GOREWAY DR

BRAMPTON, ON 16P DM8

Drawing Name:  
BUILDING A2  
GROUND FLOOR PLAN

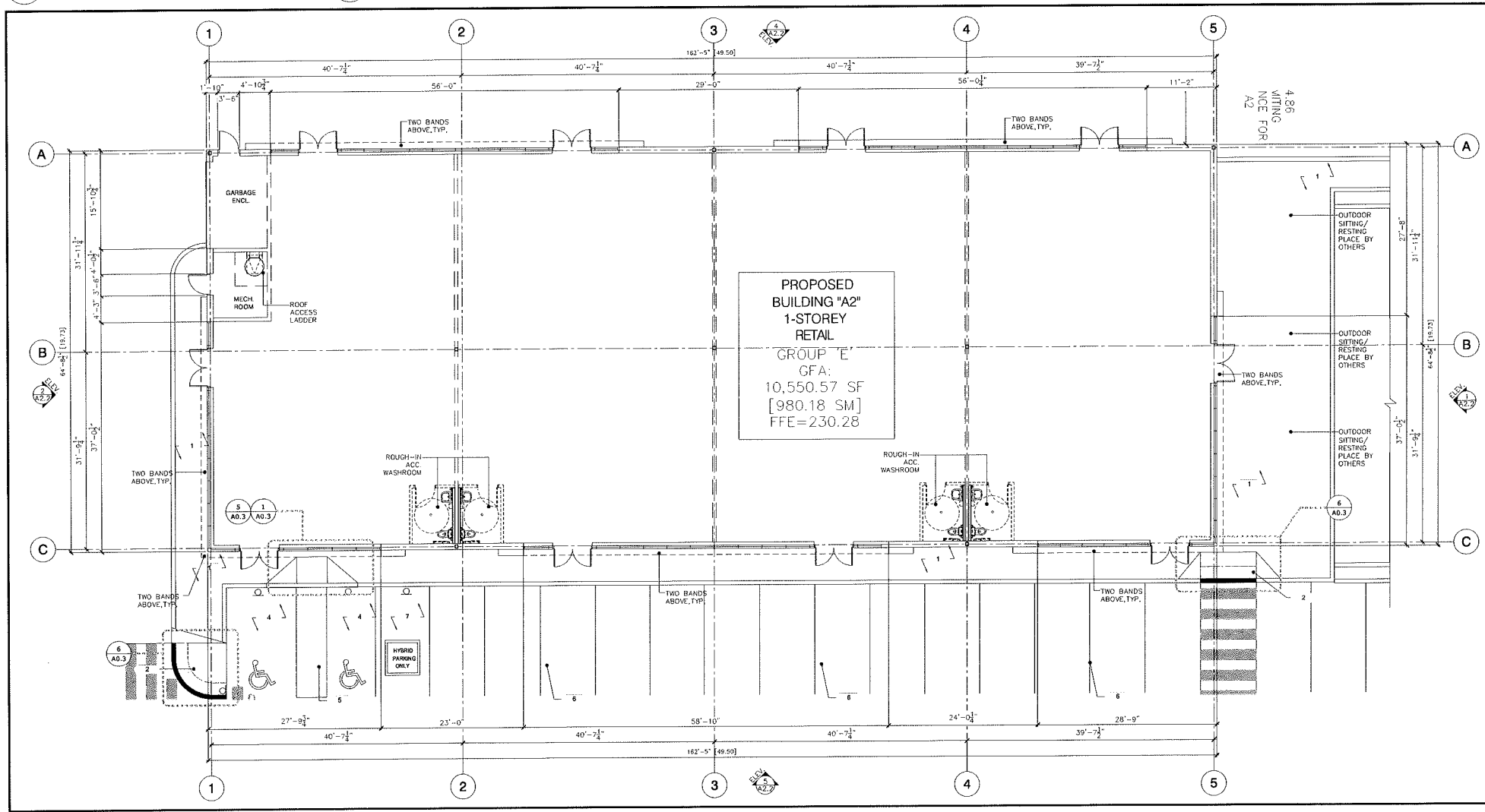
Proj no.: 20-913 Date: SEP 2020  
Drawn by: SJ Scale: AS NOTED  
Checked by: PM

North: Drawing No:  
  
**A1.2**

NOTES	
1	CONCRETE SIDEWALK ON GRADE BY G.C. SHOWN DOTTED. CURBS BY SITE G.C. UNDER SEPARATE CONTRACT. TYPICAL FOR ENTIRE SIDEWALK AROUND EXPANSION. REFER TO DETAIL 7A0.3.
2	DEPRESSED CURB WITH TACTILE WALKING SURFACE INDICATOR, REFER TO DETAIL 7A0.3, TYP.
3	DEPRESSED CURB BY SITE G.C., REFER TO DETAIL 7A0.3, TYP.
4	NEW ACCESSIBLE PARKING SPACE WITH SIGN POST, REFER TO DETAIL 7A0.3, TYP.
5	PAINTED PEDESTRIAN CROSSING, REFER TO DETAIL 7A0.3, TYP.
6	PARKING STRIPING TYP.
7	HYBRID VEHICLE PARKING SPACE WITH SIGN POST, REFER TO DETAIL 7A0.3, TYP.

2 NOTES  
A1.2 SCALE: N/S

3 NOT USED  
A1.2 SCALE: N/S

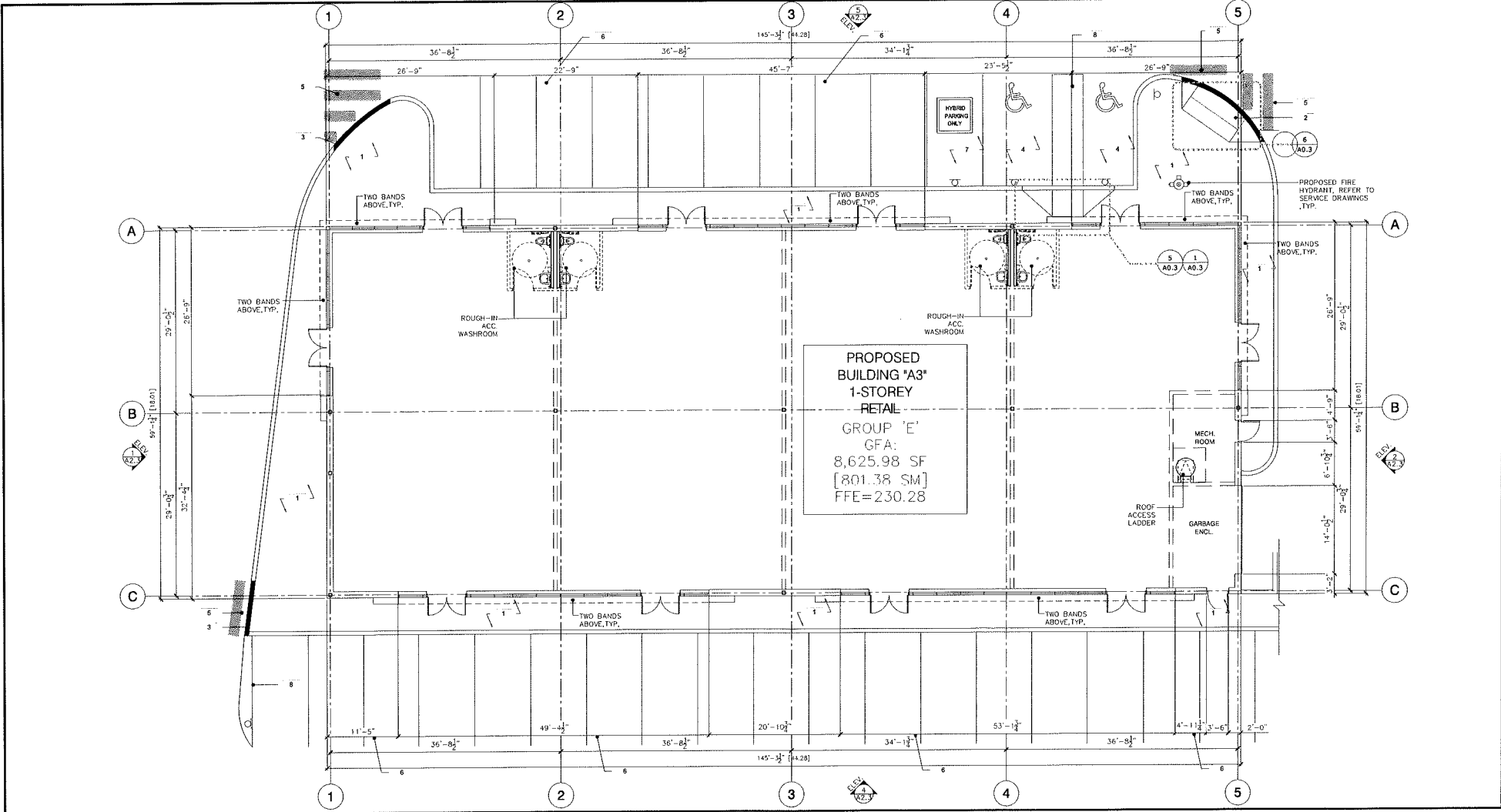


1 GROUND FLOOR PLAN  
A1.2 SCALE: 1/8" = 1'-0"

NOTES	
1	CONCRETE SIDEWALK ON GRADE BY G.C. SHOWN DOTTED. CURBS BY SITE G.C. UNDER SEPARATE CONTRACT. TYPICAL FOR ENTIRE SIDEWALK AROUND EXPANSION. REFER TO DETAIL 7A0.3.
2	DEPRESSED CURB w/ 8" TACTILE WALKING SURFACE INDICATOR. REFER TO DETAIL 7A0.3, TYP.
3	DEPRESSED CURB BY SITE G.C.. REFER TO DETAIL 7A0.3, TYP.
4	NEW ACCESSIBLE PARKING SPACE WITH SIGN POST. REFER TO DETAIL 7A0.3, TYP.
5	PAINTED PEDESTRIAN CROSSING. REFER TO DETAIL 7A0.3, TYP.
6	PARKING STRIPING TYP.
7	HYBRID VEHICLE PARKING SPACE WITH SIGN POST. REFER TO DETAIL 7A0.3, TYP.

2 NOTES  
A1.3 SCALE: N/S

3 NOT USED  
A1.3 SCALE: N/S



1 GROUND FLOOR PLAN  
A1.3 SCALE: 1/8" = 1'-0"



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REV.	ISSUED FOR:	DATE:
1	ISSUED FOR ZBA	04/18/2021
	ISSUED FOR CLIENT REVIEW	04/05/2021
	ISSUED TO CONSULTANTS	08/10/2022
2	ISSUED FOR ZBA	07/27/2022
	ISSUED FOR PRE CON. APPL.	08/18/2022
	ISSUED FOR CLIENT REVIEW	08/24/2021
3	ISSUED FOR ZBA	04/04/2023

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TEL: 447.362.2121

SCALE:

Project:  
6539 MAYFIELD & 11937  
GOREWAY DR

BRAMPTON, ON L6P 0M8

Drawing Name:  
**BUILDING A3  
GROUND FLOOR PLAN**

Proj No.:	20-913	Date:	SEP 2020
Drawn by:	SJ	Scale:	AS NOTED
Checked by:	PM		

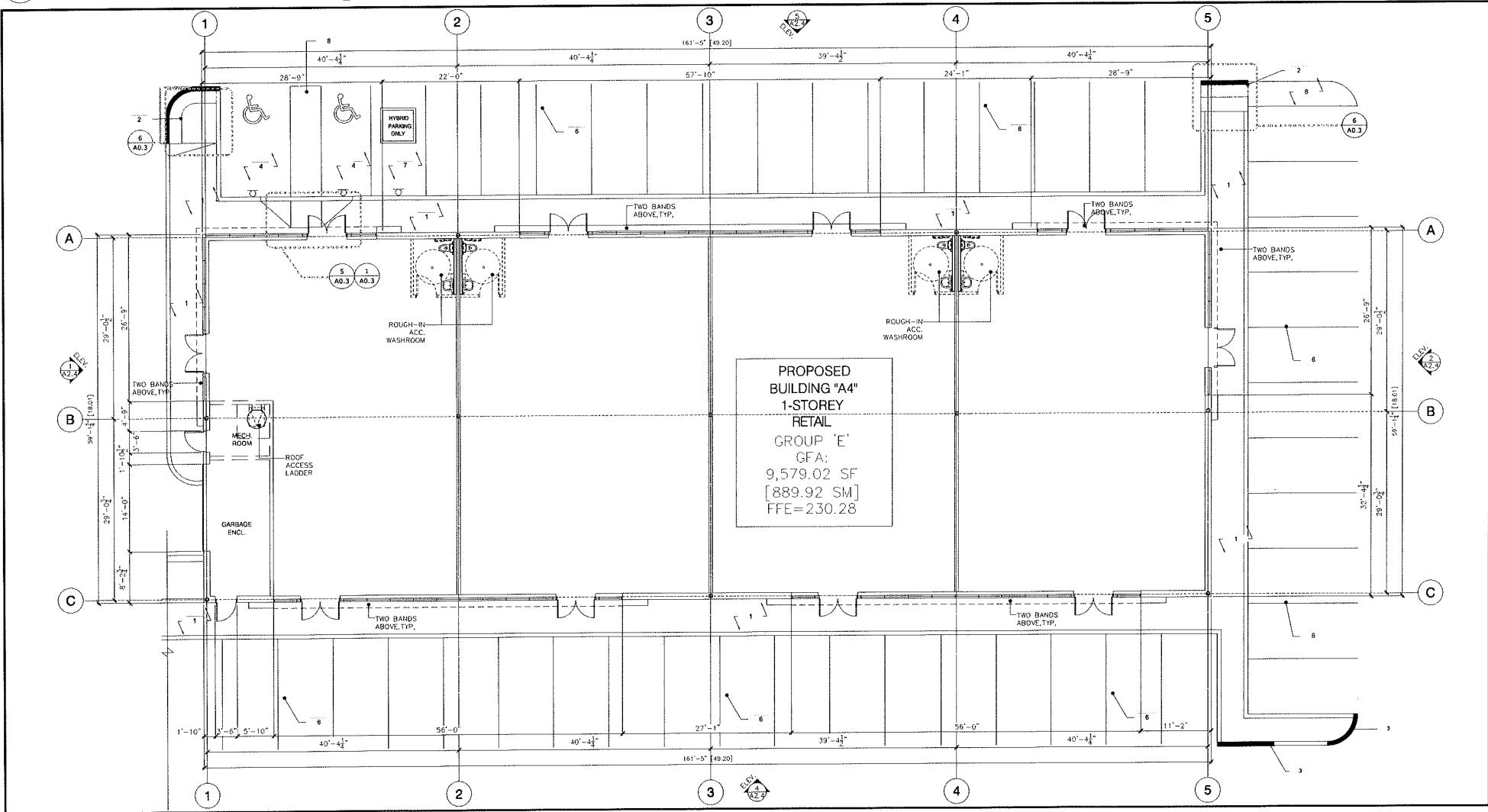
North: Drawing No.:  
**A1.3**



NOTES	
1	CONCRETE SIDEWALK ON GRADE BY O.C. SHOWN DOTTED. CURBS BY SITE G.D. UNDER SEPARATE CONTRACT. TYPICAL FOR ENTIRE SIDEWALK AROUND EXPANSION, REFER TO DETAIL 8A0.3.
2	DEPRESSED CURB w/ B.F. TACTILE WALKING SURFACE INDICATOR, REFER TO DETAIL 8A0.3, TYP.
3	DEPRESSED CURB BY SITE G.D., REFER TO DETAIL 8A0.3, TYP.
4	NEW ACCESSIBLE PARKING SPACE WITH SIGN POST, REFER TO DETAIL 7A0.3, TYP.
5	PAINTED PEDESTRIAN CROSSING, REFER TO DETAIL 7A0.3, TYP.
6	PARKING STRIPING TYP.
7	HYBRID VEHICLE PARKING SPACE WITH SIGN POST, REFER TO DETAIL 7A0.3, TYP.

2 NOTES  
A1.4 SCALE: N/S

3 NOT USED  
A1.4 SCALE: N/S



1 GROUND FLOOR PLAN  
A1.4 SCALE: 1/8" = 1'-0"



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REV.	ISSUED FOR:	DATE:
1	ISSUED FOR ZBA	04/18/2021
	ISSUED FOR CLIENT REVIEW	04/05/2021
	ISSUED TO CONSULTANTS	04/10/2021
2	ISSUED FOR ZBA	07/27/2021
	ISSUED FOR PRE CON. APPL.	08/18/2021
	ISSUED FOR CLIENT REVIEW	08/24/2021
3	ISSUED FOR ZBA	04/04/2023

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TEL: 647.862.2121

SEAL:

Project:  
**6539 MAYFIELD & 11937  
GOREWAY DR**  
BRAMPTON, ON L6P 0M8  
Drawing Name:  
**BUILDING A4  
GROUND FLOOR PLAN**

Proj no.: 20-913	Date: SEP 2020
Drawn by: SJ	Scale: AS NOTED
Checked by: PM	
North:	Drawing No: <b>A1.4</b>





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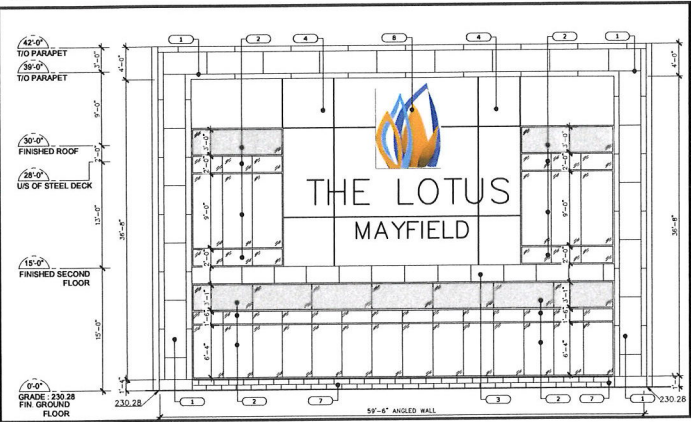
REV.	ISSUED FOR:	DATE:
	PRECONSULTATION	11/17/2020
1	ISSUED FOR 78A	06/18/2021
	ISSUED FOR CLIENT REVIEW	06/05/2022
	ISSUED TO CONSULTANTS	06/10/2022
2	ISSUED FOR 78A	07/27/2022
	ISSUED FOR PRE CON. APPL.	08/16/2022
3	ISSUED FOR 78A	04/04/2023

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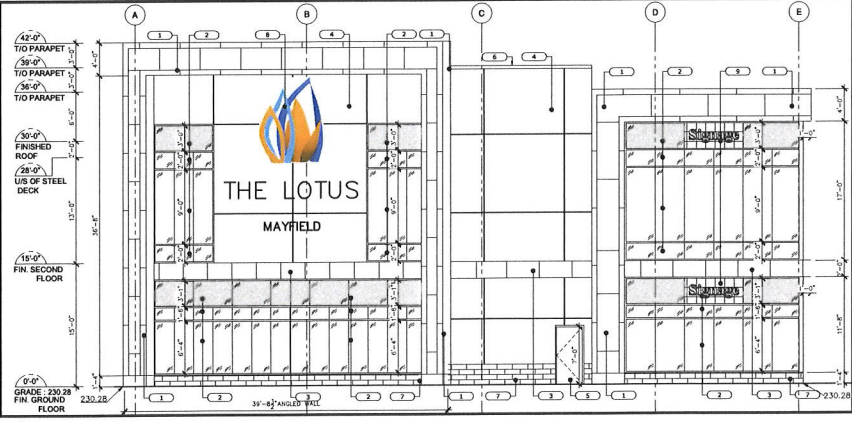
2610 WESTON ROAD, #207  
NORTH YORK, ONTARIO  
M2N 2B1  
TEL: 647.352.2121

SEAL :

4 NOT USED  
A2.1 SCALE: N/S



3 PROPOSED NORTH 2 ELEVATION  
A2.1 SCALE: 1/8" = 1'- 0"



2 PROPOSED WEST ELEVATION  
A2.1 SCALE: 1/8" = 1'- 0"

FINISHED LEGEND	
SYM.	NOTES
1	ALUMINUM COMPOSITE PANEL/WOOD, COLOUR TBD
2	<input type="checkbox"/> CLEAR GLAZING <input type="checkbox"/> SPANDREL GLAZING, COLOUR TBD <input type="checkbox"/> SPANDREL GLAZING, COLOUR TBD
3	ALUMINUM COMPOSITE PANEL, COLOUR TBD
4	STUCCO FINISH, COLOUR TBD
5	EXTERIOR DOOR
6	METAL PARAPET CAP FLASHING TO MATCH COLOUR OF ADJACENT FINISH TYP.
7	STONE FINISH, COLOUR TBD
8	"LOTUS" WALL SIGN CENTER WITH TOP SPOT LIGHT,TYP.
9	STUCCO FINISH/ ACP, COLOUR TBD

1 NOTES  
A2.1 SCALE: 1/8" = 1'- 0"





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1	ISSUED FOR 78A	06/18/2021
	ISSUED FOR CLIENT REVIEW	04/05/2022
	ISSUED TO CONSULTANTS	04/10/2022
2	ISSUED FOR 78A	07/27/2022
	ISSUED FOR PRE CON. APPL.	08/18/2022
3	ISSUED FOR 78A	04/04/2023

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architect inc.

2610 WESTON ROAD, #207  
NORTH YORK, ONTARIO  
M2N 2B1  
TEL: 647.592.2121

SEAL:

Project:  
6539 MAYFIELD & 11937  
GOREWAY DR

BRAMPTON, ON L6P 0M8

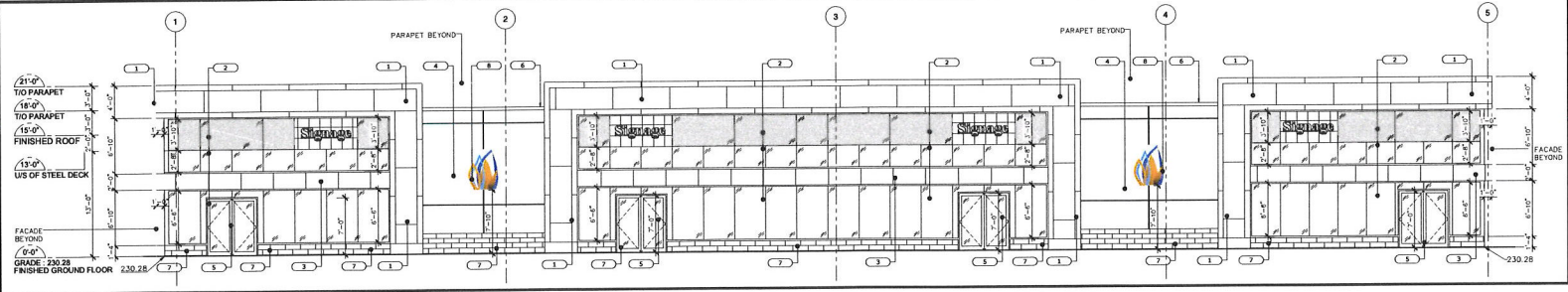
Drawing Name:

**BUILDING A2  
PROPOSED ELEVATIONS**

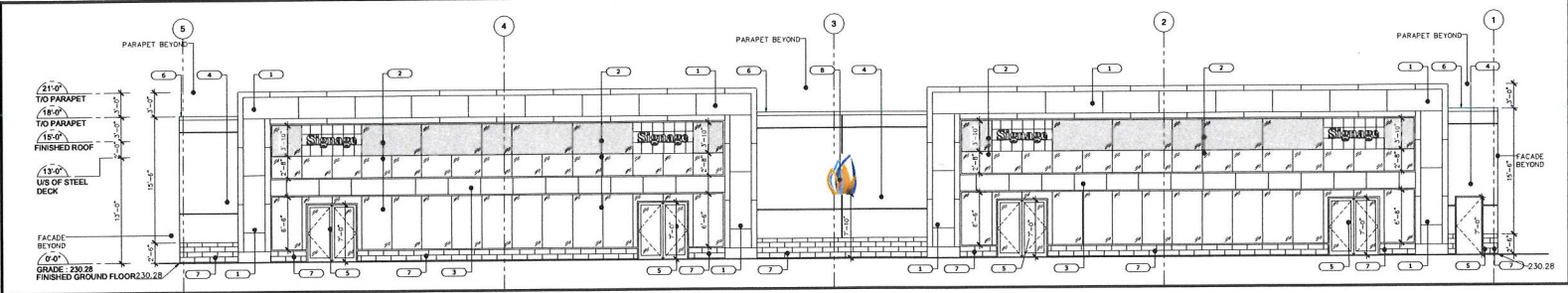
Proj No.:	20-913	Date:	SEP 2020
Drawn by:	SJ	Scale:	AS NOTED
Checked by:	PM		
North:		Drawing No.:	

**A2.2**

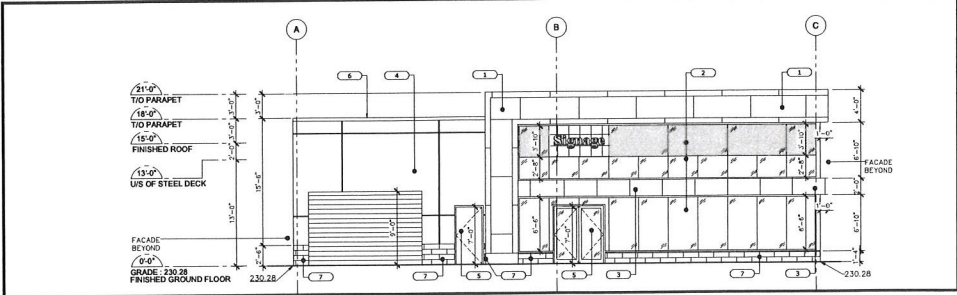
6 NOT USED  
A2.2 SCALE: N/S



5 PROPOSED SOUTH ELEVATION  
A2.2 SCALE: 1/8" = 1'-0"



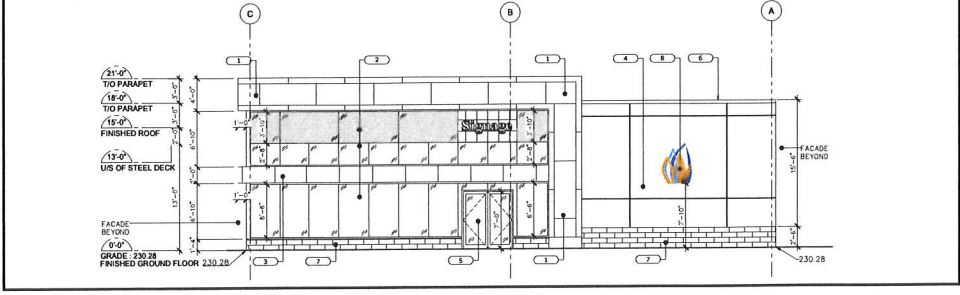
4 PROPOSED NORTH ELEVATION  
A2.2 SCALE: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION  
A2.2 SCALE: 1/8" = 1'-0"

FINISHED LEGEND	
SYM.	NOTES
1	ALUMINUM COMPOSITE PANEL/WOOD, COLOUR TBD
2	<input type="checkbox"/> CLEAR GLAZING <input type="checkbox"/> SPANDREL GLAZING, COLOUR TBD <input type="checkbox"/> SPANDREL GLAZING, COLOUR TBD
3	ALUMINUM COMPOSITE PANEL, COLOUR TBD
4	STUCCO FINISH, COLOUR TBD
5	EXTERIOR DOOR
6	METAL PARAPET CAP FLASHING TO MATCH COLOUR OF ADJACENT FINISH TYP.
7	STONE FINISH, COLOUR TBD
8	"LOTUS" WALL SIGN CENTER WITH TOP SPOT LIGHT, TYP.
9	STUCCO FINISH/ ACP, COLOUR TBD

3 NOTES  
A2.2 SCALE: 1/8" = 1'-0"



1 PROPOSED EAST ELEVATION  
A2.2 SCALE: 1/8" = 1'-0"





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REV.	ISSUED FOR:	DATE:
1	PRECONSULTATION	11/17/2020
1	ISSUED FOR 78A	06/16/2021
1	ISSUED FOR CLIENT REVIEW	06/05/2022
1	ISSUED TO CONSULTANTS	06/10/2022
2	ISSUED FOR 78A	07/27/2022
2	ISSUED FOR PRE CON. APPL.	08/18/2022
3	ISSUED FOR 78A	04/04/2023

**paul marques**  
architect inc.

2610 WESTON ROAD, #207  
NORTH YORK, ONTARIO  
M2N 2B1  
TEL: 647.562.2121

SEAL:

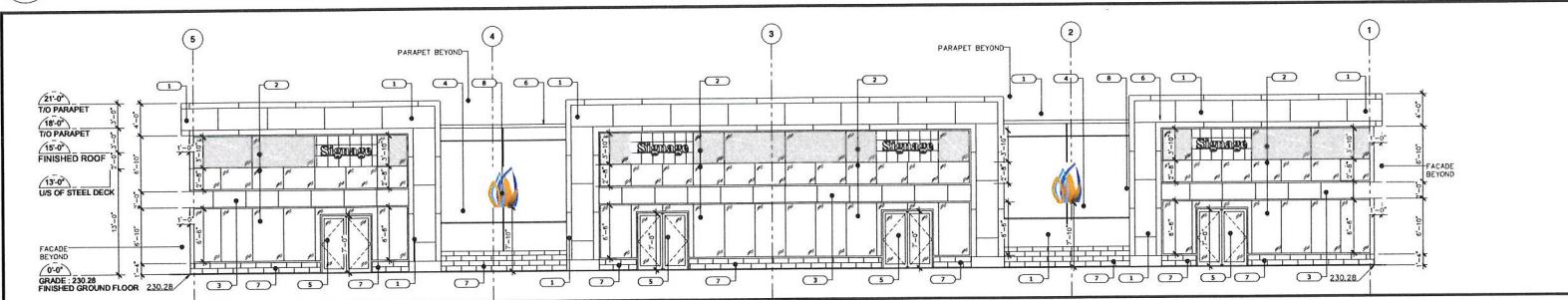
Project:  
**6539 MAYFIELD & 11937 GOREWAY DR**

BRAMPTON, ON L6P 0M8

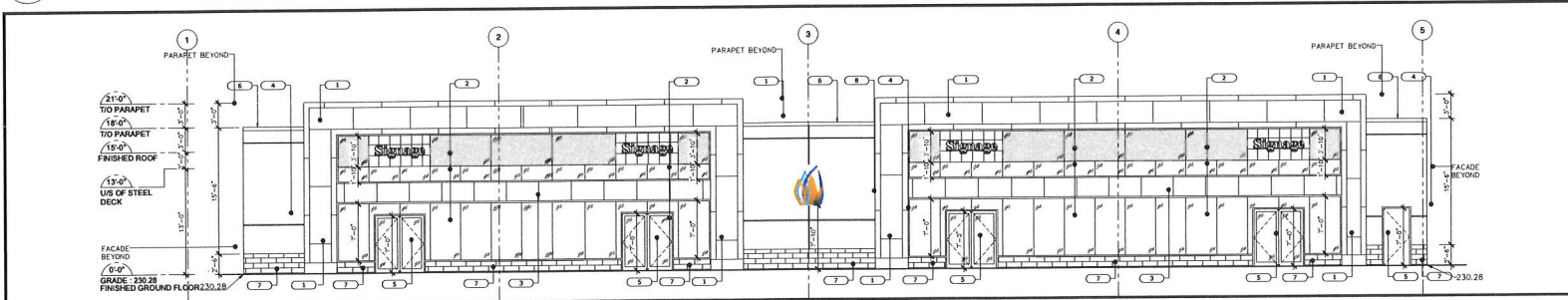
Drawing Name:  
**BUILDING A3  
PROPOSED ELEVATIONS**

Proj no.: 20-913 Date: SEP 2020  
Drawn by: SJ Scale: AS NOTED  
Checked by: PM  
North:  
**A2.3**

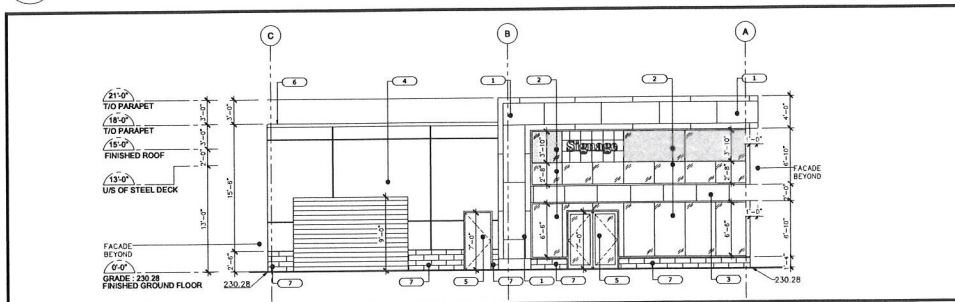
6 NOT USED  
A2.3 SCALE: N/S



5 PROPOSED NORTH ELEVATION  
A2.3 SCALE: 1/8" = 1'-0"



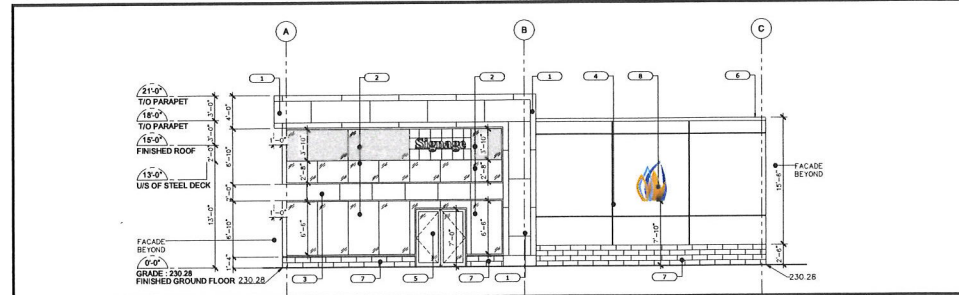
4 PROPOSED SOUTH ELEVATION  
A2.3 SCALE: 1/8" = 1'-0"



2 PROPOSED EAST ELEVATION  
A2.3 SCALE: 1/8" = 1'-0"

FINISHED LEGEND	
SYM.	NOTES
1	ALUMINUM COMPOSITE PANEL/WOOD, COLOUR TBD
2	CLEAR GLAZING
3	SPANDREL GLAZING, COLOUR TBD
4	SPANDREL GLAZING, COLOUR TBD
5	ALUMINUM COMPOSITE PANEL, COLOUR TBD
6	STUCCO FINISH, COLOUR TBD
7	EXTERIOR DOOR
8	METAL PARAPET CAP FLASHING TO MATCH COLOUR OF ADJACENT FINISH TYP.
9	STONE FINISH, COLOUR TBD
10	"LOTUS" WALL SIGN CENTER WITH TOP SPOT LIGHT TYP.
11	STUCCO FINISH/ ACP, COLOUR TBD

3 NOTES  
A2.3 SCALE: 1/8" = 1'-0"



1 PROPOSED WEST ELEVATION  
A2.3 SCALE: 1/8" = 1'-0"



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REV.	ISSUED FOR:	DATE:
	PRECONSULTATION	11/17/2020
1	ISSUED FOR 7BA	06/18/2021
	ISSUED FOR CLIENT REVIEW	04/05/2022
	ISSUED TO CONSULTANTS	06/10/2022
2	ISSUED FOR 7BA	07/27/2022
	ISSUED FOR PRE-CON. APPL.	08/18/2022
3	ISSUED FOR 7BA	04/04/2023

paul marques

architect inc

2610 WESTON ROAD, #207

NORTH YORK, ONTARIO

M2N 2B1

TEL: 416.592.2121

SEAL:

Project:

6539 MAYFIELD & 11937 GOREWAY DR

BRAMPTON, ON

L6P 0M8

Drawing Name:

BUILDING A4  
PROPOSED ELEVATIONS

Proj No.: 20-913

Date: SEP 2020

Drawn by: SJ

Scale: AS NOTED

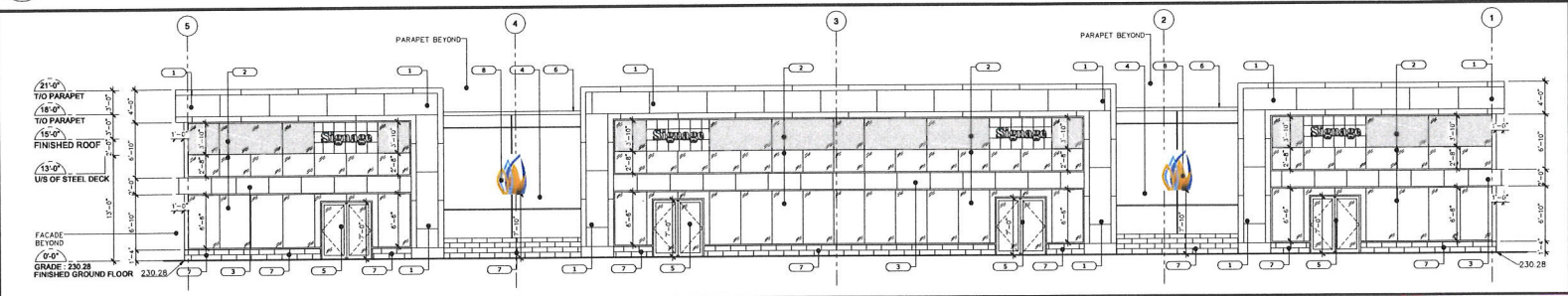
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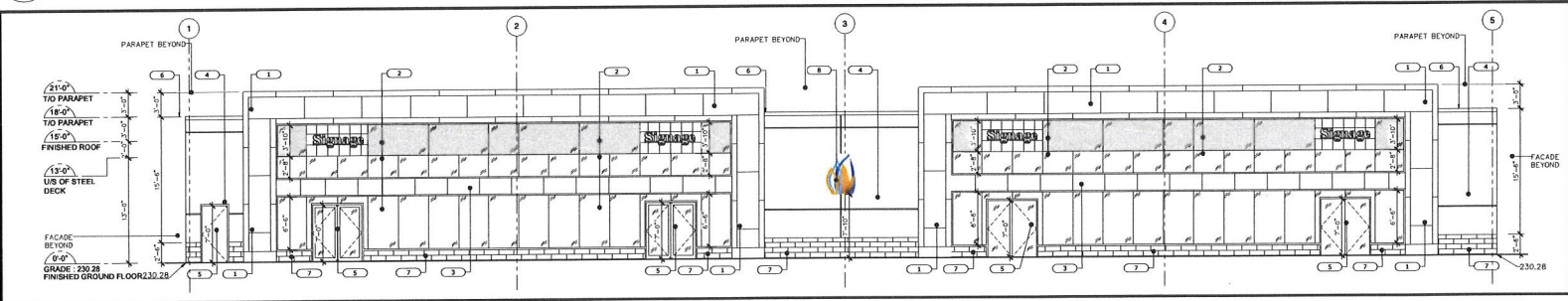
Drawing No:

A2.4

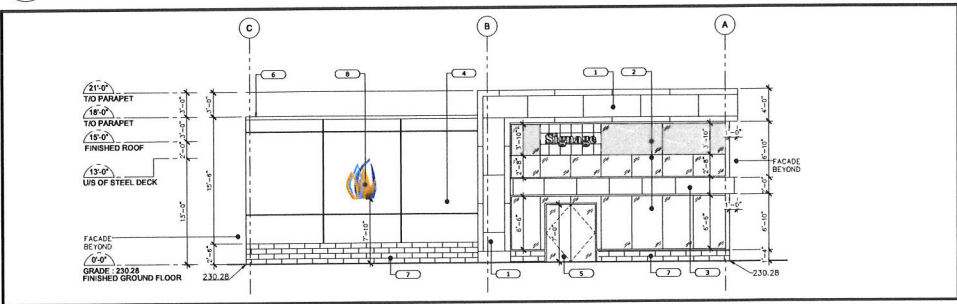
6 NOT USED  
A2.4 SCALE: N/S



5 PROPOSED NORTH ELEVATION  
A2.4 SCALE: 1/8" = 1'-0"



4 PROPOSED SOUTH ELEVATION  
A2.4 SCALE: 1/8" = 1'-0"



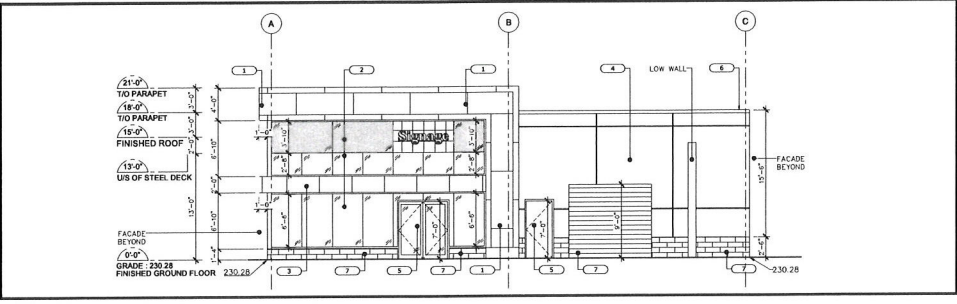
2 PROPOSED EAST ELEVATION  
A2.4 SCALE: 1/8" = 1'-0"

FINISHED LEGEND

SYM.	NOTES
1	ALUMINUM COMPOSITE PANEL/WOOD, COLOUR TBD
2	<div><div>CLEAR GLAZING</div><div>SPANDREL GLAZING, COLOUR TBD</div><div>SPANDREL GLAZING, COLOUR TBD</div></div>
3	ALUMINUM COMPOSITE PANEL, COLOUR TBD
4	STUCCO FINISH, COLOUR TBD
5	EXTERIOR DOOR
6	METAL PARAPET CAP FLASHING TO MATCH COLOUR OF ADJACENT FINISH TYP.
7	STONE FINISH, COLOUR TBD
8	"LOTUS" WALL SIGN CENTER WITH TOP SPOT LIGHT, TYP.
9	STUCCO FINISH/ ACP, COLOUR TBD

3 NOTES

A2.4 SCALE: 1/8" = 1'-0"



1 PROPOSED WEST ELEVATION  
A2.4 SCALE: 1/8" = 1'-0"





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REV.	ISSUED FOR:	DATE:
	ISSUED FOR CLIENT REVIEW	07/20/2022
1	ISSUED FOR 78A	07/27/2022
	ISSUED FOR PRE CON. APPL.	08/18/2022
2	ISSUED FOR 78A	04/04/2023

paul marques

architect inc

2410 WESTON ROAD, #207  
NORTH YORK, ONTARIO  
M2N 2P1  
TEL: 647.882.2121

SEAL :

Project :

6539 MAYFIELD & 11937  
GOREWAY DR

BRAMPTON, ONL6P 0M8

Drawing Name :

PROPOSED  
LOW WALL ELEVATIONS

Proj no. :20-913

Date :SEP 2020

Drawn by :SJ

Scale :AS NOTED

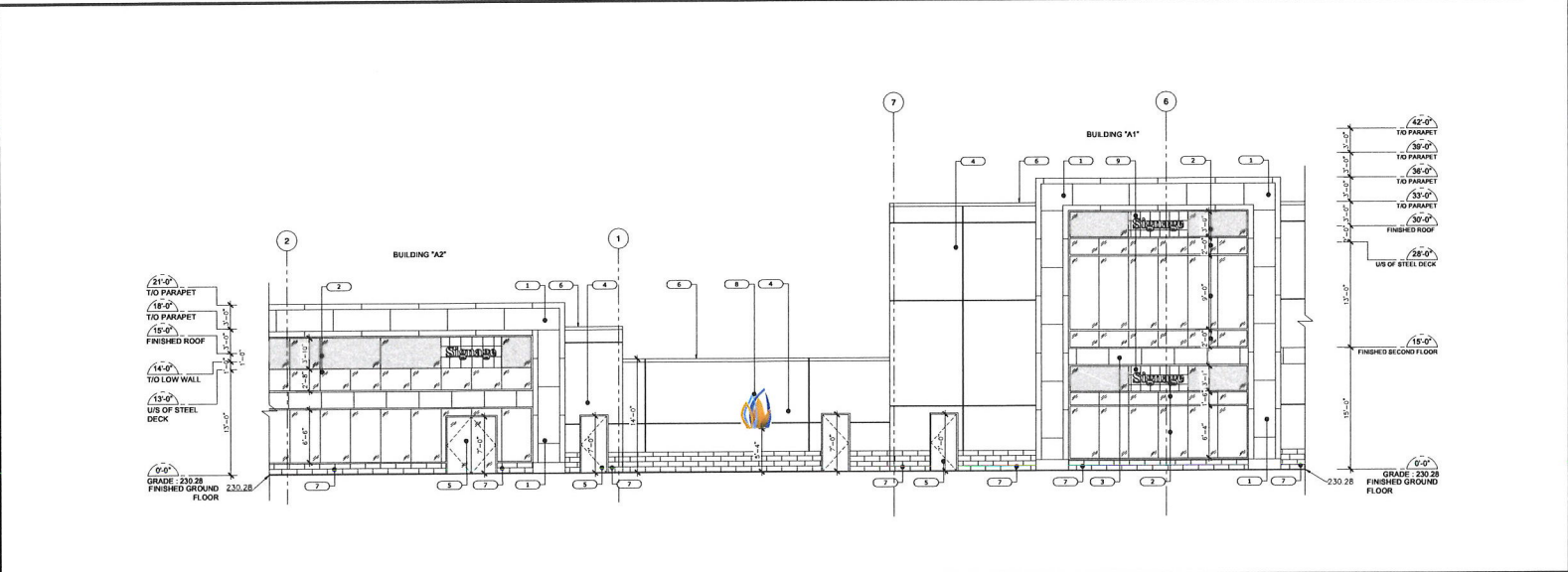
Checked by :PM

Drawing No :

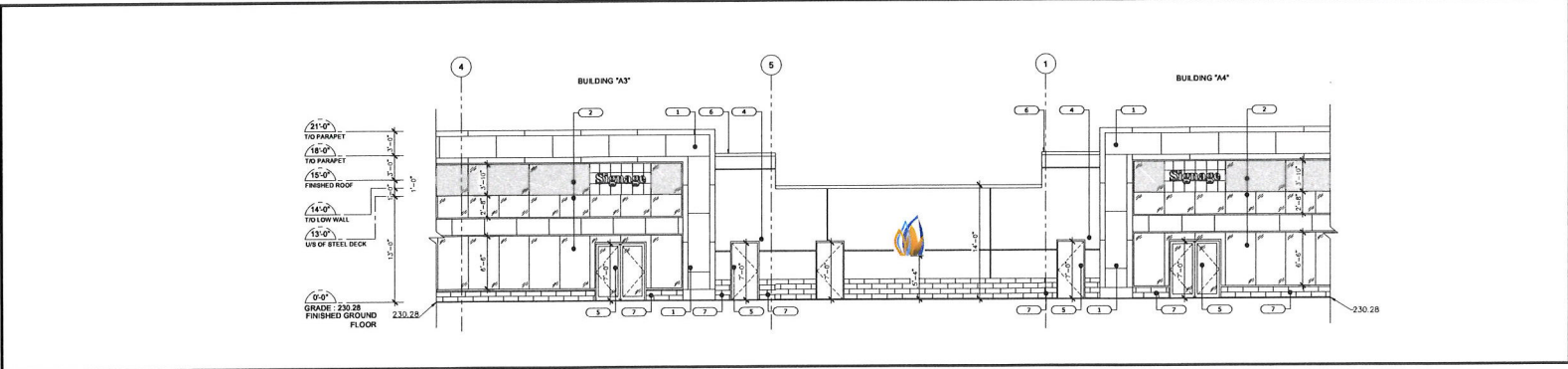
North :

A2.5

4 NOT USED  
A2.5 SCALE: N/S



3 PROPOSED LOW WALL ELEVATION BETWEEN BUILDING "A1" & "A2"  
A2.5 SCALE: 1/8" = 1'- 0"



2 PROPOSED LOW WALL ELEVATION BETWEEN BUILDING "A3" & "A4"  
A2.5 SCALE: 1/8" = 1'- 0"

FINISHED LEGEND	
SYM.	NOTES
1	ALUMINUM COMPOSITE PANEL/WOOD, COLOUR TBD
2	CLEAR GLAZING
3	SPANDREL GLAZING, COLOUR TBD
4	SPANDREL GLAZING, COLOUR TBD
5	ALUMINUM COMPOSITE PANEL, COLOUR TBD
6	STUCCO FINISH, COLOUR TBD
7	EXTERIOR DOOR
8	METAL PARAPET CAP FLASHING TO MATCH COLOUR OF ADJACENT FINISH TYP.
9	STONE FINISH, COLOUR TBD
10	"LOTUS" WALL SIGN CENTER WITH TOP SPOT LIGHT TYP.
11	STUCCO FINISH/ ACP, COLOUR TBD

1 NOTES  
A2.5 SCALE: 1/8" = 1'- 0"

December 19, 2023  
Committee of Adjustment  
The Corporation of the City of Brampton  
2 Wellington Street West  
Brampton, ON L6Y 4R2  
Phone (905) 874-2117  
Fax (905) 874-2119

Attention: Ms. Clara Vani  
Committee of Adjustment

Subject: Application to the Committee of Adjustment – Minor Variance  
11937 Goreway drive and 6539 Mayfield Road  
Part of Lot 17, Concession 8 N.D Toronto Gore, Parts 1,2,  
Expropriation Plan PR3514574; and Part of Lot 17, Concession  
8 N.D Toronto Gore, as in RO909368 except Part 1 43R38666  
City of Brampton, Ontario  
City related File: OZS-2021-0045  
Ward 10

The purpose of this application for minor variance is to seek special permission to operate a training program in dental hygiene and dental/medical auxiliary and a continuing education for dentists in the proposed buildings that are approved for c-1 zoning.

According to recent data from the Canadian Dental Association, there is currently a shortage of nearly 5,000 dental assistants in Canada. All indications suggest an even worse shortage of dental hygienists. To tackle these challenges, the dental-care plan must include targeted measures to alleviate the labour shortage.

The approval of the above request will be beneficial for the city of Brampton and the Province of Ontario in general because there is a huge shortage of dental hygienists and dental/medical auxiliaries all across the province.

There is no dental hygiene training program in the City of Brampton. The city of Brampton is progressing in the direction of



producing health care professionals with the approval of the first medical school for which a library will be converted to a facility to train future doctors. The approval of the above application will allow to open the first dental hygiene training program in Brampton that will help reduce the shortage.

An approximate 5000 sq ft or 464 sq m will be dedicated to the training program. The parking calculation below shows operating the training program has minimal effect on parking spaces provided.

The floor area for building A1 is 24,297 SQF or 2275.86 SQM

The floor area for 2<sup>nd</sup> floor of building A1 is 12248.5 SQF or 1137.93 SQM

The parking space dedicated to Building A1 2<sup>nd</sup> floor office space is 38 (1/30 SQM)

The allowance for the training program is 5000 SQF or 464 SQM

The required parking space for training program is 23 (1/20 SQM)

Total required for 2<sup>nd</sup> floor with the training program is  $23 + 22 = 45$  (1/30 SQM ).

Total spaces provided for the development = 233

Total spaces required with the training program = 246 (<6%)

According to section 45(1) of the Planning Act, the requested variances cumulatively and individually: maintain the general intent and purpose of the Official Plan; maintain the general intent and purpose of the Zoning By-laws; are desirable for the appropriate use of the development; and are minor. There is no change in the structure of the buildings proposed and have already been approved

I sincerely request the Committee of Adjustment to provide their kind approval for the above variance.

Kind regards and gratitude,  
Dr. Raj Khanuja

#### Appendix:

Page 2 and 3 of the site plan are highlighted with red property boundary and green minor variance boundary,

#### Bibliography:

<https://www.oralhealthgroup.com/news/dental-assistant-shortage-in-canada-may-cause-patient-backlog-1003973034/>

<https://www.dental-tribune.com/news/dental-assistants-and-lab-workers-added-to-canadas-skilled-worker-immigration-programme/>

<https://www.cbc.ca/news/canada/prince-edward-island/pei-dental-hygienists-shortage-male-1.6697774>

<https://www.hilltimes.com/story/2023/08/07/a-dental-care-workforce-shortage-threatens-the-success-of-the-canadian-dental-care-plan/394523/>

<https://globalnews.ca/news/9631941/dentist-assistant-shortage-canada/>

<https://www.maxill.com/ca/blog/post/why-is-there-a-shortage-in-the-dental-industry>

<https://files.cdha.ca/profession/journal/2802.pdf>

# Zoning Non-compliance Checklist

File No.  
~~A-2022-~~

A-2023-0413

Applicant: Dr Raj Khanuja  
Address: 11937 Goreway  
Zoning: C1 section 3710  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE	To permit a commercial school.	Whereas the zoning does not permit a commercial school.	
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT/ SIDE / REAR			
BUILDING SIZE			
SIDE DOOR			
COVERAGE			
PARKING			
DRIVEWAY			
ACCESSORY STRUCTURE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
SCHEDULE 'C'			
FENCE HEIGHT			

Rose Bruno  
Reviewed by Zoning

December 18, 2023 \_\_\_\_\_  
Date