

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Asemarech Yohannes

Address 2 Bunchgrass Pl, Brampton, ON L6R 2J9

Phone # 647-787-6340

Fax #

Email manngotra.93@gmail.com

2. Name of Agent Manjinder Kaur

Address 15845 River Dr, Georgetown, ON L7G 4S7

Phone # 289-962-4003

Fax #

Email ar.manjinderkaur@gmail.com

3. Nature and extent of relief applied for (variances requested):

A. To permit a proposed exterior stairway leading to a below grade entrance located between the main wall of the dwelling and the flankage lot line, whereas the bylaw does not permit a stairway constructed below established grade to be located between the main wall of a dwelling and the flankage lot line.

4. Why is it not possible to comply with the provisions of the by-law?

The owner of the property wants to build a second dwelling unit to manage his mortgage. However to provide a second dwelling unit the entrance has to be below the grade which is not possible on rear yard and the other side of the property due to insufficient space and privacy reason. So the only space where owner can construct the entrance is the side of the property. The entrance is designed in such a way that it is inside the legal property

5. Legal Description of the subject land:

Lot Number 156

Plan Number/Concession Number

Municipal Address 2 Bunchgrass Pl, Brampton, ON L6R 2J9

6. Dimension of subject land (in metric units)

Frontage 12.95

Depth 23.56

Area 339.00 SQM

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area: 131.65 sqm
Gross Floor Area: 309.50 sqm,
No. of Levels: 2
Width: 9.5 m
Length: 15.95 m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

N/A

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	4.3 M
Rear yard setback	5.79 M
Side yard setback	1.21 M
Side yard setback	4.24 M

PROPOSED

Front yard setback	4.3 M
Rear yard setback	5.79 M
Side yard setback	1.21 M
Side yard setback	2.79 M

10. Date of Acquisition of subject land: December 2018
11. Existing uses of subject property: Residential - Single Dwelling Unit
12. Proposed uses of subject property: Residential - Two Dwelling Unit
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: February 2007
15. Length of time the existing uses of the subject property have been continued: 5 Years

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Manjinder

Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF _____ Georgetown _____

THIS 19 _____ DAY OF Dec _____, 2023 _____

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Manjinder Kaur, OF THE City OF Georgetown
IN THE Town OF Halton Hills SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF _____

Peel THIS 21st DAY OF
Dec. 2023

A Commissioner etc.

Gagandeep Jaswal
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton
Expires September 20, 2026

Manjinder

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1C-855

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Connor Cowan

Zoning Officer

2023-12-20

Date

DATE RECEIVED

Dec, 21, 2023

Date Application Deemed
Complete by the Municipality

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 2 Bunchgrass Pl

I/We, Asemarech Yochannes
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Manjinder Kaur
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 19 day of December, **2023**.

Asemarech Yochannes
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 2 Bunchgrass Pl

I/We, Asemarech Yochannes
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 19 day of December, **2023**.

Asemarech Yochannes
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

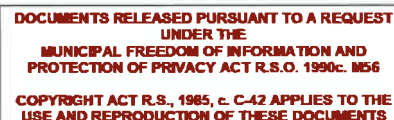
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: NONE
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS



BUNCHGRASS PLACE
(BY PLAN 43M-1300)

**ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1226846**



**THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR**
In accordance with
Regulation 1026, Section 29(3)


■	DENOTES	MONUMENT FOUND
□	DENOTES	MONUMENT SET
SIB	DENOTES	STANDARD IRON BAR
IB	DENOTES	IRON BAR
PL	DENOTES	PLAN 43M-1300
D.U.C.	DENOTES	DWELLING UNDER CONSTRUCTION
P.I.N.	DENOTES	PROPERTY IDENTIFIER NUMBER
P	DENOTES	PORCH

ALL FOUND MONUMENTS BY MARSHALL MACKLIN MONAGHAN
ONTARIO LIMITED, O.L.S.
ALL TIES TO CONCRETE FOUNDATIONS.

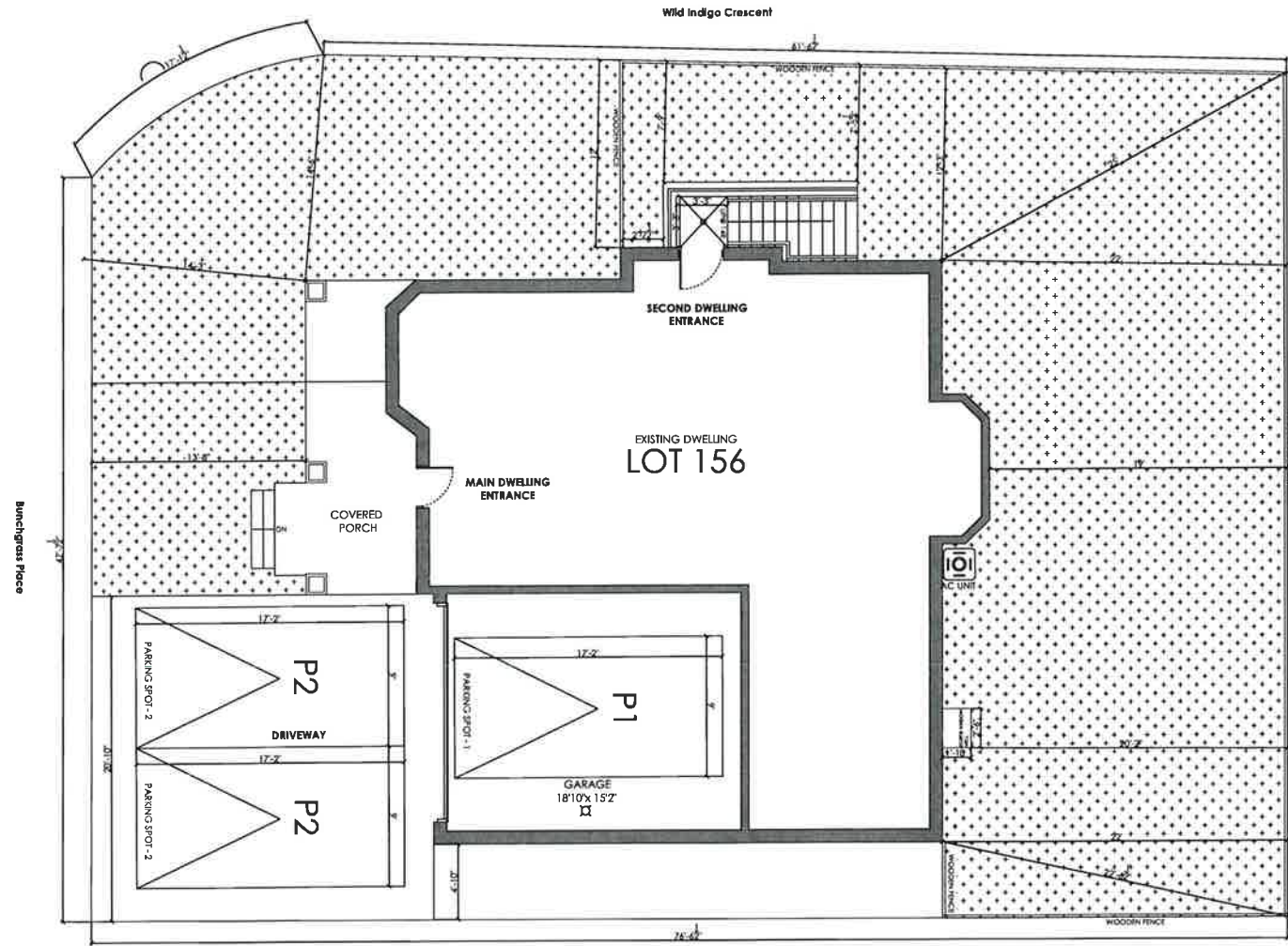
BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHWEST LIMIT OF BUNCHGRASS PLACE AS SHOWN ON PLAN 43M-1300 HAVING A BEARING OF N45°17'20"W.

THIS REPORT WAS PREPARED FOR
ASPEN RIDGE HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES.

DATE Feb. 17th, 1999.


T. SINGH
ONTARIO LAND SURVEYOR

fp **RADY-PENTEK & EDWARD SURVEYING LTD**
ONTARIO LAND SURVEYORS
465 WILSON AVENUE, DOWNSVIEW, ONTARIO
635-5000
DRAWN: V.N.K. CHECKED: M.P.
JOB No. 98-182 ACAD No. 1300-154



SITE PLAN
SCALE (1:100)



DIAMOND CRETE & CONSTRUCTION INC.
DCC DESIGNERS

15845 RIVER DRIVE RD.
GEORGETOWN, ON L7G 4S7
289-962-4003, 647-285-2597, 289-889-2697
info@diamondconst.ca

PROPOSED SECOND DWELLING
2 BUNCHGRASS PL, BRAMPTON

NAME:
MANJINDER KAUR

SIGNATURE:
Manjinder

BCIN:
125147

THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION REQUIREMENT
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF DIVISION "C" OF O.B.C.

DRAWN BY: MK

CLIENT REVIEW:

REVISION:

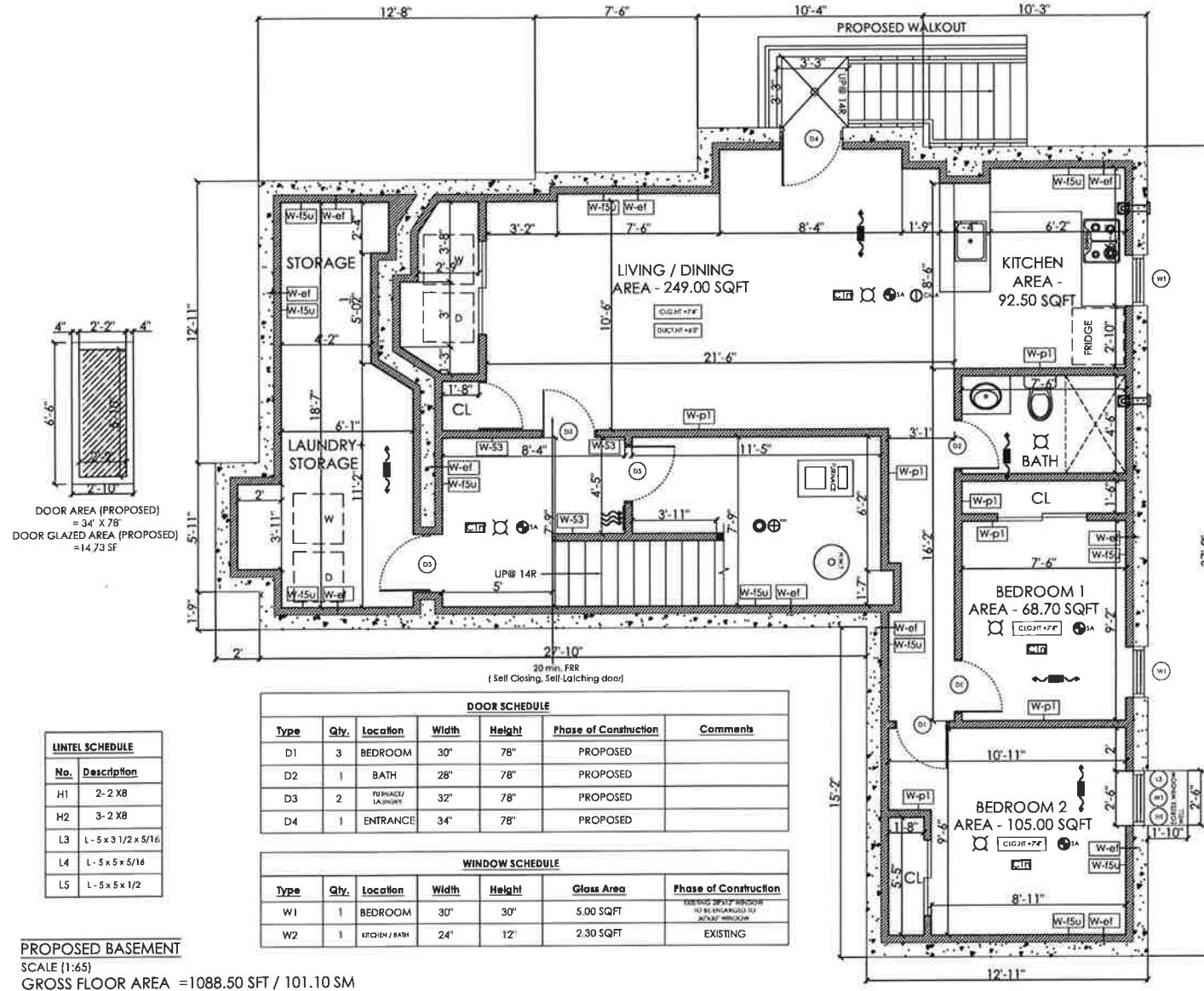
ISSUED FOR PERMIT:

SITE PLAN

OCT 2023

SCALE (1:100)

A1



DIAMOND CRETE & CONSTRUCTION INC.
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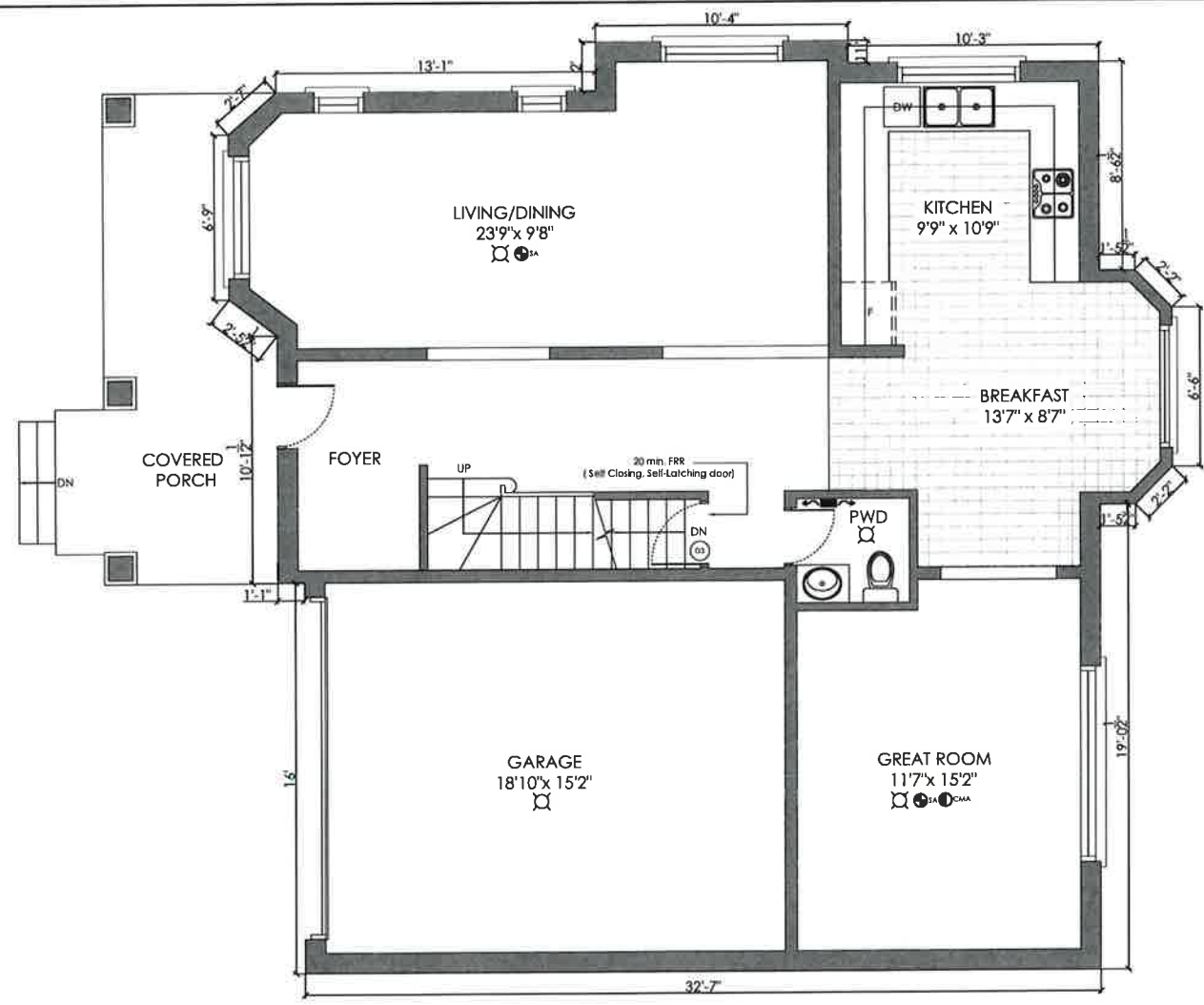
ISSUED FOR PERMIT:

PROPOSED SECOND DWELLING


OCT 2023

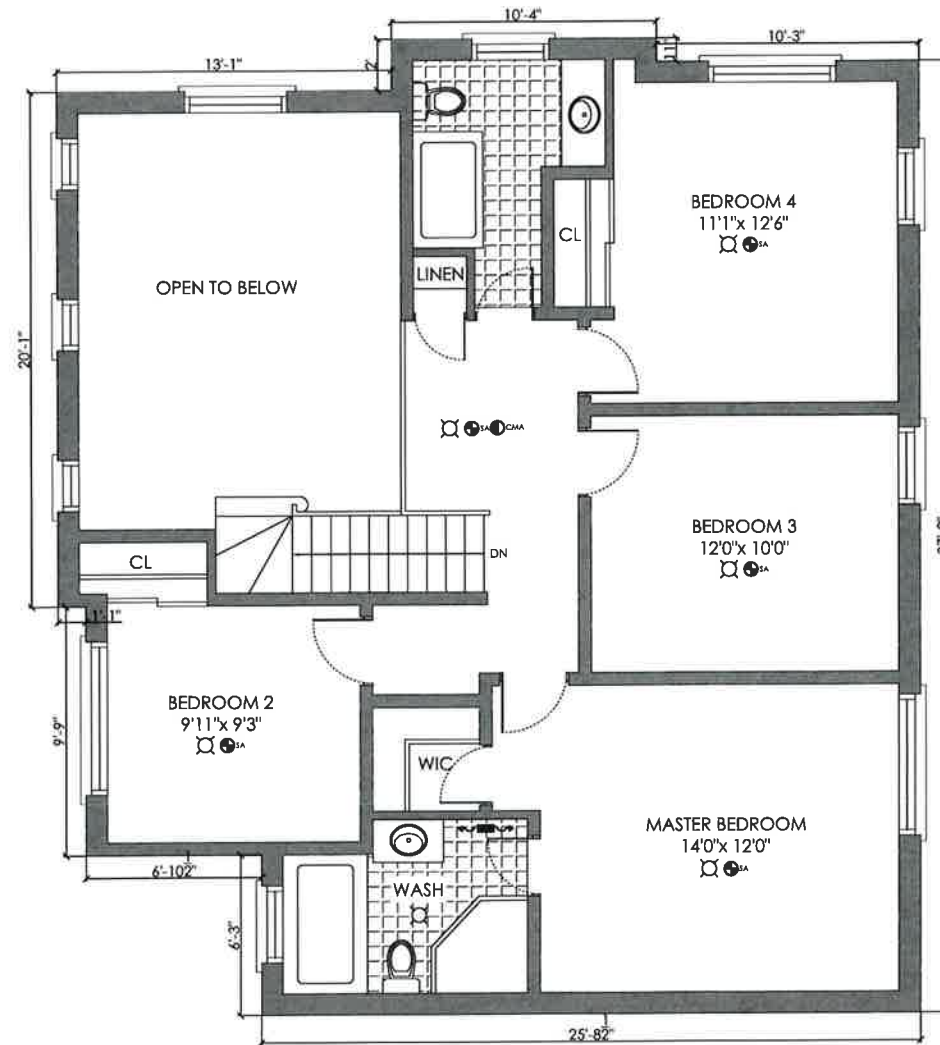
SCALE (1:65)

A2



MAIN FLOOR
SCALE 1:65
GROSS FLOOR AREA: 1271.8 SQ.FT/ 118.15 SQ.M

 DIAMOND CRETE & CONSTRUCTION INC. DCC DESIGNERS	15845 RIVER DRIVE RD, GEORGETOWN, ON L7G 4S7 289-962-4003, 647-285-2597, 289-889-2697 info@diamondconst.ca	PROPOSED SECOND DWELLING 2 BUNCHGRASS PL, BRAMPTON	NAME: MANJINDER KAUR SIGNATURE: <i>Manjinder</i> BCIN: 125147	THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION REQUIREMENT REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF DIVISION "C" OF O.B.C.	DRAWN BY: MK	MAIN FLOOR PLAN	
					CLIENT REVIEW:		
					REVISION:	OCT 2023	A3
					ISSUED FOR PERMIT:	SCALE (1:65)	



SECOND FLOOR

SCALE 1:65

GROSS FLOOR AREA: 971.5 SQ.FT/ 90.25 SQ.M



DIAMOND CRETE & CONSTRUCTION INC.
DCC DESIGNERS

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SIGNATURE:
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BCIN:
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DRAWN BY: MK

CLIENT REVIEW:

REVISION:

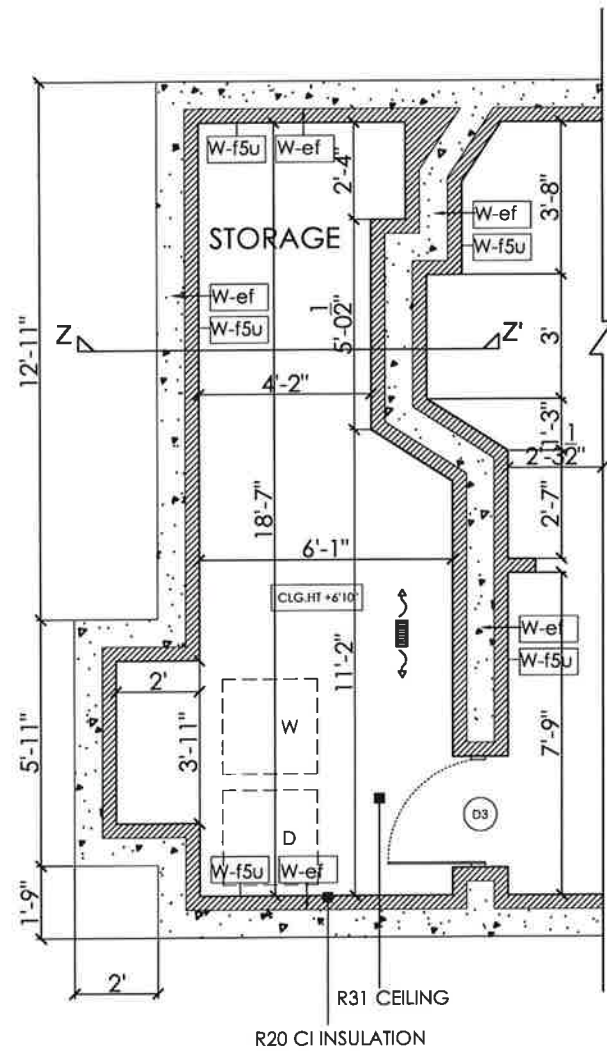
ISSUED FOR PERMIT:

SECOND FLOOR PLAN

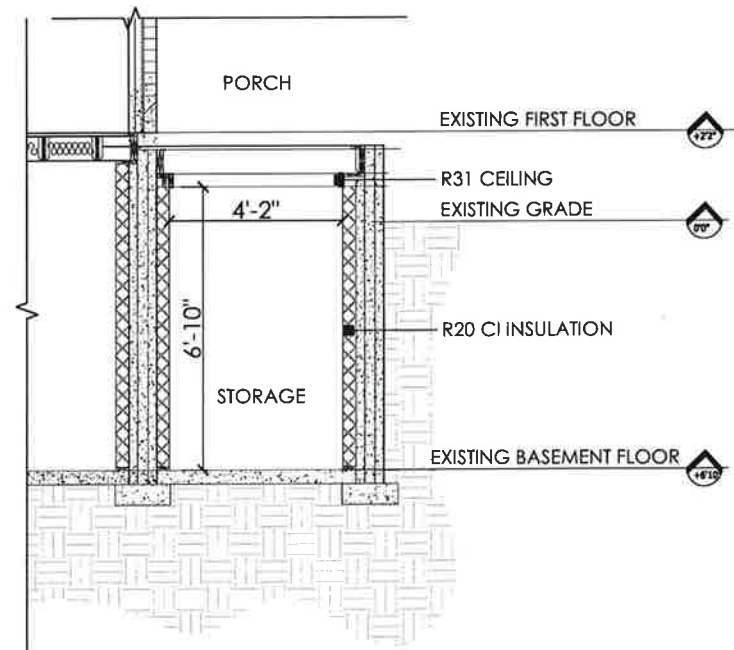
OCT 2023

SCALE (1:65)

A4



PART PLAN
SCALE (1:40)



CROSS SECTION Z-Z'
SCALE (1:40)



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DCC DESIGNERS

15845 RIVER DRIVE RD.
GEORGETOWN, ON L7G 4S7
289-962-4003, 647-285-2397, 289-889-2697
info@diamondconst.ca

PROPOSED SECOND DWELLING
2 BUNCHGRASS PL, BRAMPTON

NAME: MANJINDER KAUR
SIGNATURE: *Manjinder*

BCIN:
125147

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DRAWN BY: MK

CLIENT REVIEW:

REVISION:

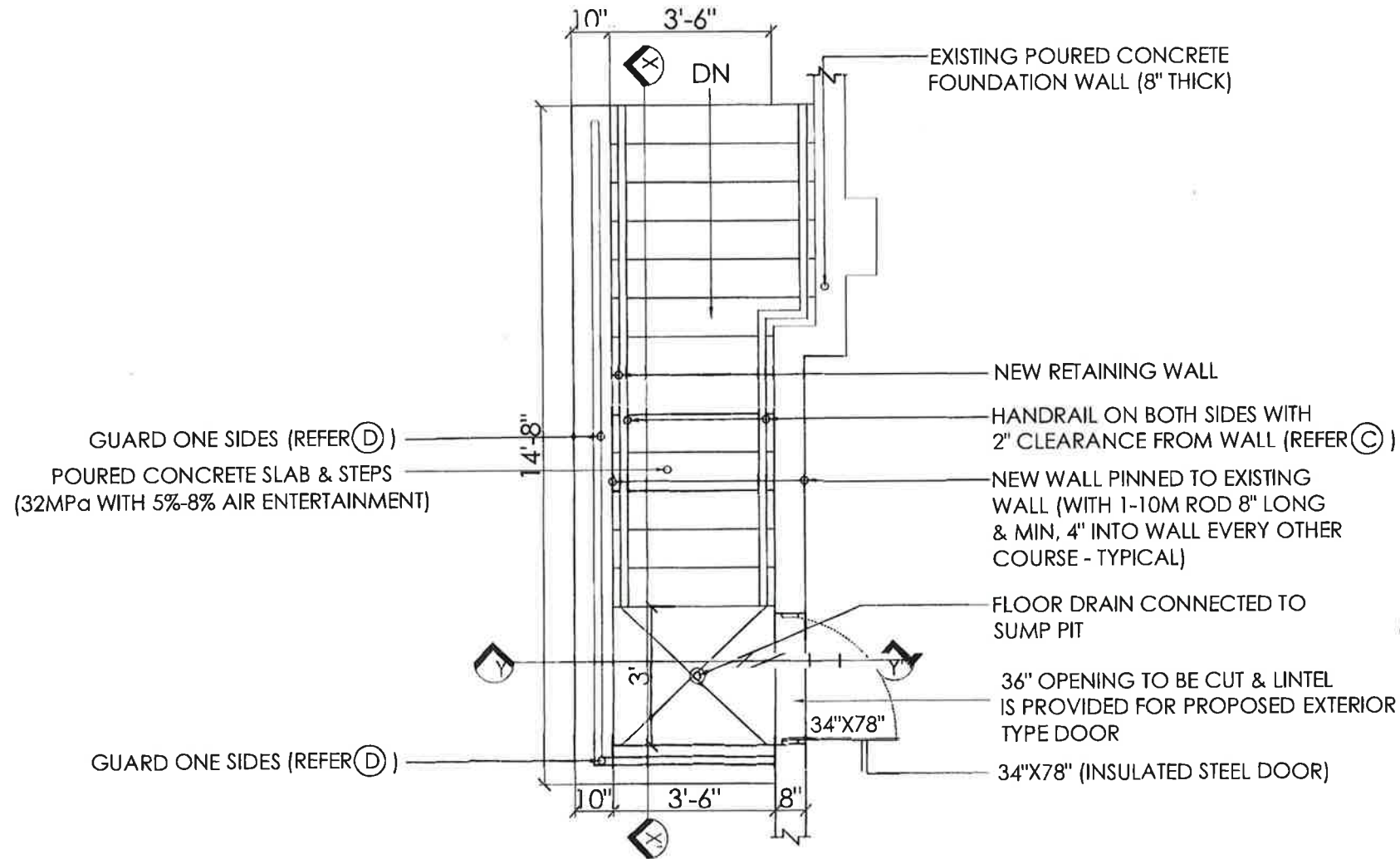
ISSUED FOR PERMIT:

SECTION

OCT 2023

SCALE (1:40)

A5



43-1113



15845 RIVER DRIVE RD.
GEORGETOWN, ON L7G 4S7
289-942-4003, 447-285-2597, 209-809-2597
info@diamondconst.ca

PROPOSED SECOND DWELLING
2 BUNCHGRASS PL, BRAMPTON

NAME:
MANJINDER KAUR
SIGNATURE:

BCIN:
125147

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DRAWN BY: MK

CLIENT REVIEW:

REVISION:

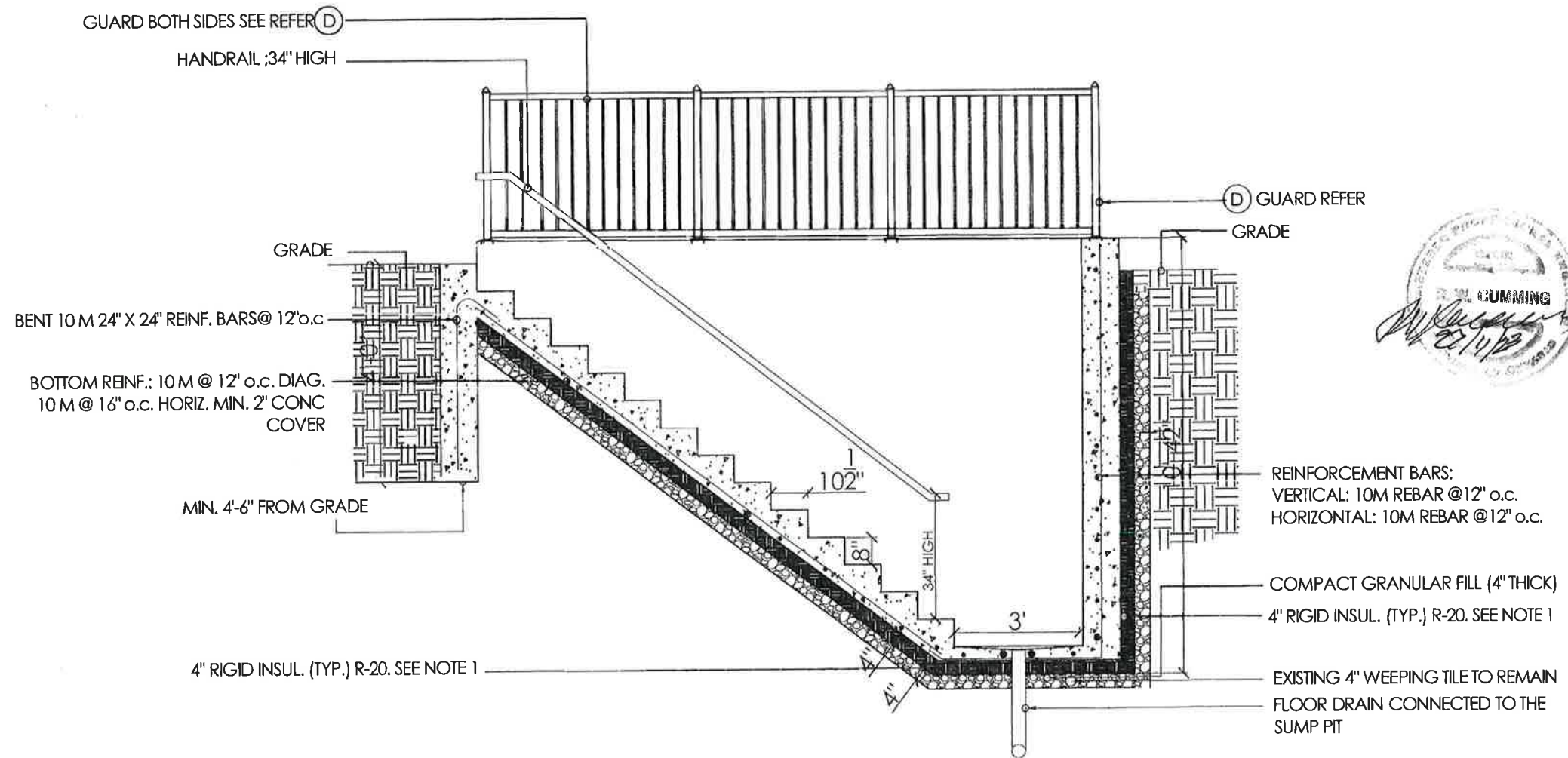
ISSUED FOR PERMIT:

PROPOSED WALKOUT PLAN

OCT 2023

SCALE (1:30)

A6



15845 RIVER DRIVE RD.
GEORGETOWN, ON L7G 4S7
289-962-4003, 647-285-2597, 289-889-2697
info@diamondconst.ca

PROPOSED SECOND DWELLING
2 BUNCHGRASS PL, BRAMPTON

NAME:
MANJINDER KAUR
SIGNATURE:

ICIN:
125147

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REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1
OF DIVISION "C" OF O.B.C

DRAWN BY: MK

CLIENT REVIEW:

REVISION:

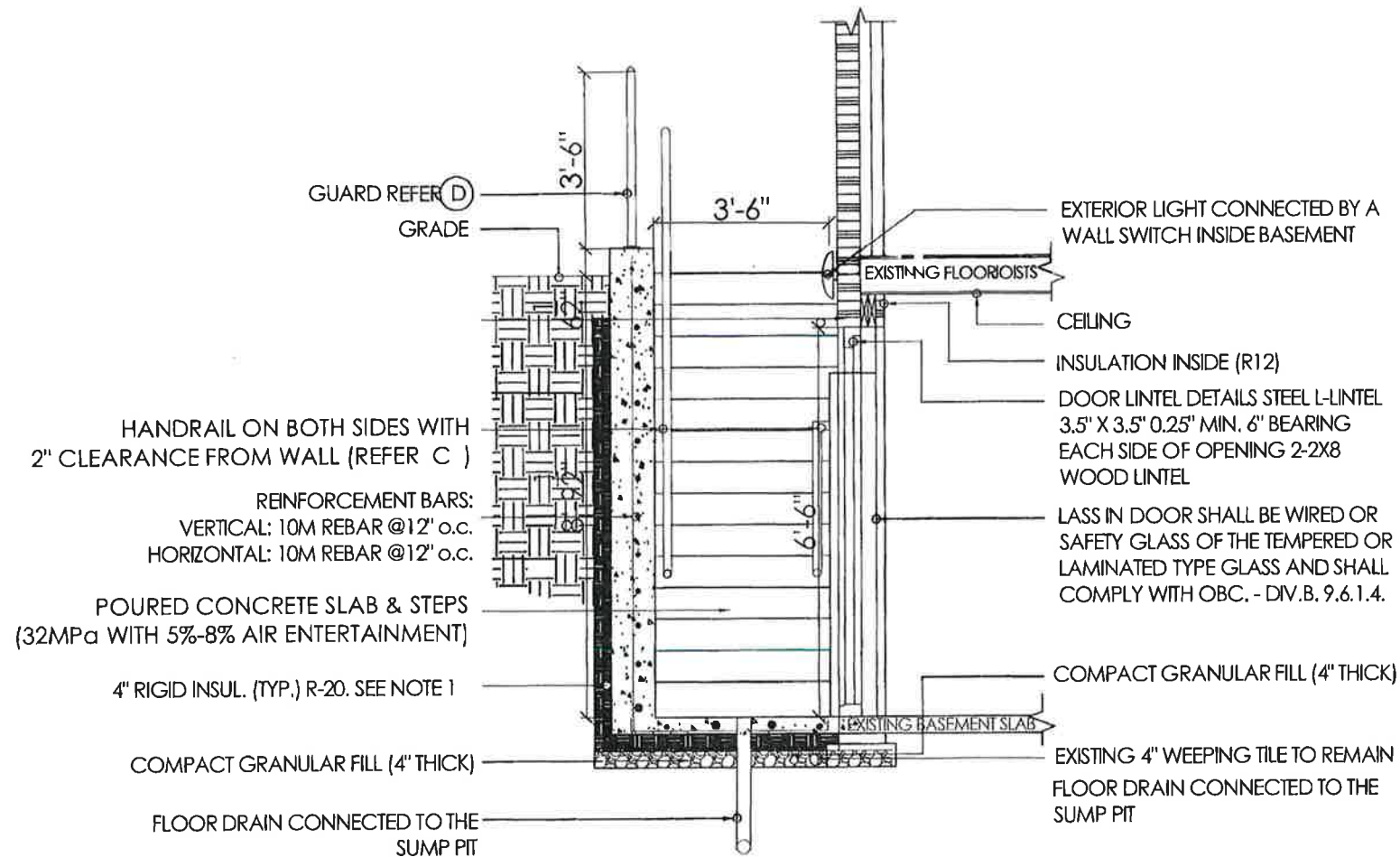
ISSUED FOR PERMIT:


SECTION XX'

OCT 2023

SCALE (1:30)

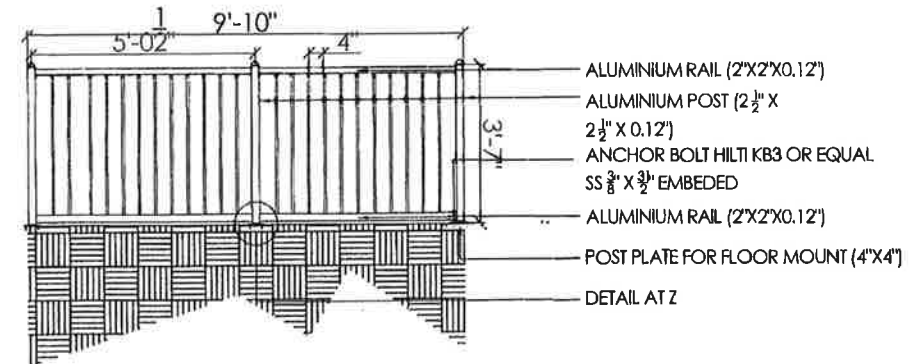
A7



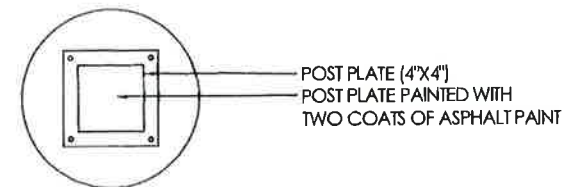
 DIAMOND CRETE & CONSTRUCTION INC. DCC DESIGNERS	15845 RIVER DRIVE RD. GEORGETOWN, ON L7G 4S7 289-962 4003, 447-285-2597, 289-889-2497 info@diamondconst.ca	PROPOSED SECOND DWELLING 2 BUNCHGRASS PL, BRAMPTON	NAME: MANJINDER KAUR	THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION REQUIREMENT REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF DIVISION "C" OF O.B.C.	DRAWN BY: MK	SECTION YY'	
			SIGNATURE:		CLIENT REVIEW:		
			BCIN: 125147		REVISION:	OCT 2023	A8
					ISSUED FOR PERMIT:	SCALE (1:30)	

GENERAL NOTES

- A FOOTINGS:**
FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL WITH A MINIMUM SOIL BEARING CAPACITY OF 75 kPa
- B EXTERIOR STAIRS:**
8" RISE MAXIMUM 5" MINIMUM
10" RUN MINIMUM 14" MAXIMUM
9 1/4" TREAD MINIMUM 14" MAXIMUM
- C HANDRAILS:**
HANDRAILS SHOULD BE BETWEEN 34 TO 38 IN ABOVE THE TREAD AT THE LEADING EDGE LINE. 2 IN CLEARANCE FROM THE WALL IS REQUIRED. START AND END POINT OF HANDRAILS MUST NOT OBSTRUCT PEDESTRIAN TRAFFIC OR CREATE A HAZARD BOTH SIDE HANDRAILS REQUIRED IF STAIRS ARE 43 IN OR WIDER.
- D GUARDS (PRE-ENGINEERED):**
42 INCH HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"
36" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.
- E LIGHT:**
ELECTRIC FEED FOR THE LIGHT TO BE SEPARATE FROM ANY OTHER SWITCHED CIRCUIT.
- F EXTERNAL DOOR:**
EXTERIOR DOOR GENERAL PERFORMANCE CRITERIA AND THERMAL RESISTANCE TO COMPLY WITH OBC 9. 7.3 INSTALLATION OF MANUFACTURED AND PRE-ASSEMBLED DOORS SHALL CONFORM TO THE MANUFACTURER'S INSTRUCTIONS.
ALL UNFINISHED PORTIONS OF THE FRAME AND OTHER COMPONENTS OF DOORS IN CONTACT WITH THE EDGES OF MASONRY OR CONCRETE SHALL BE PROTECTED WITH CAULKING.
- G INSULATION DETAILS:**
RIGID INSULATION TO HAVE FOLLOWING SPECIFICATIONS:
i STYROFOAM™ Brand SM Extruded Polystyrene Foam Insulation
ii RSI value of 0.87/25 mm [R-5 PER 1 INCH]
iii Board Size: [as indicated on Drawings].
iv Compressive Strength: 210 kPa
v Draining Capacity: > 0.72 m3/hr/m
- H INSULATION FINISHING:**
INSTALL RIGID INSULATION ON EXISTING FOUNDATION WALL MIN 4' ABOVE EXISTING FOOTING
INSULATIONS TO BE INSTALLED ON EXPOSED FOUNDATION WALL ONLY STARTING FROM GRANULAR FILL
UNDER STEPS COVER INSULATION WITH 1/2" CEMENT BOARD
INSTALL 21 1/2" GALVANIZED 'J' TRACK TO SECURE AND PROTECT ALL EXPOSED EDGES
ALL JOINTS TO THE EXISTING WALL AND NEW STEPS MUST BE CAULKED
APPLY SEAL GUARD TO ALL JOINTS ON CEMENT BOARD PARGE CEMENT BOARD OR APPLY ACRYLIC FINISH
- I RETAINING WALL:**
10" POURED CONCRETE WALL DOES NOT REQUIRE REBAR IF BACKFILL HEIGHT DOES NOT EXCEED 4'-7". PROVIDE 10M REBAR @ 12" o.c. EACH WAY FOR BACKFILL HEIGHTS EXCEEDING 4'-7".




GUARDRAIL DETAILS



DETAIL AT Z



 DIAMOND CRETE & CONSTRUCTION INC. DCC DESIGNERS	15845 RIVER DRIVE RD, GEORGETOWN, ON L7G 4S7 289-942-4003, 447-285-2597, 289-889-2897 info@diamondconst.ca	PROPOSED SECOND DWELLING 2 BUNCHGRASS PL, BRAMPTON	NAME: MANJINDER KAUR SIGNATURE: BCIN: 125147	THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER. QUALIFICATION REQUIREMENT REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF DIVISION "C" OF O.B.C.	DRAWN BY: MK	GUARD RAIL DETAILS	
					CLIENT REVIEW:	OCT 2023	A9
					REVISION:	SCALE (1:30)	
					ISSUED FOR PERMIT:		

WALL SCHEDULE		
	W-ef	Existing Foundation Wall
	W-ef	Existing Exterior Wall
	W-ef	Existing Stud Partition Wall
	W-p1	New Interior Stud Partition Wall <ul style="list-style-type: none">- 1/2" Gypsum Wall Board- 2"x4" @ 16" o.c. Wood Studs- 1/2" Gypsum Wall Board
	W-f5u	Exterior- Basement Insulated Stud Wall <ul style="list-style-type: none">- 1" Air Gap- New 2"x4" @ 16" o.c. Studs- Min. R12 Batt Insulation in Studs Cavities- New 1/2" Gypsum Wall Board
	W-S3	New Interior- 30 min Fire Separation (W1c) <ul style="list-style-type: none">- 1 Layer 1/2" Regular GWB- 2"x4" Wood Stud @ 16" o.c.- Fire Insulation in Cavities- 1 Layer 1/2" regular GWB
CEILING SCHEDULE		
	C1n	Full Height Ceiling- 15min. fire separation (C.A. #152) <ul style="list-style-type: none">-EX. Floor finish-EX. Floor Joist-Optional Insulation Cavities-1 Layer 1/2" Gypsum Board*NOTE: NO OPENINGS ARE PERMITTED*PART 11 COMPLIANCE ALTERNATIVE APPLIED
LEGEND		
	⊕ ^{SA}	SMOKE ALARM
	⊕ ^{CMA}	CM ALARM
	⊕ ^{DD}	DUCT SMOKE DETECTOR
		EXHAUST FAN DUCTED DIRECTLY OUTSIDE
		FLOOR DRAIN
		HEAT REGISTER
		AIR RETURN
		LIGHT FIXTURES
		SPRINKLER
		EMERGENCY LIGHT
		ELECTRICAL OUTLET
	⊕ ^{L-1}	LINTEL NOTE
	⊕ ^D	DOOR TAG
	⊕ ^W	WALL TAG
	⊕ ^W	WIDOW TAG
	⊕ ^C	CEILING TAG

GENERAL NOTES :

I. ALL CONSTRUCTION SHALL MEET WITH THE LATEST REQUIREMENTS OF:

- AUTHORITIES HAVING JURISDICTION.
- ZONING RESTRICTIONS AND COMMITTEE OF ADJUSTMENT DECISIONS.
- ONTARIO BUILDING CODE
- ONTARIO REGULATIONS UNDER THE HEALTH AND PROMOTION ACT.
- ONTARIO FIRE CODE
- ALL SUPPLIERS SPECIFICATIONS RE: THE TECHNICAL METHODS TO USE MATERIALS AND THE SAFEST SYSTEM TO INSTALL BREAKABLE OR HANGING MATERIALS SUCH AS GLASS OR LIGHT FIXTURES ETC.

II. CONTRACTOR SHALL:

- oe CONFIRM ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES OR ERRORS TO THE ARCHITECT AND THE PARTIES INVOLVED.
- oe WORK ONLY FROM THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS THAT ARE STAMPED AND SIGNED BY THE ARCHITECT.
- oe RETAIN A CERTIFIED SURVEYOR TO CHALK OUT ALL PROPERTY LINES, BUILDING BOUNDARIES AND LIMITATIONS AND CONFIRM GRADES OF THE LOT.
- PRIOR TO EXCAVATION, TAKE PRECAUTION IN SUCH A MANNER TO PREVENT DAMAGE TO ADJACENT PROPERTIES, EXISTING STRUCTURE, UTILITIES, ROADS AND SIDEWALKS.
- PRIOR TO CONSTRUCTION CHECK WITH ALL INSPECTORS OF ALL AUTHORITIES HAVING JURISDICTION ON THE PROJECT REGARDING SCHEDULES OF INSPECTIONS AND ARRANGE FOR THEIR SITE VISITS AND CALL ALL UTILITY COMPANIES (GAS, HYDRO, CABLE, WORKS DEPT,...etc.) TO CHECK ALL EXISTING LINES, PIPES, TREES,
- PROVIDE ALL REQUIRED LATERAL FRAMING SUPPORTS (TO ENSURE RIGIDITY AND STURDINESS) THAT DO NOT SHOW ON DRAWINGS
- NOT PLACE MATERIALS NOR PLACE OR OPERATE EQUIPMENT IN OR ADJACENT TO AN EXCAVATION IN A MANNER THAT MAY ENDANGER THE INTEGRITY OF THE EXCAVATION OR ITS SUPPORTS.
- NOT SCALE DRAWINGS UNLESS OTHERWISE MENTIONED
- COMPLY BY SOIL REPORT WHENEVER APPLICABLE.
- USE ONLY APPROVED SUPPLIERS & INSTALLERS

III. SHOP DRAWINGS:

- oe THE REVIEW OF SHOP DRAWINGS IS FOR THE SOLE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT. IT SHALL NOT MEAN APPROVAL OF THE DETAIL DESIGN INHERENT IN THE SHOP DRAWING, RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR SUBMITTING SAME, AND SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR DIMENSIONS TO BE CONFIRMED AND CORRECTED AT THE JOB SITE, FOR INFORMATION THAT PERTAINS SOLELY TO FABRICATION, PROCESSES OR TO TECHNIQUES OF CONSTRUCTION AND INSTALLATION AND OR COORDINATION OF THE WORK OF ALL SUB-TRADES.
- ALL SHOP DRAWINGS SHALL BE STAMPED BY THE MANUFACTURER'S STRUCTURAL ENGINEER PRIOR TO SUBMITTING FOR REVIEW BY ARCHITECT.
- SEQUENCE OF SHOP DRAWINGS REVIEW: - CONTRACTOR - STRUCTURAL ENGINEER - ALL OTHER INVOLVED CONSULTANTS - ARCHITECT
- SHOP DRAWINGS SHALL BE PROVIDED FOR: - STEEL - PREFAB. CONC. - CANOPIES - WINDOWS - DOORS

IV.RENOVATION AND ADDITION CONSTRUCTION:

- REPAIR ALL DEFECTIVE OR DAMAGED CONDITIONS IN BUILDING AND SITE THEN FINISH THEM TO MATCH
- ALL EXISTING CONSTRUCTION SHALL BE ALL FINISHED UNLESS OTHERWISE MENTIONED, CHECK WITH ARCHITECT.

V. BONDING EXISTING TO NEW CONSTRUCTION:

- PROVIDE 1/2" DIA. X 6" LONG ANCHOR BOLTS SPACED 3'-0" O/C VERTICALLY OR HORIZONTALLY BETWEEN EXISTING AND NEW STUDS AND ROOF FRAMINGS.
- PROVIDE OVERLAPPED VERTICAL JOINTS BETWEEN EXISTING AND NEW MASONRY VENEERS,WALLS AND FOUNDATION.
- SAND BLASTED AREA SHALL BE FINISHED WITH A CLEAR SEALANT.

CONSTRUCTION SPECIFICATIONS

1. WOOD

- ALL WOOD CONSTRUCTION SHALL BE IN ACCORDANCE WITH CSA 086
- BEAMS AND LINTELS & JOISTS SHALL BE KILN DRIED,STAMPED SPRUCE #2, UNLESS OTHERWISE MENTIONED.
- ALL WOOD MEMBERS WHICH ARE PLACED IN SOIL SHOULD BE PRESSURE TREATED WITH A WOOD PRESERVATIVE.
- ALL EXTERIOR WOOD SHALL BE STAINED OR PAINTED.

2. CONCRETE

- SHALL COMPLY WITH CSA A23 SERIES INCL. COLD WEATHER CONCRETING.
- MINIMUM COMPRESSIVE STRENGTH OF UNREINFORCED CONCRETE: 25 MPA AND 35 MPA FOR LOADING DOCK AND FOR ALL EXPOSED CONCRETE AFTER 28 DAYS WITH AIR ENTRAINMENT 6 %
- MAXIMUM SLUMP 3"
- PROVIDE SEALANT-TOPPED EXPANSION JOINT BETWEEN EXISTING AND NEW CONCRETE FLOORS.
- REINFORCEMENT SHALL CONFORM CSA 30.12 GRADE 58

3. STEEL

- SHALL CONFORM TO CSA STANDARDS & CAN 3-G40.21 (STRUCTURAL STEEL QUALITY)
- SHALL BE TREATED ON THE OUTSIDE SURFACE WITH AT LEAST ONE COAT OF RUST INHIBIT PAINT.
- ALL EXPOSED STEEL SHALL BE GALVANIZED.
- STEEL GRADE
 - I) HOLLOW SECTION: G 40.21-M 350W
 - II) BEAMS & COLUMNS: G 40.21-M 350W
- O.W.S.J. : LIVE LOAD DEFLECTION SHALL NOT EXCEED 1/360 OF SPAN, TOTAL LOAD DEFLECTION SHALL NOT EXCEED 1/300 OF SPAN.
- WELDING SHALL COMPLY WITH CSA W59 AND EXECUTED BY CERTIFIED WELDER.
- ALL BOLTS A 325 BOLTS.
- FOR ALL STEEL FABRICATION, PROVIDE SHOP DRAWINGS AND CALCULATIONS STAMPED BY P. ENG.

1. MINIMUM STRUCTURAL BEARING

(PROVIDE 2 SOLID MASONRY BLOCKS BELOW BEARING)

- WOOD JOIST: 2"
- WOOD BEAMS: 4"
- STEEL BEAM: 8"
- STEEL LINTEL: 8"
- O.W.S.J. : 6" ON MASONRY & 2 1/2' ON STEEL & SHALL HAVE 4" DEEP SHOES

2. MASONRY

- SHALL HAVE 1000 PSI MIN. CRUSHING STRENGTH.
- PROVIDE GALVANIZED STANDARD BLOCK-LOK EACH 2ND COURSE.
- VERTICAL JOINTS SHALL BE STAGGERED & CORNERS INTERLOCKED.
- PROVIDE SHOP DRAWINGS STAMPED BY P. ENG. FOR STONE VENEER & PREFAB PANELS.
- VERTICAL CRACK CONTROL JOINTS (DESIGNED TO RESIST MOISTURE PENETRATION AND KEYED TO PREVENT RELATIVE DISPLACEMENT OF THE WALL PORTIONS ADJACENT TO THE JOINT) SHALL BE PROVIDED IN FOUNDATION WALLS MORE THAN 82'-0" LONG AT INTERVALS OF 50'-0" MAX. AND FLUSH WITH OPENING JAMBS.

3. FOUNDATION

- FOOTING AND SONO TUBE FOUNDATION SHALL BEAR ON UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL (TO 98 % STANDARD PROCTOR DENSITY) CAPABLE OF A BEARING OF 3000 PSF, SOIL SHALL BE CHECKED BY SOIL ENGINEER
- DEPTH OF FOOTING ARE PROVISIONAL & SUBJECT TO VERIFICATION ON SITE BY A SOIL ENGINEER.
- ALL EXTERIOR (OR EXPOSED TO EXTERIOR) WALLS, PARTITION, COLUMNS SHALL BE PROVIDED WITH 4'-0" DEEP FOUNDATION.
- PROVIDE 5/8" DIA. X 16" LONG ANCHOR TIES (8" IN NEW CONSTRUCTION).
- TOP TWO COURSES OF CONCRETE BLOCKS SHALL BE FILLED WITH CONCRETE.
- PROVIDE MIN 8"X2'-0" WIDE STRIP FOOTING BELOW ANY INTERIOR LOAD BEARING WALL

4. COLUMNS

- SHALL BE SECURELY FASTENED TO CENTER OF FOUNDATIONS AND TO THE SUPPORTED MEMBERS TO PREVENT LATERAL MOVEMENT.

5. DESIGN LOADS

UN FACTORED DESIGN LOADS

1. SNOW LOAD = kPa (PART 4 DESIGN, Ss= 2.0 kPa, Sr = 0.4kPa)
2. ROOF DEAD LOAD = 0.75kPa
3. SECOND FLOOR DEAD LOAD=0.75kPa
4. MAIN FLOOR DEAD LOAD=1.0kPa
5. OCCUPANCY LIVE LOAD=1.9kPa
6. WIND PRESSURE q(1/50) = 0.44 kPa
7. ASSUMED SOIL BEARING CAPACITY =75 kPa
8. GUARDS TO BE BUILT ACCORDING TO OBC 2012 SB-7



DIAMOND CRETE & CONSTRUCTION INC.
DCC DESIGNERS

15845 RIVER DRIVE RD.
GEORGETOWN, ON L7G 4S7
289-962-4003, 647-285-2597, 289-889-2697
Info@diamondconst.ca

PROPOSED SECOND DWELLING
2 BUNCHGRASS PL, BRAMPTON

NAME:
MANJINDER KAUR
SIGNATURE:

Manjinder

BCIN:
125147

THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION REQUIREMENT
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF DIVISION "C" OF O.B.C

DRAWN BY: MK

CLIENT REVIEW:

REVISION:

ISSUED FOR PERMIT:

GENERAL NOTES

OCT 2023

A11

CONSTRUCTION NOTES

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPECS AND TO CONFORM TO ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODE AND AUTHORITIES HAVING JURISDICTION THE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS ONT.REG.350/06

ROOF CONSTRUCTION

NO.210 ROOF ASPHALT SHINGLES ON 1/8" PLYWOOD SHEATHING WITH H-CLIPS, APPROVED WOOD TRUSSES @24" O.C. MAX APPROVED EAVES PROTECTION TO EXTEND 3" FROM EDGE OF ROOF AND MIN. 12" INNER FACE OF EXTERIOR WALL. 2"x4" TRUSS BRACING @6' O.C. BOTTOM CORD, PREFIN. ALUM. EAVSTROUGH, FASCIA, RVL & VENTED SOFFIT ATTIC VENTILATION 1:300 OF INSULATED EILING AREA WITH 50% AT EAVS.

STONE VENEER WALL CONSTRUCTION

4" FACE STONE, 1" AIR SPACE 0.03 THICK X 7/8 WIDE GALVANIZED METAL TIES INSTALLED W/ GALVANIZED SPIRAL NAILS 32" O.C. HORIZ, 16" O.C. VERT. SHEATHING PAPER, LAYERS TO OVERLAP EACH OTHER ON 1/2" EXTERIOR TYPE SHEATHING, 2"x6" WOOD STUDS @16" O.C. R24 BATT INSULATION IN CONTINUOUS CONTACT W/SHEATHING AND VAPOUR BARRIER /AIR BARRIER DOUBLE PLATE AT THE TOP, SINGLE PLATE AT THE BOTTOM

STONE VANEER @ FDN. WALL

20 MM POLY FLASHING MINIMUM 6" UP BEHIND SHEATHING PAPER, WEeping HOLES @ MIN 2'X7" APART

STUCCO WALL CONSTRUCTION

3 COATS OF STUCCO FINISH ON STUCCO LATH ON 1 1/2" T&G EPS INSULATION BOARD FASTENED WITH NAILS OF MIN 3.2 MM DIA. W/ MIN 11.1 MM HEAD SPCED @ MAX. 4" O.C VERTICALLY AND 16" O.C HORIZONTALLY OR 4" O.C VERTICALLY AND 24" HORIZONTALLY ON SHEATHING PAPER. @ NOT LESS THAN 8" ABOVE FINISHED GROUND

WOOD SIDING WALL CONSTRUCTION

FRAME WALL CONSTRUCTION FINISH WITH VYNEL SIDING SIDING PAPER LAYERS TO OVERLAP EACH OTHER EXTERIOR TYPE SIDING ON 2X6 WOOD STUDS @ 16" O.C DOUBLE PLATE AT THE TOP SINGLE PLATE @ BOTTOM R24 BATT INSULATION IN CAVITIES.

FOUNDATION WALLS

BITUMINOUS DAMPROOFING ON 1/4" PARGING ON 10" CONCRETE BLOCKS FDN. WALL TOP COURSE FILLED W/ CONCRETE PROVIDE PARGING COVERED OVER 24"x12" POURED CONCRETE FOOTING TO BEAR ON UNDISTURBED SOIL PROVIDE DRAINAGE LAYER :

- MIN 3/4" MINERAL FIBRE INSULATION W/ A DENSITY OF NOT LESS THAN 3.6 LB/FT OR
- MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL OR A B.M.E.C., APPROVED DRAINAGE LAYER MATERIAL

REDUCTION IN FOUNDATION WALL THICKNESS

WHERE THE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF FLOOR JOIST, THE REDUCED SECTION SHALL BE NOT MORE 13 3/4" HIGH AND NOT LESS THAN 3 1/2" THICK. WHERE THE TOP OF FOUNDATION WALL IS REDUCED IN THICKNESS TO PERMIT THE INSTALLATION OF A MASONRY EXTERIOR FACING THE REDUCED SECTION SHALL BE NOT LESS 3 1/2" THICK AND TIED TO THE FACING MATERIAL W/ METAL TIES.

INTERIOR STUD PARTITIONS (NO BEARING)

NO BEARING PARTITIONS 1/2" DRYWALL FINISH ON BOTH SIDES OF 2"x4" WOOD STUDS @16" O.C. 2 TOP PLATES & 1 BOTTOM PLATE PROVIDE SOUND ATTENUATION INSULATION IN BATHROOM WALLS & WHERE INDICATED ON PLANS.

INTERIOR STUD PARTITIONS (BEARING)

BEARING PARTITIONS 1/2" DRYWALL FINISH ON BOTH SIDES OF 2"x6" WOOD STUDS @16" O.C. 2 TOP PLATES & 1 BOTTOM PLATE PROVIDE SOUND ATTENUATION INSULATION IN BATHROOM WALLS & WHERE INDICATED ON PLANS.

WALL INSULATION

MIN. R24 INSULATION BATTS TO COVER THE INTERIOR FACE OF THE EXTERIOR WALLS WITH CONTINUOUS AIR / VAPOUR BARRIER

FOUNDATION INSULATION

R20 INSULATION BLANKET WITH AIR/VAPOUR BARRIER FROM SUB-FLOOR TO BASEMENT SLAB, DAMPROOF W/ BLDG. PAPER BETWEEN THE FOUNDATION WALL AND INSULATION UP TO GRADE LEVEL.

STUD WALL REINFORCEMENT

PROVIDE WOOD BLOCKING REINFORCEMENT TO STUD WALLS FOR FUTURE GRAB BARS INSTALLATION IN MAIN BATHROOM 33"x36" A.F.F. BEHIND TOILET 33" A.F.F. ON THE WALL OPPOSITE THE ENTERANCE TO THE TUB AND SHOWER

SILL PLATE

2"x6" SILL PLATE FASTENED TO FOUNDATION WALL WITH MIN. 1/2" DIA. ANCHOR BOLTS EMBEDDED MIN. 4" IN CONCRETE @ 7'X10" O.C MAX. PROVIDE CAULKING FOR GASKET BETWEEN PLATE AND FOUNDATION WALL.

FLOOR FRAMING

5/8" T&G PLYWOOD NAILED AND GLUED ON 2" X 8" I-JOIST WITH MIN. 1 1/2" END BEARING ON EACH SIDE WITH CROSS BRIDGING OR SOLID BLOCKING @ MAX. 6'X11" O.C

ENGINEERED FLOOR FRAMING

5/8" T&G PLYWOOD NAILED AND GLUED ON 2" X 10" JOIST WITH MIN. 1 1/2" END BEARING ON EACH SIDE WITH CROSS BRIDGING OR SOLID BLOCKING @ MAX. 6'X11" O.C

BASEMENT SLAB

MIN. 3" 25 MPA CONC. SLAB ON 4" COARSE GRANULAR FILL WITH DAMP PROOFING BELOW SLAB.

STEEL BASEMENT COLUMN

MIN 3" DIA. AND WALL THICKNESS OF MIN. 3/16" WITH 4"x4"x1/4" THICK STEEL PLATE WELDED TOP AND BOTTOM AND SUPPORTED ON A 36"x36"x18" THK CONCRETE FOOTING.

STEEL BEAM

W 150X22 SITTING ON STEEL COLUMN ON ONE END AND 3 1/2" END BEARING ON FOUNDATION WALL ON THE OTHER END WITH 1"x3" CONTINUOUS WOOD STRAPPING ON EACH SIDE OF THE BEAM

GRADE

SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI SOLID BLOCK COURSE AT OR BELOW GRADE LEVEL.

DRAINAGE

4" DIA. WEeping TILE W/ 6" CRUSHED STONE OVER AND AROUND

CRAWL SPACE ACCESS HATCH

CRAWL SPACE CLEARANCE MIN. 24" CLEAR TO U/S OF STRUCTURE PROVIDE 1/64" POLY GROUND COVER MIN. 11 13/16" OVERLAP, SEALED AT JOISTS & FOUNDATIONS WALL & WEIGHTED DOWN W/MIN ACCESS OPENING OF 2' 7" X 1' 10"

ATTIC ACCESS

ATTIC ACCESS HATCH 22"x28" WITH WEATHERSTRIPPING (MIN. 3.4FT2) RSI 8.8 (R50) RIGID INSULATION BACKING.

CEILING CONSTRUCTION

MIN 5/8" DRYWALL FINISH ON ALL CEILINGS WITH CONTINUOUS AIR VAPOUR BARRIER WITH MIN. R40 INSULATION FOR ATTIC

DRYER VENT

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. DUCT SHALL CONFORM TO OBC 2012 DIV. B PART 6

WASHROOM EXHAUST

MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR. PROVIDE DUCT SCREEN AS PER OBC 2012 DIV. B 9.32.3.12

CABINERY ABOVE RANGE

FRAMING FINISHES AND CABINERY ABOVE A RANGE MUST HAVE MIN 2'06" CLEARANCE, UNLESS FRAMING, FINISHES AND CABINERY ARE NON-COMBUSTABLE OR ARE PROTECTED AS PER 9.10.22.2(10)(1) AND (11)

SMOKE ALARM O.B.C. 9.10.19

PROVIDE ONE PER FLOOR NEAR THE STAIRS CONNECTING THE FLOOR LEVEL. ALARM TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF 1 SOUNDS, IT SHOULD BE INSTALLED IN CONFORMANCE WITH CAN/ULC-S553

CARBON MONOXIDE ALARM O.B.C. 9.33.4

PROVIDE CARBON MONOXIDE DETECTOR ADJACENT TO EACH SLEEPING AREA.

EXCAVATION AND BACKFILL

- EXCAVATION SHOULD BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES AND ADJACENT PROPERTY THE TOPSOIL AND VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIALS.
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MIN DEPTH OF 11 3/4" IN EXCAVATED AREAS UNDER A BUILDING AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NOT LESS THAN 17 3/4"
- BACK FILL WITHIN 23 5/8" OF THE FOUNDATION WALLS SHALL BE FREE OF DELETERIOUS DEBRIS AND BOULDERS OVER 7/8" IN DIAMETER.

NOTCHING AND DRILLING OF TRUSSES, JOISTS AND RAFTERS

- HOLES IN FLOORS, ROOFS AND CEILING MEMBERS TO BE MAX. 1/4 X ACTUAL DEPTH OF MEMBER AND NOT LESS THAN 2" FROM EDGES.
- NOTCHES IN FLOORS, ROOF, CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING AND NOT GREATER THAN 1/3 JOIST DEPTH.
- WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDE THAT NOT LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS IF LOAD BEARING AND 1 1/2" IF NON LOAD BEARING WALL.
- ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED, OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN.

CERAMIC TILES

WHEN CERAMIC TILES APPLIED TO A MORTAR BED WITH ADHESIVE, THE BED SHALL BE A MIN. OF 1/2" THICK & REINFORCED WITH GALVANIZED DIAMOND MESH LATH, APPLIED OVER POLYETHYLENE ON SUBFLOORING ON JOISTS AT NO MORE THAN 16" O.C. WITH AT LEAST 2 ROWS CROSS BRIDGING.

2 STORY VOLUME SPACE

2 STORY HIGH (18'0") EXTERIOR WALL STUDS TO BE 2-2"x6" CONTINUOUS STUDS @12" O.C. TRIPLE UP AT EVERY THIRD DOUBLE STUDS C/W 3/8" EXTERIOR PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @4'X0" O.C. VERTICALLY FOR HORIZONTAL DISTANCE NOT EXCEEDING (9'-6") PROVIDE (2-2"x6") TOP PLATE AND A SINGLE BOTTOM PLATE. MIN. OF 3-2"x8" CONTINUOUS HEADER AT GROUND CEILING LEVEL TOE NAILED AND GLUED AT TOP, BOTTOM PLATES AND HEADERS FOR 9" HIGH GROUND/FIRST FLOOR CEILING ADD TRIPPLE HEADERS NAILED ON TOP OF FOUNDATION WALL SILL PLATE AND ADD 1-2"x6" CONTINUOUS BOTTOM PLATE NAILED ON TOP OF HEADERS.



DIAMOND CRETE & CONSTRUCTION INC.
DCC DESIGNERS

15845 RIVER DRIVE RD,
GEORGETOWN, ON L7G 4S7
289-962-4003, 647-285-2597, 289-889-2697
info@diamondconst.ca

PROPOSED SECOND DWELLING
2 BUNCHGRASS PL, BRAMPTON

NAME:
MANJINDER KAUR
SIGNATURE:

Manjinder

BCIN:
125147

THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND TAKES THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION REQUIREMENT
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF DIVISION "C" OF O.B.C.

DRAWN BY: MK

CLIENT REVIEW:

REVISION:

ISSUED FOR PERMIT:

CONSTRUCTION NOTES

OCT 2023

A12

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WINDOWS

- WINDOWS TO BE SEALED TO THE AIR AND VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE
- SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 OR
- AN ENERGY RATING OF NOT LESS THAN 21 FOR OPERABLE WINDOWS AND 31 FOR FIXED WINDOWS
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8W/(M²K)

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DOORS AND WINDOWS

- EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST ONE WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35 m², AND NO DIMENSION LESS THAN 380MM, WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS.
- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY AND SHALL HAVE A DEADBOLT LOCK.
- THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT.

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HVAC NOTES

- CONTRACTOR TO COORDINATE DUCTS INSTALLATION WITH PIPES, ELECTRICAL LIGHTING & BUILDING STRUCTURE.
- ALL MECHANICAL DUCTWORK SHALL BE CONCEALED IN ATTIC SPACE OR BULKHEADS UNLESS OTHERWISE NOTED.
- PROVIDE FLUE VENT, COMBUSTION AIR AND TERMINATION KIT FOR FURNACE AND INSTALL AS PER MANUFACTURER WRITTEN INSTRUCTION.
- PROVIDE BALANCING DAMPERS AT ALL AIR SUPPLY TAKE-OFFS:
 1. AT BRANCH DUCT OFF MAIN TRUNK DUCT.
 2. IN DRY WALL AREA, PROVIDE DAMPER AT GRILLE WITH APPROVED LOCKING DEVICE TO ENGINEER'S APPROVAL.
- CUTTING FOR DUCTS SHALL BE DONE BY THIS CONTRACTOR OBTAIN APPROVAL BEFORE CUTTING IN ANY WALL, STRUCTURAL BEAM, FLOOR AND ROOF.
- COORDINATE LOCATION OF EACH S.A. GRILLE AND RETURN AIR GRILLE ON SITE BEFORE CUTTING AND ROUGH-IN.
- INSULATE ALL EXHAUST AIR DUCTS MIN. 150MM FROM WALLS OR ROOF.
- CONNECT GAS PIPE TO EACH UNIT COMPLETE WITH SHUT OFF VALVE. ALL GAS PIPING SHALL BE CSA AND CGA APPROVED. INSTALL PIPES IN ACCORDANCE TO B149.1 CODE.
- INSULATE ALL DUCTS IN CEILING SPACE, ATTIC SPACE AND GARAGE.
- TEST AND BALANCE SYSTEM. SUBMIT BALANCING REPORT.
- COORDINATE ROUTING DUCTS AND LOCATION OF EACH GRILLE, FAN AND FURNACE WITH STRUCTURAL MEMBERS, PIPING, CONDUITS AND LIGHTING, OFFSET AS REQUIRED AND MAINTAIN REQUIRED SERVICE ACCESS.
- PROVIDE R.A. GRILLES AT HIGH AND LOW LEVELS, EACH GRILLE SHALL BE COMPLETED WITH BALANCING DAMPER.
- USE SPACE BETWEEN JOISTS AND WALL STUDS FOR RETURN WHERE APPLICABLE, PROVIDE SHEET METAL JOISTS LINER (JL) AS REQUIRED.

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MECHANICAL VENTILATION:

- A MECHANICAL VENTILATION SYSTEM IS REQUIRED WITH A TOTAL CAPACITY AT LEAST EQUAL TO THE SUM OF:
 - 10.0 L/S EACH FOR BASEMENT AND MASTER BEDROOM
 - 5.0 L/S FOR EACH OTHER ROOM
- A PRINCIPAL DWELLING EXHAUST FAN SHALL BE INSTALLED AND CONTROLLED BY A CENTRALLY LOCATED SWITCH IDENTIFIED AS SUCH.
- SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS
 - THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
- A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.
- SUPPLY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTAMINATION FROM EXHAUST OUTLETS.

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NATURAL VENTILATION

- EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA.
- INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO NOT LESS THAN 1/150 OF THE INSULATED CEILING AREA.
- ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED WITH MIN. 25% AT TOP OF THE SPACE AND 25% AT BOTTOM OF THE SPACE DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW, OR INSECTS.
- UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 0.1m

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FOOTING

24"X12" DEEP POURED CONCRETE 2200 PSI.
ON UNDISTURBED SOIL, MIN. 48" BELOW FINISHED GRADE

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BUILT UP POST

3-2"X4" BUILT UP POST WITH DAMPPROOFING MATERIAL
WRAPPED AT
END OF POST ANCHORED TO 24"X24"X12" CONC. FOOTING.

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RANGE HOOD EXHUST

MECHANICAL EXHAUST HOOD WITH MIN 100 CFM AND 6" DIM.
RIGID STEEL DUCT OR EQUIVALENT TO OUTDOOR.

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SHOWER AND TUB VALVES

- ALL SHOWER VALVES SHALL CONFORM TO OBC DIV. B 7.6.5.2
- WATERPROOF FINISH REQUIRED AT SHOWER AND TUB AREAS TO CONFIRM TO OBC DIV B 9.29.2

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WALL REINFORCEMENT FOR FUTURE GRAB BARS INSTALLATION IN WASHROOM

SEE WASHROOM DETAIL SHEET

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GARAGE WALL-GAS PROOFING

ATTACHED GARAGES MUST BE COMPLETELY SEALED TO PREVENT THE INFILTRATION OF CARBON MONOXIDE & GASOLINE FUMES INTO THE DWELLING .

- PROVIDE 1/2" DRYWALL W/ MIN. 2 COATS OF JOINT COMPOUND AT ALL WALLS ADJACENT TO DWELLING.
- CAULK BETWEEN GYPSUM BOARD AND OTHER SURFACES W/ ACOUSTIC SEALANT.
- CAULK ALL PENETRATIONS SUCH AS HOSE BIBS W/ FLEXIBLE CAULKING.
- DOORS BETWEEN GARAGE & DWELLING SHALL BE TIGHT FITTING & WEATHER STRIPPED & PROVIDED W/ A SELF-CLOSING DEVICE. DOOR MUST NOT OPEN INTO A ROOM INTENDED FOR SLEEPING.
- GARAGE SLAB SHALL BE SLOPED TO DRAIN OUTDOORS.
- UNIT MASONRY WALLS FORMING THE SEPARATION BETWEEN THE DWELLING. ATTACHED GARAGE SHALL BE PROVIDED W/ 2 COATS OF SEALER OR COVERED W/PLASTER OR GYPSUM BOARD ON THE GARAGE SIDE.

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PRECAST STAIRS

PRECAST CONCRETE STEPS OR WOOD STEPS
(PERMITTED TO A MAX. OF 3 RISERS) WHEN NOT EXPOSED TO WHETHER MAX RISE +/- 7/8" MIN. 1" MIN. 9-1/2".
GREATER THAN 3 RISERS WILL REQUIRE LANDING/GUARD / HANDRAIL AND FOUNDATION UNDER CONC. STEPS.

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WOOD FRAME STAIRS

STAIRS DETAILS

MAX RISE = 7-7/8"
MIN RUN = 8-1/4"
MIN TREAD = 9-1/4"
MAX NOSING = 1"-0
MIN HEADROOM = 6'-5"
RAIL@LANDING = 2'-11"
RAIL@STAIRS = 2'-8"
MIN STAIRS WIDTH = 2'-10"

CURVED STAIRS

MIN AVG. RUN = 7-7/8"
MIN RUN = 5-7/8"

RAILING

FINISHED RAILING ON PICKETS
SPACED MAX. 4".
INFERIOR GUARDS 2'-11" MIN.
EXTERIOR GUARDS 3'-6" MIN.

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INSULATION VALUES

ABOVE GRADE WALLS
BASEMENT WALLS
INSULATION +

CEILING WITH ATTIC SPACE
CEILING WITHOUT ATTIC SPACE

R-24
CONTINUOUS R-10 RIGID

R-12 MIN BATT INSULATION
R-60
R-31



DIAMOND CRETE & CONSTRUCTION INC.
DCC DESIGNERS

15845 RIVER DRIVE RD.
GEORGETOWN, ON L7G 4S7
289-962-4003, 647-285-2597, 289-889-2697
info@diamondconst.ca

PROPOSED SECOND DWELLING
2 BUNCHGRASS PL, BRAMPTON

NAME:
MANJINDER KAUR
SIGNATURE:

Manjinder

BCIN:
125147

THE UNDERSIGNED HAS REVIEWED AND TAKES THE RESPONSIBILITY FOR THE DESIGN AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION REQUIREMENT
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 3.2.5.1 OF DIVISION "C" OF O.B.C.

DRAWN BY: MK

CLIENT REVIEW:

REVISION:

ISSUED FOR PERMIT:

CONSTRUCTION NOTES

OCT 2023

A13

Zoning Non-compliance Checklist

File No.

Applicant: Manjinder Kaur
Address: 2 Bunchgrass Pl
Zoning: R1C-885
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE	To permit a proposed exterior stairway leading to a below grade entrance located between the main wall of the dwelling and the flankage lot line	whereas the by-law does not permit a stairway constructed below established grade to be located between the main wall of a dwelling and the flankage lot line.	10.23.1
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Connor Cowan

Reviewed by Zoning

2023-12-20

Date