

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) SATNAM KHANGURA

Address 7622 REDSTONE RD., MISSISSAUGA ON L4T 2B9

Phone # 647-625-2425 Fax #

Email SATNAMKHANGURA@YAHOO.COM

2. Name of Agent KAUSHIK SUTHAR

Address 209 - 25 JANSUSIE ROAD, TORONTO, ON , M9W 4V4

Phone # 416-884-9945 Fax #

Email KAUSHIK@AUMDRAFTING.COM

3. Nature and extent of relief applied for (variances requested):

1. Garage width is wider than 50% of dwelling width.  
Proposed garage width is 10.44m & Proposed dwelling width is 8.36m.

2. Proposed building Height is 10.81m where as zoning by-law require is 10.60m.

4. Why is it not possible to comply with the provisions of the by-law?

1. As per urban planning guide line, all existing houses have three car garage and most probably garage width is wider than dwelling width. We follow urban planning guide line and drawings approved by urban planner and maintaining street landscape and view.

2. Lot has downhill slope towards rear lot line.

5. Legal Description of the subject land:

Lot Number LOT 1

Plan Number/Concession Number PLAN 43M2121

Municipal Address 25 NEW FOREST TERRACE

6. Dimension of subject land (in metric units)

Frontage 21.16m

Depth 69.77m

Area 1478.24 sq.mts.

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

VACANT LOT

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

Proposed two storey single family dwelling with finished basement.  
Proposed gross floor area: 612.55 sq.mts. Proposed foot print area: 374.59 sq.mts.  
Proposed dwelling width: 18.80m  
Proposed dwelling length: 18.80m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback \_\_\_\_\_  
Rear yard setback \_\_\_\_\_  
Side yard setback \_\_\_\_\_  
Side yard setback \_\_\_\_\_

**PROPOSED**

Front yard setback 11.07m  
Rear yard setback 25.89m  
Side yard setback 1.64m  
Side yard setback 1.85m

10. Date of Acquisition of subject land: APRIL 2022
11. Existing uses of subject property: VACANT LOT
12. Proposed uses of subject property: RESIDENTIAL DWELLING
13. Existing uses of abutting properties: VACANT LOT AND DETACHED DWELLING
14. Date of construction of all buildings & structures on subject land: N/A
15. Length of time the existing uses of the subject property have been continued: N/A
16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

K. N. Suthers  
Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton  
THIS 4th DAY OF January, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, \_\_\_\_\_, OF THE City OF Brampton  
IN THE Region OF Peel. SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Peel THIS 4th DAY OF

January, 2024

Clara Vani  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton

A Commissioner etc.

Expires September 20, 2026

K. N. Suthers  
Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R1E-20-2909

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar

Zoning Officer

2023/12/20

Date

DATE RECEIVED

Date Application Deemed  
Complete by the Municipality

Revised 2022/02/17

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 25 NEW FOREST TERRACE

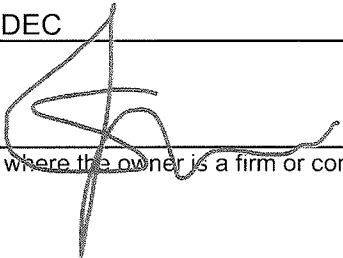
I/We, SATNAM KHNAGURA  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

KAUSHIK SUTHAR  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 6 day of DEC, 2023.

  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**



**PERMISSION TO ENTER**

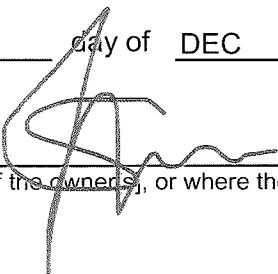
To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 25 NEW FOREST TERRACE

I/We, SATNAM KHANGURA  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

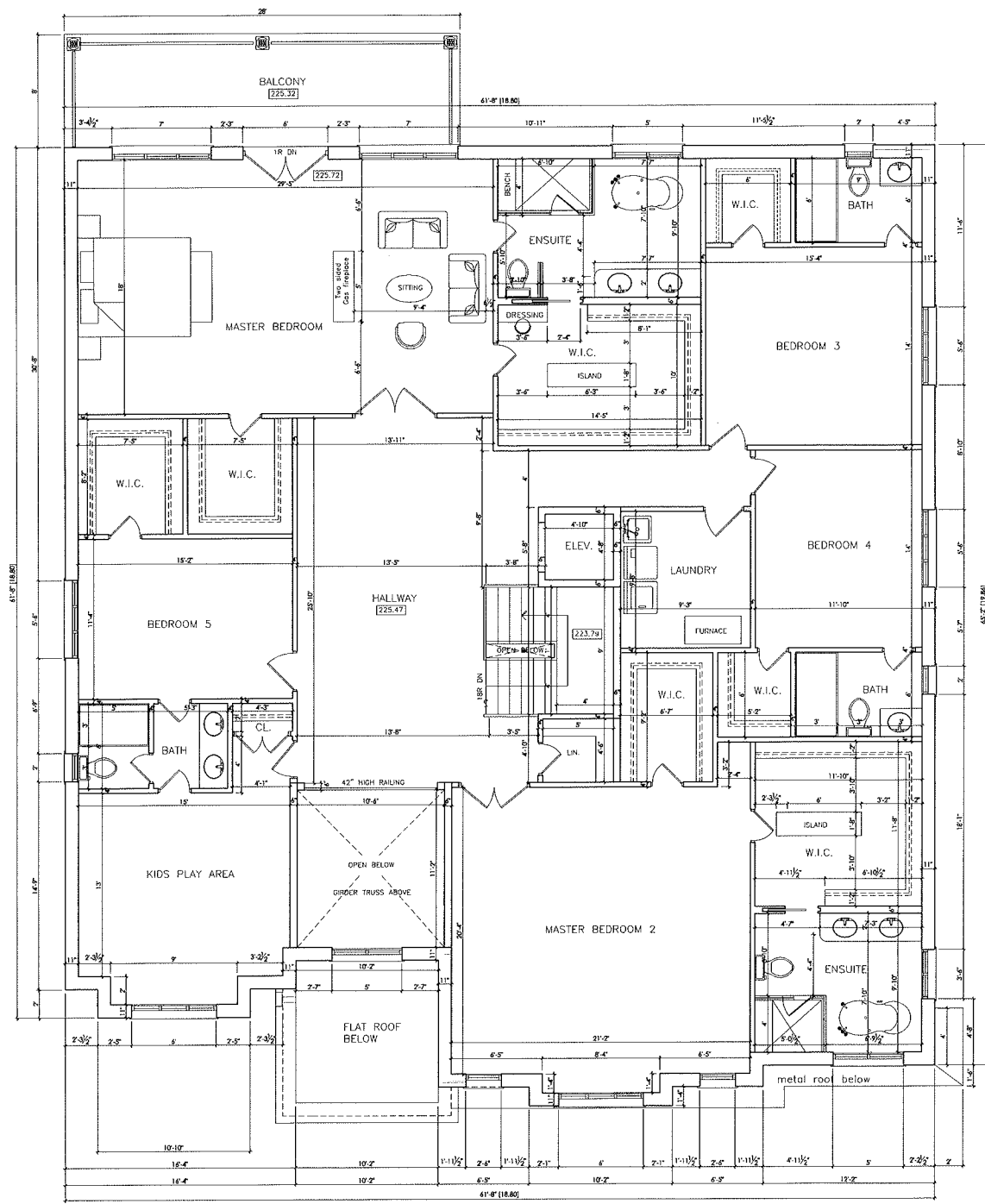
Dated this 6 day of DEC, 2023.

  
(signature of the owner(s), or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**



PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied information.

This drawings is not to be scaled.

The Designer/Engineer is not responsible for the accuracy of survey, mechanical, electrical, etc. information shown on the drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

The Designer/Engineer retains ownership of copyright in all these drawings. You are granted a license to construct, reproduce, distribute, exhibit or otherwise use, said materials, in accordance with this agreement.

NO.	DESCRIPTION	DATE
9.		
8.		
6.		
5.	ISSUED FOR COA	12/06/2023
4.	ISSUED FOR BUILDING PERMIT	11/16/2023
3.	ISSUED FOR GRADING APPROVAL	11/01/2023
2.	REVISED AS PER PLANNER COMMENTS	05/18/2023
1.	ISSUED FOR URBAN PLANNER	04/03/2023

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED SECOND FLOOR  
PLAN

SPA FILE No.: SPA-2023-XXXX

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THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING WORK.

DRAWINGS NOT TO BE SCALED.

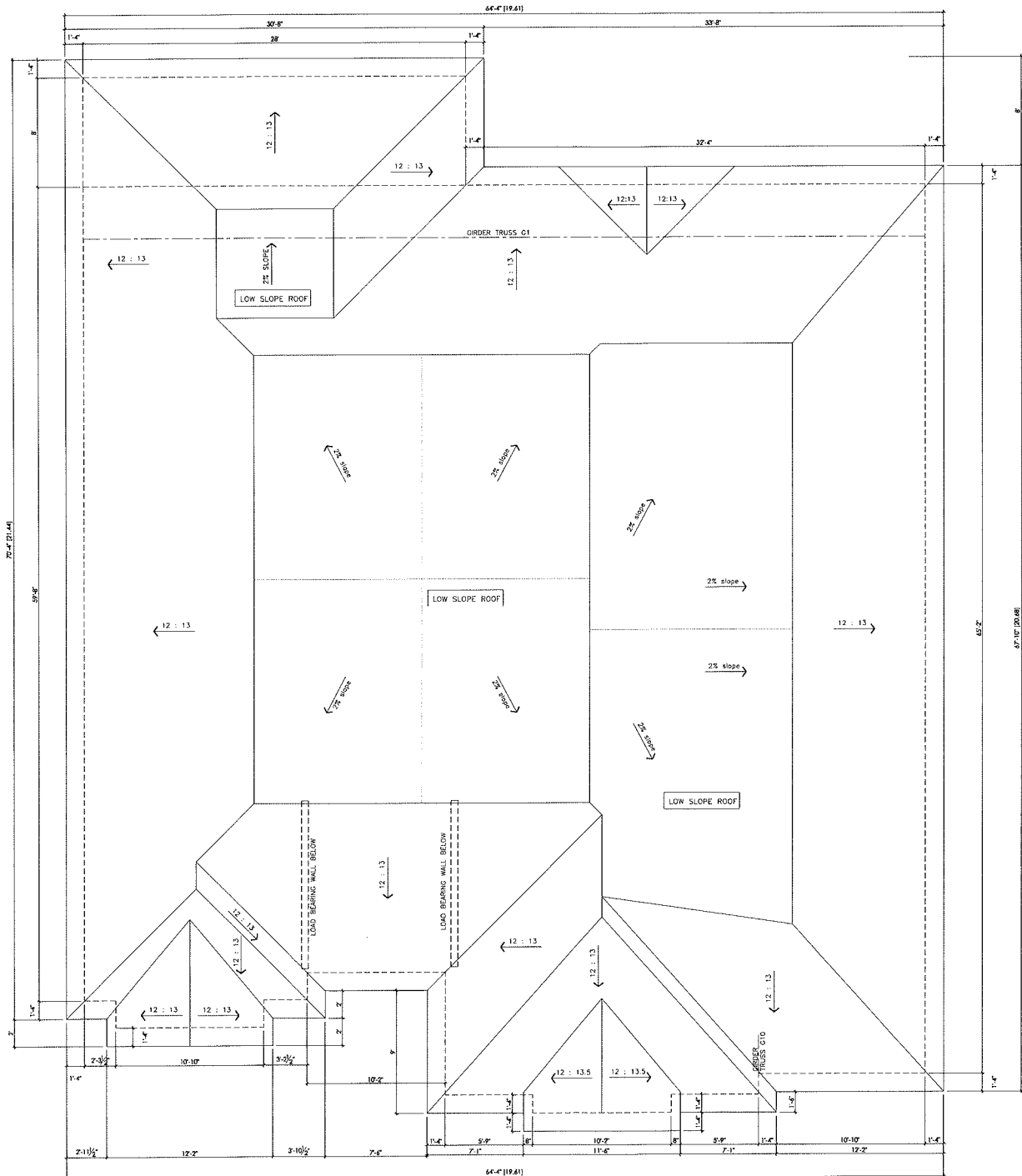
PROJECT CO-ORDINATOR

**APM**

DRAFTING & CONSULTING INC.

23 JANSZIE RD, UNIT # 209, TORONTO, ON M9W 4V4  
CELL: 416-814-5945 EMAIL: kszulhar@gmail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	<b>A5</b>
DATE: AUG/19/2022	
SCALE: AS NOTED	



PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

NOTES:

PROVIDE POSTS UNDER ALL BEAMS /ORDER TRUSSES, ETC. POSTS ARE TO RUN CONTINUOUS TO THE FOUNDATION OR EQUIVALENT SUPPORT.

ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO O.B.C. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSED ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER AT EACH CROSS POINT - POSTS LONGER THAN 6' TO BE Laterally BRACED SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 6'.

TRUSSED TO COMPLY WITH TRUSS DESIGNER'S PLAN STAMPED BY P.ENG OF ONTARIO.

TRUSS LAYOUT IS FOR ILLUSTRATION ONLY. TRUSS COMPANY SHALL PROVIDE THE LAYOUT BASED ON THEIR DESIGN AND RESTRICTIONS OF TRUSS SIZES.

WHEN TRUSS LAYOUT IS DIFFERENT FROM WHAT IS SHOWN ON PERMIT PLANS AND SOLID BEARING OF ORDER TRUSS IS SITTING ON WINDOW'S UNITS, UNITS SHALL BE DESIGNED BY TRUSS MANUFACTURER.

CONTRACTOR MUST ENSURE ALL GABLES TO LINE UP WITH NEW WINDOWS/DOORS BELOW AS PER ELEVATIONS VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied information.

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1.	ISSUED FOR URBAN PLANNER	04/03/2023
NO.	DESCRIPTION	DATE
REVISIONS		

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED ROOF PLAN

SPA FILE No.: SPA-2023-XXXX

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DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:

*APM*

DRAFTING & CONSULTING INC.

25 JANUSIUS RD. UNIT # 207, TORONTO ON M9M 4V4  
CELL: 416-884-9445 EMAIL: kassibhar@gmail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	A6
DATE: AUG/19/2022	
SCALE: AS NOTED	



PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

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1	ISSUED FOR URBAN PLANNER	04/03/2023
NO.	DESCRIPTION	DATE

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED FRONT ELEVATION

SPA FILE No.: SPA-2023-XXXX

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DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:

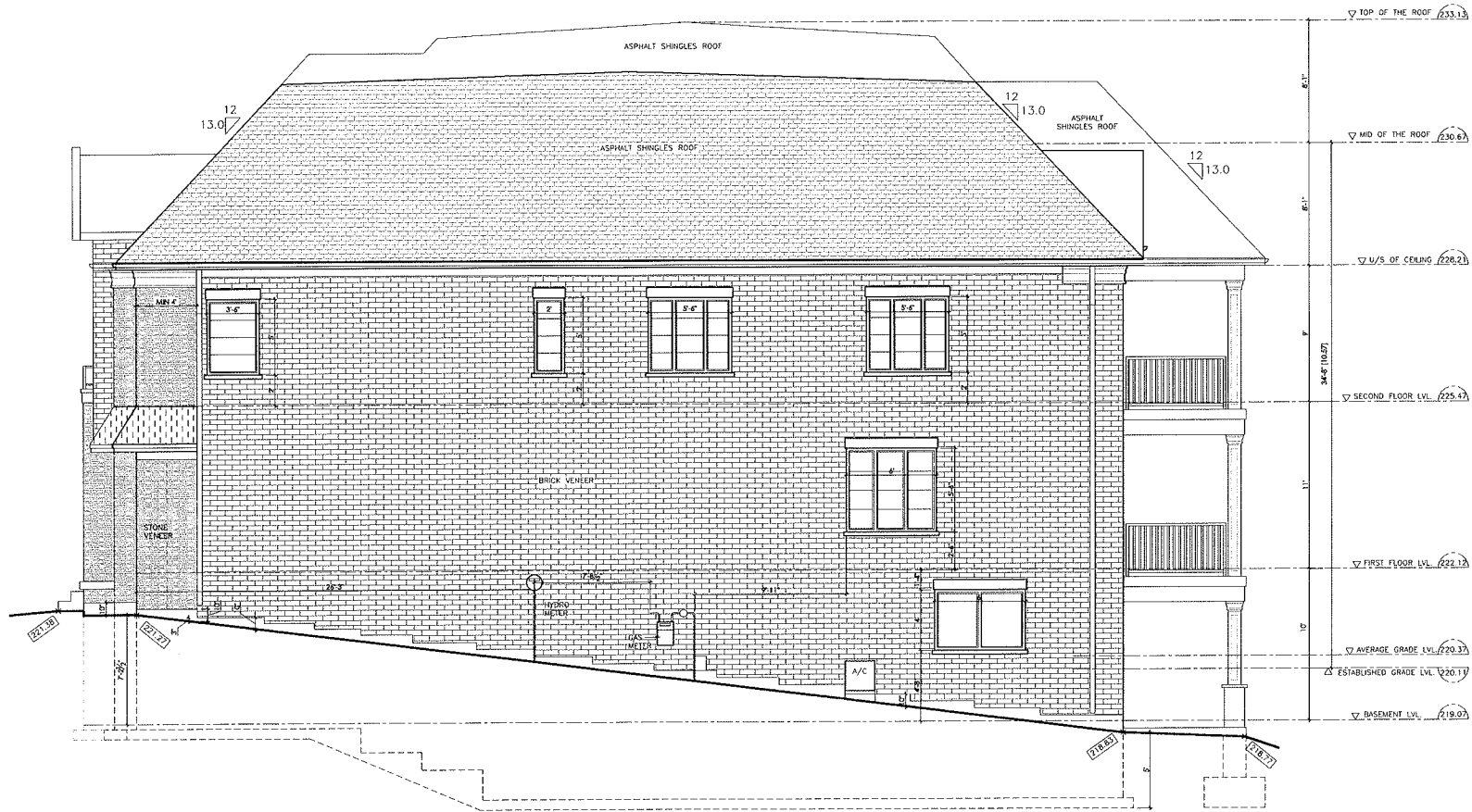
*AMM*

DRAFTING & CONSULTING INC.

25 JANSUSIE RD, UNIT # 229, TORONTO ON M9W 4V4  
CELL: 416-884-9345 EMAIL: amm@amm.ca

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	
DATE: AUG/19/2022	
SCALE: AS NOTED	

A7



PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied information.

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REVISIONS

PROJECT NAME:

PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:

PROPOSED RIGHT SIDE  
ELEVATION

SPA FILE No.: SPA-2023-XXXX

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PROJECT CO-ORDINATOR:

*ANM*

DRAFTING & CONSULTING INC.

25 JANSUSIE RD. UNIT # 205, TORONTO ON M5M 4V6  
CELL: 416-884-9945 EMAIL: ansulhar@gmail.com

PRINT DATE:	PROJECT NO.:
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CHECKED BY: K.S.	A8
DATE: AUG/19/2022	
SCALE: AS NOTED	





PROPOSED REAR SIDE ELEVATION  
SCALE: 1/4"=1'-0"

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REVISIONS

PROJECT NAME:  
**PROPOSED SINGLE FAMILY DWELLING**

**25 NEW FOREST TERRACE  
BRAMPTON, ON**

SHEET TITLE:  
**PROPOSED REAR ELEVATION**

SPA FILE No.: SPA-2023-XXXX

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DRAWINGS NOT TO BE SCALED

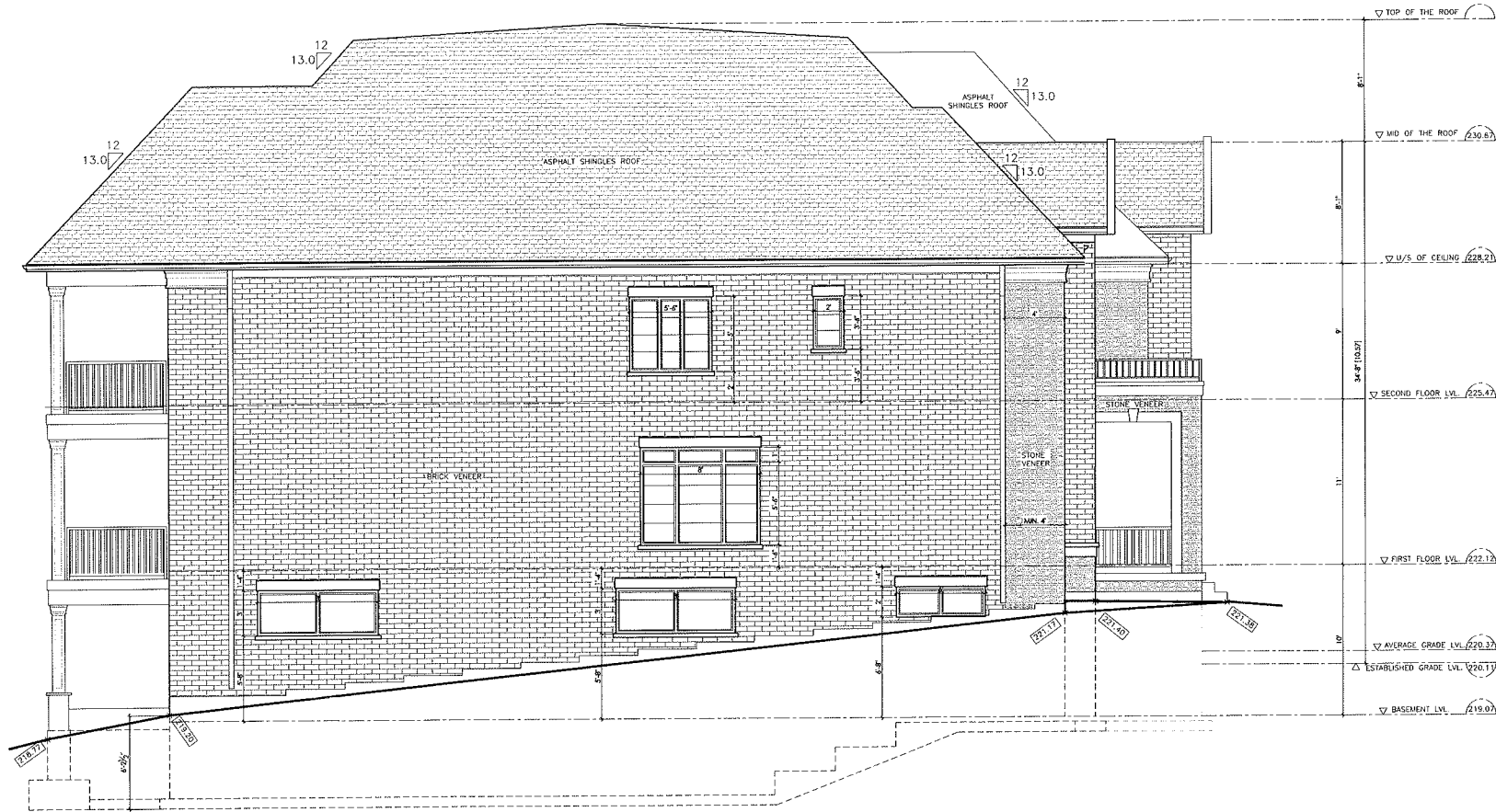
PROJECT CO-ORDINATOR:

**AM**

**DRAFTING & CONSULTING INC.**

25 JANSUSIE RD, UNIT # 225, TORONTO ON M9W 4Y4  
CELL: 416-884-9945 EMAIL: cnsulhar@gmail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	<b>A9</b>
DATE: AUG/19/2022	
SCALE: AS NOTED	



PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

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REVISIONS

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED LEFT ELEVATION

SPA FILE No.: SPA-2023-XXXX

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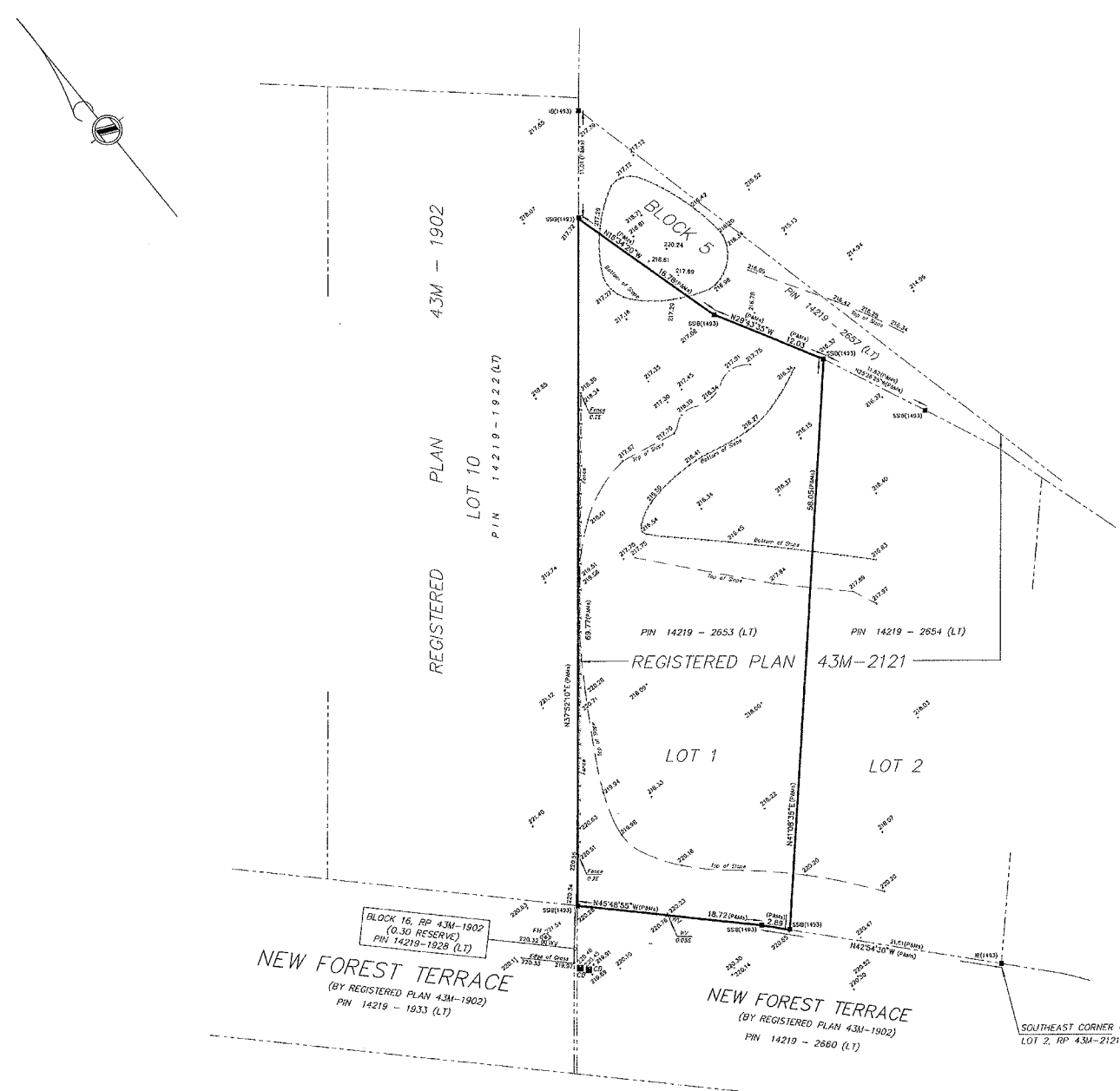
THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING WORK.

DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:  
**ASUN**  
DRAFTING & CONSULTING INC.  
25 JANSUSIE RD. UNIT # 209, TORONTO ON M9W 4V4  
CELL: 416-886-9545 EMAIL: [asuntdr@gmail.com](mailto:asuntdr@gmail.com)

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	
DATE: AUG/19/2022	
SCALE: AS NOTED	

A10



PLAN OF SURVEY  
SHOWING TOPOGRAPHIC FEATURES ON  
**LOT 1, REGISTERED PLAN 43M-2121**  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL  
SCALE 1:300  
MAURO SURVEYING INC.  
ONTARIO LAND SURVEYORS  
© 2023

**METRIC**  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**BEARING NOTE**  
BEARINGS ARE UTM GRID, BY REAL TIME NETWORK (TOPNET)  
OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS)(2010).

**BENCHMARK NOTE**  
ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE  
CITY OF BRAMPTON, BENCHMARK #042920179(1978 ADJUSTMENT) HAVING A  
PUBLISHED ELEVATION OF 230.70 METRES.

- LEGEND**
- DENOTES FOUND BAR
  - DENOTES PLANTED BAR
  - SIB DENOTES STANDARD IRON BAR
  - SSIB DENOTES SHORT STANDARD IRON BAR
  - IB DENOTES IRON BAR
  - M.S. DENOTES MEASURED
  - P DENOTES 43M-2121
  - (1493) DENOTES YOUNG AND YOUNG SURVEYING INC., O.L.S.
  - (921) DENOTES P. SALMA, O.L.S.
  - CD DENOTES CATCH BASIN
  - WV DENOTES WATER VALVE
  - N DENOTES NORTH
  - E DENOTES EAST
  - W DENOTES WEST
  - S DENOTES SOUTH

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH  
THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS  
MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 15TH DAY OF FEBRUARY 2023

FEB 27, 2023  
DATE  
G. Sundar  
GANESH SUNDAR B.Eng.  
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO  
LAND SURVEYORS  
PLAN SUBMISSION FORM  
V-45319

THIS PLAN IS NOT VALID  
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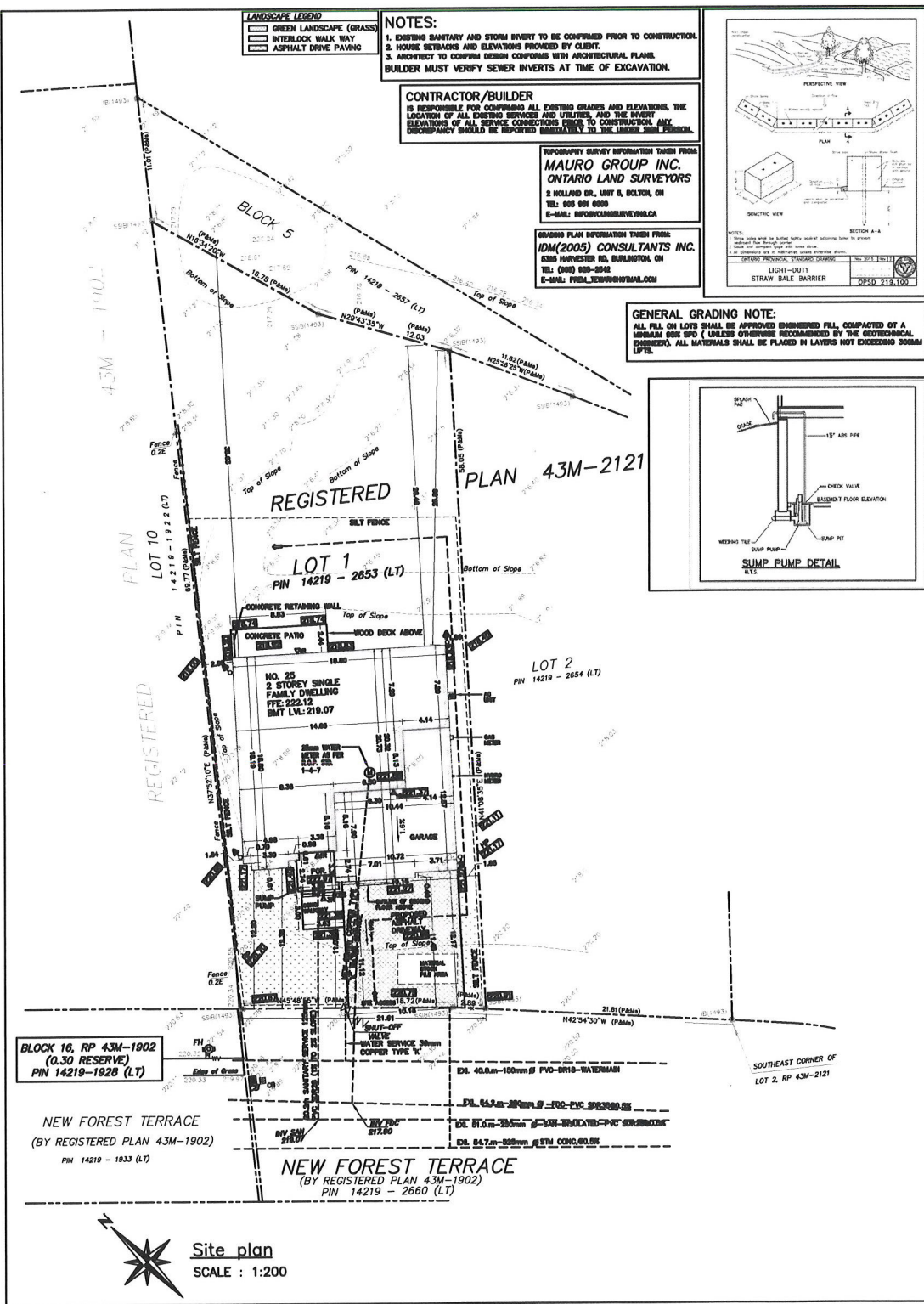
**MAURO GROUP INC.**  
ONTARIO LAND SURVEYORS

2 HOLLAND DRIVE, UNIT 3, BOLTON, ONTARIO L7E 1E1  
PHONE: 905.951.6000 - FAX: 905.957.4911  
www.youngsurveying.ca - info@youngsurveying.ca

PARTY CHIEF: JK/KR DRAWN BY: LV CHECKED BY: GS  
CLIENT: KHANGURA, SATHAM  
PATH: F:\PROJECTS\2014\B6726\W5C60\B6726\_P03.DWG

**PROJECT No. 14-B6726**





SITE DATA: 25 NEW FOREST TERRACE & ZONING: R1C-20-2809

DESCRIPTION	ZONING REQUIRED	PROPOSED
LOT AREA	800.00m <sup>2</sup>	1478.34m <sup>2</sup>
LOT FRONTAGE	30.00m	21.61m
REAR LOT DEPTH	30.00m	68.77m
REAR YARD DEPTH	8.00m	11.07m
SIDE YARD SET BACK-NORTH SIDE	1.50m	1.64m
SIDE YARD SET BACK-SOUTH SIDE	1.50m	1.64m
REAR YARD SET BACK	7.50m	57.68m (21.34m)
LOT COVERAGES		
FIRST FLOOR AREA (EXCL. GARAGE PORCH AND WOOD DECK)		250.48m <sup>2</sup>
SECOND FLOOR AREA (EXCL. OPEN AREA & BALCONY)		353.11m <sup>2</sup>
TOTAL GROSS FLOOR AREA		603.59m <sup>2</sup>
MAX. HEIGHT - TO MID POINT	10.6m	10.47m
MAX. DRIVEWAY WIDTH	10.18m	10.18m
CONCRETE AREA		102.89m <sup>2</sup>
WOOD DECK AREA		30.69m <sup>2</sup>
BALCONY AREA		30.69m <sup>2</sup>
OPEN AREA		11.89m <sup>2</sup>

ESTABLISHED GRADE CALCULATION:

	FRONT WALL: (221.27+221.27)/2 = 221.22	AVERAGE GRADE
RIGHT WALL: (221.27+218.83)/2 = 220.05		
REAR WALL: (218.83+219.20)/2 = 219.01		
LEFT WALL: (219.20+221.17)/2 = 220.18		

NOTE:-

- AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK AND CURB DEPRESSION WILL BE PROVIDED EACH ENTRANCE.
- SIDEWALK WILL BE REMOVED AND REPLACED AS PER OUT-OF-AREA SPECIFICATIONS.
- DOWNPOUTS TO DISCHARGE ON TO THE GROUND VIA SPLASH PADS. DOWNPOUTS SHALL NOT DISCHARGE ACROSS DRIVEWAYS.
- DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.
- WHERE GRADES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPANIED BY USE OF RETAINING WALLS. RETAINING WALLS HIGHER THAN 0.9m SHALL HAVE A FENCE INSTALLED ON THE TOP OF THE WALL.
- ALL DISTURBED AREA MUST BE SEEDED OR SOILED. TOPSOIL TO BE AT LEAST 100mm.
- THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
- GRADE DIFFERENCES BETWEEN HOUSING UNITS SHALL BE MINIMUM 150mm. ESPECIALLY WHERE NEW DEVELOPMENTS ARE INVOLVED, EACH OWNER SHALL NOT BE GREATER THAN THAT ADVISED BY STRONG'S 300 GRADE. BETWEEN THE UNITS DEVELOPMENTS, THE VERTICAL DISTANCE BETWEEN THE GROUND LEVEL AT THE REAR WALL OF HOUSES MUST BE BACK ON TO.
- DRIVEWAY PORTION WITHIN THE MUNICIPAL BOUNDARY MUST BE PAVED.
- THE SERVICE CONNECTION THROUGH THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE INSTALLED WITHIN.
- SEWER PIPING, A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN DRIVEWAYS.
- IN THE EVENT THAT THE GRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE OWNER OF THE PROPERTY SHALL BE OBTAINED AND ENDORSED BY THE CITY OF BRAMPTON WORKS AND TRANSPORTATION DEPARTMENT.
- ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE RESURFACING OF A BUILDING. EXISTING DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
- THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE CENTRELINE OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF 6%.
- ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAINAGE AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PHYSICAL STANDARDS AND SPECIFICATIONS.

FRONT YARD LANDSCAPE CALCULATION

A TOTAL FRONT YARD =	250.27 m <sup>2</sup>
B DRIVEWAY AREA =	117.43 m <sup>2</sup>
C % OF TOTAL FRONT YARD AREA (A) =	17.37 %
D TOTAL LANDSCAPE AREA =	132.84 m <sup>2</sup>
E SOFT LANDSCAPE AREA =	128.86 m <sup>2</sup>
F HARD LANDSCAPE (STEPS, WALKWAY) =	11.98 m <sup>2</sup>
G % OF HARD LANDSCAPE AREA (F) =	4.87 %

NOTE:-

- ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMITY WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION.
- THE OWNER IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDINGS, PLACED AT THE DROP LINE OF THE TREES, IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS (I.E. BUILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES, EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDINGS.
- SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDINGS TO BE REMOVED, PLANNING STAFF ARE TO BE CONSULTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICE INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
- THE EXISTING ON-SITE DRAINAGE PATTERN SHALL BE MAINTAINED.
- GRADES MUST BE SET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
- ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDINGS THAT LIES WITHIN THE LIMITS OF THE CITY BOUNDARY AREA.
- THE OWNER (OR APPLICANT AS APPLICABLE) WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN APPROVAL AND BUILDING PERMIT.
- THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60 M (2.00 FT.) IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE PLAN AND GRADING PLAN IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.
- THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOUNDARY WILL BE PAVED BY THE OWNER AT THEIR OWN EXPENSE.
- AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
- ALL PROPOSED CURBING AT THE ENTRANCES TO THE SITE IS TO BE REMOVED AT THE PROPERTY LINE OR AT THE DRIVEWAY DEPRESSION.
- CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION.
- ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOPSOIL AND SOIL FOLLOWING CONSTRUCTION ACTIVITY.
- ANY COB BOUNDARY TREES DAMAGED OR REMOVED ARE TO BE REPLACED WITH MINIMUM 70MM CALIPER DECIDUOUS TREES TO THE SATISFACTION OF THE COB AT THE OWNER'S EXPENSE.
- ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.
- THERE ARE EXISTING ENCUMBRANCES ON THE PROPERTY.

SITE PLAN FOR LOT 1  
REGISTERED PLAN 43M-2121  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

BEARING NOTE

BEARINGS ARE UTM GRID, BY REAL TIME NETWORK (TOPNET) OBSERVATIONS, UTM ZONE 17, HAD3S (CRS03/2010).

BENCHMARK NOTE

ELEVATIONS HEREIN ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE CITY OF BRAMPTON, BENCHMARK: (CRS03/2010) ADJUSTMENT HAVING A PUBLISHED ELEVATION OF 225.70 METRES.

LEGENDS

- IS DENOTES FOUND BAR
- DENOTES PLANTED BAR
- DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- Ms DENOTES MEASURED
- P DENOTES 43M-2121
- (1493) DENOTES YOUNG AND YOUNG SURVEYING INC., O.L.S.
- (921) DENOTES P. SALMA, O.L.S.
- IS DENOTES CATCH BASIN
- Hw DENOTES WATER VALVE
- N DENOTES NORTH
- E DENOTES EAST
- W DENOTES WEST
- S DENOTES SOUTH
- SW DENOTES RAIN WATER LEADER

REGION OF PEEL NOTES

WATERMAIN AND/OR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE OR 18 P.V.C. PIPE MANUFACTURED TO A.W.W.A. SPEC. C900-18 SPEC. COMPLETE WITH TRACER WIRE, SIZE 50MM (2") AND SMALLER MUST BE TYPE 'K' SOFT COPPER PIPE PER A.S.T.M. B96-48 SPECIFICATION.

PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50 MM (2") OUTLET ON A 100 MM (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN OUT TO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE 100 mm (4") DIAMETER MINIMUM ON A HYDRANT.

ALL CURB STOPS TO BE 3.0 m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.

HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND B, 0.7 m (2') AND 0.8 m (2') TO HAVE PUMPER NOZZLE.

WATERMANS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.

WATERMANS MUST HAVE A MINIMUM CLEARANCE OF 0.3 m (12") OVER 0.5 m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.

ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS.

ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTRACTING THE OPERATIONS AND MAINTENANCE DIVISION.

LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK. WHETHER SHOWN ON THE PLANS OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 24 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.

ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE. CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-1 OR 1-7-4.

NOTE:-

- ALL EXISTING TREES, WHICH ARE TO REMAIN, MUST BE FULLY PROTECTED WITH HOARDINGS WHICH SHALL BE ORIENTED BEYOND THE DROP LINE. ALL TREE PRESERVATION MEASURES HAVE BEEN PERFORMED PRIOR TO ISSUANCE OF TOPSOIL STRIPPING AND GRADING PERMIT.
- NO MOVEMENT OF VEHICLES IS PERMITTED WITHIN THE TREE PROTECTION ZONE.
- THE AREA WITHIN THE TREE PROTECTION ZONE MUST REMAIN UNDISTURBED AT ALL TIMES.
- ANY BACKFILLING OR TOPSOIL/STORAGE OF MATERIALS MUST NOT BE PLACED WITHIN THE LIMITS OF THE TREE PROTECTION ZONE.
- ANY ROUTE OR BOUNDARY OF THE TREE PROTECTION ZONE WHICH REDUCE PRUNING, MUST BE PRUNED BY A QUALIFIED ARBORIST AND MUST BE PERFORMED IN ACCORDANCE WITH GOOD ARBORICULTURE STANDARDS.
- TREES THAT HAVE DIED OR HAVE BEEN DAMAGED BEYOND REPAIR, WILL BE REMOVED AND REPLACED WITH TREES OF A SIZE AND SPECIES AS APPROVED BY THE CITY OF BRAMPTON PUBLIC WORKS AND ENGINEERING DEPARTMENT.
- TREE PROTECTION HOARDINGS MUST NOT BE REMOVED UNTIL THE COMPLETION OF BUILDING CONSTRUCTION.

KEY PLAN  
(NOT TO SCALE)

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NO.	DESCRIPTION	DATE
1.	ISSUED FOR COA	12/08/2023
2.	ISSUED FOR BUILDING PERMIT	11/16/2023
3.	ISSUED FOR GRADING APPROVAL	11/01/2023
4.	ISSUED FOR URBAN PLANNER COMMENT	08/18/2023
5.	ISSUED FOR URBAN PLANNER	04/03/2023

PROJECT NAME:  
**PROPOSED SINGLE FAMILY DWELLING**

**25 NEW FOREST TERRACE  
BRAMPTON, ON**

SHEET TITLE:  
**SITE PLAN**

SFA FILE No.: **SFA-2023-1000X**

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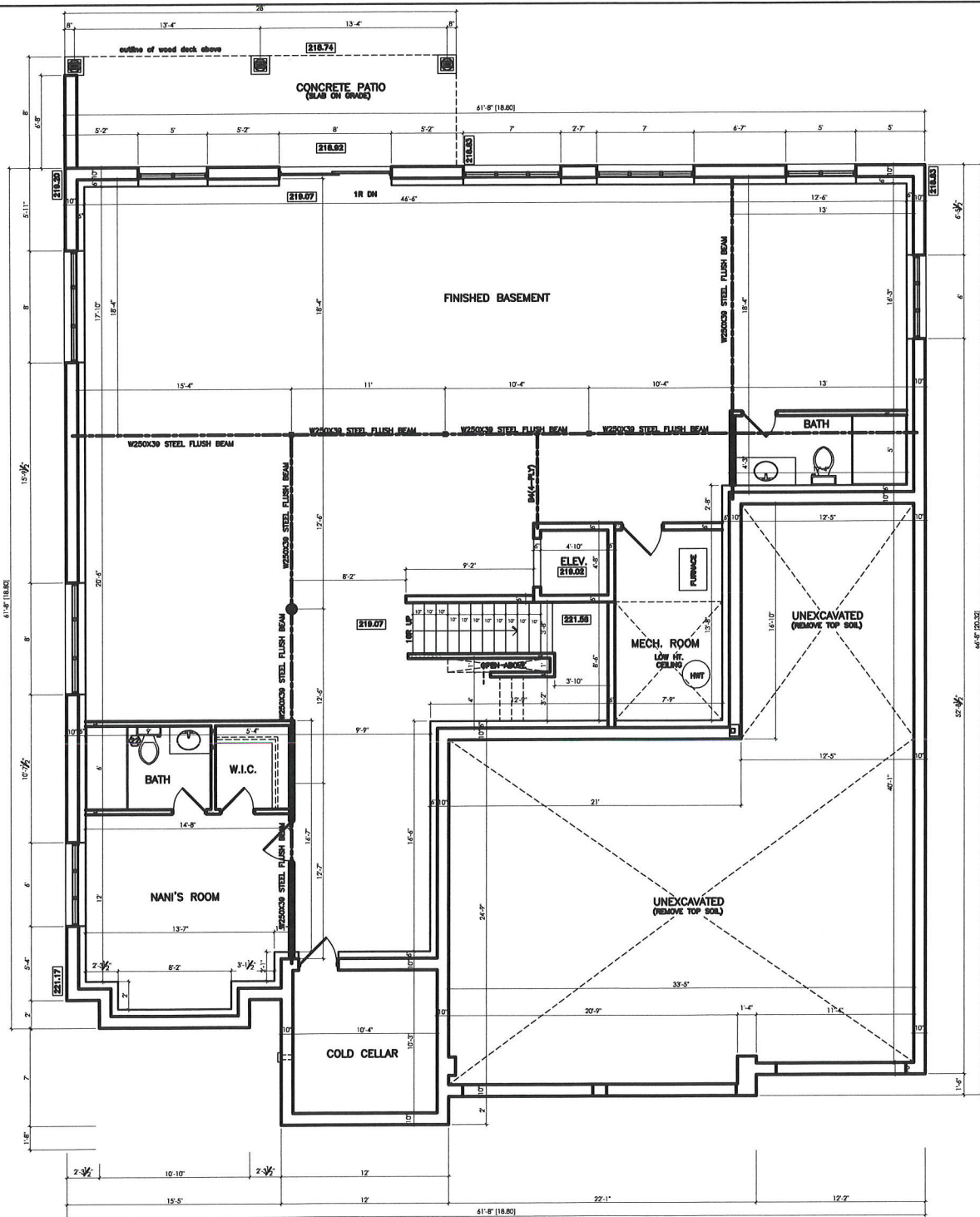
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DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:  
**APM**  
DRAFTING & CONSULTING INC.  
25 JANSUITE RD. UNIT # 209, TORONTO ON M9W 4V4  
TEL: 416-804-9945 EMAIL: sauthar@gmail.com

PRINT DATE: **JUN/24/2023** PROJECT NO.:  
DRAWN BY: **FLORA** SHEET NO.:  
CHECKED BY: **K.S.** **A1**  
DATE: **JUN/24/2023**  
SCALE: **AS NOTED**





 **PROPOSED BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

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NO.	DESCRIPTION	DATE
1.	ISSUED FOR URBAN PLANNER	04/03/2023
2.	REVISED AS PER PLANNER COMMENTS	08/18/2023
3.	ISSUED FOR GRADING APPROVAL	11/01/2023
4.	ISSUED FOR BUILDING PERMIT	11/16/2023
5.	ISSUED FOR COA	12/08/2023
6.		
7.		
8.		
REVISIONS		

PROJECT NAME:  
**PROPOSED SINGLE FAMILY DWELLING**

**25 NEW FOREST TERRACE**  
**BRAMPTON, ON**

SHEET TITLE:  
**PROPOSED BASEMENT PLAN**

SPA FILE No.: SPA-2023-XXXX

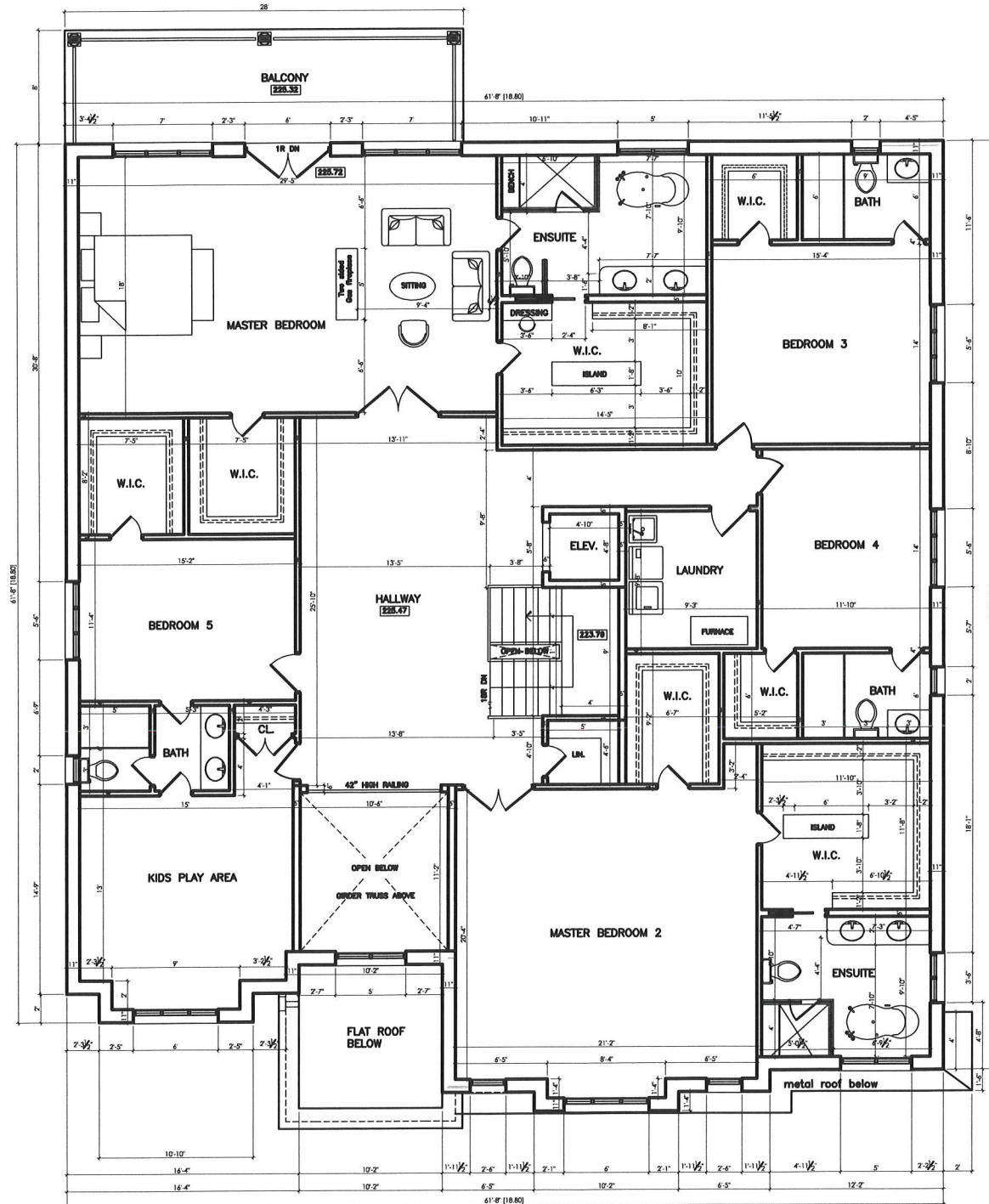
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PROJECT CO-ORDINATOR:  
  
DRAFTING & CONSULTING INC.  
25 JANSUSIE RD, UNIT 9 289, TORONTO ON M9M 1V4  
CELL: 416-884-9945 EMAIL: kssushar@gmail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	<b>A3</b>
DATE: AUG/18/2023	
SCALE: AS NOTED	







**PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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NO.	DESCRIPTION	DATE
1.	ISSUED FOR URBAN PLANNER	04/03/2023
2.	REVISED AS PER PLANNER COMMENTS	05/16/2023
3.	ISSUED FOR GRADING APPROVAL	11/01/2023
4.	ISSUED FOR BUILDING PERMIT	11/16/2023
5.	ISSUED FOR COA	12/06/2023
6.		
7.		
8.		

PROJECT NAME:  
**PROPOSED SINGLE FAMILY DWELLING**

**25 NEW FOREST TERRACE**  
**BRAMPTON, ON**

SHEET TITLE:  
**PROPOSED SECOND FLOOR PLAN**

SPA FILE No.: SPA-2023-XXXX

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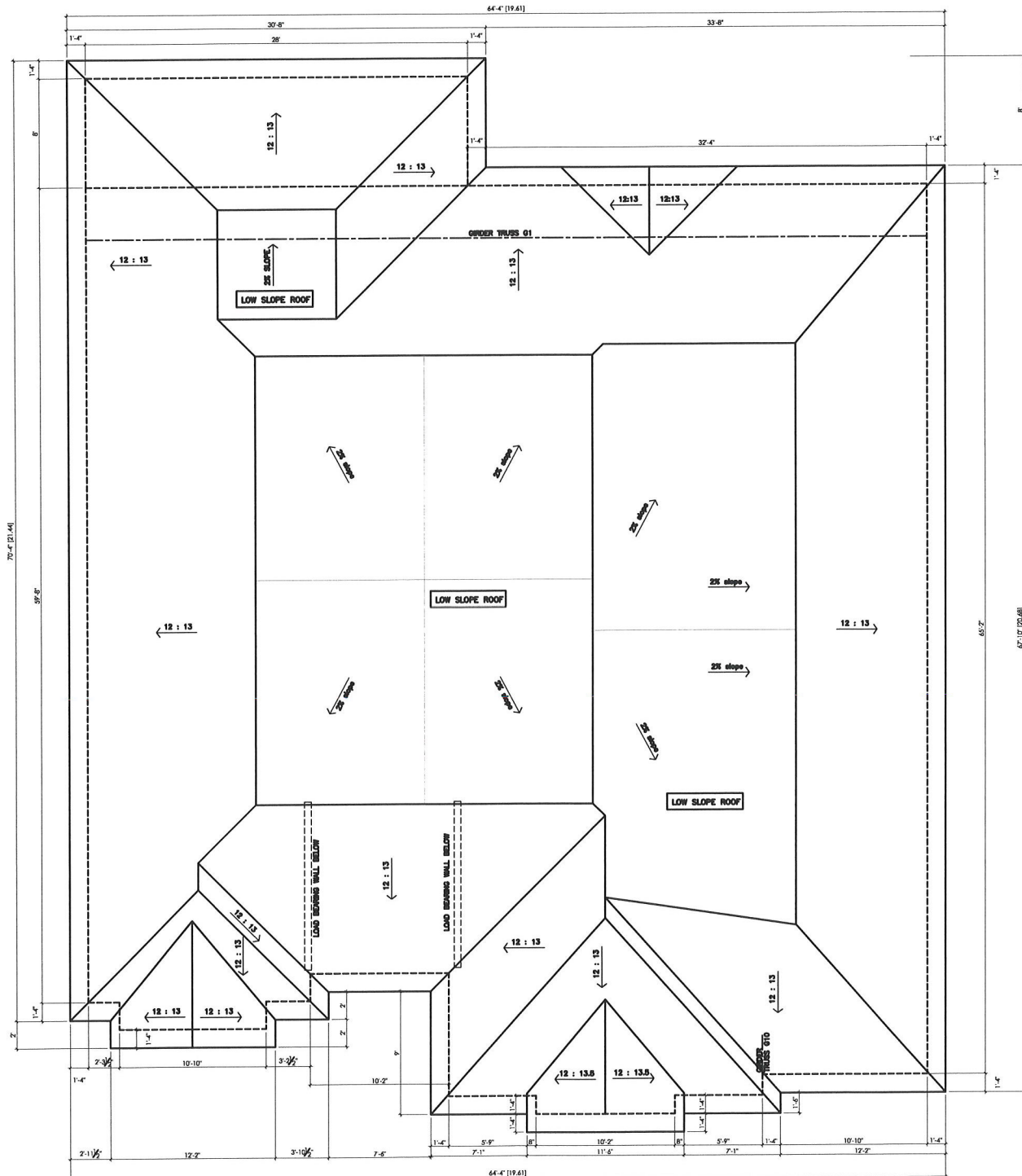
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PROJECT CO-ORDINATOR:  
**APM**

DRAFTING & CONSULTING INC.

25 JANSUKE RD. UNIT B 205 TORONTO ON M9W 4V4  
CELL: 416-884-9945 EMAIL: kinsuher@gmail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	<b>A5</b>
DATE: AUG/16/2022	
SCALE: AS NOTED	



PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"

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NO.	DESCRIPTION	DATE
6.		
5.		
4.	ISSUED FOR COA	12/06/2023
3.	ISSUED FOR BUILDING PERMIT	11/10/2023
2.	ISSUED FOR GRADING APPROVAL	11/01/2023
1.	REVISED AS PER PLANNER COMMENTS	05/10/2023
0.	ISSUED FOR URBAN PLANNER	04/03/2023

PROJECT NAME:  
**PROPOSED SINGLE FAMILY DWELLING**

**25 NEW FOREST TERRACE  
BRAMPTON, ON**

SHEET TITLE:  
**PROPOSED ROOF PLAN**

SPA FILE No.: SPA-2023-XXXX

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DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:  
**SPM**  
DRAFTING & CONSULTING INC.  
25 JANUSIE RD, UNIT # 209, TORONTO ON M9W 4V4  
CELL: 416-884-9945 EMAIL: krsuhtar@gmail.com

PRINT DATE: PROJECT NO.:  
DRAWN BY: FLORA SHEET NO.:  
CHECKED BY: K.S. **A6**  
DATE: AUG/10/2022  
SCALE: AS NOTED

**NOTES:**

PROVIDE POSTS UNDER ALL BEAMS /ORDER TRUSSES, ETC. POSTS ARE TO RUN CONTINUOUS TO THE FOUNDATION OR EQUIVALENT SUPPORT.

ALL CONVENTIONAL ROOF FRAMING TO CONFORM TO O.B.C. ROOF RAFTERS THAT MEET OR CROSS OVER TRUSSES ARE TO BE 2"x4" SPF @ 24" O.C. WITH A 2"x4" SPF VERTICAL POST TO THE TRUSS UNDER AT EACH CROSS POINT - POSTS LONGER THAN 8' TO BE Laterally Braced SO THAT THE DISTANCE BETWEEN END POINTS & BETWEEN ROWS OF BRACING DOES NOT EXCEED 8'.

TRUSSES TO COMPLY WITH TRUSS DESIGNER'S PLAN STAMPED BY P.E.I.O. OF ONTARIO.

TRUSS LAYOUT IS FOR ILLUSTRATION ONLY. TRUSS COMPANY SHALL PROVIDE THE LAYOUT BASED ON THEIR DESIGN AND RESTRICTION OF TRUSS SIZES.

WHEN TRUSS LAYOUT IS DIFFERENT FROM WHAT IS SHOWN ON PERMIT PLANS AND SOLID BEARING OF ORDER TRUSS IS SITTING ON WINDOW'S LITTLE, LITTLE, SHALL BE DESIGNED BY TRUSS MANUFACTURER.

CONTRACTOR MUST ENSURE ALL GABLES TO LINE UP WITH NEW WINDOWS/DOORS BELOW AS PER ELEVATIONS VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.





PROPOSED FRONT ELEVATION  
SCALE: 1/4"=1'-0"

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1.	ISSUED FOR URBAN PLANNER	04/03/2023
2.	REVISED AS PER PLANNER COMMENTS	05/16/2023
3.	ISSUED FOR GRADING APPROVAL	11/01/2023
4.	ISSUED FOR BUILDING PERMIT	11/16/2023
5.	ISSUED FOR COA	12/06/2023

PROJECT NAME:  
**PROPOSED SINGLE FAMILY DWELLING**

**25 NEW FOREST TERRACE  
BRAMPTON, ON**

SHEET TITLE:  
**PROPOSED FRONT ELEVATION**

SPA FILE No.: SPA-2023-XXXX

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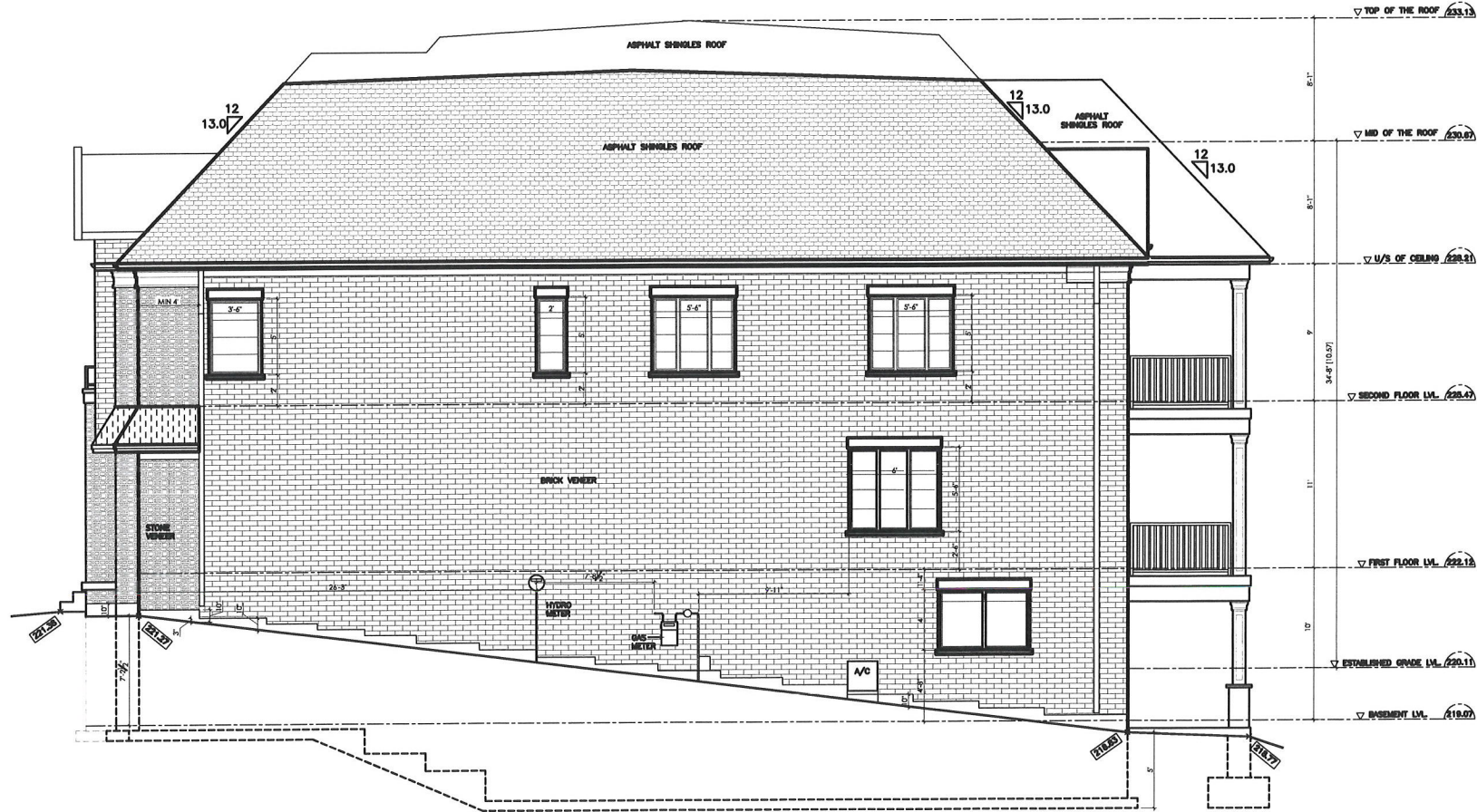
DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:  
*SPUM*

DRAFTING & CONSULTING INC.

25 JANSUSIE RD. UNIT 8 203, TORONTO ON M9W 4V4  
CELL: 416-884-9545 EMAIL: ksothar@gmail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: PLWA	SHEET NO.
CHECKED BY: K.S.	A7
DATE: AUG/19/2022	
SCALE: AS NOTED	



PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied information.

This drawings is not to be scaled.

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8.		
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8.		
8.	ISSUED FOR COA	12/08/2023
4.	ISSUED FOR BUILDING PERMIT	11/16/2023
3.	ISSUED FOR GRADING APPROVAL	11/01/2023
2.	REVISED AS PER PLANNER COMMENTS	08/18/2023
1.	ISSUED FOR URBAN PLANNER	04/03/2023
NO.	DESCRIPTION	DATE
REVISIONS		

PROJECT NAME:  
**PROPOSED SINGLE FAMILY DWELLING**

**25 NEW FOREST TERRACE  
BRAMPTON, ON**

SHEET TITLE:  
**PROPOSED RIGHT SIDE  
ELEVATION**

SPA FILE No.: SPA-2023-XXXX

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PROJECT CO-ORDINATOR:  
*APM*  
DRAFTING & CONSULTING INC.  
25 JANSUKE RD. UNIT # 209, TORONTO ON M9M 1V4  
CELL: 416-884-9945 EMAIL: khsulhar@gmail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	A8
DATE: AUG/18/2022	
SCALE: AS NOTED	





PROPOSED REAR SIDE ELEVATION  
SCALE: 1/4"=1'-0"

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8.	ISSUED FOR COA	12/08/2023
4.	ISSUED FOR BUILDING PERMIT	11/16/2023
3.	ISSUED FOR GRADING APPROVAL	11/01/2023
2.	REVISED AS PER PLANNER COMMENTS	08/18/2023
1.	ISSUED FOR URBAN PLANNER	04/03/2023
NO.	DESCRIPTION	DATE
REVISIONS		

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

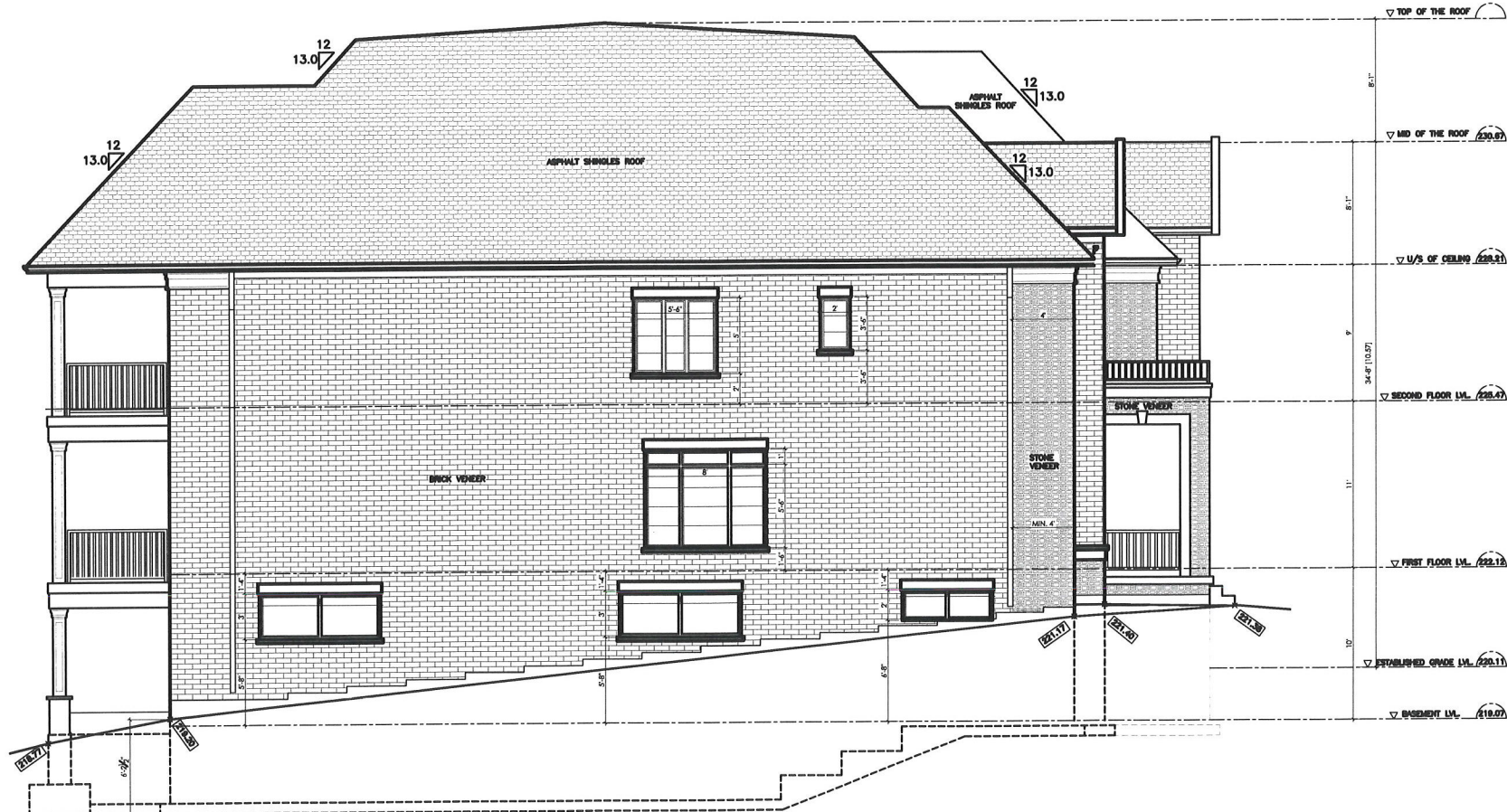
SHEET TITLE:  
PROPOSED REAR ELEVATION

SPA FILE No.: SPA-2023-XXXX

THESE DESIGNS AND DRAWINGS ARE THE COPYRIGHTED PROPERTY OF DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED EXCEPT WITH SPECIFIC WRITTEN CONSENT OF THE DESIGNER/ENGINEER. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING WORK. DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:  
*APM*  
DRAFTING & CONSULTING INC.  
25 JANSZIE RD. UNIT 8 205 TORONTO ON M9W 4V4  
CELL: 416-884-9945 EMAIL: kassuhat@gmail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	A9
DATE: AUG/18/2022	
SCALE: AS NOTED	



PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied information.

This drawing is not to be copied.

The Designer/Engineer is not responsible for the accuracy of survey, mechanical, electrical, etc. information shown on the drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

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8.		
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8.	ISSUED FOR COA	12/06/2023
4.	ISSUED FOR BUILDING PERMIT	11/16/2023
3.	ISSUED FOR GRADING APPROVAL	11/01/2023
2.	REVISED AS PER PLANNER COMMENTS	05/16/2023
1.	ISSUED FOR URBAN PLANNER	04/03/2023
NO.	DESCRIPTION	DATE
REVISIONS		

PROJECT NAME:  
**PROPOSED SINGLE FAMILY DWELLING**

**25 NEW FOREST TERRACE  
BRAMPTON, ON**

SHEET TITLE:  
**PROPOSED LEFT ELEVATION**

SPA FILE No.: SPA-2023-XXXX

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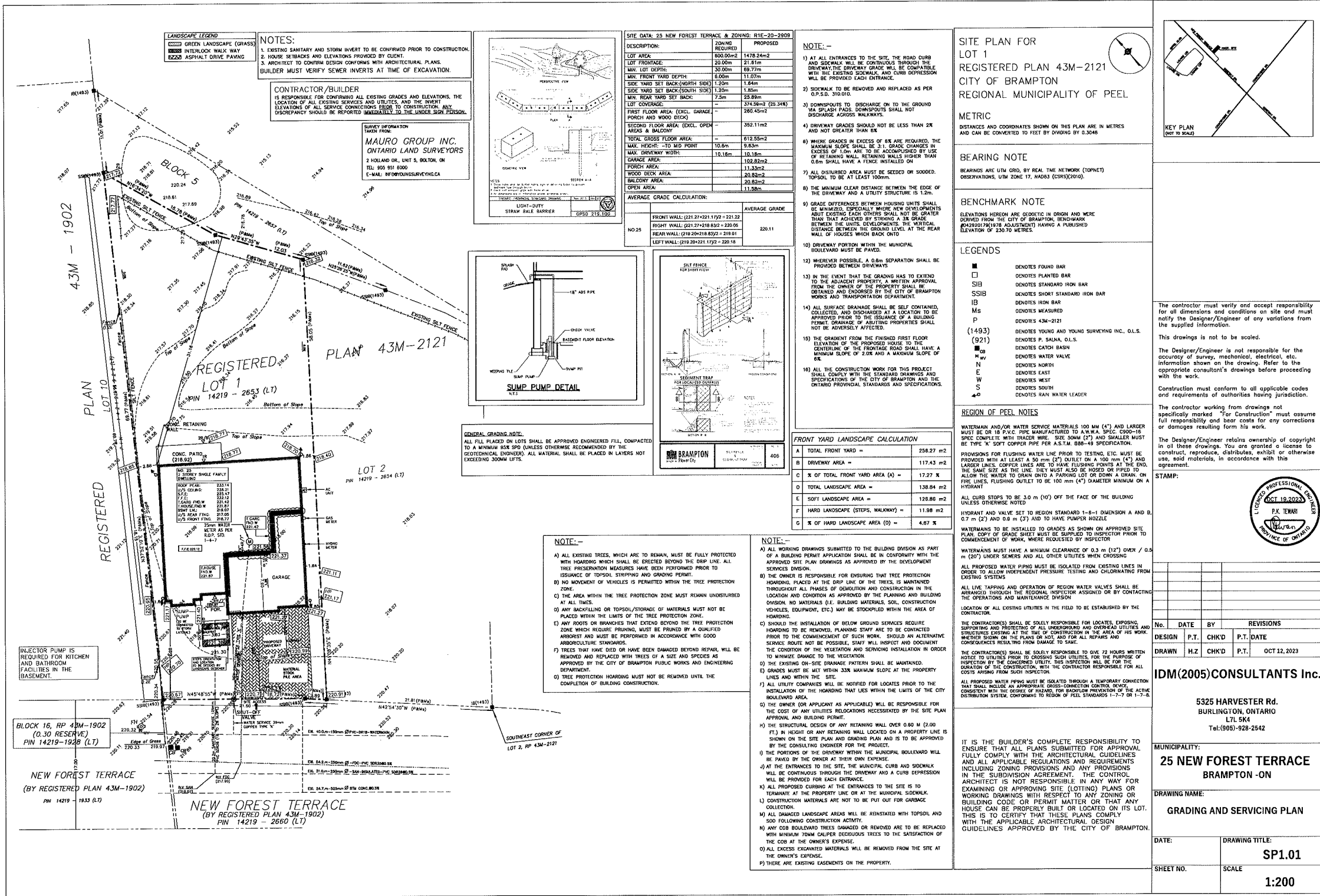
THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING WORK.

DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:  
*SPUM*  
DRAFTING & CONSULTING INC.  
25 JANSUSIE RD, UNIT # 203, TORONTO ON M9W 4V4  
CELL: 416-884-9945 EMAIL: knsuher@gmail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLOWA	SHEET NO.
CHECKED BY: K.S.	A10
DATE: AUG/16/2022	
SCALE: AS NOTED	





# Material Legend

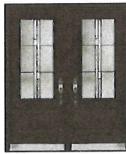
Material	Manufacturer	Style	Colour
Brick	Meridian Brick	Canada Collection	Sutton
Stone	Arriscast		Adair Parliament
Front Door	Novatech	Soho Arima (Stained Glass)	Benjamin Moore Jet Black 2120-10
Front Door Frame Colour	Benjamin Moore		Benjamin Moore Fairview Taupe HC-85
Garage Door	Clopay	Classic Collection	Benjamin Moore Jet Black 2120-10
Garage Door Frame Colour	Benjamin Moore		Benjamin Moore Fairview Taupe HC-85
Window	Performance Door & Window	Casement/fixed	Claystone
Sill	Arriscast	Rocked Cambridge	White
Lintel	Modern Precast		White
Keystone	Arriscast	Cambridge Keystone	White
Freeze Board	Elite Trimworks	F170 Exterior Cornice	Wicker
Railing	CPL	Wrought Aluminum Railing	Black
Asphalt Shingles	IKO	Cambridge	Dual Black
Alumn. Soffits, fascia & Rwl	Kaycan		Wicker
Stucco	DuRock	Finecoat	Pantone 13-1012 Frosted Almond



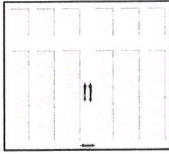
BRICK



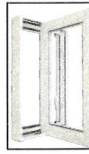
STONE



FRONT DOOR



GARAGE DOOR



WINDOW



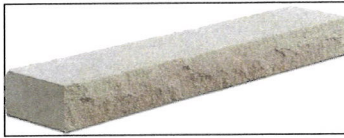
FRONT DOOR & GARAGE DOOR COLOUR



FRONT DOOR & GARAGE DOOR FRAME COLOUR



ASPHALT SHINGLES



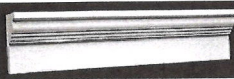
SILL



LINTEL



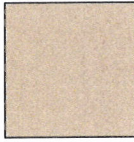
KEYSTONE



FREEZE BOARD



ALUMN. SOFFITS, FASCIA & RWL COLOUR



STUCCO COLOUR

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PROJECT CO-ORDINATOR:

*APM*

DRAFTING & CONSULTING INC.

25 JANSUIE RD, UNIT # 209, TORONTO ON M9W 4V4  
CELL: 416-884-9945 EMAIL: knsuthar@gmail.com

PROJECT NAME:

PROPOSED SINGLE FAMILY DWELLING  
25 NEW FOREST DRIVE, BRAMPTON, ON

SHEET TITLE:

MATERIAL SCHEDULES & COLOUR SCHEME

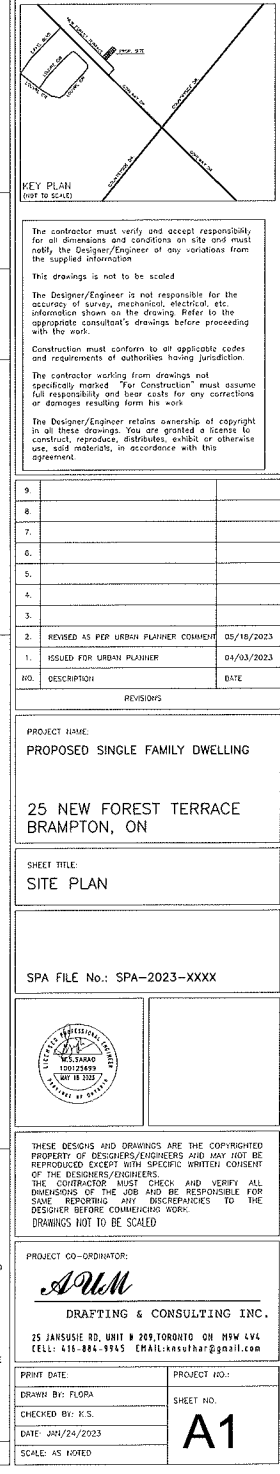
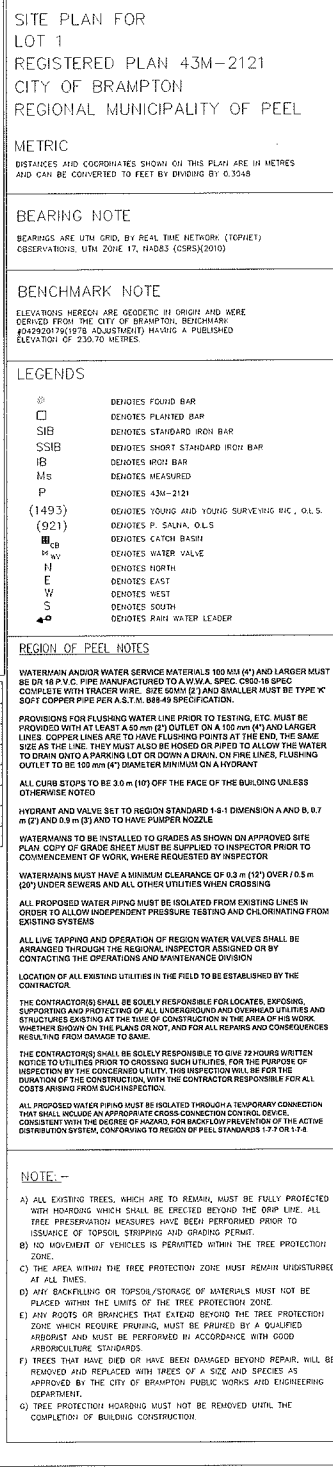
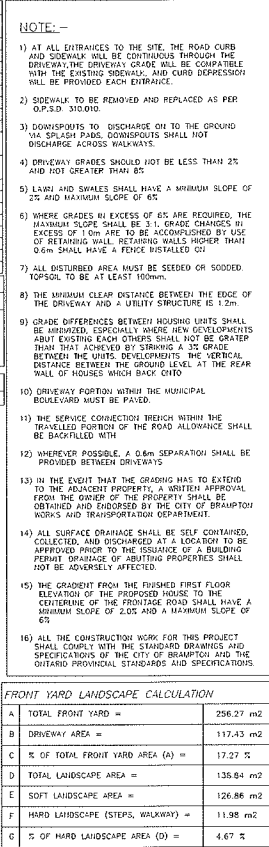
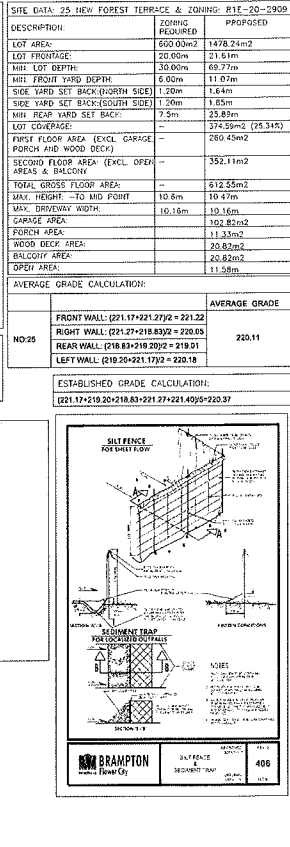
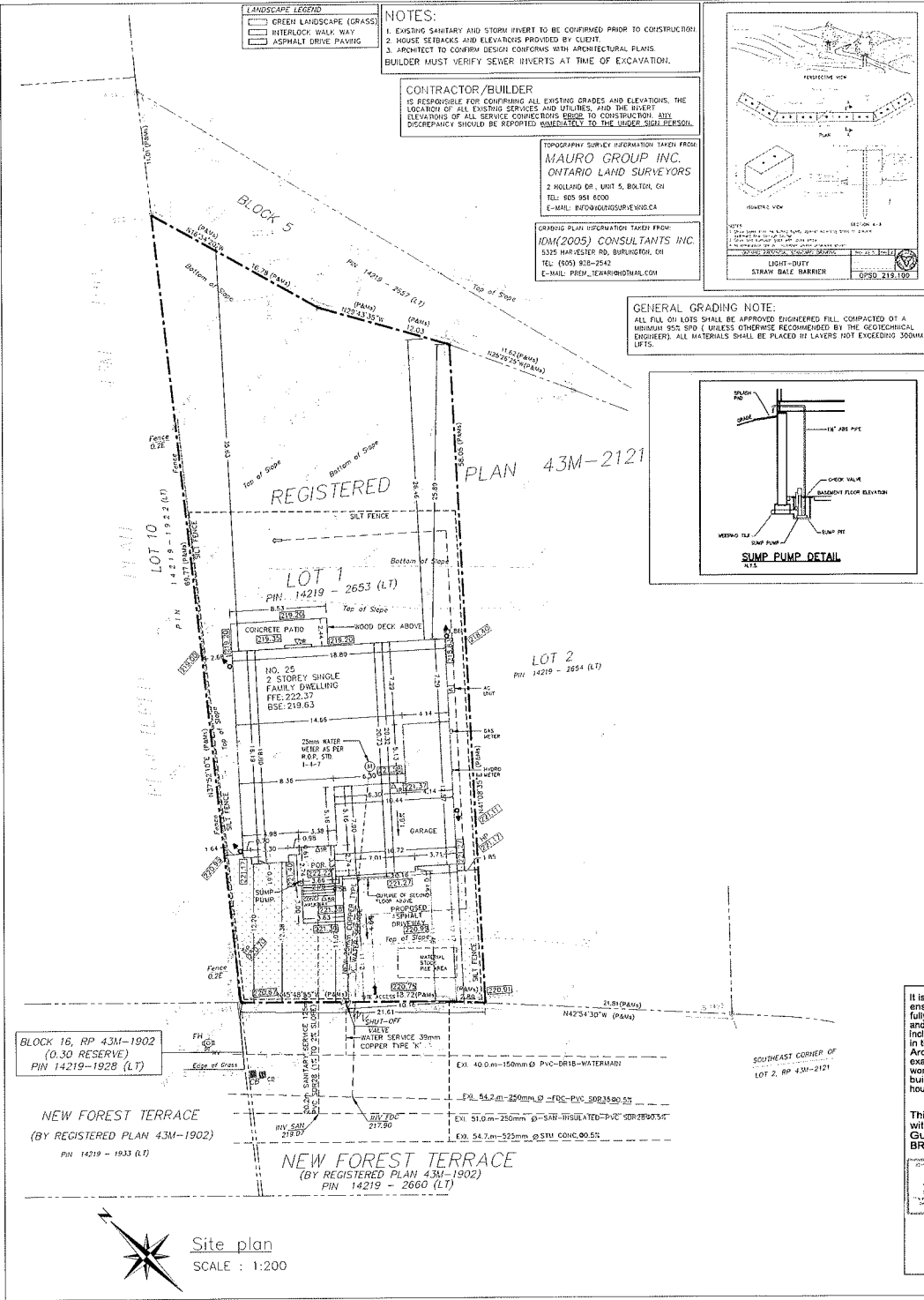
			DRAWN BY:	PRINT DATE:
			K.S.	
			DATE:	
			MAY/18/2023	
			SCALE:	
			3/16" = 1'-0"	
			PROJECT No.:	
			PNUM	
1.	ISSUED FOR URBAN PLANNER	05/18/23		
NO.	DESCRIPTION	DATE		

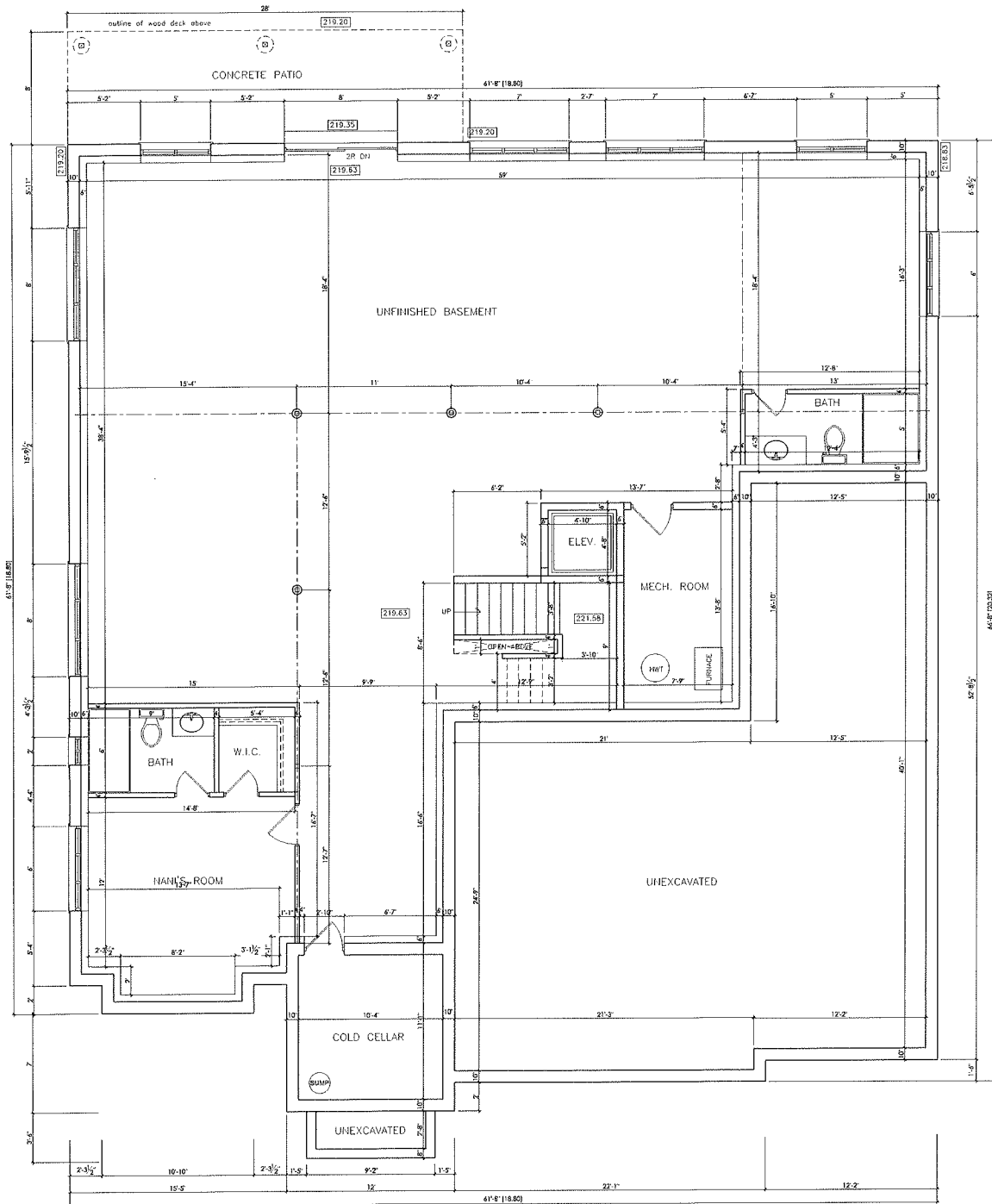
SHEET No.:

S0









PROPOSED BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied information.

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2.	REVISED AS PER PLANNER COMMENTS	05/18/2023
1.	ISSUED FOR URBAN PLANNER	04/03/2023
NO.	DESCRIPTION	DATE
REVISIONS		

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED BASEMENT PLAN

SPA FILE No.: SPA-2023-XXXX



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DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:  
**ASUM**  
DRAFTING & CONSULTING INC.

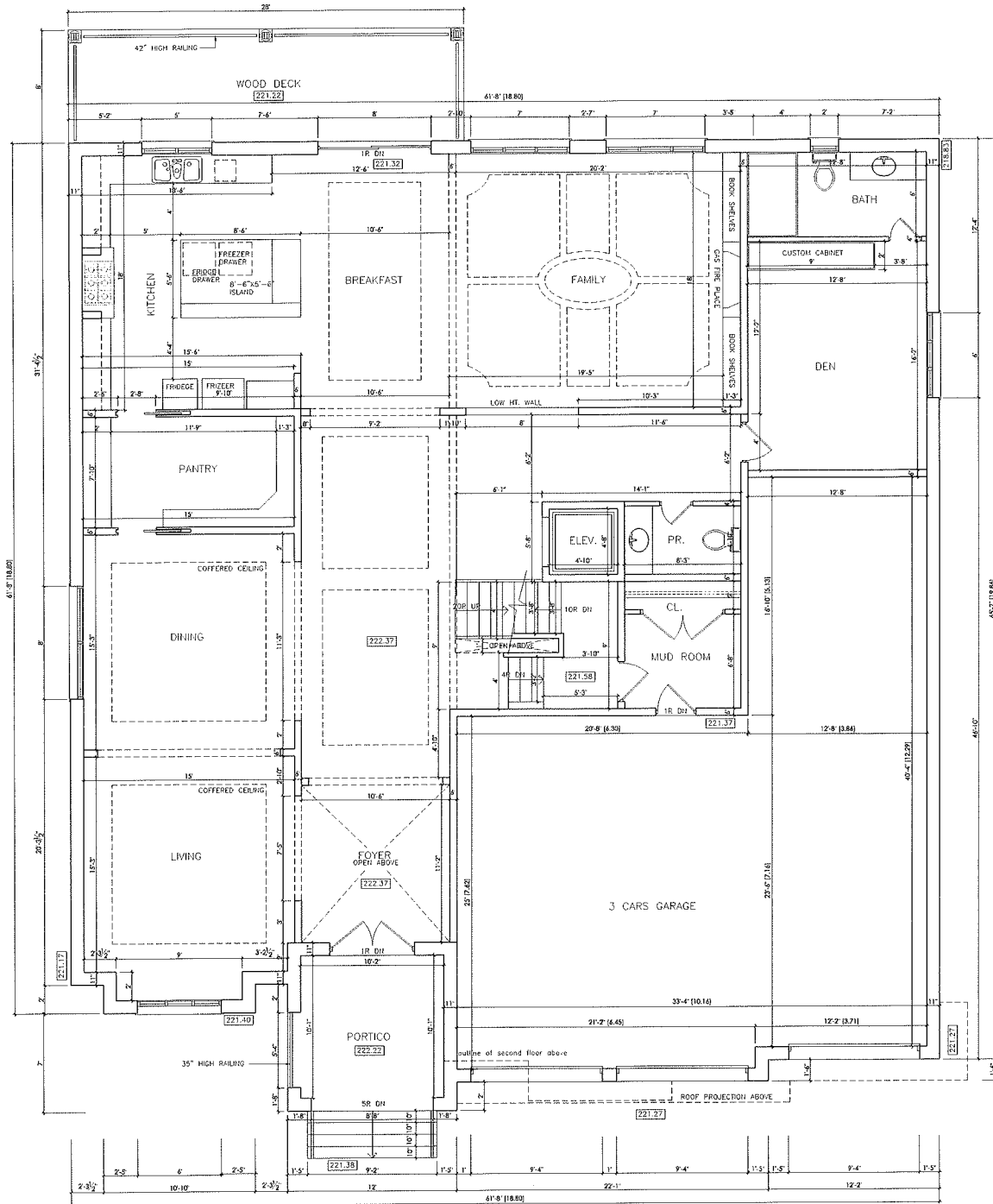
25 JAKUSIE RD, UNIT # 209, TORONTO ON M9W 4V6  
CELL: 416-884-9345 EMAIL: ansuthar@gmail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	A2
DATE: AUG/19/2022	
SCALE: AS NOTED	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.





PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1' - 0"

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2.	REVISED AS PER PLANNER COMMENTS	05/18/2023
1.	ISSUED FOR URBAN PLANNER	04/03/2023
NO.	DESCRIPTION	DATE

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED FIRST FLOOR PLAN

SPA FILE No.: SPA-2023-XXXX



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DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:  
**ANM**  
DRAFTING & CONSULTING INC.

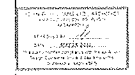
25 JANSUSIE RD, UNIT # 229, TORONTO ON M9W 6V6  
CELL: 416-884-5945 EMAIL: ansulbar@gmail.com

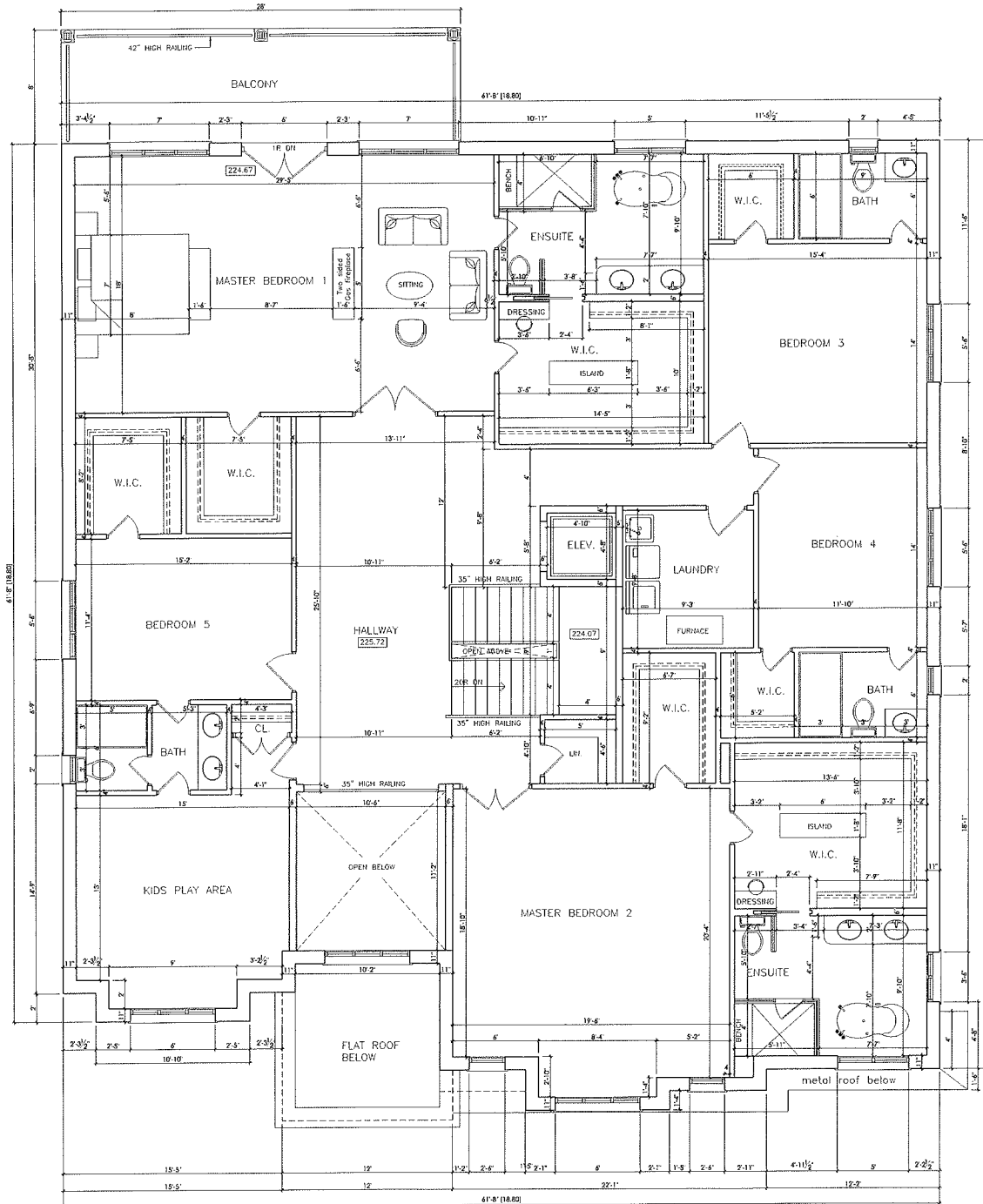
PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	
DATE: AUG/19/2022	
SCALE: AS NOTED	

A3

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1' - 0"

The contractor must verify, and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied information.

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The Designer/Engineer is not responsible for the accuracy of survey, mechanical, electrical, etc. information shown on the drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

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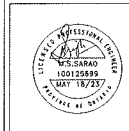
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2.	REVISED AS PER PLANNING COMMENTS	05/16/2023
1.	ISSUED FOR URBAN PLANNER	04/03/2023
NO.	DESCRIPTION	DATE

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED SECOND FLOOR  
PLAN

SPA FILE No.: SPA-2023-XXXX



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DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:  
**ADUM**  
DRAFTING & CONSULTING INC.

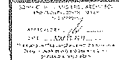
25 JANSUSIE RD. UNIT # 209, TORONTO ON M9W 4Y4  
CELL: 416-884-1945 EMAIL: knsuthar@gmail.com

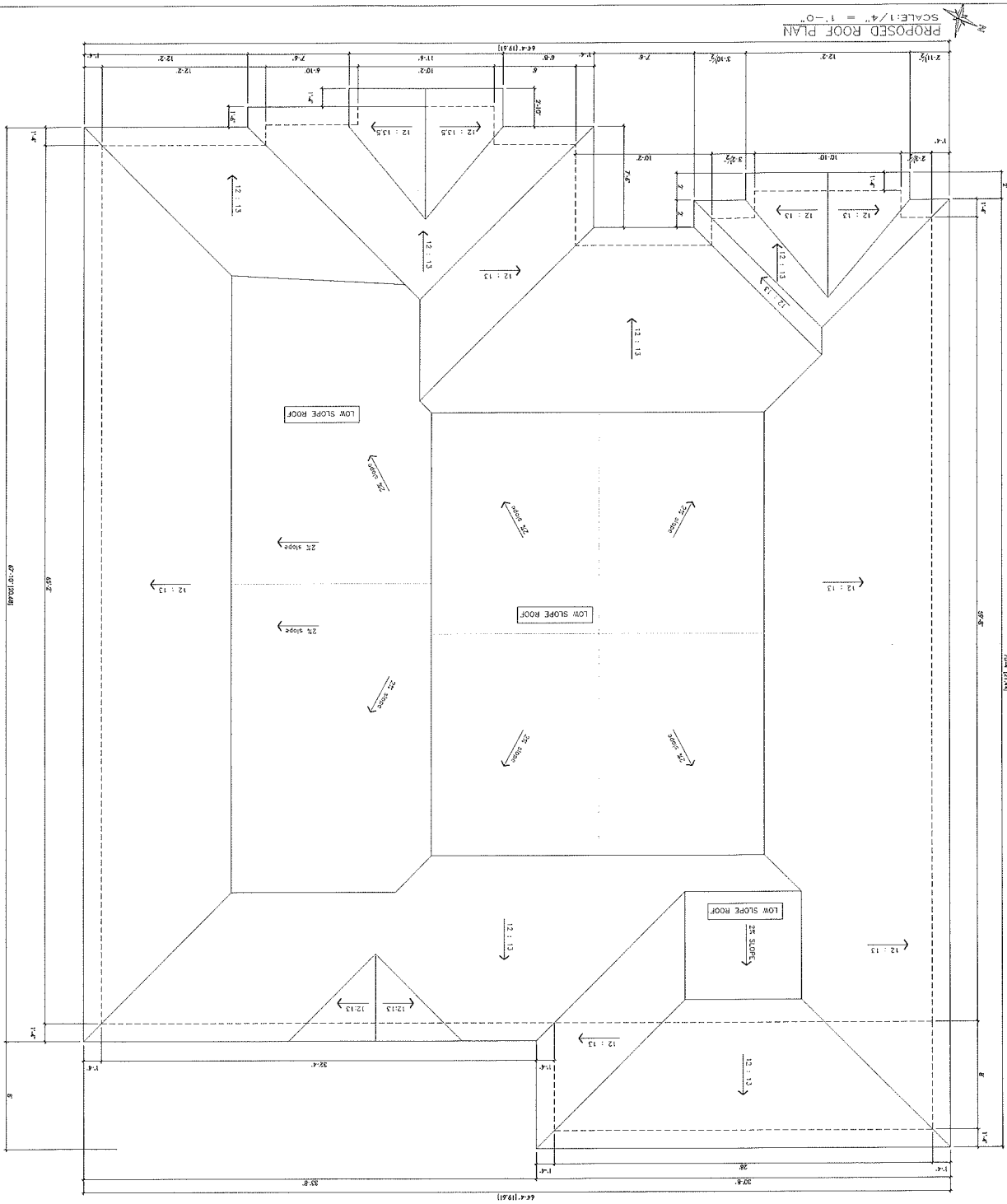
PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.:
CHECKED BY: K.S.	
DATE: AUG/19/2022	
SCALE: AS NOTED	

A4

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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BRAMPTON, ON  
Guidelines approved by the City of

PRINT DATE: \_\_\_\_\_

CHECKED BY: PLG/BA

SHEET NO: \_\_\_\_\_

DATE: AUG/19/2023

PROJECT NO: \_\_\_\_\_

SCALE: AS NOTED

**A5**

PROJECT CO-ORDINATOR:  
25 NEW FOREST RD UNIT 8 BRAMPTON ON N6Y 1Y4  
CELL: 416-888-9915 EMAIL: khoulihar@gmail.com

BRAMPTON, ON  
25 NEW FOREST TERRACE  
PROPOSED SINGLE FAMILY DWELLING

SPR FILE NO: SPA-2023-XXXX

PROPOSED ROOF PLAN

PROJECT NAME:  
25 NEW FOREST TERRACE  
BRAMPTON, ON

REVISIONS

NO.	DESCRIPTION	DATE
1.	ISSUED FOR URBAN PLANNING	04/03/2023
2.	REVISED AS PER PLANNER COMMENTS	05/18/2023
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THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER/ENGINEER OF ANY VARIATIONS FROM THE APPLIED INFORMATION.

THIS DRAWING IS NOT TO BE REPRODUCED.

THE DESIGNER/ENGINEER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, MECHANICAL, ELECTRICAL, ETC. INFORMATION SHOWN ON THE DRAWING, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF SUBMITTAL JURISDICTION.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS WORK.

THE DESIGNER/ENGINEER MAKES NO WARRANTY OF MERCHANTABILITY OR FITNESS FOR ANY PARTICULAR PURPOSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE USE, AND MATERIALS, IN ACCORDANCE WITH THE AGREEMENT.

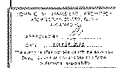




PROPOSED FRONT ELEVATION  
SCALE: 1/4"=1'-0"

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9.		
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3.		
2.	REVISED AS PER PLANNER COMMENTS	05/18/2023
1.	ISSUED FOR URBAN PLANNER	04/03/2023
NO.	DESCRIPTION	DATE
REVISIONS		

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED FRONT ELEVATION

SPA FILE No.: SPA-2023-XXXX



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DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:  
**ASUM**  
DRAFTING & CONSULTING INC.  
75 JANSZIE RD. UNIT # 209, TORONTO, ON M9W 4V4  
CELL: 416-884-5545 EMAIL: knsulhar@gmail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	A6
DATE: AUG/19/2022	
SCALE: AS NOTED	

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2.	REVISED AS PER PLANNER COMMENTS	05/18/2023
1.	ISSUED FOR URBAN PLANNER	04/03/2023
NO.	DESCRIPTION	DATE
REVISIONS		

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED RIGHT SIDE  
ELEVATION

SPA FILE No.: SPA-2023-XXXX



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DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:

*ARM*

DRAFTING & CONSULTING INC.

25 JANSUKE RD, UNIT # 209, TORONTO ON M9M 4V4  
CELL: 416-884-5945 EMAIL: rnsulbar@gmail.com

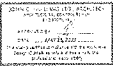
PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	A7
DATE: AUG/19/2022	
SCALE: AS NOTED	



PROPOSED RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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PROPOSED REAR SIDE ELEVATION  
SCALE: 1/4"=1'-0"

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1.	ISSUED FOR URBAN PLANNER	04/03/2023
NO.	DESCRIPTION	DATE
REVISIONS		

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED REAR SIDE  
ELEVATION

SPA FILE No.: SPA-2023-XXXX



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*ASUM*  
DRAFTING & CONSULTING INC.  
25 JANSUKE RD, UNIT # 209, TORONTO, ON M9W 4V4  
CELL: 416-884-5945 EMAIL: ansuhar@gmail.com

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CHECKED BY: K.S.	A8
DATE: AUG/19/2022	
SCALE: AS NOTED	

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NO.	DESCRIPTION	DATE
REVISIONS		

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED LEFT SIDE  
ELEVATION

SPA FILE No.: SPA-2023-XXXX



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PROJECT CO-ORDINATOR

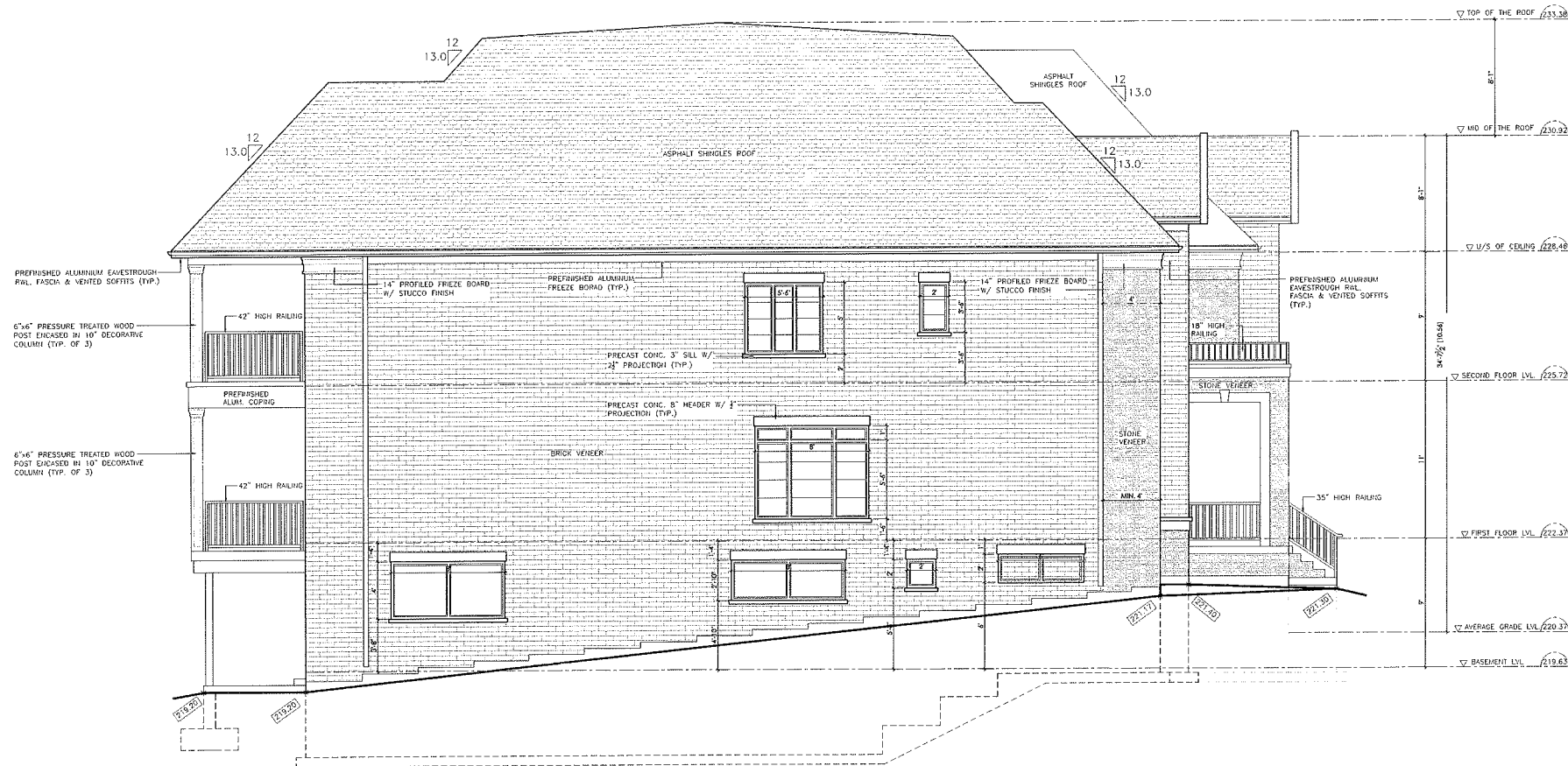
*ANM*

---

DRAFTING & CONSULTING INC.

75 JANSUIE RD, UNIT # 209, TORONTO ON M9W 4V4  
CELL: 416-884-9945 EMAIL: knsuthar@gmail.com

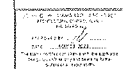
PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.  <b>A9</b>
CHECKED BY: K.S	
DATE: AUG/19/2022	
SCALE: AS NOTED	



PROPOSED LEFT SIDE ELEVATION  
SCALE: 1/4"=1'-0"

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ARCHITECTURAL REVIEW TRANSMITTAL

Date : May 18, 2023  
Project : 11205 Goreway Drive, East Highlands, Brampton  
Builder : Ind. Builder (Khangura Residence)

FINAL APPROVAL

Sheet 1 of 1  
Job #: W-1473'C'  
City File #: C08E16.004/21T-07010B

Description	Lot #	Model Name	Elev.	Priority Lot/Upgrade
NEW MODEL				
(Rear Upgrade w/ W.O.B.)		Custom Lot 1 (Khangura Res.)		
NEW SITING				
New Forest Terrace		Custom Lot 1 (Khangura Res.)		Rear

	Total Approved	No. of Copies App./Returned
Models (New):	1	2/1*
Models (Mod.):		
Streetscapes:		
Flanking Elev:		
Rear Elev:		
Site Plans:	1	2/1*
Colour Packages:		

Remarks:

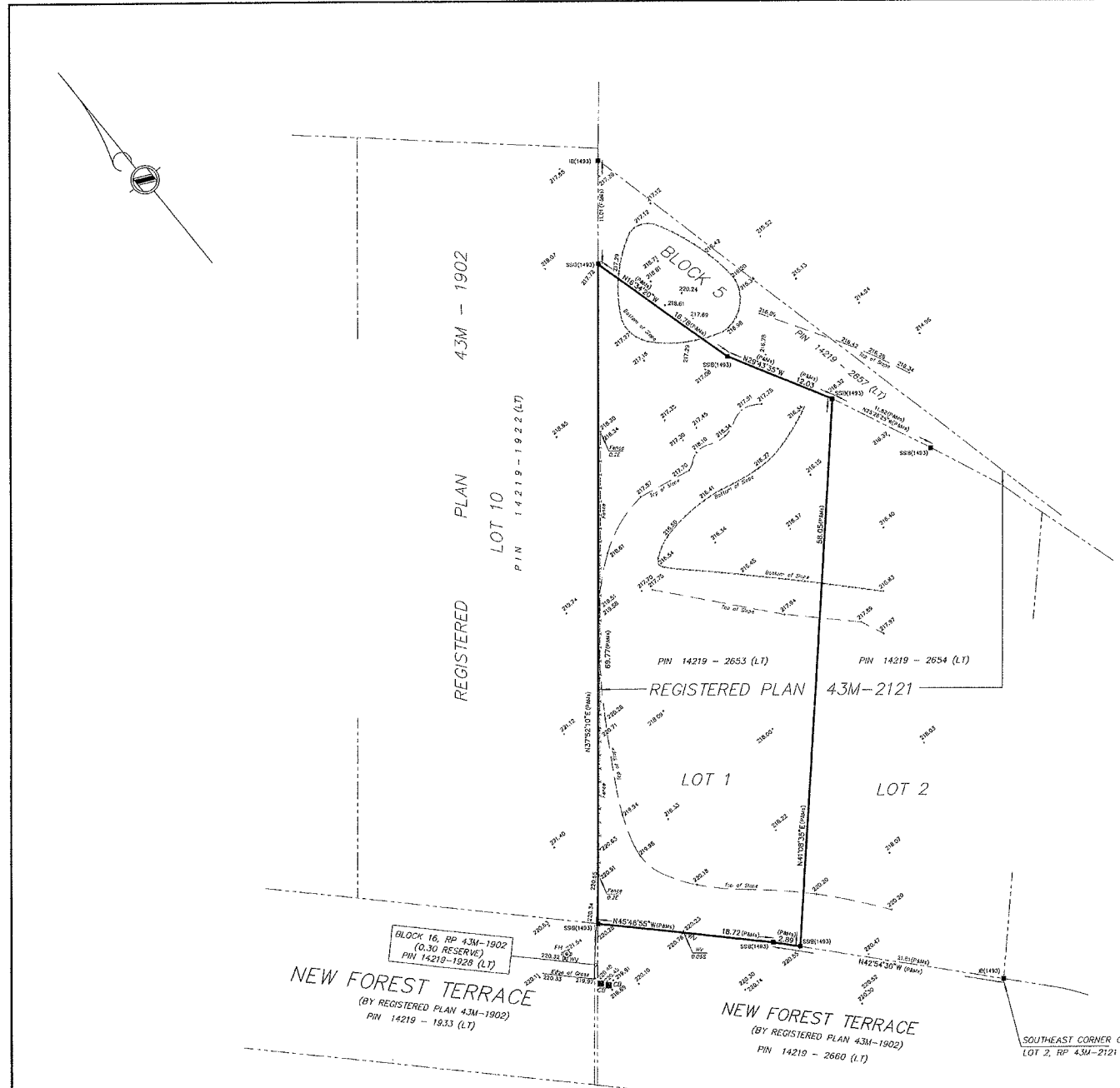
Approved Exterior Colours Package:

Brick: Sutton (Meridian)  
Stone: Adair Parliament (Arriscraft)  
Shingles: Dual Black (IKO- Cambridge)

\*- Electronic copy was submitted.

Processed by: Joanny Law





PLAN OF SURVEY  
SHOWING TOPOGRAPHIC FEATURES ON  
**LOT 1, REGISTERED PLAN 43M-2121**  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL  
SCALE 1:300  
MAURO SURVEYING INC.  
ONTARIO LAND SURVEYORS  
© 2023

**METRIC**  
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.


**BEARING NOTE**  
BEARINGS ARE UTM GRID, BY REAL TIME NETWORK (TOPNET)  
OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS)(2010).

**BENCHMARK NOTE**  
ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE  
CITY OF BRAMPTON, BENCHMARK #042920179(1978 ADJUSTMENT) HAVING A  
PUBLISHED ELEVATION OF 230.70 METRES.

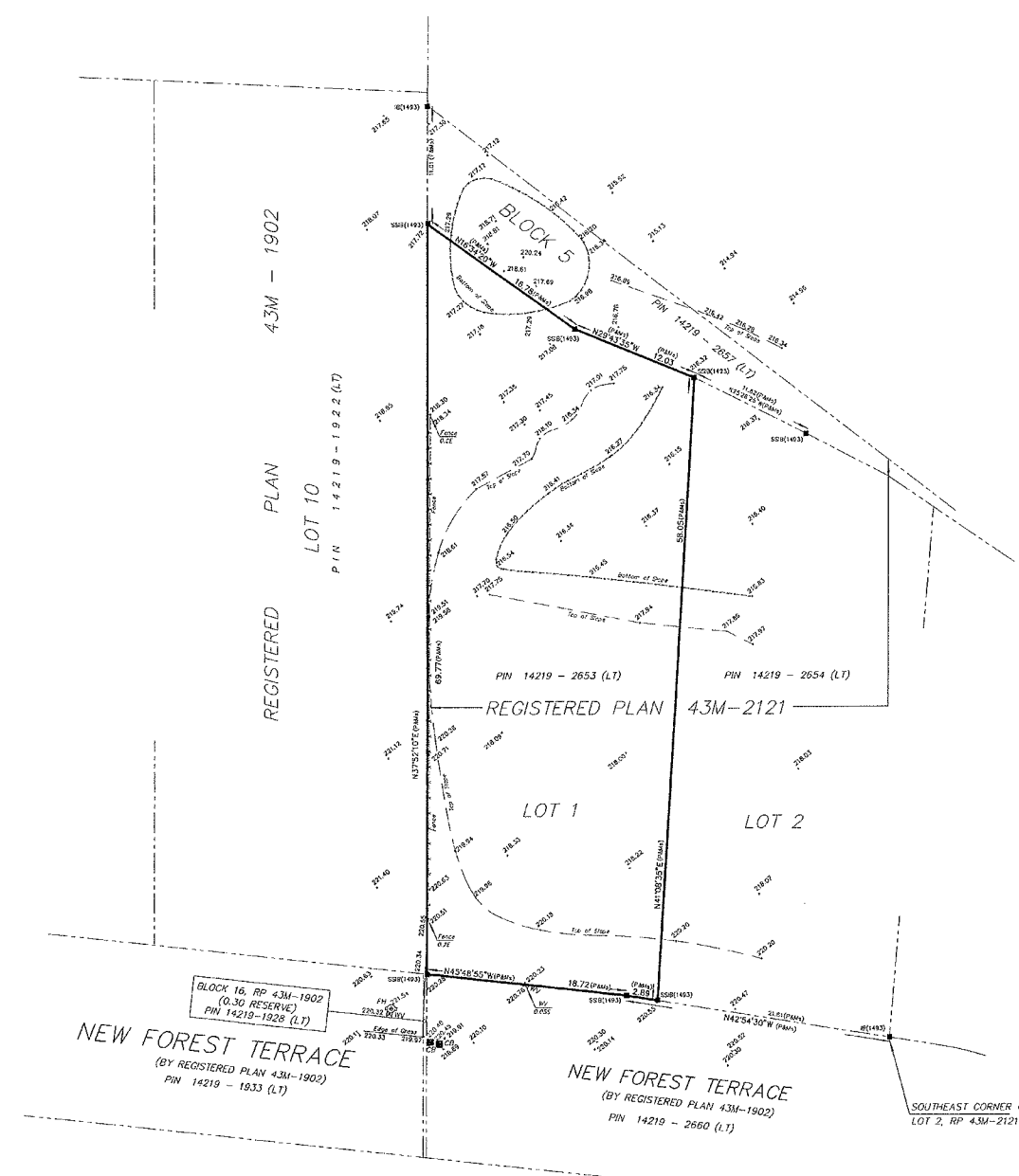
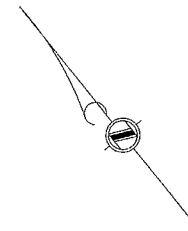
- LEGEND**
- DENOTES FOUND BAR
  - DENOTES PLANTED BAR
  - SIB DENOTES STANDARD IRON BAR
  - SSIB DENOTES SHORT STANDARD IRON BAR
  - ID DENOTES IRON BAR
  - M.S DENOTES MEASURED
  - P DENOTES 43M-2121
  - (1493) DENOTES YOUNG AND YOUNG SURVEYING INC., O.L.S.
  - (921) DENOTES P. SALHA, C.L.S.
  - CB DENOTES CATCH BASIN
  - HWV DENOTES WATER VALVE
  - N DENOTES NORTH
  - E DENOTES EAST
  - W DENOTES WEST
  - S DENOTES SOUTH

**SURVEYOR'S CERTIFICATE**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH  
THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS  
MADE UNDER THEM.  
2. THE SURVEY WAS COMPLETED ON THE 15TH DAY OF FEBRUARY 2023

FEB 27, 2023  
DATE  
G. Sundar  
GANESH SUNDAR B.Eng.  
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM V-45319	 <b>MAURO GROUP INC.</b> ONTARIO LAND SURVEYORS
2 HOLLAND DRIVE, UNIT 5, BOLTON, ONTARIO L7E 1E1 PHONE: 905.951.6000 - FAX 905.857.4911 www.youngsurveying.ca - info@youngsurveying.ca	
PARTY CHIEF: JK/KR   DRAWN BY: LV   CHECKED BY: GS	
CLIENT: KHANGURA, SATNAM	
PATH: F:\PROJECTS\2014\B6726\W3CA0\B6726_POS.DWG	
<b>PROJECT No. 14-B6726</b>	

THIS PLAN IS NOT VALID  
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ORIGINAL COPY  
ISSUED BY THE SURVEYOR  
in accordance with  
Regulation 1026, Section 29(3).



PLAN OF SURVEY  
SHOWING TOPOGRAPHIC FEATURES ON  
**LOT 1, REGISTERED PLAN 43M-2121**  
CITY OF BRAMPTON  
REGIONAL MUNICIPALITY OF PEEL  
SCALE 1:300  
MAURO SURVEYING INC.  
ONTARIO LAND SURVEYORS  
© 2023

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V-45319

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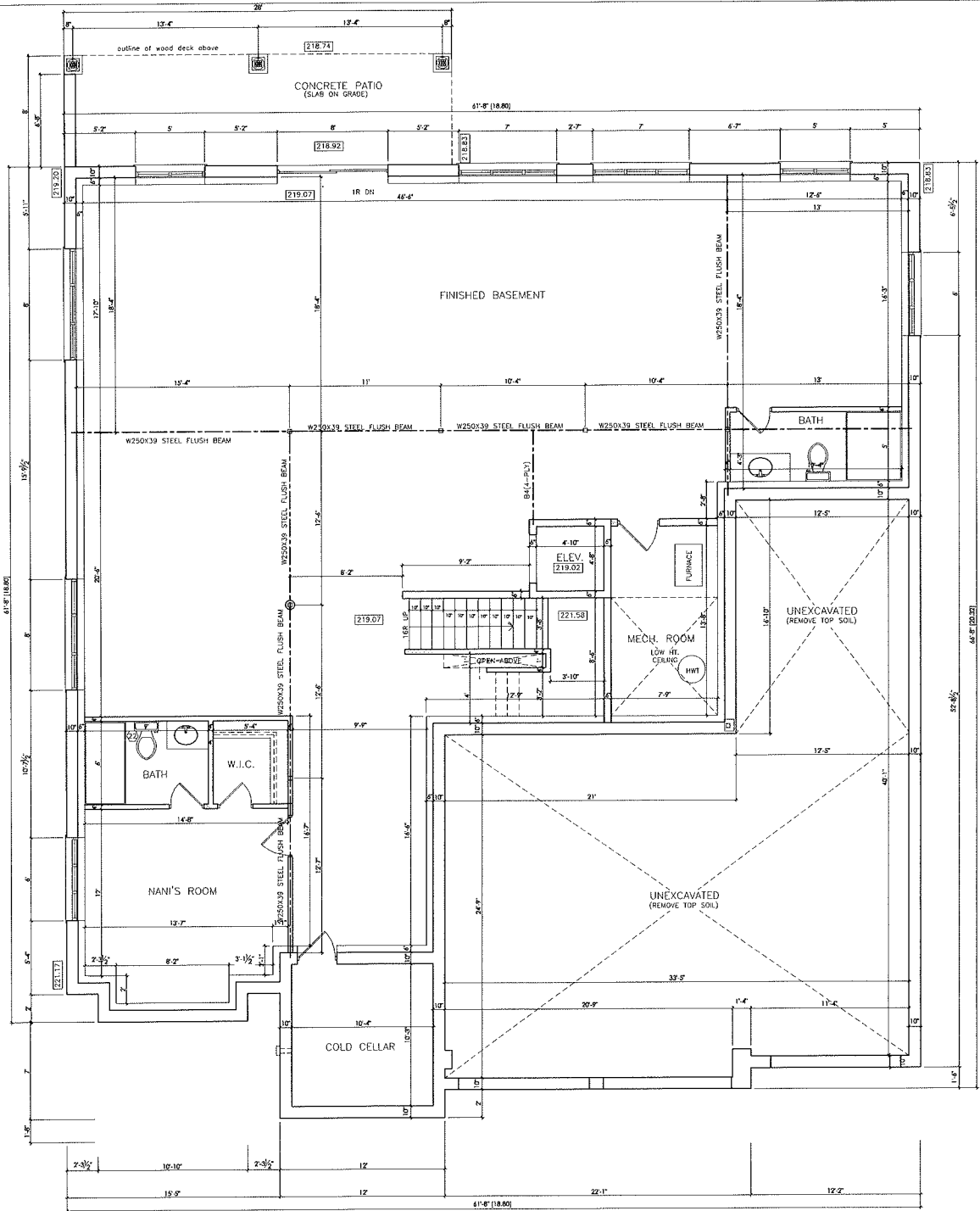
**MAURO GROUP INC.**  
ONTARIO LAND SURVEYORS

2 HOLLAND DRIVE, UNIT 5, BOLTON, ONTARIO L7E 1E1  
PHONE 905.951.6000 - FAX 905.857.4811  
www.youngsurveying.ca - info@youngsurveying.ca

PARTY CHIEF: JC/KR | DRAWN BY: LV | CHECKED BY: GS  
CLIENT: KHANGURA, SATNAM  
PATH: F:\PROJECTS\2014\B6726\MSCAD\B6726\_P05.DWG

**PROJECT No. 14-B6726**





PROPOSED BASEMENT PLAN  
SCALE: 1/4" = 1'-0"

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5.	ISSUED FOR COA	12/06/2023
4.	ISSUED FOR BUILDING PERMIT	11/16/2023
3.	ISSUED FOR GRADING APPROVAL	11/01/2023
2.	REVISED AS PER PLANNER COMMENTS	05/18/2023
1.	ISSUED FOR URBAN PLANNER	04/03/2023
NO.	DESCRIPTION	DATE
REVISIONS		

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED BASEMENT PLAN

SPA FILE No.: SPA-2023-XXXX

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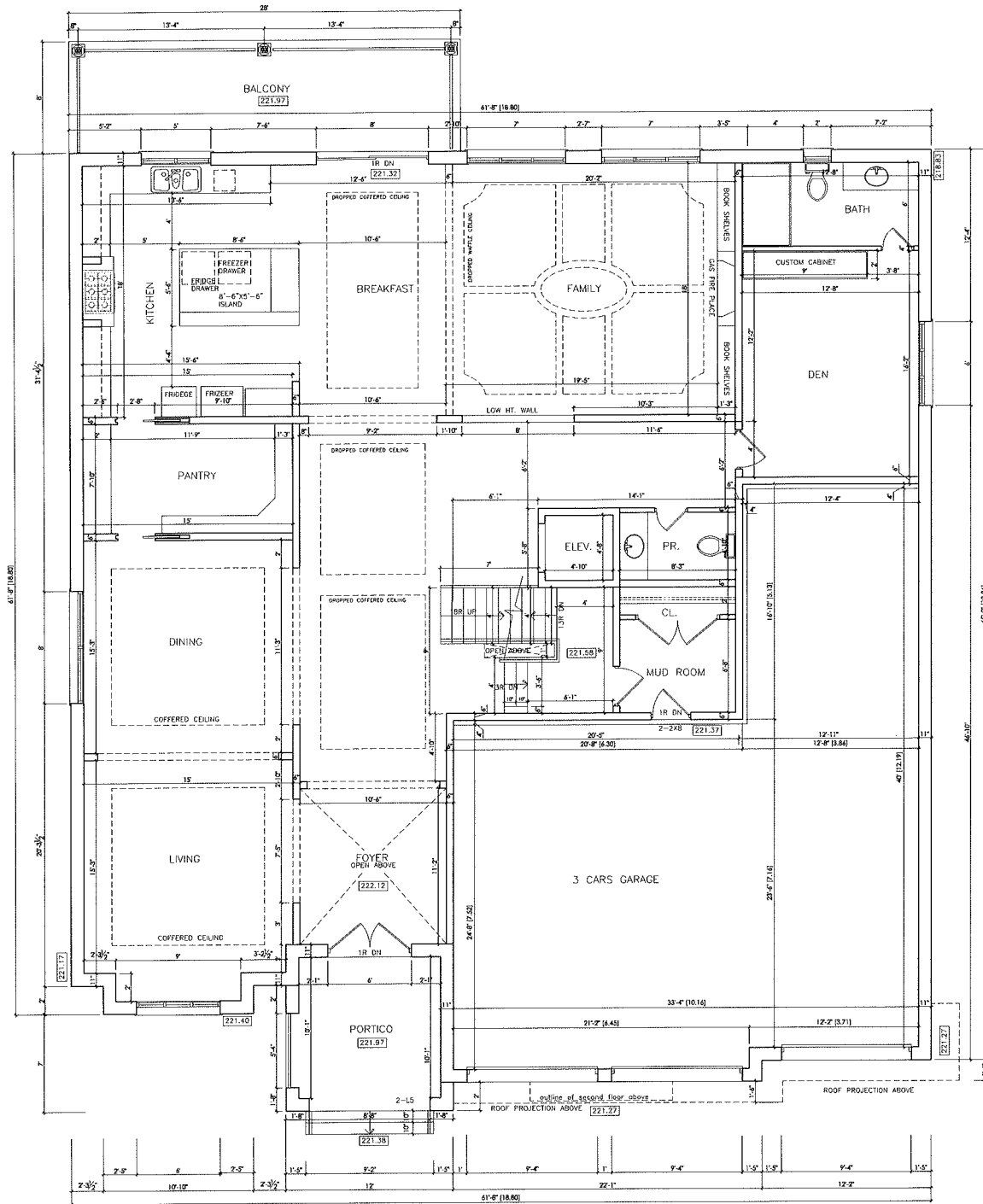
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PROJECT CO-ORDINATOR:  
**APM**  
DRAFTING & CONSULTING INC.  
25 JANSUDE RD. UNIT # 203, TORONTO, ON M9W 4Y4  
CELL: 416-884-8945 EMAIL: knsulbar@gmail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	A3
DATE: AUG/19/2022	
SCALE: AS NOTED	





PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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NO.	DESCRIPTION	DATE

PROJECT NAME:  
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE  
BRAMPTON, ON

SHEET TITLE:  
PROPOSED FIRST FLOOR PLAN

SPA FILE No.: SPA-2023-XXXX

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PROJECT CO-ORDINATOR:  
**ARM**  
DRAFTING & CONSULTING INC.  
25 JANSUSIE RD, UNIT B 225, TORONTO ON M9W 4V4  
CELL: 416-814-9345 EMAIL: [consulting@arm.ca](mailto:consulting@arm.ca)

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	
DATE: AUG/19/2022	
SCALE: AS NOTED	

A4

# Zoning Non-compliance Checklist

File No.  
A-2024-0004

Applicant: Kaushik Suthar  
Address: 25 New Forest Terrace  
Zoning: R1E-20-2909  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH	To permit an interior garage width of 54% of the dwelling unit width,	whereas the by-law permits a maximum interior garage of 50% of the dwelling unit width on lots having a lot width greater than 14 m.	13.4.2(j)(5)
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2023/12/20

Date