# Flower City



For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete)

FILE NUMBER:

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

# **APPLICATION Minor Variance or Special Permission**

(Please read Instructions)

NOTE:	It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.
	The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law <b>270-2004</b> .

1.	Name of Owner(s) SATNAM KHANGURA  Address 7622 REDSTONE RD., MISSISSAUGA ON L4T 2B9
	Phone # 647-625-2425 Fax # Email SATNAMKHANGURA@YAHOO.COM
2.	Name of Agent KAUSHIK SUTHAR Address 209 - 25 JANSUSIE ROAD, TORONTO, ON , M9W 4V4
	Phone # 416-884-9945
3.	Nature and extent of relief applied for (variances requested):  1. Garage width is wider than 50% of dwelling width. Proposed garage width is 10.44m & Proposed dwelling width is 8.36m.  2. Proposed building Height is 10.81m where as zoning by-law require is 10.60m.
4.	Why is it not possible to comply with the provisions of the by-law?  1. As per urban planning guide line, all existing houses have three car garage and most probably garage width is wider than dwelling width. We follow urban planning guide line and drawings approved by urban planner and maintaining street landscape and view.  2. Lot has downhill slope towards rear lot line.
5.	Legal Description of the subject land:  Lot Number LOT 1  Plan Number/Concession Number  Municipal Address 25 NEW FOREST TERRACE
6.	Dimension of subject land (in metric units)  Frontage 21.16m  Depth 69.77m  Area 1478.24 sq.mts.
7.	Access to the subject land is by:  Provincial Highway  Municipal Road Maintained All Year  Private Right-of-Way  Seasonal Road  Other Public Road  Water

Particulars of all buildings and structures on or proposed for the subject

8.

			ground floor area, gross floor area, number of etc., where possible)
		SS/STRUCTURES on	the subject land: List all structures (dwelling, shed, gazebo, etc.)
	VACANT LOT		
	PROPOSED BUILDI	NGS/STRUCTURES o	on the subject land:
			velling with finished basement.
			q.mts. Proposed foot print area: 374.59 sq.mts.
	Proposed dwelling Proposed dwelling	-	
	Toposea awening	g lenght. 10.00m	
	Lagation of all	h:  dimana_ama _a4	mustume on an anapassad families subject lander
•		•	tructures on or proposed for the subject lands: and front lot lines in metric units)
	(specify distant	ce irom side, rea	ir and front lot lines in <u>metric units</u> )
	EXISTING		
	Front yard setback		
	Rear yard setback Side yard setback		Professional Control of the Control
	Side yard setback		
	PROPOSED		
	Front yard setback	11.07m	
	Rear yard setback Side yard setback	25.89m 1.64m	
	Side yard setback	1.85m	
).	Date of Acquisition	of subject land:	APRIL 2022
١.	Existing uses of sul	oject property:	VACANT LOT
2.	Proposed uses of s	ubject property:	RESIDENTAIL DWELLING
3.	Existing uses of abo	utting properties:	VACANT LOT AND DETACHED DWELLING
١.	Date of construction	n of all buildings & st	ructures on subject land: N/A
5.	Length of time the	existing uses of the su	ubject property have been continued: N/A
(a)		s existing/proposed?	•
	Municipal 🛂	<u>'</u>	Other (specify)
	vveii _	_	
(b)	_ <u></u>	sal is/will be provided	
	Municipal 🛂	5	Other (specify)
(~ \	•	a avalan la ambila es	nvon
(c )	What storm drainage Sewers	je system is existing/ <sub>[</sub> ]	proposea?
	Ditches		Other (specify)
	Swales		

17.	Is the subject property the subj subdivision or consent?	ect of an application ur	nder the Planning Act, for approval of a plan of	
	Yes No			
	If answer is yes, provide details	: File#	Status	
18.	Has a pre-consultation application	on been filed?		
	Yes No 🗹			
19.	Has the subject property ever b	een the subject of an ap	plication for minor variance?	
	Yes No	Unknown		
	If answer is yes, provide details	: ,		
	File# Decision		Relief	
	File # Decision  File # Decision		Relief	•
		,		
		- Circ	X. U. Suthan	
DAT	ED AT THE CITY	of Byou	nature of Applicant(s) or Authorized Agent	
	11th IT	nuan, 2024	MINOVI-	
THIS		, T	ANY DEDOON OTHER THAN THE OWNER OF	
THE SUE	SJECT LANDS, WRITTEN AUTHO	RIZATION OF THE OWN	R ANY PERSON OTHER THAN THE OWNER OF ER MUST ACCOMPANY THE APPLICATION. IF	
	PLICANT IS A CORPORATION, ATION AND THE CORPORATION		HALL BE SIGNED BY AN OFFICER OF THE IXED.	
	1	, OF TH	E City OF Bramotor	1
INI TUI	FRANK OF PR		DECLARE THAT:	.
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IN THE	Ken Lori OF			
ree	THIS DAY OF		R. N Sitthers	
San	Clara V	ani Si <b>rissioner, etc.</b> ,	gnature of Applicant or Authorized Agent	•
		of Ontario, Corporation of the		
	A Commissioner etc. City of	Brampton		
Г	Expires	September 20, 2026 FOR OFFICE USE ON	ILY	1
	Present Official Plan Designation	on:		
	Present Zoning By-law Classifi		R1E-20-2909	
			riances required and the results of the	
		ew are outlined on the atta		
	Shiza Athar		2023/12/20	
	Zoning Officer		Date	
	DATE RECEIVE	Janua	in 4. 2024	4
	Date Application Deeme	d	Revised 2022/02/17	
	Complete by the Municipalit	у		

# **APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 25 NEW FOREST TERRACE
I/We, SATNAM KHNAGURA  please print/type the full name of the owner(s)
the undersigned, being the registered owner(s) of the subject lands, hereby authorize
KAUSHIK SUTHAR
please print/type the full name of the agent(s)
to make application to the City of Brampton Committee of Adjustment in the matter of an application for minor variance with respect to the subject land.
Dated this 6 day of DEC , 2023.
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

# **PERMISSION TO ENTER**

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 25 NEW FOREST TERRACE

I/We, SATNAM KHANGURA

please print/type the full name of the owner(s)

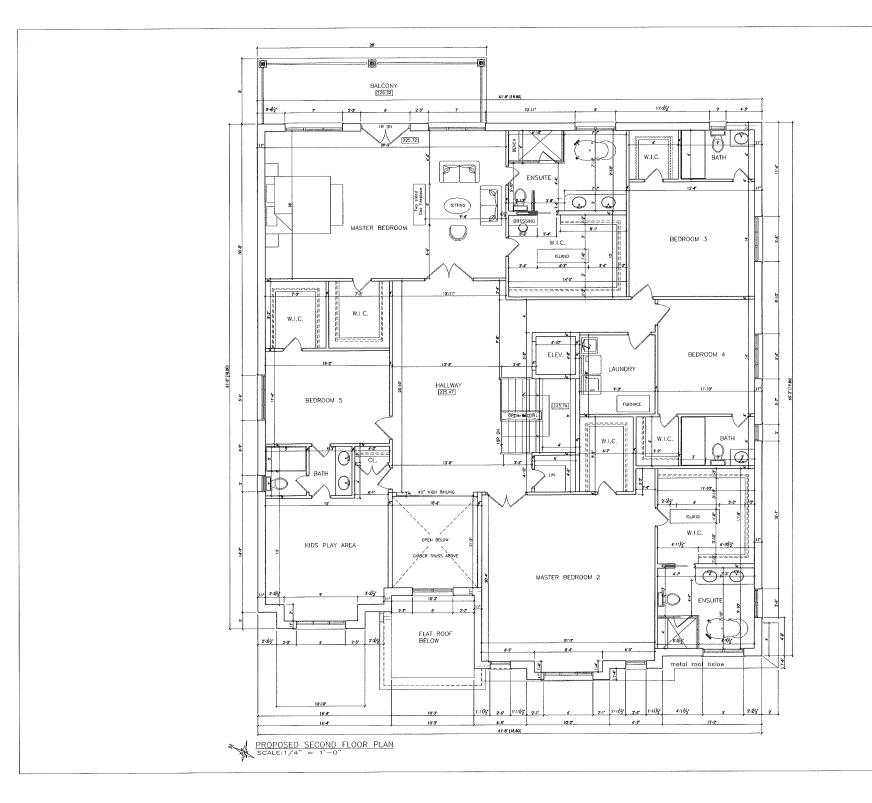
the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 6	say of	DEC			, <b>20</b> <u>23</u> .	
(signature of the	a.owners), o	or where the o	wner is a firm oi	corporation, t	the signature of an o	fficer of the owner.)
(whore t	an aumar in	a firm or corno	ration places n	rint or type the	full name of the no	ron cigning )

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



The contractor must verify and accept responsibility for all dimensions and conditions on site and must nobify the Designer/Engineer of any varietions from the supplied information.

This drawings is not to be scaled.

The Designer/Engineer is not responsible for the accuracy of survey, mechanical, electrical, etc. information shown on the drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and beer costs for any corrections or domages resulting form his work.

The Dealgner/Engineer retains awnership of copyright in all these drawings. You are granted a license to construct, reproduce, distributes, exhibit or otherwise use, said materials, in accordance with this agreement.

NO.	DESCRIPTION	DATE
1.	ISSUED FOR URBAN PLANNER	04/03/2023
2	REVISED AS PER PLANNER COMMENTS	05/18/2023
3.	ISSUED FOR GRADING APPROVAL	11/01/2023
4.	ISSUED FOR BUILDING PERMIT	11/16/2023
5.	ISSUED FOR COA	12/06/2023
6.		
8.		
9.		

PROJECT NAME:

PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

SHEET TITLE

PROPOSED SECOND FLOOR PLAN

SPA FILE No.: SPA-2023-XXXX

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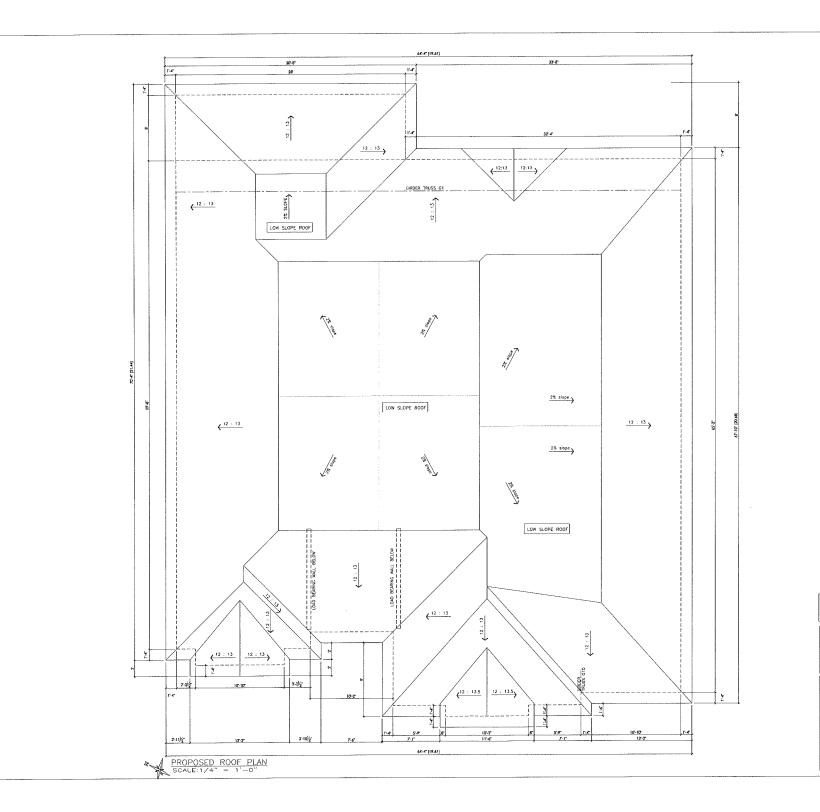
PROJECT CO-ORDINATOR:



DRAFTING & CONSULTING INC.

25 JANSUSIE RO, UNIT # 209,TORONTO ON M9W 4V4 CELL: 416-884-9945 EMAIL:knsuthar@gmail.com

PRINT DATE:	PROJECT NO:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	A .
DATE: AUG/19/2022	Ab
SCALE: AS NOTED	, <b>.</b>



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PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

PROPOSED ROOF PLAN

SPA FILE No.: SPA-2023-XXXX

NOTES:

PROVIDE POSTS UNDER ALL BEAMS /GIRDER TRUSSES, ETC. POSTS ARE TO RUN CONTINUOUS TO THE FOUNDATION OR EQUIVALENT SUPPORT.

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WHEN TRUSS LAYOUT IS DIFFERENT FROM WHAT IS SHOWN ON PERMIT PLANS AND SOLID BEARING OF GIRDER TRUSS IS SITTING ON WINDOW'S LINTEL. LINTEL SHALL BE DESIGNED BY TRUSS MANUFACTURER.

CONTRACTOR MUST ENSURE ALL GABLES TO LINE UP UP
WITH NEW WINDOWS/DOORS BELOW AS PER
ELEVATIONS VERIFY ALL DIMENSIONS PRIOR TO
CONSTRUCTION.

THESE DESIGNS AND DRAWINGS ARE THE COPYRIGHED PROPERTY OF DESIGNERS/CHRISCERS AND JAM NOT BE REPODUCED EXCITE WITH SECURE WHITE INCOMENT THE CONSENT THE CONTRACTOR MUST CHECK AND VERIFY ALL DRAWSONS OF THE JOB AND BE RESPONSIBLE FOR SAME REPORTING ANY DISCREPANCIES TO THE SENGRE PROPERTY DISCREPANCIES TO THE DESIGNER EFFORT COMMERCIAN WORK. DRAWINGS NOT TO BE SCALED

PROJECT CO-ORDINATOR:

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DRAFTING & CONSULTING INC. 25 JANSUSIE RD, UNIT B 209,TORONTO ON M9W 4V4 CELL: 416-884-9945 EMAIL:knsuthar@gmail.com

SHEET NO.

DRAWN BY: FLORA CHECKED BY: K.S. **A6** DATE: AUG/19/2022 SCALE: AS NOTED



PROPOSED FRONT ELEVATION SCALE: 1/4"≈1'-0" The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied information.

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PROJECT NAME:

PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

SHEET TOLE:

PROPOSED FRONT ELEVATION

SPA FILE No.: SPA-2023-XXXX

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PROJECT CO-ORDINATOR:



DRAFTING & CONSULTING INC.
25 JANSUSIE RD, UNIT # 229,TORONTO DN H9W 4V4
CELL: 416-884-9945 EMAIL:Assubhar@gasil.com

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NO.	DESCRIPTION	DATE

PROJECT NAME:

PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

SHEET TITLE:

PROPOSED RIGHT SIDE ELEVATION

SPA FILE No.: SPA-2023-XXXX



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PROJECT CO-ORDINATOR:



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SCALE: AS NOTED	



PROPOSED REAR SIDE ELEVATION SCALE; 1/4"=1'-0"

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PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

SHEET TITLE:

PROPOSED REAR ELEVATION

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CELL: 416-884-9945 EMAIL:knsuthar@gmail.com

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CHECKED BY: K.S.
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ANE: AUG/19/2022
SCALE: AS NOTED

PROJECT NO.:

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PROPOSED LEFT SIDE ELEVATION SCALE; 1/4"=1"-0"

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PROJECT NAME:

PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

SHEET TITLE

PROPOSED LEFT ELEVATION

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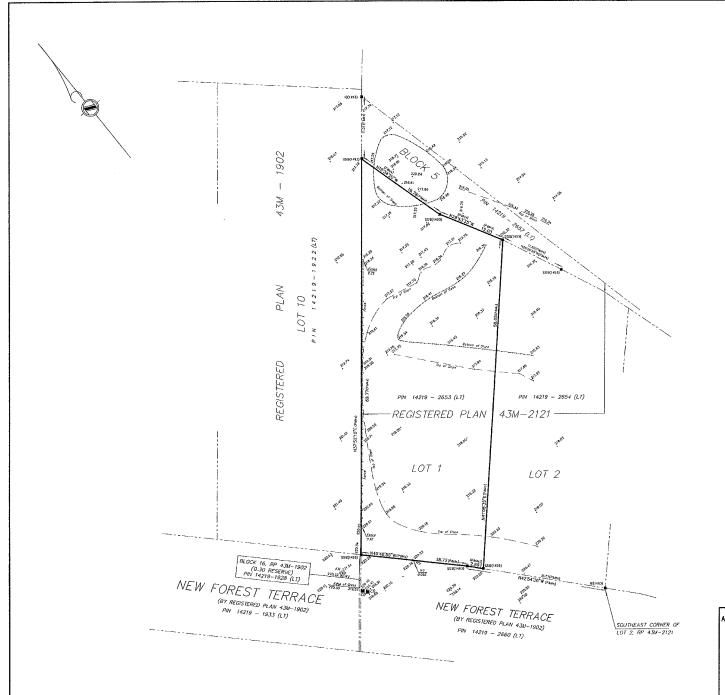
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PLAN OF SURVEY

SHOWING TOPOGRAPHIC FEATURES ON

# LOT 1, REGISTERED PLAN 43M-2121

CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

MAURO SURVEYING INC.

ONTARIO LAND SURVEYORS © 2023

## **METRIC**

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE
BEARINGS ARE UTM ORID, BY REAL TIME NETWORK (TOPMET)
OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS)(2010).

# BENCHMARK NOTE

ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE CITY OF BRAMPTON, BENCHMARK #042920179(1978 ADJUSTMENT) HAVING A PUBLISHED ELEVATION OF 230.70 METRES.

DENOTES FOUND BAR DENOTES PLANTED BAR DENOTES PLANTED BAR
DENOTES STANDARD IRON BAR
DENOTES SHORT STANDARD IRON BAR
DENOTES IRON BAR
DENOTES MEASURED SIB SSIB IB Ms

DENOTES 43M-2121

DENOTES YOUNG AND YOUNG SURVEYING INC., O.L.S. DENOTES P. SALINA, O.L.S. DENOTES CATCH BASIN

(1493) (921) **E**CB NWV DENOTES WATER VALVE
DENOTES NORTH
DENOTES EAST
DENOTES WEST
DENOTES SOUTH

# SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
- 2. THE SURVEY WAS COMPLETED ON THE 15TH DAY OF FEBRUARY 2023

FEB. 27,2003

GANESH SUNDAR B.Eng. ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM V-45319

ORIGINAL COPY ISSUED BY THE SURVEYOR

In accordance with Regulation 1026, Section 29(3)

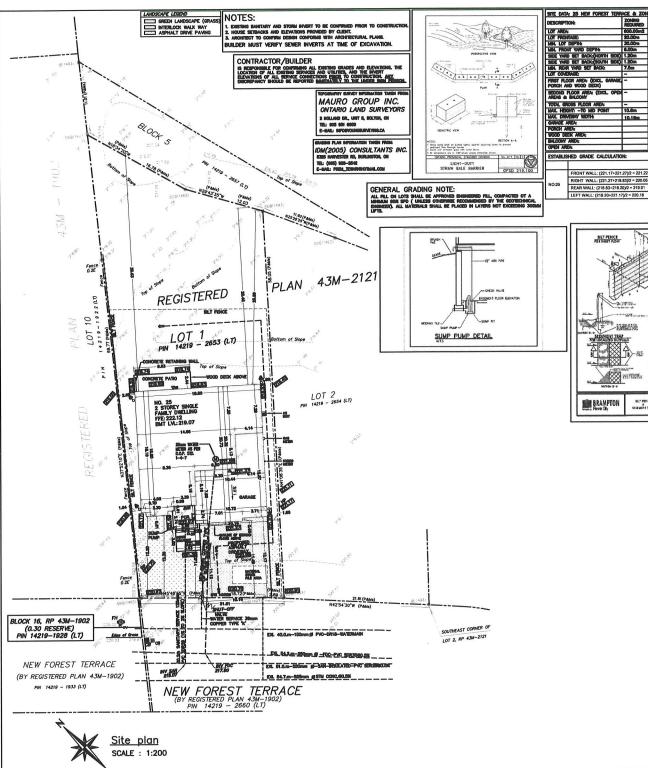


MAURO GROUP INC. ONTARIO LAND SURVEYORS

2 HOLLAND DRIVE, UNIT 5, BOLTON, ONTARIO LTE 161
PHONE 995,951,6000 - FAX 905,857,4811
www.youngsurveying.co - info®youngsurveying.ca
Y CHIEF: JK/KR | DRAWN BY: LV | GHEKEL BY: GS

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED PATH# F:\PROJECTS\2014\B6726\MSCAD\B6726\_PGS.DWG

PROJECT No. 14-B6726



SITE DATA: 25 NEW POREST TERRACE & ZONING: R1E-20-2909 952.11m2 TOTAL GROSS FLOOR AREA: - 612.85m MAX. HEIGHT: -TO MID POINT 10.6m 10.47m 11.33m2 20.82m2

FRONT WALL: (221.17+221.27)/2 = 221.22

AVERAGE GRADE RIGHT WALL: (221.27+218.83)/2 = 220.05 REAR WALL: (218 83+219 20V2 = 219.01

- Mark

CANCEL PROPERTY.

MANAGE STATE

STATE OF THE PERSON NAMED IN

- 2) SIDEWALK TO BE REMOVED AND REPLACED AS PER
- 3) DOWNSPOUTS TO DISCHARGE ON TO THE GROUN WA SPLASH PADS. DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKINAYS.
- 1) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN BE
- 5) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF
- WHERE GRADES IN EXCESS OF ON AME REQUIRED, THE MANNAM SLOPE SHALL BE 3:1. GRADE HANGES IN EXCESS OF 1.0m AME TO BE ACCOMPLISHED BY USE OF RETAINING WALL RETAINING WALLS HANGER THAN O.6m SHALL HAVE A FENCE INSTALLED ON
- 7) ALL DISTURBED ANEA MUST BE SEEDED OR SODDED. TOPSOIL TO BE AT LEAST 100mms.
- B) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
- I) ORADE DEPTRIBUCIOS RETURBA HOUSING UNITS SHALL.

  EL MANGEZIO, ESPECIALLY WEIER NEU DEVILOPIGATIS.

  REL MANGEZIO, ESPECIALLY WEIER NEU DEVILOPIGATIS.

  RIAUT DESTRUCE LOCAL OTHERS SHALL NOT ES CRATER

  THAN THAT ACREMEN BY STRUCKE A 35 GRADE

  RETURBEN THE UNITS, DEVILOPIGANETS, THE VETTICAL,

  DISTANCE ENTRIES HACE BOOKD LEVEL AY THE REAR

  WALL OF AUDIES WHICH BACK ONTO
- 10) DRIVENAY PORTION WITHIN THE MUNICIPAL DOLL FORM MINT BE PAYED.
- 11) THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH
- 12) WHEREVER POSSIBLE, A 0.6m SEPARATION SHALL BE
- 13) IN THE EVENT THAT THE GRADNO HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL PROM THE OWNER OF THE PROPERTY SHALL BE OSTANED AND ENDORSED BY THE CITY OF BRAMPTY WORKS AND TRANSPORTATION DEPARTMENT.
- 14) ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED, AND DISCONAIGED AT A LOCATION TO BE APPROVED PROST TO THE ISBLANCE OF A BUILDING PERSIAT. DRAINAGE OF ABUITING PROPERTIES SHALL NOT BE ADMISSIBLY APPOETED.
- ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWNINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PROMICIAL STANDARDS AND SPECIFICATIONS

FR	ONT YARD LANDSCAPE CALCULATION	ON
A	TOTAL FRONT YARD -	288.27 m2
В	DRIVEWAY AREA -	117.43 m2
C	% OF TOTAL FRONT YARD AREA (A) -	17.27 %
D	TOTAL LANDSCAPE AREA	138.84 m2
E	SOFT LANDSCAPE AREA	128.88 m2
F	HAND LANDSCAPE (STEPS, WALKSKY) =	11.98 m2
-	OF THE IMPROVED AND AND AND	A 67 W

## NOTE: -

- A) ALL WORKING DIMINIONS SUBMITTED TO THE BUILDING DAYSION AS PART OF A BUILDING PURBLET APPLICATION SHALL BE IN CONFORMITY WITH THE APPROVED SITE FLAN DIMINIONS AS APPROVED BY THE DEVELOPMENT SERVICES DANSION.
- B) THE CHIERE IS RESPONSIBLE FOR EMBURNO THAT TIREE PROTECTION HOMEORY, PLACED AT THE DRIP LINE OF THE TREES, IS MANIFABLE THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTITUTION IN THE LOCATION AND CONSTITUTION IN THE PLANSIBLE AND BUILDING DAYSION. NO INTERNALS (LE BUILDING INTERNALS, SOIL, CONSTRUCTION VENICLES, EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF
- HOMODON.

  (5) SHOULD THE RETALLATION OF BELOW GROUND SERVICES REGUME
  HOMODON TO BE RESOLVED, PLANEING STAFF ARE TO BE CONTROTTED
  PRIOR TO THE COMMERCEMENT OF SUCH WICK. STAFF ARE
  SERVICE ROUTE HOT BE FORBELL, STAFF WILL, DEVECT AND DOCUMENT
  THE CONSTRUCT OF THE VERSITION AND SERVICIONS SERVILLATION OF ROUTE
  (5) THE DISSIPPO ON—THE VERSITION AND SERVICION SERVILLATION OF OTHER

  (5) THE DISSIPPO ON—THE VERSITION SHALL BE MANTARED.
- CONDES MUST BE MET WHICH SIJE MANIMAL SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

  F) ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE BISTILLIDION OF THE HOMBON THAT LIES WITHIN THE LIMITS OF THE CITY BOULEWAD AREA.
- BOULEWID MEA.

  (9) THE OWNER (OR APPLICANT AS APPLICABLE) WILL BE RESPONSIBLE FOR
  THE COST OF MAY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN
  APPROVAL AND BUILDING PERMIT.
- APPROVIL AND BURNET PERSON.

  IT THE STRUCTURAL DESIGN OF ANY PEZICIONE WILL OVER 0.00 M (2.00 PT.) IN HORSELT OR ANY PEZICIONE WILL LOCATED ON A PROPERTY LIFE IS SHOWN ON THE SIZE PLAN AND GROWING PLAN AND IS TO BE APPROVIDED BY THE COMPULATION DIMEREES FOR THE PROJECT.

  IT PROTECTIONS OF THE DIMEREES WITHEN THE MINISCIPPAL BOULEMED WILL BE PAND BY THE OWNER AT THEIR OWN DOTTORS.
- EE PAND OF THE OWNER AT THER OWN EXPOSE.

  A) AT THE DISTRICTION TO THE SITE, THE MANDOFFIL CURB AND SIGEMALK WILL BE CONTRIBUTED THE DEVELOP AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH DISTRICT.

  (5) ALL PROPOSED CURBON AT THE DISTRICTS TO THE SITE BOT THE MANDOFFIL STORMANCE AT THE PROPERTY LOS OF AT THE MANDOFFIL. SITE IN THE PROPERTY LOS OF AT THE MANDOFFIL. SITE IN COLUMNICAL WAY THE MANDOFFIL SITE OF THE M
- LO ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOPSOIL AND SOD POLLDWING CONSTRUCTION ACTIVITY.
- II) ANY COS BOULEWIND TREES DAMAGED OR REMOVED ANE TO BE REPLACED WITH MINIMAN FORM CALIFER DECIDIOUS TREES TO THE SATISFACTION OF THE COS AT THE OWNER'S EXPEN
- O) ALL DICESS DICHMITED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.

  P) THERE ARE EXISTING EASEMENTS ON THE PROPERTY.

# SITE PLAN FOR

LOT 1

REGISTERED PLAN 43M-2121 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

#### BEARING NOTE

BEARINGS ARE UTM GRID, BY REAL TIME NETWORK (TOPNET) OBSERVATIONS, UTM ZONE 17, NADS3 (CSRS)(2010).

#### BENCHMARK NOTE

ELEVATIONS HENEON AND GEODETIC IN CRIGIN AND WEFE DESIGNED FROM THE CITY OF BRAMPTON, EDISCHMARK GALESCATOR(1978 GAUSTMENT) HAVING A PUBLISHED ELEVATION OF 230.70 METRES.

### LEGENDS

	DENOTES PLANTED BAR
SIB	DENOTES STANDARD IRON BAR
SSIB	DENOTES SHORT STANDARD IRON BAR
IB	DENOTES IRON BAR
Ms	DENOTES MEASURED
P	DENOTES 43M-2121
(1493)	DENOTES YOUNG AND YOUNG SURVEYING INC., O.L.S.
(921)	DENOTES P. SALMA, O.L.S.
E con	DENOTES CATCH BASIN
M WV	DENOTES WATER VALVE
N	DENOTES NORTH
E	DENOTES EAST
W	DENOTES WEST
S	DENOTES SOUTH
40	DEMOTES DAM WATER LEADER

#### REGION OF PEEL NOTES

WATERMAIN AND/OR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE OR 18 P.V.C. PIPE MANUFACTURED TO A.W.W.A. SPEC. C000-16 SPEC COMPLETE WITH TRACER WIFE. SUE SOMI, C2") AND SMALLER MUST BE TYPE 'X SOFT COPPER PIPE PER A.S.T.M. 888-49 SPECIFICATION.

PROVISIONS FOR FLUSHING WATER LINE FRANCE TO TESTING, ETC. AMUST BE PROVIDED WITH A LEAST A 50 ms GT DOTLET ON A 100mm (F) MOD LARGER PROVIDED WITH A LEAST A 50 ms GT DOTLET ON A 100mm (F) MOD LARGER EXCE AS THE LINE. THEY MUST ALSO BE HOSE ONE PROPER TO A LLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES, FLUSHING OUTLET TO BE GOM me (F) DAMETER WANDLU ON A 1170PART

ALL CURB STOPS TO BE 3.0 m (10") OFF THE FACE OF THE BUILDING UNLESS

HYDRANT AND VALVE SET TO REGION STANDARD 1-8-1 DIMENSION A AND B, 0.7 m (2) AND 0.9 m (3) AND TO HAVE PUMPER NOZZLE

WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR

WATERMAINS MUST HAVE A MINIMUM CLEARANCE OF 0.3 m (12") OVER / 0.5 m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING

ALL PROPOSED WATER PIPNG MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PROOF TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION SHY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARSING FROM SUCH INSPECTION.

ALL PROPOSED WATER PIPMO MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8.

- A) ALL EMERTING THEES, WHICH ARE TO REMAIN, MUST BE FULLY PROTECTED WITH HOMODON WHICH SHALL BE EMERTED BECYCLO THE OFFI LIKE, ALL THEE, PRESENTATION BEFORE MINE ERROR PROTECTIONED PRIOR TO 150 NO. MONEY STATEMENT OF VEHICLES IN PROTECTION MONEY FEBRUARY OF VEHICLES IN PROTECTION HIT THE THE PROTECTION

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  AREA OF THE REMANDANCE OF THE TIME PROTECTION AND THE TIME PROTECTION OF THE PROTECTION OF THE TIME PROTECTION OF THE TIME THE STORAGE OF THE STORAGE
- TREE PROTECTION HOARDING MUST NOT BE REMOVED UNTIL THE COMPLETION OF BUILDING CONSTRUCTION.



The contractor must verify and eccept responsibility for all dimensions and conditions on allo and must saidly the Designar/Engineer of any varietiess from the expelled information.

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The Designer/Engineer is not responsible for the accuracy of survey, machanized, electrical, etc. Information shown on the drawing. Roler to the appropriate consultant's drawings before proceeds with the work.

uction must conform to all applicable codes squirements of authorities having jurisdiction.

The contractor working from drawings not specifically merical. "For Construction" must full responsibility and bear costs for any or damages resulting form his work.

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PROPOSED SINGLE FAMILY DWELLING

### 25 NEW FOREST TERRACE BRAMPTON, ON

SHIFT THE SITE PLAN

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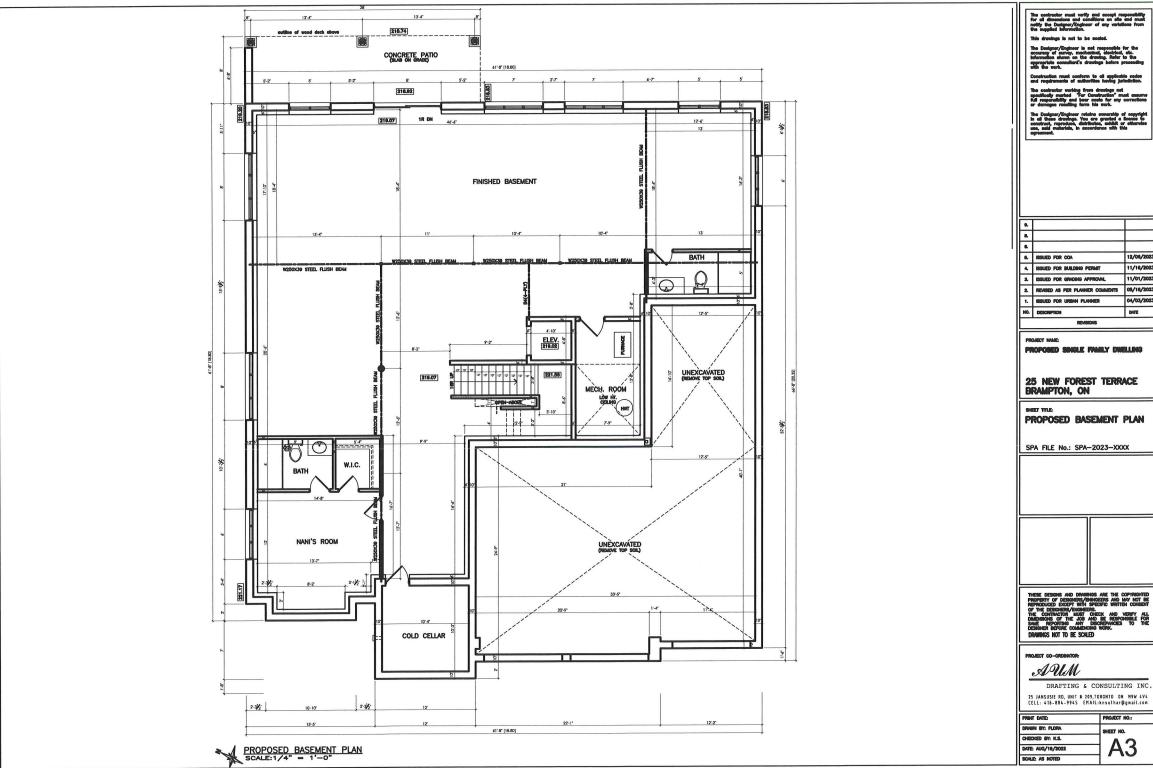
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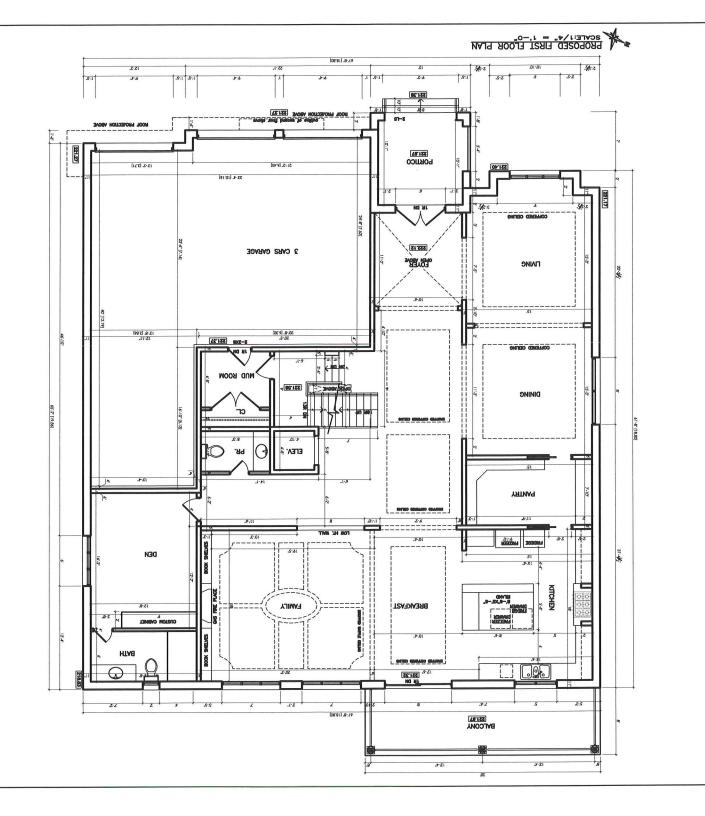
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PROPOSED FIRST FLOOR PLAN

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PROPOSED SHOLE FWALL DIRELLING PROJECT HARE

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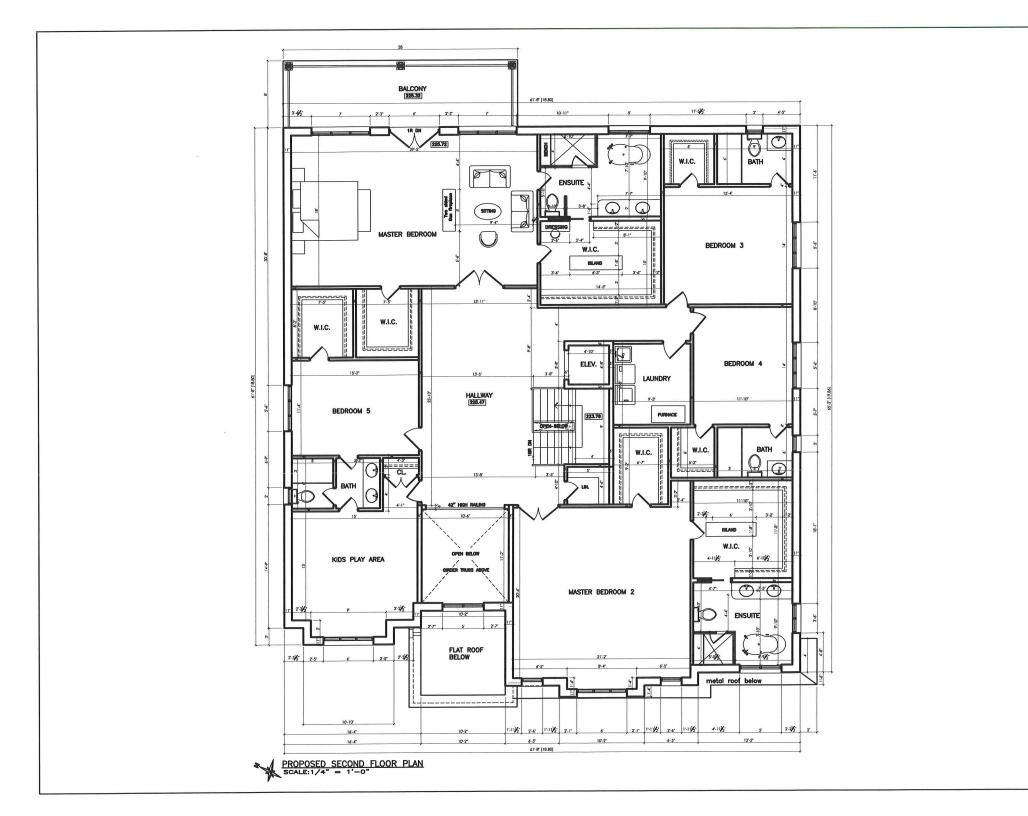
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25 NEW FOREST TERRACE BRAMPTON, ON

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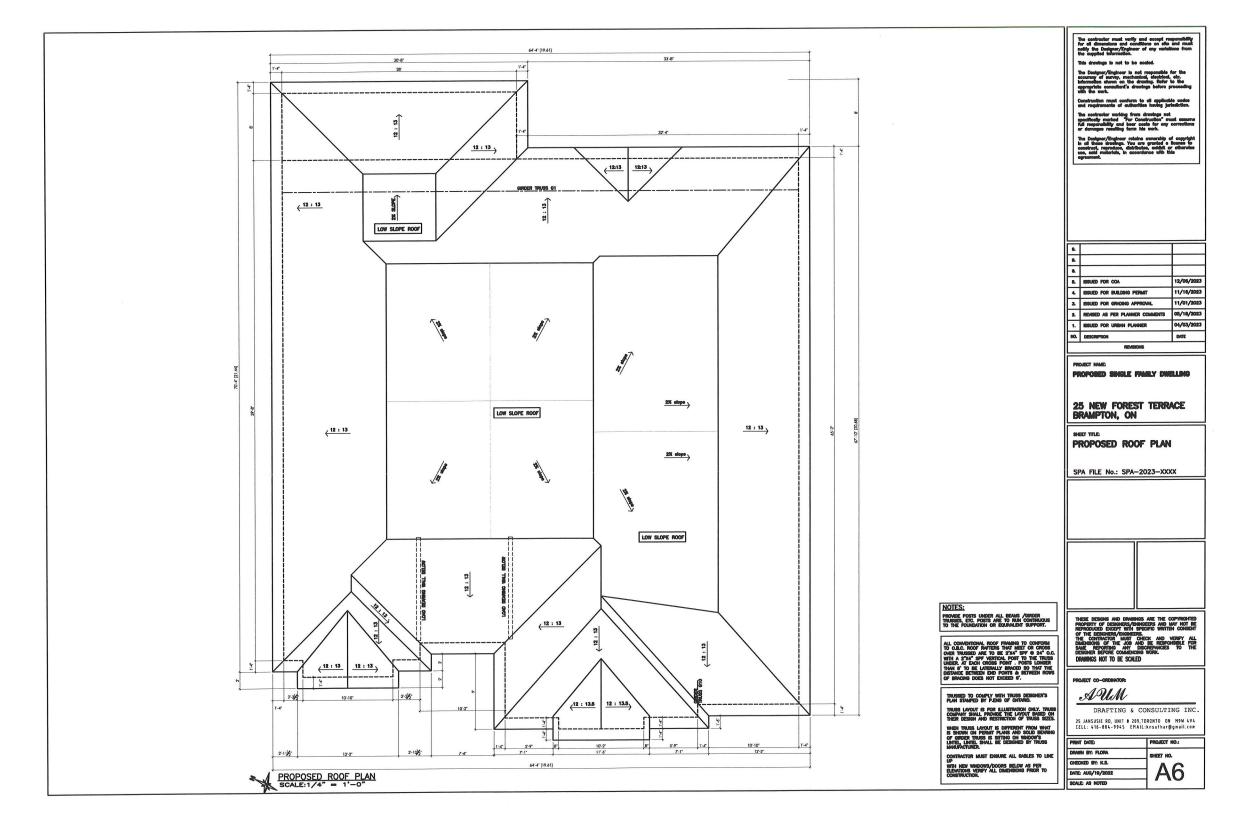
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PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

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PROPOSED FRONT ELEVATION

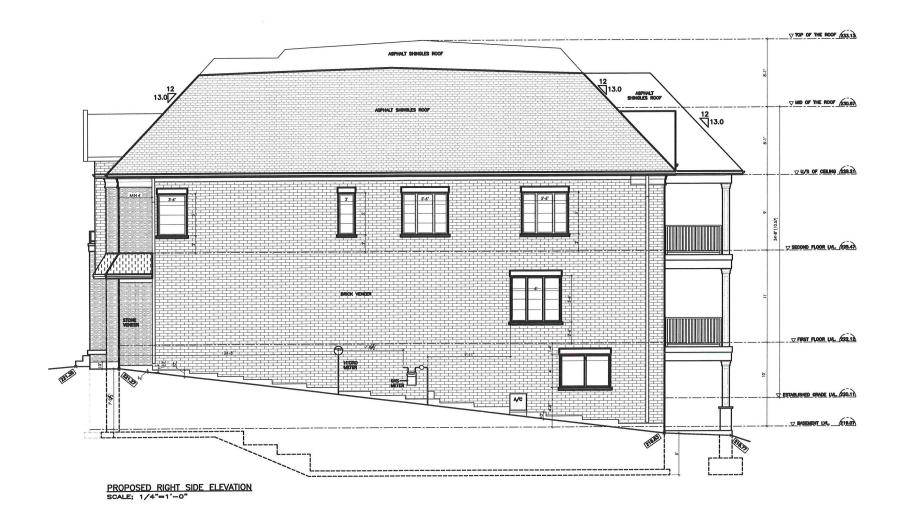
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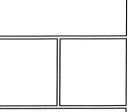
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# 25 NEW FOREST TERRACE BRAMPTON, ON

SHEET TITLE

# PROPOSED RIGHT SIDE ELEVATION

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PROPOSED REAR SIDE ELEVATION SCALE; 1/4"=1'-0"

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PROJECT NAME:

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25 NEW FOREST TERRACE BRAMPTON, ON

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PROPOSED REAR ELEVATION

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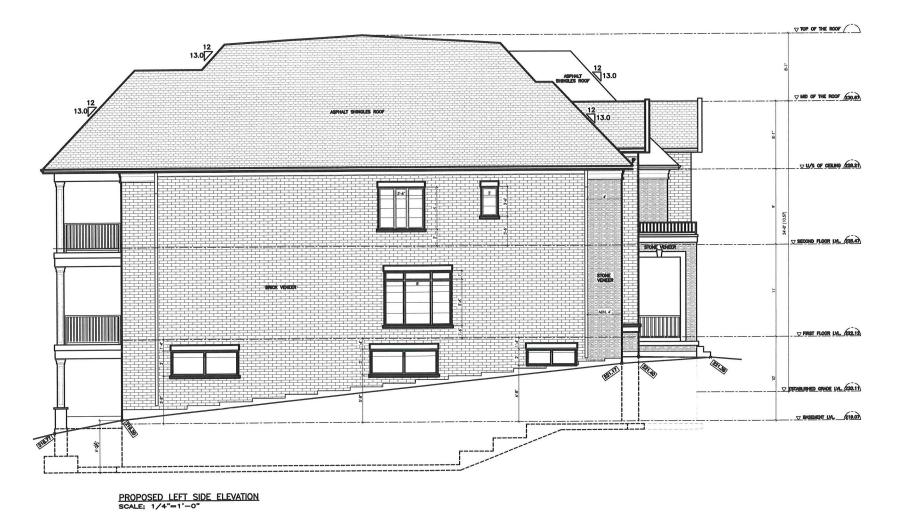
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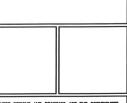
PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

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PROPOSED LEFT ELEVATION

SPA FILE No.: SPA-2023-XXXX



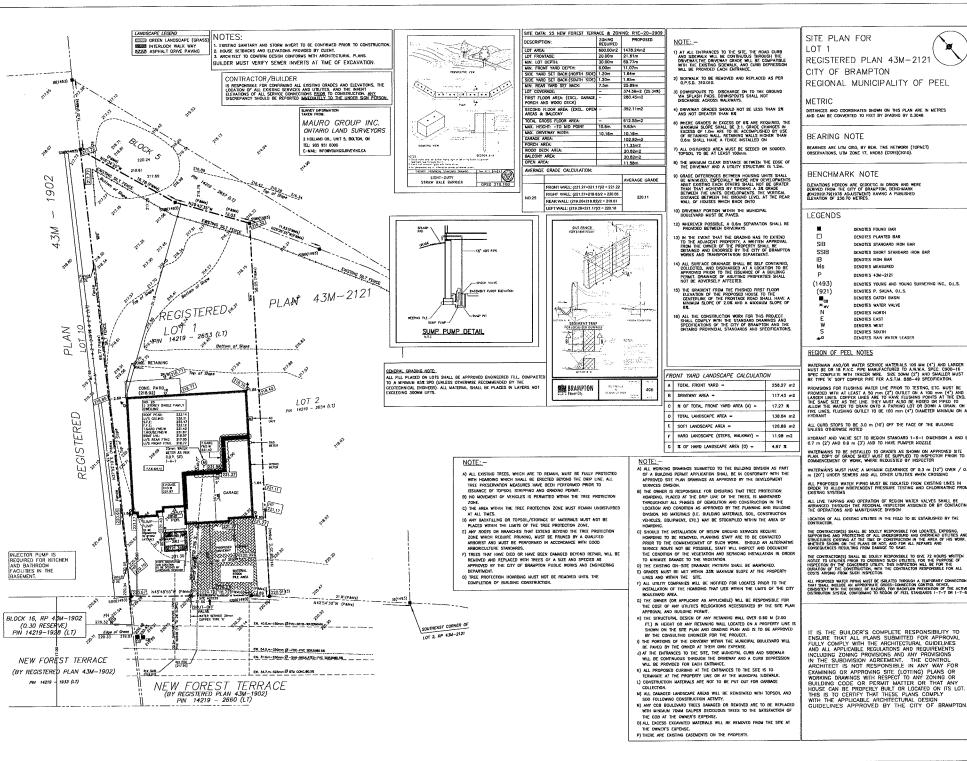
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REGISTERED PLAN 43M-2121

REGIONAL MUNICIPALITY OF PEEL

DENOTES STANDARD IRON BAR DENOTES SHORT STANDARD IRON BAR

DENOTES YOUNG AND YOUNG SURVEYING INC., O.L.S.

WATERMAIN AND/OR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE OR 18 P.V.C. PIPE MANUFACTURED TO A.W.M.A. SPEC. COPIO-16 SPEC COMPLETE WITH TRACES MRE. SIZE SOOM (2") AND SMALLER MUST BE TYPE 'K' SOFT COPPER PIPE PER A.S.T.M. 888-49 SPECIFICATION.

ALL CURB STOPS TO BE 3.0 m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED

Hydrant and valve set to region standard 1—8—1 exiension a and B, 0.7 m (2') and d.g m (3') and to have puwper nozzle

ALL PROPOSED WATER PIPNG MUST BE ISOLATED FROM EXISTING UNES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EDISTING SYSTEMS

LOCATION OF ALL EXISTING UTBUTIES IN THE FIELD TO BE ESTABLISHED BY THE

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTINGTOR TO UTLINES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNOU UTILITY. THIS INSPECTION WILL BE FOR THE DURIATION OF THIS CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARRISON FROM SUCH INSPECTION.

ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-COMMECTION CONTROL DEMCE, CONSSTEMT WITH THE DECREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DESTRIBUTION SYSTEM, CONFERMENT OF TREGORD OF PEEL STANDARDS 1-7-7 OR 1-7-8.

IT IS THE BUILDER'S COMPLETE RESPONSIBILITY TO ENSURE THAT ALL PLANS SUBMITTED FOR APPROVAL FULLY COMPLY WITH THE ARCHITECTURAL CUIDELINES AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS AND ALL APPLICABLE REGULATIONS AND PROPULCIONS INCLUDING ZONING PROVISIONS AND ANY PROVISIONS IN THE SUBDIVISION AGREEMENT. THE CONTROL ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FI ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR EXAMINING OR APPROVING SITE (LOTTING) PLANS OR WORKING DRAWNOS WITH RESPECT TO ANY ZONING OR BUILDING CODE OR PERMIT MATTER OR THAT ANY HOUSE CAN BE PROPERLY BUILT OR LOCATED ON ITS LOT. THIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN OUIDELINES APPROVED BY THE CITY OF BRAMPTON. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied information.

This drawings is not to be scaled.

KEY PLAN

The Designer/Engineer is not responsible for the accuracy of survey, mechanical, electrical, etc. information shown on the drawing. Refer to the appropriate consultant's drawings before proceeding with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting form his work.

The Designer/Engineer retains ownership of copyright in all these drowings. You are granted a license to construct, reproduce, distributes, exhibit or otherwise use, said materials, in accordance with this agreement.



No.	D	ATE	BY			REVISIONS
DES	IGN	P.T.	СНК	D	P.T.	DATE
DRA	WN	H.Z	СНК	D	P.T.	OCT 12, 2023

### IDM(2005)CONSULTANTS Inc.

5325 HARVESTER Rd. BURLINGTON, ONTARIO Tel:(905)-928-2542

25 NEW FOREST TERRACE **BRAMPTON-ON** 

PAWING NAME

MILIMICIDAL ITY

**GRADING AND SERVICING PLAN** 

		1:200
	SHEET NO.	SCALE
		SP1.01
	DATE:	DRAWING TITLE:
ION.		

Material Legend				
Material	Manufacturer	Style	Colour	
Brick	Meridian Brick	Canada Collection	Sutton	
Stone	Arriscast		Adair Parliament	
Front Door	Novatech	Soho Arima (Stained Glass)	Benjamin Moore Jet Black 2120-10	
Front Door Frame Colour	Benjamin Moore		Benjamin Moore Fairview Taupe HC-85	
Garage Door	Clopay	Classic Collection	Benjamin Moore Jet Black 2120-10	
Garage Door Frame Colour	Benjamin Moore		Benjamin Moore Fairview Taupe HC-85	
Window	Performance Door & Window	Casement/fixed	Claystone	
Sill	Arriscast	Rocked Cambridge	White	
Lintel	Modern Precast		White	
Keystone	Arriscast	Cambridge Keystone	White	
Freeze Board	Elite Trimworks	F170 Exterior Cornice	Wicker	
Railing	CPL	Wrought Aluminum Railing	Black	
Asphalt Shingles	IKO	Cambridge	Dual Black	
Alumn. Soffits, fascia & Rwl	Kaycan	-	Wicker	
Stucco	DuRock	Finecoat	Pantone 13-1012 Frosted Almond	



BRICK



STONE



FRONT DOOR



GARAGE DOOR



WINDOW



FRONT DOOR & GARAGE DOOR COLOUR



FRONT DOOR & GARAGE DOOR FRAME COLOUR



ASPHALT SHINGLES



SILL



LINTEL



KEYSTONE



FREEZE BOARD



ALUMN. SOFFITS, FASCIA & RWL COLOUR



STUCCO COLOUR

PROJESSIONAL CARROLL C

PROJECT CO-ORDINATOR:

AUM

DRAFTING & CONSULTING INC.

25 JANSUSIE RD, UNIT # 209,TORONTO ON M9W 4V4 CELL: 416-884-9945 EMAIL:knsuthar@gmail.com

PROJECT NAME:	DECEMBER ON OF FAMILY DWELLING	T			DRAWN
	PROPOSED SINGLE FAMILY DWELLING 25 NEW FOREST DRIVE, BRAMPTON, ON				K.S.
SHEET TITLE:					MAY/
	MATERIAL SCHEDULES & COLOUR SCHEME	1.	ISSUED FOR URBAN PLANNER	05/18/23	SCALE: 3/16"
		NO.	DESCRIPTION	DATE	PROJEC
				-	PNUM

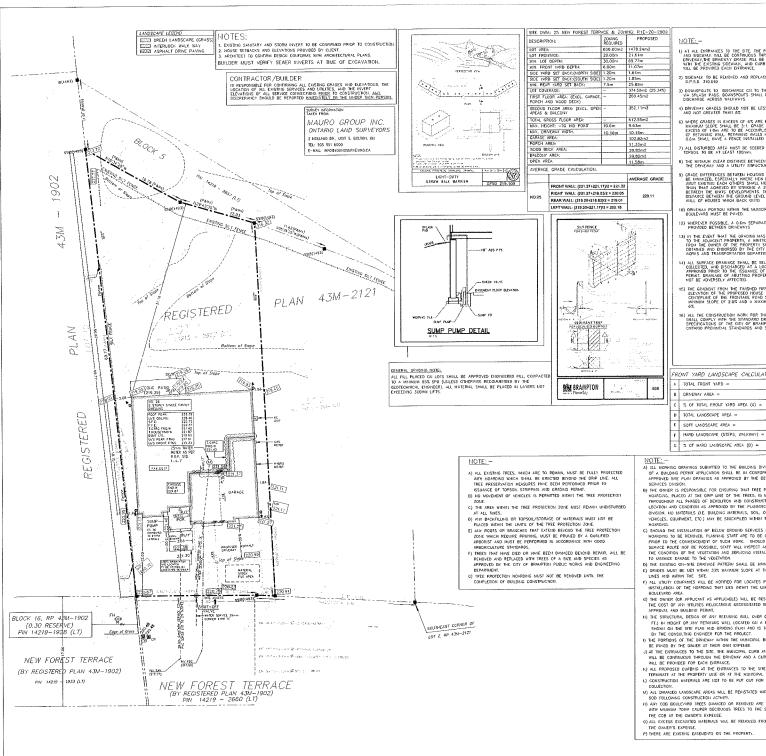
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.

PRINT DATE:

SHEET No .:





NOTE: -

1) AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEMALE WIL BE CONTINUOUS THROUGH THE DRIVEWAY, THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING SIDEMALK, AID CURB DEPRESSM WILL BE PROVIDED EACH ENTRANCE.

SIDEWALK TO BE REMOVED AND REPLACED AS PER O.P.S.D. 310.010

DENEMAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%

6) WHERE GRADES IN EXCESS OF 6% ARE REQUIRED. TH MANMUM SLOPE SHALL 86 3: 1. GRADE CHARGES IN EXCESS OF 10m ARE 10 BE ACCOUNTIESHED BY USE OF RETAINING WALL RETAINING WALLS HIGHER THAI ORM SHALL HAKE A FERICE RISTALLED ON

ALL DISTURBED AREA MUST BE SEEDED OR SODDED. TOPSOIL TO BE AT LEAST 100mm.

B) THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.

3) GRADE OFFERENCES BETWEEN HOUSING UNITS SHALL BE MINIMIZED, ESPECIALLY WHERE NEW DEVELOPMENTS ABUT ENSING EACH OTHERS SHALL NOT BE GRATER THAIT THAT ACHIEVED BY STRIKING A 3% GRADE BETWEEN THE UNITS DEVLOCIPENTS. THE VERTICAL DISTANCE BETWEEN THE GROUND LEVEL AT THE FEAR WALL OF HOUSES WHEN BACK ONTO.

ORIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED.

WHEREVER POSSIBLE, A O.6m SEPARATION SHALL BE PROVIDED BETWEEN DRIVEWAYS

(3) IN THE EVENT THAT THE GRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE OWNER OF THE PROPERTY SHALL BE COTABLE AND ENDORSED BY THE CITY OF BRANDTON WORKS AND TRANSPORTATION DEPARTMENT.

ALL SUPFACE DRAWINGS SHALL BE SELF CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUNDING PERMIT, DRAWINGS OF ABUTTHING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.

SHALL COMPLY WITH THE STANDARD DRAWINGS AND
SPECIFICATIONS OF THE CITY OF BRAMFTON AND TH
CHYARIO PROVINCIAL STANDARDS AND SPECIFICATIO

#### FRONT YARD LANDSCAPE CALCULATION TOTAL FRONT YARD = DRNEWAY AREA : 117.43 m2 % OF TOTAL ERONT YARD AREA (A) = 17.27 % TOTAL LANDSCAPE AREA = 138.84 m2 SOFT LANDSCAPE AREA -126.86 m2 HARD LANDSCAPE (STEPS, WALKWAY) = 11.98 rn2

4.67 %

211 WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART

A) ALL MORPHUS DEARNINGS SUBMITTED TO THE BULLDRUG DIVISION AS PART OF A BULLDRUG DEFINIT APPLICATION SHELL BE IN CONTROL OFFICE THE APPROVED SHE PLAN FORWARDS AS APPROVED BY THE DEVELOPMENT BY SERVICES DIVISIONS TO THE DEVELOPMENT BY DEVELOPMENT BY THE DEVELOPMENT BY THE DEVELOPMENT BY THE PROTECTION MOUSEAUTH, PARCE AT THE LOW DIVISION THAT HERE AS BUSINESSIAN THE PROTECTION AND THE PROTE DIVISION, NO MATERIALS (LE. BUILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES, EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF

HORDORIA.

C) SHOULD THE HISTALISTICK OF EELOW GROUND SERVICES REQUIRE HORDORIA TO BE REMORE, PLANNING STAFF JEE TO BE CONTINCTED PROPOR TO THE COMMERCENT OF SUCH ARRY. SHOULD AN ALTERNATIVE SERVICE ROUTE IN OIL RESCRIPTION, HORSELT AND DOCUMENT THE COMMENT OF THE VICETARION AND SERVICES DESTALLATION OF THE VICETARION.

DIE ELISTICO CHAST DEVILLES PRITTING SHALL BE MAINTAINED.

E) GRADES MUST BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

LINES AND WITHIN THE SITE .

"FALL THEIR COMPLETES WILL BE NOTIFED FOR LOCATES PRIOR TO THE HISTOLIAMON OF THE HOMEOND THAT LES WITHIN THE LIMITS OF THE CITY BOULDWARD DAY.

O) THE OWNER (OR APPLICANT AS APPLICABLE) WILL BE RESPONSIBLE FOR THE COST OF JAY UNLITED RELOCATIONS DECESSITATED BY THE SITE PLAY APPROVIAL AND BOULDING PRIORS.

H) THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.66 M (2.00

H) THE STRUCTUREL DESIGN OF ANY RESIGNITY WALL OVER 0.60 M (2.00 FT), BH HIGHER OF ANY RESIGNED WALL LOCATED ON A PROPERTY USE IS SHOWN ON THE SITE PURI AND GRADERS FAUL AND IS TO BE APPROVED BY THE CONJUSTIME REMOVERS FOR THE PRODUCT.
1) THE OPENIOUS OF THE DANCMAY WITHIN THE MURICIPAL BULIEVARD WILL BE PAYED BY THE CONSIDERATION.

J) AT THE EXTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROMOTO FOR EACH ENTRANCE.

K) ALL PROPOSED CURBING AT THE STIRRANCES TO THE STIE IS TO TERMINATE AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.
L) CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR CARBAGE.

M) ALL DAMAGED LANDSCAPE AREAS WILL BE REDISTATED WITH TOPSOIL AND SOD FOLLOWING CONSTRUCTION ACTIVITY

ANY COB BOULEVARD TREES DAMAGED OR REMOVED ARE TO BE REPLACED
 WITH MINIMUM TOURI CAUPER DECIDIOUS TREES TO THE SATISFACTION OF

THE COB AT THE OWNERS'S EXPENSE.

O) ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.

P) THERE ARE EXISTING EASEMENTS ON THE PROPERTY

SITE PLAN FOR

LOT 1

REGISTERED PLAN 43M-2121 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3948

BEARING NOTE

BEARINGS ARE UTM GRID, BY REAL TIME NETWORK (TOPNET) CRISERVATIONS, UTM ZONE 17, NADR3 (CSRS)(2010).

BENCHMARK NOTE

ELEVATIONS HEREON ARE GEODETIC IN CHIGIN AND WERE DERIVED FROM THE CITY OF BRANDFON, BENCHMARK #042920179(1978 ADJUSTMENT) HAVING A PUBUSHED ELEVATION OF 230.70 METRES.

#### LEGENDS

	DEHOTES	FOUND BAR
	DENOTES	FLANTED BAR
SIB	DENDTES	STANDARD IRON BAR
SSIB	DEHOTES	SHORT STANDARD IRON BAR
18	DENOTES	IRON BAR
Ms	DENOTES	MEASURED
P	DENOTES	43/4-2121
(1493)	DENOTES	YOUNG AND YOUNG SURVEYING INC.,

(921) DENOTES P. SAUTA, O.L.S. DENOTES CATCH BASIN

DEBIOTES WATER VALVE DENOTES NORTH DENOTES EAST DENOTES WEST DENOTES SOUTH DENOTES RAIN WATER LEADER

#### REGION OF PEEL NOTES

WATERMANN AND/OP WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE OR 18 P.V.C. PIPE WAITUFACTURED TO A.W.W.A. SPÉC. CODO-16 SPÉC COMPLETE WITH TRACES WIRE: SAZE SOOMM (2") AND SAILLER MUST BE TYPE 'X' SOFT COPPER P

PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEST A 50 mm; (2") OURLET DUT A 100 mm; (4") AUD LEAGER LINES, COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE, END. THE SAME SUZE AS THE LINE. HIEV MUST ALSO BE HOSEO OF PIPED TO ALLOW THE WATER TO DRAID UNITO A PARKNOTIA. DUT OR DOWN A DRAIN OF IT FIRE LINES, FLUSHING OUTLET TO BE 100 into (4") DIAMETER MINIMALM OF HYDRANT

ALL CURB STOPS TO BE 3.0 m (10') OFF THE FACE OF THE BUILDING URLESS OTHERWISE NOTED

HYDRANT AND VALVE SET TO REGION STANDARD 1-6-1 DIMENSION A AND I 0.7 m (2') AND 0.9 m (3') AND TO HAVE PUMPER NOZZLE

ALL PROPOSED WATER PIPIG MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORULATING FR EXISTING SYSTEMS

ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRAIGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACT THE OPERATIONS AND MAINTENANCE DIVISION

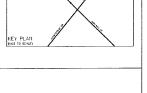
LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE

THE CONTRACTOR'S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSINO, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTBLIES AN STRUCTURES EXSTRICA AT THE THE OF CONSTRUCTOR IN THE AREA OF INS WORK WHETHER SHOWN ON THE PLANS OF NOT, AND FOR ALL REPAIRS AND CONSCIDENCES FOR TOWN THE PLANS OF NOT, AND FOR ALL REPAIRS AND

THE CONTRACTOR(S) SHALL BE SOLEN RESPONSIBLE TO GIVE 72 HOURS WRITE, NOTICE TO UNLINES PRICE TO CROSSING SUCH UTLINES, FOR THE PURPOSE OF RESPECTION BY THE CONCERNO UTLINE, THE OFFICE OF THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARBINGT FOR SIGN SIDE OF THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARBINGT FOR SIGN SIDE OF THE COSTS ARBINGT FOR SIDE OF THE COSTS ARBINGT

ALL PROPOSED WATER PIPHIG MUST BE ISOLATED THROUGH A TEMPORARY CONTECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONTECTION CONTROL DEALER. CONSISTENT WITH THE DEGREE OF NAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION STSTEM, CORFORMING TO REGOLD OF PERL STANDARDS 1—7—3 OR 1—7—8.

IT IS THE BUILDER'S COMPLETE RESPONSIBILITY TO ENSURE THAT ALL PLANS SUBMITTED FOR APPROVAL FULLY COMPLY WITH THE ARCHITECTURAL QUIDELINES AND ALL APPLICABLE REGULATIONS AND REQUIREMENTS IN LUMBER SOURCE PROVISIONS AND ARCHITECT PROVISIONS AND ARCHITECT PROVISIONS AND ARCHITECT PROVISIONS AND ARCHITECT OF ARCHITECT ARCHITECT IS NOT MESPONSIBLE, IN ANY WAY FOR EXAMINING OR APPROVING STIE (LOTTING) PLANS OR WORKING, DRAWINGS WITH RESPECT TO ANY ZONING OR BUILDING CODE OR PERMIT MATTER OR THAT ANY HOUSE CAN BE PROPERLY BUILT OR LOCATED ON ITS LOT. HIS IS TO CERTIFY THAT THESE PLANS COMPLY WITH THE APPLICABLE ARCHITECTURAL DESIGN OUTDILLINES, APPROVED BY THE CITY OF BRAMPTON.



The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied information.

This drawings is not to be scaled.

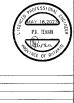
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Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

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The Designer/Engineer retains ownership of copyright in all these drawings. You are granted a license to construct, reproduce, distributes, exhibit or otherwise use, said materials, in accordance with this

#### STAMP



No.	D	ATE	BY	REVISIONS	
DESIGN P.T.		P.T.	CHK'D	P.T.	DATE
DRA	WN	H.Z	CHK.D	P.T.	MAY 18, 2023

## IDM(2005)CONSULTANTS Inc.

5325 HARVESTER Rd. BURLINGTON, ONTARIO Tel:(905)-928-2542

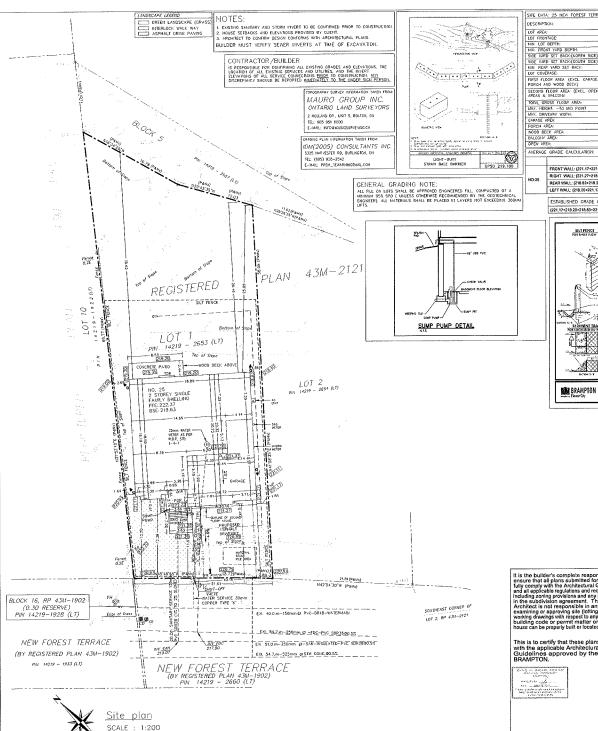
MUNICIPALITY

## 25 NEW FOREST TERRACE **BRAMPTON-ON**

DRAWING NAME

**GRADING AND SERVICING PLAN** 

TV.			
ŀ	DATE:	DRAWING TITLE:	
		SP1.01	
+	SHEET NO.	SCALE	
		1:200	



SITE DATA: 25 NEW FOREST TERRACE & ZONING: R1E-20-2909 600.00m2 1478.24m2 MILL FROM YARD DEPTH. SIDE YARD SET BACK-(NORTH SIDE) SIDE YARD SET BACK:(SOUTH SIDE) 25.890 374.59m2 (25.34%) 260.45m2 FIRST FLOOR AREA (EXCL GARAC 352.11m2 SECOND FLODR AREA: (EXCL. OPE AREAS & BALCONY TOTAL CROSS FLOOR AREA-612.55m2 10.47m TOTAL GROSS FLOOP AREA:

MAX. HEIGHT: —TO MID POINT

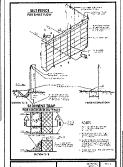
WAX. DRIVEWAY WIDTH:

GAPAGE AREA:

FORCH AREA: 10,16m 10,16m 11.33m2 20.82m2 20.82m2 11.58m

> AVERAGE GRADE RIGHT WALL: (221.27+218.83V2 = 220.05 REAR WALL: (218.83+219.20)/2 = 219.01

ESTABLISHED GRADE CALCULATION [221.17+219.20+218.83+221.27+221.40)/5=220.37



### NOTE: -

- AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY, THE DRIVEWAY ORAGE WILL BE COMPATIBLE WITH THE EXISTING SIDEWALY, AND CURB DEPRESSION WILL BE PROVIDED EACH EXTRAINCE.
- 1) SIDEWALK TO BE REMOVED AND REPLACED AS PER O.P.S.D. 310.010
- DOWNSPOUTS TO DISCHARGE ON TO THE GROUND MA SPLASH PADS, DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
- 4) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 85
- 5) LAWS AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND MAXIMUM SLOPE OF 6%
- WHERE GRADES BY EXCESS OF 6% ARE REQUIRED, THE MAYBRUM SLOPE SHALL BE 3:1. GRADE CHANGES BY EXCESS OF 10m ARE TO BE ACCOMPUSINED BY USE OF RETAINING WALL RETAINING WALL SHAPEN WAL WE ARE TO BE STALLED ON
- ) ALL DISTURBED AREA MUST BE SEEDED OR SODDED TOPSOIL TO BE AT LEAST 100mm.
- THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE O THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
- ORADE DIFFERNCES BETWEEN HOUSING UNITS SHALL BE MINDZED, ESPECIALLY WHERE HEW DEVELOPMENTS ABUT ENSTRING EACH OTHERS SHALL NOT BE GRATEP HAM HAT ACHEVED BY STRIKKING A 3% GRADE BETWEET HE UNITS, DEVLICEMENTS THE VERTICAL DISTANCE BETWEET HE GROUND LEVEL AT THE REAR WALL OF HOUSES WHICH BACK CHITO
- D) ORIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED.
- THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED FORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH
- WHEREVER POSSIBLE, A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN DRIVEWAYS
- IS) IN THE EVERT THAT THE CRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE GWIEF OF THE PROPERTY SHALL BE OBTAINED AND ENDORSED BY THE CITY OF BRAMPTON WORKS AND TRANSPORTATION OF PARTIMENT.
- 4) ALL SURFACE ORAHIAGE SHALL BE SELF CONTAINED, COLLECTED, AND DISCHARGED AT A LOGATION TO BE APPROVED PRICE TO THE ISSUANCE OF A BUILDING FERMIT ORAHIAGE OF ABUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
- (5) THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE CEPITERURE OF THE FRONTAGE ROAD SHALL HAVE A MEMIRIM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF

١.	TOTAL FRONT YARD =	256.27 m2
3	DRIVEWAY AREA =	117.43 m2
, ,	% OF TOTAL FRONT YARD AREA (A) =	17.27 %
)	TOTAL LANDSCAPE AREA =	135.84 m2
	SOFT LANDSCAPE AREA =	126.86 m2
	HARD LANDSCAPE (STEPS, WALKWAY) =	11.98 m2
	5 OF HARD LANDSCAPE AREA (D) =	4.67 %

## NOTE: -

- A) ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DAVISION AS PART OF A BUILDING PERMIT APPUICATION SHALL BE MI CONFORMITY WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION.
- B) THE OWNER IS RESPONSIBLE FOR ENSURING THAT THEE PROTECTION HOARDING PLACED AT THE DRIP LINE OF THE TREES, IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION NO MATERIALS (I.E. BUILDING MATERIALS, SON, CONSTRUCTION VEHICLES, EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF
- c) SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE. HOAPDING TO BE REMOVED, PLATHING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMINCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL HISPECT AND DOCUMENT THE CONDITION OF THE VEGETATION AND SERVICING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION
- TO MINIMACE DISSISTS TO THE VEGETATION.

  9) THE EXISTING ON-STEE BEARINGE PATTERN SHALL BE MAINTAINED.

  8) GRADES MUST BE MET WITHIN 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.

  7) ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE
- INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY ROULEVARD AREA. THE OWNER (OR APPLICANT AS APPLICABLE) WILL BE RESPONSIBLE FOR
- THE COST OF ANY UTILITIES PELOCATIONS NECESSITATED BY THE SITE PLAN APPROVAL AND BUILDING PERMIT. APPROVE FOR BUILDING PERMIT.

  I) THE STRUCTURED ESSIGN OF HIS RETAINING WALL OVER 0.60 H (2.00 HT). III REGISTION AND SECTION A PROPERTY LIKE IS SHOWN OUT THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING DISQUEER FOR THE PROJECT.
- THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE OWNER AT THEIR OWN EXPENSE.
- BE PANKO BY THE OMER AT THUD OWN EPPENSE.

  JU AT THE CHINANCES TO THE SITE, THE UNBOUGHE CURB AND SDEWALK
  WALL BE COMMUNIOUS TRECHOCH THE GROCKAY AND A CURB DEPRESSION
  WALL BE PRODUCED FOR EXCHEDIBANCE.

  K) ALL PROPOSED CHERRIS AT THE CHINANCES TO THE SITE IS TO
  TERMINISE AT THE PROPERTY LIKE OR AT THE MUNICAL SIGNALL

  C) CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR CARBAGE.
- COLLECTION
- COLLECTION.

  I) ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOPSOIL AND SOD FOLLOWING CONSTRUCTION ACTIVITY.

  I) ANY CORE DELICATION TO EXECUTE DECIDIOUS TREES TO THE REPLACED WITH MINIMUM TOWN CALPER DECIDIOUS TREES TO THE SATISFACTION OF THE CORE AT THE CONSERS SEPERISE.
- OLD EXCESS EXCAVATED DATERIALS WILL BE REMOVED FROM THE SITE AT
- THE OWNER'S EXPENSE.

  P) THERE ARE EXISTING EASEMENTS ON THE PROPERTY

SITE PLAN FOR LOT 1

# REGISTERED PLAN 43M-2121 CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL

#### METRIC

DISTANCES AND COGROMIATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

#### BEARING NOTE

BEARINGS ARE UTH GRID, BY REAL TIME NETWORK (TOPHET) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS)(2010)

#### BENCHMARK NOTE

ELEVATIONS HEREON ARE GEODETIC IN GRIGIN AND WERE DERIVED FROM THE CITY OF BRAMPTON, BENCHMARK #042920179(1978 ADJUSTMENT) HAVING A PUBLISHED ELEVATION OF 230.70 METRES.

#### LEGENDS

30	DENOTES FOUND BAR
	DENOTES PLANTED BAR
SIB	DENOTES STANDARD IRON BAR
SSIB	DENOTES SHORT STANDARD IRON BAR
18	DENOTES IRON BAR
Ms	DENOTES MEASURED
P	DENOTES 43M-2121
(1493)	DENOTES YOUNG AND YOUNG SURVEYING INC., O.L.S.
(921)	DENOTES P. SALNA, O.L.S
₩ <sub>cB</sub>	DENOTES CATCH BASIN
™ WV	DENOTES WATER VALVE
N	DENOTES NORTH
E	DENOTES EAST
W	DENOTES WEST
S	DENOTES SOUTH
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#### REGION OF PEEL NOTES

WATERMAIN ANDIOR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST SE DR 18 P.V.C. PIPE MANUFACTURED TO A W.W.A. SPEC. C900-16 SPEC. COMPLETE WITH TRACER WISE. SZE SOM, UZ) AND SMALLER MUST BE TYPE X SOFT COPPER PIPE PER A.S.T.M. 888-49 SPECIFICATION.

PROVISIONS FOR ENJEWING WHEEL HER PROB TO TESTING, ETC. AWAT REVINIOUS WHITE AT HER PARK.

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ALL CURB STOPS TO BE 3.0 m (18) OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED

HYDRANT AND VALVE SET TO REGION STANDARD 1-S-1 DIMENSION A AND B, 0.7 m (2") AND 0.9 m (3") AND TO HAVE PUMPER NOZZLE

WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO

WATERMAINS MUST HAVE A MINIMUM CLEARANGE OF 0.3 m (12") OVER / 0.5 m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING

ALL PROPOSED WATER PIPNG MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING F EXISTING SYSTEMS

ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION

LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR

THE CONTRACTORIS) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF MERSECTION BY THE CONCERSOR UTILITY. THIS SUFFICTION WILL BE FOR THE DURATION OF THE CONTRACTOR, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FORM SUCH INSECTION.

PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION I SHALL INCLUDE AN APPROPRIATE CROSS CONNECTION CONTROL OSVORE. SISTEMT WHIT THE DECREE OF MAZING, FOR BACKFLOW PREVENTION OF THE ACTIVE REWIDDON SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-2.

### NOTE: -

- A) ALL EXISTING TREES, WHICH ARE TO REMAIN, MUST BE FULLY PROTECTED WITH HOARDONG WHICH SHALL BE ERECTED BEYOND THE ORIP LIVE. ALL TREE PRESERVATION MEASURES HAVE BEEN PERFORMED PRIOR TO ISSUANCE OF TOPSOIL STRIPPING AND GRADING PERMIT.
- B) NO MOVEMENT OF VEHICLES IS PERMITTED WITHIN THE TREE PROTECTION
- ZONE.

  (7) THE APEA WITHIN THE TREE PROTECTION ZONE HUST RELAMIN UNDISTURBED AT ALL TIMES.

  AT ALL TIMES.

  (9) ANY BAGGRELIANS OR TOPSOBLYSTONAGE OF MATERIALS MUST NOT BE PLACED WITHIN THE UNITS OF THE TIRE PROTECTION ZONE.

  (5) ANY BOOTS OR BREMANCES THAT EATERD BEYOND THE TIME PROTECTION.
- ZONE WHICH REQUIRE PRUNING, MUST BE PRUNED BY A QUALIFIED ARBORIST AND MUST BE PERFORMED IN ACCORDANCE WITH GOOD ARRORICHI TURE STANDARDS
- ARBOROULDING SYNDHOUS

  THESE THAT MAND DID OR HAVE BEEN CHANGED BEYOND REPAR, WILL BE
  FERROYCE HAD REPLACED WIN TREES OF A SIZE AND SEFCIES AS
  PROPRIONE OF THE CITY OF BEAMPION PUBLIC WORKS AND ELEMETERING
  DEPARTMENT.

  OTHER PROTECTION HOARDING MUST HOT BE REMOVED WITH, THE
  COUNLETION OF BUILDING CONSTRUCTION.



The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied information

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PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

CHEET TITLE SITE PLAN

SPA FILE No - SPA-2023-XXXX



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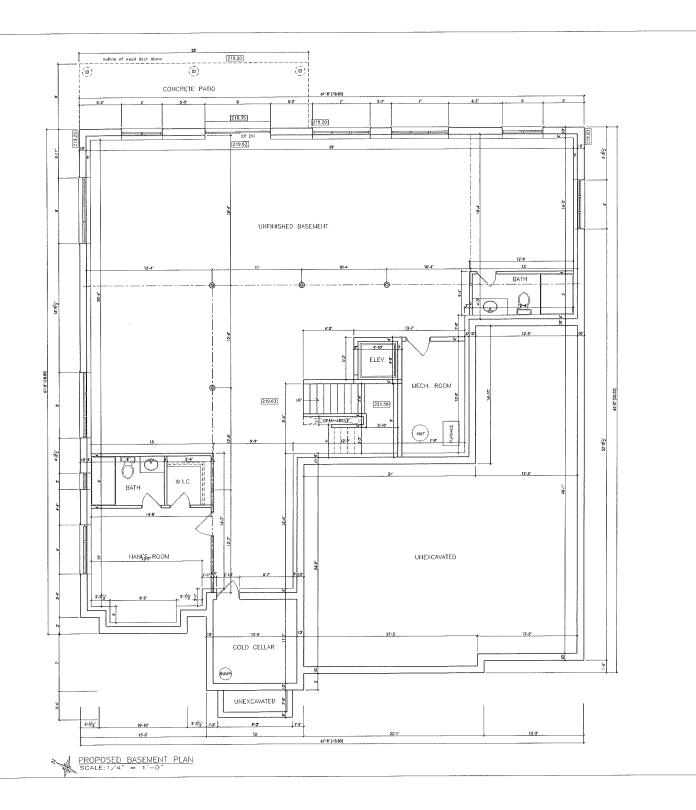
DRAFTING & CONSULTING INC.

25 JANSUSIE RD, UNIT # 209,TORONTO ON M9W 4V4 CELL: 416-884-9945 EMAIL:knsuthar@gnail.com

PRINT DATE:	PROJECT NO.:
DRAWN BY: FLORA	SHEET NO.
CHECKED BY: K.S.	
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It is the builder's complete responsibility to ensure that all plans submitted for approve fully comply with the Architectural Guideline and all applicable regulations and requirement and all application explainting and any provisions in the subdivision agreement. The Control Architect is not responsible following Architect is not responsible following which is not responsible following to working drawings with respect to any zoning or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BRAMPTON.



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PROJECT NAME:

PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

PROPOSED BASEMENT PLAN

SPA FILE No.: SPA-2023-XXXX



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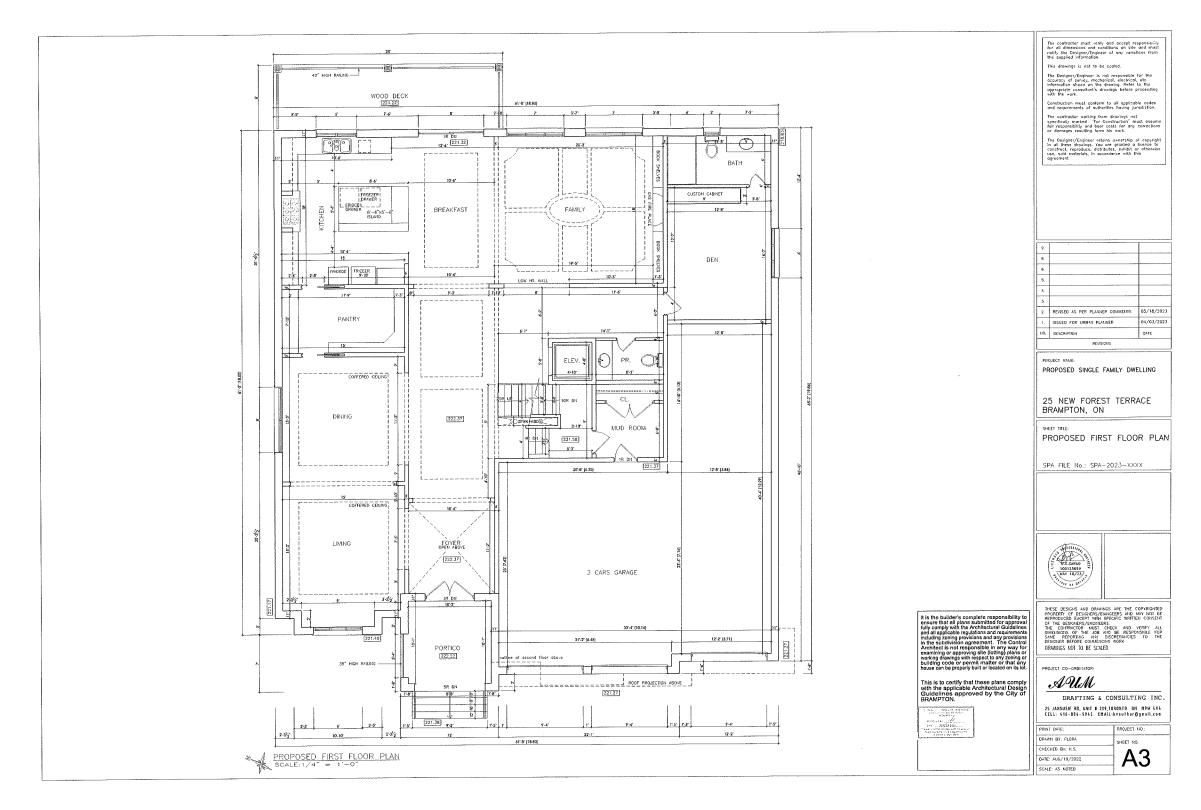
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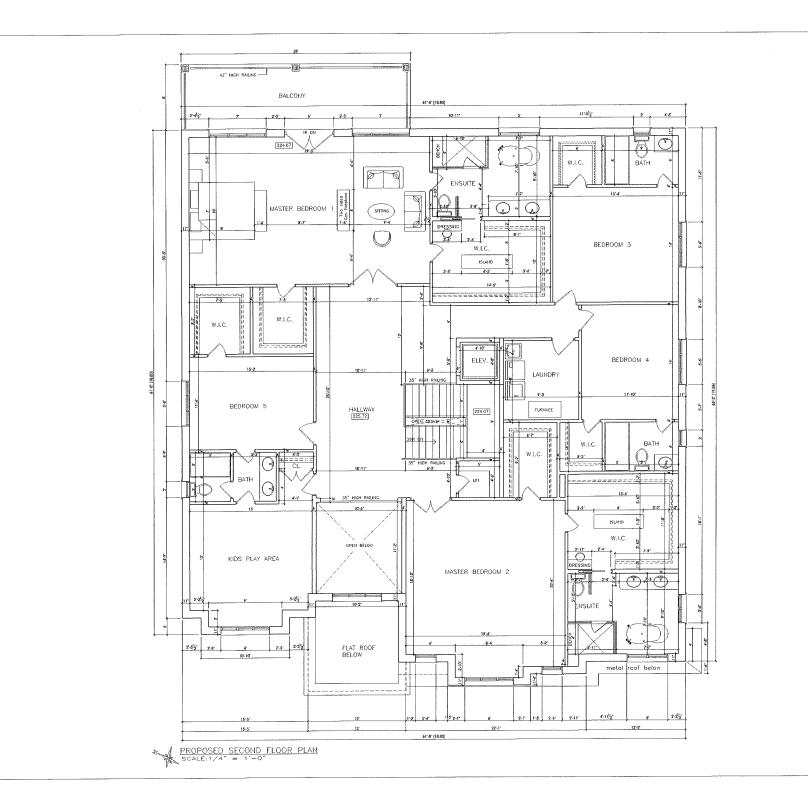


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25 JANSUSIE RD, UNIT B 209,TORONTO ON M9W 4V4 (ELL: 418-884-9945 EMAIL:knsuthar@gnail.com

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PROJECT NAME:

PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

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PROPOSED SECOND FLOOR PLAN

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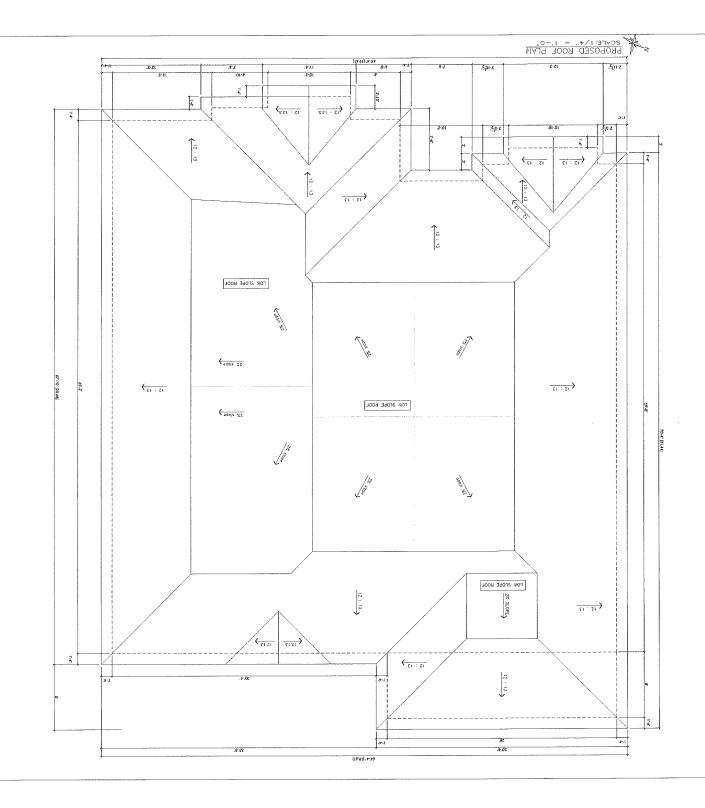
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PROPOSED FRONT ELEVATION SCALE: 1/4"=1'-0"

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PROJECT NAME:

PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

SHEET TITLE

PROPOSED FRONT ELEVATION

SPA FILE No.: SPA-2023-XXXX



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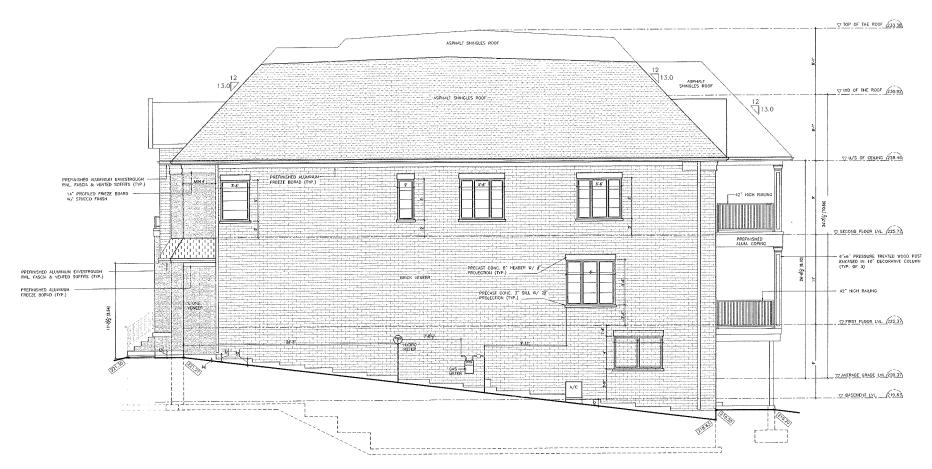
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PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

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25 NEW FOREST TERRACE BRAMPTON, ON

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25 NEW FOREST TERRACE BRAMPTON, ON

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PROPOSED REAR SIDE ELEVATION

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PROJECT NAME: PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

SHEET TITLE: PROPOSED LEFT SIDE ELEVATION

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# **ARCHITECTURAL REVIEW TRANSMITTAL**

Date : May 18, 2023

Project: 11205 Goreway Drive, East Highlands, Brampton

Builder: Ind. Builder (Khangura Residence)

# **FINAL APPROVAL**

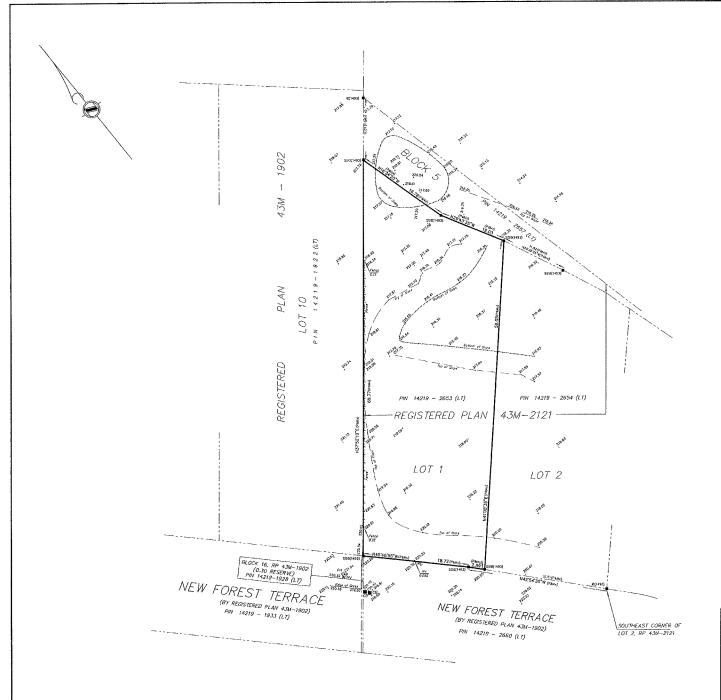
Sheet **1** of **1** Job #: W-1473'C'

City File #: C08E16.004/21T-07010B

Description	Lot#	Model Name	Elev.	Priority Lot/Upgrade
NEW MODEL				
(Rear Upgrade w/ W.O.B.)		Custom Lot 1 (Khangura Res.)		
NEW SITING				
New Forest Terrace		Custom Lot 1 (Khangura Res.)		Rear

No. of Copies Total Remarks: App./Returned **Approved** Approved Exterior Colours Package: Models (New): 1 2/1\* Brick: Sutton (Meridian) Models (Mod.): Stone: Adair Parliament (Arriscraft) Streetscapes: Shingles: Dual Black (IKO- Cambridge) Flanking Elev: Rear Elev: \*- Electronic copy was submitted. Site Plans: 2/1\* Colour Packages:

Processed by: Joanny Law



PLAN OF SURVEY

SHOWING TOPOGRAPHIC FEATURES ON

# LOT 1, REGISTERED PLAN 43M-2121

CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

MAURO SURVEYING INC. ONTARIO LAND SURVEYORS © 2023

## METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DISTOING BY 0.3048.

BEARING NOTE
BEARINGS ARE UTM ORID, BY REAL TIME NETWORK (TOPNET)
OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS)(2010).

# BENCHMARK NOTE

ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE CITY OF BRAMPTON, BENCHMARK #042920179(1978 ADJUSTMENT) HAVING A PUBLISHED ELEVATION OF 230.70 METRES.

# LEGEND

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# SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
- 2. THE SURVEY WAS COMPLETED ON THE 15TH DAY OF FEBRUARY 2023

FEB. 27, 2013

GANESH SUNDAR B.Eng.
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM V-45319



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR in accordance with Regulation 1026, Section 29(3



MAURO GROUP INC. ONTARIO LAND SURVEYORS

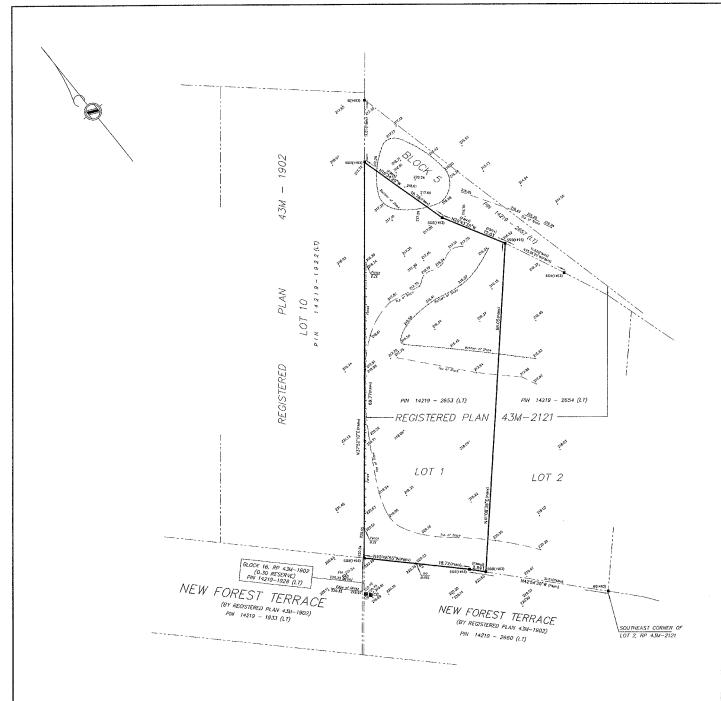
2 HOLLAND DRIVE, UNIT 5, BOLTON, ONTARIO L7E 1E1 PHONE 905.951.6000 — FAX 905.857.4811 www.youngsurveying.ca — info@youngsurveying.ca

PARTY CHIEF: JK/KR | DRAWN BY: LV

LIENT: KHANGURA, SATNAM

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PROJECT No. 14-B6726



PLAN OF SURVEY

SHOWING TOPOGRAPHIC FEATURES ON

# LOT 1, REGISTERED PLAN 43M-2121

CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

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DENOTES IRON BAR
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DENOTES MEASURED SIB SSIB IB Ms

DENOTES 43M-2121

DENOTES YOUNG AND YOUNG SURVEYING INC., O.L.S.
DENOTES P. SALNA, C.L.S.
DENOTES CATCH BASIN

(1493) (921) (921) (921) DENOTES WATER VALVE
DENOTES NORTH
DENOTES EAST
DENOTES WEST
DENOTES SOUTH

# SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM.
- 2. THE SURVEY WAS COMPLETED ON THE 15TH DAY OF FEBRUARY 2023

FEB. 27, 2013

GANESH SUNDAR B.Eng.
ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO LAND SURVEYORS PLAN SUBMISSION FORM V-45319

ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3)

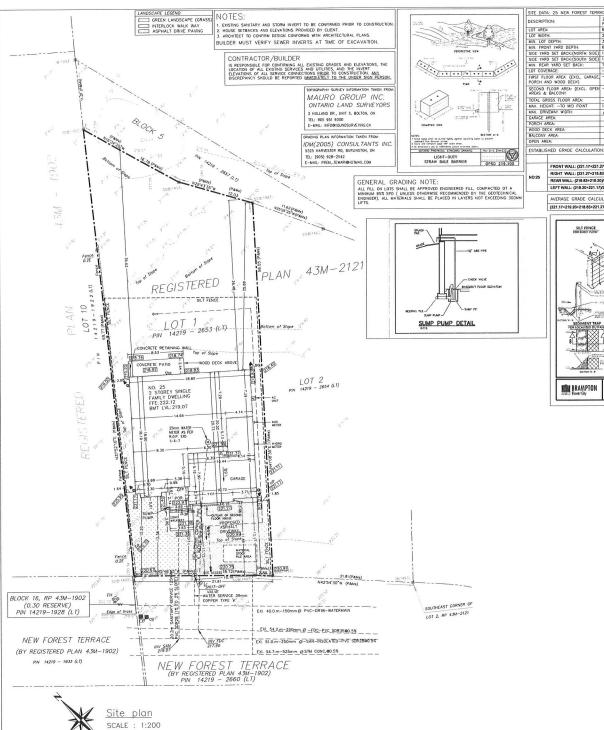


MAURO GROUP INC. ONTARIO LAND SURVEYORS

2 HOLLAND DRIVE, UNIT 5, BOLTON, ONTARIO L7E 1E1
PHONE 995.951.6000 — FAX 905.857.4811
www.youngsurveying.co — info@youngsurveying.co
IY CHIEF: JK/KR | ORAWN BY: LV | CHECKED BY: GS

THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED

PROJECT No. 14-B6726



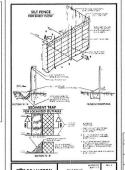
SITE DATA: 25 NEW FOREST TERRACE & ZONING: R1E-20-2909 600 00m2 1478 24m2 SIDE YARD SET BACK:(NORTH SIDE) 1.20m SIDE YARD SET BACK:(SOUTH SIDE) 1.20m MIN. REAR YARD SET BACK: 7.5m MIN REAR YARD SET BACK: 25.89m 260.45m2 SECOND FLOOR AREA: (EXCL. OPERAREAS & BALCONY TOTAL GROSS FLOOR AREA-612.55m2 10.47m MAX HEIGHT: -TO MID POINT 10.16m 10.16m 102.82m2 20.82m2 20.82m2 11.58m

RONT WALL: (221.17+221.27)/2 = 221.2

RIGHT WALL: (221,27+218,83)/2 = 220.05 REAR WALL: (218.83+219.20)/2 = 219.01 LEFT WALL: (219.20+221.17)/2 = 220.18

AVERAGE GRADE CALCULATION: (221.17+219.20+218.83+221.27+221.40)/5=220.3

ESTABLISHED GRAD



### NOTE: -

- AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY, THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE ENSITING SIDEWALK, AND CURB DEPRESSION WILL BE PROVIDED EACH ENTRANCE.
- ) SIDEWALK TO BE REMOVED AND REPLACED AS PER O.P.S.D. 310.010.
- 4) DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%
- 5) LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND MAXIMUM SLOPE OF 6%
- 5) WHERE GRADES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPUSHED BY USE OF RETAINING WALL, RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON
- ) ALL DISTURBED AREA MUST BE SEEDED OR SOODED. TOPSOIL TO BE AT LEAST 100mm.
- THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
- ) GRADE DIFFERENCES BETWEEN HOUSING UNITS SHALL BE MINIVIZED, ESPECIALLY WHERE NEW DEVELOPMENTS ABUT EXISTING EACH OTHERS SHALL NOT BE GRATER THAN THAT ACHEVED BY STRIKING A 3% GRADE BETWEEN HE UNITS. DEVELOPMENTS THE VERICAL DISTANCE BETWEEN HE HE GROUND LEVEL AT THE REAR WALL OF HOUSES WHICH BROKE CHITO
- D) DRIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED.
- THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH
- ) WHEREVER POSSIBLE, A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN DRIVEWAYS
- 3) IN THE EVENT THAT THE GRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE OWNER OF THE PROPERTY SHALL BE OBTAINED AND ENDORSED BY THE CITY OF BRAMPTON WORKS AND TRANSPORTATION DEPARTMENT.
- 4) ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT DRAINAGE OF ABUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
- ELEVATION OF THE PROPOSED HOUSE TO THE CENTERLINE OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOPE OF 2.0% AND A MAXIMUM SLOPE OF

_		
FR	ONT YARD LANDSCAPE CALCULATION	ON
Α	TOTAL FRONT YARD =	256.27 m2
В	DRIVEWAY AREA =	117.43 m2
С	% OF TOTAL FRONT YARD AREA (A) =	17.27 %
D	TOTAL LANDSCAPE AREA =	138.84 m2
Ε	SOFT LANDSCAPE AREA =	126.86 m2
F	HARD LANDSCAPE (STEPS, WALKWAY) =	11.98 m2
G	% OF HARD LANDSCAPE AREA (D) =	4.67 %

#### NOTE: -

- A ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART
  OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMITY WITH THE
  APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT
  SETRICES ADMINISTRATION OF THE PROPERTY OF THE P
- SERVICES DIVISION.
  B) THE OWNER IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING, PLACED AT THE DRIP LINE OF THE TREES, IS MAINTAINED THROUGHOUT ALL PHASES OF DEMOLITION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION, NO MATERIALS (I.E. BLILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES, EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF
- HOARDING.

  () SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATIVE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT. THE CONDITION OF THE VEGETATION AND SERVICING INSTALLATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
- D) THE EVISTING ON-SITE DRAINAGE PATTERN SHALL BE MAINTAINED. 1) THE EXISTING ON-SITE DRAINAGE PATTERN SHALL BE MANTAINED.

  OF RADES MUST BE MET WITHIN 337 MAXIMUM SLOPE AT THE PROPERTY
  LINES AND WITHIN THE SITE.

  ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE
  INSTRULATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY
- BOULEVARD AREA.
- G) THE OWNER (OR APPLICANT AS APPLICABLE) WILL BE RESPONSIBLE FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN APPROVAL AND BUILDING PERMIT.
- THE STRUCTURE DESIGN OF ANY RETAINING WALL OVER 0.60 M (2.00 FT). IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE PLAN AND GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEER FOR THE PROJECT.
- I) THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE OWNER AT THEIR OWN EXPENSE.
- BE PARKD BY THE OWNER AT THEIR OWN EXPENSE.

  JUST THE EXTRACES TO THE SITE, THE MUNICIPAL CURB AND SDEWALK WILL BE CONTINUOUS THROUGH THE DRIVENAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EXCH FINANCE.

  K) ALL PROPOSED CURBING AT THE ENTRACES TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR AT THE MUNICIPAL SDEWALK.

  L) CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE.
- COLLECTION. M) ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATED WITH TOPSOIL AND
- SOD FOLLOWING CONSTRUCTION ACTIVITY
- N) ANY COB BOULEVARD TREES DAMAGED OR REMOVED ARE TO BE REPLACED WITH MINIMUM 70MM CALIPER DECIDIOUS TREES TO THE SATISFACTION OF THE COB AT THE OWNER'S EXPENSE. O) ALL EXCESS EXCAVATED MATERIALS WILL BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.
- P) THERE ARE EXISTING EASEMENTS ON THE PROPERTY.

### SITE PLAN FOR LOT 1

REGISTERED PLAN 43M-2121 CITY OF BRAMPTON

REGIONAL MUNICIPALITY OF PEEL

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES NO CAN BE CONVERTED TO FEET BY DIVIDING BY 0.304

#### BEARING NOTE

BEARINGS ARE UTM GRID, BY REAL TIME NETWORK (TOPNET) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS)(2010)

#### BENCHMARK NOTE

ELEVATIONS HEREON ARE GEODETIC IN ORIGIN AND WERE DERIVED FROM THE CITY OF BRAMPTON, BENCHMARK P042920179(1978 ADJUSTMENT) HAVING A PUBLISHED ELEVATION OF 230.70 METRES.

#### LEGENDS

8	DENOTES FOUND BAR
	DENOTES PLANTED BAR
SIB	DENOTES STANDARD IRON BAR
SSIB	DENOTES SHORT STANDARD IRON BAR
IB	DENOTES IRON BAR
Ms	DENOTES MEASURED
P	DENOTES 43M-2121
(1493)	DENOTES YOUNG AND YOUNG SURVEYING INC., O.L.S
(921)	DENOTES P. SALNA, O.L.S.
■ <sub>CB</sub>	DENOTES CATCH BASIN
M WV	DENOTES WATER VALVE
N	DENOTES NORTH
E	DENOTES EAST
W	DENOTES WEST
S	DENOTES SOUTH
40	DENOTES RAIN WATER LEADER

#### REGION OF PEEL NOTES

WATERMAIN AND/OR WATER SERVICE MATERIALS 100 MM (4\*) AND LARGER MUST BE DR 18 P.V.C. PIPE MANUFACTURED TO A W.W.A. SPEC. C900-16 SPEC COMPLETE WITH TRACER WISE. SUZE 50MM (27) AND SMALLER MUST BE TYPE Y SOFT COPPER PIPE PER A.S.T.M. 888-49 SPECIFICATION.

PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVISIONS PUT HAT LEAST AS SIME (2) CUILET ON A 100 mm (47). AND LARGER LINES, COPY AND LARGER LINES, AND LARGER LI

ALL CURB STOPS TO BE 3.0 m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED

HYDRANT AND VALVE SET TO REGION STANDARD 1-8-1 DIMENSION A AND 8, 0.7 m (2') AND 0.9 m (3') AND TO HAVE PUMPER NOZZLE

WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR

WATERMAINS MUST HAVE A MINIMUM CLEARANCE OF 0.3 m (12") OVER / 0.5 m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING

ALL PROPOSED WATER PIPNG MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FIGURING SYSTEMS.

ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE ORDERATIONS AND MAINTENANCE DIVISION.

THE CONTRACTOR(§) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AN STRUCTURES BUSINGS AT HE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK. WHETHER SHOWN ON THE FLANS OR NOT, AND FOR ALL REPARS AND CONSEQUENCES.

THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES, FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION, WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARBING FROM SUCH INSPECTION.

ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLIDE AN APPROPRIATE CROSS CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM. CONFORMING TO REGION OF PELL STANDARDS 1-7-7 OR 1-7-8.

## NOTE: -

- A) ALL EXISTING TREES, WHICH ARE TO REMAIN, MUST BE FULLY PROTECTED WITH HOARDING WHICH SHALL BE ERECTED BEYOND THE DRIP LINE. ALL TREE PRESENTATION MEASURES HAVE BEEN PERFORMED PRIOR TO ISSUANCE OF TOPSOL STRIPPING AND GRADING PERMIT.
- B) NO MOVEMENT OF VEHICLES IS PERMITTED WITHIN THE TREE PROTECTION
- C) THE AREA WITHIN THE TREE PROTECTION ZONE MUST REMAIN UNDISTURBED
- C) THE AREA WITHIN THE TREE PROTECTION ZONE WAST REMAIN UNDISTURBLE AT ALL TIMES.

  D) ANY BENEFILLING OR TOPSOIL/STORAGE OF MATERIALS MUST NOT BE PLACED WITHIN THE LIMITS OF THE TREE PROTECTION ZONE.

  E) ANY ROOTS OR BRANCHES THAT ENTEND BETOND THE TREE PROTECTION ZONE WHICH REQUIRE PRUMPING, MUST BE PROVED THE A QUALIFIED ARRORST AND MUST BE PERFORMED IN ACCORDANCE WITH GOOD
- ARBORICULTURE STANDARDS. TREES THAT HAVE DIED OR HAVE BEEN DAMAGED BEYOND REPAIR, WILL BI INVEN AND REPLACED WITH TREES OF A SIZE AND SPECIES AS



The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the Designer/Engineer of any variations from the supplied information.

This drawings is not to be scaled

The Designer/Engineer is not responsible for the occuracy of survey, mechanical, electrical, etc. information shown on the drawing. Refer to the appropriate consultant's drawings before proceedin with the work.

Construction must conform to all applicable codes and requirements of authorities having jurisdiction.

The contractor working from drawings not specifically marked "For Construction" must assumm full responsibility and bear costs for any correction or damages resulting form his work

The Designer/Engineer retains ownership of copyright in all these drawings. You are granted a license to construct, reproduce, distributes, exhibit or otherwise use, said materials, in accordance with this

NO.	DESCRIPTION	DATE
1.	ISSUED FOR URBAN PLANNER	04/03/2023
2.	REVISED AS PER URBAN PLANNER COMMENT	05/18/2023
3.	ISSUED FOR GRADING APPROVAL	11/01/2023
4,	ISSUED FOR BUILDING PERMIT	11/16/2023
5.	ISSUED FOR COA	12/16/2023
6.		
7.		
8.		
9.		

PROPOSED SINGLE FAMILY DWELLING

25 NEW FOREST TERRACE BRAMPTON, ON

SHEET TITLE:

SITE PLAN

HESE DESIGNS AND DRAWINGS ARE THE COPYRIGHTED PROPERTY OF DESIGNERS/ENGINEERS AND MAY NOT BE REPRODUCED EXCEPT WITH SPECIFIC WRITTEN CONSENT REPRODUCED EXCEPT WITH SPECIFIC WRITTEN CONSENT OF THE DESIGNERS/EXGINEERS. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME REPORTING ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING WORK.

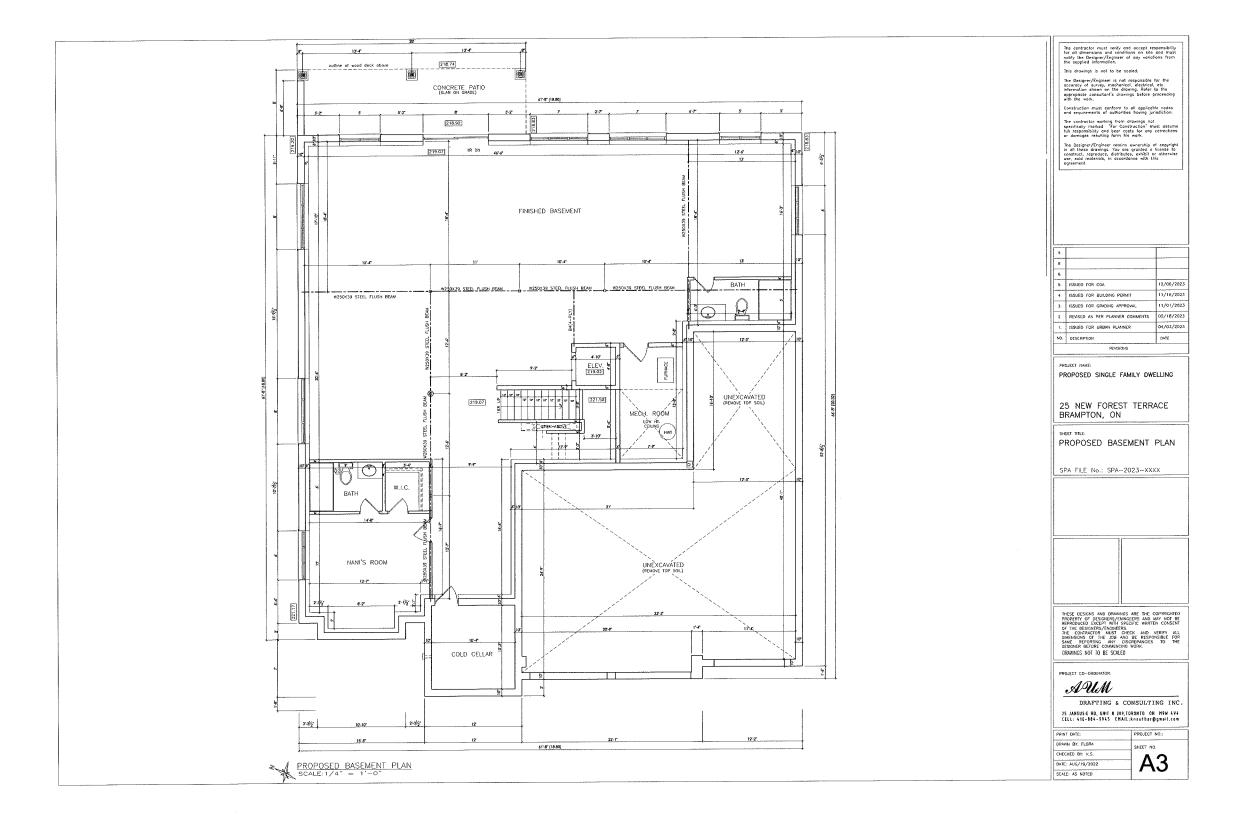
PROJECT CO-ORDINATOR:

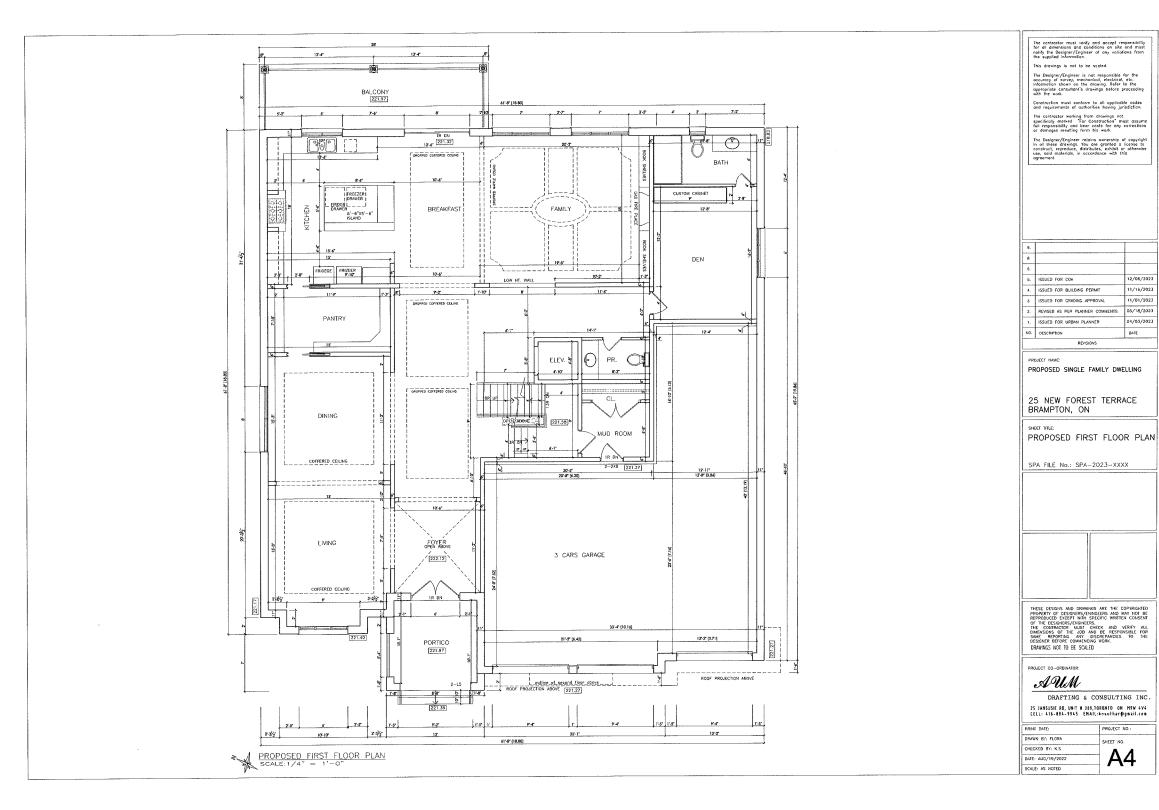


DRAFTING & CONSULTING INC. 25 JANSUSIE RD, UNIT # 209, TORONTO ON M9W 4V4 CFIL: 416-884-9945 FMAIL:knsuthar@onail.com

RINT DATE: CHECKED BY: K.S. DATE: JAN/24/202.

IPPROVED BY THE CITY OF BRAMPTON PUBLIC WORKS AND ENGINEERING OF TREE PROTECTION HOARDING MUST NOT BE REMOVED UNTIL THE COMPLETION OF BUILDING CONSTRUCTION.





# **Zoning Non-compliance Checklist**

File No.
1.000

Applicant: Kaushik Suthar Address: 25 New Forest Terrace

Zoning: R1E-20-2909

By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH	To permit an interior garage width of 54% of the dwelling unit width,	whereas the by-law permits a maximum interior garage of 50% of the dwelling unit width on lots having a lot width greater than 14 m.	13.4.2(j)(5)
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER - DECK			

Shiza Athar	
Reviewed by Zoning	
2023/12/20	
Date	