

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) NASHAT SULAIMAN

Address 51 BIG MOE CRESCENT, BRAMPTON ON ON L6P 1J8

Phone # 647-286-1411

Fax #

Email nashat1965@hotmail.com

2. Name of Agent LOLOA ALKASAWAT

Address 5899 SHELFORD TERRACE, MISSISSAUGA, ON L5M 6K2

Phone # 416-876-1509

Fax #

Email retoucheinc@live.com

3. Nature and extent of relief applied for (variances requested):

The existing R5 semi-detached house has been burned internally due to a fire. A permit is undergoing to repair the damage and make a few adjustments to the layout to better suit the owner and add a second unit. Following Bill 23, the owner would like to add a second unit in the basement, while maintaining privacy for his family. A side entrance is not possible due to the narrow side setback, therefore, an exiting strategy was proposed through the garage as opposed to the back yard to maintain privacy for both families. This renders the garage not useable for parking. It is proposed to use the existing driveway which is 5.85m for the two required parking spots as per Section 10.9 of the Bylaw. Section

4. Why is it not possible to comply with the provisions of the by-law?

The existing driveway was in this condition when the owner bought the residence. Section 10.9 of the Bylaw required two parking spots and a 4.9m wide driveway that will not fit if the driveway is not widened to 5.85m. This measure was taken to allow exiting from second unit in basement through the garage rendering it unuseable.

5. Legal Description of the subject land:

Lot Number 6-Lot 25 Part 21 PIN 14212

Plan Number/Concession Number SECONDARAY PLAN 41- PLAN 43M-1446-43R-25474- ROLL NUMBER 10-12-0-001-42125-0000

Municipal Address 51 Big Moe Crescent

6. Dimension of subject land (in metric units)

Frontage 7.68

Depth 35.01

Area 268.8

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

R2A Semi-detached dwelling with shed, attached garage.

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Widened driveway from 4.9m to 5.85m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING	
Front yard setback	6.06
Rear yard setback	10.8
Side yard setback	0
Side yard setback	1.6
PROPOSED	
Front yard setback	6.06
Rear yard setback	10.8
Side yard setback	0
Side yard setback	1.6

10. Date of Acquisition of subject land: September 30 / 2016
11. Existing uses of subject property: Residential Semi-Detached single family
12. Proposed uses of subject property: Multi family Unit
13. Existing uses of abutting properties: Residential Semi-Detached single family and multi family units
14. Date of construction of all buildings & structures on subject land: 2008
15. Length of time the existing uses of the subject property have been continued: 2024

16. (a) What water supply is existing/proposed?
- | | | | |
|-----------|-------------------------------------|-----------------|--------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) | n/a existing |
| Well | <input type="checkbox"/> | | |
- (b) What sewage disposal is/will be provided?
- | | | | |
|-----------|-------------------------------------|-----------------|--------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) | n/a existing |
| Septic | <input type="checkbox"/> | | |
- (c) What storm drainage system is existing/proposed?
- | | | | |
|---------|--------------------------|-----------------|--------------|
| Sewers | <input type="checkbox"/> | Other (specify) | n/a existing |
| Ditches | <input type="checkbox"/> | | |
| Swales | <input type="checkbox"/> | | |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☐ Unknown ☒

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF MISSISSAUGA _____

THIS 17 DAY OF JANUARY, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Nishat Sulaiman OF THE City OF Woodbridge
IN THE Region OF York SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF _____
Peel THIS 18th DAY OF

January, 2024

Clara Vani
A Commissioner etc.

Clara Vani
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton

Expires September 20, 2026



Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R2A-1663

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar

Zoning Officer

2024/01/18

Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

Clara
Jan 18, 2024

Revised 2022/02/17

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 51 BIG MOE CRESCENT BRAMPTON ON ON L6P 1J8

I/We, NASHAT SULAIMAN
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

LOLOA ALKASAWAT
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 17 day of JANUARY, **20**²⁴.

Nashat Sulaiman
Digitley signed by Nashat Sulaiman
DN: C=CA, E=nashat198@gmail.com, CN=Nashat Sulaiman
Date: 2024.01.17 11:42:28-0500
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

NASHAT SULAIMAN
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER


To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: 51 BIG MOE CRESCENT BRAMPTON ON L6P 1J8

I/We, NASHAT SULAIMAN
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 17 day of JANUARY, 2024.

Nashat Sulaiman 
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

NASHAT SULAIMAN
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

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please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

LOLOA ALKASAWAT
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 17 day of JANUARY, 2024.

Nashat Sulaiman
Digitally signed by Nashat Sulaiman
DN: cn=CA, email=Nashat196@gmail.com, c=ch, o=Nashat
Sulaiman, date=2024.01.17 11:47:38-0500
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

NASHAT SULAIMAN
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

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To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

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please print/type the full name of the owner(s)

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Dated this 17 day of JANUARY, 20²⁴.

Nashat Sulaiman

(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

NASHAT SULAIMAN
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION

The Planning Act, R.S.O. 1990, c.P.13, as amended

APPLICATION FOR MINOR VARIANCE -Appendix A

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under Section 45 of the Planning Act, R.S.O., 1990, c.P.13, as amended, for relief as described in this application from Brampton zoning by-law 270-2004, as amended.

Subject Land:

51 BIG MOE CRES., Lot 25L Part 21 PIN 14212, PLAN 43M-1446, Roll number: 10-12-0-001-42125-0000

Applicant:

Loloa Alkasawat on behalf of Owner Nashat Sulaiman

Why is it not possible to comply with the Zoning By-law requirements:

(Please describe the request and explain why it is not possible to comply with the provisions set out in the City's Zoning By-law. If additional space is required, attach a separate sheet/letter.)

In the pursuit of a building permit 2023-326971-000-00RS for a second unit, the applicant was faced with two challenges.

1. Driveway permitted is 4.9 m however existing driveway is 5.85 m and is necessary to allow for two parking spots as the garage will serve as an exit from the second unit.
2. Proposed exit from garage as opposed to from the main unit as per OBC Compliance Section C136 which allows for an exit from the main unit, however the building department did not allow it.

This letter is to request relief from the bylaw for: **Permitting the existing widening of driveway and allowing for the reduction of the parking requirement.**

The existing R2A semi-detached house has been burned internally due to a fire. A permit is being undertaken to repair the damage and make a few adjustments to the layout to better suit the owner and add a second unit.

Following Bill 23, the owner would like to add a second unit in the basement, while maintaining privacy for his family. This second unit will alleviate the residential crisis and assist the owner in improving income especially after the loss to his house during the fire.

A side entrance is not possible due to the narrow side setback, therefore, an exit from the main unit was proposed as per OBC Compliance Section C136 which allows for an exit from the main unit, however the building department did not allow it.

An exiting strategy was proposed through the garage as opposed to the backyard to maintain privacy for both families. This renders the garage not useable for parking. It is proposed to use the existing driveway which is 5.85m for the two required parking spots as per Section 10.9 of the Bylaw.

Section 10.9 (1), however, restricts the width of the driveway to 4.9 m as the frontage is less than 8.2 m. The lot frontage is 7.68m. As this is an existing condition and pursuant to other neighbours (images shown in the site plan attached with the package) who have increased their driveways.

We are seeking relief from the Bylaw to allow for a 5.85 m driveway as opposed to a 4.9 m driveway to facilitate existing conditions, and allow for two parking spots, therefore alleviating additional financial stress on the owner to change the driveway, and to add income, and more residential capacity to the neighborhood as per Bill 23. Seeing the difference is only 0.9 m and is minor in nature, and is in line with the neighbourhood's driveways, we hope this can be approved. Alternatively, my client seeks to reduce parking to one spot if this variance cannot be approved.

The new bylaws allow up to three units on a property, and the applicant would like to add two second units on the lot in the future and this driveway will be essential for the future units as a selling point.

We hope that this explanation provides sufficient clarification on why these requests are important to the design of the additional units, and how future expansion would be taken into consideration in satisfying the need for affordable housing.

Thank you,

Loloa Alkasawat on behalf of Nashat Sulaiman

2024-01-17

Registered Owner’s Authorization Form

Application For:

☐ Pre-Application Consultation

☐ Draft Plan of Common Element Condominium

☐ Official Plan Amendment

☐ Draft Plan of Standard Condominium

☒ Zoning By-Law Amendment

☐ Draft Plan of Vacant Land Condominium

☐ Block Plan Amendment

☐ Site Plan Approval

☐ Draft Plan of Subdivision

1. APPLICANT INFORMATION:

Applicant Name:

LOLOA ALKASAWAT

Title:

Address:

Company:

City/Province:

Telephone:

Postal Code:

Email:

2. OWNER(S) INFORMATION (if different from applicant information above)

Owner’s Name:

Address:

Project Name:

City/Province:

Telephone:

Postal Code:

Email:

3. SITE INFORMATION:

Municipal Address:

Ward #:

Legal Description:

Assessment Roll Number:

Area (ha):

Width (m):

Frontage (m):

Depth (m):

Registered Plan:

Reference Plan:

4. PROPOSAL INFORMATION (Provide sufficient information to describe the scale and scope of the proposal.):



5. REGISTERED OWNER'S AUTHORIZATION - To be completed by the registered owner(s)

I (we), Nashat Sulaiman am (are) the registered owner(s) of the subject site.
I (we) authorize _____ to prepare, submit and speak to this request for this application, on my (our) behalf.

Owner Signature(s): _____ Dated: _____
_____ Dated: _____

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

6. ACKNOWLEDGEMENTS AND DECLARATION

I (we) confirm that the drawings and materials submitted in support of this application are complete and have been submitted in accordance with the requirements. I (we) understand that this application may not be accepted as 'complete' until such time as the Planning and Development Services Department is satisfied with the content and form of the drawings and materials submitted in support of this application.

I (we) agree and acknowledge that this application and any supporting material, including any studies and drawings, filed in support of this application, is public information, and forms part of the public record. I (we) hereby consent to the COB making copies of and releasing this application and any supporting information for COB's use in the processing of this application or at the request of a third party, without further notice to or permission from the applicant.

I (we) hereby state that I (we) have the authority to bind my (our) consultants to the terms of this acknowledgement and declaration.

I (we) hereby declare that the statements made by me (us) in this application, are to the best of my (our) belief and knowledge, a true and complete representation of the purpose and intent of this application.

Applicant or Owner Signature(s): _____ Dated: _____
_____ Dated: _____

7. AFFIDAVIT OF APPLICANT (Not required for Pre-Application Consultation and Site Plan Applications)

I, _____ of the _____ in the _____ of _____ solemnly declare that all the statements contained within the applicant are true, and I make this solemn declaration conscientiously believing it to be true, and knowing that it is same force and effect as if I made under oath, and by virtue of "The Canada Evidence Act."

Declared before me at the _____ in the _____ of _____ this _____ day of _____, 20____.



RENOVATION OF AN EXISTING SEMI-DETACHED DWELLING

51 BIG MOE CRESCENT, BRAMPTON, ON L6P 1J8



LOCATION PLAN N.T.S.



Sheet List	
Sheet Name	Sheet Number
COVER	A001
GENERAL NOTES	A002
SURVEY	A003
PARTIAL SURVEY	A004
EXISTING SITEPLAN	A005
EXISTING BASEMENT PLAN	A101
PROPOSED BASEMENT PLAN	A102
EXISTING GROUND FLOOR PLAN	A103
PROPOSED GROUND FLOOR PLAN	A104
EXISTING SECOND FLOOR PLAN	A105
PROPOSED SECOND FLOOR PLAN	A106
EXISTING SIDE ELEVATION	A201
PROPOSED SIDE ELEVATION	A202
DETAILS 1	A301
DETAILS 2	A302

GENERAL NOTES :

- A CARBON MONOXIDE DETECTOR SHALL BE LOCATED ADJACENT TO SLEEPING AREAS
- ALL CARBON MONOXIDE ALARMS IN THE BUILDING MUST BE TESTED AND A WRITTEN RECORD OF THE TEST MUST BE MADE. A COYP OF THE RECORD MUST BE RETAINED AND MADE AVAILABLE TO THE CHIEF FIRE OFFICEAL UPON REQUEST.
- 3-WAY SWITCH LOCATED AT THE TOP AND BOTTOM OF SHARED STAIRS
- IF A CONTINUOUS FIRE SEPARATION CANNOT BE MAINTAINED IN THE FURNACE ROOM, A SPRINKLER SYSTEM INSTALLED BY A CERTIFIED SPRINKLER INSTALLER IS REQUIRED WITH A TESTABLE BACKFLOW DEVICE.
- A SMOKE DUCT DETECTOR IS REQUIRED TO BE INSTALLED IN THE SUPPLY OR RETURN AIR DUCT OF THE FURNACE
- ALL SMOKE ALARMS IN THE BUILDING MUST BE TESTED AND A WRITEN RECORD OF THE TEST MUST BE MADE. A COPY OF THE RECORDS MUST BE RETAINED AND MADE AVAILABLE TO THE CHIEF FIRE OFFICIAL UPON REQUEST.
- THE ONTARIO BUILDING CODE REQUIRES THAT A SMOKE ALARM BE INSTALLED ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN CONFORMANCE WITH 18.5.3. OF "LIGHT, COLOR AND PULSE CHARACTERISTICS" OF NFPA 72.
- INSULATION VALUES TO MEET OR EXCEED EXISTING
- NEW DOOR WITH A 20 MINUTES FIRE-PROTECTION RATING WITH SELF-CLOSING DEVICES BETWEEN DWELLINGS.
- DRYER EXHAUST FAN TO OUTSIDE DIRECT
- HOOD EXHAUST FAN TO OUTSIDE DIRECT
- COMBUSTIBLE MATERIALS MUST BE AT LEAST 1 .M FROM FUEL-FIRED APPLIANCES. THE AMOUNT OF COMUSTIBLES IN THE BACKYARD OF THE BUILDING MUST BE REDUCED.
- FIRE RATED WALLS PARTITION 40 MINUTES BETWEEN DWELLINGS.
- FOR FINISHED BASEMENTS, BOTH SUPPLY AND RETURN AIR DUCTS ARE RECOMMENDED TO BE DROPPED TO THE FLOOR LEVEL
- INSULATION VALUES TO MEET OR EXCEED EXISTING
- SHUT-OFF VALVES SHALL BE INSTALLED AS NECESSARY TO ENSURE THAT WHEN THE SUPPLY TO ONE SUITE IS SHUT OFF THE SUPPLY TO THE REMAINDER OF THE BUILDING IS NOT INTERRUPTED AS PER OBC DIVB 7.6.1.6. REVIEW WITH BUILDING INSPECTOR ON SITE.
- THE MAXIMUM TEMPERATURE OF HOT WATER SUPPLIED BY FITTINGS TO NEW FIXTURES SHALL NOT EXCEED 49 C.
- FIRE RATED CEILING MUST BE CONTINUOUS FROM FOUNDATION WALL TO FOUNDATION WALL. IF THE FIRE SEPARATION IS INTERRUPTED BY WALLS OR BULKHEADS, THE WALLS AND BULKHEADS WILL ALSO HAVE TO BE FIRE RATED.
- ENSURE CONTINUITY OF FIRE SEPARATION TO UNDERSIDE OF ROOF DECK INCLUDING CONCEALED SPACES BEHIND TUBS, BULKHEADS, SHAFTS, DUCTS, STAIRS, AND PERPENDICULAR WALLS.
- EVERY ROOM/SPACE REQUIRES SUPPLY AIR REGISTERS.
- THE FINAL GRADING OF THIS PROPERTY SHALL NOT ADVERSELY EFFECT THE DRAINAGE OF ADJACENT PROPERTIES OR THE OVERALL GRADING CONTROL PLAN.
- ALL LOAD BEARING WALLS, COLUMNS AND ARCHES IN THE STOREY IMMEDIATELY BELOW A FLOOR OR ROOF ASSEMBLY SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED FLOOR OR ROOF ASSEMBLY.

GENERAL NOTE FOR DOORS:

- ALL FIRE-RATED DOORS ARE TO BE CLEARLY LABELED WITH THE APPROPRIATE FIRE PROTECTION RATING (ULC), AS DESCRIBED IN THE DOOR SCHEDULE. SUCH LABELS MUST NOT BE COVERED ORPAINTED-OVER.
- FIRE-RATED FRAMES ARE TO BE WELDED HOLLOW METAL AND CLEARLY LABELED WITH THE APPROPRIATE FIRE PROTECTION RATING. SUCH LABELS MUST NOT BE COVERED OR PAINTED-OVER.
- ALL DOORS WITHIN FIRE SEPARATIONS ARE TO BE INSTALLED IN CONFORMANCE WITH NFPA 80 "FIRE DOORS" AND TO MINIMIZE SMOKE MIGRATION THROUGH THE OPENING, WHEN IN THE CLOSED POSITION, INCLUDING DOOR SWEEPS AS REQUIRED.
- IF A DOOR IS INSTALLED SO THAT IT COULD DAMAGE THE INTEGRITY OF A FIRE SEPARATION DURING ITS SWING, DOOR STOPS SHALL BE INSTALLED TO PREVENT THE DAMAGE.
- ALL METAL AND SOLID WOOD DOORS ARE TO BE INSTALLED WITH MIN. 3 HEAVY DUTY HINGES
- INTERIOR HOLLOW-WOOD DOORS MAY BE HUNG WITH 2-HINGES.
- U-VALUES NOTED ARE REQUIRED TO MEET THE ENERGY EFFICIENCY REQUIREMENTS OF OBC SB-12 AND THIS CRITERIA MUST BE IDENTIFIED ON ALL SHOP DRAWINGS AND OTHER DOCUMENTATION.
- UNLESS OTHERWISE NOTED, ALL DOORS ARE 44mm (1-3/4") THICK.
- NO DOOR CLOSER OR OTHER DEVICE SHALL BE INSTALLED SO AS TO REDUCE THE CLEAR HEIGHT OF A DOORWAY TO LESS THAN 1 980 mm.
- DOOR HARDWARE SUPPLIER AND INSTALLER TO PROVIDE DOOR HARDWARE SCHEDULE INCLUDING COMPLETE HARDWARE FOR ALL DOORS FOR REVIEW BY OWNER. CUT SHEETS WITH TECHNICAL DATA FOR ALL HARDWARE TO BE SUBMITTED WITH SCHEDULE.

A002 GENERAL NOTES

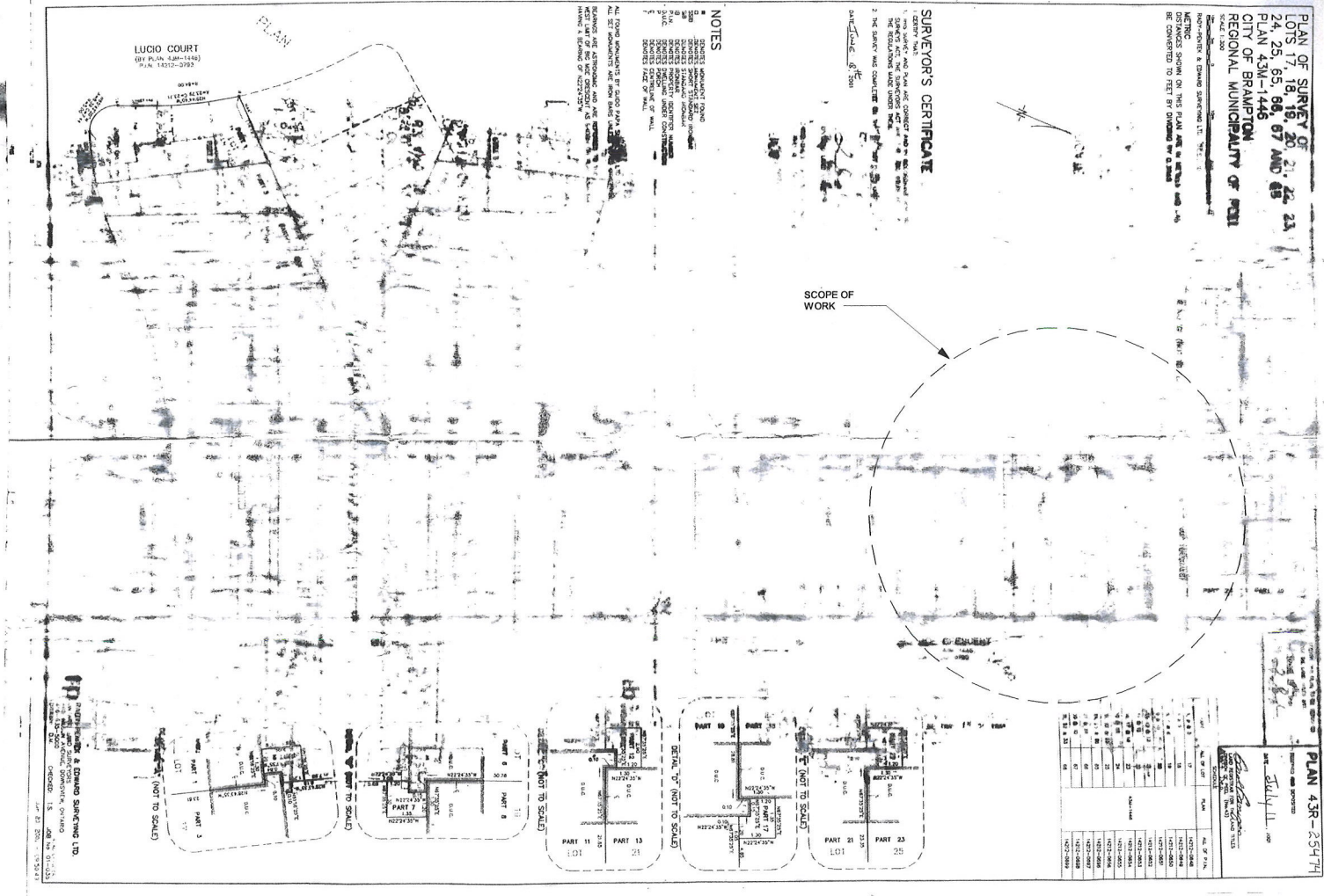
As indicated			
Issue Date:	06/13/2022	Project No.:	003
Rev.	Sheet Ref No.:		
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51 Big Moe Crescent, Brampton, ON L6P 1J8



Retouche
Architecture & Design

EMAIL:RETOUCHEINC@LIVE.COM
2091661 Ontario Inc.



A003 SURVEY
As indicated
Issue Date: 06/13/2022 Project No.: 003
Rev. Sheet Ref No.:
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51 Big Moe Crescent, Brampton, ON L6P 1J8

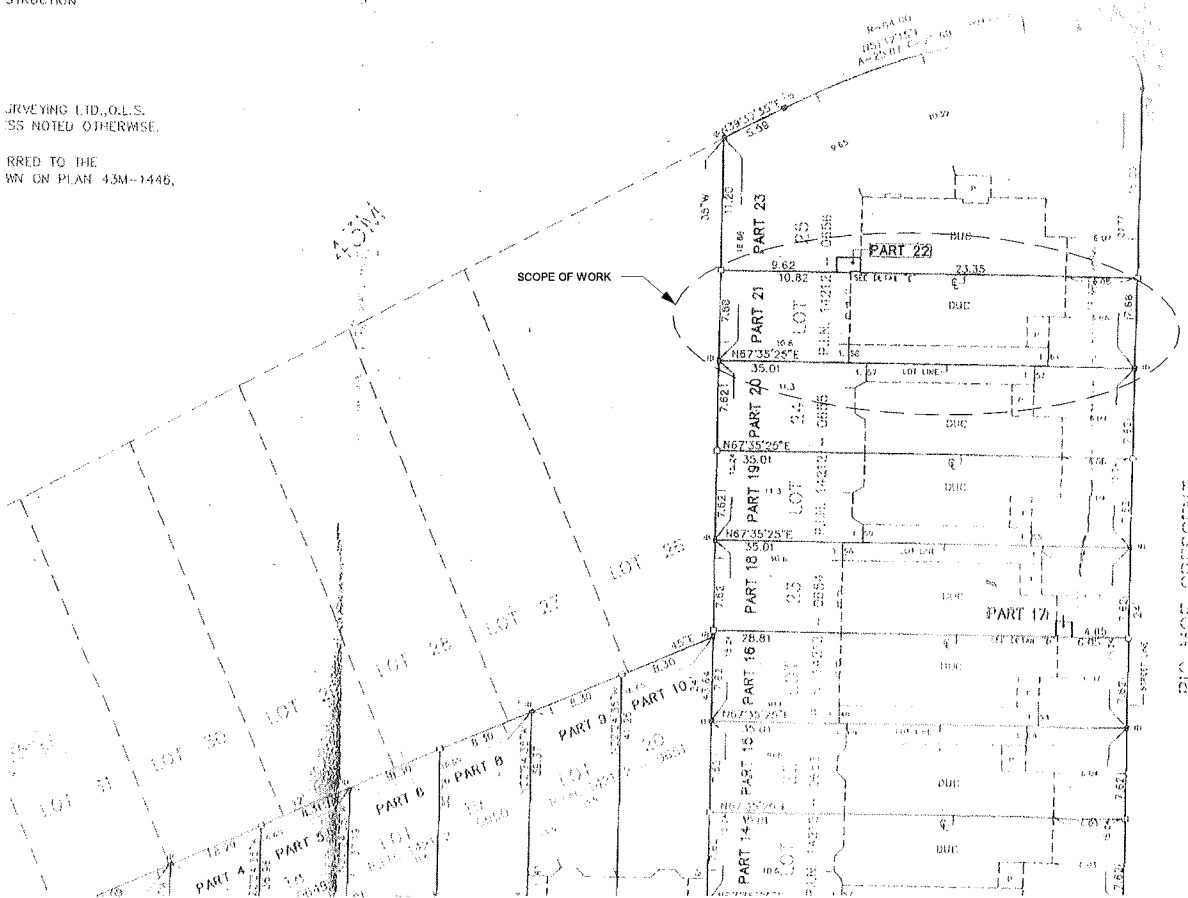


Retouche
Architecture & Design
EMAIL: RETOUCHEINC@LIVE.COM
2091661 Ontario Inc.

NUMBER
STRUCTION

IRVEYING LTD., O.L.S.
SS NOTED OTHERWISE.

RRED TO THE
WN ON PLAN 43M-1446,



A004 PARTIAL SURVEY

As indicated
Issue Date: 06/13/2022 Project No.: 003

Rev. Sheet Ref No.:

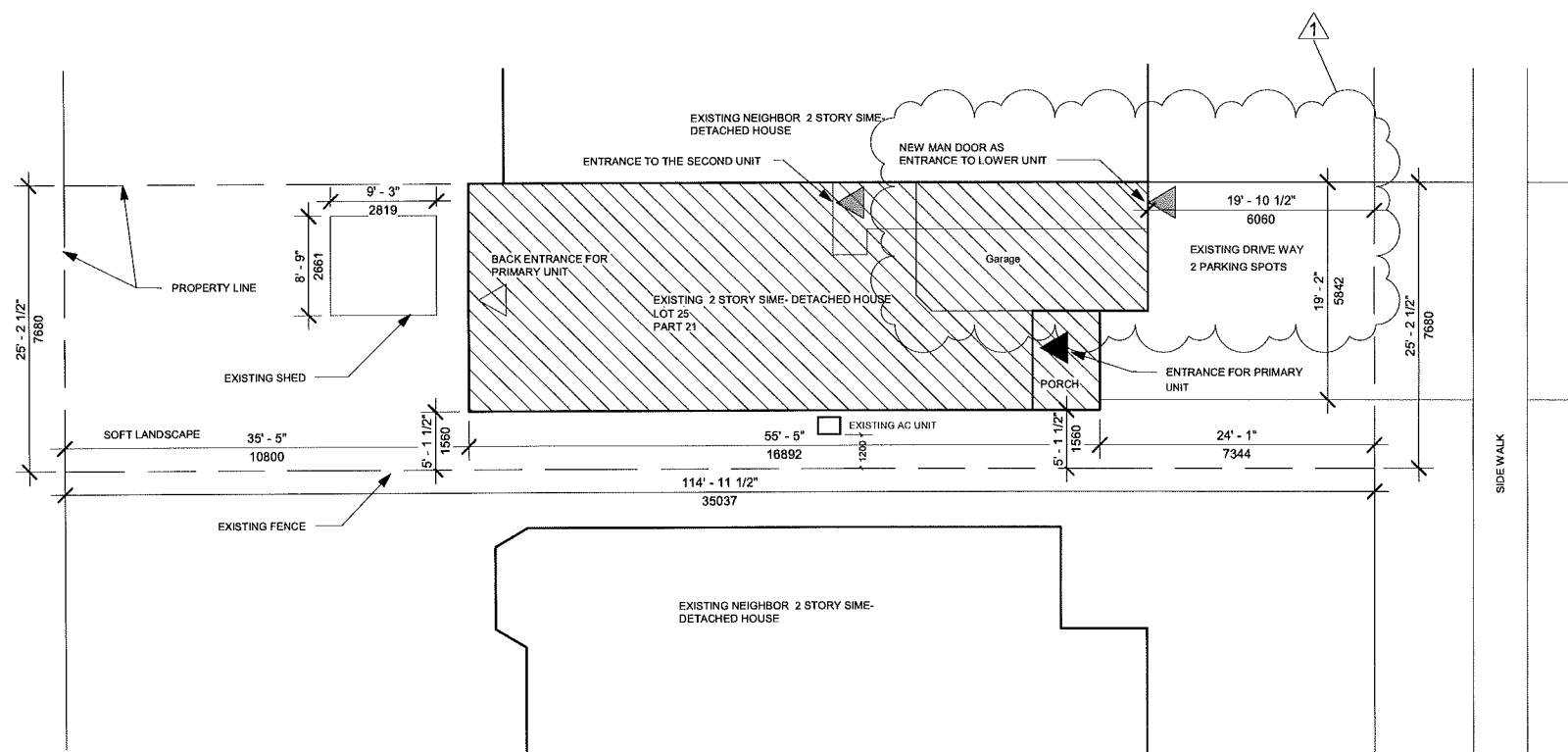
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51 Big Moe Crescent, Brampton, ON L6P 1J8



Retouche
Architecture & Design

EMAIL:RETOUCHEINC@LIVE.COM
2091661 Ontario Inc.



BIG MOE CRESENT

Total of Car Parking	2 spaces	
Inside Garage	1 spaces	
Outside Garage	1 spaces	
DWELLING FOOTPRINT	EXISTING	TOTAL
PORCH		
DECK		
OTHER		NO CHANGE
TOTAL		
AVERAGE GRADE CALCULATION		
	A	B
1 CENTERLINE OF STREET		
2 INTERSECTION OF FRONT		
3 ALONG SIDE LOT LINES		NO CHANGE
4 ALONG SIDE LOT LINES		

PROJECT STATISTICS		
51 Big Moe Crescent,		
Brampton, ON		
ZONING : SEMI-DETACHED DWELLING		
LOT AREA: 269 M²		
LOT FRONTAGE : 7.68 m		
BUILDING HEIGHT		
AVERAGE GRADE:		
ESTABLISHED GRADE:		
HEIGHT TO MID-POINT:		
HEIGHT TO HIGHEST RIDGE		
HEIGHT TO UNDERSIDE OF EAVES		
GROSS FLOOR AREA - INFILL RESIDENTIAL		
	EXISTING	TOTAL
GROUND FLOOR	79.5 m ²	79.5 m ²
SECOND FLOOR	90 m ²	90 m ²
GARAGE	23 m ²	23 m ²
TOTAL GFA / Upper unit	192.5 m ²	192.5 m ²
BASEMENT FLOOR	50m ²	50m ²
GFA LOWER UNIT %	25.9 % SF	

EXISTING SITE PLAN.

3

1 : 125

A005 EXISTING SITEPLAN

As indicated

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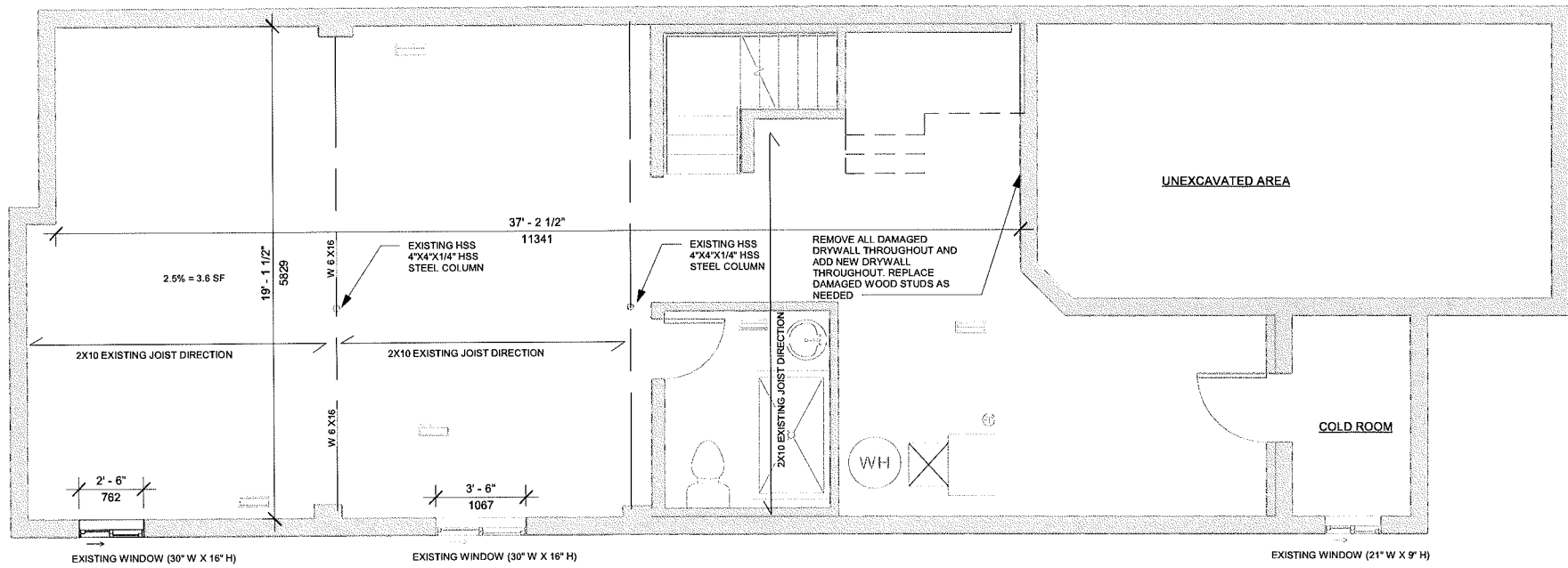
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A101 EXISTING BASEMENT PLAN

As indicated

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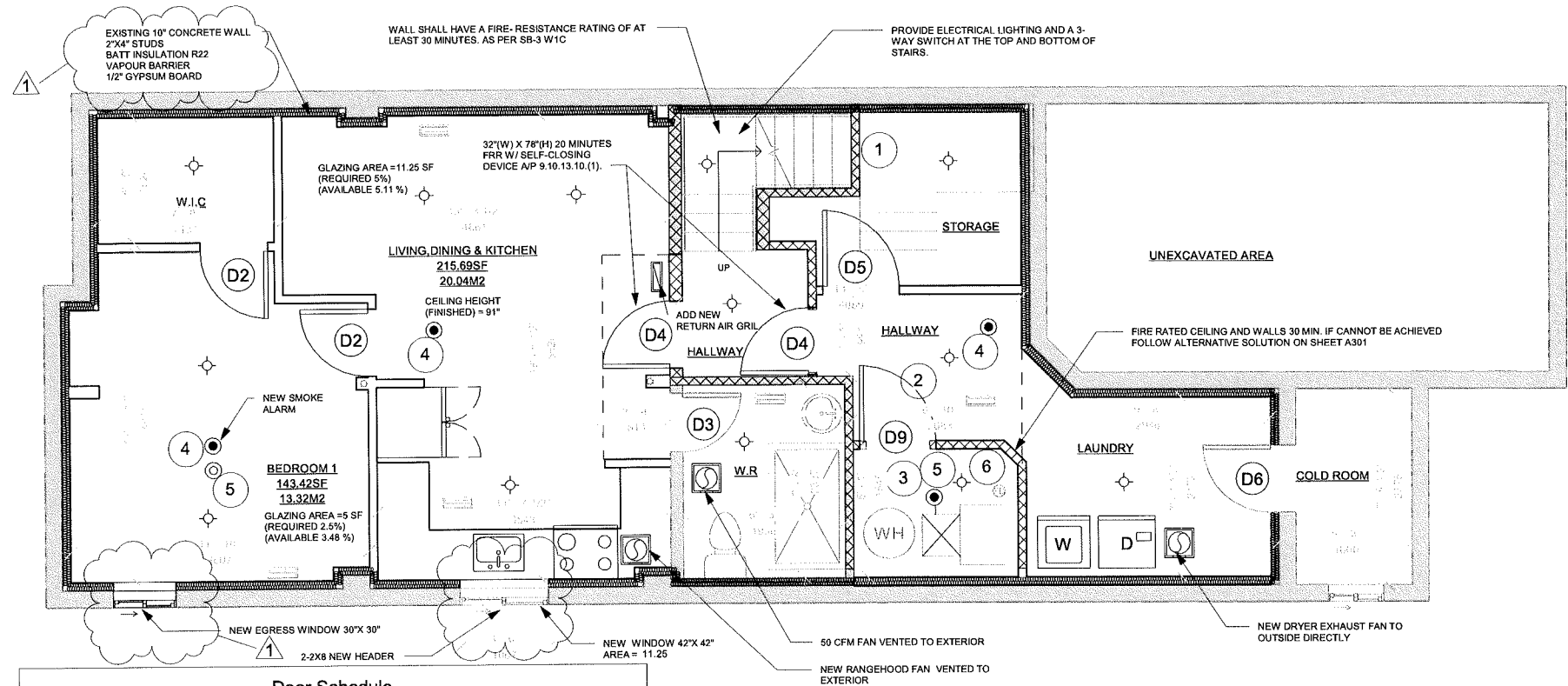
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Door Schedule				
Door Number.	Width mm.	Height mm.	Count	Fire Rating
D2	2' - 8"	7' - 0"	2	20 MINUTES
D3	2' - 4"	7' - 0"	1	
D4	2' - 8"	7' - 0"	5	
D5	3' - 0"	7' - 0"	1	
D6	2' - 8"	7' - 0"	1	
D7	2' - 8"	7' - 0"	1	20 MINUTES
D8	2' - 8"	7' - 0"	1	
D9	3' - 0"	7' - 0"	1	
D11	3' - 0"	7' - 0"	1	
D12	6' - 7 1/2"	8' - 0"	1	

NOTE 1:
- REPAIR AND RESTORE ANY DAMAGED EXISTING CONDITIONS.
- EACH UNIT REQUIRES ITS OWN WATER SUPPLY SHUT-OFFS
- NEW DOOR 20 MINUTE FIRE RATED WITH SELF-CLOSING DEVICES BETWEEN DWELLINGS
- ENTIRE BASEMENT CEILING TO BE FIRE RATED MIN 45 MIN. AS PER SB-3 F5c WITH ABSORPTIVE MATERIAL IN CAVITY
- ALL POT LIGHTS IN CEILING SHALL BE FIRE RATED
- REPLACE DAMAGED INTERIOR WALL ASSEMBLIES AS NEEDED TO MATCH EXISTING LAYOUT.
- REPLACE DAMAGED EXTERIOR WALL ASSEMBLIES AS NEEDED TO ACHIEVE R20 ci IN BASEMENT & R22 ci IN ALL LEVELS ABOVE.

- 1 WALL BETWEEN UNIT SHALL BE 45 MIN FRR. SEE W1b ASSEMBLY ON PAGE (A302)
- 2 FRR DOOR THAT PROVIDE A 20 MINUTES FIRE-PROTECTION RATING.
- 3 DUCT-TYPE SMOKE DETECTOR/TO BE INSTALLED IN THE SUPPLY DUCT.
- 4 NEW SMOKE ALARM / HARD WIRED: INTERCONNECTED w/ VISUAL SIGNAL
- 5 NEW CARBON MONOXIDE ALARM / HARD WIRE INTERCONNECTED.
- 6 PORTABLE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A-10BC

- LEGEND**
- EXISTING WALL TO DIMOLISHED.
 - EXISTING WALL TO REMAIN.
 - FIRE SEPARATION.
 - SMOKE ALARM INTERCONNECTED
 - CARBON MONOXIDE ALARM
 - RETURN AIR GRIL
 - SUPPLY AIR GRIL

A102 PROPOSED BASEMENT PLAN

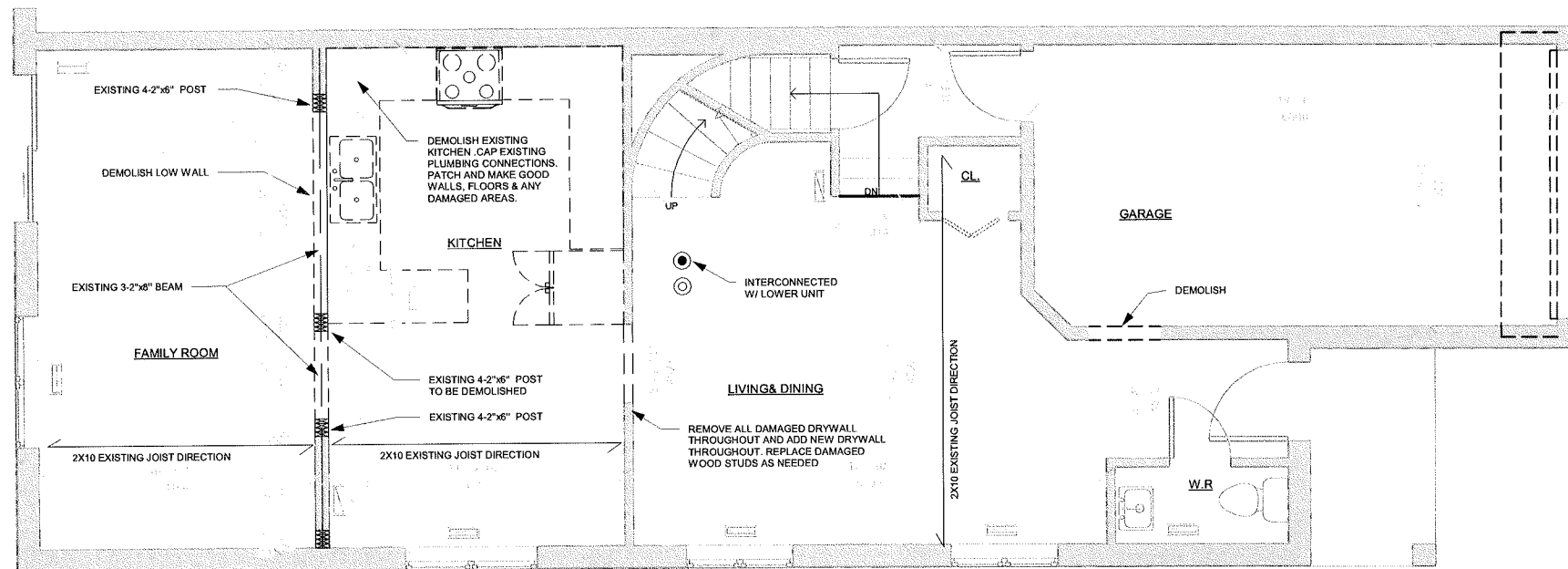
As Indicated
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A103 EXISTING GROUND FLOOR PLAN

As Indicated

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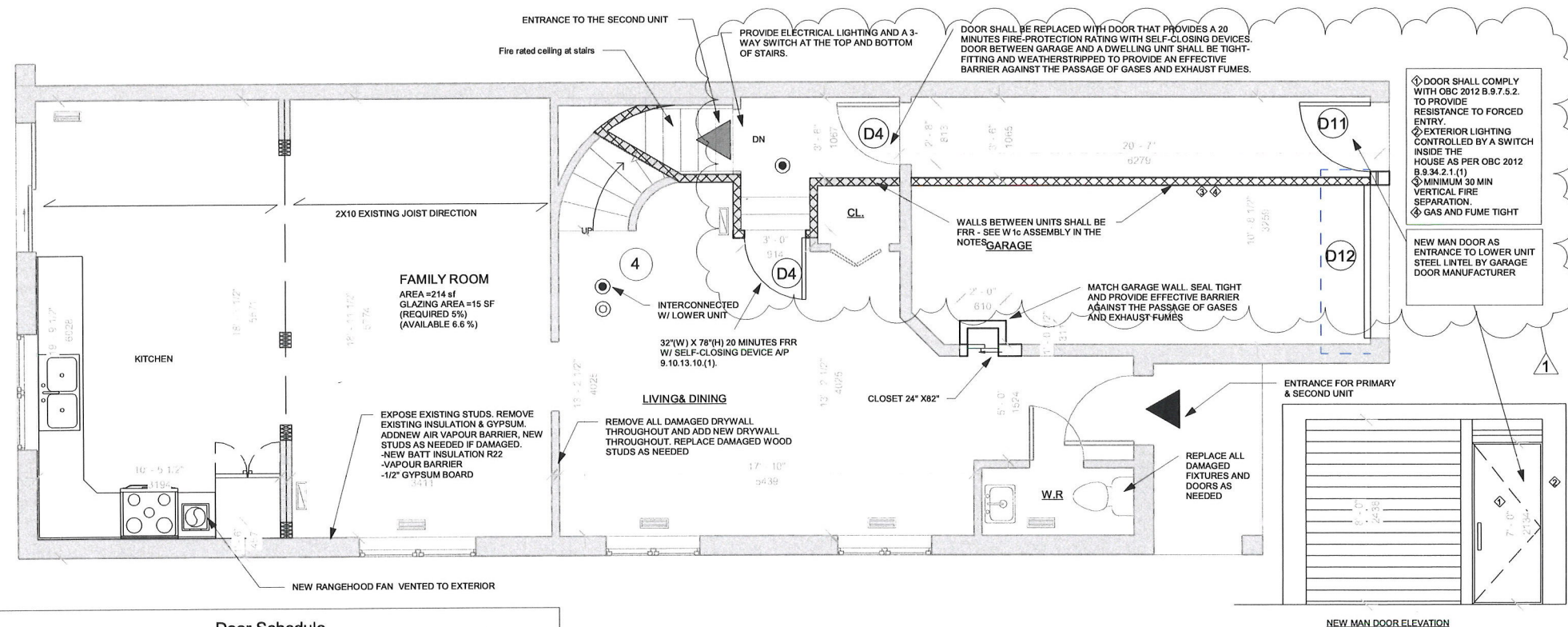
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Door Schedule				
Door Number.	Width mm.	Height mm.	Count	Fire Rating
D2	2' - 8"	7' - 0"	2	
D3	2' - 4"	7' - 0"	1	
D4	2' - 8"	7' - 0"	5	20 MINUTES
D5	3' - 0"	7' - 0"	1	
D6	2' - 8"	7' - 0"	1	
D7	2' - 8"	7' - 0"	1	
D8	2' - 8"	7' - 0"	1	
D9	3' - 0"	7' - 0"	1	20 MINUTES
D11	3' - 0"	7' - 0"	1	
D12	6' - 7 1/2"	8' - 0"	1	

NOTE 1 :
- REPAIR AND RESTORE ANY DAMAGED EXISTING CONDITIONS.
- EACH UNIT REQUIRES ITS OWN WATER SUPPLY SHUT-OFFS
- NEW DOOR 20 MINUTE FIRE RATED WITH SELF-CLOSING DEVICES BETWEEN DWELLINGS
- ENTIRE BASEMENT CEILING TO BE FIRE RATED MIN 45 MIN. AS PER SB-3 F5c WITH ABSORPTIVE MATERIAL IN CAVITY
- ALL POT LIGHTS IN CEILING SHALL BE FIRE RATED
- REPLACE DAMAGED INTERIOR WALL ASSEMBLIES AS NEEDED TO MATCH EXISTING LAYOUT.
- REPLACE DAMAGED EXTERIOR WALL ASSEMBLIES AS NEEDED TO ACHIEVE R20 ci IN BASEMENT & R22 ci IN ALL LEVELS ABOVE.

- 1
- WALL BETWEEN UNIT SHALL BE 45 MIN FRR. SEE W1b ASSEMBLY ON PAGE (A302)
- 2
- FRR DOOR THAT PROVIDE A 20 MINUTES FIRE-PROTECTION RATING.
- 3
- DUCT-TYPE SMOKE DETECTOR/TO BE INSTALLED IN THE SUPPLY DUCT.
- 4
- NEW SMOKE ALARM / HARD WIRED: INTERCONNECTED w/ VISUAL SIGNAL.
- 5
- NEW CARBON MONOXIDE ALARM / HARD WIRE INTERCONNECTED.
- 6
- PORTABLE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A-10BC

LEGEND

- EXISTING WALL TO DIMOLISHED.
- EXISTING WALL TO REMAIN.
- FIRE SEPARATION.
- SMOKE ALARM INTERCONNECTED
- CARBON MONOXIDE ALARM
- RETURN AIR GRIL
- SUPPLY AIR GRIL

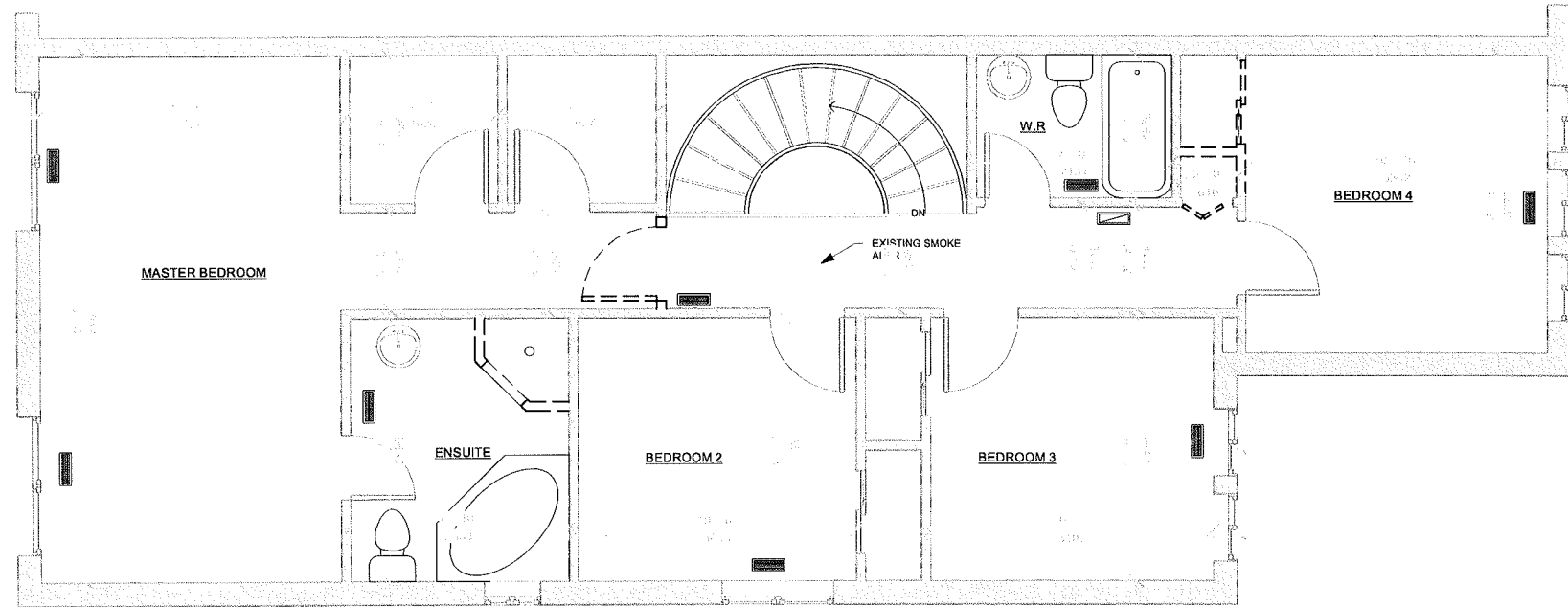
A104 PROPOSED GROUND FLOOR PLAN

As indicated
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1 EXISTING SECOND FLOOR PLAN
1 : 50

- LEGEND**
- EXISTING WALL TO DIMOLISHED.
 - EXISTING WALL TO REMAIN.
 - FIRE SEPARATION.
 - SMOKE ALARM INTERCONNECTED
 - CARBON MONOXIDE ALARM
 - RETURN AIR GRIL
 - SUPPLY AIR GRIL

A105 EXISTING SECOND FLOOR PLAN

As indicated
Issue Date: 06/13/2022 Project No.: 003

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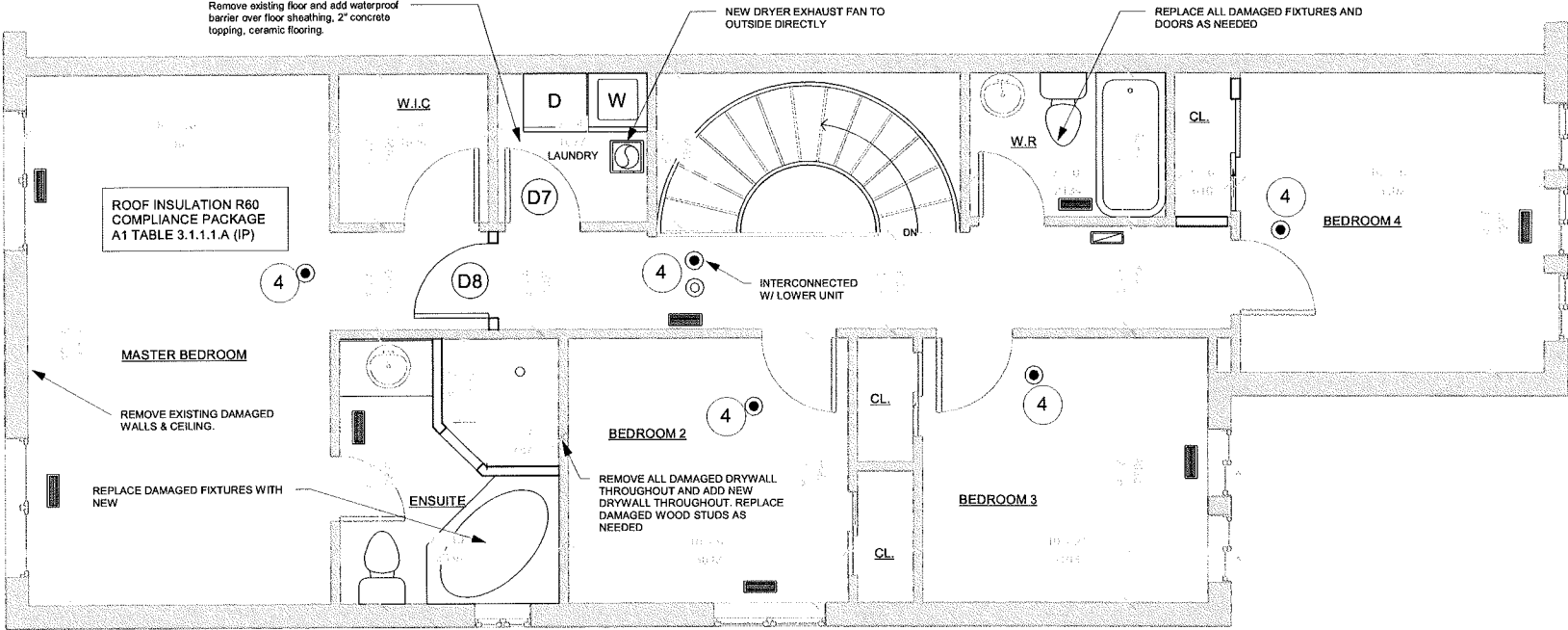
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ONTARIO ASSOCIATION
OF
ARCHITECTS
Lolo Alkassawat
LOLO ALKASSAWAT
LICENCE
6371

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PORPOSED SECOND FLOOR PLAN

1
1 : 50

Door Schedule				
Door Number.	Width mm.	Height mm.	Count	Fire Rating
D2	2' - 8"	7' - 0"	2	
D3	2' - 4"	7' - 0"	1	
D4	2' - 8"	7' - 0"	5	20 MINUTES
D5	3' - 0"	7' - 0"	1	
D6	2' - 8"	7' - 0"	1	
D7	2' - 8"	7' - 0"	1	
D8	2' - 8"	7' - 0"	1	
D9	3' - 0"	7' - 0"	1	20 MINUTES
D11	3' - 0"	7' - 0"	1	
D12	6' - 7 1/2"	8' - 0"	1	

NOTE 1 :
- REPAIR AND RESTORE ANY DAMAGED EXISTING CONDITIONS.
- EACH UNIT REQUIRES ITS OWN WATER SUPPLY SHUT-OFFS
- NEW DOOR 20 MINUTE FIRE RATED WITH SELF-CLOSING DEVICES BETWEEN DWELLINGS
- ENTIRE BASEMENT CEILING TO BE FIRE RATED MIN 45 MIN. AS PER SB-3 F5c WITH ABSORPTIVE MATERIAL IN CAVITY
- ALL POT LIGHTS IN CEILING SHALL BE FIRE RATED
- REPLACE DAMAGED INTERIOR WALL ASSEMBLIES AS NEEDED TO MATCH EXISTING LAYOUT.
- REPLACE DAMAGED EXTERIOR WALL ASSEMBLIES AS NEEDED TO ACHIEVE R20 cl IN BASEMENT & R22 cl IN ALL LEVELS ABOVE.

- 1 WALL BETWEEN UNIT SHALL BE 45 MIN FRR. SEE W1b ASSEMBLY ON PAGE (A302)
- 2 FRR DOOR THAT PROVIDE A 20 MINUTES FIRE-PROTECTION RATING.
- 3 DUCT-TYPE SMOKE DETECTOR/TO BE INSTALLED IN THE SUPPLY DUCT.
- 4 NEW SMOKE ALARM / HARD WIRED: INTERCONNECTED w/ VISUAL SIGNAL
- 5 NEW CARBON MONOXIDE ALARM / HARD WIRE INTERCONNECTED.
- 6 PORTABLE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A-10BC

- LEGEND**
- EXISTING WALL TO DIMOLISHED.
 - EXISTING WALL TO REMAIN.
 - FIRE SEPARATION.
 - SMOKE ALARM INTERCONNECTED
 - CARBON MONOXIDE ALARM
 - RETURN AIR GRIL
 - SUPPLY AIR GRIL

A106 PROPOSED SECOND FLOOR PLAN

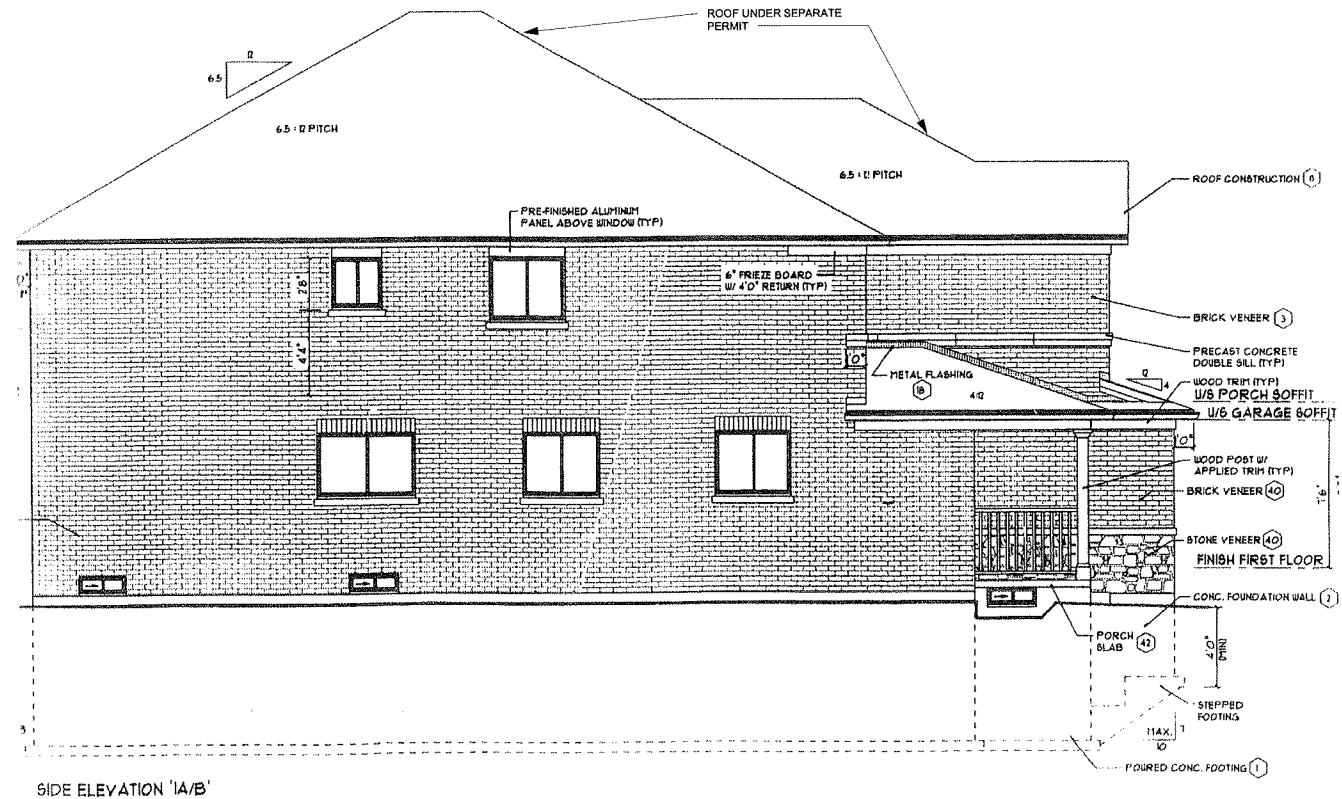
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EXISTING SIDE ELEVATION

1

1 : 75

A201 EXISTING SIDE ELEVATION

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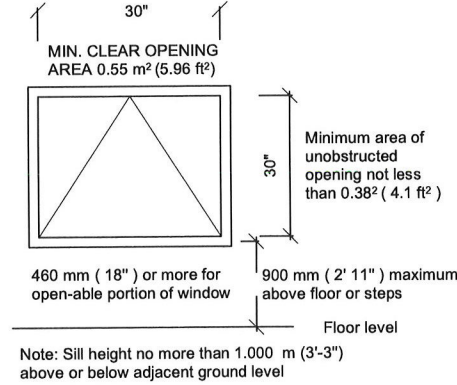
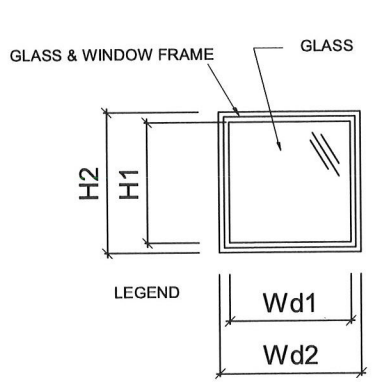
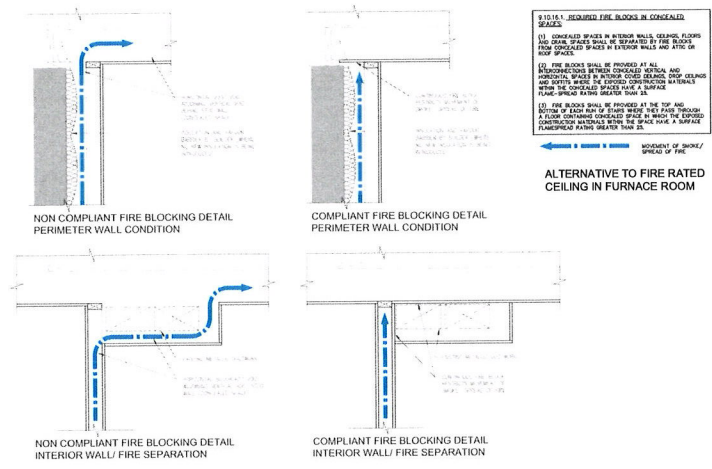
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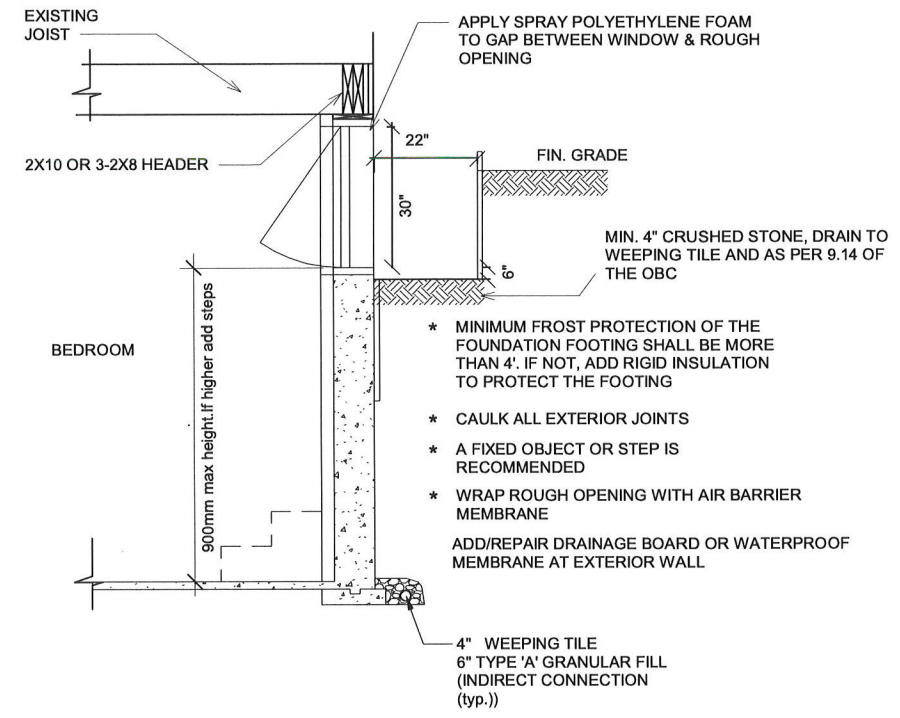
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3 EGRESS WINDOW

1/2" = 1'-0"



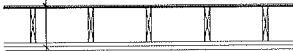
1 EGRESS WINDOW CROSS SECTION

1/2" = 1'-0"



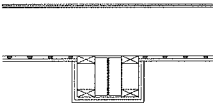
1/2" GYPSUM BOARD 2"x4" OR 2"x6" @ 16" O/C
WOOD STUDS ENTIRE STUD CAVITY FILLED
WITH SOUND INSULATION 1/2" GYPSUM
BOARD

WALL ASSEMBLY W1b
FRR - 45 MIN. STC - N/A



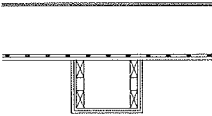
- EXISTING SUBFLOOR
- EXISTING WOOD JOIST OR WOOD I-JOIST
SPACED NOT MORE THAN 610mm O.C.
- ABSORPTIVE MATERIAL IN CAVITY
- STEEL FURRING CHANNELS SPACED 406 mm
O.C.
15.9mm TYPE 'C' GYPSUM BOARD

FLOOR ASSEMBLY
FRR F5c - 45 MIN.



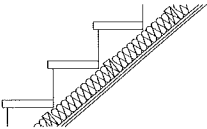
2"x4" WOOD FRAMING 2 LAYERS TYPE 'X'
GYPSUM BOARD RATING PER BUILDING
CONDITION

STEEL BEAM SEPARATION



2"x4" WOOD STUDS 2 LAYERS TYPE 'X'
GYPSUM BOARD RATING PER BUILDING
CONDITION

BULKHEAD BELOW FIRE SEPARATION



2"x4" WOOD STUDS TO SUPPORT CEILING SOUND
INSULATION (OPTIONAL) 2 LAYERS TYPE 'X' GYPSUM BOARD
RATING PER BUILDING CONDITION

UNDERSIDE OF STAIR FIRE SEPARATION

A302 DETAILS 2

As indicated			
Issue Date:	06/13/2022	Project No.:	003
Rev.		Sheet Ref No.:	

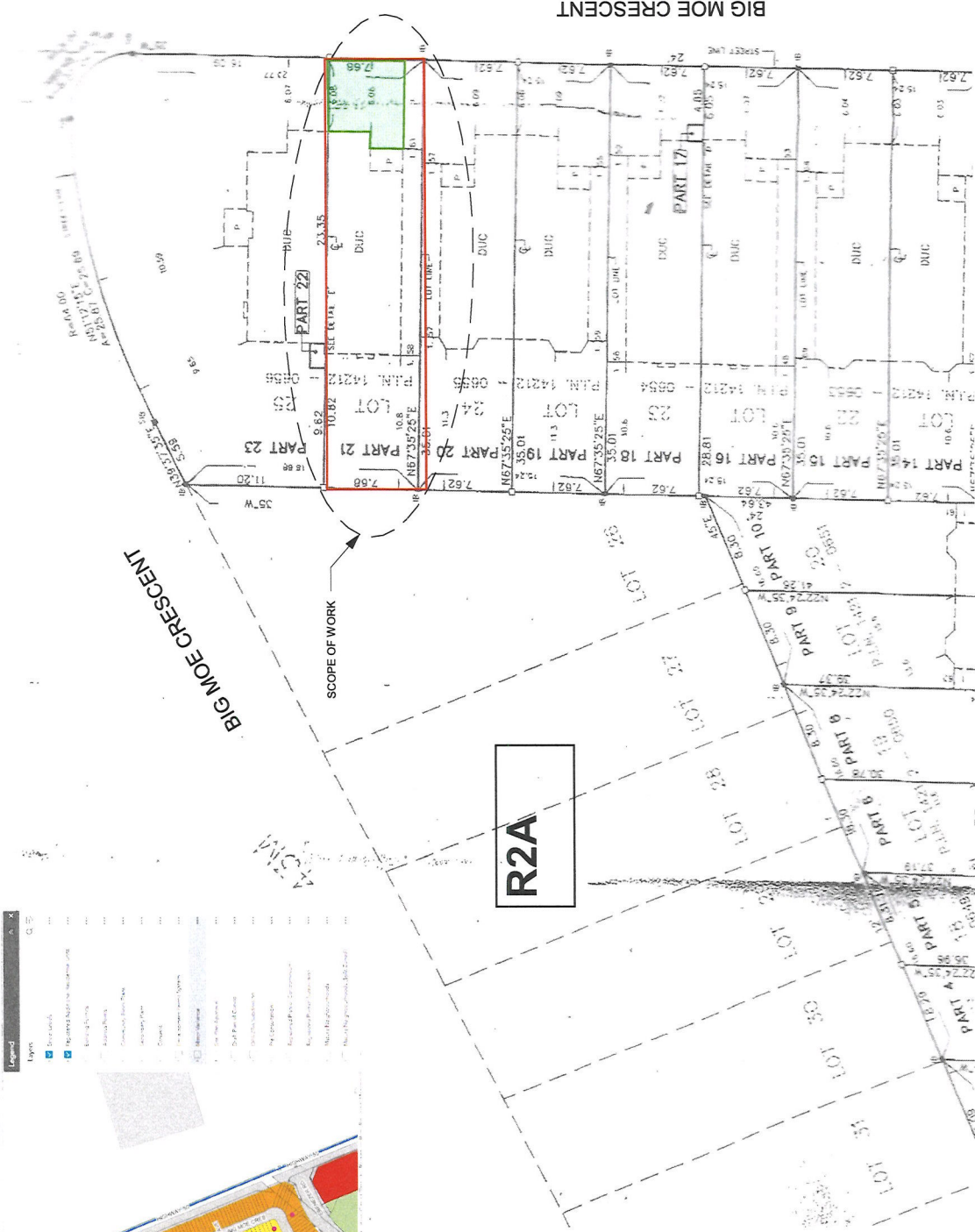
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A004 PARTIAL SURVEY

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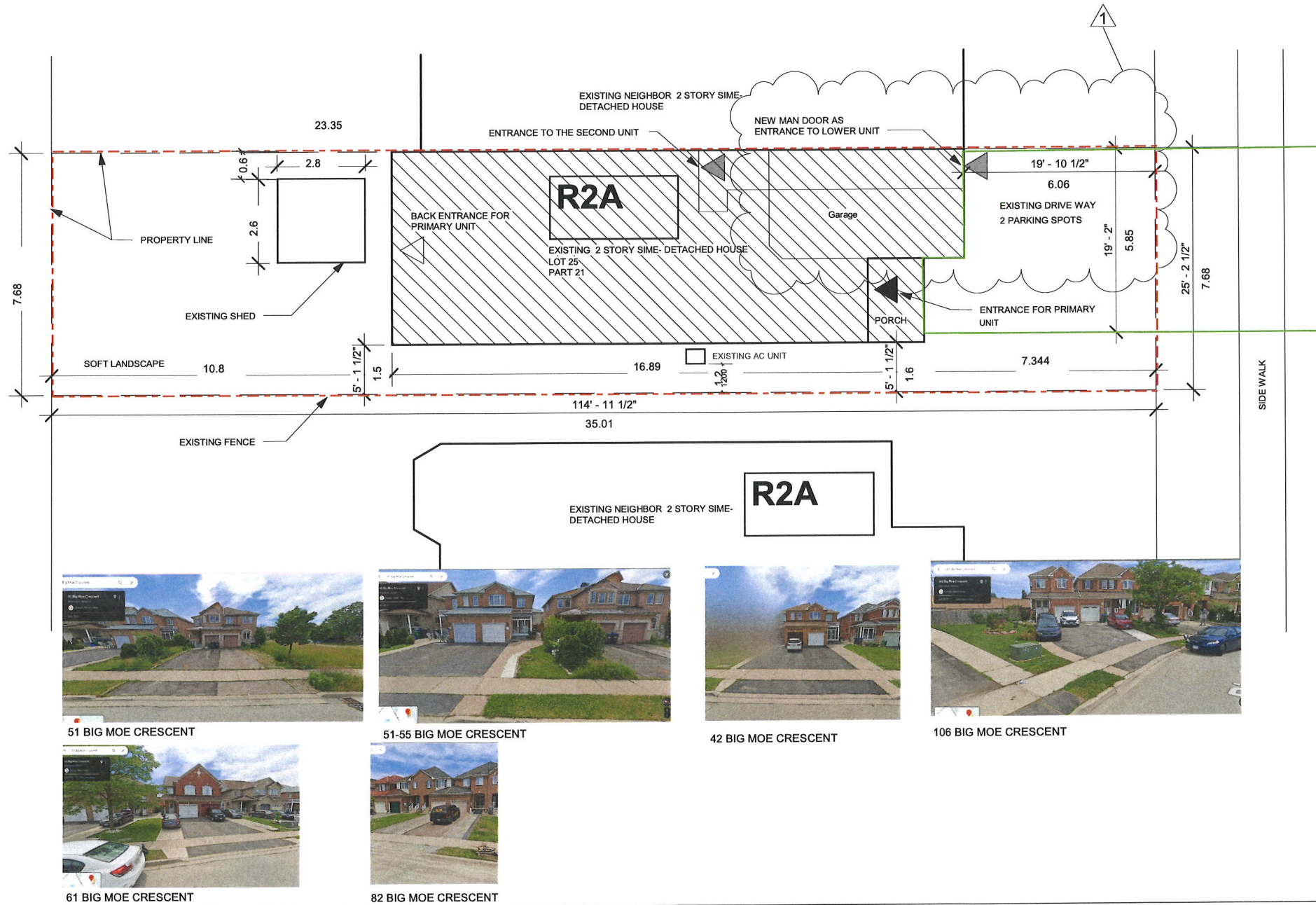
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BIG MOE CRESCENT

Total of Car Parking		2 spaces
Inside Garage		1 spaces
Outside Garage		1 spaces
	EXISTING	TOTAL
DWELLING FOOTPRINT		NO CHANGE
PORCH		
DECK		
OTHER		
TOTAL		
AVERAGE GRADE CALCULATION		
	A	B
1	CENTERLINE OF STREET	
2	INTERSECTION OF FRONT	
3	ALONG SIDE LOT LINES	NO CHANGE
4	ALONG SIDE LOT LINES	

PROJECT STATISTICS		
51 Big Moe Crescent,		
Brampton, ON		
ZONING : SEMI-DETACHED DWELLING R2A		
LOT AREA: 269 M ²		
LOT FRONTAGE : 7.68 m		
BUILDING HEIGHT		
AVERAGE GRADE:		
ESTABLISHED GRADE:		
HEIGHT TO MID-POINT:		
HEIGHT TO HIGHEST RIDGE		
HEIGHT TO UNDERSIDE OF EAVES		
GROSS FLOOR AREA - INFILL RESIDENTIAL		
	EXISTING	TOTAL
GROUND FLOOR	79.5 m ²	79.5 m ²
SECOND FLOOR	90 m ²	90 m ²
GARAGE	23 m ²	23 m ²
TOTAL GFA / Upper unit	192.5 m ²	192.5 m ²
BASEMENT FLOOR	50m ²	50m ²
GFA LOWER UNIT %	25.9 % SF	

A005 EXISTING SITEPLAN

As indicated

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Zoning Non-compliance Checklist

File No.
A-2024-0013

Applicant: Loloe Alkasawat
Address: 51 Big Moe Cres
Zoning: R2A-1663
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH	To permit a driveway width of 5.85m,	whereas the by-law permits a maximum driveway width of 4.9m.	10.9.1 (B.) (1) (a.)
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/01/18

Date