

# **Public Notice**

Committee of Adjustment
APPLICATION # A-2023-0045
WARD #4

#### APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **BALJIT SINGH THIARA** under Section 45 of the <u>Planning Act</u>, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Part of Lot 65, Plan 43M-1707, Part 26, Plan 43R-31556 municipally known as **16 SAINT EUGENE STREET,** Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

- 1. To permit a below grade entrance in the required side yard whereas the by-law does not permit a below grade entrance in a required side yard;
- 2. To permit a 0.13m (0.43 ft.) setback to the below grade stairs whereas the by-law requires a minimum interior side yard setback of 1.2m (3.94 ft.).

#### **OTHER PLANNING APPLICATIONS:**

The land which is subject of	this application is	the subject of an application under the Planning Act for:
Plan of Subdivision:	NO	File Number:
Application for Consent:	NO	File Number:
		11 × 22/1 × 14 × 1

The Committee of Adjustment has appointed **TUESDAY**, **March 28**, **2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers**, **4th Floor**, **City Hall**, **2 Wellington Street West**, **Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS. If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

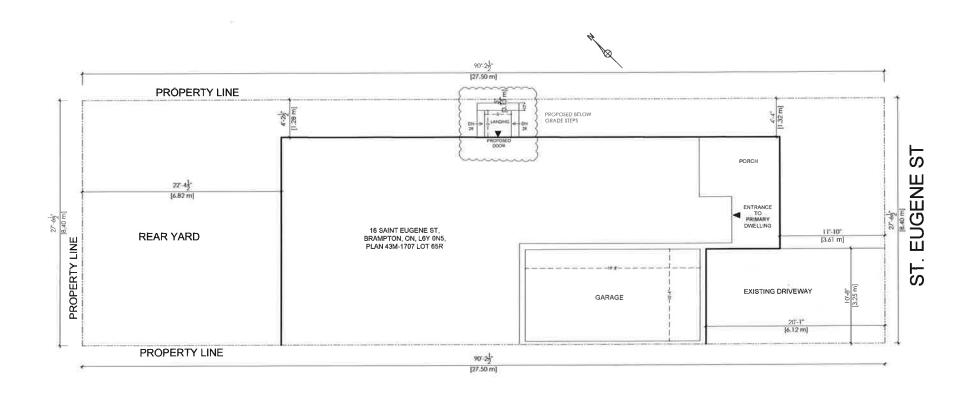
### PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer Committee of Adjustment, City Clerk's Office, Brampton City Hall, 2 Wellington Street West, Brampton, Ontario L6Y 4R2

Phone: (905)874-2117 Fax: (905)874-2119 jeanie.myers@brampton.ca



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General Notes

SITE PLAN

SC: 1/8" - 1'-0"



Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both inperson and electronically).

#### Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

#### How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm**, **Thursday**, **March 23**, **2023**.

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  - 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at <a href="mailto:cityclerksoffice@brampton.ca">cityclerksoffice@brampton.ca</a> or <a href="mailto:jeanie.myers@brampton.ca">jeanie.myers@brampton.ca</a> by 4:30 pm Thursday, March 23, 2023.
  - 2. To participate in-person, please email the Secretary–Treasurer at <a href="mailto:cityclerksoffice@brampton.ca">cityclerksoffice@brampton.ca</a> or <a href="mailto:jeanie.myers@brampton.ca">jeanie.myers@brampton.ca</a> by 4:30 pm Thursday, March 23, 2023.
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or inperson. You can register by calling 905-874-2117 and leave a message with your name, phone number and
  the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you
  with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

 All Hearings will be livestreamed on the City of Brampton YouTube account at: https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx or http://video.isilive.ca/brampton/live.html .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to <a href="mailto:cityclerksoffice@brampton.ca">cityclerksoffice@brampton.ca</a> or <a href="mailto:jeanie.myers@brampton.ca">jeanie.myers@brampton.ca</a>. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act* (*MFIPPA*), collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

A- 2023 - 0045

To
The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

Subject: Minor Variance application for 16 Saint Eugene St., Brampton, ON L6Y 0N5

Sir/ Madam,

We hope this letter finds you well. Please accept our minor variance application for our client at 16 Saint Eugene St., Brampton, ON, L6Y ON5

We have proposal for proposed below grade steps with reduced setback of 0.13m from side lot

So, we request you to kindly consider our application for minor variance.

We appreciate your cooperation in this matter.

Thank You

Harjinder Singh

P Eng. PMP, CET, RCJI

## **Flower City**



For Office Use Only (to be inserted by the Secretary-Treasurer after application is deemed complete)

FILE NUMBER: A - 2023 - 00 45

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

# APPLICATION Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the <u>Planning Act</u>, 1990, for relief as described in this application from By-Law **270-2004**.

1.	Name of C Address	Owner(s) BALJIT SINGH T 16 SAINT EUGENE ST., BR						
	Phone # Email	647-287-5826 RSThiara@hotmail.com		Fax #				
2.	Name of A Address	Agent HARJINDER SINGH / MEM ENGINEERING INC. UNIT - 28, 2355 DERRY ROAD EAST, MISSISSAUGA L5S1V6						
	Phone # Email	905-517-6755 MEM.PENG@OUTLOOK.COM		Fax # 				
3.		d extent of relief applied for d below grade steps in inter			om lot line.			
4.	Zoni	not possible to comply with ing by-law requires a minimur yard.			e in the required			
5.	Lot Numb	ber/Concession Number	: 65R M1707 St, Brampton, ON L6Y	ON5				
6.	Dimensio Frontage Depth Area	n of subject land (in metric 8.40 M 27,50 M 231 M2	<u>units</u> )					
7.	Provincia Municipa	o the subject land is by: Il Highway I Road Maintained All Year ight-of-Way		Seasonal Road Other Public Road Water				

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible) EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.) TWO STOREY SEMI DETACHED. SINGLE FAMILY DWELLING
GFA -156.31 SQ.M.
HEIGHT OF PROPERTY - 8.7 M, LENGTH - 17.07 M, WIDTH- 7.10M PROPOSED BUILDINGS/STRUCTURES on the subject land: TWO UNIT DWELLING PROPOSED BELOW GRADE STEPS IN REQUIRED SIDE YARD WITH REDUCED SETBACK OF 0.13 M FROM THE LOT LINE. 9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units) **EXISTING** Front yard setback 3.61 M Rear yard setback 6.82M Side yard setback 1.28 M Side yard setback **PROPOSED** Front yard setback 3.61 M Rear yard setback 6.82 M REDUCED TO 0.13 M FROM LOT LINE Side yard setback Side yard setback 2015 Date of Acquisition of subject land: 10. SINGLE FAMILY DWELLING Existing uses of subject property: 11. TWO UNIT DWELLING Proposed uses of subject property: 12. RESIDENTIAL 13. Existing uses of abutting properties: 2007 Date of construction of all buildings & structures on subject land: 14. 15. Length of time the existing uses of the subject property have been continued: 16 YEARS 16. (a) What water supply is existing/proposed?

Municipal Other (specify) Well (b) What sewage disposal is/will be provided?

Municipal Other (specify)

Other (specify)

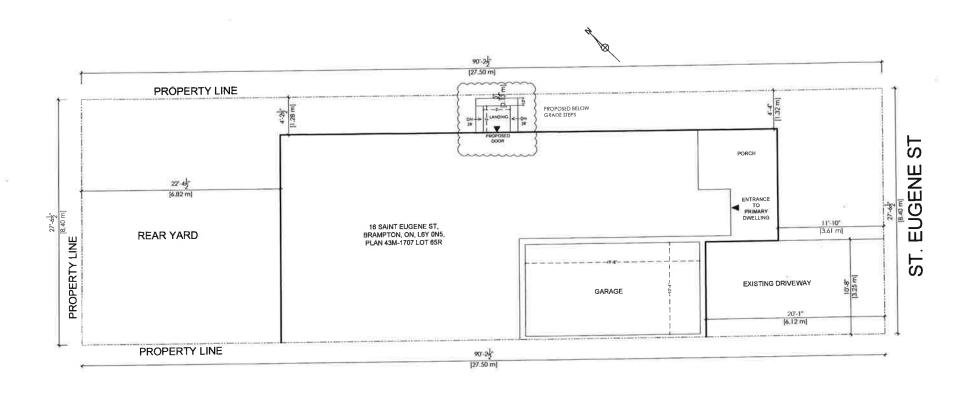
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**Swales** 

(c ) What storm drainage system is existing/proposed?

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LEGENDS:-

MEM ENGINEERING INC 2355 DERRY ROAD EAST MISSISSAUGA, ON, L5S 1V6 905-517-6755

Email:harry@memengineering.ca

PROJECT TITLE:

16 St Eugene St., BRAMPTON, ON

SHEET TITLE:

SITE PLAN

CLIENT EMAIL:

CLIENT CONTACT:

DRAWING NO.

SCALE 1/8"-1"-0"
PLOT DATE 11-02-2023
DRAWN BY SB CHECKED BY

