



### DEFERRED APPLICATION FOR MINOR VARIANCE

**Jeanie Myers, Secretary-Treasurer**  
Committee of Adjustment, City Clerk's Office,  
Brampton City Hall, 2 Wellington Street West,  
Brampton, Ontario L6Y 4R2  
Phone: (905)874-2117  
Fax: (905)874-2119  
[jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca)

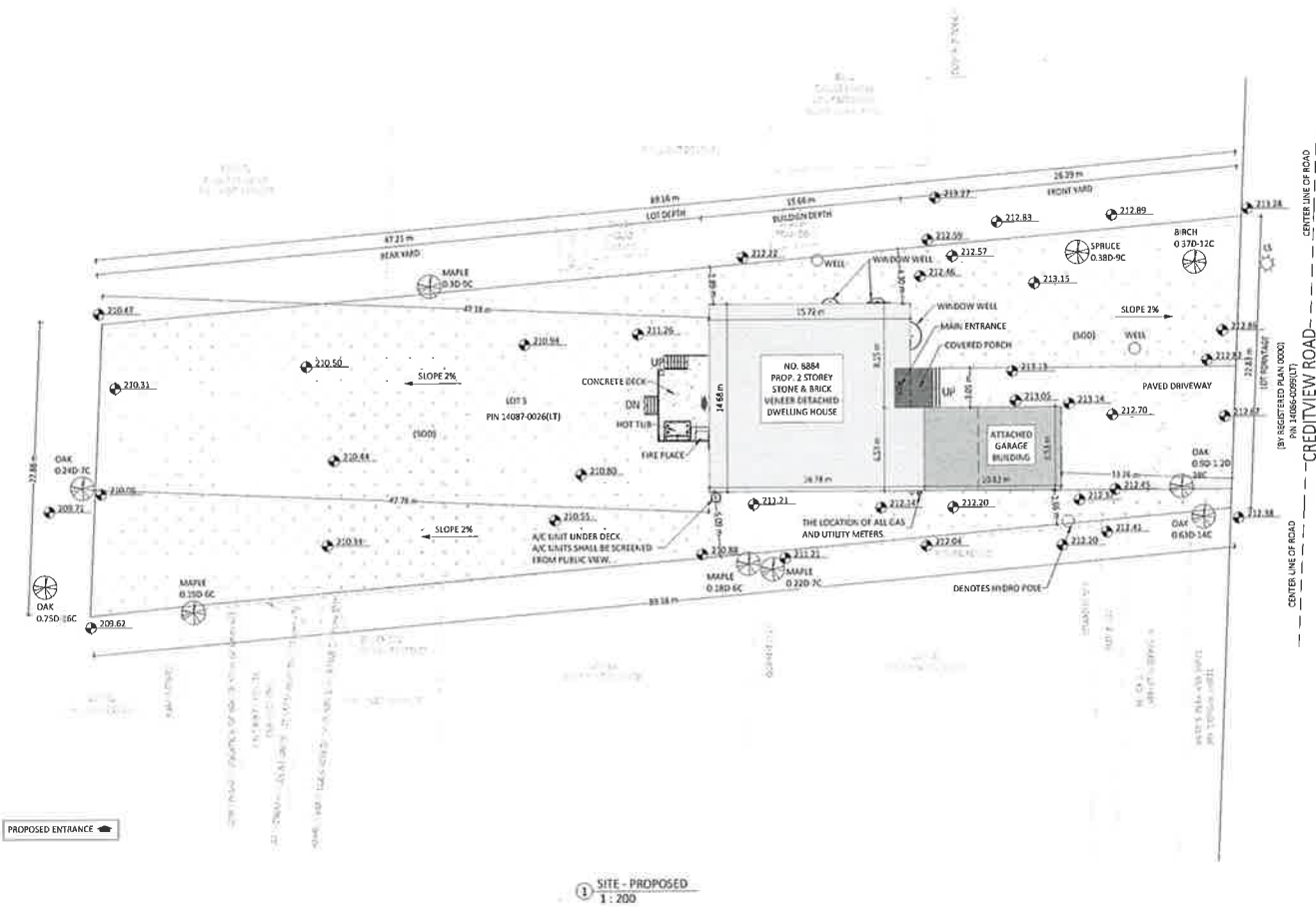
ZONING INFO										(METRIC)
LOT AREA: 2016.34		LOT No: 5		LOT FRONTAGE: 22.83		LOT DEPTH (AVE): 89.17				
GROUND FLOOR AREA	EXISTING	PROPOSED	TOTAL	%	ALLOWED	%	SETBACKS	EXISTING	PROPOSED	ALLOWED
1 <sup>ST</sup> FLOOR		214.04					FRONT	17.41	13.26	
2 <sup>ND</sup> FLOOR		311.27					REAR	51.86	47.18	
ROOF TOP							SIDE (N)	2.02	2.85	
TOTAL G.F.A.		455.31					SIDE (S)	8.31	2.88	
SOFT COVERAGE	214.26	500.27	310.43	55.84%						

**NOTE**


UTILITY METERS SHALL NOT BE LOCATED ON BUILDING FACADES THAT FACE PUBLIC STREETS AND SHALL BE LOCATED DISCREETLY, AWAY FROM PEDESTRIAN TRAVEL ROUTES AND SCREENED FROM PUBLIC VIEW.

FRONT YARD AREA: 462.21 M<sup>2</sup>  
PROPOSED DRIVEWAY AREA: 157.58 M<sup>2</sup>  
PROPOSED PORCH AND STEPS AREA: 19.30 M<sup>2</sup>  
PROPOSED LAWN AREA: 796.37 M<sup>2</sup>  
PROPOSED LANDSCAPING PERCENTAGE: 165.84 M<sup>2</sup>/462.21 M<sup>2</sup> = 35.87 %  
PROPOSED SOFT LANDSCAPING PERCENTAGE: 296.37 M<sup>2</sup>/462.21 M<sup>2</sup> = 64.12 %

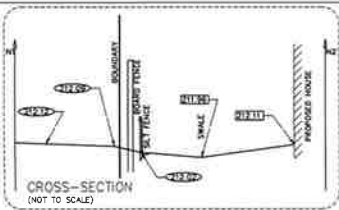
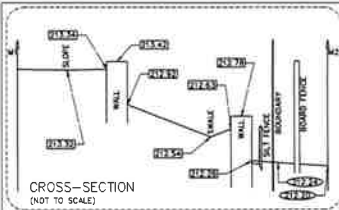
REAR YARD AREA: 1083.49 M<sup>2</sup>  
PROPOSED CONCRETE DECK & STEPS: 27.82 M<sup>2</sup>  
PROPOSED LAWN AREA: 1055.66 M<sup>2</sup>  
PROPOSED SOFT LANDSCAPING PERCENTAGE: 1055.66 M<sup>2</sup>/1083.49 M<sup>2</sup> = 97.43 %



GENERAL NOTE:  
1. THESE DRAWINGS ARE COPYRIGHT AND THE PROPERTY OF EXCERIS DRAFTING SERVICES LTD.  
2. THE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNLESS SCALED AND SIGNED BY ENGINEER AND OBTAINED PERMISSION BY THE AUTHORITIES.  
3. DO NOT SCALE THESE DRAWINGS.  
4. ANY ERROR OR DISCREPANCY IS TO BE REPORTED IMMEDIATELY TO ENGINEER.  
5. ANY MODIFICATION WITHOUT PERMISSION OF ENGINEER, SHALL VOID ENGINEER'S RESPONSIBILITY.

No.	DATE	ISSUED FOR	APVD
REVISIONS			
 ANTARA ARCHITECTURE & INTERIOR DESIGN 1000 CREDITVIEW RD., #100, SCARBOROUGH, ONTARIO M1B 4Y7 Tel: (416) 291-1111 Fax: (416) 291-1112			
ENGINEER:			
CLIENT:			
PROJECT NAME: NEW CONSTRUCTION			
PROJECT ADDRESS: 1000 CREDITVIEW RD., #100, SCARBOROUGH, ONTARIO M1B 4Y7			
SHEET NAME: SITE PLAN PROPOSED			
DATE:	PROJECT No.: 21-02-10		
SCALE: As Indicated			
DRAWN BY: P. FORZAN	SHEET No:		
CHECKER: Checker	A0-04		





CROSS-SECTION  
(NOT TO SCALE)

CROSS-SECTION  
(NOT TO SCALE)

EXISTING SANITARY LATERAL, PROPOSED  
TEST FITTING, DEPTH OF PLUG = 200.10 (P)  
PROPOSED BURNING FLOOR ELEVATION, 200.10  
WORK, A GRINDER PUMP WILL BE REQUIRED AS  
PER ONTARIO BUILDING CODE REQUIREMENTS

### CONSTRUCTION STANDARDS AS SET BY REGIONAL MUNICIPALITY OF PEEL:

1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS
2. WATERMAIN AND/OR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE PVC, SIZE 50 MM (2") AND SMALLER TO BE TYPE K 50FT COPPER ASTM B88-49 STD DWG 1-7-1
3. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m (5'6") WITH A MINIMUM HORIZONTAL SPACING OF 1.2m (4'0") FROM THEMSELVES AND OTHER UTILITIES
4. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING ETC. MUST BE PROVIDED WITH AT LEAST A 50MM (2") OUTLET ON 100MM (4") AND LARGER LINES. CUPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOLED OR PIPED TO ALLOW THE WATER TO DRAIN ONTO A PARKING LOT OR DOWN A DRAIN, ON FIRE LINES, FLUSHING OUTLET TO BE 100MM (4") DIAMETER ON A WYOMANT
5. ALL CURB STOPS TO BE 3.0m (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED
6. HYDRANT AND VALVE SET TO REGION STANDARD 1-5-1 DIMENSION A AND B, 0.7m (2') AND 0.9m (3') AND TO HAVE PUMPER NOZZLE
7. WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR
8. WATERMAIN MUST HAVE A MIN VERTICAL CLEARANCE OF 0.30m (12") OVER OR 0.5m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATING FROM EXISTING SYSTEMS
10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTRACTING THE OPERATIONS AND MAINTENANCE DIVISION
11. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR
12. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES EXPOSING, SUPPORTING AND PROTECTING OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK. WHERE WORK IS ON THE PLAN OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME
13. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO OBTAINING LOCATES. FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION. WITH THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION
14. ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE GROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS 1-7-7 OR 1-7-8

### SITE PLAN NOTES:

1. ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMITY WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION
2. THE OWNER IS RESPONSIBLE FOR ENSURING THAT THE PROTECTION HOARDING PLACED AT THE GRP LINE OF THE TREES IS MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION. IN THE PLANNING AND BUILDING DIVISION. NO MATERIALS (E.G. BUILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING
3. SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED PLANNING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. IF AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DETERMINE THE LOCATION OF THE VEGETATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION
4. THE EXISTING ON-SITE DRAINAGE PATTERN SHALL BE MAINTAINED
5. GRADES WILL BE MET WITHIN A 33% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE
6. ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA
7. THE APPLICANT WILL BE REQUIRED FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN APPROVAL AND BUILDING PERMIT
8. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.60m (2'00") IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEERING FOR THE PROJECT
9. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE OWNER AT THEIR EXPENSE
10. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE
11. ALL PROPOSED CURBING AT THE ENTRANCE TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK
12. CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION
13. ALL DAMAGED LANDSCAPE AREAS WILL BE REINSTATE WITH TOPSOIL AND SOIL FOLLOWING CONSTRUCTION. ANY CITY BOULEVARD TREES DAMAGED OR REMOVED ARE TO BE REPLACED WITH 70MM CHLIPER DECIDUOUS TREES TO THE SATISFACTION OF THE CITY AT THE OWNER'S EXPENSE
14. ALL EXCESS EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE
15. THERE ARE ON EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY

### GENERAL NOTES:

1. AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADE WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE
2. SIDEWALK TO BE REMOVED AND REPLACED AS PER O.P.S.D. 310.010
3. DOWNSPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS. DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS
4. DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 6%
5. LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6%
6. WHERE GRADES IN EXCESS OF 6% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.0m ARE TO BE ACCOMPLISHED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.6m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE
7. ALL DISTURBED AREAS MUST BE SEEDED OR SOODED, TOPSOIL TO BE AT LEAST 100MM
8. THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m
9. GRADE DIFFERENCES BETWEEN ADJACENT UNITS SHALL BE MINIMIZED ESPECIALLY WHERE NEW DEVELOPMENTS ADJUT EXISTING DEVELOPMENTS. THE VERTICAL DISTANCE BETWEEN THE GRADING LEVELS AT THE REAR WALLS OF HOUSES WHICH BACK ONTO EACH OTHER SHALL NOT BE GREATER THAN THAT ACHIEVED BY STRIKING A 2% GRADE BETWEEN THE UNITS
10. DRIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED
11. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNDESTRUCTIBLE FILL
12. WHEREVER POSSIBLE, A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN THE DRIVEWAYS
13. IN THE EVENT THAT THE GRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE OWNER OF THAT PROPERTY SHALL BE OBTAINED AND ENDORSED BY THE CITY OF BRAMPTON WORKS AND TRANSPORTATION DEPARTMENT
14. ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED
15. THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE CENTRULING OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 6%
16. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS
17. THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA

### ESTABLISHED GRADE CALCULATIONS

LINE	SEGMENT	START	END	LENGTH	EA+BU+H+D
AS	213.42	213.02	0	0.00	
BC	213.02	212.26	35.13	7491.45	
CD	212.26	212.42	0.00	1408.91	
DE	212.42	211.58	12.10	2723.65	
EF	211.58	212.37	20.00	4249.80	
FG	212.37	213.30	3.33	708.74	
GH	213.30	213.42	6.52	1386.84	
HI	213.42	213.42	11.77	2511.95	
JA	213.42	213.42	6.52	1386.84	
TOTALS			103.25	21724.99	
				ESTABLISHED GRADE	213.25

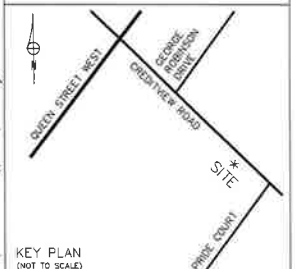
### DRAINAGE CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF THE PROPOSED TWO STOREY RESIDENTIAL DWELLING LOCATED AT 8884 CREDITVIEW ROAD AND I HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSED TO THE EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERING TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OR ADJACENT PROPERTIES

THE SURVEY WAS COMPLETED ON THE 9th DAY OF  
DATE: FEBRUARY 22, 2022  
BY: [Signature]

TED VAN LANKVELD  
ONTARIO LAND SURVEYORS  
110 GOLDCREST ROAD  
BRAMBLEA, ONTARIO  
L6S 3H4  
TEL(905) 792-5641  
eMAIL: V.L.G.-SQUOTLOOK.COM

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this plan, in whole or in part, is strictly prohibited.  
FIELD: M.V.DRAWN: M.V. CHECKED: T.V. JOB No: 21-2516-S  
DWG NAME: 21-2516-SUBPLOT DATE: 2022-09-06



APPLICATION No:  
PROPOSED TWO STOREY  
RESIDENTIAL DWELLING  
No: 8884 CREDITVIEW ROAD  
BRAMPTON, ONTARIO  
GRADING PLAN OF  
PART OF LOT 5  
CONCESSION 4  
WEST OF HURONTARIO STREET  
CITY OF BRAMPTON  
(GEOGRAPHIC TOWNSHIP OF CHINGUACOUSY)  
REGIONAL MUNICIPALITY OF PEEL  
SCALE 1:150  
2.5 5.0 7.5 10.0 12.5m  
TED VAN LANKVELD, O.L.S. 2022

METHOD: DISTANCES SHOWN HEREIN ARE IN METRES AND CAN BE  
CONVERTED TO FEET BY DIVIDING BY 0.3048  
BENCH MARK:  
ELEVATIONS SHOWN HEREIN ARE GEODESIC AND ARE REFERRED TO  
CITY OF BRAMPTON CONTROL MONUMENT #542010231, WITH AN  
ELEVATION OF 209.357m.  
NOTE:  
BOUNDARY INFORMATION HAVE NOT BEEN VERIFIED BY FIELD  
MEASUREMENTS.  
BUSHES, TREES LESS THAN 0.150 AND DEAD TREE WERE NOT  
LOCATED UNLESS NOTED OTHERWISE

- LEGEND
- DENOTES DECIDUOUS TREE WITH TRUNK (D) AND CANOPY (C) DIMENSIONS INDICATED
  - DENOTES CONIFEROUS TREE WITH TRUNK (D) AND CANOPY (C) DIMENSIONS INDICATED
  - DENOTES TREE STUMP WITH TRUNK (D) DIMENSIONS INDICATED
  - (TW) DENOTES INVERT
  - (TW) DENOTES TOP OF LOOSE ROCK WALL
  - (BW) DENOTES BOTTOM OF LOOSE ROCK WALL
  - DENOTES MANHOLE
  - DENOTES HYDRO POLE
  - DENOTES LIGHT STANDARD
  - DENOTES LIGHT POLE
  - DENOTES GUY WIRE
  - (TW) DENOTES TOP OF WALL
  - (BW) DENOTES BOTTOM OF WALL
  - DENOTES EXISTING GRADE ELEVATION
  - A/C DENOTES AIR CONDITIONER
  - DENOTES GAS METER
  - DENOTES HYDRO METER
  - DENOTES ESTABLISHED GRADE POINT
  - DENOTES FENCE
  - DENOTES OVERHEAD WIRES
  - DENOTES WATER VALVE
  - DENOTES BELL BOX
  - DENOTES POST
  - DENOTES PROPOSED GRADE ELEVATION
  - DENOTES EXISTING GROUND ELEVATION
  - DENOTES INVERT
  - DENOTES FIRST FINISHED FLOOR ELEVATION
  - BS DENOTES BASEMENT SLAB
  - USF DENOTES UNDERSTAIRS OF FOOTING
  - DS DENOTES DOWNSPOUT
  - S.I. DENOTES SHALE INVERT
  - R DENOTES RISER
  - △ DENOTES ENTRANCE
  - △ DENOTES FLOOR
  - DENOTES SILT FENCE
  - DENOTES TREE PROTECTION FENCE

**Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).**

**Electronic/Hybrid Hearing Procedures  
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

**How to Participate in the Hearing:**

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
  1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, March 23, 2023.**
  2. To participate in-person, please email the Secretary–Treasurer at [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca) by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:  
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or  
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to [cityclerksoffice@brampton.ca](mailto:cityclerksoffice@brampton.ca) or [jeanie.myers@brampton.ca](mailto:jeanie.myers@brampton.ca). If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

**NOTE** Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, [www.brampton.ca](http://www.brampton.ca). By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



FILE NUMBER: A-2022-0264

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) Gurpreet Ubhi , KULJEET UBHI

Address 8884 Creditview RD Brampton, ON L6Y0G4

Phone # 416-737-0544 Fax # \_\_\_\_\_

Email reese@medikaplastics.com

2. Name of Agent Elen Abunahla

Address 74 Guelph St Georgetown, ON L7G3Z5

Phone # 416-602-9367 Fax # \_\_\_\_\_

Email elen@antaradesign.ca

3. Nature and extent of relief applied for (variances requested):

1. he Proposed Site Plan you are providing an interior side yard setback of 2.66m on one side and 2.89m on the other proposed 2 storey dwelling, whereas the Zoning By-law requires a side yard setback 7.5m

2. To permit 56% of the required front yard to be landscaped open space, whereas the Zoning By-law requires a minimum 70% of the required front yard to be landscaped open space.

4. Why is it not possible to comply with the provisions of the by-law?

The Property Width is 22.83m ( very Narrow)it will be hard to comply with the zoning and regarding the Landscaping Small area for the front yard to comply with 70% to be landscaped open space.

5. Legal Description of the subject land: Lot Number Part of Lot 5, Concession 4 WHs, Part 3, Plan 43R-40144.

Plan Number/Concession Number \_\_\_\_\_

Municipal Address 8884 Creditview RD Brampton, ON L6Y0G4

6. Dimension of subject land (in metric units)

Frontage Frontage 22.83m and 22.88m from the back

Depth 81.80m from left & 89.16m from the right

Area 2016.14m2

7. Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

Ground Floor Area 162.6m<sup>2</sup>  
Gross Floor Area 162.6m<sup>2</sup>  
Number of Storeys 1  
Width 11.05m Length 14.72m Height 4.87m  
the existing structure will be demolished.

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

Ground Floor Area 214.04m Second Floor 241.07m  
Gross Floor Area 455.31 m<sup>2</sup>  
Number of Storeys 2  
Width 14.68 Length 16.78 house +Garage 10.62 Building Height 9.17m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING** the existing structure will be demolished.

Front yard setback 17.41m  
Rear yard setback 51.66m  
Side yard setback 2.02m  
Side yard setback 3.31m from the Garage side and 8.27m from the house

**PROPOSED**

Front yard setback 13.26m  
Rear yard setback 47.78m  
Side yard setback 2.89m  
Side yard setback 2.66m

10. Date of Acquisition of subject land: March 30, 2022
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 1990
15. Length of time the existing uses of the subject property have been continued: 32 years
16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☒ No ☐

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☒ No ☐ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Ela  
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS Aug 15 DAY OF 10 August, 2022

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, GURPREET UBH, OF THE CITY OF BRAMPTON  
IN THE Region OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF  
Peel THIS 15<sup>th</sup> DAY OF  
August, 20 22

Jeanie Cecilia Myers  
a Commissioner, etc.,  
Province of Ontario  
for the Corporation of the  
City of Brampton  
Expires April 8, 2024.

Ela  
Signature of Applicant or Authorized Agent

Submit by Email

Jeanie Myers  
A Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: Agricultural

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

L Barbuto  
Zoning Officer

August 15, 2022  
Date

DATE RECEIVED

Date Application Deemed  
Complete by the Municipality

August 15, 2022

**PART 1,  
PLAN 43R-14727  
PIN 14087-0333(LT)**

**LOT 5  
PIN 14087-0026(LT)**

**NO. 8884  
PROP. 2 STOREY  
STONE & BRICK  
VENEER DETACHED  
DWELLING HOUSE**

**ATTACHED  
GARAGE  
BUILDING**

**LOT 89  
PIN 14087-0271(LT)**

**LOT 88  
PIN 14087-0270(LT)**

**LOT 90  
PIN 14087-0272(LT)**

**LOT 113  
(STREET WIDENING)**

**LOT 117**

**LOT 118**

**LOT 119**

**LOT 120**

**LOT 121**

**LOT 122**

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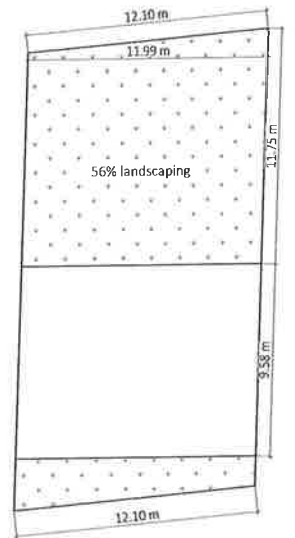
**LOT 364**

**LOT 365**

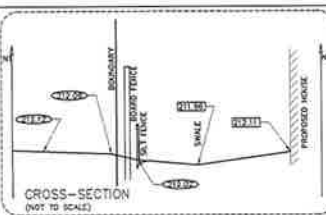
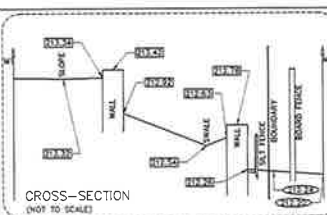
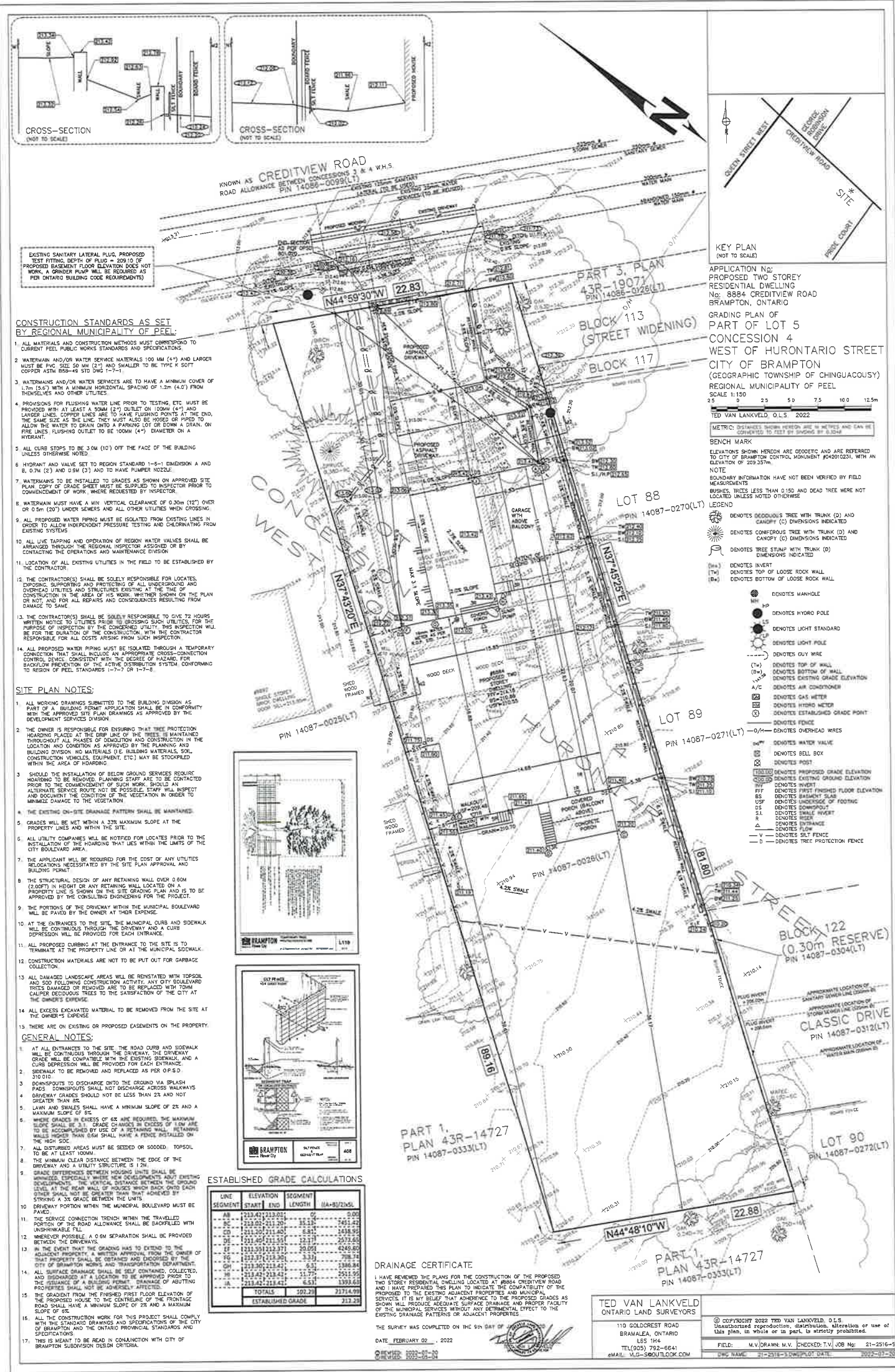
**LOT 366**

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**LOT 368**







CONSTRUCTION STANDARDS AS SET BY REGIONAL MUNICIPALITY OF PEEL:

1. ALL MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO CURRENT PEEL PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
2. WATERMAIN AND/OR WATER SERVICE MATERIALS 100 MM (4") AND LARGER MUST BE PVC SIZE 30 MM (2") AND SMALLER TO BE TYPE K SOFT COPPER ASTM B36-48 STD DWG (7-7).
3. WATERMAINS AND/OR WATER SERVICES ARE TO HAVE A MINIMUM COVER OF 1.7m (5.6') WITH A MINIMUM HORIZONTAL SPACING OF 1.2m (4.0') FROM THEMSELVES AND OTHER UTILITIES.
4. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC. MUST BE PROVIDED WITH AT LEAST A 50MM (2") OUTLET ON 100MM (4") AND LARGER LINES. COPPER LINES ARE TO HAVE FLUSHING POINTS AT THE END, THE SAME SIZE AS THE LINE. THEY MUST ALSO BE HOSED OR PIPED TO ALLOW THE WATER TO DRAIN INTO A PARKING LOT OR DOWN A DRAIN. ON FIRE LINES FLUSHING OUTLET TO BE 100MM (4") DIAMETER ON A HYDRANT.
5. ALL CURB STOPS TO BE 304 (10') OFF THE FACE OF THE BUILDING UNLESS OTHERWISE NOTED.
6. HYDRANT AND VALVE SET TO REGION STANDARD 1-5-1 DIMENSION A AND B, 0.7m (2') AND 0.9m (3') AND TO HAVE PUMPER NOZZLE.
7. WATERMAINS TO BE INSTALLED TO GRADES AS SHOWN ON APPROVED SITE PLAN. COPY OF GRADE SHEET MUST BE SUPPLIED TO INSPECTOR PRIOR TO COMMENCEMENT OF WORK, WHERE REQUESTED BY INSPECTOR.
8. WATERMAIN MUST HAVE A MIN. VERTICAL CLEARANCE OF 0.30m (12") OVER OR 0.5m (20") UNDER SEWERS AND ALL OTHER UTILITIES WHEN CROSSING.
9. ALL PROPOSED WATER PIPING MUST BE ISOLATED FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND COLORMARKING FROM EXISTING SYSTEMS.
10. ALL LIVE TAPPING AND OPERATION OF REGION WATER VALVES SHALL BE ARRANGED THROUGH THE REGIONAL INSPECTOR ASSIGNED OR BY CONTACTING THE OPERATIONS AND MAINTENANCE DIVISION.
11. LOCATION OF ALL EXISTING UTILITIES IN THE FIELD TO BE ESTABLISHED BY THE CONTRACTOR.
12. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR LOCATES, EXPOSURE, SUPPORTING AND PROTECTING OF UNDERGROUND AND OVERHEAD UTILITIES AND STRUCTURES EXISTING AT THE TIME OF CONSTRUCTION IN THE AREA OF HIS WORK, WHETHER SHOWN ON PLAN OR NOT, AND FOR ALL REPAIRS AND CONSEQUENCES RESULTING FROM DAMAGE TO SAME.
13. THE CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE TO GIVE 72 HOURS WRITTEN NOTICE TO UTILITIES PRIOR TO CROSSING SUCH UTILITIES FOR THE PURPOSE OF INSPECTION BY THE CONCERNED UTILITY. THIS INSPECTION WILL BE FOR THE DURATION OF THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR RESPONSIBLE FOR ALL COSTS ARISING FROM SUCH INSPECTION.
14. ALL PROPOSED WATER PIPING MUST BE ISOLATED THROUGH A TEMPORARY CONNECTION THAT SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE, CONSISTENT WITH THE DEGREE OF HAZARD, FOR BACKFLOW PREVENTION OF THE ACTIVE DISTRIBUTION SYSTEM, CONFORMING TO REGION OF PEEL STANDARDS (7-7) OR (7-7-5).

SITE PLAN NOTES:

1. ALL WORKING DRAWINGS SUBMITTED TO THE BUILDING DIVISION AS PART OF A BUILDING PERMIT APPLICATION SHALL BE IN CONFORMITY WITH THE APPROVED SITE PLAN DRAWINGS AS APPROVED BY THE DEVELOPMENT SERVICES DIVISION.
2. THE OWNER IS RESPONSIBLE FOR ENSURING THAT TREE PROTECTION HOARDING PLACED AT THE DRIP LINE OF THE TREES IS MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION AND CONSTRUCTION IN THE LOCATION AND CONDITION AS APPROVED BY THE PLANNING AND BUILDING DIVISION. NO MATERIALS (I.E. BUILDING MATERIALS, SOIL, CONSTRUCTION VEHICLES, EQUIPMENT, ETC.) MAY BE STOCKPILED WITHIN THE AREA OF HOARDING.
3. SHOULD THE INSTALLATION OF BELOW GROUND SERVICES REQUIRE HOARDING TO BE REMOVED, PLANNING STAFF ARE TO BE CONTACTED PRIOR TO THE COMMENCEMENT OF SUCH WORK. SHOULD AN ALTERNATE SERVICE ROUTE NOT BE POSSIBLE, STAFF WILL INSPECT AND DOCUMENT THE CONDITION OF THE VEGETATION IN ORDER TO MINIMIZE DAMAGE TO THE VEGETATION.
4. THE EXISTING ON-SITE DRAINAGE PATTERN SHALL BE MAINTAINED.
5. GRADES WILL BE SET WITHIN A 3% MAXIMUM SLOPE AT THE PROPERTY LINES AND WITHIN THE SITE.
6. ALL UTILITY COMPANIES WILL BE NOTIFIED FOR LOCATES PRIOR TO THE INSTALLATION OF THE HOARDING THAT LIES WITHIN THE LIMITS OF THE CITY BOULEVARD AREA.
7. THE APPLICANT WILL BE REQUIRED FOR THE COST OF ANY UTILITIES RELOCATIONS NECESSITATED BY THE SITE PLAN APPROVAL AND BUILDING PERMIT.
8. THE STRUCTURAL DESIGN OF ANY RETAINING WALL OVER 0.8m (2.60ft) IN HEIGHT OR ANY RETAINING WALL LOCATED ON A PROPERTY LINE IS SHOWN ON THE SITE GRADING PLAN AND IS TO BE APPROVED BY THE CONSULTING ENGINEERING FOR THE PROJECT.
9. THE PORTIONS OF THE DRIVEWAY WITHIN THE MUNICIPAL BOULEVARD WILL BE PAVED BY THE OWNER AT THEIR EXPENSE.
10. AT THE ENTRANCES TO THE SITE, THE MUNICIPAL CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
11. ALL PROPOSED CURBING AT THE ENTRANCE TO THE SITE IS TO TERMINATE AT THE PROPERTY LINE OR AT THE MUNICIPAL SIDEWALK.
12. CONSTRUCTION MATERIALS ARE NOT TO BE PUT OUT FOR GARBAGE COLLECTION.
13. ALL DAMAGED LANDSCAPE AREAS WILL BE RESTORED WITH TOPSOIL AND SOIL FOLLOWING CONSTRUCTION. ANY CITY SIDEWALK, DRIVEWAY, OR PAVEMENT DAMAGED OR REMOVED ARE TO BE REPLACED WITH 70MM CALIBER DECIDUOUS TREES TO THE SATISFACTION OF THE CITY AT THE OWNER'S EXPENSE.
14. ALL EXCESS EXCAVATED MATERIAL TO BE REMOVED FROM THE SITE AT THE OWNER'S EXPENSE.
15. THERE ARE ON EXISTING OR PROPOSED EASEMENTS ON THE PROPERTY.

GENERAL NOTES:

1. AT ALL ENTRANCES TO THE SITE, THE ROAD CURB AND SIDEWALK WILL BE CONTINUOUS THROUGH THE DRIVEWAY. THE DRIVEWAY GRADES WILL BE COMPATIBLE WITH THE EXISTING SIDEWALK, AND A CURB DEPRESSION WILL BE PROVIDED FOR EACH ENTRANCE.
2. SIDEWALK TO BE REMOVED AND REPLACED AS PER O.P.S.D. 310.010.
3. DOWNSPOUTS TO DISCHARGE ONTO THE GROUND VIA SPLASH PADS. DOWNSPOUTS SHALL NOT DISCHARGE ACROSS WALKWAYS.
4. DRIVEWAY GRADES SHOULD NOT BE LESS THAN 2% AND NOT GREATER THAN 8%.
5. LAWN AND SWALES SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 8%.
6. WHERE GRADES IN EXCESS OF 8% ARE REQUIRED, THE MAXIMUM SLOPE SHALL BE 3:1. GRADE CHANGES IN EXCESS OF 1.5m ARE TO BE ACCOMPANIED BY USE OF A RETAINING WALL. RETAINING WALLS HIGHER THAN 0.5m SHALL HAVE A FENCE INSTALLED ON THE HIGH SIDE.
7. ALL DISTURBED AREAS MUST BE SEEDS OR SOODED. TOPSOIL TO BE AT LEAST 100mm.
8. THE MINIMUM CLEAR DISTANCE BETWEEN THE EDGE OF THE DRIVEWAY AND A UTILITY STRUCTURE IS 1.2m.
9. GRADE DIFFERENCES BETWEEN HOUSING UNITS SHALL BE MINIMIZED. ESPECIALLY WHERE NEW DEVELOPMENTS ADJACENT EXISTING DEVELOPMENTS. THE VERTICAL DISTANCE BETWEEN THE GROUND LEVEL AT THE REAR WALL OF HOUSES WHICH BACK-ONTO EACH OTHER SHALL NOT BE GREATER THAN THAT ACHIEVED BY STRIKING A 3% GRADE BETWEEN THE LOTS.
10. DRIVEWAY PORTION WITHIN THE MUNICIPAL BOULEVARD MUST BE PAVED.
11. THE SERVICE CONNECTION TRENCH WITHIN THE TRAVELLED PORTION OF THE ROAD ALLOWANCE SHALL BE BACKFILLED WITH UNCOMPRESSIBLE FILL.
12. WHEREVER POSSIBLE, A 0.6m SEPARATION SHALL BE PROVIDED BETWEEN THE DRIVEWAYS.
13. IN THE EVENT THAT THE GRADING HAS TO EXTEND TO THE ADJACENT PROPERTY, A WRITTEN APPROVAL FROM THE OWNER OF THAT PROPERTY SHALL BE OBTAINED PRIOR TO THE GRADING. THE CITY OF BRAMPTON WORKS AND TRANSPORTATION DEPARTMENT, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE REMOVAL OF A BUILDING PERMIT. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
14. ALL SURFACE DRAINAGE SHALL BE SELF CONTAINED, COLLECTED, AND DISCHARGED AT A LOCATION TO BE APPROVED PRIOR TO THE REMOVAL OF A BUILDING PERMIT. DRAINAGE OF ADJUTING PROPERTIES SHALL NOT BE ADVERSELY AFFECTED.
15. THE GRADIENT FROM THE FINISHED FIRST FLOOR ELEVATION OF THE PROPOSED HOUSE TO THE FINISHED FIRST FLOOR OF THE FRONTAGE ROAD SHALL HAVE A MINIMUM SLOPE OF 2% AND A MAXIMUM SLOPE OF 8%.
16. ALL THE CONSTRUCTION WORK FOR THIS PROJECT SHALL COMPLY WITH THE STANDARD DRAWINGS AND SPECIFICATIONS OF THE CITY OF BRAMPTON AND THE ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS.
17. THIS IS MEANT TO BE READ IN CONJUNCTION WITH CITY OF BRAMPTON SUBDIVISION DESIGN CRITERIA.

ESTABLISHED GRADE CALCULATIONS

LINE	START	END	SEGMENT LENGTH	(A-B)/2xSL
AB	213.42	213.01	0.00	0.00
BC	213.02	211.20	18.10	-791.42
CD	211.20	211.00	0.20	-148.80
DE	211.00	210.00	10.00	-500.00
EF	210.00	209.00	10.00	-500.00
FG	209.00	208.00	10.00	-500.00
GH	208.00	207.00	10.00	-500.00
HI	207.00	206.00	10.00	-500.00
IJ	206.00	205.00	10.00	-500.00
JK	205.00	204.00	10.00	-500.00
LM	204.00	203.00	10.00	-500.00
NO	203.00	202.00	10.00	-500.00
TP	202.00	201.00	10.00	-500.00
Q	201.00	200.00	10.00	-500.00
R	200.00	199.00	10.00	-500.00
S	199.00	198.00	10.00	-500.00
T	198.00	197.00	10.00	-500.00
U	197.00	196.00	10.00	-500.00
V	196.00	195.00	10.00	-500.00
W	195.00	194.00	10.00	-500.00
X	194.00	193.00	10.00	-500.00
Y	193.00	192.00	10.00	-500.00
Z	192.00	191.00	10.00	-500.00
AA	191.00	190.00	10.00	-500.00
AB	190.00	189.00	10.00	-500.00
AC	189.00	188.00	10.00	-500.00
AD	188.00	187.00	10.00	-500.00
AE	187.00	186.00	10.00	-500.00
AF	186.00	185.00	10.00	-500.00
AG	185.00	184.00	10.00	-500.00
AH	184.00	183.00	10.00	-500.00
AI	183.00	182.00	10.00	-500.00
AJ	182.00	181.00	10.00	-500.00
AK	181.00	180.00	10.00	-500.00
AL	180.00	179.00	10.00	-500.00
AM	179.00	178.00	10.00	-500.00
AN	178.00	177.00	10.00	-500.00
AO	177.00	176.00	10.00	-500.00
AP	176.00	175.00	10.00	-500.00
AQ	175.00	174.00	10.00	-500.00
AR	174.00	173.00	10.00	-500.00
AS	173.00	172.00	10.00	-500.00
AT	172.00	171.00	10.00	-500.00
AU	171.00	170.00	10.00	-500.00
AV	170.00	169.00	10.00	-500.00
AW	169.00	168.00	10.00	-500.00
AX	168.00	167.00	10.00	-500.00
AY	167.00	166.00	10.00	-500.00
AZ	166.00	165.00	10.00	-500.00
BA	165.00	164.00	10.00	-500.00
BB	164.00	163.00	10.00	-500.00
BC	163.00	162.00	10.00	-500.00
BD	162.00	161.00	10.00	-500.00
BE	161.00	160.00	10.00	-500.00
BF	160.00	159.00	10.00	-500.00
BG	159.00	158.00	10.00	-500.00
BH	158.00	157.00	10.00	-500.00
BI	157.00	156.00	10.00	-500.00
BJ	156.00	155.00	10.00	-500.00
BK	155.00	154.00	10.00	-500.00
BL	154.00	153.00	10.00	-500.00
BM	153.00	152.00	10.00	-500.00
BN	152.00	151.00	10.00	-500.00
BO	151.00	150.00	10.00	-500.00
BP	150.00	149.00	10.00	-500.00
BQ	149.00	148.00	10.00	-500.00
BR	148.00	147.00	10.00	-500.00
BS	147.00	146.00	10.00	-500.00
BT	146.00	145.00	10.00	-500.00
BU	145.00	144.00	10.00	-500.00
BV	144.00	143.00	10.00	-500.00
BW	143.00	142.00	10.00	-500.00
BX	142.00	141.00	10.00	-500.00
BY	141.00	140.00	10.00	-500.00
BZ	140.00	139.00	10.00	-500.00
CA	139.00	138.00	10.00	-500.00
CB	138.00	137.00	10.00	-500.00
CC	137.00	136.00	10.00	-500.00
CD	136.00	135.00	10.00	-500.00
CE	135.00	134.00	10.00	-500.00
CF	134.00	133.00	10.00	-500.00
CG	133.00	132.00	10.00	-500.00
CH	132.00	131.00	10.00	-500.00
CI	131.00	130.00	10.00	-500.00
CJ	130.00	129.00	10.00	-500.00
CK	129.00	128.00	10.00	-500.00
CL	128.00	127.00	10.00	-500.00
CM	127.00	126.00	10.00	-500.00
CN	126.00	125.00	10.00	-500.00
CO	125.00	124.00	10.00	-500.00
CP	124.00	123.00	10.00	-500.00
CQ	123.00	122.00	10.00	-500.00
CR	122.00	121.00	10.00	-500.00
CS	121.00	120.00	10.00	-500.00
CT	120.00	119.00	10.00	-500.00
CU	119.00	118.00	10.00	-500.00
CV	118.00	117.00	10.00	-500.00
CW	117.00	116.00	10.00	-500.00
CX	116.00	115.00	10.00	-500.00
CY	115.00	114.00	10.00	-500.00
CZ	114.00	113.00	10.00	-500.00
DA	113.00	112.00	10.00	-500.00
DB	112.00	111.00	10.00	-500.00
DC	111.00	110.00	10.00	-500.00
DD	110.00	109.00	10.00	-500.00
DE	109.00	108.00	10.00	-500.00
DF	108.00	107.00	10.00	-500.00
DG	107.00	106.00	10.00	-500.00
DH	106.00	105.00	10.00	-500.00
DI	105.00	104.00	10.00	-500.00
DJ	104.00	103.00	10.00	-500.00
DK	103.00	102.00	10.00	-500.00
DL	102.00	101.00	10.00	-500.00
DM	101.00	100.00	10.00	-500.00
DN	100.00	99.00	10.00	-500.00
DO	99.00	98.00	10.00	-500.00
DP	98.00	97.00	10.00	-500.00
DQ	97.00	96.00	10.00	-500.00
DR	96.00	95.00	10.00	-500.00
DS	95.00	94.00	10.00	-500.00
DT	94.00	93.00	10.00	-500.00
DU	93.00	92.00	10.00	-500.00
DV	92.00	91.00	10.00	-500.00
DW	91.00	90.00	10.00	-500.00
DX	90.00	89.00	10.00	-500.00
DY	89.00	88.00	10.00	-500.00
DZ	88.00	87.00	10.00	-500.00
EA	87.00	86.00	10.00	-500.00
EB	86.00	85.00	10.00	-500.00
EC	85.00	84.00	10.00	-500.00
ED	84.00	83.00	10.00	-500.00
EE	83.00	82.00	10.00	-500.00
EF	82.00	81.00	10.00	-500.00
EG	81.00	80.00	10.00	-500.00
EH	80.00	79.00	10.00	-500.00
EI	79.00	78.00	10.00	-500.00
EJ	78.00	77.00	10.00	-500.00
EK	77.00	76.00	10.00	-500.00
EL	76.00	75.00	10.00	-500.00
EM	75.00	74.00	10.00	-500.00
EN	74.00	73.00	10.00	-500.00
EO	73.00	72.00	10.00	-500.00
EP	72.00	71.00	10.00	-500.00
EQ	71.00	70.00	10.00	-500.00
ER	70.00	69.00	10.00	-500.00
ES	69.00	68.00	10.00	-500.00
ET	68.00	67.00	10.00	-500.00
EU	67.00	66.00	10.00	-500.00
EV	66.00	65.00	10.00	-500.00
EW	65.00	64.00	10.00	-500.00
EX	64.00	63.00	10.00	-500.00
EY	63.00	62.00	10.00	-500.00
EZ	62.00	61.00	10.00	-500.00
FA	61.00	60.00	10.00	-500.00
FB	60.00	59.00	10.00	-500.00
FC	59.00	58.00	10.00	-500.00
FD	58.00	57.00	10.00	-500.00
FE	57.00	56.00	10.00	-500.00
FF	56.00	55.00	10.00	-500.00
FG	55.00	54.00	10.00	-500.00
FH	54.00	53.00	10.00	-500.00
FI	53.00	52.00	10.00	-500.00
FJ	52.00	51.00	10.00	-500.00
FK	51.00	50.00	10.00	-500.00
FL	50.00	49.00	10.00	-500.00
FM	49.00	48.00	10.00	-500.00
FN	48.00	47.00	10.00	-500.00
FO	47.00	46.00	10.00	-500.00
FP	46.00	45.00	10.00	-500.00
FQ	45.00	44.00	10.00	-500.00
FR	44.00	43.00	10.00	-500.00
FS	43.00	42.00	10.00	-500.00
FT	42.00	41.00	10.00	-500.00
FU	41.00	40.00	10.00	-500.00
FV	40.00	39.00	10.00	-500.00
FW	39.00	38.00	10.00	-500.00

8884 CREDITVIEW RD , BRAMPTON, ON L6Y 0G4



SHEET LIST	
SHEET NUMBER	SHEET NAME
A0-01	COVER PAGE
A0-02	SURVEY PLAN
A0-03	SITE PLAN EXISTING
A0-04	SITE PLAN PROPOSED
A1-01	BASEMENT PROP. PLAN
A1-02	MAIN FLOOR PROP. PLAN
A1-03	2ND FLOOR PROP. PLAN
A1-04	ROOF PROP. PLAN
A2-01	EAST & WEST ELEVATION
A2-02	NORTH & SOUTH ELEVATION
A3-01	SECTION 1 & 2
A3-02	SECTION 3 & 4
A3-03	SCHEMATIC & LEGEND

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No.	DATE	ISSUED FOR	APVD
REVISIONS			



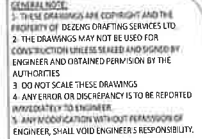
ENGINEER:

CLIENT:

PROJECT NAME:  
NEW CONSTRUCTION  
PROJECT ADDRESS:  
8884 CREDITVIEW RD., BRAMPTON, ON L6Y 0G4  
SHEET NAME:  
COVER PAGE

DATE:	PROJECT No.:
SCALE:	21-02-10
DRAWN BY: P. FOROZAN	SHEET No.:
CHECKER: Chikhar	A0-01





PROJECT NAME:  
NEW CONSTRUCTION

PROJECT ADDRESS:  
1111 CREDITVIEW RD, BRAWLEYTON, ON L6Y 0G4

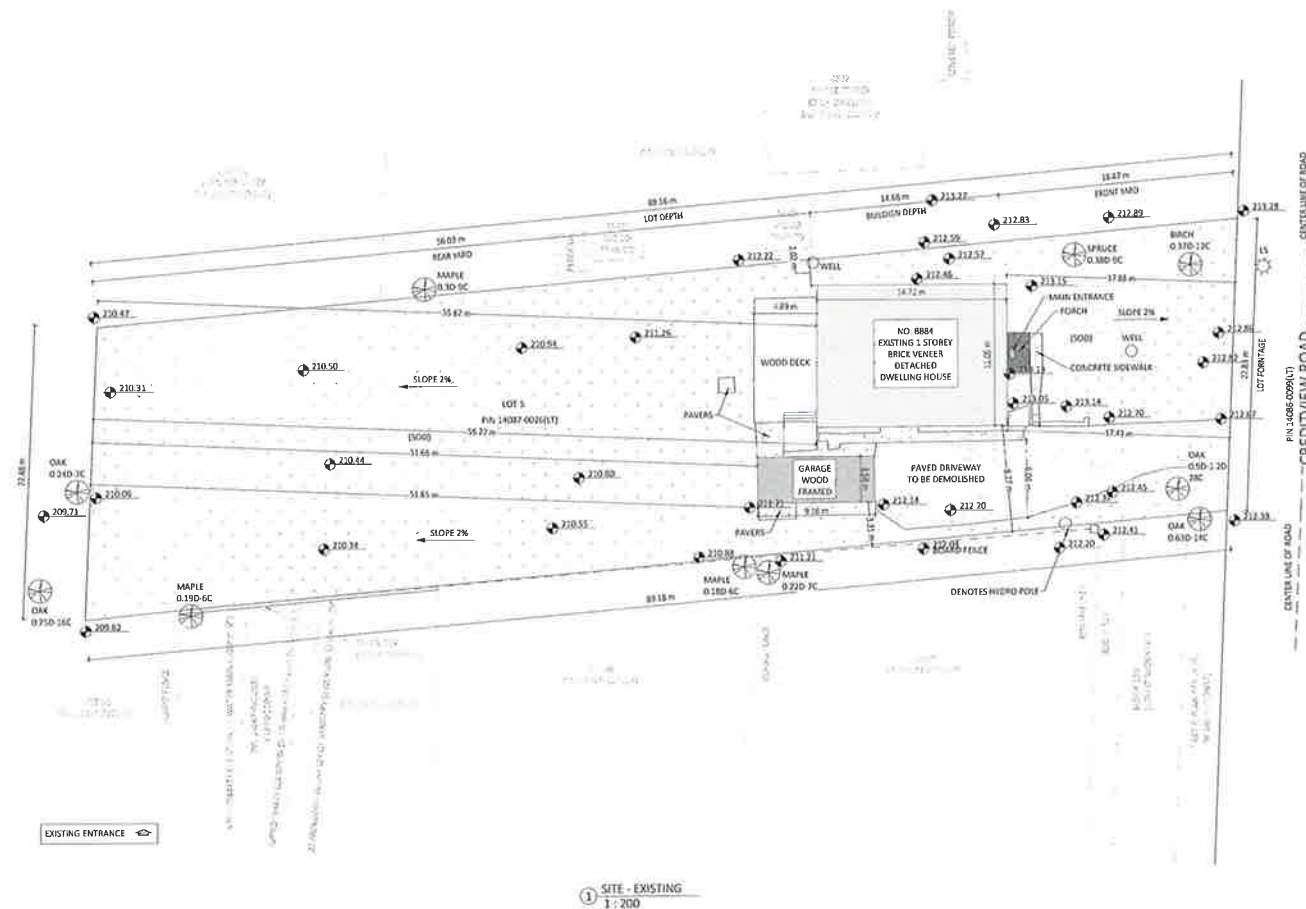
SHEET NAME:  
SURVEY PLAN

DATE:	PROJECT No.:
SCALE:	21-02-10
DRAWN BY: P. FOROZAN	SHEET No.:
CHECKER: <i>Osman</i>	A0-02





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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:

1401 CREDITVIEW RD, DRAFTER, ON L101 RGA

SHEET NAME:

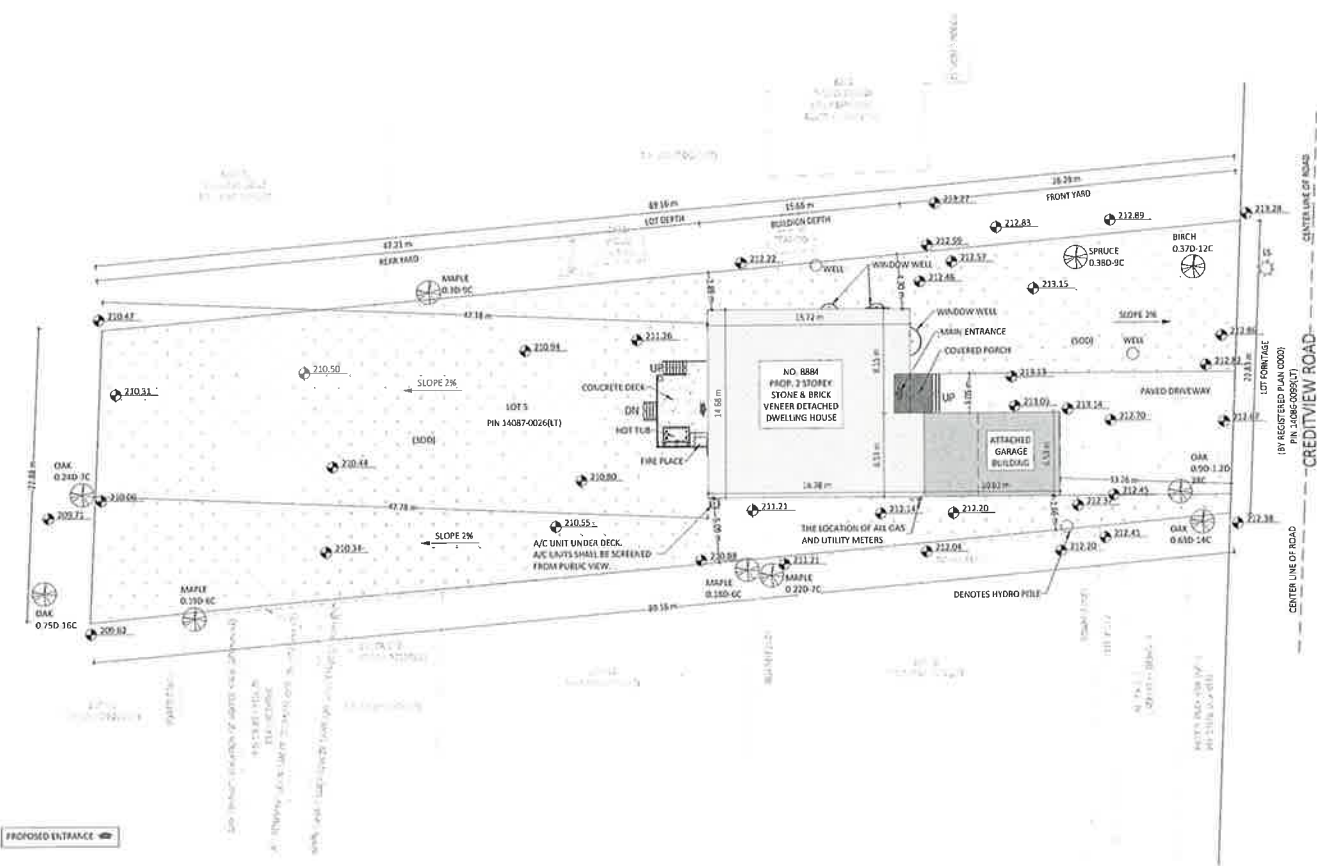
SITE PLAN EXISTING

DATE:	PROJECT No.:
SCALE: As indicated	21-02-10
DRAWN BY: P. JORDAN	SHEET No:
CHECKER: Checker	A0-03

ZONING INFO (METRIC)									
LOT AREA: 2054.14		LOT No.: 5		LOT FRONTAGE: 32.83		LOT DEPTH (AVE.): 89.17			
2nd FLOOR AREA		EXISTING	PROPOSED	TOTAL	% ALLOWED	%	SETBACKS		
1st FLOOR		214.04					FRONT	12.41	13.35
2nd FLOOR		245.27					REAR	51.66	47.18
ROOF TOP							SIDE (N)	2.02	2.89
TOTAL GFA		459.31					SIDE (S)	8.33	2.55
LOT COVERAGE		254.16	106.17	319.43	55.84%				



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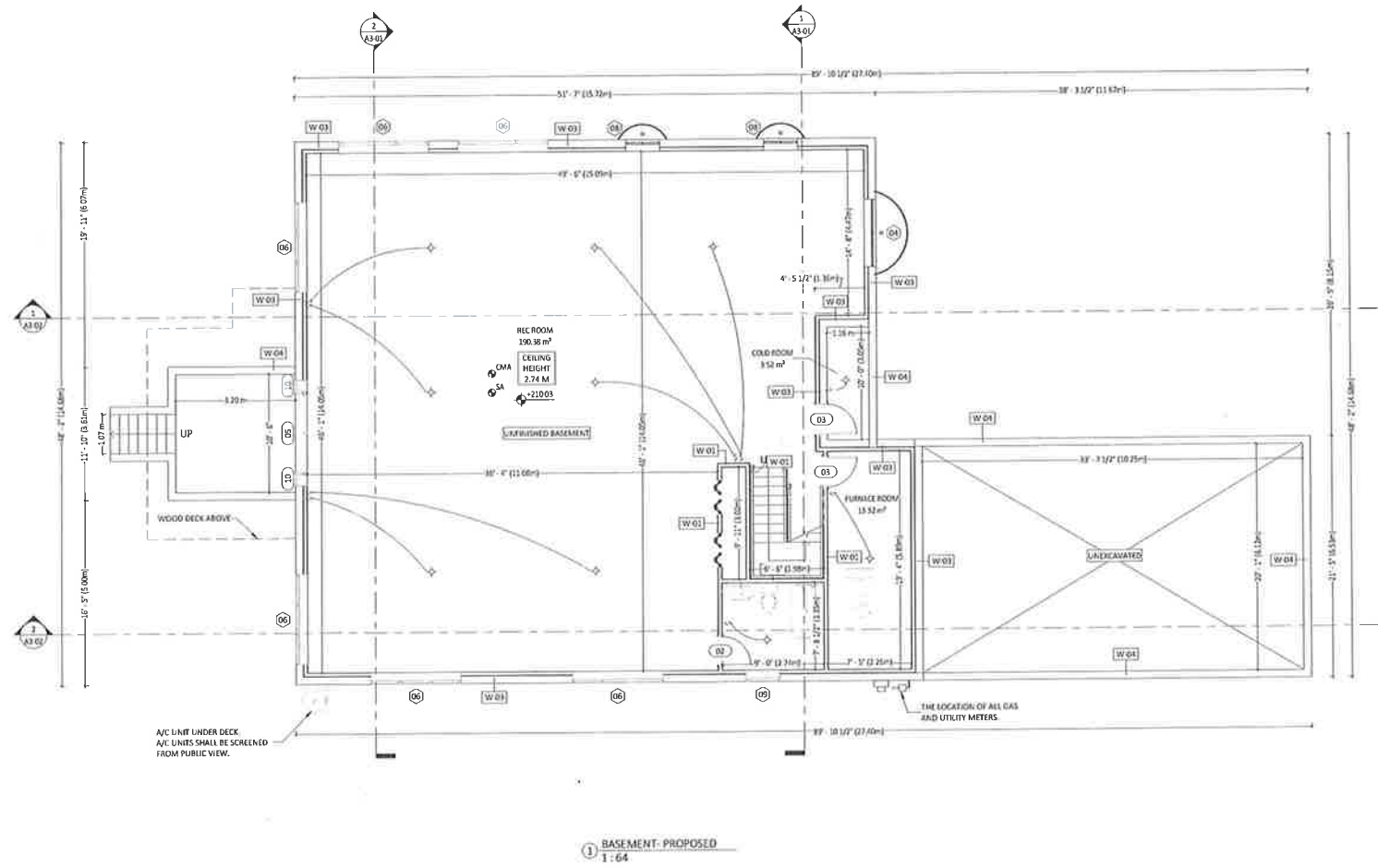
NOTE  
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FRONT YARD AREA: 462.21 M<sup>2</sup>  
PROPOSED DRIVEWAY AREA: 157.58 M<sup>2</sup>  
PROPOSED PORCH AND STEPS AREA: 19.30 M<sup>2</sup>  
PROPOSED LAWN AREA: 296.37 M<sup>2</sup>  
PROPOSED LANDSCAPING PERCENTAGE: 165.84 M<sup>2</sup>/462.21 M<sup>2</sup> = 35.87 %  
PROPOSED SOFT LANDSCAPING PERCENTAGE: 296.37 M<sup>2</sup>/462.21 M<sup>2</sup> = 64.12 %


REAR YARD AREA: 1083.49 M<sup>2</sup>  
PROPOSED CONCRETE DECK & STEPS: 27.82 M<sup>2</sup>  
PROPOSED LAWN AREA: 1055.66 M<sup>2</sup>  
PROPOSED SOFT LANDSCAPING PERCENTAGE: 1055.66 M<sup>2</sup>/1083.49 M<sup>2</sup> = 97.43 %

① SITE - PROPOSED  
1:200

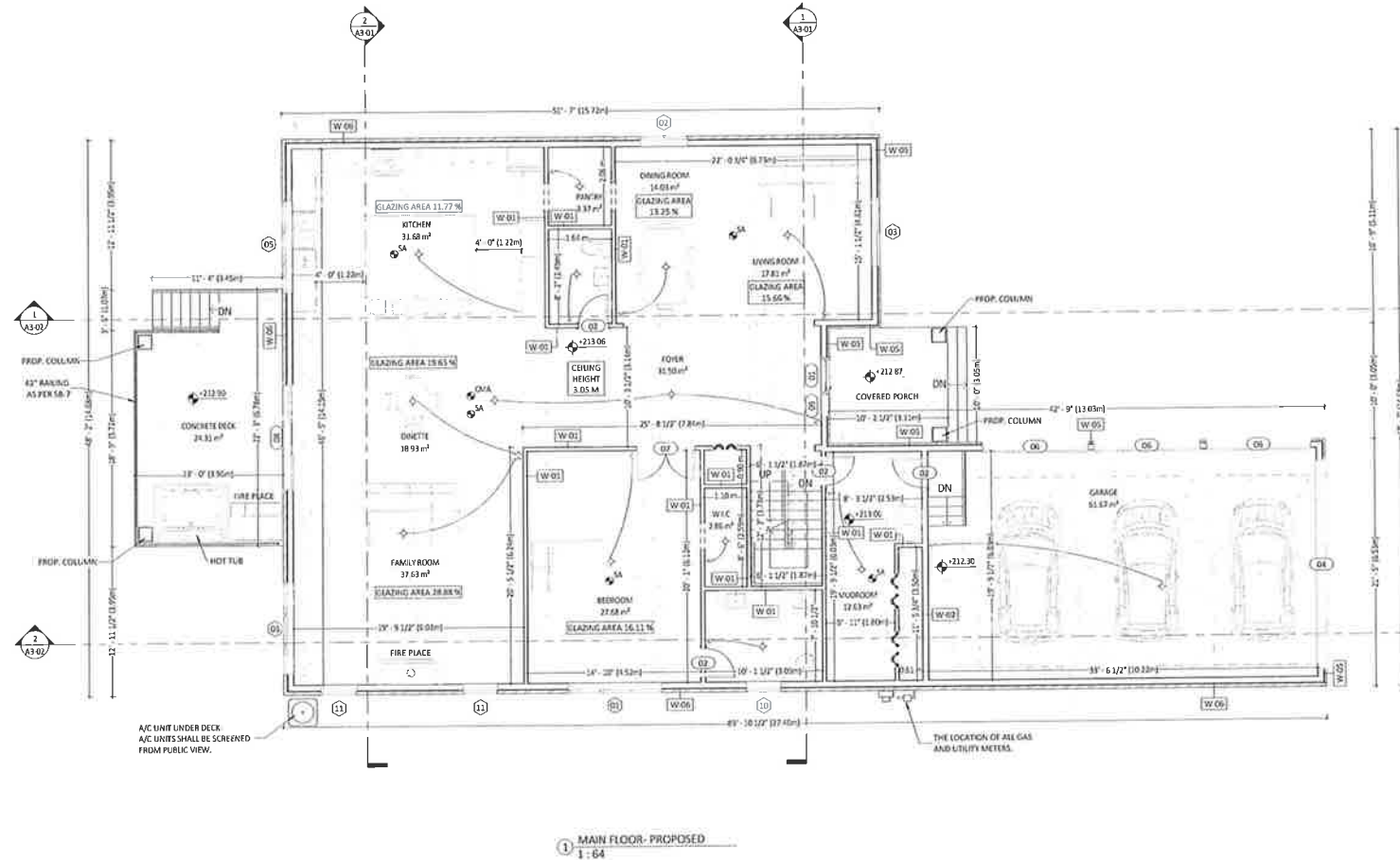
No.	DATE	ISSUED FOR	APVD
REVISIONS			
ENGINEER:			
CLIENT:			
PROJECT NAME:			
NEW CONSTRUCTION			
PROJECT ADDRESS:			
6004 CREDITVIEW RD., BRAMPTON, ON L6Y 0G4			
SHEET NAME:			
SITE PLAN PROPOSED			
DATE:	PROJECT No.:		
SCALE: As indicated	21-02-10		
DRAWN BY: P. FORZAN	SHEET No.:		
CHECKER: Checker	A0-04		



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REVISIONS			
NO.	DATE	ISSUED FOR	APVD
<div> ANTARA ARCHITECTURAL ENGINEERING CONSULTANTS</div>			
ENGINEER:			
CLIENT:			
PROJECT NAME:			
NEW CONSTRUCTION			
PROJECT ADDRESS:			
ADDI CREATIVE W/ RD., BAKKAPPAH, ON LBY 064			
SHEET NAME:			
BASEMENT PROP. PLAN			
DATE:	PROJECT No.:		
SCALE: 1:64	21-02-10		
DRAWN BY: P. PERIOZAN	SHEET No:		
CHECKER: Checker	A1-01		





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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:

8884 CREATIVE RD., BRAMPTON, ON L6Y 0G4

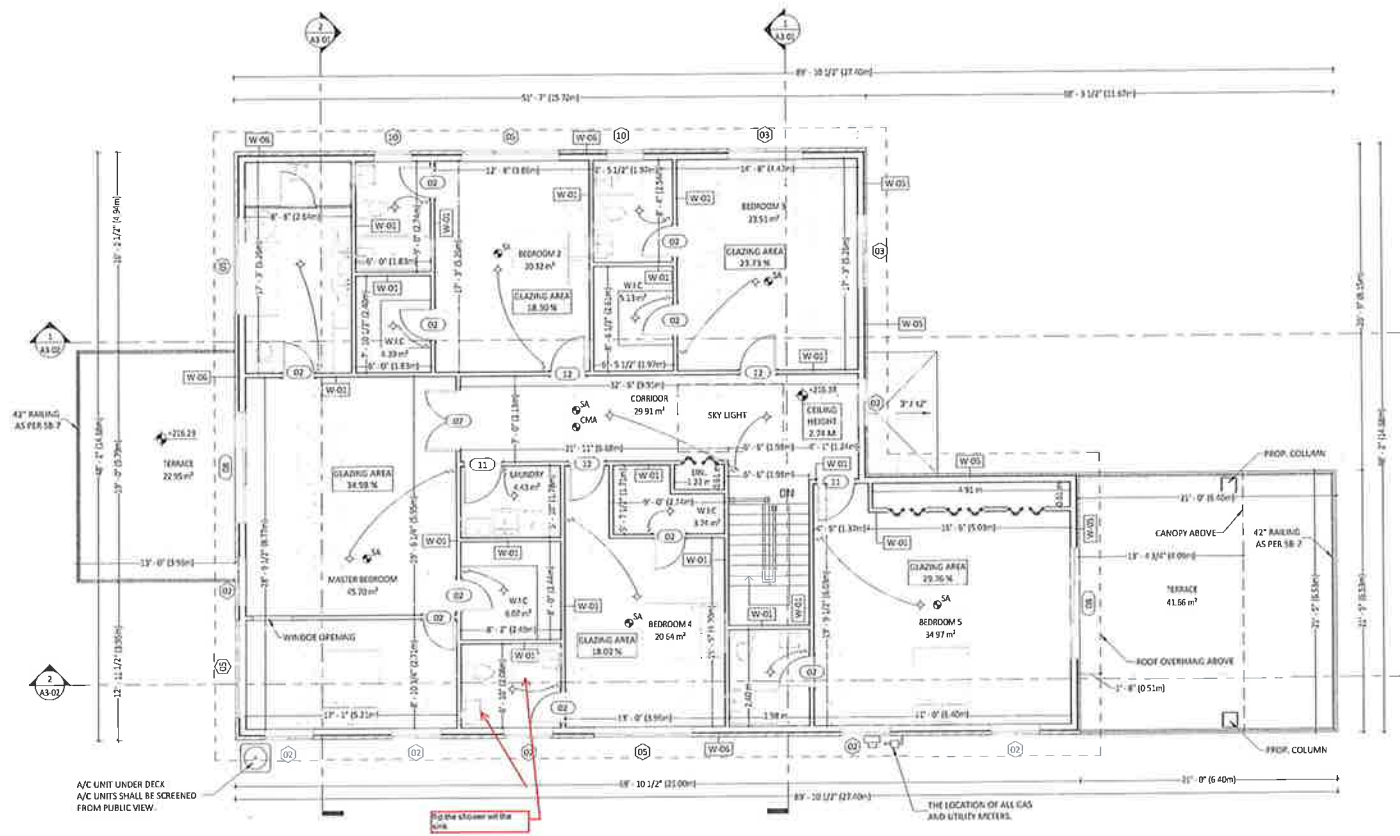
SHEET NAME:

MAIN FLOOR PROP. PLAN

DATE:	PROJECT No.:
SCALE: 1:64	21-02-10
DRAWN BY: P. FOROZAN	SHEET No.:
CHECKER: Checker	A1-02

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① UPPER FLOOR- PROPOSED  
1:64

No.	DATE	ISSUED FOR	APPROVED
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:  
8880 CREDITVIEW RD., BRAMPTON, ON L6Y 0G4

SHEET NAME:

2ND FLOOR PROP. PLAN

DATE: \_\_\_\_\_  
SCALE: 1:64  
DRAWN BY: P.F.C.  
CHECKER: Oetika

PROJECT No.:	21-02-10
SHEET No.:	A1-03

No.	DATE	ISSUED FOR	APV
REVISIONS			



CLIENT:

NEW CONSTRUCTION

SHEET NAME:

ROOF PROP. PLAN

DATE:	PROJECT No.:
SCALE: 1:50	21-02-10
DRAWN BY: F. FORDAN	SHEET No.:
CHECKER: Checker	A1-04

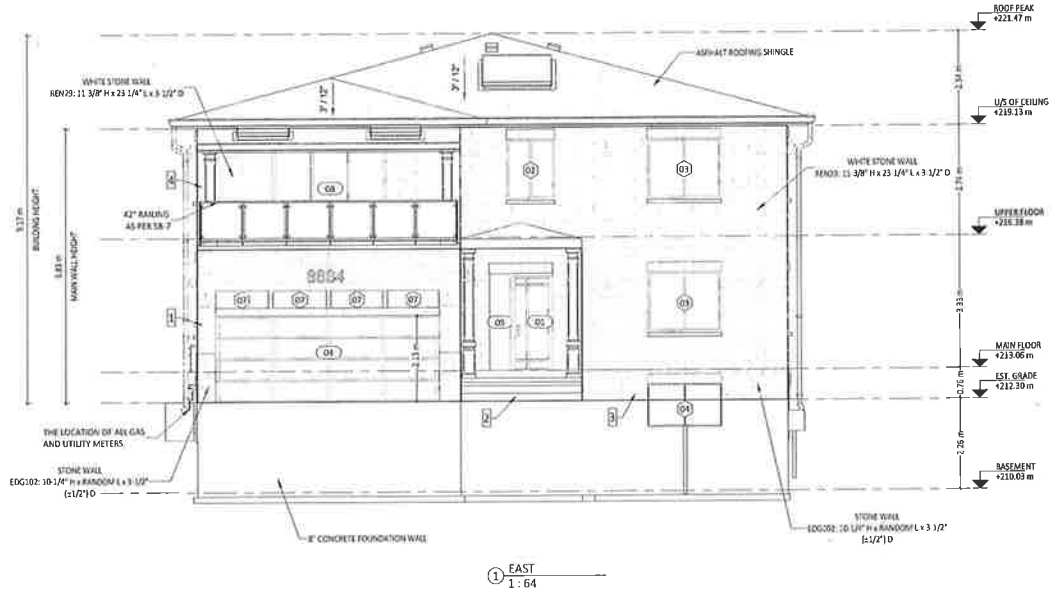


1  
BUILDING FACE: 24.87 M<sup>2</sup>  
OPENING: 2.41 M<sup>2</sup> (9.69%)  
LIMITING DISTANCE: 13.26 M  
ALLOWED OPENING: N/A

2  
BUILDING FACE: 11.61 M<sup>2</sup>  
OPENING: 1.21 M<sup>2</sup> (10.42%)  
LIMITING DISTANCE: 26.43 M  
ALLOWED OPENING: N/A

3  
BUILDING FACE: 44.09 M<sup>2</sup>  
OPENING: 8.18 M<sup>2</sup> (18.55%)  
LIMITING DISTANCE: 25.18 M  
ALLOWED OPENING: N/A

4  
BUILDING FACE: 19.73 M<sup>2</sup>  
OPENING: 6.69 M<sup>2</sup> (33.90%)  
LIMITING DISTANCE: 19.66 M  
ALLOWED OPENING: N/A



BUILDING FACE: 114.85 M<sup>2</sup>  
OPENING: 35.32 M<sup>2</sup> (30.75%)  
LIMITING DISTANCE: 47.18 M  
ALLOWED OPENING: N/A



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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:  
4881 CROFTVIEW RD., ARAFFLE, QUEENSLAND

SHEET NAME:

EAST & WEST ELEVATION

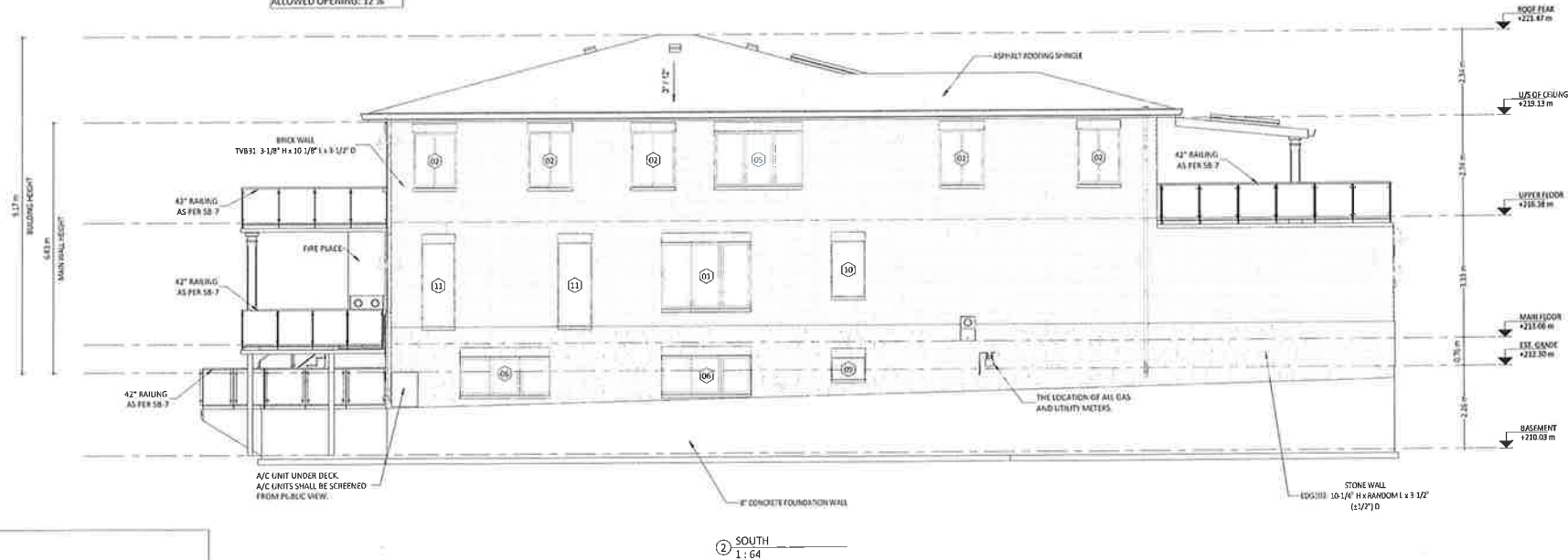
DATE: PROJECT No.:  
SCALE: As indicated 21-02-10  
DRAWN BY: P. JORDAN SHEET No.:  
CHECKER: Checker A2-01

1  
BUILDING FACE: 61.04 M<sup>2</sup>  
OPENING: 3.62 M<sup>2</sup> (5.93 %)  
LIMITING DISTANCE: 12.42 M  
ALLOWED OPENING: N/A

2  
BUILDING FACE: 114.87 M<sup>2</sup>  
OPENING: 17.45 M<sup>2</sup> (15.19 %)  
LIMITING DISTANCE: 2.89 M  
ALLOWED OPENING: 9 %



BUILDING FACE: 186.52 M<sup>2</sup>  
OPENING: 28.81 M<sup>2</sup> (15.44 %)  
LIMITING DISTANCE: 5.09 M  
ALLOWED OPENING: 12 %



NOTE  
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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:

NEW CONSTRUCTION

PROJECT ADDRESS:  
8884 CREEKVIEW RD., GRANITON, GA 30144

SHEET NAME:

NORTH & SOUTH  
ELEVATION

DATE:	PROJECT No.:
SCALE: As Indicated	21-02-10
DRAWN BY: P. FORDAN	SHEET No.:
CHECKER: Charker	A2-02

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① SECTION 1  
1 : 64

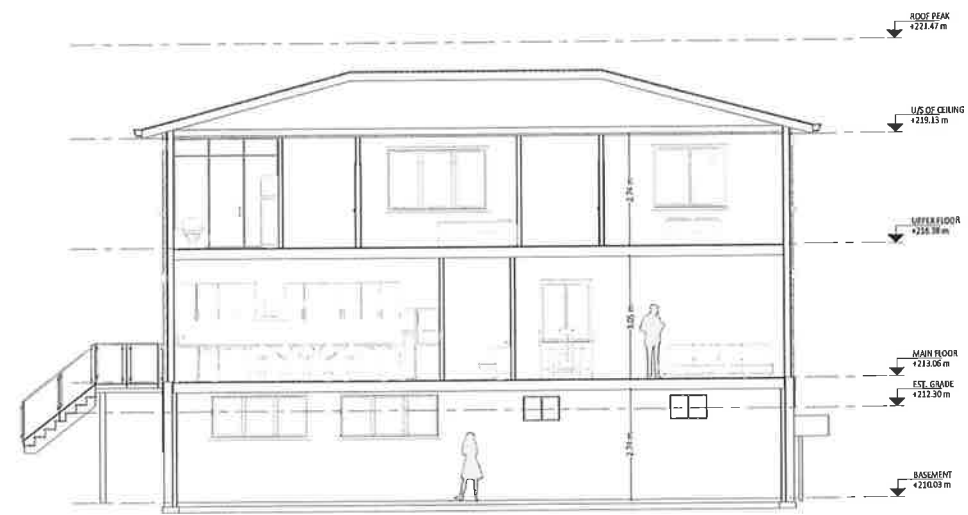


② SECTION 2  
1 : 64

No.	DATE	ISSUED FOR	APVD
REVISIONS			
			
ENGINEER:			
CLIENT:			
PROJECT NAME: NEW CONSTRUCTION			
PROJECT ADDRESS: 6004 CREDITVIEW RD., BRAMPTON, ON L6Y 0G4			
SHEET NAME: SECTION 1 & 2			
DATE: SCALE: 1 : 64		PROJECT No.: 21-02-10	
DRAWN BY: J. FORDAN		SHEET No.:	
CHECKER: Checker		A3-01	




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① SECTION 3  
1 : 64



② SECTION 4  
1 : 64

No.	DATE	ISSUED FOR	APVD
REVISIONS			
			
ENGINEER:			
CLIENT:			
PROJECT NAME: NEW CONSTRUCTION			
PROJECT ADDRESS: 88A CHERVIEW RD, BRAMPTON, ON L6Y 0G4			
SHEET NAME: SECTION 3 & 4			
DATE:		PROJECT No.:	
SCALE: 1 : 64		21-02-30	
DRAWN BY: P. FORDEAN		SHEET No.:	
CHECKER: Checker		A3-02	

DOOR SCHEDULE					
TYPE MARK	LEVEL	COUNT	WIDTH	HEIGHT	AREA(SM)
BASEMENT					
D2	BASEMENT	1	0.76 m	2.03 m	1.55 m²
D3	BASEMENT	2	0.83 m	2.03 m	1.65 m²
D5	BASEMENT	1	2.13 m	2.03 m	4.34 m²
D10	BASEMENT	2	0.25 m	2.03 m	0.52 m²

BASEMENT: 6

EST. GRADE

D4	EST. GRADE	1	5.49 m	2.13 m	11.71 m²
D6	EST. GRADE	3	2.24 m	2.13 m	5.85 m²

EST. GRADE: 4

MAIN FLOOR

D1	MAIN FLOOR	1	0.80 m	2.26 m	1.81 m²
D2	MAIN FLOOR	4	0.76 m	2.03 m	1.55 m²
D7	MAIN FLOOR	1	1.52 m	2.03 m	3.10 m²
D8	MAIN FLOOR	1	2.24 m	2.44 m	6.60 m²
D9	MAIN FLOOR	1	0.53 m	2.40 m	1.22 m²

MAIN FLOOR: 8

UPPER FLOOR

D2	UPPER FLOOR	10	0.76 m	1.03 m	1.55 m²
D7	UPPER FLOOR	1	1.52 m	2.03 m	3.10 m²
D8	UPPER FLOOR	2	2.24 m	2.44 m	5.63 m²
D11	UPPER FLOOR	2	0.91 m	1.03 m	1.86 m²
D12	UPPER FLOOR	3	0.86 m	2.03 m	1.75 m²

UPPER FLOOR: 18

16

WINDOW SCHEDULE					
TYPE MARK	LEVEL	COUNT	WIDTH	HEIGHT	AREA(SM)

BASEMENT

W4	BASEMENT	1	1.83 m	1.07 m	1.95 m²
W6	BASEMENT	6	2.44 m	1.07 m	2.60 m²
W8	BASEMENT	2	0.91 m	0.61 m	0.56 m²
W9	BASEMENT	1	0.91 m	0.61 m	0.56 m²

BASEMENT: 10

EST. GRADE

W7	EST. GRADE	10	1.32 m	0.46 m	0.60 m²
----	------------	----	--------	--------	---------

EST. GRADE: 10

MAIN FLOOR

W1	MAIN FLOOR	1	2.44 m	1.83 m	4.46 m²
W2	MAIN FLOOR	1	1.22 m	1.52 m	1.86 m²
W3	MAIN FLOOR	1	1.83 m	1.52 m	2.79 m²
W5	MAIN FLOOR	2	2.44 m	1.52 m	1.72 m²
W8	MAIN FLOOR	1	0.91 m	1.52 m	1.39 m²
W11	MAIN FLOOR	2	0.91 m	2.28 m	2.08 m²

MAIN FLOOR: 8

UPPER FLOOR

W2	UPPER FLOOR	7	1.22 m	1.52 m	1.86 m²
W3	UPPER FLOOR	2	1.83 m	1.52 m	2.79 m²
W5	UPPER FLOOR	4	1.46 m	1.52 m	5.72 m²
W10	UPPER FLOOR	7	0.91 m	1.52 m	1.39 m²

UPPER FLOOR: 15

US OF CEILING

W12	US OF CEILING	1	1.10 m	2.60 m	4.42 m²
W13	US OF CEILING	2	1.22 m	1.83 m	2.23 m²

US OF CEILING: 3

46

SYMBOL LEGEND	
	AIR RETURN
	EXHAUST FAN SOCFM/W 5" DUCT
	HEAT REGISTER
	LIGHT PICTURE
	SINGLE SWITCH
	SMOKE ALARM
	CARBON MONOXIDE ALARM
	WATER HEATER
	EXISTING
	PROPOSED

WALL LEGEND	
	EXISTING TO REMAIN
	TO BE DEMOLISHED
	NEW CONSTRUCTION

CEILING SCHEDULE	
	FULL HEIGHT CEILING - EXISTING WOOD JOISTS - SOUND INSULATION (OPTIONAL) - 1/2" GYPSUM
	LOWERED CEILING - 2" X 4" @ 16" O.C. CEILING JOISTS - SOUND INSULATION (OPTIONAL) - 1/2" GYPSUM

WALL LEGEND	
INTERIOR WALL	
	W-01 2x4 STUD PARTITION 1/2" GYPSUM WALL BOARD 2x4" @ 16" O.C. WOOD STUDS 1/2" GYPSUM WALL BOARD
	W-02 2x6 STUD PARTITION 1/2" GYPSUM WALL BOARD - 2x6" @ 16" O.C. WOOD STUDS /W R19 BATT INSULATION 1/2" GYPSUM WALL BOARD
FOUNDATION WALL	
	W-03 8" CONCRETE + INSULATION WALL, 2x4 STUDS BATT INSULATION LAYER 1/2" PANKING 8" POURED CONCRETE 1" AIR GAP 2x4" @ 16" O.C. WOOD STUDS /W R14 BATT INSULATION 1/2" POLY AIR/VAPOUR BARRIER 1/2" GWS FINISH
	W-04 8" CONCRETE, POURED 8" POURED CONCRETE
EXTERIOR WALLS	
	W-05 2x6 STONE VENEER WALL 3W" STONE VENEER - 1" AIR GAP AIR BARRIER 1/2" PLYWOOD - 2x4" @ 16" O.C. SPF STUDS /W MIN SPECIFIED R VALUE 1/2" POLY AIR/VAPOUR BARRIER 1/2" GYPSUM WALL BOARD
	W-06 2x6 BRICK VENEER WALL 3W" BRICK VENEER - 1" AIR GAP AIR BARRIER 1/2" PLYWOOD - 2x4" @ 16" O.C. SPF STUDS /W MIN SPECIFIED R VALUE 1/2" POLY AIR/VAPOUR BARRIER 1/2" GYPSUM WALL BOARD

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No.	DATE	ISSUED FOR	APVD
REVISIONS			



ENGINEER:

CLIENT:

PROJECT NAME:  
NEW CONSTRUCTION

PROJECT ADDRESS:  
888A KENNEDY RD., BRANTFORD, ON L6Y 0G4

SHEET NAME:  
SCHEDULE & LEGEND

DATE:	PROJECT No.:
SCALE: As indicated	21-02-10
DRAWN BY: J. FORZAN	SHEET No:
CHECKER: J. FORZAN	A3-05

