

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **BIKRAM SINGH AND MANDEEP GILL** under Section 45 of the Planning Act, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 88, Plan 43M-2063 municipally known as **34 ABIGAIL GRACE CRESCENT**, Brampton;

AND WHEREAS the applicants are requesting the following variance(s):

1. To permit a landing to encroach 4.4m (14.44 ft.) into the minimum required rear yard resulting in a rear yard setback of 3.1m (10.17 ft.) whereas the by-law permits a maximum encroachment of 3.0m (9.84 ft.) resulting in a rear yard setback of 4.5m (14.76 ft.).

OTHER PLANNING APPLICATIONS:

The land which is subject of this application is the subject of an application under the Planning Act for:

Plan of Subdivision: NO
Application for Consent: NO

File Number: _____
File Number: _____

The Committee of Adjustment has appointed **TUESDAY, March 28, 2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers, 4th Floor, City Hall, 2 Wellington Street West, Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. **OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS.** If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. **WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.**

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

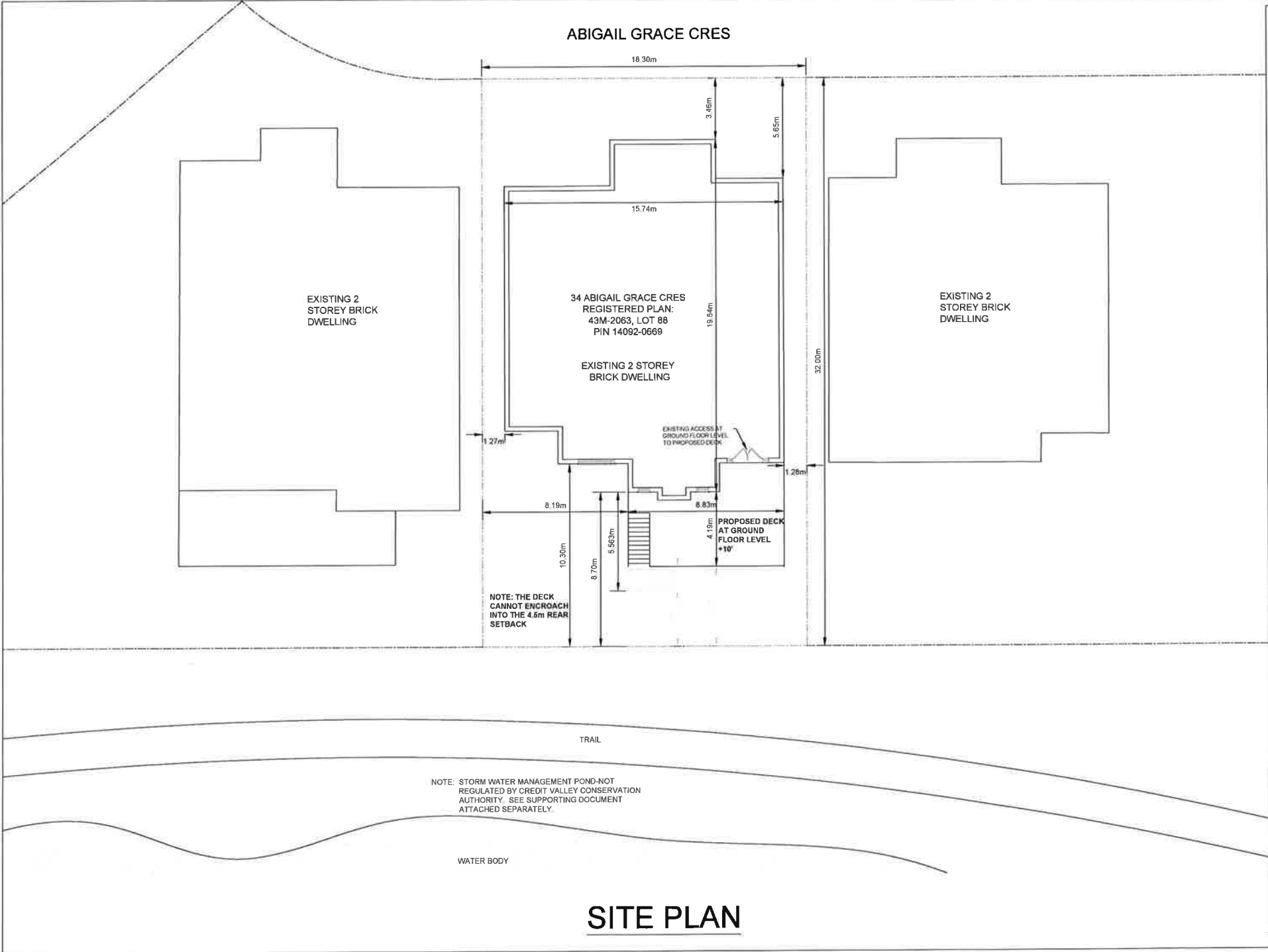
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

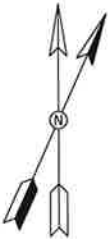
Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca

ABIGAIL GRACE CRES



SITE PLAN



No.	Revision/Issue	Date

Firm Name and Address

NuCon
ENGINEERING

10-589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

Project Name and Address

34 ABIGAIL GRACE CRES
BRAMPTON ON L6X 5R2

Project	Sheet
Date	A102
Scale	1/8" = 1'-0"

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary-Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance.

Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

Flower City



brampton.ca

For Office Use Only
(to be inserted by the Secretary-Treasurer
after application is deemed complete)

FILE NUMBER: A-2023-0063

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) Bikram Singh and Mandeep Gill
Address 34 Abigail Grace Cres.
Brampton, ON
L6X 5R2
Phone # 947-296-7420 Fax # _____
Email Info@avalontranslink.com
2. Name of Agent NANTHARUBAN RAJADURAI
Address 10-589 MIDDLEFIELD RD
SCARBOROUGH, ON
M1V 4Y6
Phone # 647-767-2035 Fax # _____
Email NANTHAN@NUCONENGINEERING.COM

3. Nature and extent of relief applied for (variances requested):

LANDING & A SMALL PORTION OF STAIRS OF THE DECK TO ENCROACH INTO THE MINIMUM REAR YARD SETBACK. 1.4 m ENCROACHMENT INTO 4.5m MINIMUM SETBACK FOR A SMALL PORTION OF THE STAIRS, SEE ARCHITECTURAL DRAWINGS.

4. Why is it not possible to comply with the provisions of the by-law?

ALREADY BUILT WITHOUT TAKING THE REAR SETBACK INTO CONSIDERATION.

PREVIOUSLY APPROVED PERMIT #: 22 289430 000 00 HM

5. Legal Description of the subject land:

Lot Number LOT 88
Plan Number/Concession Number 43M-2063
Municipal Address 34 ABIGAIL GRACE CRES, BRAMPTON, ON, L6X 5R2

6. Dimension of subject land (in metric units)

Frontage 18.3 m
Depth 32.0 m
Area 585.6 sq. m.

7. Access to the subject land is by:

Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐

Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

EXISTING 2 STOREY BRICK DWELLING - 266.45 sq. m. FOOT PRINT
WIDTH - 15.74 m
LENGTH - 19.77 m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

DECK(8.83mX4.25m)

PREVIOUSLY APPROVED PERMIT #: 22 289430 000 00 HM

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	5.65 m	DWELLING
Rear yard setback	8.7 m	
Side yard setback	1.27 m	
Side yard setback	1.28 m	

PROPOSED

Front yard setback	N/A	DECK AT REAR YARD
Rear yard setback	3.0 m	FOR A SMALL PORTION OF THE STAIRS (SEE DRAWINGS), MINOR VARIENCE REQUIRED
Side yard setback	8.19 m	
Side yard setback	1.28 m	

10. Date of Acquisition of subject land: May 10, 2023
11. Existing uses of subject property: RESIDENTIAL
12. Proposed uses of subject property: RESIDENTIAL
13. Existing uses of abutting properties: RESIDENTIAL
14. Date of construction of all buildings & structures on subject land: DWELLING = 2020-2021 & DECK = 2022
15. Length of time the existing uses of the subject property have been continued: AT LEAST 3 YEARS
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY OF BRAMPTON

THIS 29 DAY OF 02, 20 23

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, NANTHARUBAN RAJADURAI OF THE SCARBORA OF NUCON ENGINEERING INC.

IN THE PROVINCE OF ONTARIO SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Feb THIS 28th DAY OF

Feb, 20 23

A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation:

R1E-18-2502

Present Zoning By-law Classification:

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Tall Manne
Zoning Officer

Feb 24, 2023
Date

DATE RECEIVED Feb. 28, 2023

Date Application Deemed
Complete by the Municipality

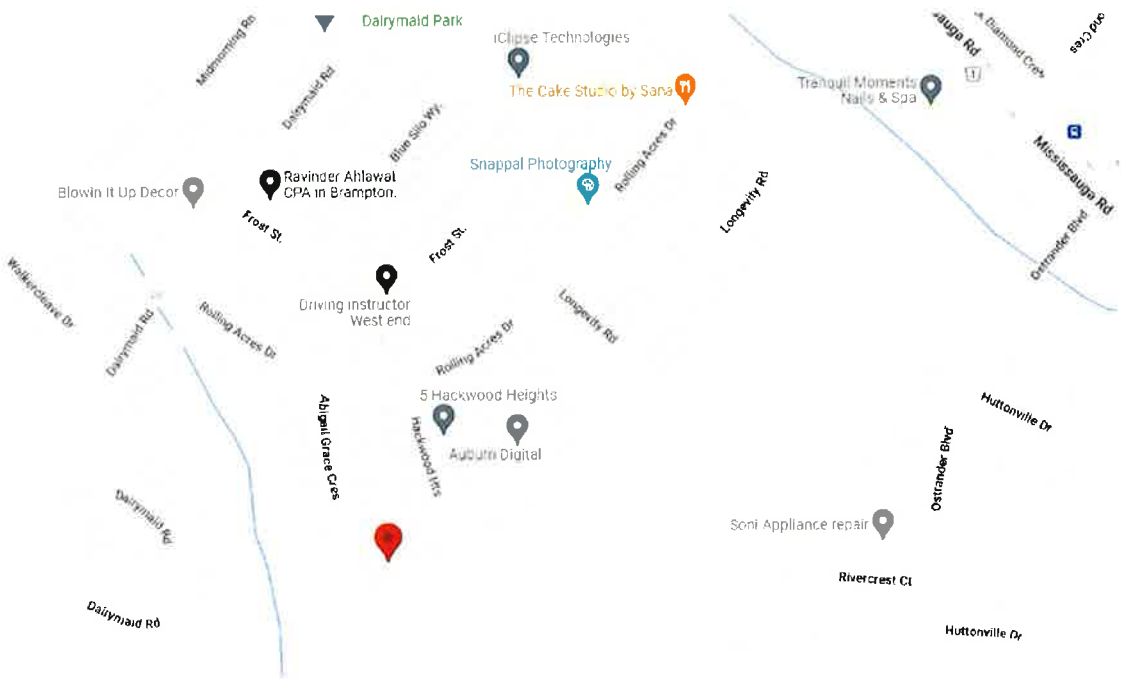
PROPOSED DECK

34 ABIGAIL GRACE CRES., BRAMPTON ON L6X 5R2

SCOPE: REVISION TO PERMIT
22 289430 000 00 HM
PROPOSED TO MAKE DECK
SMALLER (FROM 40 x 14 TO 25 x 14)

MINOR VARIANCE REQUIRED

RELIEF REQUIRED FOR STAIRS TO
ENCROACH 1.4m INTO THE MINIMUM
REAR YARD SETBACK OF 4.5m.



NEIGHBOURHOOD PLAN

DRAWING LIST

- A100 COVER SHEET
- A101 CONSTRUCTION NOTES
- A102 SITE PLAN
- A103 DECK FOUNDATION PLAN, BLOCKING & SPIGOT DETAIL
- A104 DECK SECTION/DECK SOUTH ELEVATION
- A105 STAIR SECTION
- A106 REFERENCE
LEGAL SURVEY DRAWING
REGISTERED PLAN: 43M-2063,
LOT 88, PIN 14092-0669

General Notes

No.	Revision/Issue	Date

NuCon

ENGINEERING

10-589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

Project Name and Address

34 ABIGAIL GRACE CRES,
BRAMPTON, ON
L6X 5R2

Project	Sheet
Date	A100
Scale	

GENERAL NOTES

1. DESIGN LOADS FOR THE DECK SHALL BE THE FOLLOWING:
DEAD LOAD = 10 PSF
LIVE LOAD = 40 PSF.
2. PRESSURE TREATED LUMBER NUMBER 2 SPF OR BETTER WOOD AND CORROSION RESISTANT SPIRAL NAILS SHALL BE USED.
3. THE DECK SHALL NOT BE SUPPORTED ON BRICK VENEER.
4. CONCRETE PIERS SHALL BEAR ON UNDISTURBED SOIL AND THE FACTORED BEARING CAPACITY SHALL BE DETERMIBED PRIOR TO CONSTRUCTION BY THE CONTRACTOR AND NOT BE LESS THAN 75 kPa.
5. THE ALLOWABLE BEARING CAPACITY SHALL BE REDUCED BY 50% WHEN WATER IS AT OR NEAR THE BOTTOM OF THE FOOTING EXCAVATION.
6. JOISTS SHALL HAVE BRIDGING, AT LEAST, EVERY 6'-0" O.C.
7. CONTRACTOR SHALL CONDUCT INDEPENDENT SURVEY TO VERIFY EXISTING SITE CONDITIONS. ANY DISCREPANCIES WITH CONTRACT DRAWINGS SHALL BE REPORTED TO THE ENGINEER FOR REVIEW AND CLARIFICATIONS PRIOR TO THE COMMENCEMENT OF THE WORK.
8. THE STRUCTURE IS DESIGNED TO RESIST DESIGN LOADS IN ITS COMPLETED STATE AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING OF WITHSTANDING LOADS IMPOSED ON THE PARTIALLY COMPLETED STRUCTURE DURING ITS CONSTRUCTION AND FOR DESIGNING AND PROVIDING SHORING AND TEMPORARY SUPPORTS.
9. WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVINCE ON ONTARIO HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
10. CONSTRUCTION LOAD SHALL NOT EXCEED DESIGN LOADS.
11. ANY CHANGES TO THE DESIGN SHALL BE COMMUNICATED TO DESIGN ENGINEER TO OBTAIN APPROVAL PRIOR TO CONSTRUCTION.
12. INSTRUCTIONS AND CONSTRUCTION PROCEDURES OF MANUFACTURERS SHALL BE FOLLOWED FOR STRUCTURAL MEMBERS.
13. WOOD FRAMING SHALL MEET THE REQUIREMENTS OF OBC-2012, SECTION .
14. NAILS AND SPIKES SHALL MEET THE REQUIREMENTS OF CSA STANDARD B111.
15. ALL CONCRETE MATERIALS, METHODS OF CONSTRUCTION, AND CONCRETE TESTS SHALL CONFORM TO CSA A23.1-14 AND CSA A-23.2-14.

NOTES:

- PIERS
 - PIERS SHALL CONSIST OF POURED CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 15 mpa (2,200 psi AFTER 28 DAYS)
 - PIERS MUST EXTEND A MINIMUM OF 1.2M (4') BELOW GRADE AND BEAR ON UNDISTURBED SOIL.
 - PIERS SHALL NOT EXTEND MORE THAN 3 TIMES THEIR WIDTH ABOVE GRADE.
 - PIERS SHALL EXTEND A MINIMUM OF 150 mm (6") ABOVE GRADE.
 - NEW FOUNDATIONS MUST NOT INTERFERE WITH EXISTING FOUNDATION DRAINAGE SYSTEMS.
- LEDGER BOARD
 - ANCHOR BOLTS SHALL BE ATTACHED TO STRUCTURAL LUMBER.
 - A LEDGER BOARD SHALL HAVE THE SAME DIMENSIONS AS THE FLOOR JOISTS IT SUPPORTS.
 - THE ANCHOR BOLTS SHALL NOT BE ATTACHED TO HOLLOW MASONRY OR BRICK VENEER. BOLTS MUST PASS THROUGH HOLLOW MASONRY OR BRICK VENEER AND CARE MUST BE TAKEN TO NOT OVERTIGHTEN BOLTS. IF POSSIBLE, SPACERS SHALL BE PLACED IN THE AIR SPACE.
- BEAMS
 - BEAMS SHALL A BEARING SURFACE ON EACH OF THEIR SUPPORTING MEMBER OF NOT LESS THAN THEIR WIDTH AND NOT LESS THAN 89 (3.5") IN LENGTH.
- BUILT-UP WOOD
 - WHERE INDIVIDUAL MEMBERS ARE BUTTED TOGETHER TO FORM A JOINT, THE JOINT SHALL OCCUR OVER A SUPPORT.
 - BUILT UP BEAMS SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS NOT LESS THAN 89 (3.5") IN LENGTH, NOT MORE THAN 450 (18") APART, AND NOT MORE THAN 100 (4") FROM THE END.
- JOISTS
 - 38X235 (2"x10") OR LARGER MAY NOT BE CANTILEVERED MORE THAN 600 (24")
 - FLOOR JOISTS MAY BE SUPPORTED ON THE TOPS OF BEAMS OR MAY BE SUPPORTED WITH PROPER METAL JOIST HANGERS.
 - THE FLOOR JOISTS MUST BE MECHANICALLY FASTENED TO THE SUPPORTING MEMBER WITH TWO 82mm (3-1/4") NAILS.
 - BRIDGING SHALL CONSIST OF 19 X 64 (1"x3") CROSS BRIDGING, 38 X 38 (2"x2") CROSS BRIDGING OR SOLID BLOCKING THE SAME DIMENSION AS THE SUPPORTED FLOOR JOISTS.
 - BRIDGING SHALL BE LOCATED NOT MORE THAN 2100 (6'-11") FROM EACH SUPPORT OR OTHER ROWS OF BRIDGING.
 - BRIDGING SHALL BE FASTENED WITH TWO 57mm (2-1/4") NAILS AT EACH END.
- DECKING
 - DECKING SHALL CONSIST OF SOLID LUMBER AT LEAST 25.4 mm (1") THICK WHEN JOISTS ARE SPACED 400mm (16") OR LESS AND AT LEAST 38 mm (1 ½") WHEN JOISTS ARE SPACED 600mm (24"). WHEN DECKING IS INSTALLED AT AN ANGLE, JOIST SPACING SHALL BE REDUCED FROM 400mm (16") TO 300mm (12") AND FROM 600mm (24") TO 400mm (16").
- FASTENERS
 - ALL FASTENERS USED MUST BE PROPERLY TREATED/COATED TO PREVENT CORROSION.
 - EQUIVALENT SCREWS MAY BE USED IN LIEU OF NAILS.
- STAIRS
 - STAIRS SHALL CONFORM TO SECTION 9.8 OF THE ONTARIO BUILDING CODE.
 - STAIR WIDTH SHALL NOT EXCEED 1200mm WHEN RISERS SUPPORT THE FRONT OF TREADS UNLESS TREADS DESIGNED FOR WIDER SPACING.
 - THICKNESS OF TREADS SHALL BE MIN. 1" WHEN RISERS SUPPORT THE FRONT OF TREADS AND 38mm WHEN TREADS UNSUPPORTED AT FRONT AND DISTANCE BETWEEN STRINGERS IS NO GREATER THAN 750mm.
 - MAX. HEIGHT OF RISERS SHALL BE 200mm OR 7 7/8".
- GUARDS AND RAILINGS:
 - INSTALL GLAZED GUARDS AND RAILING AS PER MANUFACTURE'S SPECIFICATIONS
 - MINIMUM HEIGHT OF GUARD RAILS MUST BE 1070mm.
 - GUARDS SHALL HAVE NO OPENING GRATER THAN 100mm OR FACILITATE CLIMBING BETWEEN 150-1070mm.

General Notes



No.	Revision/Issue	Date

Firm Name and Address

 **NuCon**
ENGINEERING
10-589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

Project Name and Address

34 ABIGAIL GRACE CRES
BRAMPTON ON L6X 5R2

Project

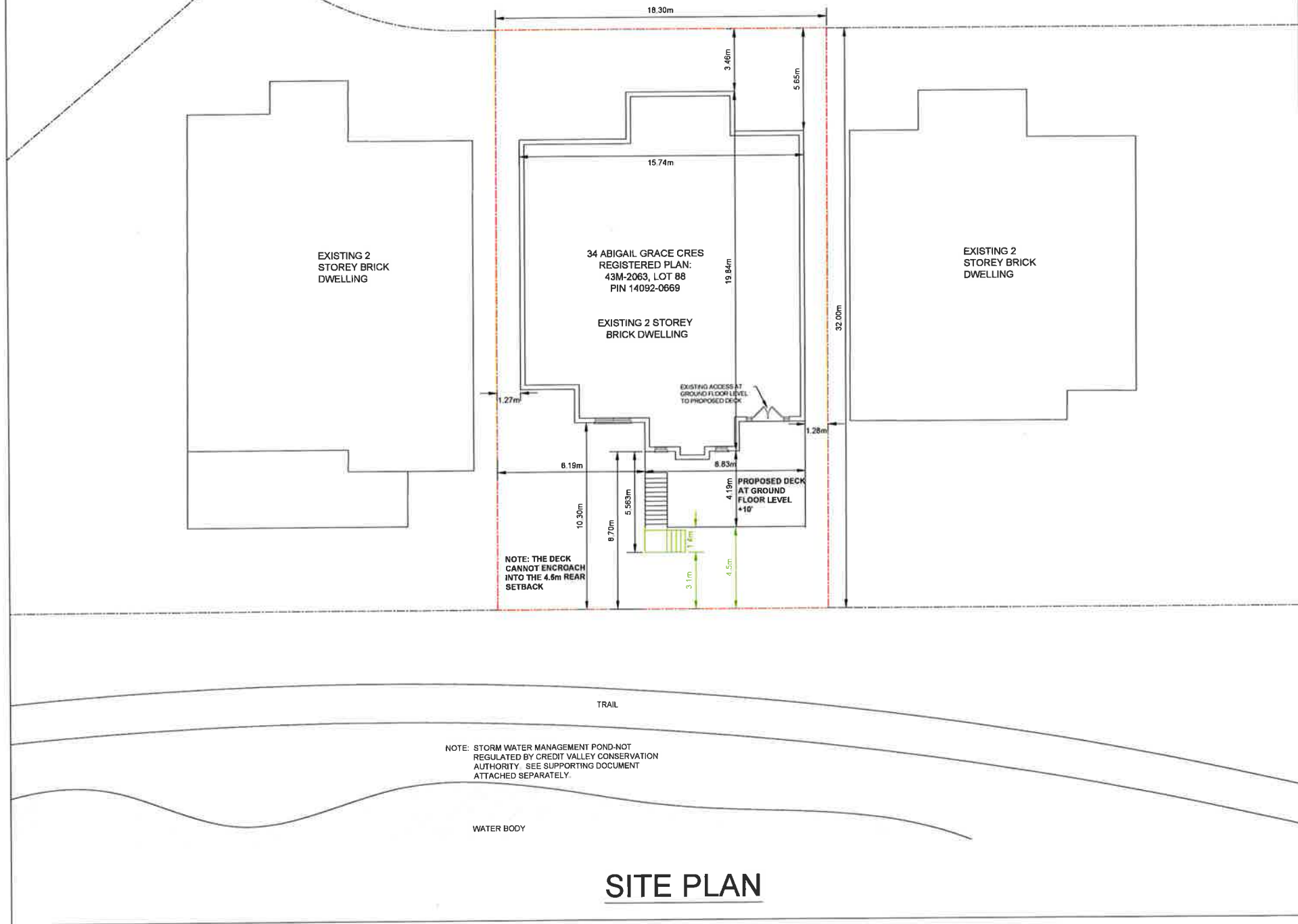
Date

Scale

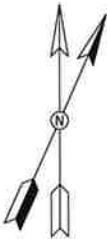
Sheet

A101

ABIGAIL GRACE CRES



General Notes



No.	Revision/Issue	Date

Firm Name and Address

NuCon
ENGINEERING

10-589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

Project Name and Address

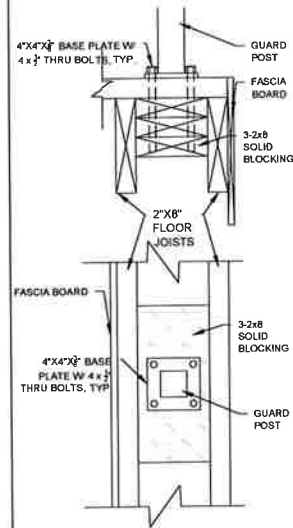
34 ABIGAIL GRACE CRES
BRAMPTON ON L6X 5R2

Project	Sheet
Date	A102
Scale	1/8" = 1'-0"

TRIBUTARY AREA CALCULATION-6X6 POST

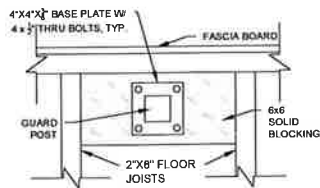
DEAD LOAD (DL) = 15 psf (0.72 kPa)
LIVE LOAD (LL) = 40 psf (1.92 kPa)
SNOW LOAD (SL) = 30.1 psf (1.45 kPa)

COMPRESSIVE RESISTANCE OF 6X6 POST, $P_r = 10550$ lbs
MAXIMUM FACTORED LOAD ON POST = 7,880 lbs (1.25 DL + 1.50 LL + 0.50 SL)



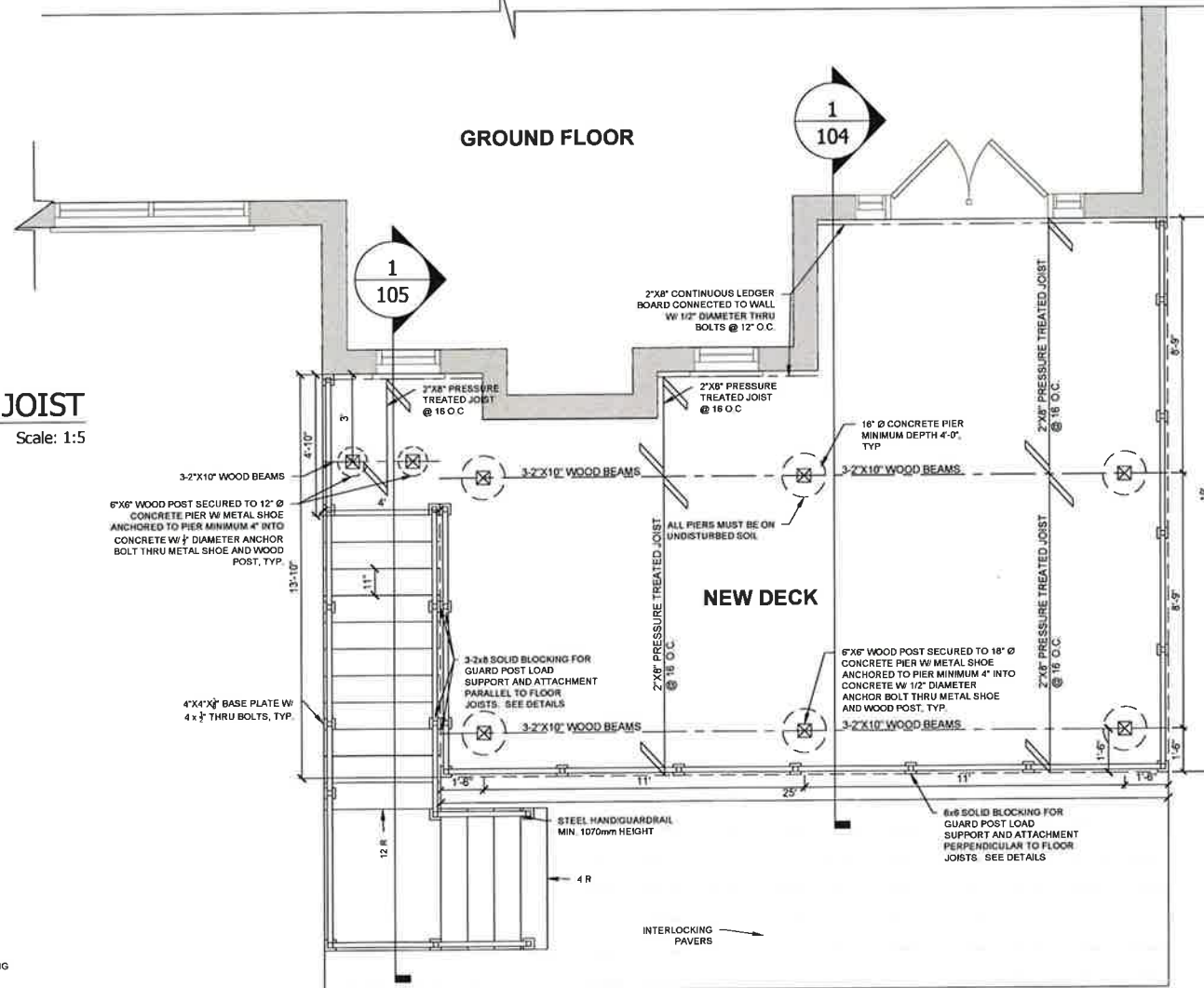
3 BLOCKING PARALLEL TO JOIST

Scale: 1:5



2 BLOCKING PERPENDICULAR TO JOIST

Scale: 1:5



1 DECK FOUNDATION PLAN

Scale: 1:25

General Notes



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10-589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

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34 ABIGAIL GRACE CRES
BRAMPTON ON L6X 5R2

Project	Sheet
Date	A103
Scale	



1. STAIRS, HANDRAILS AND GUARDRAILS MUST BE BUILT ACCORDING TO O.B.C. 9.8.
2. RISE SHALL BE MAX. 200mm OR $7\frac{7}{8}$
3. THE HEIGHT OF HANDRAILS SHALL BE BETWEEN 865-1070mm
4. HANDRAILS MUST BE ON AT LEAST ONE SIDES AND BE GRASPABLE AND CONTINUES ALONG THEIR ENTIRE LENGTH AND HAVE CIRCULAR CROSS-SECTION SHAPE WITH OUTSIDE DIAMETER BETWEEN 30-40mm.
5. MINIMUM CLEARANCE BETWEEN GUARDRAILS AND HANDRAILS SHALL BE 50mm.
6. HANDRAILS AND IT'S SUPPORT SHALL WITHSTAND LOADING VALUES OBTAINED FROM THE NON-CONCURRENT APPLICATION OF A CONCENTRATED LOAD NOT LESS THAN 0.9KN APPLIED AT ANY POINT AND IN ANY DIRECTION FOR ALL HANDRAILS AND A UNIFORM LOAD NOT LESS THAN 0.7 kN APPLIED IN ANY DIRECTION TO THE HANDRAIL.
7. GUARDRAILS MUST BE 1070mm MEASURED VERTICALLY TO THE TOP OF GUARD FROM THE LEADING EDGE OF TREAD SURFACE.
8. GLASS IN GUARDS SHALL BE,
 - A) SAFETY GLASS OF THE LAMINATED OR TEMPERED TYPE CONFORMING TO CAN/CGSB-12.1-M, "TEMPERED OR LAMINATED SAFETY GLASS", OR
 - B) WIRED GLASS CONFORMING TO CAN/CGSB-12.11-M, "WIRED SAFETY GLASS".
9. WOODEN STAIR STRINGERS SHALL,
 - A) HAVE A MINIMUM EFFECTIVE DEPTH OF 90 MM, MEASURED PERPENDICULARLY TO THE BOTTOM OF THE STRINGER AT THE POINT OF MINIMUM CROSS-SECTION, AND AN OVERALL DEPTH OF NOT LESS THAN 235 MM,
 - B) BE SUPPORTED AND SECURED TOP AND BOTTOM,
 - C) BE NOT LESS THAN 25 MM ACTUAL THICKNESS IF SUPPORTED ALONG THEIR LENGTH AND 38 MM ACTUAL THICKNESS IF UNSUPPORTED ALONG THEIR LENGTH, AND
 - D) EXCEPT AS PERMITTED IN SENTENCE 11, BE SPACED NOT MORE THAN 900 MM O.C. FOR STAIRS SERVING A HOUSE
11. FOR STAIRS SERVING A HOUSE, WHERE RISERS SUPPORT THE FRONT PORTION OF THE TREAD, THE SPACE BETWEEN STRINGERS SHALL BE NOT MORE THAN 1 200 MM.
12. STAIR TREADS OF LUMBER, PLYWOOD OR O-2 GRADE OSB WITHIN DWELLING UNITS SHALL BE NOT LESS THAN 25 MM ACTUAL THICKNESS, EXCEPT THAT IF OPEN RISERS ARE USED AND THE DISTANCE BETWEEN STRINGERS EXCEEDS 750 MM, THE TREADS SHALL BE NOT LESS THAN 38 MM ACTUAL THICKNESS.

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10-589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

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34 ABIGAIL GRACE CRES
BRAMPTON ON L6X 5R2

Project	Sheet A105
Date	
Scale	

SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOTS 87 AND 88
PLAN 43M-2063
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

10m 5m 0 10m 20metres

R-PE SURVEYING LTD., O.L.S.

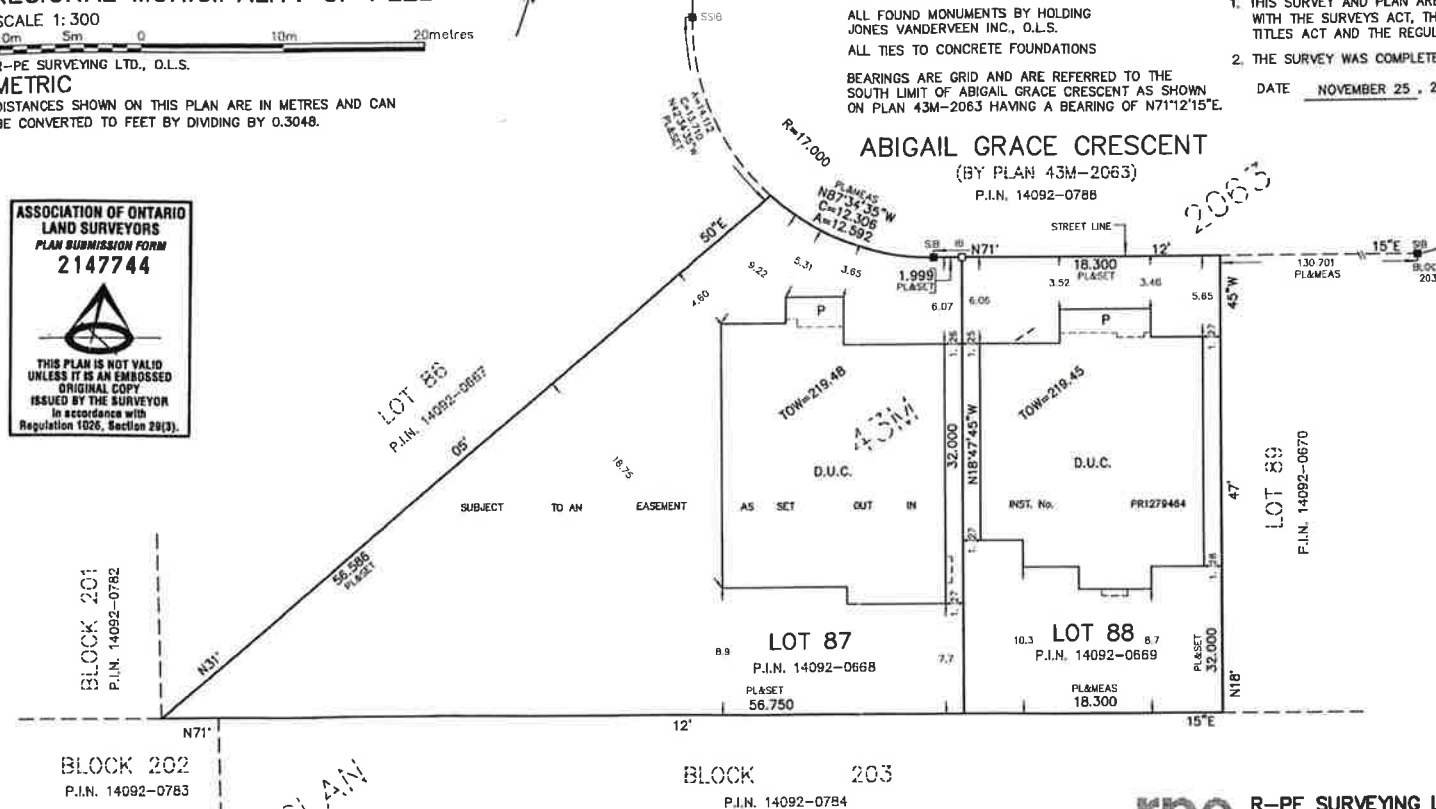
METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

**ASSOCIATION OF ONTARIO
LAND SURVEYORS**
PLAN SUBMISSION FORM
2147744



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
in accordance with
Regulation 1026, Section 29(3).



NOTES

- DENOTES MONUMENT SET
- DENOTES MONUMENT FOUND
- IB DENOTES IRON BAR
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- PL DENOTES PLAN 43M-2063
- P DENOTES PORCH
- TOW DENOTES TOP OF WALL ELEVATION

ALL FOUND MONUMENTS BY HOLDING
JONES VANDERVEEN INC., O.L.S.
ALL TIES TO CONCRETE FOUNDATIONS

BEARINGS ARE GRID AND ARE REFERRED TO THE
SOUTH LIMIT OF ABIGAIL GRACE CRESCENT AS SHOWN
ON PLAN 43M-2063 HAVING A BEARING OF N71°12'15"E.

ABIGAIL GRACE CRESCENT
(BY PLAN 43M-2063)
P.I.N. 14092-0788

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: LOTS 87 & 88
ARE SUBJECT TO AN EASEMENT AS SET OUT IN INST. No. PR1279464
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND
TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 2nd DAY OF NOVEMBER, 2020.

DATE NOVEMBER 25, 2020.

T. SINGH
ONTARIO LAND SURVEYOR

THIS REPORT WAS PREPARED FOR
COUNTRYWIDE HOMES
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY OTHER PARTIES

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rpe

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ONTARIO LAND SURVEYORS
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Tel. (905)264-0881 Fax (905)264-2099
Website: www.r-pe.ca
DRAWN: V.K. CHECKED: G.Y./T.S.
CAD FILE No. 2063-87 JOB No. 20-125

20-125 *43M-2063 L87+88*



General Notes

No.	Revision/Issue	Date

Firm Name and Address

**NuCon
ENGINEERING**

10-589 MIDDLEFIELD ROAD
SCARBOROUGH, ON M1V 4Y6

Project Name and Address

34 ABIGAIL GRACE CRES
BRAMPTON ON L6X 5R2

Project	Sheet
	A106
Date	
Scale	



Nanthan Rajadurai <nanthan@nuconengineering.com>

RE: Property Inquiry to 34 and 36 Abigail Grace
2 messages

Bhatt, Stuti <stuti.bhatt@cvc.ca>
To: "Nanthan@nuconengineering.com" <Nanthan@nuconengineering.com>
Cc: "vermu@nuconengineering.com" <vermu@nuconengineering.com>

Wed, Jul 27, 2022 at 2:33 PM

Hi Nanthan,

Thanks for your inquiry.

We have checked our Upon reviewing our mapping and the documents you provided in regards to your property at to 34 and 36 Abigail Grace Cres in Brampton, we can provide the following comments.

The subject property does not contain any flood plains, watercourses, shorelines, wetlands, valley slopes or other environmental features of interest to Credit Valley Conservation (CVC). The subject property abuts a storm water management pond which is not regulated by CVC. Furthermore, the property is not subject to Ontario Regulation 160/06, (the Development, Interference with Wetlands and Alteration to Shorelines & Watercourses Regulation) or to the policies of the CVC at this time. On this basis, a CVC permit is not required for development on the site.

If you have any further questions, please do not hesitate to contact me.

Thanks,

Stuti Bhatt
Planning Technician, Planning and Development Services | Credit Valley Conservation
905-670-1615 ext 350 | M: 437-221-3614
stuti.bhatt@cvc.ca | cvc.ca



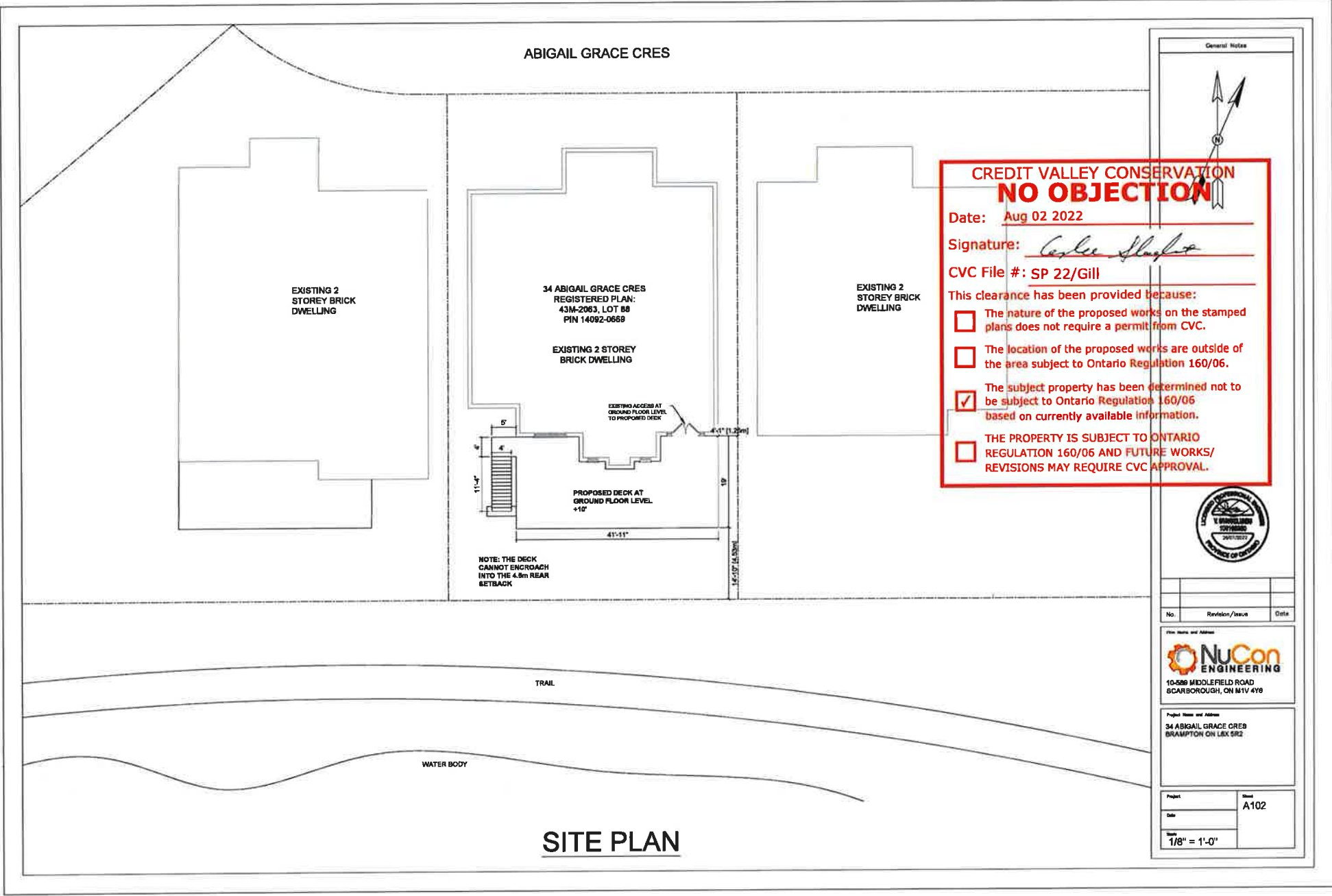
Nanthan Rajadurai <Nanthan@nuconengineering.com>
To: "Bhatt, Stuti" <stuti.bhatt@cvc.ca>, Amanda dickie@brampton.ca
Cc: "vermu@nuconengineering.com" <vermu@nuconengineering.com>

Wed, Jul 27, 2022 at 2:55 PM

Thank you for the information Stuti. We will contact the City of Brampton and let them know. Thank you very much for your clarification.
[Quoted text hidden]

Regards,

Nantharuban Rajadurai
Architectural Technologist
NuCon Engineering Inc.









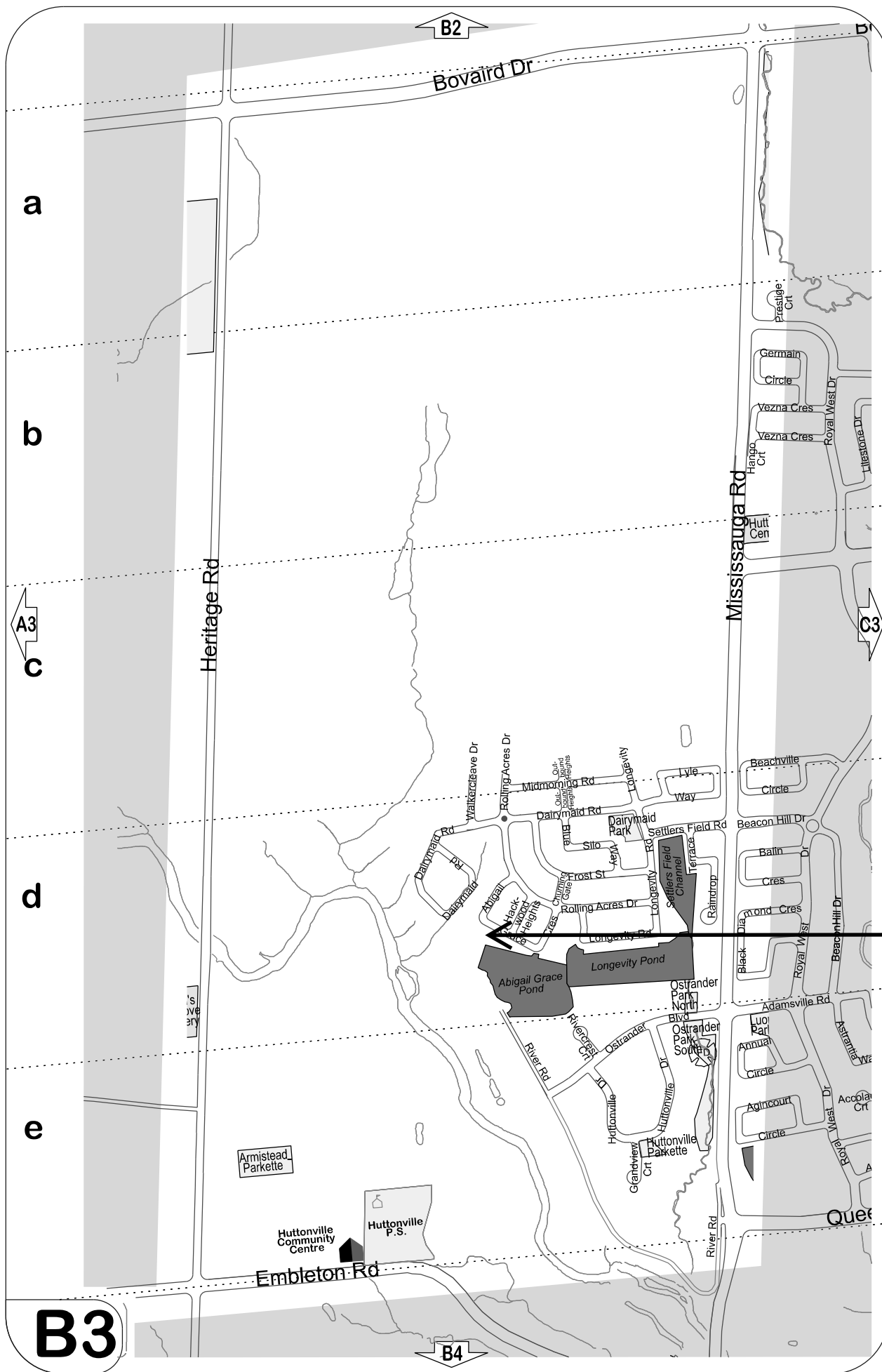












A-2023-0063