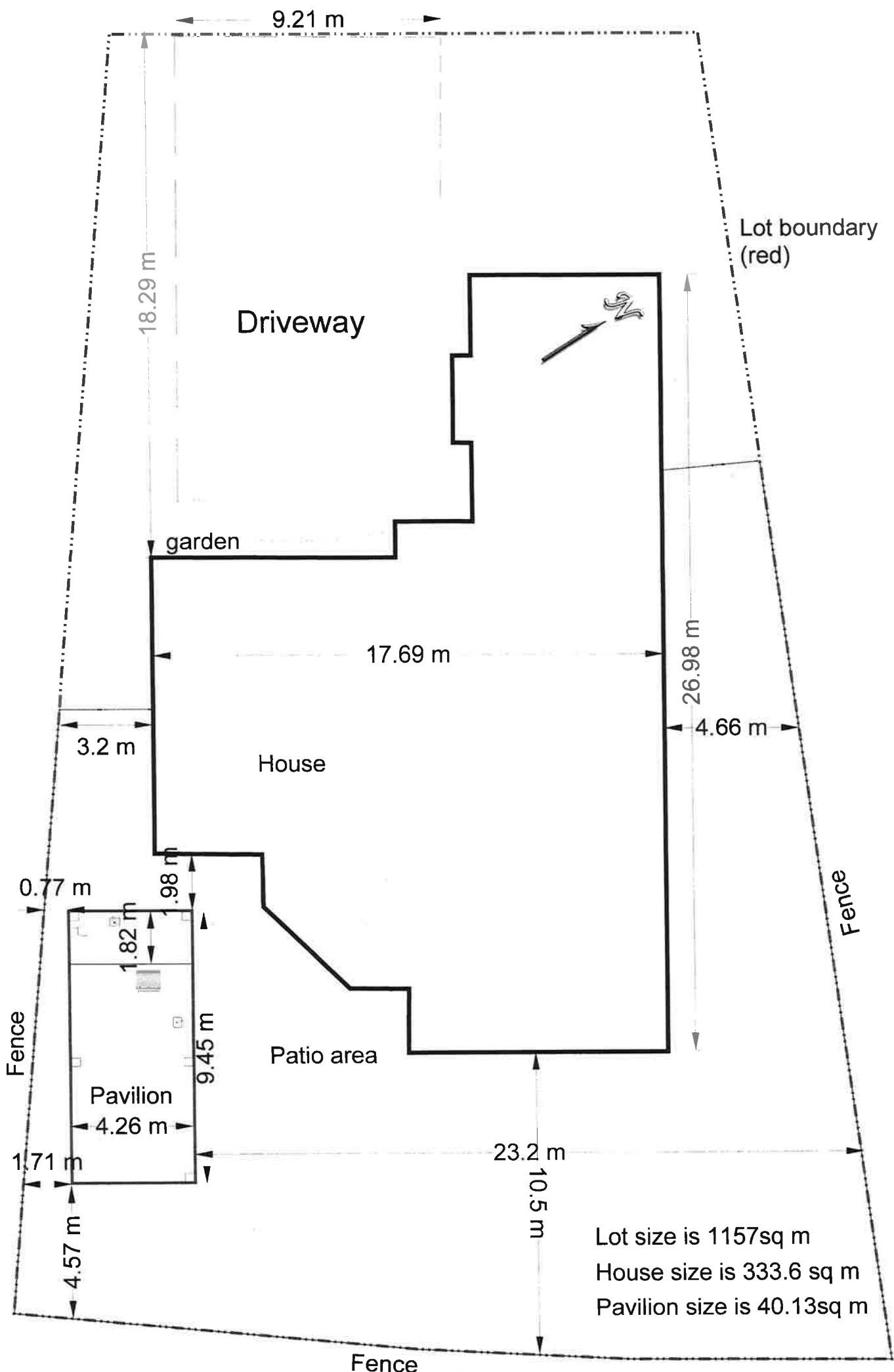




APPLICATION # A-2023-0062
WARD #4

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca



Lot placement of Links Lane pavilion

Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

A-2023-00 62



January 16, 2023

To Whom it May Concern,

Please find attached a completed Application for a Minor Variance or Special Permission for the following property:

31 Links Lane
Brampton, ON

Thank you,

A handwritten signature in black ink, appearing to read 'Chris Kotowicz', is located below the 'Thank you,' text.

Christopher A. Kotowicz
Clearkut Landscaping Inc.
416-617-7469
clearkutlandscaping@gamil.com

Flower City



brampton.ca

FILE NUMBER: A-2023-0062

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission
(Please read Instructions)

NOTE: It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1. Name of Owner(s) DAVID CLOUTIER
Address 31 LINKS LANE
BRAMPTON, ONTARIO
L6Y 5H2
Phone # (416) 767-3010 Fax # _____
Email dcloutie@kelustech.com
2. Name of Agent Chris Kufowicz / Clear Kut Landscaping Inc
Address 13442 22nd Ave Rd Georgetown ON L1G 4S4
Phone # 416-617-7469 Fax # N/A
Email ClearKutLandscaping@gmail.com
3. Nature and extent of relief applied for (variances requested):
1) To permit an accessory structure having
area of 40.13 square metres
2) To permit an accessory building to be used as
habitable space (installation of a washroom)
4. Why is it not possible to comply with the provisions of the by-law?
The Proposed Pavilion is 40.13 sqm
Proposed toilet and sink
5. Legal Description of the subject land:
Lot Number 38 R# 10-08-0-012-40120-0000
Plan Number/Concession Number PLM1379 LOT 38
Municipal Address 31 Links Lane Brampton ON L6Y 5H2
6. Dimension of subject land (in metric units)
Frontage 9.21 M
Depth 16.56 M
Area 157 Sq. M
7. Access to the subject land is by:
Provincial Highway ☐
Municipal Road Maintained All Year ☒
Private Right-of-Way ☐
Seasonal Road ☐
Other Public Road ☐
Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

Home

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

290 sq m Only
Kungahaw - 322.6 sq m

PROPOSED BUILDINGS/STRUCTURES on the subject land:

New

14x31 Pavilion 40.32 m²

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback
Rear yard setback
Side yard setback
Side yard setback

18.29 M
10.5 M
North side 4.66 M
South side 3.2 M

PROPOSED

Front yard setback
Rear yard setback
Side yard setback
Side yard setback

30.5 M
4.97 M
North side 23.2 M
South side 27 M

10. Date of Acquisition of subject land: November 2020
11. Existing uses of subject property: Residential
12. Proposed uses of subject property: Residential
13. Existing uses of abutting properties: Residential
14. Date of construction of all buildings & structures on subject land: 2003
15. Length of time the existing uses of the subject property have been continued: 10 years
16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☒
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☐

If answer is yes, provide details:

File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton

THIS 11 DAY OF January, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Chris Klotz OF THE Town OF Georgetown
IN THE Region OF Halton SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF

Paul THIS 25th DAY OF

Feb., 2023

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Commissioner etc.

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

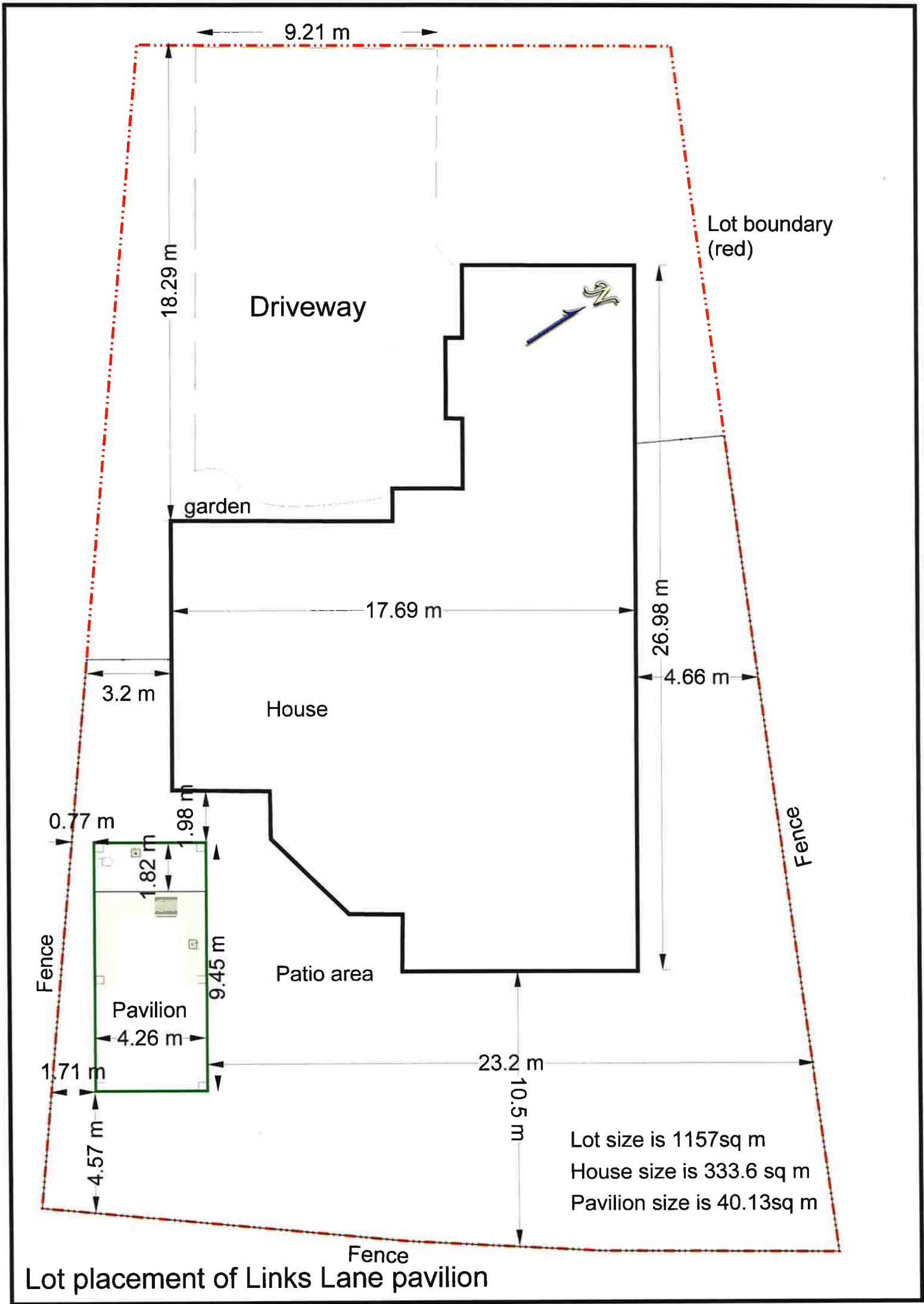
Present Zoning By-law Classification: _____

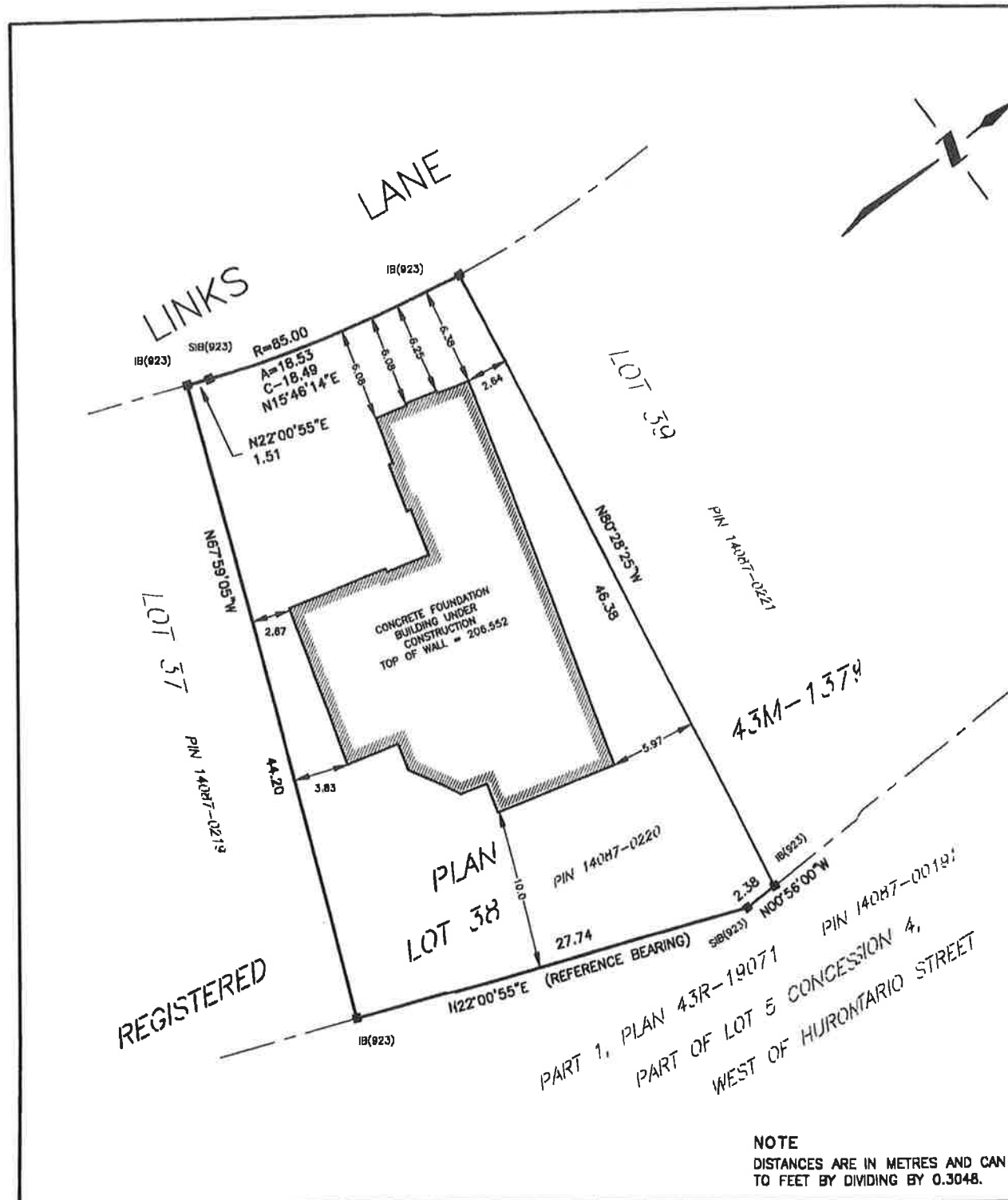
This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED Feb. 23, 2023





SURVEYOR'S REAL PROPERTY REPORT
 PART I
 PLAN OF
LOT 38
REGISTERED PLAN 43M-1379
 CITY OF BRAMPTON
 REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

TARASICK, McMILLAN LIMITED
 ONTARIO LAND SURVEYORS
 © COPYRIGHT 2001

NOTE
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF LOT 38 AS SHOWN ON REGISTERED PLAN 43M-1379 HAVING A BEARING OF N22°00'55"E

■ DENOTES SURVEY MONUMENT FOUND
 □ DENOTES SURVEY MONUMENT SET
 SIB DENOTES STANDARD IRON BAR
 IB DENOTES IRON BAR
 MEAS. DENOTES MEASURED
 RP DENOTES REGISTERED PLAN

PART 2
 LOCATION: Lot 38, Registered Plan 43M-1379
 City of Brampton, Regional Municipality of Peel,
 Links Lane

SUBJECT TO: there are no easements apparent on title

COMMENTS: at the time of this survey the buildings were under construction.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THE SURVEY WAS COMPLETED ON FEBRUARY 7, 2001

DATE March 8th 2001
 JOHN McMILLAN
 ONTARIO LAND SURVEYOR

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
1340561

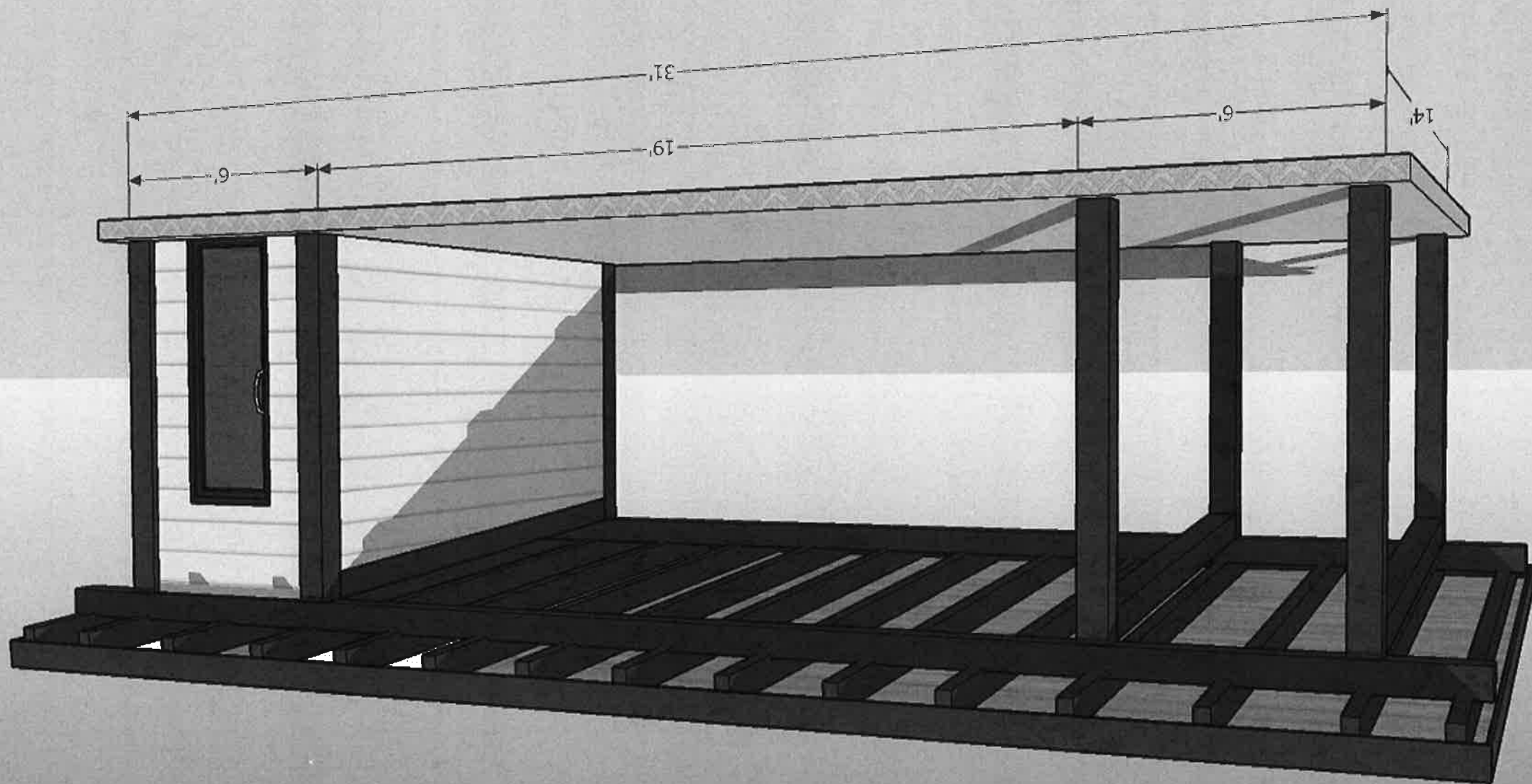
THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 in accordance with
 Regulation 1026, Section 29(3).

TARASICK, McMILLAN LIMITED
 ONTARIO LAND SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42
 MISSISSAUGA, ONTARIO L5L 5R2
 TEL: (905) 589-8848
 FAX: (905) 589-3160

DRAWN BY: P.N. FILE No. 573-38

NOTE
 DISTANCES ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.





A-2023-0062

C4