

Public Notice

Committee of Adjustment
APPLICATION # A-2023-0062
WARD #4

APPLICATION FOR MINOR VARIANCE

WHEREAS an application for minor variance has been made by **DAVID CLOUTIER** under Section 45 of the <u>Planning Act</u>, (R.S.O. 1990 c.P.13) for relief from **By-law 270-2004**;

AND WHEREAS the property involved in this application is described as Lot 38, Plan 43M-1379 municipally known as **31 LINKS LANE**, Brampton;

AND WHEREAS the applicant is requesting the following variance(s):

- 1. To permit an accessory structure (gazebo) having a gross floor area of 40.26 sq. m (433.36 sq. ft.) whereas the by-law permits a maximum gross floor area of 15 sq. m (161.46 sq. ft.) for an individual accessory structure;
- 2. To permit habitable space within an accessory structure (installation of a washroom) whereas the by-law does not permit habitable space within an accessory structure.

OTHER PLANNING APPLICATIONS:

| The land which is subject of | this application | is the subject of an application under the Planning Act for: |
|------------------------------|------------------|--|
| Plan of Subdivision: | NO | File Number: |
| Application for Consent: | NO | File Number: |
| | | |

The Committee of Adjustment has appointed **TUESDAY**, **March 28**, **2023 at 9:00 A.M. by electronic meeting broadcast from the Council Chambers**, **4th Floor**, **City Hall**, **2 Wellington Street West**, **Brampton**, for the purpose of hearing all parties interested in supporting or opposing these applications.

This notice is sent to you because you are either the applicant, a representative/agent of the applicant, a person having an interest in the property or an owner of a neighbouring property. OWNERS ARE REQUESTED TO ENSURE THAT THEIR TENANTS ARE NOTIFIED OF THIS APPLICATION. THIS NOTICE IS TO BE POSTED BY THE OWNER OF ANY LAND THAT CONTAINS SEVEN OR MORE RESIDENTIAL UNITS IN A LOCATION THAT IS VISIBLE TO ALL OF THE RESIDENTS. If you are not the applicant and you do not participate in the hearing, the Committee may proceed in your absence, and you will not be entitled to any further notice in the proceedings. WRITTEN SUBMISSIONS MAY BE SENT TO THE SECRETARY-TREASURER AT THE ADDRESS OR FAX NUMBER LISTED BELOW.

IF YOU WISH TO BE NOTIFIED OF THE DECISION OF THE COMMITTEE OF ADJUSTMENT IN RESPECT OF THIS APPLICATION, YOU MUST SUBMIT A WRITTEN REQUEST TO THE COMMITTEE OF ADJUSTMENT. This will also entitle you to be advised of an Ontario Land Tribunal hearing. Even if you are the successful party, you should request a copy of the decision since the Committee of Adjustment decision may be appealed to the Ontario Land Tribunal by the applicant, the Minister, a specified person or a public body.

RULES OF PROCEDURE OF THIS COMMITTEE REQUIRE REPRESENTATION OF THE APPLICATION AT THE HEARING, OTHERWISE THE APPLICATION SHALL BE DEFERRED.

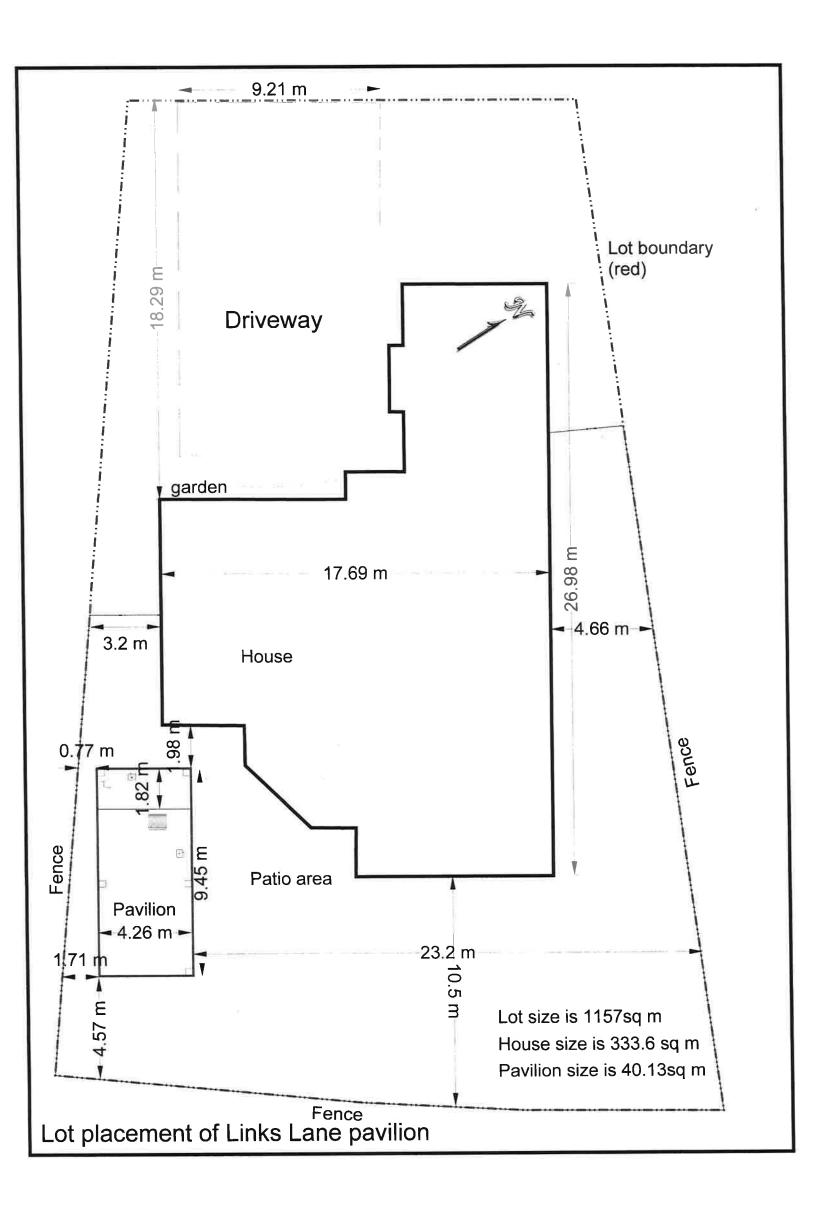
PLEASE SEE ATTACHED PARTICIPATION PROCEDURES REQUIRED DURING THE COVID-19 PANDEMIC

DATED at Brampton Ontario, this this 16th Day of March, 2023.

Comments may be sent to and more information about this matter may be obtained between 8:30 a.m. to 4:30 p.m. Monday - Friday from:

Jeanie Myers, Secretary-Treasurer Committee of Adjustment, City Clerk's Office, Brampton City Hall, 2 Wellington Street West, Brampton, Ontario L6Y 4R2

Phone: (905)874-2117 Fax: (905)874-2119 jeanie.myers@brampton.ca





Under the authority of the Emergency *Management and Civil Protection Act* and the *Municipal Act, 2001*, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both inperson and electronically).

Electronic/Hybrid Hearing Procedures How to get involved in the Hybrid Hearing

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm**, **Thursday**, **March 23**, **2023**.

- Advance registration for applicants, agents and other interested persons is required by one or two options;
 - Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary-Treasurer at <u>cityclerksoffice@brampton.ca</u> or <u>jeanie.myers@brampton.ca</u> by 4:30 pm Thursday, March 23, 2023.
 - 2. To participate in-person, please email the Secretary—Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by 4:30 pm Thursday, March 23, 2023.
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or inperson. You can register by calling 905-874-2117 and leave a message with your name, phone number and
 the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you
 with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

 All Hearings will be livestreamed on the City of Brampton YouTube account at: https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx or http://video.isilive.ca/brampton/live.html .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act* (*MFIPPA*), collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.



January 16, 2023

To Whom it May Concern,

Please find attached a completed Application for a Minor Variance or Special Permission for the following property:

31 Links Lane Brampton, ON

Thank you,

Christopher A. Kotowicz Clearkut Landscaping Inc. 416-617-7469

clearkutlandscaping@gamil.com

Flower City



FILE NUMBER: A-2023-0062

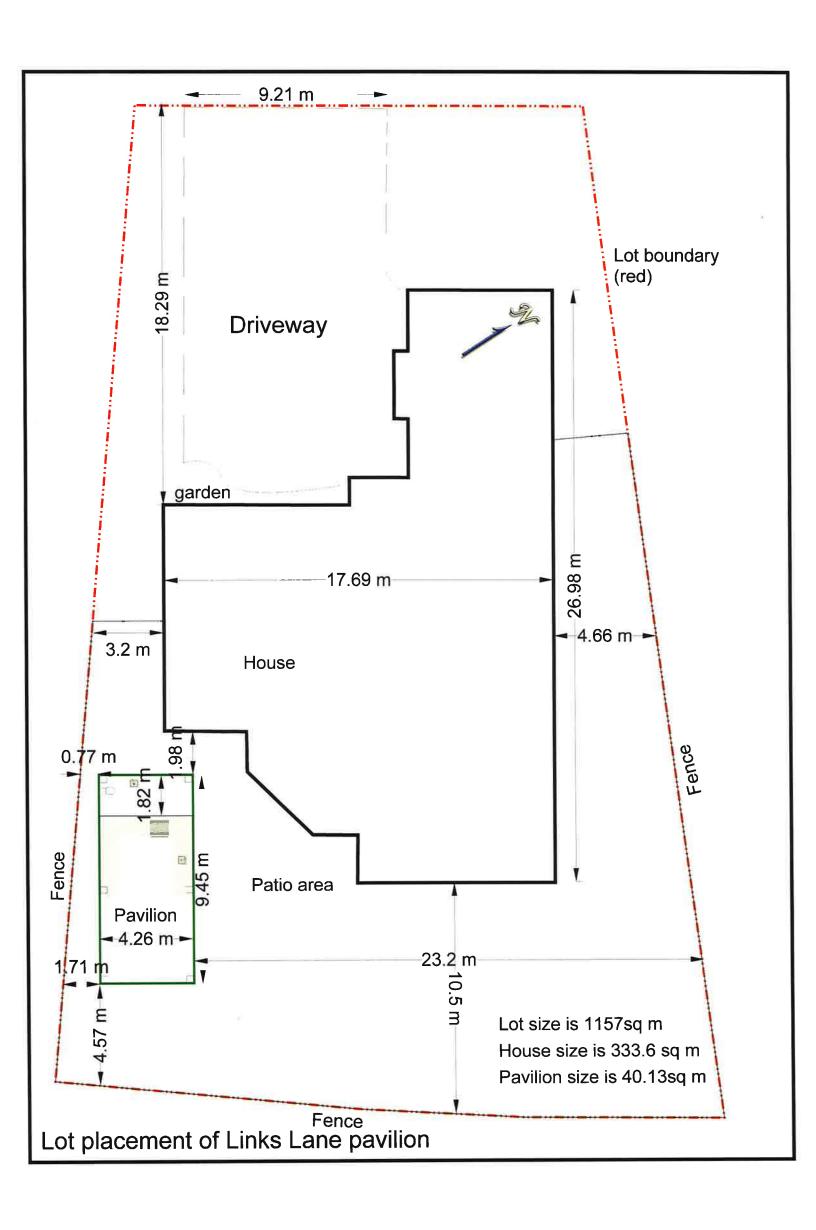
Public information and is available to enter the collected pursuant to section 45 of the Planning Act and will be used in the processing of this application upon request and will be directly a should be directly and is available to enter the committee of adjustment lies is considered and the information and is available to enter the committee of adjustment files is considered to the Secretary-Treatment committee of adjustment. One of the city's website. Questions about the collection of personal information

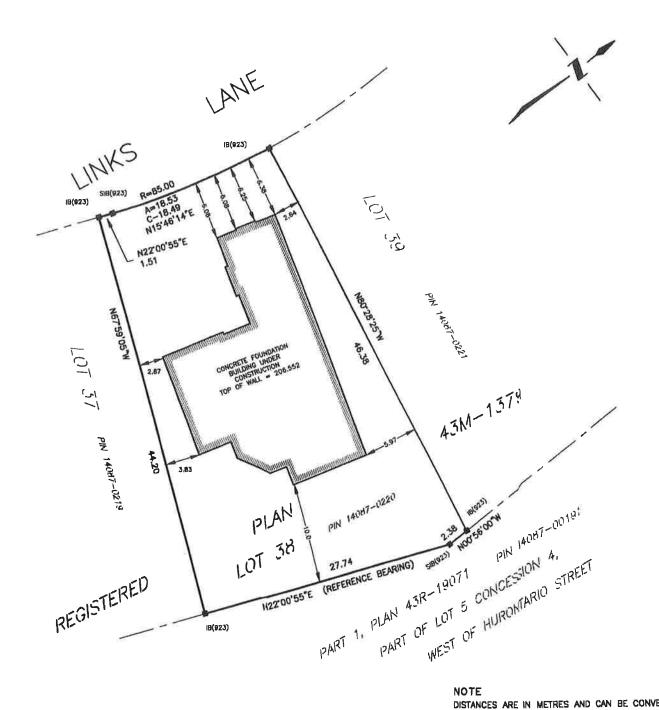
| | APPLICATION |
|-------|---|
| | Minor Variance or Special Permission |
| NOTE: | (Please read Instructions) |
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| | |
| | The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application for the City of Brampton under section 45 of |
| | the Planning Act, 1990, for relief as described in this application from By-Law 270-2004. |
| 1. | Name of Owner(s) DAVID CLASTIFE |
| | Address 31 LINKS LANE |
| | BRAMETEN, ONTARIO |
| | Phone # (416) 707-3010 Fax# |
| | deloutie exelustechican |
| 2. | No. of the first way at the |
| ۷. | Name of Agent Address 124 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 |
| | 13 to see to transcious on 110454 |
| | Phone # 416-617-7469 Fax# N/A- |
| | Fmail |
| | Clearly-land scaping @ gnoil.com |
| 3. | Nature and extent of relief applied for (variances requested): |
| | The termit an accessory struction have |
| | over of 40, 13 Sougre metres |
| | |
| | nabitable space (installation of a lyas according |
| | - The second plants through the transfer of the second |
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| | |
| 4. | Why is it not possible to comply with the provisions of the by-law? |
| ٠. | Tring is it not possible to comply with the provisions of the by-aw? |
| | The Proposed Paullion is 40.13 SM |
| | Proposed . Tolict and sink |
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| | × |
| 5. | Legal Description of the subject land: Lot Number 38 Roff 10-08-0-012-40130-0000 |
| | Lot Number 38 Ko # 10 -05-0-012 - 40130 - 000000000000000000000000000000000 |
| | Municipal Address 31 Links lone Brampton ON LOY 5 H2 |
| | |
| 6. | Dimension of subject land (in metric units) |
| | Frontage 9.21 M |
| | Depth L-0 · 5 6 K |
| | Area |
| | |
| 7. | Access to the subject land is by: Provincial Highway Seasonal Road |
| | Municipal Road Maintained All Year Other Public Road |
| | Private Right-of-Way Water |

| E | storeys, width, length, height, etc., | ructures on or proposed for the subject nd floor area, gross floor area, number of where possible) ubject land: List all structures (dwelling, shed, gazebo, etc.) |
|---|--|---|
| _ | Challen St | ubject land: List all structures (dwelling, shed, gazebo, etc.) |
| _ | 2 Sungalby | - 5322 A SO M |
| | | |
| - | | |
| 1 | PROPOS | |
| | PROPOSED BUILDINGS/STRUCTURES on the | subject land: |
| | 14-X31 Roullion 40.32 | |
| | | -1 |
| | | |
| * | | |
| | Cocation of all buildings and struct (specify distance from side, rear an EXISTING | tures on or proposed for the subject lands: and front lot lines in <u>metric units)</u> |
| | Front yard setback 18, 29 M | |
| | Rear yard setback Side yard setback | 77.17 |
| | Side yard setback Side yard setback | 3 8 |
| | PROPOSED | |
| | Front yard setback 30,5 M | |
| | Rear yard setback Side yard setback | 22.7.0 |
| | Side yard setback | 23.2 M |
| | | |
| | Date of Acquisition of subject land: | Movember 2020 |
| | 5 | |
| | Existing uses of subject property: | Residential |
| | | |
| | | Res Mential |
| | , | Residential |
| | Existing uses of abutting properties: | Keridentical |
| | | |
| | Date of construction of all buildings & struct | tures on subject land: |
| | | |
| | Length of time the existing uses of the subje | ect property have been continued: |
| | a a | |
| | Municipal 🔛 | Other (specify) |
| | Well | |
| | What sewage disposal is/will be provided? | |
| | What sewage dispoșal is/will be provided? | Other (specify) |
| | What sewage dispoşal is/will be provided? Municipal | |

| | | | -3- | | | |
|-----------------------------------|--|---|--|--|--|-----|
| 17. | Is the subject | property the | -2- | er the Planning Act, for | approval of a plan of | |
| | POPULAISION OF | consent? | of an application unde | er the Planning Act, 101 | approvar or a piant | |
| | Yes | No 🖂 | | | | |
| | If answer in | 40 | | | | |
| 18, | is ye | s, provide details: | File# | Status | | |
| 10, | Has a pre-cons | ultation application | | _ | | |
| | Yes | application | been filed? | | | |
| 19. | | No 📝 | | | | |
| | Mas the subjec | t property ever been | the subject of an app | lication for minor varian | re? | |
| | Yes | No IV | | | COT | |
| | lf and | | Unknown [| | | |
| | " answer is ye | s, provide details: | | | | |
| | File# | Decision | | Relief | | |
| | File# | Decision Decision | | Relief | | |
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| | | | 11. | | | |
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| | | Â | Sign | ature of Applicant(s) or Au | uthorized Agent | |
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SURVEYOR'S REAL PROPERTY REPORT PART I PLAN OF LOT 38 REGISTERED PLAN 43M-1379 CITY OF BRAMPTON REGIONAL MUNICIPALITY OF PEEL SCALE 1:300 0 1 2 3 4 8

TARASICK, McMILLAN LIMITED

ONTARIO LAND SURVEYORS © COPYRIGHT 2001

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF LOT 38 AS SHOWN ON REGISTERED PLAN 43M-1379 HAVING A BEARING OF N22*00'55"E

DENOTES SURVEY MONUMENT FOUND DENOTES SURVEY MONUMENT SET DENOTES STANDARD IRON BAR IB DENOTES IRON BAR
MEAS. DENOTES MEASURED
RP DENOTES REGISTERED PLAN

PART 2

LOCATION: Lat 38, Registered Plan 43M-1379
City of Brampton, Regional Municipality of Peel,
Links Lane

SUBJECT TO: there are no easements apparent an title

COMMENTS: at the time of this survey the buildings were under construction.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
I. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON FEBRUARY 7, 2001

JOHN MCMILL'AN DATE ONTARIO LAND SURVEYOR **ASSOCIATION OF ONTARIO** LAND SURVEYORS PLAN SUBMISSION FORM 1340561



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3).

ONTARIO

LAND

SURVEYORS

4181 SLADEVIEW CRESCENT, UNIT 42 MISSISSAUGA , ONTARIO L5L 5R2 TEL: (905)589-8849 FAX: (905)589-3160

DIAWN BY: P.N.

FILE No. 573-38

DISTANCES ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

