

Jeanie Myers, Secretary-Treasurer
Committee of Adjustment, City Clerk's Office,
Brampton City Hall, 2 Wellington Street West,
Brampton, Ontario L6Y 4R2
Phone: (905)874-2117
Fax: (905)874-2119
jeanie.myers@brampton.ca


METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE
(GOREN'S SEAL)

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORD
WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND
REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 17th DAY OF
JUNE, 2022.

JUNE 20, 2022
DATE


JASON WHELAN
ONTAPIO LAND SURVEYOR



LEGEND Continued

3C	DENOTES	BOTTOM OF CURB
CT	==	TOP OF CURB
TC	==	CONIFEROUS TREE
DT	==	DECIDUOUS TREE
MH	==	MANHOLE
T.R.E.	==	TOP OF ROOF ELEVATION

ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE NAEDS-CRS3 COORDINATE SYSTEM DERIVED FROM THE GLOBAL POSITIONING SYSTEM OBSERVATIONS.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH-EAST LIMIT OF SOUTHERD ROAD NORTH, HAVING A BEARING OF N00°45'W ACCORDING TO REGISTERED PLAN 889.

PART 2 – SURVEY REPORT

1) PLEASE NOTE LOCATION OF FENCES, PLANTED POSTS AND CONCRETE CURB

2) REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY

3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

GTA
Greater Toronto Area
SURVEYING Inc.

7003 Steeles Ave. West, Unit 12, Toronto ON M3J 1K7
Tel: (416) 579-0572
E-MAIL: js@gtasurveying.ca

Under the authority of the Emergency Management and Civil Protection Act and the Municipal Act, 2001, City Council approved Committee Meetings to be held electronically and/or as a hybrid meeting (both in-person and electronically).

**Electronic/Hybrid Hearing Procedures
How to get involved in the Hybrid Hearing**

As the pandemic has waned, Brampton City Hall is currently lifting in-person attendance restrictions due to the COVID pandemic. In-person attendance at Committee of Adjustment Hearings is now available at this time, along with a virtual participation option. Brampton City Council and its Committees will continue to meet electronically and in-person. For the **March 28, 2023** hearing, the Committee of Adjustment will conduct its meeting with concurrent electronic and in-person attendance.

How to Participate in the Hearing:

All written comments (by mail or email) must be received by the Secretary-Treasurer no later than **4:30 pm, Thursday, March 23, 2023.**

- Advance registration for applicants, agents and other interested persons is required by one or two options:
 1. Participate remotely in the electronic hearing using a computer, smartphone or tablet by emailing the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
 2. To participate in-person, please email the Secretary–Treasurer at cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca by **4:30 pm Thursday, March 23, 2023.**
- Persons without access to a computer, smartphone or tablet can participate in a meeting via telephone or in-person. You can register by calling 905-874-2117 and leave a message with your name, phone number and the application you wish to speak to by **Thursday, March 23, 2023.** City staff will contact you and provide you with further details.

You will be contacted by the City Clerk's Office before the hearing date to confirm your attendance. Confirmation of in-person attendance will be subject to any in-person capacity limits that may be in place for Council Chambers at City Hall and prevailing public health orders and guidance.

- All Hearings will be livestreamed on the City of Brampton YouTube account at:
<https://www.brampton.ca/EN/City-Hall/meetings-agendas/Pages/Welcome.aspx> or
<http://video.isilive.ca/brampton/live.html> .

If holding an electronic/hybrid rather than an oral hearing is likely to cause a party significant prejudice a written request may be made to have the Committee consider holding an oral hearing on an application at some future date. The request must include your name, address, contact information, and the reasons for prejudice and must be received no later than 4:30 pm the Friday prior to the hearing to cityclerksoffice@brampton.ca or jeanie.myers@brampton.ca. If a party does not submit a request and does not participate in the hearing, the Committee may proceed without a party's participation and the party will not be entitled to any further notice regarding the proceeding.

NOTE Personal information as defined in the *Municipal Freedom of Information and Protection of Privacy Act (MFIPPA)*, collected and recorded or submitted in writing or electronically as related to this planning application is collected under the authority of the *Planning Act*, and will be used by members of the Committee and City of Brampton staff in their review of this matter. Please be advised that your submissions will be part of the public record and will be made available to the public, including posting on the City's website, www.brampton.ca. By providing your information, you acknowledge that all personal information such as the telephone numbers, email addresses and signatures of individuals will be redacted by the Secretary-Treasurer on the on-line posting only. Questions regarding the collection, use and disclosure of personal information may be directed to the Secretary-Treasurer at 905-874-2117.

FILE NUMBER:

A-2023-0042

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE:

It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s) Dante Limbaga, Francis Limbaga

Address 96 Rutherford North Brampton, ON L6V2J2

Phone # 905-301 0148

Fax #

Email danfran_l@yahoo.com

2.

Name of Agent

Address

Phone #

Fax #

Email

3.

Nature and extent of relief applied for (variances requested):

To permit a rear yard setback of 7.49 metres whereas the by-law requires a minimum rear yard setback of 8.48 metres.

To permit a driveway width 7.74 m

4.

Why is it not possible to comply with the provisions of the by-law?

The property is within the Mature Neighbourhood must also comply with section 10.27 of the zoning by-law, and which is minimum Rear Yard Depth: equal to 25% of the depth of the lot or, the minimum rear yard depth required by the zone designation of the lot, whichever is greater. And here section 12.7 is greater.

5.

Legal Description of the subject land:

Lot Number 529

Plan Number/Concession Number RP-889

Municipal Address 96 RUTHERFORD RD N

6.

Dimension of subject land (in metric units)

Frontage 15.24

Depth 33.53

Area 511

7.

Access to the subject land is by:

Provincial Highway ☐

Municipal Road Maintained All Year ☒

Private Right-of-Way ☐

Seasonal Road ☐

Other Public Road ☐

Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

One Single family dwelling unit and has gross area of 111.56m²

PROPOSED BUILDINGS/STRUCTURES on the subject land:

Addition to the existing structure of 29.56m² gross area which equal to 3.28m depth x 8.9m width. The addition structure consists of one storey to match the existing main floor in order to obtain more bedrooms and space

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	4.9
Rear yard setback	16.4
Side yard setback	5.11
Side yard setback	2.92

PROPOSED

Front yard setback	4.9
Rear yard setback	7.5
Side yard setback	5.11
Side yard setback	1.22

10. Date of Acquisition of subject land: June 2013
11. Existing uses of subject property: One single family dwelling unit
12. Proposed uses of subject property: One single family dwelling unit and 2nd dwelling unit at the basement
13. Existing uses of abutting properties: Single family dwelling units
14. Date of construction of all buildings & structures on subject land: 1988
15. Length of time the existing uses of the subject property have been continued: 35 yrs

16. (a) What water supply is existing/proposed?

Municipal ☒ Other (specify) _____
Well ☐

- (b) What sewage disposal is/will be provided?

Municipal ☒ Other (specify) _____
Septic ☐

- (c) What storm drainage system is existing/proposed?

Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE 23rd January OF 2023

THIS 23rd DAY OF January, 2023

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Dante Limbaga, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel THIS 7th DAY OF

February, 2023

Jeanie Myers
A Commissioner etc.

Jeanie Cecilia Myers
a Commissioner, etc.,
Province of Ontario
for the Corporation of the
City of Brampton
Expires April 8, 2024.

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

February 7, 2023

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

Project : 96 Rutherford North Brampton, ON L6V2J2

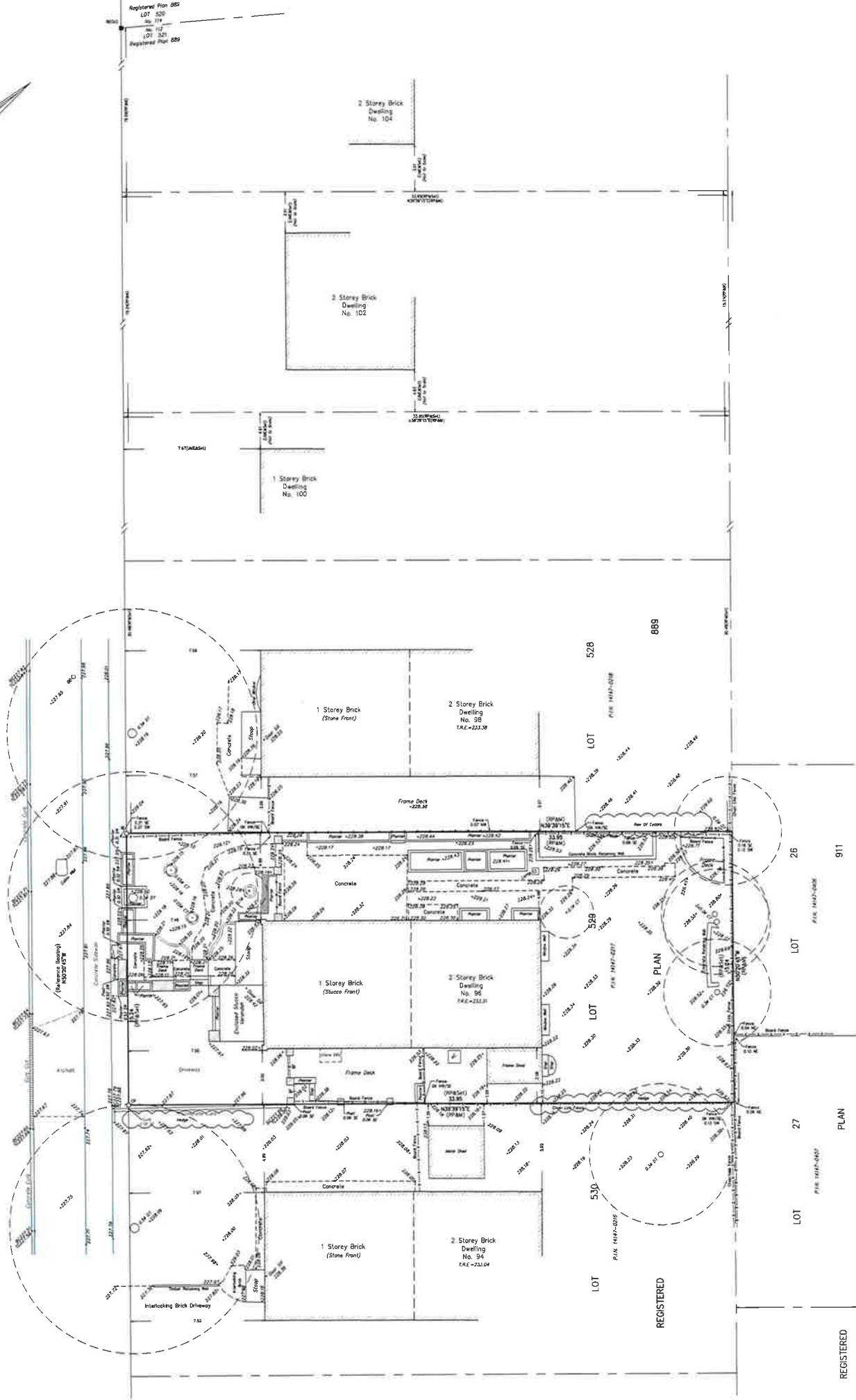
PROPOSED ADDITIONAL & ALTERATION TO
EXISTING ONE STOREY DETACHED
DWELLING UNIT

BUILDING PERMIT



Rev:	Issue Date:	Description:
0	03 / 31 / 2022	Issued for approval
Owner Name & Address:		
Dante Limbaga, email: danfran_j@yahoo.com		
96 Rutherford North Brampton, ON L6V2J2		
Designer:		
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
Wisam Sali		111825
Name		BCIN
Registration information		
Required unless design exempt under section C-3.2.4.1 of the Building Code		
WH Leaders Contracting Inc.		119 716
Firm Name		BCIN
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Cover Sheet		
Designed	Checked:	Date:
WS	WS	03/31/2022
Discipline	Sheet no	Scale:
Architectural	A0 1	1/8"=1'

SURVEYOR'S REAL PROPERTY REPORT - PART 1
PLAN OF SURVEY OF
LOT 529
REGISTERED PLAN 889
CITY of BRAMPTON
Regional Municipality of Peel
SCALE 1:100
GTA SURVEYING INC.
© COPYRIGHT 2023



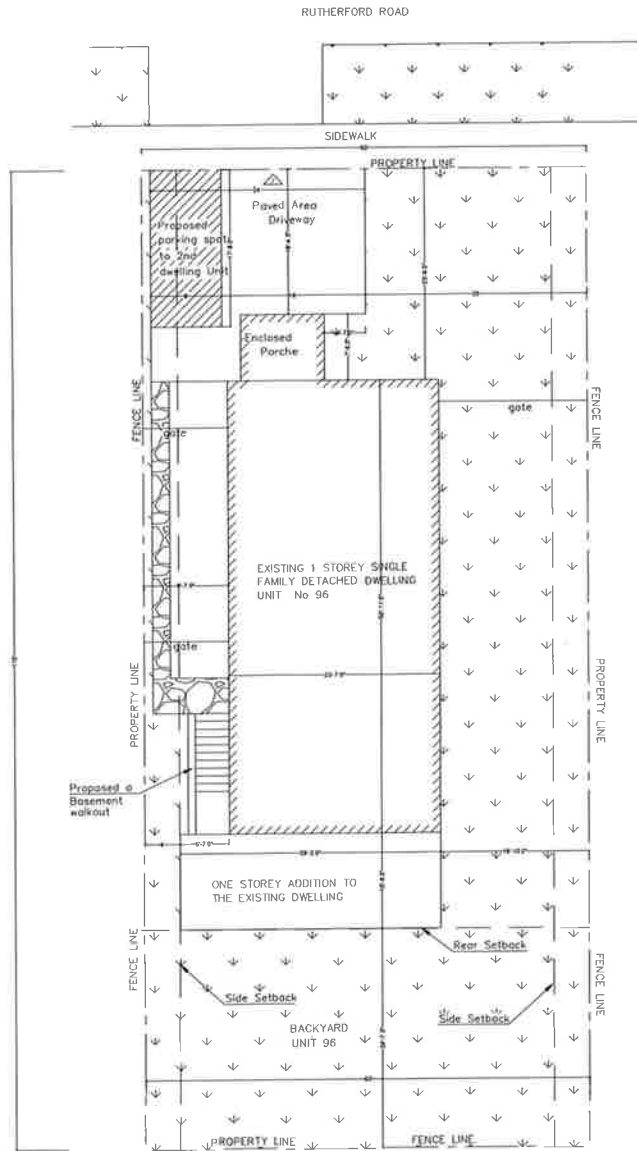
METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 3.048
SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEY ACT, THE SURVEYORS ACT, AND THE
REGULATIONS MADE UNDER THEM.
2. THIS SURVEY WAS COMPLETED ON THE 17th DAY OF
JUNE, 2023.
DATE
GTA SURVEYING INC.
LAND SURVEYOR



LEGEND
D BENCHMARK
S SURVEY MONUMENT SET
R REGISTERED PLAN 889
P PLAN BY DINK, MURPHY
& ESTER, O.L.S.
U UNITS: HORIZONTAL 27, 1870
NORTH-SOUTHEAST
W CONCRETE PAV
M IRON BAR
C CONCRETE
W WITNESS
P PROPERTY IDENTIFIER NUMBER
A AIR CONDITIONER
B BELL BOX

LEGEND Continued
B BOTTOM OF CURB
T TOP OF CURB
C CONCRETE CURB
D CONCRETE DRIVE
M MANHOLE
T TOP OF ROOF ELEVATION
E ELEVATION NOTE
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE
NAD83-85 COORDINATE SYSTEM DERIVED FROM THE
GLOBAL POSITIONING SYSTEM OBSERVATIONS.
BEARING NOTE
BEARINGS ARE GEODETIC AND ARE REFERRED TO THE
NORTH-EAST LIMIT OF RUTHERFORD ROAD NORTH.
HAVING A BEARING OF NORTH 40° W
ACCORDING TO REGISTERED PLAN 889

PART 2 - SURVEY REPORT
1) PLEASE NOTE LOCATION OF BENCH, PLANTERS, POSTS,
AND CONCRETE CURB
2) RESIDENCE (S) AND/OR RIGHTS-OF-WAY, NOTE
3) THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS
GTA
Greater Toronto Area
SURVEYING Inc.
7003 Steeles Ave. West, Unit 12, Toronto ON M3W 0A2
Tel: (416) 573-0572
E-MAIL: info@gtasurveying.ca
BOOK NO. DECKED 7 * PROJECT 22130



ZONING Residential R10	LOT NO. 528	PLAN NO. 888	LOT AREA 5,500.0sqft (511.0m2)	LOT FRONTAGE 50'-0" (15.24m)	LOT DEPTH 110'-0" (33.53m)		
DESCRIPTION	EXISTING	ADDITION	TOTAL	% ALLOWED	% SETBACKS	PERMITTED	PROPOSED
LOT COVERAGE	1,325.84 sqft (123.20 m2)	318.2 sqft (29.56 m2)	1,644.04 sqft (152.76 m2)			FRONT YARD	19'-8" (5.0 m)
GROSS FLOOR AREA	1200.8 sqft (111.56 m2)	318.2 sqft (29.56 m2)	1,519.0 sqft (141.12 m2)			REAR YARD 25% OF THE LOT	1,315.0 sqft (127.75 m2)
LOWER FLOOR AREA	574.0 sqft (53.12 m2)	318.2 sqft (29.56 m2)	892.2 sqft (82.68 m2)				1,230.0 sqft (114.3 m2)
MAIN FLOOR AREA	1200.8 sqft (111.56 m2)	318.2 sqft (29.56 m2)	1,519.0 sqft (141.12 m2)			INTERIOR SIDE (West)	9'-7" (2.93 m)
NO. OF STOREY HEIGHT	1 STOREY 13'-5" (4.1m)		1 STOREY 13'-5" (4.1m)			INTERIOR SIDE (East)	16'-10 0" (5.13 m)
WIDTH	23'-7" (7.2 m)	5'-7" (1.71 m)	29'-2" (8.90 m)				
DEPTH	50'-11" (15.52 m)	10'-9" (3.28 m)	61'-7" (18.78 m)				
LANDSCAPE AREA	726.35 sqft (67.5 m2)	-98.0 sqft (-9.94 m2)	630.35 sqft (58.56 m2)	60%	400.0 sqft (35.74 m2)		
LOT COVERAGE UPPER DWELLING			1,644.04 sqft (152.76 m2)				
LOT COVERAGE LOWER DWELLING			892.2 sqft (82.68 m2)				

Legend

- Existing structure
- Additional structure
- Outside landscaping

Rev.	Issue Date	Description
0	03 / 31 / 2022	Issued for approval
1	04 / 15 / 2022	Issued for approval
2	01 / 22 / 2022	Issued for approval

Owner Name & Address:
Dante Limbaga, email: denfran_1@yahoo.com
96 Rutherford North Brampton, ON L6V2J2

Designer:
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.
Qualification information

Witness Seal
Name
111825
BCIN

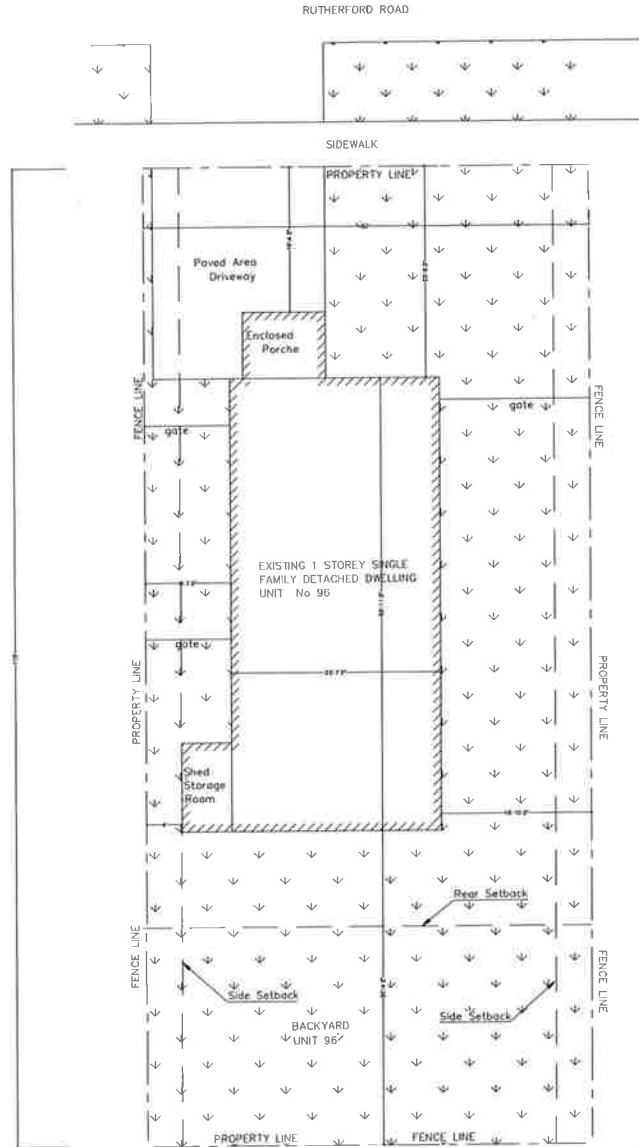
Registration information
Required unless design exempt under section C- 3.2.4.1 of the Building Code

WH Leaders Contracting Inc.
Firm Name
119 716
BCIN

Project Title:
Proposed Additional & Alteration to an existing one storey detached dwelling unit

Drawing Title:
Proposed Site Plan

Designed WS	Checked: WS	Date: 01/22/2022
Discipline Architectural	Sheet no A0.3	Scale: 1/8"=1'



ZONING	LOT NO.	PLAN NO.	LOT AREA	LOT FRONTAGE	LOT DEPTH
Residential R1B	529	009	5,500.0sqft (511.0m ²)	50'-0" (15.24m)	110'-0" (33.53m)
DESCRIPTION	EXISTING	ADDITION	TOTAL	% ALLOWED	SETBACKS
LOT COVERAGE	1,325.84 sqft (123.20 m ²)		1,325.84 sqft (123.20 m ²)		FRONT YARD
GROSS FLOOR AREA	1200.8 sqft (111.56 m ²)		1200.8 sqft (111.56 m ²)		REAR YARD
LOWER FLOOR AREA	574.0 sqft (53.32 m ²)		574.0 sqft (53.32 m ²)		INTERIOR SIDE (West)
MAIN FLOOR AREA	1200.8 sqft (111.56 m ²)		1200.8 sqft (111.56 m ²)		INTERIOR SIDE (East)
NO. OF STORES	1 STOREY		1 STOREY		
HEIGHT	13'-5" (4.1m)		13'-5" (4.1m)		
WIDTH	23'-3" (7.2 m)		23'-3" (7.2 m)		
DEPTH	50'-11" (15.52 m)		50'-11" (15.52 m)		
Landscape area	720.35 sqft (67.0 m ²)		720.35 sqft (67.0 m ²)	60%	



Rev:	Issue Date:	Description:
0	03/31/2022	Issued for approval
Owner Name & Address:		
Dante Limbaga, email: danfran_j@yahoo.com 96 Rutherford North Broomplon, ON L6V2J2		
Designer:		
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
Wissam Sali	111855	BCIN
Registration information		
Required unless design exempt under section C-3.2.4.1 of the Building Code		
WH Leaders Contracting Inc.	119 718	BCIN
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Existing Site Plan		
Designed ws	Checked: ws	Date: 03/31/2022
Discipline Architectural	Sheet no A0.2	Scale: 1/8"=1'

ROOF RAFTERS (WHERE NO CEILING IS INSTALLED)

MAXIMUM CLEAR SPAN						
RAFTER SIZE	ROOF SNOW LOAD 1.0 kpa			ROOF SNOW LOAD 1.5 kpa		
	RAFTER SPACING			RAFTER SPACING		
	12" O.C.	16" O.C.	24" O.C.	12" O.C.	16" O.C.	24" O.C.
2X4	10'-2"	9'-3"	8'-1"	8'-11"	8'-1"	7'-1"
2X6	16'-0"	14'-7"	12'-9"	14'-0"	12'-9"	11'-1"
2X8	21'-1"	19'-2"	16'-9"	18'-5"	16'-9"	14'-5"

MAXIMUM CLEAR SPAN						
JOIST SIZE	ROOF SNOW LOAD 1.0 kpa			ROOF SNOW LOAD 1.5 kpa		
	JOIST SPACING			JOIST SPACING		
	12" O.C.	16" O.C.	24" O.C.	12" O.C.	16" O.C.	24" O.C.
2X4	8'-1"	7'-4"	6'-5"	7'-1"	6'-5"	5'-7"
2X6	12'-9"	11'-6"	10'-1"	11'-1"	10'-1"	8'-9"
2X8	16'-9"	15'-2"	13'-3"	14'-7"	13'-3"	11'-7"

JOIST SIZE	1"X3" STRAPPING OR DRYWALL CLG.				2"X2" CROSS BRIDGING				BOTH STRAPPING & BRIDGING				1 1/2"-2" CONCRETE TOPPING			
	JOIST SPACING				JOIST SPACING				JOIST SPACING				JOIST SPACING			
	12" o.c.	16" o.c.	24" o.c.	24" o.c.	12" o.c.	16" o.c.	24" o.c.	24" o.c.	12" o.c.	16" o.c.	24" o.c.	24" o.c.	12" o.c.	16" o.c.	24" o.c.	24" o.c.
2x4	6"-1"	5"-7"	5"-2"		6"-6"	5"-11"	5"-2"		6"-6"	5"-11"	5"-2"		6"-6"	5"-11"	5"-2"	
2x6	9"-6"	8"-10"	8"-2"		10"-3"	9"-4"	8"-2"		10"-3"	9"-4"	8"-2"		10"-3"	9"-4"	8"-2"	
2x8	11"-7"	11"-0"	10"-6"		12"-6"	11"-9"	10"-8"		13"-1"	12"-2"	10"-8"		13"-6"	12"-3"	10"-8"	
2x10	13"-8"	12"-11"	12"-4"		14"-6"	13"-8"	12"-10"		14"-0"	13"-1"	13"-6"		17"-3"	15"-8"	13"-6"	
2x12	15"-7"	14"-9"	14"-1"		16"-5"	15"-5"	14"-6"		16"-11"	15"-9"	14"-8"		20"-5"	19"-0"	15"-8"	

DOOR SCHEDULE				
NO.	TYPE	SIZE	QTY.	REMARKS
001	SOLID CORE PLUS GLASS INSERT 2" x 5"	2'-6"x 6'-8"	1.	ENTRY DOOR STYLE PLUS DEAD BOLT KEY & TO COMPLY Div B 9.7.5.2
002	HOLLOW CORE	2'-8"x 6'-8"	1.	HCW - 2 PANELS
003	HOLLOW CORE	2'-8"x 6'-8"	1.	HCW - 2 PANELS
004	HOLLOW CORE	2'-8"x 6'-8"	1.	HCW - 2 PANELS
005	HOLLOW CORE	2'-8"x 6'-8"	1.	EXISTING DOOR
006	HOLLOW CORE	2'-8"x 6'-8"	1.	EXISTING DOOR
007	SOLID CORE	2'-8"x 6'-8"	1.	SCW - FR SLAB TYPE PLUS DOUBLE CYLINDER DEAD BOLT KEY.
008	SOLID CORE	2'-8"x 5'-0"	1.	EXISTING
009	HOLLOW CORE	2'-8"x 6'-8"	1.	HCW - 2 PANELS
010	FR - DOOR	2'-8"x 6'-8"	1.	20MIN FR DOOR PLUS SELF-CLOSING SYSTEM
012	HOLLOW CORE	2'-8"x 6'-8"	1.	HCW - 2 PANELS
013	HOLLOW CORE	2'-6"x 6'-8"	1	HCW - 2 PANELS

[illegible]

WALL TYPES

- EXISTING SUBFLOOR
- EXISTING WOOD JOIST 2"x8" SPACED 24" O.C
- 89mm THK ROXUL INSULATION
- PROVIDE RESILIENT CHANNEL 16" (406mm) SPACED O.C
- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD

- 2"x4" WOOD STUD SPACED @ 16" O.C
- R20ci INSULATION PLUS VAPOR/AIR BARRIER
- 1 LAYER OF 1/2" REGULAR GYPSUM BOARD

- BRICK VENEER 4" FACE TO FACE
- 2"x6" WOOD STUD SPACED @ 16" O.C
- R19 +5C1 INSULATION PLUS VAPOR/AIR BARRIER
- 12.7mm (1/2") EXTERIOR TYPE SHEATHING
- 1 LAYER OF 1/2" REGULAR GYPSUM BOARD

- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD
- 2"x4" WOOD STUD SPACED @ 16" O.C
- 89mm THK ROXUL INSULATION
- PROVIDE RESILIENT CHANNEL 16" (406mm) SPACED O.C
- 1 LAYER OF 5/8" TYPE X GYPSUM BOARD

- 1 LAYER OF 1/2" TYPE REGULAR GYPSUM BOARD
- 2"x4" WOOD STUD SPACED @ 16" O.C
- 1 LAYER OF 1/2" TYPE REGULAR GYPSUM BOARD

JOIST SIZE	JOIST SPACING		
	12" o.c.	16" o.c.	24" o.c.
2x4	10'-2"	9'-3"	8'-1"
2x6	16'-0"	14'-7"	12'-9"
2x8	21'-1"	19'-2"	16'-9"
2x10	26'-11"	24'-6"	21'-4"

FLOOR JOIST UP TO	SUBFLOORING		
	WAFER BD.	PLYWOOD	LUMBER
16" O.C.	5/8"	5/8"	11/16"
20" O.C.	5/8"	5/8"	3/4"
24" O.C.	3/4"	3/4"	3/4"

ROOF FRAMING	ROOF SHEATHING UNSUPPORTED EDGES	ROOF SHEATHING TONGUE & GROOVE, 'H'-CLIPS OR OTHER EDGE SUPPORT
12" O.C.	3/8" PLYWOOD, WAFER BD. OR 11/16" LUMBER	5/16" PLYWOOD, 3/8" WAFER BD. OR 11/16" LUMBER
16" O.C.	3/8" PLYWOOD, 7/16" WAFER BD. OR 11/16" LUMBER	5/16" PLYWOOD, 3/8" WAFER BD. OR 11/16" LUMBER
24" O.C.	1/2" PLYWOOD OR 3/4" LUMBER	3/8" PLYWOOD, 7/16" WAFER BD. OR 3/4" LUMBER

Rev.	Issue Date:	Description
0	01 / 08 / 2021	issued for approval

Designer:
The Undersigned has reviewed & takes responsibility for
the design work on behalf of a firm registered under section
3.2.4 of Div C of building code.
Qualification information

Registration information
Required unless design exempt under section C-3.2.4.1 of the Building Code

Project Title:
Proposed Additional & Alteration to an existing one storey detached dwelling unit

Drawing Title:
Door & Window schedules and Calculation Tables

Designed WS	Checked: WS	Date: 01/08/2021
Discipline Architectural	Sheet no A0 4	Scale: 3/8" = 1'

GENERAL NOTES

CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2012

ALL CONSTRUCTION PRACTICES TO COMPLY W/ ONTARIO BUILDING CODE REGULATIONS

ALL DIMENSIONS GIVEN FIRST IN METRIC (mm) FOLLOWED BY IMPERIAL

10 EXCAVATION & BACKFILL

(SEE O.B.C. 9.12.)

- EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES
- THE TOPSOIL & VEGETABLE MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS & WOOD DEBRIS SHALL BE REMOVED TO A MIN. DEPTH OF 300mm (12") IN EXCAVATED AREAS UNDER A BUILDING & THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS & THE GROUND SHALL BE NO LESS THAN 450mm (18")
- BACKFILL WITHIN 600mm (24") OF THE FND. WALLS SHALL BE FREE OF DELETERIOUS DEBRIS & BOULDERS OVER 250mm (10") IN DIA.

20 FOOTINGS

(SEE O.B.C. 9.15.3.)

- FOOTING MIN. 15MPa POURED CONCRETE
- FOOTINGS SHALL BE MIN 1200mm (4'-0") BELOW FINISHED GRADE
- FOOTINGS SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. BEARING CAPACITY OF 75KPa OR 100 KPa FOR ICW

FOOTING SIZES

FLOORS	SUPPORTING	SUPPORTING	COLUMN
LEVEL	EXT. WALL	INT. WALL	AREA
1	250mm (9 7/8")	250mm (9 7/8")	0.4m2 (4.3ft2)
2	350mm (13 3/4")	350mm (13 3/4")	0.75m2 (8.1ft2)
3	450mm (17 3/4")	450mm (17 3/4")	1.0m2 (10.8ft2)

- INCREASE EXTERIOR FOOTING WIDTH BY 65mm (2 5/8") FOR EACH STOREY OF BRICK VENEER SUPPORTED, BY 130mm FOR STOREY OF MASONRY (5 1/8") & BY 150mm (6") FOR ICW
- THE PROJECTION OF AN UNREINFORCED FOOTING BEYOND THE WALL SUPPORTED SHALL NOT BE GREATER THAN ITS THICKNESS

2.1 GRADE

- SLOPE GRADE AWAY FROM BUILDING FACE & PROVIDE SEMI-SOLID BLOCK COARSE (FOR CONCRETE BLOCK FND. WALL) AT OR BELOW GRADE LEVEL

FOUNDATION WALLS

(SEE O.B.C. 9.15.4.)

- FOUNDATION WALL TO BE POURED CONCRETE, UNIT MASONRY (CONC. BLOCK), ICW OR PRESERVED WOOD (SEE DRAWINGS FOR TYPE & THICKNESS)
- DAMP-PROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL
- FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING
- FOUNDATION WALL TO EXTEND MIN. 150mm (6") ABOVE FIN. GRADE
- LATERAL SUPPORT OF WALL PROVIDED BY ANCHORED SILL PLATE
- DRAINAGE LAYER REQUIRED ON THE OUTSIDE OF A FND. WALL WHERE THE INTERIOR INSULATION EXTENDS 900mm (2'-11") BELOW FIN. GRADE
- A DRAINAGE LAYER SHALL CONSIST OF:
 - MIN. 19mm MINERAL FIBRE INSULATION WITH MIN. DENSITY OF 57 kg/m3.
 - MIN. 100mm OF FREE DRAINAGE GRANULAR MATERIAL, OR

3.0 FOUNDATION WALL (REINF. CONC.)

(SEE O.B.C. 9.15.4.)

- 250mm (10") POURED CONC. WALL 20 MPa (2900 PSI) STRENGTH @ 28 DAYS REINF. W/ 15M BARS @ 16" O.C VERTICAL & 10M BARS HORIZ. @ 16" O.C TIED TO THE FOOTING W/ 15M BARS DOWELS. ALL BARS SHALL BE EPOXY COVERING
- BITUMINOUS DAMPPROOFING & DRAINAGE LAYER WHEN BSMT. INSULATION EXTENDS 900mm (2'-11") BELOW GRADE
- MAX. WALL HT. 2850mm (9'-4") USING 250mm (10") POURED CONC. 20 MPa (2900 PSI) @ 28 DAYS
- FOUNDATION WALL TO EXTEND MIN. 150mm (6") ABOVE FIN. GRADE
- WATERPROOF THE EXTERIOR FACE OF WALL BELOW GRADE IN CONFORMANCE W/ SUBSECTION 9.13.3. O.B.C
- DAMP-PROOF THE EXTERIOR FACE OF THE WALL BELOW GRADE IN CONFORMANCE W/ SECTION 9.13.2. OF THE O.B.C. & PROVIDE FOUNDATION WALL DRAINAGE CONFORMING TO 9.14.2 (2) OF THE O.B.C.
- DRAINAGE LAYER REQUIRED ON THE OUTSIDE OF A FND. WALL WHERE THE INTERIOR INSULATION EXTENDS 900mm (2'-11") BELOW FIN. GRADE

4.0 FLOOR FRAMING

(SEE O.B.C. 9.23.9.)

- JOISTS TO HAVE A MIN. 38mm (1 1/2") OF END BEARING
- JOISTS SHALL BEAR ON A SILL PLATE FIXED TO FND. W/ 12.7mm (1/2") ANCHOR BOLTS @ 2400 (4'-0") O.C.
- HEADER JOISTS BETWEEN 1200mm (3'-11") & 3200mm (10'-6") IN LENGTH SHALL BE DOUBLED. HEADER JOISTS EXCEEDING 3200mm (10'-6") SHALL BE SIZED BY CALC.
- TRIMMER JOISTS SHALL BE DOUBLED WHEN SUPPORTED HEADER IS BETWEEN 800mm (2'-7") & 2000mm (6'-7")
- 38x38mm (2"x2") CROSS BRIDGING REQUIRED NOT MORE THAN 2100mm (6'-11") FROM EACH SUPPORT & FROM OTHER ROWS OF BRIDGING

- JOISTS SHALL BE SUPPORTED ON JOIST HANGERS @ ALL FLUSH BEAMS, TRIMMERS & HEADERS
- NON-LOAD BEARING PARTITIONS SHALL BE SUPPORTED ON A JOIST OR ON BLOCKING BETWEEN JOISTS
- JOISTS LOCATED UNDER PARALLEL, NON-LOAD BEARING PARTITIONS SHALL BE DOUBLED

NOTCHING & DRILLING OF JOISTS, TRUSSES & RAFTERS

(SEE O.B.C. 9.23.5.)

- HOLE IN FLOOR, ROOF & CEILING MEMBERS TO BE NOT LARGER THAN 1/4 THE ACTUAL DEPTH OF MEMBER & NOT LESS THAN 50mm (2") FROM EDGES
- NOTCHES IN FLOOR, ROOF & CEILING MEMBERS TO BE LOCATED ON TOP OF THE MEMBER WITHIN 1/2 THE ACTUAL DEPTH FROM THE EDGE OF BEARING & NOT GREATER THAN 1/3 THE JOIST DEPTH
- WALL STUDS MAY BE NOTCHED OR DRILLED PROVIDED THAT NO LESS THAN 2/3 THE DEPTH OF THE STUD REMAINS, IF LOAD BEARING, & 40mm (1 9/16") IF NON-LOAD BEARING
- ROOF TRUSS MEMBERS SHALL NOT BE NOTCHED, DRILLED OR WEAKENED UNLESS ACCOMMODATED IN THE DESIGN

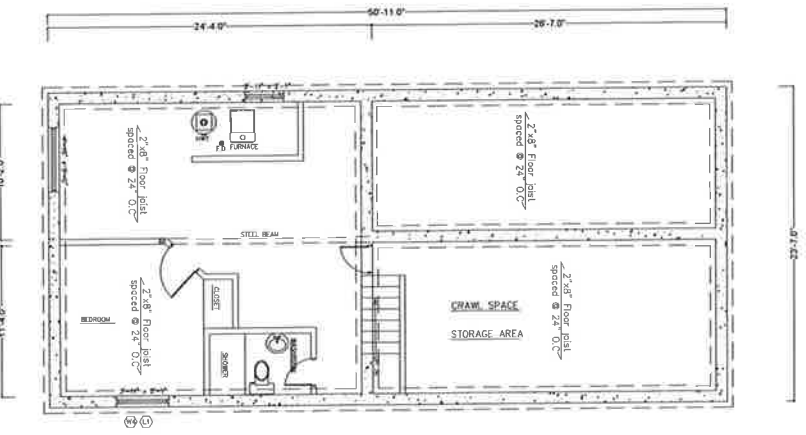
5.0 WOOD FRAME CONSTRUCTION

(SEE O.B.C. 9.23.)

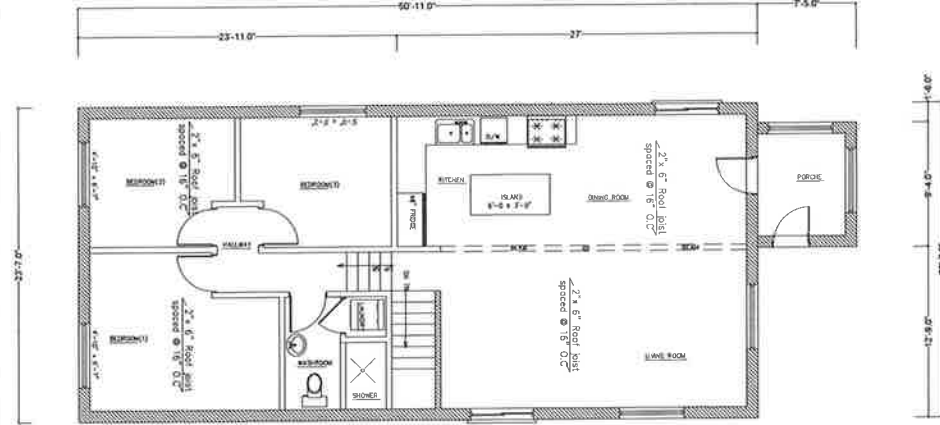
- ALL LUMBER SHALL BE SPRUCE-PINE-FIR No. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP
- MAX. MOISTURE CONTENT 19% @ TIME OF INSTALLATION
- WOOD FRAMING MEMBERS WHICH ARE SUPPORTED ON CONC. IN DIRECT CONTACT W/ SOIL SHALL BE SEPARATED FROM THE CONC. W/ 0.05mm (0.002") POLYETHYLENE OR TYPE 'S' ROLL ROOFING

Legend

- Sections & elevations
- Construction Notes
- Reinforced Concrete Foundation wall
- Exterior partition wall
- Interior load bearing wall
- Interior non-load bearing wall
- guards
- Smoke Alarm
- Carbon monoxide detector
- Floor Drainage (F.D.)
- Exhaust Fan
- Ceiling Height
- Supply vent
- Return air
- Exterior Light
- Duct Smoke Detector



Existing Basement Floor Plan



Existing Main Floor Plan

Rev.	Issue Date:	Description
D	01 / 08 / 2021	Issued for approval
Owner Name & Address:		
Dante Limbaga, email: danfran_l@yahoo.com 96 Rutherford North Brampton, ON L6V2J2		
Designer:		
The Undersigned has reviewed & takes responsibility for the design work on behalf of a firm registered under section 3.2.4 of Div C of building code.		
Qualification information		
Vysamm Sath	111695	BCIN
Registration information		
Required unless design exempt under section C-3.2.4.1 of the Building Code		
WH Leaders Contracting Inc.	119 716	BCIN
Project Title:		
Proposed Additional & Alteration to an existing one storey detached dwelling unit		
Drawing Title:		
Existing Basement & Main Floor Plans		
Designed WS	Checked: WS	Date: 01/08/2021
Discipline Architectural	Sheet no A1.1	Scale: 3/16"=1'

GENERAL NOTES (Continued)

WALLS

- EXTERIOR WALLS SHALL CONSIST OF
 - CLADDING
 - AIR BARRIER SYSTEM LAPPED 100mm (4") @ JOINTS
 - LUMBER, PLYWOOD, OSB OR GYPSUM SHEATHING
 - WOOD STUDS @ 400mm (16") O.C. AS SIZED ON THE DRAWINGS
 - BOTTOM PLATE
 - DOUBLE TOP PLATE
 - MID-GIRTS IF NOT SHEATHED
- INTERIOR WALLS SHALL CONSIST OF
 - WOOD STUDS @ 400mm (16") O.C. AS SIZED ON THE DRAWINGS
 - BOTTOM PLATE
 - DOUBLE TOP PLATE
 - GYPSUM WALL BOARD

6.0 CEILING FINISH @ THE BASEMENT - 45min

- (SEE SB-3 TYPE F5c)
- 89mm THK ROXUL INSULATION
 - PROVIDE RESILIENT CHANNEL 16" (406mm) SPACED O.C
 - PROVIDE 1 LAYER OF 5/8" FIRE RATED DRYWALL TO THE EXISTING FLOOR JOIST

5.1 BASEMENT INSULATION & FRAMING

- MIN. RSI 1.75 (R10c) 75mm (3") CONTINUOUS FOAM INSULATION BETWEEN WOOD FRAMING & CONC FOUNDATION WALL + MIN. RSI 2.11 (R12) BATT INSULATION WITHIN 38x89mm (2"x4") @ 400mm (16") O.C. WOOD FRAMING
- 0.15mm (0.006") POLY VAPOUR BARRIER CONFORMING TO SUBSECTION 9.25.4. OF THE O.B.C. TO EXTEND FROM THE INSIDE OF THE SUBFLOOR DOWN TO FULL BASEMENT HEIGHT
- MOISTURE BARRIER CONFORMING TO SUBSECTION 9.25.3. OF THE O.B.C. TO HEIGHT OF EXTERIOR GRADE BETWEEN FOUNDATION WALL & WOOD FRAMING

5.2 FRAME WALL CONSTRUCTION (2"x8") BRICK VENEER

- BRICK VENEER 4" FACE TO FACE
- 25x17x0.76mm (1"x7"x0.03") GALVANIZED METAL TIES @ 400mm (16") O.C. HORIZONTAL & 600mm (24") O.C. VERTICAL NOT TO COMPRESS THE EXTERIOR SHEATHING

- 25mm (1") AIR SPACE
- 0.7 Kg/m² (#15) BUILDING PAPER (AIR BARRIER) TO OVERLAP @ JOINTS
- 12.7mm (1/2") EXTERIOR TYPE SHEATHING
- 38x140mm (2"x6") WOOD STUDS @ 400mm (16") O.C.
- RSI 3.34 + 0.86 ci (R19 + 5 ci) INSULATION
- 0.15mm (0.006") AIR/VAPOUR BARRIER TO CONFORM TO CAN/COS-B-51.34-M & SUBSECTIONS 9.25.3. & 9.25.4 OF THE O.B.C.
- One layer of 12.7mm (1/2") REGULAR GYPSUM BOARD WALL FINISH
- PROVIDE WOODEN PANEL WITH SMALL HOLES IN THE BOTTOM OF EACH PANEL AND ACTS AS WEEP HOLES TO ALLOW MOISTURE ESCAPE ROUTE.
- PROVIDE BRICK, STONE OR PRECAST CONC. SILLS UNDER ALL OPENINGS & FLASH UNDER SILL

5.3 INTERIOR FIRE RATED STUD PARTITION-45min

- (SEE SB-3 TYPE W3a)
- 38x140mm (2"x6") @ 400mm (16") O.C. FOR LOAD BEARING WALLS, 38x89mm (2"x4") @ 400mm (16") O.C. NON LOAD BEARING
 - 15.9mm (5/8") TYPE X GYPSUM WALLBOARD ON BOTH SIDES
 - PROVIDE RESILIENT CHANNEL 16" (406mm) SPACED O.C
 - 89mm THK ROXUL INSULATION
 - 38x89mm (2"x4") BOTTOM PLATE, 2-38x89mm (2"x4") TOP PLATE, TRIPLE STUDS @ CORNERS

5.4 INTERIOR NON FIRE RATED STUD PARTITION

- 38x89mm (2"x4") @ 400mm (16") O.C. NON LOAD BEARING
- 12.7mm (1/2") INT. GYPSUM WALLBOARD ON BOTH SIDES
- 38x89mm (2"x4") BOTTOM PLATE, 2-38x89mm (2"x4") TOP PLATE, TRIPLE STUDS @ CORNERS

LUMBER

- (SEE O.B.C. 9.3.2.)
- ALL LUMBER SHALL BE SPRUCE-PINE-FIR No. 1 & 2, AND SHALL BE IDENTIFIED BY A GRADE STAMP & HAVE A MAX. MOISTURE CONTENT 19% @ TIME OF INSTALLATION
 - STUDS SHALL BE STUD GRADE SPRUCE, UNLESS NOTED OTHERWISE
 - LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE NO. 2 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE

- END BEARING JOISTS - 38mm (1 1/2") BEAMS - 89mm (3 1/2")

- PROVIDE METAL HANGERS FOR ALL JOISTS & BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS

- WOOD FRAMING NOT TREATED W/ A WOOD PRESERVATIVE & ARE IN CONTACT W/ CONCRETE THAT IS LESS THAN 150mm (6") ABOVE GROUND OR SLAB, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 0.15mm (0.006") POLYETHYLENE FILM OR NO. 50 (456s) ROLL ROOFING DAMPPROOFING BETWEEN WOOD & CONCRETE

- BUILDINGS & THEIR STRUCTURAL MEMBERS MADE OF WOOD SHALL CONFORM TO CSA086, "ENGINEERING DESIGN IN WOOD"

6.0 SLAB ON GRADE

- POURED CONC. SLAB ON GRADE 4650 PSI @ 28 DAYS 5%-8% AIR ENTRAINMENT (OPTIONAL)
- 50mm (2") CONT. RIGID FOAM INSULATION (OPTIONAL)
- 100mm (4") CRUSHED STONE AND BEAR ON UNDISTRIBUTED SOIL

7.0 ROOF & CEILING

- (SEE O.B.C. 9.23.13.)
- SEE PLANS FOR RAFTER, ROOF JOIST & CEILING JOIST SIZE & SPACING REQUIREMENTS
 - HIP & VALLEY RAFTER SHALL BE 38mm (2") DEEPER THAN COMMON RAFTERS
 - 38x89mm (2"x4") COLLAR TIES @ RAFTER SPACING W/ 15x89mm (1"x4") CONTINUOUS BRACE @ MID-SPAN IF COLLAR TIE EXCEEDS 2400mm (7'-10") IN LENGTH
 - SEE PLANS FOR SHEATHING REQUIREMENTS (SEE O.B.C. 9.23.15.)

ROOFING

- (SEE O.B.C. 9.26.)
- FASTENERS FOR ROOFING SHALL BE CORROSION RESISTANT. ROOFING NAILS SHALL PENETRATE THROUGH OR AT LEAST 12mm (1/2") INTO ROOF SHEATHING
 - EVERY ASPHALT SHINGLE SHALL BE FASTENED WITH AT LEAST 4 NAILS FOR 1000mm (2'-11") WDE SHINGLE (OR 6 11mm (0.43") STAPLES)

- EAVE PROTECTION SHALL EXTEND 900mm (2'-11") UP THE ROOF SLOPE FROM THE EDGE, & AT LEAST 300mm (11 3/4") FROM THE INSIDE FACE OF THE EXTERIOR WALL, & SHALL CONSIST OF TYPE M OR TYPE S ROLL ROOFING & W/ MIN. 100mm (4") HEAD & END LAPS CEMENTED TOGETHER, OR GLASS FIBRE OR POLYESTHER FIBRE COATED BASE SHEETS, OR SELF SEALING COMPOSITE MEMBRANES CONSISTING OF MODIFIED BITUMINOUS COATED MATERIAL OR #15 SATURATED FELT LAPPED & CEMENTED. EAVE PROTECTION IS NOT REQUIRED FOR UNHEATED BUILDINGS, FOR ROOFS EXCEEDING A SLOPE OF 1 IN 1.5, OR WHERE A LOW SLOPE ASPHALT SHINGLE APPLICATION IS PROVIDED

- OPEN VALLEYS SHALL BE FLASHED W/ 2 LAYERS OF ROLL ROOFING, OR 1 LAYER OF SHEET METAL MIN. 600mm (23 5/8") WIDE
- FLASHING SHALL BE PROVIDED @ THE INTERSECTION OF SHINGLE ROOFS W/ EXTERIOR WALLS & CHIMNEYS
- SHEET METAL FLASHING SHALL CONSIST OF NOT LESS THAN 1.73mm (1/16") SHEET LEAD, 0.33mm (0.013") GALV. STEEL, 0.33mm (0.018") COPPER, 0.35mm (0.018") ZYNC, OR 0.48mm (0.019") ALUMINUM

7.1 ROOF CONSTRUCTION

- 20 YEAR ASPHALT SHINGLES W/ EAVES PROTECTION
- TYPE 'S' ROLL ROOFING FROM EDGE OF ROOF EXTENDING A MIN. DISTANCE OF 900mm (3') UP THE ROOF
- MIN. 9.5mm (3/8") PLYWOOD SHEATHING W/ 'H' CLIPS

ROOF INSULATION

- ATTIC VENTILATION 1 : 150 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED
- MIN. 54mm (2 1/2") RSI 5.46 (R31) FIBREGLOSS INSULATION
- 0.15mm (0.006") AIR/VAPOUR BARRIER CONFORMING TO SUBSECTIONS 9.25.3. & 9.25.4. OF THE O.B.C.
- MIN. 15.9mm (5/8") GYP. WALL BOARD OR APPROVED EQUAL

8.0 COLUMNS, BEAMS & LINTELS

STEEL (SEE O.B.C. 4.3.4.)

- BUILDINGS & THEIR STRUCTURAL MEMBERS MADE OF STRUCTURAL STEEL SHALL CONFORM TO CSA S16, "DESIGN OF STEEL STRUCTURES"
- REINFORCING STEEL SHALL CONFORM TO GRADE 400 IN CSA-G30-18M, "BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT"
- STRUCTURAL STEEL MEMBERS USED IN CONSTRUCTION REQUIRED TO HAVE A FIRE-RESISTANCE RATING SHALL BE PROTECTED TO PROVIDE THE REQUIRED FIRE-RESISTANCE RATING

- STEEL BEAMS & COLUMNS SHALL BE SHOP PRIMED 350W STEEL
- MIN. 89mm (3 1/2") END BEARING FOR WOOD & STEEL BEAMS, W/ 190mm (7 7/8") SOLID MASONRY BENEATH THE BEAM
- STEEL COLUMNS TO HAVE MIN. OUTSIDE DIA. OF 73mm & MIN. WALL THICKNESS OF 4.76mm (3/16")

- WOOD COLUMNS FOR CARPORTS & GARAGES SHALL BE MIN. 89x89mm (3 1/2"x3 1/2") IN ALL OTHER CASES EITHER 140x140mm 5 1/2"x5 1/2" OR 184mm (7 1/4") ROUND, UNLESS CALCULATIONS BASED ON ACTUAL LOADS SHOW LESSER SIZES ARE ADEQUATE. ALL COLUMNS SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER
- MASONRY COLUMNS SHALL BE A MIN. OF 250x250mm (11 3/8"x11 3/8") OR 240x380mm (9 1/2"x15")

- PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS

8.1 STEEL PIPE COLUMN (INT.)

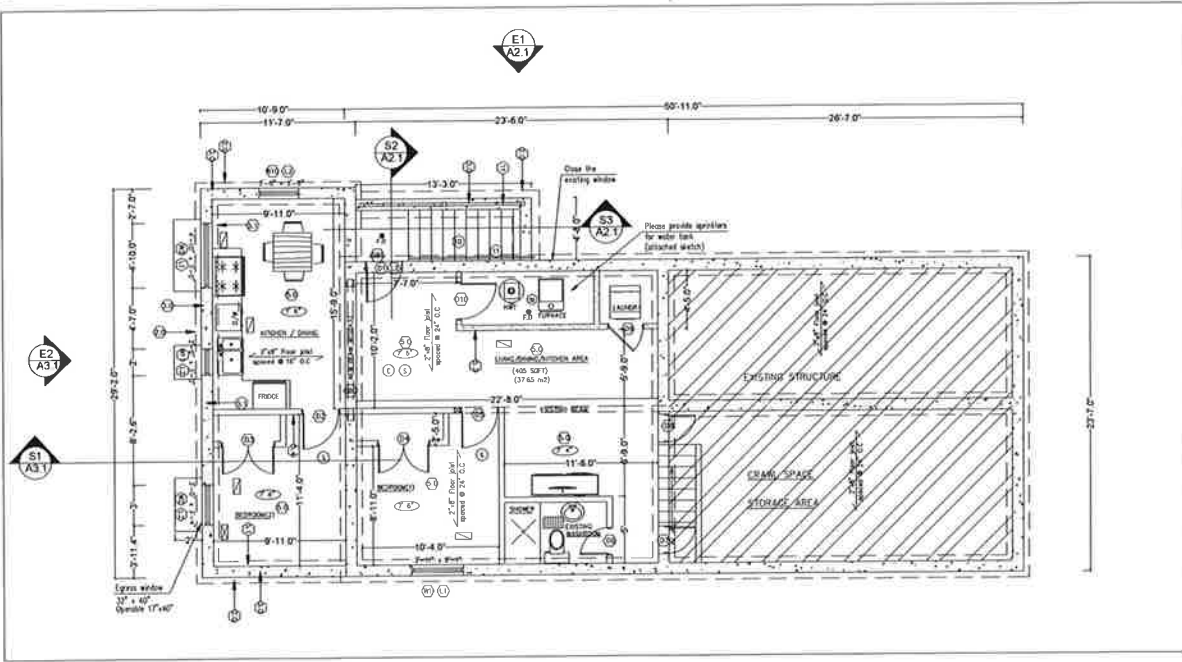
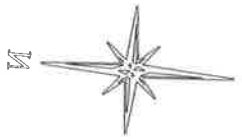
(SEE O.B.C. 9.17.3.)

- 90mm (3 1/2") DIA. W/ A WALL THICKNESS OF 4.76mm (3/16") NON ADJUSTABLE STEEL COLUMN W/ 150x150x9.5mm (6"x6"x3/8") STEEL TOP & BOTTOM PLATE. BASE PLATE 200x200x12.7mm (8"x8"x1/2") W/ 4-12.7mm DIA x 350mm LONG x50mm (4-12") DIA. x 12" LONG x 2") HOOK ANCHORS

- FIELD WELD COLUMN TO BASE PLATE ON 1067x1067x457mm (42"x42"x18") POURED CONC. FTG. ON UNDISTURBED SOIL OR ENG. FILL CAPABLE OF SUSTAINING A PRESSURE OF 125kPa (18 1/2psi) MIN. AS PER SOIL REPORT

Legend

- Sections & elevations
- Construction Notes
- Reinforced Concrete Foundation wall
- Exterior partition wall
- Interior Fire rated partition wall
- Interior non-load bearing wall
- guards
- Smoke Alarm
- Carbon monoxide detector
- Floor Drainage (F.D.)
- Exhaust Fan
- Ceiling Height
- Supply vent
- Return air
- Exterior Light
- Duct Smoke Detector



Proposed Basement Floor Plan

Rev	Issue Date	Description
0	01/08/2021	Issued for approval

Owner Name & Address:
Danle Limbaga, email: danfran_l@yahoo.com
86 Rutherford North Brampton, ON L6V2J2

Designer:
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.

Qualification information
Wissam Saifi
Name 111855 BCIN

Registration information
Required unless design exempt under section C-3.2.4.1 of the Building Code

W1 Leaders Contracting Inc.
Firm Name 119 718 BCIN

Project Title:
Proposed Additional & Alteration to an existing one storey detached dwelling unit

Drawing Title:
Proposed Basement Floor Plan

Designed	Checked:	Date:
ws	ws	01/08/2021
Discipline	Sheet no	Scale:
Architectural	A1.2	3/16"=1'

GENERAL NOTES (Continued)

- 8.2 BEAMS
(SEE O.B.C. 9.23.4.2, O.B.C. 9.23.4.3. & 9.23.8.)
- SB-1 127x90x8 0mm (51/2"x3 1/2"x1 1/4")
 - SB-2 W150x37 ST. BEAM
 - SB-3 W200x31 ST. BEAM

8.3 WOOD COLUMNS & BUILT-UP BEAMS (SEE O.B.C. 9.17.3.)

•4" X 4" TREATED WOOD POST ANCHORED TO CONCRETE WALL W/METAL SHOE + 7/8" BOLT SHOE ANCHORED MIN 4" INTO 8" POURED CONCRETE WALL ON 1' 8" X 6" DEEP POURED CONCRETE FOOTING ON UNDISTRIBUTED SOIL

•ALL BUILT UP POSTS ARE TO BE CONSTRUCTED CONTINUOUSLY TO THE FOUNDATION WITH TRANSFER BLOCKING AT EACH FLOOR FRAMING POSTS ARE TO CONTINUE TO FOUNDATIONS EVEN IF SUPPORTED ON LOAD BEARING STUD WALLS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

•PROVIDE DOUBLE FLOOR JOISTS AT ALL NON-LOAD BEARING AND LOAD BEARING PARTITION WALLS SPANNING PARALLEL TO THE FLOOR FRAMING UNLESS OTHERWISE NOTED.

•PROVIDE SOLID BLOCKING, MATCHING JOIST MEMBER SIZE, UNDER ALL LOAD BEARING WALLS OFFSET FROM THE SUPPORTS BELOW FOR FLOOR JOISTS SPANNING PERPENDICULAR TO THE WALLS.

•ALL NAILERS TO BE ANCHORED WITH 12mm (1/2") DIAMETER ANCHOR BOLTS X300mm (12") LONG AT 1200mm (4'-0") ON CENTER STAGGER ANCHOR BOLTS

9.0 DOORS & WINDOWS

(SEE O.B.C. 9.7.)

•EVERY FLOOR LEVEL CONTAINING A BEDROOM & NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35m² (3.8FT²) AND NO DIMENSION LESS THAN 380mm (15"), WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS. MAX. SILL HEIGHT 1000mm (3'-3 3/8") FOR FIN FLOORS ABOVE GRADE

•EXT. HOUSE DOORS & WINDOWS WITHIN 2000mm (6'-7") FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK

•THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT

•MAX. U-VALUE 1.6 FOR WINDOWS & SLIDING GLASS DOORS OR TO CONFORM TO SB-12 SUBSECTION 2.1 OF THE O.B.C.

10.0 MAIN STAIRS & EXTERIOR STAIRS

(SEE O.B.C. 9.8.)

- MAX. RISE 200mm (7 7/8")
- MAX. RUN 210mm (8 1/4")
- MIN. TREAD 235mm (9 1/4")
- MIN. HEAD 25 (1")
- MIN. HEAD ROOM 1950mm (6'-5")
- MIN. WIDTH 890mm (2'-10")

•CURVED STAIRS SHALL HAVE A MIN. RUN OF 150mm (5 7/8") @ ANY POINT & A MIN. AVG. RUN OF 200mm (7 7/8")

•WINDERS WHICH CONVERGE TO A POINT IN STAIRS MUST TURN THROUGH AN ANGLE OF NO MORE THAN 90°, W/ NO LESS THAN 30° OR MORE THAN 45° PER TREAD. SETS OF WINDERS MUST BE SEPARATED BY 1200mm ALONG THE RUN OF STAIRS

•A LANDING IS REQUIRED @ THE TOP OF ANY STAIR LEADING TO THE PRINCIPAL ENTRANCE TO A DWELLING & OTHER EXTERIOR ENTRANCES W/ MORE THAN 3 RISERS

•EXTERIOR CONC. STAIRS W/ MORE THAN 2 RISERS REQUIRE FOUNDATIONS

•STAIRS TO HAVE UNIFORM TREADS & RISERS EXCEPT AS NOTED IN O.B.C. 9.8.4.4

11.0 GUARDS & RAILINGS

(SEE O.B.C. 9.8.7. & 9.8.8.)

- INT. LANDINGS 900mm (2'-11")
- EXT. BALCONY 1070mm (3'-6")
- INT. STAIRS 900mm (2'-11")
- EXT. STAIRS 900mm (2'-11")
- MAX. BETWEEN PICKETS 100mm (4")

•GUARD HEIGHT IF DECK TO GRADE IS GREATER THAN 1800mm (5'-11") 1070mm (3'-6")

•1800mm (5'-11") OR LESS 900mm (2'-11")

•A HANDRAIL IS REQUIRED FOR INT. STAIRS CONTAINING MORE THAN 2 RISERS & EXT. STAIRS CONTAINING MORE THAN 3 RISERS

•GUARDS ARE REQUIRED AROUND EVERY ACCESSIBLE SURFACE WHICH IS MORE THAN 600mm (23 5/8") ABOVE THE ADJACENT LEVEL & WHERE THE ADJACENT SURFACE HAS A SLOPE MORE THAN 1:2

•INTERIOR & EXTERIOR GUARDS MIN. 900mm (2'-11") HIGH

•EXTERIOR GUARDS SHALL BE 1070mm (3'-6") HIGH WHERE HEIGHT ABOVE ADJACENT SURFACE EXCEEDS 1800mm (5'-11")

•GUARDS SHALL HAVE OPENINGS SMALLER THAN 100mm (4") & NO MEMBER BETWEEN 140mm (5 1/2") & 900mm (2'-11") THAT WILL FACILITATE CLIMBING

•CONSTRUCTION OF INTERIOR GUARDS & HANDRAILS TO COMPLY TO O.B.C. 9.8.9, SB-7 & SB-13

•EXTERIOR GUARDS SHALL BE ALUMINUM RAILING AND CONFORMING AS PER ATTACHED DETAIL STAMPED BY THE ENG.

•CONSTRUCTION OF RAILING FOR EXTERIOR GUARDS IS ALUMINUM ALLOY 6063-T5

12 WINDOWS

(SEE O.B.C. 9.7.)

•EVERY FLOOR LEVEL CONTAINING A BEDROOM & NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35m² (3.8FT²) AND NO DIMENSION LESS THAN 380mm (15"), WHICH IS OPENABLE FROM THE INSIDE WITHOUT TOOLS. MAX. SILL HEIGHT 1000mm (3'-3 3/8") FOR FIN FLOORS ABOVE GRADE

•5% OF FLOOR AREA OF BEDROOMS & 10% OF LIVING & DINING ROOMS TO EQUAL TRANSPARENT OPENINGS IN WINDOW (SEE 9.7.2.3. OF THE O.B.C.)

•WINDOWS DOUBLE GLAZED OR W/ STORM WINDOW

•WINDOWS LOCATED WITHIN 2 METERS (6'-7") OF ADJACENT GROUND LEVEL SHALL CONFORM TO THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY (SEE O.B.C. 9.7.5.3)

•WINDOWS SHALL HAVE A MAX. U-VALUE 1.8 OR CONFORM TO SB-12 SUBSECTION 2.1. OF THE O.B.C.

13 ELECTRICAL

(SEE O.B.C. 9.34.)

•AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED @ EVERY ENTRANCE

•A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE & CARPORT. A SWITCHED RECEPTACLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS & LIVING ROOMS

•STAIRS SHALL BE LIGHTED, & EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3-WAY SWITCH @ THE HEAD & FOOT OF THE STAIRS

•BASEMENTS REQUIRE A LIGHT FOR EACH 30m² (323FT²), CONTROLLED BY A SWITCH @ THE HEAD OF THE STAIRS

14 ALARMS & DETECTORS

•SMOKE ALARMS (SEE O.B.C. 9.10.19.)

•SMOKE ALARMS CONFORMING TO CAN/ULC-5531,

CEILING ON EACH STOREY OF A DWELLING UNIT "SMOKE ALARMS" SHALL BE INSTALLED ON OR NEAR THE ADJACENT LEVEL IN EACH SLEEPING ROOM AND IN A INCLUDING BASEMENTS 900mm (36") OR MORE ABOVE AN LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY

•SMOKE ALARMS SHALL BE INSTALLED W/ PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT, HAVE NOT DISCONNECT SWITCH BETWEEN OVERCURRENT DEVICE AND THE SMOKE ALARM, AND IN CASE OF POWER INTERRUPTION BE PROVIDED WITH BATTERIES OR AN ALTERNATIVE POWER SOURCE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM

•SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING TO SOUND AND SHOW VISUAL SIGNAL

•SMOKE ALARMS SHALL INCLUDE A VISUAL SIGNALING COMPONENT CONFORMING TO 18.5.3 (LIGHT, COLOR AND PULSE CHARACTERISTICS) OF NFPA 72, "NATIONAL FIRE ALARM AND SIGNALING CODE"

CARBON MONOXIDE DETECTORS

(SEE O.B.C. 9.33.4.)

•CARBON MONOXIDE DETECTOR CONFORMING TO CAN/CGA-619, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES" OR UL 2034, "SINGLE & MULTIPLE STATION CARBON MONOXIDE ALARMS" SHALL BE INSTALLED ADJACENT TO EVERY SLEEPING AREA FOR DWELLINGS W/ FUEL BURNING FIREPLACE OR STOVE, OR AN ATTACHED GARAGE

•CARBON MONOXIDE ALARMS SHALL BE MECHANICALLY FIXED AT THE MANUFACTURERS RECOMMENDED HEIGHT OR ON OR NEAR THE CEILING

•CARBON MONOXIDE ALARMS SHALL BE INSTALLED W/ PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT, HAVE NOT DISCONNECT SWITCH BETWEEN OVERCURRENT DEVICE AND THE SMOKE ALARM, AND IN CASE OF POWER INTERRUPTION BE PROVIDED WITH BATTERIES OR AN ALTERNATIVE POWER SOURCE TO PROVIDE POWER TO THE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM

•CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED SO THAT ITS ACTIVATION WILL ACTIVATE ALL C.M. ALARMS LOCATED WITHIN THE DWELLING UNIT

•SMOKE ALARMS SHALL INCLUDE A VISUAL SIGNALING COMPONENT CONFORMING TO 18.5.3 (LIGHT, COLOR AND PULSE CHARACTERISTICS) OF NFPA 72, "NATIONAL FIRE ALARM AND SIGNALING CODE"

15 HEATING/ COOLING SYSTEMS

(SEE O.B.C. 9.33.)

•CHECK MECHANICAL DRAWINGS FOR SPECIFICATIONS AND CALCULATIONS

•THE DESIGN AND INSTALLATION OF CENTRAL HEATING AND AIR CONDITIONING SYSTEMS SHALL CONFORM TO O.B.C. PART 6 AND 9.33.

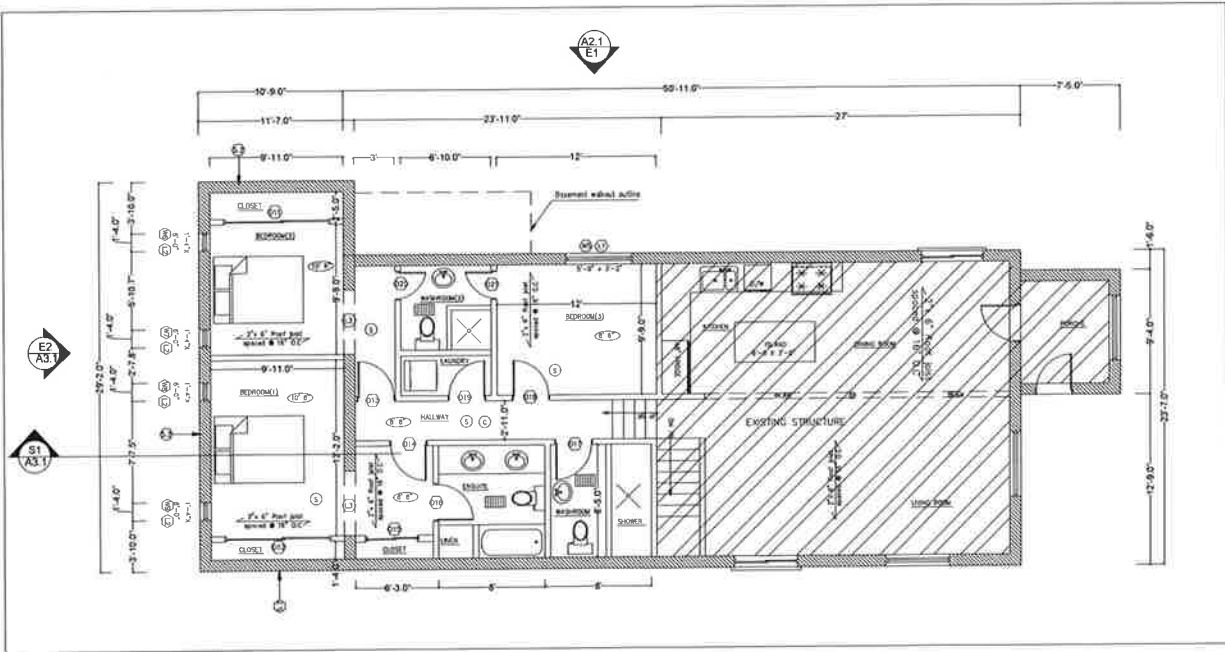
•HEATING/COOLING LOADS TO BE CALCULATED IN ACCORDANCE W/ SECTION O.B.C. 6.2.1.1.

•REQ'D HEATING SYSTEMS SHALL BE CAPABLE OF MAINTAINING AN INDOOR AIR TEMPERATURE OF NOT LESS THAN

- LIVING SPACES 22°C
- UNFINISHED SPACES 15°C
- HEATED CRAWL SPACES 15°C

Legend

- Sections & elevations
- Construction Notes
- Unreinforced Concrete block Foundation wall
- Exterior partition wall
- Interior Fire rated partition wall
- Interior non-load bearing wall
- guards
- Smoke Alarm
- Carbon monoxide detector
- Floor Drainage (F.D.)
- Exhaust Fan
- Ceiling Height
- Supply vent
- Return air
- Exterior Light
- Duct Smoke Detector



Proposed Main Floor Plan

Rev.	Issue Date	Description
0	01 / 08 / 2021	issued for approval

Owner Name & Address:
Dante Limbaga, email: danfran_j@yahoo.com
96 Rutherford North Brampton, ON L6V2J2

Designer:
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.

Qualification information
Wissam Saifi
Name 111895 BCIN

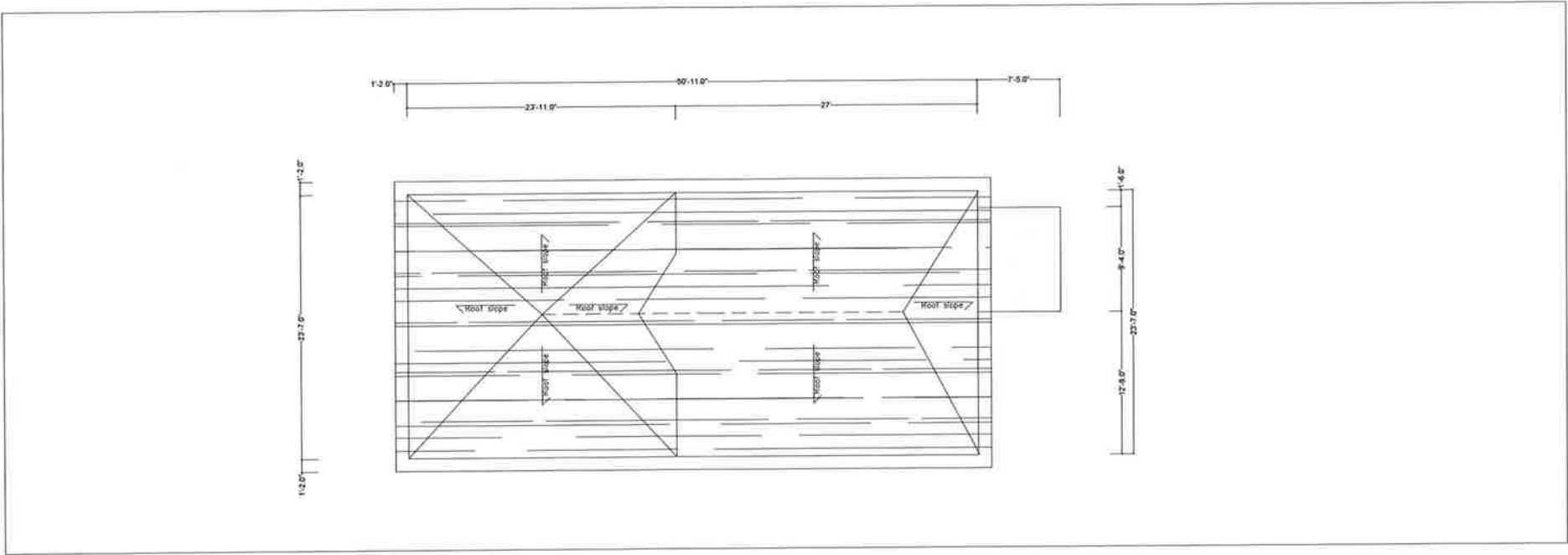
Registration information
Required unless design exempt under section C- 3.2.4.1 of the Building Code

WH Leaders Contracting Inc.
Firm Name 119 716 BCIN

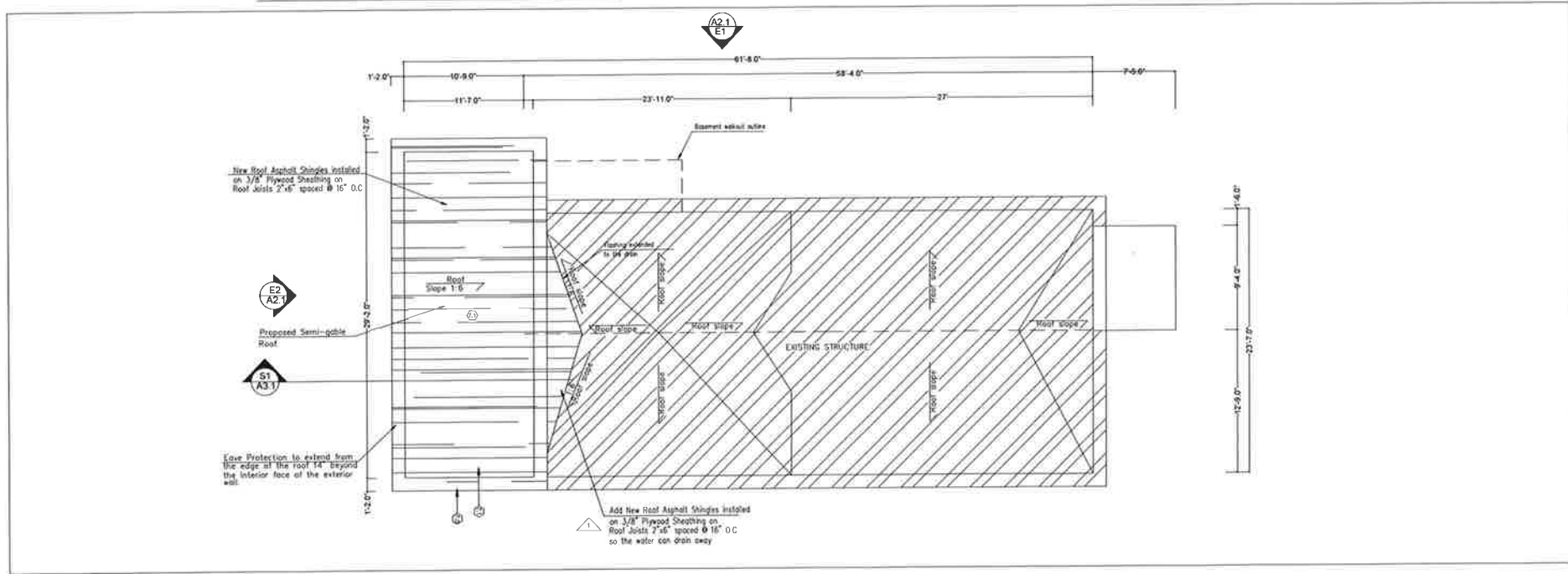
Project Title:
Proposed Additional & Alteration to an existing one storey detached dwelling unit

Drawing Title:
Proposed Main Floor Plan

Designed VS	Checked: VS	Date: 01/08/2021
Discipline Architectural	Sheet no A1.3	Scale: 3/16"=1'



Existing Roof Floor Plan



Proposed Roof Floor Plan



Rev.	Issue Date:	Description
0	01/08/2021	issued for approval
1	11/28/2022	issued for approval

Owner Name & Address:
Dante Limbaga, email: danfran_l@yahoo.com
96 Rutherford North Brampton, ON L6V2J2

Designer:
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.

Qualification information
Wissam Saifi 111895
Name BCIN

Registration information
Required unless design exempt under section C-3.2.4.1 of the Building Code

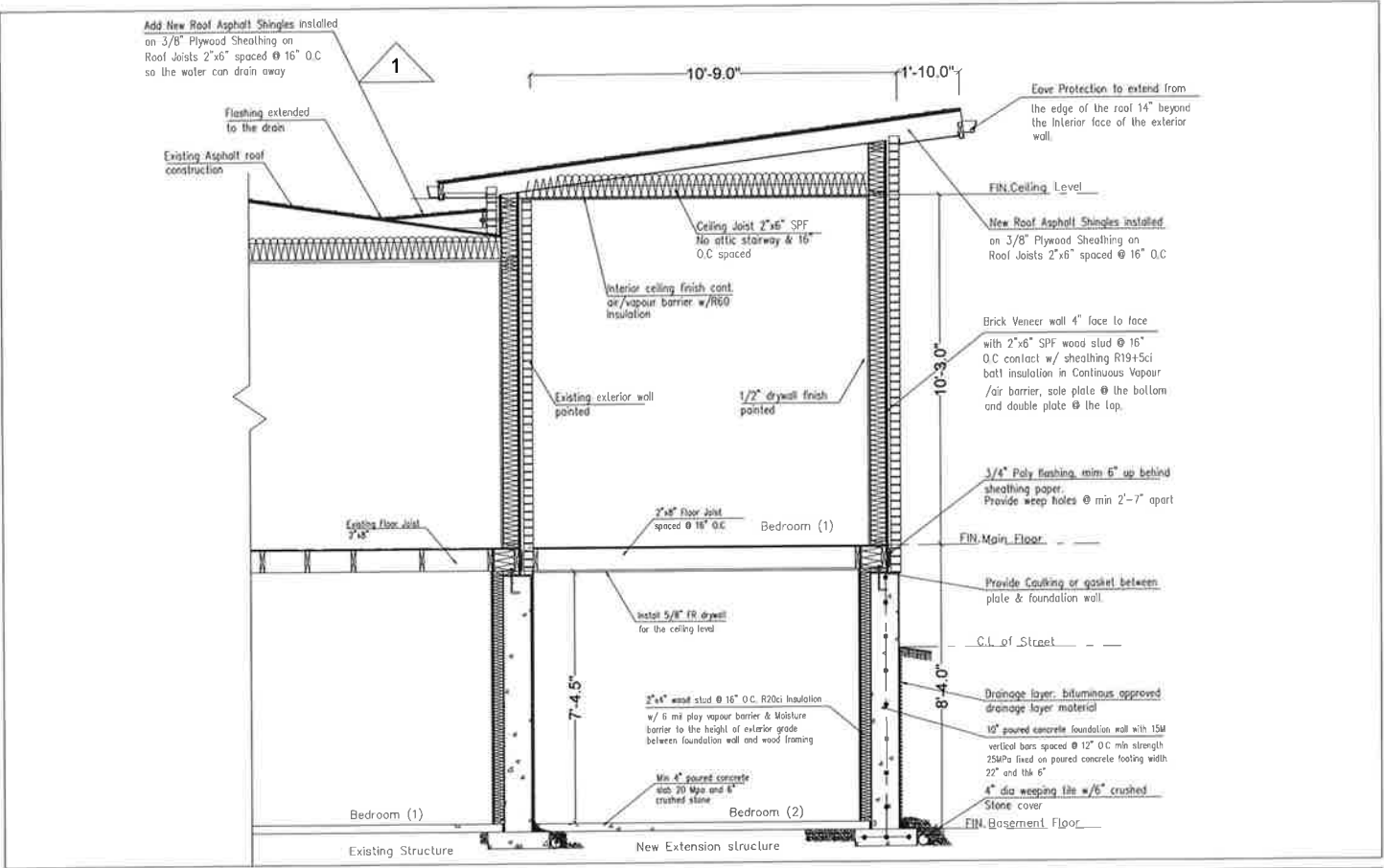
VH Leaders Contracting Inc. 110 710
Firm Name BCIN

Project Title:
Proposed Additional & Alteration to an existing one storey detached dwelling unit

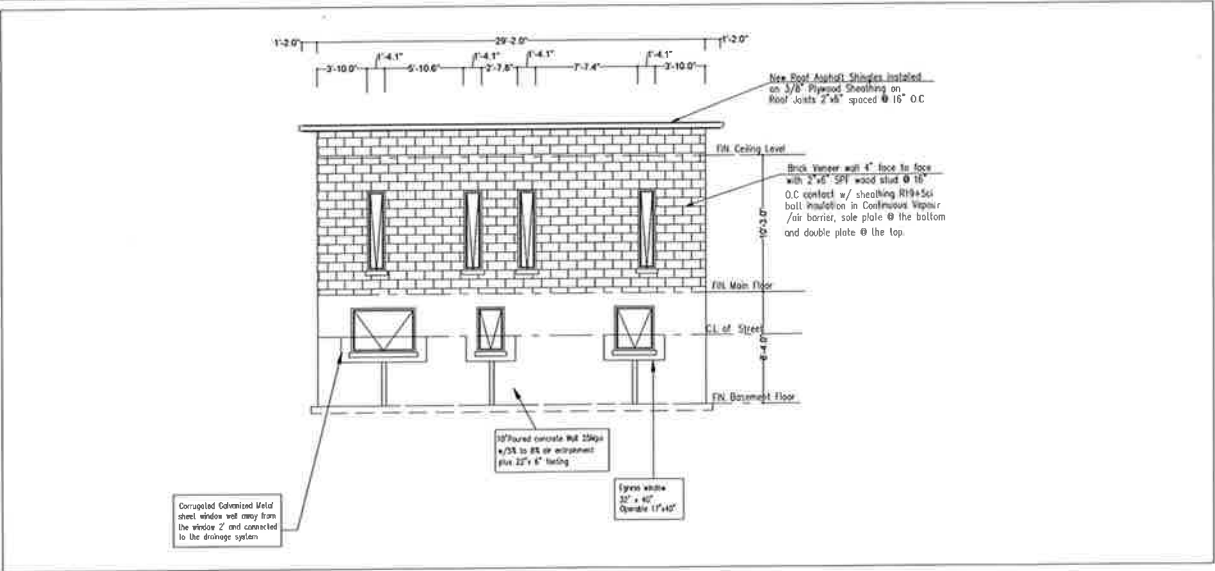
Drawing Title:
Existing & Proposed Roof Floor Plan

Designed WS	Checked: VS	Date: 11/28/2022
Discipline Architectural	Sheet no A1.4	Scale: 3/16\"=1'

Proposed Section S1



Proposed Elevation E2



Rev.	Issue Date	Description
0	01 / 06 / 2021	Issued for approval
1	11 / 28 / 2022	Issued for approval

Owner Name & Address:
Dante Limbaga, email: danfran_l@yahoo.com
96 Rutherford North Brampton, ON L6V2J2

Designer:
The Undersigned has reviewed & takes responsibility for the design work on behalf a firm registered under section 3.2.4 of Div C of building code.
Qualification information

Wissam Sami
Name
111895
BCIN

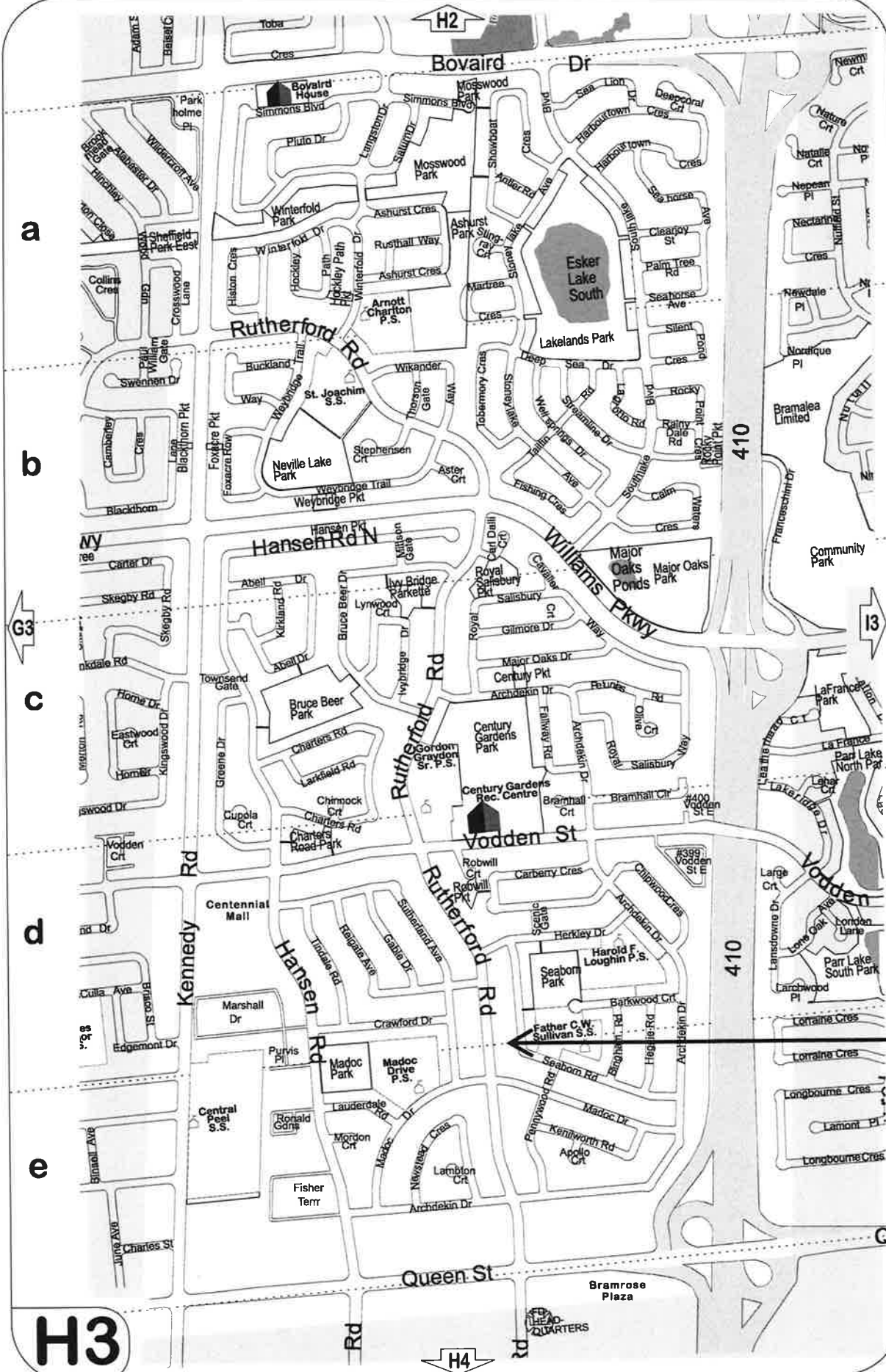
Registration information
Required unless design exempt under section C-3.2.4.1 of the Building Code

WH Leaders Contracting Inc.
Firm Name
118718
BCIN

Project Title:
Proposed Additional & Alteration to an existing one storey detached dwelling unit

Drawing Title:
Proposed Elevation & Sections (Sheet 2 of 2)

Designed WS	Checked: WS	Date: 11/28/2021
Discipline Architectural	Sheet no A3.1	Scale: 3/16"=1'



A-2023-0042