

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

Kevin Michael & Christine Michael

Address

4 Alderway Avenue, Brampton, ON, L6Y 2B6

Phone #

4166595329

Fax #

Email

kevin.michael.905@gmail.com
2.

Name of Agent

Sarah Mahdi

Address

135 Weir Chase, Mississauga, L5V 2W9, ON

Phone #

647-281-9294

Fax #

Email

sarah@snsdesignandbuild.com
3.

Nature and extent of relief applied for (variances requested):
4.

Why is it not possible to comply with the provisions of the by-law?
5.

Legal Description of the subject land:

Lot Number

152

Plan Number/Concession Number

646

Municipal Address

4 Alderway Ave. Brampton, ON L6Y 2B6
6.

Dimension of subject land (in metric units)

Frontage

18.29

Depth

30.48

Area

557.418
7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

Ground floor area: 195.28 sq.mGFA: 195.281-storey dwellingPorch: 10.81

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

2-units in basement floor: total area 151.36 sq.mGFA: 346.64 sq.m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	5.78
Rear yard setback	3.97
Side yard setback	1.73
Side yard setback	5.49

**PROPOSED**

Front yard setback	5.78
Rear yard setback	3.97
Side yard setback	1.73
Side yard setback	5.49

10. **Date of Acquisition of subject land:** January 31, 2024
11. Existing uses of subject property: Single family dwelling
12. Proposed uses of subject property: 3-unit dwelling
13. Existing uses of abutting properties: Single family dwelling
14. **Date of construction of all buildings & structures on subject land:** 1963
15. **Length of time the existing uses of the subject property have been continued:** 60 years

16. (a) What water supply is existing/proposed?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Well      | <input type="checkbox"/>            |                       |
- (b) What sewage disposal is/will be provided?
- |           |                                     |                       |
|-----------|-------------------------------------|-----------------------|
| Municipal | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Septic    | <input type="checkbox"/>            |                       |
- (c) What storm drainage system is existing/proposed?
- |         |                                     |                       |
|---------|-------------------------------------|-----------------------|
| Sewers  | <input checked="" type="checkbox"/> | Other (specify) _____ |
| Ditches | <input type="checkbox"/>            |                       |
| Swales  | <input type="checkbox"/>            |                       |

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____



Signature of Applicant(s) or Authorized Agent

DATED AT THE 13<sup>th</sup> OF February, 2024  
THIS 19 DAY OF January, 2024.

**IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.**

I, Sarah Mahdi, OF THE city OF mississauga  
IN THE region OF peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel  
THIS 13<sup>th</sup> DAY OF February, 2024.



Signature of Applicant or Authorized Agent

Clara Vani  
A Commissioner etc.

Clara Vani  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton

Expires September 20, 2026

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R1B

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.



Zoning Officer

2024-02-07

Date

DATE RECEIVED

February 13, 2024

Date Application Deemed  
Complete by the Municipality

Clara

Revised 2022/02/17



**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 4 Alderway Ave.


I/We, Kevin Michael & Christine Michael  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Sarah Mahdi  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 1 day of February, 2024.

  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**



**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 4 Alderway Av.

I/We, Kevin Michael & Christine Michael  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

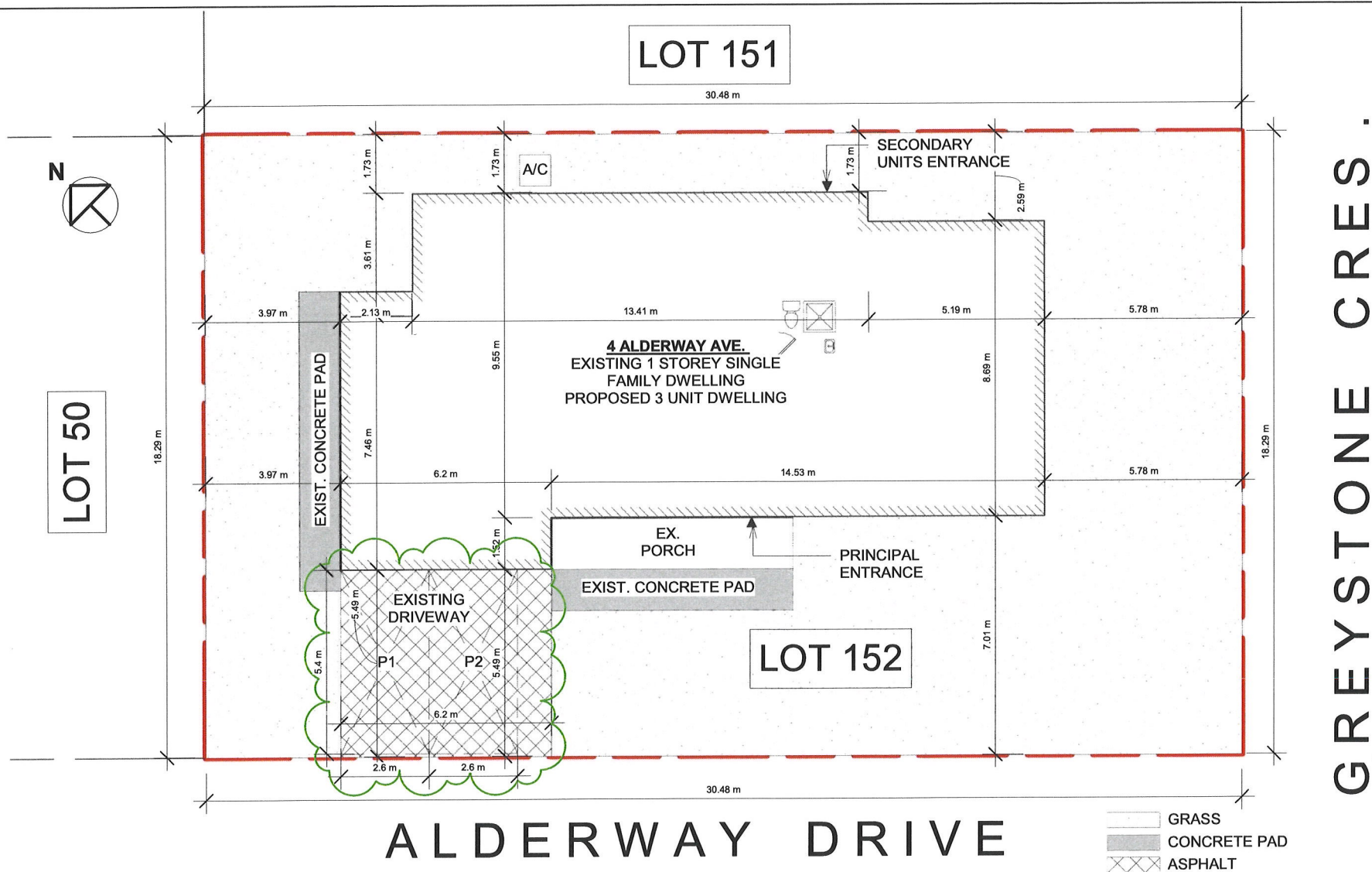
Dated this 1 day of February, 20 24.

\_\_\_\_\_  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**



1 PROPOSED SITE PLAN  
1 : 128



NOTES:

DRAWINGS MUST NOT BE SCALED  
DRAWINGS TO BE READ IN CONJUNCTION WITH THE  
GENERAL NOTES AND THE O.B.C.

All drawings & information shown on these drawings must  
be checked & verified on site prior to construction or  
fabrication of its components. Unless noted otherwise, no  
provision has been made in the design for conditions  
occurring during construction.

It shall be the responsibility of the contractor to provide all  
necessary bracing, shoring, sheet piling, or other  
temporary supports, to safeguard all existing or adjacent  
structures affected by construction. All dimensions are  
given in imperial units unless otherwise indicated.

All drawings are the property of the Architect / Designer &  
must be returned upon request.



ADDRESS:

4 Alderway Ave.  
Brampton, ON L6Y 2B6

PROJECT:

THREE UNIT DWELLING

GENERAL NOTES

Date: 2024-01-30  
Drawn by: S.M  
Checked by: S.I

A100

Scale:

GENERAL TAGS (UNLESS OTHERWISE NOTED)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS.

1 ROOF CONSTRUCTION

ROOF FINISH, ON  
2-PLY ROOF MEMBRANE,  
3/4" EXT. PLYWOOD SHEATHING WITH "H"  
CLIPS. APPROVED JOISTS AS PER PLANS. APPROVED  
EAVES PROTECTION TO EXTEND 900 mm (3'-0") FROM  
EDGE OF ROOF AND MIN. 300 mm (12") BEYOND INNER  
FACE OF EXTERIOR WALL. PREFIN. ALUM.  
EAVESTROUGH, FASCIA, RWL.

2 RSI 10.57 (R60) ROOF INSULATION AND  
APPROVED VAPOUR BARRIER, 16mm (5/8") INT.  
DRYWALL FINISH OR APPROVED EQUAL  
(R31) ROOF INSULATION IF NO ATTIC SPACE.

3 FOUNDATION WALL/ FOOTINGS: -SEE OBC 9.15.4-

POURED CONC. FDTN. WALL WITH BITUMINOUS  
DAMP-PROOFING WITH DRAINAGE LAYER, PROVIDE  
PARGING COVER ON (22"x8") CONTIN.  
KEYED CONC. FTG. REINFORCED WITH 2-15M CONT.  
PROVIDE DOWELS INTO FTG TO MATCH VERTICAL  
STEEL IN WALLS AND COLUMNS EXCEPT WHEN NOTED  
OTHERWISE. BRACE FOUNDATION WALL.  
PRIOR TO BACKFILLING. ALL FOOTINGS SHALL  
REST ON NATURAL UNDISTURBED SOIL OR  
COMPACTED ENGINEERED FILL, WITH MINIMUM  
BEARING CAPACITY OF 150kPa SERVICIBILITY LIMIT  
STATES (SLs) OR GREATER AND 200kPa ULTIMATE  
LIMIT STATES (ULS).

4 100mm (4") DIA. WEEPING TILE 150mm (6")  
CRUSHED STONE OVER AND AROUND WEEPING  
TILES.

5 BASEMENT SLAB

80mm (3") MIN. 25MPa (3600psi) CONC. SLAB  
ON 100mm (4") COARSE GRANULAR FILL, OR  
15MPa (2200psi) CONC. WITH DAMPROOFING  
BELOW SLAB.

6 38X140 (2"x6") SILL PLATE WITH 13mm (1/2")  
DIA. ANCHOR BOLTS 200mm (8") LONG.  
EMBEDDED MIN. 100mm (4") INTO CONC. @  
1200mm (4'-0") O.C., CAULKING OR 25mm (1")  
MIN. MINERAL WOOL BETWEEN PLATE AND TOP  
FDTN. WALL, USE NON-SHRINK GROUT TO LEVEL  
SILL PLATE WHEN REQUIRED.

7 BEARING STUD PARTITION

38X150 (2"x6") STUDS @ 400mm (16") O.C.  
38X150 (2"x6") SILL PLATE ON DAMPPROOFING  
MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS  
200mm (8") LONG, EMBEDDED MIN. 100mm  
(4") INTO CONC. @ 1200mm (4'-0") O.C.  
100mm (4") HIGH CONC. CURB ON 350X155  
(14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING  
AT MID-HEIGHT IF WALL IS UNFINISHED.

8 INTERIOR STUD PARTITIONS

BEARING PARTITIONS 38X89 (2"x4") @ 400mm  
(16") O.C. FOR 2 STOREYS AND 300mm (12")  
O.C. FOR 3 STOREYS. NON-BEARING PARTITIONS  
38X89 (2"x4") @ 600mm (24") O.C., PROVIDE  
38X89 (2"x4") BOTTOM PLATE AND 2/ 38X89  
(2-2"x4") TOP PLATE. 13mm (1/2") INTERIOR  
DRYWALL BOTH SIDES OF STUD, PROVIDE 38/140  
(2"x4" OR 2"x6") STUDS/PLATES WHERE NOTED.

9 EXPOSED FLOOR TO EXTERIOR

PROVIDE (R31) INSULATION, APPROVED  
VAPOUR BARRIER AND CONTINUOUS AIR BARRIER,  
FINISHED SOFFIT.

10 STEEL COLUMN (SEE O.B.C. 9.15.3.3)

HSS 4"x4"x1/4" ST. COL. C/W 6"x6"x1/2" PL. TOP WELD  
TO BEAM & 6"x8"x1/2" BASE PL. C/W 2 - 1/2" DIA. 12"  
LONG 2" HOOK ANCHORS SET INTO CONC.  
FIELD WELD COL. TO BASE PL.

11 STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3)

90mm (3-1/2") DIA x 4.78mm (.188") FIXED  
OR ADJUSTABLE STL. COL. W/ MAX ALLOWABLE  
LOAD OF 108.6kN (24,000LBS) W/ 150X150X9.5  
(6"x6"x3/8") STL. TOP & BOTTOM PLATE ON  
1070X1070X460 (42"x42"x18") CONC. FOOTING  
ON UNDISTURBED SOIL OR ENG. FILL CAPABLE  
OF SUSTAINING A PRESSURE OF 125 kPa. MIN.  
AND AS PER SOILS REPORT.

12 STEEL COLUMN

90mm (3-1/2") DIA x 4.78mm (.188) NON-  
ADJUSTABLE STL. COLUMN WITH 150X150X9.5  
(6"x6"x3/8") STEEL TOP PLATE.  
BASE PLATE 120X250X12.5 (4 1/2"x10"x12")  
WITH 2-12mm DIA. x 300mm LONG x 50mm  
HOOK ANCHORS (2-1/2"x12"x2") FIELD  
WELD COLUMN TO BASE PLATE.

13 BEAM POCKET OR 200X200 (8"x8") POURED  
CONCRETE NIB WALLS.  
MINIMUM BEARING 90mm (3-1/2").

14 STEEL BEARING PLATE FOR MASONRY WALLS

280X280X16 (11"x11"x 5/8") STL. PLATE FOR  
STL. BEAMS AND 280X280X12 (11"x11"x1/2")  
STL. PLATE FOR WOOD BEAMS BEARING ON CONC.  
BLK. PARTYWALL, ANCHORED W/ 2-19mm (3/4")  
X200mm (8") LONG GALV. ANCHORS WITHIN SOLID  
BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

OR  
SOLID WOOD BEARING FOR WOOD STUD WALLS

SOLID BEARING TO BE AT LEAST AS WIDE AS THE  
SUPPORTED MEMBER. SOLID WOOD BEARING  
COMPRISED OF BUILT-UP WOOD STUDS TO BE  
CONSTRUCTED IN ACCORDANCE WITH  
OBC. 9.17.4.2 (2).

15 3-38X89 (3-2"x4") BUILT-UP-POST ON  
METAL BASE SHOE ANCHORED TO CONC.  
WITH 12.7 (1/2") DIA. BOLT, 610X610X300  
(24"x24"x12") CONCRETE FOOTING.

16 STEP FOOTINGS: MIN. HORIZ. STEP = 864mm  
(2'-10"). MAX. VERT. STEP = 600mm (23 5/8")  
FOR FIRM SOILS. 400mm (16") MAX. STEP  
FOR SAND AND GRAVEL.

17 COLD CELLAR PORCH SLAB

6" 32MPa CONC. SLAB WITH 5-8% AIR  
ENTRAINMENT. WITH REINF. BARS AS NOTED.  
SLOPE SLAB MIN. 1.0% FROM DOOR.

18 THE FDTN. WALL SHALL NOT BE REDUCED TO  
LESS THAN 90mm (3-1/2") THICK TO A MAX.  
DEPTH OF 600mm (24") AND SHALL BE TIED  
TO THE FACING MATERIAL WITH METAL TIES  
SPACED 200mm (8") O.C. VERTICALLY AND  
900mm (36") O.C. HORIZONTALLY. FILL SPACE  
BETWEEN WALL AND FACING SOLID WITH MORTAR.

19 GARAGE SLAB: 100mm (4") 32 MPa (4640psi)  
CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON  
MIN. 100 (4") COARSE GRANULAR FILL WITH  
COMPACTED SUB-BASE OR COMPACTED NATIVE  
FILL. SLOPE TO FRONT AT 1% MIN.

20 13mm (1/2") GYPSUM BD. ON WALL AND CEILING  
BETWEEN HOUSE AND GARAGE,  
(R22) IN WALLS, (R31) IN CEILING.  
TAPE AND SEAL ALL JOINTS GAS TIGHT.

21 DOOR AND FRAME GASPROOFED. DOOR  
EQUIPPED WITH SELF CLOSING DEVICE AND  
WEATHERSTRIPPING.

22 FIREPLACE CHIMNEYS -OBC. 9.21.-  
TOP OF FIREPLACE CHIMNEY SHALL BE 915mm  
(3'-0") ABOVE THE HIGHEST POINT AT WHICH  
IT COMES IN CONTACT WITH THE ROOF  
AND 610mm (2'-0") ABOVE THE ROOF SURFACE  
WITHIN A HORIZ. DISTANCE OF 3050mm  
(10'-0") FROM THE CHIMNEY.

23 MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR,  
TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.

24 U.L.C. RATED CLASS "B" VENT 610mm (2'-0")  
ABOVE THE POINT IN CONTACT WITH THE  
ROOF FOR SLOPES UP TO 9/12.  
REFER TO THE ONTARIO GAS UTILIZATION CODE.

25 CAPPED DRYER EXHAUST VENTED TO EXTERIOR  
C/W INSECT SCREEN.

26 ATTIC ACCESS HATCH MIN. 545X700 (22"x28") WITH  
WEATHERSTRIPPING. RSI 5.4 (R40) RIGID  
INSULATION BACKING.

27 DIRECT VENT FURNACE TERMINAL MIN. 900mm  
(36") FROM A GAS REGULATOR. MIN. 300mm  
(12") ABOVE FIN. GRADE, FROM ALL OPENINGS,  
EXHAUST & INTAKE VENTS. HRV INTAKE TO BE A  
MIN. OF 1830mm (6'-0") FROM ALL EXHAUST  
TERMINALS. REFER TO GAS UTILIZATION CODE.

28 DIRECT VENT GAS FIREPLACE. VENT TO BE  
A MINIMUM 300mm (12") FROM ANY OPENING  
AND ABOVE FIN. GRADE. REFER TO GAS  
UTILIZATION CODE.

29 ALL STAIRS/ EXTERIOR STAIRS -OBC. 9.8.-

MAX. RISE = 200 (7-7/8")  
MIN. RISE = 125 (4-7/8")  
MIN. RUN = 255 (10")  
MAX. NOSING = 25 (1")  
MIN. HEADROOM = 1950 (6'-5")  
RAIL @ LANDING = 900 (2'-11")  
RAIL @ STAIR = 865 (2'-10")  
MIN. STAIR WIDTH = 860 (2'-10")

FOR CURVED STAIRS  
MIN. RUN NARROW END = 150 (6")  
MIN. RUN = 200 (8")

30 FINISHED RAILING ON PICKETS SPACED  
MAXIMUM 100mm (4") BETWEEN PICKETS.  
GUARDS -OBC. 9.8.8.2.-  
INTERIOR GUARD: 900mm (2'-11") MIN.  
EXTERIOR GUARDS: 1070mm (3'-6") MIN.

31 RESIDENTIAL - GUARD DESIGN LOADS  
SINGLE FAMILY DWELLING 9.8.7.7.(1)(a)

a) a concetrated load at any point of not less than  
0.9KN (202lbs).  
b) for handrails other than those serving a single dwelling unit,  
a uniformly distributed load of 0.7kN/m (48lbs/ ft)

32 SUBFLOOR, JOIST STRAPPING AND BRIDGING

-16mm (5/8") T & G SUBFLOOR ON WOOD  
FLOOR JOISTS. FOR CERAMIC TILE APPLICATION  
(\*SEE OBC 9.30.6.\*)  
6mm (1/4") PANEL TYPE UNDERLAY UNDER  
RESILIENT & PARQUET FLOORING.  
(\*-SEE OBC 9.23.9.4\*)  
ALL JOISTS TO BE BRIDGED WITH 38X38 (2"x2")  
CROSS BRACING OR SOLID BLOCKING @ 2100mm  
(6'-11") O.C. MAX. ALL JOISTS TO BE  
STRAPPED WITH 19X64 (1"x3") @ 2100mm  
(6'-11") O.C. UNLESS A PANEL TYPE CEILING  
FINISH IS APPLIED.

33 EXPOSED BUILDING FACE -OBC. 9.10.14.11-  
EXTERIOR WALLS TO HAVE A FIRE RESISTANCE  
RATING OF NOT LESS THAN 45 mins. WHERE  
LIMITING DISTANCE IS LESS THAN 1.2M (3'-11").  
WHERE THE LIMITING DISTANCE IS LESS THAN  
600mm (1'-11") THE EXPOSING FACE SHALL  
BE CLAD IN NON-COMBUSTIBLE MATERIAL.

34 CONVENTIONAL ROOF FRAMING

38X140 (2"x6") RAFTERS @ 400mm (16" O.C.),  
38x184 (2"x8") RIDGE BOARD. 38X89 (2"x4")  
COLLAR TIES AT MIDSPANS. CEILING JOISTS TO  
BE 38X89 (2"x4") @ 400mm (16") O.C. FOR MAX.  
2830mm (9'-3") SPAN & 38X140 (2"x6") @ 400  
(16") O.C. FOR MAX. 4450mm (14'-7") SPAN.  
RAFTERS FOR BUILT-UP ROOF TO BE 38X89  
(2"x4") @ 600mm (24") O.C. WITH A 38X89  
(2"x4") CENTRE POST TO THE TRUSS BELOW,  
LATERALLY BRACED @ 1800mm (6'-0") O.C.  
VERTICALLY.

35 TWO STOREY VOLUME SPACES

FOR A MAXIMUM 5490mm (18'-0") HEIGHT,  
PROVIDE 2-38X140 (2-2"x6") CONTINUOUS STUDS  
@ 300mm (12") O.C. FOR BRICK AND 400mm (16")  
O.C. FOR SIDING. PROVIDE SOLID WOOD BLOCKING  
BETWEEN STUDS @ 1220mm (4'-0") O.C. VERT.  
FOR HORIZ. DISTANCES NOT EXCEEDING 2900 mm  
(9'-6"), PROVIDE 38-140 (2"x6") STUDS  
@ 400 mm (16") O.C. WITH A CONTINUOUS HEADER  
AT THE GROUND FLOOR CEILING LEVEL. TOENAILED  
AND GLUED TO TOP PLATES.

GASPROOFING NOTES FOR CONSTRUCTION  
BETWEEN GARAGE & DWELLING

ATTACHED GARAGES MUST BE COMPLETELY  
SEALED TO PREVENT INFILTRATION OF GASES  
INTO DWELLING.

a) PROVIDE 13mm (1/2") GYPSUM BOARD WITH MIN.  
2 COATS OF JOINT COMPOUND AT ALL  
WALLS ADJACENT TO DWELLING.  
b) CAULK JOINTS BETWEEN GYPSUM BOARD  
& OTHER SURFACES WITH ACOUSTIC SEALANT  
c) CAULK PENETRATIONS SUCH AS HOSE  
BIBS WITH ACOUSTIC SEALANT.  
D) 9.10.13.15. Doors Between Garages & dwelling units  
(1) A door between an attached or built-in garage  
and a dwelling unit shall be tight-fitting and  
weatherstripped to provide an effective barrier  
against the passage of gases & exhaust fumes and  
shall be fitted with a self-closing device.

O.B.C. 9.10.9.16

NOTE:  
ALL CONSTRUCTION NOTES TO BE USED AS A  
REFERENCE. NOTES AND ASSEMBLIES MAY DIFFER AS  
INDICATED ON PLANS.

NOTE:  
ROOF TRUSS INFORMATION REFER TO ROOF TRUSS  
SHOP DRAWINGS FOR ALL ROOF FRAMING  
INFORMATION UNLESS OTHERWISE NOTED.

NOTE:  
ALL BEAMS SUPPORTING FLOOR LOADS ARE  
SPECIFIED AS PER P. ENG. THE FLOOR TRUSS  
MANUFACTURER TO VERIFY ALL LVL BEAM SIZES FOR  
SHOP DRAWINGS.

NOTE:  
FLOOR FRAMING INFO REFER TO TJI SHOP  
DRAWINGS FOR ALL TRUSS-JOIST INFORMATION  
AND DETAILS. UNLESS OTHERWISE NOTED.

NOTE:  
TYPICAL FOR ALL FLOORS:

- FLOOR SHALL BE 3/4" PLYWOOD. GLUED AND NAILED  
TO JOISTS TYP.

- ALL JOISTS SHALL HAVE A MIN. BEARING OF 1 3/4" AT  
SUPPORTS TYP. U/ND

- WOOD/PSL/LVL BEAMS SHALL HAVE A MIN. BEARING  
OF 3-1/2" AT SUPPORT TYP. U/ND



GENERAL NOTES	
1.	ALL DIMENSIONS ARE IN IMPERIAL UNLESS OTHERWISE NOTED
2.	CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES.
3.	DO NOT SCALE DRAWINGS
4.	ALL WORK SHALL COMPLY WITH THE ONTARIO BUILDING CODE 2012 AND THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION. THIS DRAWING SET IS THE EXCLUSIVE PROPERTY OF HNS ENGINEERING INC. COPYRIGHT RESERVED.
6.	CONTRACTOR SHALL NOT MAKE ANY CHANGES OR MODIFICATIONS WITHOUT CONSULTANT'S WRITTEN CONSENT. CONTRACTOR ASSUMES FULL LEGAL AND CONTRACTUAL LIABILITY FOR ANY UNAUTHORIZED CHANGES. CONTRACTOR SHALL CORRECT THEM AT HIS/HER OWN COST. CONTRACTOR TO SCHEDULE WORK SO IT DOES NOT INTERFERE WITH NORMAL TENANT OPERATIONS.
8.	COORDINATE ALL INTERIOR WORK WITH TENANTS. PROVIDE MIN. 72 HOURS NOTICE TO TENANTS.
9.	THE CONTRACTOR, HIS TRADES & SUPPLIERS SHALL PROVIDE SERVICES AND MATERIALS IN COMPLIANCE WITH THE EXISTING CODES, STANDARDS AND INDUSTRY GUIDELINES.
10.	ALL WORK UPON COMPLETION SHALL BE SUFFICIENT TO OBTAIN THE OCCUPANCY PERMIT. ANY REVISIONS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION SHALL BE AT THE EXPENSE OF THE CONTRACTOR, TRADE OR SUPPLIER.
11.	COORDINATE GARBAGE CONTAINER LOCATION WITH CONSULTANT AND/OR HOME OWNER.
12.	COORDINATE ANY POWER SHUT-OFFS WITH HOME OWNER.
13.	ALL EXISTING WALL AND FLOOR THICKNESSES AND DETAILING TO BE VERIFIED ON SITE FOR COHESION WITH PLANNED WORK.
14.	EXISTING ROOF HEIGHTS AND SLOPES TO BE VERIFIED ON SITE.

GENERAL DEMOLITION NOTES	
1.	FOR USE OF ON-SITE FACILITIES COORDINATE WITH HOME OWNER AND/OR CONSULTANT.
2.	FOR ANY FRIABLE ASBESTOS CONTAINING MATERIALS (ACM) ENCOUNTERED, SUSPECTED, OR ANY ACM DAMAGED DURING WORK OPERATIONS, NOTIFY CONSULTANT. DO NOT DISTURB SUCH MATERIAL PENDING INSTRUCTIONS FROM ENVIRONMENTAL CONSULTANT.
3.	CONTRACTOR TO STORE ALL REMOVED MATERIALS IN SECURE WASTE CONTAINER.
4.	ALL SECURITY SYSTEM REMOVALS TO BE COORDINATED WITH OWNER'S SECURITY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
5.	CONTRACTOR SHALL VERIFY ALL SECURITY AND ACCESS SYSTEM INSTALLATIONS AND ENSURE THAT SUCH INSTALLATIONS HAVE NOT REDUCED THE PERFORMANCE OF COMPONENTS OR RENDERED THE PRODUCT'S WARRANTY VOID. PROVIDE COMMISSIONING REPORTS FOR ALL SECURITY AND ACCESS SYSTEMS.
6.	CONTRACTOR TO PROTECT ALL ADJACENT SURFACES AND ASSEMBLIES FROM DAMAGE. ALL SURFACES AND ASSEMBLIES DAMAGED BY CONTRACTOR TO BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
7.	PROTECT EXISTING HVAC SYSTEM THROUGHOUT DURATION OF WORK. SHUT DOWN HVAC SYSTEM PRIOR TO SANDING AND/OR DEMOLISHING GYPSUM ASSEMBLIES. CLEAR ALL DUST AND POLLUTED AIR BEFORE TURNING SYSTEM ON. NOTIFY AND COORDINATE WITH CONSULTANT AND HOME OWNER PRIOR TO SHUTTING DOWN HVAC SYSTEM.
8.	SHUT DOWN AFFECTED FIRE ALARM ZONE DURING HOT WORK, REACTIVE FIRE ALARM ZONE.
9.	STEEL CUTTING WITH POWER EQUIPMENT SHALL BE DONE WITH BURR-FREE SAW BLADES. KEEP SAW BLADES WELL LUBRICATED (SPARKS & FUMES ARE PROHIBITED).
10.	CONTRACTOR TO REMOVE TO SOURCE ALL ABANDONED AND UNUSED INFRASTRUCTURE WIRES & CABLES IN CEILING CAVITIES, PLENUMS, & WALLS AFFECTED BY WORK UNDER THIS CONTRACT.
11.	PROTECT EXISTING FLOOR FINISHES WITH THICK POLYETHYLENE BARRIERS OR PAINTER'S SHEETS THROUGHOUT DEMOLITION & CONSTRUCTION.
12.	PROTECT ADJACENT SURFACES AT ALL TIMES WHEN PAINTING AND/OR REPAINTING. DAMAGED OR STAINED SURFACES RESULTING FROM NEGLIGENCE SHALL BE RECTIFIED AT THE CONTRACTOR'S EXPENSE.
13.	CONTRACTOR SHALL PROVIDE ADEQUATE CONSTRUCTION FENCING, HOARDING, AND DUST/FUME BARRIERS AT ALL AREAS OF WORK & THROUGHOUT ENTIRE DURATION OF WORK IN ALL PHASES.
14.	EXISTING DRAWINGS REPRESENT RECORD DOCUMENTATION OF EXISTING BUILDING CONDITIONS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED.

WALL SCHEDULE (EXTERIOR TO INTERIOR)	
<div>FN1</div>	EXIST. FOUNDATION WALL (UNINSULATED) <ul style="list-style-type: none"><li>- BITUMINOUS DAMPROOFING WITH DRAINAGE LAYER TO GRADE, ON</li><li>- POURED CONCRETE FOUNDATION WALL (REFER TO PLANS FOR THICKNESS)</li></ul>
<div>FN2</div>	EXISTING FOUNDATION WALL (INSULATED) <ul style="list-style-type: none"><li>- REFER TO FN1, ADD</li><li>- 2" RIGID INSULATION BOARD (R10 CONT.), ON</li><li>- 2"x4" WOOD STUDS @ 16" O.C. W/BATTS INSULATION (R20), ON</li><li>- VAPOUR BARRIER, ON</li><li>- 1/2" DRYWALL</li></ul>
<div>W1</div>	EXTERIOR DOUBLE BRICK (EXISTING) <ul style="list-style-type: none"><li>- 3-1/2" BRICK VENEER AS PER ELEVATION, ON</li><li>- 1" AIR SPACE, ON</li><li>- BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER, ON</li><li>- 3 1/2" BRICK VENEER, LATH &amp; PLASTER</li></ul>
<div>W2</div>	NEW INTERIOR 2"x4" WALL <ul style="list-style-type: none"><li>- 1/2" DRYWALL, ON</li><li>- 2"x4" WOOD STUD @16" O.C, ON</li><li>- 1/2" DRYWALL</li></ul>
<div>P01</div>	NEW INTERIOR FIRE RATED WALL <ul style="list-style-type: none"><li>CONSTRUCTION COMPLIES WITH SUPPLEMENTARY STANDARDS TO THE O.B.C 2012 SB-3 TABLE 1 WALL NUMBER W4a</li><li>-38X89 mm (2X4) WOOD STUDS AT 400 mm (16") O.C.</li><li>-SINGLE 38X89mm (2X4) TOP AND BOTTOM PLATES.</li><li>-89mm (3 1/2") THICK ABSORPTIVE MATERIAL PROCESSED FROM ROCK, SLAG, GLASS, OR CELLULOSE FIBRE ON ONE SIDE</li><li>-RESILIENT CHANNEL @400mm O.C ON ONE SIDE OF WALL</li><li>-1 LAYER 15.9mm (5/8") TYPE "X" GYPSUM BOARD ON RESILIENT METAL CHANNEL SIDE.</li><li>-15.9 mm (5/8") TYPE "X" DRYWALL ON OTHER SIDE</li></ul>
ROOF SCHEDULE	
<div>R1</div>	EXISTING SLOPED ROOF
FLOOR SCHEDULE	
<div>F1</div>	EXISTING CONCRETE SLAB <ul style="list-style-type: none"><li>- 4" POURED CONCRETE SLAB, ON</li><li>- 4" COARSE GRANULAR FILL</li></ul>
<div>F2</div>	EXISTING 2X10 WOOD JOISTS <ul style="list-style-type: none"><li>- FINISHED FLOORING, ON</li><li>- 3/4" PLYWOOD SUBFLOOR, ON</li><li>-2X10 AS PER PLANS, ON</li><li>-1/2" DRYWALL</li></ul>

STRUCTURAL NOTES	
<b>WINDOW LINTEL SCHEDULE</b>  W1= 2-2X8 (3'-0" MAX. SPAN) W2= 2-2X10 (4'-6" MAX. SPAN) W3= 3-2X10 (6'-0" MAX. SPAN) W4= 3-2X12 (8'-0" MAX. SPAN)	
<b>STEEL LINTELS</b>  L1 = L3.5" X 3.5" X 1/4"(4'-0" MAX) L2 = L5" X 3.5" X 3/8" (7'-0" MAX) L3 = L6" X 4" X 3/8"(9'-0" MAX) L4 = L7" X 4" X 3/8"(11'-0" MAX)	
BOLT STEEL ANGLES TO WOOD LINTEL @24" O.C. ROVIDING MIN. OF 6" BEARING AT ENDS.	
ALL PRE-ENGINEERED JOISTS AND LVL TO BE HANDLED & INSTALLED AS PER MANUFACTURE'S INSTRUCTIONS.	



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All drawings are the property of the Architect / Designer & must be returned upon request.



ADDRESS:  
  
4 Alderway Ave.  
Brampton, ON L6Y 2B6

PROJECT:  
  
THREE UNIT DWELLING

**WALL TYPE & STRUCTURAL NOTES**

Date:	2024-01-30
Drawn by:	S.M
Checked by:	S.I
	<b>A101</b>
Scale:	



HNS  
Engineering Inc.

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ADDRESS:

4 Alderway Ave.  
Brampton, ON L6Y 2B6

PROJECT:

THREE UNIT DWELLING

EXISTING  
BASEMENT PLAN

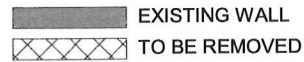
Date: 2024-01-30

Drawn by: S.M

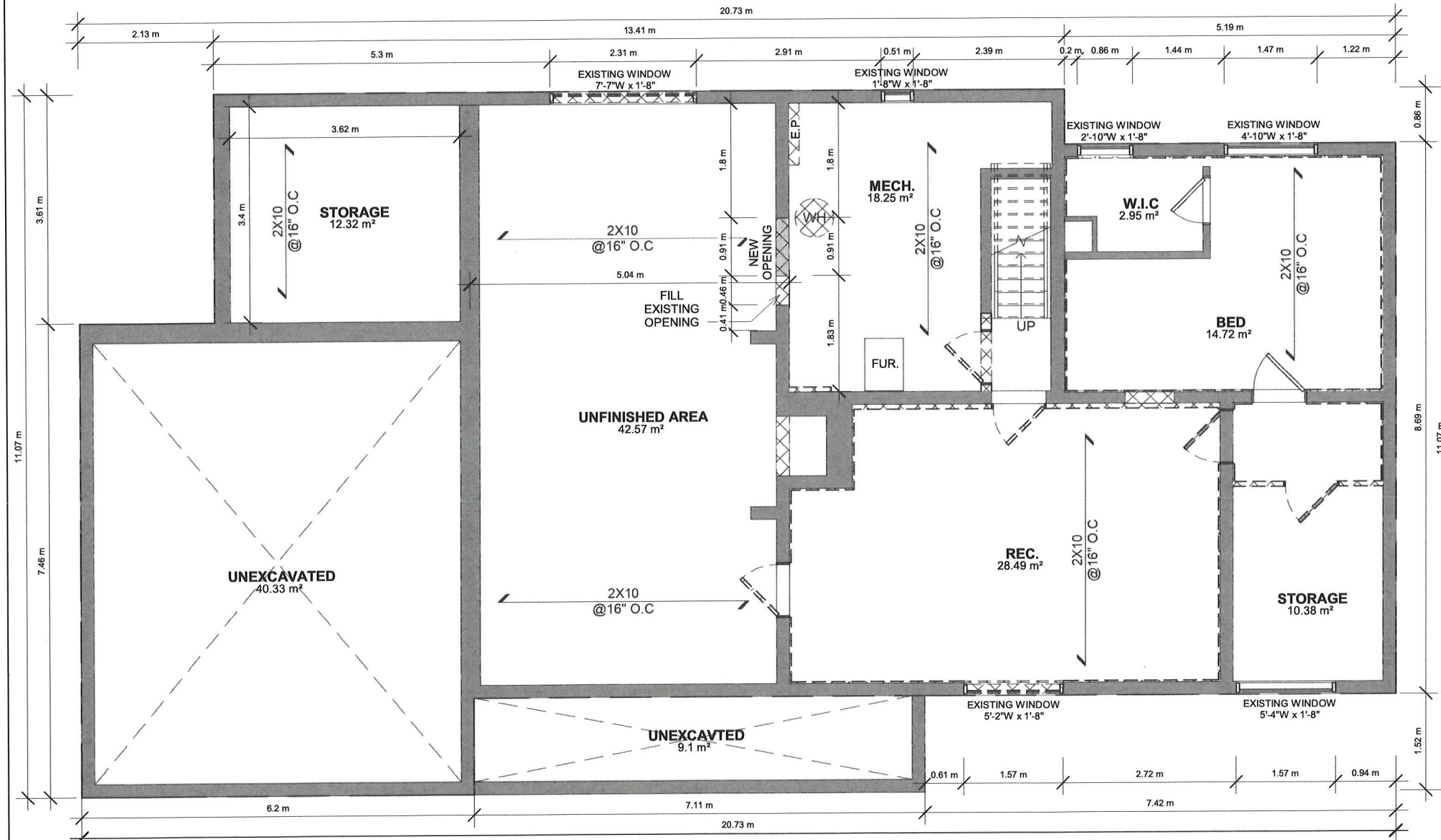
Checked by: S.I

A103

Scale: 1 : 64



AREA: 1,629 SQFT  
CEILING: 7'-6"



1

EXISTING BSMT PLAN

1 : 64



EXISTING WALL  
TO BE REMOVED

AREA: 2,119 SQFT  
CEILING: 8'-0"

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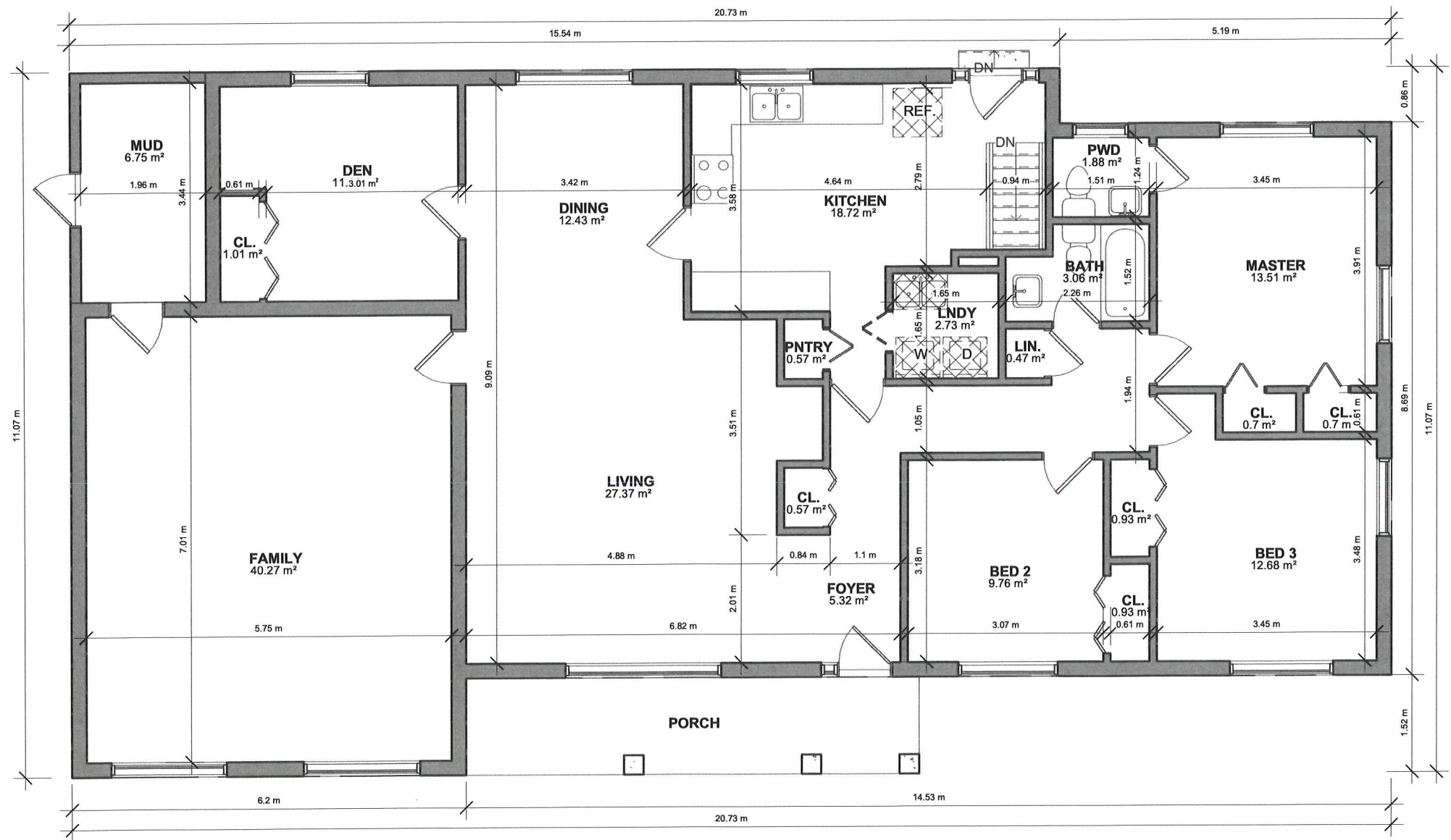
ADDRESS:  
4 Alderway Ave.  
Brampton, ON L6Y 2B6

PROJECT:  
THREE UNIT DWELLING

EXISTING GROUND  
FLOOR PLAN

Date: 2024-01-30  
Drawn by: S.M  
Checked by: S.I

A104  
Scale: 1 : 64



1 EXISTING GROUND FLOOR  
1 : 64





AREA: 1,599 SQFT  
UNIT #1: 739 SQFT  
UNIT #2: 727 SQFT

CEILING: 7'-6"  
\*NOTE:  
EXISTING 1/2" DRYWALL  
CEILING TO REMAIN

FURNACE MAY SERVE BOTH UNITS PROVIDED  
A SMOKE DETECTOR IS INSTALLED IN THE SUPPLY OR  
RETURN AIR DUCT SYSTEM WHICH WOULD TURN OFF THE  
FUEL SUPPLY AND ELECTRICAL POWER TO THE HEATING  
SYSTEM UPON ACTIVATION OF SUCH DETECTOR.

[AS PER OBC PART 11: C152 & C153]  
SPRINKLERED FURNACE RM. (NO FIRE RATED CEILING)  
DUCT-TYPE SMOKE DETECTOR SHALL BE INSTALLED IN  
DUCT SYSTEM IN FURNACE

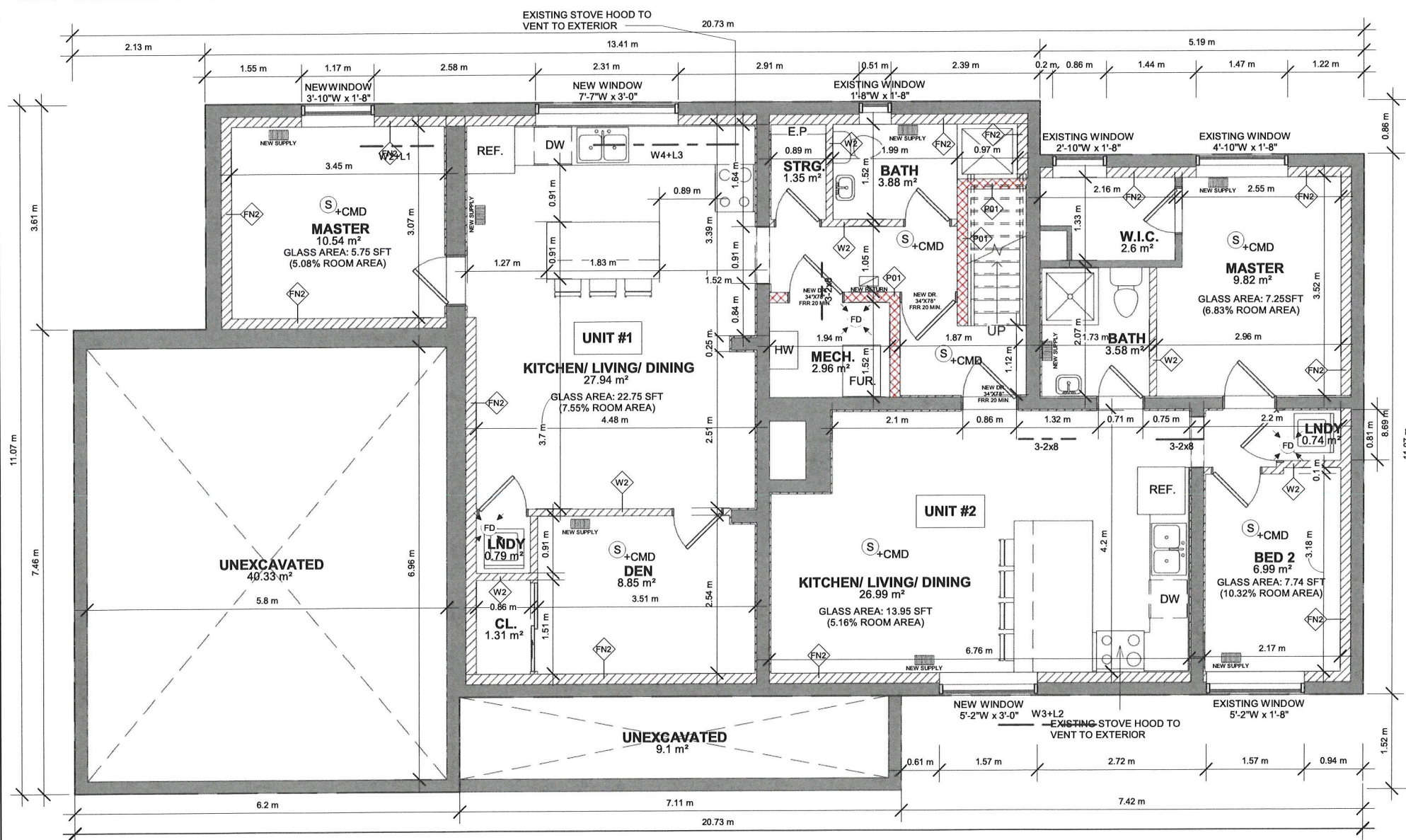


NOTES:  
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GENERAL NOTES AND THE O.B.C.

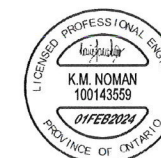
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1 PROPOSED BSMT PLAN  
1 : 64



ADDRESS:  
4 Alderway Ave.  
Brampton, ON L6Y 2B6

PROJECT:  
THREE UNIT DWELLING

PROPOSED  
BASEMENT PLAN

Date: 2024-01-30  
Drawn by: S.M  
Checked by: S.I

A105

Scale: 1 : 64

EXISTING WALL  
FRR WALL

AREA: 2,119 SQFT  
CEILING: 8'-0"



HNS  
Engineering Inc.

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ADDRESS:

4 Alderway Ave.  
Brampton, ON L6Y 2B6

PROJECT:

THREE UNIT DWELLING

PROPOSED GROUND  
FLOOR PLAN

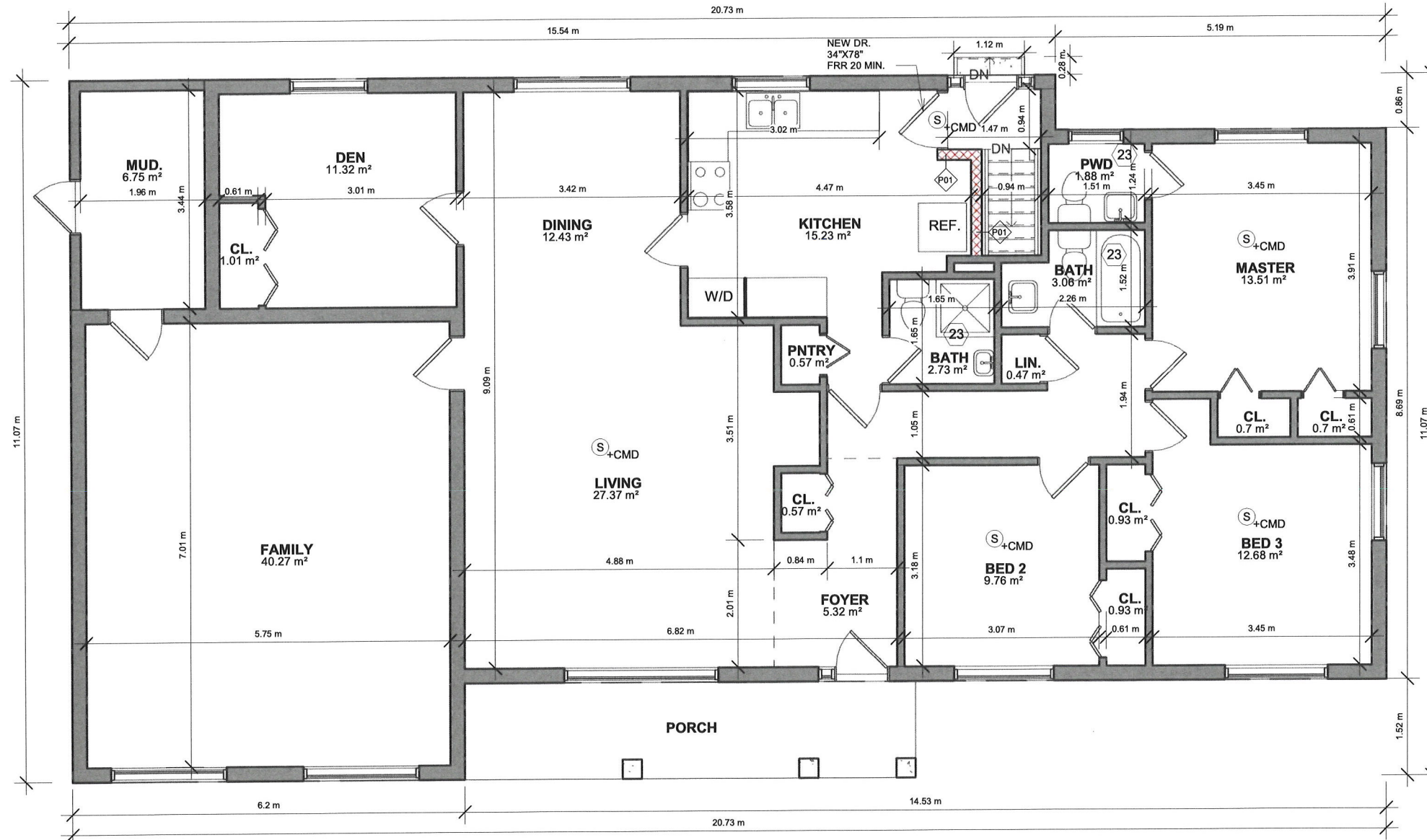
Date: 2024-01-30

Drawn by: S.M

Checked by: S.I

A106

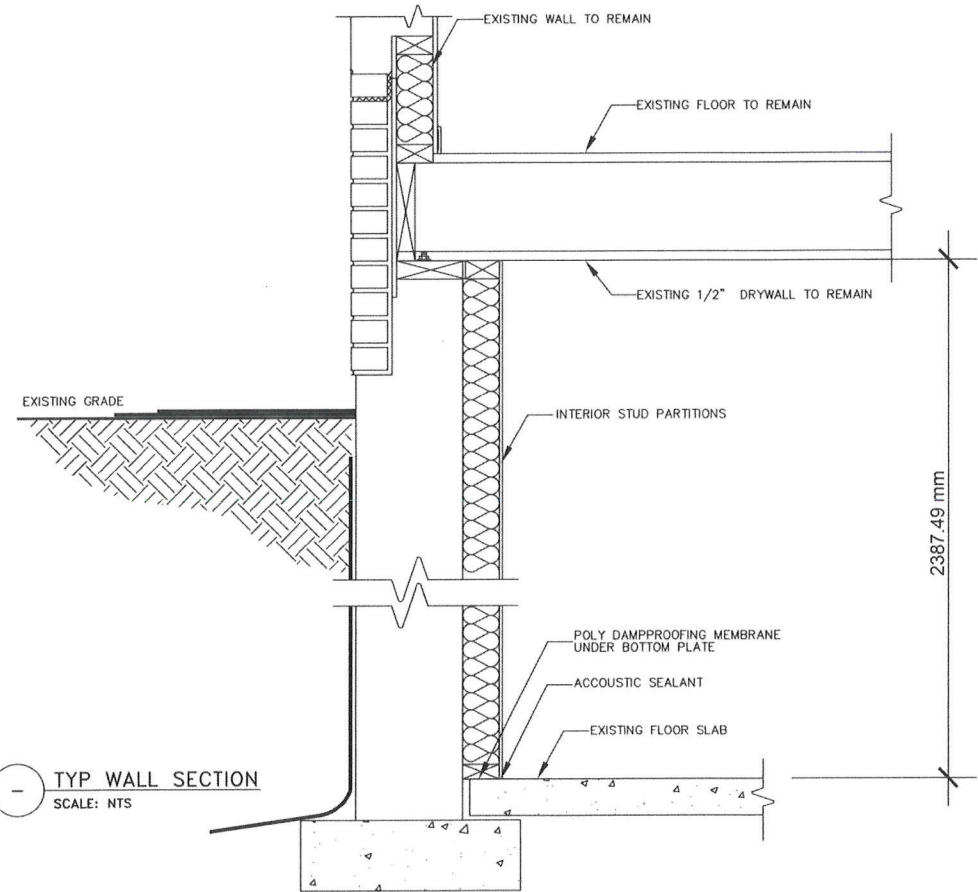
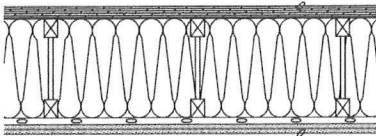
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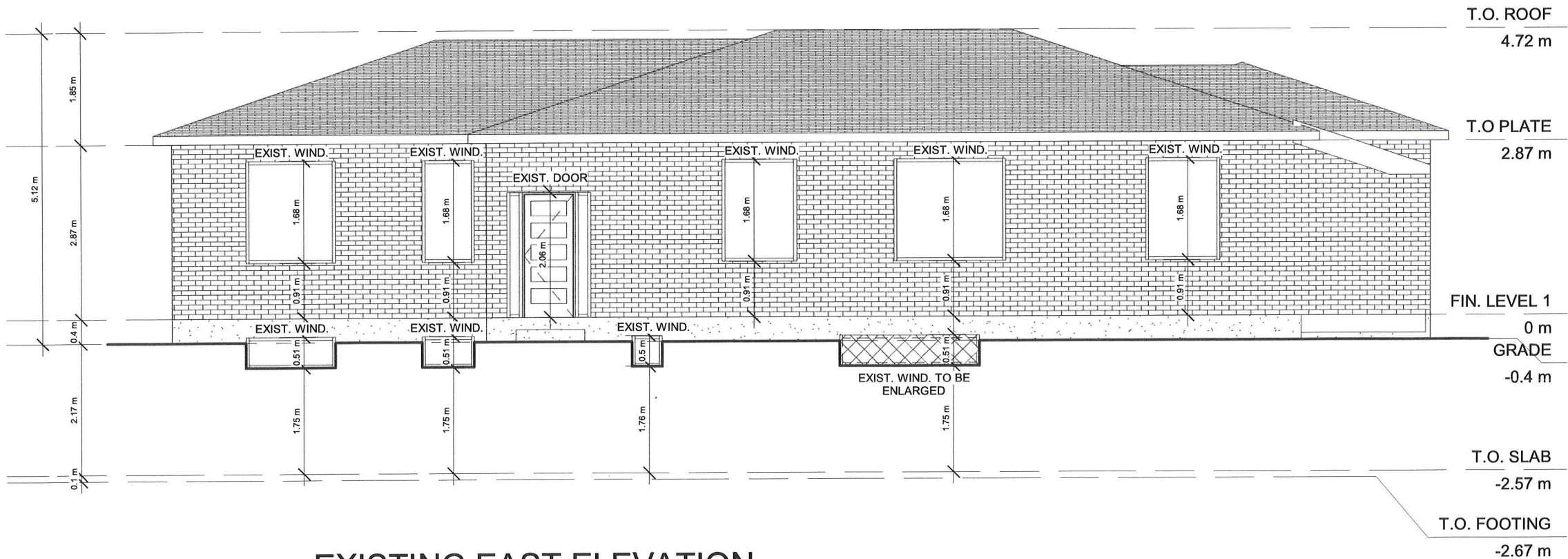
1 PROP. GROUND FLOOR  
1 : 64



(P01) as per SB-3  
INTERIOR PARTITIONS WITHIN UNITS  
AT STAIRCASE 1 HOUR FIRE RATED  
Construction complies with supplementary standards  
to the O.B.C 2012 SB-3 table 1 wall number W4b  
- 38 X 89 mm (2 X 4) wood studs at 400 mm (16") o.c.  
- single 38 X 89 mm (2 X 4) top and bottom plates  
- 89mm (3 1/2") thick absorptive material processed from  
rock, slag, glass, or cellulose fibre on one side  
- Resilient channel @ 400mm o.c. on one side of wall  
- 2 layer 15.9mm (5/8") type "X" gypsum board  
on resilient metal channel side  
- 15.9 mm (5/8") type "X" drywall on other side







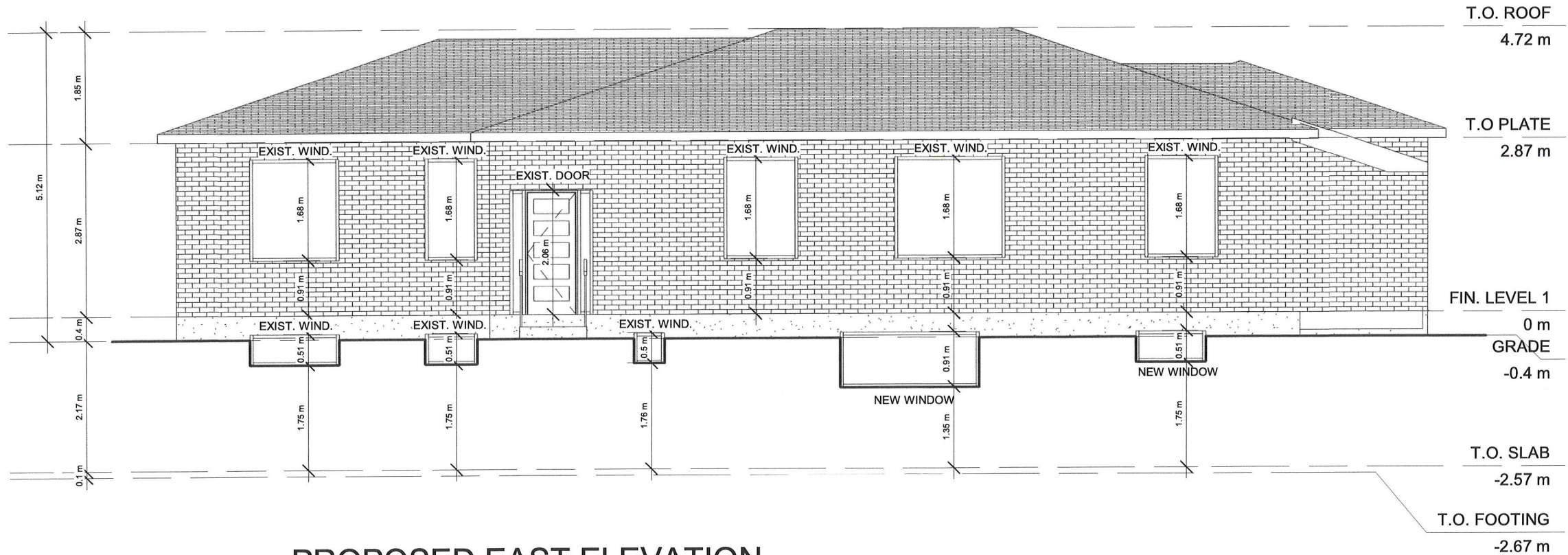
**1** EXISTING EAST ELEVATION  
1 : 64



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ADDRESS: 4 Alderway Ave. Brampton, ON L6Y 2B6	PROJECT:	Date: 2024-01-30
	THREE UNIT DWELLING	Drawn by: S.M
	EXISTING EAST ELEVATION	Checked by: S.I
		Scale: 1 : 64



1 PROPOSED EAST ELEVATION  
1 : 64



HNS  
Engineering Inc.

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ADDRESS:

4 Alderway Ave.  
Brampton, ON L6Y 2B6

PROJECT:

THREE UNIT DWELLING

PROPOSED EAST  
ELEVATION

Date: 2024-01-30

Drawn by: S.M

Checked by: S.I

A109

Scale: 1 : 64



# Zoning Non-compliance Checklist

File No.  
A - 2024-0341

Applicant: Sarah Mahdi  
Address: 4 Alderway Ave  
Zoning: R1B  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
PARKING	To permit a total of 2 parking spaces	whereas the by-law requires a minimum 3 parking spaces for a three-unit dwelling;	10.16(f)
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Connor Cowan

Reviewed by Zoning

2024-02-07

Date