

DRAWING LIST	
SHEET No.	SHEET NAME

Permit Drawings

A000	CONTEXT PAGE
A01	GENERAL NOTES & SCHEDULES
A001	3D VIEWS
A100	SITE PLAN
A101	FOOTING/FOUNDATION PLAN
A102	GROUND FLOOR PLAN
A103	SECOND FLOOR PLAN
A104	ROOF PLAN
A200	FRONT & REAR ELEVATIONS
A201	LEFT & RIGHT ELEVATIONS
A300	BUILDING SECTIONS
A400	TYPICAL DETAILS

Grand total: 12



GENERAL NOTES / SPECIFICATIONS:

1. THESE WORKING DRAWINGS ARE PROVIDED TO MAKE THE FULL DETAILS OF THE BUILDING OR STRUCTURE SHOWN. THEY MAY ALSO BE USED AS DOCUMENTS FOR CONSTRUCTION. ALL NOTES AND DIMENSIONS ARE SUBJECT TO CHANGE ACCORDING TO THE ARCHITECTURAL DRAWINGS, OWNER, LOCAL BUILDING OFFICIAL, APPLICABLE CODES, BUILDING REQUIREMENTS AND SITE CONDITIONS. THESE DRAWINGS ARE TO BE CHECKED BY THE CUSTOMER, OWNER AND / OR CONTRACTOR(S) INCLUDING COORDINATION OF THESE AGAINST ANY OTHER CONSTRUCTION DOCUMENTS. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO THE DESIGNER PRIOR COMMENCEMENT OF CONSTRUCTION.

2. THESE DRAWINGS ARE NOT TO BE SCALED.

3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, ONTARIO ELECTRICAL CODE, AND ONTARIO FIRE CODE LATEST EDITIONS THEREOF.

4. THE WORK SHALL ALSO BE IN ACCORDANCE WITH ALL LOCAL CODES, AUTHORITIES HAVING JURISDICTION AND WITH ANY OWNER REQUIREMENTS NOT SPECIFICALLY COVERED.

5. THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES INCLUDING SUBCONTRACTORS TO ENSURE NO CONFLICTS AND TO ENSURE EFFICIENT COMPLETION OF THE WORK.

6. EVERY ATTEMPT HAS BEEN MADE FOR COMPLETENESS HOWEVER IT IS THE CONTRACTORS' RESPONSIBILITY TO CONFIRM SITE CONDITIONS AND FIELD CONSTRUCTION.

PROJECT GEOTECHNICAL REPORT:

1.) NO GEOTECHNICAL REPORT HAS BEEN PROVIDED FOR THIS DESIGN. THE DESIGN IS BASED ON TYPICAL SOILS CONDITIONS WITHIN THE GEOGRAPHIC AREA. ASSUMED ALLOWABLE BEARING CAPACITY OF 100 kPa AS SETOUT IN OBC- B9.4.4.1.

GENERAL REVIEW & INSPECTION:

1.) A PERSON WHO INTENDS TO CONSTRUCT OR HAVE CONSTRUCTED A BUILDING, ALTERATION OR ADDITION THAT IS DESIGNED BY A "DESIGNER" SHALL ENSURE THAT THE "DESIGNER" IS RETAINED TO UNDERTAKE THE GENERAL REVIEW OF THE CONSTRUCTION OF THE BUILDING IN ACCORDANCE WITH THE PERFORMANCE STANDARDS OF THE ASSOCIATION, AS APPLICABLE AND AS SETOUT IN THE ONTARIO BUILDING CODE OBC- 2.17.4 TO DETERMINE WHETHER THE CONSTRUCTION IS IN GENERAL CONFORMITY WITH THE PLANS, SKETCHES, DRAWINGS, GRAPHIC REPRESENTATIONS, SPECIFICATIONS AND OTHER DOCUMENTS THAT ARE PREPARED BY THE "DESIGNER"; COPIES OF WRITTEN REPORTS ARISING OUT OF THE GENERAL REVIEW SHALL BE FORWARDED TO THE CHIEF BUILDING OFFICIAL BY THE DESIGNER WHO HAVE BEEN RETAINED TO UNDERTAKE THE GENERAL REVIEW OF THE CONSTRUCTION OF THE BUILDING.

2.) THE SIGNING CONSULTANT OR A DESIGNATED REPRESENTATIVE OF NUTIMA DESIGN & PROJECT MANAGEMENT, SHALL BE PROVIDED WITH A MINIMUM 48 HOURS NOTICE OF REQUIRED INSPECTIONS.

3.) INSPECTIONS BY NUTIMA DESIGN & PROJECT MANAGEMENT, ARE REQUIRED AS FOLLOWS:
- CONCRETE FOOTING & FOUNDATION WALL INSPECTION (PRE-POUR)
- FRAMING COMPLETION INSPECTION (PRIOR TO INSULATION AND VAPOUR BARRIER)
- CONSTRUCTION COMPLETION

ITEM	ONTARIO BUILDING CODE DATA MATRIX							OBC REFERENCE			
1	PROJECT DESCRIPTION: 2 STOREY ADDITION CREDITVIEW RESIDENCE 7699 Creditview Rd. Brampton, ON					<input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	<input type="checkbox"/> PART 3	<input checked="" type="checkbox"/> PART 9	<input type="checkbox"/> PART 11		
2	MAJOR OCCUPANCY(S) GROUP 'C' - RESIDENTIAL						3.1.2.1.(1)	B9.10.2			
3	BUILDING AREA (m2)		EXISTING 159.96m ² NEW 69.01m ² TOTAL 228.97m ²			1.4.1.2	B1.4.1.2				
4	GROSS FLOOR AREA (m2)		EXISTING 123.36m ² NEW 143.94m ² TOTAL 269.31m ²			1.4.1.2	B1.4.1.2				
5	NUMBER OF STOREYS		ABOVE GRADE 2	BELOW GRADE 1		1.1.2.4	B1.1.2.4				
6	HEIGHT OF BUILDING (m)		9.75 m								
7	NUMBER OF STREETS/ACCESS ROUTES		1			3.2.2.10	B9.10.20.3				
8	BUILDING CLASSIFICATION GROUP 'C' - RESIDENTIAL						3.2.2.20-.83	B9.10.2 B9.10.8.1			
9	SPRINKLER SYSTEM					<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU IF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED	3.2.2.20-.83 3.2.1.5 3.2.2.17 INDEX	B9.10.8			
10	STANDPIPE REQUIRED					<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9	N/A			
11	FIRE ALARM REQUIRED					<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4	B9.10.18.2			
12	WATER SERVICE/SUPPLY IS ADEQUATE					<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7	N/A			
13	HIGH BUILDING					<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6	N/A			
14	PERMITTED CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH						3.2.2.20-.83	B9.10.8 B9.10.14.5			
	ACTUAL CONSTRUCTION <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH										
15	MEZZANINE(S) AREA M2 N/A						N/A	N/A			
16	TOTAL OCCUPANCY LOAD 6 PERSONS BASED ON <input type="checkbox"/> M2/PERSON <input checked="" type="checkbox"/> 2 PERSONS/BED						3.1.17	B9.9.1.3			
17	BARRIER-FREE DESIGN ENTIRE BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO (EXPLAIN)						3.8	B9.5.2.1			
18	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO						3.3.1.2 3.3.1.19	B9.10.1.3.(4)			
19	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)			LISTED DESIGN NO. OR DESCRIPTION (SB-3)			3.2.2.20-.83 3.2.1.4	B9.10.8 B9.10.9 B9.10.9.16		
		FLOORS N/A HOURS			N/A						
		ROOF N/A HOURS			N/A						
		MEZZANINE N/A HOURS			N/A						
		FRR OF SUPPORTING MEMBERS			LISTED DESIGN NO. OR DESCRIPTION (SB-3)						
		FLOORS N/A HOURS			N/A						
		ROOF N/A HOURS			N/A						
		MEZZANINE N/A HOURS			N/A						
20	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS							3.2.3	B9.10.15		
	WALL	Area of Exposed Building Face (m ²)	Limiting Dist. (m)	L/H OR H/L	Proposed % of Openings per Design	Permitted max. % of Openings per OBC	FRR (Hours)	Listed Design or Description	Combustable Construction.	Combustable Construction. N-Combustable Cladding	Non-Combust. Construction
	FRONT	102.4m ²	40.5m		11.5%	100%		—	✓	✗	✗
	REAR	122.5m ²	39.6m		27.4%	100%		—	✓	✗	✗
	LEFT	96.5m ²	21.4m		7.4%	100%		—	✓	✗	✗
	RIGHT	96.5m ²	2.45m		3.8%	9%		—	✓	✗	✗

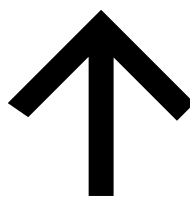
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4.) FOR CONSTRUCTION PURPOSES, USE ONLY THE LATEST APPROVED DRAWINGS LABELLED 'ISSUED FOR CONSTRUCTION'.

5.) DO NOT SCALE THE DRAWINGS.



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20	ISSUED PER HERITAGE MEETING	12/06/2023



Project Status:

FOR HERITAGE REVIEW

Seal:

Nutima Design & Project Management Inc.
289-327-1311

Project:
Creditview Residence

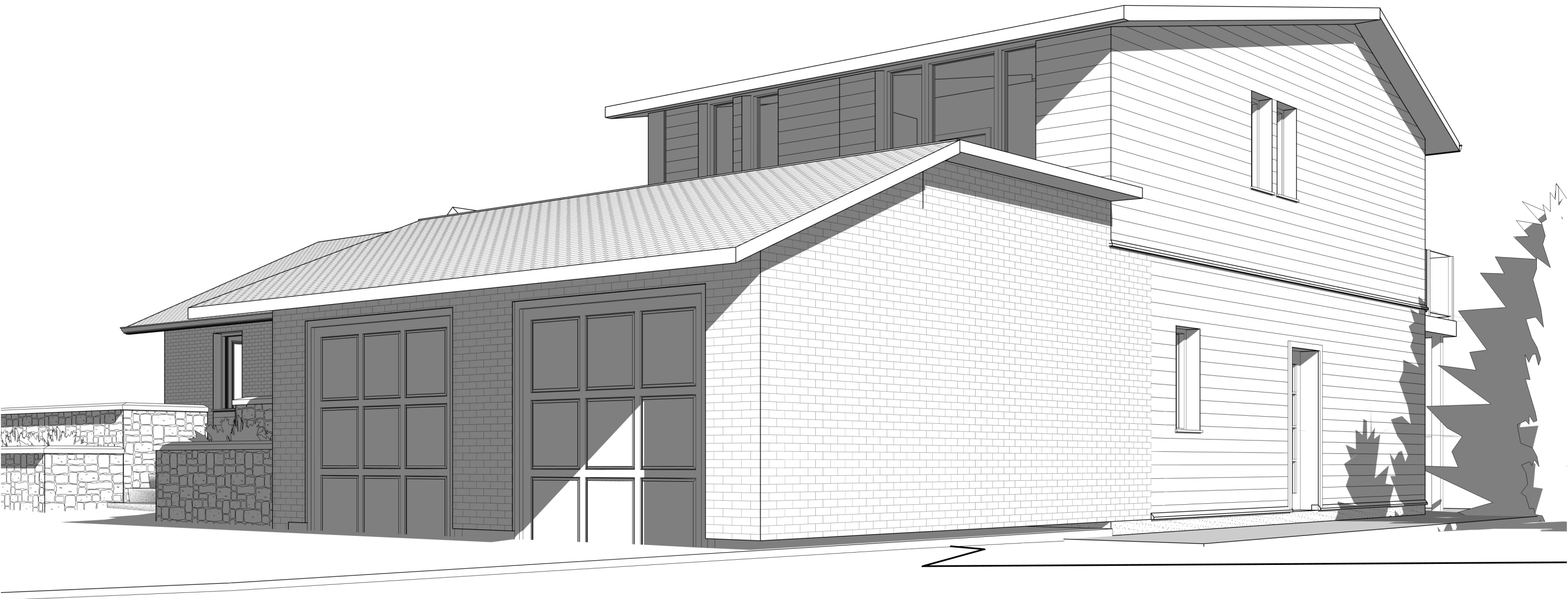
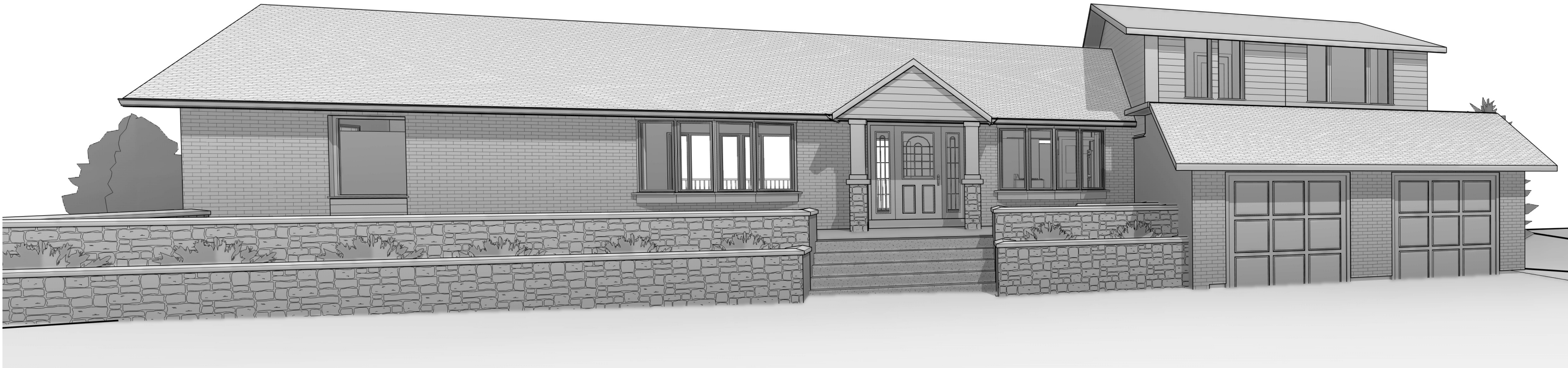
Address:
7699 Creditview Rd, Brampton, ON

Project No:
2021- 35

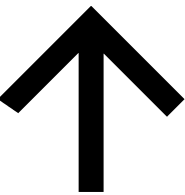
Drawn By: W.K. Date: MAY 2021

Chkd By: W.K Scale: 1/4" = 1'-0"

Drawing No.:
A000



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289-327-1311

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Project No:
2021- 35

Drawn By: W.K. | Date: MAY 2021

Chkd By: W.K | Scale:

Drawing No.:
A001

3D VIEWS

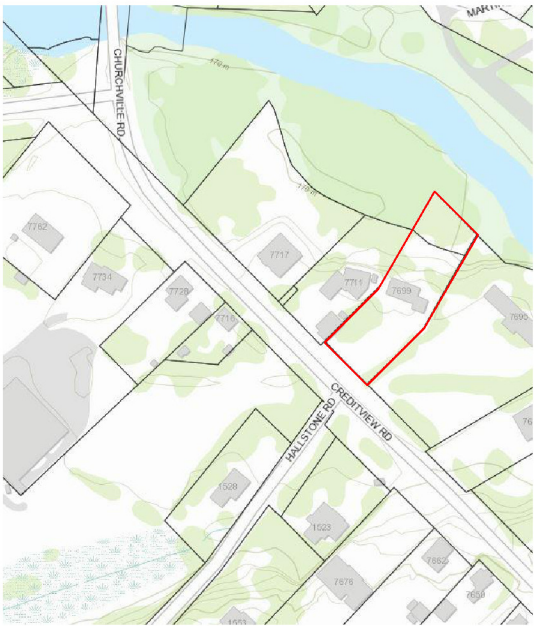
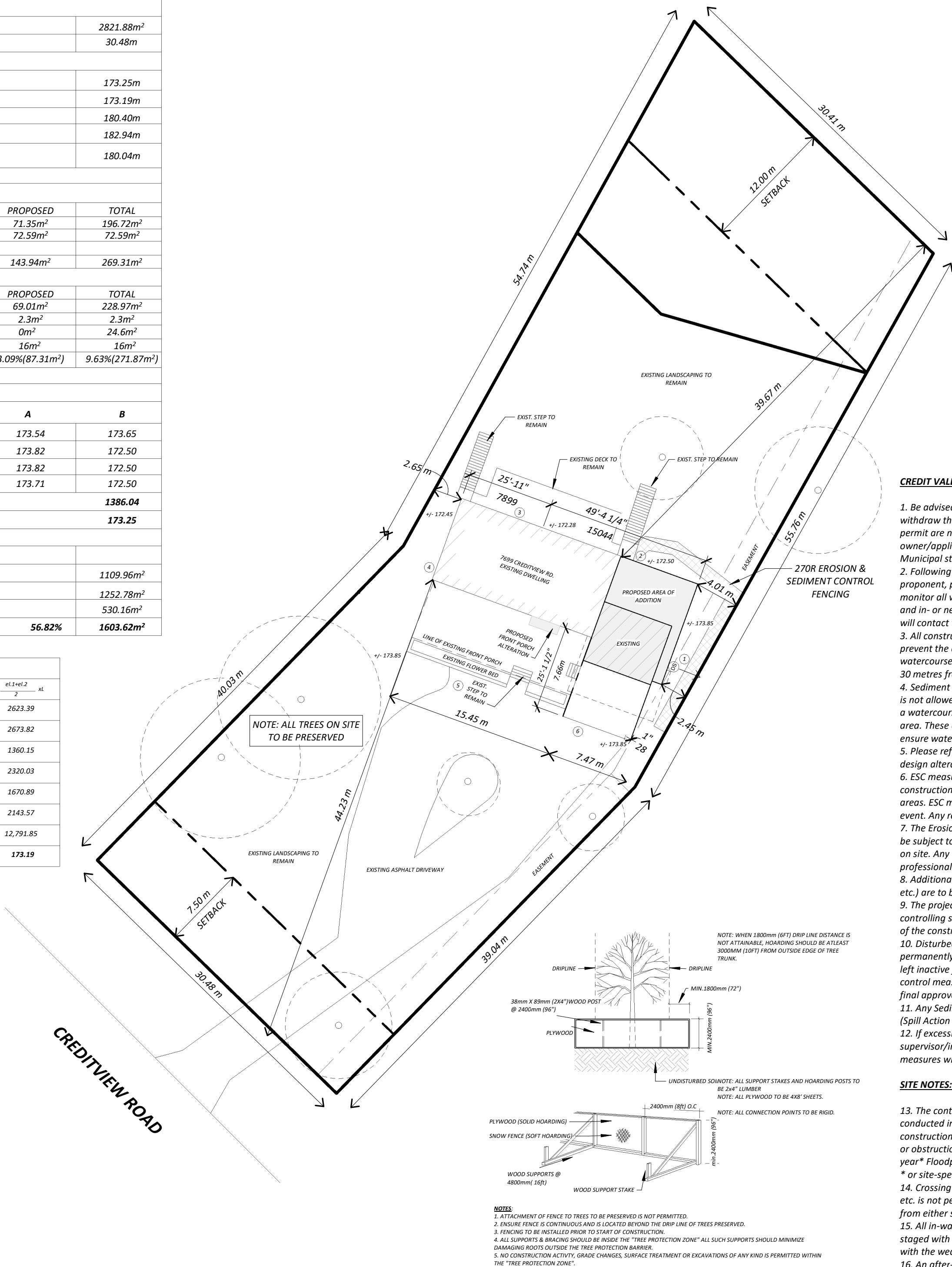
Dwg Title:

Revision:

20

PROJECT STATISTICS			
ADDRESS: 7699 Creditview Rd, Brampton, ON			
ZONING: RHM2 - Residential Hamlet 2			
LOT AREA:			2821.88m ²
LOT FRONTAGE:			30.48m
BUILDING HEIGHT			
AVERAGE GRADE:			173.25m
ESTABLISHED GRADE:			173.19m
HEIGHT AT MID-POINT:			180.40m
HEIGHT AT HIGHEST POINT:			182.94m
HEIGHT AT UNDERSIDE OF EAVES:			180.04m
GROSS FLOOR AREA - INFILL RESIDENTIAL			
	EXISTING	PROPOSED	TOTAL
GROUND FLOOR:	123.74m ²	71.35m ²	196.72m ²
SECOND FLOOR:	0m ²	72.59m ²	72.59m ²
TOTAL GFA:	125.36m ²	143.94m ²	269.31m ²
LOT COVERAGE			
	EXISTING	PROPOSED	TOTAL
DWELLING FOOTPRINT:	159.96m ²	69.01m ²	228.97m ²
PORCH:(FRONT & REAR)	0m ²	2.3m ²	2.3m ²
DECK (GREATER THAN 600mm/24" HEIGHT:	24.6m ²	0m ²	24.6m ²
OTHER (BALCONY,FLOOR PROJECTIONS ETC):	0m ²	16m ²	16m ²
TOTAL LOT COVERAGE:	6.5%(184.56m ²)	3.09%(87.31m ²)	9.63%(271.87m ²)
AVERAGE GRADE CALCULATIONS:			
		A	B
1	CENTRELINE OF STREET	173.54	173.65
2	INTERSECTIONS OF FRONT AND SIDE LOT LINES	173.82	172.50
3	ALONG SIDE LOT LINES AT FRONT YARD SETBACK	173.82	172.50
4	ALONG SIDE LOT LINES 15.0m FROM PREVIOUS ELEVATION	173.71	172.50
SUM OF GRADE CALCULATIONS:			1386.04
AVERAGE GRADE: (SUM DIVIDED BY 8)			173.25
LANDSCAPED SOFT AREA			
FRONT YARD AREA:			1109.96m ²
REAR YARD AREA:			1252.78m ²
HARD SURFACED AREAS:			530.16m ²
TOTAL LANDSCAPED SOFT AREA			56.82% 1603.62m ²

ESTABLISHED GRADE CALCULATION:				
LENGTH NO.	BEGIN. ELEV.	END ELEV.	LENGTH	$\frac{el.1+el.2}{2} \times L$
1	173.85	173.85	15.09m	2623.39
2	173.85	172.50	15.44m	2673.82
3	172.50	172.28	7.89m	1360.15
4	172.28	172.45	13.46m	2320.03
5	172.45	173.85	9.65m	1670.89
6	173.85	173.85	12.33m	2143.57
total:			73.86m	12,791.85
EG:			12,791.85/ 73.86	173.19



KEY PLAN:

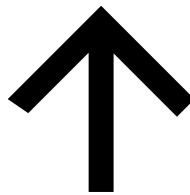
CREDIT VALLEY CONSERVATION NOTES:

1. Be advised that the Credit Valley Conservation Authority may, at any time, withdraw this permission, if, in the opinion of the Authority, the conditions of the permit are not being complied with. This approval does not exempt the property owner/applicant/agent from the provisions of any other Federal, Provincial or Municipal statutes, regulations or by-laws, or any rights under common law.
2. Following installation of the proposed ESC measures, a qualified agent of the proponent, preferably an Environmental Monitor, will conduct regular site visits to monitor all works, particularly the condition of the ESC measures, dewatering, and in- or near-water works. Should concerns arise; the Environmental Monitor will contact the proponent, CVC, and any other appropriate parties.
3. All construction activities, including maintenance procedures, will be controlled to prevent the entry of debris, sediments, or other deleterious products to the watercourse or wetland. Equipment maintenance will be conducted a minimum of 30 metres from the watercourse/wetland.
4. Sediment laden runoff from disturbed areas to the watercourse or natural feature is not allowed. All dewatering shall be treated and then released 30 metres from a watercourse or wetland. Discharge is to be released to an undisturbed natural area. These control measures shall be monitored and maintained or revised to ensure water quality targets are being achieved.
5. Please refer to the ESC Guide for Urban Construction (2019) for the design and design alteration of ESC measures.
6. ESC measures will be implemented prior to, and maintained during the construction phases, to prevent entry of sediment into the watercourse/natural areas. ESC measures are to be evaluated on a weekly basis and after any storm event. Any repairs required are to be rectified immediately.
7. The Erosion and Sediment Control (ESC) Plan is a dynamic document, which may be subject to change or modifications as a result of site developments or changes on site. Any deviation from approved plans must be designed by a qualified professional.
8. Additional ESC materials (i.e. silt fence, filter socks, straw bales, clear stones, etc.) are to be kept on site for emergencies and repairs.
9. The project proponent or their representative is ultimately responsible for controlling sediment and erosion within the construction site for the total period of the construction.
10. Disturbed areas will be minimized to the extent possible, and temporarily or permanently stabilized or restored as the work progresses. All disturbed ground left inactive for more than 30 days shall be stabilized using appropriate erosion control measures and an appropriate native non-invasive seed mix or with the final approved restoration plan.
11. Any Sediment Spill from the site should be reported to Ministry of Environment (Spill Action Center) at 1-800-268-6060.
12. If excessive siltation results from the construction activities, the onsite supervisor/inspector and/or CVC reserve the right to request additional ESC measures which would be installed prior to further construction activities.

SITE NOTES:

13. The contractor shall monitor weather forecasts to ensure that the works will be conducted in favourable weather. The contractor is responsible for removing all construction equipment and materials that would have potential to cause a spill or obstruction (i.e. fuel tanks, portable toilets, machinery, etc.), from the 100 year* Floodplain in the case of a large storm event.
- * or site-specific storm event
14. Crossing an active watercourse or wetland by equipment, vehicles, personnel, etc. is not permitted unless approved by CVC. All access to work sites shall be from either sides of the watercourse or wetland.
15. All in-water and near water works will be conducted in the dry and must be staged with appropriate erosion and sediment controls. Plan the work accordingly with the weather forecast.
16. An after-hours contact number is to be visibly posted on-site for emergencies. All the plans should have name and contact info of the person responsible for ESC measures.

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289-327-1311

Project:
Creditview Residence

Address:
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Project No:
2021- 35

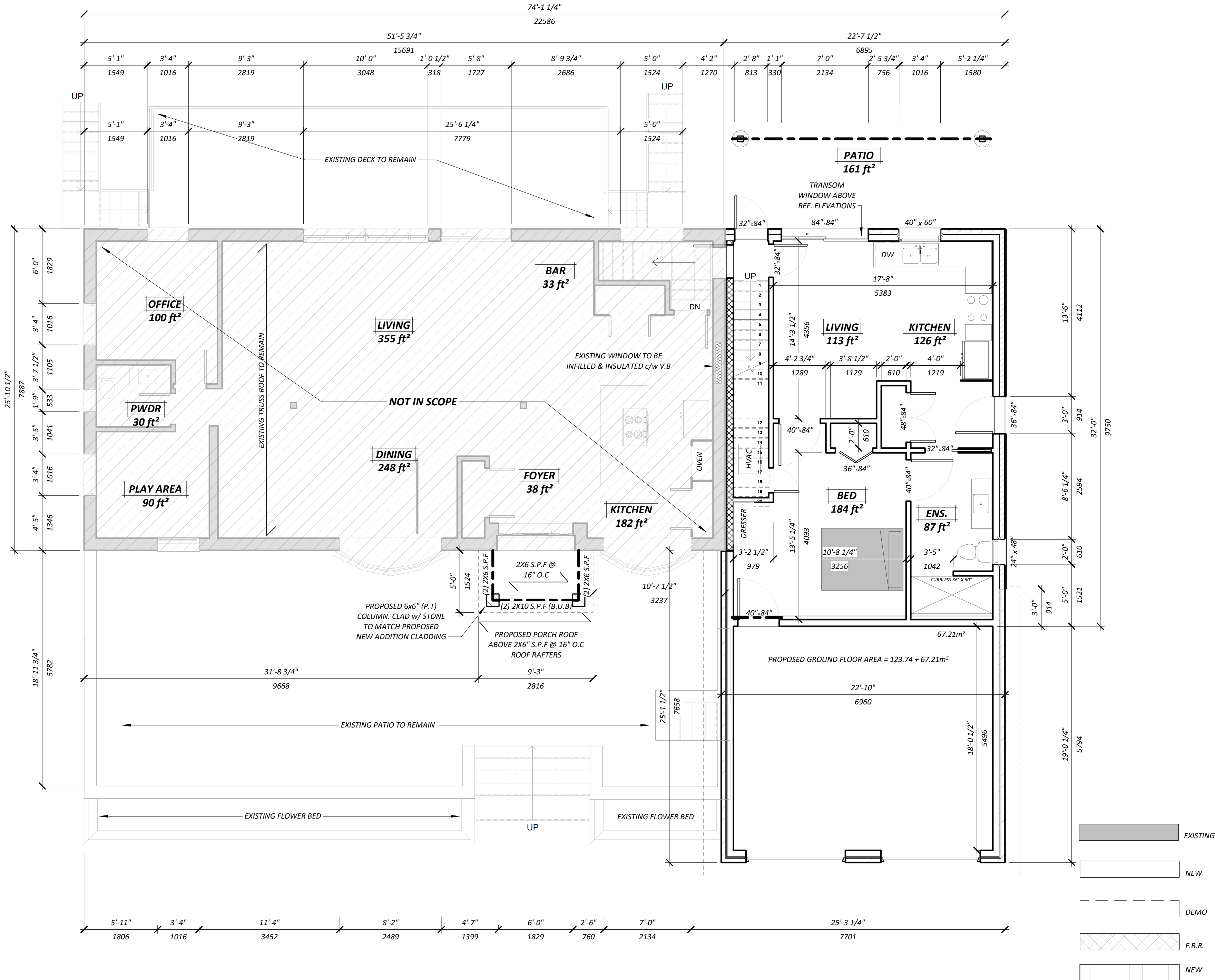
Drawn By: W.K. Date: MAY 2021
Chkd By: W.K Scale: As indicated

Drawing No.:
A100

SITE PLAN

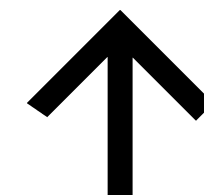
Revision:
20

1 SITE PLAN
Scale: 1 : 300



1 GROUND FLOOR
Scale: 3/16" = 1'-0"

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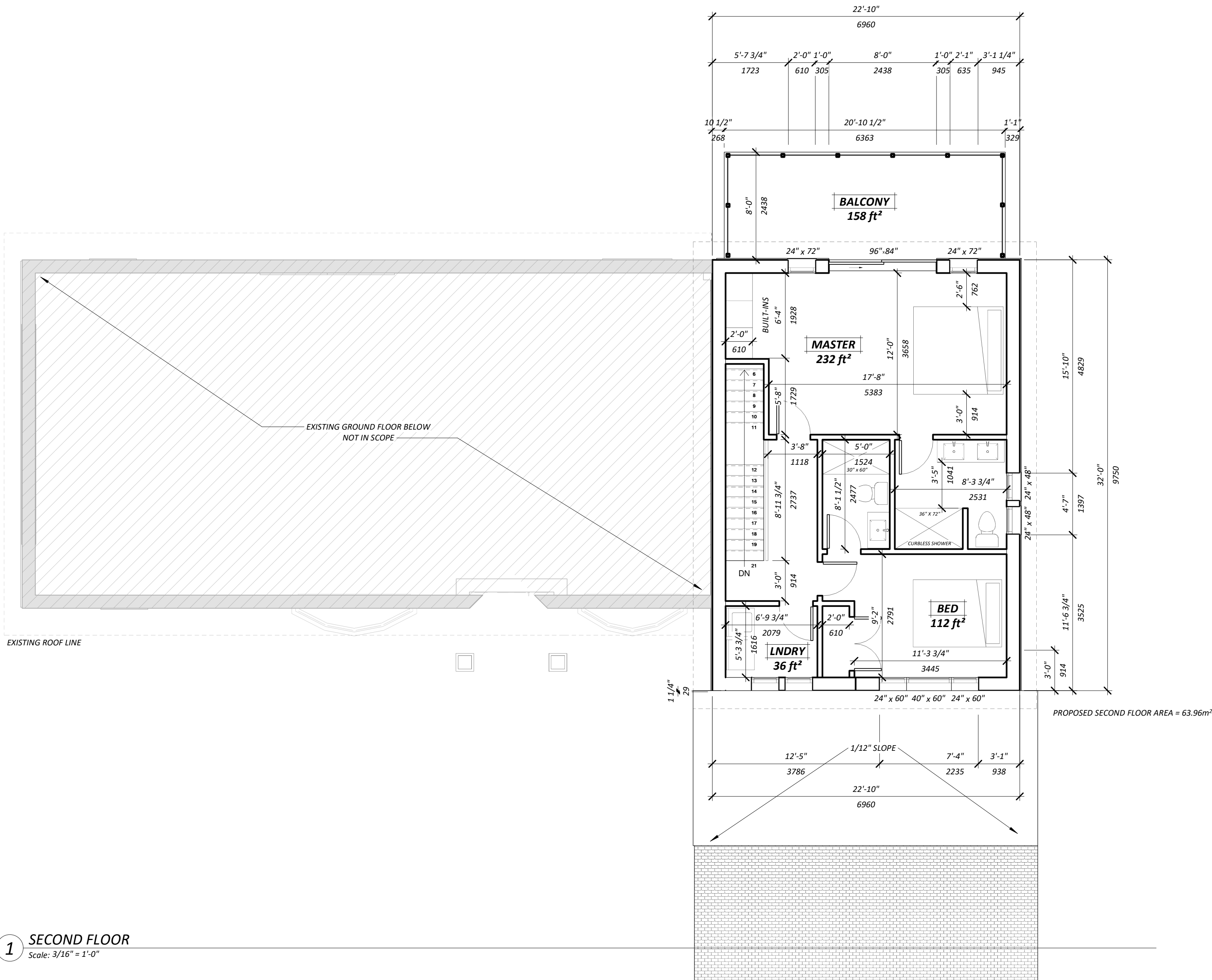
Drawn By: W.K. Date: MAY 2021

Chkd By: W.K Scale: As indicated

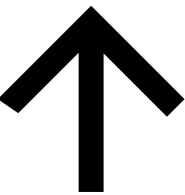
Drawing No.:
A102

GROUND FLOOR PLAN

Revision:
20



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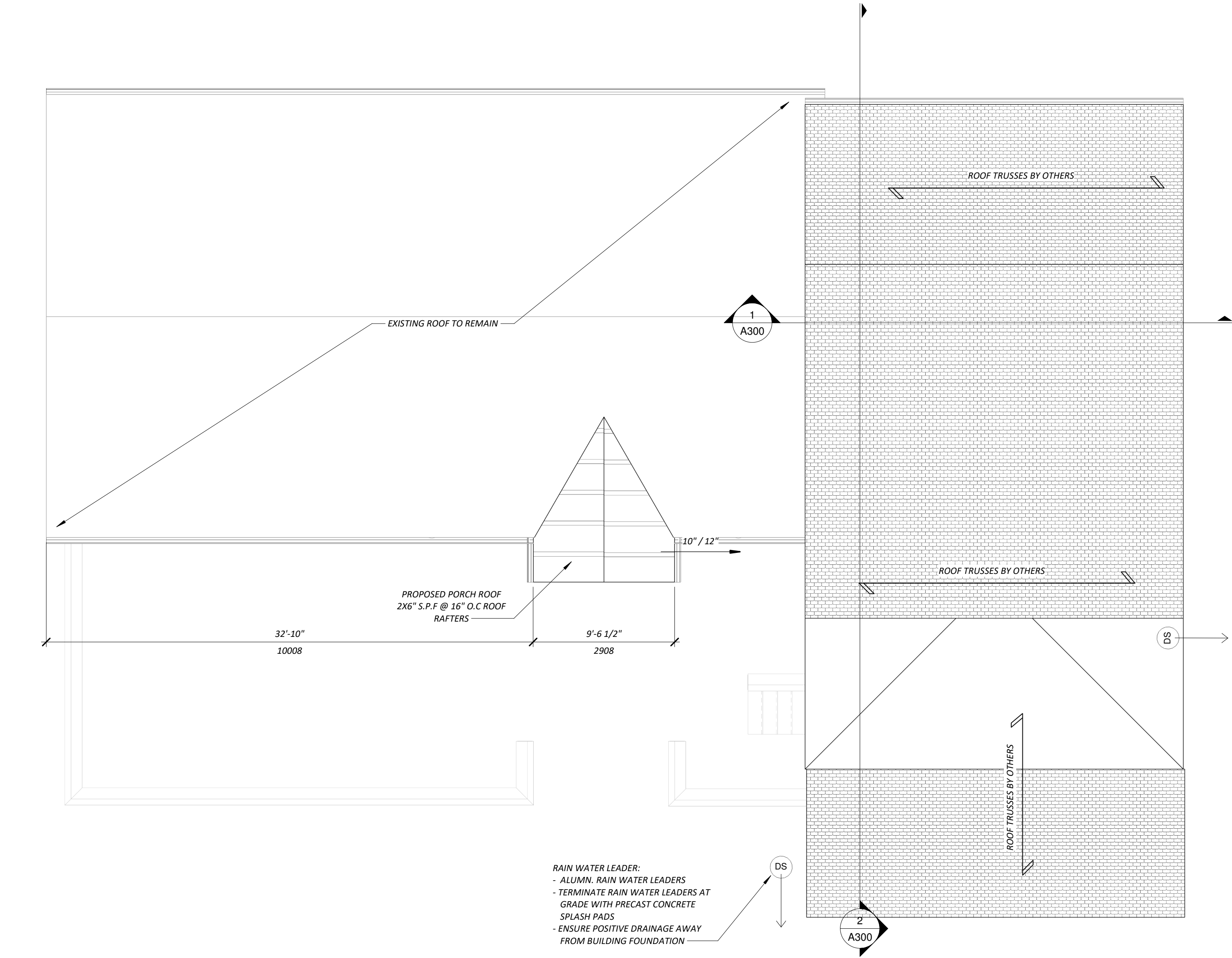
Project No:
2021- 35

Drawn By: A.K Date: MAY 2021

Chkd By: W.K Scale: As indicated

Drawing No.:
A103

SECOND FLOOR PLAN
Revision:
20



1 ROOF PLAN
Scale: 3/16" = 1'-0"

PRE - ENGINEERED ROOF TRUSS NOTES

1.0 GENERAL

- 1.1 DESIGN TRUSSES IN ACCORDANCE WITH SECTION 4 OF THE CURRENT **O.B.C.** (INCLUDING UNBALANCED, SLIDING AND DRIFT SNOW LOADS, AND LOADS IMPOSED BY DORMERS AND FRAME WORK SUPPORTED ON THE STRUCTURAL ROOF MEMBERS) AND **CAN/CSA** - 086.1.
- 1.2 TRUSS WEB SYSTEM TO SUIT MANUFACTURER WHO SHALL DETAIL AND PROVIDE ALL BRACING REQUIRED BY THE TRUSS DESIGN.
- 1.3 THE TRUSS SUPPLIER SHALL REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR THE LOCATION AND WEIGHTS OF MECHANICAL UNITS IN THE CEILING SPACE OR ON THE ROOF.
- 1.4 TRUSSES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER OF THE PROVINCE OF ONTARIO WHO SHALL ASSUME FULL RESPONSIBILITY FOR THEIR STRENGTH AND SERVICEABILITY, INCLUDING ALL NECESSARY BRACING AND BRIDGING REQUIRED FOR THEIR STRUCTURAL INTEGRITY, SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS BEARING HIS PROFESSIONAL STAMP.

2.0 EXECUTION

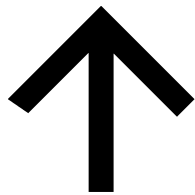
- 2.1 AS SHOWN ON PLANS THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL DIAGONAL, LONGITUDINAL AND/OR X BRACING TO THE ROOF SYSTEM AND WALLS TO PROVIDE LATERAL STABILITY TO THE STRUCTURE, UNLESS NOTED BRACING MEMBERS SHALL BE 38 X 89 CONNECTED TO WEBS, CHORDS AND WALL PLATES WITH A MINIMUM OF 2 - 90MM NAILS PER CONNECTION.
- 2.2 AT TRUSS BEARINGS PROVIDE GALVANIZED TRIP - L - GRIP CONNECTORS OR EQUAL EACH SIDE OF TRUSS NAILED TO TRUSS AND WALL PLATE.
- 2.3 INSTALL SHEATHING WITH LONG SIDE OF SHEETS PERPENDICULAR TO SPAN OF TRUSS AND NAIL AT 150 O.C. ALONG EDGES AND 200 O.C. AT INTERMEDIATE SUPPORTS.
- 2.4 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL TEMPORARY BRACING REQUIRED TO MAINTAIN THE ROOF FRAMING AND WALLS STABLE UNTIL THE BUILDING IS COMPLETE.
- 2.5 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL PERMANENT BRACING AND BRIDGING SPECIFIED AS PER MANUFACTURERS INSTRUCTIONS.

ROOF FRAMING PLAN NOTES:

1. ALL ROOF TRUSSES @ 24" O/C. (UNLESS OTHERWISE NOTED) AND SLOPE AS PER PLANS.
2. PROVIDE SIMPSON STRONG TIE HANGERS OR APPROVED EQUAL.
3. PROVIDE MINIMUM 1 1/2" END BEARING OF ROOF JOISTS AND RAFTERS.
4. ALL ROOF FRAMING AND CEILING FRAMING TO BE IN ACCORDANCE WITH OBC 9.23.13 - ROOF AND CEILING FRAMING.
5. ROOF SHEATHING TO BE AS PER DETAILS NOTES. SHEATHING TO BE IN ACCORDANCE WITH OBC 9.23.15 ROOF SHEATHING

KEY NOTE LEGEND	
KEY	DESCRIPTION

- 1.) THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2.) OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- 3.) ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
- 4.) FOR CONSTRUCTION PURPOSES, USE ONLY THE LATEST APPROVED DRAWINGS LABELLED 'ISSUED FOR CONSTRUCTION'.
- 5.) DO NOT SCALE THE DRAWINGS.



Revision Schedule

No.	Description	Date
7	Issued for Client Review	07/07/2021
8	Submitted to CVC	06/08/2021
9	Issued for HVAC	17/08/2021
10	Issued for Trusses/Floors	17/08/2021
11	Issued for Trusses/Floors	24/08/2021
12	Approved by CVC	14/09/2021
13	Issued for Structural Review	22/09/2021
14	FND REV.	30/09/2021
15	Issued for Permit	28/09/2021
16	Minor Variance Approved	07/12/2021
17	Issued for Heritage Review	08/07/2021
18	Revis. Per Heritage Review	03/04/2022
20	ISSUED PER HERITAGE MEETING	12/06/2023



Project Status:
FOR HERITAGE REVIEW

Seal:

Nutima Design & Project Management Inc.

289-327-1311

Project:
Creditview Residence

Address:
7699 Creditview Rd, Brampton, ON

Project No:
2021- 35

Drawn By: W.K. Date: MAY 2021

Chkd By: W.K Scale: As indicated

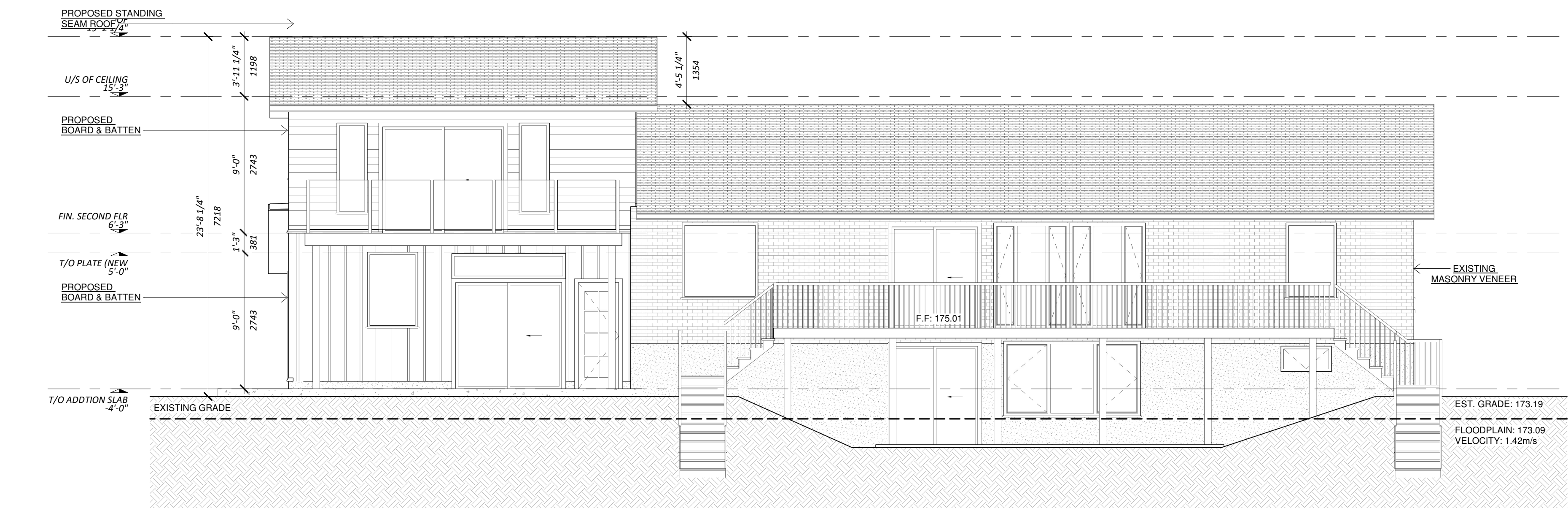
Drawing No.:
A104

ROOF PLAN

Revision:
20

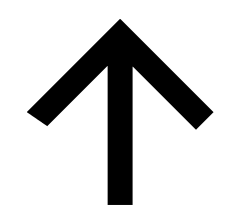


1 PROPOSED FRONT ELEVATION
Scale: 3/16" = 1'-0"



2 PROPOSED REAR ELEVATION
Scale: 3/16" = 1'-0"

- 1.) THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO NUTIMA DESIGN & PROJECT MANAGEMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
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Revision Schedule		
No.	Description	Date
19	Issued for Client Review	26/08/2022
20	ISSUED PER HERITAGE MEETING	12/06/2023



Project Status:
FOR HERITAGE REVIEW

Seal:

Nutima Design & Project Management Inc.
289-327-1311

Project:
Creditview Residence

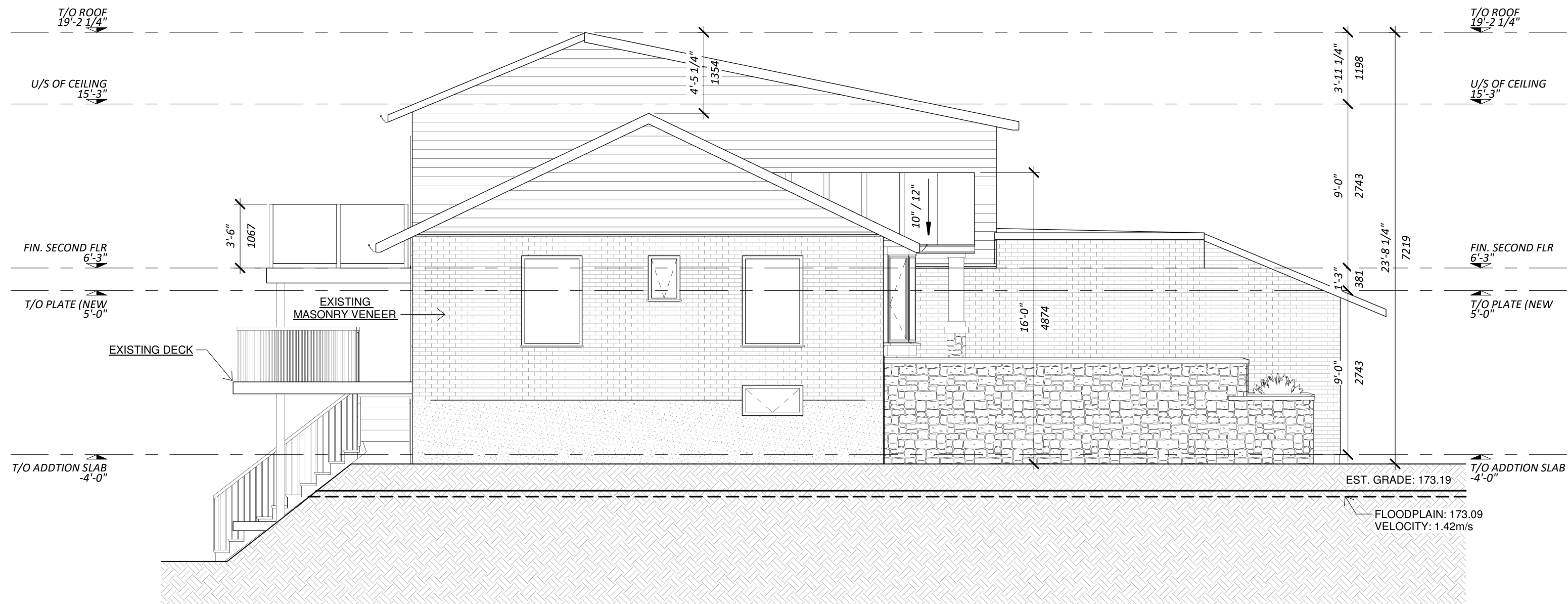
Address:
7699 Creditview Rd, Brampton, ON

Project No:
2021- 35

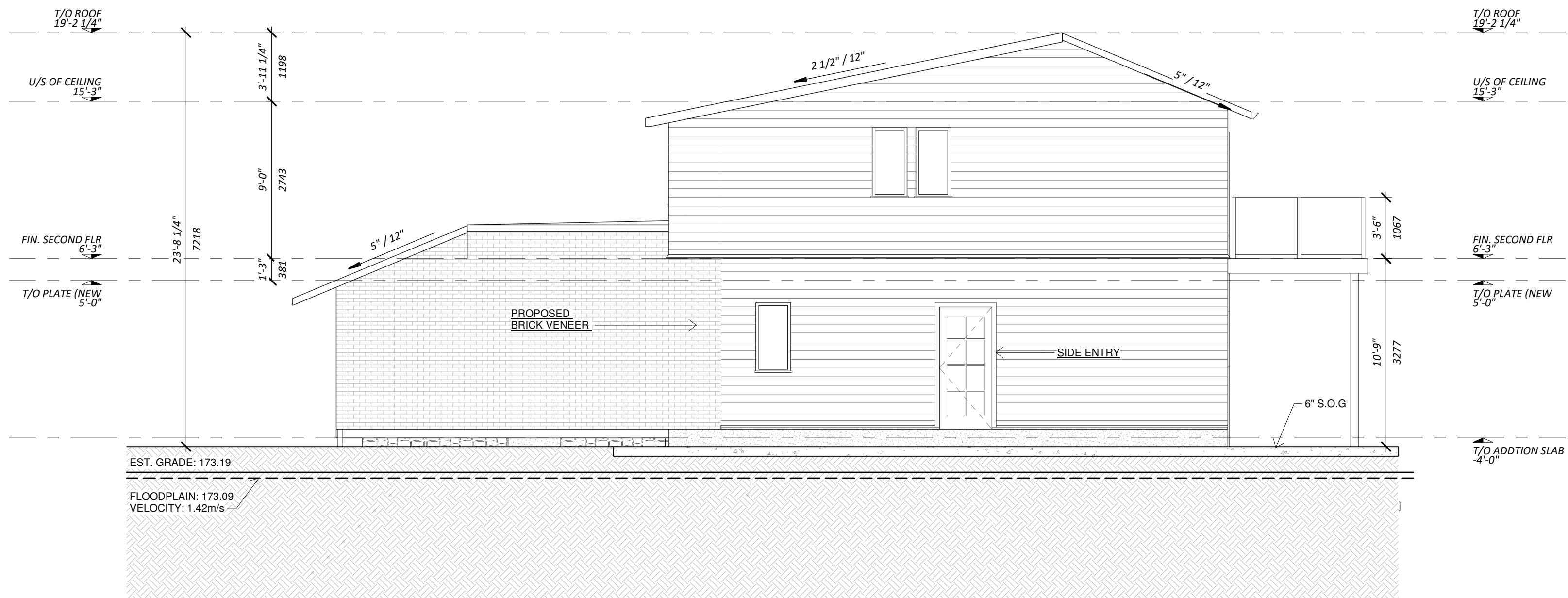
Drawn By: W.K. Date: MAY 2021
Chkd By: W.K Scale: As indicated

Drawing No.:
A200

FRONT & REAR ELEVATIONS
Revision:
20

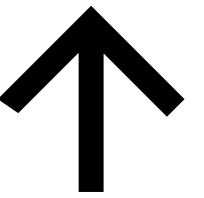


1 PROPOSED LEFT ELEVATION
Scale: 3/16" = 1'-0"



2 PROPOSED RIGHT ELEVATION
Scale: 3/16" = 1'-0"

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Revision Schedule		
No.	Description	Date
19	Issued for Client Review	26/08/2022
20	ISSUED PER HERITAGE MEETING	12/06/2023



Project Status:
FOR HERITAGE REVIEW

Seal:

Nutima Design & Project Management Inc.
289-327-1311

Project:
Creditview Residence

Address:
7699 Creditview Rd, Brampton, ON

Project No:
2021- 35

Drawn By: W.K. Date: MAY 2021

Chkd By: W.K Scale: 3/16" = 1'-0"

Drawing No.:
A201

LEFT & RIGHT ELEVATIONS

Revision:
20