

FILE NUMBER:

A-2024-0028

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE:

It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law 270-2004.

1.

Name of Owner(s)RAJVIR SINGH KAINTH & NAVDEEP KAINTH

Address25 MEADOWLARK DRVE, BRAMPTON, ON L6Y 4B5

Phone #416 723 3450

Fax #

Emailrajvirkainth@outlook.com

2.

Name of AgentANJU BHUTANI

Address18 SPARROW COURT, BRAMPTON, ON L6Y 3P2

Phone #647 654 8500

Fax #

Emailabhutani@cheerful.com

3.

Nature and extent of relief applied for (variances requested):

TO PERMIT AN ABOVE GRADE SIDE DOOR IN INTERIOR SIDE YARD WITH 0.90 M SETBACK IS THERE.

4.

Why is it not possible to comply with the provisions of the by-law?

THE MINIMUM SETBACK REQUIRED IS 1.2M AS PER BY-LAWS.

5.

Legal Description of the subject land:

Lot Number75

Plan Number/Concession Number43M - 774

Municipal Address25 MEADOWLARK DRIVE

6.

Dimension of subject land (in metric units)

Frontage9.10M

Depth32M

Area291.20

7.

Access to the subject land is by:

Provincial Highway☐

Municipal Road Maintained All Year☒

Private Right-of-Way☐

Seasonal Road☐

Other Public Road☐

Water☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

2 STOREY DETACHED HOUSE

PROPOSED BUILDINGS/STRUCTURES on the subject land:

ABOVE GRADE SIDE DOOR IN INTERIOR SIDE YARD

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback 6.05M

Rear yard setback 8.58M

Side yard setback 1.23M

Side yard setback 0.90M

PROPOSED

Front yard setback 6.05M

Rear yard setback 8.58M

Side yard setback 1.23M

Side yard setback 0.90M

10. Date of Acquisition of subject land: MAY, 2005

11. Existing uses of subject property: RESIDENTIAL

12. Proposed uses of subject property: RESIDENTIAL

13. Existing uses of abutting properties: RESIDENTIAL

14. Date of construction of all buildings & structures on subject land: 1987

15. Length of time the existing uses of the subject property have been continued: 35 YEARS

16. (a) What water supply is existing/proposed?

Municipal ☒

Well ☐

Other (specify) _____

- (b) What sewage disposal is/will be provided?

Municipal ☒

Septic ☐

Other (specify) _____

- (c) What storm drainage system is existing/proposed?

Sewers ☒

Ditches ☐

Swales ☐

Other (specify) _____

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Anju Bhutani
Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY _____ OF BRAMPTON _____

THIS 25th DAY OF JAN, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, ANJU BHUTANI, OF THE CITY OF BRAMPTON

IN THE REGION OF PEEL SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton

IN THE Region OF Peel THIS 8th DAY OF February, 2024

Clara Vani
A Commissioner etc.,
Province of Ontario,
for the Corporation of the
City of Brampton

Anju Bhutani
Signature of Applicant or Authorized Agent

Clara Vani
a Commissioner, etc.,
Province of Ontario,
for the Corporation of the
City of Brampton

Expires September 20, 2026
FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

R1D-2631

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Shiza Athar

Zoning Officer

2024/01/30

Date

DATE RECEIVED

Feb 8, 2024

Date Application Deemed
Complete by the Municipality

Clara

Revised 2022/02/17

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 25 MEADOWLARK DRIVE, BRAMPTON ON L6Y4B5

I/We, RAJIV SINGH KAINTH & NAUDEEP KAINTH
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

ANJU BHUTANI
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 09 day of JANUARY, 2024

Rajiv Singh Kainth Nandeep Kainth
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2

LOCATION OF THE SUBJECT LAND: 25, MEADOWLARK DRIVE, BRAMPTON ON L6Y4B5

I/We, RATVIR SINGH KAINTH & NAVDEEP KAINTH
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

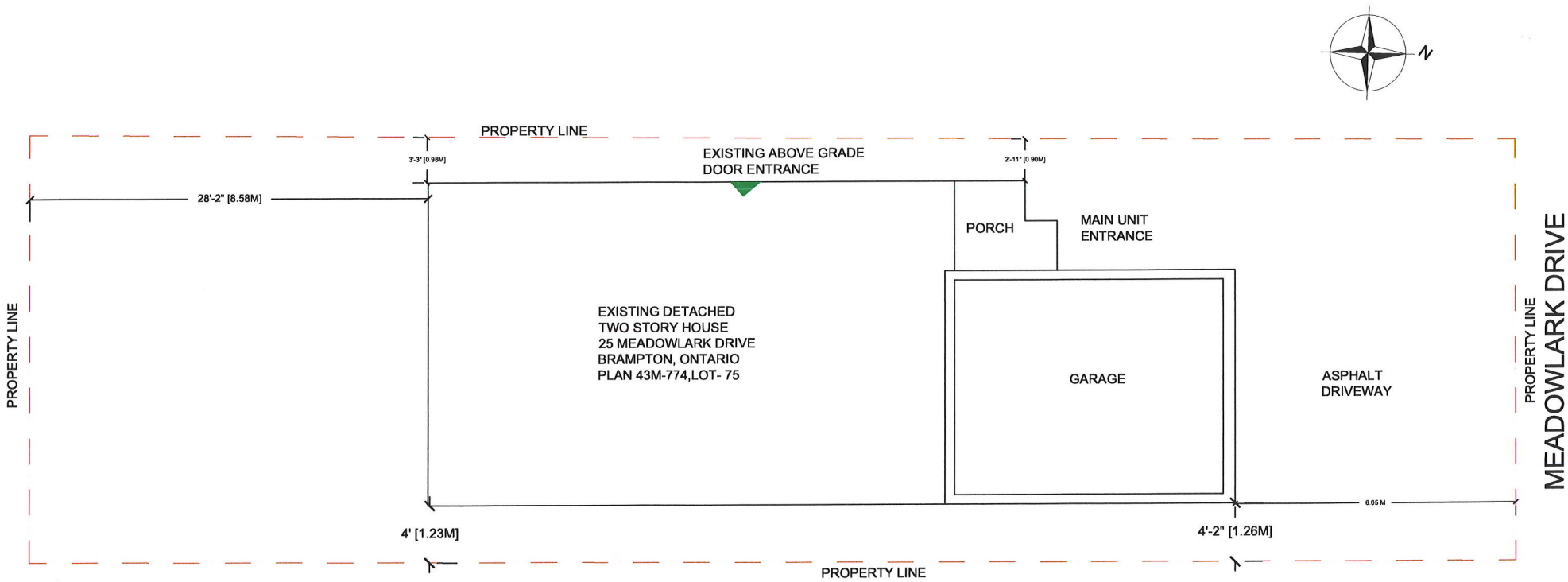
Dated this 09 day of JANUARY, 2024

Ratvir Singh Kainth, Navdeep Kainth
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



ABOVE GRADE SIDE DOOR ENTRANCE IN SIDE YARD

Notes:

**HERITAGE
SOLUTIONS**
1-647-654-8500

PROJECT ADDRESS:

25 MEADOWLARK DRIVE
BRAMPTON
ONTARIO

PROJECT DESCRIPTION:

BASEMENT APARTMENT

DRAWING DESCRIPTION:

SITE PLAN

SCALE:
1:100

DATE:
JAN. 04, 2024

DRAWING NO:

A0

REVISION:

0

BUILDING LOCATION SURVEY OF
LOTS 73, 74, 75 AND 76, PLAN 43M-774
CITY OF BRAMPTON
REGIONAL MUNICIPALITY OF PEEL

SCALE 1:300

10m 5m 0 10m 20m 30m

JOSEPH RADY-PENTEK LTD., O.L.S. 1988.

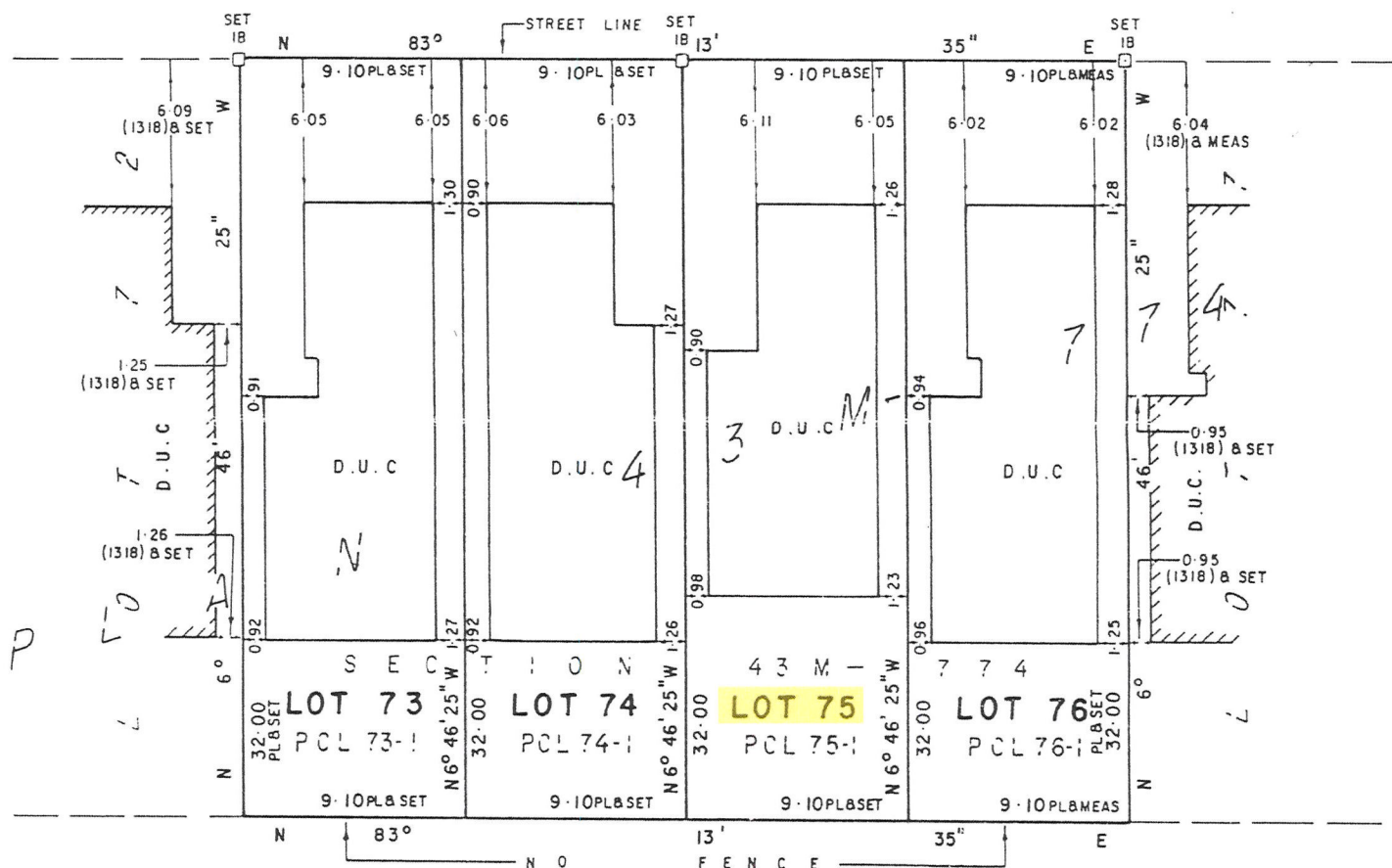
METRIC

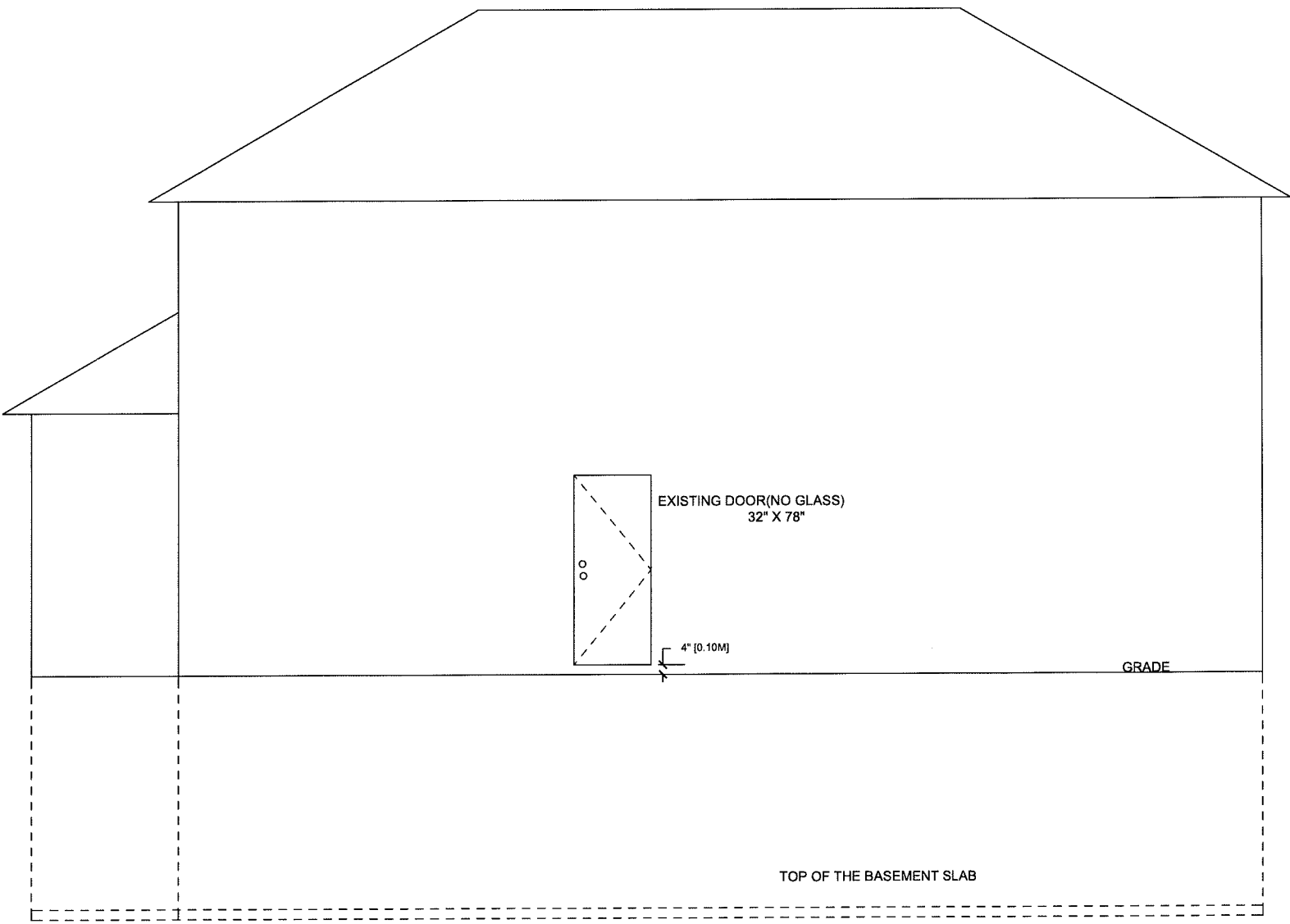
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048

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MEADOWLARK DRIVE
(BY PLAN 43M-774)





RIGHT SIDE ELEVATION

Notes:

*HERITAGE
SOLUTIONS*
1-647-654-8500

PROJECT ADDRESS:

57 AVALANCHE CRESCENT
BRAMPTON
ONTARIO

PROJECT DESCRIPTION:

ABOVE GRADE DOOR IN SIDE YARD

DRAWING DESCRIPTION:

RIGHT SIDE ELEVATION

SCALE:
3/16"=1'0"

DATE:
JAN 30, 2024

DRAWING NO:

A5

REVISION:

0

Zoning Non-compliance Checklist

File No.
A-2024-0028

Applicant: Anju Bhutani
Address: 25 Meadowlark Dr
Zoning: R1D-2631
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR			
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
ABOVE GRADE ENTRANCE	To permit an existing above grade entrance in a side yard having a minimum width of 0.90m extending from the front wall of the dwelling up to the door,	whereas the by-law permits an above grade entrance when the side yard within which the door is located has a minimum width of 1.2m (3.94 ft.) extending from the front wall of the dwelling up to and including the door.	10.24.1 (a)
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
GARAGE WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Shiza Athar

Reviewed by Zoning

2024/01/30

Date