

**Application for Minor Variance**Section 45 of the *Planning Act*, R.S.O. 1990 c.P.13**Please Note:** You are receiving this notice as you are within 60 meters of the subject property.

**Application Number:** A-2024-0029  
**Property Address:** 66 Marysfield Drive  
**Legal Description:** Plan 406, Part Lot 10, RP 43R40835, Part 2, Ward 10  
**Agent:** Harpreet Chatrath  
**Owner(s):** Harjit Singh Ghuman, Swarnjeet Kaur Ghuman  
**Other applications:** nil  
**under the *Planning Act***

**Meeting Date and Time:** Tuesday, March 19, 2024 at 9:30 am  
**Meeting Location:** Hybrid in-person and virtual meeting – Council Chambers,  
4<sup>th</sup> Floor Brampton City Hall, 2 Wellington Street West

**Purpose of the Application:**

1. To permit an interior side yard (south) setback of 3.0 metres to a proposed single detached dwelling, whereas the by-law requires a minimum interior side yard setback of 7.5 metres;
2. To permit an interior side yard (north) setback of 4.44 metres to a proposed single detached dwelling, whereas the by-law requires a minimum interior side yard setback of 7.5 metres;
3. To permit the minimum separation of 10.64 metres between dwellings, whereas the by-law requires a minimum separation of 15m between dwellings; and
4. To permit a lot coverage of 11.86%, whereas the by-law permits a maximum lot coverage of 10% excluding permitted accessory buildings.

**Participate in the Meeting:**

- Send an email with your written comments to [coa@brampton.ca](mailto:coa@brampton.ca). Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **4:00 pm on Thursday, March 14, 2024**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing [coa@brampton.ca](mailto:coa@brampton.ca) and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **4:00 pm on Thursday, March 14, 2024**, by emailing [coa@brampton.ca](mailto:coa@brampton.ca), and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

**Note:** Information provided in your correspondence, virtual or in-person delegation will become part of the public meeting record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence, and you will not be entitled to any further notice in the proceedings.

**Viewing Application Materials:** The application and related materials are available online at [www.brampton.ca/en/city-hall/meetings-agendas](http://www.brampton.ca/en/city-hall/meetings-agendas) and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at [www.brampton.ca](http://www.brampton.ca).

**Appeal Process:** If you wish to be notified of the decision of Committee, you must submit a written request to [coa@brampton.ca](mailto:coa@brampton.ca). This will also entitle you to be advised of an appeal of the matter to the Ontario Land Tribunal (OLT). Please be advised that only the applicant, municipality, certain public bodies and the Minister can appeal a decision to the OLT. If a decision is appealed, you may request participant status by contacting [olt.clo@ontario.ca](mailto:olt.clo@ontario.ca).

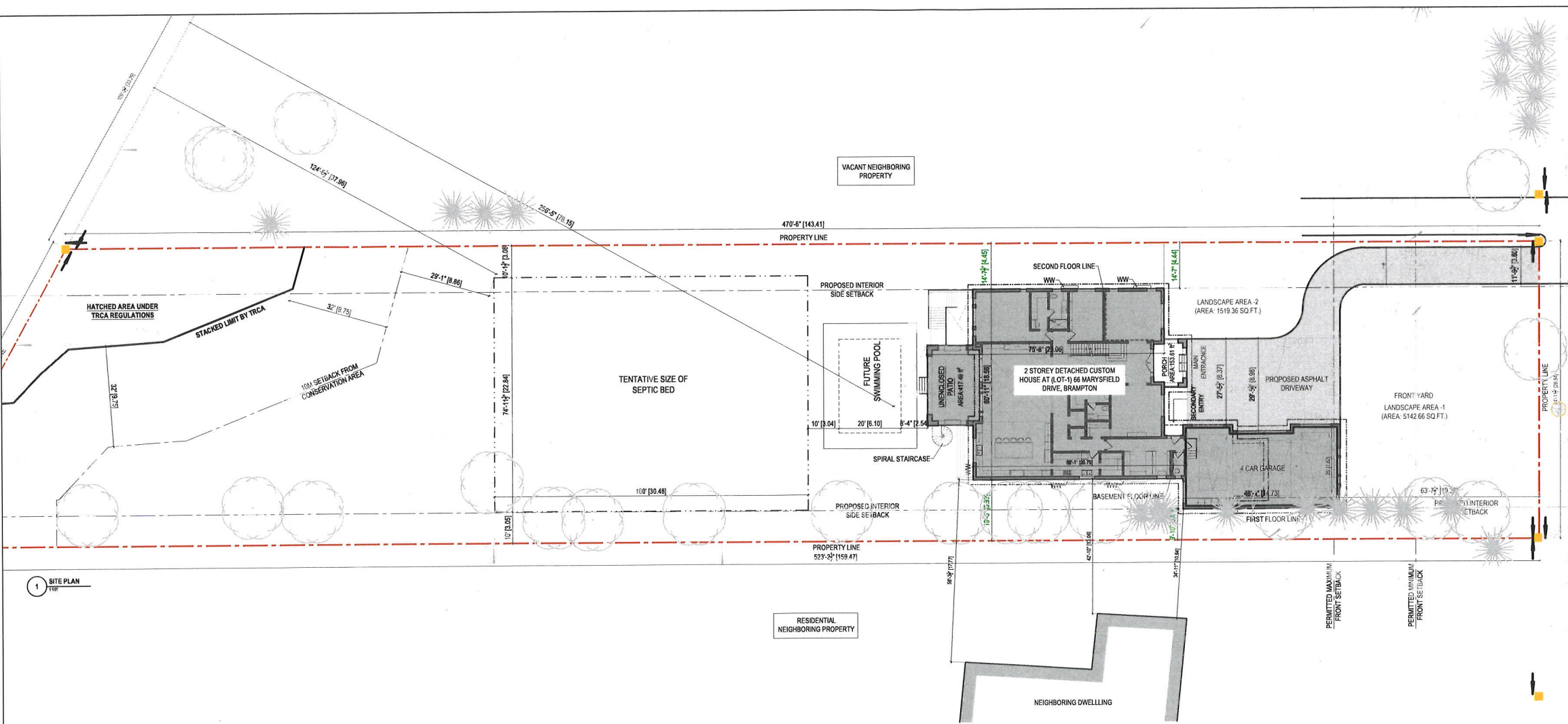
Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 6th day of March 2024

Secretary Treasurer  
Committee of Adjustment, City Clerk's Office  
2 Wellington Street West, Brampton, L6Y 4R2  
P: 905.874.2117  
E: [coa@brampton.ca](mailto:coa@brampton.ca)

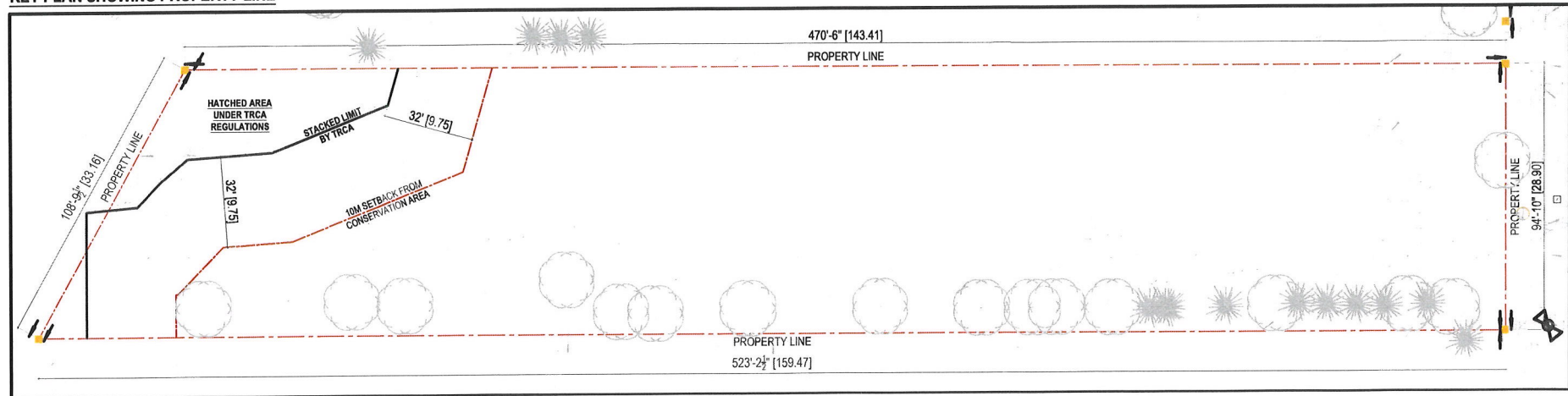


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1 SITE PLAN  
1/8"

KEY PLAN SHOWING PROPERTY LINE



3		
2		
1	2024-01-30	Minor Variance
#	DATE	ISSUED FOR



PROJECT NAME  
CUSTOM HOUSE  
AT (LOT-1) 66 MARYSFIELD DRIVE,  
BRAMPTON, ON

DRAWING NAME  
SITE PLAN

DRAWN BY HK	PROJECT NO. 23.018
CHECKED BY HK	Rev 00
Scale AS MENT.	Drawing no. A1.0
TRUE NORTH	PROJECT NORTH

