



For Office Use Only  
(to be inserted by the Secretary-Treasurer  
after application is deemed complete)

FILE NUMBER: A-2024-0031

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION  
Minor Variance or Special Permission  
(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1. Name of Owner(s) SUKHDEV SINGH FARWAHA , DAVINDER FARWAHA & AMARDEEP FARWAHA  
Address 1 MUGO PINE ST BRAMPTON

Phone # 647 524 0885 Fax # \_\_\_\_\_  
Email jassi76sehmbi@yahoo.ca

2. Name of Agent AMRIT SINGH SANGHA  
Address 17 ROBITAILLE DR BRAMPTON

Phone # 647 642 2200 Fax # \_\_\_\_\_  
Email TEAM2AB.COM@GMAIL.COM

3. Nature and extent of relief applied for (variances requested):  

MINOR VARIANCES / BELOW GRADE

4. Why is it not possible to comply with the provisions of the by-law?  

SET BACK FOR SIDE YARD

5. Legal Description of the subject land:  
Lot Number 190  
Plan Number/Concession Number M1959  
Municipal Address 1 MUGO PINE ST BRAMPTON

6. Dimension of subject land (in metric units)  
Frontage 3.80 M  
Depth 2.43 M  
Area 5.85 SQM

7. Access to the subject land is by:  
Provincial Highway ☐ Seasonal Road ☐  
Municipal Road Maintained All Year ☒ Other Public Road ☐  
Private Right-of-Way ☐ Water ☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES** on the subject land: List all structures (dwelling, shed, gazebo, etc.)

SINGLE FAMILY DWELLING

**PROPOSED BUILDINGS/STRUCTURES** on the subject land:

CHANGE OF USE TO TWO DWELLING UNIT , 1 NEW WINDOW, 2 ENLARGED, BELOW GRADE

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	4.45 M
Rear yard setback	12.10 M
Side yard setback	1.27 M
Side yard setback	3.79 M

**PROPOSED**

Front yard setback	4.45 M
Rear yard setback	12.10 M
Side yard setback	1.27 M
Side yard setback	3.18 M

10. Date of Acquisition of subject land: 04/26/2016
11. Existing uses of subject property: SFD
12. Proposed uses of subject property: TWO DWELLING UNIT
13. Existing uses of abutting properties: SIDE YARD
14. Date of construction of all buildings & structures on subject land: 2016
15. Length of time the existing uses of the subject property have been continued: 8 YEARS

16. (a) What water supply is existing/proposed?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Well ☐
- (b) What sewage disposal is/will be provided?  
Municipal ☒ Other (specify) \_\_\_\_\_  
Septic ☐
- (c) What storm drainage system is existing/proposed?  
Sewers ☒ Other (specify) \_\_\_\_\_  
Ditches ☐  
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

*Amrit Singh*

Signature of Applicant(s) or Authorized Agent

DATED AT THE CITY \_\_\_\_\_ OF \_\_\_\_\_ BRAMPTON

THIS 21 Feb DAY OF 01 09, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, AMRIT SINGH SANGHA, OF THE CITY \_\_\_\_\_ OF \_\_\_\_\_ BRAMPTON

IN THE REGION \_\_\_\_\_ OF \_\_\_\_\_ PEEL \_\_\_\_\_ SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

CITY \_\_\_\_\_ OF \_\_\_\_\_ BRAMPTON

IN THE REGION \_\_\_\_\_ OF \_\_\_\_\_

PEEL \_\_\_\_\_ THIS 21 9th DAY OF

01 Feb, 2024

A Commissioner etc.

*Amrit Singh*

Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

R1F-2394

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Connor Cowan

Zoning Officer

2024-01-31

Date

DATE RECEIVED Feb 9, 2024.

Date Application Deemed  
Complete by the Municipality

VL

Revised 2022/02/17

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 1 MUGO PINE ST BRAMPTON

I/We, SUKHDEV SINGH FARWAHA  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

AMRIT SINGH SANGHA  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 21 day of 01, 2024.

Sukhdev Singh Farwaha  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Sukhdev Singh Farwaha  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**

**PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 1 MUGO PINE ST BRAMPTON

I/We, SUKHDEV SINGH FARWAHA  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 21 day of 01, 20  .

Sukhdev Singh Farwaha  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Sukhdev Singh Farwaha  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

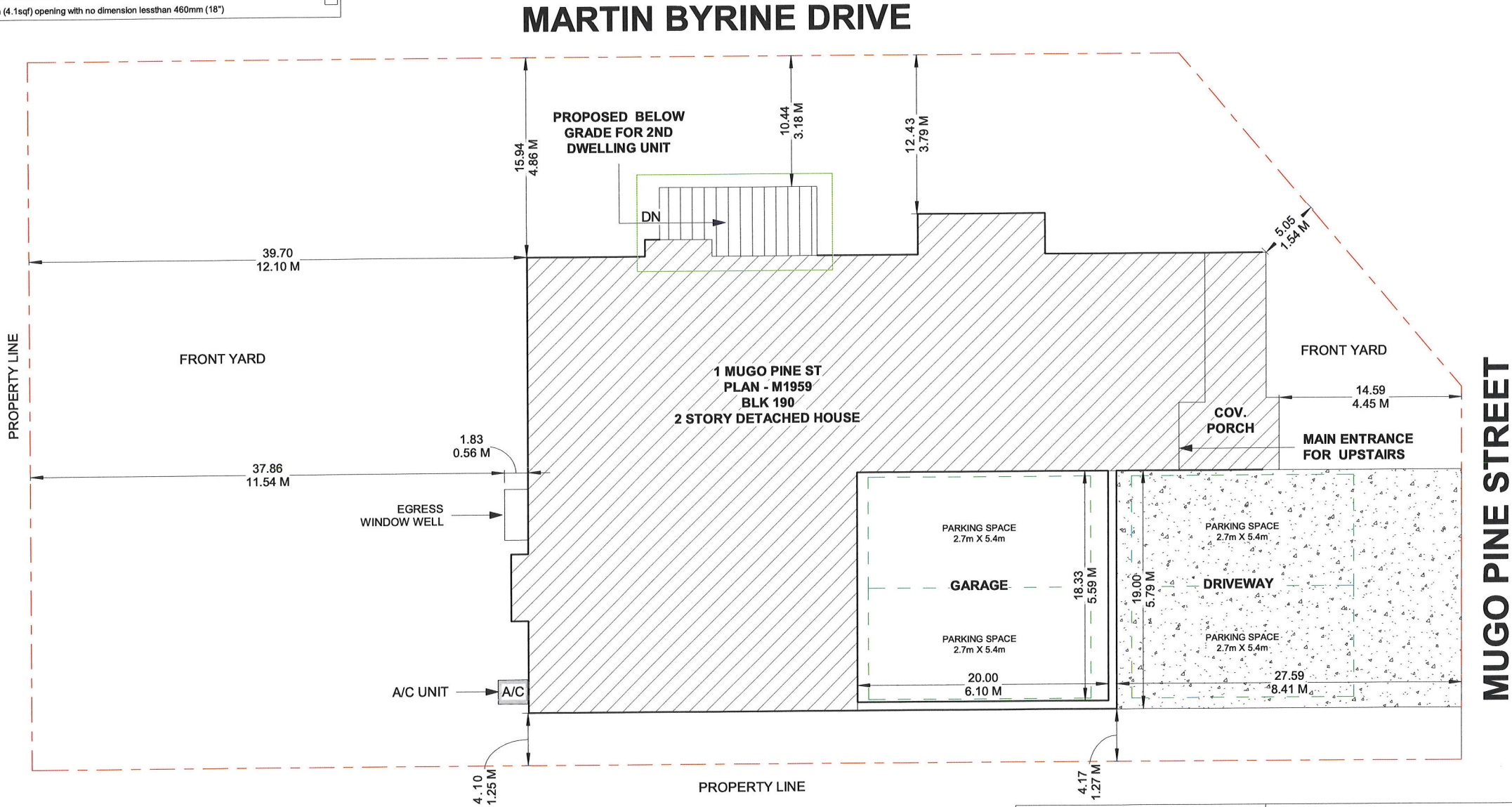


TWO DWELLING UNIT EGRESS OPTION	
A. DIRECT EXCLUSIVE ACCESS TO EXTERIOR	<input checked="" type="checkbox"/>
B. SHARED PROTRCTED EXIT	<input type="checkbox"/>
C. EGREES THROUGH ANOTHER DWELLING UNIT	<input type="checkbox"/>
ADDITIONAL EGRESS REQUIREMENT	
EGREES WINDDOW	<input checked="" type="checkbox"/>
Min 0.35sqm (3.8sqf) opening with no dimension less than 380mm (15")	
ESCAPE WINDDOW	<input type="checkbox"/>
Min 0.38sqm (4.1sqf) opening with no dimension less than 460mm (18")	

1 MUGO PINE ST.  
SINGLE FAMILY DETACHED HOUSE  
PART - M1959  
BLK 190

SECOND UNIT AREA : 787 SQF  
OWNERS AREA : 3,826 SQF

PARKING PROVIDED : 4 ( TWO IN GARAGE & TWO ON DRIVEWAY )



PROJECT: 1 MUGO PINE ST. BRAMPTON. ON		SHEET TITLE: SITE PLAN			
REVISIONS		DRAWN BY: AS	CHECKED BY: MK	PROJECT NO.: 2300187	D'WG. No.: A1.0
-		SCALE: 1/8" = 1'-0"		DATE: OCT/21/23	
-					

# Zoning Non-compliance Checklist

File No.  
A-2024-0031

Applicant: AMRIT SINGH SANGHA  
Address: 1 Mugo Pine St  
Zoning: R1F-2394  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS FRONT / SIDE / REAR	To permit an interior side yard setback of 3.18m to a proposed exterior stairway leading to a below grade entrance	whereas the by-law requires a minimum interior side yard setback of 4.5m.	13.5.2(e)
BUILDING SIZE			
BUILDING HEIGHT			
COVERAGE			
BELOW GRADE ENTRANCE	To permit a proposed exterior stairway leading to a below grade entrance located between the main wall of the dwelling and the flankage lot line	whereas the by-law does not permit a stairway constructed below established grade to be located between the main wall of a dwelling and the flankage lot line.	10.23.1
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Connor Cowan

Reviewed by Zoning

2024-01-31

Date