

FILE NUMBER:

A-2024-0053

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

NOTE:

It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

Sundial Homes (Castlemore) Limited

Address

c/o Flintshire Building Group Corp.

101 Bradwick Drive

Vaughan, ON L4K 1K5

Phone #

416 987 5500 x. 136

Fax #

Email

surajv@treasurehill.com

2.

Name of Agent

Glen Schnarr & Associates Inc. (Attn: Jason Afonso)

Address

700-10 Kingsbridge Garden Circle

Mississauga, ON L5R 3K6

Phone #

905 568 8888 x. 227

Fax #

Email

jasona@gsai.ca

3.

Nature and extent of relief applied for (variances requested):

1. To allow a minimum lot area of 625 m² whereas 690 metres is required;

2. To allow a minimum lot width of 20 metres whereas 23 metres is required;

3. To allow a minimum lot depth of 25 metres whereas 30 metres is required;

4. To allow a minimum rear yard depth of 6 metres provided that the area of the rear yard is at least 25% of the minimum required lot area, whereas 7.5 metres is required; and

5. To allow a minimum interior side yard width of 0.6 metres; provided the combined total of the interior side yards on an interior lot is not less than 1.8m metres, whereas 1.8 metres is required

4.

Why is it not possible to comply with the provisions of the by-law?

Inconsistent lot regulations.

5.

Legal Description of the subject land:

Lot Number

Block 13

Plan Number/Concession Number

43M-2093

Municipal Address

Mosswood Trail

6.

Dimension of subject land (in metric units)

Frontage

3.11 m

Depth

27 m

Area

178 m²

7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

☐

☒

☐

Seasonal Road

Other Public Road

Water

☐

☐

☐

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

EXISTING BUILDINGS/STRUCTURES on the subject land: List all structures (dwelling, shed, gazebo, etc.)

None - Land is vacant

PROPOSED BUILDINGS/STRUCTURES on the subject land:

2-Storey Detached Dwelling;
Size and Dimensions unknown at this time.

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

EXISTING

Front yard setback	N/A
Rear yard setback	N/A
Side yard setback	N/A
Side yard setback	N/A

PROPOSED

Front yard setback	4.5 m (6.0m to garage)
Rear yard setback	6.0 m
Side yard setback	1.2 m on one side
Side yard setback	0.6 m on the other side

10. Date of Acquisition of subject land: +10 years

11. Existing uses of subject property: Residential / Vacant

12. Proposed uses of subject property: Detached Residential

13. Existing uses of abutting properties: Detached Residential / Future Open Space

14. Date of construction of all buildings & structures on subject land: N/A

15. Length of time the existing uses of the subject property have been continued: N/A

16. (a) What water supply is existing/proposed?
Municipal ☒ Other (specify) _____
Well ☐
- (b) What sewage disposal is/will be provided?
Municipal ☒ Other (specify) _____
Septic ☐
- (c) What storm drainage system is existing/proposed?
Sewers ☒ Other (specify) _____
Ditches ☐
Swales ☐

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # _____ Status _____

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____


Signature of Applicant(s) or Authorized Agent

DATED AT THE City _____ OF Mississauga

THIS 23rd DAY OF February, 2024.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Jason Afonso, OF THE City _____ OF Mississauga

IN THE Region _____ OF Peel _____ SOLEMNLY DECLARE THAT:


ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City _____ OF Mississauga
IN THE Region _____ OF
Peel _____ THIS 23rd DAY OF
February, 2024.

Nikola Coric, a Commissioner, etc.,
Province of Ontario, for
Glen Schnarr & Associates Inc.
Expires September 1, 2024
A Commissioner etc.




Signature of Applicant or Authorized Agent

FOR OFFICE USE ONLY

Present Official Plan Designation: _____

Present Zoning By-law Classification: _____

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Zoning Officer

Date

DATE RECEIVED

Date Application Deemed
Complete by the Municipality

Revised 2022/02/17

APPOINTMENT AND AUTHORIZATION OF AGENT

To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: Block 13, Plan 43M2093, City of Brampton


I/We, Sundial Homes (Castlemore) Limited
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Flintshire Building Group Corp.
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 26 day of February, 2024.

per: 
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Daniel Yanowski
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.

PERMISSION TO ENTER


To: The Secretary-Treasurer
Committee of Adjustment
City of Brampton
2 Wellington Street West
Brampton, Ontario
L6Y 4R2
coa@brampton.ca

LOCATION OF THE SUBJECT LAND: Block 13, Plan 43M 2093, City of Brampton

I/We, Sundial Homes (Castlemore) Limited
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

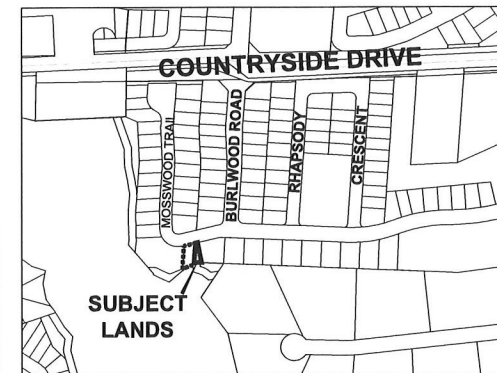
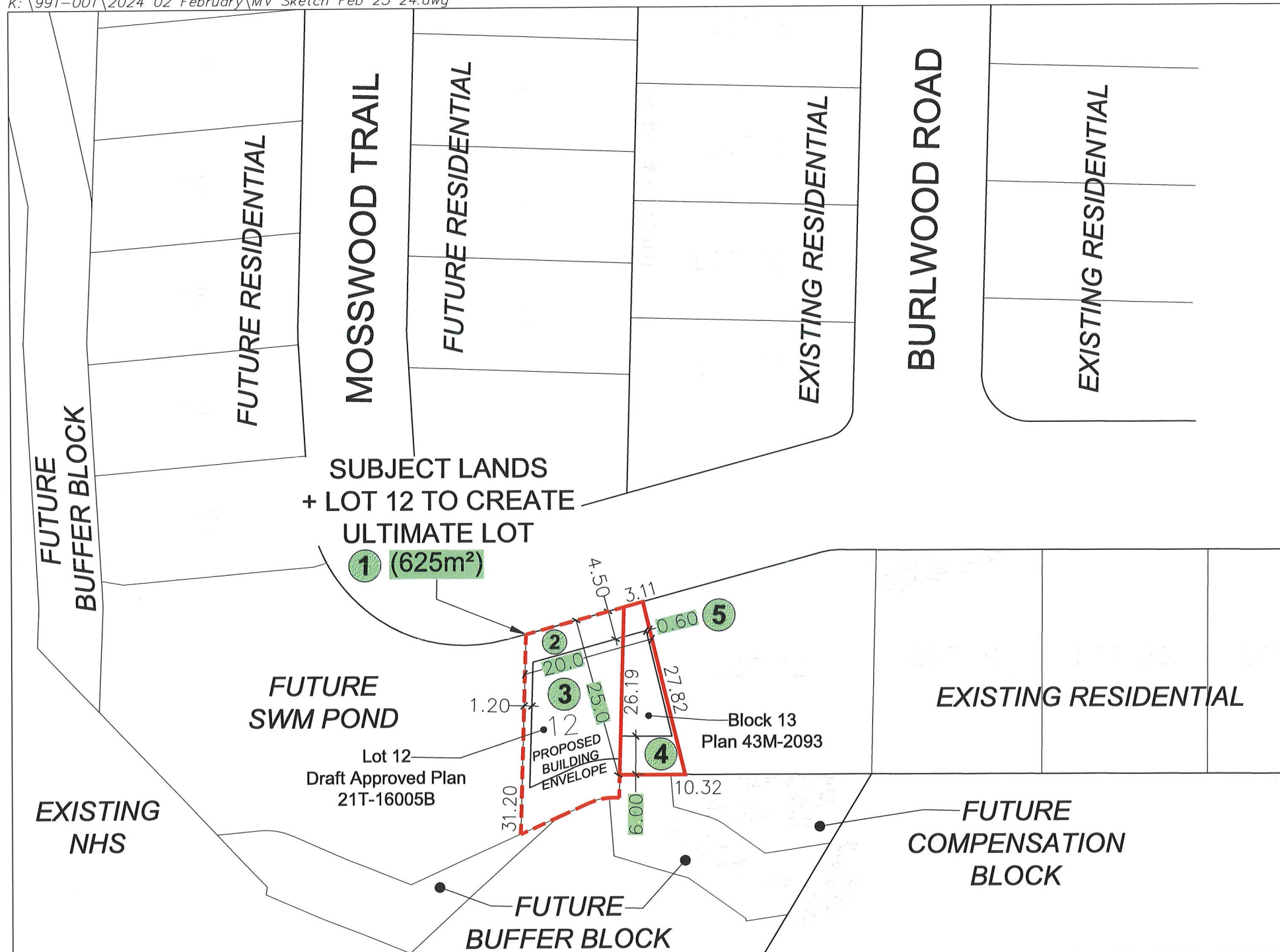
Dated this 26 day of February, 2024.

per: 
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

Daniel Yanowski
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.

NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION



MINOR VARIANCE SKETCH **SUNDIAL HOMES** **(CASTLEMORE) LIMITED** BLOCK 13, PLAN 43M-2093 CITY OF BRAMPTON REGION OF PEEL

Subject Lands: 178m²

Required Variances:

1. To allow a minimum lot area of 625m² whereas 690m² is required;
2. To allow a minimum lot width of 20.0 metres whereas 23.0 metres is required;
3. To allow a minimum lot depth of 25.0 metres is required whereas 30.0 metres is required;
4. To allow a minimum rear yard of 6.0 metres provided that the area of the rear yard is at least 25% of the minimum required lot area, whereas 7.5 metres is required; and
5. To allow a minimum interior side yard width of 0.6 metres; provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres, whereas 1.8 metres is required.



SCALE 1:750
FEBRUARY 23, 2024

GSAI
Glen Schnarr & Associates Inc.

February 23, 2024

GSAI File: 991-001

City of Brampton
Committee of Adjustment
2 Wellington Street West
Brampton, ON L6Y 4R2

Attention: Clara Vani, Secretary-Treasurer

**Re: Application for Minor Variance
Sundial Homes (Castlemore) Limited
Block 13, Plan 43M-2093
City of Brampton**

Please accept the enclosed Application for Minor Variance on behalf of Sundial Homes (Castlemore) Limited, owner of the above-noted property.

The lands subject to the Application is located on the south side of Mosswood Trail, west of Burlwood Road. The lands are legally described as Block 13, Plan 43M-2093 and represents a residential part block within a registered plan of subdivision. The Block has a frontage of approximately 3.11 metres on Mosswood Trail, a lot depth of approximately 27 metres, and an area of approximately 178m². The Block is vacant and intended to accommodate a detached dwelling upon assembly with the adjacent lot to the west (Lot 12, Draft-Approved Plan 21T-16005B).

Due to inconsistent zoning designations between the subject part lot ("R2B-2528" Zone) and the merging lot to the west ("R1A-1758" Zone), a Minor Variance is required in order to establish consistent zoning regulations for the complete lot, once merged. The required variances are described as follows:

1. To allow a minimum lot area of 625 m² whereas 690 metres is required;
2. To allow a minimum lot width of 20 metres whereas 23 metres is required;
3. To allow a minimum lot depth of 25 metres whereas 30 metres is required;
4. To allow a minimum rear yard depth of 6 metres provided that the area of the rear yard is at least 25% of the minimum required lot area, whereas 7.5 metres is required; and
5. To allow a minimum interior side yard width of 0.6 metres; provided the combined total of the interior side yards on an interior lot is not less than 1.8m metres, whereas 1.8 metres is required.

In our opinion, the proposed variances meet the prescribed criteria to authorize minor variances under Section 45 of the Planning Act:

- 1) The proposed variances conform to the Official Plan as the lands are designated “Executive Residential” in the Vales of Humber Secondary Plan which allows for detached dwellings with a minimum lot width of 15 metres. The proposed variances will allow for the implementation of the detached housing forms permitted by the Official Plan/Secondary Plan;
- 2) The proposed variances meet the intent of the Zoning By-law as the lands are zoned for detached dwellings. The proposed variances will continue to implement the housing form permitted by the Zoning By-law.
- 3) The proposed variances are minor in nature as they are intended to address existing lot deficiencies for lands which are already registered. The proposed variances will continue to maintain consistency with the established streetscape along Mosswood trail and Burlwood Road.
- 4) The proposed variances are appropriate and desirable as they are intended to establish consistency for the zoning regulations already permitted within the subdivision.

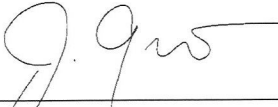
In support of the Minor Variance Application, we enclose:

- An executed Application for Minor Variance form including the Appointment and Authorization of Agent and Permission to Enter forms; and
- A Minor Variance Sketch Plan as prepared by GSAI dated February 23, 2024.

We trust this completes the Application for Minor Variance and we look forward to being considered for the March 19, 2024 hearing date. Please feel free to contact the undersigned if you have any questions or require anything further.

Sincerely,

GLEN SCHNARR & ASSOCIATES INC.



Jason Afonso, MCIP, RPP

c. Suraj Verma, Flintshire Building Group Corp.

February 23, 2024

GSAI File: 991-001

City of Brampton
Committee of Adjustment
2 Wellington Street West
Brampton, ON L6Y 4R2

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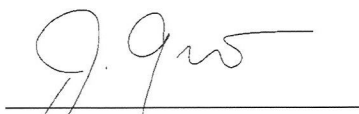
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Sincerely,

GLEN SCHNARR & ASSOCIATES INC.


Jason Afonso, MCIP, RPP

c. Suraj Verma, Flintshire Building Group Corp.

In the matter of the required sign(s) to be posted on the property subject of application(s) to the Committee of Adjustment to meet the notice requirements of Ontario Regulation 197/96 amended by Ontario Regulation 505/98 and Ontario Regulation 200/96 amended by Ontario Regulation 508/98

AFFIDAVIT

I, JASON AFONSO of the CITY of MISSISSAUGA
(your name) (Name of city, town, village)

being the ☐ applicant ☐ authorized agent ☒ agent's rep having made application(s) to the
(check appropriate box)

Committee of Adjustment of the Corporation of the City of Brampton, for the property

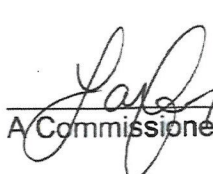
located at: 0 MOSSWOOD TRAIL, FILE # A-2024-0053

Make oath and say as follows:

1. I hereby declare that I will post the required sign(s) along each street frontage of the property, approximately 1.0m – 1.5m in height, either on the property line or not more than 1.0m back from the property line, in a location clearly visible from the street and include on the face of the sign the following information:
 - a. Application number(s);
 - b. Date, time and location of the hearing;
 - c. The purpose and effect of the consent application and/or the minor variance(s).
2. I hereby declare that I will provide a photo of the posted sign via email to the Secretary Treasurer of the Committee of Adjustment at coa@brampton.ca no later than the date the sign is erected, and I will remove the sign no later than the day after the meeting.

Sworn before me at the City of Mississauga
~~Brampton~~
in the Regional Municipality of Peel, this

29th day of Feb 2024


A Commissioner, etc.
Laura Kim Amorim, a Commissioner, etc.,
Province of Ontario, for
Glen Schnarr & Associates Inc.
Expires March 3, 2026.


Signature of Applicant/Authorized Agent

Note: Minor Variance Signs must be posted ten (10) calendar days prior to the meeting date, and Consent Signs must be posted no later than twenty (20) calendar days prior to the meeting date.

Failure to comply with the above noted posting requirements will result in your application being deferred to a future meeting date.

Zoning Non-compliance Checklist

A - 2024 - 0053

File No.
~~A-2022-~~

Applicant: Sundial Homes
Address: Block 13, 43M-2093 Mosswood Trail
Zoning: R1B 2528 and R1A 1758
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH	To allow a minimum lot area of 625 square metres.	Whereas the by-law requires a minimum 690 square metres.	
BUILDING SETBACKS FRONT/ SIDE / REAR	To allow a minimum rear yard depth of 6 metres provided that the area of the rear yard is at least 25% of the minimum required lot area.	Whereas the by-law requires a minimum rear yard of 7.5 metres.	
LOT WIDTH	To allow a minimum lot width of 20 metres.	Whereas the by-law requires a minimum lot width of 23 metres.	
LOT DEPTH	To allow a minimum lot depth of 25 metres.	Whereas the by-law requires a minimum lot depth of 30 metres.	
BUILDING SETBACKS SIDE	To allow a minimum interior side yard width of 0.6 metres, provided the combined total of the interior side yards on an interior lot is not less than 1.8 metres.	Whereas the by-law requires a minimum of 1.8 metres.	
PARKING			
DRIVEWAY			
ACCESSORY STRUCTURE			
ACCESSORY STRUCTURE SIZE / HEIGHT			
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPE OPEN SPACE			
SCHEDULE 'C'			
FENCE HEIGHT			

Rose Bruno
Reviewed by Zoning

February 27, 2024
Date