

FILE NUMBER:

A-2023-0312

The Personal Information collected on this form is collected pursuant to section 45 of the Planning Act and will be used in the processing of this application. Applicants are advised that the Committee of Adjustment is a public process and the information contained in the Committee of Adjustment files is considered public information and is available to anyone upon request and will be published on the City's website. Questions about the collection of personal information should be directed to the Secretary-Treasurer, Committee of Adjustment, City of Brampton.

APPLICATION

Minor Variance or Special Permission

(Please read Instructions)

**NOTE:** It is required that this application be filed with the Secretary-Treasurer of the Committee of Adjustment and be accompanied by the applicable fee.

The undersigned hereby applies to the Committee of Adjustment for the City of Brampton under section 45 of the Planning Act, 1990, for relief as described in this application from By-Law **270-2004**.

1.

Name of Owner(s)

Sukhpreet Singh Bedi

Address

4 Cynthia Crescent, Brampton

Phone #

647-284-1400

Fax #

Email

sukhpreet291710@gmail.com
2.

Name of Agent

Shane Edwards / Kurtis Van Keulen (Huis Design Studio Ltd.)

Address

1A Conestoga Drive (Unit 301), Brampton, ON L6Z 4N5

Phone #

1-833-456-4847 (ext. 2)

Fax #

Email

shane@huisdesigns.ca
3.

Nature and extent of relief applied for (variances requested):

Zoning By-law Section 10.5 (a) - Attached garage door height shall not exceed 2.4 metres.

The proposed garage door total height is 3.05 metres; seeking a relief of 0.65 metres.

Zoning By-law Section 11.2.2 (h) - Maximum height of buildings other than used for agricultural purposes (10.6 metres)

The proposed building height is 13.99 metres; seeking a relief of 3.39 metres.

Zoning By-law Section 11.2.2 (e) - Minimum interior side yard depth is 7.5 metres.

The proposed interior side yard width is 2.21 (east property line); seeking a relief of 5.29 metres.
4.

Why is it not possible to comply with the provisions of the by-law?

Section 10.5 (a) - The proposed garage door height is desired to better aesthetically and functionally suit this style and size of dwelling.

Section 11.2.2 (h) - Due to the proposed width and sprawling nature of the dwelling an appropriate roof style/slope was designed to suit the architectural aesthetics. The steeper slope results in a height that exceeds what is permitted by the by-law.

Section 11.2.2 (e) - The existing garage and driveway are to remain. As per the addition proposed (east portion of the existing dwelling) and the additional garage added, the proposed side wall of the garage has encroached into the side yard setback.
5.

Legal Description of the subject land:

Lot Number

Lot 38

Plan Number/Concession Number

Registered Plan M-350

Municipal Address

4 Cynthia Crescent, Brampton, ON L6P 0T1
6.

Dimension of subject land (in metric units)

Frontage

67.06 M

Depth

97.11 M

Area

8,687.96 SQ.M (0.8688 ha)
7.

Access to the subject land is by:

Provincial Highway

Municipal Road Maintained All Year

Private Right-of-Way

Seasonal Road

Other Public Road

Water

8. Particulars of all buildings and structures on or proposed for the subject land: (specify in metric units ground floor area, gross floor area, number of storeys, width, length, height, etc., where possible)

**EXISTING BUILDINGS/STRUCTURES on the subject land:** List all structures (dwelling, shed, gazebo, etc.)

• **Existing one storey brick single family dwelling.**  
Ground Floor Area = 202.89 sq.m, Gross Floor Area = 405.78 sq.m (approx.)  
Building Height = 10.00 m (estimated), Building Length & Width = 14.88 m & 24.92 m

**PROPOSED BUILDINGS/STRUCTURES on the subject land:**

• **Proposed two storey stone single family dwelling.**  
Ground Floor Area = 292.26 sq.m, Gross Floor Area = 678.73 sq.m  
Building Height = 13.99 m, Building Length & Width = 16.74 m & 40.70 m

9. Location of all buildings and structures on or proposed for the subject lands: (specify distance from side, rear and front lot lines in metric units)

**EXISTING**

Front yard setback	Dwelling = 23.45 M
Rear yard setback	Dwelling = 49.10 M
Side yard setback	Dwelling = 18.01 M (East)
Side yard setback	Dwelling = 32.12 M (West)

**PROPOSED**

Front yard setback	Dwelling = 23.45 M
Rear yard setback	Dwelling = 46.99 M
Side yard setback	Dwelling = 2.21 M (East)
Side yard setback	Dwelling = 32.12 M (West)

10. Date of Acquisition of subject land: 2020 (Estimated)
11. Existing uses of subject property: Residential single family dwelling.
12. Proposed uses of subject property: Residential single family dwelling.
13. Existing uses of abutting properties: All abutting properties are residential dwellings.
14. Date of construction of all buildings & structures on subject land: 1986 (subdivision assumption)
15. Length of time the existing uses of the subject property have been continued: 37+ years
16. (a) What water supply is existing/proposed?  
Municipal ☐ Other (specify) \_\_\_\_\_  
Well ☒
- (b) What sewage disposal is/will be provided?  
Municipal ☐ Other (specify) \_\_\_\_\_  
Septic ☒
- (c) What storm drainage system is existing/proposed?  
Sewers ☐ Other (specify) \_\_\_\_\_  
Ditches ☒  
Swales ☒

17. Is the subject property the subject of an application under the Planning Act, for approval of a plan of subdivision or consent?

Yes ☐ No ☒

If answer is yes, provide details: File # \_\_\_\_\_ Status \_\_\_\_\_

18. Has a pre-consultation application been filed?

Yes ☐ No ☒

19. Has the subject property ever been the subject of an application for minor variance?

Yes ☐ No ☒ Unknown ☐

If answer is yes, provide details:

File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____
File # _____	Decision _____	Relief _____

Signature of Applicant(s) or Authorized Agent

DATED AT THE City OF Brampton  
THIS 5th DAY OF October, 2023.

IF THIS APPLICATION IS SIGNED BY AN AGENT, SOLICITOR OR ANY PERSON OTHER THAN THE OWNER OF THE SUBJECT LANDS, WRITTEN AUTHORIZATION OF THE OWNER MUST ACCOMPANY THE APPLICATION. IF THE APPLICANT IS A CORPORATION, THE APPLICATION SHALL BE SIGNED BY AN OFFICER OF THE CORPORATION AND THE CORPORATION'S SEAL SHALL BE AFFIXED.

I, Shane Edwards, OF THE City OF Brampton  
IN THE Region OF Peel SOLEMNLY DECLARE THAT:

ALL OF THE ABOVE STATEMENTS ARE TRUE AND I MAKE THIS SOLEMN DECLARATION CONSCIENTIOUSLY BELIEVING IT TO BE TRUE AND KNOWING THAT IT IS OF THE SAME FORCE AND EFFECT AS IF MADE UNDER OATH.

DECLARED BEFORE ME AT THE

City OF Brampton  
IN THE Region OF  
Peel THIS 5th DAY OF  
October, 2023

Clara Vani  
A Commissioner etc.

Clara Vani  
a Commissioner, etc.,  
Province of Ontario,  
for the Corporation of the  
City of Brampton  
Expires September 20, 2026

Signature of Applicant or Authorized Agent

Submit by Email

FOR OFFICE USE ONLY

Present Official Plan Designation: \_\_\_\_\_

Present Zoning By-law Classification: \_\_\_\_\_

RE2-1500

This application has been reviewed with respect to the variances required and the results of the said review are outlined on the attached checklist.

Gerrard Garry

Zoning Officer

2023-09-28

Date

DATE RECEIVED

Oct 5, 2023

Date Application Deemed  
Complete by the Municipality

Clara

**APPOINTMENT AND AUTHORIZATION OF AGENT**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 4 Cynthia Crescent, Brampton, ON L6P 0T1

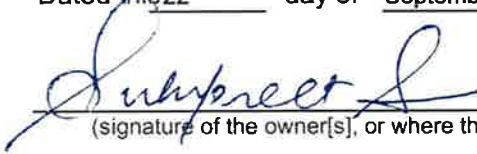
I/We, Sukhpreet Singh Bedi  
please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject lands, hereby authorize

Shane Edwards / Kurtis Van Keulen (Huis Design Studio Ltd.)  
please print/type the full name of the agent(s)

to make application to the **City of Brampton Committee of Adjustment** in the matter of an application for **minor variance** with respect to the subject land.

Dated this 22 day of September, 2023.

  
(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

\_\_\_\_\_  
(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**

**NOTE: Unit owners within a Peel Standard Condominium Corporation are to secure authorization from the Directors of the Condominium Corporation in a form satisfactory to the City of Brampton, prior to submission of an application. Signatures from all Members of the Board of Directors are required.**

## **PERMISSION TO ENTER**

To: The Secretary-Treasurer  
Committee of Adjustment  
City of Brampton  
2 Wellington Street West  
Brampton, Ontario  
L6Y 4R2  
[coa@brampton.ca](mailto:coa@brampton.ca)

LOCATION OF THE SUBJECT LAND: 4 Cynthia Crescent, Brampton, ON L6P 0T1

I/We, Sukhpreet Singh Bedi

please print/type the full name of the owner(s)

the undersigned, being the registered owner(s) of the subject land, hereby authorize the Members of the City of Brampton Committee of Adjustment and City of Brampton staff members, to enter upon the above noted property for the purpose of conducting a site inspection with respect to the attached application for Minor Variance and/or consent.

Dated this 22 day of September, 2023.



(signature of the owner[s], or where the owner is a firm or corporation, the signature of an officer of the owner.)

(where the owner is a firm or corporation, please print or type the full name of the person signing.)

**NOTE: If the owner is a firm or corporation, the corporate seal shall be affixed hereto.**




**NO DISCUSSION SHALL TAKE PLACE BETWEEN THE COMMITTEE MEMBERS AND THE APPLICANT DURING THE SITE INSPECTION**

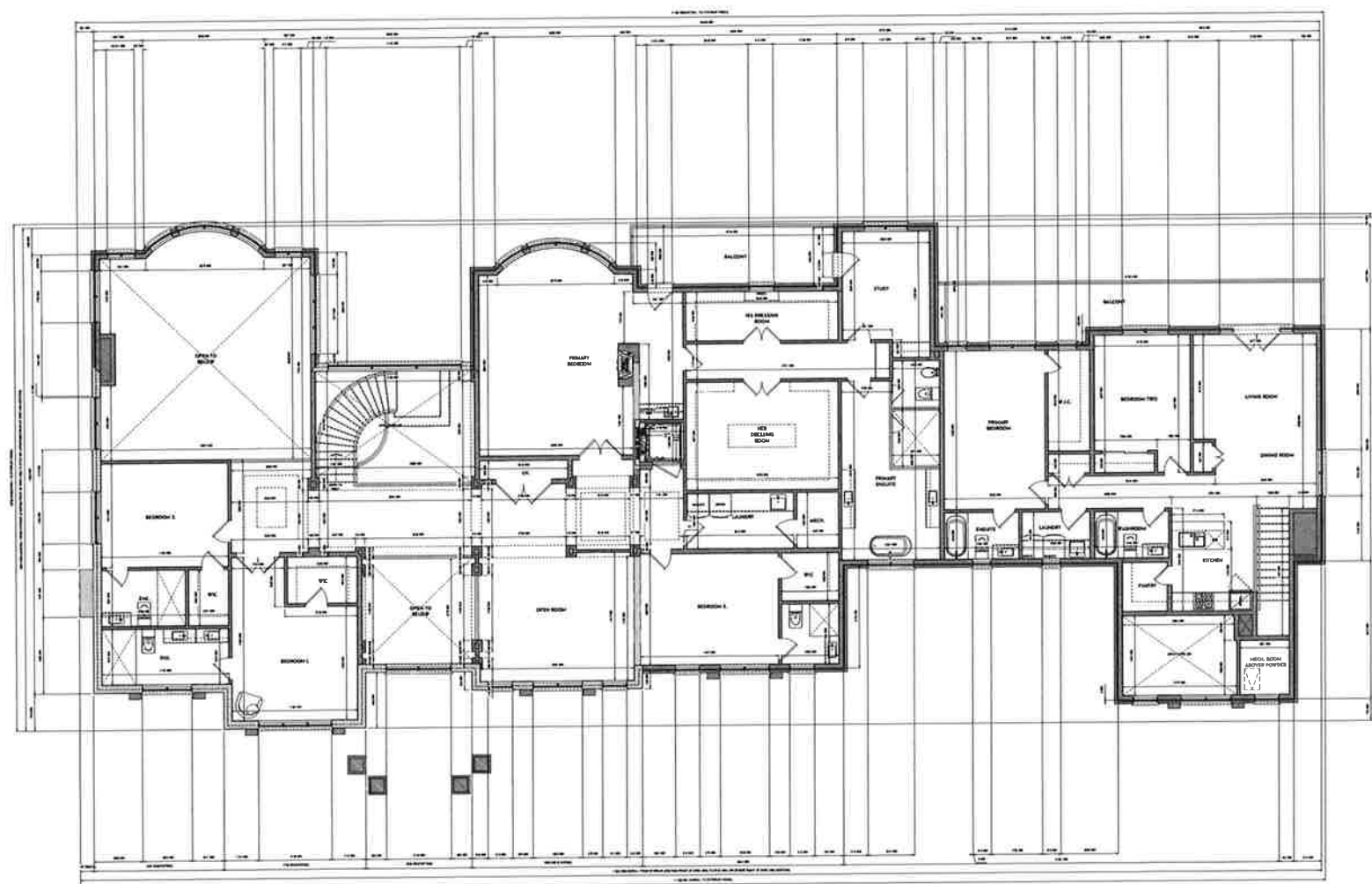






BRIDGE FLOOR AREA CALCULATIONS	
GROUND FLOOR AREA:	3.143 SQ. FT. (782.26 SQ. M.)
SECOND FLOOR AREA:	3.088 SQ. FT. (788.30 SQ. M.)
SECOND LIFT:	1.079 SQ. FT. (100.87 SQ. M.)
<b>TOTAL BRIDGE FLOOR AREA:</b>	<b>7.310 SQ. FT. (769.43 SQ. M.)</b>

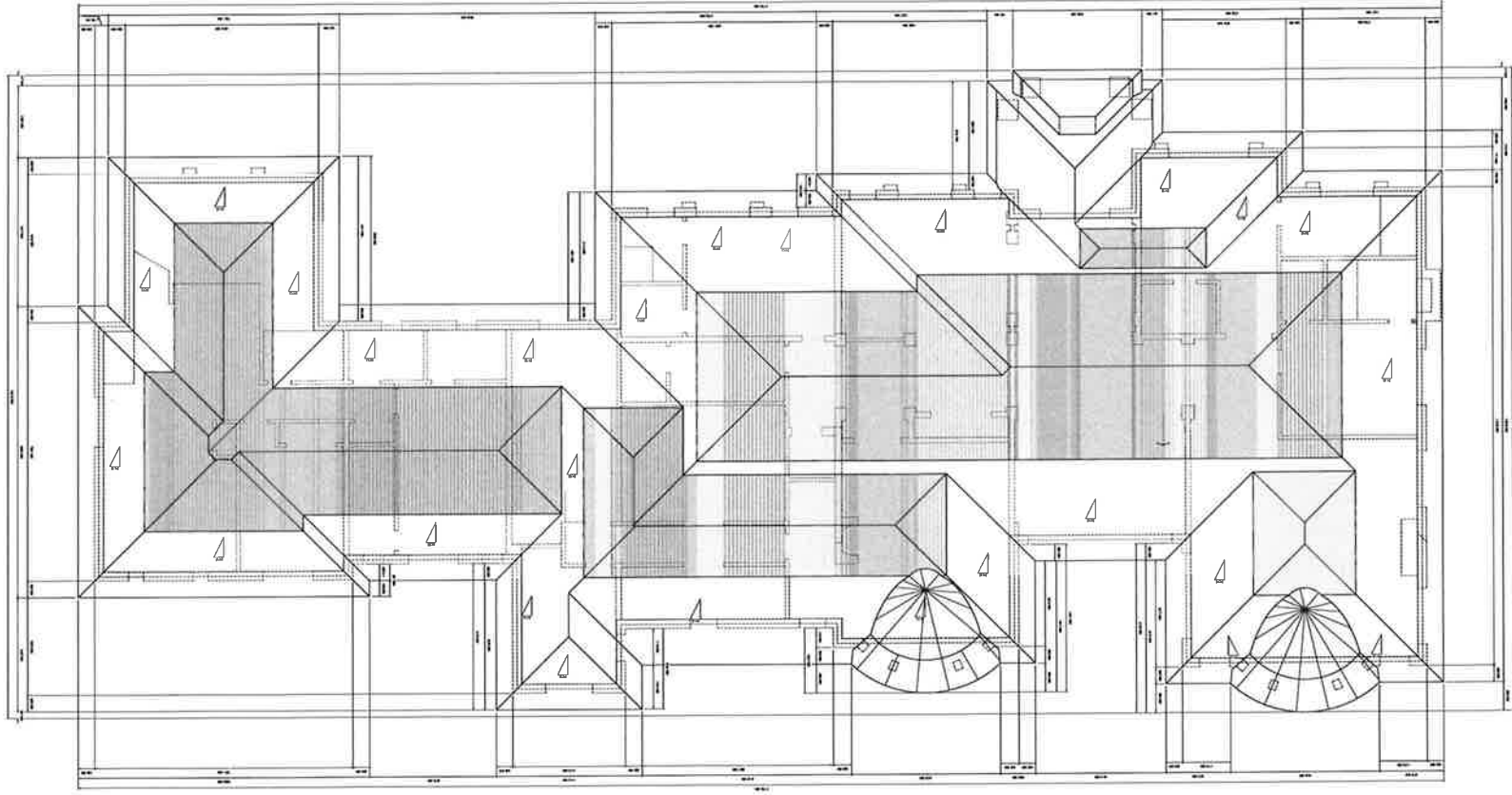
WALL TYPES	
EXISTING WALL TO REMAIN	
EXISTING WALL TO BE DEMOLISHED	
PROPOSED WALL	

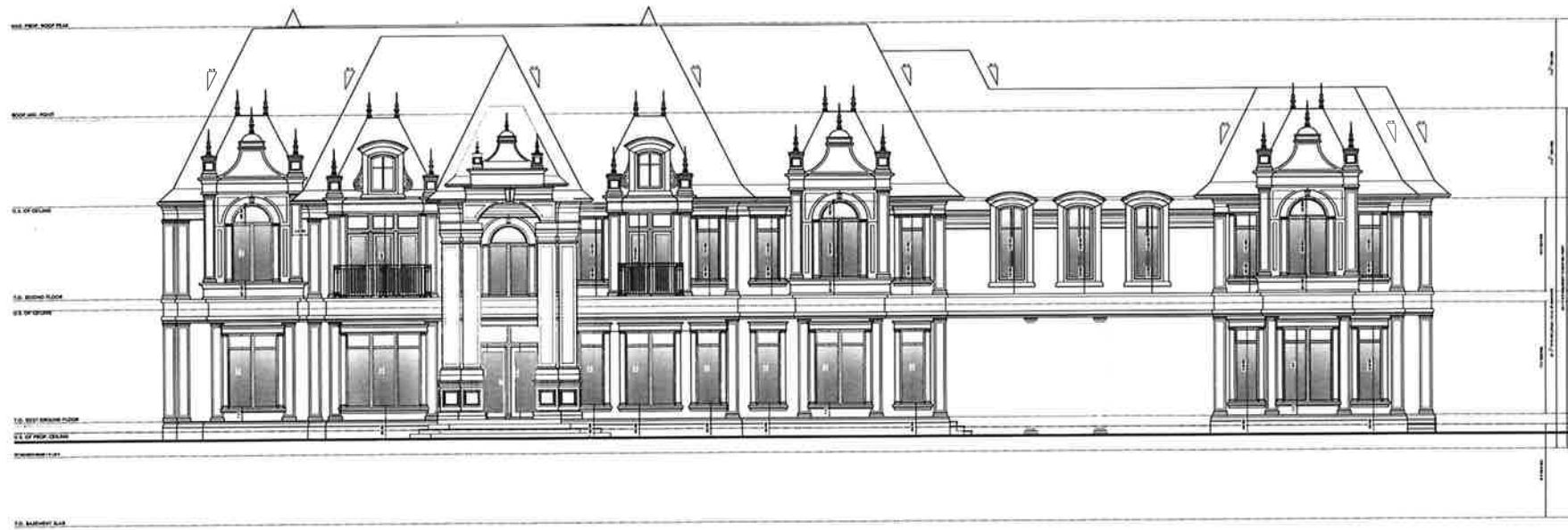


### SECOND FLOOR PLAN



NOTE: HATCHED AREAS DENOTE FLAT ROOF PORTIONS OF PROPOSED ROOF STRUCTURE, FLAT ROOF AREAS TO HAVE A MINIMUM OF 1:50 SLOPE FOR SURFICENT WATER RUN OFF.





FRONT ELEVATION



LEFT ELEVATION





NOTE: 3D COLOUR ELEVATIONS SHOWN ONLY TO DEPICT PROPOSED COLOUR SCHEME OF EXTERIOR FINISHES. REFER TO ARCHITECTURAL ELEVATIONS FOR EXTERIOR FINISH DESCRIPTIONS.





NOTE: 3D COLOUR ELEVATIONS SHOWN ONLY TO DEPICT PROPOSED COLOUR SCHEME OF EXTERIOR FINISHES. REFER TO ARCHITECTURAL ELEVATIONS FOR EXTERIOR FINISH DESCRIPTIONS.







# Zoning Non-compliance Checklist

File No.  
A2023-0312

Applicant: Shane Edwards, Kurtis Van Keulen  
Address: 4 Cynthia Crescent  
Zoning: RE2-1500  
By-law 270-2004, as amended

Category	Proposal	By-law Requirement	Section #
USE			
LOT DIMENSIONS AREA / DEPTH / WIDTH			
BUILDING SETBACKS - SIDE	To permit an interior side yard setback of 2.27m to a proposed two storey dwelling	whereas the by-law requires a minimum interior side yard setback of 7.50m.	10.2.2(e)
BUILDING SIZE			
BUILDING HEIGHT	To permit a proposed detached dwelling having a building height of 14.0m	whereas the by-law permits a maximum building height of 10.6m.	10.2.2(h)
COVERAGE			
BELOW GRADE ENTRANCE			
ACCESSORY STRUCTURE SETBACKS			
ACCESSORY STRUCTURE SIZE / HEIGHT	To permit a garage door height of 3.05m	whereas the by-law permits a maximum garage door height of 2.4m	10.5(a)
MULTIPLE ACCESSORY STRUCTURES			
DRIVEWAY WIDTH			
LANDSCAPED OPEN SPACE			
ENCROACHMENTS			
TWO-UNIT DWELLING			
SCHEDULE "C"			
OTHER – DECK			

Garnet Garry

Reviewed by Zoning

2023-09-28

Date