

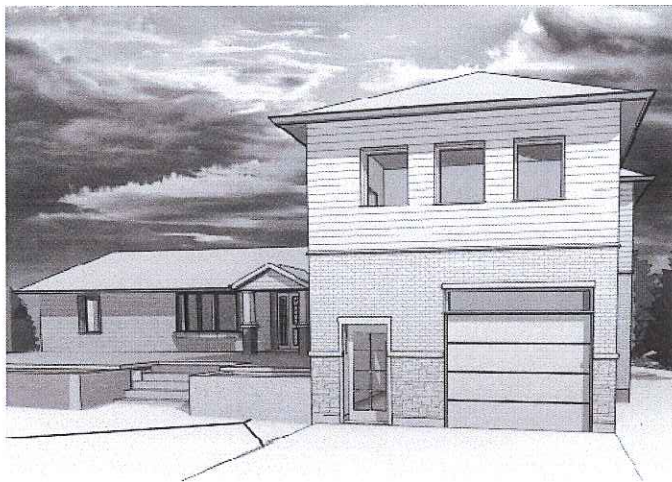
**PROPOSED 2 STOREY ADDITION
7699 Creditview Rd.**

DRAWING LIST	
SHEET No.	SHEET NAME
A000	CONTEXT PAGE
A01	GENERAL NOTES & SCHEDULES
A100	SITE PLAN
A101	FOOTING/FOUNDATION PLAN
A102	GROUND FLOOR PLAN
A103	SECOND FLOOR PLAN
A104	ROOF PLAN
A200	FRONT & REAR ELEVATIONS
A201	LEFT & RIGHT ELEVATIONS
A300	BUILDING SECTIONS
A400	TYPICAL DETAILS

Permit Drawings

A000	CONTEXT PAGE
A01	GENERAL NOTES & SCHEDULES
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A201	LEFT & RIGHT ELEVATIONS
A300	BUILDING SECTIONS
A400	TYPICAL DETAILS

Grand total: 11



ITEM	ONTARIO BUILDING CODE DATA MATRIX			O.S.C. REFERENCE								
	PROJCT DESCRIPTION	NEW	ALTERATION	PART 1	PART 2	PART 3						
1	PROJECT DESCRIPTION: 2 STOREY ADDITION CREDITVIEW RESIDENCE 7699 Creditview Rd. Brampton, ON	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1.1.2.4	B.1.1.2.4	B.1.1.2.4						
2	MAJOR OCCUPANCY(S)	GROUP 'C' - RESIDENTIAL		1.1.2.1(1)	B.1.1.2							
3	BUILDING AREA (m²)	EXISTING 158.80m² NEW 08.05m² TOTAL 226.85m²		1.4.1.2	B.1.4.1.2							
4	GROSS FLOOR AREA (m²)	EXISTING 128.30m² NEW 148.84m² TOTAL 249.53m²		1.4.1.2	B.1.4.1.2							
5	NUMBER OF STOREYS	ABOVE GRADE 2 BELOW GRADE 1		1.1.2.4	B.1.1.2.4							
6	HEIGHT OF BUILDING (m)	8.75m										
7	NUMBER OF STAIRS/ACCESS ROUTES	1		2.2.2.10	B.1.1.2.2.10							
8	BUILDING CLASSIFICATION	GROUP 'C' - RESIDENTIAL		2.2.2.20-.83	B.1.1.2.20-.83							
9	SPRINKLER SYSTEM	ENTIRE BUILDING BASEMENT ONLY WHEN IF ROOF RATING NOT REQUIRED	<input checked="" type="checkbox"/>	2.2.2.20-.83	B.1.1.2.20-.83							
10	STANDPIPE REQUIRED	YES	<input checked="" type="checkbox"/>	2.2.9	N/A							
11	FIRE ALARM REQUIRED	YES	<input checked="" type="checkbox"/>	2.2.9	B.1.1.2.2.9							
12	WATER SERVICE/SUPPLY IS ADEQUATE	YES	<input checked="" type="checkbox"/>	2.2.5.7	N/A							
13	HIGH BUILDING	YES	<input checked="" type="checkbox"/>	2.2.6	N/A							
14	PERMITTED CONSTRUCTION	COMBUSTIBLE NON-COMBUSTIBLE BOTH	<input checked="" type="checkbox"/>	2.2.2.20-.83	B.1.1.2.20-.83							
15	MEZZANINE(S) AREA M2	N/A		N/A	N/A							
16	TOTAL OCCUPANCY LOAD BASED ON	PERSONS M2/PERSON	<input checked="" type="checkbox"/>	2.1.1.7	B.1.1.1.3							
17	BARRIER-FREE DESIGN	ENTIRE BUILDING	<input checked="" type="checkbox"/>	2.8	B.1.1.2.1							
18	HAZARDOUS SUBSTANCES	YES	<input checked="" type="checkbox"/>	2.1.1.2	B.1.1.2.1(4)							
19	REQUIRED FIRE RESISTANCE RATING (R/R)	HORIZONTAL ASSEMBLIES FLOOR(S) N/A HOURS N/A ROOF N/A HOURS N/A MEZZANINE N/A HOURS N/A FIR OF SLIP OR RIMS MEMBERS FLOOR(S) N/A HOURS N/A ROOF N/A HOURS N/A MEZZANINE N/A HOURS N/A	<input checked="" type="checkbox"/>	2.2.2.20-.83 2.2.1.4	B.1.1.2.20-.83 B.1.1.2.1 B.1.1.2.1.6							
20	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	Area of Exposed Wall (m²)	Proposed 1/2" OR (mm)	Permitted % of Opening per Design	Permitted max % of Opening per O.C.	FRR (hours)	Int'l Design or Description	2.2.2	B.1.1.2.15	Combustible Construction	Non-Combustible Construction	
	FRONT	102.4m²	60.5m	11.9%	100%	100%						
	REAR	122.5m²	38.0m	27.6%	100%	100%						
	LEFT	94.5m²	21.4m	7.4%	100%	100%						
	RIGHT	94.5m²	24.5m	8.0%	9%	9%						

GENERAL NOTES / SPECIFICATIONS:

- THESE WORKING DRAWINGS ARE PROVIDED TO MAKE THE FULL DETAILS OF THE BUILDING OR STRUCTURE SHOW. THEY MAY ALSO BE USED AS DOCUMENTS FOR CONSTRUCTION. ALL NOTES AND DIMENSIONS ARE SUBJECT TO CHANGE ACCORDING TO THE ARCHITECTURAL DRAWINGS, OWNER, LOCAL BUILDING OFFICIAL, APPLICABLE CODES, BUILDING REQUIREMENTS AND SITE CONDITIONS. THESE DRAWINGS ARE TO BE CHECKED BY THE CUSTOMER, OWNER AND / OR CONTRACTOR(S) INCLUDING COORDINATION OF THESE AGAINST ANY OTHER CONSTRUCTION DOCUMENTS. ANY ERRORS OR OMISSIONS MUST BE REPORTED IN WRITING TO THE DESIGNER PRIOR COMMENCEMENT OF CONSTRUCTION.
- THESE DRAWINGS ARE NOT TO BE SCALED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, ONTARIO ELECTRICAL CODE AND ONTARIO FIRE CODE LATEST EDITIONS THEREOF.
- THE WORK SHALL ALSO BE IN ACCORDANCE WITH ALL LOCAL CODES, AUTHORITIES HAVING JURISDICTION AND WITH ANY OWNER REQUIREMENTS NOT SPECIFICALLY COVERED.
- THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES INCLUDING SUBCONTRACTORS TO ENSURE NO CONFLICTS AND TO ENSURE EFFICIENT COMPLETION OF THE WORK.
- EVERY ATTEMPT HAS BEEN MADE FOR COMPLETENESS HOWEVER IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM SITE CONDITIONS AND FIELD CONSTRUCTION.

PROJECT GEO TECHNICAL REPORT:

J.J. NO GEOTECHNICAL REPORT HAS BEEN PROVIDED FOR THIS DESIGN. THE DESIGN IS BASED ON TYPICAL SOILS CONDITIONS WITHIN THE GEOGRAPHIC AREA. ASSUMED ALLOWABLE BEARING CAPACITY OF 100 KPa AS SET OUT IN O.C. BS-4.4.1.

GENERAL REVIEW & INSPECTION:

J.J. A PERSON WHO INTENDS TO CONSTRUCT OR HAVE CONSTRUCTED A BUILDING, ALTERATION OR ADDITION THAT IS DESIGNED BY A "DESIGNER" SHALL ENSURE THAT THE "DESIGNER" IS RETAINED TO UNDERTAKE THE GENERAL REVIEW OF THE CONSTRUCTION OF THE BUILDING IN ACCORDANCE WITH THE PERFORMANCE STANDARDS OF THE ASSOCIATION, AS APPLICABLE AND AS SET OUT IN THE ONTARIO BUILDING CODE O.C. 2.17.4 TO DETERMINE WHETHER THE CONSTRUCTION IS IN GENERAL CONFORMITY WITH THE PLANS, SKETCHES, DRAWINGS, GRAPHIC REPRESENTATIONS, SPECIFICATIONS AND OTHER DOCUMENTS THAT ARE PREPARED BY THE "DESIGNER". COPIES OF WRITTEN REPORTS ARISING OUT OF THE GENERAL REVIEW SHALL BE FORWARDED TO THE CHIEF BUILDING OFFICIAL BY THE DESIGNER WHO HAS BEEN RETAINED TO UNDERTAKE THE GENERAL REVIEW OF THE CONSTRUCTION OF THE BUILDING.

- THE DESIGNING CONSULTANT OR A DESIGNATED REPRESENTATIVE OF NUTIMA DESIGN & PROJECT MANAGEMENT, SHALL BE PROVIDED WITH A MINIMUM 48 HOURS NOTICE OF REQUIRED INSPECTIONS.
- INSPECTIONS BY NUTIMA DESIGN & PROJECT MANAGEMENT, ARE REQUIRED AS FOLLOWS:
 - CONCRETE FOOTINGS & FOUNDATION WALL INSPECTION (PRE-POUR)
 - FRAMING COMPLETION INSPECTION (PRIOR TO INSULATION AND VAPOUR BARRIER)
 - CONSTRUCTION COMPLETION



1.1 THE DESIGNER MUST BE CONSIDERED THE QUALIFIED AS CONSULTANT. AN ERROR OR OMISSION MUST BE REPORTED IMMEDIATELY TO NUTIMA DESIGN & PROJECT MANAGEMENT BY THE CONTRACTOR(S) OR CONSULTANT.

2.1 THE DESIGNER MUST BE CONSIDERED THE QUALIFIED AS CONSULTANT. AN ERROR OR OMISSION MUST BE REPORTED IMMEDIATELY TO NUTIMA DESIGN & PROJECT MANAGEMENT BY THE CONTRACTOR(S) OR CONSULTANT.

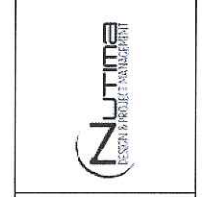
3.1 ALL CONSTRUCTION WORK MUST BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, ONTARIO ELECTRICAL CODE AND ONTARIO FIRE CODE LATEST EDITIONS THEREOF.

4.1 ALL CONSTRUCTION WORK MUST BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, ONTARIO ELECTRICAL CODE AND ONTARIO FIRE CODE LATEST EDITIONS THEREOF.

5.1 ALL CONSTRUCTION WORK MUST BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, ONTARIO ELECTRICAL CODE AND ONTARIO FIRE CODE LATEST EDITIONS THEREOF.



Revision Schedule		
No.	Description	Date
7	Issued for Client Review	07/07/2021
8	Submitted to CVC	06/06/2021
9	Issued for HVAC	17/06/2021
10	Issued for Trades/Floor	17/06/2021
11	Issued for Trades/Floor	24/06/2021
12	Approved by CVC	14/06/2021
13	Issued for Structural Review	22/06/2021
14	Final RFI	30/06/2021
15	Issued for Permit	26/06/2021



PROJECT STATUS: ISSUED FOR PERMIT

By: *Wade*

DATE: 05/07/2021

PROJECT NO: 2021-35

Nutima Design & Project Management Inc.

356-327-1511

Project: Creditview Residence

Address: 1488 Glenview Rd, Brampton, ON

Project No: 2021-35

Drawn By: A.K Date: MAY 2021

Checked By: W.K Scale: 1/8" = 1'-0"

Dwg Title: A000

PROJECT STATISTICS	
ADDRESS:	2689 Creditview Rd, Brampton, ON
ZONING:	RM2 - Residential Medium Density
LOT AREA:	2621.88m ²
LOT FRONTAGE:	30.48m
BUILDING HEIGHT:	
AVERAGE GRADE:	172.25m
ESTABLISHED GRADE:	173.18m
HEIGHT AT MID-POINT:	180.40m
HEIGHT AT HIGHEST POINT:	182.94m
HEIGHT AT UNDERSIDE OF EAVES:	180.04m

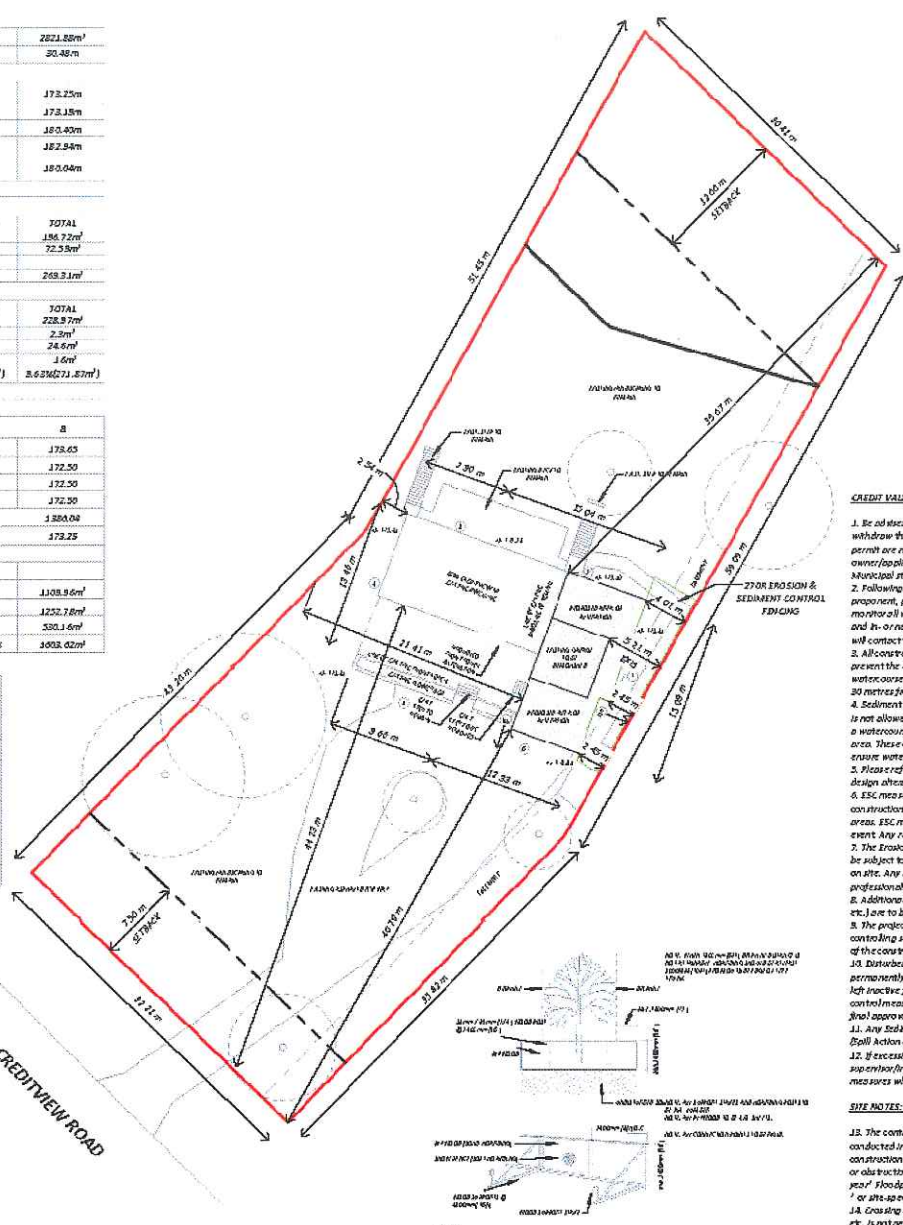
GROSS FLOOR AREA - INFILL RESIDENTIAL			
	EXISTING	PROPOSED	TOTAL
GROUND FLOOR:	125.26m ²	31.25m ²	156.51m ²
SECOND FLOOR:	0m ²	72.58m ²	72.58m ²
TOTAL GFA:	125.26m ²	103.83m ²	229.09m ²

LOT COVERAGE			
	EXISTING	PROPOSED	TOTAL
DWELLING FOOTPRINT:	125.26m ²	68.01m ²	193.27m ²
PERGOLA (FRONT YARD):	0m ²	2.25m ²	2.25m ²
DECK (GREATER THAN 600mm/24" HEIGHT):	0m ²	24.6m ²	24.6m ²
OTHER (BALCONY, FLOOR PROJECTIONS ETC):	0m ²	1.6m ²	1.6m ²
TOTAL LOT COVERAGE:	6.5% (184.56m ²)	8.03% (87.51m ²)	8.63% (271.87m ²)

AVERAGE GRADE CALCULATIONS		
	A	B
1. CENTRELINE OF STREET	172.54	173.05
2. INTERSECTIONS OF FRONT AND SIDE LOT LINES	173.82	172.50
3. ALONG SIDE LOT LINES AT FRONT YARD SETBACK	173.82	172.50
4. ALONG SIDE LOT LINES 15.0m FROM PREVIOUS ELEVATION	173.71	172.50
SUM OF GRADE CALCULATIONS:	1.85048	
AVERAGE GRADE: (SUM DIVIDED BY 8)	173.25	

LANDSCAPED SOFT AREA	
FRONT YARD AREA:	1108.96m ²
REAR YARD AREA:	1232.78m ²
HARD SURFACED AREAS:	530.16m ²
TOTAL LANDSCAPED SOFT AREA:	95.82% 2003.74m ²

ESTABLISHED GRADE CALCULATION:				
LINE/NO.	APPROX. DIST.	PROPOSED	EXISTING	A - B
1	1.5285	102.83	10.00	7476.58
2	1.5285	102.30	15.44	7412.87
3	1.5285	102.29	1.80	1.26815
4	1.5278	102.43	12.00	7508.69
5	1.024	102.83	8.00	1409.89
6	1.5285	102.83	12.00	7143.37
TOTAL:				15,814.83
FG:		12,791.82	73.08	135.19



KEY PLAN:

CREDIT VALLEY CONSERVATION NOTES:

1. Be advised that the Credit Valley Conservation Authority may, at any time, withdraw this permission, if, in the opinion of the Authority, the conditions of the permit are not being complied with. This approval does not exempt the property owner/developer from the provisions of any other Federal, Provincial or Municipal statutes, regulations or by-laws, or any rights under common law.
2. Following the initiation of the proposed ESC measures, a qualified agent of the proponent, preferably an Environmental Monitor, will conduct regular site visits to monitor all works, particularly the condition of the ESC measures, dewatering, and in- or near-water works. Should concerns arise, the Environmental Monitor will contact the proponent, CVC, and any other appropriate parties.
3. All construction activities, including maintenance procedures, will be controlled to prevent the entry of debris, sediments, or other deleterious products to the watercourse or wetland. Equipment maintenance will be conducted a minimum of 30 metres from the watercourse or wetland.
4. Sediment laden runoff from disturbed areas to the watercourse or natural feature is not allowed. All dewatering shall be treated and then released 30 metres from a watercourse or wetland. Discharge is to be released to an undisturbed natural area. These control measures shall be monitored and maintained or revised to ensure water quality targets are being achieved.
5. Please refer to the ESC Guide for Urban Construction (2018) for the design and design alteration of ESC measures.
6. ESC measures will be implemented prior to, and maintained during the construction phases, to prevent entry of sediment into the watercourse/natural area. ESC measures are to be evaluated on a weekly basis and after any storm event. Any repairs required are to be rectified immediately.
7. The Erosion and Sediment Control (ESC) Plan is a dynamic document, which may be subject to change or modifications as a result of the developments or changes on site. Any deviation from approval plans must be designed by a qualified professional.
8. Additional ESC materials (i.e. silt fence, filter socks, straw bales, clear stones, etc.) are to be kept on site for emergencies and repairs.
9. The project proponent or their representative is ultimately responsible for controlling sediment and erosion within the construction site for the total period of the construction.
10. Disturbed areas will be minimized to the extent possible, and temporarily or permanently stabilized or restored as the work progresses. All disturbed ground left inactive for more than 30 days shall be stabilized using appropriate erosion control measures and an appropriate native non-invasive seed mix or with the final approved restoration plan.
11. Any sediment spill from the site should be reported to Ministry of Environment (Spill Action Center) at 1-800-268-6000.
12. If excessive siltation results from the construction activities, the owner/proponent/contractor shall cease the work until the siltation is controlled and ESC measures which would be installed prior to further construction activities.

NOTE:

13. The contractor shall monitor weather forecasts to ensure that the works will be conducted in favorable weather. The contractor is responsible for removing all construction equipment and materials that would have potential to cause a spill or obstruction (i.e. fuel tanks, portable toilets, machinery, etc.), from the 100 year floodplain in the case of a large storm event.
14. Crossing an active watercourse or wetland by equipment, vehicle, personnel, etc. is not permitted unless approved by CVC. All access to work sites shall be from either side of the watercourse or wetland.
15. All in-water and near water works will be conducted in the dry and must be staged with appropriate erosion and sediment controls. Plan the work accordingly with the weather forecast.
16. An after-hours contact number is to be clearly posted on-site for emergencies. All the plans should have name and contact info of the person responsible for ESC measures.

1 SITE PLAN
Scale: 1:300

1.1 THE DRAWING SHALL BE CONSIDERED VALID FOR THE PERIOD OF 180 DAYS FROM THE DATE OF ISSUANCE OF THIS PERMIT. ANY WORKS TO BE PERFORMED MUST BE COMPLETED WITHIN THIS PERIOD.

1.2 THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

1.3 THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

1.4 THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

1.5 THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

Revision Schedule		
No.	Description	Date
7	Issued for Client Review	07/07/2021
8	Submitted to CVC	06/08/2021
9	Issued for CVC	17/08/2021
10	Issued for Trades/Floors	17/08/2021
11	Issued for Trades/Floors	24/08/2021
12	Approved by CVC	14/08/2021
13	Issued for Structural Review	22/08/2021
14	FINAL REV	30/08/2021
15	Issued for Permit	28/08/2021
16	Issued per CDA Comment	08/11/2023

PROJECT STATUS:
ISSUED FOR PERMIT

Scale:
The drawings are prepared to a scale of 1:300. All dimensions shall be taken from the drawings unless otherwise indicated.

QUALIFICATION INFORMATION:
I, the undersigned, being a duly qualified Professional Engineer in the Province of Ontario, do hereby certify that I am the author of the drawings and that I am a member of the Ontario Professional Engineers Association.

W. H. H. H.
 Professional Engineer
 No. 20000
 Ontario Professional Engineers Association

Natura Design & Project Management Inc.
 858-327-1211

Project:
Creditview Residence

Address:
1080 Commerce Ave, Brampton, ON

Project No.:
2021-35

Drawn By: A.K. **Date:** MAY 2021

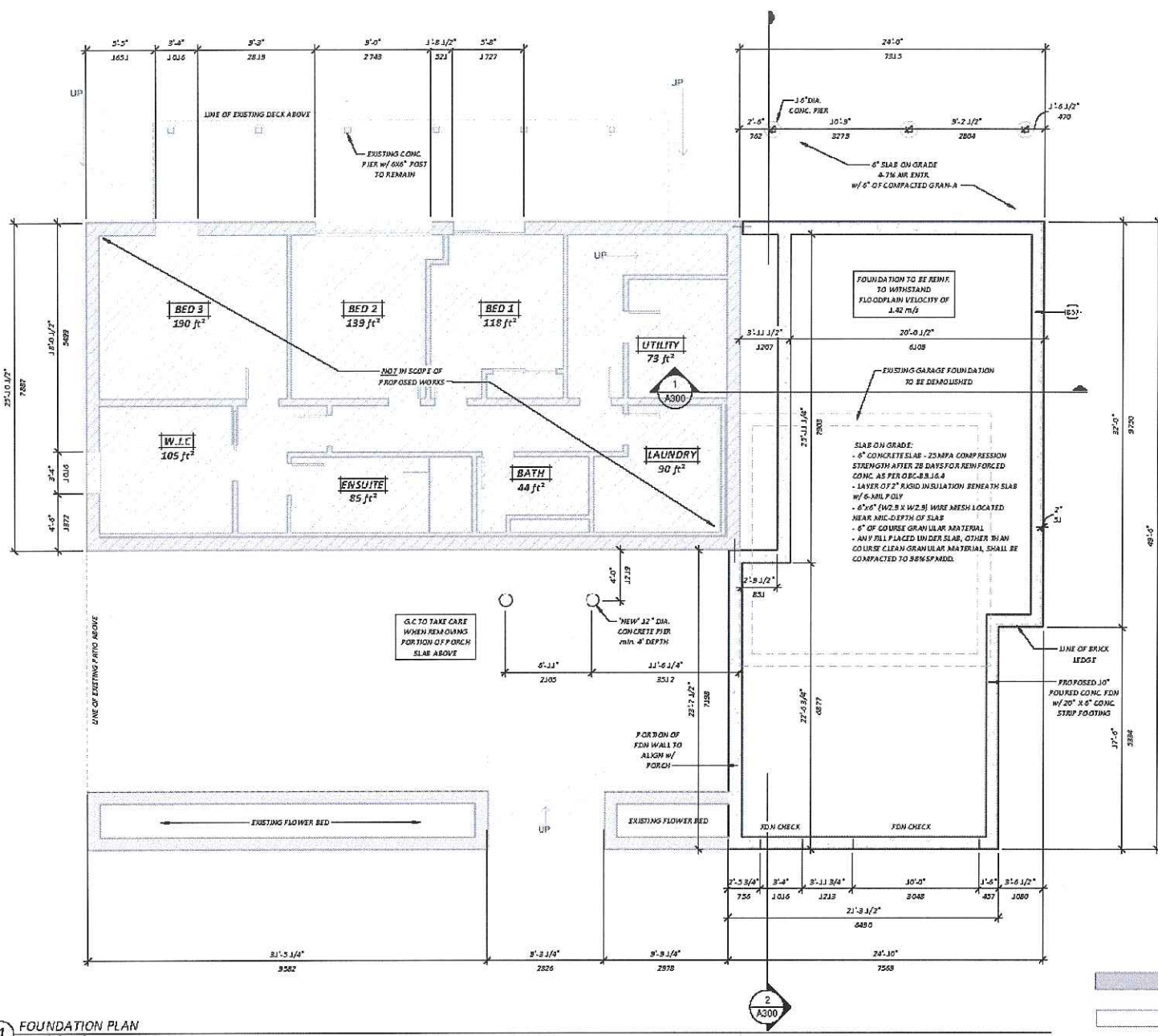
Checked By: W.K. **Scale:** As Indicated

Drawing No.:
A100

SITE PLAN

Revision:

16



1 FOUNDATION PLAN
Scale: 3/16" = 1'-0"

- EXISTING
- NEW
- DEMO
- F.R.R.

- 1.) ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND ALL APPLICABLE CODES AND REGULATIONS.
- 2.) ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND ALL APPLICABLE CODES AND REGULATIONS.
- 3.) ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND ALL APPLICABLE CODES AND REGULATIONS.
- 4.) ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF CHICAGO ORDINANCES AND ALL APPLICABLE CODES AND REGULATIONS.



Revision Schedule

No.	Description	Date
7	Issued for Client Review	07/07/2021
8	Submitted to CVC	08/08/2021
9	Issued for HVAC	17/08/2021
10	Issued for Trades/Boilers	17/08/2021
11	Issued for Trades/Boilers	24/08/2021
12	Approved by CVC	18/08/2021
13	Issued for Structural Review	22/08/2021
15	Issued for Permit	28/08/2021



PROJECT STATUS:
ISSUED FOR PERMIT

Scale:
The undersigned is not responsible for the design, and for the construction and for the maintenance of the building. The undersigned is not responsible for the design, and for the construction and for the maintenance of the building.

DATE OF DESIGN INFORMATION:
Required under 3.2 of the Building Code of the City of Chicago.

Signature:
W. K. [Signature]

Professional Engineer
No. 1111111111
City of Chicago

Ultima Design & Project Management Inc.
206-327-1311

Project:
Creditview Residence

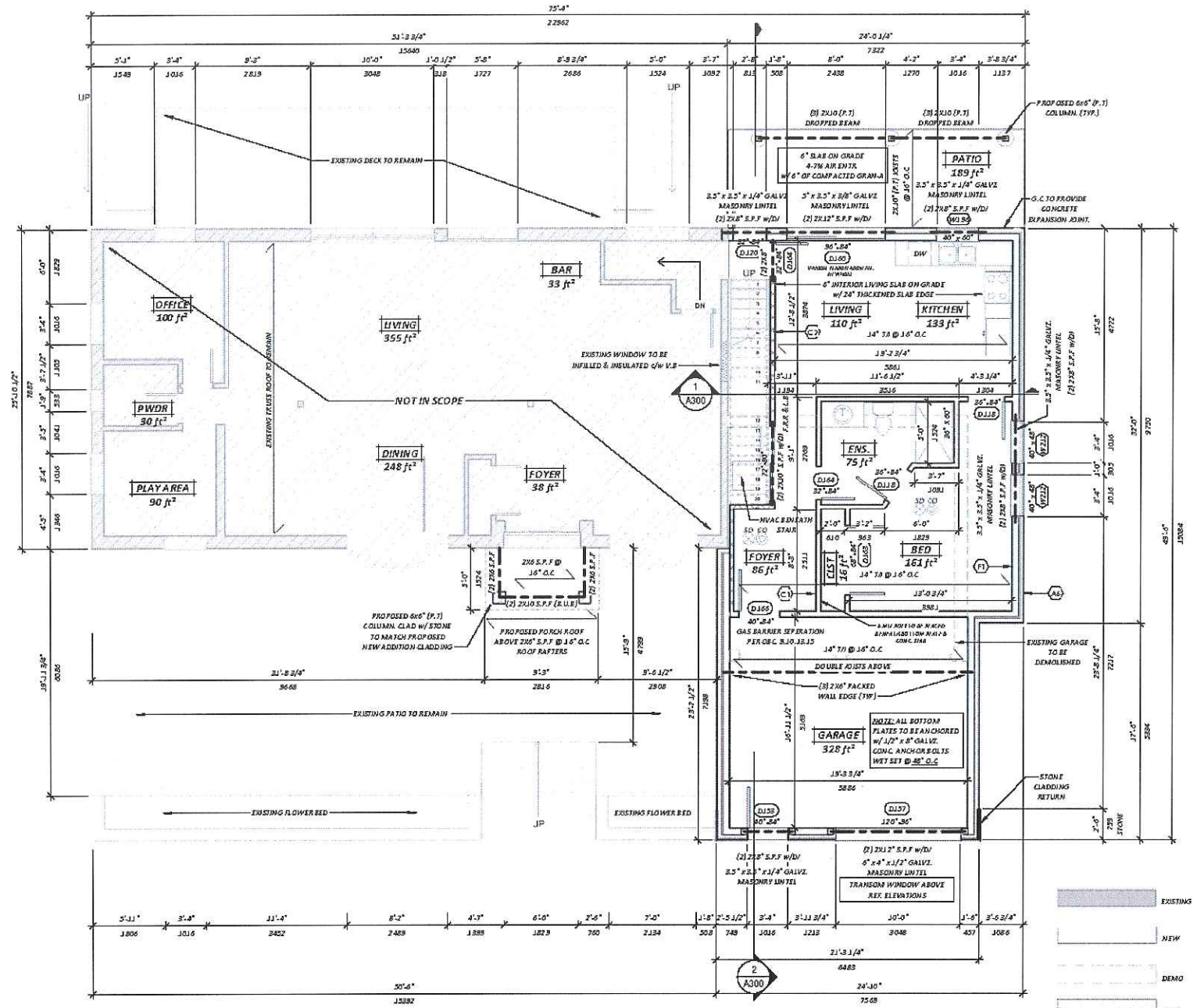
Address:
1100 Greenway Rd, Evanston, IL

Project No.:
2021-35

Drawn By: A.K. Date: MAY 2021
Chk'd By: W.K. Scale: As Indicated

Drawing No.:
A101

FOOTING/FOUNDATION PLAN



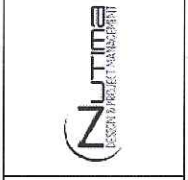
1 GROUND FLOOR
Scale: 3/16" = 1'-0"

- 1.1 ALL P-F OR W/ST MUST BE CONSIDERED FOR CATCHING OR CONTAINMENT. ALL FLOORING OR FINISHING SHALL BE DONE PRIOR TO THE START OF CONSTRUCTION.
- 2.1 ALL FINISHES SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL AND SPECIFICATIONS.
- 3.1 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL AND SPECIFICATIONS.
- 4.1 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL AND SPECIFICATIONS.
- 5.1 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT MANUAL AND SPECIFICATIONS.



Revision Schedule

No.	Description	Date
7	Issued for Client	07/07/2021
8	Submitted to CVC	06/08/2021
9	Issued for CVC	17/08/2021
10	Issued for Transitions	17/08/2021
11	Issued for Transitions	24/08/2021
12	Approved by CVC	14/09/2021
13	Issued for Structural Review	22/09/2021
14	Final Rev.	30/09/2021
15	Issued for Permit	28/09/2021



Project Status:
ISSUED FOR PERMIT

Scale:
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Project:
Creditview Residence

Address:
1588 Greenway Rd, Broomfield, CO
Project No:
2021-35

Drawn By: A.K. Date: MAY 2021
Chk'd By: W.K. Scale: As Indicated
Drawing No.:
A102

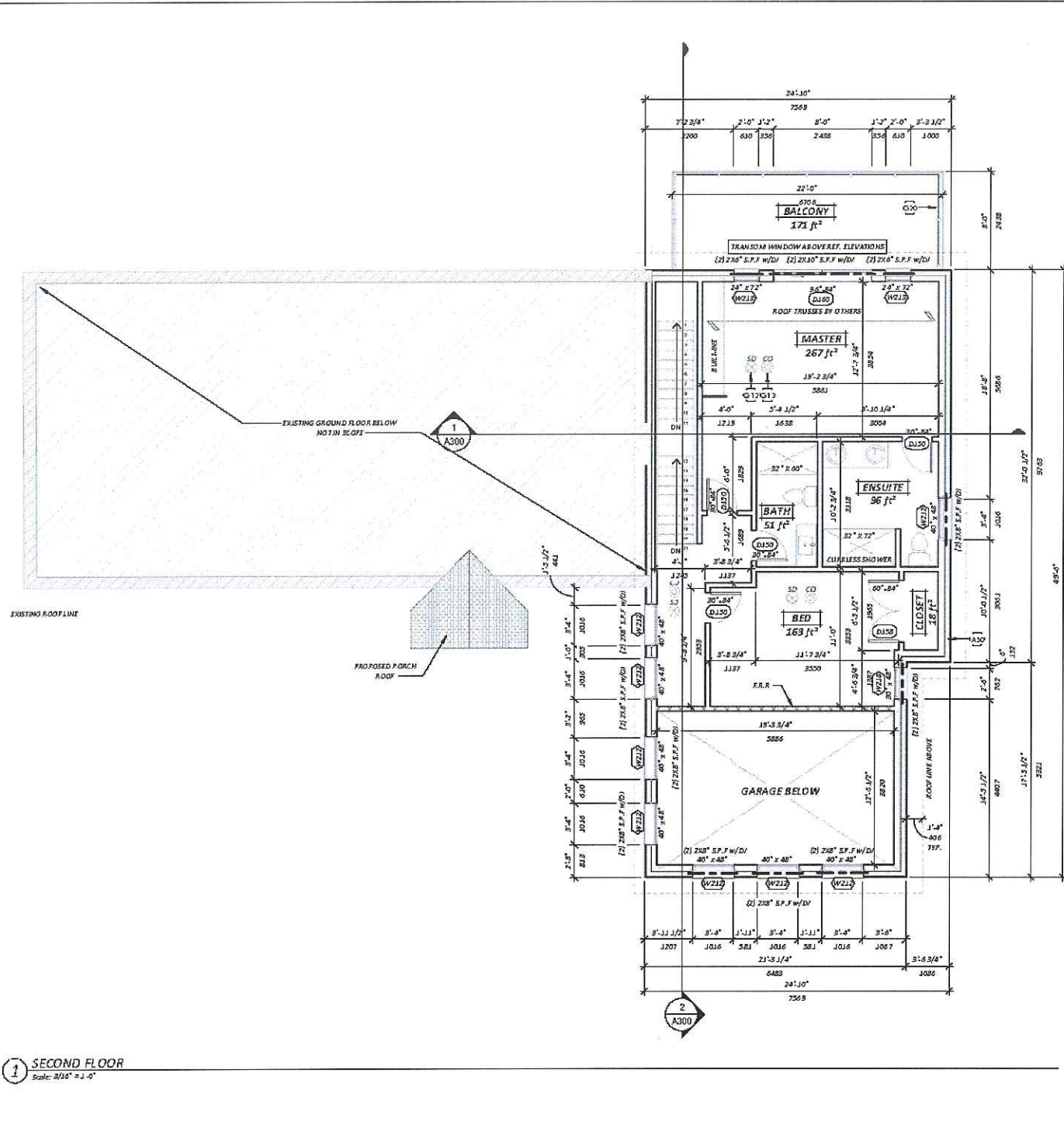
Project Status:
ISSUED FOR PERMIT

Project:
Creditview Residence

Project No:
2021-35

Project:
Creditview Residence

GROUND FLOOR PLAN



KEY NOTE LEGEND	
KEY	DESCRIPTION
A30	TYPICAL EXTERIOR WOOD CLAD WALL: - EXTERIOR WOOD SIDING AS PER ELEVATIONS - 1x6 WOOD STRAPPING @ 16" O/C - 2" THICK POLYISOCYANURATE TYPE 2 FACED EXTERIOR WALL INSULATION - 3/16" AIR BARRIER - 7/16" OSB WALL SHEATHING - 2x6 WOOD STUDS @ 16" O/C - FILLED W/FRACTION FIT ATTENUATION (MIN. R-21) - POLYETHYLENE VAPOUR BARRIER IN CONFORMANCE CAN/CSSE-01.3.4.4M - 1/2" GYPSUM BOARD
G12	SMOKE ALARM: - ONE S.B.A.L.R. PROVIDE 1 PER FLOOR NEAR THE STAIRS (MAX. 16'-15" FROM BEDROOMS) CONNECTING THE FLOOR LEVELS - ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO THAT ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS
G18	CARBON MONOXIDE DETECTOR: - E.C.M.D. ONE S.B.A.L.R. WHERE THERE IS A SOLID FUEL BURNING APPLIANCE A CARBON MONOXIDE DETECTOR SHALL BE PROVIDED. - E.C.M.D. TO BE WIRDED TO WHEN ACTIVATED SMOKE ALARMS WILL SOUND.
G20	GLASS GUARDS: - GUARD TO BE 3'-0" HIGH FOR FLOOR TO FLOOR GRADE HEIGHTS GREATER THAN 5'-11" - GUARDS TO BE 2"-11" FOR HEIGHTS LESS THAN 5'-11" - GLASS GUARDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC S.B.S.

1.1/1/2" DIMENSIONS MUST BE CONSIDERED FOR CUTOFFS OR CONSIDERED. ALL FINISHES OR OVERLAYS MUST BE CONSIDERED FOR THE 1/2" DIMENSION. ALL DIMENSIONS MUST BE TO CENTER UNLESS OTHERWISE NOTED.

2.1/2" DIMENSIONS MUST BE CONSIDERED FOR CUTOFFS OR CONSIDERED. ALL FINISHES OR OVERLAYS MUST BE CONSIDERED FOR THE 1/2" DIMENSION. ALL DIMENSIONS MUST BE TO CENTER UNLESS OTHERWISE NOTED.

3.1/2" DIMENSIONS MUST BE CONSIDERED FOR CUTOFFS OR CONSIDERED. ALL FINISHES OR OVERLAYS MUST BE CONSIDERED FOR THE 1/2" DIMENSION. ALL DIMENSIONS MUST BE TO CENTER UNLESS OTHERWISE NOTED.

4.1/2" DIMENSIONS MUST BE CONSIDERED FOR CUTOFFS OR CONSIDERED. ALL FINISHES OR OVERLAYS MUST BE CONSIDERED FOR THE 1/2" DIMENSION. ALL DIMENSIONS MUST BE TO CENTER UNLESS OTHERWISE NOTED.

5.1/2" DIMENSIONS MUST BE CONSIDERED FOR CUTOFFS OR CONSIDERED. ALL FINISHES OR OVERLAYS MUST BE CONSIDERED FOR THE 1/2" DIMENSION. ALL DIMENSIONS MUST BE TO CENTER UNLESS OTHERWISE NOTED.



Revision Schedule		
No.	Description	Date
7	Issued for Client Review	07/07/2021
8	Submitted to CVC	08/08/2021
9	Issued for HVAC	17/08/2021
10	Issued for Trades/Floors	17/08/2021
11	Issued for Trades/Floors	24/08/2021
12	Approved by CVC	14/08/2021
13	Issued for Structural Review	22/08/2021
14	Final Rev.	30/08/2021
15	Issued for Permit	28/08/2021



Project Status:
ISSUED FOR PERMIT

Scale:
No dimensions are provided unless otherwise specified. All dimensions are to the center unless otherwise specified.

QUALIFICATION INFORMATION
Project: 2021-35
Date: 28/08/2021

Work: 2021-35
Date: 28/08/2021

RESTRICTION INFORMATION
This drawing is to be used only for the project and site shown on the title block.

Notes: Design & Project Management, 11/11/2021

Nultima Design & Project Management Inc.
256-327-1311

Project:
Creditview Residence

Address:
1180 Greenway Rd, Winnipeg, MB

Project No.:
2021-35

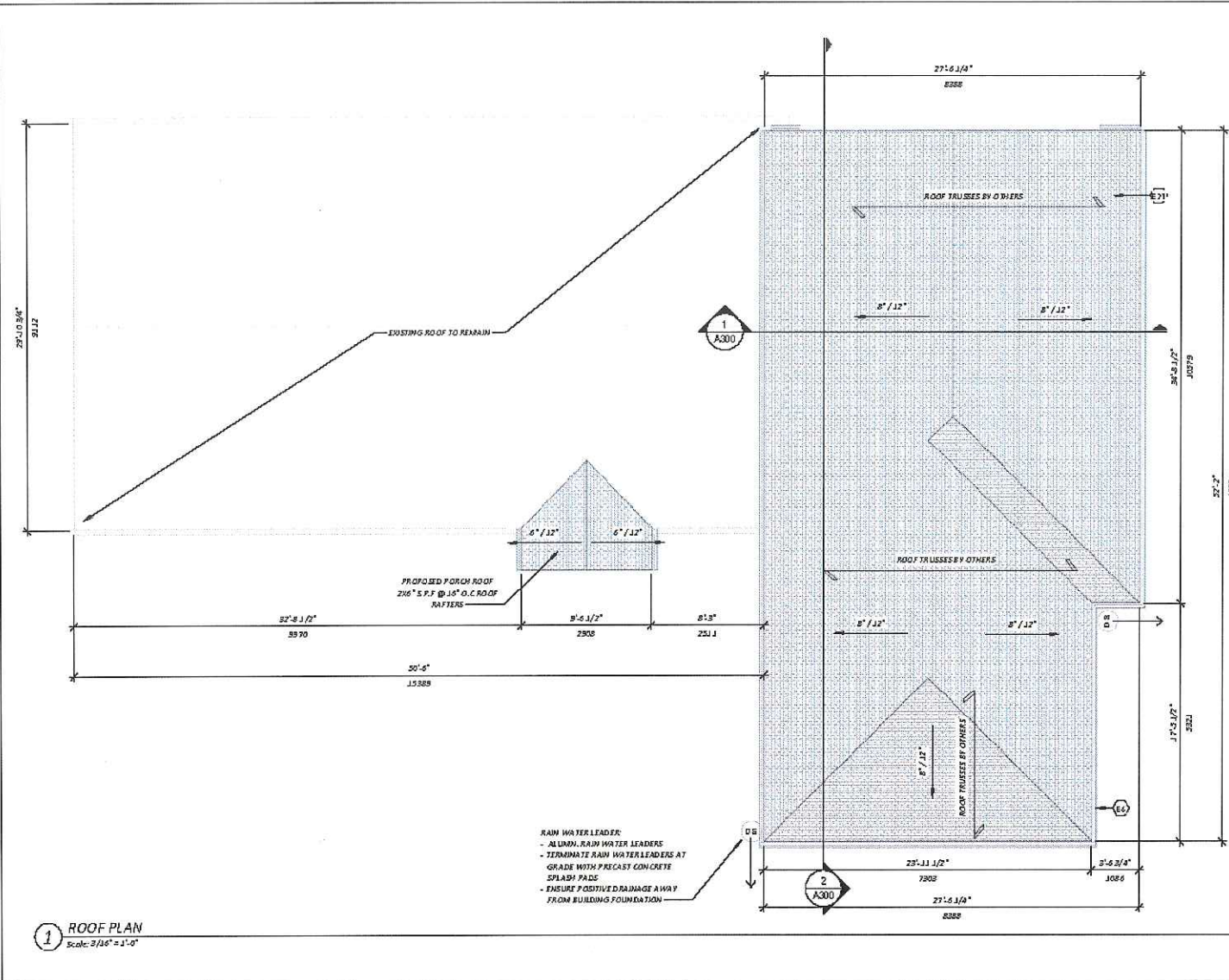
Drawn By: A.K. Date: MAY 2021

Checked By: W.K. Scale: As Indicated

Drawing No.:
A103

1 SECOND FLOOR
Scale: 3/16" = 1'-0"

SECOND FLOOR PLAN



1 ROOF PLAN
Scale: 3/16" = 1'-0"

PRE-ENGINEERED ROOF TRUSS NOTES

- 1.0 GENERAL
- 1.1 DESIGN TRUSSES IN ACCORDANCE WITH SECTION 4 OF THE CURRENT O.B.C. (INCLUDING UNBALANCED, SLIDING AND DRIFT SNOW LOADS, AND LOADS IMPOSED BY DOMESTIC AND TRAFFIC WORK SUPPORTED ON THE STRUCTURAL ROOF MEMBERS) AND CAN/CSA - C80.1.
- 1.2 TRUSS WEB SYSTEM TO BE MANUFACTURED WHO SHALL DETAIL AND PROVIDE ALL BRACINGS REQUIRED BY THE TRUSS DESIGN.
- 1.3 THE TRUSS SUPPLIER SHALL REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR THE LOCATION AND WEIGHTS OF MECHANICAL UNITS IN THE CEILING SPACE OR ON THE ROOF.
- 1.4 TRUSSES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER OF THE PROVINCE OF ONTARIO WHO SHALL ASSUME FULL RESPONSIBILITY FOR THEIR STRENGTH AND SERVICEABILITY, INCLUDING ALL NECESSARY BRACING AND BRIDGING REQUIRED FOR THEIR STRUCTURAL INTEGRITY, SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS BEARING THE PROFESSIONAL STAMP.
- 2.0 EXECUTION
- 2.1 AS SHOWN ON PLANS THE GENERAL CONTRACTOR SHALL FURNISH AND INSTALL DIAGONAL, LONGITUDINAL AND/OR X BRACING TO THE ROOF SYSTEM AND WALLS TO PROVIDE LATERAL STABILITY TO THE STRUCTURE, UNLESS NOTED BRACING MEMBERS SHALL BE 38 X 88 CONNECTED TO WEAIR CHORDS AND WALL PLATES WITH 4 MINIMUM OF 2 - 30MM NAILS PER CONNECTION.
- 2.2 AT TRUSS BEARINGS PROVIDE GALVANIZED TRIP - L - GRIP CONNECTORS OR EQUAL EACH SIDE OF TRUSS NAILED TO TRUSS AND WALL PLATE.
- 2.3 INSTALL SHEATHING WITH LONG SIDE OF SHEETS PERPENDICULAR TO SPAN OF TRUSS AND NAIL AT 150 O.C. ALONG EDGES AND 200 O.C. AT INTERMEDIATE SUPPORTS.
- 2.4 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL TEMPORARY BRACINGS REQUIRED TO MAINTAIN THE ROOF FRAMING AND WALLS STABLE UNTIL THE BUILDING IS COMPLETE.
- 2.5 THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL PERMANENT BRACINGS AND BRIDGINGS SPECIFIED AS PER MANUFACTURERS INSTRUCTIONS.

ROOF FRAMING PLAN NOTES

1. ALL ROOF TRUSSES @ 2'4" O/C. (UNLESS OTHERWISE NOTED) AND SLOPE AS PER PLANS.
2. PROVIDE SIMPSON STRONG TIE HANGERS OR APPROVED EQUAL.
3. PROVIDE MINIMUM 1 1/2" END BEARING OF ROOF JOISTS AND RAFTERS.
4. ALL ROOF FRAMING AND CEILING FRAMING TO BE IN ACCORDANCE WITH CBC S.22.12 - ROOF AND CEILING FRAMING.
5. ROOF SHEATHING TO BE AS PER DETAILS NOTES. SHEATHING TO BE IN ACCORDANCE WITH CBC S.22.1.5 ROOF SHEATHING.



Project Status:
ISSUED FOR PERMIT

Scale:
As shown on drawings unless otherwise indicated.
This plan, and all the specifications and drawings, are the property of the undersigned and shall remain the property of the undersigned.
DATE: 2021
BY: [Signature]
REGISTRATION INFORMATION:
Required information is complete under the Act of Ontario C of the Building Code.
Natura Design & Project Management Inc. 11941
11941

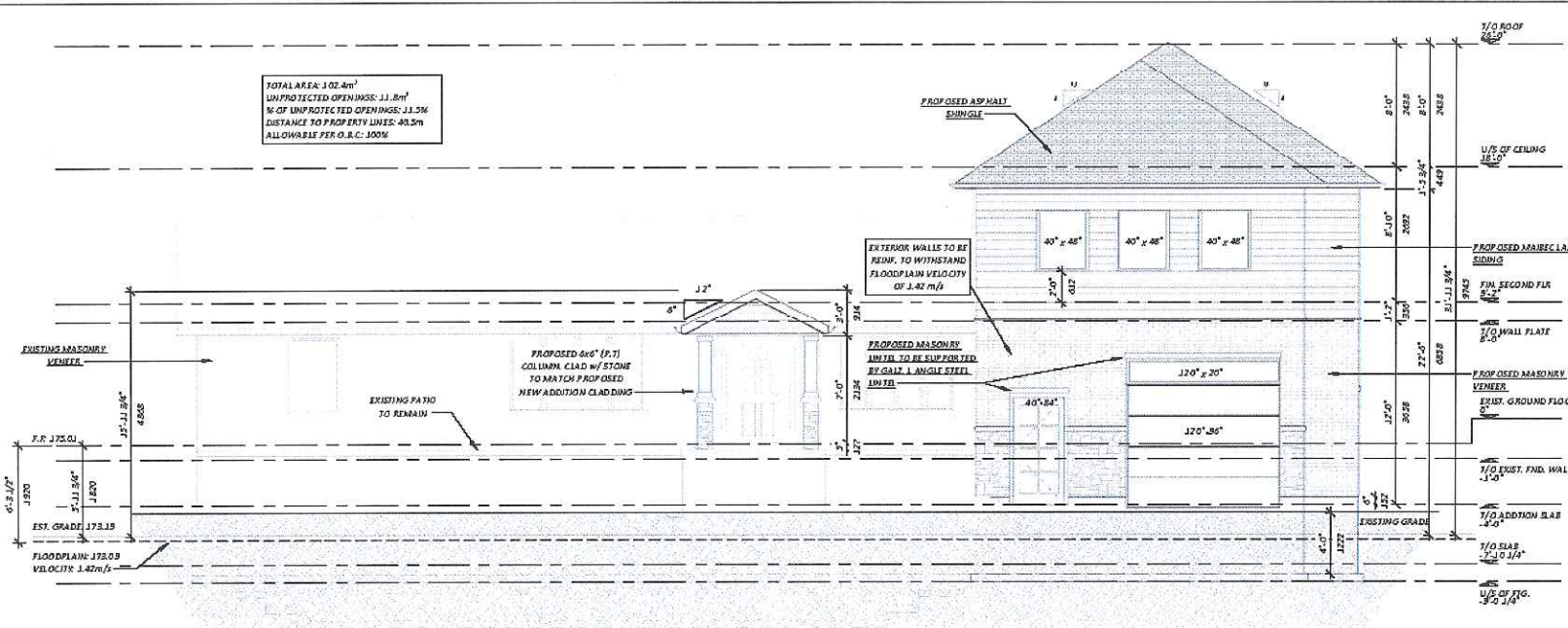
Natura Design & Project Management Inc.
300-327-1311

Project:
Creditview Residence

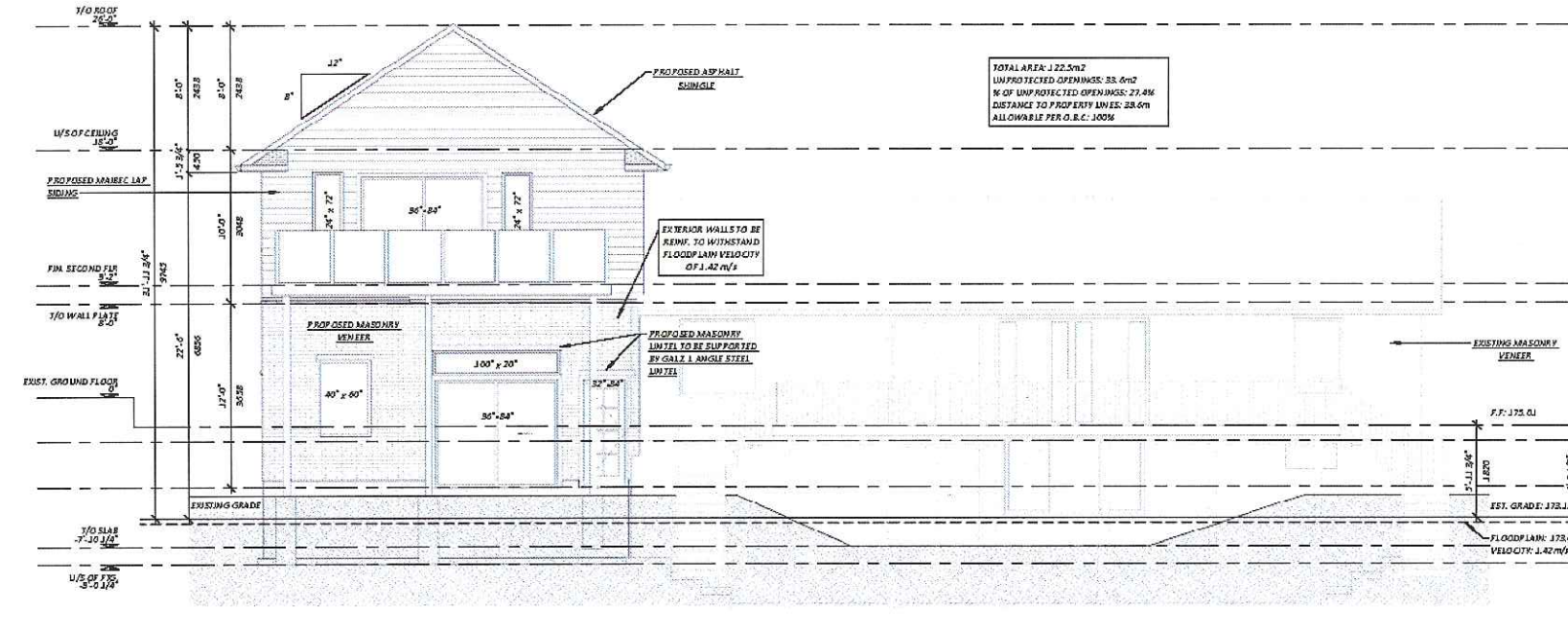
Address:
1180 Cummer St. Brampton, ON
Project No:
2021-35

Drawn By: A.K Date: MAY 2021
Check By: W.X Scale: As indicated
Drawing No.: **A104**
Revision: 15

ROOF PLAN



1 PROPOSED FRONT ELEVATION
Scale: 3/16" = 1'-0"



2 PROPOSED REAR ELEVATION
Scale: 3/16" = 1'-0"

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Revision Schedule

No.	Description	Date
7	Issued for Client Review	07/07/2021
8	Submitted to CVC	06/08/2021
9	Issued for HVAC	17/08/2021
10	Issued for Trusses/Joists	17/08/2021
11	Issued for Trusses/Joists	24/08/2021
12	Approved by CVC	14/08/2021
13	Issued for Structural Review	22/08/2021
14	FND REV.	30/08/2021
15	Issued for Permits	20/08/2021



Project Status:
ISSUED FOR PERMIT

Scale:
As indicated on drawings unless otherwise specified.

QUALIFICATION INFORMATION
Professional Engineer (except where noted) or Licensed Professional Architect (where noted)

Wade
Wade Design & Project Management Inc. 11884
Professional Engineer

REGISTRATION INFORMATION
Professional Engineer (except where noted) or Licensed Professional Architect (where noted)

Natima Design & Project Management Inc.
206-327-1311

Project:
Creditview Residence

Address:
1188 Conover Ave, Vancouver, BC

Project No.:
2021-35

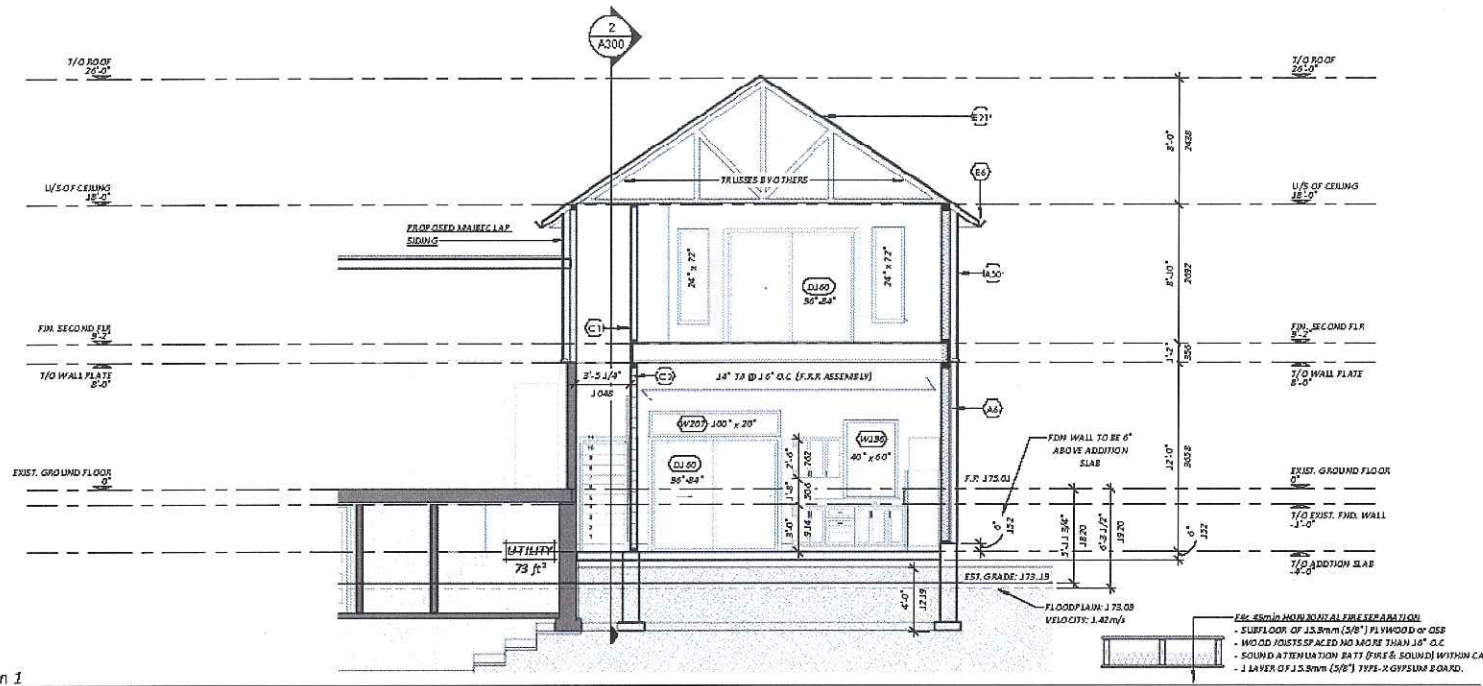
Drawn By: A.K. Date: MAY 2021

Checked By: W.X. Scale: As indicated

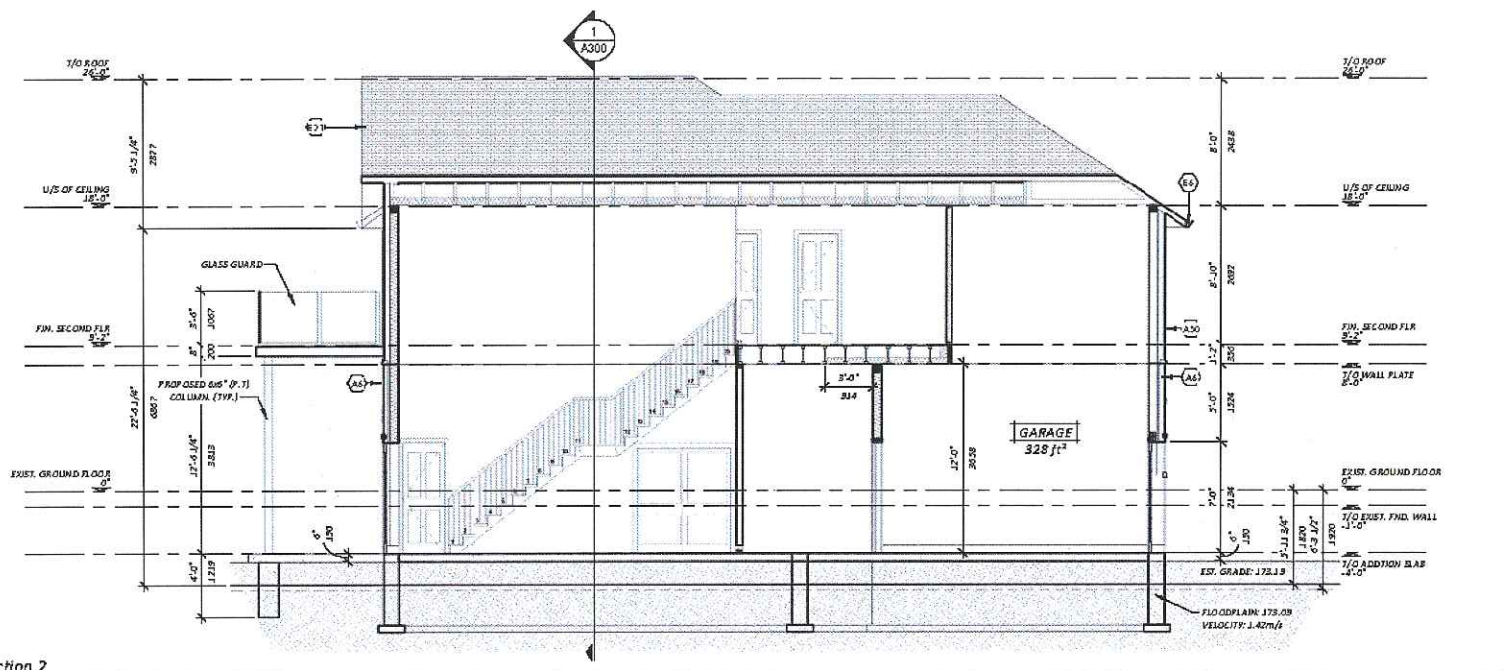
Drawing No.:
A200

FRONT & REAR ELEVATIONS

Revision:
15



1 Section 1
Scale: 3/16" = 1'-0"



2 Section 2
Scale: 3/16" = 1'-0"

1. 1/2" P-DIM W/RET MULTI-SP-5000-DAT 1/4" CUTTING EDGE CONNECTION. ALL FINISHES OR CONNECTIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 2. 2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 3. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 4. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 5. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 6. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 7. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 8. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 9. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 10. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 11. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 12. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 13. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 14. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.
 15. 1/2" MIN. OF 2x6 BRACKETS MUST BE USED AND SPACED AT 24" ON CENTER UNLESS OTHERWISE NOTED.



Revision Schedule

No.	Description	Date
7	Issued for Client Review	07/07/2021
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9	Issued for HVAC	17/08/2021
10	Issued for Truss/Floors	17/08/2021
11	Issued for Truss/Floors	24/08/2021
12	Approved by CVC	14/09/2021
13	Issued for Structural Review	22/09/2021
14	FIND REV.	30/09/2021
15	Issued for Permit	28/09/2021



Project Status:
ISSUED FOR PERMIT

Scale:
The architect has reviewed and is responsible for the design and the construction and meets the requirements set out in the contract by using good and best practices.
 QUALIFICATION INFORMATION:
Requires a license in the state of Michigan.
 W&K
 Wally Klobas
 Name: WALLY KLOBAS
 License No.: 2802
 State: MI
 REGISTRATION INFORMATION:
Requires a license in the state of Michigan.
 W&K
 Name: Wally Klobas
 License No.: 2802
 State: MI

Multim Design & Project Management Inc.
308-327-1311

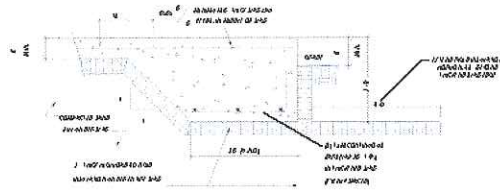
Project:
Creditview Residence

Address:
188 Conover Rd, Stoughton, MI
 Project No.:
2021 - 35

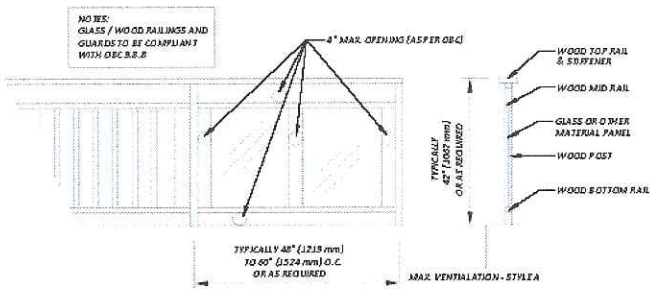
Drawn By: A.K. Date: MAY 2021
 Check By: W.K. Scale: As Indicated

Drawing No.:
A300

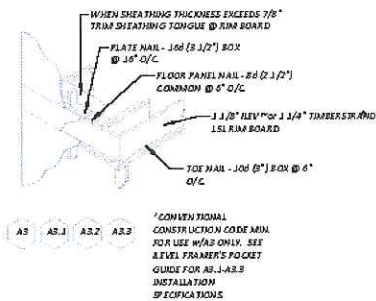
BUILDING SECTIONS
15



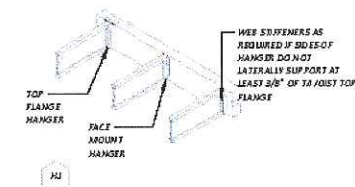
1 THICKENED SLAB DETAIL
Scale: 1/2" = 1'-0"



4 Glass or Wood Guard Detail
Scale: 1" = 1'-0"

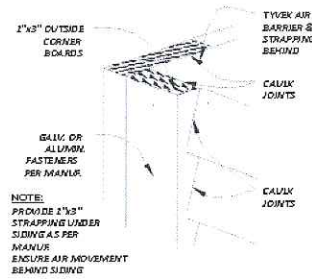


TJ RIM BOARD @ JOIST DETAIL

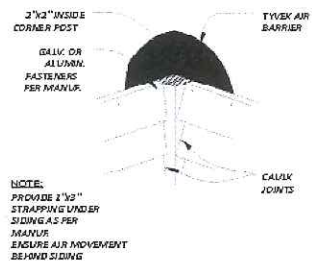


TJ JOIST @ STAIR OPENING DETAIL

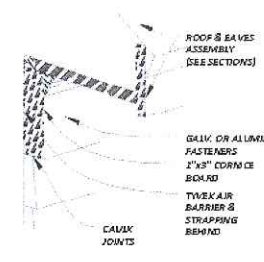
2 TJ RIM BOARD
Scale: 1/4" = 1'-0"



B DETAIL - SIDING O/S CORNER

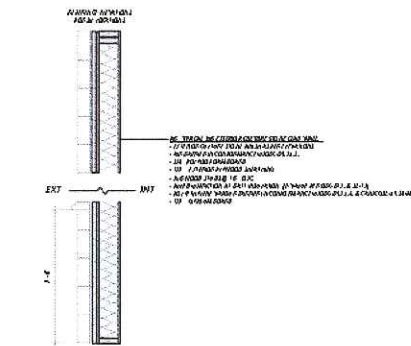


A DETAIL - SIDING I/S CORNER

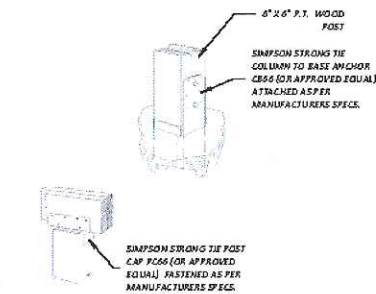


C DETAIL - SIDING CORNICE

7 TYPICAL SIDING DETAILS
Scale: 1" = 1'-0"



3 A6 Cultured Stone Clad Wall
Scale: 1/2" = 1'-0"



6 Post Cap & Beam Seat Connections
Scale: 1/2" = 1'-0"

- 1.) 1/4" P. DIM W/ST. MUST BE COORD. BY 1/4" CUTTING PL. OR CORNER CLIP. ALL FASTENERS OR CONNECTIONS MUST BE APPROVED AND W/ST. TO BE INSTALLED AS SHOWN. MANUFACTURER'S INSTRUCTIONS TO BE CONSULTED.
- 2.) 2" DIMS OR 20 MIL GALS. MUST BE USED AND PROVIDED BY OWNER. HOW SHOWN. APPROVALS W/ 1/4" W/ST.
- 3.) ALL SANDWICH EXHAUST LIDTOP DIM W/ST. MUST BE COORD. ASSEMBLY SHALL BE APPROVED. ALL CONNECTIONS AND FASTENINGS W/ 1/4" W/ST.
- 4.) FOR CONTINUOUS RAILWAYS, USE DIM T 1/4" A 1/4" AND APPROV. GALLY. FASTENERS 1/2" OR 3/4" DIMS W/ST.
- 5.) 20 MIL W/ST. MUST 1/4" DIM W/ST.



Revision Schedule

No.	Description	Date
8	Submitted to CVC	05/08/2021
9	Issued for HVAC	17/08/2021
10	Issued for Trusses/Phors	17/08/2021
11	Issued for Trusses/Phors	24/08/2021
12	Approved by CVC	14/09/2021
13	Issued for Structural Review	22/09/2021
14	END REV.	30/09/2021
15	Issued for Perms	28/09/2021



Project Status:
ISSUED FOR PERMIT

Scale:
For all drawings the dimensions are shown in feet and inches unless otherwise indicated. All dimensions are to be in feet and inches unless otherwise indicated.

QUALIFICATION INFORMATION
Required by design to comply with 2.2.4 of the 2018 IBC.

Signature: *W. K.*
DATE: 09/09/2021
PROJECT: 2021-35
ADDRESS: 1000 Greenway Dr, Beaverton, OR
PROJECT NO: 2021-35

Ultima Design & Project Management Inc.
350-227-1311

Project:
Creditview Residence

Address:
1000 Greenway Dr, Beaverton, OR
Project No:
2021-35

Drawn By: A.K. Date: 08/09/2021

Chk'd By: W.K. Scale: As Indicated

Drawing No.: **A400**

TYPICAL DETAILS