

Application for ConsentSection 53 of the *Planning Act*, R.S.O. 1990 c.P.13**Please Note: You are receiving this notice as you are within 60 meters of the subject property.**

Application Number: B-2024-0002
Property Address: 218 McMurchy Avenue
Legal Description: Plan 872, Lot 15
Agent: Arpana Saini
Owner(s): Bhupinder Singh Turna, Gurmehak Kaur Turna
Other applications: nil
under the *Planning Act*
Meeting Date and Time: Tuesday, April 23, 2024, at 9:30 am
Meeting Location: Hybrid in-person and virtual meeting – Council Chambers, 4th Floor Brampton City Hall, 2 Wellington Street West

Purpose and Effect of the Application:

The purpose of the application is to request consent to sever a parcel of land currently having a total area of approximately 848.40 square metres. The proposed severed lot has a frontage of approximately 15.59 metres; a depth of approximately 26.36 metres and an area of approximately 405.89 square metres. It is proposed that 2 lots be established from the existing lot for future residential development of a single detached dwelling on the proposed severed lot.

Participate in the Meeting:

- Send an email with your written comments to coa@brampton.ca. Written submissions must include your name and mailing address, the application number or property address you are commenting on, along with authorization to post your correspondence on the agenda and must be received no later than **4:30 pm on Thursday, April 18, 2024**.
- Participate in person by attending the meeting on the date and time noted above. You are encouraged to register for in person attendance by emailing coa@brampton.ca and indicating if you plan to address Committee.
- Participate virtually (computer, tablet or smartphone). To participate virtually via WebEx, you must register in advance, no later than **4:30 pm on Thursday, April 18, 2024** by emailing coa@brampton.ca, and providing your name, mailing address, phone number and email address. Confirmation of registration and participation instructions will be provided.

Note: Information provided in your correspondence, virtual or in-person delegation will become part of the public record and will be posted on the City's website. If you do not participate in the public meeting, Committee may make a decision in your absence and you will not be entitled to any further notice in the proceedings.

Viewing Application Materials: The application and related materials are available online at www.brampton.ca/en/city-hall/meetings-agendas and may be viewed in person in the City Clerk's Office during regular business hours. More information regarding the Committee of Adjustment is available at www.brampton.ca.

Appeal Process: If a person or public body has the ability to appeal the decision of the Committee of Adjustment in respect of the proposed consent to the Ontario Land Tribunal but does not make written submissions to the Committee of Adjustment before it gives or refuses to give a provisional consent, the Tribunal may dismiss the appeal.

If you wish to be notified of the decision of the Committee of Adjustment in respect of the proposed consent, you must make a written request to the Secretary Treasurer. Contact details are provided below.

Owners are requested to ensure that their tenant(s) are notified of this application and meeting date. This notice is to be posted by the owner of any land that contains seven or more residential units in a location that is visible to all of the residents.

Dated this 3rd day of April, 2024

Secretary Treasurer
Committee of Adjustment, City Clerk's Office
2 Wellington Street West, Brampton, L6Y 4R2
P: 905.874.2117
E: coa@brampton.ca

GENERAL NOTES:
RELEASED FOR BUILDING PERMIT
 • CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK SITE AND REPORT DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING
 • ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CONSULTANTS AND MUST BE RETURNED AT THE COMPLETION OF WORK
 • THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE CONSULTANT
 • DRAWINGS ARE NOT TO BE SCALED



PROJECT TYPE:
 DETACHED HOUSE

PROJECT NAME
 218 McMurchy Ave
 Brampton, ON

DATE	DESCRIPTION
-	-
-	-
-	-
-	-

SCALE: 1/4" = 1'-0"
 PROJECT NUMBER: 2022-1064
 DRAWN BY: DONY MARIYA
 CHECKED BY:

SEAL

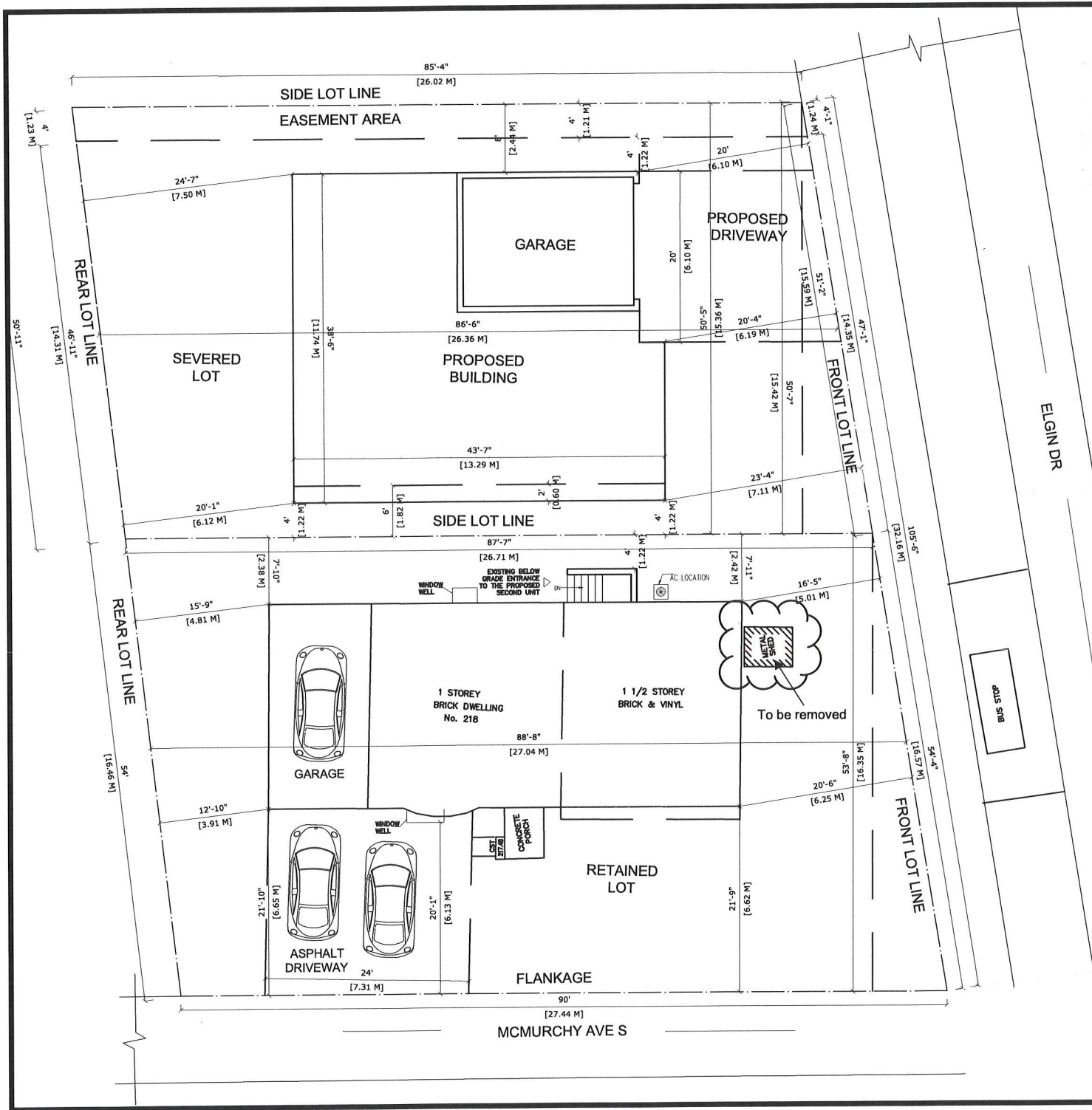
SHEET NAME
 SITE PLAN

SHEET NUMBER
A1.0

SEVERED LOT

FRONT LOT AREA = 1099.91 SQ.FT
 PROPOSED LANDSCAPING AREA = 661.28 SQ.FT
 LANDSCAPE PROVIDED = 60.12%

	REQUIRED	RETAINED LOT	SEVERED LOT
BUILDING AREA		1329.49 SQ.FT	1620.13 SQ.FT
REAR SETBACK	7.5 M	3.91M, 4.81 M	7.50 M, 6.12 M
FRONT SETBACK	6 M	5.01 M	6.19M, 6.10M
SIDE SETBACK	1.2 M	2.38 M, 6.62 M	1.22 M, 1.82M, 2.44M
LOT WIDTH (INTERIOR)	15 M	-	15.42 M
LOT WIDTH (CORNER)	18 M	16.35 M	-
LOT DEPTH	30 M	27.04 M	26.36 M
LOT AREA (INTERIOR)	450 SQ.M	-	405.89 SQ.M
LOT AREA (CORNER)	540 SQ.M	442.51 SQ.M	-
LOT COVERAGE	30%	28.45 %	37.08 %



RECEIVED
 APR 02 2024
 CITY CLERK'S OFFICE